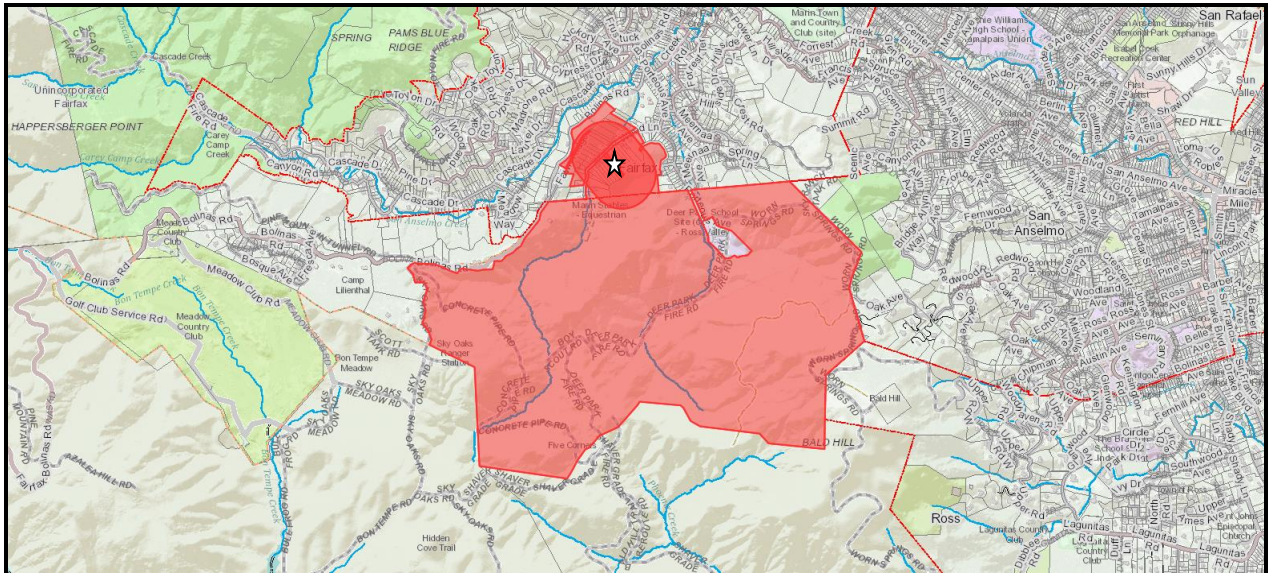


TOWN OF FAIRFAX STAFF REPORT

Department of Planning and Building Services

TO: Fairfax Planning Commission
DATE: January 11, 2024
FROM: Linda Neal, Principal Planner
LOCATION: 79 Wood Lane; APN # 002-062-03
ZONING: RS-6, Single-family Residential Single-family Zone
APPROVED PROJECT:
New single-family residence, detached garage/accessory dwelling unit (ADU)
PROJECT UNDER CONSTRUCTION:
Single-family residence with a junior accessory dwelling unit (JADU) on the second floor, an accessory dwelling unit (ADU) in the basement and a detached garage
ACTION: Project review for compliance with Resolution No. 2022-01, A Resolution of the Fairfax Planning Commission Conditionally Approving Application No. 21-17 for a Hill Area Residential Development Permit, Design Review Permit, Excavation Permit, Tree Removal Permit, and Combined Side-yard Setback and Retaining Wall Height Variance for a Residence at 79 Wood Lane.
APPLICANT: Coby Friedman
OWNER: Same as above
CEQA STATUS: Categorically exempt, § 15303(a) and (e).



79 WOOD LANE

DESCRIPTION

The January 2022 Planning Commission approval of this project granted a Hill Area Residential Development Permit, Design Review Permit, Excavation Permit, Tree

Removal Permit, Minimum and Combined Side-Yard Setback and a Retaining Wall Height Variance for a three bedroom, three and ½ bathroom, single-family residence with a detached combination 400 square-foot, two car garage and 500 square-foot accessory dwelling unit (ADU). The approved project included an elevator in the main residence accessing the 469 square-foot basement and second floor of the proposed 2,210 square foot residence. The basement was also to be accessible from the exterior of the structure and was to be used as a mechanical room for the residence heating/cooling system. The residence was also to have an interior stairway beginning on the first floor and accessing the second floor.

Prior to approving the permits listed above, the Commission reviewed the plan set dated 10/7/21 (Attachment B) and approved the permits based on the plan set and the expectation that the project would be built to conform to the approved plans.

BACKGROUND

The 22,150 square-foot site is level for the first approximately 92-feet and then slopes up at an average rate of 42% for the remaining approximately 330-feet.

Approximately the front eleven feet of the site is in Flood Zone X, an area that has a 0.2% chance of annual flood (i.e., 500-year flood zone). The approved project shows the house setback 12-feet back from the front property line, out of the flood zone. The Building Official has advised staff that the Wood Lane Area does not typically flood, unless the creek that runs west to east through the neighborhood until it joins the San Anselmo Creek is blocked by debris. Portions of the creek have been undergrounded.

On January 20, 2022, the Planning Commission approved a Hill Area Residential Development Permit, Design Review Permit, Excavation Permit, Tree Removal Permit, Minimum and Combined Side-yard Setback and Retaining Wall Height Variance for a 23-foot tall, three bedroom, three and one-half bathroom, 2,210 square-foot, single-family residence and a detached 400 square-foot, two-car garage with a 500 square-foot, accessory dwelling unit (ADU). The Planning Commission carefully addressed concerns of adjacent neighbors on the height, massing, and orientation of the structure to limit the visual and physical impacts on adjacent properties prior to approving the design review permit and made the required legal findings. All building permit submittals are required to be consistent with the Commission's approvals prior to building permit issuance and projects are expected to be constructed according to the submittal documents.

The building permit for the project was issued on August 4, 2022. Shortly after the permit was issued the Building Official discovered that the basement, which was supposed to have only 469 square-feet of basement area with 6-foot ceilings while the rest of the under-floor area was to be crawl space with overhead clearance of around eighteen inches, was excavated so that the entire underfloor area was excavated to the same depth (See original plan set page A4.1). The Building Department posted a red tag and stopped the project construction. The applicant's attorney filed an ex parte application on August 29, 2022 seeking a lifting of the Order to Stop Work. Through negotiations, the applicant agreed to work with the Building Official to reach agreement regarding the basement.

The applicant subsequently modified the subfloor so that the east and west sides of the subfloor areas have slightly higher finished elevations than the center portion of the basement but not high enough to comply with the Planning Commission approved project plans for the basement (Attachment B - see the building sections on page A4 of the approved plan set). No information was provided to the Department of Planning and Building Services on whether the change in the excavated basement area changed the excavation and fill amount approved by the Planning Commission on January 20, 2022, which was for the excavation of 130 cubic yards of material and the fill of 125 cubic yards of material. Work was allowed to resume by the Building Official when areas of the underfloor that were supposed to be crawlspaces were partially filled though not to the extent in the plans approved by the Planning Commission (Attachment B - page A4).

On June 5, 2023, the Building Official went to the site to perform a framing inspection and discovered that the project was not being constructed in accordance with the Planning Commission approved plans and approved building permit plans and he suspended the building permit and stopped work on the job. Shortly after that, the owner presented the revised plans proposing construction of the multiple unit building to the Building Department. Subsequently, the Building Official reached an agreement with the owner that would allow him to continue working on the portions of the project that, pursuant to new State laws regarding ADUs and JADUs, did not require Planning Commission review and approval and interior portions of the house that were shown in the approved plan set, while seeking approval from the Planning Commission for the unpermitted changes that had been made to the exterior of the structure. The agreement included submitting the required planning application to the Planning Department to legalize the changes made to the exterior of the structure. To date, the applicant has not submitted an application to the Planning Department seeking approval of the revisions to the approved plans, despite being told since August of 2022 that he is required to do so.

CHANGES TO THE PROJECT NOT REFLECTED IN THE APPROVED PLANS

1. The house has been shifted approximately three feet to the southwest, increasing the northeast setback of the structure from approximately 5-feet to approximately 8-feet and decreasing the southwest setback from approximately 15-feet to approximately 12-feet (further away from 75 Wood Lane and closer to 85 Wood Lane). The structure location change is depicted in the revised plan set received by the Building Official on August 9, 2022 (Attachment C).
2. The 210 square-foot front porch that ran the entire width of the first-floor front of the structure has been removed and been replaced with an approximately 91 square-foot, front entry addition (Attachment D – photograph of the front of the structure, September 2023).
3. The peaked, "Slate Gray" roof over the front porch has been replaced with an approximately 440 square-foot, second story, roof deck (Attachment D – photograph of the front of the structure under construction).
4. The 400 square-foot, two car garage/ADU structure has been eliminated. The revised plans show a two-car garage located 10-feet further south than the

approved garage site, maintaining a 30-foot setback from the house. However, measurements of the garage foundation in the field by staff revealed the structure foundation is only 14-feet in width and can accommodate only one parking space with some extra width possibly for storage so the foundation that has been constructed on the site does not match the location or size of the garage on the submitted revised plan set.

5. The elimination of the ADU attached to the garage has decreased the retaining wall maximum height from approximately 10-feet to approximately 4-feet.
6. The plans show a 180 square-foot deck at the ground level at the rear of the structure. In the attached June 7, 2023, e-mail to the Building Official the owner indicates that this deck will be removed from the final plans he will present to the Tax Assessor (Attachment E, page 2, item # 4, and last paragraph in red).
7. A portion of the top floor is proposed to be a JADU, resulting in the plan change to convert the approved rear upper floor deck to living space and the addition of an exterior access stairway to the rear of the house.
8. Additional living space is shown in the basement including an ADU and an office and half-bathroom for the main residence. To comply with the Building Code a window well has been constructed on the east side of the residential structure that projects out from the structure wall maintaining a 5-foot side setback from the east side property line.
9. A second driveway has been added to the northeast corner of the site that is not permitted. The Town Code only allows a second driveway by right into a property developed with multiple housing units if the two driveways into the site and the distance between any proposed driveway and the driveways on adjacent properties are separated by a distance not less than 40-feet. The second proposed driveway is only 24-feet from the existing driveway and requires an exception to the Town Code Driveway Standards which can only be granted by the Planning Commission through a variance and only if the required findings for a variance can be made (Town Code § 12.12.050 and §12.12.090).
10. The windows on the east side of the first floor have increased in number from four to five.
11. The windows on the east side of upper level have increased in number from two to five.
12. The window at the rear southeast corner of the first floor has been replaced with a sliding glass door to a rear ground level deck.
13. The ground floor of the west side of the structure was approved for four windows but the revised plans provided to the Building Official propose only three windows.

14. The approved plans for the upper floor of the west side of the building showed two windows and the revised plans provided to the Building Official now propose four windows.
15. Two clerestory windows have been added to the basement floor on the west side of the structure.
16. The window over the kitchen sink has been replaced with a bay window in the revised plans provided to the Building Official.
17. The approved Landscape plan, approved project plans set page A1, has two trees shown to be maintained in the area with the revised plan set provided to the Building Official shows a second driveway/parking space (Attachment C - unnumbered first page of the revisions plan set).

The set of plans that have been provided by the applicant to the Building Official depicting planned changes to the project (Attachment C) do not contain complete information. They do not show existing and proposed site topography, building elevations, finished floor elevations or ceiling height dimensions, complete room dimensions, revised excavation and fill information, information regarding retaining wall heights, revised grading and drainage plans, addendums to the geotechnical report and no drainage study/calculations to reflect the proposed changes.

Therefore, at this time, staff is unable to perform a thorough review of the project to determine compliance with the Resolution for approval, the Town Code, and the California Building Code. The changes above are ones we were able to identify based on a site visit and plans that are incomplete for both planning and building purposes.

Our review did not include an analysis of the interior modifications necessary to construct the proposed JADU or ADU because those are reviewed ministerially in accordance with State and Town Regulations.

The proposed exterior changes to the structure listed above are subject to review and approval by the Planning Commission because the project was granted required discretionary permits by the Planning Commission to facilitate its construction. The discretionary permits included a Hill Area Residential Development Permit, Design Review Permit, Excavation Permit, Tree Removal Permit and Minimum and Combined Side Yard Setback Variances and Retaining Wall Height Variance. The discretionary permits were granted based on the plans prepared by Laura Kehrlein, of Frederic C. Divine Associates, dated October 7, 2021, and approved by the adoption of Resolution No. 2022-01 in accordance with Town Code sections 17.072.020(A)(4) and (B) (Hill Area Residential Development Overlay Zone), 17.080.050(C), Building Site Requirements, 17.020.100, Public Hearing Notice (Design Review Permit), 12.20.080(A), Permit to Move Over 100 Cubic Yards; Required Findings for Approval, and Town Code Chapter 8.36, Trees, sections 8.26.030(B), Tree Removal or Alteration; Permit Required, and 8.36.055, Notice.

The January 20, 2022, staff report and attachments including the approved plans can be viewed on the Town website at www.townoffairfax.org under Planning Commission

public hearings, January 20, 2021, meeting, agenda item # 1 or by clicking on the following link:

<https://storage.googleapis.com/proudcity/fairfaxca/uploads/2022/01/Item-1-79-Wood-Ln.pdf>

DISCUSSION

The project construction is in violation of the conditions set forth in Resolution 2022-01 approving the project at 79 Wood Lane since the structure and garage locations and exterior designs have been changed from what was approved by the Planning Commission on January 20, 2022, by their adoption of that resolution. The applicant has failed to submit the required applications, fees, plans and reports to apply to have the Planning Commission consider, after holding a public hearing, modifying their previous decision and the original project approval.

Resolution 2022-01 approving the original project design and including the project original conditions of approval is attached to this report as Exhibit A. The resolution requires that the Planning Commission review and approve proposed changes to the approved project plans.

Amending a previously acted on Resolution requires the Commission to hold a public hearing and allow input from neighboring property owners on the revised design before taking action on a new resolution approving the proposed modifications to the previously approved project.

Town staff and the Town Attorney's Office have been involved with the unpermitted construction, both in and out of court, since August of 2022. In August of 2023, after the Building Official suspended the building permit, the property owner's attorney filed another writ seeking reinstatement of the permit. In addition, on September 7, 2023, the property owner filed an administrative appeal of the Building Official's suspension of his permit. On September 13, 2023, the Town Council met and heard the appeal. The Council upheld the Building Official's suspension of the building permit until such time as the property owner submits a completed application with accompanying plans and fees for a Planning Commission determination on the unpermitted construction and unilateral modifications to the approved plans.

At a hearing in Superior Court on October 6, 2023, the court allowed the property owner to proceed only with previously approved construction and found that the property owner is entitled to a noticed hearing prior to any further suspension of his permit. The parties will return to court on January 17, 2024, to report on the status of the issues.

RECOMMENDATION

Staff recommends the Planning Commission suspend approvals for application #20-17 for the project under construction at 79 Wood Lane by adopting Resolution No. 2024-02 immediately following this report, and continue this hearing to a date certain no earlier than the regular Planning Commission meeting scheduled for March 21, 2024. The property owner is directed to submit a completed application, appropriate plans, supporting documents and required fees for the modifications made and planned to be made to the approved plans at 79 Wood Lane, no later than February 7, 2024.

Alternatively, the Planning Commission could move to revoke application # 20-17 for the project under construction at 79 Wood Lane by adopting Resolution No. 2024-03 immediately following this report and setting forth the findings for revocation of the previously issued discretionary permits. This action would be appealable to the Town Council.

ATTACHMENTS

Resolution No. 2024-02 for suspension

Resolution 2024-03 for revocation

A – Resolution No. 2022-01

B – approved plans by Laura Kehrlein, Frederic C. Divine Associates, dated 10/7/21

C – incomplete revised plans received by the Building Official after the June 5, 2023, stop work order.

D – photo of the front of the building taken by Building Official

E – e-mail from Building Official to property owner memorializing what they agreed to in relation to the revised project plans prior to agreeing to lift the initial stop work order

RESOLUTION NO. 2024-02

A Resolution of The Fairfax Planning Commission Temporarily Suspending Planning Commission Resolution No. 2022-01 Including Approvals for a Hill Area Residential Development Permit, Design Review Permit, Excavation Permit, and Tree Removal Permit and a Minimum and Combined Side-yard Setback and Retaining Wall Height Variance for a Residence Located at 79 Wood Lane (Application No. 21-17) Until a Complete Application, Including Required Fees, is Submitted and Acted on by the Planning Commission at a Public Hearing to be Held on or Before May 16, 2024

WHEREAS, on January 20, 2022, the Planning Commission approved Resolution No. 2022-01 for a Hill Area Residential Development Permit, Design Review Permit, Excavation Permit, Tree Removal Permit, Minimum and Combined Side-yard Setback and Retaining Wall Height Variance for a 23-foot tall, three bedroom, three and one-half bathroom, 2,210 square-foot, single-family residence and a detached 400 square-foot, two-car garage with a 500 square-foot, accessory dwelling unit (ADU) for the property located at 79 Wood Lane (“Project”); and

WHEREAS, Resolution No. 2022-01 contained conditions of approval which included the following:

1. The architectural plans by Laura Kehrlein, Frederic C. Divine Associates, dated 10/7/21, the record of survey dated 9/2018, the site plan dated 11/10/21 and the erosion control plan dated 11/10/21 by ILS Associates, Inc. Civil Engineering and Land surveyors, the geotechnical report by Herzog Geotechnical Consulting Engineers dated 2/26/18 and the drainage analysis by ILS Associates Inc. Civil Engineering and Land Surveying dated 11/15/21, except as amended as follows:
 - a. The windows on the east and west sides of the structure shall be modified so that they are non-operable and feature obscured glass.

WHEREAS, in accordance with the plans. 469 square feet of basement was to be constructed beneath the structure with 8-foot ceilings, with the remainder of the area to be a crawl space of 30-inches; and

WHEREAS, on August 29, 2022 the Building Official issued a stop work order as the Project was not being constructed in accordance with the architectural plans of Laura Kehrlein, Frederic C. Divine Associates, dated 10/7/21, the record of survey dated 9/2018, the site plan dated 11/10/21 and the erosion control plan dated 11/10/21 by ILS Associates, Inc. Civil Engineering and Land surveyors, the geotechnical report by Herzog Geotechnical Consulting Engineers dated 2/26/18 and the drainage analysis by ILS Associates Inc. Civil Engineering and Land Surveying dated 11/15/21 (“Plans”); and

WHEREAS, applicant modified the subfloor and work was permitted to continue by the Building Official in accordance with the Planning Commission Resolution 2022-01; and

Resolution No. 2024-02

WHEREAS, on June 5, 2023, the Building Official was conducting a framing inspection and discovered the Project was not being constructed in accordance with the Planning Commission Resolution 2022-01; and

WHEREAS, the Building Official reached an agreement to allow applicant to continue working on the Accessory Dwelling Unit (“ADU”) and Junior Accessory Dwelling Unit (“JADU”) and the applicant would submitted an application to amend the approved Plans after which time the Planning Commission would hold a public hearing on the amendment of the entitlements; and

WHEREAS, to date the applicant has not submitted an application to amend the Project; and

WHEREAS, the Department of Planning and Building Services pursuant to Town Code Section 17.024.080, initiated revocation of Resolution 2022-01 (application 21-17) and land use entitlements related to the construction of the single-family residence and detached garage/accessory dwelling unit as a result of the Building Official determining the project was not being built as depicted in the approved building permit plans during an on-site inspection; and

WHEREAS, on January 11, 2024, the Planning Commission conducted a duly noticed public hearing to determine if the project at 79 Wood Lane is being constructed in compliance with the approved Project Plans, approved building permit plans, and the Planning Commission Resolution No. 2022-01; and

WHEREAS, after holding a public hearing on January 11, 2024, the Planning Commission determined that the construction occurring at 79 Wood Lane is not in compliance with the approved Project Plans and building permit plans and Planning Commission Resolution No. 2022-01; and

WHEREAS, the Planning Commission cannot determine whether or not the changes, which include, but may not be limited to, the size and locations of the residential structure and the garage, new exterior decks, stairs, and windows, a subgrade window well, inclusion of a second driveway and the removal of additional trees, that have been made to the Project comply with the applicable Town Code regulations without the submittal of a complete planning application including architectural plan revisions, addendums to the geotechnical and drainage engineering reports and plans, and a revised Tree Removal Permit; and

WHEREAS, in lieu of the revocation of the Resolution No. 2022-01 for failure to comply with the conditions of approval for the Project, the property owner or his legal representative, has expressed willingness to provide the Town with the required information and fees to allow the code required review and processing of the plan modifications to occur including the required duly noticed public hearing on the modifications to the Hill Area Residential Development Permit, the Design Review

Permit, the Excavation Permit, Required Variances and the Tree Removal Permit;

NOW, THEREFORE BE IT RESOLVED, the Planning Commission of the Town of Fairfax hereby temporarily suspends Resolution No. 2022-01 (application 21-17) for the Project located at 79 Wood Lane and orders that no work may proceed until such time as the Planning Commission holds a duly noticed public hearing on the revised plans. Said hearing shall be held by no later than May 16, 2024. The Planning Commission hereby requires the following:

1. Applicant must submit a complete application, including plans for the exterior changes that have been made, or intended to be made to the Project including the payment of fees, revised architectural plans, addendums to the geotechnical and drainage reports and a revised drainage plan by no later than March 5, 2024; and

2. The Department of Planning and Building Services and the Fairfax Town Engineers shall provide comments to applicant regarding the completeness of the application within 30 days of receipt of the application.

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 11th day of January 2024, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Chair Robert Jansen

Attest:

Jeffrey Beiswenger, Director of Planning and Building Services

RESOLUTION NO. 2024-03

A Resolution of The Fairfax Planning Commission Revoking Planning Commission Resolution No. 2022-01 Including Approvals for a Hill Area Residential Development Permit, Design Review Permit, Excavation Permit, and Tree Removal Permit and a Minimum and Combined Side-yard Setback and Retaining Wall Height Variance for a Residence Located at 79 Wood Lane (Application No. 21-17)

WHEREAS, on January 20, 2022, the Planning Commission approved Resolution No. 2022-01 for a Hill Area Residential Development Permit, Design Review Permit, Excavation Permit, Tree Removal Permit, Minimum and Combined Side-yard Setback and Retaining Wall Height Variance for a 23-foot tall, three bedroom, three and one-half bathroom, 2,210 square-foot, single-family residence and a detached 400 square-foot, two-car garage with a 500 square-foot, accessory dwelling unit (ADU) for the property located at 79 Wood Lane (“Project”); and

WHEREAS, Resolution No. 2022-01 contained conditions of approval which included the following:

1. The architectural plans by Laura Kehrlein, Frederic C. Divine Associates, dated 10/7/21, the record of survey dated 9/2018, the site plan dated 11/10/21 and the erosion control plan dated 11/10/21 by ILS Associates, Inc. Civil Engineering and Land surveyors, the geotechnical report by Herzog Geotechnical Consulting Engineers dated 2/26/18 and the drainage analysis by ILS Associates Inc. Civil Engineering and Land Surveying dated 11/15/21, except as amended as follows:
 - a. The windows on the east and west sides of the structure shall be modified so that they are non-operable and feature obscured glass.

WHEREAS, in accordance with the plans the 469-square-foot basement was to be constructed with 8-foot ceilings, with the remainder of the area to be a crawl space of 30-inches; and

WHEREAS, on August 29, 2022 the Building Official issued a stop work order as the Project was not being constructed in accordance with the architectural plans of Laura Kehrlein, Frederic C. Divine Associates, dated 10/7/21, the record of survey dated 9/2018, the site plan dated 11/10/21 and the erosion control plan dated 11/10/21 by ILS Associates, Inc. Civil Engineering and Land surveyors, the geotechnical report by Herzog Geotechnical Consulting Engineers dated 2/26/18 and the drainage analysis by ILS Associates Inc. Civil Engineering and Land Surveying dated 11/15/21 (“Plans”); and

WHEREAS, applicant modified the subfloor and work was permitted to continue by the Building Official in accordance with the Planning Commission Resolution 2022-01; and

WHEREAS, on June 5, 2023, the Building Official was conducting a framing inspection

Resolution No. 2024-03

and discovered the Project was not being constructed in accordance with the Planning Commission Resolution 2022-01; and

WHEREAS, the Building Official reached an agreement to allow applicant to continue working on the Accessory Dwelling Unit (“ADU”) and Junior Accessory Dwelling Unit (“JADU”) and the applicant would submitted an application to amend the approved Plans after which time the Planning Commission would hold a public hearing on the amendment of the entitlements; and

WHEREAS, to date the applicant has not submitted an application to amend the Project; and

WHEREAS, the Department of Planning and Building Services pursuant to Town Code Section 17.024.080, initiated revocation of Resolution 2022-01 (application 21-17) and land use entitlements related to the construction of the single-family residence and detached garage/accessory dwelling unit as a result of the Building Official determining the project was not being built as depicted in the approved building permit plans during an on-site inspection; and

WHEREAS, on January 11, 2024, the Planning Commission conducted a duly noticed public hearing to determine if the project at 79 Wood Lane is being constructed in compliance with the approved Project Plans, approved building permit plans, and the Planning Commission Resolution No. 2022-01; and

WHEREAS, after holding a public hearing on January 11, 2024, the Planning Commission determined that the construction occurring at 79 Wood Lane is not in compliance with the approved Project Plans and building permit plans and Planning Commission Resolution No. 2022-01; and

WHEREAS, Town Code Section 17.024.090 (D) states that “[t]here is or has been a violation of, or failure to observe or comply with, the terms or conditions of the permit, or the use has been conducted in violation of the provisions of this title, law or regulation” is a ground for revocation of any zoning permit, conditional use permit or other permit; and

NOW, THEREFORE BE IT RESOLVED,

1. The findings and determinations reflected above are true and correct, and incorporated by this reference herein as the findings, cause and foundation for the action taken by this Resolution.

2. That the Planning Commission of the Town of Fairfax hereby Revokes Resolution No. 2022-01 (application 21-17) for a Hill Area Residential Development Permit, Design Review Permit, Excavation Permit, and Tree Removal Permit and a Minimum and Combined Side-yard Setback and Retaining Wall Height Variance for the Project located at 79 Wood Lane for the failure to comply with the conditions of

Resolution No. 2022-01, including but not limited to Condition 1.

3. Pursuant to Town Code Section 17.024.120 Planning Commission's decision to revoke Resolution No. 2022-01 may be appealed to Town Council **within ten (10) days** of this decision in compliance with Town Code Chapter 17.036.

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 11th day of January 2024, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Chair Robert Jansen

Attest:

Jeffrey Beiswenger, Director of Planning and Building Services

RESOLUTION NO. 2022-01

A Resolution of The Fairfax Planning Commission Conditionally Approving Application No. 21-17 for a Hill Area Residential Development Permit, Design Review Permit, Excavation Permit, and Tree Removal Permit and a Minimum and Combined Side-yard Setback and Retaining Wall Height Variance for a Residence at 79 Wood Lane

WHEREAS, the Town of Fairfax received an application from Coby Friedman and the Jacob Friedman Trust to build a two- story, 2,639 square-foot, two-story structure (house and accessory dwelling unit) with a partially below-ground basement and a 450 square-foot, one car detached garage on July 6, 2021; and

WHEREAS, after holding a duly noticed public hearing on August 19, 2021, on the project plans and design which included a main structure that reached 28 feet in height, the Commission continued the hearing and gave the applicant direction to decrease the height of the structure and to make other design changes to the project plans; and

WHEREAS, after holding a second hearing on a revised project for a 2,210 square foot residence that was reduced to approximately 23 feet in height with a detached 900 square foot two car garage/ADU on January 20, 2022, the Planning Commission determined that the modified project complies with the Hill Area Residential Development Overlay Ordinance, the Design Review Ordinance and the Excavation Ordinance and that findings can be made to grant the requested Minimum and Combined Side Yard Setback and Retaining Wall Height Variances- and the Tree Removal Permit; and

WHEREAS, the Commission has made the following findings:

The project is consistent with the 2010-2030 Fairfax General Plan as follows:

Policy LU-1.2.3: New and renewed development shall be designed and located to minimize the visual mass. The Town will require exterior materials and colors that blend the exterior appearance of structures with the surrounding natural landscape, allowing for architectural diversity.

Policy LU-4.1.4: New and renewed development shall be designed to minimize run-off in a manner that does not cause undue hardship on neighboring properties.

Policy LU-7.1.5: New and renewed residential development shall preserve and enhance the existing character of the Town's neighborhoods in diversity, architectural character, size, and mass.

Policy LU-7.2.2: to the extent feasible natural features including the existing grade, mature trees and vegetation shall be preserved for new and renewed development.

ATTACHMENT A

Hill Area Residential Development (Town Code § 17.072.110)

1. The proposed development is consistent with the General Plan (see above) and consistent with the purpose and intent of the Zoning Ordinance, Title 17, of the Fairfax Town Code.
2. The site planning preserves identified natural features as much as possible while also complying with other agency and department regulations.
3. Based on the soils report findings, the site can be developed without geologic, hydrologic or seismic hazards;
4. Vehicular access and parking are adequate.
5. The proposed development harmonizes with the surrounding residential development, meets the design review criteria and does not result in the deterioration of significant view corridors.

Design Review (Town Code § 17.020.040)

The craftsman architecture, with the second story stepped back from the street façade and the large porch at the front, subject to the minor window changes to the east and west sides of the structure included as a condition below (modifying the windows on the east and west sides of the structure with clerestory windows/obscured glass windows) complies with the Design Review Criteria set forth in Town Code § 17.020.040.

Excavation Permit (Town Code § 12.20.080(B)(1 through 7)

The excavation permit will result in the excavation of 130 cubic yards of material, the filling of 125 cubic yards of material, and the off-haul of five cubic yards of material . These amounts are the minimum necessary to allow development of the site while also protecting the site and the neighboring properties from increased drainage and soil stability impacts. The excavation permit can be approved based on the following findings:

The health, welfare and safety of the public will not be adversely affected by the project;

1. Adjacent properties are adequately protected by project investigation and design from geologic hazards as a result of the work.
2. Adjacent properties are adequately protected by project design from drainage and erosion problems as a result of the work.
3. The amount of excavation or fill proposed is not more than is required to allow the property owner substantial use of his or her property.

4. The visual and scenic enjoyment of the area by others will not be adversely affected by the project more than is necessary.
5. Natural landscaping will not removed by the project more than is necessary.
6. Town Code § 17.072.090(C)(4) prohibits initial grading during the raining season from October 1st through April 1st. Therefore, the time of year during which construction will take place is such that work will not result in excessive siltation from storm runoff nor prolonged exposure of unstable excavated slopes.

Minimum and Combined Side-Yard Setback Variance (Town Code § 17.028.070)

1. The narrow 50-foot width of the site, the small amount of level site area at the front of the property and the steep 42% slope of the rear of the site, are the site features that, if the combined 20 foot side yard setback and the prohibition of parking in the side setbacks were strictly enforced, would deprive the applicant of privileges enjoyed by other property owners in the vicinity and under identical zone classification (RS 6).
2. There are other properties in the vicinity with residences and parking and structures located within the required minimum and combined side-yard setback area and the proposed garage and house individually meet the both the minimum and combined required side-yard setbacks. Therefore, the granting of this variance will not be a grant of special privilege.
3. The strict application of the combined side-yard setback would result in unreasonable hardship for the applicant.
4. The granting of the variance will not be detrimental to the public welfare or injurious to other property in the vicinity in which the property is situated.

Tree Removal

The trees proposed for removal (one apple tree and one olive tree) are in compliance with all the considerations listed in Town Code 8.36.060(B)(1 through 7) of the Tree Ordinance, Town Code Chapter 8.36. The heritage Live Oak tree at the northwest corner of the site is to be retained.

WHEREAS, the Commission has approved the project subject to the applicant's compliance with the following conditions:

The project is approved based on the following plans and reports:

1. The architectural plans by Laura Kehrlein, Frederic C. Divine Associates, dated 10/7/21, the record of survey dated 9/2018, the site plan dated 11/10/21 and the

erosion control plan dated 11/10/21 by ILS Associates, Inc. Civil Engineering and Land surveyors, the geotechnical report by Herzog Geotechnical Consulting Engineers dated 2/26/18 and the drainage analysis by ILS Associates Inc. Civil Engineering and Land Surveying dated 11/15/21, except as amended as follows:

- a. The windows on the east and west sides of the structure shall be modified so that they are non-operable and feature obscured glass.
2. Prior to issuance of any of the building permits for the project the applicant or his assigns shall:
 - a) Submit an amended construction plan to the Public Works Department for their approval. The amended plan shall include but is not limited to the following:
 - I. Construction delivery routes approved by the Department of Public Works.
 - II. Construction schedule (deliveries, worker hours, etc.)
 - III. Notification to area residents
 - IV. Emergency access routes
 - V. Construction worker staging area
 3. The applicant shall prepare, and file with the Public Works Director, a video of the roadway conditions on the public construction delivery routes (routes to be pre-approved by Public Works Director).
 4. Submit a cash deposit, bond, or letter of credit to the Town in an amount that will cover the cost of grading, weatherization, and repair of possible damage to public roadways. The applicant shall submit contractor's estimates for any grading, site weatherization and improvement plan for approval by the Town Engineer. Upon approval of the contract costs, the applicant shall submit a cash deposit, bond or letter of credit equaling 100% of the estimated construction costs.
 5. The foundation and retaining elements shall be designed by a structural engineer certified as such in the state of California. Plans and calculations of the foundation and retaining elements shall be stamped and signed by the structural engineer and submitted to the satisfaction of the Town Structural Engineer.
 6. The grading, foundation, retaining, and drainage elements shall also be stamped and signed by the project geotechnical engineer as conforming to the recommendations made by the project Geotechnical Engineer.
 7. Prior to submittal of the building permit plans, the applicant shall secure written approval from the Ross Valley Fire Authority, Marin Municipal Water District and the Ross Valley Sanitary District noting the development conformance with their recommendations.
 8. Submit 3 copies of the recorded record of survey with the building permit plans.

9. All retaining walls that are visible from the street and are constructed of concrete shall be heavily textured or colorized in a manner approved by the planning staff prior to issuance of the building permit. This condition is intended to mitigate the visual impact of the proposed walls.
10. Prior to the removal of any trees not approved by the Planning Commission through this action, the applicant shall secure a tree cutting permit, if required, from the Fairfax Tree Committee prior to removal of any on-site trees subject to a permit under Town Code Chapter 8.36. To further minimize impacts on trees and significant vegetation, the applicant shall submit plans for any utility installation (including sewer, water and drainage) which incorporates the services of an ISA certified arborist to prune and treat trees having roots 2 inches or more in diameter that are disturbed during the construction, excavation or trenching operations. Tree root protection measures may include meandering the line, check dams, rip rap, hand trenching, soil evaluation and diversion dams.
11. During the construction process the following shall be required:
 - a) The geotechnical engineer and the project arborist shall be on-site during the grading process and both shall submit written certification to the Town Staff that the grading and tree protection measures have been completed as recommended prior to installation of foundation and/or retaining forms and drainage improvements, piers and supply lines.
 - b) Prior to the concrete form inspection by the building official, the geotechnical and structural engineers shall field check the forms of the foundations and retaining elements and provide written certification to the Town staff that the work to this point has been completed in conformance with their recommendations and the approved building plans.
 - c) The Building Official shall field check the concrete forms prior to the pour.
 - d) All construction-related vehicles including equipment delivery, cement trucks and construction materials shall always be situated off the travel lane of the adjacent public right(s)-of-way. This condition may be waived by the Building Official on a case-by-case basis with prior notification from the project sponsor.
 - e) Any proposed temporary closures of a public right-of-way shall require prior approval by the Fairfax Police Department and any necessary traffic control, signage or public notification shall be the responsibility of the applicant or his/her assigns. Any violation of this provision will result in a stop work order being placed on the property and issuance of a citation.
12. Prior to issuance of an occupancy permit the following shall be completed:
 - a) The geotechnical engineer shall field check the completed project and submit

written certification to the Town Staff that the foundation, retaining, grading and drainage elements have been installed in conformance with the approved building plans and the recommendations of the soils report. Additionally, the project engineer shall review the construction schedule and plans at each phase of the project construction to determine the best order for each phase to occur including the hillside retention/drainage phases.

- b) The Planning Department and Town Engineer shall field check the completed project to verify that all and planning commission conditions and required engineering improvements have been complied including installation of landscaping and irrigation prior to issuance of the certificate of occupancy. The Planning Department and the Town Engineer shall also review the construction schedule and plans at each phase of the project construction to determine the best order for each phase to occur including the hillside retention/drainage phases.
- 13. Excavation shall not occur between October 1st and April 1st of any year. The Town Engineer has the authority to waive this condition depending upon the weather.
- 14. The roadways shall be kept free of dust, gravel, and other construction materials by sweeping them, daily, if necessary.
- 15. Any changes, modifications, additions, or alterations made to the approved set of plans will require a modification of Application # 21-17. Modifications that do not significantly change the project, the project design or the approved discretionary permits *may* be approved by the Planning Director. Any construction based on job plans that have been altered without the benefit of an approved modification of Application 21-17 will result in the job being immediately stopped and red tagged.
- 16. Any damages to the public portions of Pacheco Avenue, Bolinas Road, Porteous Avenue or Wood Lane or other public roadway used to access the site resulting from construction activities shall be the responsibility of the property owner.
- 17. The applicant and its heirs, successors, and assigns shall, at its sole cost and expense, defend with counsel selected by the Town, indemnify, protect, release, and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council or Planning Director or any other department or agency of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney

fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel. If the parties cannot reach agreement, the Town may select its own legal counsel and the applicant agrees to pay directly, or timely reimburse on a monthly basis, the Town for all such court costs, attorney fees, and time referenced herein, provided, however, that the applicant's duty in this regard shall be subject to the Town's promptly notifying the applicant of any said claim, action, or proceeding.

18. The applicant shall comply with all applicable local, county, state and federal laws and regulations. Local ordinances which must be complied with include, but are not limited to: the Noise Ordinance, Chapter 8.20, Polystyrene Foam, Degradable and Recyclable Food Packaging, Chapter 8.16, Garbage and Rubbish Disposal, Chapter 8.08, Urban Runoff Pollution Prevention, Chapter 8.32 and the Americans with Disabilities Act and Best Management Practices for Stormwater Pollution Prevention.
19. Conditions placed upon the project by outside agencies, Town department or by the Town Engineer may be eliminated or amended with that agency's, department's or the Town Engineer's written notification to the Planning Department prior to issuance of the building permit.
20. The building permit plans shall be reviewed and approved by the Town Engineer, at the expense of the applicant, prior to issuance of the building permit. The project shall be inspected by the Town Engineer prior to issuance of the occupancy permit for the residential structure for compliance with the engineering plans.

Ross Valley Fire Department

21. All vegetation and construction materials are to be maintained away from the residence during construction,
22. The project requires installation of a fire sprinkler system that complies with the National Fire Protection Association regulation 13-D and local standards. The system will require a permit from the Fire Department and the submittal of plans and specifications for a system submitted by an individual or firm licensed to design and/or design-build sprinkler systems.
23. The property is located within the Wildland Urban Interface Area for Fairfax and the new construction must comply with Chapter 7A of the California Building Code or equivalent.

24. All smoke detectors in the residence shall be provided with AC power and be interconnected for simultaneous alarm. Detectors shall be located in each sleeping room, outside of each sleeping room in a central location in the corridor and over the center of all stairways with a minimum of 1 detector on each story of the occupied portion of the residence.
25. Carbon monoxide alarms shall be provided in existing dwellings when a permit is required for alterations, repairs, or addition and the cost of the permit exceeds \$1,000.00. Carbon monoxide alarms shall be located outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of the dwelling, including basements.
26. Address numbers at least 4 inches tall must be in place adjacent to the front door. If not clearly visible from the street, additional numbers must be placed in location that is visible from the street. The numbers must be internally illuminated or illuminated by and adjacent light controlled by a photocell that can be switched off only by a breaker so it will remain illuminated all night.
27. Alternative materials or methods may be proposed for any of the above conditions in accordance with Section 104.9 of the Fire Code.
28. All approved alternatives requests, and their supporting documentation, shall be included in the plan sets submitted for final approval by the Fire Department.

Marin Municipal Water District (MMWD)

29. A copy of the building permit must be provided to the district along with the required applications and fees.
30. The foundation must be completed within 120 days of the date of application.
31. All indoor and outdoor requirements or District Code Title 13, Water Conservation must be complied with.
32. Any landscaping plans must be reviewed and approved by the District.
33. Backflow prevention requirements must be met.
34. Ordinance 420., requiring installation of grey water recycling system when practicable, must be incorporated into the project building permit plans or an exemption letter from the District must be provided to the Town.
35. All the District's rules and regulations if effect at the time service is requested must be complied with.

Ross Valley Sanitary District (RVSD)

36. A sewer connection permit and a side sewer connection permit are required for all work outside the new building footprint.
37. Fees will include sewer capacity charges as well as permit fees.
38. Test the sewer lateral(s) from the outer face of the building to the connection at the existing sewer main, in accordance with RVSD Ordinance 100 and Standards.
39. Include a sewer cleanout and backwater protection device within 2-feet of the building foundation, the Ross Valley Sanitary Standard Notes shall be shown and are found in Subsection L of Section 3 of the Design and Construction Standards and demonstrate that all materials used in the construction of the sewer improvements are from the approved materials list.
40. A hold will be placed on the property when the building permit is issued and will not be released for occupancy until the District permit and sewer requirements have been fulfilled.
41. A Certificate of Compliance for the lateral must be obtained from the RVSD prior to the project final inspection by the Fairfax Building Department.

Fairfax Public Works Department

42. All large trucks with more than 2 axles accessing the site for construction will be limited daily to the hours between 9 AM to 3 PM.
43. All driveway improvements shall be completed and be signed off by the Building Official and Public Works Manager before construction begins on the house.
44. Complete road closures will be limited to concrete pours and steel placement and will be coordinated with the Fairfax Police Department and Ross Valley Fire Department.
45. A detailed construction management plan must be submitted with the building permit application that includes construction delivery routes, construction schedule (deliveries, worker hours, etc.), notification to area residents, emergency access and egress routes and proposed employee parking locations during construction and be approved by the Department of Public Works.
46. The applicant shall prepare, and file with the Public Works Director, a video of the roadway conditions on the construction delivery routes.
47. A bond will be submitted prior to issuance of the building permit in an amount that will cover the cost of grading, weatherization and repair of possible roadway

damage in an amount equaling 100% of the estimated construction costs and pay for the Town Engineer's/Plan Checker's time to review and confirm the contractor's estimate.

48. A four foot wide sidewalk shall be installed along the entire property frontage as part of the project and shall be inspected and approved by the Building Official/Public Works Director prior to the project final inspection.

49. Town Engineer

50. The Town Engineer shall review the final, stamped and signed project Civil and Structural plans and the project Civil Engineer shall provide a letter certifying that the site grading and drainage improvements have been installed per the site "drainage" plan designed by ILS Associates, Inc. dated 11/10/21 prior to the project final inspection.

51. All the exterior fixtures must be dark sky compliant (fully shielded and emit no light above the horizontal plane with no sag or drop lenses, side light panels or uplight panels) as well as compliance with color temperature to minimize blue rich lighting. The lighting plan shall be submitted with the building permit application and be approved by the Planning Department prior to issuance of the project building permit. The lighting shall not emit direct offsite illumination and shall be the minimum necessary for safety.

Miscellaneous

52. The surveyor shall mark the location of all the property lines in the field prior to the start of construction.
53. A drainage system maintenance agreement including a system location plan and required maintenance schedule shall be approved by the Town Engineer and then be recorded at the Marin County Recorder's Office setting forth the required maintenance schedule to ensure the drainage system continues to function as designed. A copy shall be provided to the Town prior to issuance of the building permit.
54. An arborist report that includes tree protection during construction measures shall be submitted with the building permit application for approval by the Planning Director and the measures are conditions of approval for this project and must be in place, inspected and approved by the arborist with verification in writing to the Town, prior to the start of construction.
55. If the existing eastern and western side property line fences are damaged or need to be removed during construction, the owner shall replace the fences at his own cost prior to the project final inspection. The side fences or combination fence/wall structures shall be no more than six feet above the lowest finished

grade on either side of each fence unless a fence height variance is obtained from the Planning Commission for a taller fence or fence/wall combination first. The design of the fences shall be agreed upon by both the neighbors at 75 and 85 Wood Lane and the owner of 79 Wood Lane to maximum the privacy for the neighbors yards while limiting the shade cast by the fences if so desired by the neighbor. If agreement cannot be reached between the applicant and the neighbors on the design of the fences, the applicant shall submit the proposed plan(s) with a minimum \$427 design review (color change) fee and the final fence design will be reviewed and acted upon by the Planning Commission.

56. The building permit plans shall include details to incorporate the required infrastructure for the solar power and battery back-up systems the applicant indicated will be part of the project at the January 20, 2022 Planning Commission meeting in addition to the water heater and furnace locations.

NOW, THEREFORE BE IT RESOLVED, the Planning Commission of the Town of Fairfax hereby finds and determines as follows:

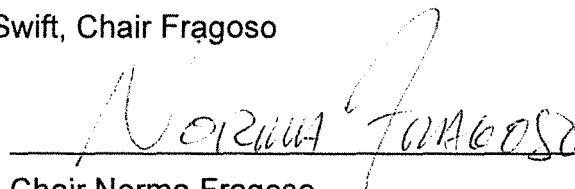
The approval of the Hill Area Residential Development, Design Review Permit, Excavation and Tree Removal permits and the finding have been made to grant the requested minimum and combined side setback variances to maintain a combined side yard setback of ten feet and to allow the guest parking space to be located within the required western side yard setback. Therefore, the project is in conformance with the 2010 – 2030 Fairfax General Plan, the Fairfax Town Code and the Fairfax Zoning Ordinance, Town Code Title 17; and

Construction of the project can occur without causing significant impacts on neighboring residences and the environment.

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 20th day of January, 2022 by the following vote:

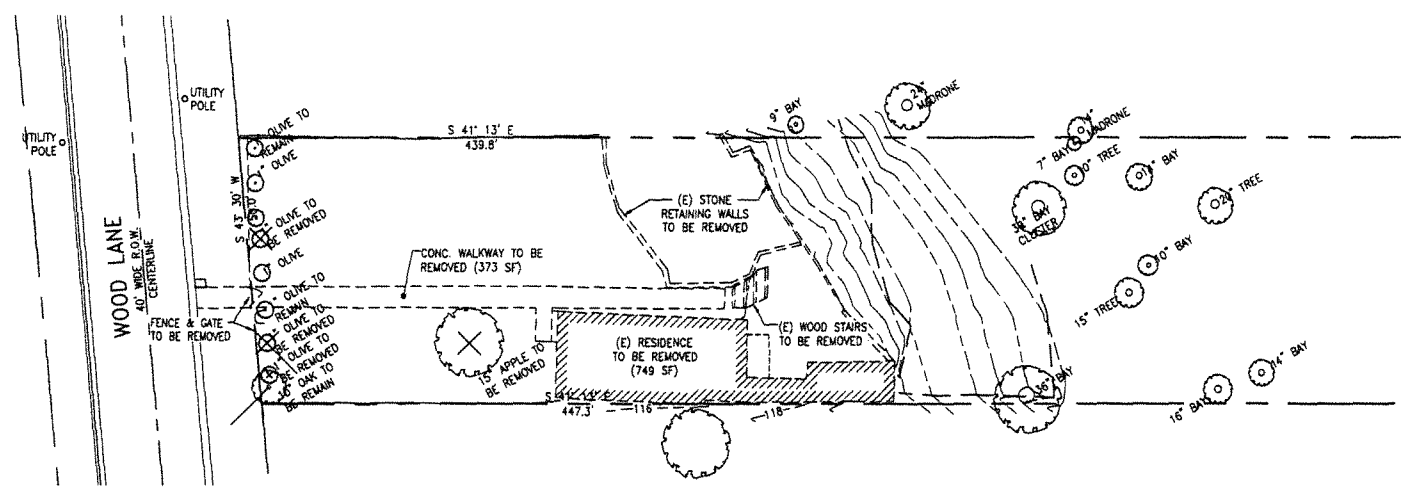
AYES: Green, Jansen, Kelly, Newton, Swift, Chair Fragoso

NOES: None


Chair Norma Fragoso

Attest:


Linda Neal, Principal Planner



3 SITE DEMOLITION PLAN
 A1
 SCALE: 1/16" = 1'-0"
 NORTH

PROJECT DATA

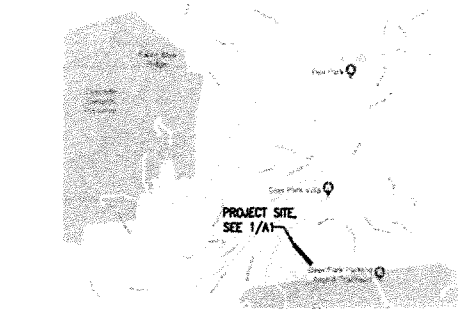
ASSESSORS PARCEL NUMBER	002-062-03
ZONING	RS-6 - SINGLE FAMILY RESIDENTIAL
OCCUPANCY	R-3 - RESIDENTIAL
CONSTRUCTION TYPE	TYPE VB - SPRINKLERED
SITE AREA (FROM ASSESSOR RECORDS)	22,150 SF
AVERAGE SLOPE (FROM MARIN MAP):	42.13 %
FLOOR AREA - MAIN RESIDENCE	
LOWER FLOOR	1,415 SF
UPPER FLOOR	795 SF
TOTAL	2,210 SF
FLOOR AREA - ACCESSORY DWELLING UNIT	
UPPER FLOOR	500 SF
FLOOR AREA - ADDITIONAL SPACES	
BASEMENT AT MAIN RESIDENCE	469 SF
GARAGE	400 SF
FLOOR AREA RATIO PROPOSED	
2,210 SF + 500 SF = 12.23 %	
22,150 SF	
FLOOR AREA ALLOWED	
22,150 SF x 0.40 = 8,860 (TOWN CODE MAX. 3,500)	
LOT COVERAGE	
HOUSE	1,415 SF
GARAGE/ADU	900 SF
PORCH/ STAIRS	238 SF
TOTAL	2,553 SF
LOT COVERAGE PROPOSED	
2,553 SF = 11.53 %	
22,150 SF	
LOT COVERAGE ALLOWED	
22,150 SF x 0.35 = 7,752 SF	
BUILDING HEIGHT PROPOSED	
23'-2"	
BUILDING HEIGHT ALLOWED	
28'-6"	

SCOPE OF WORK

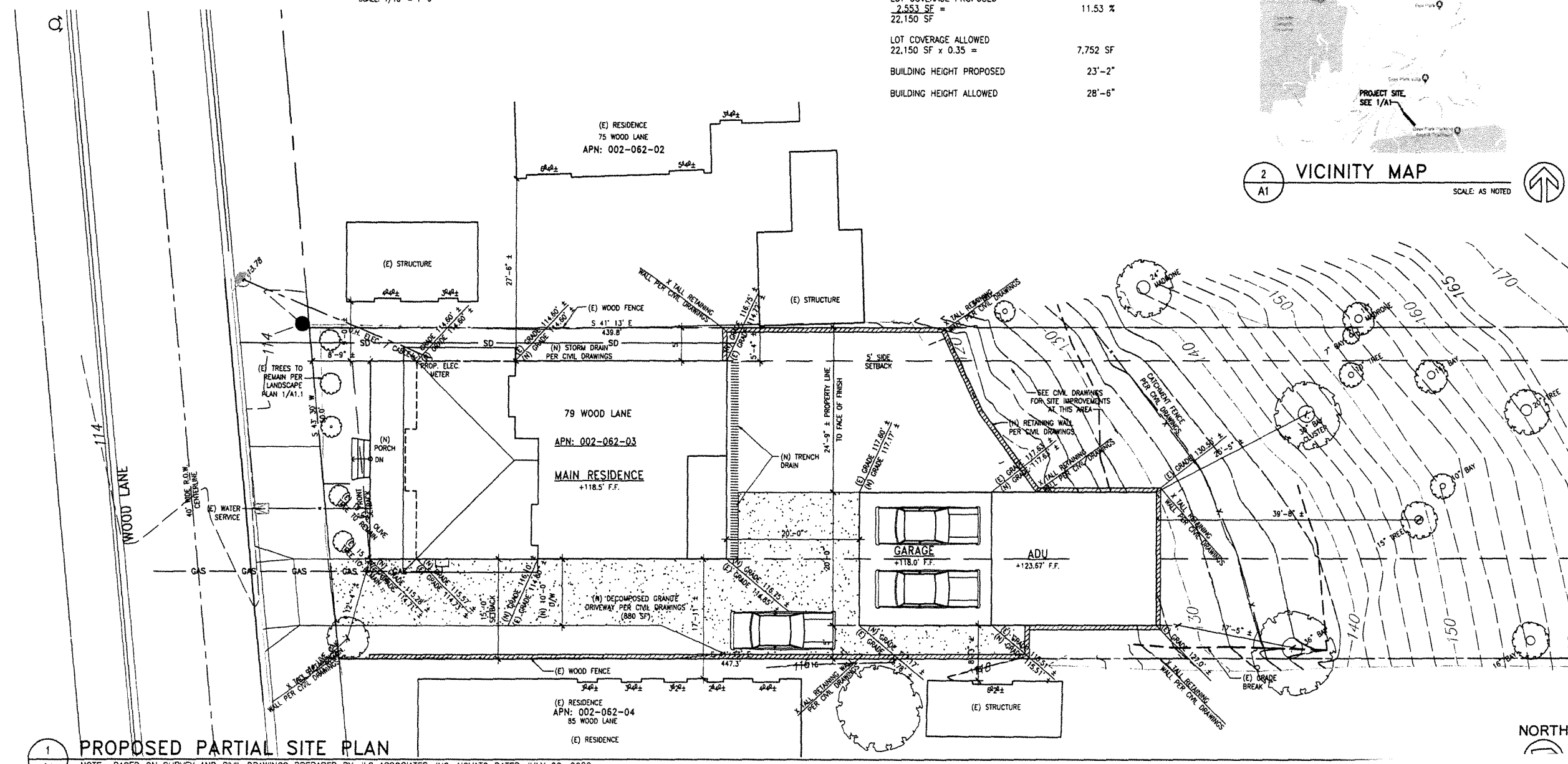
- DEMOLISH EXISTING RESIDENCE ON SITE.
- CONSTRUCTION OF NEW ONE-STORY MAIN RESIDENCE.
- CONSTRUCTION OF NEW ACCESSORY DWELLING UNIT WITH NEW DRIVEWAY AND TWO-CAR GARAGE BEHIND MAIN RESIDENCE.

DRAWING INDEX

- A1.0 PROPOSED PARTIAL SITE PLAN, SITE DEMOLITION PLAN, PROJECT DATA
- A1.1 CONCEPTUAL LANDSCAPING AND VEGETATION MANAGEMENT PLAN
- A1.2 SHADOW STUDY 9AM
- A1.3 SHADOW STUDY 12 PM
- A1.4 SHADOW STUDY 3 PM
- RECORD OF SURVEY
- 1 CIVIL SITE PLAN
- 2 EROSION CONTROL PLAN AND DETAILS
- A2.1 PROPOSED MAIN FLOOR/ BASEMENT PLANS
- A2.2 PROPOSED UPPER FLOOR/ GARAGE/ ADU PLANS
- A2.3 PROPOSED LIGHTING PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A4 BUILDING SECTIONS



2 VICINITY MAP
 A1
 SCALE: AS NOTED
 NORTH



1 PROPOSED PARTIAL SITE PLAN
 A1
 NOTE: BASED ON SURVEY AND CIVIL DRAWINGS PREPARED BY: ILS ASSOCIATES, INC. NOVATO DATED JULY 22, 2020.
 NO KNOWN EASEMENTS ON THE PROPERTY.

NOTE: ADJACENT STRUCTURES AND WINDOW SIZES BASED ON VISUAL INSPECTION AND MARIN MAP.

SCALE: 1/8" = 1'-0"
 NORTH

ATTACHMENT B

ARCHITECTS
 FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA 94901
 Phone: (415) 457 - 0220 Fax: (415) 454 - 9581

NEW RESIDENCE AND ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 APN: 002-062-03
 FOR: COBY FRIEDMAN

PROPOSED PARTIAL SITE PLAN, SITE DEMOLITION PLAN
PROJECT DATA

12-09-2020	REVISION
03-03-2021	PLANNING CORRECTIONS
07-01-2021	PLANNING COMMENTS
07-19-2021	PROJECT DATA CORRECTION
10-07-2021	PLANNING COMMISSION COMMENTS
11-15-2021	UPDATED DRAWINGS
01-12-2022	FLOOR AREA CORRECTIONS

Date: 10-07-2021
 Scale: As Noted
 Drawn: LSK/ MP
 Job #: 19049.00
 Prototype: DIVINE

A1

LANDSCAPE PLAN KEY NOTES

- 1 (N) 24" SQ. CONC. PAVERS, SPACING AS NOTED ON PLAN.
- 2 (N) CONC. CURB CUT AND RAMP PER CIVIL DRAWINGS.
- 3 (N) DECOMPOSED GRANITE DRIVEWAY PER CIVIL DRAWINGS.
- 4 (N) PEBBLE GROUND COVER, SHOWN HATCHED.

PLANT SCHEDULE

	BOTANICAL / COMMON NAME	QTY.	SIZE	FIRE RESISTANT	PLANT TYPE	REMARKS
1	PHYLLOPODIUM / KARUPIA	ROLLS/PLUGS	ROLLS/PLUGS	GROUND COVER	GROUND COVER	HEIGHT 1"
2	OLEA EUROPAEA 'MAJESTIC BEAUTY' / MAJESTIC BEAUTY FRUITLESS OLIVE	3 EXIST	(EXIST)	YES	TREE	HEIGHT 12-25', WIDTH 12-25'
C	COLEONEMA PULCHELLUM / PINK BREATHER OF HEAVEN	19	1 GAL.	YES	SHRUB	HEIGHT 3', WIDTH 3'
H	HEMEROCALLIS HYBRIDS / DAYLILY HYBRIDS	22	1 GAL.	YES	PERENNIAL	HEIGHT 3', WIDTH 3'
A	ARBUTUS 'MARINA' / MARINA STRAWBERRY TREE	5	15 GAL.	YES	TREE	HEIGHT 12-25', WIDTH 12-25'
T	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE	4	5 GAL.	YES	VINE	HEIGHT 12-25', WIDTH 3-6"

NOTE: SHRUBS SHALL BE SPACED SO THAT NO CONTINUITY EXISTS BETWEEN THE GROUND FUELS AND TREE CROWNS, SUCH THAT A GROUND FIRE WILL NOT EXTEND INTO THE TREE CANOPY.

NOTE: TREES SHALL BE PLANTED SUCH THAT WHEN MATURE, THEIR CROWNS WILL BE SEPARATED BY AT LEAST 10 FEET. ADD AN ADDITIONAL FIVE FEET FOR EVERY TEN PERCENT (10%) INCREASE IN SLOPE. EXISTING TREES MAY BE THINNED AND/OR REMOVED DEPENDING ON THEIR CONFIGURATION AND DISTANCE FROM THE STRUCTURE(S).

NOTE: SEPARATE INDIVIDUAL SHRUB CROWNS BY AT LEAST TWO TIMES THE HEIGHT, OR CLUMP SHRUBS INTO ISLANDS OF NO GREATER THAN 18 FEET DIAMETER. SEPARATE THE ISLANDS BY A DISTANCE OF NO LESS THAN TWO TIMES THE CANOPY HEIGHT.

Vegetation/ Fuels Management
 APN 002-062-03
 79 Wood Lane
 Fairfax, CA

EXISTING CONDITIONS 0-5' ZONE

The front portion of the lot is fairly flat with a slope less than 10%. A 9" diameter oak tree is located at the southwest corner of the property and will need to be removed to accommodate new driveway. There are newly planted olive trees located near the existing fence along the front property line.

EXISTING CONDITIONS 5-30' ZONE

The existing conditions within this portion of the site consist of hardscape sidewalks, patios, and natural grasses. This portion of the lot is fairly flat with a slope less than 10%.

EXISTING CONDITIONS 30-100' ZONE

The existing conditions within this portion of the site consist of hardscape sidewalks, patios, and natural grasses. An existing cottage will be removed and replaced with a new garage/ accessory dwelling unit. This portion of the lot is fairly flat with a slope less than 10%.

PROPOSED MANAGEMENT Zone 0 (0-5' from structures)

- A. No landscaping shall be installed within five feet of new residence.
- B. Any existing trees to remain will be limbed up to 10' and dead wood removed.
- C. Use only inorganic, non-combustible mulch such as stone or gravel. Composted mulch and large bark/ chips (greater than 1/2" diameter may be acceptable.)
- D. Clean all fallen leaves and needles regularly. Repeat more often during fire season.
- E. Do not store firewood, lumber, or combustible materials within this zone. Especially under decks or building overhangs. Stored combustibles should be moved inside, or at least 30'-0" away from structures.
- F. Use only inorganic, non-combustible mulch such as stone or gravel. Composted mulch and large bark/ chips (greater than 1/2" diameter may be acceptable.)
- G. No combustible outdoor furniture should be placed in this zone. Replace with metal or non-combustible types.
- H. No jute or fiber door mats should be placed in this zone. Replace with heavy rubber or metal grates.
- I. No combustible materials including garbage and recycling containers, lumber, trash, and patio accessories should be placed in this zone.

PROPOSED MANAGEMENT Zone 1 (5-30' from structures)

- A. Remove all dead plants, grass, and weeds (vegetation).
- B. Remove dead or dry leaves and needles from your yard, roof and rain gutters. Repeat more often during fire season.
- C. Trim trees regularly to keep branches a minimum of 10' from other trees.
- D. Remove branches that hang over roofs and keep dead branches 10' away from chimneys.
- E. Remove vegetation and items that could catch fire from around and under decks.
- F. Remove fire-prone plants and replace with only fire-resistant varieties. Irrigate regularly.
- G. Remove limbs to a height of 10' above the ground (or 1/3 the height of the tree) to provide clearance and to eliminate a "fire ladder."
- H. Use only inorganic, non-combustible mulch such as stone or gravel. Composted mulch and large bark/ chips (greater than 1/2" diameter may be acceptable.)

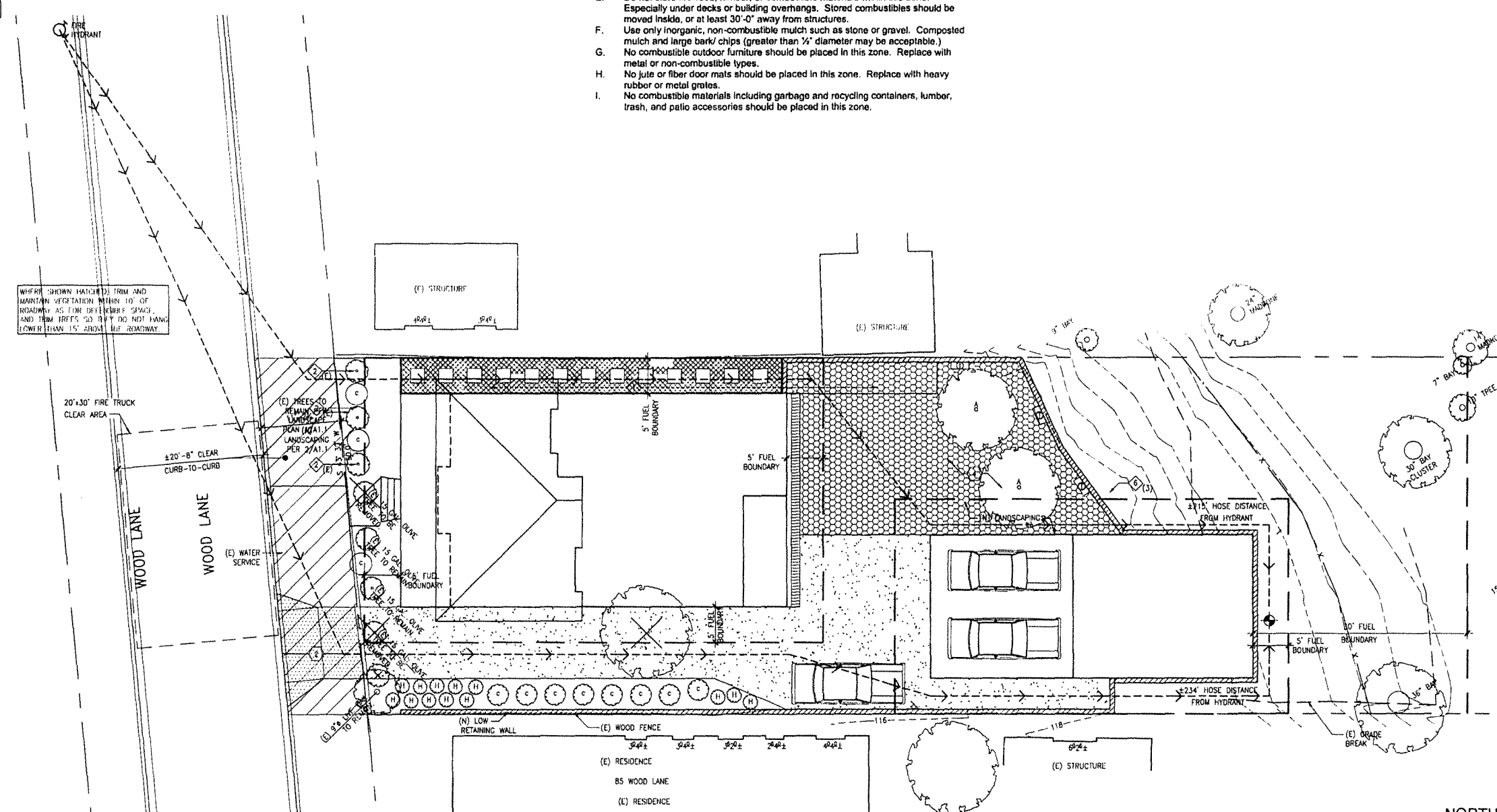
PROPOSED MANAGEMENT Zone 2 (30'-100' from structures)

- A. Cut or mow annual grass down to a maximum height of 4 inches.
- B. Create horizontal spacing between shrubs, trees and vertical spacing between grass, shrubs, and trees.
- C. Remove fallen leaves, needles, twigs, bark, cones, and small branches. However, these may be permitted to a depth of 3 inches if erosion control is an issue.

PROPOSED MANAGEMENT ACCESS ZONE (Zone 3) (10' FROM ROADWAYS AND DRIVEWAYS)

- A. Trim and maintain vegetation within 10 feet of roadways as for defensible space. Trim trees so they do not hang lower than 15 feet above the roadway.
- B. Plantings shall be fire resistant and shall not extend within 14'-0" vertical.
- C. All landscaping shall meet the requirements for Zone 2 as stated above.

(END OF REPORT)



1 CONCEPTUAL LANDSCAPING AND VEGETATION MANAGEMENT PLAN



SCALE: 1/8" = 1'-0"

ARCHITECTS
 FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA 94901
 Phone: (415) 457-0220 Fax: (415) 454-9581

NEW RESIDENCE AND ADU
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 FOR: COBY FRIEDMAN

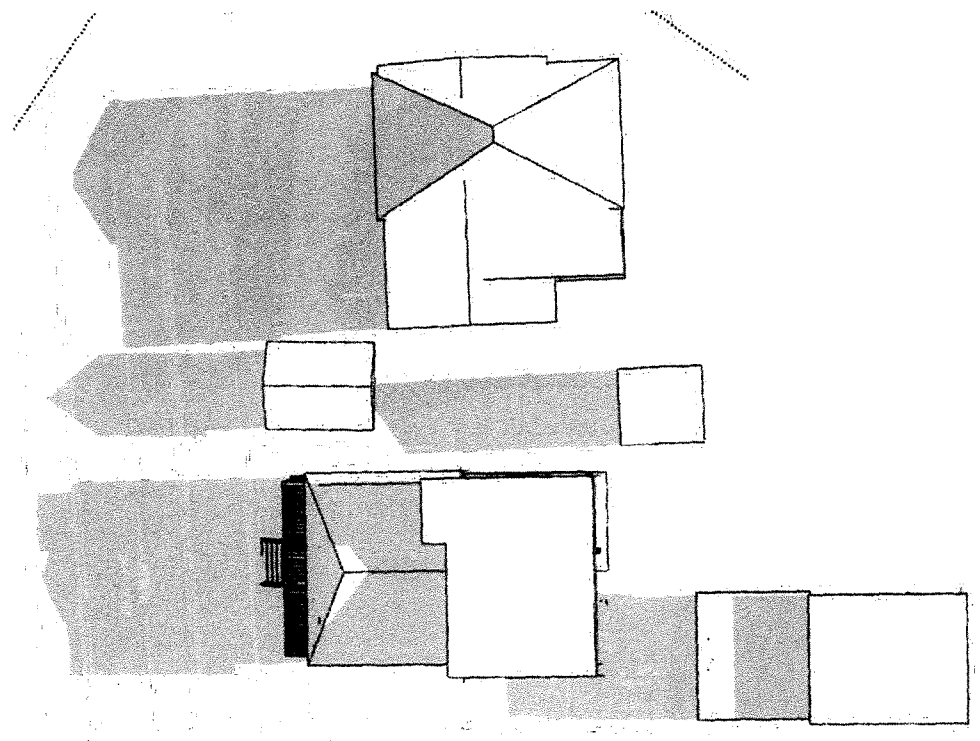
SITE DEMOLITION PLAN, CONCEPTUAL LANDSCAPE AND VEGETATION MANAGEMENT PLAN

12-08-2020	REVISION	STAKEOUT
03-03-2021	PLANNING COMMENTS	
07-01-2021	PLANNING COMMENTS	
07-19-2021	PROJECT DATA CORRECTION	
10-07-2021	PLANNING COMMISSION COMMENTS	

Date: 10-07-2021
 Scale: As Noted
 Drawn: LSK/ MP
 Job #: 19049.00
 Prototype: DIVINE

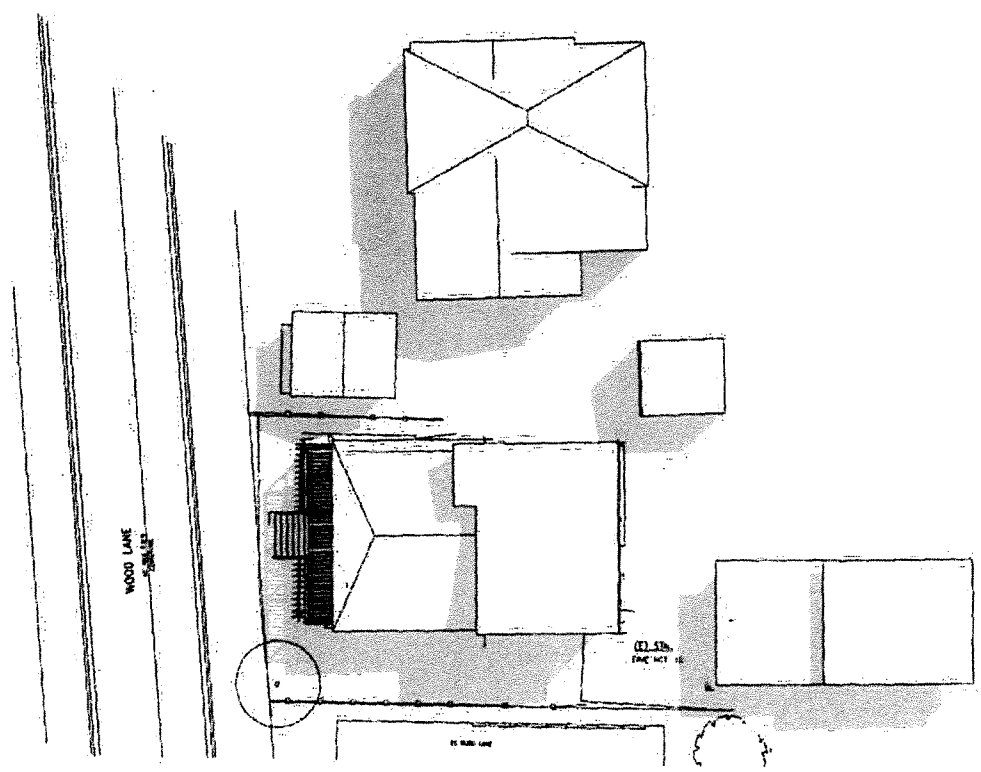
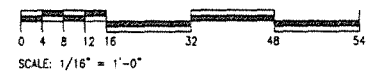
A1.1

D:\Friedman 79 Wood Lane Fairfax\CAD\A1.2 SHADE.dwg, 10/25/2021 4:16:54 PM



2 DECEMBER 21, 9:00 AM
A1.2 SCALE: 1/16" = 1'-0"

ALTITUDE: 14.08'
AZIMUTH: 135.65°
SHADOW LENGTH: 3.99' / BUILDING HEIGHT



1 JUNE 21, 9:00 AM
A1.2 SCALE: 1/16" = 1'-0"

ALTITUDE: 34.78'
AZIMUTH: 85.84°
SHADOW LENGTH: 1.44' / BUILDING HEIGHT

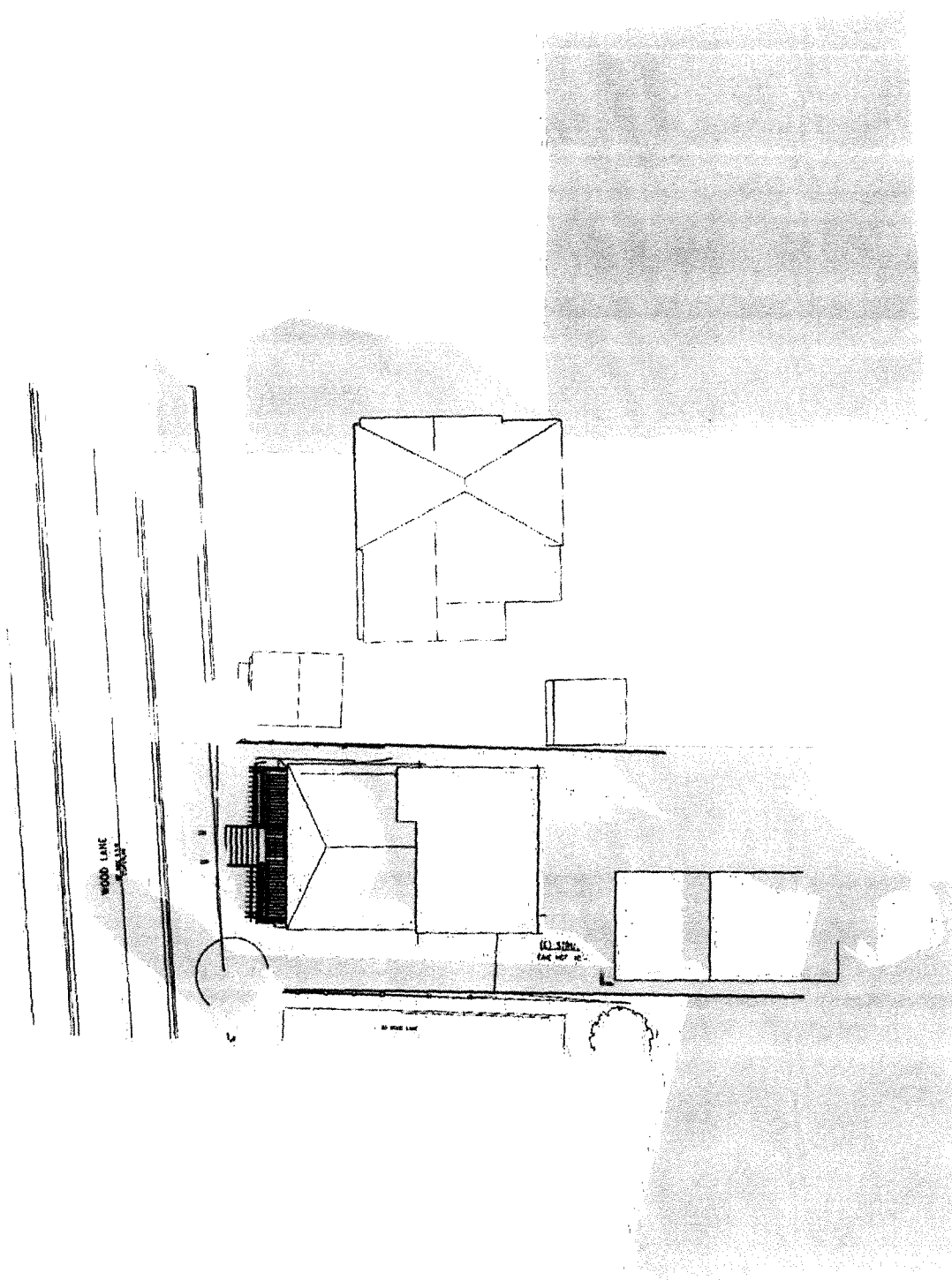
Revisions	Date
12-09-2020	
PLANNING SUBMITTAL	
03-03-2021	
PLANNING COMMENTS	
07-19-2021	
PROJECT DATA CORRECTION	
10-07-2021	
PLANNING COMMISSION COMMENTS	

Date: 10-07-2021
 Scale: As Noted
 Drawn: LSK/ MP
 Job #: 19049.00
 Prototype: DIVINE

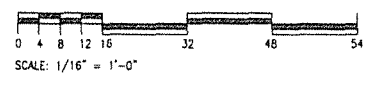
NEW RESIDENCE AND ADU

79 WOOD LANE
FAIRFAX, CA 94930
APN: 002-062-03
FOR: COBY FRIEDMAN

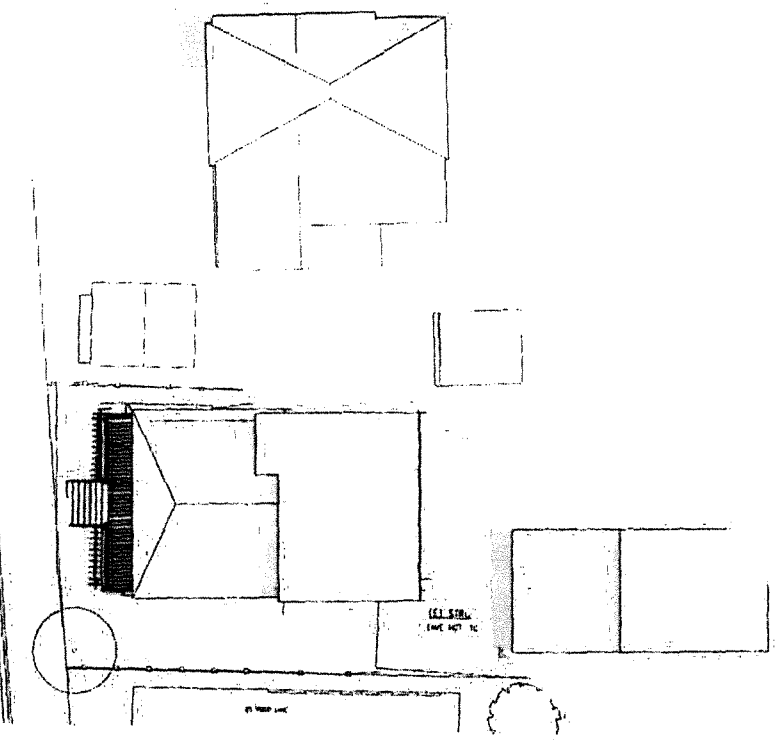
SHADE STUDIES



2 DECEMBER 21, 12:00 PM
 A1.3 SCALE: 1/16" = 1'-0"
 ALTITUDE: 28.58'
 AZIMUTH: 177.72°
 SHADOW LENGTH: 1.84' / BUILDING HEIGHT



1 JUNE 21, 12:00 PM
 A1.3 SCALE: 1/16" = 1'-0"
 ALTITUDE: 68.68'
 AZIMUTH: 127.73°
 SHADOW LENGTH: 0.39' / BUILDING HEIGHT



12-09-2020	
03-03-2021	
07-01-2021	
07-19-2021	
10-07-2021	

Date: 10-07-2021
 Scale: As Noted
 Drawn: LSK/MP
 Job #: 19049.00
 Prototype: DIVINE

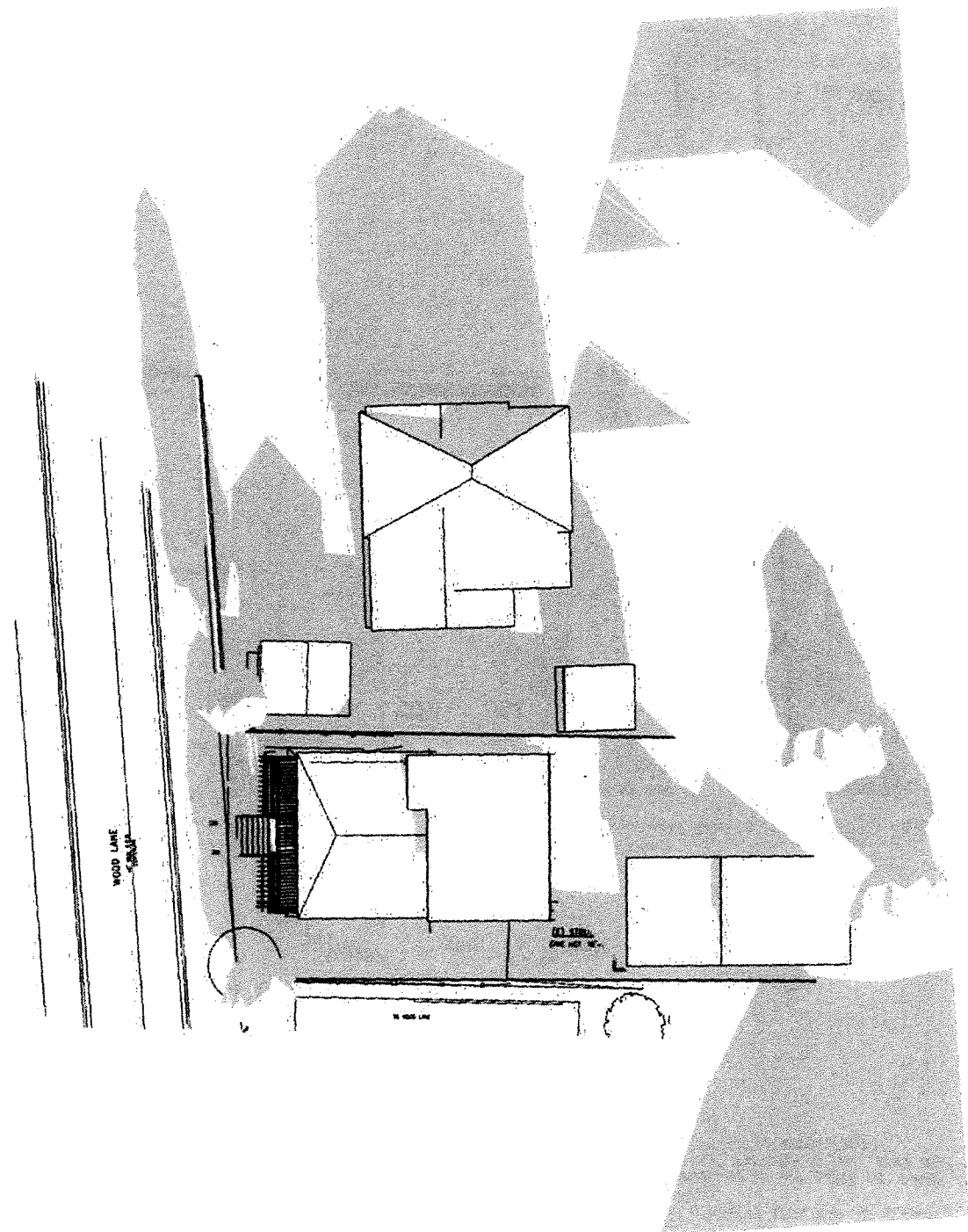
A1.3

NEW RESIDENCE AND ADU

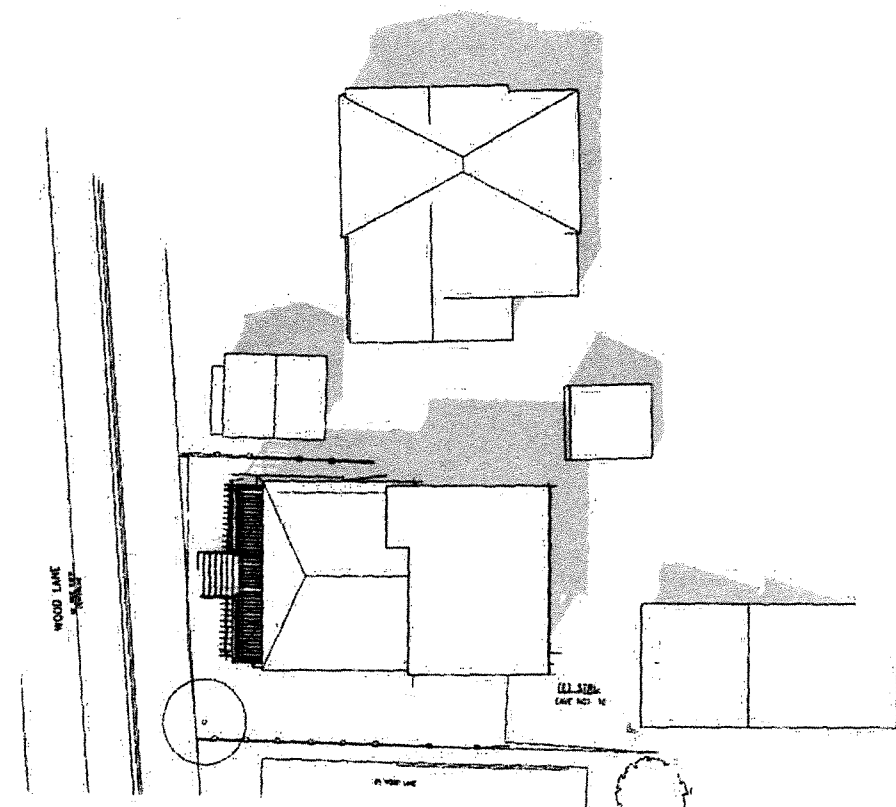
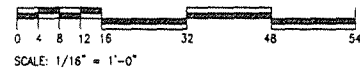
79 WOOD LANE
 FAIRFAX, CA 94930
 APN: 002-002-03
 FOR: COBY FRIEDMAN

ARCHITECTS

FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA 94901
 Phone: (415) 457-0220 Fax: (415) 454-9581



2 DECEMBER 21, 3:00 PM ALTITUDE: 16.53' AZIMUTH: 220.78' SHADOW LENGTH: 3.37' / BUILDING HEIGHT
 A1.4 SCALE: 1/16" = 1'-0"



1 JUNE 21, 3:00 PM ALTITUDE: 62.62' AZIMUTH: 245.81' SHADOW LENGTH: 0.52' / BUILDING HEIGHT
 A1.4 SCALE: 1/16" = 1'-0"

DRAWING PREPARED BY OWNER'S CONSULTANT

Revisions	Date
12-09-2020	
▲ PLANNING SUBMITTAL	
▲ PLANNING COMMENTS	03-03-2021
▲ PLANNING COMMENTS	07-01-2021
▲ PROJECT DATA CORRECTION	07-19-2021
▲ PLANNING COMMISSION COMMENTS	10-07-2021
	10-07-2021

Date: 10-07-2021
 Scale: As Noted
 Drawn: LSK/MP
 Job #: 19049.00
 Prototype: DVINE

SHADE STUDIES

NEW RESIDENCE AND ADU

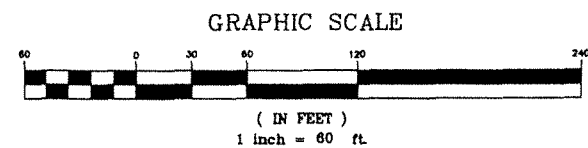
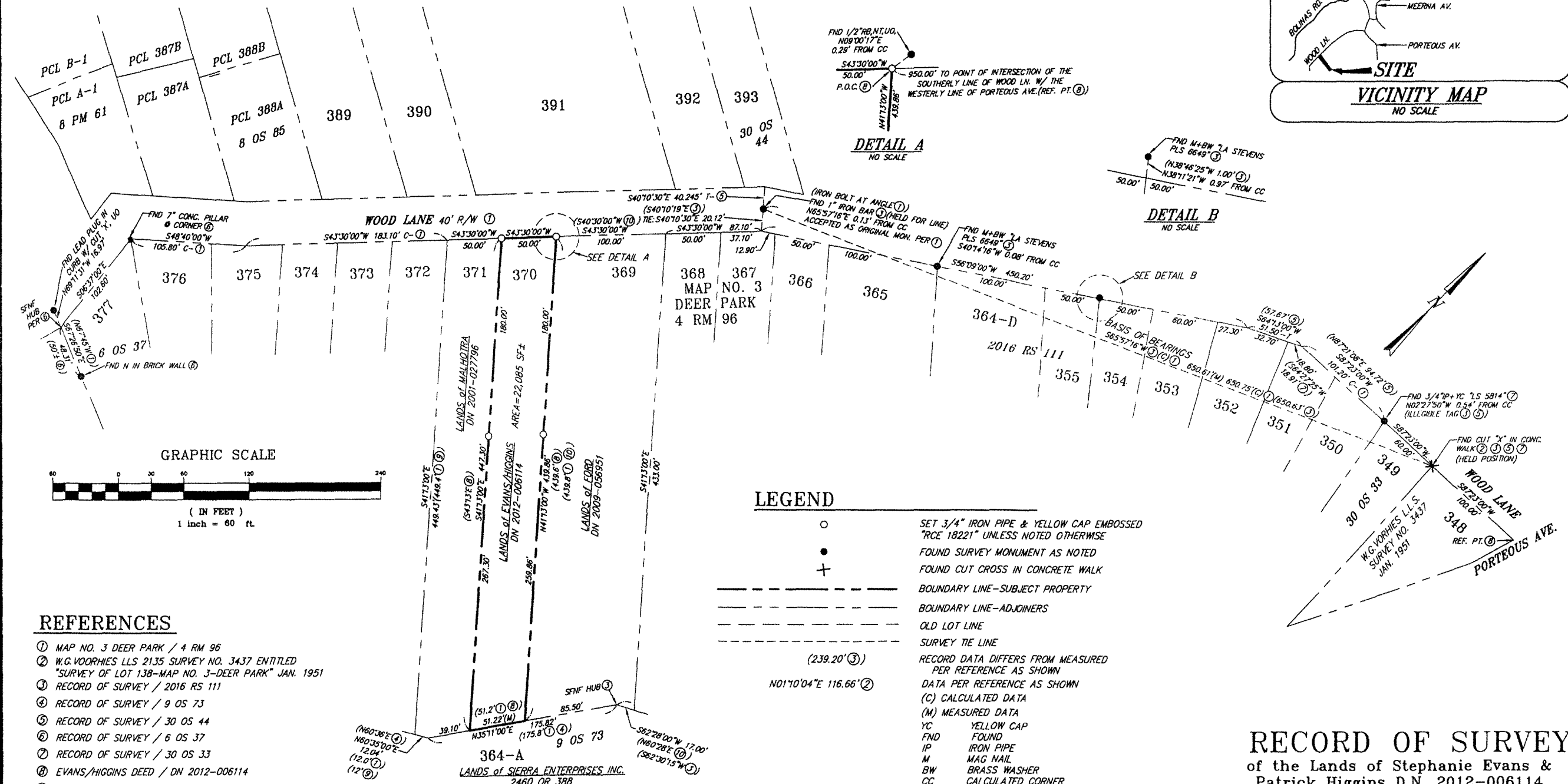
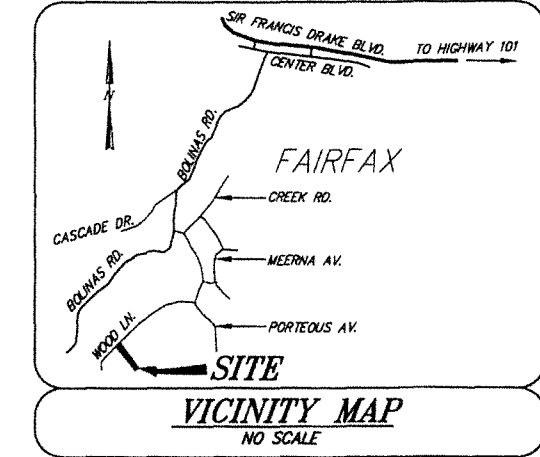
79 WOOD LAKE
 FAIRFAX, CA 94930
 APN: 002-082-03
 FOR: COBY FRIEDMAN

NOTES

1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
2. ALL REFERENCES ARE FROM MARIN COUNTY RECORDS EXCEPT THE W.G. VOORHIES SURVEY REFERENCED HEREON WHICH IS AVAILABLE THROUGH THE OGLESBY COLLECTION, MARIN COUNTY FREE LIBRARY.
3. RECORD BEARINGS AND DISTANCES ARE EQUAL TO MEASURED UNLESS OTHERWISE NOTED.
4. THIS SURVEY WAS COMMISSIONED BY OUR CLIENT AND OWNER AT THE TIME NOTED IN TITLE BLOCK. THE PROPERTY HAS SINCE BEEN ACQUIRED BY BURGESS HOLDINGS LLC PER DN 2018-015572.

BASIS OF BEARINGS

S65°57'16"W BETWEEN A FOUND CUT "X" IN CONCRETE SIDEWALK AND A FOUND 1" IRON BAR A MEASURED DISTANCE APART OF 650.61 FEET. BEARING IS AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD IN BOOK 2016 OF SURVEYS AT PAGE 111(3) AND IS SAME AS CALCULATED FROM MAP NO. 3/DEER PARK FILED FOR RECORD IN BOOK 4 OF RECORD MAPS AT PAGE 96(1).



LEGEND

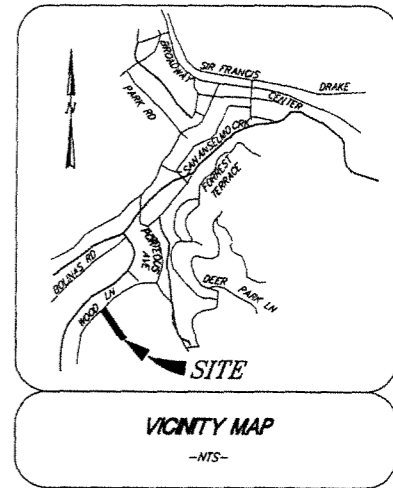
- SET 3/4" IRON PIPE & YELLOW CAP EMBOSSED "RCE 18221" UNLESS NOTED OTHERWISE
 - FOUND SURVEY MONUMENT AS NOTED
 - ⊕ FOUND CUT CROSS IN CONCRETE WALK
 - BOUNDARY LINE-SUBJECT PROPERTY
 - BOUNDARY LINE-ADJOINERS
 - - - OLD LOT LINE
 - SURVEY TIE LINE
 - (239.20') (3)
 - N01°10'04"E 116.66' (2)
- RECORD DATA DIFFERS FROM MEASURED PER REFERENCE AS SHOWN
DATA PER REFERENCE AS SHOWN
(C) CALCULATED DATA
(M) MEASURED DATA
YC YELLOW CAP
FND FOUND
IP IRON PIPE
M MAG NAIL
BW BRASS WASHER
CC CALCULATED CORNER
DN DOCUMENT NUMBER
APN ASSESSOR'S PARCEL NUMBER
MON. MONUMENT
N NAIL
CONC. CONCRETE
UO UNKNOWN ORIGIN
SFNF SEARCHED FOR, NOT FOUND
P.O.C. POINT OF COMMENCEMENT

REFERENCES

- 1 MAP NO. 3 DEER PARK / 4 RM 96
- 2 W.G. VOORHIES LLS 2135 SURVEY NO. 3437 ENTITLED "SURVEY OF LOT 138-MAP NO. 3-DEER PARK" JAN. 1951
- 3 RECORD OF SURVEY / 2016 RS 111
- 4 RECORD OF SURVEY / 9 OS 73
- 5 RECORD OF SURVEY / 30 OS 44
- 6 RECORD OF SURVEY / 6 OS 37
- 7 RECORD OF SURVEY / 30 OS 33
- 8 EVANS/HIGGINS DEED / DN 2012-006114
- 9 MALHOTRA DEED / DN 2001-027796
- 10 FORD DEED / DN 2009-056951

RECORD OF SURVEY

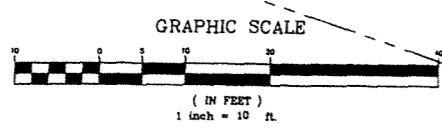
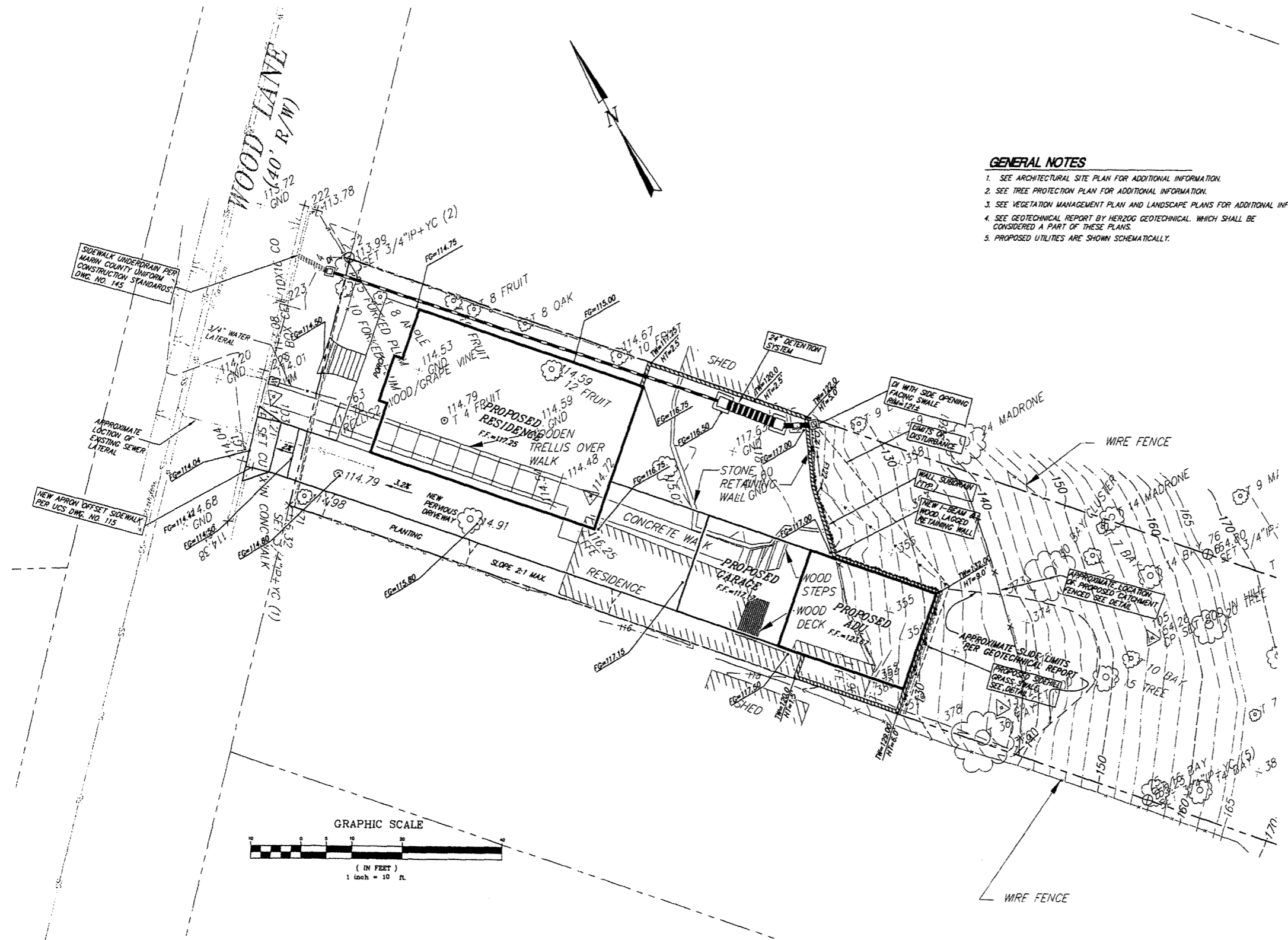
of the Lands of Stephanie Evans & Patrick Higgins D.N. 2012-006114
Town of Fairfax
County of Marin California
ILS ASSOCIATES, INC.®
CIVIL ENGINEERING AND LAND SURVEYING



- GENERAL NOTES**
- SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION.
 - SEE TREE PROTECTION PLAN FOR ADDITIONAL INFORMATION.
 - SEE VEGETATION MANAGEMENT PLAN AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 - SEE GEOTECHNICAL REPORT BY HERZOG GEOTECHNICAL, WHICH SHALL BE CONSIDERED A PART OF THESE PLANS.
 - PROPOSED UTILITIES ARE SHOWN SCHEMATICALLY.

- LEGEND**
- RANDOM CONTROL FOR SURVEY
 - EXISTING JOINT POLE
 - ASPHALT CONCRETE
 - EXISTING WATER METER
 - DRAINAGE INLET
 - EXISTING TREE
 - EXISTING CONTOURS
 - PROPERTY LINE
 - EXISTING EDGE OF PAVEMENT
 - WIRE FENCE
 - WOOD FENCE
 - PROPOSED DYNAMIC CATCHMENT SYSTEM
GEOBRUGG FENCE OR EQUIVALENT
 - TEMPORARY FIBER ROLL
 - FINISHED GRADE CONTOUR
 - EXIST. SPOT ELEVATION
 - FINISHED GRADE
 - HEIGHT OF WALL
 - TOP OF WALL
 - FINISHED GRADE AT WALL
 - FINISHED FLOOR ELEVATION TO BE REMOVED
 - PROPOSED RETAINING WALL
 - PROPOSED WALL SUBDRAIN
 - PROPOSED JOINT TRENCH

- NOTES**
- VERTICAL DATUM IS ASSUMED.
 - HORIZONTAL DATUM IS BASED UPON FIELD SURVEY AND RECORD DATA PER 2016 RS 111 & 4 RM 96.
 - CONTOUR INTERVAL IS 2' & 5'.
 - THERE ARE NO EASEMENTS OF RECORD ON SUBJECT PARCEL.



AREA OF DISTURBANCE
6,070 S.F.

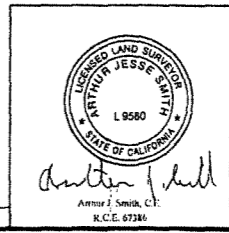
EARTHWORK

DESCRIPTION	CUT	FILL
SITE WORK	5 C.Y.	20 C.Y.
DRIVEWAY	0 C.Y.	35 C.Y.
HOUSE MAT TYPE FOUNDATION	0 C.Y.	50 C.Y.
ADU	60 C.Y.	0 C.Y.
BASEMENT	65 C.Y.	0 C.Y.
GARAGE	0 C.Y.	20 C.Y.
TOTALS	130 C.Y.	125 C.Y.

ANY OFFHAUL MATERIAL SHALL BE DISPOSED OF AT A LEGAL DISPOSAL SITE.

IMPERVIOUS AREA QUANTITIES
 PROPOSED RESIDENCE: 1,622 S.F.
 PROPOSED GARAGE/ADU: 567 S.F.
 DOWNSPOUTS AND ROOF SHALL DRAIN TO SPLASHBLOCKS (SELF TREATING) AND LANDSCAPING AREAS

A.P.N.: 002-062-03
FIELD BOOK NO.: ##



DESIGN REVIEW

ILS ASSOCIATES, INC.
CIVIL ENGINEERING AND LAND SURVEYING
79 GALLI DRIVE, SUITE A NOVATO, CA 94949-5717 (415)883-9200 FAX (415)883-2763

FRIEDMAN
79 WOOD LANE
FAIRFAX CALIFORNIA

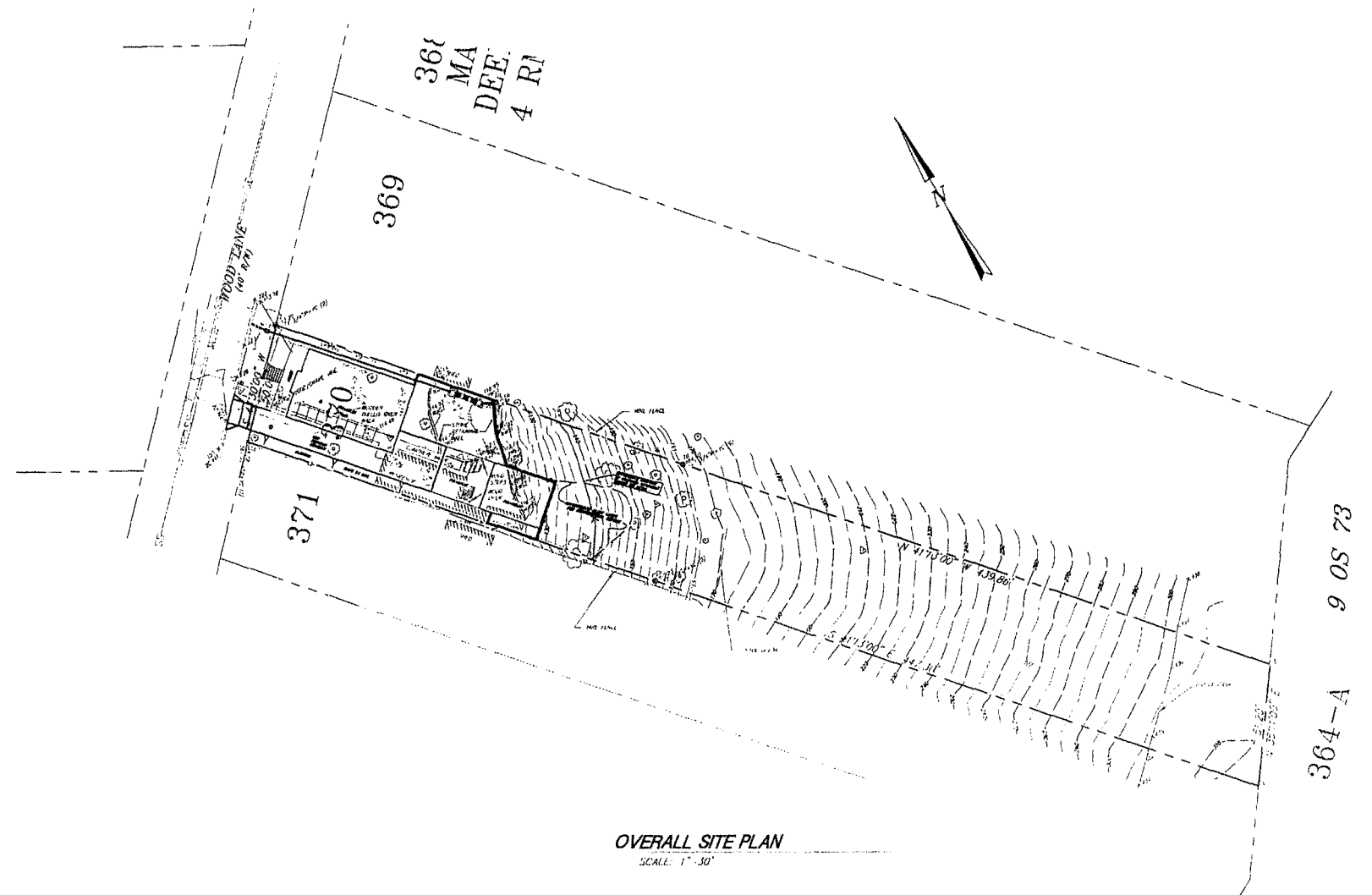
SITE PLAN

DRAWN: JM/AJS
DATE: 11-10-2021
JOB NO: 9473
SHEET NO: 1 OF 3

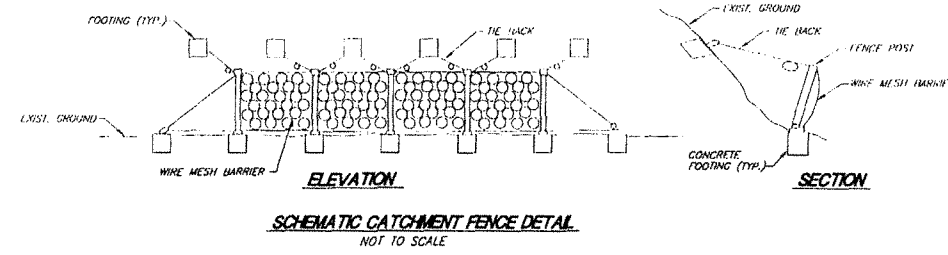
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EROSION AND SEDIMENT CONTROL NOTES:

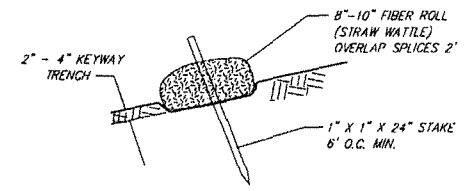
1. TEMPORARY INLET PROTECTION OF EXISTING DRAINAGE INLETS, CONSTRUCTION LIMITS FENCING AND TREE PROTECTION MEASURES WHERE SHOWN ON THE PLANS SHALL BE INSTALLED PRIOR TO START OF CONSTRUCTION.
2. OTHER TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE INSTALLED/IMPLEMENTED AS SHOWN ON THE PLANS AND PRIOR TO SOIL DISTURBANCE ON ANY AFFECTED AREA OF THE SITE.
3. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES MAY INCLUDE SURFACING, PAVING, LANDSCAPING, SEEDING AND MULCHING, WOOD CHIPS AND ROCK SLOPE PROTECTION AS SHOWN ON THE PLANS.
4. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MAY BE REMOVED FOLLOWING IMPLEMENTATION OF PERMANENT EROSION AND SEDIMENT CONTROL MEASURES.
5. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES, CONSTRUCTION LIMIT FENCING AND TREE PROTECTION MEASURES SHALL BE REMOVED BY COMPLETION OF CONSTRUCTION AND INSTALLATION AND/OR ESTABLISHMENT OF PERMANENT EROSION AND SEDIMENT CONTROL MEASURES.
6. WHERE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED, ALL PROVISIONS OF THAT PLAN SHALL BE IMPLEMENTED.
7. THE LOCATION OF ALL EROSION AND SEDIMENT CONTROL FEATURES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS ARE TO BE DETERMINED IN THE FIELD BY THE ENGINEER.
8. DURING THE COURSE OF CONSTRUCTION, THE SITE SHALL BE INSPECTED BY THE CONTRACTOR AS NECESSARY DURING THE WINTER MONTHS AND AFTER EACH MAJOR RAINFALL. AFTER EACH MAJOR RAINFALL ANY ACCUMULATED SILT SHALL BE REMOVED WHERE NECESSARY AND ANY DAMAGED EROSION AND SEDIMENT CONTROL FEATURES SHALL BE REPAIRED.
9. STOCKPILES OF SOIL, SAND OR OTHER ERODABLE MATERIAL SHALL BE COVERED WITH WEIGHTED-DOWN TARPS OR PLASTIC SHEETING AND ENCLOSED IN A ROW OF FIBER ROLLS WHENEVER RAIN IS OCCURRING OR PREDICTED.
10. WHERE DEEMED NECESSARY BY THE ENGINEER IN THE FIELD OTHER EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED.
11. EROSION AND SEDIMENT CONTROL FEATURES MAY BE TEMPORARILY REMOVED TO GAIN ACCESS TO CONSTRUCTION AREAS. THEY SHALL, HOWEVER, BE REPLACED AT THE END OF EACH WORKING DAY WHEN RAIN IS OCCURRING OR PREDICTED AND AT THE END OF THE WORK DAY EACH FRIDAY.
12. ALL GRADED OR OTHERWISE DISTURBED AREAS SHALL BE EITHER HYDRO-SEEDED OR SEEDED AND MULCHED FOLLOWING COMPLETION OF GRADING OUT, IN ANY EVENT, PRIOR TO OCTOBER 15. DEPENDING ON THE STATUS OF THE WORK ON OCTOBER 15, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED. FOR AREAS TO BE HYDRO-SEEDED OR SEEDED AND MULCHED, USE SFSD MIX SPECIFIED IN THE STANDARD SPECIFICATIONS.



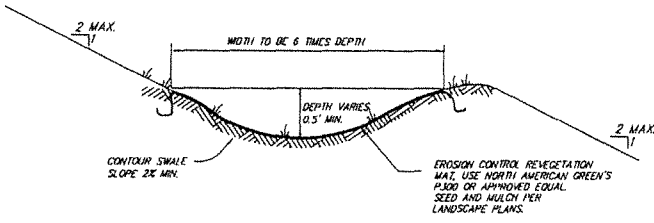
OVERALL SITE PLAN
SCALE: 1" = 30'



SCHEMATIC CATCHMENT FENCE DETAIL
NOT TO SCALE

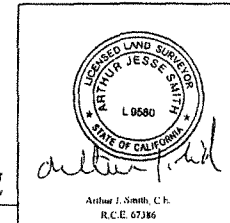


TEMPORARY FIBER ROLL INSTALLATION DETAIL
NOT TO SCALE



SIDEHILL GRASS SWALE DETAIL
NOT TO SCALE

- NOTES**
1. VERTICAL DATUM IS ASSUMED.
 2. HORIZONTAL DATUM IS BASED UPON FIELD SURVEY AND RECORD DATA PER 2016 RS 111 & 4 RM 96.
 3. CONTOUR INTERVAL IS 2' & 5'.
 4. THERE ARE NO EASEMENTS OF RECORD ON SUBJECT PARCEL.

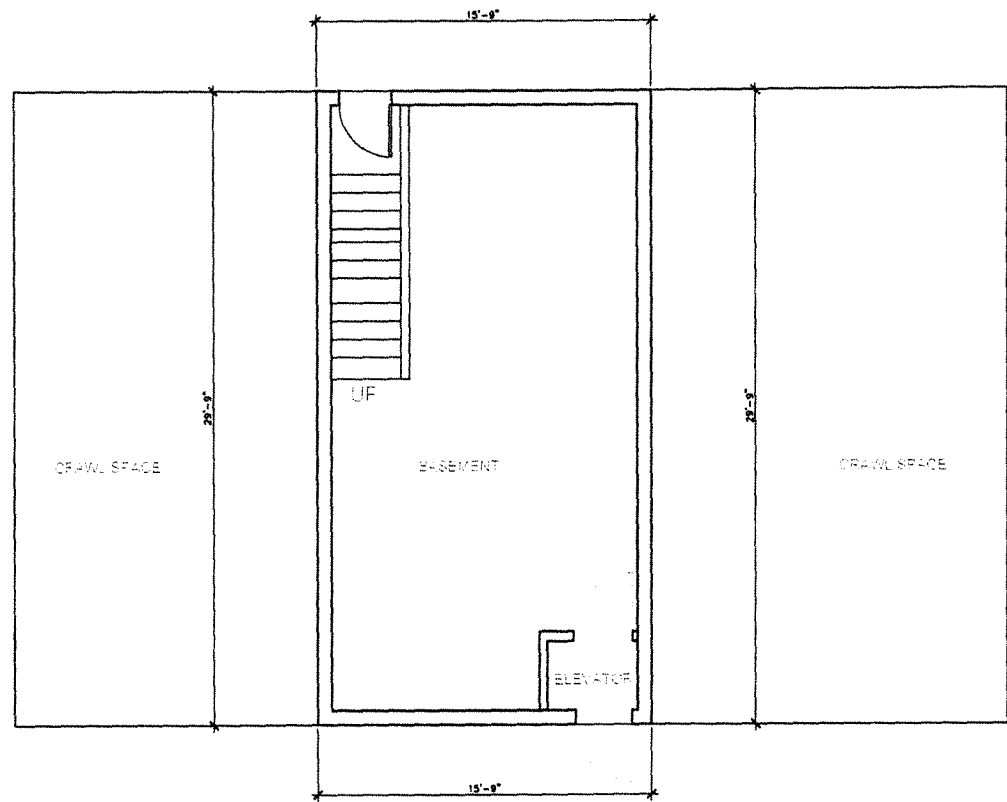


DESIGN REVIEW	
ILS ASSOCIATES, INC. CIVIL ENGINEERING AND LAND SURVEYING 79 GALLI DRIVE, SUITE A NOVATO, CA 94949-5717 (415)883-9200 FAX (415)883-2763	
DRAWN: AJS DATE: 11-10-2021 JOB NO: 9473 SHEET NO: 2 OF 3	FRIEDMAN 79 WOOD LANE FAIRFAX CALIFORNIA NOTES AND DETAILS

A.P.N.: 002-062-03
FIELD BOOK NO.: ##

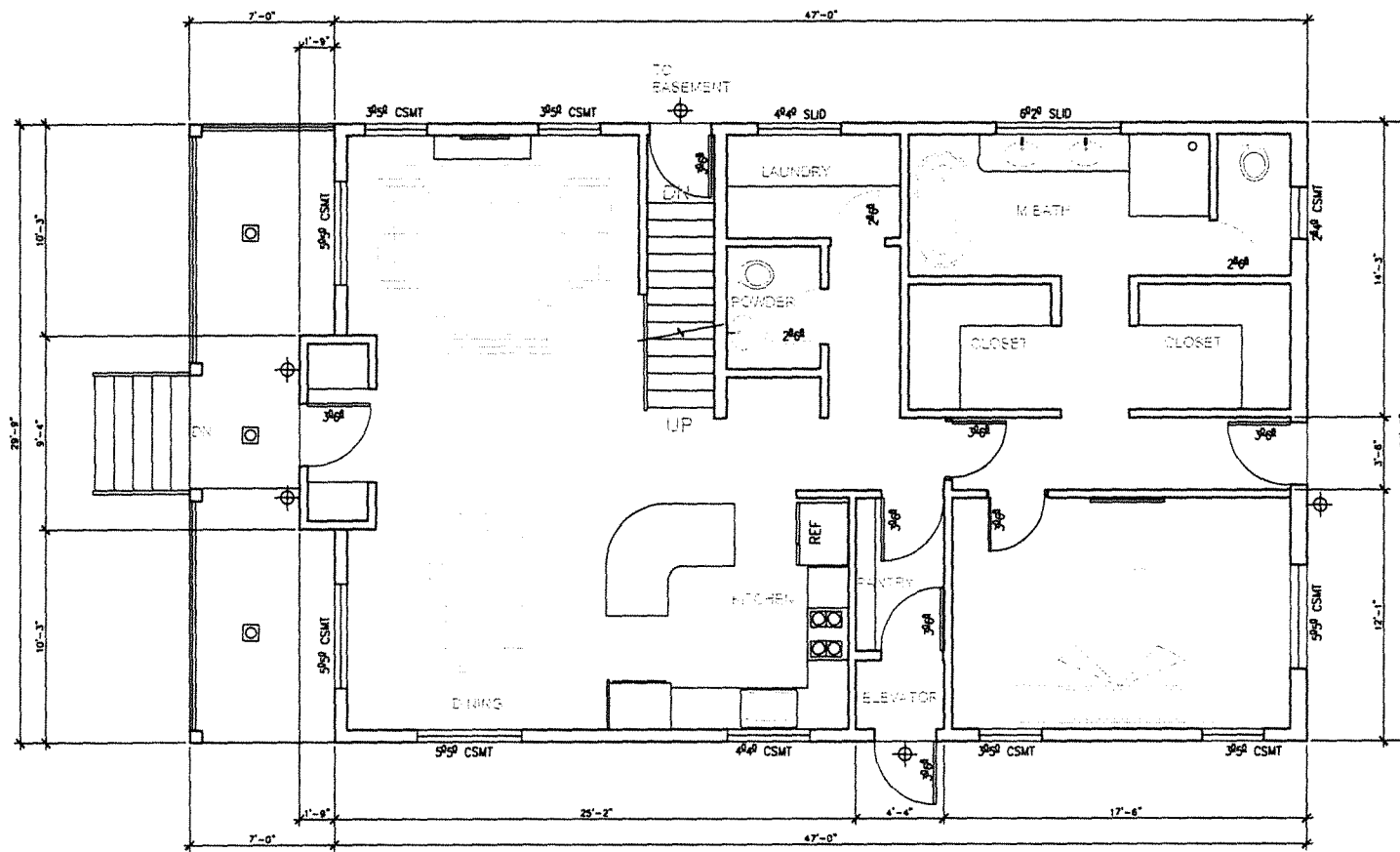
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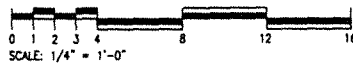
BASEMENT FLOOR AREA 469 SF

2 PROPOSED BASEMENT FLOOR PLAN
A2.1 SCALE: 1/4" = 1'-0"



MAIN FLOOR AREA 1,415 SF

1 PROPOSED MAIN FLOOR PLAN
A2.1 SCALE: 1/4" = 1'-0"



A R C H I T E C T S
FREDRIC C. DIVINE ASSOCIATES
1924 FOURTH ST., SAN RAFAEL, CA 94901
Phone: (415) 457 - 0220 Fax: (415) 454 - 9581

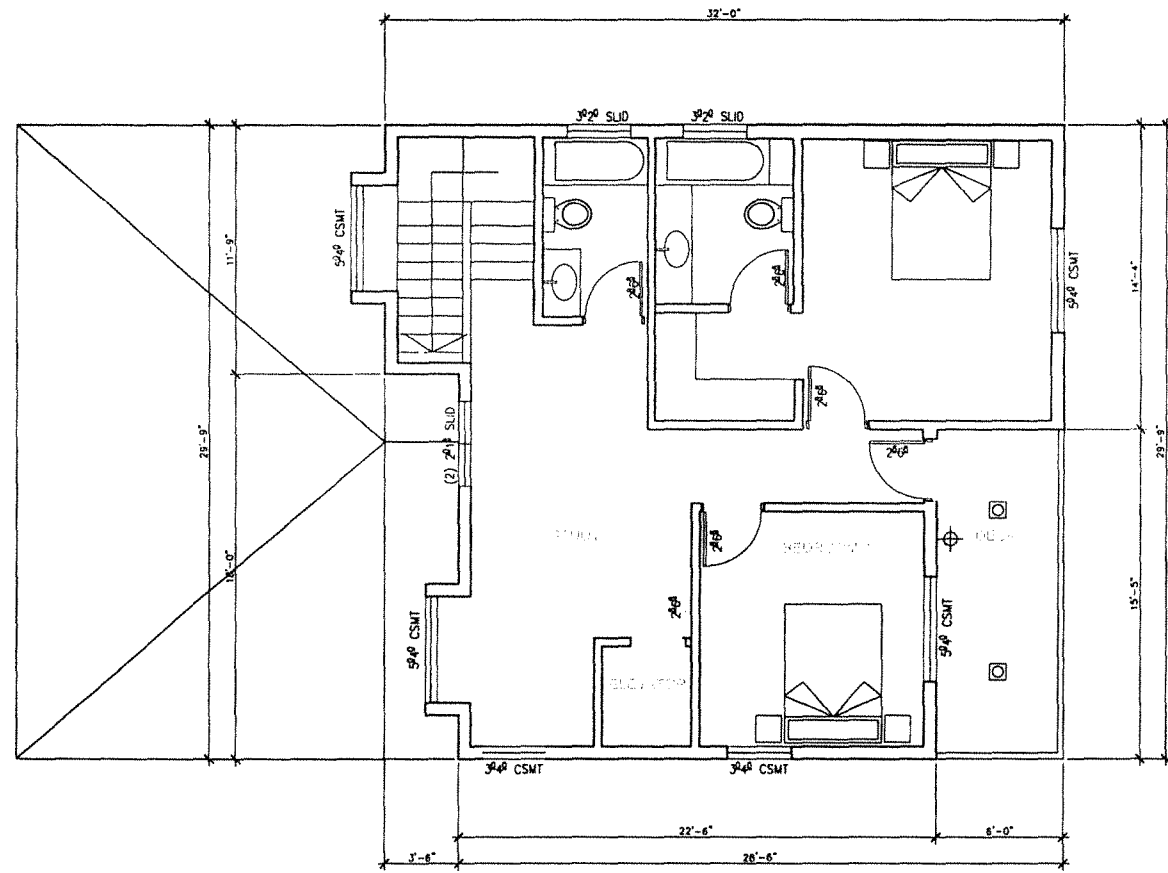
NEW RESIDENCE AND ADU
79 WOOD LANE
FAIRFAX, CA 94930
APN: 002-062-03
FOR: COBY FRIEDMAN

PROPOSED MAIN FLOOR PLAN
PROPOSED BASEMENT PLAN

Revisions	Date
△ PLANNING SUBMITTAL	12-06-2020
△ PLANNING COMMENTS	03-03-2021
△ PLANNING COMMENTS	07-01-2021
△ PROJECT DATA CORRECTION	07-09-2021
△ UNDATED DRAWINGS	11-12-2021
△ FLOOR AREA CORRECTIONS	01-12-2022

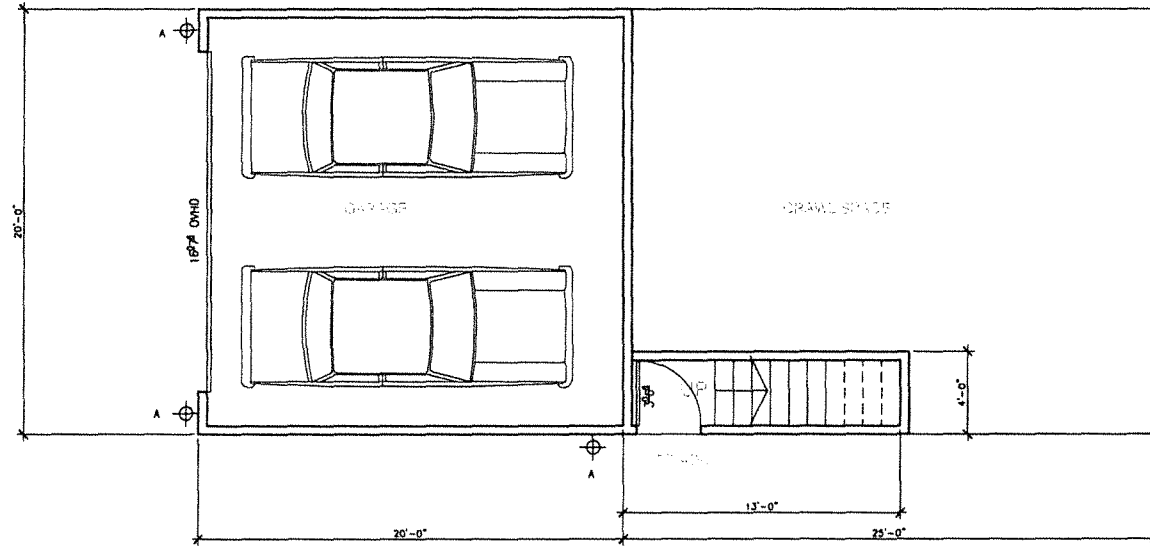
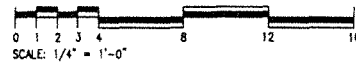
Date: 10-07-2021
Scale: As Noted
Drawn: LSK/ MP
Job #: 19049.00
Prototype: DWNE

A2.1



UPPER FLOOR AREA 795 SF

3
A2.2 PROPOSED UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

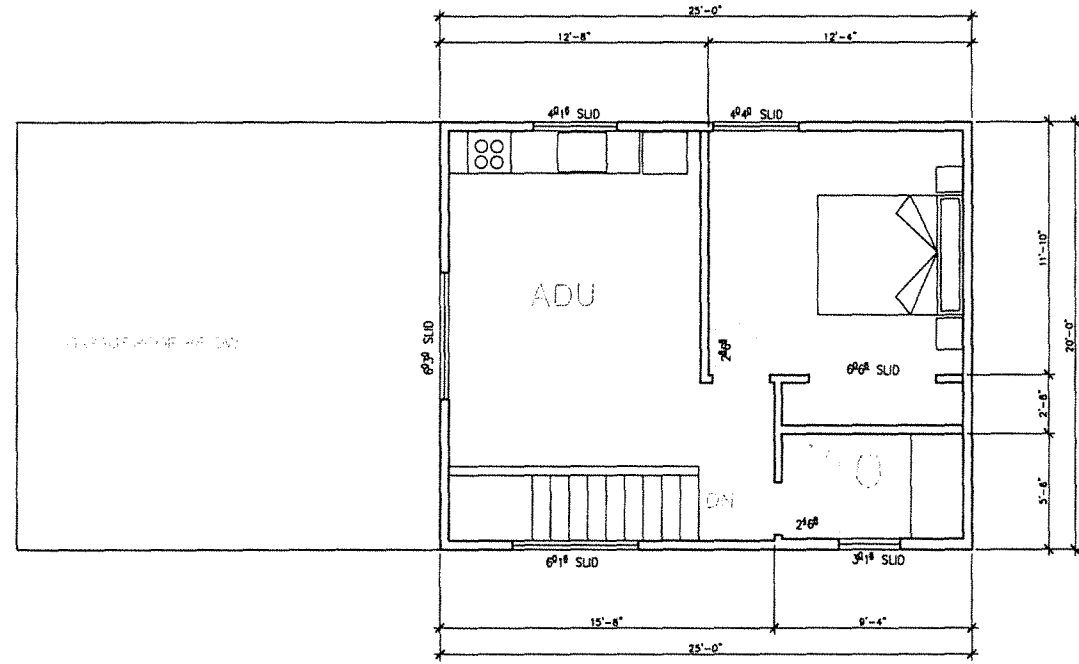


GARAGE FLOOR AREA 400 SF

1
A2.2 PROPOSED GARAGE PLAN
SCALE: 1/4" = 1'-0"



ADU FLOOR AREA 500 SF
2
A2.2 PROPOSED ADU PLAN
SCALE: 1/4" = 1'-0"



A R C H I T E C T S
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Phone: (415) 457-0220 Fax: (415) 454-9581

NEW RESIDENCE AND ADU
79 WOOD LANE
FAIRFAX, CA 94930
APN: 002-062-03
FOR: COBY FRIEDMAN

PROPOSED UPPER FLOOR PLAN
PROPOSED GARAGE PLAN
PROPOSED ADU PLAN

Revisions	Date
12-09-2020	12-09-2020
03-03-2021	03-03-2021
07-01-2021	07-01-2021
07-19-2021	07-19-2021
10-07-2021	10-07-2021
11-15-2021	11-15-2021
01-17-2022	01-17-2022

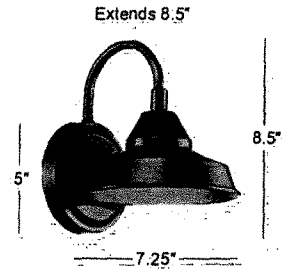
Date: 10-07-2021
Scale: As Noted
Drawn: LSK/MP
Job #: 19049.00
Prototype: DIVINE

A2.2

LIGHTING SCHEDULE					
Symbol	Label	MANUFACTURER/ MODEL	LAMP TYPE	Lum. Lumens	Comments
⊕	A	JOHN TIMBERLAND "WESTLEY" 8-1/2" HIGH x 7-1/4" WIDE	3,000K, LED 13W	1150	WALL MOUNTED EXTERIOR DOORS/ GARAGE
⊗	B	ELCO 6" RECESSED	3,000K, LED 10W	830	SOFFIT LIGHT

ALL EXTERIOR LIGHT FIXTURES SHALL BE DARK SKY COMPLIANT

FIXTURE A



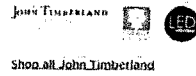
Westley 8 1/2" High Black LED Outdoor Wall Light

PRODUCT DETAILS

Make this charming Westley energy-efficient LED outdoor wall light a lovely feature outside your home.

Additional Info:

A traditional style that evokes warmth, this energy-efficient LED outdoor wall light looks great on a porch or patio. LED lighting ensures reliable and bright illumination. An oil-rubbed black finish complements its classic aura, offering character to any exterior. Gooseneck arm, barn-style lighting is a fabulous finishing touch for traditional, rustic, and farmhouse styles.



Shop at JohnTimberland

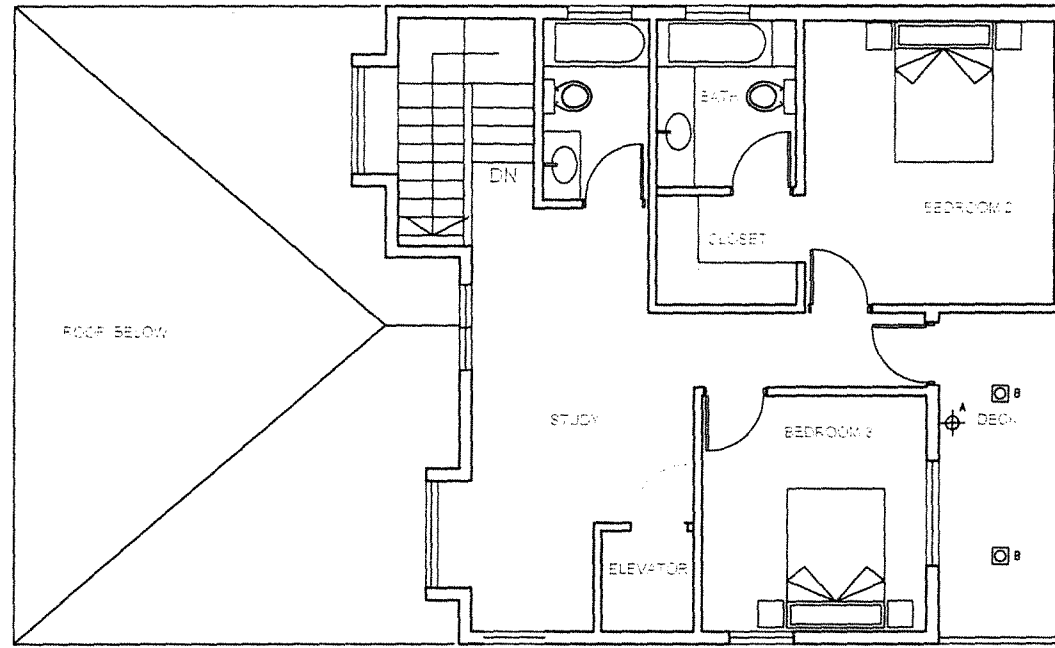
- 8 1/2" high x 7 1/4" wide. Extends 8 1/2" from the wall. Backplate is 5" wide x 1" high. Weighs 1.23 lbs.

- 13 watt built-in LED module has a light output comparable to a 75 watt incandescent bulb. 1150 lumens. 3000K, 80 CRI. LED is not dimmable.

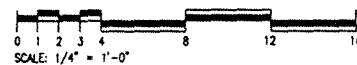
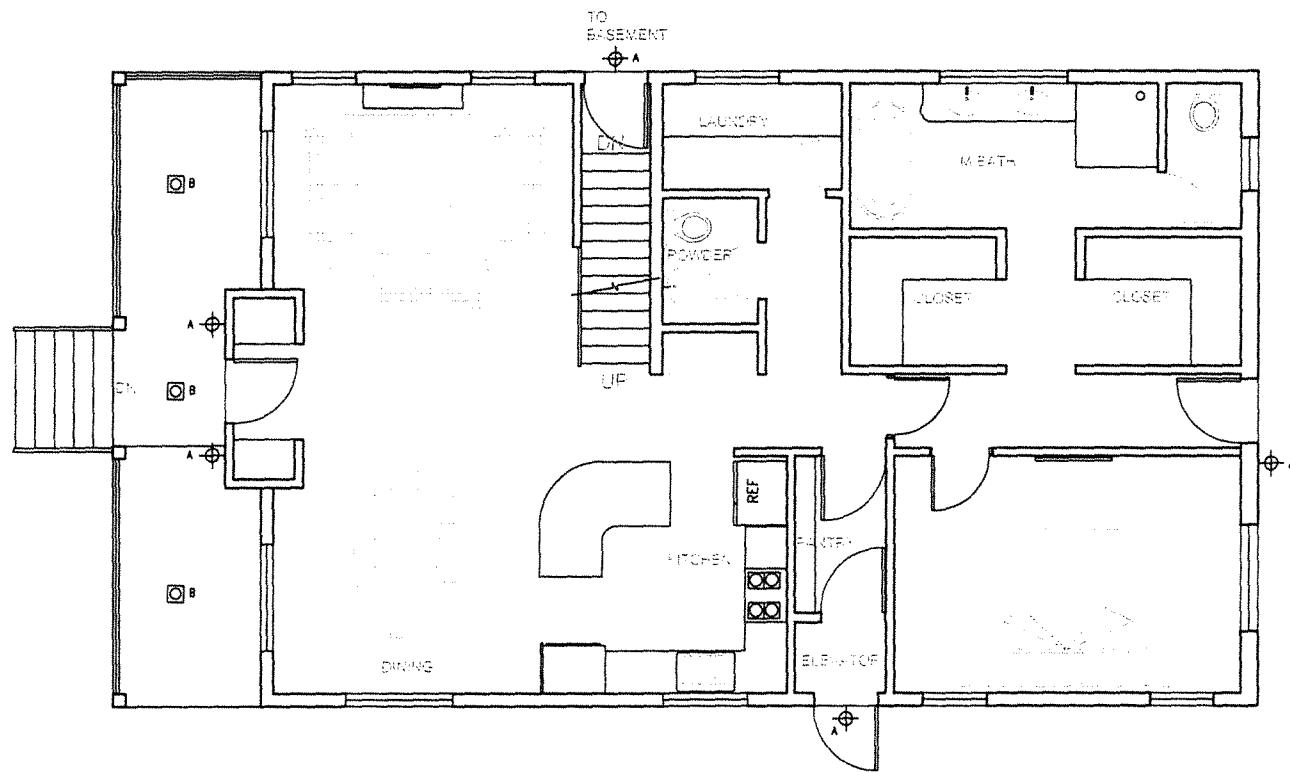
- Westley energy-efficient LED outdoor wall light inspired by industrial and farmhouse barn lights.

- A Dark Sky design outdoor light that directs light to the ground, not the sky.

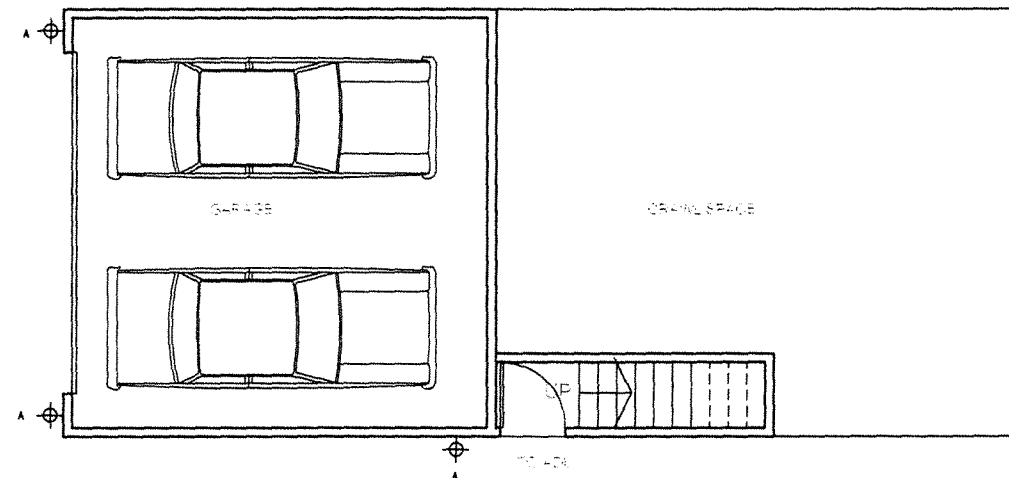
- Black finish wall plate, gooseneck arm, and light. Steel construction.



2 PROPOSED EXTERIOR LIGHTING UPPER LEVEL NORTH
SCALE: 1/4" = 1'-0"



1 PROPOSED EXTERIOR LIGHTING LOWER LEVEL NORTH
SCALE: 1/4" = 1'-0"



NORTH

ARCHITECTS
FREDRIC C. DIVINE ASSOCIATES
1924 FOURTH ST. SAN RAFAEL, CA 94901
Phone: (415) 457-0220 Fax: (415) 454-9581

NEW RESIDENCE AND ADU
79 WOOD LANE
FAIRFAX, CA 94930
APN: 002-062-03
FOR: COBY FRIEDMAN

PROPOSED EXTERIOR LIGHTING

Revision	Date
12-09-2020	12-09-2020
△ PLANNING SUBMITTAL	03-03-2021
△ PLANNING COMMENTS	07-01-2021
△ PLANNING COMMENTS	07-19-2021
△ PRODUCT DATA CORRECTION	10-07-2021
△ PLANNING COMMENTS	11-15-2021
△ UNPAID DRAWINGS	01-12-2022
△ FLOOR AREA CORRECTIONS	

Date: 10-07-2021
Scale: As Noted
Drawn: LSK/ MP
Job #: 19049.00
Prototype: DIVINE

A2.3

PROPOSED EXTERIOR FINISH COLORS

METAL ROOF:
ASC STRATA RIB "SLATE GREY"

FASCIA & GUTTER
TO MATCH BENJAMIN MOORE OC-16 "CEDAR KEY"

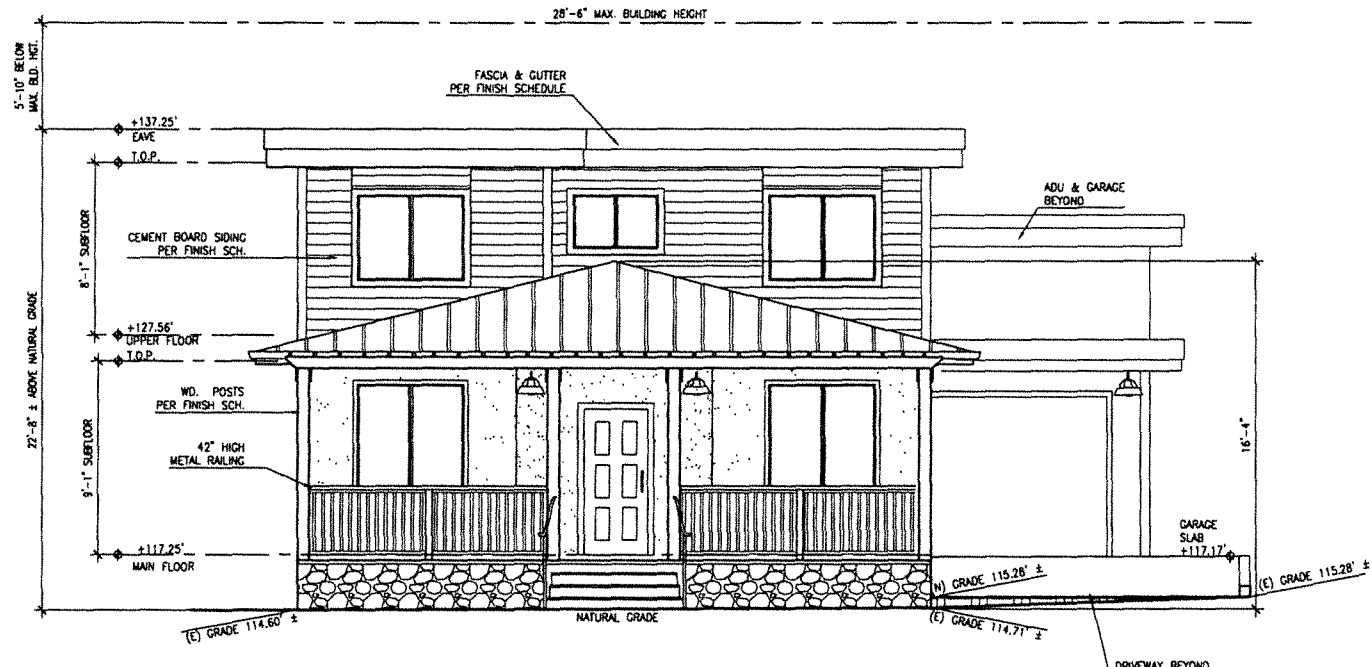
CEMENT BOARD LAP SIDING:
JAMES HARDIE SIDING PAINTED BENJAMIN MOORE HC-137 "WATERBURY GREEN"

STUCCO WAINSCOT:
PAINTED BENJAMIN MOORE OC-16 "CEDAR KEY"

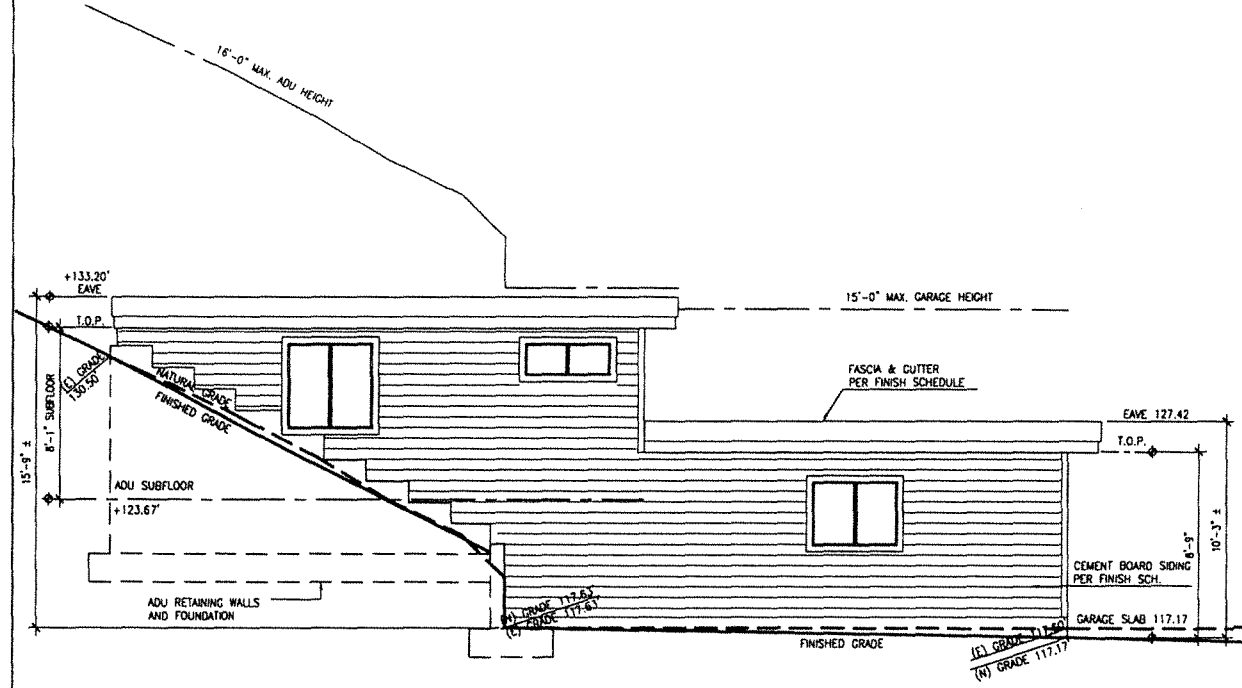
WINDOWS:
MARVIN ESSENTIAL FIBERGLASS "EBONY" EXTERIOR COLOR,
"STONE WHITE" INTERIOR COLOR

CEMENT BOARD WINDOW TRIM:
PAINTED BENJAMIN MOORE OC-16 "CEDAR KEY"

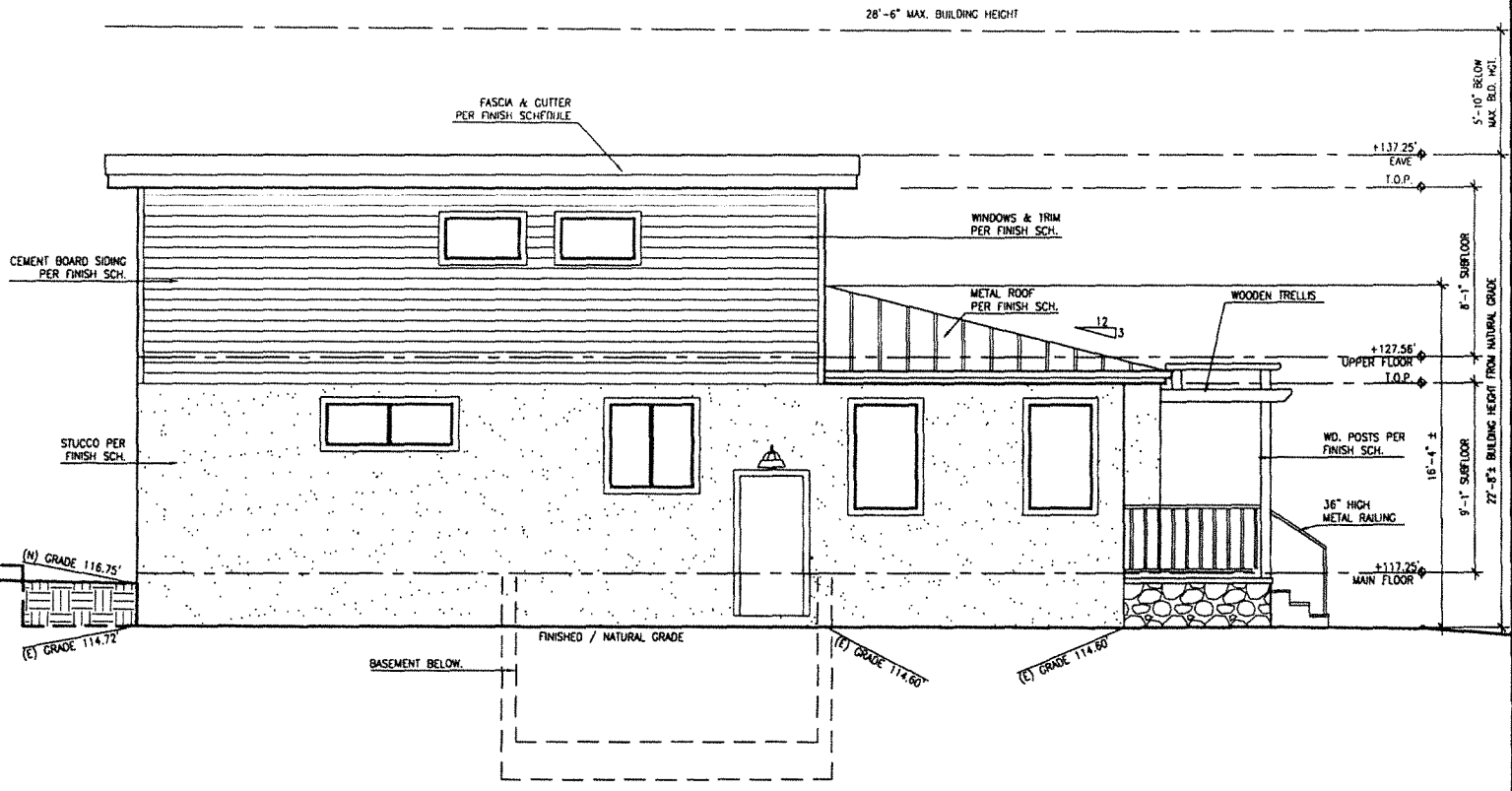
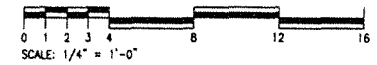
RAILINGS:
BLACK METAL



3 RESIDENCE - NORTH ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



2 GARAGE / ADU - EAST ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



1 RESIDENCE - EAST ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

ARCHITECTS
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Phone: (415) 457-0220 Fax: (415) 454-9581

NEW RESIDENCE AND ADU
79 WOOD LANE
FAIRFAX, CA 94930
APN: 002-062-03
FOR: COBY FRIEDMAN

EXTERIOR ELEVATIONS

12-05-2020	REVISION
03-03-2021	PLANNING SUBMITTAL
07-01-2021	PLANNING COMMENTS
07-19-2021	PROJECT DATA CORRECTION
10-07-2021	PLANNING COMMISSION COMMENTS

Date: 10-07-2021
Scale: As Noted
Drawn: LSK/MP
Job #: 19049.00
Prototype: DIVINE

A3.1

PROPOSED EXTERIOR FINISH COLORS

METAL ROOF:
ASC STRATA RIB "SLATE GREY"

FASCIA & GUTTER
TO MATCH BENJAMIN MOORE OC-16 "CEDAR KEY"

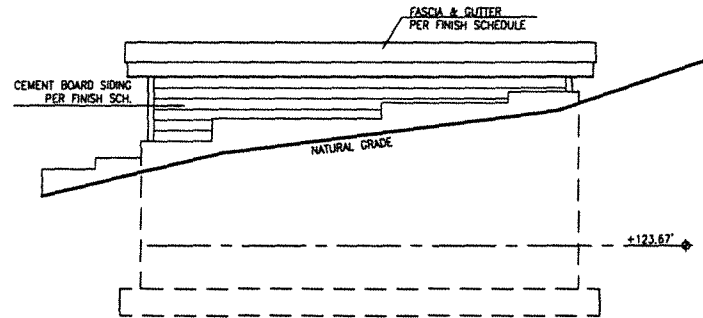
CEMENT BOARD LAP SIDING:
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STUCCO WAINSCOT:
PAINTED BENJAMIN MOORE OC-16 "CEDAR KEY"

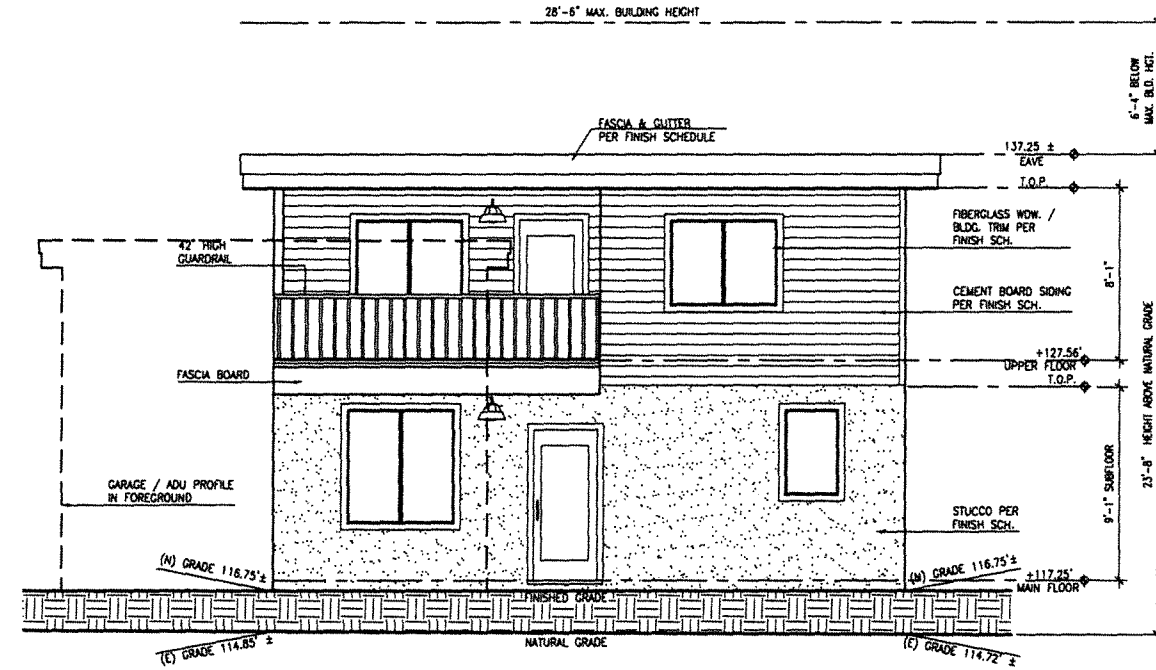
WINDOWS:
MARVIN ESSENTIAL FIBERGLASS "EBONY" EXTERIOR COLOR,
"STONE WHITE" INTERIOR COLOR

CEMENT BOARD WINDOW TRIM:
PAINTED BENJAMIN MOORE OC-16 "CEDAR KEY"

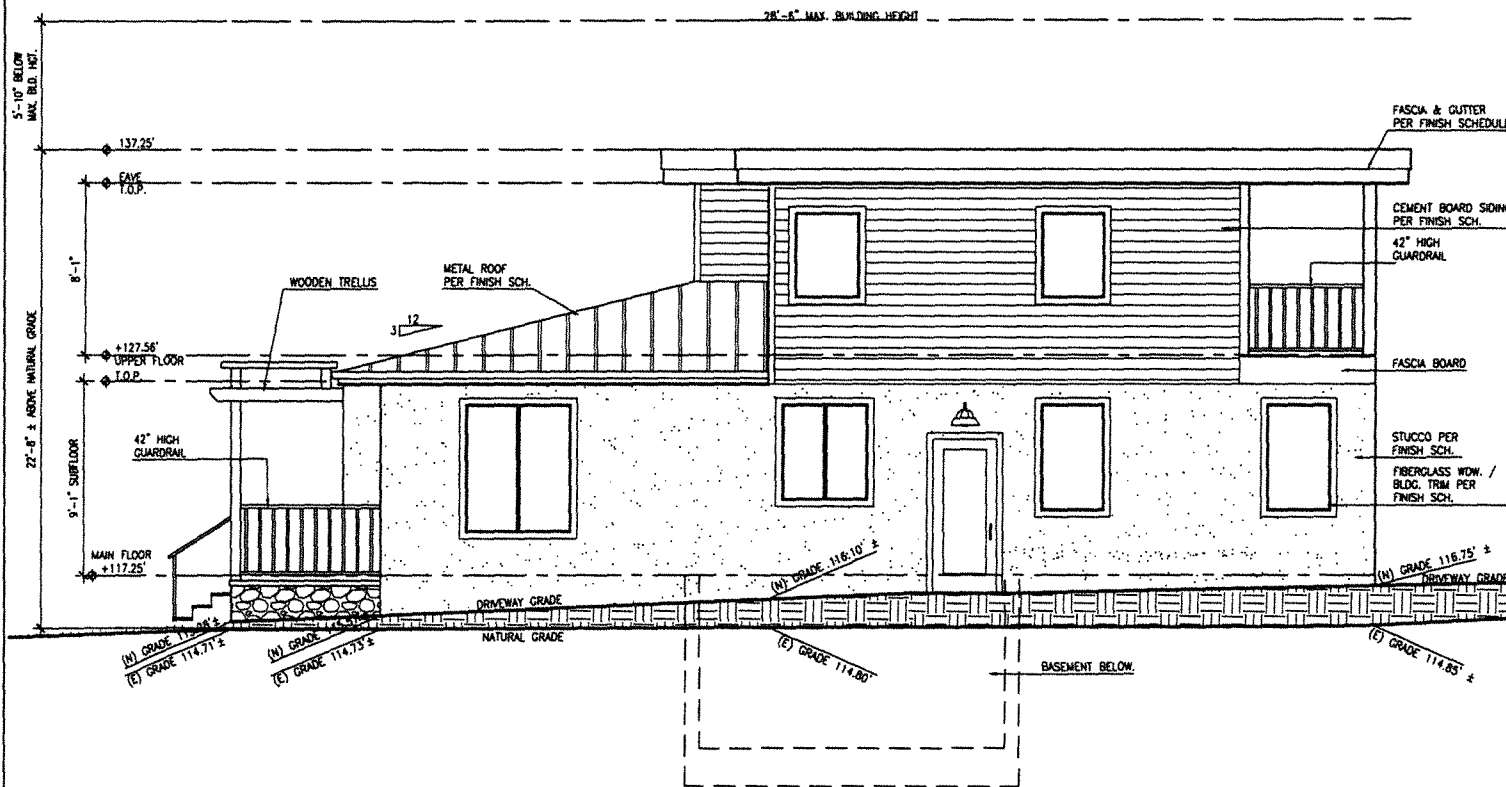
RAILINGS:
BLACK METAL



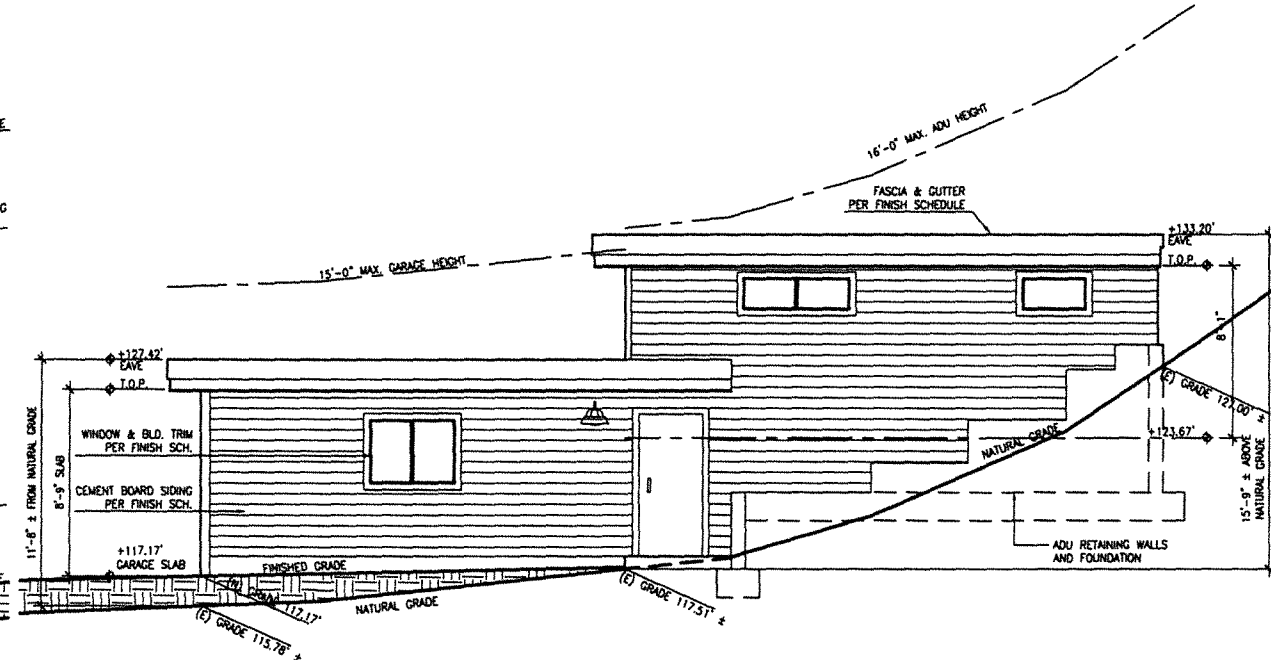
4 GARAGE / ADU - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



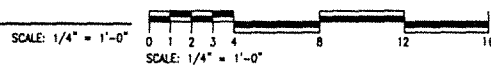
3 RESIDENCE - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 RESIDENCE - WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 GARAGE / ADU - WEST ELEVATION
SCALE: 1/4" = 1'-0"



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FOR: COBY FRIEDMAN

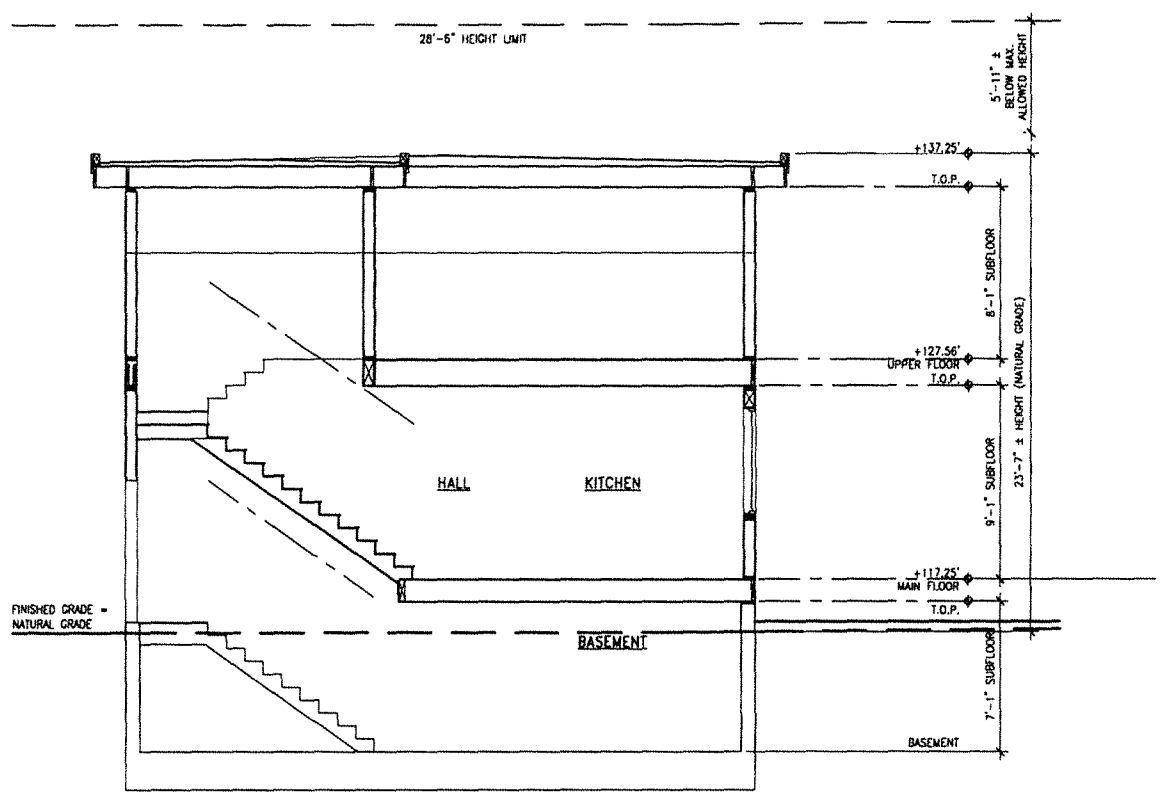
EXTERIOR ELEVATIONS

12-09-2020	REVISIONS
03-03-2021	PLANNING COMMENTS
07-18-2021	PROJECT DATA CORRECTION
10-07-2021	PLANNING COMMISSION COMMENTS

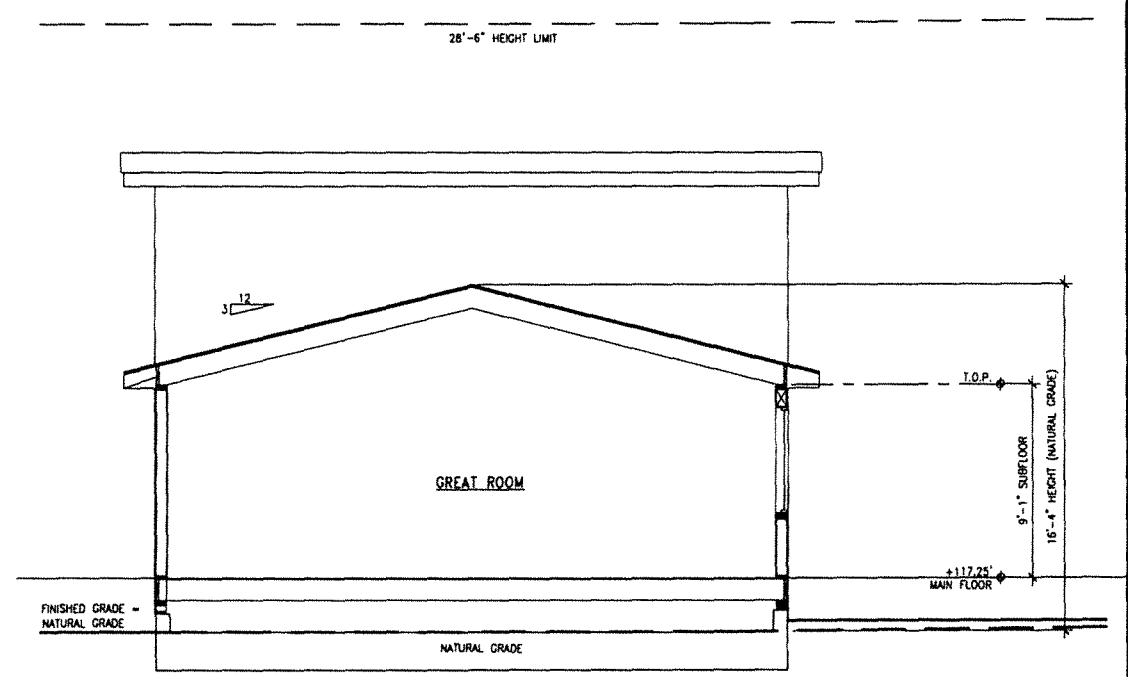
Date: 10-07-2021
Scale: As Noted
Drawn: LSK/MP
Job #: 19049.00
Prototype: DIVINE

A3.2

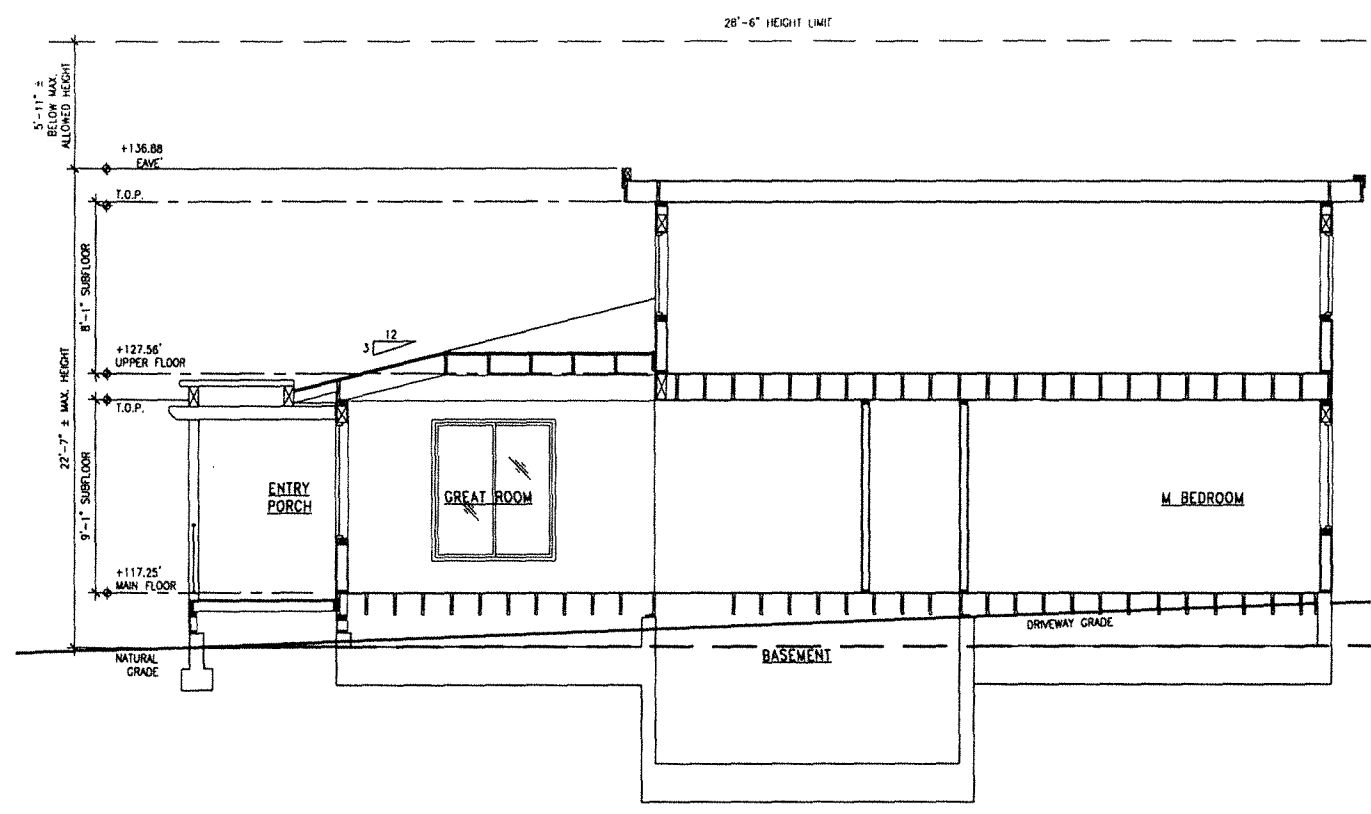
Revisions	12-09-2020
PLANNING SUBMITTAL	03-03-2021
PLANNING COMMENTS	07-01-2021
PROJECT DATA CORRECTION	07-19-2021
PLANNING COMMISSION COMMENTS	10-07-2021
Date:	10-07-2021
Scale:	As Noted
Drawn:	LSK/MP
Job #	19049.00
Prototype	DIVINE



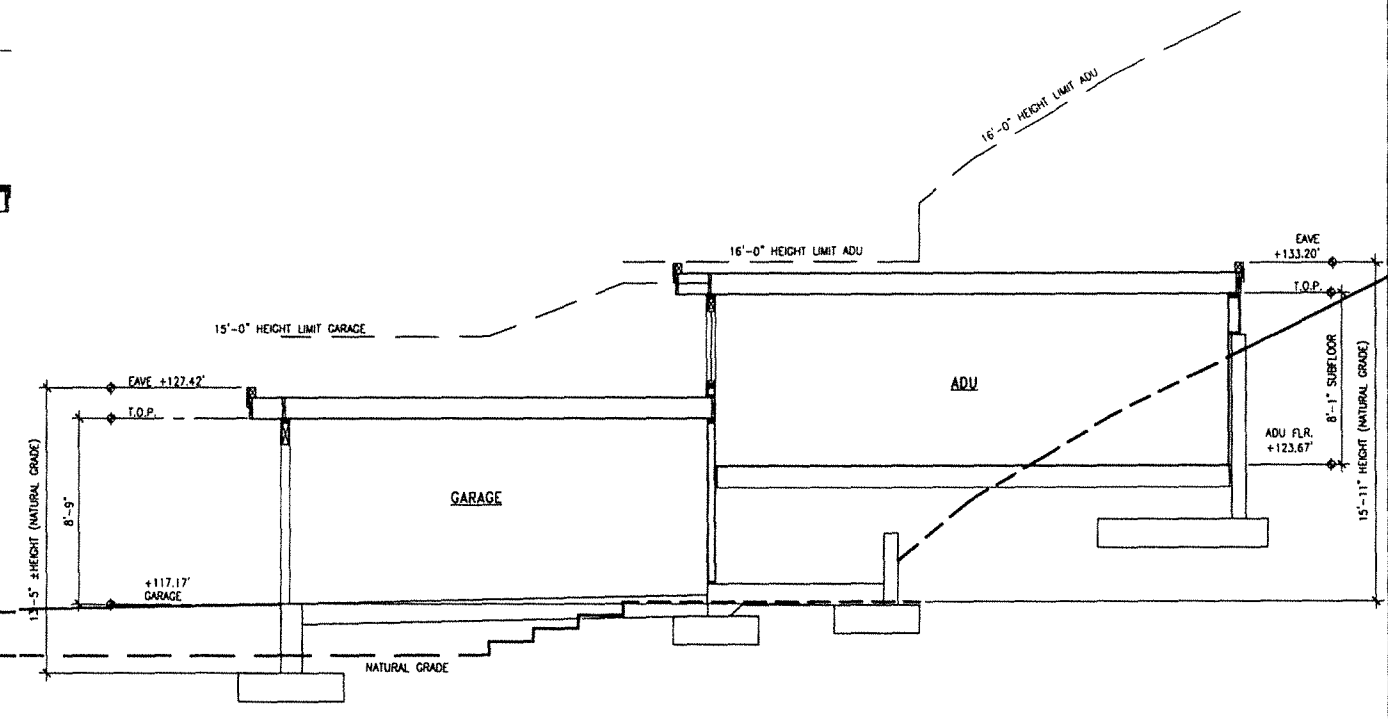
4 BUILDING SECTION C-C
 A4 SCALE: 1/4" = 1'-0"



3 BUILDING SECTION B-B
 A4 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION A-A
 A4 SCALE: 1/4" = 1'-0"



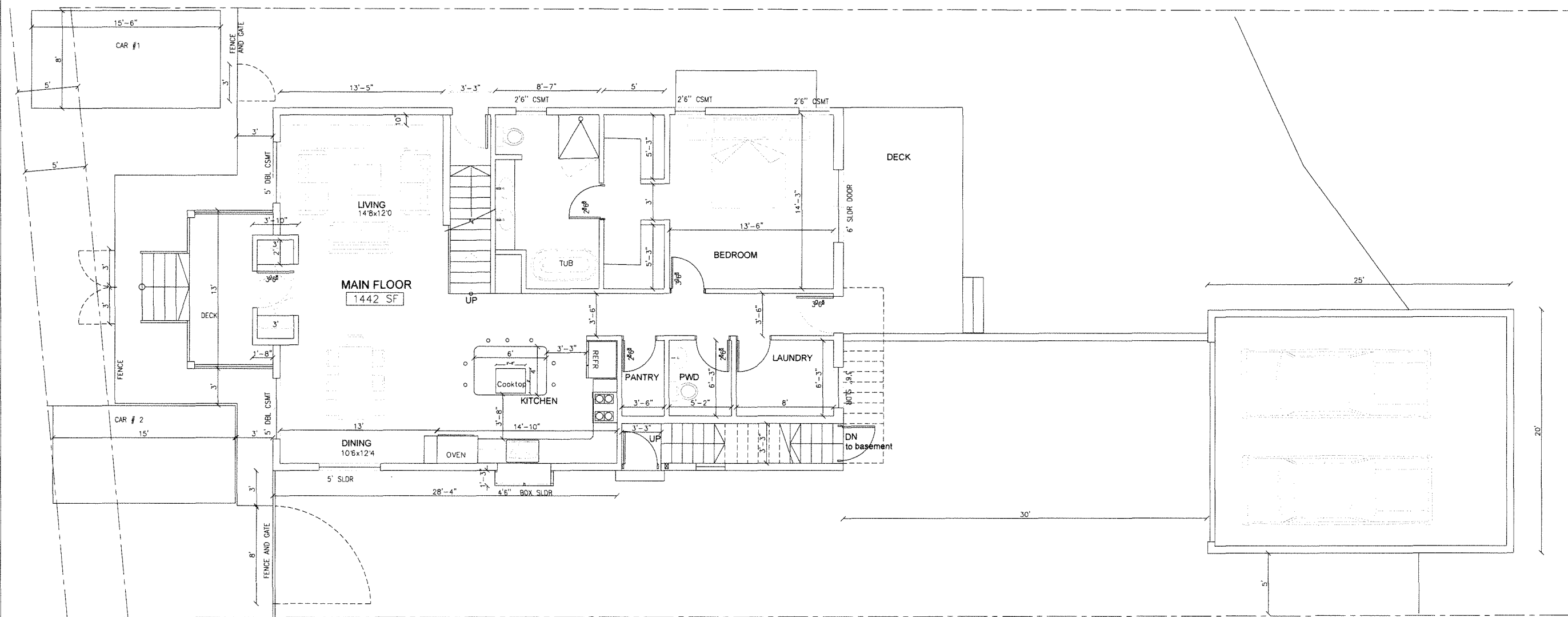
1 GARAGE/ADU SECTION A-A
 A4 SCALE: 1/4" = 1'-0"



75 WOOD LANE

79 WOOD LANE
BENEDICT - FRIEDMAN

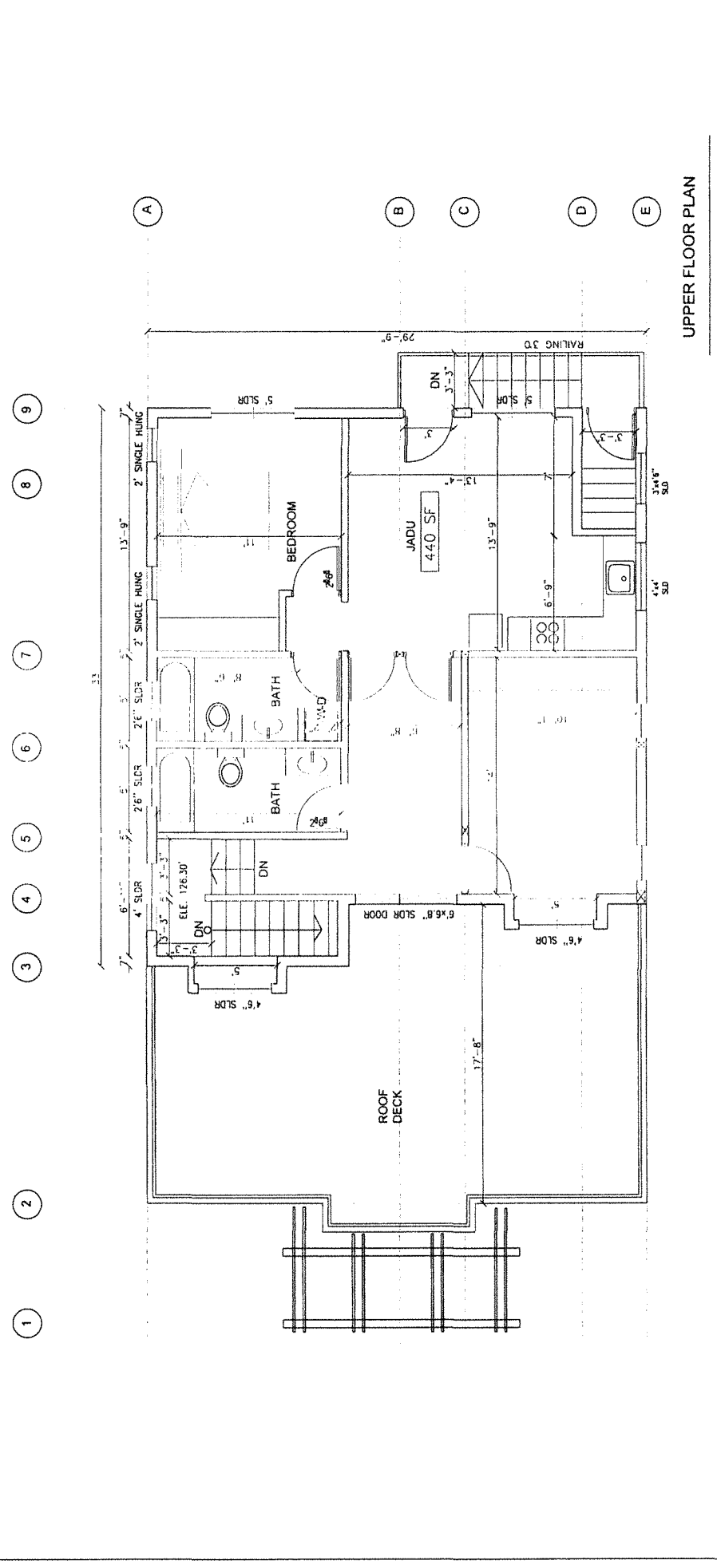
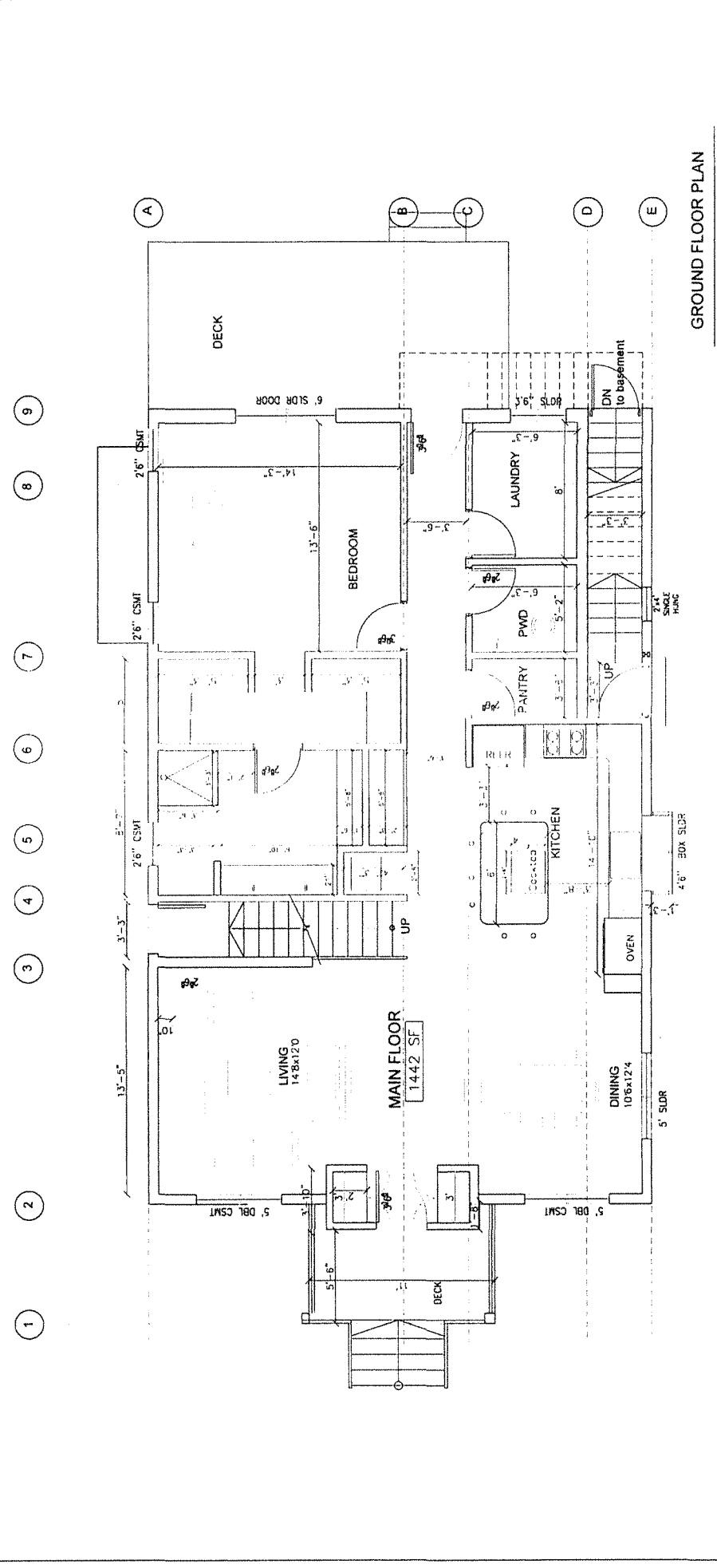
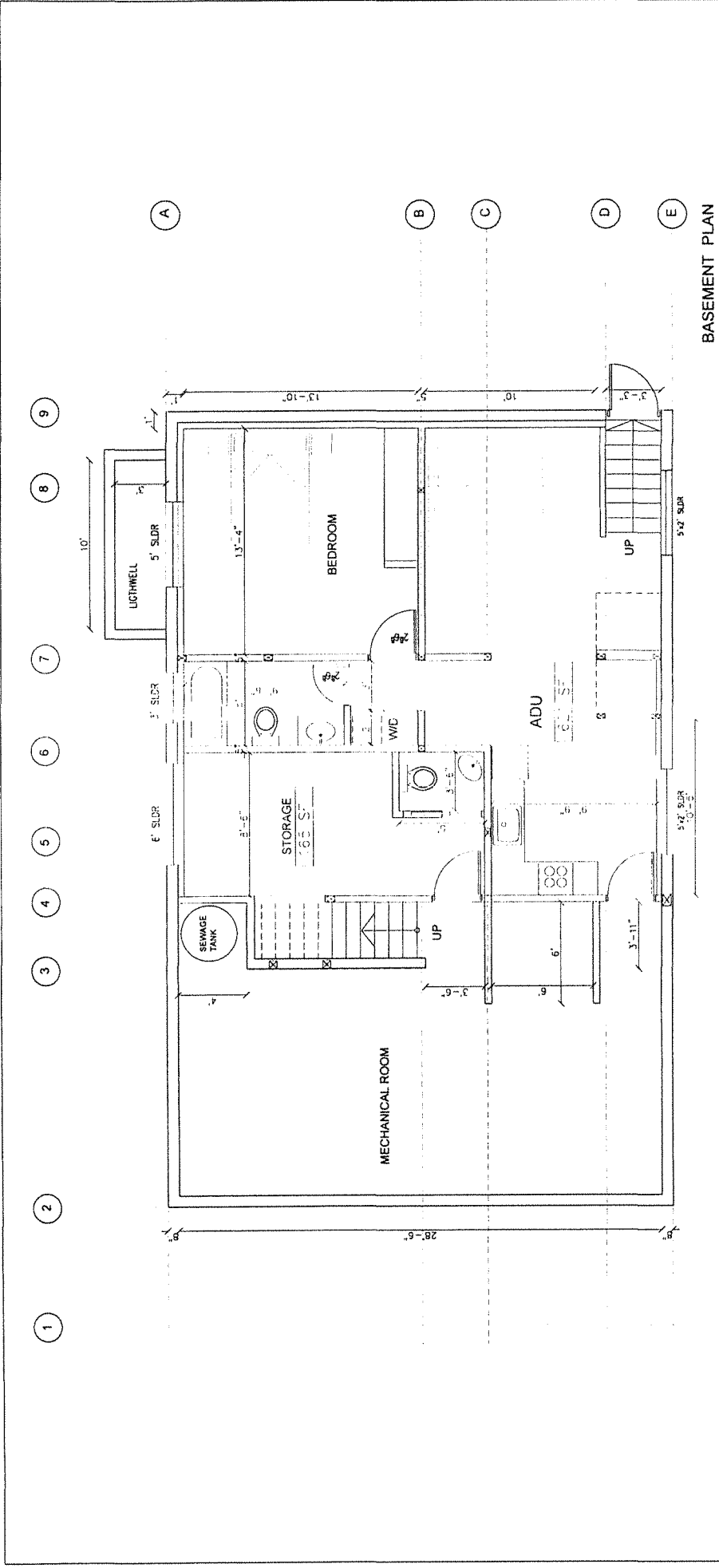
85 WOOD LANE

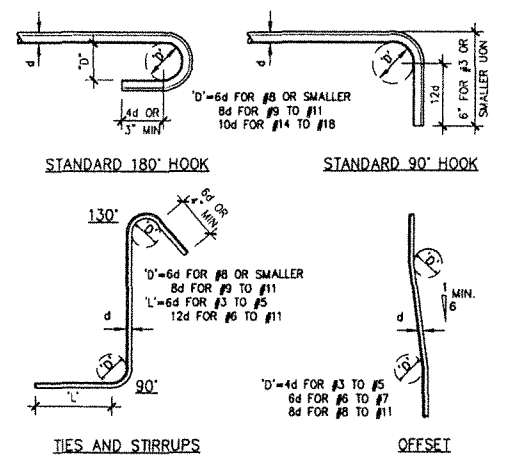


GROUND FLOOR PLAN

ATTACHMENT C

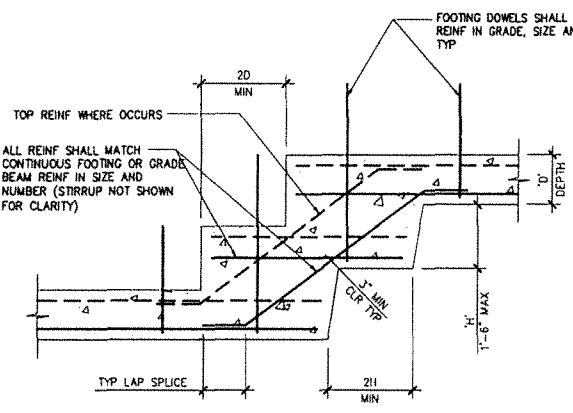
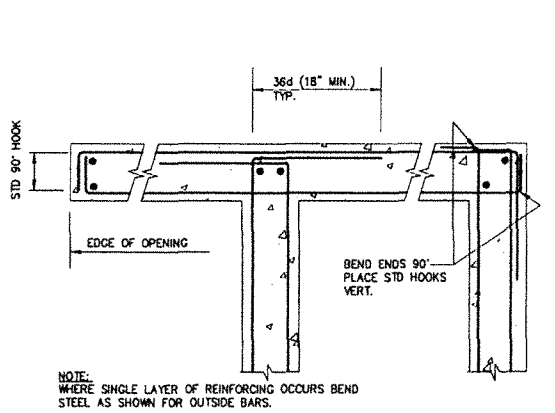
SUBMITTED BY : COBY FRIEDMAN	Tel. 415-310-5442 Email: coby@cfcontracting.com Fax: 415-296-6437
FRIEDMAN RESIDENCE	79 WOOD LANE FAIRFAX, CA 94930
GROUND FLOOR AND GARAGE PLAN	





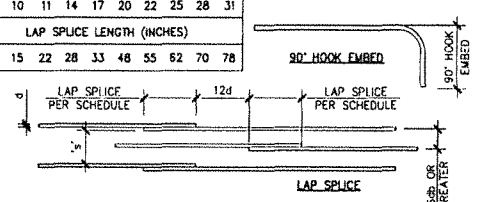
1 (S-1.1) **STANDARD REINFORCEMENT HOOKS & BENDS**

NOTE:
 1. ALL BENDS SHALL BE MADE COLD.
 2. #14 AND #18 BARS SHALL BE BEND TESTED LAB APPROVED PRIOR TO BENDING.
 3. DO NOT BEND BARS ALREADY CAST IN CONCRETE UNLESS OTHERWISE NOTED.



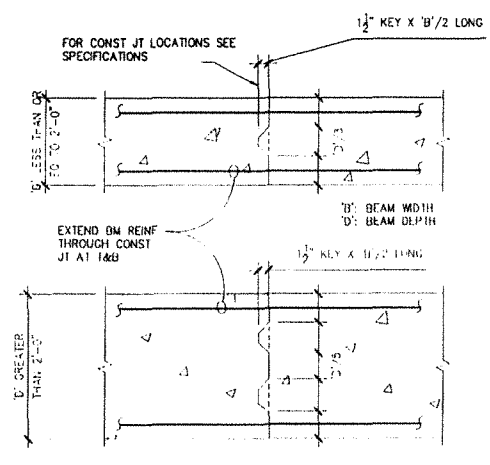
WALL AND FOOTING LAP SPICE SCHEDULE

F _c CONCRETE STRENGTH	REBAR SIZE										
	GRADE 40					GRADE 60					
	#3	#4	#5	#6	#7	#8	#9	#10	#11		
3000	8	10	11	14	17	20	22	25	28	31	90° HOOK EMBED (INCHES)
3000	12	15	22	28	33	48	55	62	70	78	LAP SPICE LENGTH (INCHES)

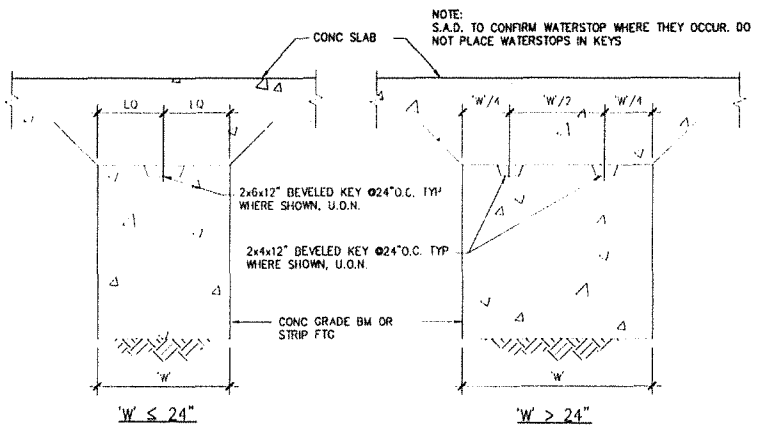


REINFORCEMENT LAP SPICE NOTE:

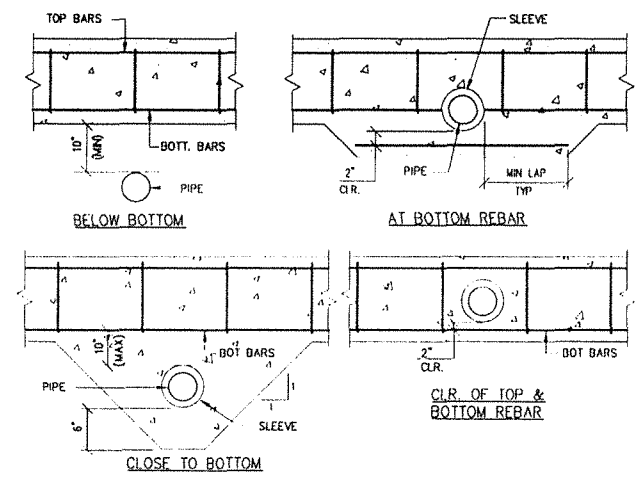
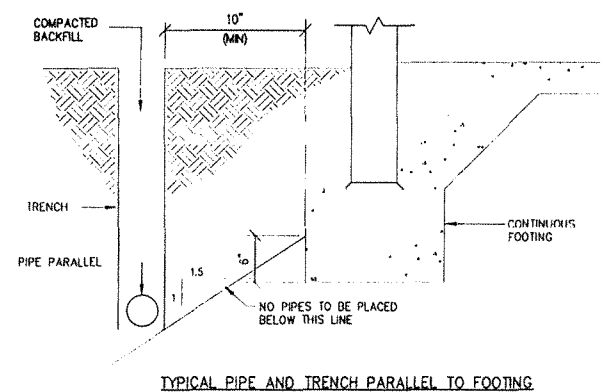
1. STAGGERED LAPS BETWEEN ADJACENT BAR SPICE.
2. MULTIPLY ALL LENGTH BY 1.5 IF EITHER OF THE FOLLOWING ARE TRUE:
 A. CLEAR COVER IS LESS THAN 1 BAR DIAMETER (d)
 B. CLEAR SPACING 's' OF BARS IS LESS THAN 2d
3. NONCONTACT SPICE WITH MIN 3d SPACING SHALL BE USED FOR SHOTCRETE.



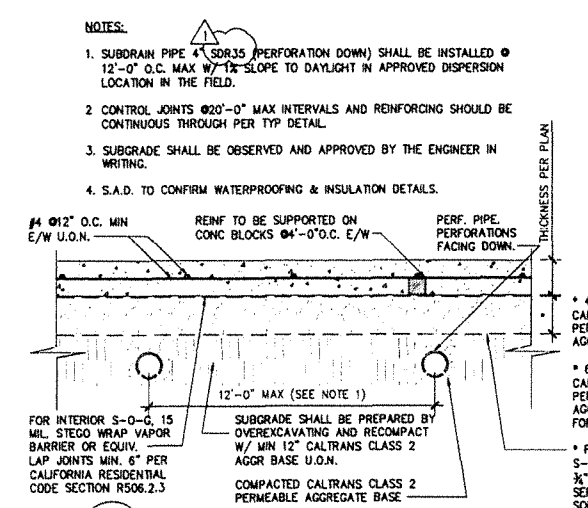
5 (S-1.1) **(TYP) CONC BEAM CONST JOINTS**



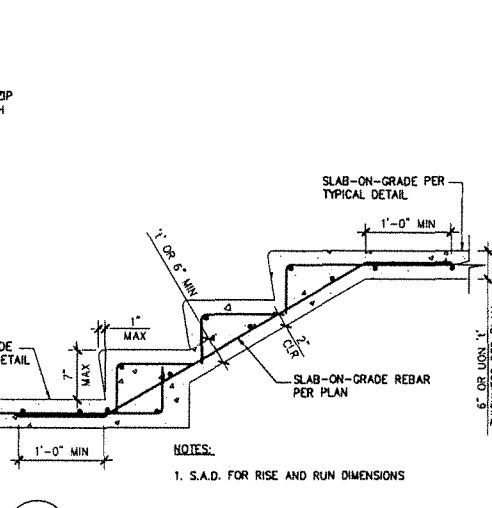
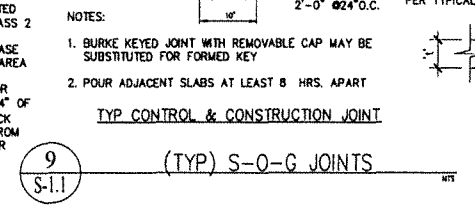
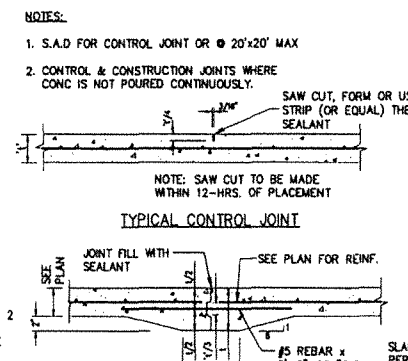
6 (S-1.1) **(TYP) FOOTING KEY**



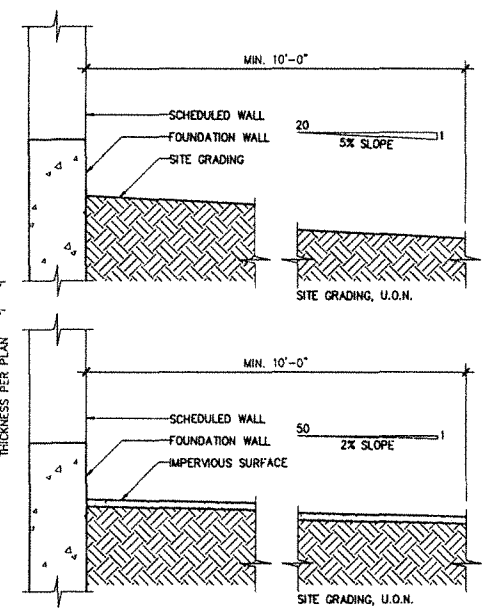
7 (S-1.1) **(TYP) PIPES PERPENDICULAR TO FOOTING**



8 (S-1.1) **(TYP) SLAB-ON-GRADE**



10 (S-1.1) **(TYP) CONCRETE STAIR ON GRADE**



11a (S-1.1) **(TYP) SITE GRADING**

11b (S-1.1) **(TYP) SITE GRADING**

REVISIONS

NO.	DATE	BY
1	2022-06-21	DL
2	2022-09-21	DL
3	2023-04-20	DL

Darius Abolhassani Consultant & Associates, Inc.
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7 Mt. Lassen Drive, Suite A-129, San Rafael, CA 94903
 Phone: (415)499-1919 Email: darius@dacassociates.net

NEW RESIDENCE & ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 PROJECT APN 002-062-03

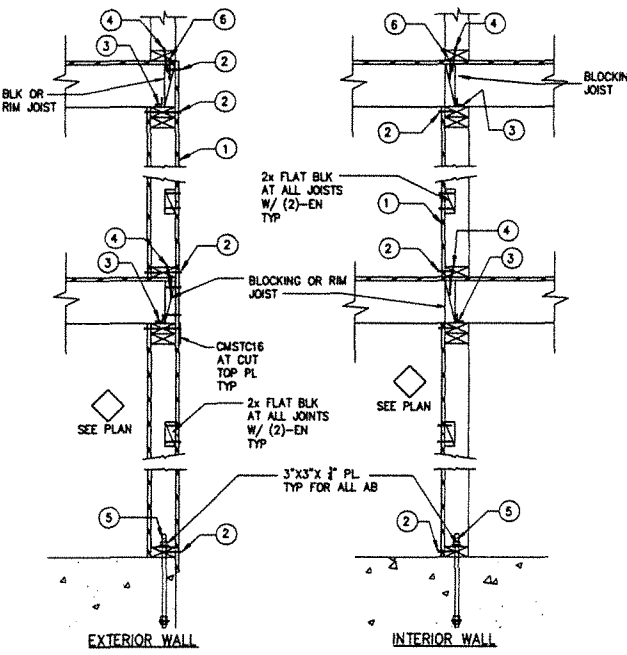
STRUCTURAL TYPICAL DETAILS

DATE: 2022-04-08
 SCALE: AS SHOWN
 DRAWN BY: DL
 JOB NUMBER: 1477-0822 S

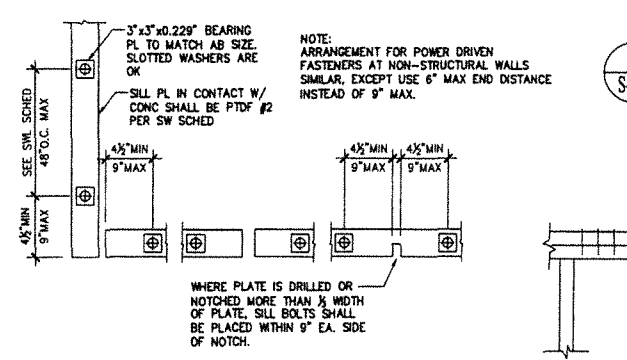
SHEET 2
S-1.1
 OF 14 SHEET

SHEAR WALL SCHEDULE							
MARK	SHEATHING	EDGE NAIL (EN) FIELD NAIL (FN)	FRAMING CLIPS	SOLE PL MAX	ANCHOR BOLTS	FL/ROOF EDGE NAIL	Code Value (A S D)
1	1/2" STRUCTURAL 1	10d @ 4" O.C. 10d @ 12" O.C.	A35 @ 12" O.C.	20d @ 4" O.C. OR SDS 1/4" x 5 @ 8"	5/8" @ 32" O.C. W/8" EMBED.	SEE DIAPHRAGM SCHED	510 PLF
2	1/2" STRUCTURAL 1	10d @ 3" O.C. 10d @ 12" O.C.	A35 @ 8" O.C.	20d @ 3" O.C. OR SDS 1/4" x 5 @ 8"	5/8" @ 32" O.C. W/8" EMBED.	SEE DIAPHRAGM SCHED	655 PLF
3	1/2" STRUCTURAL 1	10d @ 2" O.C. 10d @ 12" O.C.	A35 @ 6" O.C.	SDS 1/4" x 5 @ 8"	5/8" @ 16" O.C. W/8" EMBED.	SEE DIAPHRAGM SCHED	870 PLF
4	2-SIDED 1/2" STRUCTURAL 1	10d @ 2" O.C. 10d @ 12" O.C.	A35 @ 4" O.C.	SDS 1/4" x 5 @ 3" O.C.	5/8" @ 8" O.C. W/8" EMBED.	SEE DIAPHRAGM SCHED	1740 PLF
5	SIMPSON STRONG WALL	SEE MANUFACTURER'S SPECIFICATIONS					XXXX LB

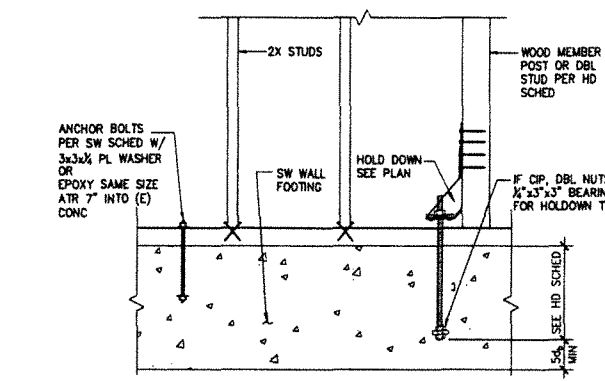
NOTES:
 * SEE STRUCTURAL PLANS FOR SHEAR WALL TYPE, HOLDOWN, AND LOCATION
 * ALL INFORMATION IN THE ABOVE SCHEDULE RELATES TO THE ITEMS SHOWN IN THE ACCOMPANYING WALL SECTIONS. ALL PARTS REQUIRED FOR EACH SHEAR WALL TYPE OCCUR IN THE WALLS BETWEEN THE LEVEL REPRESENTED BY THE FRAMING PLAN AND THE LEVEL ABOVE.
 * EXAMPLE: (A SHEARWALL SHOWN ON THE SECOND FLOOR FRAMING PLAN WITH A MARK 1 NEXT TO IT, SHALL HAVE ALL THE PARTS REQUIRED FOR A TYPE 1 WALL INSTALLED IN THE WALL BETWEEN THE SECOND AND THIRD FLOORS OR SECOND FLOOR AND ROOF).
 * WHERE THE SHEAR WALL SPECIFIED ON ONE SIDE OF THE WALL ONLY, PLACE SHEATHING ON SIDE OF WALL WHERE SYMBOL 1 IS SHOWN ON PLAN
 * WHERE THE SHEAR WALL SPECIFIED ON BOTH SIDES OF THE WALL, JOISTS AND SILL PL NAILING SHALL BE STAGGERED IN ALL CASES. PANELS JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.
 * AT SHEAR WALLS WITH CODE VALUES EXCEEDING 350 PLF, PROVIDE 3x SILL PL. AND 3x STUD (OR DBL 2x STUDS JOINED TOGETHER WITH SDS SCREWS @ 6" O.C. MAX.) AT FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS. EDGE NAILING ON ABUTTING PANELS SHALL BE STAGGERED.
 * AT SHEAR WALLS WITH 2" O.C. EDGE NAILING, PROVIDE 3x SILL PL. AND 3x STUD AT FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS. EDGE NAILING ON ABUTTING PANELS SHALL BE STAGGERED.



1 (TYP) WALL SECTIONS S-1.2

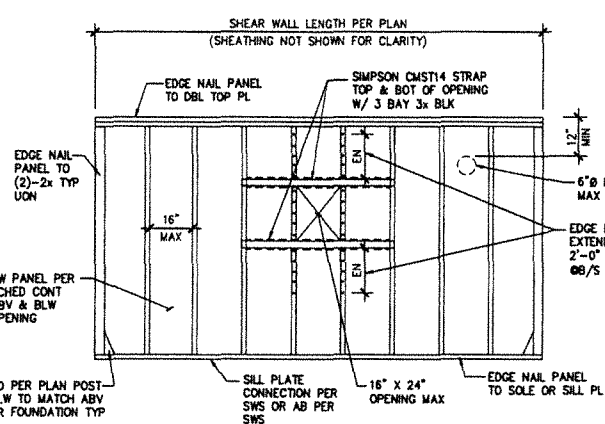


7 (TYP) SILL ANCHOR BOLT LAYOUT S-1.2

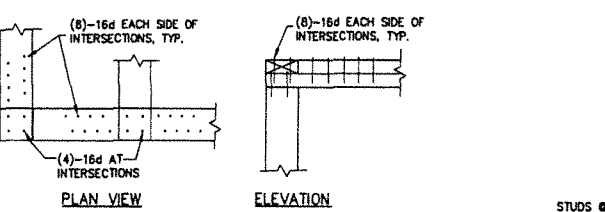


HOLDOWN/TIEDOWN SCHEDULE						
HOLDOWN	ANCHOR DIA 1/4"	UPLIFT (LB)	MIN EMBEDMENT IN CONCRETE	FLR TO FLR OPTION	MIN WOOD MEMBER	
HDU2	3/8"	3,075	SB 3/4"x24/SS1824 OR ATR EMBED 14"	8"	WSTC52 (FLR<16")	2-2x OR 4x #1
HDU4	3/8"	4,565	SB 3/4"x24/SS1828 OR ATR EMBED 18"	10"	WSTC52 (FLR<16")	2-2x OR 4x #1
HDU5	3/8"	5,645	SB 3/4"x24 OR ATR EMBED 20"	12"	WSTC66 (FLR<16")	2-2x OR 4x #1
HDU8	3/8"	7,870	SB 3/4"x24 OR ATR EMBED 20"	14"	N/A	3-2x OR 4x #1
HDU11-A	1"	9,335	SB 1x30 OR ATR EMBED 24"	16"	N/A	4x 55
HDU11-B	1"	11,175	SB 1x30 OR ATR EMBED 24"	16"	N/A	4x 55

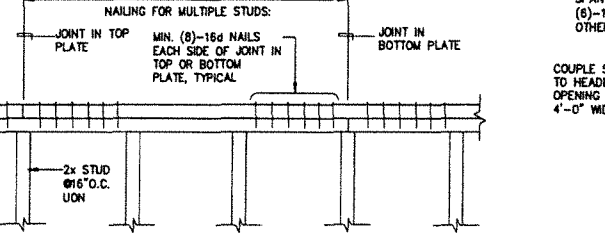
2 (TYP) HOLDOWN/TIEDOWN SCHEDULE S-1.2



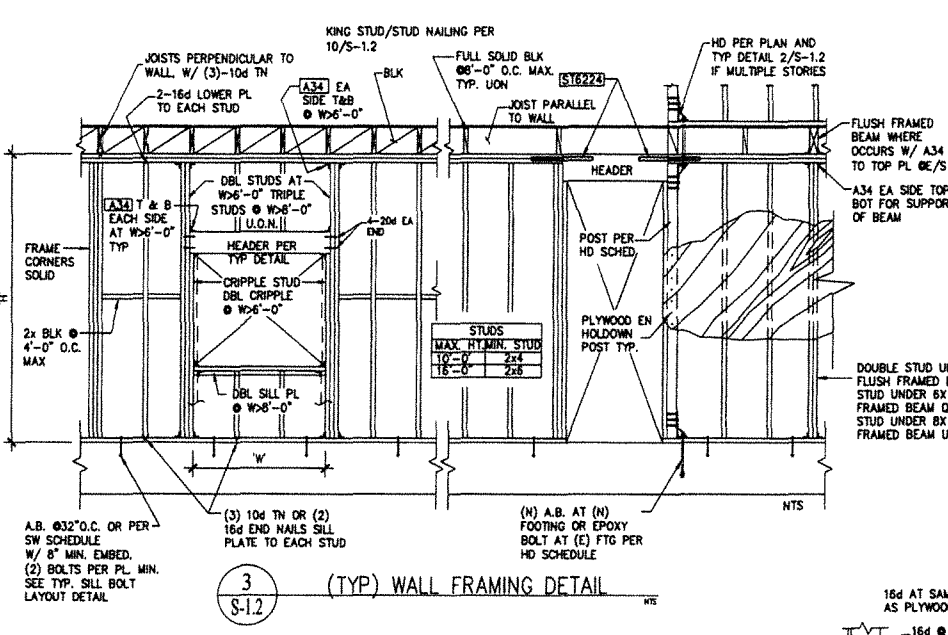
4 (TYP) SW WITH OPENING < 16"x24" S-1.2



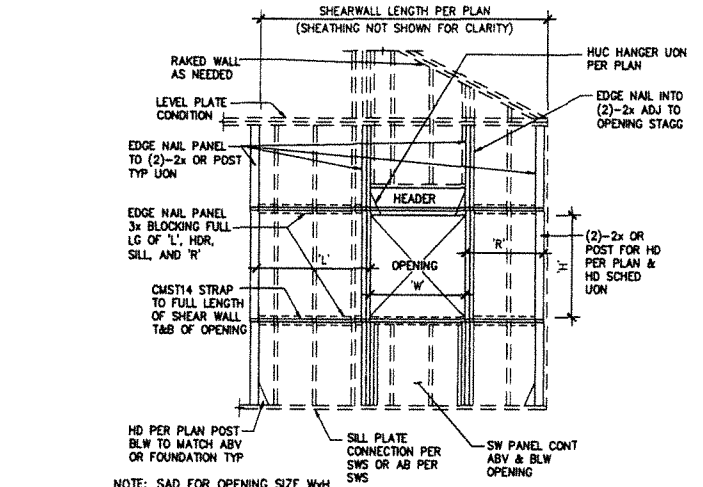
8 (TYP) TOP PLATE INTERSECTION S-1.2



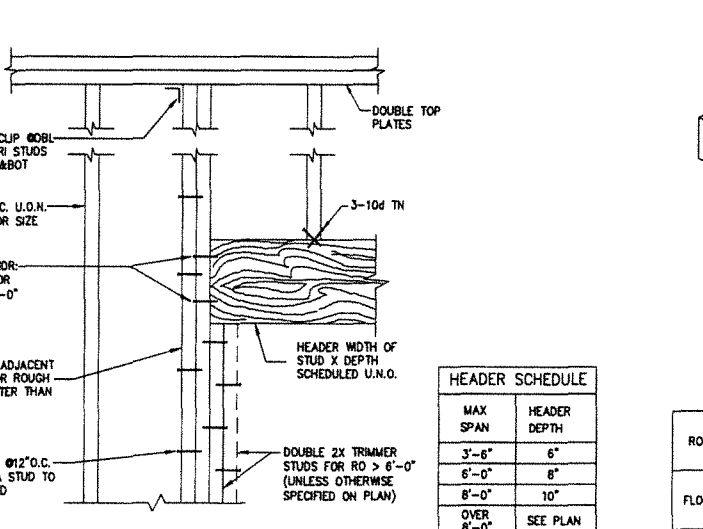
9 (TYP) NAILED TOP PLATE SPLICE S-1.2



3 (TYP) WALL FRAMING DETAIL S-1.2

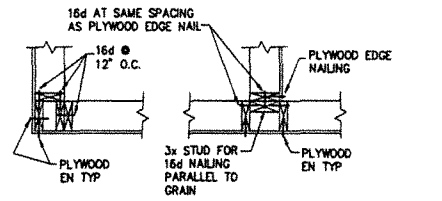


5 (TYP) SW WITH LARGE OPENING S-1.2

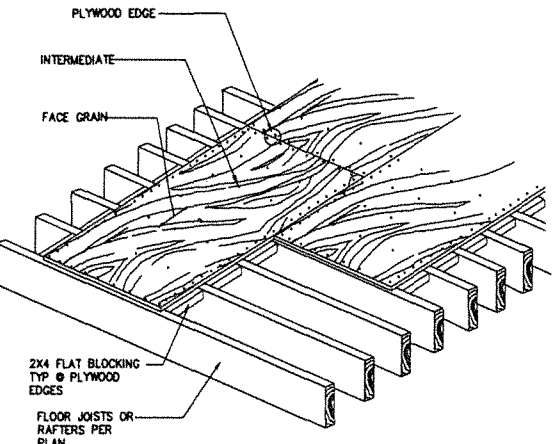


10 (TYP) SINGLE OPENING FRAMING W/ HEADER S-1.2

- WALL FRAMING NOTE:
1. WALLS SHALL BE FRAMED WITH STUDS NOT LESS THAN STUDDING ABOVE WITH MINIMUM HEIGHT OF 14". CRIPPLE WALL LESS THAN 14" HEIGHT SHALL BE FRAMED OF SOLID BLOCKING.
 2. DOUBLE UP JOIST IF WALL ABOVE IS PARALLEL TO THE JOIST U.O.N.
 3. SOLID BLOCK BETWEEN JOISTS IF WALL ABOVE IS PERPENDICULAR TO THE JOISTS U.O.N.
 4. FULL SOLID BLK BETWEEN JOIST @ 6"-0" O.C. MAX. TYP. U.O.N.



6 (TYP) WALL INTERSECTIONS S-1.2



11 (TYP) DIAPHRAGM NAILING DETAIL S-1.2

DIAPHRAGMS NAILING SCHEDULE				
	SHEATHING	EDGE NAIL	FIELD NAIL	CODE VALUE
ROOF	1/2" PLYWD STRUCTURAL 1	10d @ 6" O.C. STAGGERED	10d @ 12" O.C.	640 PLF
FLOOR	3/4" PLYWD STRUCTURAL 1	10d @ 6" O.C. STAGGERED	10d @ 12" O.C.	640 PLF

HEADER SCHEDULE	
MAX SPAN	HEADER DEPTH
3'-6"	6"
6'-0"	8"
8'-0"	10"
OVER 8'-0"	SEE PLAN

REVISIONS		BY
1	2022-06-21	DL
2	2022-09-21	DL
3	2023-04-20	DL

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STRUCTURAL TYPICAL
 DETAILS CONTINUED

DATE: 2022-04-08

SCALE: AS SHOWN

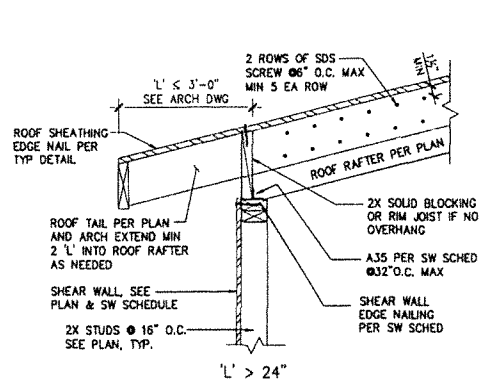
DRAWN BY: DL

JOB NUMBER: 1477-0822 S

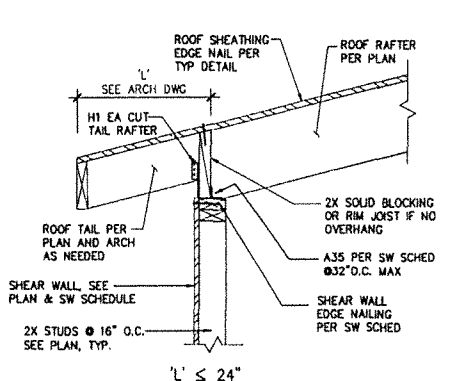
SHEET 3

S-1.2

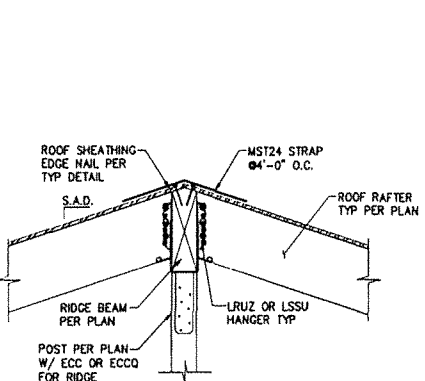
OF 14 SHEET



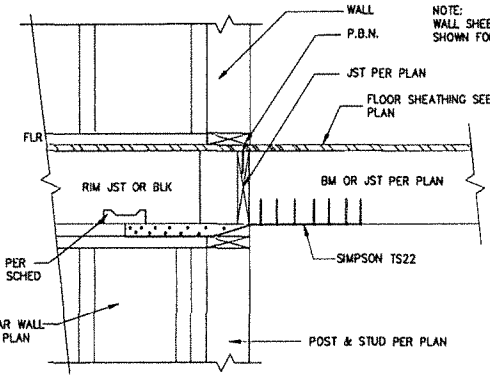
1 (TYP) ROOF TO WALL CONNECTION
S-1.3



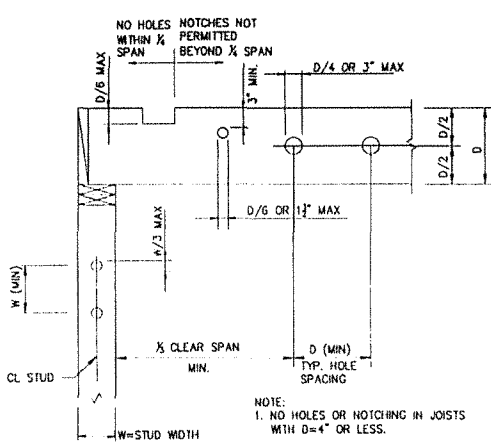
2 (TYP) RAFTER AND RIDGE
S-1.3



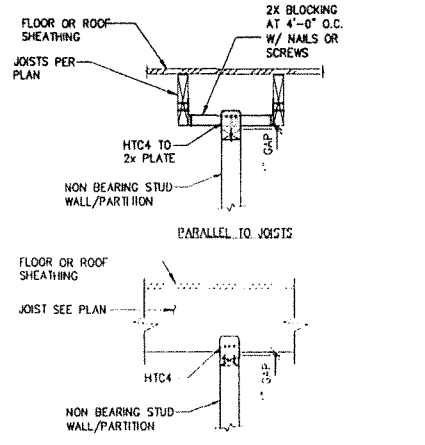
3 (TYP) LATERAL FORCE COLLECTOR - DRAG STRUT
S-1.3



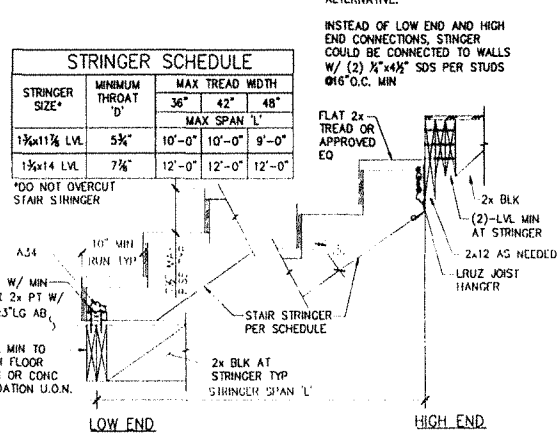
4 (TYP) FLOOR/ROOF OPENING FRAMING
S-1.3



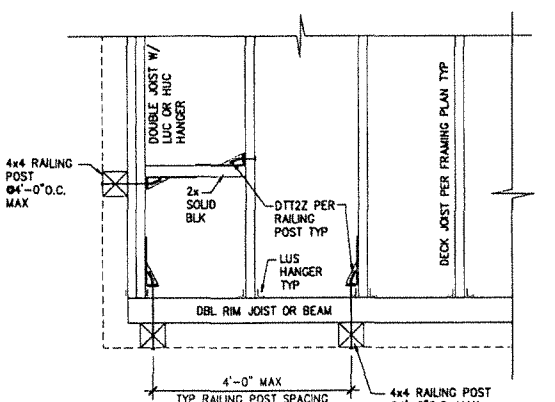
5 (TYP) ALLOWABLE HOLES AND NOTCHES IN JOISTS AND STUDS
S-1.3



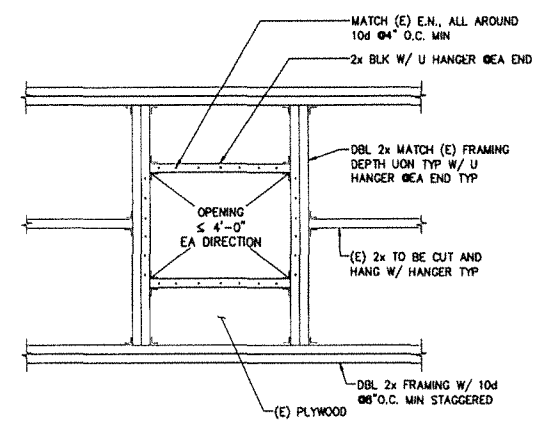
6 (TYP) NON BEARING PARTITION WALL
S-1.3



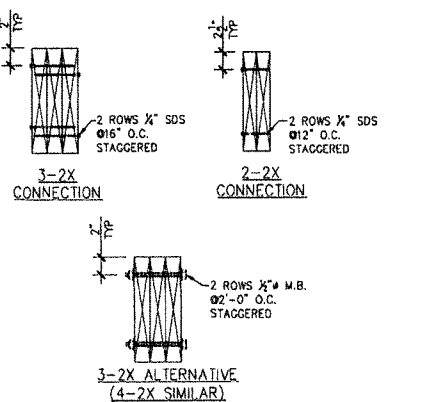
11 (TYP) INTERIOR STAIR FRAMING
S-1.3



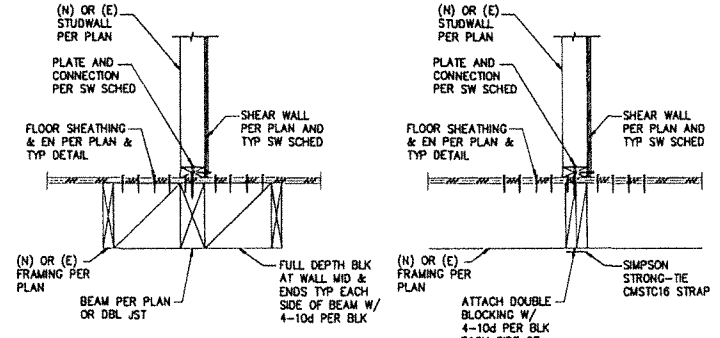
8 (TYP) DECK JOIST AND RAILING POST PLAN
S-1.3



9 (TYP) OPENING IN EXISTING FRAMED ROOF
S-1.3



12 (TYP) BUILT-UP BEAM/JOIST
S-1.3



13 (TYP) SHEAR WALL ABOVE BEAM
S-1.3

REVISIONS	BY
1	DL
2	DL
3	DL

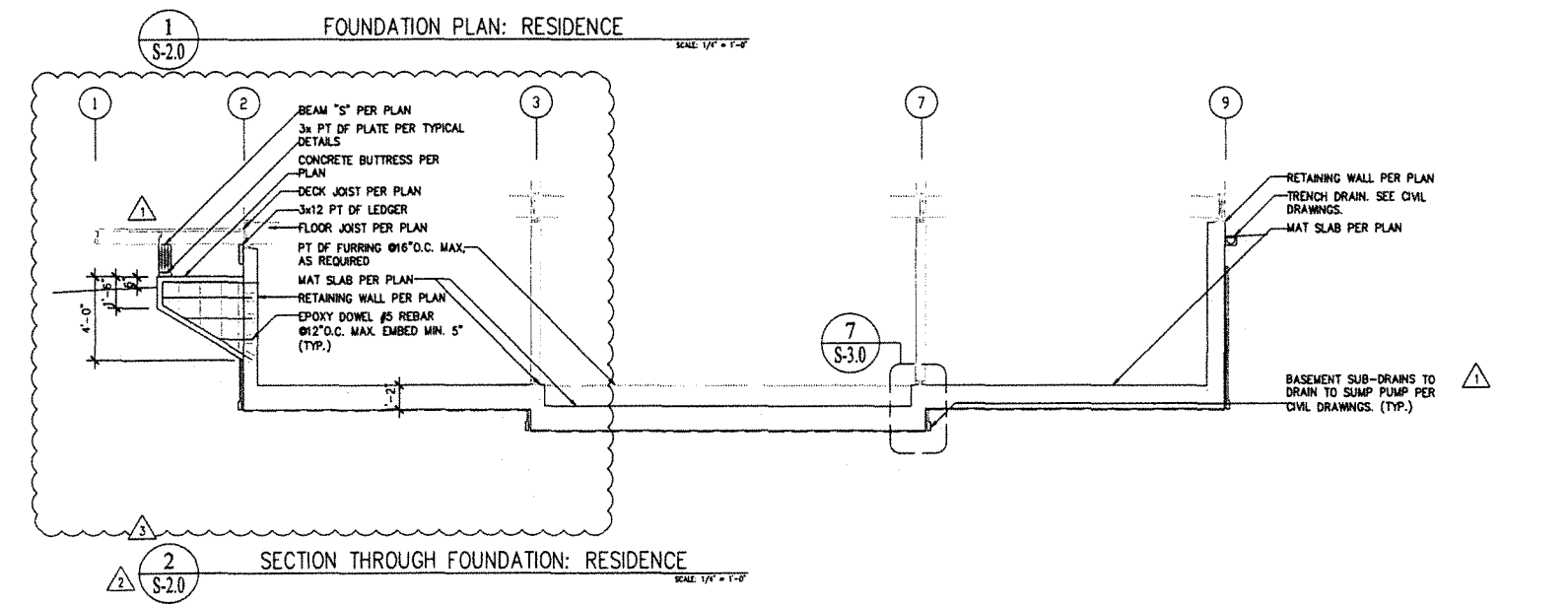
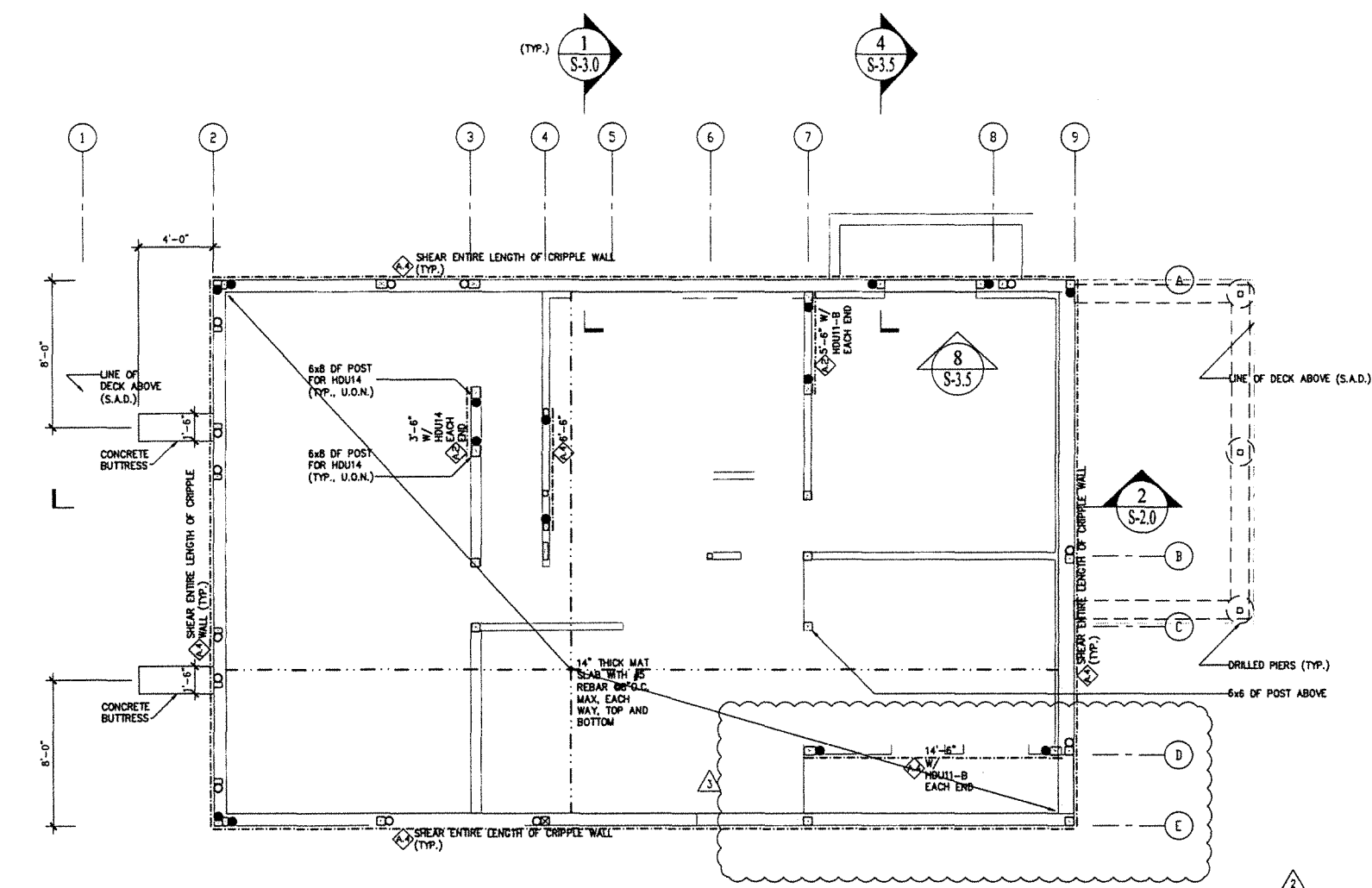
Darius Abolhassani Consultant & Associates, Inc.
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NEW RESIDENCE & ADU
79 WOOD LANE
FAIRFAX, CA 94930
PROJECT APN 002-062-03

STRUCTURAL TYPICAL
DETAILS CONTINUED

DATE: 2022-04-08
SCALE: AS SHOWN
DRAWN BY: DL
JOB NUMBER: 1477-0822 S

SHEET 4
S-1.3
OF 14 SHEET



ABBREVIATIONS

&	AND	HR	HARDROCK
L	ANGLE	HT	HEIGHT
Ø	AT	ID	INSIDE DIAMETER
ACI	AMERICAN CONCRETE INSTITUTE	INT	INTERIOR
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	JT	JOINT
ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS	JST	JOIST
AWS	AMERICAN WELDING SOCIETY	LG	LONG
AB	ANCHOR BOLT	LS	LOW SHRINKAGE
ABV	ABOVE	MATL	MATERIAL
ADD'L	ADDITIONAL	MAX	MAXIMUM
AGGR	AGGREGATE	MB	MACHINE BOLT
ALT	ALTERNATE	MECH	MECHANICAL
APPROX	APPROXIMATE	MFR	MANUFACTURER
ARCH	ARCHITECT, ARCHITECTURAL	MIN	MINIMUM
ATR	ALL-THREAD ROD	MISC	MISCELLANEOUS
B.E.	BOTH ENDS	(N)	NEW
B.S.	BOTH SIDES	N/A	NOT APPLICABLE
B.W.	BOTH WAYS	NSG	NON-SHRINK GROUT
BETW	BETWEEN	NTS	NOT TO SCALE
BLD'G	BUILDING	NO.#	NUMBER
BLW	BELOW		
BM	BEAM	O/	OVER
BLK	BLOCKING	O.C.	ON CENTERS
BOT	BOTTOM	OD	OUTSIDE DIAMETER
C.C.	CENTER TO CENTER	OPNG	OPENING
CBC	CALIFORNIA BUILDING CODE	OPP	OPPOSITE
CL	CENTERLINE	PL	PLATE
CLR	CLEAR	PLYWD	PLYWOOD
C-I-P	CAST-IN-PLACE	PT	PRESSURE TREATED
CO	DRAINAGE CLEAN OUT		
COL	COLUMN	REF	REFERENCE/REFER
CONC	CONCRETE	RENF	REINFORCEMENT
CONN	CONNECTION	REQ	REQUIREMENTS
CONST	CONSTRUCTION	REQ'D	REQUIRED
CONT	CONTINUOUS	RM	ROOM
		RW	RETAINING WALL
		RO	ROUGH OPENING
		S.A.D.	SEE ARCHITECTURAL DRAWINGS
		S-O-G	SLAB-ON-GRADE
		SCHED	SCHEDULE
		SHD	SHED
		SHT	SHEET
		SM	SIMILAR
		STAGG	STAGGER, STAGGERED
		STD	STANDARD
		STIFF	STIFFENER
		STR	STRIP
		STL	STEEL
		SW	SHEAR WALL
		SWS	SHEAR WALL SCHEDULE
		T&B	TOP AND BOTTOM
		THK	THICK, THICKNESS
		THRD	THREAD, THREADED
		TYP	TYPICAL
		U.O.N.	UNLESS OTHERWISE NOTED
		VB	VAPOR BARRIER
		VERT	VERTICAL
		V.I.F.	VERIFY IN FIELD
		W/	WITH
		W/O	WITHOUT
		WA	WEDGE ANCHOR
		WD	WOOD
		WF	WIDE FLANGE
		WLD	WELDED
FDN	FOUNDATION		
FLR	FLOOR		
FN	FIELD NAILING		
FTG	FOOTING		
GA	GAGE, GAUGE		
GALV	GALVANIZED		
GB	GRADE BEAM		
HD	HOLDOWN		
HGR	HANGER		
HORI	HORIZONTAL		

PLAN LEGEND

	FOUNDATION WALL/WALL ABOVE
	CONCRETE SLAB
	JOIST
	BEAM
	POST BELOW
	POST ABOVE
	POST ABOVE & BELOW
	SHEARWALL ABOVE
	HDU 8 HOLDOWN ABOVE (U.O.N.)
	HDU 8 HOLDOWN BELOW (U.O.N.)
	HEADER, SEE TYP. DETAIL U.O.N.
	HOLDOWN FROM FLOOR ABOVE (U.O.N.)

- PLAN NOTES**
- AT SHEAR WALLS WITH CODE VALUES EXCEEDING 350 PLF, PROVIDE 3x SLL PL. AND 3x STUD (OR DBL 2x STUDS JOINED TOGETHER WITH SDS SCREWS @6" O.C. MAX.) AT FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS. EDGE NAILING ON ABUTTING PANELS SHALL BE STAGGERED. SEE SHEARWALL SCHEDULE.
 - AT SHEAR WALLS WITH 2" O.C. EDGE NAILING, PROVIDE 3x SLL PL. AND 3x STUD AT FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS. EDGE NAILING ON ABUTTING PANELS SHALL BE STAGGERED. SEE SHEARWALL SCHEDULE.
 - THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AS NEEDED.
 - FOR EACH HDU14 ON GRIDLINE 3: EPOXY DOWEL 1" THREADED ROD MIN. 19" IN (E) CONCRETE SLAB. ALTERNATIVELY, REPLACE EACH HDU14 WITH TWO (2) HDUBs: EPOXY DOWEL 3/4" THREADED RODS MIN. 12" IN (E) CONCRETE SLAB.
 - FOR EACH HDUB ON GRIDLINE 4: EPOXY DOWEL 3/4" THREADED ROD MIN. 12" IN (E) CONCRETE SLAB.
 - FOR EACH HDU11-B ON GRIDLINE 7: EPOXY DOWEL 1" THREADED ROD MIN. 18" IN (E) CONCRETE SLAB. ALTERNATIVELY, REPLACE EACH HDU11-B WITH TWO (2) HDUBs: EPOXY DOWEL 3/4" THREADED RODS MIN. 12" IN (E) CONCRETE SLAB.
 - FOR EACH HDU11-B ON GRIDLINE D: EPOXY DOWEL 1" THREADED ROD MIN. 18" IN (E) CONCRETE SLAB. ALTERNATIVELY, REPLACE EACH HDU11-B WITH TWO (2) HDUBs: EPOXY DOWEL 3/4" THREADED RODS MIN. 12" IN (E) CONCRETE SLAB.

REVISIONS

1	2022-06-21	DL
2	2022-09-21	DL
3	2023-04-20	DL

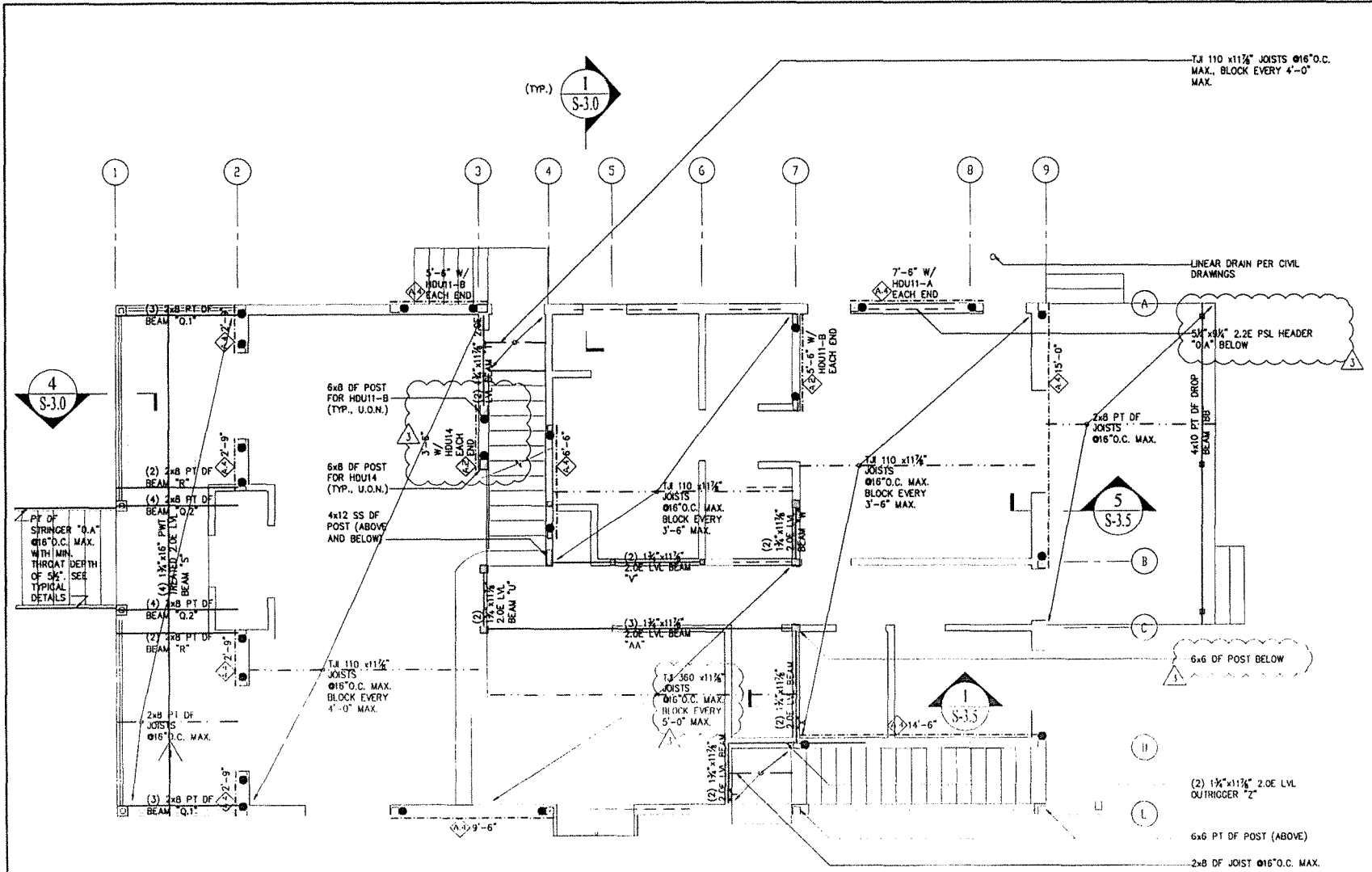
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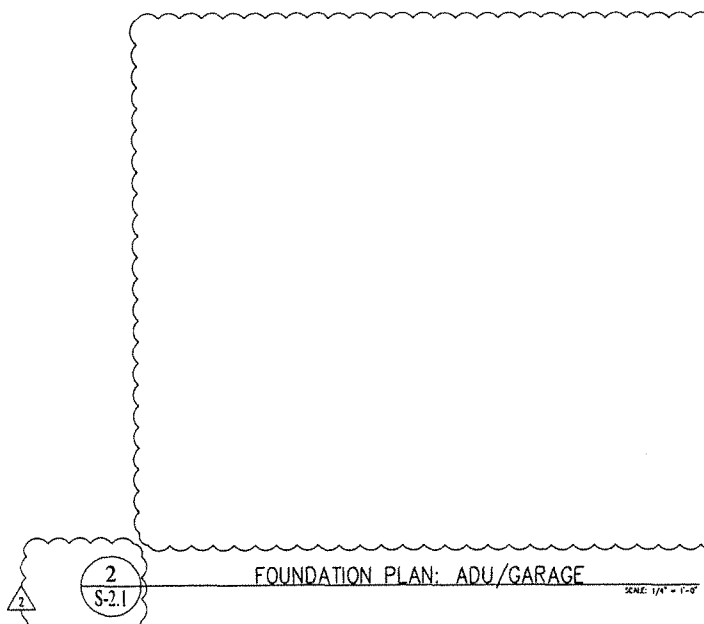
NEW RESIDENCE & ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 PROJECT APN 002-062-03

FOUNDATION PLAN

DATE:	2022-04-08
SCALE:	AS SHOWN
DRAWN BY:	DL
JOB NUMBER:	1477-0822 S
SHEET	5
S-2.0	
OF	14 SHEET



1 S-2.1 MAIN FLOOR FRAMING PLAN: RESIDENCE SCALE: 1/4\"/>



2 S-2.1 FOUNDATION PLAN: ADU/GARAGE SCALE: 1/4\"/>

PLAN LEGEND

- FOUNDATION WALL/WALL BELOW
- WALL ABOVE
- CONCRETE SLAB
- JOIST
- BEAM
- POST BELOW
- POST ABOVE
- POST ABOVE & BELOW
- SHEARWALL ABOVE (SEE SCHEDULE)
- HOU 8 HOLDOWN ABOVE (U.O.N.) (SEE SCHEDULE)
- HEADER (SEE TYP. DETAIL U.O.N.)
- HOLDOWN FROM FLOOR ABOVE (U.O.N.) (SEE SCHEDULE)

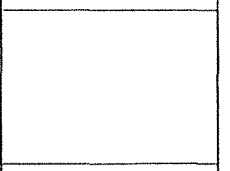
PLAN NOTES

- AT SHEAR WALLS WITH CODE VALUES EXCEEDING 150 PLF, PROVIDE 3x SILL PL. AND 3x STUD (OR DDJ, 2x STUDS JOINED TOGETHER WITH SDS SCREWS @6\"/>

REVISIONS	BY
1	DL
2	DL
3	DL

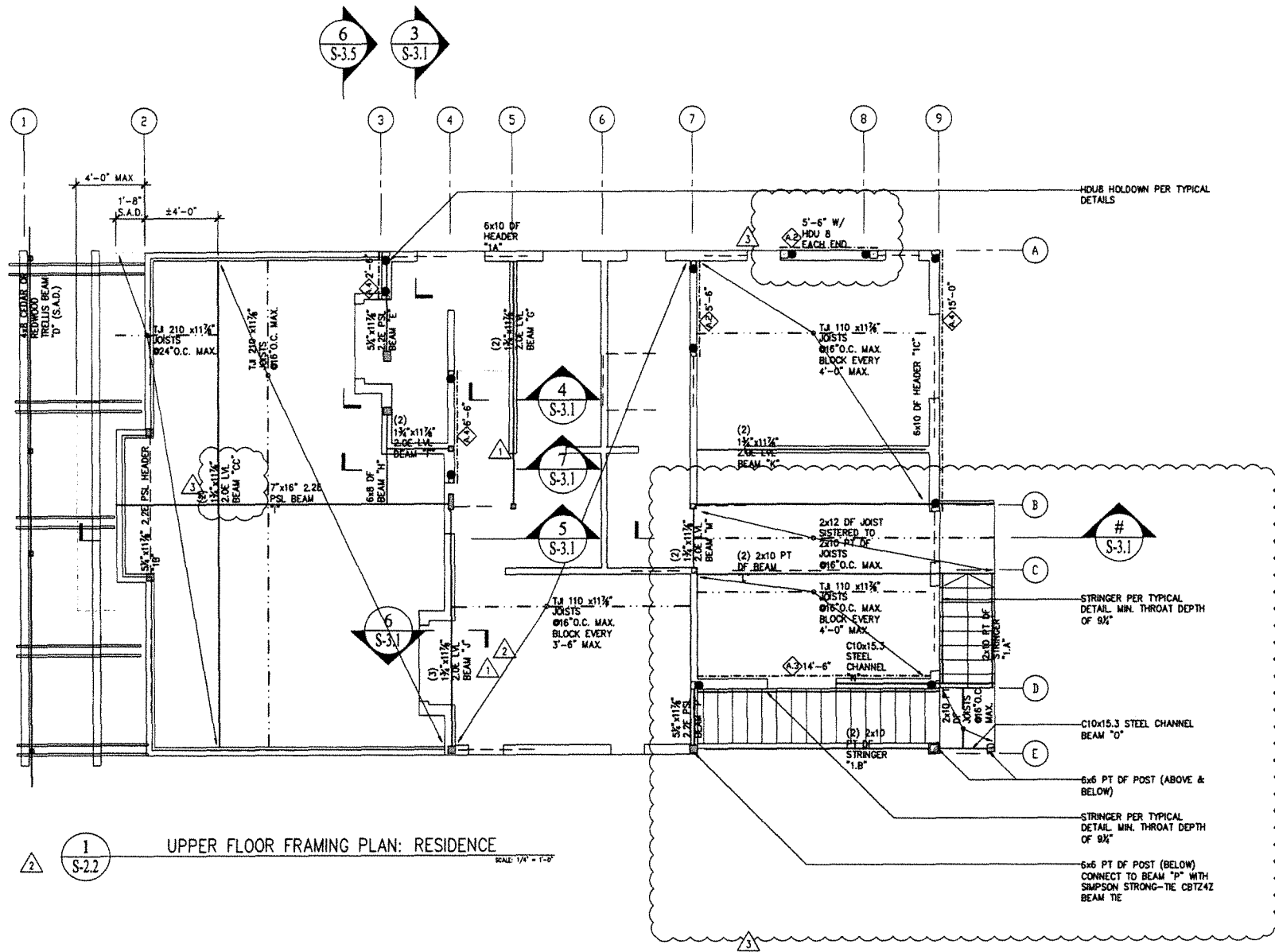
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NEW RESIDENCE & ADU
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 FAIRFAX, CA 94930
 PROJECT APN 002-062-03

DATE:	2022-04-08
SCALE:	AS SHOWN
DRAWN BY:	DL
JOB NUMBER:	1477-0822 S
SHEET	6
S-2.1	
OF	14 SHEET



1 UPPER FLOOR FRAMING PLAN: RESIDENCE
SCALE: 1/4" = 1'-0"

2 UPPER FLOOR FRAMING PLAN: ADU/GARAGE
SCALE: 1/4" = 1'-0"

PLAN LEGEND

- FOUNDATION WALL / WALL BELOW
- WALL ABOVE
- CONCRETE SLAB
- JOIST
- BEAM
- POST BELOW
- POST ABOVE
- POST ABOVE & BELOW
- SHEARWALL ABOVE (SEE SCHEDULE)
- HDU 5 HOLDOWN ABOVE (U.O.N.) (SEE SCHEDULE)
- HEADER, SEE TYP. DETAIL U.O.N.

PLAN NOTES

- AT SHEAR WALLS WITH CODE VALUES EXCEEDING 350 PLF, PROVIDE 3x SILL PL. AND 3x STUD (OR DBL. 2x STUDS JOINED TOGETHER WITH SDS SCREWS @6" O.C. MAX.) AT FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS. EDGE NAILING ON ABUTTING PANELS SHALL BE STAGGERED. SEE SHEARWALL SCHEDULE.
- AT SHEAR WALLS WITH 2" O.C. EDGE NAILING, PROVIDE 3x SILL PL. AND 3x STUD AT FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS. EDGE NAILING ON ABUTTING PANELS SHALL BE STAGGERED. SEE SHEARWALL SCHEDULE.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AS NEEDED.

REVISIONS	BY
1	DL
2	DL
3	DL

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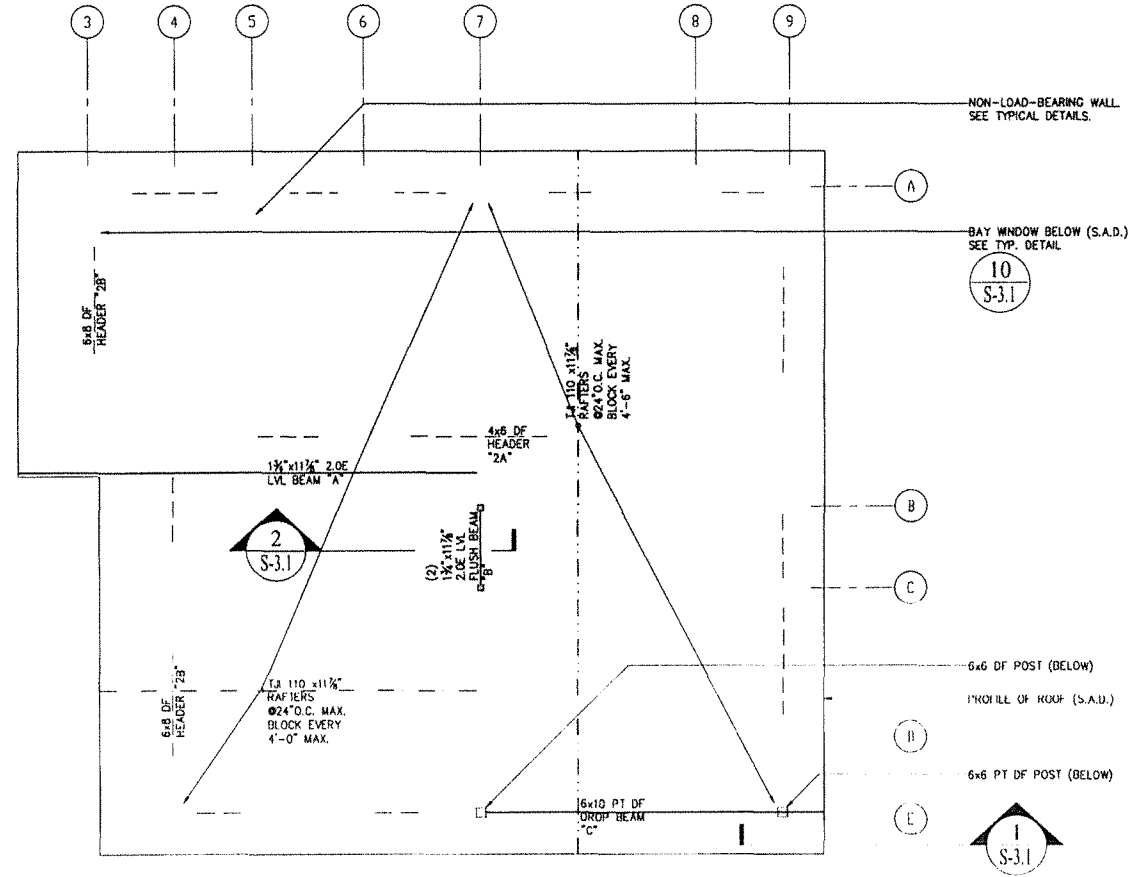
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NEW RESIDENCE & ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 PROJECT APN 002-062-03

UPPER FLOOR FRAMING PLAN

DATE:	2022-04-08
SCALE:	AS SHOWN
DRAWN BY:	DL
JOB NUMBER:	1477-0822 S
SHEET	7
S-2.2	
OF	14 SHEET

1
2



1
S-2.3
ROOF FRAMING PLAN: RESIDENCE
SCALE: 1/4" = 1'-0"

2
S-2.3
ROOF FRAMING PLAN: ADU/GARAGE
SCALE: 1/4" = 1'-0"

PLAN LEGEND

- FOUNDATION WALL/
WALL BELOW
- WALL ABOVE
- CONCRETE SLAB
- JOIST
- BEAM
- POST BELOW
- POST ABOVE
- POST ABOVE & BELOW
- SHEARWALL ABOVE
SEE SCHEDULE
- HDU 5 HOLDOWN
ABOVE (U.O.N.)
SEE SCHEDULE
- HEADER, SEE TYP. DETAIL
U.O.N.

REVISIONS	BY
1	DL
2	DL
3	DL

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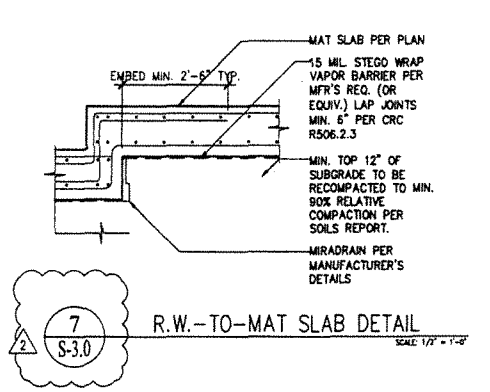
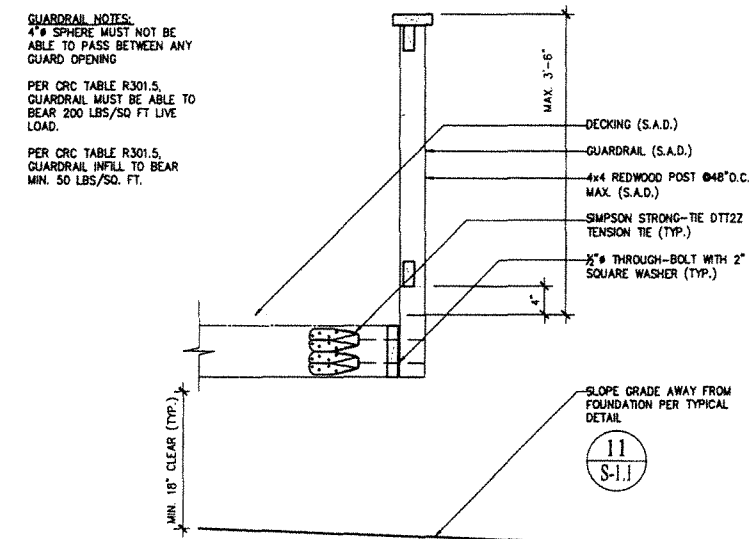
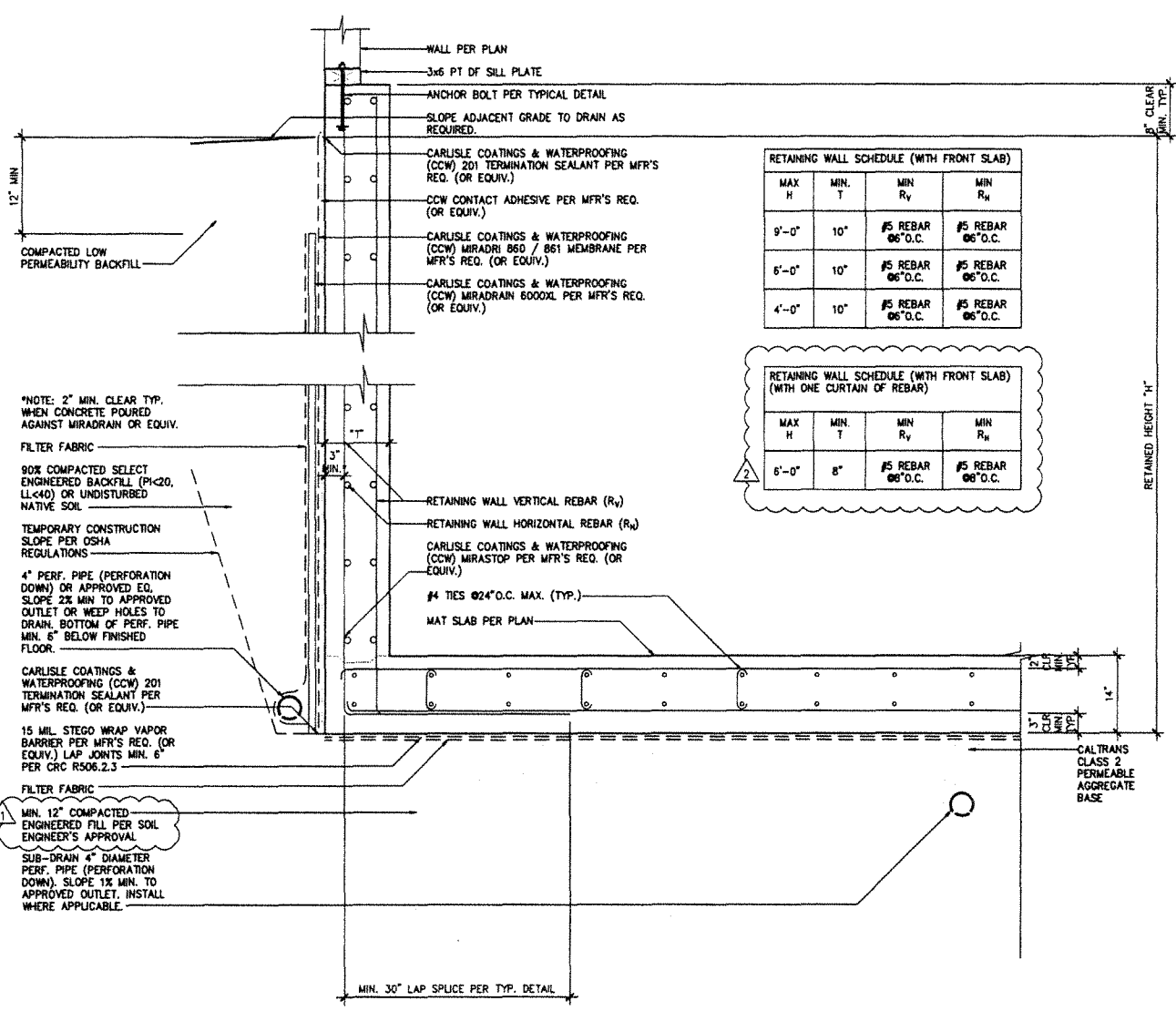
7 Mt. Lassen Drive, Suite A-129, San Rafael, CA 94903
Phone: (415)499-1919 Email: darius@dacassociates.net

PLAN NOTES

1. AT SHEAR WALLS WITH CODE VALUES EXCEEDING 350 PLF, PROVIDE 3x SILL PL. AND 3x STUD (OR DBL 2x STUDS JOINED TOGETHER WITH SDS SCHEWS @6" O.C. MAX.) AT FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS. EDGE NAILING ON ABUTTING PANELS SHALL BE STAGGERED. SEE SHEARWALL SCHEDULE.
2. AT SHEAR WALLS WITH 2" O.C. EDGE NAILING, PROVIDE 3x SILL PL. AND 3x STUD AT FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS. EDGE NAILING ON ABUTTING PANELS SHALL BE STAGGERED. SEE SHEARWALL SCHEDULE.

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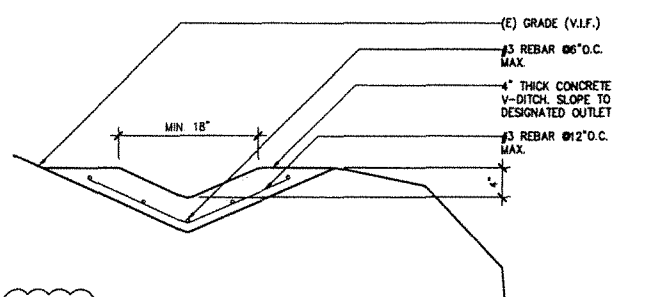
ROOF FRAMING PLAN	
DATE:	2022-04-08
SCALE:	AS SHOWN
DRAWN BY:	DL
JOB NUMBER:	1477-0822 S
SHEET	8
S-2.3	
OF	14 SHEET



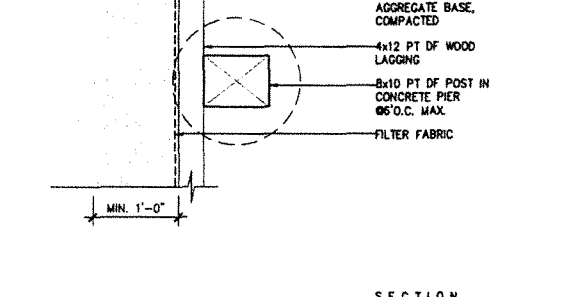
1 MAT SLAB DETAIL SCALE 1" = 1'-0"

4 GUARDRAIL DETAIL SCALE 1" = 1'-0"

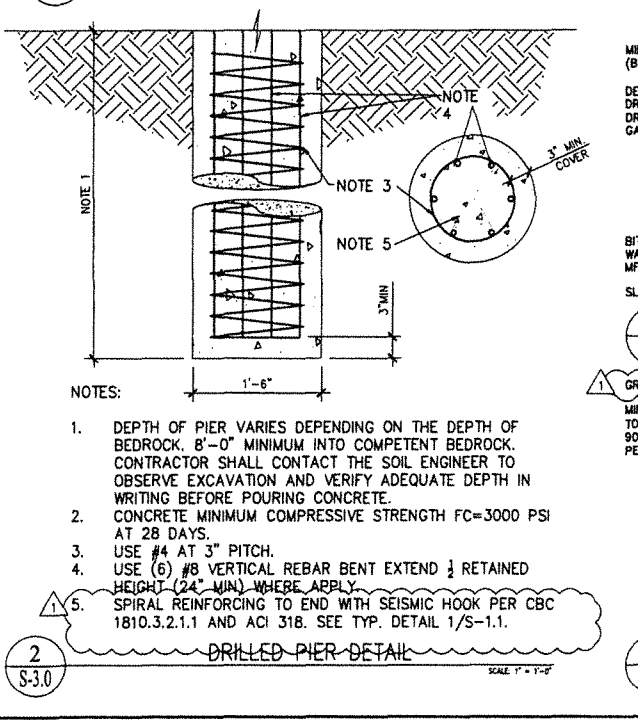
7 R.W.-TO-MAT SLAB DETAIL SCALE 1/2" = 1'-0"



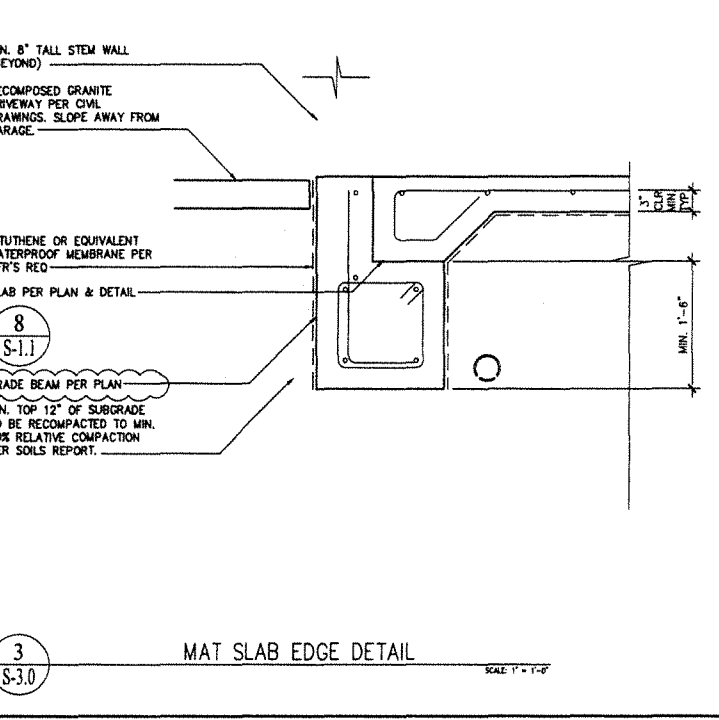
5 V-DITCH DETAIL SCALE 1" = 1'-0"



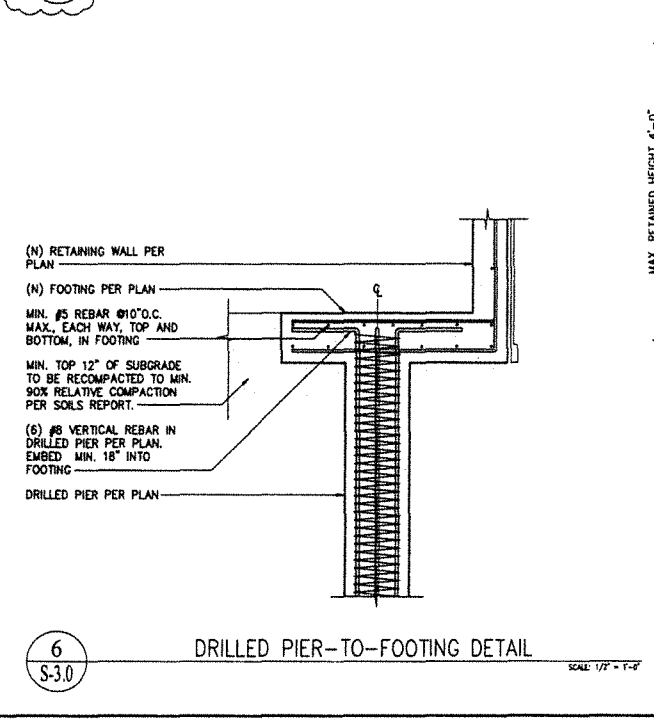
8 WOOD SOLDIER PILE & LAGGING RW SCALE 1" = 1'-0"



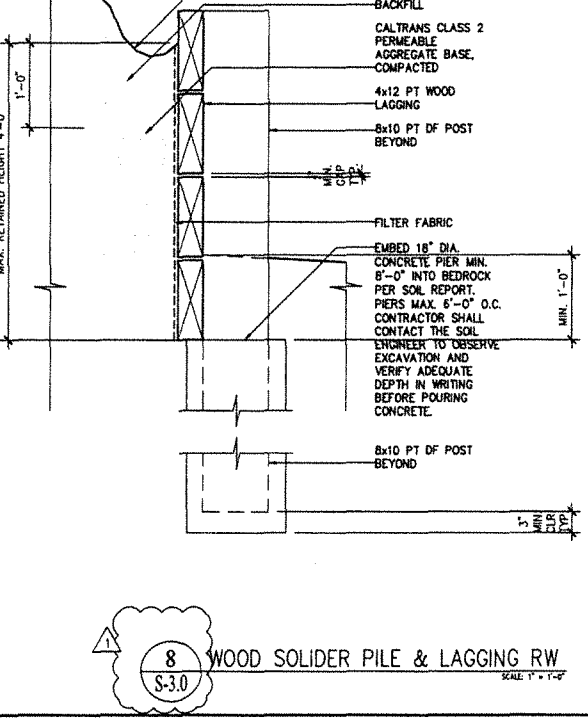
2 DRILLED PIER DETAIL SCALE 1" = 1'-0"



3 MAT SLAB EDGE DETAIL SCALE 1" = 1'-0"



6 DRILLED PIER-TO-FOOTING DETAIL SCALE 1/2" = 1'-0"

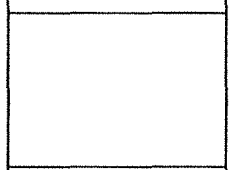


8 WOOD SOLDIER PILE & LAGGING RW SCALE 1" = 1'-0"

REVISIONS	BY
1	DL
2	DL
3	DL

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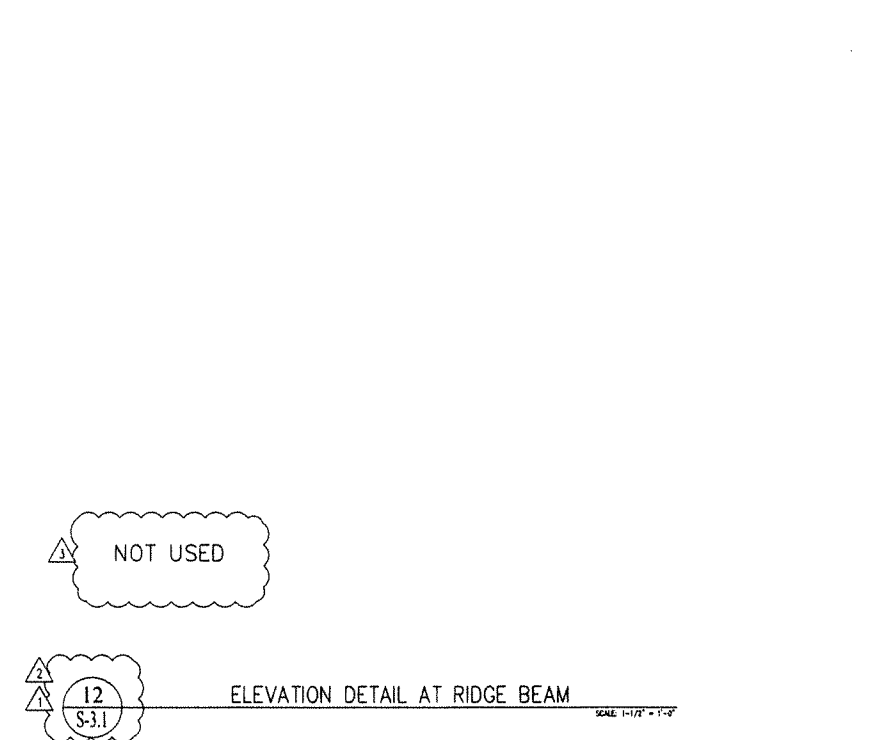
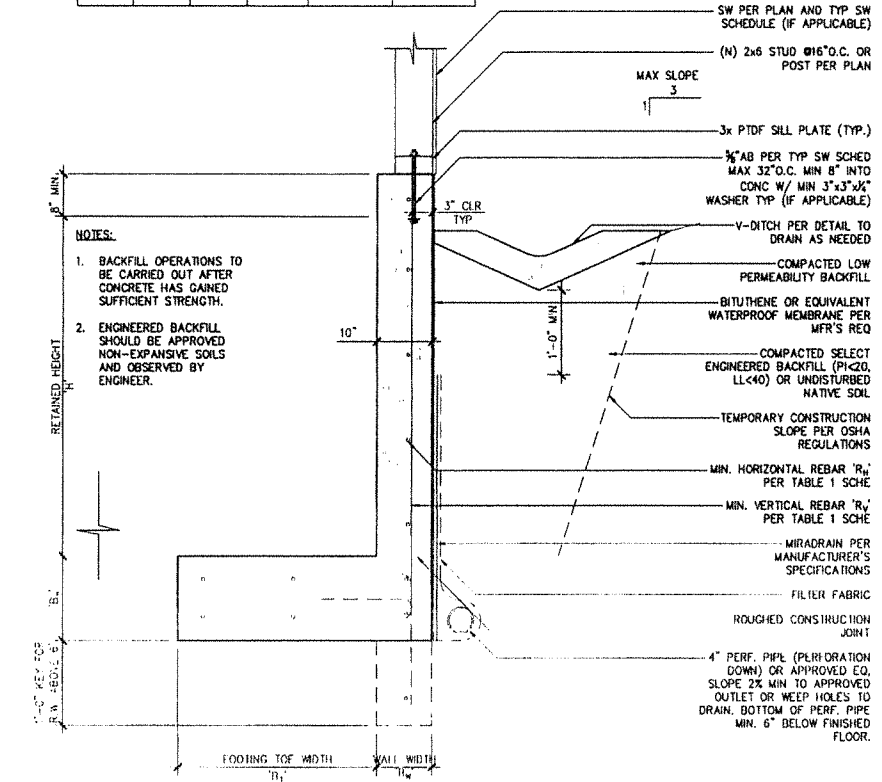
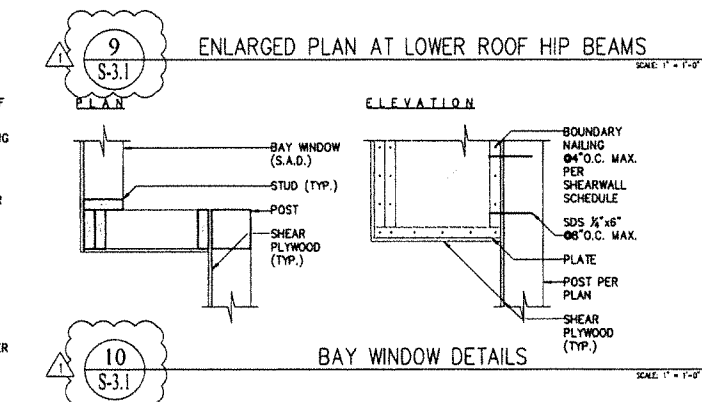
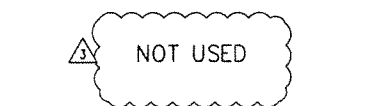
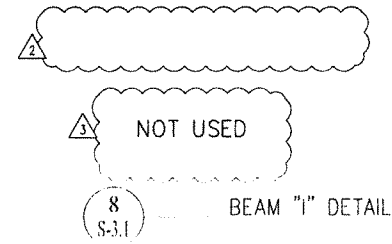
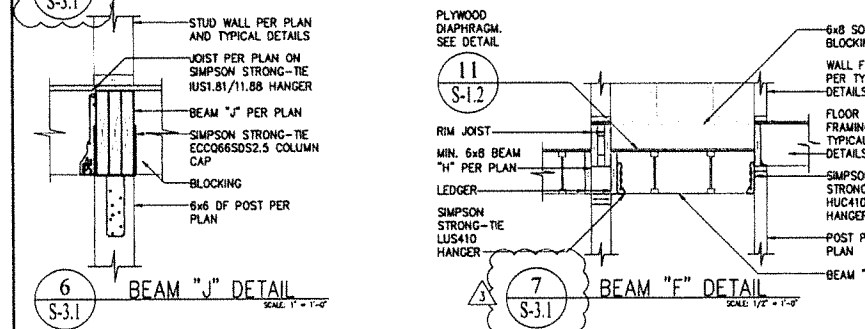
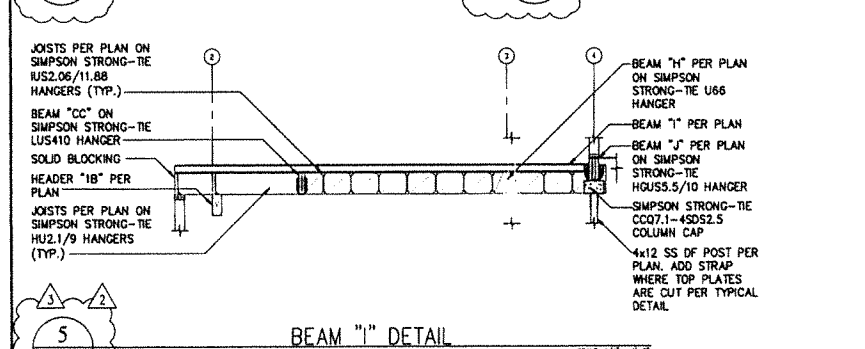
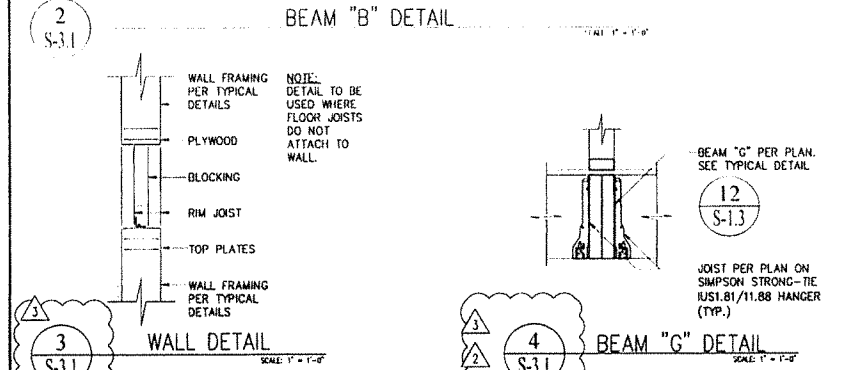
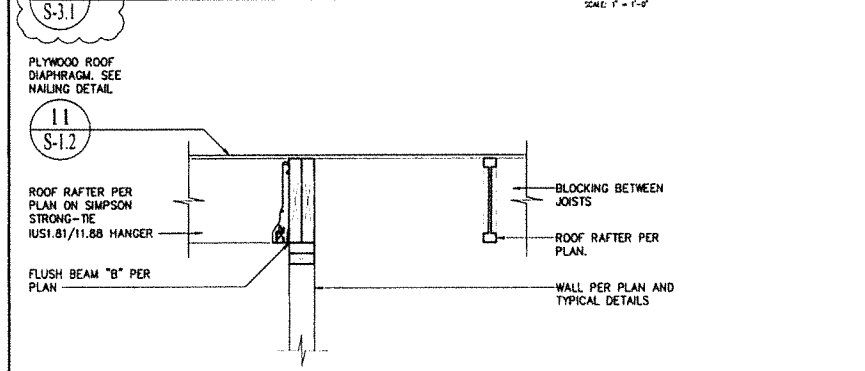
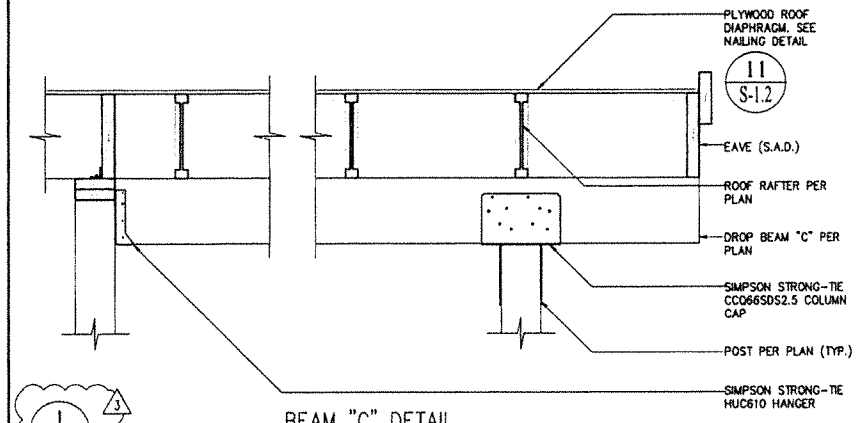
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NEW RESIDENCE & ADU
79 WOOD LANE
FAIRFAX, CA 94930
PROJECT APN 002-062-03

STRUCTURAL DETAILS	
DATE:	2022-04-08
SCALE:	AS SHOWN
DRAWN BY:	DL
JOB NUMBER:	1477-0822 S
SHEET	9
S-3.0	
OF	14 SHEET

MAX H	MIN B _w	MIN B _t	MIN B _u	MIN R _v	MIN R _h
10'-0"	10"	4'-6"	14"	#6 REBAR @10" O.C.	#5 REBAR @16" O.C.
8'-0"	10"	4'-6"	14"	#6 REBAR @16" O.C.	#5 REBAR @16" O.C.
6'-0"	10"	4'-6"	14"	#5 REBAR @16" O.C.	#5 REBAR @16" O.C.
4'-0"	10"	4'-6"	14"	#5 REBAR @16" O.C.	#5 REBAR @16" O.C.



REVISIONS	BY
2022-06-21	DL
2022-09-21	DL
2023-04-20	DL

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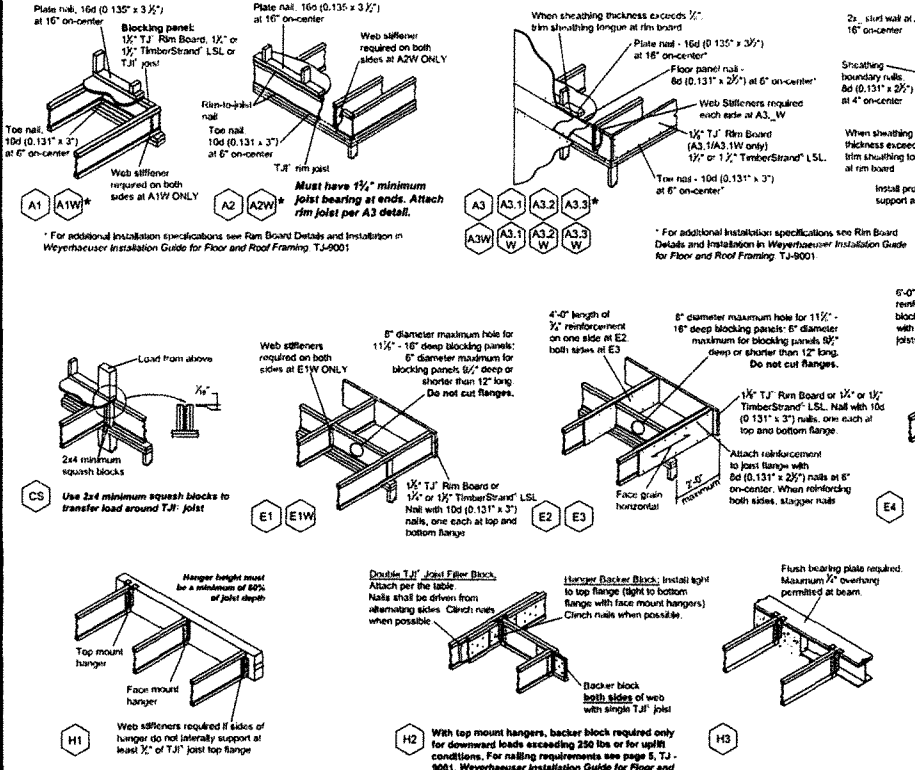
NEW RESIDENCE & ADU
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PROJECT APN 002-062-03

STRUCTURAL DETAILS

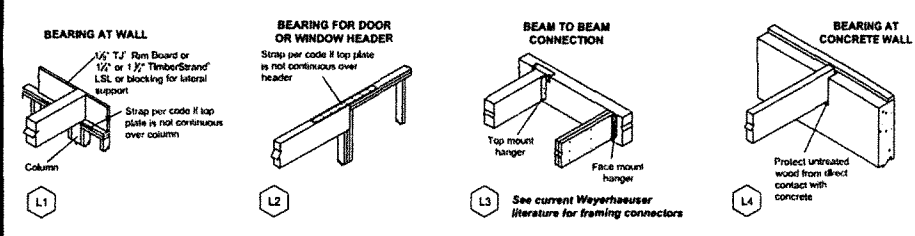
DATE: 2022-04-08
SCALE: AS SHOWN
DRAWN BY: DL
JOB NUMBER: 1477-0822 S

SHEET 10
S-3.1
OF 14 SHEET

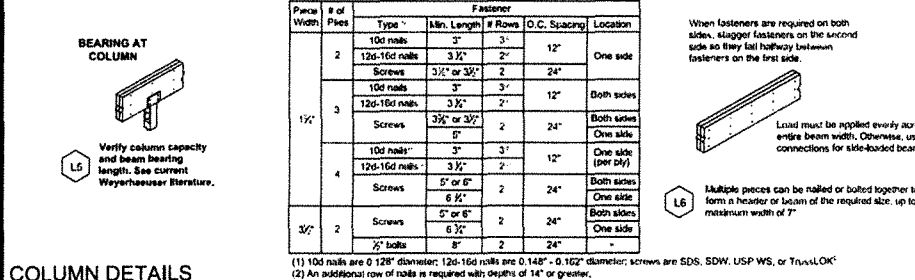
JOIST DETAILS



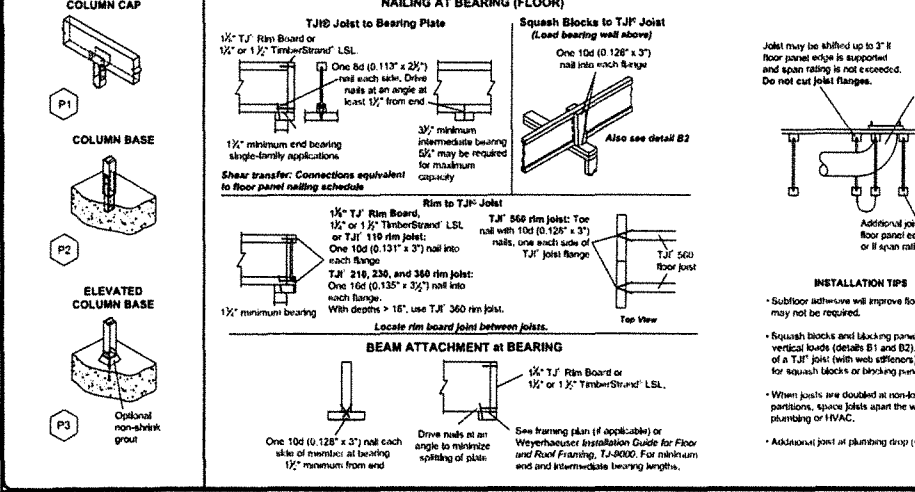
BEAM DETAILS



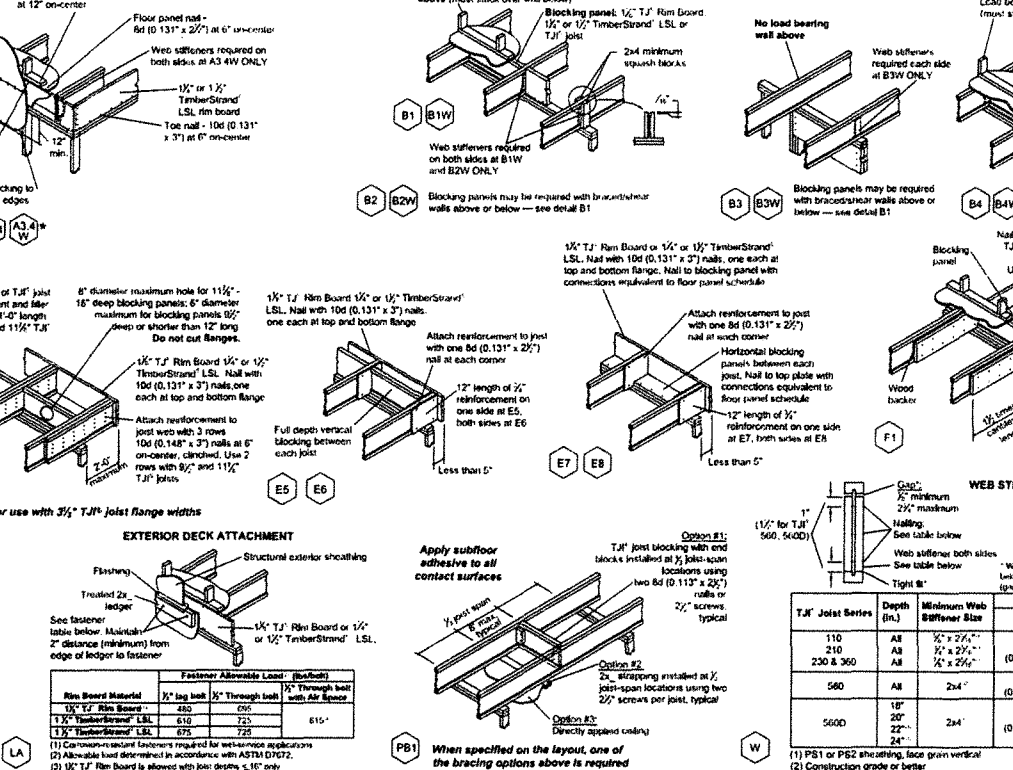
COLUMN DETAILS



FASTENING OF FLOOR PANELS



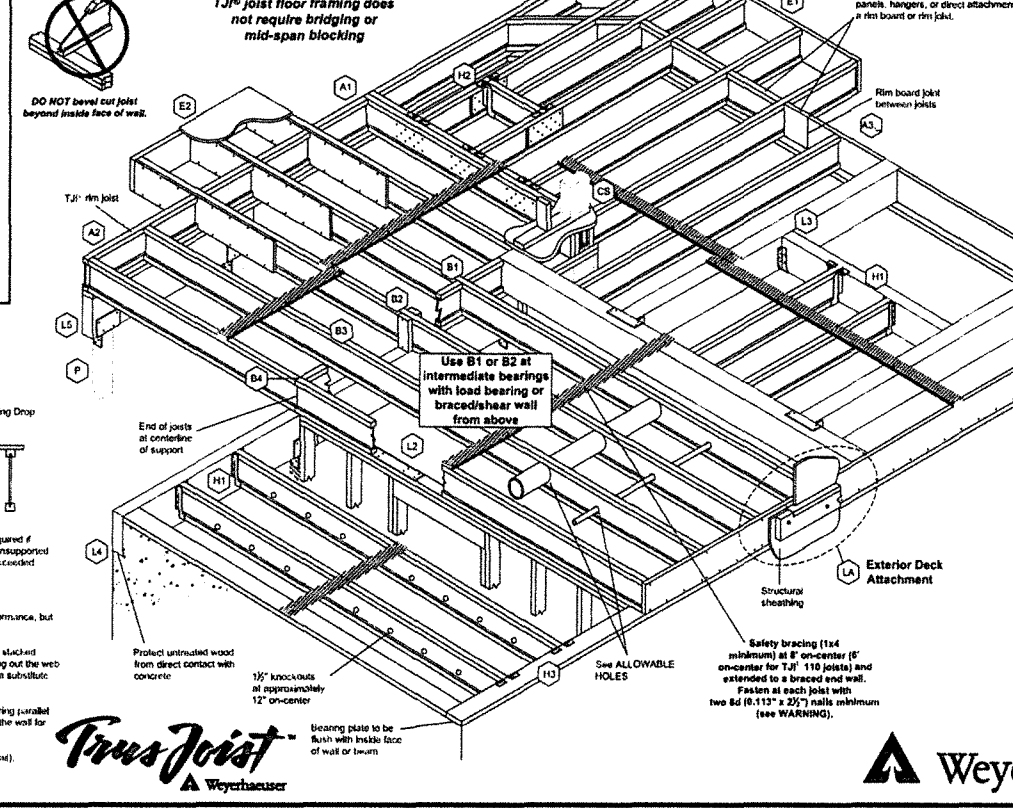
EXTERIOR DECK ATTACHMENT



FILLER AND BACKER BLOCK SIZES

T&J Joist	118	218	230 or 360	360	560	660
Depth	1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
Filler Block (Detail H2)	2x6	2x6	2x6 x 3/4"	2x6 x 3/4"	2x6	2x6
Backer Block (Detail H4)	2x6	2x6	2x6 x 3/4"	2x6 x 3/4"	2x6	2x6
Filler (Detail F1 or F2)	1/2" x 3/4"	1/2" x 3/4"	1/2" x 3/4"	1/2" x 3/4"	1/2" x 3/4"	1/2" x 3/4"
Backer (Detail B1 or B2)	1/2" x 3/4"	1/2" x 3/4"	1/2" x 3/4"	1/2" x 3/4"	1/2" x 3/4"	1/2" x 3/4"
Nail Size	15	15	15	15	15	15
Nail Quantity	15	15	15	15	15	15

T&J joist floor framing does not require bridging or mid-span blocking



SEE MANUFACTURER'S DETAILS FOR INSTALLATION.

REVISIONS	BY
2022-06-21	DL
2022-09-21	DL
2023-04-20	DL

Darius Abolhassani Consultant & Associates, Inc.
 Consulting Engineering & Construction Support

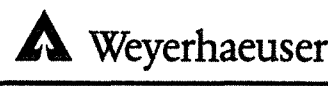
7 Mt. Lassen Drive, Suite A-129, San Rafael, CA 94903
 Phone: (415)799-1919 Email: darius@dacassociates.net

NEW RESIDENCE & ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 PROJECT APN 002-062-03

WEYERHAEUSER
 TYPICAL DETAILS

DATE: 2022-04-08
 SCALE: AS SHOWN
 DRAWN BY: DL
 JOB NUMBER: 1477-0822 S

SHEET 11
S-3.2
 OF 14 SHEET





ROOF DETAILS

General Notes:
 Uniform dimensions noted. All details are valid to a minimum slope of 12:12.
 Joists > 16" have a maximum slope of 3:12.
 Web stiffeners are required with all 22" and 24" joists and when the sides of the hanger are not laterally supported at least 2' of the full top flange. Also see turning plan.

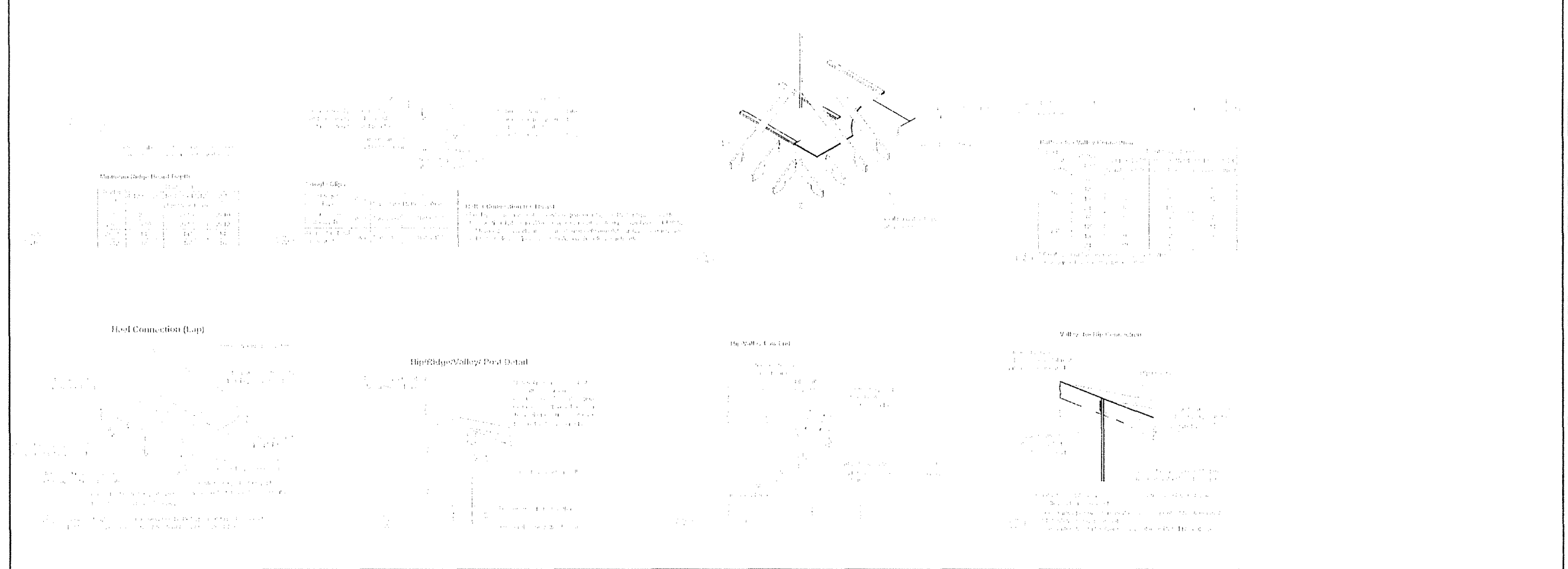
SEE MANUFACTURER'S DETAILS FOR INSTALLATION.

REVISIONS		BY
△	2022-06-21	DL
△	2022-09-21	DL
△	2023-04-20	DL

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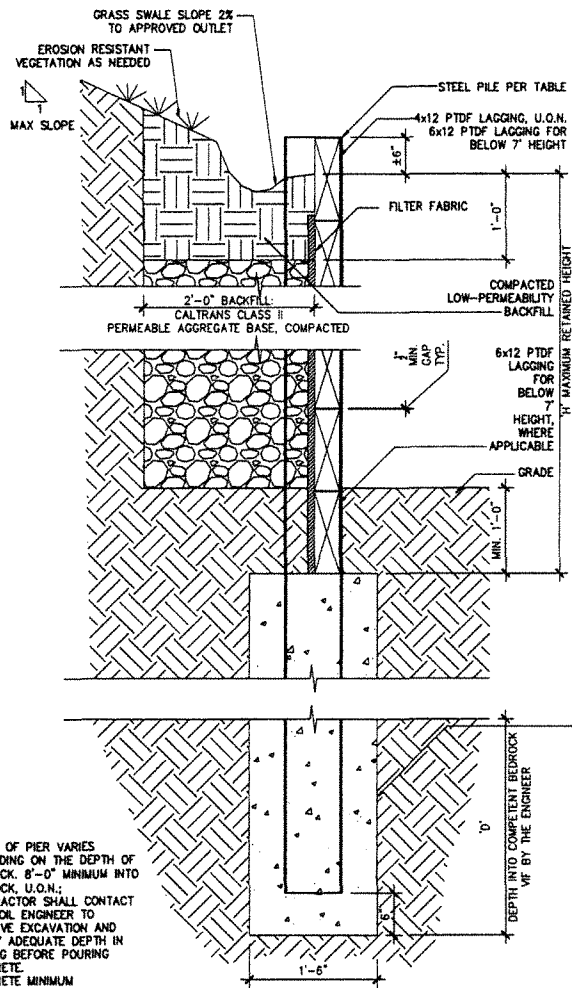
ROOF FRAMING DETAILS



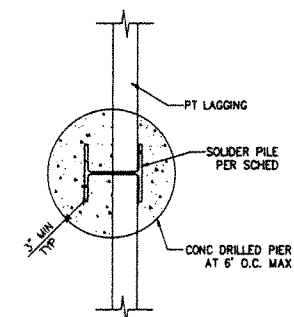
NEW RESIDENCE & ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 PROJECT APN 002-062-03

WEYERHAEUSER
 TYPICAL DETAILS

DATE:	2022-04-08
SCALE:	AS SHOWN
DRAWN BY:	DL
JOB NUMBER:	1477-0822 S
SHEET	12
S-3.3	
OF	14 SHEET



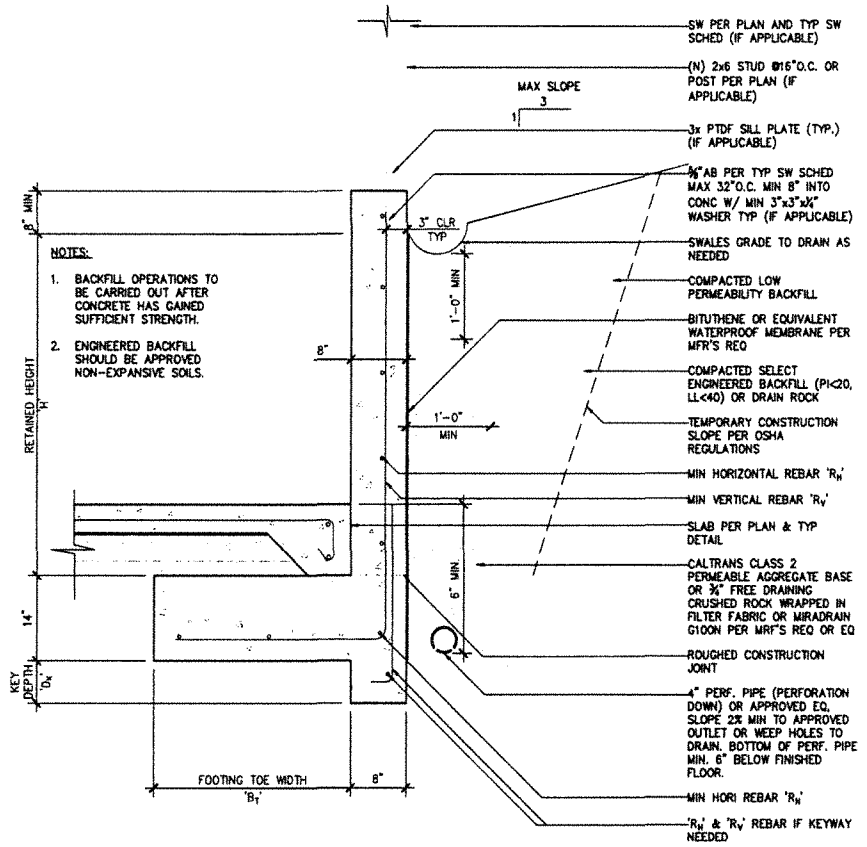
SOLDER PILE & LAGGING RETAINING WALL SCHEDULE					
DEPTH INTO BEDROCK 'D'	DRILLED PIER DIA	SOLDER PILE	MAX RETAINED HEIGHT 'H'	MIN. OVERALL PIER DEPTH	
10'-0"	18"φ	WBX21	6'-0"	16'-0"	
8'-0"	18"φ	WBX10	4'-0"	14'-0"	



- NOTES:
1. ALL EXPOSED STEEL SHALL BE HOT-DIPPED GALVANIZED OR PAINTED WITH TWO COATS OF BITUMINOUS EPOXY PAINT.
 2. NAILS/METAL FASTENERS SHALL BE HOP DIPPED GALVANIZED OR STAINLESS STEEL, OR OTHER APPROVED ACCEPTABLE CORROSION RESISTANT MATERIAL.

RETAINING WALL SCHEDULE (WITH FRONT SLAB)					
MAX H	MIN T	MIN B	MIN D _k	MIN R _v	MIN R _h
6'-0"	8"	4'-6"	N.A.	#5 REBAR @16" O.C.	#5 REBAR @16" O.C.
UP TO 3'-0"	8"	4'-6"	N.A.	#5 REBAR @16" O.C.	#5 REBAR @16" O.C.

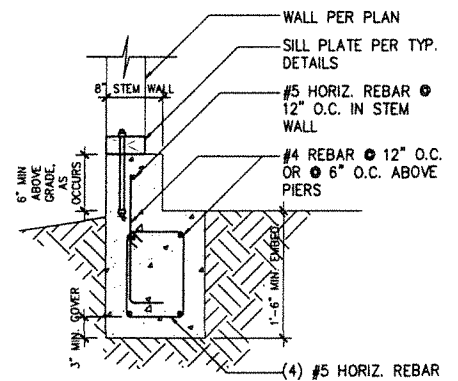
3 RW DETAIL SCALE 1" = 1'-0"



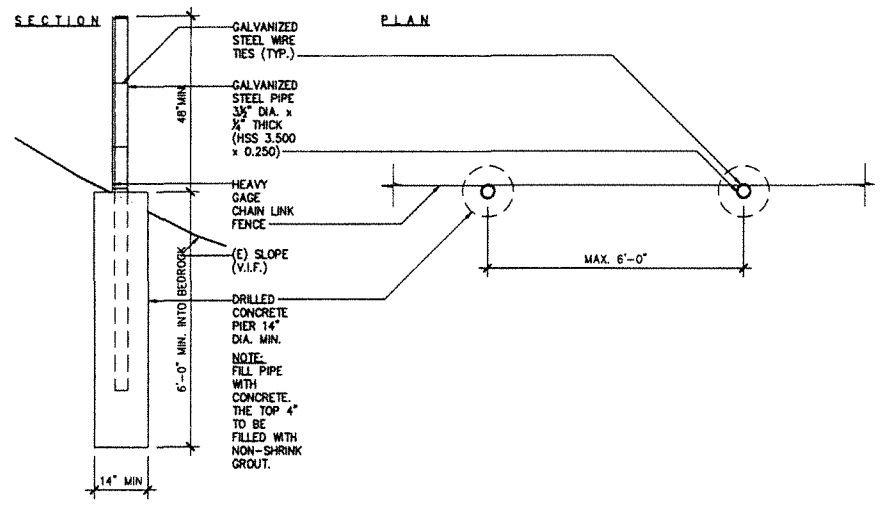
- NOTES:
1. BACKFILL OPERATIONS TO BE CARRIED OUT AFTER CONCRETE HAS GAINED SUFFICIENT STRENGTH.
 2. ENGINEERED BACKFILL SHOULD BE APPROVED NON-EXPANSIVE SOILS.

- NOTES:
1. DEPTH OF PIER VARIES DEPENDING ON THE DEPTH OF BEDROCK. 6'-0" MINIMUM INTO BEDROCK. U.O.M. CONTRACTOR SHALL CONTACT THE SOIL ENGINEER TO OBSERVE EXCAVATION AND VERIFY ADEQUATE DEPTH IN WRITING BEFORE POURING CONCRETE.
 2. CONCRETE MINIMUM COMPRESSIVE STRENGTH FC=3000 PSI AT 28 DAYS.
 3. MAX. 6'-0" BETWEEN PIERS.

1 STEEL SOLDIER PILE & LAGGING RW DETAIL SCALE 1" = 1'-0"



4 GRADE BEAM DETAILS SCALE 1" = 1'-0"



2 DEBRIS FENCE DETAIL SCALE 1/2" = 1'-0"

NOT USED

5 BEAM "G" DETAIL SCALE 1" = 1'-0"

NOT USED

6 TYP. HOLDOWN AT STEEL BEAM DETAIL SCALE 1-1/2" = 1'-0"

NOT USED

7 TYP. SILL PLATE AT STEEL BEAM DETAIL SCALE 1-1/2" = 1'-0"

REVISIONS	BY
1	DL
2	DL
3	DL

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 Consulting Engineering & Construction Support

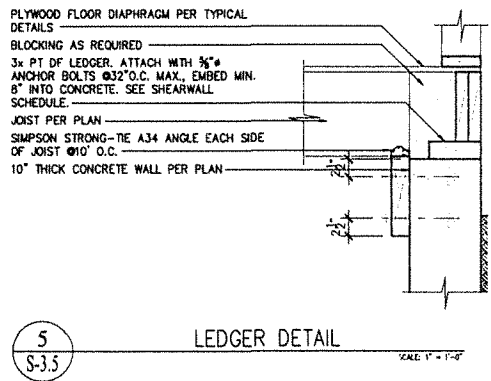
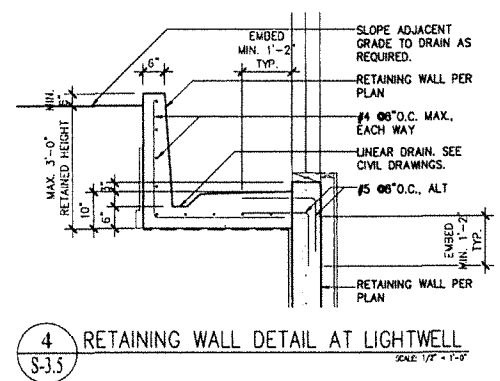
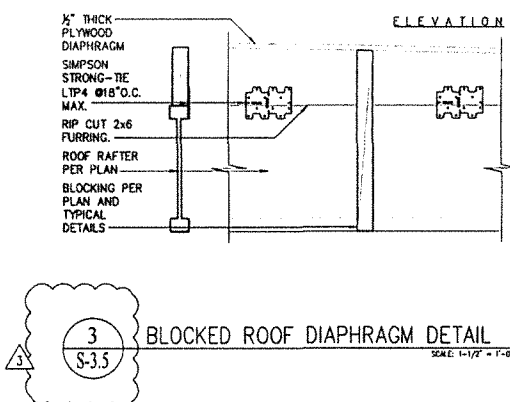
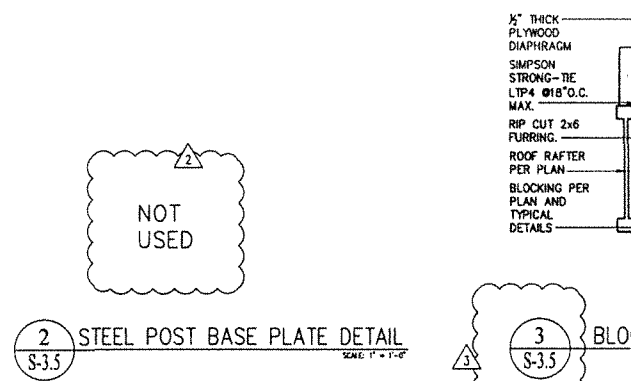
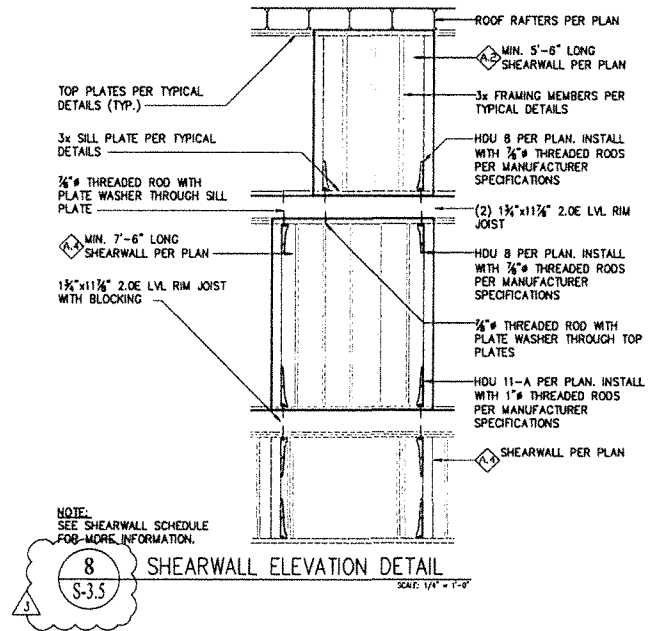
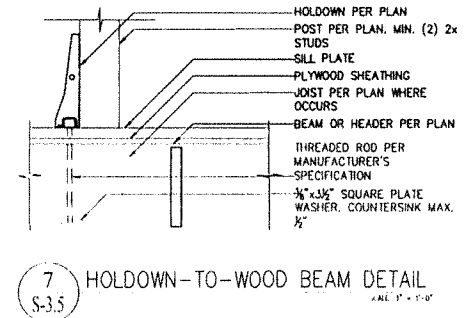
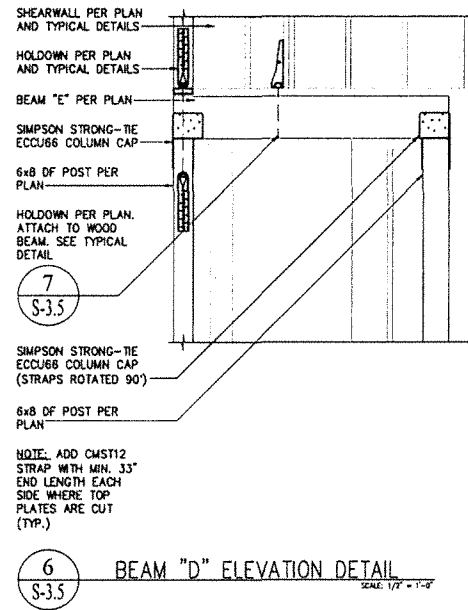
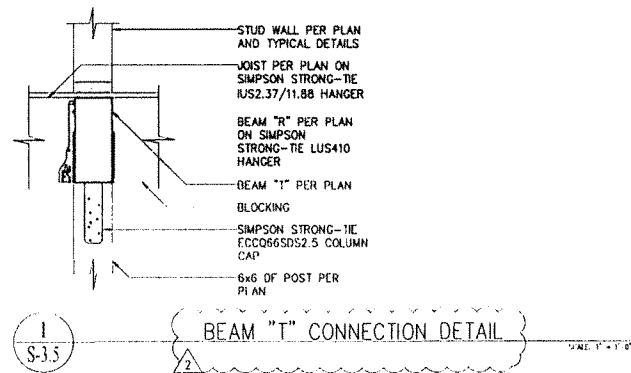
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 Phone: (415)499-1919 Email: darius@daccassociates.net

NEW RESIDENCE & ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 PROJECT APN 002-062-03

STRUCTURAL DETAILS

DATE: 2022-04-08
 SCALE: AS SHOWN
 DRAWN BY: DL
 JOB NUMBER: 1477-0822 S

SHEET 13
S-3.4
 OF 14 SHEETS



REVISIONS	BY
2022-06-21	DL
2022-09-21	DL
2023-04-20	DL

Darius Abolhassani Consultant & Associates, Inc.
 Consulting Engineering & Construction Support

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NEW RESIDENCE & ADU
 79 WOOD LANE
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STRUCTURAL DETAILS

DATE: 2022-04-08
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 DRAWN BY: DL
 JOB NUMBER: 1477-0822 S

SHEET 14
S-3.5
 OF 14 SHEET



ATTACHMENT D

Linda Neal

From: Mark Lockaby
Sent: Friday, December 15, 2023 9:41 AM
To: Linda Neal
Subject: FW: 79 Wood Lane

Thanks,

Mark Lockaby
Building Official
Town of Fairfax
142 Bolinas Road
Fairfax, CA 94930
415-458-2370

From: Coby Friedman <coby@cfcontracting.com>
Sent: Wednesday, June 7, 2023 9:40 PM
To: Mark Lockaby <mlockaby@townoffairfax.org>
Subject: RE: 79 Wood Lane

Hi Mark,
My answers and comments are in **red** below.

Thanks,

Coby Friedman
CF Contracting, Inc.
Tel. 415-310-5442
Fax. 415-296-6437

From: Mark Lockaby <mlockaby@townoffairfax.org>
Sent: Wednesday, June 7, 2023 9:21 AM
To: Coby Friedman <coby@cfcontracting.com>
Subject: FW: 79 Wood Lane

Coby,

During a requested framing inspection I noticed that there were several changes to your approved plans. You submitted new plans for the current design. The changes are either shown on the plans, or have been started as follows:

1. A portion of the basement is shown to be an accessory dwelling unit, with an addition to meet egress requirements for the bedroom. We believe this can proceed.

Thank you

2. A portion of the top floor has been prepared to be a junior accessory dwelling unit, including enclosing an upper deck, and the addition of an exterior stairway. We believe the JADU can proceed however the enclosure of the deck, and exterior stairway must go to the planning commission for approval. No work can proceed on the rear stairs or enclosed area until planning commission approvals are obtained. Additionally there will be a deed restriction required stating that the home is to be owner occupied (State Law).
The ~50 SF rear deck has already been enclosed, the rough plumbing, electrical and HVAC work has been done. The only remaining work to do there is drywall and paint. Since you said that you believe the JADU can proceed and the remaining work (i.e. drywall, paint and the access stairs in the back) is all being done for the JADU, I'll proceed with that work.
3. A portion of the of the basement is shown as additional living space (office) for the main residence. You have agreed to remove this from the plans, or seek approval from the planning commission.
I agree to remove the "Office" and designate it as storage space.
4. A rear deck is shown at the rear of the structure at ground level. You have agreed to remove the deck from the plans, or seek approval from the planning commission.
I agree
5. The front low roof is shown as being eliminated, and a deck above a portion of the lower floor even with the top floor is shown. This must go to the planning commission for approval. No work can continue further with the deck until planning commission approval is obtained.
The roof deck has already been constructed and water proofed with epoxy coating. The only work remaining to do there is the railings which you've okayed me to install safety railing.
6. The new plans show a garage without out the ADU that was shown on the previously approved plans. The limit for the parcel is the main house, 1 ADU, and 1 JADU. In the future the garage cannot be converted to an ADU, or have an ADU added to it (unless state laws change).
I agree
7. You agreed to be cordial during any interactions with town staff, and the planning commission.
I'll try my best

At this point only foundation inspections, and under slab plumbing inspections have been completed. At some point very soon framing, plumbing, mechanical, and electrical inspections will need to be scheduled and passed before any work can continue.

Please update your new plans to reflect the agreed upon deletions, and work with the planning department for the changes that need planning commission approvals.

I let you know that if any work is continued in the areas that need planning commission approvals a "Stop Work" order will be issued.

I intend to submit plans showing the changes when the project is done and for the County Assessor's purposes only, so the property can be assessed for tax purposes. If you'd like to show the plans to the Planning Commission then be my guest. However, I don't agree that the Planning Commission should have anything to do with any work or changes relating to the ADU or JADU or with any other changes so long as the house complies with all the zoning standards.

Please let me know if you have any questions regarding this matter.

Regards,

Mark Lockaby
Building Official
Town of Fairfax
142 Bolinas Road
Fairfax, CA 94930
415-458-2370