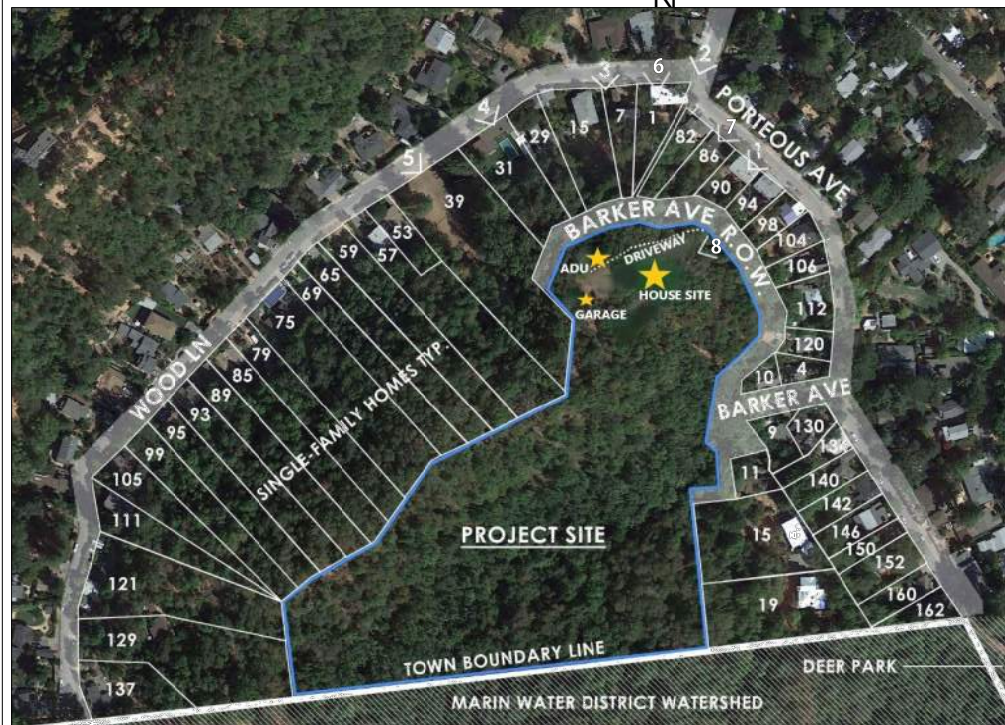


VICINITY MAP- NO SCALE



SITE CONTEXT MAP- NO SCALE

SCOPE OF WORK

- Construct a two story, three bedroom, three bath, 3,496 square foot, single family residence on an undeveloped lot.
- Extend Barker Avenue (20 foot roadway width) within the existing right of way along the eastern side of the property. Barker Avenue extension shall terminate at a point approximately 230 feet from the existing edge of pavement on Barker Avenue.
- Provide a 16 foot wide driveway, from the end of the Barker Avenue extension, terminating at a parking area with a residential shunt turnaround in accordance with Ross Valley Fire Department Standard 212. All new paving shall be asphalt.
- Provide a new fire hydrant on private property, next to the new driveway.
- Construct a single story, one bedroom, one bath, attached junior accessory dwelling unit (JADU). The JADU shall have a floor area of 492 square feet.
- Construct a one story, split-level, two bedroom, one and one half bath detached accessory dwelling unit (ADU) with a total floor area of 994 square feet.
- Construct a detached two car garage, partially below grade, with a roof-top garden. Garage floor area shall be 500 square feet.

Property located within Wildland Urban Interface (WUI). All materials and building assemblies shall conform to the requirements of Chapter 7A of the California Building code. All structures shall be equipped with fire sprinklers.

A stormwater collection system shall be included in the design of the roofs on the property. A greywater system shall also be provided. Storage tanks for both of these systems shall be located in the crawl space of the main residential structure so as to minimize their visual impact on the site. Additional storage tanks shall be situated so as to not be materially visible off-site, and screened from view with vegetation, or by the buildings themselves.

All exterior lighting shall be Dark Sky compliant.

General Notes

- All construction shall be in accordance with Federal, State, and Local codes, regulations and ordinances.
 - Comply with 2022 CRC, 2022 CBC, 2022 CPC, 2022 CMC and the 2022 CE Code and 2022 California Energy Code, and 2022 Green Building Code, and the 2022 California Fire Code, and all Town of Fairfax amendments.
 - All materials and equipment shall be installed in strict accordance with manufacturers published recommendations.
- Latitude: 37.584024 ° North
Longitude: 122.353363 ° West
Elevation: 273 ft.
- Occupancy Type R-3
- Construction type: Principal Residence and JADU- V-B, with fire sprinklers.
ADU- V-B with fire sprinklers
Garage- V-B with fire sprinklers.
- Zoning District- UR-7 Upland Residential
- General Plan Designation- Hill Area Residential Overlay Zone

PROPERTY OWNER:
Matthew B. and Mireya Quirie
156 Cascade Drive
Fairfax, CA. 94930

415-415-250-4259

ARCHITECT:
Gary Millar- License #C-27250
46 Santa Barbara Ave
San Anselmo, CA 94960
415-250-9091

Civil Engineer- William J. Borlolo, license # C-75905
BKF Engineers
200 4th Street, Suite 300
Santa Rosa, CA 95401
707-583-8500

Geotechnical Engineer- Sarah Lockwood, RGH Consultants
License #2664
1305 North Dutton Ave.
Santa Rosa, CA 95401
707-544-1072

Arborist- Urban Forestry Associates, Inc. - Ben Anderson
415-454-4212, email- ben@urbanforestryassociates.com

Surveyor - Kevin D Nickolas, License #L 7392 Grant Line Land Surveying
925-457-1734
gisurveys@comcast.net

Planning Data	
	Proposed
Lot size	393,782
SIZE OF STRUCTURE (building footprint) (defined as lot coverage)	
Primary Residence	3,347 s.f.
ADU	997 s.f.
JADU	492 s.f.
Garage	500 s.f.
TOTAL SIZE OF STRUCTURE	5,336 s.f.
Height and number of stories- residence	2 stories- 28'±
Height and number of stories- ADU	1 story- 16'
Height and number of stories- garage	1 story- 15'-3"±
Number of parking spaces	6
size of spaces	9' x 19'
FAR AND LOT COVERAGE STATS.	
FLOOR AREAS	
Primary residence (first & second floor)	3,491 s.f.
JADU	exempt
ADU	997
Garage (500 s.f.)	0 s.f.
TOTAL (for FAR calculation)	4,488 s.f.
IMPERVIOUS SURFACE AREAS	
Walkways and stairs	497
Patios	0
Impervious decks	1,299
total size of structure (from above)	5,336
TOTAL (for lot coverage calc.)	7,132 s.f.
Floor Area Ratio (40% max.)	4,488 / 393,782 = 1.14%
Lot coverage (35% max)	8,245 / 393,782 = 2%

Note: Maximum Floor Area allowable based on site square footage would be 40% of 393,782 = 157,523 square feet.
Maximum Lot Coverage allowable based on site square footage would be 35% of 393,782 = 137,824 square feet.

INDEX OF DRAWINGS

- 1- TITLE PAGE-VICINITY MAP-SCOPE OF WORK
- 1.1- SITE PLAN
- 1.2- SITE PLAN- BUILDING SITE DETAIL
- 1.3- TOPOGRAPHY
- 1.4- BUILDING SITE TOPO
- 1.5- SITE SECTIONS
- 2- PRIMARY RESIDENCE FLOOR PLAN
- 2.1- PRIMARY RESIDENCE LIVING AREA/JADU PLAN
- 2.2- PRIMARY RESIDENCE BEDROOM WING PLAN
- 3- PRIMARY RESIDENCE ROOF PLAN
- 4- PRIMARY RESIDENCE ELEVATIONS
- 4.1- PRIMARY RESIDENCE ELEVATIONS, SECTIONS
- 4.2- PRIMARY RESIDENCE ELEVATIONS, SECTIONS
- 4.3- PRIMARY RESIDENCE SECTIONS
- 5- GARAGE PLANS, SECTIONS
- 5.1- GARAGE ELEVATIONS
- 6- ADU PLANS, SECTION
- 6.1- ADU ELEVATIONS
- 7- EXTERIOR FINISHES AND MATERIALS
- 8- RENDERINGS
- C-1 CIVIL ENGINEERING PROJECT INFORMATION
- C-2 GRADING AND DRAINAGE PLAN
- C-3 DRIVEWAY PROFILE
- C-4 ROADWAY DETAILS
- C-5 EROSION AND SEDIMENT CONTROL PLAN
- T-1.0 TREE PROTECTION MANAGEMENT PLAN
- T-1.1 TREE PROTECTION MANAGEMENT PLAN
- T-2 LANDSCAPE ZONES AND LANDSCAPE NOTES
- T-2.1 LANDSCAPE PLAN AND PLANT LIST
- V-1 VEGETATION MANAGEMENT PLAN
- TOPO- TOPOGRAPHIC SURVEY

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MILLAR ARCHITECTURE

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46 SANTA BARBARA AVE.
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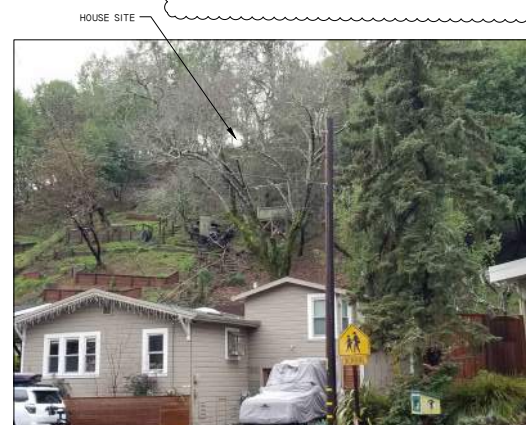
TITLE SHEET

NEW RESIDENCE
QUIRIE FAMILY
12 BARKER AVENUE
FAIRFAX, CALIFORNIA
A.P. #002-071-01

DATE: 12/30/2022
SCALE: AS NOTED
DRAWN: GRM
JOB: QUIRIE



1. 90 Porteous Avenue



2. View from intersection of Wood Lane and Porteous Ave.



3. View between 7 and 15 Wood Lane



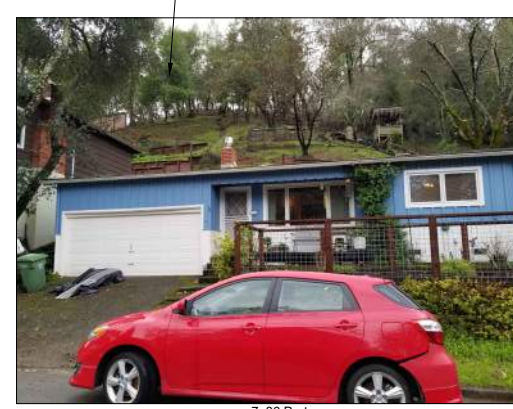
4. 31 Wood Lane



5. 39 Wood Lane



6. 1 Wood Lane



7. 86 Porteous

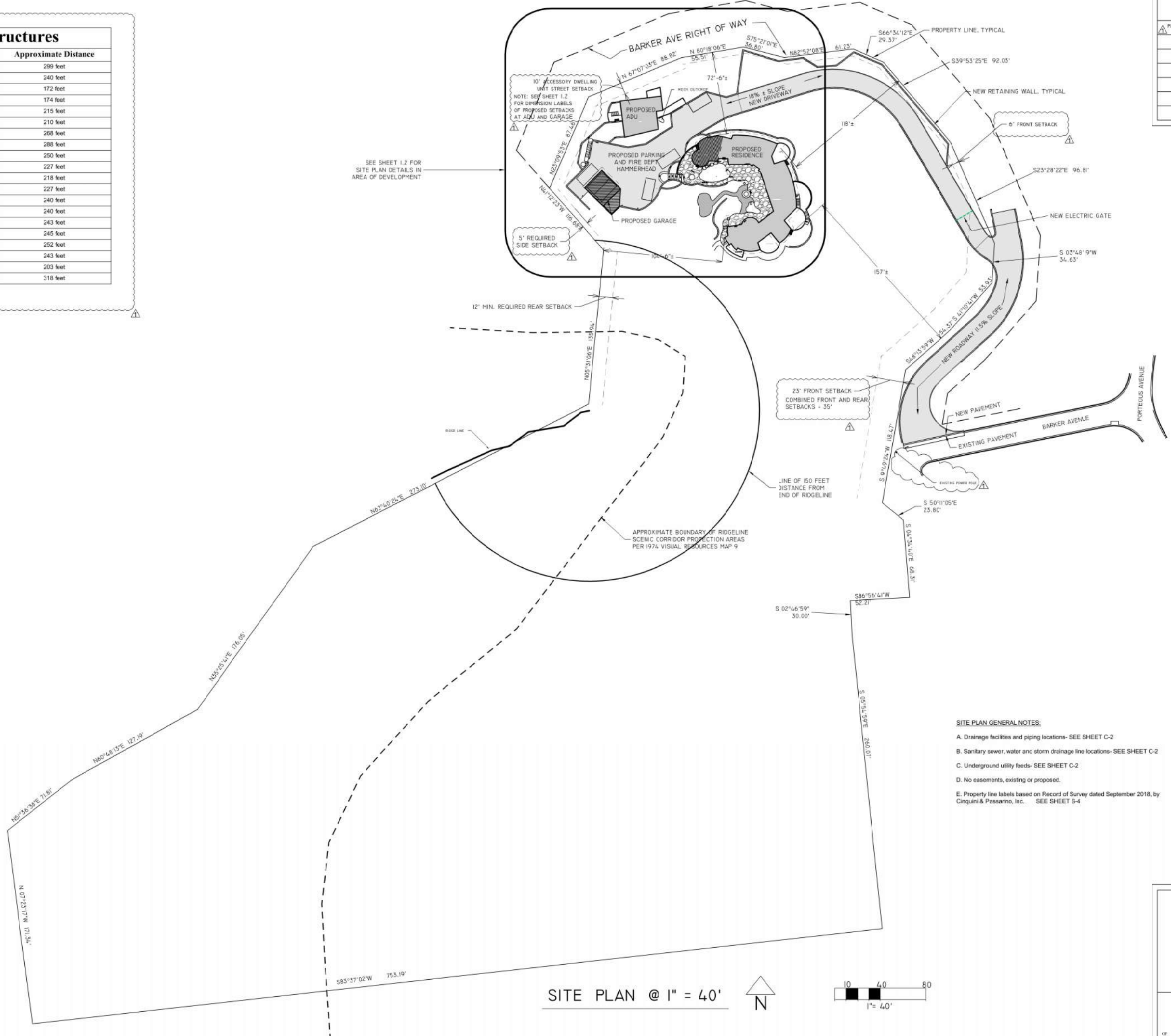


8. House Site from Barker Ave.

SITE CONTEXT PHOTOS

Distances to Adjacent Structures

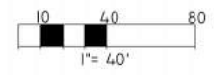
Address	Closest Proposed Structure	Approximate Distance
53 Wood Lane	Garage	299 feet
39 Wood Lane	ADU	240 feet
31 Wood Lane	ADU	172 feet
29 Wood Lane	ADU	174 feet
15 Wood Lane	ADU	215 feet
7 Wood Lane	ADU	210 feet
1 Wood Lane	ADU	268 feet
1 Wood Lane	Primary Residence	288 feet
82 Porteous	Primary Residence	250 feet
86 Porteous	Primary Residence	227 feet
90 Porteous	Primary Residence	218 feet
94 Porteous	Primary Residence	227 feet
98 Porteous	Primary Residence	240 feet
104 Porteous	Primary Residence	240 feet
106 Porteous	Primary Residence	243 feet
112 Porteous	Primary Residence	245 feet
120 Porteous	Primary Residence	252 feet
4 Barker Ave	Primary Residence	243 feet
10 Barker Ave	Primary Residence	203 feet
11 Barker Ave	Primary Residence	318 feet



SEE SHEET I.2 FOR SITE PLAN DETAILS IN AREA OF DEVELOPMENT

SITE PLAN GENERAL NOTES:
 A. Drainage facilities and piping locations- SEE SHEET C-2
 B. Sanitary sewer, water and storm drainage line locations- SEE SHEET C-2
 C. Underground utility feeds- SEE SHEET C-2
 D. No easements, existing or proposed.
 E. Property line labels based on Record of Survey dated September 2018, by Cinquini & Passarino, Inc. SEE SHEET 5-4

SITE PLAN @ 1" = 40'



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 millargary07@gmail.com

SITE PLAN

**NEW RESIDENCE
 QUIRIE FAMILY
 12 BARKER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #002-071-01**

DATE: 12/30/2022
 SCALE: AS NOTED
 DRAWN: GRM
 FOR: QUIRIE



1.1
 SHEETS



- SITE PLAN GENERAL NOTES:**
- A. Drainage facilities and piping locations- SEE SHEET C-2
 - B. Sanitary sewer, water and storm drainage line locations- SEE SHEET C-2
 - C. Underground utility feeds- SEE SHEET C-2
 - D. Principal Residence floor plans SEE SHEETS 2.2.1, 2.2.
 - E. Garage floor plans- SEE SHEET 5
 - F. Accessory Dwelling Unit floor plans- SEE SHEET 6

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SITE PLAN BUILDING SITE

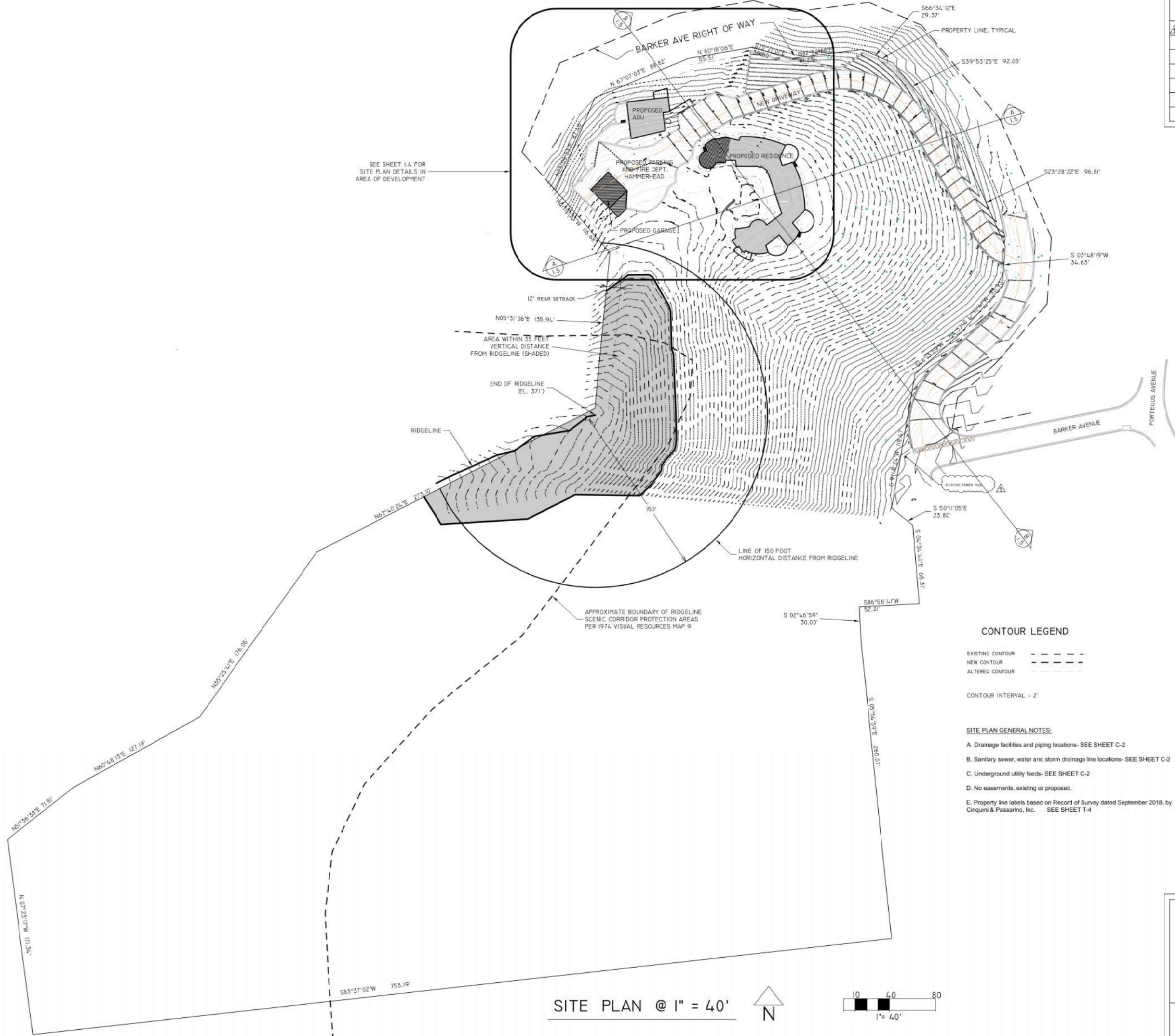
NEW RESIDENCE QUIRRE FAMILY
 12 BARKER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #002-071-01

DATE 12/30/2022
 SCALE AS NOTED
 DRAWN GRM
 FOR QUIRRE



1.2
SHEETS

SITE PLAN @ 1/8" = 1'-0"



SEE SHEET I.A FOR SITE PLAN DETAILS IN AREA OF DEVELOPMENT

CONTOUR LEGEND

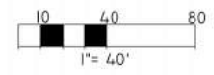
- EXISTING CONTOUR
- NEW CONTOUR
- ALTERED CONTOUR

CONTOUR INTERVAL = 2'

SITE PLAN GENERAL NOTES:

- A. Drainage facilities and piping locations- SEE SHEET C-2
- B. Sanitary sewer, water and storm drainage line locations- SEE SHEET C-2
- C. Underground utility feeds- SEE SHEET C-2
- D. No easements, existing or proposed.
- E. Property line labels based on Record of Survey dated September 2018, by Cinquini & Pessarino, Inc. SEE SHEET T-4

SITE PLAN @ 1" = 40'



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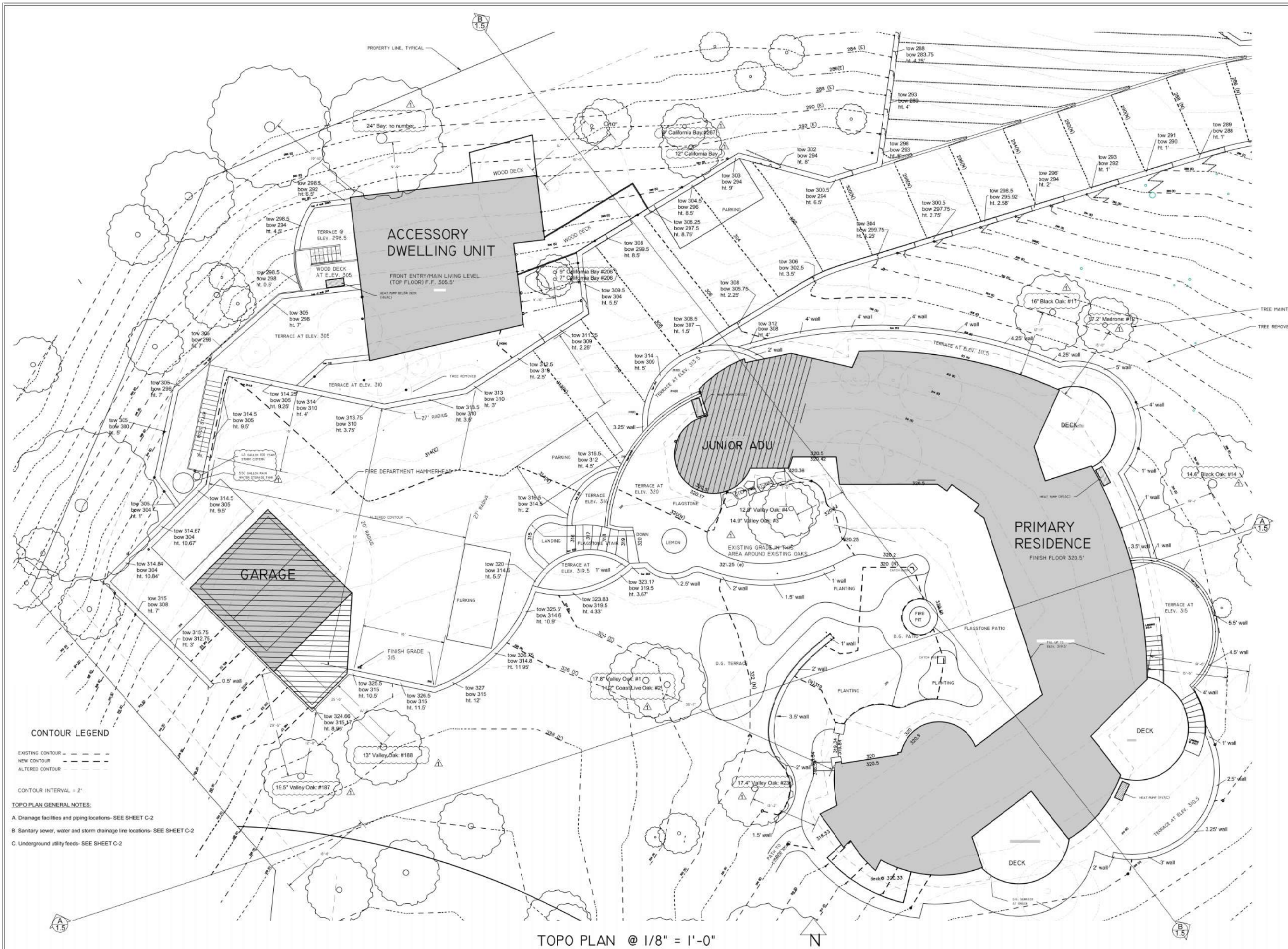
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SITE TOPOGRAPHY

NEW RESIDENCE
QUIRIE FAMILY
 12 BARKER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #002-071-01

DATE	12/30/2022
SCALE	AS NOTED
DRAWN	GRM
JOB	QUIRIE





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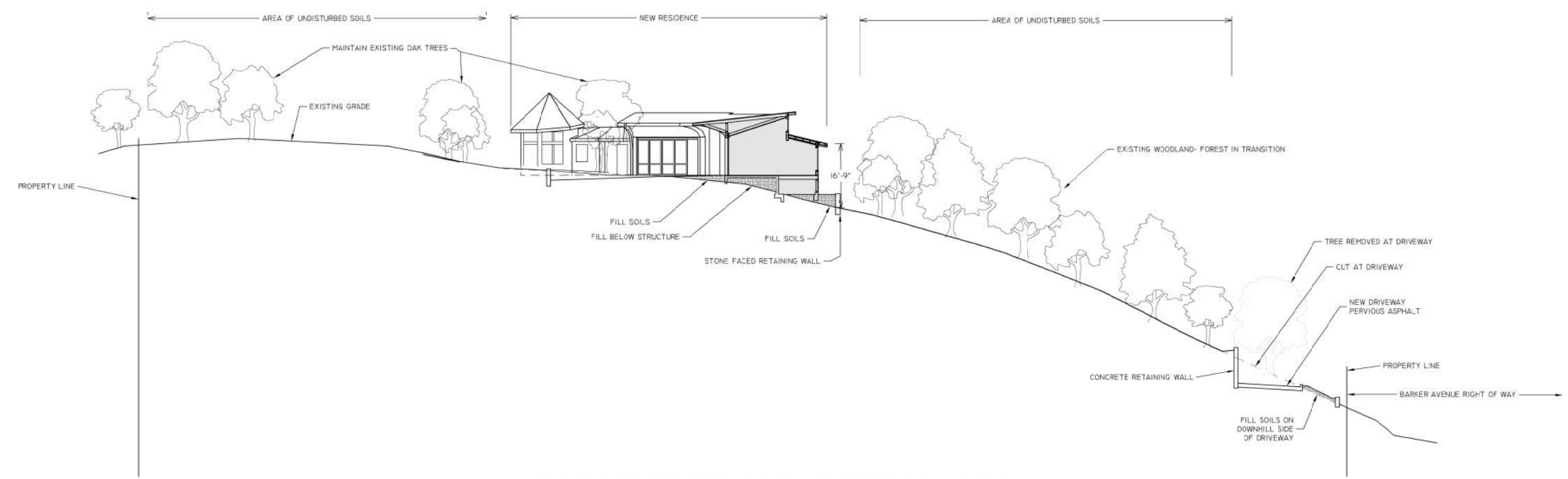
BUILDING SITE TOPOGRAPHY

NEW RESIDENCE QUIRRE FAMILY
12 BARKER AVENUE
FAIRFAX, CALIFORNIA
A.P. #002-071-01

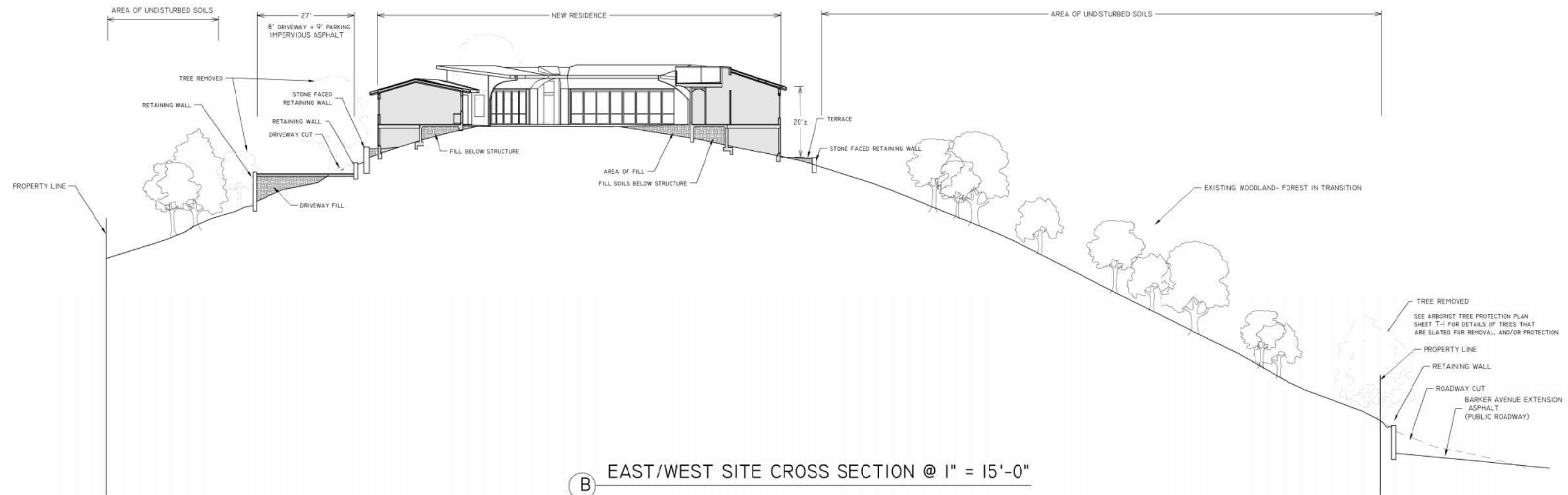
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SCALE AS NOTED
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JOB QUIRRE



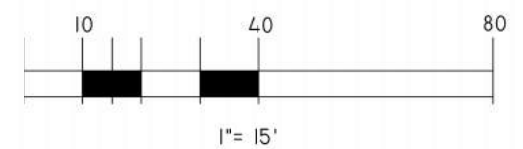
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A NORTH/SOUTH SITE CROSS SECTION @ 1" = 15'-0"



B EAST/WEST SITE CROSS SECTION @ 1" = 15'-0"



SITE SECTION GENERAL NOTES:
 A. SEE SHEET T-1 TREE PROTECTION PLAN, for full illustration of trees that are being removed and trees that are being protected during the course of construction
 B. SEE SHEET V-1 VEGETATION MANAGEMENT PLAN, for illustration of areas being impacted by fuel reduction and fire safety measures.

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SITE CROSS SECTION

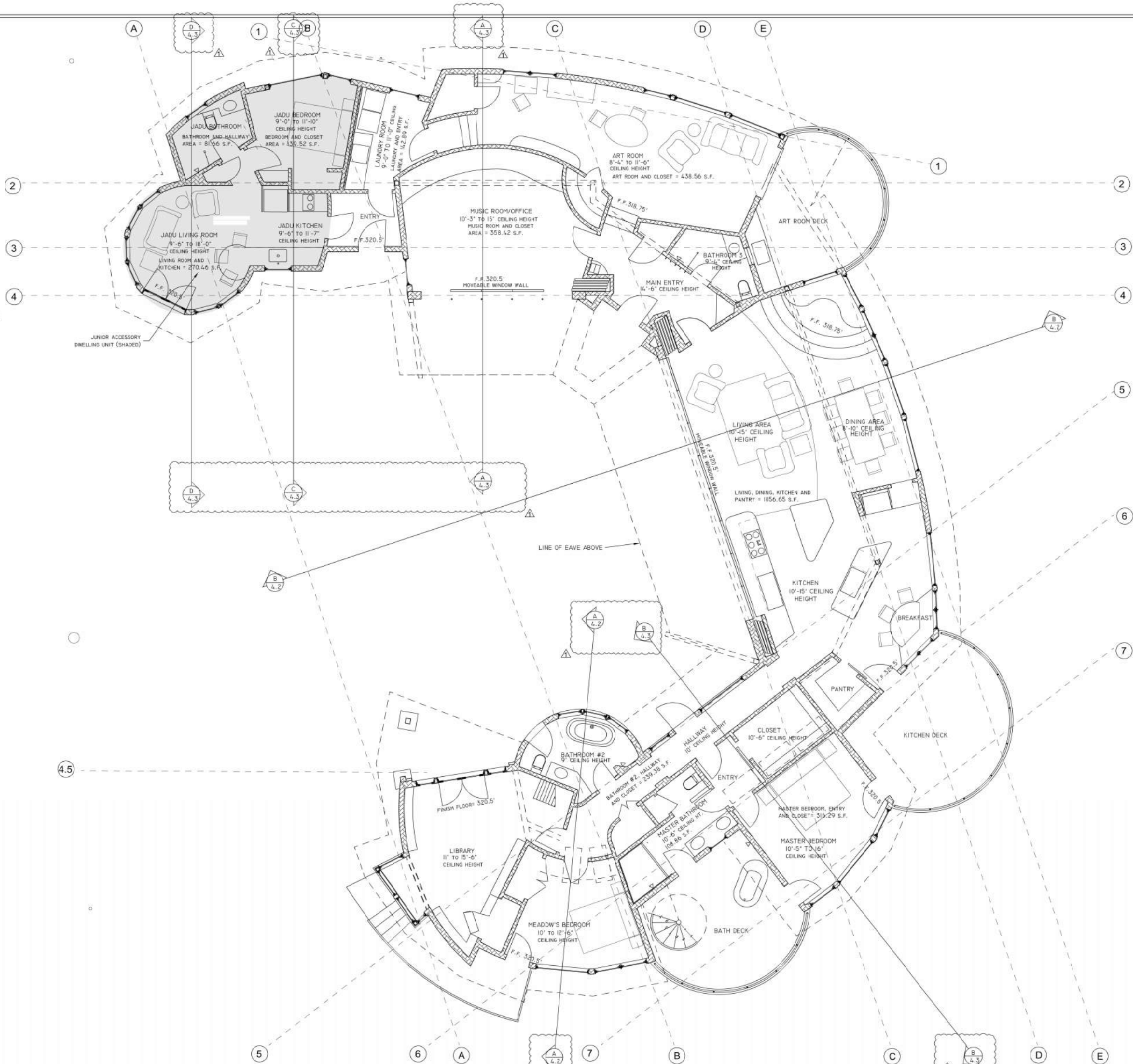
NEW RESIDENCE
QUIRIE FAMILY
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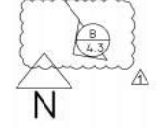


TABULATION OF FLOOR AREAS	
JADU Living and Kitchen	270.46
JADU Bath and Hall	81.66
JADU Bedroom	+ 139.52
total	491.64
Main Residence: Laundry and Entry	142.88
Art Room and Closet	438.56
Music Room and Closet	358.42
Entry and Bathroom	198
Kitchen, Living, Dining, Pantry	1056.65
Master Bedroom, Entry and Closet	316.29
Master Bath and Linen	108.86
Bathroom and Hallway	239.38
Bedroom #2	188.31
Bedroom #3	299.31
Lot	+ 143.74
total	3,490.81

Notes:
See Sheet 2.1 for dimensioned detail plan of the Living Areas and Junior Accessory Dwelling Unit
See Sheet 2.2 for dimensioned detail plan of the Bedroom Wing



MAIN RESIDENCE PLAN @ 3/16" = 1'-0"



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**MAIN FLOOR PLAN
PRINCIPAL RESIDENCE**

**NEW RESIDENCE
QUIRIE FAMILY**
12 BARBER AVENUE
FAIRFAX, CALIFORNIA
A.P. #002-071-01

DATE 12/30/2022
SCALE AS NOTED
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JOB QUIRIE



SYMBOLS LEGEND

SHEET NOTE

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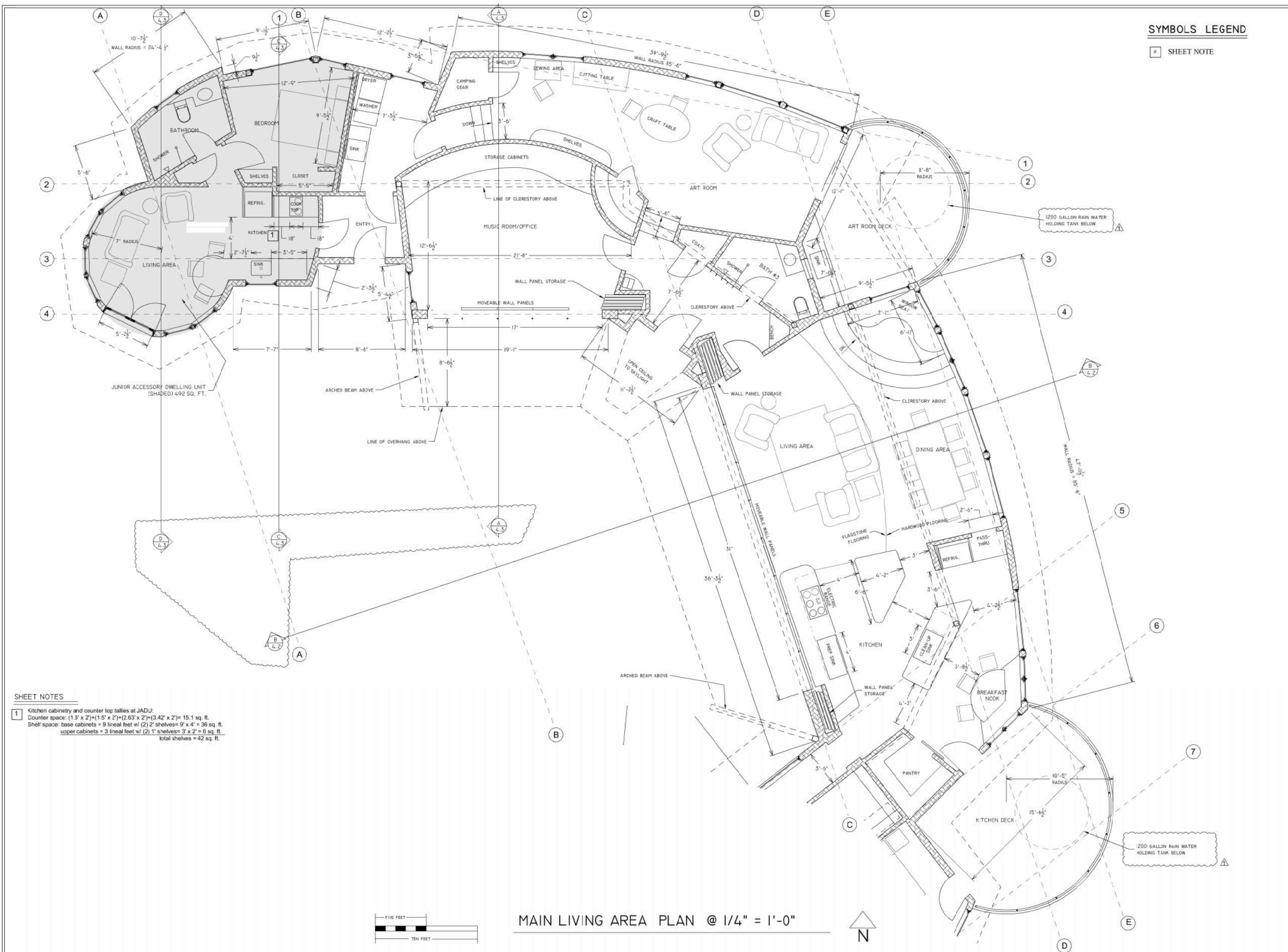
**FIRST FLOOR PLAN
 MAIN LIVING AREA
 JUNIOR ADU**

**NEW RESIDENCE
 QUIRIE FAMILY
 12 BARKER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #002-071-01**

DATE 12/30/2022
 SCALE AS NOTED
 DRAWN GRM
 FOR QUIRIE



2.1
 SHEETS



SHEET NOTES

- 1 Kitchen cabinetry and counter top tallies at JADU:
 Counter space: $(1.5' \times 2') + (1.5' \times 2') + (2.63' \times 2') + (3.42' \times 2') = 15.1$ sq. ft.
 Shelf space: base cabinets = 9 linear feet w/ (2) 2' shelves = $9' \times 4' = 36$ sq. ft.
 upper cabinets = 3 linear feet w/ (2) 1' shelves = $3' \times 2' = 6$ sq. ft.
 total shelves = 42 sq. ft.



MAIN LIVING AREA PLAN @ 1/4" = 1'-0"



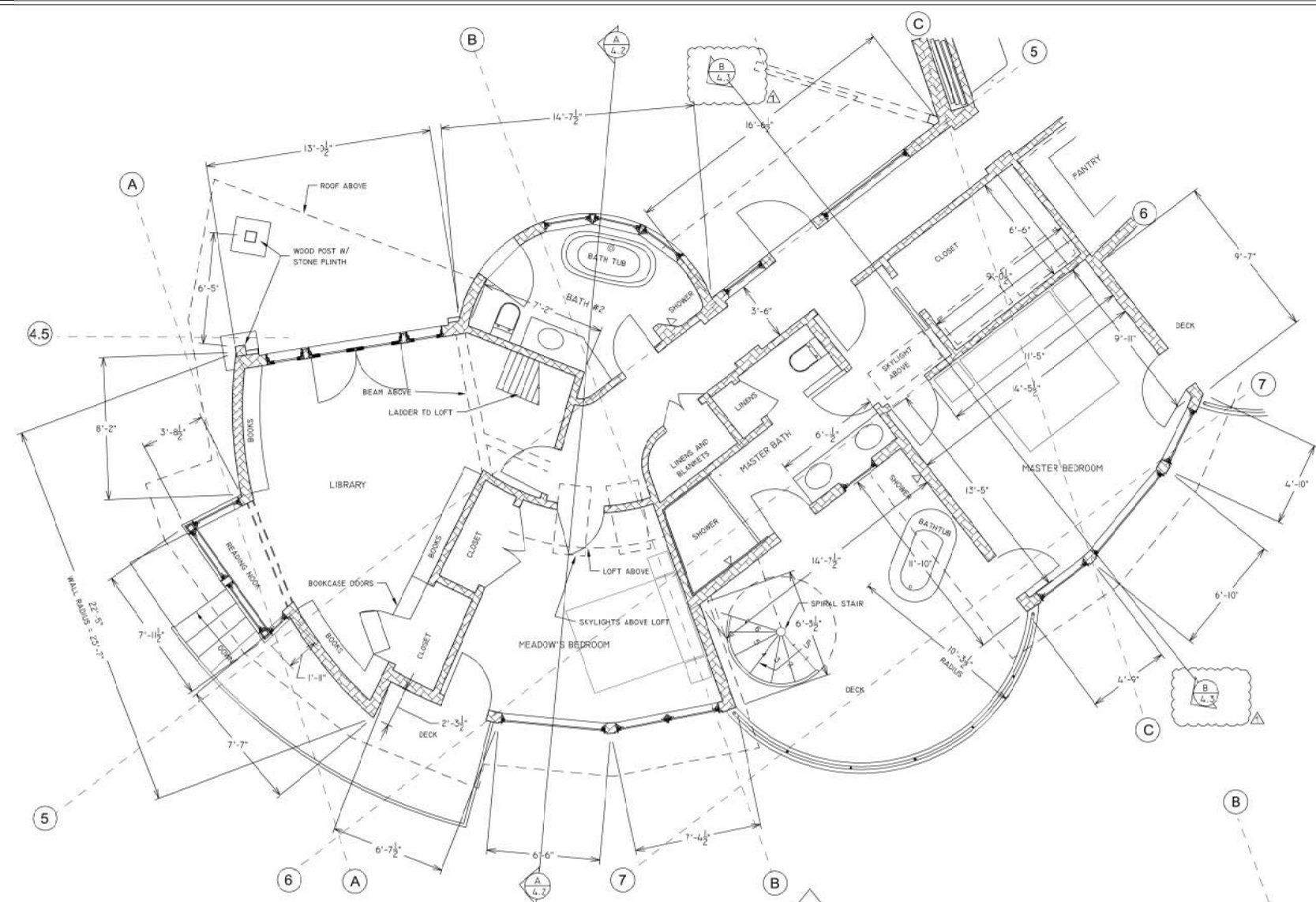
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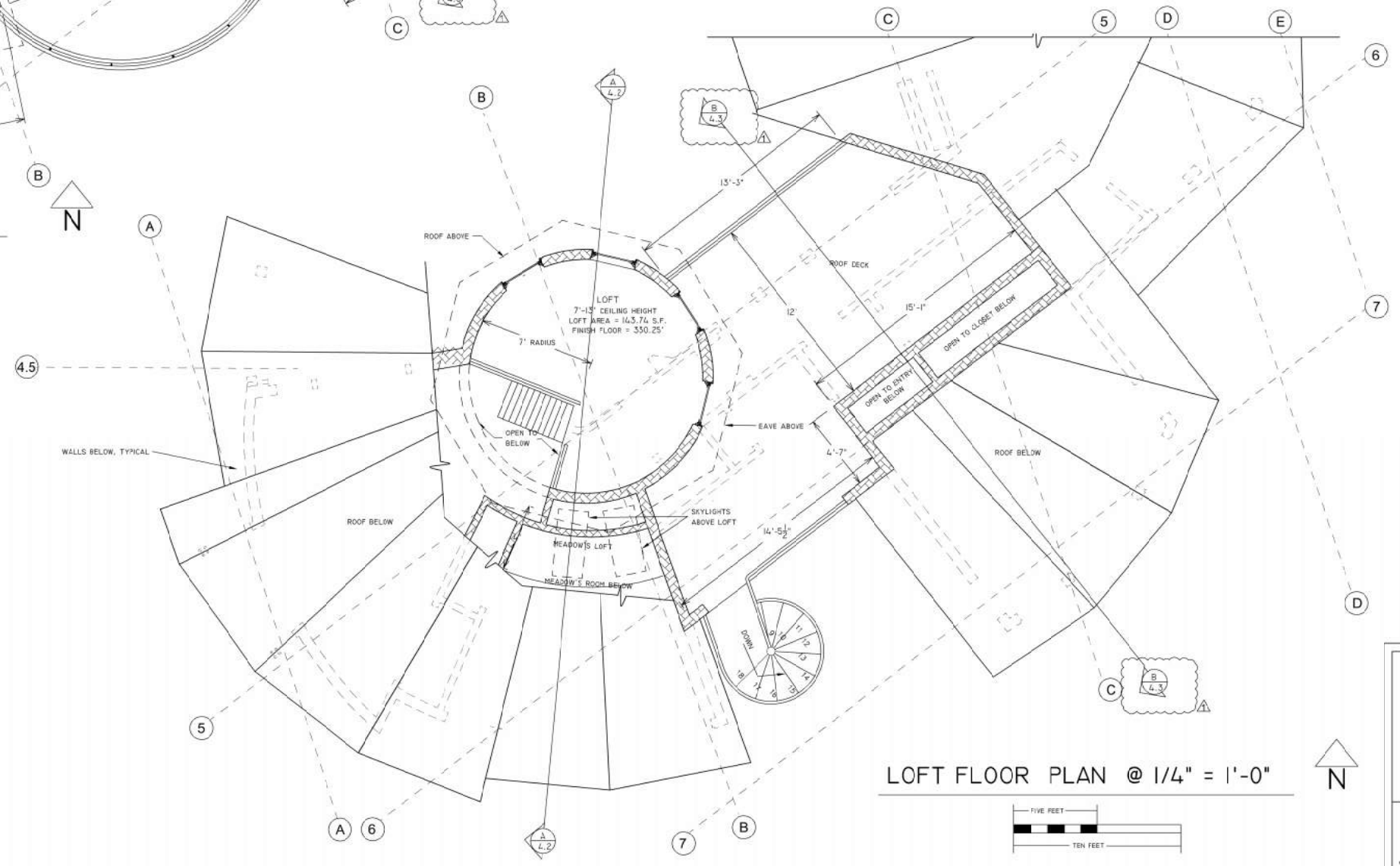
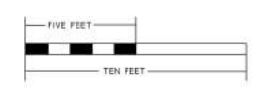
**FIRST FLOOR PLAN
 BEDROOM WING**

**NEW RESIDENCE
 QUIRIE FAMILY
 12 BARKER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #002-071-01**

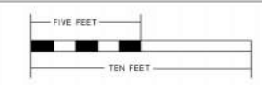
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 DRAWN GRM
 JOB QUIRIE

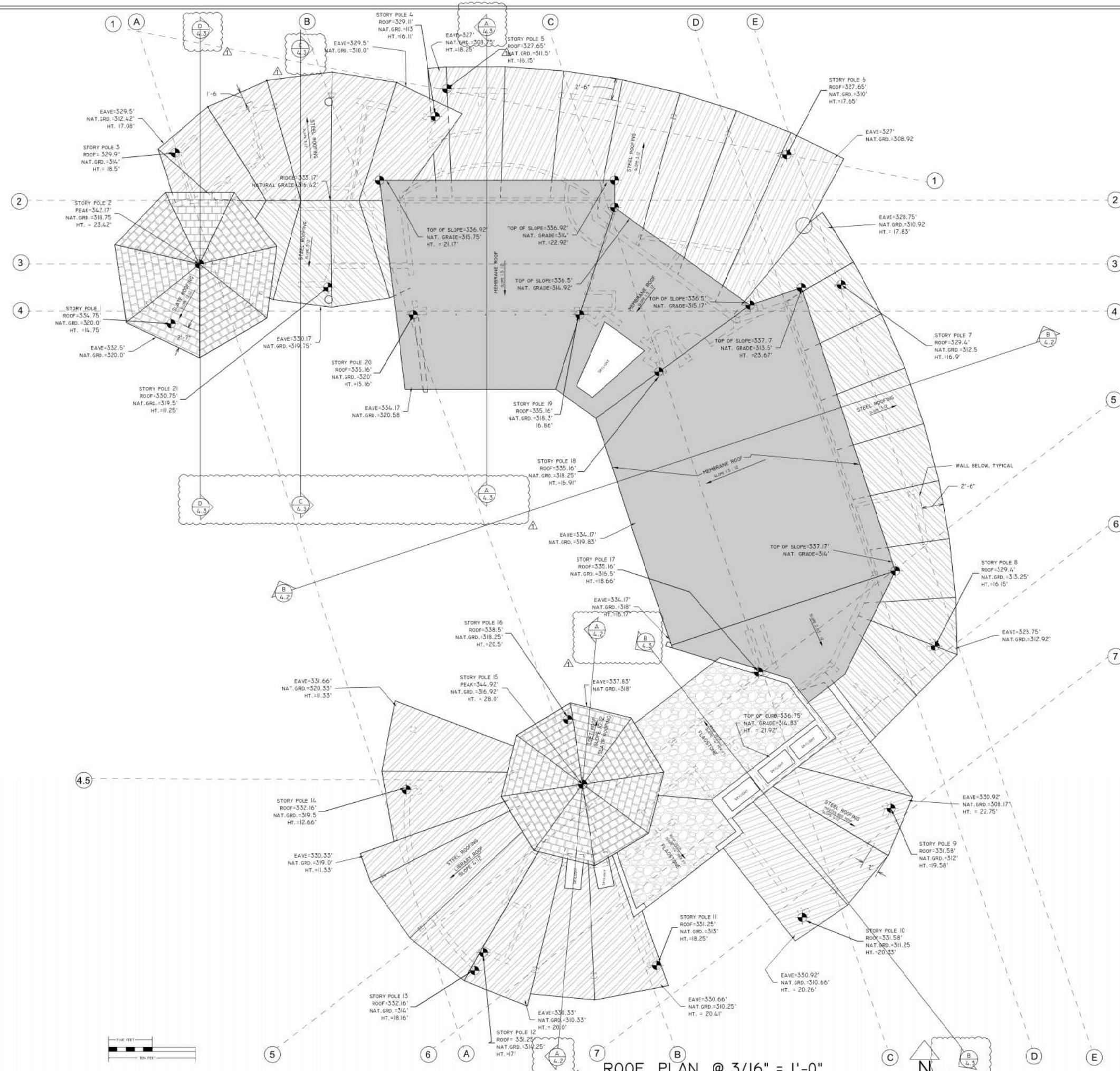


BEDROOM WING FLOOR PLAN @ 1/4" = 1'-0"



LOFT FLOOR PLAN @ 1/4" = 1'-0"





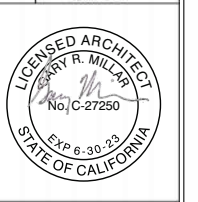
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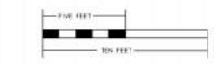
ROOF AND STORY POLE PLAN
PRINCIPAL RESIDENCE

NEW RESIDENCE
QUIRIE FAMILY
 12 BARKER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #002-071-01

DATE 12/30/2022
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ROOF PLAN @ 3/16" = 1'-0"



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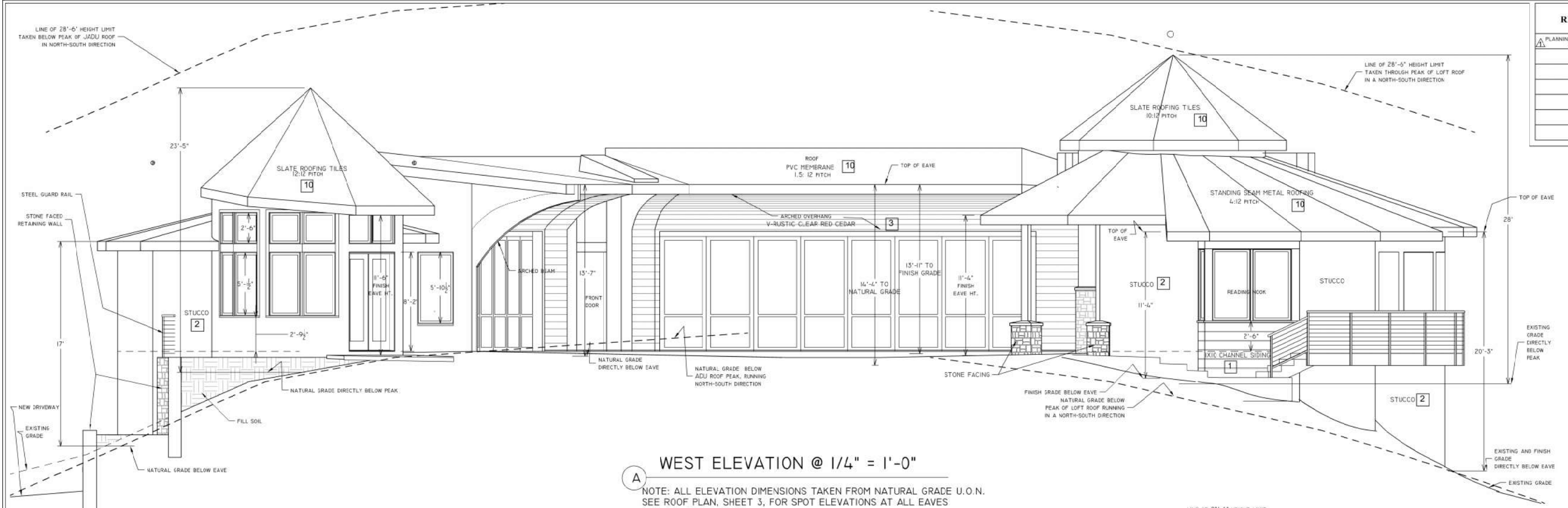
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ELEVATIONS
PRINCIPAL RESIDENCE

NEW RESIDENCE
QUIRIE FAMILY
12 BARKER AVENUE
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A.P. #002-071-01

DATE 12/30/2022
SCALE AS NOTED
DRAWN GRM
JOB QUIRIE



WEST ELEVATION @ 1/4" = 1'-0"

NOTE: ALL ELEVATION DIMENSIONS TAKEN FROM NATURAL GRADE U.O.N. SEE ROOF PLAN, SHEET 3, FOR SPOT ELEVATIONS AT ALL EAVES AND ALL RIDGE LINES.

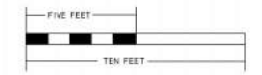


BEDROOM NORTH ELEVATION @ 1/4" = 1'-0"

MUSIC AND JADU SOUTH ELEVATION @ 1/4" = 1'-0"

SHEET NOTES- WILDLAND URBAN INTERFACE MATERIALS

- 1x10 Horizontal Siding shall be Artisan Square Channel Siding, manufactured by James Hardie. Fiber-cement product with WUI certification, non-combustible. OSFM Listing #8140-2026-0002
- Stucco siding shall be a three coats cement plaster applied over metal lath. Non-combustible material complying with UBC 707A.3 for exterior wall covering. Fourth coat on stucco shall be an acrylic color coat.
- V-rustic Clear Red Cedar siding shall be nominal 8" wide and nominal 1" thick boards made with Western Red Cedar. Siding shall be installed over structural plywood with a minimum 1/2" thickness. Butt joints between pieces shall be staggered a minimum of 12", and all butt joints shall be flush, with no gap. WUI certified, OSFM Listing #8140-2084-0005.
- Stone Facing shall be 3/4" to 1-1/4" veneer installed over two coats of cement plaster over metal lath. Assembly is combustible complying with UBC 707A.3 for exterior wall covering.
- Open roof eaves shall consist of 4x rafter tails with 1x8 v-rustic horizontal sheathing. Sheathing shall be painted pine, Bodyguard pattern #794. WUI certified, OSFM Listing #8140-2026-0002.
- Board on Board siding shall be 3/8" Smooth Dream Collection fiber-cement board manufactured by James Hardie. Non-combustible complying with UBC 707A.3 for exterior wall covering.
- Wood deck surfaces shall be 2x6 Heart "B" redwood, installed on 2x6 minimum solid "Douglas Fir" or better joists spaced 24" or less on center. WUI certified, OSFM Listing #8110-2041-0002.
- Roof-deck surfaces shall be Class A fire rated. Roof membrane shall be Flexideck Waterproofing Deck System, Flexideck E-M.L. manufactured by Poly-Tuff Systems International. System is a fluid applied, TDI free polyurethane sand slurry mixture over mechanically-fastened-metal lath, in combination with a colored top coat.
- All roofing shall be Class A fire rated.
- Foundation, gable and continuous soffit vents shall be Vulcan Technologies fire resistant products. OSFM Listing #8165-2192-0500
- All exterior windows shall be constructed of multipane glazing with a minimum of one tempered pane per UBC 708A.2.1



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MILLAR ARCHITECTURE

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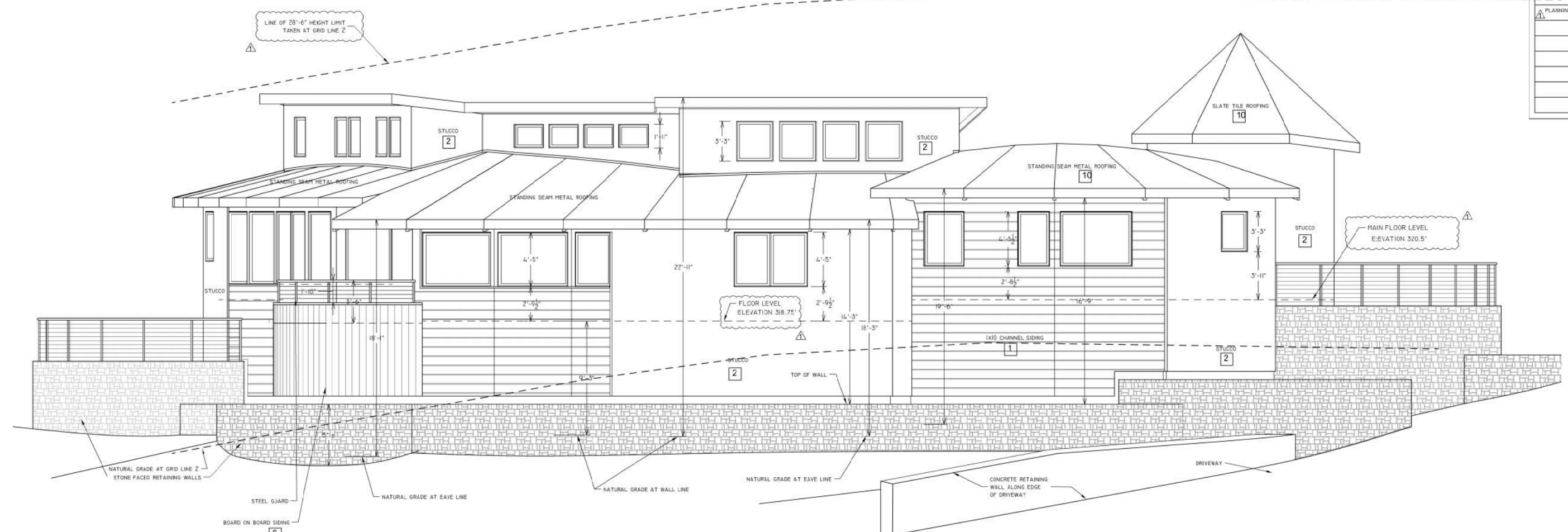
**ELEVATIONS
PRINCIPAL RESIDENCE**

**NEW RESIDENCE
QUIRIE FAMILY
12 BARKER AVENUE
FAIRFAX, CALIFORNIA
A.P. #002-071-01**

DATE: 12/30/2022
SCALE: AS NOTED
DRAWN: GRM
JOB: QUIRIE



4.1
SHEETS



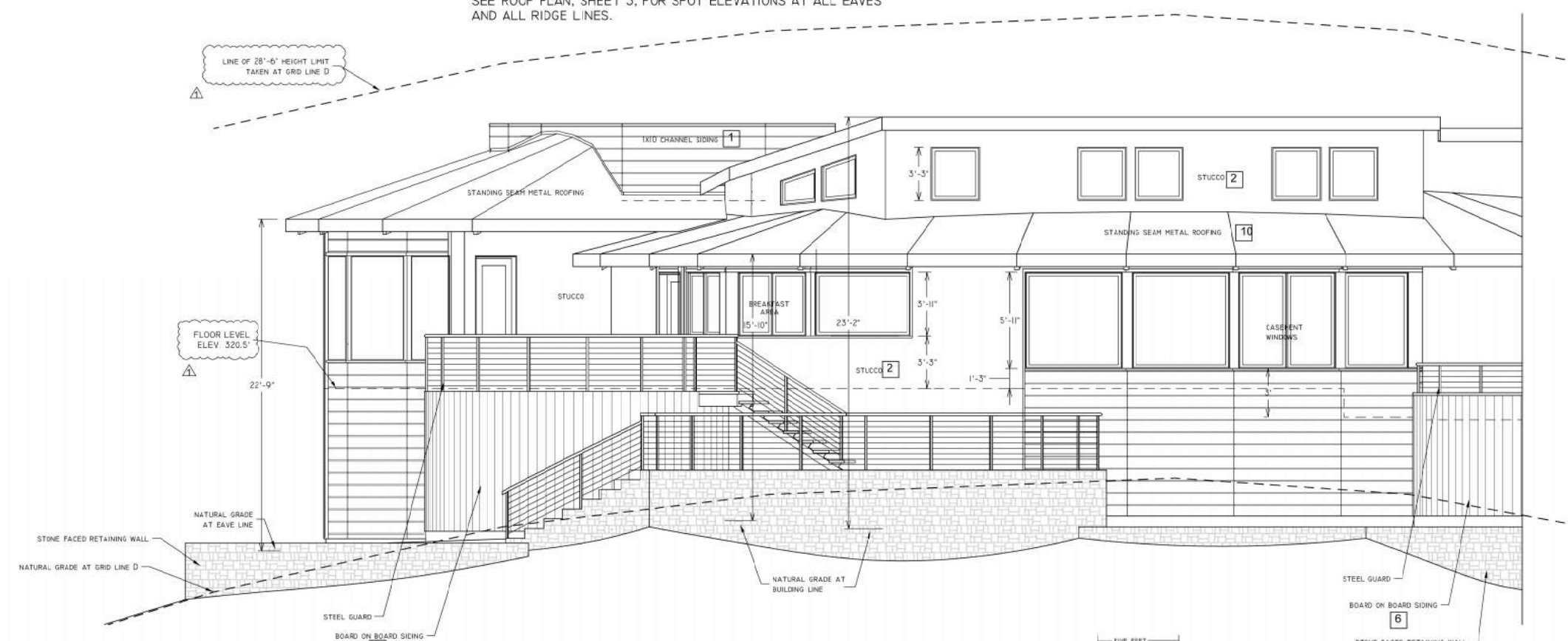
A CRAFT ROOM NORTH ELEVATION @ 1/4" = 1'-0"

NOTE: ALL ELEVATION DIMENSIONS TAKEN FROM NATURAL GRADE U.O.N. SEE ROOF PLAN, SHEET 3, FOR SPOT ELEVATIONS AT ALL EAVES AND ALL RIDGE LINES.

SHEET NOTES- WILDLAND URBAN INTERFACE MATERIALS

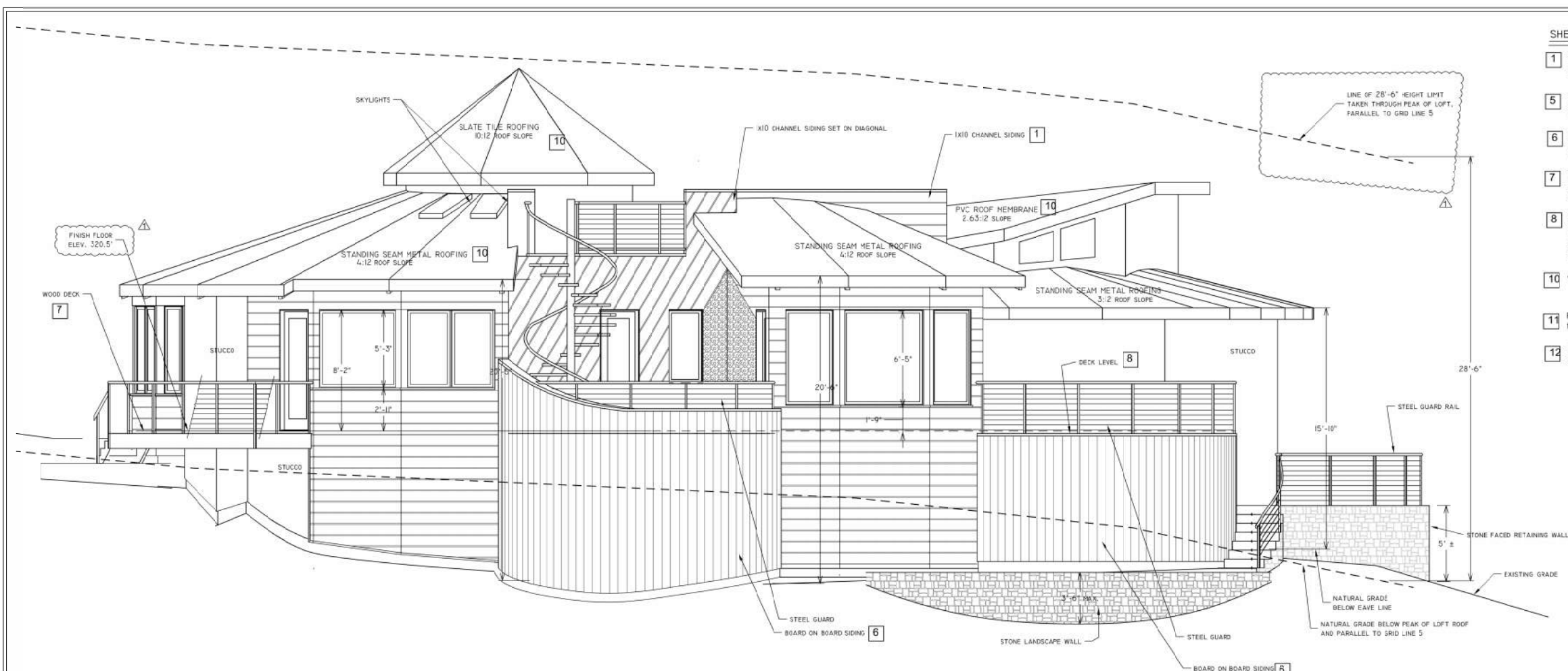
- 1 1X10 Horizontal Siding shall be Artisan Square Channel Siding, manufactured by James Hardie. Fiber-cement; product with WUI certification, non combustible. OSFM Listing #8140-2026.0002
- 2 Stucco siding shall be a three coats cement plaster applied over metal lath. Non-combustible material complying with UBC 707A.3 for exterior wall covering. Fourth coat on stucco shall be an acrylic color coat.
- 3 V-rustic Clear Red Cedar siding shall be nominal 8" wide and nominal 1" thick boards made with Western Red Cedar. Siding shall be installed over structural plywood with a minimum 5/8" thickness. Butt joints between pieces shall be staggered a minimum of 12", and all butt joints shall be flush, with no gap. WUI certified, OSFM Listing #8140-2084.0005.

V-rustic Clear Red Cedar siding installed on the underside of enclosed roof eaves and roof eave soffits shall be installed over one layer of 5/8" Type X gypsum sheathing.
- 4 Stone Facing shall be 3/4" to 1-1/4" veneer installed over two coats of cement plaster over metal lath. Assembly is combustible complying with UBC 707A.3 for exterior wall covering.
- 5 Open roof eaves shall consist of 4x rafter tails with 1x6 v-rustic horizontal sheathing. Sheathing shall be painted pine, Bodyguard pattern #794. WUI certified, OSFM Listing #8140-2026.0002.
- 6 Board on Board siding shall be 3/4" Smooth Dream Collection fiber-cement board manufactured by James Hardie. Non-combustible complying with UBC 707A.3 for exterior wall covering.
- 7 Wood deck surfaces shall be 2x6 Heart "B" redwood, installed on 2x6 minimum solid "Douglas Fir" or better joists spaced 24" or less on center. WUI certified, OSFM Listing #8110-2041.0002.
- 8 Roof-deck surfaces shall be Class A fire rated. Roof membrane shall be Flexdeck Waterproofing Deck System, Flexdeck E-ML, manufactured by Poly-Tuff Systems International. System is a fluid applied, TDI free polyurethane sand slurry mixture over mechanically-fastened-metal lath, in combination with a colored top coat.
- 10 All roofing shall be Class A fire rated.
- 11 Foundation, gable and continuous soffit vents shall be Vulcan Technologies fire resistant products. OSFM Listing #8165-2192.0500
- 12 All exterior windows shall be constructed of multipane glazing with a minimum of one tempered pane per UBC 708A.2.1



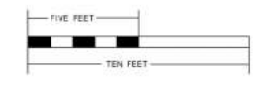
B PARTIAL EAST ELEVATION @ 1/4" = 1'-0"





A BEDROOM SOUTH ELEVATION @ 1/4" = 1'-0"

NOTE: ALL ELEVATION DIMENSIONS TAKEN FROM NATURAL GRADE U.O.N. SEE ROOF PLAN, SHEET 3, FOR SPOT ELEVATIONS AT ALL EAVES AND ALL RIDGE LINES.



SHEET NOTES- WILDLAND URBAN INTERFACE MATERIALS

- 1 1X10 Horizontal Siding shall be Arisan Square Channel Siding, manufactured by James Hardie. Fiber-cement product with WUI certification, non combustible. OSFM Listing #8140-2026.0002
- 5 Open roof eaves shall consist of 4x rafter tails with 1x6 v-rustic horizontal sheathing. Sheathing shall be painted pine, Bodyguard pattern #794. WUI certified, OSFM Listing #8140-2026.002
- 6 Board on Board siding shall be Smooth Dream Collection fiber-cement board manufactured by James Hardie. Non-combustible complying with UBC 707A.3 for exterior wall covering.
- 7 Wood deck surfaces shall be 2x6 Heart 'B' redwood, installed on 2x6 minimum solid "Douglas Fir" or better joists spaced 24" or less on center. WUI certified, OSFM Listing #8110-2041.0002
- 8 Roof-deck surfaces shall be Class A fire rated. Roof membrane shall be Flexideck Waterproofing Deck System, Flexideck E-ML, manufactured by Poly-Tuff Systems International. System is a fluid applied, TDI free polyurethane sand slurry mixture over mechanically-fastened-metal lath, in combination with a colored top coat.
- 10 All roofing shall be Class A fire rated.
- 11 Foundation, gable and continuous soffit vents shall be Vulcan Technologies fire resistant products. OSFM Listing #8165-2192.0500
- 12 All exterior windows shall be constructed of multipane glazing with a minimum of one tempered pane per UBC 706A.2.1

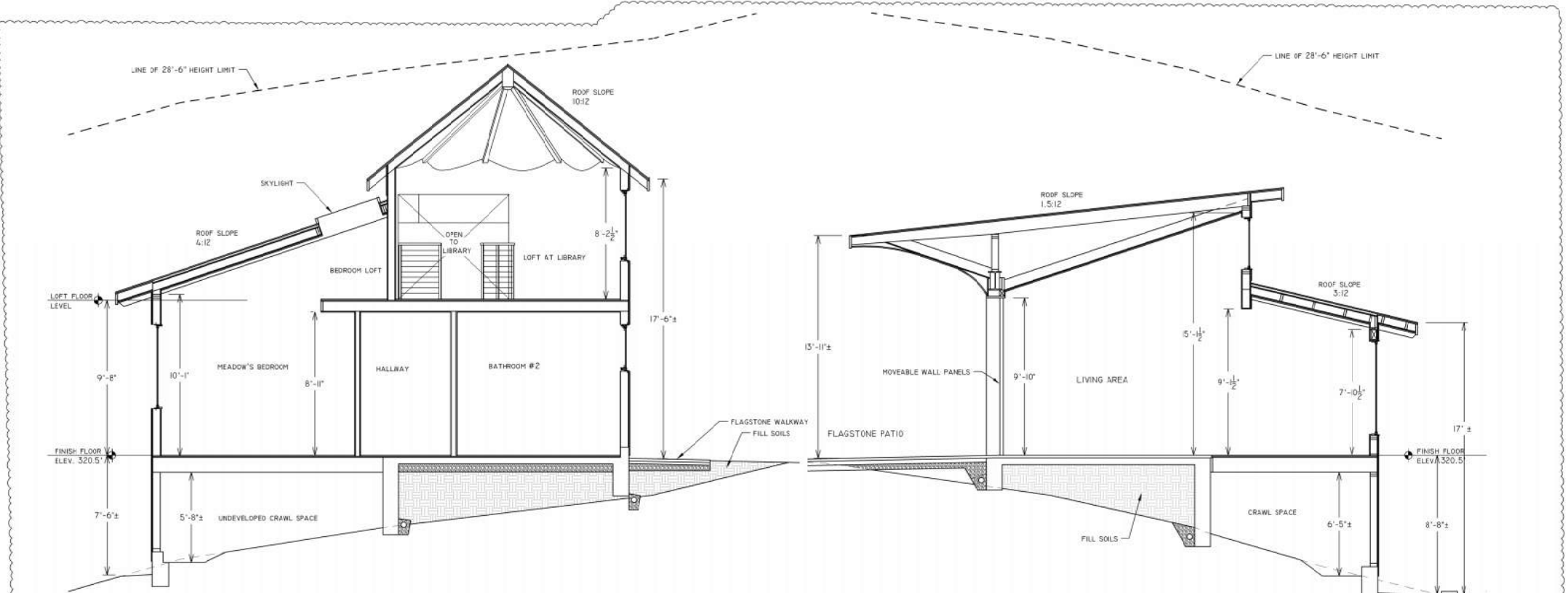
REVISIONS	BY
PLANNING DEPT. COMPLETENESS 6/7/2023	GRM

MILLAR ARCHITECTURE
 46 SANTA BARBARA AVE.
 SAN ANSELMO, CA. 94960
 TEL: 415-250-9091
 millargary0@gmail.com

ELEVATIONS SECTIONS
PRINCIPAL RESIDENCE

NEW RESIDENCE
QUIRIE FAMILY
 12 BARKER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #002-071-01

DATE 12/30/2022
 SCALE AS NOTED
 DRAWN GRM
 FOR QUIRIE



B SECTION AT MEADOW'S BEDROOM @ 1/4" = 1'-0"

C SECTION AT MAIN LIVING @ 1/4" = 1'-0"

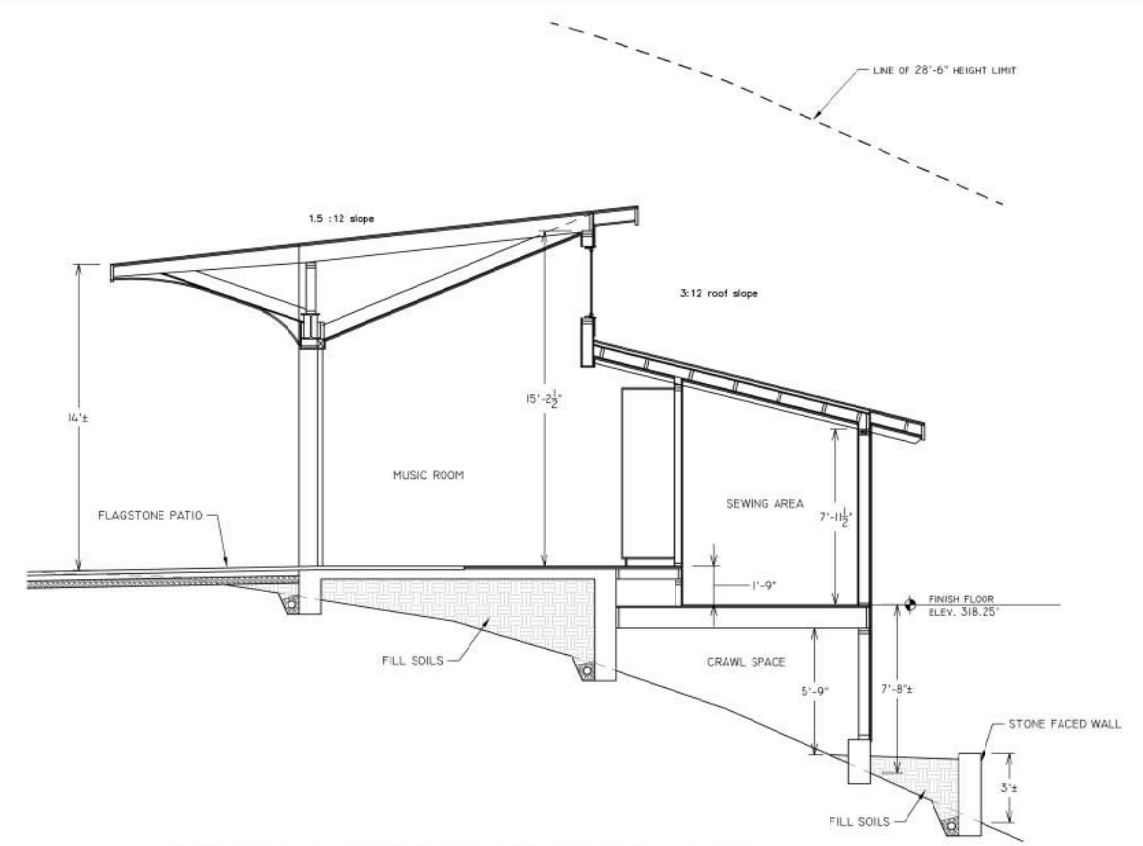
REVISIONS	BY

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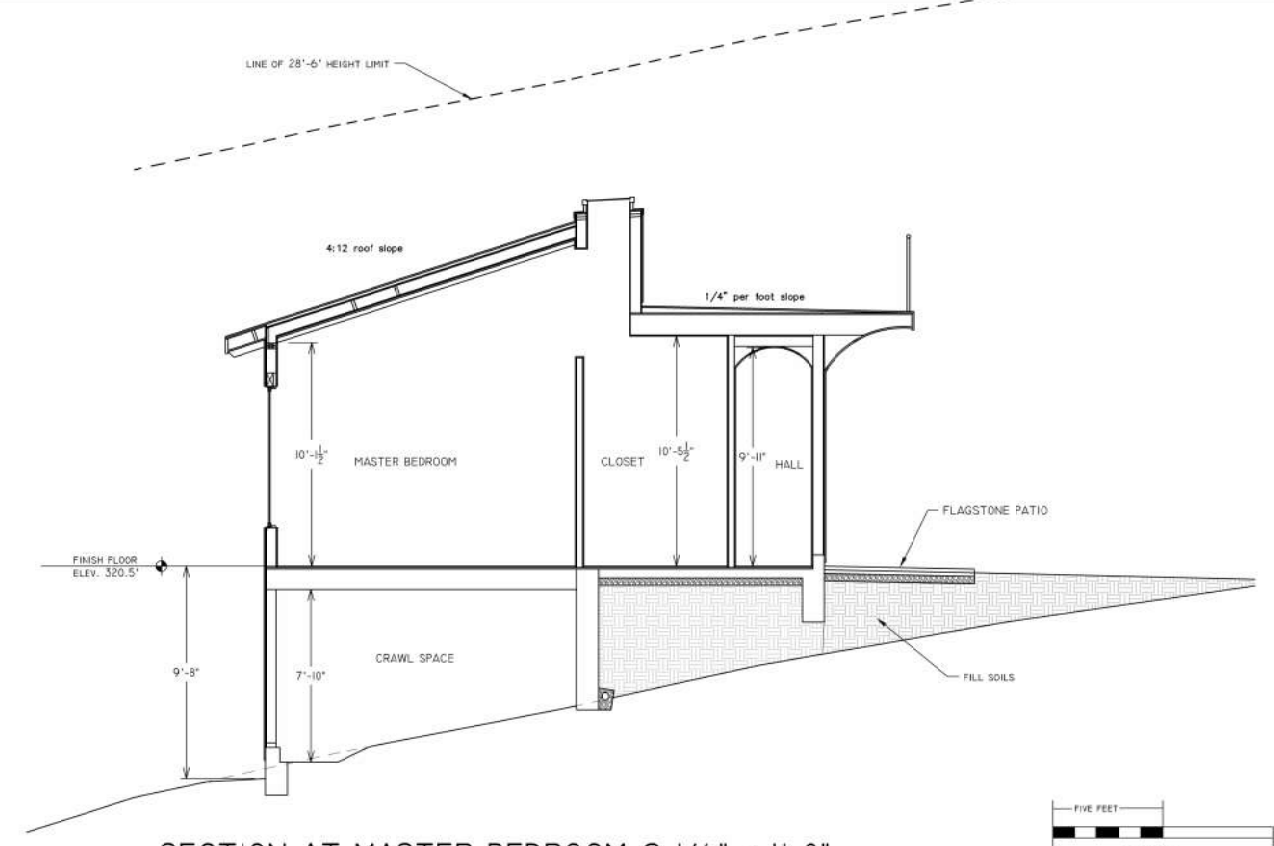
SECTIONS
PRINCIPAL RESIDENCE

NEW RESIDENCE
QUIRIE FAMILY
 12 BARKER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #002-071-01

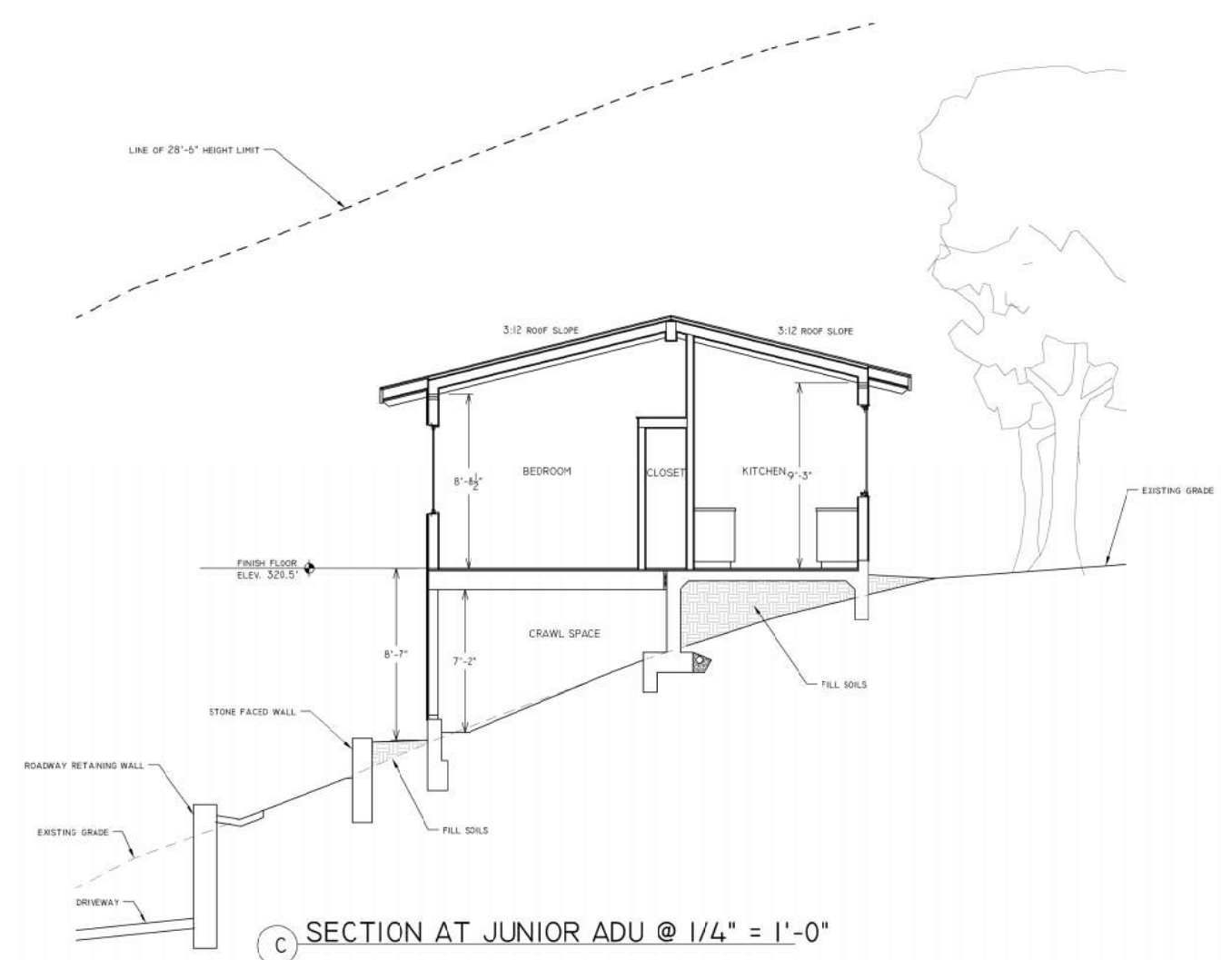
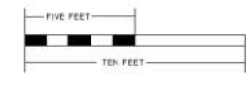
DATE 6/7/2023
 SCALE AS NOTED
 DRAWN GRM
 JOB QUIRIE



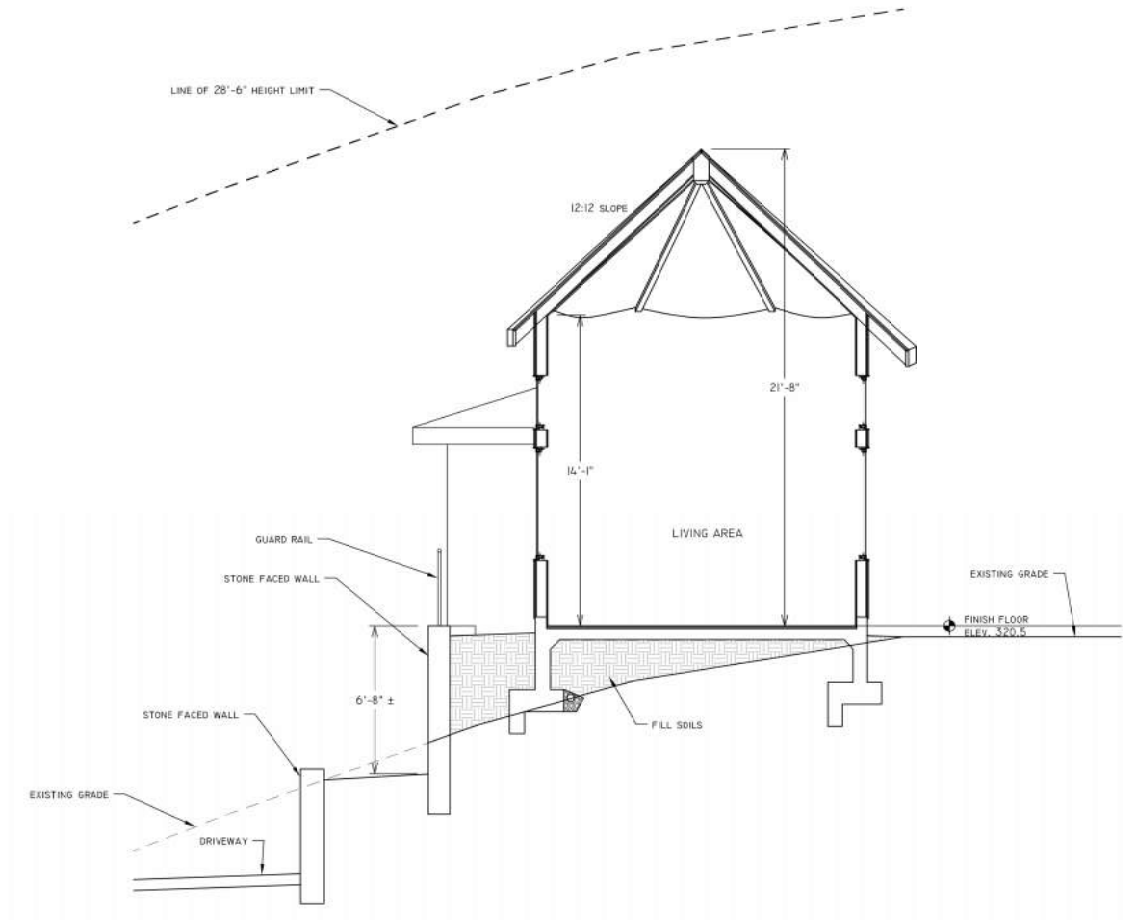
A SECTION AT MUSIC ROOM @ 1/4" = 1'-0"



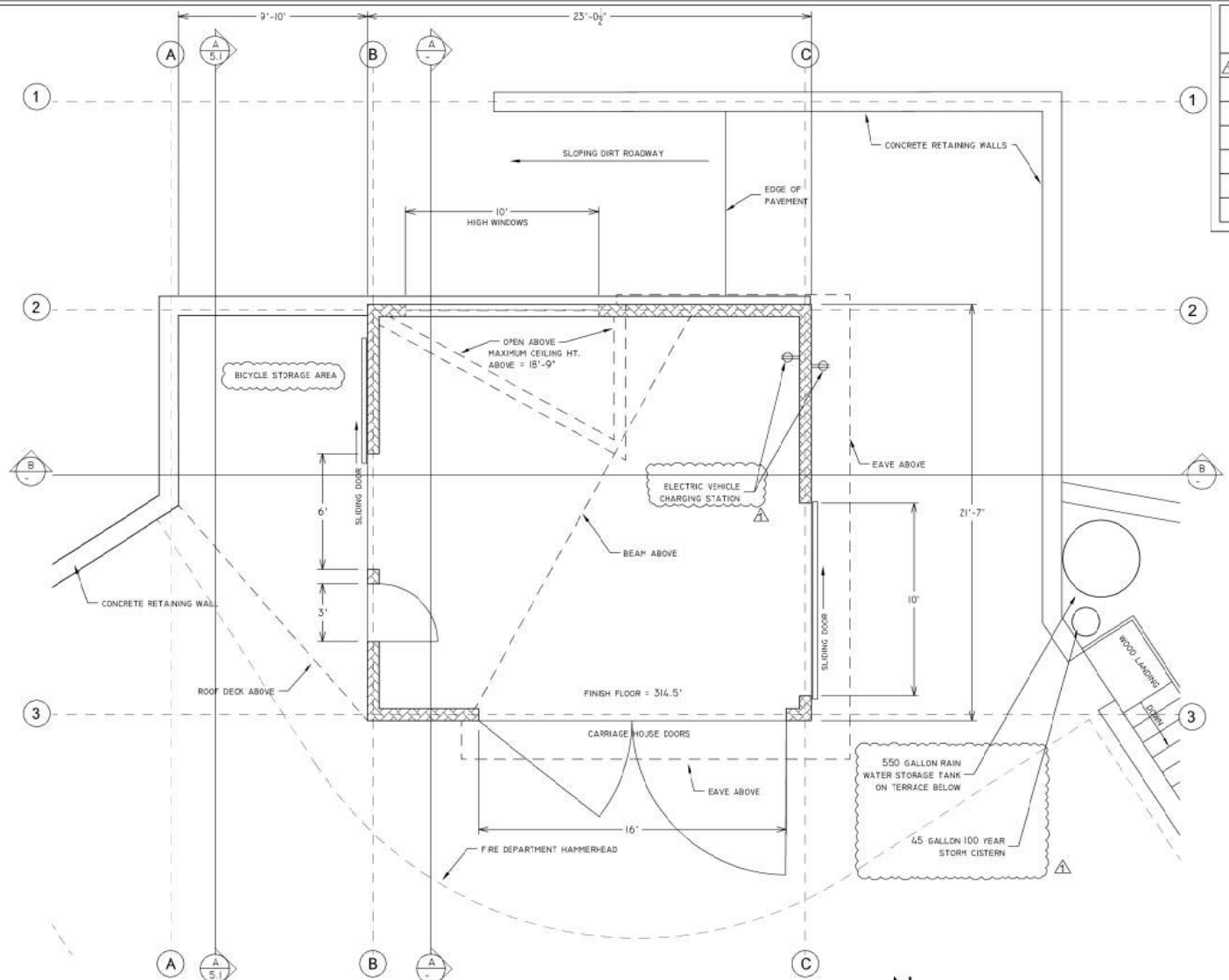
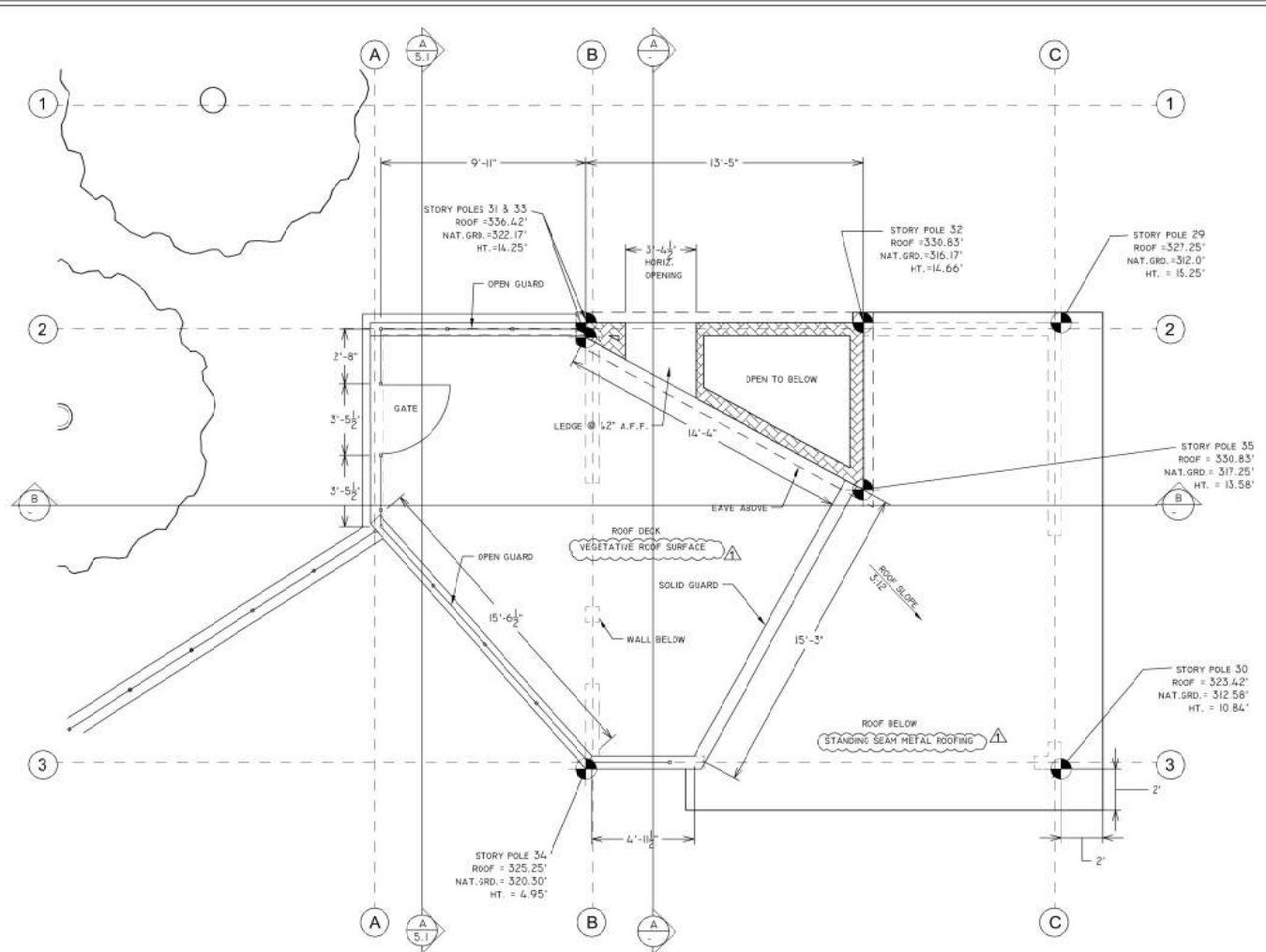
B SECTION AT MASTER BEDROOM @ 1/4" = 1'-0"



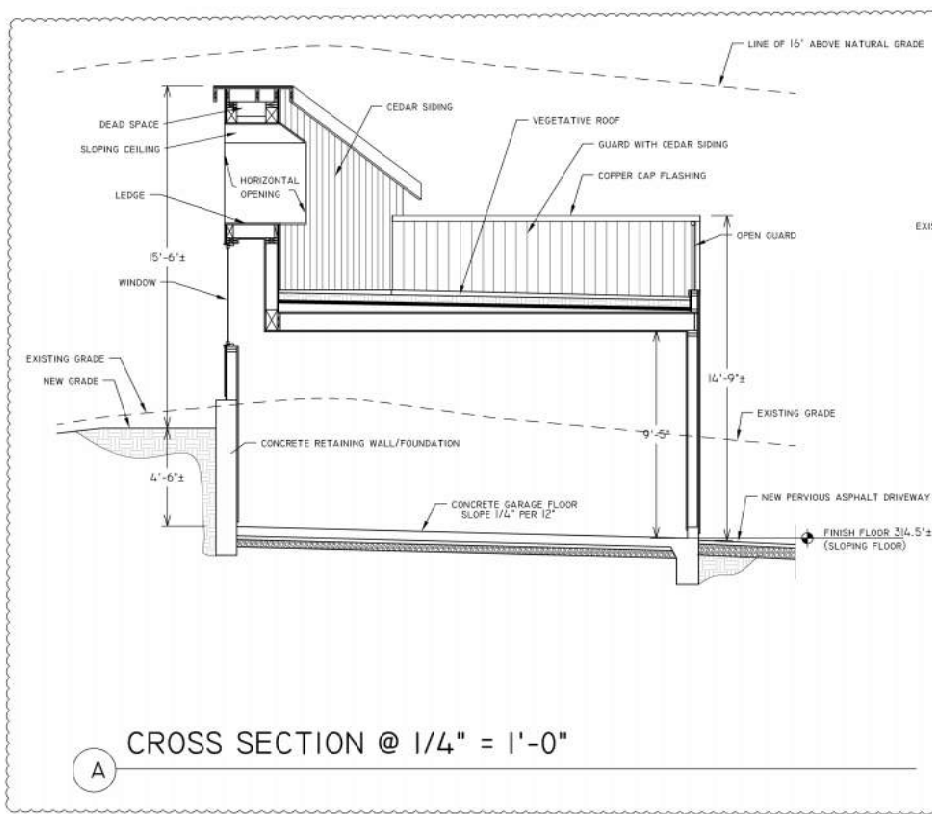
C SECTION AT JUNIOR ADU @ 1/4" = 1'-0"



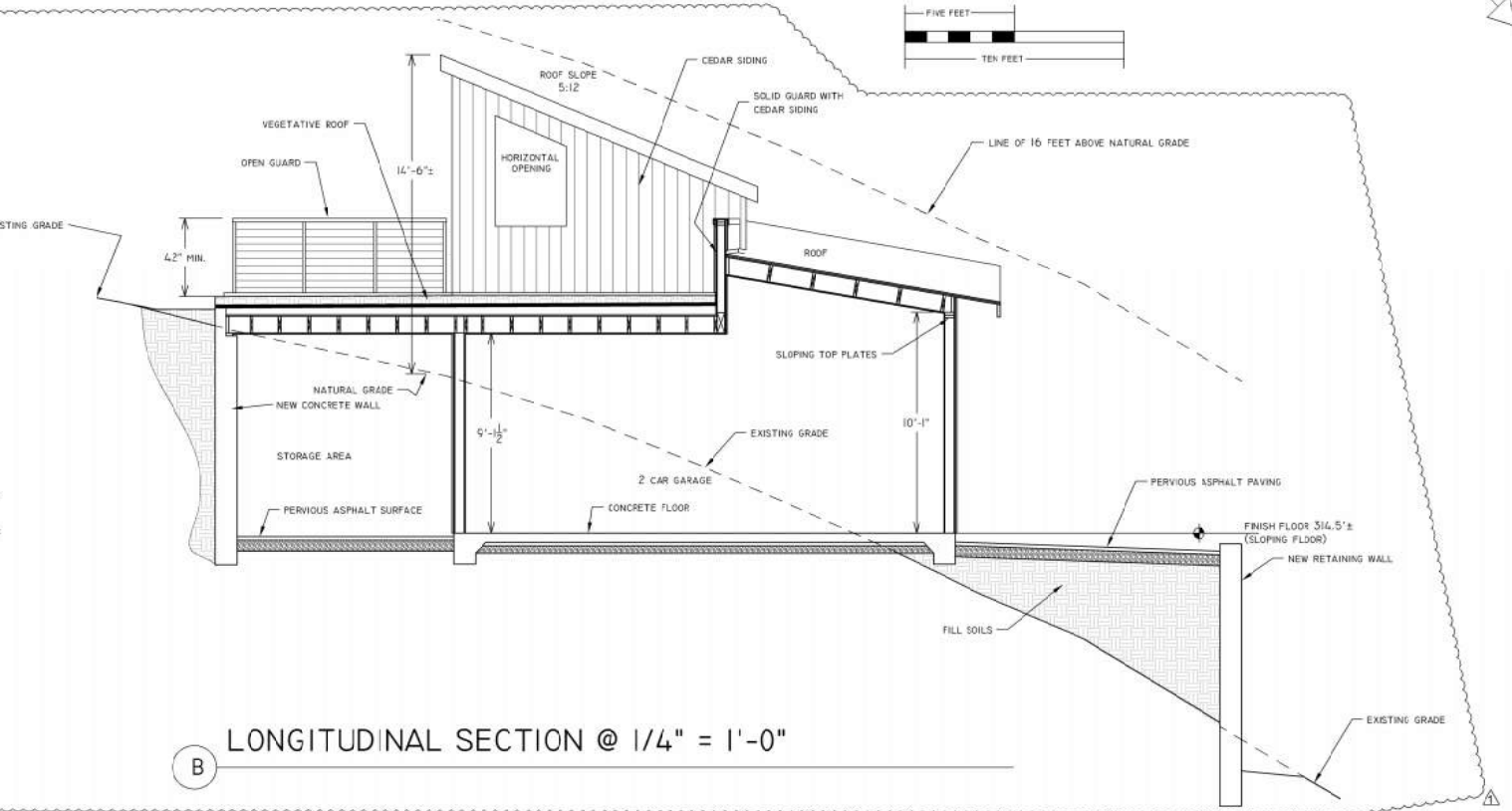
D SECTION AT JUNIOR ADU TOWER @ 1/4" = 1'-0"



GARAGE FLOOR PLAN @ 1/4" = 1'-0"



CROSS SECTION @ 1/4" = 1'-0"



LONGITUDINAL SECTION @ 1/4" = 1'-0"

REVISIONS	BY
PLANNING DEPT. COMPLETENESS 6/7/2023	GRM

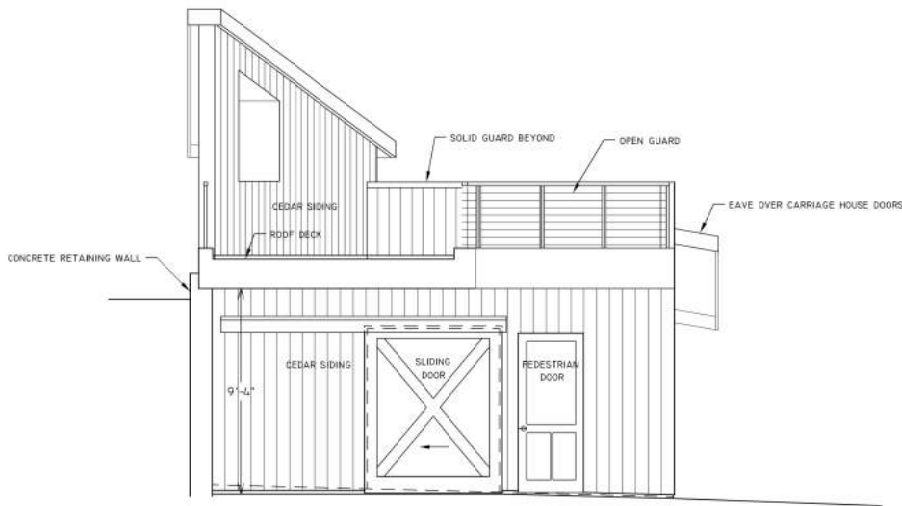
MILLAR ARCHITECTURE
 46 SANTA BARBARA AVE.
 SAN ANSELMO, CA. 94960
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 millargary0@gmail.com

GARAGE PLANS

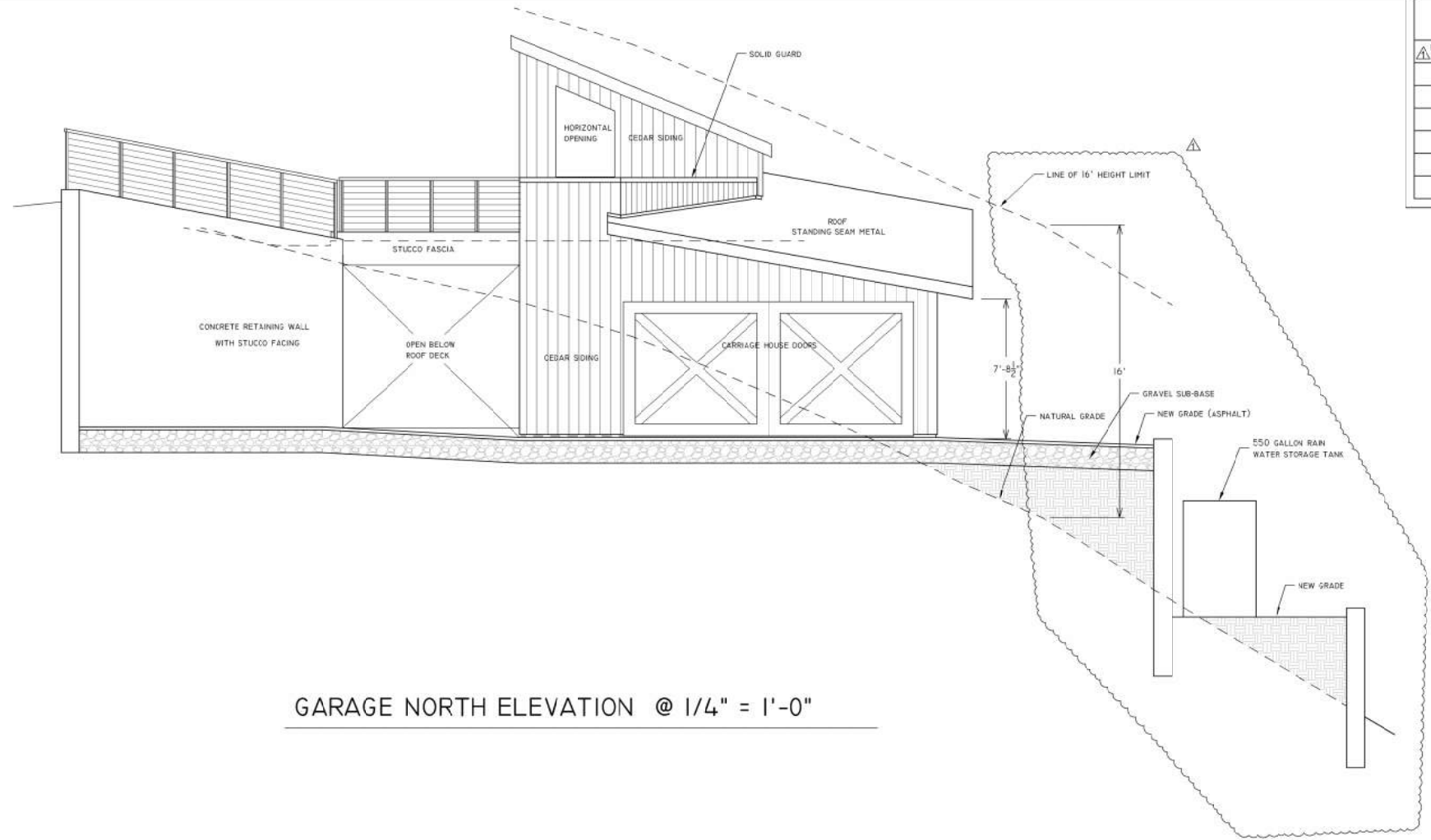
NEW RESIDENCE
QUIRIE FAMILY
 12 BARBER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #000-00-00

DATE 12/30/2022
 SCALE AS NOTED
 DRAWN GRM
 FOR QUIRIE

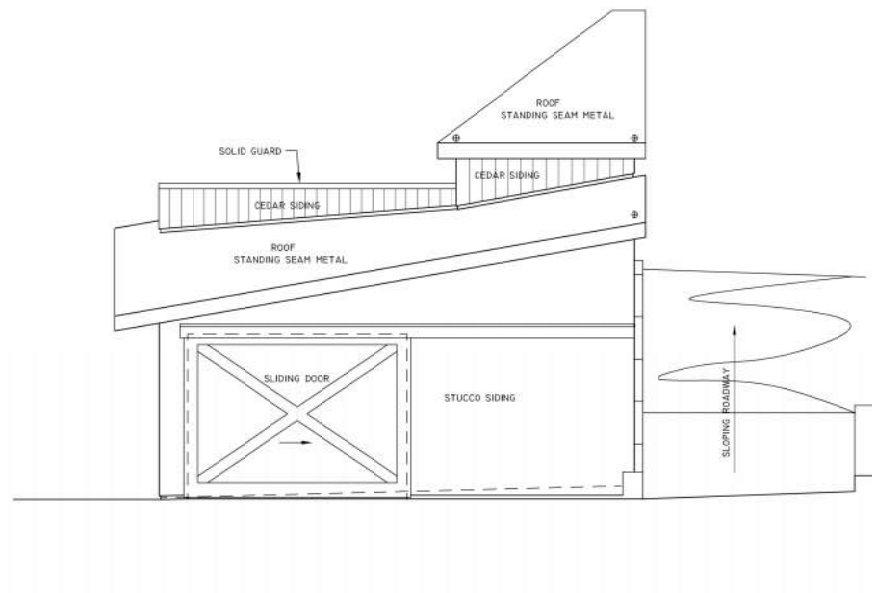




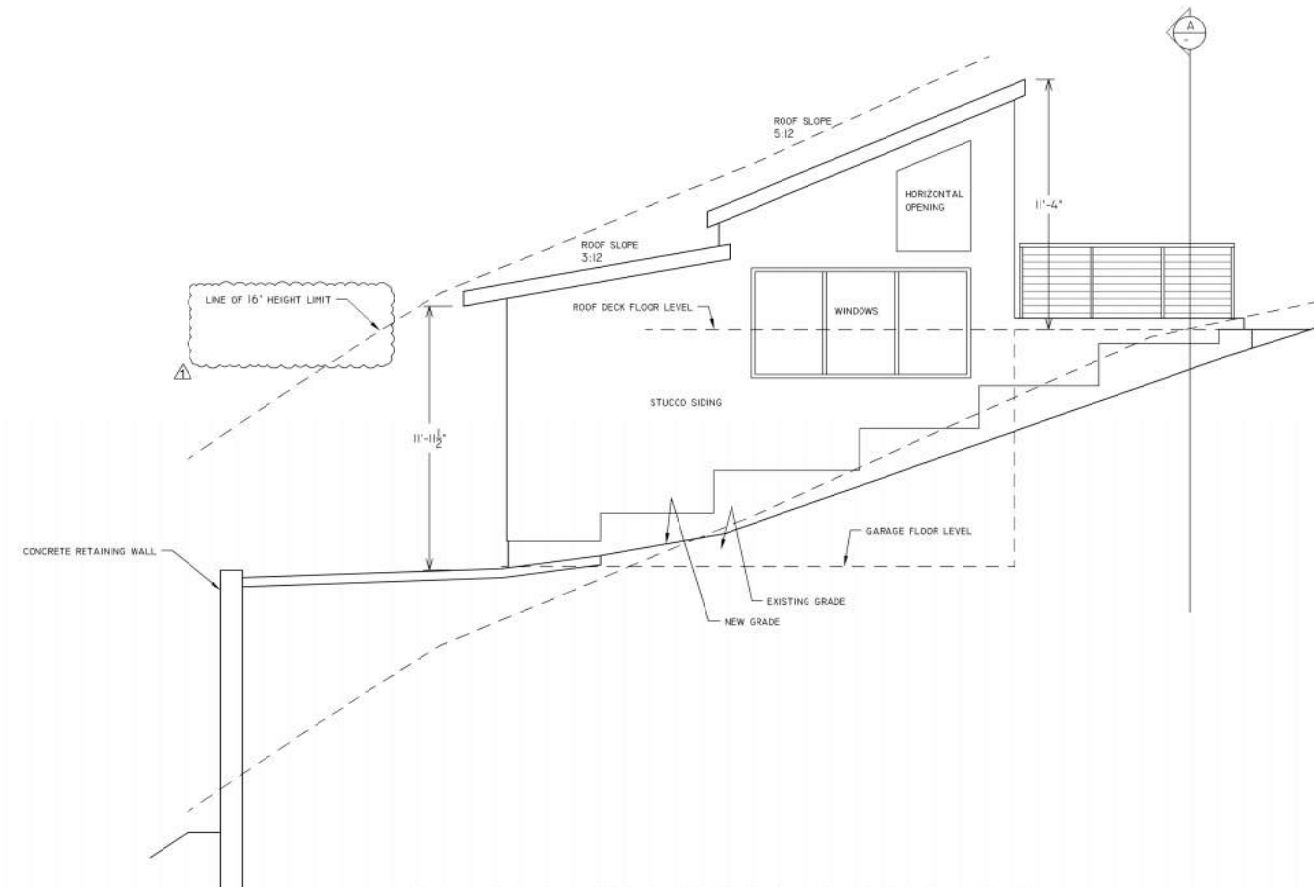
A GARAGE EAST ELEVATION @ 1/4" = 1'-0"



GARAGE NORTH ELEVATION @ 1/4" = 1'-0"



GARAGE WEST ELEVATION @ 1/4" = 1'-0"



GARAGE SOUTH ELEVATION @ 1/4" = 1'-0"

REVISIONS	BY
PLANNING DEPT. - COMPLETENESS 6/7/2023	GRM

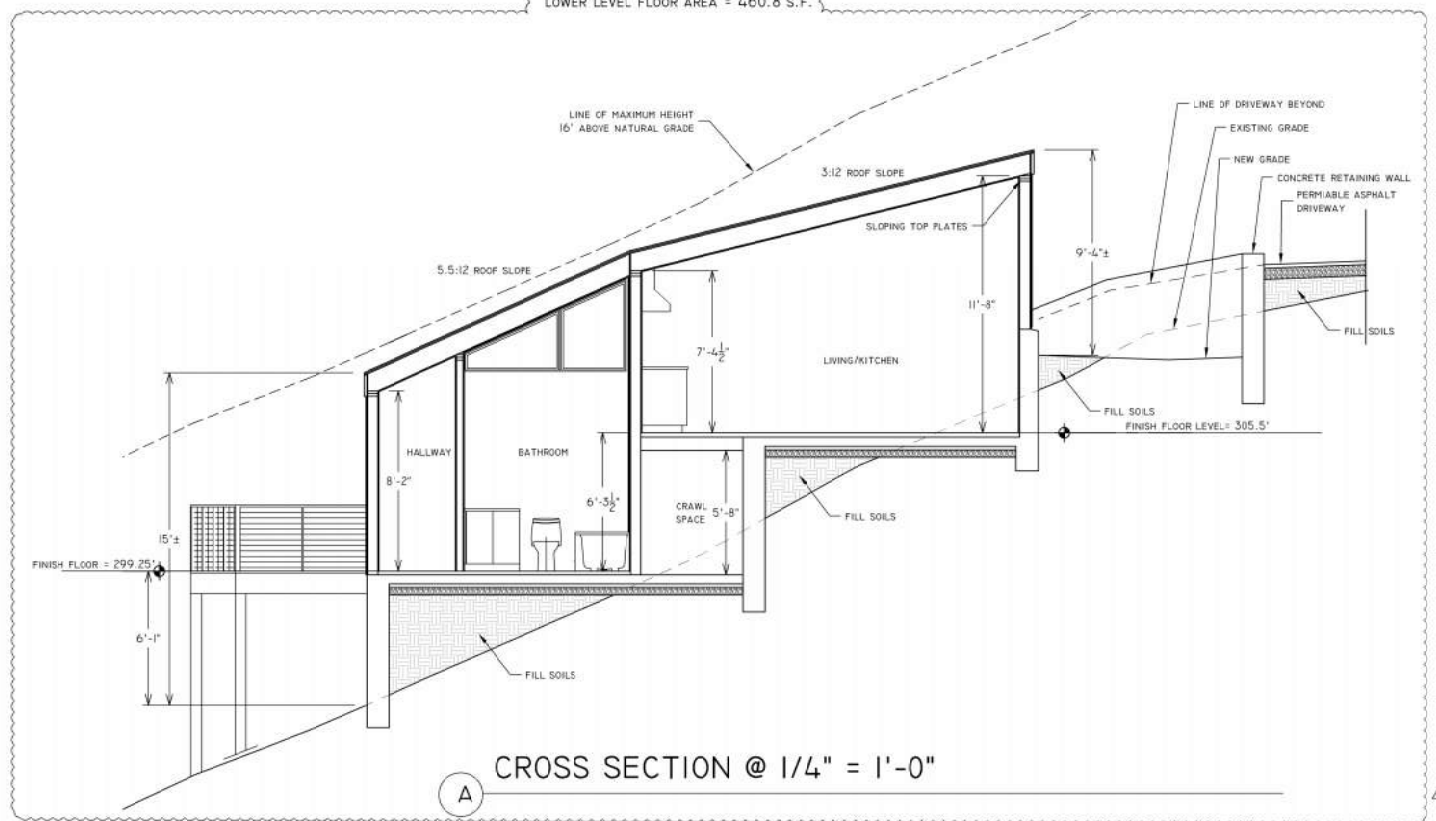
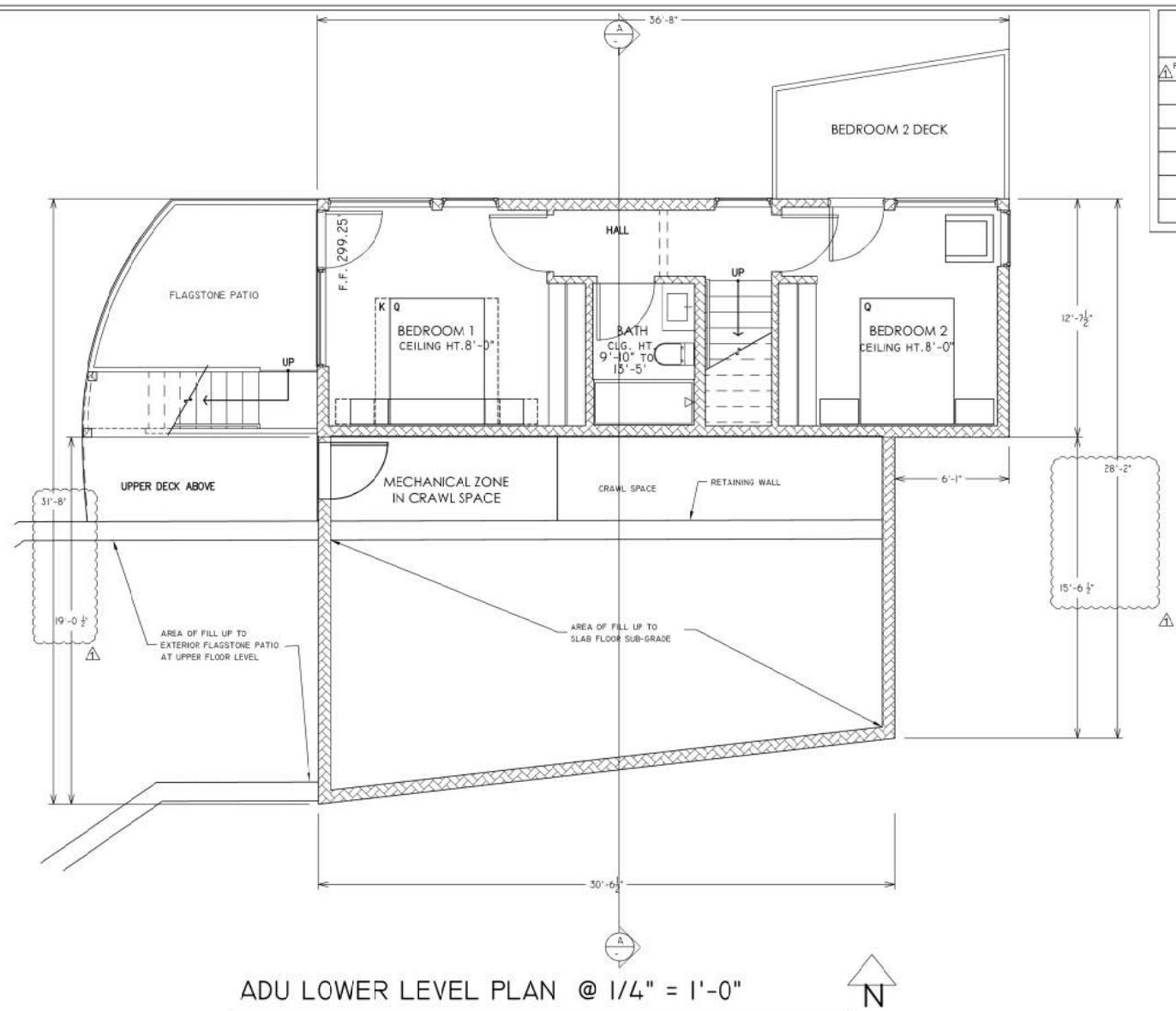
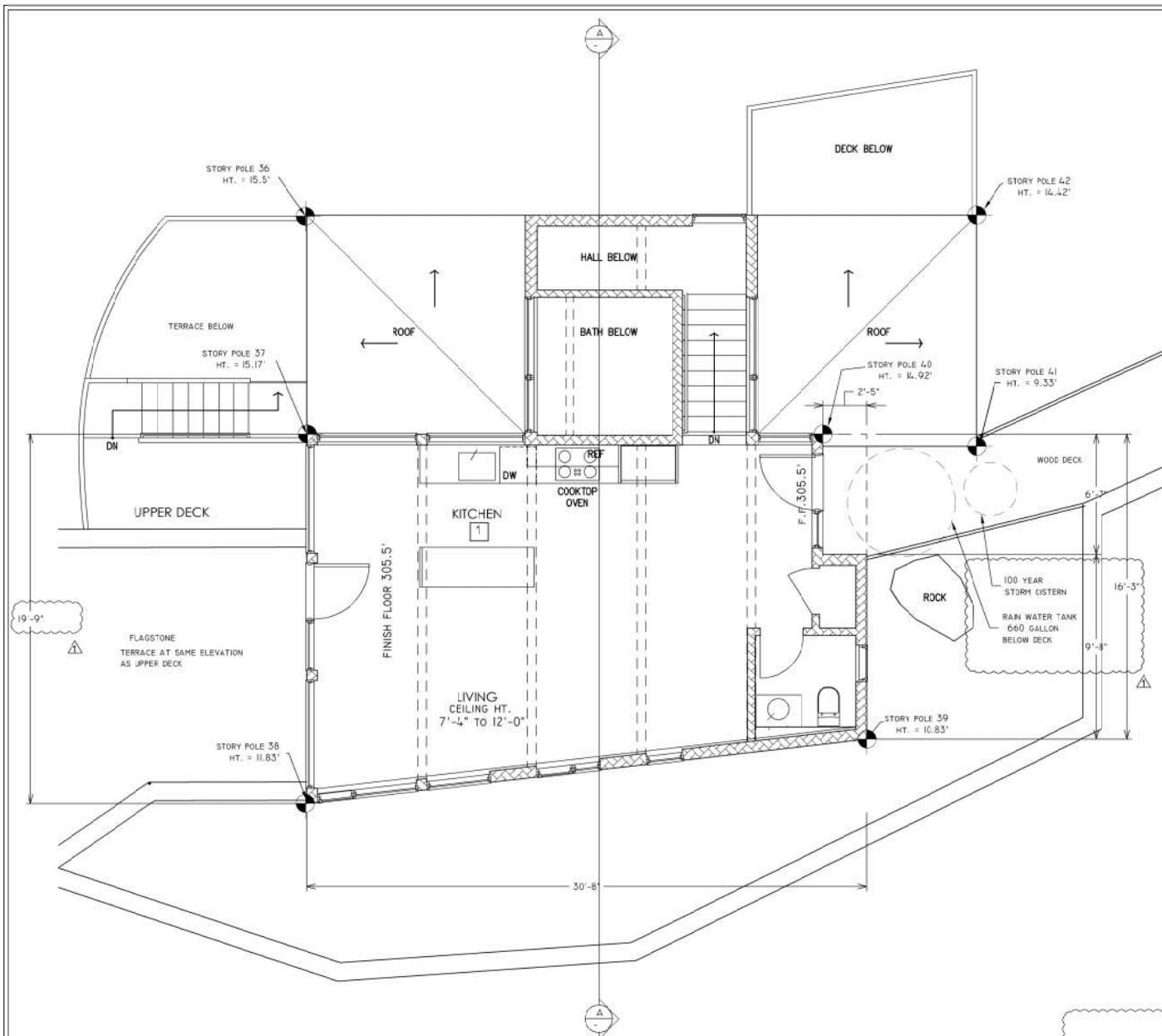
MILLAR ARCHITECTURE
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 millargary07@gmail.com

GARAGE ELEVATIONS

NEW RESIDENCE
QUIRIE FAMILY
 12 BARBER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #000-00-00

DATE 12/30/2022
 SCALE AS NOTED
 DRAWN GRM
 JOB QUIRIE





TABULATION OF FLOOR AREAS	
Upper Level	535.96
Lower Level	+ 460.8
total	996.76
Exempted area	
crawl space	137.25

SHEET NOTES

1 Kitchen cabinetry and counter top tallies at JADU:
 Counter space: (2 x 2)+(3.25 x 2)+(11 x 2)+(6.25 x 2.17) = 26 sq. ft.
 Shelf space: base cabinets = 12.5 linear feet w/ (2) 2' shelves = 12.5 x 4' = 50 sq. ft.
 upper cabinets = 2.5 linear feet w/ (2) 1' shelves = 2.5 x 2' = 5 sq. ft.
 total shelves = 55 sq. ft.

REVISIONS	BY
PLANNING DEPT. COMPLETENESS 6/17/2023	GRM

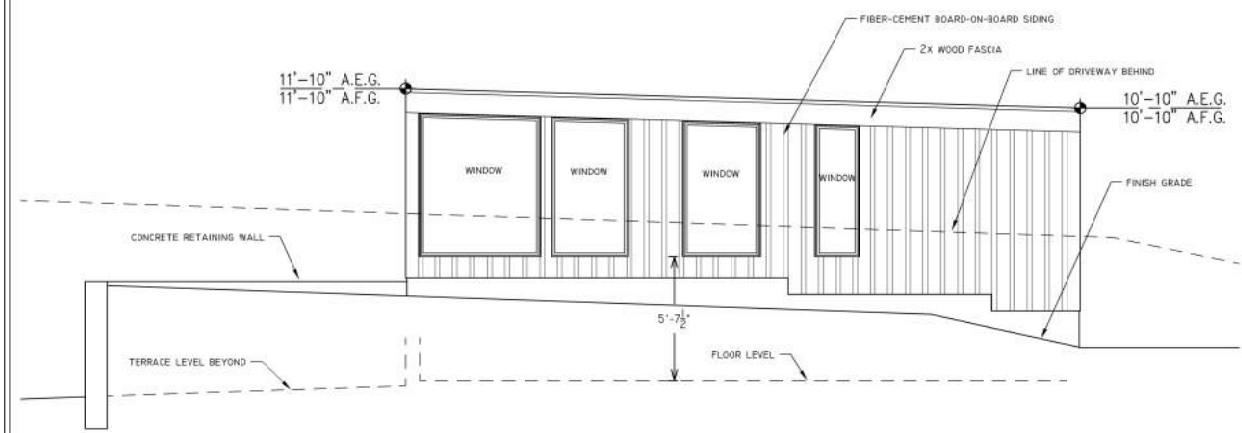
MILLAR ARCHITECTURE
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ACCESSORY DWELLING UNIT PLANS

NEW RESIDENCE QUIRIE FAMILY
 12 BARKER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #002-071-01

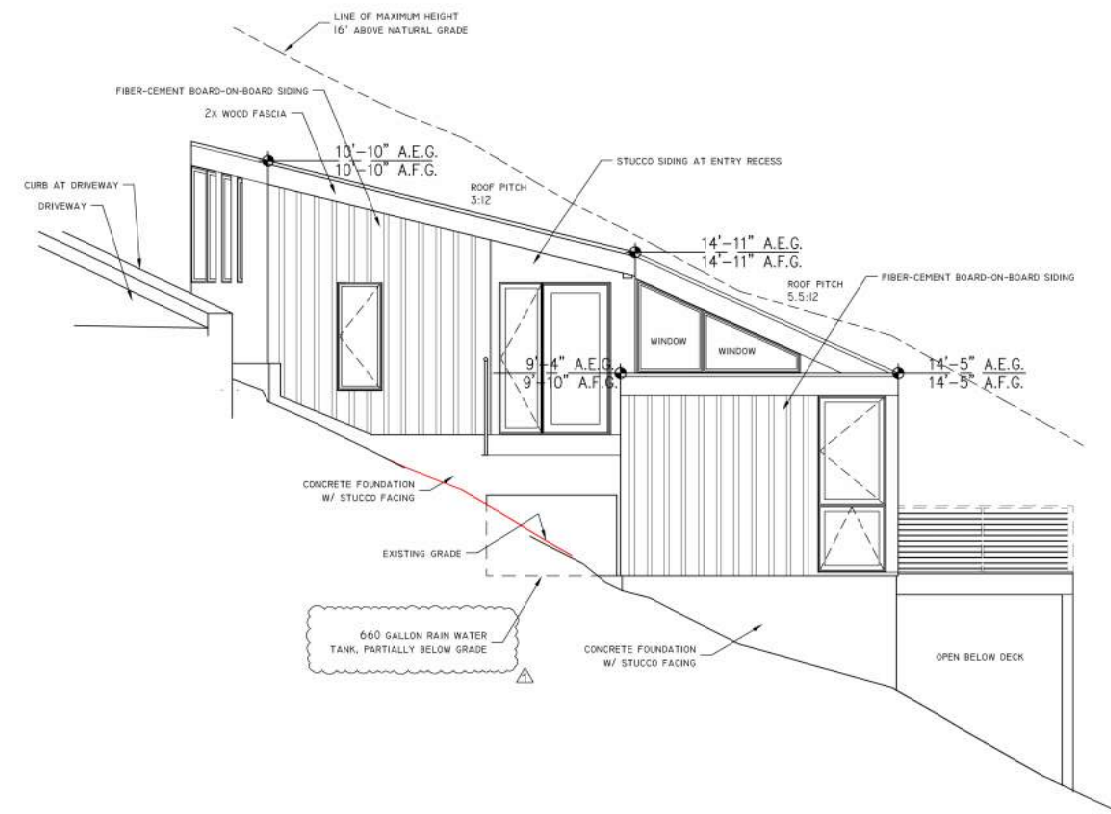
DATE: 12/30/2022
 SCALE: AS NOTED
 DRAWN: GRM
 FOR: QUIRIE



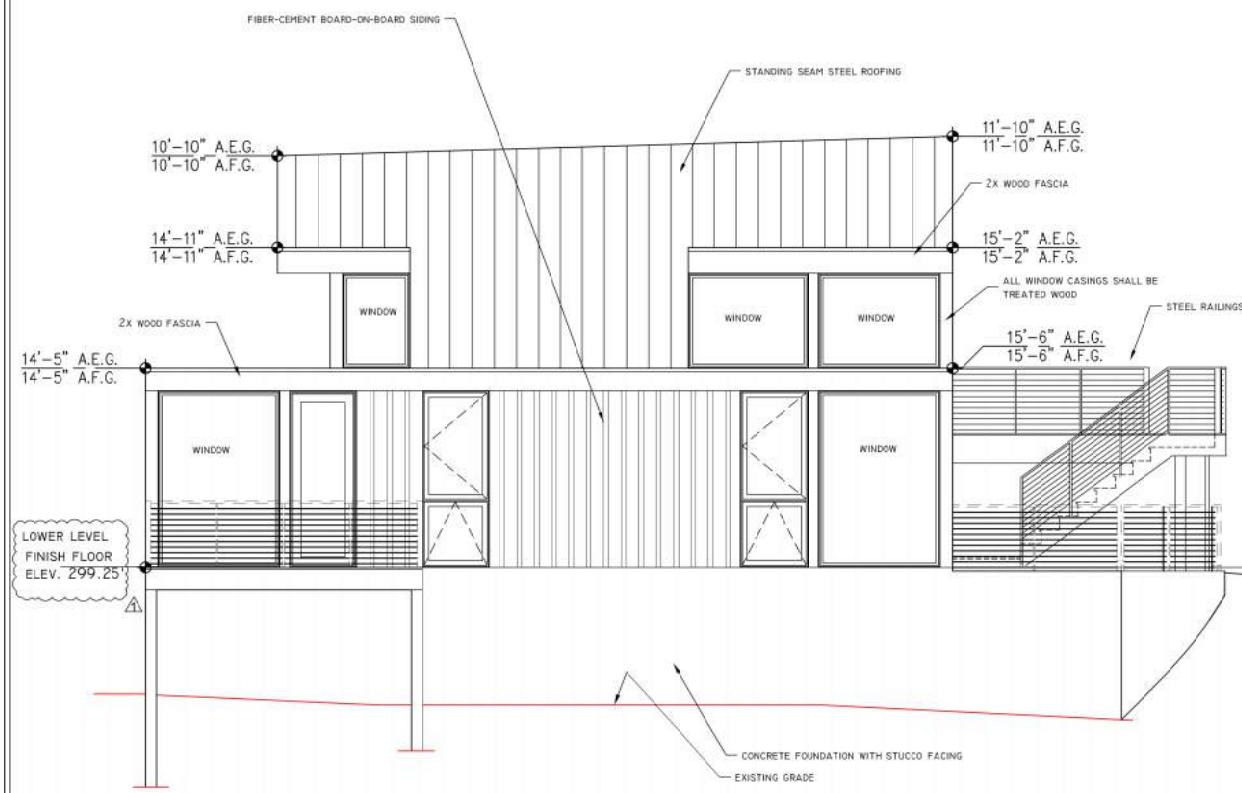


ADU SOUTH ELEVATION @ 1/4" = 1'-0"

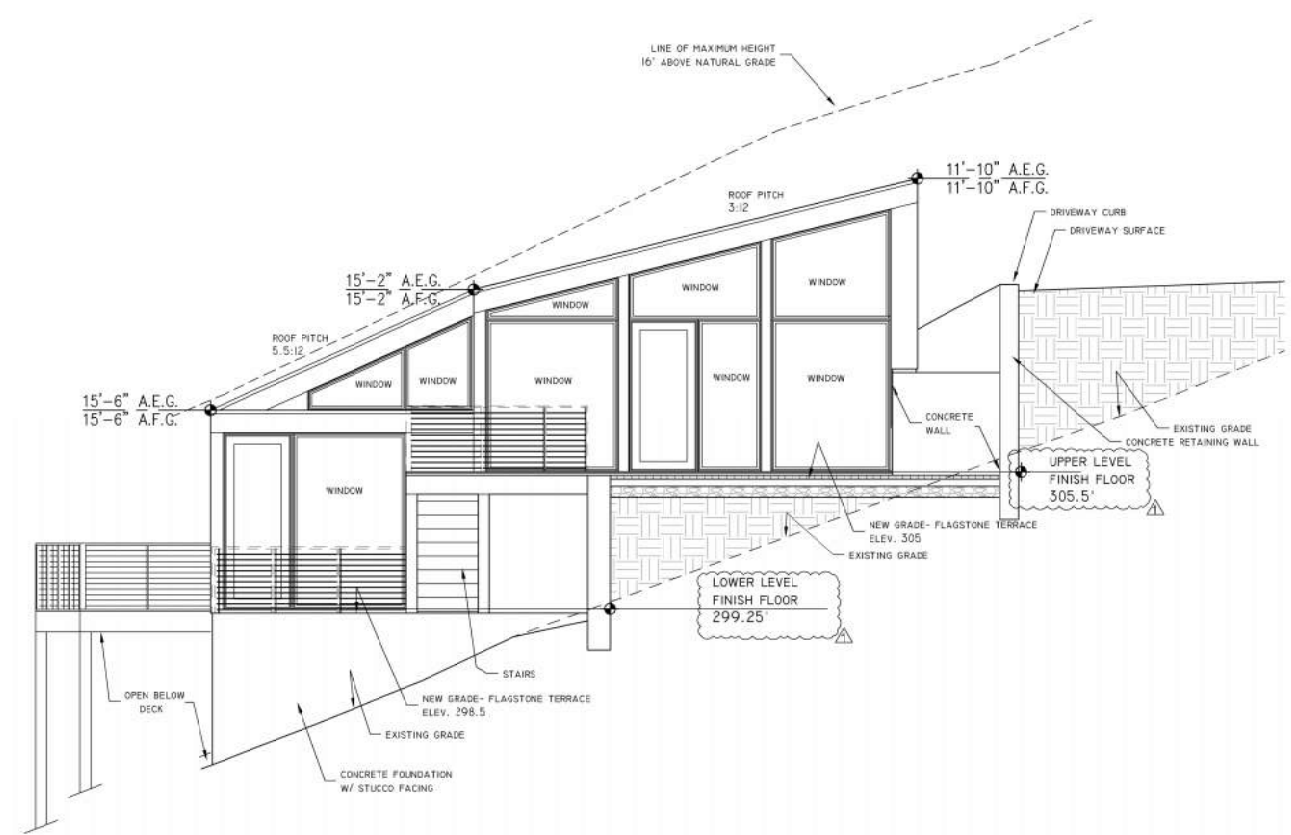
NOTE: SEE ROOF PLAN, SHEET 6, FOR STORY POLE HEIGHTS AT ALL ROOF EAVES AND RIDGES



ADU EAST ELEVATION @ 1/4" = 1'-0"



ADU NORTH ELEVATION @ 1/4" = 1'-0"



ADU WEST ELEVATION @ 1/4" = 1'-0"

REVISIONS	BY
PLANNING DEPT. COMPLETENESS 6/7/2023	GRM

MILLAR ARCHITECTURE
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ACCESSORY DWELLING UNIT ELEVATIONS

NEW RESIDENCE QUIRRE FAMILY
 12 BARBER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #002-071-01

DATE 12/30/2022
 SCALE AS NOTED
 DRAWN GRM
 FOR QUIRRE





SITE IMAGES



STONE VENEER
MAIN RESIDENCE



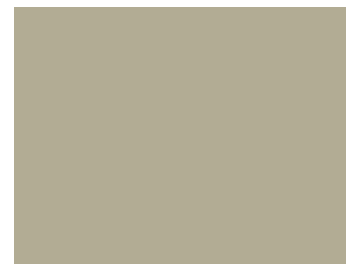
SLATE ROOF



STANDING SEAM ROOF



STONE VENEER
LANDSCAPE WALLS



PAREX USA- BEACH #T013L(37)

INTEGRAL COLOR STUCCO
MAIN RESIDENCE, ADU,
GARAGE, DRIVEWAY WALLS



ACCENT STUCCO PATTERN

PAREX USA
SEA DAY #3018L(33)



PAREX USA
SHERIDAN #3034L(15)

ACCENT STUCCO COLORS



WESTERN RED CEDAR SIDING



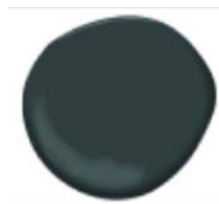
BENJAMIN MOORE
#2137-30
TRIM



BENJAMIN MOORE
#HC-100
HORIZONTAL SIDING
PAINT COLORS



BENJAMIN MOORE
#2053-10
BATTEN SIDING



BENJAMIN MOORE
#2050-10
ADU TRIM

INTEGRAL COLOR STUCCO
COURTYARD ACCENT AREAS

EXTERIOR MATERIALS EXAMPLES

REVISIONS	BY

MILLAR ARCHITECTURE
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**EXTERIOR MATERIALS
COLOR CONCEPTS**

NEW RESIDENCE
QUIRIE FAMILY
12 BARKER AVENUE
FAREAX, CALIFORNIA
A.P. #002-071-01

DATE: 5/31/2023
SCALE: AS NOTED
DRAWN: GRM
JOB: QUIRIE





MAIN RESIDENCE-VIEWED FROM EAST



GARAGE VIEWED FROM EAST



ACCESSORY DWELLING UNIT VIEWED FROM THE EAST

REVISIONS	BY

MILLAR ARCHITECTURE
 46 SANTA BARBARA AVE.
 SAN ANSELMO, CA. 94960
 TEL. 415-250-9091
 millargary07@gmail.com

COLOR RENDERINGS

NEW RESIDENCE
QUIRIE FAMILY
 12 BARKER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #002-071-01

DATE: 5/31/2023
 SCALE: AS NOTED
 DRAWN: GRM
 JOB: QUIRIE



QUIRIE HOUSE ENTITLEMENT GRADING DRAWINGS

BARKER AVENUE, FAIRFAX, CA

APN 002-071-01

JUNE 2023

GENERAL

THE DESIGN PROFESSIONAL WHO PREPARED THESE DRAWINGS IS NOT RESPONSIBLE FOR THE MISUSE OF, OR UNAUTHORIZED CHANGES MADE TO THESE DRAWINGS. THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM THE DESIGN PROFESSIONAL WHO PREPARED THESE DRAWINGS PRIOR TO MAKING CHANGES.

THE CONTRACTOR SHALL:

FURNISH AND INSTALL MATERIALS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITIES AND COUNTY OF MARIN DATED JUNE 1992, THE UNIFORM CONSTRUCTION STANDARDS OF THE CITIES AND COUNTY OF MARIN DATED MAY 2008, MARIN MUNICIPAL WATER DISTRICT CODE (CURRENT EDITION) AND STANDARD SPECIFICATIONS FOR PRIVATE CONTRACTS (CURRENT EDITION), ROSS VALLEY SANITARY DISTRICT STANDARD SPECIFICATIONS, DRAWINGS, AND APPROVED MATERIALS LIST, AND THE STATE STANDARD PLANS (CURRENT EDITION) AND STATE STANDARD SPECIFICATIONS (CURRENT EDITION).

OBTAIN RELEVANT PERMITS AND APPROVALS REQUIRED BY GOVERNING AGENCIES PRIOR TO COMMENCING WORK.

ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION FOR THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT APPLIES CONTINUOUSLY, AND IS NOT LIMITED TO NORMAL WORKING HOURS.

HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE DESIGN PROFESSIONAL, THEIR CONSULTANTS AND THE COUNTY OF MARIN, FROM LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE WILLFUL MISCONDUCT OR SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

SUBMIT A TRAFFIC CONTROL PLAN TO THE DEPARTMENT OF PUBLIC WORKS AND OBTAIN APPROVAL PRIOR TO COMMENCING WORK IN THE PUBLIC RIGHT-OF-WAY.

PROVIDE A PROPERLY SIGNED ALTERNATE ACCESSIBLE ROUTE OF TRAVEL IF CONSTRUCTION ACTIVITIES IMPACT PEDESTRIAN ACCESS. THIS REQUIREMENT APPLIES CONTINUOUSLY, AND IS NOT LIMITED TO NORMAL WORKING HOURS.

CONTACT UNDERGROUND SERVICE ALERT (811) AT LEAST 48-HOURS BEFORE EXCAVATING.

PROPERLY MUFFLE EQUIPMENT AND LIMIT CONSTRUCTION HOURS TO 7:00 AM TO 6:00 PM MONDAY THROUGH FRIDAY, AND 9:00 AM TO 6:00 PM ON SATURDAY, EXCLUDING HOLIDAYS. THIS RESTRICTION INCLUDES THE STARTUP OF MOTOR VEHICLES AND OTHER HEAVY EQUIPMENT.

REPAIR DAMAGE TO FACILITIES OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES TO RETURN THEM TO THEIR CONDITION PRIOR TO CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACT PRUDENTLY, THE COUNTY OF MARIN MAY, AT ITS DISCRETION PERFORM THE CORRECTION AND CHARGE THE CONTRACTOR FOR COSTS INCURRED.

REMOVE STUMPS AND ROOT FROM THE SOIL TO A DEPTH OF AT LEAST 12-INCHES BELOW THE SURFACE OF THE GROUND IN THE AREA TO BE OCCUPIED BY THE BUILDING.

PROVIDE RECORD DRAWINGS TO THE OWNER'S REPRESENTATIVE WHICH INCLUDE IMPROVEMENTS WHICH DEVIATE FROM AND IMPROVEMENTS NOT SHOWN ON THE ORIGINAL DESIGN DRAWINGS.

GRADING

PERFORM GRADING IN CONFORMANCE WITH CHAPTER 18 AND APPENDIX J OF THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE, AND THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT PREPARED BY WILLIAM W. MOORE, DATED FEBRUARY 6, 2020.

PROVIDE PROTECTIVE FENCE AROUND THE DRIP LINES OF TREES WHICH WILL REMAIN FOLLOWING CONSTRUCTION PRIOR TO PERFORMING GRADING OPERATIONS. RETAIN THE SERVICES OF A COUNTY OF MARIN APPROVED ARBORIST PRIOR TO DISTURBING EARTH WITHIN THE ROOT ZONES OF TREES WHICH WILL REMAIN FOLLOWING CONSTRUCTION. PERFORM CONSTRUCTION IN THE ROOT ZONES OF TREES UNDER THE OBSERVATION OF THE PROJECT ARBORIST.

PERFORM GRADING TO WITHIN 0.10-FEET OF THE LINES AND ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS.

PROVIDE A MOISTURE BARRIER IN AREAS WHERE CURB AND GUTTER ARE ADJACENT TO LANDSCAPING AND WHERE THE SOIL EXPANSION INDEX IS GREATER THAN 51.

REMOVE MATERIAL WHICH WILL NOT BE USED ON SITE AS IT IS EXCAVATED AND DISPOSE OF IN ACCORDANCE WITH THE GOVERNING AGENCY'S REQUIREMENTS.

MAINTAIN A CLEAN CONSTRUCTION SITE TO PREVENT THE INTRODUCTION OF FOREIGN MATERIALS INTO THE STORM WATER CONVEYANCE SYSTEM. ACTIVITY DURING CONSTRUCTION WHICH RESULTS IN THE DISCHARGE OF POLLUTANTS TO THE STORM WATER CONVEYANCE SYSTEM IS IN VIOLATION OF THE COUNTY OF MARIN CODE OF ORDINANCES AND THE SAN FRANCISCO BAY REGIONAL WATER QUALITY CONTROL BOARD'S REGULATIONS.

PROVIDE DUST CONTROL THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT TO MINIMIZE AIRBORNE POLLUTANTS.

STOP WORK IF CONTAMINATED MATERIAL IS ENCOUNTERED. PREPARE A WORK PLAN AND ACQUIRE APPROVAL IN WRITING FROM THE MARIN COUNTY FIRE DEPARTMENT AND THE SAN FRANCISCO BAY REGIONAL WATER QUALITY CONTROL BOARD PRIOR TO RESUMING WORK.

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. THE COUNTY OF MARIN PLANNING DIVISION AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE SOCIETY OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.

THE CALIFORNIA BUILDING CODE REQUIRES THAT MATERIALS USED FOR THE CONSTRUCTION OF PERMANENT STRUCTURES LOCATED NEARER THAN 6-INCHES TO EARTH BE TREATED, OR OF NATURAL RESISTANCE TO DECAY. ELEVATIONS HAVE BEEN ESTABLISHED WITH THIS SET OF CIVIL DRAWINGS, WHICH MAY REQUIRE THE IMPLEMENTATION OF A RAISED CURB ALONG THE PERIMETER OF THE BUILDING WHERE ADJACENT TO LANDSCAPE AREAS. THE CONTRACTOR SHALL COORDINATE THE LOCATION(S) OF RAISED CURBS PRIOR TO POURING THE CONCRETE SLAB.

THE CONTRACTOR SHALL NOT IMPEDE DRAINAGE FROM EXISTING UPSTREAM PROPERTIES. THE CONTRACTOR SHALL PLACE STOCKPILES AWAY FROM CREEK SETBACKS, AWAY FROM VEGETATION DESIGNATED TO REMAIN, A MINIMUM OF 10-FEET FROM ADJACENT EXISTING RESIDENTIAL PARCELS, AND A MINIMUM OF 50-FEET FROM ADJACENT EXISTING RESIDENTIAL PARCELS WHERE THE STOCK PILE DEPTH EXCEEDS 2.5-FEET.

A PROTECTION ZONE SHALL BE ESTABLISHED TO PROTECT NATURAL VEGETATION AND TREES (WHICH WILL REMAIN FOLLOWING CONSTRUCTION) FROM CONSTRUCTION ACTIVITIES. THE FOLLOWING CONDITIONS AND RESTRICTIONS SHALL APPLY:

- I. THE ZONE SHALL ENCOMPASS THE "PROTECTED PERIMETER" WHICH SHALL BE EITHER THE ROOT ZONE OR OTHER LIMIT AS ESTABLISHED IN THIS APPROVAL.
II. THE ZONE SHALL BE DELINEATED WITH A BRIGHTLY COLORED CONSTRUCTION FENCE. SUCH FENCES SHALL REMAIN CONTINUOUSLY IN PLACE FOR THE DURATION OF ALL WORK UNDERTAKEN ON THE SITE.
III. NO STORAGE OR CONSTRUCTION ACTIVITIES (INCLUDING TRENCHING, GRADING OR FILLING) SHALL BE PERMITTED WITHIN THE PROTECTED ZONE.
IV. NO BURNING OR USE OF EQUIPMENT WITH AN OPEN FLAME SHALL OCCUR NEAR OR WITHIN THE PROTECTED PERIMETER.
V. BRUSH, EARTH AND OTHER DEBRIS SHALL BE REMOVED IN A MANNER WHICH PREVENTS INJURY TO THE PROTECTED TREES AND/OR SHRUBS.
VI. NO OIL, GAS, CHEMICALS OR OTHER SUBSTANCES THAT MAY BE HARMFUL TO TREES SHALL BE STORED OR DUMPED WITHIN THE PROTECTED PERIMETER OR ANY OTHER LOCATION FROM WHICH SUBSTANCES MIGHT ENTER THE PERIMETER OF A PROTECTED TREE.

THE PROTECTION ZONE DELINEATED WITH THE BRIGHTLY COLORED CONSTRUCTION FENCE SHALL BE POSTED WITH SIGNS WHICH STATE "TREE/VEGETATION PROTECTION ZONE--NO CONSTRUCTION OR STORAGE PERMITTED." ANY SPECIAL WORK, INCLUDING MITIGATION, WITHIN THE "PROTECTION ZONE" MUST BE DONE UNDER THE SUPERVISION OF A COUNTY APPROVED CERTIFIED ARBORIST.

SEE ARBORIST'S REPORT FOR THE TREES TO BE REMOVED OR PROTECTED.

THE ENGINEER SHALL CERTIFY TO THE COUNTY IN WRITING UPON THE COMPLETION OF WORK THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTION. BE AWARE THAT A DEPARTMENT OF PUBLIC WORKS ENGINEER WILL NEED TO INSPECT AND ACCEPT WORK AFTER RECEIPT OF THE CERTIFICATION LETTER. CERTIFICATION LETTERS SHALL REFERENCE BUILDING PERMIT NUMBER OR NUMBERS FOR SPECIFIC WORK BEING CERTIFIED, THE ADDRESS OF THE PROPERTY AND THE ASSESSOR'S PARCEL NUMBER (APN), AND SHALL BE SIGNED AND STAMPED BY THE CERTIFYING PROFESSIONAL.

EARTHWORK QUANTITIES ARE APPROXIMATE AND HAVE BEEN SUMMARIZED ON THESE DRAWINGS TO PROVIDE THE REVIEWING AGENCY WITH AN OPINION OF HOW MUCH MATERIAL MAY BE MOVED TO FACILITATE THE PROPOSED IMPROVEMENTS. ACTUAL VOLUMES ARE VARIABLE BASED ON THE GEOTECHNICAL ENGINEER'S ASSESSMENT OF THE SOIL ENCOUNTERED, THE CONTRACTOR'S METHOD OF STRIPPING, COMPACTION AND TRENCHING.

OPINION OF PROBABLE EARTHWORK QUANTITIES

Table with 3 columns: CUT, FILL, OFF-HAUL. Rows include PUBLIC ROADWAY EXTENSION, PRIVATE DRIVEWAY, and STRUCTURES.

THE AMOUNT OF AREA DISTURBED BY THIS PROJECT IS ANTICIPATED TO BE APPROXIMATELY 0.90 ACRES.

UTILITIES

THE CONTRACTOR SHALL:

EXPONE EXISTING UTILITIES PRIOR TO TRENCHING TO VERIFY THE ALIGNMENTS AND ELEVATIONS OF THE UTILITIES, AND TO VERIFY DESIGN ASSUMPTIONS. EXISTING UTILITIES MAY REQUIRE RELOCATION AND/OR PROPOSED IMPROVEMENTS MAY REQUIRE GRADE OR ALIGNMENT REVISION DUE TO FIELD CONDITIONS. IF THE EXPOSED UTILITY IS DETERMINED TO BE IN A LOCATION WHICH IS NOT REFLECTED BY THE CONSTRUCTION DOCUMENTS, NOTIFY THE ENGINEER IN WRITING SO THAT APPROPRIATE ADJUSTMENTS CAN BE MADE.

REPORT UTILITY CONFLICTS TO THE OWNER'S REPRESENTATIVE IN WRITING AS THEY ARE ENCOUNTERED SO THAT THE OWNER AND OWNER'S REPRESENTATIVE CAN MAKE A DECISION AS TO HOW THE CONTRACTOR SHOULD PROCEED WITH THE WORK.

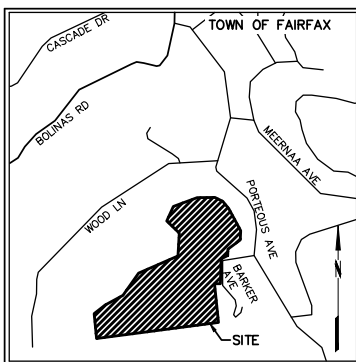
COORDINATE WITH UTILITY COMPANIES, FURNISH, INSTALL, TEST AND OBTAIN INSPECTIONS FOR UNDERGROUND IMPROVEMENTS PRIOR TO SURFACING.

UNLESS OTHERWISE NOTED, PROVIDE SCH40 POLYVINYL CHLORIDE PIPE (PVC) WHERE ANNOTATED AS STORM DRAIN (SD) IN THIS DRAWING.

PROVIDE TRENCHING FOR SANITARY SEWER UTILITIES IN ACCORDANCE WITH ROSS VALLEY SANITARY DISTRICT STANDARD SPECIFICATIONS AND DRAWINGS AND FOR OTHER UTILITIES IN ACCORDANCE WITH THE UNIFORM CONSTRUCTION STANDARDS OF THE CITIES AND COUNTY OF MARIN DRAWING NUMBERS 330, 340 AND 350.

COORDINATE WITH UTILITY COMPANIES, FURNISH, INSTALL, TEST AND OBTAIN INSPECTIONS FOR UNDERGROUND IMPROVEMENTS PRIOR TO SURFACING.

OTHER FORCES WILL BE ENGAGED IN INSTALLING, IN MAKING ADJUSTMENTS TO AND/OR IN RELOCATING VARIOUS FACILITIES THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL COORDINATE WORK AROUND OTHER FORCES IN A MANNER THAT DOES NOT PROLONG THE CONTRACT TIME.



VICINITY MAP NOT TO SCALE

INDEX OF DRAWINGS

- C-1 PROJECT INFORMATION
C-2 GRADING & DRAINAGE PLAN
C-3 DRIVEWAY PROFILE
C-4 DETAILS
C-5 EROSION & SEDIMENT CONTROL PLAN

EXISTING UNDERGROUND FACILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND HAVE BEEN LOCATED BASED ON TOPOGRAPHIC FEATURES AND AVAILABLE INFORMATION. THE PROFESSIONAL WHO PREPARED THESE DRAWINGS, THE OWNER, THE TOWN OF FAIRFAX, AND THE COUNTY OF MARIN ASSUME NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF RELATED INFORMATION.

THE CONTRACTOR IS CAUTIONED NOT TO ORDER PRECAST ITEMS OR INSTALL IMPROVEMENTS UNTIL CONFLICTS ARE RESOLVED. IMPROVEMENTS INSTALLED OR ORDERED PRIOR TO CONFLICT RESOLUTION SHALL BE DONE SOLELY AT THE CONTRACTOR'S RISK AND AT NO EXPENSE TO THE OWNER, THE DESIGN PROFESSIONAL, THE TOWN OF MARIN, OR THE COUNTY OF MARIN.

UTILITY CONFLICTS MAY OCCUR IN THOSE INSTANCES WHERE TWO GRAVITY UTILITIES CROSS AND LACK THE REQUIRED SEPARATION, OR IN THOSE INSTANCES WHERE AN EXISTING UTILITY HAS NOT BEEN IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.

CROSSING UTILITIES WHICH HAVE BEEN IDENTIFIED IN THE CONSTRUCTION DOCUMENTS MAY NOT BE CONSTRUED AS UTILITY CONFLICTS. THE CONTRACTOR SHALL INSTALL GRAVITY UTILITIES TO THE LINES AND ELEVATIONS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS AND INSTALL OTHER UTILITIES ABOVE OR BELOW GRAVITY UTILITIES WHILE COMPLYING WITH THE MINIMUM COVER REQUIREMENTS FOR EACH UTILITY INSTALLED.

UTILITY LENGTHS SHOWN REFLECT ROUNDED LENGTHS MEASURED HORIZONTALLY BETWEEN THE CENTERS OF STRUCTURES. THE CONTRACTOR SHALL VERIFY SLOPED UTILITY LENGTHS IN THE FIELD PRIOR TO ORDERING MATERIAL.

THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE ROSS VALLEY SANITARY DISTRICT. THE CONTRACTOR SHALL CONTACT THE ROSS VALLEY SANITARY DISTRICT FOR FINAL INSPECTION OF ALL SEWER MAINS AND LATERALS.

UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE DUCTILE IRON PIPE OR SDR26 POLYVINYL CHLORIDE PIPE (PVC) WHERE ANNOTATED AS SANITARY SEWER (SS) ON THE CONSTRUCTION DRAWINGS.

COORDINATE WITH THE PROJECT BUILDING SPRINKLER CONTRACTOR TO CONFIRM THAT ADEQUATE FLOW IS AVAILABLE TO SERVE THE PROPOSED IMPROVEMENTS AND CONFIRM WATER SERVICE SIZE WITH THE BUILDING SPRINKLER CONTRACTOR PRIOR TO INSTALLATION.

MAPPING

THE CONTRACTOR SHALL:

PRESERVE AND PERPETUATE EXISTING SURVEY MONUMENTATION WHICH WILL BE DISTURBED OR REMOVED TO FACILITATE THE PROPOSED IMPROVEMENTS. IF WORK WILL BE CONDUCTED IN AN AREA WHICH RESULTS IN THE DISTURBANCE OF MONUMENTATION, RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR TO LOCATE SAID MONUMENTATION PRIOR TO DISTURBANCE. ADDITIONALLY, RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR TO RE-ESTABLISH MONUMENTATION WHICH HAS BEEN DISTURBED AS A RESULT OF PROJECT CONSTRUCTION AND TO FILE THE APPROPRIATE DOCUMENTATION, PURSUANT TO BUSINESS AND PROFESSIONS CODE SECTION 8771, WITH THE MARIN COUNTY RECORDER ONCE CONSTRUCTION IS COMPLETE.

TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON A FIELD SURVEY BY DAVID JUNGSMANN DATED NOVEMBER 06, 2020.

OWNER: MATT QUIRIE 156 CASCADE DR FAIRFAX, CA 94930

CIVIL ENGINEER: BKF ENGINEERS 200 4TH ST, STE. 300 SANTA ROSA, CA. 95401 PH: (707) 583-8500 FAX: (707) 583-8539

ARCHITECT: MILLAR ARCHITECTURE 46 SANTA BARBARA AVE, SAN ANSELMO, CA 94960 PH: (415) 250-9091

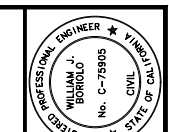
GEOTECHNICAL ENGINEER: WILLIAM W. MOORE 139 NANTUCKET COVE SAN RAFAEL, CA 94901

SYMBOLS & LEGEND

Legend table with columns EXISTING and PROPOSED. Includes symbols for IRON PIPE, CENTERLINE MONUMENT, VALVE, STREET SIGN, FIRE HYDRANT, UTILITY POLE, GUY ANCHOR, CATCH BASIN, TREE, TREE CLUSTER, TREE TO BE REMOVED, RETAINING WALL, PROPERTY LINE, GRADE BREAK, FLOW LINE, 100-YEAR STORMWATER ROUTE, FENCE, SANITARY SEWER, STORM DRAIN, PERFORATED SUBDRAIN, WATER, FIRE WATER, UNDERGROUND UTILITY/JOINT TRENCH, OVERHEAD UTILITY LINE, CONCRETE, ASPHALT CONCRETE, KEYNOTE, DETAIL IDENTIFICATION, SHEET WHERE DETAIL IS SHOWN.

ABBREVIATIONS

Table of abbreviations: AC ASPHALT CONCRETE, APN ASSESSOR'S PARCEL NUMBER, BSL BUILDING SETBACK LINE, BW FG AT BOTTOM OF WALL, CB CATCH BASIN, CF CUBIC FEET, CL CENTERLINE, CO CLEANOUT, CT COURT, DI DRAIN INLET, DW DRIVEWAY, DWG DRAWING, EG EXISTING GROUND, EP EXISTING EDGE OF PAVEMENT, FG FINISHED GROUND, FF FINISHED FLOOR, FH FIRE HYDRANT, GB GRADE BREAK, GI GRATE INLET, H HEIGHT, I/W INVERT, LF LINEAR FOOT, MAX MAXIMUM, MIN MINIMUM, N NORTH, NO NUMBER, OH OVERHEAD UTILITY LINE, OR OFFICIAL RECORD, PERF PERFORATED, PL PROPERTY LINE, RD ROAD, ROW RIGHT OF WAY, RSP ROCK SLOPE PROTECTION, RVFD ROSS VALLEY FIRE DEPARTMENT, S SOUTH, SD SLOPE, SD STORM DRAIN, SDMH STORM DRAIN MANHOLE, SO SIDE OPENING, SS SANITARY SEWER, SDMH SANITARY SEWER MANHOLE, TB TOP OF BOX, TC TOP FACE OF CURB, TG TOP OF GRATE, TYP TYPICAL, TW TOP OF WALL, UB UTILITY BOX, W WATER, WM WATER METER.



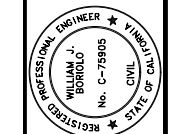
PRELIMINARY NOT FOR CONSTRUCTION DATE: 06/09/2023 WILLIAM J. BORRIOLO C75905

200 4TH STREET SUITE 300 SANTA ROSA, CA 95401 (707) 583-8500 www.bkf.com



QUIRIE HOUSE APN 002-071-01 BARKER AVENUE, FAIRFAX, CALIFORNIA 94930 PROJECT INFORMATION

Revision table with columns: No., Date, Description, Design, Drawn, Approved, Job No. Includes drawing number C-1 and page 1 of 5.



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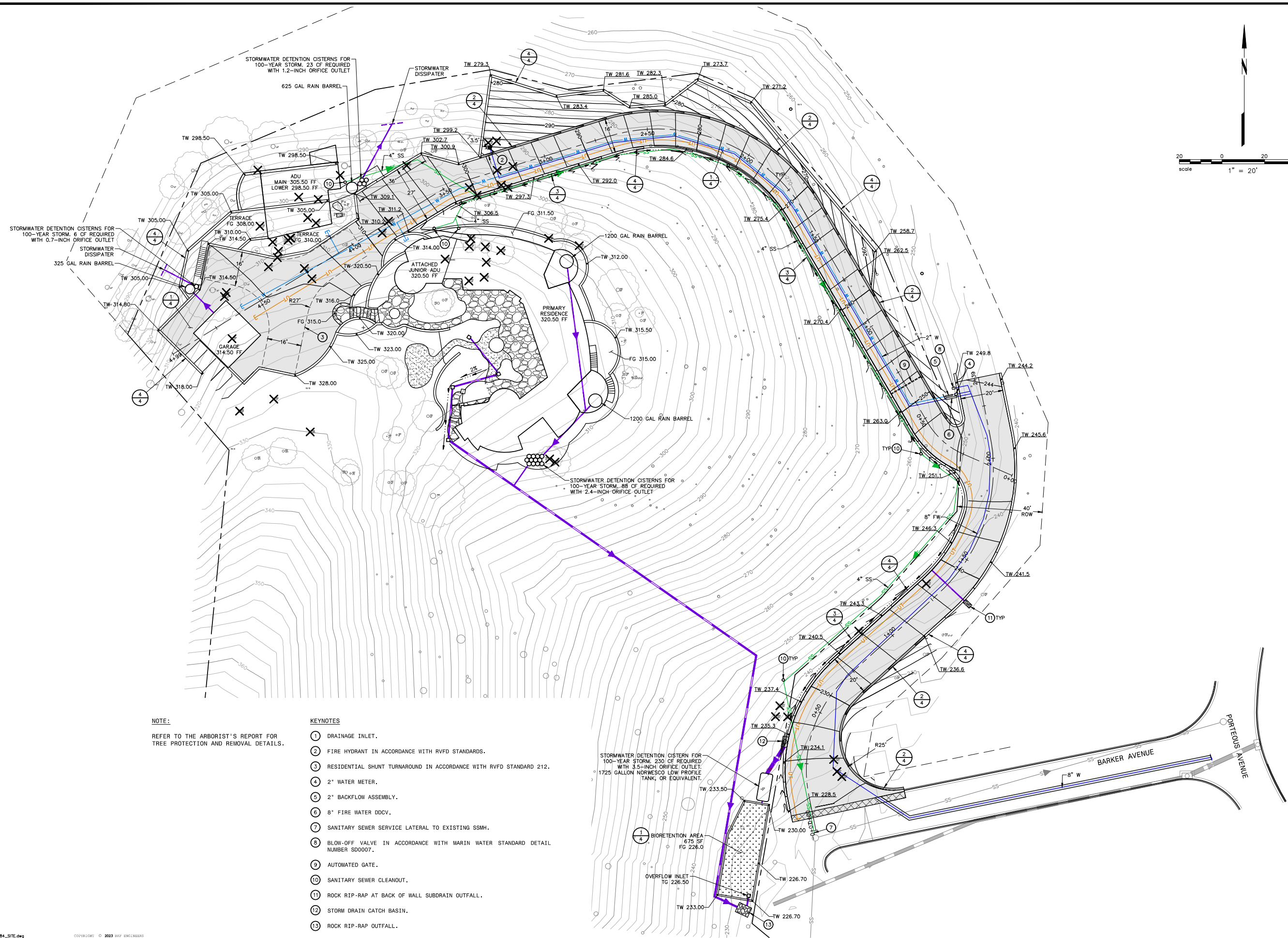
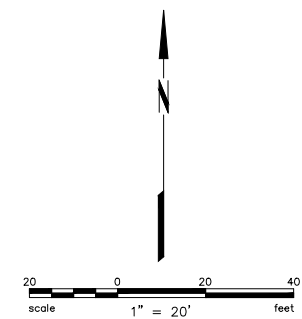


QUIRE HOUSE
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GRADING & DRAINAGE PLAN

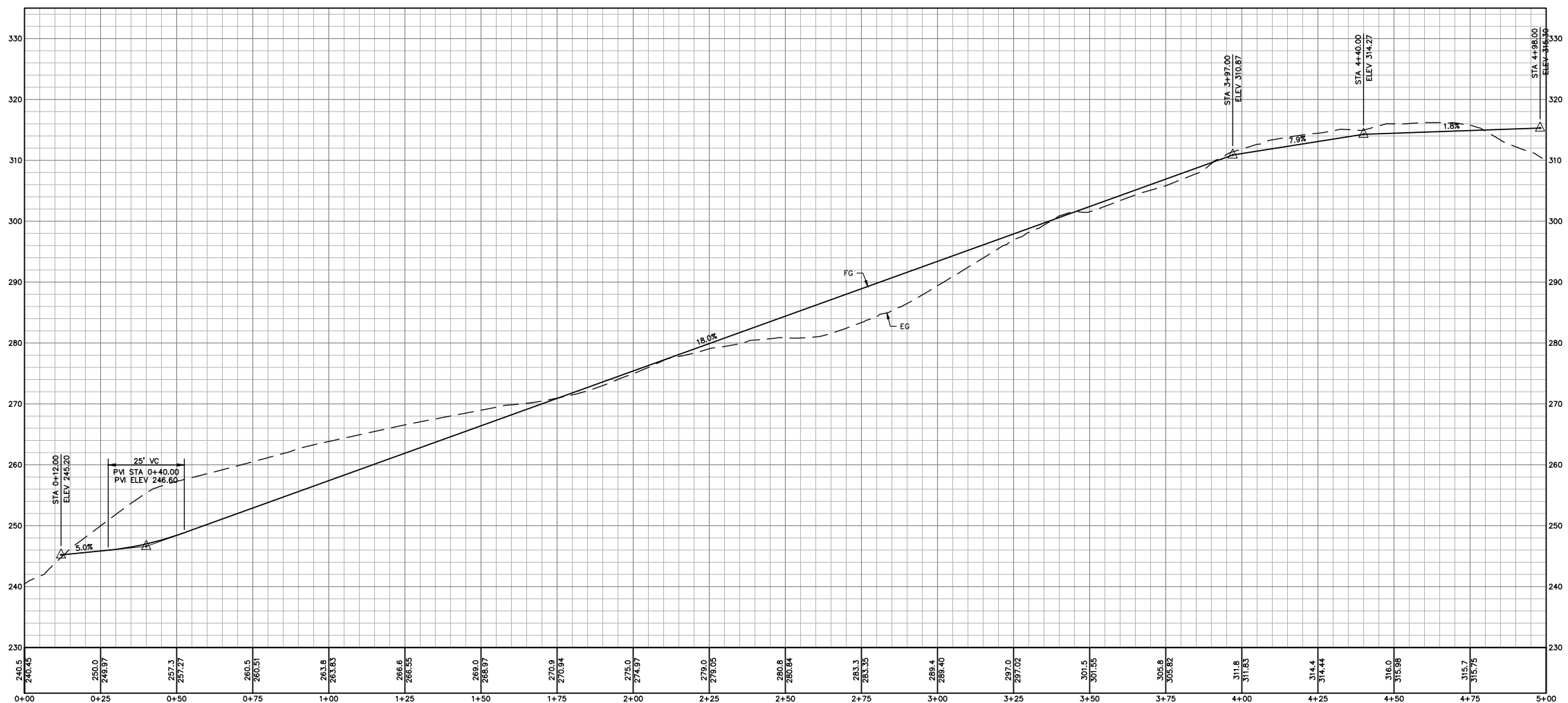
Revisions	
No.	Description

Date: JUN 2023
Scale: AS SHOWN
Design: JEP
Drawn: CAG
Approved: WB
Job No: 20210284
Drawing Number:
C-2
2 OF 5



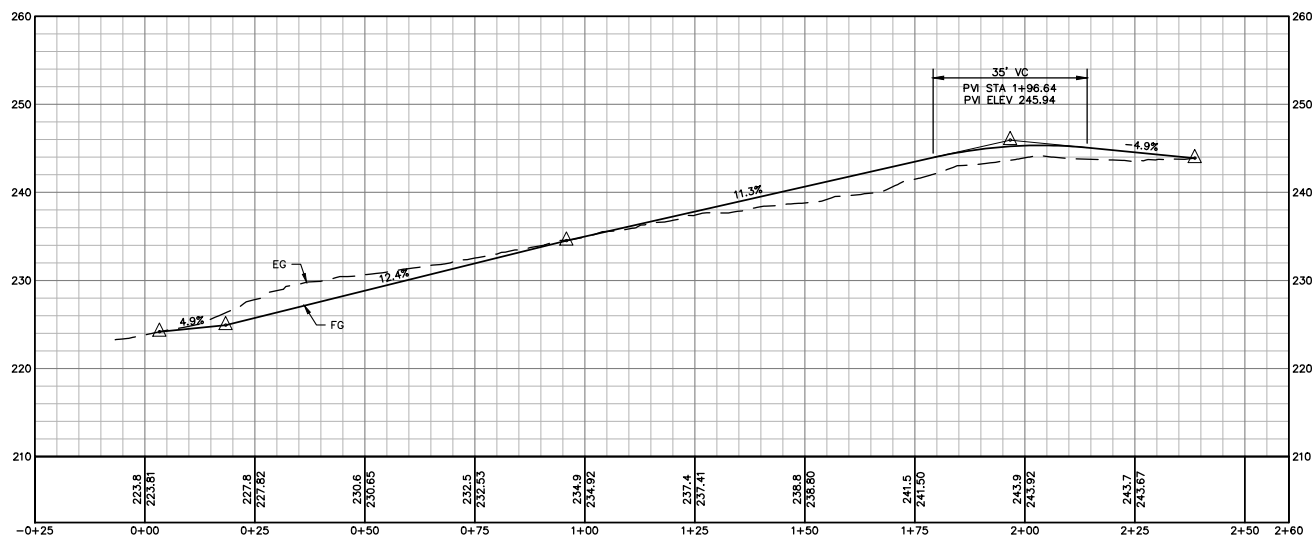
NOTE:
REFER TO THE ARBORIST'S REPORT FOR TREE PROTECTION AND REMOVAL DETAILS.

- KEYNOTES**
- 1 DRAINAGE INLET.
 - 2 FIRE HYDRANT IN ACCORDANCE WITH RVFD STANDARDS.
 - 3 RESIDENTIAL SHUNT TURNAROUND IN ACCORDANCE WITH RVFD STANDARD 212.
 - 4 2" WATER METER.
 - 5 2" BACKFLOW ASSEMBLY.
 - 6 8" FIRE WATER DDCV.
 - 7 SANITARY SEWER SERVICE LATERAL TO EXISTING SSMH.
 - 8 BLOW-OFF VALVE IN ACCORDANCE WITH MARIN WATER STANDARD DETAIL NUMBER S00007.
 - 9 AUTOMATED GATE.
 - 10 SANITARY SEWER CLEANOUT.
 - 11 ROCK RIP-RAP AT BACK OF WALL SUBDRAIN OUTFALL.
 - 12 STORM DRAIN CATCH BASIN.
 - 13 ROCK RIP-RAP OUTFALL.



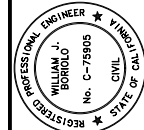
H: 1"=20'
V: 1"=10'

PRIVATE DRIVEWAY PROFILE



H: 1"=20'
V: 1"=10'

BARKER AVENUE PROFILE



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NOT FOR CONSTRUCTION
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WILLIAM J. BORIOLO C75905

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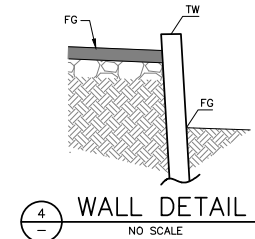
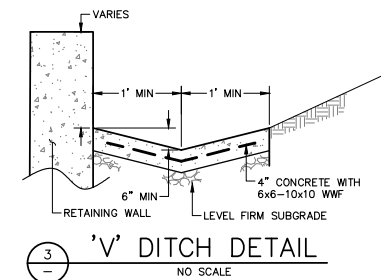
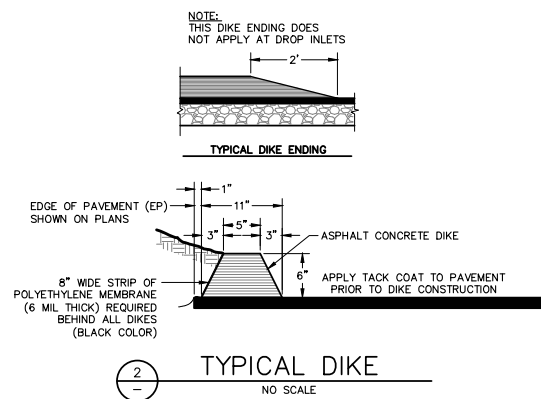
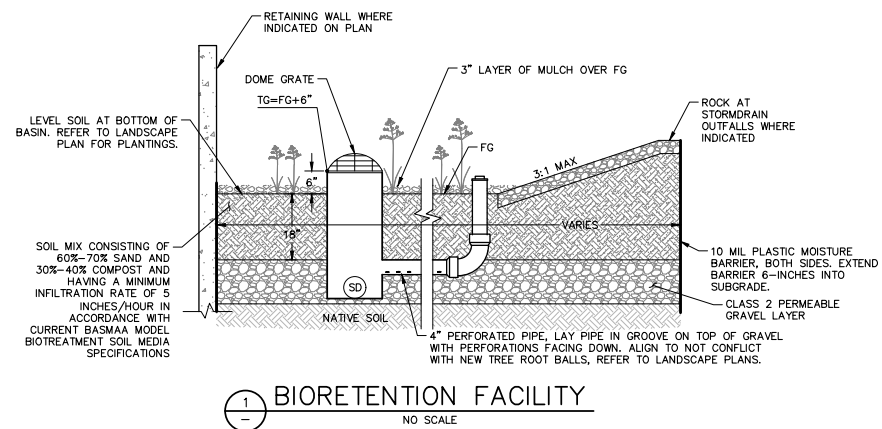
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DRIVEWAY PROFILE

Revisions	
No.	

Date: JUN 2023
Scale: AS SHOWN
Design: JEP
Drawn: CAG
Approved: WB
Job No: 20210284

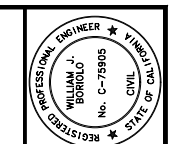
Drawing Number:
C-3
3 OF 5



EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION SCHEDULE FOR REFERENCE ONLY

EROSION AND SEDIMENT CONTROL BMP MEASURES (CASQA FACT SHEETS(S))	PHASE OF CONSTRUCTION						SITE STABILIZATION
	PRE-GRADING (CLEARING)	GRADING	UTILITIES	PAVING	VERTICAL CONSTRUCTION	LANDSCAPING	
SOIL COVER (EC-3, 5, 6)	X	X	X	X	X	X	X
STABILIZED SITE ENTRANCE TC-1	X	X	X	X			
PRESERVE EXISTING VEGETATION (EC-2)	X	X	X	X	X	X	X
REVEGETATION (EC-4)	X	X	X	X	X	X	X
FIBER ROLLS (SE-5)	X	X	X	X	X	X	X
DRAIN INLET PROTECTION (SE-10)	X	X	X	X	X	X	X
CONCRETE WASHOUT (WM-8)		X	X	X	X	X	X
STOCKPILE MANAGEMENT (WM-3)	X	X	X	X	X	X	X
HAZARDOUS MATERIAL AND REFUSE MANAGEMENT (WM-6)	X	X	X	X	X	X	X
EQUIPMENT AND VEHICLE MAINTENANCE (NS-8, 9, & 10)	X	X	X	X	X	X	X

NOTE: BMP'S SHALL BE IMPLEMENTED YEAR ROUND, AS APPROPRIATE, UNTIL THE PROJECT IS COMPLETE



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DETAILS

Revisions	
No.	Description

Date: JUN 2023
Scale: AS SHOWN
Design: JEP
Drawn: CAG
Approved: WJB
Job No: 20210284
Drawing Number:
C-4
4 OF 5

SEDIMENT CONTROL NOTES

EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THESE DRAWINGS ARE GENERAL IN NATURE AND MAY NOT BE APPLICABLE DURING CERTAIN PHASES OF CONSTRUCTION. THE CRUSHED ROCK ENTRANCE DETAIL SHOWN ON THESE DRAWINGS REFLECTS A CONDITION PRIOR TO SURFACES BEING PAVED, WHEREAS FILTERS AT STORM WATER INLETS REFLECTS A CONDITION AFTER THE STORM DRAIN SYSTEM HAS BEEN INSTALLED.

THE CONTRACTOR SHALL INTEGRATE APPROPRIATE MEASURES DURING EACH CONSTRUCTION PHASE TO ENSURE THAT SEDIMENT AND OTHER POLLUTANTS DO NOT ENTER THE STORM DRAIN SYSTEM.

THE CONTRACTOR SHALL USE WATER OR DUST PALLIATIVE TO MINIMIZE WIND EROSION. THE CONTRACTOR SHALL DESIGNATE AN AREA ON SITE TO STOCKPILE MATERIAL. THE STOCKPILED MATERIAL SHALL BE COVERED AT ALL TIMES TO PREVENT EROSION FROM WIND, RAIN AND STORM WATER RUNOFF.

ENCLOSE TEMPORARY STOCKPILES WITH PERIMETER SEDIMENT BARRIERS SUCH AS FIBER ROLLS IN ACCORDANCE WITH CASQA SECTION WM-3. STABILIZE STOCKPILES IN ACCORDANCE WITH CASQA SECTION EC-9 USING STRAW MULCH OR OTHER METHODS.

APPENDIX SECTION A4.106.4 OF THE CALIFORNIA GREEN BUILDING CODE REQUIRED THAT DISPLACED TOPSOIL BE STOCKPILED FOR REUSE AND THAT THIS MATERIAL BE COVERED TO PREVENT WINDBLOWN DUST AND EROSION BY WATER.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED IN FRONT OF INCOMPLETE STORM DRAIN SYSTEMS TO PREVENT DEBRIS AND SEDIMENT-LADEN WATER FROM ENTERING INTO THE PUBLIC STORM DRAIN SYSTEM. BEST MANAGEMENT PRACTICES SHALL BE USED WHEN INSTALLING SUCH DEVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTANT MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES TO THE SATISFACTION OF THE OWNER, AND COUNTY OF MARIN/TOWN OF FAIRFAX. EROSION AND SEDIMENT CONTROL MEASURES AND THEIR INSTALLATION SHALL BE ACCOMPLISHED USING BEST MANAGEMENT PRACTICES.

ALL ON-SITE DRAINAGE FACILITIES SHALL BE CONSTRUCTED SUCH THAT THEY FUNCTION PROPERLY, TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND PREVENT DRAINAGE FROM ONE LOT TO ANOTHER. THE HOMEOWNER SHALL BE RESPONSIBLE FOR MAINTAINING SITE DRAINAGE FACILITIES IN ACCORDANCE WITH THIS REQUIREMENT.

IF THE STORM DRAIN SYSTEM IS NOT INSTALLED PRIOR TO A PRECIPITATION EVENT, ADDITIONAL MEASURES SHALL BE TAKEN SUCH AS TEMPORARY SETTLING BASINS WHICH MEET THE SATISFACTION OF THE OWNER, AND THE COUNTY OF MARIN/TOWN OF FAIRFAX. SILT AND/OR CATCH BASINS MUST BE CLEANED OUT ON A REGULAR BASIS AFTER STORMS TO MAINTAIN DESIGN CAPACITY.

STORM WATER RUNOFF FROM THE CONSTRUCTION SITE SHALL BE DIRECTED TOWARD AN INLET WITH A SEDIMENT OR FILTRATION INTERCEPTOR PRIOR TO ENTERING THE STORM DRAIN SYSTEM.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING WATER THAT HAS BECOME POLLUTED DUE TO NOT TAKING NECESSARY EROSION AND SEDIMENT CONTROL ACTIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF MUD AND DEBRIS CARRIED ONTO SURROUNDING STREETS AND ROADS AS A RESULT OF CONSTRUCTION ACTIVITY ON THE SITE TO THE SATISFACTION OF THE COUNTY OF MARIN/TOWN OF FAIRFAX.

ANY DENUDED OR DISTURBED SOILS SHALL BE PROTECTED USING BEST MANAGEMENT PRACTICES.

PRIOR TO AND DURING A PRECIPITATION EVENT, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED BY THE DEVELOPER, CONTRACTOR OR OWNER SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF LEAVES THE SITE.

THE CONTRACTOR SHALL INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE EROSION AND SEDIMENT CONTROL PLAN AND SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF THESE CONTROL MEASURES.

BEST MANAGEMENT PRACTICES SHALL BE VISUALLY MONITORED ON A WEEKLY BASIS DURING THE DRY SEASON AND RECORDED IN AN INSPECTION CHECKLIST. RAIN EVENT VISUAL MONITORING SHALL BE PERFORMED WITHIN 48 HOURS PRIOR TO AN ANTICIPATED RAIN EVENT, DAILY DURING A RAIN EVENT AND WITHIN 48 HOURS FOLLOWING A RAIN EVENT. REMOVE SEDIMENTS WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE BARRIER AND REPLACE FILTER DEVICES AS NECESSARY TO ENSURE PROPER FUNCTION.

UNSTABILIZED AREAS WILL BE REPAIRED AS SOON AS POSSIBLE AFTER BEING DAMAGED.

ALL GRADED OR DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE.

ENTRANCE TO THE PROJECT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHT-OF-WAY. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE OF PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED ROCK THAT DRAINS INTO A SEDIMENT TRAP.

ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY USING BEST MANAGEMENT PRACTICES.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR PURPOSE SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED OR REPLACED WHEN THEY ARE NO LONGER FUNCTIONING.

THE CONTRACTOR SHALL HAVE EROSION AND SEDIMENT CONTROL MEASURES ON SITE ADEQUATE TO PROTECT THE ENTIRE SITE SUCH THAT IT IS IMMEDIATELY AVAILABLE IN PREPARATION OF A PRECIPITATION EVENT.

THE CONTRACTOR SHALL DISPOSE OF UNUSED CONSTRUCTION MATERIALS AND WASTE PRIOR TO THE COMPLETION OF CONSTRUCTION.

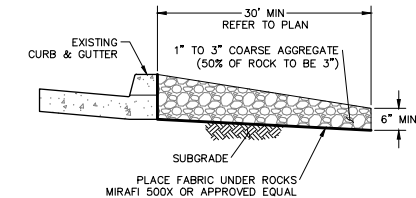
AFTER CONSTRUCTION IS COMPLETE ALL STORM DRAIN SYSTEMS ASSOCIATED WITH THIS PROJECT SHALL BE INSPECTED AND CLEARED OF ACCUMULATED SEDIMENTS AND DEBRIS.

GRADED AREAS TO BE SEED FOR EROSION CONTROL SHALL USE GRASS SEED AT THE RATE OF 75-100/LBS. PER ACRE. SEEDED AREAS SHALL BE IRRIGATED TO ENSURE COVER IS ESTABLISHED PRIOR TO THE RAINY SEASON.

HYDROSEED SHALL BE EITHER APPLIED MECHANICALLY OR BY HYDROSEEDING. HYDROSEEDING REQUIRES THE APPLICATION OF FIBER AND STABILIZING EMULSION. MECHANICAL APPLICATION SHALL REQUIRE ROLLING, TAMPING, OR OTHERWISE WORKING THE SEED APPROXIMATELY 0.5 INCHES INTO THE TOPSOIL.

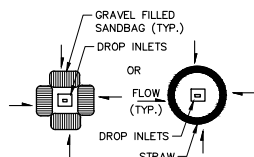
STABILIZATION OF EXPOSED GRADED AREAS WITH STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.

REFER TO SHEET 4 FOR EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION SCHEDULE.

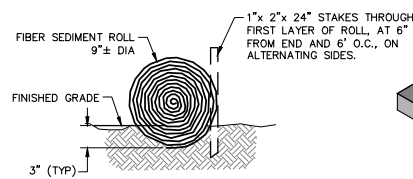


NOTE: REMOVE AGGREGATE, SEPARATE AND DISPOSE OF SEDIMENT IF CONSTRUCTION ENTRANCE/EXIT IS CLOGGED WITH SEDIMENT.

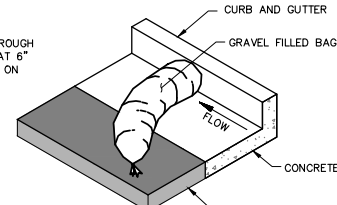
1 CRUSHED ROCK ENTRANCE
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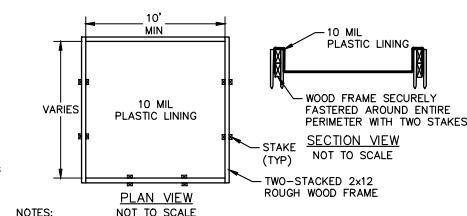
2 SEDIMENT DEVICES
NO SCALE



3 FIBER ROLL DETAIL
NO SCALE



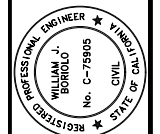
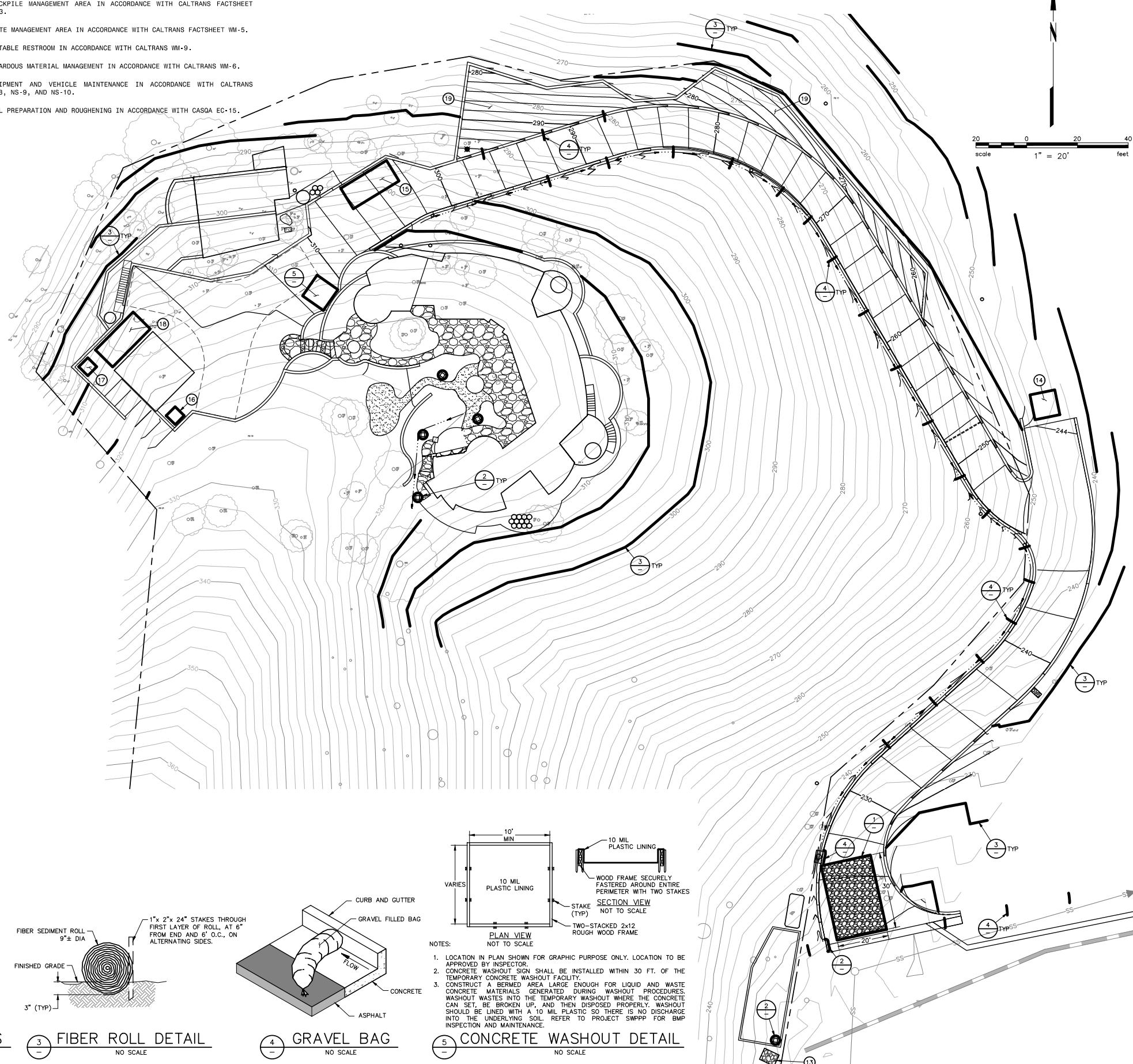
4 GRAVEL BAG
NO SCALE



5 CONCRETE WASHOUT DETAIL
NO SCALE

KEYNOTES

- 13 ROCK RIP-RAP OUTFALL.
- 14 STOCKPILE MANAGEMENT AREA IN ACCORDANCE WITH CALTRANS FACTSHEET WM-3.
- 15 WASTE MANAGEMENT AREA IN ACCORDANCE WITH CALTRANS FACTSHEET WM-5.
- 16 PORTABLE RESTROOM IN ACCORDANCE WITH CALTRANS WM-9.
- 17 HAZARDOUS MATERIAL MANAGEMENT IN ACCORDANCE WITH CALTRANS WM-6.
- 18 EQUIPMENT AND VEHICLE MAINTENANCE IN ACCORDANCE WITH CALTRANS NS-8, NS-9, AND NS-10.
- 19 SOIL PREPARATION AND ROUGHENING IN ACCORDANCE WITH CASQA EC-15.



PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 06/09/2023
WILLIAM J. BORRIOLO C75905

200 4th STREET
SUITE 300
SANTA ROSA, CA 95401
(707) 583-9500
www.bkf.com



QUIRE HOUSE
APN 002-071-01
BARKER AVENUE, FAIRFAX, CALIFORNIA 94930
EROSION & SEDIMENT CONTROL PLAN

Revisions	No.	Description

Date: JUN 2023
Scale: AS SHOWN
Design: JEP
Drawn: CAG
Approved: WJB
Job No: 20210284

Drawing Number:
C-5
5 OF 5

REVISIONS	BY

INSPECTION SCHEDULE

Inspection of site: Prior to Equipment and Materials Move In, Site Work, Demolition and Tree Removal: The Project Arborist will meet with the General Contractor, Architect / Engineer, and Owner or their representative to review tree preservation measures, designate tree removals, delineate the location of tree protection / non-intrusion zone fencing, specify equipment access routes and materials storage areas, review the existing condition of trees and provide any necessary recommendations.

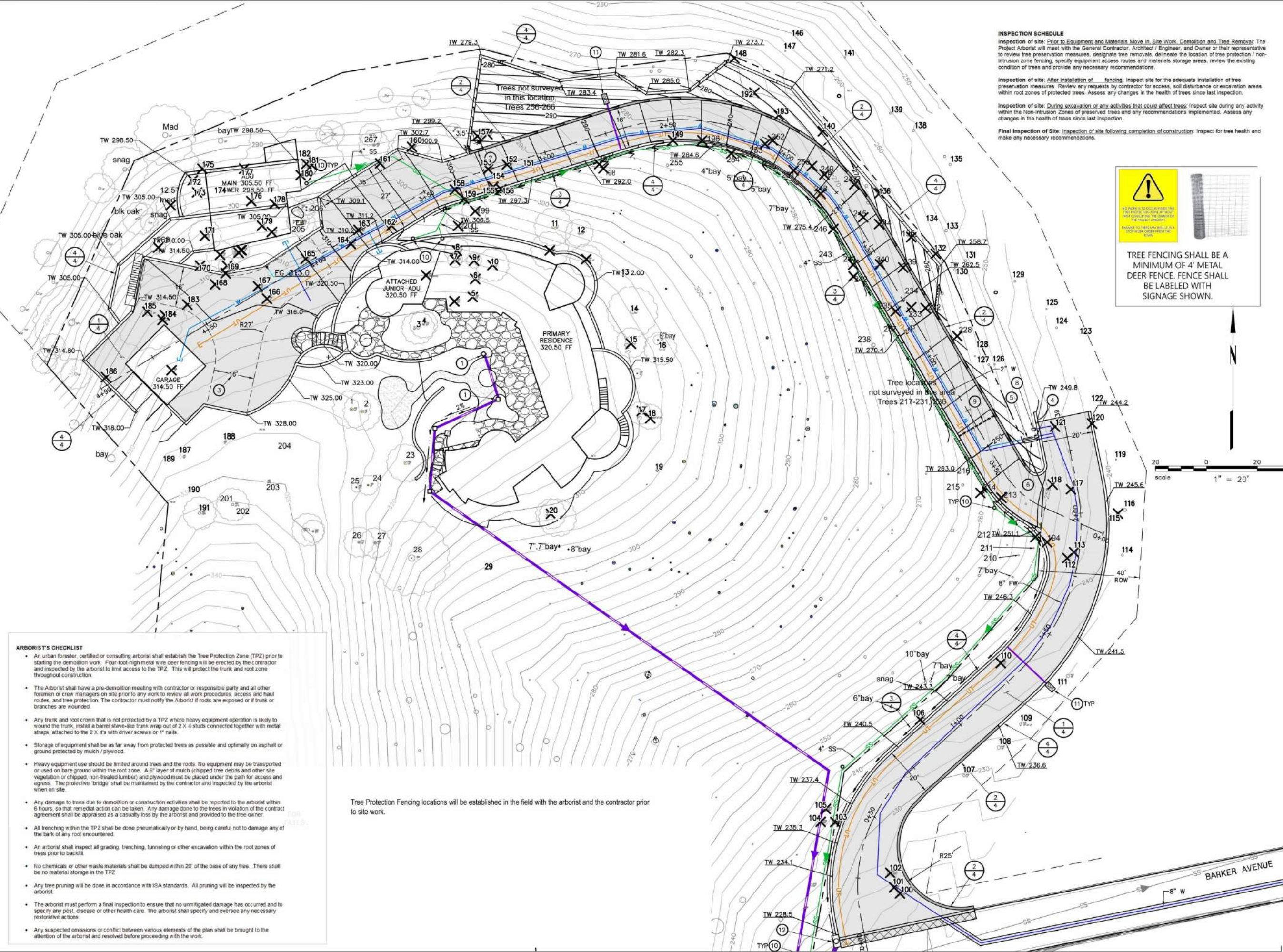
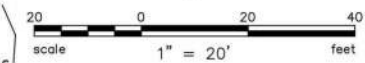
Inspection of site: After installation of fencing: Inspect site for the adequate installation of tree preservation measures. Review any requests by contractor for access, soil disturbance or excavation areas within root zones of protected trees. Assess any changes in the health of trees since last inspection.

Inspection of site: During excavation or any activities that could affect trees: Inspect site during any activity within the Non-Intrusion Zones of preserved trees and any recommendations implemented. Assess any changes in the health of trees since last inspection.

Final Inspection of Site: Inspection of site following completion of construction: Inspect for tree health and make any necessary recommendations.



TREE FENCING SHALL BE A MINIMUM OF 4' METAL DEER FENCE. FENCE SHALL BE LABELED WITH SIGNAGE SHOWN.



- ARBORIST'S CHECKLIST**
- An urban forester, certified or consulting arborist shall establish the Tree Protection Zone (TPZ) prior to starting the demolition work. Four-foot-high metal wire deer fencing will be erected by the contractor and inspected by the arborist to limit access to the TPZ. This will protect the trunk and root zone throughout construction.
 - The Arborist shall have a pre-demolition meeting with contractor or responsible party and all other foremen or crew managers on site prior to any work to review all work procedures, access and haul routes, and tree protection. The contractor must notify the Arborist if roots are exposed or if trunk or branches are wounded.
 - Any trunk and root crown that is not protected by a TPZ where heavy equipment operation is likely to wound the trunk, install a barrel sleeve-like trunk wrap out of 2 x 4 studs connected together with metal straps, attached to the 2 x 4's with driver screws or 1" nails.
 - Storage of equipment shall be as far away from protected trees as possible and optimally on asphalt or ground protected by mulch / plywood.
 - Heavy equipment use should be limited around trees and the roots. No equipment may be transported or used on bare ground within the root zone. A 6" layer of mulch (chipped tree debris and other site vegetation or chipped, non-treated lumber) and plywood must be placed under the path for access and egress. The protective "bridge" shall be maintained by the contractor and inspected by the arborist when on site.
 - Any damage to trees due to demolition or construction activities shall be reported to the arborist within 6 hours, so that remedial action can be taken. Any damage done to the trees in violation of the contract agreement shall be appraised as a casualty loss by the arborist and provided to the tree owner.
 - All trenching within the TPZ shall be done pneumatically or by hand, being careful not to damage any of the bark of any root encountered.
 - An arborist shall inspect all grading, trenching, tunneling or other excavation within the root zones of trees prior to backfill.
 - No chemicals or other waste materials shall be dumped within 20' of the base of any tree. There shall be no material storage in the TPZ.
 - Any tree pruning will be done in accordance with ISA standards. All pruning will be inspected by the arborist.
 - The arborist must perform a final inspection to ensure that no unmitigated damage has occurred and to specify any pest, disease or other health care. The arborist shall specify and oversee any necessary restorative actions.
 - Any suspected omissions or conflict between various elements of the plan shall be brought to the attention of the arborist and resolved before proceeding with the work.

Tree Protection Fencing locations will be established in the field with the arborist and the contractor prior to site work.

209 SAN ANSELMO AVE
SAN ANSELMO, CA
415 454-4212

URBAN FORESTRY ASSOCIATES, INC.

**TREE PROTECTION
MANAGEMENT PLAN**

NEW RESIDENCE
QUIRIE FAMILY
BARKER AVENUE
FAIRFAX, CALIFORNIA
A.P. #002-071-01

DATE: DEC 22, 2022
SCALE: AS NOTED
JOB: QUIRIE



Tree Number	Species	Trunk Diameter (inches)	Health	Structure	Form	Comments	Removal	Heritage	
1	Valley oak	17.8		Good	Fair	Poor to Fair		Heritage	
2	Coast live oak	11.2	10.2	Good	Good	Fair to good		Heritage	
3	Valley oak	14.9		Good	Good	Fair		Heritage	
4	Valley oak	12.8		Good	Good	Fair		Heritage	
5	Black oak	14.3		Good	Good	Good	X	Heritage	
6	Black oak	9.5		Good	Good	Fair	X	Heritage	
7	Black oak	7		Good	Fair	Poor to fair		Decay cavity in base	
8	Black oak	12.5		Poor to fair	Fair	Fair	X	Heritage	
9	Black oak	6.7	5.7	Good	Good	Fair to good	X		
10	Black oak	15.2		Good	Good	Good	X	Heritage	
11	Black oak	16		Poor	Poor	Poor to fair		Nearly dead	
12	Pacific madrone	17.2		Fair	Poor to fair	Fair to good		Heritage	
13	California bay	6.7	5	Good	Good	Good			
14	Black oak	14.6	14.2	Fair	Poor	Good		Large necrotic area on base	
15	Coast live oak	13	7	Poor	Poor	Fair	X	Heritage	
16	Pacific madrone	15.2		Good	Good	Good		Heritage	
17	Pacific madrone	10.1		Poor	Fair	Fair	X	Heritage	
18	California bay	10.2	8.8	6.5	Good	Good	Good	X	
19	California bay	10.1	9.1	8	Good	Fair to good	Good		
20	Valley oak	13.3		Good	Good	Good	X	Heritage	
23	Valley oak	17.4		Good	Fair	Good		Large decay cavity in trunk	
24	Valley oak	10		Good	Good	Good		Heritage	
25	Coast live oak	6.9		Good	Good	Poor		Strong bow in trunk	
26	California bay	11.5		Good	Good	Good			
27	California bay	11.7	7.5		Good	Good	Good		
28	California bay	15	13.9	13	Good	Fair to good	Good		
29	Valley oak	13.3		Good	Good	Fair to good		Not on survey	
100	California Bay	17	17		Good	Poor to Fair	Fair to Good	Decayed stump between two spars. Targets power lines and road	
101	California Bay	18.5			Good	Good	Fair to Good		
102	California Bay	36			Good	Fair to Good	Fair to Good	One stem was previously topped. Partially failed branch high in canopy.	
103	Valley oak	27			Fair	Fair	Fair to Good	Large diameter deadwood in canopy but base is sound.	
104	California Bay	12	12	10		Good	Good	Fair to Good	Six stems. Leans away from adjacent Valley Oak
105	California Bay	13	12	9		Good	Good	Fair to Good	Six stems. Leans away from adjacent Valley Oak.
106	California Bay	8	7.5		Fair to Good	Fair to Good	Fair to Good	Leans towards road.	
107	Decodar Cedar	12			Good	Good	Excellent		
108	Valley oak	20			Good	Good	Fair to Good	On neighboring property. Not tagged.	
109	California Bay	11.5	6	5		Good	Good	Good	
110	Coast live oak	14			Good	Good	Fair to Good	Canopy balance over road	
111	Coast live oak	24			Poor to Fair	Fair	Fair to Good	Appears to have an early phytophthora infection. Large old decaying wound on base. Leans over adjacent home	
112	California Bay	7			Good	Good	Good		
113	California Bay	7			Poor	Poor to Fair	Fair	Nearly girdled by rope that has been tied around the base for many years. Nearly dead.	
114	California Bay	10			Good	Fair to Good	Fair to Good	Top previously broke out of tree.	
115	Black Oak	13			Fair	Fair	Fair	Top previously broke out of tree. Two necrotic areas on base.	
116	California Bay	16			Good	Good	Good		
117	California Bay	7			Good	Fair to Good	Fair to Good	Top previously broke out at 15 feet above grade. Canopy now consists of sprouts.	
118	California Bay	9	8		Good	Fair to Good	Fair to Good	Top previously broke out of both stems.	
119	California Bay	7			Good	Good	Fair to Good	Leans over adjacent property	
120	Black Oak	26			Fair to Good	Fair	Fair	Advanced decay in trunk at 6 feet associated with two large old wounds. Top previously broke out of tree at 30 feet.	
121	California Bay	8	7	6		Good	Good	Fair to Good	

Tree Number	Species	Trunk Diameter (inches)	Health	Structure	Form	Comments	Removal	Heritage	
122	California Bay	4.5			Good	Fair	Good	Several codominant sprouts arise from old topping cut at 6 feet.	
123	California Bay	27			Good	Poor to Fair	Fair	Large tree leaning over driveway. Last remaining stem from cluster of sprout growth from a decaying stump. Failure within the next few years is probable.	
124	California Bay	9			Good	Fair to Good	Fair	Strong bow and stem away from adjacent large bay. Trunk is rubbing against another adjacent bay	
125	California Bay	6.5			Good	Good	Fair	Suppressed and leaning away from road.	
126	California Bay	8.5			Good	Good	Fair	Leaning over road	
127	California Bay	8.5	8	7.5		Good	Good	Fair to Good	Three stems lean over road
128	California Bay	5.5			Fair	Fair to Good	Poor to road	Sparse. Leaning over road	
129	California Bay	9.5			Good	Good	Fair to Good	Adjacent tree is rubbing on trunk.	
130	California Bay	12			Good	Fair	Fair	Top previously broke out of tree. Extensive decay associated with long wound on top side of stem. Leans over road.	
131	California Bay	10.5			Good	Fair to Good	Fair to Good		
132	California Bay	8.5			Fair	Poor to Fair	Fair to Good	Armilaria in base. Leaning over road.	
133	California Bay	15.5			Good	Good	Fair	Wound on road side of base.	
134	California Bay	7			Good	Good	Good		
135	Blackwood Acacia	14	12	12		Good	Fair to Good	Good	On opposite side of wire fence
136	Coast live oak	8			Fair to Good	Good	Fair	Scraggly. Top broke out at 20 feet	
138	California Bay	15			Good	Fair to Good	Fair to Good	Tree engulfed wire fencing	
139	California Bay	11	11			Good	Good	Good	
140	California Bay	10.5			Fair to Good	Good	Fair to Good		
141	California Bay	7.5			Fair	Good	Fair to Good	Sparse. Nearly girdled at base.	
146	California Bay	7.5			Good	Good	Fair		
147	California Bay	7.5			Good	Good	Good		
148	California Bay	8.5			Fair to Good	Good	Fair	Canopy is in conflict with adjacent black oak	
149	Pacific Madrone	22			Poor to Fair	Poor to Fair	Poor to Fair	Nearly dead with extensive decay in base	
151	Pacific Madrone	6.5			Fair	Good	Poor to Fair		
152	Black Oak	11			Good	Fair	Fair	Decay cavities in trunk. Broken top. Suppressed.	
153	Pacific Madrone	7			Poor to Fair	Poor to Fair	Fair	Extensive decay in main trunk. Appears to be nearly dead.	
154	Pacific Madrone	6.5			Good	Good	Fair		
155	Black Oak	10			Good	Fair	Fair	Decay in trunk at two old failure points	
156	Black Oak	14			Good	Good	Fair to Good		
157	Black Oak	14.5			Fair to Good	Poor to Fair	Good	Nearly half girdled at base from old wound likely from original road cut. Wound is partially buried and decaying.	
158	Black Oak	11.5			Good	Fair	Fair	Twist in trunk creates structural weak point. Leans over road.	
159	Black Oak	12	4.5			Good	Good	Fair to Good	
160	Black Oak	22				Good	Good	Good	
161	California Bay	8				Good	Good	Good	
162	California Bay	5.5				Good	Good	Good	
163	Pacific Madrone	16.5	10			Good	Poor to Fair	Fair to Good	Extensive decay in base. Leaning over road.
164	California Bay	8.5				Good	Good	Good	
165	Valley oak	13				Good	Good	Fair to Good	
166	Pacific Madrone	7				Fair	Good	Good	
167	Black Oak	15.5				Good	Good	Fair to Good	
168	Pacific Madrone	9				Good	Good	Good	
169	Pacific Madrone	7.5				Good	Good	Good	
170	Pacific Madrone	7				Fair to Good	Good	Fair to Good	
171	Pacific Madrone	12.5				Good	Good	Good	
172	Pacific Madrone	4.5				Fair to Good	Good	Fair	

Tree Number	Species	Trunk Diameter (inches)	Health	Structure	Form	Comments	Removal	Heritage	
173	California Bay	5.5			Good	Good	Good		
174	Pacific Madrone	6			Good	Good	Good		
175	Pacific Madrone	7.5			Fair	Good	Fair	Snaking downhill through the canopy. Suppressed.	
176	Black Oak	8			Good	Good	Fair	Strong lean downhill	
177	California Bay	4.5			Good	Good	Good		
178	California Bay	6.5			Good	Good	Fair to Good	Downhill lean	
179	Pacific Madrone	7			Fair to Good	Good	Fair to Good		
180	California Bay	7			Good	Good	Fair		
181	Pacific Madrone	17	14			Poor to Fair	Poor to Fair	Fair	One of three codominant stems is dead. Extensive decay in base.
182	Black Oak	10.5			Fair to Good	Fair to Good	Poor to Good	Strong lean downhill.	
183	California Bay	18.5			Good	Fair to Good	Fair to Good	Decay cavity in trunk at 6 feet	
184	California Bay	10			Good	Good	Excellent		
185	Pacific Madrone	8			Fair to Good	Fair to Good	Fair	Second stem previously died and was removed. Long necrotic strip on trunk of remaining stem	
186	Coast live oak	12			Good	Good	Fair to Good	Leans uphill	
187	Valley oak	19.5			Good	Good	Good		
188	Valley oak	13			Good	Good	Good		
189	Toyon	5			Good	Good	Fair		
190	Valley oak	7			Good	Good	Good		
191	Valley oak	11			Good	Good	Good		
192	California Bay	7.5			Good	Good	Fair to Good		
193	Pacific Madrone	5.5			Good	Good	Fair		
194	California Bay	7.2			Good	Good	Fair to Good	Downhill lean	
195	California Bay	5.7			Good	Good	Fair to Good		
196	Black oak	12.1			Good	Fair to Good	Fair	Strong lean over road	
197	California Bay	6.6			Good	Good	Fair		
198	Black oak	18.2			Good	Good	Fair to Good		
199	Black oak	10.4			Good	Good	Fair to Good	Canopy full of poison oak	
200	Black oak	12.5			Poor	Good	Good	Infested with bark beetles	
201	Valley oak	11.3			Fair	Good	Good		
202	California Bay	8.2	7.1	5.5		Good	Fair to Good	Fair to Good	
203	Valley oak	12.3			Fair to Good	Good	Good		
204	Valley oak	13			Good	Good	Good		
205	California Bay	12	9.7			Good	Good	Good	
206	California Bay	9.1	7.2			Good	Good	Good	
210	California Bay	6.5			Good	Good	Fair		
211	California Bay	6.8			Fair	Fair	Fair		
212	California Bay	5.5			Good	Good	Fair to Good		
213	Black Oak	12			Fair	Poor to Fair	Fair to Good	One of two codominant stems died, and was removed, leaving a large rotting wound	
214	California Bay	9			Good	Fair to Good	Poor to Fair	Second stem previously removed.	
215	California Bay	10.5			Fair to Good	Good	Fair		
216	California Bay	13	12	5.5		Good	Fair to Good	Fair to Good	
217	Pacific Madrone	8.5	7			Fair	Fair to Good	Fair	
218	California Bay	7.5	6.5	6		Good	Fair to Good	Fair to Good	
219	California Bay	8			Fair	Fair to Good	Fair		
220	Pacific Madrone	12			Fair	Fair	Fair	Strong downhill lean. Decay in base.	
221	Pacific Madrone	12.5			Poor to Fair	Good	Fair	Leans uphill.	
222	California Bay	8	7			Poor to Fair	Fair to Good	Fair to Fair	
223	California Bay	9	5			Fair	Good	Fair to Good	Smaller stem is nearly dead.
224	California Bay	5.5			Good	Good	Fair to Good		
225	California Bay	4.5			Poor to Fair	Fair to Good	Poor to Fair	Heavily suppressed	
226	California Bay	9			Good	Good	Fair to Good		
227	Pacific Madrone	7			Fair to Good	Fair to Good	Fair		
228	California Bay	8			Good	Good	Fair to Good		
229	California Bay	8			Good	Good	Fair		
230	California Bay	6			Fair	Good	Fair		
231	California Bay	5			Fair to Good	Good	Poor to Fair		
232	California Bay	7			Fair to Good	Good	Fair		

Tree Number	Species	Trunk Diameter (inches)	Health	Structure	Form	Comments	Removal	Heritage	
233	California Bay	6.5			Fair	Good	Fair		
234	Pacific Madrone	4			Fair to Good	Good	Fair		
235	Pacific Madrone	14			Poor to Fair	Fair to Good	Fair to Good	Downhill lean. Old wound on base.	
236	California Bay	4.5			Fair to Good	Fair to Good	Poor to Fair		
237	California Bay	6.5	5.5		Fair to Good	Good	Fair		
238	Black Oak	23			Good	Good	Fair to Good	Slight downhill lean	
239	California Bay	7.5			Good	Good	Good		
240	California Bay	8.5			Good	Good	Fair to Good		
241	California Bay	9			Fair to Good	Good	Fair		
242	Pacific Madrone	12			Fair to Good	Fair to Good	Fair	Downhill lean and bow	
243	California Bay	8.5	7			Good	Fair to Good	Fair to Good	
244	Pacific Madrone	9.5			Fair	Fair to Good	Fair		
245	California Bay	8			Good	Good	Good		
246	California Bay	4			Fair to Good	Fair	Poor to Fair		
247	California Bay	6.5			Good	Fair to Good	Fair		
248	California Bay	5			Good	Fair	Fair		
249	California Bay	6			Fair to Good	Fair	Fair	Main leader previously broke out of tree	
250	California Bay	5.5			Fair to Good	Poor to Fair	Fair to Good	Top previously broke out of tree	
251	California Bay	5			Good	Good	Good		
252	Pacific Madrone	5.5			Poor to Fair	Fair	Poor to Fair		
253	Pacific Madrone	9.5			Fair to Good	Fair to Good	Fair	Downhill lean	
254	Black Oak	15			Fair	Fair	Fair to Good	Large necrotic area on lower trunk with decay moving into structural wood	
255	Black Oak	14	8.5			Good	Good	Good	Large poison oak vine climbing into tree
256	Pacific Madrone	8.5			Good	Good	Fair to Good		
257	California Bay	5			Fair to Good	Good	Fair		
258	California Bay	8.5	7.5			Fair	Good	Fair	Large chunk of the canopy is entirely dead
259	Black Oak	8	7.5			Fair	Fair to Good	Fair	Necrotic area on base. 9" dbh bay within 1' of tree.
260	California Bay	7.5			Fair to Good	Good	Fair to Good		
261	California Bay	11.5	8.5			Good	Good	Fair to Good	Smaller stem, broke off at 15 feet
262	Black Oak	7.5			Good	Good	Fair		
263	California Bay	12	6.5	6		Fair	Good	Fair to Good	
264	Pacific Madrone	15			Fair				

LANDSCAPE DESIGN STATEMENT

This landscape plan is based on the principle that the built form should blend to the natural environment. This does not mean that only native cultivars are used, but it does mean that the natural vegetation surrounding structures and roadways should be preserved and enhanced. The subject property is roughly 9 acres of woodland. We are defining three basic zones of landscaping type on the property. The first zone is the Building Site, which is defined as the land on which a residence, accessory dwelling unit, and a garage are to be constructed, and the land within approximately 30 feet of those structures. The second is the Development Area of the property. This is the north-west portion of land bordered on two sides by the Barker Avenue right of way, and areas within 100 feet of structures. It encompasses 2 acres of area including the Building Site zone. The third zone is Natural Woodland, which is the remaining approximately 7 acres of the property.

The strategy for the landscape design is to make landscape improvements that are appropriate for each of the three landscape zones. The design guidelines for each zone are as follows:

Natural Woodland

The majority of this property would be best categorized as "forest in transition". The existing native trees are experiencing a great deal of stress due to drought, with a fairly high mortality rate. Invasive Scotch broom has also taken hold on much of the property. An intensive program has been implemented to eradicate the broom by physical removal (without the use of herbicides). Roughly 7 acres of the property have had the broom removed. Outside of this removal, and strategic removal of fallen trees, no other interventions are planned for the Natural Woodland.

Development Area

This area is also "forest in transition" In this area a more intensive approach has been taken to remove the Scotch broom. The health of trees in this area has been monitored, with dead or dying trees removed and chipped on site. The forest has been thinned to remove smaller trees that would contribute to "laddering" of flames during wildfires. Wood chips are used as mulch throughout this area.

The access driveway for the development passes through this zone. Areas disturbed during the course of construction in this zone are to be replanted with native trees and shrubs.

Building Site

The orientation of the principal residence is toward a central courtyard. This gives the opportunity to have more formal landscape, with non-native species, fruit trees, herb gardens and vegetable gardens installed in an area that is not materially visible off-site. The most rigorous fire-safe landscape strategies are employed in this zone.

In this zone there are seven areas that use plants. These areas are defined by their use and watering needs. The seven areas are:

1. Plantings between flagstones
2. Herb gardens
3. Native grass and walkable ground cover areas
4. Cactus and succulent gardens
5. Pollinator flower garden
6. Citrus and fruit trees with vegetable gardens
7. Stylized woodland plantings

See Sheet T-3.1 for a detailed landscape plan illustrating the location of these planting areas.

WATER-WISE STRATEGIES

Watering Sources

Rain water catchments shall be incorporated into the design of all roofs on the property. Rain storage tanks shall be located, as much as possible, in the understorey of the buildings to minimize their visual impact. Graywater storage will also be incorporated into the building design.

Irrigation within the Development Area zone, exclusive of the Building Site zone, shall be supplied by the graywater collection system. This system is intended to counter the effects of drought on the native trees and plants near the area planned for housing.

To the extent possible, the plantings in the Building Site zone will be irrigated using rain water. Only when rain water storage is depleted will the Building Site zone's plantings be irrigated with water from Marin Municipal Water District. Irrigation controllers, rain sensors, sprinkler and drip emitters shall be installed and maintained in compliance with Marin Water Landscape design guidelines.

Plants and Turf

Plants placed within the Development Area zone shall all be native plants, with similar watering needs. After the first year of planting, many of these plants will not require much summer irrigation, except to maintain the health of the plants in the interest of wild-fire prevention.

Placement of plants within the Building Site zone shall be made in hydrozones that are established based on each plants watering needs. High water use plants shall be avoided, and where they are used, not mixed with low or moderate use plants.

No invasive plants are to be used. All plants shall be placed appropriately, according to their micro-climate needs.

Conventional turf grasses shall not be used. Native grasses shall not be planted in high slope areas, nor in areas less than 10 feet in width. Landscaping plans call for native grasses only in the Building Site zone of the property.

Soils and Mulch

Healthy soil and proper mulching are important components to sustaining the eradication of non-native and invasive plant species on the site. All of the Development Area soils that are disturbed during construction shall be repurposed to provide a minimum of 8 inches of non-mechanically compacted soil. Refer to the Tree Protection Plan, in this application, for requirements that limit the impact of construction on the root zone areas of existing trees.

WATER-WISE STRATEGIES (CONT.)

Compost shall be incorporated into the soils, in the Development Area where soils have been disturbed by construction and in all planting areas of the Building Site zone, to a depth of 8 inches, at a minimum rate of 6 cubic yards per 1,000 square feet.

A minimum 3" layer of mulch shall be applied on all exposed soil surfaces of planting areas except in areas of native grasses, ground covers and direct seeding applications. All areas of the Development Area shall be mulched with wood chips from downed wood on the site.

FIRE SAFE LANDSCAPING PRACTICES

To improve fire resistance near combustible structures, inorganic mulches such as decomposed granite, gravel, and rocks shall be used where mulch is needed within 5' of buildings, decks, etc.

Shredded mulches shall not be used. Wood chips may be used as mulch in areas that are greater than 5' away from combustible structures.

Plants and trees shall be placed so that laddering of fire from ground to tree crowns is prevented. Shrubs shall be placed with spacing that maintains a low flame height in the event of wild-fire. Trees within the 30-foot zone of a structure shall be managed as follows:

10' minimum distance from lowest tree branches to the ground for established trees with trunk diameter of 12" or greater. Newly planted trees shall be planted and maintained so that the tree's drip line at maturity is a minimum of 10 feet from any combustible structure.

3 x height of shrub to the lowest tree branch when tree has reached maturity.

Shrubs shall not exceed 6 feet in height. Grouping of shrubs are limited to maximum aggregate diameter of 10 feet. Shrub groupings shall be separated from other groupings a minimum of 15 feet. Shrub groupings shall be separated from structures a minimum of 30 feet.

For individually placed shrubs, located between 5 feet and 30 feet from structures, spacing based on slope shall be:

Flat to mild slope (0 - 20%)

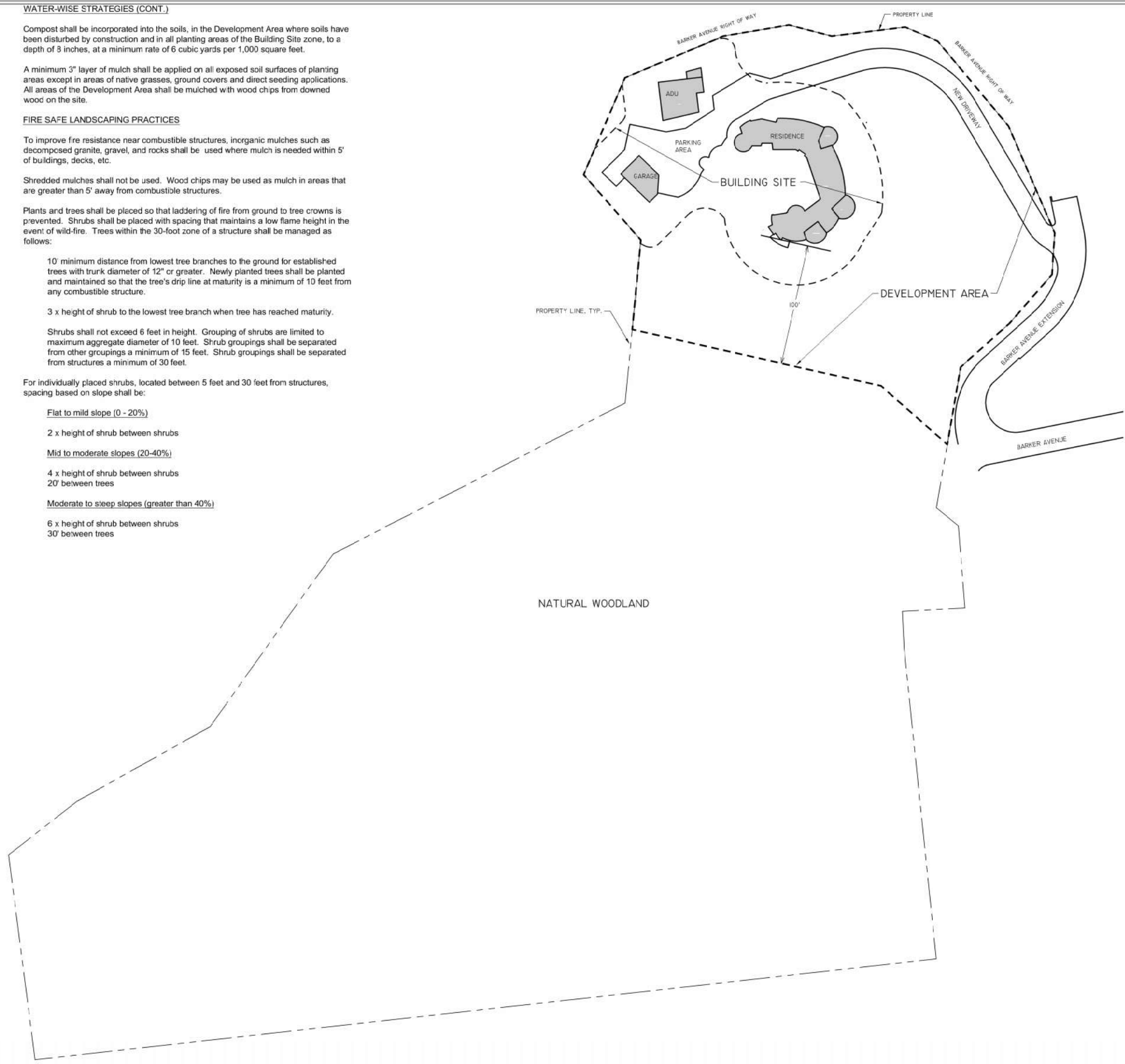
2 x height of shrub between shrubs

Mid to moderate slopes (20-40%)

4 x height of shrub between shrubs
20' between trees

Moderate to steep slopes (greater than 40%)

6 x height of shrub between shrubs
30' between trees



LANDSCAPE ZONE PLAN @ 1" = 40'-0"

REVISIONS	BY
PLANNING DEPT. COMPLETENESS 6/7/2023	GRH

MILLAR ARCHITECTURE
46 SANTA BARBARA AVE.
SAN ANSELMO, CA. 94960
TEL 415-250-9091
millargary07@gmail.com

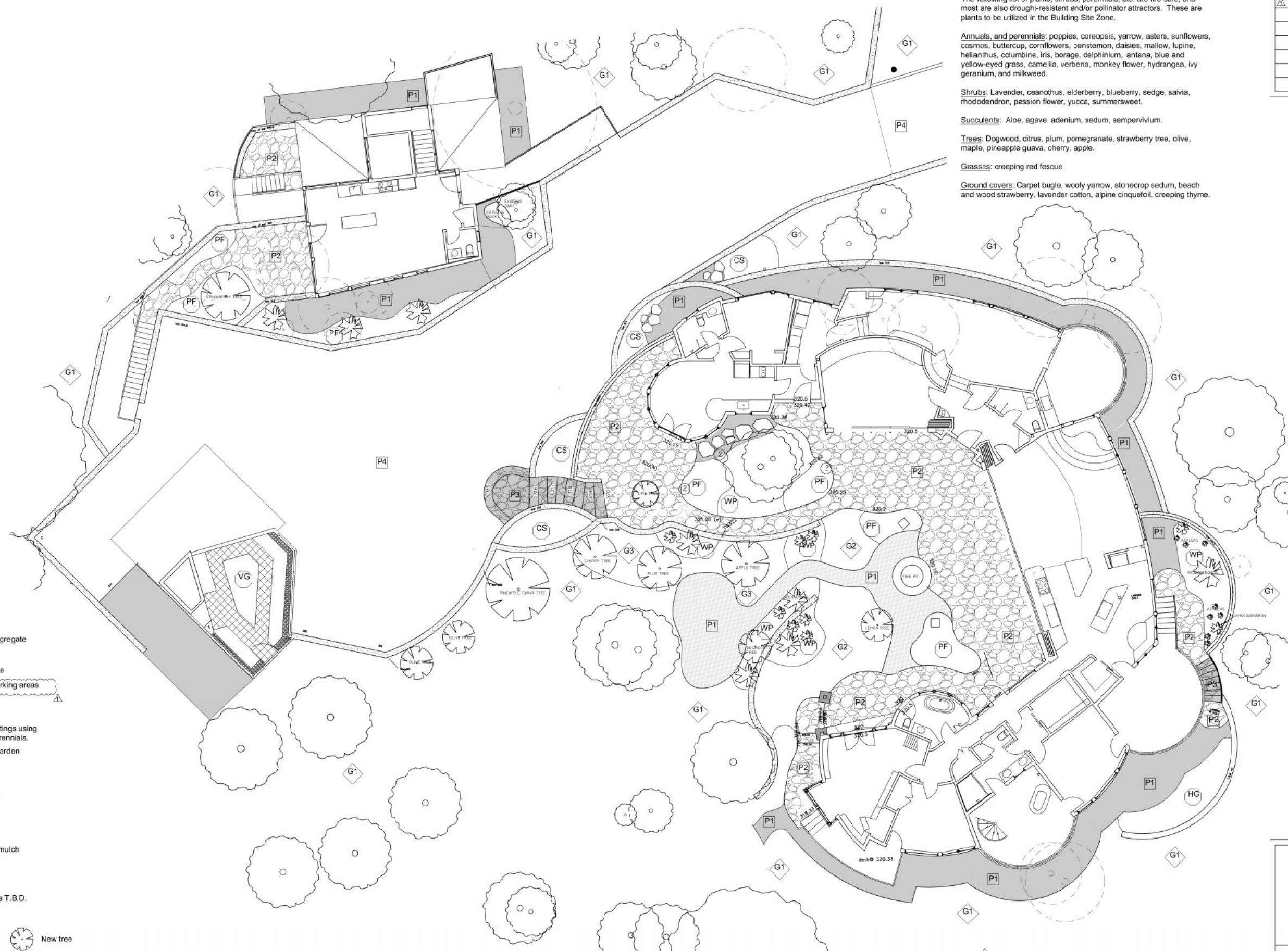
LANDSCAPE ZONES
LANDSCAPE NOTES

NEW RESIDENCE
QUIRIE FAMILY
12 BARKER AVENUE
FAIRFAX, CALIFORNIA
A.P. #002-071-01

DATE 12/30/2022
SCALE AS NOTED
DRAWN GRM
JOB QUIRIE



T-2
OF SHEETS



PLANTING NOTES:

The following list of plants, shrubs, perennials, etc. are fire-safe, and most are also drought-resistant and/or pollinator attractors. These are plants to be utilized in the Building Site Zone.

Annuals, and perennials: poppies, coreopsis, yarrow, asters, sunflowers, cosmos, buttercup, cornflowers, penstemon, daisies, mallow, lupine, helianthus, columbine, iris, borage, delphinium, antanna, blue and yellow-eyed grass, camellia, verberna, monkey flower, hydrangea, ivy geranium, and milkweed.

Shrubs: Lavender, ceanothus, elderberry, blueberry, sedge, salvia, rhododendron, passion flower, yucca, summersweet.

Succulents: Aloe, agave, adenium, sedum, sempervivum.

Trees: Dogwood, citrus, plum, pomegranate, strawberry tree, olive, maple, pineapple guava, cherry, apple.

Grasses: creeping red fescue

Ground covers: Carpet bugle, wooly yarrow, stonecrop sedum, beach and wood strawberry, lavender cotton, alpine cinquefoil, creeping thyme.

MATERIALS SCHEDULE

Paving/hardscape

- P1 Decomposed granite/ aggregate
- P2 Flagstone set in sand
- P3 Flagstone set on concrete
- P4 Asphalt driveway and parking areas

PLANTING SCHEDULE

Planting Types

- WP Stylized woodland plantings using shrubs annuals and perennials.
- CS Cactus and succulent garden
- HG Herb garden
- PF Pollinator flower garden
- VG Vegetable garden

Ground covers

- G1 Forest floor, wood chip mulch
- G2 Walkable ground cover
- G3 California native grasses T.B.D.

Plant Symbols

- Existing native tree
- Tree removed
- New tree
- New shrub

LANDSCAPE PLAN @ 1/8" = 1'-0"

REVISIONS	BY
PLANNING DEPT. COMPLETENESS 6/7/2023	GRM

MILLAR ARCHITECTURE

46 SANTA BARBARA AVE.
SAN ANSELMO, CA. 94960

TEL 415-250-9091
millargary07@gmail.com

**LANDSCAPE PLAN
PLANT LIST**

**NEW RESIDENCE
QUIRIE FAMILY**
12 BARKER AVENUE
FAIRFAX, CALIFORNIA
A.P. #002-471-01

DATE 12/30/2022
SCALE AS NOTED
DRAWN GRM
JOB QUIRIE



T-2.1

EXTERIOR LIGHTING NOTES:

All exterior light fixtures shall be Dark Sky Compliant. Fixtures shall be fully shielded, emit no light above the horizontal plane, have no sag or drop lenses, side light panels or uplight panels. Color temperature shall not exceed 3000K. No light fixture shall emit direct, offsite illumination. Fixture lighting levels shall be the minimum necessary for safety.

Exterior Lighting shall be controlled by a manual ON and CFF control switch that permits the automatic actions of either:

- a. A photocell with motion sensor or automatic time switch control
- b. An astronomical time clock control

ELECTRICAL SYMBOLS LEGEND

- ① Surface mounted exterior wall sconce, provided by Owner, installed by Contractor. Maxim Lighting Pathfinder 52122ABZ. Dark Sky rated LED, 16 watt, 820 lumens, 3000K CRI 80, 120 volt. Fixture 7" wide, 4.5" tall w/ 3.5" extension.
- ② Mushroom topped path light, provided by Owner, installed by Contractor. Lumina Lighting PA0101-BZ, 3W LED, 260 lumen, 3000K, 12 volt, Dark Sky compliant.
- ③ B-K Lighting Mini-micro Step Star LED, #CM-LED-985-BZP. Aluminum LED, 3W, 2700K, CRI90. Low voltage fixture. Fixture recessed into retaining wall, set no more than 24" above walking surface. 90° optical cutoff.
- ④ Surface mounted exterior spot light, provided by Owner, installed by Contractor. B-K Lighting McKinley LED fixture #MC-S15-BZP. 6.5 watt, 3000K LED lamp, 40 degree beam spread, 120 volt. Mount on canopy #BC6-BZP (5" diameter). Fixture shall be oriented to face downward only. 45° cut-off cap.



- ⑤ Post mounted 12 volt LED Deck Light, Kitchler model #16119AZ130. Textured architectural bronze, 3000K, .086 watt, 43 lumens.
- ⑥ Recessed LED fixture- Nora NM2-2RDC, 2" M2 Round LED downlight. Model #NM2-2RDC2530BB. 10 watt 850 lumen, 3000K/90 CRI, matt black. Fixture mounted in soffit above.
- ④ Surface mounted exterior spot light, provided by Owner, installed by Contractor. B-K Lighting McKinley LED fixture #MC-S15-BZP. 6.5 watt, 3000K LED lamp, 40 degree beam spread, 120 volt. Mount on canopy #BC6-BZP (5" diameter). Fixture shall be oriented to face downward only. 45° cut-off cap.



LANDSCAPE PLAN @ 1/8" = 1'-0"



REVISIONS	BY

MILLAR ARCHITECTURE
 46 SANTA BARBARA AVE.
 SAN ANSELMO, CA. 94960
 TEL 415-259-9091
 millargary07@gmail.com

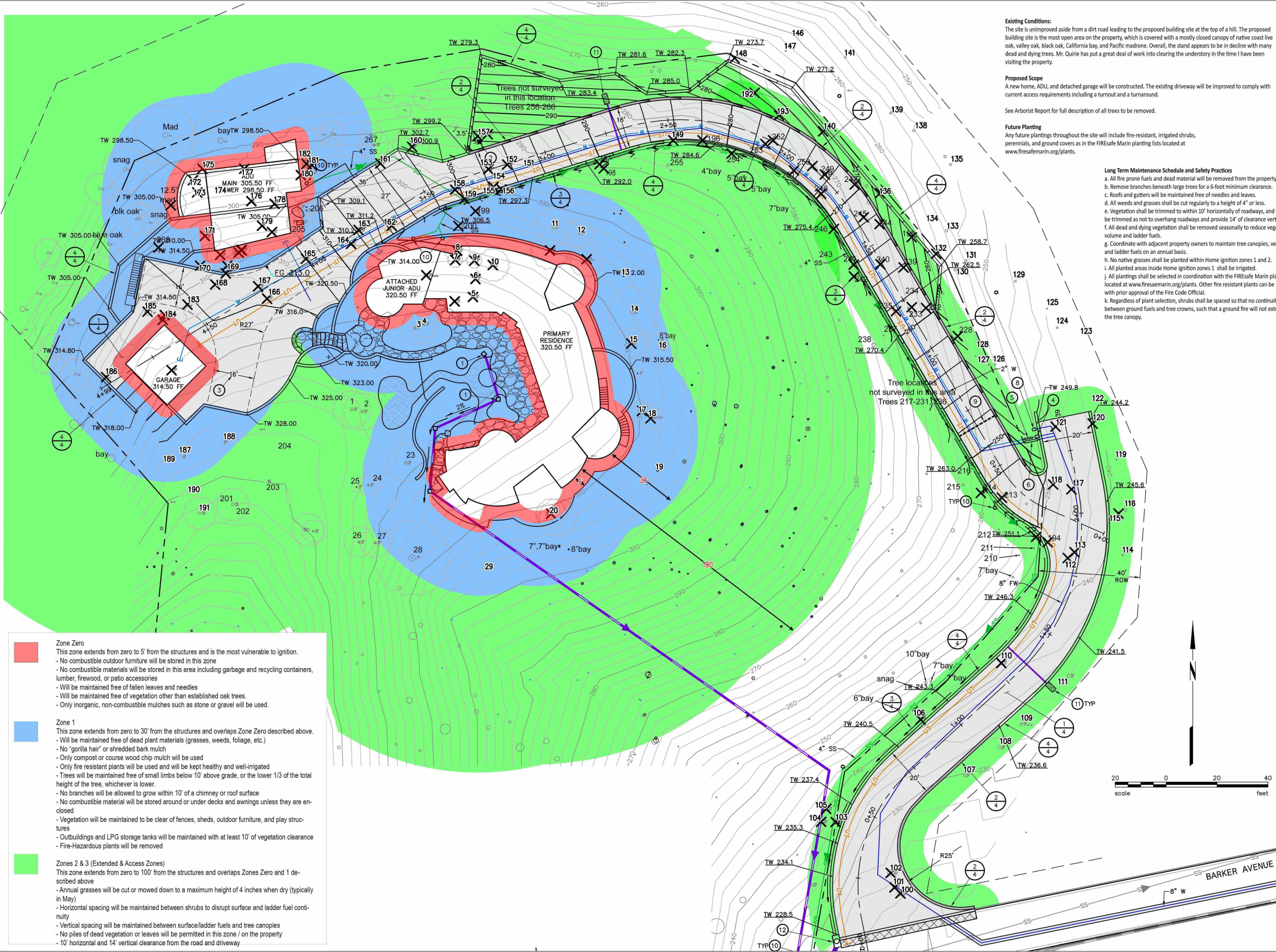
LANDSCAPE LIGHTING PLAN AND SCHEDULE

NEW RESIDENCE
QUIRIE FAMILY
 12 BARKER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #002-471-01

DATE 5/31/2023
 SCALE AS NOTED
 DRAWN GRM
 JOB QUIRIE



T-2.2
 SHEETS



- Zone Zero**
 This zone extends from zero to 5' from the structures and is the most vulnerable to ignition.
- No combustible outdoor furniture will be stored in this zone
 - No combustible materials will be stored in this area including garbage and recycling containers, lumber, firewood, or patio accessories
 - Will be maintained free of fallen leaves and needles
 - Will be maintained free of vegetation other than established oak trees.
 - Only inorganic, non-combustible mulches such as stone or gravel will be used.
- Zone 1**
 This zone extends from zero to 30' from the structures and overlaps Zone Zero described above.
- Will be maintained free of dead plant materials (grasses, weeds, foliage, etc.)
 - No "gorilla hair" or shredded bark mulch
 - Only compost or course wood chip mulch will be used
 - Only fire resistant plants will be used and will be kept healthy and well-irrigated
 - Trees will be maintained free of small limbs below 10' above grade, or the lower 1/3 of the total height of the tree, whichever is lower.
 - No branches will be allowed to grow within 10' of a chimney or roof surface
 - No combustible material will be stored around or under decks and awnings unless they are enclosed
 - Vegetation will be maintained to be clear of fences, sheds, outdoor furniture, and play structures
 - Outbuildings and LPG storage tanks will be maintained with at least 10' of vegetation clearance
 - Fire-Hazardous plants will be removed
- Zones 2 & 3 (Extended & Access Zones)**
 This zone extends from zero to 100' from the structures and overlaps Zones Zero and 1 described above
- Annual grasses will be cut or mowed down to a maximum height of 4 inches when dry (typically in May)
 - Horizontal spacing will be maintained between shrubs to disrupt surface and ladder fuel continuity
 - Vertical spacing will be maintained between surface/ladder fuels and tree canopies
 - No piles of dead vegetation or leaves will be permitted in this zone / on the property
 - 10' horizontal and 14' vertical clearance from the road and driveway

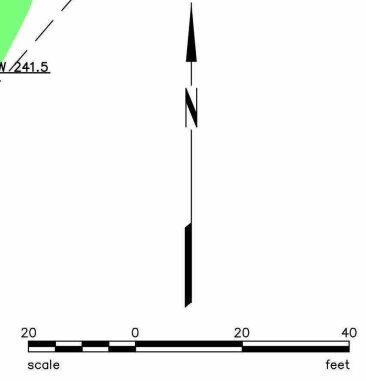
Existing Conditions:
 The site is unimproved aside from a dirt road leading to the proposed building site at the top of a hill. The proposed building site is the most open area on the property, which is covered with a mostly closed canopy of native coast live oak, valley oak, black oak, California bay, and Pacific madrone. Overall, the stand appears to be in decline with many dead and dying trees. Mr. Quirie has put a great deal of work into clearing the understory in the time I have been visiting the property.

Proposed Scope
 A new home, ADU, and detached garage will be constructed. The existing driveway will be improved to comply with current access requirements including a turnout and a turnaround.

See Arborist Report for full description of all trees to be removed.

Future Planting
 Any future plantings throughout the site will include fire-resistant, irrigated shrubs, perennials, and ground covers as in the FIREsafe Marin planting lists located at www.firesafemarin.org/plants.

- Long Term Maintenance Schedule and Safety Practices**
- All fire prone fuels and dead material will be removed from the property.
 - Remove branches beneath large trees for a 6-foot minimum clearance.
 - Roofs and gutters will be maintained free of needles and leaves.
 - All weeds and grasses shall be cut regularly to a height of 4" or less.
 - Vegetation shall be trimmed to within 10' horizontally of roadways, and trees shall be trimmed as not to overhang roadways and provide 14' of clearance vertically.
 - All dead and dying vegetation shall be removed seasonally to reduce vegetation volume and ladder fuels.
 - Coordinate with adjacent property owners to maintain tree canopies, vegetation and ladder fuels on an annual basis.
 - No native grasses shall be planted within Home ignition zones 1 and 2.
 - All planted areas inside Home ignition zones 1 shall be irrigated.
 - All plantings shall be selected in coordination with the FIREsafe Marin planting list located at www.firesafemarin.org/plants. Other fire resistant plants can be utilized with prior approval of the Fire Code Official.
 - Regardless of plant selection, shrubs shall be spaced so that no continuity exists between ground fuels and tree crowns, such that a ground fire will not extend into the tree canopy.



REVISIONS	BY

209 SAN ANSELMO AVE
 SAN ANSELMO, CA
 415 464-4212

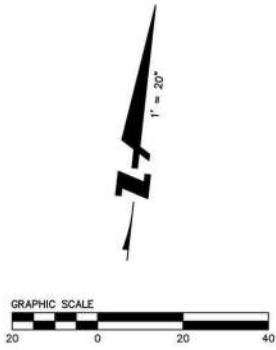
URBAN FORESTRY ASSOCIATES, INC.

**VEGETATION
 MANAGEMENT PLAN**

NEW RESIDENCE
QUIRIE FAMILY
 BARKER AVENUE
 FAIRFAX, CALIFORNIA
 A.P. #002-071-01

DATE: DEC 27, 2022
 SCALE: AS NOTED
 JOB: QUIRIE





LEGEND

- AC ASPHALTIC CONCRETE
- EP EDGE OF PAVEMENT
- FH FIRE HYDRANT
- GP/GW GUY POLE/ GUY WIRE ANCHOR
- JP JOINT POLE
- LG LIP OF GUTTER
- SQ. FT. SQUARE FEET
- SSMH SANITARY SEWER MANHOLE
- TC TOP OF CURB
- W-B BOTTOM OF WALL
- W-T TOP OF WALL
- FOUND IRON PIPE RECORD OF SURVEY, BOOK 2019 MAPS, PAGE 31
- 10 TREE WITH SIZE(INCHES)

UTILITY NOTE:

THE UTILITIES SHOWN ON THIS SURVEY ARE FROM SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. NO WARRANTY IS IMPLIED AS TO THE ACTUAL LOCATION, SIZE OR PRESENCE OF ANY ADDITIONAL UTILITIES OTHER THAN AS SHOWN ON THIS SURVEY.

BENCHMARK STATEMENT:

THE ELEVATIONS SHOWN UPON THIS SURVEY ARE ON AN ASSUMED BENCHMARK DATUM. BENCHMARK IS A MAG NAIL SET IN THE ASPHALT AS SHOWN ON THIS SURVEY.
ELEVATION = 5.92 FEET

BASIS OF BEARINGS:

THE BEARINGS OF THIS SURVEY ARE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP RECORDED ON MAY 24, 2019 IN BOOK 2019 OF MAPS AT PAGE 31 IN THE OFFICE OF THE RECORDER OF MARIN COUNTY AND WERE USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.



01/05/23



GRANT LINE LAND SURVEYING
2278 CAROL ANN DRIVE • TRACY, CA 95377
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PARTIAL TOPOGRAPHIC SURVEY
OF THE LANDS OF
QUIR
MARIN COUNTY
CALIFORNIA

Revisions	
No.	Description

Date: 01/05/23
Scale: AS SHOWN
Design: DCJ
Drawn: DCJ
Approved: DCJ
Job No:
Drawing Number:
TOPO
1 OF 1