

PLANNING COMMISSION MEETING AGENDA

October 12, 2023 THURSDAY 6:00 P.M.

Location: Kalamazoo Charter Township Hall, 1720 Riverview Drive, Kalamazoo, MI 49004

AGENDA:

- #1 Call to Order
- #2 Roll call and recognition of visitors
- #3 Approval of the agenda for the October 12, 2023 meeting.
- #4 Approval of the minutes: September 7, 2023 (separate attachment).
- #5 Public Comment (3-minute limit)
- #6 Scheduled Reviews: None.
- #7 Public Hearings: None.
- #8 New Business:
- #9 Old Business:
 - 9a. 2017 N. Burdick – Tree Fellers Site Plan Review
- #10 Open Discussion
 - 10a. Members of the Audience
- #11 COMMUNICATIONS:
 - 11a. Charter Township of Oshtemo: Special Meeting November 27th 2023 6:00 p.m. regarding
Oshtemo Charter Township Housing Plan 2023
- #12 REPORT OF THE TOWNSHIP BOARD REPRESENTATIVE.
- #13 REPORT OF THE TOWNSHIP ZBA REPRESENTATIVE.
- #14 COMMENTS FROM PLANNING COMMISSION MEMBERS.
- #15 REPORT OF THE PLANNER.
- #16 REPORT OF THE ZONING ADMINISTRATOR.
- #17 REPORT OF THE TOWNSHIP ATTORNEY.
- #18 ADJOURNMENT.

The public may attend this meeting for your information and comments. Please contact the Planning & Zoning Department if you have any questions at (269) 381-8085.



Memorandum

TO: Kalamazoo Charter Township Planning Commission

FROM: Danielle Bouchard, AICP, Principal Planner
Kyle Mucha, AICP, Senior Planner

SUBJECT: **Site Plan Review #7 – Jack Livingstone, Tree Fellers Wood Products & Furniture
2017 North Burdick**

DATE: September 26, 2023

The Applicant, Jack Livingstone, has submitted updated site plan package for review and approval to operate several permitted uses, per the I-2, General Industrial District, on the subject site, located at 2017 North Burdick. These uses include:

- Wood products manufacturing, including furniture manufacturing.
- The manufacturing, compounding, assembling, packaging, or treatment of articles or merchandise from previously prepared materials.

The Kalamazoo Township Planning Commission has made the following decisions as they relate to this site:

- A special land use and site plan review denial on April 6, 2023.
- A conceptual review (no action taken) on September 7, 2023.

CASE BACKGROUND

In general, the applicant’s business utilizes wood (chopped off-site) to create furniture and other decorative pieces within the enclosed building. The applicant then hauls the salvaged wood from work sites, located throughout Kalamazoo County, onto 2017 N. Burdick and the adjacent parcel to the west (parcel no. 06-10-165-060). The wood is then haphazardly stacked and “dumped” onto parcel -060. As previously discussed, the applicant has been required to continue clean-up processes of parcels -060 and -070, where businesses activities have been occurring for 2+ years without approvals.

Township staff have conducted six (6) official site plan reviews, this review being the seventh (7th).

OVERVIEW

The applicant, based on the narrative provided to Township staff, indicates that the principal building located on parcel -010 would be used for the creation of wood products and furniture (countertops, tables, lamps, slab mantles, sculptures).



USE OF THE PROPERTY

The property has an existing warehouse style building on site and an associated parking area along the eastern portion of the building. Wood product manufacturing, including furniture manufacturing, is a permitted use within the I-2, General Industrial District. The use of the existing building is deemed appropriate for the I-2 District.

However, the applicant continues to utilize parcel -060 and -070 for unauthorized business operations. The image to the right demonstrates the amount of wood debris currently placed on site -060, **despite the Planning Commission's denial of the use.** The applicant has received an ordinance violation for continuance of this activity.



EXISTING AND SURROUNDING CONDITIONS AND ZONING DISTRICTS

The surrounding properties to the north, east and west of the site are zoned I-2, General Industrial. The properties to the south are zoned I-2, General Industrial, however the use is that of a residence. The southern seven (7) properties have been residential in nature since 1920, prior to the adoption of the current Township Zoning Ordinance.

Photo evidence (taken from the public street) demonstrates the site's conditions and possible effects to the health, safety, and welfare of property owners and residents.

SITE PLAN REVIEW

As per the September 7, 2023 Planning Commission meeting, the following items are required to be accurately and adequately addressed prior to any approval taking place.

This review solely relates to the site plans dated September 21, 2023, submitted by the applicant:

1. Find out if the power pole can be moved or relocated. We will need a statement from Consumers.
To the knowledge of Township staff, the required statement from Consumers has not been obtained or received. This requirement is not satisfied.
2. Verify all building dimensions and parcel lines.
The proposed site plan does not include an outline surrounding parcel -070, which was apparently included in the lot combination. Parcels -010 and -060 are outlined in red, which clearly designates the site plan area. If parcel -070 is combined with -010 and -060, the outline shall encompass ALL areas to be included in the resulting parcel after the combination. As discussed during the September Planning Commission meeting, each site plan page shall be consistent and accurate. This requirement is not satisfied.
3. Hatch out all the parcels that are NOT included in the proposal.
This requirement is satisfied. See page A02 of the site plan package.
4. Include a turning radius for the backside of the building.



A 20-foot turning radius is depicted on site plans. We defer to the Fire Marshal to determine adequacy of the turning radius presented.

5. Combine parcels -010 and -060 (this will be done with the Township Assessor).
The applicant combined parcels -010, -060, and -070. Parcel -070 was not discussed during the Planning Commission meeting. Any use of any additional space or parcels that result in a new use (e.g., contractor's storage yard, outdoor storage, etc.) shall be subject to review and approval by the Planning Commission and other applicable review entities. The parcel boundary on the site plan shall be adjusted to remain consistent with the Assessor's approval. **This requirement is not satisfied.**

Use of the western portion of the subject site was DENIED by the Planning Commission at a public hearing and subsequent discussion in April 2023. The applicant continues to utilize this area for outdoor storage and business operations in direct VIOLATION of the Township Zoning Ordinance and Planning Commission action.

6. Provide an Engineer's report on the proposed gravel driveway, including cross-sections. NOTE: Township zoning requirements for driveways and internal access roads can be found in Section 2.20 of the Ordinance.
To our knowledge, the Engineer's report on the proposed gravel driveway has not been obtained or received. **This requirement is not satisfied.**
7. Relocate the north side gate.
In comparing the previously submitted site plans (dated July 14, 2023) with the most current set (dated September 21, 2023), it appears the proposed north side gate is in the same location. We defer to the Fire Marshal for confirmation and further comment. **This requirement is not satisfied.**
8. Remove the guardrail.
We defer to the Fire Marshal to determine if this requirement is satisfied.
9. Clarify ALL proposed uses that are planned to occur on-site.
Sheet A-02a notes the proposed use as "wood products yard and woodworking shop." A "Wood products manufacturing, including furniture manufacturing" use is permitted by right in the I-2 District. The site plans shall reflect the proposed use at this time, which DOES NOT include a "wood products yard." **This requirement is not satisfied.**

OTHER ITEMS

The following additional deficiencies are noted on site plans dated September 21, 2023:

- The site plans are missing the Architect's seal.
- Sheet A-02 outlines "wood products processing yard" uses on parcel -060, **which should NOT be included in this site plan package.**



- A highway sign is included on the site plan page A-02. All signs with frontage on US-131 shall be subject to approval by MDOT. **The applicant shall show proof that this request was approved and compliant with the Township's sign standards.**
- Drainage details are not provided. Drainage details and design are required. This shall be subject to review by the Township Engineer.
- A 6-foot fence is proposed along the south perimeter of parcel -060 and -010. This could be permitted, provided that the applicant does not conduct ANY business activity on the westernmost parcel.
- Parking calculations are not consistent. Sheet A-02 states 26 spaces and sheet A-02a states 19 spaces.
- According to BS&A, there appears to be delinquent taxes on property -010.

ADDITIONAL REVIEWS

Township Fire Marshal

Comments provided by the Fire Marshal will be provided via a separate document.

Township Engineer

The site plan is subject to review and approval by the Township Engineer.

RECOMMENDATIONS

As noted above, the applicant is required to comply with all items as requested by the Planning Commission during the September 7, 2023 meeting. **To date, these requirements have not all been satisfied.**

As such, we recommend denial of the site plans for 2017 N. Burdick, dated September 21, 2023.

Respectfully Submitted,

McKenna

Danielle Bouchard, AICP
Principal Planner

Kyle Mucha, AICP
Senior Planner

RE: Planning Commission Meeting Deadline (Livingstone)

David Lewis <DLewis@lewisreedallen.com>

Fri 9/29/2023 8:43 AM

To: Danielle Bouchard <dbouchard@mcka.com>

Cc: Kyle Mucha <kmucha@mcka.com>; Todd Kowalski <tckowalski@ktpw.org>; Seth Koches <koches@michigantownshiplaw.com>; Richard Schramm <richard@archworks.us>; Jack Livingstone <threebrothersconstructionllc@gmail.com>

📎 3 attachments (5 MB)

PDF-230928 -S101-Gravel Road Detail, by Travis Hall, Professionals Engineer dated 92123.pdf; PDF-230928 A-02a - Aerial Site Plan, Tree Fellers Wood Products & Furniture v24 0984.101-230928.pdf; PDF-230928 A-02 - Site Plan, Tree Fellers Wood Products & Furniture v24 0984.101-230928.pdf;

Danielle:

Below in **bold** are our responses to the items in your September 26 Memo that you believe have not been satisfied:

1. Find out if the power pole can be moved or relocated. We will need a statement from Consumers.

To the knowledge of Township staff, the required statement from Consumers has not been obtained or received. **This requirement is not satisfied.**

RESPONSE: Both Mr. Livingstone and Richard Schramm have spoken with Consumers on this issue. Consumers confirmed that the power pole can be removed and the electric service box can be relocated. The note on page A-02 of Mr. Schramm's site plan that "Consumers Power pole to be removed and electric service box to be relocated" confirms Consumers' representations. Once the Planning Commission approves the site plan, Mr. Livingstone will promptly submit the written request for relocating the pole/box to Consumers and pay the relocation charge.

2. Verify all building dimensions and parcel lines.

The proposed site plan does not include an outline surrounding parcel -070, which was apparently included in the lot combination. Parcels -010 and -060 are outlined in red, which clearly designates the site plan area. If parcel -070 is combined with -010 and -060, the outline shall encompass ALL areas to be included in the resulting parcel after the combination. As discussed during the September Planning Commission meeting, each site plan page shall be consistent and accurate. **This requirement is not satisfied.**

RESPONSE: Attached is an amended page A-02 from Mr. Schramm that includes the wide red boundary line around parcel 070.

4. Include a turning radius for the backside of the building.

A 20-foot turning radius is depicted on site plans. We defer to the Fire Marshal to determine adequacy of the turning radius presented.

RESPONSE: Page A-02 of Mr. Schramm's plans indicates the required turning radius at the NW and SW corners of the building consistent with the discussions held during the September 7 Planning Commission meeting.

5. Combine parcels -010 and -060 (this will be done with the Township Assessor).

The applicant combined parcels -010, -060, and -070. Parcel -070 was not discussed during the Planning Commission meeting. Any use of any additional space or parcels that result in a new use (e.g., contractor's storage yard, outdoor storage, etc.) shall be subject to review and approval by the Planning Commission and other applicable review entities. The parcel boundary on the site plan shall be adjusted to remain consistent with the Assessor's approval. **This requirement is not satisfied.**

RESPONSE: See Response to No. 2 above (see attached amended page A-02).

6. Provide an Engineer's report on the proposed gravel driveway, including cross-sections. NOTE: Township zoning requirements for driveways and internal access roads can be found in Section 2.20 of the Ordinance.

To our knowledge, the Engineer's report on the proposed gravel driveway has not been obtained or received. **This requirement is not satisfied.**

RESPONSE: Mr. Schramm hand delivered his revised/updated plans/drawings to the Township offices on the morning of September 26, before your noon deadline. Included in those plans was a design drawing (S101) from Travis Hall, P.E., (licensed professional engineer) that provides driveway details with specifications, load carrying capacity, etc. Drawing S101 is attached to this email for your convenience.

7. Relocate the north side gate.

In comparing the previously submitted site plans (dated July 14, 2023) with the most current set (dated September 21, 2023), it appears the proposed north side gate is in the same location. We defer to the Fire Marshal for confirmation and further comment. **This requirement is not satisfied.**

RESPONSE: Page A-02 of the drawings Mr. Schramm hand delivered to the Township office on September 26 indicates relocation of the north side gate consistent with the discussions held during the September 7 Planning Commission meeting.

8. Remove the guardrail.

We defer to the Fire Marshal to determine if this requirement is satisfied.

RESPONSE: Page A-02 of the drawings Mr. Schramm hand delivered to the Township office on September 26 indicates that the guardrail has been removed consistent with the discussions held during the September 7 Planning Commission meeting.

9. Clarify ALL proposed uses that are planned to occur on-site.

Sheet A-02a notes the proposed use as "wood products yard and woodworking shop." A "Wood products manufacturing, including furniture manufacturing" use is permitted by right in the I-2 District. The site plans shall reflect the proposed use at this time, which DOES NOT include a "wood products yard." **This requirement is not satisfied.**

RESPONSE: Attached is amended page A-02a indicating the following - "Zoning Use: Current intended use – Office and Administration". Please also note that the attached page A-02a corrects the number of on-site parking spaces from 19 to 26 spaces.

Mr. Schramm will hand deliver six sets of the attached drawings to the Township offices today.

At this point, we believe the Township has received all the material requested/agreed upon during September 7 Planning Commission hearing (items 1 – 9 in your September 8 email). If you believe otherwise, please let us know and we will continue providing all requested information.

Thank you for including this matter on the agenda for the October 12 Planning Commission meeting.

David A. Lewis
LEWIS REED & ALLEN, P.C.
136 E. Michigan Avenue, Ste. 800
Kalamazoo, MI 49007
(269) 388-7600



Memorandum

TO: Kalamazoo Charter Township Planning Commission

FROM: Danielle Bouchard, AICP, Principal Planner
Kyle Mucha, AICP, Senior Planner

SUBJECT: **Site Plan Review #6 – Jack Livingstone, Tree Fellers Wood Products & Furniture 2017 North Burdick**

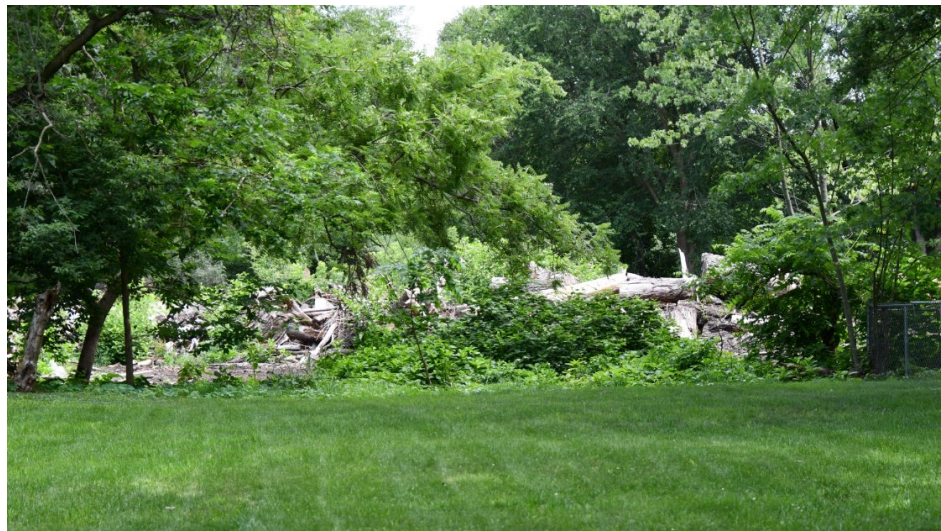
DATE: August 30, 2023

The Applicant, Jack Livingstone, has submitted updated site plan package for review and approval to operate several permitted uses, per the I-2, General Industrial District, on the subject site, located at 2017 North Burdick. These uses include:

- Wood products manufacturing, including furniture manufacturing.
- The manufacturing, compounding, assembling, packaging, or treatment of articles or merchandise from previously prepared materials.

CASE BACKGROUND

In general, the applicant’s business utilizes wood (chopped off-site) to create furniture and other decorative pieces within the enclosed building. The applicant then hauls the salvaged wood from work sites, located throughout the Kalamazoo County, onto 2017 N. Burdick and the adjacent parcel (parcel no. 06-10-165-060). The wood is then haphazardly stacked and “dumped” onto parcel -060.



During the April 6th, 2023 Planning Commission meeting, a public hearing was held in regards to the applicant’s request for special land use to operate a contractor’s storage yard, which is a permitted use in the I-2 District, per special land use approval. At the public hearing adjacent property owners and other interested parties spoke in opposition to the unauthorized use of the subject site as a contractor’s storage yard. The applicant had been and continues to utilize parcel -060 and others for business activities without approval from the Township.

After deliberation of each special land use approval criteria outlined in Section 26.03.C of the Zoning Ordinance, the Kalamazoo Charter Township Planning Commission **denied** the special land use request. The applicant, who



was not in attendance, was then advised to seek site plan approval for business operations that are **solely** located at 2017 North Burdick Street (parcel no. 06-10-195-010). On May 4, 2023 the applicant submitted a new site plan application to the Township offices. However, at that time, no site plans were submitted in conjunction with the application. The Township received the enclosed site plans on July 24th, 2023.

Additional Case History

The applicant applied for initial site plan review in May 2021. To date, Township staff have written and submitted 6 full site plan reviews, placed the project on the August 4, 2022 Agenda (where it was tabled), and met with the applicant several times (including project architect and attorney) to discuss the site. **To date, the applicant has yet to comply with Township planning, zoning, and fire safety standards and continues to intentionally operate an UNAPPROVED business on several Township properties. The applicant has been made aware on several occasions of these ordinance violations and continues to operate business activity without required approvals.**

Further, since the initial application, the applicant has added new uses, new parcels, driveways, outdoor storage, equipment, and other elements to the site plan. As such, Township staff were compelled to conduct a new full review as a result of the new information shown in each review. A full case history is highlighted below.

- **May 2021:** Applicant files for site plan review after receiving a letter violation in the mail for operating an industrial business without approvals.
- **June 2021:** The Township submits a review to the applicant noting the site plan (hand drawn) is not administratively complete. Township Staff spoke with the applicant on the phone to discuss base requirements for a site plan (e.g., licensed engineer/architect).
- **July 2021:** Township staff communicated via email with the applicant to request revised site plan.
- **August 2021:** Township staff communicated via email with the applicant asking for an updated site plan.
- **November 2021:** Email communication to the applicant requesting for the updated site plan.
- **January 2022:** A violation letter is submitted to the applicant detailing operations without approvals.
- **February 2022:** the applicant submits a revised version of the site plan to the Township for review. *Note that it took between June 2021- February 2022 to receive a revised site plan. As noted above (and evidenced in email communications), Township staff reached out to the applicant on several occasions, including a violation letter, requesting for the revised site plan.*
- **March 2022:** A full site plan review (SPR#1) was submitted to the applicant noting deficiencies of the site plan and required changes (see attachment). The submitted site plan still did not show the required level of detail required for an approval recommendation to Planning Commission.
- **April 2022:** Township staff meets in-person with the applicant. A follow-up email was submitted to the applicant detailing the items needed for the next submittal.
- **July 2022:** Another site plan review (SPR#2) was submitted to the applicant (see attachment). At this point, it was discovered that additional parcels were added to business operations without approvals. Therefore, it was determined that a special land use required for the contractor's yard.
- **July 2022:** Another site plan review (SPR#3) was submitted to the applicant (see attachment).
- **August 2022:** The application was tabled at the Planning Commission meeting due to several deficiencies.
- **October 2022:** The applicant receives an additional violation letter from Township staff noting the ordinance requirements to get the site into compliance.
- **January 2023:** Township staff meets with the Architect to discuss site plan requirements.



- **January 2023:** Another site plan review (SPR#4) was submitted to the applicant (see attachment). This plan review notes yet another parcel was added to the overall site plan, necessitating another full review.
- **February 2023:** Township staff and legal council attended a court hearing regarding site violations. The court order established a deadline for March 10, 2023 to submit a new site plan to the Township for review with a list of associated requirements.
- **March 2023:** The applicant submits a new site plan for review (SPR #5). At this time, new site access and circulation routes are proposed. These are new conditions that have not been previously discussed or reviewed. These items are discussed further in this review letter.
- **April 2023:** The Kalamazoo Township Planning Commission held a public hearing to review a special land use and site plan application. The public hearing had multiple property owners and interested parties speak in opposition to the proposed land use, citing neighborhood degradation, increase in operational noise, debris along the public roadways and other site improvements that have negatively impacted adjacent residential property owners. Upon a unanimous vote, the special land use pertaining to an outdoor contractor's yard was **denied**.
- **May 2023:** the applicant submitted a new site plan review application to the Township. No site plans were submitted with the application. Property monitoring by Township staff noted business operations continuing without Township approval.
- **June 2023:** no site plans submitted for review by the Township. Continued business operations taking place on the subject parcel without approval.
- **July 2023:** Township staff received the proposed site plan for 2017 N. Burdick on July 24th, 2023. Monitoring of the subject property continued to note excess quantities of wood debris on site. An inspection on July 25th noted additional wood piles on the subject site – placed without authorization.

The applicant has purposely and intentionally disregarded Township requirements and subsequent violations for a period exceeding 2 years. Township staff have shown good faith to work with the applicant and explain the review process and revisions needed. To date, the applicant has still failed to comply with ordinance standards. As previously mentioned, this letter is the 6th review.

It is not the intention of staff to “focus on the past” of the site background. However, the case history for the applicant is important to this review in that the applicant has active zoning ordinance violations (including a violated court order) against the subject site. This review is being scrutinized as a means to correct said violations.



OVERVIEW

The applicant, based on the narrative provided to Township staff, indicates that the principal building located on parcel -010 would be used for the creation of wood products and furniture (countertops, tables, lamps, slab mantles, sculptures). The submitted site plan notes off-street parking, landscaping and a gravel driveway around the periphery of the building.

Given the depiction and highlight of properties -010, -060, -070, and -030 on the site plans, staff is unclear which parcels are intended to be a component of this review. If the applicant is requesting a review of JUST parcel -010, the additional highlighted parcels shall be eliminated from the site plans.

USE OF THE PROPERTY

The property has an existing warehouse style building on site and an associated parking area along the eastern portion of the building. Wood product manufacturing, including furniture manufacturing is a permitted use within the I-2, General Industrial District. The use of the existing building is deemed appropriate for the I-2 District. However, as indicated earlier in this review, the applicant continues to utilize parcel -060 for unauthorized business operations. The image to the right demonstrates the amount of wood debris currently placed on site - 060, despite the Planning Commission’s denial of the use. The applicant has received an ordinance violation for continuance of this activity.

EXISTING AND SURROUNDING CONDITIONS AND ZONING DISTRICTS

The surrounding properties to the north, east and west of the site are zoned I-2, General Industrial. The properties to the south are zoned I-2, General Industrial, however the use is that of a residence. The southern seven (7) properties have been residential in nature since 1920, prior to the adoption of the current Township Zoning Ordinance.

Photo evidence (taken from the public street) demonstrate the site’s conditions and possible affects to the health, safety, and welfare of property owners and residents.



SITE PLAN REVIEW

Site Plan Parcels

The site plan dated 7-14-2023 shows four parcels, of which one of these parcels is only accessible via an easement, which the Township has not received proof of recording. The site plan indicates primary use with 2017 N. Burdick, however, the plans do not speak to the intended use of the other parcels. The applicant has established unpermitted uses on these adjacent parcels, as previously noted. We recommend that the unapproved parcels -060, -030, and -070 be completely cleaned up and restored to the prior state before unapproved activities took place. These parcels were clear cut of trees without approvals as well, so it should be recognized that there is irreversible damage done to these sites that cannot be mitigated, aside from cleanup activities.

The northernmost parcel (-030) is NOT contiguous with the primary site operations on the other three parcels. The applicant has indicated that an easement has been granted to access the northernmost site. Evidence of the signed easement, including legal descriptions, drawings, recording, and all applicable information shall be submitted to the Township for review.



Furthermore, the southernmost parcel (-070) is only accessible by establishing a driveway off W. Dunkley. This is jurisdiction of Kalamazoo County. The applicant has established a driveway from W. Dunkley to parcel -060 that does not meet ordinance standards. All driveways shall meet requirements of Section 2.20.D.4 and a permit shall be obtained from the Kalamazoo County Road Commission,

Lastly, we recognize that several of these properties are nonconforming. Parcels -060 and -030 are landlocked (access from BUS-131 is not applicable).

Schedule of Regulations: Section 25.02

Regulation Type	I-2 General Industrial District Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
Maximum Stories	2	1	Yes
Maximum Building Height	45 ft.	No proposed changes	NA
Front Yard Setback	50 ft.	38'	No
Side Yard Setback	30 ft. (each)	24' & 27'	No
Rear Yard Setback	50 ft.	Not indicated	NA
Maximum Lot Coverage	75%	13%	Yes

The existing building, which do not meet setback requirements, was constructed prior to the Ordinance update in 2016. The applicant is advised that any new structures to be located on the site will need to meet current ordinance standards.

Off-Street Parking

Section 4.01.D.6 of the Township Zoning Ordinance requires 1 parking space per every 750 square feet of gross floor area dedicated to “Manufacturing”. The gross floor area of the existing structure is approximately 14,347 sq. ft, as supplied by the applicant. Therefore, 20 parking spaces are required by the ordinance. The submitted site plan, dated 7-14-2023, notes 31 parking spaces (30 listed on the plan, with one not labeled). Per Section 4.01.A.4. – Maximum Parking – *any person proposing greater than 125% of the minimum required off-street parking as specified in the Zoning Ordinance shall demonstrate to the Planning Commission sufficient justification for the additional parking. The applicant shall demonstrate by 31 spaces are needed.*

Further, the dimensional requirements for off-street parking is provided in Section 4.01.E.2. Based on the ordinance requirements, sections of the off-street parking at 2017 N. Burdick does not comply with these provisions; the eastern spaces shall be amended to meet the minimum requirements as shown below.



Parking Angle	Parking Stall Dimensions		Drive Aisle Width
	Width	Depth to Wall	
0° (parallel)	24.0 feet	8.0 feet	16.0 ft (<i>one-way</i>) 24.0 ft (<i>two-way</i>)
Up to 45°	8.5 feet	16.6 feet	12.0 feet (<i>one-way only</i>)
46° to 60°	8.5 feet	18.2 feet	16.0 feet (<i>one-way only</i>)
61° to 75°	8.5 feet	18.5 feet	20.0 feet
76° to 90°	9.0 feet	18.5 feet	24.0 feet

Section 4.01.E.4. – Surfacing & Drainage – requires the following “*all off-street parking areas, access lanes, driveways and other vehicle maneuvering areas shall be hard-surfaced with concrete or plant-mixed bituminous material. Porous paving materials may be permitted at the discretion of the Planning Commission, provided that installation and maintenance plans are in accordance with the manufacturer’s guidelines*”.

The applicant proposes a gravel drive for on-site circulation and the required parking spaces. As indicated in past review letters and correspondence from Township staff as recent as May 31, 2023, if a gravel surface is being proposed, then a written maintenance plan must be submitted for review by the Planning Commission. To date, no maintenance plan has been submitted.

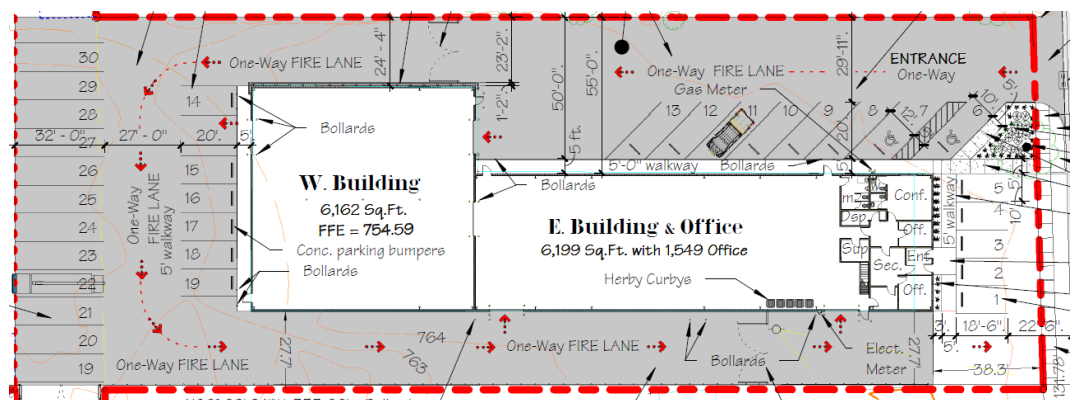
The applicant shall either install parking and access lanes that complies with the ordinance requirements or submit a maintenance plan for review and approval by the Planning Commission.

Site Circulation

The site plan has been amended to reflect one-way travel patterns. Business personnel and other vehicles will enter the site along the northeastern portion with directional travel heading west. On-site egress is proposed to be along the southern portion of the site.

Section 4.01.E.2.c. requires “a 25-foot clear width is required for all fire lanes, to be approved by the Township Fire Marshal”.

The northern portion of the site, shown right **does not meet this requirement.** The applicant has been informed on multiple occasions that a minimum of 26 feet is required for fire lane access. The applicant’s site plan continues to not meet this standard. Note: the fire code, being more restrictive, shall apply in this case.





In addition to parking requirements, Section 2.20.D.4 – Industrial Uses – regulates the type of material needed for pavement. The applicant has indicated their desire to use gravel instead of a paved material for site circulation and the parking area. The proposal does not meet the requirements of Section 2.20.D.4. However, the Planning Commission does have the ability to waive paving requirements for parking areas and other vehicle maneuvering areas (Section 2.20.D.2.). We do not recommend paving requirements to be waived given the frequent travel on the internal access drive as well as the heavy equipment and machinery intended for the route. At a minimum, we recommend that all existing and proposed driveways and internal site circulation routes are paved due to the poor conditions as observed on-site. See images below (taken in early July 18, 2023).

As shown in the image (right), the applicant has been utilizing a driveway on the south side of the rear parcel on W. Dunkley. The driveway is located between two homes. The site plan does not indicate if the driveway, which does not meet standards, is to remain or be removed. The site plan notes landscaping along W. Dunkley Street. The applicant shall provide confirmation if the access off of Dunkley is to remain or be removed.



Another unapproved driveway is being utilized on parcel -070, where the applicant has been traversing commercial equipment across the site, which is in violation of Township ordinances (see bottom right image).

Lastly, the overall site circulation route essentially functions as a private road. The internal access route is intended to serve several landlocked nonconforming parcels that DO NOT have frontage on any public street. Though we understand the applicant is not requesting a land division, Township general ordinance 459.007 states that a parcel cannot be created without required frontage on a public street. No private road or easement access shall be authorized unless the requisite frontage on a public road is also met.



Although the applicant is requesting to operate business out of the building located at 2017 N. Burdick, site plans still include several additional parcels outlined in red. It is unclear if those additional parcels are a component of the request. Therefore, details pertaining to site circulation to, from, and around those parcels have been examined as part of this review.

We defer to the Fire Marshal for further comment on safety considerations with regard to site access.



Parking Lot Landscaping

The applicant is advised of the following requirements as it pertains to parking lot landscaping as provided in the following table.

Regulation Type: Parking Lot Landscaping	Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
General Landscaping Ratio	30 sq. ft. per parking space (31 spaces x 30 sq. ft. = 930 sq. ft.)	Unspecified	No
Minimum Planting Area Width	9 feet	Not dimensioned	No
Deciduous or Evergreen Trees	One (1) shade tree per five (5) spaces	One (existing)	No

The revised site plan does not meet parking lot landscaping requirements, per Article 5 – Landscaping and Screening.

The applicant shall install at a minimum 930 square feet of parking lot landscaping and five (5) additional deciduous/evergreen trees. An updated landscaping plan shall be submitted for review. The Planning Commission has the jurisdiction to waive landscaping requirements should the applicant provide sufficient justification to require such deviation. We defer to the Planning Commission to determine if the applicant has met the intent of the landscaping ordinance and if the proposed site landscaping is adequate.

Landscaping Adjacent to Roads

The applicant is advised of the following requirements as it pertains to landscaping adjacent to roads.

Regulation Type: Landscaping Adjacent to Roads	Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
Minimum Planting Area Width	15 feet	Not dimensioned	*No
Deciduous or Evergreen Trees	One (1) tree per 40 linear feet: 166' / 40' = 4 trees	1 (existing)	*No
Ornamental Trees	One (1) tree per 100 linear feet: 166' / 100 = 2 trees	None proposed	NO
Shrubs	Eight (8) shrubs per 40 linear feet: 32 shrubs	No count provided	*Partially

Note: frontage calculations were based on N. Burdick Street and W. Dunkley Street (as shown on the site plan).

*The submitted site plan shows enhancements to the existing landscaping along N. Burdick Street and proposed landscaping along W. Dunkley. For further reference, the existing property does not have the required landscaping existing on site.

Greenbelt

It has been noted that the applicant wishes to reutilize an existing site that does not currently have a greenbelt along North Burdick. Due to the current location of the building being an estimated 40 feet from the edge of the



road, it may not be advantageous for the applicant to install a greenbelt at this location. We defer to the Planning Commission on whether the greenbelt requirement should be waived in accordance with Section 5.07 – Modifications to Landscape Requirements.

Berm

The applicant has not provided any details pertaining to berms on the subject property. This requirement has not been satisfied.

Lighting

The applicant is proposing gooseneck shaded downlights with LED lamps. A photometric plan has not been provided. Staff is not able to confirm that the lighting proposed on the existing building will meet ordinance requirements. Further review should be taken to ensure compliance with lighting standards, especially given the residential uses located immediately south of the subject parcel.

Signage

The applicant has not provided any details pertaining to site signage. Site signage can be reviewed and addressed administratively, should the applicant seek to pursue signage at a later date. However, we note that the site plan shows a proposed sign along the U.S. 131 frontage. Is this signage proposed? What is the proposed size of this sign? We also note that the proposed sign fronting 131 may be subject to review and approval by the applicable road agency.

Trash Disposal

Section 2.22 outlines the requirements for trash removal and collection. The applicant is not proposing dumpster or trash removal outside of the building. Any refuse generated on site shall be disposed of by an appropriate trash collection agency.

BUILDING AND SITE DESIGN

The applicant has submitted building elevations. These elevations include the installation of one overhead door, which are proposed to be installed along the west elevation of the existing structure. Furthermore, Section 20.03.A.3 – Development Standards – pertaining to the I-2, General Industrial District, stipulates the following:

- a. *Outside storage areas shall be located no closer than one hundred fifty (150) feet to any street right-of-way line and no closer than twenty (20) feet to all other property lines.* The 7-14-2023 dated site plan does not indicate any outdoor storage.
- b. *Outside storage areas shall be located no closer than one hundred (100) feet to any residential district.* The subject site is bordered by residential uses to the south; however, these uses are not within a zoned residential district.
- c. *Outside storage areas which have the potential to be visible from a public or private road or which abut a residential or commercial district shall be screened by a wall or fence, constructed in accordance with Article 6.* The applicant has indicated a hinged gate will be installed near the southern egress point; however, no gate details have been provided. The applicant will need to provide further details of the proposed gate to ensure compliance with this requirement.
- d. *No materials shall be stored above eight (8) feet in height.* No material storage is shown on the submitted site plan.



- e. Proper access to all parts of the storage areas shall be provided for fire and emergency vehicles. We defer any additional comments regarding this requirement to the Township Fire Marshal.

ADDITIONAL REVIEWS

Township Fire Marshal

Comments provided by the Fire Marshal are provided via a separate document.

Township Engineer

Aside from the opinion received from the Township Engineer relating to the corduroy road, the applicant has not supplied drainage details to the Township for review.

RECOMMENDATIONS

Township review team find that the site plan, dated and revised July 14, 2023, still does not meet several ordinance requirements, as noted in detail above. Further, as previously discussed, the Township reviewed the proposed project and associated site plans on 6 separate occasions. The applicant has also been directed, via a signed court order, to address several deficiencies on the site plan. Given the adverse effects to adjacent residential homes, the applicant’s continued refusal to comply with ordinance requirements, despite being made aware of said requirements on numerous occasions spanning an excess of 2 years (including the court order), and the number of safety concerns the current activities produce, **we recommend denial of the proposed site plan.**

As previously indicated, Township staff have provided the ordinance requirements to the applicant on multiple occasions – however, the site plan still does not show compliance with ordinance requirements. Township staff does not believe that tabling this site plan review will achieve the appropriate result. While it is acknowledged that the I-2 District does permit the proposed use, the site plan as presented does not meet Ordinance requirements. We find that the required revisions are substantial enough to recommend against a conditional approval.

Respectfully Submitted,

McKenna

Danielle Bouchard, AICP
Principal Planner

Kyle Mucha, AICP
Senior Planner



Memorandum

TO: Kalamazoo Charter Township Planning Commission
FROM: Danielle Bouchard, AICP, Principal Planner
 Kyle Mucha, AICP, Senior Planner
SUBJECT: **Site Plan Review #5 – Jack Livingstone, Tree Fellers Wood Products & Furniture
 2017 North Burdick**
DATE: March 24, 2023

The Applicant, Jack Livingstone, is seeking site plan approval to operate several permitted uses, per the I-2, General Industrial District, on the subject site, located at 2017 North Burdick. These uses include:

- Wood products manufacturing, including furniture manufacturing.
- The manufacturing, compounding, assembling, packaging, or treatment of articles or merchandise from previously prepared materials.
- Contractor’s yards and storage facilities for building materials, sand, gravel, stone, lumber, equipment and supplies (this is a special land use).

CASE BACKGROUND

In general, the applicant’s business utilizes wood (chopped off-site) to create furniture and other decorative pieces. The wood is planned to be separated into piles and stored on-site outdoors (parcels -030, -060, and -070). The wood does not consist of treated lumber. The applicant has also indicated the need for an on-site office to handle sales and services incidental to the manufacturing of the wood products and furniture. Further, the applicant currently runs a tree cutting business on-site where equipment and vehicles are stored.

The applicant is intending to drive commercial trucks and vehicles onto (and through) parcels -030, -060, and -070. As indicated above, these parcels are planned for outdoor storage of contractor’s yard supplies.

Case History

The applicant applied for initial site plan review in May 2021. To date, Township staff have written and submitted 5 full site plan reviews, included the project on the August 4, 2022 Agenda (where it was tabled), and met with the applicant several times (including project architect) in person to discuss the site. **To date, the applicant has yet to comply with Township planning, zoning, and fire safety standards and continues to intentionally operate an UNAPPROVED business on several Township properties. The applicant has been made aware on several occasions of these ordinance violations and continues to operate business activity without required approvals.**

Further, since the initial application, the applicant has added new uses, new parcels, driveways, outdoor storage, equipment, and other elements to the site plan. As such, Township staff were compelled to conduct a new full review as a result of the new information shown in each review. A full case history is highlighted below.

- **May 2021:** Applicant files for site plan review after receiving a letter violation in the mail for operating an industrial business without approvals.



- **June 2021:** The Township submits a review to the applicant noting the site plan (hand drawn) is not up to standard in order to recommend forwarding to Planning Commission. Township Staff spoke with the applicant on the phone to discuss base requirements for a site plan (e.g., licensed engineer/architect).
- **July 2021:** Township staff communicated via email with the applicant to request revised site plan.
- **August 2021:** Township staff communicated via email with the applicant asking for an updated site plan.
- **November 2021:** Email communication to the applicant requesting for the updated site plan.
- **January 2022:** A violation letter is submitted to the applicant detailing operations without approvals.
- **February 2022:** the applicant submits a revised version of the site plan to the Township for review. *Note that it took between June 2021- February 2022 to receive a revised site plan. As noted above (and evidenced in email communications), Township staff reached out to the applicant on several occasions, including a violation letter, requesting for the revised site plan.*
- **March 2022:** A full site plan review (SPR#1) was submitted to the applicant noting deficiencies of the site plan and required changes (see attachment). The submitted site plan still did not show the required level of detail required for an approval recommendation to Planning Commission.
- **April 2022:** Township staff meets in-person with the applicant. A follow-up email was submitted to the applicant detailing the items needed for the next submittal.
- **July 2022:** Another site plan review (SPR#2) was submitted to the applicant (see attachment). At this point, it was discovered that additional parcels were added to business operations without approvals. Therefore, it was determined that a special land use required for the contractor's yard.
- **July 2022:** Another site plan review (SPR#3) was submitted to the applicant (see attachment).
- **August 2022:** The application was tabled at the Planning Commission meeting due to several deficiencies.
- **October 2022:** The applicant receives an additional violation letter from Township staff noting the ordinance requirements to get the site into compliance.
- **January 2023:** Township staff meets with the Architect to discuss site plan requirements.
- **January 2023:** Another site plan review (SPR#4) was submitted to the applicant (see attachment). This plan review notes yet another parcel was added to the overall site plan, necessitating another full review.
- **February 2023:** Township staff and legal council attended a court hearing regarding site violations. The court order established a deadline for March 10, 2023 to submit a new site plan to the Township for review with a list of associated requirements.
- **March 2023:** The applicant submits a new site plan for review (SPR #5). At this time, new site access and circulation routes are proposed. These are new conditions that have not been previously discussed or reviewed. These items are discussed further in this review letter.

Each previous site plan review letter submitted to the applicant is included in this packet. The intent here is to demonstrate that the applicant has been consistently notified and made fully aware of ordinance violations and has been made aware of information required to get the site into compliance on multiple occasions.

The applicant has purposely and intentionally disregarded Township requirements and subsequent violations for a period nearing 2 years. Township staff have shown good faith to work with the applicant and explain the review process and revisions needed. To date, the applicant has still failed to comply with ordinance standards. As previously mentioned, this letter is the 5th review.



OVERVIEW

The applicant, based on the narrative provided to Township staff, indicates that the principal building located on parcel -010 would be used for the creation of wood products and furniture (countertops, tables, lamps, slab mantles, sculptures). The applicant proposes outdoor storage of raw wood materials, such as a material storage yard, prior to the manufacturing of finished products inside the facility. *The applicant received special land use approval to operate a contractor’s yard and storage facility for building materials, lumber, equipment, and supplies in association with wood furniture making at the August 4, 2022 Planning Commission meeting. However, since then, the special land use for the contractor’s supply yard has been expanded to other parcels, thus, new special land use approval is required.*

PROPOSED IMPROVEMENTS

The applicant proposes to utilize several parcels as a wood products processing yard, which will require review and approval as a Special Land Use. The applicant also proposes to construct 19 parking spaces, which will be located to the north and west of the existing building. Proposed site improvements also include an internal circulation route, to be constructed out of “corduroy road.” Which is described further in this review.

USE OF THE PROPERTY

The property has an existing warehouse style building on site and an associated parking area along the eastern portion of the building. Wood product manufacturing, including furniture manufacturing is a permitted use within the I-2, General Industrial District. The use of the existing building is deemed appropriate for the I-2 District, however the proposed expanded outdoor contractor’s yard and storage facility for building materials, lumber, equipment, and supplies will require a Special Land Use review and approval by the Planning Commission.

EXISTING AND SURROUNDING CONDITIONS AND ZONING DISTRICTS

The surrounding properties to the north, east and west of the site are zoned I-2, General Industrial. The property to the south is zoned I-2, General Industrial, however the use is that of a residence. **The proposed outdoor contractor’s yard will abut residential uses located along West Dunkley Street to the south.**

Based on the proximity of the residential uses located to the immediate south of the subject sites, and as stipulated in Section 2.03.A.4 (impact on adjacent buildings or uses), review staff recommend the Planning Commission consider the impact the contractor’s yard will have on adjacent property owners. The Township has received complaints from adjacent residential property owners regarding this activity. The applicant has been using a residential driveway to access parcel -070 (see image on the top right).

Photo evidence (taken from the public street) demonstrate the site’s conditions and affects to the health, safety, and welfare of property owners. The applicant was sited for litter/debris on the property, abutting residential backyards (see right).





SITE PLAN REVIEW

Site Plan Parcels

It should be noted that the site plan is comprised of FIVE SEPARATE parcels (four of which are owned by the applicant and the fifth shows an access easement). If approved, the applicant shall obtain a lot combination for parcels -010, -060, and -070 in order for conduct business on these sites.

The northernmost parcel (-030) is NOT contiguous with the primary site operations on the other three parcels. The applicant has indicated that an easement has been granted to access the northernmost site. Evidence of the signed easement, including legal descriptions, drawings, recording, and all applicable information shall be submitted to the Township for review.

Furthermore, the southernmost parcel (-070) is only accessible by establishing a driveway off W. Dunkley. This is jurisdiction of Kalamazoo County. We note the proposed driveway stems from a property that is NOT owned by the applicant. If approved, the applicant shall obtain approvals from ALL applicable organizations to establish a driveway from parcel -070. The applicant has already been using an UNAPPROVED driveway to access the rear site (-060). The applicant has also cleared the site of trees without site plan approval.

Lastly, we recognize that several of these properties are nonconforming. Parcels -060 and -030 are landlocked (access from BUS-131 is not applicable).

Schedule of Regulations: Section 25.02

Regulation Type	I-2 General Industrial District Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
Maximum Stories	2	1	Yes
Maximum Building Height	45 ft.	No proposed changes	NA
Front Yard Setback	50 ft.	38'	No
Side Yard Setback	30 ft. (each)	24' & 27'	No
Rear Yard Setback	50 ft.	Not indicated	NA
Maximum Lot Coverage	75%	13%	Yes

The applicant is required to demonstrate compliance with Ordinance standards in terms of setbacks. However, we note that the proposed operations will be located in an existing building which was constructed prior to the Ordinance update in 2016. The applicant is advised that any new structures to be located on the site will need to meet current ordinance standards.

Off-Street Parking

Section 4.01.D.6 of the Township Zoning Ordinance requires 1 parking space per every 750 square feet of gross floor area dedicated to “Manufacturing”. The gross floor area of the existing structure is approximately 14,347 sq. ft, as supplied by the applicant. Therefore, 20 parking spaces are required by the ordinance.

The site plan shows a total of 19 parking spaces, some of which measure 10' x 20' while others measure 9' x 20'. Of the proposed spaces, five (5) are currently in existence along the eastern portion of the building, with direct access to N. Burdick Street. We defer to the Planning Commission to determine if the lesser number of parking



spaces is appropriate for the proposed use. However, it appears that the applicant is parking commercial vehicles along the northern portion of the building.

Site Circulation

Once vehicles are on site, travel will function in a “one-way” pattern, with the egress to the site being located along W. Dunkley. We defer to the Fire Marshal to determine the adequacy of the proposed “one-way fire lane” around the site.

In addition to parking requirements, Section 2.20.D.4 – Industrial Uses – regulates the type of material needed for pavement. The applicant has indicated their desire to use gravel instead of a paved material for site circulation and the parking area. The proposal does not meet the requirements of Section 2.20.D.4., however the Planning Commission does have the ability to waive paving requirements for parking areas and other vehicle maneuvering areas (Section 2.20.D.2.). We do not recommend paving requirements to be waived given the frequent travel on the internal access drive as well as the heavy equipment and machinery intended for the route. At a minimum, recommend that all existing and proposed driveways and internal site circulation routes are paved due to the muddy conditions as observed on-site. See images below (taken in early December 2022).



As shown in the image above (left), the applicant has been utilizing a driveway on the south side of the rear parcel on W. Dunkley. The driveway is located between two homes. Site plans indicate that the driveway is approximately 16 feet wide. Section 2.20.D.4 specifies that main access driveways and internal access routes in commercial and industrial districts shall be a minimum of 31 feet wide. Therefore, the driveway located on W. Dunkley is **not** compliant with ordinance standards.

Another unapproved driveway is being utilized on parcel -070, where the applicant has been driving commercial vehicles across a residential driveway (as mentioned above). This driveway is also proposed at 16 feet wide. This is also **not** compliant with ordinance standards for industrial uses.

Lastly, the overall site circulation route essentially functions as a private road. The internal access route is intended to serve several landlocked nonconforming parcels that DO NOT have frontage on any public street. Though we understand the applicant is not requesting a land division, Township general ordinance 459.007 states that a parcel cannot be created without required frontage on a public street. No private road or easement access shall be authorized unless the requisite frontage on a public road is also met.

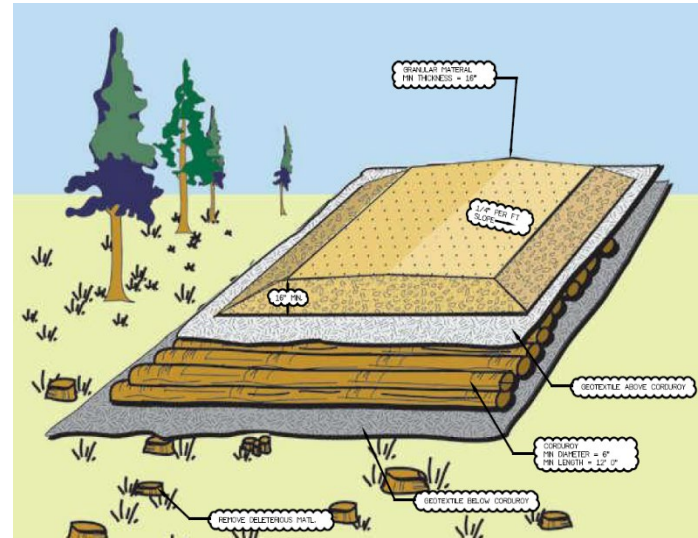
Given all the violations of Township ordinance with regard to site circulation, as well as best practices in planning, zoning, and site design, Township review staff is **not** in support of approving the proposed internal access route.

We defer to the Fire Marshal for further comment on safety considerations with regard to site access.



The applicant has proposed a “corduroy road” to be constructed on the southern driveway on parcel -060. A corduroy road includes logs as the base and granular materials on top (see image to the right). Township staff have concerns about the composition of the corduroy road for several reasons:

- The road’s ability to withstand a 70,000lbs fire truck. We defer to the Fire Marshal for more comment on this finding.
- The road’s outdated design (this was a practice used during WWII).
- The Township Engineer’s opinion that the road is not sustainable for the long-term. The Engineer’s statement is as follows: *“The upkeep of a corduroy road makes them unsustainable and shall not be used. There are better options out there if they are looking to “span” an area of poor soils. There’s lightweight fill, foam blocks, even buoyant concrete that could do the trick for them.”*



Parking Lot Landscaping

The applicant is advised of the following requirements as it pertains to parking lot landscaping as provided in the following table.

Regulation Type: Parking Lot Landscaping	Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
General Landscaping Ratio	30 sq. ft. per parking space (20 spaces x 30 sq. ft. = 600 sq. ft.)	Unspecified	*Partially
Minimum Planting Area Width	9 feet	Not dimensioned	*Partially
Deciduous or Evergreen Trees	One (1) shade tree per five (5) spaces	Multiple Existing	*The site plan indicates the retention of multiple mature growth trees

*The applicant indicates to retain existing trees located on the subject property. We are encouraged by the applicant’s design creativity and find that the retention of existing mature growth trees aligns with the Township’s goal for natural features and elements. Therefore, it is recommended that the Planning Commission accept the applicant’s landscaping plan as submitted.



Landscaping Adjacent to Roads

The applicant is advised of the following requirements as it pertains to landscaping adjacent to roads.

Regulation Type: Landscaping Adjacent to Roads	Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
Minimum Planting Area Width	15 feet	Not dimensioned	*Partially
Deciduous or Evergreen Trees	One (1) tree per 40 linear feet: $166' / 40' = 4$ trees	1 (existing)	*Partially
Ornamental Trees	One (1) tree per 100 linear feet: $166' / 100 = 2$ trees	None proposed	NO
Shrubs	Eight (8) shrubs per 40 linear feet: 32 shrubs	13	*Partially

Note: frontage calculations were based on N. Burdick Street and W. Dunkley Street (as shown on the site plan).

*The submitted site plan shows enhancements to the existing landscaping along N. Burdick Street and proposed landscaping along W. Dunkley. Due to site constraints, the ability to successfully install the required landscaping trees and shrubs would ultimately be detrimental to the overall health of the vegetation due to the close proximity of said vegetation. Plantings that are clustered together would compete for resources. Therefore, we encourage the Planning Commission to accept the proposed landscape layout as submitted by the applicant. For further reference, the existing property does not have the required landscaping existing on site.

Greenbelt

It has been noted that the applicant wishes to reutilize an existing site that does not currently have a greenbelt along North Burdick. Due to the current location of the building being an estimated 40 feet from the edge of the road, it may not be advantageous for the applicant to install a greenbelt at this location. We defer to the Planning Commission on whether the greenbelt requirement should be waived in accordance with Section 5.07 – Modifications to Landscape Requirements.

Berm

The applicant is proposing a berm along the western portion of the site (fronting BR-131). Berm height and material details have not been provided as to determine compliance with ordinance requirements.

Lighting

The applicant is proposing gooseneck shaded downlights with LED lamps. We find that this type of light fixture likely meets ordinance requirements.

Signage

The applicant has not provided any details pertaining to site signage. Site signage can be reviewed and addressed administratively, should the applicant seek to pursue signage at a later date.

Trash Disposal

Section 2.22 outlines the requirements for trash removal and collection. The applicant is not proposing dumpster or trash removal outside of the building. Any refuse generated on site shall be disposed of by an appropriate trash collection agency.



BUILDING AND SITE DESIGN

The applicant has submitted building elevations. These elevations include the installation of one overhead door, which are proposed to be installed along the west elevation of the existing structure. Furthermore, Section 20.03.A.3 – Development Standards – pertaining to the I-2, General Industrial District, stipulates the following:

- a. *Outside storage areas shall be located no closer than one hundred fifty (150) feet to any street right-of-way line and no closer than twenty (20) feet to all other property lines.* The proposed storage area, located on the western portion of the site, meets this requirement.
- b. *Outside storage areas shall be located no closer than one hundred (100) feet to any residential district.* The subject site is bordered by residential uses to the south; however, these uses are not within a zoned residential district. This requirement is met.
- c. *Outside storage areas which have the potential to be visible from a public or private road or which abut a residential or commercial district shall be screened by a wall or fence, constructed in accordance with Article 6.* The applicant has indicated a hinged gate will be installed near the southern egress point; however, no gate details have been provided. The applicant will need to provide further details of the proposed gate to ensure compliance with this requirement. A 6-foot-tall wooden fence is also proposed along the perimeter of parcel -060 abutting the residential homes. A fence is also proposed along the property line adjacent to the principal building.
- d. *No materials shall be stored above eight (8) feet in height.* The applicant has not provided details pertaining to the proposed height of the firewood on pallets, trees on pallets nor the indicated logs. This information will be required.
- e. *Proper access to all parts of the storage areas shall be provided for fire and emergency vehicles.* We defer any additional comments regarding this requirement to the Township Fire Marshal.

ADDITIONAL REVIEWS

Township Fire Marshal

Comments provided by the Fire Marshal are provided via a separate document.

Township Engineer

Aside from the opinion received from the Township Engineer relating to the corduroy road, the applicant has not supplied drainage details to the Township for review.

RECOMMENDATIONS

Township review team find that the site plan, dated and revised March 10, 2023, is still in violation of several ordinance requirements, as noted in detail above. Further, as previously discussed, the Township reviewed the proposed project and associated site plans on 5 separate occasions. The applicant has also been directed, via a signed court order, to address several deficiencies on the site plan. Given the adverse effects to adjacent residential homes, the applicant's continued refusal to comply with ordinance requirements, despite being made aware of said requirements on numerous occasions spanning almost 2 years (plus the court order), and the number of safety concerns the current activities produce, **we recommend denial of the proposed site plan.**



IF the applicant were to show good faith to remove all lumber and debris abutting adjacent residential homes, cease utilizing unapproved and noncompliant driveways, and restore parcels -030, -060, and -070 back to the original state, we COULD support approval of a woodworking business STRICTLY on parcel -010 within the enclosed building. Given that a woodworking business is a principally permitted use in the I-2 District. The proposed conditions for the internal access route do not comply with requirements for several reasons as outlined above. We do not support the continuation of businesses on properties -030, -060, and -070.

Respectfully Submitted,

McKenna

Danielle Bouchard, AICP
Principal Planner

Kyle Mucha, AICP
Senior Planner



Memorandum

TO: Kalamazoo Charter Township Planning Commission
FROM: Danielle Bouchard, AICP, Senior Planner
SUBJECT: **Site Plan Review #4– Jack Livingstone, Tree Fellers Wood Products & Furniture 2017 North Burdick**
DATE: January 6, 2023

The Applicant, Jack Livingstone, is seeking site plan approval to operate several permitted uses, per the I-2, General Industrial District, on the subject site, located at 2017 North Burdick. These uses include:

- Wood products manufacturing, including furniture manufacturing.
- The manufacturing, compounding, assembling, packaging, or treatment of articles or merchandise from previously prepared materials.

In general, the applicant’s business utilizes wood (chopped off-site) to create furniture and other decorative pieces. The wood is planned to be separated into several piles and stored on-site outdoors. The applicant plans to drive on the site to access the wood piles, which are indicated to be located on the western portion of the subject parcel. The wood does not consist of treated lumber. The applicant has also indicated the need for an on-site office to handle sales and services incidental to the manufacturing of the wood products and furniture.

Further, the applicant currently runs a tree cutting business on-site where equipment and vehicles are stored.

OVERVIEW

The applicant, based on the narrative provided to Township staff, indicates that the warehouse would be used for the creation of wood products and furniture (countertops, tables, lamps, slab mantles, sculptures). The applicant proposes outdoor storage of raw wood materials, such as a material storage yard, prior to the manufacturing of finished products inside the facility. The applicant received special land use approval to operate a contractor’s yard and storage facility for building materials, lumber, equipment, and supplies in association with wood furniture making at the August 4, 2022 Planning Commission meeting.

PROPOSED IMPROVEMENTS

The applicant proposes to utilize the 2.84-acre parcel, located to the west of 2017 North Burdick, as a wood products processing yard, which will require review and approval as a Special Land Use. The applicant also proposes to construct an additional 15 parking spaces, which will be located to the north and west of the existing building.

USE OF THE PROPERTY

The property has an existing warehouse style building on site and an associated concrete parking area along the eastern portion of the building. Wood product manufacturing, including furniture manufacturing is a permitted use within the I-2, General Industrial District. The use of the existing building is deemed appropriate for the I-2 District, however an outdoor contractor’s yard and storage facility for building materials, lumber, equipment, and supplies will require a Special Land Use review and approval by the Planning Commission.



EXISTING AND SURROUNDING CONDITIONS AND ZONING DISTRICTS

The surrounding properties to the north, east and west of the site are zoned I-2, General Industrial. The property to the south is zoned I-2, General Industrial, however the use is that of a residence. The proposed outdoor contractor's yard will abut residential uses located along West Dunkley Street to the south.

Based on the proximity of the residential uses located to the immediate south of the subject site, and as stipulated in Section 2.03.A.4 (impact on adjacent buildings or uses), McKenna review staff recommend the Planning Commission consider the impact the contractor's yard will have on adjacent property owners.

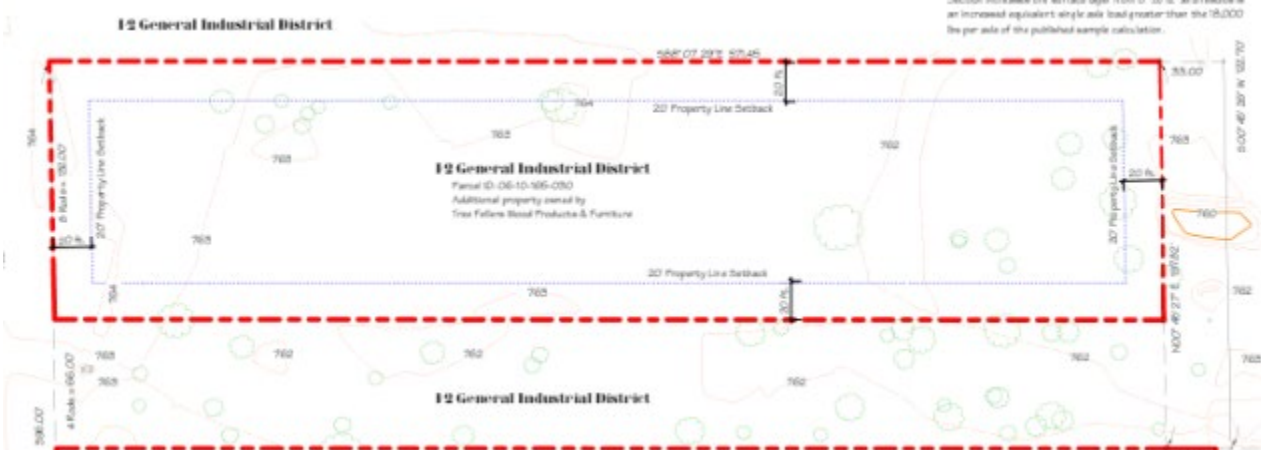
SITE PLAN REVIEW

Site Plan Parcels

It should be noted that the site plan is comprised of THREE SEPARATE parcels. The parcel line is designated in a light yellow color on site plans. The applicant shall obtain a parcel combination for all parcels in order for conduct business on all sites.



Additionally, the site plans note parcel -030 to the north of the subject site (see image below). We defer to the applicant to clarify if parcel -030 is a part of site operations. If so, more detail on the proposed use is required.





Schedule of Regulations: Section 25.02

Regulation Type	I-2 General Industrial District Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
Maximum Stories	2	1	Yes
Maximum Building Height	45 ft.	No proposed changes	NA
Front Yard Setback	50 ft.	38'	NA
Side Yard Setback	30 ft. (each)	24' & 27'	NA
Rear Yard Setback	50 ft.	Not indicated	Yes
Maximum Lot Coverage	75%	13%	Yes

The applicant is required to demonstrate compliance with Ordinance standards in terms of setbacks. However, we note that the proposed operations will be located in an existing building which was constructed prior to the Ordinance update in 2016. The applicant is advised that any new structures to be located on the site will need to meet current ordinance standards.

Off-Street Parking

Section 4.01.D.6 of the Township Zoning Ordinance requires 1 parking space per every 750 square feet of gross floor area dedicated to “Manufacturing”. The gross floor area of the existing structure is approximately 14,347 sq. ft, as supplied by the applicant. Therefore, 20 parking spaces are required by the ordinance.

The site plan, revised date of 11/30/2022, shows a total of 19 parking spaces on the north side of the site, some of which measure 10’ x 20’ while others measure 9’ x 20’. Behind the existing building, on the west side of the lot, includes an additional 6 parking spaces. Of the proposed spaces, five (5) are currently in existence along the eastern portion of the building, with direct access to N. Burdick Street.

Site Circulation

Once vehicles are on site, travel will function in a “one-way” pattern, with the egress to the site being located along W. Dunkley. We defer to the Fire Marshal to determine the adequacy of the proposed “one-way fire lane” around the site.

In addition to parking requirements, Section 2.20.D.4 – Industrial Uses – regulates the type of material needed for pavement. The applicant has indicated their desire to use gravel instead of a paved material for site circulation and the parking area. The proposal does not meet the requirements of Section 2.20.D.4., however the Planning Commission does have the ability to waive paving requirements for parking areas and other vehicle maneuvering areas (Section 2.20.D.2.). We defer to any additional comments regarding the proposed use of gravel verse paved material to the Township Fire Marshal and Engineer.



We recommend that all existing and proposed driveways and internal site circulation routes are paved due to the muddy conditions as observed on-site. See images below (taken in early December 2022).



Further, as shown in the image above (left), the applicant has been utilizing a driveway on the south side of the rear parcel on W. Dunkley. The driveway is located between two homes. Site plans indicate that the driveway is approximately 16 feet wide. Section 2.20.D.4 specifies that main access driveways and internal access routes in commercial and industrial districts shall be a minimum of 27 feet wide. Therefore, the driveway located on W. Dunkley is **not** compliant with ordinance standards.

Additionally, the applicant has created another unapproved driveway on the southwest portion of the site that is not depicted on site plans. This driveway was discovered as a result of a site visit. The Township has received complaints from this unapproved driveway because the applicant is driving equipment across a residential driveway. This driveway shall be removed, and original site conditions shall be restored immediately. An image of the driveway is provided to the right.

Parking Lot Landscaping

The applicant is advised of the following requirements as it pertains to parking lot landscaping as provided in the following table.



Regulation Type: Parking Lot Landscaping	Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
General Landscaping Ratio	30 sq. ft. per parking space (20 spaces x 30 sq. ft. = 600 sq. ft.)	Unspecified	*Partially



Minimum Planting Area Width	9 feet	Not dimensioned	*Partially
Deciduous or Evergreen Trees	One (1) shade tree per five (5) spaces	Multiple Existing	*The site plan indicates the retention of multiple mature growth trees

*The applicant indicates to retain existing trees located on the subject property. We are encouraged by the applicant's design creativity and find that the retention of existing mature growth trees aligns with the Township's goal for natural features and elements. Therefore, it is recommended that the Planning Commission accept the applicant's landscaping plan as submitted.

Landscaping Adjacent to Roads

The applicant is advised of the following requirements as it pertains to landscaping adjacent to roads.

Regulation Type: Landscaping Adjacent to Roads	Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
Minimum Planting Area Width	15 feet	Not dimensioned	*Partially
Deciduous or Evergreen Trees	One (1) tree per 40 linear feet: $166' / 40' = 4$ trees	1 (existing)	*Partially
Ornamental Trees	One (1) tree per 100 linear feet: $166' / 100 = 2$ trees	None proposed	NO
Shrubs	Eight (8) shrubs per 40 linear feet: 32 shrubs	13	*Partially

Note: frontage calculations were based on N. Burdick Street and W. Dunkley Street (as shown on the site plan).

*The applicant proposes to reutilize an existing industrial site. The submitted site plan shows enhancements to the existing landscaping along N. Burdick Street and proposed landscaping along W. Dunkley. Due to site constraints, the ability to successfully install the required landscaping trees and shrubs would ultimately be detrimental to the overall health of the vegetation due to the close proximity of said vegetation. Plantings that are clustered together in order to meet ordinance requirements would compete for resources. We find that the applicant is making a good faith basis to bring the site into conformance with the Township Zoning Ordinance. Therefore, we encourage the Planning Commission to accept the proposed landscape layout as submitted by the applicant. For further reference, the existing property does not have the required landscaping existing on site.

Greenbelt

It has been noted that the applicant wishes to reutilize an existing site that does not currently have a greenbelt along North Burdick. Due to the current location of the building being an estimated 40 feet from the edge of the road, it may not be advantageous for the applicant to install a greenbelt at this location. We defer to the Planning Commission on whether the greenbelt requirement should be waived in accordance with Section 5.07 – Modifications to Landscape Requirements.

Berm

The applicant is proposing a berm along the western portion of the site (fronting BR-131). Berm height and material details have not been provided as to determine compliance with ordinance requirements.



Lighting

The applicant has not provided a lighting plan for review by Township Staff. We advise the applicant to note that Section 2.12.C. – Lighting General Requirements – states the following:

Sufficient lighting shall be required for parking areas, walkways, driveways, building entrances, loading areas, and public common areas to ensure the security of property and safety of persons.

Until such a time as the applicant provides this information, we are unable to offer a positive finding that the site meets the requirements of Section 2.12. However, should future lighting be proposed by the applicant, Township staff can review the lighting plan to ensure conformance with the Zoning Ordinance.

Signage

The applicant has not provided any details pertaining to site signage. Site signage can be reviewed and addressed administratively, should the applicant seek to pursue signage at a later date.

Trash Disposal

Section 2.22 outlines the requirements for trash removal and collection. The proposed location of the dumpster shall be included on site plans.

BUILDING AND SITE DESIGN

The applicant has submitted building elevations. These elevations include the installation of new overhead doors, which are proposed to be installed along the west elevation of the existing structure. Furthermore, Section 20.03.A.3 – Development Standards – pertaining to the I-2, General Industrial District, stipulates the following:

- a. *Outside storage areas shall be located no closer than one hundred fifty (150) feet to any street right-of-way line and no closer than twenty (20) feet to all other property lines.* The proposed storage area, located on the western portion of the site, meets this requirement.
- b. *Outside storage areas shall be located no closer than one hundred (100) feet to any residential district.* The subject site is bordered by residential uses to the south, however these uses are not within a zoned residential district. This requirement is met.
- c. *Outside storage areas which have the potential to be visible from a public or private road or which abut a residential or commercial district shall be screened by a wall or fence, constructed in accordance with Article 6.* The applicant has indicated a hinged gate will be installed near the southern egress point, however no gate details have been provided. The applicant will need to provide further details of the proposed gate to ensure compliance with this requirement.
- d. *No materials shall be stored above eight (8) feet in height.* The applicant has not provided details pertaining to the proposed height of the firewood on pallets, trees on pallets nor the indicated logs. This information will be required.
- e. *Proper access to all parts of the storage areas shall be provided for fire and emergency vehicles.* We defer any additional comments regarding this requirement to the Township Fire Marshal.



ADDITIONAL REVIEWS

Additional Township Staff review comments are provided below.

Township Fire Marshal

Comments provided by the Fire Marshal are provided via a separate document.

Township Engineer

Comments provided by the Township Engineer are provided via a separate document.

RECOMMENDATIONS

The site plan, revised November 30, 2022, addresses some concerns raised by Planning & Zoning staff, however outstanding concerns/items still remain to be addressed. Due to these concerns and requirements having not yet been met, the elements as underlined above shall be addressed on a revised site plan prior to be placed on the Planning Commission's agenda. Reach out to Danielle Bouchard, AICP, at dbouchard@mcka.com if you have any questions regarding this review.

Respectfully Submitted,

McKenna

Danielle Bouchard, AICP, Senior Planner

A site plan review of the property identified as 2017 North Burdick Street within Kalamazoo Township was completed on January 5, 2022. This review was conducted utilizing a plan set drawn by Richard Schramm. The plan set was stamped and dated. The reviewed plan set had a date of 11/30/2022 on it and there was no revision date on the plans.

The site plan was reviewed utilizing the 2018 edition of NFPA as well as the current Kalamazoo Township Site Plan Ordinance. During the site plan review, the following deficiencies were noted and shall be corrected and a new plan set submitted for review:

1. Installation of Knox Box. The size shall be a "3200" series or larger. The vault shall be mounted unobstructed and visible approximately five feet from ground level near a main access door.. Devices may only be purchased at www.knoxbox.com.
2. The Fire Department Connections (FDC) shall have Knox 5" Locking FDC Plugs with swivel-guard.
3. The FDC shall be within 100' of a fire hydrant.
4. The FDC may be remotely located away from the building. The location of the fire department connection shall be approved.
5. Immediate access to FDC shall be maintained in clear view without obstruction by fences, bushes, trees, walls, dumpsters or any other object.
6. FDC shall be so located so that fire apparatus and hydrant lines connected to supply the system will not obstruct access to the buildings for other fire apparatus.
7. FDC shall not be obstructed by parking spaces; marked or unmarked.
8. Public/private fire hydrants shall be identified signage approved by the City of Kalamazoo.
9. Public and Private fire hydrants shall be supplied by a main not less than 6" in diameter.
10. Fire hydrant placement shall be approved by the Fire Marshal's Office.
11. Water mains serving fire suppression systems shall not be less than 6" in diameter. Main size may be reduced upon submittal of engineered/architectural stamped & sealed fire suppression plans in detail including calculations. Plans shall be approved by the City of Kalamazoo Water Department.
12. Fire department connections not remotely located shall be located on the street side of the building.
13. FDC not remotely located shall be fully visible and recognizable from the street.
14. The FDC shall be identifiable to approaching fire apparatus.
15. The FDC shall be indicated by an approved sign mounted on the street, front, side of the building or adjacent to a remotely located FDC.
16. FDC signage shall have the letters "FDC" at least 6 inches high.
17. FDC signage shall be reflective with white letters with a red background. All such signs shall be subject to the approval of the fire code official.
18. FDC shall have an exterior rated strobe & horn device above the FDC, approximately 8-10' in height. Device shall be in clear view to approaching fire apparatus.
19. Protective Bollards shall be required to protect egress doors or pathways where vehicles or other devices (dumpsters, shopping carts, outside displays etc) can be parked or placed which could impede the pathway or door motion from a required egress door

20. Protective Bollards shall be installed protecting any exposed electric or gas device, connection, piping, meter, FDC, fire hydrant, fire stand pipe connection, LP Storage tank, LP transfer point, LP point of sale.
21. Protective bollards shall also be erected at any point where a vehicle will be driving alongside or up to the building such as that of a drive thru sales window.
22. Protective bollards shall be placed regardless of whether or a sidewalk is placed between the device and the area for parking. After landscaping, the discharge ports for hydrants shall be 24" from the ground measured from the bottom of the lowest port to the ground.
23. Building identification shall be placed in a position that is plainly legible and visible from any street or road fronting the property.
24. The address numbers and street name shall contrast with their background.
25. Commercial structures shall have address numbers at least 10" high.
26. Parking lots, driveways and service & access drives shall be designed and constructed to allow the maneuverability and weight of fire service aerial devices.
27. Fire access lanes when required shall be a minimum of 26' wide and provide 13'6" height clearance. Signage shall be erected prohibiting parking, stopping, standing loading or unloading.
28. Turning radius of parking lots and fire access lanes shall be constructed to allow turning and full operation of fire apparatus during an emergency.
29. Dead end access roads and parking lots in excess of 150 feet in length shall be provided with approved provisions for the fire apparatus to turn around.
- 30. The AHJ reserves the right to implement field adjustments as needed.**

Please feel free to contact me with any questions.

Respectfully,

Todd Kowalski
Fire Marshal
Kalamazoo Township
1720 Riverview Drive
Kalamazoo, Michigan 49004

Office: 269-888-2171

**Charter Township of Kalamazoo Assessor's Office
Form to Combine Parcels**

RECEIVED
SEP 22 2023
CHARTER TOWNSHIP OF KALAMAZOO

Date: SEPTEMBER 21, 2023

Owner's Name: 1119 JEFFERSON, LLC (JOHN LIVINGSTONE)
 Address: 2017 N BURDICK ST KALAMAZOO MI
 Phone #: (231) 622-9785 The phone number is in case there are problems with this form.

This form is to notify the Township Assessor that a combination of properties is desired. This form must be completed and returned to the Township Assessor's Office before any permits are issued on the properties.
There is no fee to complete and submit this form.

Statement: I would like to have the following contiguous properties combined into one parcel.

Address of Parcel	Parcel Identification Number
<u>2017 N. BURDICK ST KALAMAZOO MI</u>	<u>06-10-195-010</u>
	<u>06-10-165-060</u>
	<u>06-10-165-070</u>

The reason I am requesting this combination is:

- Building a new structure or an addition which will cross current parcel lines.
 If so, please state the type of construction:


PLEASE NOTE:

This form must be completed and returned to the Township Assessor's Office before permits can be issued for the property.

- Combine the parcels for tax purposes into one bill; no new construction.

This combination will be done for the next year's tax roll.

Please note that all the taxes must be paid in full for all parcels. BOTH THE SUMMER AND WINTER BILLS must be paid before a combination can be made. By signing below, you agree to have all the taxes paid in full. ***You must provide a legal description that combines all unplatted parcels with this application.***

Owner's Signature  Date 9-20-23

When the form is completely filled out, please return to the Township Assessor's Office. Only then will permits be issued for the properties.

This section for use by the Assessor's Office.

Date form was received	Preliminary approval for combination
By	By
Notified Building Department	Summer Taxes Paid
Date	Winter Taxes Paid
Final approval for combination	Date



Thomas Whitener Kalamazoo County Treasurer

RECEIVED
SEP 22 2023
CHARTER TOWNSHIP OF KALAMAZOO

201 W Kalamazoo Ave Rm 104, Kalamazoo, MI 49007 | 269-384-8124 | treasurer@kalcounty.com

Land Division Tax Payment Certification Form

Name: JOHN LIVINGSTONE Phone: (231) 622-9785
 Owner Address: 2017 N. BIRDICK ST
 Owner City, State, Zip: Kalamazoo, MI
 Property Address: _____
 Property City, State, Zip: _____
 Parcel ID Number: 06-10-195-010 / 06-10-165-060 / 06-10-165-070

All applications must include:

- (1) The surveyed legal description of the parcel to be divided
- (2) \$5 certification fee (made payable to the Kalamazoo County Treasurer)
- (3) A self-addressed, stamped envelope

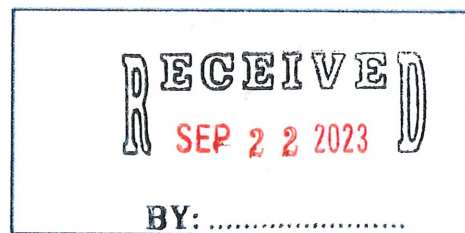
PLEASE DO NOT WRITE BELOW THIS LINE:

Reviewer's Actions

Certification Denied

Denial explanation:

Certification Approved



I certify that, as to the lands herein described, all property taxes and special assessments turned over to the County Treasurer for collection on the parcel or tract subject to the proposed division for the 5 years preceding the date of the application have been paid except that if checked below:

This certificate does not cover taxes or current special assessment installments for the most recent year because the delinquent tax roll is not yet available.

Treasurer's Office Signature: Patricia Wagner Date: 9/22/23

RECEIVED

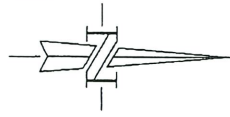
SEP 22 2023

CHARTER TOWNSHIP OF KALAMAZOO

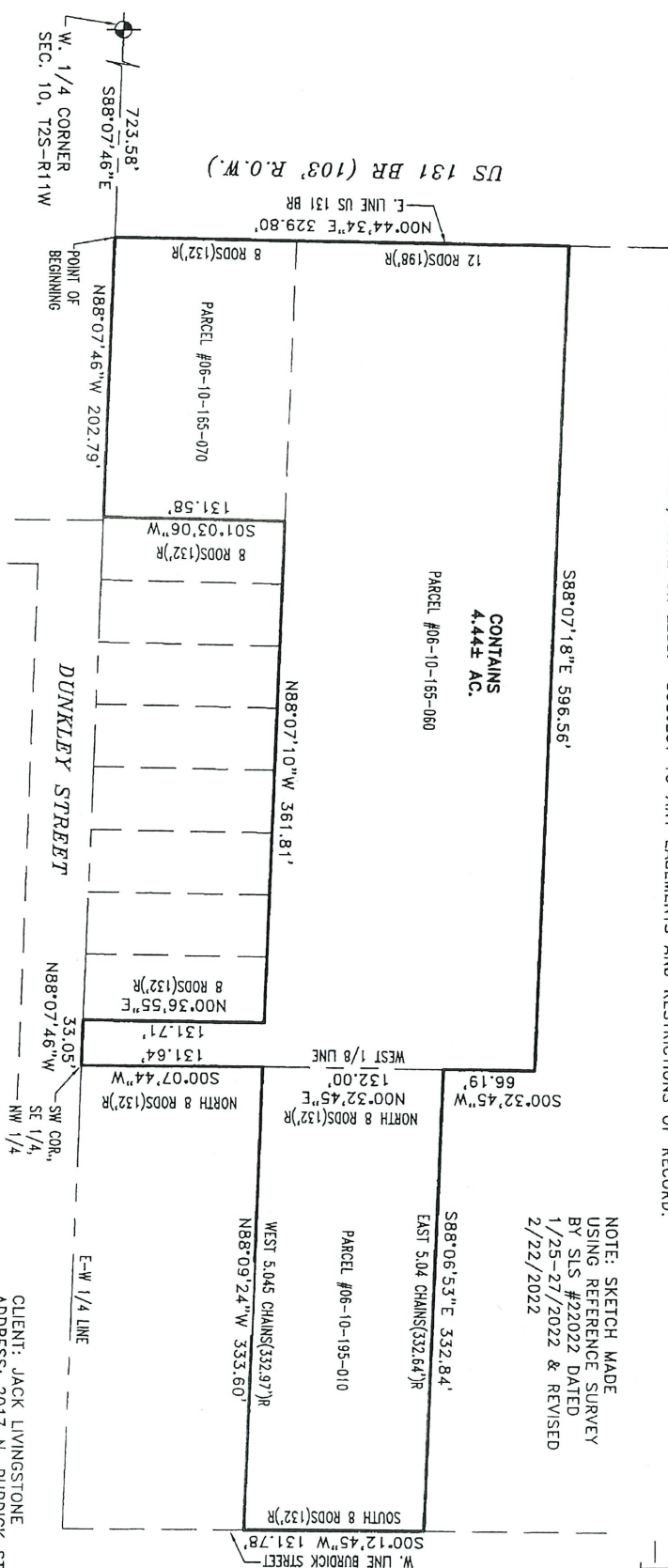
COMBINED DESCRIPTION:
LAND SITUATED IN THE TOWNSHIP OF KALAMAZOO, COUNTY OF KALAMAZOO, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:

FROM THE WEST QUARTER CORNER OF SECTION 10, TOWN 2 SOUTH, RANGE 11 WEST, MEASURE S88°07'46"E, ALONG THE EAST AND WEST 1/4 LINE, 723.58 FEET TO THE EAST RIGHT OF WAY LINE OF US 131 BR AND THE POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED: THENCE N00°44'34"E, ALONG SAID LINE, 329.80 FEET (RECORDED AS 330 FEET); THENCE S88°07'18"E 596.56 FEET TO THE WEST EIGHTH LINE; THENCE S00°32'45"W, ALONG SAID LINE, 66.19 FEET; THENCE S88°06'53"E 332.84 FEET (RECORDED AS EAST 332.64 FEET) TO THE WEST RIGHT OF WAY LINE OF BURDICK STREET; THENCE S00°12'45"W, ALONG SAID LINE, 131.78 FEET (RECORDED AS SOUTH 132 FEET); THENCE N88°09'24"W 333.60 FEET (RECORDED AS WEST 332.97 FEET) TO THE WEST EIGHTH LINE; THENCE S00°07'44"W, ALONG SAID LINE, 131.64 FEET (RECORDED AS WEST 332.97 FEET) TO THE WEST EIGHTH LINE; THENCE S00°07'44"W, ALONG SAID LINE, 131.64 FEET (RECORDED AS SOUTH 132 FEET) TO THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION; THENCE N88°07'44"W, ALONG THE EAST AND WEST QUARTER LINE, 33.05 FEET; THENCE N00°36'55"E 131.71 FEET (RECORDED AS NORTH 132 FEET); THENCE N88°07'10"W 361.81 FEET; THENCE S01°03'06"W 131.58 FEET (RECORDED AS 132 FEET) TO THE EAST AND WEST QUARTER LINE; THENCE N88°07'46"W, ALONG SAID LINE, 202.79 FEET TO THE POINT OF BEGINNING, CONTAINING 4.44 ACRES, MORE OR LESS. SUBJECT TO ANY EASEMENTS AND RESTRICTIONS OF RECORD.

NOTE: SKETCH MADE
USING REFERENCE SURVEY
BY SLS #22022 DATED
1/25-27/2022 & REVISED
2/22/2022



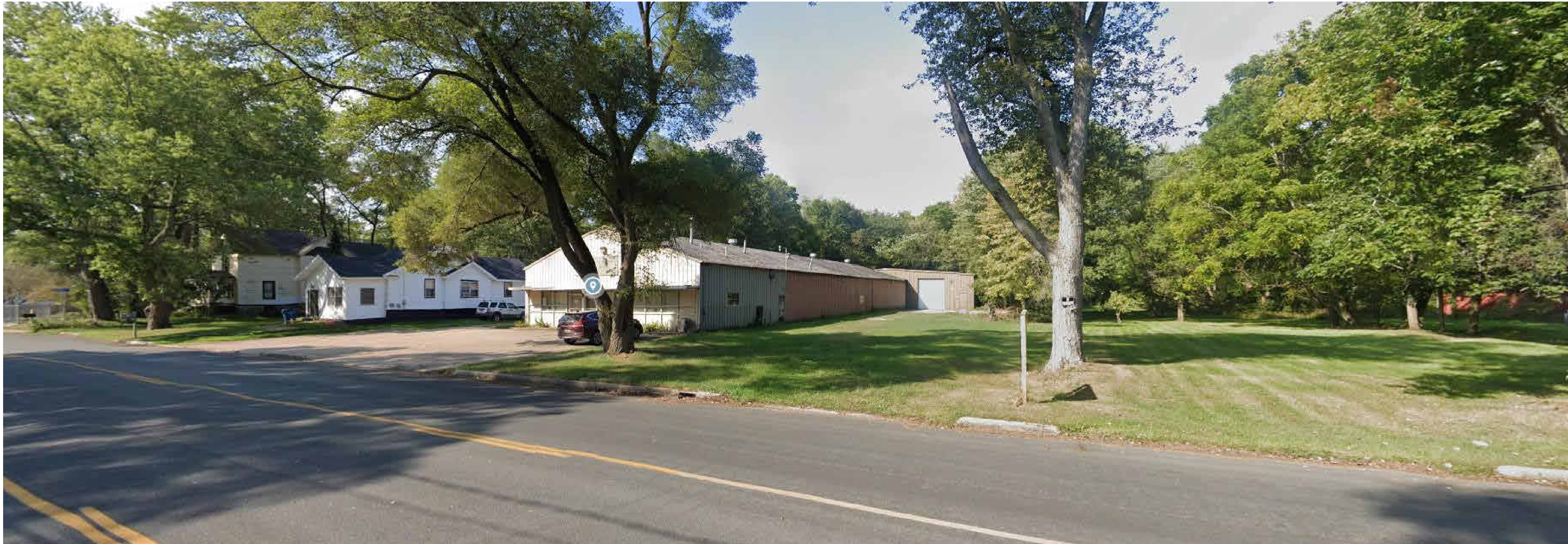
BURDICK STREET 66'



STEPHENSON LAND SURVEYING
SKETCH SHEET: ~
27873 WHITE STREET, CASSOPOLIS, MI 49031
PH (269) 445-8903 FAX (269) 445-8510

1-2022 SHEETS 1 OF 1 SHEET

CLIENT: JACK LIVINGSTONE
ADDRESS: 2017 N. BURDICK STREET
DATE: 9/21/2023
SCALE: 1" = 100'
DRAWN BY: SM
TC: NONE



2
A-01 **Tree Fellers Wood Products & Furniture, Street View**
SCALE: 1/4" = 1'-0"

Tree Fellers Wood Products & Furniture

2017 N. Burdick Street, Kalamazoo, MI 49007

Drawing Index:

- A-01 Index & Street View
- A-02 Site Plan
- A-02a Aerial Site Plan & Notes
- A-02b Topographical Boundary Survey & Legal Descriptions
- A-03 Foundation Plan
- A-04 First Floor Plan
- A-05 Mezzanine Floor Plan
- A-06 Roof Plan
- A-07 Cross Section, Longitudinal Section, & Woodworking Section
- A-08 East & North Elevations and 6'-0" High Wood Fence Details
- A-09 South & West Elevations
- S101 Corduroy Drive Details
- RC-01 Township Review Comments
- RC-02 Township Review Comments
- RC-03 Township Review Comments
- RC-04 Township Review Comments

Architectural Symbols		
Site Plan <ul style="list-style-type: none"> ● BM-1 Bench Mark Number (Elevation in Feet) ● TB-1 Test Boring Number ○ MH Manhole ○ CB Catch Basin ○ Light Pole ○ Fire Hydrant ● Power or Telephone Pole ▭ Curb Inlet ○ Existing Tree to be Removed ○ Existing Tree to Remain — New Topo Contour Line — Existing Topo Contour — W Water Line — E Electric Line — F.O. Fuel Oil Line — SS Storm Sewer — FD Foundation Drain Tile — Contract Limit Line — Property Line — X X X X Fence — S Sanitary Sewer — RD Roof Drain Tile Loop — G Gas Line — T Telephone Line 	Reference Symbols <ul style="list-style-type: none"> ▲ NORTH North Arrow Designation Plan Views ① 02 Detail Number Detail Designation Plan Views & Detail Views ① 12 Sheet Number Elevation Designation Plan Views → Direction of View → Sheet Number F-1 09'-4" Footing Type, E.L.F. - Elevation TOP OF FOOTINGS Footing Designation Plan Views Step 100'-0" Footing 102'-0" Location of Step Step Footing Designation Plan Views Elevation Notes 100'-0" Spot Elevation Designation Plan Views Elevation 109'-4" TOP OF WALL Vertical Elevation Designation Plan, Section, Elevation Views Notes Storage Room Number Designation Plan Views Room Name 106 Door Number 007 Door Number Designation Plan Views Arrow indicates direction of view Cutting Plane Line A-3 Cross Section Designation Plan Views Arrow may point to object or note change. See notes for revision dates along revision number. Design Revision Designation Plan, Section, Elevation Views Arrow may point to equipment item. See eq. schedule for notes. Equipment Item number. Equipment Number Designation Plan, Section, Elevation Views Column number. See schedule for notes. Column Number Designation Plan Views & Detail Views LINTEL NUMBER. See schedule for notes. Lintel Number Designation Plan Views & Detail Views 	Material Indications <ul style="list-style-type: none"> Concrete wall, plan view Brick veneer on stud wall, plan view Rigid insulation, cross section Dimensional lumber, sized, cross section-continuous member Dimensional lumber sized, cross section, intermittent Plywood, cross section Earth, cross section Existing construction to be removed, (wall plan view) Existing construction to remain, (wall plan view) Fire rated wall plan view construction, see notes. Concrete block wall Batts insulation, cross section view Wood stud wall, plan view Steel, cross section Gravel, cross section Sand, cross section Stucco plaster finish, cross section, over concrete block wall Wood flooring, plan view Brick paving, basket weave pattern plan view Tile flooring, plan view Stone paving, plan view Center line, plan view Ceiling cover trim, plan view Roof overhang line, plan view Hidden line, all views

Architect's Seal
NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 9/21/2023
Revised:
Drawn by: R.A.S.
Project: 0984.101

Sheet Number
A-01

Index and Rendering
 © Copyright Richard Schramm 220101 / Do not copy or duplicate without written permission. The Architect's embossed seal is required on this document.
Tree Fellers Wood Products & Furniture
 2017 N. Burdick Street, Kalamazoo, MI 49007

Architectural Workshop, Inc.
 Richard Schramm, Architect
 Phone: 269.975.2472
 7540 Stadium Drive
 Kalamazoo, MI 49009
 www.ArchWorks.us
 FAX: 269.372.7272

Planner's Needed Items:

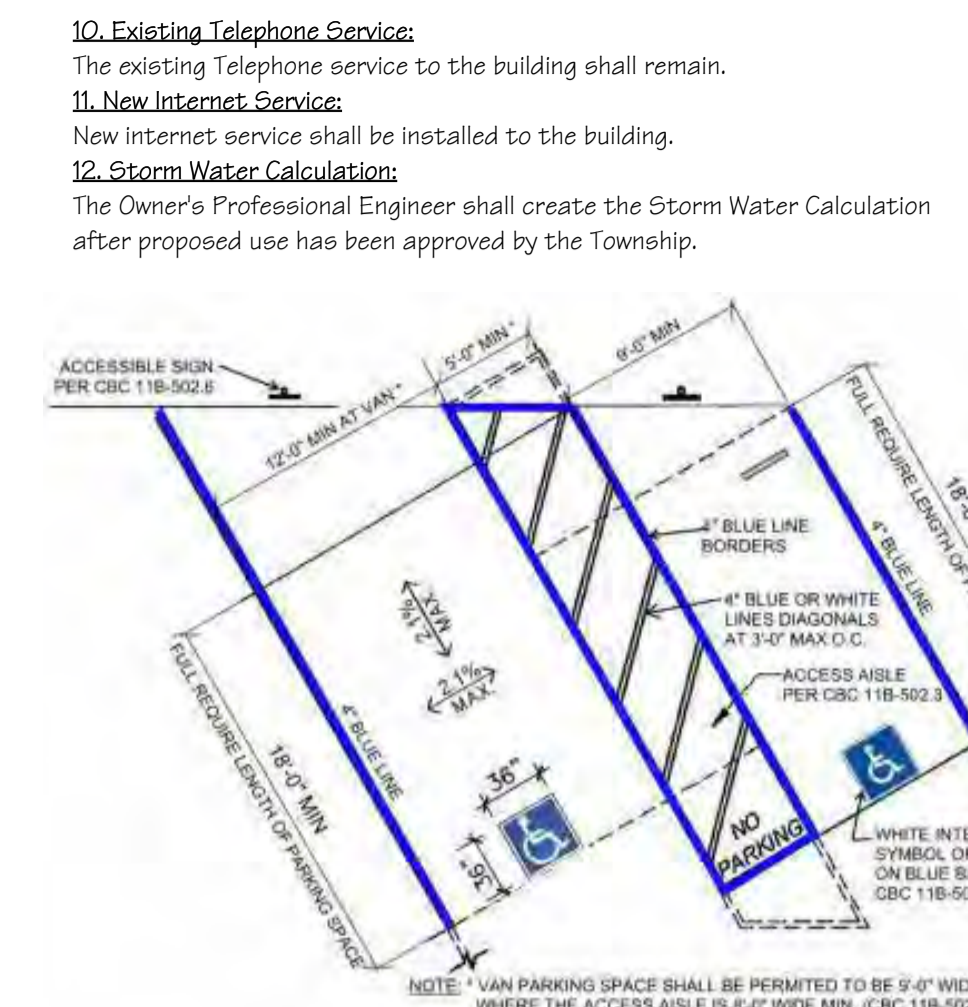
Hi All, 9/8/2023

Here is the list of items that are needed for the next site plan for 2017 N. Burdick:

1. Find out if the power pole can be moved or relocated. We will need a statement from Consumers.
2. Verify all building dimensions and parcel lines.
3. Hatch out all the parcels that are NOT included in the proposal.
4. Include a turning radius for the backside of the building.
5. Combine parcels -010 and -060 (this will be done with the Township Assessor).
6. Provide an Engineer's report on the proposed gravel driveway, including cross-sections. NOTE: Township zoning requirements for driveways and internal access roads can be found in Section 2.20 of the Ordinance.
7. Relocate the north side gate.
8. Remove the guardrail.
9. Clarify ALL proposed uses that are planned to occur on-site.

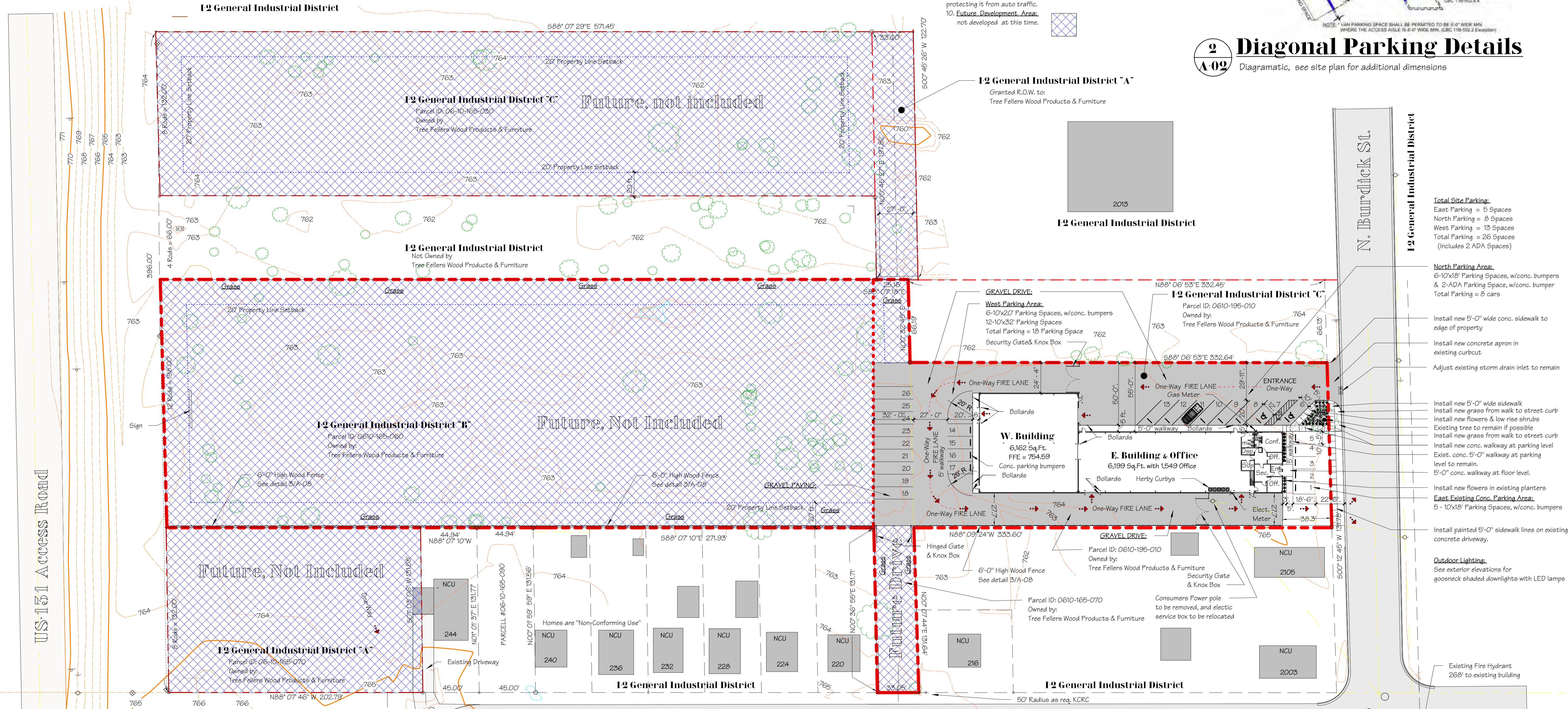
Notes:

1. **KnoxBox 320:** Fire Department "Knox Box 320" shall be selected and specified by the Fire Marshal. The mounting location and installation shall be specified by the Fire Marshal, and the complete work shall be approved by the Fire Marshal.
2. **Fire Hydrants:** The City of Kalamazoo shall furnish and install an additional hydrant meeting current Fire Marshal requirements.
3. **Concrete Parking Bumpers:** Concrete parking bumpers shall be installed for each parking space to stop cars from hitting the building and protecting the walkways as noted on the Site Plan.
4. **Building Street Name & Numbers:** The building street name and number shall be 12" high, in contrasting black color, refer to East Elevation drawing.
5. **One-Way Signs & Fire Lane Signs:** The "One-Way" signs & "Fire Lane" signs shall be located and installed as recommended by the Fire Marshal.
6. **Existing Water Service:** The existing water service to the building shall remain.
7. **Existing Sanitary Sewer Service:** The existing sanitary sewer service to the building shall remain.
8. **Existing Electrical Service:** The existing electrical service to the building shall remain. It has a new 6'-0" high wood fence and a bollard protecting it from auto traffic.
9. **Existing Natural Gas Service:** The existing natural gas service to the building shall remain. It has two bollards protecting it from auto traffic.
10. **Future Development Area:** not developed at this time.



2 Diagonal Parking Details

Diagrammatic, see site plan for additional dimensions



5 Additional Notes

1. Security Gates: Burdick driveway gates at site entrance & exit.
2. Highway Sign: Sign along US-131 entrance ramp, N.W. corner of site.
3. Burdick Street Sign: Install new sign on N.E. Burdick entrance drive.
4. Building Sign: Company sign installed on east gable to replace original 8'x4' sign.
5. Dumpsters: The dumpsters shall be located within the existing building, no fences required.
6. Bollards: The bollards shall be located at all overhead door jambs, and at all 3'-0" wide exterior entrance doors.
7. Diagonal Parking Details: Refer to the Site Plan "Diagonal Parking Details 2/A-02 for elevations & additional information.
8. KnoxBox 3200: The KnoxBox shall be installed where noted on the plans and shall be approved by the local Fire Marshal.
9. Driveway Paving: The existing concrete driveway paving shall remain with additional gravel driveway paving.
10. Driveway Signs: One-Way directional signs shall be installed as approved by the Township.
11. Driveway Drainage Design: Storm water drainage engineering shall be submitted after use is approved by Township.

1 Proposed Site Plan

SCALE: 1" = 40'-0"

Architect's Seal

NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 9/21/2023
 Revised:
 Drawn by: R.A.S.
 Project: 0984.101

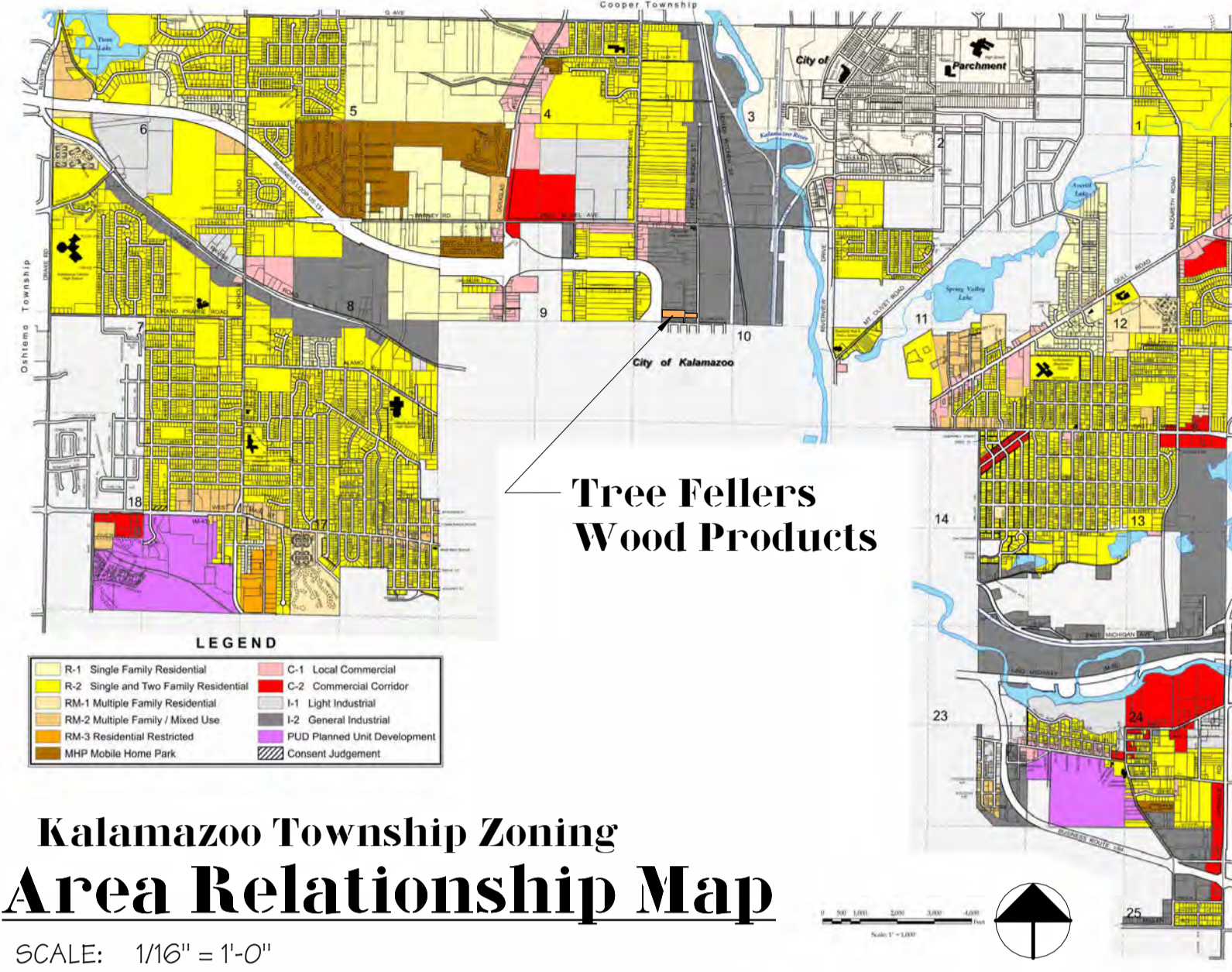
Sheet Number

A-02

Site Plan

Tree Fellers Wood Products & Furniture

Architectural Workshop, Inc.
 Richard Schramm, Architect
 Phone: 269.975.2472
 Kalamazoo, MI 49009
 www.ArchWorkshop.com



Site Data:

Business Name: Tree Fellers Wood Products & Furniture
 2017 N. Burdick Street, Kalamazoo, MI 49007
 (269) 341-3077

Applicant: Jack Livingstone

Property Owner: Jack Livingstone

Architect: Richard Schramm, AIA, Architectural Workshop, Inc.
 7540 Stadium Drive, Kalamazoo, MI 49009
 269/375-2472 richard@archwork.us

Legal Description: PARCEL #: 06-10-195-010: (2017 N. Burdick St. Building)
 SEC 10-2-11 BEG ON W LI SE1/4 NW1/4 SEC 10 AT A PT 8' R N OF SW COR SE1/4 NW1/4 5D SEC

PARCEL #: 06-10-165-060 (Vacant Land)
 SEC 10-2-11 N 12' R OF S 20' R OF W1/2 NW1/4 LYING E OF US 131 BR ALSO S 8' R OF E 2' R OF W1/2 NW1/4

Lot Areas: 1.00 acres PARCEL 06-10-195-010 (217 N. Burdick St. Building)
 2.08 acres PARCEL 06-10-165-060 (Vacant Land)
 3.08 acres Total Site, both lots

Parcel ID No.: PIN = 06-10-195-010 (217 N. Burdick St. Building)
 PIN = 06-10-165-060 (Vacant Land)

Site Zoning: I-2 General Industrial Zoning District

Existing Use: Former Metalwork Factory

Zoning Use: Wood Products Yard & Woodworking Shop

Building Code Use Group: Moderate-hazard factory group F-1 (MBC-309.1)
 Furniture, Millwork, and Woodworking

On Site Parking: 19 Cars total, 10'-0" x 20'-0" spaces, including 2 A.D.A. spaces

Building Code Conformance

A-01. BUILDING CODE CONFORMANCE:
 The building shall be in conformance with the Michigan Building Code 2015 and the Michigan Plumbing Code 2015 as noted below.

A-02. USE & OCCUPATION CLASSIFICATION:
 Moderate-hazard factory group F-1 (MBC-309.1)

A-03. CONSTRUCTION TYPE: "Type III":
 The exterior walls of the building are of noncombustible steel construction. The interior building elements are of materials permitted by code. (MBC-602.3)

A-03. EXISTING BUILDING AREA:
 W. Building Area = 6,162 sq.ft.
 E. Building Area = 6,199 sq.ft.
 Office Area = 1,549 sq.ft.
 Total = 13,910 sq.ft.

A-04. TOTAL OCCUPANTS:
 Actual Staff Count = 19 people, 17 Men, 2 women

A-05. SEPARATE TOILETS FOR MEN & WOMEN:
 Not required, single occupancy permitted, less than 50 people (MPC-403.2)
 Actual Occupants: 8 staff and 2 customers = 10 total Occupants.

A-06. TOILETS REQUIRED:
 1 men, & 1 women required (MPC-403.1)

A-07. LAVATORIES REQUIRED:
 1 men & 1 women required (MPC-403.1)

A-08. DRINKING FOUNTAINS:
 1 required. (MPC-403.1)

A-09. SERVICE SINKS REQUIRED:
 1 required. (MPC-403.1)

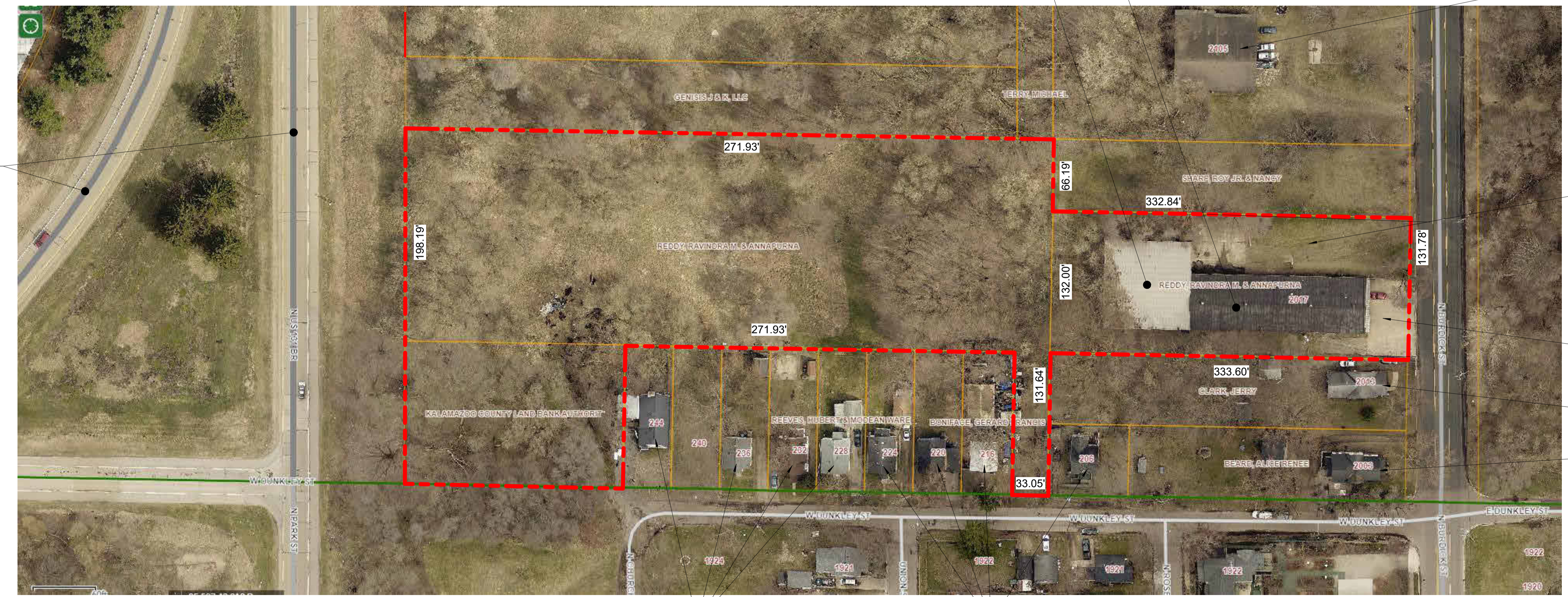
A-10. ACCESS DRIVES, ONE-WAY:
 12'-0" gravel drives, 12" deep, MDOT 22A as per KCRG.
 12'-0" width as per KTZO.

A-11. FIRE MARCHAL REVIEW:
 Conformance with Fire Department review, revised one-way plans.

W. Existing Building

East Existing Building

U.S. 151 Access Roads



INDUSTRIAL USE:
 CK & AP Investments, LLC, 2105 Burdick St.

North Parking Area:
 (see Site Plan A-02)

East Existing Parking Area:
 (see Site Plan A-02)

NON-CONFORMING INDUSTRIAL USE:
 Residence, 2013 Burdick St.

NON-CONFORMING INDUSTRIAL USE:
 Residence, 2003 Burdick St.

NON-CONFORMING INDUSTRIAL USES:
 Residences: 244, 236, 232, 228, 224, 220, 216, and 206 W. Dunkley Street

1 Aerial Site Plan
A-02a SCALE: 1" = 40'-0"

Architect's Seal
 NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 9/21/2023
 Revised:
 Drawn by: R.A.S.
 Project: 0984.101

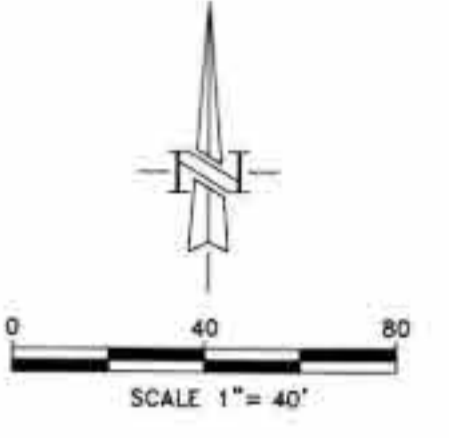
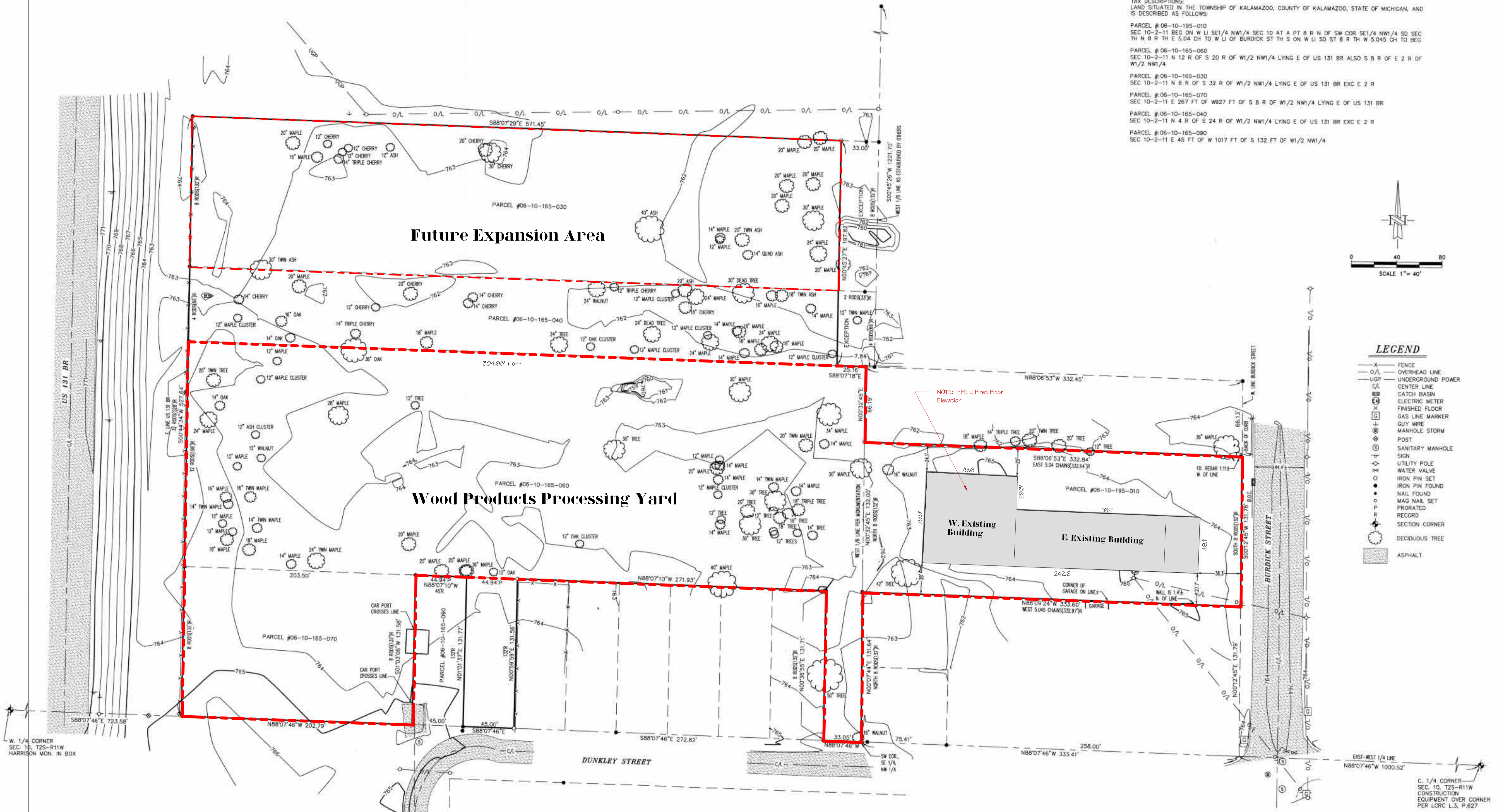
Sheet Number
A-02a

Architectural Workshop, Inc.
 Richard Schramm, Architect
 Phone: 269.375.2472
 7540 Stadium Drive
 Kalamazoo, MI 49009
 www.ArchWork.us
 FAX: 269.372.7272

Aerial Site Plan
 © Copyright Richard Schramm 220101 / Do not copy or duplicate without written permission. The Architect's embossed seal is required on this document.
Tree Fellers Wood Products & Furniture
 2017 N. Burdick Street, Kalamazoo, MI 49007

TOPOGRAPHICAL BOUNDARY SURVEY:~

TAX DESCRIPTIONS:
 LAND SITUATED IN THE TOWNSHIP OF KALAMAZOO, COUNTY OF KALAMAZOO, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:
 PARCEL # 06-10-195-010
 SEC 10-2-11 BEG ON W LI SE 1/4 NW 1/4 SEC 10 AT A PT B R N OF SW COR SE 1/4 NW 1/4 SD SEC TH N B R TH E 5.04 CH TO W LI OF BURDICK ST TH S ON W LI SD ST B R TH W 5.045 CH TO BEG
 PARCEL # 06-10-165-060
 SEC 10-2-11 N 12 R OF S 20 R OF W 1/2 NW 1/4 LYING E OF US 131 BR ALSO S B R OF E 2 R OF W 1/2 NW 1/4
 PARCEL # 06-10-165-030
 SEC 10-2-11 N 8 R OF S 32 R OF W 1/2 NW 1/4 LYING E OF US 131 BR EXC E 2 R
 PARCEL # 06-10-165-070
 SEC 10-2-11 E 267 FT OF W927 FT OF S B R OF W 1/2 NW 1/4 LYING E OF US 131 BR
 PARCEL # 06-10-165-040
 SEC 10-2-11 N 4 R OF S 24 R OF W 1/2 NW 1/4 LYING E OF US 131 BR EXC E 2 R
 PARCEL # 06-10-165-090
 SEC 10-2-11 E 45 FT OF W 1017 FT OF S 132 FT OF W 1/2 NW 1/4



LEGEND

- X- FENCE
- O/L- OVERHEAD LINE
- U/GP- UNDERGROUND POWER
- C/L- CENTER LINE
- ⊕ CATCH BASIN
- ⊕ ELECTRIC METER
- ⊕ FINISHED FLOOR
- ⊕ GAS LINE MARKER
- ⊕ GUY WIRE
- ⊕ MANHOLE STORM
- ⊕ POST
- ⊕ SANITARY MANHOLE
- ⊕ SIGN
- ⊕ UTILITY POLE
- ⊕ WATER VALVE
- ⊕ IRON PIN SET
- ⊕ IRON PIN FOUND
- ⊕ NAIL FOUND
- ⊕ MAG NAIL SET
- ⊕ PRORATED
- ⊕ RECORD
- ⊕ SECTION CORNER
- ⊕ DECIDUOUS TREE
- ⊕ ASPHALT

GENERAL NOTES:

- 1) BEARING BASIS IS USING MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, PER MDOT CORS NETWORK. ELEVATION DATUM IS USING NAVD 88 PER MDOT CORS NETWORK
- 2) ALL BEARINGS AND DISTANCES ARE FIELD MEASURED UNLESS OTHERWISE NOTED.
- 3) THE PARCEL NUMBERS ARE 06-10-195-010, 06-10-165-060, 06-10-165-030, 06-10-165-070, 06-10-165-040 & 06-10-165-090.
- 4) THE PROPERTY ADDRESS IS 2017 N. BURDICK ST., KALAMAZOO MI 49007
- 5) THERE WAS SNOW COVER AT THE TIME OF SURVEY. ALL GROUND FEATURES MAY HAVE NOT BEEN LOCATED.

NOTE: THIS SURVEY MADE FROM DESCRIPTION FURNISHED.
 TO: JACK LIVINGSTONE

I, THOMAS A. STEPHENSON, A PROFESSIONAL SURVEYOR IN THE STATE OF MICHIGAN, HEREBY CERTIFY THAT THIS SURVEY WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION.

THOMAS A. STEPHENSON, P.S.#4001046689

STEPHENSON LAND SURVEYING

	27873 WHITE STREET CASSOPOLIS, MICHIGAN 49031 (269) 445-8903	
	SCALE: 1" = 40' DATE: 1/25-27/2022 BY: SM CHECK: IAS SHEET 1 OF 1	PROJECT: TOPO. SURVEY FOR JACK LIVINGSTONE IN PART OF SEC. 10, KALAMAZOO TWP., KALAMAZOO CO., MI NO: 22022

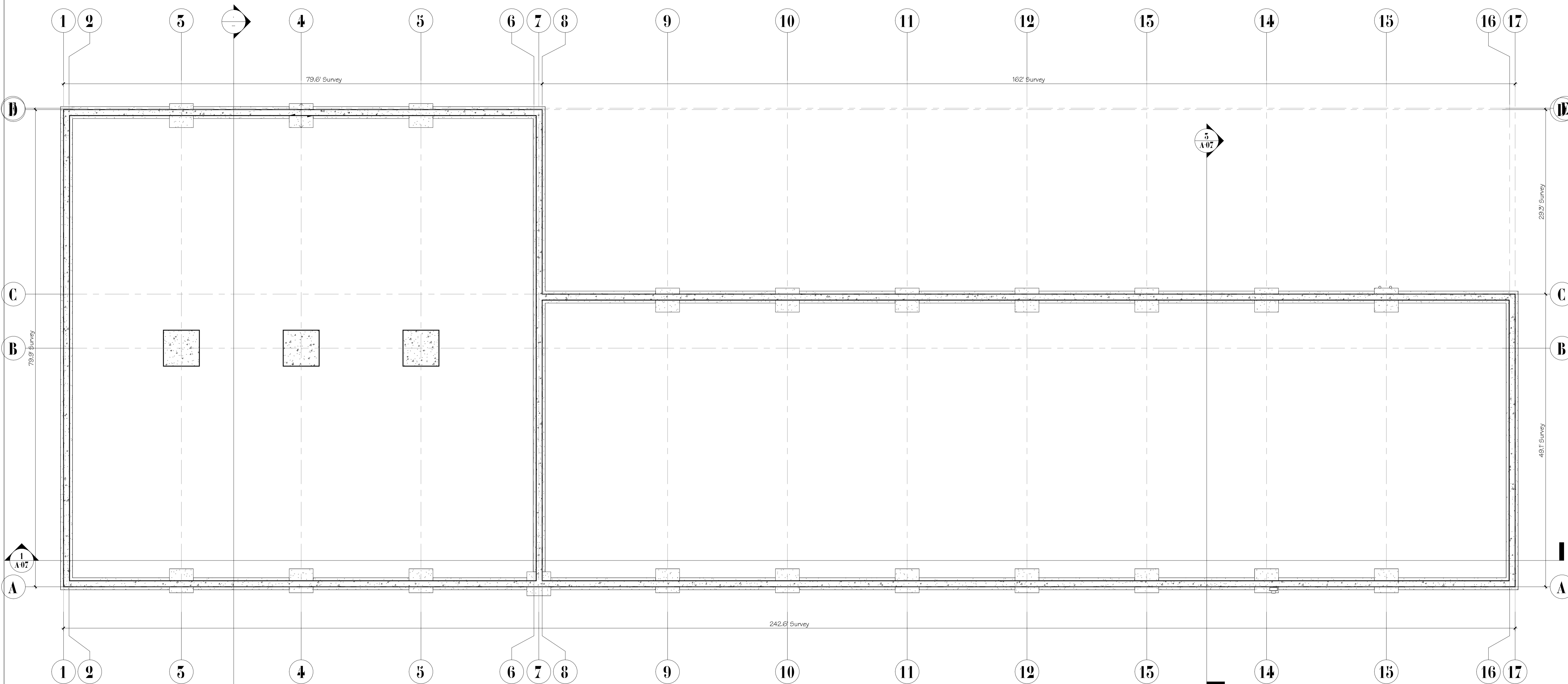
1 Topographical Boundry Survey
 SCALE: 1" = 40'-0"

Architectural Workshop, Inc.
 Richard Schramm, Architect
 Phone: 269.375.2472
 www.ArchWorkshop.com
 7540 Stadium Drive
 Kalamazoo, MI 49009

Topographical Boundary Survey
 © Copyright Richard Schramm 2018 / Do not copy or duplicate without written permission. The Architect's embossed seal is required on this document.
Tree Fellers Wood Products & Furniture
 2017 N. Burdick Street, Kalamazoo, MI 49007

Date: 9/21/2023
 Revised:
 Drawn by: Author
 Project: 0984.101

Sheet Number
A-021



1
A-05

Foundation Plan

SCALE: 1/8" = 1'-0"

0' 4' 8' 16'

Architectural Workshop, Inc.
 Richard Schramm, Architect
 7540 Stadium Drive
 Kalamazoo, MI 49009
 Phone: 269.375.2472
 FAX: 269.372.7272
 www.ArchWorks.us

Foundation Plan

@ Copyright Richard Schramm 220101 / Do not copy or duplicate without written permission. The Architect's embossed seal is required on this document.

Tree Fellers Wood Products & Furniture

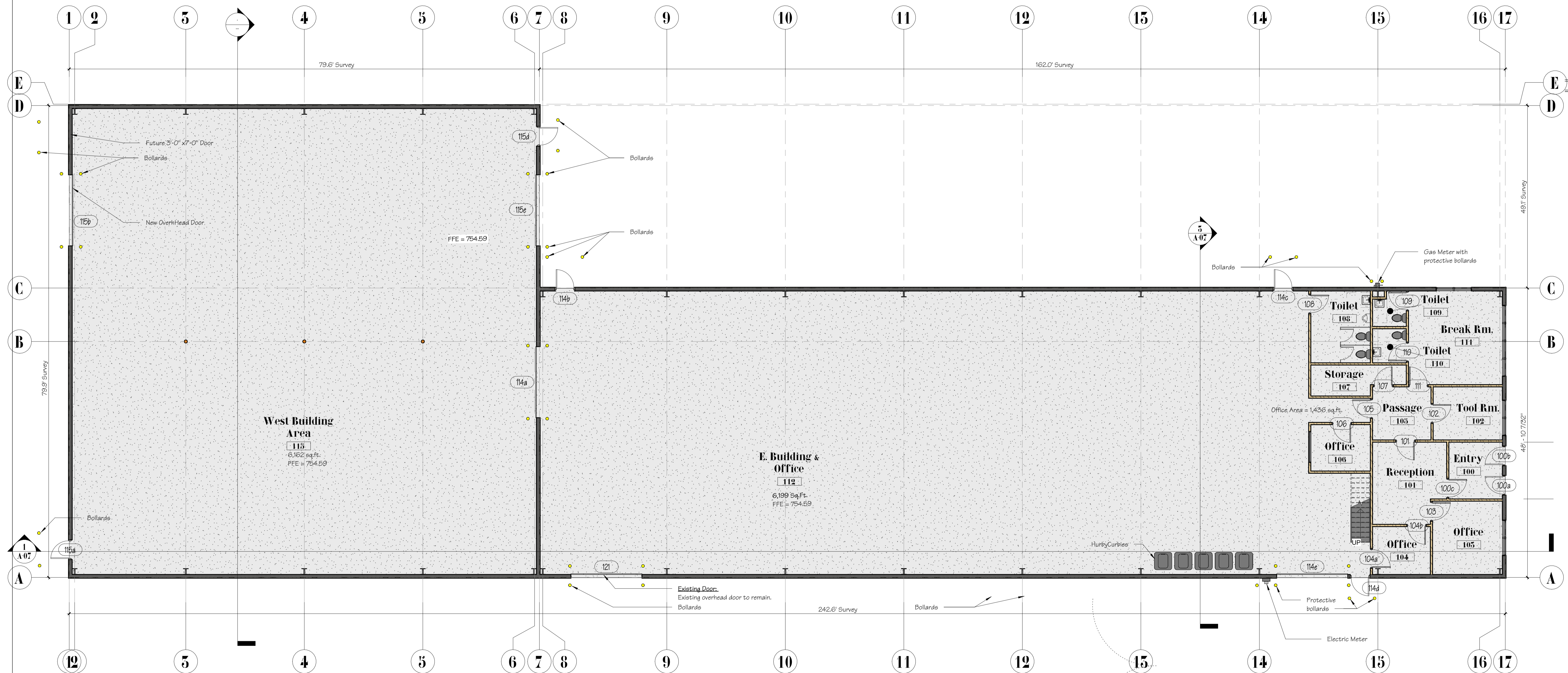
2017 N. Burdick Street, Kalamazoo, MI 49007

Architect's Seal

NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 9/21/2023
 Revised:
 Drawn by: R.A.S.
 Project: 0984.101

Sheet Number
A-05



1
A-04 **Site & First Floor Plan**
SCALE: 1/8" = 1'-0"

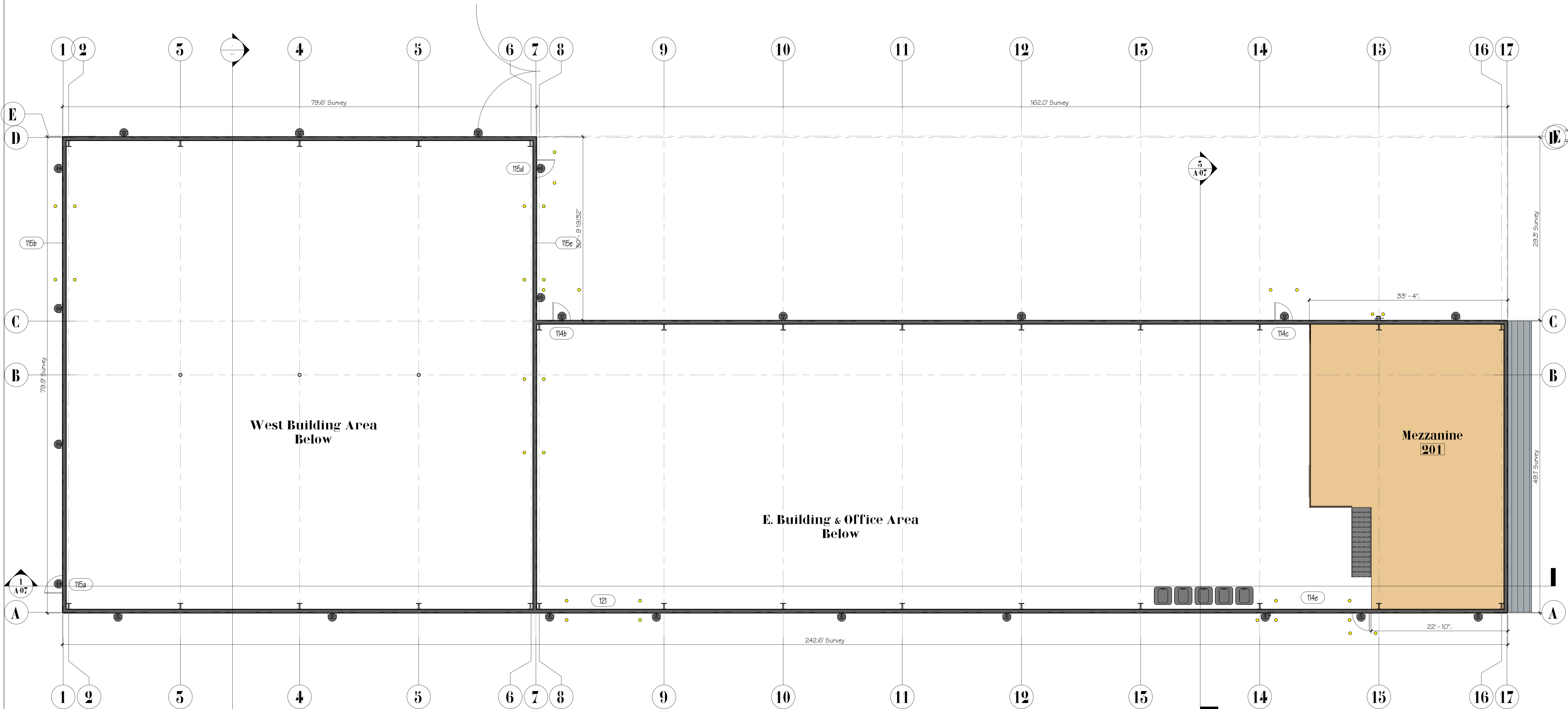
Architectural Workshop, Inc.
Richard Schramm, Architect
7540 Stadium Drive
Kalamazoo, MI 49009
Phone: 269.375.2472
FAX: 269.372.7272
www.ArchWorkshop.us

First Floor Plan
Tree Fellers Wood Products & Furniture
© Copyright Richard Schramm 220101 / Do not copy or duplicate without written permission. The Architect's embossed seal is required on this document.
2017 N. Burdick Street, Kalamazoo, MI 49007

Architect's Seal
NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 9/21/2023
Revised:
Drawn by: R.A.S.
Project: 0984.101

Sheet Number
A-04



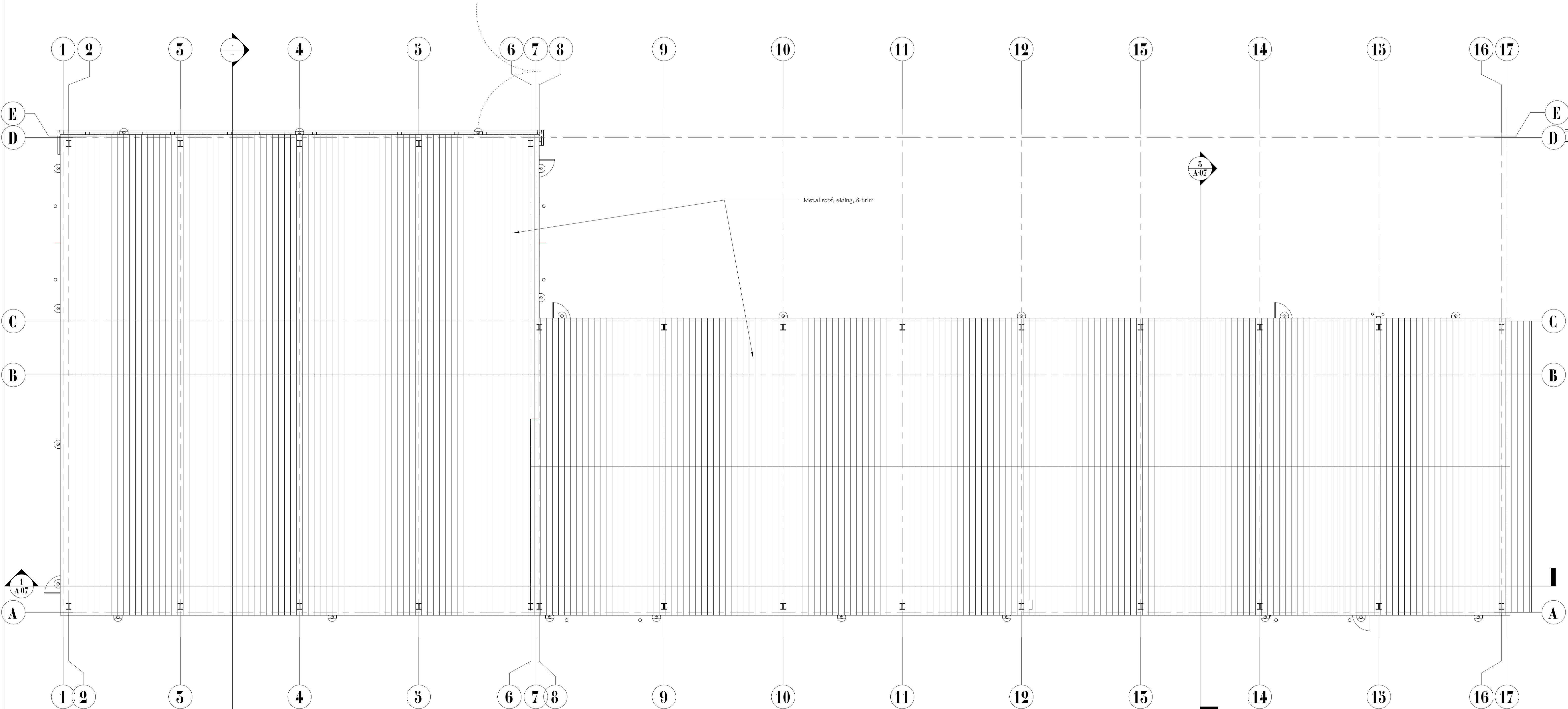
1 Mezzanine Level
 SCALE: 1/8" = 1'-0"
 0' 4' 8' 16'

Architectural Workshop, Inc.
 Richard Schramm, Architect
 7540 Stadium Drive
 Kalamazoo, MI 49009
 Phone: 269.375.2472
 FAX: 269.372.7272
 www.ArchWorks.us

Mezzanine Floor Plan
 © Copyright Richard Schramm 220101 / Do not copy or duplicate without written permission. The Architect's embossed seal is required on this document.
Tree Fellers Wood Products & Furniture
 2017 N. Burdick Street, Kalamazoo, MI 49007

Architect's Seal
 NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 9/21/2023
 Revised:
 Drawn by: R.A.S.
 Project: 0984.101
 Sheet Number
A-05



1
A-06 **Roof Plan**
SCALE: 1/8" = 1'-0"
0' 4' 8' 16'

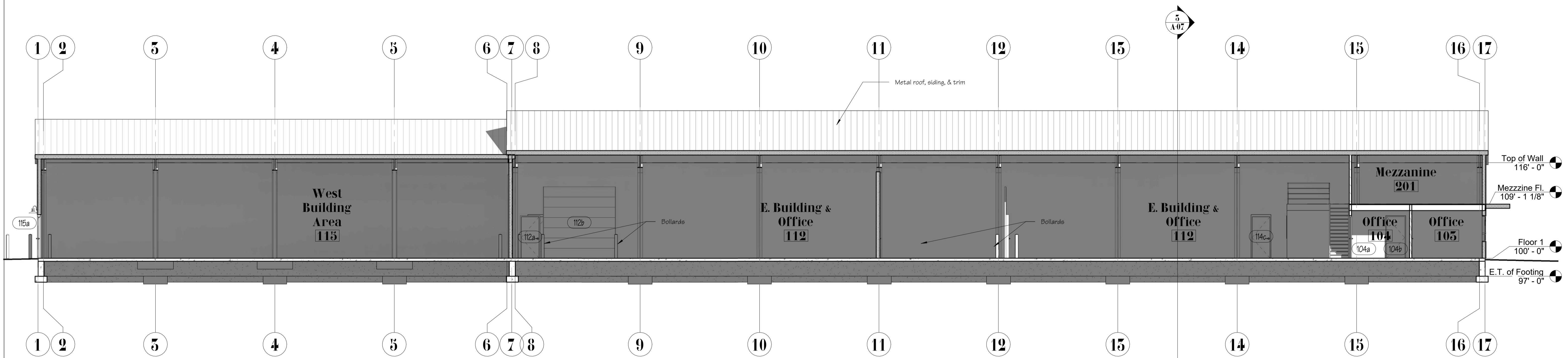
Architectural Workshop, Inc.
Richard Schramm, Architect
7540 Stadium Drive
Kalamazoo, MI 49009
www.ArchWorks.us
Phone: 269.375.2472
FAX: 269.372.7272

Roof Plan
© Copyright Richard Schramm 220101 / Do not copy or duplicate without written permission. The Architect's embossed seal is required on this document.
Tree Fellers Wood Products & Furniture
2017 N. Burdick Street, Kalamazoo, MI 49007

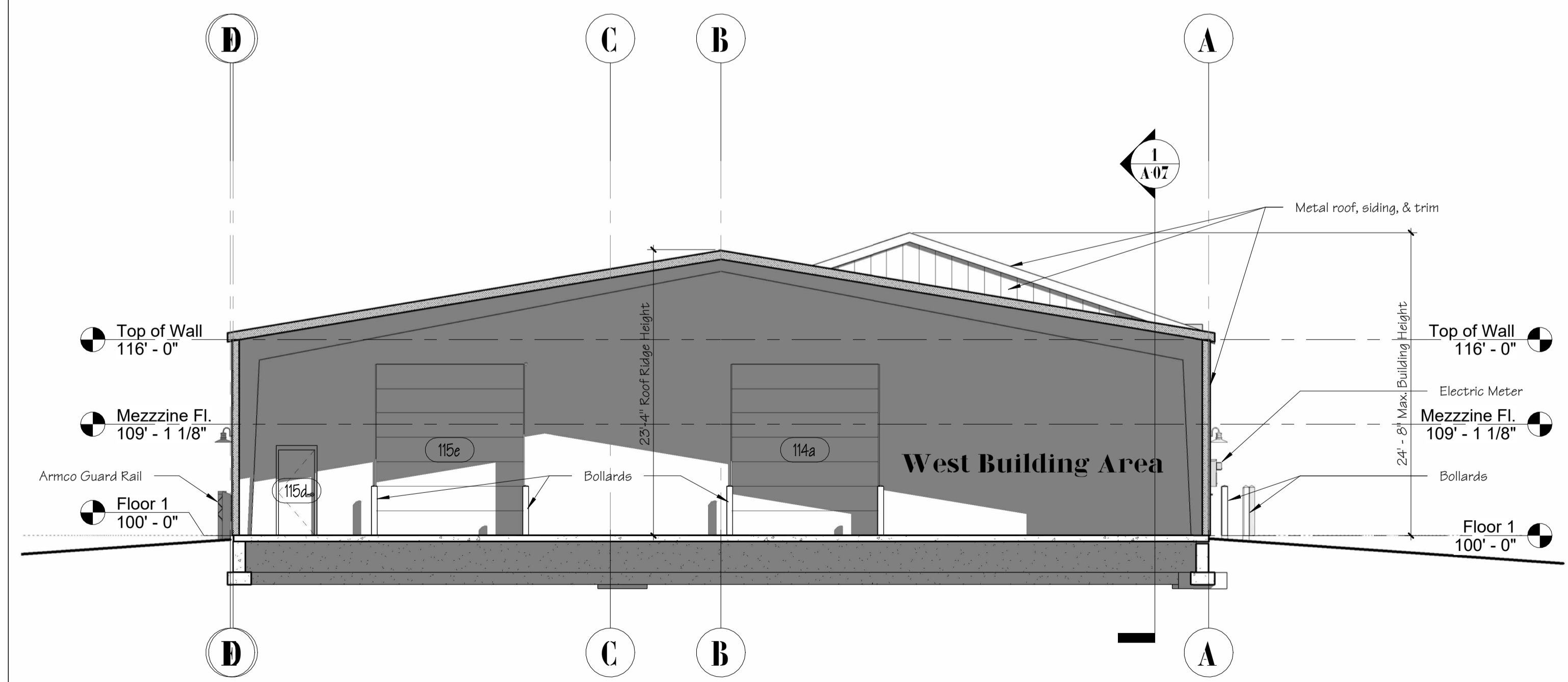
Architect's Seal
NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 9/21/2023
Revised:
Drawn by: R.A.S.
Project: 0984.101

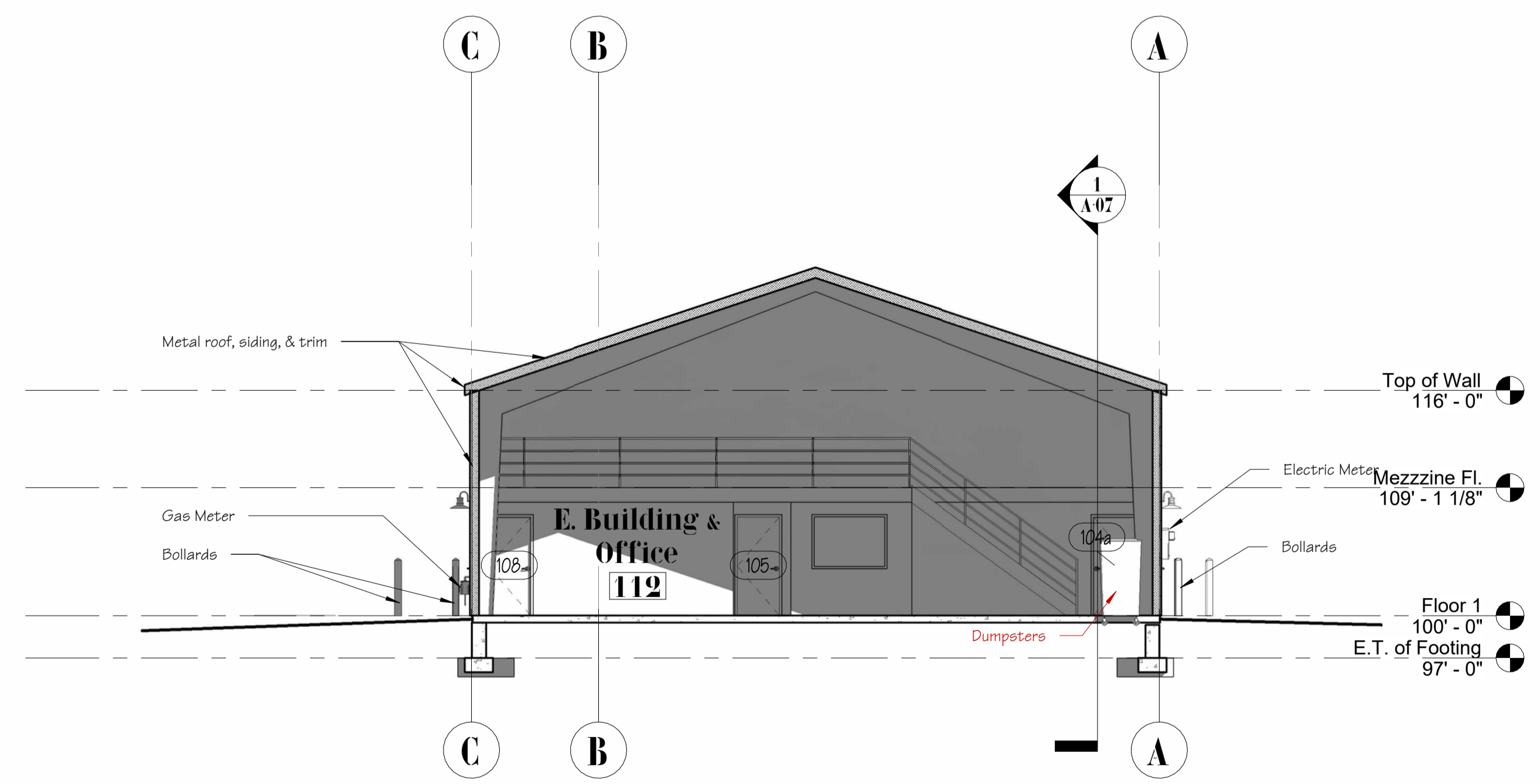
Sheet Number
A-06



1
A-07
Longitudinal Section
SCALE: 1/8" = 1'-0"



2
A-07
Cross Section
SCALE: 1/8" = 1'-0"



5
A-07
North-South Section
SCALE: 1/8" = 1'-0"

Architect's Seal

NOTE: Official drawings prepared by the Architect bear his embossed seal below.

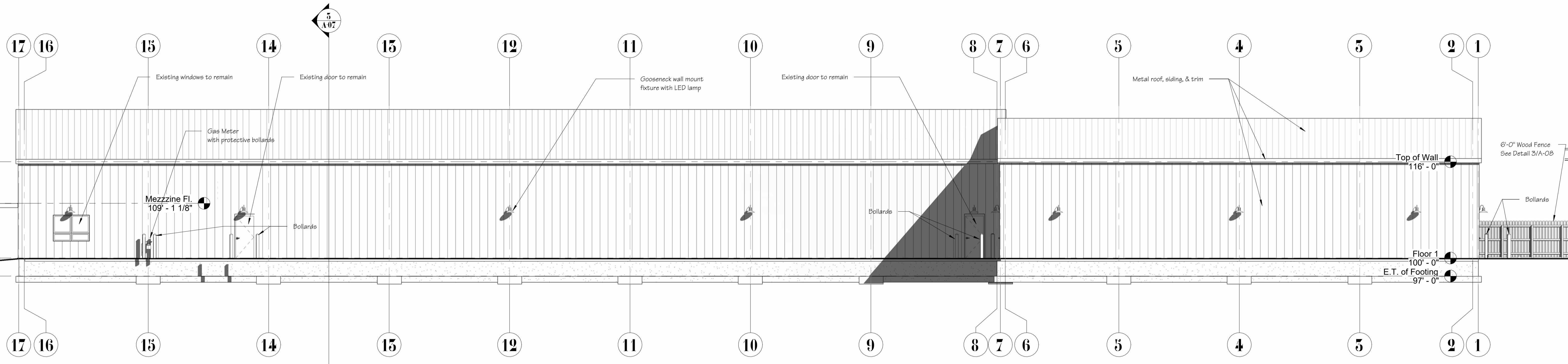
Date: 9/21/2023
 Revised:
 Drawn by: R.A.S.
 Project: 09&4.101

Sheet Number
A-07

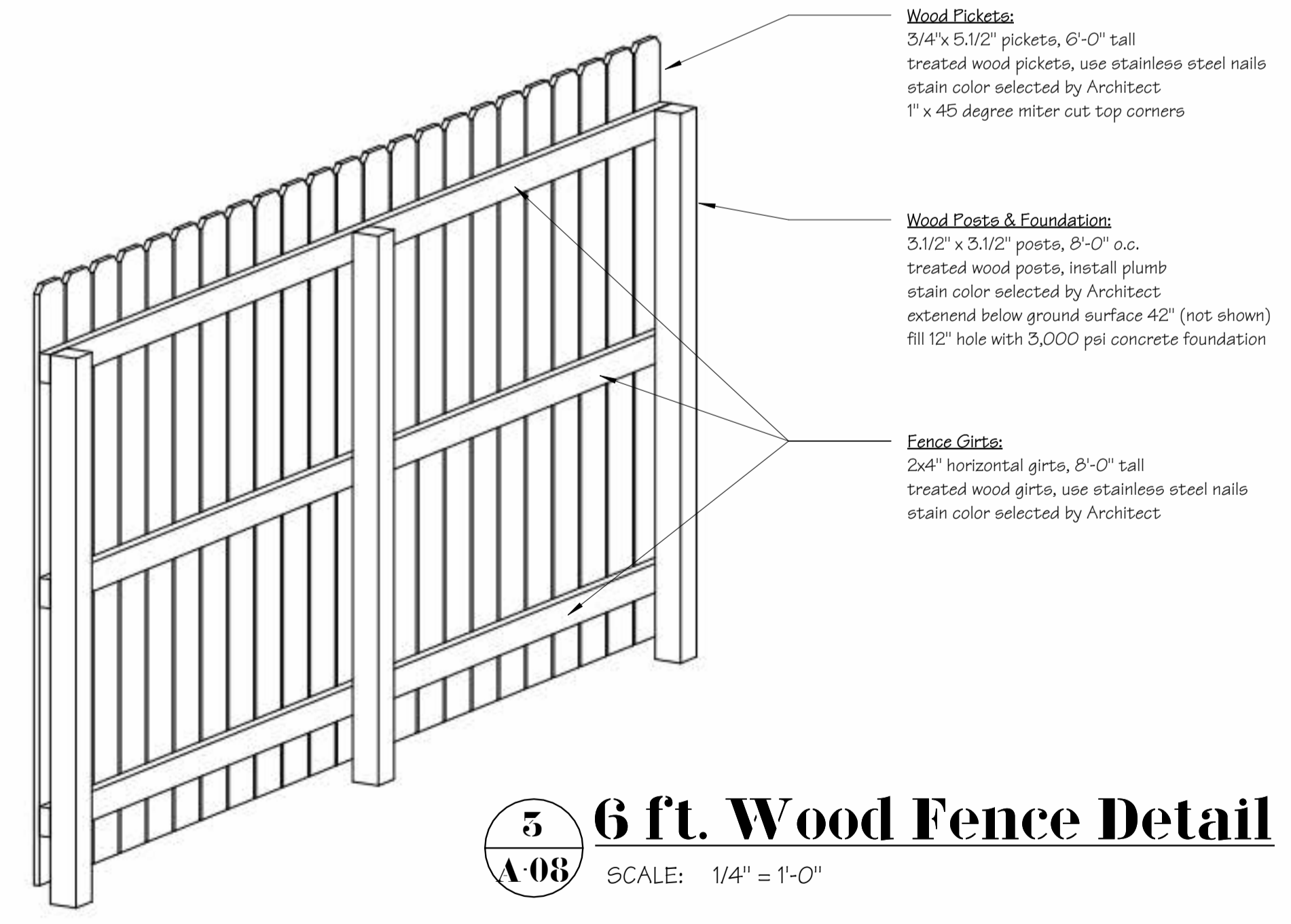
Architectural Workshop, Inc.
 Richard Schramm, Architect
 7540 Stadium Drive
 Kalamazoo, MI 49009
 Phone: 269.375.2472
 FAX: 269.372.7272
 www.ArchWorks.us

Tree Fellers Wood Products & Furniture
 2017 N. Burdick Street, Kalamazoo, MI 49007

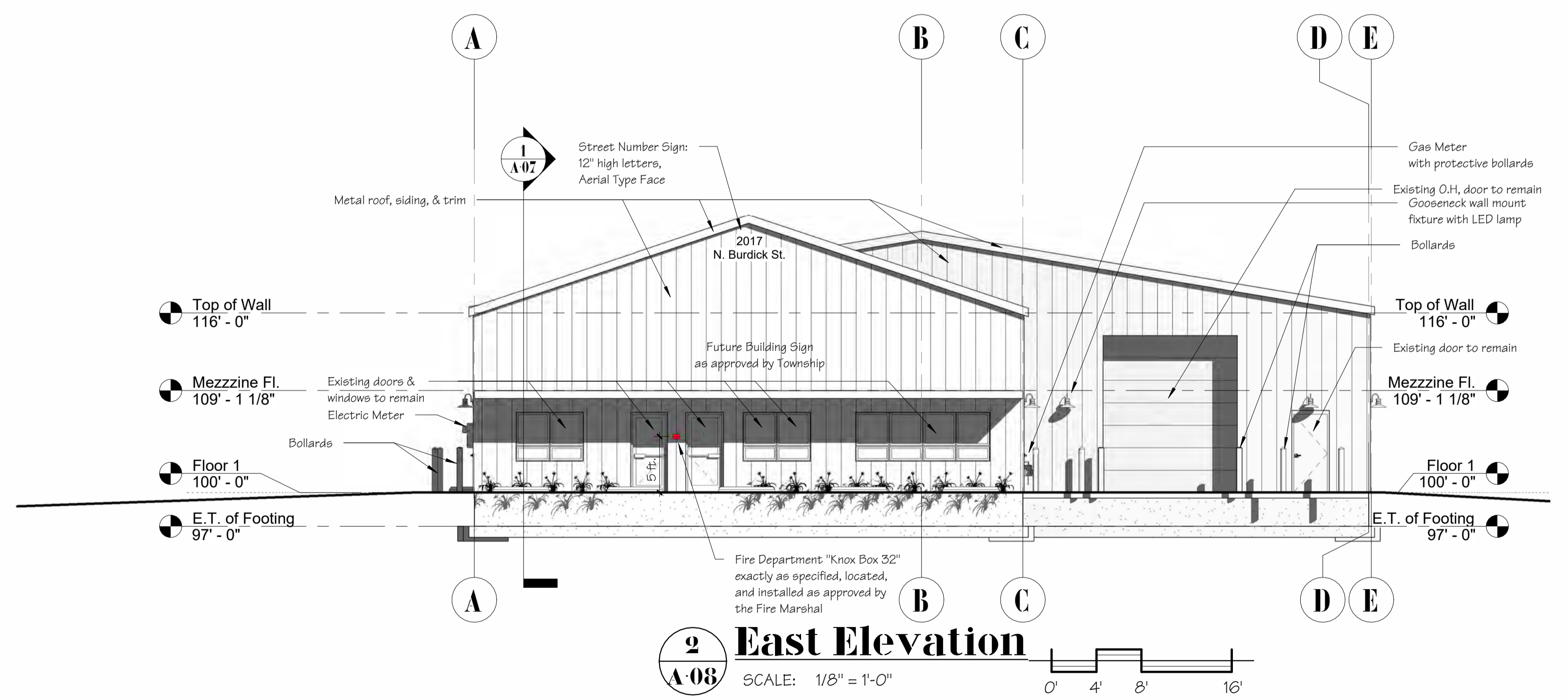
Cross Sections
 © Copyright Richard Schramm 220101 / Do not copy or duplicate without written permission. The Architect's embossed seal is required on this document.



1 North Elevation
 SCALE: 1/8" = 1'-0"
 0' 2' 4' 8'



5 6 ft. Wood Fence Detail
 SCALE: 1/4" = 1'-0"

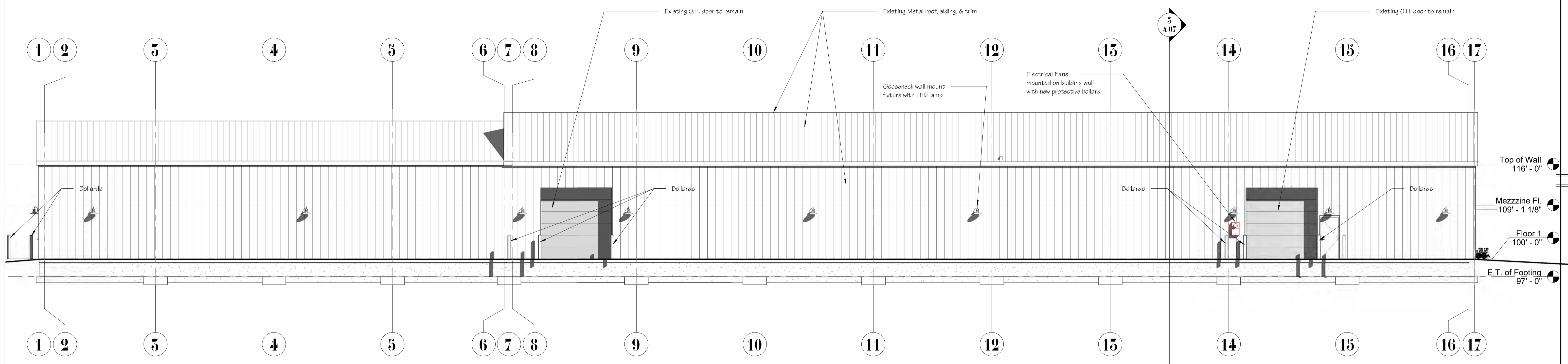


2 East Elevation
 SCALE: 1/8" = 1'-0"
 0' 4' 8' 16'

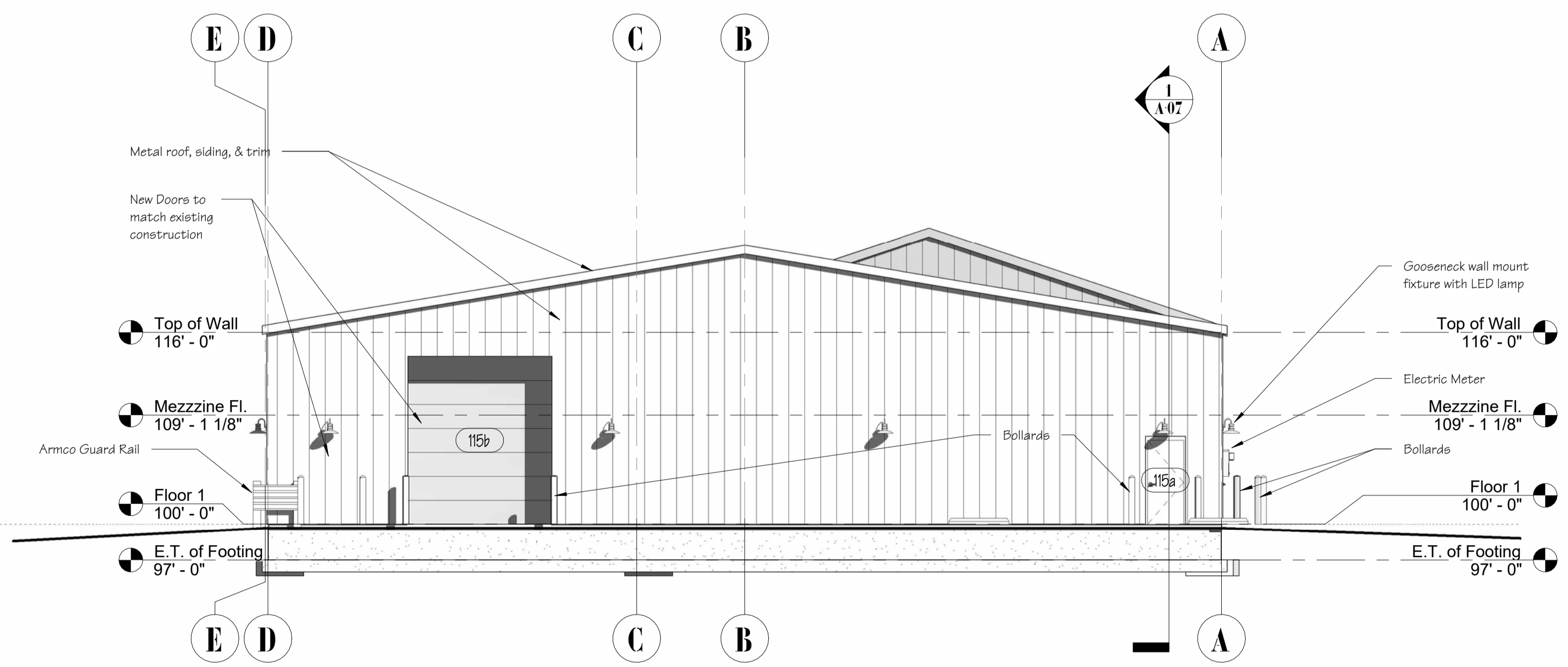
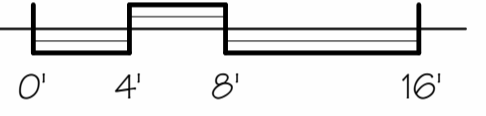
Architect's Seal
 NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 9/21/2023
 Revised:
 Drawn by: R.A.S.
 Project: 09&4.101

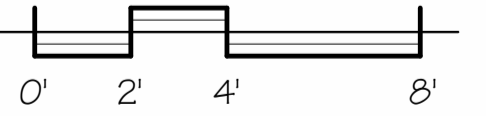
Sheet Number
A-08



1 South Elevation
SCALE: 1/8" = 1'-0"



2 West Elevation
SCALE: 1/8" = 1'-0"



Architectural Workshop, Inc.
Richard Schramm, Architect
7540 Stadium Drive
Kalamazoo, MI 49009
www.ArchWorkshop.us
Phone: 269.375.2472
FAX: 269.372.7272

S. & W. Exterior Elevations
© Copyright Richard Schramm 220101 / Do not copy or duplicate without written permission. The Architect's embossed seal is required on this document.
Tree Fellers Wood Products & Furniture
2017 N. Burdick Street, Kalamazoo, MI 49007

Architect's Seal
NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 9/21/2023
Revised:
Drawn by: R.A.S.
Project: 09&4.101
Sheet Number
A-09

Richard Schramm

From: Danielle Bouchard <dbouchard@mcka.com>
Sent: Wednesday, June 21, 2023 9:16 AM
To: David Lewis; Richard Schramm
Cc: Kyle Mucha; Todd Kowalski; Don Martin; Seth Koches
Subject: 2017 N. Burdick
Attachments: 2017N.Burdick_SPR#1_06082021.pdf; 2017 N. Burdick SPR#2 7-7-2022.pdf; 2017 N. Burdick SPR#3 7-25-2022.pdf; 2017 Burdick_SPR #4_1-6-23.pdf; 2017 N. Burdick SPR#5 3-22-23.pdf

Richard & David,

Any updates on this site plan? It appears Mr. Livingstone is STILL operating the business without approvals. As we have stated countless times this is NOT permitted.

It has been a month since we last spoke. I would like to get this project back on track.

Danielle Bouchard, AICP

Principal Planner

MCKENNA
O 248.596.0920 | C 248.342.7572 | F 248.596.0930
124 East Fulton Street, Suite 6B | Grand Rapids, MI 49503
dbouchard@mcka.com | mcka.com

FACEBOOK | LINKEDIN

From: Danielle Bouchard
Sent: Wednesday, May 31, 2023 12:36 PM
To: David Lewis <DLewis@lewisreedallen.com>; Richard Schramm <rshard@archworks.us>
Cc: Todd Kowalski <tkowalski@ktwp.org>; Seth Koches <skoches@michigantownship.com>; Kyle Mucha <kmucha@mcka.com>
Subject: 2017 N. Burdick List

Hi All,

Here is a bulleted list of the primary items that will need to be addressed for the site plan located at 2017 N. Burdick, as per our conversation last week. Please note that this list below provides the highlights of the major issues. The attached site plan reviews discuss other requirements in further detail (e.g., landscaping):

- Section 2.20, Streets, Roads, and Other Means of Access
N/A Driveways shall be set back a minimum of four (4) feet from any side or rear property line unless otherwise specified. 27' x 4' = 33'. Existing set-back space not available on this site. See A-02.
N/A Main access driveways and internal circulation routes for three or fewer buildable industrial parcels: 27-foot minimum width, curb and gutter required, and shall be paved. One Parcel, no internal circulation.
Yes Driveways to commercial and industrial areas shall be subject to site plan review. See A-02.
Yes Driveways and roads needed for emergency and fire department access in commercial and industrial districts shall maintain a minimum vertical clearance of 13.5 feet. See A-02.
Section 5.02.C, General Landscaping Requirements:

01/RC-01

- N/A Details of berm height and proposed material. Shall not exceed 3 feet in height. No berms included.
N/A Wherever screening is required adjacent to residentially zoned or used property, the screening must be installed prior to the beginning of site grading and general construction, except where such activity would result in damage to the screening. Adjacent residential properties are in an Industrial Zone, and the residential properties are a Non-Conforming Use.
Section 20.03.A.3, Development Standards for I-2 District:
N/A Outside storage areas shall be located no closer than one hundred fifty (150) feet to any street right-of-way line or a road other than twenty (20) feet to all other property lines. No outdoor storage on Site Plan.
N/A Outside storage areas which have the potential to be visible from a public or private road or which abut a residential or commercial district shall be screened by a wall or fence, constructed in accordance with Article 6.
N/A No materials shall be stored above eight (8) feet in height. No materials stored on Site Plan. See A-02.
Section 4.01.B.3, Parking Lot Layout and Construction:
N/A Ingress and Egress. All spaces shall be provided with adequate access by means of clearly defined maneuvering lanes and driveways. Spaces backing directly onto a street shall be prohibited. Entrances and exits from off-street parking lots shall be located at least twenty-five (25) feet from the nearest point of any adjacent property zoned for single-family residential use. Adj. residential Non-Conforming Use.
N/A All off-street parking areas, access lanes, driveways and other vehicle maneuvering areas shall be hard-surfaced with concrete or plant-mixed bituminous material. Porous paving materials may be permitted at the discretion of the Planning Commission, provided that installation and maintenance plans are in accordance with the manufacturer's guidelines. A written maintenance plan must be submitted for the Planning Commission's review. Paving on Site Plan is gravel surface. See A-02.
Section 4.02, Loading Space Requirements (any proposed loading/unloading areas shall be defined and compliant with ordinance standards) No loading/unloading areas shown on Site Plan. See A-02.
We will also need to know the plan and location(s) for the work vehicles will be parked on site. As of now, the trucks are parked between the building and south lot line, as well as on the north side of the building. We will provide photo images of what I am referring to this afternoon. Work vehicles park in 10' x 32' spaces on Site Plan. See A-02.

I have also attached a copy of all site plan review letters that go into these items in greater detail.

Fire Marshal Kowabki notes the following:
I have researched the fire suppression question that was posed during the zoom conference call today reference the indoor parking of vehicles and equipment in the building located at 2017 North Burdick Street.

During this investigation I found that this building would be considered an S-1 classification as defined below:

- Definition:
Group S-1 fire area used for the storage of commercial motor vehicles where the fire area exceeds 5,000 square feet (464 m2). Commercial motor vehicles shall park in 10' x 32' spaces on Site Plan. See A-02.
No commercial motor vehicles shall park within the existing building.
That being said, the requirement would be the following:
N/A Group S-1. An automatic sprinkler system shall be provided throughout all Group S-1 occupancies in accordance with NFPA 13. The existing office area shall be utilized in the existing building.

I hope this helps to provide clarity on the site's issues.

Danielle Bouchard, AICP

Principal Planner

MCKENNA
O 248.596.0920 | C 248.342.7572 | F 248.596.0930
124 East Fulton Street, Suite 6B | Grand Rapids, MI 49503

02/RC-01

MCKENNA

Memorandum

TO: Kalamazoo Charter Township Planning Commission
FROM: Paul Lippens, AICP, Vice President; Kyle Mucha, AICP, Senior Planner
SUBJECT: Site Plan Review - Jack Livingstone, Tree Fellers Wood Products & Furniture
DATE: July 6, 2022

The Applicant, Jack Livingstone, is seeking site plan approval to operate several permitted uses, per the I-2, General Industrial District, on the subject site, located at 2017 North Burdick. These uses include:

- N/A Wood products manufacturing, including furniture manufacturing. Not included in this request, only office.
N/A The manufacturing, compounding, assembling, packaging, or treatment of articles or merchandise from previously prepared materials. Not included in this request, only office.
In general, the applicant's business utilizes wood (chopped off-site) to create furniture and other decorative pieces. The wood is planned to be separated into several piles and stored on-site outdoors. The applicant plans to arrive on the site to access the wood piles. The wood does not consist of treated lumber. The applicant has also indicated the need for an on-site office to handle sales and services incidental to the manufacturing of the wood products and furniture. Not included in this request, only office.

OVERVIEW

N/A The applicant, based on the narrative provided to Township staff, indicates that the warehouse would be used for the creation of wood products and furniture (countertops, tables, lamps, slab mantles, sculptures). The applicant proposes outdoor storage of raw wood materials, such as a material storage yard, prior to the manufacturing of finished products inside the facility. This type of storage would require a Special Land Use and is subject to additional approval. Not included in this request, only office.

PROPOSED IMPROVEMENTS

N/A The applicant proposes to utilize the 2.84-acre parcel, located to the west of 2017 North Burdick, as a wood products processing yard, which will require review and approval as a Special Land Use. The applicant also proposes to construct an additional 15 parking spaces, which will be located to the north and west of the existing building. Not included in this request, only office.

USE OF THE PROPERTY

N/A The property has an existing warehouse style building on site and an associated concrete parking area along the eastern portion of the building. Wood product manufacturing, including furniture manufacturing is a permitted use within the I-2, General Industrial District. The use of the existing building is deemed appropriate for the I-2 District, however an outdoor contractor's yard and storage facility for building materials, lumber, equipment and supplies will require a Special Land Use review and approval by the Planning Commission. Not included in this request, only office.

MCKENNA
O 248.596.0920 | C 248.342.7572 | F 248.596.0930
124 East Fulton Street, Suite 6B | Grand Rapids, MI 49503

Communities for real life.

05/RC-01

06/RC-01

MCKENNA

June 8, 2021

Three Brothers Construction LLC
2210 Aberdeen Drive
Kalamazoo, MI, 49008

Subject: 2017 N. Burdick - Change of Use

Dear Three Brothers Construction LLC,

We received a site plan review application for your property located at 2017 N. Burdick in Kalamazoo Charter Township on May 6, 2021. However, due to the lack of administrative completeness demonstrated by the plans submitted, we are requesting that you resubmit engineered site plans pursuant to Section 26.02 of the Kalamazoo Charter Township Zoning Ordinance.

SITE PLAN REQUIREMENTS

As per Section 26.02.E, please amend your site plans for the subject site located at 2017 N. Burdick to include the following (as applicable):

Descriptive and Identification Data

Site plans shall consist of an overall plan for the entire development, drawn to a scale of not less than 1 inch = 20 feet for property less than 1 acre, 1 inch = 30 feet for property larger than 1 acre but less than 3 acres, and 1 inch = 50 feet for property larger than 3 acres, unless another scale is approved by the Township Planner. Sheet sizes shall be at least 24 inches by 36 inches. The following descriptive and identification information shall be included on site plans:
1. Drawing scale 1"=40'-0".
2. Site is 180,198 sq.ft. = 4.1 Acres
2. Drawing is 24" x 36".

- Applicant's name and address, and telephone number. See A-02.
Title block indicating the name of the development. See A-02.
Scale. See A-02.
Northpoint. See A-02.
Dates of submission and revisions (month, day, year). See A-02.
Legal and common description of property, including acreage. See A-02.
Location map drawn to scale with northpoint. See A-02.
The dimensions of all lots and property lines, showing the relationship of the site to abutting properties, if the site is a part of a larger parcel the plan should indicate the boundaries of total land holding. See A-02.
A schedule for completing the project, including the phasing or timing of all proposed developments.
Identification and seal of the architect, engineer, land surveyor, or landscape architect who prepared or supervised and approved the plan. See A-02.
Written description of proposed land use. See A-02.
Zoning classification of applicant's parcel and all abutting parcels. See A-02.
Proximity to driveways serving adjacent parcels. See A-02.
Proximity to section corner and major thoroughfares. See A-02.
Notation of any variances that have or must be secured.
Net acreage (minus rights-of-way) and total acreage, to the nearest 1/10 acre. See A-02.

MCKENNA
O 248.596.0920 | C 248.342.7572 | F 248.596.0930
124 East Fulton Street, Suite 6B | Grand Rapids, MI 49503

Communities for real life.

05/RC-01

EXISTING AND SURROUNDING CONDITIONS AND ZONING DISTRICTS

The surrounding properties to the north, east and west of the site are zoned I-2, General Industrial. The property to the south is zoned I-2, General Industrial, however the use is that of a residence. The property to the west is zoned C-2, Commercial Corridor. The proposed outdoor contractor's yard will abut residential uses located along West Dunkley Street to the south.
The adjacent residential properties are NOT zoned residential, and are a "Non-Conforming Use" in industrial zone. Based on the proximity of the residential uses located to the immediate south of the subject site, and as stipulated in Section 2.03.A.4 (impact on adjacent buildings or uses), McKenna review staff recommend the Planning Commission consider the impact the contractor's yard will have on adjacent property owners.
The adjacent residential properties are NOT zoned residential, and are a "Non-Conforming Use" in industrial zone.

SITE PLAN REVIEW

Schedule of Regulations: Section 25.02

Table with 4 columns: Regulation Type, I-2 General Industrial District Requirements, Tree Fellers Wood Products & Furniture Site Plan Conditions, Compliance with Ordinance Standards. Rows include Maximum Storage, Maximum Building Height, Front Yard Setback, Side Yard Setback, Rear Yard Setback, and Maximum Lot Coverage.

- Yes The applicant is required to demonstrate compliance with Ordinance standards in terms of setbacks. However, we note that the proposed operations will be located in an existing building which may have been constructed prior to the Ordinance update in 2016. The applicant is advised that any new structures to be located on the site will need to meet current ordinance standards.
Yes Off-Street Parking
Section 4.01.D.6 of the Township Zoning Ordinance requires 1 parking space per every 750 square feet of gross floor area dedicated to "Manufacturing". The gross floor area of the existing structure is approximately 14,347 sq. ft. as supplied by the applicant. Therefore, 20 parking spaces are required by the ordinance.
N/A The site plan, revised date of 7/1/2022, shows a total of 20 parking spaces (10' x 20'). Of these 20 spaces, five (5) are currently in existence along the eastern portion of the building, with direct access to N. Burdick Street.
N/A See A-02, one-way drive with entrance and exit traffic pattern to only Burdick St.

See A-02, one-way drive with entrance and exit traffic pattern to only Burdick St.

Kalamazoo Charter Township - Tree Fellers Site Plan
July 18, 2022

07/RC-01

Site Data

- Existing lot lines, building lines, structures, parking areas, and other improvements on the site and within 100 feet of the site. See A-02.
Front, side, and rear setback dimensions. See A-02.
Topography on the site and within 100 feet of the site at two foot contour intervals, referenced to a U.S.G.S. benchmark. See A-02.
Existing and proposed site features, including buildings, roadway widths and names, and parking areas.
Existing structures within fifty (50) feet of the subject property. See A-02.
Dimensions and centerlines of existing and proposed roads and road rights-of-way, and acreage of proposed roads and road rights-of-way. See A-02.
Acceleration, deceleration, and passing lanes, where required. See A-02.
Proposed vehicular circulation system, including location of driveway entrances, roads, and on-site driveways. See A-02.
Typical cross-section of proposed roads and driveways. Engineering design after approval.
Location of existing drainage courses, floodplains, lakes and streams, with elevations, and acreage of bodies of water. See A-02.
Boundaries of all wetland areas, with sufficient dimensions between various points on the wetland boundary and buildings, property lines, or other features to allow accurate portrayal of the wetlands. The acreage shall be provided separately for all wetlands, and wetlands regulated by the State shall be identified. Wetlands staking and identification shall be done by a qualified wetlands expert. If deemed necessary because of site or soil conditions or because of the scope of this project, a detailed hydrology study may be required. See A-02.
Location of existing and proposed interior sidewalks and sidewalks in the road right-of-way. See A-02.
Exterior lighting locations and method of shielding lights from shining off the site. See lighting on A-08 & A-09.
Trash and recycling receptacle locations and method of screening. See A-02.
Transformer pad location and method of screening, if applicable. See A-02.
Parking spaces, typical dimensions of spaces, indication of total number of spaces, drives, and method of surfacing. See A-02.
Information needed to calculate required parking in accordance with Zoning Ordinance standards. See A-02.
The location of lawns and landscaped areas, including required landscaped greenbelts. See A-02.
Landscape plan, including location, size, type and quantity of proposed shrubs, trees and other live plant material. See A-02. Landscape design after approval.
Location, sizes, and types of existing trees five (5) inches or greater in diameter, measured at one (1) foot off the ground, before and after proposed development.
Cross-section of proposed berms. No berms required on Site Plan.
Location and description of all easements for public rights-of-way, utilities, access, shared access, and drainage. Engineering design after approval.
Designation of fire lanes. See A-02.
Loading/unloading area. See A-02.
The location of any outdoor storage of materials and the manner by which it will be screened. No outdoor storage.
Indicate locations of steep slopes. No steep slopes on this site.

Building and Structure Details

- Location, height, and outside dimensions of all proposed buildings or structures. See A-02.

Kalamazoo Charter Township - 2017 N. Burdick

04/RC-01

In addition to parking requirements, Section 2.20.D.4 - Industrial Uses - regulates the type of material needed for pavement. The applicant has indicated their desire to use gravel instead of a paved material for site circulation and the parking area. The proposal does not meet the requirements of Section 2.20.D.4, however the Planning Commission does have the ability to waive paving requirements for parking areas and other vehicle maneuvering areas (Section 2.20.D.2.). We defer to any additional comments regarding the proposed use of gravel versus paved material to the Township Fire Marshal and Engineer.

Parking Lot Landscaping
The applicant has not submitted a parking lot landscaping plan for review by Township Staff.

The applicant is advised of the following requirements as it pertains to parking lot landscaping as provided in the following table. The site plan will need to be amended to include these details:

Table with 4 columns: Regulation Type: Parking Lot Landscaping, Requirements, Tree Fellers Wood Products & Furniture Site Plan Conditions, Compliance with Ordinance Standards. Rows include General Landscaping Ratio, Minimum Planting Area Width, Deciduous or Evergreen Trees.

Landscaping Adjacent to Roads

The applicant has not provided a landscaping plan for review by Township Staff. Please note that landscaping plans shall include details on tree removal (if applicable). The applicant is advised of the following requirements as it pertains to landscaping adjacent to roads:

Table with 4 columns: Regulation Type: Landscaping Adjacent to Roads, Requirements, Tree Fellers Wood Products & Furniture Site Plan Conditions, Compliance with Ordinance Standards. Rows include Minimum Planting Area Width, Deciduous or Evergreen Trees, Ornamental Trees, Shrubs.

*Frontage calculations were based on N. Burdick Street and W. Dunkley Street (as shown on the site plan).

Greenbelt
The applicant has not provided a landscaping plan for review by Township Staff. However, it has been noted that the applicant wishes to realize an existing site that does not currently have a greenbelt along North Burdick. Due to the current location of the building being an estimated 40 feet from the edge of the road, it may not be advantageous for the applicant to install a greenbelt at this location. We defer to the Planning Commission on

Kalamazoo Charter Township - Tree Fellers Site Plan
July 18, 2022

08/RC-01

Architectural Workshop, Inc.
Richard Schramm, Architect
Phone: 269.975.2472
Fax: 269.972.7272
www.ArchWork.us
7540 Stadium Drive
Kalamazoo, MI 49008

Review Comments, RC-01
© Copyright Richard Schramm 2018 / Do not copy or duplicate without written permission. The Architect's embossed seal is required on this document.
Tree Fellers Wood Products & Furniture
2017 N. Burdick Street, Kalamazoo, MI 49007

Date: 9/21/2023
Revised:
Drawn by: K.T.
Project: 0984.101

Sheet Number

RC-01

Yes whether the greenbelt requirement should be waived in accordance with Section 5.07 – Modifications to Landscape Requirements.

Lighting
The applicant has not provided a lighting plan for review by Township Staff. We advise the applicant to note that Section 2.12.C – Lighting General Requirements – states the following:
Sufficient lighting shall be required for parking areas, walkways, driveways, building entrances, loading areas, and public common areas to ensure the security of property and safety of persons.

Until such a time as the applicant provides this information, we are unable to offer a positive finding that the site meets the requirements of Section 2.12. See wall mounted site lighting on elevations A-08 & A-09.

Signage
The applicant has not provided any details pertaining to site signage.
Trash Disposal
See wall mounted sign on East Elevations A-08.

Section 2.22 outlines the requirements for trash removal and collection. The site plan indicates a dumpster enclosure will be located along the southern portion of the existing building, near N. Burdick Street. No dumpster enclosure details have been provided at this time for review by Township staff.

Herby Curby dumpsters located with in existing building, see A-02.

BUILDING AND SITE DESIGN

The applicant has submitted building elevations. These elevations include the installation of new overhead doors, which are proposed to be installed along the west elevation of the existing structure. Furthermore, Section 20.03.A.3 – Development Standards – pertaining to the I-2, General Industrial District, stipulates the following:

- a. Outside storage areas shall be located no closer than one hundred fifty (150) feet to any street right-of-way line or no closer than twenty (20) feet to all other property lines. The proposed storage area, located on the western portion of the site, meets this requirement. No "outdoor storage" on this Site Plan.
- b. Outside storage areas shall be located no closer than one hundred (100) feet to any residential district. The subject site is bordered by residential uses to the south, however these uses are not zoned residential. This requirement is met. No "outdoor storage" on this Site Plan.
- c. Outside storage areas which have the potential to be visible from a public or private road or which abut a residential or commercial district shall be screened by a wall or fence, constructed in accordance with Article 6. The applicant has indicated a hinged gate will be installed near the southern egress point, however no gate details have been provided. The applicant will need to provide further details of the proposed gate to ensure compliance with this requirement. Furthermore, no wall or fence is indicated to be constructed along the northern portion of the building. The applicant will need to provide additional details which address the screening requirements along this portion of the property. No "outdoor storage" on this Site Plan.
- d. No materials shall be stored above eight (8) feet in height. The applicant has not provided details pertaining to the proposed height of the firewood on pallets, trees on pallets or the indicated logs. This information will be required on the resubmission. No "outdoor storage" on this Site Plan.

Kalamazoo Charter Township - Tree Fellers Site Plan
July 25, 2022

09/RC-02

- e. Proper access to all parts of the storage areas shall be provided for fire and emergency vehicles. We defer any additional comments regarding this requirement to the Township Fire Marshal. No "outdoor storage" on this Site Plan.

ADDITIONAL REVIEWS

Additional Township Staff review comments are provided below.

Township Fire Marshal

The following comments are provided by the Township Fire Marshal:

Township Engineer

E.D.A.A. We will submit the proposed site plans to the Township Engineer for review once plans have been received and updated, which are required to depict the elements as outlined in this review. Specifically, the Township Engineer reviews for compliance with site circulation and traffic details, stormwater discharge and flow, and other elements. The revised set of plans shall include stormwater details and calculations. Engineering design after approval.

Other Comments

N/A The applicant indicates "Future Expansion Area" onto a parcel that is not contiguous with 2017 N. Burdick Street. The applicant has not indicated what the intent of this future expansion area is, nor how the site will be accessed due to a lack of road frontage. Future use of this secondary parcel will require an additional site plan review. No "Future Expansion Area" included in this Site Plan.

RECOMMENDATIONS

The submitted site plan has addressed some outstanding issues previously communicated to the applicant. However, there are items that remain to be addressed before a positive recommendation of approval can be made to the Planning Commission by staff. The site plan is missing the following information:

- 1. A landscaping plan that addresses ordinance requirements, as listed in earlier sections. Landscape design after approval. See A-02.
- 2. A lighting plan that is in compliance with Section 2.12 of the Township Zoning Ordinance. See wall lighting shown A-08 & A-09.
- 3. Dumpster enclosure details. Herby Curby dumpsters located with in existing building, see A-02.

Please feel free to reach out to Kyle Mucha, AICP at kmucha@mcka.com or Paul Lippens, AICP at plippens@mcka.com if you have any questions regarding this review.

Respectfully Submitted,

McKenna

K Mucha
Kyle Mucha, AICP
Senior Planner

P Lippens
Paul Lippens, AICP
Vice President

Kalamazoo Charter Township - Tree Fellers Site Plan
July 25, 2022

10/RC-02

MCKENNA

Memorandum

TO: Kalamazoo Charter Township Planning Commission
FROM: Kyle Mucha, AICP, Senior Planner
SUBJECT: Site Plan Review – Jack Livingstone, Tree Fellers Wood Products & Furniture
DATE: 2017 North Burdick
July 25, 2022

The Applicant, Jack Livingstone, is seeking site plan approval to operate several permitted uses, per the I-2, General Industrial District, on the subject site, located at 2017 North Burdick. These uses include:

- N/A Wood products manufacturing, including furniture manufacturing. Not included in this request, only office.
- N/A The manufacturing, compounding, assembling, packaging, or treatment of articles or merchandise from previously prepared materials. Not included in this request, only office.

N/A In general, the applicant's business utilizes wood (chopped off-site) to create furniture and other decorative pieces. The wood is planned to be separated into several piles and stored on-site outdoors. The applicant plans to drive on the site to access the wood piles, which are indicated to be located on the western portion of the subject parcel. The wood does not consist of treated lumber. The applicant has also indicated the need for a on-site office to handle sales and services incidental to the manufacturing of the wood products and furniture. Not included in this request, only office.

OVERVIEW

N/A The applicant, based on the narrative provided to Township staff, indicates that the warehouse would be used for the creation of wood products and furniture (countertops, tables, lamps, slab mantles, sculptures). The applicant proposes outdoor storage of raw wood materials, such as a material storage yard, prior to the manufacturing of finished products inside the facility. This type of storage would require a Special Land Use and is subject to additional approvals. Not included in this request, only office.

PROPOSED IMPROVEMENTS

N/A The applicant proposes to utilize the 2.84-acre parcel, located to the west of 2017 North Burdick, as a wood products processing yard, which will require review and approval as a Special Land Use. The applicant also proposes to construct an additional 15 parking spaces, which will be located to the north and west of the existing building. Not included in this request, only office.

USE OF THE PROPERTY

N/A The property has an existing warehouse style building on site and an associated concrete parking area along the eastern portion of the building. Wood product manufacturing, including furniture manufacturing is a permitted use within the I-2, General Industrial District. The use of the existing building is deemed appropriate for the I-2 District, however an outdoor contractor's yard and storage facility for building materials, lumber, equipment and supplies will require a Special Land Use review and approval by the Planning Commission. Not included in this request, only office.

4851 WOOD ST. 22200
123 South (Main Street) WALKER, MI 49806
Kalamazoo, Michigan 49001

COMMUNITIES FOR REAL LIFE

EXISTING AND SURROUNDING CONDITIONS AND ZONING DISTRICTS

N/A The surrounding properties to the north, east and west of the site are zoned I-2, General Industrial. The property to the south is zoned I-2, General Industrial, however the use is that of a residence. The proposed outdoor contractor's yard will abut residential uses located along West Dunkley Street to the south. The adjacent residential properties are NOT zoned residential, and are a "Non-Conforming Use" in Industrial zone. Based on the proximity of the residential uses located to the immediate south of the subject site, and as stipulated in Section 2.03.A.4 (impact on adjacent buildings or uses), McKenna review staff recommend the Planning Commission consider the impact the contractor's yard will have on adjacent property owners. The adjacent residential properties are NOT zoned residential, and are a "Non-Conforming Use" in Industrial zone.

SITE PLAN REVIEW

Schedule of Regulations: Section 25.02

Regulation Type	I-2 General Industrial District Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
Maximum Stories	2	1	Yes
Maximum Building Height	45 ft.	No proposed changes	NA
Front Yard Setback	50 ft.	30'	Existing structure
Side Yard Setback	30 ft. (each)	24' & 27'	Existing structure
Rear Yard Setback	50 ft.	Not indicated	Yes
Maximum Lot Coverage	75%	13%	Yes

Yes The applicant is required to demonstrate compliance with Ordinance standards in terms of setbacks. However, we note that the proposed operations will be located in an existing building which may have been constructed prior to the Ordinance update in 2016. The applicant is advised that any new structures to be located on the site will need to meet current ordinance standards.

Yes **Off-Street Parking**
Section 4.01.D.6 of the Township Zoning Ordinance requires 1 parking space per every 750 square feet of gross floor area dedicated to "Manufacturing". The gross floor area of the existing structure is approximately 14,347 sq. ft., as supplied by the applicant. Therefore, 20 parking spaces are required by the ordinance.

N/A The site plan, revised date of 7/22/2022, shows a total of 20 parking spaces, some of which measure 10' x 20' while others measure 9' x 20'. Of these 20 spaces, five (5) are currently in existence along the eastern portion of the building, with direct access to N. Burdick Street.

N/A The applicant proposes to access the additional 15 spaces by an ingress only along N. Burdick Street. Once vehicles are on site, travel will function in a "one-way" pattern, with the egress to the side being located along W. Dunkley. We advise the applicant to contact the City of Kalamazoo, Right-of-Way Coordinator, regarding the proposed egress onto W. Dunkley. The applicant will need to provide confirmation of approval from the City of Kalamazoo to Township staff.

See A-02, one-way drive with entrance and exit traffic pattern to only Burdick St.

Kalamazoo Charter Township - Tree Fellers Site Plan
July 25, 2022

12/RC-02

In addition to parking requirements, Section 2.20.D.4 – Industrial Uses – regulates the type of material needed for pavement. The applicant has indicated their desire to use gravel instead of a paved material for site circulation and the parking area. The proposal does not meet the requirements of Section 2.20.D.4, however the Planning Commission does have the ability to waive paving requirements for parking areas and other vehicle maneuvering areas (Section 2.20.D.2.). We defer to any additional comments regarding the proposed use of gravel versus paved material to the Township Fire Marshal and Engineer. See A-02, gravel paving on Site Plan. Engineering design after approval.

Parking Lot Landscaping L.D.A.A. Landscape design after approval.
The applicant is advised of the following requirements as it pertains to parking lot landscaping as provided in the following table: Note: Existing building 27 wide one-way driveway surrounding building limits landscaping possible.

Regulation Type: Parking Lot Landscaping	Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
General Landscaping Ratio	30 sq. ft. per parking space (20 spaces x 30 sq. ft. = 600 sq. ft.)	Unspecified	*Partially
Minimum Planting Area Width	9 feet	Not dimensioned	*Partially
Deciduous or Evergreen Trees	One (1) shade tree per five (5) spaces	Multiple Existing	See A-02.

*The applicant indicates to retain existing trees located on the subject property, as indicated in a green color and those that will be removed are in a blue color. We are encouraged by the applicant's design creativity and find that the retention of existing mature growth trees aligns with the Township's goal for natural features and elements. Therefore, it is recommended that the Planning Commission accept the applicant's landscaping plan as submitted.

Landscaping Adjacent to Roads L.D.A.A. Landscape design after approval.

The applicant is advised of the following requirements as it pertains to landscaping adjacent to roads.

Regulation Type: Landscaping Adjacent to Roads	Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
Minimum Planting Area Width	15 feet	Not dimensioned	*Partially
Deciduous or Evergreen Trees	One (1) tree per 40 linear feet; 195' / 40' = 4 trees	1 (existing)	*Partially
Ornamental Trees	One (1) tree per 100 linear feet; 195' / 100' = 2 trees	None (proposed)	NO
Shrubs	Eight (8) shrubs per 40 linear feet; 32 shrubs	13	*Partially

Note: frontage calculations were based on N. Burdick Street and W. Dunkley Street (as shown on the site plan)

Kalamazoo Charter Township - Tree Fellers Site Plan
July 25, 2022

15/RC-02

Yes *The applicant proposes to reutilize an existing industrial site. The submitted site plan shows enhancements to the existing landscaping along N. Burdick Street and proposed landscaping along W. Dunkley. Due to site constraints, the ability to successfully install the required landscaping trees and shrubs would ultimately be detrimental to the overall health of the vegetation due to the close proximity of said vegetation. Plantings that are clustered together in order to meet ordinance requirements would compete for resources. We find that the applicant is making a good faith basis to bring the site into conformance with the Township Zoning Ordinance. Therefore, we encourage the Planning Commission to accept the proposed landscape layout as submitted by the applicant. For further reference, the existing property does not have the required landscaping existing on site.

Yes **Greenbelt** L.D.A.A. Landscape design after approval.
It has been noted that the applicant wishes to reutilize an existing site that does not currently have a greenbelt along North Burdick. Due to the current location of the building being an estimated 40 feet from the edge of the road, it may not be advantageous for the applicant to install a greenbelt at this location. We defer to the Planning Commission on whether the greenbelt requirement should be waived in accordance with Section 5.07 – Modifications to Landscape Requirements.

N/A **Lighting** See wall mounted site lighting on elevations A-08 & A-09.
The applicant has not provided a lighting plan for review by Township Staff. We advise the applicant to note that Section 2.12.C – Lighting General Requirements – states the following:
Sufficient lighting shall be required for parking areas, walkways, driveways, building entrances, loading areas, and public common areas to ensure the security of property and safety of persons.

Until such a time as the applicant provides this information, we are unable to offer a positive finding that the site meets the requirements of Section 2.12. However, should future lighting be proposed by the applicant, Township staff can review the lighting plan to ensure conformance with the Zoning Ordinance.

N/A **Signage** Signs shall be submitted at later date. See wall mounted site lighting on elevations A-08 & A-09.
The applicant has not provided any details pertaining to site signage. Site signage can be reviewed and addressed administratively, should the applicant seek to pursue signage at a later date.

N/A **Trash Disposal** Herby Curby dumpsters located with in existing building, see A-02.
Section 2.22 outlines the requirements for trash removal and collection. The site plan indicates a dumpster enclosure will be located along the southern portion of the existing building, near N. Burdick Street. The applicant indicates that the dumpster enclosure will be fenced and have gated access. The applicant should further be informed that a screening fence will need to be a minimum of six (6) feet in height and constructed of a masonry wall of wood fencing.

BUILDING AND SITE DESIGN

N/A The applicant has submitted building elevations. These elevations include the installation of new overhead doors, which are proposed to be installed along the west elevation of the existing structure. Furthermore, Section 20.03.A.3 – Development Standards – pertaining to the I-2, General Industrial District, stipulates the following:

- a. Outside storage areas shall be located no closer than one hundred fifty (150) feet to any street right-of-way line or no closer than twenty (20) feet to all other property lines. The proposed storage area, located on the western portion of the site, meets this requirement. No "outdoor storage" on this Site Plan.
- b. Outside storage areas shall be located no closer than one hundred (100) feet to any residential district. The subject site is bordered by residential uses to the south, however these uses are not within a zoned residential district. This requirement is met. No "outdoor storage" on this Site Plan.

Kalamazoo Charter Township - Tree Fellers Site Plan
July 25, 2022

14/RC-02

N/A c. Outside storage areas which have the potential to be visible from a public or private road or which abut a residential or commercial district shall be screened by a wall or fence, constructed in accordance with Article 6. The applicant has indicated a hinged gate will be installed near the southern egress point, however no gate details have been provided. The applicant will need to provide further details of the proposed gate to ensure compliance with this requirement. No "outdoor storage" on this Site Plan.

N/A d. No materials shall be stored above eight (8) feet in height. The applicant has not provided details pertaining to the proposed height of the firewood on pallets, trees on pallets nor the indicated logs. This information will be required. No "outdoor storage" on this Site Plan.

N/A e. Proper access to all parts of the storage areas shall be provided for fire and emergency vehicles. We defer any additional comments regarding this requirement to the Township Fire Marshal. No "outdoor storage" on this Site Plan.

ADDITIONAL REVIEWS

Additional Township Staff review comments are provided below.

Township Fire Marshal

Comments provided by the Fire Marshal are provided via a separate document.

Township Engineer

Comments provided by the Township Engineer are provided via a separate document.

Other Comments

N/A The applicant indicates "Future Expansion Area" onto a parcel that is not contiguous with 2017 N. Burdick Street. The applicant has not indicated what the intent of this future expansion area is, nor how the site will be accessed due to a lack of road frontage. Future use of this secondary parcel will require an additional site plan review. No "Future Expansion Area" on this Site Plan.

RECOMMENDATIONS

The site plan, revised 7/22/2022, addresses some concerns raised by Planning & Zoning staff, however outstanding concerns/items still remain to be addressed for Fire Safety and Engineering. Due to these concerns and requirements having not yet been met, Township staff recommends that the Planning Commission TABLE the application review until such time as the aforementioned items have been addressed. Items to still be addressed, but are not limited to:

- N/A 1. A right-of-way (ROW) permit is issued by the City of Kalamazoo for access onto W. Dunkley Street.
- N/A 2. The Planning Commission grant a waiver to permit a gravel surface on site where an asphalt surface is required by the Zoning Ordinance.
- N/A 3. The Planning Commission grants a deviation from the landscaping requirements for reasons previously indicated in the staff memorandum. Further, the submitted landscaping plan be accepted.
- N/A 4. Exterior lighting to be reviewed and approved administratively.
- N/A 5. Any on site signage to be reviewed and approved administratively.
- N/A 6. Dumpster enclosure details are provided for administrative review.
- N/A 7. Any other comments/concerns raised by additional review agencies.
 - 1. No "Access to W. Dunkley St." on this Site Plan.
 - 4. See wall mounted site lighting on elevations A-08 & A-09.
 - 5. Signs shall be submitted at later date.
 - 6. Herby Curby dumpsters located with in existing building, see A-02.

Kalamazoo Charter Township - Tree Fellers Site Plan
July 25, 2022

15/RC-02

Please feel free to reach out to Kyle Mucha, AICP at kmucha@mcka.com if you have any questions regarding this review.

Respectfully Submitted,

McKenna

K Mucha
Kyle Mucha, AICP
Senior Planner

cc. Paul Lippens, AICP, NCI – Vice President

Kalamazoo Charter Township - Tree Fellers Site Plan
July 25, 2022

16/RC-02

Memorandum

TO: Kalamazoo Charter Township Planning Commission
 FROM: Danielle Bouchard, AICP, Senior Planner
 SUBJECT: Site Plan Review #4 - Jack Livingstone, Tree Fellers Wood Products & Furniture
 2017 North Burdick
 DATE: January 6, 2023

The Applicant, Jack Livingstone, is seeking site plan approval to operate several permitted uses, per the I-2, General Industrial District, on the subject site, located at 2017 North Burdick. These uses include:

- Wood products manufacturing, including furniture manufacturing.
- The manufacturing, compounding, assembling, packaging, or treatment of articles or merchandise from previously prepared materials.

In general, the applicant's business utilizes wood (chopped off-site) to create furniture and other decorative pieces. The wood is planned to be separated into several piles and stored on-site outdoors. The applicant plans to drive on the site to access the wood piles, which are indicated to be located on the western portion of the subject parcel. The wood does not consist of treated lumber. The applicant has also indicated the need for an on-site office to handle sales and services incidental to the manufacturing of the wood products and furniture.

Further, the applicant currently runs a tree cutting business on-site where equipment and vehicles are stored.

OVERVIEW

The applicant, based on the narrative provided to Township staff, indicates that the warehouse would be used for the creation of wood products and furniture (countertops, tables, lamps, slab mantles, sculptures). The applicant proposes outdoor storage of raw wood materials, such as a material storage yard, prior to the manufacturing of finished products inside the facility. The applicant received special land use approval to operate a contractor's yard and storage facility for building materials, lumber, equipment, and supplies in association with wood furniture making at the August 4, 2022 Planning Commission meeting.

PROPOSED IMPROVEMENTS

The applicant proposes to utilize the 2.84-acre parcel, located to the west of 2017 North Burdick, as a wood products processing yard, which will require review and approval as a Special Land Use. The applicant also proposes to construct an additional 15 parking spaces, which will be located to the north and west of the existing building.

USE OF THE PROPERTY

The property has an existing warehouse style building on site and an associated concrete parking area along the eastern portion of the building. Wood product manufacturing, including furniture manufacturing is a permitted use within the I-2, General Industrial District. The use of the existing building is deemed appropriate for the I-2 District, however an outdoor contractor's yard and storage facility for building materials, lumber, equipment, and supplies will require a Special Land Use review and approval by the Planning Commission.

Kalamazoo Charter Township
 124 South West Street
 Suite 100
 Kalamazoo, Michigan 49007

Communities for real life.

17/RC-05

EXISTING AND SURROUNDING CONDITIONS AND ZONING DISTRICTS

The surrounding properties to the north, east and west of the site are zoned I-2, General Industrial. The property to the south is zoned I-2, General Industrial, however the use is that of a residence. The proposed outdoor contractor's yard will abut residential uses located along West Dunkley Street to the south.

Based on the proximity of the residential uses located to the immediate south of the subject site, and as stipulated in Section 2.03.A.4 (impact on adjacent buildings or uses), McKenna review staff recommend the Planning Commission consider the impact the contractor's yard will have on adjacent property owners.

SITE PLAN REVIEW

Site Plan Parcels: Only 1 parcel, see A-02. It should be noted that the site plan is comprised of THREE SEPARATE parcels. The parcel line is designated in a light yellow color on site plans. The applicant shall obtain a parcel combination for all parcels in order for conduct business on all sites.



Additionally, the site plans note parcel -030 to the north of the subject site (see image below). We defer to the applicant to clarify if parcel -030 is a part of site operations. If so, more detail on the proposed use is required.



Kalamazoo Charter Township - Tree Fellers Site Plan
 January 6, 2023

18/RC-05

Schedule of Regulations: Section 25.02

Regulation Type	I-2 General Industrial District Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
Maximum Stories	2	1	Yes
Maximum Building Height	45 ft	No proposed changes	NA
Front Yard Setback	50 ft	36'	NA
Side Yard Setback	30 ft (each)	24' & 27'	NA
Rear Yard Setback	50 ft	Not indicated	Yes
Maximum Lot Coverage	75%	13%	Yes

The applicant is required to demonstrate compliance with Ordinance standards in terms of setbacks. However, we note that the proposed operations will be located in an existing building which was constructed prior to the Ordinance update in 2016. The applicant is advised that any new structures to be located on the site will need to meet current ordinance standards.

Yes Off-Street Parking See A-2.

Section 4.01.D.6 of the Township Zoning Ordinance requires 1 parking space per every 750 square feet of gross floor area dedicated to "Manufacturing". The gross floor area of the existing structure is approximately 14,347 sq. ft., as supplied by the applicant. Therefore, 20 parking spaces are required by the ordinance.

The site plan, revised date of 11/30/2022, shows a total of 19 parking spaces on the north side of the site, some of which measure 10' x 20' while others measure 9' x 20'. Behind the existing building, on the west side of the lot, includes an additional 6 parking spaces. Of the proposed spaces, five (5) are currently in existence along the eastern portion of the building, with direct access to N. Burdick Street.

Site Circulation See A-2. Once vehicles are on site, travel will function in a "one-way" pattern, with the egress to the site being located along W. Dunkley. We defer to the Fire Marshal to determine the adequacy of the proposed "one-way fire lane" around the site.

In addition to parking requirements, Section 2.20.D.4 - Industrial Uses - regulated the type of material needed for pavement. The applicant has indicated their desire to use gravel instead of a paved material for site circulation and the parking area. The proposal does not meet the requirements of Section 2.20.D.4, however the Planning Commission does have the ability to waive paving requirements for parking areas and other vehicle maneuvering areas (Section 2.20.D.2). We defer to any additional comments regarding the proposed use of gravel versus paved material to the Township Fire Marshal and Engineer.

Yes

Engineering design after approval.

Kalamazoo Charter Township - Tree Fellers Site Plan
 January 6, 2023

19/RC-05

We recommend that all existing and proposed driveways and internal site circulation routes are paved due to the muddy conditions as observed on-site. See images below (taken in early December 2022).



Further, as shown in the image above (left), the applicant has been utilizing a driveway on the south side of the rear parcel on W. Dunkley. The driveway is located between two homes. Site plans indicate that the driveway is approximately 18 feet wide. Section 2.20.D.4 specifies that main access driveways and internal access routes in commercial and industrial districts shall be a minimum of 27 feet wide. Therefore, the driveway located on W. Dunkley is not compliant with ordinance standards.

Additionally, the applicant has created another unapproved driveway on the southwest portion of the site that is not depicted on site plans. This driveway was discovered as a result of a site visit. The Township has received complaints from this unapproved driveway because the applicant is driving equipment across a residential driveway. This driveway shall be removed, and original site conditions shall be restored immediately. An image of the driveway is provided to the right.

Parking Lot Landscaping The applicant is advised of the following requirements as it pertains to parking lot landscaping as provided in the following table. Landscape design after approval.

Regulation Type: Parking Lot Landscaping	Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
General Landscaping Ratio	30 sq. ft. per parking space (20 spaces x 30 sq. ft. = 600 sq. ft.)	Unspecified	*Partially

Kalamazoo Charter Township - Tree Fellers Site Plan
 January 6, 2023

20/RC-05

Minimum Planting Area Width	Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
Deciduous or Evergreen Trees	One (1) shade tree per five (5) spaces	Multiple Existing	*Partially

The applicant indicates to retain existing trees located on the subject property. We are encouraged by the applicant's design creativity and find that the retention of existing mature growth trees aligns with the Township's goal for natural features and elements. Therefore, it is recommended that the Planning Commission accept the applicant's landscaping plan as submitted.

Landscaping Adjacent to Roads

The applicant is advised of the following requirements as it pertains to landscaping adjacent to roads:

Regulation Type: Landscaping Adjacent to Roads	Requirements	Tree Fellers Wood Products & Furniture Site Plan Conditions	Compliance with Ordinance Standards
Minimum Planting Area Width	15 feet	Not dimensioned	*Partially
Deciduous or Evergreen Trees	One (1) tree per 40 linear feet (160' / 40' = 4 trees)	1 (existing)	*Partially
Ornamental Trees	One (1) tree per 100 linear feet (160' / 100' = 1.6 trees)	None proposed	NO
Shrubs	Eight (8) shrubs per 40 linear feet (32 shrubs)	13	*Partially

Note: frontage calculations were based on N. Burdick Street and W. Dunkley Street (as shown on the site plan).

The applicant proposes to reuse an existing industrial site. The submitted site plan shows enhancements to the existing landscaping along N. Burdick Street and proposed landscaping along W. Dunkley. Due to site constraints, the ability to successfully install the required landscaping trees and shrubs would ultimately be detrimental to the overall health of the vegetation due to the close proximity of said vegetation. Plantings that are clustered together in order to meet ordinance requirements would compete for resources. We find that the applicant is making a good faith basis to bring the site into conformance with the Township Zoning Ordinance. Therefore, we encourage the Planning Commission to accept the proposed landscape layout as submitted by the applicant. For further reference, the existing property does not have the required landscaping existing on site.

Greenbelt

It has been noted that the applicant wishes to reuse an existing site that does not currently have a greenbelt along North Burdick. Due to the current location of the building being an estimated 40 feet from the edge of the road, it may not be advantageous for the applicant to install a greenbelt at this location. We defer to the Planning Commission on whether this greenbelt requirement should be waived in accordance with Section 5.07 - Modifications to Landscaping Requirements.

Berm

No berms, See A-02. The applicant is proposing a berm along the western portion of the site (fronting BR-131). Berm height and material details have not been provided as to determine compliance with ordinance requirements.

Kalamazoo Charter Township - Tree Fellers Site Plan
 January 6, 2023

21/RC-05

Lighting Wall mounted exterior down lights, see exterior elevation drawing A-08 & A-09 for locations. The applicant has not provided a lighting plan for review by Township Staff. We advise the applicant to note that Section 2.12.C. - Lighting General Requirements - states the following:

Sufficient lighting shall be required for parking areas, walkways, driveways, building entrances, loading areas, and public common areas to ensure the security of property and safety of persons.

Until such a time as the applicant provides this information, we are unable to offer a positive finding that the site meets the requirements of Section 2.12. However, should future lighting be proposed by the applicant, Township staff can review the lighting plan to ensure conformance with the Zoning Ordinance.

Signage See exterior sign on east elevation drawing for location, sheet A-08. The applicant has not provided any details pertaining to site signage. Site signage can be reviewed and addressed administratively, should the applicant seek to pursue signage at a later date.

Trash Disposal Section 2.22 outline the requirements for trash removal and collection. The proposed location of the dumpster shall be included on site plans.

BUILDING AND SITE DESIGN

The applicant has submitted building elevations. These elevations include the installation of new overhead doors, which are proposed to be installed along the west elevation of the existing structure. Furthermore, Section 20.03.A.3 - Development Standards - pertaining to the I-2, General Industrial District, stipulates the following:

- Outside storage areas shall be located no closer than one hundred fifty (150) feet to any street right-of-way line or no closer than twenty (20) feet to all other property lines. The proposed storage area, located on the western portion of the site, meets this requirement.
- Outside storage areas shall be located no closer than one hundred (100) feet to any residential district. The subject site is bordered by residential uses to the south, however these uses are not within a zoned residential district. This requirement is met.
- Outside storage areas which have the potential to be visible from a public or private road or which abut a residential or commercial district shall be screened by a wall or fence, constructed in accordance with Article 6. The applicant has indicated a ringed gate will be installed near the southern egress point, however no gate details have been provided. The applicant will need to provide further details of the proposed gate to ensure compliance with this requirement.
- No materials shall be stored above eight (8) feet in height. The applicant has not provided details pertaining to the proposed height of the firewood on pallets, trees on pallets nor the indicated logs.
- Proper access to all parts of the storage areas shall be provided for fire and emergency vehicles. We defer any additional comments regarding this requirement to the Township Fire Marshal.

Kalamazoo Charter Township - Tree Fellers Site Plan
 January 6, 2023

22/RC-05

Memorandum

TO: Kalamazoo Charter Township Planning Commission
 FROM: Danielle Bouchard, AICP, Principal Planner
 SUBJECT: Site Plan Review #5 - Jack Livingstone, Tree Fellers Wood Products & Furniture
 2017 North Burdick
 DATE: March 24, 2023

The Applicant, Jack Livingstone, is seeking site plan approval to operate several permitted uses, per the I-2, General Industrial District, on the subject site, located at 2017 North Burdick. These uses include:

- Wood products manufacturing, including furniture manufacturing.
- The manufacturing, compounding, assembling, packaging, or treatment of articles or merchandise from previously prepared materials.
- Contractor's yards and storage facilities for building materials, sand, gravel, stone, lumber, equipment and supplies (this is a special land use).

CASE BACKGROUND

In general, the applicant's business utilizes wood (chopped off-site) to create furniture and other decorative pieces. The wood is planned to be separated into piles and stored on-site outdoors (parcels -030, -060, and -070). The wood does not consist of treated lumber. The applicant has also indicated the need for an on-site office to handle sales and services incidental to the manufacturing of the wood products and furniture. Further, the applicant currently runs a tree cutting business on-site where equipment and vehicles are stored.

The applicant is intending to drive commercial trucks and vehicles onto (and through) parcels -030, -060, and -070. As indicated above, these parcels are planned for outdoor storage of contractor's yard supplies.

Case History

The applicant applied for initial site plan review in May 2021. To date, Township staff have written and submitted 5 full site plan reviews, included the project on the August 4, 2022 Agenda (where it was tabled), and met with the applicant several times (including project architect) in person to discuss the site. To date, the applicant has yet to comply with Township planning, zoning, and fire safety standards and continues to intentionally operate an UNAPPROVED business on several Township properties. The applicant has been made aware on several occasions of these ordinance violations and continues to operate business activity without required approvals.

Further, since the initial application, the applicant has added new uses, new parcels, driveways, outdoor storage, equipment, and other elements to the site plan. As such, Township staff were compelled to conduct a new full review as a result of the new information shown in each review. A full case history is highlighted below.

- May 2021: Applicant files for site plan review after receiving a letter violation in the mail for operating an industrial business without approvals.

Kalamazoo Charter Township
 133 South West Street
 Suite 100
 Kalamazoo, Michigan 49007

Communities for real life.

23/RC-05

- June 2021: The Township submits a review to the applicant noting the site plan (hand drawn) is not up to standard in order to recommend forwarding to Planning Commission. Township Staff spoke with the applicant on the phone to discuss base requirements for a site plan (e.g., licensed engineer/architect).
- July 2021: Township staff communicated via email with the applicant to request revised site plan.
- August 2021: Township staff communicated via email with the applicant asking for an updated site plan.
- November 2021: Email communication to the applicant requesting for the updated site plan.
- January 2022: A violation letter is submitted to the applicant detailing operations without approvals.
- February 2022: The applicant submits a revised version of the site plan to the Township for review. Note that it took between June 2021 - February 2022 to receive a revised site plan. As noted above (and evidenced in email communications), Township staff reached out to the applicant on several occasions, including a violation letter, requesting for the revised site plan.
- March 2022: A full site plan review (SPR#1) was submitted to the applicant noting deficiencies of the site plan and required changes (see attachment). The submitted site plan still did not show the required level of detail required for an approval recommendation to Planning Commission.
- April 2022: Township staff meets in-person with the applicant. A follow-up email was submitted to the applicant detailing the items needed for the next submittal.
- July 2022: Another site plan review (SPR#2) was submitted to the applicant (see attachment). At this point, it was discovered that additional parcels were added to business operations without approvals. Therefore, it was determined that a special land use was required for the contractor's yard.
- July 2022: Another site plan review (SPR#3) was submitted to the applicant (see attachment).
- August 2022: The application was tabled at the Planning Commission meeting due to several deficiencies.
- October 2022: The applicant receives an additional violation letter from Township staff noting the ordinance requirements to get the site into compliance.
- January 2023: Township staff meets with the Architect to discuss site plan requirements.
- January 2023: Another site plan review (SPR#4) was submitted to the applicant (see attachment). This plan review notes yet another parcel was added to the overall site plan, necessitating another full review.
- February 2023: Township staff and legal counsel attended a court hearing regarding site violations. The court order established a deadline for March 10, 2023 to submit a new site plan to the Township for review with a list of associated requirements.
- March 2023: The applicant submits a new site plan for review (SPR #5). At this time, new site access and circulation routes are proposed. These are new conditions that have not been previously discussed or reviewed. These items are discussed further in this review letter.

Each previous site plan review letter submitted to the applicant is included in this packet. The intent here is to demonstrate that the applicant has been consistently notified and made fully aware of ordinance violations and has been made aware of information required to get the site into compliance on multiple occasions.

The applicant has purposely and intentionally disregarded Township requirements and subsequent violations for a period nearing 2 years. Township staff have shown good faith to work with the applicant and explain the review process and revisions needed. To date, the applicant has still failed to comply with ordinance standards. As previously mentioned, this letter is the 5th review.

Kalamazoo Charter Township - Tree Fellers Site Plan
 March 24, 2023

24/RC-05

SITE PLAN REVIEW

Site Plan Parcels

It should be noted that the site plan is comprised of FIVE SEPARATE parcels (four of which are owned by the applicant and the fifth shows an access easement). If approved, the applicant shall obtain a lot combination for parcels -010, -060, and -070 in order for conduct business on these sites.

N/A The northernmost parcel (-030) is NOT contiguous with the primary site operations on the other three parcels. See A-02 The applicant has indicated that an easement has been granted to access the northernmost site. Evidence of the signed easement, including legal descriptions, drawings, recordings, and all applicable information shall be submitted to the Township for review.

N/A Furthermore, the southernmost parcel (-070) is only accessible by establishing a driveway off W. Dunkley. This is jurisdiction of Kalamazoo County. We note this proposed driveway stems from a property that is NOT owned by the applicant. If approved, the applicant shall obtain approvals from ALL applicable organizations to establish a driveway from parcel -070. The applicant has already been using an UNAPPROVED driveway to access the rear site (-060). The applicant has also cleared the site of trees without site plan approval.

N/A Lastly, we recognize that several of these properties are nonconforming. Parcels -060 and -030 are landlocked (access from BUS-131 is not applicable).

Schedule of Regulations: Section 25.02

Table with 4 columns: Regulation Type, I-2 General Industrial District Requirements, Tree Fellers Wood Products & Furniture Site Plan Conditions, and Compliance with Ordinance Standards.

The applicant is required to demonstrate compliance with Ordinance standards in terms of setbacks. However, we note that the proposed operations will be located in an existing building which was constructed prior to the Ordinance update in 2016. The applicant is advised that any new structures to be located on the site will need to meet current ordinance standards.

Off-Street Parking

Section 4.01.D of the Township Zoning Ordinance requires 1 parking space per every 750 square feet of gross floor area dedicated to "Manufacturing". The gross floor area of the existing structure is approximately 14,347 sq. ft. as supplied by the applicant. Therefore, 20 parking spaces are required by the ordinance.

N/A The site plan shows a total of 19 parking spaces, some of which measure 10' x 20' while others measure 9' x 20'. See A-02 Of the proposed spaces, five (5) are currently in existence along the eastern portion of the building, with direct access to N. Burdick Street. We defer to the Planning Commission to determine if the lesser number of parking

Kalamazoo Charter Township - Tree Fellers Site Plan March 24, 2023

25/RC-04

spaces is appropriate for the proposed use. However, it appears that the applicant is parking commercial vehicles along the northern portion of the building.

N/A Site Circulation See A-02 Once vehicles are on site, travel will function in a "one-way" pattern, with the egress to the site being located along W. Dunkley. We defer to the Fire Marshal to determine the adequacy of the proposed "one-way fire lane" around the site.

In addition to parking requirements, Section 2.20.D.4 - Industrial Uses - regulates the type of material needed for pavement. The applicant has indicated their desire to use gravel instead of a paved material for site circulation and the parking area. The applicant does not meet the requirements of Section 2.20.D.4, however the Planning Commission does have the ability to waive paving requirements for parking areas and other vehicle maneuvering areas (Section 2.20.D.2). We do not recommend paving requirements to be waived given the frequent travel on the internal access drive as well as the heavy equipment and machinery intended for the route. At a minimum, we recommend that all existing and proposed driveways and internal site circulation routes are paved due to the muddy conditions as observed on-site. See images below (taken in early December 2022).



As shown in the image above (left), the applicant has been utilizing a driveway on the south side of the rear parcel on W. Dunkley. The driveway is located between two homes. Site plans indicate that the driveway is approximately 16 feet wide. Section 2.20.D.4 specifies that main access driveways and internal access routes in commercial and industrial districts shall be a minimum of 31 feet wide. Therefore, the driveway located on W. Dunkley is not compliant with ordinance standards.

Another unapproved driveway is being utilized on parcel -070, where the applicant has been driving commercial vehicles across a residential driveway (as mentioned above). This driveway is also proposed at 16 feet wide. This is also not compliant with ordinance standards for industrial uses.

Lastly, the overall site circulation route essentially functions as a private road. The internal access route is intended to serve several landlocked nonconforming parcels that DO NOT have frontage on any public street. Through we understand the applicant is not requesting a land division. Township general ordinance 459.007 states that a parcel cannot be created without required frontage on a public street. No private road or easement access shall be authorized unless the requisite frontage on a public road is also met.

Given all the violations of Township ordinance with regard to site circulation, as well as best practices in planning, zoning, and site design, Township review staff is not in support of approving the proposed internal access route. We defer to the Fire Marshal for further comment on safety considerations with regard to site access.

Kalamazoo Charter Township - Tree Fellers Site Plan March 24, 2023

26/RC-04

The applicant has proposed a "corduroy road" to be constructed on the southern driveway on parcel -060. A corduroy road includes logs as the base and granular materials on top (see image to the right). Township staff have concerns about the composition of the corduroy road for several reasons:

- The road's ability to withstand a 70,000lbs fire truck. We defer to the Fire Marshal for more comment on this finding.
The road's outdated design (this was a practice used during WWII).
The Township Engineer's opinion that the road is not sustainable for the long-term.



Parking Lot Landscaping The applicant is advised of the following requirements as it pertains to parking lot landscaping as provided in the following table.

Table with 4 columns: Regulation Type: Parking Lot Landscaping, Requirements, Tree Fellers Wood Products & Furniture Site Plan Conditions, and Compliance with Ordinance Standards.

The applicant indicates to retain existing trees located on the subject property. We are encouraged by the applicant's design creativity and find that the retention of existing mature growth trees aligns with the Township's goal for natural features and elements. Therefore, it is recommended that the Planning Commission accept the applicant's landscaping plan as submitted.

Kalamazoo Charter Township - Tree Fellers Site Plan March 24, 2023

27/RC-04

Landscaping Adjacent to Roads

The applicant is advised of the following requirements as it pertains to landscaping adjacent to roads.

Table with 4 columns: Regulation Type: Landscaping Adjacent to Roads, Requirements, Tree Fellers Wood Products & Furniture Site Plan Conditions, and Compliance with Ordinance Standards.

Note: frontage calculations were based on N. Burdick Street and W. Dunkley Street (as shown on the site plan).

The submitted site plan shows enhancements to the existing landscaping along N. Burdick Street and proposed landscaping along W. Dunkley. Due to site constraints, the ability to successfully install the required landscaping trees and shrubs would ultimately be detrimental to the overall health of the vegetation due to the close proximity of said vegetation. Plantings that are clustered together would compete for resources. Therefore, we encourage the Planning Commission to accept the proposed landscape layout as submitted by the applicant. For further reference, the existing property does not have the required landscaping existing on site.

Greenbelt

It has been noted that the applicant wishes to reutilize an existing site that does not currently have a greenbelt along North Burdick. Due to the current location of the building being an estimated 40 feet from the edge of the road, it may not be advantageous for the applicant to install a greenbelt at this location. We defer to the Planning Commission on whether the greenbelt requirement should be waived in accordance with Section 5.07 - Modifications to Landscape Requirements.

Berm

No Berms. The applicant is proposing a berm along the western portion of the site (fronting BR-131). Berm height and material details have not been provided as to determine compliance with ordinance requirements.

Lighting

Wall mounted exterior down lights, see exterior elevation drawing A-08 & A-09 for locations. The applicant is proposing goose-neck shaded downlights with LED lamps. We find that this type of light fixture likely meets ordinance requirements.

Signage

See exterior sign on east elevation drawing for location, sheet A-08. The applicant has not provided any details pertaining to site signage. Site signage can be reviewed and addressed administratively, should the applicant seek to pursue signage at a later date.

Trash Disposal

Section 2.22 outlines the requirements for trash removal and collection. The applicant is not proposing dumpster or trash removal outside of the building. Any refuse generated on site shall be disposed of by an appropriate trash collection agency. See Herby Curbies locate in the building floor plan drawing.

Kalamazoo Charter Township - Tree Fellers Site Plan March 24, 2023

28/RC-04

BUILDING AND SITE DESIGN

The applicant has submitted building elevations. These elevations include the installation of one overhead door, which are proposed to be installed along the west elevation of the existing structure. Furthermore, Section 20.03.A.3 - Development Standards - pertaining to the I-2, General Industrial District, stipulates the following:

- Outside storage areas shall be located no closer than one hundred fifty (150) feet to any street right-of-way line no closer than twenty (20) feet to all other property lines.
Outside storage areas shall be located no closer than one hundred (100) feet to any residential district.
Outside storage areas which have the potential to be visible from a public or private road or which abut a residential or commercial district shall be screened by a wall or fence, constructed in accordance with Article 6.

ADDITIONAL REVIEWS

Township Fire Marshal

Comments provided by the Fire Marshal are provided via a separate document.

Township Engineer

Aside from the opinion received from the Township Engineer relating to the corduroy road, the applicant has not supplied drainage details to the Township for review.

RECOMMENDATIONS

Township review team find that the site plan, dated and revised March 10, 2023, is still in violation of several ordinance requirements, as noted in detail above. Further, as previously discussed, the Township reviewed the proposed project and associated site plans on 5 separate occasions. The applicant has also been directed, via a signed court order, to address several deficiencies on the site plan. Given the adverse effects to adjacent residential homes, the applicant's continued refusal to comply with ordinance requirements, despite being made aware of said requirements on numerous occasions spanning almost 2 years (plus the court order), and the number of safety concerns the current activities produce, we recommend denial of the proposed site plan.

Kalamazoo Charter Township - Tree Fellers Site Plan March 24, 2023

29/RC-04

If the applicant were to show good faith to remove all lumber and debris abutting adjacent residential homes, cease utilizing unapproved and noncompliant driveways, and restore parcels -030, -060, and -070 back to the original state, we COULD support approval of a woodworking business STRICTLY on parcel -010 within the enclosed building. Given that a woodworking business is a principally permitted use in the I-2 District. The proposed conditions for the internal access route do not comply with requirements for several reasons as outlined above. We do not support the continuation of businesses on properties -030, -060, and -070.

Respectfully Submitted,

McKenna

Danielle Bouchard, AICP Principal Planner

Kyle Mucha, AICP Senior Planner

Kalamazoo Charter Township - Tree Fellers Site Plan March 26, 2023

30/RC-04

From: Todd Kowalski <tkowalsk@twp.org> Sent: Wednesday, May 4, 2022 1:28 PM To: Danielle Bouchard <dbouchard@mckc.com> Subject: 2017 North Burdick Street review

A site plan review was conducted on the incomplete plan set that was submitted for the address of 2017 North Burdick Street within Kalamazoo Township. The plan set that was reviewed was dated 2-1-2022 with no revision date noted on the plan set. During this review the following deficiencies were noted and shall be addressed:

- No motor vehicles or gasoline powered equipment shall be stored in the existing building.
Future Sprinkler System and upgraded water supply under consideration by Owner.
The plan set has not been signed, stamped and dated by an architect or engineer.
Installation of Knox Box. The size shall be a "3200" series or larger. The vault shall be mounted unobstructed and visible approximately five feet from ground level near a main access door.
The FDC shall be within 100' of a fire hydrant. This measurement is figured "as the truck drives".
The Fire Department Connections (EDC) shall have Knox 5" Locking FDC Cap.
Immediate access to FDC shall be maintained in clear view without obstruction by fences, bushes, trees, walls, dumpsters or any other object.
FDC shall be so located so that fire apparatus and hydrant lines connected to supply the system will not obstruct access to the buildings for other fire apparatus.
FDC shall not be obstructed by parking spaces; marked or unmarked.
Fire hydrant placement shall be approved by the Fire Marshal's Office.
Fire hydrants shall not be farther than 300 feet from the site as the fire truck drives.
Water mains serving fire suppression systems shall not be less than 6" in diameter. Main size may be reduced upon submittal of engineered/architectural stamped & sealed fire suppression plans in detail including calculations. Plans shall be approved by the City of Kalamazoo Water Department.
Fire department connections not remotely located shall be located on the street side of the building.
FDC not remotely located shall be fully visible and recognizable from the street.
The FDC shall be identifiable to approaching fire apparatus.
The FDC shall be indicated by an approved sign mounted on the street, front, side of the building or adjacent to a remotely located FDC.
FDC signage shall have the letters "FDC" at least 6 inches high.
FDC signage shall be reflective with white letters with a red background. All such signs shall be subject to the approval of the fire code official.
FDC shall have an exterior rated strobe & horn device above the FDC, approximately 8'-10" in height. Device shall be in clear view to approaching fire apparatus.
Protective Bollards shall be required to protect egress doors or pathways where vehicles or other devices (dumpsters, shopping carts, outside displays etc) can be parked or placed which could impede the pathway or door motion from a required egress door.
Building identification shall be placed in a position that is plainly legible and visible from any street or road fronting the property.
The address numbers and street name shall contrast with their background.
Commercial structures shall have address numbers at least 10" high.
Parking lots, driveways and service & access drives shall be designed and constructed to allow the maneuverability and weight of fire service aerial devices and be constructed of all weather materials.
Fire access lanes when required shall be a minimum of 26' wide and provide 13'6" height clearance. Signage shall be erected prohibiting parking, stopping, standing loading or unloading.
Turning radius of parking lots and fire access lanes shall be constructed to allow turning and full operation of fire apparatus during an emergency.

Kalamazoo Charter Township - Tree Fellers Site Plan March 24, 2023

31/RC-04

- Security gates restricting access shall be approved pursuant to code. Approved fences, gates or other barriers shall be accessed thru Knox padlocks, Knox access switches and siren activation.
The AHJ reserves the right to implement field adjustments as needed.

All of these items were discussed in the meeting that you requested prior to this submission. Please feel free to contact me with any questions you may have.

Todd Kowalski

Fire Marshal

Kalamazoo Township

1720 Riverview Drive

Kalamazoo, Michigan 49004

Office 262-381-8080 x115

Direct Dial 269-888-2171

Fax 269-381-3550

Date: 9/21/2023 Revised: Drawn by: K.T. Project: 0984.101

Architectural Workshop, Inc. Richard Schramm, Architect Phone: 269.975.2472 Fax: 269.372.7272 www.ArchWork.us 7540 Stadium Drive Kalamazoo, MI 49009

Review Comments, RC-04 © Copyright Richard Schramm 2018 / Do not copy or duplicate without written permission. The Architect's embossed seal is required on this document. Tree Fellers Wood Products & Furniture 2017 N. Burdick Street, Kalamazoo, MI 49007

Sheet Number RC-04

32/RC-04

CHARTER TOWNSHIP OF OSHTEMO
KALAMAZOO COUNTY, MICHIGAN

NOTICE OF SPECIAL MEETING OF THE PLANNING COMMISSION
OSHTEMO CHATER TOWNSHIP HOUSING PLAN 2023

PLEASE TAKE NOTICE that the Oshtemo Charter Planning Commission will conduct a special meeting on November 27th, 2023, commencing at 6:00pm to hold a public hearing to consider the Oshtemo Charter Township Housing Plan 2023 for recommendation of adoption to the Township Board as part of its new master plan and any other business which might lawfully come before the Planning Commission at a regular meeting.

Oshtemo Charter Township will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon seven (7) days' notice to the Oshtemo Charter Township. Individuals with disabilities requiring auxiliary aids or services should contact the Oshtemo Charter Township by writing or calling the Township.

IRIS LUBBERT, PLANNING DIRECTOR
OSHTEMO CHARTER TOWNSHIP

Oshtemo Charter Township Hall
7275 West Main Street
Kalamazoo, MI 49009
(269) 375-4260