



FAIRFAX TOWN COUNCIL MEETING STAFF REPORT

MEETING DATE: October 4, 2023
PREPARED FOR: Mayor and Town Council
PREPARED BY: Linda Neal, Principal Planner
SUBJECT: Appeal of Planning Commission August 17, 2023, action approving a new residence at 34 Hill Avenue.

RECOMMENDATION

Staff recommends the Town Council adopt the attached Resolution denying the appeal and upholding the August 17, 2023, Planning Commission decision approving the project by adoption of Resolution No. 2023-16 setting forth the legal findings and conditions for the project approval.

BACKGROUND

The project encompasses the construction of a 1,318 square-foot, 2-story, 3-bedroom, 2 ½-bathroom, single-family residence with an attached 340 square-foot, 1-car garage and 2 uncovered parking spaces located within the west side-yard area; installation of yard improvements and a formal drainage system.

After the Town had deemed this project complete and had accepted the recorded boundary survey prepared by a licensed land surveyor and was ready to schedule a hearing before the Planning Commission, the owners of the neighboring property at 32 Hill Avenue presented the Town with a recorded boundary survey of their property showing the western side property line in a different location than the applicant's recorded boundary survey. This conflicting survey resulted in different project site square footage and different minimum and combined side yard setbacks. Staff contacted the applicant to advise of the conflicting survey. Staff encouraged the two owners to meet and come to agreement on a final location for the western side property line. The neighbors have been unable to resolve the conflicting surveys and the matter is a civil dispute between the neighbors.

Staff proceeded to schedule the project for public hearing and to review the application based on the applicant's submitted boundary survey.

The project was reviewed by the Planning Commission initially on July 20, 2023 at which time they directed the applicant to do the following and continued the matter to the regular August 17, 2023, Planning Commission meeting:

- Re-examine whether the project can be redesigned to eliminate the need for minimum and combined side-yard setback variances for the structure. Provide revised drawings if possible and if it is not possible to redesign to comply with the setbacks, provide an explanation of why redesign cannot occur.
- Erect as many of the story poles shown on the story pole plan, project plan set page A103, a minimum of ten days prior to the August 17, 2023, regular Planning Commission meeting.

The packet material and minutes for the July 20, 2023, meeting can be viewed using the following links:

<https://storage.googleapis.com/proudcity/fairfaxca/uploads/2023/07/Item-3-34-Hill.pdf>

https://storage.googleapis.com/proudcity/fairfaxca/uploads/2023/08/FXPC-7-20-23.fn1_.pdf

The applicant resubmitted revised project plans maintaining all the required setbacks, erected the required story poles, and the project was scheduled for a second review before the Planning Commission at the regular August 17, 2023, meeting. On August 17, 2023, the Planning Commission approved the project as redesigned based on the findings contained in Attachment B, Resolution No. 2023-16. The packet materials from the meeting can be viewed using the following link:

<https://storage.googleapis.com/proudcity/fairfaxca/uploads/2023/08/Item-2-34-Hill.pdf>

<https://www.townoffairfax.org/meetings/planning-commission-august-17-2023/#/tab-video>

DISCUSSION

The owners of 32 Hill Avenue located west of the project site filed an appeal of the Planning Commission's approval. The reasons for the appeal were concerns about the significant drainage that flows over the site, the inaccuracy of the survey, and the project design (Attachment B – appeal form).

Drainage

Significant drainage flows across Sir Francis Drake Boulevard from the hillsides to north from both San Anselmo and the Willow Avenue neighborhood. The water crosses Sir Francis Drake Boulevard into the Fairfax Tract Subdivision in Fairfax and the Bush Tract in San Anselmo, areas that have little or no formalized drainage systems.

The appellant advises that he has spoken with the Public Works Director in San Anselmo about the drainage issues in the Fairfax Tract and Bush Tract subdivisions and that both he and the Director concurred that uphill drainage has been directed into the Fairfax Tract Subdivision in Fairfax and Bush Tract Subdivision in San Anselmo which has led to flooding in the immediate area and that addressing the problem would involve both the Town of San Anselmo and Fairfax and require large scale infrastructure improvements (Attachment D to the July 20, 2023, Planning Commission staff report, page one, last paragraph of the September 17, 2021 letter from the appellant to staff).

The owner/applicant for the 34 Hill Avenue property submitted a drainage study with his project that was reviewed and approved by the Town Engineer (Attachment E to the July 20, 2023, Planning Commission staff report, letter from the Town Engineer dated June 2, 2022, last page, "Conclusions".) The letter notes that the proposed drainage plan will result in peak offsite flow rates that will remain at or below the current, pre-construction conditions, which is the accepted measure for new development.

The drainage issues in this area have been occurring for a long time and it is not the responsibility of one homeowner or applicant to address these issues alone.

Survey Adequacy

Project applicant submitted a recorded survey prepared by a licensed land surveyor which was reviewed and accepted by the Town surveyor and the Town has processed the application based on that information. Property line disputes are a civil matter and the appellant could have started a legal process to have a court review the two surveys, his survey and the applicant's, at any time but has not

chosen to do that. The appellant has separate legal rights to pursue a decision on which survey prevails through the courts.

Project Design

The Planning Commission held two public hearings on this project at which time a number of citizens, including the appellant, expressed concerns about the project and a number spoke in support of the project. Concerns expressed by neighbor's other than the appellant relating to the project design included, 1) the color palette being too dark, 2) The project being out of scale with the structures in the neighborhood; 3) the building blocking light to one backyard and views.

The Planning Commission directed the applicant to redesign the project to meet all the setback requirements. The applicant complied with the Planning Commission direction so that the house now complies with all the regulations that apply in the Residential RD 5.5-7 Zone, including minimum and combined setbacks, height, floor area ratio, and lot coverage.

The Planning Commission approved the project on August 17, 2023 and included a condition that a revised color palette for the exterior of the building be submitted with the building permit application for review and approval by the Director of Planning and Building Services.

FISCAL IMPACT

None.

Attachments

- A. Town Council Resolution No. 23-____, including Planning Commission Resolution No. 2023-16 as Exhibit 1
- B. Appeal (form)
- C. Project plan set

RESOLUTION 23-___

A RESOLUTION OF THE FAIRFAX TOWN COUNCIL DENYING THE APPEAL AND UPHOLDING THE PLANNING COMMISSION ACTION APPROVING APPLICATION #23-18 FOR A CONDITIONAL USE PERMIT (CUP), DESIGN REVIEW PERMIT, EXCAVATION PERMIT, TREE REMOVAL PERMIT AND MINIMUM AND COMBINED SIDE YARD SETBACK VARIANCE TO ALLOW CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE WITH ATTACHED GARAGE AND UNCOVERED PARKING IN THE SIDE SETBACKS AT 34 HILL AVENUE

WHEREAS, on April 7, 2022, the Town of Fairfax received an application from John Simenic for a residence, attached one car garage, and private driveway at 34 Hill Avenue; and

WHEREAS, the Planning Commission held a duly noticed Public Hearings on July 20, 2023, and August 17, 2023, to consider approval of the owner's requested Conditional Use Permit (CUP), Design Review, Permit, Excavation Permit, Tree Removal Permit, and Minimum and Combined Side-yard Setback Variance and at which time all interested parties were given a full opportunity to be heard and to present evidence; and

WHEREAS, at the conclusion of the August 17, 2023, Planning Commission meeting, that body did approve, by way of its adoption of Resolution 2023-16, the plans dated received by the Town on 8/7/23, prepared by John Simenic, Architect, sheets A000, A100, A103, A110, A200, A201, A202, and A300 (revision date 7/31/23), Engineering Plan Sheets by DVC Group Inc., Planning and Engineering, C1 through C4, dated 5/31/22, topographical survey by Oberkamper and Associates Civil Engineering, sheet 1, dated 6/3/21, and the recorded survey by Shane W. Rauch, Professional Land Surveyor with Oberkamper and Associates recorded 10/20/21; and

WHEREAS, the Town Council has made the following findings for approval of the project, upholding the Commission's August 17, 2023, action:

The project conforms to the following 2010-2030 Town of Fairfax General Plan Policies:

Policy LU-7.1.5: New and renewed residential development shall preserve and enhance the existing character of the Town's neighborhoods in diversity, architectural character, size, and mass.

Policy LU-7.2.1: New and renewed development shall be compatible with the general character and scale of structures in the vicinity.

Policy LU-7.2.2: To the extent feasible natural features including the existing grade, mature trees and vegetation shall be preserved for new and renewed development.

Policy LU-4.1.4: New and renewed development shall be designed to minimize run-off in a manner that does not cause undue hardship on neighboring properties.

Conditional Use Permit (Town Code § 17.032.060)

1. The approval of the CUP for a 28.5-foot tall, two-story, 1,318 square-foot, 3-bedroom, 2 ½-bathroom, single-family residence that complies with the floor area ratio and lot coverage limitations, the height limit and the required minimum and combined front/rear and side-yard setbacks and provides the required three parking spaces will not be a grant of special privilege.
2. The development and use of the property as described in finding one above and subject to compliance with the conditions contained in this resolution shall not create a public nuisance or cause unreasonable detriment or adverse physical or economic effects to neighboring properties.
3. Approval of the CUP is not contrary to the goals, objectives or policies of the 2010-2030 Fairfax General Plan or Town Code Title 17, Zoning.
4. Approval of the CUP and development of the site as proposed will be a better use of the property than would otherwise be the case because the residence is in scale with the site and with other structures in the neighborhood.

Design Review (Town Code § 17.020.040)

1. The project depicted in the plans submitted to the Town on August 7, 2023, is this the correct date? complies with the Design Review Criteria set forth in Town Code § 17.020.040.
2. The exterior of the structure has been articulated, landscape screening is proposed, and the setbacks have been maximized to minimize significant impacts on neighboring property and to allow the development to harmonize with the surrounding residential development.

Excavation Permit (Town Code § 12.20.080)

Based on the Town Engineer's review and recommendation that the project can be safely constructed, the Planning Commission finds that:

1. The health, safety and welfare of the public will not be adversely affected.
2. Adjacent properties will be adequately protected by project investigation and design from geologic hazards as a result of the work.
3. Adjacent properties are adequately protected by project design from drainage and erosion problems as a result of the work.
4. The amount of the excavation or fill proposed is not more than that required to allow the property owner substantial use of his or her property.
5. The visual and scenic enjoyment of the area by others will not be adversely affected by the project more than is necessary.

6. Natural landscaping will not be removed by the project more than is necessary; and
7. The time of year during which construction will take place is such that work will not result in excessive siltation from storm runoff nor prolonged exposure of unstable excavated slopes (Town Code § 17.072.090(c)(4) prohibits grading of hillside properties from October 1st through April 1st of each year).

Variance to Allow Uncovered Parking in the Side-Yard Setback (Town Code § 17.028.070)

1. The small size and 3-foot to 47-foot width of the site are the features that warrant granting the requested Side-yard Setback Variance to construct the required parking spaces to support the new single-family residence within the side-yard setback. The strict enforcement of prohibition of required parking in the side yard setback would deprive the applicant of the ability to improve the on-site parking required to allow for construction of a single-family residence on this RD 5.5-7 residentially zoned site and would make designing a complying structure difficult.
2. Most properties in town that are similarly small sites have some portion of their required parking spaces and/or parking structures and portions of the residence within one or more required setbacks. Therefore, allowing the uncovered parking spaces to encroach into the minimum and combined side-yard setbacks will not be a grant of special privilege.
3. The strict application of the setback regulations would render the site undevelopable, which would be a hardship for the applicant.
4. The granting of the side-yard setback variance to allow the uncovered parking within the minimum side yard setback will not be detrimental to the public health, welfare, and safety or injurious to other property in the vicinity in which the property is situated.

Tree Removal (Town Code § 8.36.030 and § 8.36.090)

The seven trees proposed for removal within the structure footprint and throughout the site have been reviewed by the Tree Committee who has recommended that the Planning Commission approve the requested removal permit. Therefore, the project is in compliance with all the considerations listed in Town Code 8.36.060(B)(1 through 7) of the Tree Ordinance, Town Code Chapter 8.36.

WHEREAS, at the conclusion of the October 4, 2023, public hearing, the Town Council found that the findings made by the Planning Commission in the attached Resolution No. 2023-16 (Exhibit 1) are appropriate to support the Council upholding the Commission action approving the project,

NOW, THEREFORE, BE IT HEREBY FOUND AND RESOLVED by the Town Council of the Town of Fairfax:

Section 1. The recitals set forth above are incorporated herein.

Section 2. Based on the foregoing, the Town Council of the Town of Fairfax denies the appeal and upholds the Planning Commission approval of the Conditional Use Permit, Design Review Permit, Excavation Permit, Tree Removal and Side-Yard Setback Variance as set forth in Attachment 1, Planning Commission Resolution 2023-16.

The foregoing resolution was adopted at a regular meeting of the Town Council held in said Town, on the 4th day of October 2023, by the following vote:

AYES:

NOES:

ABSENT:

Chance Cutrano, Mayor

Attest: _____
Michele Gardner, Town Clerk



TOWN OF FAIRFAX
AUG 25 2023
RECEIVED

TOWN OF FAIRFAX

142 BOLINAS ROAD, FAIRFAX, CALIFORNIA 94930
(415) 453-1584 / FAX (415) 453-1618

NOTICE OF APPEAL

FOR STAFF USE

Date: 8-29-23 Fee: \$625.00
Appl.# 23-18
Receipt# 1-67728 - 8-30-23
Recvd. By: S. Water
Action: _____

The purpose of the appeal procedure is to provide recourse in case it is alleged that there is an error in any order, requirement, permit, decision or determination by any administrative official, advisory body or commission in the administration or enforcement of the City Ordinances. Any person aggrieved by the action of any administrative official, advisory board or commission in the administration or enforcement of any ordinance in the Town Code may make verified application to the Town Clerk in the manner prescribed by the Town Council within ten (10) days of action that is appealed.

FEE: Fees are set by resolution of the Town Council. See fee schedule for current application fees. *Effective 2020: \$625. —*

PLEASE PRINT

Appellant's name Aaron O'Brien + Kelley O'Brien

Mailing address 32 Hill Ave. Fairfax Zip: 94930 Day phone [REDACTED]

Property Address: 34 Hill Ave. Fairfax CA. 94930

I appeal the decision of: (list board, commission, or department and decision, for example: Planning Commission denial of variance) application # 23-18

Planning Commission approval of new single family home
Application # 23-18

The following are my reasons for appeal:
Significant drainage, survey, and design issues

hereby declare that I have read the foregoing Notice of Appeal and know the contents thereof. I further declare under penalty of perjury that the information supplied by me is true and correct.

Executed this 25th day of Aug., ~~19~~ 2023

SIGNATURE OF APPELLANT: [REDACTED]

(4/94)

ARCHITECTURAL ABBREVIATIONS table with columns for symbol, description, and material/finish.

GENERAL NOTES table containing numbered sections 1.1 through 1.29 detailing construction requirements and standards.

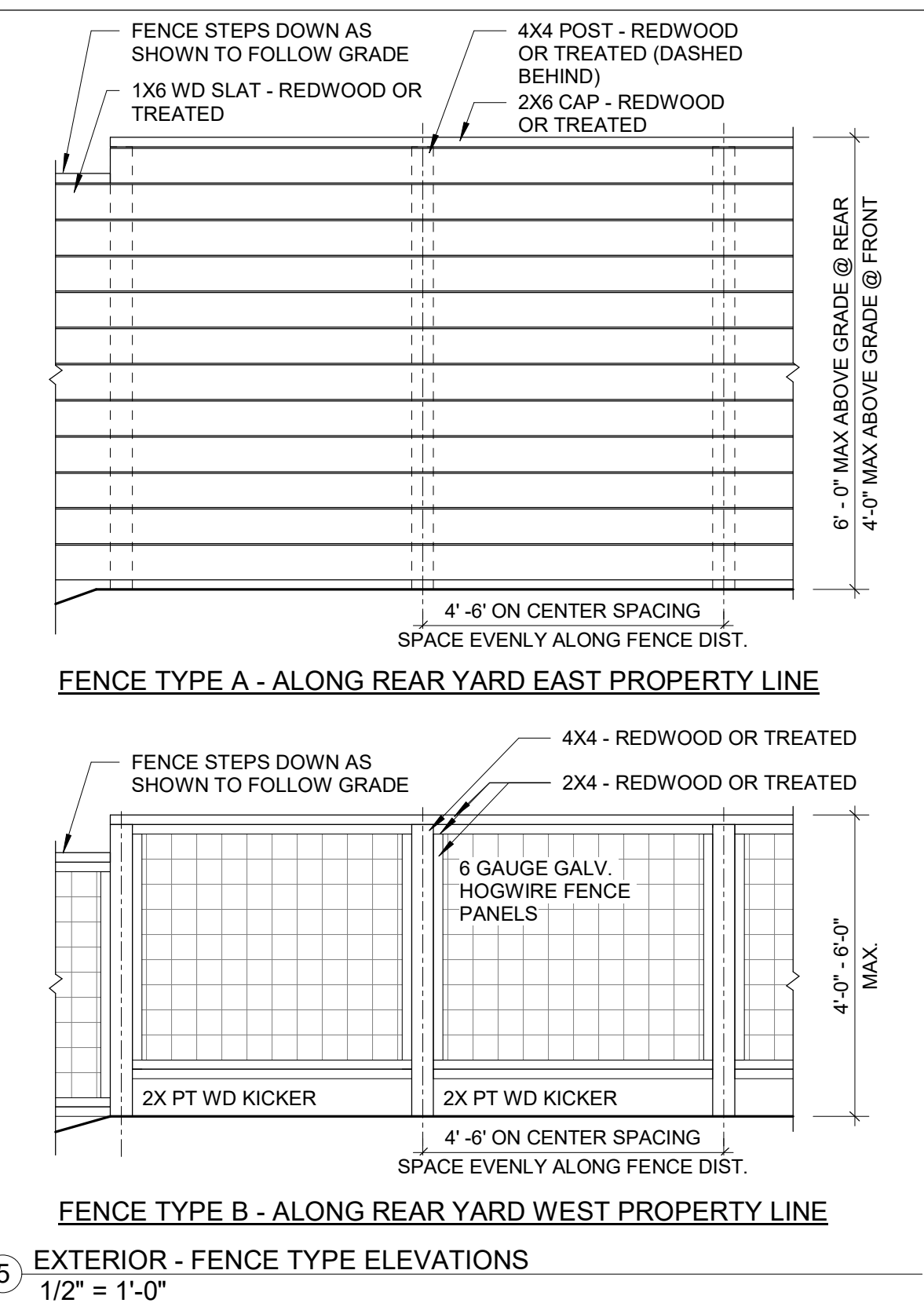
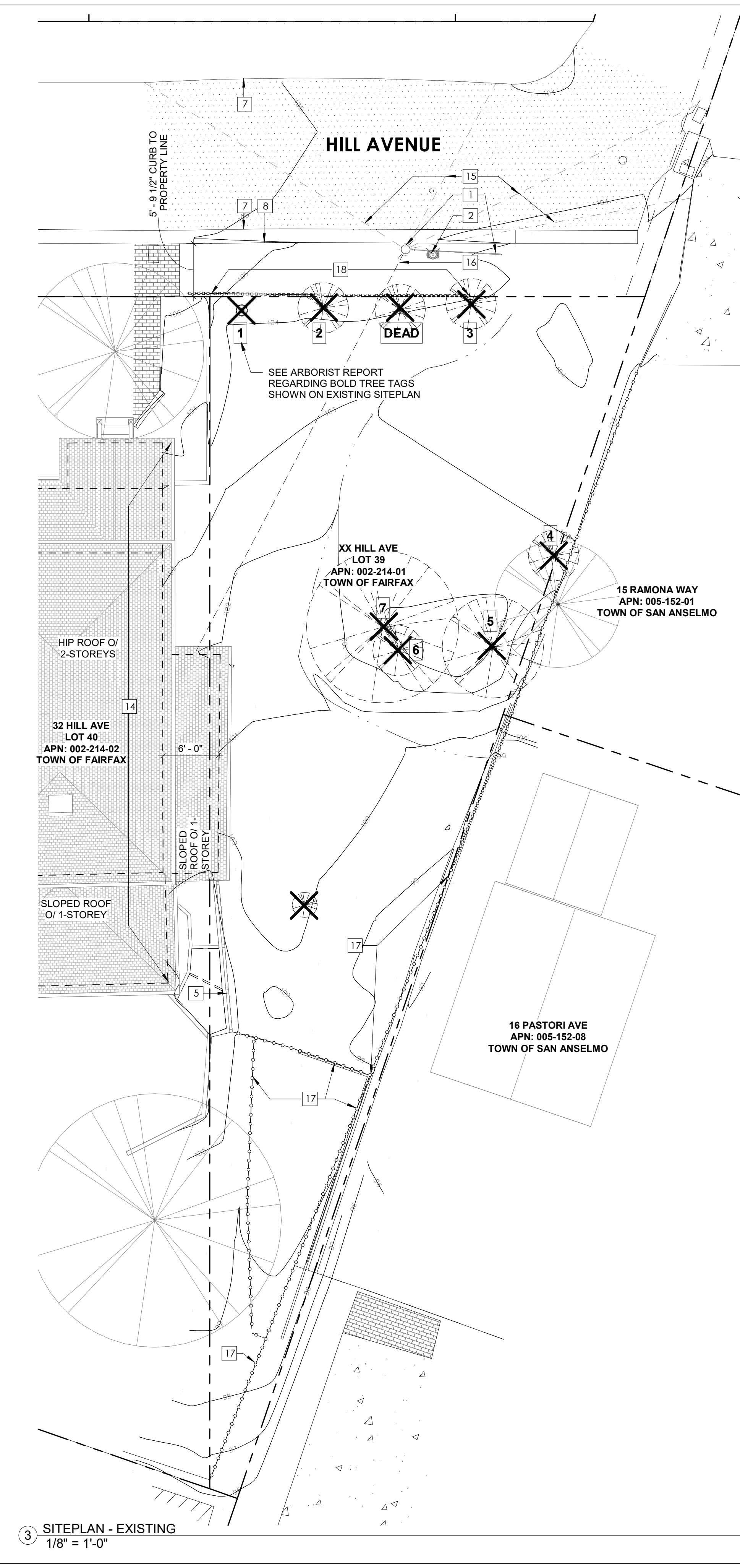
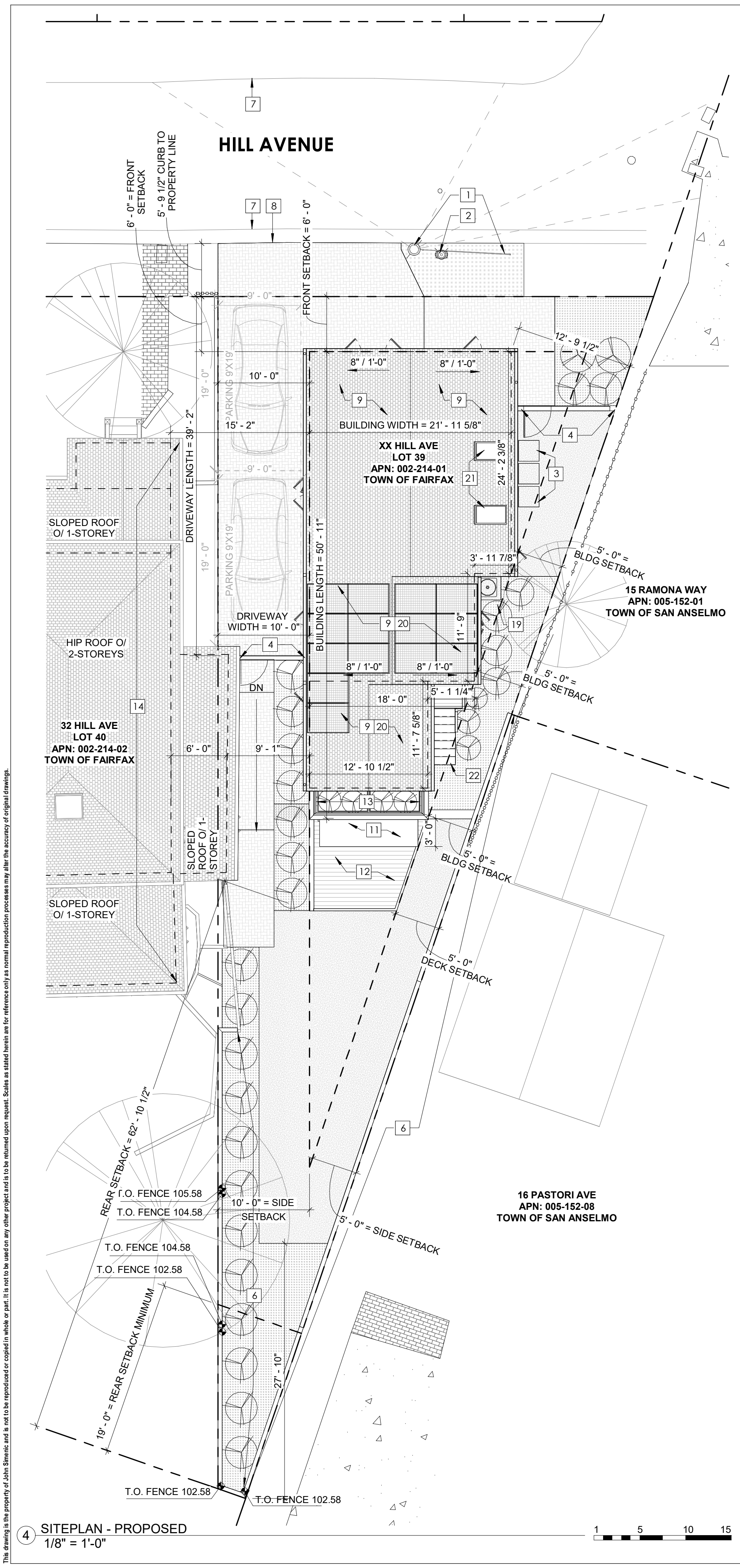
GENERAL NOTES CONTINUED table containing numbered sections 1.3 through 1.16 detailing construction requirements and standards.

PROJECT DIRECTORY and PROJECT DESCRIPTION sections providing owner, architect, and contractor information along with project details.



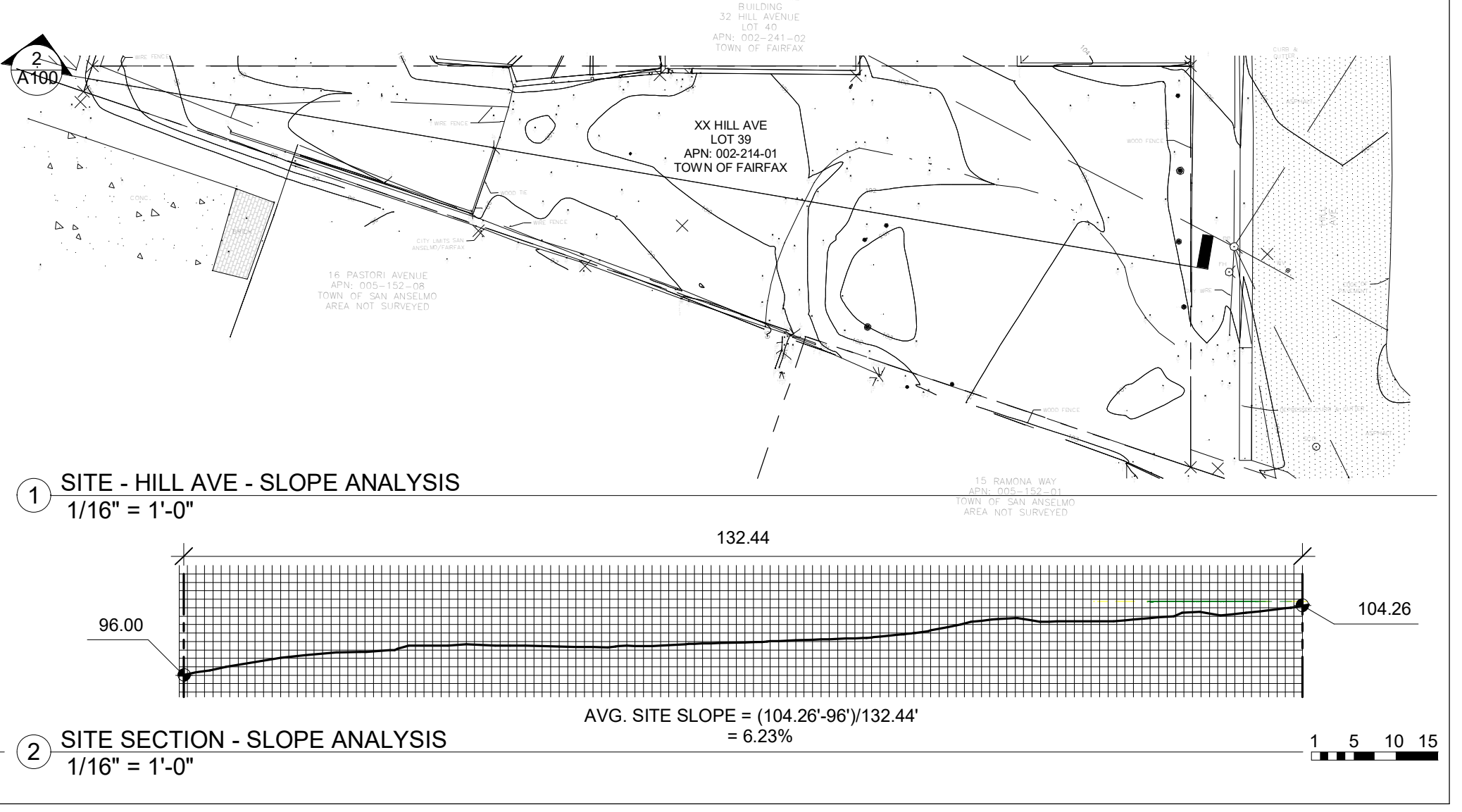
PROJECT INFORMATION AND CALCULATIONS and SHEET LIST sections containing project data, a legend, and a detailed sheet list.

Vertical project information and branding on the right side, including the firm name 'SIMENIC RESIDENCE', address, phone number, and a professional seal.

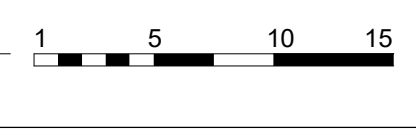


5 EXTERIOR - FENCE TYPE ELEVATIONS
1/2" = 1'-0"

GENERAL NOTES	
1. SEE PROPOSED ELEVATIONS AND SECTIONS FOR EXISTING AND PROPOSED GRADE MARKERS WHICH HIGHLIGHTS PROPOSED HEIGHT OF BUILDING.	
2. SEE WEST ELEVATION FOR NEIGHBOR WINDOW LOCATIONS AND SIZES.	
SITEPLAN LEGEND	
	PROPERTY LINE
	SETBACK LINE
	BLDG EXTENTS
	X.XX' ELEVATION MARKER
	PLANTED AREA
	PLANTING BED
	COMPACTED, DECOMPOSED GRANITE O/ GEOGRID
	CONCRETE
	PERMEABLE PAVING
	TREE - TO BE REMOVED
	TREE PROPOSED - BLACK EXISTING - GREY
	SHRUB AND/OR HEDGE
	(E) WD FENCE
	(E) WD AND WIRE FENCE
	(E) WIRE FENCE
SITEPLAN KEYNOTES	
NO.	NOTE
1	(E) POWER POLE AND GUY-WIRE SUPPORT
2	(E) FIRE HYDRANT
3	TRASH, RECYCLING, AND COMPOST BINS
4	4" MAX WOOD FENCE AND GATE - SEE FENCE TYPE "A" DETAIL THIS PAGE.
5	(E) NEIGHBOR FENCE TO REMAIN.
6	FENCE TYPE A ALONG EAST PROPERTY LINE AND TYPE B ALONG WEST PROPERTY LINE TO MATCH NEIGHBOR EXISTING FENCE. SEE DETAILS THIS PAGE.
7	EDGE OF PAVEMENT
8	EDGE OF CONCRETE CURB AND GUTTER
9	SLOPED ROOF O/ 2-STOORIES
11	FLAT AWNING ROOF O/ 1-STORY
12	WOOD DECK @ LEVEL 1 FINISH FLOOR
13	PREFAB METAL PLANTERS HIDDEN BEHIND PARAPET, CONNECTED INTO IRRIGATION SYSTEM
14	FOR LOCATION OF NEIGHBOR WINDOWS SEE PROPOSED WEST ELEVATION WITH NEIGHBOR WINDOWS SUPERIMPOSED OVER THE ELEVATION.
15	(E) OVERHEAD LINES
16	(E) OVERHEAD LINES TO BE MOVED WEST
17	(E) WIRE FENCING TO BE REMOVED
18	(E) WOOD PICKET FENCE TO BE REMOVED UP TO WEST PROPERTY LINE.
19	A/C CONDENSER ON CONCRETE PAD
20	FUTURE SOLAR PANEL LOCATION.
21	SKYLIGHT, VELUX OR EQ.
22	STAIR AND LANDING TO REAR YARD. NOTE: PORTION OF STAIR IN SETBACK IS LESS THAN 24" ABOVE EXISTING GRADE AT ALL POINTS. SEE 1EA201.



4 SITEPLAN - PROPOSED
1/8" = 1'-0"



3 SITEPLAN - EXISTING
1/8" = 1'-0"

1 SITE - HILL AVE - SLOPE ANALYSIS
1/16" = 1'-0"

2 SITE SECTION - SLOPE ANALYSIS
1/16" = 1'-0"

JOHN SIMENIC | ARCHITECT
JOHN.SIMENIC@GMAIL.COM
440.223.2620

SIMENIC RESIDENCE
XX HILL AVE - FAIRFAX, CA 94930
APN: 002-214-01

DATE	REVISIONS	REMARKS
7.31.23	DR 2	
4.01.22	DESIGN REVIEW	

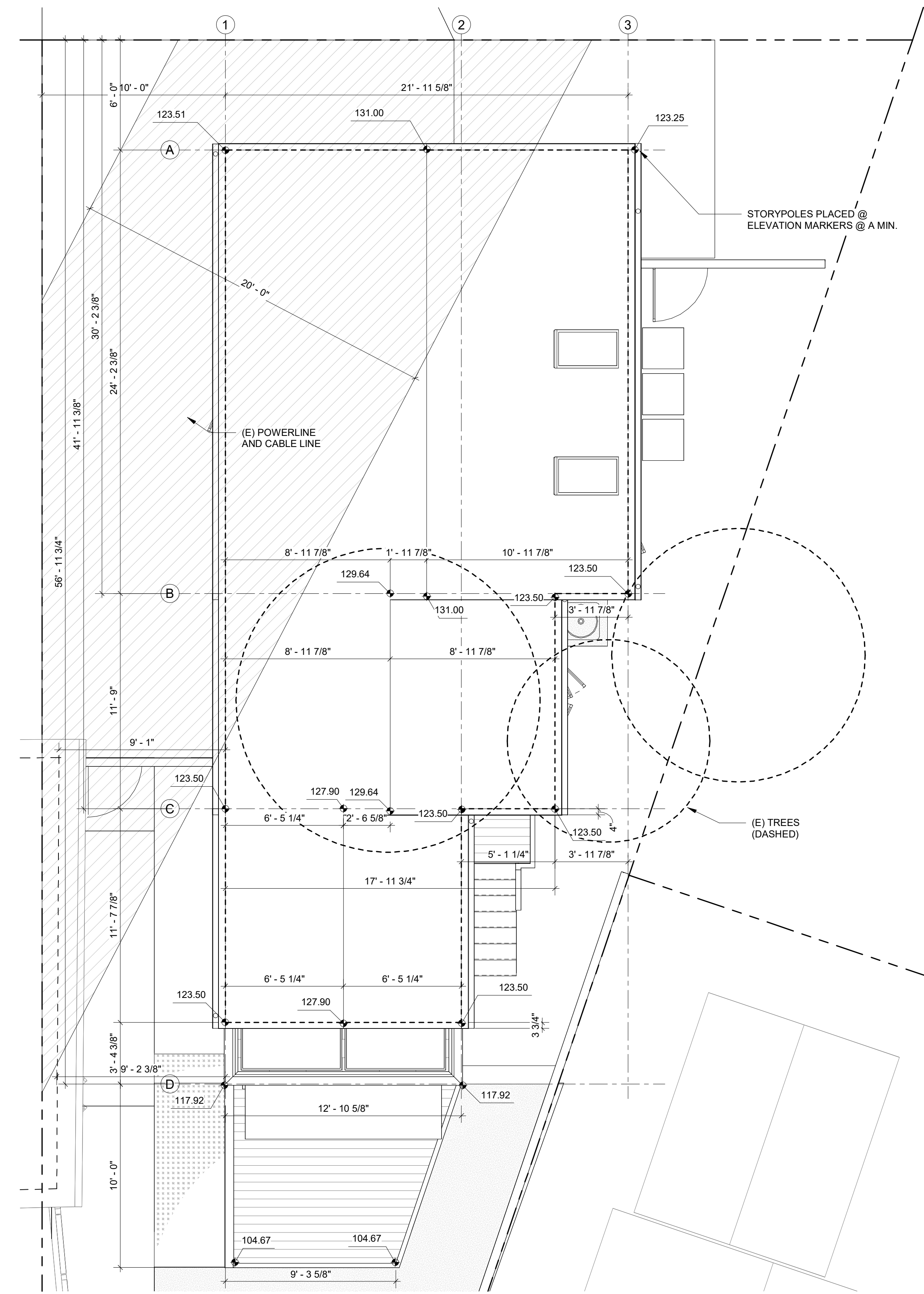
DRAWING TITLE: **SITEPLAN AND SITE SLOPE**

SHEET **A100**

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1 STORYPOLE PLAN
1/4" = 1'-0"

WALL LEGEND

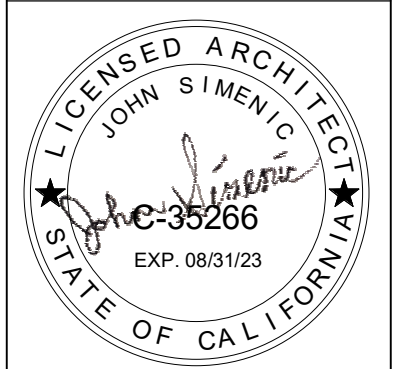
- PROPERTY LINE
- - - BLDG EXTENTS
- X.XX' ELEVATION MARKER

1 5 10 15

N PROJECT N TRUE

JOHN SIMENIC | ARCHITECT
JOHN.SIMENIC@GMAIL.COM
440.223.2620

SIMENIC RESIDENCE
XX HILL AVE. FAIRFAX, CA 94930

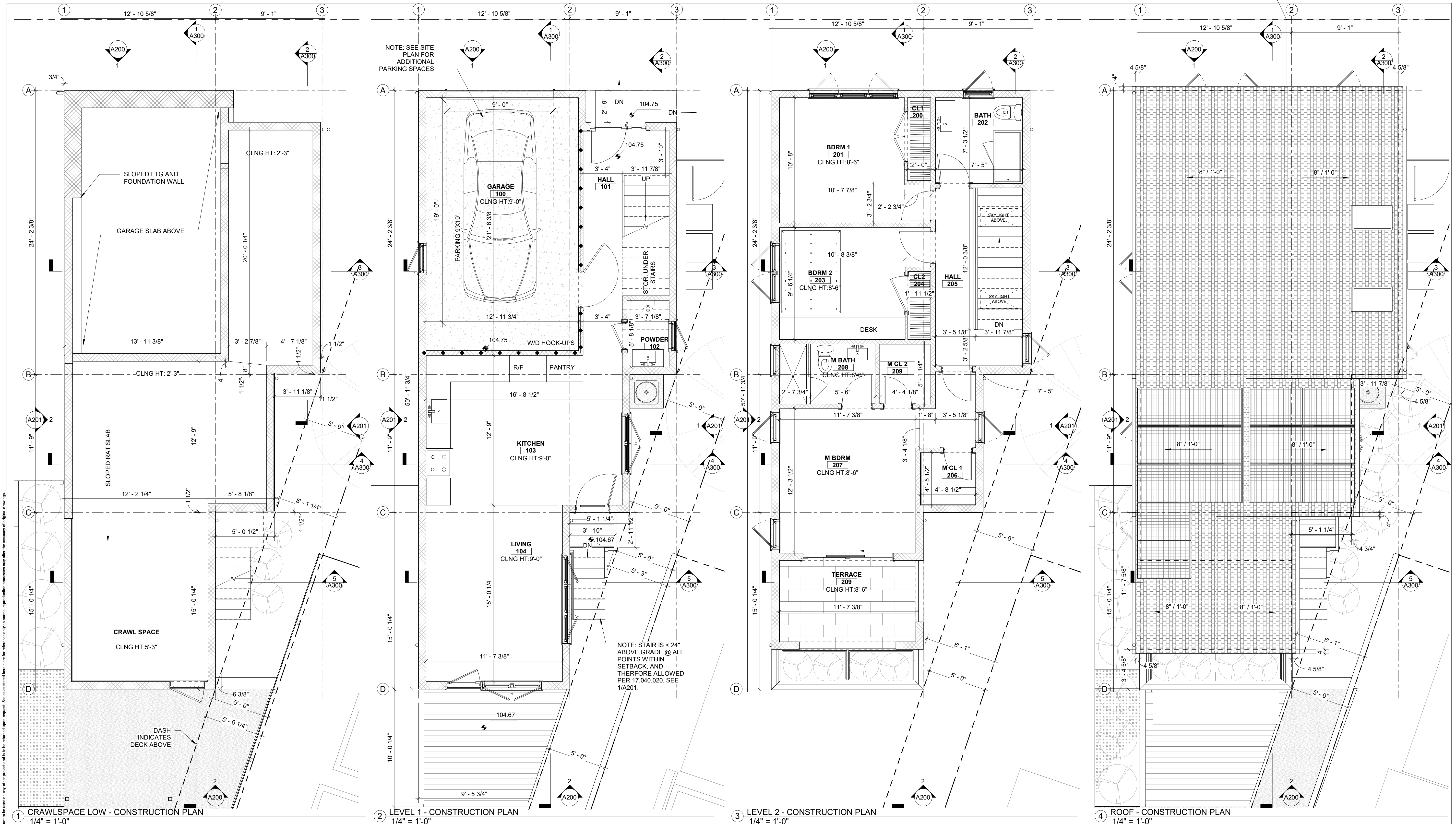


DATE	REVISIONS	REMARKS
7.31.23	DR 2	
4.01.22	DESIGN REVIEW	

DRAWING TITLE:
STORYPOLE PLAN

SHEET
A103

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GENERAL PLAN NOTES FOR PLANNING DEPARTMENT

1. FOR ADDITIONAL PARKING SPACES AT DRIVEWAY SEE SITEPLAN. ONLY GARAGE PARKING SHOWN IN THESE PLANS.
 2. THE LEVEL 2 TERRACE HAS BEEN OMITTED PER DEFINITION OF "FLOOR AREA" IN THE ZONING CODE.

AREAS PER FLOOR:	TOTALS:
LEVEL 1 HABITABLE: 587SF	HABITABLE: 1,318SF
LEVEL 1 GARAGE: 317SF	GARAGE: 317SF
LEVEL 2 HABITABLE: 731SF	

CONSTRUCTION PLAN GENERAL NOTES

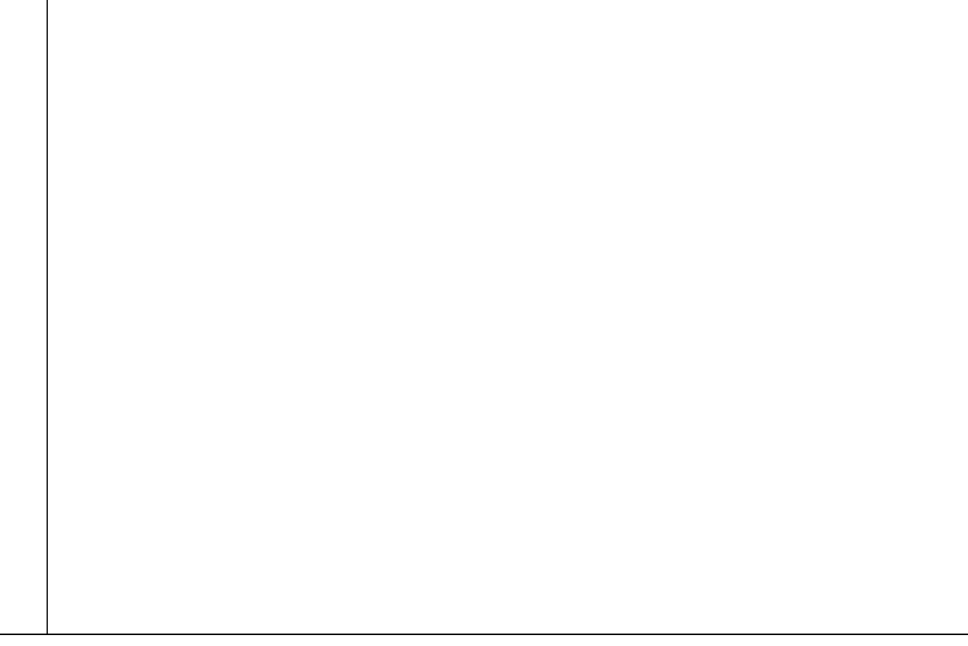
- BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
- ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
- NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER U.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

PLUMBING NOTES:

- DISHWASHERS SHALL BE INSTALLED WITH AN APPROVED AIR GAP PER MANUFACTURER'S INSTRUCTIONS ON THE DISCHARGE SIDE OF THE MACHINE.
 - ALL HOSE BIBS SHALL BE PROTECTED WITH A LISTED NON-REMOVABLE BACKFLOW PREVENTER OR ATMOSPHERIC VACUUM BREAKER INSTALLED 6" MIN ABOVE THE HIGHEST POINT OF USAGE.
 - IF A RECIRCULATING DOMESTIC HOT WATER SYSTEM IS INSTALLED, THE RECIRCULATING SECTIONS SHALL BE INSULATED FOR THEIR ENTIRE LENGTH (R4 MIN UP TO 1 1/2" AND R6 MIN FOR 2" OR GREATER DIAMETER.)
- HVAC NOTES:**
- APPLY DUCT MASTIC ON ALL HVAC DUCT JOINTS AND SEAMS.
 - VENTILATE BATHROOMS PER C.M.C. TYP. FANS TO BE ENERGY STAR PER HVI STANDARDS WITH HUMIDITY/MOISTURE SENSOR (SEE SPEC.) AIR FLOW TO BE VERIFIED.
 - RANGE HOOD FAN TO BE 100 CFM MIN.
 - HVAC TO MEET ASHRAE 62.2-2010 VENTILATION RESIDENTIAL STANDARDS
 - HVAC FILTER TO BE HIGH EFFICIENCY (MERV 8+)
 - HOT WATER HEATER TO PROVIDE 80 GALLONS MINIMUM AT FIRST HOUR RECOVERY RATE

CONSTRUCTION KEYNOTES

WALL LEGEND



REVISIONS

DATE	REVISIONS
7.31.23	DR 2
4.01.22	DESIGN REVIEW

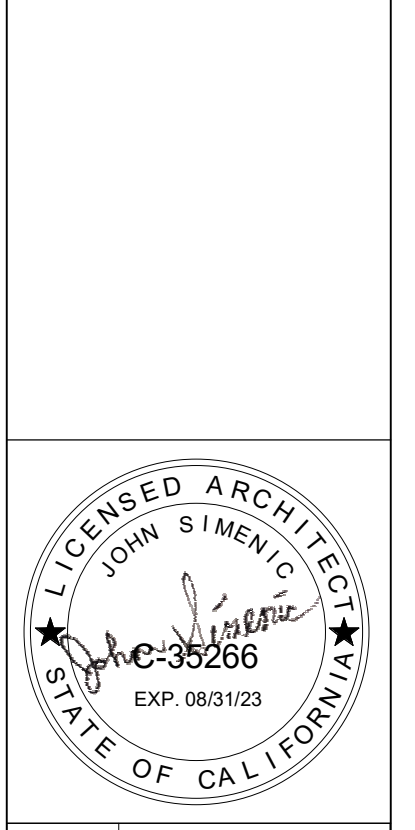
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SHEET: **A110**

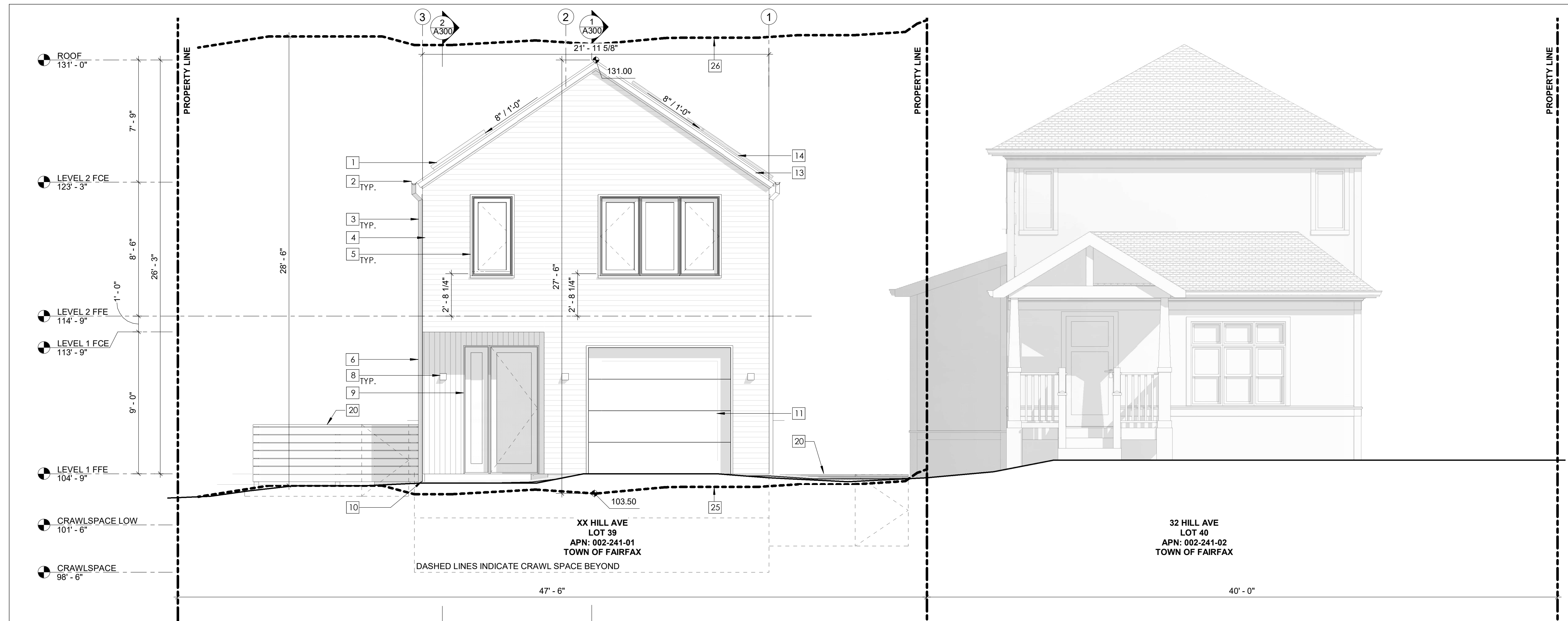
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JOHN SIMENIC | ARCHITECT
 JOHN.SIMENIC@GMAIL.COM
 440.223.2620

SIMENIC RESIDENCE
 XX HILL AVE. FAIRFAX, CA 94930
 APN002-21401

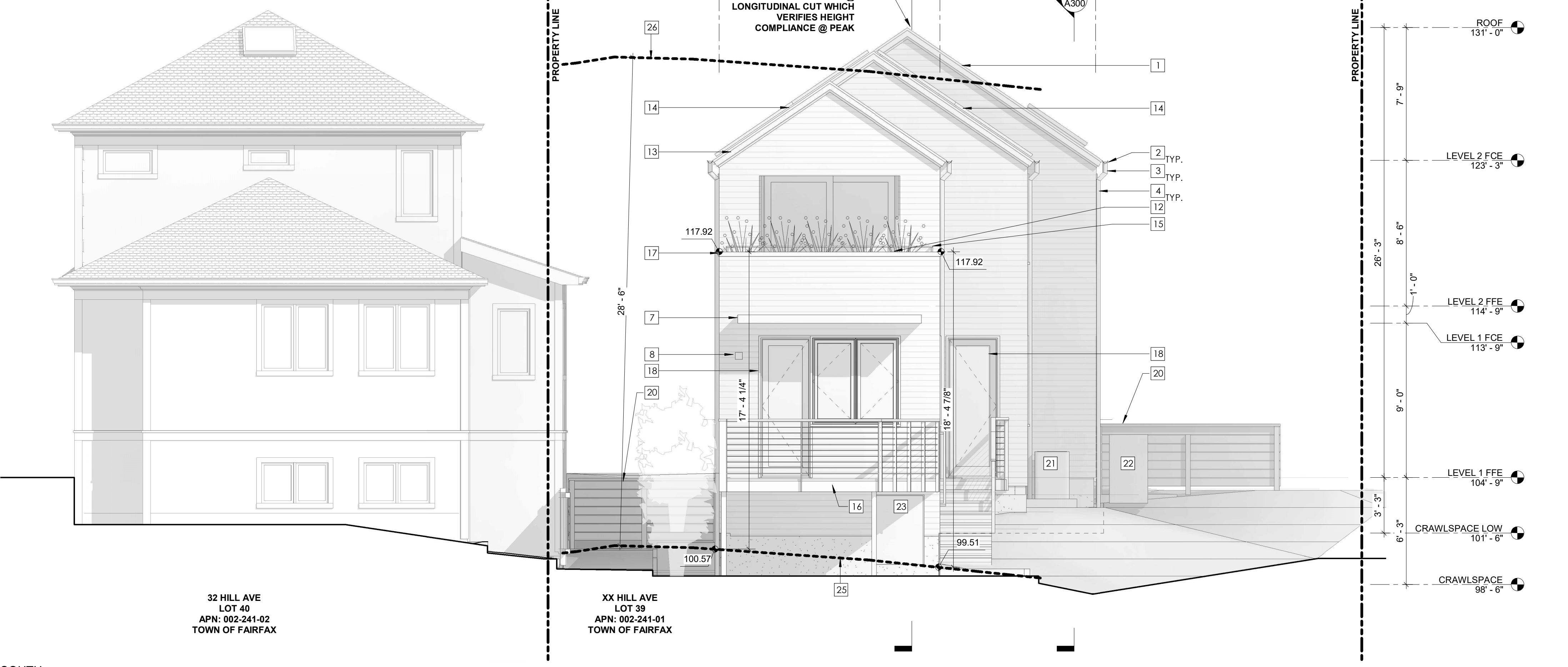


7/31/23 DR 2
 4:01:22 DESIGN REVIEW
 DATE: 7/31/23 4:09:56 PM
 REVISIONS:
 DRAWING TITLE: **FLOORPLANS**
 SHEET: **A110**



1 NORTH - 01
1/4" = 1'-0"

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2 SOUTH
1/4" = 1'-0"

ELEVATION GENERAL NOTES

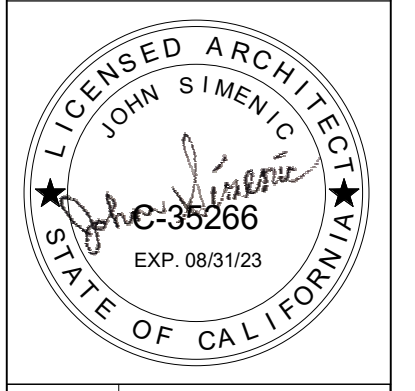
- TO SEE HOW BUILDING COMPLIES WITH THE 28'-6" HEIGHT LIMIT PLEASE SEE BUILDING SECTIONS.

ELEVATION KEYNOTES

NO.	NOTE
1	COMPOSITION SHINGLE ROOF - CERTAINTED LANDMARK PRO, MOIRE BLACK
2	HALF-ROUND COPPER GUTTER. SIZE AS REQ'D FOR PROPER ROOF DRAINAGE.
3	CIRCULAR PROFILE DOWNSPOUT, SIZED AS REQ'D., FULLY-WELDED COPPER
4	4" HORIZONTAL SHIPLAP WD OR HARDIE PLANK SIDING
5	ALUM. CLAD, WOOD WINDOW
6	VERTICAL T&G WD SIDING @ ENTRY PORCH.
7	METAL FASCIA @ FRONT OF AWNING TO MATCH ALUM. CLAD WINDOWS. UNDERSIDE OF AWNING TO BE T&G, CLEAR GRADE, WESTERN RED CEDAR.
8	EXTERIOR SCONCE WHICH ONLY CASTS LIGHT DOWNWARD SO AS TO PREVENT LIGHT POLLUTION. SPEC. TECH LIGHTING, PITCH SINGLE WALL SCONCE
9	SINGLE-PANEL, PAINTED WOOD FRONT DOOR AND GLASS SIDELITE
10	ACID-WASHED CONCRETE ENTRY PORCH, SLOPED TO DRAIN.
11	FLAT-PANEL, PAINTED WOOD GARAGE DOOR.
12	PREFAB. METAL PLANTER BOXES CONCEALED BEHIND STUCCO PARAPET HOOKED INTO IRRIGATION SYSTEM. SEE PLANS.
13	PAINTED WOOD FASCIA
14	SOLAR PANELS. SEE ROOF PLAN. FINAL PLACEMENT TBD BY SOLAR COMPANY.
15	PNT METAL RAILING
16	STEEL RAILING BALUSTERS W/ STAINED WD TOP CAP AND STEEL WIRE INFILL
17	PAINTED WD PARAPET CAP
18	ALUM. CLAD WOOD DOOR
19	PLANTING - TALL SHRUBS. SEE LANDSCAPE PLAN.
20	HORIZONTAL-CLAD WOOD FENCE. SEE SITE-PLAN.
21	A/C CONDENSER
22	WASTE BINS
23	CRAWL SPACE ACCESS HATCH
24	SKYLIGHTS, VELUX OR EQ.
25	(E) GRADE LINE
26	(E) GRADE LINE OFFSET 28'-6"
27	CONT. PNT METAL HANDRAIL ATTACHED TO HOME.

JOHN SIMENIC | ARCHITECT
JOHN.SIMENIC@GMAIL.COM
440.223.2620

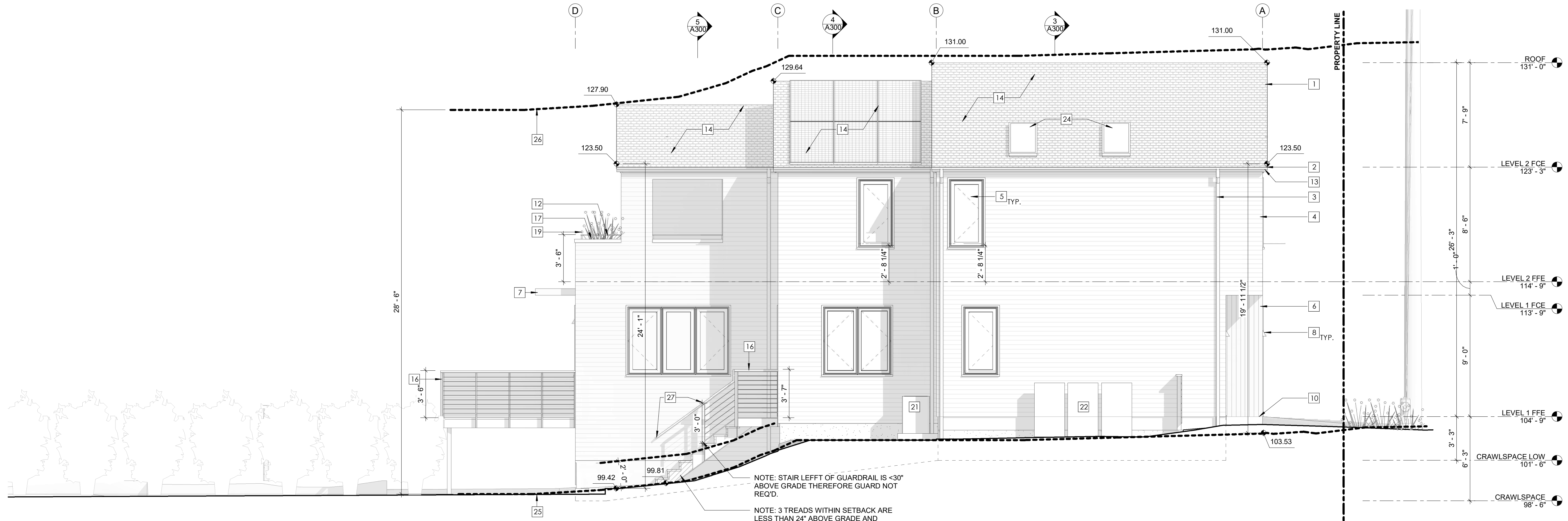
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APN:002-214-01



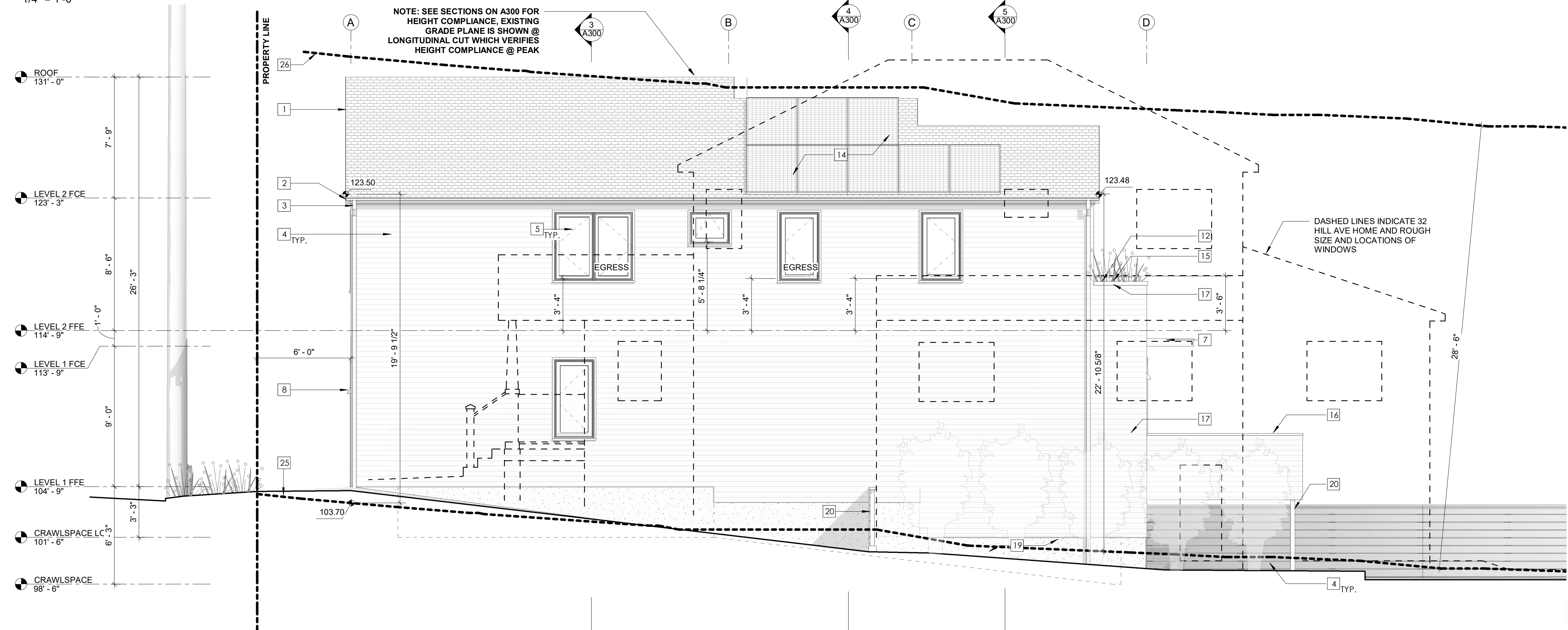
7.31.23 DR 2
4.01.22 DESIGN REVIEW
DATE: REMARKS:

REVISIONS
DRAWING TITLE:
ELEVATIONS - NORTH AND SOUTH
SHEET
A200

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1 EAST
1/4" = 1'-0"



2 WEST
1/4" = 1'-0"

ELEVATION GENERAL NOTES

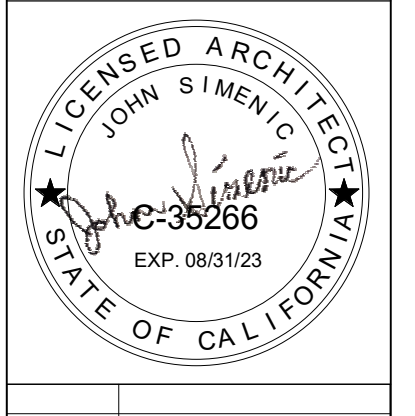
- TO SEE HOW BUILDING COMPLIES WITH THE 28'-6" HEIGHT LIMIT PLEASE SEE BUILDING SECTIONS.

ELEVATION KEYNOTES

NO.	NOTE
1	COMPOSITION SHINGLE ROOF - CERTAINTED LANDMARK PRO, MOIRE BLACK
2	HALF-ROUND COPPER GUTTER. SIZE AS REQ'D FOR PROPER ROOF DRAINAGE
3	CIRCULAR PROFILE DOWNSPOUT, SIZED AS REQ'D., FULLY-WELDED COPPER
4	4" HORIZONTAL SHIPLAP WD OR HARDIE PLANK SIDING
5	ALUM. CLAD, WOOD WINDOW.
6	VERTICAL T&G WD SIDING @ ENTRY PORCH.
7	METAL FASCIA @ FRONT OF AWNING TO MATCH ALUM. CLAD WINDOWS. UNDERSIDE OF AWNING TO BE T&G, CLEAR GRADE, WESTERN RED CEDAR.
8	EXTERIOR SCONCE WHICH ONLY CASTS LIGHT DOWNWARD SO AS TO PREVENT LIGHT POLLUTION. SPEC: TECH LIGHTING, PITCH SINGLE WALL SCONCE
9	SINGLE-PANEL, PAINTED WOOD FRONT DOOR AND GLASS SIDELITE
10	ACID-WASHED CONCRETE ENTRY PORCH, SLOPED TO DRAIN.
11	FLAT-PANEL, PAINTED WOOD GARAGE DOOR.
12	PREFAB. METAL PLANTER BOXES CONCEALED BEHIND STUCCO PARAPET HOOKED INTO IRRIGATION SYSTEM. SEE PLANS.
13	PAINTED WOOD FASCIA
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27	CONT. PNT METAL HANDRAIL ATTACHED TO HOME.

JOHN SIMENIC | ARCHITECT
JOHN.SIMENIC@GMAIL.COM
440.223.2620

SIMENIC RESIDENCE
XX HILL AVE. FAIRFAX, CA 94930
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7.31.23 DR 2
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ELEVATIONS - EAST AND WEST
SHEET
A201

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1.
ROOF MATERIAL:
 CERTAINEED LANDMARK PRO, ASPHALT
 COMPOSITE SHINGLE
 COLOR: MOIRE BLACK



2.
GUTTER MATERIAL:
 UNFINISHED, FULLY-WELDED COPPER GUTTERS AND
 DOWNSPOUTS



3.
WINDOW EXTERIOR MATERIAL:
 ALUMINUM-CLAD WOOD WINDOWS WITH A POWDER-
 COATED BLACK FINISH.
 MFR IS STILL TBD, MARVIN "EBONY" COLOR SHOWN
 FOR REFERENCE



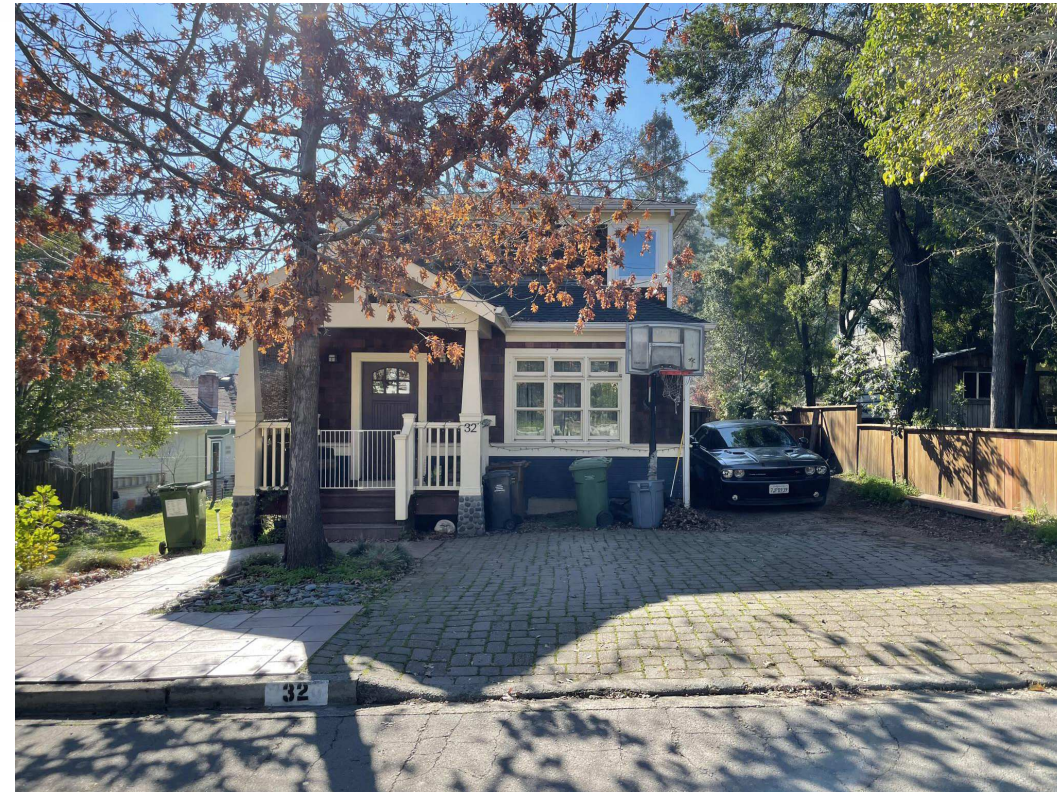
4.
SIDING MATERIAL:
 MFR: DELTA MILLWORKS
 MATERIAL: PREFINISHED MOJAVE THERMAL HEMLOCK, VG SMOOTH
 COLOR: DELTA BLACK
 ALTERNATE SIDING: HARDIE PLANK, 5.25" LAP SIDING, SMOOTH, PAINTED WITH #7 BELOW



5., 6.
SIDING MATERIAL:
 MFR: DELTA MILLWORKS
 MATERIAL: WESTERN RED CEDAR, VG SMOOTH, CLEAR FINISH
 COLOR: CLEAR



7.
TRIM AND PAINTED WOOD:
 MFR: BENJAMIN MOORE
 COLOR: BLACK SATIN 2131-10



32 HILL AVE - NORTH VIEW



32 HILL AVE - NORTHEAST VIEW



VACANT PARCEL - APN:002-214-01



15 RAMONA WAY - WEST VIEW



VACANT PARCEL - APN:002-214-01: @ SOUTH END OF SITE
 LOOKING NORTH

JOHN SIMENIC | ARCHITECT
 JOHN.SIMENIC@GMAIL.COM
 440.223.2620

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 XX HILL AVE - FAIRFAX, CA 94930

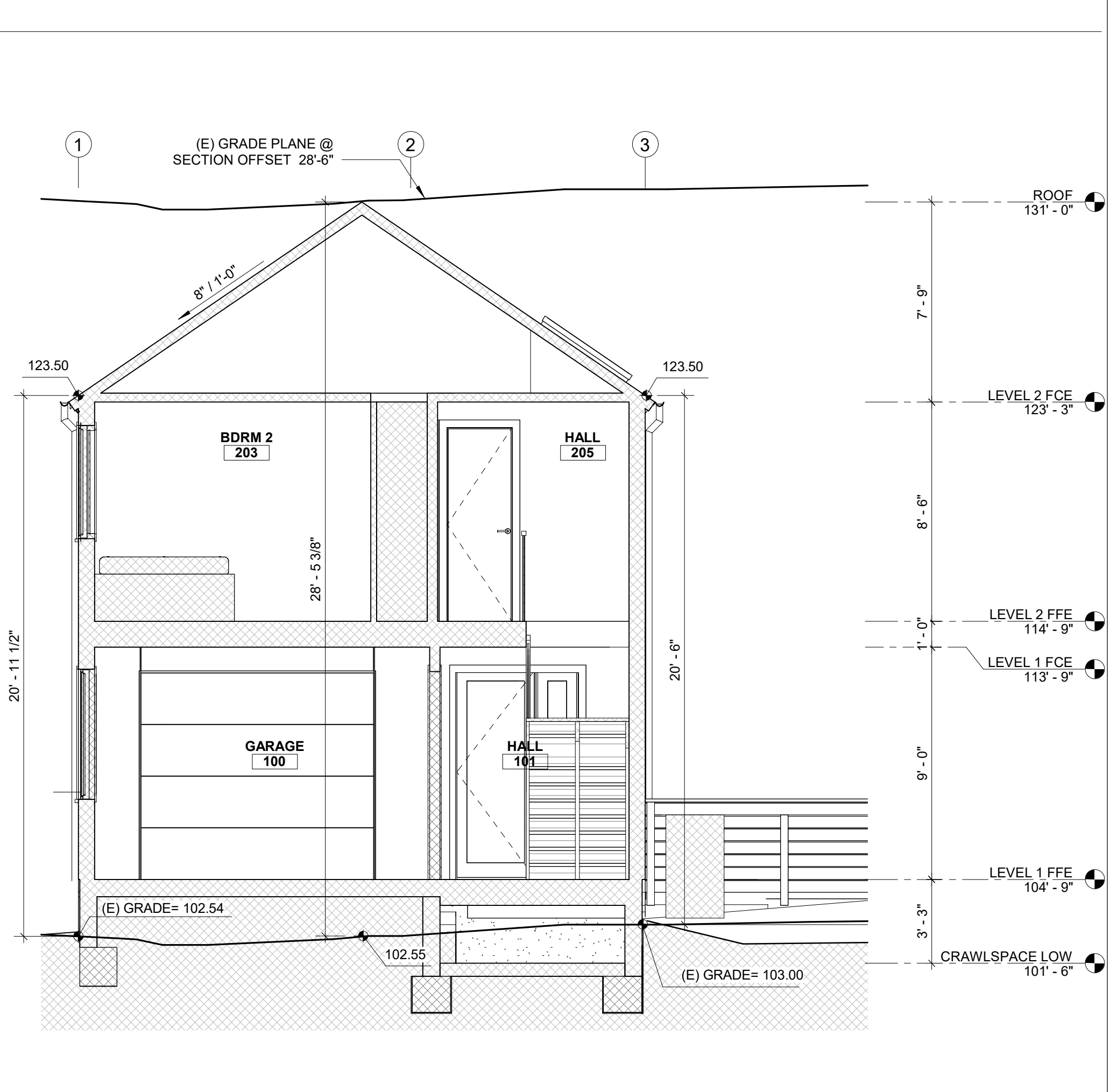
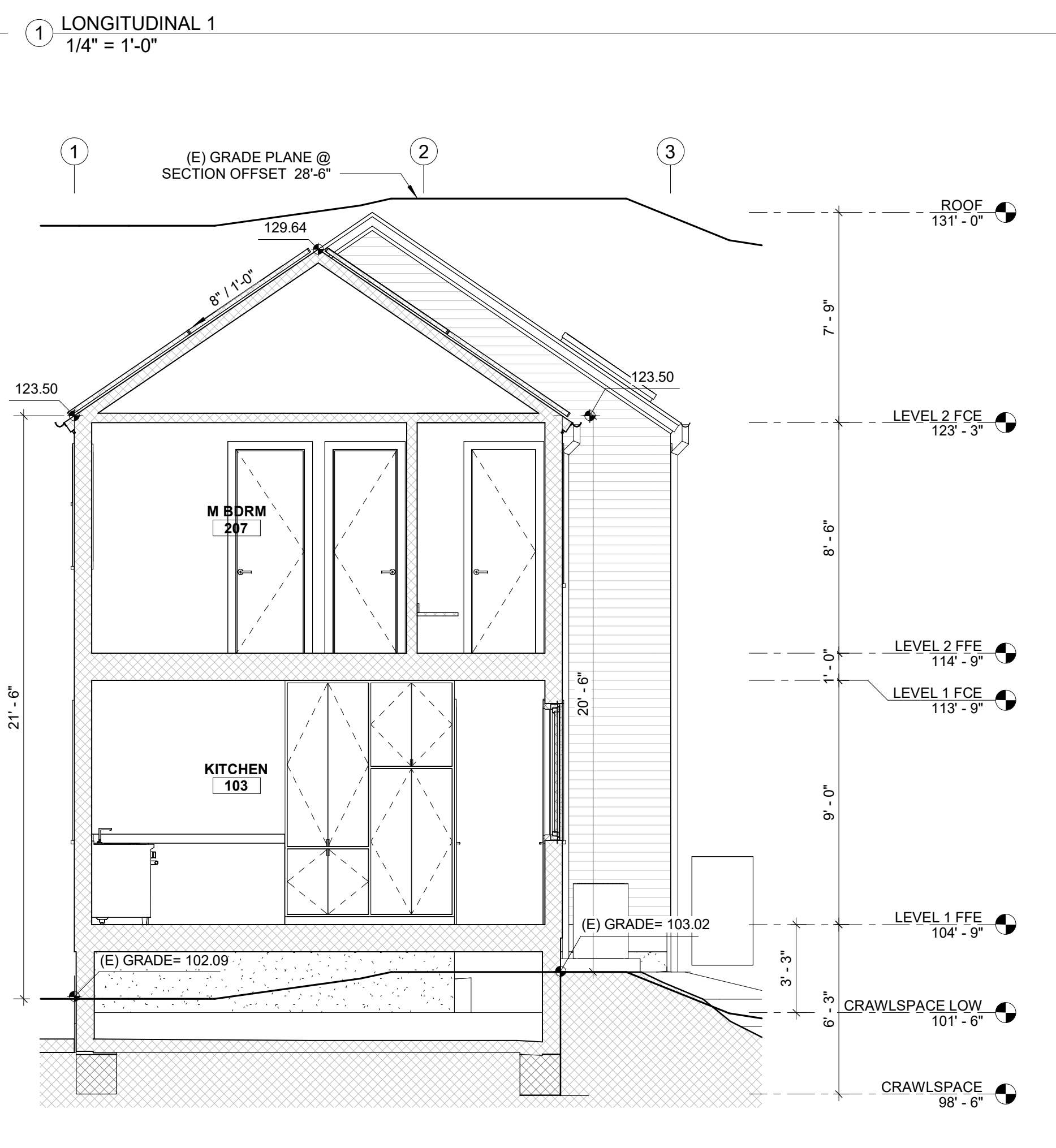
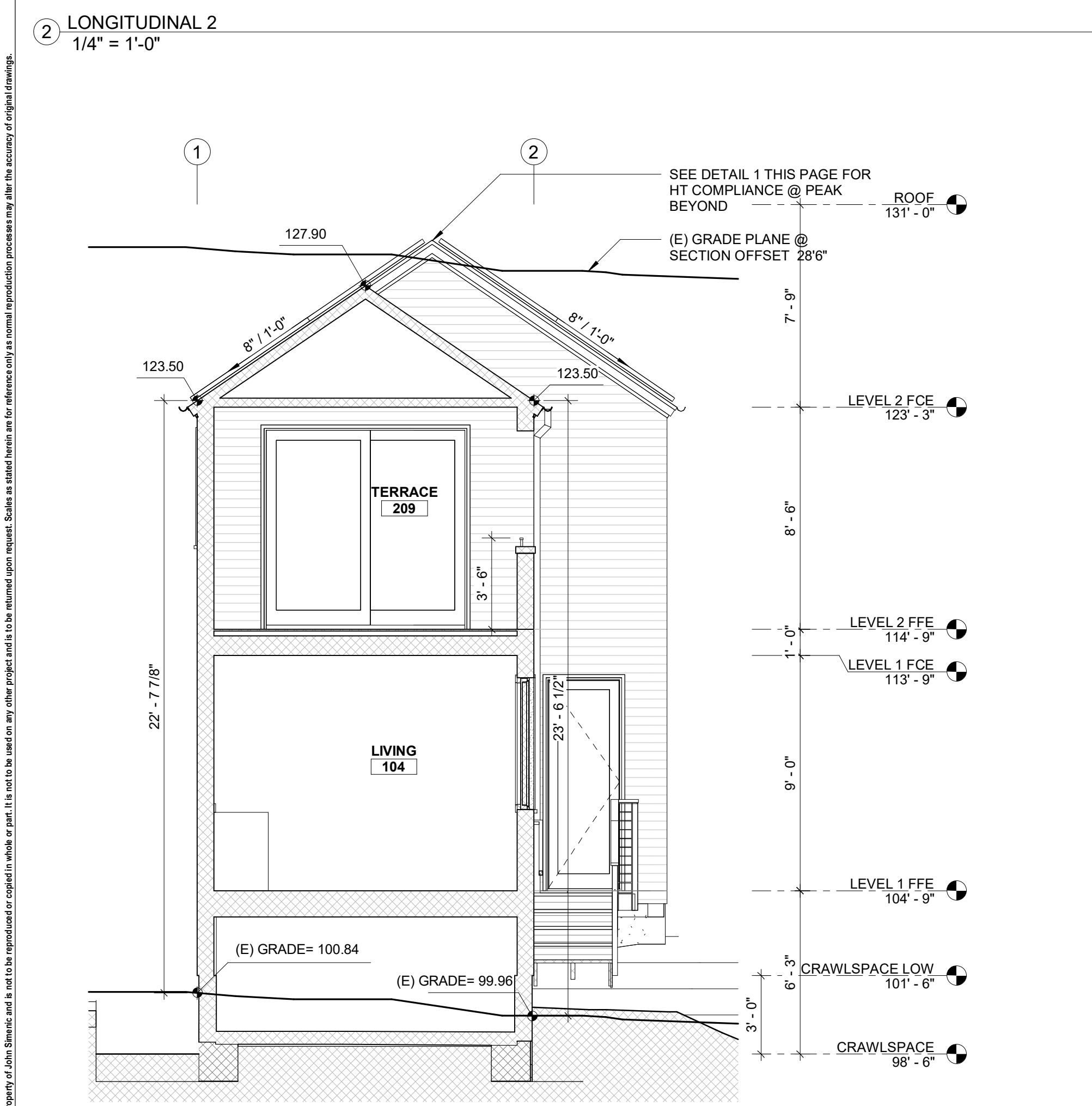
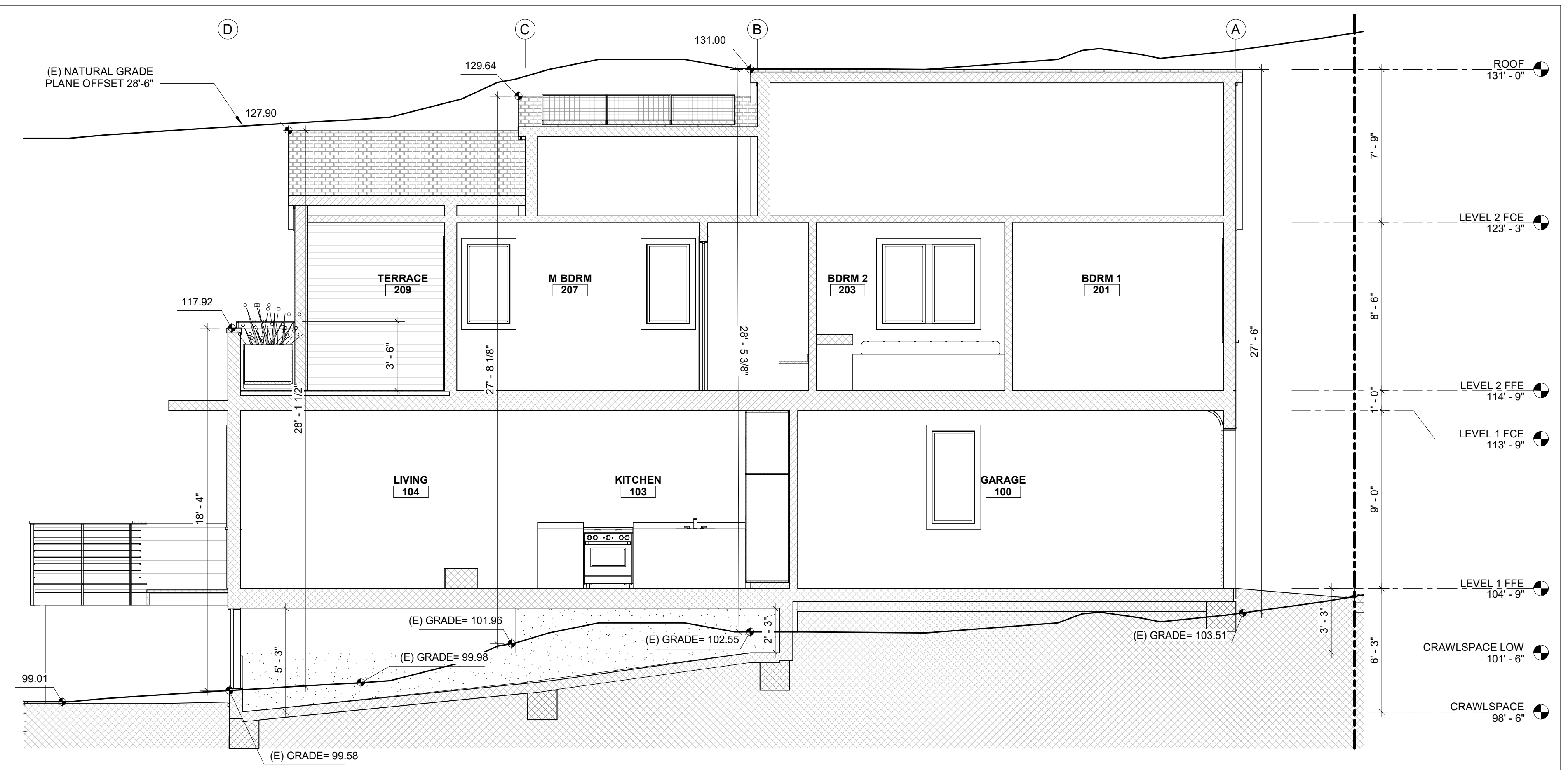
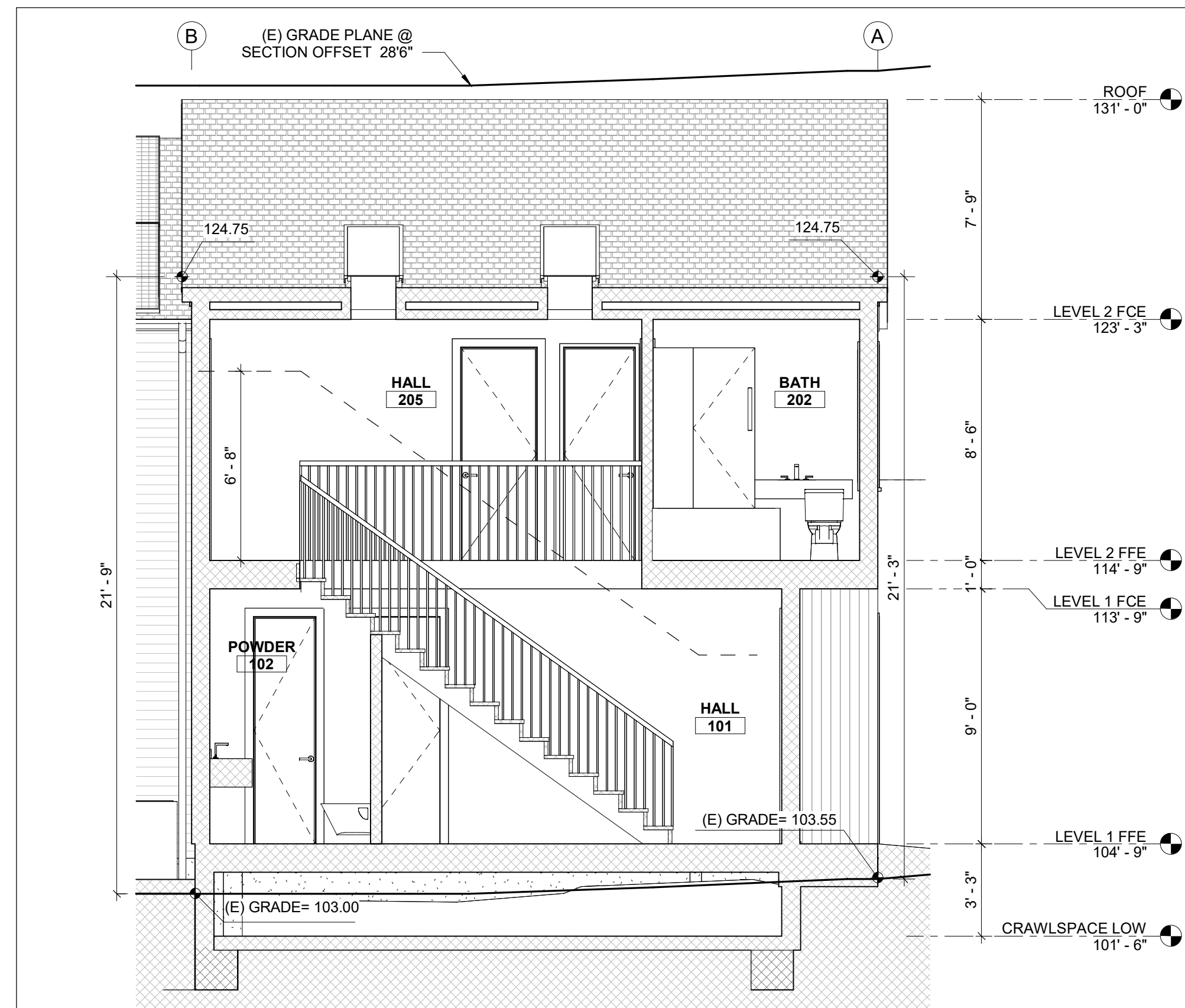


4.01.22 DESIGN REVIEW
 DATE: REMARKS:
 REVISIONS

DRAWING TITLE:
 ELEVATION -
 RENDERED
 NORTH

SHEET
A202

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⑤ CROSS SECTION 3
1/4" = 1'-0"

④ CROSS SECTION 2
1/4" = 1'-0"

③ CROSS SECTION 1
1/4" = 1'-0"

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JOHN SIMENIC | ARCHITECT
JOHN.SIMENIC@GMAIL.COM
440.223.2620

SIMENIC RESIDENCE
XX HILL AVE. FAIRFAX, CA 94930
APN002-21401

DATE	REVISIONS	REMARKS
7.31.23	DR 2	
4.01.22	DESIGN REVIEW	

DRAWING TITLE: SECTIONS

SHEET: **A300**

7/30/2023 4:10:13 PM