

**PLANNED UNIT DEVELOPMENT (PUD) APPLICATION**  
**Yarrington Land Holdings and BSL JCTX, LP**

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- Applicant:** Yarrington Land Holdings, LLC and BSL JCTX, LP
- Owner:** BSL JCTX, LP
- Address:** 675 Old River Crossing, Johnson City, TX 78636
- Interest:** BSL JCTX, LP owns the fee simple interest to the property located at 675 Old River Crossing. The company wishes to develop a high-end recreational vehicle (RV) and glamping park consisting of one hundred fifty (150) RV sites and sixty (60) glamping sites. The parcel and Old River Crossing road was annexed into the corporate City limits on February 1, 2022. Pursuant to the City Code of Ordinances, “all territory hereafter annexed into the City shall be classified as Single-Family Residential;” however, “the owner of land to be annexed may submit an application for zoning the property.” Pursuant to a Development Agreement between the City, Rodney Topper, and BSL JCTX, LP, “upon annexation and on the Developer’s request for rezoning, the City shall review and consider within the authorized timelines a zoning classification which applies to and is in conformance with the Project, including rezoning as a Planned Unit Development with terms and development standards in accordance with the Project’s use and design.”

We are of the opinion that the proposed rezoning and Project’s use and design:

1. provides flexibility in development standards and accommodates multiple uses as integrated land use units;
2. permits new or innovative concepts in land use not permitted by other zoning districts;
3. ensures the compatibility of land uses;
4. allows for the adjustment of changing demands to meet the current needs of the community;
5. provides an environment within the layout of the site that contributes to a sense of community and a coherent living style;
6. encourages the preservation and enhancement of natural amenities and cultural resources;
7. protects the natural features of the site that relates to its topography, shape and size;
8. provides for open space, with a minimum of twenty (20) percent of the gross area being open green space and parkland;
9. provides for the development of the site, which is made difficult for conventionally designed development due to the site’s shape, size, abutting development, poor accessibility, and topography;
10. preserves the landscape in its natural state by minimizing tree and soil removal; and

11. provides that all buildings are sited harmoniously to the terrain and to other buildings in the vicinity that have a visual relationship to the proposed buildings and other structures.

The proposed development shall comply with Federal, State, and Local laws and/or development regulations, including all Texas Accessibility Standards, in effect at the time of the adoption of the aforementioned Development Agreement.

**Development Schedule:**

A firm development schedule has not been completed to date; however, the Applicant and Owner estimate that the development will take approximately six (6) months from approval to completion.

The Applicant and Owner have submitted a preliminary site plan, survey, and onsite and offsite construction documents displaying the following:

1. RV sites;
2. Glamping sites;
3. Existing easement;
4. Existing and proposed water and sewer infrastructure;
5. Existing and proposed roadway improvements; and
6. Existing and proposed drainage structures.

**Planned Development Data Table:**

Minimum Lot Area	None
Minimum Lot Width	None
Minimum Lot Depth	200 ft.
Minimum Front Yard Setback	5 ft.
Minimum Side Yard Setback	5 ft.
Minimum Side Yard Setback Adjacent to Residentially-Zoned Districts	N/a
Minimum Rear Yard Setback	5 ft.
Minimum Rear Yard Setback Adjacent to Residentially-Zoned Districts	N/a
Maximum Lot Coverage	75%
Maximum Structure Height	2 Standard Stories (24' from average grade)
Maximum Density	150 RV sites and 60 glamping sites
Minimum Open Space / Parkland	25%
Maximum Patron Length of Stay (Not for Permanent Residence)	90 Calendar Days per Year; Owner Shall Not Rent Recreational Vehicles

**Outdoor Lighting:**

All outdoor lighting shall be dark-sky compliant (fully shielded) to minimize impacts on adjacent landowners and reduce light pollution.

**Public Utilities:**

Utilities and infrastructure shall meet the City's subdivision regulation standards and International Codes, as amended.

**Open Space:**

Insofar as practicable, the landscape shall be preserved in its natural state through the minimization of tree and soil removal. Drive aisles and RV sites will be constructed of concrete, while each glamping site shall have an elevated platform with a hot tub, fire pit, and heating/air conditioning system.

Proposed structure(s) shall be sited harmoniously to the terrain and to other buildings, if any, in the vicinity that have a visual relationship to the proposed structure(s).

Proposed landscaping, if any, will consist of native foliage and trees that have been chosen for their ability to thrive on natural rainfall and, once established, not require irrigation, except for unseasonably dry periods.

**Circulation Plan:**

Special attention shall be given to the location and number of access points to public streets, width of interior drive aisles and access points, general interior circulation, separation of pedestrian and vehicular traffic, and the arrangement of parking areas that are safe and convenient.

**Relation to Public Utilities, Facilities, and Services:**

The property is presently or can be served by the City of Johnson City's Water and Wastewater Utility and Pedernales Electric Cooperative. Other than those costs included within the aforementioned Development Agreement, there should be no costs incurred by the City of Johnson City for the provision of infrastructure, as infrastructure is already in place, readily accessible, or will be constructed and paid for by the Developer.

**Floodplain Management:**

In accordance with City Code of Ordinances Article 3.04 *Flood Damage Prevention*, the development shall submit and receive approval of a Floodplain Development Permit from the City Engineer prior to the commencement of any site work and/or construction.

**Signs:**

The development shall comply with City Code of Ordinances Chapter 3 *Building Regulations*, Article 3.06 *Signs*, as amended.

## **Permitted Schedule of Uses:**

The intent of this Schedule of Uses is to define the permitted zoning uses for the subject property. Words, phrases, and terms defined herein shall be given the defined meaning, as set forth below. Words, phrases, and terms not defined herein, but defined in the City Code of Ordinances, shall be given the defined meaning in the Code of Ordinances. Words, phrases, and terms neither defined in this document, nor in the Code of Ordinances, shall be given their usual and customary meanings, except where the context in this document clearly indicates a different meaning. The word "shall" is mandatory and not permissive; the word "may" is permissive and not mandatory. Words used in the singular include the plural, and words used in the plural include the singular. Words used in the present tense include the future tense, and words used in the future tense include the present tense.

*Accessory use.* Means a use incidental or secondary to the principal use of a lot, building, or structure and located on the same lot as the principal use.

*Clubhouse.* A building, or portion thereof, and related facilities used as a meeting place for recreational activities by patrons.

*Commercial outdoor recreation.* Means outdoor commercial uses which, by their nature, are recreational, including, but not limited to, golf courses, driving ranges, miniature golf courses, outdoor swimming pools, tennis courts, basketball courts, recreational camps, et cetera.

*Office.* Primarily for conducting the affairs of a business, profession, service, industry, or government, or like activity, including such activities as providing day-to-day office administrative services, financial management, billing, record keeping, personnel administration, and logistics.

*Recreational vehicle.* Means a motorized vehicle or non-motorized trailer designed and/or maintained for use as a temporary dwelling or sleeping place for travel or recreation purposes exclusively, having no foundation other than wheels or jacks.

*Recreational vehicle park.* Any lot, tract, or parcel of land used, in whole or part, to provide facilities or accommodations for two or more recreational vehicles or glamping sites, with or without compensation, used by transients as living or sleeping quarters for the periods of time authorized by this document.

*Retail trade.* Establishments engaged in selling goods or merchandise to the general public for personal or household consumption and rendering services incidental to the sale of such goods.

## **Attachments:**

Attachment A – Zoning Amendment Application

Attachment B – Location Map

Attachment C – Site Plan and Survey

Attachment D – Onsite Construction Documents

Attachment E – Offsite Construction Documents



P.O. Box 369 (Mail)  
303 E. Pecan Dr. (Physical)  
Johnson City, TX 78636  
830.868.7111 (Phone)  
830.868.7718 (Fax)

Application Date: 1/24/22

### ZONING AMENDMENT APPLICATION CHAPTER 14

NAME OF APPLICANT: Yarrington Land Holdings/BSL JCTX, LP  
 MAILING ADDRESS: 3801 N Capital of TX Hwy E 240-137 Austin, TX 78746  
 PHONE NUMBER: (832) 298-2557  
 STATUS OF APPLICANT:  
 OWNER:  AGENT:  (IF AGENT, ATTACH LETTER OF AUTHORIZATION.)

#### PROPERTY DESCRIPTION

PHYSICAL ADDRESS: 675 Old River Crossing  
 LEGAL DESCRIPTION: ABS A0561 Survey 41 J. Shackelford, Acres 20.07, 2.33  
 CURRENT ZONING: raw land PROPOSED ZONING: PUD  
 DEED RESTRICTIONS PROHIBITING PROPOSED ZONING: \_\_\_\_\_

EXISTING USE: land PROPOSED USE: RV/Glamping Park  
 LAND AREA: 22.4 acres DOES OWNER OWN ADJACENT PROPERTIES? Yes  No   
 PURPOSE OF REQUEST: Development of RV and glamping park

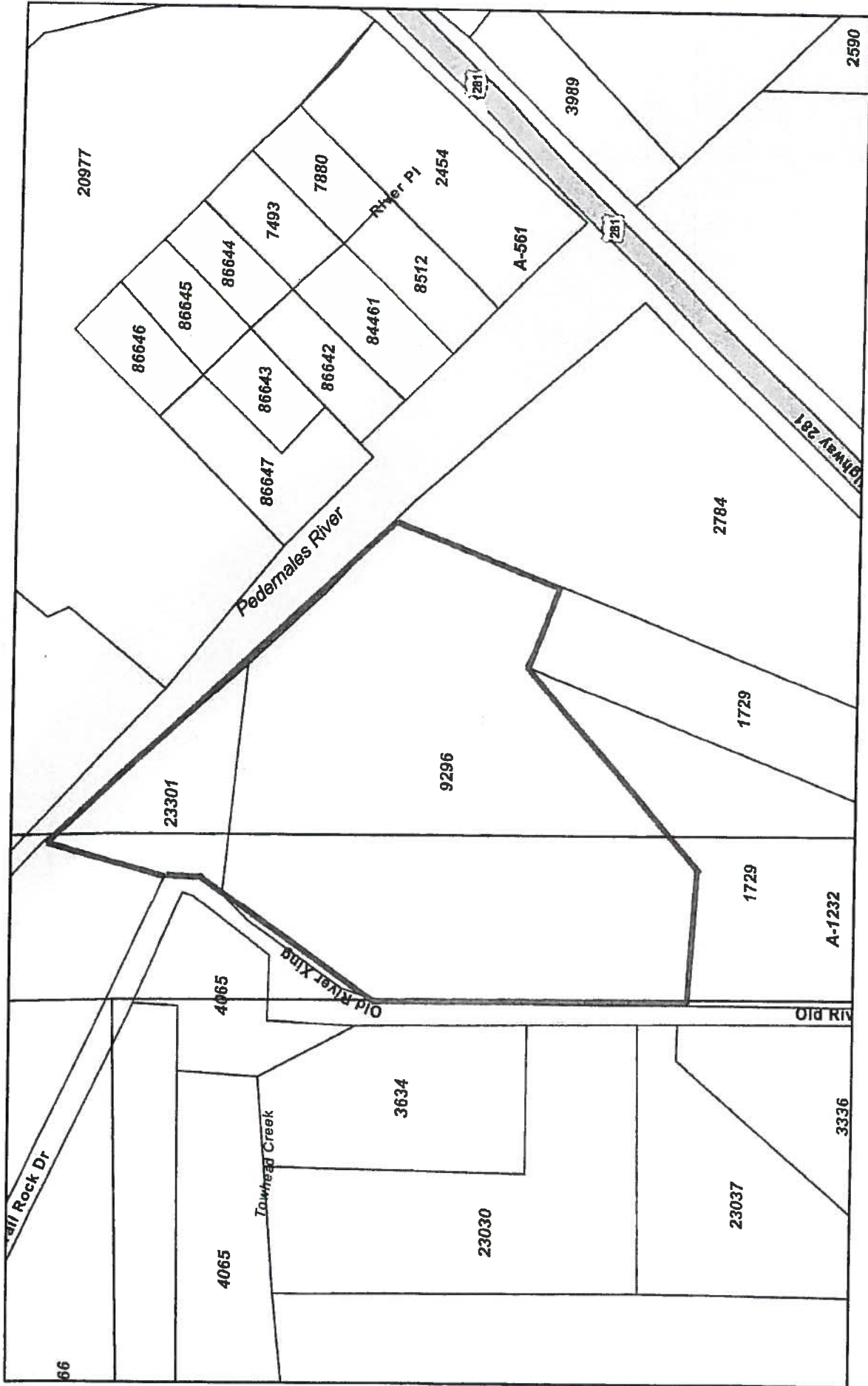
I hereby certify that I have read and examined this application and know the information I have provided to be true and correct. All provision of laws and ordinances governing this application will be complied with, whether specified herein or not. The granting of this zoning amendment or change does not presume to give authority to violate or cancel the provisions of any other local law regulating the use of the property.

[Signature]  
Applicant's Signature

1/24/22  
Date

Office Use Only:

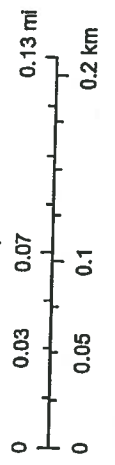
# BSL JCTX, LP



1/25/2022, 9:38:28 AM

- Parcels
- Abstracts

1:4,514



Earl Community Maps Contributors, Texas Parks & Wildlife, ©

Disclaimer: This product is for informational purposes only and has not been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of boundaries. Blanco County Appraisal District, BIS Consulting - www.bisconsulting.com









<p><b>GENERAL NOTES</b></p>	<p><b>GENERAL CONSTRUCTION</b></p>	<p><b>GENERAL NOTES</b></p>	<p><b>GENERAL NOTES</b></p>				
<p><b>GENERAL ITEMS</b></p> <ol style="list-style-type: none"> <li>1. Prior to any construction the Contractor shall be familiar with the Contract Documents and Specifications, the Plans (including all notes), The City of Johnson City Specifications and any other applicable standards or specifications relevant to the proper completion of the work specified. Failure on the part of the Contractor to be familiar with all Standard and Specifications pertaining to this work shall be no excuse for the Contractor's responsibility for performing the work in accordance with all applicable Standards and Specifications.</li> <li>2. Any work under contract shall be completed by 10:00 pm on Monday-Thursday and 12:00 pm on Friday-Saturday. A fee of \$150 per hour shall be assessed for any work performed on-site after 10:00 pm on Monday-Thursday and 12:00 pm on Friday-Saturday. A fee of \$150 per hour shall be assessed for any work performed on-site after 10:00 pm on Monday-Thursday and 12:00 pm on Friday-Saturday.</li> <li>3. Prior to construction, Contractor shall have in their possession all necessary permits, plans, fees, etc. Contractor shall have at least one set of approved Engineering Plans and Specifications on-site at all times.</li> <li>4. All work shall conform to the City of Johnson City Standard Design and Specification Manual, the most current Capital Area Council of Governments (CACOG) Standard Specifications for Public Works Construction shall apply with necessary modification to the City and Project Engineer. The City shall have the final decision on all construction methods, materials, and procedures.</li> <li>5. Construction items shall be performed by representatives of the Owner, Engineer, City, Inspector, etc. Contractor shall be responsible for understanding and adhering to all applicable specifications. Testing samples shall be collected and processed by certified technicians.</li> <li>6. All construction must conform to the City of Johnson City specifications and standards. Any deviation from these specifications shall be the responsibility of the Contractor.</li> <li>7. Deviation from the specifications shall be the responsibility of the Contractor. It will be the responsibility of the Contractor to protect all existing public and private utilities throughout the construction of this project. The Contractor shall be responsible for any damage to these utilities. The Contractor shall be responsible for any damage to these utilities. The Contractor shall be responsible for any damage to these utilities.</li> <li>8. All construction must conform to the City of Johnson City specifications and standards. Any deviation from these specifications shall be the responsibility of the Contractor.</li> <li>9. The Contractor shall be responsible for obtaining all necessary permits from the City of Johnson City. The Contractor shall be responsible for obtaining all necessary permits from the City of Johnson City.</li> <li>10. The Contractor shall be responsible for obtaining all necessary permits from the City of Johnson City. The Contractor shall be responsible for obtaining all necessary permits from the City of Johnson City.</li> <li>11. The Contractor shall be responsible for obtaining all necessary permits from the City of Johnson City. The Contractor shall be responsible for obtaining all necessary permits from the City of Johnson City.</li> <li>12. The Contractor shall be responsible for obtaining all necessary permits from the City of Johnson City. The Contractor shall be responsible for obtaining all necessary permits from the City of Johnson City.</li> </ol>	<p><b>TRAFFIC CONTROL</b></p> <ol style="list-style-type: none"> <li>1. When the normal function of the roadway is suspended through closure of any portion of the right-of-way, temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow shall be an integral element of every traffic control plan. All traffic control devices shall be in accordance with the latest T.M.U.T.C.D. Manual, 2011 Edition, published by the Texas Department of Transportation.</li> <li>2. Any traffic control plan not included in the engineering plan set must be submitted for review to the City of Johnson City. The City of Johnson City shall have the final decision on all traffic control plans. All traffic control plans must be approved by the City of Johnson City. The City of Johnson City shall have the final decision on all traffic control plans.</li> <li>3. The Contractor shall be responsible for maintaining all traffic control devices on an around-the-clock basis, whether or not work is active. Any deficiencies shall be corrected by the Contractor immediately, regardless of time of day.</li> <li>4. Lane closures will not be permitted on arterial roadways before 5:00 am or after 4:00 pm. Lane closures will not be permitted on all work at the job site for a minimum of 18 hours. The Contractor shall be responsible for maintaining all traffic control devices on an around-the-clock basis, whether or not work is active. Any deficiencies shall be corrected by the Contractor immediately, regardless of time of day.</li> <li>5. Lane closures will not be permitted on arterial roadways before 5:00 am or after 4:00 pm. Lane closures will not be permitted on all work at the job site for a minimum of 18 hours. The Contractor shall be responsible for maintaining all traffic control devices on an around-the-clock basis, whether or not work is active. Any deficiencies shall be corrected by the Contractor immediately, regardless of time of day.</li> <li>6. All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. When work is suspended for a period of time at the end of the workday, the Contractor shall be responsible for maintaining all traffic control devices on an around-the-clock basis, whether or not work is active. Any deficiencies shall be corrected by the Contractor immediately, regardless of time of day.</li> <li>7. Existing permanent signs removed by the contractor for construction purposes other than sign yield and street name signs shall be returned to the City of Johnson City. All sign, yield and street name signs removed shall be temporarily stored in the appropriate location (on the job site) until they can be returned to the City of Johnson City. The Contractor shall be responsible for maintaining all traffic control devices on an around-the-clock basis, whether or not work is active. Any deficiencies shall be corrected by the Contractor immediately, regardless of time of day.</li> <li>8. Any permanent sign or existing permanent markings that conflict with the approved traffic control plan shall be covered, obliterated, or removed as directed by the City.</li> <li>9. Access must be maintained to all drivers and side streets or as indicated in the traffic control plan.</li> </ol>	<p><b>RESTRICTIONS ACCESSIBILITY WITHIN PUBLIC ROW</b></p> <ol style="list-style-type: none"> <li>1. All newly constructed sidewalks, curb ramps and crosswalks installed within City of Johnson City public right-of-way shall be constructed a minimum of 48 inches wide and shall conform to the City of Johnson City Specifications for Public Right-of-Way, Section 10.01. The Contractor shall be responsible for maintaining all traffic control devices on an around-the-clock basis, whether or not work is active. Any deficiencies shall be corrected by the Contractor immediately, regardless of time of day.</li> <li>2. Curb ramps shall conform to all federal guidelines.</li> <li>3. Portable warning signs shall be pre-constructed prior to the start of construction. The Contractor shall be responsible for maintaining all traffic control devices on an around-the-clock basis, whether or not work is active. Any deficiencies shall be corrected by the Contractor immediately, regardless of time of day.</li> <li>4. The contractor shall provide a clear and safe route for pedestrians adjacent to the site for the duration of construction. A temporary pedestrian route shall be provided when any existing sidewalk is closed due to construction activity.</li> <li>5. Construction materials shall be kept off existing sidewalks and considered a mess within the City right-of-way, unless otherwise approved by the City.</li> <li>6. Sidewalks shall conform to all federal guidelines, but shall generally adhere to the following:       <ol style="list-style-type: none"> <li>a. Generally, follow the street grade with a maximum 2.0% cross-slope.</li> <li>b. Shall be free of any overhangs by landscaping or other items to height of 7.5 feet.</li> <li>c. Sidewalks shall maintain a continuous pedestrian access route through design through residential and commercial driveways.</li> </ol> </li> </ol>	<p><b>WATERS</b></p> <ol style="list-style-type: none"> <li>1. Use and grade stakes for construction of all water and sanitary sewer lines and services shall be furnished by the following:       <ol style="list-style-type: none"> <li>a. Private Development/Developer's engineer, surveyor or their designated representative.</li> <li>b. Capital Improvement Projects: The Contractor, unless specified otherwise in the contract.</li> </ol> </li> <li>2. Property lines and corners must be properly staked to verify the sewer line alignment. The City shall not be liable for improper alignment or delay of any kind caused by improper or inadequate surveying.</li> <li>3. All new water services shall be 1" minimum DN-9 (120 psi) HDPE poly pipe with FE2710 as specified in ASTM F714, from the service tap to the curb stop. 3/4-inch minimum compression fitting angle stop, and meter box, unless otherwise indicated on the plan. Curb stops will be located within the meter box and facing toward the lot. For single family residential services the minimum meter size is 1 1/2".</li> <li>4. Each meter box shall be located adjacent to the curb and installed after street pavement has been completed and shall be finished. Meter boxes shall be Capco Water and Meter Boxes. A 2" minimum diameter cleanout pipe shall be placed in the recess of the meter box.</li> <li>5. All water services shall be located along the lot lines. Single services shall be placed no more than 24" inside the service tap at the lot line.</li> <li>6. Detector probe embedment and sand shall be installed above all service connections.</li> <li>7. Each individual service location shall be served into the face of the curb with a (4) inch high "W" painted by the Contractor. If no curb exists, a rubber mark shall be placed in the pavement near the A/PVA Blue Poly Pipe. The rubber mark shall be placed in the pavement near the A/PVA Blue Poly Pipe. The rubber mark shall be placed in the pavement near the A/PVA Blue Poly Pipe.</li> <li>8. All water services shall be installed with 12-inch sand bed and around the pipe and 6 inches of sand over the top of the pipe. The sand shall be composed of 95% Standard Proctor density with a 4-1/2% wet of optimum moisture content.</li> <li>9. All 6", 8" and 12" water mains shall be AWWA C900 PVC pipe.</li> <li>10. Minimum cover shall be 4 feet for 6-inch to 8-inch lines, 5 feet for 12-inch lines and 6 feet for 24-inch and larger lines. Additional cover may be required in accordance to 80% of the pipe embedment requirements.</li> <li>11. All above-ground (flag) valves shall be two (2) inch and shall be provided in accordance with City of Johnson City standards and/or CACOG standards.</li> <li>12. Bidlet and nut for mechanical joints will be of a high-strength low-alloy corrosion resistant steel conforming to ASTM A323 (Type 3).</li> <li>13. All weather flanges shall be ductile iron. All 6" - 12" valves shall be AWWA approved millient wedge gate valves.</li> <li>14. In addition to third blocking, all flanges must be restrained and shall block the pipe.</li> <li>15. Valve stations shall be provided on all valves with operating nut greater than 5-1/2 below finished ground parking grade.</li> <li>16. Valve stations shall be provided on all valves with operating nut greater than 5-1/2 below finished ground parking grade.</li> <li>17. All valves shall be marked with a "W" by stenciling on the curb or pavement. The "W" shall be placed in the location of the valve as follows: If the valve is in the parking lot, the "W" shall be marked in the parking lot. If the valve is outside the parking lot, the "W" shall be marked on the curb. After clearing the street, the contractor shall apply one coat of A/PVA Blue Poly paint to mark the service symbol. NEST Rubber Seal Gate Valves shall conform to AWWA C900 or AWWA C151 Rubber Seal Gate Valves shall conform to AWWA C900. All valves shall have a 2" square operating nut and nut on the lid. All valves shall be labeled, color coded and blow-off valves.</li> <li>18. All valves shall be marked with a "W" by stenciling on the curb or pavement. 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All blocks and eyes shall be placed three (3) feet from the back of finished curbs and 6" from the face of the curb. All blocks and eyes shall be placed three (3) feet from the back of finished curbs and 6" from the face of the curb. All blocks and eyes shall be placed three (3) feet from the back of finished curbs and 6" from the face of the curb.</li> <li>4. Structural concrete used for storm water structures shall be in compliance with the latest version of the CACOG standards and specifications.</li> <li>5. Prior to final acceptance, all storm sewers shall be dechlorinated, flushed and cleared of any sediment and debris.</li> </ol>	<p><b>SANITARY SEWER</b></p> <ol style="list-style-type: none"> <li>1. Use and grade stakes for construction of all water and sanitary sewer lines and services shall be furnished by the following:       <ol style="list-style-type: none"> <li>a. Private Development/Developer's engineer, surveyor or their designated representative.</li> <li>b. Capital Improvement Projects: The Contractor, unless specified otherwise in the contract.</li> </ol> </li> <li>2. Property lines and corners must be properly staked to verify the sewer line alignment. The City shall not be liable for improper alignment or delay of any kind caused by improper or inadequate surveying.</li> <li>3. All new water services shall be 1" minimum DN-9 (120 psi) HDPE poly pipe with FE2710 as specified in ASTM F714, from the service tap to the curb stop. 3/4-inch minimum compression fitting angle stop, and meter box, unless otherwise indicated on the plan. Curb stops will be located within the meter box and facing toward the lot. For single family residential services the minimum meter size is 1 1/2".</li> <li>4. Each meter box shall be located adjacent to the curb and installed after street pavement has been completed and shall be finished. Meter boxes shall be Capco Water and Meter Boxes. 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After clearing the street, the contractor shall apply one coat of A/PVA Blue Poly paint to mark the service symbol. NEST Rubber Seal Gate Valves shall conform to AWWA C900 or AWWA C151 Rubber Seal Gate Valves shall conform to AWWA C900. All valves shall have a 2" square operating nut and nut on the lid. All valves shall be labeled, color coded and blow-off valves.</li> </ol>	<p><b>PAVING</b></p> <ol style="list-style-type: none"> <li>1. All sub-grade shall be verified by a professional engineer and submitted to the City Inspector one week before a scheduled pour. All designs are subject to approval by the City.</li> <li>2. All concrete paving shall have a minimum compressive strength of 4,000 psi, unless a higher compressive strength is specified.</li> <li>3. All fill shall be compacted to 95% Standard Proctor Density in a minimum of 6" (4" for backfill) lifts or per the approved Compaction Engineer Report. Subgrade shall extend 12" minimum behind the curb to a minimum of 6" thick and shall be three stabilized as recommended in the Compaction Report.</li> <li>4. All areas, fire lanes and alleys shall be placed on lime stabilized subgrade with lime content of not less than 6%. Lime stabilized subgrade shall be compacted to 95% of maximum standard proctor density (standard) within 12" to 18" of the surface.</li> <li>5. A site-specific density report must be presented to the City Inspector prior to paving. Densities are only valid for 72 hours. Densities received on a Friday are valid until noon on the following Monday. Densities taken before inclement weather may be required to be taken at 7 days, 2 at 28 days and the last cylinder being an cure.</li> <li>6. All concrete shall be placed on a prepared subgrade. All concrete shall be placed on a prepared subgrade. All concrete shall be placed on a prepared subgrade.</li> <li>7. Concrete joint and curb ramps shall have fabric installed to allow for expansion.</li> <li>8. Sewer joints shall be every 15 feet for 6" thick concrete and every 20 feet for 8" thick concrete. Expansion joints shall be placed at a maximum every 400 feet.</li> <li>9. All concrete shall be placed on a prepared subgrade. All concrete shall be placed on a prepared subgrade. All concrete shall be placed on a prepared subgrade.</li> <li>10. All concrete shall be placed on a prepared subgrade. All concrete shall be placed on a prepared subgrade. All concrete shall be placed on a prepared subgrade.</li> <li>11. All concrete shall be placed on a prepared subgrade. All concrete shall be placed on a prepared subgrade. All concrete shall be placed on a prepared subgrade.</li> <li>12. All concrete shall be placed on a prepared subgrade. All concrete shall be placed on a prepared subgrade. All concrete shall be placed on a prepared subgrade.</li> </ol>	<p><b>ERECTOR NOTES</b></p> <ol style="list-style-type: none"> <li>1. Fire hydrants shall be placed 3 feet from back of curb unless otherwise indicated on the plan, or as required to clear sidewalks. Fire hydrants shall not be located within a driveway.</li> <li>2. Fire hydrants shall be three-way, backbone type, no less than 5 1/2 inches in size and must conform to AWWA specifications C-502. They shall be Mueller, Clow or approved equal with all dimensions to bronze casting parts. Two 3/4-inch NPT hose connections are required. The 4.5-inch diameter stem connection shall be 4.800 pitch with 4 threads per inch. The hydrant shall be 16-inch P to F penstock and open lid. Mechanical joint connection is required. The stem nozzle shall face the fire lane, adjacent roadway or as directed by the Fire Department. Fire line extension (or approved equal) shall be placed in the center of the hydrant. The fire hydrant shall be painted with two coats of Tamco mastic epoxy paint. The hydrant shall be painted with two coats of Tamco mastic epoxy paint. The hydrant shall be painted with two coats of Tamco mastic epoxy paint.</li> <li>3. Fire hydrants shall be placed 3 feet from back of curb unless otherwise indicated on the plan, or as required to clear sidewalks. Fire hydrants shall not be located within a driveway.</li> <li>4. Fire hydrants shall be three-way, backbone type, no less than 5 1/2 inches in size and must conform to AWWA specifications C-502. They shall be Mueller, Clow or approved equal with all dimensions to bronze casting parts. Two 3/4-inch NPT hose connections are required. The 4.5-inch diameter stem connection shall be 4.800 pitch with 4 threads per inch. The hydrant shall be 16-inch P to F penstock and open lid. Mechanical joint connection is required. The stem nozzle shall face the fire lane, adjacent roadway or as directed by the Fire Department. Fire line extension (or approved equal) shall be placed in the center of the hydrant. The fire hydrant shall be painted with two coats of Tamco mastic epoxy paint. The hydrant shall be painted with two coats of Tamco mastic epoxy paint.</li> </ol>



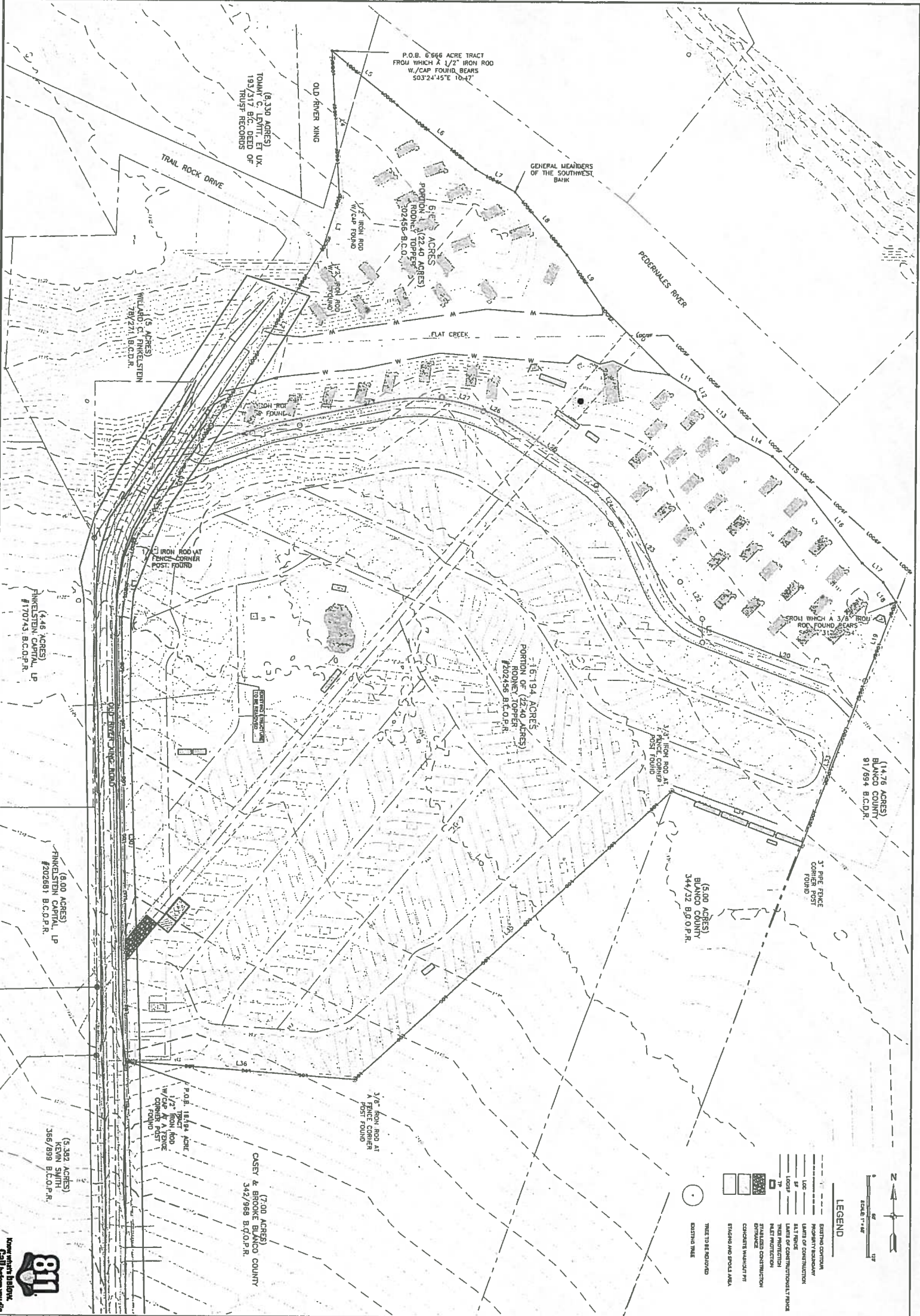
DATE: 12/20/2021  
 DRAWN BY: AMD  
 CHECKED BY: RBS  
 SHEET NO.: 2 of 13

JOHNSON CITY RV  
 OLD RIVER CROSSING  
 JOHNSON CITY, TX 76636

**GENERAL NOTES**

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF JOHNSON CITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF JOHNSON CITY.

**DODSON CIVIL GROUP**  
 361 MIDDLE CREEK DRIVE  
 BOUDA TX 78610-2763  
 FIRM # 20870



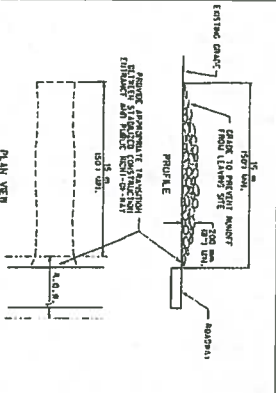
**811** HomeSmart Babylon Call before you dig

**JOHNSON CITY RV OLD RIVER CROSSING**  
JOHNSON CITY, TX 78638

**EROSION CONTROL PLAN**

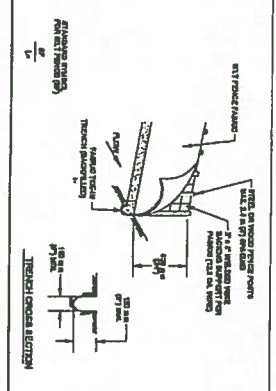
**DODSON CIVIL GROUP**  
361 MIDDLE CREEK DRIVE  
BUDA, TX 78610-2763  
FIRM # 20870

DATE: 12/20/2021  
DRAWN BY: AMD  
CHECKED BY: MNS  
SCALE: 3 of 13



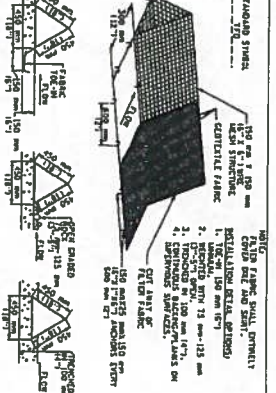
- NOTES:
1. STICK MATS: 12' x 12' or 12' x 17' 6" (12' x 17' 6" preferred).
  2. STICK MATS: 12' x 12' or 12' x 17' 6" (12' x 17' 6" preferred).
  3. STICK MATS: 12' x 12' or 12' x 17' 6" (12' x 17' 6" preferred).
  4. STICK MATS: 12' x 12' or 12' x 17' 6" (12' x 17' 6" preferred).
  5. STICK MATS: 12' x 12' or 12' x 17' 6" (12' x 17' 6" preferred).
  6. STICK MATS: 12' x 12' or 12' x 17' 6" (12' x 17' 6" preferred).
  7. STICK MATS: 12' x 12' or 12' x 17' 6" (12' x 17' 6" preferred).

**STABILIZED CONSTRUCTION ENTRANCE**



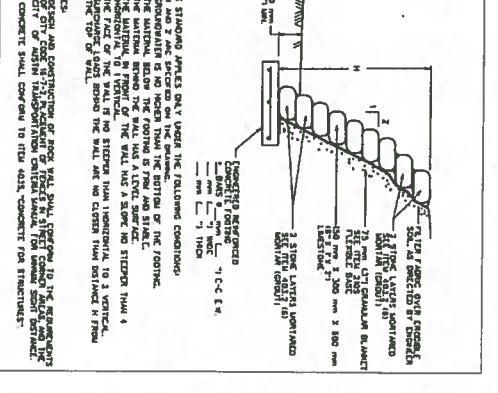
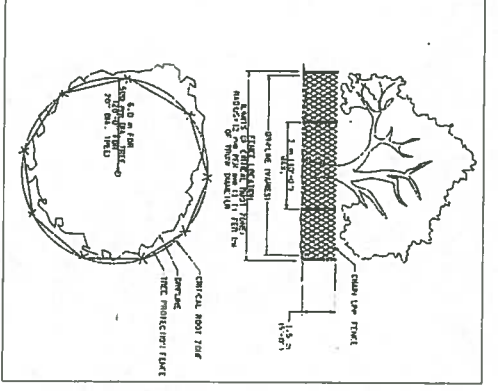
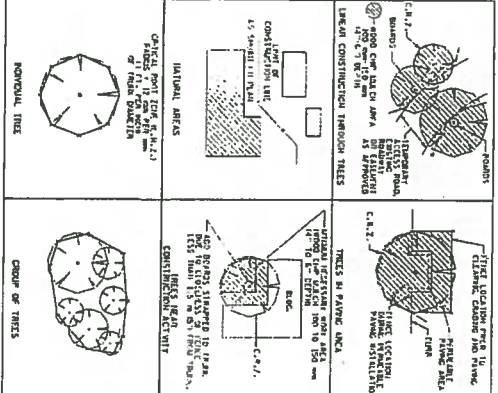
- NOTES:
1. SILT FENCE: 18" DEEP TRENCH WITH 12" WIDE SILT FENCE ON TOP.
  2. SILT FENCE: 18" DEEP TRENCH WITH 12" WIDE SILT FENCE ON TOP.
  3. SILT FENCE: 18" DEEP TRENCH WITH 12" WIDE SILT FENCE ON TOP.
  4. SILT FENCE: 18" DEEP TRENCH WITH 12" WIDE SILT FENCE ON TOP.
  5. SILT FENCE: 18" DEEP TRENCH WITH 12" WIDE SILT FENCE ON TOP.
  6. SILT FENCE: 18" DEEP TRENCH WITH 12" WIDE SILT FENCE ON TOP.
  7. SILT FENCE: 18" DEEP TRENCH WITH 12" WIDE SILT FENCE ON TOP.

**SILT FENCE**



- NOTES:
1. TRIANGULAR SEDIMENT FILTER: 12" x 12" x 12" FILTER.
  2. TRIANGULAR SEDIMENT FILTER: 12" x 12" x 12" FILTER.
  3. TRIANGULAR SEDIMENT FILTER: 12" x 12" x 12" FILTER.
  4. TRIANGULAR SEDIMENT FILTER: 12" x 12" x 12" FILTER.
  5. TRIANGULAR SEDIMENT FILTER: 12" x 12" x 12" FILTER.
  6. TRIANGULAR SEDIMENT FILTER: 12" x 12" x 12" FILTER.
  7. TRIANGULAR SEDIMENT FILTER: 12" x 12" x 12" FILTER.

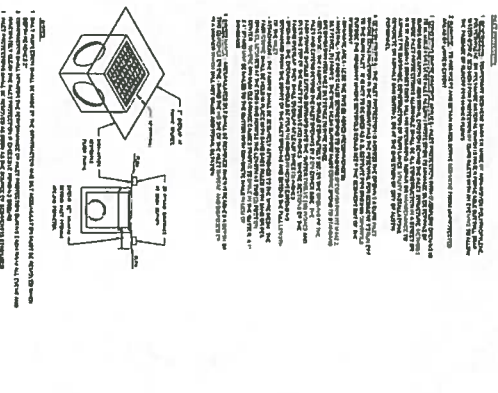
**TRIANGULAR SEDIMENT FILTER ONE**



**CONCRETE WALL FOR SLOPE PROTECTION**

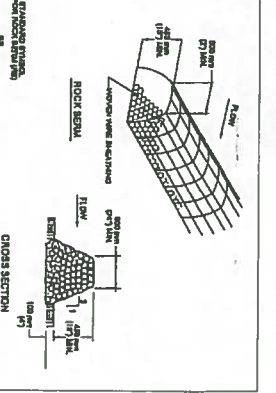
OR APPROVED EQUAL.

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
1	CONCRETE WALL	1	LINEAR FOOT	
2	CONCRETE WALL	1	LINEAR FOOT	
3	CONCRETE WALL	1	LINEAR FOOT	
4	CONCRETE WALL	1	LINEAR FOOT	
5	CONCRETE WALL	1	LINEAR FOOT	
6	CONCRETE WALL	1	LINEAR FOOT	
7	CONCRETE WALL	1	LINEAR FOOT	
8	CONCRETE WALL	1	LINEAR FOOT	
9	CONCRETE WALL	1	LINEAR FOOT	
10	CONCRETE WALL	1	LINEAR FOOT	



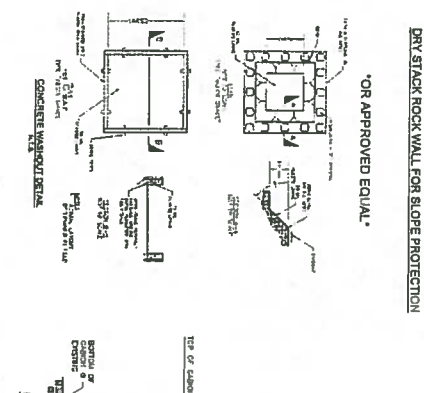
- NOTES:
1. ROCK BEAM: 12" x 12" x 12" BEAM.
  2. ROCK BEAM: 12" x 12" x 12" BEAM.
  3. ROCK BEAM: 12" x 12" x 12" BEAM.
  4. ROCK BEAM: 12" x 12" x 12" BEAM.
  5. ROCK BEAM: 12" x 12" x 12" BEAM.
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  8. ROCK BEAM: 12" x 12" x 12" BEAM.
  9. ROCK BEAM: 12" x 12" x 12" BEAM.
  10. ROCK BEAM: 12" x 12" x 12" BEAM.

**FILTER DIRT CURB INLET PROTECTION**



- NOTES:
1. ROCK BEAM: 12" x 12" x 12" BEAM.
  2. ROCK BEAM: 12" x 12" x 12" BEAM.
  3. ROCK BEAM: 12" x 12" x 12" BEAM.
  4. ROCK BEAM: 12" x 12" x 12" BEAM.
  5. ROCK BEAM: 12" x 12" x 12" BEAM.
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  8. ROCK BEAM: 12" x 12" x 12" BEAM.
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  10. ROCK BEAM: 12" x 12" x 12" BEAM.

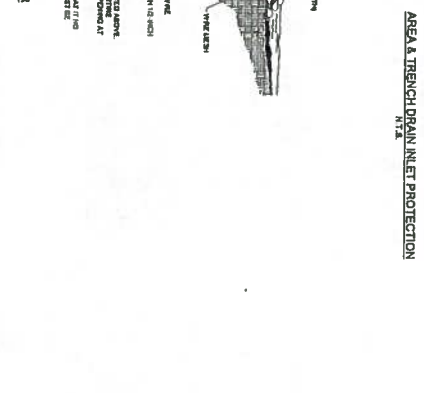
**ROCK BEAM**



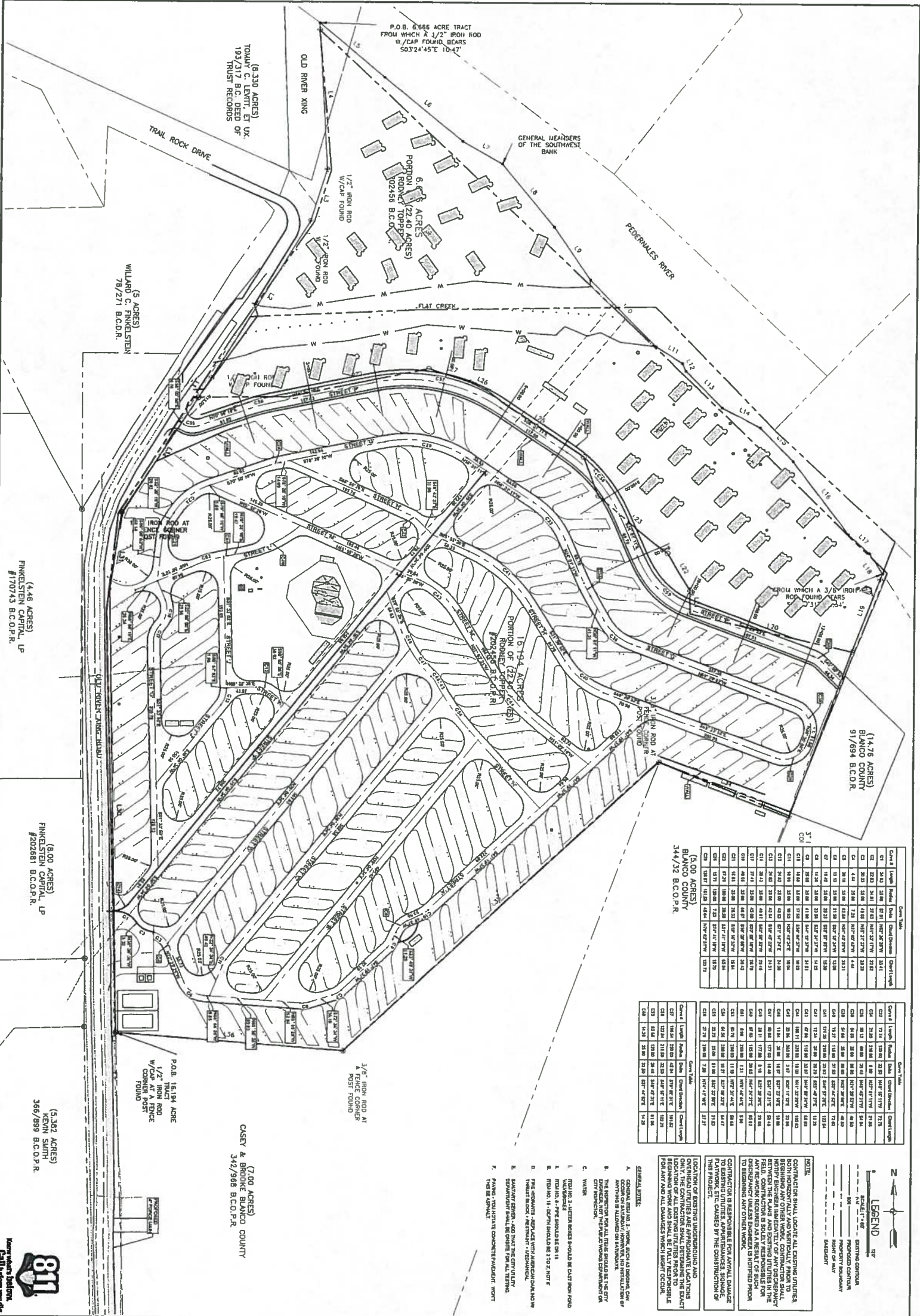
**CONCRETE WALL FOR SLOPE PROTECTION**

OR APPROVED EQUAL.

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
1	CONCRETE WALL	1	LINEAR FOOT	
2	CONCRETE WALL	1	LINEAR FOOT	
3	CONCRETE WALL	1	LINEAR FOOT	
4	CONCRETE WALL	1	LINEAR FOOT	
5	CONCRETE WALL	1	LINEAR FOOT	
6	CONCRETE WALL	1	LINEAR FOOT	
7	CONCRETE WALL	1	LINEAR FOOT	
8	CONCRETE WALL	1	LINEAR FOOT	
9	CONCRETE WALL	1	LINEAR FOOT	
10	CONCRETE WALL	1	LINEAR FOOT	

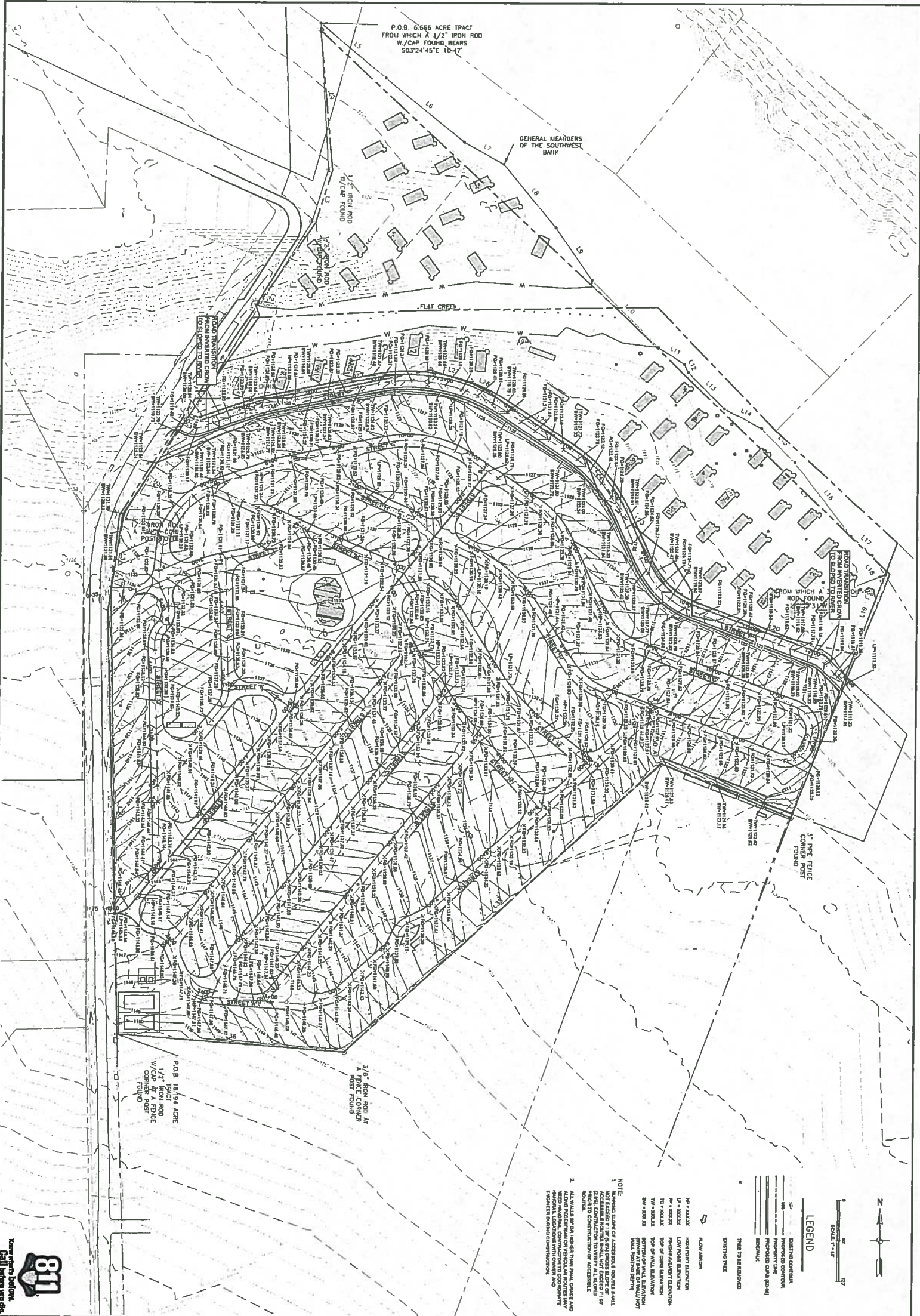


- NOTES:
1. ROCK BEAM: 12" x 12" x 12" BEAM.
  2. ROCK BEAM: 12" x 12" x 12" BEAM.
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  8. ROCK BEAM: 12" x 12" x 12" BEAM.
  9. ROCK BEAM: 12" x 12" x 12" BEAM.
  10. ROCK BEAM: 12" x 12" x 12" BEAM.



(5.00 ACRES)  
BLANCO COUNTY  
344/32 B.C.O.P.R.

Cont #	Length	Width	Area	Perimeter	Cont #	Length	Width	Area	Perimeter
C1	3.10	3.00	9.30	12.18	C11	1.00	1.00	1.00	2.83
C2	3.20	3.10	9.92	12.28	C12	1.10	1.10	1.21	2.94
C3	3.30	3.20	10.56	12.38	C13	1.20	1.20	1.44	3.05
C4	3.40	3.30	11.22	12.48	C14	1.30	1.30	1.69	3.16
C5	3.50	3.40	11.90	12.58	C15	1.40	1.40	1.96	3.27
C6	3.60	3.50	12.60	12.68	C16	1.50	1.50	2.25	3.38
C7	3.70	3.60	13.32	12.78	C17	1.60	1.60	2.56	3.49
C8	3.80	3.70	14.06	12.88	C18	1.70	1.70	2.89	3.60
C9	3.90	3.80	14.82	12.98	C19	1.80	1.80	3.24	3.71
C10	4.00	3.90	15.60	13.08	C20	1.90	1.90	3.61	3.82
C21	4.10	4.00	16.40	13.18	C22	2.00	2.00	4.00	3.93
C23	4.20	4.10	17.22	13.28	C23	2.10	2.10	4.41	4.04
C24	4.30	4.20	18.06	13.38	C24	2.20	2.20	4.84	4.15
C25	4.40	4.30	18.92	13.48	C25	2.30	2.30	5.29	4.26
C26	4.50	4.40	19.80	13.58	C26	2.40	2.40	5.76	4.37
C27	4.60	4.50	20.70	13.68	C27	2.50	2.50	6.25	4.48
C28	4.70	4.60	21.62	13.78	C28	2.60	2.60	6.76	4.59
C29	4.80	4.70	22.56	13.88	C29	2.70	2.70	7.29	4.70
C30	4.90	4.80	23.52	13.98	C30	2.80	2.80	7.84	4.81
C31	5.00	4.90	24.50	14.08	C31	2.90	2.90	8.41	4.92
C32	5.10	5.00	25.50	14.18	C32	3.00	3.00	9.00	5.03
C33	5.20	5.10	26.52	14.28	C33	3.10	3.10	9.61	5.14
C34	5.30	5.20	27.56	14.38	C34	3.20	3.20	10.24	5.25
C35	5.40	5.30	28.62	14.48	C35	3.30	3.30	10.89	5.36
C36	5.50	5.40	29.70	14.58	C36	3.40	3.40	11.56	5.47
C37	5.60	5.50	30.80	14.68	C37	3.50	3.50	12.25	5.58
C38	5.70	5.60	31.92	14.78	C38	3.60	3.60	12.96	5.69
C39	5.80	5.70	33.06	14.88	C39	3.70	3.70	13.69	5.80
C40	5.90	5.80	34.22	14.98	C40	3.80	3.80	14.44	5.91
C41	6.00	5.90	35.40	15.08	C41	3.90	3.90	15.21	6.02
C42	6.10	6.00	36.60	15.18	C42	4.00	4.00	16.00	6.13
C43	6.20	6.10	37.82	15.28	C43	4.10	4.10	16.81	6.24
C44	6.30	6.20	39.06	15.38	C44	4.20	4.20	17.64	6.35
C45	6.40	6.30	40.32	15.48	C45	4.30	4.30	18.49	6.46
C46	6.50	6.40	41.60	15.58	C46	4.40	4.40	19.36	6.57
C47	6.60	6.50	42.90	15.68	C47	4.50	4.50	20.25	6.68
C48	6.70	6.60	44.22	15.78	C48	4.60	4.60	21.16	6.79
C49	6.80	6.70	45.56	15.88	C49	4.70	4.70	22.09	6.90
C50	6.90	6.80	46.92	15.98	C50	4.80	4.80	23.04	7.01
C51	7.00	6.90	48.30	16.08	C51	4.90	4.90	24.01	7.12
C52	7.10	7.00	49.70	16.18	C52	5.00	5.00	25.00	7.23
C53	7.20	7.10	51.12	16.28	C53	5.10	5.10	26.01	7.34
C54	7.30	7.20	52.56	16.38	C54	5.20	5.20	27.04	7.45
C55	7.40	7.30	54.02	16.48	C55	5.30	5.30	28.09	7.56
C56	7.50	7.40	55.50	16.58	C56	5.40	5.40	29.16	7.67
C57	7.60	7.50	57.00	16.68	C57	5.50	5.50	30.25	7.78
C58	7.70	7.60	58.52	16.78	C58	5.60	5.60	31.36	7.89
C59	7.80	7.70	60.06	16.88	C59	5.70	5.70	32.49	8.00
C60	7.90	7.80	61.62	16.98	C60	5.80	5.80	33.64	8.11
C61	8.00	7.90	63.20	17.08	C61	5.90	5.90	34.81	8.22
C62	8.10	8.00	64.80	17.18	C62	6.00	6.00	36.00	8.33
C63	8.20	8.10	66.42	17.28	C63	6.10	6.10	37.21	8.44
C64	8.30	8.20	68.06	17.38	C64	6.20	6.20	38.44	8.55
C65	8.40	8.30	69.72	17.48	C65	6.30	6.30	39.69	8.66
C66	8.50	8.40	71.40	17.58	C66	6.40	6.40	40.96	8.77
C67	8.60	8.50	73.10	17.68	C67	6.50	6.50	42.25	8.88
C68	8.70	8.60	74.82	17.78	C68	6.60	6.60	43.56	8.99
C69	8.80	8.70	76.56	17.88	C69	6.70	6.70	44.89	9.10
C70	8.90	8.80	78.32	17.98	C70	6.80	6.80	46.24	9.21
C71	9.00	8.90	80.10	18.08	C71	6.90	6.90	47.61	9.32
C72	9.10	9.00	81.90	18.18	C72	7.00	7.00	49.00	9.43
C73	9.20	9.10	83.72	18.28	C73	7.10	7.10	50.41	9.54
C74	9.30	9.20	85.56	18.38	C74	7.20	7.20	51.84	9.65
C75	9.40	9.30	87.42	18.48	C75	7.30	7.30	53.29	9.76
C76	9.50	9.40	89.30	18.58	C76	7.40	7.40	54.76	9.87
C77	9.60	9.50	91.20	18.68	C77	7.50	7.50	56.25	9.98
C78	9.70	9.60	93.12	18.78	C78	7.60	7.60	57.76	10.09
C79	9.80	9.70	95.06	18.88	C79	7.70	7.70	59.29	10.20
C80	9.90	9.80	97.02	18.98	C80	7.80	7.80	60.84	10.31
C81	10.00	9.90	99.00	19.08	C81	7.90	7.90	62.41	10.42
C82	10.10	10.00	101.00	19.18	C82	8.00	8.00	64.00	10.53
C83	10.20	10.10	103.02	19.28	C83	8.10	8.10	65.61	10.64
C84	10.30	10.20	105.06	19.38	C84	8.20	8.20	67.24	10.75
C85	10.40	10.30	107.12	19.48	C85	8.30	8.30	68.89	10.86
C86	10.50	10.40	109.20	19.58	C86	8.40	8.40	70.56	10.97
C87	10.60	10.50	111.30	19.68	C87	8.50	8.50	72.25	11.08
C88	10.70	10.60	113.42	19.78	C88	8.60	8.60	73.96	11.19
C89	10.80	10.70	115.56	19.88	C89	8.70	8.70	75.69	11.30
C90	10.90	10.80	117.72	19.98	C90	8.80	8.80	77.44	11.41
C91	11.00	10.90	119.90	20.08	C91	8.90	8.90	79.21	11.52
C92	11.10	11.00	122.10	20.18	C92	9.00	9.00	81.00	11.63
C93	11.20	11.10	124.32	20.28	C93	9.10	9.10	82.81	11.74
C94	11.30	11.20	126.56	20.38	C94	9.20	9.20	84.64	11.85
C95	11.40	11.30	128.82	20.48	C95	9.30	9.30	86.49	11.96
C96	11.50	11.40	131.10	20.58	C96	9.40	9.40	88.36	12.07
C97	11.60	11.50	133.40	20.68	C97	9.50	9.50	90.25	12.18
C98	11.70	11.60	135.72	20.78	C98	9.60	9.60	92.16	12.29
C99	11.80	11.70	138.06	20.88	C99	9.70	9.70	94.09	12.40
C100	11.90	11.80	140.42	20.98	C100	9.80	9.80	96.04	12.51
C101	12.00	11.90	142.80	21.08	C101	9.90	9.90	98.01	12.62
C102	12.10	12.00	145.20	21.18	C102	10.00	10.00	100.00	12.73
C103	12.20	12.10	147.62	21.28	C103	10.10	10.10	102.01	12.84
C104	12.30	12.20	150.06	21.38	C104	10.20	10.20	104.04	12.95
C105	12.40	12.30	152.52	21.48	C105	10.30	10.30	106.09	13.06
C106	12.50	12.40	155.00	21.58	C106	10.40	10.40	108.16	13.17
C107	12.60	12.50	157.50	21.68	C107	10.50	10.50	110.25	13.28
C108	12.70	12.60	160.02	21.78	C108	10.60	10.60	112.36	13.39
C109	12.80	12.70	162.56	21.88	C109	10.70	10.70	114.49	13.50
C110	12.90	12.80	165.12	21.98	C110	10.80	10.80	116.64	13.61
C111	13.00	12.90	167.70	22.08	C111	10.90	10.90	118.81	13.72
C112	13.10	13.00	170.30	22.18	C112	11.00	11.00	121.00	13.83
C113	13.20	13.10	172.92	22.28	C113	11.10	11.10	123.21	13.94
C114	13.30	13.20	175.56	22.38	C114	11.20	11.20	125.44	14.05
C115	13.40	13.30	178.22	22.48	C115	11.30	11.30	127.69	14.16
C116	13.50	13.40	180.90	22.58	C116	11.40	11.40	129.96	14.27
C117	13.60	13.50	183.60	22.68	C117	11.50	11.50	132.25	14.38
C118	13.70	13.60	186.32	22.78	C118	11.60	11.60	134.56	14.49
C119	13.80	13.70	189.06	22.88	C119	11.70	11.70	136.89	14.60
C120	13.90	13.80	191.82	22.98	C120	11.80	11.80	139.24	14.71
C121	14.00	13.90	194.60	23.08	C121	11.90	11.90	141.61	14.82
C122	14.10	14.00	197.40	23.18	C122	12.00	12.00	144.00	14.93
C123	14.20	14.10	200.22	23.28	C123	12.10	12.10	146.41	15.04
C124	14.30	14.20	203.06	23.38	C124	12.20	12.20	148.84	15.15
C125	14.40	14.30	205.92	23.48	C125	12.30	12.30	151.29	15.26
C126	14.50	14.40	208.80	23.58	C126	12.40	12.40	153.76	15.37
C127	14.60	14.50	211.70	23.68	C127	12.50	12.50	156.25	15.48
C128	14.70	14.60	214.62	23.78	C128	12.60	12.60	158.76	15.59
C129	14.80	14.70	217.56	23.88	C129	12.70	12.70	161.29	15.70
C130	14.90	14.80	220.52	23.98	C130	12.80	12.80	163.84	15.81
C131	15.00	14.90	223.50	24.08	C131	12.90	12.90	166.41	15.92
C132	15.10	15.00	226.50	24.18	C132	13.00	13.00	169.00	16.03
C133	15.20	15.10	229.52	24.28	C133	13.10	13.10	171.61	16.14
C134	15.30	15.20	232.56	24.38	C134	13.20	13.20	174.24	16.25
C135	15.40	15.30	235.62	24.48	C135	13.30	13.30	176.89	16.36
C136	15.50	15.40	238.70	24.58	C136	13.40	13		



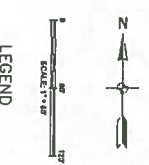
P.O.B. 6.566 ACRE TRACT  
FROM WHICH A 1/2" IPON ROD  
W/CAP FOUND BEARS  
5032445'E TD=47'

GENERAL MEANDERS  
OF THE SOUTHWEST  
BANK

FLAT CREEK

P.O.B. 16.194 ACRE  
1/2" IPON ROD  
W/CAP AT A FEROC  
CORNER POST  
FOUND

3/8" IPON ROD AT  
A FENCE CORNER  
FOUND



LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPERTY LINE
- PROPOSED CURB (24")
- SIDEWALK
- ROAD TO BE RELOCATED
- EXISTING WALK
- ROAD RIGHT-OF-WAY
- 4" SOULX
- 6" SOULX
- 8" SOULX
- 10" SOULX
- 12" SOULX
- 14" SOULX
- 16" SOULX
- 18" SOULX
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- 3000" SOULX

NOTE:  
1. FINISH GRADE OF ACCESSIBLE ROUTES SHALL NOT EXCEED 1% GRADE EXCEPT WHERE NECESSARY TO MAINTAIN EXISTING UTILITIES OR TO MAINTAIN EXISTING CONSTRUCTION TO REMAIN ACCESSIBLE.  
2. ALL WALKS SHALL BE FINISHED WITH CURBS AND SIDEWALKS TO BE RELOCATED TO MAINTAIN EXISTING UTILITIES AND SIDEWALKS TO REMAIN ACCESSIBLE.  
3. ALL WALKS SHALL BE FINISHED WITH CURBS AND SIDEWALKS TO BE RELOCATED TO MAINTAIN EXISTING UTILITIES AND SIDEWALKS TO REMAIN ACCESSIBLE.



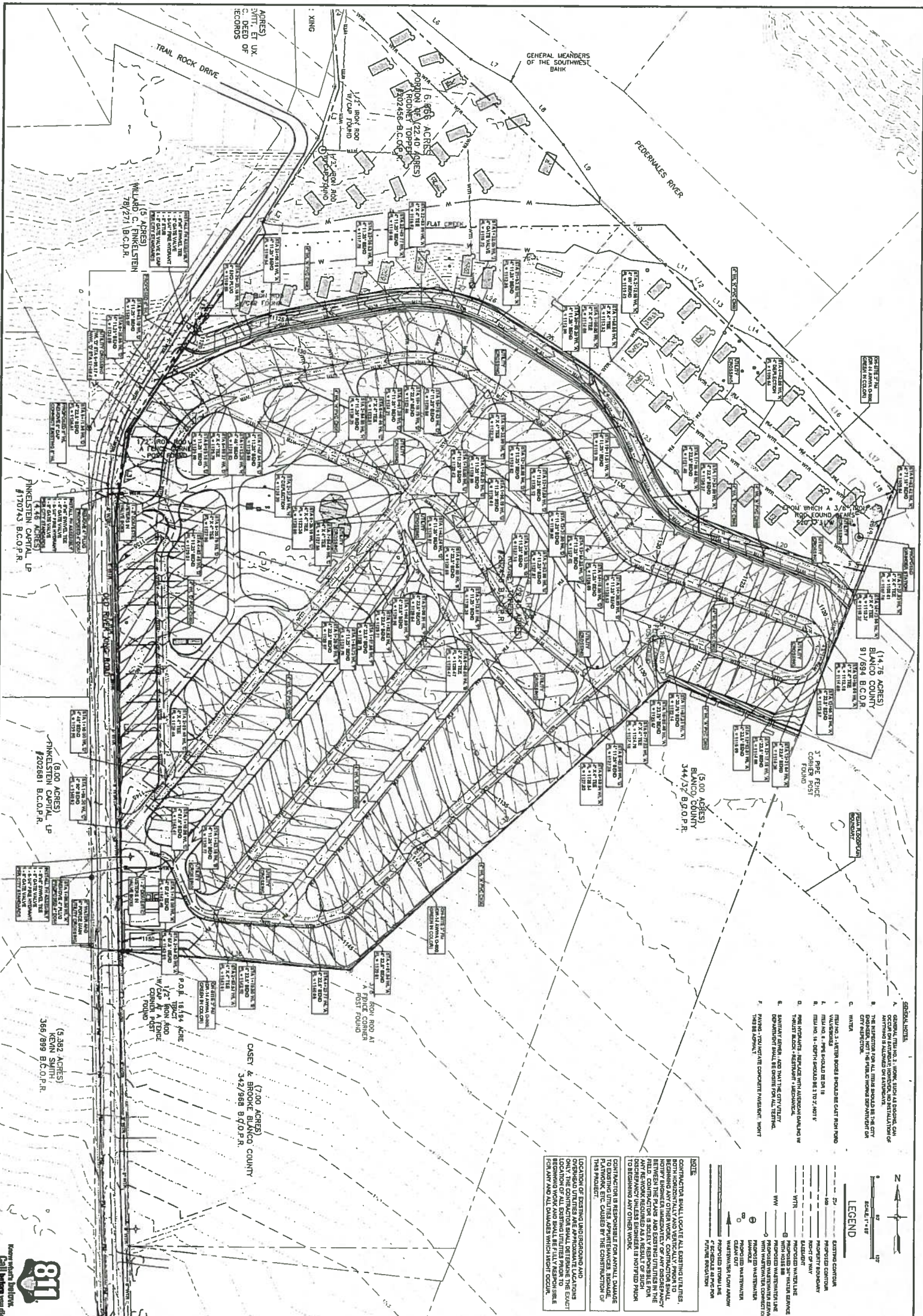
DATE	12/21/2021
PROJECT	JOHNSON CITY RV
CLIENT	AND
DESIGNER	NBS
SCALE	AS SHOWN
SHEET NO.	6 OF 13

JOHNSON CITY RV  
OLD RIVER CROSSING  
JOHNSON CITY, TX 78638

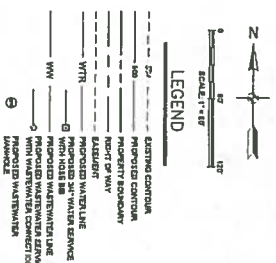
RV GRADING PLAN

NO.	DATE	DESCRIPTION
1	12/21/2021	ISSUED FOR PERMIT
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**DODSON CIVIL GROUP**  
361 MIDDLE CREEK DRIVE  
BUDA, TX, 78610-2763  
FRM # 20670



- GENERAL NOTES:**
- GENERAL UTILITY 3" WORK, SUCH AS SPOILING, CAN OCCUR BY EXISTING UTILITY LOCATIONS AND INSTALLATION OF NEW UTILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITY.
  - WATER
  - UTILITY NO. 3" WATER SHOULD BE CUT FROM ROAD
  - VALVE/BOXES SHOULD BE 10' FROM ROAD
  - UTILITY NO. 3" WATER SHOULD BE 10' FROM ROAD
  - PIPE MATERIALS: ALL PIPE SHALL BE 15" DIA. DUCTILE IRON PIPE WITH 15' MANHOLES WITH 15" DIA. DUCTILE IRON PIPE WITH 15' MANHOLES.
  - MANHOLE DEPTHS: ALL MANHOLES SHALL BE 4' DEEP UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITY.



**NOTE:**  
 CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY OTHER WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITY.

**JOHNSON CITY RV**  
 OLD RIVER CROSSING  
 JOHNSON CITY, TX 78636

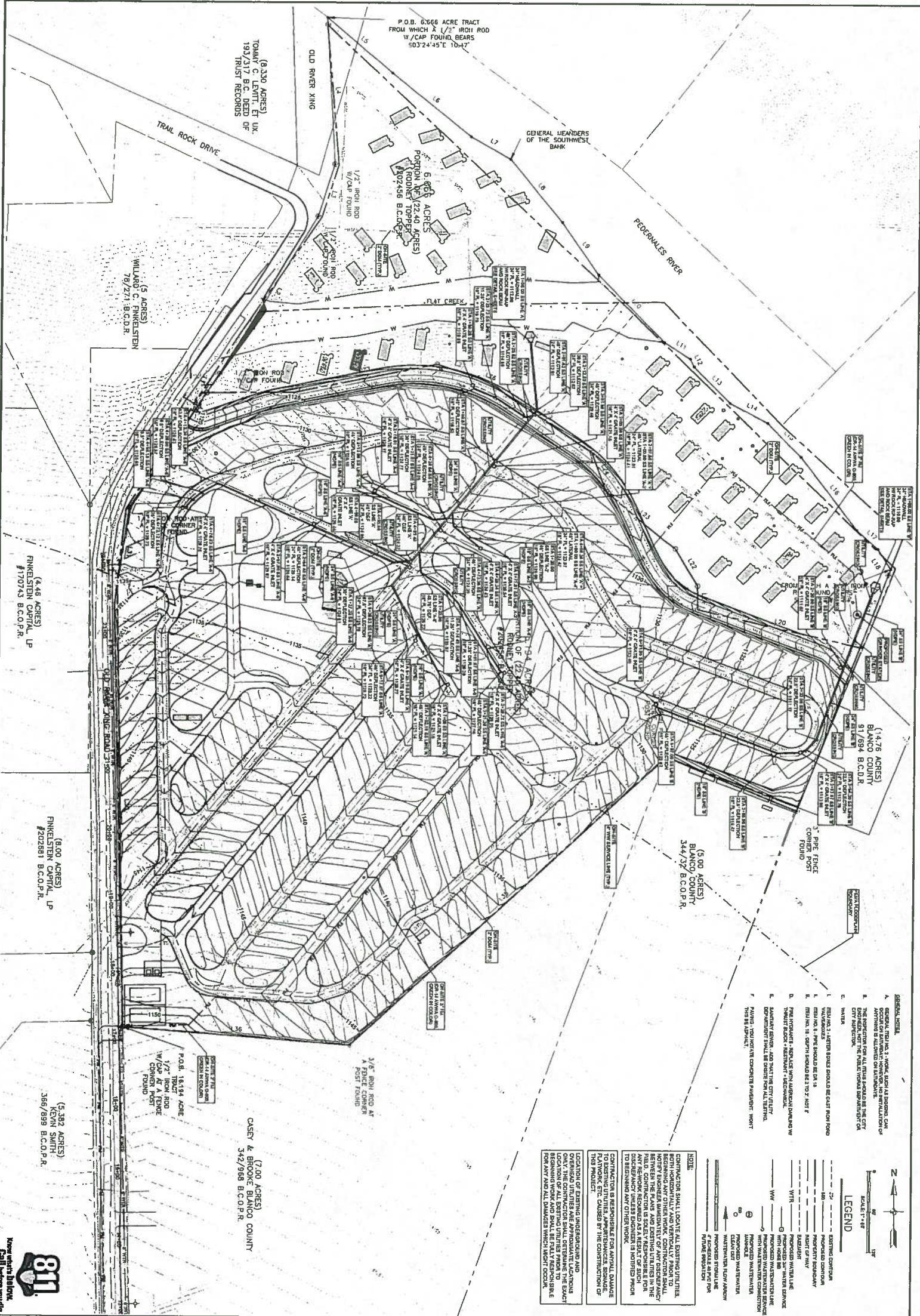
**WATER PLAN**

DATE: 12/29/2021  
 DRAWN BY: AMS  
 CHECKED BY: HNS  
 SCALE: 7/8" = 1'-0"

**DODSON CIVIL GROUP**  
 361 MIDDLE CREEK DRIVE  
 BUENA VISTA, TX 78610-2763  
 FIRM # 20670







- GENERAL NOTES**
1. GENERAL NOTES TO BE READ IN CONJUNCTION WITH THE CITY SPECIFICATIONS AND THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR WATER MAINS.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT.
  10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT.

**LEGEND**

- 12" - 18" EXISTING CONCRETE PIPE
- 18" - 24" EXISTING CONCRETE PIPE
- 24" - 30" EXISTING CONCRETE PIPE
- 30" - 36" EXISTING CONCRETE PIPE
- 36" - 42" EXISTING CONCRETE PIPE
- 42" - 48" EXISTING CONCRETE PIPE
- 48" - 54" EXISTING CONCRETE PIPE
- 54" - 60" EXISTING CONCRETE PIPE
- 60" - 66" EXISTING CONCRETE PIPE
- 66" - 72" EXISTING CONCRETE PIPE
- 72" - 78" EXISTING CONCRETE PIPE
- 78" - 84" EXISTING CONCRETE PIPE
- 84" - 90" EXISTING CONCRETE PIPE
- 90" - 96" EXISTING CONCRETE PIPE
- 96" - 102" EXISTING CONCRETE PIPE
- 102" - 108" EXISTING CONCRETE PIPE
- 108" - 114" EXISTING CONCRETE PIPE
- 114" - 120" EXISTING CONCRETE PIPE
- 120" - 126" EXISTING CONCRETE PIPE
- 126" - 132" EXISTING CONCRETE PIPE
- 132" - 138" EXISTING CONCRETE PIPE
- 138" - 144" EXISTING CONCRETE PIPE
- 144" - 150" EXISTING CONCRETE PIPE
- 150" - 156" EXISTING CONCRETE PIPE
- 156" - 162" EXISTING CONCRETE PIPE
- 162" - 168" EXISTING CONCRETE PIPE
- 168" - 174" EXISTING CONCRETE PIPE
- 174" - 180" EXISTING CONCRETE PIPE
- 180" - 186" EXISTING CONCRETE PIPE
- 186" - 192" EXISTING CONCRETE PIPE
- 192" - 198" EXISTING CONCRETE PIPE
- 198" - 204" EXISTING CONCRETE PIPE
- 204" - 210" EXISTING CONCRETE PIPE
- 210" - 216" EXISTING CONCRETE PIPE
- 216" - 222" EXISTING CONCRETE PIPE
- 222" - 228" EXISTING CONCRETE PIPE
- 228" - 234" EXISTING CONCRETE PIPE
- 234" - 240" EXISTING CONCRETE PIPE
- 240" - 246" EXISTING CONCRETE PIPE
- 246" - 252" EXISTING CONCRETE PIPE
- 252" - 258" EXISTING CONCRETE PIPE
- 258" - 264" EXISTING CONCRETE PIPE
- 264" - 270" EXISTING CONCRETE PIPE
- 270" - 276" EXISTING CONCRETE PIPE
- 276" - 282" EXISTING CONCRETE PIPE
- 282" - 288" EXISTING CONCRETE PIPE
- 288" - 294" EXISTING CONCRETE PIPE
- 294" - 300" EXISTING CONCRETE PIPE
- 300" - 306" EXISTING CONCRETE PIPE
- 306" - 312" EXISTING CONCRETE PIPE
- 312" - 318" EXISTING CONCRETE PIPE
- 318" - 324" EXISTING CONCRETE PIPE
- 324" - 330" EXISTING CONCRETE PIPE
- 330" - 336" EXISTING CONCRETE PIPE
- 336" - 342" EXISTING CONCRETE PIPE
- 342" - 348" EXISTING CONCRETE PIPE
- 348" - 354" EXISTING CONCRETE PIPE
- 354" - 360" EXISTING CONCRETE PIPE
- 360" - 366" EXISTING CONCRETE PIPE
- 366" - 372" EXISTING CONCRETE PIPE
- 372" - 378" EXISTING CONCRETE PIPE
- 378" - 384" EXISTING CONCRETE PIPE
- 384" - 390" EXISTING CONCRETE PIPE
- 390" - 396" EXISTING CONCRETE PIPE
- 396" - 402" EXISTING CONCRETE PIPE
- 402" - 408" EXISTING CONCRETE PIPE
- 408" - 414" EXISTING CONCRETE PIPE
- 414" - 420" EXISTING CONCRETE PIPE
- 420" - 426" EXISTING CONCRETE PIPE
- 426" - 432" EXISTING CONCRETE PIPE
- 432" - 438" EXISTING CONCRETE PIPE
- 438" - 444" EXISTING CONCRETE PIPE
- 444" - 450" EXISTING CONCRETE PIPE
- 450" - 456" EXISTING CONCRETE PIPE
- 456" - 462" EXISTING CONCRETE PIPE
- 462" - 468" EXISTING CONCRETE PIPE
- 468" - 474" EXISTING CONCRETE PIPE
- 474" - 480" EXISTING CONCRETE PIPE
- 480" - 486" EXISTING CONCRETE PIPE
- 486" - 492" EXISTING CONCRETE PIPE
- 492" - 498" EXISTING CONCRETE PIPE
- 498" - 504" EXISTING CONCRETE PIPE
- 504" - 510" EXISTING CONCRETE PIPE
- 510" - 516" EXISTING CONCRETE PIPE
- 516" - 522" EXISTING CONCRETE PIPE
- 522" - 528" EXISTING CONCRETE PIPE
- 528" - 534" EXISTING CONCRETE PIPE
- 534" - 540" EXISTING CONCRETE PIPE
- 540" - 546" EXISTING CONCRETE PIPE
- 546" - 552" EXISTING CONCRETE PIPE
- 552" - 558" EXISTING CONCRETE PIPE
- 558" - 564" EXISTING CONCRETE PIPE
- 564" - 570" EXISTING CONCRETE PIPE
- 570" - 576" EXISTING CONCRETE PIPE
- 576" - 582" EXISTING CONCRETE PIPE
- 582" - 588" EXISTING CONCRETE PIPE
- 588" - 594" EXISTING CONCRETE PIPE
- 594" - 600" EXISTING CONCRETE PIPE
- 600" - 606" EXISTING CONCRETE PIPE
- 606" - 612" EXISTING CONCRETE PIPE
- 612" - 618" EXISTING CONCRETE PIPE
- 618" - 624" EXISTING CONCRETE PIPE
- 624" - 630" EXISTING CONCRETE PIPE
- 630" - 636" EXISTING CONCRETE PIPE
- 636" - 642" EXISTING CONCRETE PIPE
- 642" - 648" EXISTING CONCRETE PIPE
- 648" - 654" EXISTING CONCRETE PIPE
- 654" - 660" EXISTING CONCRETE PIPE
- 660" - 666" EXISTING CONCRETE PIPE
- 666" - 672" EXISTING CONCRETE PIPE
- 672" - 678" EXISTING CONCRETE PIPE
- 678" - 684" EXISTING CONCRETE PIPE
- 684" - 690" EXISTING CONCRETE PIPE
- 690" - 696" EXISTING CONCRETE PIPE
- 696" - 702" EXISTING CONCRETE PIPE
- 702" - 708" EXISTING CONCRETE PIPE
- 708" - 714" EXISTING CONCRETE PIPE
- 714" - 720" EXISTING CONCRETE PIPE
- 720" - 726" EXISTING CONCRETE PIPE
- 726" - 732" EXISTING CONCRETE PIPE
- 732" - 738" EXISTING CONCRETE PIPE
- 738" - 744" EXISTING CONCRETE PIPE
- 744" - 750" EXISTING CONCRETE PIPE
- 750" - 756" EXISTING CONCRETE PIPE
- 756" - 762" EXISTING CONCRETE PIPE
- 762" - 768" EXISTING CONCRETE PIPE
- 768" - 774" EXISTING CONCRETE PIPE
- 774" - 780" EXISTING CONCRETE PIPE
- 780" - 786" EXISTING CONCRETE PIPE
- 786" - 792" EXISTING CONCRETE PIPE
- 792" - 798" EXISTING CONCRETE PIPE
- 798" - 804" EXISTING CONCRETE PIPE
- 804" - 810" EXISTING CONCRETE PIPE
- 810" - 816" EXISTING CONCRETE PIPE
- 816" - 822" EXISTING CONCRETE PIPE
- 822" - 828" EXISTING CONCRETE PIPE
- 828" - 834" EXISTING CONCRETE PIPE
- 834" - 840" EXISTING CONCRETE PIPE
- 840" - 846" EXISTING CONCRETE PIPE
- 846" - 852" EXISTING CONCRETE PIPE
- 852" - 858" EXISTING CONCRETE PIPE
- 858" - 864" EXISTING CONCRETE PIPE
- 864" - 870" EXISTING CONCRETE PIPE
- 870" - 876" EXISTING CONCRETE PIPE
- 876" - 882" EXISTING CONCRETE PIPE
- 882" - 888" EXISTING CONCRETE PIPE
- 888" - 894" EXISTING CONCRETE PIPE
- 894" - 900" EXISTING CONCRETE PIPE
- 900" - 906" EXISTING CONCRETE PIPE
- 906" - 912" EXISTING CONCRETE PIPE
- 912" - 918" EXISTING CONCRETE PIPE
- 918" - 924" EXISTING CONCRETE PIPE
- 924" - 930" EXISTING CONCRETE PIPE
- 930" - 936" EXISTING CONCRETE PIPE
- 936" - 942" EXISTING CONCRETE PIPE
- 942" - 948" EXISTING CONCRETE PIPE
- 948" - 954" EXISTING CONCRETE PIPE
- 954" - 960" EXISTING CONCRETE PIPE
- 960" - 966" EXISTING CONCRETE PIPE
- 966" - 972" EXISTING CONCRETE PIPE
- 972" - 978" EXISTING CONCRETE PIPE
- 978" - 984" EXISTING CONCRETE PIPE
- 984" - 990" EXISTING CONCRETE PIPE
- 990" - 996" EXISTING CONCRETE PIPE
- 996" - 1002" EXISTING CONCRETE PIPE

**JOHNSON CITY RV OLD RIVER CROSSING JOHNSON CITY, TX 78636**

**STORM PLAN**

**DODSON CIVIL GROUP**  
361 MIDDLE CREEK DRIVE  
BUENA VISTA, TX 78610-2761  
FIRM # 20870

**811**  
Houston Utility Database  
Call before you dig

**DATE:** 12/20/2021  
**DRAWN BY:** AMD  
**CHECKED BY:** NMS  
**SCALE:** 1" = 10'  
**SHEET NO.:** 9 of 13

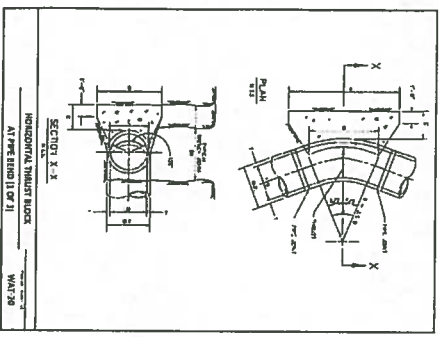
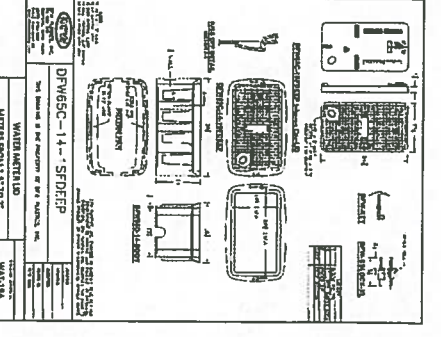
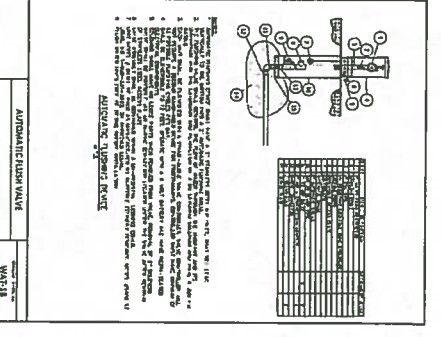
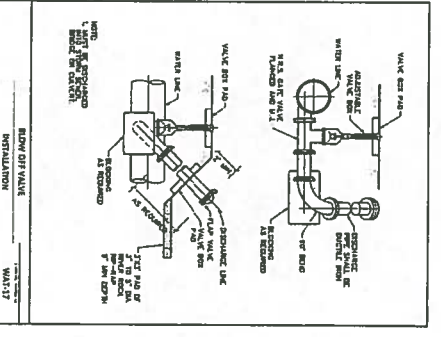
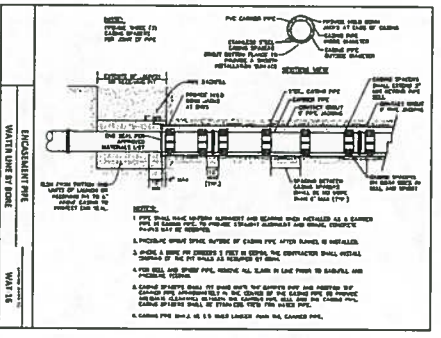
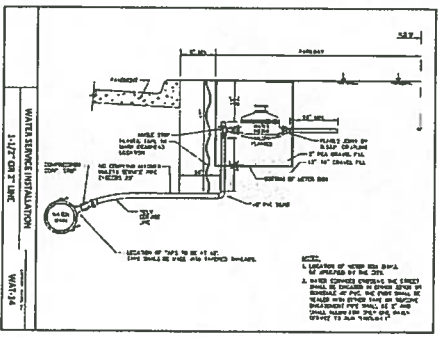
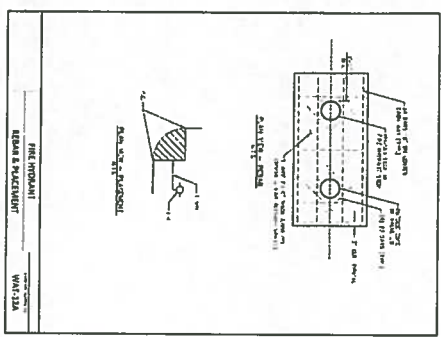
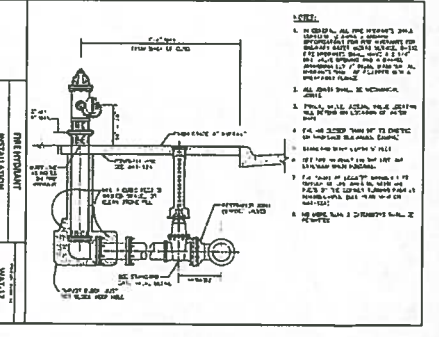
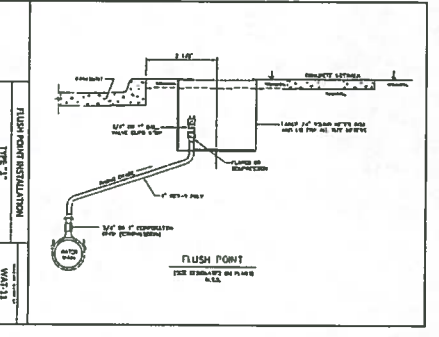
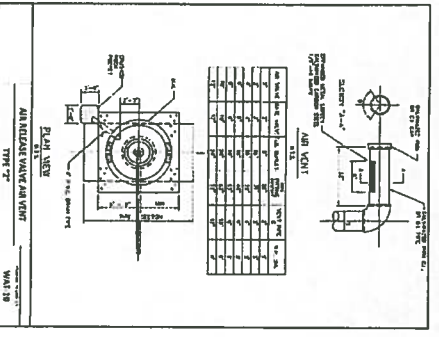
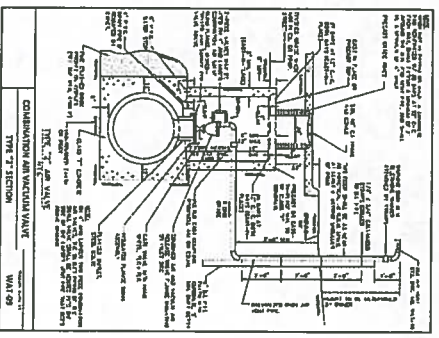
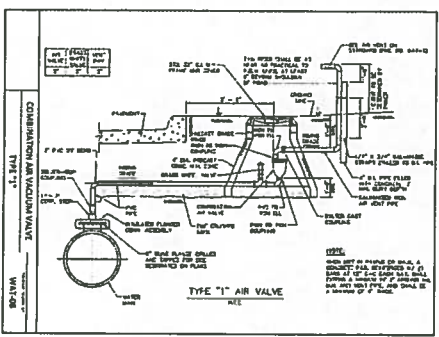
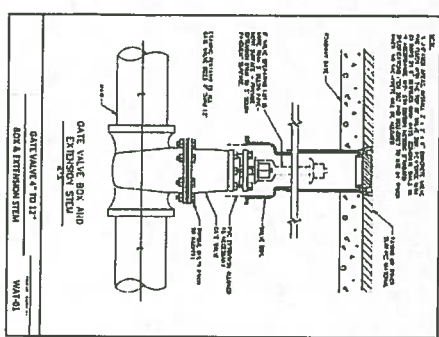


TABLE OF DIMENSIONS AND QUANTITIES

ITEM NO.	DESCRIPTION	QUANTITY	UNIT
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TABLE OF DIMENSIONS AND QUANTITIES

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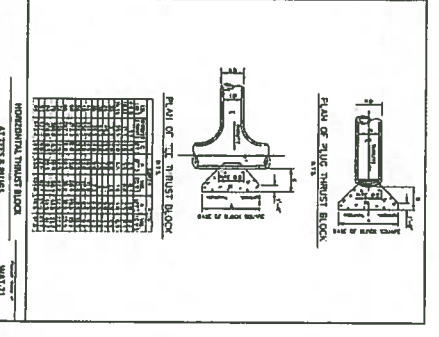
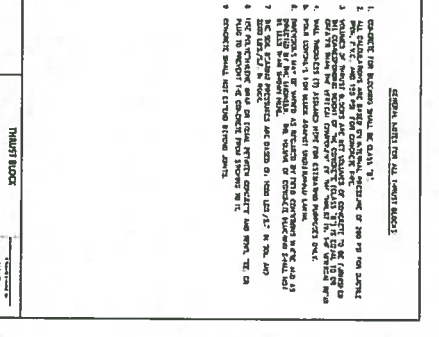
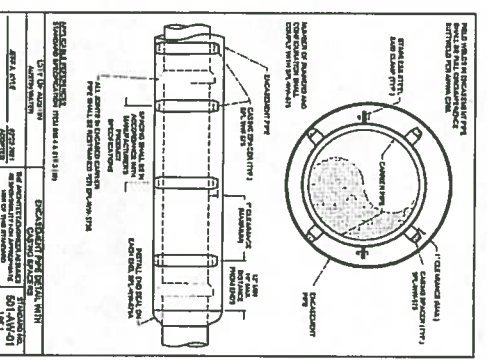
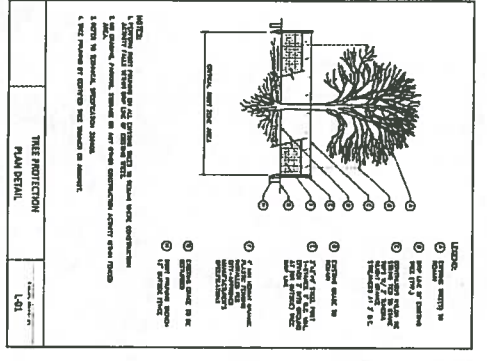
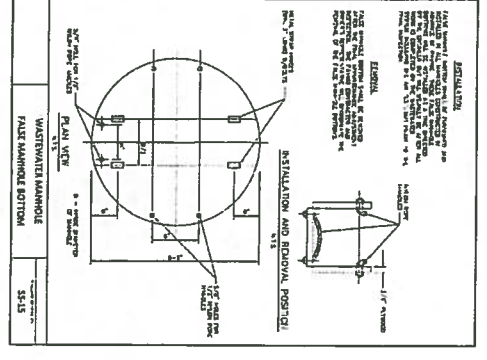
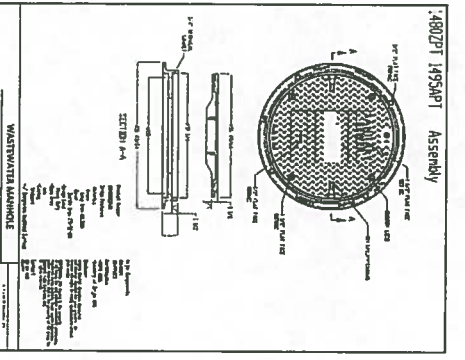
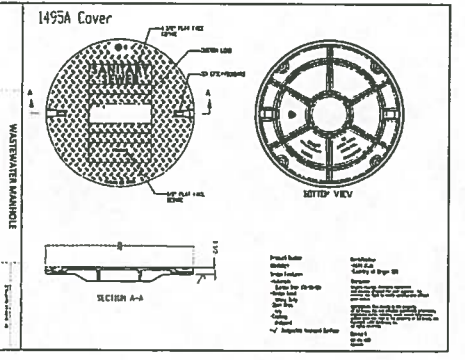
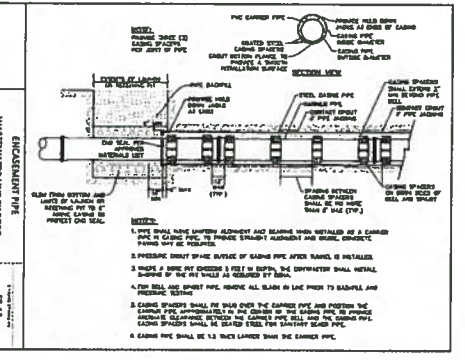
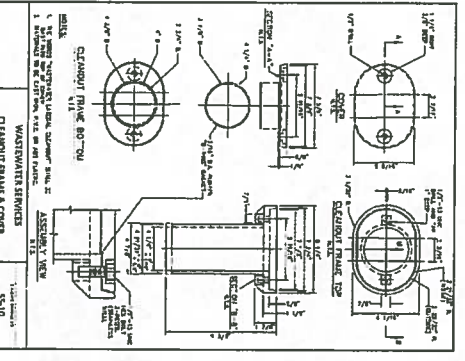
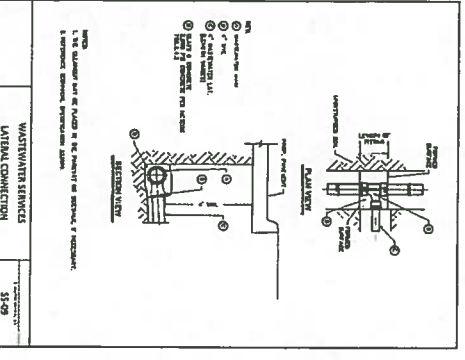
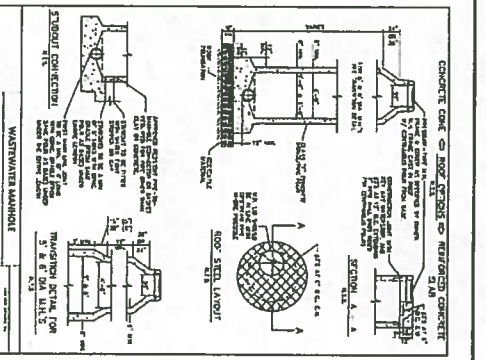
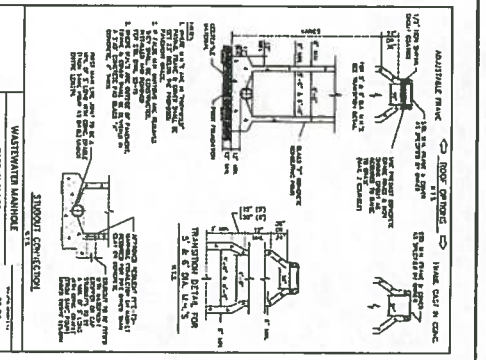
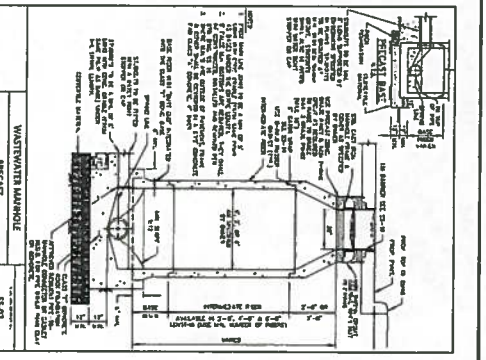
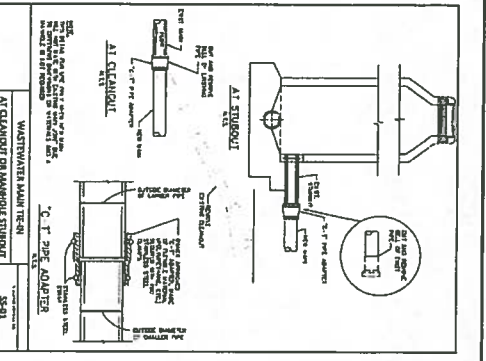
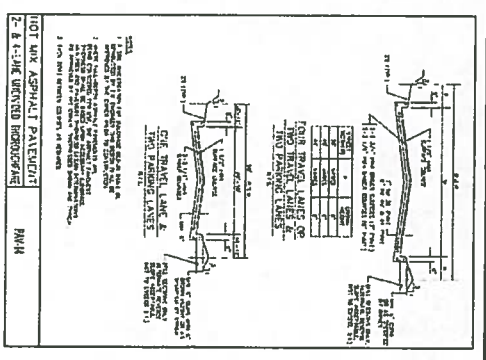


TABLE OF DIMENSIONS AND QUANTITIES

ITEM NO.	DESCRIPTION	QUANTITY	UNIT
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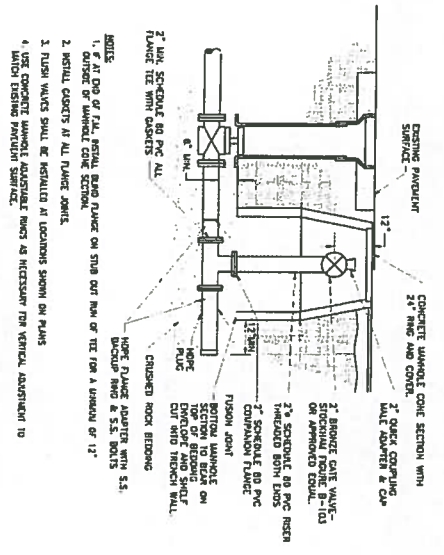


DATE: 11/20/2021  
 CHECKED BY: AND  
 DRAWN BY: HBS  
 SHEET NO.: 11 OF 13

JOHNSON CITY RV  
 OLD RIVER CROSSING  
 JOHNSON CITY, TX 78636

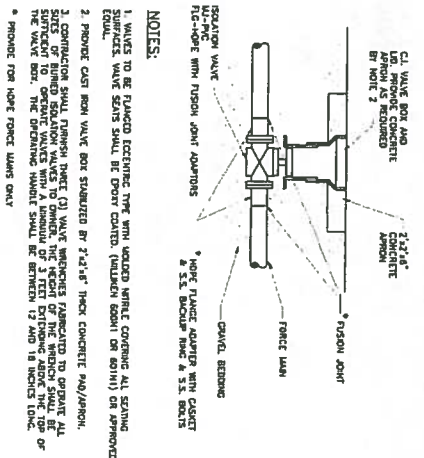
**DETAILS SHEET 2**

**DODSON CIVIL GROUP**  
 361 MIDDLE CREEK DRIVE  
 BUDA, TX 78610 2763  
 FIRM # 20870



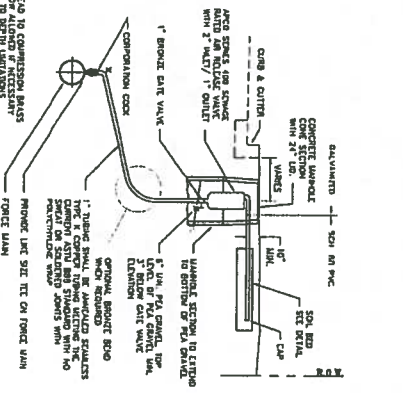
- NOTES:**
1. 2" AT DIA OF PIP, METAL BAND FLANGE ON THIS OUT SIDE OF THE TOP 4" SECTION OF 12"
  2. METAL BANDS AT ALL FLANGE JOINTS
  3. FLUSH VALVES SHALL BE INSTALLED AT LOCATIONS SHOWN ON PLANS
  4. USE CONCRETE WALKWAY ADAPTER RINGS AS NECESSARY FOR VERTICAL ALIGNMENT TO EXISTING PAVEMENT SURFACE.

**FLUSH VALVE DETAIL WITH HOPE COMPONENTS**  
NO SCALE



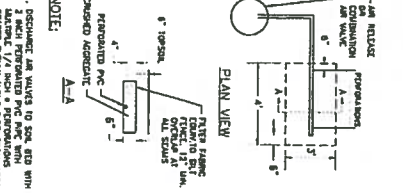
- NOTES:**
1. VALVES TO BE PLACED EXCEPTIVE TYPE WITH WELDED WELLS COVERING ALL EXPOSED ENDS.
  2. VALVE SOLETS SHALL BE DRY CONTACT. (VALVE BOTTOM ON BOTTOM) ON APPROVED EQUAL.
  3. PROVIDE CAST IRON VALVE BOX SIZED BY 2" DIA. THICK CONCRETE PAD/JOINT.
  4. CONNECTION SHALL FORMER (2) VALVE WELLS REINFORCED TO SUPPORT ALL SURFACE TO OPERATE VALVES WITH A MINIMUM OF 3" TIE DISTRIBUTION ABOVE THE TOP OF THE VALVE BOX. THE OPERATING HANDLE SHALL BE BETWEEN 12" AND 18" INCHES LONG.
  5. PROVIDE FOR HOPE FORCE MAINS ONLY.

**FORCE MAIN ISOLATION VALVE DETAIL**  
NO SCALE



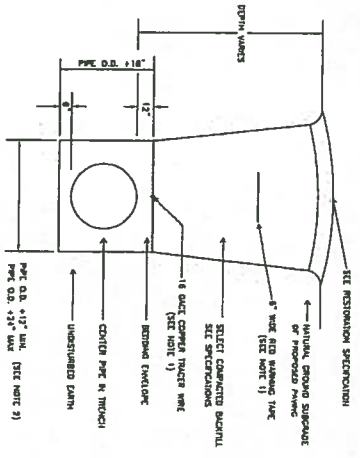
- NOTES:**
1. TUBING SHALL BE ANNEALED SQUARES SHALL BE SIZED TO FIT THE VALVE.
  2. TUBING SHALL BE ANNEALED SQUARES SHALL BE SIZED TO FIT THE VALVE.
  3. TUBING SHALL BE ANNEALED SQUARES SHALL BE SIZED TO FIT THE VALVE.
  4. TUBING SHALL BE ANNEALED SQUARES SHALL BE SIZED TO FIT THE VALVE.

**COMBINATION AIR RELEASE VALVE INSTALLATION**  
NO SCALE

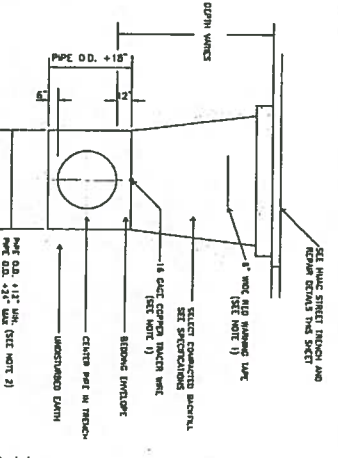


- NOTE:**
1. FORMER USE VALVES TO BE 2\"/>

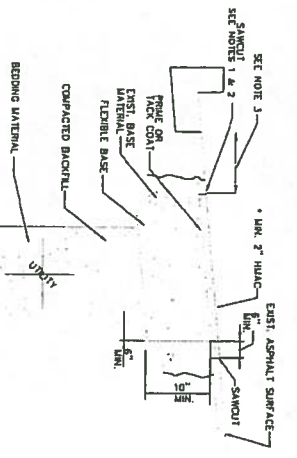
**SOIL BED DETAIL**  
NO SCALE



**TYPICAL TRENCH DETAIL FOR UNPAVED SURFACES**  
NO SCALE



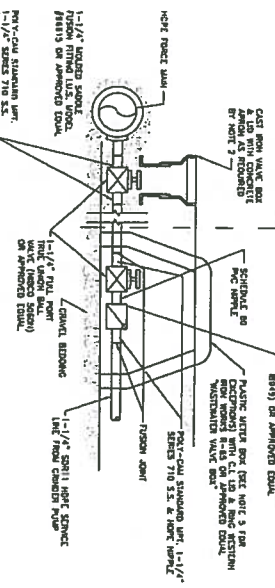
**TYPICAL TRENCH WITH PAVED SURFACE**  
NO SCALE



**HMA/C STREET TRENCH AND REPAIR**  
NO SCALE

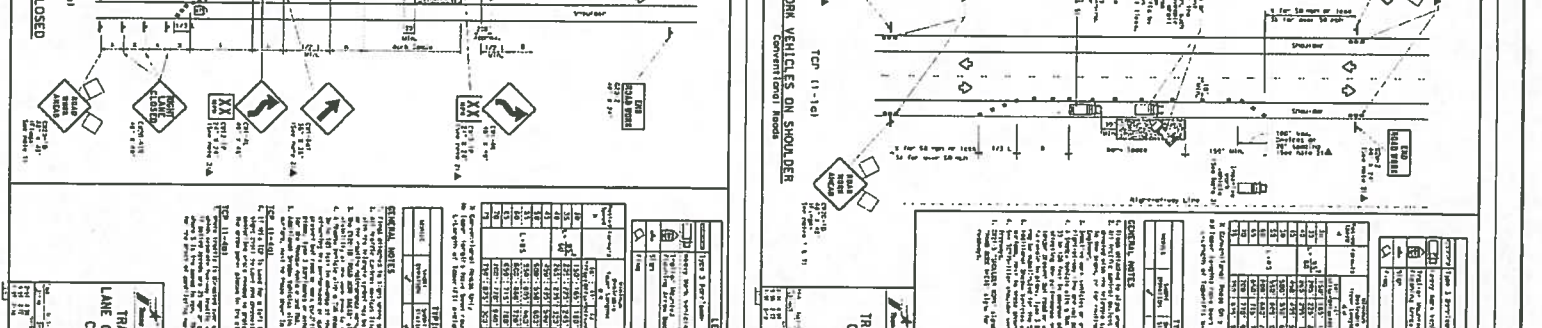
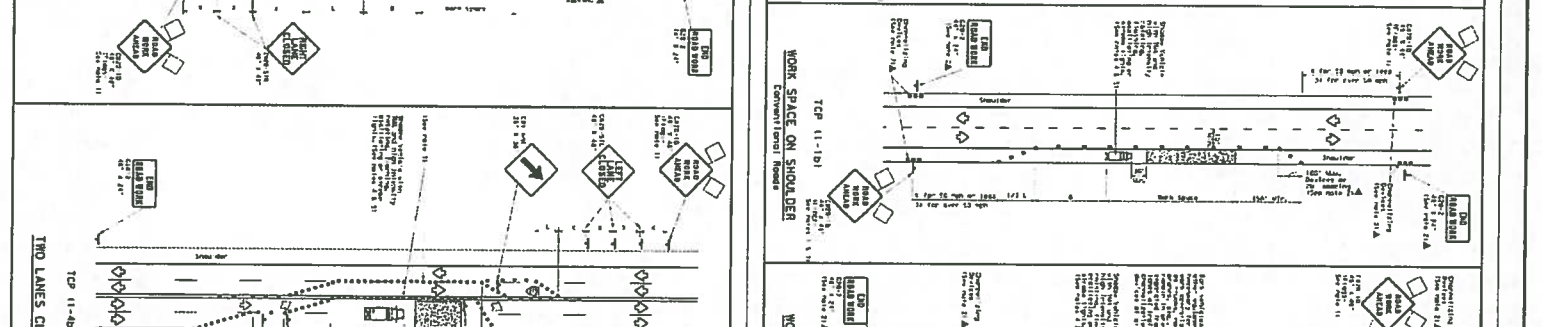
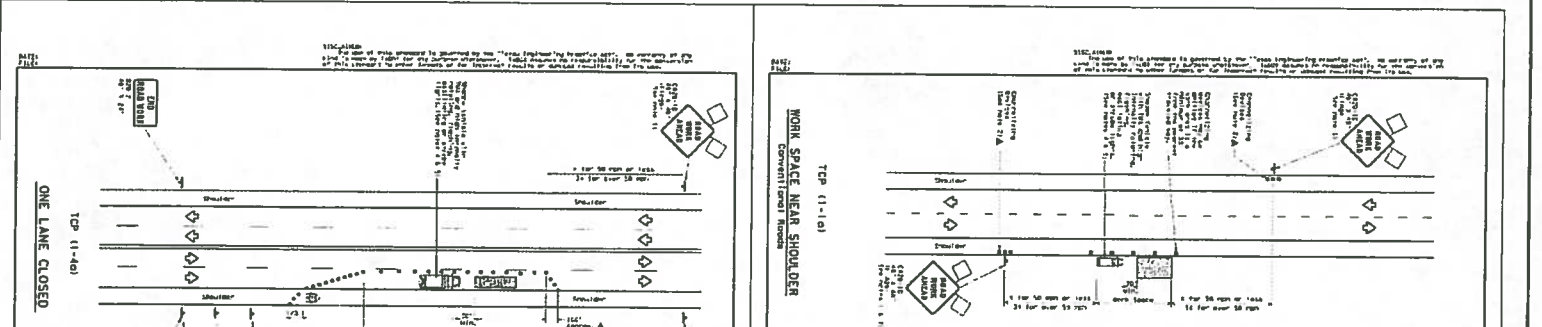
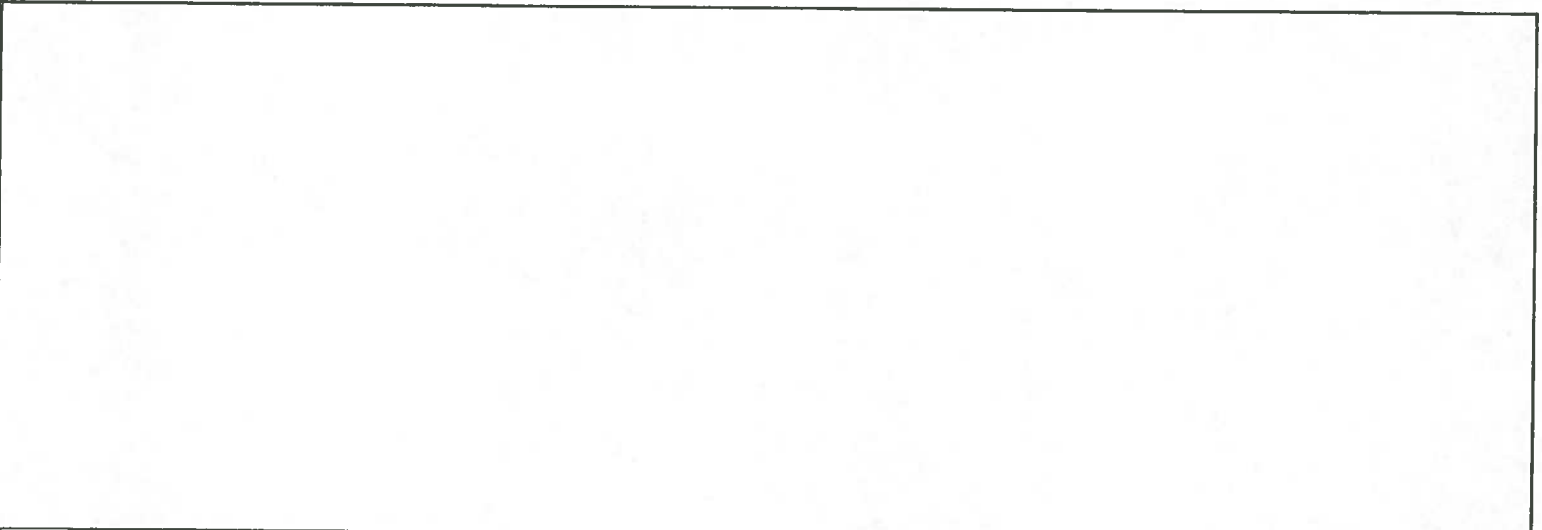
- NOTES:**
1. THE EXISTING PAVED SURFACE SHALL BE 2\"/>

- TRENCH NOTES:**
1. PROVIDE 2\"/>



**TYPICAL GRINDER PUMP DISCHARGE SERVICE CONNECTION TO HOPE FORCE MAIN**  
NO SCALE

- NOTES:**
1. THE CONNECTION TO FORCE MAIN, METAL WELLS, SHALL BE 2\"/>



**TRAFFIC CONTROL PLAN**  
CONVENTIONAL ROAD SHOULDER WORK  
TCP 11-11-18

**LEGEND**

Symbol	Description
▲	Work Area
▲	Work Vehicle
▲	Work Area
▲	Work Vehicle
▲	Work Area
▲	Work Vehicle

**TRAFFIC CONTROL PLAN**  
LANE CLOSURES ON MULTILANE CONVENTIONAL ROADS  
TCP 11-41-18

**LEGEND**

Symbol	Description
▲	Work Area
▲	Work Vehicle
▲	Work Area
▲	Work Vehicle
▲	Work Area
▲	Work Vehicle

**TRAFFIC CONTROL PLAN**  
CONVENTIONAL ROAD SHOULDER WORK  
TCP 11-11-18

**LEGEND**

Symbol	Description
▲	Work Area
▲	Work Vehicle
▲	Work Area
▲	Work Vehicle
▲	Work Area
▲	Work Vehicle

**TRAFFIC CONTROL PLAN**  
LANE CLOSURES ON MULTILANE CONVENTIONAL ROADS  
TCP 11-41-18

**LEGEND**

Symbol	Description
▲	Work Area
▲	Work Vehicle
▲	Work Area
▲	Work Vehicle
▲	Work Area
▲	Work Vehicle

JOHNSON CITY RV  
OLD RIVER CROSSING  
JOHNSON CITY, TX 78636

**TRAFFIC CONTROL PLAN**

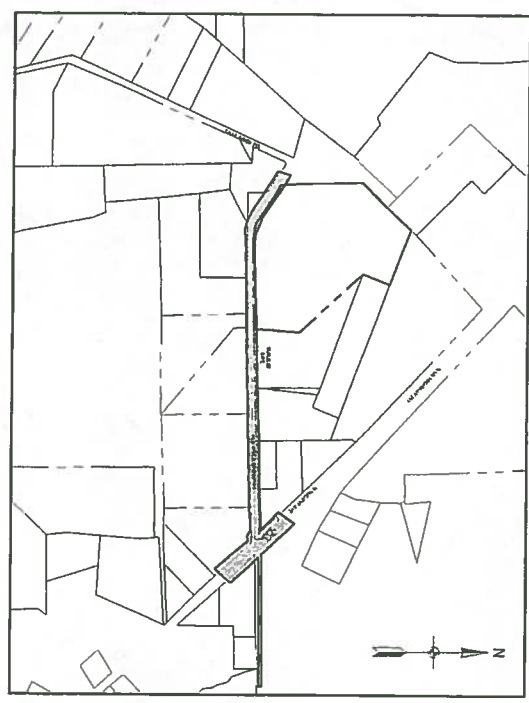
**DODSON CIVIL GROUP**  
361 MIDDLE CREEK DRIVE  
BUDA, TX 78610-2763  
FIRM # 20870

DATE: 12/20/2021  
DRAWN BY: AWD  
CHECKED BY: MBS  
SCALE: 1/8" = 1'-0"  
SHEET NO. 13 OF 13

DESIGN ENGINEER:  
 ANDREW W. DODSON, P.E.  
 361 MIDDLE CREEK DRIVE  
 BUDA, TEXAS 78610-2763  
 512-786-5233  
 FIRM # 20870

SURVEYOR:  
 CROSS TEXAS LAND SERVICES, INC.  
 2600 W. FLYING WAGON, P.O. BOX # 5748  
 ALSTON, TEXAS 78746  
 512-865-5878  
 FIRM REGISTRATION # 100248400

PUBLIC IMPROVEMENTS CONSTRUCTION PLANS FOR:  
**OLD RIVER CROSSING ROAD & UTILITY IMPROVEMENTS**  
 JOHNSON CITY, TX 78636



VICINITY MAP:  
 SCALE 1" = 200'

Sheet Number	Sheet Title
-	COVER SHEET
-	GENERAL NOTES
-	EROSION CONTROL PLAN
-	SMALL STREET PLAN
-	OVERALL WATER MAIN
-	OVERALL FORCE MAIN
-	DETAILS SHEET 1
-	DETAILS SHEET 2
-	TRAFFIC CONTROL PLAN

LEGAL DESCRIPTION:

CAUTION:  
 CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS VERTICALLY AND HORIZONTALLY PRIOR TO START OF CONSTRUCTION.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS AGENCIES IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION, AND OBTAIN AN EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF UTILITIES AND STRUCTURES PRIOR TO THE PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RELOCATION OF ALL EXISTING UTILITIES WHICH PER THE PROVISIONS OF THE UTILITY ACT, ARE NOT TO BE REMOVED.

REVISIONS / CONNECTIONS

REVISION #	DESCRIPTION	APPROVAL



DODSON CIVIL GROUP

UTILITIES  
 WATER SERVICE:  
 CONTRACT: JOHNSON CITY UTILITY SERVICES  
 300 E. PECAN DRIVE  
 JOHNSON CITY, TX 78636

SEWER SERVICE:  
 CONTRACT: JOHNSON CITY UTILITY SERVICES  
 300 E. PECAN DRIVE  
 JOHNSON CITY, TX 78636

ELECTRIC SERVICE:  
 CONTRACT: PEDERNALES ELECTRIC CO., INC.  
 201 S. AVENUE #1  
 JOHNSON CITY, TX 78636

GENERAL NOTES:

- GENERAL ITEM NO. 3 - WORK, SUCH AS DOING, CAN OCCUR ON SATURDAY; HOWEVER, NO INSTALLATION OF ANYTHING IS ALLOWED ON SATURDAYS.
- THE INSPECTOR FOR ALL ITEMS SHOULD BE THE CITY ENGINEER, NOT THE PUBLIC WORKS DEPARTMENT OR CITY INSPECTOR.
- WATER
- ITEM NO. 3 - METERS SHOULD BE CAST IRON/FORD VALVEWORKS
- ITEM NO. 8 - PIPE SHOULD BE 18"
- ITEM NO. 18 - DEPTH SHOULD BE 2 TO 3' NOT 5'
- PIPE FITTINGS - REPLACE WITH AMERICAN DAWLING W/ TRUST BLOCK - RESTRAINT + MECHANICAL
- SEWARY SEWER - ADD THAT THE CITY UTILITY DEPARTMENT SHALL BE CHARGE FOR ALL TESTING
- PAVING - YOU NO HAVE CONCRETE PAVEMENT, MOST THIS BE ASPHALT.

SUBMITTED FOR APPROVAL, BY:

*Andrew Dodson*  
 ANDREW W. DODSON, P.E.  
 REGISTERED PROFESSIONAL ENGINEER NO. 59417  
 DATE: 04/13/2021

1. ANDREW W. DODSON, P.E. CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE CONSTRUCTION WITH ARE NOT AUTHORIZED FOR CONSTRUCTION FROM 1/1/2021.



DATE: 10/12/2021  
 DRAWN BY: AMD  
 CHECKED BY: MMS  
 SHEET NO. 1 OF 19

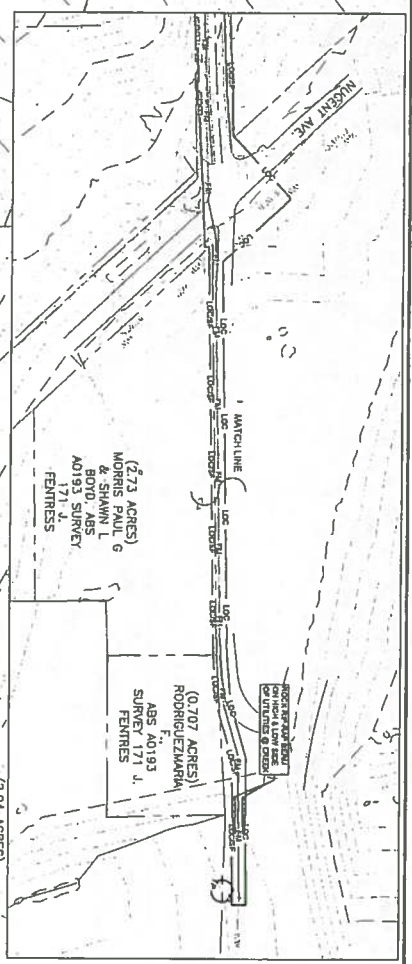
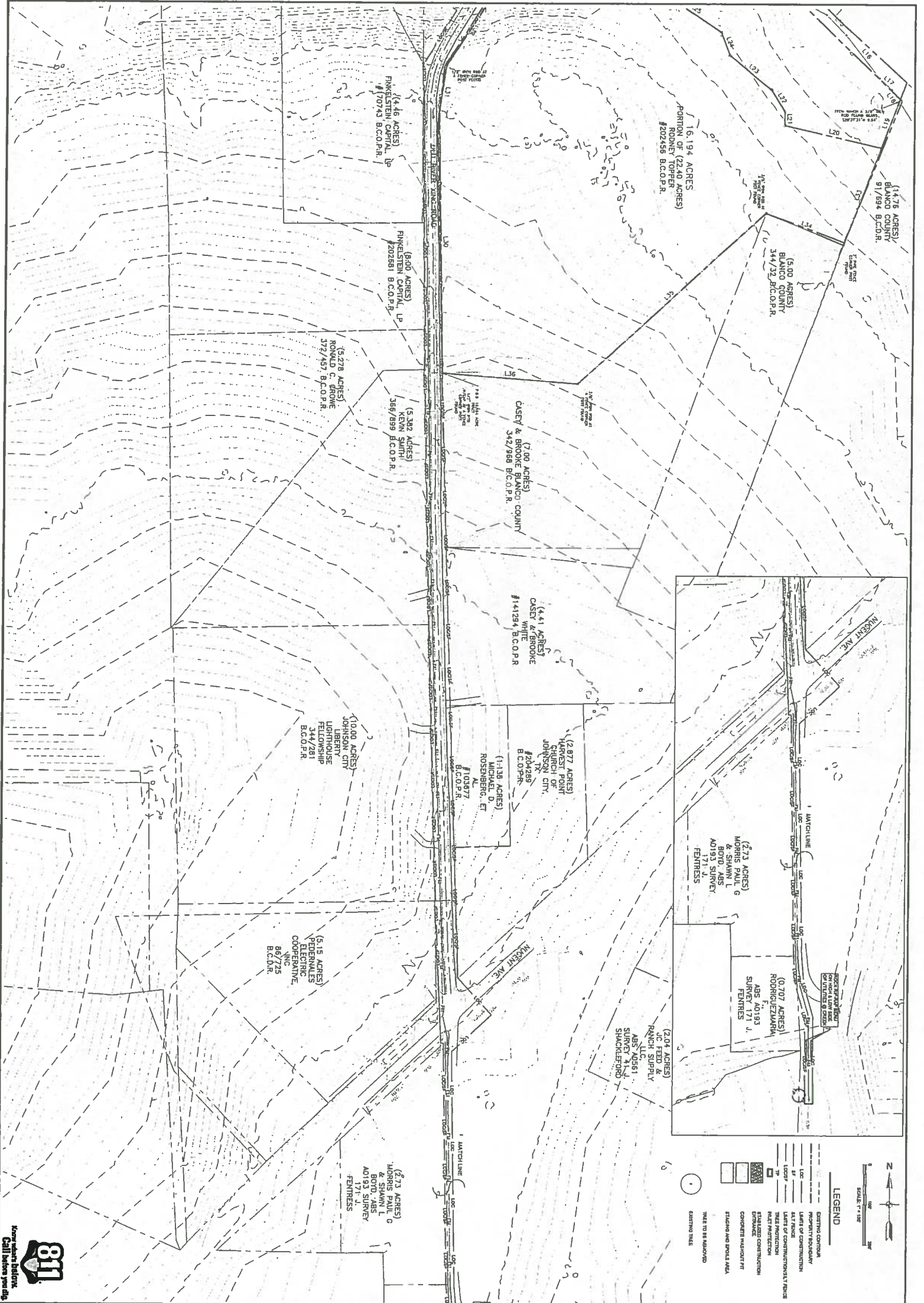


OLD RIVER CROSSING UTILITIES  
 OLD RIVER CROSSING  
 JOHNSON CITY, TX 78636  
**COVER SHEET**

NO.	DATE	DESCRIPTION
1	10/12/2021	ISSUE 2, ADDENDUM #1
2	10/12/2021	REVISIONS

**DODSON CIVIL GROUP**  
 361 MIDDLE CREEK DRIVE  
 BUDA, TX, 78610-2763  
 FIRM # 20870





OLD RIVER CROSSING UTILITIES  
 OLD RIVER CROSSING  
 JOHNSON CITY, TX 78636

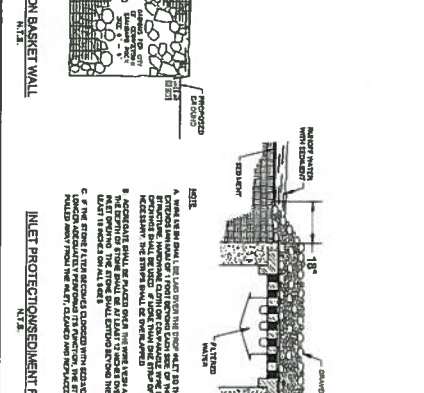
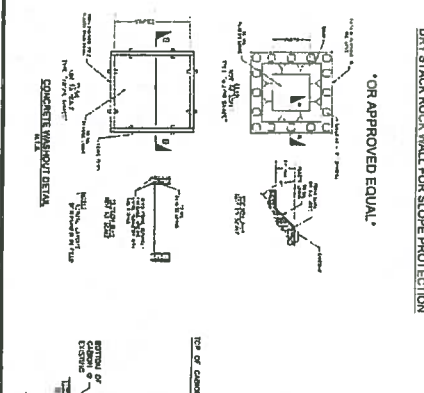
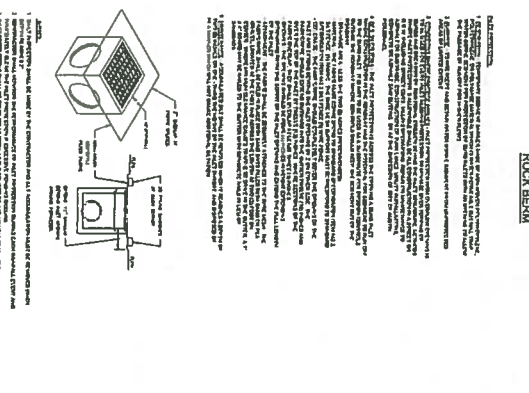
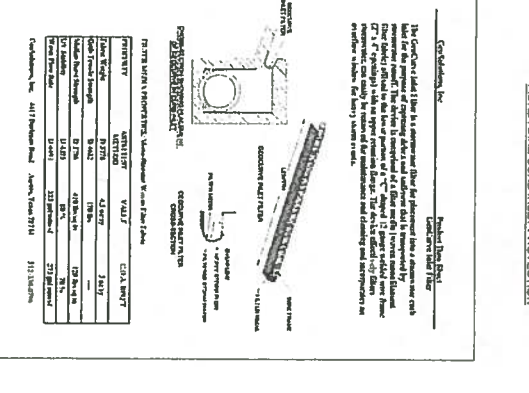
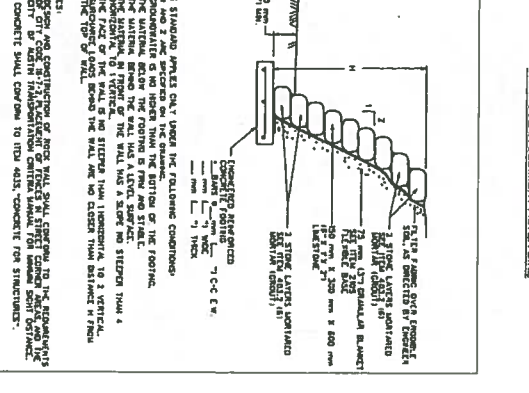
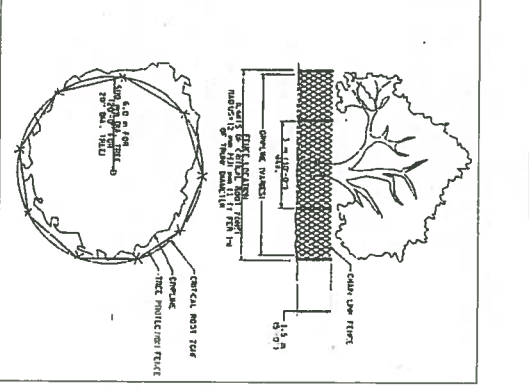
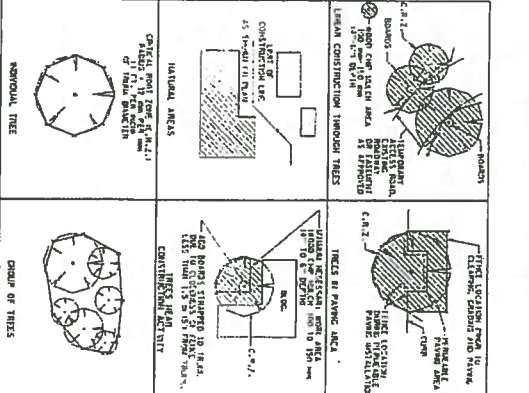
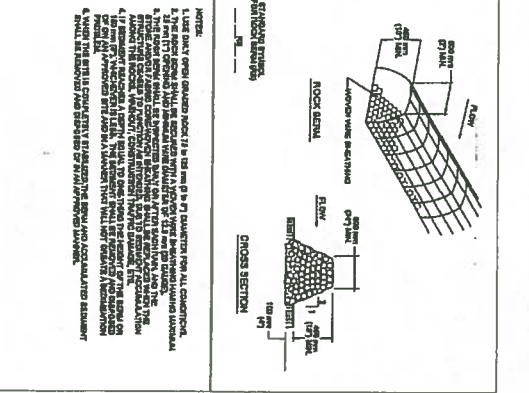
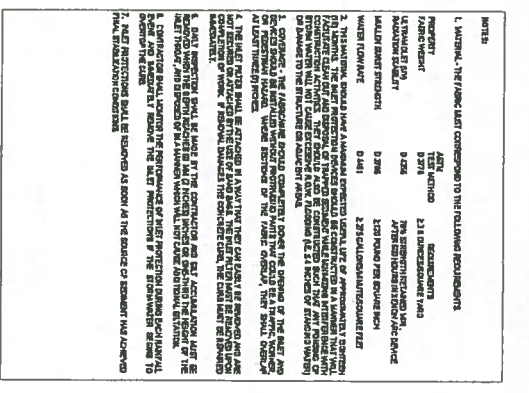
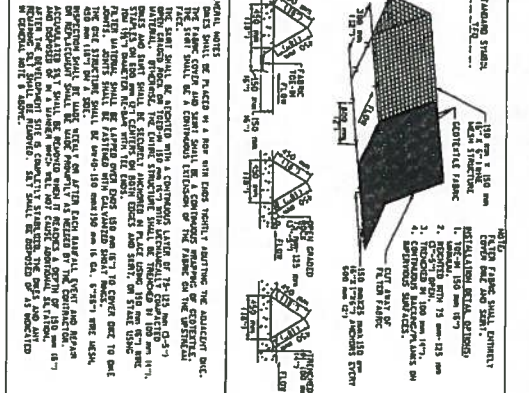
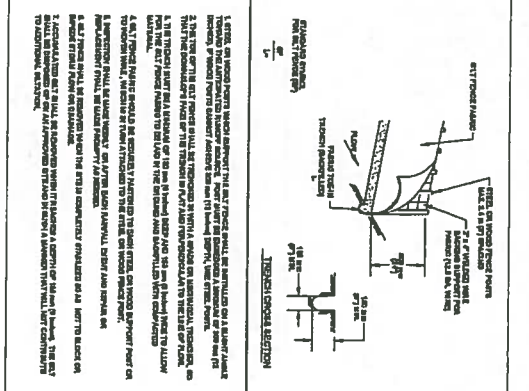
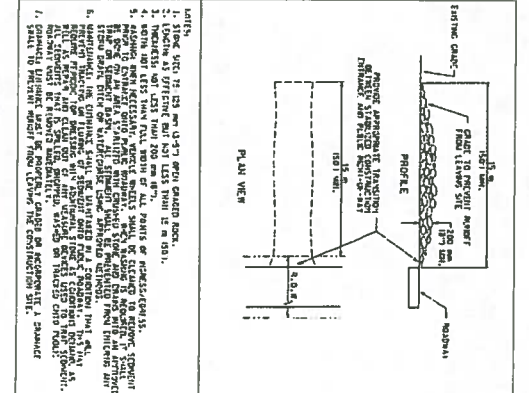
**EROSION CONTROL PLAN**

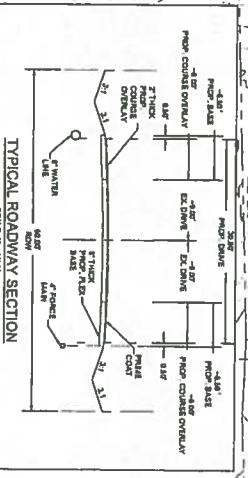
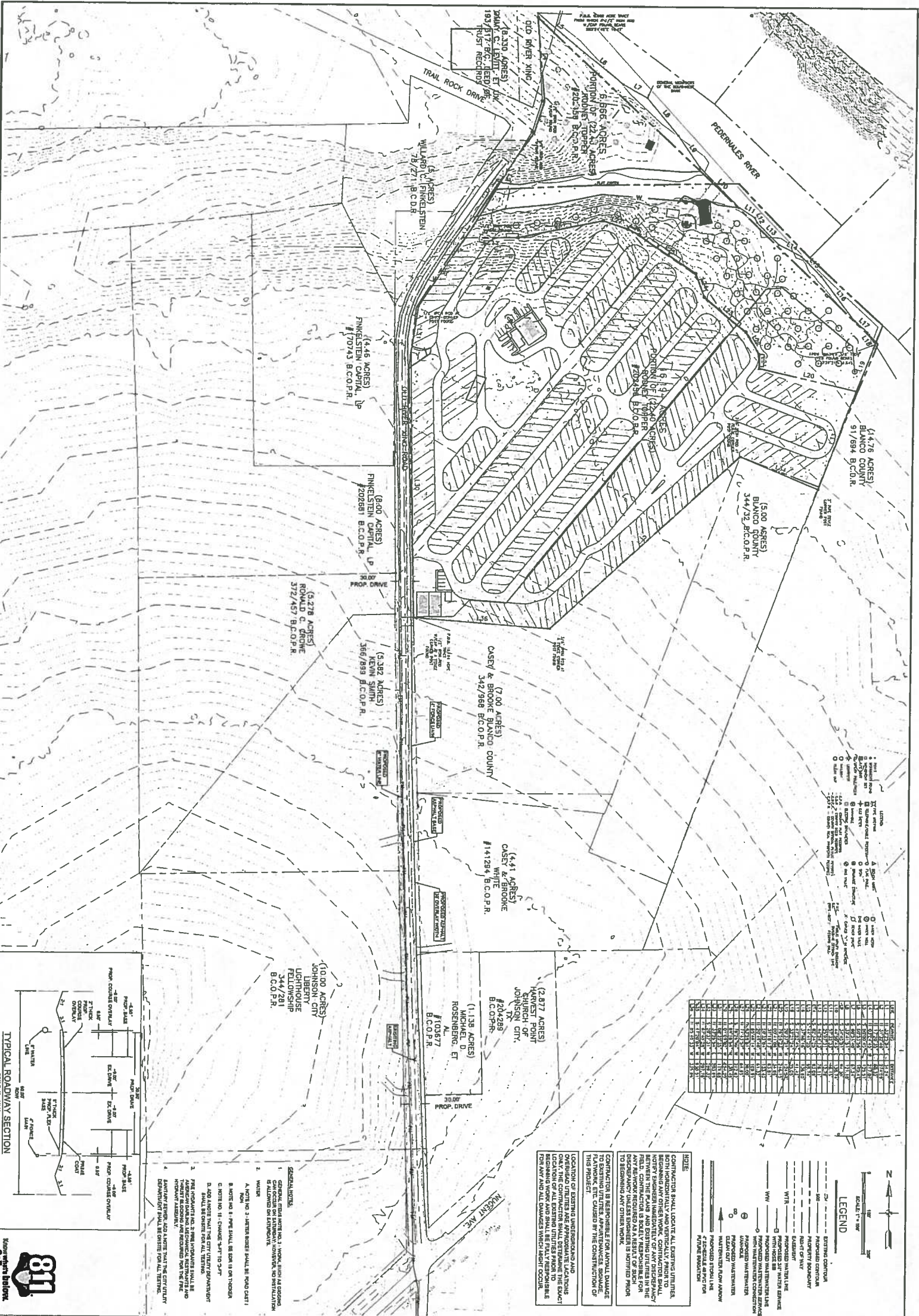
NO. 1	18/1/2019	ISSUE 2, ADDITION #1
NO. 2	11/1/2019	
NO. 3		
NO. 4		
NO. 5		
NO. 6		
NO. 7		
NO. 8		
NO. 9		
NO. 10		

**DODSON CIVIL GROUP**  
 361 MIDDLE CREEK DRIVE  
 BUENA VISTA, TX 78610-2763  
 FIRM # 20870









811  
 Report a Problem  
 Call Before You Dig

- GENERAL NOTES:**
1. GENERAL NOTES NO. 1 WORK, SUCH AS EXISTING UTILITIES, SHALL BE SHOWN ON EXISTING RECORD PLANS.
  2. ALL NOTES TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS TO THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, LATEST EDITION, AS APPLICABLE.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EASEMENTS AND RIGHTS-OF-WAY FROM THE APPLICABLE OWNERS.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES CROSSING INFORMATION FROM THE APPLICABLE UTILITIES PROVIDERS.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES REGARDING ANY REGULATORY REQUIREMENTS.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES REGARDING ANY ENVIRONMENTAL REQUIREMENTS.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES REGARDING ANY HISTORIC PRESERVATION REQUIREMENTS.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES REGARDING ANY ARCHAEOLOGICAL REQUIREMENTS.
  10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES REGARDING ANY CULTURAL RESOURCE REQUIREMENTS.

**CONTRACTOR'S RESPONSIBILITY FOR UTILITIES:**

CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES, BEGINNING WITH THE RECORD PLANS, AND FIELD VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPLICABLE UTILITIES PROVIDERS.

**CONTRACTOR'S RESPONSIBILITY FOR EASEMENTS AND RIGHTS-OF-WAY:**

CONTRACTOR SHALL OBTAIN ALL NECESSARY EASEMENTS AND RIGHTS-OF-WAY FROM THE APPLICABLE OWNERS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPLICABLE OWNERS.

**CONTRACTOR'S RESPONSIBILITY FOR PERMITS AND APPROVALS:**

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES.

**CONTRACTOR'S RESPONSIBILITY FOR REGULATORY REQUIREMENTS:**

CONTRACTOR SHALL OBTAIN ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES REGARDING ANY REGULATORY REQUIREMENTS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES.

**CONTRACTOR'S RESPONSIBILITY FOR ENVIRONMENTAL REQUIREMENTS:**

CONTRACTOR SHALL OBTAIN ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES REGARDING ANY ENVIRONMENTAL REQUIREMENTS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES.

**CONTRACTOR'S RESPONSIBILITY FOR HISTORIC PRESERVATION REQUIREMENTS:**

CONTRACTOR SHALL OBTAIN ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES REGARDING ANY HISTORIC PRESERVATION REQUIREMENTS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES.

**CONTRACTOR'S RESPONSIBILITY FOR ARCHAEOLOGICAL REQUIREMENTS:**

CONTRACTOR SHALL OBTAIN ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES REGARDING ANY ARCHAEOLOGICAL REQUIREMENTS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES.

**CONTRACTOR'S RESPONSIBILITY FOR CULTURAL RESOURCE REQUIREMENTS:**

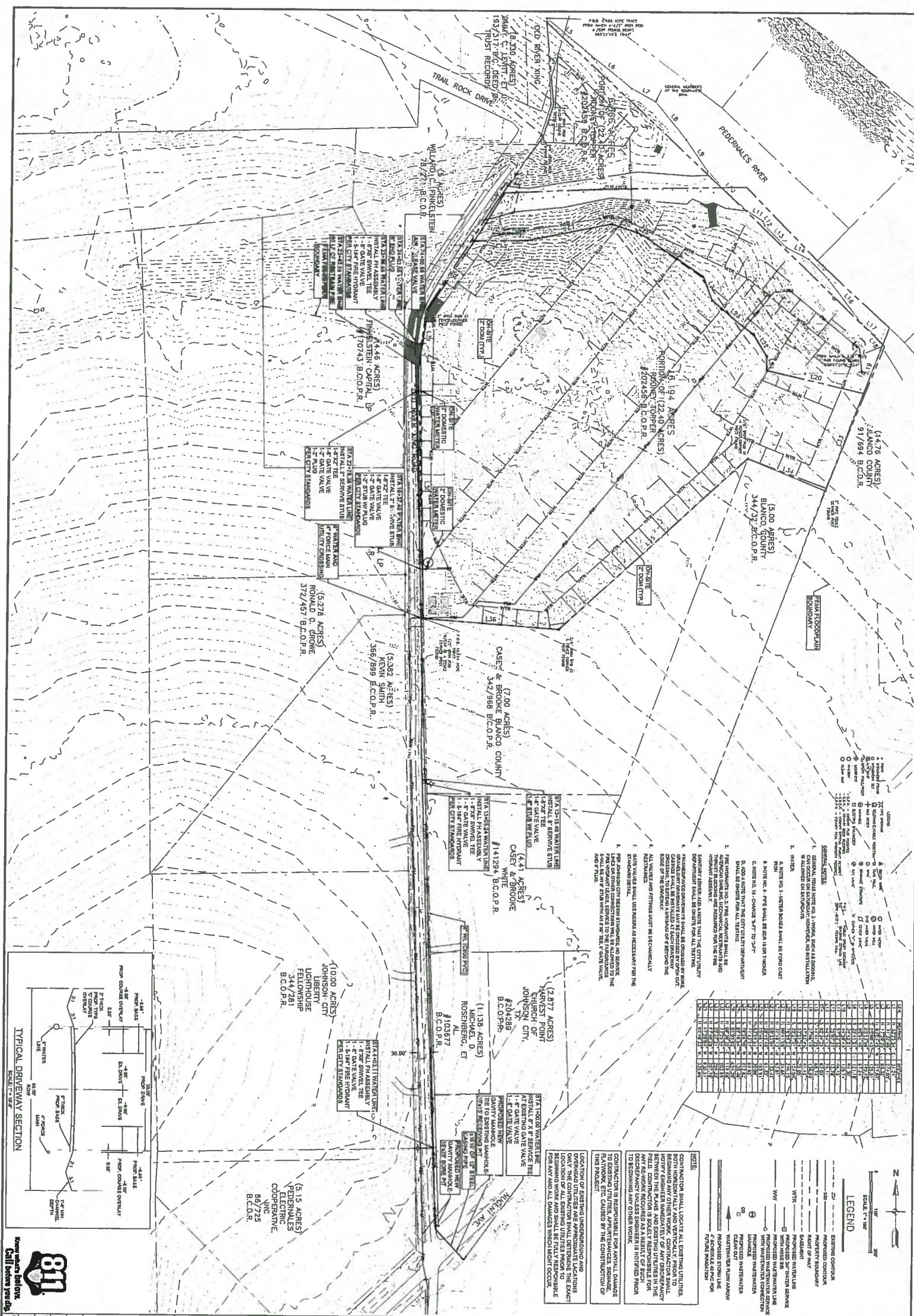
CONTRACTOR SHALL OBTAIN ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES REGARDING ANY CULTURAL RESOURCE REQUIREMENTS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPLICABLE AGENCIES.

OLD RIVER CROSSING UTILITIES  
 OLD RIVER CROSSING  
 JOHNSON CITY, TX 78636

OVERALL STREET PLAN

DATE: 10/12/2011  
 DRAWN BY: AMO  
 CHECKED BY: MBS  
 SHEET NO. 19 OF 19

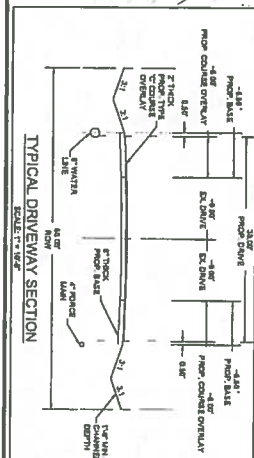
**DODSON CIVIL GROUP**  
 361 MIDDLE CREEK DRIVE  
 BUDA, TX 78610-2763  
 FIRM # 20870



- LEGEND**
- EXISTING CONDUIT
  - PROPOSED CONDUIT
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING WATER SERVICE
  - PROPOSED WATER SERVICE
  - EXISTING WATER MAIN
  - PROPOSED WATER MAIN
  - EXISTING WATER MAIN
  - PROPOSED WATER MAIN
  - EXISTING WATER MAIN
  - PROPOSED WATER MAIN

NO.	DESCRIPTION	DATE	BY
1	ISSUE	10/12/2021	AMH
2	REVISION		
3	REVISION		
4	REVISION		
5	REVISION		
6	REVISION		
7	REVISION		
8	REVISION		
9	REVISION		
10	REVISION		

**NOTE:**  
 CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES BOTH HORIZONTAL AND VERTICAL PRIOR TO BEGINNING ANY OTHER WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE PLANS AND FROM UTILITIES IN THE FIELD. CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING THE DEPTH OF EXISTING UTILITIES PRIOR TO BEGINNING ANY OTHER WORK.  
 CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES, APPLICANCES, SERVICE OR OTHER PROPERTY CAUSED BY THE CONSTRUCTION OF THIS PROJECT.  
 LOCATION OF EXISTING UNDERGROUND UTILITIES AND DEPTHS ARE APPROXIMATE AND NOT TO BE RELIED UPON. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE PLANS AND FROM UTILITIES IN THE FIELD PRIOR TO BEGINNING ANY OTHER WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

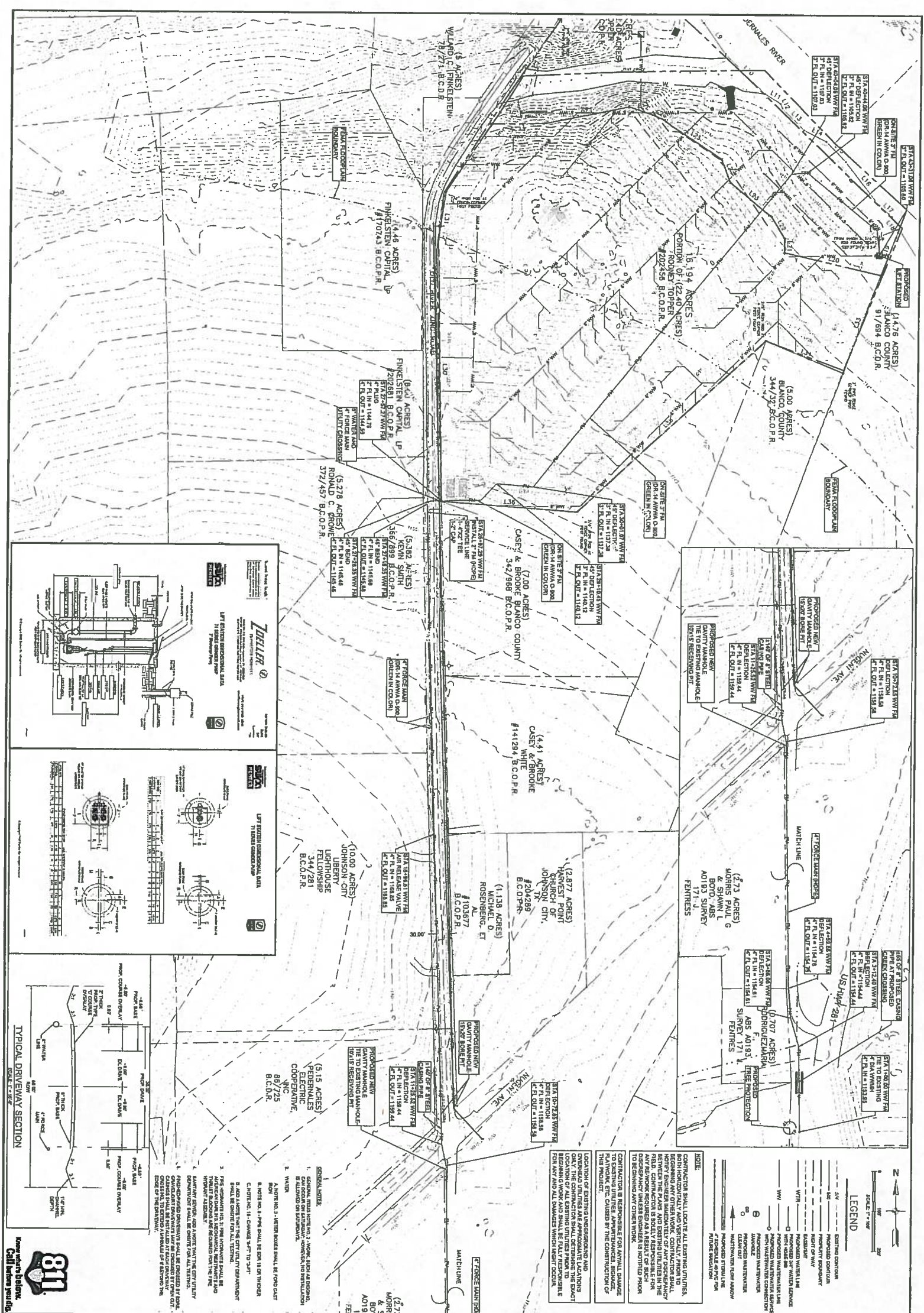


OLD RIVER CROSSING UTILITIES  
 OLD RIVER CROSSING  
 JOHNSON CITY, TX 78636

**OVERALL WATER PLAN**

NO.	DESCRIPTION	DATE	BY
1	ISSUE	10/12/2021	AMH
2	REVISION		
3	REVISION		
4	REVISION		
5	REVISION		
6	REVISION		
7	REVISION		
8	REVISION		
9	REVISION		
10	REVISION		

**DODSON CIVIL GROUP**  
 361 MIDDLE CREEK DRIVE  
 BUDA, TX 78610-2763  
 FIRM # 20870



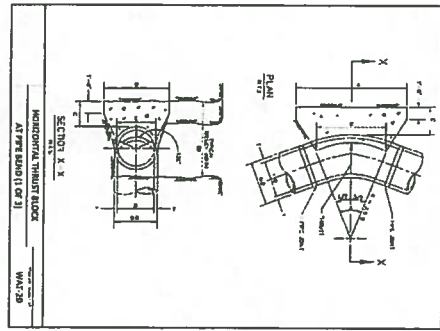
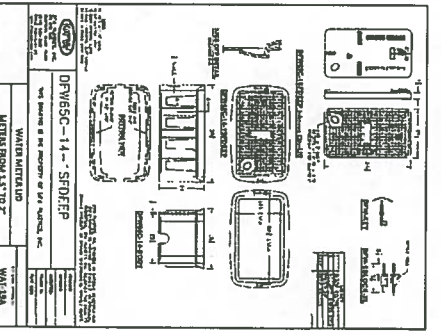
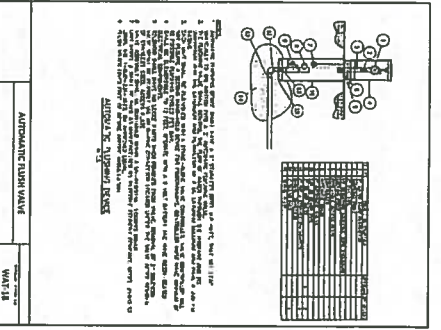
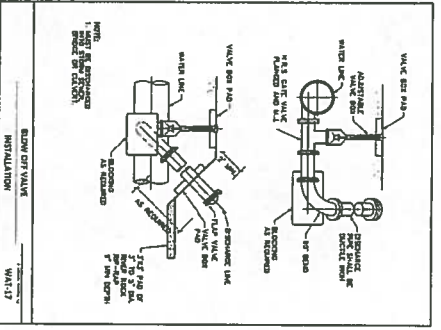
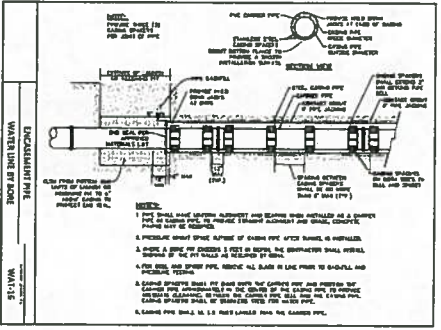
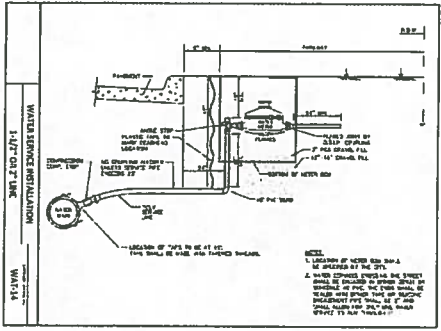
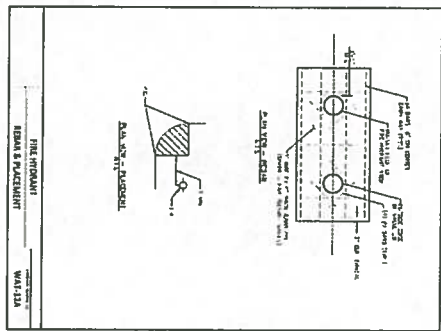
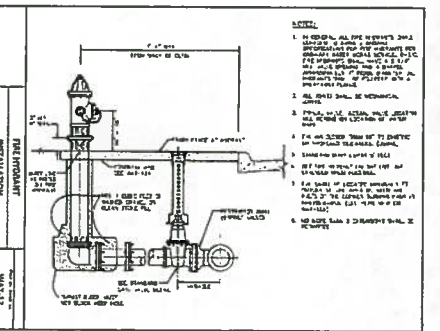
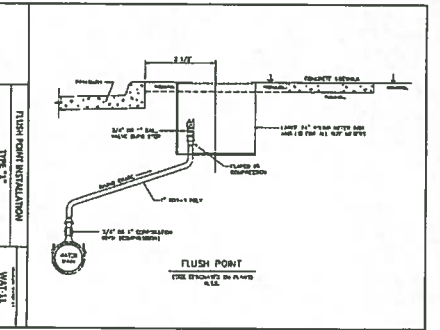
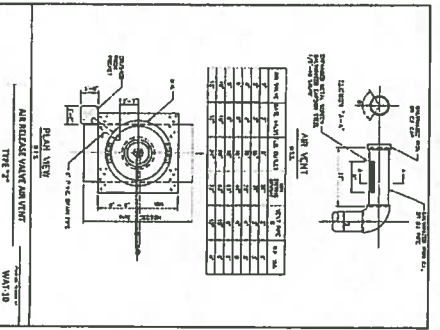
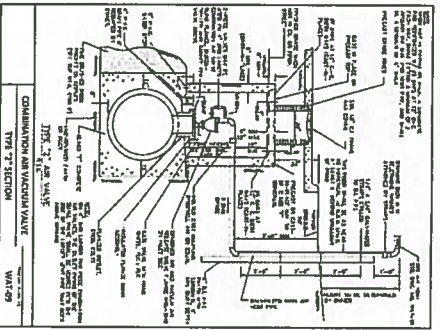
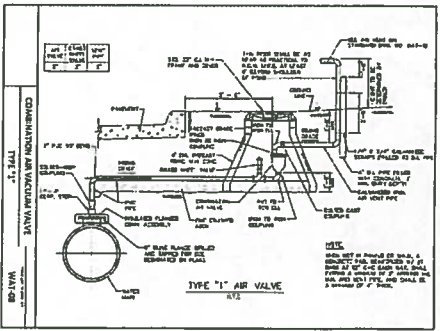
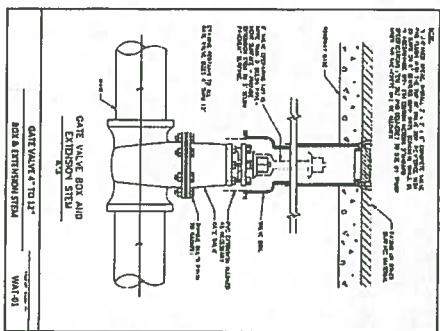
**811**  
Know what's below.  
Call before you dig.

**OLD RIVER CROSSING UTILITIES**  
OLD RIVER CROSSING  
JOHNSON CITY, TX 78636

**OVERALL FORCE MAIN**

DATE: 10/12/2021  
DRAWN BY: AMB  
CHECKED BY: HBS  
SCALE: AS SHOWN  
SHEET NO. 19 OF 19

**DODSON CIVIL GROUP**  
351 MIDDLE CREEK DRIVE  
BUENA VISTA, TX 78610-2763  
FIRM # 20870

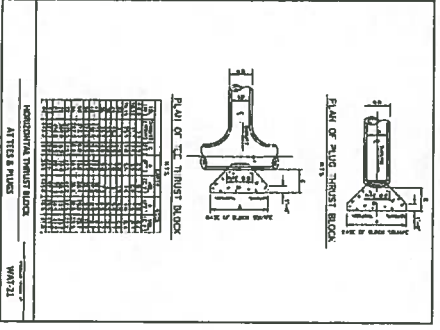


**HORIZONTAL THRUST BLOCK**  
AT PIPE RING 12 OF 21  
WAL-13A

NO.	DESCRIPTION	QTY.	REMARKS
1	THRUST BLOCK	1	
2	ANCHOR BOLT	4	
3	WASHER	4	
4	NUT	4	
5	CONCRETE	1	

**HORIZONTAL THRUST BLOCK**  
AT PIPE RING 13 OF 21  
WAL-13B

NO.	DESCRIPTION	QTY.	REMARKS
1	THRUST BLOCK	1	
2	ANCHOR BOLT	4	
3	WASHER	4	
4	NUT	4	
5	CONCRETE	1	



**HORIZONTAL THRUST BLOCK**  
AT PIPE RING  
WAL-14A

NO.	DESCRIPTION	QTY.	REMARKS
1	THRUST BLOCK	1	
2	ANCHOR BOLT	4	
3	WASHER	4	
4	NUT	4	
5	CONCRETE	1	

**THRUST BLOCK**  
GENERAL NOTES  
WAL-14B

1. CONCRETE TO BE USED SHALL BE CLASS "C".
2. ALL CASTING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE STATE OF TEXAS.
3. THE THRUST BLOCK SHALL BE CASTED IN PLACE AND SHALL BE CASTED TO THE FULL DEPTH OF THE THRUST BLOCK.
4. THE THRUST BLOCK SHALL BE CASTED TO THE FULL DEPTH OF THE THRUST BLOCK.
5. THE THRUST BLOCK SHALL BE CASTED TO THE FULL DEPTH OF THE THRUST BLOCK.
6. THE THRUST BLOCK SHALL BE CASTED TO THE FULL DEPTH OF THE THRUST BLOCK.
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