

FAIRFAX TOWN COUNCIL MEETING STAFF REPORT

MEETING DATE: October 4, 2023

PREPARED FOR: Mayor and Town Council
PREPARED BY: Linda Neal, Principal Planner

SUBJECT: Appeal of Planning Commission August 17, 2023, action approving a new

residence at 34 Hill Avenue.

RECOMMENDATION

Staff recommends the Town Council adopt the attached Resolution denying the appeal and upholding the August 17, 2023, Planning Commission decision approving the project by adoption of Resolution No. 2023-16 setting forth the legal findings and conditions for the project approval.

BACKGROUND

The project encompasses the construction of a 1,318 square-foot, 2-story, 3-bedroom, 2 ½-bathroom, single-family residence with an attached 340 square-foot, 1-car garage and 2 uncovered parking spaces located within the west side-yard area; installation of yard improvements and a formal drainage system.

After the Town had deemed this project complete and had accepted the recorded boundary survey prepared by a licensed land surveyor and was ready to schedule a hearing before the Planning Commission, the owners of the neighboring property at 32 Hill Avenue presented the Town with a recorded boundary survey of their property showing the western side property line in a different location than the applicant's recorded boundary survey. This conflicting survey resulted in different project site square footage and different minimum and combined side yard setbacks. Staff contacted the applicant to advise of the conflicting survey. Staff encouraged the two owners to meet and come to agreement on a final location for the western side property line. The neighbors have been unable to resolve the conflicting surveys and the matter is a civil dispute between the neighbors.

Staff proceeded to schedule the project for public hearing and to review the application based on the applicant's submitted boundary survey.

The project was reviewed by the Planning Commission initially on July 20, 2023 at which time they directed the applicant to do the following and continued the matter to the regular August 17, 2023, Planning Commission meeting:

- Re-examine whether the project can be redesigned to eliminate the need for minimum and combined side-yard setback variances for the structure. Provide revised drawings if possible and if it is not possible to redesign to comply with the setbacks, provide an explanation of why redesign cannot occur.
- Erect as many of the story poles shown on the story pole plan, project plan set page A103, a minimum of ten days prior to the August 17, 2023, regular Planning Commission meeting.

The packet material and minutes for the July 20, 2023, meeting can be viewed using the following links:

https://storage.googleapis.com/proudcity/fairfaxca/uploads/2023/07/Item-3-34-Hill.pdf

https://storage.googleapis.com/proudcity/fairfaxca/uploads/2023/08/FXPC-7-20-23.fnl_.pdf

The applicant resubmitted revised project plans maintaining all the required setbacks, erected the required story poles, and the project was scheduled for a second review before the Planning Commission at the regular August 17, 2023, meeting. On August 17, 2023, the Planning Commission approved the project as redesigned based on the findings contained in Attachment B, Resolution No. 2023-16. The packet materials from the meeting can be viewed using the following link:

https://storage.googleapis.com/proudcity/fairfaxca/uploads/2023/08/Item-2-34-Hill.pdf

https://www.townoffairfax.org/meetings/planning-commission-august-17-2023/#/tab-video

DISCUSSION

The owners of 32 Hill Avenue located west of the project site filed an appeal of the Planning Commission's approval. The reasons for the appeal were concerns about the significant drainage that flows over the site, the inaccuracy of the survey, and the project design (Attachment B – appeal form).

Drainage

Significant drainage flows across Sir Francis Drake Boulevard from the hillsides to north from both San Anselmo and the Willow Avenue neighborhood. The water crosses Sir Francis Drake Boulevard into the Fairfax Tract Subdivision in Fairfax and the Bush Tract in San Anselmo, areas that have little or no formalized drainage systems.

The appellant advises that he has spoken with the Public Works Director in San Anselmo about the drainage issues in the Fairfax Tract and Bush Tract subdivisions and that both he and the Director concurred that uphill drainage has been directed into the Fairfax Tract Subdivision in Fairfax and Bush Tract Subdivision in San Anselmo which has led to flooding in the immediate area and that addressing the problem would involve both the Town of San Anselmo and Fairfax and require large scale infrastructure improvements (Attachment D to the July 20, 2023, Planning Commission staff report, page one, last paragraph of the September 17, 2021 letter from the appellant to staff).

The owner/applicant for the 34 Hill Avenue property submitted a drainage study with his project that was reviewed and approved by the Town Engineer (Attachment E to the July 20, 2023, Planning Commission staff report, letter from the Town Engineer dated June 2, 2022, last page, "Conclusions".) The letter notes that the proposed drainage plan will result in peak offsite flow rates that will remain at or below the current, pre-construction conditions, which is the accepted measure for new development.

The drainage issues in this area have been occurring for a long time and it is not the responsibility of one homeowner or applicant to address these issues alone.

Survey Adequacy

Project applicant submitted a recorded survey prepared by a licensed land surveyor which was reviewed and accepted by the Town surveyor and the Town has processed the application based on that information. Property line disputes are a civil matter and the appellant could have started a legal process to have a court review the two surveys, his survey and the applicant's, at any time but has not

chosen to do that. The appellant has separate legal rights to pursue a decision on which survey prevails through the courts.

Project Design

The Planning Commission held two public hearings on this project at which time a number of citizens, including the appellant, expressed concerns about the project and a number spoke in support of the project. Concerns expressed by neighbor's other than the appellant relating to the project design included, 1) the color palette being too dark, 2) The project being out of scale with the structures in the neighborhood; 3) the building blocking light to one backyard and views.

The Planning Commission directed the applicant to redesign the project to meet all the setback requirements. The applicant complied with the Planning Commission direction so that the house now complies with all the regulations that apply in the Residential RD 5.5-7 Zone, including minimum and combined setbacks, height, floor area ratio, and lot coverage.

The Planning Commission approved the project on August 17, 2023 and included a condition that a revised color palette for the exterior of the building be submitted with the building permit application for review and approval by the Director of Planning and Building Services.

FISCAL IMPACT

None.

Attachments

- A. Town Council Resolution No. 23-___, including Planning Commission Resolution No. 2023-16 as Exhibit 1
- B. Appeal (form)
- C. Project plan set

RESOLUTION 23-___

A RESOLUTION OF THE FAIRFAX TOWN COUNCIL
DENYING THE APPEAL AND UPHOLDING THE PLANNING COMMISSION ACTION
APPROVING APPLICATION #23-18 FOR A CONDITIONAL USE PERMIT (CUP),
DESIGN REVIEW PERMIT, EXCAVATION PERMIT, TREE REMOVAL PERMIT AND
MINIMUM AND COMBINED SIDE YARD SETBACK VARIANCE TO ALLOW
CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE WITH ATTACHED GARAGE
AND UNCOVERED PARKING IN THE SIDE SETBACKS AT 34 HILL AVENUE

WHEREAS, on April 7, 2022, the Town of Fairfax received an application from John Simenic for a residence, attached one car garage, and private driveway at 34 Hill Avenue; and

WHEREAS, the Planning Commission held a duly noticed Public Hearings on July 20, 2023, and August 17, 2023, to consider approval of the owner's requested Conditional Use Permit (CUP), Design Review, Permit, Excavation Permit, Tree Removal Permit, and Minimum and Combined Side-yard Setback Variance and at which time all interested parties were given a full opportunity to be heard and to present evidence; and

WHEREAS, at the conclusion of the August 17, 2023, Planning Commission meeting, that body did approve, by way of its adoption of Resolution 2023-16, the plans dated received by the Town on 8/7/23, prepared by John Simenic, Architect, sheets A000, A100, A103, A110, A200, A201, A202, and A300 (revision date 7/31/23), Engineering Plan Sheets by DVC Group Inc., Planning and Engineering, C1 through C4, dated 5/31/22, topographical survey by Oberkamper and Associates Civil Engineering, sheet 1, dated 6/3/21, and the recorded survey by Shane W. Rauch, Professional Land Surveyor with Oberkamper and Associates recorded 10/20/21; and

WHEREAS, the Town Council has made the following findings for approval of the project, upholding the Commission's August 17, 2023, action:

The project conforms to the following 2010-2030 Town of Fairfax General Plan Policies:

Policy LU-7.1.5: New and renewed residential development shall preserve and enhance the existing character of the Town's neighborhoods in diversity, architectural character, size, and mass.

Policy LU-7.2.1: New and renewed development shall be compatible with the general character and scale of structures in the vicinity.

Policy LU-7.2.2: To the extent feasible natural features including the existing grade, mature trees and vegetation shall be preserved for new and renewed development.

Policy LU-4.1.4: New and renewed development shall be designed to minimize run-off in a manner that does not cause undue hardship on neighboring properties.

Conditional Use Permit (Town Code § 17.032.060)

- 1. The approval of the CUP for a 28.5-foot tall, two-story, 1,318 square-foot, 3-bedroom, 2 ½-bathroom, single-family residence that complies with the floor area ratio and lot coverage limitations, the height limit and the required minimum and combined front/rear and side-yard setbacks and provides the required three parking spaces will not be a grant of special privilege.
- 2. The development and use of the property as described in finding one above and subject to compliance with the conditions contained in this resolution shall not create a public nuisance or cause unreasonable detriment or adverse physical or economic effects to neighboring properties.
- 3. Approval of the CUP is not contrary to the goals, objectives or policies of the 2010-2030 Fairfax General Plan or Town Code Title 17, Zoning.
- 4. Approval of the CUP and development of the site as proposed will be a better use of the property than would otherwise be the case because the residence is in scale with the site and with other structures in the neighborhood.

Design Review (Town Code § 17.020.040)

- 1. The project depicted in the plans submitted to the Town on August 7, 2023, is this the correct date? complies with the Design Review Criteria set forth in Town Code § 17.020.040.
- The exterior of the structure has been articulated, landscape screening is proposed, and the setbacks have been maximized to minimize significant impacts on neighboring property and to allow the development to harmonize with the surrounding residential development.

Excavation Permit (Town Code § 12.20.080)

Based on the Town Engineer's review and recommendation that the project can be safely constructed, the Planning Commission finds that:

- 1. The health, safety and welfare of the public will not be adversely affected.
- 2. Adjacent properties will be adequately protected by project investigation and design from geologic hazards as a result of the work.
- 3. Adjacent properties are adequately protected by project design from drainage and erosion problems as a result of the work.
- 4. The amount of the excavation or fill proposed is not more than that required to allow the property owner substantial use of his or her property.
- 5. The visual and scenic enjoyment of the area by others will not be adversely affected by the project more than is necessary.

- 6. Natural landscaping will not be removed by the project more than is necessary; and
- 7. The time of year during which construction will take place is such that work will not result in excessive siltation from storm runoff nor prolonged exposure of unstable excavated slopes (Town Code § 17.072.090(c)(4) prohibits grading of hillside properties from October 1st through April 1st of each year).

Variance to Allow Uncovered Parking in the Side-Yard Setback (Town Code § 17.028.070)

- 1. The small size and 3-foot to 47-foot width of the site are the features that warrant granting the requested Side-yard Setback Variance to construct the required parking spaces to support the new single-family residence within the side-yard setback. The strict enforcement of prohibition of required parking in the side yard setback would deprive the applicant of the ability to improve the on-site parking required to allow for construction of a single-family residence on this RD 5.5-7 residentially zoned site and would make designing a complying structure difficult.
- 2. Most properties in town that are similarly small sites have some portion of their required parking spaces and/or parking structures and portions of the residence within one or more required setbacks. Therefore, allowing the uncovered parking spaces to encroach into the minimum and combined side-yard setbacks will not be a grant of special privilege.
- 3. The strict application of the setback regulations would render the site undevelopable, which would be a hardship for the applicant.
- 4. The granting of the side-yard setback variance to allow the uncovered parking within the minimum side yard setback will not be detrimental to the public health, welfare, and safety or injurious to other property in the vicinity in which the property is situated.

Tree Removal (Town Code § 8.36.030 and § 8.36.090)

The seven trees proposed for removal within the structure footprint and throughout the site have been reviewed by the Tree Committee who has recommended that the Planning Commission approve the requested removal permit. Therefore, the project is in compliance with all the considerations listed in Town Code 8.36.060(B)(1 through 7) of the Tree Ordinance, Town Code Chapter 8.36.

WHEREAS, at the conclusion of the October 4, 2023, public hearing, the Town Council found that the findings made by the Planning Commission in the attached Resolution No. 2023-16 (Exhibit 1) are appropriate to support the Council upholding the Commission action approving the project,

NOW, THEREFORE, BE IT HEREBY FOUND AND RESOLVED by the Town Council of the Town of Fairfax:

Section 1. The recitals set forth above are incorporated herein.

<u>Section 2.</u> Based on the foregoing, the Town Council of the Town of Fairfax denies the appeal and upholds the Planning Commission approval of the Conditional Use Permit, Design Review Permit, Excavation Permit, Tree Removal and Side-Yard Setback Variance as set forth in Attachment 1, Planning Commission Resolution 2023-16.

The foregoing resolution was adopted at a regular meeting of the Town Council held in said Town, on the 4th day of October 2023, by the following vote:

AYES: NOES: ABSENT:	
	Chance Cutrano, Mayor
Attest:	
Michele Gardner Town Clerk	



TOWN OF FULFAX



TOWN OF FAIRFAX

142 BOLINAS ROAD, FAIRFAX, CALIFORNIA 94930 (415) 453-1584/FAX (415) 453-1618

Date: 8-21-23 Fee: \$625.00 Appl.# 23-18

NOTICE OF APPEAL

FOR STAFF USE

Receipt# 1-47728
Recvd. By: 5. 0940~

is an error in any order, requirement, permit, decision or determination by any

The purpose of the appeal procedure is to provide recourse in case it is alleged that there

administrative official, advisory body or commission in the administration or enforcement of the City Ordinances. Any person aggrieved by the action of any administrative official, advisory board or commission in the administration or enforcement of any ordinance in

Action:

the Town Code may make verified application to the Town Clerk in the manner prescribed by the Town Council within ten (10) days of action that is appealed.
FEE: Fees are set by resolution of the Town Council. See fee schedule for current application fees. Effective 2020: \$625.—
PLEASE PRINT
Appellant's name Aaron O'Brien + Kelley O'Brien
Mailing address 32 Hill Ave Fairfax Zip: 94930 Day phone
Property Address: 34 Hill Ave. Fairfax CA. 94930
I appeal the decision of: (list board, commission, or department and decision, for example: Planning Commission denial of variance) application # 23-18 The following are my reasons for appeal: Application # 23-18
Significant duzinage, survey, and design
155445
hereby declare that I have read the foregoing Notice of Appeal and know the contents thereof. I further declare under penalty of perjury that the information supplied by me is true and correct. Executed this
(4/94)

GENERAL NOTES

1.1.0 THE CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERING A COMPLETE AND USABLE FACILITY, WHICH WILL FUNCTION PER THE DESIGN INTENT OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE THE SCOPE OF WORK WITH ALL EXISTING CONDITIONS, THOROUGHLY EXAMINE THE JOB SITE, AND BASE PRICE ON EXISTING CONDITIONS.

1.1.1 WORK SHALL BE PERFORMED CONSISTENT WITH THE LOCAL MUNICIPALITY ORDINANCES, THE CALIFORNIA BUILDING CODE CURRENT EDITION. CONTRACTOR TO STRICTLY ADHERE TO ALL CODES, ORDINANCES, AND REGULATIONS THAT GOVERN CONSTRUCTION WHETHER LISTED HEREIN OR NOT. 1.1.2 REFERENCE AND INCORPORATE PROJECT MANUAL AND ALL CONSULTANT AND ARCHITECT SPECIFICATIONS, SURVEYS, AND TESTING REPORTS AS A PART OF THE

COMPLETE CONSTRUCTION DOCUMENT SET. 1.1.3 CONSTRUCTION OPERATIONAL PROCEDURES AND METHODS ARE THE RESPONSIBILITY OF THE CONTRACTOR INSOFAR AS THEY DO NOT PRESENT HAZARDS TO PERSONNEL OR PROPERTY OR INFRINGE ON WORK SCHEDULES FOR NORMAL SITE

CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION, AND EXECUTION OF CONSTRUCTION METHODS AND PROCEDURES AND PROVIDE PEDESTRIAN PROTECTION AS REQUIRED FOR SAFETY OF TENANTS, PEDESTRIANS AND JOBSITE PERSONNEL 1.1.4 THE CONTRACTOR SHALL APPLY FOR AND OBTAIN, AT HIS/HER EXPENSE, ALL PERMITS REQUIRED BY REGULATORY AGENCIES INCLUDING BUT NOT LIMITED TO BUILDING, MECHANICAL, ELECTRICAL, PLUMBING, AND ENERGY COMPLIANCE PERMITS PRIOR TO AND DURING CONSTRUCTION.

1.1.5 THE CONTRACTOR'S COSTS SHALL INCLUDE THE COST OF PROPER INSURANCE AS REQUIRED BY STATE AND LOCAL LAWS. NATIONAL BUILDING REGULATIONS OR CODES TO ADEQUATELY PROTECT PERSONS AND PROPERTY. A COPY OF SUCH INSURANCE COVERAGE SHALL BE FURNISHED TO THE OWNER/MANAGER AND/OR TENANT PRIOR TO

COMMENCEMENT OF ANY WORK. 1.1.6 THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS.

1.1.7 SEE STRUCTURAL DRAWINGS FOR ASSOCIATED FRAMING AND EXCAVATION CONTRACTOR TO PROVIDE SHORING AS NECESSARY. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL FURNISH ALL NECESSARY SHORING, BRACING, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK, AND SHALL BE FULLY RESPONSIBLE FOR THE SAME, INCLUDING ANY REQUIRED PERMITS

1.1.8 THE GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT TO PROJECT TEAM, BEFORE STARTING WORK, COMPLETE BAR-GRAPH SCHEDULE INDICATING REQUIRED CONSTRUCTION TIME FOR EACH TRADE'S WORK AND UPDATE THROUGHOUT

1.1.9 ALL CONTRACTORS/SUB-CONTRACTOR'S MUST PROVIDE THE OWNER/MANAGER WITH A CERTIFICATE OF INSURANCE PRIOR TO THE COMMENCEMENT OF WORK. 1.1.10 ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND CITY ORDINANCES, BUILDING CODES, AND REQUIREMENTS ESTABLISHED BY STATE AND LOCAL FIRE MARSHALS, AND MANUFACTURERS' RECOMMENDATIONS AND TRADE AND REFERENCE STANDARDS. IN CASE OF CONFLICT, MOST STRINGENT REQUIREMENTS SHALL APPLY.

1.1.11 REFER TO BUILDING AND SITE DATA AND PROJECT STATISTICS FOR CODE 1.1.12 THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ADEQUATE PRECAUTIONS | IF FOR ANY REASON DAMAGE TO EXISTING WORK OR UTILITIES IS CONSIDERED TO BE

TO PROTECT BUILDING OCCUPANTS, MATERIALS, & EXISTING FINISHES THROUGHOUT ALL PHASES OF CONSTRUCTION. NOISE, SECURITY, AND DUST BARRIERS BETWEEN CONSTRUCTION AREAS AND OCCUPIED AND PUBLIC AREAS SHALL BE MAINTAINED BY

1.2.0 THE ARCHITECT OF RECORD SHALL BE THE LEAD POINT OF CONTACT FOR ALL QUESTIONS, CLARIFICATIONS, AND REQUESTS FOR INFORMATION PERTAINING TO THE CONTRACT DOCUMENTS. 1.2.1 CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS

FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION. 1.2.2 THE INTENT OF THE CONTRACT DOCUMENTS IS TO EXCLUDE ALL MATERIALS WHICH CONTAIN KNOWN HAZARDOUS SUBSTANCES. THESE INCLUDE MATERIALS CONTAINING ASBESTOS, POLYCHLORINATED BIPHENYL(PCB), OR ANY OTHER KNOWN SUBSTANCES DETERMINED TO BE A HEALTH HAZARD BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) AND OTHER RECOGNIZED AGENCIES. IN STUDYING THE CONTRACT DOCUMENTS, AND AT ANY TIME DURING EXECUTION OF THE WORK. THE CONTRACTOR SHALL AT ONCE REPORT TO THE ARCHITECT ANY MATERIALS CONTAINING HAZARDOUS SUBSTANCES THAT HE/SHE MAY DISCOVER. DO NOT PROCEED WITH INSTALLATION OF HAZARDOUS MATERIALS.

1.2.3 CONTRACTOR SHALL VERIFY PRESENCE OF HAZARDOUS MATERIALS WITH OWNER. ARCHITECT AND ITS CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO, ASBESTOS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.

1.2.4 ALL CHANGES TO THE CONTRACT DOCUMENTS AND RESULTING CHANGES TO THE CONTRACT SUM (IF ANY) OR CHANGES IN THE PROJECT DURATION (IF ANY) WILL BE ISSUED BY THE ARCHITECT AND MUST BE SIGNED BY THE OWNER/MANAGER AND CONTRACTOR PRIOR TO PROCEEDING.

1.2.5 ARCHITECTURAL DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE MEASUREMENTS FROM DRAWINGS 1.2.6 THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AMBIGUITIES | A. FINAL CLEANING OF SURFACES BY A PROFESSIONAL SERVICE. OR DISCREPANCIES BETWEEN THE DRAWINGS WITH EXISTING CONDITIONS OR WITH GOVERNING REQUIREMENTS. NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN FIELD CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH WORK. ALLOW SUFFICIENT

TIME FOR RESOLUTION WITHOUT DELAYING THE WORK 1.2.7 LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS; DETAILS TAKE PRECEDENCE OVER ALL OTHER DRAWINGS. NOTIFY OWNER OF DISCREPANCIES.

1.2.8 IN CASE OF CONFLICT BETWEEN OR WITHIN THE VARIOUS CONTRACT DOCUMENTS, THE MORE STRINGENT REQUIREMENTS (AS DETERMINED BY ARCHITECT) SHALL GOVERN, AND THE GREATER QUANTITY AND THE HIGHER QUALITY (AS DETERMINED BY ARCHITECT) SHALL BE FURNISHED. THIS RULE DOES NOT APPLY WHERE ONE REQUIREMENT IS SPECIFICALLY MODIFIED OR SUPERSEDED BY ANOTHER AND WHERE ADDITIONS TO, DELETIONS FROM, AND OTHER CHANGES ARE SPECIFICALLY MADE, AS IN ADDENDA, CONSTRUCTION CHANGE DIRECTIVES, MODIFICATIONS, CHANGE ORDERS, AND THE LIKE.

1.2.9 ARCHITECT AND OWNER TO REVIEW FRAMING, PLUMBING, AND ELECTRICAL PRIOR TO DRYWALL. CHARGES TO REFRAME UNREVIEWED PARTITIONS WILL NOT BE ACCEPTED.

SYMBOL LIST

ROOM NAME	Room name 101 150 SF	WINDOW TYPE	200B(E)
WALL TYPE	10	RCP ELEVATION	•
DOOR TYPE	(101)(E)	FINISH FLR ELEVATION	lack
COLUMN GRIDLINE	0	ELEVATION DAUTM	Name Elevation
SECTION	1 A101	DETAIL	SIM A101
ELEVATION	1 Ref 2 4 1 A101 1 1 Ref	INTERIOR ELEVATION	1 Ref To Want 1 1 Ref

GENERAL NOTES CONTINUED

1.3.1 DIMENSIONS ARE FINISHED FACE TO FINISHED FACE, U.O.N. CONTRACTOR SHALL USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE DRAWINGS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN A TIMELY MANNER SO AS TO PREVENT ANY DELAYS IN THE PROJECT SCHEDULE. 1.3.2 HEIGHTS ARE DIMENSIONED FROM TOP OF FINISHED FLOOR, U.O.N. 1.3.3 ALL WORK SHALL BE PLUMB, SQUARE, LEVEL, IN PROPER ALIGNMENT, AND SECURELY FASTENED.

LENGTH OF PARTITIONS. CONTRACTOR SHALL NOT ADJUST DIMENSIONS MARKED "CLEAR" OR "CLR" WITHOUT APPROVAL FROM THE ARCHITECT 1.3.5 NEW PARTITIONS TO BE LOCATED ON CENTERLINE OF MULLION OR ALIGNED WITH COLUMN OR WALL, U.O.N. 1.3.6 ALL FURNITURE SHOWN IS FOR REFERENCE ONLY, UNLESS OTHERWISE NOTED

1.3.4 DIMENSIONS SHALL BE EXACT WITHIN 1/8" IN 10'-0" ALONG FULL HEIGHT AND

1.4.1 SUBMIT A MINIMUM OF (3) COPIES OF REQUIRED SAMPLES, SHOP DRAWINGS, & PRODUCT DATA TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION, INSTALLATION, AND/OR APPLICATION. ALLOW ARCHITECT 15 DAYS TO REVIEW AND COMMENT. ARCHITECT'S REVIEW WILL BE FOR CONFORMANCE WITH DESIGN CONCEPT ONLY CONTRACTOR SHALL REVIEW ALL SUBMITTALS FOR CONFORMANCE WITH CONTRACT DOCUMENTS PRIOR TO SUBMITTING THEM FOR ARCHITECT'S REVIEW. APPROVAL OF SHOP DRAWINGS SHALL NOT RELEASE CONTRACTOR FROM RESPONSIBILITY FOR THE

WORK AS SPECIFIED. REQUIRED SUBMITTALS A. ALL FINISH ITEMS

DOORS AND HARDWARE GLAZING SYSTEMS AND ASSEMBLIES

D. LIGHT FIXTURES, ELECTRICAL AND LOW/VOLTAGE DEVICES

ARCHITECTURAL SPECIALTIES AND ACCESSORIES MECHANICAL, ELECTRICAL, PLUMBING, FIRE AND LIFE SAFETY, LAYOUT AND PRODUCT INFORMATION

G. ALL DESIGN/BUILD DOCUMENTS

1.4.2 WHERE PRODUCTS ARE SPECIFIED BY MANUFACTURER AND MODEL IT IS TO ESTABLISH A QUALITY STANDARD. USE MATERIAL SPECIFIED OR APPROVED SUBSTITUTION. PRODUCTS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STANDARD SPECIFICATIONS, U.O.N. 1.4.3 TRANSPORT, DELIVER, HANDLE AND STORE MATERIALS AND EQUIPMENT AT THE JOBSITE IN SUCH A MANNER AS TO PREVENT DAMAGE, INCLUDING DAMAGE WHICH MIGHT RESULT FROM INTRUSIONS OF FOREIGN MATTER OR MOISTURE FROM ANY SOURCE. COMPLY WITH MATERIAL AND EQUIPMENT MANUFACTURERS' INSTRUCTIONS REGARDING TEMPERATURE LIMITATIONS AND OTHER ENVIRONMENTAL CONDITIONS, WHICH ARE REQUIRED TO MAINTAIN THE ORIGINAL QUALITY OF MATERIALS AND EQUIPMENT.

1.4.4 CONTRACTOR SHALL SUBMIT TO THE ARCHITECT, IMMEDIATELY FOLLOWING DIRECTIVE TO PROCEED WITH WORK, CONFIRMATION WITH DELIVERY DATES FOR ORDERS OF MATERIALS AND EQUIPMENT AND ANY LONG LEAD TIME ITEMS. 1.4.5 ALL CONTRACTORS WILL PROVIDE THE BUILDING OWNER/MANAGER WITH A MSDS LIST OF ANY CHEMICALS, COMPOUNDS OR MATERIALS TO BE USED DURING

1.4.6 DAMAGE: CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS OF ANY ACCIDENTAL DAMAGE HE/SHE INFLICTS UPON THE EXISTING WORK WHICH WILL REMAIN UNAVOIDABLE, SUBMIT WRITTEN NOTIFICATION OF THIS BEFORE SIGNING THE CONTRACT IN THE ABSENCE OF SUCH NOTIFICATION, CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR DAMAGE AND THE COSTS OF SATISFACTORILY REPAIRING OR REPLACING DAMAGED

1.4.7 WARRANTY SHALL BE EXTENDED FOR ALL CONSTRUCTION COMPONENTS, EQUIPMENT AND INSTALLATIONS INCLUDED IN THIS CONTRACT FOR A MINIMUM OF 1 YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. 1.4.8 GC SHALL RE-EXECUTE ANY WORK THAT FAILS TO CONFORM TO THE

DRAWINGS/DETAILS AS SHOWN AND ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP WHICH APPEAR WITHIN A PERIOD OF ONE (1) YEAR.

1.5.1 THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF THE CONTRACT DRAWINGS FOR RECORD MARK-UP PURPOSES THROUGHOUT THE CONTRACT TIME. MARK UP THESE DRAWINGS DURING THE COURSE OF WORK TO SHOW BOTH CHANGES AND ACTUAL INSTALLATION IN SUFFICIENT FORM TO COMPRISE A COMPLETE RECORD FOR THE OWNER/MANAGER'S PURPOSES. GIVE PARTICULAR ATTENTION TO WORK WHICH WILL BE CONCEALED AND DIFFICULT TO MEASURE AND RECORD AT A LATER DATE, AND TO WORK WHICH MAY REQUIRE SERVICING OR REPLACEMENT DURING THE LIFE OF THE PROJECT. BIND PRINTS INTO MANAGEABLE SETS WITH DURABLE PAPER COVERS LABELED "AS-BUILT DRAWINGS". AND TRANSMIT TO OWNER/MANAGER 1.5.2 UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL SUBMIT TO THE OWNER/MANAGER COMPLETE OPERATING INSTRUCTIONS. MAINTENANCE INSTRUCTIONS. PARTS LISTS AND ALL FURTHER BULLETINS AND BROCHURES PERTINENT TO THE OPERATION AND MAINTENANCE OF THE EQUIPMENT (MECHANICAL, ELECTRICAL,

PLUMBING, FIRE ALARM,) AND FINISHES & FIXTURES FURNISHED AND INSTALLED TOGETHER WITH RECORD DRAWINGS. 1.5.3 SUBSTANTIAL COMPLETION IS DEFINED AS THE FOLLOWING: "THE DATE THAT ALL WORK HAS BEEN PERFORMED, OTHER THAN ANY DETAILS OF CONSTRUCTION, MECHANICAL ADJUSTMENT OR ANY OTHER SIMILAR MATTER, THE NON-COMPLETION OF WHICH DOES NOT MATERIALLY INTERFERE WITH INTENDED USE OF THE

PREMISES AND IT IS LEGALLY PERMITTED TO OCCUPY THE PREMISES."

NOT CONTINGENT FOR SUBSTANTIAL COMPLETION, BUT REQUIRED FOR COMPLETION OF GENERAL CONTRACTOR'S CONTRACT AND FINAL PAYMENT ARE THE FOLLOWING B. REPRODUCIBLE DRAWINGS WITH AS-BUILT CONDITIONS NOTED. C. A BINDER WITH OPERATION AND MAINTENANCE DATA AND WARRANTIES. D. SPECIFIED QUANTITIES OF MAINTENANCE MATERIALS.

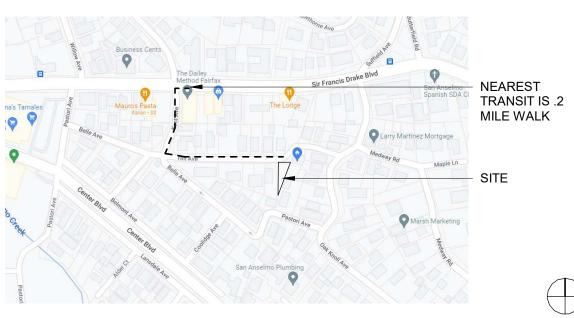
. HVAC BALANCE REPORT. F. APPROVED OCCUPANCY PERMIT (FULL OR TEMPORARY) G. ALL LIEN RELEASES

APPLICABLE BUILDING CODES

APPLICABLE BUILDING 2019 CALIFORNIA BUILDING CODE (CBC) CODES: 2019 CALIFORNIA ELECTRICAL CODE (CEC) 2019CALIFORNIA PLUMBING CODE (CPC) 2019 CALIFORNIA FIRE CODE (CFC) 2019 GREEN BUILDING CODE 2019 CALIFORNIA ENERGY CODE

> AND ALL APPLICABLE FEDERAL, STATE, COUNTY, AND ALL LOCAL AMENDMENTS TO THE ABOVE CODE

VICINITY MAP



PROJECT DIRECTORY

OWNER: JOHN SIMENIC CONTACT: JOHN.SIMENIC@GMAIL.COM 15 RAMONA WAY 440.223.2620. SAN ANSELMO, CA 94960 **ARCHITECT: JOHN SIMENIC** CONTACT: JOHN.SIMENIC@GMAIL.COM

15 RAMONA WAY 440.223.2620. SAN ANSELMO, CA 94960 STRUCTURAL TBD CONTACT: TBD

ENGINEER: X **GEOTECHNICAL** MURRAY ENGINEERS **CONTACT:** ANDREW SCAVULLO ASCAVULLO@MURRAYENGINEERS **ENGINEER:** 409 4TH ST,

CIVIL DVC GROUP, INC. (DVC) CONTACT: DAN HUGHES, P.E. **ENGINEER:** 513 CENTER ST DAN@DVCGROUP.NET 707.775.8986 HEALDSBURG, CA 95448

GENERAL TBD CONTACT: TBD CONTRACTOR: X

SAN RAFAEL, CA 94901

PROJECT DESCRIPTION

CONSTRUCTION OF A NEW, 3 BED/2.5 BATH SINGLE-FAMILY HOME AT THE END OF HILL AVENUE IN FAIRFAX, CA

PROJECT INFORMATION AND CALCULATIONS | SHEET LIST

415.888.8952.

PROJECT NAME: SIMENIC RESIDENCE PROJECT TYPE: RESIDENTIAL NEW CONSTRUCTION PARCEL NUMBER: 002-214-01 **PROJECT ADDRESS:** TO BE DETERMINED TYPE OF CONSTRUCTION: TYPE V **SPRINKLER PROTECTION:** FULLY SPRINKLERED, DEFERRED SUBMITTAL **OCCUPANCY TYPE / USE:** R-3 SINGLE FAMILY RESIDENCE

ASSESSOR'S PARCEL NUMBERS: 002-214-01 ZONING DISTRICT: R5.5-7 NO. OCCUPIED FLOORS: NO. OF STORIES NO. OF BASEMENTS: AVG. LOT SLOPE: 6.23% SEE A100

WILDLAND URBAN INTERFACE:

FLOOR AREAS:

MAX. ALLOWABLE HEIGHT: 28'-6" **PROPOSED BLDG HEIGHT**: 28'-5-3/8" LOT AREA: 3,309SF

EXISTING

PROPOSED

139

BASEMENT	0	0
GARAGE	0	317
LEVEL 1	0	587
LEVEL 2	0	731
SUBTOTAL (MAIN HABITABLE)	0	1,318
PROJECT TOTAL	0	1,318SF + 317SF GAR
FLOOR AREA RATIOS: ALLOWED = .4 + 500SF GAR. 3,309SF X .4 = 1,323 SF	0	1,318SF HOUSE + 317SF GAR. FAR=.398
LOT COVERAGE RATIOS: MAX ALLOWED = 35% 3,309SF X .35 = 1,158 SF	0	1,066 SF .32

PERVIOUS VS. IMPERVIOUS:					
IMPERVIOUS	0SF / 3,309 SF =	= 0.0%	1,056SF / 3,309 SF = 32		
PERVIOUS			2,253SF / 3,309 SF = 689		
GRADING IN CUBIC YARDS:					
AREA	CUT	F	ILL	OFF-HAUL	
HOUSE/GARAGE	70	11		59	
SITE GRADING 81 1			80		

151

PARKING: 3 REQUIRED 1 OF WHICH IS TO BE COVERED PARKING SPACE SIZE = 9' X 19' PROPED: 3 TOTAL SPACES, 1 OF WHICH IS COVERED

TOTAL

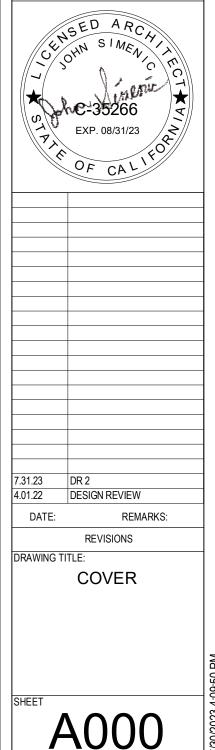
SETBACK:	REQUIRED	PROPOSED
FRONT YARD	25'-0" COMBINED FRONT AND REAR, BUT NO	FRONT = 6'-0"
REAR YARD	LESS THAN 6'-0"	REAR = 62'-10-1/2"
SIDE YARDS	15'-0" COMBINED, BUT NOT LESS THAN 10% AVG. WIDTH WHEN AVG LOT WIDTH < 50' WIDE	EAST: 5'-0" WEST: 10'-0"

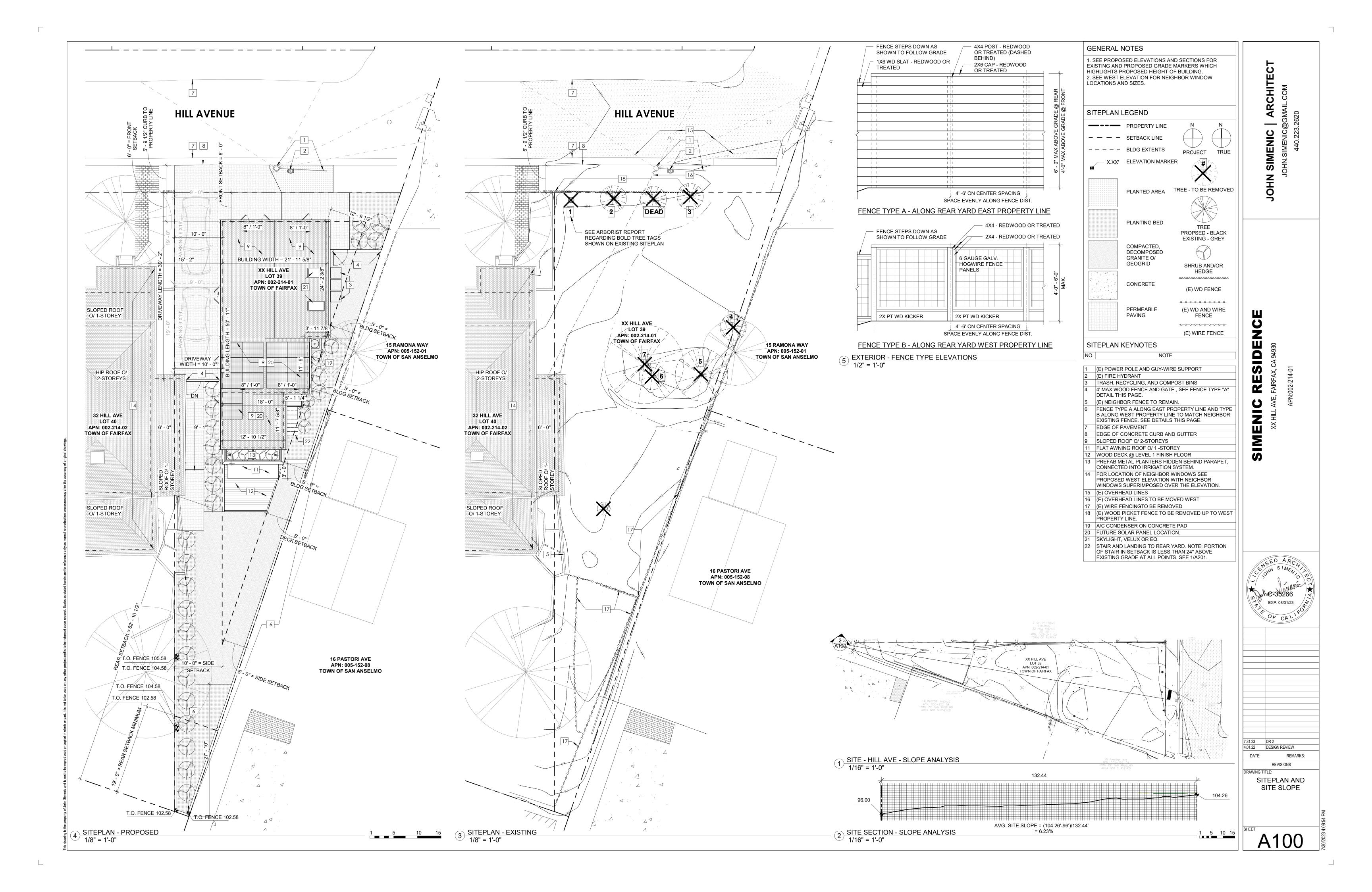
SIMENIC RESIDENCE

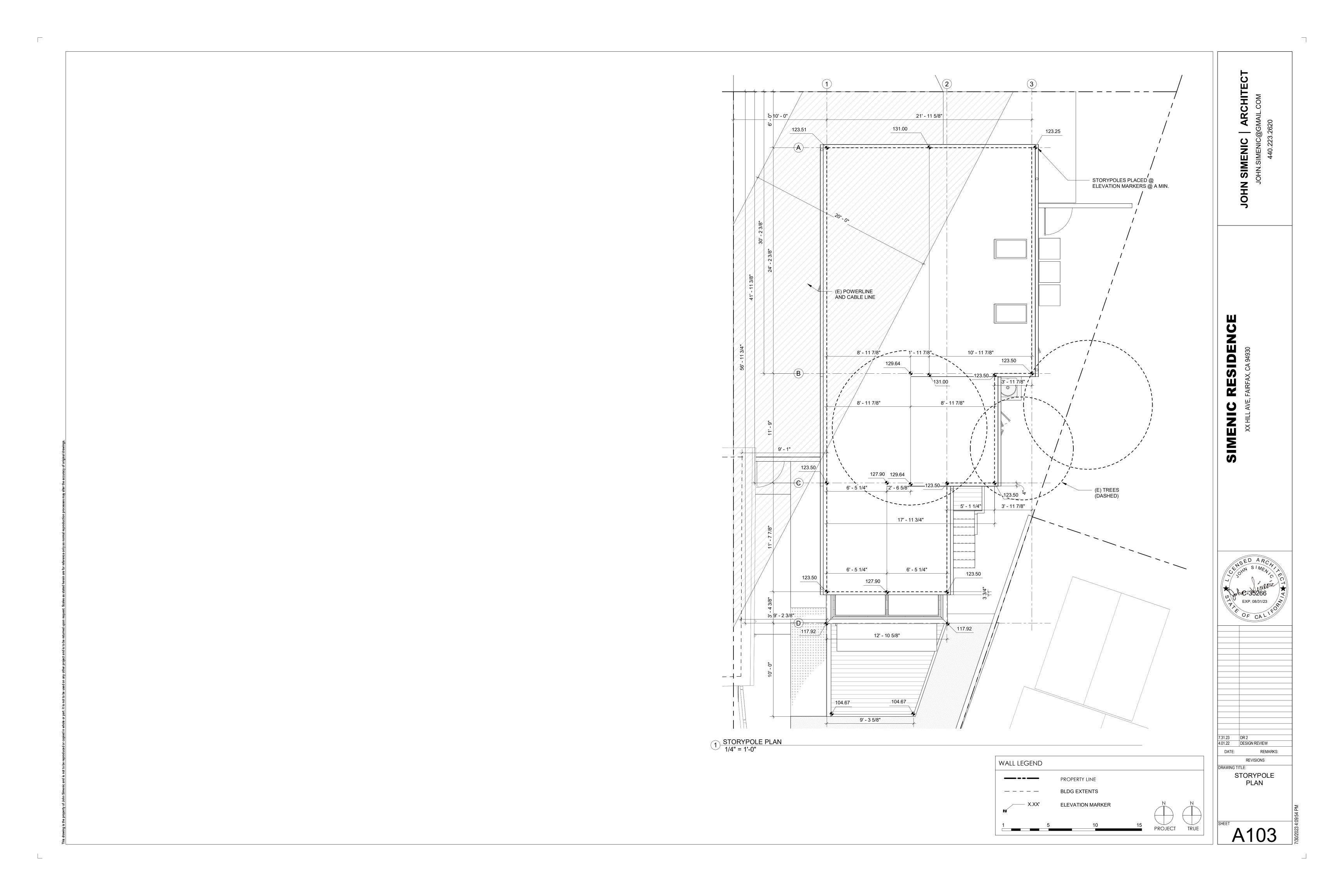
DR 2 07/31/23	DR 4.01.22	SHEET NUMBER	Sheet name
		A000	COVER
	ī	A001	CALGREEN CHECKLIST
		A100	SITEPLAN AND SITE SLOPE
		A101	SHADE/SHADOW STUDY
		A102	LANDSCAPE PLAN
		A103	STORYPOLE PLAN
		A110	FLOORPLANS
		A120	POWER AND DATA PLANS
		A130	REFLECTED CEILING PLANS
		A200	ELEVATIONS - NORTH AND SOUTH
		A201	ELEVATIONS - EAST AND WEST
		A202	ELEVATION - RENDERED NORTH
		A300	SECTIONS
		C1	COVERSHEET
		C2	GRADING AND DRAINAGE PLAN
		C3	EROSION CONTROL PLAN AND DETAILS
		C4	DETAILS
		SU-1	TOPOGRAPHIC SURVEY

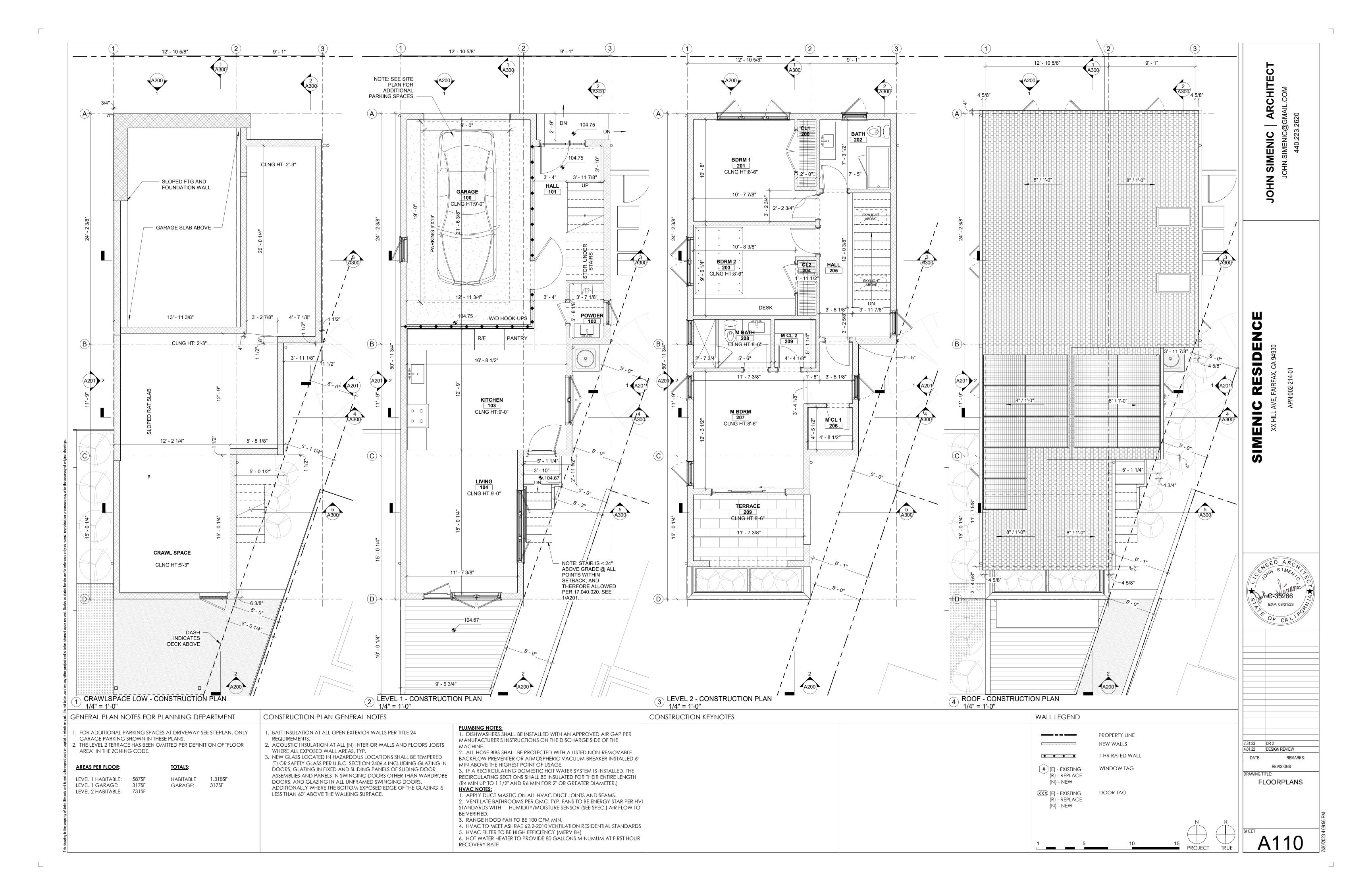
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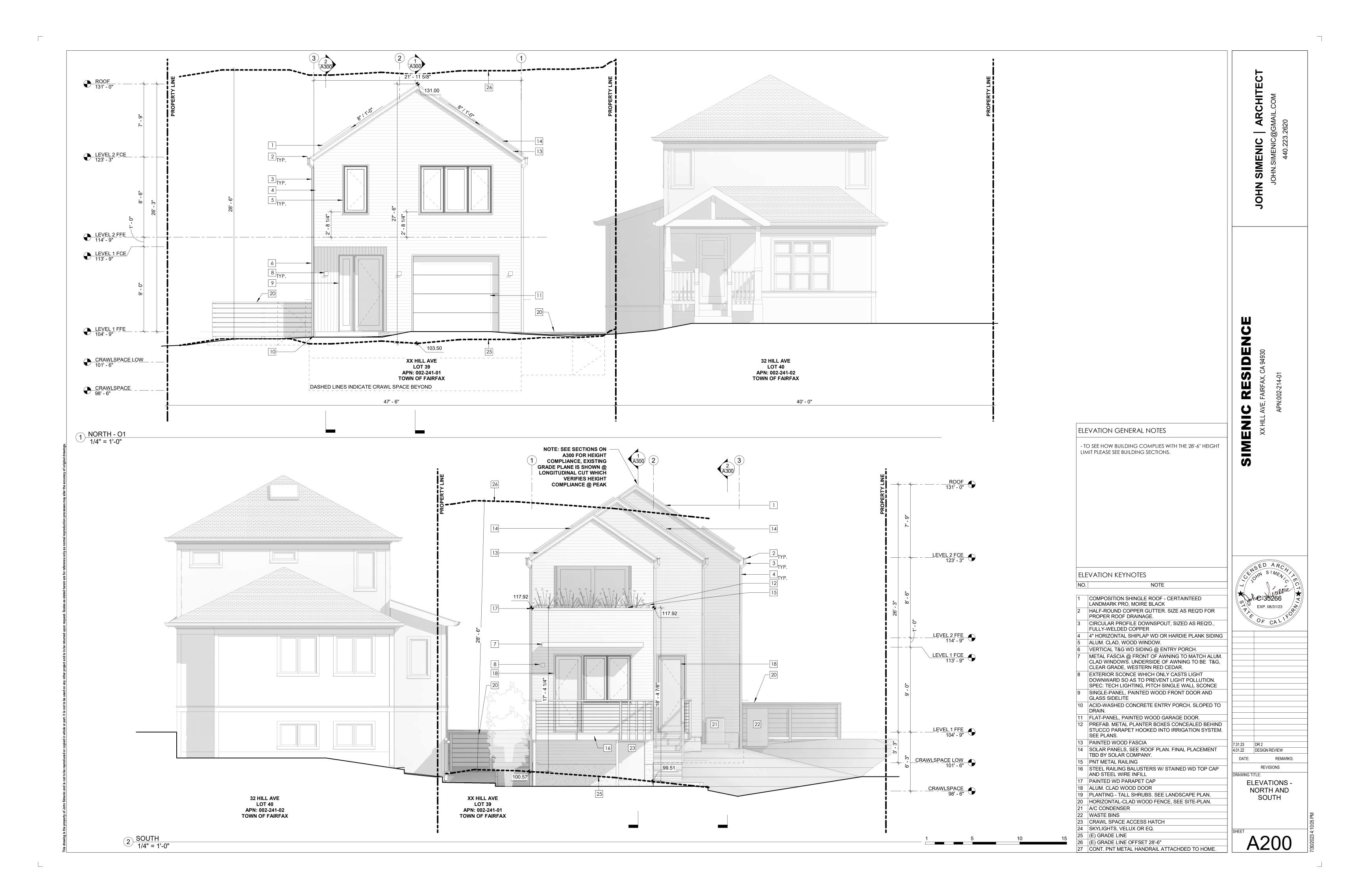
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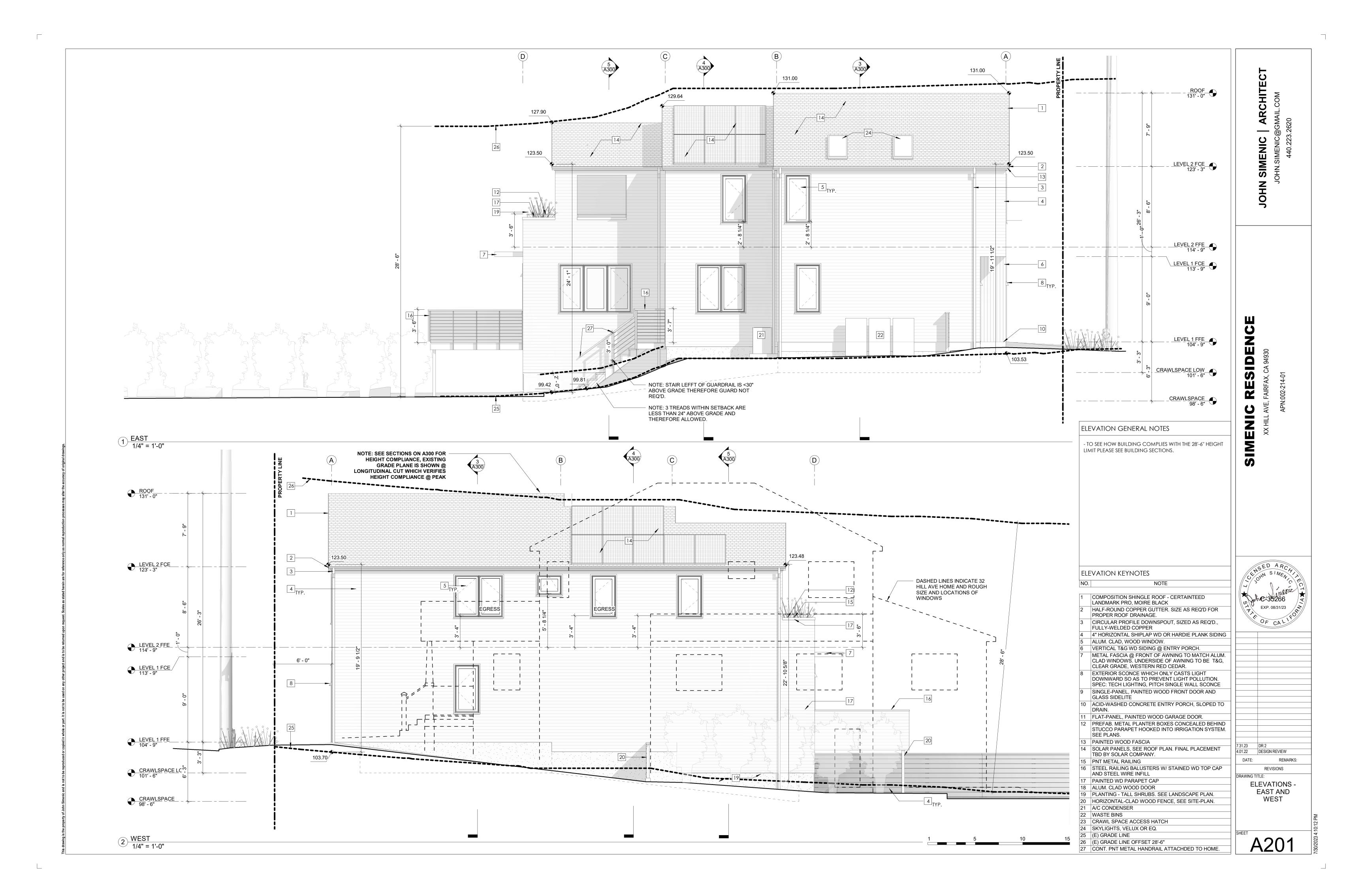














4.01.22 DESIGN REVIEW REVISIONS

ELEVATION -RENDERED NORTH

A202

ROOF 131' - 0" LEVEL 2 FCE 123' - 3" LEVEL 1 FCE 113' - 9" 104' - 9" CRAWLSPACE LOW 101' - 6" XX HILL AVE LOT 39 APN: 002-241-01 TOWN OF FAIRFAX CRAWLSPACE 98' - 6"







15 RAMONA WAY - WEST VIEW





32 HILL AVE - NORTH VIEW

VACANT PARCEL - APN:002-214-01: @ SOUTH END OF SITE LOOKING NORTH

32 HILL AVE - NORTHEAST VIEW

ROOF MATERIAL:

GUTTER MATERIAL: UNFINISHED, FULLY-WELDED COPPER GUTTERS AND DOWNSPOUTS

CERTAINTEED LANDMARK PRO, ASPHALT COMPOSITE SHINGLE COLOR: MOIRE BLACK



WINDOW EXTERIOR MATERIAL: ALUMINUM-CLAD WOOD WINDOWS WITH A POWDER-COATED BLACK FINISH.

MFR IS STILL TBD, MARVIN "EBONY" COLOR SHOWN FOR REFERENCE



SIDING MATERIAL: MFR: DELTA MILLWORKS MATERIAL: PREFINISHED MOJAVE THERMAL HEMLOCK, VG SMOOTH COLOR: DELTA BLACK ALTERNATE SIDING: HARDIE PLANK, 5.25" LAP SIDING, SMOOTH, PAINTED WITH #7 BELOW



SIDING MATERIAL: MFR: DELTA MILLWORKS MATERIAL: WESTERN RED CEDAR, VG SMOOTH, CLEAR FINISH COLOR: CLEAR



TRIM AND PAINTED WOOD: MFR: BENJAMIN MOORE COLOR: BLACK SATIN 2131-10

