ROBERT H. & CHERYL A. RHEIN

FINAL SUBDIVISION PLAN

LOCATED IN

HELLAM TOWNSHIP, YORK COUNTY, PA

BEFORE YOU DIG–DRILL–BLAST
CALL 1–800–242–1776
PA ONE CALL SYSTEM

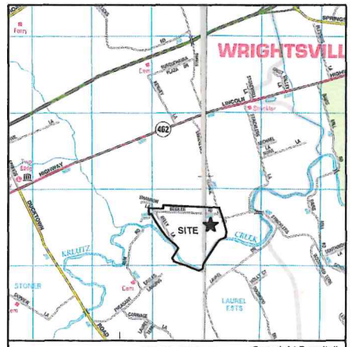
INFORMATION CONCERNING UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR IS RESPONSIBLE TO CONTACT ALL UTILITIES AND/OR HAND EXCAVATE TO DETERMINE THE LOCATION AND DEPTH OF THE UTILITIES PRIOR TO EXCAVATION. THE CONTRACTOR WILL CONTACT THE UNDERGROUND LOCATING SERVICE, TEL. NO. 1–800–242–1776 (PA ONE CALL) FOR THE ACTUAL LOCATION OF THEIR FACILITIES BEFORE ANY WORK IS BEGUN ON THIS PROJECT.

SERIAL # 20230720231

The purpose of this Plan is to subdivide a two (2) acre lot (Lot 2) from the existing parcel (Lot 1) for a Single–Family Detached use.

SHEET LEGEND	
SHEET#	DESCRIPTION
* SHT. 1	TITLE SHEET
* SHT. 2	EXISTING FEATURES SHEET
* SHT. 3	PLAN SHEET
* SHT. 4	RESULTING LOT SHEET

* TO BE RECORDED



KEY MAP
Scale: 1"=2000'

Copyright Permit # 21003212

Lot No.	Address	UPI No.
1	5970 BEIDLER ROAD	31000KL0064B000000
2		

Agricultural Nuisance Disclaimer – All lands within or abutting the Rural Agricultural Zone are located within an area where land is used for commercial agricultural production. Owners, residents and other users of this property may be subject to inconvenience, discomfort and the possibility of injury to property and health arising from normal and accepted agricultural practices and operations including, but not limited to, noise, odors, dust, the operation of machinery of any kind including aircraft, the storage and disposal of manure, the application of fertilizers, soil amendments, herbicides and pesticides. Owners, occupants and users of this property should be prepared to accept such inconveniences, discomfort and possibility of injury from normal agricultural operations, and are hereby put on official notice that Section 4 of the Pennsylvania Act 133 of 1982 "The Right to Farm Law" may bar them from obtaining a legal judgment against such normal agricultural operations.

As of the date of this deed/plot plan recording, the residual tract of this subdivision is dedicated for the express purpose of residential/agricultural use. No portion of the residual tract of this subdivision has been approved by the municipality or the approving agency for the installation of any sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system (except for repairs to existing systems) unless the municipality and approving agency have approved any required sewage facilities planning for the residual tract of the subdivision described herein in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this residual tract should contact Hellam Township (Municipality), which is charged with administering the Sewage Facilities Act to determine what type of sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals.

WAIVER REQUESTS

A Waiver of the following Sections of the Hellam Township Subdivision and Land Development Ordinance have been requested:

1. Section 430–17.C.(1)(a.)[8] – Location of all lands containing living tree masses with a caliper of six inches or more at a height of four feet above grade.
   Granted on ____/____/____.
2. Section 430–33.C.(a.)[3] – Improvements to Beidler Road and Stricklers School Road to a 12–foot paved travel lane and 6–foot paved shoulder with curbing.
   Granted on ____/____/____.
3. Section 430–48.B – Street Trees
   Granted on ____/____/____.

MODIFICATION REQUESTS

1. Modification of Section 306.I.10 (Appendix C) – To perform second infiltration test at the time of construction.
   Granted on ____/____/____.

FINAL PLAN APPROVAL STATEMENT

At a meeting on _____, 20____, the Board of Supervisors of the Township of Hellam approved this project, based upon its conformity with the standards of the Hellam Township Subdivision and Land Development Ordinance, and all conditions of approval have been met. This approval includes the complete set of plans/reports which are filed with the township and available for public review.

HELLAM TOWNSHIP BOARD OF SUPERVISORS

_____
Chairman of Designee

ATTEST: _____
HELLAM TOWNSHIP SECRETARY

PLANNING COMMISSION REVIEW STATEMENT

At a meeting on _____, 2023 the Hellam Township Planning Commission reviewed this plan.

_____ Chair or Designee

TOWNSHIP ENGINEER'S REVIEW STATEMENT

The Hellam Township Engineer reviewed this plan on _____, 2023.

_____
Hellam Township Engineer

Reviewed by the York County Planning Commission

Date: _____

_____

Approved by the Owner(s).

Date: _____

_____
Robert H. Rhein (Owner)

_____
Cheryl A. Rhein (Owner)

Owner(s) Address:
5970 Beidler Road
York, PA 17406

COMMONWEALTH OF PENNSYLVANIA:
COUNTY OF YORK:

On this, the _____ day of _____, 20____, before me, the undersigned officer, personally appeared Robert H. & Cheryl A. Rhein, who acknowledged themselves to be the owner(s) of the property on this plan, and that they as such are authorized to execute said plan, that all necessary approvals of the plan have been obtained and are endorsed hereon, and further acknowledges that all streets and other property identified as proposed public property (excepting those areas labeled "NOT FOR DEDICATION") are hereby dedicated to the public use.

_____
NOTARY PUBLIC

Recorded in the office for Recording Deeds, in and for York County, Pennsylvania, in Book _____, Page _____.
Witness by hand and seal of office this, the _____ day of _____, A.D., 20____.

STATEMENT OF ACCURACY

I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Hellam Township Subdivision and Land Development Ordinance. The error of closure is no greater than one foot (1') in ten thousand feet (10,000').

_____
William J. Davis, P.L.S. Registration No. SU043939E
(Agent for Gordon L. Brown & Associates, Inc.)

Date: _____, 2023

COMMONWEALTH OF PENNSYLVANIA REGISTERED PROFESSIONAL WILLIAM J. DAVIS LAND SURVEYOR NO. SU043939E

GENERAL PLAN / REPORT DATA

I hereby certify that, to the best of my knowledge, the subdivision plan shown and described hereon is true and correct to the accuracy required by the Hellam Township Subdivision and Land Development Ordinance.

_____
William J. Davis, P.L.S. Registration No. SU043939E
(Agent for Gordon L. Brown & Associates, Inc.)

Date: _____, 2023

COMMONWEALTH OF PENNSYLVANIA REGISTERED PROFESSIONAL WILLIAM J. DAVIS LAND SURVEYOR NO. SU043939E

NO.	DATE	DESCRIPTION
2.	6/22/23	Revised per Township Engineer's comments
1.	5/17/23	Revised per SEO comments

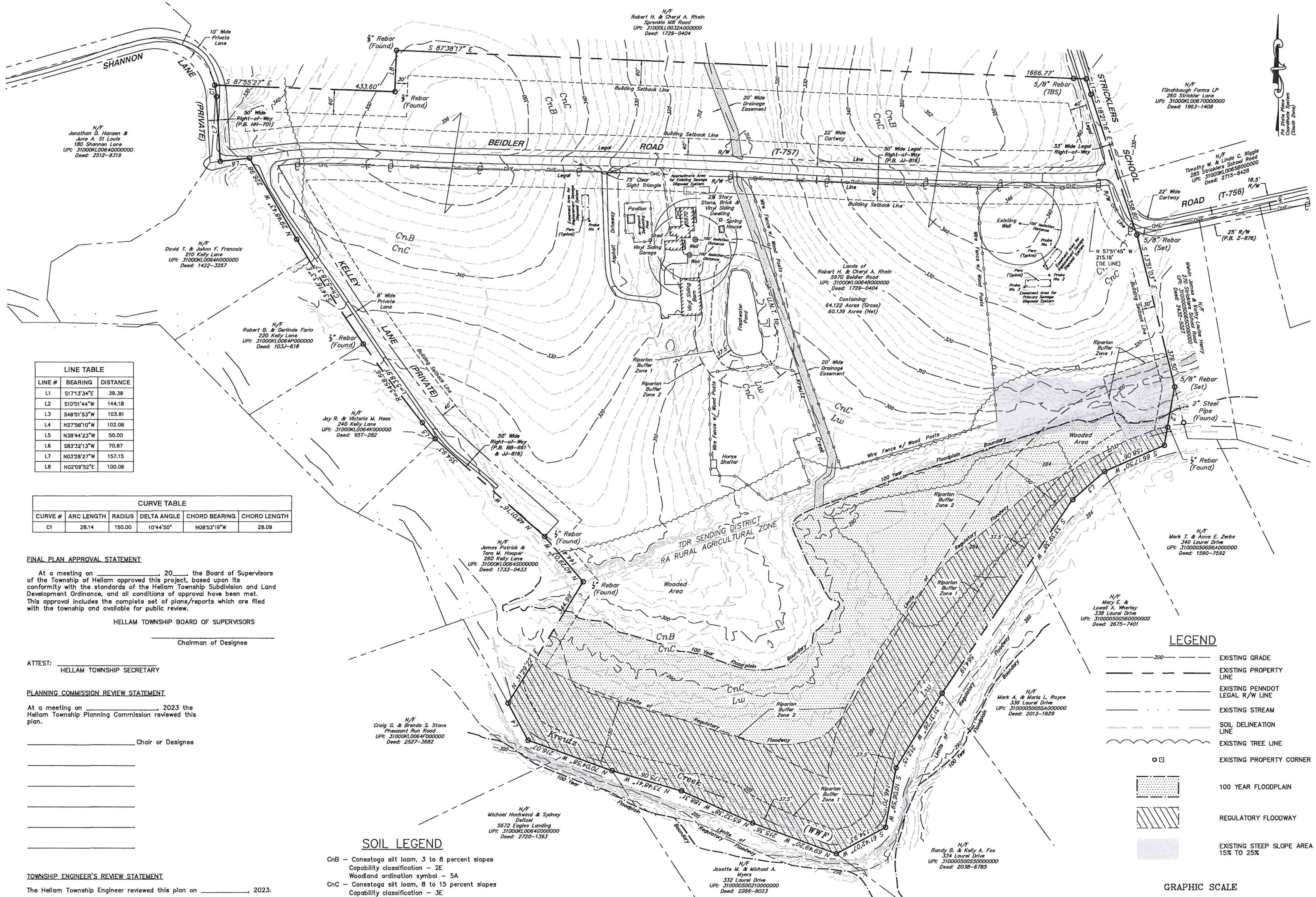
Gordon L. Brown & Associates, Inc.
Civil Engineers & Surveyors
2238 South Queen Street
York, PA 17402–4631
(717) 741–4621
GLB&A

ROBERT H. & CHERYL A. RHEIN
(5970 BEIDLER ROAD)
Hellam Township
York County, Pennsylvania

TITLE SHEET

FINAL SUBDIVISION PLAN

DRAWN BY	J.S.H./S.J.S.
CHECKED BY	
SCALE	AS NOTED
DATE	04/03/23
DWG. NO.	L–6107
FILE NO.	37.23.17538
SHEET	1 OF 4



LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S17°13'34"E	39.39
L2	S10°01'44"W	144.18
L3	S48°51'53"W	103.81
L4	N27°58'10"W	102.06
L5	N38°44'23"W	50.00
L6	S83°32'13"W	70.87
L7	N03°28'27"W	157.15
L8	N02°09'52"E	100.06

CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	28.14	150.00	10°44'50"	N08°53'19"W	28.09

FINAL PLAN APPROVAL STATEMENT

At a meeting on ________________, 20____, the Board of Supervisors of the Township of Hellam approved this project, based upon its conformity with the standards of the Hellam Township Subdivision and Land Development Ordinance, and all conditions of approval have been met. This approval includes the complete set of plans/reports which are filed with the township and available for public review.

HELLAM TOWNSHIP BOARD OF SUPERVISORS

____
Chairman of Designee

ATTEST: ________________________
HELLAM TOWNSHIP SECRETARY

PLANNING COMMISSION REVIEW STATEMENT

At a meeting on _________________, 2023 the Hellam Township Planning Commission reviewed this plan.

__________________________ Chair or Designee

____

____

____

____

____

TOWNSHIP ENGINEER'S REVIEW STATEMENT

The Hellam Township Engineer reviewed this plan on ___________, 2023.

____
Hellam Township Engineer

SOIL LEGEND

CnB – Conestoga silt loam, 3 to 8 percent slopes
Capability classification – 2E
Woodland ordination symbol – 5A

CnC – Conestoga silt loam, 8 to 15 percent slopes
Capability classification – 3E
Woodland ordination symbol – 5A

Lw – Lindside silt loam
Capability classification – 2W
Woodland ordination symbol) – 5A

LEGEND

- EXISTING GRADE
- EXISTING PROPERTY LINE
- EXISTING PENNDOT LEGAL R/W LINE
- EXISTING STREAM
- SOIL DELINEATION LINE
- EXISTING TREE LINE
- EXISTING PROPERTY CORNER
- 100 YEAR FLOODPLAIN
- REGULATORY FLOODWAY
- EXISTING STEEP SLOPE AREA 15% TO 25%

GRAPHIC SCALE

(IN FEET)
1 inch = 100 ft.

NO.	DATE	DESCRIPTION
2.	6/22/23	Revised per Township Engineer's comments
1.	5/17/23	Revised per SEO comments

COMMONWEALTH OF PENNSYLVANIA — REGISTERED PROFESSIONAL LAND SURVEYOR — WILLIAM J. DAVIS

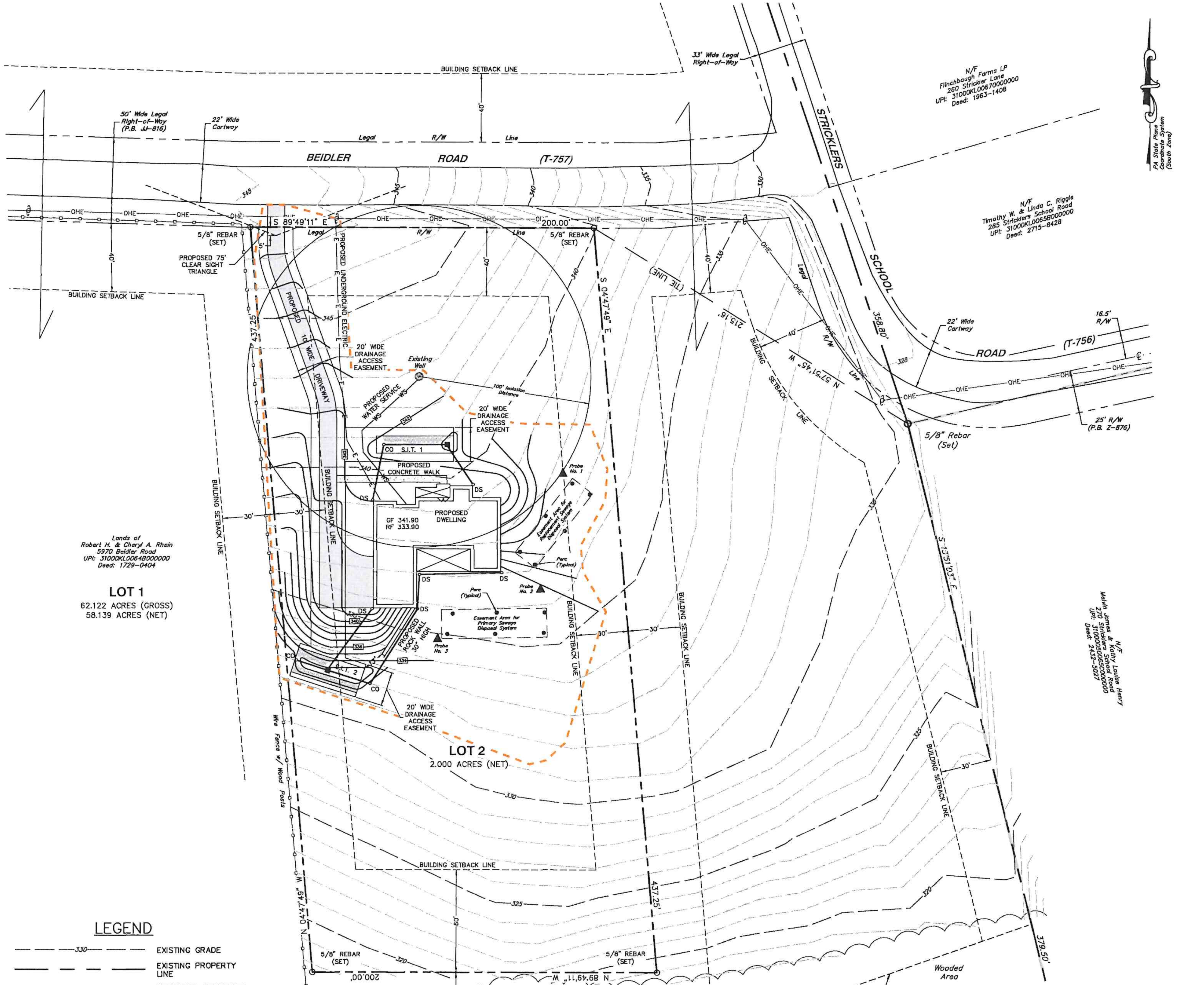
Gordon L. Brown & Associates, Inc.
Civil Engineers & Surveyors
2238 South Queen Street
York, PA 17402-4631
(717) 741-4621
GLB&A

ROBERT H. & CHERYL A. RHEIN
(5970 BEIDLER ROAD)

EXISTING FEATURES SHEET
Hellam Township — York County, Pennsylvania

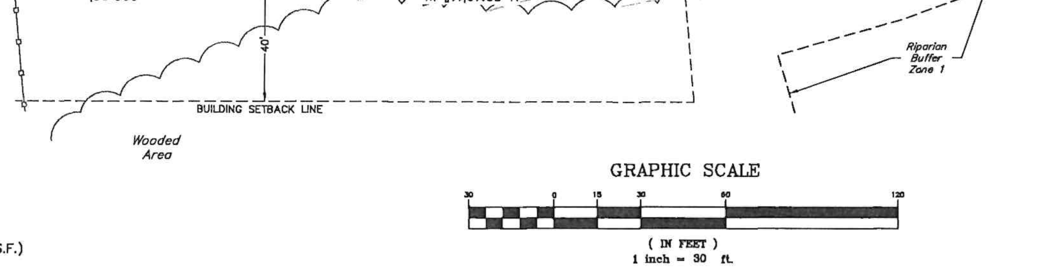
FINAL SUBDIVISION PLAN

DRAWN BY	J.S.H./S.J.S.
CHECKED BY	
SCALE	1" = 100'
DATE	04/03/23
DWG. NO.	L-6107
FILE NO.	37.23.17538
SHEET	2 OF 4



LEGEND

- EXISTING GRADE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING PENNDOT LEGAL R/W LINE
- EXISTING TREE LINE
- ○ ☐ EXISTING PROPERTY CORNER
- ○ PROPOSED PROPERTY CORNER
- ● EXISTING WELL
- LIMITS OF DISTURBANCE (39,597 S.F.)



NOTES & SITE DATA

1. Zone: RA Rural Agricultural/TDR Sending District
2. Total Area: 64.122 Acres (Gross); 60.139 Acres (Net)
3. UPI No: 31000KL0064B000000
4. Deed of Record: 1729-0404
5. Total No. of Lots: 2
6. Proposed Use: Single-family detached dwelling
7. Lot 1 is served by an existing on-lot sewage disposal system and well. Lot 2 shall be served by an on-lot sewage disposal system and well.
8. Minimum Lot Width Required: 110 Feet (at street R/W line) 200 Feet (at building setback)
9. Minimum Lot Area Required: 2 Acres
   Maximum Lot Area Permitted: 2.5 Acres
   Minimum Lot Area Proposed: 2.000 Acres (Lot 2) 58.139 Acres (Lot 1)
10. Maximum Impervious Lot Coverage Permitted: 15 Percent
    Proposed Lot Coverage: Lot 1 – ±1%
    Lot 2 – 8.3% (7,210 Sq. Ft.)
11. Maximum Building Height Permitted: 35 Feet
12. Building Setbacks:
    All Uses: Front – 40 Feet, Side – 30 Feet, Rear – 60 Feet
    Accessory Buildings & Structures: Front – 100 Feet, Side – 20 Feet, Rear – 20 Feet
13. All improvements as shown on Lot 1 are existing.
14. Topography as shown on Sheet 2 of 3 was obtained from the Pennsylvania Spatial Data Access (PASDA) website's Light Detection and Ranging (LiDAR) Resource. Contours as shown for Lot 2 on Sheet 3 of 3 were plotted from actual field measurements taken by Gordon L. Brown & Associates, Inc. on March 7, 2023 (Contour Datum NAVD88).
15. 5/8" rebars shall be set at all lot corners in accordance with the Hellam Township Subdivision and Land Development Ordinance upon approval of the plan.
16. Agricultural Setback Requirement – On any separate non-farm parcel, no shrub shall be planted, and no accessory residential structures or fences shall be placed within ten feet (10') of any land used for agricultural purposes. Similarly, no tree shall be planted within thirty feet (30') of any land used for agricultural purposes.
17. As of April 3, 2023, and according to the U.S. Fish and Wildlife Service – National Wetlands Inventory Map website, Kreutz Creek and the Unnamed Tributary to Kreutz Creek are the only wetlands identified on this site, and are both classified as Riverines. Gordon L. Brown & Associates, Inc. has determined that no wetlands exist within the area of Lot 2.
18. No development of this parcel will occur within 500 feet of any unique geologic feature.
19. The 100 Year Floodplain boundaries as shown on Sheet 2 of 3 were plotted from Flood Insurance Rate Maps for Hellam Township, York County, PA, Map Numbers 42133C0239F and 42133C0243F, effective date December 16, 2015.
20. Clear sight distance shall be maintained for the driveways as shown on Lots 1 and 2.
21. Right-of-Way for the abandoned railroad located on subject property was abandoned per Pennsylvania Railroad Docket 24738, Dated Sept. 12, 1967.
22. All public improvements will comply with the Township specifications and/or PennDOT standards.
23. The permissible number of lots for this parcel is two (2), as established by Section 490-12.D.1.a.3. of the Hellam Township Zoning Ordinance as amended 12-15-2016 by Ord. No. 2016-03.
    One additional subdivision/development right remains with Lot 1.
    64.122 (Gross Acreage)
    3.983 (Street R/W)
    –14.395 (100 Year Floodplain)
    45.744 Acres = 2 Development Rights
24. In accordance with Section 430-17.B.(12) the parent tract as of September 5, 1996 and Section 490-12.D.(1).(a).[1] the parent tract as of December 16, 2016 is shown on the Existing Feature Plan (Sheet 2) with the required metes and bounds. All future rights of subdivision will remain only with Lot 1.
25. The proposed driveway has been designed in accordance with Article III of the Zoning Ordinance. The applicant shall acquire a driveway permit from the Township for Lot 2 in accordance with Section 490-33.G.
26. The existing lot contains approximately 20.5 acres of woodlands/wooded area, which is 32% of the gross lot area. The proposed improvements (Lot 1 & 2) will alter/clear 0 acres or 0% of the woodlands/wooded area, which is less than the 20% allowable by Section 430-32.A of the Subdivision and Land Development Ordinance.
27. Existing Wooded Areas Protective Covenants (Section 430-32.C.(4)):
    (a) Lot clearing or tree removal is limited to the building envelope and shall be no more than 20% of the total area and shall not extend into that portion of the lot designated as a "tree preservation area."
    (b) All other areas of the lot must be maintained at all times as woodland and contain an adequate stocking or spacing of native trees in order to assure a full canopy at tree maturity.
    (c) The woodland floor shall not be graded, filled, paved, or excavated.
28. No unique geological features exist on the site.
29. The owners, heirs, assigns or successors in title agree that they should install at the owners' expense a minimum 12-foot paved travel lane and 6-foot paved shoulder with curbing within six (6) months from the receipt of certified notification from the Township.
30. The approved Stormwater Management Plan must be on site for the duration of all proposed construction activities.
31. Prior to full release of financial security, the owner is required to provide an As-built plan of all stormwater management facilities.
32. The Township shall be notified 48 hours prior to beginning construction of the infiltration trenches so that the Township Engineer or their assignees can inspect phases of installation of the Stormwater Management Facilities.

PLANNING COMMISSION REVIEW STATEMENT

At a meeting on ________________, 2023 the Hellam Township Planning Commission reviewed this plan.

________________________ Chair or Designee

____

____

____

____

____

FINAL PLAN APPROVAL STATEMENT

At a meeting on ________________, 20____, the Board of Supervisors of the Township of Hellam approved this project, based upon its conformity with the standards of the Hellam Township Subdivision and Land Development Ordinance, and all conditions of approval have been met. This approval includes the complete set of plans/reports which are filed with the township and available for public review.

HELLAM TOWNSHIP BOARD OF SUPERVISORS

____
Chairman of Designee

ATTEST: ________________________
HELLAM TOWNSHIP SECRETARY

TOWNSHIP ENGINEER'S REVIEW STATEMENT

The Hellam Township Engineer reviewed this plan on ___________, 2023.

____
Hellam Township Engineer

NO.	DATE	DESCRIPTION
2.	6/22/23	Revised per Township Engineer's comments
1.	5/17/23	Revised per SEO comments

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL LAND SURVEYOR
WILLIAM J. DAVIS

Gordon L. Brown & Associates, Inc.
Civil Engineers & Surveyors
2238 South Queen Street
York, PA 17402-4631
(717) 741-4621
GLB&A

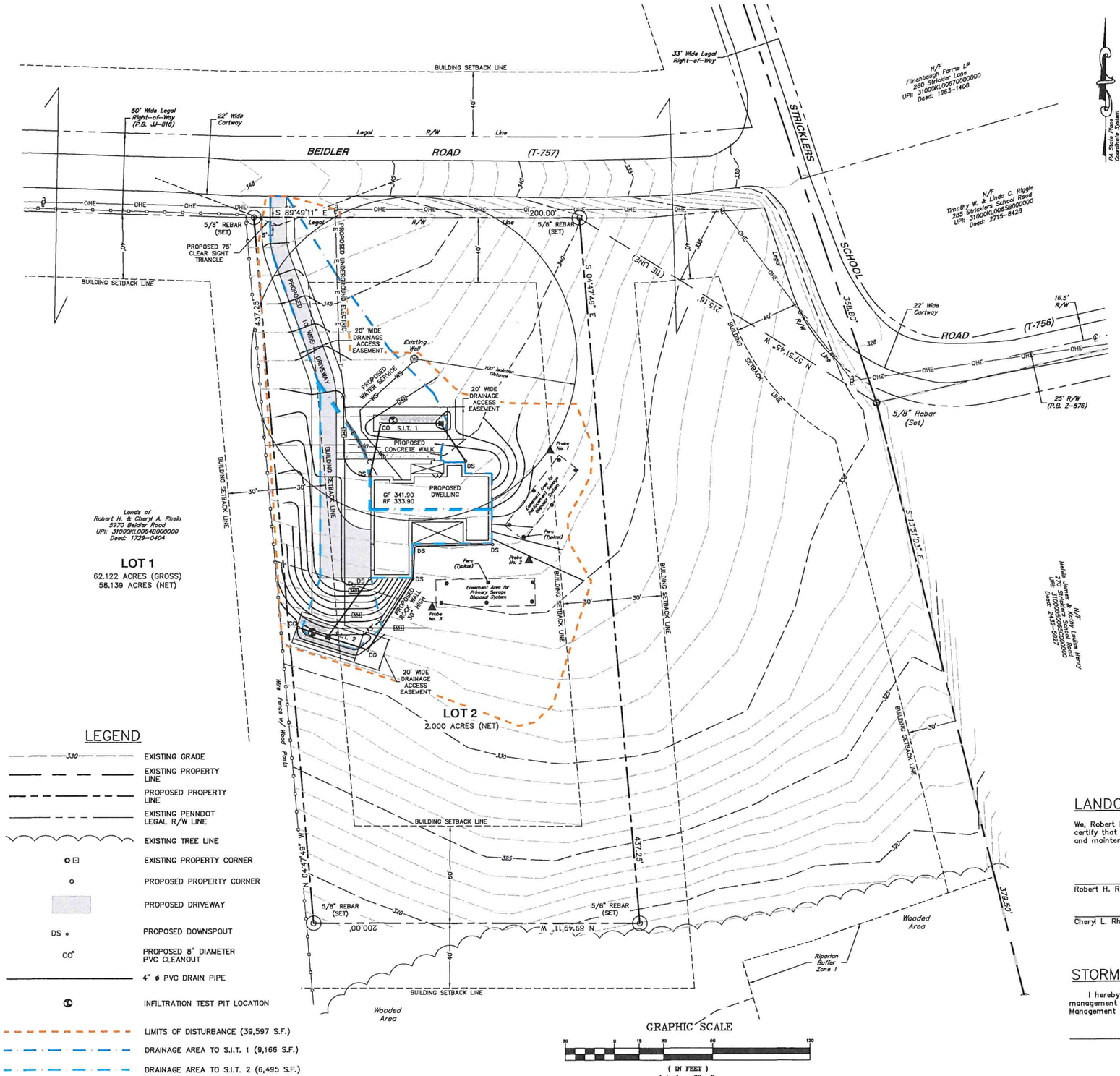
ROBERT H. & CHERYL A. RHEIN
(5970 BEIDLER ROAD)

PLAN SHEET

Hellam Township York County, Pennsylvania

FINAL SUBDIVISION PLAN

DRAWN BY	J.S.H./S.J.S.
CHECKED BY	
SCALE	1"=30'
DATE	04/03/23
DWG. NO.	L-6107
FILE NO.	37.23.17538
SHEET	3 OF 4



LEGEND

- EXISTING GRADE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING PENNDOT LEGAL R/W LINE
- EXISTING TREE LINE
- EXISTING PROPERTY CORNER
- PROPOSED PROPERTY CORNER
- PROPOSED DRIVEWAY
- DS ∘ PROPOSED DOWNSPOUT
- CO ∘ PROPOSED 8" DIAMETER PVC CLEANOUT
- 4" ø PVC DRAIN PIPE
- INFILTRATION TEST PIT LOCATION
- LIMITS OF DISTURBANCE (39,597 S.F.)
- DRAINAGE AREA TO S.I.T. 1 (9,166 S.F.)
- DRAINAGE AREA TO S.I.T. 2 (6,495 S.F.)

Fall 2023 – Begin site grading and construction of building foundation.

Spring 2024 – Complete construction of SWM BMPs, proposed building, driveway and stabilize the entire site.

LOT 2 SWM INFORMATION		
	TOTAL AREA	IMPERVIOUS AREA
LOT 2	2.00 ac	0.17 ac
S.I.T. 1 DRAINAGE AREA	9,166 sf	3,219 sf
S.I.T. 2 DRAINAGE AREA	6,495 sf	4,056 sf

STORMWATER MANAGEMENT NOTES

1. The approved Stormwater Management Plan must be on site for the duration of all proposed construction activities.
2. Prior to full release of financial security, the owner is required to provide an As-built plan of all stormwater management facilities.
3. Nothing shall be placed, planted, set, or put within the area of an easement. No alterations to swales, basins, BMPs, or other stormwater management shall be permitted without prior approval.
4. The Township shall be notified 48 hours prior to beginning construction of the infiltration trenches so that the Township Engineer or their assignees can inspect phases of installation of the Stormwater Management Facilities.

STATEMENT OF GEOLOGIC FEATURES

I, Byron W. Trout, certify that the proposed stormwater management facility (is) is not underlain by Carbonate Geology.

Byron W. Trout, P.E.
Registration No. PE-080020
(Agent for Gordon L. Brown & Associates, Inc.)

TOWNSHIP REVIEW STATEMENT

_____ on this date, _____, has reviewed and hereby certifies that the SWM Site Plan meets all design standards and criteria of the Municipal Ordinance No. 2022-03.

Municipal Official or Designee

LANDOWNER STATEMENT OF AWARENESS

We, Robert H. & Cheryl L. Rhein, acknowledge ourselves to be the owners of the property shown on this plan, and hereby certify that we are aware of the plan and it is our will and intent. We are aware of, and will be responsible for operation and maintenance of the proposed facilities.

Robert H. Rhein

Cheryl L. Rhein

STORMWATER MANAGEMENT SITE PLAN ACCURACY CERTIFICATE

I hereby certify that, to the best of my knowledge, the stormwater management site plan and associated best management practices shown and described hereon are designed in conformance with the Hellam Township Stormwater Management Ordinance.

_____, 20____

Byron W. Trout, P.E.
Registration No. PE-080020
(Agent for Gordon L. Brown & Associates, Inc.)

NO.	DATE	DESCRIPTION
2.	6/22/23	Revised per Township Engineer's comments
1.	5/17/23	Revised per SEO comments

WILLIAM J. DAVIS — PROFESSIONAL ENGINEER — LAND SURVEYOR

Gordon L. Brown & Associates, Inc.
Civil Engineers & Surveyors
2238 South Queen Street
York, PA 17402-4631
(717) 741-4621
GLB&A

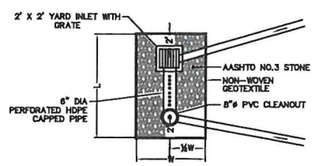
ROBERT H. & CHERYL A. RHEIN
(5970 BEIDLER ROAD)

PLAN SHEET

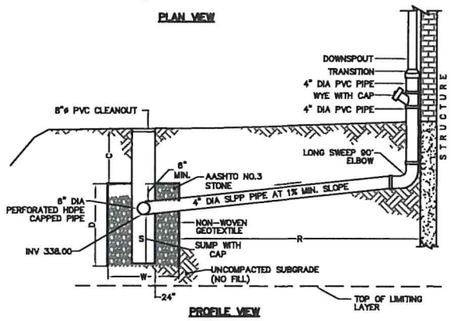
Hellam Township — York County, Pennsylvania

STORMWATER MANAGEMENT SITE PLAN

DRAWN BY	J.S.H./S.J.S.
CHECKED BY	
SCALE	1"=30'
DATE	04/03/23
DWG. NO.	L-6107
FILE NO.	37.23.17538
SHEET	1 OF 2



PLAN VIEW

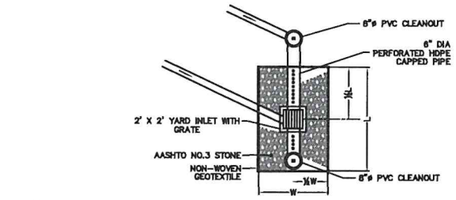


PROFILE VIEW

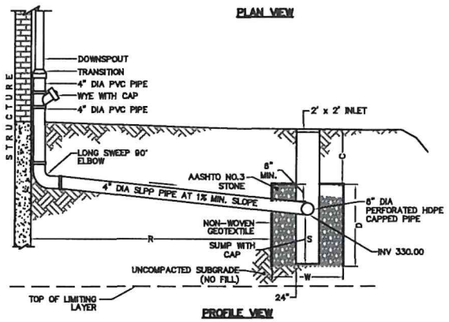
SUBSURFACE INFILTRATION TRENCH 1 (S.I.T. 1)

N.T.S.

SUBSURFACE INFILTRATION TRENCH	C (IN)	D (IN)	L (FT)	R (FT)	S (IN)	W (FT)	BED BOTTOM ELEVATION	BED TOP ELEVATION
	12 min	36	45	18	18	10	336.50	339.50



PLAN VIEW



PROFILE VIEW

SUBSURFACE INFILTRATION TRENCH 2 (S.I.T. 2)

N.T.S.

SUBSURFACE INFILTRATION TRENCH	C (IN)	D (IN)	L (FT)	R (FT)	S (IN)	W (FT)	BED BOTTOM ELEVATION	BED TOP ELEVATION
	12 min	36	40	35	18	15	328.50	331.50

S.I.T. NOTES:

CONSTRUCTION:

1. DURING CONSTRUCTION OF SUBSURFACE INFILTRATION TRENCH, A QUALIFIED DESIGNER MUST OBSERVE AND EVALUATE THE SOIL HORIZONS OF EACH BED EXCAVATION AND CONFIRM THE SOIL'S SUITABILITY FOR EACH INFILTRATION TRENCH.
2. ORANGE FENCING MUST BE INSTALLED/MAINTAINED TO DELINEATE ALL INFILTRATION AREAS BEFORE/DURING EARTH DISTURBANCE ACTIVITIES.
3. DURING EARTH DISTURBANCE ACTIVITIES, INFILTRATION AREAS MUST BE PROTECTED FROM COMPACTION AND SEDIMENT.
4. NON-WOVEN GEOTEXTILE FOR SUBSURFACE INFILTRATION TRENCH SHALL CONSIST OF NEEDLED NONWOVEN POLYPROPYLENE FIBERS AND MEET THE FOLLOWING PROPERTIES:

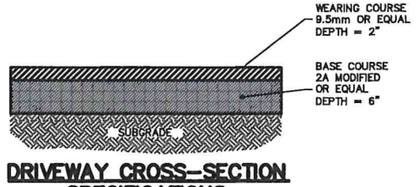
A.	GRAB TENSILE STRENGTH (ASTM D4632)	≥ 120 LBS
B.	MULLEN BURST STRENGTH (ASTM D3786)	≥ 225 PSI
C.	FLOW RATE (ASTM D4491)	≥ 95 GAL/MIN/SFT
D.	UV RESISTANCE AFTER 500 HRS (ASTM D4355)	≥ 70 %

E. HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED.
ACCEPTABLE TYPES INCLUDE MIRAFFI 140N, AMOCO 4547, GEOTEX 451, OR APPROVED OTHERS.

5. STONE FOR SUBSURFACE INFILTRATION TRENCH SHALL BE 2 INCH TO 1 INCH UNIFORMLY GRADED COARSE AGGREGATE, WITH A WASH LOSS OF NO MORE THAN 0.5%, AASHTO SIZENUMBER 3 PER AASHTO SPECIFICATIONS, PART 1, 19TH ED., 1998, OR LATER AND SHALL HAVE VOIDS 40% AS MEASURED BY ASTM C29.
6. NON-WOVEN GEOTEXTILE MUST ENVELOP STONE FOR SUBSURFACE INFILTRATION TRENCH.
7. GRATES FOR PVC CLEANOUTS SHALL BE AASHTO H10 OR H20 LOAD RATED DEPENDING ON THEIR PLACEMENT (H20 FOR VEHICULAR LOADING).
8. DISTRIBUTION PIPES FOR SUBSURFACE INFILTRATION TRENCH WITH SHALL BE CONTINUOUSLY PERFORATED, SMOOTH INTERIOR, WITH A MINIMUM INSIDE DIAMETER OF 6 INCHES. HIGH DENSITY POLYETHYLENE (HDPE) PIPE SHALL MEET AASHTO M252, TYPE S OR AASHTO M294, TYPE S.

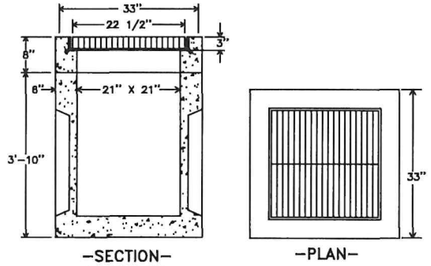
OPERATION AND MAINTENANCE:

1. AT LEAST FOUR TIMES EACH YEAR AND AFTER STORM EVENTS EXCEEDING 1 INCH OF RAINFALL, INSPECT SUBSURFACE INFILTRATION TRENCH MEADOW OR GRASS AREAS, CLEANOUTS, RAIN GUTTERS, ROOF LEADERS, INLET STRUCTURES, AND AREAS DRAINING TO BEDS. IMMEDIATELY IMPLEMENT NEEDED REPAIRS OR ACTIONS.
2. AT LEAST FOUR TIMES EACH YEAR AND AFTER STORM EVENTS EXCEEDING 1 INCH OF RAINFALL, REMOVE SEDIMENT, TRASH AND OTHER DEBRIS FROM SUBSURFACE INFILTRATION TRENCH MEADOW AND GRASS AREAS, CLEANOUTS, RAIN GUTTERS, ROOF LEADERS, INLET STRUCTURES, AND AREAS DRAINING TO BEDS. IMMEDIATELY IMPLEMENT NEEDED REPAIRS OR ACTIONS.
3. AFTER STORM EVENTS EXCEEDING 1 INCH OF RAINFALL, INSPECT SUBSURFACE INFILTRATION TRENCH CLEANOUTS, AND/OR GRASS AREAS TO DETERMINE IF THEY DRAIN WITHIN 24 HOURS.
4. MAINTAIN SUBSURFACE INFILTRATION TRENCH GRASS AREAS IN GOOD CONDITION, GRASS STABILIZATION (I.E. >75% UNIFORM PERENNIAL 3'-6' GRASS COVERAGE). IMMEDIATELY STABILIZE BARE SPOTS OR ERODED AREAS. RESTRICT MOWING FOR AT LEAST 72 HOURS AFTER STORM/RAINFALL EVENTS.
5. RESTRICT VEHICULAR OR OTHER EQUIPMENT TRAFFIC ON INFILTRATION AREAS TO ONLY THAT NECESSARY FOR MOWING OR BMP REPAIRS.
6. PROHIBIT STORAGE OF HAZARDOUS MATERIALS ON SUBSURFACE INFILTRATION TRENCH, GRASS AREAS OR ON AREAS THAT DRAIN TO BEDS.



DRIVEWAY CROSS-SECTION SPECIFICATIONS

N.T.S.



2' X 2' YARD INLET

N.T.S.

CONSTRUCTION SEQUENCE OF EARTH DISTURBANCE ACTIVITIES

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED TO ONLY THOSE AREAS DESCRIBED IN EACH STAGE.

NOTES:

1. At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System Incorporated at 1-800-242-1776 for the location of existing underground utilities.

STAGE 1

- Clearly field mark the limits of earth disturbance (LOD). Install construction fencing around the proposed infiltration areas. Note: Marking of the proposed infiltration areas is critical to prevent/minimize compaction of the areas during construction.

STAGE 2

- Install Stone Construction Entrance. Install the compost filter sock as designated on the plan and details.

STAGE 3

- Rough grade proposed driveway and install a compacted stone base over the entire length of the driveway. Immediately following sub base compaction, stabilize the disturbed areas on both sides of the driveway.

STAGE 4

- Clear and grub the area of the proposed lot development. Strip topsoil in the area of the proposed dwelling and graded areas. Topsoil to be stored in designated Topsoil Stockpile area. Topsoil stockpile shall not exceed 35 feet in height and shall have side slopes of 2:1 or flatter.

STAGE 5

- Begin installing the proposed underground utilities and elevated sand mound. Immediately repair any BMP'S adversely affected by utility installation. Rough grade the lot to proposed configuration.

STAGE 6

- Proceed with dwelling construction.

STAGE 7

- Clear and grub the area of the proposed Subsurface Infiltration Trench 1 and 2. Construct the trenches per the plans and details. Vehicles must be prohibited from entering the infiltration trench area to prevent compaction of the soil in this area. Remove and replace the construction fencing as necessary during construction of the trenches.

STAGE 8

- Replace topsoil to a minimum, uniform depth of six (6) inches and immediately stabilize all areas disturbed in Stages #4 through #7 where building on the lot will not immediately take place.

STAGE 9

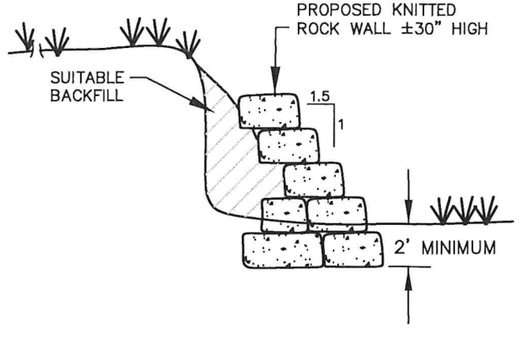
- Install the paving for the driveway.

STAGE 10

- Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operators shall contact Hellam Township for an inspection prior to the removal of the BMPs. BMPs cannot be removed until minimum uniform 70% perennial vegetation cover has been established

STAGE 11

- Upon completion of all earth disturbance activities, removal of all temporary BMPs and permanent stabilization of all disturbed areas, the owner and/or operators shall contact Hellam Township for a final inspection.



PROPOSED ROCK WALL

N.T.S.

NO.	DATE	DESCRIPTION
2.	6/22/23	Revised per Township Engineer's comments
1.	5/17/23	Revised per SEO comments

Gordon L. Brown & Associates, Inc.
Civil Engineers & Surveyors
2238 South Queen Street
York, PA 17402-4631
(717) 741-4621
GLB&A

ROBERT H. & CHERYL A. RHEIN
(5970 BEIDLER ROAD)

DETAIL SHEET

Hellam Township, York County, Pennsylvania

STORMWATER MANAGEMENT SITE PLAN

DRAWN BY	J.S.H./S.J.S.
CHECKED BY	
SCALE	AS NOTED
DATE	04/03/23
DWG. NO.	L-6107
FILE NO.	37.23.17538
SHEET	2 OF 2

F:_Projects\037 - Trout, Byron\3723717538 - Robert & Cheryl Rhein 5970 Beidler Road\dwg\3723717538 Conrad Rhein.dwg, Sht2-SWM Details,

EROSION & SEDIMENT CONTROL PLAN
ROBERT H. & CHERYL A. RHEIN
LOCATED IN
HELLAM TOWNSHIP, YORK COUNTY, PA

GENERAL E&S NOTES

1. Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the earth disturbance activity, or failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to $10,000 per day in civil penalties, up to $10,000 in summary criminal penalties, and up to $25,000 in misdemeanor criminal penalties for each violation.
2. A copy of the approved Erosion and Sediment Control Plan shall be available at the construction site at all times. The York County Conservation District shall be notified of any changes to the approved plan prior to implementation of those changes. The District may require a written submittal of those changes for review and approval at its discretion.
3. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate the potential for accelerated erosion and/or sediment pollution and notify the York County Conservation District.
4. All pumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag or equivalent sediment removal facility, discharging over undisturbed vegetated areas.
5. All building materials and wastes must be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et. seq., 271.1 and et seq., and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped or discharged at the site.
6. The contractor will be responsible for the removal of any excess material and make sure site(s) receiving the excess material have an approved erosion control plan that meets the conditions of the Chapter 102 and/or other State & Federal Regulations.
7. Clean Fill is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that are separate from other wastes and are recognizable as such. The term does not include materials placed in or on the waters of the Commonwealth, unless otherwise authorized (the term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use).
8. Any placement of clean fill that has been affected by a spill or release of a regulated substance must use Form FP-001 to certify the origin of the fill material and the results of the analytical testing to qualify the material as clean fill. Form FP-001 must be retained by the owner of the property receiving the fill.
9. Environmental due diligence must be performed to determine if the fill materials associated with the project qualify as clean fill. Environmental due diligence is defined as: Investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of a regulated substance. If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Clean Fill".

STABILIZATION SPECIFICATIONS

10. Permanent stabilization is defined as a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements."
11. Immediately after earth disturbance activities cease, the operator shall stabilize the disturbed area. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be re-disturbed within one (1) year must be stabilized in accordance with the temporary vegetative stabilization specifications. Disturbed areas which are at finish grade or which will not be re-disturbed within one (1) year must be stabilized in accordance with the permanent vegetative stabilization specifications.
12. An erosion control blanket will be installed on all disturbed slopes 3:1 or steeper, all areas of concentrated flows, and disturbed areas within 50' of a surface water.
13. Upon temporary cessation of an earth disturbance activity or any stage or phase of an activity where a cessation of earth disturbance activities will exceed 4 days, the site shall be immediately seeded, mulched, or otherwise protected from accelerated erosion and sedimentation pending the future earth disturbance activities.
14. Topsoil required for the establishment of vegetation shall be stockpiled at the locations(s) shown on the plan drawings in the amount necessary to complete the finish grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Topsoil stockpile height shall not exceed 35 feet. Stockpile side slopes must be 2:1 or flatter.
15. Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches – 6 to 12 inches on compacted soils – prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outslopes shall have a minimum of 2 inches of topsoil.
16. Topsoil should not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seedbed preparation. Compacted soils should be scarified 6 to 12 inches along contour whenever possible prior to seeding.

MAINTENANCE PROGRAM

17. Until the site is stabilized, all erosion and sediment BMPs must be maintained properly. Maintenance must include inspections of all erosion and sediment BMPs after each measurable runoff event as well as on a weekly basis. All preventative and remedial maintenance work, including cleanout, repair, replacement, re-grading, re-seeding, re-mulching, and re-netting must be performed immediately. If erosion and sediment BMPs fail to perform as expected, replacement BMPs, or modifications of those installed will be required.
18. The permittee and co-permittee must ensure that visual site inspections are conducted weekly, and after each measurable precipitation event by qualified personnel, trained and experienced in erosion and sediment control, to ascertain that the Erosion and Sediment Control (E&S) BMPs are operational and effective in preventing pollution to waters of the Commonwealth. A written report of each inspection shall be kept, and include:
    A.) A summary of the site inspections, E&S BMPs, and compliance.
    B.) The date, time, and name of the person conducting the inspection.
19. Any sediment removed from BMPs during construction will be returned to upland areas on site and incorporated into the site grading.
20. A log showing the dates that E&S BMP's were inspected as well as any deficiencies found and the date that they were corrected shall be maintained on the site and be made available to the York County Conservation District or other regulatory agency officials at the time of inspection.

SOIL LIMITATIONS & RESOLUTIONS

MAPPED UNITS

CnB: Conestoga silt loam, 3 to 8 percent slopes
CnC: Conestoga silt loam, 8 to 15 percent slopes

LIMITATIONS

CnB: Dwellings with Basements – Slight
CnC: Dwellings with Basements – Moderate: slope

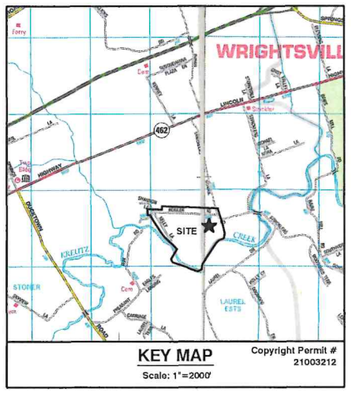
RESOLUTIONS

1. If bedrock is encountered during excavation activities, it shall be removed via acceptable construction methods (ex. ripping, blasting).
2. Seepage and piping will be alleviated through the use of extreme compaction (ex. sheep's foot roller).
3. If water is encountered during excavation activities, it shall be discharged in to either a sediment trap/basin or water filter bag.
4. Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots, and other objectionable material.
5. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures, and conduits, etc. shall be compacted in accordance with local requirements or codes.
6. All earthen fills shall be placed in compacted layers not to exceed nine (9) inches in thickness.
7. Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
8. Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
9. Fill shall not be placed on saturated or frozen surfaces.
10. Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.

RECEIVING STREAM

Kreutz Creek (WWF)

SHEET LEGEND	
SHEET#	DESCRIPTION
ES1	TITLE SHEET
ES2	EXISTING FEATURES PLAN
ES3	PLAN SHEET
ES4	DETAIL SHEET



BEFORE YOU DIG-DRILL-BLAST
CALL 1-800-242-1776
PA ONE CALL SYSTEM

INFORMATION CONCERNING UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR IS RESPONSIBLE TO CONTACT ALL UTILITIES AND/OR HAND EXCAVATE TO DETERMINE THE LOCATION AND DEPTH OF THE UTILITIES PRIOR TO EXCAVATION. THE CONTRACTOR WILL CONTACT THE UNDERGROUND LOCATING SERVICE, TEL. NO. 1-800-242-1776 (PA ONE CALL) FOR THE ACTUAL LOCATION OF THEIR FACILITIES BEFORE ANY WORK IS BEGUN ON THIS PROJECT.

OWNERS INFORMATION:

Robert H. & Cheryl A. Rhein
5970 Beidler Road
York, PA 17406

CONSTRUCTION SEQUENCE OF EARTH DISTURBANCE ACTIVITIES

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOP-SOIL STRIPPING SHALL BE LIMITED TO ONLY THOSE AREAS DESCRIBED IN EACH STAGE.

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TEMPORARY AND PERMANENT STABILIZATION SPECIFICATIONS

TEMPORARY SEEDING & MULCHING

- Dates: Year Round
  Seed Type: 100% Annual Ryegrass @ 95% PLS (Pure Live Seed); 100% Winter Ryegrass
  Seed Rate: 175 lbs/acre
  Fertilizer: 10-10-10 Commercial Fertilizer
  Fertilizer Rate: 500 lbs/acre
  Lime Type: Pulverized Agricultural Lime
  Lime Rate: 1 ton/acre
  Mulch: Straw
  Mulch Rate: 3 tons/acre

PERMANENT SEEDING & MULCHING

- Dates: March 1st to October 31st
  Seed Type: 90% Turf Type Perennial Ryegrass; 10% Annual Ryegrass @ 95% PLS (Pure Live Seed)*
  Seed Rate: 130 lbs/acre; 10 lbs/acre
  Fertilizer: 10-20-20
  Fertilizer Rate: 1,000 lbs/acre
  Lime Type: Pulverized Agricultural Lime
  Lime Rate: 6 ton/acre
  Mulch: Straw
  Mulch Rate: 3 tons/acre

TACKING OF STRAW MULCH

- Straw mulch should be anchored immediately after application to prevent being windblown. A tractor-drawn implement may be used to crimp the straw mulch into the soil. This method is limited to slopes no steeper than 3:1. The machinery should be operated on the contour. Synthetic or chemical binders maybe used as recommended by the manufacturer provided sufficient documentation is submitted to show they are non-toxic to native plant and animal species.

PERMANENT SEEDING FOR STEEP SLOPES (NON-MOWED AREAS)

- Dates: March 1st to October 31st
  Seed Type: 90% Bird's-foot Trefoil; 10% Annual Ryegrass @ 95% PLS (Pure Live Seed)
  Seed Rate: 260 lbs/acre; 10 lbs/acre
  Fertilizer: 10-10-20
  Fertilizer Rate: 1,000 lbs/acre
  Lime Type: Pulverized Agricultural Lime
  Lime Rate: 1 ton/acre

STABILIZATION FOR NON-VEGETATED AREAS

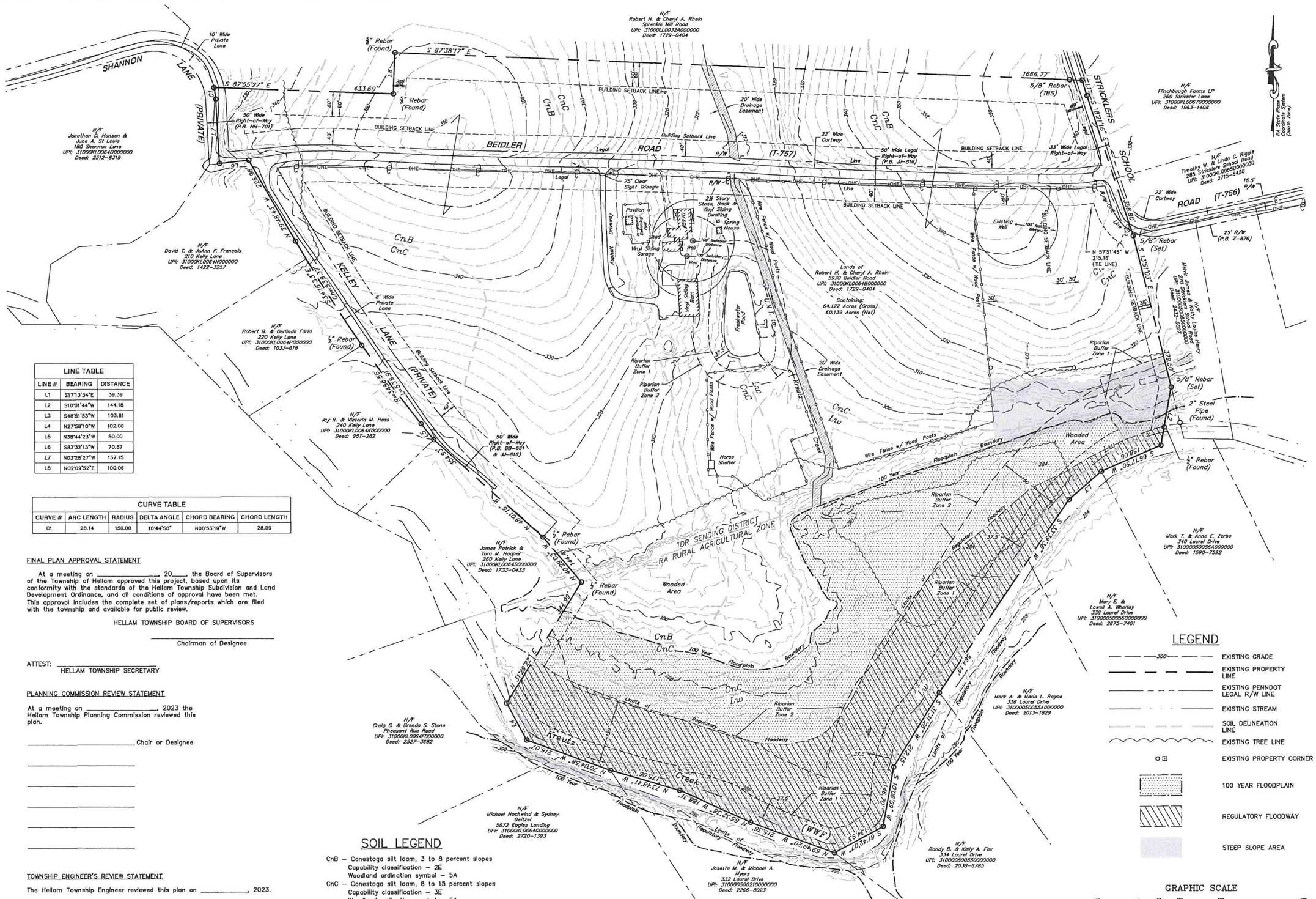
- Wood chips, wood fibers and/or stones can be applied to any area which will not be vegetated. Rate of application for wood chips are 10-20 tons per acre; wood fiber 1000-1500 lbs per acre; and stones (2B or 3A) @ 100-165 tons per acre.

NO.	DATE	DESCRIPTION
2.	6/22/23	Revised per Township Engineer's comments
1.	5/24/23	REVISED PER Y.C.C.D. COMMENTS

Gordon L. Brown & Associates, Inc.
Civil Engineers & Surveyors
2238 South Queen Street
York, PA 17402-4631
(717) 741-4621
GLB&A

ROBERT H. & CHERYL A. RHEIN
(5970 BEIDLER ROAD)
Hellam Township, York County, Pennsylvania
TITLE SHEET
EROSION AND SEDIMENT CONTROL PLAN

DRAWN BY	J.S.H./S.J.S.
CHECKED BY	B.W.T.
SCALE	AS NOTED
DATE	05/08/23
DWG. NO.	L-6107
FILE NO.	37.23.17538
SHEET	ES1 OF ES4



LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S17°13'34"E	39.39
L2	S10°01'44"W	144.18
L3	S48°51'53"W	103.81
L4	N27°58'10"W	102.06
L5	N38°44'23"W	50.00
L6	S83°32'13"W	70.87
L7	N03°28'27"W	157.15
L8	N02°09'52"E	100.06

CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	28.14	150.00	10°44'50"	N08°53'19"W	28.09

FINAL PLAN APPROVAL STATEMENT

At a meeting on _____, 20____, the Board of Supervisors of the Township of Hellam approved this project, based upon its conformity with the standards of the Hellam Township Subdivision and Land Development Ordinance, and all conditions of approval have been met. This approval includes the complete set of plans/reports which are filed with the township and available for public review.

HELLAM TOWNSHIP BOARD OF SUPERVISORS

_____
Chairman of Designee

ATTEST: _____
HELLAM TOWNSHIP SECRETARY

PLANNING COMMISSION REVIEW STATEMENT

At a meeting on _____, 2023 the Hellam Township Planning Commission reviewed this plan.

_____ Chair or Designee

_____

_____

_____

_____

_____

TOWNSHIP ENGINEER'S REVIEW STATEMENT

The Hellam Township Engineer reviewed this plan on _____, 2023.

_____
Hellam Township Engineer

SOIL LEGEND

CnB – Conestoga silt loam, 3 to 8 percent slopes
Capability classification – 2E
Woodland ordination symbol – 5A

CnC – Conestoga silt loam, 8 to 15 percent slopes
Capability classification – 3E
Woodland ordination symbol – 5A

Lw – Lindside silt loam
Capability classification – 2W
Woodland ordination symbol) – 5A

LEGEND

- EXISTING GRADE
- EXISTING PROPERTY LINE
- EXISTING PENNDOT LEGAL R/W LINE
- EXISTING STREAM
- SOIL DELINEATION LINE
- EXISTING TREE LINE
- EXISTING PROPERTY CORNER
- 100 YEAR FLOODPLAIN
- REGULATORY FLOODWAY
- STEEP SLOPE AREA

GRAPHIC SCALE

100 0 50 100 200 400
(IN FEET)
1 inch = 100 ft.

NO.	DATE	DESCRIPTION
2.	6/22/23	Revised per Township Engineer's comments
1.	5/24/23	REVISED PER Y.C.C.D. COMMENTS

WILLIAM J. DAVIS — LAND SURVEYOR — PROFESSIONAL

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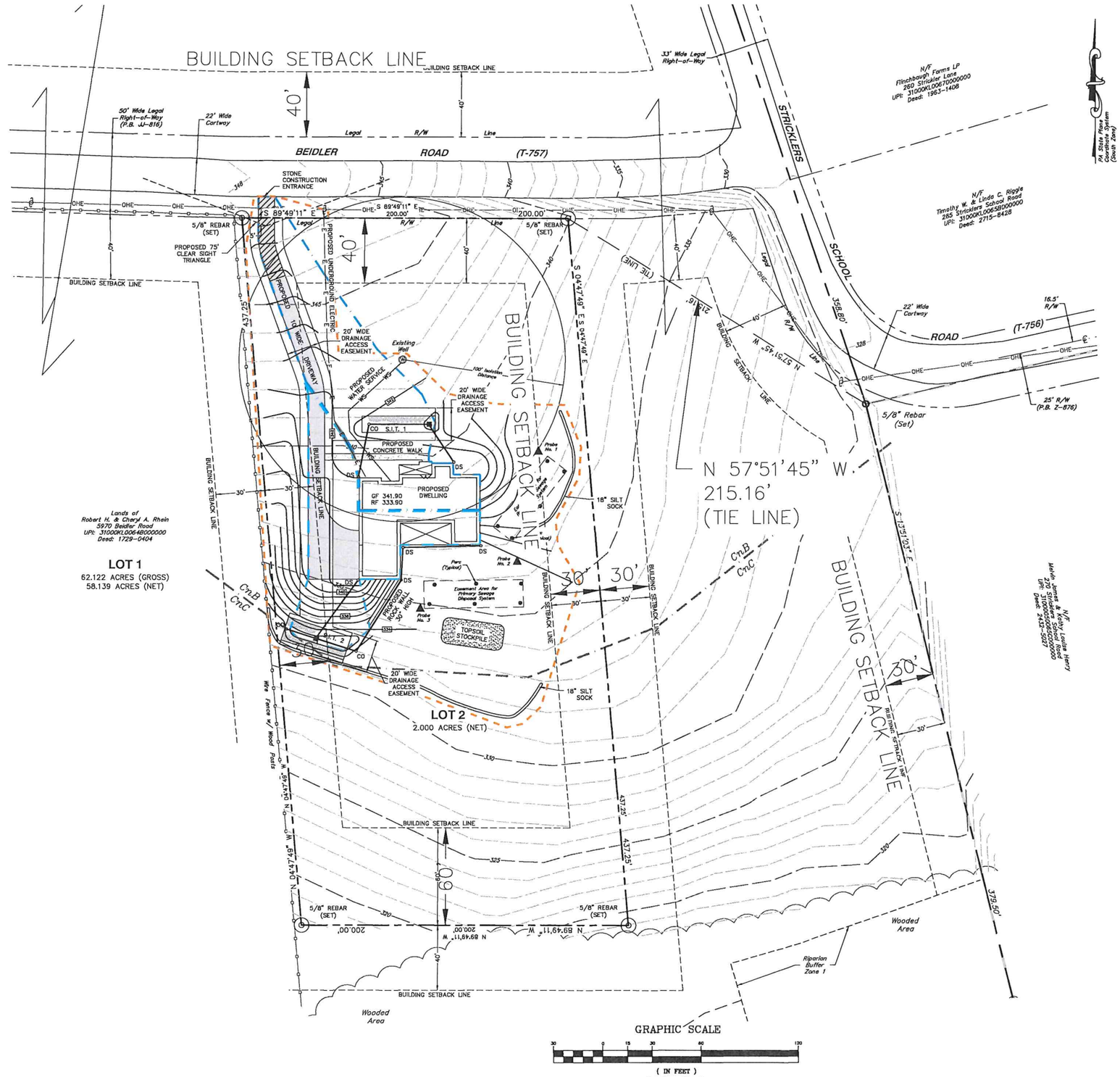
Civil Engineers & Surveyors
2238 South Queen Street
York, PA 17402-4631
(717) 741-4621
GLB&A

ROBERT H. & CHERYL A. RHEIN
(5970 BEIDLER ROAD)

EXISTING FEATURES SHEET
Hellam Township, York County, Pennsylvania

EROSION AND SEDIMENT CONTROL PLAN

DRAWN BY	J.S.H./S.J.S.
CHECKED BY	B.W.T.
SCALE	1" = 100'
DATE	05/08/23
DWG. NO.	L-6107
FILE NO.	37.23.17538
SHEET	ES2 OF ES4



LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING PENNDOT LEGAL R/W LINE
- SOIL DELINEATION LINE
- OVERHEAD ELECTRIC LINE
- EXISTING TREE LINE
- EXISTING WIRE FENCE
- LIMITS OF DISTURBANCE (39,597 S.F.)
- DRAINAGE AREA TO S.I.T. 1 (9,166 S.F.)
- DRAINAGE AREA TO S.I.T. 2 (6,495 S.F.)
- COMPOST FILTER SOCK
- STONE CONSTRUCTION ENTRANCE
- EXISTING PROPERTY CORNER
- PROPOSED PROPERTY CORNER
- EXISTING UTILITY POLE
- EXISTING WELL
- PROBE TEST PIT
- PERC

SOIL LEGEND

MAPPED UNITS

CnB — Conestoga silt loam, 3 to 8 percent slopes
Capability classification — 2E
Woodland ordination symbol — 5A

CnC — Conestoga silt loam, 8 to 15 percent slopes
Capability classification — 3E
Woodland ordination symbol — 5A

GRAPHIC SCALE
30 0 15 30 60 120
(IN FEET)
1 inch = 30 ft.

NO.	DATE	DESCRIPTION
2.	6/22/23	Revised per Township Engineer's comments
1.	5/24/23	REVISED PER Y.C.C.D. COMMENTS

WILLIAM J. DAVIS — LAND SURVEYOR — PROFESSIONAL

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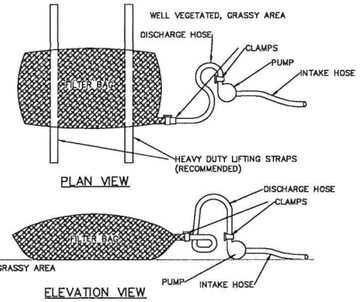
PLAN SHEET

Heilam Township — York County, Pennsylvania

EROSION AND SEDIMENT CONTROL PLAN

DRAWN BY	J.S.H./S.J.S.
CHECKED BY	B.W.T.
SCALE	1"=30'
DATE	05/08/23
DWG. NO.	L-6107
FILE NO.	37.23.17538
SHEET	ES3 OF ES4



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

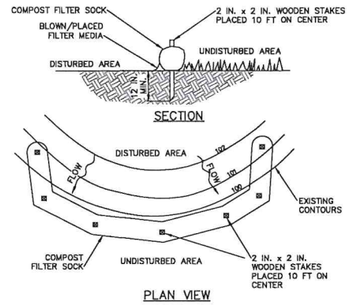
STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG
NOT TO SCALE

TABLE 4.1
Compost Sock Fabric Minimum Specifications

Material Type	3 mil-HDPE	5 mil-HDPE	5 mil-HDPE	Multi-Filament Polypropylene (HDMFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-Degradeable	Photo-Degradeable	Photo-Degradeable	Photo-Degradeable	Photo-Degradeable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	3/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years
Two-Ply Systems					
Inner Containment Netting				HDPE biaxial net Continuously wound Fusion-welded junctures 3/4" x 3/4" Max. aperature size	
Outer Filtration Mesh				Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch) 3/16" Max. aperature size	
Sock fabrics composed of burlap may be used on projects lasting 6 months or less					

TABLE 4.2
Compost Standards

Organic Matter Content	25%-100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5 – 8.5
Moisture Content	30% – 60%
Particle Size	30% – 50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE, BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

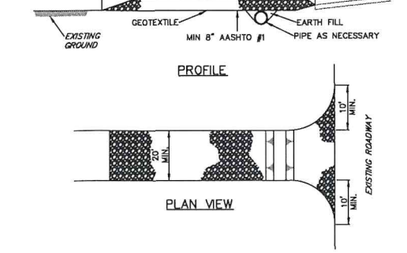
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK
NOT TO SCALE



* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

NOTES:

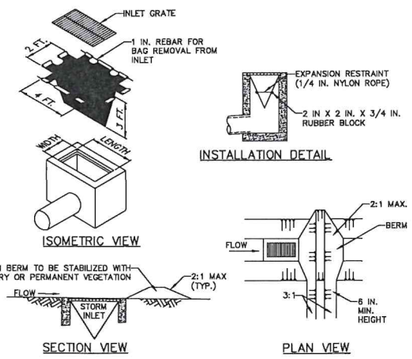
REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

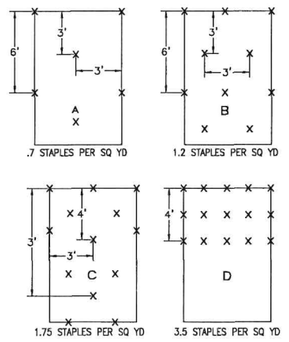
MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

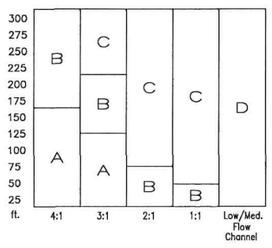
STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



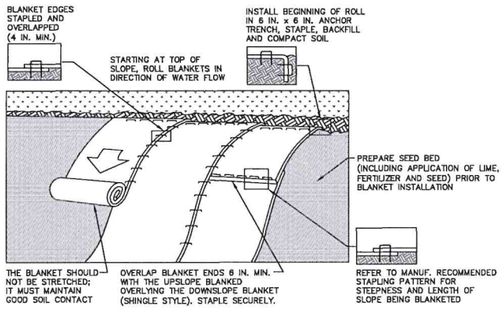
STANDARD CONSTRUCTION DETAIL #4-16
FILTER BAG INLET PROTECTION - TYPE M INLET
NOT TO SCALE



SLOPE APPLICATION GUIDE



STAPLE PATTERN GUIDE
N.T.S.



NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

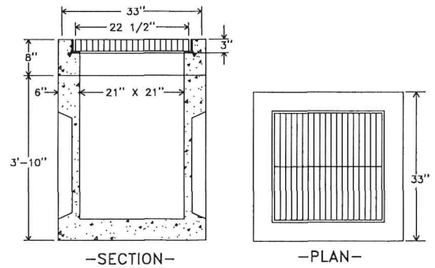
SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

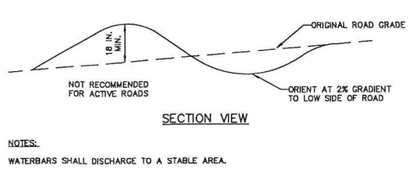
THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

STANDARD CONSTRUCTION DETAIL #11-1
EROSION CONTROL BLANKET INSTALLATION
NOT TO SCALE



2' X 2' YARD INLET
N.T.S.



NOTES:

WATERBARS SHALL DISCHARGE TO A STABLE AREA.

WATERBARS SHALL BE INSPECTED WEEKLY (DAILY ON ACTIVE ROADS) AND AFTER EACH RUNOFF EVENT. DAMAGED OR ERODED WATERBARS SHALL BE RESTORED TO ORIGINAL DIMENSIONS WITHIN 24 HOURS OF INSPECTION.

MAINTENANCE OF WATERBARS SHALL BE PROVIDED UNTIL ROADWAY, SKIDTRAIL, OR RIGHT-OF-WAY HAS ACHIEVED PERMANENT STABILIZATION.

WATERBARS ON RETIRED ROADWAYS, SKIDTRAILS, AND RIGHT-OF-WAYS SHALL BE LEFT IN PLACE AFTER PERMANENT STABILIZATION HAS BEEN ACHIEVED.

SEE PA DEP EROSION CONTROL MANUAL TABLE 3.1 FOR WATERBAR SPACING.

STANDARD CONSTRUCTION DETAIL #3-5
WATERBAR
NOT TO SCALE

NO.	DATE	DESCRIPTION
2.	6/22/23	Revised per Township Engineer's comments
1.	5/24/23	REVISED PER Y.C.C.D. COMMENTS

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(5970 BEIDLER ROAD)
Hellam Township York County, Pennsylvania

DETAIL SHEET

EROSION AND SEDIMENT CONTROL PLAN

DRAWN BY	J.S.H./S.J.S.
CHECKED BY	B.W.T.
SCALE	NONE
DATE	05/08/23
DWG. NO.	L-6107
FILE NO.	37.23.17538
SHEET	ES4 OF ES4