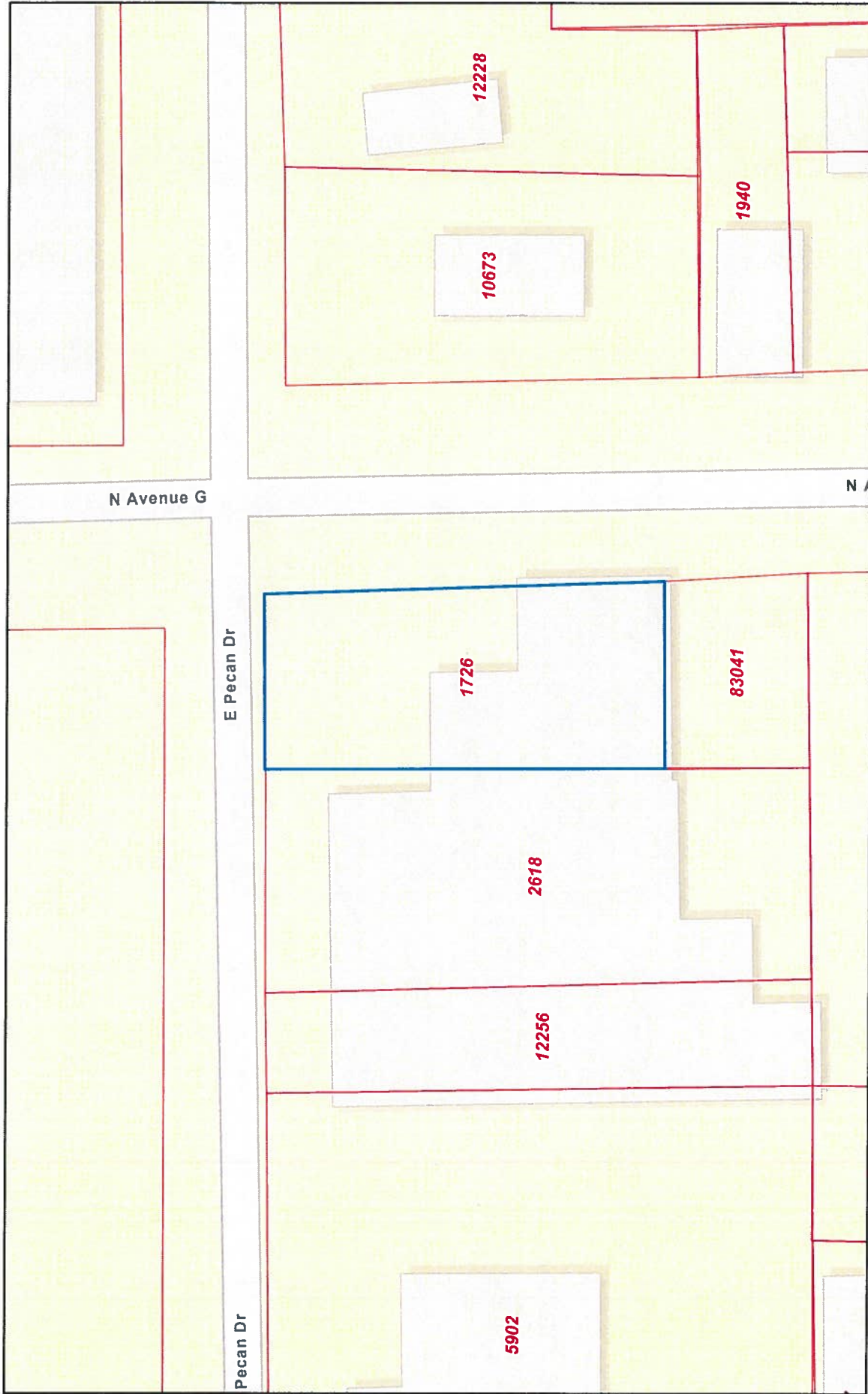
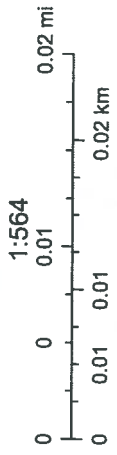


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-  Parcels
-  Abstracts



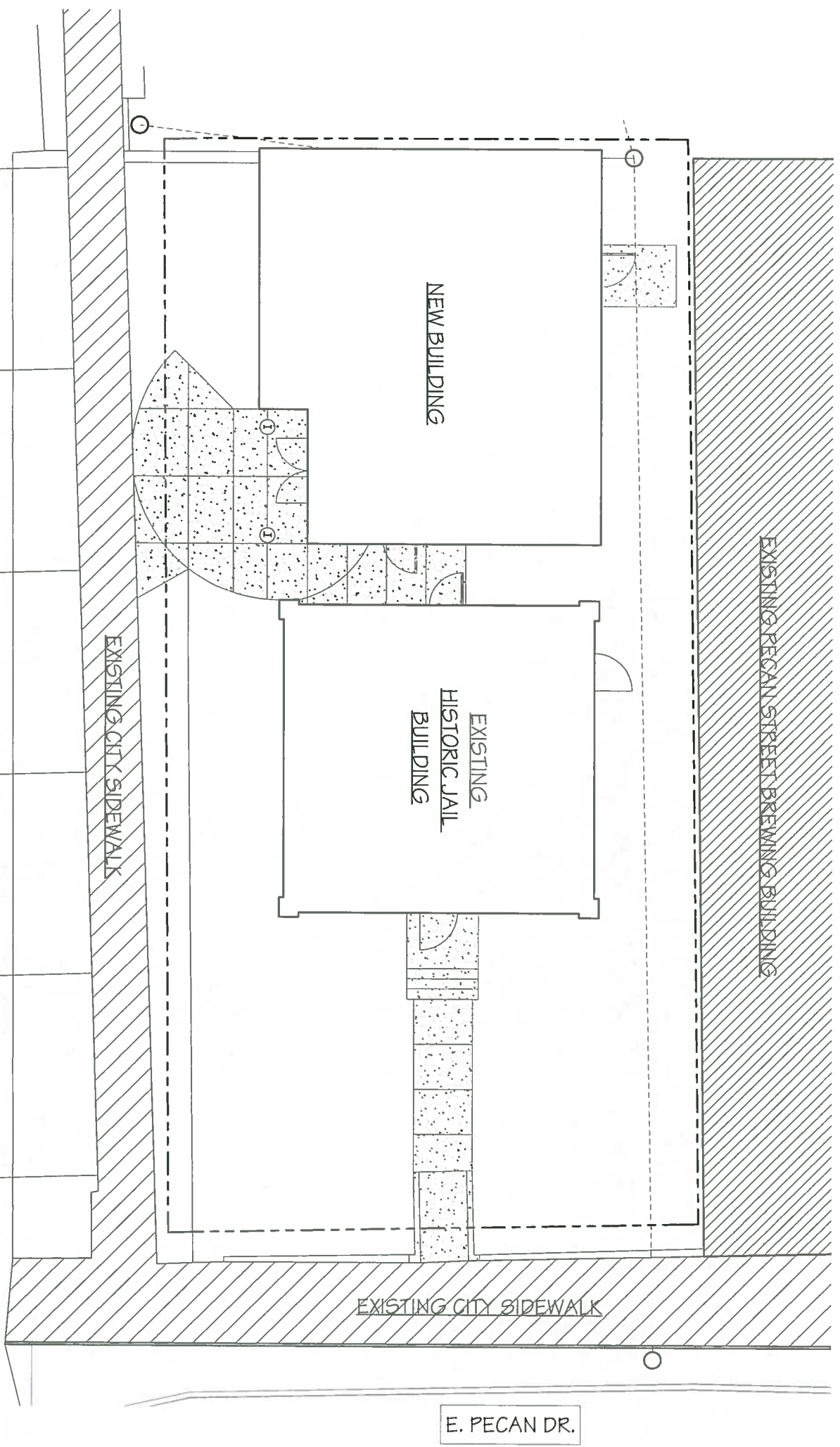
Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Disclaimer: This product is for informational purposes only and has not been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of boundaries.

keynotes

as indicated by: 

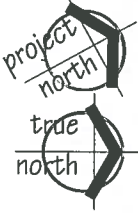
- | | |
|--|--|
| 1. EXISTING BUILDING AND FLOOR SLAB SHALL BE REMOVED. | 12. EXISTING ASPHALT STREET PAVING. |
| 2. EXISTING STONE JAIL HOUSE STRUCTURE SHALL REMAIN - PROTECT DURING CONSTRUCTION. | 13. EXISTING GUARDRAIL SHALL REMAIN. |
| 3. CONNECTION SEAM FROM EXISTING BUILDING TO JAIL HOUSE STRUCTURE - TAKE SPECIAL CARE TO PROTECT EXISTING JAIL HOUSE STRUCTURE AND PRESERVE ITS EXISTING CONDITIONS. | 14. EXISTING DRAINAGE GUTTER SHALL REMAIN. |
| 4. EXISTING SIDEWALK SHALL BE REMOVED. | 15. EXISTING ACCESSIBLE RAMP SHALL REMAIN. |
| 5. EXISTING LANDSCAPING AREA SHALL REMAIN. | 16. EXISTING CULVERT UNDER ACCESSIBLE RAMP SHALL REMAIN. |
| 6. EXISTING ELECTRICAL POWER POLE SHALL REMAIN. | 17. EXISTING STEPS SHALL REMAIN. |
| 7. EXISTING OVERHEAD POWER LINES - USE CAUTION DURING CONSTRUCTION. | 18. EXISTING BENCH SHALL BE REMOVED. |
| 8. EXISTING PROPERTY LINE. | 19. EXISTING PIPE BOLLARD SHALL BE REMOVED. |
| 9. EXISTING PIPE RAILING SHALL BE REMOVED. | 20. EXISTING PARALLEL PARKING STRIPING SHALL BE REMOVED. |
| 10. EXISTING BUILDING OR ADJACENT PROPERTY - PROTECT DURING CONSTRUCTION. | |
| 11. EXISTING SIDEWALK SHALL REMAIN. | |

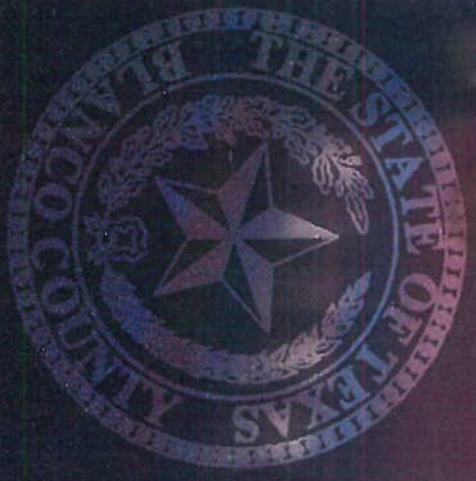


New Site Plan
 scale: 3/16" = 1'-0"

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<p>date: _____</p> <p>Issue Date _____</p>	<p>Issue: _____</p>	<p>Rehabilitation, Adaptive Reuse, and New Building for:</p> <h1 style="margin: 0;">Blanco County Historic Jailhouse</h1> <p>106 E. PECAN DRIVE Johnson City, TX 78636</p>
		
<p>THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.</p> <p>W. SCOTT SCHELLHAUSE, AIA TEXAS NO. 11062</p>		
<p>500 riverhill boulevard kerrville, texas 78029.0729 806.794.4726 506.553.7570 (cell)</p>		
<p>date: _____ project # _____</p> <p>Issue Date 12/20/21</p>		
<p>New Site Plan</p>		
<p>sheet SP-3</p>		





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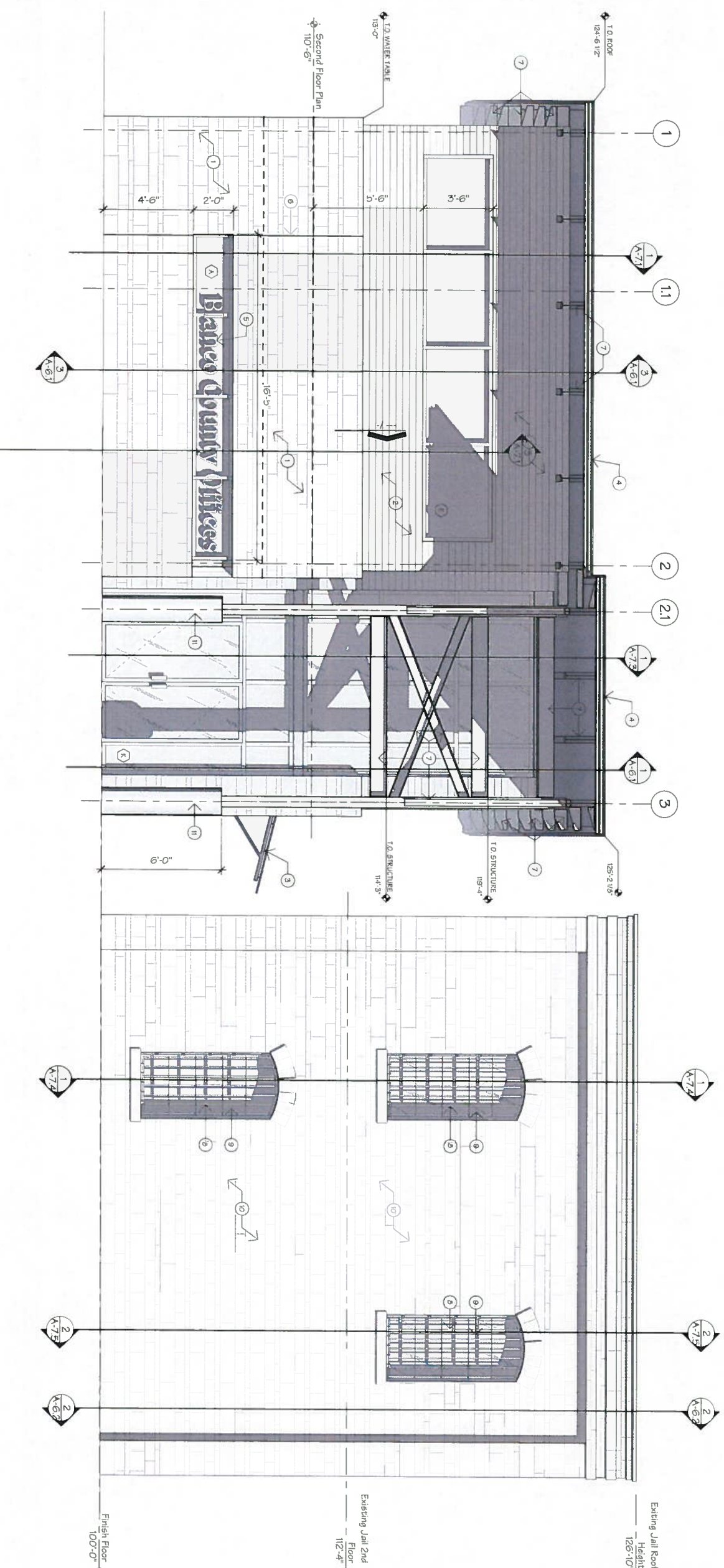
Unbroken
Industries



East Elevation

Scale: 3/16" = 1'-0"

- ### keynotes
- as indicated by ○ →
- 1 New rough-fac, coursed, ashlar stone work.
 - 2 New wooden exterior finish.
 - 3 New awning ref.
 - 4 New prefinished metal roofing.
 - 5 New "Blanco County Offices" signage, ref. Architect.
 - 6 Masonry control joint - coordinate all locations with Architect.
 - 7 Structural steel framing, typ - ref. structural.
 - 8 Refinished metal bars with new hinge system, ref.
 - 9 New aluminum framed window behind metal bars.
 - 10 Existing stone masonry at jail.
 - 11 Concrete plaster - ref. structural.
 - 12 New aluminum framed door with transom.



keynotes
as indicated by ○ →

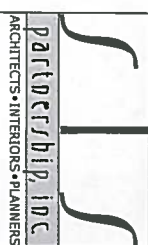
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- 9 New aluminum framed window behind metal bars.
- 10 Existing stone masonry at jail.
- 11 Concrete plaster - ref. structural.
- 12 New aluminum framed door with transom.

Johnson City, TX 78636

Blanco County Historic Jail Site

106 E. PECAN DRIVE

Rehabilitation/Adaptive Reuse, and New Building for:



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TEXAS NO. 11062

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kerrville, texas
78029.0729
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506.553.7570 (cell)

date: project #
Issue Date 12/2021

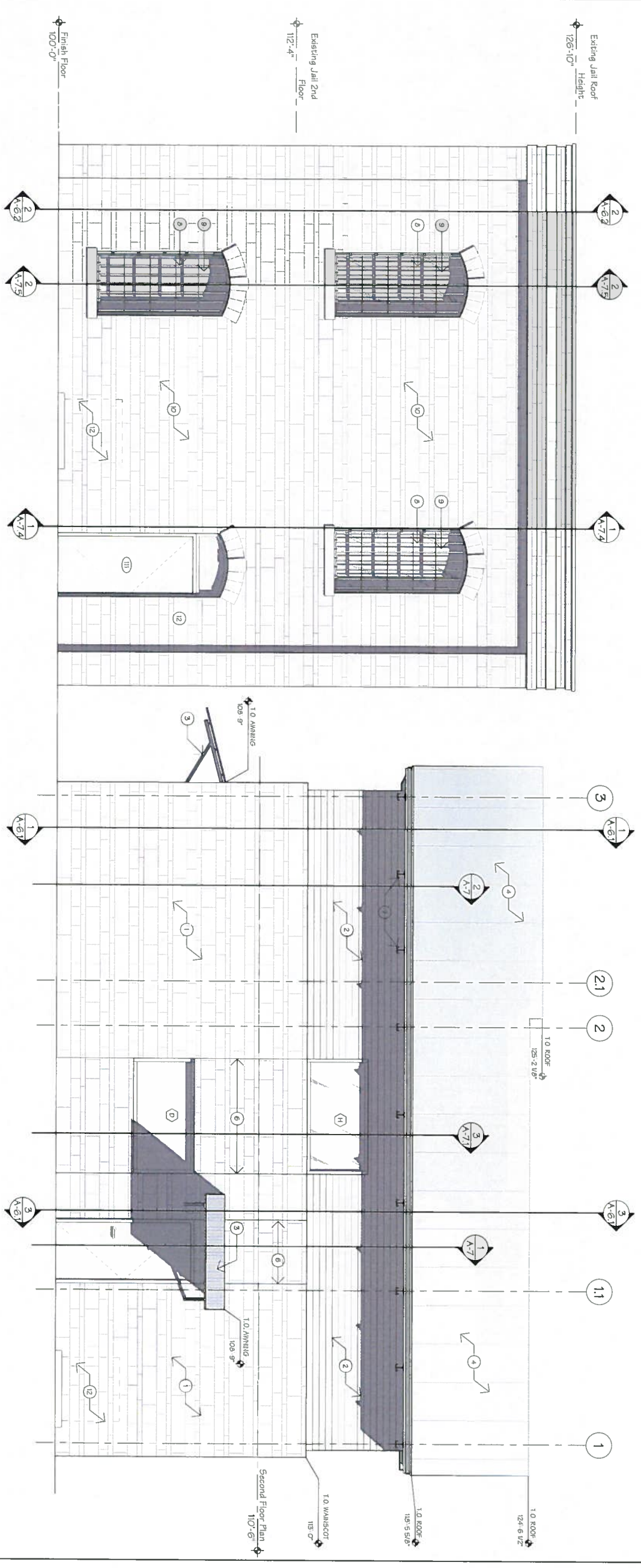
Exterior Elevations

sheet A-5

48-10-2007-1:20 PM: Drawing created by AutoCAD. Drawing saved as A5.dwg. Drawing title: Blanco County Historic Jail Site - East Elevation. Drawing scale: 3/16" = 1'-0". Drawing sheet: A-5 of 5. Drawing date: 12/20/21. Drawing time: 1:20 PM.

keynotes
as indicated by 

- 1 New rough-face, coursed, ashlar stone work
- 2 New wooden exterior finish
- 3 New awning ref.
- 4 New prefinished metal roofing
- 5 New "Blanco County Offices" signage, ref.
- 6 Masonry control joint - coordinate all locations with Architect.
- 7 Structural steel framing, typ - ref. structural
- 8 Refined metal bars with new hinge system, ref.
- 9 New aluminum framed window behind metal bars
- 10 Existing stone masonry at jail
- 11 Concrete pilaster - ref. structural
- 12 New exterior door with transom.



West Elevation
A-5.1 scale: 3/16" = 1'-0"

All drawings are preliminary. Plans and specifications are subject to change without notice. The contractor shall be responsible for all dimensions and locations on the job. The contractor shall be responsible for all dimensions and locations on the job. The contractor shall be responsible for all dimensions and locations on the job.

date:	issue:
Issue Date	

Rehabilitation/Adaptive Reuse, and New Building for:

Blanco County Historic Jail Site

106 E. PECAN DRIVE Johnson City, TX 78636

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Issue Date 12.2021

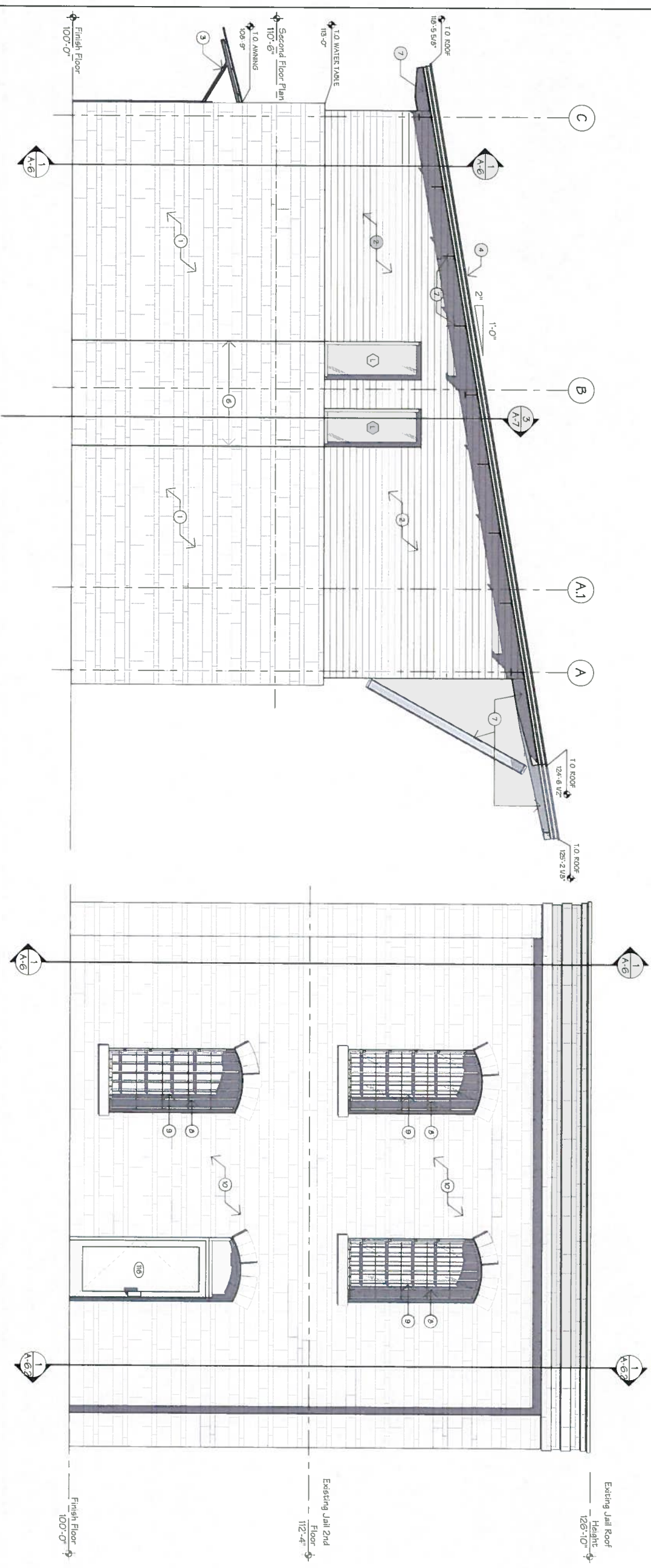
Exterior Elevations

sheet A-5.1

keynotes

as indicated by 

1. New rough-face, coursed, ashlar stone work
2. New wooden exterior finish
3. New sawing ref
4. New prefinished metal roofing
5. New "Blanco County Officer" signage ref Architect.
6. Masonry curtain joint - coordinate all locations with Architect.
7. Structural steel framing, typ - ref structural
8. Refined metal bars with new hinge system, ref
9. New aluminum framed window behind metal bars
10. Existing stone masonry at jail
11. Concrete pilaster - ref structural
12. New exterior door with transom



1 South Elevation - New
Scale: 3/16" = 1'-0"

2 South Elevation - Jail
Scale: 3/16" = 1'-0"

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date:	issue:
Issue Date	

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Blanco County Historic Jail Site

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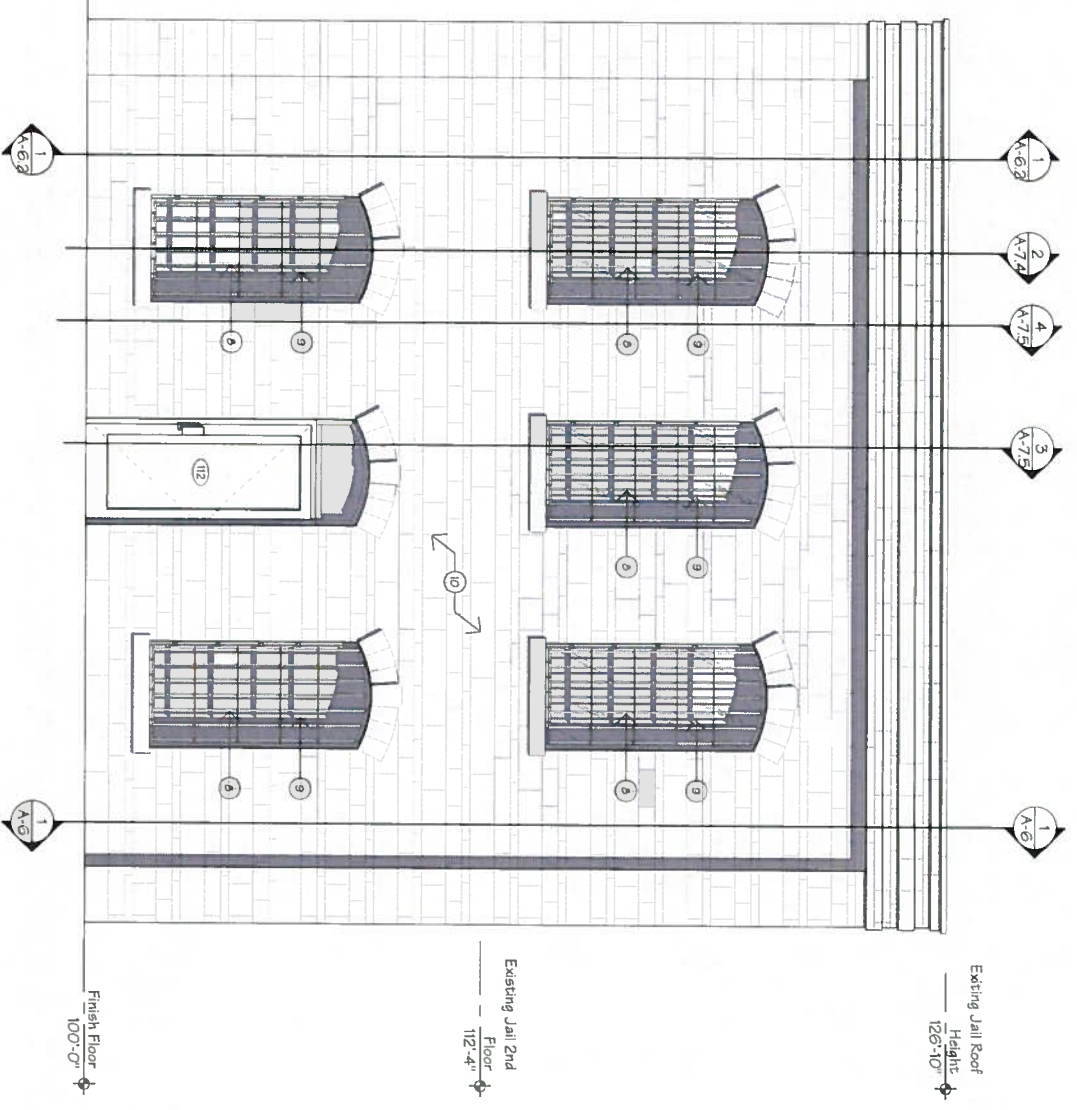
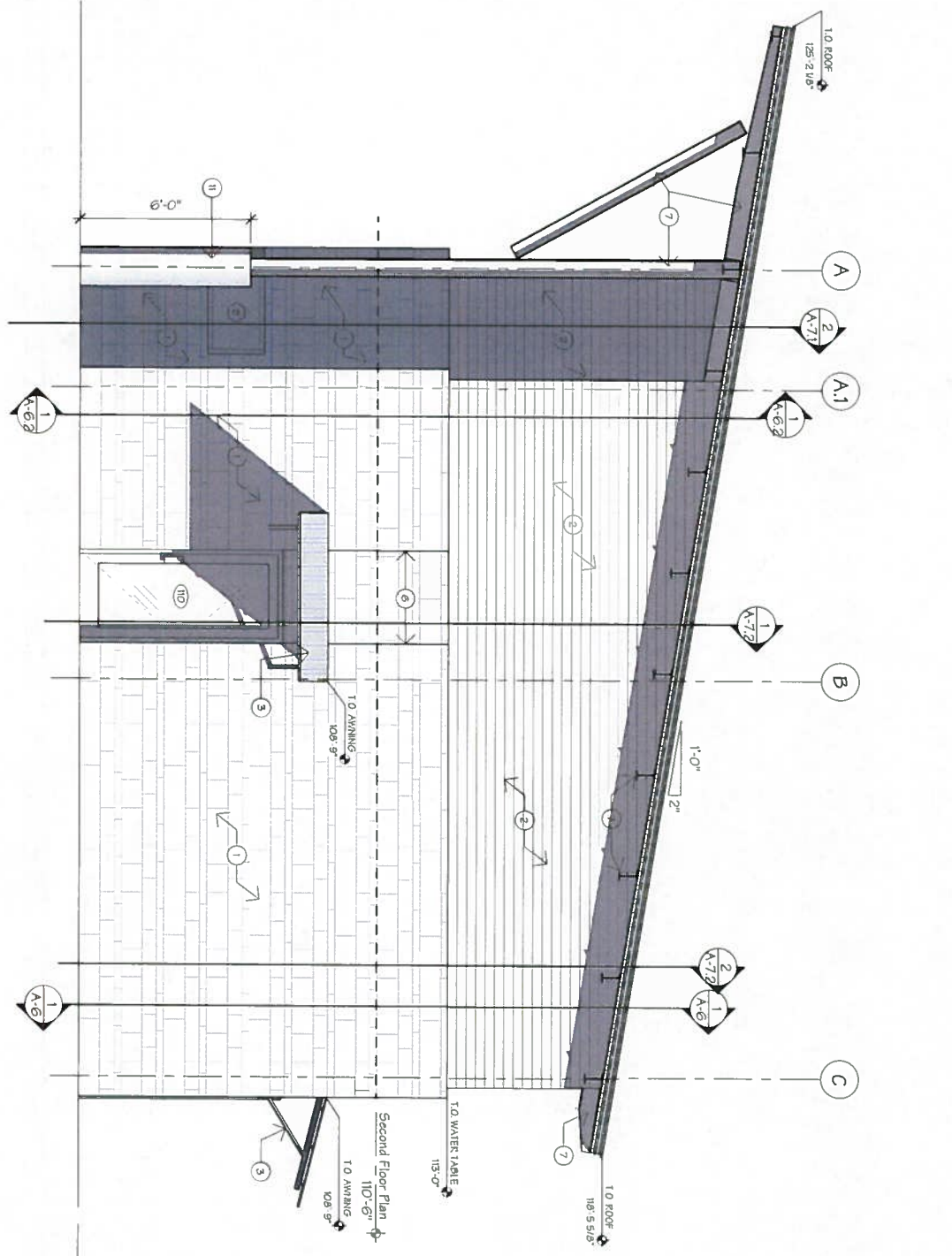
date: project #
Issue Date 12.2021

Exterior Elevations

sheet A-5.2

keynotes

- as indicated by →
1. New rough-fac, coursed, ashlar stone work
 2. New wooden exterior finish
 3. New sawing ref
 4. New unfinished metal roofing
 5. New "Blanco County Offices" signage, ref Architect.
 6. Masonry control joint - coordinate all locations with Architect.
 7. Structural steel framing, typ - ref structural
 8. Refinished metal bars with new hinge system, ref
 9. New aluminum framed window behind metal bars
 10. Existing stone masonry at jail
 11. Concrete's plaster - ref structural
 12. New exterior door with transom.



1 North Elevation - New
 A-5.3 scale: 3/8" = 1'-0"

2 North Elevation - Jail
 A-5.3 scale: 3/8" = 1'-0"

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Issue Date	

Rehabilitation/Adaptive Reuse, and New Building for:

Blanco County Historic Jail Site

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 TEXAS NO. 11062

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 kerrville, texas 78029,0729
 806.794.4726
 506.553.7570 (cell)

date:	project #
Issue Date	12,2021
Exterior Elevations	
sheet A-5.3	

Titan 3

Flat Front Fascia Shield

Wall Wash Indoor/Outdoor Sconce

We reserve the right to revise the design or components of any product without notice.

CATALOG #		TYPE
PROJECT/LOCATION		
APPROVED BY		

SPECIFICATIONS

- BACKPLATE — 16 Ga. aluminum (AL).
- BACKBOX — 16 Ga. aluminum (AL) with wire access on four sides and back through 7/8" dia. KO flattened water tight (Optional for surface conduit entry or standard with emergency battery).
- DIFFUSER — White translucent, fully enclosed non-yellowing 100% virgin acrylic, .125 Thick (1/8"). Clear top and bottom for uplight/downlight is Standard. Optional Opaque Top (OQT) for no uplight or Opaque Bottom (OQB) for no downlight.
- DRIVER — Universal Volt (120-277v) Electronic Driver with 0-10V dimming.
- FASTENERS — Stainless steel tamperproof screws —(2) To secure lens in place.
- FINISH — Corrosion and Weather resistant, extremely durable pre-treated oven baked polyester powder. Additional custom Gravura Graphic finishes are available.
- GASKETING — High Temp., non-aging black EPDM and/or neoprene rubber around the entire lens perimeter & rear wire entrance hole to protect against dust, moisture & outside contaminants.
- MOUNTING — Use (4) or (6) 5/16" diameter holes for 1/4" diameter bolts for outdoor or indoor. 7/8" KO in Center for Wire Access. Must derate lamping for horizontal.
- SHIELD: Solid Aluminum Opaque Shield with Center Square Window.
- WALL WASH — CTB is Standard with Uplight and/or Downlight.
- COMPLIANCE — Built to comply with U.S. and Canadian safety standards. Suitable for wet locations.



ORDERING INFORMATION

Series	Size	LED Wattage	CCT	CRI	Voltage	Finish	Options
ORDERING GUIDE:							

SERIES

T13 = Titan 3 Series

SIZE

L = Large 16" Square x 4" Depth

LED WATTAGE

Refer to Below Chart for Size/Wattage Compatibility

*LED(xx) = LED (xx = Wattage, ex: LED15)

UP(xx) = Uplight LED (xx = Wattage, ex: UP10)

DN(xx) = Downlight LED (xx = Wattage, ex: DN10)

UP(xx)/DN(xx) = Uplight & Downlight LED (STANDARD)
— (xx) = Wattage, ex: UP5/DN5

LED COLOR TEMPERATURE (CCT)

3K = ±3000K Range

35K = ±3500K Range

4K = ±4000K Range

5K = ±5000K Range

COLOR RENDERING INDEX (CRI)

80CRI = 80 Color Rendering Index (STANDARD)

90CRI = 90 Color Rendering Index

VOLTAGE

347 = 347 Volts

UNV = Universal Volt (120-277v) Driver

2UNV = Two Universal Volt (120-277V) Drivers

FINISH

BK = Black Finish

BZ = Bronze Finish

PNA = Painted Natural Aluminum

SGR = Silver Gray

WH = White Finish

CC = Custom Color (Visit www.ralcolor.com)

— Provide RAL# or Make-to-Match Color Chip

DIMMING OPTIONS

Note: 0-10V 100%-30% is Standard

D7A = 0-10VDC LED Dimming Driver (100-10%)

D7B = 0-10VDC LED Dimming Driver (100-1%)

CONTROL OPTIONS

Note: See Accessory Options for Required Remote Controller

932B = Photocell Button (120/277V) Ⓢ

— Compatible with SK-M Only

OCC = Occupancy Sensing | Motion Sensor Integral Ⓢ

— Microwave / Single Feed / 120/277V Only

— Standby Dim Level Presets: ON/OFF (0%/100%)

BLD = Bi-Level Dimming | Motion Sensor Integral Ⓢ

— Microwave / Single Feed / 120/277V Only

— Standby Dim Level Presets:

10% / 20% / 30% (Standard) / 50%

BLS = Bi-Level Switching — Using 2 Drivers (2UNV)

MISC OPTIONS

CW = Center Window

BB = Backbox (2" depth)

— Required for Integral Emergency Battery

FUS = Single Fusing

DFUS = Double Fusing

OQT = Opaque Top (No Uplight)

OQB = Opaque Bottom (No Downlight)

SG = 10KA Surge Protection (ANSI spec C62.41.2)

EMERGENCY BATTERY OPTIONS Ⓢ Ⓢ

No onsite Emergency Power (AC or DC) is provided

Meets California Energy Commission Title 20:

(CEC-400-2014-009-CMF) Efficiency Standards

EL8W = Integral LED 8 Watt Ⓢ

EL16W = Integral LED 16 Watt Ⓢ

REL8W = Remote LED 8 Watt

REL16W = Remote LED 16 Watt

Cold Weather Emergency Batteries:

Operating Temp: -20°C thru 50°C

NON-CEC Compliant

EL10W-CW = Integral LED 10 Watt (Cold Weather) Ⓢ

REL10W-CW = Remote LED 10 Watt (Cold Weather)

ACCESSORY OPTIONS (order as a separate line)

9002 = Tamperproof Screwdriver

REMT = Remote Controller for Sensor Options

LED LAMP TYPE	CODE	WATTAGE
*Center LED	LED	LED15
Uplight LED	UP	UP5 UP10 UP25
Downlight LED	DN	DN5 DN10 DN25
Uplight & Downlight LED	UP/DN	UP5/DN5 (10 Watt Total)

NOTES:

Ⓢ Backbox (BB) Required

Ⓢ Max mounting height of fixture is 18' (18 feet)

Ⓢ Max WHIP length of the REL is 8 feet.

Ⓢ Final selection of the Battery Pack under discretion of Factory

Titan 3

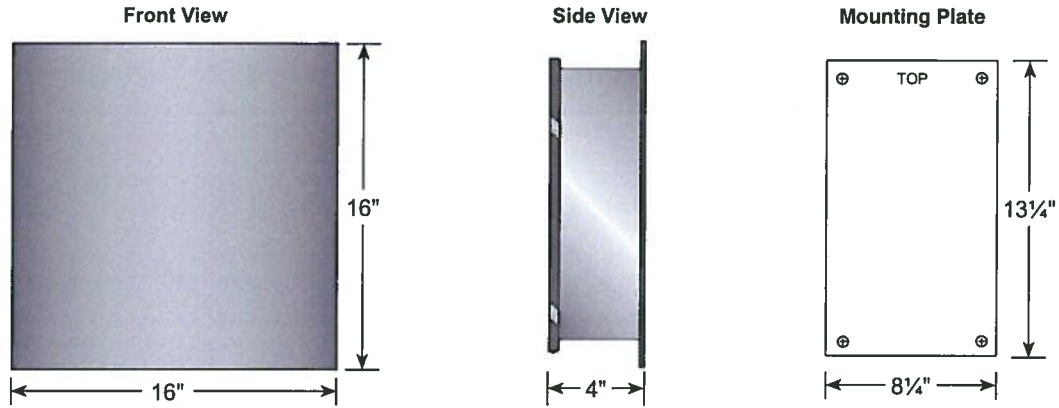
Flat Front Fascia Shield
Wall Wash Indoor/Outdoor Sconce

We reserve the right to revise the design or components of any product without notice.

CATALOG #		TYPE
PROJECT/LOCATION		
APPROVED BY		

DIMENSIONS

NOTE: Dimensions Are Nominal.



OPTIONS



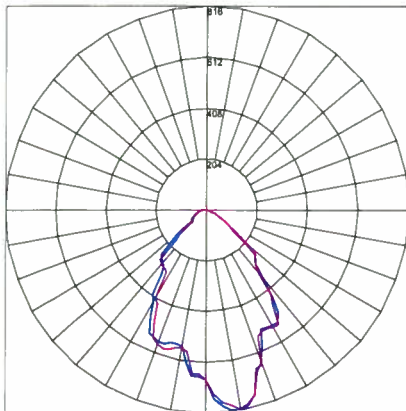
Center Window (CW)

PHOTOMETRY

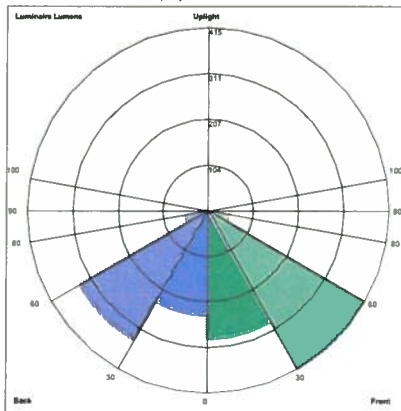
Test Catalogue #: TI3-L-DN25-4K-80CRI-UNV-PNA-OQT | Test Date: 9/14/2020

Lamp Output	Lumen Efficacy	Input Voltage	Input Wattage	Distribution Type	Color Temp	BUG Rating
1386.6 Lumens	56.8 LPW	120V	24.4W	Type I	4000K	B1-U0-G0

POLAR GRAPH



LUMINAIRE CLASSIFICATION SYSTEM (LCS) GRAPH



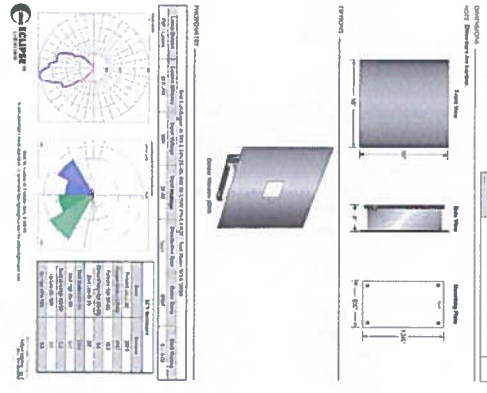
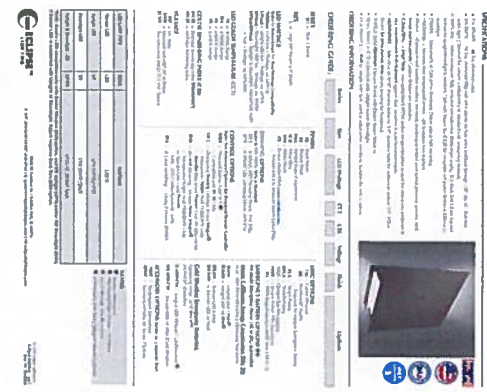
LCS Summary

Zone	Lumens
Forward Low (0-30)	289.6
Forward Medium (30-60)	414.7
Forward High (60-80)	48.0
Forward Very High (80-90)	0.6
Back Low (0-30)	237.1
Back Medium (30-60)	338.2
Back High (60-80)	53.1
Back Very High (80-90)	5.3
Up Low (90-100)	0.0
Up High (100-180)	0.0

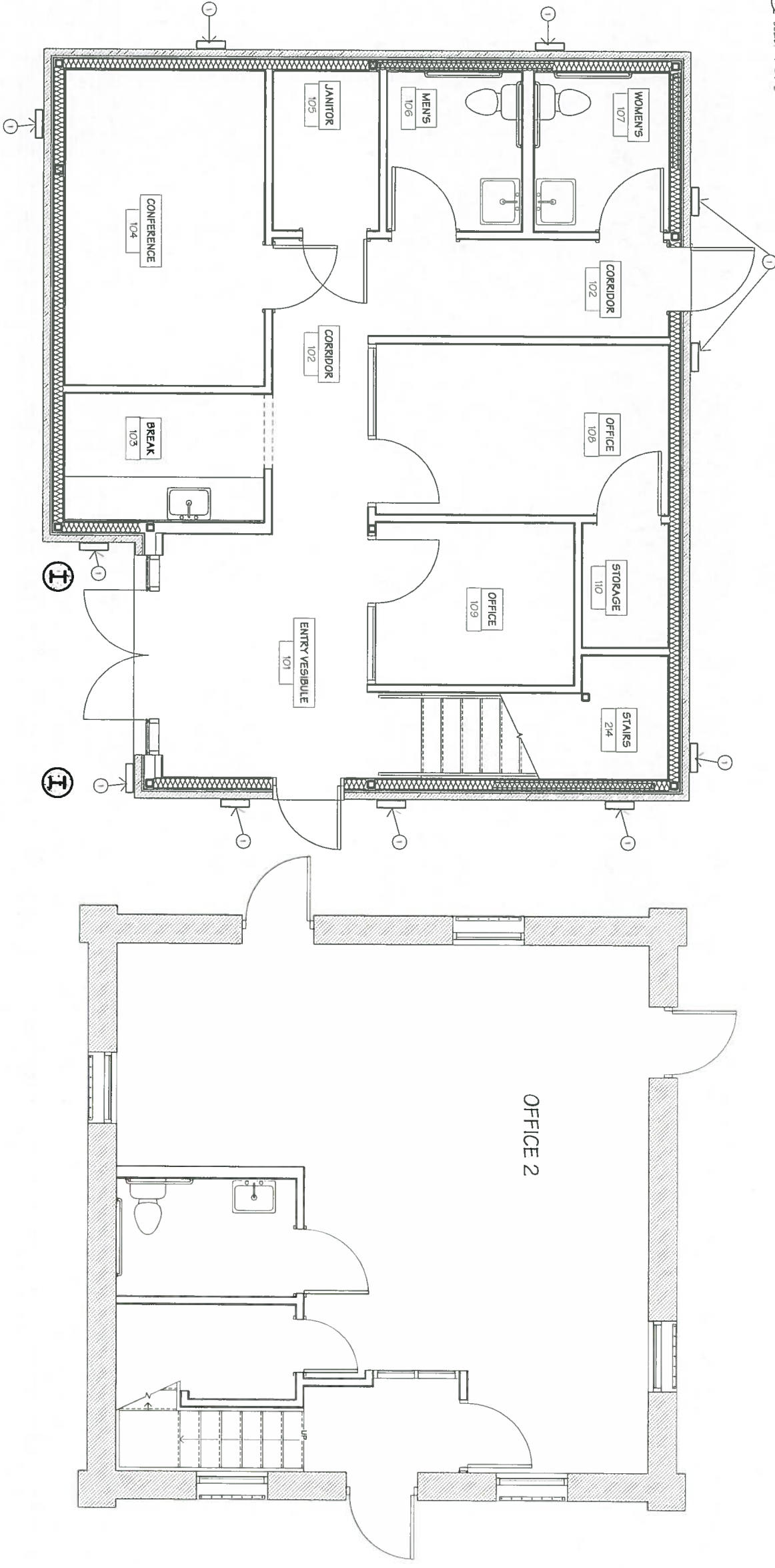
keynotes
as indicated by  →
1 Proposed new exterior light fixture, ref 22/A-15

Titan 3
Full Power Metal
Full Heat Sensitive Outdoor Sensor

Titan 3
Full Power Metal
Full Heat Sensitive Outdoor Sensor



228 Exterior Lighting Cut sheet
A-15 scale: 1" = 1'-0"



25 First Floor Plan - Exterior Lighting
A-15 scale: 3/8" = 1'-0"

Notes: Any lighting fixture and/or fixture mounting hardware shall be installed in accordance with the manufacturer's instructions. The placement and installation of exterior lighting shall comply with the requirements of the International Building Code, Section 2403.2.1.1, and the International Energy Conservation Code, Section 602.2.1.1. The lighting design is based on the information provided and is not intended to constitute a warranty or representation of any kind. The architect shall be responsible for obtaining all necessary permits and approvals for the lighting design. The lighting design is based on the information provided and is not intended to constitute a warranty or representation of any kind. The architect shall be responsible for obtaining all necessary permits and approvals for the lighting design.

date:	12/2021	project #	78029.0729
Issue Date	12/2021		806.794.4726
			506.553.7570 (cell)

500 riverhill boulevard kerville, texas 78029.0729 806.794.4726 506.553.7570 (cell)

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TEXAS NO. 11062

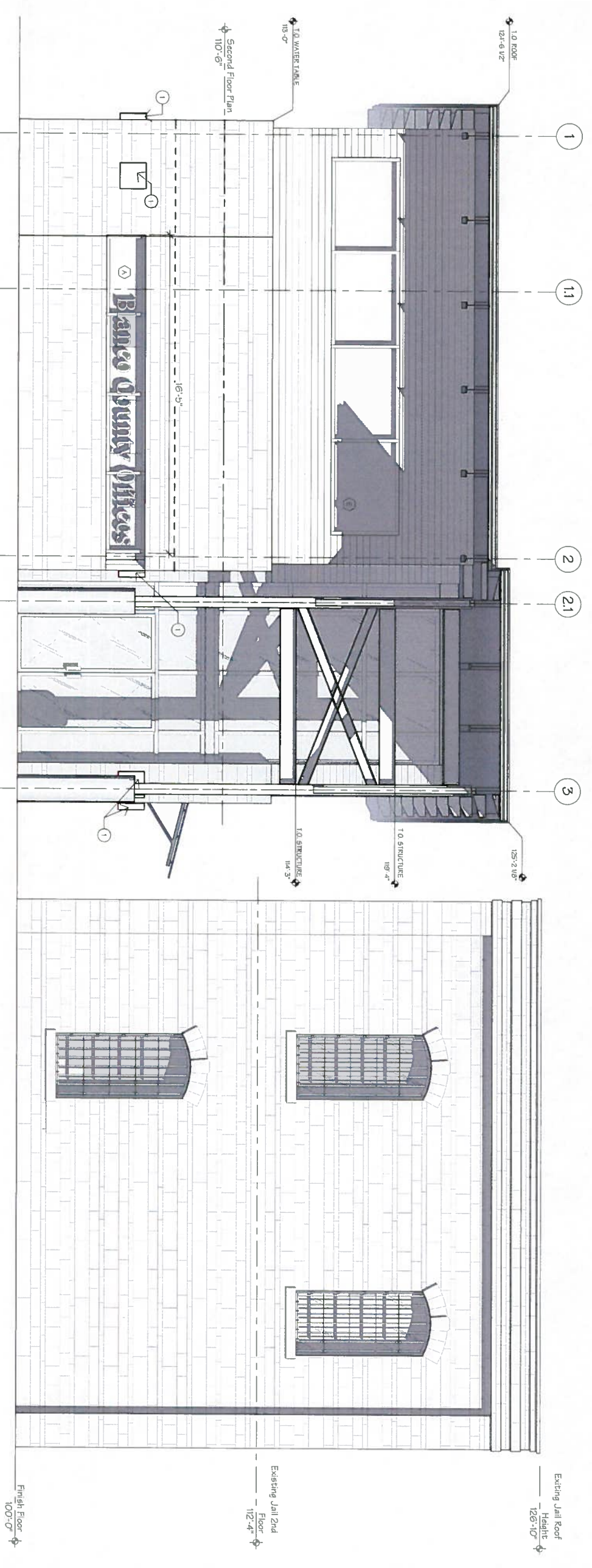
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Rehabilitation/Adaptive Reuse, and New Building for:
Blanco County Historic Jail Site
106 E. PECAN DRIVE Johnson City, TX 78636

date: issue:
sheet A-15
Floor Plan - Exterior Lighting

keynotes
 as indicated by ○ →
 1 Proposed new exterior light fixture, ref 22A.15



1 East Elevation Exterior Lighting

15 Scale: 3/8" = 1'-0"
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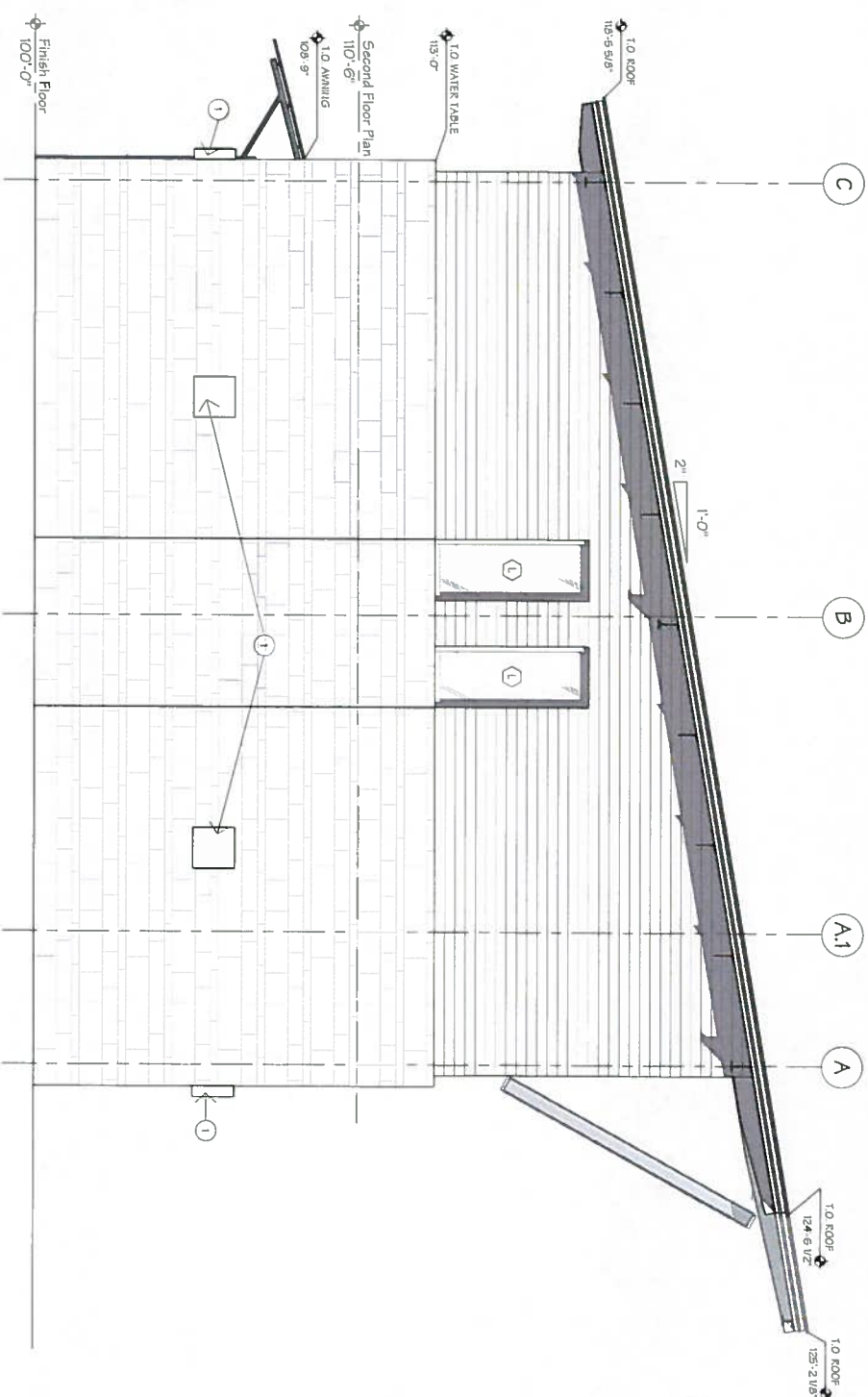
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 Kerrville, Texas
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 806.794.4726
 506.553.7570 (cell)

date: 12/2021
 project #

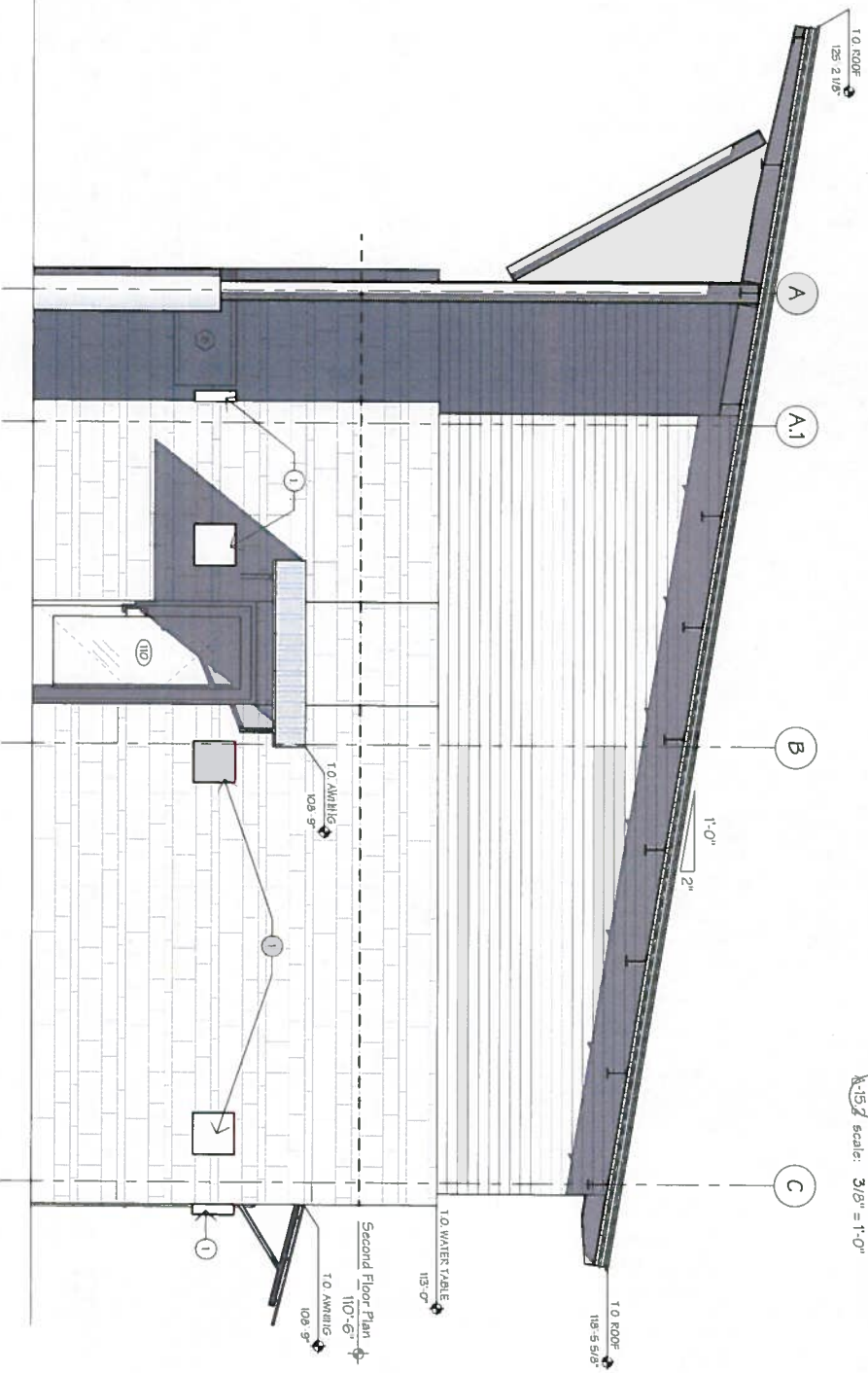
Exterior Elevations
 - Lighting
 sheet A-15.1

keynotes

as indicated by  →
1. Proposed new exterior light fixture, ref 23/A, b



18 South Elevation - New - Exterior Lighting
A15 scale: 3/8" = 1'-0"



25 North Elevation - New - Exterior Lighting
A15 scale: 3/8" = 1'-0"

18
25
A15
scale: 3/8" = 1'-0"

date:	issue:
Issue Date	

Rehabilitation/Adaptive Reuse, and New Building for:
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 kerrville, texas 78029.0729
 806.794.4726
 506.553.7570 (cell)

date: 12/2021
 project #

Exterior Elevations
 - Lighting

sheet A-15.2

Division 2. Historic Preservation*

Sec. 3-16. Definitions.

Historic overlay district; "H." An area which has outstanding historical and cultural significance in the State, region, or City, within which the buildings, structures, accessory buildings, fences, or other appurtenances are of basic and vital importance for the development of culture and tourism because of their association with history, including:

- (1) Historic structures, sites, or areas within which the buildings, structures, appurtenances, and places exemplify the cultural, political, economic, or social history of the State, region, or City.
- (2) Historic structures, sites, or areas that are identified with the lives of historic personages or with important events in State, regional, or local history.
- (3) Structures or areas that embody the distinguishing characteristics of an architectural type specimen as to color, proportion, form, and architectural details.

Historic landmark; "HL." A place which has outstanding historical and cultural significance in the nation, region, or City. The designation "historic landmark" recognizes that the historic place or the building(s), structure(s), accessory building(s), fences, or other appurtenances at the place, are of basic and vital importance for the preservation of culture and the development of tourism.

Sec. 3-17. Designation of historic districts and historic landmarks.

(a) Designation of historic districts. The city council designates the area notated on the city's official Zoning Map as the "Historic Overlay District." The Historic Overlay District shall bear the word "Historic" in its zoning designation, and such designation shall be in addition to any other Zoning District designation established in the Zoning Ordinance. All Zoning Maps shall reflect the Historic Overlay District by the letter "H."

(b) Criteria for designation of Historic Overlay District. In making the designation of an area as a historic district, the city council shall consider one or more of the following criteria:

- (1) Character, interest, or value as part of the development, heritage, or cultural characteristics of the city;
- (2) Location as the site of a historical event;
- (3) Embodiment of distinguishing characteristics of an architectural type or specimen;
- (4) Relationship to other distinctive buildings, sites, districts, or structures which are historically significant and preserved, or which are eligible for preservation;
- (5) Unique location of singular physical characteristics represents an established and familiar visual feature of a neighborhood, community, or the city;
- (6) Value as an aspect of community sentiment of public pride; and
- (7) Identification with a person or persons who significantly contributed to the development or culture of the city.

(c) Designation of historic landmarks. After public notice and hearing, the city council may from time-to-time designate certain places in the city as historic landmarks. Such places shall bear the word "Historic" in their zoning designation, and such designations shall be in addition to any other Zoning District designation established in the Zoning Ordinance. All Zoning Maps shall reflect the historic landmark by the designation "HL."

(d) Criteria for designation of historic landmark. In making the designation of a place as a historic landmark, the city council shall consider the criteria set forth in Subsection (b) of this section.

Sec. 3-18. Historic review board.

(a) Creation; composition. The Planning and Zoning Commission of the city shall serve as the Historic Review Board, hereinafter the "Board." In addition to its planning and zoning duties, the Commission shall assume all duties and perform all functions of the Board as contained and described in this division. All references to the "review board," or "historic review board" or the "board" in this division are to the Planning and Zoning Commission.

(b) Functions. The Board shall act in an advisory capacity only, and shall have no power to bind the city by contract or otherwise. It shall be the function of the Board to advise the city council concerning all applications for certificates of review in Historic Overlay Districts or Historic Landmarks.

Sec. 3-19. Certificate of review required; procedures.

(a) No person or entity shall install, construct, reconstruct, alter, change, restore, remove, or demolish any exterior architectural feature of any historic landmark or of any building or structure located within a Historic Overlay District unless application is made for a certificate of review and such a certificate is granted by the city council.

(b) The applicant shall submit to the Board an application in writing for a certificate of review that includes data and information required by the city council, including, but not limited to, the following:

- (1) Name of the applicant and the property owner;
- (2) Mailing address of the applicant and permanent address of the property owner;
- (3) Location of the property to be altered or repaired;
- (4) A detailed description of the nature of the proposed external alteration or repair to be completed;
- (5) The intended and desired starting date and completion date of the alterations or repairs to be made; and
- (6) A drawing or sketch of the proposed external alteration, if applicable.

(c) Applications that are incomplete or not in compliance with the city Building Code, restrictions, and other City Ordinances shall be returned to the applicant for completion and compliance.

(d) All applications shall be subject to review by the Board and action by the city council. The Board shall review the applications for all certificates of review and determine whether the applications are in conformance with this division. With the exception of Subsection (e) hereof, the city council shall approve, approve with conditions, or deny all applications within sixty (60) days of application submittal.

(e) For a permit to demolish or move a historic landmark or building within a Historic Overlay District or any other Zoning District, the city council shall render a decision within one hundred twenty (120) days after receipt of a completed application.

Sec. 3-20. Criteria for action on certificate of review.

In determining the recommendation and action on an application for a certificate of review, the Board and City Council shall consider the following matters:

- (1) The effect of the proposed change upon the general historic, cultural, and architectural nature of the District or landmark;
- (2) The appropriateness of exterior architectural features that can be seen from a public street, alley, or walkway;
- (3) The general design, scale, arrangement, texture, and material of the building or structure and the relation of such factors to similar features of buildings or structures in the District. The criteria shall not be the aesthetic appeal of the structure or the proposed remodeling, but rather, its conformity to the general character of the particular historic area involved;
- (4) The character of the Historic Overlay District or Landmark for all signs;
- (5) Preservation of the value of the Historic Overlay District or Landmark, as the area of unique interest and character;
- (6) The general and specific Standards for Rehabilitation and Guidelines for Applying the Standards for Rehabilitation, as issued by the Secretary of the Interior; and
- (7) The importance of balancing the current needs of the property owner with the importance of approving plans that will be economically reasonable for the property owner.

Sec. 3-21. Violations; penalty.

(a) It shall be unlawful to construct, reconstruct, structurally alter, remodel, renovate, relocate, restore, demolish, raze, or maintain any building, structure, accessory building, fence or other appurtenance in a Historic Overlay District or Historic Landmark in violation of the provisions of this division. The city may institute any appropriate action or proceeding to prevent such unlawful

construction, reconstruction, structural alteration, remodeling, renovation, restoration, relocation, demolition, razing, or maintenance; to restrain, correct, or abate such violation; and to prevent any illegal act, conduct, business, or maintenance in and about such premises. Each day such violation continues shall constitute a separate violation.

(b) Criminal Offense. Violation of any provision of this division is a misdemeanor. Each day of a violation shall constitute a separate offense. A fine for a violation may not exceed two hundred dollars (\$200.00).

(c) Civil Action. A person who violates a provision of this article is subject to a civil suit for injunctive relief and to a civil penalty. The city may seek also to recover damages from the violator in an amount adequate for the city to undertake activity necessary to bring compliance with the ordinance.

(Ordinance 21-1201 adopted 12/7/21)