



AGENDA ITEM REQUEST FORM
CITY OF JOHNSON CITY, TEXAS
CITY COUNCIL

ITEM NO. 9

MEETING DATE: April 5, 2022

AGENDA PLACEMENT:

- Ceremonial
- Consent
- Individual
- Closed Session

CAPTION:

Discussion of and action on an Ordinance of the City Council of the City of Johnson City, Texas rezoning 675 Old River Crossing Rd., Johnson City, TX 78636 from "Single Family Residential" to "Planned Unit Development" for the construction of a recreational vehicle (RV) and glamping park; declaring a public purpose; authorizing the Chief Administrative Officer to take all necessary steps to implement the provisions of this Ordinance; incorporating recitals; providing for severability; and adopting an effective date. (Applicant)

STRATEGIC WORK PLAN:

- Not Applicable
- Goal 1: Increase Housing Diversity
- Goal 2: Expand Quality Lodging
- Goal 3: Improve Code Enforcement
- Goal 4: Improve Streetscaping & Signage
- Goal 5: Improve Fire Safety
- Goal 6: Improve Streets
- Goal 7: Increase Publicity & Promotion of the Community
- Goal 8: Increase Economic Development Activities

EXECUTIVE SUMMARY:

Yarrington Land Holdings / BSL JCTX, LP submitted a Zoning Amendment Application requesting a change in zoning from "Single Family Residential" to "Planned Unit Development" for the construction of an RV and glamping park located at 675 Old River Crossing Rd. on January 24, 2022.

The Municipal Code of Ordinances Chapter 14 *Zoning* does not include a recreational vehicle use within the Schedule of Uses. Consequently, City Staff recommended to the applicant that it request rezoning from its current zoning district to "Planned Unit Development," which would allow the requested use if approved by the City Council.

The subject parcel is 22.40 acres, and the applicant proposes to construct RV and glamping sites and related amenities. On February 22, 2022, the Planning and Zoning Commission voted unanimously to recommend approval of the rezoning request.

FINANCIAL: N/a

ATTACHMENTS:

- Proposed Ordinance w/ Exhibits

SUGGESTED ACTION:

Motion to approve an Ordinance of the City Council of the City of Johnson City, Texas rezoning 675 Old River Crossing Rd., Johnson City, TX 78636 from "Single Family Residential" to "Planned Unit Development" for the construction of a recreational vehicle (RV) and glamping park; declaring a public purpose; authorizing the Chief Administrative Officer to take all necessary steps to implement the provisions of this Ordinance; incorporating recitals; providing for severability; and adopting an effective date.

PREPARED BY: City Staff

ORDINANCE NO. 22-____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF JOHNSON CITY, TEXAS REZONING 675 OLD RIVER CROSSING RD., JOHNSON CITY, TX 78636 FROM "SINGLE FAMILY RESIDENTIAL" TO "PLANNED UNIT DEVELOPMENT" FOR THE CONSTRUCTION OF A RECREATIONAL VEHICLE (RV) AND GLAMPING PARK; DECLARING A PUBLIC PURPOSE; AUTHORIZING THE CHIEF ADMINISTRATIVE OFFICER TO TAKE ALL NECESSARY STEPS TO IMPLEMENT THE PROVISIONS OF THIS ORDINANCE; INCORPORATING RECITALS; PROVIDING FOR SEVERABILITY; AND ADOPTING AN EFFECTIVE DATE.

WHEREAS, Yarrington Land Holdings / BSL JCTX, L.P., the owner of 675 Old River Crossing Rd., Johnson City, TX 78636, has petitioned the City Council of the City of Johnson City to rezone said property from "Single Family Residential" to "Planned Unit Development" for the construction of a RV and Glamping Park; and

WHEREAS, the owner desires to establish a clear set of rules and guidelines regulating development within the subject parcel; and

WHEREAS, notice of requisite Public Hearings was mailed U.S. Postal Service, first class, to property owners within two hundred feet (200') of the subject parcel on February 9, 2022; and

WHEREAS, the Planning and Zoning Commission held a Public Hearing on the matter on February 22, 2022; and

WHEREAS, the City Council published notice of the requisite Public Hearing in the Johnson City Record Courier on March 16, 2022 and held a Public Hearing on the matter on April 5, 2022.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF JOHNSON CITY, TEXAS THAT:

SECTION ONE. Rezoning and Approval. 675 Old River Crossing Rd., Johnson City, TX 78636, an approximate 22.40 acre tract of land, is rezoned from "Single Family Residential" to "Planned Unit Development No. 2" for the construction of a recreational vehicle (RV) and glamping park, and the Planned Unit Development Application, attached hereto as "Exhibit A", is approved and shall govern development, rules, guidelines, and regulations within said parcel.

SECTION TWO. Authorization. The Chief Administrative Officer is authorized to take all necessary steps to implement the provisions of this Ordinance.

SECTION THREE. Declaration of Compliance and Incorporation of Recitals. The City Council declares that the Public Hearing held prior to the approval of the rezoning request was properly noticed in the manner prescribed by law, and the Ordinance was adopted at an open meeting in compliance with Tex. Gov. Code Ann Chapter 551. Additionally, the City Council finds that the recitals contained in the preamble to the Ordinance are true and correct and incorporates them as findings of fact.

SECTION FOUR. Repealer. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION FIVE. Severability. If any section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be unconstitutional or illegal, such decision shall not affect the validity of the remaining sections of this Ordinance. The City Council hereby declares that it would have passed this Ordinance, and each section, subsection, clause, or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared void; and that in lieu of each clause or provision of this Ordinance that is invalid, illegal, or unenforceable there be added as a part of the Ordinance a clause or provision as similar in terms to such invalid, illegal or unenforceable clause or provision as may be possible, legal, valid and enforceable.

SECTION SIX. Effective Date. This Ordinance shall become effective immediately upon the approval of the City Council.

PASSED, ORDERED, AND APPROVED this 5th day of April 2022.

By: _____

Hon. Rhonda Stell
MAYOR

ATTEST:

Whitney Walston
CITY SECRETARY

EXHIBIT A PLANNED UNIT DEVELOPMENT AGREEMENT

PLANNED UNIT DEVELOPMENT (PUD) APPLICATION
Yarrington Land Holdings and BSL JCTX, LP

Applicant: Yarrington Land Holdings, LLC and BSL JCTX, LP

Owner: BSL JCTX, LP

Address: 675 Old River Crossing, Johnson City, TX 78636

Interest: BSL JCTX, LP owns the fee simple interest to the property located at 675 Old River Crossing. The company wishes to develop a high-end recreational vehicle (RV) and glamping park consisting of one hundred fifty (150) RV sites and sixty (60) glamping sites. The parcel and Old River Crossing road was annexed into the corporate City limits on February 1, 2022. Pursuant to the City Code of Ordinances, "all territory hereafter annexed into the City shall be classified as Single-Family Residential;" however, "the owner of land to be annexed may submit an application for zoning the property." Pursuant to a Development Agreement between the City, Rodney Topper, and BSL JCTX, LP, "upon annexation and on the Developer's request for rezoning, the City shall review and consider within the authorized timelines a zoning classification which applies to and is in conformance with the Project, including rezoning as a Planned Unit Development with terms and development standards in accordance with the Project's use and design."

We are of the opinion that the proposed rezoning and Project's use and design:

1. provides flexibility in development standards and accommodates multiple uses as integrated land use units;
2. permits new or innovative concepts in land use not permitted by other zoning districts;
3. ensures the compatibility of land uses;
4. allows for the adjustment of changing demands to meet the current needs of the community;
5. provides an environment within the layout of the site that contributes to a sense of community and a coherent living style;
6. encourages the preservation and enhancement of natural amenities and cultural resources;
7. protects the natural features of the site that relates to its topography, shape and size;
8. provides for open space, with a minimum of twenty (20) percent of the gross area being open green space and parkland;
9. provides for the development of the site, which is made difficult for conventionally designed development due to the site's shape, size, abutting development, poor accessibility, and topography;
10. preserves the landscape in its natural state by minimizing tree and soil removal; and

11. provides that all buildings are sited harmoniously to the terrain and to other buildings in the vicinity that have a visual relationship to the proposed buildings and other structures.

The proposed development shall comply with Federal, State, and Local laws and/or development regulations, including all Texas Accessibility Standards, in effect at the time of the adoption of the aforementioned Development Agreement.

Development Schedule:

A firm development schedule has not been completed to date; however, the Applicant and Owner estimate that the development will take approximately six (6) months from approval to completion.

The Applicant and Owner have submitted a preliminary site plan, survey, and onsite and offsite construction documents displaying the following:

1. RV sites;
2. Glamping sites;
3. Existing easement;
4. Existing and proposed water and sewer infrastructure;
5. Existing and proposed roadway improvements; and
6. Existing and proposed drainage structures.

Planned Development Data Table:

Minimum Lot Area	None
Minimum Lot Width	None
Minimum Lot Depth	200 ft.
Minimum Front Yard Setback	5 ft.
Minimum Side Yard Setback	5 ft.
Minimum Side Yard Setback Adjacent to Residentially-Zoned Districts	N/a
Minimum Rear Yard Setback	5 ft.
Minimum Rear Yard Setback Adjacent to Residentially-Zoned Districts	N/a
Maximum Lot Coverage	75%
Maximum Structure Height	2 Standard Stories (24' from average grade)
Maximum Density	150 RV sites and 60 glamping sites
Minimum Open Space / Parkland	25%
Maximum Patron Length of Stay (Not for Permanent Residence)	90 Calendar Days per Year; Owner Shall Not Rent Recreational Vehicles

Outdoor Lighting:

All outdoor lighting shall be dark-sky compliant (fully shielded) to minimize impacts on adjacent landowners and reduce light pollution.

Public Utilities:

Utilities and infrastructure shall meet the City's subdivision regulation standards and International Codes, as amended.

Open Space:

Insofar as practicable, the landscape shall be preserved in its natural state through the minimization of tree and soil removal. Drive aisles and RV sites will be constructed of concrete, while each glamping site shall have an elevated platform with a hot tub, fire pit, and heating/air conditioning system.

Proposed structure(s) shall be sited harmoniously to the terrain and to other buildings, if any, in the vicinity that have a visual relationship to the proposed structure(s).

Proposed landscaping, if any, will consist of native foliage and trees that have been chosen for their ability to thrive on natural rainfall and, once established, not require irrigation, except for unseasonably dry periods.

Circulation Plan:

Special attention shall be given to the location and number of access points to public streets, width of interior drive aisles and access points, general interior circulation, separation of pedestrian and vehicular traffic, and the arrangement of parking areas that are safe and convenient.

Relation to Public Utilities, Facilities, and Services:

The property is presently or can be served by the City of Johnson City's Water and Wastewater Utility and Pedernales Electric Cooperative. Other than those costs included within the aforementioned Development Agreement, there should be no costs incurred by the City of Johnson City for the provision of infrastructure, as infrastructure is already in place, readily accessible, or will be constructed and paid for by the Developer.

Floodplain Management:

In accordance with City Code of Ordinances Article 3.04 *Flood Damage Prevention*, the development shall submit and receive approval of a Floodplain Development Permit from the City Engineer prior to the commencement of any site work and/or construction.

Signs:

The development shall comply with City Code of Ordinances Chapter 3 *Building Regulations*, Article 3.06 *Signs*, as amended.

Permitted Schedule of Uses:

The intent of this Schedule of Uses is to define the permitted zoning uses for the subject property. Words, phrases, and terms defined herein shall be given the defined meaning, as set forth below. Words, phrases, and terms not defined herein, but defined in the City Code of Ordinances, shall be given the defined meaning in the Code of Ordinances. Words, phrases, and terms neither defined in this document, nor in the Code of Ordinances, shall be given their usual and customary meanings, except where the context in this document clearly indicates a different meaning. The word "shall" is mandatory and not permissive; the word "may" is permissive and not mandatory. Words used in the singular include the plural, and words used in the plural include the singular. Words used in the present tense include the future tense, and words used in the future tense include the present tense.

Accessory use. Means a use incidental or secondary to the principal use of a lot, building, or structure and located on the same lot as the principal use.

Clubhouse. A building, or portion thereof, and related facilities used as a meeting place for recreational activities by patrons.

Commercial outdoor recreation. Means outdoor commercial uses which, by their nature, are recreational, including, but not limited to, golf courses, driving ranges, miniature golf courses, outdoor swimming pools, tennis courts, basketball courts, recreational camps, et cetera.

Office. Primarily for conducting the affairs of a business, profession, service, industry, or government, or like activity, including such activities as providing day-to-day office administrative services, financial management, billing, record keeping, personnel administration, and logistics.

Recreational vehicle. Means a motorized vehicle or non-motorized trailer designed and/or maintained for use as a temporary dwelling or sleeping place for travel or recreation purposes exclusively, having no foundation other than wheels or jacks.

Recreational vehicle park. Any lot, tract, or parcel of land used, in whole or part, to provide facilities or accommodations for two or more recreational vehicles or glamping sites, with or without compensation, used by transients as living or sleeping quarters for the periods of time authorized by this document.

Retail trade. Establishments engaged in selling goods or merchandise to the general public for personal or household consumption and rendering services incidental to the sale of such goods.

Attachments:

- Attachment A – Zoning Amendment Application
- Attachment B – Location Map
- Attachment C – Site Plan and Survey
- Attachment D – Onsite Construction Documents
- Attachment E – Offsite Construction Documents



ZONING AMENDMENT APPLICATION
CHAPTER 14

Application Date: 1/24/22

NAME OF APPLICANT:

Yarrington Land Holdings/BSL-UCTX, LP

MAILING ADDRESS:

3801 N Capital of TX Hwy E240-137 Austin, TX 78746

PHONE NUMBER:

(832) 298-2557

STATUS OF APPLICANT:

OWNER:

AGENT: (IF AGENT, ATTACH LETTER OF AUTHORIZATION.)

PROPERTY DESCRIPTION

PHYSICAL ADDRESS: 675 Old River Crossing

LEGAL DESCRIPTION: ABS ADS61 Survey 41 J. Shackleford Acres 20.07, 2.33

CURRENT ZONING: Rawland

PROPOSED ZONING: PUD

DEED RESTRICTIONS PROHIBITING PROPOSED ZONING:

EXISTING USE: land

PROPOSED USE: RV/Glamping Park

LAND AREA: 22.4 acres

DOES OWNER OWN ADJACENT PROPERTIES? Yes No

PURPOSE OF REQUEST: Development of RV and glamping park

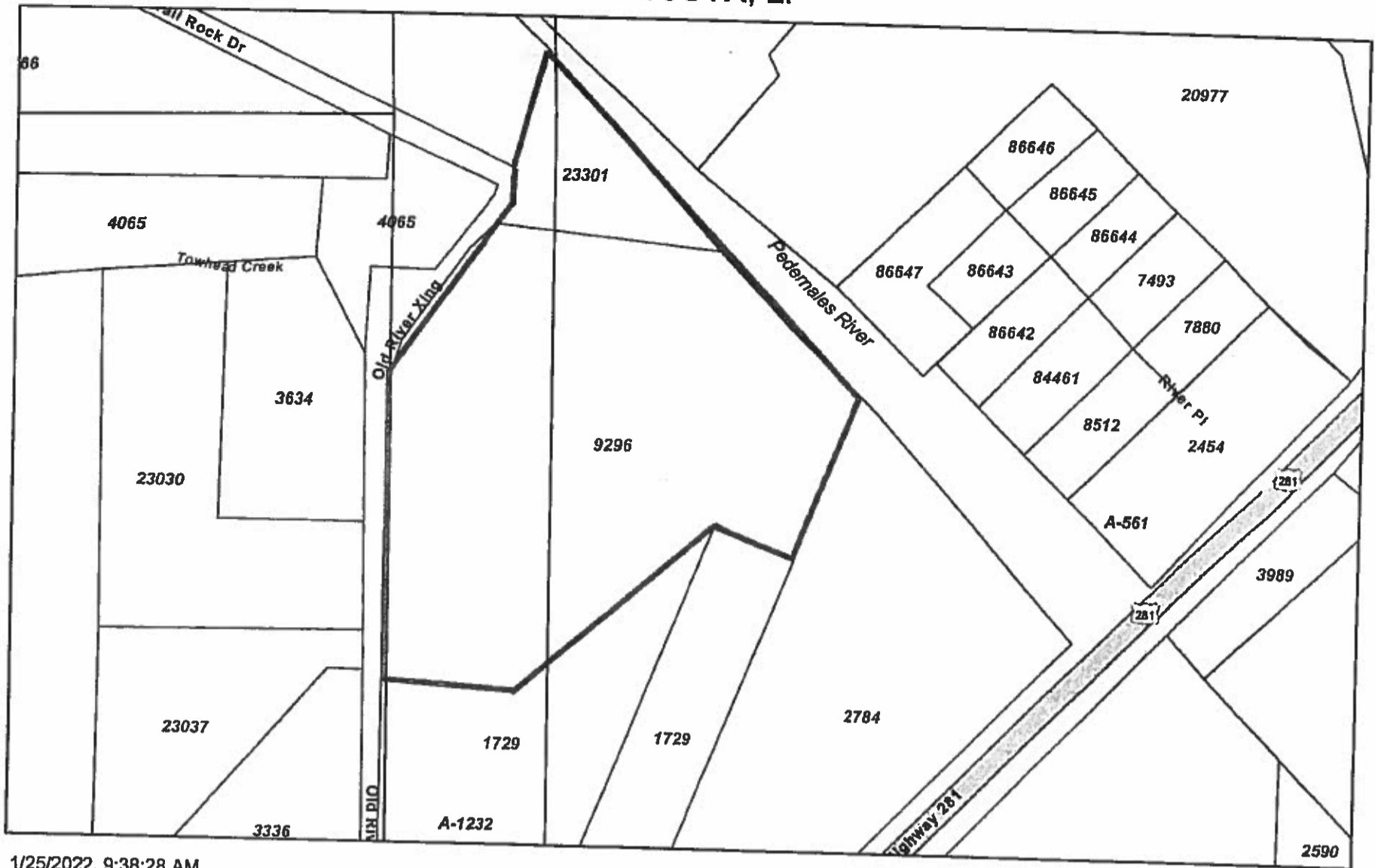
I hereby certify that I have read and examined this application and know the information I have provided to be true and correct. All provision of laws and ordinances governing this application will be complied with, whether specified herein or not. The granting of this zoning amendment or change does not presume to give authority to violate or cancel the provisions of any other local law regulating the use of the property.

Applicant's Signature

1/24/22
Date

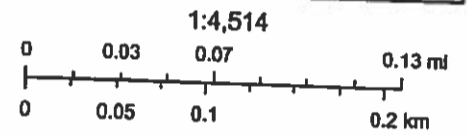
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BSL JCTX, LP

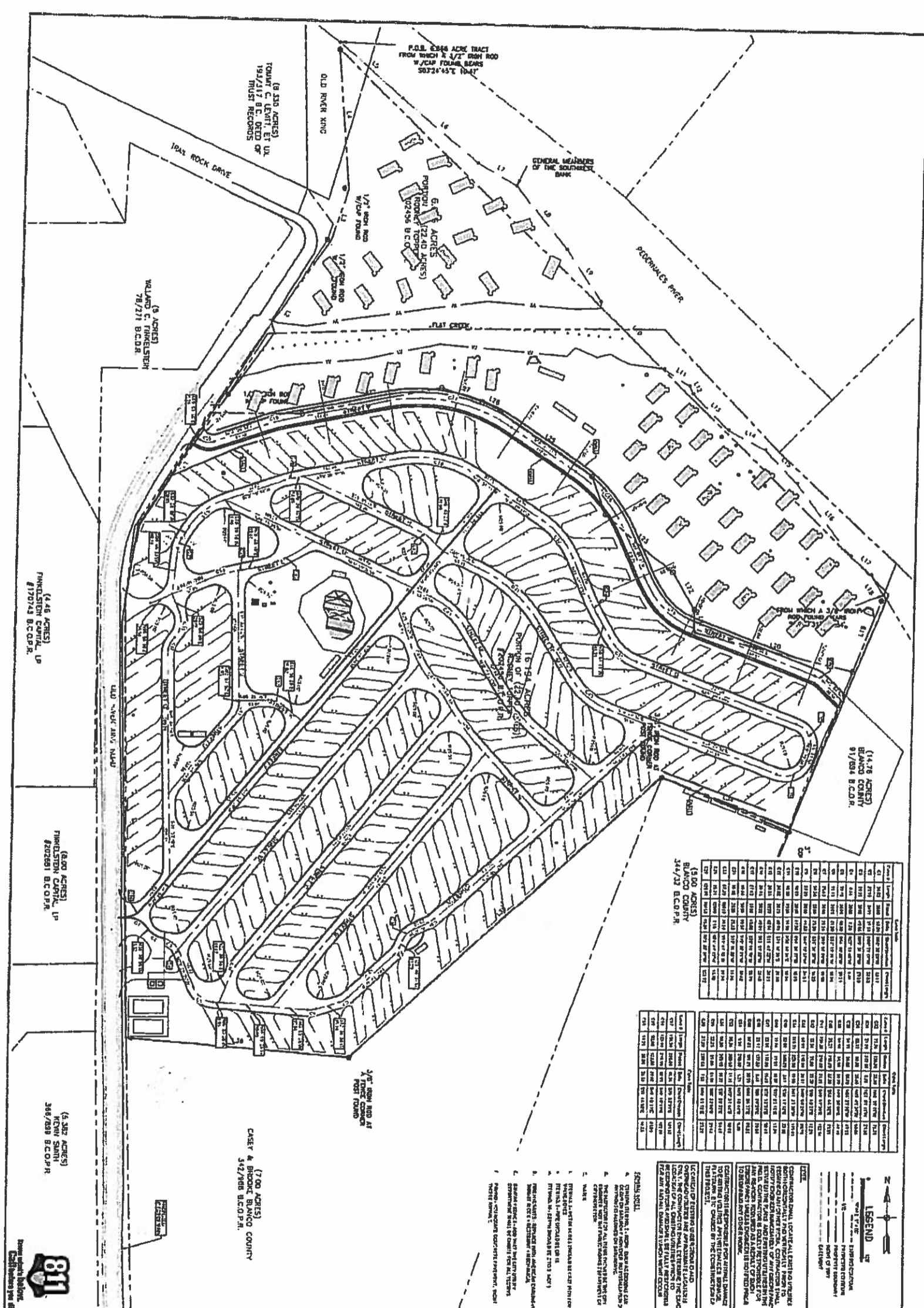


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- Parcels
- Abstracts



Disclaimer: This product is for informational purposes only and has not been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of boundaries.
Blanco County Appraisal District, BIS Consulting - www.bisconsulting.com
Est Community Maps Contributors, Texas Parks & Wildlife, ©



19.00 ACRES)
BLANCO COUNTY
344/23 B.C.O.P.R.

Lot #	Area (Acres)	Area (Sq. Ft.)	Area (Sq. Ft.)	Area (Sq. Ft.)
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LEGEND

- Proposed Road
- Proposed Right-of-Way
- Proposed Easement
- Proposed Utility
- Proposed Structure
- Proposed Lot
- Proposed Boundary
- Proposed Survey
- Proposed Encumbrance
- Proposed Easement
- Proposed Utility
- Proposed Structure
- Proposed Lot
- Proposed Boundary
- Proposed Survey
- Proposed Encumbrance

NOTES

1. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE AN OFFER OF ANY FINANCIAL PRODUCT OR SERVICE.
2. THE INFORMATION CONTAINED HEREIN IS SUBJECT TO CHANGE WITHOUT NOTICE.
3. THE INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE USED AS A BASIS FOR INVESTMENT DECISIONS.
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12/29/2021
AND
5 of 13

JOHNSON CITY RV
OLD RIVER CROSSING
JOHNSON CITY, TX 78638

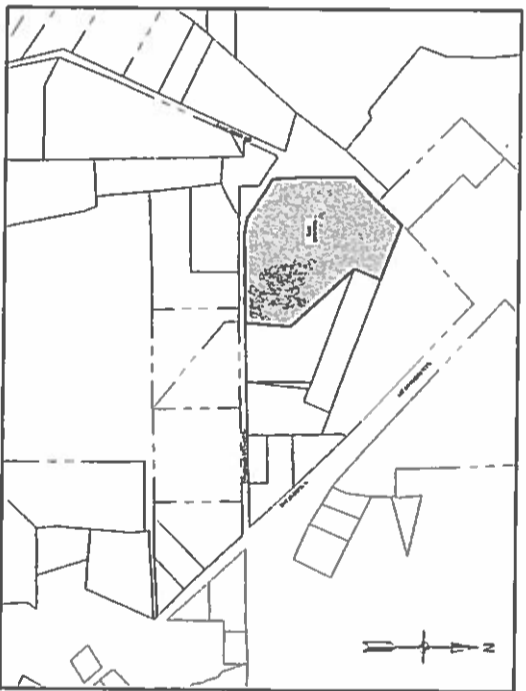
SITE PLAN

DODSON CIVIL GROUP
11111 W. 11th St., Suite 100
Dallas, TX 75244
Tel: 972.382.1111
Fax: 972.382.1112

DESIGN ENGINEER:
 ANDREW W. DODSON, P.E.
 261 WOODS CREEK DRIVE
 SUITE 100
 MIDDLE CREEK, TEXAS 78640
 817-482-2233
 ADW@DODSON-CIVIL.COM
 REG. NO. 135270

CLIENT:
 CROSS TEXAS LAND SERVICES, INC.
 2500 WESTLAKE COURT
 ALDINE, TEXAS 77424
 281-592-2216
 # REGISTRATION # 1552440

SITE DEVELOPMENT PLANS FOR:
OLD RIVER CROSSING - JOHNSON CITY RV
 XXXX OLD RIVER CROSSING
 JOHNSON CITY, TX 78636



VICINITY MAP
 SCALE: 1" = 500'

LEGAL DESCRIPTION:

N. 1/4 ACRES
 PORTION OF 62.28 ACRES
 RAYBURN E.C. 27A



DODSON CIVIL GROUP

UTILITIES:

WATER SERVICE:
 CONTACT: JOHNSON CITY UTILITY SERVICES
 201 E. PEGASUS DRIVE
 JOHNSON CITY, TX 78636

SEWER SERVICE:
 CONTACT: JOHNSON CITY UTILITY SERVICES
 JOHNSON CITY, TX 78636

ELECTRIC SERVICE:
 CONTACT: RETAILER'S SELECTING CO-OP, INC.
 JOHNSON CITY, TX 78636

SUBMITTED FOR APPROVAL BY:

ANDREW W. DODSON, P.E.
 REGISTERED PROFESSIONAL ENGINEER, LICENSE NO. 96447
 DATE: 04.13.2021

I, ANDREW W. DODSON, P.E. CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE MY ORIGINAL WORK AND HAVE NOT BEEN REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT MY WRITTEN PERMISSION. I HAVE NOT AUTHORIZED ANY OTHER PERSON TO REPRODUCE OR TRANSMIT THESE DOCUMENTS IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT MY WRITTEN PERMISSION.



DODSON CIVIL GROUP
 261 MIDDLE CREEK DRIVE
 BUENA VISTA, TEXAS 78610-2751
 REG. NO. 135270

JOHNSON CITY RV
 OLD RIVER CROSSING
 JOHNSON CITY, TX 78636
COVER SHEET

NO.	REVISION	DATE

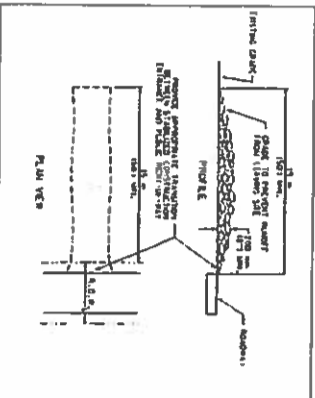
REVISION #	DESCRIPTION	APPROVAL

CAUTION:
 CONSULT WITH ALL EXISTING UTILITY LOCATIONS VERTICALLY AND HORIZONTALLY PRIOR TO START OF CONSTRUCTION.

THE CONSTRUCTION IS SPECIFICALLY OUTLINED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND FIELD SURVEYING. THE LOCATION OF ANY UTILITIES NOT SHOWN ON THESE PLANS IS NOT TO BE RELIED ON AS BEING ACCURATE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY, AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST A FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES WHICH OCCURS DURING THE CONSTRUCTION TO LOCATE ALL EXISTING UTILITIES WHICH MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION AND TO TAKE THE APPROPRIATE REMEDIAL ACTION ADVISED UPON BY THE ENGINEER.

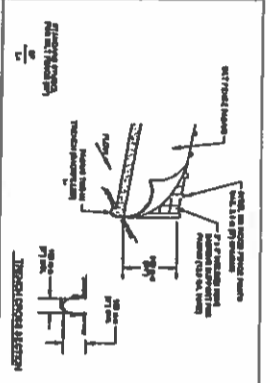
REVISIONS / CONNECTIONS

DATE: 12/20/2021
 DRAWN BY: AND
 CHECKED BY: HBS
 SHEET NO. 1 OF 13



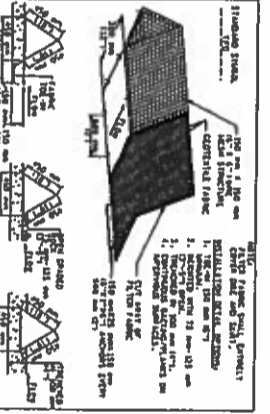
STAKED CONSTRUCTION ENTRANCE

NOTES:
 1. FRIDGE SHALL BE 12" HIGH AND 18" WIDE.
 2. CURB SHALL BE 12" HIGH AND 18" WIDE.
 3. GRAVEL SHALL BE 18" WIDE AND 12" DEEP.
 4. SIDEWALK SHALL BE 18" WIDE AND 4" THICK.
 5. CONCRETE SHALL BE 3000 PSI AND 4" THICK.
 6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.



BAR FENCE

NOTES:
 1. FENCE SHALL BE 48" HIGH AND 18" WIDE.
 2. POSTS SHALL BE 12" DIAMETER AND 18" WIDE.
 3. CHAIN LINK SHALL BE 18" WIDE AND 4" THICK.
 4. CONCRETE SHALL BE 3000 PSI AND 4" THICK.
 5. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.



STANDARD STONE

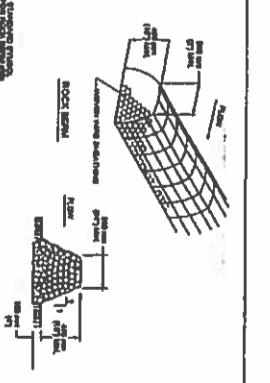
NOTES:
 1. CURB SHALL BE 12" HIGH AND 18" WIDE.
 2. SIDEWALK SHALL BE 18" WIDE AND 4" THICK.
 3. GRAVEL SHALL BE 18" WIDE AND 12" DEEP.
 4. STONE SHALL BE 18" WIDE AND 4" THICK.
 5. CONCRETE SHALL BE 3000 PSI AND 4" THICK.
 6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

TABLE

ITEM NO.	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	1.00	CY
2	GRAVEL	1.00	CY
3	STONE	1.00	CY
4	POSTS	1.00	EA
5	CHAIN LINK	1.00	EA

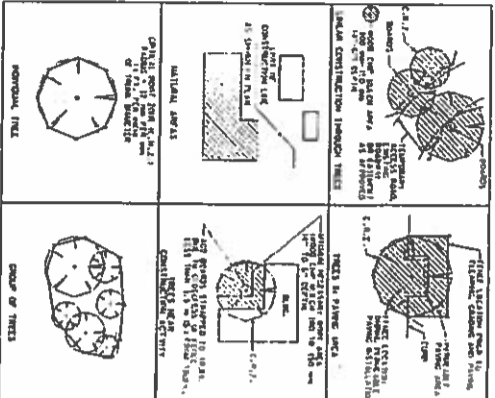
FILTER DUNE CURB AND PROTECTION

NOTES:
 1. CURB SHALL BE 12" HIGH AND 18" WIDE.
 2. SIDEWALK SHALL BE 18" WIDE AND 4" THICK.
 3. GRAVEL SHALL BE 18" WIDE AND 12" DEEP.
 4. FILTER DUNE SHALL BE 18" WIDE AND 4" THICK.
 5. CONCRETE SHALL BE 3000 PSI AND 4" THICK.
 6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.



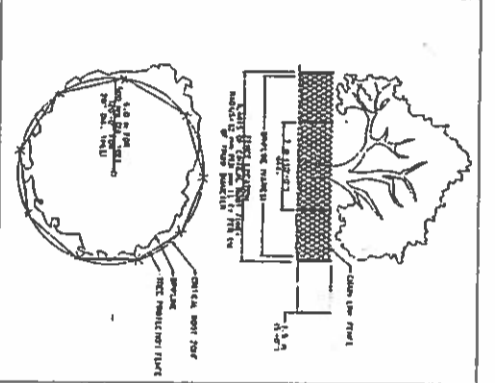
ROCK BERM

NOTES:
 1. CURB SHALL BE 12" HIGH AND 18" WIDE.
 2. SIDEWALK SHALL BE 18" WIDE AND 4" THICK.
 3. GRAVEL SHALL BE 18" WIDE AND 12" DEEP.
 4. ROCK SHALL BE 18" WIDE AND 4" THICK.
 5. CONCRETE SHALL BE 3000 PSI AND 4" THICK.
 6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.



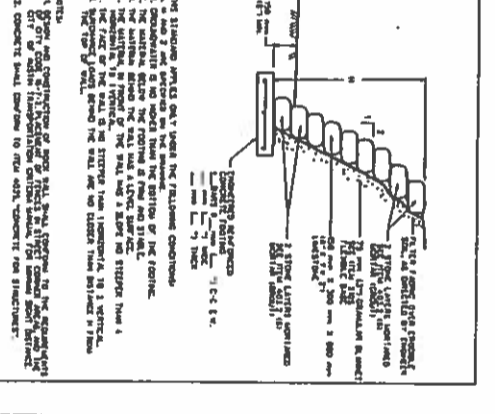
TREE PROTECTION FENCE LOCATIONS

NOTES:
 1. FENCE SHALL BE 48" HIGH AND 18" WIDE.
 2. POSTS SHALL BE 12" DIAMETER AND 18" WIDE.
 3. CHAIN LINK SHALL BE 18" WIDE AND 4" THICK.
 4. CONCRETE SHALL BE 3000 PSI AND 4" THICK.
 5. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.



TREE PROTECTION FENCE TYPE A-CHAIN LINK

NOTES:
 1. FENCE SHALL BE 48" HIGH AND 18" WIDE.
 2. POSTS SHALL BE 12" DIAMETER AND 18" WIDE.
 3. CHAIN LINK SHALL BE 18" WIDE AND 4" THICK.
 4. CONCRETE SHALL BE 3000 PSI AND 4" THICK.
 5. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.



DRY STACK ROCK WALL FOR SLOPE PROTECTION

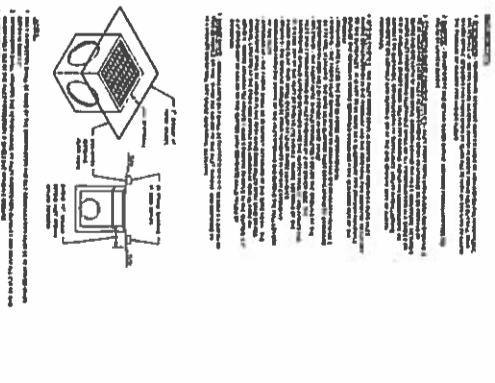
NOTES:
 1. CURB SHALL BE 12" HIGH AND 18" WIDE.
 2. SIDEWALK SHALL BE 18" WIDE AND 4" THICK.
 3. GRAVEL SHALL BE 18" WIDE AND 12" DEEP.
 4. ROCK SHALL BE 18" WIDE AND 4" THICK.
 5. CONCRETE SHALL BE 3000 PSI AND 4" THICK.
 6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

TABLE

ITEM NO.	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	1.00	CY
2	GRAVEL	1.00	CY
3	STONE	1.00	CY
4	POSTS	1.00	EA
5	CHAIN LINK	1.00	EA

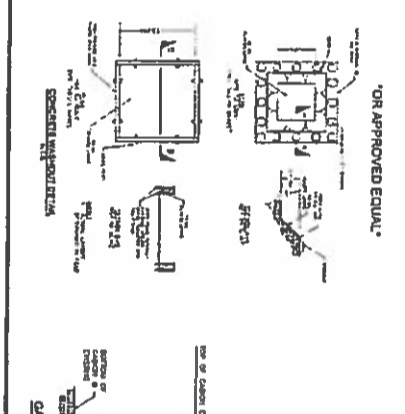
AREA A TRENCH DRAIN SNIET PROTECTION

NOTES:
 1. CURB SHALL BE 12" HIGH AND 18" WIDE.
 2. SIDEWALK SHALL BE 18" WIDE AND 4" THICK.
 3. GRAVEL SHALL BE 18" WIDE AND 12" DEEP.
 4. TRENCH DRAIN SHALL BE 18" WIDE AND 4" THICK.
 5. CONCRETE SHALL BE 3000 PSI AND 4" THICK.
 6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.



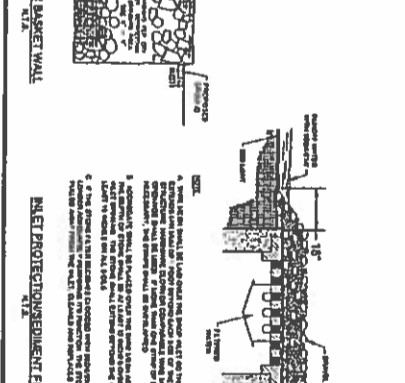
AREA A TRENCH DRAIN SNIET PROTECTION

NOTES:
 1. FENCE SHALL BE 48" HIGH AND 18" WIDE.
 2. POSTS SHALL BE 12" DIAMETER AND 18" WIDE.
 3. CHAIN LINK SHALL BE 18" WIDE AND 4" THICK.
 4. CONCRETE SHALL BE 3000 PSI AND 4" THICK.
 5. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.



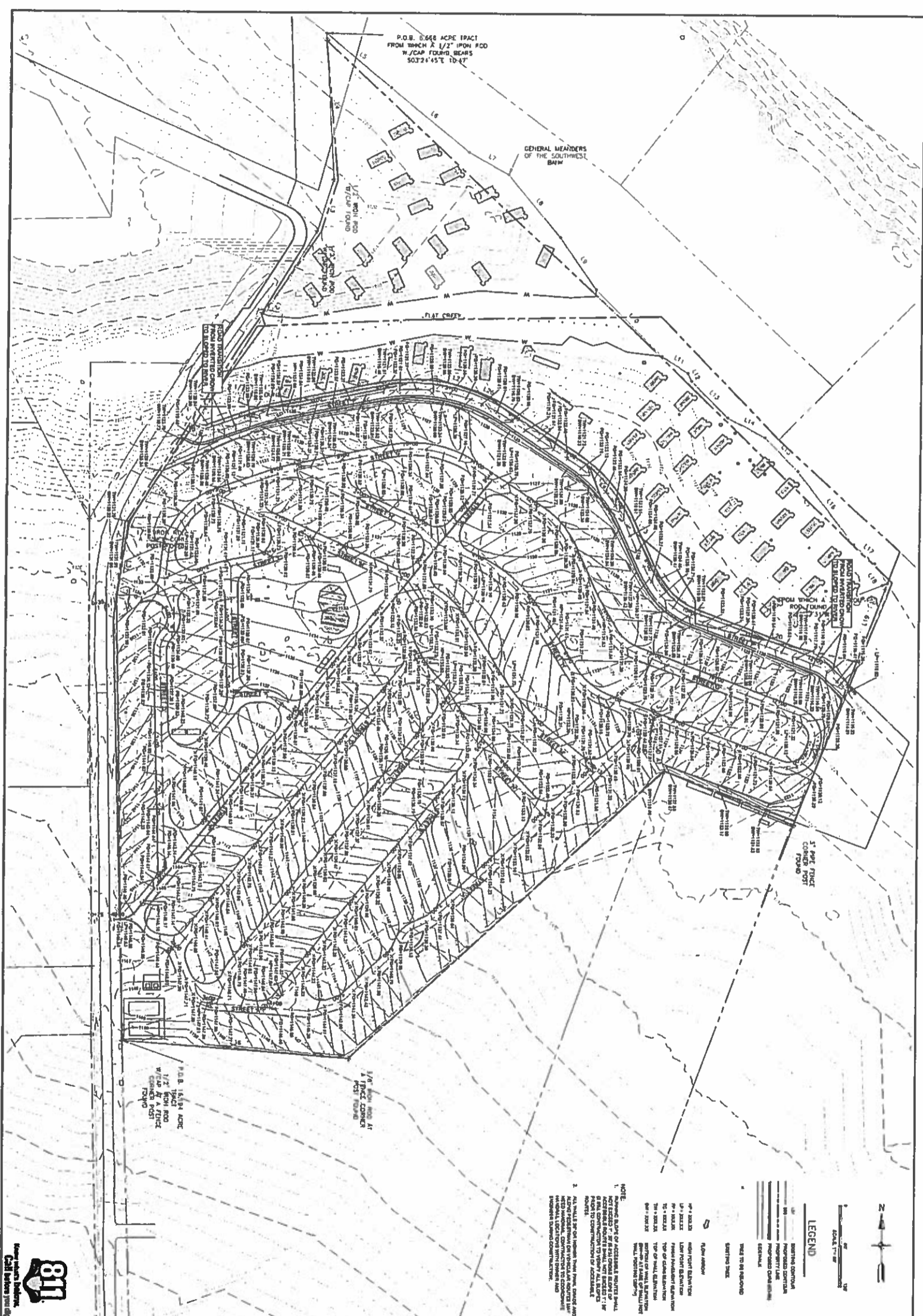
GABION BASKET WALL

NOTES:
 1. CURB SHALL BE 12" HIGH AND 18" WIDE.
 2. SIDEWALK SHALL BE 18" WIDE AND 4" THICK.
 3. GRAVEL SHALL BE 18" WIDE AND 12" DEEP.
 4. GABION BASKET SHALL BE 18" WIDE AND 4" THICK.
 5. CONCRETE SHALL BE 3000 PSI AND 4" THICK.
 6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.



SNIET PROTECTION FILTER

NOTES:
 1. FENCE SHALL BE 48" HIGH AND 18" WIDE.
 2. POSTS SHALL BE 12" DIAMETER AND 18" WIDE.
 3. CHAIN LINK SHALL BE 18" WIDE AND 4" THICK.
 4. CONCRETE SHALL BE 3000 PSI AND 4" THICK.
 5. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.



811
 CALL BEFORE YOU DIG
 1-800-4-A-DIG


THIS DRAWING IS THE PROPERTY OF DODSON CIVIL GROUP. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF DODSON CIVIL GROUP IS STRICTLY PROHIBITED.

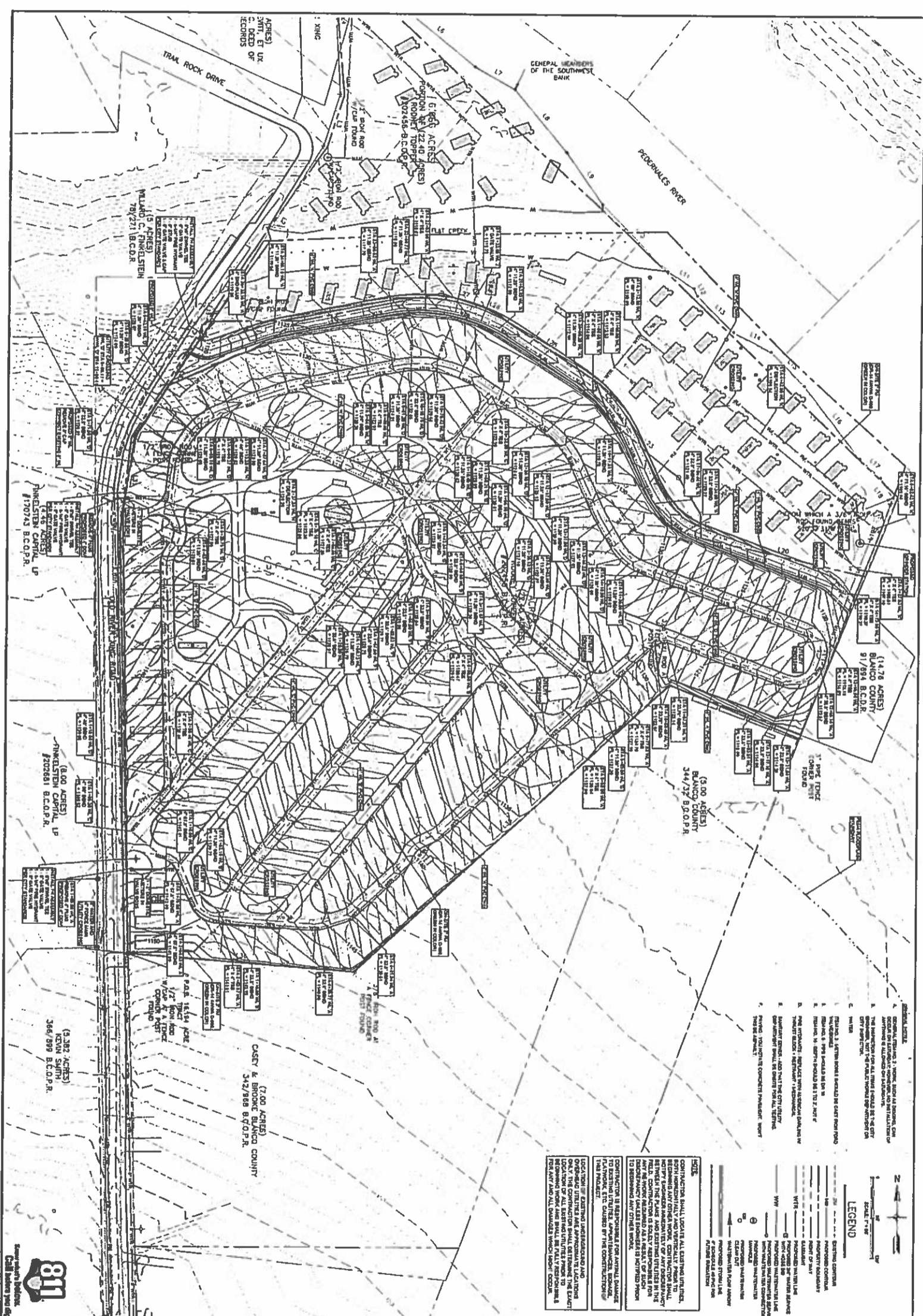
**JOHNSON CITY RV
 OLD RIVER CROSSING
 JOHNSON CITY, TX 78638**

RV GRADING PLAN

DATE	12/20/21
DESIGNED BY	AWD
CHECKED BY	MSB
SCALE	AS SHOWN
SHEET NO.	6 OF 13

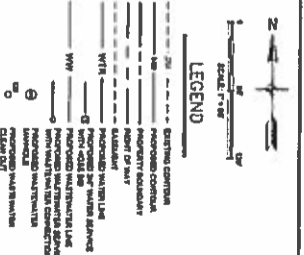
NOTE
 1. THESE GRADING PLANS ARE FOR THE PROPOSED CONSTRUCTION OF THE RV PADS AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES.
 2. THE GRADING PLANS ARE TO BE USED IN CONJUNCTION WITH THE SITE PLAN AND THE UTILITY PLANS.
 3. THE GRADING PLANS ARE TO BE USED IN CONJUNCTION WITH THE EROSION CONTROL PLANS.
 4. THE GRADING PLANS ARE TO BE USED IN CONJUNCTION WITH THE DRAINAGE PLANS.
 5. THE GRADING PLANS ARE TO BE USED IN CONJUNCTION WITH THE LANDSCAPE PLANS.
 6. THE GRADING PLANS ARE TO BE USED IN CONJUNCTION WITH THE SITE SPECIFIC PLANS.
 7. THE GRADING PLANS ARE TO BE USED IN CONJUNCTION WITH THE SITE SPECIFIC PLANS.
 8. THE GRADING PLANS ARE TO BE USED IN CONJUNCTION WITH THE SITE SPECIFIC PLANS.
 9. THE GRADING PLANS ARE TO BE USED IN CONJUNCTION WITH THE SITE SPECIFIC PLANS.
 10. THE GRADING PLANS ARE TO BE USED IN CONJUNCTION WITH THE SITE SPECIFIC PLANS.


DODSON CIVIL GROUP
 361 MIDDLE CREEK DRIVE
 BUENA VISTA, TX 78613-2763
 PH: 817-208-0700



- GENERAL NOTES**
1. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, CONDUITS, AND STRUCTURES BEFORE BEGINNING WORK.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JOHNSON CITY AND THE STATE OF TEXAS.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF JOHNSON CITY WATER DEPARTMENT SPECIFICATIONS.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO ANY EXCAVATION WORK.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JOHNSON CITY AND THE STATE OF TEXAS.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF JOHNSON CITY WATER DEPARTMENT SPECIFICATIONS.
 8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 9. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO ANY EXCAVATION WORK.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JOHNSON CITY AND THE STATE OF TEXAS.
 11. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF JOHNSON CITY WATER DEPARTMENT SPECIFICATIONS.
 12. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 13. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO ANY EXCAVATION WORK.

SCALE
 CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, CONDUITS, AND STRUCTURES BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JOHNSON CITY AND THE STATE OF TEXAS. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF JOHNSON CITY WATER DEPARTMENT SPECIFICATIONS. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO ANY EXCAVATION WORK.

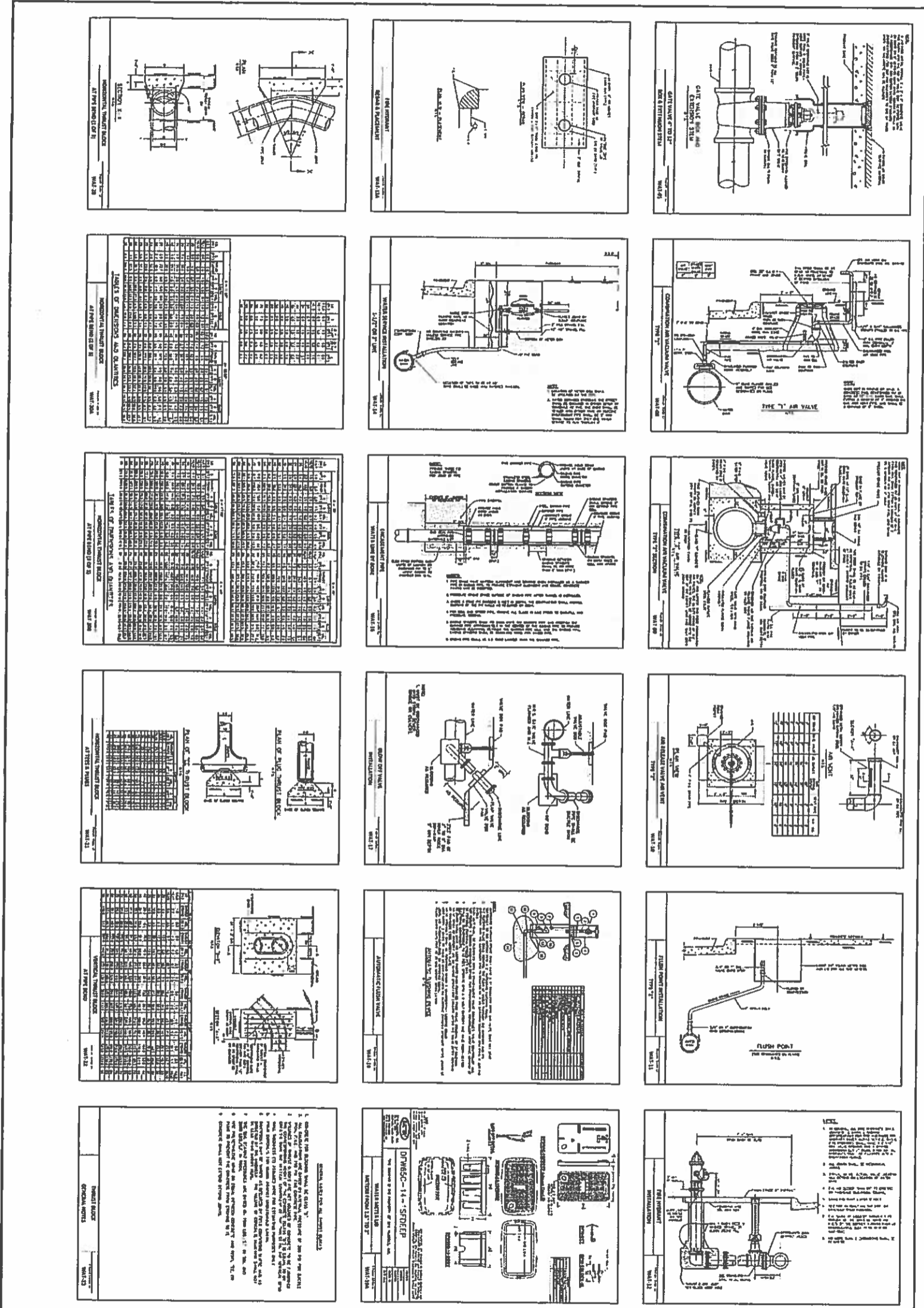


DODSON CIVIL GROUP
 361 MIDDLE CREEK DRIVE
 BLUMENAU, TX 75813
 PHONE # 202/971-1111

WATER PLAN

JOHNSON CITY RV
 OLD RIVER CROSSING
 JOHNSON CITY, TX 76836

DATE: 12/20/2021
 DRAWN BY: AWD
 CHECKED BY: MRS
 SHEET NO. 7 OF 13

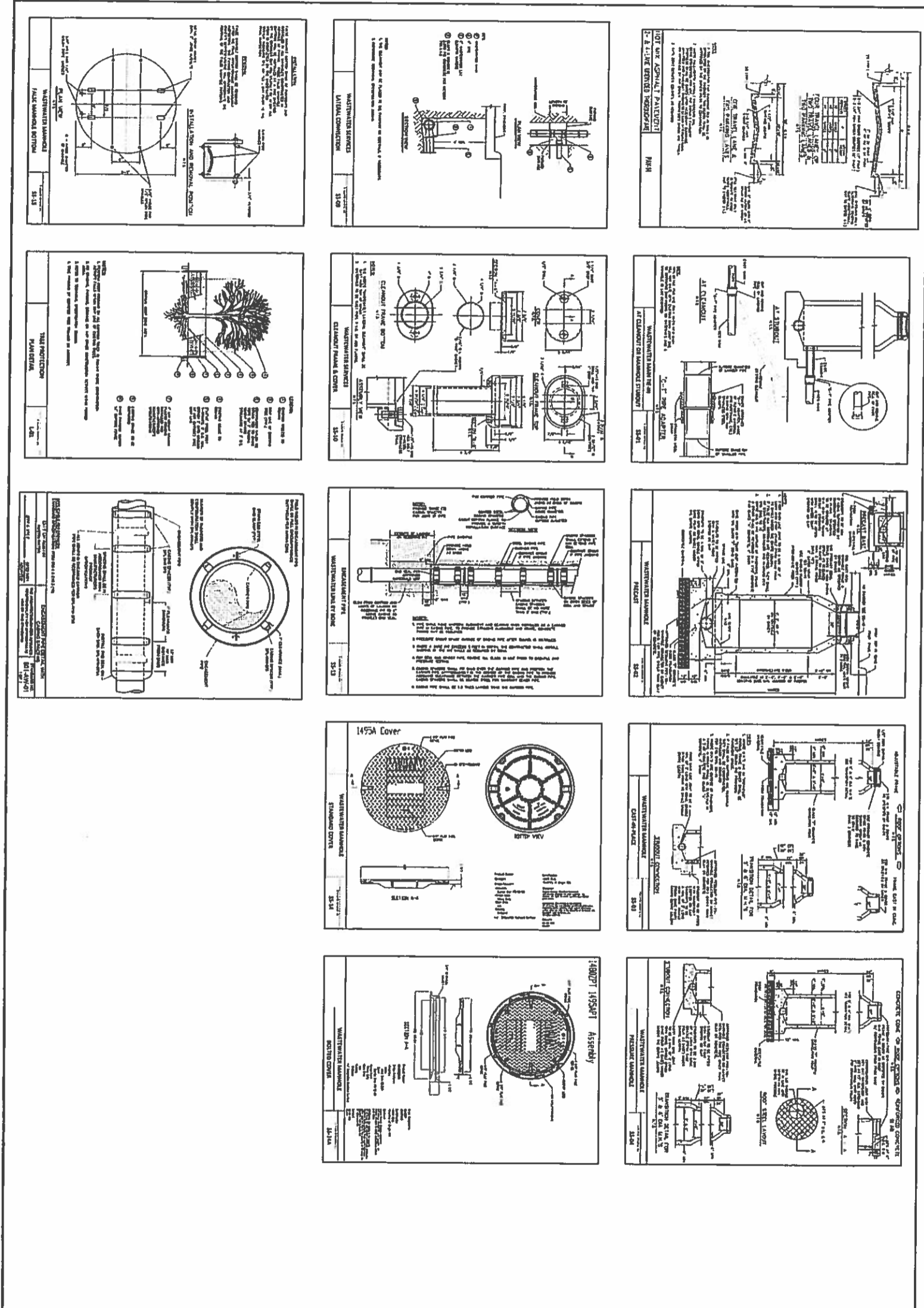


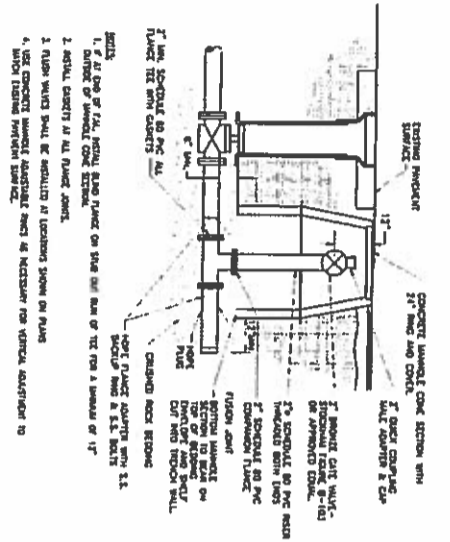
Date: 12/20/21
 Drawn by: QWJ
 Checked by: PMS
 Scale: 1/8" = 1'-0"
 Sheet No: 10 of 13

JOHNSON CITY RV
 OLD RIVER CROSSING
 JOHNSON CITY, TX 78638
DETAILS SHEET 1

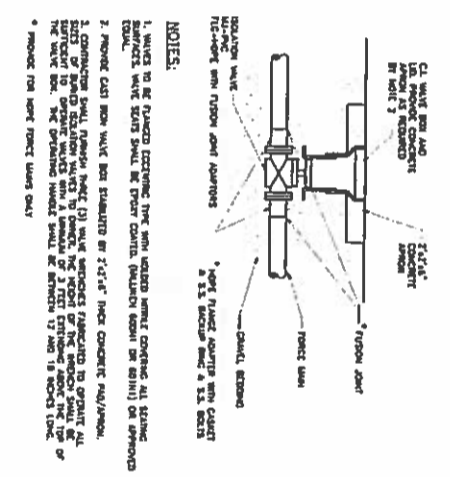
NO.	DESCRIPTION	DATE

DODSON CIVIL GROUP
 361 MIDDLE CREEK DRIVE
 BUENA VISTA, TX 78610-2761
 PHONE 817-208-7070

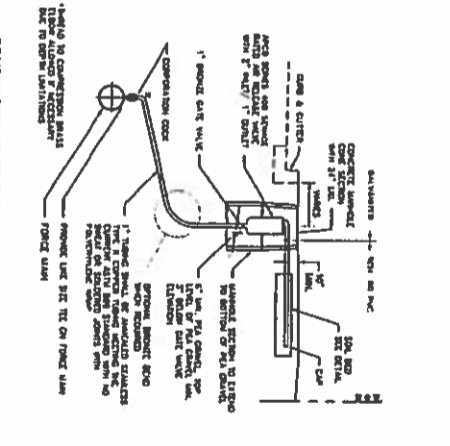




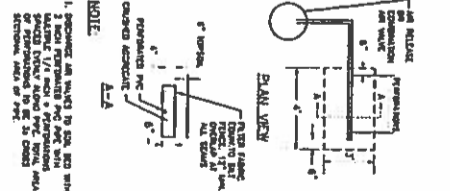
**FLUSH VALVE DETAIL WITH HOSE COMPONENTS
ON SOLE**



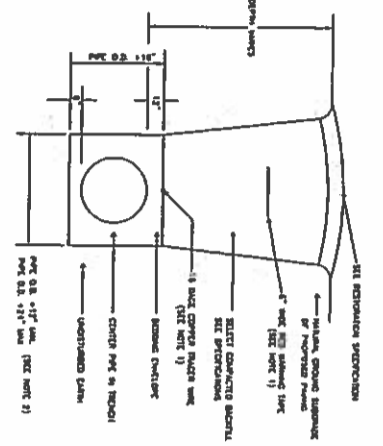
FORCE MAIN ISOLATION VALVE DETAIL



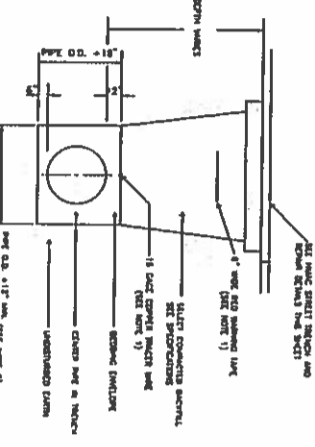
COMBINATION AIR RELEASE VALVE INSTALLATION



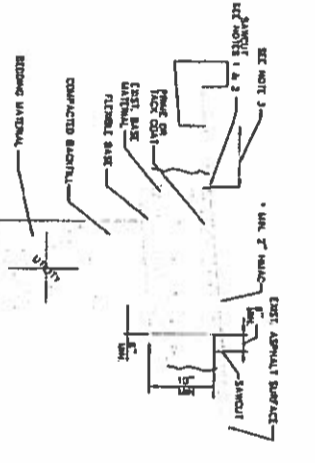
SOIL BED DETAIL



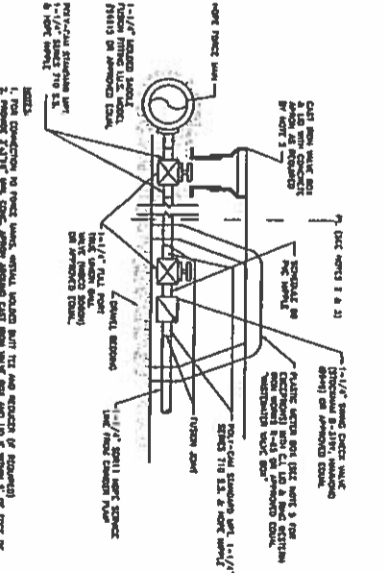
**TYPICAL TRENCH DETAIL FOR UNPAVED SURFACES
ON SOLE**



**TYPICAL TRENCH WITH PAVED SURFACE
ON SOLE**



**TYPICAL WASTEWATER STUB
ON SOLE**



**TYPICAL GRINDER PUMP DISCHARGE SERVICE
CONNECTION TO HOPE FORCE MAIN
ON SOLE**

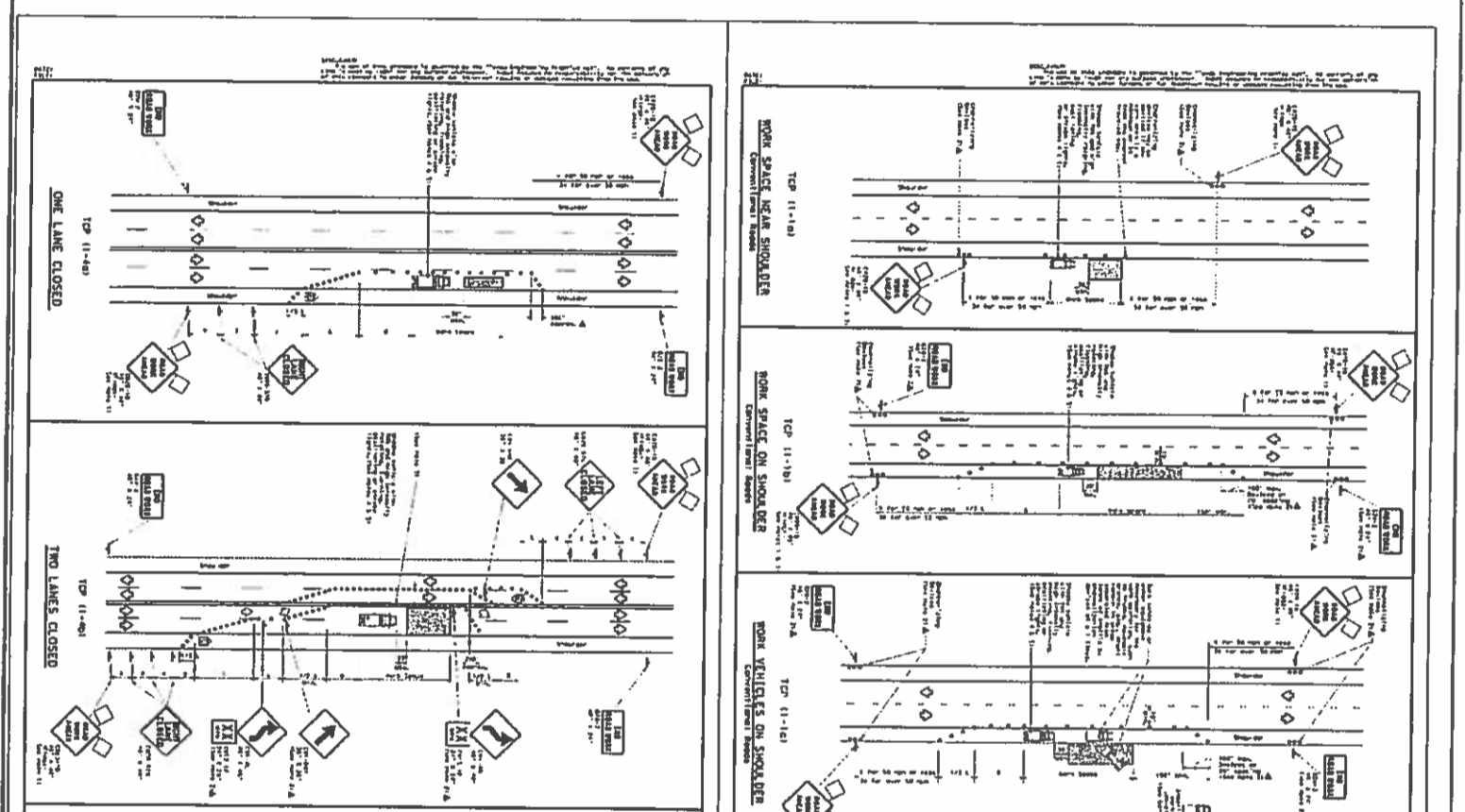
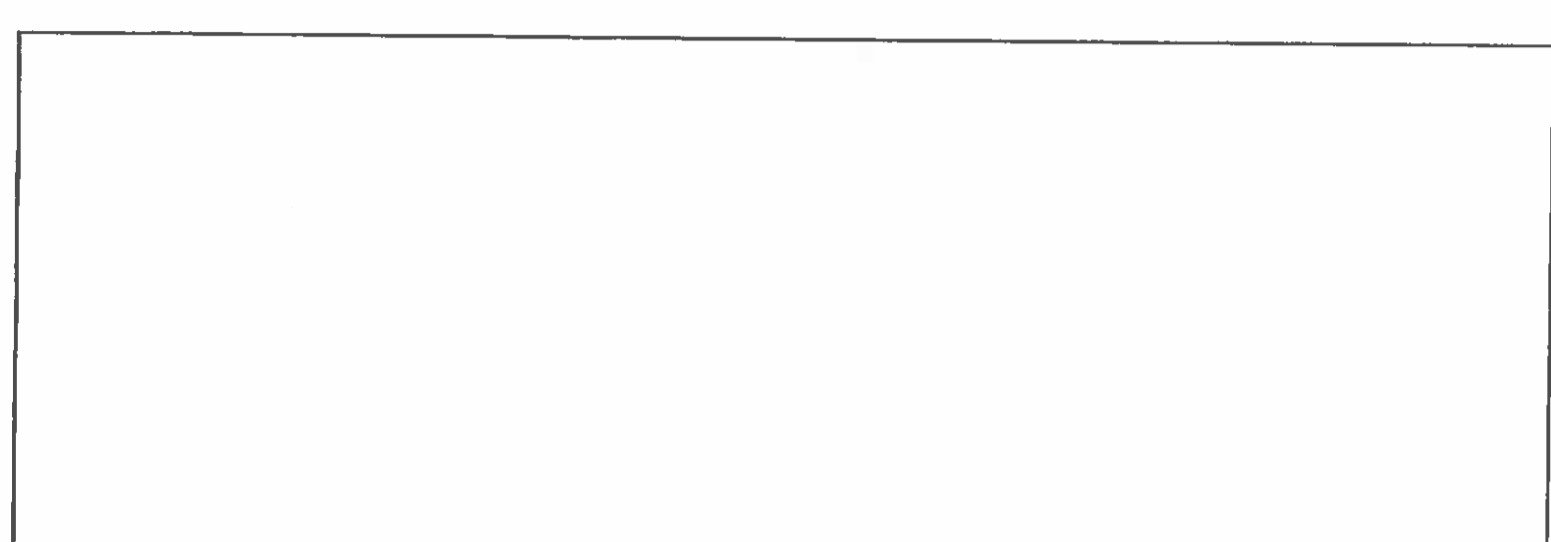
JOHNSON CITY RV
OLD RIVER CROSSING
JOHNSON CITY, TX 78636

DETAILS SHEET 3

DODSON CIVIL GROUP

381 MIDDLE CREEK DRIVE
SUITE 77, 78610-2761
PHN # 20870

Drawn By	AMS
Checked By	AMS
Date	12/29/2021
Sheet No.	12 of 13



NO.	DESCRIPTION	DATE	BY
1	ISSUED	11/13/13	AMS

NO.	DESCRIPTION	DATE	BY
1	ISSUED	11/13/13	AMS

TRAFFIC CONTROL PLAN
 LANE CLOSURES ON MULTILANE CONVENTIONAL ROADS
 TCP 11-41-18

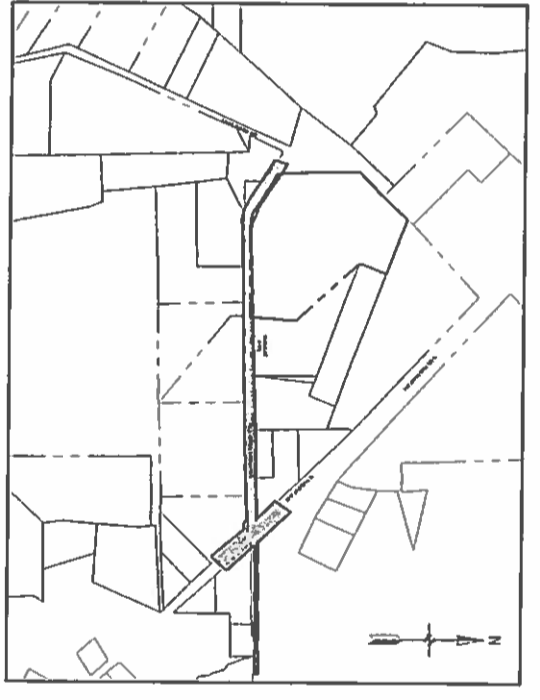
TRAFFIC CONTROL PLAN
 SHOULDER WORK
 TCP 11-11-18

TRAFFIC CONTROL PLAN
 SHOULDER WORK
 TCP 11-11-18

DESIGN ENGINEER:
 ANDREW W. DOODSON, P.E.
 303 E. PECAN DRIVE
 JOHNSON CITY, TX 78636
 512.482.2233
 ADODSON@GMAIL.COM

SURVEYOR:
 TERRY L. WATSON, L.S.
 208 WESTLAKE DRIVE
 JOHNSON CITY, TX 78636
 512.482.2233
 TFW@GMAIL.COM

PUBLIC IMPROVEMENTS CONSTRUCTION PLANS FOR: OLD RIVER CROSSING ROAD & UTILITY IMPROVEMENTS JOHNSON CITY, TX 78636



VICINITY MAP:
 SCALE = 1" = 100'

Sheet Number	Sheet Title
--	COVER SHEET
--	GENERAL NOTES
--	EXISTING CONDITIONS PLAN
--	PROPOSED IMPROVEMENTS PLAN
--	GENERAL UTILITY PLAN
--	GENERAL STREET PLAN
--	GENERAL SIDEWALK PLAN
--	DETAILS SHEET 1
--	DETAILS SHEET 2
--	UTILITY CONTROL PLAN

LEGAL DESCRIPTION:



DODSON CIVIL GROUP

UTILITIES:
 WATER SERVICE: JOHNSON CITY UTILITY SERVICES
 CONTACT: 303 E. PECAN DRIVE, JOHNSON CITY, TX 78636

SANITARY SEWER SERVICE:
 CONTACT: JOHNSON CITY UTILITY SERVICES
 303 E. PECAN DRIVE, JOHNSON CITY, TX 78636

ELECTRIC SERVICE:
 CONTACT: PEACOCKS ELECTRIC CO.-P.C.
 201 E. AVENUE P, JOHNSON CITY, TX 78636

CAUTION:
 THE CONSTRUCTION SHALL BE CONDUCTED IN ACCORDANCE WITH THE APPROPRIATE REGULATORY AGENCIES SHOWN ON THE PLAN FOR THE PROJECT. THE DESIGNER ASSUMES NO LIABILITY FOR THE CONSTRUCTION OF THE PROJECT.

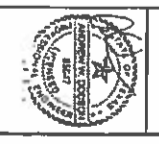
REVISION #	DESCRIPTION	APPROVAL

- GENERAL NOTES:**
- GENERAL NOTES: WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS AND THE CITY ENGINEER'S OFFICE SHALL BE THE CITY ENGINEER FOR THE PUBLIC WORKS DEPARTMENT ON CITY INFRASTRUCTURE.
 - THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT.
 - WATERS
 - ITEM NO. 3 - METERS SHOULD BE CAST FROM FIBER REINFORCED CONCRETE.
 - ITEM NO. 6 - PIPE SHOULD BE 15" DIA.
 - ITEM NO. 15 - SD-15 SHOULD BE 2' TO 3' HIGH.
 - PIPE MANHOLES - REPLACE WITH AMERICAN DRAINAGE PRODUCTS - REINFORCED CONCRETE.
 - SANITARY SEWER - ADD THAT THE CITY UTILITY DEPARTMENT SHALL BE RESPONSIBLE FOR ALL DESIGN.
 - PAVING - YOU MUST HAVE CONCRETE PAVEMENT - WORK THIS BE APPROVAL.

SUBMITTED FOR APPROVAL BY:
 Andrew W. Dodson
 REGISTERED PROFESSIONAL ENGINEER NO. 9841
 DATE: 04.22.2021

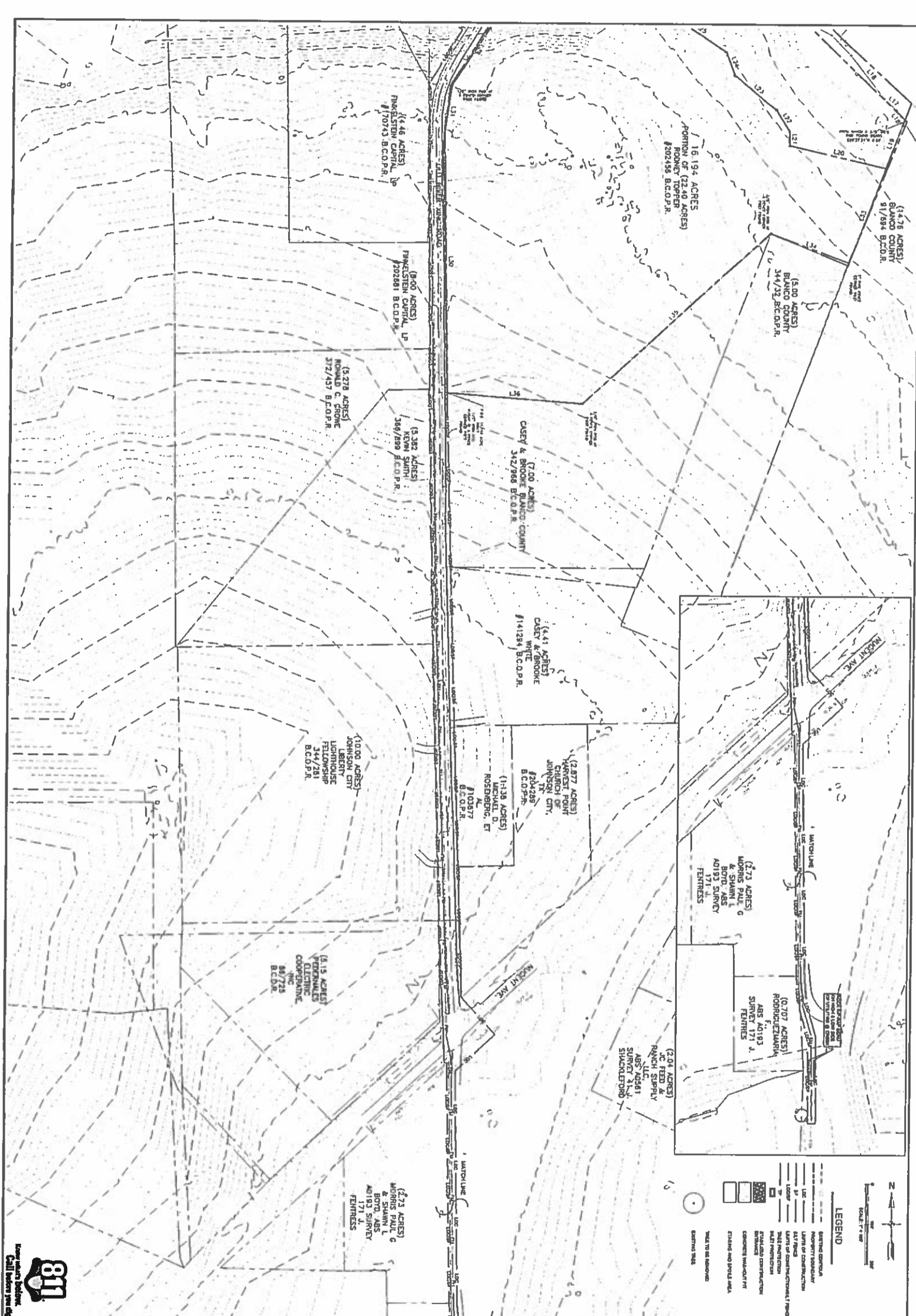


DATE: 10/27/2021
 DRAWN BY: AMS
 CHECKED BY: PMS
 SHEET NO. 1 OF 19



OLD RIVER CROSSING UTILITIES
 JOHNSON CITY, TX 78636
COVER SHEET

DODSON CIVIL GROUP
 361 MOBILE CREEK DRIVE
 BUDA, TX 78610-2763
 PH 512 261 2010

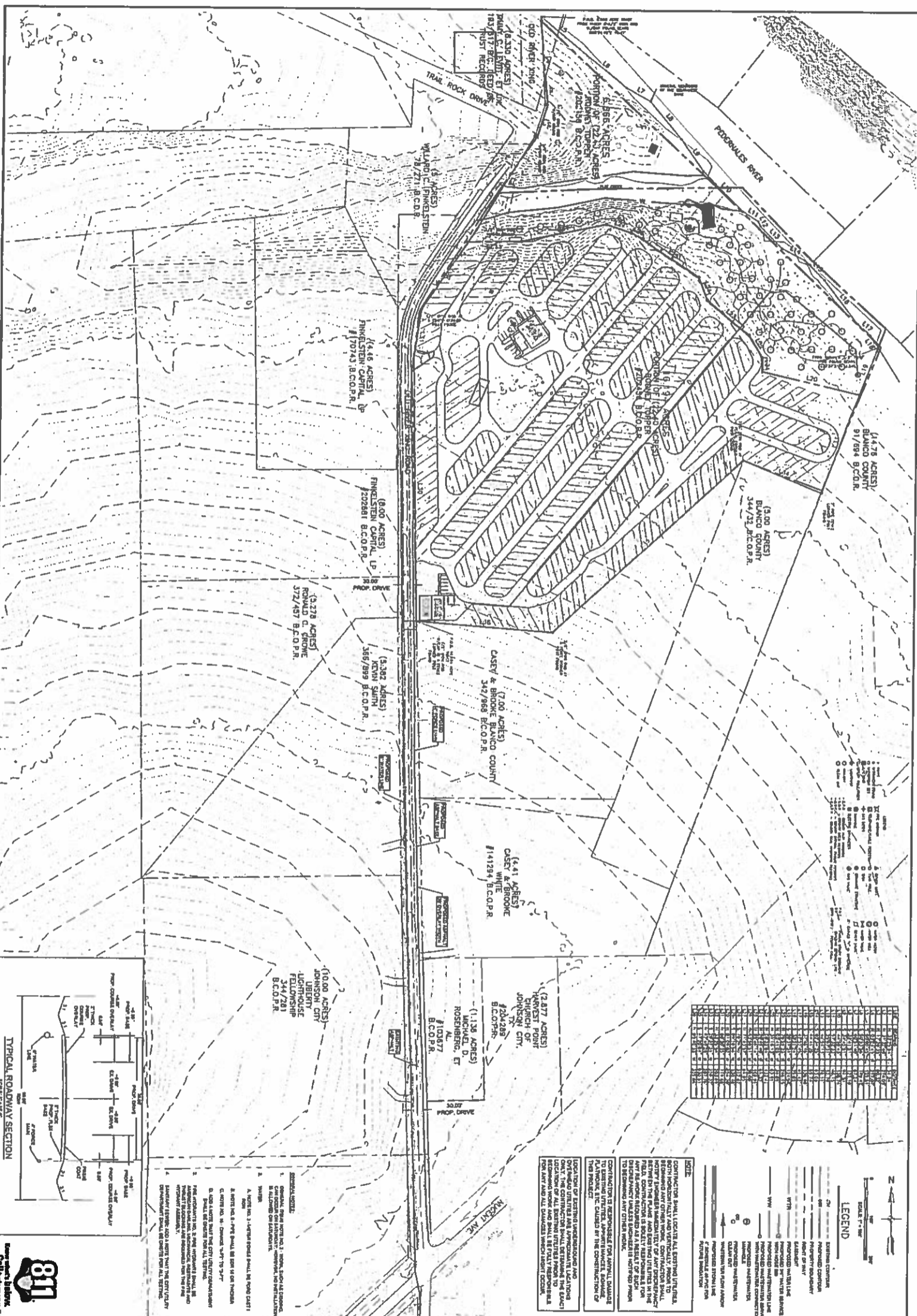


DAVID L. DODSON
Professional Engineer
State of Texas License No. 101212618

OLD RIVER CROSSING UTILITIES
OLD RIVER CROSSING
JOHNSON CITY, TX 78636

EROSION CONTROL PLAN

DODSON CIVIL GROUP
381 MIDDLE CREEK DRIVE
BUCKLE, TX 78610-3763
PHONE # 202670



811
Call before you dig

30.000 ACRES, VILLARD C. FINNELSTON 78/271 B.C.D.R.
14.300 ACRES, PARK, C. L. LITTLE ET AL, 183/817 B.C. NEED, MOST RECORDED
14.78 ACRES, BLANCO COUNTY 81/884 B.C.O.R.
14.90 ACRES, BLANCO COUNTY 344/732 B.C.O.P.R.
13.278 ACRES, RONALD C. GIBBIE 372/487 B.C.O.P.R.
13.800 ACRES, FINNELSTON CURTIS, LP 3202881 B.C.O.P.R.
13.900 ACRES, ACORN SOUTH 385/889 B.C.O.P.R.
7.00 ACRES, CASEY & BROOME BLANCO COUNTY 342/808 B.C.O.P.R.
14.41 ACRES, CASEY & BROOME WHITE 81/1294 B.C.O.P.R.
11.138 ACRES, MICHAEL D. ROSENBERG, ET AL, 8100817 B.C.O.P.R.
7.887 ACRES, CHURCH OF JONHSON CITY, TX 820289 B.C.O.P.R.
10.000 ACRES, JOHNSON CITY, UBERTY AND FILLIOWSIP 344/781 B.C.O.P.R.

DATE	10/12/2011
DESIGNER	AND
CHECKED BY	HMS
SCALE	AS SHOWN
SHEET NO.	19

OLD RIVER CROSSING UTILITIES
OLD RIVER CROSSING
JOHNSON CITY, TX 78636

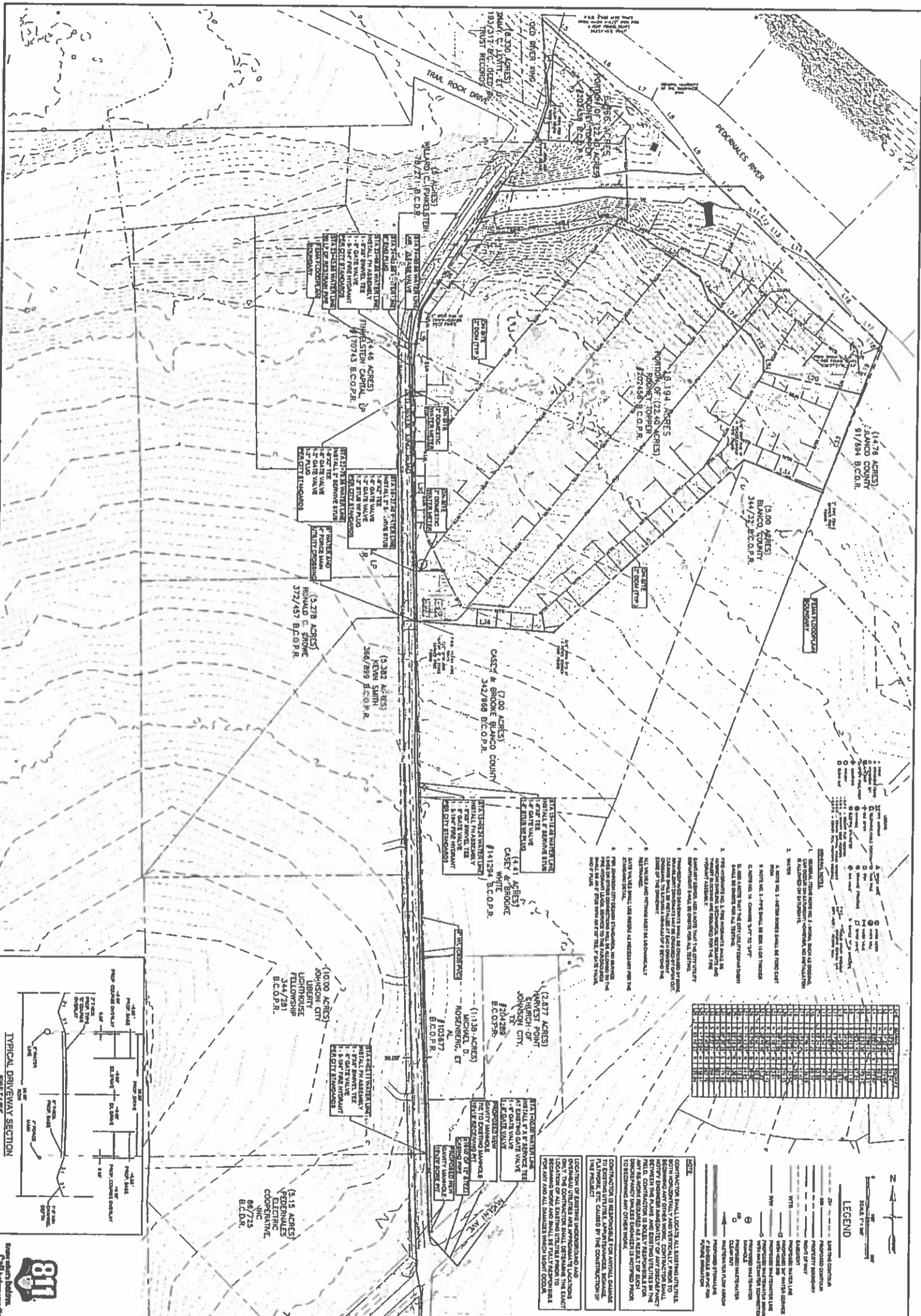
OVERALL STREET PLAN

5110



- LEGEND**
- PROPOSED ROADWAY
 - EXISTING ROADWAY
 - PROPOSED UTILITY
 - EXISTING UTILITY
 - PROPOSED SHOULDER
 - EXISTING SHOULDER
 - PROPOSED RIGHT-OF-WAY
 - EXISTING RIGHT-OF-WAY
 - PROPOSED CENTER LINE
 - EXISTING CENTER LINE
 - PROPOSED UTILITY LINE
 - EXISTING UTILITY LINE
 - PROPOSED UTILITY OFFSET
 - EXISTING UTILITY OFFSET
 - PROPOSED UTILITY DEPTH
 - EXISTING UTILITY DEPTH
 - PROPOSED UTILITY WIDTH
 - EXISTING UTILITY WIDTH
 - PROPOSED UTILITY SPACING
 - EXISTING UTILITY SPACING
 - PROPOSED UTILITY ALIGNMENT
 - EXISTING UTILITY ALIGNMENT
 - PROPOSED UTILITY LOCATION
 - EXISTING UTILITY LOCATION
 - PROPOSED UTILITY ORIENTATION
 - EXISTING UTILITY ORIENTATION
 - PROPOSED UTILITY DIRECTION
 - EXISTING UTILITY DIRECTION
 - PROPOSED UTILITY POSITION
 - EXISTING UTILITY POSITION
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 - PROPOSED UTILITY INSTALLATION
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 - PROPOSED UTILITY INSPECTION
 - EXISTING UTILITY INSPECTION
 - PROPOSED UTILITY MONITORING
 - EXISTING UTILITY MONITORING
 - PROPOSED UTILITY REPORTING
 - EXISTING UTILITY REPORTING
 - PROPOSED UTILITY RECORD KEEPING
 - EXISTING UTILITY RECORD KEEPING
 - PROPOSED UTILITY COMPLIANCE
 - EXISTING UTILITY COMPLIANCE
 - PROPOSED UTILITY ENFORCEMENT
 - EXISTING UTILITY ENFORCEMENT
 - PROPOSED UTILITY LIABILITY
 - EXISTING UTILITY LIABILITY
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 - PROPOSED UTILITY FINANCING
 - EXISTING UTILITY FINANCING
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 - PROPOSED UTILITY INVESTMENT
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 - PROPOSED UTILITY RETURN
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 - PROPOSED UTILITY YIELD
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 - PROPOSED UTILITY MITIGATION
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 - EXISTING UTILITY AVOIDANCE
 - PROPOSED UTILITY MINIMIZATION
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 - PROPOSED UTILITY RECONSTRUCTION
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 - EXISTING UTILITY REFURBISHMENT
 - PROPOSED UTILITY MODERNIZATION
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 - PROPOSED UTILITY IMPROVEMENT
 - EXISTING UTILITY IMPROVEMENT
 - PROPOSED UTILITY ENHANCEMENT
 - EXISTING UTILITY ENHANCEMENT
 - PROPOSED UTILITY OPTIMIZATION
 - EXISTING UTILITY OPTIMIZATION

DODSON CIVIL GROUP
361 MIDDLE CREEK DRIVE
BUDA, TX 78610-2761
P.O. BOX 20870



City of Johnson City, Texas

OLD RIVER CROSSING UTILITIES
 OLD RIVER CROSSING
 JOHNSON CITY, TX 78636

OVERALL WATER PLAN

Date: 10/22/2021
 Drawn by: AMO
 Checked by: HBS
 Scale: 1" = 100'

DODSON CIVIL GROUP
 361 MIDDLE CREEK DRIVE
 SUITE 200
 FLORENCE, SC 29506

<p>SECTION 1.1 GATE VALVE BOX AND CATWALK STAIRS</p>	<p>AIR CHAMBER</p>	<p>GATE VALVE 6" TO 12" BOX & EXTENSION STAIR</p>																																																																		
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DATE: 10/22/2021
 DRAWN BY: AHS
 CHECKED BY: JMS
 PROJECT No. 0119

OLD RIVER CROSSING UTILITIES
 OLD RIVER CROSSING
 JOHNSON CITY, TX 78636
DETAILS SHEET 1

DODSON CIVIL GROUP
 361 MIDDLE CREEK DRIVE
 BUDA, TX 78610-2761
 PHN # 20870