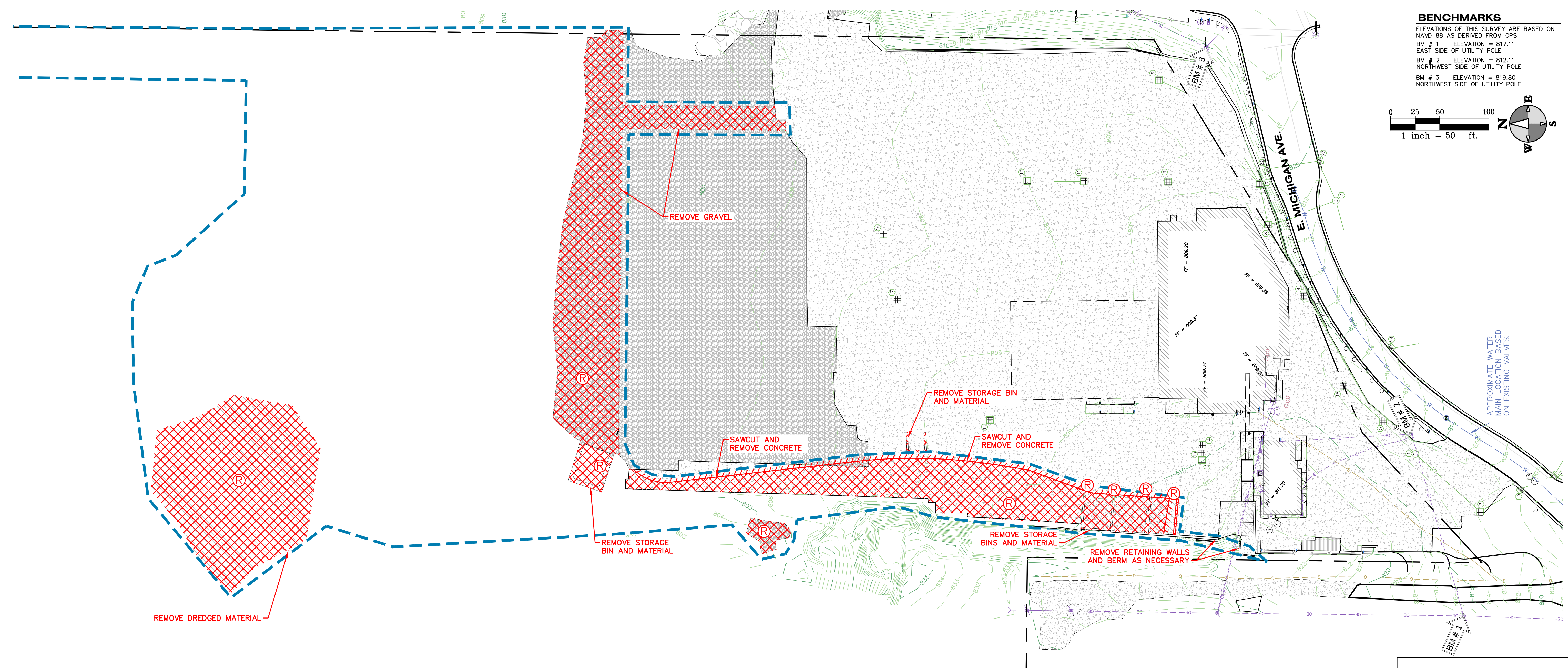
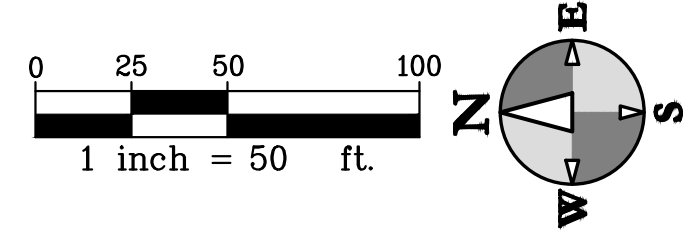


BENCHMARKS
 ELEVATIONS OF THIS SURVEY ARE BASED ON NAVD 88 AS DERIVED FROM GPS
 BM # 1 ELEVATION = 817.11
 EAST SIDE OF UTILITY POLE
 BM # 2 ELEVATION = 812.11
 NORTHWEST SIDE OF UTILITY POLE
 BM # 3 ELEVATION = 819.80
 NORTHWEST SIDE OF UTILITY POLE



REMOVAL NOTES

1. REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
2. SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
3. ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
4. COMPLY WITH ALL ASPECTS OF THE SOIL EROSION CONTROL PERMIT AS ISSUED BY THE KALAMAZOO COUNTY DRAIN COMMISSIONER. ALL TEMPORARY CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
5. ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
6. REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
7. REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
8. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
9. FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

REMOVALS LEGEND

- XXXXXX CURB REMOVAL
- ////// SAWCUT
- XXXXXX PAVEMENT/SIDEWALK REMOVAL
- (R) REMOVE
- (P) PROTECT
- (S) SALVAGE
- LIMITS OF CONSTRUCTION

NOT FOR CONSTRUCTION

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2	18APR	QUADRA 11APR LAYOUT UPDATE	
1	11APR	QUADRA 11APR LAYOUT UPDATE	
NO.	DATE	DESCRIPTION	APPROV
		PROJECT NO: 066.0-001-23	DRAWN: TTR
		DATE: 05/22/23	CHECKED: EMB
		SCALE: AS NOTED	APPROVED: EMB

PROJECT CONSUMERS CONCRETE BLOCK PLANT
 KALAMAZOO TWP, MI

TITLE EX. CONDITIONS AND DEMO PLAN

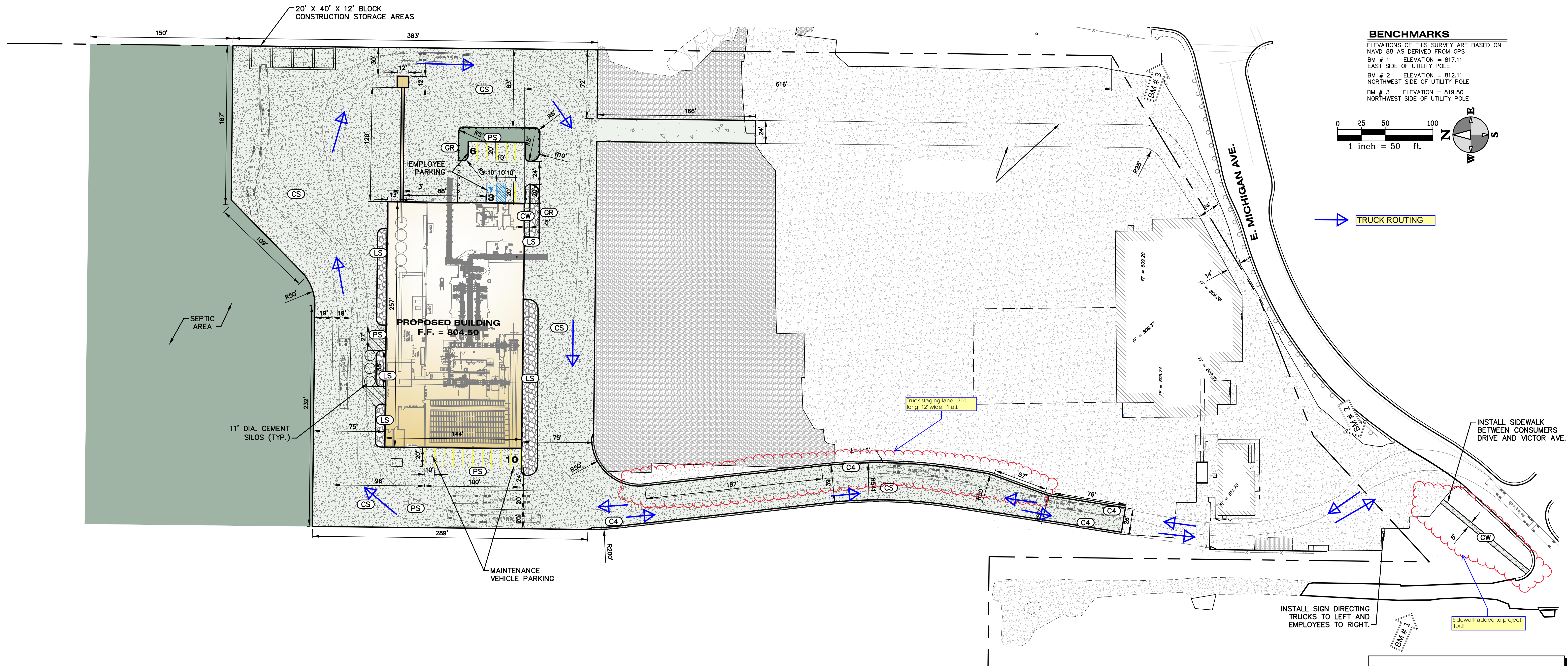
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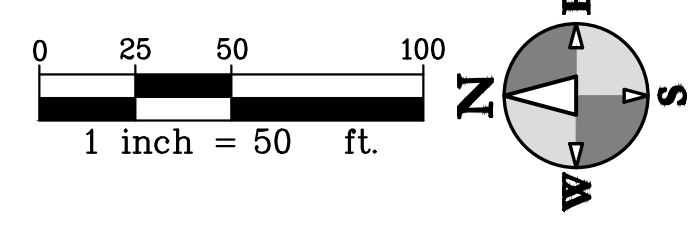
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 2800 s. 11th street
 kalamazoo, michigan 49009
 269.552.4960 fax 269.552.4961
 www.hurleystewart.com



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BENCHMARKS
 ELEVATIONS OF THIS SURVEY ARE BASED ON NAVD 88 AS DERIVED FROM GPS
 BM # 1 ELEVATION = 817.11 EAST SIDE OF UTILITY POLE
 BM # 2 ELEVATION = 812.11 NORTHWEST SIDE OF UTILITY POLE
 BM # 3 ELEVATION = 819.80 NORTHWEST SIDE OF UTILITY POLE



TRUCK ROUTING

- SITE LEGEND**
- (C4) C4 CURB AND GUTTER (SEE DETAIL)
 - (CS) CONCRETE SURFACE
 - (CW) CONCRETE WALK
 - (PS) PARKING STRIPING
 - (RB) RETENTION BASIN
 - (SF) SEDIMENT FOREBAY
 - (GR) GUARD RAIL
 - (LS) LANDSCAPE STONE

- LEGEND**
- HEAVY-DUTY BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT AND SIDEWALK
 - RIP RAP
 - PROPOSED BUILDING

- GENERAL NOTES**
1. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF METAL.
 2. PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND MICHIGAN BARRIER FREE CODE.
 3. SEE ARCHITECTURAL PLANS FOR MORE DETAILS ON TRUCK DOCK WALLS, STAIRS, AND RAMPS.
 4. MATCH EXISTING CURB & GUTTER SECTIONS WHEN CONNECTING TO THEM. CONDITIONS VARY THROUGHOUT PROJECT.
 5. EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AND KALAMAZOO TOWNSHIP STANDARDS SPECIFICATIONS.
 6. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
 7. ALL EXTERIOR CONCRETE SHALL BE MDOT GRADE P1 (3500PSI), AIR ENTRAINED, LIMESTONE AGGREGATE, BROOM FINISHED, CURING SEAL.
 8. THE CONTRACTOR SHALL LOCATE ALL ACTIVE UNDERGROUND UTILITIES PRIOR TO STARTING WORK AND SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
 9. ALL REQUIRED FILL FOR THIS PROJECT SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER OR CLASS II GRANULAR MATERIAL FROM BORROW AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
 10. FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
 11. ANY BITUMINOUS OR CONCRETE PAVEMENT, SANITARY SEWER, SANITARY SEWER SERVICE LEADS, OR STORM SEWER, WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
 12. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
 13. ALL UNSUITABLE SUBBASE MATERIAL MUST BE REMOVED TO A MINIMUM DEPTH OF 24" BELOW THE TOP OF THE SUBGRADE OR AS DETERMINED BY THE COUNTY ENGINEER.
 14. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

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NO.	DATE	DESCRIPTION	APPROVED
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1	11APR	QUADRA 11APR LAYOUT UPDATE	

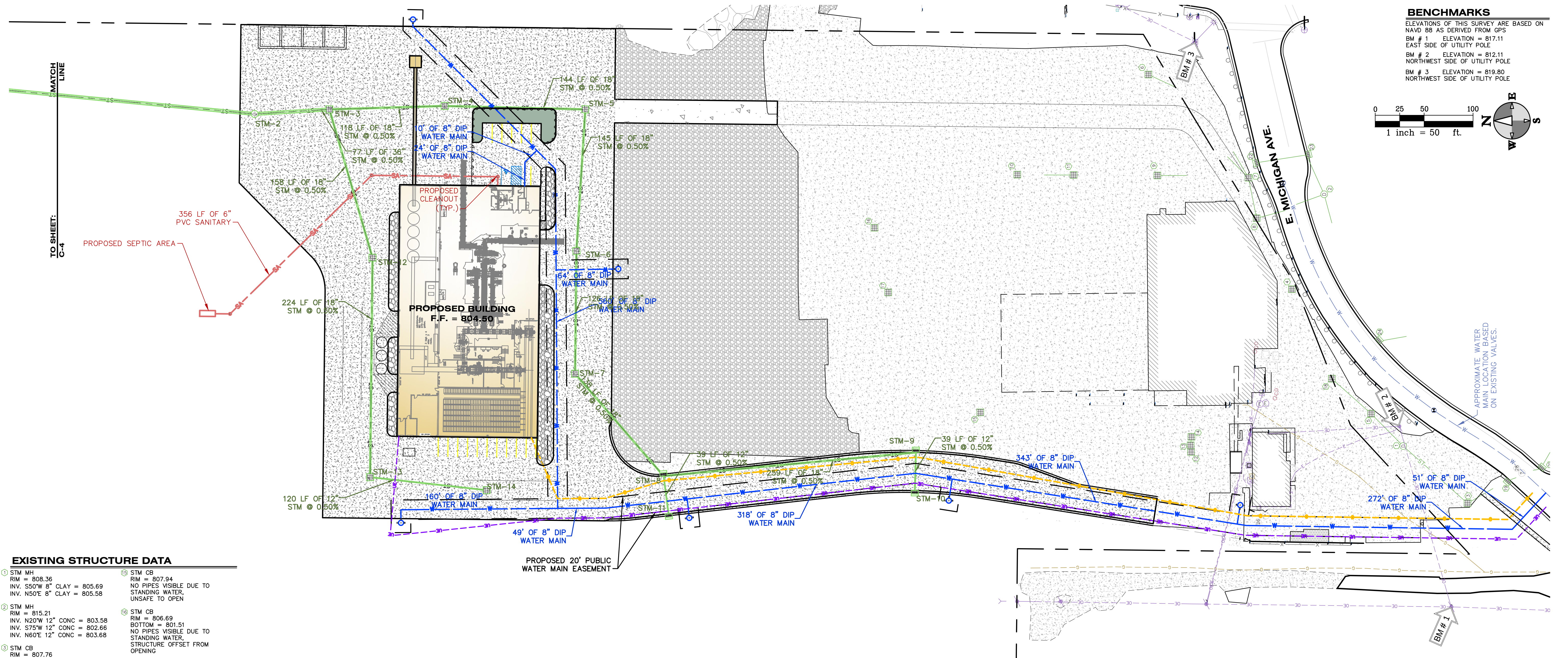
PROJECT NO:	066.0-001-23	DRAWN:	TTR
DATE:	05/22/23	CHECKED:	EMB
SCALE:	AS NOTED	APPROVED:	EMB
PROJECT	CONSUMERS CONCRETE BLOCK PLANT KALAMAZOO TWP, MI		
TITLE	SITE LAYOUT PLAN		
DRAWING NUMBER:	C-2		
SHEET OF SHEETS	C-2		



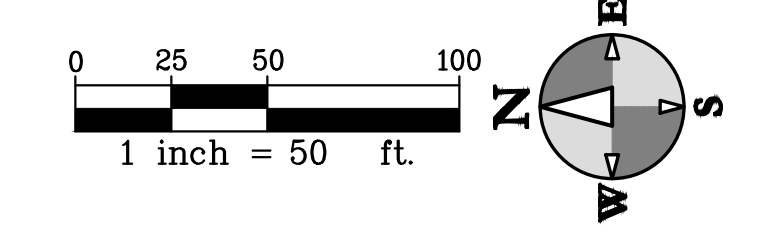
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 EAST SIDE OF UTILITY POLE
 BM # 2 ELEVATION = 812.11
 NORTHWEST SIDE OF UTILITY POLE
 BM # 3 ELEVATION = 819.80
 NORTHWEST SIDE OF UTILITY POLE



EXISTING STRUCTURE DATA

- 1 STM MH
RIM = 808.36
INV. S50°W 8" CLAY = 805.69
INV. S50°E 8" CLAY = 805.58
- 2 STM MH
RIM = 815.21
INV. N20°W 12" CONC = 803.58
INV. S75°W 12" CONC = 802.66
INV. N60°E 12" CONC = 803.68
- 3 STM CB
RIM = 807.76
INV. N50°E 8" CLAY = 804.83
INV. S30°E 8" CLAY = 804.85
- 4 STM CB
RIM = 808.93
BOTTOM = 802.61
NO PIPES VISIBLE DUE TO STANDING WATER
- 5 STM CB
RIM = 808.65
INV. S50°W 8" CLAY = 805.88
INV. N50°E 8" CLAY = 806.15
- 6 STM CB
RIM = 808.37
INV. S25°W 6" PVC = 807.37
- 7 STM CB
RIM = 808.74
INV. E 12" CONC = 806.13
INV. S15°E 15" CONC = 804.15
- 8 STM CB
RIM = 808.83
INV. S80°W 12" CONC = 806.99
INV. N60°E 12" CONC = 806.22
INV. N45°E 6" CONC = 806.64
- 9 STM CB
RIM = 808.87
INV. S 6" CONC = 807.10
- 10 STM CB
RIM = 807.98
BOTTOM = 804.53
NO PIPES VISIBLE DUE TO STANDING WATER
- 11 STM CB
RIM = 808.45
INV. N 6" CONC = 806.84
IMPACTED WITH SEDIMENT
- 12 STM CB (LEACHING BASIN)
RIM = 809.95
INV. S80°E 3" PVC = 805.75
- 13 STM CB (LEACHING BASIN)
RIM = 809.68
INV. S80°E 3" PVC = 806.68
INV. N80°W 3" PVC = 806.18
- 14 STM CB (LEACHING BASIN)
RIM = 809.51
INV. N80°W 3" PVC = 806.95
- 15 STM CB
RIM = 807.94
NO PIPES VISIBLE DUE TO STANDING WATER, UNSAFE TO OPEN
- 16 STM CB
RIM = 806.69
BOTTOM = 801.51
NO PIPES VISIBLE DUE TO STANDING WATER, STRUCTURE OFFSET FROM OPENING
- 17 STM CB
RIM = 807.02
BOTTOM = 803.18
NO PIPES VISIBLE DUE TO STANDING WATER
- 18 STM CB
RIM = 808.59
INV. S50°W 8" CLAY = 806.46
IMPACTED WITH SEDIMENT
- 19 STM CB
RIM = 806.68
INV. S20°E 12" CONC = 800.88
- 20 STM CB
RIM = 803.76
INV. N60°W 12" CONC = 800.16
INV. S40°E 12" CONC = 798.88
- 21 STM CB
RIM = 806.69
INV. N10°W 12" CONC = 801.39
INV. S60°E 12" CONC = 801.42
- 22 STM CB
RIM = 819.36
INV. S 12" CONC = 816.07
- 23 STM CB
RIM = 819.54
INV. N 12" CONC = 814.39
INV. S60°W 12" CONC = 808.07
- 24 STM CB
RIM = 812.45
INV. S10°E 12" CONC = 806.75
- 25 STM CB
RIM = 801.97
INV. S 60°E 12" CONC = 798.67
- 26 UNKNOWN MH (WELL PIT)
RIM = 811.95
BOTTOM = 806.65
- 27 UNKNOWN MH
RIM = 804.60
INVERTS UNAVAILABLE DUE TO TRAFFIC CONDITIONS
- 28 UNKNOWN MH
RIM = 806.89
INVERTS UNAVAILABLE DUE TO TRAFFIC CONDITIONS
- 29 UNKNOWN MH
RIM = 823.11

UTILITY NOTES

1. ALL STRUCTURE CASTINGS TO BE EAST JORDAN IRON WORKS OR APPROVED EQUAL. SEE STRUCTURE TABLE FOR SPECIFIC CASTING AT EACH STRUCTURE.
2. STORM SEWERS SHALL BE CONCRETE C76-III, SOLID WALL ADS N-12 RIGID PIPE MEETING AASHTO M-294, TYPE S, OR APPROVED EQUAL INSTALLED PER THE REQUIREMENTS OF MDOT AND KALAMAZOO TOWNSHIP MANDREL TESTING SHALL BE PERFORMED PRIOR TO PAVING. USE CONCRETE PIPE WHERE INDICATED.
3. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
4. DEWATERING MAY BE REQUIRED TO INSTALL OR REMOVE SOME UTILITIES. REFER TO SPECIFICATIONS FOR SPECIFIC REQUIREMENTS. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
5. REMOVE SEDIMENT FROM ALL STRUCTURES ONCE PAVING IS COMPLETE AND REMOVE SILT SACKS.
6. ANY UTILITIES REQUIRING DEWATERING SHALL BE INSTALLED TO KALAMAZOO TOWNSHIP STANDARDS AND INCLUDED IN THE INSTALLATION COSTS. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING NECESSARY TO CONSTRUCT UTILITIES IN THE DRY. ANY DEWATERING WILL REQUIRE SAMPLING.
7. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
8. VERIFY NUMBER OF FITTINGS PRIOR TO ORDERING. TOTALS DO NOT INCLUDE VERTICAL DEFLECTIONS THAT MAY BE NEEDED.
9. PROVIDE 18" WATER MAIN SEPARATION WHEN CROSSING OTHER UTILITIES. DEFLECT UNDER OTHER UTILITIES W/O USING FITTINGS WHENEVER POSSIBLE. SEE WATER MAIN PROFILE SHEET.
10. WATER MAIN MATERIALS AND INSTALLATION SHALL COMPLY WITH THE CITY OF KALAMAZOO STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE INSTALLATION, 2021.

STORM SEWER STRUCTURE SCHEDULE

STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
STM-2	804.53	60"	1040 A	36" S: 796.05	36" N: 796.05
STM-3	803.21	48"	5105 M1	18" S: 796.43	18" W: 796.73 36" N: 796.43
STM-4	803.05	48"	5105 M1		18" N: 797.02 18" S: 797.02
STM-5	803.45	48"	5105 M1	18" N: 797.74	18" W: 797.74
STM-6	803.45	48"	5105 M1	18" E: 798.46	18" W: 798.46
STM-7	803.09	48"	5105 M1	18" E: 799.09 18" SW: 799.09	
STM-8	804.33	48"	7030 M4 T1	18" S: 800.33	18" NE: 799.78 12" W: 800.33
STM-9	808.03	48"	7030 M4 T1	12" W: 803.83	18" N: 801.62
STM-10	808.03	48"	7030 M4 T1		12" E: 804.03
STM-11	804.33	48"	7030 M4 T1	12" E: 800.53	
STM-12	803.45	48"	5105 M1	18" W: 797.52 18" E: 797.52	
STM-13	803.45	48"	5105 M1	12" S: 798.64	18" E: 798.64
STM-14	803.24	48"	5105 M1		12" N: 799.24

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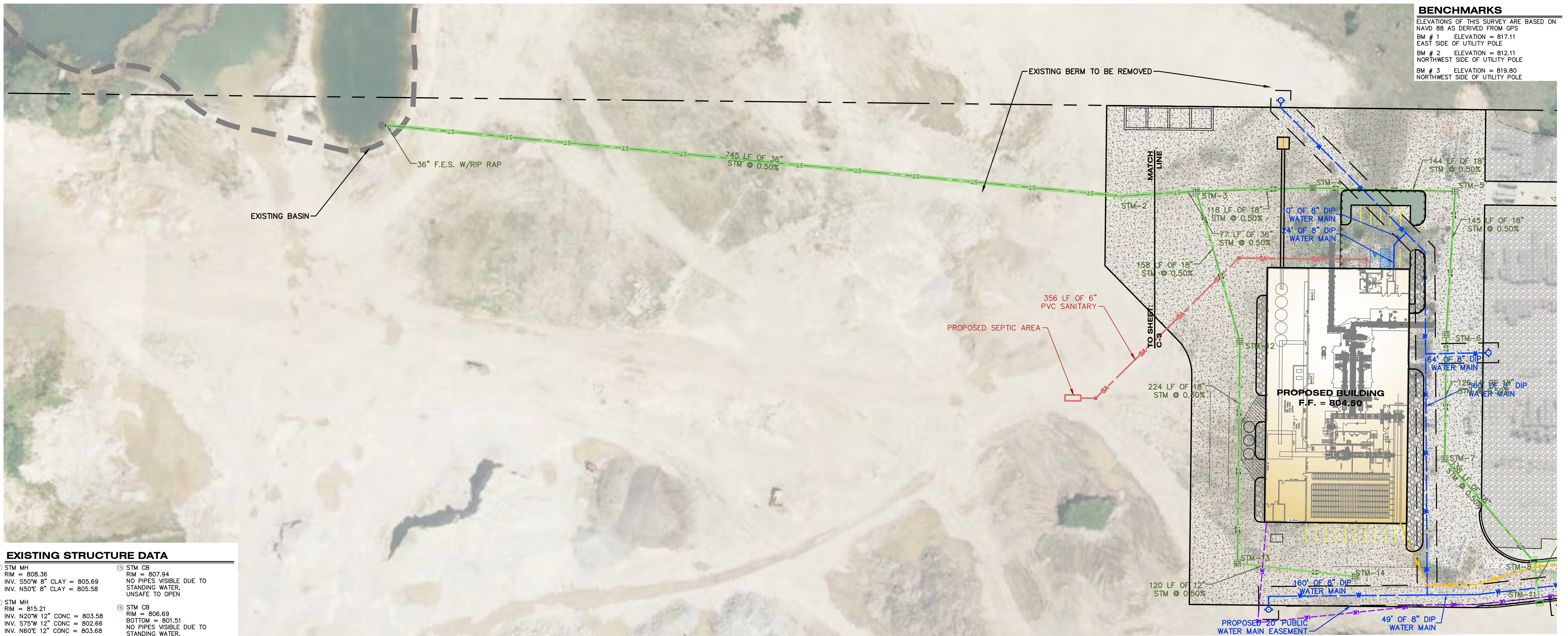
PROJECT: CONSUMERS CONCRETE BLOCK PLANT KALAMAZOO TWP, MI
 TITLE: UTILITY PLAN - SOUTH
 DRAWING NUMBER: C-3
 SHEET OF SHEETS



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BM # 3 ELEVATION = 819.80 NORTHWEST SIDE OF UTILITY POLE

EXISTING STRUCTURE DATA

- 1 STM MH RIM = 808.36 INV. 550'W 8" CLAY = 805.69 INV. 530'E 8" CLAY = 805.58
- 2 STM MH RIM = 815.21 INV. N20'W 12" CONC = 803.58 INV. S75'W 12" CONC = 802.66 INV. N60'E 12" CONC = 803.68
- 3 STM CB RIM = 807.76 INV. N50'E 8" CLAY = 804.83 INV. S30'E 8" CLAY = 804.85
- 4 STM CB RIM = 808.93 BOTTOM = 802.61 NO PIPES VISIBLE DUE TO STANDING WATER
- 5 STM CB RIM = 808.65 INV. 550'W 8" CLAY = 805.88 INV. N50'E 8" CLAY = 806.15
- 6 STM CB RIM = 808.37 INV. S25'W 6" PVC = 807.37
- 7 STM CB RIM = 808.74 INV. E 12" CONC = 806.13 INV. S15'E 15" CONC = 804.15
- 8 STM CB RIM = 808.83 INV. S80'W 12" CONC = 806.99 INV. N60'E 12" CONC = 806.22 INV. N45'E 6" CONC = 806.64
- 9 STM CB RIM = 808.87 INV. S 6" CONC = 807.10
- 10 STM CB RIM = 807.98 BOTTOM = 804.53 NO PIPES VISIBLE DUE TO STANDING WATER
- 11 STM CB RIM = 808.45 INV. N 6" CONC = 806.84 IMPACTED WITH SEDIMENT
- 12 STM CB (LEACHING BASIN) RIM = 809.95 INV. S80'E 3" PVC = 805.75
- 13 STM CB (LEACHING BASIN) RIM = 809.68 INV. S80'E 3" PVC = 806.68 INV. N80'W 3" PVC = 806.18
- 14 STM CB (LEACHING BASIN) RIM = 809.51 INV. N80'W 3" PVC = 806.95
- 15 STM CB RIM = 807.94 NO PIPES VISIBLE DUE TO STANDING WATER, UNSAFE TO OPEN
- 16 STM CB RIM = 806.69 BOTTOM = 801.51 NO PIPES VISIBLE DUE TO STANDING WATER, STRUCTURE OFFSET FROM OPENING
- 17 STM CB RIM = 807.02 BOTTOM = 803.18 NO PIPES VISIBLE DUE TO STANDING WATER
- 18 STM CB RIM = 808.59 INV. 550'W 8" CLAY = 806.46 IMPACTED WITH SEDIMENT
- 19 STM CB RIM = 806.68 INV. S20'E 12" CONC = 800.88
- 20 STM CB RIM = 803.76 INV. N60'W 12" CONC = 800.16 INV. S40'E 12" CONC = 798.88
- 21 STM CB RIM = 806.69 INV. N10'W 12" CONC = 801.39 INV. S60'E 12" CONC = 801.42
- 22 STM CB RIM = 819.36 INV. S 12" CONC = 816.07
- 23 STM CB RIM = 819.54 INV. N 12" CONC = 814.39 INV. S60'W 12" CONC = 808.07
- 24 STM CB RIM = 812.45 INV. S10'E 12" CONC = 806.75
- 25 STM CB RIM = 801.97 INV. S 60'E 12" CONC = 798.67
- 26 UNKNOWN MH (WELL PIT) RIM = 811.95 BOTTOM = 806.65
- 27 UNKNOWN MH RIM = 804.60 INVERTS UNAVAILABLE DUE TO TRAFFIC CONDITIONS
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- 29 UNKNOWN MH RIM = 823.11

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- THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- DEWATERING MAY BE REQUIRED TO INSTALL OR REMOVE SOME UTILITIES. REFER TO SPECIFICATIONS FOR SPECIFIC REQUIREMENTS. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
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- VERIFY NUMBER OF FITTINGS PRIOR TO ORDERING. TOTALS DO NOT INCLUDE VERTICAL DEFLECTIONS THAT MAY BE NEEDED.
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STM-4	803.05	48"	5105 M1		18" N: 797.02 18" S: 797.02
STM-5	803.45	48"	5105 M1	18" N: 797.74	18" W: 797.74
STM-6	803.45	48"	5105 M1	18" E: 798.46	18" W: 798.46
STM-7	803.09	48"	5105 M1	18" E: 799.09 18" SW: 799.09	
STM-8	804.33	48"	7030 M4 T1	18" S: 800.33	18" NE: 799.78 12" W: 800.33
STM-9	808.03	48"	7030 M4 T1	12" W: 803.83	18" N: 801.62
STM-10	808.03	48"	7030 M4 T1		12" E: 804.03
STM-11	804.33	48"	7030 M4 T1	12" E: 800.53	
STM-12	803.45	48"	5105 M1	18" W: 797.52 18" E: 797.52	
STM-13	803.45	48"	5105 M1	12" S: 798.64	18" E: 798.64
STM-14	803.24	48"	5105 M1		12" N: 799.24

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NO.	DATE	DESCRIPTION	APPROV
2	18APR	QUADRA 11APR LAYOUT UPDATE	
1	11APR	QUADRA 11APR LAYOUT UPDATE	

PROJECT: CONSUMERS CONCRETE BLOCK PLANT KALAMAZOO TWP, MI

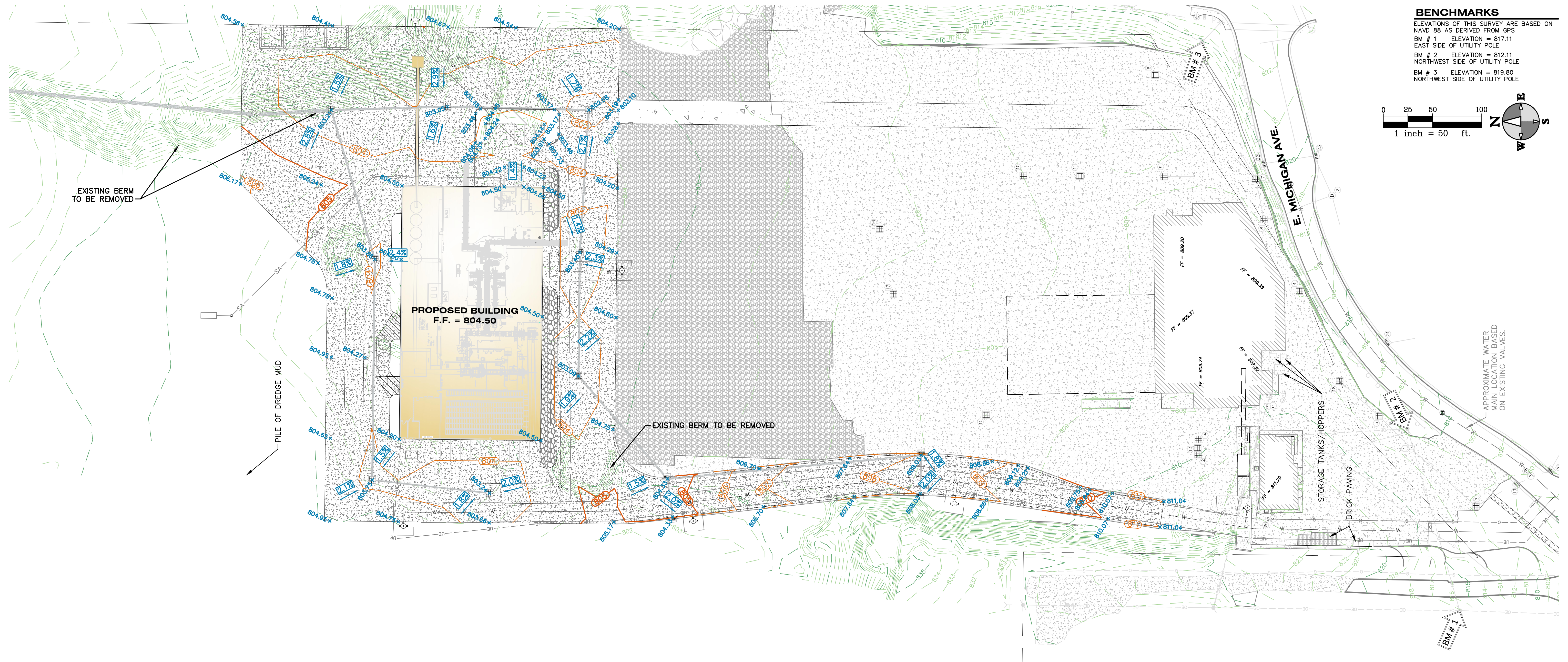
TITLE: UTILITY PLAN - NORTH

DRAWING NUMBER: C-4

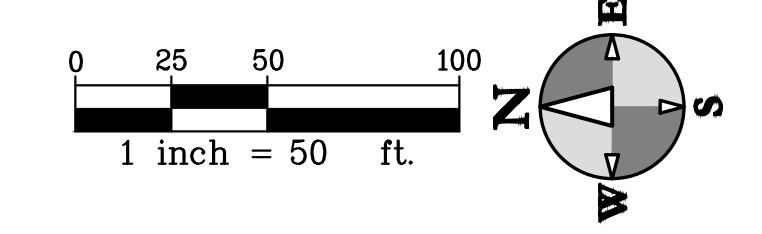
SHEET OF SHEETS

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2800 s. 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.



BENCHMARKS
 ELEVATIONS OF THIS SURVEY ARE BASED ON NAVD 88 AS DERIVED FROM GPS
 BM # 1 ELEVATION = 817.11 EAST SIDE OF UTILITY POLE
 BM # 2 ELEVATION = 812.11 NORTHWEST SIDE OF UTILITY POLE
 BM # 3 ELEVATION = 819.80 NORTHWEST SIDE OF UTILITY POLE



GRADING NOTES

1. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN. MATCH AT 1 ON 3 MAX.
2. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
3. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
4. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
5. REMOVE AND REPLACE WITH CONTROLLED FILL ANY AREAS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC.
6. ALL REQUIRED FILL FOR THIS PROJECT SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER OR CLASS II GRANULAR MATERIAL FROM BORROW AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
7. ALL COMPACTION SHALL BE ACCOMPLISHED BY PLACING THE FILL IN 12" LOOSE LIFTS AND MECHANICALLY COMPACTING EACH LIFT TO AT LEAST THE SPECIFIED MINIMUM DRY DENSITY. FIELD DENSITY TESTS SHOULD BE PERFORMED ON EACH LIFT AS NECESSARY TO ENSURE THAT ADEQUATE MOISTURE CONDITIONS AND COMPACTION ARE BEING ACHIEVED.
8. SITE CONTRACTOR SHALL REMOVE AND STOCKPILE ALL TOPSOIL AND BLACK ORGANIC SOILS ON-SITE TO BE USED IN THE REGRADING OF LANDSCAPE AREAS. THIS MATERIAL IS NOT TO BE USED FOR FILL OR PAVEMENT SUBBASE. REMOVAL OF ANY EXCESS SOIL OFF-SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
9. CONTRACTOR RESPONSIBLE FOR VERIFYING EARTHWORK CALCULATIONS PRIOR TO COMMENCING WORK. NO EXTRA EARTHWORK WILL BE PAID FOR ONCE EARTHWORK HAS BEGUN. ANY DISCREPANCIES WITH THE EARTHWORK CALCULATIONS SHALL BE REVIEWED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
10. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

SESC NOTES

1. ALL WORK WILL COMPLY WITH THE PROVISIONS OF THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (PA 347 OF 1972 AS AMENDED) ADMINISTERED BY THE KALAMAZOO COUNTY DRAIN COMMISSIONER.
2. AVOID UNNECESSARY DISTURBING OR REMOVING EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE AREAS ACT AS SEDIMENT FILTERS.
3. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE SOIL EROSION CONTROL PERMIT FROM KALAMAZOO COUNTY DRAIN COMMISSIONER.
4. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEANUP AND APPROVAL.
5. THE CONTRACTOR SHALL COMPLY WITH THE WEEKLY RECOMMENDATIONS OF THE CERTIFIED STORM WATER OPERATOR.
6. PLACE TRACK MATS AT THE ENTRANCE OF SITE TO REDUCE MATERIAL TRACKED OFF SITE.
7. IT IS THE INTENT FOR THE EARTHWORK TO BALANCE AND THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT THE EARTHWORK SHOWN BALANCES PRIOR TO BEGINNING WORK.
8. PLACE "DO NOT ENTER CONSTRUCTION ZONE" SIGNS AT ALL ENTRY POINTS TO PROJECT.
9. PROVIDE SILT SACKS IN EACH CATCH BASIN UNTIL SITE IS STABILIZED.
10. MAINTAIN A VEGETATIVE BUFFER WHEREVER POSSIBLE.
11. SEE LANDSCAPING PLAN FOR FINAL SLOPE TREATMENTS.
12. PLACE TOPSOIL AND SEED ACCORDING TO THE LANDSCAPE PLANS AS SOON AS AREAS ARE BROUGHT TO GRADE.
13. CLEAN ADJACENT ROADWAYS WHEN NECESSARY.
14. WATER SITE WHEN NECESSARY TO PREVENT AIR BORNE SEDIMENT TRANSFER.
15. PLACE MULCH BLANKET AN ALL SLOPES 1 ON 3 OR STEEPER.

GRADING PLAN LEGEND

- 720 PROPOSED CONTOUR 5-FT
- 719 PROPOSED CONTOUR NORMAL
- 720 EXISTING CONTOUR 5-FT
- 719 EXISTING CONTOUR NORMAL
- BENCH MARK

NOT FOR CONSTRUCTION

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NO.	DATE	DESCRIPTION	APPROV
2	18APR	QUADRA 11APR LAYOUT UPDATE	
1	11APR	QUADRA 11APR LAYOUT UPDATE	
PROJECT NO:	066.0-001-23	DRAWN:	TTR
DATE:	05/22/23	CHECKED:	EMB
SCALE:	AS NOTED	APPROVED:	EMB

PROJECT **CONSUMERS CONCRETE BLOCK PLANT**
 KALAMAZOO TWP, MI


TITLE **GRADING & SESC PLAN**

DRAWING NUMBER: **C-5**

SHEET OF SHEETS

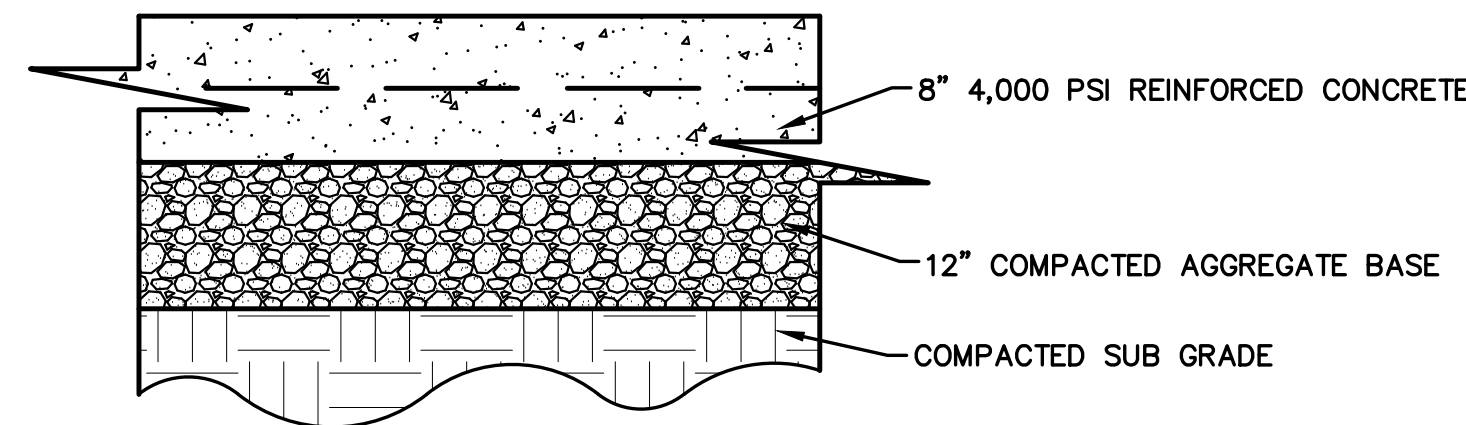


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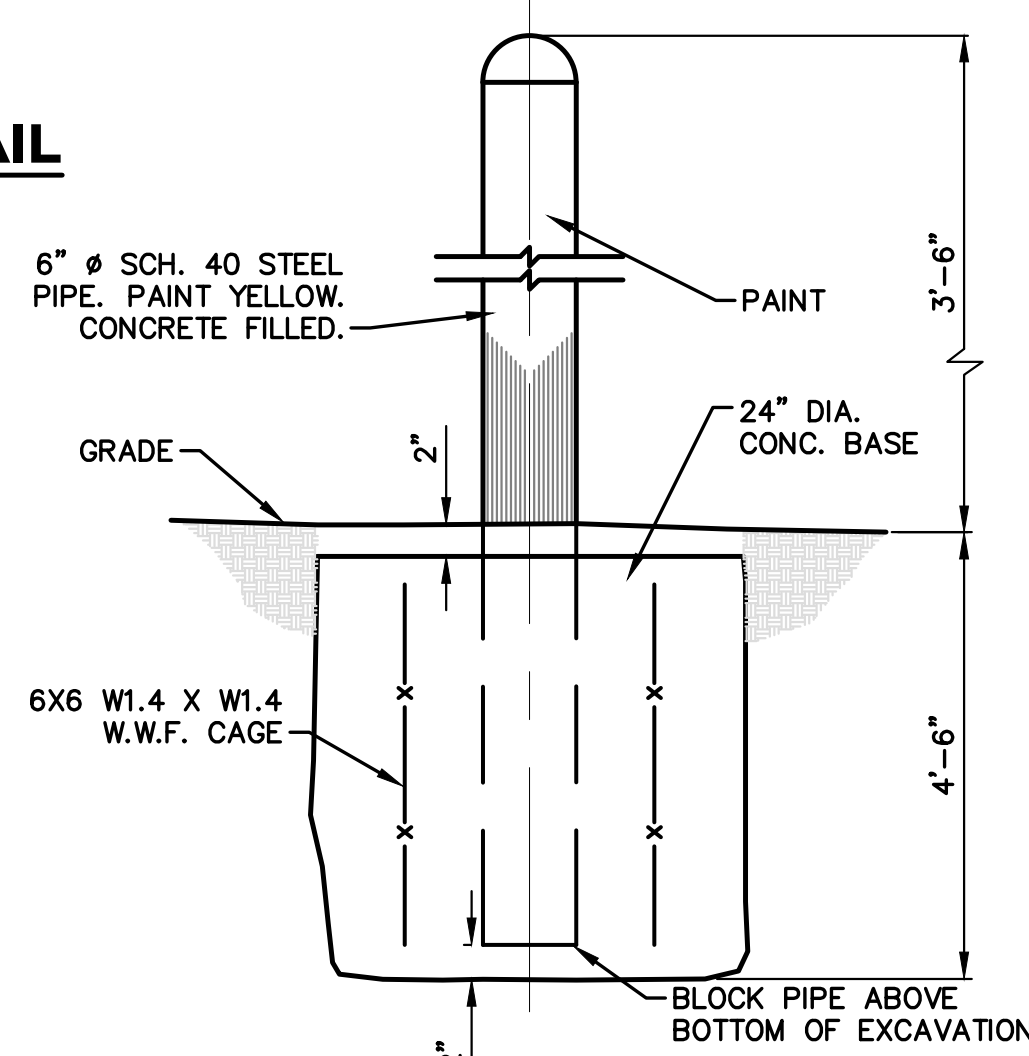


811 Know what's below.
 Call before you dig.

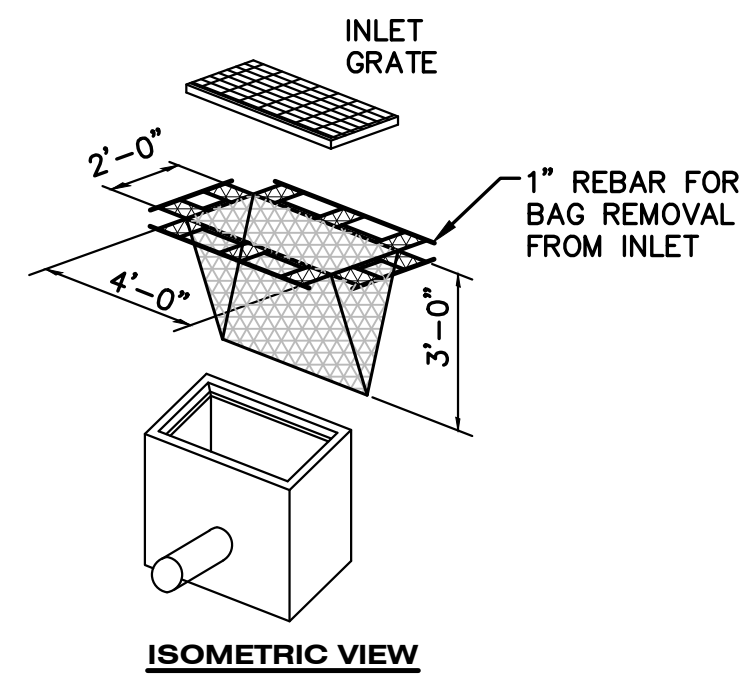
ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.



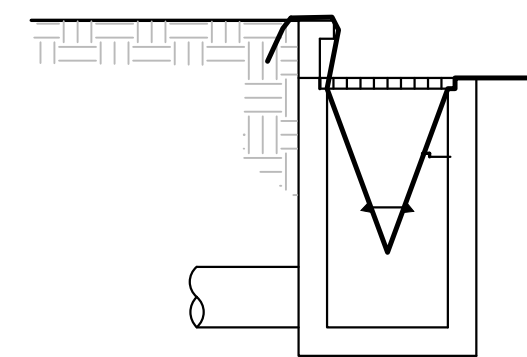
HEAVY DUTY CONCRETE DETAIL
NOT TO SCALE



6" Ø PIPE BOLLARD
NOT TO SCALE

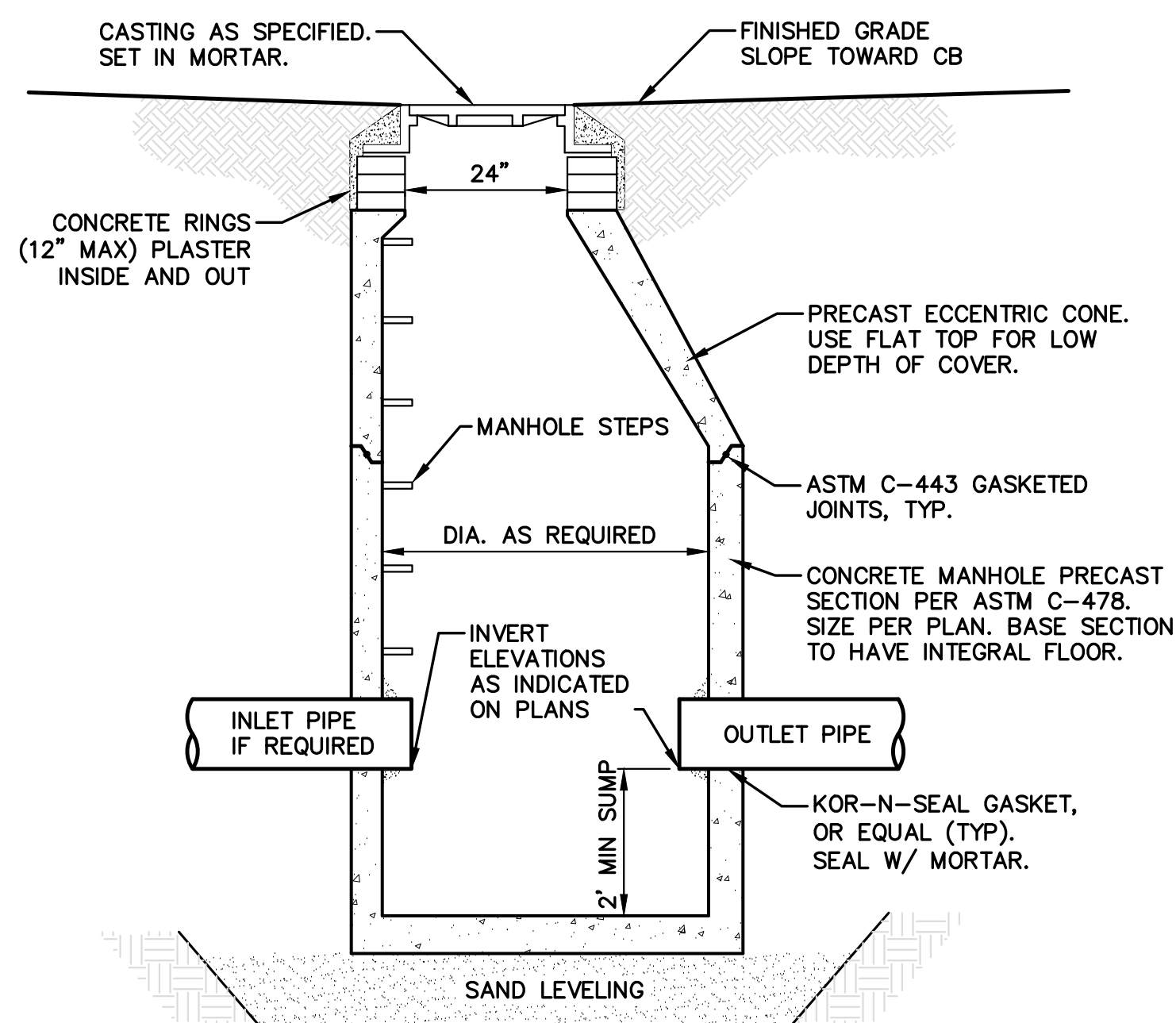


ISOMETRIC VIEW

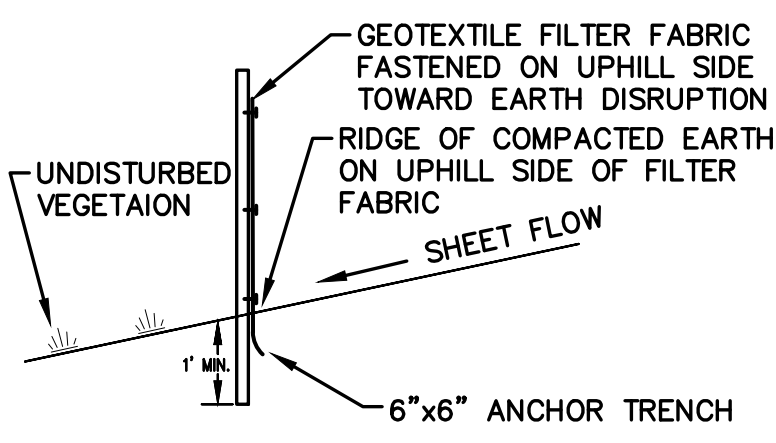
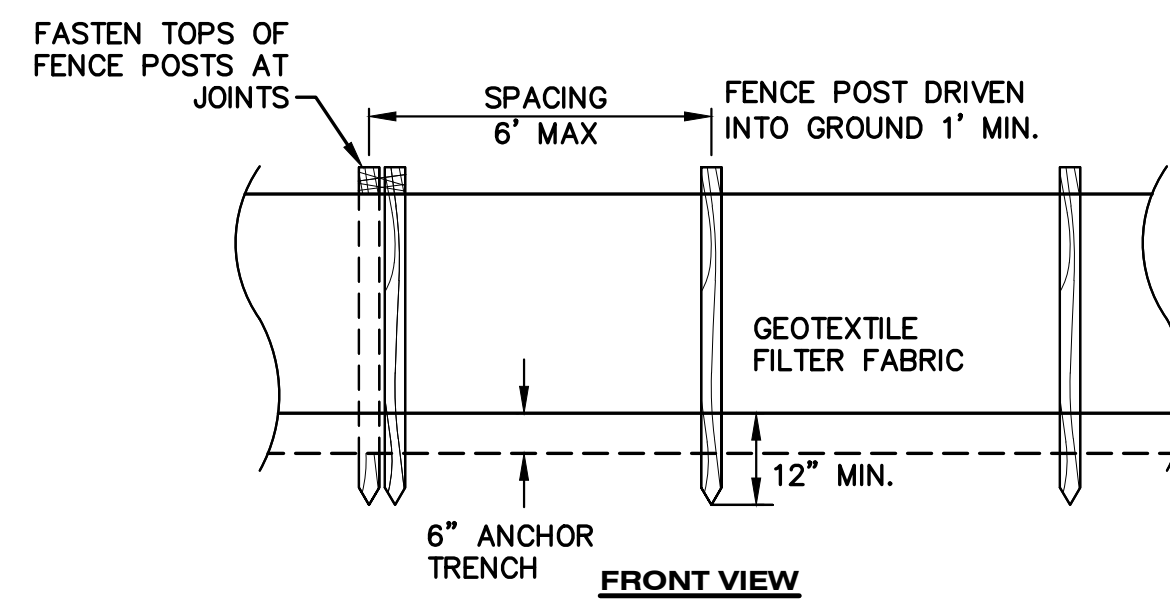


INSTALLATION DETAIL

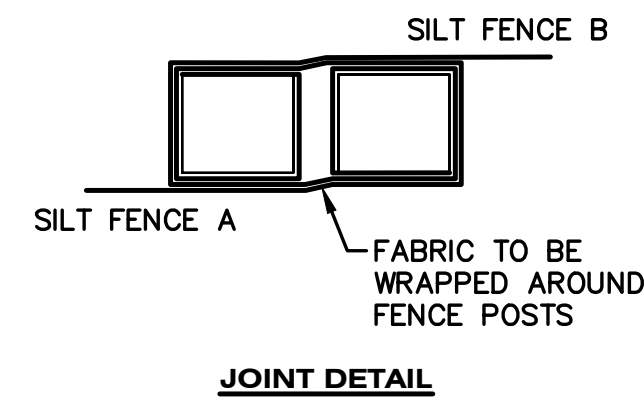
S58 INLET PROTECTION FABRIC DROP
NOT TO SCALE



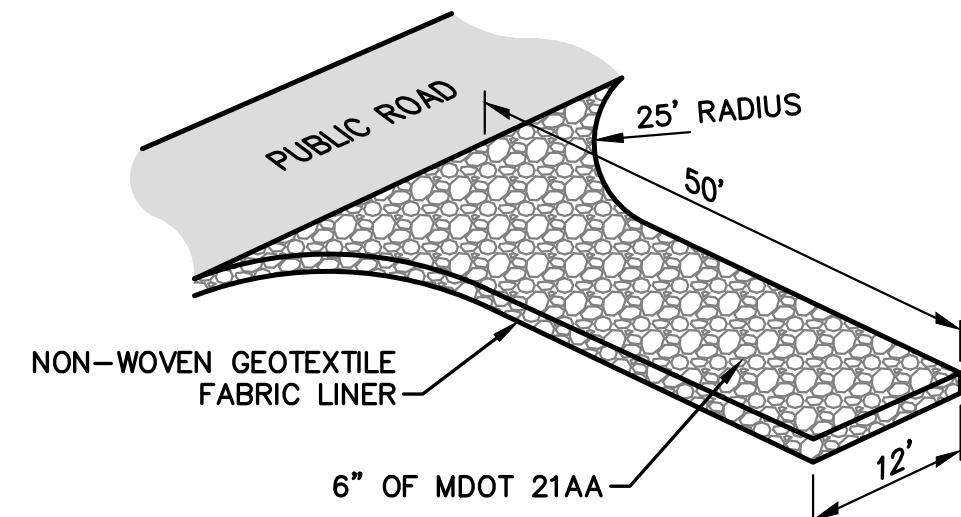
CATCH BASIN DETAIL
NOT TO SCALE



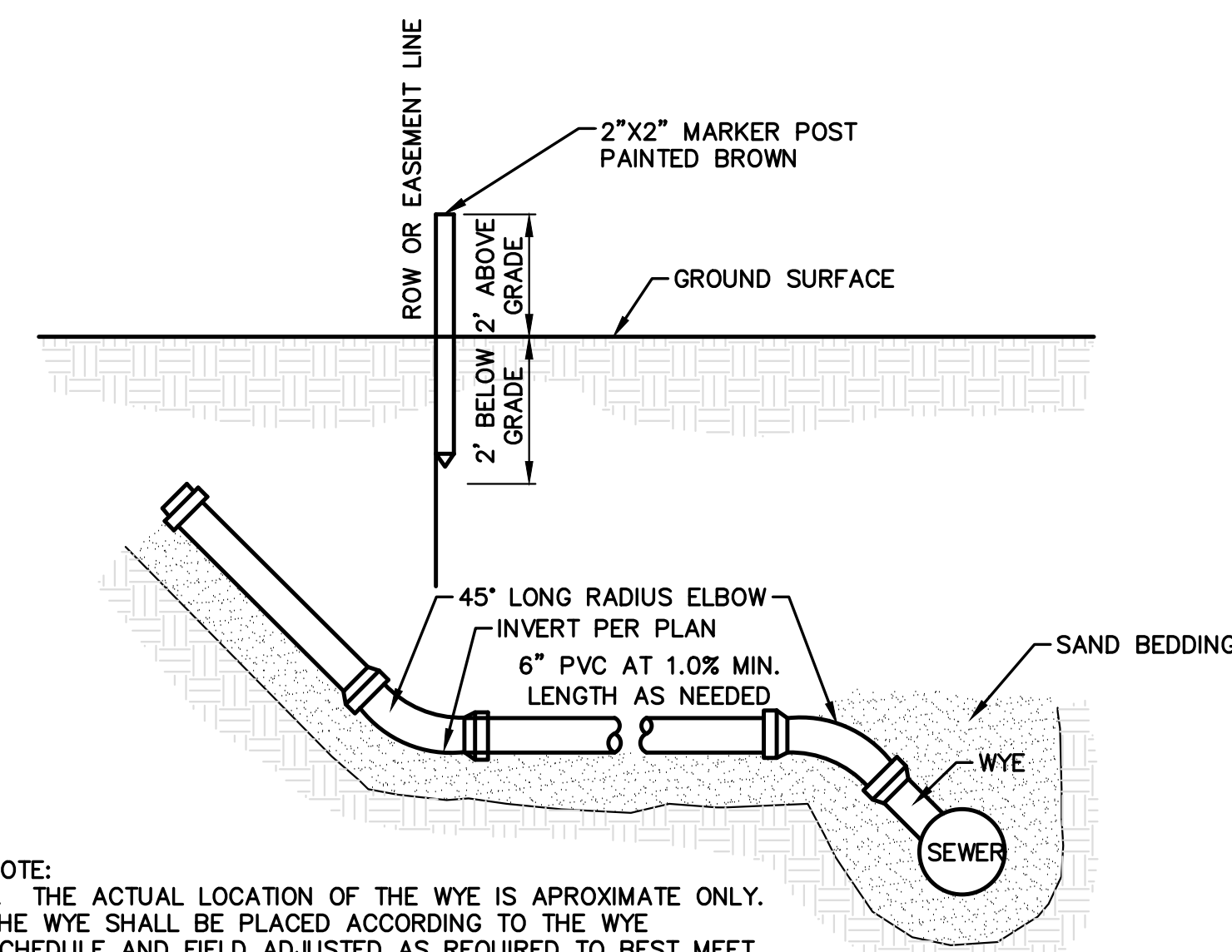
S51 SILT FENCE DETAIL
NOT TO SCALE



JOINT DETAIL

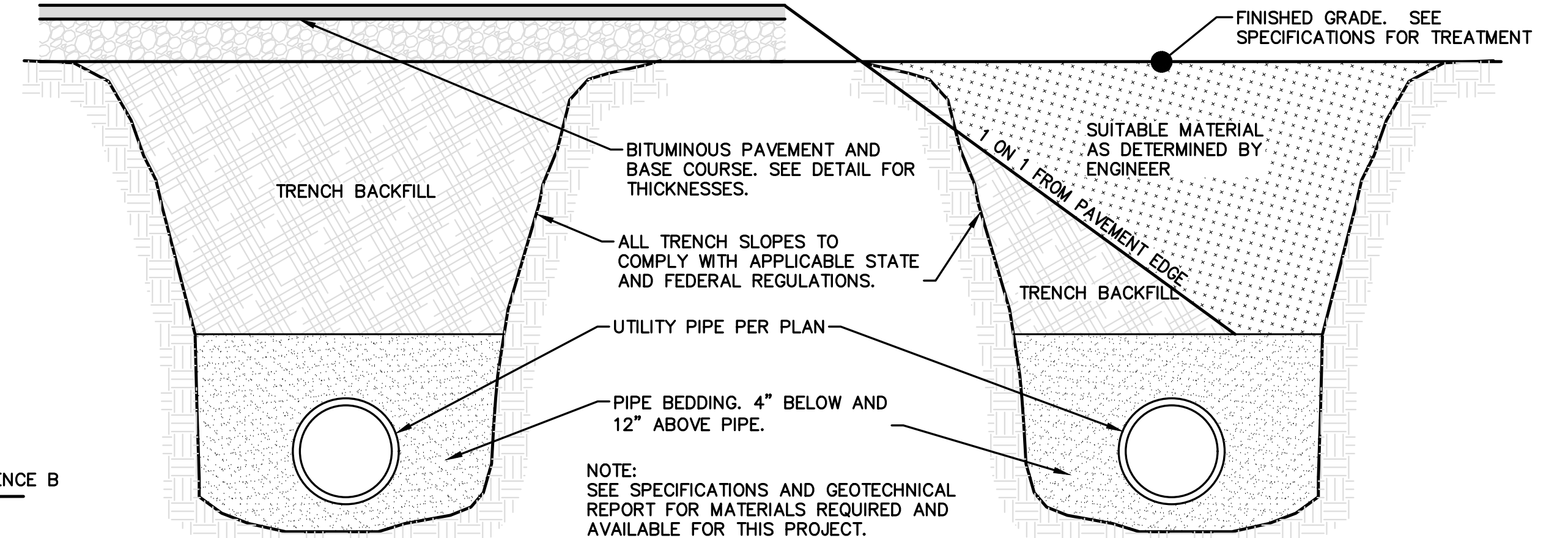


S53 STABILIZED CONSTRUCTION ACCESS
NOT TO SCALE

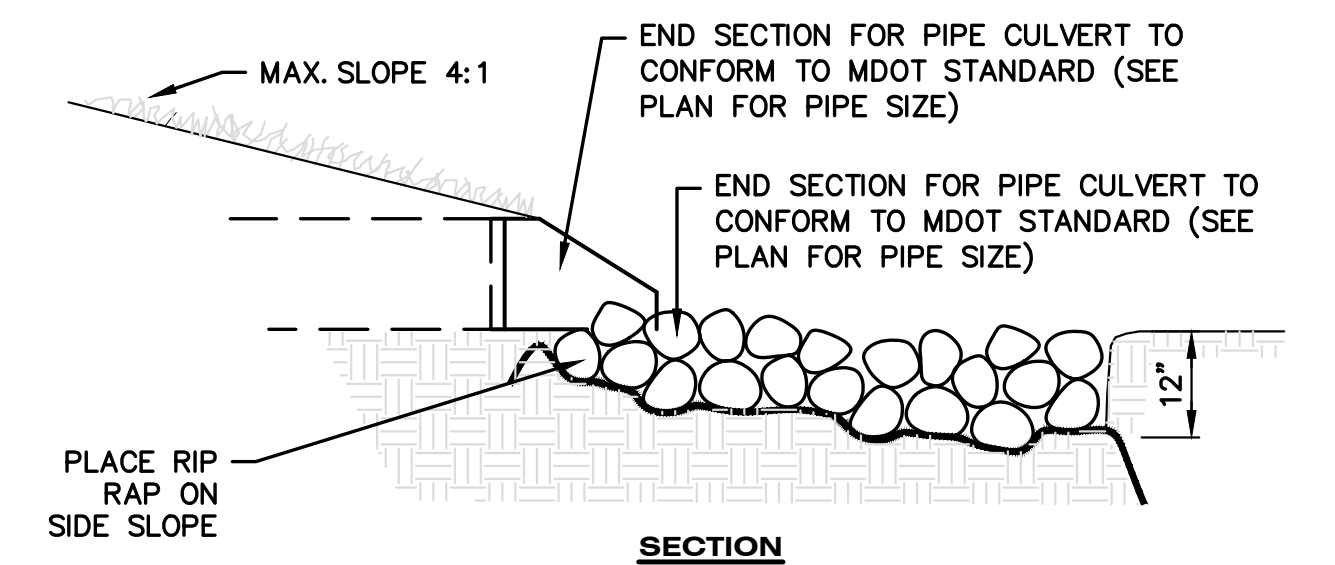
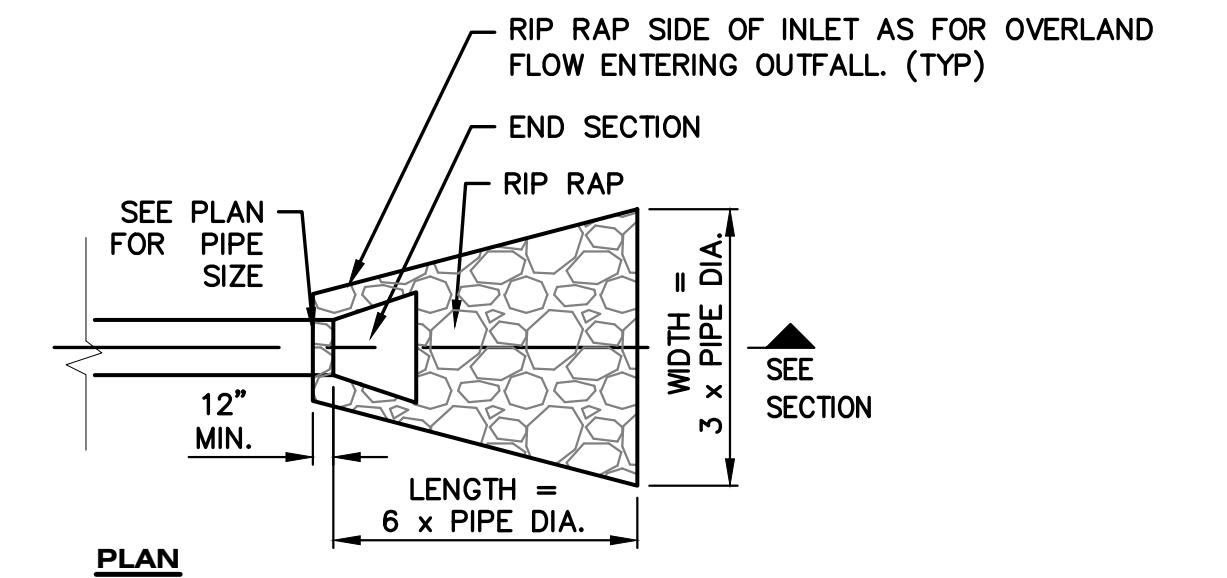


NOTE:
1. THE ACTUAL LOCATION OF THE WYE IS APPROXIMATE ONLY. THE WYE SHALL BE PLACED ACCORDING TO THE WYE SCHEDULE AND FIELD ADJUSTED AS REQUIRED TO BEST MEET THE NEEDS OF THE PROPERTY.
2. RECORD ALL WYE LOCATIONS ON THE DRAWINGS.

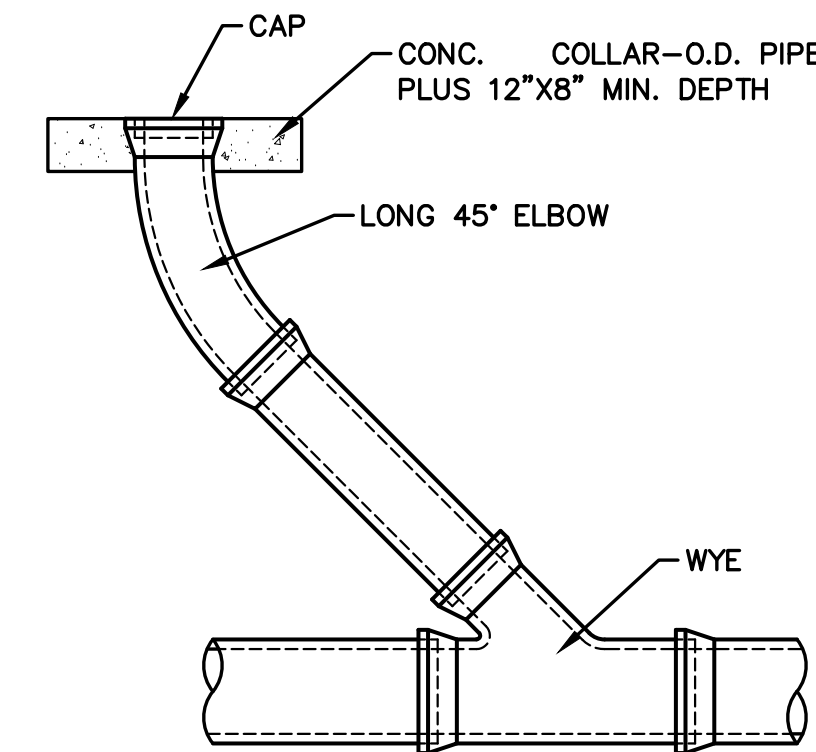
SANITARY LEAD DETAIL
NOT TO SCALE



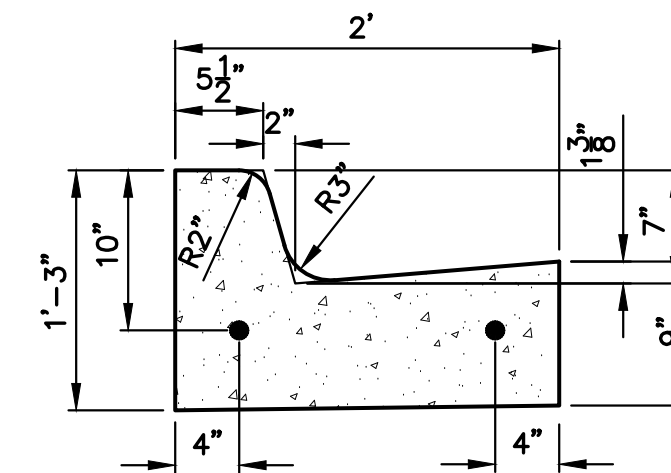
TRENCH DETAILS
NOT TO SCALE



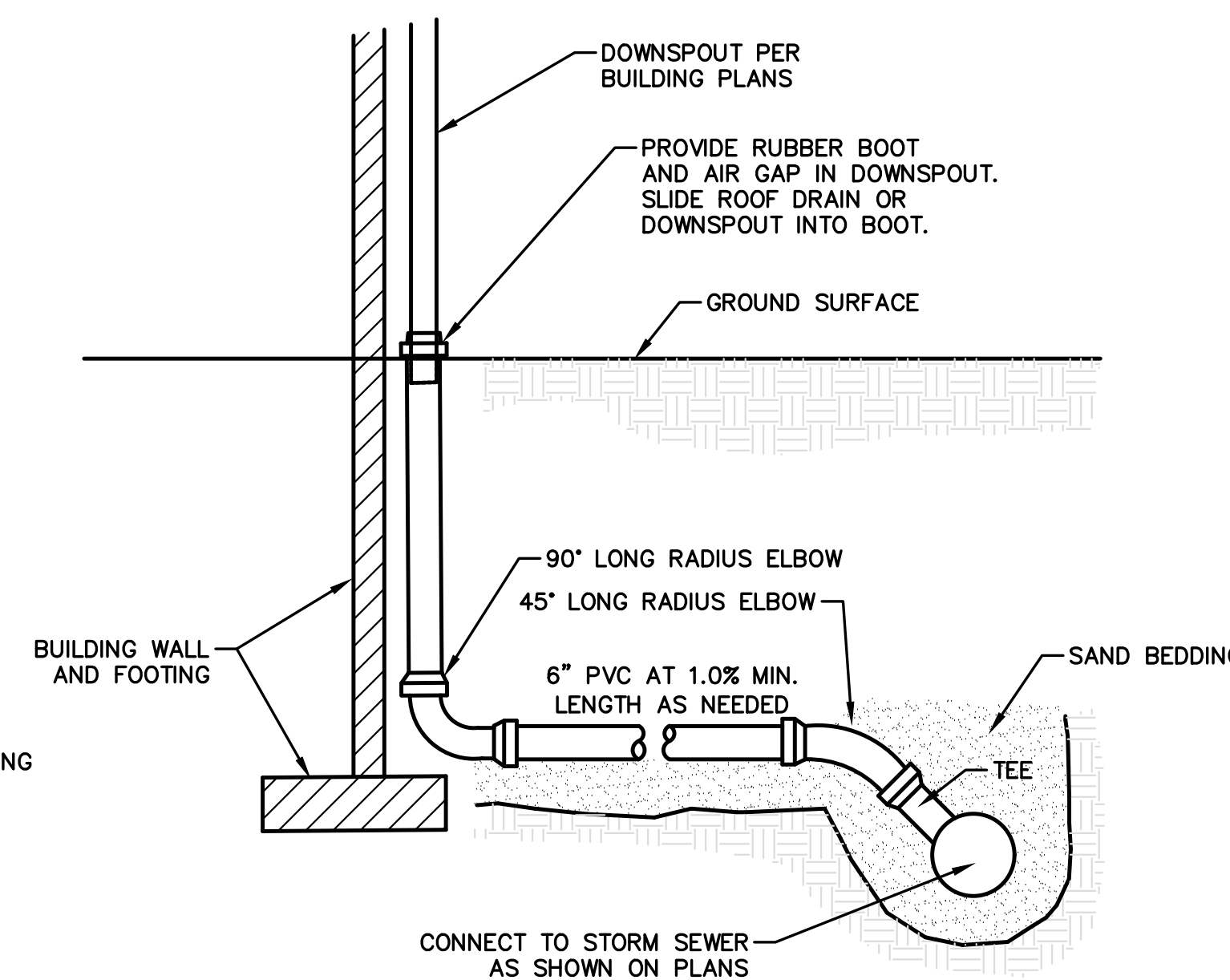
PIPE CULVERT WITH FLARED END SECTION DETAIL
NOT TO SCALE



SANITARY CLEANOUT DETAIL
NOT TO SCALE



"C4" CURB DETAIL
NOT TO SCALE



ROOF LEAD/ DOWNSPOUT DETAIL
NOT TO SCALE

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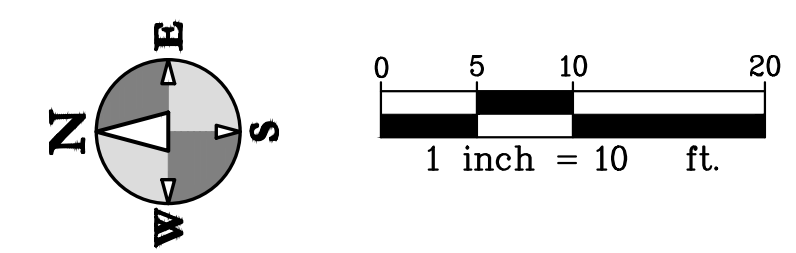
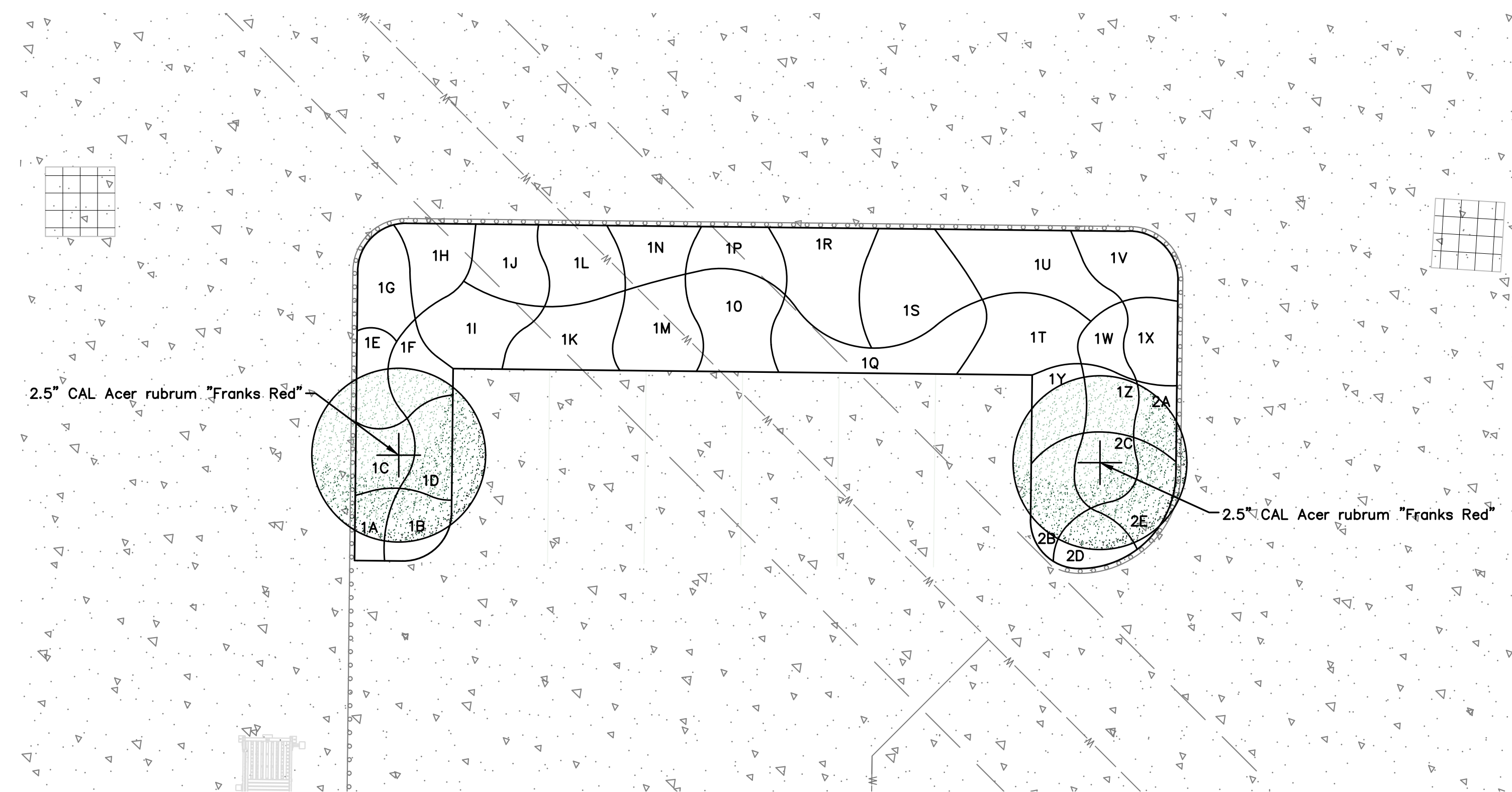
PROJECT NO:	066.0-001-23	DRAWN:	TTR
DATE:	05/22/23	CHECKED:	EMB
SCALE:	AS NOTED	APPROVED:	EMB
PROJECT	CONSUMERS CONCRETE BLOCK PLANT KALAMAZOO TWP, MI		
TITLE	DETAILS		
DRAWING NUMBER:	C-6		
SHEET OF SHEETS	C-6		



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LEGEND

PROPOSED DECIDUOUS TREE

KALAMAZOO TOWNSHIP PLANTING REQUIREMENTS

30 SF OF INTERNAL LANDSCAPE PER PARKING SPACE
 19 PARKING SPACE X 30 SF = 570 SF OF INTERIOR LANDSCAPE REQUIRED
 1,732 SF INTERIOR LANDSCAPE PROVIDED
 1 TREE PROVIDED PER 10 PARKING SPACES
 19 PARKING SPACES/ 10= 2 TREES REQUIRED
 2 TREES PROVIDED

- LANDSCAPE NOTES:**
1. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK." MEASURE ACCORDING TO ANSI Z60.1 STANDARDS.
 2. WARRANT TREES AND PERENNIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
 3. REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
 4. MAINTAIN TREES AND PERENNIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 5. APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS REAPPLY AS RECOMMENDED BY PRODUCT DURING ONE YEAR WARRANTY PERIOD.

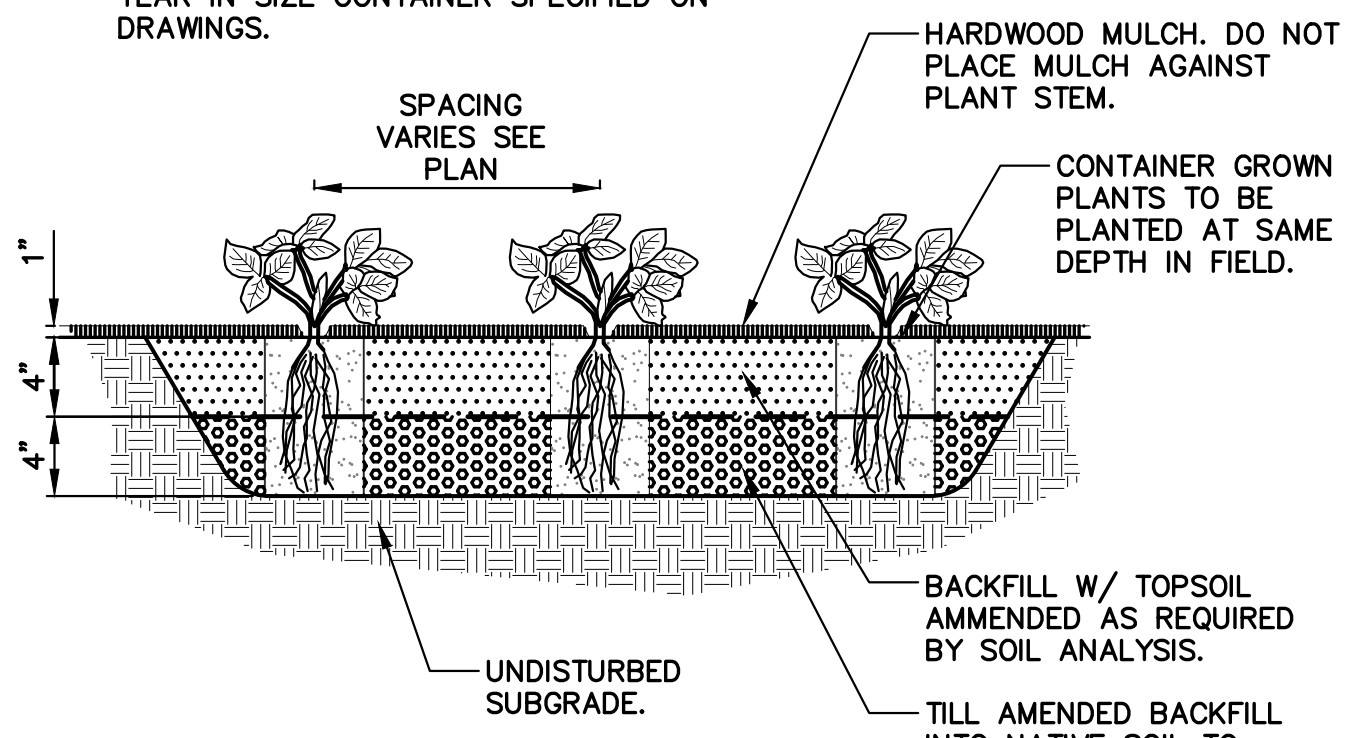
Planting Schedule Perennials			
Latin Name	Common Name	Size	Container Type
Acornus americanus	Sweet Flag	quart	Cont.
Andropogon gerardii	Big Bluestem Grass	quart	
Aquilegia canadensis	Wild Columbine	quart	Cont.
Asclepias incarnata	Swamp Milkweed	quart	Cont.
Asclepias syriaca	Common Milkweed	quart	Cont.
Asclepias verticillata	Whorled Milkweed	quart	Cont.
Baptisia australis	Blue Wild Indigo	quart	Cont.
Baptisia bracteata	Cream Wild Indigo	quart	Cont.
Bouteloua curtipendula	Side-Oats Grama	quart	Cont.
Coreopsis lanceolata	Sand Coreopsis	quart	Cont.
Dalea purpurea	Purple Prairie Clover	quart	Cont.
Echinacea pallida	Purple Coneflower	quart	Cont.
Echinacea purpurea	Broad-Leaved Purple Coneflower	quart	Cont.
Heliopsis helianthoides	False Sunflower	quart	Cont.
Koeleria macrantha	June Grass	quart	Cont.
Liatris aspera	Rough Blazing Star	quart	Cont.
Liatris spicata	Marsh Blazing Star	quart	Cont.
Monarda fistulosa	Wild Bergamot	quart	Cont.
Parthenium integrifolium	Wild Quinine	quart	Cont.
Ratibida pinnata	Yellow Coneflower	quart	Cont.
Schizachyrium scoparium	Little Bluestem	quart	Cont.
Silene regia	Royal Catchfly	quart	Cont.
Silphium laciniatum	Compass Plant	quart	Cont.
Sorghastrum nutans	Indian Grass	quart	Cont.
Sporobolus heterolepis	Prairie Dropseed	quart	Cont.
Symphotrichum laeve	Smooth Blue Aster	quart	Cont.
Symphotrichum novae-angliae	New England Aster	quart	Cont.
Symphotrichum oolentangiense	Sky-Blue Aster	quart	Cont.
Tradescantia ohiensis	Common Spiderwort	quart	Cont.
Veronicastrum virginicum	Culver's Root	quart	Cont.

PLANTING REQUIREMENTS

PLANT BY NUMBERED SEGMENT WITH PLANTS AS DIRECTED BELOW EVENLY SPACE PER DETAIL APPROXIMATELY 18" ON CENTER.

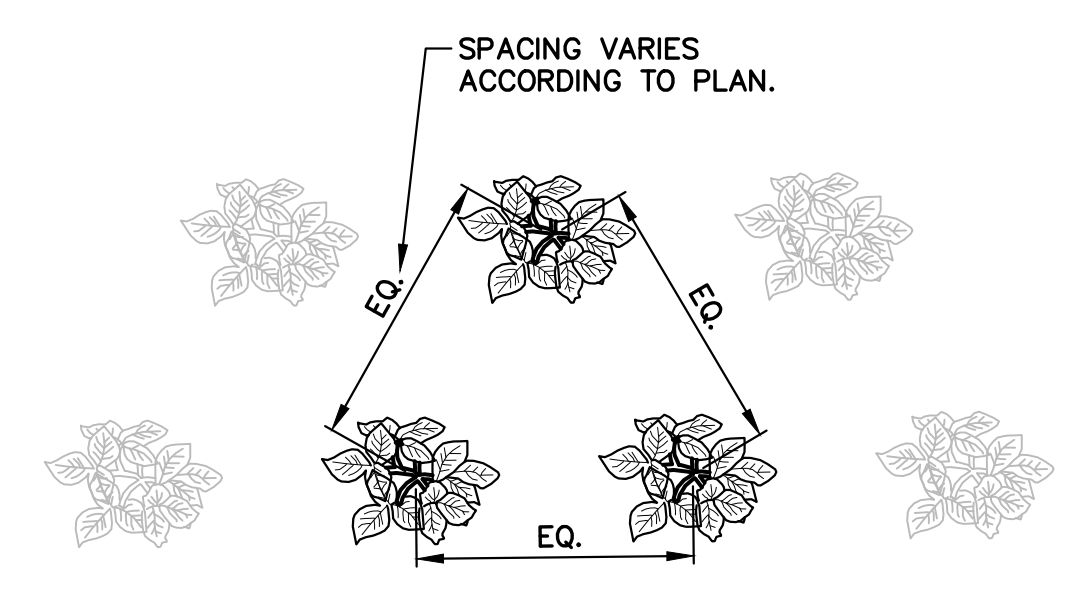
- 1A- 5 WILD COLUMBINE, 6 MARSH BLAZING STAR
- 1B- 9 COMMON MILKWEED, 9 PURPLE PRAIRIE CLOVER
- 1C- 9 WILD BERGAMOT, 8 INDIAN GRASS
- 1D- 10 WILD COLUMBINE, 9 MARSH BLAZING STAR
- 1E- 9 CULVERS ROOT, 8 NEW ENGLAND ASTER
- 1F- 18 LITTLE BLUESTEM
- 1G- 12 WHORLED MILKWEED, 12 PRAIRIE DROPSEED
- 1H- 12 COMPASS PLANTS, 11 SMOOTH BLUE ASTER
- 1I- 16 FALSE SUNFLOWER, 16 INDIAN GRASS
- 1J- 25 BIG BLUESTEM GRASS
- 1K- 30 ROYAL CATCHFLY
- 1L- 14 WHORLED MILKWEED, 14 LITTLE BLUESTEM
- 1M- 16 BLUE WILD INDIGO, 17 COMMON SPIDERWORT
- 1N- 9 WILD BERGAMOT, 10 INDIAN GRASS
- 1O- 19 WILD COLUMBINE, 19 MARSH BLAZING STAR
- 1P- 10 COMMON MILKWEED, 10 SWEET FLAG
- 1Q- 43 COMPASS PLANT
- 1R- 40 BROAD-LEAVED PURPLE CONEFLOWER
- 1S- 24 COMMON MILKWEED, 24 INDIAN GRASS
- 1T- 19 SAND COREOPSIS, 18 PURPLE PRAIRIE CLOVER
- 1U- 22 SKY-BLUE ASTER, 22 JUNE GRASS
- 1V- 13 WHORLED MILKWEED, 13 SIDE-OATS GRAMA
- 1W- 6 CREAM WILD INDIGO, 6 CULVER'S ROOT
- 1X- 10 YELLOW CONEFLOWER, 10 ROUGH BLAZING STAR
- 1Y- 10 WILD COLUMBINE, 10 SAND COREOPSIS
- 1Z- 8 PURPLE CONEFLOWER, 7 INDIAN GRASS
- 2A- 12 WILD QUININE
- 2B- 10 BIG BLUESTEM GRASS, 11 WILD BERGAMOT
- 2C- 10 WHORLED MILKWEED, 9 SAND COREOPSIS
- 2D- 8 COMMON MILKWEED, 8 SIDE-OATS GRAMA
- 2E- 20 PURPLE PRAIRIE CLOVER

NOTE: CONTAINER GROWN PLANTS MUST BE GROWN FOR A MINIMUM OF ONE FULL YEAR IN SIZE CONTAINER SPECIFIED ON DRAWINGS.



PERENNIAL AND GROUNDCOVER PLANTING DETAIL

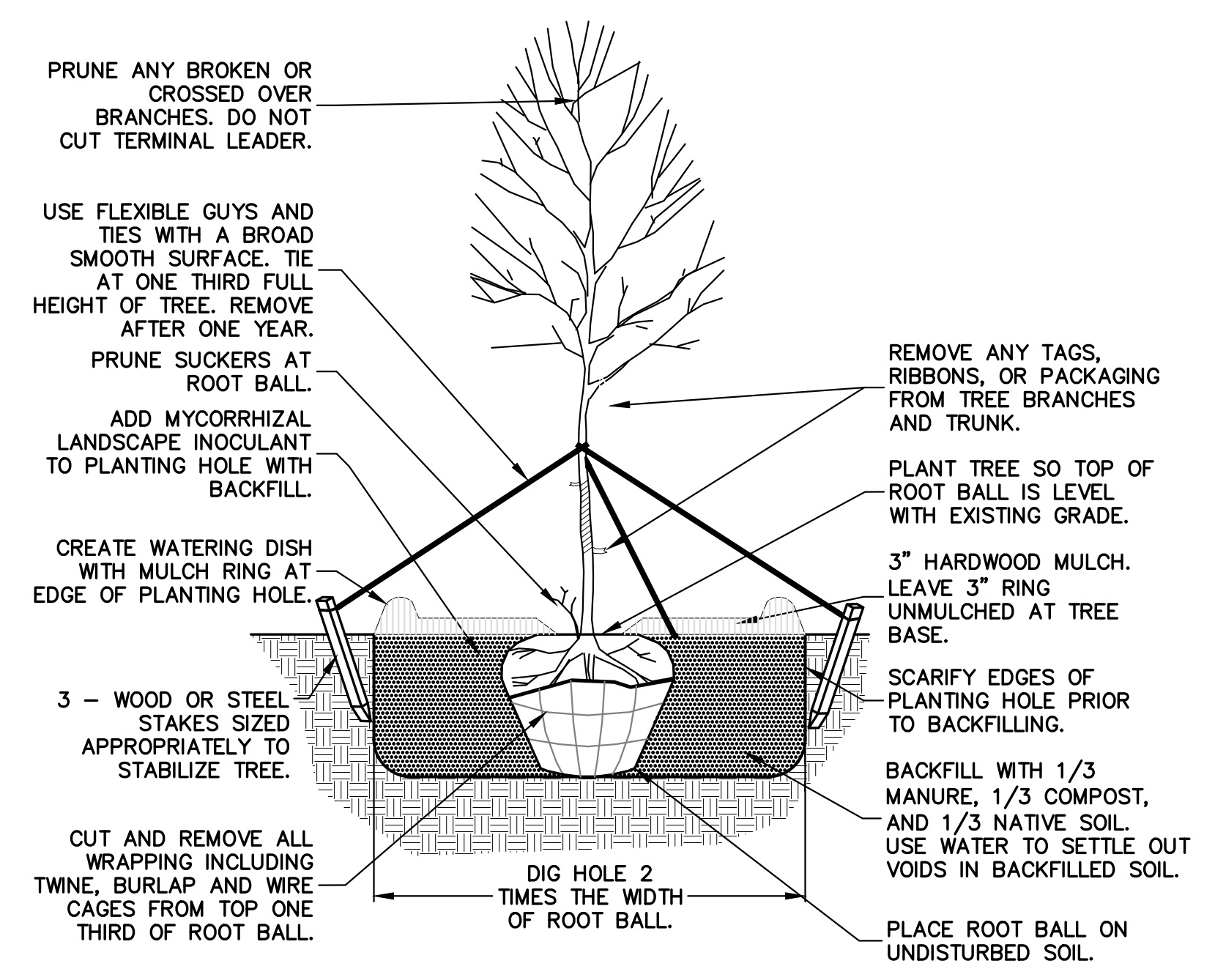
NOT TO SCALE



PERENNIAL AND GROUNDCOVER PLANT SPACING DETAIL

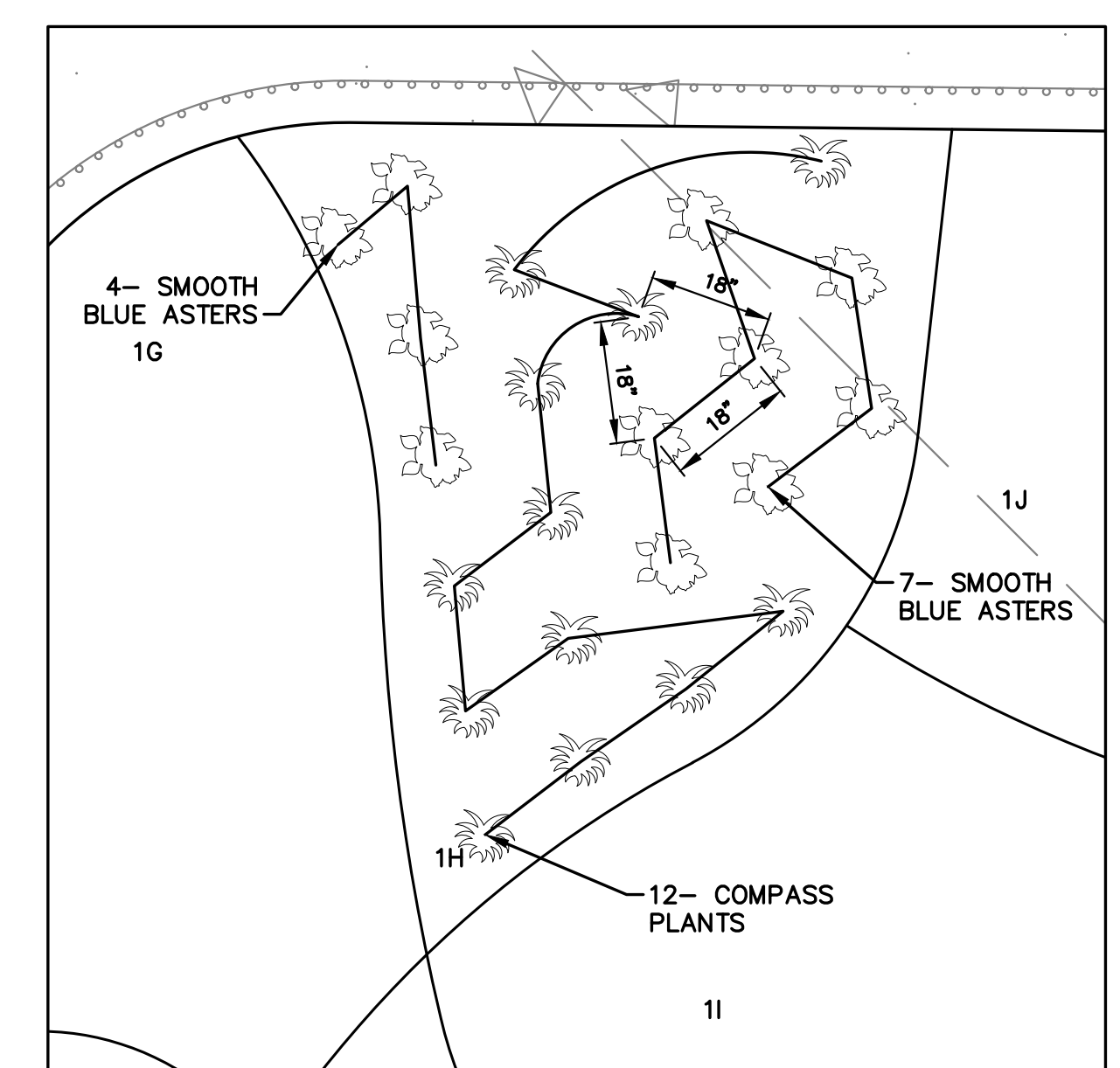
NOT TO SCALE

NOTE: STAKING OF BALL AND BURLAP TREES REQUIRED AT THE DISCRETION OF THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL STAKING AT END OF ONE YEAR WARRANTY PERIOD.



DECIDUOUS TREE

NOT TO SCALE



PLANTING SAMPLE SEGMENT 1H

NOT FOR CONSTRUCTION

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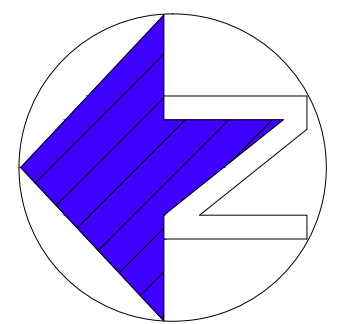
NO.	DATE	DESCRIPTION	APPROVED
2	18APR	QUADRA 11APR LAYOUT UPDATE	
1	11APR	QUADRA 11APR LAYOUT UPDATE	

PROJECT: CONSUMERS CONCRETE BLOCK PLANT KALAMAZOO TWP, MI

TITLE: LANDSCAPE PLAN

DRAWING NUMBER: C-7

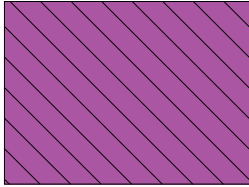
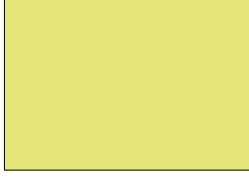
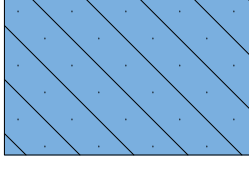
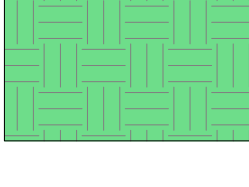



SHEET OF SHEETS



NORTH

PARCEL: 06-13-480-011
TOTAL ACREAGE: 52.31 ACRES
NEW CONSTRUCTION: ~ 3.93 ACRES
NEW ACCESS ROAD: ~ 0.35 ACRES

LEGEND

-  EXISTING FACILITIES
-  PROPOSED NEW CONSTRUCTION
-  PROPOSED NEW CONSTRUCTION
-  EXISTING GREEN SPACE
-  WATER LINE
-  GAS LINE
-  ELECTRIC LINE

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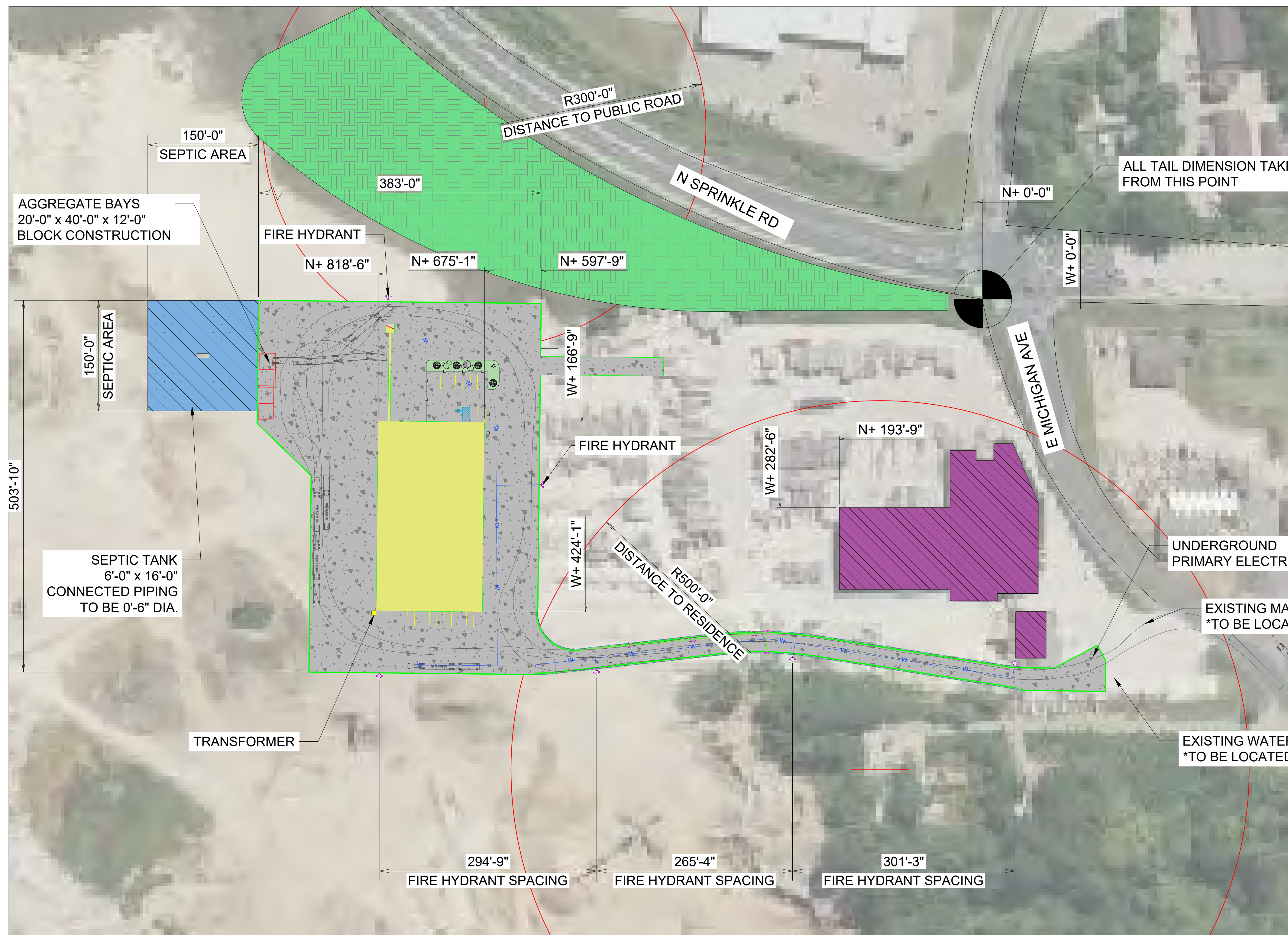
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NO.	DATE	DESCRIPTION	APPROV
PROJECT NO:		DRAWN:	CSPENCER
DATE:	3-7-2023	CHECKED:	
SCALE:	AS NOTED	APPROVED:	

PROJECT CONSUMERS CONCRETE BLOCK PLANT
KALAMAZOO TWP, MI

TITLE BUILDING AND LOT LINE

DRAWING NUMBER: C-6
SHEET of SHEETS

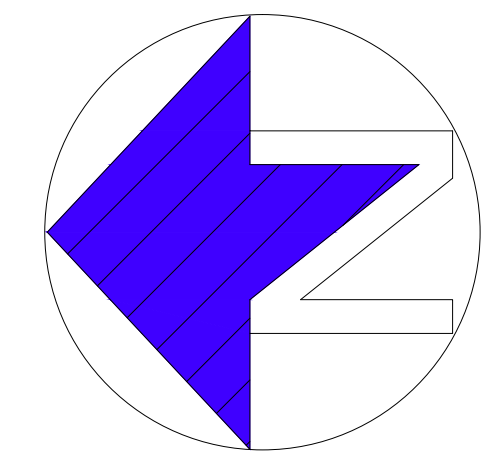


LEGAL DESCRIPTION

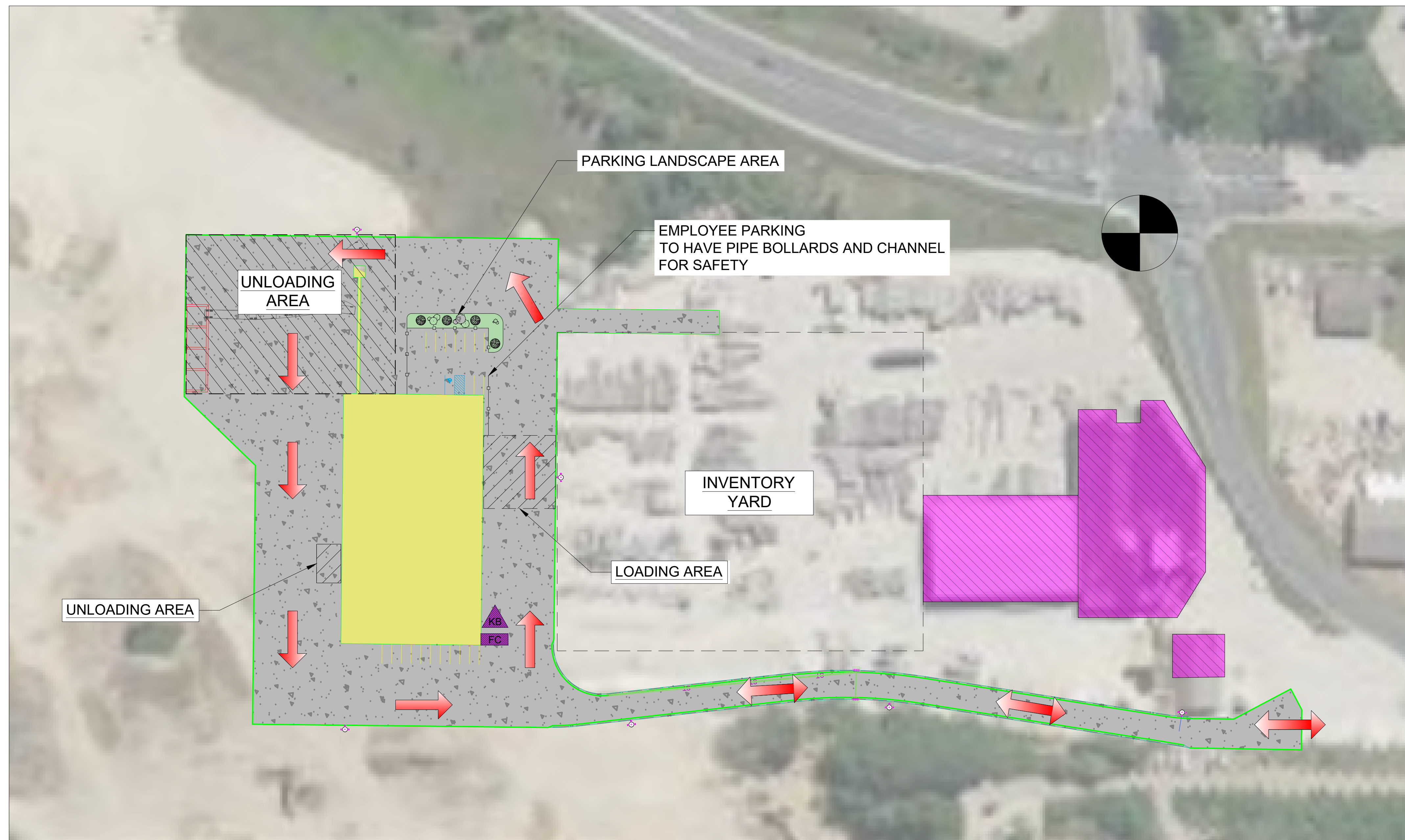
3397600 3906 13 480 011 LINCOLN HEIGHTS LOTS 1 THRU 8
EXC THAT PART LYING SLY OF THE FOLLOWING DESC: BEG
ON THE E LI LOT 1 AT A PT 334 FT N OF THE SE COR SD LOT
TH S 57 DEG 45 MIN W 298 FT TH S 67 DEG 30 MIN W 155
FT TH S 46 DEG 20 MIN W 182 FT TO A PT ON W LI LOT 8
125 FT N OF SW COR FOR POB. ALSO LOTS 24 THRU 40
AND 48 THRU 71. ALSO COM AT THE E ¼ POST SECTION 13
TH S ALG E LI SD SEC 580.8 FT TH W 888.36 FT TH PAR TO
SD E LI 582.82 FT TH E ALG E & W ¼ LI 888.36 FT TO POB.

PROPOSED LAND USE DESCRIPTION



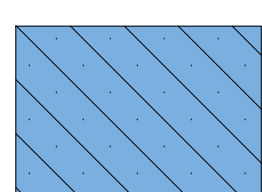
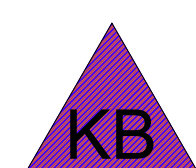

THE PROPOSED PROJECT WILL UTILIZE A PORTION OF
THE PROPERTY FOR THE CONSTRUCTION OF A NEW,
APPROXIMATELY 34,000SF, BLOCK MANUFACTURING
FACILITY. THERE WILL ALSO BE EXTERIOR PAVED
ROADWAYS AND PARKING LOT, A NEW SEPTIC FIELD,
AND EXTERIOR AGGREGATE STORAGE AREAS.



NORTH



LEGEND

-  EXISTING FACILITIES
-  PROPOSED NEW CONSTRUCTION
-  PROPOSED NEW CONSTRUCTION
-  KNOX BOX
-  FIRE CONNECTION

NOT FOR CONSTRUCTION

INDICATED SCALE FACTOR ONLY ACCURATE IF PRINTED ON 24 x 36 DRAWING SHEET.



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NO.	DATE	DESCRIPTION	APPROV

PROJECT NO:	-	DRAWN:	CSPENCER
DATE:	3-7-2023	CHECKED:	-
SCALE:	AS NOTED	APPROVED:	-

PROJECT CONSUMERS CONCRETE BLOCK PLANT KALAMAZOO TWP, MI

TITLE SITE PLAN

TRAFFIC PATTERN/ FIRE LANE

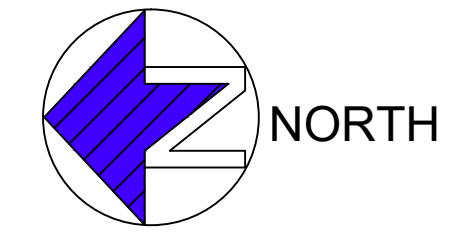
DRAWING NUMBER:

SHEET of SHEETS C-7

VARIANCE REQUEST

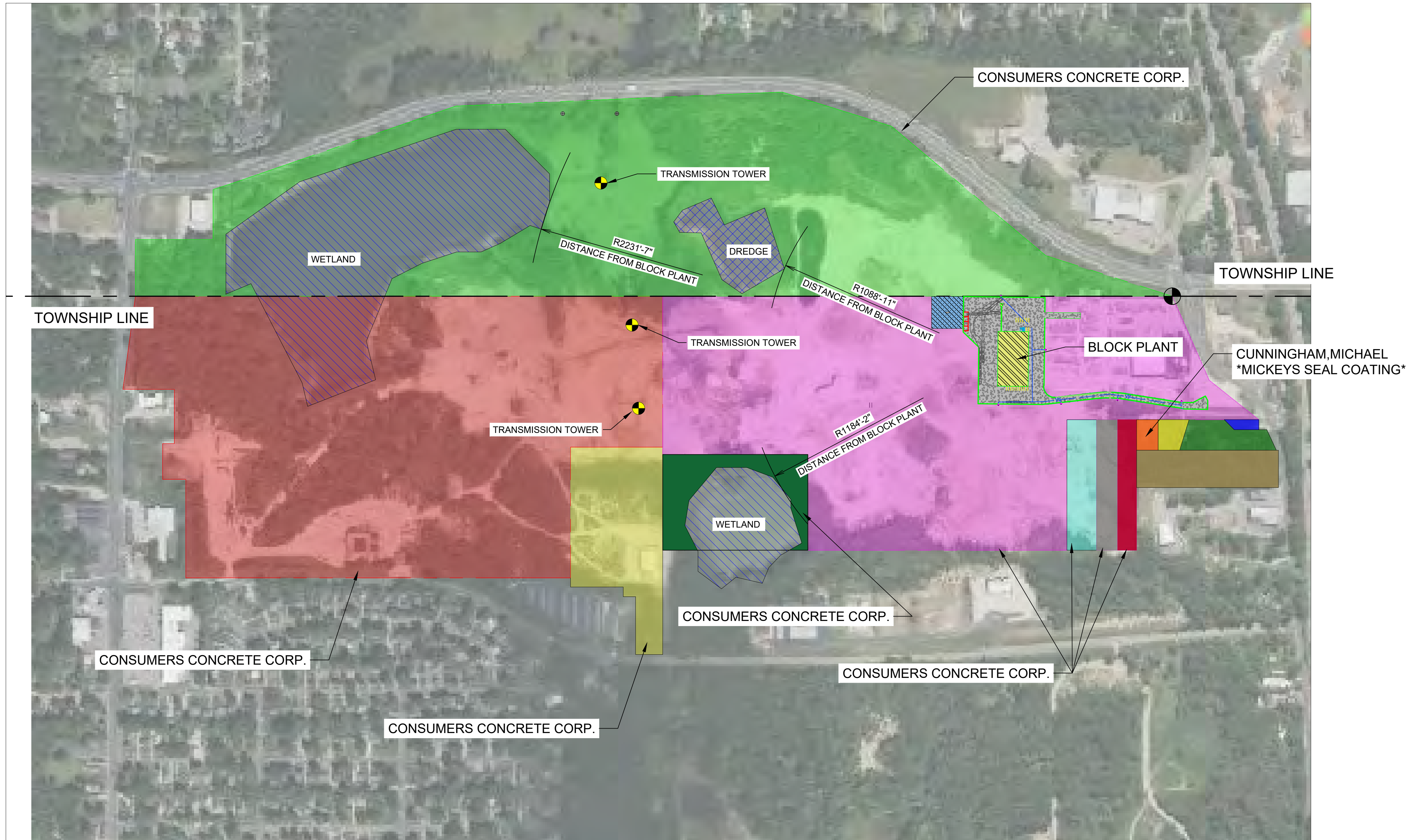
- SECTION 4.01 (D0(6)) - PARKING-
 - PER THE ORDINANCE, 1 PARKING SPACE IS REQUIRED FOR EVERY 750 SF OF GROSS FLOOR AREA. OUR GROSS BUILDING FLOOR AREA IS 38,800SF. USING THIS SQUARE FOOTAGE, THE CALCULATED NUMBER OF SPACES IS 51.75 SPACES. THE NEW FACILITY WILL EMPLOY AT MOST 12 PERSONS DURING THE DAY SHIFT. IN ADDITION, THERE WILL BE A NEED FOR AS MANY AS 4 PARKING SPACES FOR MAINTENANCE EQUIPMENT. THIS NEW FACILITY IS NOT OPEN TO THE PUBLIC NOR DOES IT HAVE ANY ACCESS FROM PUBLIC ROADS THAT WOULD NECESSITATE PARKING. FOR THIS REASON, CONSUMERS PROPOSES TO PROVIDE 18 PARKING SPACES, OF WHICH ONE IS A VAN ACCESSIBLE ADA CONFORMING SPACE.
- SECTION 5.02 (B) -LANDSCAPING.
 - ALONG E. MICHIGAN AVENUE THERE CURRENTLY IS NO IMPERVIOUS SPACE ON WHICH TO PLANT ANY LANDSCAPING WITHOUT IMPACTING EXISTING PRODUCTION ACTIVITIES THE EXISTING PLANT AT A FUTURE DATE IS PLANNED TO BE ABANDONED AND DEMOLISHED. AT THAT TIME, AS PART OF THE AREA REDEVELOPMENT CONSUMERS CAN INCLUDE A LANDSCAPE PLAN THAT IS IN ACCORDANCE WITH TOWNSHIP ORDINANCE.

- SECTION 5.02 (F) -LANDSCAPING PARKING LOTS
 - THE ORDINANCE CALLS FOR 30SF OF LANDSCAPE AREA PER PARKING SPACE PLUS 1 SHADE TREE FOR EVERY 5 PARKING SPACES. WITH THE REQUESTED VARIANCE FOR NUMBER OF PARKING SPACES [18], WE PROPOSE A PARKING LANDSCAPE AREA OF 1,700 SQUARE FEET TO INCLUDE 4 TREES AROUND THE PARKING AREA AT THE SOUTHEAST CORNER OF THE PROPOSED FACILITY.
- SECTION 25.02, BUILDING HEIGHT-
 - THE ORDINANCE LIMITS AVERAGE BUILDING HEIGHT TO A MAXIMUM OF 45'-0". OUR BUILDING HAS TWO BAYS. THE LOW BAY HAS AN AVERAGE HEIGHT OF 34'-3". OUR HIGH BAY HAS AN AVERAGE HEIGHT OF 50'-10". CONSUMERS IS ASKING FOR A VARIANCE TO ALLOW THE HIGH BAY TO REMAIN AS DESIGNED TO BEST ACCOMMODATE OUR PRODUCTION. GENERALLY, OUR PROPOSED BUILDING FLOOR [804.5'] IS MORE THAN 30' BELOW THE CENTERLINE OF SPRINKLE ROAD. SEE DRAWING C-10.



LEGEND

- PARCEL: 06-13-480-011
TOTAL ACREAGE: 52.31 ACRES
NEW CONSTRUCTION: ~ 3.93 ACRES
NEW ACCESS ROAD: ~ 0.35 ACRES
- PARCEL: 06-13-235-041
66.54 ACRES
- PARCEL: 07-18-105-050
72.90 ACRES
- PARCEL: 07-18-105-050
72.90 ACRES
- PARCEL: 06-13-480-210
2.82 ACRES
- PARCEL: 06-13-480-190
1.88 ACRES
- PARCEL: 06-13-480-170
1.88 ACRES
- PARCEL: 06-13-480-090
0.22 ACRES
- PARCEL: 06-13-480-102
0.39 ACRES
- PARCEL: 06-13-480-103
1.24 ACRES
- PARCEL: 06-13-480-091
0.06 ACRES
- PARCEL: 06-13-480-110
2.00 ACRES
- PARCEL: 06-13-430-010
4.40 ACRES



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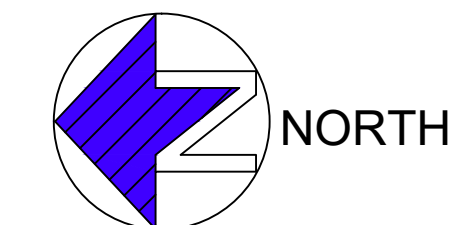
PROJECT NO:	-	DRAWN:	CSPENCER
DATE:	3-7-2023	CHECKED:	-
SCALE:	AS NOTED	APPROVED:	-

PROJECT **CONSUMERS CONCRETE BLOCK PLANT**
KALAMAZOO TWP, MI

TITLE **SITE PLAN PARCELS**

DRAWING NUMBER: **C-8**

SHEET of SHEETS



LEGEND

- PARCEL: 06-13-480-011
52.31 ACRES
- PARCEL: 06-13-235-041
66.54 ACRES
- PARCEL: 07-18-105-050
72.90 ACRES
- PARCEL: 07-18-105-050
72.90 ACRES
- PARCEL: 06-13-480-210
2.82 ACRES
- PARCEL: 06-13-480-190
1.88 ACRES
- PARCEL: 06-13-480-170
1.88 ACRES
- PARCEL: 06-13-480-090
0.22 ACRES
- PARCEL: 06-13-480-102
0.39 ACRES
- PARCEL: 06-13-480-103
1.24 ACRES
- PARCEL: 06-13-480-091
0.06 ACRES
- PARCEL: 06-13-480-110
2.00 ACRES



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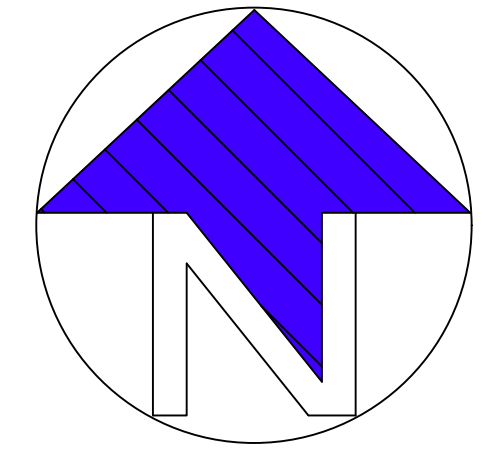
NO.	DATE	DESCRIPTION	APPROV

PROJECT NO:	-	DRAWN:	CSPENCER
DATE:	3-7-2023	CHECKED:	-
SCALE:	AS NOTED	APPROVED:	-

PROJECT **CONSUMERS CONCRETE
BLOCK PLANT**
KALAMAZOO TWP, MI

TITLE
**SITE PLAN
FUTURE DEVELOPMENT**

DRAWING NUMBER:
SHEET of SHEETS **C-9**



NORTH



NOT FOR CONSTRUCTION

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NO.	DATE	DESCRIPTION	APPRVD

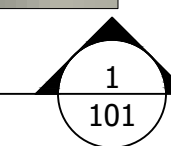
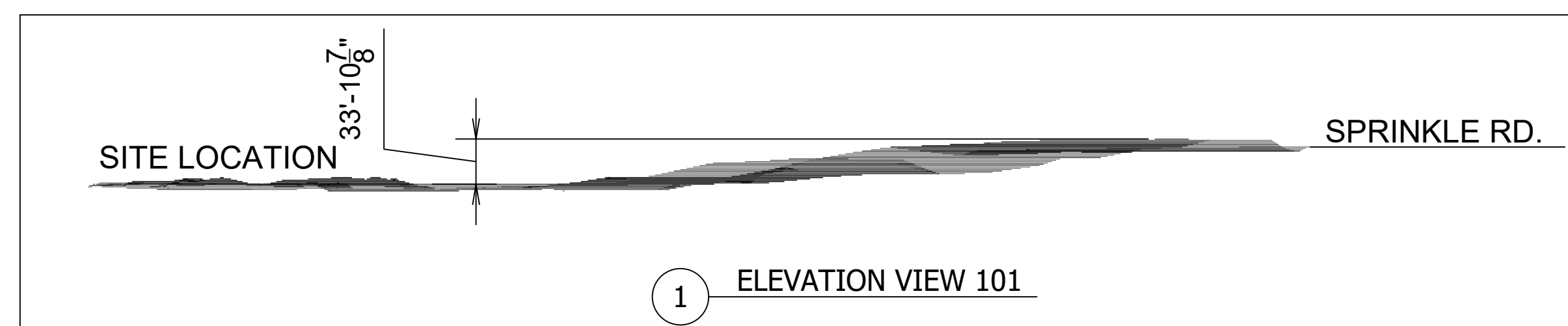
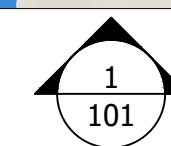
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DATE:	3-7-2023	CHECKED:	-
SCALE:	AS NOTED	APPROVED:	-

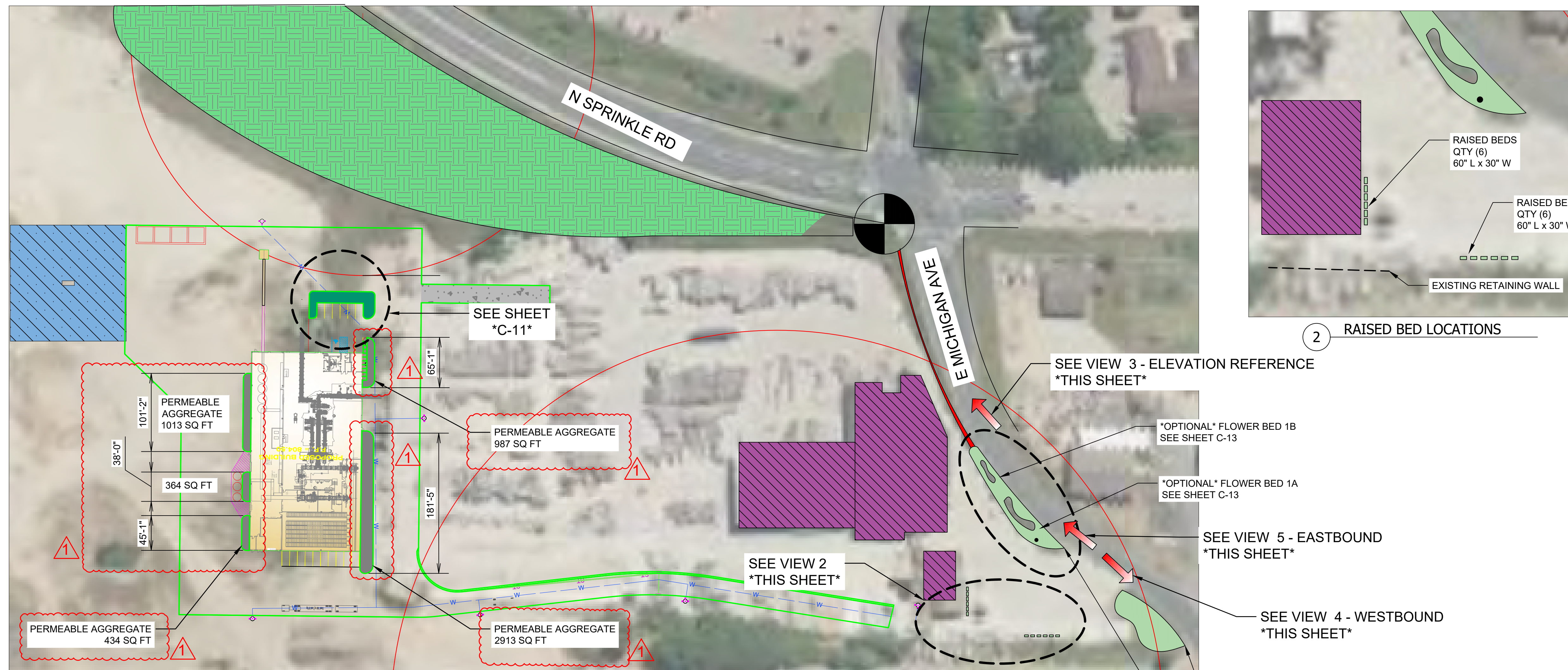
PROJECT CONSUMERS CONCRETE
BLOCK PLANT
KALAMAZOO TWP, MI

TITLE
SITE PLAN
TOPOGRAPHIC SITE PLAN

DRAWING NUMBER:
C-10

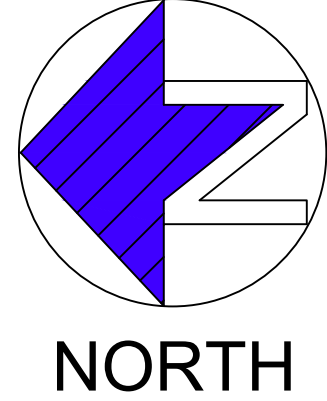
SHEET of SHEETS





1 LANDSCAPE PLAN

2 RAISED BED LOCATIONS



LEGEND

- EXISTING FACILITIES
- PROPOSED NEW CONSTRUCTION
- PROPOSED SEPTIC TANK
- EXISTING GREEN SPACE
- NEW LANDSCAPED AREA
- WATER LINE

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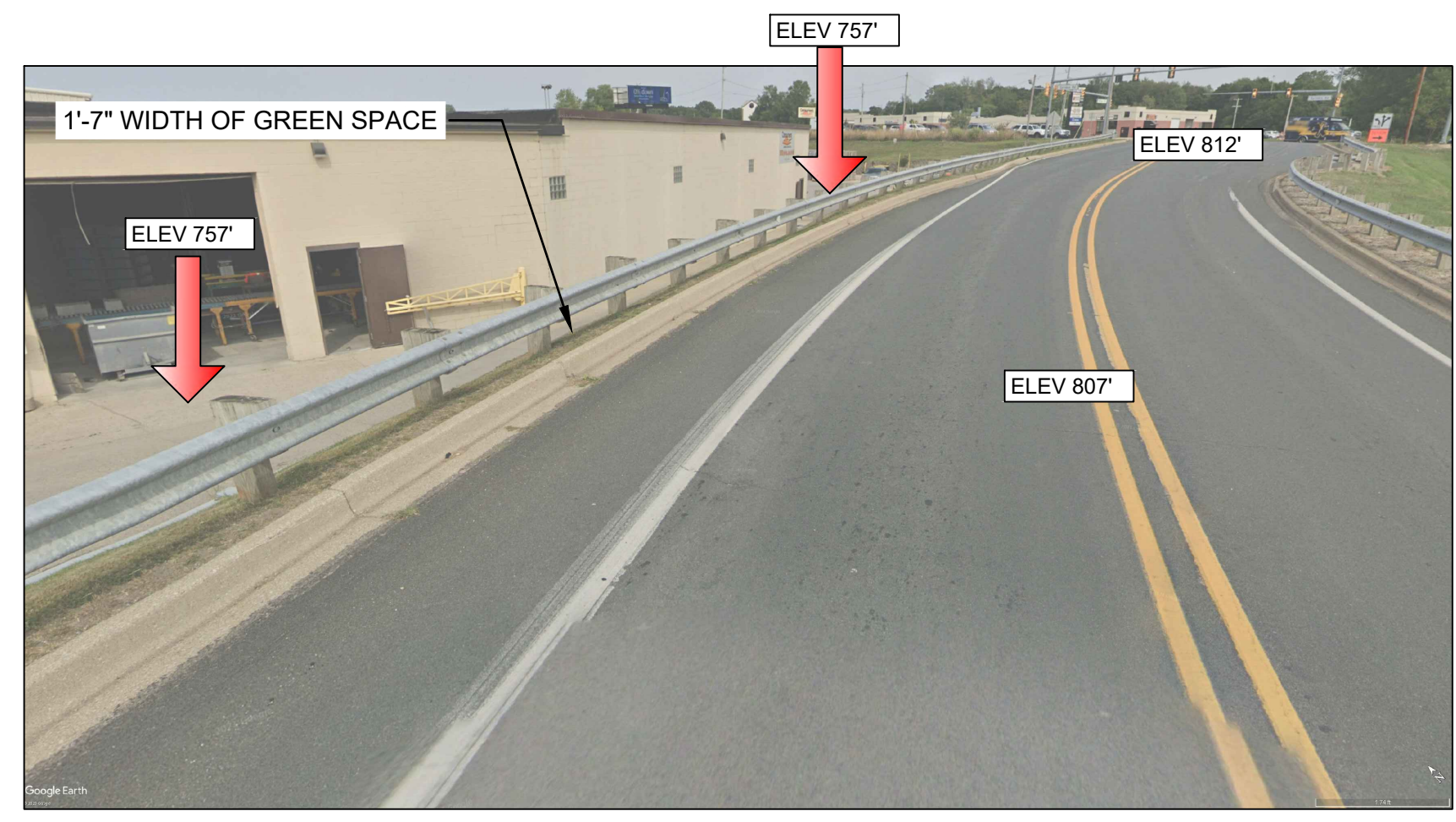
NO.	DATE	DESCRIPTION	APPRVD
1	5-22-23	ADDED AGGREGATE AREAS	
PROJECT NO:		DRAWN:	CSPENCER
DATE:		CHECKED:	
SCALE:		AS NOTED	APPROVED:

PROJECT CONSUMERS CONCRETE BLOCK PLANT
KALAMAZOO TWP, MI

TITLE LANDSCAPE PLAN

DRAWING NUMBER: C-12

SHEET of SHEETS



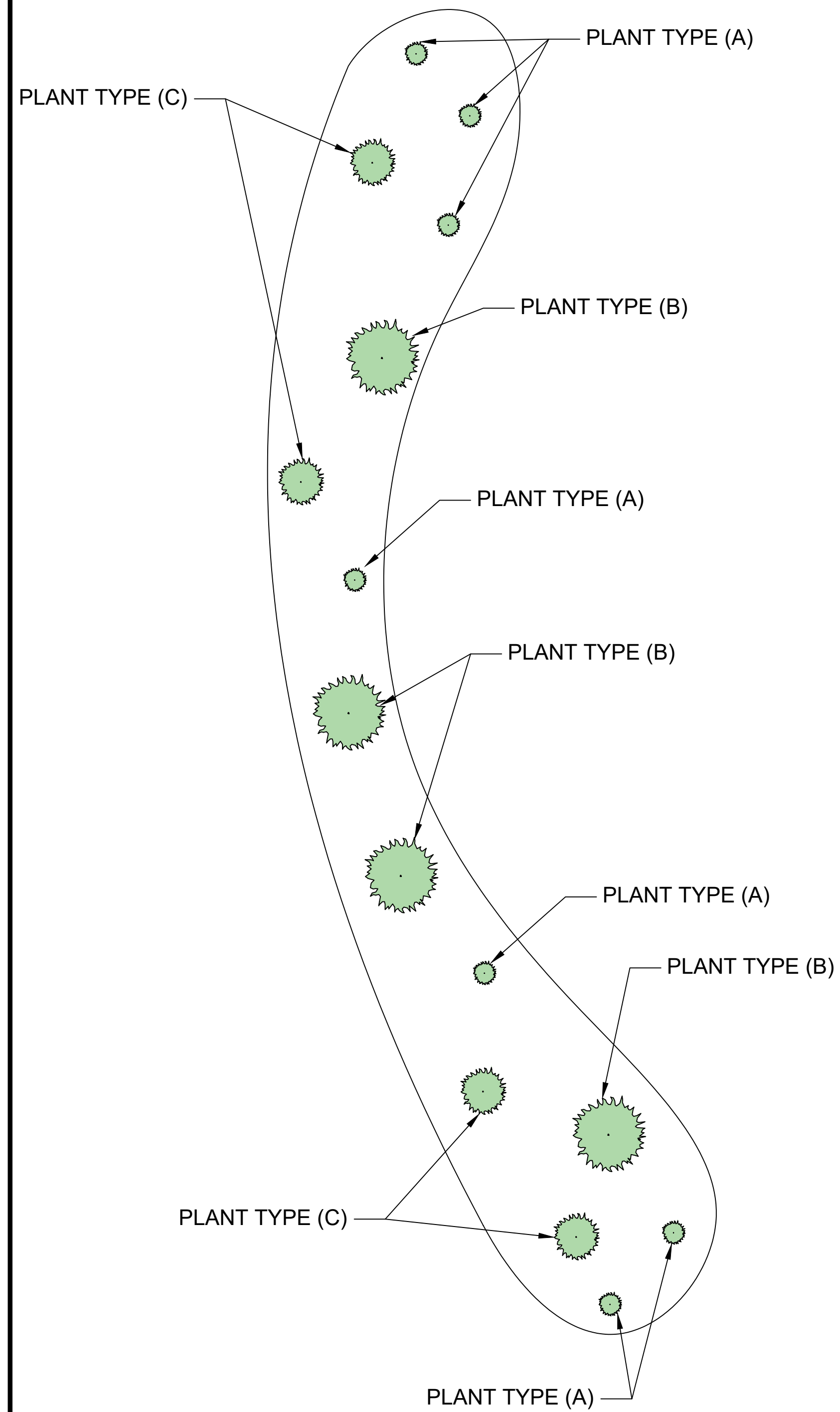
3 E MICHIGAN AVE-ELEVATIONS PHOTO



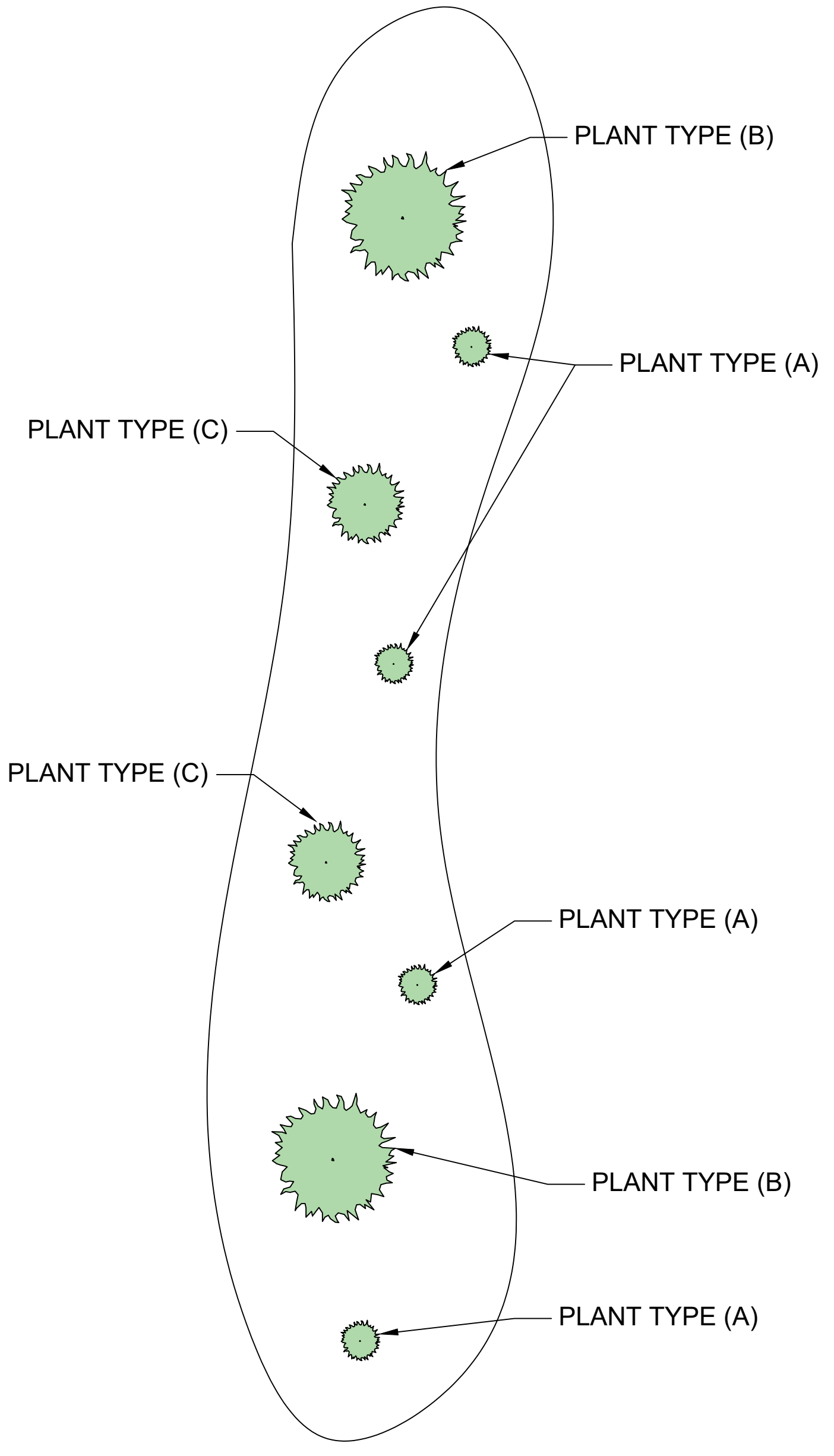
4 E MICHIGAN AVE - WESTBOUND PHOTO



5 E MICHIGAN AVE-EASTBOUND PHOTO



1A FLOWER BED PLANTING PATTERN



1B FLOWER BED PLANTING PATTERN

PLANT TYPE (A)



SNOWSATION™ EVERGREEN CANDYTUFT
IBERIS SEMPERVIRENS

PLANT TYPE: PERENNIAL
 HEIGHT CATEGORY: SHORT
 GARDEN HEIGHT: 6 - 8 INCHES
 SPACING: 10 - 12 INCHES
 SPREAD: 10 - 12 INCHES
 FLOWER COLORS: WHITE
 HABIT: MOUNDED

PLANT TYPE (B)



LIL' BANG™ DAYBREAK TICKSEED
COREOPSIS HYBRID

PLANT TYPE: PERENNIAL
 HEIGHT CATEGORY: SHORT
 GARDEN HEIGHT: 8 - 12 INCHES
 SPACING: 12 - 18 INCHES
 SPREAD: 12 - 18 INCHES
 FLOWER COLORS: ORANGE
 RED
 HABIT: MOUNDED

PLANT TYPE (C)




'VIOLET PROFUSION' PERENNIAL SALVIA
SALVIA NEMOROSA

PLANT TYPE: PERENNIAL
 HEIGHT CATEGORY: MEDIUM
 GARDEN HEIGHT: 14 - 16 INCHES
 SPACING: 16 - 20 INCHES
 SPREAD: 16 - 20 INCHES
 FLOWER COLORS: BLUE
 HABIT: CLUMP FORMING

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NO.	DATE	DESCRIPTION	APPRVD

PROJECT NO:	-	DRAWN:	CSPENCER
DATE:	5-3-2023	CHECKED:	-
SCALE:	AS NOTED	APPROVED:	-

PROJECT CONSUMERS CONCRETE
BLOCK PLANT
KALAMAZOO TWP, MI

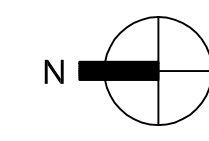
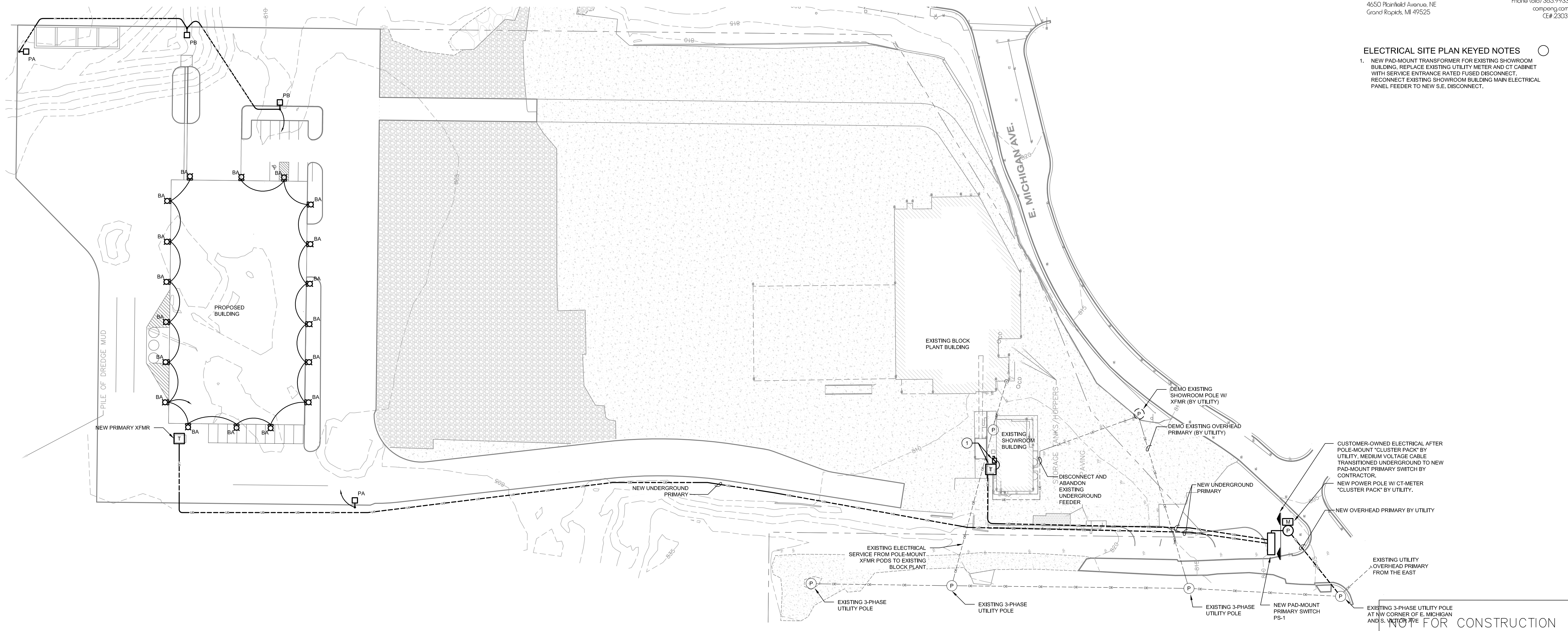
TITLE
**LANDSCAPE PLAN
*OPTIONAL***

DRAWING NUMBER:
C-13

SHEET of SHEETS

ELECTRICAL SITE PLAN KEYED NOTES

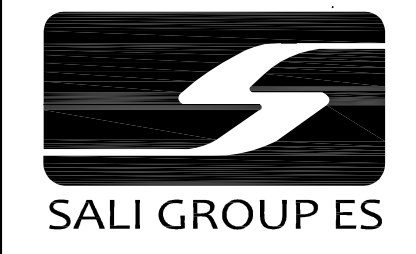
1. NEW PAD-MOUNT TRANSFORMER FOR EXISTING SHOWROOM BUILDING. REPLACE EXISTING UTILITY METER AND CT CABINET WITH SERVICE ENTRANCE RATED FUSED DISCONNECT. RECONNECT EXISTING SHOWROOM BUILDING MAIN ELECTRICAL PANEL FEEDER TO NEW S.E. DISCONNECT.



ELECTRICAL SITE PLAN
 SCALE: 1" = 50'-0"

NOT FOR CONSTRUCTION

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SITE LUMINAIRE LEGEND

SITE LUMINAIRE LEGEND		23031 CCC NEW BLOCK PLANT						
BA	BUILDING MOUNT AREA LIGHT	LITHONIA	DSXW2LED-30C-700-40K-T4M-MVOLT-PIRH1FC3V-BSW.*	BUILDING @ 20'-0" AFG	N/A	COOPER CURRENT	8,000 LM 4000 K 70 CRI 71 W	FINISH BY ARCHITECT
PA	POLE MOUNT AREA LIGHT - TYPE IV DIST.	LITHONIA	RSX1LED-P4-40K-R4-MVOLT-SPA-HS-PE.*	POLE	SSA-30-6G-DM19AS	COOPER CURRENT	16,500 LM 4000 K 70 CRI 133 W	FINISH BY ARCHITECT
PB	POLE MOUNT AREA LIGHT - TYPE III DIST.	LITHONIA	RSX1LED-P4-40K-R3-MVOLT-SPA-HS-PE.*	POLE	SSA-30-6G-DM19AS	COOPER CURRENT	16,300 LM 4000 K 70 CRI 133 W	FINISH BY ARCHITECT

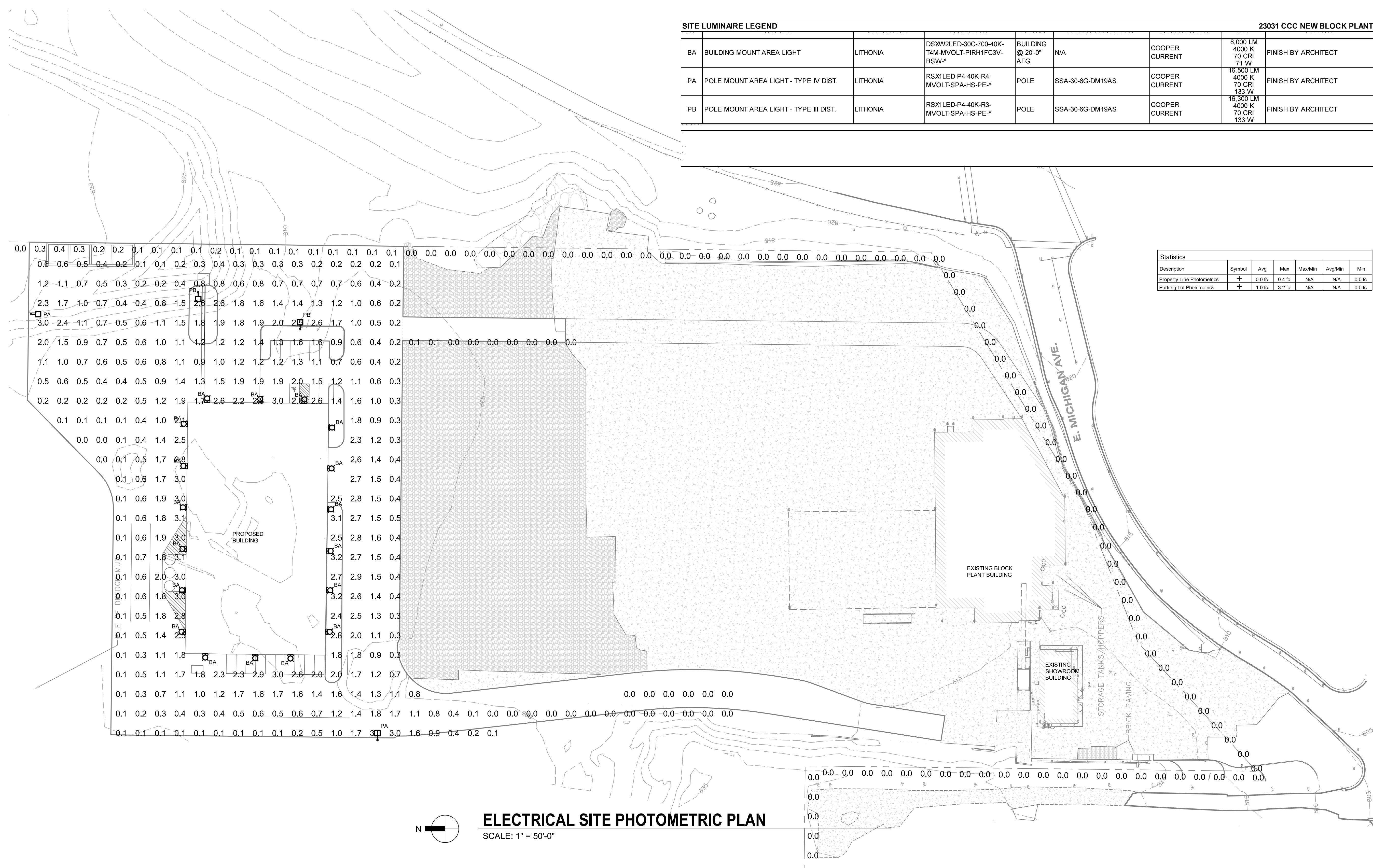
NO.	DATE	DESCRIPTION	APPRVD
	2023/05/05	PLAN REVIEW	
	2023/05/18	30% REVIEW	

PROJECT NO:	044.0-001-23	DRAWN:	DWALZER
DATE:	-	CHECKED:	-
SCALE:	NONE	APPROVED:	-

PROJECT **CONSUMERS CONCRETE BLOCK PLANT**
 KALAMAZOO TWP, MI
 TITLE **ELECTRICAL SITE PLAN**

DRAWING NUMBER: **ES.1**
 SHEET OF SHEETS

SITE LUMINAIRE LEGEND						23031 CCC NEW BLOCK PLANT		
BA	BUILDING MOUNT AREA LIGHT	LITHONIA	DSXW2LED-30C-700-40K-T4M-MVOLT-PIRH1FC3V-BSW.*	BUILDING @ 20'-0" AFG	N/A	COOPER CURRENT	8,000 LM 4000 K 70 CRI 71 W	FINISH BY ARCHITECT
PA	POLE MOUNT AREA LIGHT - TYPE IV DIST.	LITHONIA	RSX1LED-P4-40K-R4-MVOLT-SPA-HS-PE.*	POLE	SSA-30-6G-DM19AS	COOPER CURRENT	16,500 LM 4000 K 70 CRI 133 W	FINISH BY ARCHITECT
PB	POLE MOUNT AREA LIGHT - TYPE III DIST.	LITHONIA	RSX1LED-P4-40K-R3-MVOLT-SPA-HS-PE.*	POLE	SSA-30-6G-DM19AS	COOPER CURRENT	16,300 LM 4000 K 70 CRI 133 W	FINISH BY ARCHITECT

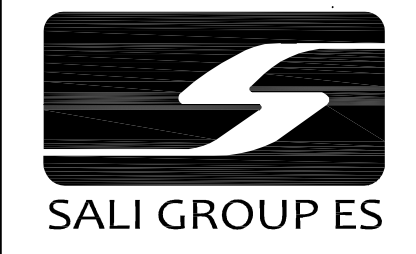


Statistics						
Description	Symbol	Avg	Max	Max/Min	Avg/Min	Min
Property Line Photometrics	+	0.0 fc	0.4 fc	N/A	N/A	0.0 fc
Parking Lot Photometrics	+	1.0 fc	3.2 fc	N/A	N/A	0.0 fc

ELECTRICAL SITE PHOTOMETRIC PLAN
 SCALE: 1" = 50'-0"

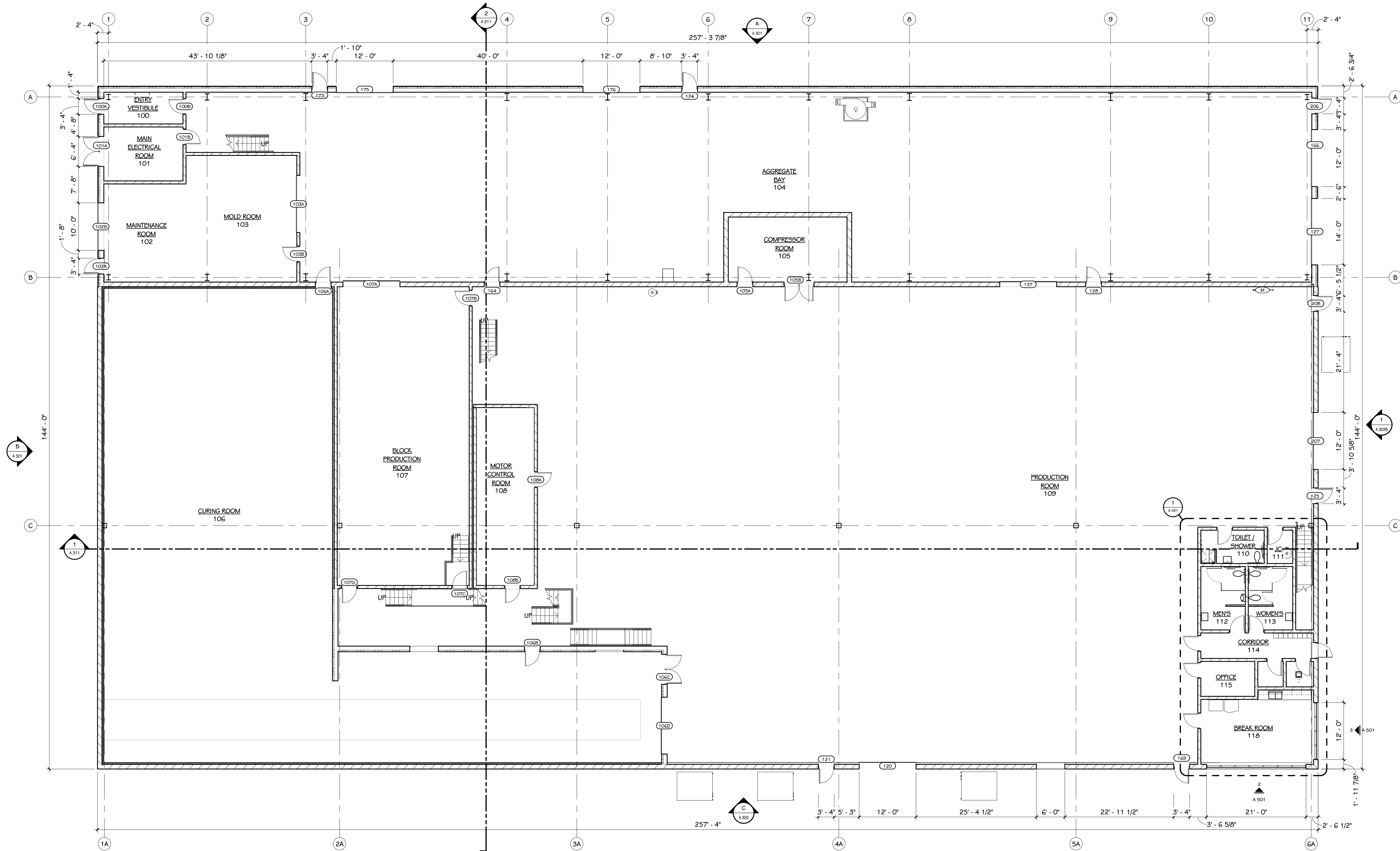
NOT FOR CONSTRUCTION

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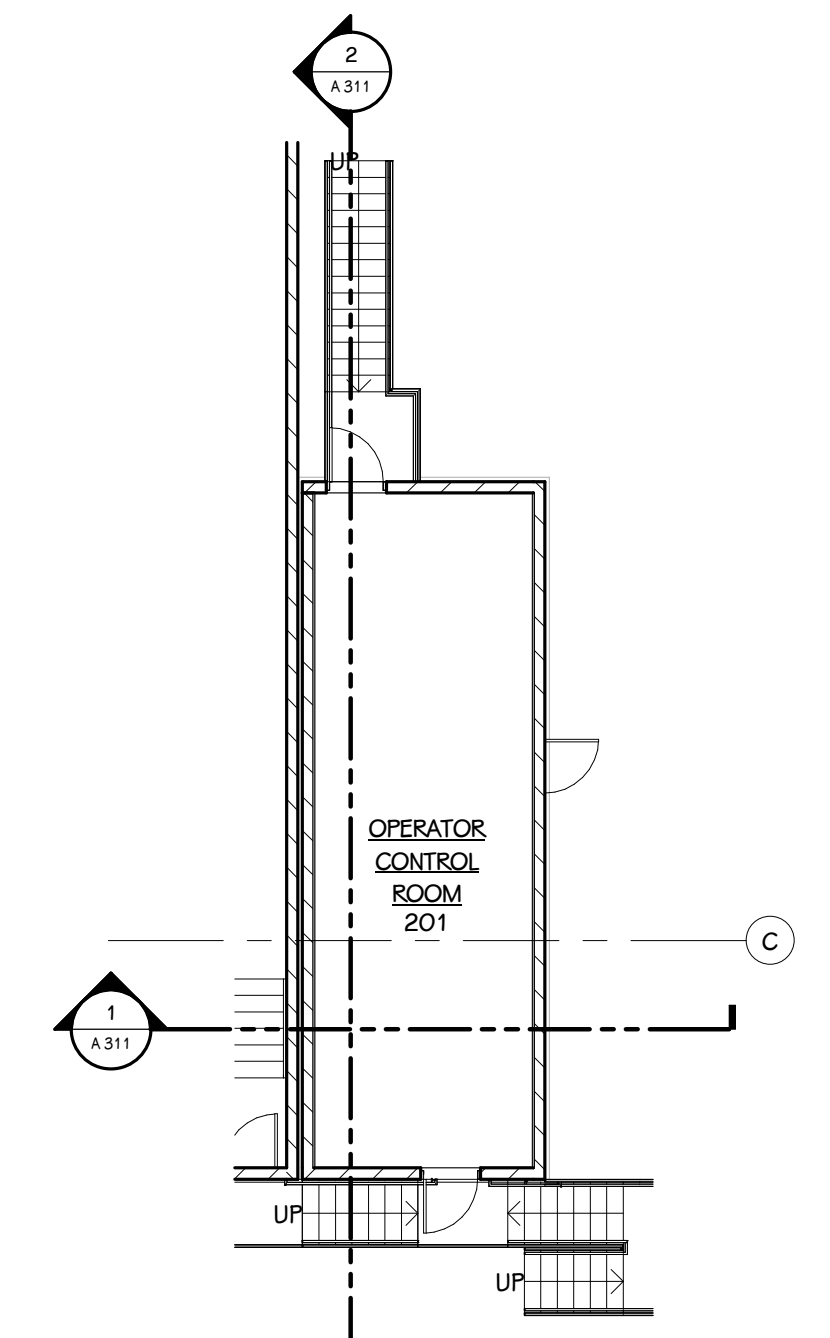


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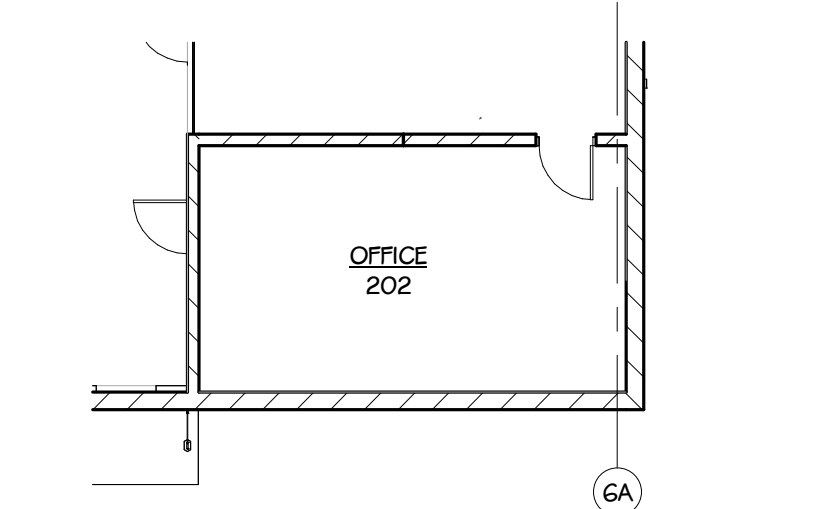
PROJECT NO:	044.0-001-23	DRAWN:	DWALZER
DATE:	-	CHECKED:	-
SCALE:	NONE	APPROVED:	-
PROJECT	CONSUMERS CONCRETE BLOCK PLANT KALAMAZOO TWP, MI		
TITLE	ELECTRICAL SITE PHOTOMETRIC PLAN		
DRAWING NUMBER:	ES.2		
SHEET OF SHEETS			



FIRST FLOOR PLAN
3/32" = 1'-0"



1 OPERATOR CONTROL ROOM
3/32" = 1'-0"



2 OFFICE FLOOR PLAN
3/32" = 1'-0"

NOT FOR CONSTRUCTION

IN ASSOCIATION WITH:

TowerPinkster
Architecture - Engineering - Interiors

HS
hurley & stewart

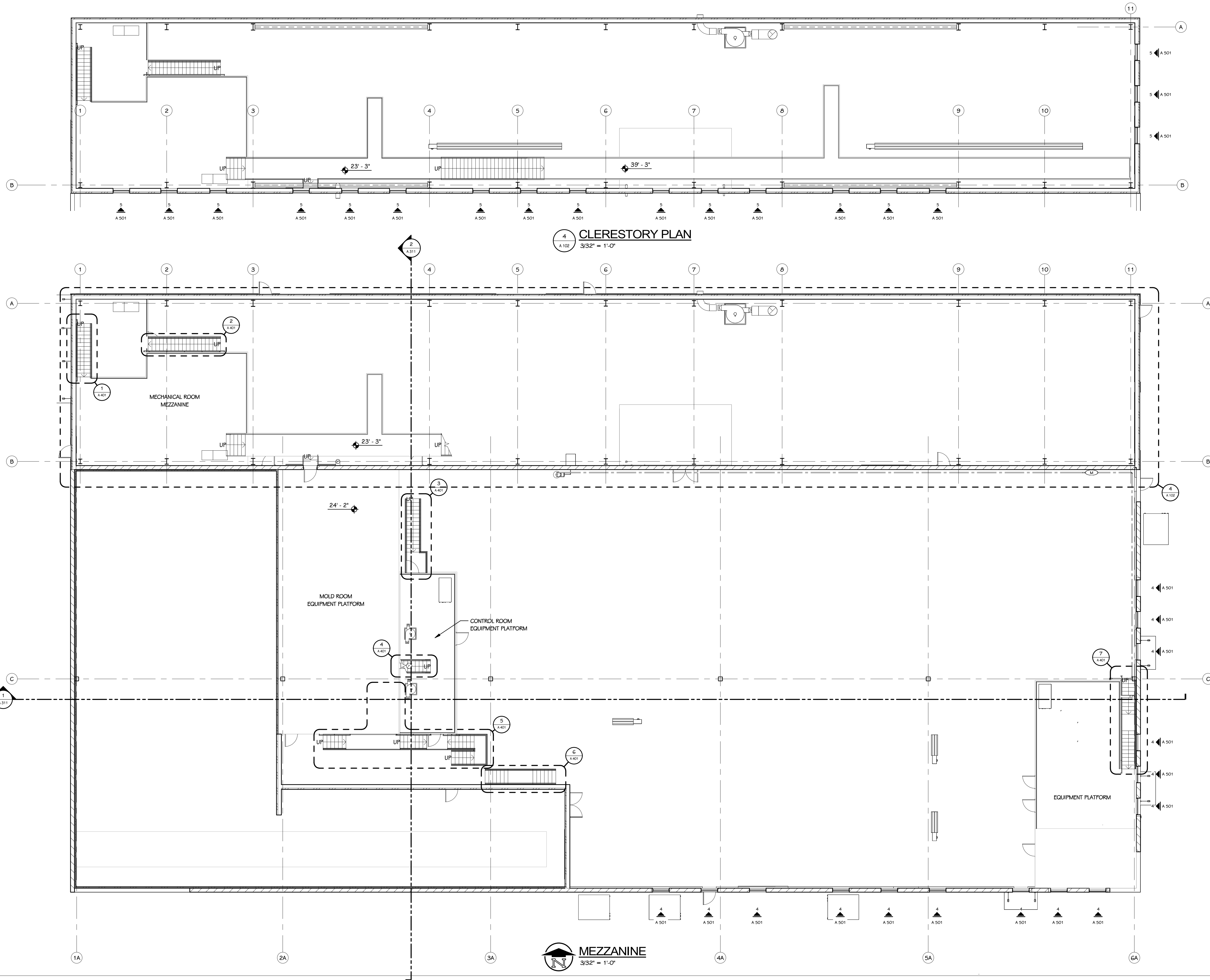
INDICATED SCALE FACTOR ONLY ACCURATE IF PRINTED ON 24 x 36 DRAWING SHEET.



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NO.	DATE	DESCRIPTION	APPRVD

PROJECT NO:	DRAWN:
DATE: APRIL 20, 2023	CHECKED:
SCALE: AS NOTED	APPROVED:
PROJECT	CONSUMERS CONCRETE BLOCK PLANT KALAMAZOO TWP, MI
TITLE	FLOOR PLAN
DRAWING NUMBER:	A 101
SHEET OF SHEETS	



4 CLERESTORY PLAN
3/32" = 1'-0"

MEZZANINE
3/32" = 1'-0"

NOT FOR CONSTRUCTION

IN ASSOCIATION WITH:

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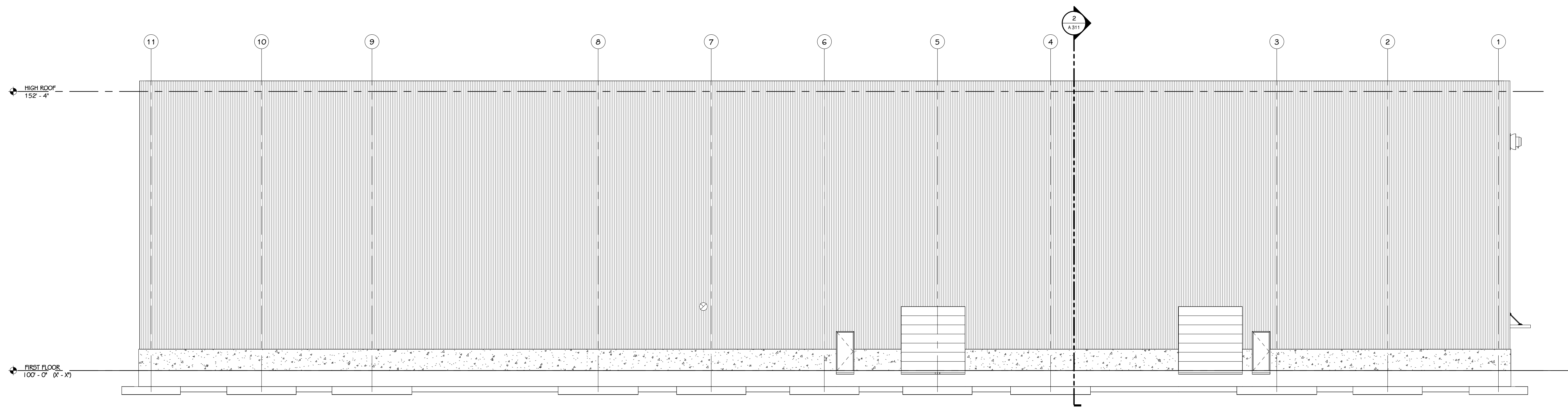
NO.	DATE	DESCRIPTION	APPRVD

PROJECT CONSUMERS CONCRETE
BLOCK PLANT
KALAMAZOO TWP. MI

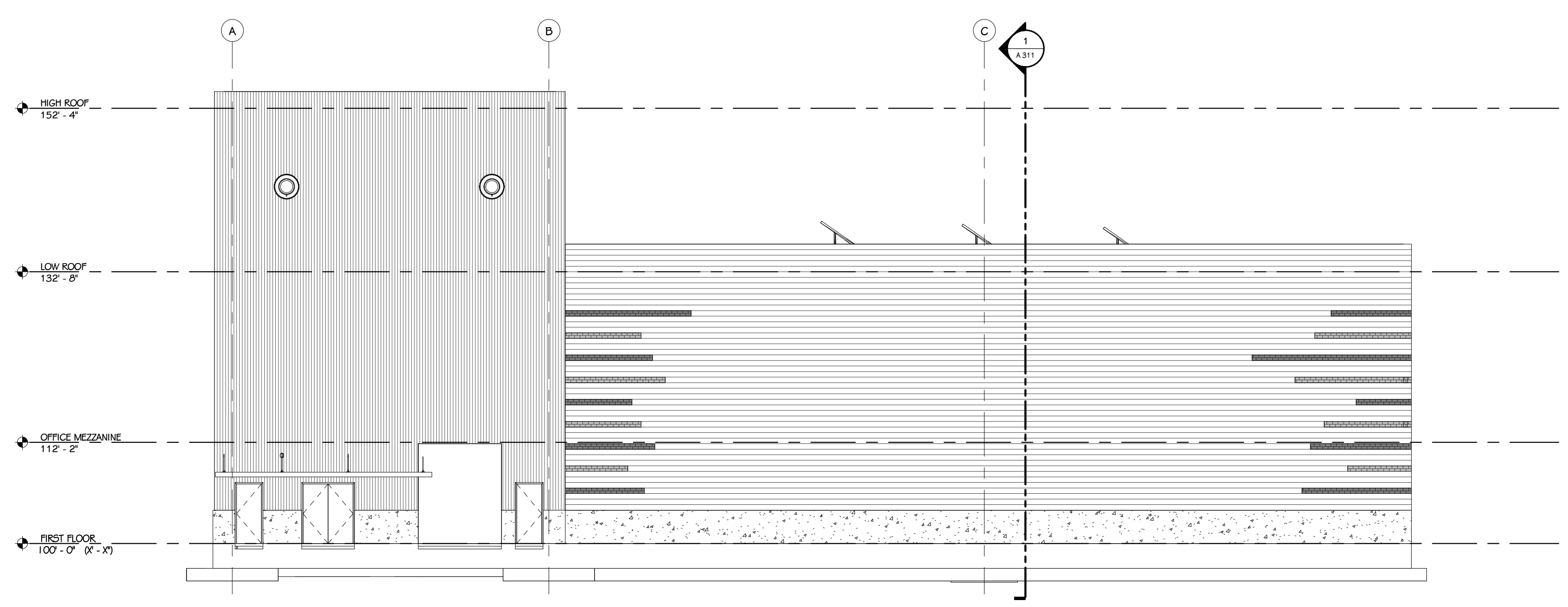
TITLE MEZZANINE PLAN

DRAWING NUMBER: A 102
SHEET OF SHEETS

EXTERIOR ELEVATION KEY	
	OMNI BLOCK 1, COLOR: TAN
	OMNI BRICK 1, COLOR: DARK GRAY
	OMNI BRICK 2, COLOR: ORANGE
	METAL PANEL, COLOR: ELDRIDGE GRAY
	INSULATED CONCRETE, COLOR: NATURAL



A NORTH ELEVATION
A 301 3/32" = 1'-0"



B WEST ELEVATION
A 301 3/32" = 1'-0"

NOT FOR CONSTRUCTION

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 Architecture - Engineering - Interiors

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NO.	DATE	DESCRIPTION	APPRVD

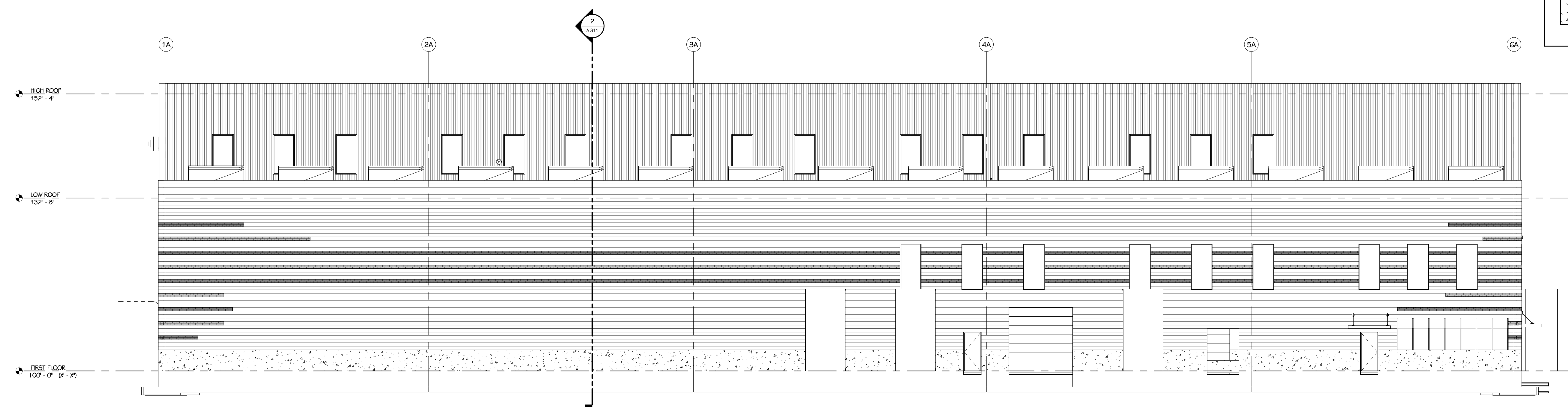
PROJECT NO:	DRAWN:
DATE: APRIL 20, 2023	CHECKED:
SCALE: AS NOTED	APPROVED:

PROJECT CONSUMERS CONCRETE BLOCK PLANT
 KALAMAZOO TWP, MI

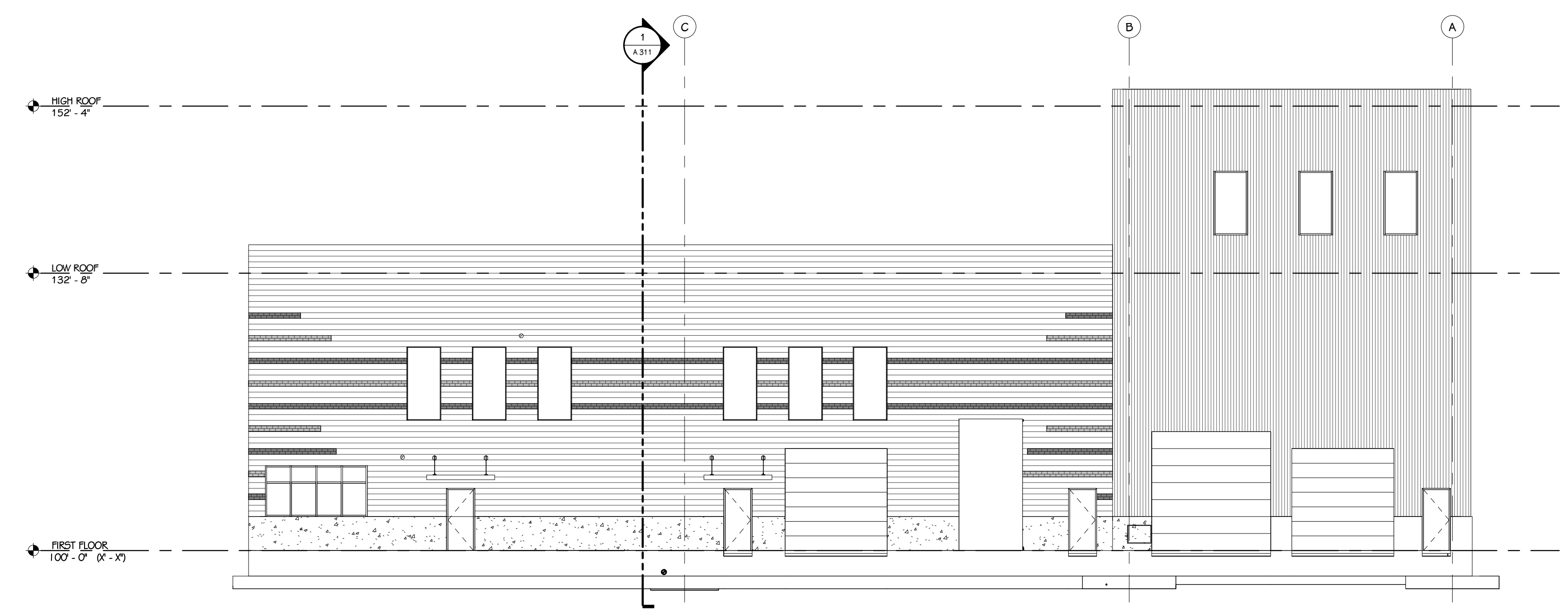
TITLE EXTERIOR ELEVATIONS

DRAWING NUMBER: A 301
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EXTERIOR ELEVATION KEY	
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	OMNI BRICK 1, COLOR: DARK GRAY
	OMNI BRICK 2, COLOR: ORANGE
	METAL PANEL, COLOR: ELDRIDGE GRAY
	INSULATED CONCRETE, COLOR: NATURAL



C SOUTH ELEVATION
A 302 3/32" = 1'-0"



D EAST ELEVATION
A 302 3/32" = 1'-0"

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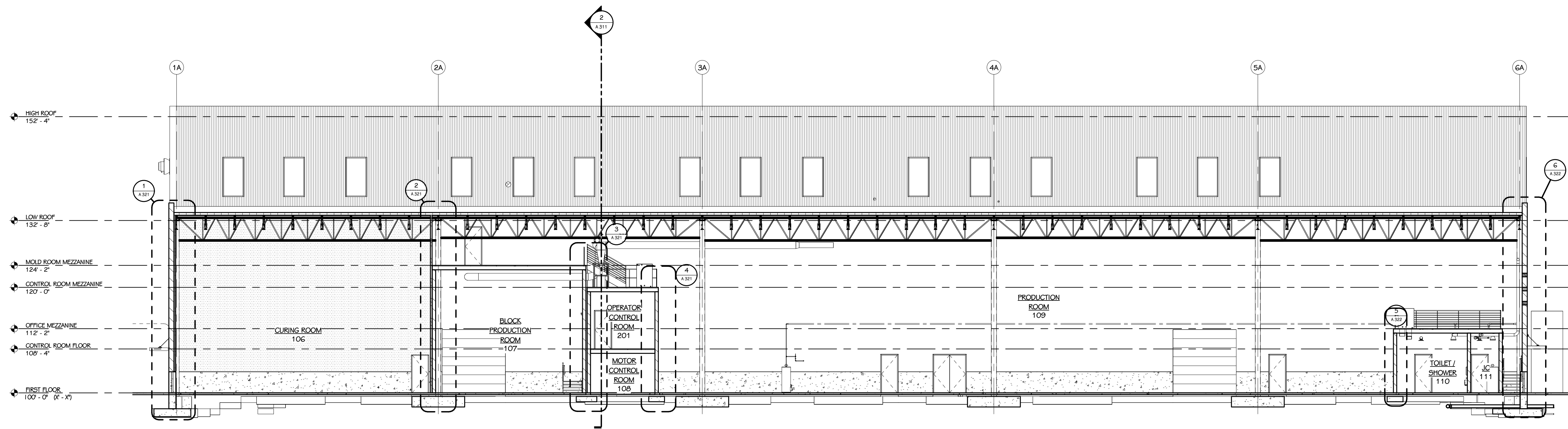
NO.	DATE	DESCRIPTION	APPRVD

PROJECT NO:	DRAWN:
DATE: APRIL 20, 2023	CHECKED:
SCALE: AS NOTED	APPROVED:

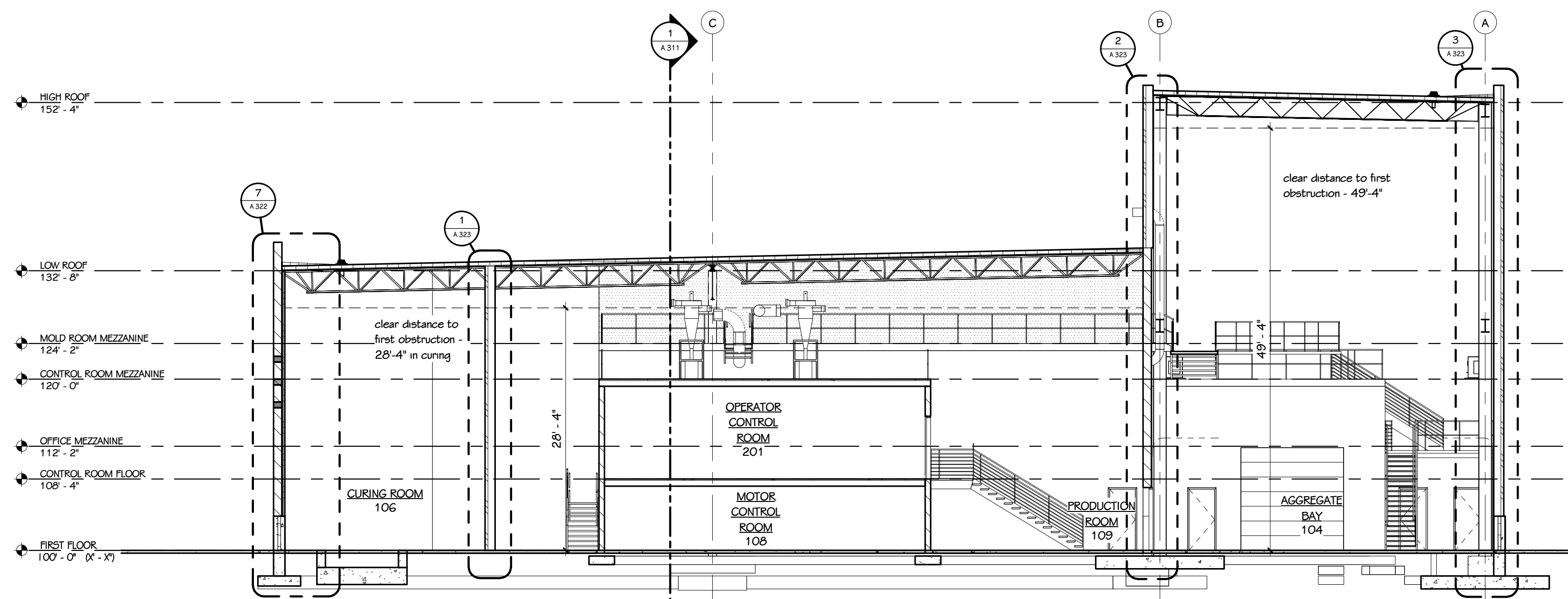
PROJECT CONSUMERS CONCRETE BLOCK PLANT
KALAMAZOO TWP, MI

TITLE EXTERIOR ELEVATIONS

DRAWING NUMBER: A 302
SHEET OF SHEETS



1 BUILDING SECTION
 A 311 3/32" = 1'-0"



2 BUILDING SECTION
 A 311 3/32" = 1'-0"

NOT FOR CONSTRUCTION

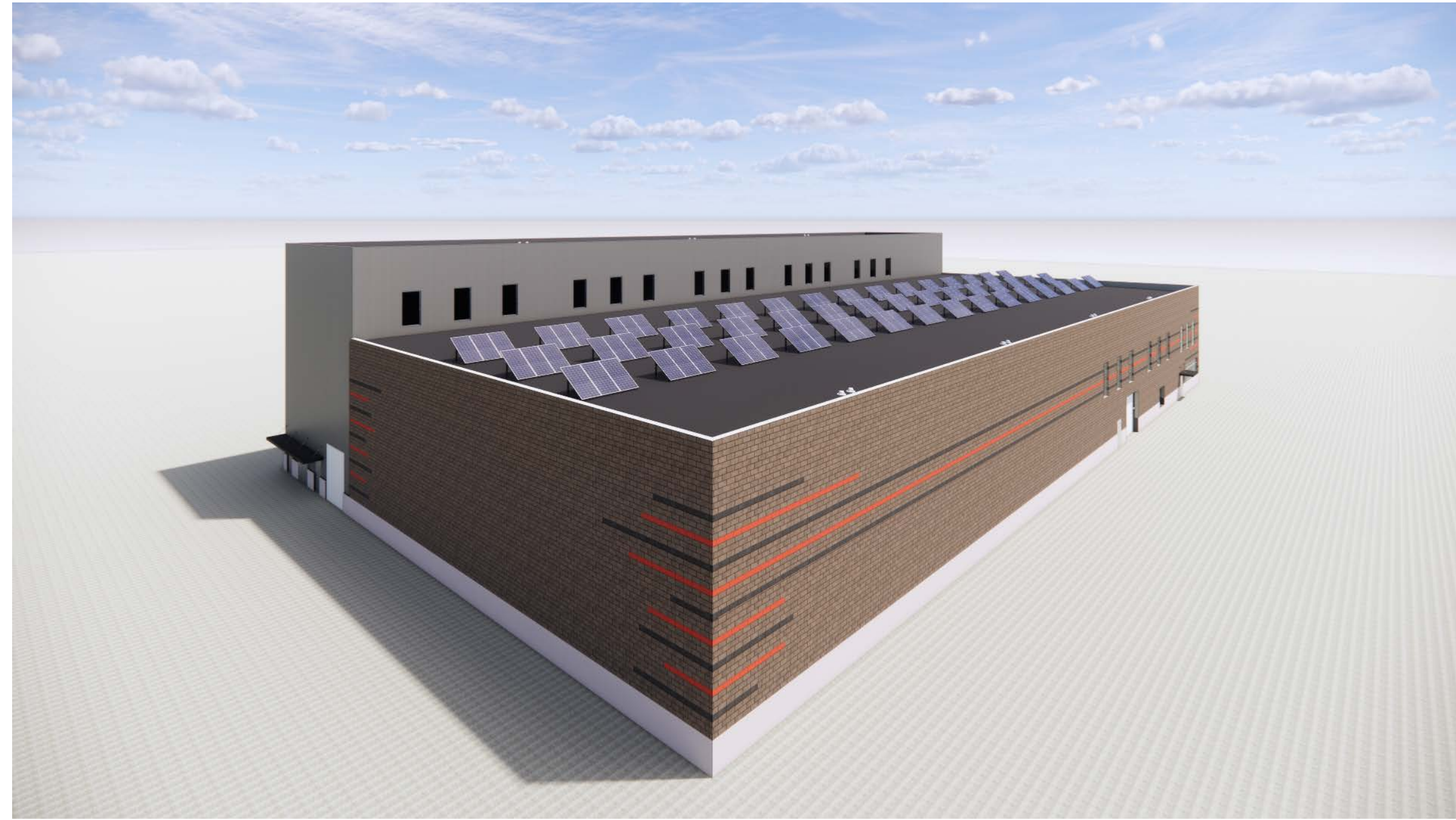
IN ASSOCIATION WITH:
TowerPinkster
 Architecture - Engineering - Interiors
HS
 hurley & stewart

INDICATED SCALE FACTOR ONLY ACCURATE IF PRINTED ON 24 x 36 DRAWING SHEET.

SALI GROUP ES
 2232 S. MAIN, #482
 ANN ARBOR, MI 48103
 (734)929-0644
 WWW.SALIGROUP-ES.COM

NO.	DATE	DESCRIPTION	APPRVD

PROJECT: CONSUMERS CONCRETE BLOCK PLANT
 KALAMAZOO TWP, MI
 TITLE: BUILDING SECTIONS
 DRAWING NUMBER: A 311
 SHEET OF SHEETS



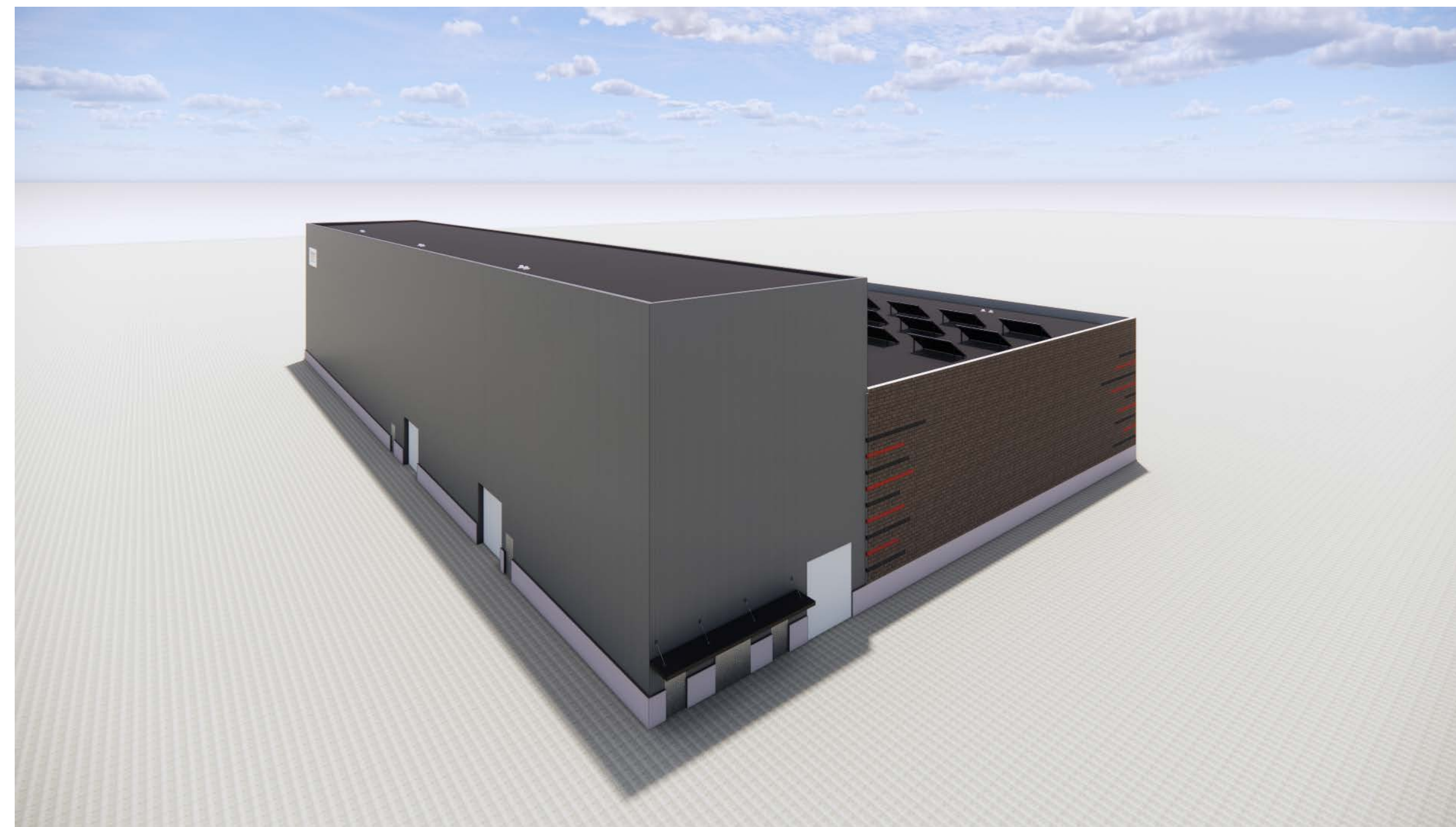
SOUTHWEST CORNER VIEW



SOUTHEAST CORNER VIEW



NORTHEAST CORNER VIEW



NORTHWEST CORNER VIEW

NOT FOR CONSTRUCTION

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NO.	DATE	DESCRIPTION	APPRVD

PROJECT NO:	DRAWN:
DATE: APRIL 20, 2023	CHECKED:
SCALE: AS NOTED	APPROVED:

PROJECT CONSUMERS CONCRETE
 BLOCK PLANT
 KALAMAZOO TWP, MI

TITLE
3D VIEWS

DRAWING NUMBER:
A 900
 SHEET of SHEETS