

Email 2 (Part 1 of 2): Comments for 2/29 Public Hearing 6:30 pm

Sharon C. Ingram <SIngram@rjo.com>

Thu 2/29/2024 12:56 PM

To: Fairfax Town Council <fairfaxtowncouncil@townoffairfax.org>; Christine Foster <cfoster@townoffairfax.org>

Cc: Richard M. Harris <RHarris@rjo.com>; Aaron P. Silberman <ASilberman@rjo.com>; Dawn R. Lorenzen <DLorenzen@rjo.com>


 1 attachments (12 MB)

Exhibit 1 (part 1).pdf;

Please find attached Exhibit 1 (part 1 of 2) to Jacob Friedman's complaint.

Please confirm receipt.

Thank you,
Sharon

Sharon C. Ingram

Assistant

Aaron M. Scolari | Dean D. Paik | Richard M. Harris

ROGERS JOSEPH O'DONNELL | a Professional Law Corporation

311 California Street, 10th fl | San Francisco, CA 94104

415.956.2828 main | 415.365.5327 direct | 415.956.6457 fax

singram@rjo.com | www.rjo.com

Notice to recipient: This email is meant for only the intended recipient(s) of the transmission and may be privileged by law. If you receive this email in error, please notify us immediately. Do not print, copy, or disseminate it. Please delete the email from your system. Thank you.

Email 2 (Part 2 of 2): Comments for 2/29 Public Hearing 6:30 pm

Sharon C. Ingram <SIngram@rjo.com>

Thu 2/29/2024 12:57 PM

To: Fairfax Town Council <fairfaxtowncouncil@townoffairfax.org>; Christine Foster <cfoster@townoffairfax.org>

Cc: Richard M. Harris <RHarris@rjo.com>; Aaron P. Silberman <ASilberman@rjo.com>; Dawn R. Lorenzen <DLorenzen@rjo.com>

 1 attachments (17 MB)

Exhibit 1 (part 2).pdf;

Please find attached Exhibit 1 (part 2 of 2) to Jacob Friedman's complaint.

Please confirm receipt.

Thank you,
Sharon

Sharon C. Ingram

Assistant

Aaron M. Scolari | Dean D. Paik | Richard M. Harris

ROGERS JOSEPH O'DONNELL | a Professional Law Corporation

311 California Street, 10th fl | San Francisco, CA 94104

415.956.2828 main | 415.365.5327 direct | 415.956.6457 fax

singram@rjo.com | www.rjo.com

Notice to recipient: This email is meant for only the intended recipient(s) of the transmission and may be privileged by law. If you receive this email in error, please notify us immediately. Do not print, copy, or disseminate it. Please delete the email from your system. Thank you.

EXHIBIT 1

PROJECT DATA

ASSESSORS PARCEL NUMBER	002-062-03
ZONING	RS-6 - SINGLE FAMILY RESIDENTIAL
OCCUPANCY	R-3 - RESIDENTIAL
CONSTRUCTION TYPE	TYPE VB - SPRINKLERED
SITE AREA (FROM ASSESSOR RECORDS)	22,150 SF
AVERAGE SLOPE (FROM MARIN MAP):	42.13 %
FLOOR AREA - MAIN RESIDENCE	
LOWER FLOOR	1,415 SF
UPPER FLOOR	793 SF
TOTAL	2,208 SF
FLOOR AREA - ACCESSORY DWELLING UNIT	
UPPER FLOOR (56 SF STAIRWAY SUBTRACTED)	500 SF
FLOOR AREA - ADDITIONAL SPACES	
BASEMENT AT MAIN RESIDENCE	469 SF
GARAGE	400 SF
FLOOR AREA RATIO PROPOSED	2,208 SF + 500 SF = 12.23 %
22,150 SF	
FLOOR AREA ALLOWED	
22,150 SF x 0.40 = 8,860 (TOWN CODE MAX. 3,500)	
LOT COVERAGE	
HOUSE	1,415 SF
GARAGE/ADU	900 SF
PORCH/ STAIRS	238 SF
TOTAL	2,553 SF
LOT COVERAGE PROPOSED	2,553 SF = 11.53 %
22,150 SF	
LOT COVERAGE ALLOWED	
22,150 SF x 0.35 = 7,752 SF	
BUILDING HEIGHT PROPOSED	23'-2"
BUILDING HEIGHT ALLOWED	28'-6"

SCOPE OF WORK

- DEMOLISH EXISTING RESIDENCE ON SITE.
- CONSTRUCTION OF NEW TWO-STORY MAIN RESIDENCE.
- CONSTRUCTION OF NEW DETACHED GARAGE W/ ACCESSORY DWELLING UNIT.
- NEW REAR RETAINING WALLS.

DRAWING INDEX

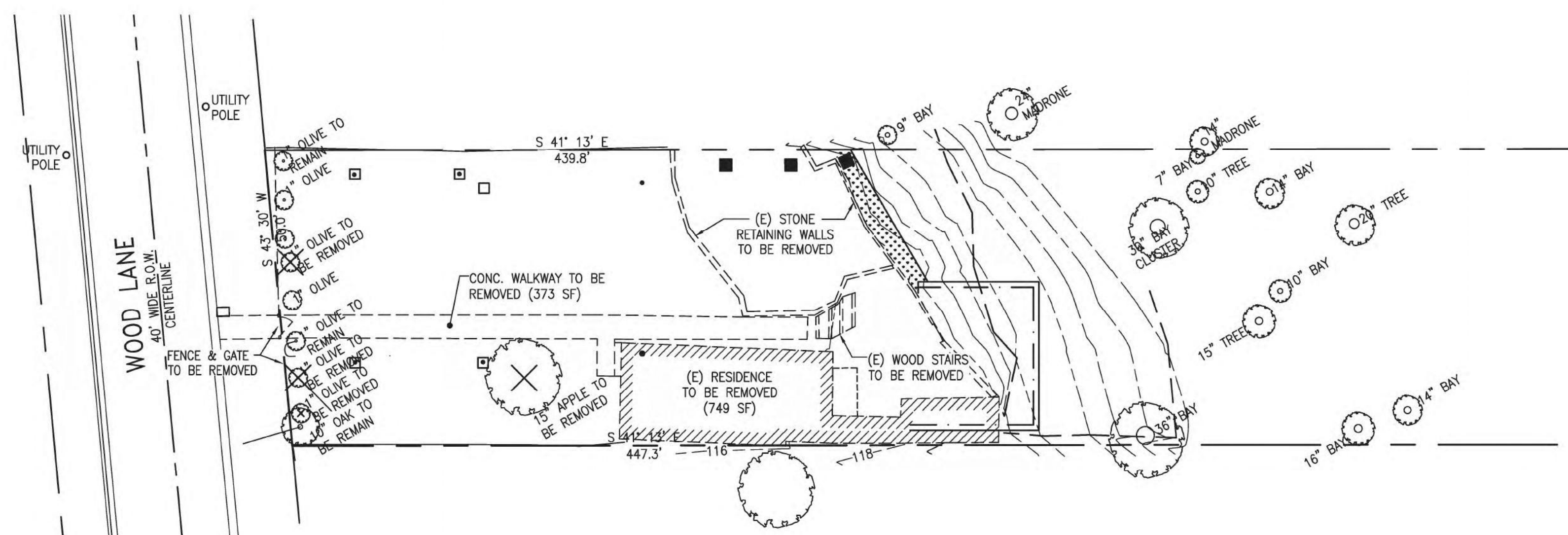
- A1.0 PROPOSED PARTIAL SITE PLAN, SITE DEMOLITION PLAN, PROJECT DATA
- A1.1 CONCEPTUAL LANDSCAPING AND VEGETATION MANAGEMENT PLAN
- A1.2A CONDITIONS OF APPROVAL
- A1.2B CONDITIONS OF APPROVAL
- RECORD OF SURVEY
- 1 CIVIL SITE PLAN
- 2 EROSION CONTROL PLAN AND DETAILS
- 3 BEST PRACTICES
- A2.1 MAIN FLOOR/ BASEMENT PLANS
- A2.2 UPPER FLOOR/ GARAGE/ ADU PLANS
- A2.3 MAIN FLOOR/ ELECTRICAL PLANS
- A2.4 UPPER FLOOR/ GARAGE/ ADU ELECTRICAL PLANS
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A4.1 BUILDING SECTIONS/ DETAILS
- A4.2 BUILDING SECTIONS/ DETAILS
- S1.0 STRUCTURAL GENERAL NOTES
- S1.1 STRUCTURAL TYPICAL DETAILS
- S1.2 STRUCTURAL TYPICAL DETAILS
- S1.3 STRUCTURAL TYPICAL DETAILS
- S2.0 FOUNDATION PLAN
- S2.1 MAIN FLOOR FRAMING PLAN
- S2.2 UPPER FLOOR FRAMING
- S2.3 ROOF FRAMING
- S3.0 STRUCTURAL DETAILS
- S3.1 STRUCTURAL DETAILS
- T24-1 ENERGY COMPLIANCE ← S3.2 WEYERHAEUSER TYP. DETAILS
- T24-2 ENERGY COMPLIANCE ← S3.3 WEYERHAEUSER TYP. DETAILS
- T24-3 MANDATORY MEASURES ← S3.4 STRUCTURAL DETAILS
- GB-1 CALGREEN CHECKLIST
- GB-2 CALGREEN CHECKLIST

GENERAL NOTES

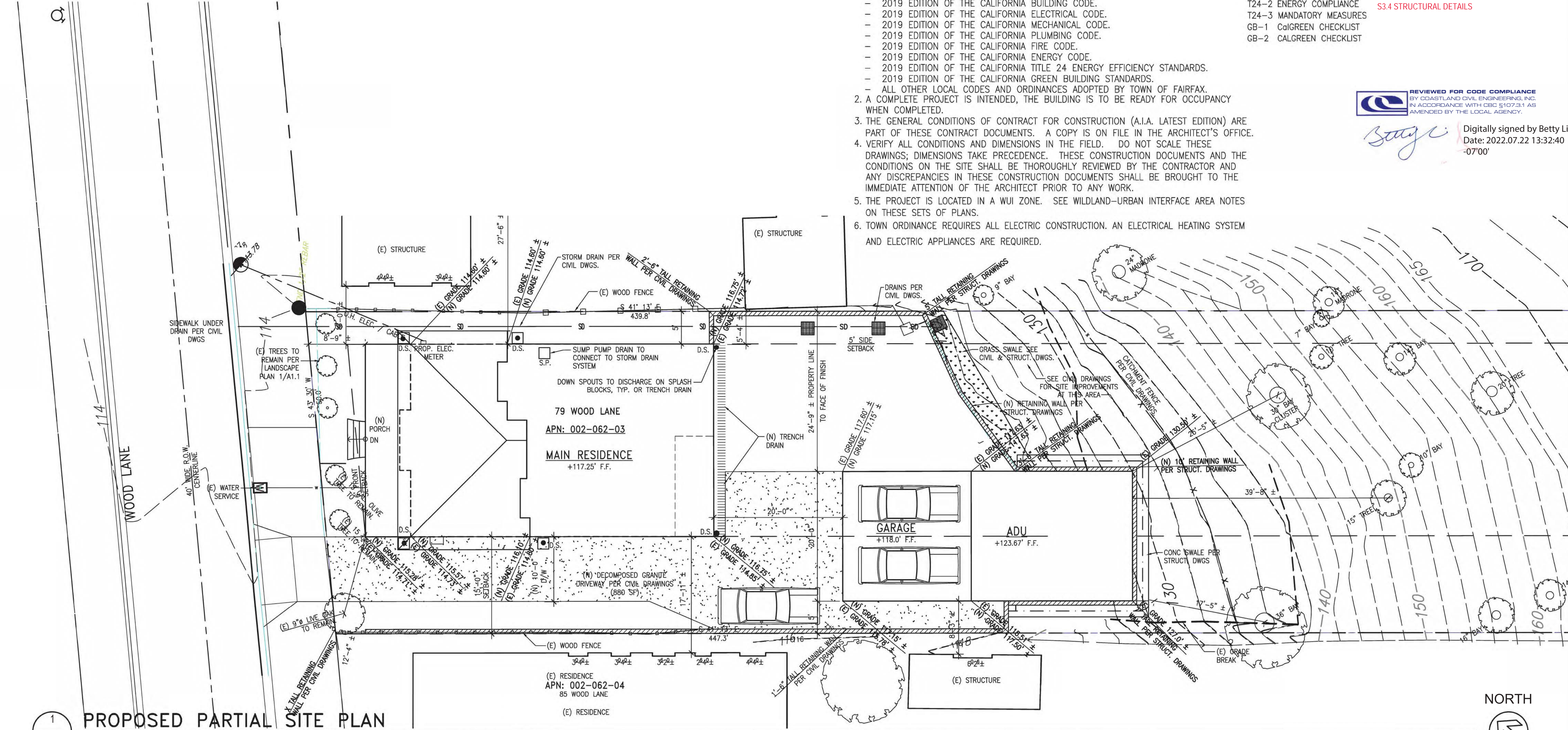
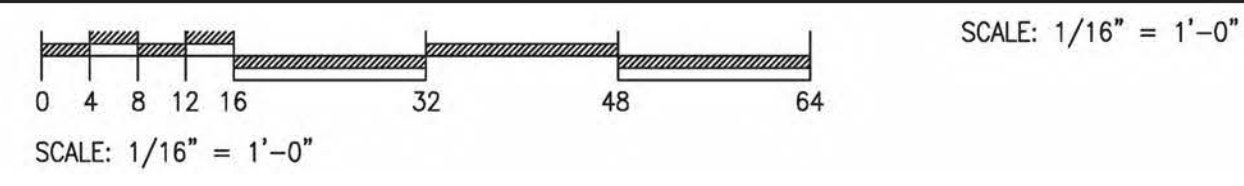
1. ALL NEW CONSTRUCTION SHALL COMPLY WITH:
 - 2019 EDITION OF THE CALIFORNIA RESIDENTIAL CODE.
 - 2019 EDITION OF THE CALIFORNIA BUILDING CODE.
 - 2019 EDITION OF THE CALIFORNIA ELECTRICAL CODE.
 - 2019 EDITION OF THE CALIFORNIA MECHANICAL CODE.
 - 2019 EDITION OF THE CALIFORNIA PLUMBING CODE.
 - 2019 EDITION OF THE CALIFORNIA FIRE CODE.
 - 2019 EDITION OF THE CALIFORNIA ENERGY CODE.
 - 2019 EDITION OF THE CALIFORNIA TITLE 24 ENERGY EFFICIENCY STANDARDS.
 - 2019 EDITION OF THE CALIFORNIA GREEN BUILDING STANDARDS.
 - ALL OTHER LOCAL CODES AND ORDINANCES ADOPTED BY TOWN OF FAIRFAX.
2. A COMPLETE PROJECT IS INTENDED, THE BUILDING IS TO BE READY FOR OCCUPANCY WHEN COMPLETED.
3. THE GENERAL CONDITIONS OF CONTRACT FOR CONSTRUCTION (A.I.A. LATEST EDITION) ARE PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE IN THE ARCHITECT'S OFFICE.
4. VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. DO NOT SCALE THESE DRAWINGS; DIMENSIONS TAKE PRECEDENCE. THESE CONSTRUCTION DOCUMENTS AND THE CONDITIONS ON THE SITE SHALL BE THOROUGHLY REVIEWED BY THE CONTRACTOR AND ANY DISCREPANCIES IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK.
5. THE PROJECT IS LOCATED IN A WUI ZONE. SEE WILDLAND-URBAN INTERFACE AREA NOTES ON THESE SETS OF PLANS.
6. TOWN ORDINANCE REQUIRES ALL ELECTRIC CONSTRUCTION. AN ELECTRICAL HEATING SYSTEM AND ELECTRIC APPLIANCES ARE REQUIRED.

REVIEWED FOR CODE COMPLIANCE
BY DOASTLAND CIVIL ENGINEERING, INC.
IN ACCORDANCE WITH CBC §107.3.1 AS AMENDED BY THE LOCAL AGENCY.

Digitally signed by Betty Li
Date: 2022.07.22 13:32:40
-0700



3 SITE DEMOLITION PLAN



1 PROPOSED PARTIAL SITE PLAN

NOTE: BASED ON SURVEY AND CIVIL DRAWINGS PREPARED BY: ILS ASSOCIATES, INC. NOVATO DATED NOV. 10, 2021. NO KNOWN EASEMENTS ON THE PROPERTY.

NOTE: ADJACENT STRUCTURES AND WINDOW SIZES BASED ON VISUAL INSPECTION AND MARIN MAP.

SCALE: 1/8" = 1'-0"

ARCHITECTS
 FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA 94901
 Phone: (415) 457 - 0220 Fax: (415) 454 - 9581

NEW RESIDENCE AND ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 APN: 002-062-03
 FOR: COBY FRIEDMAN

**PROPOSED PARTIAL SITE PLAN,
 SITE DEMOLITION PLAN
 PROJECT DATA**

Revisions	
PERMIT SUBMITTAL	03-17-2022
REVISED PERMIT SUBMITTAL	04-06-2022
PLAN CHECK COMMENTS	06-23-2022
Date:	06-20-2022
Scale:	As Noted
Drawn:	LSK
Job #	19049.00
Prototype	DIVINE
A1	

LANDSCAPE PLAN KEY NOTES

- ① (N) 24" SQ. CONC. PAVERS, SPACING AS NOTED ON PLAN.
- ② (N) CONC. CURB CUT AND RAMP PER CIVIL DRAWINGS.
- ③ (N) DECOMPOSED GRANITE DRIVEWAY PER CIVIL DRAWINGS.
- ④ (N) PEBBLE GROUND COVER, SHOWN HATCHED.

PLANT SCHEDULE

	BOTANICAL / COMMON NAME	QTY.	SIZE	FIRE RESISTANT	PLANT TYPE	REMARKS
◇	PHYLLOCLADUS = KARUPA	ROLLS/PLUGS	ROLLS/PLUGS	GROUND COVER	GROUND COVER	HEIGHT 1"
◇	OLEA EUROPAEA 'MAJESTIC BEAUTY' / MAJESTIC BEAUTY FRUITLESS OLIVE	3 EXIST	(EXIST)	YES	TREE	HEIGHT 12-25', WIDTH 12-25'
C	COLEONEMA PULCHELLUM / PINK BREATH OF HEAVEN	19	1 GAL.	YES	SHRUB	HEIGHT 3', WIDTH 3'
H	HEMEROCALLIS HYBRIDS / DAYLILY HYBRIDS	22	1 GAL.	YES	PERENNIAL	HEIGHT 3', WIDTH 3'
A	ARGENTUS 'MARINA' / MARINA STRAWBERRY TREE	5	15 GAL.	YES	TREE	HEIGHT 12-25', WIDTH 12-25'
T	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE	4	5 GAL.	YES	VINE	HEIGHT 12-25', WIDTH 3-6'

NOTE: SHRUBS SHALL BE SPACED SO THAT NO CONTINUITY EXISTS BETWEEN THE GROUND FUELS AND TREE CROWNS, SUCH THAT A GROUND FIRE WILL NOT EXTEND INTO THE TREE CANOPY.

NOTE: TREES SHALL BE PLANTED SUCH THAT WHEN MATURE, THEIR CROWNS WILL BE SEPARATED BY AT LEAST 10 FEET. ADD AN ADDITIONAL FIVE FEET FOR EVERY TEN PERCENT (10%) INCREASE IN SLOPE. EXISTING TREES MAY BE REQUIRED TO BE THINNED AND/OR REMOVED DEPENDING ON THEIR CONFIGURATION AND DISTANCE FROM THE STRUCTURE(S).

NOTE: SEPARATE INDIVIDUAL SHRUB CROWNS BY AT LEAST TWO TIMES THE HEIGHT, OR CLUMP SHRUBS INTO ISLANDS OF NO GREATER THAN 18 FEET DIAMETER. SEPARATE THE ISLANDS BY A DISTANCE OF NO LESS THAN TWO TIMES THE CANOPY HEIGHT.

VEGETATION MANAGEMENT PLAN

EXISTING CONDITIONS 0-5' ZONE

The front portion of the lot is fairly flat with a slope less than 10%. A 9" diameter oak tree is located at the southwest corner of the property and will need to be removed to accommodate new driveway. There are newly planted olive trees located near the existing fence along the front property line.

EXISTING CONDITIONS 5-30' ZONE

The existing conditions within this portion of the site consist of hardscape sidewalks, patios, and natural grasses. This portion of the lot is fairly flat with a slope less than 10%.

EXISTING CONDITIONS 30-100' ZONE

The existing conditions within this portion of the site consist of hardscape sidewalks, patios, and natural grasses. An existing cottage will be removed and replaced with a new garage/ accessory dwelling unit. This portion of the lot is fairly flat with a slope less than 10%.

PROPOSED MANAGEMENT Zone 0 (0-5' from structures)

- A. New ornamental landscaping to be installed within front yard of new residence. Planted areas will be weeded and dead leaves removed.
- B. Any existing trees to remain will be limbed up to 10' and dead wood removed.
- C. Use only inorganic, non-combustible mulch such as stone or gravel. Composted mulch and large bark/ chips (greater than 1/2" diameter may be acceptable).
- D. Clean all fallen leaves and needles regularly. Repeat more often during fire season.
- E. Do not store firewood, lumber, or combustible materials within this zone. Especially under decks or building overhangs. Stored combustibles should be moved inside, or at least 30'-0" away from structures.
- F. Use only inorganic, non-combustible mulch such as stone or gravel. Composted mulch and large bark/ chips (greater than 1/2" diameter may be acceptable.)
- G. No combustible outdoor furniture should be placed in this zone. Replace with metal or non-combustible types.
- H. No jute or fiber door mats should be placed in this zone. Replace with heavy rubber or metal grates.
- I. No combustible materials including garbage and recycling containers, lumber, trash, and patio accessories should be placed in this zone.

PROPOSED MANAGEMENT Zone 1 (5-30' from structures)

- A. Remove all dead plants, grass, and weeds (vegetation).
- B. Remove dead or dry leaves and needles from your yard, roof and rain gutters. Repeat more often during fire season.
- C. Trim trees regularly to keep branches a minimum of 10' from other trees.
- D. Remove branches that hang over roofs and keep dead branches 10' away from chimneys.
- E. Remove vegetation and items that could catch fire from around and under decks.
- F. Remove fire-prone plants and replace with only fire-resistant varieties. Irrigate regularly.
- G. Remove limbs to a height of 10' above the ground (or 1/3 the height of the tree) to provide clearance and to eliminate a "fire ladder."
- H. Use only inorganic, non-combustible mulch such as stone or gravel. Composted mulch and large bark/ chips (greater than 1/2" diameter may be acceptable.)

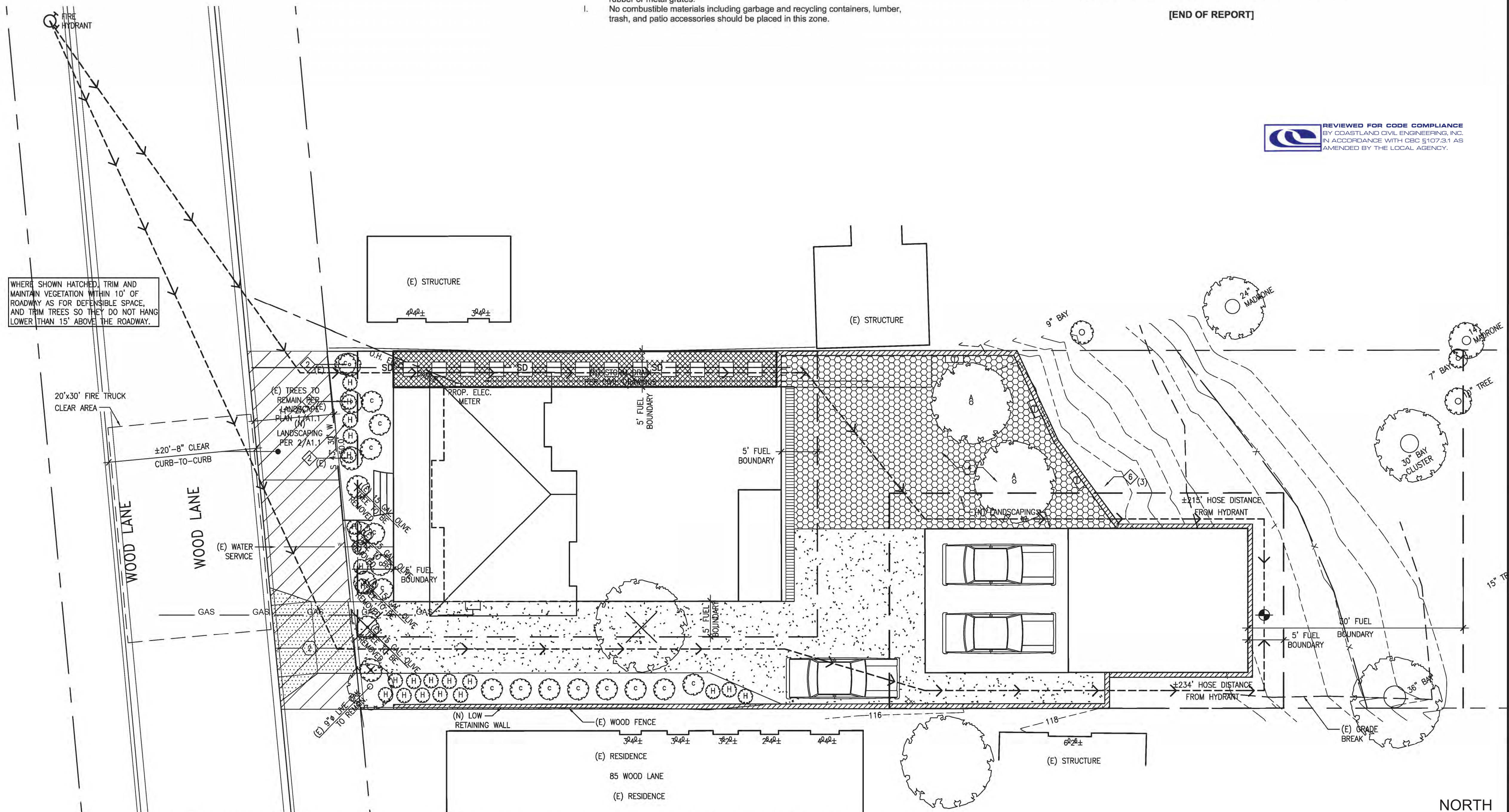
PROPOSED MANAGEMENT Zone 2 (30'-100' from structures)

- A. Cut or mow annual grass down to a maximum height of 4 inches.
- B. Create horizontal spacing between shrubs, trees and vertical spacing between grass, shrubs, and trees.
- C. Remove fallen leaves, needles, twigs, bark, cones, and small branches. However, these may be permitted to a depth of 3 inches if erosion control is an issue.

PROPOSED MANAGEMENT ACCESS ZONE (Zone 3) (10' FROM ROADWAYS AND DRIVEWAYS)

- A. Trim and maintain vegetation within 10 feet of roadways as for defensible space. Trim trees so they do not hang lower than 15 feet above the roadway.
- B. Plantings shall be fire resistant and shall not extend within 14'-0" vertical.
- C. All landscaping shall meet the requirements for Zone 2 as stated above.

[END OF REPORT]



1 A1.1 CONCEPTUAL LANDSCAPING AND VEGETATION MANAGEMENT PLAN

SCALE: 1/8" = 1'-0"



ARCHITECTS
 FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA 94901
 Phone: (415) 457-0220 Fax: (415) 454-9581

NEW RESIDENCE AND ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 APN: 002-062-03
 FOR: COBY FRIEDMAN

SITE DEMOLITION PLAN, CONCEPTUAL LANDSCAPE AND VEGETATION MANAGEMENT PLAN

Revisions	Date
12-09-2020	12-09-2020
03-03-2021	03-03-2021
07-01-2021	07-01-2021
07-19-2021	07-19-2021
10-07-2021	10-07-2021

Date: 10-07-2021
 Scale: As Noted
 Drawn: LSK/ MP
 Job #: 19049.00
 Prototype: DIVINE

A1.1

RESOLUTION NO. 2022-01

A Resolution of The Fairfax Planning Commission Conditionally Approving Application No. 21-17 for a Hill Area Residential Development Permit, Design Review Permit, Excavation Permit, and Tree Removal Permit and a Minimum and Combined Side-yard Setback and Retaining Wall Height Variance for a Residence at 79 Wood Lane

WHEREAS, the Town of Fairfax received an application from Coby Friedman and the Jacob Friedman Trust to build a two-story, 2,639 square-foot, two-story structure (house and accessory dwelling unit) with a partially below-ground basement and a 450 square-foot, one car detached garage on July 6, 2021; and

WHEREAS, after holding a duly noticed public hearing on August 19, 2021, on the project plans and design which included a main structure that reached 28 feet in height, the Commission continued the hearing and gave the applicant direction to decrease the height of the structure and to make other design changes to the project plans; and

WHEREAS, after holding a second hearing on a revised project for a 2,210 square foot residence that was reduced to approximately 23 feet in height with a detached 900 square foot two car garage/ADU on January 20, 2022, the Planning Commission determined that the modified project complies with the Hill Area Residential Development Overlay Ordinance, the Design Review Ordinance and the Excavation Ordinance and that findings can be made to grant the requested Minimum and Combined Side Yard Setback and Retaining Wall Height Variances- and the Tree Removal Permit; and

WHEREAS, the Commission has made the following findings:

The project is consistent with the 2010-2030 Fairfax General Plan as follows:

Policy LU-1.2.3: New and renewed development shall be designed and located to minimize the visual mass. The Town will require exterior materials and colors that blend the exterior appearance of structures with the surrounding natural landscape, allowing for architectural diversity.

Policy LU-4.1.4: New and renewed development shall be designed to minimize run-off in a manner that does not cause undue hardship on neighboring properties.

Policy LU-7.1.5: New and renewed residential development shall preserve and enhance the existing character of the Town's neighborhoods in diversity, architectural character, size, and mass.

Policy LU-7.2.2: To the extent feasible natural features including the existing grade, mature trees and vegetation shall be preserved for new and renewed development.

Hill Area Residential Development (Town Code § 17.072.110)

- 1. The proposed development is consistent with the General Plan (see above) and consistent with the purpose and intent of the Zoning Ordinance, Title 17, of the Fairfax Town Code.
2. The site planning preserves identified natural features as much as possible while also complying with other agency and department regulations.
3. Based on the soils report findings, the site can be developed without geologic, hydrologic or seismic hazards;
4. Vehicular access and parking are adequate.
5. The proposed development harmonizes with the surrounding residential development, meets the design review criteria and does not result in the deterioration of significant view corridors.

Design Review (Town Code § 17.020.040)

The craftsman architecture, with the second story stepped back from the street facade and the large porch at the front, subject to the minor window changes to the east and west sides of the structure included as a condition below (modifying the windows on the east and west sides of the structure with clerestory windows/obscured glass windows) complies with the Design Review Criteria set forth in Town Code § 17.020.040.

Excavation Permit (Town Code § 12.20.080(B)(1 through 7))

The excavation permit will result in the excavation of 130 cubic yards of material, the filling of 125 cubic yards of material, and the off-haul of five cubic yards of material. These amounts are the minimum necessary to allow development of the site while also protecting the site and the neighboring properties from increased drainage and soil stability impacts. The excavation permit can be approved based on the following findings:

The health, welfare and safety of the public will not be adversely affected by the project;

- 1. Adjacent properties are adequately protected by project investigation and design from geologic hazards as a result of the work.
2. Adjacent properties are adequately protected by project design from drainage and erosion problems as a result of the work.
3. The amount of excavation or fill proposed is not more than is required to allow the property owner substantial use of his or her property.

- 4. The visual and scenic enjoyment of the area by others will not be adversely affected by the project more than is necessary.
5. Natural landscaping will not be removed by the project more than is necessary.
6. Town Code § 17.072.090(C)(4) prohibits initial grading during the raining season from October 1st through April 1st. Therefore, the time of year during which construction will take place is such that work will not result in excessive siltation from storm runoff nor prolonged exposure of unstable excavated slopes.

Minimum and Combined Side-Yard Setback Variance (Town Code § 17.028.070)

- 1. The narrow 50-foot width of the site, the small amount of level site area at the front of the property and the steep 42% slope of the rear of the site, are the site features that, if the combined 20 foot side yard setback and the prohibition of parking in the side setbacks were strictly enforced, would deprive the applicant of privileges enjoyed by other property owners in the vicinity and under identical zone classification (RS 6).
2. There are other properties in the vicinity with residences and parking and structures located within the required minimum and combined side-yard setback area and the proposed garage and house individually meet the both the minimum and combined required side-yard setbacks. Therefore, the granting of this variance will not be a grant of special privilege.
3. The strict application of the combined side-yard setback would result in unreasonable hardship for the applicant.
4. The granting of the variance will not be detrimental to the public welfare or injurious to other property in the vicinity in which the property is situated.

Tree Removal

The trees proposed for removal (one apple tree and one olive tree) are in compliance with all the considerations listed in Town Code 8.36.060(B)(1 through 7) of the Tree Ordinance, Town Code Chapter 8.36. The heritage Live Oak tree at the northwest corner of the site is to be retained.

WHEREAS, the Commission has approved the project subject to the applicant's compliance with the following conditions:

The project is approved based on the following plans and reports:

- 1. The architectural plans by Laura Kehrlin, Frederic C. Divine Associates, dated 10/7/21, the record of survey dated 9/2018, the site plan dated 11/10/21 and the

fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel. If the parties cannot reach agreement, the Town may select its own legal counsel and the applicant agrees to pay directly, or timely reimburse on a monthly basis, the Town for all such court costs, attorney fees, and time referenced herein, provided, however, that the applicant's duty in this regard shall be subject to the Town's promptly notifying the applicant of any said claim, action, or proceeding.

18. The applicant shall comply with all applicable local, county, state and federal laws and regulations. Local ordinances which must be complied with include, but are not limited to: the Noise Ordinance, Chapter 8.20, Polystyrene Foam, Degradable and Recyclable Food Packaging, Chapter 8.16, Garbage and Rubbish Disposal, Chapter 8.08, Urban Runoff Pollution Prevention, Chapter 8.32 and the Americans with Disabilities Act and Best Management Practices for Stormwater Pollution Prevention.

19. Conditions placed upon the project by outside agencies, Town department or by the Town Engineer may be eliminated or amended with that agency's, department's or the Town Engineer's written notification to the Planning Department prior to issuance of the building permit.

20. The building permit plans shall be reviewed and approved by the Town Engineer, at the expense of the applicant, prior to issuance of the building permit. The project shall be inspected by the Town Engineer prior to issuance of the occupancy permit for the residential structure for compliance with the engineering plans.

Ross Valley Fire Department

21. All vegetation and construction materials are to be maintained away from the residence during construction.

22. The project requires installation of a fire sprinkler system that complies with the National Fire Protection Association regulation 13-D and local standards. The system will require a permit from the Fire Department and the submittal of plans and specifications for a system submitted by an individual or firm licensed to design and/or design-build sprinkler systems.

23. The property is located within the Wildland Urban Interface Area for Fairfax and the new construction must comply with Chapter 7A of the California Building Code or equivalent.

erosion control plan dated 11/10/21 by ILS Associates, Inc. Civil Engineering and Land surveyors, the geotechnical report by Herzog Geotechnical Consulting Engineers dated 2/28/18 and the drainage analysis by ILS Associates Inc. Civil Engineering and Land Surveying dated 11/15/21, except as amended as follows:
a. The windows on the east and west sides of the structure shall be modified so that they are non-operable and feature obscured glass.

2. Prior to issuance of any of the building permits for the project the applicant or his assigns shall:

a) Submit an amended construction plan to the Public Works Department for their approval. The amended plan shall include but is not limited to the following:

- I. Construction delivery routes approved by the Department of Public Works.
II. Construction schedule (deliveries, worker hours, etc.)
III. Notification to area residents
IV. Emergency access routes
V. Construction worker staging area

3. The applicant shall prepare, and file with the Public Works Director, a video of the roadway conditions on the public construction delivery routes (routes to be pre-approved by Public Works Director).

4. Submit a cash deposit, bond, or letter of credit to the Town in an amount that will cover the cost of grading, weatherization, and repair of possible damage to public roadways. The applicant shall submit contractor's estimates for any grading, site weatherization and improvement plan for approval by the Town Engineer. Upon approval of the contract costs, the applicant shall submit a cash deposit, bond or letter of credit equaling 100% of the estimated construction costs.

5. The foundation and retaining elements shall be designed by a structural engineer certified as such in the state of California. Plans and calculations of the foundation and retaining elements shall be stamped and signed by the structural engineer and submitted to the satisfaction of the Town Structural Engineer.

6. The grading, foundation, retaining, and drainage elements shall also be stamped and signed by the project geotechnical engineer as conforming to the recommendations made by the project Geotechnical Engineer.

7. Prior to submittal of the building permit plans, the applicant shall secure written approval from the Ross Valley Fire Authority, Marin Municipal Water District and the Ross Valley Sanitary District noting the development conformance with their recommendations.

8. Submit 3 copies of the recorded record of survey with the building permit plans.



9. All retaining walls that are visible from the street and are constructed of concrete shall be heavily textured or colored in a manner approved by the planning staff prior to issuance of the building permit. This condition is intended to mitigate the visual impact of the proposed walls.

10. Prior to the removal of any trees not approved by the Planning Commission through this action, the applicant shall secure a tree cutting permit, if required, from the Fairfax Tree Committee prior to removal of any on-site trees subject to a permit under Town Code Chapter 8.36. To further minimize impacts on trees and significant vegetation, the applicant shall submit plans for any utility installation (including sewer, water and drainage) which incorporates the services of an ISA certified arborist to prune and treat trees having roots 2 inches or more in diameter that are disturbed during the construction, excavation or trenching operations. Tree root protection measures may include meandering the line, check dams, rip rap, hand trenching, soil evaluation and diversion dams.

11. During the construction process the following shall be required:

a) The geotechnical engineer and the project arborist shall be on-site during the grading process and both shall submit written certification to the Town Staff that the grading and tree protection measures have been completed as recommended prior to installation of foundation and/or retaining forms and drainage improvements, piers and supply lines.

b) Prior to the concrete form inspection by the building official, the geotechnical and structural engineers shall field check the forms of the foundations and retaining elements and provide written certification to the Town staff that the work to this point has been completed in conformance with their recommendations and the approved building plans.

c) The Building Official shall field check the concrete forms prior to the pour.

d) All construction-related vehicles including equipment delivery, cement trucks and construction materials shall always be situated off the travel lane of the adjacent public right(s)-of-way. This condition may be waived by the Building Official on a case-by-case basis with prior notification from the project sponsor.

e) Any proposed temporary closures of a public right-of-way shall require prior approval by the Fairfax Police Department and any necessary traffic control, signage or public notification shall be the responsibility of the applicant or his/her assigns. Any violation of this provision will result in a stop work order being placed on the property and issuance of a citation.

12. Prior to issuance of an occupancy permit the following shall be completed:

a) The geotechnical engineer shall field check the completed project and submit

written certification to the Town Staff that the foundation, retaining, grading and drainage elements have been installed in conformance with the approved building plans and the recommendations of the soils report. Additionally, the project engineer shall review the construction schedule and plans at each phase of the project construction to determine the best order for each phase to occur including the hillside retention/drainage phases.

b) The Planning Department and Town Engineer shall field check the completed project to verify that all and planning commission conditions and required engineering improvements have been compiled including installation of landscaping and irrigation prior to issuance of the certificate of occupancy. The Planning Department and the Town Engineer shall also review the construction schedule and plans at each phase of the project construction to determine the best order for each phase to occur including the hillside retention/drainage phases.

13. Excavation shall not occur between October 1st and April 1st of any year. The Town Engineer has the authority to waive this condition depending upon the weather.

14. The roadways shall be kept free of dust, gravel, and other construction materials by sweeping them, daily, if necessary.

15. Any changes, modifications, additions, or alterations made to the approved set of plans will require a modification of Application # 21-17. Modifications that do not significantly change the project, the project design or the approved discretionary permits may be approved by the Planning Director. Any construction based on job plans that have been altered without the benefit of an approved modification of Application 21-17 will result in the job being immediately stopped and red tagged.

16. Any damages to the public portions of Pacheco Avenue, Bolinas Road, Porteous Avenue or Wood Lane or other public roadway used to access the site resulting from construction activities shall be the responsibility of the property owner.

17. The applicant and its heirs, successors, and assigns shall, at its sole cost and expense, defend with counsel selected by the Town, indemnify, protect, release, and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council or Planning Director or any other department or agency of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney

ARCHITECTS
FREDRIC C. DIVINE ASSOCIATES
1924 FOURTH ST. SAN RAFAEL, CA 94901
Phone: (415) 457-0220 Fax: (415) 454-9581



NEW RESIDENCE AND ADU
79 WOOD LANE
FAIRFAX, CA 94930
APN: 002-062-03
FOR: COBY FRIEDMAN

CONDITIONS OF APPROVAL

Table with 2 columns: Revisions, Date. Includes rows for Permit Submittal (03-17-2022), Revised Permit Submittal (04-06-2022), and other revision entries.

Date: 04-06-2022
Scale: As Noted
Drawn: LSK
Job #: 19049.00
Prototype: DIVINE

A1.2A

- 36. A sewer connection permit and a side sewer connection permit are required for all work outside the new building footprint.
- 37. Fees will include sewer capacity charges as well as permit fees.
- 38. Test the sewer lateral(s) from the outer face of the building to the connection at the existing sewer main, in accordance with RVSD Ordinance 100 and Standards.
- 39. Include a sewer cleanout and backwater protection device within 2-feet of the building foundation, the Ross Valley Sanitary Standard Notes shall be shown and are found in Subsection L of Section 3 of the Design and Construction Standards and demonstrate that all materials used in the construction of the sewer improvements are from the approved materials list.
- 40. A hold will be placed on the property when the building permit is issued and will not be released for occupancy until the District permit and sewer requirements have been fulfilled.
- 41. A Certificate of Compliance for the lateral must be obtained from the RVSD prior to the project final inspection by the Fairfax Building Department.
Fairfax Public Works Department
- 42. All large trucks with more than 2 axles accessing the site for construction will be limited daily to the hours between 9 AM to 3 PM.
- 43. All driveway improvements shall be completed and be signed off by the Building Official and Public Works Manager before construction begins on the house.
- 44. Complete road closures will be limited to concrete pours and steel placement and will be coordinated with the Fairfax Police Department and Ross Valley Fire Department.
- 45. A detailed construction management plan must be submitted with the building permit application that includes construction delivery routes, construction schedule (deliveries, worker hours, etc.), notification to area residents, emergency access and egress routes and proposed employee parking locations during construction and be approved by the Department of Public Works.
- 46. The applicant shall prepare, and file with the Public Works Director, a video of the roadway conditions on the construction delivery routes.
- 47. A bond will be submitted prior to issuance of the building permit in an amount that will cover the cost of grading, weatherization and repair of possible roadway

9

- damage in an amount equaling 100% of the estimated construction costs and pay for the Town Engineer's/Plan Checker's time to review and confirm the contractor's estimate.
- 48. A four foot wide sidewalk shall be installed along the entire property frontage as part of the project and shall be inspected and approved by the Building Official/Public Works Director prior to the project final inspection.
- 49. **Town Engineer**
- 50. The Town Engineer shall review the final, stamped and signed project Civil and Structural plans and the project Civil Engineer shall provide a letter certifying that the site grading and drainage improvements have been installed per the site "drainage" plan designed by ILS Associates, Inc. dated 11/10/21 prior to the project final inspection.
- 51. All the exterior fixtures must be dark sky compliant (fully shielded and emit no light above the horizontal plane with no sag or drop lenses, side light panels or uplight panels) as well as compliance with color temperature to minimize blue rich lighting. The lighting plan shall be submitted with the building permit application and be approved by the Planning Department prior to issuance of the project building permit. The lighting shall not emit direct offsite illumination and shall be the minimum necessary for safety.
- Miscellaneous**
- 52. The surveyor shall mark the location of all the property lines in the field prior to the start of construction.
- 53. A drainage system maintenance agreement including a system location plan and required maintenance schedule shall be approved by the Town Engineer and then be recorded at the Marin County Recorder's Office setting forth the required maintenance schedule to ensure the drainage system continues to function as designed. A copy shall be provided to the Town prior to issuance of the building permit.
- 54. An arborist report that includes tree protection during construction measures shall be submitted with the building permit application for approval by the Planning Director and the measures are conditions of approval for this project and must be in place, inspected and approved by the arborist with verification in writing to the Town, prior to the start of construction.
- 55. If the existing eastern and western side property line fences are damaged or need to be removed during construction, the owner shall replace the fences at his own cost prior to the project final inspection. The side fences or combination fence/wall structures shall be no more than six feet above the lowest finished

10

grade on either side of each fence unless a fence height variance is obtained from the Planning Commission for a taller fence or fence/wall combination first. The design of the fences shall be agreed upon by both the neighbors at 75 and 85 Wood Lane and the owner of 79 Wood Lane to maximum the privacy for the neighbors yards while limiting the shade cast by the fences if so desired by the neighbor. If agreement cannot be reached between the applicant and the neighbors on the design of the fences, the applicant shall submit the proposed plan(s) with a minimum \$427 design review (color change) fee and the final fence design will be reviewed and acted upon by the Planning Commission.

56. The building permit plans shall include details to incorporate the required infrastructure for the solar power and battery back-up systems the applicant indicated will be part of the project at the January 20, 2022 Planning Commission meeting in addition to the water heater and furnace locations.

NOW, THEREFORE BE IT RESOLVED, the Planning Commission of the Town of Fairfax hereby finds and determines as follows:

The approval of the Hill Area Residential Development, Design Review Permit, Excavation and Tree Removal permits and the finding have been made to grant the requested minimum and combined side setback variances to maintain a combined side yard setback of ten feet and to allow the guest parking space to be located within the required western side yard setback. Therefore, the project is in conformance with the 2010 - 2030 Fairfax General Plan, the Fairfax Town Code and the Fairfax Zoning Ordinance, Town Code Title 17; and

Construction of the project can occur without causing significant impacts on neighboring residences and the environment.

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 20th day of January, 2022 by the following vote:

AYES: Green, Jansen, Kelly, Newton, Swift, Chair Fragoso
NOES: None

Norma Fragoso
Chair Norma Fragoso

Attest:

Linda Neal
Linda Neal, Principal Planner

11

ARCHITECTS
FREDRIC C. DIVINE ASSOCIATES
1924 FOURTH ST. SAN RAFAEL, CA 94901
Phone: (415) 457 - 0220 Fax: (415) 454 - 9581

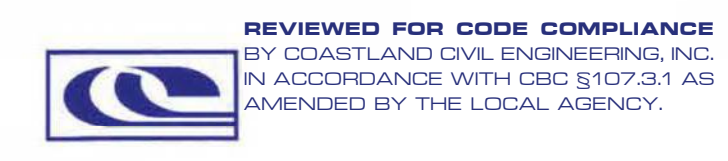


NEW RESIDENCE AND ADU
79 WOOD LANE
FAIRFAX, CA 94930
APN: 002-062-03
FOR: COBY FRIEDMAN

CONDITIONS OF APPROVAL

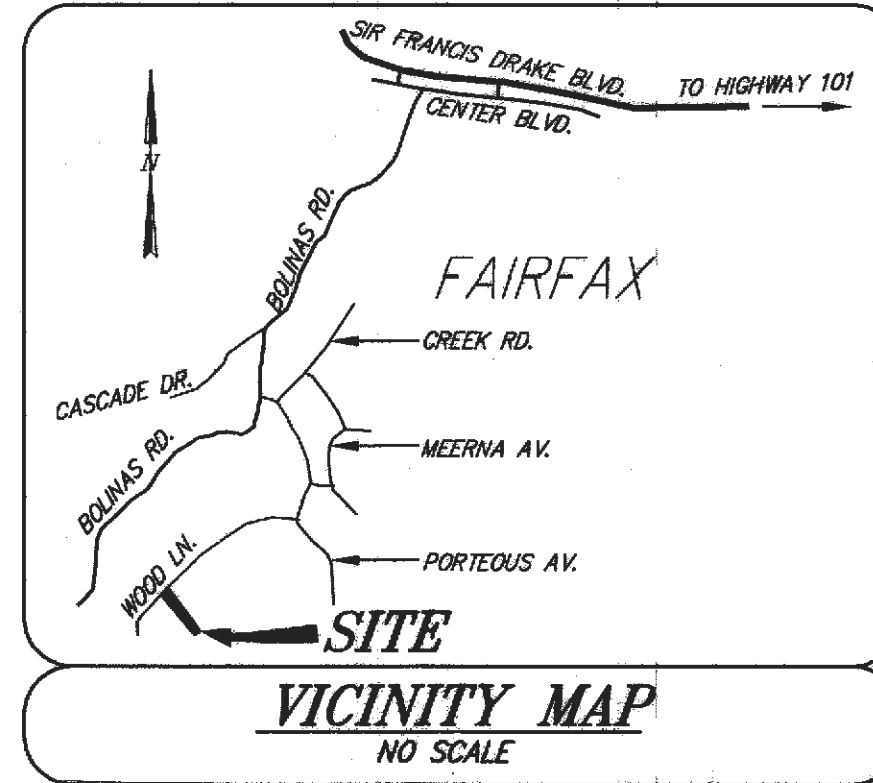
Revisions	
PERMIT SUBMITTAL	03-17-2022
REVISED PERMIT SUBMITTAL	04-06-2022

Date: 04-06-2022
Scale: As Noted
Drawn: LSK
Job #: 19049.00
Prototype: DIVINE



A1.2B

157



COUNTY SURVEYOR'S NOTE

PURSUANT TO CALIFORNIA BUSINESS AND PROFESSIONS CODE, SECTION 8768, IT IS THE OPINION OF THE COUNTY SURVEYOR THAT OTHER SUFFICIENT EVIDENCE MAY EXIST THAT, IF RECOVERED AND CONSIDERED IN DETERMINING THE LOCATION OF THE SUBJECT PROPERTY'S SOUTHEASTERLY LINES AND POINTS, COULD RESULT IN MATERIALLY ALTERNATE POSITIONS THEREOF.

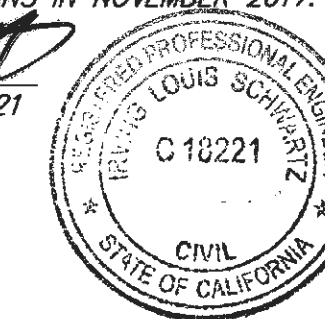
SURVEYOR'S RESPONSE TO NOTE

THE COUNTY SURVEYOR HAS COMMENTED THAT ADDITIONAL FIELD WORK COULD HAVE BEEN PERFORMED AT THE SOUTHEASTERLY LINE OF THE SUBJECT PARCEL WHERE R4 (1970) SHOWED FOUND OR SET WOODEN HUBS. R3 (2016, 46 YEARS LATER) SHOWS THAT THE FIRST 4 HUBS FROM THE NORTHEAST AS SHOWN ON R4 WERE SEARCHED FOR AND NOT FOUND. I BELIEVE IT IS EXTREMELY LIKELY THAT THE WOODEN HUB SHOWN ON THE COURSE SOUTH 35°11'00" WEST, 39.10 FEET FROM THE MOST SOUTHERLY CORNER OF THE SUBJECT PARCEL ALSO DOES NOT EXIST AND WAS NOT SEARCHED FOR. FURTHERMORE, I BELIEVE THAT THIS SURVEY SUBSTANTIALLY RETRACES THE DIMENSIONS FROM THE ORIGINAL 1916 SUBDIVISION MAP (R1) THAT CREATED THE SUBJECT PARCEL AND IS VALID AND ACCURATE AS SHOWN.

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF CAITLIN EVANS IN NOVEMBER 2017.

Irving L. Schwartz
IRVING L. SCHWARTZ R.C.E. 18221



COUNTY SURVEYOR'S STATEMENT

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT.

THIS 7TH DAY OF SEPTEMBER 2018.

Tracy W. Park
TRACY W. PARK, PLS 8176, COUNTY SURVEYOR



BY DEPUTY

RECORDER'S STATEMENT

FILED THIS 14 DAY OF September 2018 AT 8:00 AM IN BOOK 2018 OF MAPS AT PAGE 157.
AT THE REQUEST OF ILS ASSOCIATES, INC. AND MARIN COUNTY COUNTY DEPT. OF PUBLIC WORKS.
SERIAL NO. 2018-0032533 FEE: \$ 86.00

SIGNED: *Richard N. Benson*
COUNTY RECORDER

SIGNED: *A.R. Lebetz*
DEPUTY

FOR REFERENCE ONLY

RECORD OF SURVEY
of the Lands of Stephanie Evans & Patrick Higgins D.N. 2012-006114
Town of Fairfax
County of Marin California
ILS ASSOCIATES, INC.®
CIVIL ENGINEERING AND LAND SURVEYING

79 GALLI DRIVE, STE. A, NOVATO, CA 94949-5717 (415)883-9200 admin@iscels.com
A.P.N. 002-062-03 JOB NO. 8868 SEPTEMBER 2018 SHEET 1 OF 2

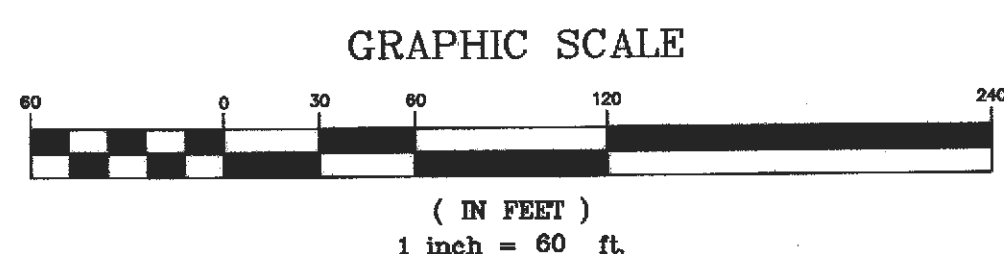
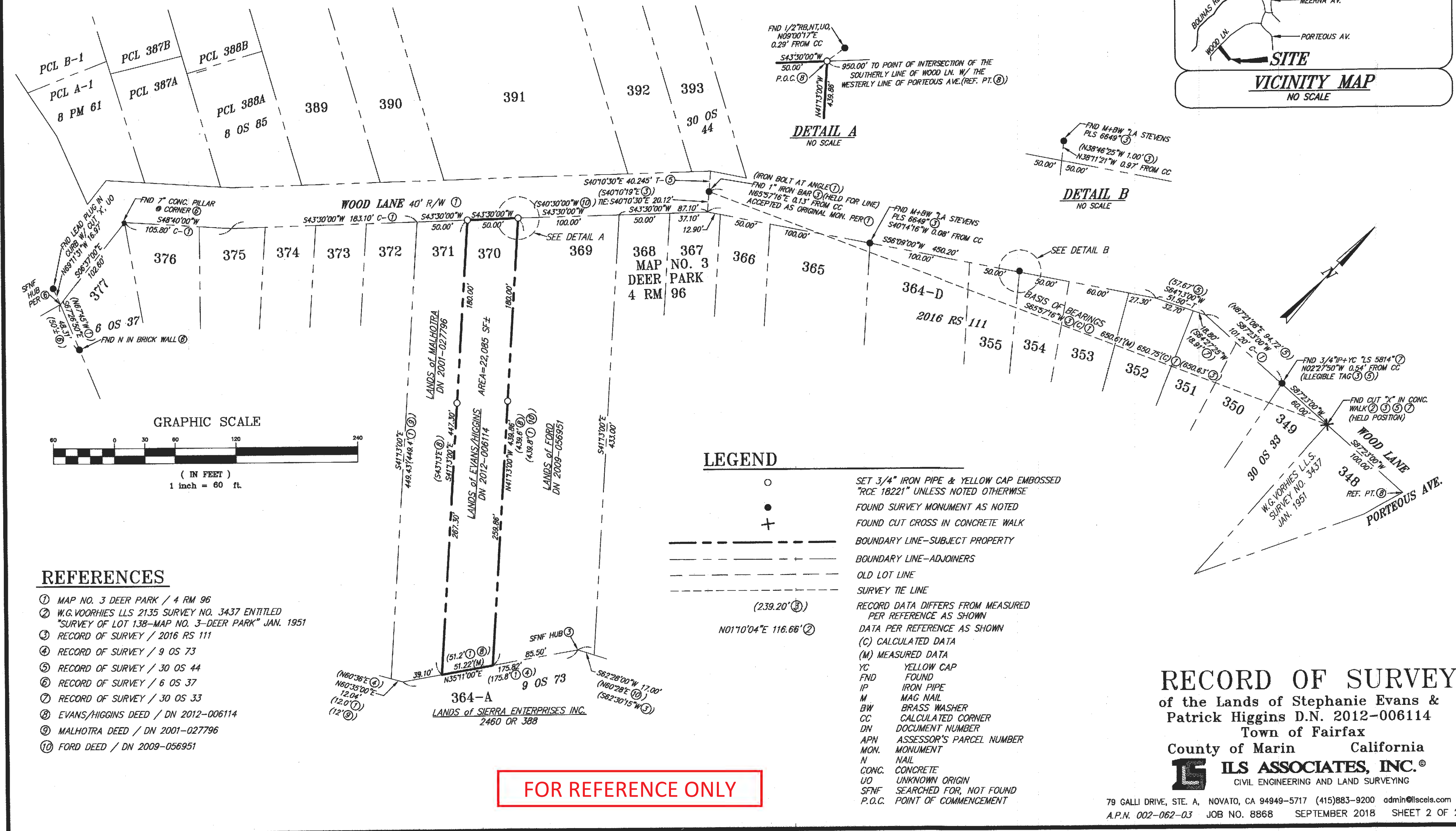
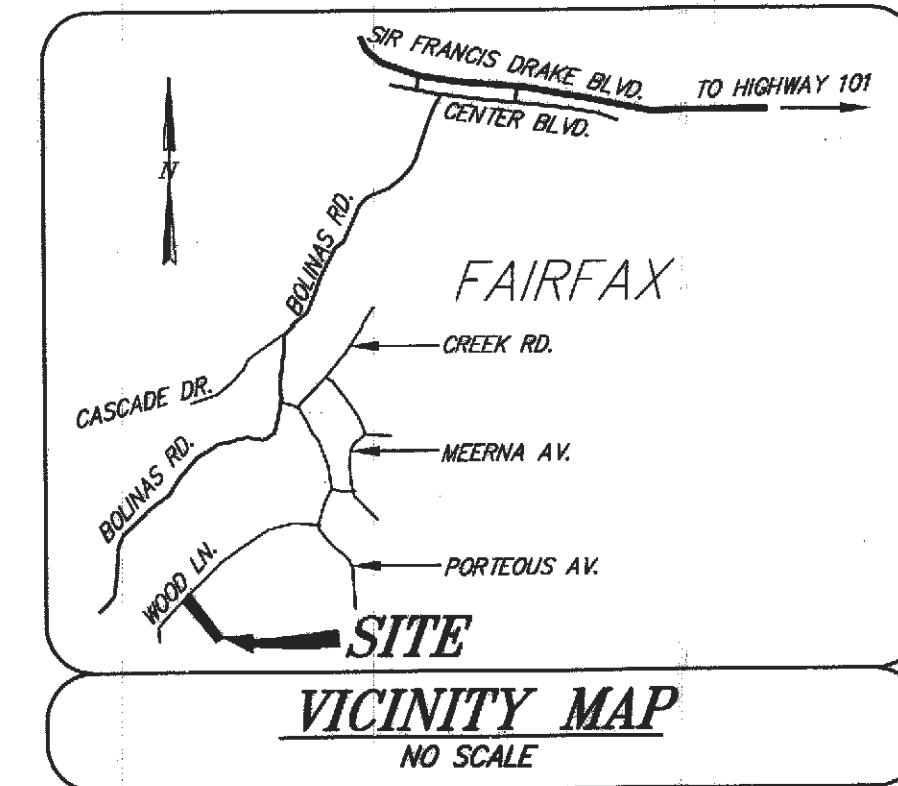
157

NOTES

1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
2. ALL REFERENCES ARE FROM MARIN COUNTY RECORDS EXCEPT THE W.G. VOORHIES SURVEY REFERENCED HEREON WHICH IS AVAILABLE THROUGH THE OGLESBY COLLECTION, MARIN COUNTY FREE LIBRARY.
3. RECORD BEARINGS AND DISTANCES ARE EQUAL TO MEASURED UNLESS OTHERWISE NOTED.
4. THIS SURVEY WAS COMMISSIONED BY OUR CLIENT AND OWNER AT THE TIME NOTED IN TITLE BLOCK. THE PROPERTY HAS SINCE BEEN ACQUIRED BY BURGESS HOLDINGS LLC PER DN 2018-015572.

BASIS OF BEARINGS

S65°57'16"W BETWEEN A FOUND CUT "X" IN CONCRETE SIDEWALK AND A FOUND 1" IRON BAR A MEASURED DISTANCE APART OF 650.61 FEET. BEARING IS AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD IN BOOK 2016 OF SURVEYS AT PAGE 111 (3) AND IS SAME AS CALCULATED FROM MAP NO. 3/DEER PARK FILED FOR RECORD IN BOOK 4 OF RECORD MAPS AT PAGE 96 (1).



REFERENCES

- (1) MAP NO. 3 DEER PARK / 4 RM 96
- (2) W.G. VOORHIES LLS 2135 SURVEY NO. 3437 ENTITLED "SURVEY OF LOT 138-MAP NO. 3-DEER PARK" JAN. 1951
- (3) RECORD OF SURVEY / 2016 RS 111
- (4) RECORD OF SURVEY / 9 OS 73
- (5) RECORD OF SURVEY / 30 OS 44
- (6) RECORD OF SURVEY / 6 OS 37
- (7) RECORD OF SURVEY / 30 OS 33
- (8) EVANS/HIGGINS DEED / DN 2012-006114
- (9) MALHOTRA DEED / DN 2001-027796
- (10) FORD DEED / DN 2009-056951

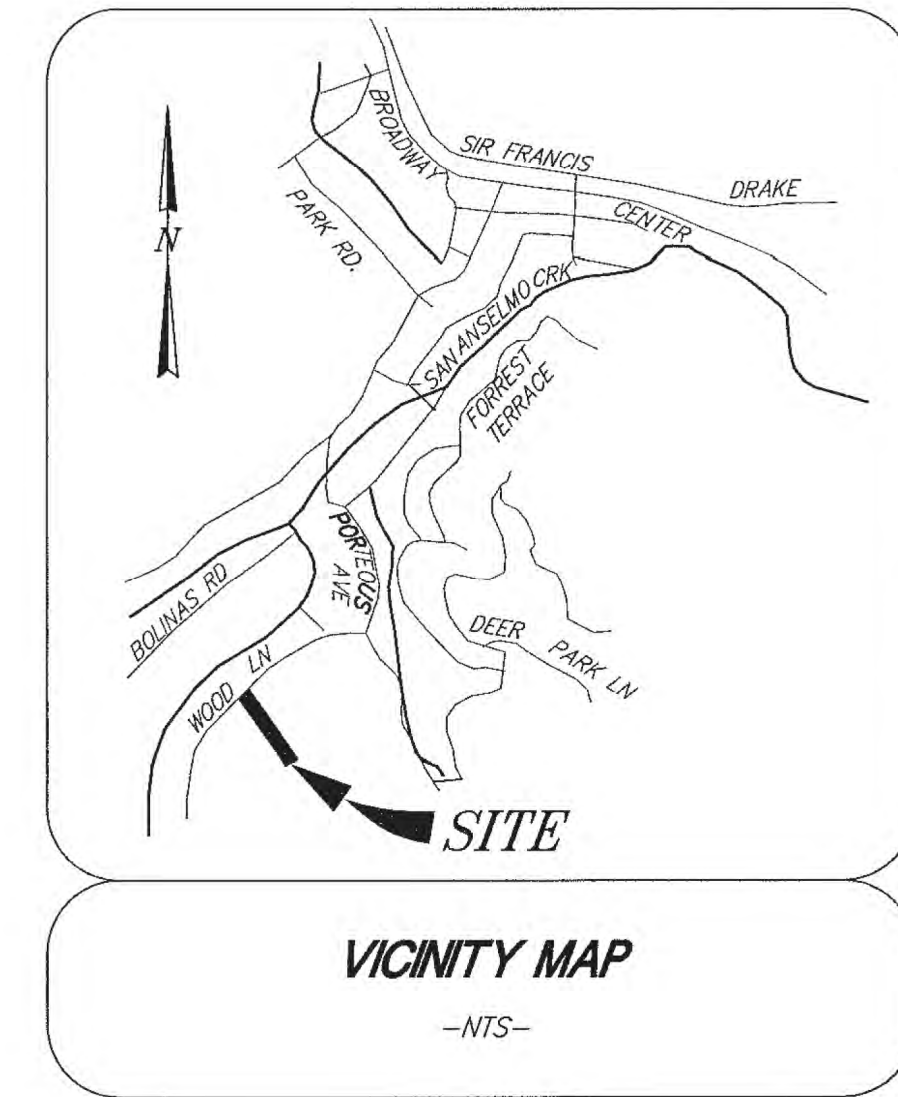
LEGEND

- SET 3/4" IRON PIPE & YELLOW CAP EMBROSSED "RCE 18221" UNLESS NOTED OTHERWISE
- FOUND SURVEY MONUMENT AS NOTED
- ⊕ FOUND CUT CROSS IN CONCRETE WALK
- BOUNDARY LINE-SUBJECT PROPERTY
- - - BOUNDARY LINE-ADJOINERS
- OLD LOT LINE
- - - SURVEY TIE LINE
- (239.20' (3)) RECORD DATA DIFFERS FROM MEASURED PER REFERENCE AS SHOWN
- (C) CALCULATED DATA
- (M) MEASURED DATA
- YC YELLOW CAP
- FND FOUND
- IP IRON PIPE
- M MAG NAIL
- BW BRASS WASHER
- CC CALCULATED CORNER
- DN DOCUMENT NUMBER
- APN ASSESSOR'S PARCEL NUMBER
- MON MONUMENT
- N NAIL
- CONC CONCRETE
- UO UNKNOWN ORIGIN
- SFNF SEARCHED FOR, NOT FOUND
- P.O.C. POINT OF COMMENCEMENT

FOR REFERENCE ONLY

RECORD OF SURVEY
of the Lands of Stephanie Evans & Patrick Higgins D.N. 2012-006114
Town of Fairfax
County of Marin California
ILS ASSOCIATES, INC.®
CIVIL ENGINEERING AND LAND SURVEYING

79 GALLI DRIVE, STE. A, NOVATO, CA 94949-5717 (415)883-9200 admin@ilsceles.com
A.P.N. 002-062-03 JOB NO. 8868 SEPTEMBER 2018 SHEET 2 OF 2



GENERAL NOTES

1. SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION.
2. SEE TREE PROTECTION PLAN FOR ADDITIONAL INFORMATION.
3. SEE VEGETATION MANAGEMENT PLAN AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
4. SEE GEOTECHNICAL REPORT BY HERZOG GEOTECHNICAL, WHICH SHALL BE CONSIDERED A PART OF THESE PLANS.
5. PROPOSED UTILITIES ARE SHOWN SCHEMATICALLY.

ALSO SEE ARCHITECTURAL SITE PLAN DRAWING 1/A1 FOR RETAINING WALL DRAINAGE SWALE.

LEGEND

- △ RANDOM CONTROL FOR SURVEY
- EXISTING JOINT POLE
- A.C. ASPHALT CONCRETE
- ⊞ EXISTING WATER METER
- DI DRAINAGE INLET
- EXISTING TREE
- 110 120 EXISTING CONTOURS
- — — — — PROPERTY LINE
- — — — — EXISTING EDGE OF PAVEMENT
- — — — — WIRE FENCE
- — — — — WOOD FENCE
- — — — — PROPOSED DYNAMIC CATCHMENT SYSTEM GEORUGG FENCE OR EQUIVALENT
- ⊗ ⊗ ⊗ TEMPORARY FIBER ROLL
- F100 FINISHED GRADE CONTOUR
- + 100.00 EXIST. SPOT ELEVATION
- FG FINISHED GRADE
- HT HEIGHT OF WALL
- TW TOP OF WALL
- FCW FINISHED GRADE AT WALL
- FEE FINISHED FLOOR ELEVATION TO BE REMOVED
- TBR TO BE REMOVED
- ▨▨▨▨▨ PROPOSED RETAINING WALL
- - - - - SUB PROPOSED WALL SUBDRAIN
- - - - - JT PROPOSED JOINT TRENCH

NOTES

1. VERTICAL DATUM IS ASSUMED.
2. HORIZONTAL DATUM IS BASED UPON FIELD SURVEY AND RECORD DATA PER 2016 RS 111 & 4 RM 96.
3. CONTOUR INTERVAL IS 2' & 5'.
4. THERE ARE NO EASEMENTS OF RECORD ON SUBJECT PARCEL.

PLAN CHECK COMMENTS 06-23-2022

DESIGN REVIEW

ILS ASSOCIATES, INC.
CIVIL ENGINEERING AND LAND SURVEYING

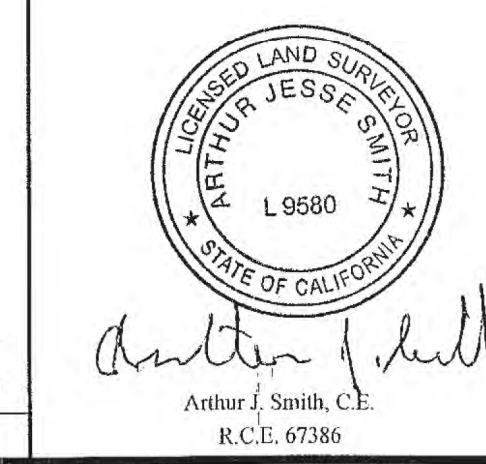
79 GALLI DRIVE, SUITE A NOVATO, CA 94949-5717 (415)883-9200 FAX (415)883-2763

FRIEDMAN
79 WOOD LANE

FAIRFAX CALIFORNIA

SITE PLAN

DRAWN: JM/AJS
DATE: 11-10-2021
JOB NO: 9473
SHEET NO: 1 OF 3



FOR REFERENCE ONLY

IMPERVIOUS AREA QUANTITIES

PROPOSED RESIDENCE: 1,622 S.F.
PROPOSED GARAGE/ADU: 567 S.F.
DOWNSPOUTS AND ROOF SHALL DRAIN TO SPLASHBLOCKS (SELF TREATING) AND LANDSCAPING AREAS

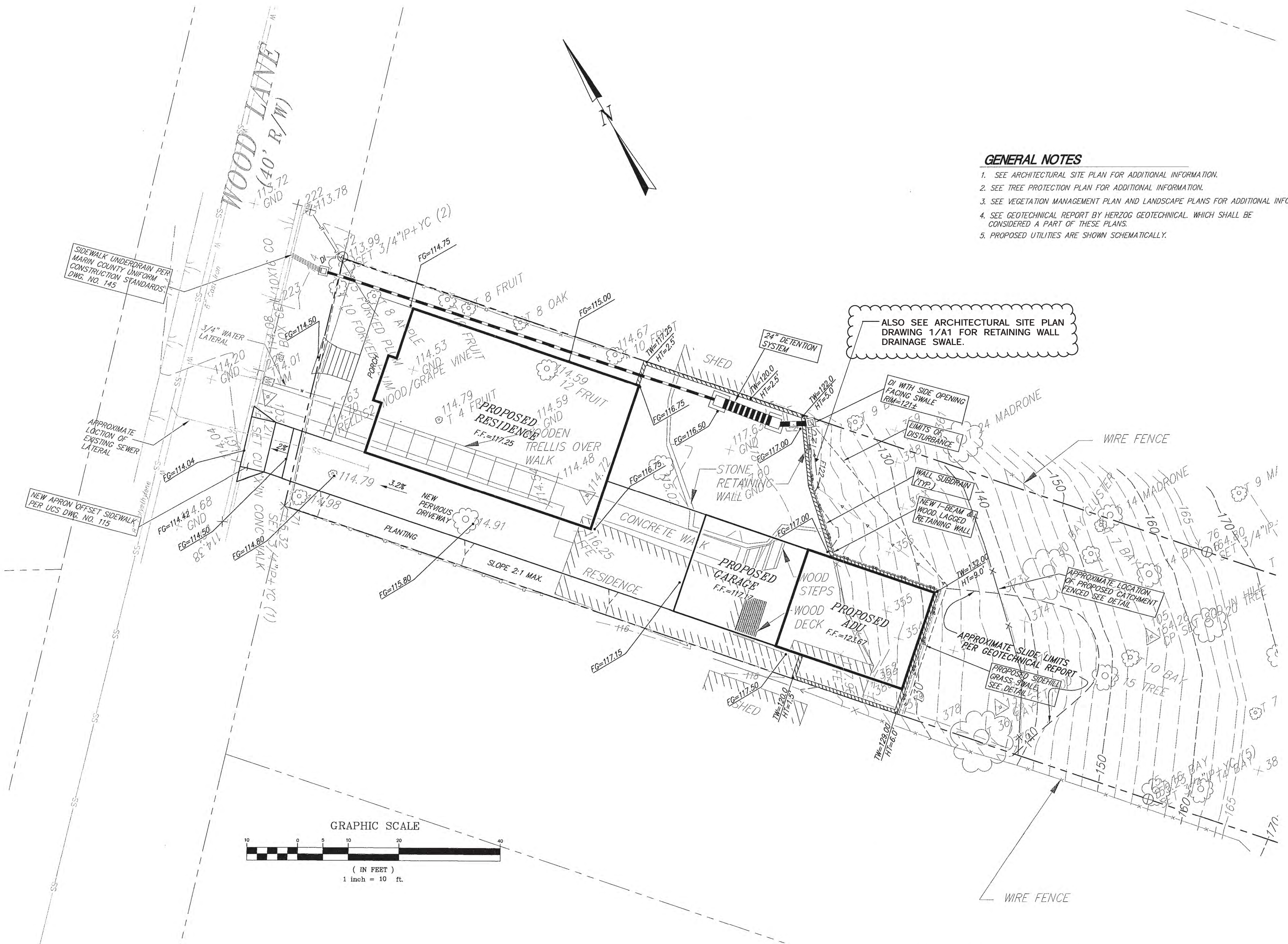
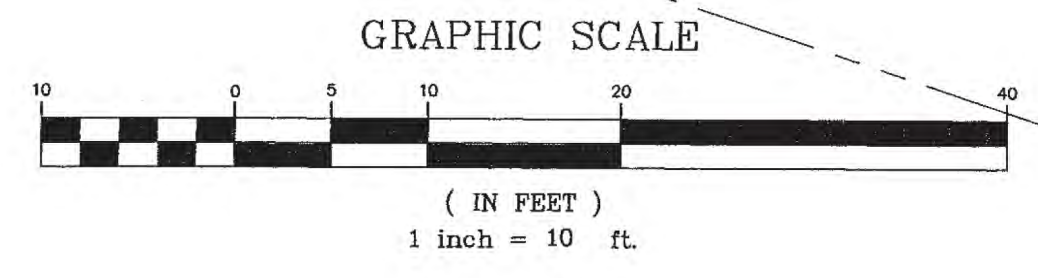
EARTHWORK

DESCRIPTION	CUT	FILL
SITE WORK	5 C.Y.	20 C.Y.
DRIVEWAY	0 C.Y.	35 C.Y.
EXCAVATION	0 C.Y.	35 C.Y.
HOUSE MAT TYPE FOUNDATION	0 C.Y.	50 C.Y.
ADU	60 C.Y.	0 C.Y.
BASEMENT	65 C.Y.	0 C.Y.
GARAGE	0 C.Y.	20 C.Y.
TOTALS	130 C.Y.	125 C.Y.

ANY OFFHAUL MATERIAL SHALL BE DISPOSED OF AT A LEGAL DISPOSAL SITE.

AREA OF DISTURBANCE

6,070 S.F.



A-REFS: 947312.dwg

A:\947312.dwg [947312.dwg] 947312.dwg Time: Nov 10, 2021 10:08:36am Login: Arthur_Driscoll 10

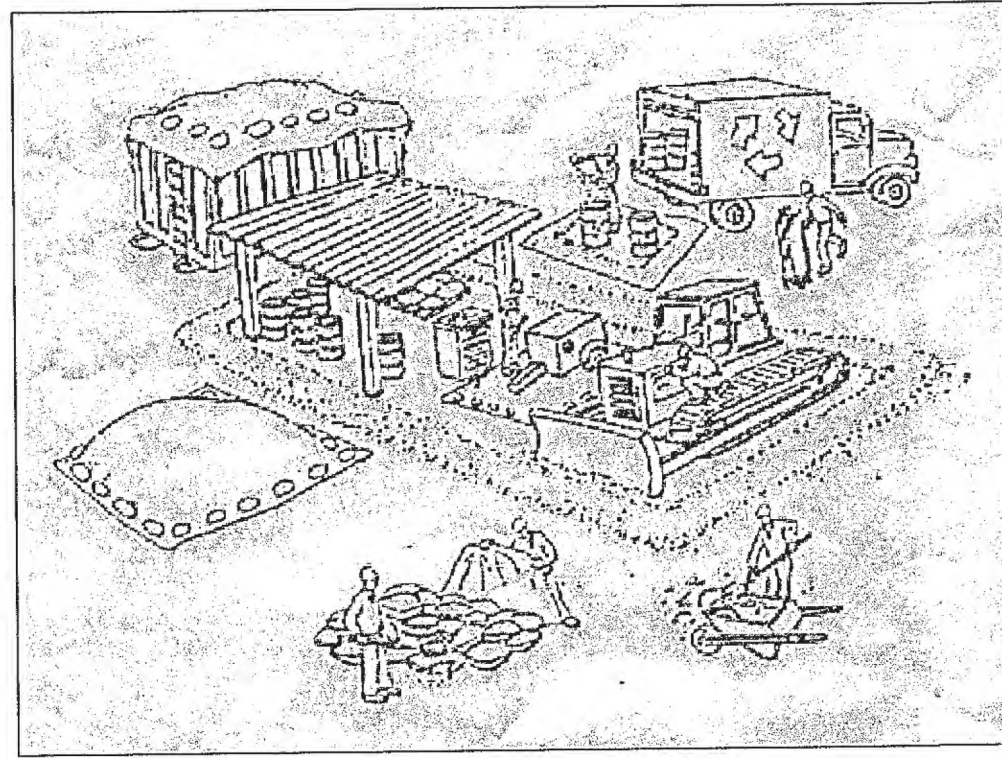
A.P.N.: 002-062-03
FIELD BOOK NO.: ##

9473DR8.dwg

Pollution Prevention – It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in creeks and the Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with pertinent ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water.
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters properly.

Hazardous materials management

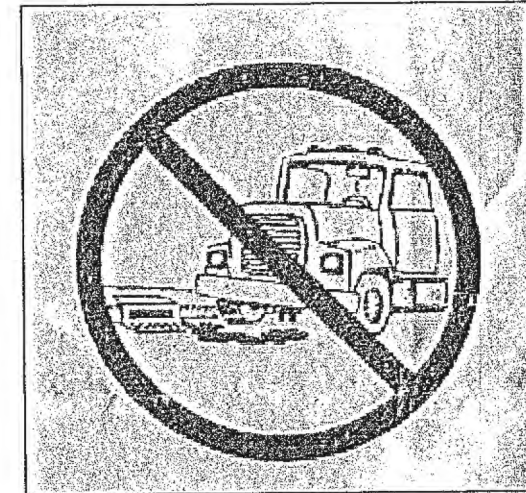
- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous material spills to the appropriate agency(s) immediately!

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

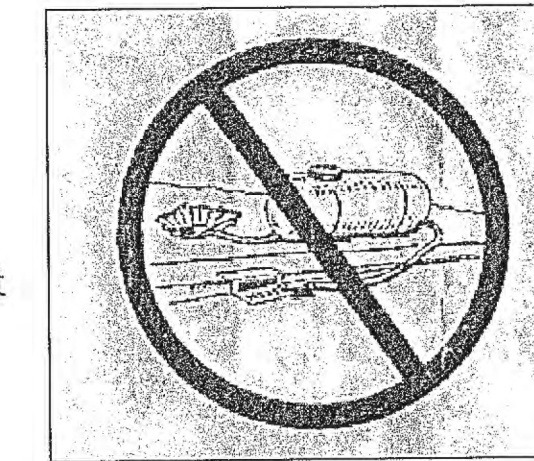
- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure. to prevent erosion.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Local Agency for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Local Agency instructions.

Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call the Local Agency's Stormwater Manager before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Local Agency to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

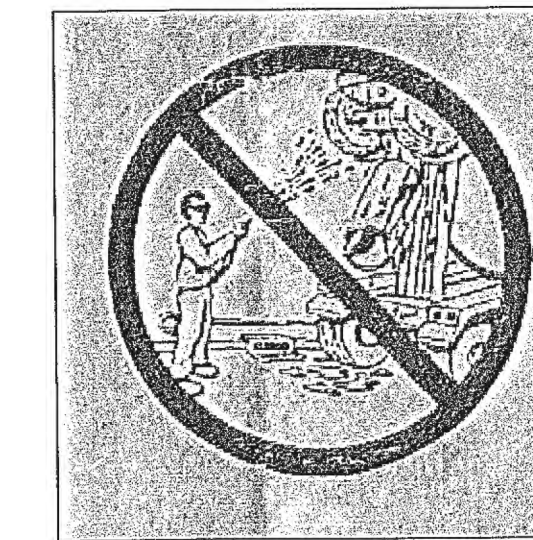


Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

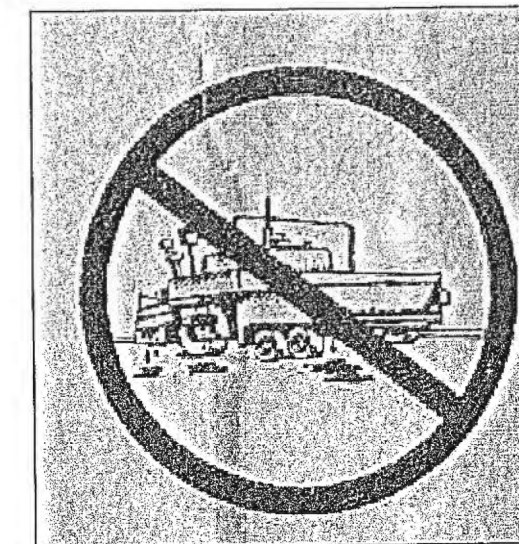
- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach streams or waterways.
- Wash out concrete equipment/trucks off-site or in designated on-site area for washing where water will be contained with impermeable plastic lined temporary pit. Do not let the water seep into the soil. Dispose of hardened concrete with trash when it is dried and hardened.



- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain. If a suitable dirt area is not available, filter the wash water through hay bales before discharging to a storm drain.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting


- ✓ Never rinse paint brushes or materials in a gutter or street.
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Storm drain polluters may be liable for fines!

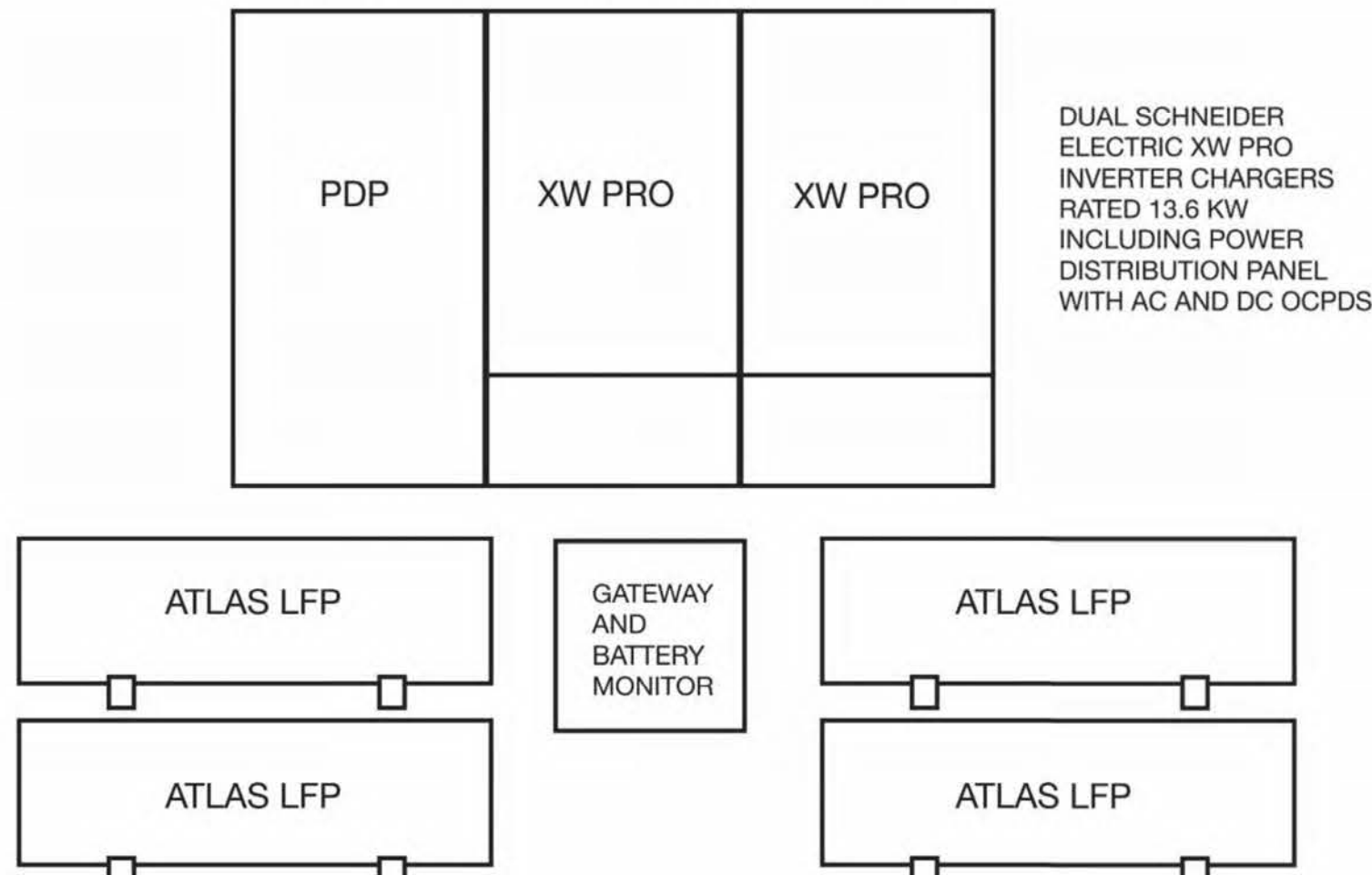
For more detailed information, contact the Stormwater Manager of the appropriate local agency.

FOR REFERENCE ONLY

 ILS ASSOCIATES, INC.® CIVIL ENGINEERING AND LAND SURVEYING	
79 GALLI DRIVE, SUITE A NOVATO, CA 94949-5717 (415)883-9200 FAX (415)883-2763	
FRIEDMAN 79 WOOD LANE FAIRFAX CALIFORNIA	DRAWN: <i>AJS</i> DATE: 11-10-2021 JOB NO. 9473 SHEET NO. 3 OF 3
BEST MANAGEMENT PRACTICES	

N:\P\0001973\img\9473D06.dwg, P3024-9473.dwg, 11/9/2021 3:35:22 PM, Harry, HP-7200.pcd, Arch D (landscape), JLN
 N:\P\0001973\img\9473D06.dwg, P3024-9473.dwg, 11/9/2021 3:35:22 PM, Harry, HP-7200.pcd, Arch D (landscape), JLN
 N:\P\0001973\img\9473D06.dwg, P3024-9473.dwg, 11/9/2021 3:35:22 PM, Harry, HP-7200.pcd, Arch D (landscape), JLN

BASEMENT BATTERY ENERGY STORAGE SYSTEM

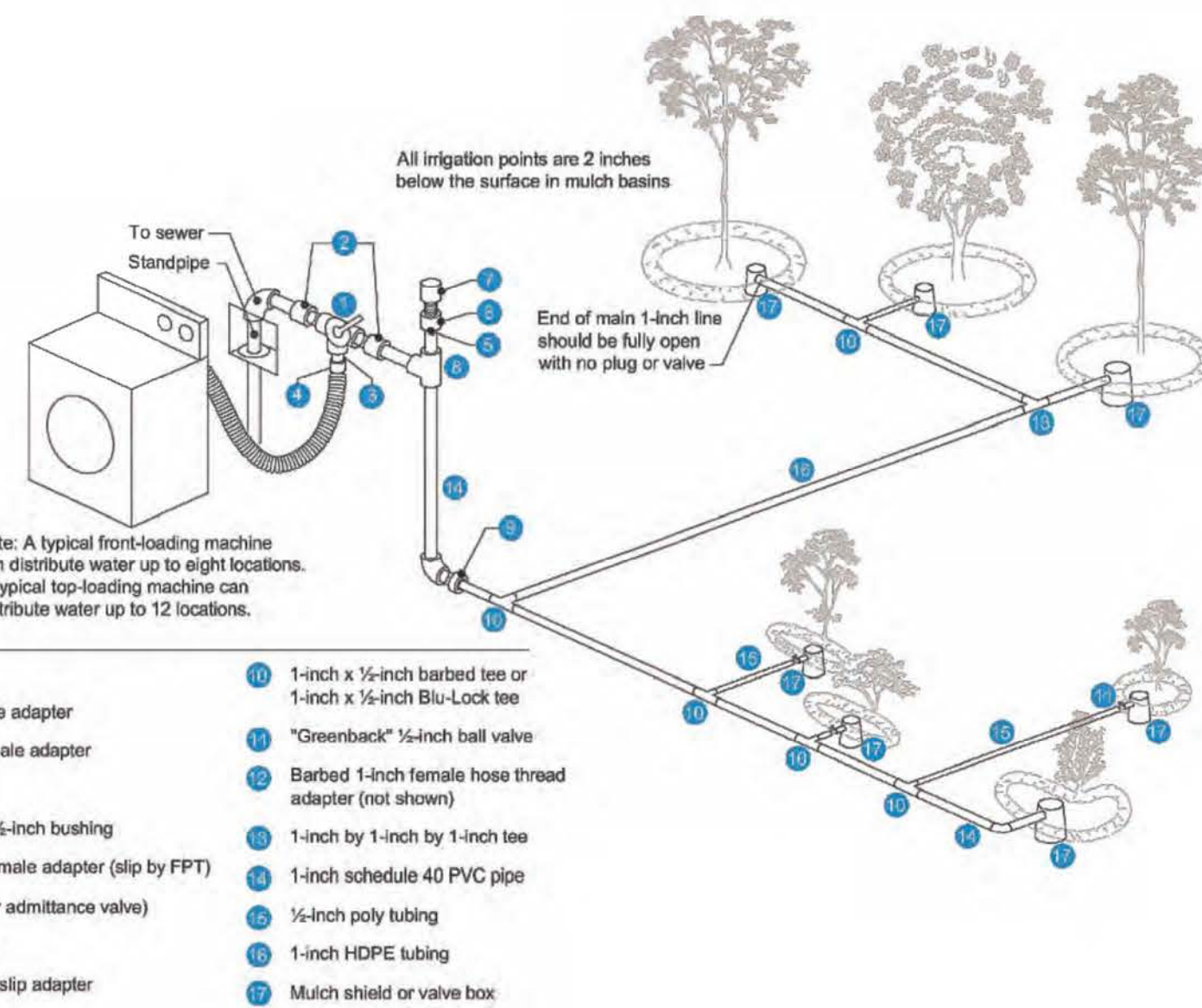


DUAL SCHNEIDER ELECTRIC XW PRO INVERTER CHARGERS RATED 13.6 KW INCLUDING POWER DISTRIBUTION PANEL WITH AC AND DC OCPDS

BATTERIES EACH 105 LBS SUPPORTED ON STRUT SECURED TO WALL. RATED 7.17 KW @ 24V CONNECTED IN SERIES PARALLEL PAIRS FOR 48V OPERATION 23 KWH TOTAL USEABLE CAPACITY

LRE033122

79 WOOD LANE - FAIRFAX, CA 94930



Legend

- 1 3-way valve
- 2 PVC 1-inch male adapter
- 3 1-inch barbed male adapter
- 4 Hose clamp
- 5 PVC 1-inch x 1 1/2-inch bushing
- 6 PVC 1 1/2-inch female adapter (slip by FPT)
- 7 Auto vent (or air admittance valve)
- 8 1-inch PVC tee
- 9 1-inch barbed x slip adapter
- 10 1-inch x 1/2-inch barbed tee or 1-inch x 1/2-inch Blu-Lock tee
- 11 "Greenback" 1/2-inch ball valve
- 12 Barbed 1-inch female hose thread adapter (not shown)
- 13 1-inch by 1-inch by 1-inch tee
- 14 1-inch schedule 40 PVC pipe
- 15 1/2-inch poly tubing
- 16 1-inch HDPE tubing
- 17 Mutch shield or valve box

Figure 3. Laundry-to-landscape overview. Source: Clean Water Components.

FLOOR PLAN KEYNOTES

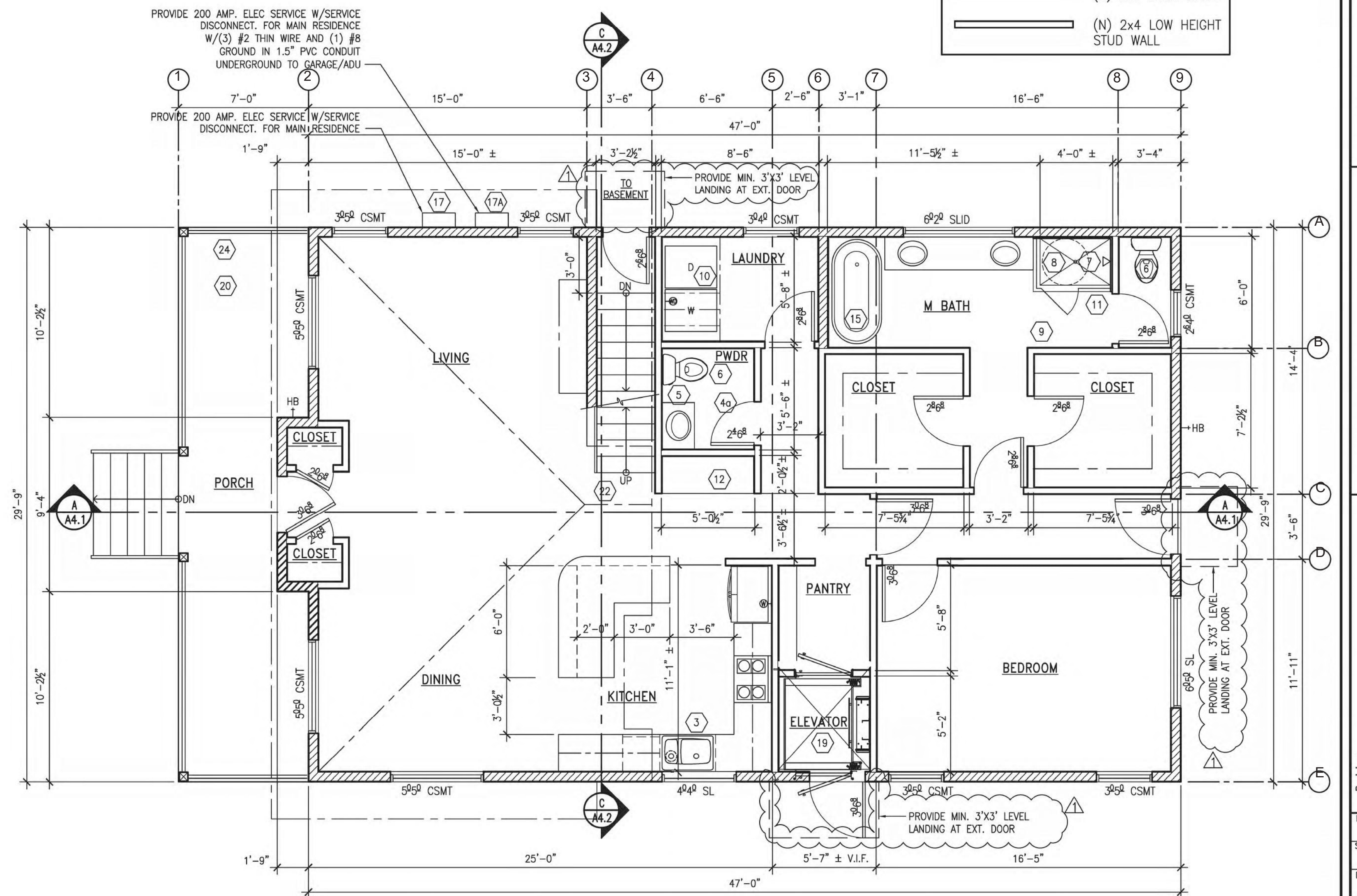
- 1 (N) KITCHEN APPLIANCES TO BE SELECTED BY OWNER AND TO MEET ENERGY STAR REQUIREMENTS. (THESE INCLUDE DISHWASHER, GARBAGE DISPOSAL, RANGE, REFRIGERATOR, AND EXHAUST HOOD.)
- 2 (N) KITCHEN ISLAND, CASEWORK, AND COUNTERTOP TO BE SELECTED BY OWNER.
- 3 (N) KITCHEN SINK TO BE SELECTED BY OWNER. KITCHEN SINK SHALL HAVE A MAX. FLOW RATE OF 1.8 gpm @ 60 psi. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW, BUT NOT EXCEED 2.2 gpm @ 60 psi & MUST DEFAULT TO A MAX. FLOW RATE OF 1.8 gpm.
- 4 KITCHEN EXHAUST HOOD TO BE MIN 104 CFM (0.35 WATTS/CFM) EXHAUST TO EXTERIOR. TO SERVE AS WHOLE HOUSE FAN. HERS VERIFICATION REQUIRED.
- 4a BATHROOM EXHAUST FAN TO BE 50 CFM.
- 5 (N) VANITY CASEWORK W/ SINK, FAUCET & MIRROR. FAUCET SHALL HAVE A MAX FLOW RATE OF 1.5 gpm @ 60 psi. CONFIRM FAUCET FLOW RATE @ (E) BATHROOMS.
- 6 (N) TOILET SHALL MEET 1.28 gpf MAX. THE TOILET SHALL BE LOCATED IN A SPACE A MIN. OF 30" WIDE. A 24" CLEAR SPACE IN FRONT OF THE TOILET SHALL BE PROVIDED.
- 7 (N) SHOWER HEAD AND FAUCET CONTROLS. NEW SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 1.8 gpm @ 80 psi. CONTROLS SHALL BE THERMOSTATIC MIXING VALVE TYPE. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER WHERE OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 gpm, OR SHOWER SHALL BE DESIGNED TO ALLOW ONLY 1 SHOWER OUTLET TO BE IN OPERATION AT A TIME.
- 8 (N) TILE SHOWER SURROUND OVER WATER-RESISTANT GYP. BD OR APPROVED BACKER BOARD TO A HEIGHT OF 72" MIN. OVER DRAIN INLET.
- 9 BATHROOM EXHAUST FANS WITH MIN. 50 CFM ARE REQUIRED IN EACH BATHROOM THAT CONTAINS A TUB OR SHOWER, AND MUST BE HUMIDITY-CONTROLLED (UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM). CALGREEN §4.506.1.
- 10 (N) WASHER / DRYER HOOKUPS. 4" # GSM DRYER VENT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL & VERTICAL LENGTH OF 14', INCLUDING 2' DEDUCTED FOR EACH 90° ELBOW IN EXCESS OF 2. PROVIDE TERMINATION CAP W/ BACKDRAFT DAMPER.
- 11 TEMPERED GLASS SHOWER ENCLOSURE OR SCREEN.
- 12 (N) BUILT IN CABINETS.
- 13 WHERE OCCURS: PROVIDE MIN. 26-GAUGE SHEET STEEL FOR DUCTS AT GARAGE, AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE GARAGE FROM THE DWELLING. DUCTS MAY HAVE NO OPENINGS INTO THE GARAGE. CRC §R302.5.2.
- 14 PROVIDE MIN. 1/2" GYP. BD. ALL WALLS SEPARATING GARAGE FROM RESIDENCE AND ITS ATTIC. CRC §R302.5 & TABLE R302.6.
- 15 BATHTUB AS SELECTED BY OWNER.
- 16 UNDER FLOOR CRAWL SPACE ACCESS. PROVIDE MIN. 16"x24" OPENING THROUGH WALL.
- 17 200 AMP ELECTRICAL SERVICE W/DISCONNECT FOR MAIN RESIDENCE. SUB PANEL LOCATION TO BE DETERMINED.
- 17a 100 AMP ELECTRICAL SERVICE W/DISCONNECT FOR ADU.
- 18 CENTRAL (HSPF 10.0, SEER 16, EER/CECR 12.2), SPLIT HEAT PUMP (10.00 HPSF, 16.00 SEER) AND DUCTS. H.E.R.S. VERIFICATION REQUIRED PER ENERGY REPORT. MEANS SHALL BE PROVIDED TO SIMULTANEOUSLY DISCONNECT THE HEATER, MOTOR CONTROLLER(S), AND SUPPLEMENTARY OVERCURRENT PROTECTIVE DEVICES(S) OF ALL FIXED ELECTRIC SPACE-HEATING EQUIPMENT FROM ALL UNGROUNDED CONDUCTORS. PROVIDE MIN. 30" WIDE X 36" DEEP X 78" HIGH CLEAR WORKING SPACE.
- 18a VCHP-DUCTLESS (HSPF 8.2, SEER 14, EER/CECR 11.7)
- 19 RESIDENTIAL ELEVATOR AS SELECTED BY OWNER. SEE SHEET A2.4 FOR REQUIREMENT
- 20 (N) WUI COMPLIANT DECK SURFACE.
- 21 (N) ELECTRIC WATER HEATER, 50 G (AO SMITH \ HP10-50H45 BV). PROVIDE SEISMIC STRAPS WITHIN UPPER 1/4 AND LOWER 1/4 VERTICAL DIM OF APPLIANCE MIN. OF 4" SHALL BE MAINTAINED ABOVE THE CONTROLS.
- 22 (N) STAIRWAY & HANDRAIL PER DETAIL 4/A4.0.
- 23 FOR ELECTRIC VEHICLE (EV) CHARGING INFRASTRUCTURE, PROVIDE RACEWAY NOT LESS THAN 1" INSIDE DIA. TO ACCOMMODATE A DEDICATED 208 / 240 VOLT BRANCH CIRCUIT - THE RACEWAY SHALL ORIGINATE AT MAIN SERVICE OR SUB PANEL AND SHALL TERMINATE INTO A LISTED CABINET BOX CLOSE TO PROPOSED LOCATION OF EV CHARGER. THE SERVICE PANEL OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40 AMP MIN. DEDICATED BRANCH CIRCUIT AND SPACE RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVER CURRENT PROTECTION DEVICE.
- 24 GUARDRAILS ARE REQUIRED AT OPEN SIDED WALKING SURFACES LOCATED MORE THAN 30" VERTICALLY TO THE FLOOR OR GRADE WITHIN 36" HORIZONTALLY OF THE OPEN SIDE. GUARDRAILS SHALL NOT BE LESS THAN 42" ABOVE THE ADJACENT WALKING SURFACE. OPENINGS IN GUARDRAIL SHALL NOT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER.
- 25 WATERPROOF ROOF DECK.

WALL LEGEND

- (N) 2x6 STUD WALL
- (N) 2x4 STUD WALL
- (N) 2x4 LOW HEIGHT STUD WALL

3 LAUNDRY GRAY WATER DETAIL

SCALE: N.T.S.



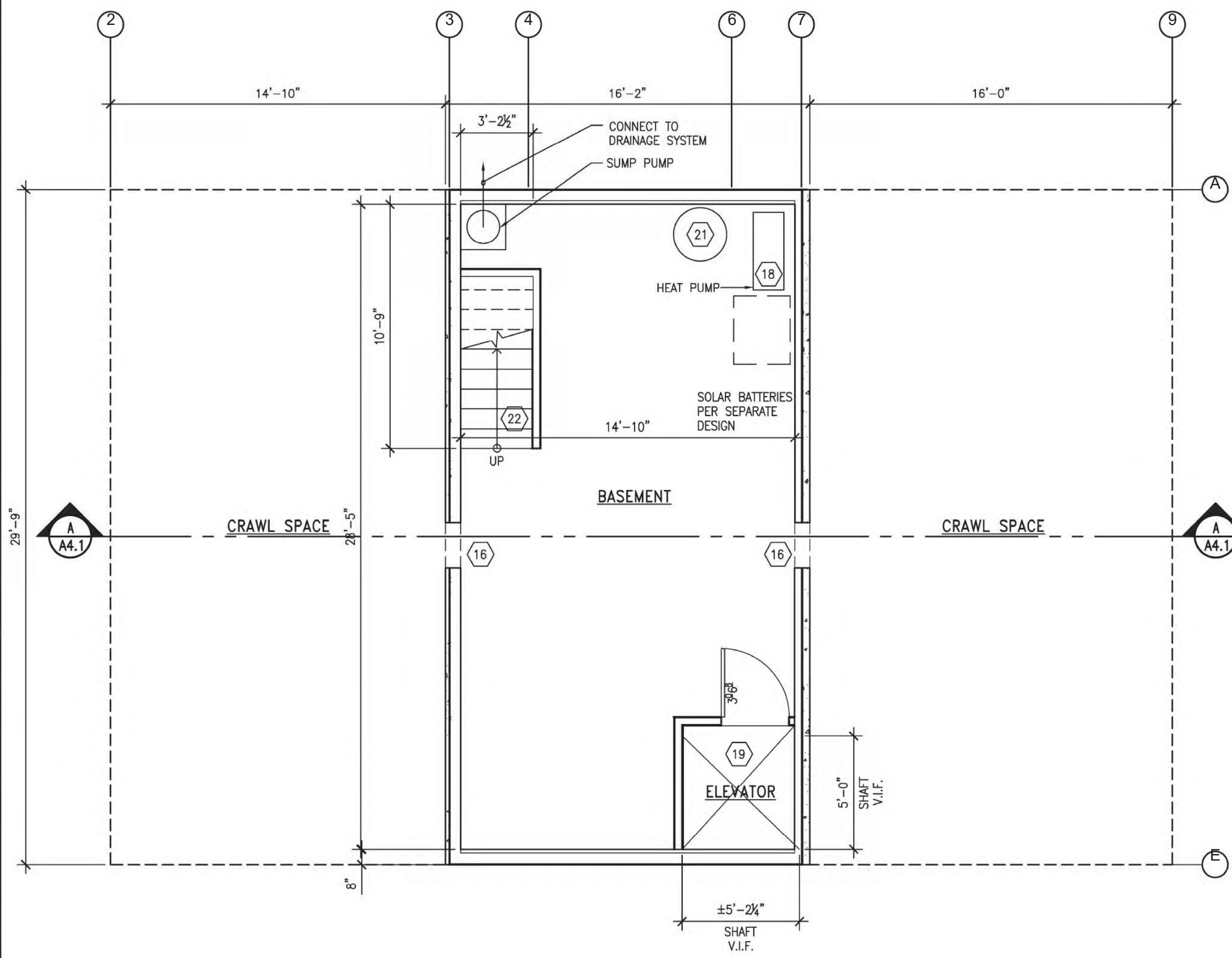
1 PROPOSED MAIN FLOOR PLAN

MAIN FLOOR AREA 1,415 SF

SCALE: 1/4" = 1'-0"

4 SOLAR BATTERY LAYOUT

SCALE: N.T.S.



2 PROPOSED BASEMENT FLOOR PLAN

BASEMENT FLOOR AREA 469 SF

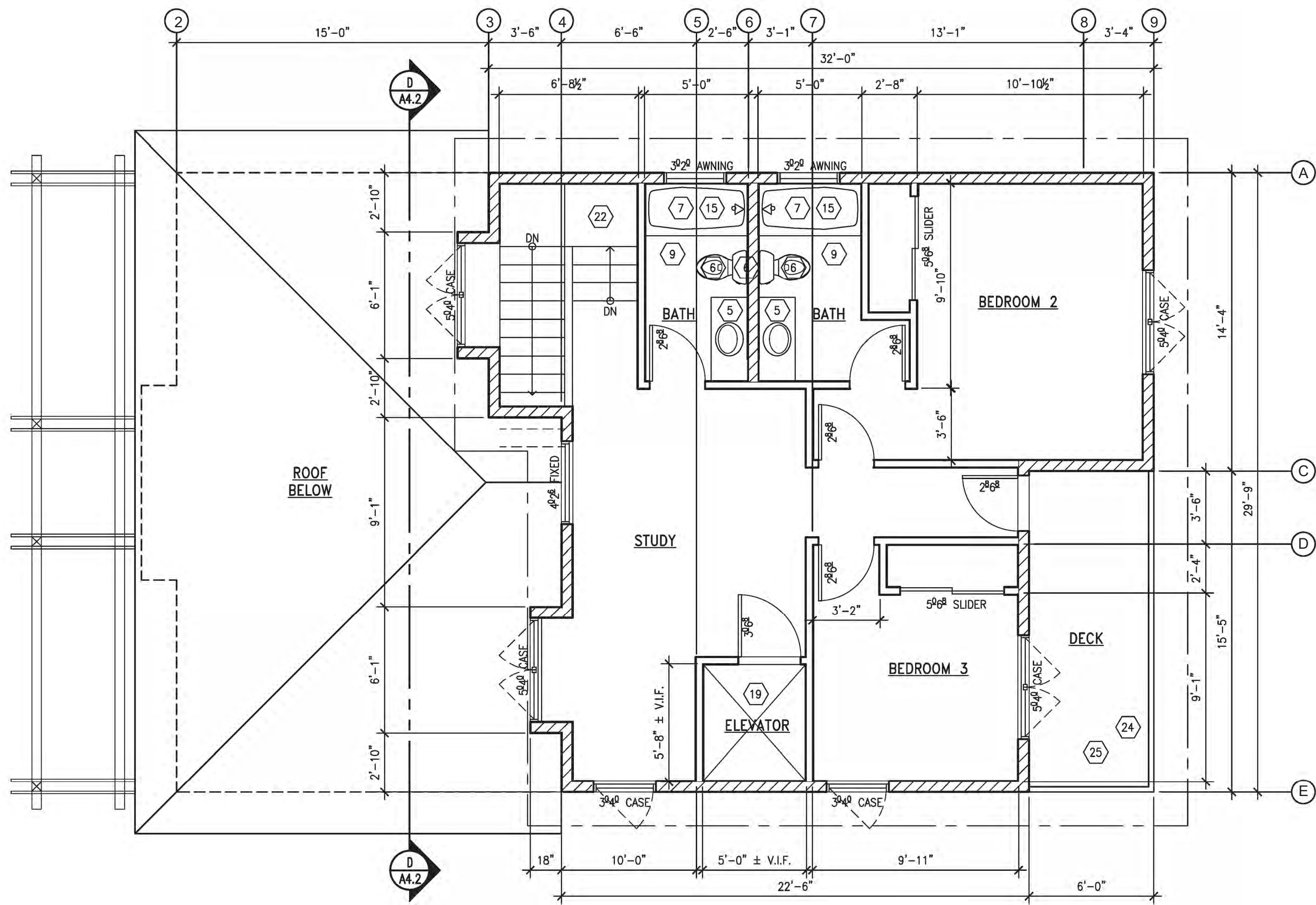
SCALE: 1/4" = 1'-0"

ARCHITECTS
 FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA 94901
 Phone: (415) 457-0220 Fax: (415) 454-9581

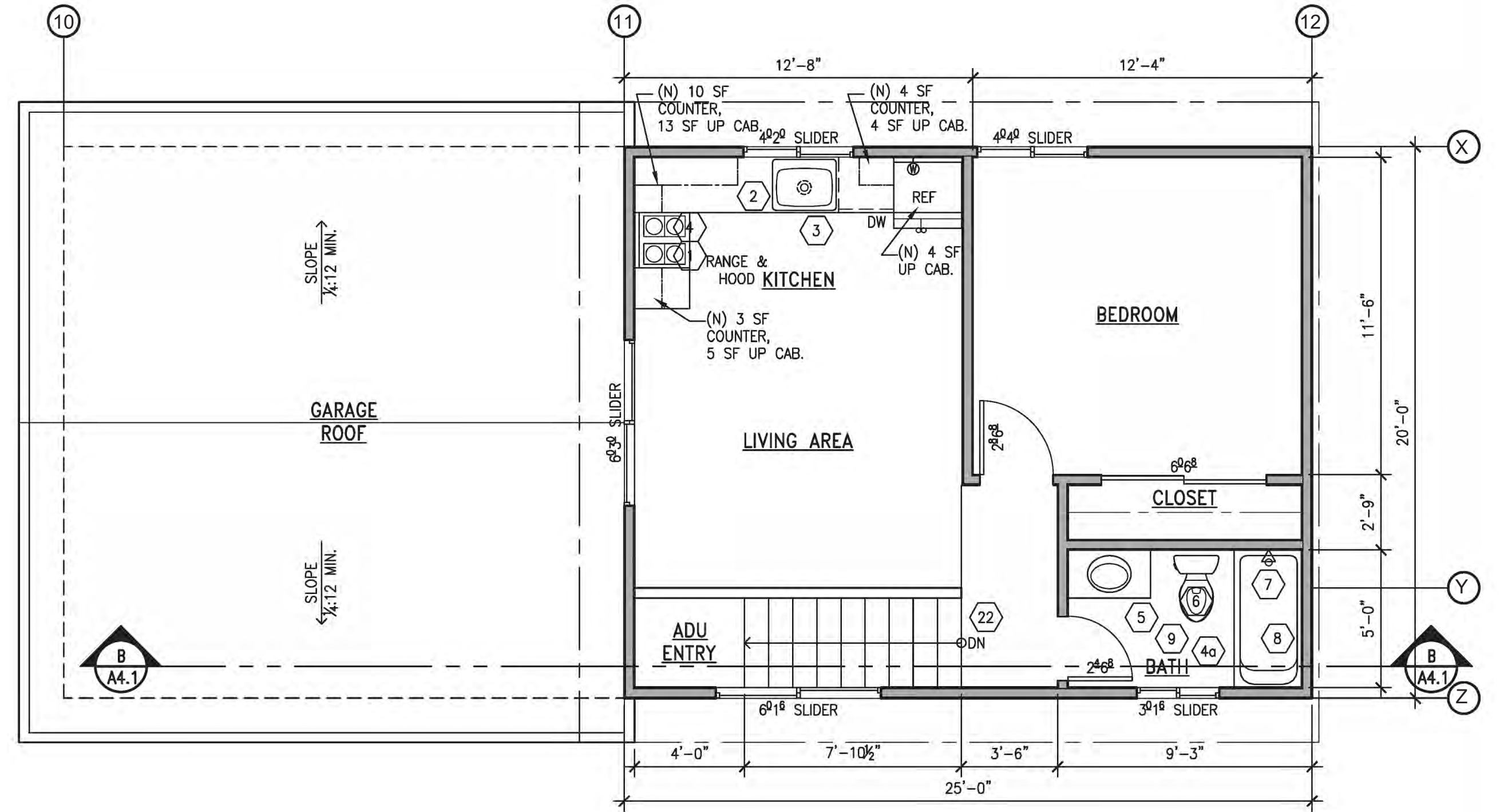
NEW RESIDENCE AND ADU
PROPOSED MAIN FLOOR PLAN
PROPOSED BASEMENT PLAN

Revisions	03-17-2022	PERMIT SUBMITTAL
	04-06-2022	REVISED PERMIT SUBMITTAL
	06-23-2022	PLAN CHECK COMMENTS
Date:	06-20-2022	
Scale:	As Noted	
Drawn:	LSK	
Job #	19049.00	
Prototype	DIVINE	

A2.1



3 PROPOSED UPPER FLOOR PLAN
 UPPER FLOOR AREA 795 SF SCALE: 1/4" = 1'-0" NORTH



2 PROPOSED ADU PLAN
 ADU FLOOR AREA 500 SF SCALE: 1/4" = 1'-0" NORTH

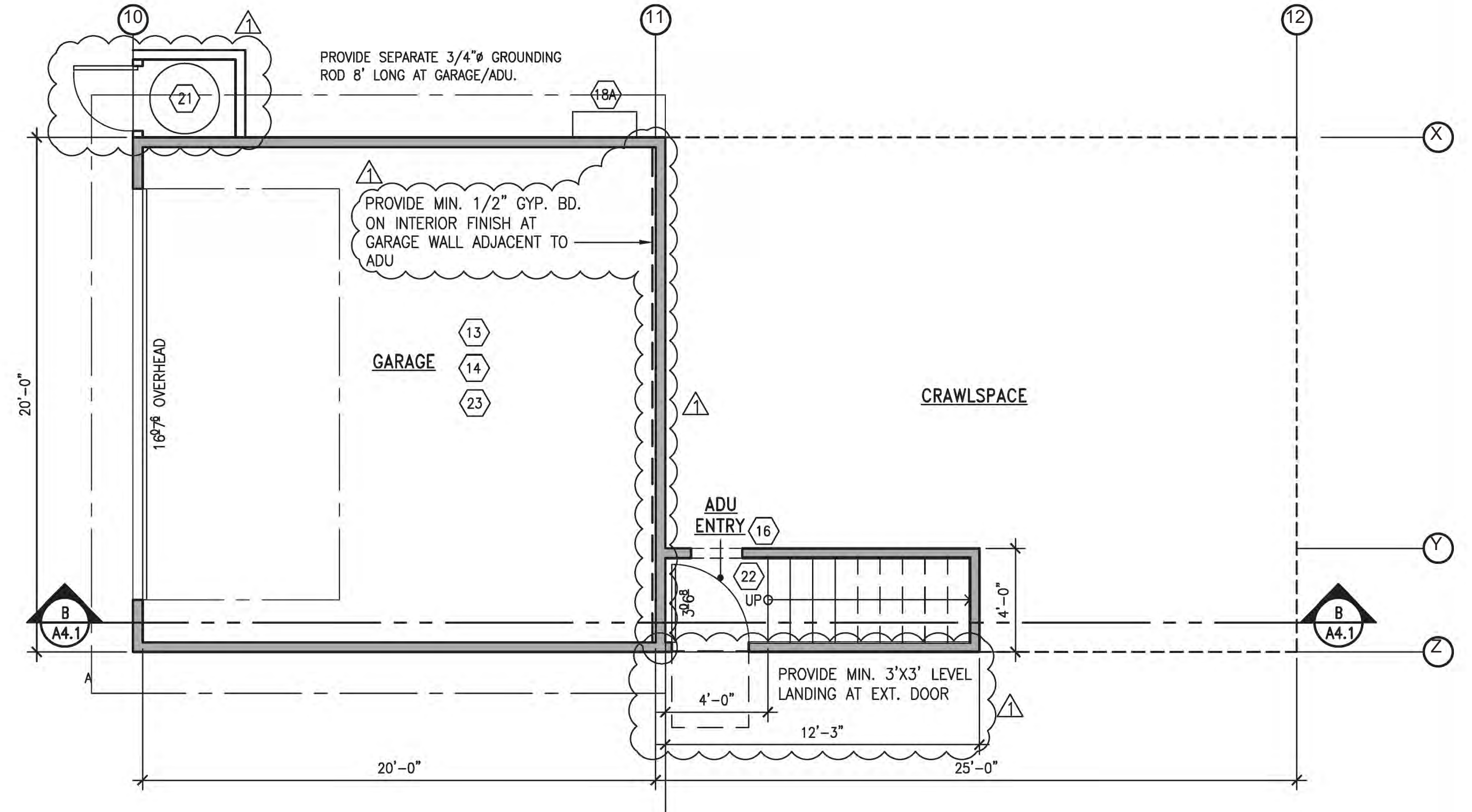
FLOOR PLAN KEYNOTES

- 1 (N) KITCHEN APPLIANCES TO BE SELECTED BY OWNER AND TO MEET ENERGY STAR REQUIREMENTS. (THESE INCLUDE DISHWASHER, GARBAGE DISPOSAL, RANGE, REFRIGERATOR, AND EXHAUST HOOD.)
- 2 (N) KITCHEN ISLAND, CASEWORK, AND COUNTERTOP TO BE SELECTED BY OWNER.
- 3 (N) KITCHEN SINK TO BE SELECTED BY OWNER. KITCHEN SINK SHALL HAVE A MAX. FLOW RATE OF 1.8 gpm @ 60 psi. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW, BUT NOT EXCEED 2.2 gpm @ 60 psi & MUST DEFAULT TO A MAX FLOW RATE OF 1.8 gpm.
- 4 KITCHEN EXHAUST HOOD TO BE MIN 104 CFM (0.35 WATTS/CFM) EXHAUST TO EXTERIOR. TO SERVE AS WHOLE HOUSE FAN. HERS VERIFICATION REQUIRED.
- 4a BATHROOM EXHAUST FAN TO BE 50 CFM.
- 5 (N) VANITY CASEWORK W/ SINK, FAUCET & MIRROR. FAUCET SHALL HAVE A MAX FLOW RATE OF 1.5 gpm @ 60 psi. CONFIRM FAUCET FLOW RATE @ (E) BATHROOMS.
- 6 (N) TOILET SHALL MEET 1.28 gpf MAX. THE TOILET SHALL BE LOCATED IN A SPACE A MIN. OF 30" WIDE. A 24" CLEAR SPACE IN FRONT OF THE TOILET SHALL BE PROVIDED.
- 7 (N) SHOWER HEAD AND FAUCET CONTROLS. NEW SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 1.8 gpm @ 80 psi. CONTROLS SHALL BE THERMOSTATIC MIXING VALVE TYPE. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER WHERE OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 gpm, OR SHOWER SHALL BE DESIGNED TO ALLOW ONLY 1 SHOWER OUTLET TO BE IN OPERATION AT A TIME.
- 8 (N) TILE SHOWER SURROUND OVER WATER-RESISTANT GYP. BD OR APPROVED BACKER BOARD TO A HEIGHT OF 72" MIN. OVER DRAIN INLET.
- 9 BATHROOM EXHAUST FANS WITH MIN. 50 CFM ARE REQUIRED IN EACH BATHROOM THAT CONTAINS A TUB OR SHOWER, AND MUST BE HUMIDITY-CONTROLLED (UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM), CALGREEN §4.506.1.
- 10 (N) WASHER / DRYER HOOKUPS. 4" Ø GSM DRYER VENT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL & VERTICAL LENGTH OF 14', INCLUDING 2' DEDUCTED FOR EACH 90° ELBOW IN EXCESS OF 2. PROVIDE TERMINATION CAP W/ BACKDRAFT DAMPER.
- 11 TEMPERED GLASS SHOWER ENCLOSURE OR SCREEN.
- 12 (N) BUILT IN CABINETS.
- 13 WHERE OCCURS: PROVIDE MIN. 26-GAUGE SHEET STEEL FOR DUCTS AT GARAGE, AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE GARAGE FROM THE DWELLING. DUCTS MAY HAVE NO OPENINGS INTO THE GARAGE. CRC §R302.5.2.

- 14 PROVIDE MIN. 1/2" GYP. BD. ALL WALLS SEPARATING GARAGE FROM RESIDENCE AND ITS ATTIC. CRC §R302.5 & TABLE R302.6.
- 15 BATHTUB AS SELECTED BY OWNER.
- 16 UNDER FLOOR CRAWL SPACE ACCESS. PROVIDE MIN. 16"x24" OPENING THROUGH WALL.
- 17 200 AMP ELECTRICAL SERVICE W/DISCONNECT FOR MAIN RESIDENCE. SUB PANEL LOCATION TO BE DETERMINED.
- 17a 100 AMP ELECTRICAL SERVICE W/DISCONNECT FOR ADU.
- 18 CENTRAL (HSPF 10.0, SEER 16, EER/CECR 12.2), SPLIT HEAT PUMP (10.00 HPSF, 16.00 SEER) AND DUCTS. H.E.R.S. VERIFICATION REQUIRED PER ENERGY REPORT. MEANS SHALL BE PROVIDED TO SIMULTANEOUSLY DISCONNECT THE HEATER, MOTOR CONTROLLER(S), AND SUPPLEMENTARY OVERCURRENT PROTECTIVE DEVICES(S) OF ALL FIXED ELECTRIC SPACE-HEATING EQUIPMENT FROM ALL UNGROUNDED CONDUCTORS. PROVIDE MIN. 30" WIDE X 36" DEEP X 78" HIGH CLEAR WORKING SPACE.
- 18a VCHP-DUCTLESS (HSPF 8.2, SEER 14, EER/CECR 11.7)
- 19 RESIDENTIAL ELEVATOR AS SELECTED BY OWNER. SEE SHEET A2.4 FOR REQUIREMENTS
- 20 (N) WUI COMPLIANT DECK SURFACE.
- 21 (N) ELECTRIC WATER HEATER, 50 G (AO SMITH \ HP10-50H45 BV). PROVIDE SEISMIC STRAPS WITHIN UPPER 1/3 AND LOWER 1/3 VERTICAL DIM OF APPLIANCE MIN. OF 4" SHALL BE MAINTAINED ABOVE THE CONTROLS.
- 22 (N) STAIRWAY & HANDRAIL PER DETAIL 4/A4.0.
- 23 FOR ELECTRIC VEHICLE (EV) CHARGING INFRASTRUCTURE, PROVIDE RACEWAY NOT LESS THAN 1" INSIDE DIA. TO ACCOMMODATE A DEDICATED 208 / 240 VOLT BRANCH CIRCUIT - THE RACEWAY SHALL ORIGINATE AT MAIN SERVICE OR SUB PANEL AND SHALL TERMINATE INTO A LISTED CABINET BOX CLOSE TO PROPOSED LOCATION OF EV CHARGER. THE SERVICE PANEL OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40 AMP MIN. DEDICATED BRANCH CIRCUIT AND SPACE RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVER CURRENT PROTECTION DEVICE.
- 24 GUARDRAILS ARE REQUIRED AT OPEN SIDED WALKING SURFACES LOCATED MORE THAN 30" VERTICALLY TO THE FLOOR OR GRADE WITHIN 36" HORIZONTALLY OF THE OPEN SIDE. GUARDRAILS SHALL NOT BE LESS THAN 42" ABOVE THE ADJACENT WALKING SURFACE. OPENINGS IN GUARDRAIL SHALL NOT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER.
- 25 WATERPROOF ROOF DECK.

WALL LEGEND

	(N) 2x6 STUD WALL
	(N) 2x4 STUD WALL
	(N) 2x4 LOW HEIGHT STUD WALL



1 PROPOSED GARAGE PLAN
 GARAGE FLOOR AREA 400 SF SCALE: 1/4" = 1'-0" NORTH

ARCHITECTS
 FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST. SAN RAFAEL, CA 94901
 Phone: (415) 457-0220 Fax: (415) 454-9581

NEW RESIDENCE AND ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 APN: 002-062-03
 FOR: COBY FRIEDMAN

PROPOSED UPPER FLOOR PLAN
PROPOSED GARAGE PLAN
PROPOSED ADU PLAN

Revisions	03-17-2022
PERMIT SUBMITTAL	04-06-2022
REVISED PERMIT SUBMITTAL	06-23-2022
PLAN CHECK COMMENTS	
Date:	06-20-2022
Scale:	As Noted
Drawn:	LSK
Job #	19049.00
Prototype	DNVE

A2.2

EXTERIOR LIGHTING SCHEDULE					
Symbol	Label	MANUFACTURER/ MODEL	LAMP TYPE	Lum. Lumens	Comments
⊕	A	JOHN TIMBERLAND "WESTLEY" 8-1/2" HIGH x 7-1/4" WIDE	3,000K, LED 13W	1150	WALL MOUNTED EXTERIOR DOORS/ GARAGE
⊕	B	ELCO 6" RECESSED	3,000K, LED 10W	830	SOFFIT LIGHT
INTERIOR LIGHTING AS SELECTED BY OWNER					
ALL EXTERIOR LIGHT FIXTURES SHALL BE DARK SKY COMPLIANT					

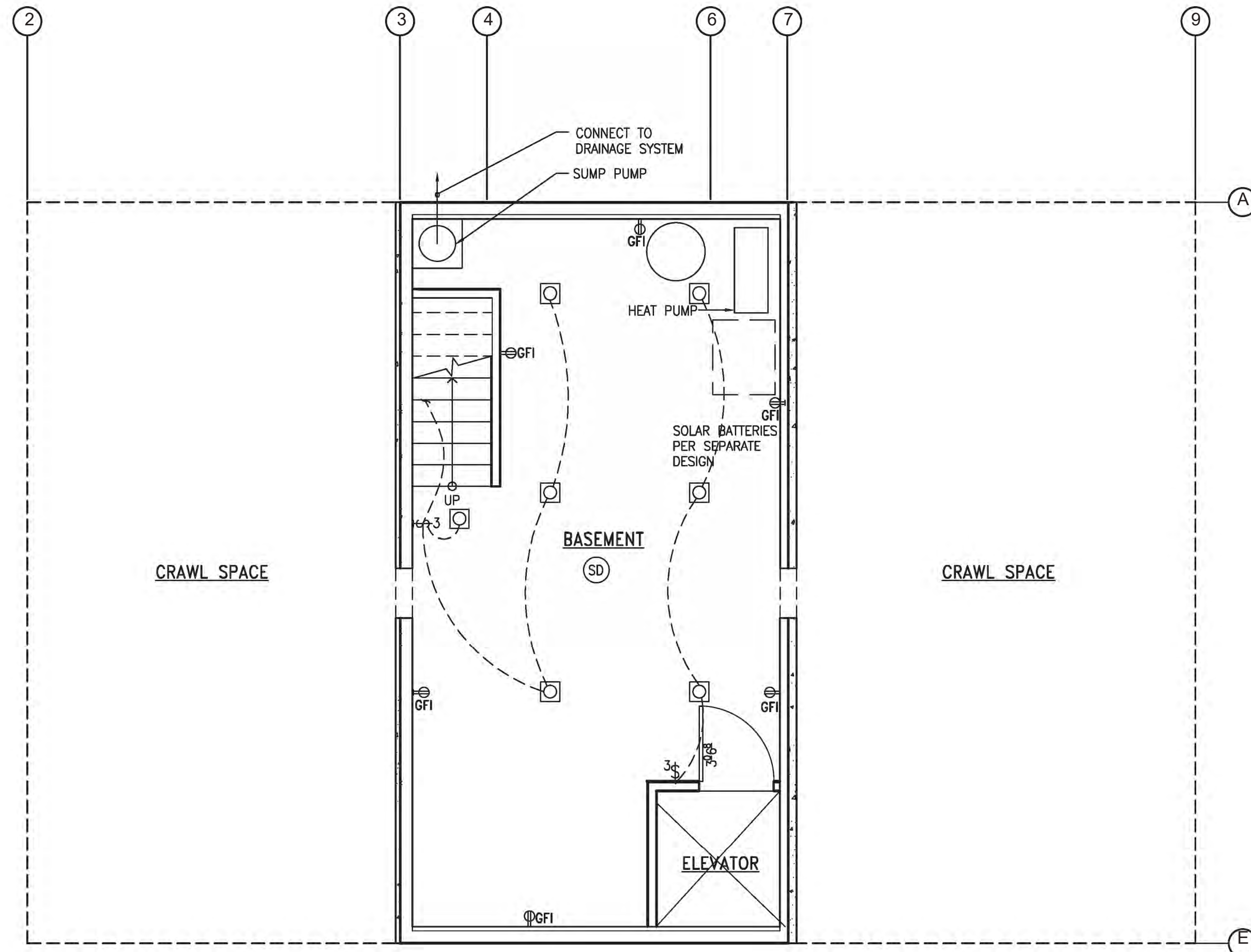
MECHANICAL/ELECTRICAL PLAN SYMBOL LEGEND

- NOTE: ALL ITEMS (N) U.O.N.
- ⊕ 110v DUPLEX RECEPTACLE AT +18" A.F.F. U.O.N.
 - ⊕ 110v DUPLEX RECEPTACLE W/ GROUND FAULT CIRCUIT INTERRUPTER (GFI/GFCI) AT +18" A.F.F. U.O.N.
 - ⊕ 110v DUPLEX RECEPTACLE W/ GROUND FAULT CIRCUIT INTERRUPTER (GFI/GFCI) IN WATERPROOF HOUSING AT +18" A.F.F. U.O.N.
 - ⊕ SWITCHED 110v DUPLEX RECEPTACLE AT +18" A.F.F. U.O.N.
 - ⊕ 220v RECEPTACLE AT +18" U.O.N.
 - ⊕ WASHING MACHINE 1/2" DIA. HOT & COLD WATER SUPPLY (L) AND SEWER DRAIN (S), HEIGHT AS NOTED.
 - ⊕ REFRIGERATOR WATER HOOKUP AT +12" U.O.N.
 - ⊕ GAS VALVE, HEIGHT PER APPLIANCE MANUFACTURER'S SPECIFICATIONS.
 - ⊕ HOSE BIB AT +18" A.F.F. U.O.N.
 - ⊕ SWITCH.
 - ⊕ 3-WAY SWITCH.
 - ⊕ SWITCH WITH VACANCY SENSOR.
 - ⊕ SWITCH WITH MOTION SENSOR.
 - ⊕ DIMMER SWITCH.
 - ⊕ 3-WAY DIMMER SWITCH.
 - ⊕ (GD) GARBAGE DISPOSAL AT UNDERSIDE OF KITCHEN SINK.
 - ⊕ DRYER DUCT AND DRYER DUCT VENT OUTLET, 12" MIN. EXHAUST HEIGHT ABOVE GRADE AT EXTERIOR. MAX 4" DRYER DUCT LENGTH = 35', REDUCE BY 2.5' FOR EACH 45° BEND, AND REDUCE BY 5' FOR EACH 90° BEND.
- ⊕ RECESSED LED LIGHT FIXTURE. (N) LED BULB AT (E) FIXTURE, TYP. WHERE OCCURS.
 - ⊕ WALL-MOUNTED LIGHT FIXTURE.
 - ⊕ PENDANT LIGHT FIXTURE.
 - ⊕ SURFACE-MOUNTED LIGHT FIXTURE.
 - ⊕ TRACK LIGHTING FIXTURE, MOUNTED TO SIDE OF (E) BEAM.
 - ⊕ RECESSED COMBO EXHAUST FAN/LED LIGHT FIXTURE, FAN AND LIGHT SWITCHED SEPARATELY. BATHROOM EXHAUST FANS WITH MIN. 50 cfm ARE REQUIRED IN EACH BATHROOM THAT CONTAINS A TUB OR SHOWER, AND MUST BE HUMIDITY CONTROLLED.
 - ⊕ RECESSED EXHAUST FAN. BATHROOM EXHAUST FANS WITH MIN. 50 cfm ARE REQUIRED IN EACH BATHROOM THAT CONTAINS A TUB OR SHOWER, AND MUST BE HUMIDITY CONTROLLED.
 - ⊕ RANGE HOOD EXHAUST VENT, MIN. 100 cfm DUCTED TO EXTERIOR.
 - ⊕ SMOKE DETECTOR, HARD-WIRED AND INTERCONNECTED TO OTHER UNITS.
 - ⊕ CARBON MONOXIDE DETECTOR, HARD-WIRED AND INTERCONNECTED TO OTHER UNITS.
 - (E) EXISTING.
 - (N) NEW.
 - A.F.F. ABOVE FINISH FLOOR (ABOVE GRADE AT EXTERIOR LOCATIONS).
 - DW DISHWASHER.
 - RELOC. EXISTING TO BE RELOCATED.
 - T.M.E. TO MATCH EXISTING.
 - U.O.N. UNLESS OTHERWISE NOTED.

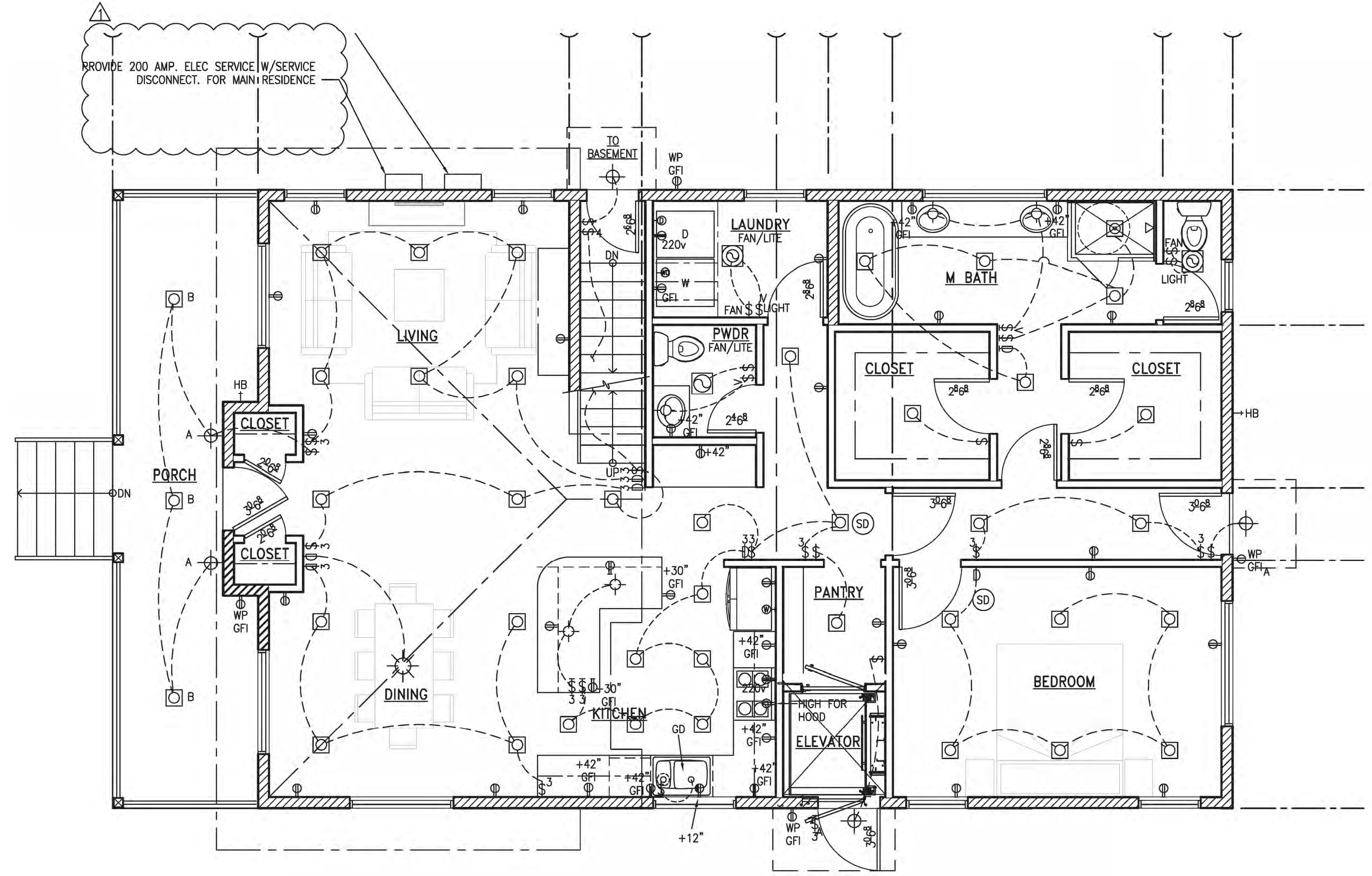
ELECTRICAL/ MECHANICAL NOTES

- EXTERIOR OF HOUSE SHALL SHOW LOCATION OF ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. ADDRESS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED AND REMAIN ILLUMINATED AT ALL HOURS OF DARKNESS. NUMBERS MUST BE MIN 4" HIGH W/ 1/2" STROKE FOR RESIDENTIAL OCCUPANCIES. THE ADDRESS MUST BE CONTRASTING IN COLOR TO THEIR BACKGROUND.
- ALL NEW 120V, SINGLE PHASE, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN A DWELLING UNIT SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, OR A LISTED OUTLET BRANCH-CIRCUIT TYPE AFCI LOCATED AT THE FIRST RECEPTACLE OUTLET OF THE EXISTING BRANCH CIRCUIT INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. CEC §210.12(B).
- SPECIFY WATERPROOF GFCI PROTECTED OUTLETS AT EXTERIOR IN A READILY ACCESSIBLE LOCATION. CEC §210.8(A)(3). EXTERIOR OUTLETS ARE REQUIRED AT THE FRONT AND BACK OF THE HOUSE. OUTLETS SHALL NOT BE LOCATED MORE THAN 2.0 m (6 1/2 FEET) ABOVE GRADE. CEC §210.52(E).
- BALCONIES, DECKS, AND PORCHES THAT ARE ACCESSIBLE FROM INSIDE THE DWELLING UNIT SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET INSTALLED WITHIN THE PERIMETER OF THE BALCONY, DECK, OR PORCH. RECEPTACLES SHALL NOT BE LOCATED MORE THAN 2.0 m (6 1/2 FEET) ABOVE THE WALKING SURFACE. CEC §210.52(E)(3).
- CARBON MONOXIDE ALARMS:
 - WHERE MORE THAN ONE CARBON MONOXIDE DETECTOR IS REQUIRED, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
 - CARBON MONOXIDE DETECTORS SHALL BE POWERED BY BUILDING WIRING CURRENT WITH BATTERY BACKUP. EXISTING CO2 DETECTORS MAY BE BATTERY OPERATED.
- HARDWIRED SMOKE ALARMS WITH BATTERY BACK-UP ARE REQUIRED IN EACH BEDROOM, IN EACH HALLWAY OUTSIDE A BEDROOM, AND AT EACH FLOOR LEVEL. ANY EXISTING SMOKE ALARMS THAT ARE MORE THAN 10 YEARS OLD ARE TO BE REPLACED. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3' HORIZONTALLY FROM DOOR / OPENING OF BATHROOMS CONTAINING A BATH TUB, SHOWER, UNLESS PLACEMENTS PREVENT MEETING OTHER REQUIRED LOCATIONS. SPECIFIC LOCATION REQUIREMENTS FOR SMOKE DETECTORS PER CRC R314.3.3 / NFPA SECT. 29.8.3.4.
- WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, INDICATE THAT THEY ARE ALL INTERCONNECTED, SO THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS SHALL BE GFCI PROTECTED. RECEPTACLES ARE TO BE INSTALLED AT ALL COUNTERTOPS 12" OR GREATER AND IN SUCH THAT NO LOCATION IS MORE THAN 24" FROM AN OUTLET.
- THE ELECTRICAL RECEPTACLES MUST BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6', MEASURED HORIZONTALLY, FROM AN OUTLET. THIS INCLUDES ANY WALL SPACE OF 2' OR MORE IN LENGTH.
- INSTALL ARC-FAULT CIRCUIT INTERRUPTERS (AFCI) ON ALL 15 AND 20 AMP RECEPTACLE OUTLETS IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, LAUNDRY ROOMS AND SIMILAR ROOMS. IN ACCORDANCE WITH CEC 210.12(A)
- PROVIDE A MINIMUM OF TWO SEPARATE 20-AMP CIRCUITS TO KITCHEN, BREAKFAST ROOM, AND ONE SEPARATE 20-AMP CIRCUIT TO LAUNDRY OR SIMILAR ROOM.
- ALL INSTALLED LUMINAIRES, OR LIGHTING FIXTURES MUST BE HIGH EFFICACY.
 - LUMINAIRES RECESSED INTO CEILINGS MUST MEET REQUIREMENTS FOR: INSULATION CONTACT (I.C.); LABELING; AIR LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE.
 - SCREWED BASE LUMINAIRES MUST NOT BE DOWNLIGHT LUMINAIRES IN CEILINGS AND MUST CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JAB.
 - LIGHT SOURCES INSTALLED IN ENCLOSED LUMINAIRES MUST BE JAB COMPLIANT AND MUST BE MARKED "JAB-2016-E".
 - ALL FORWARD PHASE CUT DIMMERS USED WITH LED LIGHT SOURCES MUST COMPLY WITH NEMA SSL 7A.
 - LUMINAIRES MUST BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.
 - NO LIGHTING CONTROL MUST BYPASS A DIMMER OR VACANCY SENSOR FUNCTION IF THE CONTROL IS INSTALLED TO COMPLY WITH RESIDENTIAL LIGHTING REQUIREMENTS.
 - IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR.
 - DIMMERS OR VACANCY SENSORS MUST CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JAB, EXCEPT LUMINAIRES IN CLOSETS LESS THAN 70 SF AND LUMINAIRES IN HALLWAYS.
 - UNDER CABINET LIGHTING MUST BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.

- OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING, OR TO OTHER BUILDINGS ON THE SAME LOT:
 - MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF 2.) & 3.) BELOW.
 - CONTROLLED BY A PHOTOCELL AND MOTION SENSOR CONTROLS THAT OVER RIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVER RIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS, OR:
 - CONTROLLED BY ONE OF THE FOLLOWING:
 - PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL.
 - ASTRONOMICAL TIME CLOCK.
 - ENERGY MANAGEMENT SYSTEM.
- NOT USED
- MECHANICAL DRAFT VENTS (OTHER THAN DIRECT VENT) MUST TERMINATE:
 - AT LEAST 3 FEET ABOVE ANY FORCED AIR INLET LOCATED WITHIN 10 FEET.
 - AT LEAST 4 FEET BELOW OR HORIZONTALLY OR 1 FOOT ABOVE ANY DOOR OR OPERABLE WINDOW OR AIR INLET.
- VENTS FOR DIRECT VENT APPLIANCES MUST TERMINATE:
 - AT LEAST 6" FROM AIR OPENINGS FOR INPUT RATING UP TO 10k BTU/HR.
 - AT LEAST 9" FOR INPUT RATING OVER 10k UP TO 50k BTU/HR.
 - AT LEAST 12" FOR INPUT RATING OVER 50k BTU/HR.
- BATHROOM EXHAUST FANS ARE REQUIRED IN EACH BATHROOM THAT CONTAINS A TUB OR SHOWER, AND MUST BE HUMIDITY-CONTROLLED (UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM). CALGREEN §4.506.1. EXHAUST FANS MUST BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS.
- IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM OR SIMILAR ROOM OR AREA OF DWELLING UNITS, ALL 125 VOLT, 15 AND 20 AMP RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT. CEC §210.52
- PROVIDE AT LEAST ONE 20 AMP CIRCUIT FOR BATHROOM OUTLETS, WITH NO OTHER OUTLETS ON THE CIRCUIT. CEC §210.11(C)(3).
- CLOTHES CLOSET LIGHT FIXTURE CLEARANCES SHALL CONFORM TO CEC §410.16. INCANDESCENT FIXTURES WITH OPEN OR PARTIALLY ENCLOSED LAMPS AND PENDANT FIXTURES OR LAMP HOLDERS ARE NOT ALLOWED IN CLOSETS.
- ALL 125v, SINGLE PHASE, 15 AND 20 AMP RECEPTACLES INSTALLED IN THE FOLLOWING LOCATIONS SHALL HAVE GROUND FAULT INTERRUPTER (GFCI) PROTECTION:
 - BATHROOMS
 - GARAGES AND ACCESSORY BUILDINGS WITH FLOOR AT OR BELOW GRADE NOT USED AS HABITABLE ROOMS.
 - OUTDOORS
 - CRAWL SPACES
 - UNFINISHED BASEMENTS
 - KITCHENS
 - BOATHOUSES
 - WITHIN 6'-0" OF BATHTUBS OR SHOWERS
 - LAUNDRY AREAS
- AT LEAST ONE RECEPTACLE WITH GFCI PROTECTION SHALL BE INSTALLED WITHIN 6'-0" OF OUTSIDE EDGE OF EACH SINK. RECEPTACLE MAY ALSO BE INSTALLED ON SIDE / FACE OF CABINET, NOT MORE THAN 12" BELOW THE COUNTERTOP.
- PROVIDE AT LEAST ONE RECEPTACLE OUTLET WITH GFCI PROTECTION PER CAR SPACE. THE BRANCH CIRCUIT SUPPLYING THE RECEPTACLE(S) SHALL NOT SUPPLY OUTLETS OUTSIDE THE GARAGE.
- LIGHT FIXTURES LOCATED WITHIN THE OUTSIDE DIMENSION OF A BATHTUB OR SHOWER TO A HEIGHT OF 8'-0" VERTICALLY FROM TOP OF BATHTUB OR SHOWER THRESHOLD SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS, OR SUITABLE FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY"
- ALL OUTLET RECEPTACLES IN THE BASEMENT ARE REQUIRED TO BE GFCI PROTECTED.
- MEANS SHALL BE PROVIDED TO SIMULTANEOUSLY DISCONNECT ELEC. HEAT PUMP FAU, MOTOR CONTROLLER AND SUPPLEMENTARY OVERCURRENT PROTECTIVE DEVICES FROM ALL UNGROUNDED CONDUCTORS.



2 BASEMENT LEVEL ELECTRICAL & LIGHTING PLAN
SCALE: 1/4" = 1'-0"



1 MAIN FLOOR ELECTRICAL & LIGHTING PLAN
SCALE: 1/4" = 1'-0"

ARCHITECTS
 FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA 94901
 Phone: (415) 457-0220 Fax: (415) 454-9581
 LICENSED ARCHITECT
 LYDIA S. KEHLEN
 NO. C 25466
 EXPIRES 01-31-25
 STATE OF CALIFORNIA

NEW RESIDENCE AND ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 APN: 002-062-03
 FOR: COBY FRIEDMAN

LOWER LEVEL LIGHTING & ELECTRICAL PLAN
BASEMENT LEVEL LIGHTING & ELECTRICAL PLAN

Revisions	03-17-2022
▲ PERMIT SUBMITTAL	04-06-2022
▲ REVISED PERMIT SUBMITTAL	06-23-2022
▲ PLAN CHECK COMMENTS	

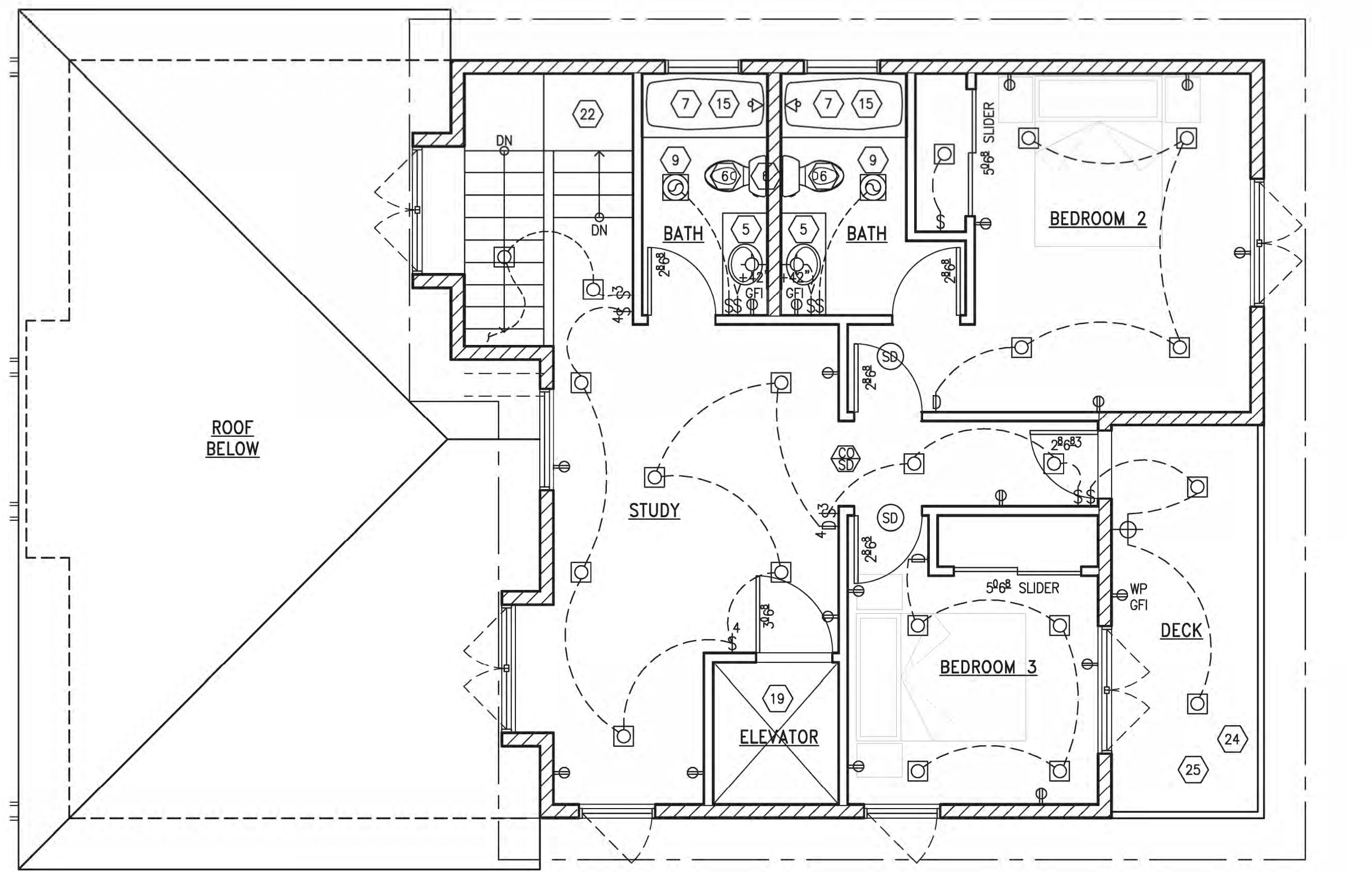
Date: 06-20-2022
 Scale: As Noted
 Drawn: LSK
 Job #: 19049.00
 Prototype: DIVINE

A2.3

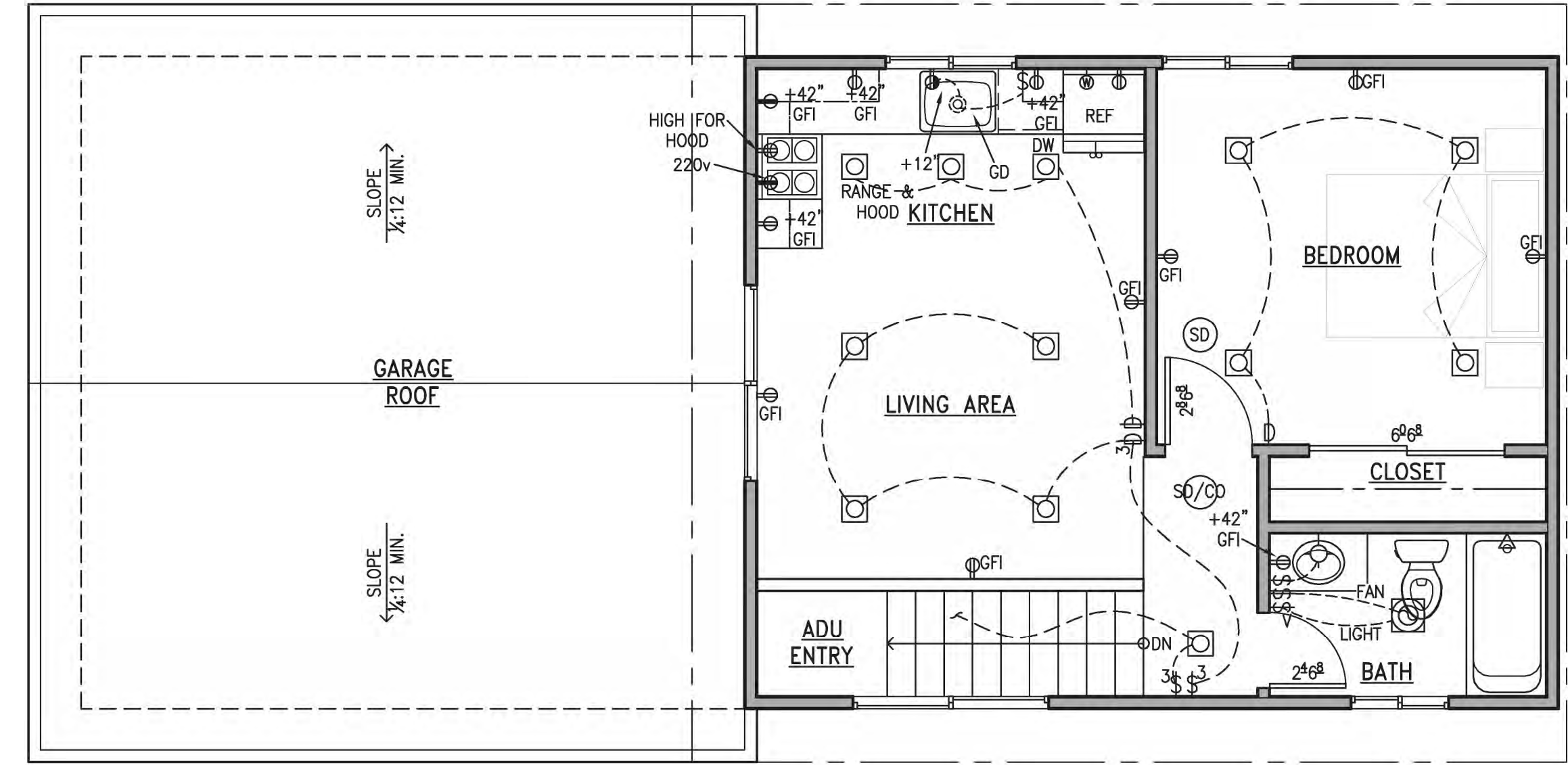


ARCHITECTS
FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA 94901
 Phone: (415) 457-0220 Fax: (415) 454-9581
NEW RESIDENCE AND ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 APN: 002-062-03
 FOR: COBY FRIEDMAN

UPPER LEVEL LIGHTING & ELECTRICAL PLAN
ADU & GARAGE LIGHTING & ELECTRICAL PLANS
 03-17-2022
 04-06-2022
 06-23-2022
 Date: 06-20-2022
 Scale: As Noted
 Drawn: LSK
 Job #: 19049.00
 Prototype: DIVINE
A2.4



1 UPPER LEVEL ELECTRICAL & LIGHTING PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



2 ADU ELECTRICAL & LIGHTING PLAN
 SCALE: 1/4" = 1'-0"
 NORTH

Electrical Requirements for Elevator Machinery Space (by G.C./Owner/Other) LLT & LLH

By General Contractor/Owner

1. Main Power - 10/3 with Ground (min. 6") Pigtail connected to house 30 Amp dedicated circuit.
2. Cab Light Power - 1/2" with Ground (min. 6") Pigtail connected to house 20 Amp dedicated circuit.
3. One (1) GFI Outlet.
4. One (1) Light Fixture (with protective cover over bulb) with wall switch.
5. One (1) Live Land Based Phone Line with pigtail (10'-0" Min.) per code.

PLEASE BE ADVISED THAT POWER ON THE 240 VAC LINE MUST BE A 10-3 WIRE WITH A GROUND AND INSURE THERE IS A DEDICATED NEUTRAL TO THE UNIT.
 Explanation: The 240 VAC feed should have a black, red, white and ground wire coming to the machine room. All electrical contractors will have full knowledge of this requirement. Simply insure they are aware of the requirements. Black and red are powered with 120 VAC, each totaling 240 VAC. White is neutral. Ground to ground standard. Also, standard telephone line should be pulled to machine room with approximately ten feet extra length inside machine room. If further explanation or clarification is needed, please contact your local sales representative.

RESIDENTIAL ELEVATORS
 Elevating Your Standard of Living
 ResidentialElevators.com
 800.832.2004

Elevator Electrical Requirements

Traction Application

Hydraulic Application

THE INFORMATION CONTAINED HEREIN IS SOLELY OWNED BY RESIDENTIAL ELEVATORS. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT WRITTEN PERMISSION FROM RESIDENTIAL ELEVATORS IS STRICTLY PROHIBITED.

RESIDENTIAL ELEVATORS
 Elevating Your Standard of Living
 ResidentialElevators.com
 800.832.2004

HOR HP4 A 15 850#, RH RAIL, FRONT/REAR OPENING, ACCORDION GATE, 15 SQ. FT. LUXURY LIFT LLT TRACTION

STANDARD HOISTWAY PLAN
 NOTE: ALL DIMENSIONS ARE APPROXIMATE

NOTES:

1. MINIMUM HOISTWAY DEPTH TO BE 56-1/2"
2. CAR TO WALL (CTW) DIMENSION IS 2" MIN.
3. HOISTWAY DOORS & FRAMES MUST BE INSTALLED TO COMPLY WITH THE AUTHORITY HAVING JURISDICTION REQUIREMENTS. THESE DIMENSIONS VARY. CONSULT YOUR RESIDENTIAL ELEVATORS SALES REPRESENTATIVE FOR DETAILS PRIOR TO CONSTRUCTION.
4. HOISTWAY DOORS TO BE SOLID CORE (BY OTHERS).
5. CLEAR CAB DIMENSIONS BASED ON A 3/4" FLAT WALL CAB DESIGN.

RESIDENTIAL ELEVATORS
 Elevating Your Standard of Living

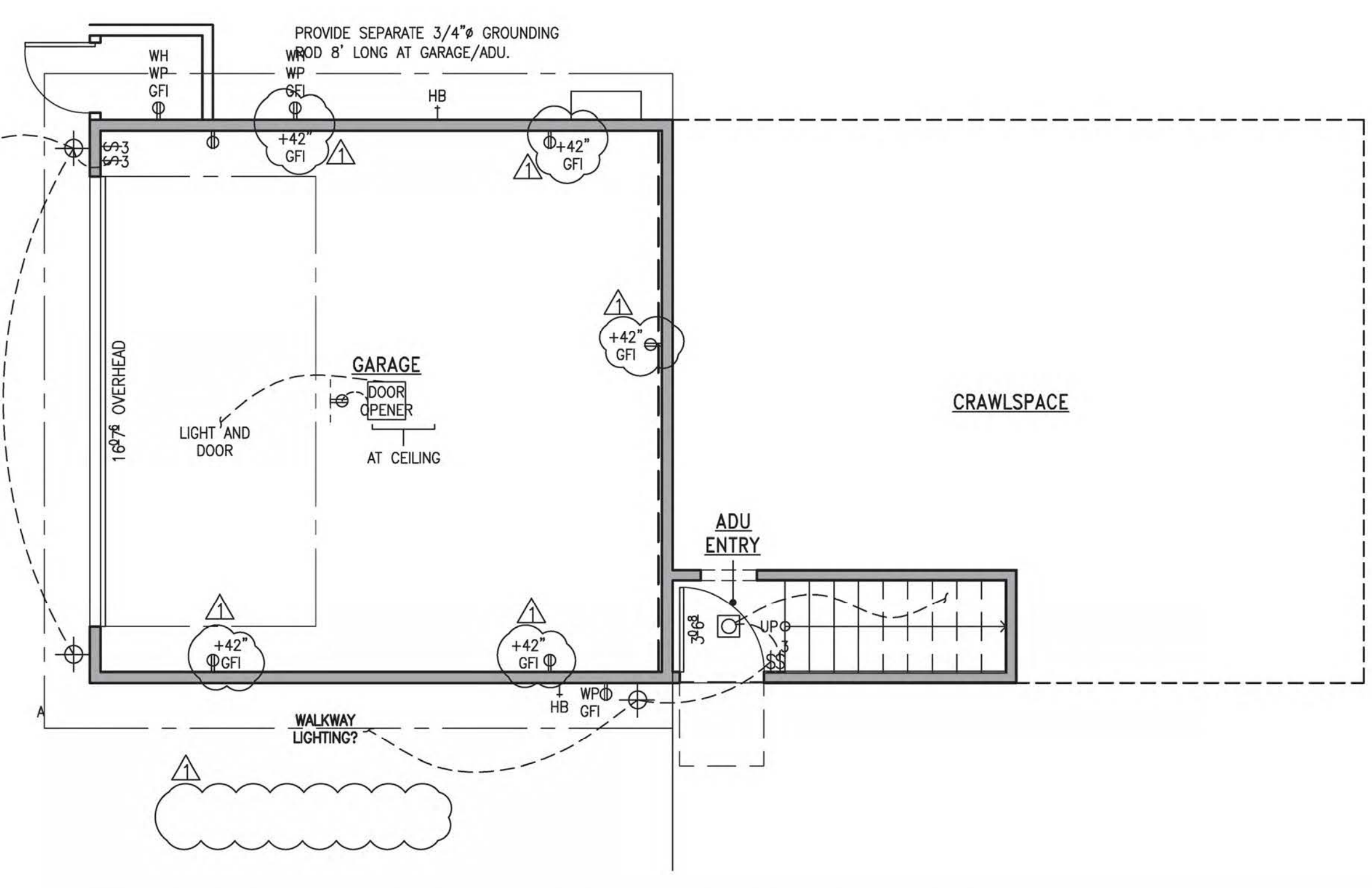
HYD M02 ALTERNATE MACHINE ROOM SPECIFICATIONS LUXURY LIFT LLH HYDRAULIC

ALTERNATE MACHINE ROOM LAYOUT

NOTES:

1. 220 V, 2 POLE, SINGLE PHASE WITH 20 AMP (BY OTHERS) ALSO, PROVIDE 120 V, FUSED DISCONNECT OR 15 AMP CIRCUIT BREAKER FOR CAB LIGHTS (BY OTHERS).
2. PROVIDE A PHONE LINE TO THE ELEVATOR MACHINE ROOM AND INSTALL IN A 4" x 4" BOX WITH COVER (8" x 10" TALL MIN.) (BY OTHERS).
3. LIGHT SWITCH TO BE INSTALLED ADJACENT TO LOCK SIDE OF THE DOOR (BY OTHERS).
4. MACHINE ROOM DOOR TO BE A MINIMUM OF 30" WIDE (BY OTHERS).
5. A GFI RECEPTACLE IS TO BE PROVIDED IN THE ELEVATOR MACHINE ROOM / SPACE (BY OTHERS).
6. 8'-0" MIN. HEADROOM REQ'D FOR ELEVATED PLATFORM/STAIRS.
7. FLOOR MOUNT PUMPING UNIT DIMENSIONS: 22" W x 18-1/2" D x 22-1/2" H

RESIDENTIAL ELEVATORS
 Elevating Your Standard of Living



3 GARAGE ELECTRICAL & LIGHTING PLAN
 SCALE: 1/4" = 1'-0"
 NORTH

D:\Friedman 79 Wood Lane Fairfax\CAD\A2 - Floor Plans.dwg, 6/23/2022, 9:25:05 AM

PROPOSED EXTERIOR FINISH COLORS

- METAL ROOF:**
ASC STRATA RIB "SLATE GREY"
- FASCIA & GUTTER**
TO MATCH BENJAMIN MOORE OC-16 "CEDAR KEY"
- CEMENT BOARD LAP SIDING:**
JAMES HARDIE SIDING PAINTED BENJAMIN MOORE HC-137 "WATERBURY GREEN"
- STUCCO WAINSCOT:**
PAINTED BENJAMIN MOORE OC-16 "CEDAR KEY"
- WINDOWS:**
MARVIN ESSENTIAL FIBERGLASS "EBONY" EXTERIOR COLOR, "STONE WHITE" INTERIOR COLOR
- CEMENT BOARD WINDOW TRIM:**
PAINTED BENJAMIN MOORE OC-16 "CEDAR KEY"
- RAILINGS:**
BLACK METAL

EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT.

TEMPERED GLAZING REQUIREMENTS

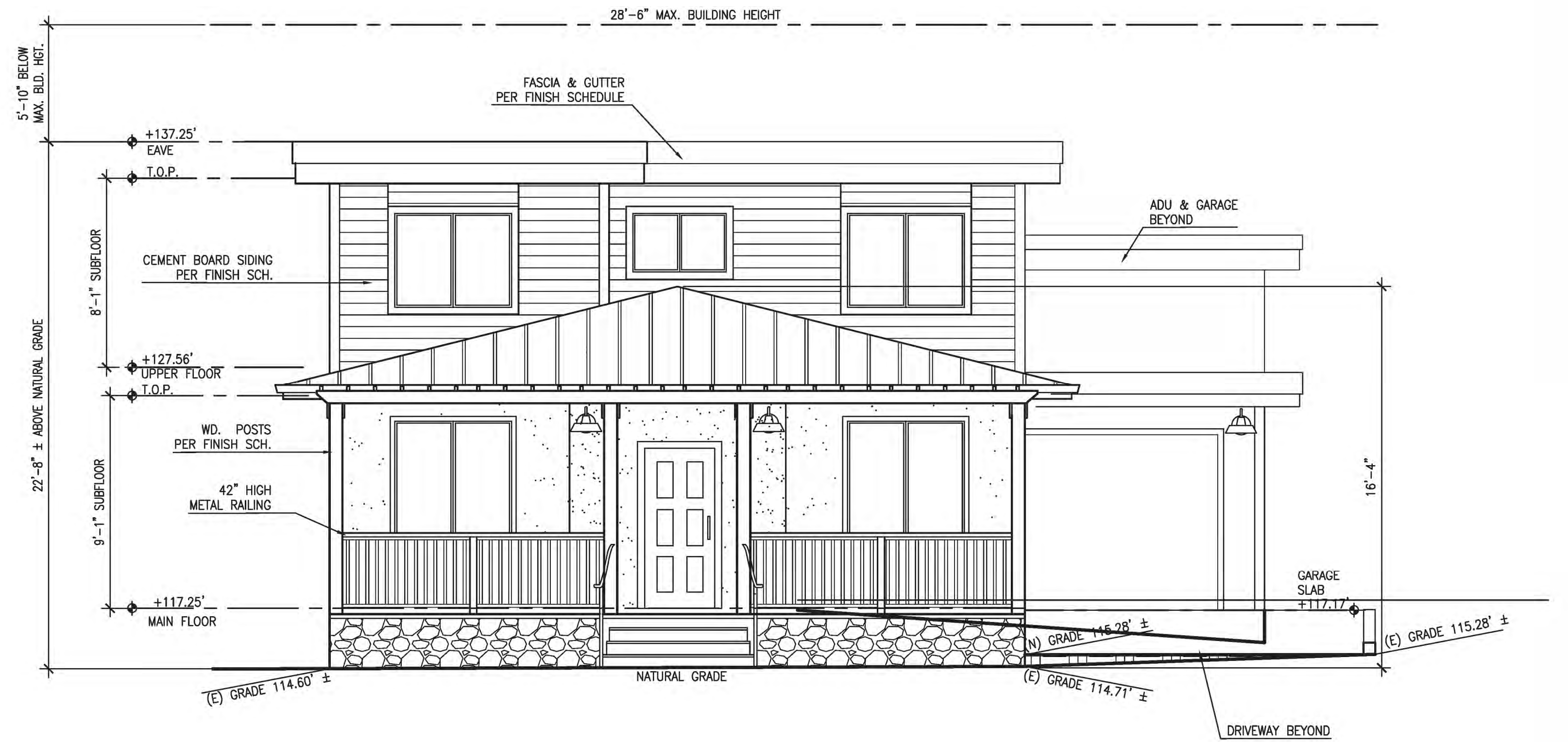
1. IN THE SAME PLANE OF A DOOR IN THE CLOSED POSITION AND WITHIN TWO FEET OF EITHER SIDE OF THE DOOR.
2. GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS.
3. ON A WALL PERPENDICULAR TO THE PLANE OF A DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF IN-SWINGING DOOR.
4. ADJACENT TO A BOTTOM STAIR LANDING WHERE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE LANDING.
5. ADJACENT TO STAIRS OR RAMP WHERE GLAZING IS LOCATED LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
6. WITHIN A PORTION OF WALL ENCLOSING A TUB/SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET.
7. WITHIN 60 INCHES OF A TUB/SHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
8. ANY GLAZING MEETING ALL THE FOLLOWING CONDITIONS:
EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET
EXPOSED BOTTOM EDGE IS LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR
EXPOSED TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FINISHED FLOOR
WHERE A WALKING SURFACE IS WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING

WILDLAND URBAN INTERFACE REQUIREMENTS

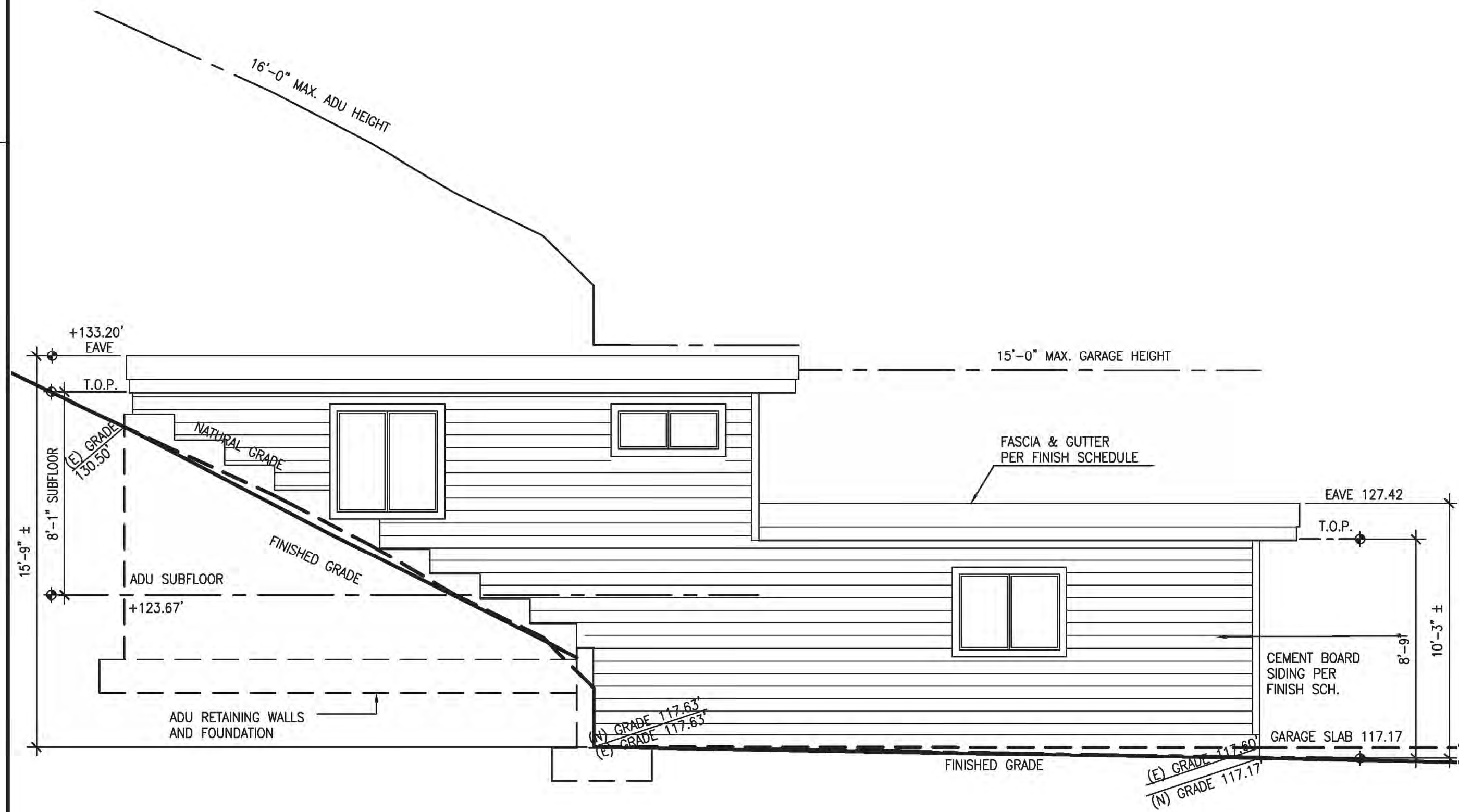
1. EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS IN EXTERIOR DOORS SHALL BE INSULATING GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO FNPA 257.

ENERGY EFFICIENCY REQUIREMENTS

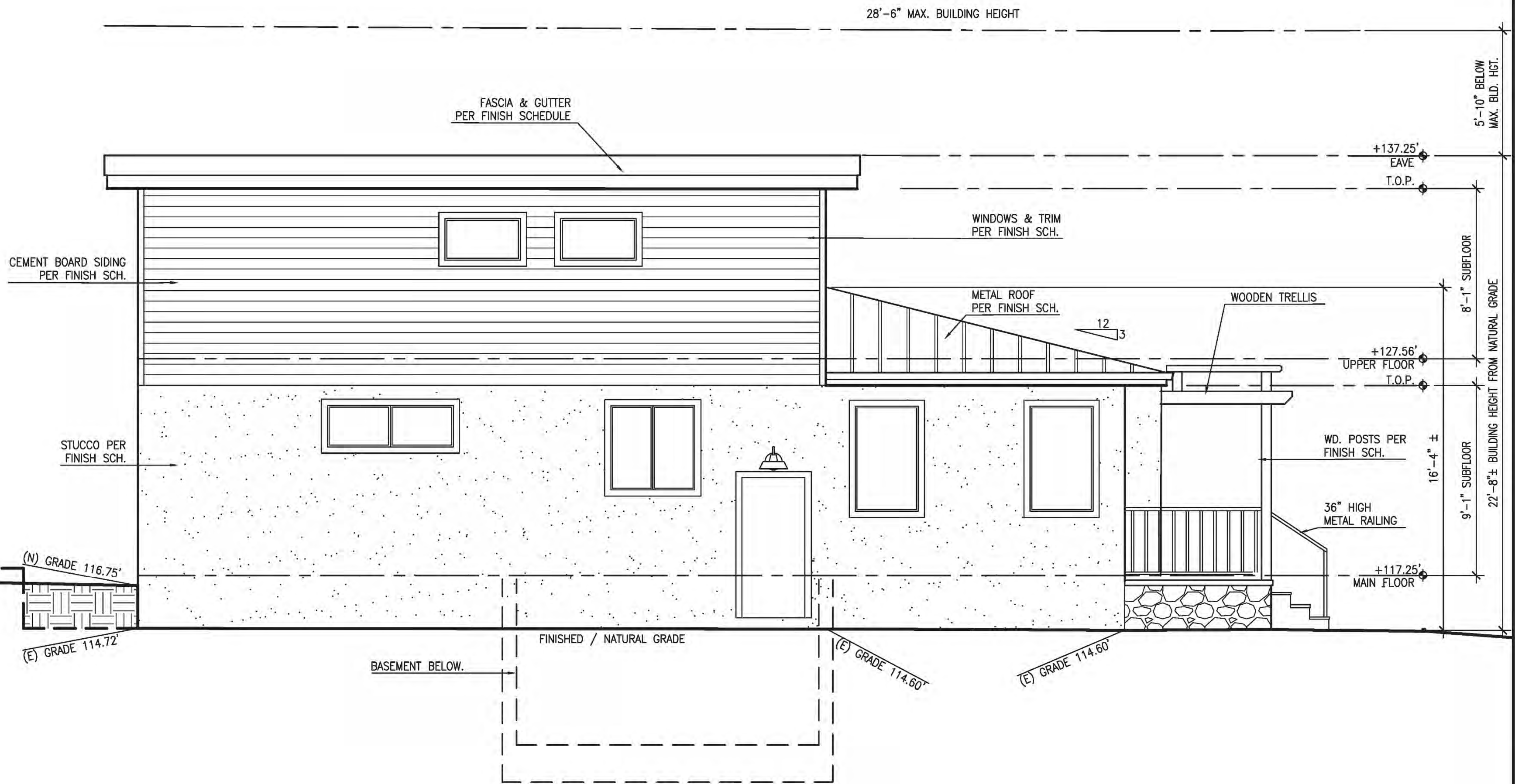
VERTICAL GLAZING SHALL HAVE A U-FACTOR OF 0.32 OR LESS, AND SHGC OF 0.3 OR LESS.



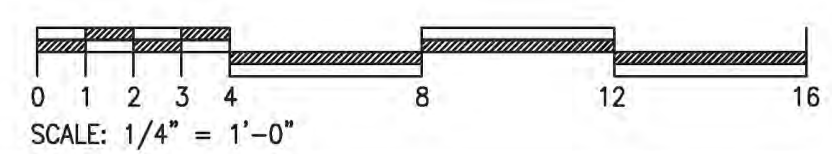
3 RESIDENCE - NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 GARAGE / ADU - EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 RESIDENCE - EAST ELEVATION
SCALE: 1/4" = 1'-0"



ARCHITECTS
FREDRIC C. DIVINE ASSOCIATES
1924 FOURTH ST., SAN RAFAEL, CA 94901
Phone: (415) 457-0220 Fax: (415) 454-9581



NEW RESIDENCE AND ADU
79 WOOD LANE
FAIRFAX, CA 94930
APN: 002-062-03
FOR: COBY FRIEDMAN

EXTERIOR ELEVATIONS

Revisions	Date
PERMIT SUBMITTAL	03-17-2022
REVISED PERMIT SUBMITTAL	04-06-2022
PLAN CHECK COMMENTS	06-23-2022

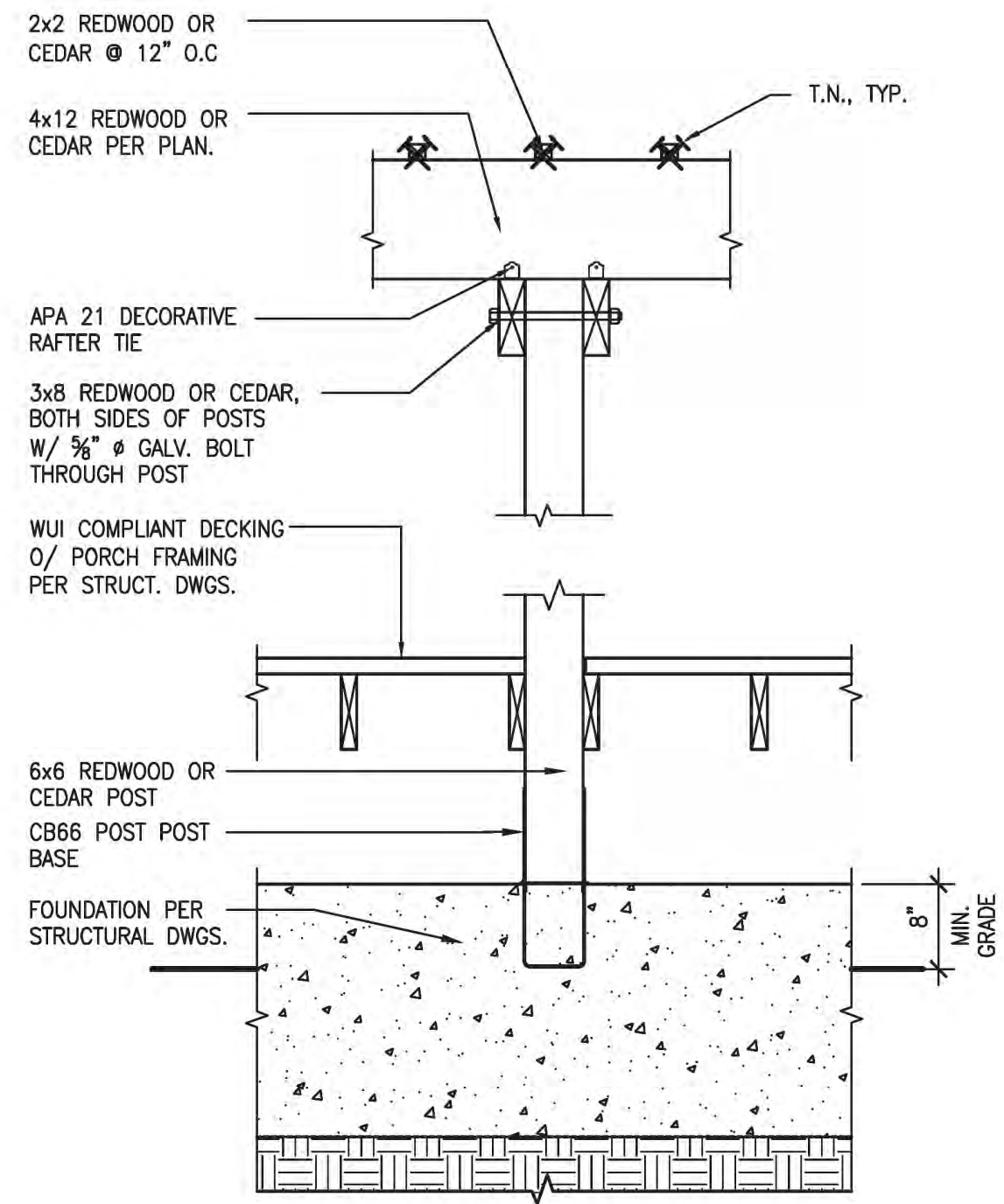
Date: 06-20-2022
Scale: As Noted
Drawn: LSK
Job #: 19049.00
Prototype: DIVINE

A3.1

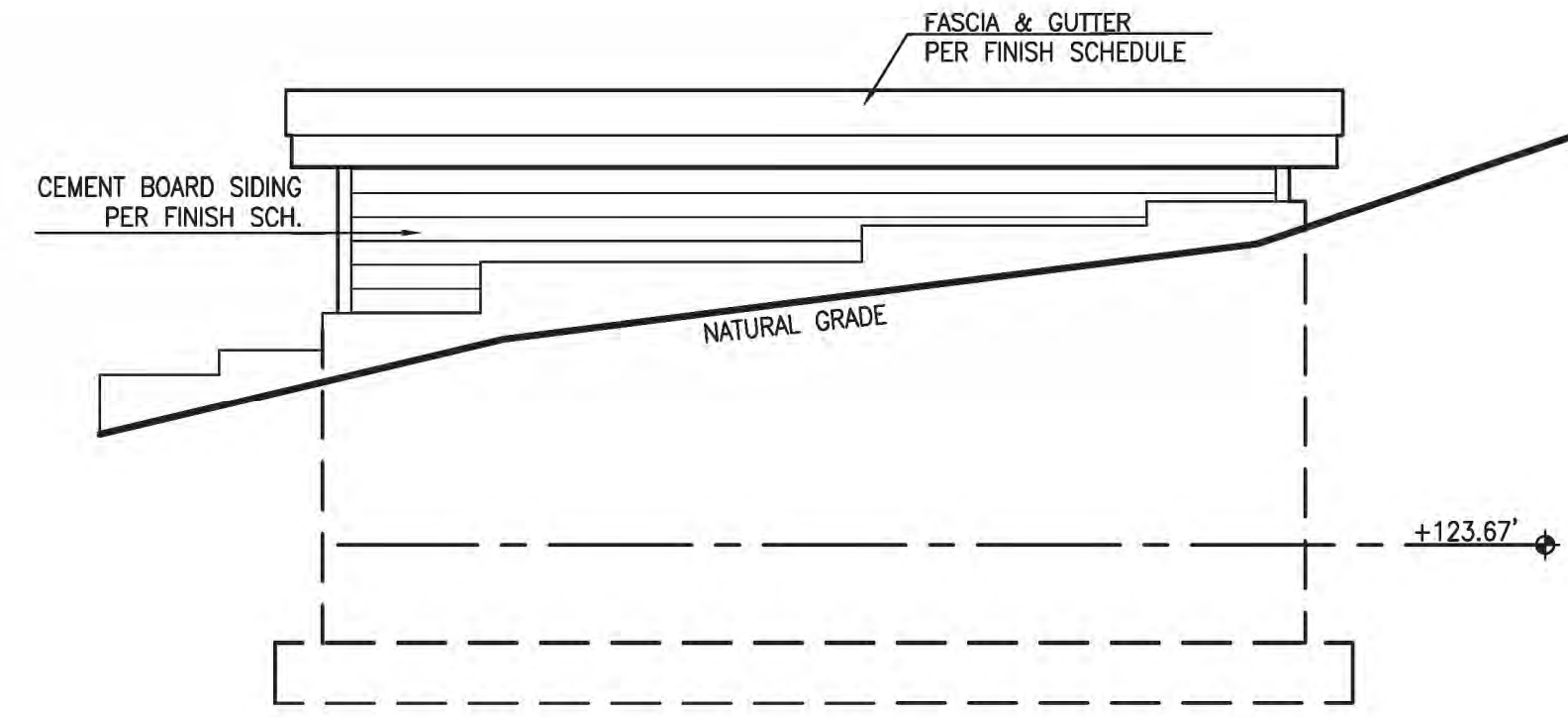




REVIEWED FOR CODE COMPLIANCE
 BY COASTLAND CIVIL ENGINEERING, INC.
 IN ACCORDANCE WITH CBC §107.3.1 AS
 AMENDED BY THE LOCAL AGENCY.



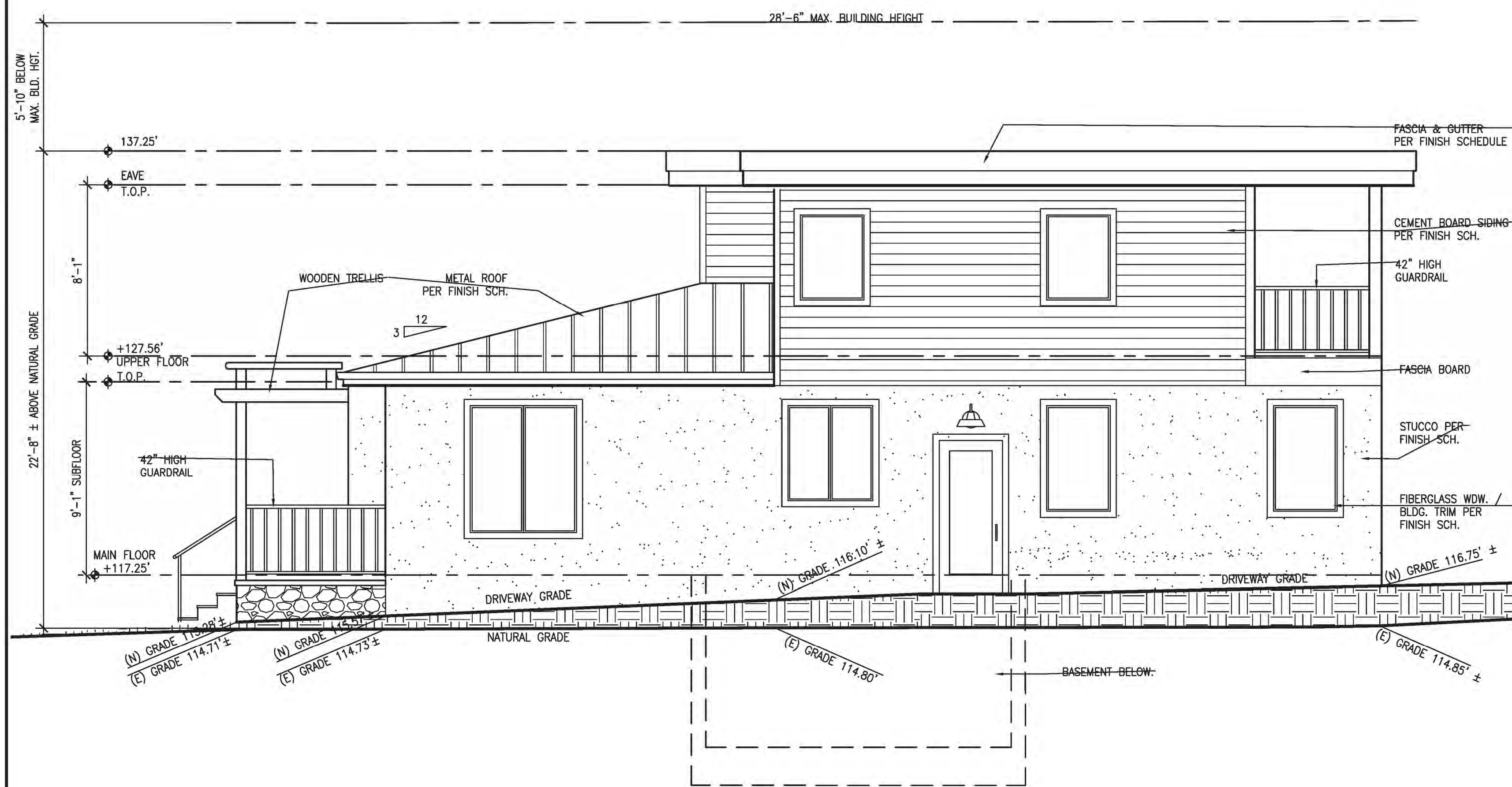
5 TRELLIS DETAIL
 A3.2 SCALE: 3/4" = 1'-0"



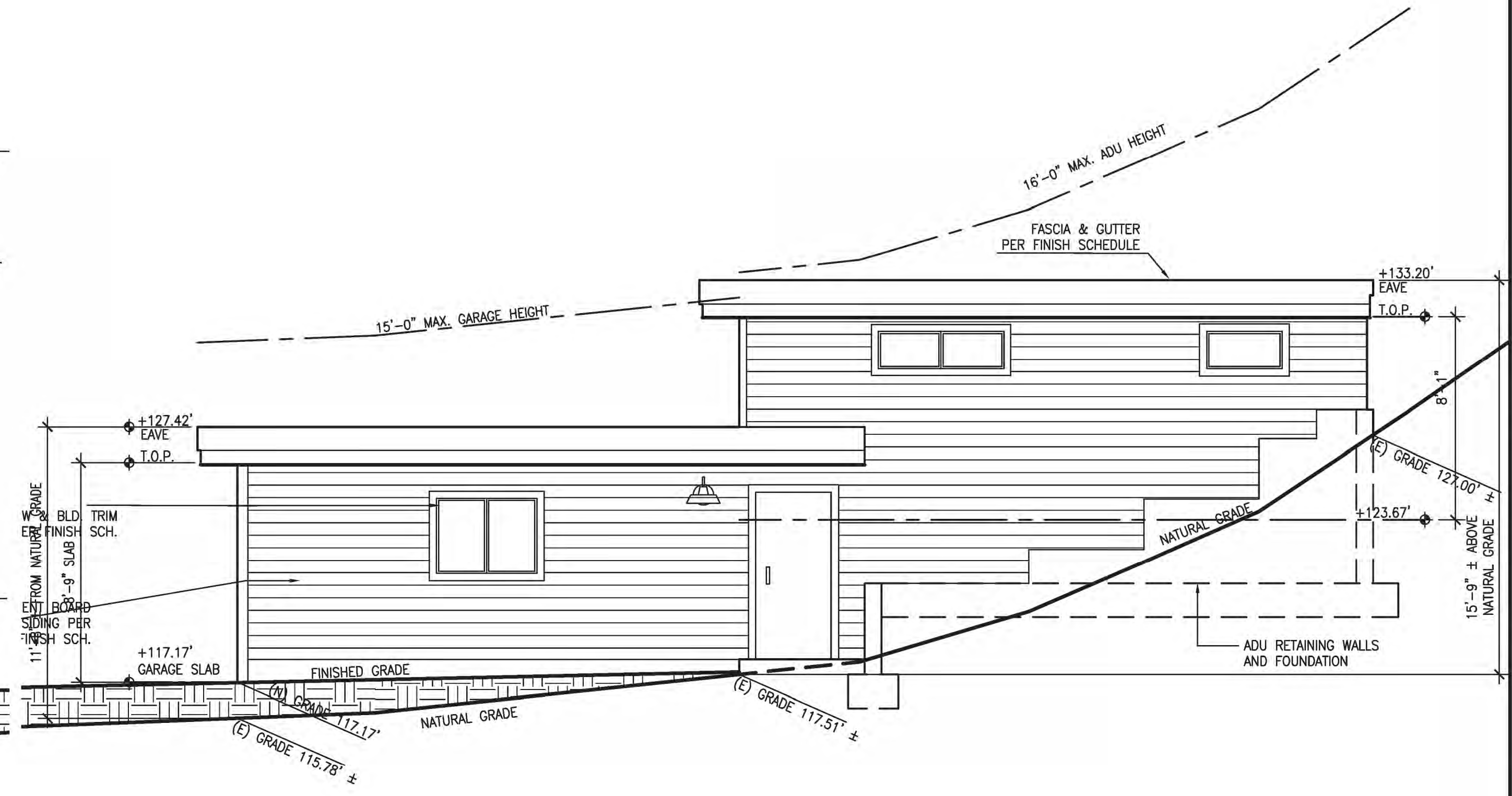
4 GARAGE / ADU - SOUTH ELEVATION
 A3.2 SCALE: 1/4" = 1'-0"



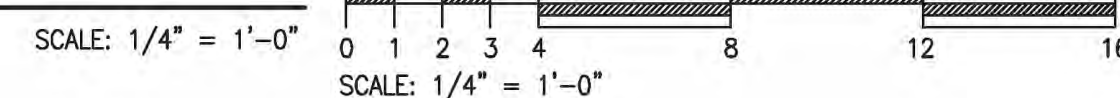
3 RESIDENCE - SOUTH ELEVATION
 A3.2 SCALE: 1/4" = 1'-0"



2 RESIDENCE - WEST ELEVATION
 A3.2 SCALE: 1/4" = 1'-0"



1 GARAGE / ADU - WEST ELEVATION
 A3.2 SCALE: 1/4" = 1'-0"



ARCHITECTS
 FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA 94901
 Phone: (415) 457-0220 Fax: (415) 454-9581



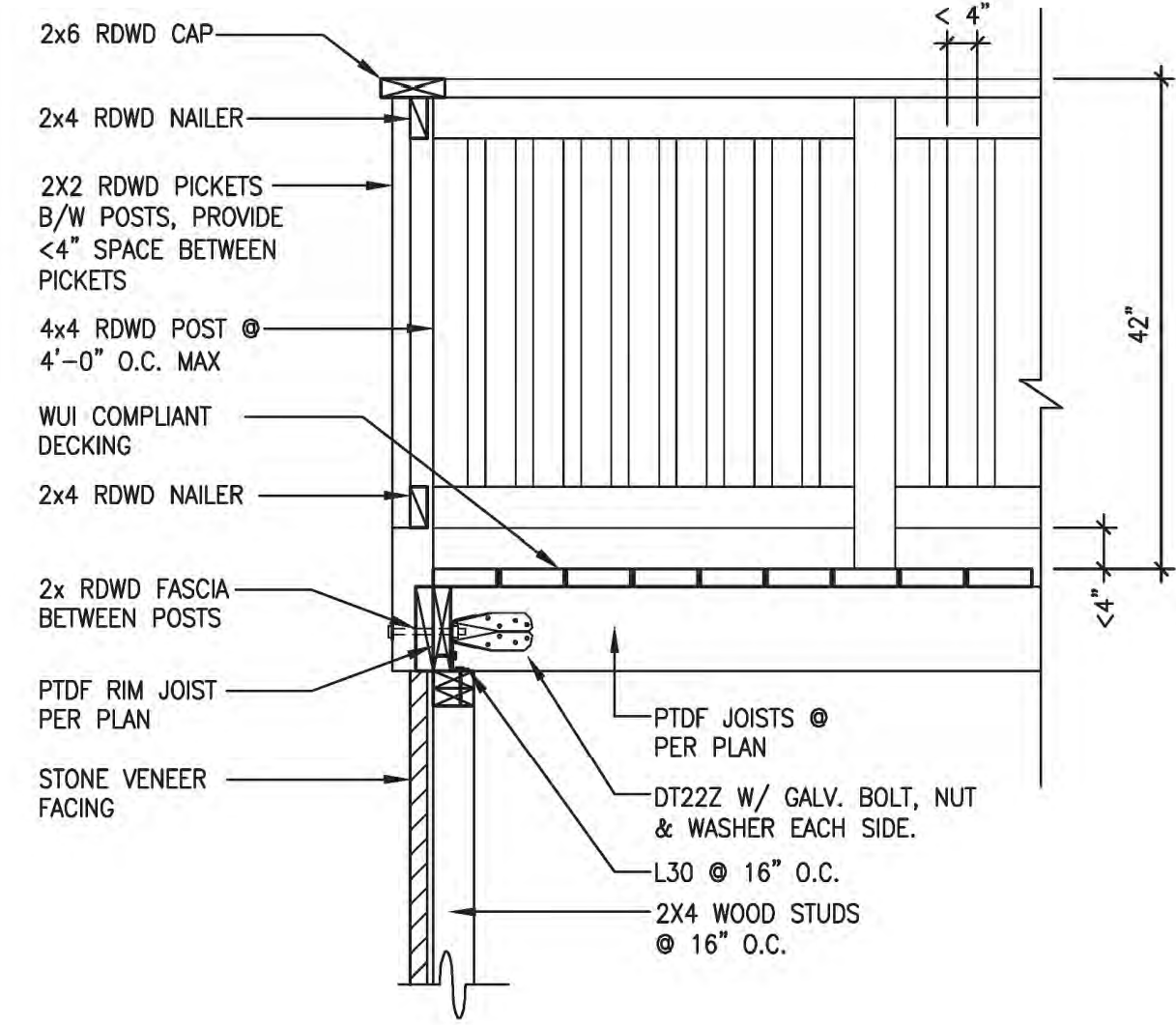
NEW RESIDENCE AND ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 APN: 002-062-03
 FOR: COBY FRIEDMAN

EXTERIOR ELEVATIONS

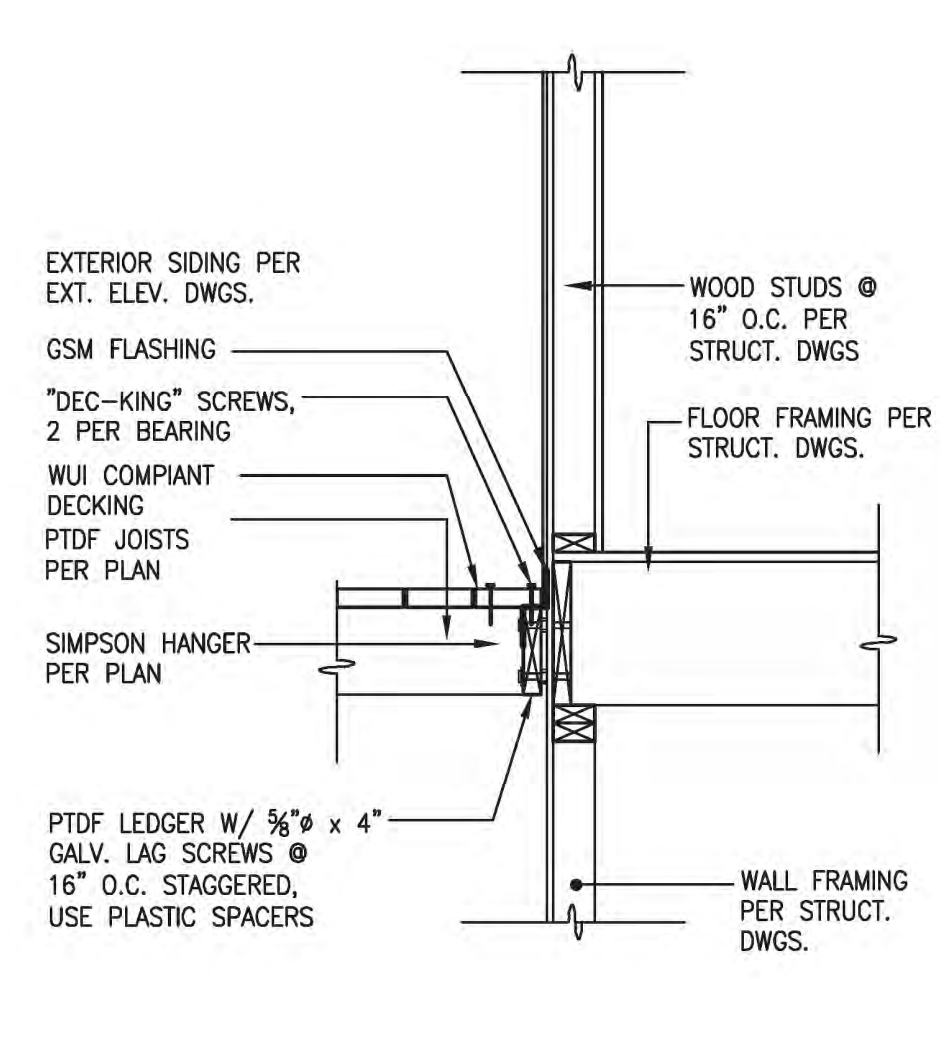
Revisions	Date
PERMIT SUBMITTAL	03-17-2022
REVISED PERMIT SUBMITTAL	04-06-2022
PLAN CHECK COMMENTS	06-23-2022

Date: 06-20-2022
 Scale: As Noted
 Drawn: LSK
 Job #: 19049.00
 Prototype: DIVINE

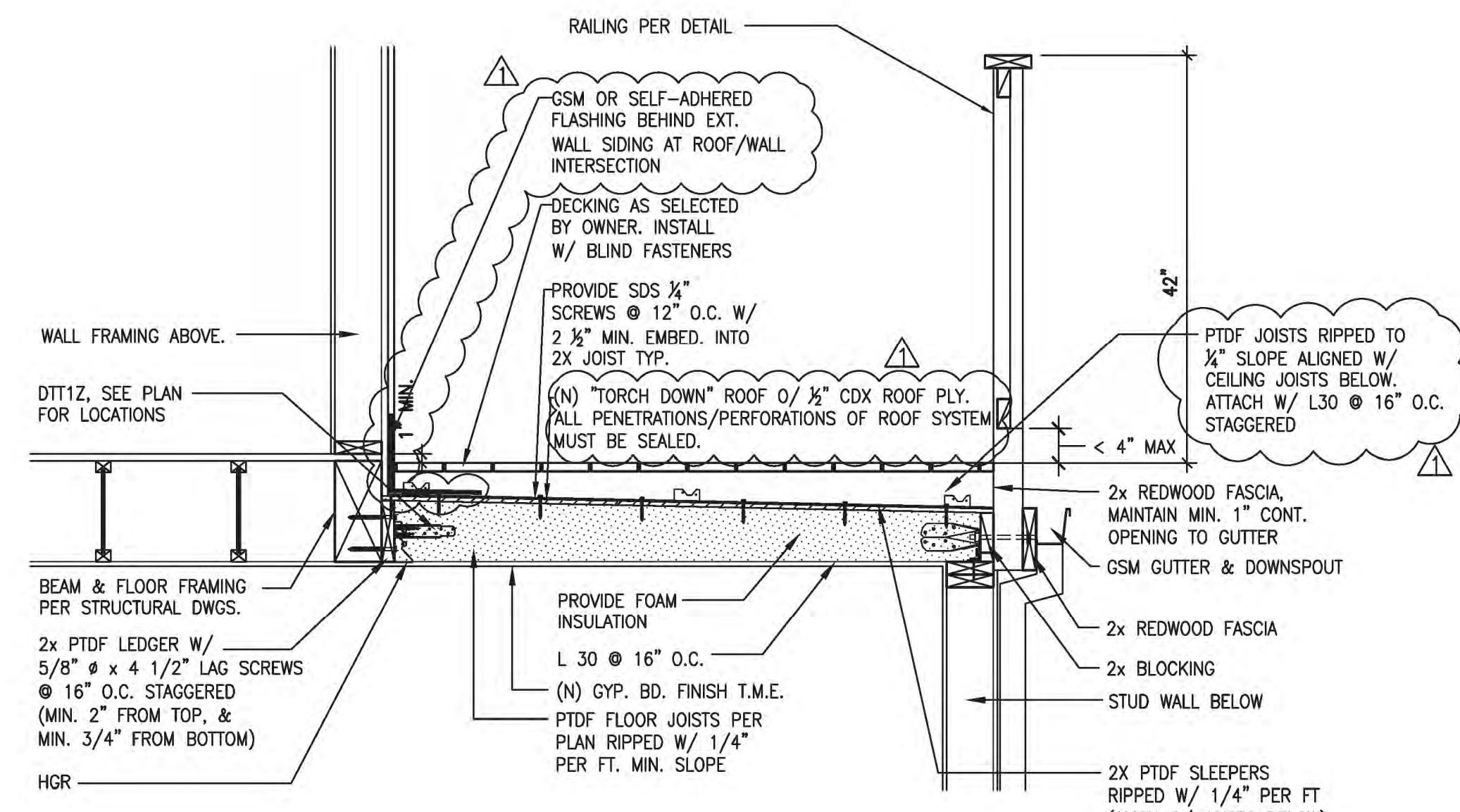
A3.2



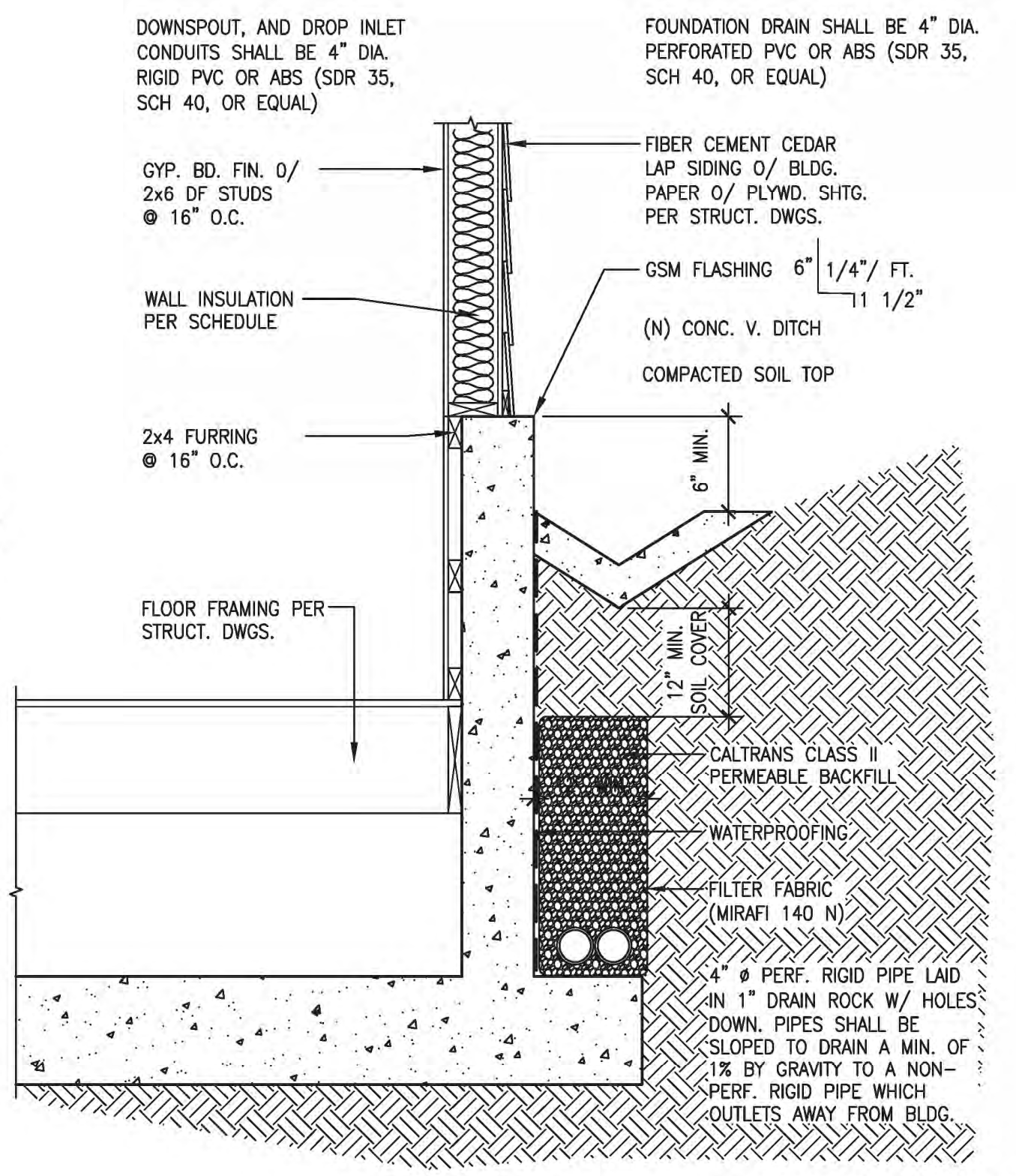
6 RAILING DETAIL
A4.1 SCALE: 3/4" = 1'-0"



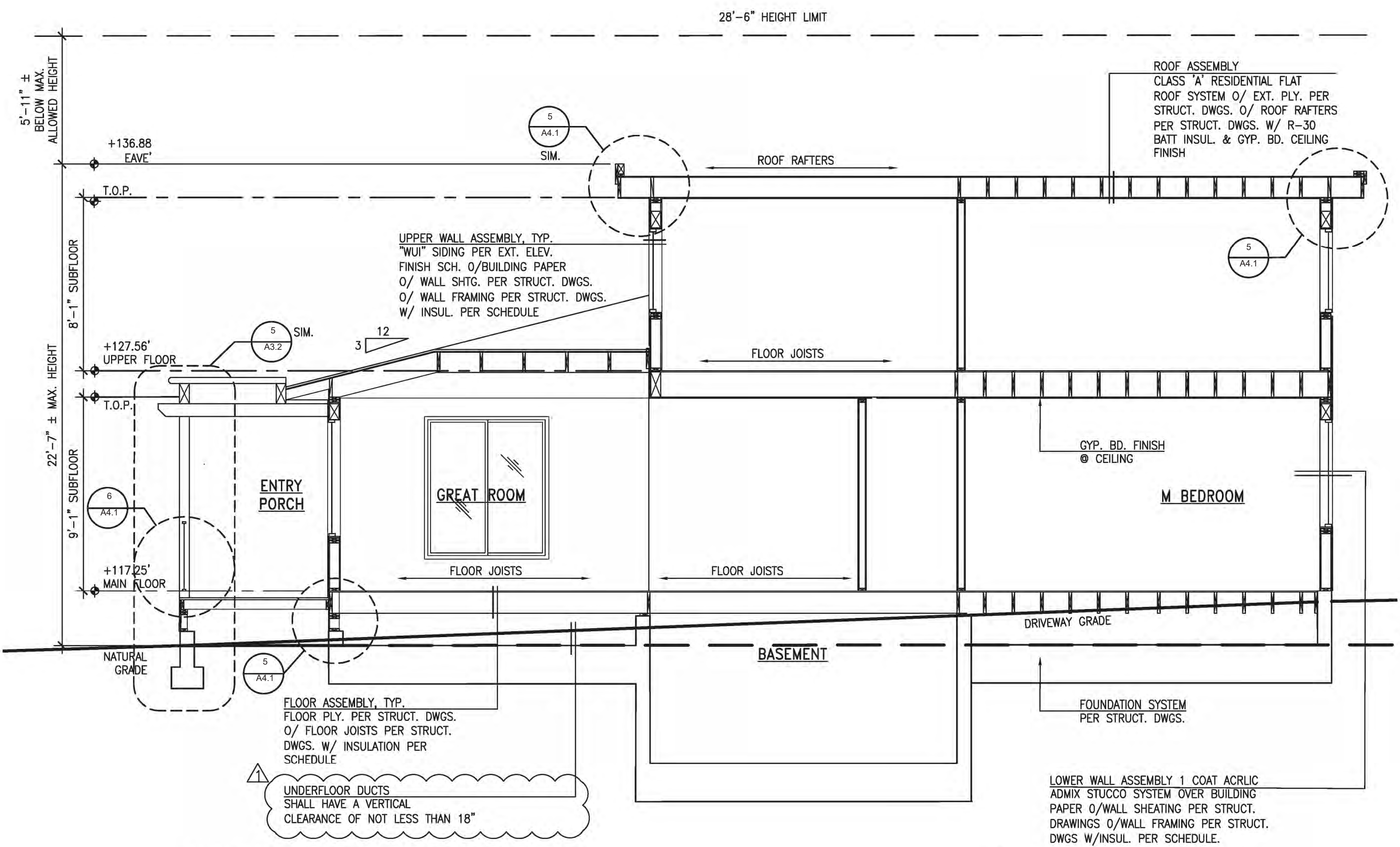
5 LEDGER DETAIL
A4.1 SCALE: 3/4" = 1'-0"



4 ROOF DECK DETAIL
A4.1 SCALE: 3/4" = 1'-0"



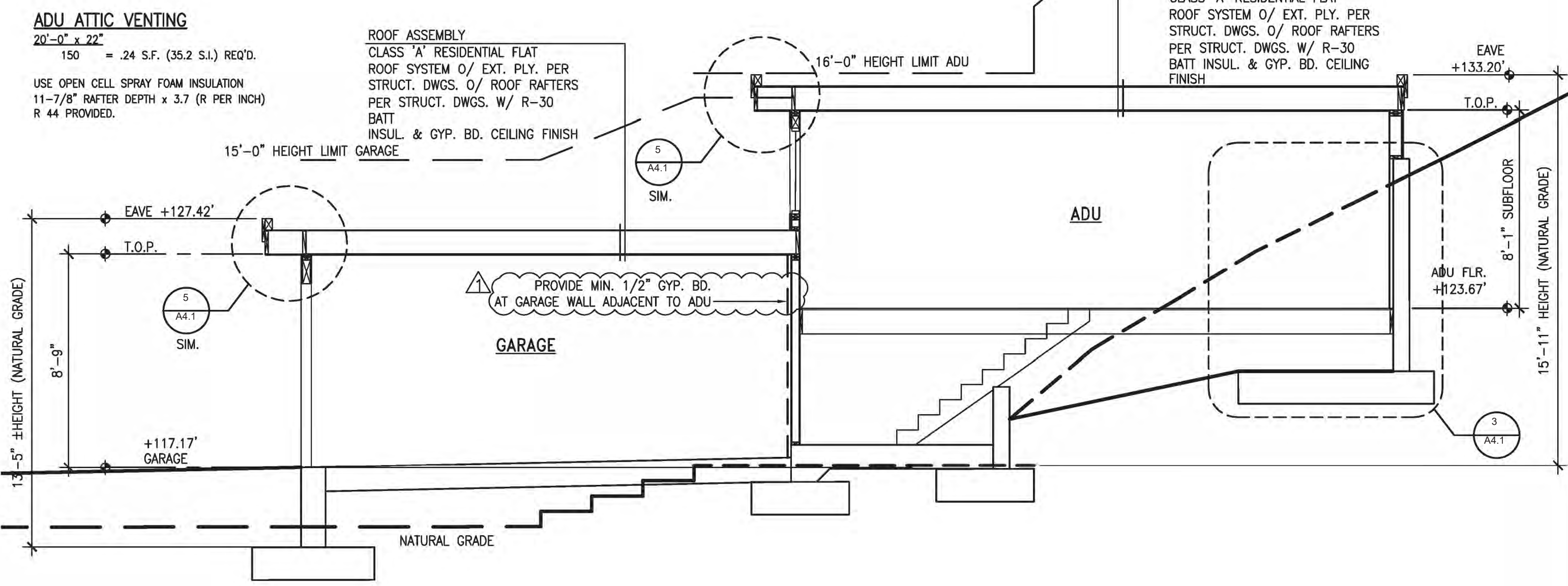
3 RETAINING WALL DETAIL
A4.1 SCALE: 3/4" = 1'-0"



FOUNDATION VENTING
15'-0" x 29'-9"
150 = 2.98 S.F. (478 S.I.) REQ'D.

FOUNDATION VENTING
15'-10" x 29'-9"
150 = 3.14 S.F. (452 S.I.) REQ'D.

2 BUILDING SECTION A-A
A4.1 SCALE: 1/4" = 1'-0"



USE MECHANICAL VENT SYSTEM AT RATE EQUAL TO 1 CFM/MIN FOR EACH 50 S.F. OF CRAWL SPACE AREA, TYPICAL.

FOUNDATION VENTING
12'-4" x 20'-0"
150 = 1.64 S.F. (237 S.I.) REQ'D.

1 GARAGE/ADU SECTION A-A
A4.1 SCALE: 1/4" = 1'-0"



ARCHITECTS
 FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA 94901
 Phone: (415) 457-0220 Fax: (415) 454-9581
 LICENSED ARCHITECT
 No. C 25466
 State of California
 EXPIRES 01-31-25
NEW RESIDENCE AND ADU
 79 WOOD LANE
 FAIRFAX, CA 94930
 APN: 002-062-03
 FOR: COBY FRIEDMAN

BUILDING SECTIONS

Revisions	03-17-2022
PERMIT SUBMITTAL	04-06-2022
REVISED PERMIT SUBMITTAL	06-23-2022
PLAN CHECK COMMENTS	

Date: 06-20-2022
 Scale: As Noted
 Drawn: LSK
 Job #: 19049.00
 Prototype: DIVINE

A4.1