

PLANNING COMMISSION MEETING AGENDA

AUGUST 4, 2022 THURSDAY 6:00 P.M.

Location: Kalamazoo Charter Township Hall, 1720 Riverview Drive, Kalamazoo, MI 49004

AGENDA:

- #1 Call to Order
- #2 Roll call and recognition of visitors
- #3 Approval of the agenda for the August 4, 2022 regular meeting.
- #4 Approval of the minutes for July 14, 2022 Special Meeting.
- #5 Public Comment (3-minute limit)
- #6 Scheduled Reviews:
 - 6a. None
- #7 Public Hearings:
 - 7a. 2017 N. Burdick Street, Special Land Use
- #8 New Business:
 - 8a. Kalamazoo Township Capital Improvement Plan (CIP) [Recommendation Required]
 - 8b. 2017 N. Burdick Street, wood manufacturing business, Special Land Use Review [Action Item]
 - 8c. 2017 N. Burdick Street, wood manufacturing business, Site Plan Review [Action Item]
- #9 Old Business:
 - 9a. 4123 W. Main Drive & Shine, Site Plan Review [Action Item]
- #10 Open Discussion
 - 10a. Members of the Audience
- #11 COMMUNICATIONS: None.
- #12 REPORT OF THE TOWNSHIP BOARD REPRESENTATIVE.
- #13 REPORT OF THE TOWNSHIP ZBA REPRESENTATIVE.
- #14 COMMENTS FROM PLANNING COMMISSION MEMBERS.
- #15 REPORT OF THE PLANNER/ZONING ADMINISTRATOR.
 - Home Occupation Ordinance [Discussion Item]
 - Master Plan Work Session #3: August 25th, 2022 – 6:00 p.m.
- #16 REPORT OF THE TOWNSHIP ATTORNEY.
- #17 ADJOURNMENT.

The public may attend this meeting for your information and comments. Please contact the Planning & Zoning Department if you have any questions at (269) 381-8085.

2023-2028

CAPITAL IMPROVEMENT PLAN

RECOMMENDED BY PLANNING COMMISSION:
APPROVED BY TOWNSHIP BOARD: [DATE]

DRAFT



ACKNOWLEDGEMENTS

CHARTER TOWNSHIP OF KALAMAZOO PLANNING COMMISSION

FRED NAGLER, CHAIR
DENISE HARTSOUGH, VICE-CHAIR
CHRISTOPHER MIHELICH, SECRETARY
WILLIAM CHAPMAN
WARREN COOK
STEVE LEUTY, BOARD REPRESENTATIVE
PETER MORRISON

CHARTER TOWNSHIP OF KALAMAZOO BOARD OF TRUSTEES

DONALD MARTIN, SUPERVISOR
MARK MILLER, CLERK
SHERINE MILLER, TREASURER
ASHLEY GLASS, TRUSTEE
STEVEN LEUTY, TRUSTEE
LISA MAOIERY, TRUSTEE
CLARA ROBINSON, TRUSTEE

STAFF CONTRIBUTIONS

DEXTER MITCHELL, TOWNSHIP MANAGER
NANCY DESAI, DIRECTOR OF FINANCE
BRYAN ERGANG, POLICE CHIEF
DAVE OBREITER, FIRE CHIEF
MCKENNA & ASSOCIATES, PLANNING CONSULTANTS

July 21, 2022

Dear Planning Commission Members:

The 2023-2028 Capital Improvement Plan (CIP) represents the 12TH CIP for the Charter Township of Kalamazoo. The CIP serves as the Township's multi-year planning instrument used to identify needs and financing sources for public infrastructure improvements. The purpose of a CIP is to facilitate the orderly planning of infrastructure improvements; to maintain, preserve, and protect the Township's existing infrastructure system; and to provide for the acquisition or scheduled replacement of equipment to ensure the efficient delivery of services that the community desires. The aim of the CIP is to use it as a tool to implement the Township's Master Plan, goals, objectives, policies, and to assist in the Township's financial planning.

The CIP plays an important role by providing the link between planning and budgeting for capital expenditures. The CIP process occurs prior to the budget process as the CIP will be used to develop the capital portion of the budget. Approval of the CIP by the Planning Commission does not signify final approval or finding of any project contained within the plan. Rather, by approving a CIP, the Planning Commission acknowledges that they agree that the projects present a reasonable interpretation of the upcoming needs/wants for the Township.

The CIP document includes several areas of projects: road and sidewalk maintenance, water & sewer system improvements, parks, trails & facilities improvements, information technology improvements, and vehicle and equipment replacement. Comprehensive spreadsheets detailing project descriptions, estimated project costs, and other pertinent information are included at the end of this document.

Preparation of the CIP is performed under the authority of MCL 125.3865 of the Michigan Planning Enabling Act (Act 33 of 2008) which repealed and replaced the Municipal Planning Commission Act (PA 285 of 1931). The approved CIP will assist Administration and the Township Board during the budget development process. The Planning Commission's assistance throughout this process is greatly appreciated.

Respectfully Submitted,

Nancy Desai
Director of Finance
Charter Township of Kalamazoo

GENERAL OVERVIEW

The purpose of this multi-year plan is to identify infrastructure needs and potential financing sources for public infrastructure improvements. The Township Administration created this Plan in compliance with the MPEA in order to fulfill the vision identified in the Township’s Master Plan.

With a vision, however, comes expectations and costs. The Master Plan identifies the vision, but the expectations and costs are left unstated. The CIP assigns costs to the vision, quantifies the expectations, and presents an annual plan for getting closer to that vision. It is in this role that the Township Administration has prepared this document.

The Township continues to make great strides in setting a new vision for the future and crafting ambitious goals for improvement and revitalization. The reality is, however, not all such goals can be achieved immediately. Limited resources require prioritization and good planning to ensure that resources are used efficiently and effectively for maximum benefit to the community. Scheduling these projects over a five-year span and laying them out prior to and during the budgeting process, assists with the implementation of these priorities, their financing, and Township preparedness for funding opportunities in the future.

This document will be updated each year with a minimum rolling five-year span, and annual projects will be refined as the resources and opportunities for that particular year become clearer. In the event funds are not available to pay for all of the projects listed in the Plan, the Board will work with Administration to prioritize projects based on Township needs.

CAPITAL IMPROVEMENTS IN THE TOWNSHIP

Capital assets or fixed assets, which include property, plant, and equipment, are defined by the Township as assets with an initial individual cost of more than \$2,000 (\$10,000 for infrastructure assets) and an estimated useful life in excess of one year. Intangible assets that meet the capitalization threshold such as easements, water/sewer rights, and computer software are also considered capital in nature. Assets are recorded at historical cost or estimated at historical cost, if purchased or constructed. The reported value excludes normal maintenance and repairs that do not increase the capacity or efficiency of the item or extend its useful life beyond the original estimate.

The Township’s capital assets reside within several asset classes as defined by the Government Accounting Standard Board (GASB). Organizing them into these assets categories and assigning the categories useful lives allows the asset to be easily identifiable.

Asset Class	Useful Life
Land (acquisition)	In Perpetuity
Buildings	40 – 60 years
Improvements – Land & Building	15 – 30 years
Vehicles	05 – 10 years
Equipment	03 – 15 years
Machinery	
Information Technology	
Furniture & Fixtures	
Infrastructure	50 – 75 years
Parks, Sidewalks, and Trails	
Sewer & Water Systems Improvements	
Road Improvements	

SOURCES OF FUNDS

Capital Improvement funds were established to provide a source of funding and the ability to track costs for approved capital projects and equipment replacement. The Township has six capital improvement funds. Funding is available through a special assessment, grants, and a General fund transfer. In addition, the Township has received American Rescue Plan Act (ARPA) funds to provide for various Township improvements.

Capital Projects for Fire and Police are funded through a separate millage that is collected specifically for this purpose – 1.0 mill for Fire and 0.3 mills for Police. This represents a consistent annual source of revenue for these funds to be spent on vehicles, building maintenance and construction, and heavy equipment. These millages are established to provide for capital and operating costs for Police and Fire protection. The consistent revenue stream allows for greater planning for capital projects in these two Township services.

The Township has funds established for sanitary sewer, water, and street improvements. The Sewer/Water funds receive a surcharge assessed by the Township on the utility bill of Township residents to help offset the cost of any improvements. Expansions of the system resulting from new developments are paid for by the development company.

Major expenditures result when a part of the existing infrastructure fails or when the Township seeks an opportunity to expand the existing infrastructure. Often these costs have been paid for through special assessment districts or by seeking grant funds. In some instances, the Township has tapped into its Sewer fund balance to offset some of the costs and/or reduce the burden on the special assessment district. The Sewer fund was created many years ago when the sanitary sewer system was first established, primarily through grant funding and tap-in fees. It has grown over time through investment and additional connection fees. This money is available to be used on sanitary sewer expansion and improvement projects.

A Building Improvements fund was established, through a transfer from the General fund, in 2018 to provide for improvements related to Township hall and its grounds.

Improvements and equipment replacement for Township recreation areas is primarily funded through the General fund. Recreation areas in the Township include parks, trails, and the Grand Prairie golf course.

PROJECTING FUTURE FUNDS

As will be described below, the CIP and the projects within it were determined based on priorities and goals more so than available funds. The Planning Commission is concerned more about documenting all priorities for the next five years than limiting those priorities and projects by a set amount of funds. Therefore, the effort necessary to determine an accurate projection of future revenues in today's economy was not warranted. Therefore, if projects and priorities such as those identified in this Plan are to be implemented, additional revenue sources will have to be sought and obtained, such as ARPA funds to help offset the costs. It is important to take into consideration multi-year projects or projects that require a substantial capital cost. Significant fiscal planning will be required to budget for these costs. Annual revenues derived from millages can be "rolled-over" to the following year to assist in the planning of high-cost projects or multi-year projects.

The CIP funds rely on the availability of General fund monies to supplement projects, if necessary. A determination of future available revenues in the General fund to fund future CIP projects would be difficult because of the instability in the two primary sources of Township revenue: property taxes and state revenue sharing. Due to these uncertainties, no definitive projections are provided for Township revenues for the ensuing five years.

As a general and conservative approach, it should be assumed that revenue levels will remain the same. This accounts for increases in revenue due to inflation and modest development but also includes the likely decreases due to changes to the tax structure and/or reductions in revenue sharing distributions.

USES OF FUNDS

The Commission relies on the Police and Fire departments to provide the determination of needs for their respective funds. Both the Police & Fire Chief review the information in the prior years' CIP and provide updates and feedback for the current five-year plan.

Five year projections are challenging for the Police Department due to the unpredictable rate of turnover in the technology they use and the wear, tear, and risk placed on their equipment on a daily basis. The Police Chief relies on the stability of the Police capital millage to project future project costs. The Police department's routine capital needs are the replacement of vehicles, purchase of technical equipment and enhancement of technology infrastructure, and purchase of personnel equipment.

For several years now, the Fire department has set aside funds for the construction of a new fire station in Eastwood. Construction of the new fire station is expected to begin in late 2023. The Township will use these funds, along with bond proceeds from an issuance, to finance the project. The Fire department's routine capital needs are the replacement of vehicles, station upgrades, and purchase of personnel equipment.

General Township Improvement projects are identified by the Township Manager and Supervisor based on the improvement needs of Township Hall and Parks & Recreation areas throughout the Township. In June 2022, The Township hired architectural consultants to provide a space reconstruction and feasibility plan for the existing Township Hall.

The Water fund projects are determined by the Township and the City of Kalamazoo. Currently, there are no Water fund projects scheduled. Street Improvement projects are determined by the Kalamazoo County Road Commission (KCRC) and the Township. There are no Street improvement projects budgeted.

With the completion of the Stormwater, Asset Management, and Wastewater (SAW) plan, Prein & Newhof has provided the Township with a nine year project schedule for the sewer system contained in the Township. Project costs will be tracked through the Sewer Improvement fund. The Township intends to use the Sewer surcharge fees and/or grants to provide for the costs of these projects.

ANNUAL MAINTENANCE AND IMPROVEMENTS - GENERAL FUND

Specific projects in the General fund are somewhat interchangeable as new projects may come along in the immediate future that were not anticipated when this Plan was created or funding opportunities may arise that cannot be missed. The projects and equipment budgeted in the General fund do not require Planning commission oversight but receive review and approval from the Township Board of Trustees through the budgeting process.

Township Roads Maintenance. Annually, the Board of County Road Commissioners (RCKC) shall determine the amount of participation (PAR) funds to be made available to the Township for use on local road preservation-structural improvement, preventative maintenance and construction projects. The Township must match the funds on a dollar-for-dollar basis. The source of the Township's matching funds is the General fund. The RCKC has

provided approximately \$250,000 annually for local road maintenance and improvements in the Township. Maintaining a quality road network is vital to preserving quality neighborhoods, promoting economic development, and providing a high quality of life to Township residents. The CIP purposefully does not identify local roads and local road projects. Each year, the RCKC and the Township Board meet to discuss local road priorities and needs and how the money should be used in the Township. Because this evaluation occurs each year by those trained to address these issues, our concern is not the particular projects but simply the funds that are allocated to address them. The Street Improvement fund may provide some additional funding also. In addition, the Township receives METRO Act fees (MCL 484.3120) to maintain and improve public right-of-ways with telecommunications equipment on it.

Provide Trail Connections. The Kalamazoo River Trailway is a significant asset that is being developed within the Township at little to no expense to the community. It is up to the Township to provide connections to the various neighborhoods in order to make it easier for residents to access and use the trail. These projects are typically funded through grant opportunities. The General fund provides for expenditures related to engineering and grant writing, these costs may be reimbursed through the grant. The funding is not neighborhood specific as opportunities may develop at different locations and/or at different times depending on trail construction and landowner cooperation.

Expand Sidewalk System. The “2021 Update to the Non-Motorized Transportation Master Plan” enhanced a blueprint for expansion and improvement of the Township’s non-motorized system. Most recently, an annual budget of \$70,000 focused primarily on sidewalk maintenance and improvements.

Parks & Recreation Program. The Planning Commission completed the 2020-2024 Parks & Recreation Master Plan, which identifies projects and goals for improving the Township’s park facilities. The Township will use ARPA funds in 2022 to rehabilitate the golf course parking lot and tennis courts and construct pickle ball courts at Stroud park. The Township will continue to assess its park and recreation areas for improvements in future years.

Capital Outlay. The Township budgets funds for capital outlay in various departments in the General fund. These funds are used for equipment and improvements.

CIP TABLES

Attached are detailed 5 year projection cost tables in the areas of general Township, Police capital, Fire capital, and Sewer System improvements. Below is a summary of projected annual costs from each of the tables.

	<u>2023</u>	<u>2024</u>	<u>2025</u>	<u>2026</u>	<u>2027</u>	<u>2028</u>
GENERAL TOWNSHIP	292,000	50,000	-	6,000	500,000	-
POLICE CAPITAL IMPROVEMENTS	390,000	322,000	150,000	205,000	171,000	315,000
FIRE CAPITAL IMPROVEMENTS	9,357,500	379,500	388,000	354,000	421,000	463,000
SEWER SYSTEM IMPROVEMENTS	2,991,900	744,000	576,100	569,900	615,800	607,200
	\$ 13,031,400	\$ 1,495,500	\$ 1,114,100	\$ 1,134,900	\$ 1,707,800	\$ 1,385,200

CHARTER TOWNSHIP OF KALAMAZOO
 2023-2028 CAPITAL IMPROVEMENTS PROJECT LIST
 GENERAL TOWNSHIP PROJECTS

GENERAL FUND CAPITAL EXPENSES - ROADS, PARKS, BUILDINGS, AND GROUNDS

PROJECT	LOCATION	USEFUL LIFE	QTY	FUNDING SOURCE	2023	2024	2025	2026	2027	2028	COMMENTS
PARK EQUIPMENT & IMPROVEMENTS	VARIOUS PARKS THROUGHOUT TWP	15		FUND 101	6,000	-	-	-	-		
SEAL EXISTING ASPHALT TRACK	WILSON RECREATION AREA	5		FUND 101	6,000		-	6,000			
GENERATOR AT TOWNSHIP HALL	TOWNSHIP HALL	10		FUND 402	200,000						
				FUND							
BOARD ROOM IMPROVEMENTS	TOWNSHIP HALL	10		402/DISASTER	25,000						
REPLACEMENT OF MAINTENANCE PICK UP TRUCK/SNOW PLOW	TOWNSHIP HALL	10			55,000						
FORKLIFT	TOWNSHIP HALL	10		FUND 402		25,000					
REPLACE DUMP TRUCK/SNOW PLOW	TOWNSHIP HALL	10				25,000			-		
ELECTRIC VEHICLE INFRASTRUCTURE	TOWNSHIP HALL								500,000		
Total Funds Expended					\$ 292,000	\$ 50,000	\$ -	\$ 6,000	\$ 500,000	\$ -	

CHARTER TOWNSHIP OF KALAMAZOO
 2023-2028 CAPITAL IMPROVEMENTS PROJECT LIST
 SEWER IMPROVEMENTS CONSTRUCTION PROJECTS

SEWER IMPROVEMENTS												
PROJECT	LOCATION	USEFUL LIFE	QTY	FUNDING SOURCE	2023	2024	2025	2026	2027	2028	COMMENTS	
SANITARY (CLEAN/CCTV/ROOT CUT) MAINTENANCE	ALL AREAS	50		FUND 883	93,400	95,300	97,200	99,100	101,100	103,100		
SANITARY - POINT REPAIR	RAVINE ROAD	50		FUND 883	43,500							
SANITARY - POINT REPAIR	GRAND PRAIRIE	50		FUND 883	47,000							
SANITARY - POINT REPAIR	GULL ROAD WEST OF FAIRFIELD AVE	50		FUND 883	49,400							
LIFT STATION IMPROVEMENTS (CONSTRUCTION)	WINDING WAY LIFT STATION	50		FUND 883	445,300							
LIFT STATION IMPROVEMENTS (ADMIN/OBSERVATION)	WINDING WAY LIFT STATION	50		FUND 883	29,600							
PRESSURE SYSTEM (CONSTRUCTION)	WINDING WAY LIFT STATION	50		FUND 883	257,700							
PRESSURE SYSTEM (CONST ADMIN/CONST OBSERV)	WINDING WAY LIFT STATION	50		FUND 883	28,200							
SANITARY - RECONSTRUCTION	LAKE STREET (OLMSTEAD/SHAKESPEARE AVE)	50		FUND 883	1,521,700							
SANITARY - RECONSTRUCTION (CONST ADMIN/CONST OBSERV)	LAKE STREET (OLMSTEAD/SHAKESPEARE AVE)	50		FUND 883	140,000							
SANITARY - POINT REPAIR	TURWILL LANE	50		FUND 883		109,500						
SANITARY - POINT REPAIR	GULL ROAD @ HENSON AVE	50		FUND 883		67,500						
LIFT STATION IMPROVEMENTS (CONSTRUCTION)	WOODWARD LIFT STATION	50		FUND 883	292,300							
LIFT STATION IMPROVEMENT (ADMIN/OBSERV)	WOODWARD LIFT STATION	50		FUND 883	19,400							
LIFT STATION IMPROVEMENTS (DESIGN)	G AVENUE LIFT STATION	50		FUND 883	24,400							
LIFT STATION IMPROVEMENTS (CONSTRUCTION)	G AVENUE LIFT STATION	50		FUND 883		412,900						
LIFT STATION IMPROVEMENT (ADMIN/OBSERV)	G AVENUE LIFT STATION	50		FUND 883		36,400						
LIFT STATION IMPROVEMENTS (DESIGN)	KENILWORTH LIFT STATION			FUND 883		22,400						
LIFT STATION IMPROVEMENTS (CONSTRUCTION)	KENILWORTH LIFT STATION						336,600					
LIFT STATION IMPROVEMENT (ADMIN/OBSERV)	KENILWORTH LIFT STATION						22,400					
SANITARY - POINT REPAIR	BIXBY ROAD						45,900					
SANITARY - POINT REPAIR	EAST MAIN STREET @ COOPER AVE						54,400					
LIFT STATION IMPROVEMENTS (DESIGN)	MOSEL LIFT STATION						19,600					
LIFT STATION IMPROVEMENTS (CONSTRUCTION)	MOSEL LIFT STATION							293,900				
LIFT STATION IMPROVEMENT (ADMIN/OBSERV)	MOSEL LIFT STATION							19,600				
SANITARY - POINT REPAIR	IRA AVENUE							85,300				
SANITARY - POINT REPAIR	ARLINGTON STREET							51,000				
LIFT STATION IMPROVEMENTS (DESIGN)	SCHIPPERS LANE LIFT STATION							21,000				
LIFT STATION IMPROVEMENTS (CONSTRUCTION)	SCHIPPERS LANE LIFT STATION								314,300			
LIFT STATION IMPROVEMENT (ADMIN/OBSERV)	SCHIPPERS LANE LIFT STATION								21,000			
SANITARY - POINT REPAIR	NORTH BURDICK STREET								55,900			
SANITARY - POINT REPAIR	NORTH BURDICK STREET @MOSEL AVE								83,800			
SANITARY - POINT REPAIR	GILKISON AVENUE								25,400			
LIFT STATION IMPROVEMENTS (DESIGN)	LAUDERDALE LIFT STATION								14,300			
LIFT STATION IMPROVEMENTS (CONSTRUCTION)	LAUDERDALE LIFT STATION									178,000		
LIFT STATION IMPROVEMENT (ADMIN/OBSERV)	LAUDERDALE LIFT STATION									14,300		
SANITARY - POINT REPAIR	NICHOLS ROAD NORTH OF WEST MAIN ST.									50,000		
SANITARY - POINT REPAIR	DOUGLAS AVENUE NORTH OF KAAF DR.									69,000		
SANITARY - POINT REPAIR	DOUGLAS AVENUE AT BARN OWL LANE									51,800		
SANITARY - RECONSTRUCTION	DOUGLAS ROAD/BARNEY									43,000		
SANITARY - RECONSTRUCTION	W.MAIN STREET EAST OF SAGE ST.									33,900		
FORCE MAIN REPLACEMENT	LAUDERDALE LIFT STATION									64,100		
Total Funds Expended					\$ 2,991,900	\$ 744,000	\$ 576,100	\$ 569,900	\$ 615,800	\$ 607,200		

CHARTER TOWNSHIP OF KALAMAZOO
 2023-2028 CAPITAL IMPROVEMENTS PROJECTS
 POLICE CAPITAL PROJECTS

POLICE CAPITAL MILLAGE - .6 MILLS											
PROJECT	LOCATION	USEFUL LIFE - YEARS	QTY	FUNDING SOURCE	2023	2024	2025	2026	2027	2028	COMMENTS
REPLACEMENT/PROCUREMENT OF LETHAL & LESS LETHAL WEAPONS PLATFORMS	TWP HALL	5		FUND 810			35,000				
OFFICE FURNITURE	TWP HALL	10		FUND 810							NEW WORKSPACE FURNITURE TO MEET PHYSICAL NEEDS FOR EFFICIENT WORKSPACE
BALLISTIC PLATES	TWP HALL	15	40	FUND 810							REPLACE STEEL PLATES IN VESTS FOR PROTECTION
EVIDENCE STORAGE REMODEL	TWP HALL	15	1	FUND 810/GRANTS							REMODEL "OUTSIDE" EVIDENCE STORAGE AREA AND EXPAND SECURED FOOTPRINT
BODY WORN CAMERAS REPLACEMENTS		5	40	FUND 810	100,000						REPLACE FOR CURRENT CAMERAS
MOBILE VIDEO RECORDER REPLACEMENT	POLICE VEHICLES	5		FUND 810	150,000						REPLACE CURRENT SYSTEM IN VEHICLES
FORENSIC/EVIDENCE EQUIPMENT	TWP HALL	7	1	FUND 810		7,000					PHOTO, VIDEO, AND OTHER EQUIPMENT FOR ID & COLLECTION OF EVIDENCE
SMART PHONES REPLACEMENT	TWP HALL	3				10,000					FOR DICTATION, PHOTO/VIDEO, PHONE, COMM'S, ETC
POLICE LOCKERS INSTALL	TWP HALL	20		FUND 810		150,000					INSTALL NEW LOCKERS FOR PD
COMPUTER WORKSTATIONS	TWP HALL	5	30	FUND 810				60,000			REPLACE EXISTING WORKSTATION WITHIN PD
IDENTIX DIGITAL FINGERPRINT MACHINE	TWP HALL	7		FUND 217				30,000			
DICTATION EQUIPMENT	TWP HALL	5		FUND 810		10,000					REPLACE EXISTING DICTATION EQUIPMENT
FLOCK LPR				FUND 810	25,000	25,000	25,000	25,000	25,000	25,000	VIDEO SYSTEM TO ID VEHICLE ASSOCIATED WITH FELONIES ETC. SHARED SERVICE WITH LOCAL AGENCIES
VEHICLE REPLACEMENT - ADMIN/SUPPORT/INVESTIGATIONS VEHICLES		7		FUND 810	32,000	32,000	32,000	32,000	32,000	32,000	ON-GOING VEHICLE REPLACEMENT AS NEEDED
VEHICLE REPLACEMENT - POLICE VEHICLES		7		FUND 810	37,000	37,000	37,000	37,000	37,000	37,000	ON-GOING VEHICLE REPLACEMENT AS NEEDED AFTER MARKET VEHICLE MODIFICATIONS FOR POLICE VEHICLES
POLICE VEHICLE CHANGE OVER COSTS		7		FUND 810	6,000	6,000	6,000	6,000	6,000	6,000	
POLICE VEHICLE EQUIPMENT		5		FUND 810	15,000	15,000	15,000	15,000	15,000	15,000	EQUIPMENT INSTALLED IN VEHICLES
MOBILE WORKSTATIONS						30,000					
DRONES					25,000						
RECORDS MANAGEMENT SYSTEM	TWP HALL	10		FUND 810						200,000	
WEAPONS LETHAL/LESS LETHAL		7		FUND 810					56,000		
TKPD K-9 PROJECT				FUND 810							DEVELOPMENT OF POLICE K-9 PROGRAM FOR DEPLOYMENT WITH TRACKING; EXPLOSIVE DETECTION CAPABILITIES
					\$ 390,000	\$ 322,000	\$ 150,000	\$ 205,000	\$ 171,000	\$ 315,000	

CHARTER TOWNSHIP OF KALAMAZOO
 2023-2028 CAPITAL IMPROVEMENTS PROJECT LIST
 FIRE CAPITAL PROJECTS

FIRE CAPITAL EXPENSE MILLAGE - 1.0 MILLS											
PROJECT	LOCATION	USEFUL LIFE - YEARS	QTY	FUNDING SOURCE	2023	2024	2025	2026	2027	2028	COMMENTS
INSTALL SECURITY CAMERAS	ALL STATIONS	10	1	FUND 811	45,000						PERIMETER OF ALL STATIONS
BATTERY POWERED SMOKE EJECTORS	ALL STATIONS	12	7	FUND 811	35,000						
HONDA GENERATOR WITH TELE-LITE LAMP	ALL STATIONS	12	5	FUND 811	12,500						REPLACE OUT OF SERVICE UNITS
NEW STATION SIGNS	ALL STATIONS	15	3	FUND 811	24,000						INCREASE INFO OUT/REPLACE OLD
REBUILD EASTWOOD STATION	EASTWOOD STATION	50	1	BOND/FUND 811	9,000,000						
REBUILD/REPLACE LADDER AND REFURB TRUCK	EASTWOOD STATION	20	1	FUND 811		375,000					PHASE II/LADDER REBUILD; VEHICLE #842
PARKING LOT MAINT/REBUILD	LAKEWOOD STATION	15	1	FUND 811				75,000			
INSTALL HVAC UNIT DAYROOM	NORTHWOOD			FUND 811	10,000						
FENCE REPLACEMENT	NORTHWOOD	20		FUND 811				25,000			
REPLACE GYM EQUIPMENT	NORTHWOOD	15		FUND 811				25,000			
REPLACE GARAGE ROOF	NORTHWOOD STATION	25	1	FUND 811	5,000						
PARKING LOT MAINT/REBUILD	NORTHWOOD STATION	15	1	FUND 811			90,000				
REPLACE/REPAIR COMMUNITY ROOM	NORTHWOOD STATION			FUND 811	15,000						
LED UPGRADES	NORTHWOOD/WESTWOOD	15		FUND 811	10,000						
REPLACE STAFF VEHICLE - FIRE MAINTENANCE	TWP HALL	8	1	FUND 811	46,000						VEHICLE #856
REPLACE STAFF VEHICLE - FIRE CHIEF	TWP HALL	8	1	FUND 811					46,000		VEHICLE #890
AIR BAGS/RESCUE STRUTS	WESTWOOD STATION	15	1	FUND 811	35,000						VEHICLE #814
REPLACE FENCING AROUND PROPERTY	WESTWOOD STATION	25	1	FUND 811	15,000						
REPLACE/REPAIR WINDOWS IN DAY ROOM	WESTWOOD STATION	25	1	FUND 811		4,500					
REPLACE BACK RAMP CONCRETE DRIVE	WESTWOOD STATION	25	1	FUND 811			20,000				
PARKING LOT MAINT/REBUILD	WESTWOOD STATION	15	1	FUND 811				127,000			
REBUILD/REPLACE LADDER AND REFURB TRUCK	WESTWOOD STATION	20	1	FUND 811					375,000		VEHICLE #844/PHASE II LADDER REBUILD
FRONT APRON CONCRETE REPAIR	WESTWOOD STATION	15		FUND 811	15,000						
REPAIR/REPLACE UNDERGROUND BOILER PIPE	WESTWOOD STATION			FUND 811	10,000						HOUSE TO COMMUNITY ROOM
NEW BATHROOM/SINKS/FIXTURES	WESTWOOD STATION	15		FUND 811	5,000						
REPLACE A/C UNITS IN HOUSE	WESTWOOD STATION			FUND 811			18,000				
EXTERIOR STRUCTURE MAINTENANCE	WESTWOOD STATION	20		FUND 811				50,000			REPAIR SIDING, WINDOWS, AND ROOF
VEHICLE TECHNOLOGY UPDATES				FUND 811	25,000						
REPLACE PORTABLE VHF FIRE RADIOS		10	18	FUND 811	25,000						
REPLACE RESCUE TOOLS		15		FUND 811			100,000				REPLACE HYDRAULIC WITH ELECTRIC
REPLACE FIRE GEAR FOR FIREFIGHTERS				FUND 811			160,000				COATS, PANTS, BOOTS, HELMETS, ETC.
REPLACE STAFF VEHICLE UNIT 800		10		FUND 811				52,000			2018 TAHOE (FIRE CHIEF)
REPLACE STAFF VEHICLE UNIT 801		10		FUND 811						58,000	FIRE MAINT VEHICLE
REPLACE SCBA - ALL STATIONS		12		FUND 811						375,000	
STATION COMPUTER (IT) UPDATES				FUND 811						10,000	
EQUIPMENT PURCHASE/REPLACEMENT				FUND 811						20,000	
REPAIR/REPLACE CONCRETE WALKWAY SW DOOR	NOTHWOOD	20		FUND 811	25,000						
					\$ 9,357,500	\$ 379,500	\$ 388,000	\$ 354,000	\$ 421,000	\$ 463,000	



Memorandum

TO: Kalamazoo Charter Township Planning Commission
FROM: Kyle Mucha, AICP, Senior Planner
SUBJECT: **Special Land Use Review – Jack Livingstone, Tree Fellers Wood Products & Furniture, 2017 North Burdick**
DATE: July 25, 2022

The Applicant, Jack Livingstone of Tree Fellers Wood Products and Furniture, is seeking special land use approval to operate a wood production business located at 2017 North Burdick. The subject site is zoned I-2, General Industrial. While the applicant’s business operations to create wood furniture from raw materials is not explicitly listed as a special land use, we note that the outdoor storage of wood piles is closely related to the permitted special land use “Contractor’s yards and storage facilities for building materials, sand, gravel, stone, lumber, equipment and supplies.” However, it should also be noted that the applicant will not be using pre-cut lumber on-site, only raw wood.

The proposed business is a principal permitted use in the I-2 District, “Wood products manufacturing, including furniture manufacturing” per Section 20.02.A.

SUMMARY OF REQUEST

As noted above, the applicant is requesting special land use approval to operate a contractor’s yard and storage facility for building materials, lumber, equipment and supplies in association with the wood furniture making business located at 2017 North Burdick. The manufacturing component will be conducted in the existing industrial building located at 2017 N. Burdick, with the contractor yard/storage yard located to the immediate west on parcel number Parcel ID: 06-10-165-060. The applicant proposes to combine the two parcels for a total site acreage of 3.85. Furthermore, the applicant proposes to install an egress only access drive onto West Dunkley Street.

STANDARDS FOR GRANTING SPECIAL LAND USE APPROVAL

Section 26.03.C of the Township Zoning Ordinance outlines the standards for granting special land use approval. Those standards are as follows.

1. Compatibility with Adjacent Uses

The proposed special land use shall be designed, constructed, operated and maintained to be compatible with uses on surrounding land. The site design of the proposed special land use shall minimize the impact of site activity on surrounding properties. In determining whether this requirement has been met, consideration shall be given to:

a. *The location and screening of vehicular circulation and parking areas in relation to surrounding development.*

The applicant proposes to construct a six (6) foot tall wooden fence along the southern portion of the property to screen the vehicular circulation and parking area from adjacent residential uses. Further, the applicant proposes to construct additional parking spaces adjacent to the existing industrial building, which is anticipated to reduce the apparent impact on adjacent residential uses. Additional parking and site circulation will be reviewed during the Site Plan Review.



The applicant has indicated that vehicles will be traveling frequently across the yard to deposit and retrieve raw materials for use in the manufacturing process. The applicant proposes to operate the business Monday through Saturday, 9:00 a.m. to 5:00 p.m. We find that the proposed business hours of operation are within the Township's General Ordinance as it pertains to noise levels and operational hours. The applicant is further advised to review Section 324.004 of Township Ordinance's to ensure full compliance.

- b. *The location and screening of outdoor storage, outdoor activity or work areas, and mechanical equipment in relation to surrounding development.*

The applicant indicates the outdoor storage, proposed for the western portion of the subject site, will be screened from adjacent residential uses by installation of a six (6) foot tall wooden fence. The applicant has not indicated if any equipment will be stored outdoors at this time. Further details pertaining to mechanical equipment will be needed to ensure compliance with the Township Zoning Ordinance.

- c. *The hours of operation of the proposed use. Approval of a special land use may be conditioned upon operation within specified hours considered appropriate to ensure minimal impact on surrounding uses.*

As previously noted, the applicant indicates hours of operation will be between 9:00 a.m. and 5:00 p.m. Monday to Saturday.

- d. *The bulk, placement, and materials of construction of the proposed use in relation to surrounding uses.*

The applicant proposes to construct an outdoor storage yard on the western portion of the subject site. The storage area will be accessed via a 12' wide interior gravel road. The storage yard is proposed to have logs, firewood and trees. Further consideration of the placement of the storage yard will be considered during the Site Plan Review process. For the purpose of special land use approval the applicant is required to provide dimensions and a height limit for the firewood are delineated on the plan. We recommend the height not exceed the proposed fence height to adequately screen it from public view.

- e. *Proposed landscaping and other site amenities. Additional landscaping over and above the requirements of this Ordinance may be required as a condition of approval of a special land use.*

The applicant has provided details pertaining to landscaping which are intended to enhance the current vegetative state of the subject parcel. We find that the applicant is generally meeting the intent of the ordinance. Further landscaping requirements and analysis have been conducted during the site plan review process.

2. Compatibility with the Master Plan

The proposed special land use shall be consistent with the general principles and objectives of the Township's Master Plan.

The subject site and surrounding sites are zoned and planned for general industrial uses.



3. Public Services

The proposed special land use shall be located so as to be adequately served by essential public facilities and services, such as highways, roads, police and fire protection, drainage systems, water and sewage facilities, and schools, unless the proposal contains an acceptable plan for providing necessary services or evidence that such services will be available by the time the special land use is established.

The subject site has frontage along North Burdick Street. The applicant proposes to construct an egress access drive onto West Dunkley Street, between 216 & 206 W. Dunkley. Additional review of public services will be conducted during the Site Plan Review process to ensure that this stipulation is met.

4. Impact of Traffic

The location of the proposed special land use within the zoning district shall minimize the impact of the traffic generated by the proposed use. In determining whether this requirement has been met, consideration shall be given to the following:

a. *Proximity and access to major thoroughfares.*

The site currently has frontage along North Burdick Street. The applicant proposes ingress access along N. Burdick and egress access onto W. Dunkley Street. Access onto West Dunkley Street will need to be granted by the City of Kalamazoo Right-of-Way Coordinator.

b. *Estimated traffic generated by the proposed use.*

We defer to the applicant to further describe the anticipated traffic generated by the proposed contractor's yard. However, with data provided by the Kalamazoo Area Transportation Study, N. Burdick has an average daily traffic volume of 1,563 vehicles. The additional traffic generated by the applicant's proposal, anticipated at eight (8) vehicles a week, is not anticipated to significantly impact traffic volumes on N. Burdick.

c. *Proximity and relation to intersections.*

The subject site is located near the intersection of N. Burdick Street and West Dunkley Street.

d. *Adequacy of driver sight distances.*

The applicant proposes an egress access along West Dunkley Street, between 206 & 216 W. Dunkley. The amended site plan, dated July 7, 2022, shows vehicle turning radius existing the subject side, heading east on West Dunkley Street. We will defer any additional sight distance concerns to the Township Engineer and the City of Kalamazoo.

e. *Location of and access to off-street parking.*

Proposed off-street parking is to be located on the front (east), side (north) and rear (west) of the existing industrial building. Ingress access to the off-street parking is proposed to be from N. Burdick St. The site plan indicates internal traffic patterns to be that of a one-way: we recommend that the applicant install directional signage and pavement markings to aid drivers once on-site.



f. *Required vehicular turning movements.*

The applicant has provided dimensions regarding the proposed maneuvering lanes. While it appears that the proposed drive isles meet the requirements of Article 4 of the Township Zoning Ordinance (12' minimum drive isle width for one-way traffic), we defer any additional comments regarding vehicular turning movements to the Township Fire Marshal and Engineer.

g. *Provisions for pedestrian traffic.*

A 5-foot-wide sidewalk has been included on the proposed site plan, traversing north/south along N. Burdick Street.

5. *Detrimental Effects*

The proposed special land use shall not involve any activities, processes, materials, equipment, or conditions of operation, and shall not be located or designed so as to be detrimental or hazardous to persons or property or to public health, safety, and welfare. In determining whether this requirement has been met, consideration shall be given to the level of traffic, noise, vibration, smoke, fumes, odors, dust, glare, and light.

The proposed use and construction of an outdoor storage area is not anticipated to be detrimental nor hazardous to persons or property or to the public health, safety and welfare. We advise the Planning Commission to take into consideration any and all public comment that may be received during the Public Hearing to determine if this provision has been satisfactorily met by the applicant.

6. *Economic Well-Being of the Community*

The proposed special land use shall not be detrimental to the economic well-being of those who will use the land, residents, businesses, landowners, and the community as a whole.

It is not anticipated that the proposed use will cause any adverse effects to the economic well-being of the community.

7. *Compatibility with Natural Environment*

The proposed special land use shall be compatible with the natural environment and conserve natural resources and energy.

The subject site and surrounding sites are all currently zoned and planned for industrial uses.

RECOMMENDATIONS & CONSIDERATIONS

The applicant has made progress in bringing the special land use application into compliance with Township regulations. The Special Land Use Application can be approved, subject to the following conditions:

1. The applicant provides details regarding any outdoor storage of mechanical equipment and proposed height limit and dimensions for firewood pile.
2. Access to West Dunkley Street is approved by the City of Kalamazoo.
3. Directional signage is installed on site to denote "one-way" traffic flow and pattern.
4. Approval of the Site Plan for 2017 N. Burdick Street.
5. Any other comments/concerns raised by additional reviewing agencies.



If you have any questions or would like additional information on this recommendation, please feel free to reach out to Kyle Mucha, AICP, Senior Planner at kmucha@mcka.com.

Respectfully Submitted,
McKenna

Kyle Mucha, AICP
Senior Planner

cc. Paul Lippens, AICP, NCI – Vice President



Memorandum

TO: Kalamazoo Charter Township Planning Commission
FROM: Kyle Mucha, AICP, Senior Planner
SUBJECT: **Site Plan Review – Jack Livingstone, Tree Fellers Wood Products & Furniture
2017 North Burdick**
DATE: July 25, 2022

The Applicant, Jack Livingstone, is seeking site plan approval to operate several permitted uses, per the I-2, General Industrial District, on the subject site, located at 2017 North Burdick. These uses include:

- Wood products manufacturing, including furniture manufacturing.
- The manufacturing, compounding, assembling, packaging, or treatment of articles or merchandise from previously prepared materials.

In general, the applicant’s business utilizes wood (chopped off-site) to create furniture and other decorative pieces. The wood is planned to be separated into several piles and stored on-site outdoors. The applicant plans to drive on the site to access the wood piles, which are indicated to be located on the western portion of the subject parcel. The wood does not consist of treated lumber. The applicant has also indicated the need for an on-site office to handle sales and services incidental to the manufacturing of the wood products and furniture.

OVERVIEW

The applicant, based on the narrative provided to Township staff, indicates that the warehouse would be used for the creation of wood products and furniture (countertops, tables, lamps, slab mantles, sculptures). The applicant proposes outdoor storage of raw wood materials, such as a material storage yard, prior to the manufacturing of finished products inside the facility. This type of storage would require a Special Land Use and is subject to additional approvals.

PROPOSED IMPROVEMENTS

The applicant proposes to utilize the 2.84-acre parcel, located to the west of 2017 North Burdick, as a wood products processing yard, which will require review and approval as a Special Land Use. The applicant also proposes to construct an additional 15 parking spaces, which will be located to the north and west of the existing building.

USE OF THE PROPERTY

The property has an existing warehouse style building on site and an associated concrete parking area along the eastern portion of the building. Wood product manufacturing, including furniture manufacturing is a permitted use within the I-2, General Industrial District. The use of the existing building is deemed appropriate for the I-2 District, however an outdoor contractor’s yard and storage facility for building materials, lumber, equipment and supplies will require a Special Land Use review and approval by the Planning Commission.



EXISTING AND SURROUNDING CONDITIONS AND ZONING DISTRICTS

The surrounding properties to the north, east and west of the site are zoned I-2, General Industrial. The property to the south is zoned I-2, General Industrial, however the use is that of a residence. The proposed outdoor contractor’s yard will abut residential uses located along West Dunkley Street to the south.

Based on the proximity of the residential uses located to the immediate south of the subject site, and as stipulated in Section 2.03.A.4 (impact on adjacent buildings or uses), McKenna review staff recommend the Planning Commission consider the impact the contractor’s yard will have on adjacent property owners.

SITE PLAN REVIEW

Schedule of Regulations: Section 25.02

Regulation Type	I-2 General Industrial District Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
Maximum Stories	2	1	Yes
Maximum Building Height	45 ft.	No proposed changes	NA
Front Yard Setback	50 ft.	38'	Existing structure
Side Yard Setback	30 ft. (each)	24' & 27'	Existing structure
Rear Yard Setback	50 ft.	Not indicated	Yes
Maximum Lot Coverage	75%	13%	Yes

The applicant is required to demonstrate compliance with Ordinance standards in terms of setbacks. However, we note that the proposed operations will be located in an existing building which may have been constructed prior to the Ordinance update in 2016. The applicant is advised that any new structures to be located on the site will need to meet current ordinance standards.

Off-Street Parking

Section 4.01.D.6 of the Township Zoning Ordinance requires 1 parking space per every 750 square feet of gross floor area dedicated to “Manufacturing”. The gross floor area of the existing structure is approximately 14,347 sq. ft, as supplied by the applicant. Therefore, 20 parking spaces are required by the ordinance.

The site plan, revised date of 7/22/2022, shows a total of 20 parking spaces, some of which measure 10' x 20' while others measure 9' x 20'. Of these 20 spaces, five (5) are currently in existence along the eastern portion of the building, with direct access to N. Burdick Street.

The applicant proposes to access the additional 15 spaces by an ingress only along N. Burdick Street. Once vehicles are on site, travel will function in a “one-way” pattern, with the egress to the site being located along W. Dunkley. We advise the applicant to contact the City of Kalamazoo, Right-of-Way Coordinator, regarding the proposed egress onto W. Dunkley. The applicant will need to provide confirmation of approval from the City of Kalamazoo to Township staff.



In addition to parking requirements, Section 2.20.D.4 – Industrial Uses – regulates the type of material needed for pavement. The applicant has indicated their desire to use gravel instead of a paved material for site circulation and the parking area. The proposal does not meet the requirements of Section 2.20.D.4., however the Planning Commission does have the ability to waive paving requirements for parking areas and other vehicle maneuvering areas (Section 2.20.D.2.). We defer to any additional comments regarding the proposed use of gravel versus paved material to the Township Fire Marshal and Engineer.

Parking Lot Landscaping

The applicant is advised of the following requirements as it pertains to parking lot landscaping as provided in the following table.

Regulation Type: Parking Lot Landscaping	Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
General Landscaping Ratio	30 sq. ft. per parking space (20 spaces x 30 sq. ft. = 600 sq. ft.)	Unspecified	*Partially
Minimum Planting Area Width	9 feet	Not dimensioned	*Partially
Deciduous or Evergreen Trees	One (1) shade tree per five (5) spaces	Multiple Existing	*The site plan indicates the retention of multiple mature growth trees

*The applicant indicates to retain existing trees located on the subject property, as indicated in a green color and those that will be removed are in a blue color. We are encouraged by the applicant's design creativity and find that the retention of existing mature growth trees aligns with the Township's goal for natural features and elements. Therefore, it is recommended that the Planning Commission accept the applicant's landscaping plan as submitted.

Landscaping Adjacent to Roads

The applicant is advised of the following requirements as it pertains to landscaping adjacent to roads.

Regulation Type: Landscaping Adjacent to Roads	Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
Minimum Planting Area Width	15 feet	Not dimensioned	*Partially
Deciduous or Evergreen Trees	One (1) tree per 40 linear feet: $166' / 40' = 4$ trees	1 (existing)	*Partially
Ornamental Trees	One (1) tree per 100 linear feet: $166' / 100 = 2$ trees	None proposed	NO
Shrubs	Eight (8) shrubs per 40 linear feet: 32 shrubs	13	*Partially

Note: frontage calculations were based on N. Burdick Street and W. Dunkley Street (as shown on the site plan).



*The applicant proposes to reutilize an existing industrial site. The submitted site plan shows enhancements to the existing landscaping along N. Burdick Street and proposed landscaping along W. Dunkley. Due to site constraints, the ability to successfully install the required landscaping trees and shrubs would ultimately be detrimental to the overall health of the vegetation due to the close proximity of said vegetation. Plantings that are clustered together in order to meet ordinance requirements would compete for resources. We find that the applicant is making a good faith basis to bring the site into conformance with the Township Zoning Ordinance. Therefore, we encourage the Planning Commission to accept the proposed landscape layout as submitted by the applicant. For further reference, the existing property does not have the required landscaping existing on site.

Greenbelt

It has been noted that the applicant wishes to reutilize an existing site that does not currently have a greenbelt along North Burdick. Due to the current location of the building being an estimated 40 feet from the edge of the road, it may not be advantageous for the applicant to install a greenbelt at this location. We defer to the Planning Commission on whether the greenbelt requirement should be waived in accordance with Section 5.07 – Modifications to Landscape Requirements.

Lighting

The applicant has not provided a lighting plan for review by Township Staff. We advise the applicant to note that Section 2.12.C. – Lighting General Requirements – states the following:

Sufficient lighting shall be required for parking areas, walkways, driveways, building entrances, loading areas, and public common areas to ensure the security of property and safety of persons.

Until such a time as the applicant provides this information, we are unable to offer a positive finding that the site meets the requirements of Section 2.12. However, should future lighting be proposed by the applicant, Township staff can review the lighting plan to ensure conformance with the Zoning Ordinance.

Signage

The applicant has not provided any details pertaining to site signage. Site signage can be reviewed and addressed administratively, should the applicant seek to pursue signage at a later date.

Trash Disposal

Section 2.22 outlines the requirements for trash removal and collection. The site plan indicates a dumpster enclosure will be located along the southern portion of the existing building, near N. Burdick Street. The applicant indicates that the dumpster enclosure will be fenced and have gated access. The applicant should further be informed that a screening fence will need to be a minimum of six (6) feet in height and constructed of a masonry wall or wood fencing.

BUILDING AND SITE DESIGN

The applicant has submitted building elevations. These elevations include the installation of new overhead doors, which are proposed to be installed along the west elevation of the existing structure. Furthermore, Section 20.03.A.3 – Development Standards – pertaining to the I-2, General Industrial District, stipulates the following:

- a. *Outside storage areas shall be located no closer than one hundred fifty (150) feet to any street right-of-way line and no closer than twenty (20) feet to all other property lines.* The proposed storage area, located on the western portion of the site, meets this requirement.
- b. *Outside storage areas shall be located no closer than one hundred (100) feet to any residential district.* The subject site is bordered by residential uses to the south, however these uses are not within a zoned residential district. This requirement is met.



- c. *Outside storage areas which have the potential to be visible from a public or private road or which abut a residential or commercial district shall be screened by a wall or fence, constructed in accordance with Article 6. The applicant has indicated a hinged gate will be installed near the southern egress point, however no gate details have been provided. The applicant will need to provide further details of the proposed gate to ensure compliance with this requirement.*
- d. *No materials shall be stored above eight (8) feet in height. The applicant has not provided details pertaining to the proposed height of the firewood on pallets, trees on pallets nor the indicated logs. This information will be required.*
- e. *Proper access to all parts of the storage areas shall be provided for fire and emergency vehicles. We defer any additional comments regarding this requirement to the Township Fire Marshal.*

ADDITIONAL REVIEWS

Additional Township Staff review comments are provided below.

Township Fire Marshal

Comments provided by the Fire Marshal are provided via a separate document.

Township Engineer

Comments provided by the Township Engineer are provided via a separate document.

Other Comments

The applicant indicates “Future Expansion Area” onto a parcel that is not contiguous with 2017 N. Burdick Street. The applicant has not indicated what the intent of this future expansion area is, nor how the site will be accessed due to a lack of road frontage. Future use of this secondary parcel will require an additional site plan review.

RECOMMENDATIONS

The site plan, revised 7/22/2022, addresses some concerns raised by Planning & Zoning staff, however outstanding concerns/items still remain to be addressed for Fire Safety and Engineering. Due to these concerns and requirements having not yet been met, Township staff recommends that the Planning Commission **TABLE** the application review until such time as the aforementioned items have been addressed. Items to still be addressed, but are not limited to:

1. A right-of-way (ROW) permit is issued by the City of Kalamazoo for access onto W. Dunkley Street.
2. The Planning Commission grant a waiver to permit a gravel surface on site where an asphalt surface is required by the Zoning Ordinance.
3. The Planning Commission grants a deviation from the landscaping requirements for reasons previously indicated in the staff memorandum. Further, the submitted landscaping plan be accepted.
4. Exterior lighting to be reviewed and approved administratively.
5. Any on site signage to be reviewed and approved administratively.
6. Dumpster enclosure details are provided for administrative review.
7. Any other comments/concerns raised by additional review agencies.



Please feel free to reach out to Kyle Mucha, AICP at kmucha@mcka.com if you have any questions regarding this review.

Respectfully Submitted,

McKenna

Kyle Mucha, AICP
Senior Planner

cc. Paul Lippens, AICP, NCI – Vice President

Memorandum

Date:	July 19, 2022
To:	Planning Commission
Company:	Charter Township of Kalamazoo
From:	Ryan M. Russell, P.E., Township Engineer
Project #:	2220863
Re:	Tree Fellers Wood Products – Site Plan Review

We have received and reviewed the site plan dated July 11, 2022 and have the following comments.

1. Grading:

- a. Provide existing and proposed grades on site.
- b. Provide building FFE.
- c. Provide spot grades for barrier free parking. Each barrier-free parking space shall have no more than a nominal three percent (3%) grade.
 - i. Provide adjacent access aisle not less than five (5) feet in width. Required van-accessible barrier-free spaces must be eight (8) feet in width and be adjacent to an access aisle not less than eight (8) feet in width.

2. Traffic Flow:

- a. Provide signing and striping for one-way traffic flow.
- b. The Township fire chief shall review the site for emergency access.
- c. A driveway permit will be required for the connection to Dunkley.
 - i. Please submit approved driveway permit once obtained.

3. Drainage:

No storm structures or basins are proposed. Due to the increase in impervious area, storm retention is required. The stormwater basin storage design must use a 100-year event for calculating volume that contains more than 1' of freeboard.

- a. Provide detailed calculations for basin sizing based on drain commission requirements, and the following information is needed before final approval.

Contributing Area [ac]
Runoff "C" Value
Allowable Release Rate [cfs/ac]
Rainfall Frequency
Site Release Rate [cfs]
Factor of Safety
Required Storage Volume [cft]
Time to Empty [hr]

4. Soil Erosion Control:

- a. A SESC plan was not provided. A SESC plan is not required but highly recommended.

5. Water Main:

No water main or water connections are proposed.

- a. No fire hydrants are proposed. The number and location shall be reviewed by the township fire chief.
- b. Hydrants and service connections must meet City of Kalamazoo specifications.

6. Sanitary Sewer:

No sanitary sewer is proposed.

We hope these comments are helpful in your review of this site plan.



2
A-01 **Tree Fellers Wood Products & Furniture, Street View**
SCALE: 1/4" = 1'-0"

Tree Fellers Wood Products & Furniture

2017 N. Burdick Street, Kalamazoo, MI 49007

Drawing Index:

- A-01 Index & Street View
- A-02 Site Plan
- A-02a Aerial Site Plan & Notes
- A-02b Topographical Boundary Survey & Legal Descriptions
- A-03 Foundation Plan
- A-04 First Floor Plan
- A-05 Mezzanine Floor Plan
- A-06 Roof Plan
- A-07 Cross Section, Longitudinal Section, & Woodworking Section
- A-08 East & North Elevations and 6'-0" High Wood Fence Details
- A-09 South & West Elevations

Architectural Symbols		
<p>Site Plan</p> <ul style="list-style-type: none"> ● BM-1 Bench Mark Number 680.0 (Elevation in Feet) ● TB-1 Test Boring Number ○ MH Manhole ○ CB Catch Basin ○ Light Pole ○ Fire Hydrant ● Power or Telephone Pole ▭ Curb Inlet ○ Existing Tree to be Removed ○ Existing Tree to Remain — New Topo Contour Line — Existing Topo Contour — W Water Line — E Electric Line — F.O. Fuel Oil Line — SS Storm Sewer — FD Foundation Drain Tile — Contract Limit Line — Property Line — Fence — S Sanitary Sewer — RD Roof Drain Tile Loop — G Gas Line — T Telephone Line 	<p>Reference Symbols</p> <ul style="list-style-type: none"> ▲ NORTH North Arrow Designation Plan Views ①-109 Detail Number ①-112 Sheet Number ①-112 Direction of View F-1 Footing Type 99'-4" E.T.F. - Elevation TOP OF FOOTING 100'-0" Location of Step 100'-0" Step 102'-0" Footing 100'-0" Elevation Notes 102'-4" TOP OF WALL Notes Storage Room Name 106 Room Number 007 Door Number Arrows indicate direction of view Cutting Plane Line Arrow may point to object for floor change. See notes for revision dates design revision number. Arrow may point to equipment item. See eq. schedule for notes Equipment item number. 24 Column number, see schedule for notes Intel Number See schedule for notes 	<p>Material Indications</p> <ul style="list-style-type: none"> Concrete wall, plan view Brick veneer on etud wall, plan view Rigid insulation, cross section Dimensional lumber, sized, cross section- continuous member Dimensional lumber sized, cross section, intermittent Plywood, cross section Earth, cross section Existing construction to be removed, (wall plan view) Existing construction to remain, (wall plan view) Fire rated wall plan view construction, see notes. Concrete block wall Batts insulation, cross section view Wood etud wall, plan view Steel, cross section Gravel, cross section Sand, cross section Stucco plaster finish, cross section, over concrete block wall Wood flooring, plan view Brick parging, basket weave pattern plan view Tile flooring, plan view Stone paving, plan view Center line, plan view Ceiling cave trim, plan view Roof overhang line, plan view Hidden line, all views

Architect's Seal

NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 07/22/2022

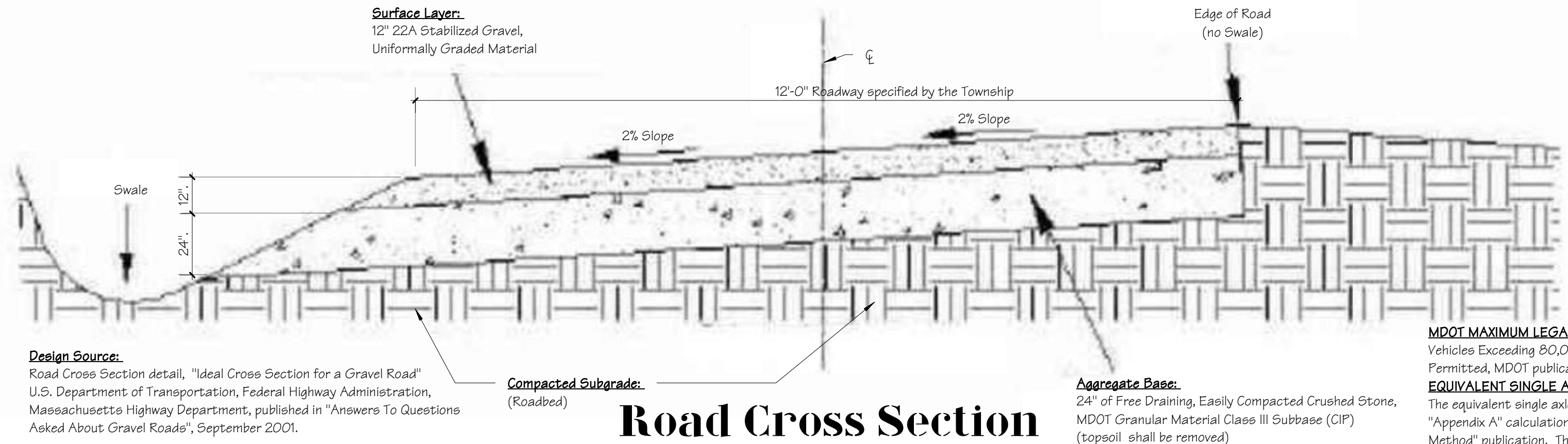
Revised:

Drawn by: R.A.S.

Project: 0984.101

Sheet Number

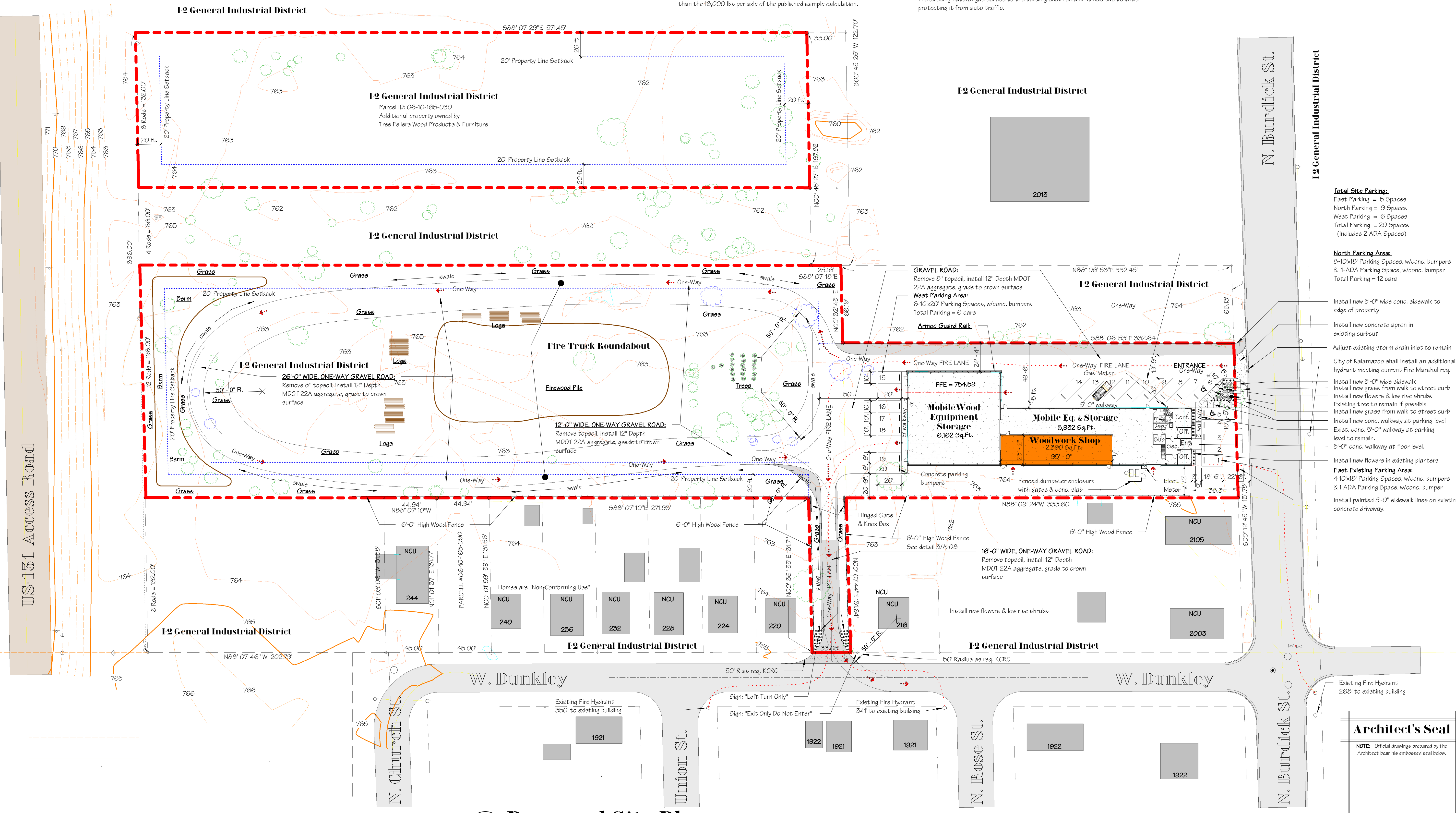
A-01



Road Cross Section

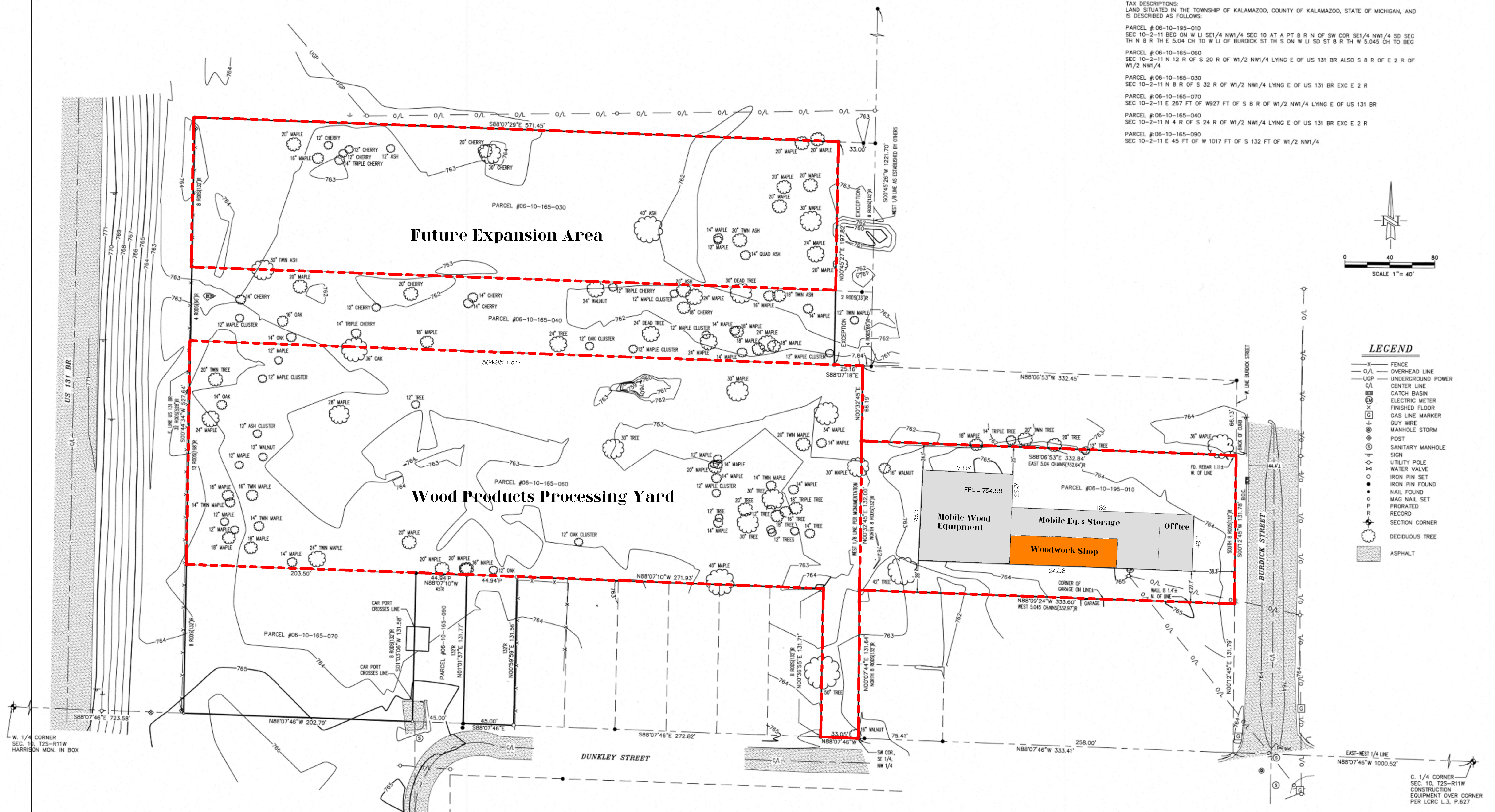
Notes:

- 1. Knox Box:**
Fire Department "Knox Box" shall be selected and specified by the Fire Marshal. The mounting location and installation shall be specified by the Fire Marshal, and the complete work shall be approved by the Fire Marshal.
- 2. Fire Hydrant:**
The City of Kalamazoo shall furnish and install an additional hydrant meeting current Fire Marshal requirements.
- 3. Concrete Parking Bumpers:**
Concrete parking bumpers shall be installed for each parking space to stop cars from hitting the building and protecting the walkways as noted on the Site Plan.
- 4. Building Street Name & Numbers:**
The building street name and number shall be 12" high, in contrasting black color, refer to East Elevation drawing.
- 5. One-Way Signs & Fire Lane Signs:**
The "One-Way" signs & "Fire Lane" signs shall be located and installed as recommended by the Fire Marshal.
- 6. Existing Water Service:**
The existing water service to the building shall remain.
- 7. Existing Sanitary Sewer Service:**
The existing sanitary sewer service to the building shall remain.
- 8. Existing Electrical Service:**
The existing electrical service to the building shall remain. It has a new 6'-0" high wood fence and a bollard protecting it from auto traffic.
- 9. Existing Natural Gas Service:**
The existing natural gas service to the building shall remain. It has two bollards protecting it from auto traffic.
- 10. Existing Telephone Service:**
The existing telephone service to the building shall remain.
- 11. New Internet Service:**
New internet service shall be installed to the building.
- 12. Storm Water Calculation:**
The Owner's Professional Engineer is currently creating the Storm Water Calculation and shall be submitted when completed.



TOPOGRAPHICAL BOUNDARY SURVEY:~

TAX DESCRIPTIONS:
 LAND SITUATED IN THE TOWNSHIP OF KALAMAZOO, COUNTY OF KALAMAZOO, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:
 PARCEL #06-10-195-010
 SEC 10-2-11 BEG ON W LI SE1/4 NW1/4 SEC 10 AT A PT 8 R N OF SW COR SE1/4 NW1/4 SD SEC TH N 8 R TH E 5.04 CH TO W LI OF BURDICK ST TH S ON W LI SD ST B R TH W 5.045 CH TO BEG
 PARCEL #06-10-165-060
 SEC 10-2-11 N 12 R OF S 20 R OF W1/2 NW1/4 LYING E OF US 131 BR ALSO S 8 R OF E 2 R OF W1/2 NW1/4
 PARCEL #06-10-165-030
 SEC 10-2-11 N 8 R OF S 32 R OF W1/2 NW1/4 LYING E OF US 131 BR EXC E 2 R
 PARCEL #06-10-165-070
 SEC 10-2-11 E 267 FT OF W927 FT OF S 8 R OF W1/2 NW1/4 LYING E OF US 131 BR
 PARCEL #06-10-165-040
 SEC 10-2-11 N 4 R OF S 24 R OF W1/2 NW1/4 LYING E OF US 131 BR EXC E 2 R
 PARCEL #06-10-165-090
 SEC 10-2-11 E 45 FT OF W 1017 FT OF S 132 FT OF W1/2 NW1/4



LEGEND

---	FENCE
—○—	OVERHEAD LINE
—○/—	UNDERGROUND POWER
—U—P—	CENTER LINE
—C/L—	CATCH BASIN
⊕	ELECTRIC METER
⊕	GAS LINE MARKER
⊕	QUY WIRE
⊕	MANHOLE STORM
⊕	POST
⊕	SANITARY MANHOLE
⊕	SIGN
⊕	UTILITY POLE
⊕	WATER VALVE
⊕	IRON PIN SET
⊕	IRON PIN FOUND
⊕	NAIL FOUND
⊕	MAG NAIL SET
⊕	PRORATED RECORD
⊕	SECTION CORNER
⊕	DECIDUOUS TREE
⊕	ASPHALT

GENERAL NOTES:

- 1) BEARING BASIS IS USING MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, PER MDT CORS NETWORK. ELEVATION DATUM IS USING NAVD 88 PER MDT CORS NETWORK
- 2) ALL BEARINGS AND DISTANCES ARE FIELD MEASURED UNLESS OTHERWISE NOTED.
- 3) THE PARCEL NUMBERS ARE 06-10-195-010; 06-10-165-060; 06-10-165-030; 06-10-165-070; 06-10-165-040 & 06-10-165-090.
- 4) THE PROPERTY ADDRESS IS 2017 N. BURDICK ST., KALAMAZOO MI 49007
- 5) THERE WAS SNOW COVER AT THE TIME OF SURVEY. ALL GROUND FEATURES MAY HAVE NOT BEEN LOCATED.

NOTE: THIS SURVEY MADE FROM DESCRIPTION FURNISHED.
 TO: JACK LIVINGSTONE
 I, THOMAS A. STEPHENSON, A PROFESSIONAL SURVEYOR IN THE STATE OF MICHIGAN, HEREBY CERTIFY THAT THIS SURVEY WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION.

THOMAS A. STEPHENSON, P.S.#4001046689

STEPHENSON LAND SURVEYING

	27873 WHITE STREET CASSOPOLIS, MICHIGAN 49031 (269) 445-8903	
	SCALE: 1" = 40'	REVISIONS: BY DATE
	DATE: 1/25-27/2022	BY: T.A.S.
	SHEET 1 OF 1	

TOPO. SURVEY FOR JACK LIVINGSTONE
 IN PART OF SEC. 10, KALAMAZOO TWP.,
 KALAMAZOO CO., MI 22022



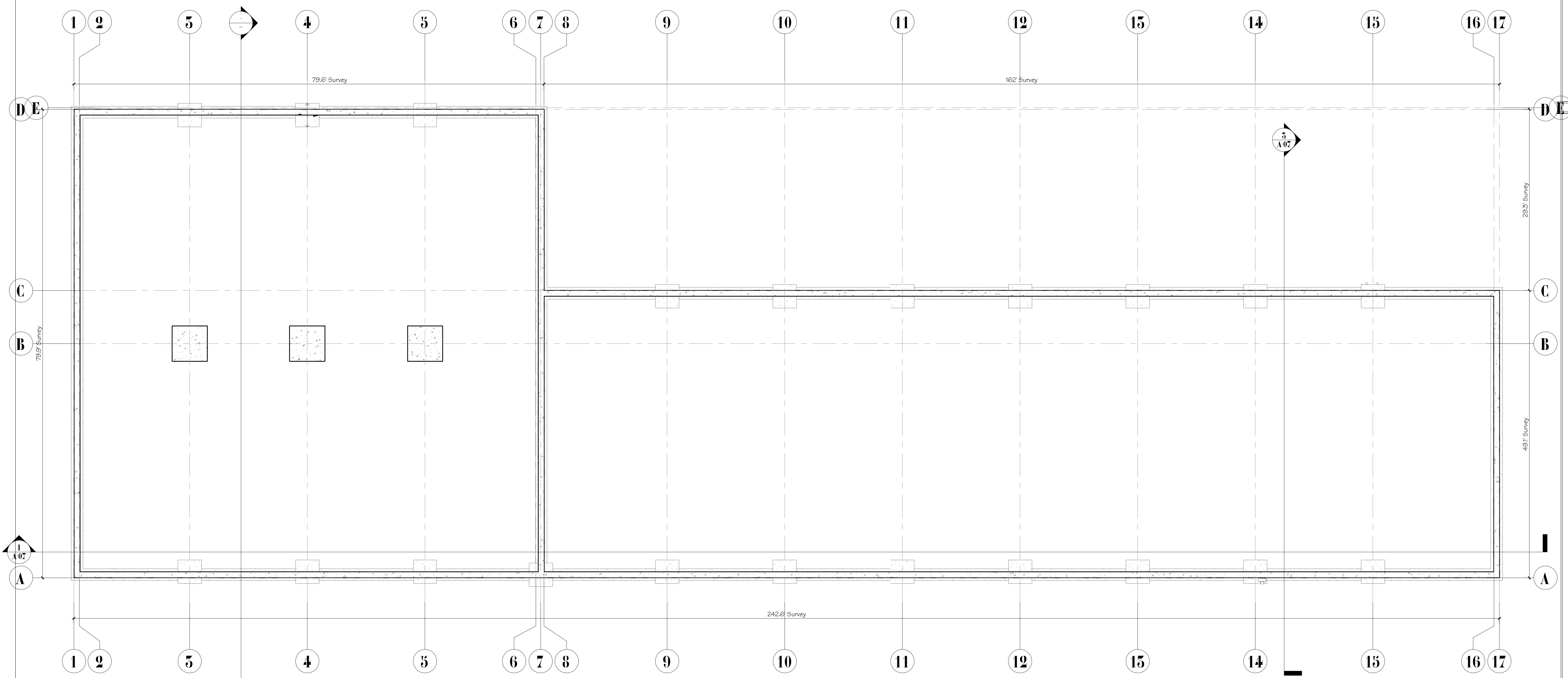
1 Topographical Boundary Survey
 SCALE: 1" = 40'-0"

Architectural Workshop, Inc.
 Richard Schramm, Architect
 7540 Stadium Drive
 Kalamazoo, MI 49009
 Phone: 269.375.2472
 Fax: 269.372.7272
 www.ArchWorks.us

Topographical Boundary Survey
 © Copyright Richard Schramm 2018 / Do not copy or duplicate without written permission. The Architect's embossed seal is required on this document.
Tree Fellers Wood Products & Furniture
 2017 N. Burdick Street, Kalamazoo, MI 49007

Date: 07/22/2022
 Revised:
 Drawn by: Author
 Project: 0984.101

Sheet Number
A-021



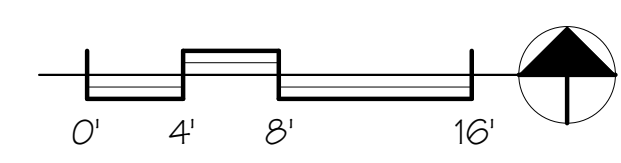
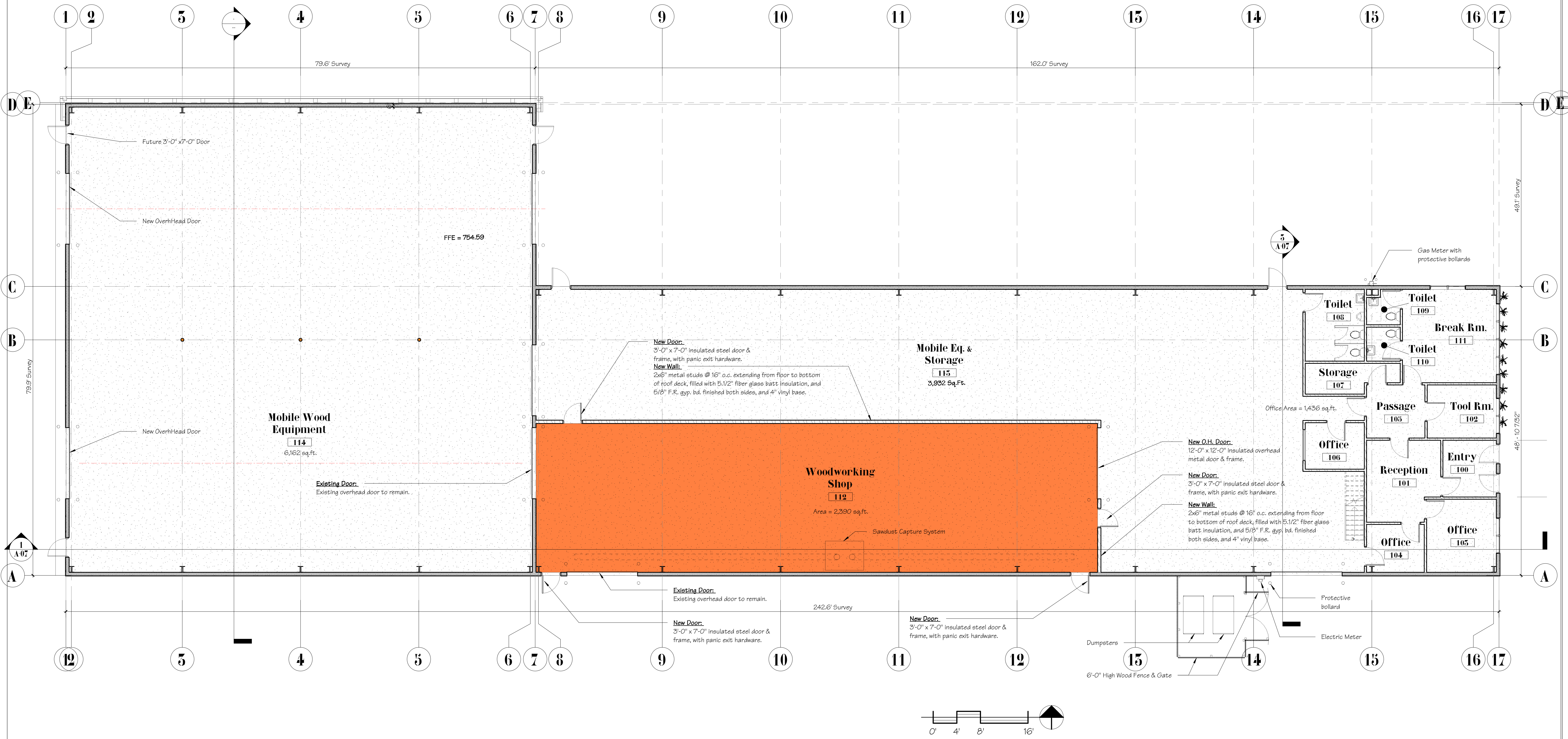
1
A-05 **Foundation Plan**
SCALE: 1/8" = 1'-0"
0' 4' 8' 16'

Architectural Workshop, Inc.
Richard Schramm, Architect
7540 Stadium Drive
Kalamazoo, MI 49009
Phone: 269.375.2472
www.ArchWorkshop.us
FAX: 269.372.7272

Foundation Plan
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Tree Fellers Wood Products & Furniture
2017 N. Burdick Street, Kalamazoo, MI 49007

Architect's Seal
NOTE: Official drawings prepared by the Architect bear his embossed seal below.

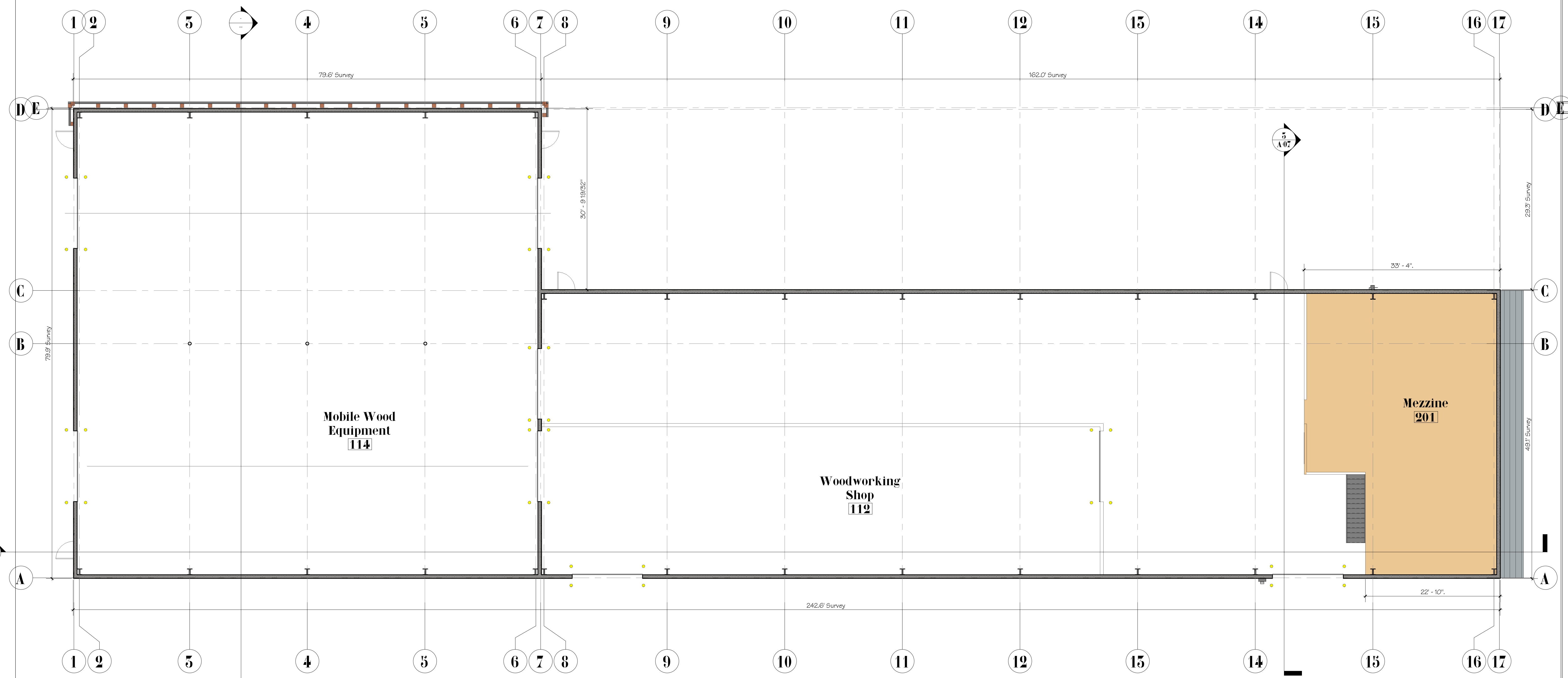
Date: 07/22/2022
Revised:
Drawn by: R.A.S.
Project: 0984.101
Sheet Number
A-05



Architect's Seal
 NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 07/22/2022
 Revised:
 Drawn by: R.A.S.
 Project: 0984.101

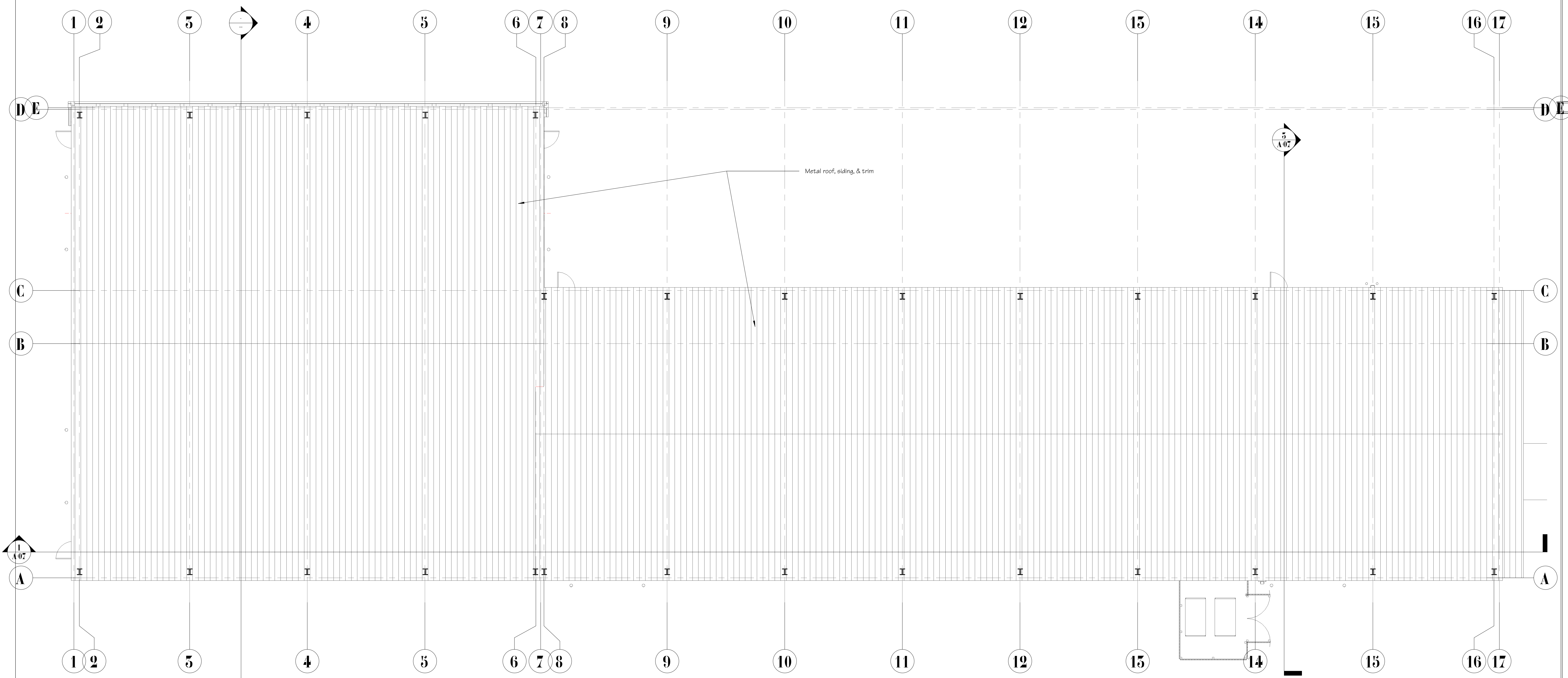
Sheet Number
A-04



1 Mezzanine Level
 A-05 SCALE: 1/8" = 1'-0"
 0' 4' 8' 16'

Architect's Seal
 NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 07/22/2022
 Revised:
 Drawn by: R.A.S.
 Project: 0984.101
 Sheet Number
A-05



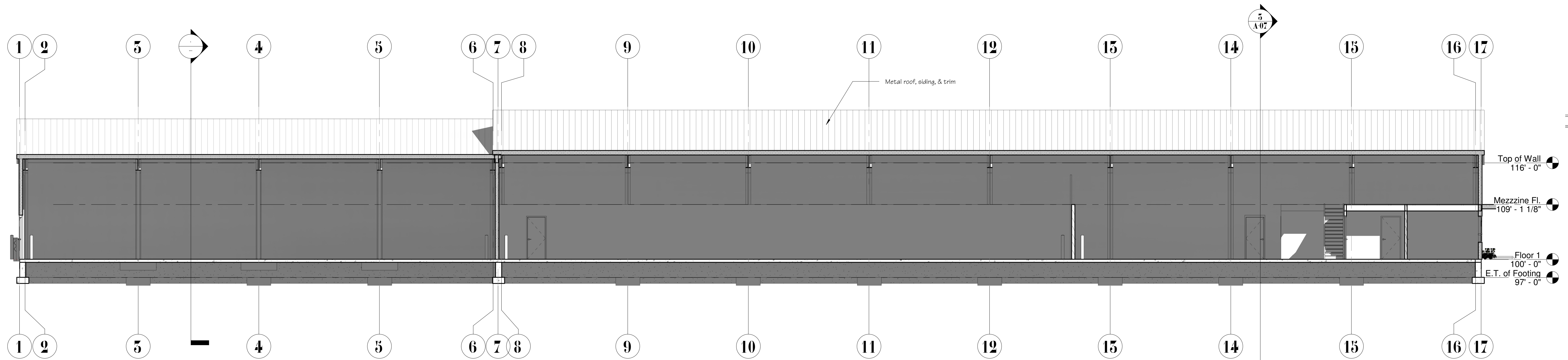
1
A-06 **Roof Plan**
SCALE: 1/8" = 1'-0"
0' 4' 8' 16'

Architectural Workshop, Inc.
Richard Schramm, Architect
7540 Stadium Drive
Kalamazoo, MI 49009
Phone: 269.375.2472
www.ArchWorkshop.us
FAX: 269.372.7272

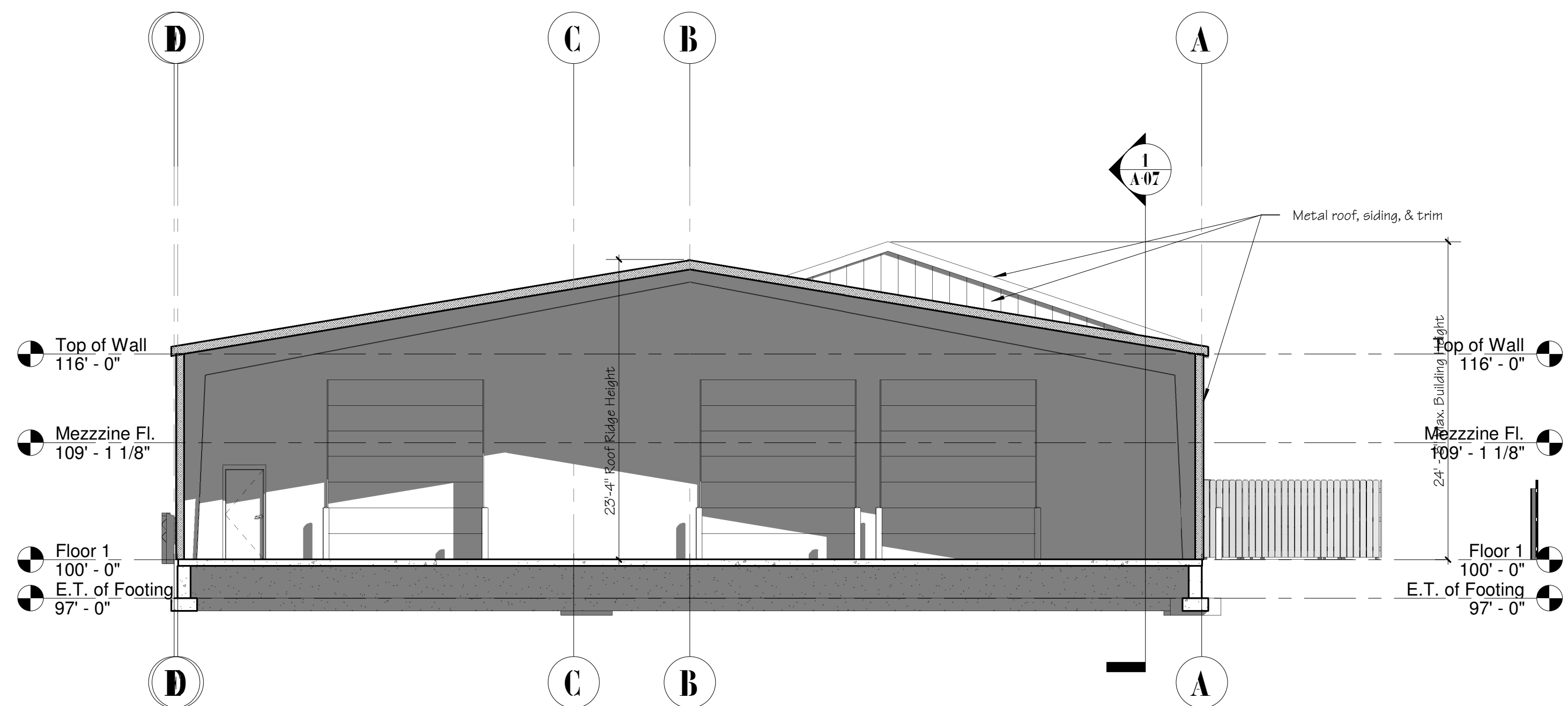
Roof Plan
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Tree Fellers Wood Products & Furniture
2017 N. Burdick Street, Kalamazoo, MI 49007

Architect's Seal
NOTE: Official drawings prepared by the Architect bear his embossed seal below.

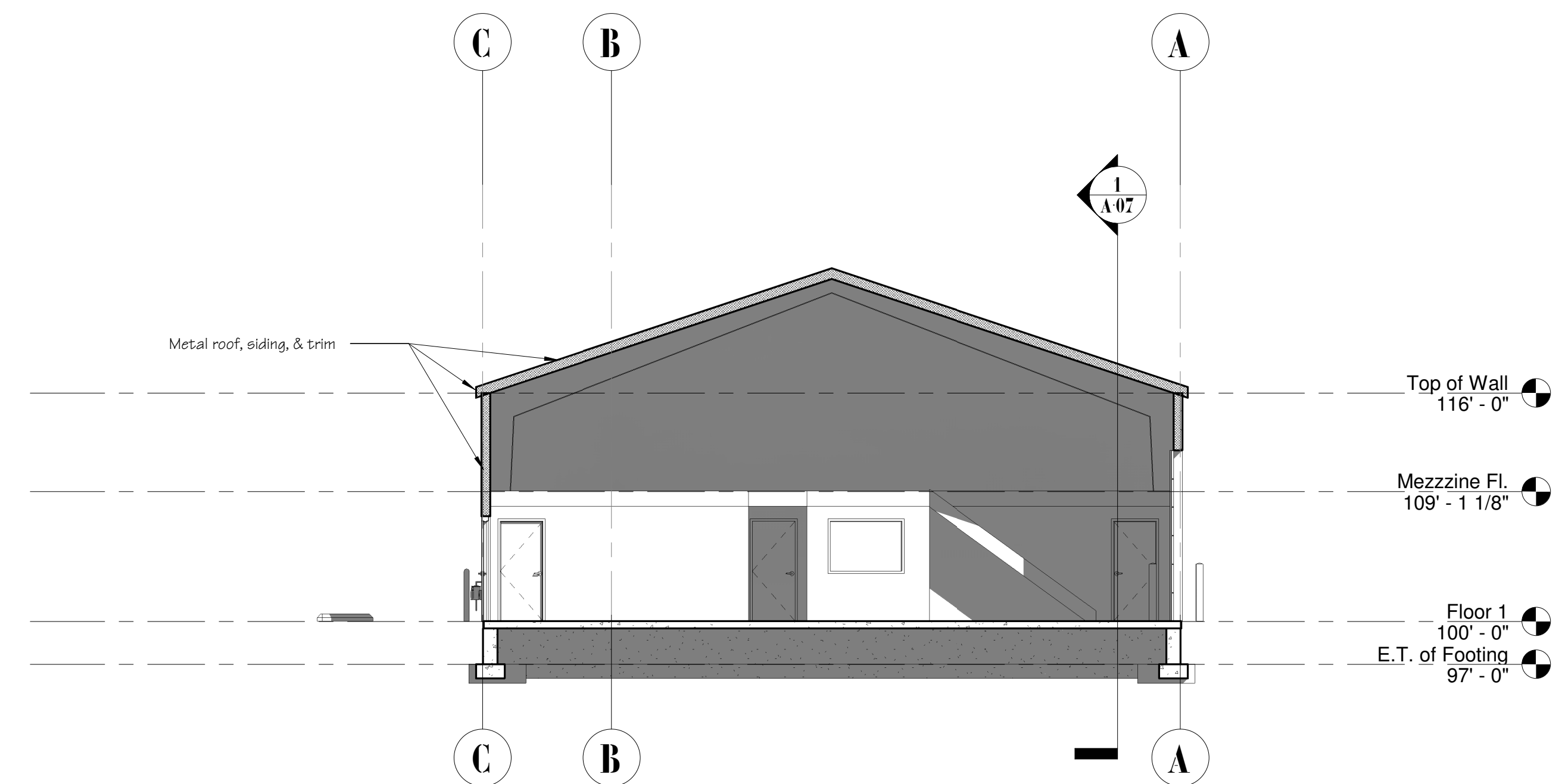
Date: 07/22/2022
Revised:
Drawn by: R.A.S.
Project: 0984.101
Sheet Number
A-06



1
A-07 Longitudinal Section
SCALE: 1/8" = 1'-0"
0' 4' 8' 16'



2
A-07 Cross Section
SCALE: 1/8" = 1'-0"
0' 4' 8' 16'

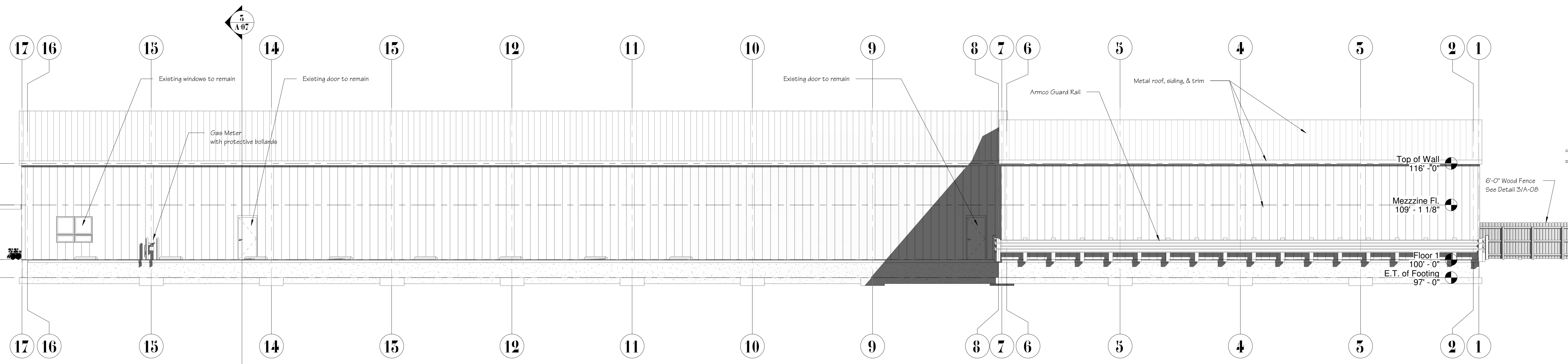


5
A-07 North-South Section
SCALE: 1/8" = 1'-0"
0' 4' 8' 16'

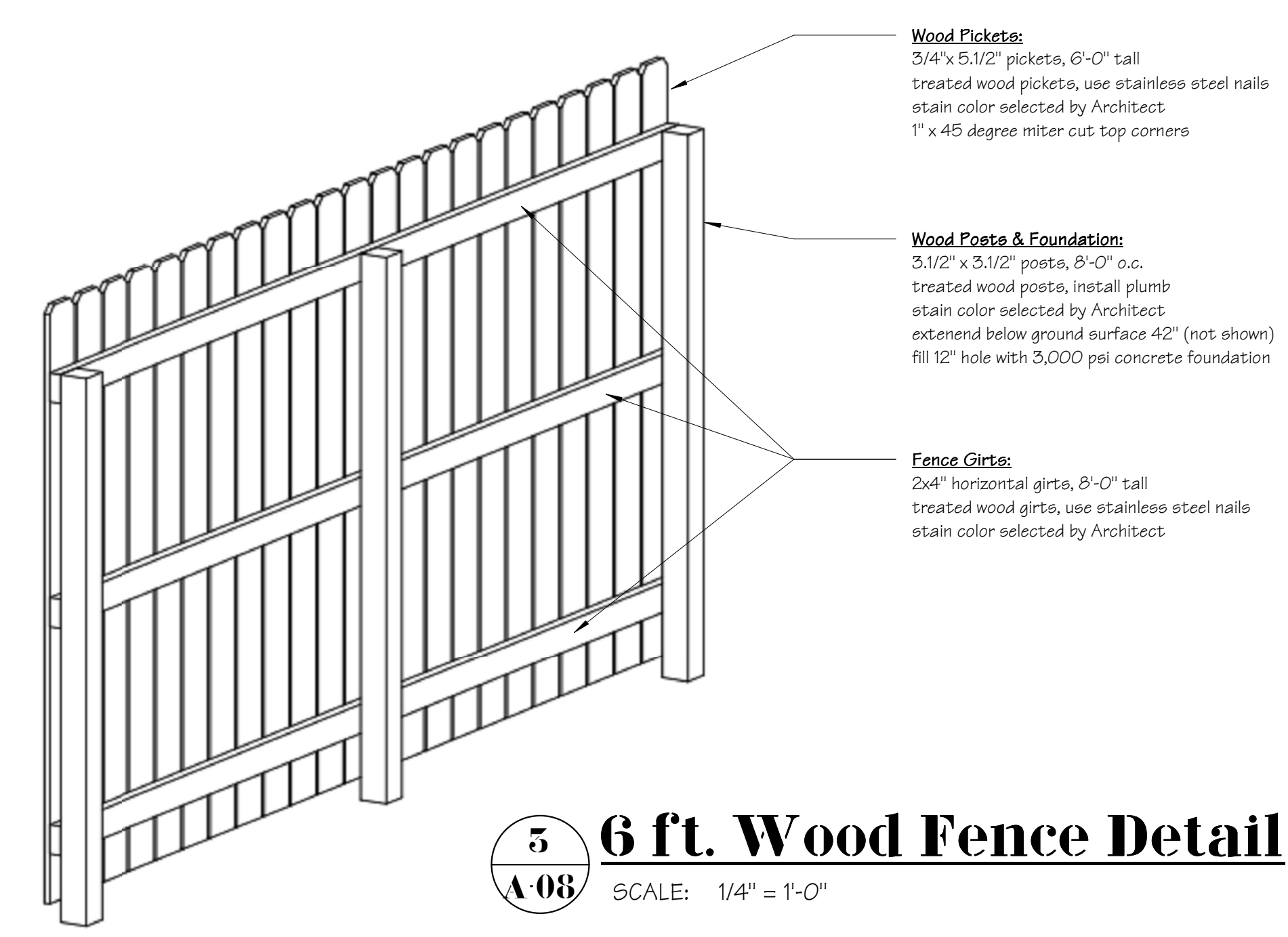
Architect's Seal
NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 07/22/2022
Revised:
Drawn by: R.A.S.
Project: 0984.101

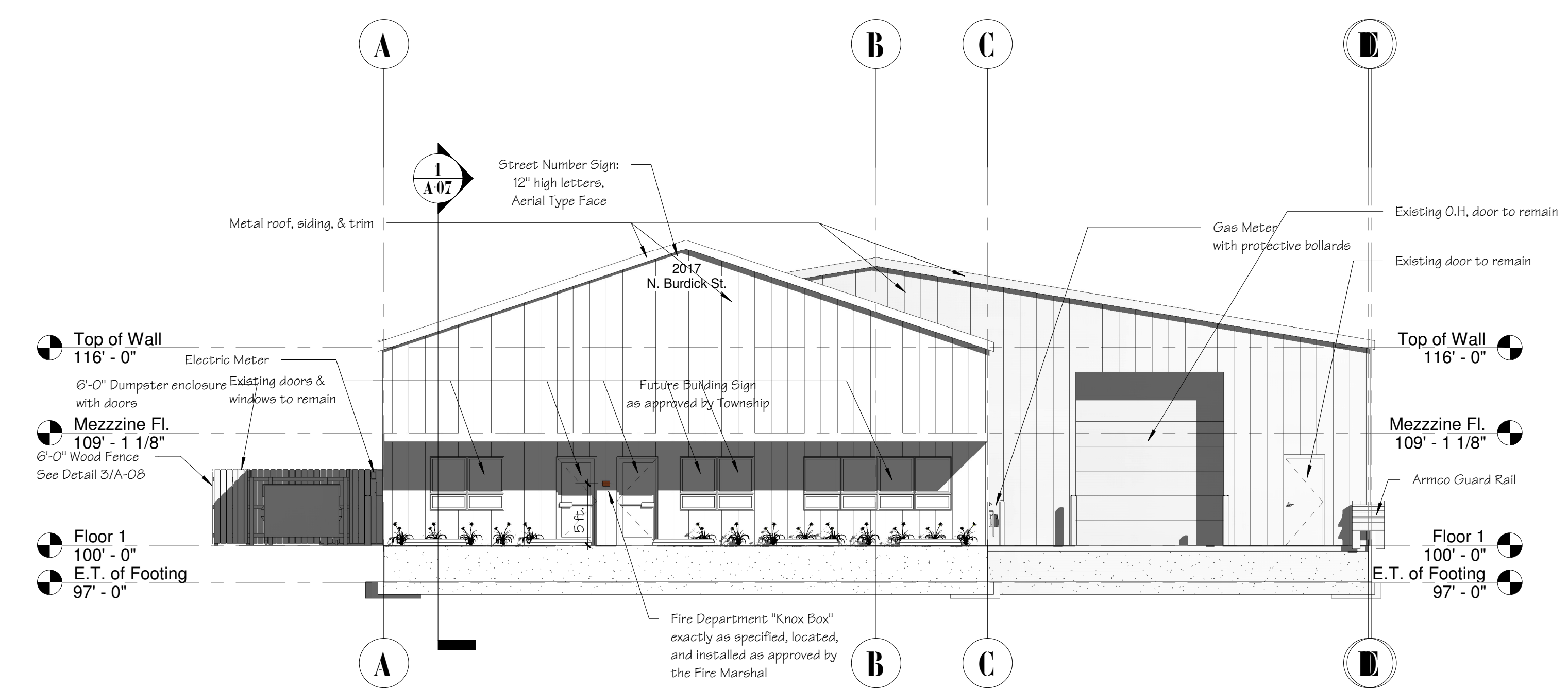
Sheet Number
A-07



1 North Elevation
SCALE: 1/8" = 1'-0"
0' 2' 4' 8'



5 6 ft. Wood Fence Detail
SCALE: 1/4" = 1'-0"

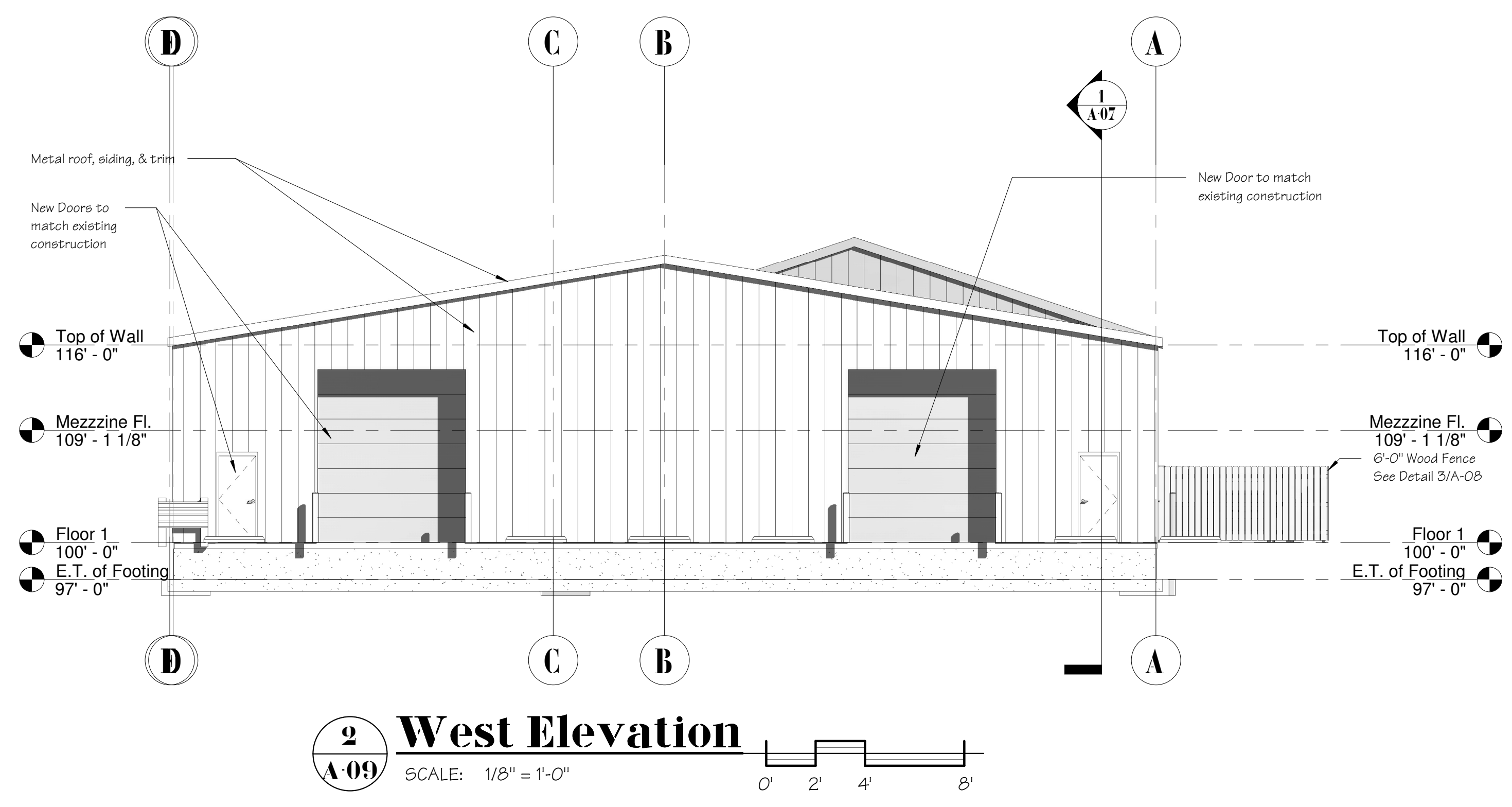
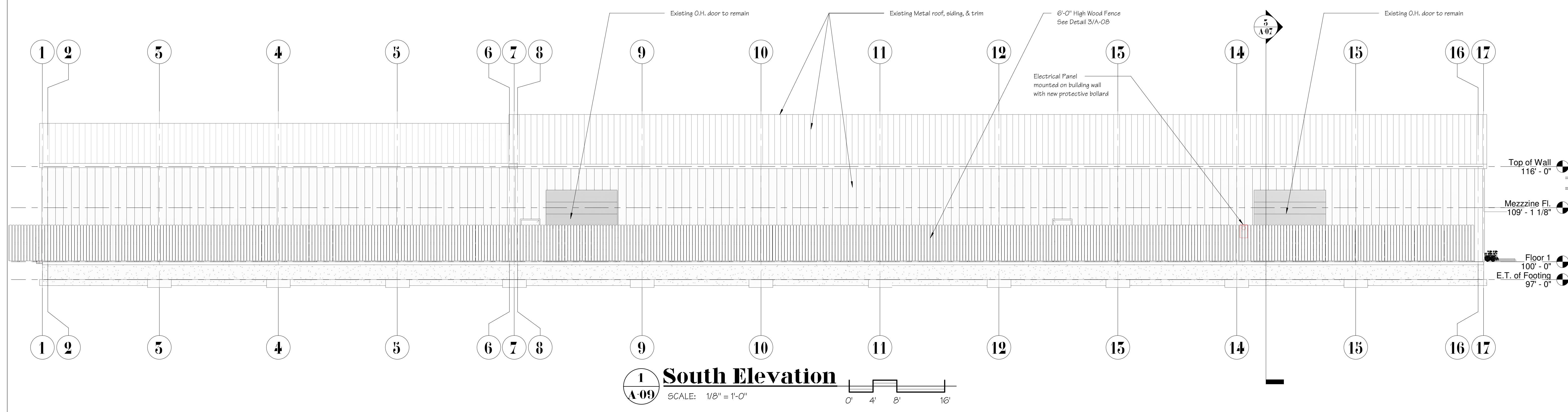


2 East Elevation
SCALE: 1/8" = 1'-0"
0' 4' 8' 16'

Architect's Seal
NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 07/22/2022
Revised:
Drawn by: R.A.S.
Project: 0984.101

Sheet Number
A-08



Architect's Seal
NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 07/22/2022
 Revised:
 Drawn by: R.A.S.
 Project: 0984.101

Sheet Number
A-09



Memorandum

TO: Kalamazoo Charter Township Planning Commission
FROM: Kyle Mucha, AICP, Senior Planner
SUBJECT: Site Plan Review #7 – Drive & Shine Car Wash: 4123 W. Main Street
DATE: July 22, 2022

The applicant, Drive & Shine Inc., is proposing modifications to 4123 W. Main Street. These proposed modifications are to the northern drive aisle and vacuum stations, which includes the installation of two (2) electronic gates and permanent placement of temporary traffic cones on the west side of the site. The applicant also proposes turning the former single direction traffic flow on the western portion of the site into a two-way traffic flow.

As previously discussed, the applicant has effectively and substantially altered the existing site circulation conditions as previously approved by the Planning Commission by turning the site into a one-way traffic flow. The proposed site plans for this review are dated July 18, 2022 and submitted for Township review on July 22, 2022.



SUPPLEMENTAL BACKGROUND INFORMATION

A first review of the proposed changes was completed and issued to the applicant in a letter dated September 15, 2021. Additionally, McKenna issued a second letter to the applicant on October 18, 2021– which recommended that the application be considered by the Planning Commission, given the substantial changes to site circulation, and a third letter on February 14, 2022, that further iterated required revisions to bring the site into compliance for Planning Consideration. A fourth letter was issued to the applicant on April 26, 2022 recommending denial of the proposed site improvements because of substantial traffic safety and site design concerns.

Further, the application and site plans were discussed and presented at the June 2, 2022 Planning Commission meeting. At that time, the Planning Commission requested the applicant present one-way traffic flow alternatives (among other requests detailed herein) at the subsequent July 2022 Planning Commission meeting. Additionally, we have enclosed an analysis of the site conducted by Kalamazoo Township Trustee (and Commissioner) for the applicant’s review.

The applicant further presented their reasoning for the traffic flow alteration at the July 14th Planning Commission Special Meeting. This review is based on discussions that took place during the July 14th meeting.



PLANNING COMMISSION DISCUSSION

The following includes changes to the site plan as requested by the Kalamazoo Township Planning Commission during the July 14th, 2022, Meeting.

- **Install either a extra-long gate arm on the eastern drive or install a secondary gate mechanism.**
The site plan, dated 7/18/2022, shows the installation of a second gate mechanism on the eastern portion of the site. The plan also notes the installation of “Do Not Enter” signs on the gate arms. We find that the applicant has met the condition set forth by the Planning Commission. The applicant’s response to this condition is provided below:

Per the Planning Commission’s recommendation, the existing electronic gate adjacent to the Easterly curb cut has been mirrored with a like gate on the other side. We explored the possibility of a single gate arm that will cross the entire width but elected against it due to (a) it being cost prohibitive, and (b) it not covering the full width (longest one we could find was 24’). Likewise, we explored the possibility of curbing, but determined that was also not viable for the reasons discussed below. As such, the cones have been removed from this location on the drawing and replaced with this second gate. The second gate will be signed with a do-not-enter sign on both sides.

- **Increase signage on the site to assist in directing vehicular traffic.**
The applicant has indicated that additional signage will be installed. The applicant’s response to this condition is provided below:

Per Fire Marshal Kowalski’s and the Planning Commission’s suggestion, signage and directional arrows are now shown which will direct lube shop patrons desirous of heading westbound on West Main to loop around the perimeter of the site counter-clockwise and exit the Easterly curb cut where left turns are permitted. This is to address the concern of Commissioner Leuty and Fire Marshal Kowalski concerning the potential for such patrons to ignore the “right-turn-only” sign posted at the Westerly curb cut.

- **Provide an alternative design to delineate the area between the lube center and vehicle exit of the car wash.**
During the July 14th meeting, the Planning Commission voted, and approved by majority, the use of temporary traffic cones as a means of addressing the delineation between the lube center and car wash facility. Further during that meeting, the Planning Commission requested an alternative design that did not include the use of cones in this area. The applicant’s response to this condition is provided below:

As discussed, the barrier between the car wash exit and the lube shop remains controlled by cones, as permitted at the last meeting. We have previously articulated the reasons that this is the best solution in this situation, but given that there was some discussion towards the end of the meeting about it, it may be worthwhile to briefly revisit them:

1. *Curbing at this location is not a viable/effective solution. Lower-height so-called “rolled” curbing is, in our experience, routinely ignored by patrons as merely a “speed bump.” In order to install curbing here which would effectively deter patrons, it would need to be a standard-sized “real”*



- curb (or even taller). Such a curb, however, would not permit clear travel for fire/safety/emergency vehicles nor would it permit clear passage for snow removal vehicles. As such, there is not a curbing solution here that addresses the problem in a way that is both effective in its purpose and acceptable for fire/safety/emergency purposes. Additionally, practically speaking, cutting the concrete to install curbing will certainly damage the heating tubes in the concrete for our snow melt system (situated in the concrete 2" to 2.5" below surface).*
- 2. As indicated previously, cones are an expected sight for patrons of car washes and businesses catering to high volumes of vehicular traffic. They are the industry standard and are recognized and understood by customers. There should not be a major concern here about "precedent" as permitting cones here would not legally obligate the Planning Commission to permit them elsewhere. Moreover, the types of businesses in which cones are the appropriate solution – businesses catering essentially to high volumes of vehicular traffic – are not the norm. There are not that many businesses in the township that push cars out of their exit without customer control requiring a split-second decision. In our practice at all other sites that we operate and use cones in such places, they work flawlessly, with no unintended turns into them, and without municipal objection.*
 - 3. Cones are aesthetically neutral. As discussed previously, the aesthetics of the facility are more important to the Owner than to any other stakeholder or interested party. The aesthetics is what drives the business operation. The Owner has successfully utilized cones for this purpose in all of his other facilities spread across multiple states and jurisdictions.*

Township staff have been clear and consistent that the use of temporary traffic cones, as placed by the applicant, is not within best practices of planning and site design. Township staff have requested a more permanent solution to address the applicants indicated need to separate the lube center from the car wash vacuum station. While the applicant has indicated in multiple meetings that they are the knowing authority on use of temporary traffic cones as a permanent means of vehicle access control, Township staff still considers the use of traffic cones as temporary. Furthermore, Township staff's concerns with temporary traffic cones is that the vehicle traffic flow can be changed at the discretion of the of owner/operate – which is what initially brought this site plan review process before the Planning Commission. Therefore, we offer the following for consideration and discussion by the Planning Commission:

1. The applicant installs two traffic control devices such as gate mechanisms, between the lube center and car wash facility with "Do Not Enter" signs placed on both sides of the gates. The gates would be activated by a Knox Switch, which would permit emergency vehicle access. Further, the gates could be manually raised during snow season to permit snow removal contractor's unobstructed access.



2. The applicant installs permanently mounted signage, such as that shown below, with “Do Not Enter” displayed on both sides. These signs could then be removed during snow seasons to permit snow removal contractor’s unobstructed access.



OTHER AGENCY REVIEWS

1. Fire Marshal.

“



RECOMMENDATION

The applicant appears to have addressed the majority of concerns raised by Township staff and the Planning Commission. Therefore, Township staff recommend the site plan dated 7/18/2022 for approval provided the following conditions are met and subject to any additional comments and/or concerns raised during the next Planning Commission meeting in which the site plan for 4123 West Main is discussed:

1. Secondary traffic control device (mechanical arm) is installed at the eastern "exit" of the vehicle wash and vacuum area. Control device to receive permit approval from the Kalamazoo Area Building Authority (KABA).
2. Permanent traffic control is installed between the lube center and vehicle wash & vacuum area by one of the following:
 - a. Mechanical gates:
 - b. Permanently attached traffic cones, such as those depicted above.
3. "Do Not Enter" signage is installed on all applicable gates.
4. Directional signage is installed on all applicable gates.
5. Any other comments provided by other reviewing agencies.

Please feel free to reach out to me if you have any questions regarding this review.

Respectfully Submitted,

Kyle Mucha, AICP
Senior Planner

cc. Paul Lippens, AICP, NCI, Vice President
cc. Danielle Bouchard, AICP, Senior Planner
enc. Drive & Shine Concerns 6-22-22

From: [Van Dyk, Matthew B.](#)
To: [Todd Kowalski](#); [Kyle Mucha](#); [Dexter A. Mitchell](#); [Dave Obreiter](#)
Subject: RE: Planning Commission Meeting Recap [IWOV-MJ_DMS.FID2180457]
Date: Friday, July 22, 2022 10:06:11 AM
Attachments: [C302 DNS HT8 Site Layout 7-18-22.pdf](#)

Kyle and Team,

Please see the attached revised site plan implementing what was generally discussed at the Planning Commission meeting on the 14th. The attached is cumulative in that it clouds all of the prior changes that have been made to the existing site plan as well as the changes we have made in the past couple of days. With respect to the most recent round, the changes are summarized as follows:

1. Per the Planning Commission's recommendation, the existing electronic gate adjacent to the Easterly curb cut has been mirrored with a like gate on the other side. We explored the possibility of a single gate arm that will cross the entire width but elected against it due to (a) it being cost prohibitive, and (b) it not covering the full width (longest one we could find was 24'). Likewise, we explored the possibility of curbing, but determined that was also not viable for the reasons discussed below. As such, the cones have been removed from this location on the drawing and replaced with this second gate. The second gate will be signed with a do-not-enter sign on both sides.
2. Per Fire Marshal Kowalski's and the Planning Commission's suggestion, signage and directional arrows are now shown which will direct lube shop patrons desirous of heading westbound on West Main to loop around the perimeter of the site counter-clockwise and exit the Easterly curb cut where left turns are permitted. This is to address the concern of Commissioner Leuty and Fire Marshal Kowalski concerning the potential for such patrons to ignore the "right-turn-only" sign posted at the Westerly curb cut.
3. The revised site plan now identifies installation of a "Knox Switch" on the electronic gates. The Owner and Engineer will be meeting with Fire Marshal Kowalski on-site to ensure that the parties are clear on what remains to be installed on these gates to satisfy the Fire Marshal's concerns.

As discussed, the barrier between the car wash exit and the lube shop remains controlled by cones, as permitted at the last meeting. We have previously articulated the reasons that this is the best solution in this situation, but given that there was some discussion towards the end of the meeting about it, it may be worthwhile to briefly revisit them:

1. Curbing at this location is not a viable/effective solution. Lower-height so-called "rolled" curbing is, in our experience, routinely ignored by patrons as merely a "speed bump." In order to install curbing here which would effectively deter patrons, it would need to be a standard-sized "real" curb (or even taller). Such a curb, however, would not permit clear travel for fire/safety/emergency vehicles nor would it permit clear passage for snow removal vehicles. As such, there is not a curbing solution here that addresses the problem in a way that is both effective in its purpose and acceptable for fire/safety/emergency purposes.

Additionally, practically speaking, cutting the concrete to install curbing will certainly damage the heating tubes in the concrete for our snow melt system (situated in the concrete 2" to 2.5" below surface).

2. As indicated previously, cones are an expected sight for patrons of car washes and businesses catering to high volumes of vehicular traffic. They are the industry standard and are recognized and understood by customers. There should not be a major concern here about "precedent" as permitting cones here would not legally obligate the Planning Commission to permit them elsewhere. Moreover, the types of businesses in which cones are the appropriate solution – businesses catering essentially to high volumes of vehicular traffic – are not the norm. There are not that many businesses in the township that push cars out of their exit without customer control requiring a split second decision. In our practice at all other sites that we operate and use cones in such places, they work flawlessly, with no unintended turns into them, and without municipal objection.
3. Cones are aesthetically neutral. As discussed previously, the aesthetics of the facility are more important to the Owner than to any other stakeholder or interested party. The aesthetics is what drives the business operation. The Owner has successfully utilized cones for this purpose in all of his other facilities spread across multiple states and jurisdictions.

I believe this addresses all of the open issues. We appreciate the Planning Commission's patience as they have worked through these issues with us, and we are optimistic and hopeful that we have at last arrived at a satisfactory resolution for all involved.

Thank you.

--Matt

Matthew B. Van Dyk

Attorney at Law

Miller Johnson

100 West Michigan Avenue, Suite 200, Kalamazoo MI 49007

O: 269.226.2988 | vandykm@millerjohnson.com | vcard

SITE DATA

1. PROPERTY INFORMATION:
 PARCEL #S: 06-18-330-041, 06-18-330-042, 06-18-330-051, 06-18-330-070
 SITE AREA: 312,133 SF (7.166 AC)
 DEVELOPER: DRIVE & SHINE, INC.
 16915 CLEVELAND RD.
 GRANGER, IN 46530

2. ZONING:
 PROPERTY CURRENTLY ZONED C-2, COMMERCIAL CORRIDOR DISTRICT
 ABUTTING PROPERTY CURRENTLY ZONED:
 NORTH: CITY OF KALAMAZOO
 SOUTH: PUD DISTRICT
 EAST: PUD DISTRICT
 WEST: C-2 COMMERCIAL CORRIDOR DISTRICT / RM-2 MULTI FAMILY DISTRICT
 PROPOSED LAND USE = CAR WASH

3. VARIANCES OBTAINED:
 i) CAR WASH ON PARCEL WITH 0' LOT SETBACK FROM RESIDENTIAL USE
 ii) VACUUM STALLS WITHIN FRONT YARD

4. SETBACKS
 FRONT = 35'
 SIDES = 25'
 REAR = 25'

5. PARKING:
 REQUIRED = (8) SPACES BEFORE WASH LANE, PLUS 2 SPACES AFTER, PLUS 1 SPACE PER 150 SF UFA OF ANY RETAIL SALES AREA.
 8 SPACES BEFORE WASH LANE + 2 SPACES AFTER WASH LANE = 10
 PROVIDED = STANDARD 9'x20' SPACES = 31
 BARRIER FREE SPACES = 2
 TOTAL PROVIDED = 33

6. BUILDING:
 MAXIMUM HEIGHT: 30', 2 STORIES
 PROPOSED BUILDING HEIGHT: 29'-4"
 MAXIMUM BUILDING COVERAGE: 60%
 PROPOSED BUILDING COVERAGE: 16%

7. LOT:
 MINIMUM LOT SIZE: 10,000 SFT
 MINIMUM LOT WIDTH: 100 FT
 LOT DIMENSIONS: IRREGULAR, SEE PLAN

8. LANDSCAPING:
 SHALL BE IN ACCORDANCE WITH KALAMAZOO TOWNSHIP ORDINANCE.

9. STORM WATER DETENTION REQUIRED:
 STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH TOWNSHIP STORM WATER ORDINANCE.

LEGEND

- BLACK PIGMENT DYED CONCRETE PAVEMENT
- STANDARD CONCRETE PAVEMENT
- SNO-MELT SYSTEM (SEE M/E/P PLANS)
- CONCRETE PAVEMENT AND SIDEWALK
- HEAVY-DUTY ASPHALT OR CONCRETE PAVEMENT IN MDOT RIGHT-OF-WAY

BENCHMARK INFORMATION

BM
 ELEV = 844.34 (NAVD 88)
 SE BOLT ON HYDRANT

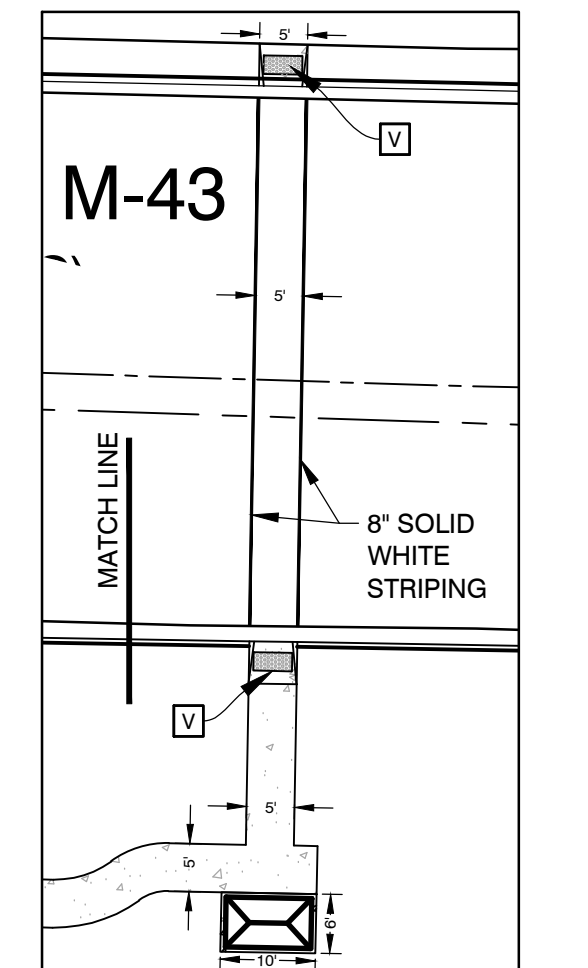
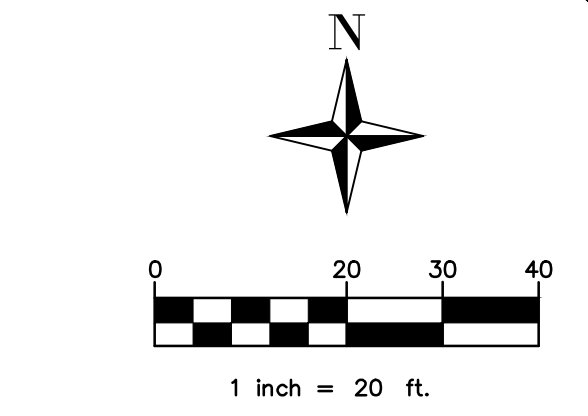
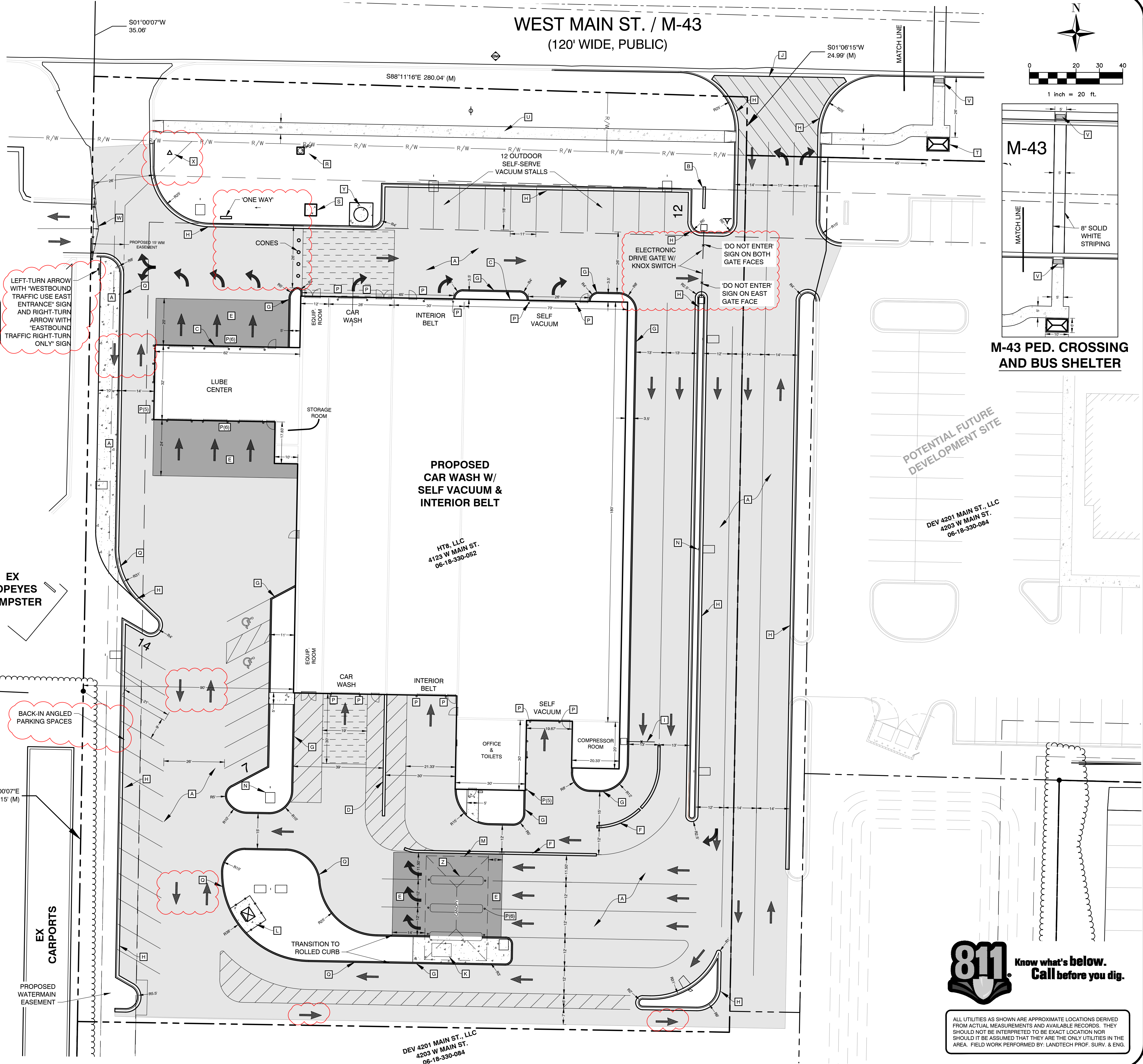
SITE PLAN NOTES

A CONCRETE PAVEMENT (SEE DETAIL SHEET)
 B LIGHTED MONUMENT SIGN W/ UNDERGROUND ELECTRICAL
 C BUILDING SIGN (SEE ARCHITECTURAL PLANS)
 D CONCRETE CURB / WALL TO BE DESIGNED AND ENGINEERED BY CONTRACTOR PER ELEVATIONS PROVIDED. CURBING TO BE STRUCTURALLY SOUND.
 E BLACK PIGMENT DYED CONCRETE PAVEMENT
 F 1' MOUNTABLE CURB (SEE DETAIL SHEET)
 G 6" BARRIER CURB - MDOT 'E2' (SEE DETAIL SHEET)
 H CONCRETE CURB AND GUTTER - MDOT DETAIL C2 (SEE DETAIL SHEET)
 I ENTRY GATE
 J MDOT TYPE 'M' OPENING. COORDINATE DRIVE APPROACH AND WORK WITHIN R/W WITH MDOT
 K ATTENDANT SHELTER (BY OWNER)
 L 12.5' x 10' - DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
 M CANOPY STRUCTURE (SEE ARCHITECTURAL PLANS)
 N LIGHT POLE FIXTURE (TYP.) (SEE PHOTOMETRIC PLAN)

O HEAVY-DUTY CONCRETE PAVEMENT (SEE DETAIL SHEET)
 P 6" BOLLARD (SEE DETAIL SHEET)
 Q TYPE 3 MODIFIED CURB (SEE DETAIL SHEET)
 R 6" DIA. FLAG POLE BASE, FLAG POLE AND HARDWARE BY OWNER. CONTRACTOR TO INSTALL BASE AND FLAG POLE.
 S 5' X 5' ELECTRIC TRANSFORMER PAD
 T METRO TRANSIT BUS STOP SHELTER (COORDINATE WITH KALAMAZOO METRO TRANSIT)
 U 5' SIDEWALK (SEE DETAIL SHEET)
 V ADA COMPLIANT CROSSWALK LANDING PAD/RAMP WITH WARNING PLATE (SEE DETAIL SHEET)
 W HOOPER FENCE CO. - 26" H-SERIES TUBULAR BARRIER DOUBLE GATE OR EQUIVALENT
 X RIGHT TURN ONLY SIGN (SOUTH FACE) 'DO NOT ENTER' SIGN (NW & NE FACES)
 Y 10' x 10' - VACUUM ENCLOSURE (SEE ARCHITECTURAL PLANS)
 Z RAISED CURBED ISLAND (TYP.) - STAINLESS STEEL CURB GUARD BY OWNER

GENERAL NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL CURB RADI AND DIMENSIONS ARE TO FACE OF CURB. CURB TO BE PROVIDED WHERE SHOWN AND INTEGRAL WITH SIDEWALK AT PAVING EDGE.
- SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS SHOWN. NOMINAL GRADING. SLOPE SIDEWALKS AWAY FROM BUILDING AT 1/4" PER FOOT ON ENTRY WALK.
- NO IMPACT FROM THE USE PROCESSING, OR MOVEMENT OF HAZARDOUS MATERIALS OR CHEMICALS NOR IMPACT TO GROUNDWATER, INCLUDING BUT NOT LIMITED TO QUALITY, QUANTITY, AND RECHARGE IS ANTICIPATED.
- NO FLOODPLAIN, LAKES, STREAMS, OR WETLANDS ARE PRESENT ON SITE.



PLANS PREPARED BY:

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 CHECKED: ASR

STATE OF MICHIGAN
 ANDREW SHEPHERD
 ENGINEER
 No. 56221
 ANDREW ROSSELL,
 P.E.

NO.	ISSUED FOR:	DATE	BY:
6	OWNER & ELGE REV'S.	7/25/19	sw
7	SITE MODIFICATIONS	9/24/21	ck
8	SITE PLAN AMENDMENT	1/19/22	ck
9	SITE PLAN AMENDMENT	5/26/22	ck
10	PLANNING COMMISSION REV'S.	7/19/22	ck

SITE LAYOUT

DRIVE & SHINE HT8

DRIVE & SHINE, INC.

SHEET TITLE:
 PROJECT:
 CLIENT:

JOB NUMBER
1839001

DATE
07/18/2022

SHEET NUMBER
C302



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETTED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: LANDTECH PROF. SURV. & ENG.