

4

Date Submitted: _____



P.O. Box 369 (Mail)
303 E. Pecan Dr (Physical)
Johnson City, TX 78636
830.868.7111 (Phone)
830.868.7718 (Fax)

PLAT APPLICATION CHAPTER 10

Section I. Plat and Applicant Information

PLAT NAME: Homeslead at Deer Creek, Phase One

Owner/Agent: Legacy Capital Funding, LLC Phone: _____ Fax: _____

Owner/Agent Address: 10008 Loxely Lane, Austin, TX Zip Code: 78717

Engineer/Surveyor: Belton Engineering, Inc. Phone: 254.731.5600 Fax: _____

Address: 106 N. East St., Belton, TX Zip Code: _____

Elevation Survey: Major Plat Amending Plat Replat Minor Plat

Water Service: City Well

Sewer Service: City Sepsic System

Plat is over, within, or includes the following:	Land Area Being Platted:	Lots	Acres
Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Johnson City City Limits	Single-Family (SF)	<u>73 lots & 5 tracts</u>	<u>21.281</u>
Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Johnson City Extraterritorial Jurisdiction	Non-Single Family (NSF)	_____	_____
Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Flood Plain			

Base preliminary platting fee	\$ 654.00	Base final platting fee	\$ 402.00
Single family residential development		Non-single family residential development	\$
78 lots / tracts x \$67.00 / lot	\$ 5226.00	Plat deferral	\$
Variance	\$	Vacating declaration	\$
Performance agreement time extension	\$	Amending plat	\$
Re-plat involving notification	\$	Emergency add-on	\$
Plat withdrawal	\$	Processing fee	\$ 123.00
Plat recording fee*	\$ Actual cost per County	Floodplain Development / Driveway Permits:	\$ 419.00
Plan review fee	\$ 442.00		

* Recording of plat, dedication instrument, development agreement, and HOA Declaration of Covenants, Conditions and Restrictions (CC&Rs), Articles of Incorporation, and Bylaws

Total Fee: \$ 7,266.00, not including actual recording fees.
All fees shall be paid at the time of plat filing.

Required Letters of Certification, if :
Environmental Quality (TCEQ); Blar

I hereby certify that the above infor

Print Name: Lina Chlay

Date: _____

Updated 11/27/20

DATE 5/25/20 RECEIPT No 4495

RECEIVED FROM Dan Bay

Address: Mat Fees

FOR _____ OTHER ✓ 1101 DOLLARS \$ 7,266.00

Account No _____

Water _____

Sewer _____

Garbage _____

Tax _____

Lite Charge _____

HOW PAID	
CASH	
CHECK	<u>7266.00</u>
MONEY ORDER	

BY [Signature]

City Of Johnson City

Through Tax Year
2021

TAX CERTIFICATE

Certificate #
40848

Issued By:
BLANCO COUNTY APPRAISAL DISTRICT
P O BOX 338
615 N NUGENT (PHYSICAL ONLY)
JOHNSON CITY, TX 78636

Property Information

Property ID: 8609 Geo ID: 26870000001408001
Legal Acres: 91.5500
Legal Desc: ABS A0147 SURVEY 172 J. DUEL, ACRES 91.55
Situs: 217 281 LOOP TX
DBA:
Exemptions:

Owner ID: 131525 100.00%
LEGACY CAPITAL FUNDING LLC
% MEHUL & JAY & ANKIT PATEL
10008 LOXLEY LN
AUSTIN, TX 78717

For Entities

Value Information

BL-PED GROUNDWATER CONS DIS	Improvement HS:	0
BLANCO COUNTY	Improvement NHS:	268,150
CITY OF JC	Land HS:	0
ESD #1	Land NHS:	50,230
JOHNSON CITY ISD	Productivity Market:	2,024,290
	Productivity Use:	8,470
	Assessed Value	326,850

Property is receiving Ag Use

Current/Delinquent Taxes

This is to certify that, after a careful check of the tax records of this office, the following delinquent taxes, penalties, interest and any known costs and expenses as provided by Tax Code §33.48, are due on the described property for the following taxing unit(s):

Year	Entity	Taxable	Tax Due	Disc./P&I	Attorney Fee	Total Due
Totals:			0.00	0.00	0.00	0.00

Outstanding Litigation Fees

Fee Date	Fee Description	Amount Due
06/01/2022	TC	10.00
	Total Fees Due:	10.00
Effective Date: 06/01/2022	Total Due if paid by: 06/30/2022	10.00

Tax Certificate Issued for	Taxes Paid in 2021
CITY OF JC	1,304.13
BLANCO COUNTY	1,274.71
BL-PED GROUNDWATER CONS DIS	72.23
ESD #1	326.85
JOHNSON CITY ISD	3,483.89

If applicable, the above-described property has/is receiving special appraisal based on its use, and additional rollback taxes may become due based on the provisions of the special appraisal (Comptroller Rule 9.3040) or property omitted from the appraisal roll as described under Tax Code Section 25.21 is not included in this certificate [Tax Code Section 31.08(b)].

Pursuant to Tax Code Section 31.08, if a person transfers property accompanied by a tax certificate that erroneously indicates that no delinquent taxes, penalties or interest are due a taxing unit on the property or that fails to include property because of its omission from an appraisal roll, the unit's tax lien on the property is extinguished and the purchaser of the property is absolved of liability to the unit for delinquent taxes, penalties or interest on the property or for taxes based on omitted property. The person who was liable for the tax for the year the tax was imposed or the property was omitted remains personally liable for the tax and for any penalties or interest.

A tax certificate issued through fraud or collusion is void.

This certificate does not clear abuse of granted exemptions as defined in Section 11.43 Paragraph(1) of the Texas Property Tax Code.

May Be Subject to Court Costs if Suit is Pending

Date of Issue: 06/01/2022
Requested By: TIM MITCHELL
Fee Amount: 10.00
Reference #:

Page: 1


Signature of Authorized Officer of Collecting Office



May 25, 2022

Darbar Homes
10008 Loxley Lane
Austin, TX 78717

RE: Letter of Certification

Plat: Homesteads at Deer Creek, Phase I

Plat Date: May 19, 2022

To Whom it May Concern:

Please accept this Letter of Certification for approval of the above-mentioned plat. Pedermales Electric Cooperative has no objections to the filing of this plat for consideration by the appropriate governmental entity.

We will offer service to this location in accordance with our Line Extension Tariff, which requires a completed application and pre-payment of all fees before construction can begin. A deposit may also be required

Should changes be made to the approved plat noted and dated above, this letter will be deemed invalid, and the updated plat will have to follow the plat review and approval process.

If you should have any questions regarding this Letter of Certification, please contact me at (830) 454-3520 or bradley.noack@peci.com.

Sincerely,

A handwritten signature in cursive script that reads "Bradley Noack".

Bradley Noack
Electrical Distribution Design & Planning Manager
PEC Marble Falls District

Pedermales Electric Cooperative
201 S. Avenue F
P.O. Box 1
Johnson City, Texas 78636

Toll-free: 888-554-4732
Payment line: 844-886-9798
Power interruptions: 888-883-3379

pec.coop



BUREAU
VERITAS

City of Johnson City Fire Code Review Comments

PLAN REVIEW APPROVED	YES	REVISIONS PENDING	NO
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BV Project # 2022-015843

PROJECT Homestead at Deer Creek, ph. 1

ADDRESS 217 Hwy 281

DATE 6-6-2022

PLAN REVIEWER Eric Vinson

PROJECT DESCRIPTION Fire Code Review

THIS DOES NOT INCLUDE ANY ZONING, SITE PLAN REVIEWS, REQUIRED SETBACKS, PUBLIC WORKS, HEALTH, PARKING, DRIVES AND APPROACHES, OTHER BUILDING CODE REVIEWS, FLOOD PLAIN ISSUES, LANDSCAPING REVIEWS, PHOTOMETRIC SITE PLAN REVIEWS, SIGNAGE, ETC.

- Plans approved by Bureau Veritas give authorization for construction and/or operation. Final approvals are subject to field verification. Any approval issued by Bureau Veritas does not release the contractor or property owner from the responsibility of full compliance with all applicable codes and ordinances relating to the construction project.
- Please Note: Plans are not reviewed for compliance with TAS / ADA requirements.

Plano Office:

1000 Jupiter Road, Suite 800
Plano, Texas 75074
P: 469-241-1834 / 800-906-7199
F: 469-241-1849 / 800-910-8284

www.us.bureauveritas.com

Fort Worth Office:

100 E. 15th Ste. 630
Fort Worth, Texas 76102
P: 817-335-8111 / 877-837-8775
F: 817-335-8110 / 877-837-8859

DEDICATION INSTRUMENT for:
HOMESTEADS AT DEER CREEK, PHASE I
A SUBDIVISION IN THE CITY OF JOHNSON CITY,
BLANCO COUNTY, TEXAS

STATE OF TEXAS §
COUNTY OF BLANCO §

WHEREAS, Legacy Capital Funding LLC, a limited liability company, hereinafter referred to as Grantor, is the owner of the 21.286-acre tract of land out of and a part of the Joseph Duel Survey, Abstract No. 147, and the Elijah Marshall Survey, Abstract No. 393, County of Blanco, and more particularly described by metes and bounds in a survey by Bryan Technical Services, Inc., contained in Exhibit "A" dated November 02, 2021, attached hereto and incorporated herein for a complete legal description.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Grantor does hereby adopt this plat as properly described in Exhibit "A" attached to this instrument. Grantor does hereby dedicate, give, grant, and convey to the City of Johnson City, Texas for the public use forever, the roads, streets, right-of-ways, utility and drainage easements as shown on the plat and attached exhibits, upon, across and through said property for all the purposes herein enumerated. The subdivision's Homeowner's Association (HOA) shall maintain dedicated drainage areas, easements, and detention ponds; however, the City shall be granted authority to maintain said areas should the HOA fail to do so.

The Grantee shall have all other rights and benefits necessary or convenient for the full enjoyment or use of the rights herein granted, included but not limited to, the free right of ingress or egress over and across said lands to and from said easements to construct, reconstruct and maintain same.

TO HAVE AND TO HOLD the easements and right-of-ways, together with all and singular the rights and privileges thereto in any manner belonging unto the said Grantee, its successors and assigns forever, and Grantor does hereby bind itself, its successors and assigns, to **WARRANT AND FOREVER DEFEND** all and singular the said premises unto the said City of Johnson City, Texas, its successors and assigns, against every person whomsoever lawfully claiming, or to claim the same or any part thereof.

EXECUTED this the _____ day of _____, 2022.

Legacy Capital Funding, LLC,
A Texas limited liability corporation

BY: _____
Mehul Patel, Member

STATE OF TEXAS §

COUNTY OF BLANCO §

BEFORE ME, the undersigned authority, on this day personally appeared Mehul Patel, Member, Legacy Capital Funding, LLC, a Texas limited liability corporation, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein stated.

Given under my hand and seal of office this the _____ day of _____, 2022.

Notary Public in and for the State of Texas

HOMESTEAD AT DEER CREEK, PHASE I

217 281 LOOP, City of Johnson City, Blanco County, Texas

CONTACT INFORMATION

OWNER/DEVELOPER

LEGACY CAPITAL FUNDING, LLC
 CONTACT: MEHUL PATEL
 10008 LORLEY LANE
 AUSTIN, TX 78717
 mehul@ddrbhomes.com

SURVEYOR

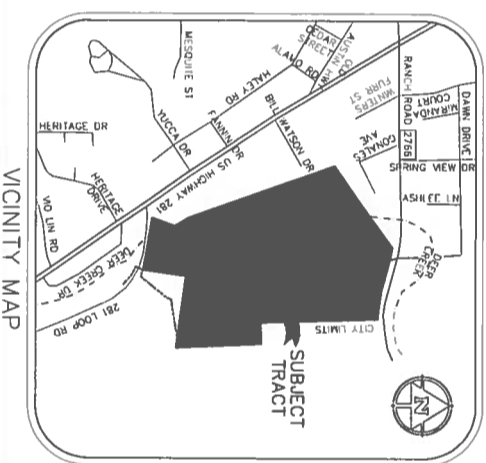
BRYAN TECHNICAL SERVICES, INC
 CONTACT: BRUCE L. BRYAN
 911 N. MAIN STREET
 TAYLOR, TX 76574
 bruce@bryantechnicalservices.com
 OFFICE: 512-352-9090

CIVIL

BELTON ENGINEERING, INC
 CONTACT: LINA CHITAY, P.E.
 106 N. EAST STREET
 BELTON, TX 76513
 lchina@beltonengineers.com
 OFFICE: 254-731-5600



PROJECT IN:
JOHNSON CITY
CITY HALL
 303 E. Pecan Drive
 Johnson City, Texas, 78636



DRAWING INDEX

CO.01	GENERAL NOTES
CI.00	FINAL PLAT
C2.00	UTILITY PLAN
C3.00	MASTER PRE-DRAINAGE PLAN
C3.01	MASTER POST-DRAINAGE PLAN
C3.02	HYDRAFLOW HYDROGRAPHS
C3.03	HYDRAFLOW HYDROGRAPHS
C3.04	HYDRAFLOW HYDROGRAPHS
C3.05	STREET CAPACITY
C3.06	CHANNEL REPORTS
C3.07	CULVERT REPORTS
C3.08	DETENTION POND DETAILS
C3.09	DETENTION POND PLAN
C4.00	EROSION CONTROL PLAN
C4.01	EROSION CONTROL DETAIL
C5.00	LEGACY OAKS RANCH DRIVE STA. 0-550
C5.01	LEGACY OAKS RANCH DRIVE STA. 550-1170
C5.02	SWEET CLOVER WAY STA. 0-550
C5.03	SWEET CLOVER WAY STA. 550-950
C5.04	AUTUMN SAGE TRAIL STA. 0-550
C5.05	AUTUMN SAGE TRAIL STA. 550-975
C5.06	COTTON ROSE PLACE STA. 0-650
C5.07	SEWER EXTENSION STA. 0-650
C5.08	SEWER EXTENSION STA. 650-1300
C5.09	SEWER EXTENSION STA. 1300-1940
C6.00	PAVING DETAILS
C6.01	WATER DETAILS
C6.02	WATER AND SEWER DETAILS
C6.03	SANITARY SEWER DETAILS
C6.04	DRAINAGE AND EMBEDMENT DETAILS

06/14/22
 FRM # F-13392

APPROVED FOR CONSTRUCTION BY:

PUBLIC WORKS DIRECTOR _____ DATE _____

REVISIONS

DATE: 6/14/2022 DESCRIPTION: FEMA FLOOD BOUNDARY, UTILITY REALIGNMENT, DRAINAGE CALCULATIONS



BELTON ENGINEERING, INC.
 Engineering * Design/Build * Planning
 106 EAST STREET, BELTON, TEXAS 76513
 LCHITAY@BELTONENGINEERS.COM
 DMOLICA@BELTONENGINEERS.COM
 JOB NO: 21032 - HOMESTEAD AT DEER CREEK

STATE OF TEXAS
COUNTY OF BLANCO

DATE OF SURVEY
07/04/21

EXHIBIT "A" – 21.286 ACRES

Being a tract of land in BLANCO County, Texas, lying and situated in the **ELIJAH MARSHAL SURVEY NO.175, ABSTRACT NO. 393**, and the **JOSEPH DUEL SURVEY NO.172, ABSTRACT NO. 147**, and the land herein described being a portion of that certain 91.55 acre tract of land conveyed to LEGACY CAPITAL FUNDING LLC., by Warranty Deed with Vendor's Lien recorded in Document NO. 216769, Official Public Records of Blanco County, Texas (OPRBCT), and being more fully described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod capped "BTS" set, (North = 10066030.660 feet, East =2908549.834 feet), bearing SOUTH 80°29'48" EAST with the common line of said 91.55 acre LEGACY CAPITAL FUNDING LLC tract (south line) and County Road No.213 (Old Austin Highway) (north line), a distance of 341.18 feet, from an 8" cedar post found at the common corner of said 91.55 acre LEGACY CAPITAL FUNDING LLC tract (southwest corner), and that certain 3.82 acre tract of land conveyed to SECURITY STORAGE by Warranty Deed with Vendor's Lien recorded in Volume 144, Page 955, OPRBCT (southeast corner);

THENCE, departing said common line, over and across said 91.55 acre LEGACY CAPITAL FUNDING LLC tract the following twenty-four (24) calls:

- **NORTH 09°30'28" EAST, 29.95 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 34°32'02" WEST, 90.81 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 17°04'59" WEST, 89.73 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 01°00'27" WEST, 73.77 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 12°57'20" EAST, 41.78 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 18°31'07" EAST, 52.67 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 13°24'06" EAST, 83.04 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 03°31'20" EAST, 44.20 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 00°50'19" EAST, 65.95 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 05°50'51" WEST, 70.32 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 04°06'52" WEST, 90.19 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 01°35'59" WEST, 47.65 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 05°38'31" EAST, 164.09 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 02°22'47" EAST, 87.00 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 89°21'00" EAST, 143.59 feet to a 1/2" iron rod capped "BTS" set;**
- **SOUTH 86°52'40" EAST, 59.99 feet to a 1/2" iron rod capped "BTS" set;**
- **NORTH 03°07'20" EAST, 83.74 feet to a 1/2" iron rod capped "BTS" set;**

STATE OF TEXAS
COUNTY OF BLANCO

DATE OF SURVEY
07/04/21

- **SOUTH 87°10'47" EAST, 149.99 feet** to a 1/2" iron rod capped "BTS" set;
- **SOUTH 84°52'59" EAST, 210.10 feet** to a 1/2" iron rod capped "BTS" set;
- **SOUTH 80°03'50" EAST, 93.77 feet** to a 1/2" iron rod capped "BTS" set;
- **SOUTH 84°05'28" EAST, 157.06 feet** to a 1/2" iron rod capped "BTS" set;
- **NORTH 87°20'33" EAST, 170.69 feet** to a 1/2" iron rod capped "BTS" set;
- **NORTH 02°40'02" WEST, 33.52 feet** to a 1/2" iron rod capped "BTS" set;
- **NORTH 87°20'33" EAST, 185.01 feet** to a 1/2" iron rod capped "BTS" set along the common line of said 91.55 acre LEGACY CAPITAL FUNDING LLC tract (east line) and that certain 414.20 acre tract of land conveyed to Mary K. Matocha by Warranty Deed with Vendor's Lien recorded in Document No. 173318, OPRBCT, (west line), bearing **SOUTH 02°39'36" EAST, 256.24 feet** from an 8" cedar post found at the most easterly northeast corner of said 91.55 acre LEGACY CAPITAL FUNDING LLC;

THENCE SOUTH 02°39'36" EAST, with said common line, a distance of **741.40 feet** to an 8" iron post found, from which an iron rod found with cap 4542 bears **NORTH 86°35'37" EAST, 0.84 feet**, said 8" iron post being the common corner of said LEGACY CAPITAL FUNDING LLC tract (a southeast corner) and said 414.20 acre Mary K. Matocha tract (a southwest corner) and being the common corner of that certain 8.00 acre tract of land conveyed to John E. McCarthy by Warranty Deed recorded in Volume 121, Page 507, OPRBCT (most northerly corner) and that certain 5.91 acre tract of land conveyed to Brent Harris no recordation information listed in OPRBCT (a northeast corner);

THENCE NORTH 82°08'41" WEST, with the common line of said LEGACY CAPITAL FUNDING LLC tract (south line) and the north lines of said 5.91 acre Brent Harris tract and a certain called 3.29 acre tract no recordation information listed in OPRBCT, a distance of **850.50 feet** to a 4" cedar post found at an interior angle of said LEGACY CAPITAL FUNDING LLC tract;

THENCE SOUTH 07°59'15" WEST, with an east line of said LEGACY CAPITAL FUNDING LLC tract a distance of **502.52 feet** to an 8" iron post found at the southeast corner of said LEGACY CAPITAL FUNDING LLC tract, being along said County Road No.213 (Old Austin Highway) (north line);

THENCE NORTH 80°29'48" WEST, with the aforementioned common line of LEGACY CAPITAL FUNDING LLC tract (south line), and the north right-of-way line of County Road No.213, a distance of **274.92 feet** to the **POINT OF BEGINNING** and containing **21.286 acres of land**. (927226.678 S.F.)

STATE OF TEXAS
COUNTY OF BLANCO

DATE OF SURVEY
07/04/21

21.286 ACRES

I, Bruce L. Bryan, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that these field notes are a correct representation of a survey made on the ground under my supervision.

Bruce Lane Bryan
Registered Professional Land Surveyor #4249
TSPLS FIRM No. 10128500
www.bryantechnicalservices.com

Date

NOTE: Bearings shown hereon based on Texas State plane coordinate system (Central Zone 4203, NAD 83, 93 Adjustments. Distances are shown as grid values.

See survey sketch which is intended to accompany this legal description as a graphic representation of survey.



FLOODPLAIN DEVELOPMENT PERMIT APPLICATION

APPLICATION DATE: _____

Project Address: 217 281 Loop, Johnson City, Texas

Company Name Completing Floodplain Development Work: Belton Engineering, Inc

Company Phone No.: 254-731-5600 Company Email: lchry@beltonengineering.com

Property Owner's Name: Legacy Capital Funding, LLC

Property Owner's Phone No.: _____ Property Owner's Email: metul@ddarhones.com

Subdivision: _____ Lot Number: _____

Block: _____ N.C.B.: _____

Tract: _____

Location Description (if not in a subdivision):
At the intersection of US Highway 281 and 281 Loop within the city of Johnson City

Type of Proposed Construction:

Residential Mobile Home Non-Residential Other

Type of Proposed Development:

Subdivision Mobile Home Park Fill-Permanent Fill-Temporary Other

If other is checked, please describe:

Attach a scaled set of plans of the proposed construction and/or development to this application.

I acknowledge that this application may take up to 10 business days to process, and that the City of Johnson City Development Service Dept. will contact me regarding any permit, permit number, required fees, or permissions granted for this application.

Permit is valid for six (6) months from the date of approval. If not completed within 6 months, the applicant must reapply for an additional permit.

Date: 05-19-22

Signature: [Signature]

Print Name: Lina Chray

OFFICE USE ONLY:

REVISIONS

IR5	IRON R SET STAMPED
IR4	BRYAN TECHNICAL SERVICES
IR3	R N R FOUND
IR2	R N R FOUND WITH CAP
DR	DRAWN & EASEMENT
UT	UTILITY EASEMENT
NAE	NON A ESS EASEMENT
B	B DIN INE
POB	POINT OF BEGINNING
E-E	BACK TO BACK
R-W	RI HT-OF-WAY



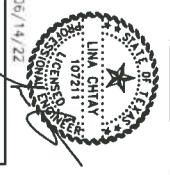
FIG. # F-13392

BELTON ENGINEERING INC.

106 NO. EAST STREET
BELTON, TEXAS 76513
OFFICE (254)731-5600
MOBILE (254)289-7273
BELTONENGINEERS.COM

Engineering Design/Build Planning

UTILITY PLAN OF:
HOMESTEAD AT DEER CREEK, PHASE I
217 281 LOOP
CITY OF JOHNSON CITY, BLANCO COUNTY, TEXAS
LEGACY CAPITAL FUNDING, LLC
10008 LOXLEY LANE, AUSTIN, TEXAS, 78717



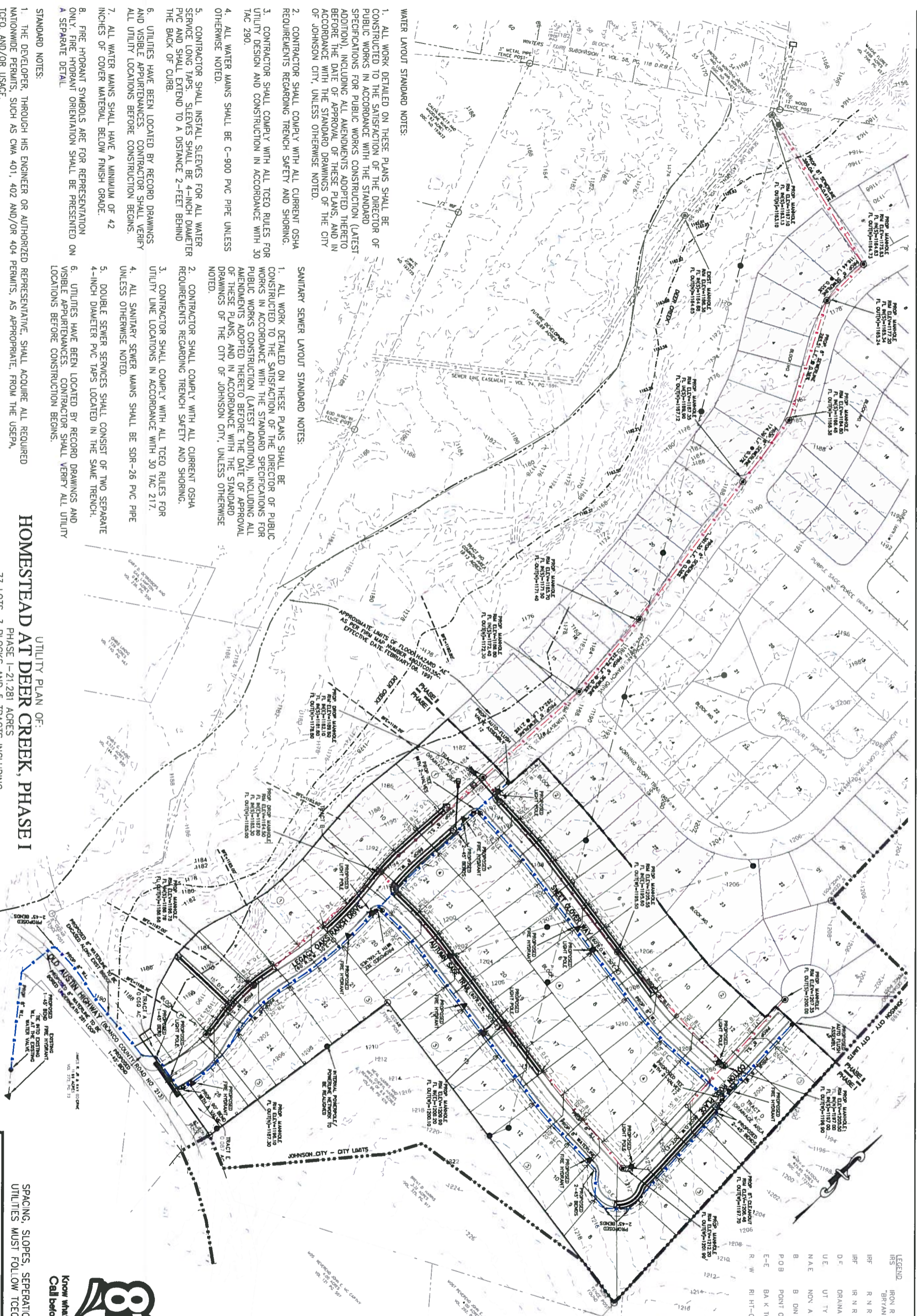
SCALE: 1" = 100'
DRAWN: RR
ELEC. DRAWING FILE
C:\21032-UP.DWG
DATE: 06/14/22
JOB NO.: 21032
02 OF 29
C2.00



UTILITY CONTRACTOR SHALL VERIFY LOCATION OF WATER AND SEWER SERVICES BEFORE TAPPING ANY LINES.
SPACING, SLOPES, SEPERATION, SIZING OF UTILITIES MUST FOLLOW TCEQ GUIDELINES.

**UTILITY PLAN OF:
HOMESTEAD AT DEER CREEK, PHASE I**

73 LOTS, 3 BLOCKS AND 5 TRACTS INCLUDING:
3,289.93 L.F. OF NEW STREETS AND 4.48 A.C. OF R.O.W.
JOSEPH DUEL SURVEY, ABSTRACT #147 &
ELIJAH MARSHALL SURVEY ABSTRACT #393, BLANCO COUNTY, TEXAS
A SUBDIVISION IN THE CITY OF JOHNSON CITY, BLANCO COUNTY, TEXAS



WATER LAYOUT STANDARD NOTES:

1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST ADDITION), INCLUDING ALL AMENDMENTS ADOPTED THERETO BEFORE THE DATE OF APPROVAL OF THESE PLANS, AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF JOHNSON CITY, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT OSHA REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
3. CONTRACTOR SHALL COMPLY WITH ALL TCEQ RULES FOR UTILITY DESIGN AND CONSTRUCTION IN ACCORDANCE WITH TAC 290.
4. ALL WATER MAINS SHALL BE C-900 PVC PIPE UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL INSTALL SLEEVES FOR ALL WATER SERVICE LONG TAPS. SLEEVES SHALL BE 4-INCH DIAMETER PVC AND SHALL EXTEND TO A DISTANCE 2- FEET BEHIND THE BACK OF CURB.
6. UTILITIES HAVE BEEN LOCATED BY RECORD DRAWINGS AND VISIBLE APPURTENANCES. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
7. ALL WATER MAINS SHALL HAVE A MINIMUM OF 42 INCHES OF COVER MATERIAL BELOW FINISH GRADE.
8. FIRE HYDRANT SYMBOLS ARE FOR REPRESENTATION ONLY. FIRE HYDRANT ORIENTATION SHALL BE PRESENTED ON A SEPARATE DETAIL.

SANITARY SEWER LAYOUT STANDARD NOTES:

1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST ADDITION), INCLUDING ALL AMENDMENTS ADOPTED THERETO BEFORE THE DATE OF APPROVAL OF THESE PLANS, AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF JOHNSON CITY, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT OSHA REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
3. CONTRACTOR SHALL COMPLY WITH ALL TCEQ RULES FOR UTILITY LINE LOCATIONS IN ACCORDANCE WITH 30 TAC 217.
4. ALL SANITARY SEWER MAINS SHALL BE SDR-26 PVC PIPE UNLESS OTHERWISE NOTED.
5. DOUBLE SEWER SERVICES SHALL CONSIST OF TWO SEPARATE 4-INCH DIAMETER PVC TAPS LOCATED IN THE SAME TRENCH.
6. UTILITIES HAVE BEEN LOCATED BY RECORD DRAWINGS AND VISIBLE APPURTENANCES. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.

STANDARD NOTES:

1. THE DEVELOPER, THROUGH HIS ENGINEER OR AUTHORIZED REPRESENTATIVE, SHALL ACQUIRE ALL REQUIRED NATIONWIDE PERMITS, SUCH AS CWA 401, 402 AND/OR 404 PERMITS, AS APPROPRIATE, FROM THE USEPA, TCEQ, AND/OR USACE.
2. TOPOGRAPHICAL INFORMATION IS PRESENTED FOR DRAINAGE ANALYSIS PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.
3. TOPOGRAPHICAL INFORMATION PRESENTED HEREIN IS DERIVED FROM TNRS DATA HUB MAPS.
4. THE ENGINEER OF RECORD MUST BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES IN THE PLANS EXIST.

REVISIONS



FIRM # F-13392

BELTON ENGINEERING INC.

106 NO. EAST STREET
 BELTON, TEXAS 76513
 OFFICE (254)731-5600
 MOBILE (254)289-7273
 BELTONEENGINEERS.COM

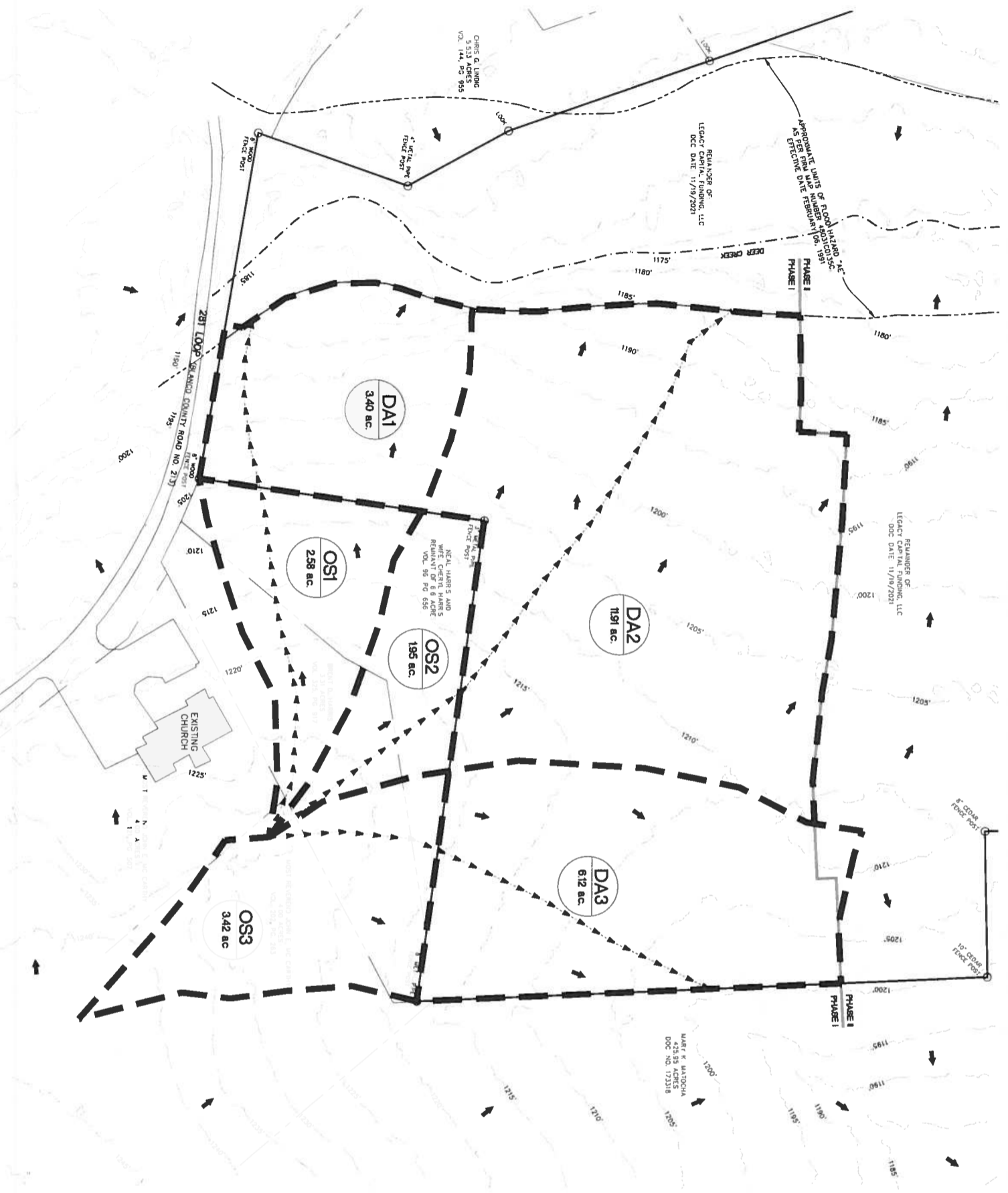
Engineering Design/Build Planning

PRE DRAINAGE PLAN OF:
HOMESTEADS AT DEER CREEK
 217 LOOP 281
 JOHNSON CITY TX 78636, BLANCO COUNTY
MEHUL DARBAR



SCALE: 1"=100'
 DRAWN: AM

DATE: 06/10/22
 JOB NO.: 21032
 03 OF 29
C3.0



TIME OF CONCENTRATION - PRE DEVELOPMENT

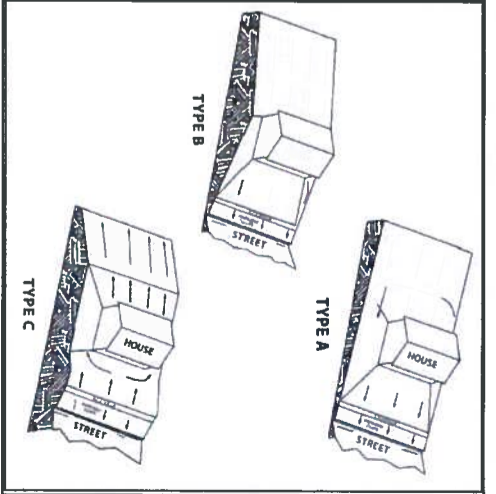
POST	Area	n	Sloped			Shallow			CHP	n	Concentrated		Total Calc
			L	S	Tc	S	V	Tc			S	Wp	
DA1	3.40	0.13	300	0.033	2.402	309.5	0.038	3.18	1.824			4.0	15.0
OS1	2.58	0.13	300	0.033	2.402	309.5	0.042	3.30	0.605			3.0	15.0
OS2	1.95	0.13	300	0.033	2.402	309.5	0.052	3.69	2.815			2.3	15.0
OS3	3.42	0.13	300	0.033	2.402	309.5	0.042	3.31	4.771			7.2	15.0
OS1+DA1	5.98	0.13	300	0.033	2.402	309.5	0.038	3.13	2.839			5.2	15.0
OS2+DA2	13.86	0.13	300	0.037	2.312	532.57							15.0
OS3+DA3	9.54	0.13	300	0.037	2.312	532.57							15.0

Drainage Calculations, Existing Conditions

DA	AREA	Tc	C	Qp	Qp	Qp	Qp	Qp	Qp	Qp
(ac)	(sq ft)	(min)		(cfs)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)
OS1	2.58	15.0	0.40	4.10	4.23	8.11	6.50	7.46	7.69	8.89
OS2	1.95	15.0	0.40	4.10	3.19	8.11	4.76	7.46	5.81	7.53
OS3	3.42	15.0	0.40	4.10	5.61	8.11	8.35	7.46	10.20	9.67
OS1+DA1	5.98	15.0	0.40	4.10	9.81	8.11	14.61	7.46	17.84	9.67
OS2+DA2	13.86	15.0	0.40	4.10	22.73	8.11	33.87	7.46	41.38	9.67
OS3+DA3	9.54	15.0	0.40	4.10	16.65	8.11	23.32	7.46	29.47	9.67



REVISIONS



NOTE:
1. THE ENGINEER OF RECORD MUST BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES IN THE PLANS EXIST
2. THE HOMEOWNER IS TO MAINTAIN DRAINAGE BETWEEN LOTS AS SHOWN ON THIS DRAINAGE PLAN



F.R.M. # F-13392

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Engineering Design/Build Planning

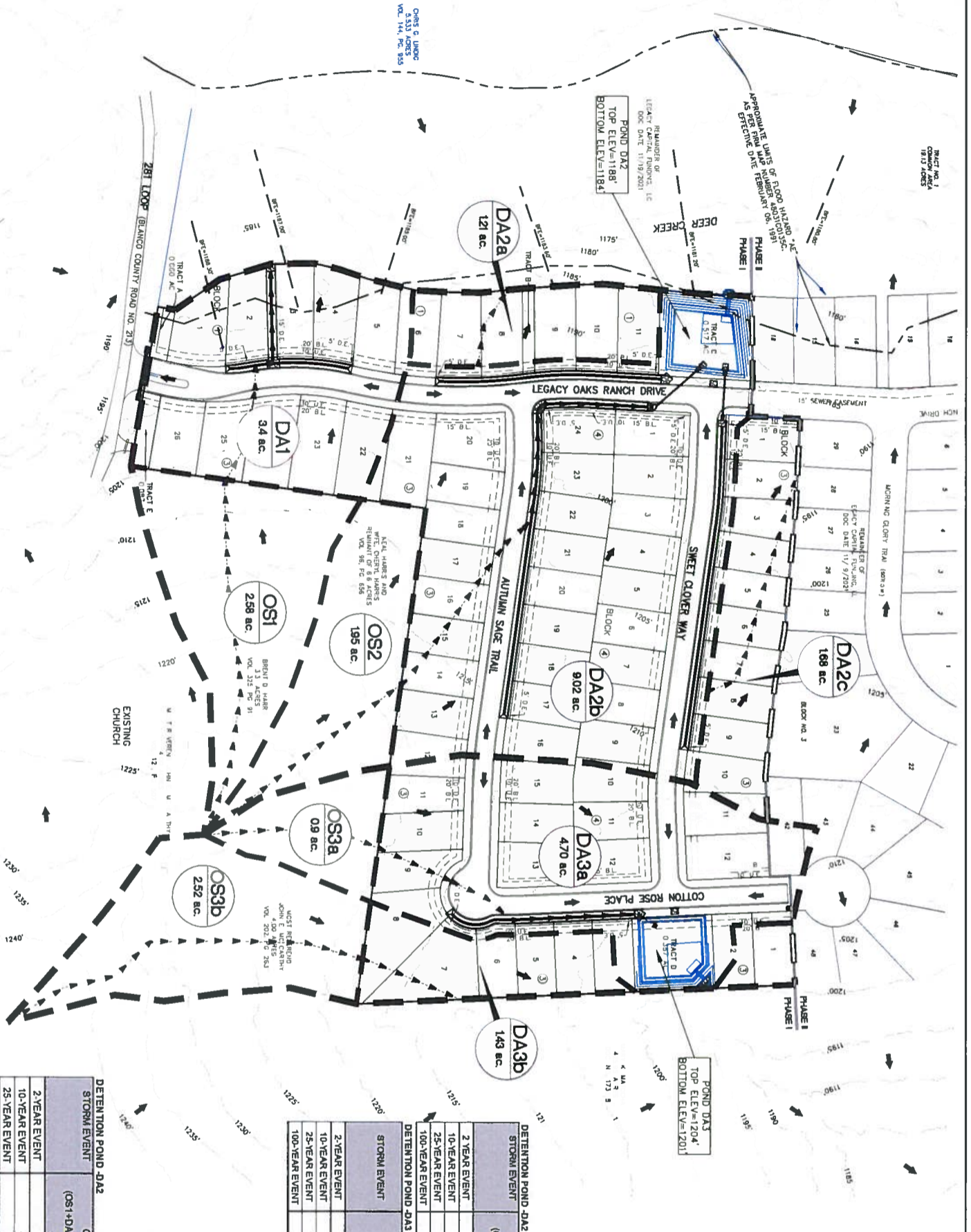
POST DRAINAGE PLAN OF:
HOMESTEADS AT DEER CREEK
217 LOOP 281
JOHNSON CITY TX 78636, BLANCO COUNTY
MEHUL DARBAR



SCALE: 1" = 100'

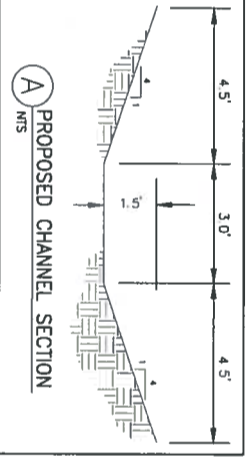
DRAWN: AM
ELEC DRAWING ILE
C:\21003 DR. DWG
DATE: 06/10/22
JOB NO.: 21003

04 OF 29
C3.01



TIME OF CONCENTRATION - POST DEVELOPMENT

POST	AREA (Ac)	SLOPE (ft)	LENGTH (ft)	SHAPE	VELOCITY (ft/sec)	TRAVEL TIME (min)	CORRECTION FACTOR	CONCENTRATION TIME (min)	TOTAL TIME (min)
DA	5.88	0.13	3000	0.033	3.09	42	0.040	3.24	1.59
OS1+DA1	1.21	0.24	143.67	0.052	1.819	33	0.030	3.34	0.155
DA2a	1.21	0.24	143.67	0.052	1.819	33	0.030	3.34	0.155
OS2+DA2b	10.97	0.13	3000	0.033	2.402	118.7	0.033	2.95	0.876
DA2c	1.66	0.24	150	0.017	2.973	256.14	0.043	3.34	1.277
OS3a+DA3a	5.60	0.13	3000	0.040	2.233	135.43	0.041	3.25	0.694
OS3b+DA3b	3.94	0.13	3000	0.040	2.233	180.35	0.041	3.28	0.818



DETECTION POND -DA2

STORM EVENT	Q PRE (cfs)	Q POST (cfs)	Q DISCHARGE (cfs)	MAX ELEV (ft)	MAX STORAGE (cu ft)
2-YEAR EVENT	32.76	32.72	15.53	8.71	1201.73
10-YEAR EVENT	48.47	45.77	22.97	13.08	1201.98
25-YEAR EVENT	59.80	54.52	27.35	15.90	1202.09
100-YEAR EVENT	75.82	69.46	34.39	20.65	1202.30

DETECTION POND -DA3

STORM EVENT	Q PRE (cfs)	Q POST (cfs)	Q DISCHARGE (cfs)	MAX ELEV (ft)	MAX STORAGE (cu ft)
2-YEAR EVENT	15.53	13.20	8.71	8.71	3.969
10-YEAR EVENT	23.31	19.11	13.08	13.08	6.051
25-YEAR EVENT	28.27	23.17	15.80	15.90	7.373
100-YEAR EVENT	38.48	30.11	20.65	20.65	9.524

COMPOSITE CALCULATIONS

AREA	PASTURE AREA (ac)	SF-7 AREA (sq ft)	SF-7 AREA (ac)	TOTAL AREA (ac)	COMPOSITE C
OS1+DA1	0.40	2.58	0.60	3.40	0.51
DA2a	0.40	0.00	0.00	1.21	0.80
OS2+DA2b	0.40	1.95	0.80	9.02	10.87
DA2c	0.40	0.00	0.60	1.68	0.60
OS3a+DA3a	0.40	0.90	0.60	4.70	5.60
OS3b+DA3b	0.40	2.52	0.60	1.43	3.94

Drainage Calculations Proposed Conditions

DA	AREA (ac)	Tc (min)	C	Qp (cfs)	h ₁ (ft)	h ₂ (ft)	D ₁ (ft)	h ₃ (ft)	Q ₁ (cfs)	Q ₂ (cfs)	MAX ELEV (ft)	MAX STORAGE (cu ft)
OS1+DA1	5.88	15.0	0.51	4.10	12.60	8.11	18.77	7.46	0.51	9.67	29.71	7.05
DA2a	1.21	15.0	0.60	4.10	2.99	6.11	4.45	7.46	0.60	9.67	9.67	7.05
OS2+DA2b	10.97	15.0	0.58	4.10	25.39	6.11	37.84	7.46	0.58	9.67	59.88	9.67
DA2c	1.66	15.0	0.60	4.10	4.12	6.11	6.14	7.46	0.60	9.67	9.72	9.67
OS3a+DA3a	5.60	15.0	0.57	4.10	13.03	6.11	19.42	7.46	0.57	9.67	30.74	9.67
OS3b+DA3b	3.94	15.0	0.47	4.10	7.64	6.11	11.38	7.46	0.47	9.67	18.01	9.67

Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D 2018 by Autodesk, Inc. v12

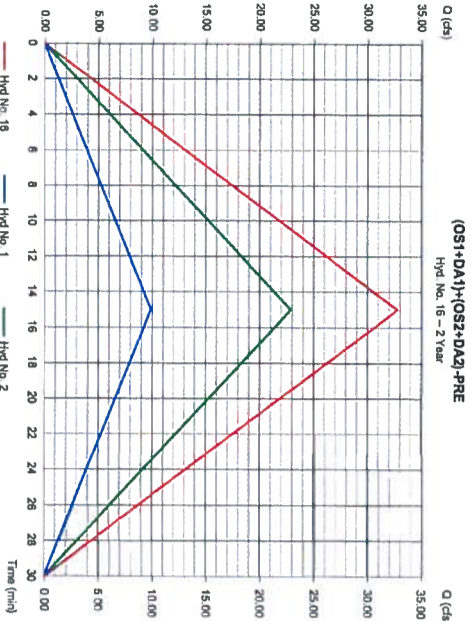
Friday, 06/11/2022

Hyd. No. 16

(OS1+DA1)+(OS2+DA2)-PRE

Hydrograph type = Combine
Storm frequency = 2 yrs
Time interval = 1 min
Inflow hyds = 1, 2

Peak discharge = 32.76 cfs
Time to peak = 28 min
Hyd volume = 28,485 cuft
Contrib. drain. area = 19,640 ac



Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D 2018 by Autodesk, Inc. v12

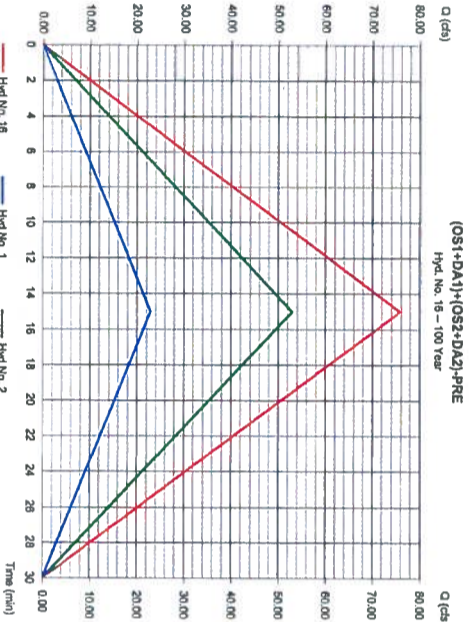
Friday, 06/11/2022

Hyd. No. 16

(OS1+DA1)+(OS2+DA2)-PRE

Hydrograph type = Combine
Storm frequency = 100 yrs
Time interval = 1 min
Inflow hyds = 1, 2

Peak discharge = 76.82 cfs
Time to peak = 58 min
Hyd volume = 68,221 cuft
Contrib. drain. area = 19,640 ac



Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D 2018 by Autodesk, Inc. v12

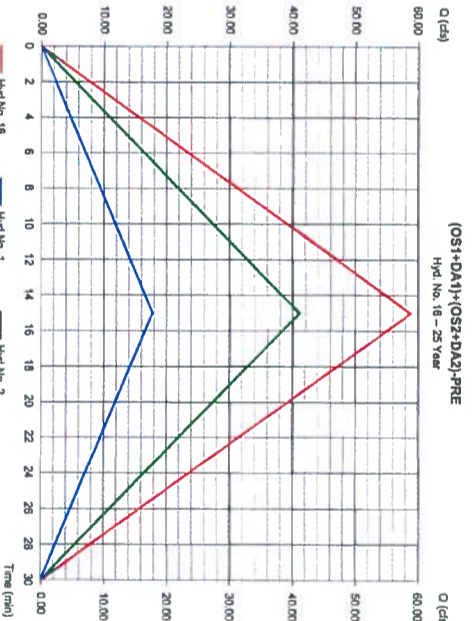
Friday, 06/11/2022

Hyd. No. 16

(OS1+DA1)+(OS2+DA2)-PRE

Hydrograph type = Combine
Storm frequency = 25 yrs
Time interval = 1 min
Inflow hyds = 1, 2

Peak discharge = 53.80 cfs
Time to peak = 13 min
Hyd volume = 52,817 cuft
Contrib. drain. area = 19,640 ac



Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D 2018 by Autodesk, Inc. v12

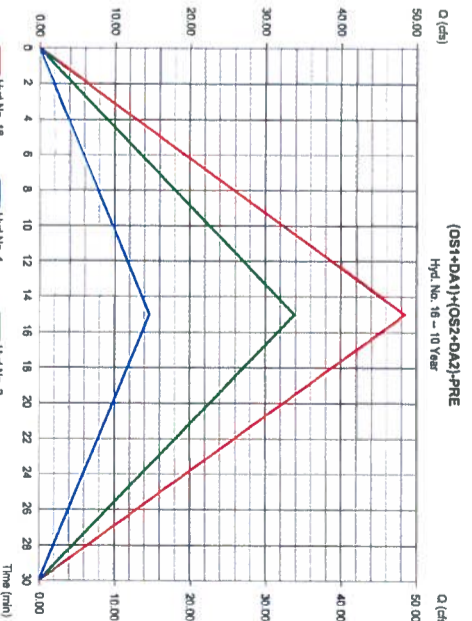
Friday, 06/11/2022

Hyd. No. 16

(OS1+DA1)+(OS2+DA2)-PRE

Hydrograph type = Combine
Storm frequency = 10 yrs
Time interval = 1 min
Inflow hyds = 1, 2

Peak discharge = 48.47 cfs
Time to peak = 15 min
Hyd volume = 43,025 cuft
Contrib. drain. area = 19,640 ac



Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D 2018 by Autodesk, Inc. v12

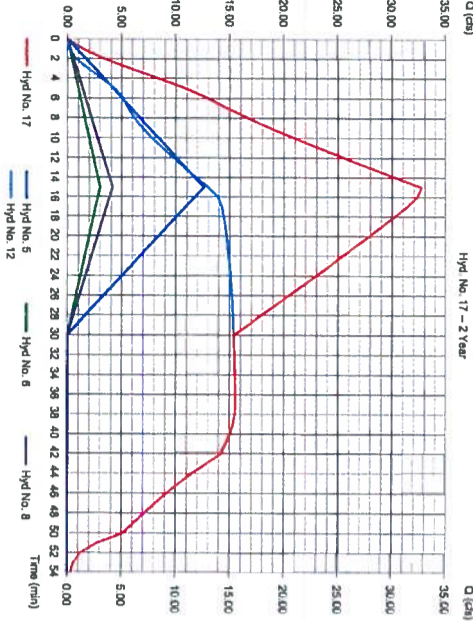
Friday, 06/11/2022

Hyd. No. 17

(OS1+DA1)+(DA2a+DA2c)+POND DA2

Hydrograph type = Combine
Storm frequency = 2 yrs
Time interval = 1 min
Inflow hyds = 5, 6, 8, 12

Peak discharge = 32.72 cfs
Time to peak = 15 min
Hyd volume = 52,473 cuft
Contrib. drain. area = 8,870 ac



Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D 2018 by Autodesk, Inc. v12

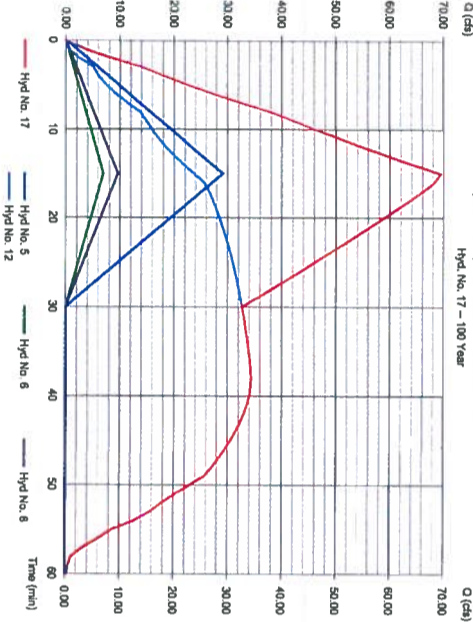
Friday, 06/11/2022

Hyd. No. 17

(OS1+DA1)+(DA2a+DA2c)+POND DA2

Hydrograph type = Combine
Storm frequency = 100 yrs
Time interval = 1 min
Inflow hyds = 5, 6, 8, 12

Peak discharge = 89.48 cfs
Time to peak = 15 min
Hyd volume = 122,336 cuft
Contrib. drain. area = 8,870 ac



Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D 2018 by Autodesk, Inc. v12

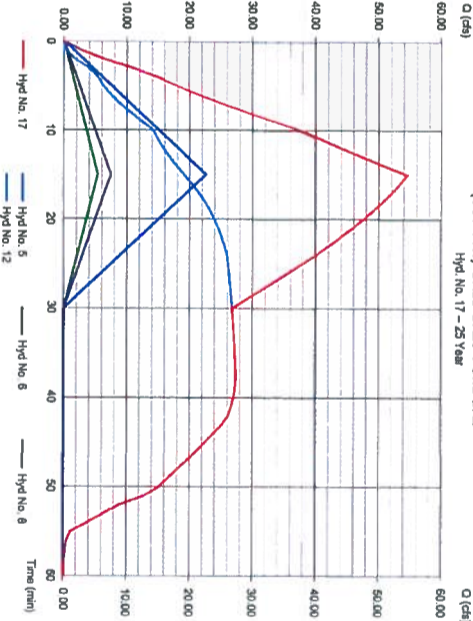
Friday, 06/11/2022

Hyd. No. 17

(OS1+DA1)+(DA2a+DA2c)+POND DA2

Hydrograph type = Combine
Storm frequency = 25 yrs
Time interval = 1 min
Inflow hyds = 5, 6, 8, 12

Peak discharge = 54.52 cfs
Time to peak = 15 min
Hyd volume = 94,688 cuft
Contrib. drain. area = 8,870 ac



Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D 2018 by Autodesk, Inc. v12

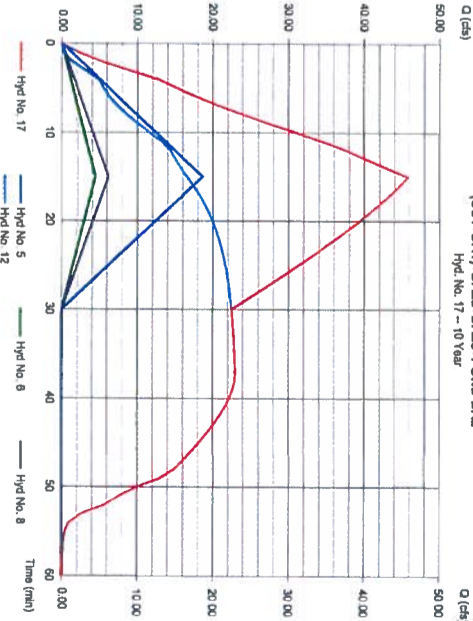
Friday, 06/11/2022

Hyd. No. 17

(OS1+DA1)+(DA2a+DA2c)+POND DA2

Hydrograph type = Combine
Storm frequency = 10 yrs
Time interval = 1 min
Inflow hyds = 5, 6, 8, 12

Peak discharge = 45.77 cfs
Time to peak = 15 min
Hyd volume = 77,677 cuft
Contrib. drain. area = 8,870 ac



REVISED



F.R.M. # F-13392
BELTON ENGINEERING INC.

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MOBILE (254) 298-5600
BELTONENGINEERS.COM

*Engineering
Build
Planning*

POND DA2 DRAINAGE AREA HYDROGRAPHS FOR:
HOMESTEADS AT DEER CREEK
217 LOOP 281
JOHNSON CITY TX 78636, BLANCO COUNTY
MEHUL DARBAR



06/10/22
SCALE: NTS
DRAWN: AM
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DATE: 06/10/22
JOB NO.: 21032
05 OF 29
C3.02

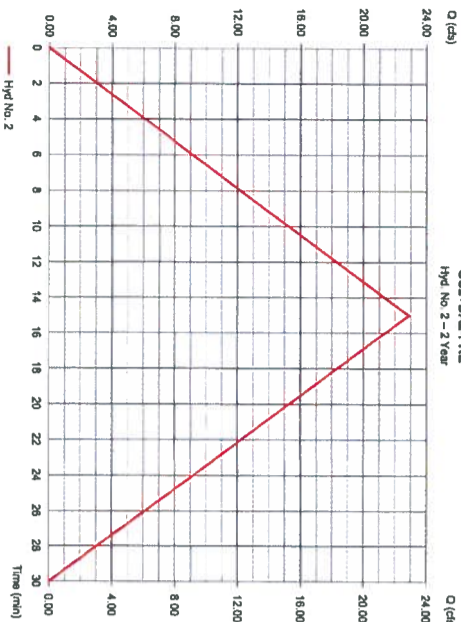
Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D® 2018 by Autodesk, Inc. v12
 Friday, 06/11/2022

Hyd. No. 2
 OS2+DA2-PRE

Hydrograph type = Rational
 Storm frequency = 2 yrs
 Time to peak = 15 min
 Runoff coeff. = 0.4
 Drainage area = 4.128 ac
 Intensity = 4.128 in/hr
 IDF Curve = Johnson City IDF

Peak discharge = 22.89 cfs
 Time to peak = 15 min
 Hyd. volume = 62.589 cuft
 Tc by User = 15.00 min
 Asc/Rec limb fact = 1/1



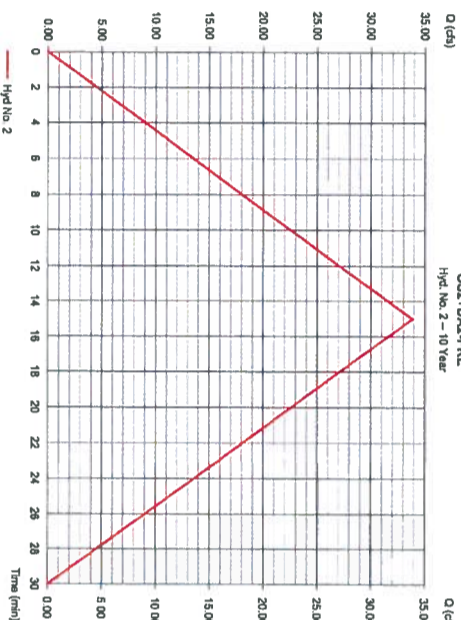
Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D® 2018 by Autodesk, Inc. v12
 Friday, 06/11/2022

Hyd. No. 2
 OS2+DA2-PRE

Hydrograph type = Rational
 Storm frequency = 10 yrs
 Time to peak = 15 min
 Runoff coeff. = 0.4
 Drainage area = 6.108 ac
 Intensity = 6.108 in/hr
 IDF Curve = Johnson City IDF

Peak discharge = 33.86 cfs
 Time to peak = 15 min
 Hyd. volume = 30.476 cuft
 Tc by User = 15.00 min
 Asc/Rec limb fact = 1/1



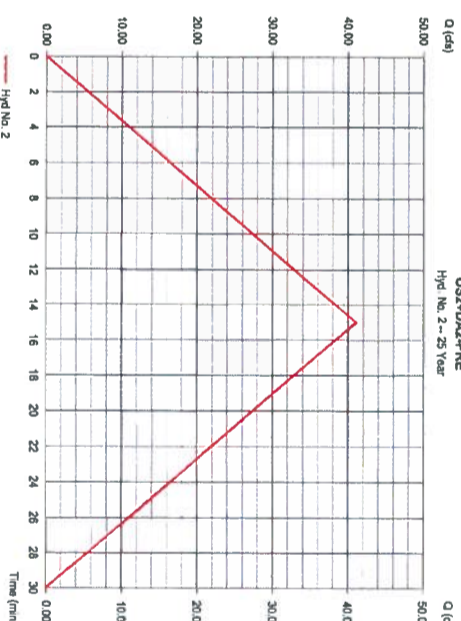
Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D® 2018 by Autodesk, Inc. v12
 Friday, 06/11/2022

Hyd. No. 2
 OS2+DA2-PRE

Hydrograph type = Rational
 Storm frequency = 25 yrs
 Time to peak = 15 min
 Runoff coeff. = 0.4
 Drainage area = 7.089 ac
 Intensity = 7.089 in/hr
 IDF Curve = Johnson City IDF

Peak discharge = 41.07 cfs
 Time to peak = 15 min
 Hyd. volume = 36.967 cuft
 Tc by User = 15.00 min
 Asc/Rec limb fact = 1/1



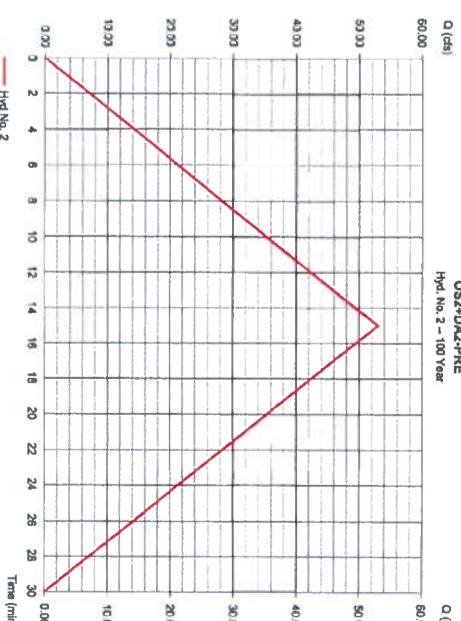
Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D® 2018 by Autodesk, Inc. v12
 Friday, 06/11/2022

Hyd. No. 2
 OS2+DA2-PRE

Hydrograph type = Rational
 Storm frequency = 100 yrs
 Time to peak = 15 min
 Runoff coeff. = 0.4
 Drainage area = 8.553 ac
 Intensity = 8.553 in/hr
 IDF Curve = Johnson City IDF

Peak discharge = 52.96 cfs
 Time to peak = 15 min
 Hyd. volume = 47.668 cuft
 Tc by User = 15.00 min
 Asc/Rec limb fact = 1/1



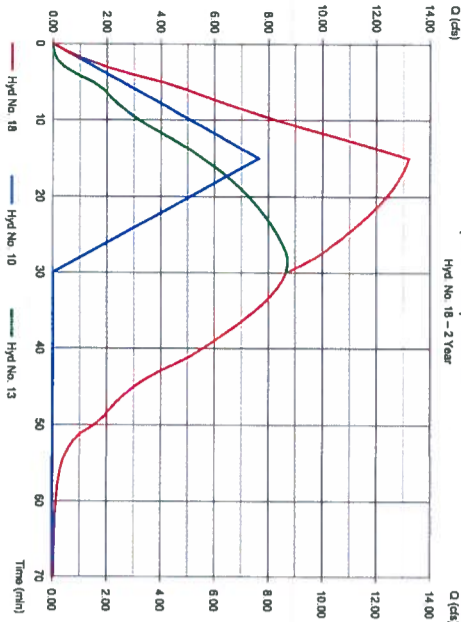
Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D® 2018 by Autodesk, Inc. v12
 Friday, 06/11/2022

Hyd. No. 18
 (OS3B+DA3B)+POND DA3

Hydrograph type = Combine
 Storm frequency = 2 yrs
 Time interval = 1 min
 Inflow hydro. = 10, 13

Peak discharge = 13.20 cfs
 Time to peak = 15 min
 Hyd. volume = 22.638 cuft
 Contrib. drain. area = 3.940 ac



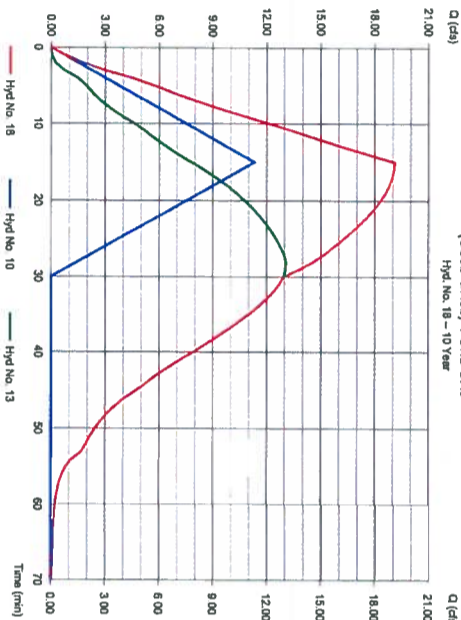
Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D® 2018 by Autodesk, Inc. v12
 Friday, 06/11/2022

Hyd. No. 18
 (OS3B+DA3B)+POND DA3

Hydrograph type = Combine
 Storm frequency = 10 yrs
 Time interval = 1 min
 Inflow hydro. = 10, 13

Peak discharge = 19.11 cfs
 Time to peak = 15 min
 Hyd. volume = 33.521 cuft
 Contrib. drain. area = 3.940 ac



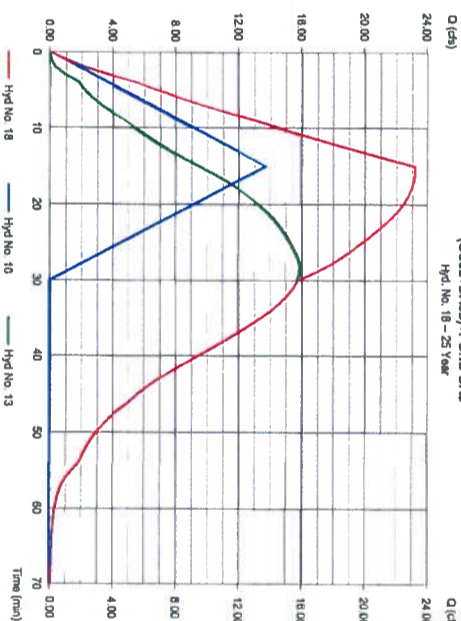
Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D® 2018 by Autodesk, Inc. v12
 Friday, 06/11/2022

Hyd. No. 18
 (OS3B+DA3B)+POND DA3

Hydrograph type = Combine
 Storm frequency = 25 yrs
 Time interval = 1 min
 Inflow hydro. = 10, 13

Peak discharge = 23.17 cfs
 Time to peak = 16 min
 Hyd. volume = 40.702 cuft
 Contrib. drain. area = 3.940 ac



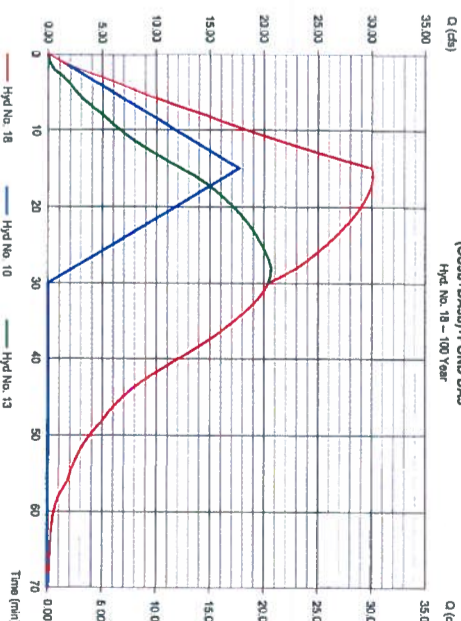
Hydrograph Report

Hydrograph Estimation for Autodesk Civil 3D® 2018 by Autodesk, Inc. v12
 Friday, 06/11/2022

Hyd. No. 18
 (OS3B+DA3B)+POND DA3

Hydrograph type = Combine
 Storm frequency = 100 yrs
 Time interval = 1 min
 Inflow hydro. = 10, 13

Peak discharge = 30.11 cfs
 Time to peak = 16 min
 Hyd. volume = 52.503 cuft
 Contrib. drain. area = 3.940 ac



REVISIONS



BELTON ENGINEERING INC.
 FIRM # F-13392

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*Engineering
 Design/Build
 Planning*

POND DA3 DRAINAGE AREA HYDROGRAPHS FOR:
HOMESTEADS AT DEER CREEK
 217 LOOP 281
 JOHNSON CITY TX 78636, BLANCO COUNTY
MEHUL DARBAR



06/10/22
 SCALE: NTS
 DRAWN: AM
 ELEC. DRAWING FILE
 C:\21032-DR.DWG
 DATE: 06/10/22
 JOB NO.: 21003
 06 OF 29
C3.03

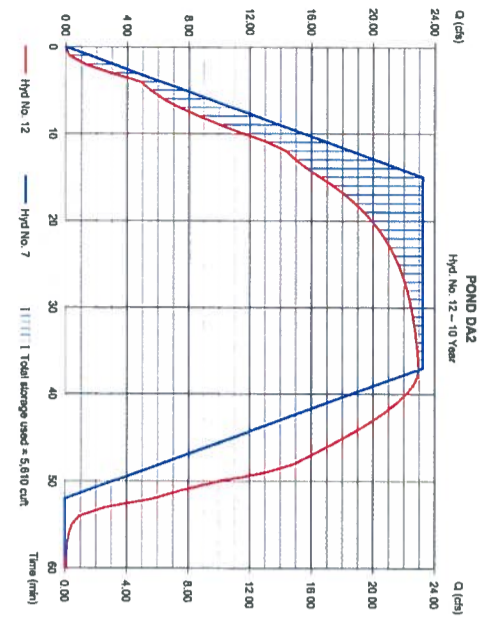
Hydrograph Report

Hydrograph Extension for Autodesk Civil 3D 2019 by Autodesk, Inc. v12

Friday, 08/10/2022

Hyd. No. 12

Hydrograph type = Reservoir
Storm frequency = 10 yrs
Time to peak = 22.97 cfs
Hyd. volume = 51,590 cuf
Inflow hyd. No. = 7 - OS2+DA2+POST
Reservoir name = POND DA2
Peak discharge = 22.97 cfs
Time to peak = 37 min
Hyd. volume = 51,590 cuf
Max. Elevation = 1185.88 ft
Max. Storage = 5,610 cuf



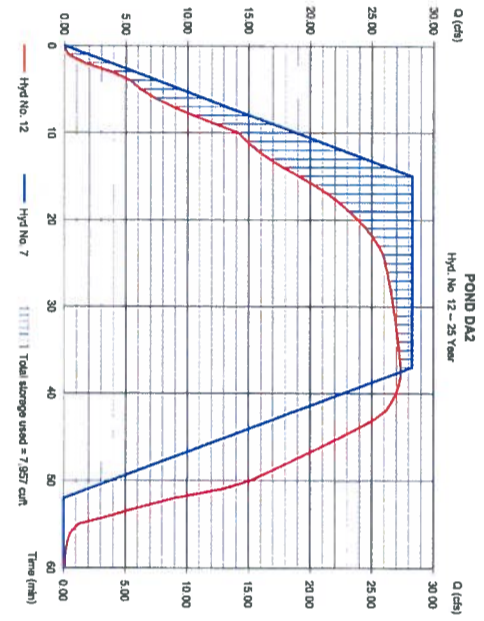
Hydrograph Report

Hydrograph Extension for Autodesk Civil 3D 2019 by Autodesk, Inc. v12

Friday, 08/10/2022

Hyd. No. 12

Hydrograph type = Reservoir
Storm frequency = 25 yrs
Time to peak = 27.35 cfs
Hyd. volume = 82,790 cuf
Inflow hyd. No. = 7 - OS2+DA2+POST
Reservoir name = POND DA2
Peak discharge = 27.35 cfs
Time to peak = 37 min
Hyd. volume = 82,790 cuf
Max. Elevation = 1188.11 ft
Max. Storage = 7,957 cuf



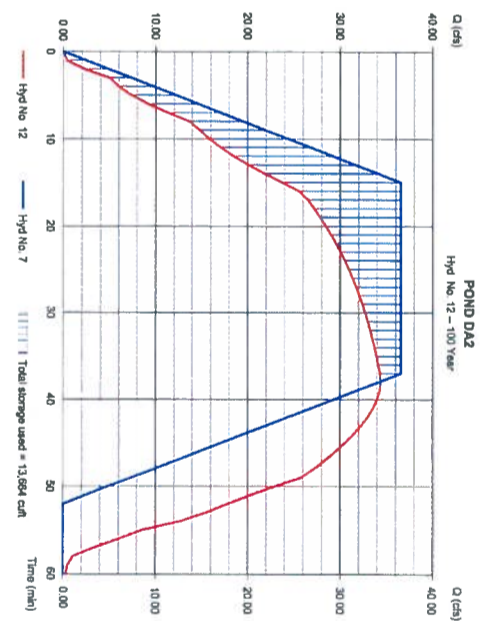
Hydrograph Report

Hydrograph Extension for Autodesk Civil 3D 2019 by Autodesk, Inc. v12

Friday, 08/10/2022

Hyd. No. 12

Hydrograph type = Reservoir
Storm frequency = 100 yrs
Time to peak = 34.39 cfs
Hyd. volume = 81,204 cuf
Inflow hyd. No. = 7 - OS2+DA2+POST
Reservoir name = POND DA2
Peak discharge = 34.39 cfs
Time to peak = 38 min
Hyd. volume = 81,204 cuf
Max. Elevation = 1188.62 ft
Max. Storage = 13,664 cuf



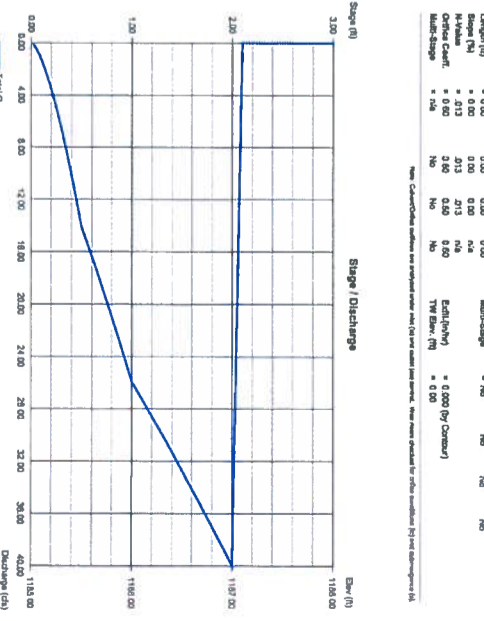
Pond Report

Hydrograph Extension for Autodesk Civil 3D 2019 by Autodesk, Inc. v12

Friday, 08/10/2022

Pond No. 1 - POND DA2

Stage / Storage Table
Stage (ft) 1185.88 1185.88 1185.88 1185.88 1185.88 1185.88
Storage (cuf) 0 0 1185.88 2371.76 3557.64 4743.52



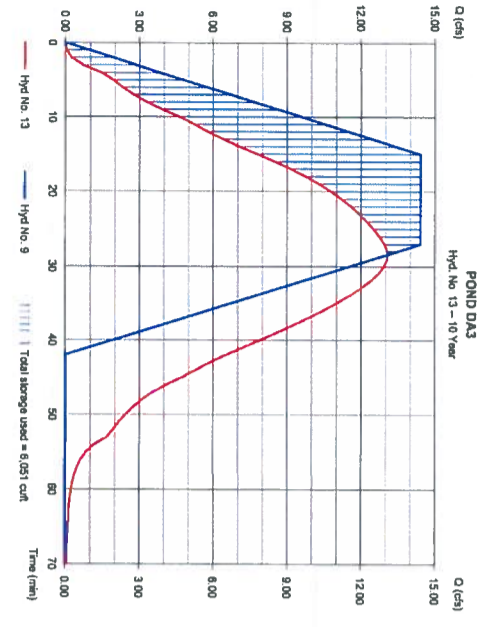
Hydrograph Report

Hydrograph Extension for Autodesk Civil 3D 2019 by Autodesk, Inc. v12

Friday, 08/10/2022

Hyd. No. 13

Hydrograph type = Reservoir
Storm frequency = 10 yrs
Time to peak = 13.06 cfs
Hyd. volume = 23,342 cuf
Inflow hyd. No. = 9 - OS3+DA3+POST
Reservoir name = POND DA3
Peak discharge = 13.06 cfs
Time to peak = 29 min
Hyd. volume = 23,342 cuf
Max. Elevation = 1201.86 ft
Max. Storage = 6,051 cuf



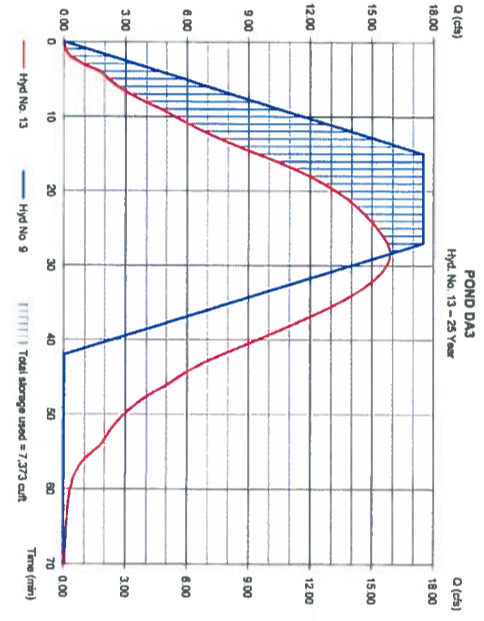
Hydrograph Report

Hydrograph Extension for Autodesk Civil 3D 2019 by Autodesk, Inc. v12

Friday, 08/10/2022

Hyd. No. 13

Hydrograph type = Reservoir
Storm frequency = 25 yrs
Time to peak = 15.90 cfs
Hyd. volume = 28,916 cuf
Inflow hyd. No. = 9 - OS3+DA3+POST
Reservoir name = POND DA3
Peak discharge = 15.90 cfs
Time to peak = 28 min
Hyd. volume = 28,916 cuf
Max. Elevation = 1202.09 ft
Max. Storage = 7,273 cuf



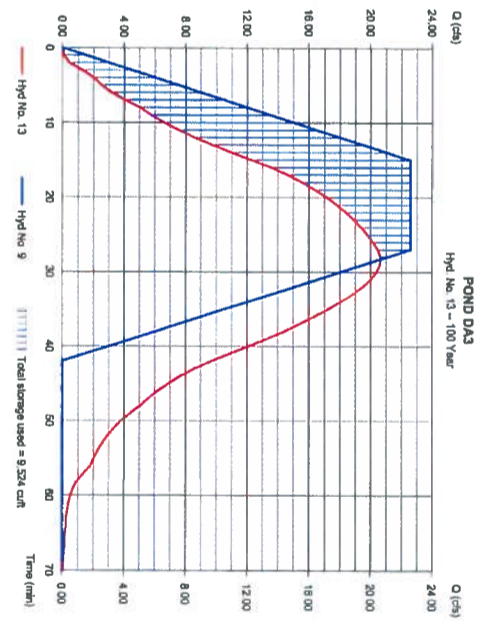
Hydrograph Report

Hydrograph Extension for Autodesk Civil 3D 2019 by Autodesk, Inc. v12

Friday, 08/10/2022

Hyd. No. 13

Hydrograph type = Reservoir
Storm frequency = 100 yrs
Time to peak = 20.65 cfs
Hyd. volume = 32,013 cuf
Inflow hyd. No. = 9 - OS3+DA3+POST
Reservoir name = POND DA3
Peak discharge = 20.65 cfs
Time to peak = 28 min
Hyd. volume = 32,013 cuf
Max. Elevation = 1202.50 ft
Max. Storage = 8,524 cuf



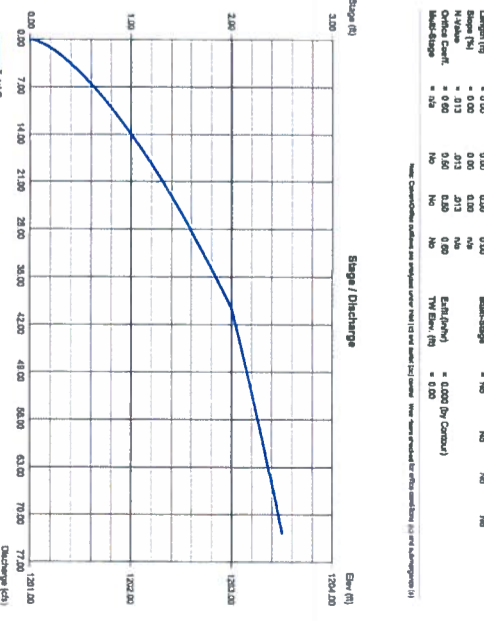
Pond Report

Hydrograph Extension for Autodesk Civil 3D 2019 by Autodesk, Inc. v12

Friday, 08/10/2022

Pond No. 2 - POND DA3

Stage / Storage Table
Stage (ft) 1201.86 1201.86 1201.86 1201.86 1201.86 1201.86
Storage (cuf) 0 0 1201.86 2403.72 3605.58 4807.44



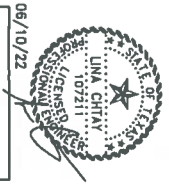
REVISIONS



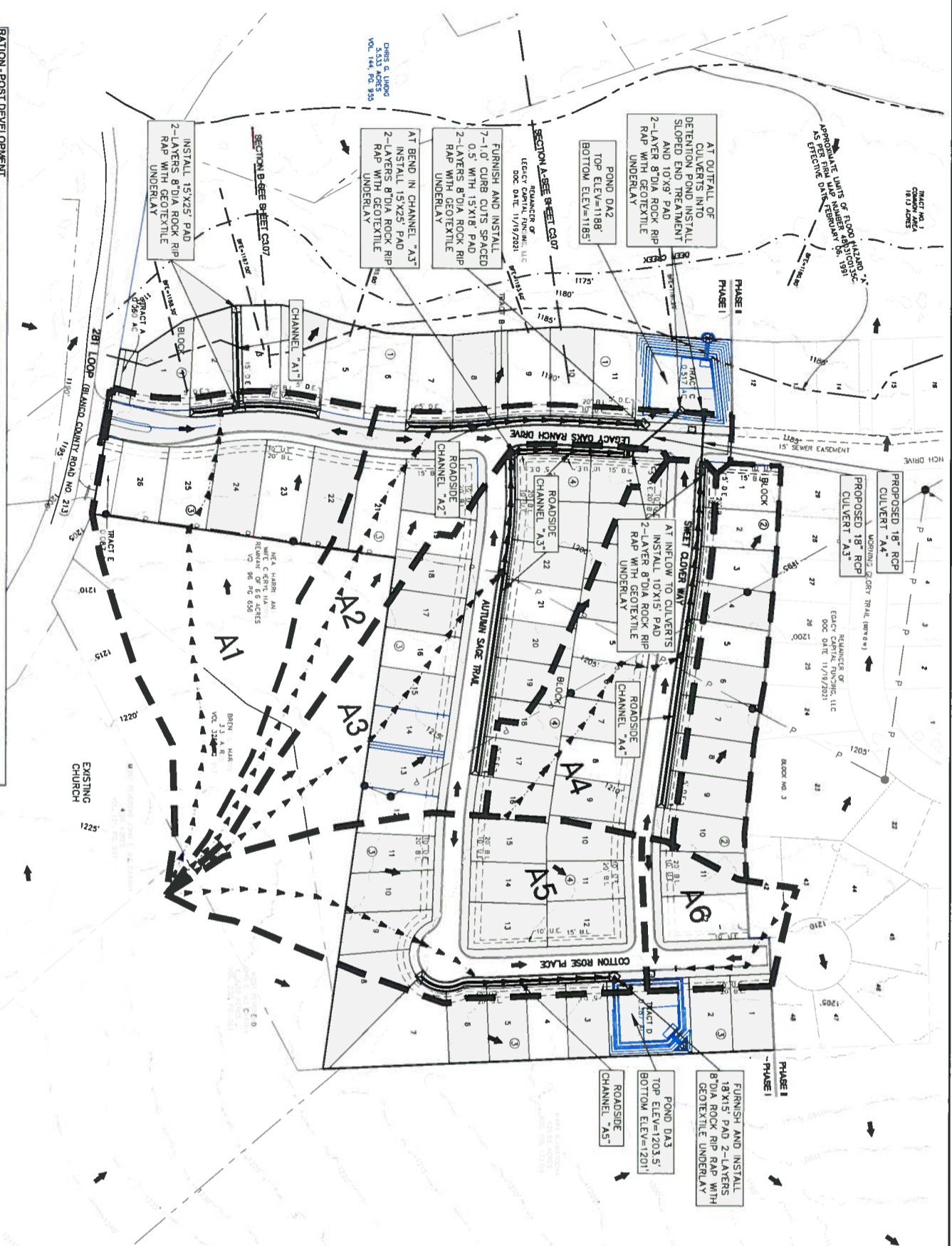
FIRM # F-13392
106 NO. EAST STREET
BELTON, TEXAS 76713-5800
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MOBILE (254)289-7273
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Engineering
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DETECTION POND HYDROGRAPHS FOR:
HOMESTEADS AT DEER CREEK
217 LOOP 281
JOHNSON CITY TX 78636, BLANCO COUNTY
MEHUL DARBAR



06/10/22
SCALE: NTS
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ELEC DRAWING FILE
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DATE: 06/10/22
JOB NO.: 21032
07 OF 29
C3.04



RATION-POST DEVELOPMENT

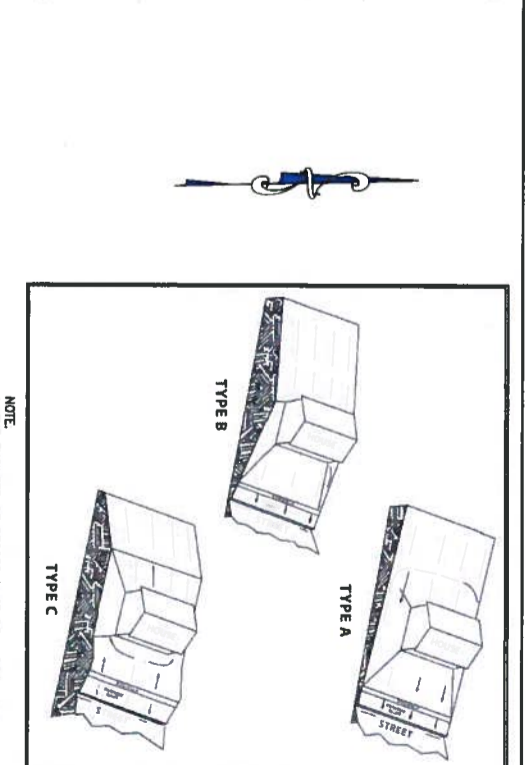
POST	Area	Street	L	S	Tc	Shrink	S	V	Tc	Concentrated	L	S	Wp	X-area	Tc	Total	Calc	
DA	(acres)		(ft)	(ft)	(hr)	(in/hr)	(in/hr)	(in/hr)	(in/hr)	(in/hr)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	
A1	4.74		300	0.033	2.402	309.42	0.040	3.24	1.59	A1	0.035	64.73	0.005	9.36	12.9	0.056	4.9	15.0
A2	2.89		300	0.033	2.402	350.84	0.040	3.24	1.59	A2	0.035	37.38	0.024	9.18	4.5	1.192	6.8	15.0
A3	4.65		300	0.033	2.402	119.7	0.040	3.24	1.59	A3	0.035	40.0	0.034	10.59	6.15	0.751	5.5	15.0
A4	3.15		100	0.030	1.699	298.5	0.023	3.11	0.229	A4	0.035	32.12	0.028	9.35	4.882	0.906	4.1	15.0
A5	4.05		300	0.040	2.233	135.43	0.041	3.25	0.694	A5	0.035	25.07	0.03	11.08	6.78	0.456	4.1	15.0
A6	1.07		117.34	0.030	1.935	154	0.017	2.64	0.678	A6	0.035	25.07	0.03	11.08	6.78	0.456	4.1	15.0

Drainage Calculations, Proposed Conditions

DA	AREA	C	Q ₁	Q ₂	Q ₃	Q ₄	Q ₅	Q ₆	Q ₇	Q ₈	Q ₉	Q ₁₀	Q ₁₁	Q ₁₂	Q ₁₃	Q ₁₄	Q ₁₅	Q ₁₆	Q ₁₇	Q ₁₈	Q ₁₉	Q ₂₀	Q ₂₁	Q ₂₂	Q ₂₃	Q ₂₄	Q ₂₅	Q ₂₆	Q ₂₇	Q ₂₈	Q ₂₉	Q ₃₀	Q ₃₁	Q ₃₂	Q ₃₃	Q ₃₄	Q ₃₅	Q ₃₆	Q ₃₇	Q ₃₈	Q ₃₉	Q ₄₀	Q ₄₁	Q ₄₂	Q ₄₃	Q ₄₄	Q ₄₅	Q ₄₆	Q ₄₇	Q ₄₈	Q ₄₉	Q ₅₀
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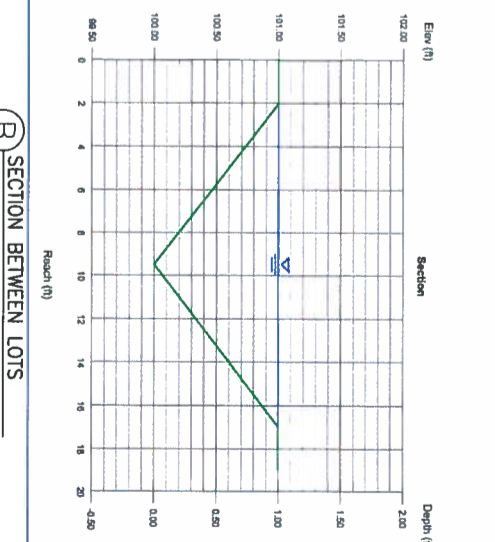
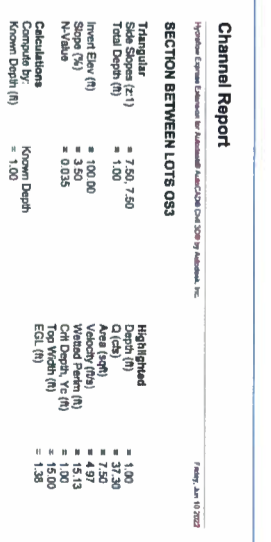
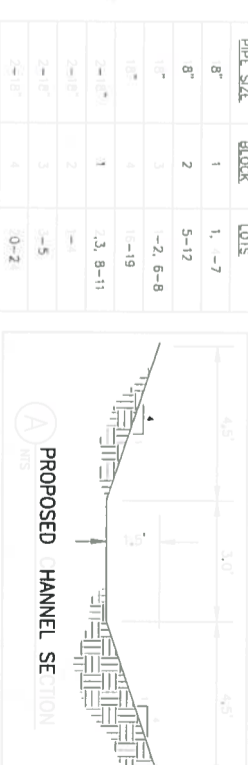
C-COMPOSITE CALCULATIONS

AREA	C	PASTURE	SF-7	AREA	TOTAL	C
A1	0.40	2.58	0.80	4.74	0.49	
A2	0.40	0.96	0.80	2.66	0.53	
A3	0.40	0.99	0.80	4.65	0.58	
A4	0.40	0.80	0.80	3.15	0.60	
A5	0.40	0.80	0.80	4.05	0.58	
A6	0.40	0.80	0.80	1.07	0.60	



CULVERT TABLE

PIPE SIZE	BLOCK	LOTS
8"	1	1, -7
8"	2	5-12
18"	3	-2, 6-8
18"	4	1-19
18"	1	.3, B-11
18"	2	-1
18"	3	-5
18"	4	0-2



NOTE:

1. IT IS THE DEVELOPERS RESPONSIBILITY TO B 1. A SINGLE SECTION AS SHOWN ON DETAIL B 1 AC EPT ALL FFSITE BLOCKS. THIS SECTION MUST BE B 1 BETWEEN LOTS 1-26 AND B 1 BETWEEN LOTS 1-26.

SCALE: 1"=100'

DATE: 06/10/22

JOB NO.: 21032

08 OF 29

C3.05

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MEHUL DARBAR

REGISTERED PROFESSIONAL ENGINEER

NO. 109211

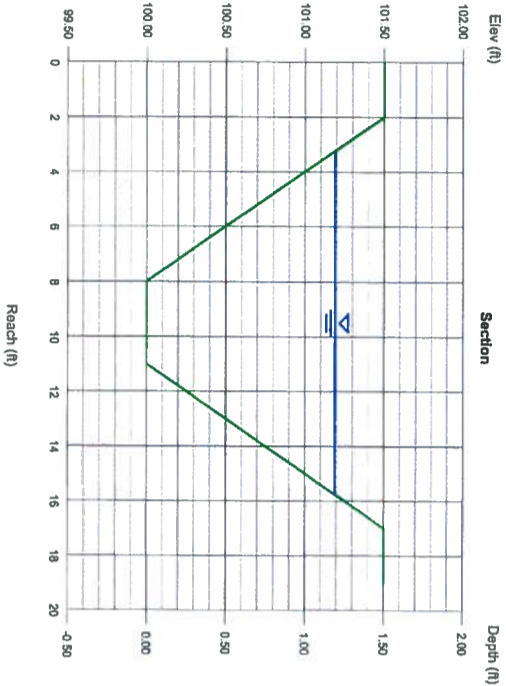
Channel Report

Hydraulic Estimation by Autodesk AutoCAD/CIVIL 3D® by Autodesk, Inc.

Friday, Jan 10 2022

ROADSIDE CHANNEL - A1 - 100YR

Trapazoidal		Highlighted	
Bottom Width (ft)	= 3.00	Depth (ft)	= 1.19
Side Slopes (Z:1)	= 4.00, 4.00	Q (cfs)	= 22.51
Total Depth (ft)	= 1.50	Area (sqft)	= 9.23
Invert Elev (ft)	= 100.00	Velocity (ft/s)	= 2.44
Slope (%)	= 0.52	Wetted Perim (ft)	= 12.81
N-Value	= 0.035	Crit Depth, Yc (ft)	= 0.95
		Top Width (ft)	= 12.52
		EGL (ft)	= 1.28
Calculations			
Compute by	Known Q		
Known Q (cfs)	= 22.51		



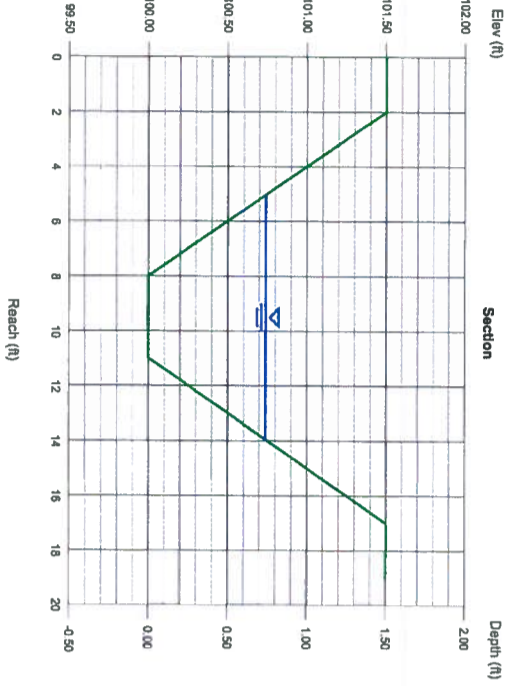
Channel Report

Hydraulic Estimation by Autodesk AutoCAD/CIVIL 3D® by Autodesk, Inc.

Friday, Jan 10 2022

ROADSIDE CHANNEL - A4 - 100YR

Trapazoidal		Highlighted	
Bottom Width (ft)	= 3.00	Depth (ft)	= 0.74
Side Slopes (Z:1)	= 4.00, 4.00	Q (cfs)	= 18.27
Total Depth (ft)	= 1.50	Area (sqft)	= 4.41
Invert Elev (ft)	= 100.00	Velocity (ft/s)	= 4.14
Slope (%)	= 2.55	Wetted Perim (ft)	= 9.10
N-Value	= 0.035	Crit Depth, Yc (ft)	= 0.76
		Top Width (ft)	= 8.92
		EGL (ft)	= 1.01
Calculations			
Compute by	Known Q		
Known Q (cfs)	= 18.27		



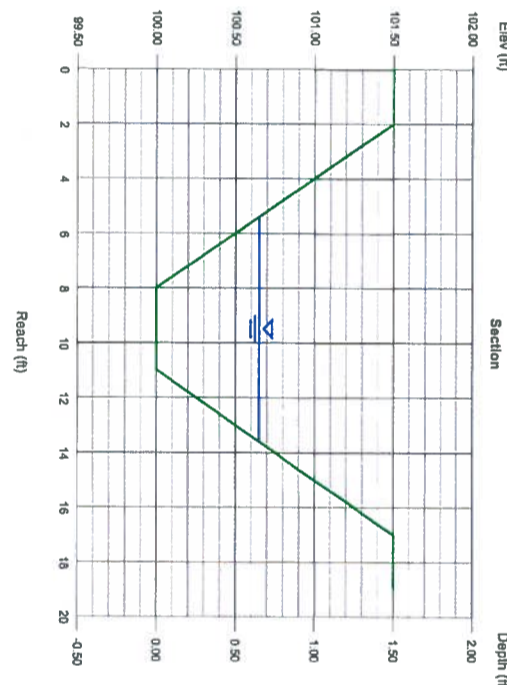
Channel Report

Hydraulic Estimation by Autodesk AutoCAD/CIVIL 3D® by Autodesk, Inc.

Friday, Jan 10 2022

ROADSIDE CHANNEL - A2 - 100YR

Trapazoidal		Highlighted	
Bottom Width (ft)	= 3.00	Depth (ft)	= 0.65
Side Slopes (Z:1)	= 4.00, 4.00	Q (cfs)	= 13.56
Total Depth (ft)	= 1.50	Area (sqft)	= 3.64
Invert Elev (ft)	= 100.00	Velocity (ft/s)	= 3.73
Slope (%)	= 2.35	Wetted Perim (ft)	= 8.36
N-Value	= 0.035	Crit Depth, Yc (ft)	= 0.65
		Top Width (ft)	= 8.20
		EGL (ft)	= 0.87
Calculations			
Compute by	Known Q		
Known Q (cfs)	= 13.56		



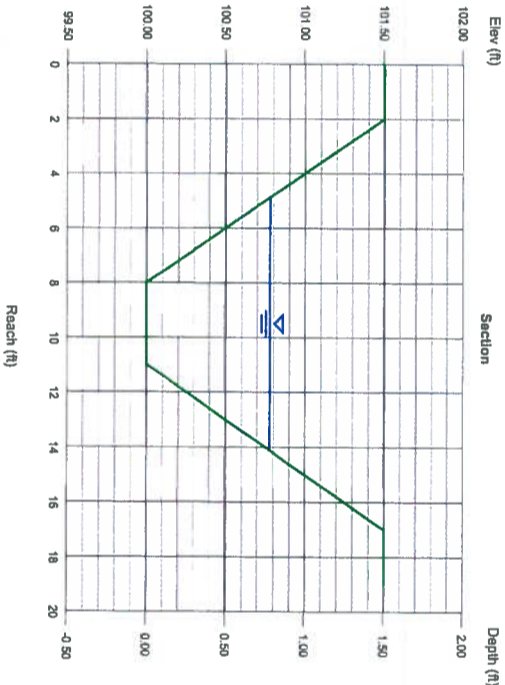
Channel Report

Hydraulic Estimation by Autodesk AutoCAD/CIVIL 3D® by Autodesk, Inc.

Friday, Jan 10 2022

ROADSIDE CHANNEL - A5 - 100YR

Trapazoidal		Highlighted	
Bottom Width (ft)	= 3.00	Depth (ft)	= 0.78
Side Slopes (Z:1)	= 4.00, 4.00	Q (cfs)	= 21.83
Total Depth (ft)	= 1.50	Area (sqft)	= 4.77
Invert Elev (ft)	= 100.00	Velocity (ft/s)	= 4.57
Slope (%)	= 2.97	Wetted Perim (ft)	= 9.43
N-Value	= 0.035	Crit Depth, Yc (ft)	= 0.83
		Top Width (ft)	= 9.24
		EGL (ft)	= 1.11
Calculations			
Compute by	Known Q		
Known Q (cfs)	= 21.83		



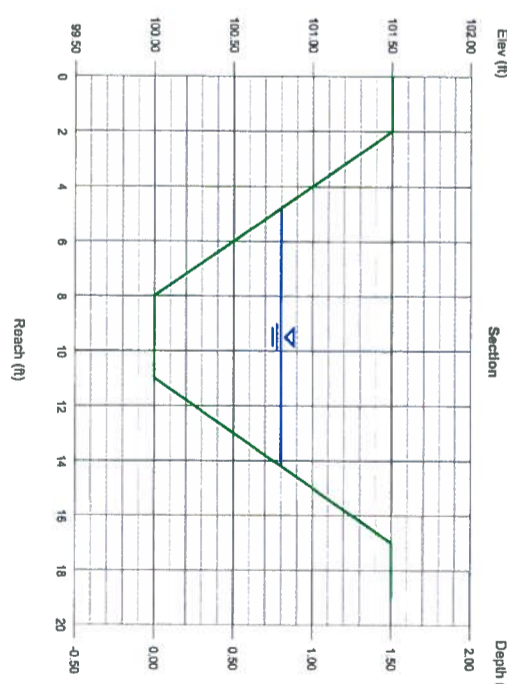
Channel Report

Hydraulic Estimation by Autodesk AutoCAD/CIVIL 3D® by Autodesk, Inc.

Friday, Jan 10 2022

ROADSIDE CHANNEL - A3 - 100YR

Trapazoidal		Highlighted	
Bottom Width (ft)	= 3.00	Depth (ft)	= 0.80
Side Slopes (Z:1)	= 4.00, 4.00	Q (cfs)	= 25.08
Total Depth (ft)	= 1.50	Area (sqft)	= 4.95
Invert Elev (ft)	= 100.00	Velocity (ft/s)	= 5.06
Slope (%)	= 3.44	Wetted Perim (ft)	= 9.60
N-Value	= 0.035	Crit Depth, Yc (ft)	= 0.89
		Top Width (ft)	= 9.40
		EGL (ft)	= 1.20
Calculations			
Compute by	Known Q		
Known Q (cfs)	= 25.08		



REVISIONS



FIRM # F-13392

BELTON ENGINEERING INC.

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BELTONENGINEERS.COM

Engineering Design/Build Planning

CHANNEL REPORTS FOR:
HOMESTEADS AT DEER CREEK
217 LOOP 281
JOHNSON CITY TX 78636, BLANCO COUNTY
MEHUL DARBAR



06/10/22

SCALE: NTS

DRAWN: AM

ELEC DRAWING FILE

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DATE: 06/10/22

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09 OF 29

C3.06

REVISIONS



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CULVERT REPORTS FOR:
HOMESTEADS AT DEER CREEK
217 LOOP 281
JOHNSON CITY TX 78636, BLANCO COUNTY
MEHUL DARBAR



SCALE: NTS
DRAWN: AM
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C:\21032-DR.DWG
DATE: 06/10/22
JOB NO.: 21032
10 OF 29
C3.07

Culvert Report
Hydrologic Estimate by AutoCAD/CADD CH 2008 by Autodesk, Inc. Friday, Jun 10 2022

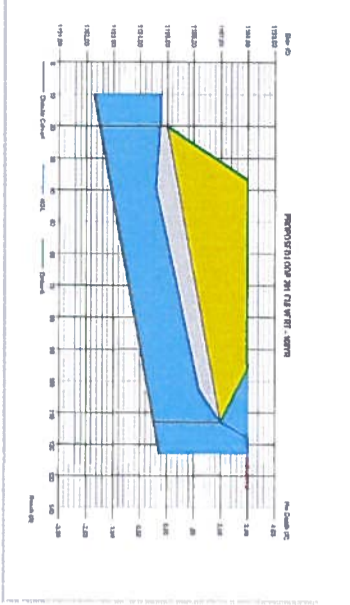
PROPOSED LOOP 281 CULVERT - 100YR

Invert Elev Dn (ft) = 1192.50
Pipe Length (ft) = 93.00
Slope (%) = 2.15
Invert Elev Up (ft) = 1194.50
Rise (ft) = 30.0
Shape = Circular
No. Barrels = 2
n-Value = 0.012
Culvert Type = Circular Concrete
Culvert Entrance Coeff. K.M.C.V.K. = 0.0098, 2.0, 0.0398, 0.67, 0.5

Highlighted
Ordnal (cfs) = 68.40
Overtop (cfs) = 0.00
Veloc Up (ft/s) = 7.27
HGL Up (ft) = 1198.74
HW Elev (ft) = 1198.02
Flow Regime = Inlet Control

Calculations
Ordnal (cfs) = 68.40
Omax (cfs) = 68.40
Tailwater Elev (ft) = (c+d)/2

Embankment
Top Elevation (ft) = 1198.00
Top Width (ft) = 59.50
Crest Width (ft) = 100.00



Culvert Report
Hydrologic Estimate by AutoCAD/CADD CH 2008 by Autodesk, Inc. Friday, Jun 10 2022

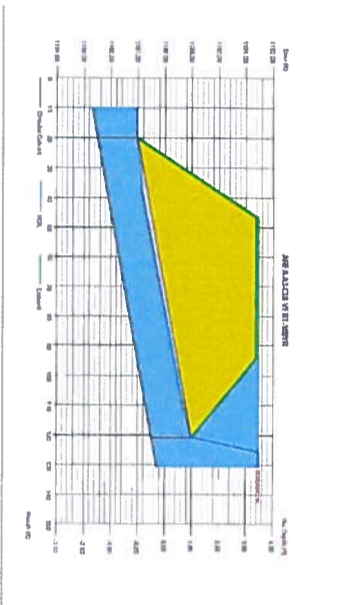
AREA-A3-CULVERT-100YR

Invert Elev Dn (ft) = 1185.50
Pipe Length (ft) = 100.80
Slope (%) = 1.89
Invert Elev Up (ft) = 1187.50
Rise (ft) = 18.0
Shape = Circular
No. Barrels = 1
n-Value = 0.012
Culvert Type = Circular Concrete
Culvert Entrance Coeff. K.M.C.V.K. = 0.0098, 2.0, 0.0398, 0.67, 0.5

Highlighted
Ordnal (cfs) = 25.08
Overtop (cfs) = 0.00
Veloc Up (ft/s) = 8.90
HGL Up (ft) = 1189.91
HW Elev (ft) = 1191.48
Flow Regime = Inlet Control

Calculations
Ordnal (cfs) = 25.08
Omax (cfs) = 25.08
Tailwater Elev (ft) = (c+d)/2

Embankment
Top Elevation (ft) = 1191.39
Top Width (ft) = 49.00
Crest Width (ft) = 100.00



Culvert Report
Hydrologic Estimate by AutoCAD/CADD CH 2008 by Autodesk, Inc. Friday, Jun 10 2022

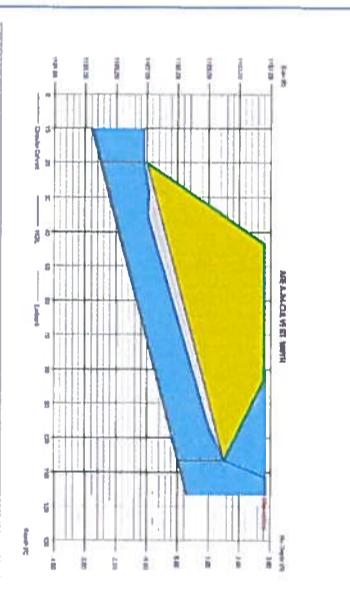
AREA-A4-CULVERT-100YR

Invert Elev Dn (ft) = 1185.50
Pipe Length (ft) = 88.79
Slope (%) = 2.69
Invert Elev Up (ft) = 1188.00
Rise (ft) = 18.0
Shape = Circular
No. Barrels = 1
n-Value = 0.012
Culvert Type = Circular Concrete
Culvert Entrance Coeff. K.M.C.V.K. = 0.0098, 2.0, 0.0398, 0.67, 0.5

Highlighted
Ordnal (cfs) = 18.27
Overtop (cfs) = 0.00
Veloc Up (ft/s) = 7.36
HGL Up (ft) = 1189.32
HW Elev (ft) = 1190.65
Flow Regime = Inlet Control

Calculations
Ordnal (cfs) = 18.27
Omax (cfs) = 18.27
Tailwater Elev (ft) = (c+d)/2

Embankment
Top Elevation (ft) = 1190.79
Top Width (ft) = 40.00
Crest Width (ft) = 100.00



Culvert Report
Hydrologic Estimate by AutoCAD/CADD CH 2008 by Autodesk, Inc. Monday, Jun 13 2022

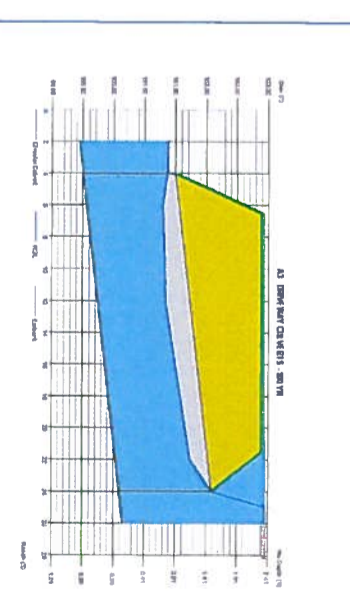
A3 - DRIVEWAY CULVERTS - 100 YR

Invert Elev Dn (ft) = 1000.00
Pipe Length (ft) = 2.88
Slope (%) = 2.88
Invert Elev Up (ft) = 1005.99
Rise (ft) = 18.0
Shape = Circular
No. Barrels = 2
n-Value = 0.012
Culvert Type = Circular Concrete
Culvert Entrance Coeff. K.M.C.V.K. = 0.0098, 2.0, 0.0398, 0.67, 0.5

Highlighted
Ordnal (cfs) = 29.08
Overtop (cfs) = 0.00
Veloc Up (ft/s) = 8.16
HGL Up (ft) = 1011.37
HW Elev (ft) = 102.86
Flow Regime = Inlet Control

Calculations
Ordnal (cfs) = 29.08
Omax (cfs) = 29.08
Tailwater Elev (ft) = (c+d)/2

Embankment
Top Elevation (ft) = 102.90
Top Width (ft) = 15.00
Crest Width (ft) = 100.00



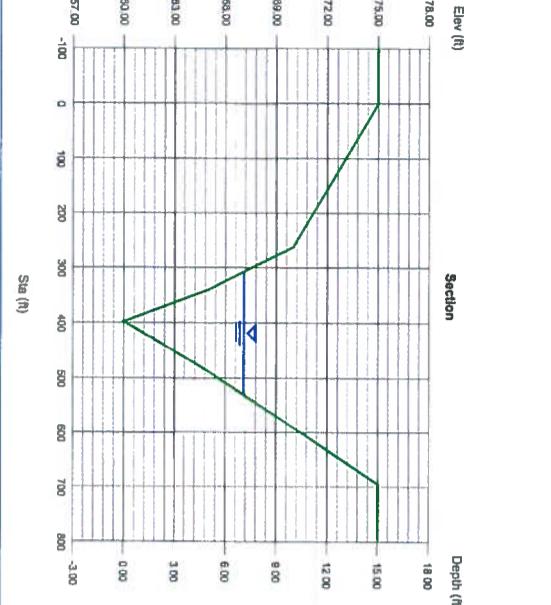
Channel Report
Hydrologic Estimate by AutoCAD/CADD CH 2008 by Autodesk, Inc. Monday, Jun 8 2022

SECTION OVER DUCTILE IRON PIPE - 100 YR PRE DEVELOPMENT

User-defined
Invert Elev (ft) = 1180.00
Slope (%) = 0.80
N-Value = 0.035

Highlighted
Depth (ft) = 7.08
Q (cfs) = 6,470
Area (sqft) = 755.03
Velocity (ft/s) = 2.57
Wetted Perim (ft) = 6.56
Culvert Depth Yc (ft) = 222.89
Known Q (cfs) = 6,470.00
EGL (ft) = 8.22

Calculations
Computed by: Known Q



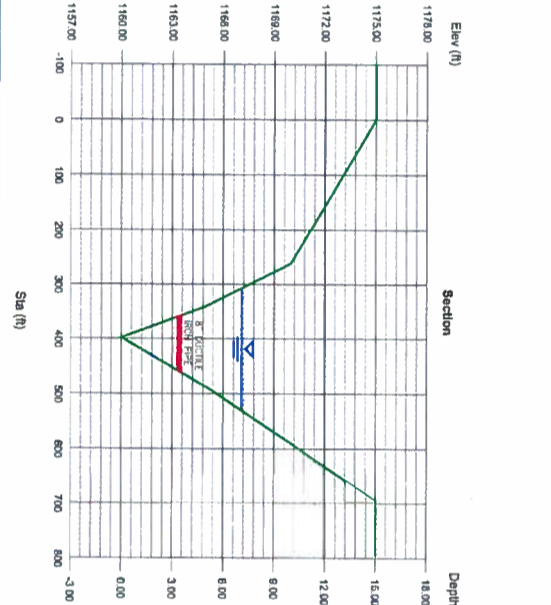
Channel Report
Hydrologic Estimate by AutoCAD/CADD CH 2008 by Autodesk, Inc. Monday, Jun 8 2022

SECTION OVER DUCTILE IRON PIPE - 100 YR POST DEVELOPMENT

User-defined
Invert Elev (ft) = 1180.00
Slope (%) = 0.80
N-Value = 0.035

Highlighted
Depth (ft) = 7.08
Q (cfs) = 6,470
Area (sqft) = 755.03
Velocity (ft/s) = 8.57
Wetted Perim (ft) = 6.23
Culvert Depth Yc (ft) = 222.89
Known Q (cfs) = 6,470.00
EGL (ft) = 8.22

Calculations
Computed by: Known Q



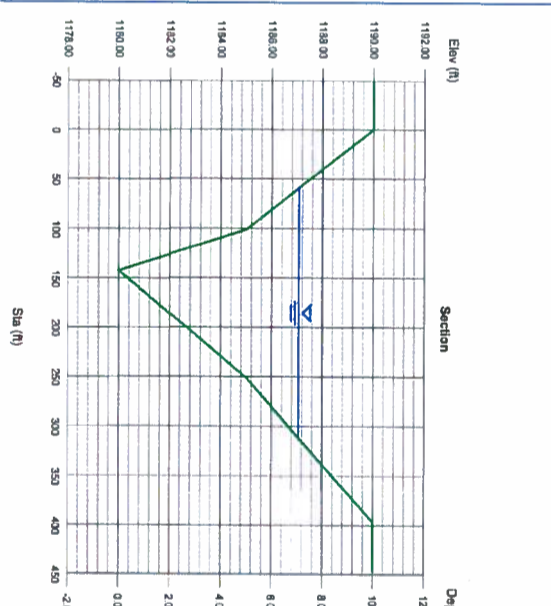
Channel Report
Hydrologic Estimate by AutoCAD/CADD CH 2008 by Autodesk, Inc. Monday, Jun 8 2022

SECTION B - PHASE 1 - 100YR

User-defined
Invert Elev (ft) = 1190.00
Slope (%) = 0.80
N-Value = 0.035

Highlighted
Depth (ft) = 7.08
Q (cfs) = 6,470
Area (sqft) = 795.54
Velocity (ft/s) = 8.13
Wetted Perim (ft) = 253.49
Culvert Depth Yc (ft) = 92.99
Known Q (cfs) = 6,470.00
EGL (ft) = 6.11

Calculations
Computed by: Known Q



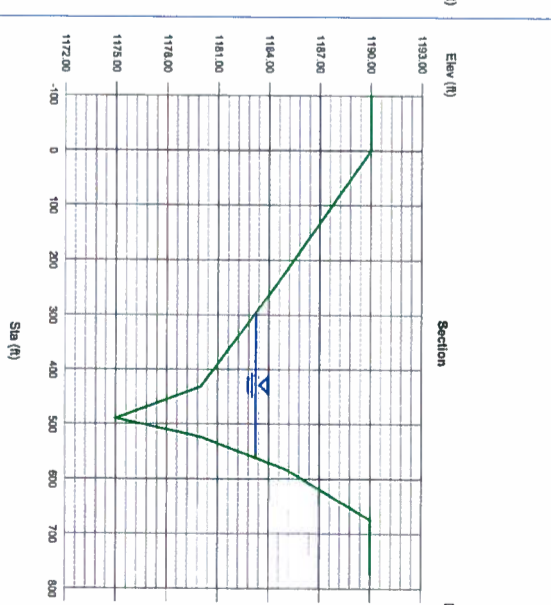
Channel Report
Hydrologic Estimate by AutoCAD/CADD CH 2008 by Autodesk, Inc. Monday, Jun 8 2022

SECTION A - PHASE 1 - 100 YR

User-defined
Invert Elev (ft) = 1175.00
Slope (%) = 0.80
N-Value = 0.035

Highlighted
Depth (ft) = 8.24
Q (cfs) = 6,470
Area (sqft) = 912.37
Velocity (ft/s) = 7.96
Wetted Perim (ft) = 697.22
Culvert Depth Yc (ft) = 7.70
Known Q (cfs) = 6,470.00
EGL (ft) = 8.23

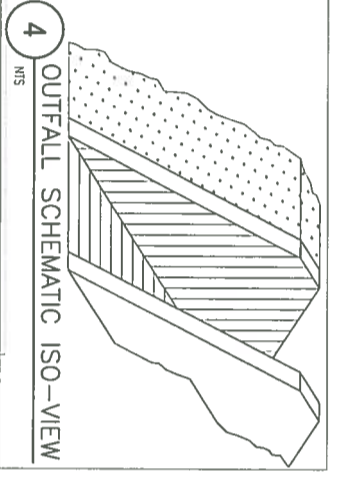
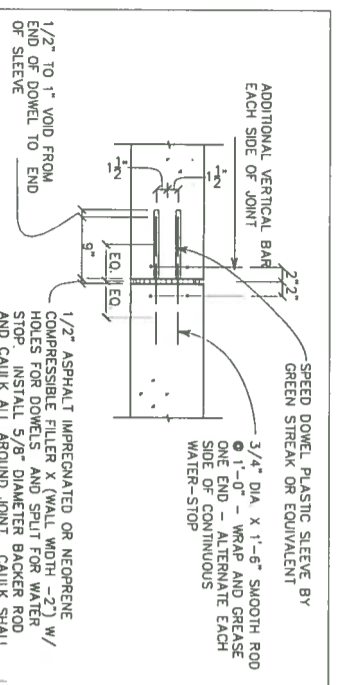
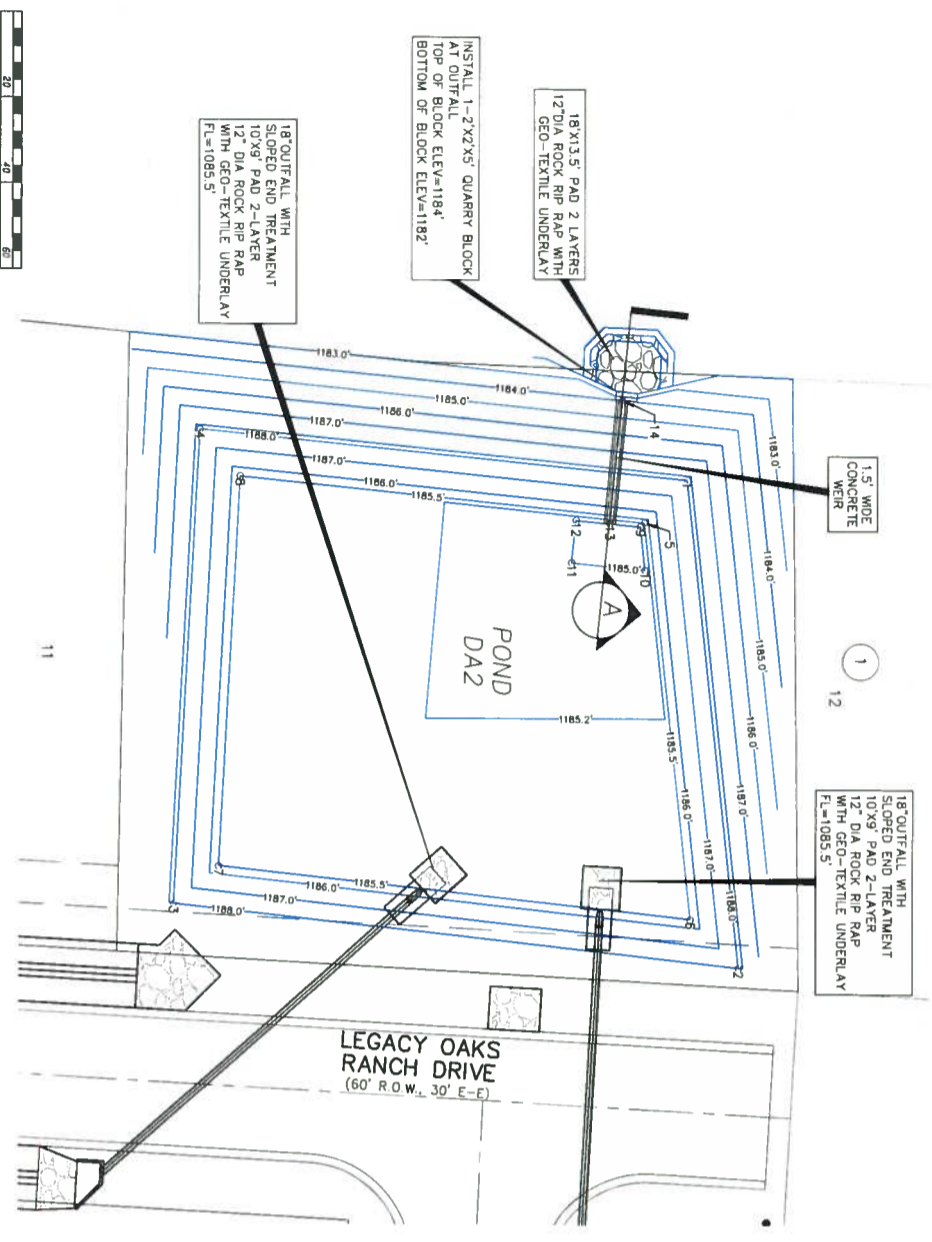
Calculations
Computed by: Known Q



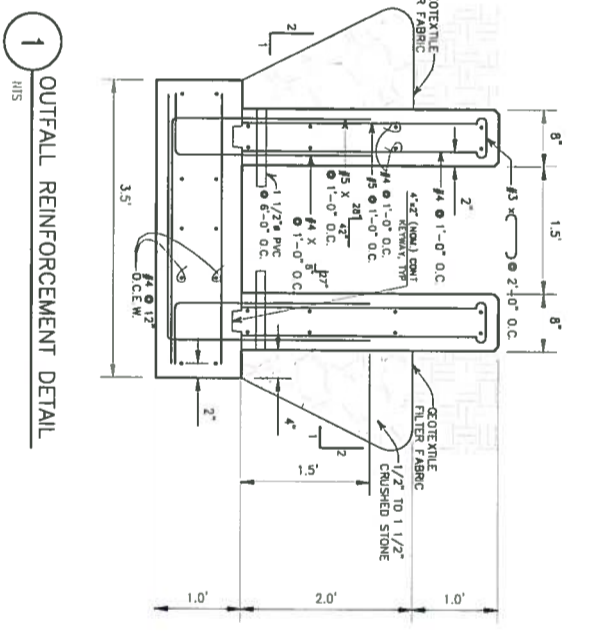
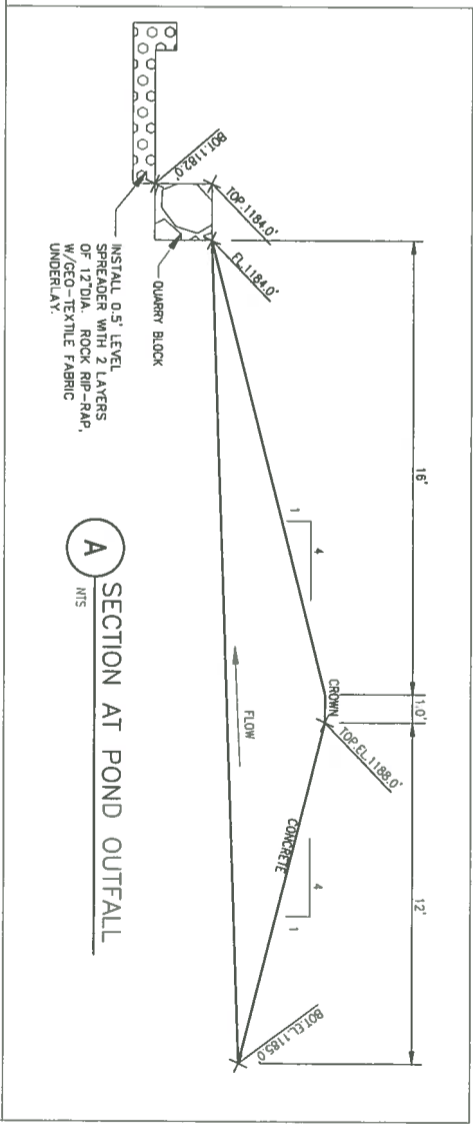
*Q(100YR)=6,470 CFS VALUE WAS TAKEN FROM PAGE 6 OF THE FEMA FIS REPORT FOR BLANCO COUNTY DATED FEBRUARY 5, 1991.

*Q(100YR)=6,470 CFS VALUE WAS TAKEN FROM PAGE 6 OF THE FEMA FIS REPORT FOR BLANCO COUNTY DATED FEBRUARY 6, 1991.

NOTE: THE ENGINEER OF RECORD MUST BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES IN THE PLANS EXIST



Point #	Flow Description	Elevation	Numbering	Ending
1	TOP	1184.000	10007001.1348	2900433.3343
2	TOP	1184.000	10007021.3939	2900437.8971
3	TOP	1184.000	10006893.3984	2900433.9986
4	TOP	1184.000	10006893.2938	2900434.18481
5	BOTTOM	1183.250	10006893.1469	2900433.4300
6	BOTTOM	1183.250	10007010.1248	2900434.4897
7	BOTTOM	1183.250	10006893.8411	2900434.1882
8	BOTTOM	1183.250	10006890.7243	2900433.8241
9	BOTTOM	1183.000	10006898.2411	2900434.3310
10	BOTTOM	1183.000	10006898.3290	2900434.4848
11	BOTTOM	1183.000	10006894.1549	2900437.2529
12	BOTTOM	1183.000	10006894.1074	2900432.8218
13	WEIR UP	1184.000	10006897.0340	2900433.8199
14	WEIR DOWN	1183.000	10006893.9508	2900434.7390

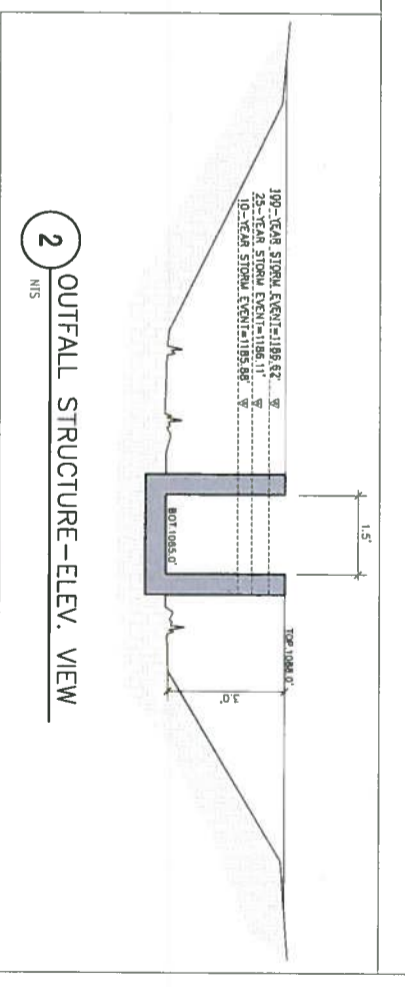


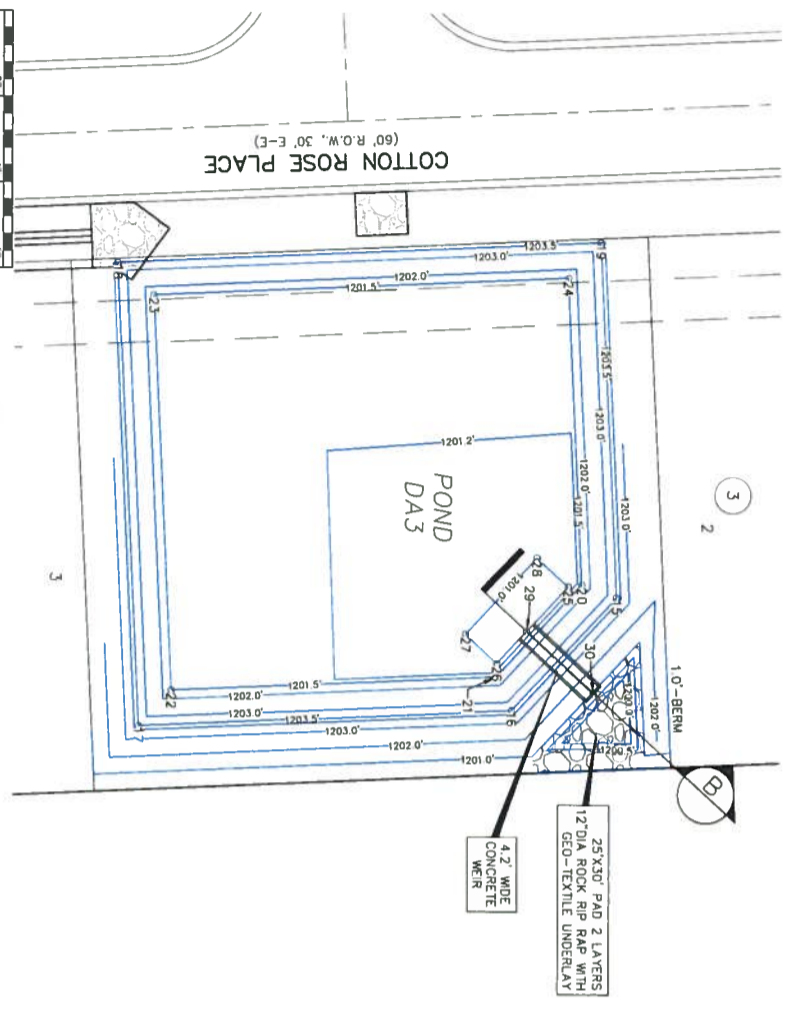
CAST IN PLACE CONCRETE NOTES:-

- 1) CONCRETE SHALL CURE A MINIMUM OF 10 DAYS IMMEDIATELY REMOVE CURING COMPOUND RESIDUE AND INSTALL SEALER PER MFR RECOMMENDATIONS
- 2) CONCRETE SHALL NOT BE CAST AGAINST SAND
- 3) PLACE AN EXPANSION JOINT EVERY 22'
- 4) CONCRETE COMPRESSIVE STRENGTH TO BE 3500 PSI

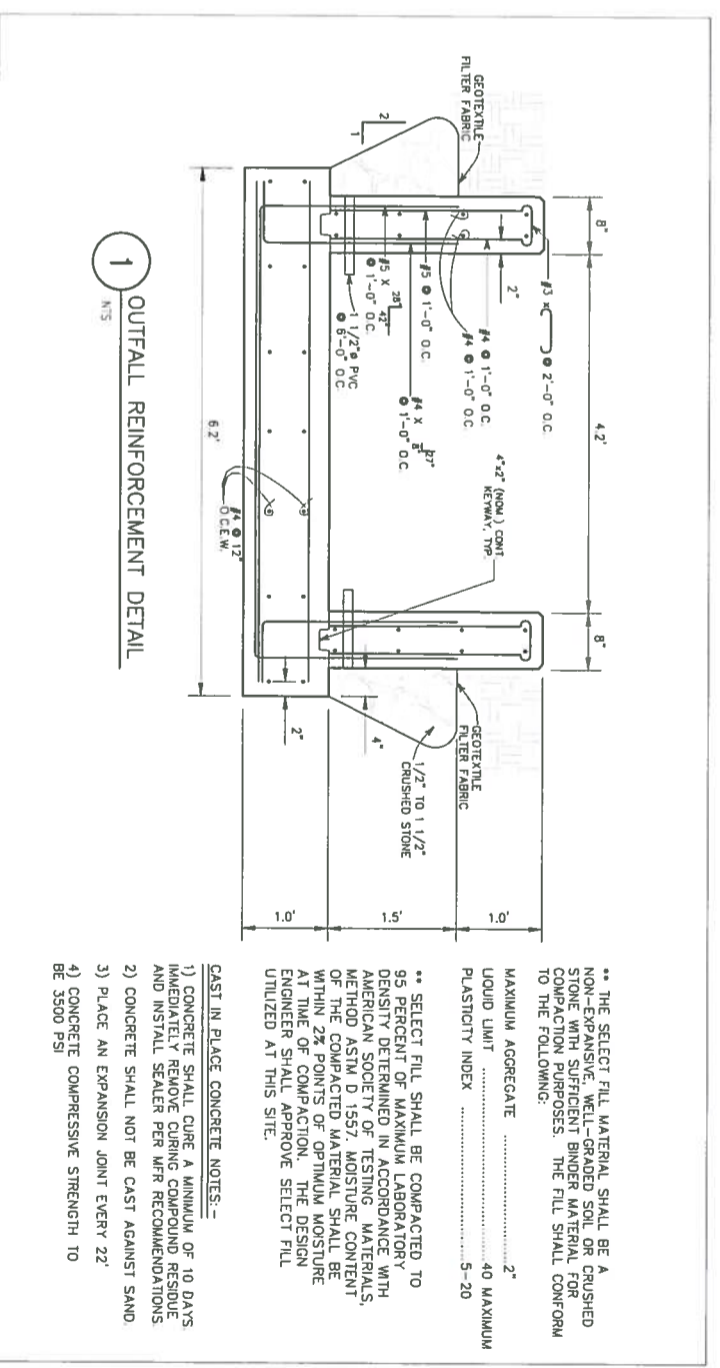
MAXIMUM AGGREGATE 2"
 LIQUID LIMIT 40 MAXIMUM
 PLASTICITY INDEX 5-20

** SELECT FILL MATERIAL SHALL BE A NON-EXPANSIVE WELL-GRADED SOIL OR CRUSHED STONE WITH SUFFICIENT BINDER MATERIAL FOR COMPACTION PURPOSES. THE FILL SHALL CONFORM TO THE FOLLOWING:
 MAXIMUM AGGREGATE 2"
 LIQUID LIMIT 40 MAXIMUM
 PLASTICITY INDEX 5-20





NOTE: THE ENGINEER OF RECORD MUST BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES IN THE PLANS EXIST

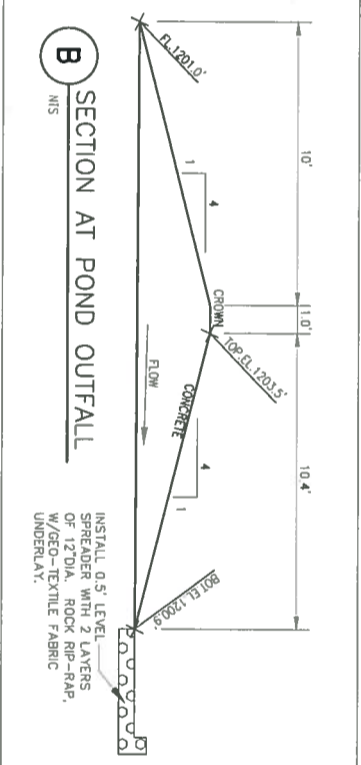
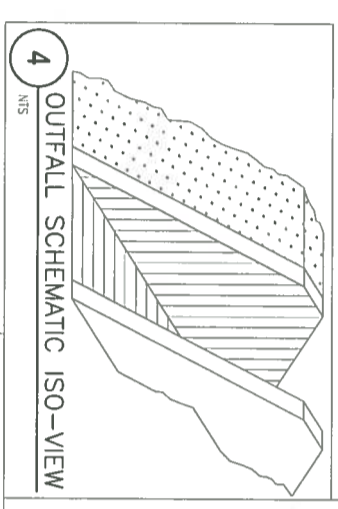


** THE SELECT FILL MATERIAL SHALL BE A NON-EXPANSIVE, WELL-GRADED SOIL OR CRUSHED STONE WITH SUFFICIENT BINDER MATERIAL FOR COMPACTION PURPOSES. THE FILL SHALL CONFORM TO THE FOLLOWING:

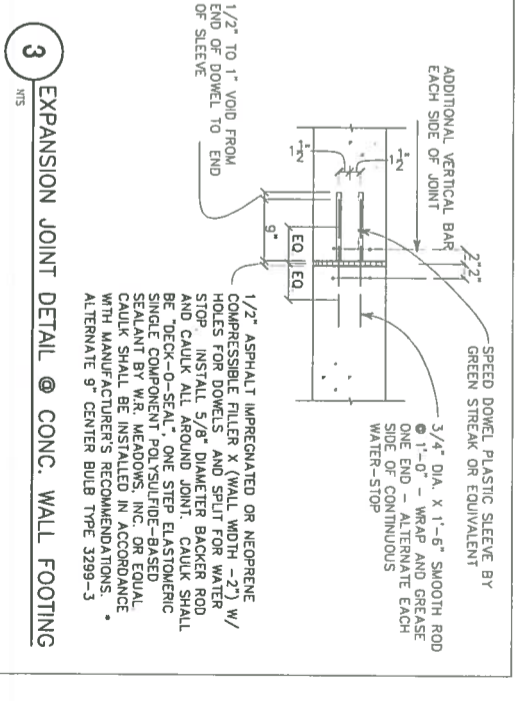
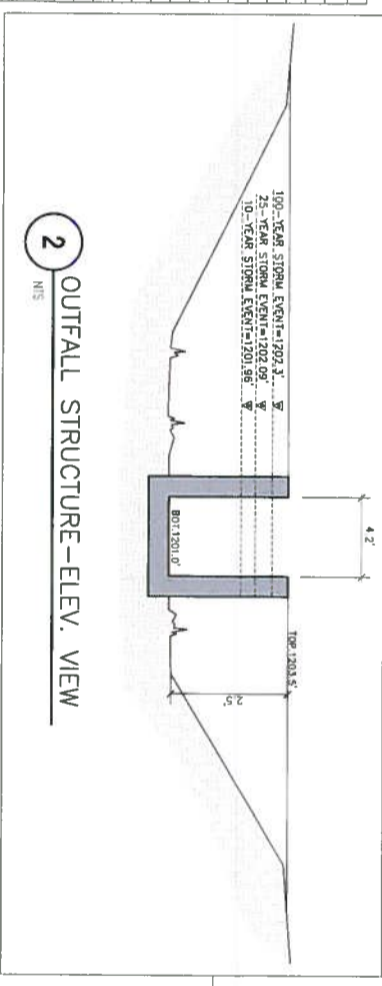
MAXIMUM AGGREGATE 2"
 LIQUID LIMIT 40 MAXIMUM
 PLASTICITY INDEX 5-20

** SELECT FILL SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM LABORATORY DENSITY DETERMINED IN ACCORDANCE WITH AMERICAN SOCIETY OF TESTING MATERIALS METHOD ASTM D 1557. MOISTURE CONTENT OF THE COMPACTED MATERIAL SHALL BE WITHIN 2% POINTS OF OPTIMUM MOISTURE AT TIME OF COMPACTION. THE DESIGN ENGINEER SHALL APPROVE SELECT FILL UTILIZED AT THIS SITE.

CAST IN PLACE CONCRETE NOTES:-
 1) CONCRETE SHALL CURE A MINIMUM OF 10 DAYS IMMEDIATELY REMOVE CURING COMPOUND RESIDUE AND INSTALL SEALER PER MFR RECOMMENDATIONS.
 2) CONCRETE SHALL NOT BE CAST AGAINST SAND.
 3) PLACE AN EXPANSION JOINT EVERY 22'
 4) CONCRETE COMPRESSIVE STRENGTH TO BE 3500 PSI



INSTALL 0.5' LEVEL SPREADER WITH 2 LAYERS OF 12" DIA. ROCK RIP-RAP, W/GEO-TEXTILE FABRIC UNDERLAY.



1/2" ASPHALT IMPREGNATED OR NEOPRENE COMPRESSIBLE FILLER X (WALL WIDTH - 2") W/ HOLES FOR DOWELS. AND SPLIT FOR WATER STOP. INSTALL 5/8" DIAMETER BACKER ROD AND CAULK ALL AROUND JOINT. CAULK SHALL BE "DECK-O-SEAL", ONE STEP ELASTOMERIC SEALING COMPOUND. FOLLOWS THE MANUFACTURER'S RECOMMENDATIONS. SEALANT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ALTERNATE 9" CENTER BULB TYPE 3299-3.

ADDITIONAL VERTICAL BAR EACH SIDE OF JOINT
 1/2" TO 1" VOID FROM END OF DOWEL TO END OF SLEEVE

3/4" DIA. X 1'-6" SMOOTH ROD
 1"-0" WRAP AND GREASE ONE END - ALTERNATE EACH SIDE OF CONTINUOUS WATER-STOP

SPEED DOWEL PLASTIC SLEEVE BY GREEN STREAK OR EQUIVALENT

Point #	Rise Description	Elevation	Height	Ending
15	TOP	1203.500	1006899.5374	2009884.4026
16	TOP	1203.500	1006893.0437	2009881.8816
17	TOP	1203.500	1006841.8029	2009887.8384
18	TOP	1203.500	1006841.8029	2009887.8384
19	TOP	1203.500	1006853.6770	2009884.2003
20	BOTTOM	1201.500	1006893.1166	2009882.4295
21	BOTTOM	1201.500	1006893.1166	2009882.4295
22	BOTTOM	1201.500	1006855.4793	2009884.2481
23	BOTTOM	1201.500	1006851.1872	2009884.4481
24	BOTTOM	1201.500	1006842.0425	2009884.8072
25	BOTTOM	1201.500	1006842.0425	2009884.8072
26	BOTTOM	1201.000	1006831.6143	2009880.8065
27	BOTTOM	1201.000	1006824.2706	2009874.4275
28	BOTTOM	1201.000	1006840.9195	2009884.1072

Point #	Rise Description	Direction	Height	Ending
29	WCR UP	1201.000	1006843.5529	2009871.3652
30	WCR DOWN	1200.000	1006854.2628	2009887.9041

06/10/22
 SCALE: NTS
 DRAWN: AM
 ELEC. DRAWING FILE
 C:\21037-DR.DWG
 DATE: 06/10/22
 JOB NO.: 21037
 12 OF 29
 C3.09

SEAL
 BELTON COUNTY
 TEXAS
 102311

MEHUL DARBAR
 217 LOOP 281
 JOHNSON CITY TX 78636, BLANCO COUNTY

Engineering
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 INC.

106 NO. EAST STREET
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 MOBILE (254) 289-7273
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REVISIONS

FIG # F-13392

B1.3.2. STABILIZED CONSTRUCTION ENTRANCE/EXIT

THE PURPOSE OF A STABILIZED CONSTRUCTION ENTRANCE/EXIT IS TO PROVIDE A STABLE ENTRANCE/EXIT CONDITION FROM THE CONSTRUCTION SITE AND KEEP MUD AND SEDIMENT FROM VEHICLES AND EQUIPMENT FROM BEING DEPOSITED ON PUBLIC ROADS OR OTHER PAVED AREAS USED BY PRIVATE OR PUBLIC PARTIES. A LEVELIZED CONSTRUCTION ENTRANCE IS A STABILIZED PAD OF 3- TO 8-INCH STONE LOCATED AT ANY POINT TRAFFIC WILL BE ENTERING OR LEAVING THE CONSTRUCTION SITE FROM/TO A RIGHT-OF-WAY, STREET, DRIVE, ALLEY, SIDEWALK, OR PARKING AREA. THIS PAD/PAVE SHOULD BE USED AT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS (SEE FIGURES B-14 AND B-15).

EXCESSIVE AMOUNTS OF MUD PRESENT A SAFETY HAZARD TO DRIVERS. TO MINIMIZE THE AMOUNT OF SEDIMENT LOSS TO HIGHWAY ROADS, ACCESS TO THE CONSTRUCTION SHOULD BE LIMITED TO AS FEW POINTS AS POSSIBLE AND VEGETATION AROUND THE PERIMETER SHOULD BE PROTECTED WHERE ACCESS IS NOT NECESSARY. A ROCK STABILIZED CONSTRUCTION ENTRANCE SHOULD BE USED AT ALL DESIGNATED ACCESS POINTS.

MATERIALS
THE PAD AGGREGATE SHOULD CONSIST OF 3- TO 8-INCH WASHED STONE OVER A STABLE FOUNDATION (TYPICALLY, COTEXTURE REINFORCED). THE AGGREGATE SHOULD BE PLACED WITH A MINIMUM THICKNESS OF 8 INCHES. THE GEOTEXTILE FABRIC SHOULD BE DESIGNED SPECIFICALLY FOR USE AS A SOIL FILTRATION MEDIA WITH AN APPROXIMATE WEIGHT OF 4 OZ./YD².

IF A VEHICLE OR EQUIPMENT ENTRY/EXIT IS REQUIRED, A LARGE AREA WITH A MINIMUM OF 4-INCH DIAMETER WASHED STONE OR COMMERICAL PAVEMENT SHOULD BE INCLUDED IN THE PAD'S DRAINAGE WASH WATER TO A SEDIMENT TRAP OR BASIN.

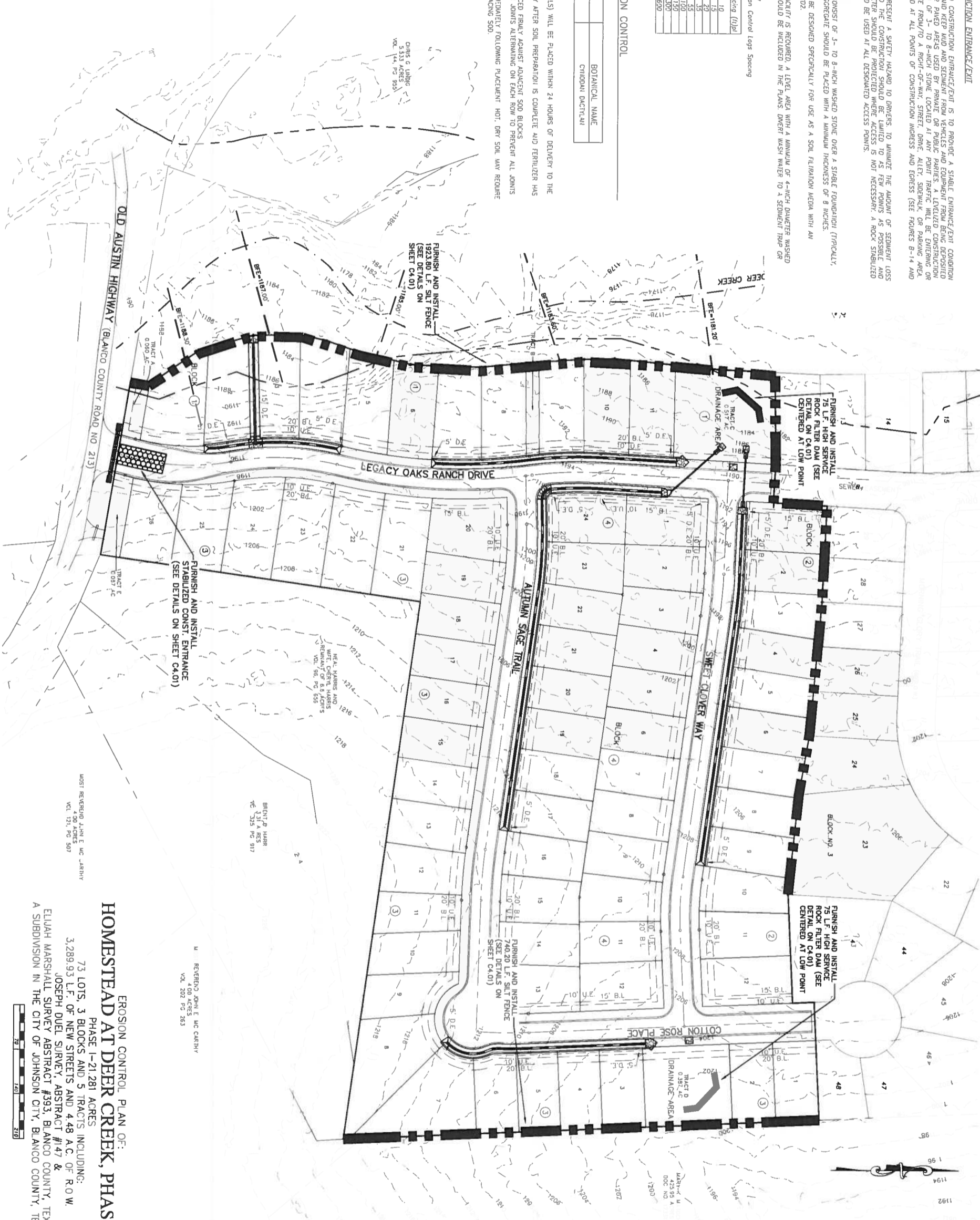
Table B-7
Rock and Bush Berm and Erosion Control Logs Spacing

Ditch Spacing (ft)	Spacing (ft)
30	10
20	15
15	20
10	25
5	30
3	40
2	50
1	100
0.50	200

SODDING FOR EROSION CONTROL
BLOCK OR ROLL SO3

COMMON NAME	BOTANICAL NAME
COMMON BERBERIS GRASS	ERIODAUN DACTYLIS

- SODDING NOTES:**
1. ALL SO3 (BLOCKS OR ROLLS) WILL BE PLACED WITHIN 24 HOURS OF DELIVERY TO THE SITE.
 2. SO3 WILL BE PLACED ONLY AFTER SOIL PREPARATION IS COMPLETE AND FERTILIZER HAS BEEN APPLIED TO BE PLACED FIRMLY AGAINST ADJACENT SO3 BLOCKS.
 3. SO3 BLOCKS WILL BE PLACED FIRMLY AGAINST ADJACENT SO3 BLOCKS.
 4. SO3 WILL BE PLACED WITH JOINTS ALTERNATING ON EACH ROW TO PREVENT ALL JOINTS FROM LINGING UP.
 5. SO3 WILL BE WATERED IMMEDIATELY FOLLOWING PLACEMENT. HOT, DRY SOIL MAY REQUIRE PRE-WATERING BEFORE PLACING SO3.



**EROSION CONTROL PLAN OF:
HOMESTEAD AT DEER CREEK, PHASE I**
PHASE I-21.281 ACRES
73 LOTS, 3 BLOCKS AND 5 TRACTS INCLUDING:
3,289.93 L.F. OF NEW STREETS AND 4.48 A.C. OF R.O.W.
JOSEPH DUEL SURVEY, ABSTRACT #147 &
ELIJAH MARSHALL SURVEY ABSTRACT #393, BLANCO COUNTY, TEXAS
A SUBDIVISION IN THE CITY OF JOHNSON CITY, BLANCO COUNTY, TEXAS

SCALE: 1"=70'
DRAWN: RR
DATE: 06/14/22
JOB NO.: 21032
13 OF 29
C4.00



EROSION CONTROL PLAN OF:
HOMESTEAD AT DEER CREEK, PHASE I
217 281 LOOP
CITY OF JOHNSON CITY, BLANCO COUNTY, TEXAS
LEGACY CAPITAL FUNDING, LLC
10008 LOXLEY LANE, AUSTIN, TEXAS, 78717

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**BELTON
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INC.**

FIRM # F-13392

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MOBILE (254)289-7273
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REVISIONS

NO.	DATE	DESCRIPTION



FIRM # F-13392

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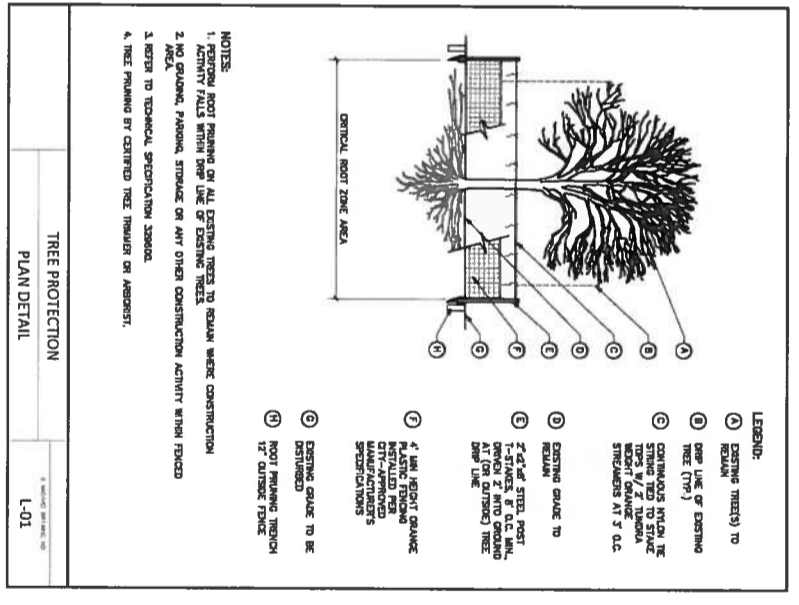
Engineering
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EROSION DETAILS FOR:
HOMESTEAD AT DEER CREEK, PHASE I
217 281 LOOP
CITY OF JOHNSON CITY, BLANCO COUNTY, TEXAS
LEGACY CAPITAL FUNDING, LLC
10008 LOXLEY LANE
AUSTIN, TEXAS 78717



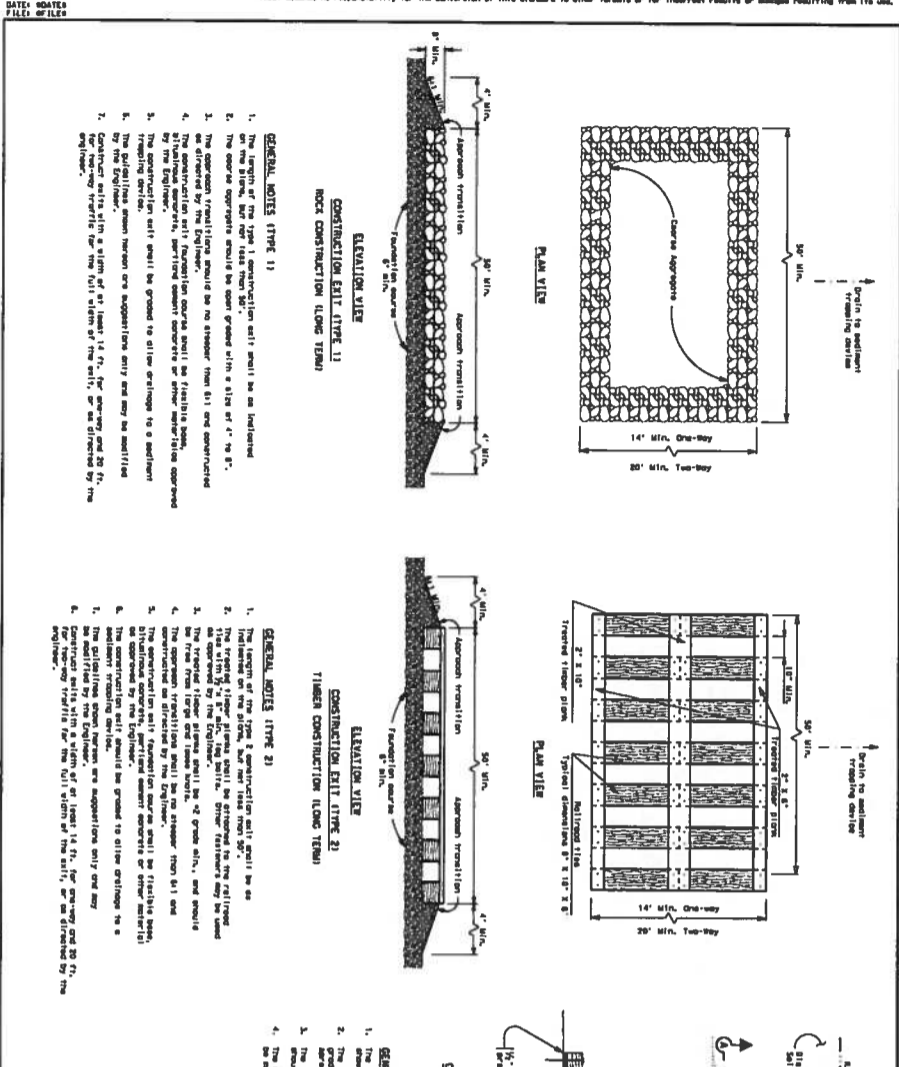
06/14/22
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DRAWN: RR
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DATE: 06/14/22
JOB NO.: 21032
14 OF 29
C4.01

EROSION DETAILS FOR:
HOMESTEAD AT DEER
CREEK, PHASE I
217281 LOOP
IN THE CITY OF JOHNSON CITY, BLANCO COUNTY, TX

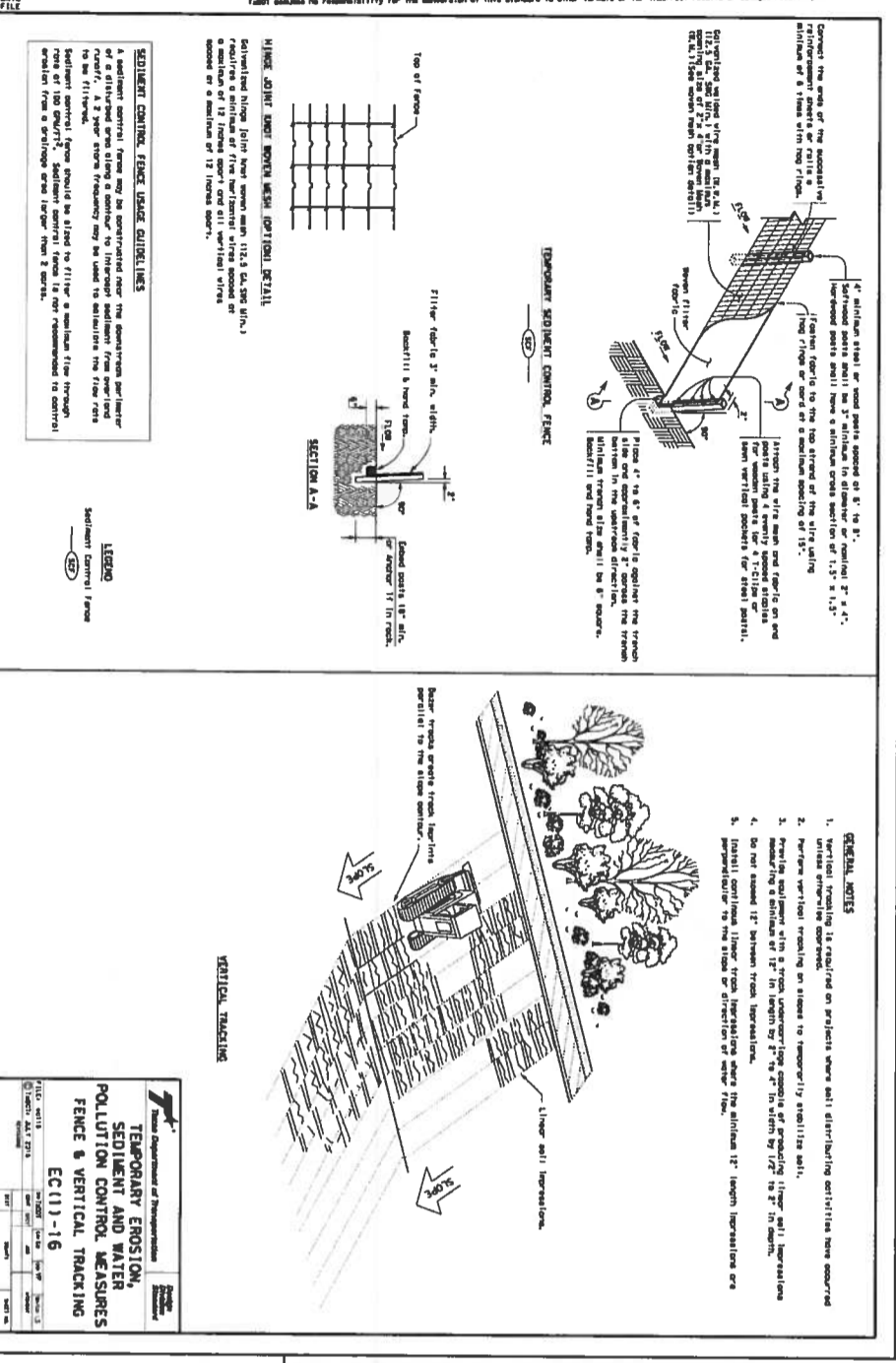


TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES CONSTRUCTION EXITS EC(3)-16

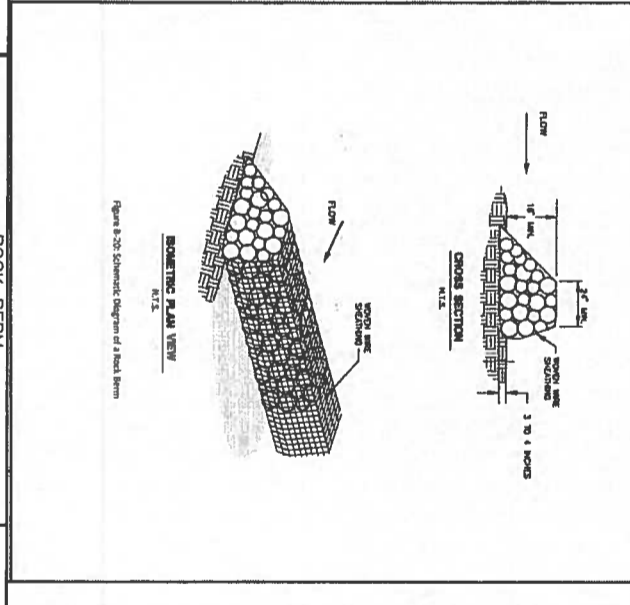
DATE	06/14/22
FILE	EC(3)-16
SCALE	N.T.S.
PROJECT	HOMESTEAD AT DEER CREEK, PHASE I
CLIENT	LEGACY CAPITAL FUNDING, LLC
DESIGNER	LINA CHEN
CHECKER	RR
DATE	06/14/22



DATE: 06/14/22
FILE: EC(3)-16



DATE: 06/14/22
FILE: EC(3)-16

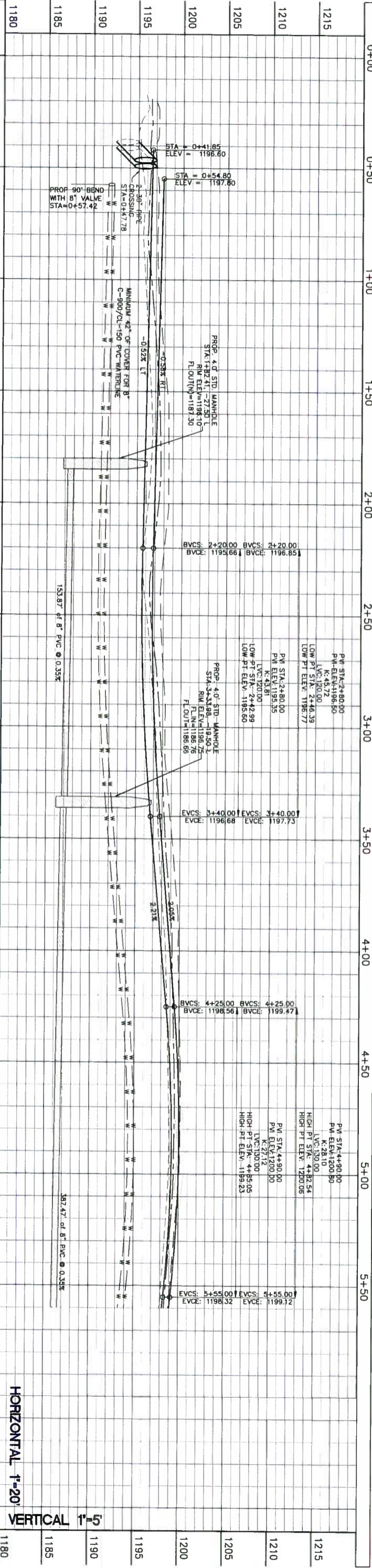
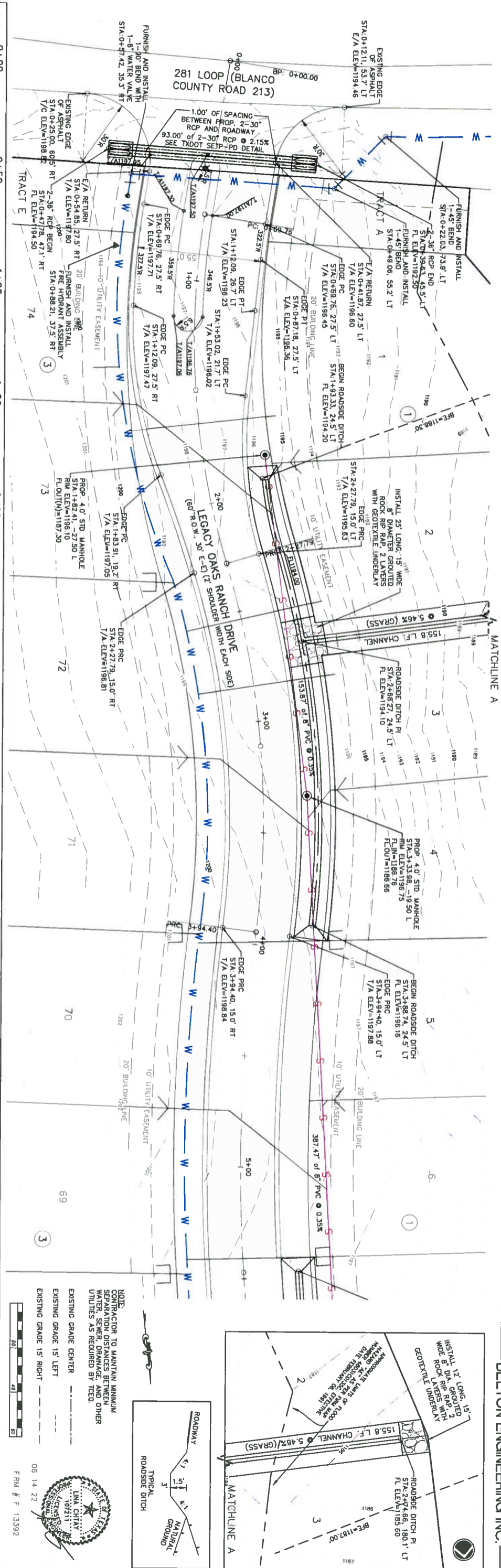


ROCK BERM DETAIL

TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES FENCE & VERTICAL TRACKING EC(1)-16

DATE	06/14/22
FILE	EC(1)-16
SCALE	N.T.S.
PROJECT	HOMESTEAD AT DEER CREEK, PHASE I
CLIENT	LEGACY CAPITAL FUNDING, LLC
DESIGNER	LINA CHEN
CHECKER	RR
DATE	06/14/22

DATE: 06/14/22
FILE: EC(1)-16



HORIZONTAL 1"=20'
VERTICAL 1"=5'

STATION	ELEVATION	TYPE
0+00	1196.40	N/G
0+50	1196.56	N/G
1+00	1196.29	F/G LEFT
1+50	1196.03	F/G RIGHT
2+00	1195.77	F/G RIGHT
2+50	1195.61	F/G RIGHT
3+00	1195.98	F/G LEFT
3+50	1196.90	F/G LEFT
4+00	1199.19	F/G LEFT
4+50	1199.00	F/G RIGHT
5+00	1199.18	F/G LEFT
5+50	1199.25	F/G RIGHT

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BELTONENGINEERING@GMAIL.COM
WWW.BELTONENGINEERING.COM

DESIGNED FOR:
LEGACY CAPITAL FUNDING, LLC
10008 LOXLEY LANE
AUSTIN, TEXAS 78717

CONSTRUCTION PLAN OF:
LEGACY OAKS RANCH DRIVE
STA. 0+00.00 THRU STA. 5+50.00

PROJECT:
HOMESTEAD AT DEER CREEK, PHASE I
JOHNSON CITY, BLANCO COUNTY, TEXAS

SCALE: 1"=20'
DRAWN: RR
ELEC. DRAWING FILE

DATE: 06/14/22
JOB NO.: 21032
15 OF 29

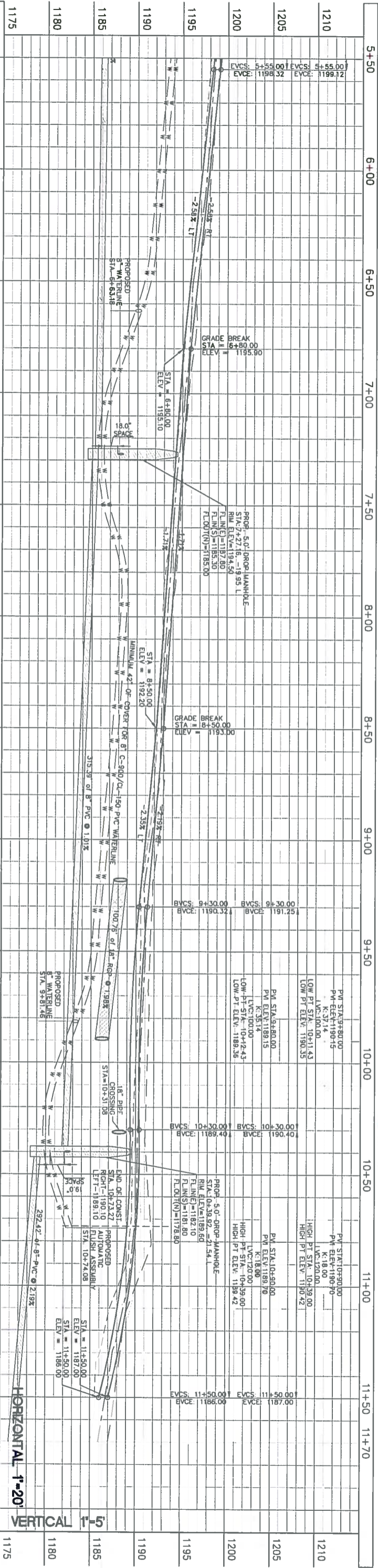
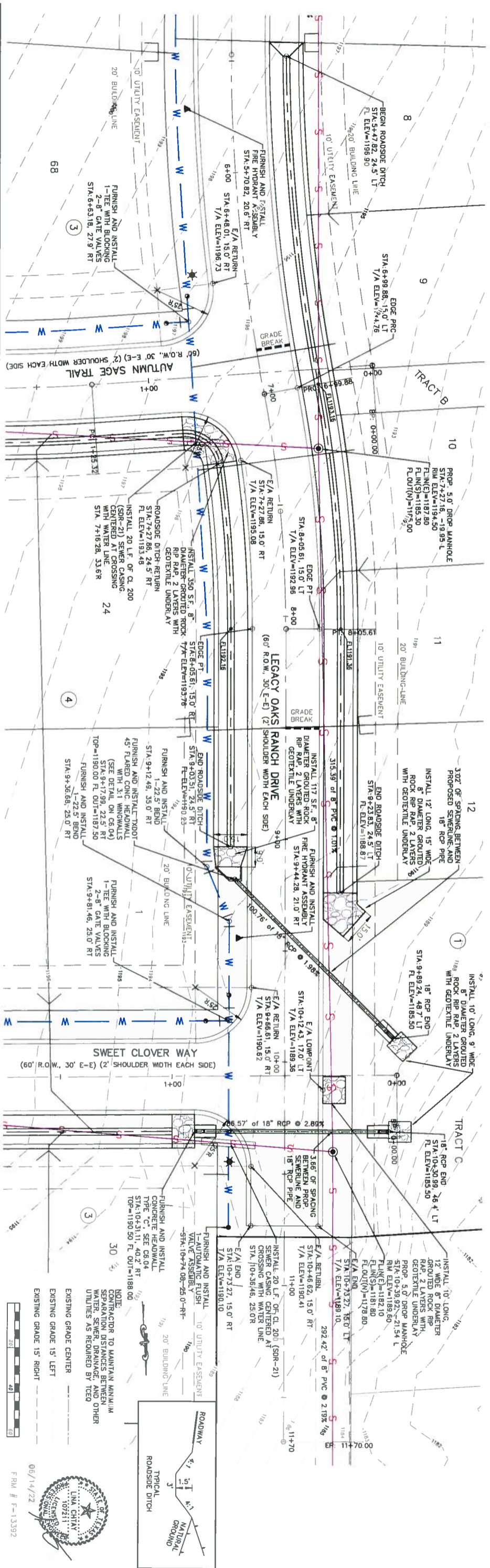
C5.00

NOTE:
CONTRACTOR TO MAINTAIN MINIMUM 15' CLEARANCE BETWEEN OTHER UTILITIES AS REQUIRED BY TCD.

EXISTING GRADE CENTER
EXISTING GRADE 15' LEFT
EXISTING GRADE 15' RIGHT

06/14/22
FRW # F 13382

UNL CHITAY
REGISTERED PROFESSIONAL ENGINEER
NO. 107311
STATE OF TEXAS

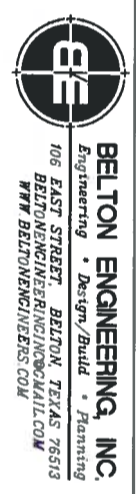


HORIZONTAL 1"=20'
VERTICAL 1"=5'

STATION	ELEVATION	REVISIONS
5+50	198.60	N/G
5+50	198.45	F/G LEFT
5+50	199.25	F/G RIGHT
6+00	197.69	N/G
6+00	197.16	F/G LEFT
6+00	197.96	F/G RIGHT
6+50	196.15	N/G
6+50	195.87	F/G LEFT
6+50	196.67	F/G RIGHT
7+00	195.27	N/G
7+00	194.76	F/G LEFT
7+00	195.56	F/G RIGHT
7+50	194.18	N/G
7+50	193.91	F/G LEFT
7+50	194.71	F/G RIGHT
8+00	193.38	N/G
8+00	193.05	F/G LEFT
8+00	193.85	F/G RIGHT
8+50	192.73	N/G
8+50	192.20	F/G LEFT
8+50	193.00	F/G RIGHT
9+00	191.65	N/G
9+00	191.03	F/G LEFT
9+00	191.90	F/G RIGHT
9+50	189.91	N/G
9+50	189.66	F/G LEFT
9+50	190.46	F/G RIGHT
10+00	190.49	N/G
10+00	189.38	F/G LEFT
10+00	190.37	F/G RIGHT
10+50	189.39	N/G
10+50	189.39	F/G LEFT
10+50	190.39	F/G RIGHT
11+00	188.19	N/G
11+00	188.39	F/G LEFT
11+00	189.39	F/G RIGHT
11+50	186.69	N/G
11+50	186.00	F/G LEFT
11+50	187.00	F/G RIGHT
11+70	185.88	N/G

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DESIGNED FOR:
LEGACY CAPITAL FUNDING, LLC
10008 LOXLEY LANE
AUSTIN, TEXAS 78717

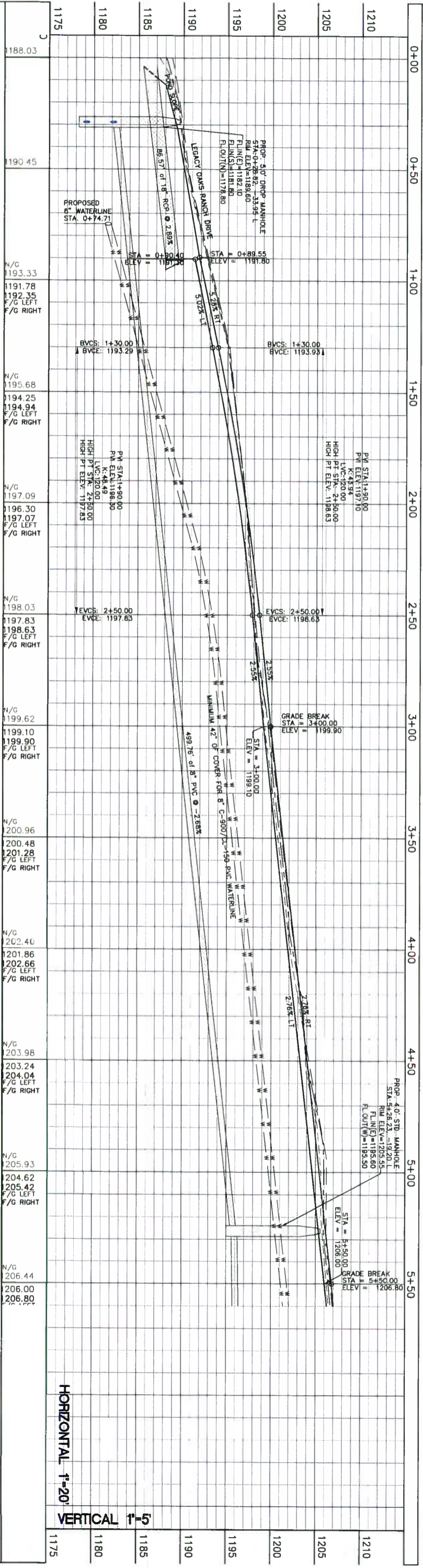
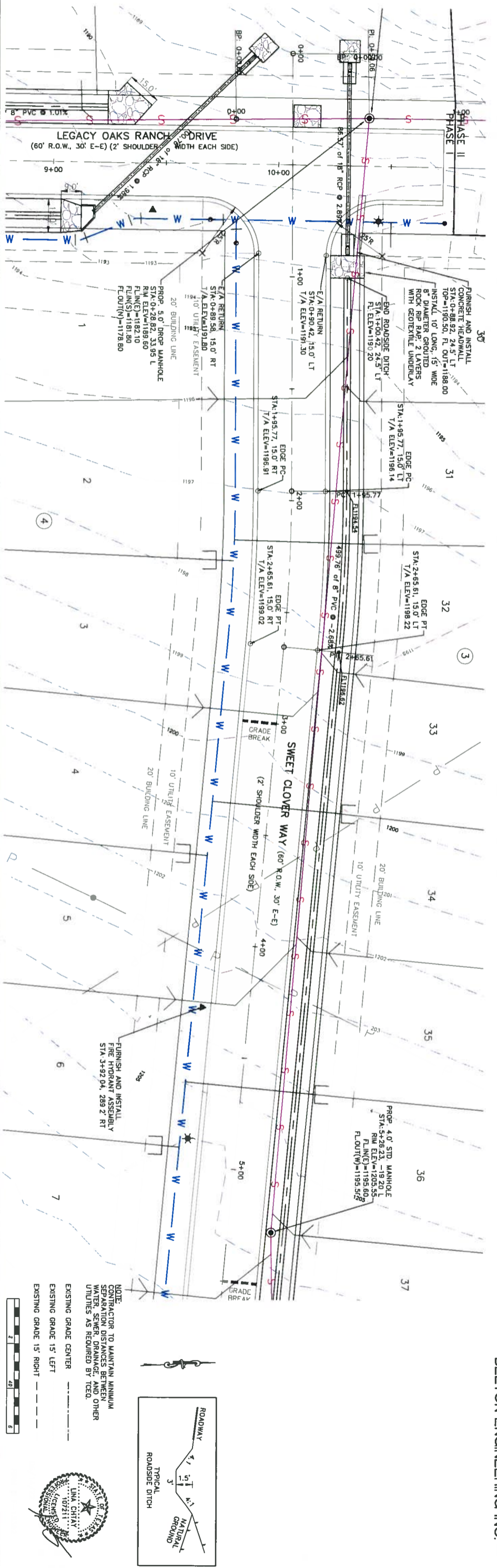
CONSTRUCTION PLAN OF:
LEGACY OAKS RANCH DRIVE
STA. 5+50.00 THRU STA. 11+70.00

PROJECT:
HOMESTEAD AT DEER CREEK, PHASE I
JOHNSON CITY, BLANCO COUNTY, TEXAS

DATE: 06/14/22
JOB NO.: 21032
16 OF 29
C5.01

06/14/22
FRM # F-13392





HORIZONTAL 1"=20'

VERTICAL 1"=5'

STATION	ELEVATION	REVISIONS
0+00	1188.03	
0+50	1190.45	
1+00	1193.33	
1+50	1195.68	
2+00	1197.09	
2+50	1198.63	
3+00	1199.62	
3+50	1200.96	
4+00	1202.40	
4+50	1203.98	
5+00	1206.44	

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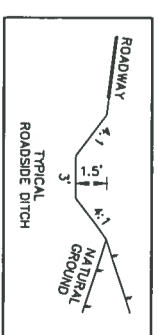
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 10008 LOXLEY LANE
 AUSTIN, TEXAS 78717

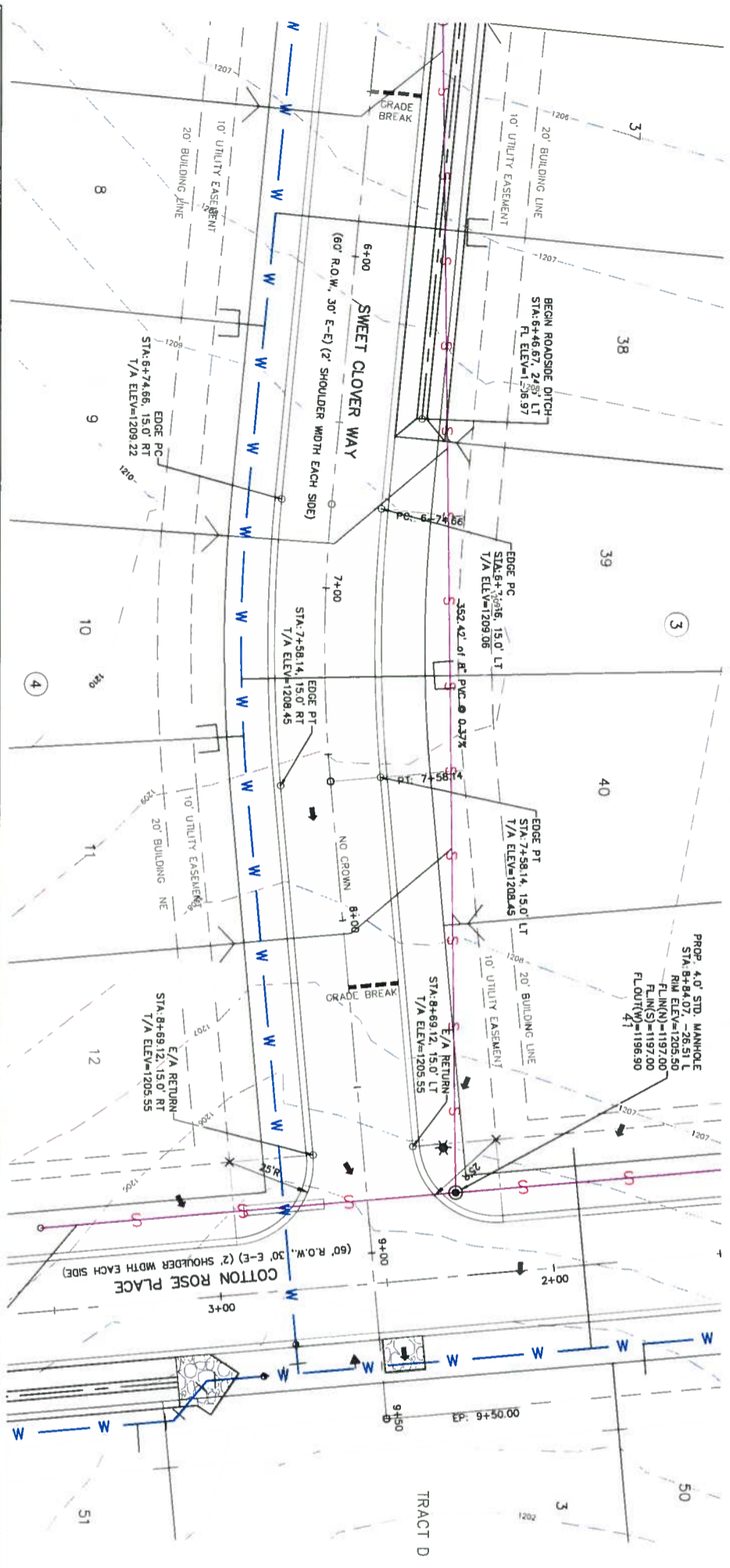
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 DRAWN: RR
 ELEC DRAWING FILE

CONSTRUCTION PLAN OF:
SWEET CLOVER WAY
 STA. 0+00.00 THRU STA. 5+50.00
 PROJECT:
 HOMESTEAD AT DEER CREEK, PHASE I
 JOHNSON CITY, BLANCO COUNTY, TEXAS

DATE: 06/14/22
 JOB NO.: 21032
 17 OF 29
C5.02



NOTE:
 CONTRACTOR TO MAINTAIN MINIMUM SEPARATION DISTANCES BETWEEN WATER, SEWER, DRAINAGE AND OTHER UTILITIES AS REQUIRED BY TCEQ.
 EXISTING GRADE CENTER
 EXISTING GRADE 15' LEFT
 EXISTING GRADE 15' RIGHT



NOTE:
 CONTRACTOR TO MAINTAIN MINIMUM
 SEPARATION DISTANCES BETWEEN
 WATER, SEWER, DRAINAGE AND OTHER
 UTILITIES AS REQUIRED BY TCEQ.

EXISTING GRADE CENTER

 EXISTING GRADE 15' LEFT
 - - -
 EXISTING GRADE 15' RIGHT
 - - -

05/14/22
 FRM # F 13392

Station	Vertical Curve Data	Proposed Manhole Data
5+50	Grade Break STA 5+50.00 ELEV 1206.80	
6+00	BVCS: 6+40.00 BVCE: 1208.72	
7+00	PVI STA: 7+00.00 PVI ELEV: 1207.00 LVC: 120.00 K: 2.50 HIGH PT STA: 6+83.33 HIGH PT ELEV: 1209.28	
7+50	EVCS: 7+60.00 EVCE: 1208.40	
8+00	Grade Break STA 8+20.00 ELEV 1206.80	
8+50	STA 8+59.15 ELEV 1205.35	PROP. 4.0 STD. MANHOLE STA: 8+84.07 RIM ELEV: 1205.50 FLIN(N)=1197.00 FLIN(S)=1197.00 FLOW(W)=1196.90
9+00	Grade Break STA 8+20.00 ELEV 1206.80	
9+50		PROP. 4.0 STD. MANHOLE STA: 9+34.12

HORIZONTAL 1"=20'
 VERTICAL 1"=5'

Station	Elevation	Notes
5+50	206.44	N/G
5+50	206.80	F/G LEFT
5+50	206.80	F/G RIGHT
6+00	207.68	N/G
6+00	207.33	F/G LEFT
6+00	207.87	F/G RIGHT
6+50	208.85	N/G
6+50	208.64	F/G LEFT
6+50	208.91	F/G RIGHT
7+00	209.48	N/G
7+00	209.20	F/G LEFT
7+00	209.28	F/G RIGHT
7+50	209.01	N/G
7+50	208.64	F/G LEFT
7+50	208.65	F/G RIGHT
8+00	207.86	N/G
8+00	207.33	F/G LEFT
8+00	207.33	F/G RIGHT
8+50	206.43	N/G
8+50	206.04	F/G LEFT
8+50	206.04	F/G RIGHT
9+00	204.75	N/G
9+00	204.75	F/G LEFT
9+00	204.75	F/G RIGHT
9+50	203.26	N/G
9+50	203.26	F/G LEFT
9+50	203.26	F/G RIGHT

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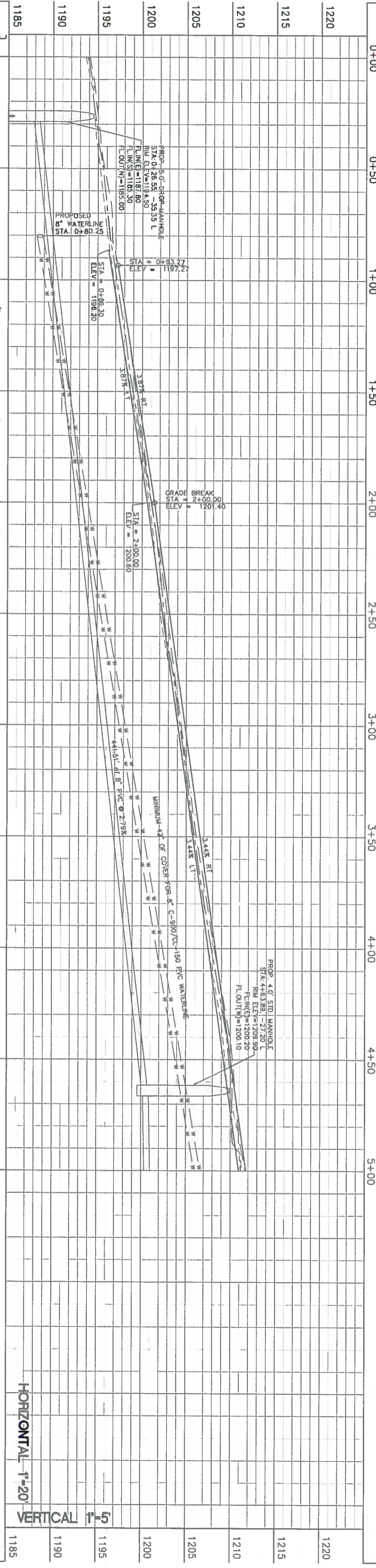
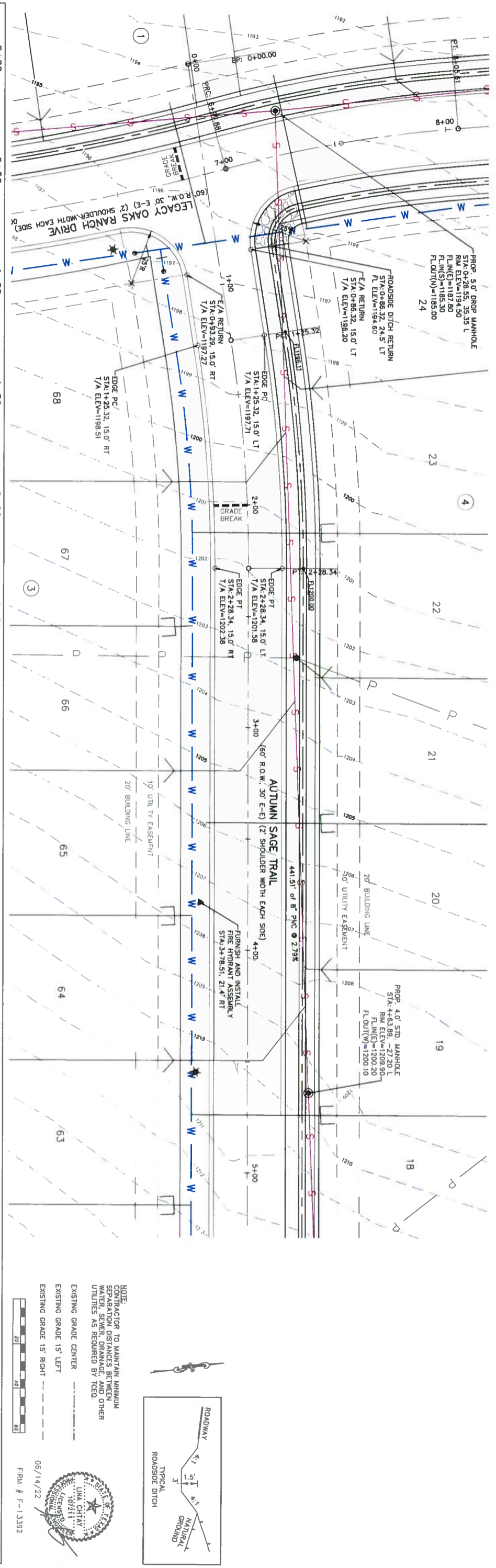
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 Engineering • Design/Build • Planning
 106 EAST STREET, BELTON, TEXAS 76513
 BELTONENGINEERINGINC@GMAIL.COM
 WWW.BELTONENGINEERINGINC.COM

DESIGNED FOR:
 LEGACY CAPITAL
 FUNDING, LLC
 10008 LOXLEY LANE
 AUSTIN, TEXAS 78717

CONSTRUCTION PLAN OF:
 SWEET CLOVER WAY
 STA. 5+50.00 THRU STA. 9+50.00

PROJECT:
 HOMESTEAD AT DEER CREEK, PHASE I
 JOHNSON CITY, BLANCO COUNTY, TEXAS

DATE: 06/14/22
 JOB NO.: 21032
 18 OF 29
 C5.03



STATION	ELEVATION	REMARKS
0+00	1193.86	N/G
0+50	1195.58	N/G
1+00	1197.13	N/G
1+50	1198.67	N/G
2+00	1201.02	N/G
2+50	1202.50	N/G
3+00	1204.29	N/G
3+50	1205.92	N/G
4+00	1207.87	N/G
4+50	1209.82	N/G
5+00	1211.73	N/G

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DESIGNED FOR: LEGACY CAPITAL FUNDING, LLC
 10008 LOXLEY LANE
 AUSTIN, TEXAS 78717

SCALE: 1"=20'
 DRAWN: RR
 ELEC DRAWING FILE

CONSTRUCTION PLAN OF: AUTUMN SAGE TRAIL
 STA. 0+00.00 THRU STA. 5+00.00
 PROJECT: HOMESTEAD AT DEER CREEK, PHASE I
 JOHNSON C.TY., BLANCO COUNTY, TEXAS

DATE: 06/14/22
 JOB NO.: 21032
 19 OF 29
C5.04

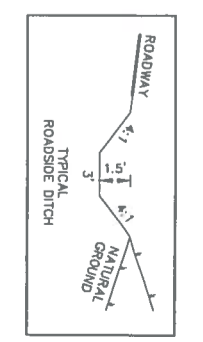
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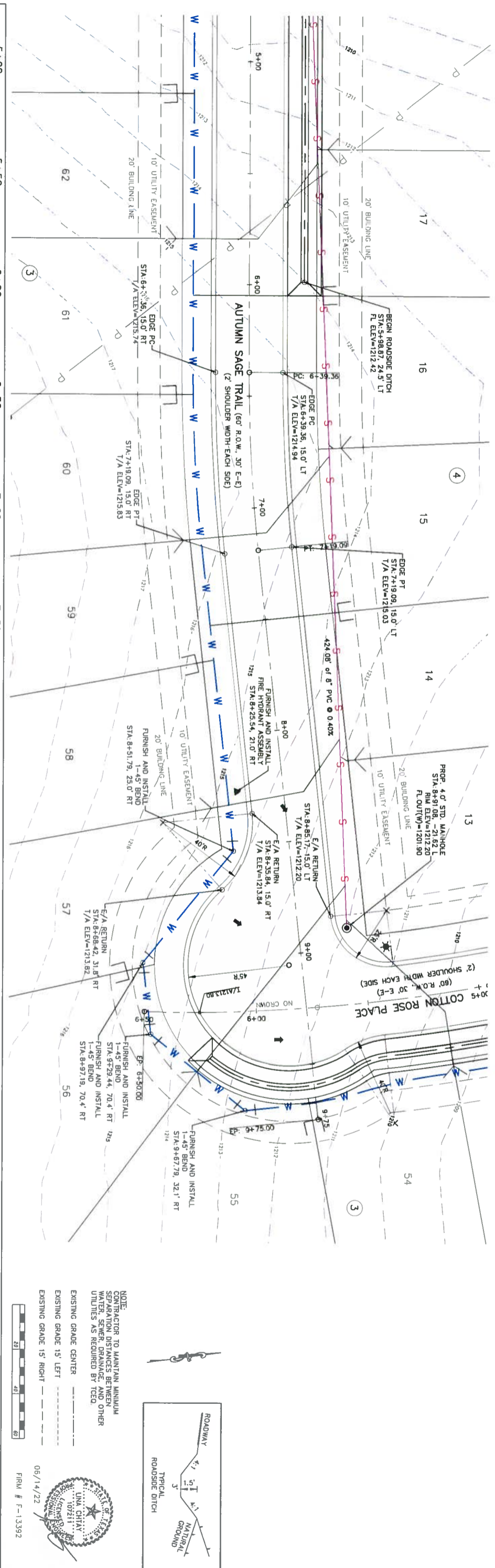
NOTE:
 CONTRACTOR TO MAINTAIN MINIMUM SEPARATION DISTANCES BETWEEN WATER, SEWER, DRAINAGE, AND OTHER UTILITIES AS REQUIRED BY TCEQ.

EXISTING GRADE CENTER

 EXISTING GRADE 15' LEFT
 - - -
 EXISTING GRADE 15' RIGHT
 - - -

06/14/22
 FRM # F-13392





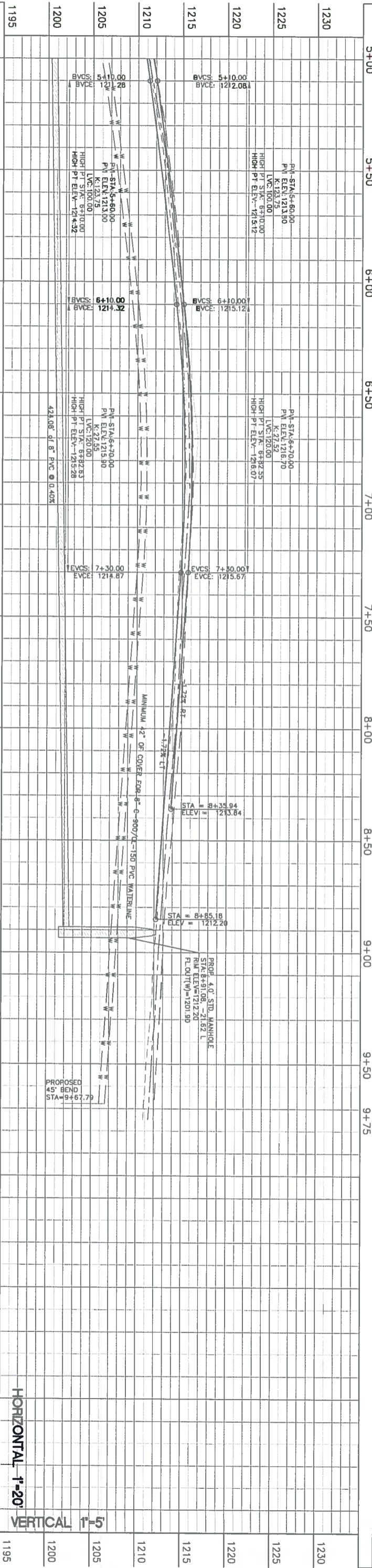
NOTE:
 SEPARATION DISTANCES BETWEEN
 WATER, SEWER, DRAINAGE, AND OTHER
 UTILITIES AS REQUIRED BY TCEQ.

EXISTING GRADE CENTER

 EXISTING GRADE 15' LEFT

 EXISTING GRADE 15' RIGHT

06/14/22
 FIRM # F-13392



HORIZONTAL 1"=20'
 VERTICAL 1"=5'

STATION	ELEVATION	REVISIONS
5+00	1211.16	N/G
5+00	1210.93	F/G LEFT
5+00	1211.73	F/G RIGHT
5+50	1213.25	N/G
5+50	1212.59	F/G LEFT
5+50	1213.39	F/G RIGHT
6+00	1214.61	N/G
6+00	1214.05	F/G LEFT
6+00	1214.85	F/G RIGHT
6+50	1215.67	N/G
6+50	1215.08	F/G LEFT
6+50	1215.88	F/G RIGHT
7+00	1215.73	N/G
7+00	1215.22	F/G LEFT
7+00	1216.02	F/G RIGHT
7+50	1214.97	N/G
7+50	1214.52	F/G LEFT
7+50	1215.32	F/G RIGHT
8+00	1214.36	N/G
8+00	1213.66	F/G LEFT
8+00	1214.46	F/G RIGHT
8+50	1213.33	N/G
8+50	1212.80	F/G LEFT
8+50	1213.60	F/G RIGHT
9+00	1212.51	N/G
9+00	1211.76	F/G LEFT
9+00	1212.56	F/G RIGHT
9+50	1211.76	N/G
9+50	1211.39	F/G LEFT
9+75	1211.39	F/G RIGHT

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 WWW.BELTONENGINEERING.COM

DESIGNED FOR:
 LEGACY CAPITAL
 FUNDING, LLC
 10008 LOXLEY LANE
 AUSTIN, TEXAS 78717

CONSTRUCTION PLAN OF:
 AUTUMN SAGE TRAIL
 STA. 5+00.00 THRU STA. 9+75.00
 PROJECT:
 HOMESTEAD AT DEER CREEK, PHASE I
 JOHNSON CITY, BLANCO COUNTY, TEXAS

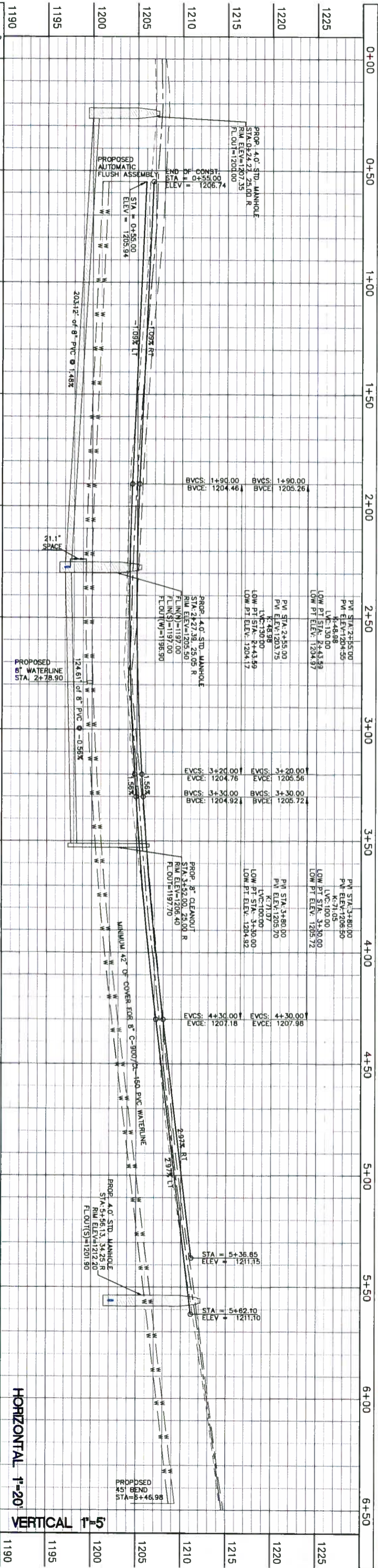
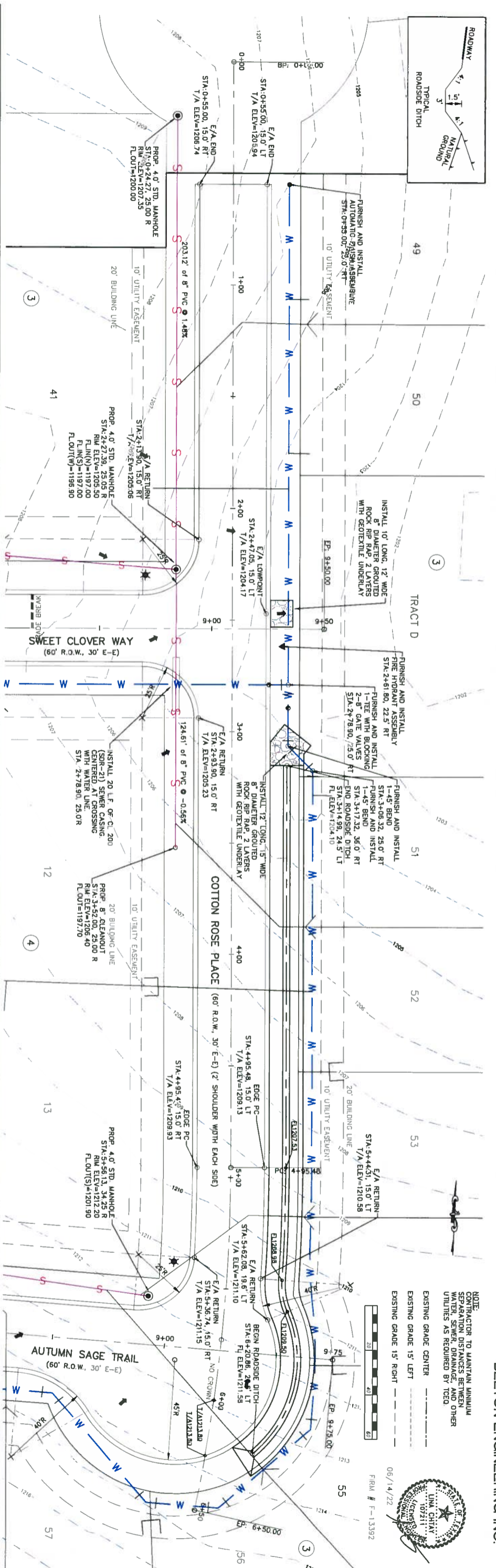
DATE: 06/14/22
 JOB NO.: 21032
 DRAWN: RR
 ELEC DRAWING FILE
 20 OF 29
C5.05

NOTE:
CONTRACTOR TO MAINTAIN MINIMUM SEPARATION DISTANCES BETWEEN WATER, SEWER, DRAINAGE, AND OTHER UTILITIES AS REQUIRED BY TCEQ.

EXISTING GRADE CENTER
EXISTING GRADE 15' LEFT
EXISTING GRADE 15' RIGHT

SCALE: 1"=20'
DRAWN: RR
ELEC DRAWING FILE

DATE: 06/14/22
JOB NO.: 21032
21 OF 29



HORIZONTAL 1"=20'
VERTICAL 1"=5'

REVISIONS	DATE	DESCRIPTION
0+00		207.60
0+50		207.24
1+00		206.53
1+50		205.45
2+00		204.83
2+50		204.37
3+00		204.59
3+50		205.60
4+00		206.80
4+50		207.78
5+00		209.42
5+50		210.06
6+00		212.92
6+50		12.46

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WWW.BELTONENGINEERING.COM

DESIGNED FOR:
LEGACY CAPITAL FUNDING, LLC
10006 LOXLEY LANE
AUSTIN, TEXAS 78717

CONSTRUCTION PLAN OF:
COTTON ROSE PLACE
STA. 0+00.00 THRU STA. 6+50.00

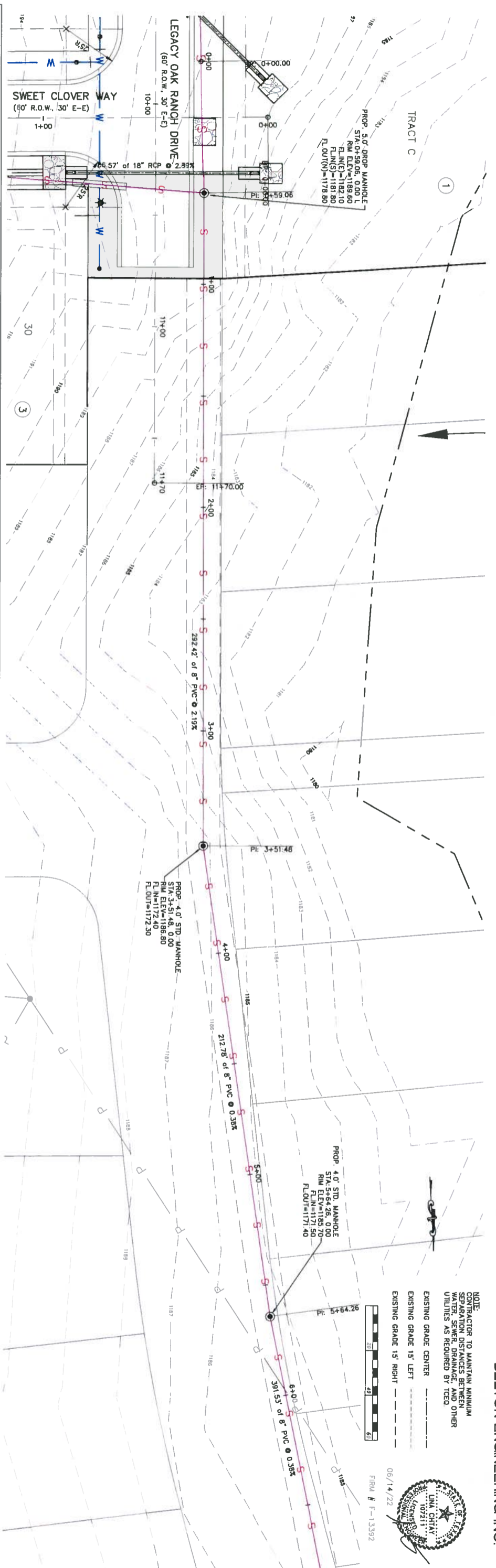
PROJECT:
HOMESTEAD AT DEER CREEK, PHASE I
JOHNSON CITY, BLANCO COUNTY, TEXAS

DATE: 06/14/22
JOB NO.: 21032
21 OF 29
C5.06

NOTE:
CONTRACTOR TO MAINTAIN MINIMUM
SEPARATION DISTANCES BETWEEN
WATER, SEWER DRAINAGE, AND OTHER
UTILITIES AS REQUIRED BY TCEQ.

EXISTING GRADE CENTER
EXISTING GRADE 15' LEFT
EXISTING GRADE 15' RIGHT

06/14/22
FIRM # F-13392



STATION	ELEVATION
0+00	1190.03
0+50	1189.58
1+00	1189.28
1+50	1185.27
2+00	1184.12
2+50	1182.80
3+00	1184.11
3+50	1186.22
4+00	1185.77
4+50	1185.37
5+00	1185.16
5+50	1185.23
6+00	1185.06
6+50	1185.34

REVISIONS

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 WWW.BELTONEENGINEERS.COM

DESIGNED FOR:
 LEGACY CAPITAL
 FUNDING, LLC
 10008 LOXLEY LANE
 AUSTIN, TEXAS 78717

SCALE: 1"=20'
 DRAWN: RR
 ELEC DRAWING FILE

CONSTRUCTION PLAN OF:
 SEWERLINE EXTENSION
 STA. 0+00.00 THRU STA. 6+50.00

PROJECT:
 HOMESTEAD AT DEER CREEK, PHASE I
 JOHNSON CITY, BLANCO COUNTY, TEXAS

DATE: 06/14/22
 JOB NO.: 21032
 22 OF 29

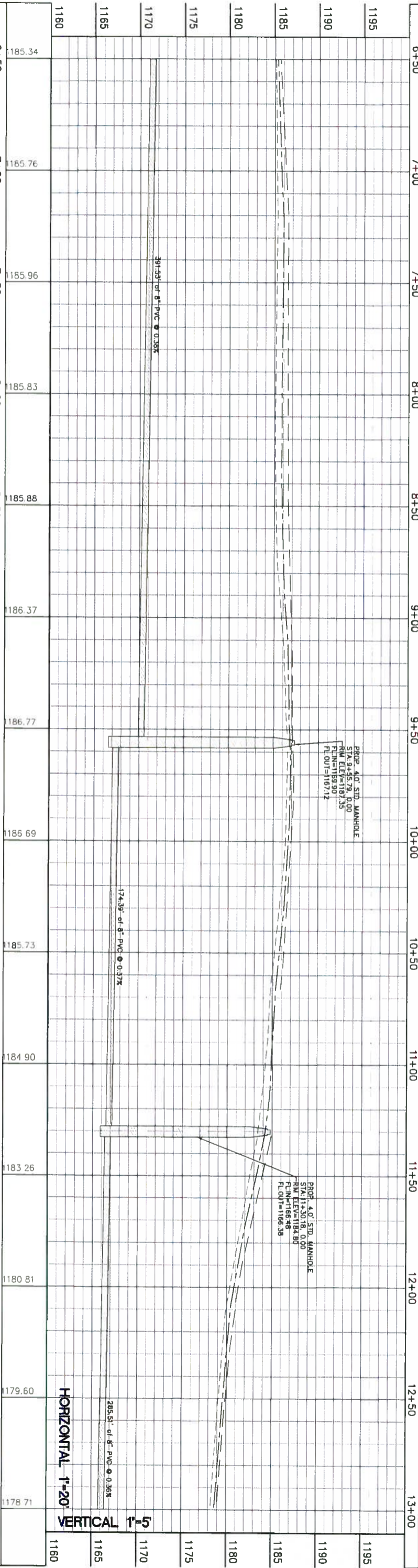
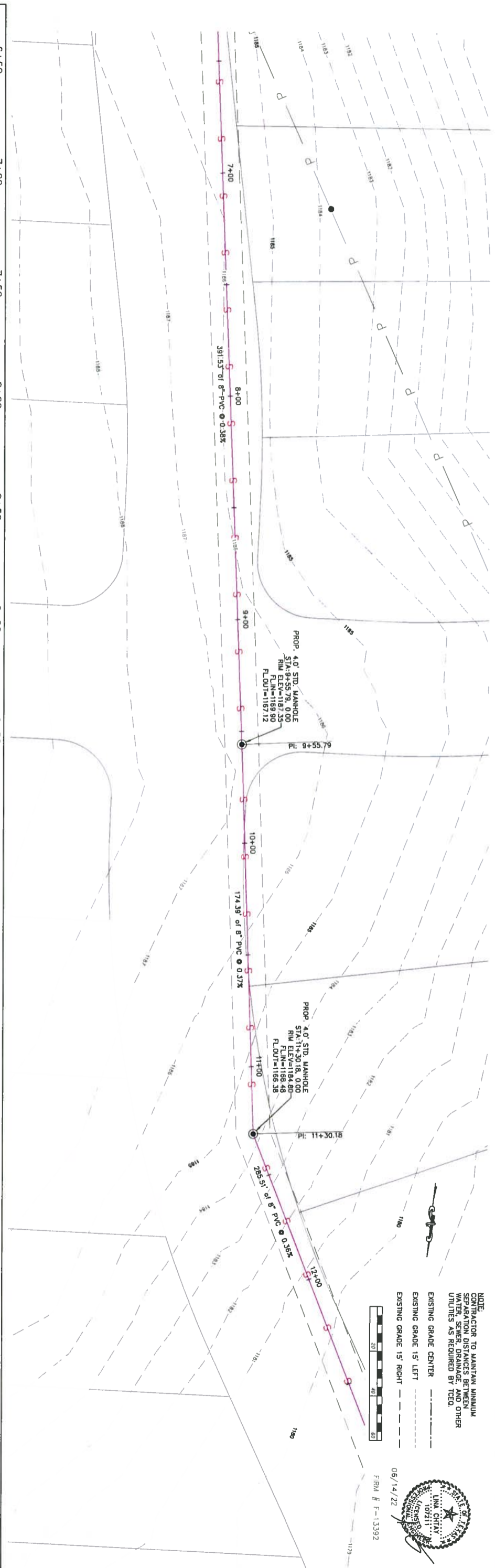
C5.07

NOTE:
CONTRACTOR TO MAINTAIN MINIMUM
SEPARATION DISTANCES BETWEEN
WATER, SEWER, DRAINAGE, AND OTHER
UTILITIES AS REQUIRED BY TCEQ.

EXISTING GRADE CENTER
EXISTING GRADE 15' LEFT
EXISTING GRADE 15' RIGHT



06/14/22
FRM # F-13392

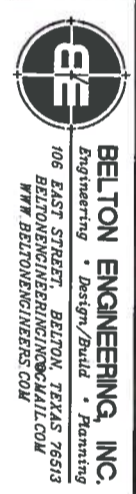


HORIZONTAL 1"=20'
VERTICAL 1"=5'

REVISIONS	6+50	7+00	7+50	8+00	8+50	9+00	9+50	10+00	10+50	11+00	11+50	12+00	12+50	13+00
1195														
1190														
1185														
1180														
1175														
1170														
1165														
1160	185.34	185.76	185.96	185.83	185.88	186.37	186.77	186.69	185.73	184.90	183.26	180.81	179.60	178.71

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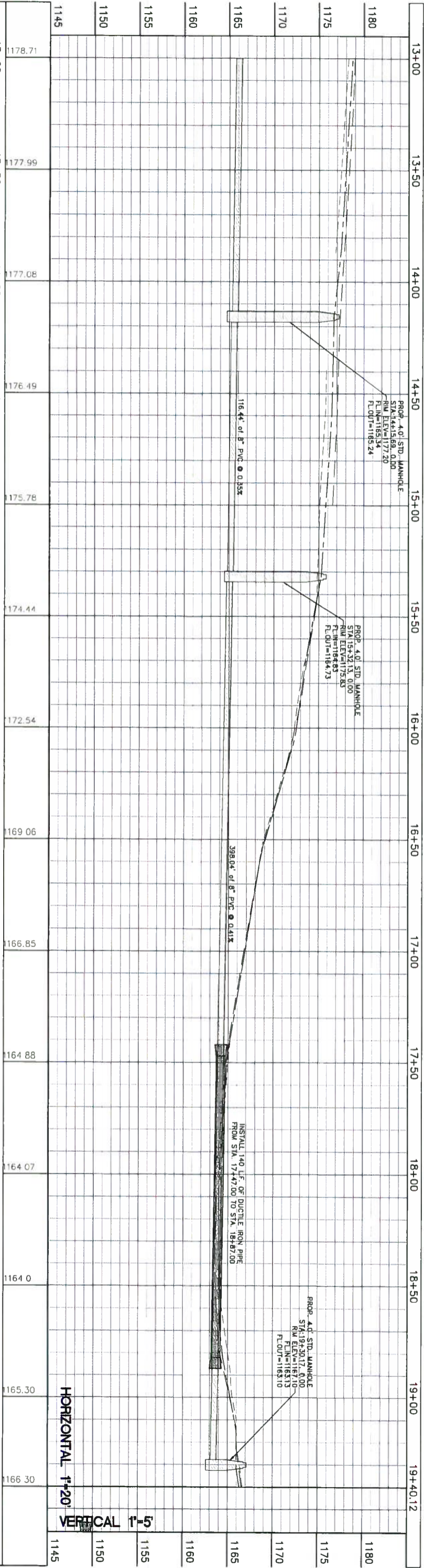
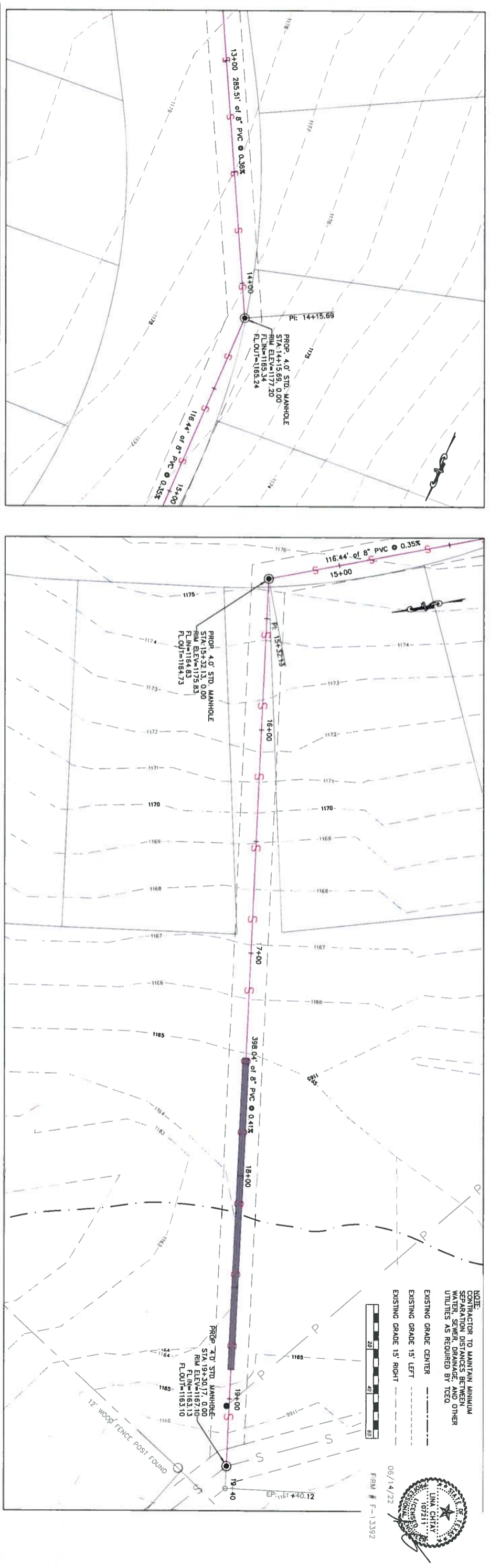


DESIGNED FOR
LEGACY CAPITAL
FUNDING, LLC
10008 LOXLEY LANE
AUSTIN, TEXAS 78717

SCALE: 1"=20'
DRAWN: RR
ELEC DRAWING FILE

CONSTRUCTION PLAN OF:
SEWERLINE EXTENSION
STA. 6+50.00 THRU STA. 13+00.00
PROJECT:
HOMESTEAD AT DEER CREEK, PHASE I
JOHNSON CITY, BLANCO COUNTY, TEXAS

DATE: 06/14/22
JOB NO.: 21032
23 OF 29
C5.08



HORIZONTAL 1"=20'

VERTICAL 1"=5'

REVISIONS	DATE	DESCRIPTION
13+00	1178.71	
13+50	1177.99	
14+00	1177.08	
14+50	1176.49	
15+00	1175.78	
15+50	1174.44	
16+00	1172.54	
16+50	1169.06	
17+00	1166.85	
17+50	1164.88	
18+00	1164.07	
18+50	1164.0	
19+00	1165.30	
19+40.12	1166.30	

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 WWW.BELTONENGINEERS.COM

DESIGNED FOR:
LEGACY CAPITAL FUNDING, LLC
 10008 LOXLEY LANE
 AUSTIN, TEXAS 78717

SCALE: 1"=20'
 DRAWN: RR
 ELEC. DRAWING FILE

CONSTRUCTION PLAN OF:
SEWERLINE EXTENSION
 STA. 13+00.00 THRU STA. 19+40.00
 PROJECT:
HOMESTEAD AT DEER CREEK, PHASE I
 JOHNSON CITY, BLANCO COUNTY, TEXAS

DATE: 06/14/22
 JOB NO.: 21032
 24 OF 29
C5.09



REVISIONS



FIRM # F-13392

BELTON ENGINEERING INC.

106 NO. EAST STREET
BELTON, TEXAS 76513
OFFICE (254)731-5600
MOBILE (254)289-7273
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Engineering
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Planning

PAVING DETAILS FOR:
HOMESTEAD AT DEER CREEK, PHASE I
217 281 LOOP
CITY OF JOHNSON CITY, BLANCO COUNTY, TEXAS
LEGACY CAPITAL FUNDING, LLC
10008 LOXLEY LANE
AUSTIN, TEXAS 78717



06/14/22

SCALE: N.T.S

DRAWN: RR

ELEC DRAWING FILE

C:\21032-detroit.dwg

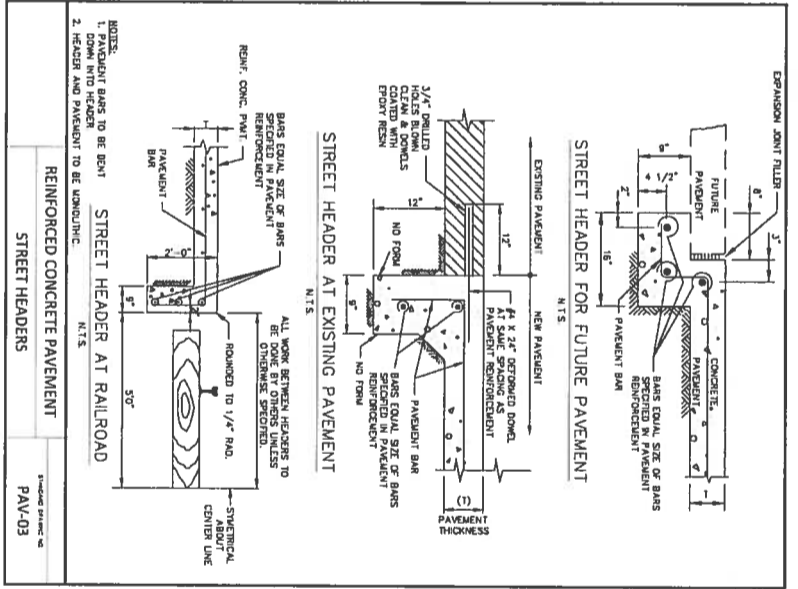
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JOB NO.: 21032

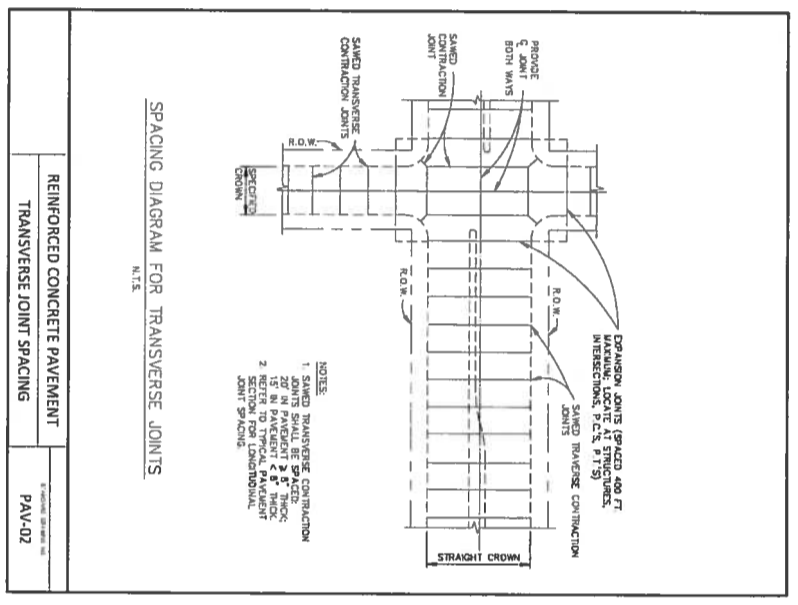
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C6.00

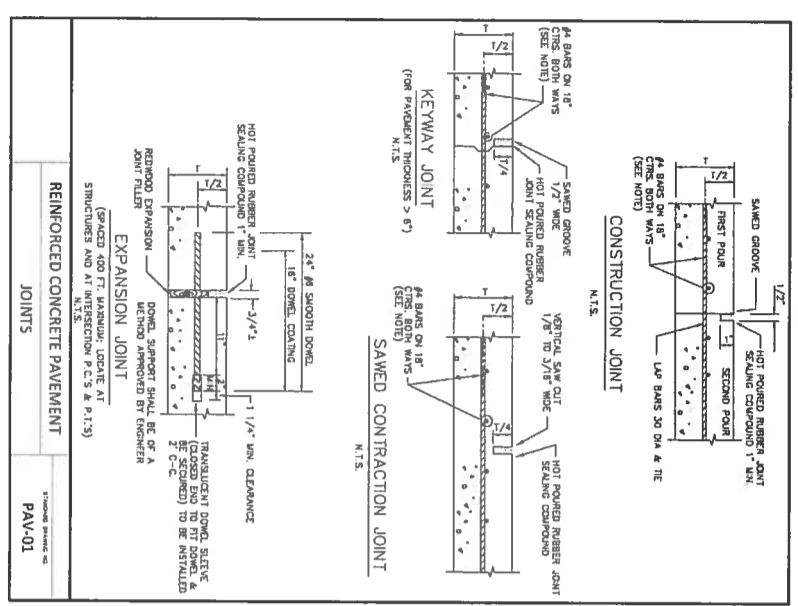
PAVING DETAILS FOR:
HOMESTEAD AT DEER CREEK, PHASE I
217 281 LOOP
IN THE CITY OF JOHNSON CITY, BLANCO COUNTY, TX



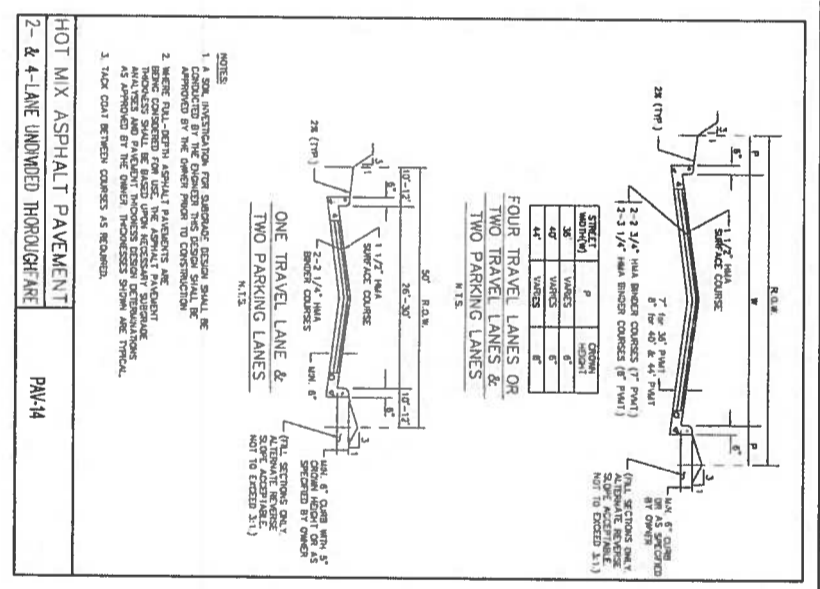
REINFORCED CONCRETE PAVEMENT
STREET HEADERS
PAV-03



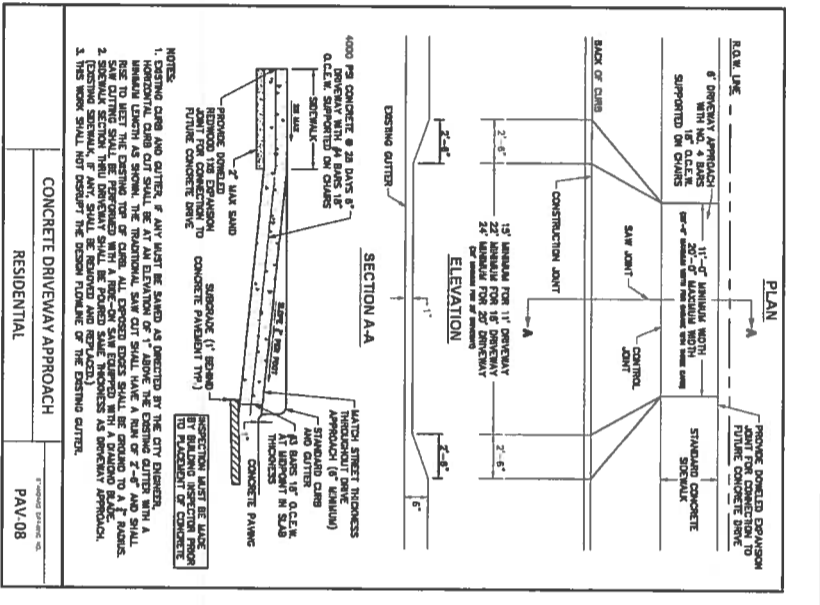
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TRANSVERSE JOINT SPACING
PAV-02



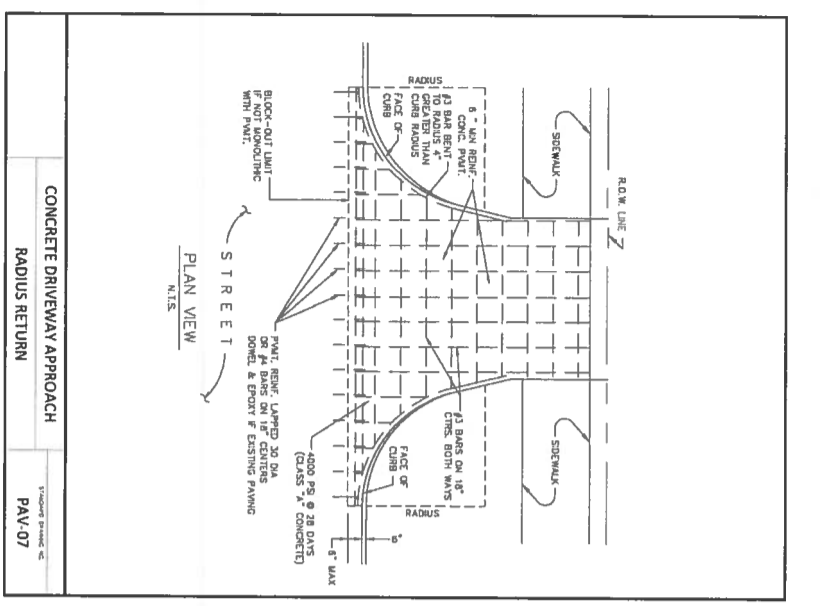
REINFORCED CONCRETE PAVEMENT
JOINTS
PAV-01



HOT MIX ASPHALT PAVEMENT
2- & 4-LANE UNDIVIDED THROUGHFARE
PAV-04



CONCRETE DRIVEWAY APPROACH
RESIDENTIAL
PAV-08



CONCRETE DRIVEWAY APPROACH
RADIUS RETURN
PAV-07



FIRM # F-13392

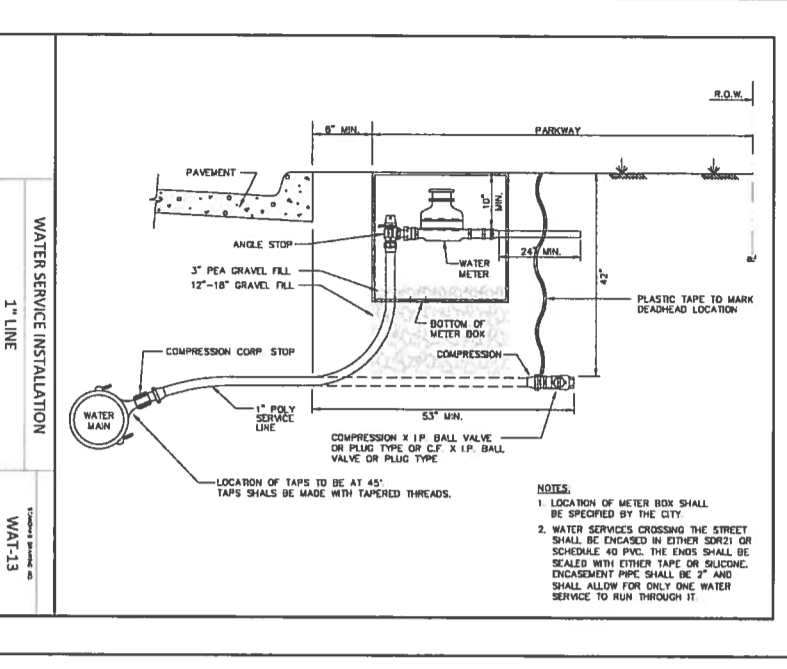
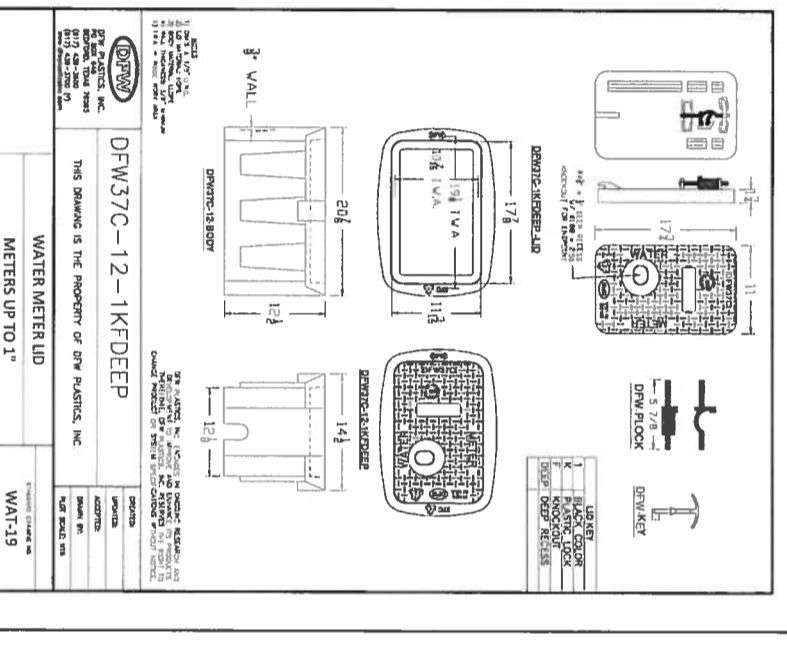
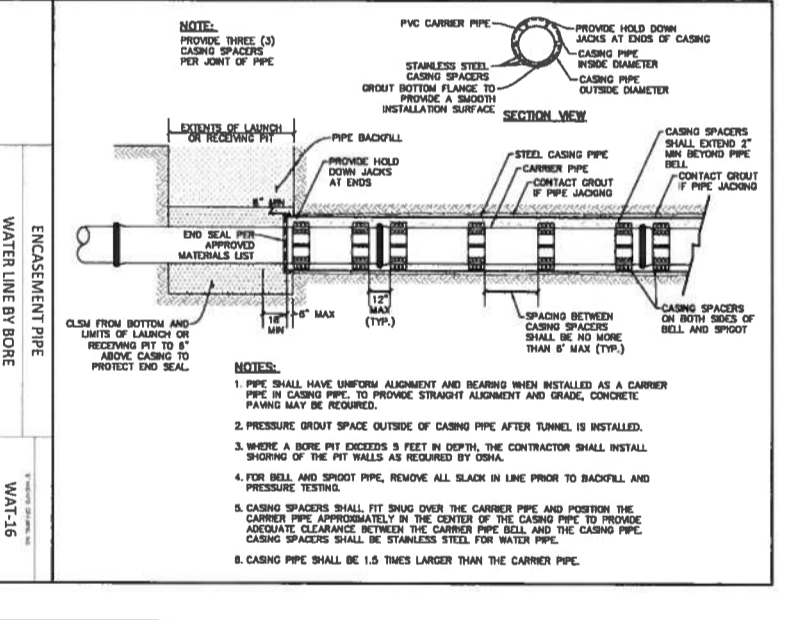
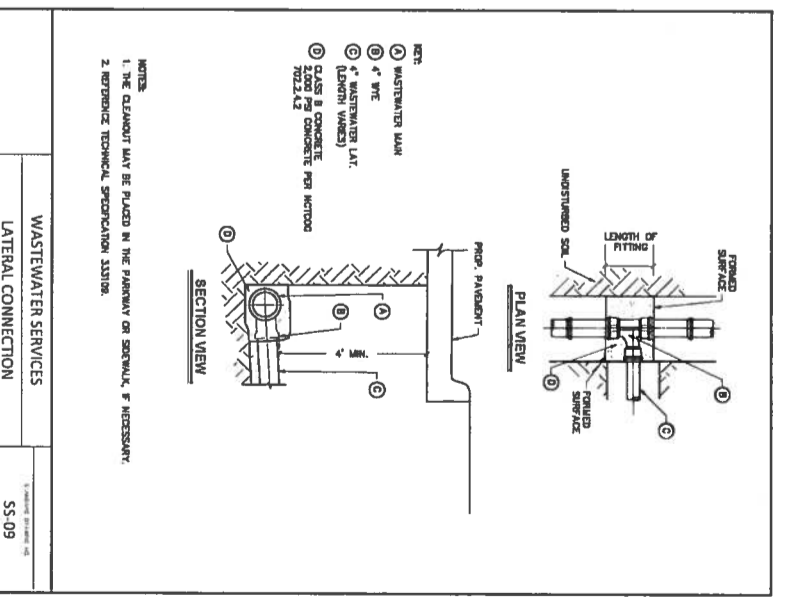
BELTON ENGINEERING INC.

106 NO. EAST STREET
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OFFICE (254) 731-5860
MOBILE (254) 288-7273
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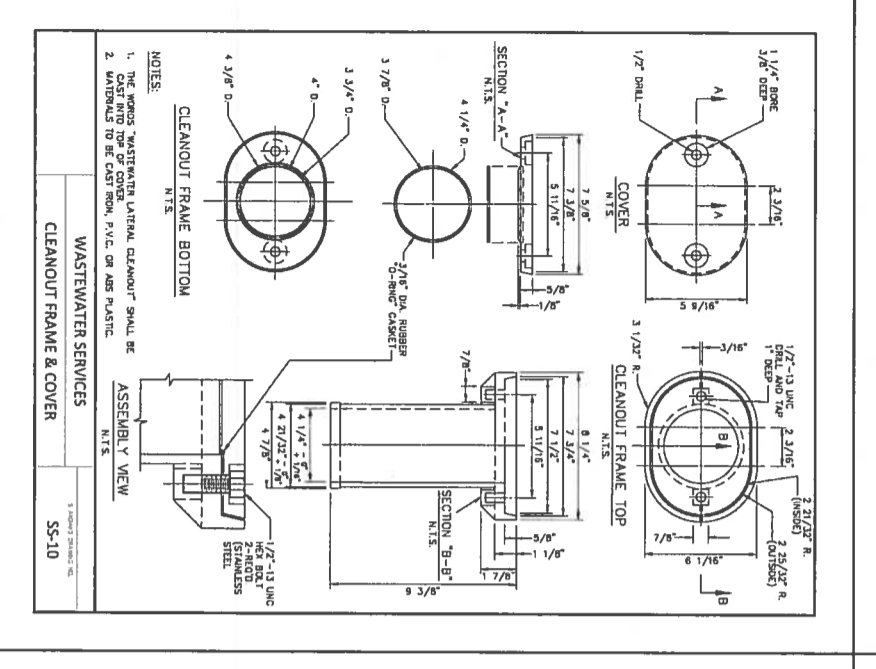
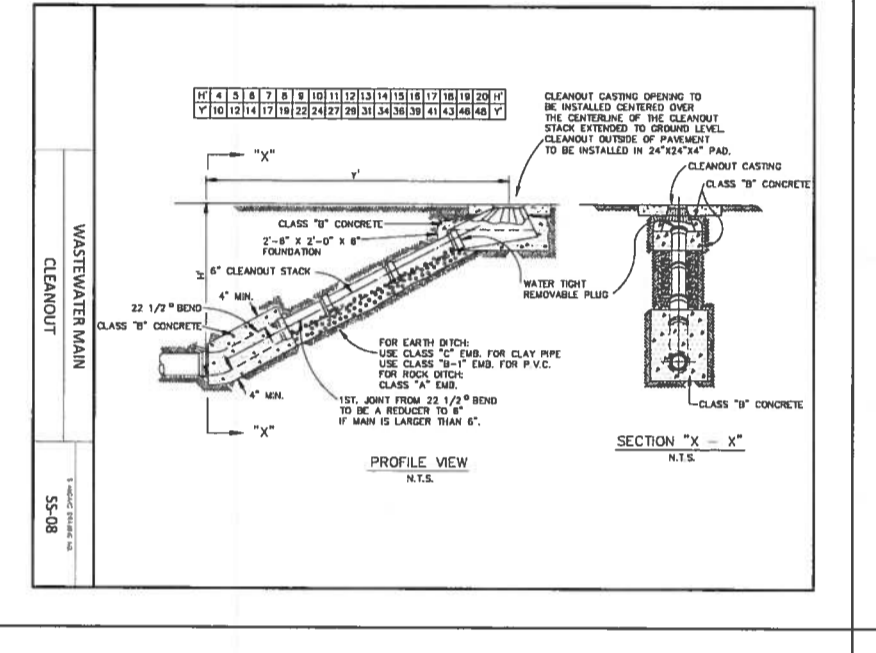
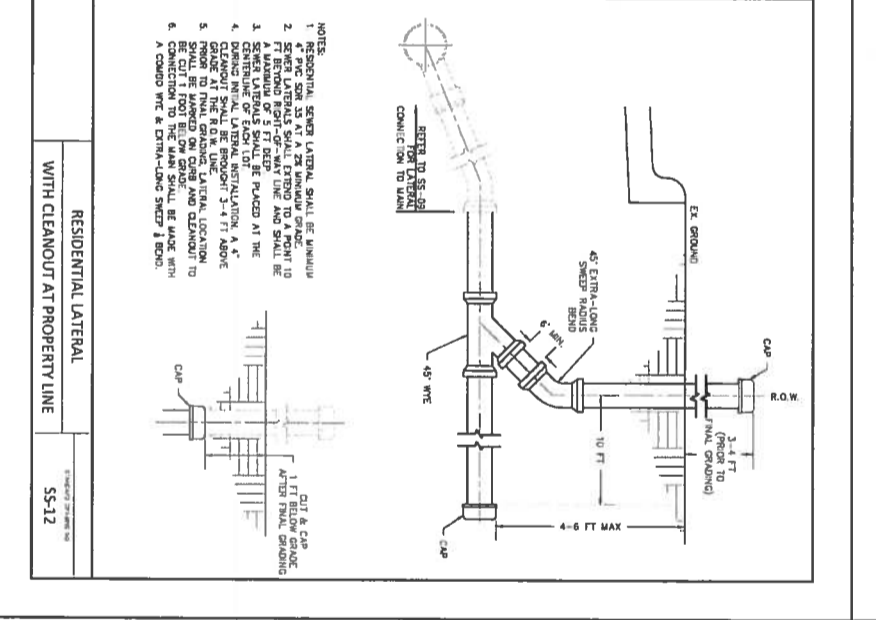
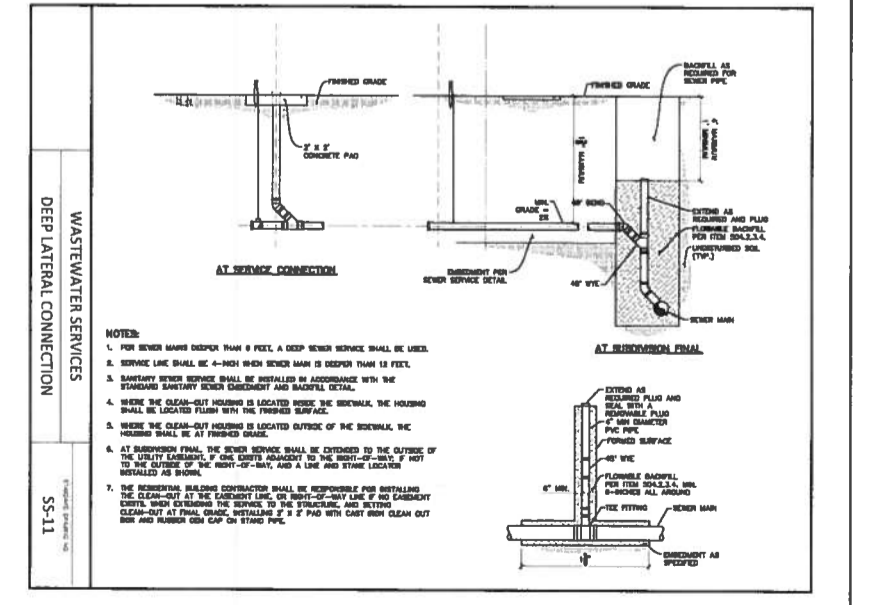
WATER AND SEWER DETAILS FOR:
HOMESTEAD AT DEER CREEK, PHASE I
217 281 LOOP
CITY OF JOHNSON CITY, BLANCO COUNTY, TEXAS
LEGACY CAPITAL FUNDING, LLC
10008 LOXLEY LANE
AUSTIN, TEXAS 78717

DATE: 06/14/22
JOB NO.: 21032
27 OF 29
C6.02



WATER SERVICE INSTALLATION
1 LINE
WAT-13

WATER METER LID
METERS UP TO 1"
WAT-19



WATER LINE BY BORE
ENCASUREMENT PIPE
WAT-16

RESIDENTIAL LATERAL
WITH CLEANOUT AT PROPERTY LINE
SS-12

CLEANOUT
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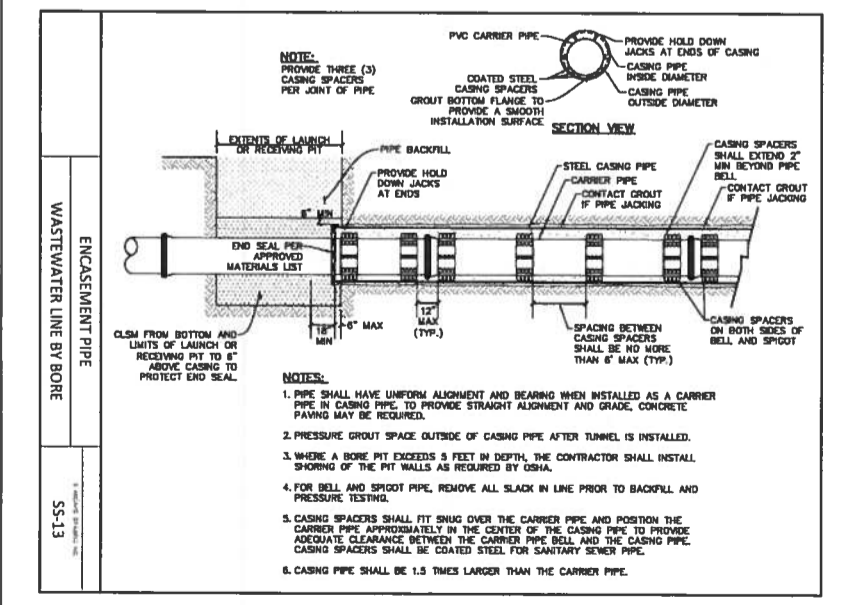
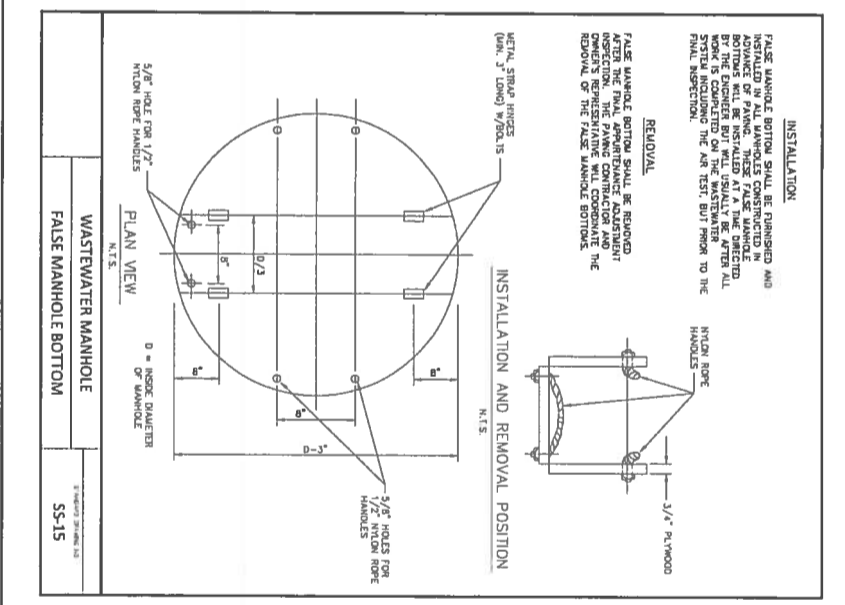
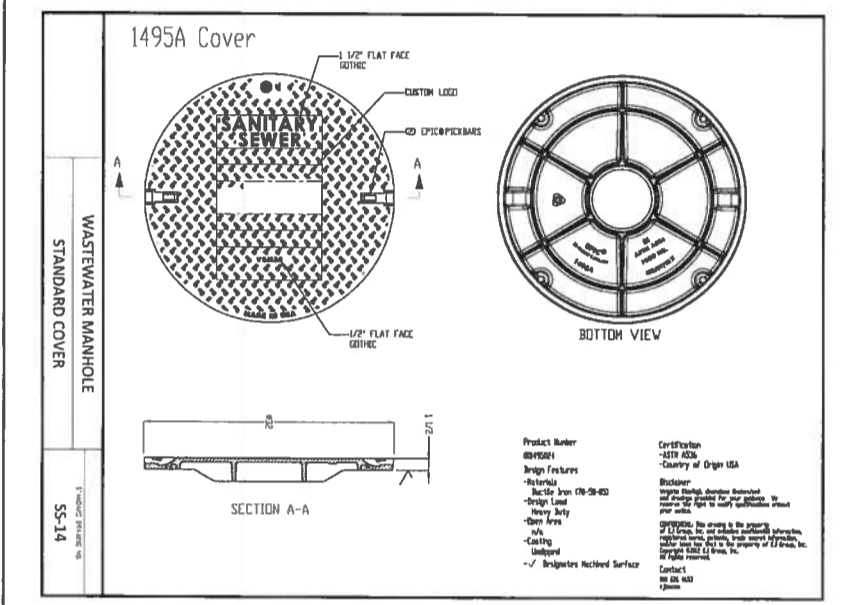
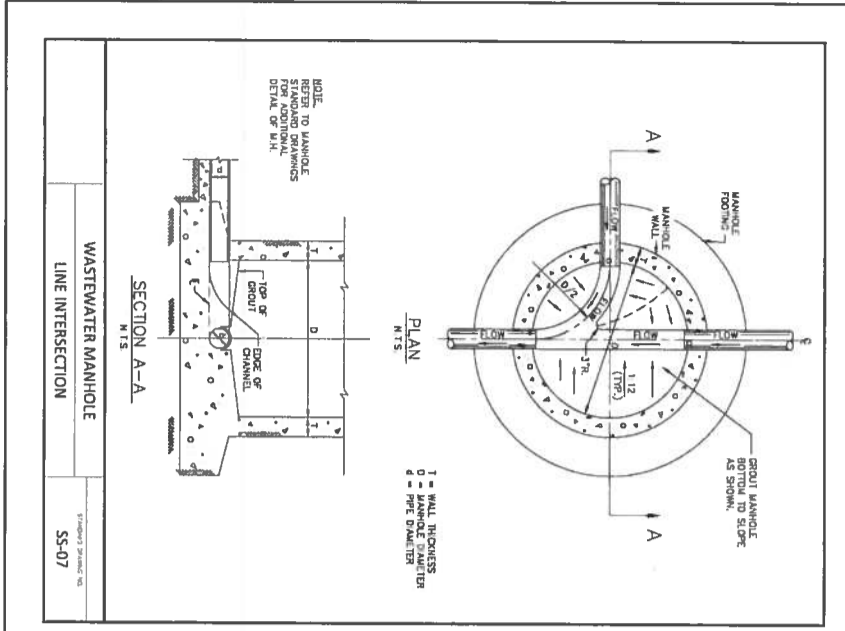
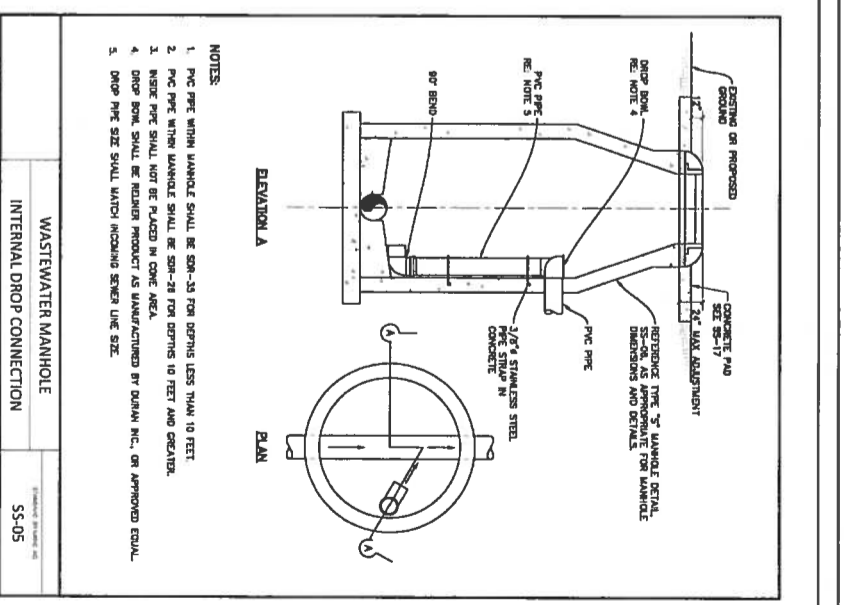
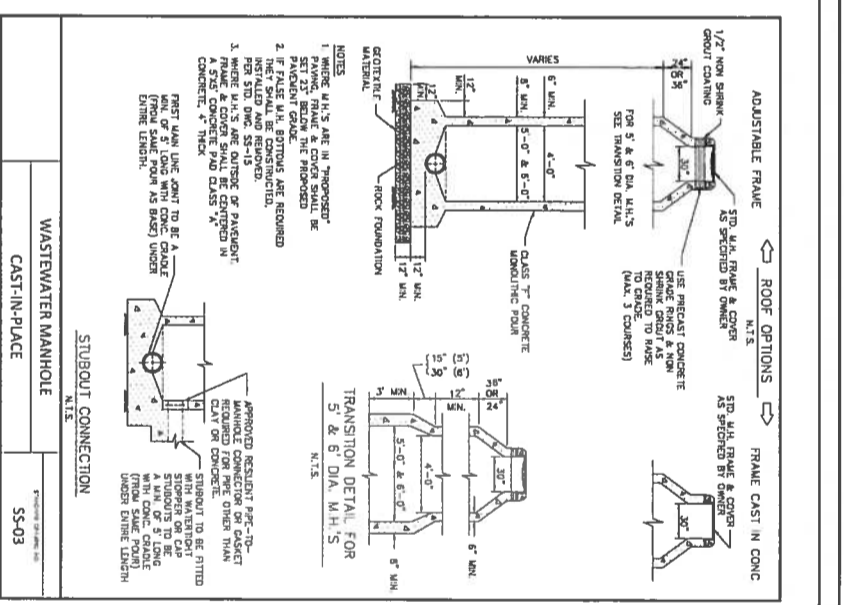
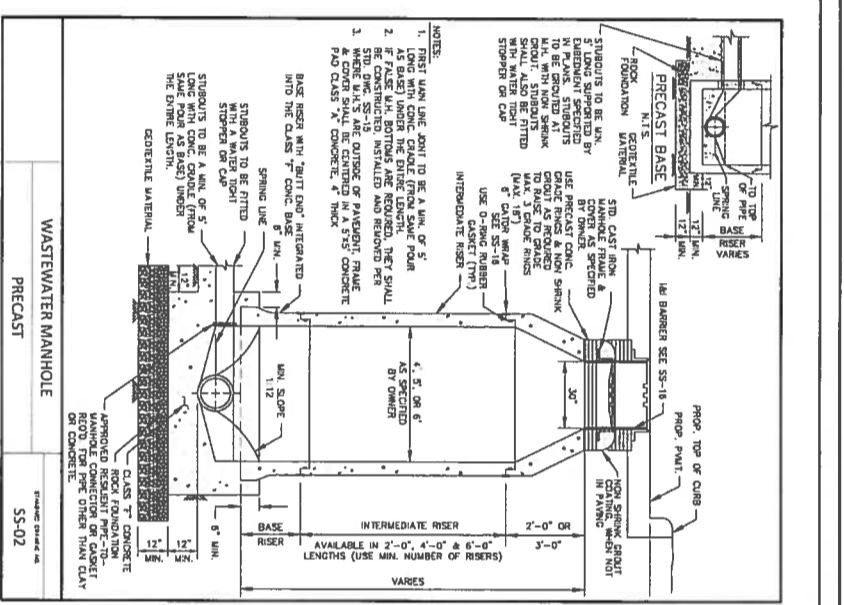
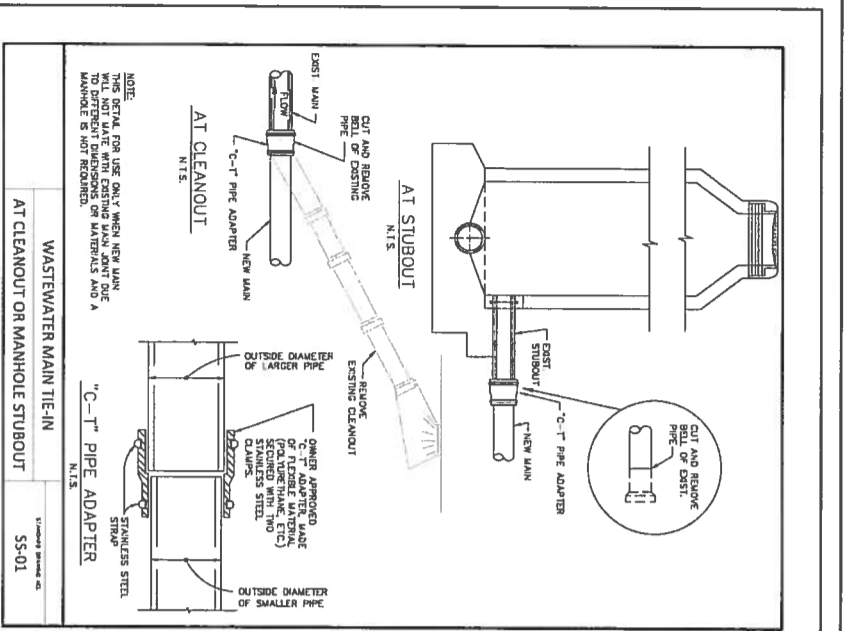
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SANITARY SEWER DETAILS FOR:
HOMESTEAD AT DEER CREEK, PHASE I
217 281 LOOP
IN THE CITY OF JOHNSON CITY, BLANCO COUNTY, TX

DATE: 06/14/22
JOB NO.: 21032
28 OF 29
C6.03

REVISIONS



FIRM # F-13392
BELTON ENGINEERING INC.
108 NO. EAST STREET
BELTON, TEXAS 78513
OFFICE (254) 731-5800
MOBILE (254) 288-7273
BELTONENGINEERS.COM

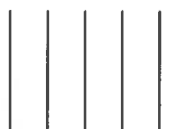
Engineering
Design/Build
Planning

SANITARY SEWER DETAILS FOR:
HOMESTEAD AT DEER CREEK, PHASE I
217 281 LOOP
CITY OF JOHNSON CITY, BLANCO COUNTY, TEXAS
LEGACY CAPITAL FUNDING, LLC
10008 LOXLEY LANE
AUSTIN, TEXAS 78717



06/14/22
SCALE: N.T.S.
DRAWN: RR
ELEC. DRAWING FILE
C:\21032-drawings DWG
DATE: 06/14/22
JOB NO.: 21032
28 OF 29
C6.03

REVISIONS



Belton Engineering Inc.

106 NO. EAST STREET

Design/Build Planning

Engineering

DRAINAGE/EMBEDMENT DETAILS FOR: HOMESTEAD AT DEER CREEK, PHASE I

LEGACY CAPITAL FUNDING, LLC

06/14/22

DATE: 06/14/22

SCALE: N.T.S

JOB NO.: 21032

C6.04

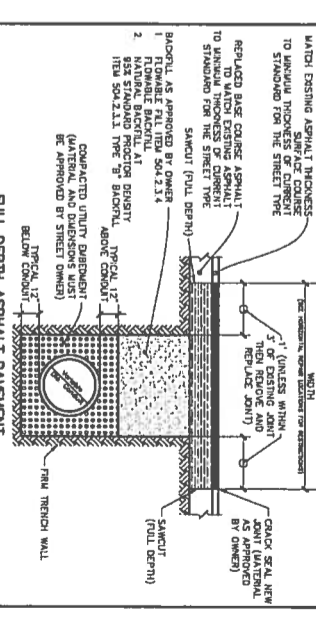
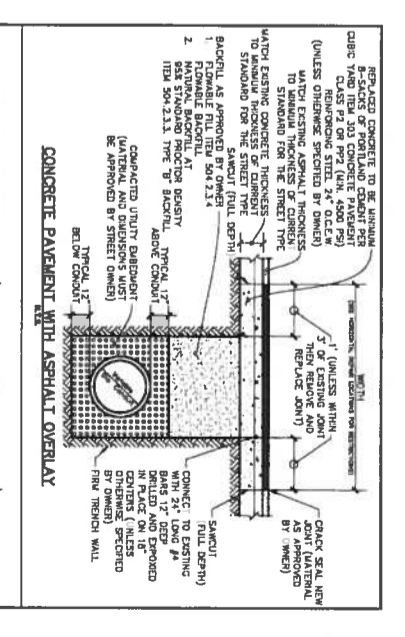


TABLE OF CONSTANT DIMENSIONS

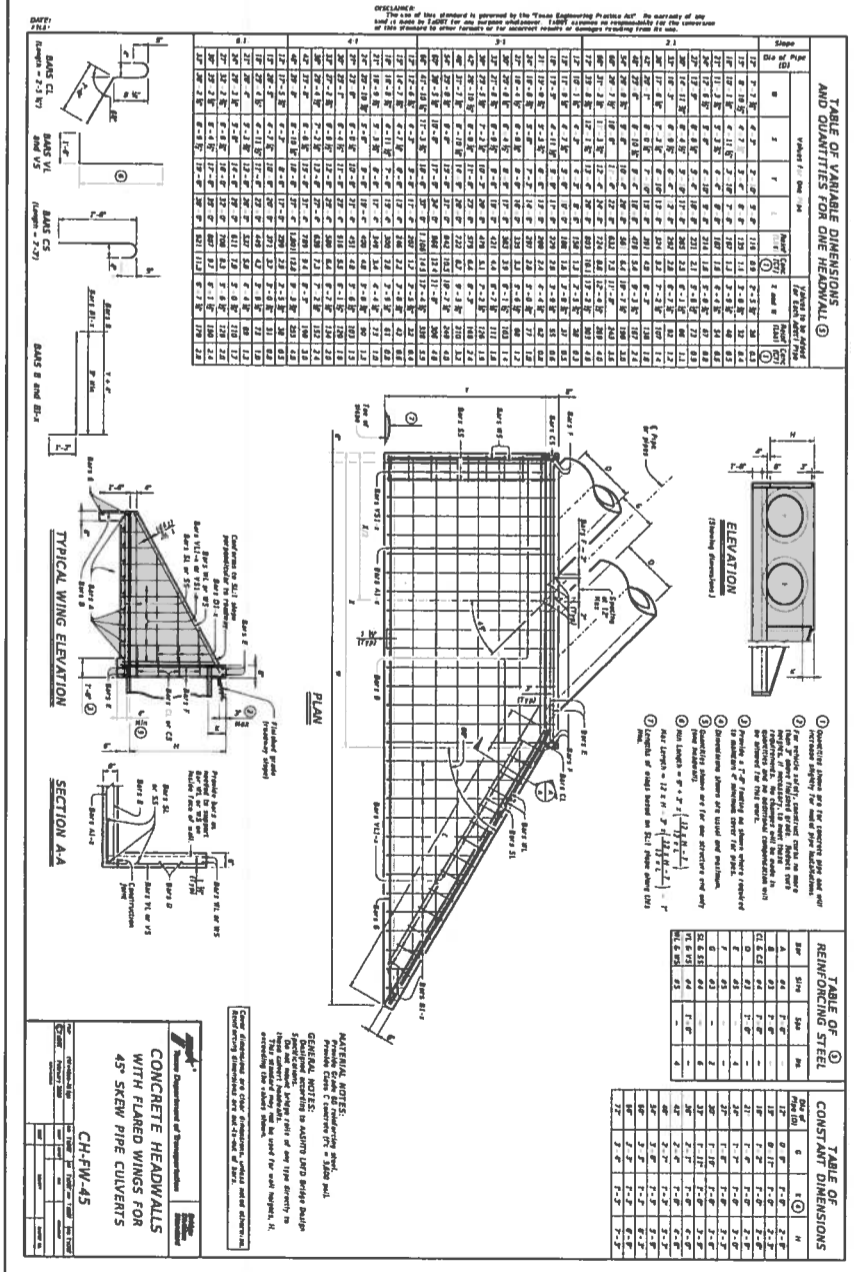
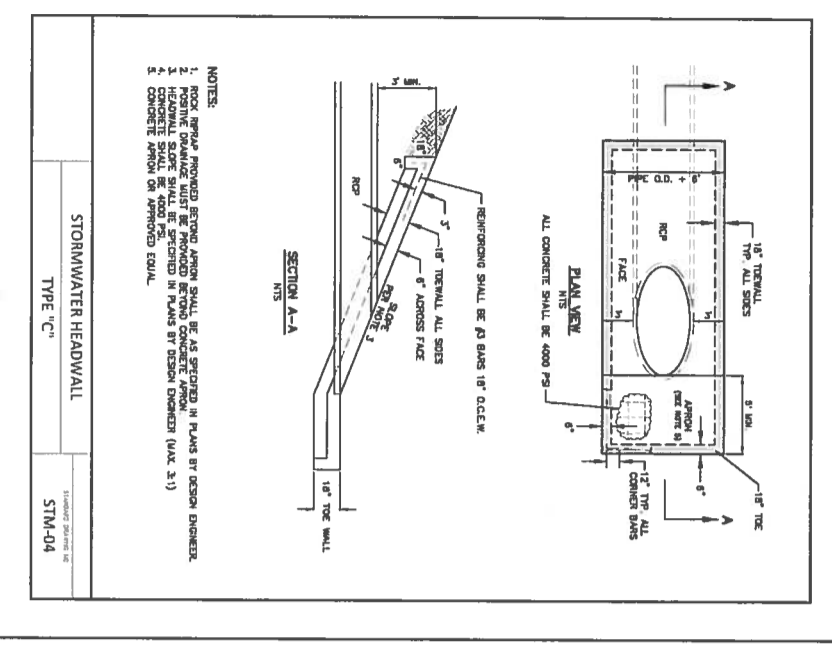
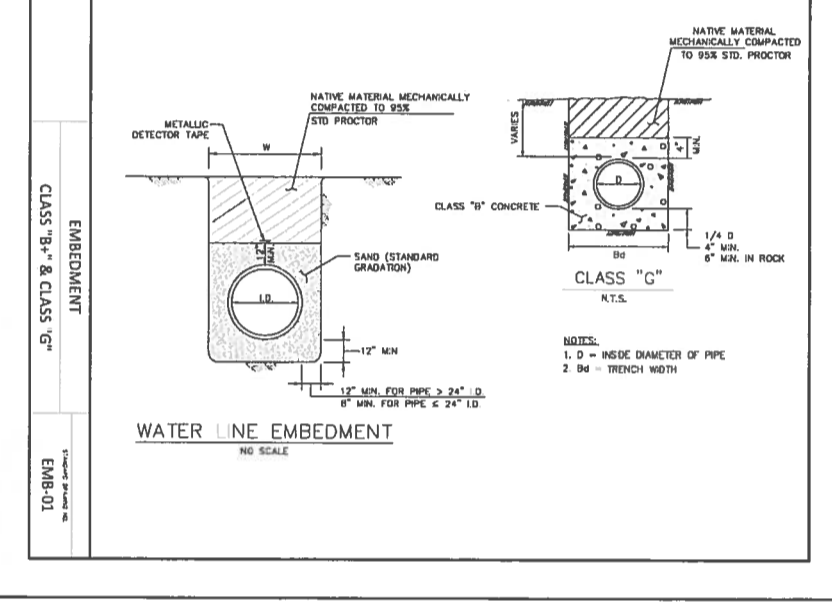
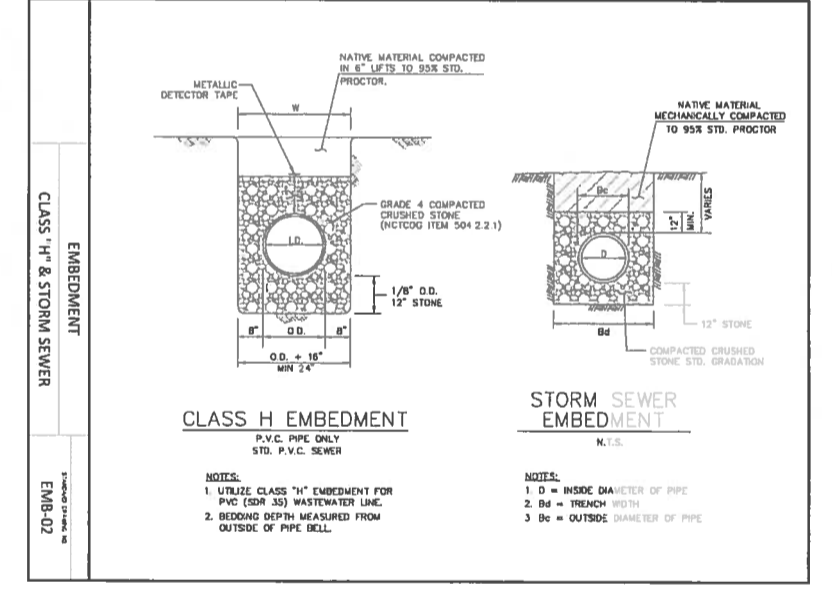


TABLE OF VARIABLE DIMENSIONS AND QUANTITIES FOR ONE HEADWALL

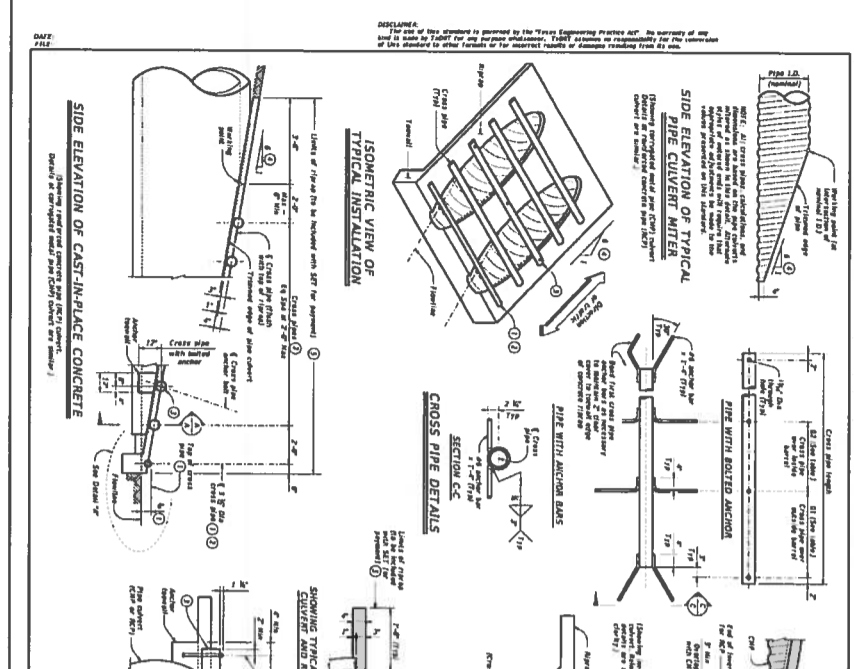
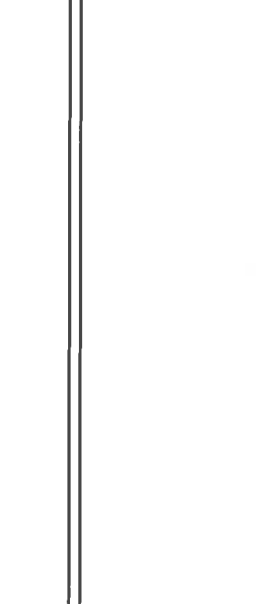


TABLE OF REINFORCING STEEL



GENERAL NOTES and MATERIAL NOTES regarding construction requirements.

Page	Response	Resolved
2	Extend ROW or easement to encompass the full length of the WW line to the existing system connection.	
2	Adjust alignment of WW line to be within the proposed ROW or easements. Adjust slopes accordingly ensuring minimum velocities are met.	
2	The City does not show exposed utility lines. Please revise accordingly.	
3	Use NODA data for Johnson City.	
3-4	Provide drainage easements/ROW for offsite drainage, ditches, ponds and any other major drainage ways per paragraph B	
3	Adjust DA2 boundary based on topography.	
4	Clarify source of CPOST data on tables.	
4	Unit sheet flow to 100'.	
4	Include analysis of the 2 yr storm event.	
4	Provide 1' of freeboard at detention ponds.	
4	Provide Atlas 14 100-yr floodplain delineation and supporting data in a drainage report.	
4	Clarify how Das 051, DA1b, DA1, DA2a and DA2c drain to the pond.	
5	Include analysis of the 2 yr storm event.	
7	Provide all hydrographs in a drainage report explaining methodology, etc.	
9	Do ditch calculations account for the downstream culvert's headwater elevations?	
9	Driveway culverts should not be less than 18".	
10	Provide roadway typical cross sections and grading plan. Include the proposed water and wastewater lines and storm sewers or ditches. Show existing water line along 281 Loop.	
	Sewer easement added to encompass full length of WW line	
	Alignment of WW line adjusted	
	Utility lines no longer proposed to be exposed	
	NODA DF data has been updated from Blanco County to Johnson City.	
	With a 10' wide 1.0' deep swale between lots the max capacity is 24.69 cfs. The maximum 100 yr flow for offsite areas is 13.22cfs for Area 053. Refer to detail B on page C3.05. A drainage easement is not necessary as providing a swale as noted on sheet C3.05 will adequately handle flow from the offsite areas.	
	A variance is being requested to change DA2 boundary. Based on existing topo the majority of water from area DA2 will flow directly to the east towards the flood plain.	
	A drainage report with hydrographs has been provided.	
	According to pg 2-3 in the city of Plano Drainage Manual the maximum allowable length for sheet flow is 300 ft for undeveloped drainage areas and 100 ft for developed areas.	
	Provided.	
	Refer to detail 2 on sheets C3.08 and C3.09 and the Detention Pond calculations on sheet C3.01 showing pond elevations.	
	FEMA FIS for Blanco County has been provided.	
	Area (052,DA2b) is draining to Pond DA2. The sum of the pond DA2 outfall with the combined discharge from areas DA2a+DA2c+051+DA1 is less than the sum of runoff from predeveloped areas (051+DA1) and (053+DA2)	
	Provided.	
	A drainage report with narrative and hydrographs has been provided.	
	At the 100yr storm, ditch calculations provided on sheet C3.06 show a minimum of 0.3' of freeboard.	
	All proposed culverts are at least 18". Refer to the culvert table of C3.05.	
	Plan profiles showing proposed road elevations have been provided.	

UTILITY RIGHT OF WAY EASEMENT

STATE OF TEXAS §

COUNTY OF BLANCO §

GRANTOR: Legacy Capital Funding, LLC

GRANTEE: City of Johnson City, Texas, a Texas Type A General-Law
Municipality

GRANTEE'S ADDRESS: P.O. Box 369, Johnson City, Blanco County, Texas 78636

GRANTEE'S

IDENTIFICATION OF TRACT: 15' Ingress/Egress/Public Utility Easement (PUE)

That the Grantors of the easement, being Legacy Capital Funding, LLC, hereafter called the Grantors, for a good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, do hereby grant, transfer, assign and convey unto the City of Johnson City, having its principal office in Blanco County, Texas, and to its successors or assigns, hereinafter called Grantee, a perpetual easement and right-of-way for the purpose of constructing, operating, improving, and maintaining public utilities as said utilities now exists or shall be hereinafter installed, including all necessary and desirable appurtenances and attachments necessary for its operation, over, under, or across the following described easement tract described in Exhibit "A", as 15' Ingress/Egress/Public Utility Easement, appended hereto and incorporated herein by reference as if stated herein verbatim. The Grantee has the right to construct and maintain improved driveways, and other appurtenances as necessary to provide public utilities and access to a wastewater utility line.

Grantee shall have the right of pedestrian and vehicular ingress and egress over, across and upon said easement tract for the purpose of constructing, improving, reconstructing, upgrading, operating, repairing, inspecting, maintaining and removing the said public utilities, as well as reading meters or performing any act related to the provision of utility service; the right to trim or remove trees or brush located thereon which might in the judgement of the Grantee, damage or interfere with the operation of the said Public Utility and its appurtenances. This agreement, together with other provisions of this grant shall constitute a covenant appurtenant to the land for the benefit of the Grantee, its successors and assigns.

The Grantor agrees that all public utilities and other facilities, including metering and service entrance equipment, pull boxes, fire hydrants, valve boxes, fencing, buildings, tanks, piping, poles, wiring, or other equipment installed on the above tract at the expense of the Grantee herein, shall remain the property of the Grantee, removable at the option of the Grantee, upon termination of service to or on said tract.

TO HAVE AND TO HOLD the above described easement and rights unto the said tract, its successors and assigns, forever.

The Grantor represents that he is the rightful owner of the above described tract of land and does bind himself, his heirs, assigns, and legal representatives, to Warrant and forever defend all and singular, the above described easement and rights unto the Grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

IN WITNESS WHEREOF, the undersigned have set their hand and seals this, the 21st day of June, 2022.

Grantor: _____

By: _____

Printed Name: _____

Date: _____

Acknowledgment

State of Texas §
 §
County of Blanco §

Before me, the undersigned notary, on this day personally appeared **GRANTOR** _____, _____ of _____, known to me through valid identification to be the person whose name is subscribed to the preceding instrument and acknowledged to me that the person executed the instrument in the person's official capacity for the purposes and consideration expressed in the instrument.

Sworn and subscribed before me this the _____ day of _____, 20____.

SEAL

Notary Public

Grantee-City Signature Page

Grantee-City: City of Johnson City
By: _____
Printed Name: Rhonda Stell, Mayor
Date: _____

Acknowledgment

State of Texas §
County of Blanco §

Before me, the undersigned notary, on this day personally appeared **GRANTEE-CITY, CITY OF JOHNSON CITY**, by and through its authorized representative, RHONDA STELL, Mayor, known to me through valid identification to be the person whose name is subscribed to the preceding instrument and acknowledged to me that the person executed the instrument in the person's official capacity for the purposes and consideration expressed in the instrument.

Sworn and subscribed before me this the _____ day of _____, 20____.

SEAL

Notary Public

Exhibit A

**Survey of Easement
Legal Description and Map**

EXHIBIT A - 0.628 ACRES

Being a tract of land in BLANCO County, Texas, lying and situated in the **JOSEPH DUEL SURVEY, ABSTRACT NO. 147**, and the land herein described being a portion of that certain 91.55 acre tract of land conveyed to Legacy Capital Funding, LLC., by Warranty Deed with Vendor's Lien recorded in Document No. 216769, Official Public Records of Blanco County, Texas (OPRBCT), and being more fully described by metes and bounds as follows:

BEGINNING at a calculated point (NORTH=10068529.809, EAST=2908078.783), within said Legacy Capital tract, from which a 12" wood fence post found bears SOUTH 13°31'10" EAST, 14.12 feet at the common corner of that certain 3.688 acre tract of land conveyed to Maxine Flores recorded in Volume 298, Page 653, OPRBCT, (south corner) and that certain Winters Furr Subdivision, a subdivision dedicated to the city of Johnson City according to the plat recorded in Volume 58, Page 118 of the Plat Records of Blanco County, Texas (southeast corner);

THENCE, over and across said Legacy Capital tract, the following seventeen (17) calls:

- 1) **SOUTH 76°27'15" EAST, 400.56 feet** to a calculated point;
- 2) **SOUTH 00°00'00" EAST, 120.51 feet** to a calculated point;
- 3) **SOUTH 27°31'57" EAST, 284.95 feet** to a calculated point;
- 4) **SOUTH 08°12'52" EAST, 175.65 feet** to a calculated point;
- 5) **SOUTH 08°27'59" EAST, 391.73 feet** to a calculated point;
- 6) **SOUTH 05°10'52" EAST, 213.53 feet** to a calculated point;
- 7) **SOUTH 02°57'12" WEST, 254.62 feet** to a calculated point;
- 8) **NORTH 86°52'40" WEST, 15.00 feet** to a calculated point;
- 9) **NORTH 02°57'12" EAST, 253.51 feet** to a calculated point;
- 10) **NORTH 05°10'52" WEST, 212.03 feet** to a calculated point;
- 11) **NORTH 08°27'59" WEST, 391.34 feet** to a calculated point;
- 12) **NORTH 08°12'52" WEST, 173.13 feet** to a calculated point;
- 13) **NORTH 27°31'57" WEST, 286.07 feet** to a calculated point;
- 14) **NORTH 00°00'00" EAST, 112.37 feet** to a calculated point;
- 15) **NORTH 76°27'15" WEST, 381.83 feet** to a calculated point;
- 16) **NORTH 04°18'56" WEST, 11.86 feet** to a calculated point;
- 17) **NORTH 27°53'04" WEST, 4.95 feet** to a to the POINT OF BEGINNING and containing 0.628 acres (27377.01 SQ.FT.) of land.

STATE OF TEXAS
COUNTY OF BLANCO

DATE OF SURVEY
07/04/21

0.628 ACRE TRACT

I, Bruce L. Bryan, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that these field notes are a correct representation of a survey made on the ground under my supervision.

Bruce Lane Bryan

Date

Registered Professional Land Surveyor #4249

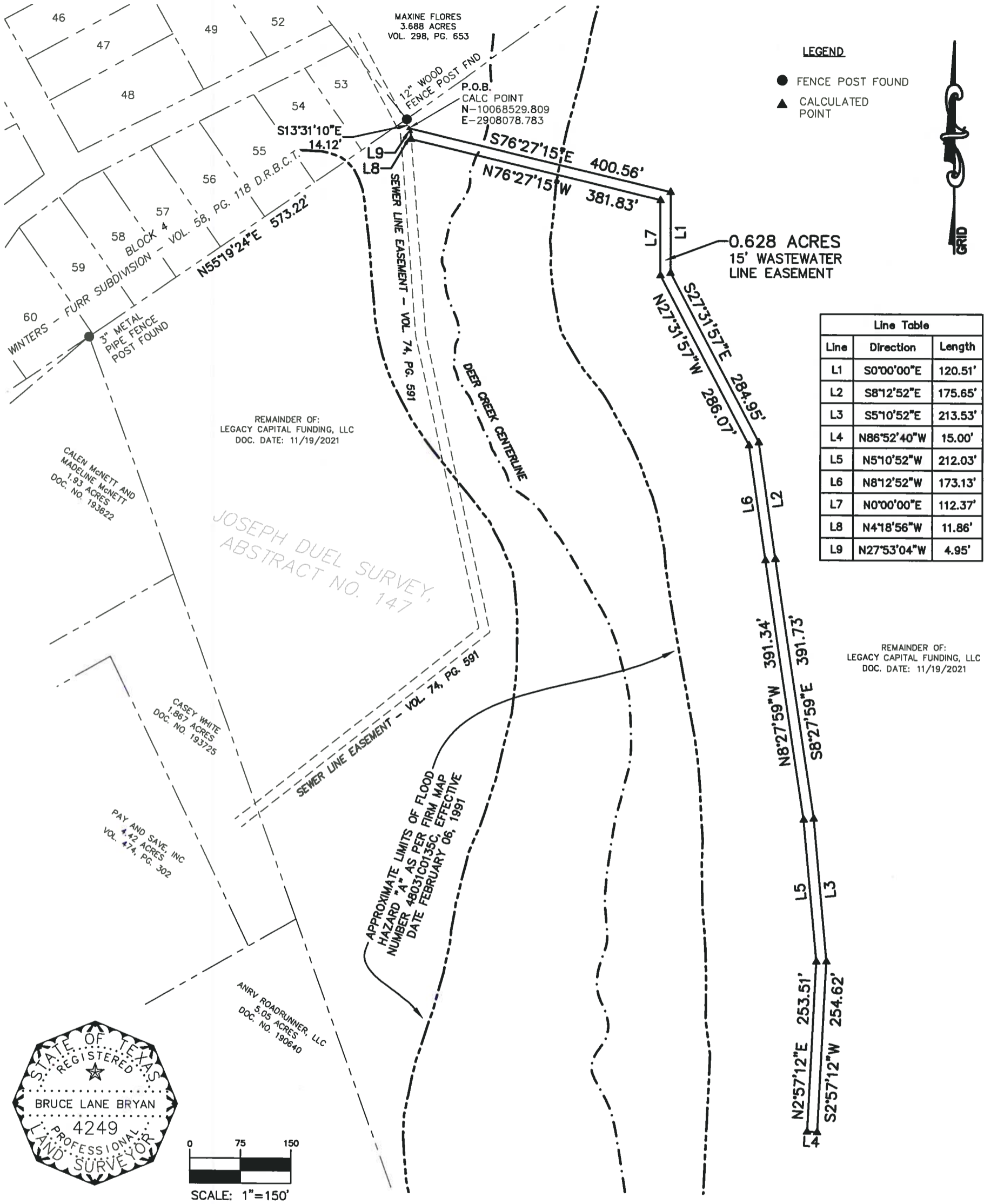
TSP/LS FIRM No. 10128500

www.bryantechicalservices.com

NOTE: Bearings shown hereon based on Texas State plane coordinate system (Central Zone 4203, NAD 83, 93 Adjustments). Distances are shown as grid values.

See attached surveyor's plat, which accompanies this set of field notes.

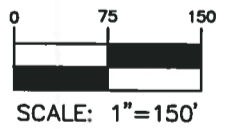
EXHIBIT "A"



LEGEND

- FENCE POST FOUND
- ▲ CALCULATED POINT

Line Table		
Line	Direction	Length
L1	S0°00'00"E	120.51'
L2	S8°12'52"E	175.65'
L3	S5°10'52"E	213.53'
L4	N86°52'40"W	15.00'
L5	N5°10'52"W	212.03'
L6	N8°12'52"W	173.13'
L7	N0°00'00"E	112.37'
L8	N4°18'56"W	11.86'
L9	N27°53'04"W	4.95'



THIS IS TO CERTIFY THAT, ON THIS DATE, A TRUE AND ACCURATE SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION OF PROPERTY LOCATED AT 217 281 LOOP, JOHNSON CITY, BLANCO COUNTY, TEXAS, DESCRIBED AS FOLLOWS: BEING A 0.628 ACRE TRACT OF LAND, LYING AND SITUATED IN THE JOSEPH DUEL SURVEY, ABSTRACT NO. 147 AND THE LAND HEREIN DESCRIBED BEING A PORTION OF THAT CERTAIN 91.55 ACRE TRACT CONVEYED TO LEGACY CAPITAL FUNDING, LLC BY WARRANTY DEED WITH VENDORS LIEN RECORDED IN DOCUMENT NO. 216769, OFFICIAL PUBLIC RECORDS OF BLANCO COUNTY, TEXAS

FLOOD NOTE:
THE PROPERTY DEPICTED HEREON IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE FLOOD AREA BEING IDENTIFIED ON F.I.R.M. PANEL NO 48031C0135C EFFECTIVE 02/06/1991 LOCATED IN ZONE "A".

NOTE: THIS TRACT IS SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS, RESTRICTIONS AND RIGHT TO CREATE ADDITIONAL PUBLIC UTILITY EASEMENTS, IF ANY, ACROSS SUBJECT PROPERTY AS SHOWN

NOTE: NO TITLE COMMITMENT SUPPLIED OR REVIEWED FOR THIS PROJECT. PARTIES TO THIS TRANSACTION ARE RESPONSIBLE FOR VERIFICATION OF ALL EASEMENTS, COVENANTS AND CONDITIONS WHICH MAY AFFECT THIS TRACT BUT ARE NOT SHOWN HEREON.

TO: LEGACY CAPITAL FUNDING, LLC

THIS SURVEY SUBSTANTIALLY COMPLIES WITH THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATIONS FOR A CATEGORY 1B, CONDITION III SURVEY AND THE CURRENT MINIMUM REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYING ACT.

06-06-22

B. L. Bryan

DATE BRUCE L. BRYAN, R.L.S.
TEXAS REGISTRATION NO. 4249

BRYAN TECHNICAL SERVICES, INC.



911 NORTH MAIN TAYLOR, TX 76574
PHONE: (512) 352-9090
FIRM No. 10128500
bruce@bryantechnicalservices.com

21032 - OFFSITE SEWER ESM
DRAWN BY: RR