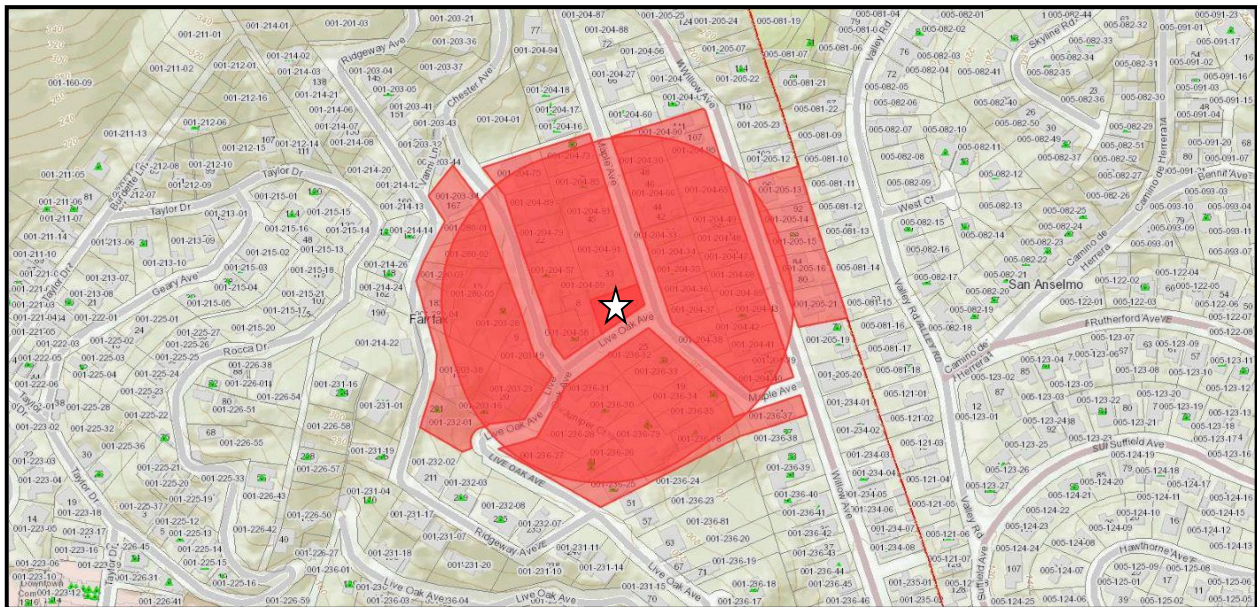


# TOWN OF FAIRFAX STAFF REPORT

## Department of Planning and Building Services

**TO:** Fairfax Planning Commission  
**DATE:** February 15, 2024  
**FROM:** Kara Spencer, Assistant Planner  
**LOCATION:** 31 Maple Avenue; APN: 001-204-92  
**ZONING:** RD 5.5-7 Residential Zone  
**PROJECT:** Addition of an approximately 144 square foot wooden, second story deck to an accessory dwelling unit (ADU) located above an attached garage  
**ACTION:** Conditional Use Permit (CUP), Rear Setback Variance, and Combined Front and Rear Yard Setback Variance; Application No. 24-02  
**APPLICANT:** Bridget Fees  
**OWNER:** Bridget Fees  
**CEQA STATUS:** Categorically exempt, §15301(a) & § 15303(e).



## 31 MAPLE AVENUE

### PROJECT DESCRIPTION

The project proposes the construction of an approximately 144 square foot second-story deck onto the side of an existing approximately 800 square foot, second-story, one-bedroom, one-bathroom, Accessory Dwelling Unit (ADU) located above an attached garage. The deck would be constructed of wood with a wood and hog wire railing to match the existing stairway. The deck would be elevated approximately nine feet off the ground.

### BACKGROUND

The approximately 6,250 square foot property slopes moderately down towards Maple Avenue at an average rate of approximately 16 percent. It is developed with an approximately 1,735 square foot house, an approximately 445 square foot attached garage, and an approximately

800 square foot ADU located above the garage. The house was constructed in 1995. The Planning Department approved the ADU in November 2022 and the building permit for the ADU was issued in January 2023.

The project property is located within the RD 5.5-7 Residential Zone, High-Density District (RD 5.5-7 Zone). It is also located within a Wildland Urban Interface (WUI) Zone according to the Ross Valley Fire Department “Town of Fairfax Wildland-Urban Interface Zones” Map. The project site is not within a half mile of a known Northern Spotted Owl (NSO) nesting site according to NSO nesting data from the Marin Audubon Society.

Table 1 below demonstrates the property’s compliance with the regulations of the RD-5.5-7 Residential Zone, High-Density District where the property is located. As indicated in Table 1, the existing property meets the front setback, the minimum and combined side-yard setbacks, the FAR, lot coverage, and building height requirements.

**Table 1: 31 Maple Avenue Compliance with RD 5.5-7 Regulations**

	Front Setback	Rear Setback	Combined Front/Rear Setback	Side Setbacks	Combined Side Setbacks	FAR	Lot Coverage	Height
<b>Required/ Permitted</b>	6 ft.	10 ft. <sup>1</sup> 4 ft. <sup>2</sup>	35 ft.	5 ft. & 10 ft. <sup>3</sup>	20 ft.	.40	.35	28.5 ft., 2 stories
<b>Existing</b>	22 ft.	8 ft. <sup>4</sup> 4 ft. <sup>5</sup>	30 ft. <sup>4</sup> 26 ft. <sup>5</sup>	8 ft. & 12 ft.	20 ft.	.28	.35	21 ft., 2 stories
<b>Proposed</b>	No change	No change	No change	8 ft. & 10 ft. <sup>6</sup>	18 ft. <sup>6</sup>	No change	No change	No change

1. Town Code § 17.084.070(B)(1) requires a ten foot rear yard setback for properties in the RD 5.5-7 Zone with a slope of more than ten percent.
2. Town Code § 17.048.010(F)(12)(a) requires a four foot setback from the rear property boundary for an ADU.
3. Town Code § 17.084.070(C) requires a ten foot setback for all street frontage on a corner lot.
4. To attached garage.
5. To ADU stairs.
6. Town Code § 17.044.070(A)(2) allows decks to project two feet into a required side-yard.

**DISCUSSION**

**Required Discretionary Approvals**

Town Code § 17.084.050 specifies that any physical improvement on a property in the RD 5.5-7 zone that does not meet the minimum size and width requirements based on its slope requires approval of either a Conditional Use Permit (CUP) or a Hill Area Residential Development (HRD) Permit. Based on the approximate 16 percent slope of the project site, it would need to be 8,000 square feet in area and 68 feet wide to conform to the size and width requirements of Town Code § 17.084.050(C). At approximately 6,250 square feet in area and approximately 63 feet wide the property does not meet the minimum area or width required by the Town Code. The project does not require any excavation and would result in minimal site disturbance. Therefore, the HRD permit is not applicable and the proposed second-story deck addition requires the approval of a CUP.

The project requires Planning Commission approval of a Variance to the Rear Yard Setback and the Combined Front and Rear Yard Setback requirements [Town Code § 17.084.070(B)(1)] for constructing a portion of the proposed deck within the rear yard and combined front and rear

yard setbacks. A portion of the proposed deck would also encroach into the 20 foot combined side-yard setback, resulting in an approximately 18 foot combined side-yard setback for the property. However, Town Code § 17.044.070(A)(2) allows decks to project two feet into a required side-yard without Planning Commission approval of a Variance, as long as the deck does not come closer than three feet to a property line. Therefore, the project does not require a Variance to the combined side-yard setback requirement.

**Conditional Use Permit (Town Code Chapter 17.032)**

Approval of the CUP to allow the property owner to add a second story deck onto the existing ADU located above the attached garage would not constitute a grant of special privilege nor contravene the doctrines of equity and equal treatment. It would not change the FAR, lot coverage, or height of the ADU/attached garage or the primary residence. While the proposed second story deck would project two feet into the combined side yard setback, this projection is allowed by Town Code § 17.044.070(A)(2) as mentioned above and it would also meet the minimum ten foot side-yard setback required for all street frontage along a corner lot [Town Code § 17.084.070(C)]. All other existing setbacks would remain unchanged. The property would continue to maintain similar setbacks, FAR, lot coverage, and height as other developed single family residential properties found in the immediate neighborhood and throughout the Ridgeway Park Subdivision, many of which also have second story decks that intrude into required setbacks (e.g., 4 and 6 Juniper Court and 41 Live Oak Avenue).

The proposed project would not cause excessive or unreasonable detriment to adjoining properties or premises. The deck would project past the existing ADU/attached garage, approximately nine feet above the driveway and approximately ten feet from the Live Oak Avenue frontage in compliance with height and setback requirements. The proposed deck would be located approximately four feet from the neighboring driveway shared by the 8 and 10 Live Oak Avenue properties. However, due to the siting of the houses on the 8 and 10 Live Oak Avenue properties, the proposed deck would be approximately 25 feet forward of the house at 8 Live Oak Avenue and approximately 50 feet to the east of the house at 10 Live Oak Avenue. Due to the siting of the houses and their distances from each other, the wooden fence and retaining wall between the properties, and intervening vegetation, views between 31 Maple Avenue and the 8 and 10 Live Oak Avenue properties would not be impacted by the deck and the current level of privacy would be maintained. The proposed deck would be approximately 40 feet from 25 Maple Avenue which is located across Live Oak Avenue from the proposed second story deck addition. One light is proposed on the deck that would be Dark Sky compliant.

Granting the CUP to enable the property owner to build the second story deck onto the existing ADU located above the attached garage would increase the amount of structure within the rear yard and combined front and rear yard setbacks. This deck addition does not change the residential character of the property; and, the applicant has applied for a Variance to the Rear Yard and Combined Front and Rear Yard Setback requirements, which, if granted would ensure that the granting of the CUP would not be contrary to those objectives, goals or standards contained in the Zoning Ordinance or the 2010-2030 Fairfax General Plan.

Due to the site topography and the siting of the existing house and attached garage/ADU on a corner lot, there is limited usable private outdoor living space for the occupants of the house and the occupants of the attached ADU. The proposed deck would create some additional usable private outdoor living space for the occupants of the ADU that would be located above the existing driveway in an area where there currently is no usable private outdoor living space. As proposed, the project would result in equal or better development of the site with minimal site disturbance, which is in the public interest.

**Rear Yard and Combined Front and Rear Yard Setback Variances (Town Code Chapter 17.028)**

Adding the second story deck to the existing ADU located above the attached garage would not change the building footprint and as stated above, it would not change the residential character of the property. Other property owners in the vicinity and under identical zone classification have second story decks within required setbacks (e.g., 4 and 6 Juniper Court and 41 Live Oak Avenue). Therefore, the strict application of this title would deprive the applicant of privileges enjoyed by other property owners in the vicinity and under identical zone classification. Compliance with the rear yard and combined front and rear yard setback requirements would be impractical due to the siting of the existing attached garage/ADU and an unreasonable and excessive hardship for the property owner, as it would prohibit them from creating some additional usable private outdoor living space for the occupants of the ADU on a property with two dwelling units and little usable private outdoor living space. The approximate 40 and 50 foot distances of the proposed second story deck from neighboring properties at 25 Maple Avenue and 10 Live Oak Avenue, respectively; and, its location approximately 25 feet forward of the house at 8 Live Oak Avenue and ten feet from the Live Oak Avenue right of way ensure that the project would not be detrimental to the neighbors or the public using Live Oak Avenue.

**OTHER DEPARTMENT/AGENCY COMMENTS/CONDITIONS OF APPROVAL**

No comments or conditions were received from the Ross Valley Fire Department (RVFD), Marin Municipal Water District (MMWD), Ross Valley Sanitary District (RVSD) or the Town of Fairfax Police, Building, or Public Works Departments.

**RECOMMENDATION**

Conduct the public hearing. Move to approve application No. 24-02 by adopting the attached Resolution No. 2024-05 setting forth the findings and the conditions of project approval.

**ATTACHMENTS**

Attachment A – Resolution No. 2024-05

## RESOLUTION NO. 2024-05

### **A Resolution of the Fairfax Planning Commission Approving Application No. 24-02 for a Conditional Use Permit, a Rear Yard Setback Variance, and a Combined Front and Rear Yard Setback Variance for the Construction of an Approximately 144 Square Foot, Second Story Deck onto an Accessory Dwelling Unit (ADU) Located Above an Attached Garage at 31 Maple Avenue**

**WHEREAS**, the Town of Fairfax received an application from Bridget Fees for the addition of an approximately 144 square-foot, second story deck onto an ADU located above an attached garage at 31 Maple Avenue; and

**WHEREAS**, the Planning Commission held a duly noticed Public Hearing on February 15, 2024, at which time the Planning Commission determined that the project complies with the Town Code and that findings can be made to grant the requested Conditional Use Permit, the Rear Yard Setback Variance, and the Combined Front and Rear Yard Setback Variance; and

**WHEREAS**, based on the plans and other documentary evidence in the record the Planning Commission determined that the applicant met the burden of proof required to support the findings necessary to approve the discretionary Conditional Use Permit, the Rear Yard Setback Variance, and the Combined Front and Rear Yard Setback Variance; and

**WHEREAS**, The project is exempt from the California Environmental Quality Act per Categorical Exemption § 15301(a) & § 15303(e); and

**WHEREAS**, the Planning Commission made the following findings:

The project is consistent with the 2010-2030 Fairfax General Plan as follows:

Policy LU-7.1.5: New and renewed residential development shall preserve and enhance the existing characteristics of the Town's neighborhoods in their diverse architectural style, size, and mass.

Objective LU-7.2, Preserve, maintain, and enhance in a sustainable manner, the existing design aesthetic, scale, and quality of life in Fairfax's residential neighborhoods.

Policy LU-7.2.1: New and renewed development shall be compatible with the general design and scale of structures in the vicinity.

Policy LU-8.1.2: The Town of Fairfax shall permit construction of well-designed second units consistent with state law, zoning requirements, and building codes, parking requirements and street capacity.

## Conditional Use Permit Findings (Town Code § 17.032.060)

1. The approval of the Conditional Use Permit shall not constitute a grant of special privilege and shall not contravene the doctrines of equity and equal treatment. Adding a second story deck onto the existing ADU located above the attached garage will not change the FAR, lot coverage, or height of the ADU/attached garage or the primary residence. The proposed second story deck addition will project an allowable two feet into the combined side yard setback and will meet the minimum ten foot side-yard setback required for all street frontage along a corner lot. All other existing setbacks will remain unchanged. The property will continue to maintain similar setbacks, FAR, lot coverage, and height as other developed single family residential properties found in the immediate neighborhood and throughout the Ridgeway Park Subdivision, many of which also have second story decks that intrude into required setbacks (e.g., 4 and 6 Juniper Court and 41 Live Oak Avenue).
2. The proposed project will not create a public nuisance, cause excessive or unreasonable detriment to adjoining properties or premises or cause adverse physical or economic effects thereto, or create undue or excessive burdens in the use and enjoyment thereof, any or all of which effects are substantially beyond that which might occur without approval or issuance of the Conditional Use Permit. The proposed second story deck addition would project beyond the footprint of the existing ADU/attached garage, approximately nine feet above the driveway and approximately ten feet from the Live Oak Avenue frontage in compliance with height and setback requirements. No excavation is required to implement the project. No visual impacts are anticipated. The project does not propose any additional bedrooms and will not increase the use of public parking. The proposed deck would be approximately 25 feet forward of the house at 8 Live Oak Avenue, approximately 50 feet to the west of the house at 10 Live Oak Avenue, and approximately 40 from the property across Live Oak Avenue. Views between neighboring properties would not be negatively impacted and the current level of privacy would be maintained.
3. The proposed project maintains the single-family use of the site in compliance with the RD 5.5-7 Residential Zoning and the 2010-2030 Fairfax General Plan land use designation for the site. The project is compliant with Fairfax General Plan Policy LU-7.1.5: "New and renewed residential development shall preserve and enhance the existing characteristics of the Town's neighborhoods in their diverse architectural style, size, and mass," Land Use Objective LU-7.2, "Preserve, maintain, and enhance in a sustainable manner, the existing design aesthetic, scale and quality of life in Fairfax's residential neighborhoods," General Plan Policy LU-7.2.1, "New and renewed development shall be compatible with the general design and scale of structures in the vicinity," and General Plan Policy LU-8.1, "The Town of Fairfax shall permit construction of well-designed second units consistent with state law, zoning requirements, and building codes, parking requirements and street capacity." Approval of the Variances to the Rear and the Combined Front and Rear Setback requirements ensures that the project is consistent with the objectives, goals, and standards contained in the Zoning Ordinance and the 2010-2030 Fairfax General Plan.

4. The proposed deck would create some additional usable private outdoor living space for the occupants of the ADU that would be located above the existing driveway in an area where there currently is no usable private outdoor living space. Therefore, approval of the Conditional Use Permit will result in equal or better development of the premises than would otherwise be the case, and the approval is in the public interest and for the protection and enhancement of the community.

**Rear Yard and Combined Front and Rear Yard Setback Variances [Town Code §§ 17.028.070(A)(1) through (4)]**

1. The siting of the existing ADU with a legally conforming approximate four foot setback from the rear property boundary is the special circumstance applicable to the property which makes it difficult to comply with the rear and combined front and rear setback regulations. Therefore, the strict application of the ten foot rear and 35 foot combined front and rear setback regulations will deprive the applicant of the privilege of additional usable private outdoor living space, which is a privilege enjoyed by other property owners in the vicinity with two dwelling units on their properties.
2. The variance or adjustment will not constitute a grant of special privilege, is consistent with the limitations upon other properties in the vicinity and under identical zone classification and is consistent with the objectives of the Fairfax Zoning Ordinance. Other property owners in the vicinity and under identical zone classification have second story decks within required setbacks.
3. The strict application of the required ten foot rear and 35 foot combined front and rear setback regulations would result in unreasonable hardship for the property owner since it would prohibit her from creating some additional usable private outdoor living space for the occupants of the ADU on a property with two dwelling units and little usable private outdoor living space.
4. The approximate 40 and 50 foot distances of the proposed second story deck from neighboring properties at 25 Maple and 10 Live Oak Avenue, respectively; and, its location approximately 25 feet forward of the house at 8 Live Oak Avenue and ten feet from the Live Oak Avenue right of way ensure that the project would not be detrimental to the neighbors or the public using Live Oak Avenue.

**WHEREAS**, the Planning Commission approved the project subject to the applicant's compliance with the following conditions:

1. The project is approved per the plans prepared by Karina Andreeva received by the Town on 2/6/24.
2. The plans submitted for building permits shall include the final approved conditions of approval on one of the plan pages.

3. During the construction process the following shall be required:
  - a. All construction-related vehicles shall be situated off the travel lane of the adjacent public right(s)-of-way at all times. This condition may be waived by the Building Official on a case-by-case basis with prior notification from the project sponsor.
  - b. Any proposed temporary closures of a public right-of-way shall require prior approval by the Fairfax Police Department and any necessary traffic control, signage or public notification shall be the responsibility of the applicant or his/her assigns. Any violation of this provision will result in a stop work order being placed on the property and issuance of a citation.
4. The Building Official shall field check the completed project to verify compliance with the approved plans and building code requirements.
5. The roadways shall be kept free of dust, gravel, and other construction materials by sweeping them, daily, if necessary.
6. Any changes, modifications, additions, or alterations made to the approved set of plans will require a modification of Application # 24-02. Modifications that do not significantly change the project, the project design or the approved discretionary permits **may** be approved by either the Planning Commission or the Planning Director. Any construction based on job plans that have been altered without the benefit of an approved modification of Application 24-02 will result in the job being immediately stopped and red tagged.
7. Any damage to the public portions of Maple Avenue, Live Oak Avenue, Willow Avenue, or other public roadway used to access the site resulting from construction-related activities shall be the responsibility of the property owner.
8. The applicant and their heirs, successors, and assigns shall, at their sole cost and expense, defend with counsel selected by the Town of Fairfax, indemnify, protect, release, and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council, Planning Director, or any other department or agency of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel. If the parties cannot reach agreement, the Town may select its own legal counsel and the applicant agrees to pay directly, or timely reimburse on a monthly



basis, the Town for all such court costs, attorney fees, and time referenced herein, provided, however, that the applicant's duty in this regard shall be subject to the Town's promptly notifying the applicant of any said claim, action, or proceeding.

9. The applicant shall comply with all applicable local, county, state, and federal laws and regulations. Local ordinances which must be complied with include but are not limited to the following: the Noise Ordinance, Chapter 8.20, Polystyrene Foam, Degradable and Recyclable Food Packaging, Chapter 8.16, Garbage and Rubbish Disposal, Chapter 8.08, Urban Runoff Pollution Prevention, Chapter 8.32, and the Americans with Disabilities Act.
10. In accordance with Town Code §8.20.060(C)(1) and (2), the operation of any tools or equipment used in construction or demolition work or in property maintenance work between the hours of 6:00 PM and 8:00 AM Monday through Friday, or on weekends and holidays between 4:00 PM and 9:00 AM is prohibited.
11. Conditions placed upon the project by outside agencies may be eliminated or amended with that agency's written notification to the Planning Department prior to issuance of the building permit.
12. The exterior light fixture shall be Dark Sky compliant (fully shielded and emit no light above the horizontal plane with no sag or drop lenses, side light panels or uplight panels) as well as compliant with color temperature to minimize blue rich lighting.

**NOW, THEREFORE BE IT RESOLVED**, the Planning Commission of the Town of Fairfax hereby finds and determines as follows:

The approval of the Conditional Use Permit is in conformance with the 2010 – 2030 Fairfax General Plan, the Fairfax Town Code and the Fairfax Zoning Ordinance, Town Code Title 17; and

Construction of the project can occur without causing significant impacts on neighboring residences and the environment.

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 15th day of February 2024 by the following vote:

AYES:  
NOES:  
ABSTAIN:  
ABSENT:

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Chair Robert Jansen

Attest:

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Jeffrey Beiswenger, Director of Planning and Building Services

# Conditional Use Permit

February 5, 2024

# New Deck for (E) ADU

31 Maple Ave. Fairfax, CA 94930

Karina Andreeva  
t 415.283.9100  
e aniraktec@gmail.com

GENERAL NOTES	LIST OF ABBREVIATIONS	DRAWING LIST	PROJECT DESCRIPTION																																																																																																																																																																																																																																																																																								
<p>1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE LOCAL CODES AND REGULATIONS LISTED IN THE PROJECT DATA TABLE.</p> <p>2. ALL WORK SHALL BE PERFORMED IN THE BEST TRADE PRACTICES AND IN ACCORDANCE WITH THE WORK DEFINED IN THESE DOCUMENTS. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.</p> <p>3. THE TERMS "CONTRACTOR", "GENERAL CONTRACTOR", "GC", "CONSTRUCTION CONTRACTOR", "TRADE CONTRACTOR" AND "CONSTRUCTION MANAGER" SHALL BE UNDERSTOOD TO BE THE SAME UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>5. PROVIDE ALL MATERIALS AND LABOR FOR A COMPLETE, WORKING INSTALLATION, GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE.</p> <p>6. THE CONTRACTOR SHALL REVIEW AND FAMILIARIZE HIMSELF WITH THE GENERAL NOTES AND SPECIFICATIONS ON THE DRAWINGS AND DETERMINE WHICH NOTES APPLY DIRECTLY TO HIS RESPONSIBILITY. EACH SUB TRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING THEIR WORK AS APPLICABLE. ALL WORK INDICATED OR INFERRED ON THE DRAWINGS WILL BE DEEMED AND INCLUDED IN ALL CONTRACTORS' WORK.</p> <p>7. ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE CONTRACTOR, AND HE SHALL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK ON ALL DRAWINGS.</p> <p>8. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.</p> <p>9. THE TRADE CONTRACTORS SHALL VERIFY THE EXISTING SITE CONDITIONS AND FAMILIARIZE THEMSELVES WITH THE PROJECT DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION. NO ADDITIONAL COSTS WILL BE ALLOWED FOR ANY CHANGE ARISING FROM THE CONTRACTOR'S FAILURE TO MAKE A THOROUGH INSPECTION OF THESE CONDITIONS.</p> <p>10. PRIOR TO THE START OF ANY AND ALL WORK, THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND INFORM THE BUILDING OWNER OF ANY OMISSIONS OR DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS WHICH COULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.</p> <p>11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN.</p> <p>12. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).</p> <p>14. THE WORK OF EACH TRADE SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND WITH THE OTHER WORK OF OTHER TRADES FOR CLEARANCE, FIT AND ACCESSIBILITY AS REQUIRED.</p> <p>16. ALL ABANDONED PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED AND CLOSED.</p> <p>17. NO DRAWING SHALL BE SCALED. USE NOTED DIMENSIONS ONLY. ALL LOCATIONS FOR EQUIPMENT, ELECTRICAL, HVAC AND PLUMBING DEVICES SHALL BE COORDINATED BETWEEN ARCHITECTURAL AND MECHANICAL DOCUMENTS. LOCATIONS SHOWN ON ARCHITECTURAL PLANS AND ELEVATIONS SHALL GOVERN.</p> <p>18. THE TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR EXECUTING ALL WORK SHOWN OR CALLED FOR ON DRAWINGS OR SPECIFICATIONS. HE WILL COORDINATE WITH THE CONSTRUCTION MANAGER AND WITH OTHER TRADES AND EXECUTE THE JOB IN ACCORDANCE WITH THE ACCEPTED STANDARD PRACTICE PREVAILING IN CALIFORNIA. THE TRADE CONTRACTOR SHALL INFORM THE OWNER AND OBTAIN APPROVAL FOR ANY DEVIATION, ADDITION OR OMISSION TO THE WORK DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS BEFORE PROCEEDING.</p> <p>19. THE TRADE CONTRACTORS SHALL MAINTAIN ALL THE APPROPRIATE INSURANCE REQUIRED BY THE BUILDING OWNER, THE CONSTRUCTION MANAGER AND BY LAW, SUCH AS WILL PROTECT HIM FROM CLAIMS WHICH MAY ARISE OUT OF HIS OPERATIONS OR THE OPERATIONS OF HIS SUBORDINATES. THE TRADE CONTRACTOR SHALL HOLD HARMLESS THE OWNER FROM ANY CLAIMS ARISING OUT OF HIS OPERATIONS OR THE OPERATIONS OF HIS SUBCONTRACTORS DURING THE COURSE OF THE CONSTRUCTION.</p> <p>21. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL APPLY AND ARRANGE FOR REQUIRED DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS. THE CONTRACTOR SHALL PROVIDE ALL THE AS-BUILT DRAWINGS, COMPLETED PAPERWORK, AND CERTIFICATES OF INSPECTION.</p>	<table border="1"><tr><td>ABV ABOVE</td><td>GAL GAUGE</td><td>QTY QUANTITY</td></tr><tr><td>AFF ABOVE FINISHED FLOOR</td><td>GALL GALLON</td><td>QT QUARRY TILE</td></tr><tr><td>ACC ACCESSORIES</td><td>GALV GALVANIZED</td><td>RAD/ R RADIUS/ RISER(S)</td></tr><tr><td>ACF ACCESS FLOORING</td><td>GC GENERAL CONTRACTOR</td><td>RTD RATED</td></tr><tr><td>AP ACCESS PANEL</td><td>GL GLASS</td><td>RCVG RECEIVING</td></tr><tr><td>ACT ACOUSTICAL CEILING TILE</td><td>GR GRAPHICS</td><td>RECP RECEPTACLE</td></tr><tr><td>AWT ACOUSTICAL WALL TREATMENT</td><td>GND GROUND</td><td>RECEP RECEPTION</td></tr><tr><td></td><td>GRT GROUT</td><td>RE REGARD/ REFERENCE</td></tr><tr><td></td><td>GW/ GYPB GYPSUM WALLBOARD</td><td>REFL REFLECTED</td></tr><tr><td>ADJ ADJUSTABLE</td><td>HC HANDICAP</td><td>RA RETURN AIR</td></tr><tr><td>A/C AIR CONDITIONING</td><td>HDW HARDWARE</td><td>REINF 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		<table border="1"><tr><th colspan="3">SYMBOLS LEGEND</th></tr><tr><td>DRAWING TITLE</td><td colspan="2">KEY NOTE TAG</td></tr><tr><td>XX TITLE SCALE</td><td colspan="2">XX</td></tr><tr><td>COLUMN LINE AND IDENTIFICATION</td><td>DOOR TAG</td><td>WINDOW TAG</td></tr><tr><td>XX</td><td>XXX-X</td><td>XX</td></tr><tr><td>REVISION SYMBOL</td><td colspan="2">WALL TYPE TAG</td></tr><tr><td>XXX</td><td colspan="2">XXX</td></tr><tr><td>DATUM / ELEVATION LINE TAG</td><td colspan="2">CEILING HEIGHT TAG</td></tr><tr><td>RefPt Elev</td><td colspan="2">XXX</td></tr><tr><td>ROOM NAME / NUMBER TAG</td><td colspan="2">SECTION, WALL SECTION AND DETAIL TAGS</td></tr><tr><td>ROOM NAME XXX</td><td colspan="2">X A-XXX</td></tr><tr><td>ELEVATION TAGS</td><td colspan="2">DETAIL TAGS, ENLARGED PLAN / DETAIL TAG</td></tr><tr><td>XX A-XXX</td><td>XXX</td><td>XX A-XXX</td></tr></table>	SYMBOLS LEGEND			DRAWING TITLE	KEY NOTE TAG		XX TITLE SCALE	XX		COLUMN LINE AND IDENTIFICATION	DOOR TAG	WINDOW TAG	XX	XXX-X	XX	REVISION SYMBOL	WALL TYPE TAG		XXX	XXX		DATUM / ELEVATION LINE TAG	CEILING HEIGHT TAG		RefPt Elev	XXX		ROOM NAME / NUMBER TAG	SECTION, WALL SECTION AND DETAIL TAGS		ROOM NAME XXX	X A-XXX		ELEVATION TAGS	DETAIL TAGS, ENLARGED PLAN / DETAIL TAG		XX A-XXX	XXX	XX A-XXX	<p><b>BUILDING INFORMATION</b></p> <p>LOCATION: 31 Maple Ave. Fairfax, CA 94930</p> <p>BLOCK/LOT: 001-204-92</p> <p>CONSTRUCTION TYPE: TYPE V-B</p> <p>OCCUPANCY TYPE: R-3</p> <p>ZONING DISTRICT: RD 5.5-7</p> <p>FLOOD ZONE: X</p> <p>WILDFIRE URBAN INTERFACE: YES</p> <p>FIRE SUPPRESSION SYSTEM: NO</p> <p>BUILDING CLASSIFICATION: LOW RISE</p> <p>FIRE ALARM SYSTEM: NO</p>																																																																																																																																																																																																																																																	
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		<p><b>LOCATION PLAN</b></p>	<p><b>PLANNING INFORMATION</b></p> <p>LOT AREA: 6,250 SQ.FT. (PER COUNTY ASSESSOR)</p> <p><b>SETBACKS:</b> FRONT + REAR CUMULATIVE: 35 FT. (FRONT &gt;6 FT REAR &gt; 10 FT)</p> <p>SIDE CUMULATIVE: 20 FT. (EACH &gt;5 FT)</p> <p>CORNER LOTS: 10FT FOR ALL STREET FRONTAGE</p> <p>ADU SIDE: 4 FT.</p> <p>FRONT AND REAR: 10 FT.</p> <p><b>EXISTING BUILDING AREA:</b></p> <p>MAIN RESIDENCE: 1,735 SQ.FT. (PER COUNTY ASSESSOR)</p> <p><b>EXCLUDED:</b></p> <p>GARAGE ADU: 445 SQ.FT. 800 SQ.FT.</p> <p><b>FAR: PERMITTED 40% - 2,500 SQ.FT.</b></p> <p>ONLY MAIN RESIDENCE COUNTS TOWARDS FAR: GARAGE UP TO 500 SQ.FT. EXCLUDED, ADU PER STATE REGS., EXCLUDED AS WELL.</p> <p><b>EXISTING LOT COVERAGE: PERMITTED 35% - 2,187.5 SQ.FT.</b></p> <p>MAIN RESIDENCE: 1,735 SQ.FT.</p> <p>GARAGE: 445 SQ.FT.</p> <p>TOTAL: 2,180 SQ.FT.</p>																																																																																																																																																																																																																																																																																								
			<p><b>APPLICABLE CODES</b></p> <p>ALL WORK IS TO BE PERFORMED ACCORDING TO THE BUILDING CODES, ORDINANCES, AND LAWS OF THE AUTHORITY HAVING JURISDICTION FOR THE PROJECT.</p> <p>CRC - 2023 CALIFORNIA RESIDENTIAL BUILDING CODE. CEC - 2023 CALIFORNIA ELECTRICAL CODE. CMC - 2023 CALIFORNIA MECHANICAL CODE. CPC - 2023 CALIFORNIA PLUMBING CODE. CEnc - 2023 CALIFORNIA ENERGY CODE. CalGreen - 2023 GREEN BUILDING CODE. FAIRFAX MUNICIPAL CODE. FAIRFAX PLANNING CODE.</p>																																																																																																																																																																																																																																																																																								
			<p>No. Issue Date</p> <table border="1"><tr><td>0</td><td>Conditional Use Permit</td><td>10/31/23</td></tr><tr><td>1</td><td>Conditional Use Permit Rev.1</td><td>01/25/24</td></tr><tr><td>2</td><td>Conditional Use Permit Rev.2</td><td>02/05/24</td></tr></table> <p>PROJECT</p> <p>New deck for (E) ADU</p> <p><b>31 Maple Ave</b> Fairfax, CA 94930</p> <p>Date: 02/05/24</p> <p>Scale: N.T.S.</p> <p>Sheet Title:</p> <p><b>Cover Sheet and Drawing List</b></p> <p>Sheet Number:</p> <p><b>G.000</b></p>	0	Conditional Use Permit	10/31/23	1	Conditional Use Permit Rev.1	01/25/24	2	Conditional Use Permit Rev.2	02/05/24																																																																																																																																																																																																																																																																															
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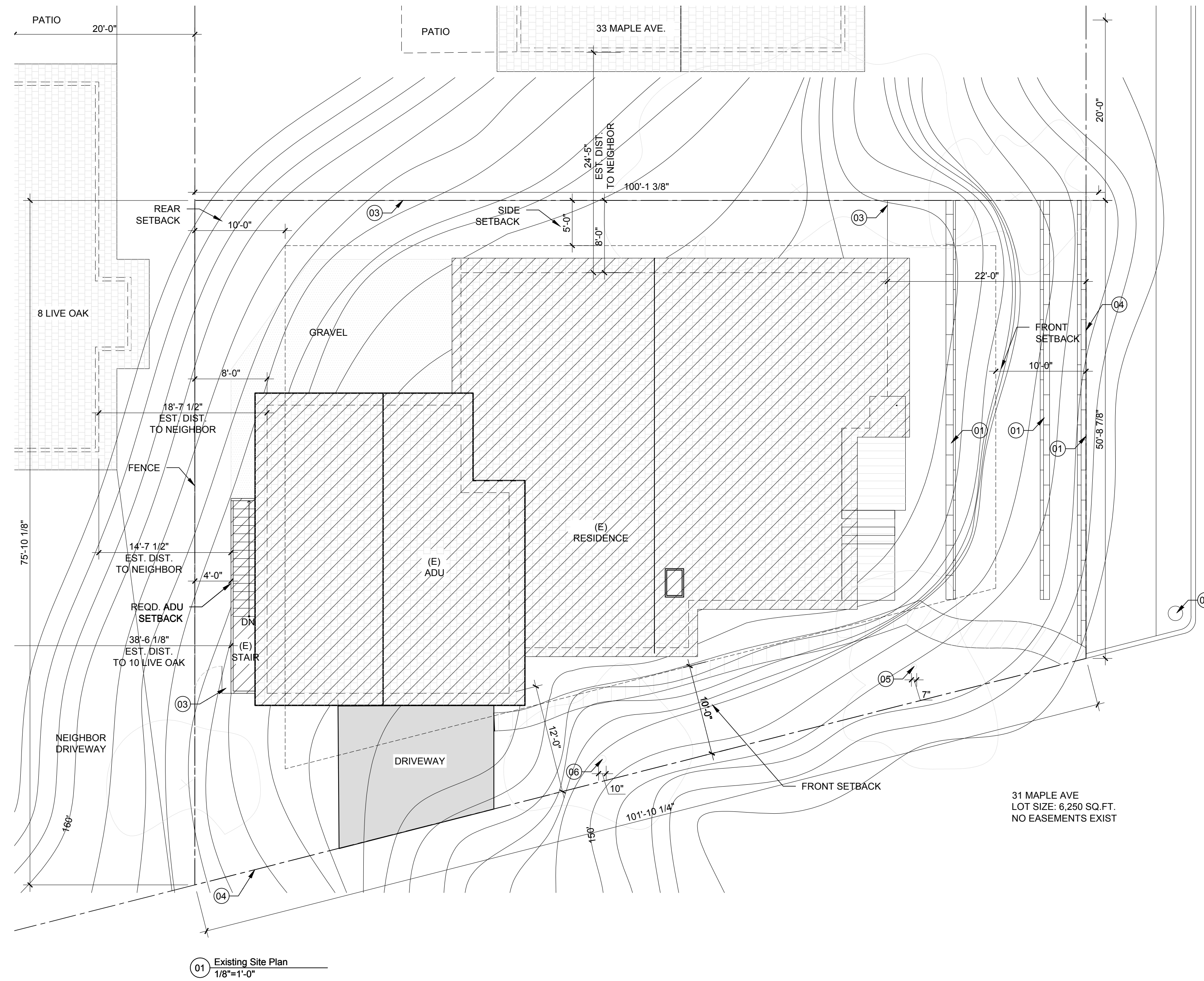
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kelly@turbinstructural.com  
415.373.9472 x 105



PHOTO OF PAVERS



GENERAL NOTES

- A. ALL NON-LABELED AREAS OF SITE ARE DIRT/GRASS
- B. ALL LANDSCAPE STEPS AND PAVERS ARE POUROUS
- C. THERE ARE NO EASEMENTS ON THE SITE

KEY NOTES

- 01 EXISTING LANDSCAPE WALL
- 02 UTILITY POLE
- 03 FENCE
- 04 PROPERTY LINE
- 05 TREE: PRUNUS x YEDOENSIS 'AKEBONO'
- 06 TREE: PRUNUS SERRULATA 'PINK CLOUD'

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No.	Issue	Date
0	Conditional Use Permit	10/31/23
1	Conditional Use Permit Rev.1	01/25/24
2	Conditional Use Permit Rev.2	02/05/24

PROJECT

New deck for (E) ADU

31 Maple Ave  
Fairfax, CA 94930

Date: 02/05/24

Scale: 1/8" = 1'-0"

Sheet Title:  
**Existing Site Plan**

Sheet Number:

**A.001**

**GENERAL NOTES**

- A. ALL NON-LABELED AREAS OF SITE ARE DIRT/GRASS
- B. ALL LANDSCAPE STEPS AND PAVERS ARE POURIOUS
- C. THERE ARE NO EASEMENTS ON THE SITE

**KEY NOTES**

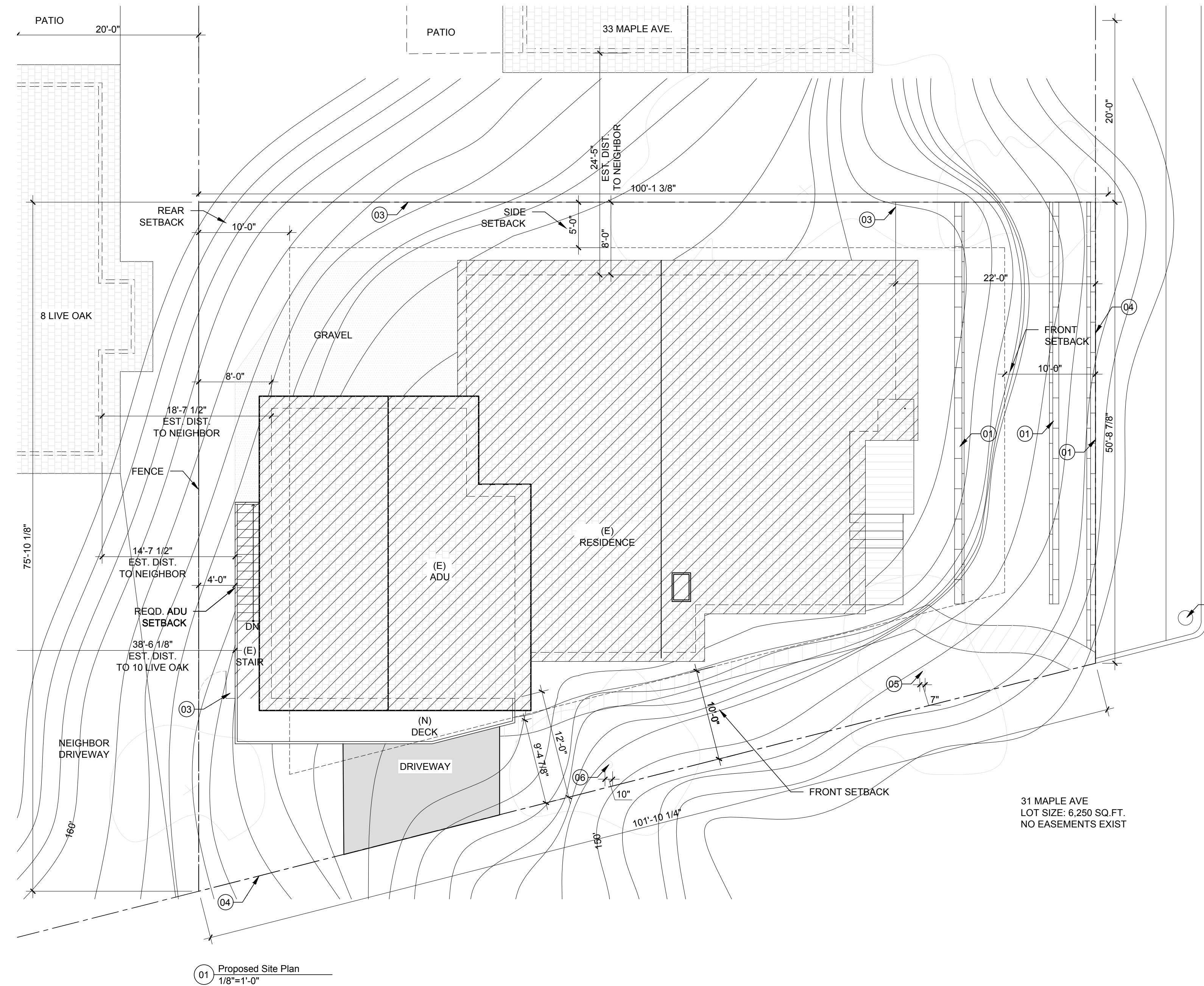
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No.	Issue	Date
0	Conditional Use Permit	10/31/23
1	Conditional Use Permit Rev.1	01/25/24
2	Conditional Use Permit Rev.2	02/05/24

**PROJECT**

New deck for (E) ADU

**31 Maple Ave**  
Fairfax, CA 94930

Date: 02/05/24

Scale: 1/8" = 1'-0"

Sheet Title:  
**Proposed Site Plan**

Sheet Number:

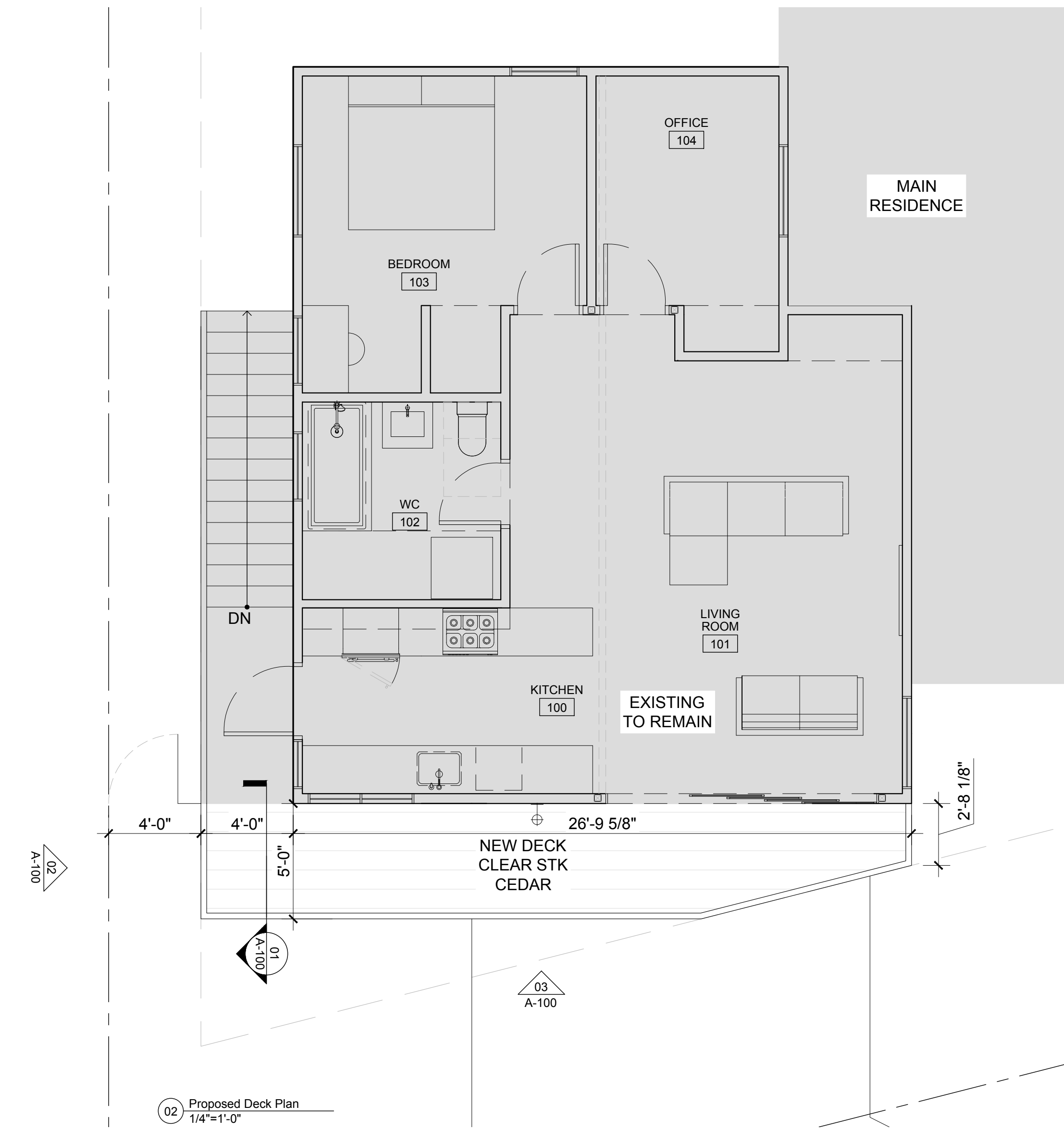
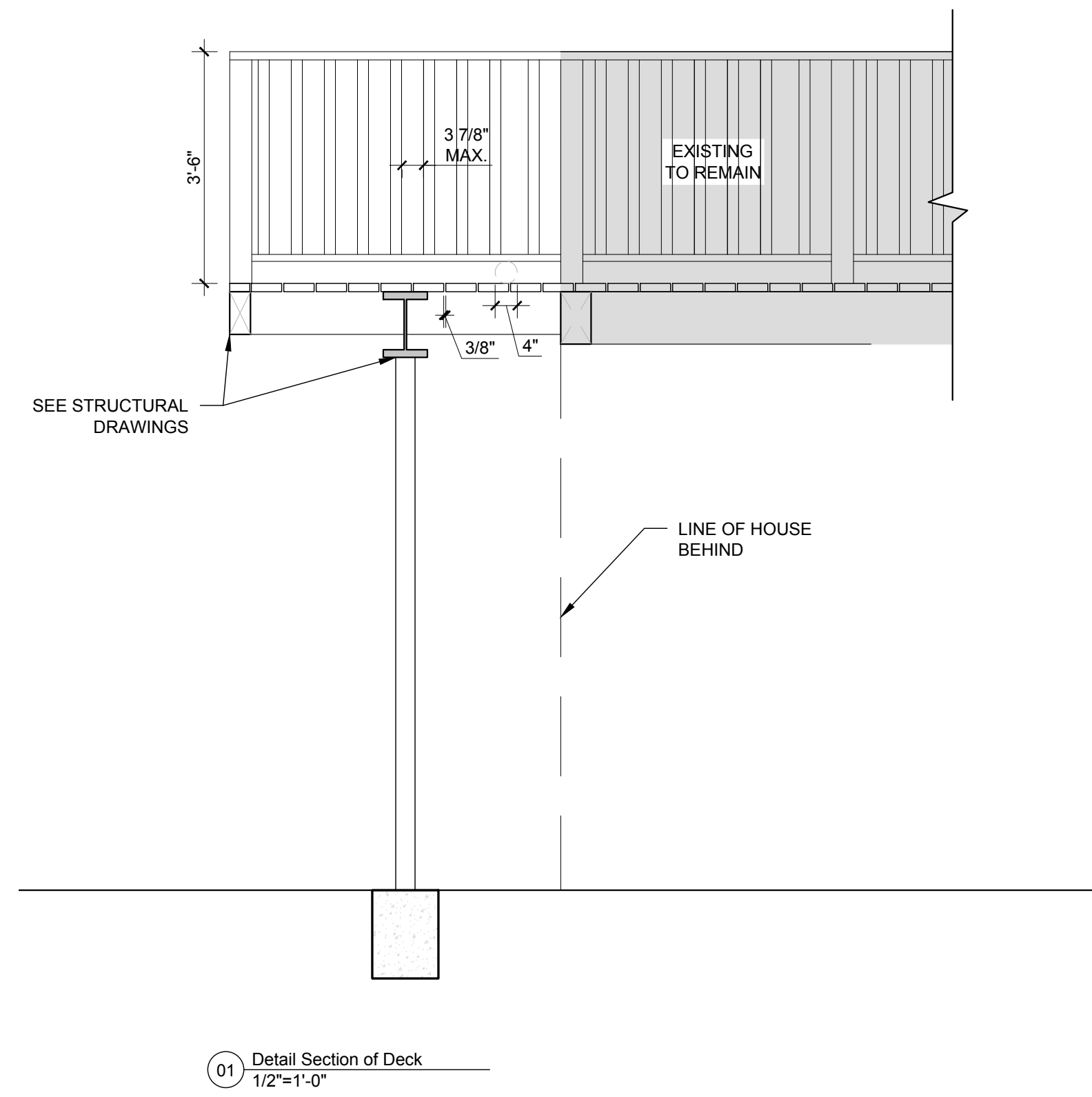
**A.002**

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No.	Issue	Date
0	Conditional Use Permit	10/31/23
1	Conditional Use Permit Rev.1	01/25/24
2	Conditional Use Permit Rev.2	02/05/24

PROJECT

New deck for (E) ADU

31 Maple Ave  
 Fairfax, CA 94930

Date: 02/05/24

Scale: 1/4"=1'-0"

Sheet Title:

Proposed Deck  
 Plan & Details

Sheet Number:

A.100

**KEY NOTES**

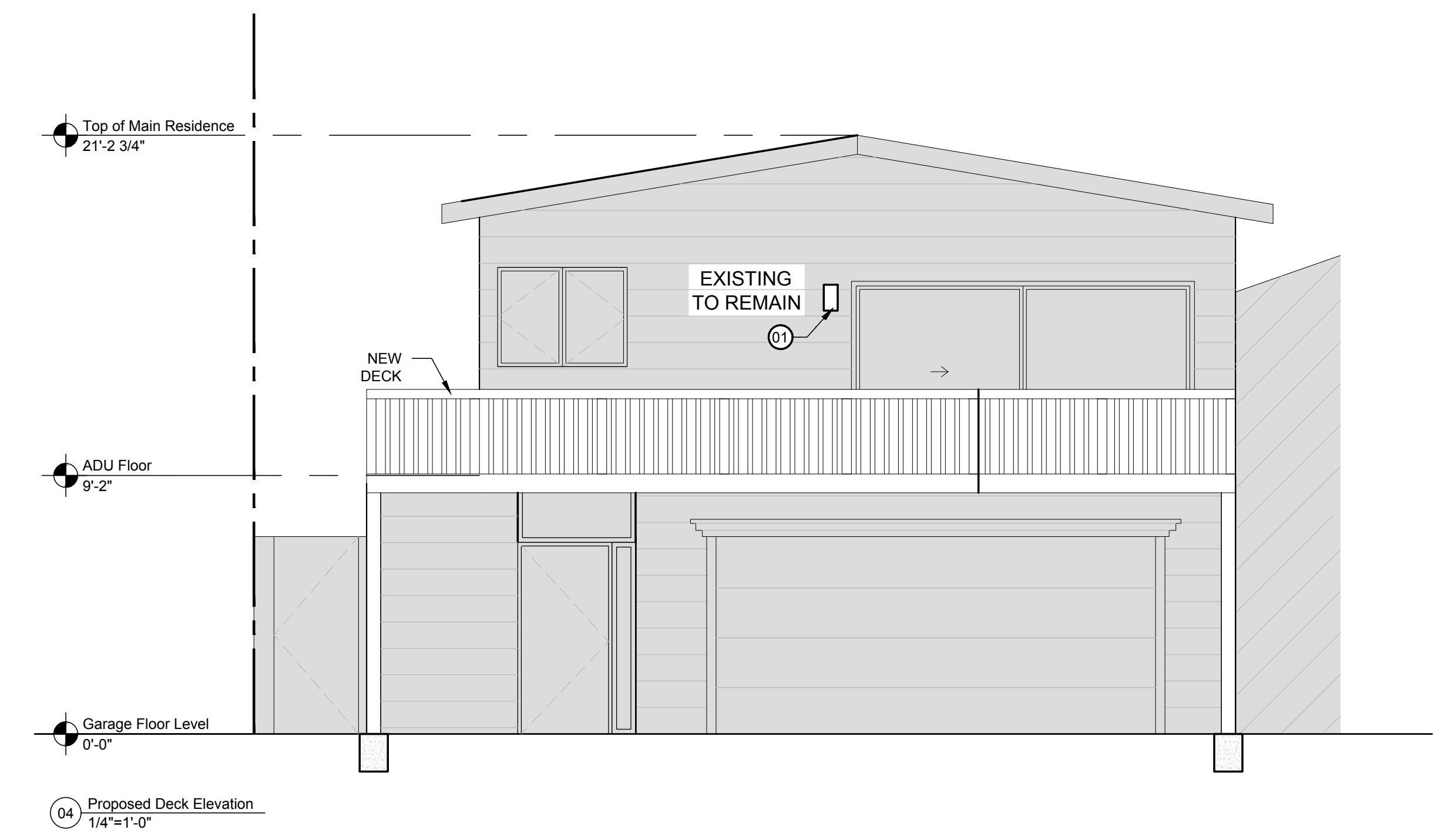
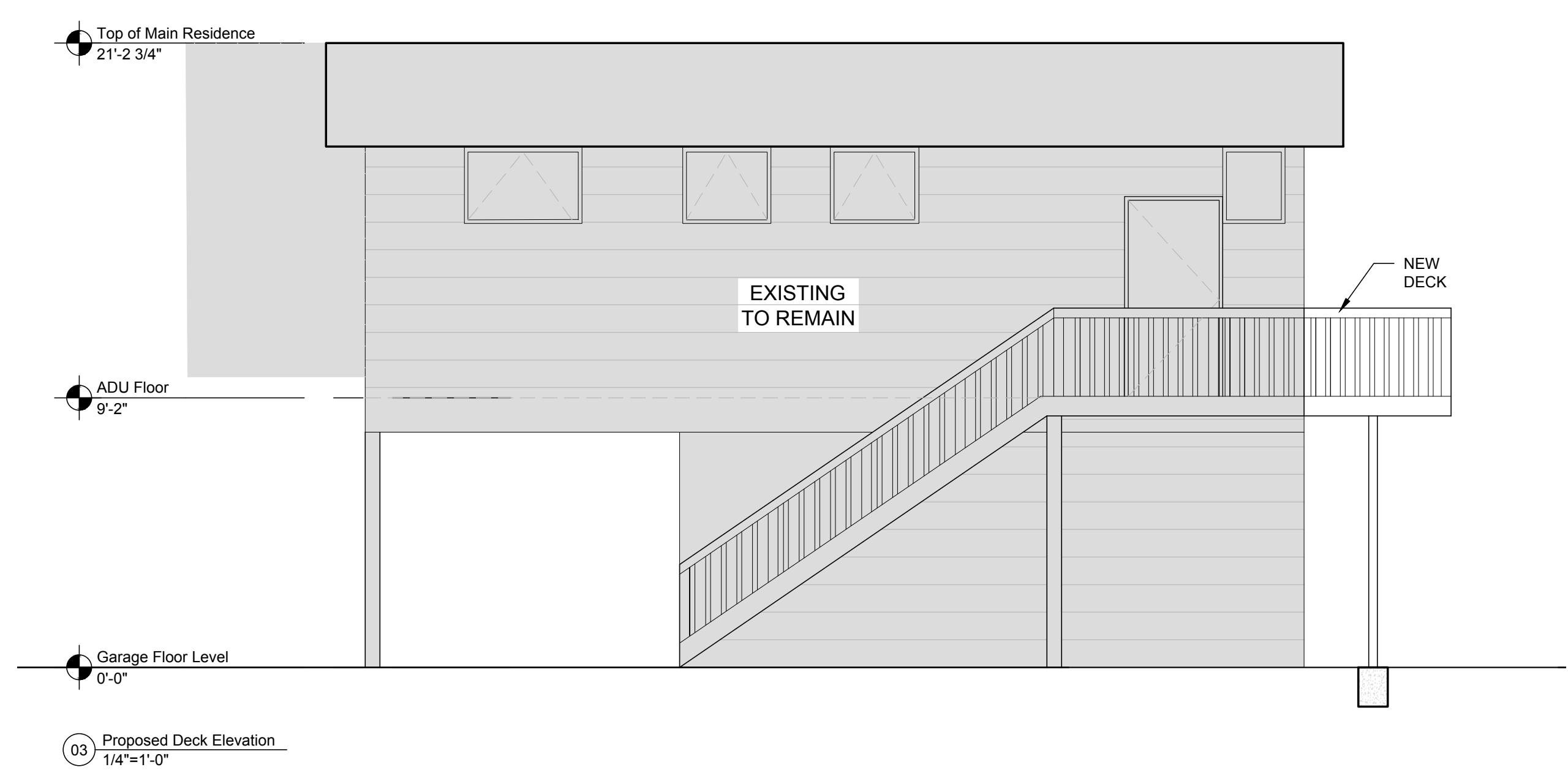
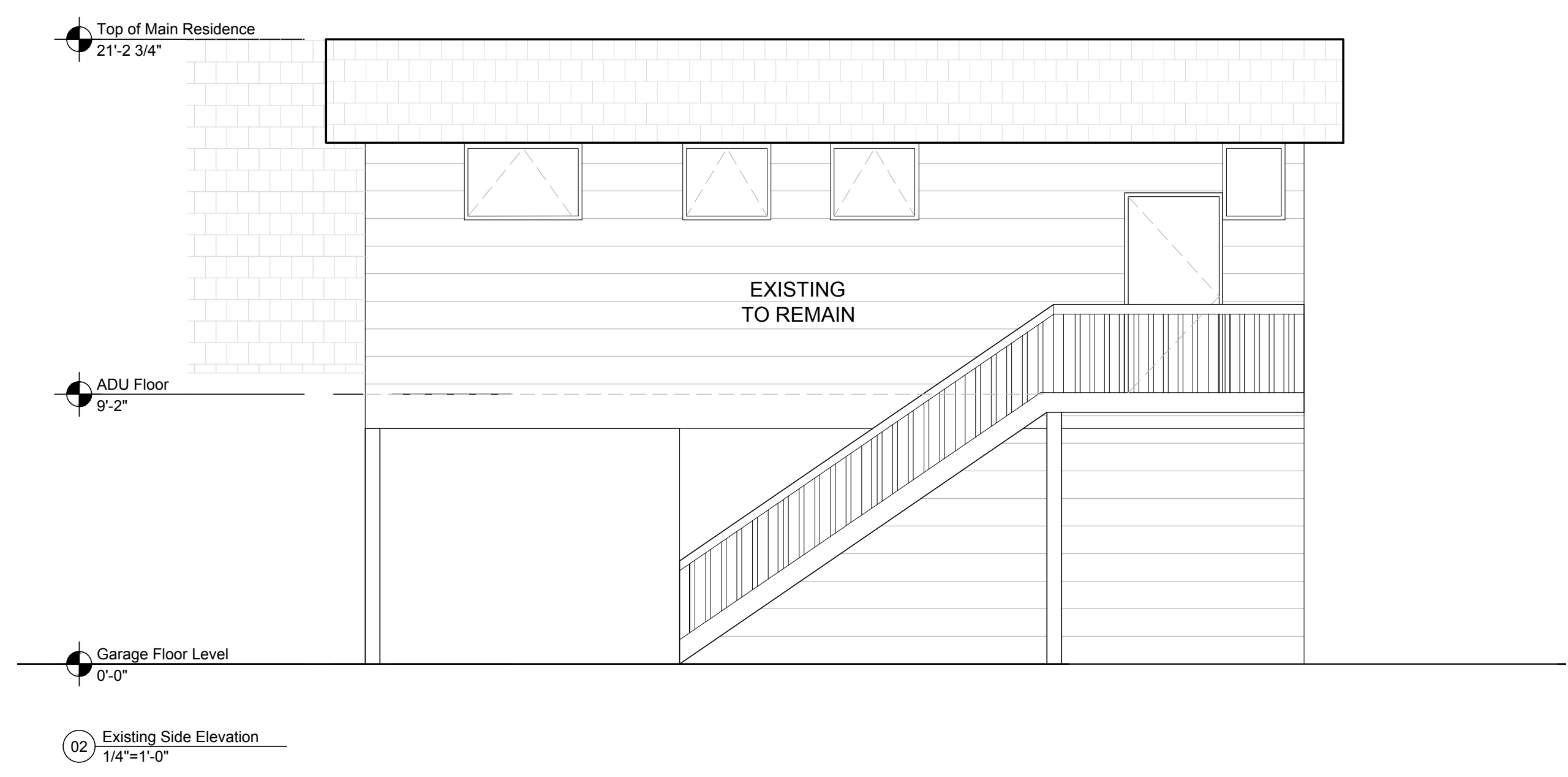
01 N EXTERIOR LIGHT FIXTURE.  
DARK SKY COMPLIANT; DOWNLIT.  
850 LUMENS MAX. 3,000 KELVINS MAX.

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No.	Issue	Date
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1	Conditional Use Permit Rev.1	01/25/24
2	Conditional Use Permit Rev.2	02/05/24

**PROJECT**  
New deck for (E) ADU  
**31 Maple Ave**  
Fairfax, CA 94930

Date: 02/05/24  
Scale: 1/4"=1'-0"

Sheet Title:  
**Existing and Proposed Elevations**

Sheet Number:

**A.101**