

PLANNING COMMISSION MEETING AGENDA

December 7, 2023 THURSDAY 6:00 P.M.

Location: Kalamazoo Charter Township Hall, 1720 Riverview Drive, Kalamazoo, MI 49004

AGENDA:

- #1 Call to Order
- #2 Roll call and recognition of visitors
- #3 Approval of the agenda for the December 7, 2023 meeting.
- #4 Approval of the minutes for November 2, 2023 meeting.
 - 4a. Approval of the amended minutes from the September 7, 2023 meeting.
- #5 Public Comment (3-minute limit)
- #6 Scheduled Reviews: None.
- #7 Public Hearings:
 - 7a. 521 E. Mosel – Cloud Cannabis, special land use
- #8 New Business:
 - 8a. 521 E. Mosel – Cloud Cannabis, special land use & site plan review
 - 8b. 316 W. Mosel – Maragret Daycare
- #9 Old Business: None.
- #10 Open Discussion
 - 10a. Members of the Audience
- #11 COMMUNICATIONS:
- #12 REPORT OF THE TOWNSHIP BOARD REPRESENTATIVE.
- #13 REPORT OF THE TOWNSHIP ZBA REPRESENTATIVE.
- #14 COMMENTS FROM PLANNING COMMISSION MEMBERS.
 - Wellhead Protection Ordinance, Trustee Leuty
- #15 REPORT OF THE PLANNER.
 - Consumers Concrete Corporation, Industrial Development District (IDD)
 - Master Plan – next steps
 - Coming up: 2023 Annual Planning Report & 2024 Planning Program
- #16 REPORT OF THE ZONING ADMINISTRATOR.
- #17 REPORT OF THE TOWNSHIP ATTORNEY.
- #18 ADJOURNMENT.

The public may attend this meeting for your information and comments. Please contact the Planning & Zoning Department if you have any questions at (269) 381-8085.

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**Charter Township of Kalamazoo
Minutes of a Planning Commission Regular Meeting
Held on November 2, 2023**

10 A regular meeting of the Charter Township of Kalamazoo Planning Commission was conducted
11 on November 2, 2023, commencing at 6:00 p.m. at the Charter Township of Kalamazoo Hall.

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Call to Order:

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Chairman Nagler called the meeting to order at 6:00 p.m.

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Roll Call and Recognition of Visitors

Nagler welcomed those in attendance.

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Present were:

Christopher Mihelich

Michael Seals

Steve Leuty

Denise Hartsough

Warren Cook

William Chapman

Fred Nagler, Chairman

Also present were Township Planner Danielle Bouchard, Township Attorney Seth Koches, Fire Marshal, Todd Kowalski; and six (6) interested members from the public.

Absent was:

None.

Approval of the Agenda

A copy of the meeting agenda was provided to the Commissioners in their agenda packets.

Upon motion by Hartsough, supported by Mihelich, and unanimous vote, the agenda was approved as presented.

Approval of the minutes for the October 12, 2023, regular Planning Commission meeting

The next item on the agenda was approval of the minutes of the October 12, 2023, regular Planning Commission meeting.

1 A copy of the draft minutes of the October 12, 2023, regular Planning Commission meeting were
2 provided to the Commissioners in their agenda packets. Several revisions were recommended to
3 the draft minutes.

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5 Upon motion by Cook, supported by Leuty, and unanimous vote, the minutes of the October 12,
6 2023, regular Planning Commission meeting were approved as revised.

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8 **Public Comment**

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10 None.

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12 **Scheduled Reviews**

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14 None.

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16 **Public Hearings**

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18 **521 E. Mosel – Cloud Cannabis, Special Land Use**

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20 The next item on the agenda was the public hearing and special land use request of Pinebrook
21 Warren, LLC (“applicant”); for a special land use approval and site plan review in order to expand
22 the existing marijuana facility by constructing a new tank room, and office, operations and
23 storage spaces, in accordance with Article 8 and Article 20 of the Kalamazoo Township Zoning
24 Ordinance at 521 East Mosel Avenue (parcel number 06-03-460-030). The subject property is
25 located in the I-2, General Industrial District Zoning Classification; is approximately 5.6 acres in
26 area; and is located along East Mosel Avenue, east of North Pitcher Street and west of Riverview
27 Drive.

28
29 Bouchard prepared a staff report, which was contained in the Commissioners’ agenda packet and
30 summarized it. Bouchard said that the applicant received several previous approvals including an
31 approval for a medical marijuana provisioning center, grow facility and future processing facility
32 in July, 2018. Additionally, approval of an adult use marijuana retailer center to be added to the
33 existing medical marijuana provisioning center, grow facility and future processing facility was
34 obtained in May 2020. Bouchard said that the subject property is currently approved for a Class
35 C adult use marijuana growing facility, a Class C medical marijuana growing facility, an adult use
36 retail marijuana facility, warehousing space and a Class C adult use marijuana growing facility.

37
38 Bouchard said that the applicant seeks site plan and special land use approval to build out a
39 currently unoccupied portion of the existing building for a new tank room, and office, operations
40 and storage spaces. The estimated size of the area will be approximately 4,000 square feet. An
41 adult use marijuana grower and processor are permitted uses in the I-2 District Zoning
42 Classification, subject to special land use approval. Bouchard summarized the standards for
43 granting special land use requests, which are contained in Section 26.03.C. of the Township
44 Zoning Ordinance. Buchard discussed compatibility of the proposed use with adjacent land uses.

1 Bouchard said that the proposed use is compatible with master plan. Bouchard discussed public
2 services available at the subject property and noted that the site has appropriate utilities,
3 including fire protection. Bouchard discussed potential traffic impact and noted that it is not
4 anticipated that the proposed use will cause any adverse effects on the economic well-being of
5 the Township. Fire Marshal Kowalski said that he wanted the applicant to confirm that all fire
6 access is clear and accessible for emergency services vehicles, noting that the Township will take
7 enforcement action if necessary.

8
9 John McCloud addressed the Planning Commission on behalf of the applicant and said that the
10 interior changes are to better use the space, and to add storage and office space. McCloud
11 confirmed that the storage tanks will hold water.

12
13 Nagler opened the public comment portion of the public hearing and invited an interested person
14 to submit public comment in support of or in opposition to the applicant's request for special
15 land use approval. Hearing no public comments, Nagler closed the public hearing. The
16 Commissioners discussed the standards of review for approving a special land use and concluded
17 that all standards contained in Section 26.03.C of the Township Zoning Ordinance were satisfied.

18
19 Upon motion by Cook, supported by Leuty, and unanimous vote, to approve the request of
20 Pinebrook Warren, LLC, for special land use approval in order to expand the existing marijuana
21 facility by constructing a new tank room, and office, operations and storage spaces, in accordance
22 with Article 8 and Article 20 of the Kalamazoo Township Zoning Ordinance at 521 East Mosel
23 Avenue (parcel number 06-03-460-030) because the standards contained in Section 26.03.C. of
24 the Township Zoning Ordinance are satisfied.

25
26 **3735 Franklin – SAIA Motor Freight, Special Land Use**

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28 The next item on the agenda was the public hearing and special land use request of SAIA Motor
29 Freight Line, LLC (agent: Chris A Burgum) – the “applicant” – for a special land use approval and
30 site plan review to establish a proposed trucking terminal facility at 3735 Franklin Street (parcel
31 number 06-25-280-034) in accordance with Article 20 of the Kalamazoo Township Zoning
32 Ordinance. The subject property is located in the I-2, General Industrial District Zoning
33 Classification; is approximately 3.48 acres in area; and is located west of South Sprinkle Road,
34 and east of Olmstead Road. Bouchard prepared a staff report and summarized it.

35
36 Bouchard summarized the standards for granting special land use requests, which are contained
37 in Section 26.03.C of the Township Zoning Ordinance. Bouchard discussed compatibility of the
38 proposed use with adjacent land uses. Bouchard said that the subject property has generally
39 remained as a trucking terminal facility since 1974. Bouchard discussed the applicant's
40 willingness to improve landscaping elements on the property and noted that the proposed use is
41 compatible with the Township's master plan. Bouchard discussed public services available at the
42 subject property, noting that police/fire services and water/sewer are available and the property
43 has public road access. Bouchard discussed traffic impact and said that the applicant anticipates
44 a volume of 15 semi-trailers daily. Bouchard asked that the applicant submit a truck route that

1 will be utilized for these trailers. Bouchard noted that the applicant plans to use the existing
2 ingress/egress points of access on the property. Bouchard concluded that the proposed use does
3 not involve any activities that would cause detrimental effects on the surrounding area, and it is
4 not anticipated that the proposed use will be detrimental to the economic well-being of the
5 Township. Bouchard concluded her review by stating that the applicant proposes to redevelop
6 the existing truck terminal by installing additional landscaping and that the proposed use appears
7 to be compatible with the natural environment.

8
9 Kowalski said that there were very few fire code violations in the 49 years that the subject
10 property has been in existence. Chapman discussed the fencing around the property and whether
11 barbed wire was permissible. The Commission discussed the potential impact on nearby
12 residential uses. Brett Rabe addressed the Commission on behalf of the applicant. Rabe said that
13 that the majority of traffic will be during the day and it is estimated that the maximum number
14 of trailers on the property will be 25 trailers per day within 10 years. Rabe discussed security
15 plans for the property. Hartsough said that the 8-foot fences are allowed in I-2.

16
17 Nagler opened the public comment portion of the public hearing and invited an interested person
18 to submit public comment in support of or in opposition to the applicant's request for special
19 land use approval. Nagler read an email submitted by Alex Polito objecting to the proposed use.
20 Hearing no public comments, Nagler closed the public hearing. The Commissioners discussed the
21 standards of review for approving a special land use and concluded that all standards contained
22 in Section 26.03.C of the Township Zoning Ordinance were satisfied.

23
24 Upon motion by Hartsough, supported by Cook, and unanimous vote, to approve the request of
25 SAIA Motor Freight Line, LLC (agent: Chris A Burgum) – the “applicant” – for a special land use
26 approval to establish a proposed trucking terminal facility at 3735 Franklin Street (parcel number
27 06-25-280-034) in accordance with Article 20 of the Kalamazoo Township Zoning Ordinance)
28 because the standards contained in Section 26.03.C. of the Township Zoning Ordinance are
29 satisfied.

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31 **New Business**

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33 **521 E. Mosel – Cloud Cannabis, Site Plan Review**

34
35 The next item on the agenda was site plan review of Pinebrook Warren, LLC, (“applicant”) seeking
36 approval for a change of use/new use on property located at 521 E. Mosel to expand the existing
37 marijuana facility by constructing a new tank room, and office operations and storage spaces.
38 The Planning Commission approved the special land use request following the public hearing.
39 Bouchard prepared a staff report regarding site plan review and summarized it. Bouchard
40 confirmed that the schedule of regulations contained in Section 25.02 of the Township Zoning
41 Ordinance were satisfied, as was off-street parking standards contained in Section 4.01.
42 Bouchard noted that an odor control plan was submitted by the applicant. Bouchard noted that
43 the site plan indicates that the inter renovation will be 4,006 square feet. Bouchard
44 recommended approval of the site plan, conditioned on confirmation that all fire safety

1 standards will be complied with. Kowalski said that the applicant must keep fire lane lanes open
2 so emergency services vehicles may access the site.

3
4 Upon motion by Hartsough, supported by Cook, and unanimous vote, the Planning Commission
5 approved the site plan of Pinebrook Warren, LLC, to expand the existing marijuana use by
6 constructing a new tank room, and office, operations and storage spaces, as presented.

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8 **3735 Franklin – SAIA Motor Freight – Site Plan Review**

9
10 The next item on the agenda was site plan review of 3735 Franklin Freight Line, LLC (agent: Chris
11 A Burgum) – the “applicant” – for site plan review to establish a proposed trucking terminal
12 facility at 3735 Franklin Street. Bouchard prepared a staff report regarding site plan review and
13 summarized it. Bouchard discussed the landscaping plan and discussed deviating from the
14 standards requiring bike parking, certain screening, and landscaping. Kowalski said that the
15 applicant needs 12-inch address numbers that are visible on the street. Kowalski said that the
16 gates to the property need new pad locks or a Knox key switch if electronic gates are installed or
17 a Knox 3200 service key box. The Commissioners discussed fencing materials that are more visibly
18 appealing. Seals discussed sidewalks; Chapman confirmed ADA compliance. Leuty discussed
19 storm-water and fencing.

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21 Brett Rabe addressed the Commission on behalf of the applicant. Rabe discussed fencing options
22 and landscaping requirements. Rabe discussed being a good neighbor to the property and
23 working with the Commission to design a site that reaches those goals. The Commission
24 discussed dumper and dumpster enclosure location. Hartsough discussed sidewalks and the
25 Planning Commission’s intent to require sidewalks, which increases Township connectivity. The
26 Commissioners concluded that opaque fencing along the south side of the property will be more
27 visual appealing. The Commission and Rabe discussed a lighting plan and the need for a
28 photometric plan. The Commissioners agreed to waive zoning ordinance bike parking
29 requirements and screening requirements along the sides and back of the subject property.

30
31 Upon motion by Hartsough, supported by Cook, and unanimous vote, the Planning Commission
32 approved the site plan of 3735 Franklin Freight Line, LLC, to establish a proposed trucking
33 terminal facility at 3735 Franklin Street with the following conditions:

- 34
35 1. That the site plan depicts a dumpster enclosure in the side or rear of
36 the subject property.
37 2. That the Planning Commission approves deviating from the bike
38 parking requirements and screening requirements along the sides and
39 back of the subject property.
40 3. That sidewalks are depicts and installed along Franklin Street.
41 4. That opaque fencing be installed along the south side of the property.
42 5. That the applicant submits a photometric plan to the Township.
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1 The applicant agreed to these conditions. Additionally, the Planning Commission approved the
2 Planner to administratively approve the site plan once these conditions are satisfied.

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4 **Old Business**

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6 None.

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8 **Open Discussion – Members of the Audience**

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10 None.

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12 **Communications**

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14 None.

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16 **Report of the Township Board Representative**

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18 None.

19 **Report of the Zoning Board of Appeals Representative**

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21 Nagler discussed the recent business of the ZBA.

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23 **Comments of the Planning Commission Members**

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25 The Commissioners generally discussed planning and zoning updates.

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27 **Report of the Planner/Zoning Administrator**

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29 The Planning Commission discussed the next meeting date.

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31 **Report of the Township Attorney**

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33 None.

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35 **Adjournment**

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37 The November 2, 2023, regular Planning Commission meeting was adjourned at 8:03 p.m.

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, Secretary

SUMMARY OF ACTIONS

The Charter Township of Kalamazoo Planning Commission undertook the following actions at its regular Planning Commission meeting held on November 2, 2023:

1. Approved the special land use request and site plan request of 521 E. Mosel – Cloud Cannabis.
2. Approved the special land use request and site plan request of 3735 Franklin – SAIA Motor Freight, with conditions.

, Secretary

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**Charter Township of Kalamazoo
Minutes of a Planning Commission Regular Meeting
Held on September 7, 2023**

8 A regular meeting of the Charter Township of Kalamazoo Planning Commission was conducted
9 on September 7, 2023, commencing at 6:00 p.m. at the Charter Township of Kalamazoo Hall.

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Call to Order:

12 Chairman Nagler called the meeting to order at 6:00 p.m.

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Roll Call and Recognition of Visitors

15 Nagler welcomed those in attendance.

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Present were:

18 Christopher Mihelich

19 Steve Leuty

20 Warren Cook

21 William Chapman

22 Fred Nagler, Chairman

23 Also present were Township Planner Danielle Bouchard, Township Attorney Seth Koches, Fire
24 Marshal, Todd Kowalski; and three (3) interested members from the public.

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Absent was:

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28 Denise Hartsough

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30 Upon motion by Chapman, supported by Mihelich, and 6-0 vote, Hartsough was excused from
31 the meeting.

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Approval of the Agenda

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35 A copy of the meeting agenda was provided to the Commissioners in their agenda packets.

36
37 Upon motion by Cook, supported by Chapman, and 6-0 vote, the agenda was approved as
38 presented.

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Approval of the minutes for the August 3, 2023, regular Planning Commission meeting

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42 The next item on the agenda was approval of the minutes of the August 3, 2023, regular Planning
43 Commission meeting.

1 A copy of the draft minutes of the August 3, 2023, regular Planning Commission meeting were
2 provided to the Commissioners in their agenda packets.

3
4 Upon motion by Cook, supported by Leuty, and 6-0 vote, the minutes of the August 3, 2023,
5 regular Planning Commission meeting were approved as presented.

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7 **Public Comment**

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9 None.

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11 **Scheduled Reviews**

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13 **Stoneco Gravel, 3800 Ravine Road, Annual Inspection**

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15 The next item on the agenda was the scheduled annual review for Stoneco Gravel, 3800 Ravine
16 Road. Bouchard prepared a staff report regarding the annual inspection and summarized it.
17 Bouchard said that Stoneco Gravel held a valid security bond, which expires on June 11, 2024;
18 holds a valid SESC permit, which expires on May 11, 2024; and, has active liability insurance,
19 which expires on September 1, 2024. Bouchard said that Stoneco Gravel needs to pay the \$120
20 inspection fee. Bouchard noted that the Township hadn't received any complaints regarding any
21 operations regarding Stoneco Gravel.

22
23 Upon motion by Cook, supported by Chapman, and 6-0 vote, the Planning Commission approved
24 the special land use permit for one year for Stoneco Gravel, located at 3800 Ravine Road, within
25 the Township for another year, upon the following condition:

- 26
27 1. That the \$120 inspection fee be paid to the Township.

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29 **Public Hearings**

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31 None.

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33 **New Business**

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35 **2017 N. Burdick Street, Tree Fellers – Site Plan Review.**

36
37 The next item on the agenda was the site plan review for Jack Livingstone, Tree Fellers Wood
38 Products & Furniture ("applicant"), 2017 N. Burdick Street ("subject property") for review to
39 operate a wood products manufacturing, including furniture making business in the I-2, General
40 Industrial District Zoning Classification. The proposed permitted use is principally permitted in
41 the I-2, General Industrial District. Bouchard prepared a staff report that was provided to the
42 Commissioner's in their agenda packet and summarized. Bouchard's report is part of the Planning
43 Commission record. Bouchard suggested that the Planning Commission treat this site plan review

1 as an “Optional Conceptual review by Planning Commission” pursuant to section 26.02.C.2. of
2 the Township Zoning Ordinance. The Planning Commission agreed.

3
4 Bouchard said that the applicant’s business uses wood, which is chopped offsite, to create
5 furniture within the enclosed building. The applicant proposes to haul salvaged wood from
6 various work sites onto the subject property where it is stored. Bouchard’s report indicated that
7 the salvaged wood is haphazardly stacked and “dumped” onto the subject property. Bouchard’s
8 staff report thoroughly discussed the applicant’s history for proposed uses of the subject
9 property and other parcels the applicant owns dating back to 2021, which was orally summarized
10 by Bouchard. Bouchard noted that on April 6, 2023, the Township Planning Commission denied
11 the applicant’s request for special land use and site plan approval to operate a contractor’s yard,
12 including outdoor storage with furniture manufacturing to occur inside the building on the
13 subject property. Bouchard said that the Planning Commission heard several oral objections
14 during public comment regarding the proposed request for special land use, citing neighborhood
15 degradation, increase in noise, debris in the road, and the negative impacts on adjacent
16 residential property owners.

17
18 Bouchard said that the applicant proposed to use the principal dwelling on the subject property
19 (Parcel ending in -010) for the creation of furniture; the site plan notes off-street parking,
20 landscaping and a gravel driveway. Bouchard discussed existing and surrounding land uses,
21 indicating that the properties to the south are zoned “I-2” but include residential uses.

22
23 Bouchard summarized the schedule of regulations for principal structures contained in Section
24 25.02 of the Township Zoning Ordinance. Bouchard said that the existing building does not meet
25 front-yard or side-yard setback requirements, but it was constructed prior to the zoning
26 ordinance update in 2016. Bouchard said that any new use or change of use must comply with
27 current zoning ordinance standards. Bouchard discussed off-street parking. Bouchard said
28 Section 4.01.D.6 requires 1 parking space per every 750 square-feet of gross floor area dedicated
29 to manufacturing. The exiting structure is approximately 14,347 square feet. Therefore, 20
30 parking spaces are required. The applicant’s site plan, dated July 14, 2023, depicts 31 parking
31 spaces. Section 4.01.A.4 of the Zoning Ordinance states that any person proposing greater than
32 125% of the minimum off-street parking requirements shall demonstrate to the Planning
33 Commission sufficient justification for the additional parking. Bouchard said that she told the
34 applicant that he must demonstrate that 31 parking spaces are needed.

35
36 Bouchard and Todd Kowalski discussed site circulation. Bouchard said that the northern portion
37 of the subject property does not meet the minimum requirement for fire lane width. Bouchard
38 said that the applicant was told that at least 26 feet is needed. Bouchard said that the City of
39 Kalamazoo is responsible for giving driveway permits along W. Dunkley. Kowalski said that the
40 reviewed site and confirmed that the south side of the of the fire lane doesn’t satisfy the 26 foot
41 fire lane requirement, noting that there is a utility pole preventing access. Bouchard confirmed
42 that the proposed use isn’t the issue; rather, the proposed design is problematic. Nagler asked
43 whether sprinkling the building would address the width issue. Todd said yes; the applicant
44 indicated that sprinkling the building is cost prohibitive.

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2 Mihelich asked how can an existing non-conforming building be set up for success with new
3 ordinance standards. Kowalski said the previous use of the building didn't utilize the rear of the
4 property and operated under a different design. Bouchard said that the proposed change of use
5 triggers a site plan review, which then requires compliance with new ordinance standards, but
6 noted that some non-compliant standards are permitted per Article 3.00, Non-Conformities.

7
8 Attorney David Lewis represents the applicant. Lewis said that he wanted to balance the
9 challenges of the existing building to comply with existing ordinance standards that were
10 triggered by the change of use. Lewis confirmed that the site plan only applies to the subject
11 property which ends in Parcel No. -010. Lewis said that the building will be used for administrative
12 purposes, noting that the building will not be expanded. Lewis said that it is not possible to
13 comply with some existing ordinance standards such as the width requirements. Livingstone
14 summarized his perspective of the past two years of interactions with the Township. Livingstone
15 said that some neighbors were upset that there is no fence for screening and that he discussed
16 his plans with the neighbors and received support.

17
18 Kowalski said that he originally had an agreement with the applicant regarding a width of 24 feet
19 for the fire lane, but the site plan depicts 22 feet. The applicant's architect, Richard Schramm,
20 addressed the Commission and discussed the site plan. Schramm said that the building can't be
21 moved, and he tried to create a fire lane that encircles the entire building for a one-way traffic
22 pattern. Schramm discussed Knox box locations on the gates and noted that there is no room for
23 berms. Vehicles cannot be stored inside the building unless the building is sprinkled. Cook
24 discussed storage and parking. Chapman discussed whether the neighbors' concerns were
25 properly addressed. Livingstone confirmed that he discussed the plans with neighboring property
26 owners and received support. Bouchard said that there is ambiguity of which parcels are subject
27 to the site plan. Bouchard asked that the matter be tabled to clear up these issues. Nagler said
28 that he needed clarification regarding boundaries and dimensional issues. Kowalski discussed the
29 impact of removing certain parking spots. Nagler confirmed with Schramm that the planned
30 driveway can support a fire truck. Kowalski confirmed that the applicant's roofing company will
31 not be working out of the subject property. Schramm, Nagler, and Kowalski all discussed revisions
32 to the site plan. Kowalski discussed the challenges of the existing utility pole that blocks fire lane
33 access. Leuty suggested that the applicant contact Consumers Energy to determine whether the
34 utility pole may be moved. Kowalski suggested revising the parking plan.

35
36 Before a formal site plan review can be conducted, the applicant is to provide the following
37 information and/or additional detail regarding the following matters for a subsequent site plan
38 review:

- 39
- 40 1. Combine parcels -010 and -060 into one parcel;
- 41 2. Hatch out all the parcels not included in the proposal;
- 42 3. A statement from Consumers Energy regarding relocating the utility
- 43 pole;
- 44 4. Verify the dimensions of the driveway on the south side of the building;

- 1 5. Confirm the outside turning radius of 45’ and an inside turning radius
- 2 of 25’ and potential elimination of parking spaces;
- 3 6. Engineering of the driveway design and report on the south side of the
- 4 building;
- 5 7. Relocate the gate on the north side of the property with the
- 6 elimination of guard rails; and,
- 7 8. Clarify the use as office / administrative use.
- 8 9. Clarify the subject parcel boundaries.
- 9

10 The applicant agreed to submit an updated site plan with the additional revisions and provide
11 the requested information. Formal site plan will review will begin when the requested
12 information is received by the Township.

13
14 No formal action was taken on this agenda item.

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16 **Old Business**

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18 **Master Plan, 63-Day Comment Period**

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20 The next item on the agenda was consideration of whether to authorize the 63-day comment
21 period regarding the master plan. The Planning Commission decided to forward the Master Plan
22 to the Township Board to open the 63-day comment period.

23
24 Upon motion by Mihelich, supported by Cook, and 6-0 vote, the Planning Commission forwarded
25 the Master Plan to the Township Board with the recommendation to open the 63-day comment
26 period.

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28 **Members of the Audience**

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30 None.

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32 **Communications**

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34 None.

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36 **Report of the Township Board Representative**

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38 None.

39 **Report of the Zoning Board of Appeals Representative**

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41 Nagler discussed the recent business of the ZBA.

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43 **Comments of the Planning Commission Members**

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1 The Commissioners generally discussed planning and zoning updates.

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3 **Report of the Planner/Zoning Administrator**

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5 The Planning Commission discussed the next meeting date.

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7 **Report of the Township Attorney**

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9 None.

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11 **Adjournment**

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13 The September 7, 2023 regular Planning Commission meeting was adjourned at 8:55 p.m.

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SUMMARY OF ACTIONS

21 The Charter Township of Kalamazoo Planning Commission undertook the following actions at its
22 regular Planning Commission meeting held on September 7, 2023:

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- 1. Approved the annual review of Stoneco Gravel and renewed the Special Land Use Permit for another year, with conditions.

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, Secretary

, Secretary



Memorandum

TO: Kalamazoo Charter Township Planning Commission
FROM: Danielle Bouchard, AICP, Principal Planner
SUBJECT: **521 E. Mosel – Special Land Use Change of Use**
DATE: November 17, 2023

The applicant, **Pinebrook Warren LLC**, is requesting a public hearing and special land use approval for a change of use/new use. Currently, operations located at 521 E. Mosel include the growing and cultivating of marihuana for adult use and medicinal purposes. This particular property has received several approvals from the Planning Commission over the years. These include:

- Approval for a medical marihuana provisioning center, grow facility, and future processing facility in July 2018.
- Approval of an adult use marihuana retail center to be added to the existing medical marihuana provisioning center, grow facility, and future processing facility in May 2020.
- Approval of an adult use and medical marihuana processing facility to the existing medical marihuana provisioning center, grow facility, and retail center in February 2021.
- Approval for an additional grow and cultivating license to increase the number of plants permitted on site in April 2022.
- Approval for an additional processing facility on site in December 2022, with conditions to add shields to the exterior lights; add a sidewalk connecting concrete pad to the existing sidewalk or parking lot; address numbers to be contrasting; location of FDC signage to code.
- Approval for warehouse space, storage space, tank room, and office space in November 2023.

CURRENT OPERATIONS

The subject site is *currently* approved for the following operations:

- A Class C (maximum of 2,000 plants) adult use marihuana growing facility (approximately 12,987 square feet – including the Class C medical plants as noted below).
- A Class C (maximum 1,500 plants) medical marihuana growing facility.
- An adult use retail marihuana facility (approximately 3,715 square feet).
- Approximately 12,240 square feet of warehousing space, not utilized for growing, provisioning, or retail. The intent is to apply for a future approval from the Planning Commission for processing.
- A Class C (maximum of 1,500 plants) adult use marihuana growing facility.

SUMMARY OF REQUEST

The applicant seeks site plan and special land use approval to complete the final build-out of the existing building located at 521 E. Mosel. Once complete, the uses for the build-out space include:



- Shipping/receiving/staging area (183 sq. f.t)
- Climate controlled containment area (181 sq. f.t)
- Storage space (184 sq. f.t)
- Bathrooms (178 and 177 sq. ft.)
- Office (176 sq. ft.)
- Breakroom (179 sq. ft.)

The applicant is also proposing screening around mechanical equipment on the south side of the building as well as a build-out of the existing processing area and modifications to the existing shipping/receiving area.

An adult use marijuana grower (subject to Article 8, Section 8.02 WW 4) and processor are permitted uses in the I-2 District, subject to special land use approval and requires a new site plan approval.

Section 26.03.8.b, Modification to Approved Special Land Use, notes the following:

b. Modifications that change the nature of the use or that result in an increase in the intensity of the use shall be reviewed in the same manner as a new special land use proposal, following the procedures in this Section.

The proposed added uses for the final build-out (listed above) have been interpreted as a modification to the approved site plan and special land use. Therefore, Planning Commission approval is required.

STANDARDS FOR GRANTING SPECIAL LAND USE APPROVAL

Section 26.03.C of the Township Zoning Ordinance outlines the standards for granting special land use approval. Those standards are as follows.

1. Compatibility with Adjacent Uses

The proposed special land use shall be designed, constructed, operated and maintained to be compatible with uses on surrounding land. The site design of the proposed special land use shall minimize the impact of site activity on surrounding properties. In determining whether this requirement has been met, consideration shall be given to:

- a. The location and screening of vehicular circulation and parking areas in relation to surrounding development.*

As it relates to the proposed special land use request, the parking plan will not change. This is due to the additional uses/renovations occurring within the enclosed existing building. The footprint is not proposed to change. Therefore, current conditions as approved by the Planning Commission, are planned to remain.

- b. The location and screening of outdoor storage, outdoor activity or work areas, and mechanical equipment in relation to surrounding development.*

No outdoor storage of materials or equipment is proposed. No outside storage of materials is permitted on the site. The mechanical equipment is planned to be screened by an eight (8) foot fence. This is compliant with fencing requirements in the I-2 District.



- c. *The hours of operation of the proposed use. Approval of a special land use may be conditioned upon operation within specified hours considered appropriate to ensure minimal impact on surrounding uses.*

The retail component on the site is 9am-9pm Monday through Friday and 10am-8pm on Sundays. For the growing component on site, the applicant has noted that the core hours are from 6:00am – 4:30pm with a swing shift from 2:00pm to 10:30pm. The hours of operation for the processing on site shall be conducted in conjunction with the growing component, which is planned to occur during the hours of 6:00am and 4:30pm.

The applicant shall provide further information regarding the proposed hours and frequency of loading and unloading activities to occur on-site.

- d. *The bulk, placement, and materials of construction of the proposed use in relation to surrounding uses.*

The bulk, placement, and materials of construction of the proposed use are not anticipated to cause any adverse effects to the surrounding uses.

- e. *Proposed landscaping and other site amenities. Additional landscaping over and above the requirements of this Ordinance may be required as a condition of approval of a special land use.*

Due to the interior renovations of the request, we do not anticipate any changes to current landscaping conditions.

2. Compatibility with the Master Plan

The proposed special land use shall be consistent with the general principles and objectives of the Township's Master Plan.

The subject site and surrounding sites are zoned and planned for general industrial uses.

3. Public Services

The proposed special land use shall be located so as to be adequately served by essential public facilities and services, such as highways, roads, police and fire protection, drainage systems, water and sewage facilities, and schools, unless the proposal contains an acceptable plan for providing necessary services or evidence that such services will be available by the time the special land use is established.

We do not anticipate the final build-out to have great impact on Township utilities or public services.

4. Impact of Traffic

The location of the proposed special land use within the zoning district shall minimize the impact of the traffic generated by the proposed use. In determining whether this requirement has been met, consideration shall be given to the following:

- a. *Proximity and access to major thoroughfares.*

The site currently has over 450 feet of frontage along E, Mosel Avenue. The proposed use is adequately served by major thoroughfares in the Township.



b. Estimated traffic generated by the proposed use.

The applicant has not provided details on the anticipated change or increase in traffic generated as a result of the proposed uses.

c. Proximity and relation to intersections.

The site's driveway is located over 700 feet from the intersection, at N. Pitcher Street and E. Mosel Avenue and approximately 576 feet from the intersection at E. Mosel and Harrison Street. It is not anticipated the proposed new use will cause any adverse effects to either intersection.

d. Adequacy of driver sight distances.

Driver site distances are not proposed to change due to no exterior modifications being proposed at this time. Future review may be required should exterior modifications/alterations be proposed.

e. Location of and access to off-street parking.

Off-street parking is located on the front and rear of the site. The site includes 80 parking spaces in total (23 spaces on the southern portion of the site and 57 on the northern portion of the site). The retail parking area includes 1 barrier free space and the rear parking lot includes 3 barrier free spaces.

f. Required vehicular turning movements.

The driveways on the west side of the site are approximately 50 feet wide. The driveway on the east side of the site (to access the retail store) is approximately 26 feet wide. Larger vehicles that will access the site will utilize the wider entrances on the west side of the site, where the retail entrance is intended for personal passenger vehicle traffic. It is not likely that the proposed new use will affect vehicle turning movements or cause adverse effects on the site.

g. Provisions for pedestrian traffic.

A 5-foot-wide sidewalk is included on the site plans and exists on site. A bike rack has also been added to the site, as a result of the site plan approval from April 2022.

5. Detrimental Effects

The proposed special land use shall not involve any activities, processes, materials, equipment, or conditions of operation, and shall not be located or designed so as to be detrimental or hazardous to persons or property or to public health, safety, and welfare. In determining whether this requirement has been met, consideration shall be given to the level of traffic, noise, vibration, smoke, fumes, odors, dust, glare, and light.

It is not anticipated that the proposed use will cause adverse effects that cannot be mitigated through site design or operational limitations.

6. Economic Well-Being of the Community

The proposed special land use shall not be detrimental to the economic well-being of those who will use the land, residents, businesses, landowners, and the community as a whole.



It is not anticipated that the proposed use will cause any adverse effects to the economic well-being of the community.

7. **Compatibility with Natural Environment**

The proposed special land use shall be compatible with the natural environment and conserve natural resources and energy.

The subject site and surrounding sites are all currently zoned and planned for industrial uses. This is compatible with the proposed use located at 521 E. Mosel Avenue.

RECOMMENDATIONS

We recommend approval of the proposed special land use located at 521 E. Mosel for the interior renovations to the site including:

- Shipping/receiving/staging area (183 sq. f.t)
- Climate controlled containment area (181 sq. f.t)
- Storage space (184 sq. f.t)
- Bathrooms (178 and 177 sq. ft.)
- Office (176 sq. ft.)
- Breakroom (179 sq. ft.)
- Mechanical equipment screening with 8 ft. fence
- Processing area build-out (167 sq. ft.)
- Existing processing/receiving area modifications (168 sq. ft.)

Subject to the following conditions:

1. The applicant complies with all review requirements as noted by the Township Fire Marshal and other applicable safety personnel.
2. The applicant shall receive site plan approval by the Kalamazoo Township Planning Commission.

If you have any questions or would like additional information on this recommendation, please feel free to reach out to or Danielle Bouchard, AICP, Principal Planner, at DBouchard@mcka.com.

Respectfully Submitted,
McKenna

Danielle Bouchard, AICP
Principal Planner

Memorandum

TO: Kalamazoo Township Planning Commission
FROM: Danielle Bouchard, AICP – Township Planner
Kyle Mucha, AICP – Township Zoning Administrator
SUBJECT: **Site Plan Review – 316 West Mosel Avenue – “Margaret Daycare”**
DATE: November 9, 2023

The applicant, **Bosch Architecture**, on behalf of the property owner (**Joy Abimbowo**), is seeking site plan approval to operate a daycare. The subject site is located at 316 W. Mosel Avenue.

OVERVIEW

The applicant is requesting site plan approval to operate a group daycare facility at 316 West Mosel Avenue. The subject site is currently zoned C-1, Local Commercial. A child care center/daycare center is considered a principally permitted use within the C-1, Local Commercial District (Section 17.02) and does not require special land use review and approval.

The Township Zoning Ordinance defines a Child Care Center/Day Care Center as the following:

“A facility, other than a private residence, receiving more than twelve (12) preschool or school-age children for group care for periods of less than twenty-four (24) hours a day, and where the parents or guardians are not immediately available to the child. It includes a facility that provides care for not less than two (2) consecutive weeks regardless of the number of hours of care per day.”

USE OF THE PROPERTY

The property is improved with a 4,114 square foot building and associated parking lot. The previous use of the subject site was a financial institution. However, the use was discontinued in recent months. Currently, the subject property is not utilized.

The property has direct frontage along West Mosel Avenue and is located between N. Westnedge Avenue to the west and N. Burdick Street to the east.

EXISTING AND SURROUNDING CONDITIONS AND ZONING DISTRICTS

The existing zoning district on the subject site is C-1, Local Commercial. Properties to the east, south and west are also zoned C-1, with adjacent properties to the north zoned R-2, Single & Two-Family Residential.

While no direct impact on this review, there exists a lawfully established marijuana grow facility to the southeast of the subject site at 2609 N. Burdick. The grow facility is outside of the required buffer distances and the establishment of a daycare facility at this location should not trigger any nonconformities with the Township Zoning Ordinance.





SITE PLAN REVIEW

A. Schedule of Regulations: Section 25.02

Regulation Type	C-1 District Requirements	316 W Mosel Conditions	Compliance with Ordinance Standards
Minimum Lot Area	10,890 sq. ft.	87,120 sq. ft.	Yes
Minimum Lot Width	70 ft.	148.5 ft.	Yes
Maximum Stories	2	1	Yes
Maximum Building Height	30 ft.	>30 ft.	Yes
Front Yard Setback	25 ft.	>75 ft.	Yes
Side Yard Setback	25 ft.	>25 ft.	Yes
Rear Yard Setback	25 ft.	>100 ft.	Yes
Maximum Lot Coverage	60%	25.4%	Yes

The applicant proposes minor site improvements that include a dumpster enclosure, playground area and fencing, and site landscaping enhancements. Based on the documentation provided to the Township, no structural alterations are proposed to take place on the exterior of the site.

B. Parking

The Kalamazoo Township Zoning Ordinance – Article 4 - requires one (1) parking space per six (6) children, based on licensed capacity. In addition, one (1) parking space shall be required for each employee on the largest typical daily work shift.

The site plan details a total of 53 children ($53 / 6 = 8.83$), with 18 employees which would require 27 spaces. The plan notes 39 spaces currently in existence from the previous use of the site as a financial institution. The parking provisions have been satisfied in accordance with the Township Zoning Ordinance.

We also note the current parking lot condition appears to be in a state of disrepair. The applicant shall provide further details if the parking lot is planned to be repaved and/or restriped.

C. Site Circulation

The subject site is serviced by two means of ingress/egress along W. Mosel. The site plan does not dimension the drive aisles for vehicular traffic. The site plan should note the drive aisle width to ensure proper fire safety access.

D. Sidewalks

Per Section 2.18 of the Kalamazoo Township Zoning Ordinance, sidewalks shall be required in conjunction with all new developments or changes of use. Because the proposed project is a change of use, sidewalks shall be required along West Mosel Avenue.



E. Landscaping

In accordance with Article 5, Landscaping and Screening, of the Township Zoning Ordinance, the subject site is required to meet the following regulations:

Landscaping: General Requirements	Requirements	Site Plan Conditions	Compliance with Ordinance Standards
General Landscaping Ratio	1 tree per 3,000 sq. ft. (approx..12 trees)	Existing trees to remain	Likely
Landscaping Adjacent to Roads	1 tree per 40 ft. (D) 1 tree per 100 ft. (O) 8 shrubs per 40 ft. 157 lineal feet of frontage	4 Deciduous 2 ornamentals 32 shrubs	Yes
Berms In Front Yard	Maximum of 3 ft. height	None Shown	NA
Parking Lot Landscaping	Requirements	Site Plan Conditions	Compliance with Ordinance Standards
General Landscaping Ratio	30 sq. ft. per parking space	39 spaces (30 sq ft x 39 spaces = 1,170 sq. ft.) Provided: 2,300	Yes

An estimated 39% of the subject site is open/undeveloped, with existing mature-growth trees located along the northern portion of the site. Based on the parcel size of two (2) acres and an estimated open space of 34,800 square feet, the applicant would be required to plant approximately 12 trees. The site plan notes an existing five (5) trees in the rear yard. Given that the property includes an undeveloped area with existing trees in the rear yard, it is likely that the general site landscaping ratio is met.

It is recommended that the Planning Commission accept the proposed landscaping plan and waive the requirement to install one (1) tree per 3,000 square feet, which would be a waiver of seven (7) additional landscaping trees.

F. Screening

Section 5.03.A.4 requires screening in the form of a landscaped berm, greenbelt, or wall be required whenever a non-residential use (currently proposed) abuts directly upon land zoned or used for residential purposes (adjacent northern parcel).

The subject site is currently undeveloped along the northern portion with the adjacent residential use heavily wooded and in a natural vegetative state. The accompanying aerial photograph depicts the natural landscape of the subject site and the abutting residential use.

Due to the significant distance (estimated at 480+ feet) of the residential dwelling at 2826 N. Westnedge Avenue, a landscape screening would not appear to be crucial, given the existing mature growth trees and distance between structures.

It is recommended that the Planning Commission waive the screening requirement as it pertains to this section of the zoning ordinance.



G. Lighting

No lighting details have been provided for review. The applicant is required to submit lighting details for review.

H. Signage

The site plan notes an existing sign, located along W. Mosel Avenue. However, no further details have been provided regarding site signage. Signage may be reviewed administratively at a later date.

I. Trash Disposal

Trash disposal is regulated by Section 2.22 of the Zoning Ordinance. The applicant proposes to construct a new dumpster enclosure towards the rear of the parcel. The following provisions regulate dumpsters:

1. *Dumpsters shall comply with the setback requirements for the district in which they are located. The proposed location does not meet the side yard setback requirements. The dumpster will need to be relocated to meet this provision.*
2. *Concrete Pad: dumpsters shall be placed on a concrete pad; the concrete pad should extend a minimum of ten (10) feet in front of the dumpster enclosure. The site plan notes a concrete pad, however, does not note a ten-foot extension in front of the enclosure. The applicant should modify the plans to provide concrete a minimum of ten feet in front of the closure.*
3. *Dumpsters shall be screened on three sides with a permanent building, masonry wall, or wood fencing, not less than six feet in height. The site plan notes a vinyl fence for screening purposes. The screening fence shall be made of wood or masonry.*

ADDITIONAL REVIEWS

The Township Fire Marshal and Engineer will provide comments via a separate document.



RECOMMENDATIONS

The applicant has submitted a site plan for the establishment of a childcare/daycare facility at 316 W. Mosel Avenue. The proposal is classified as a permitted use within the C-1, Local Business District.

Based on the analysis conducted in this review memorandum, we find that minor alterations are needed in order to provide a positive recommendation to the Planning Commission for site plan approval. Please refer to the underlined comments contained within this letter. Additionally, while the Township has no control over State of Michigan licensing requirements, the applicant is encouraged to submit documentation of license approval for Township records.

Please feel free to reach out to Kyle Mucha, AICP, at KMucha@mcka.com or Danielle Bouchard, AICP at dbouchard@mcka.com if you have any questions regarding this review.

Respectfully Submitted,

McKenna

Danielle Bouchard

Danielle Bouchard, AICP
Township Planner

KMucha

Kyle Mucha, AICP
Township Zoning Administrator

INDEX OF SHEETS

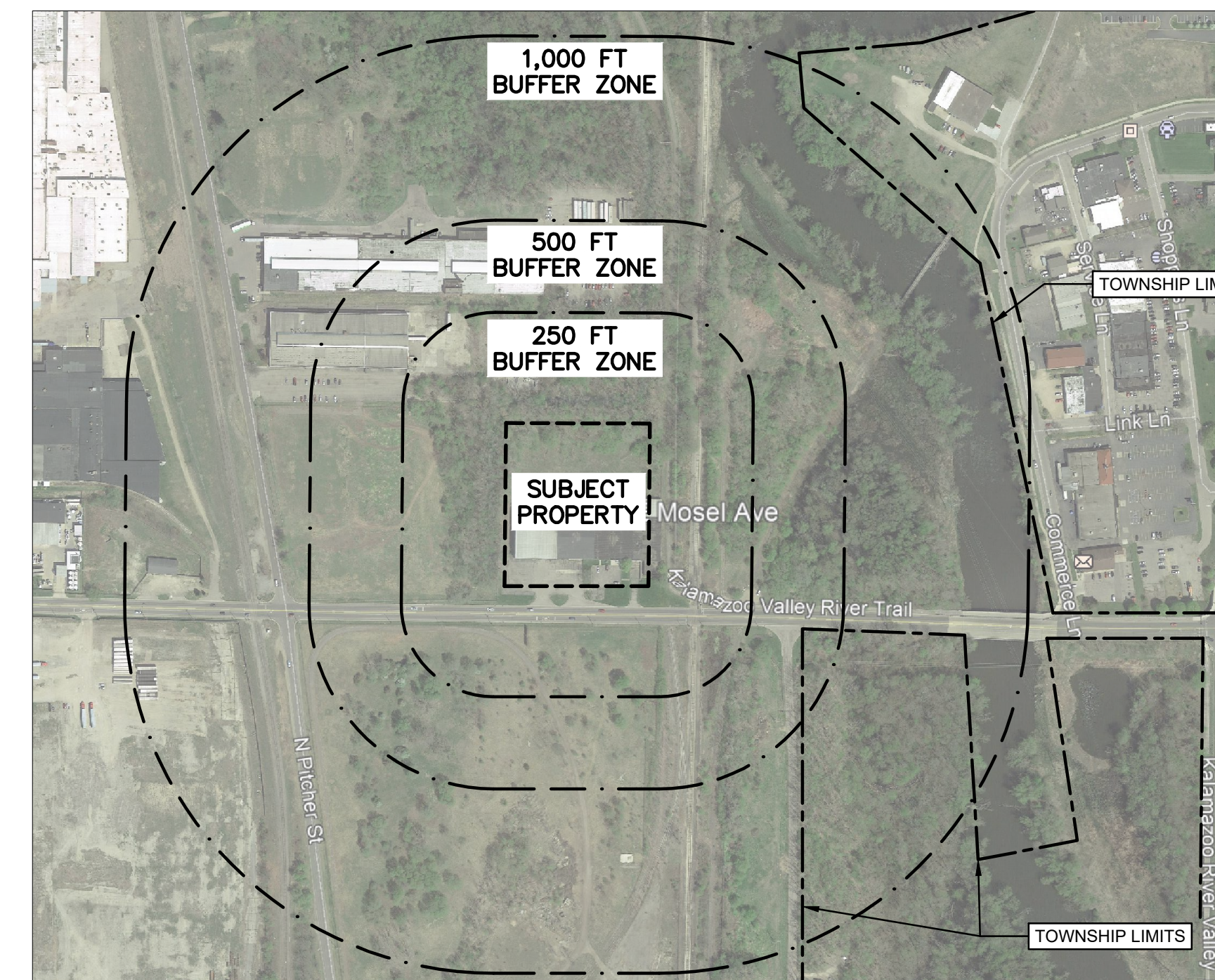
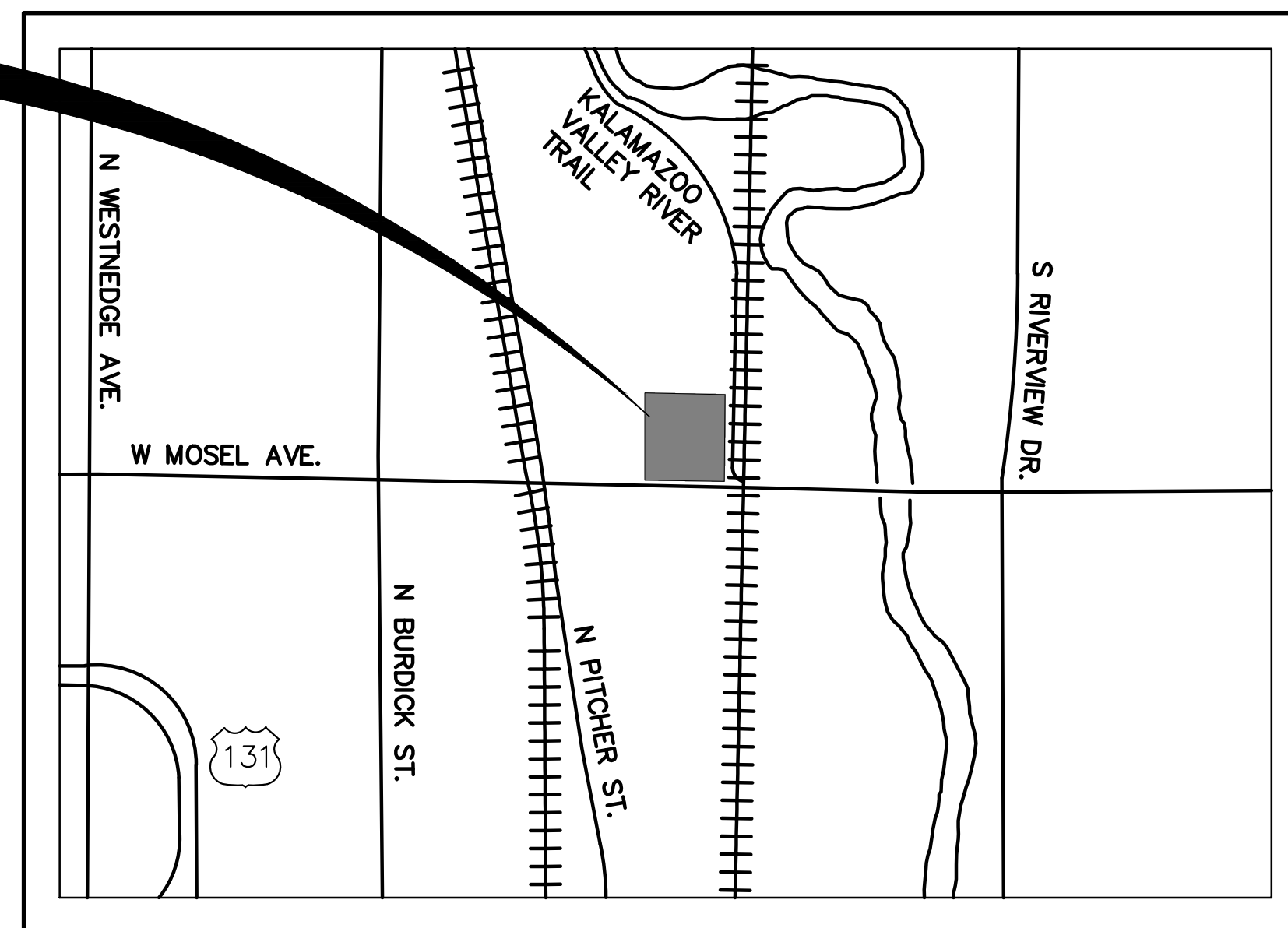
CS	COVER SHEET
C0.1	EXISTING CONDITIONS / REMOVALS PLAN
C1.0	SITE PLAN
C2.0	GRADING, DRAINAGE, & SESC PLAN



MICHIGAN OPPORTUNITY 1, LLC

521 E. MOSEL AVENUE
 CHARTER TOWNSHIP OF KALAMAZOO
 KALAMAZOO COUNTY, MICHIGAN

PROJECT LOCATION



Know what's below.
 Call before you dig.

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

BENCH MARKS:
 BM 1 TOP OF HYDRANT PUMP VALVE
 Elevation: 763.46 (NAVD 88)

PROJECT LOCATION

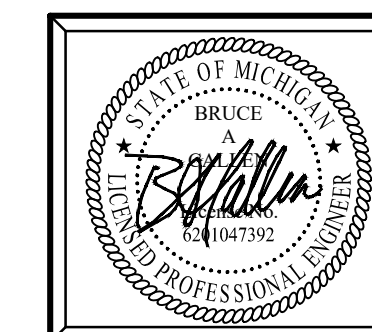
SECTION 3, T2S, R11W,
 CHARTER TOWNSHIP OF KALAMAZOO,
 KALAMAZOO COUNTY, MICHIGAN

OWNER

521 E. MOSEL, LLC
 801 W. BIG BEAVER RD. SUITE 402
 TROY, MICHIGAN 48084


APPLICANT

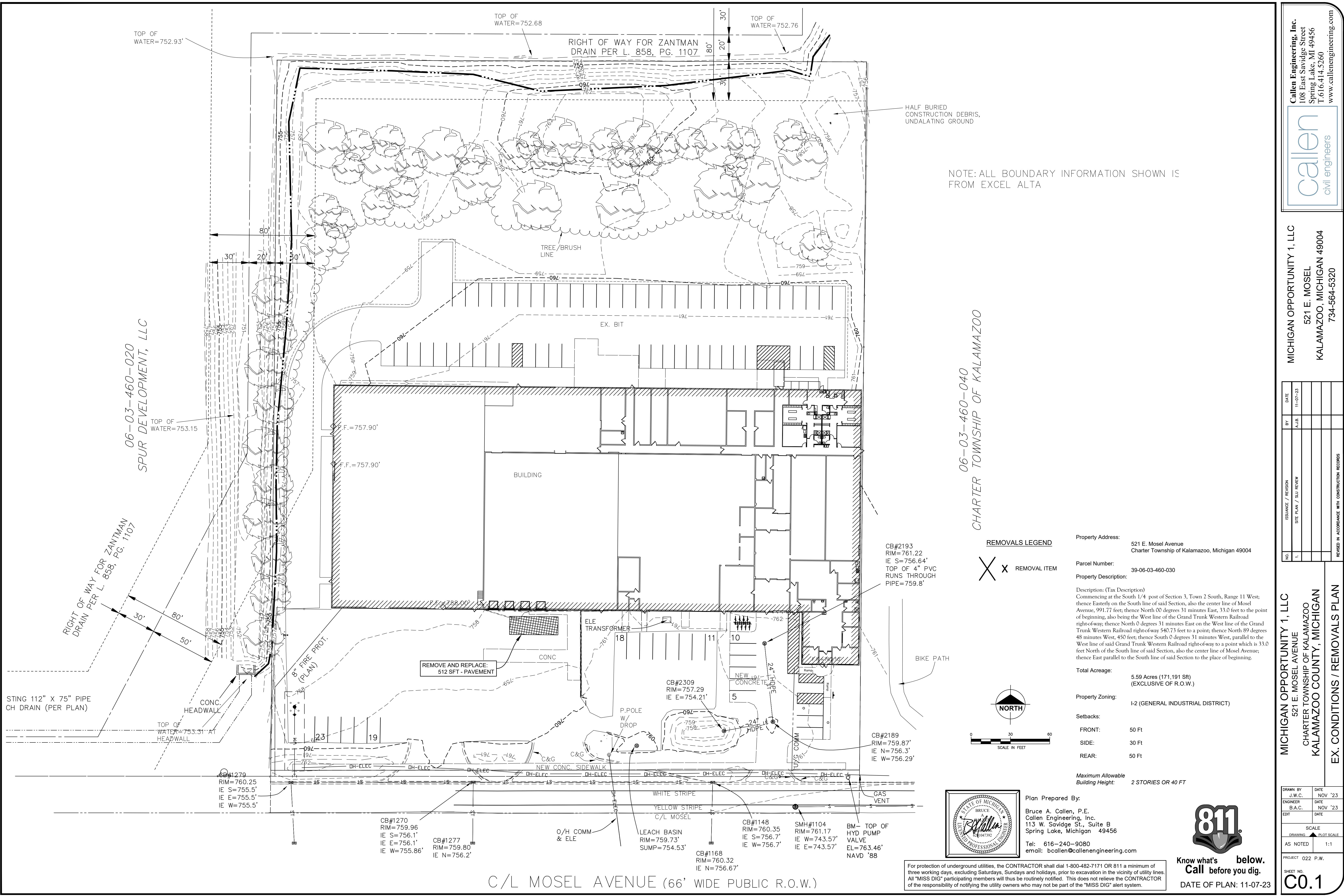
MICHIGAN OPPORTUNITY 1, LLC
 521 E. MOSEL
 KALAMAZOO, MICHIGAN 49004
 PHONE: 734-564-5320



Plan Prepared By:
 Bruce A. Callen, P.E.
 Callen Engineering, Inc.
 108 E. Savidge St
 Spring Lake, Michigan 49456
 Tel: 616-414-5260
 email: bcallen@callenengineering.com

DATE OF PLAN: 11-07-23

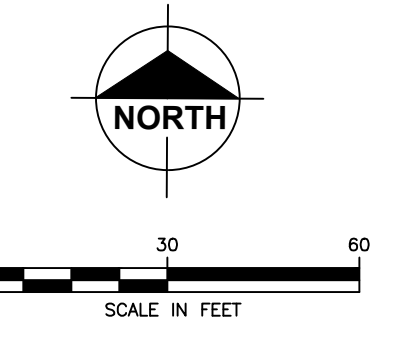
ISSUANCES	
SITE PLAN / SLU REVIEW	11-07-23
REVISIONS	
DESIGNED BY:	
 Callen Engineering, Inc. 108 East Savidge Street Spring Lake, MI 49456 T.616.414.5260 www.callenengineering.com	
Drawn by J.W.C.	Engineer B.A.C. Check A.J.B.
Callen Engineering Project No. 022 P.W.	Sheet No. CS



NOTE: ALL BOUNDARY INFORMATION SHOWN IS FROM EXCEL ALTA

REMOVALS LEGEND

X X REMOVAL ITEM



Property Address: 521 E. Mosel Avenue
Charter Township of Kalamazoo, Michigan 49004

Parcel Number: 39-06-03-460-030

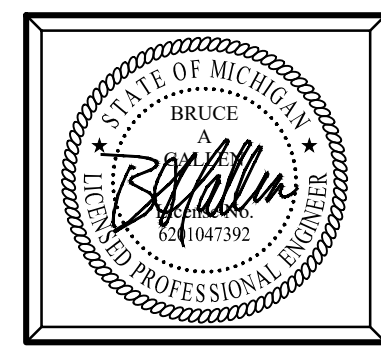
Property Description: 5.59 Acres (171,191 Sft) (EXCLUSIVE OF R.O.W.)

Description: (Tax Description)
Commencing at the South 1/4 post of Section 3, Town 2 South, Range 11 West; thence Easterly on the South line of said Section, also the center line of Mosel Avenue, 991.77 feet; thence North 00 degrees 31 minutes East, 33.0 feet to the point of beginning, also being the West line of the Grand Trunk Western Railroad right-of-way; thence North 0 degrees 31 minutes East on the West line of the Grand Trunk Western Railroad right-of-way 540.73 feet to a point; thence North 89 degrees 48 minutes West, 450 feet; thence South 0 degrees 31 minutes West, parallel to the West line of said Grand Trunk Western Railroad right-of-way to a point which is 33.0 feet North of the South line of said Section, also the center line of Mosel Avenue; thence East parallel to the South line of said Section to the place of beginning.

Property Zoning: I-2 (GENERAL INDUSTRIAL DISTRICT)

Setbacks:
FRONT: 50 Ft
SIDE: 30 Ft
REAR: 50 Ft

Maximum Allowable Building Height: 2 STORIES OR 40 FT



Plan Prepared By:
Bruce A. Callen, P.E.
Callen Engineering, Inc.
113 W. Sawidge St., Suite B
Spring Lake, Michigan 49456
Tel: 616-240-9080
email: bcallen@callenengineering.com

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.



DATE OF PLAN: 11-07-23

Callen Engineering, Inc.
108 East Sawidge Street
Spring Lake, MI 49456
T. 616.244.5260
www.callenengineering.com

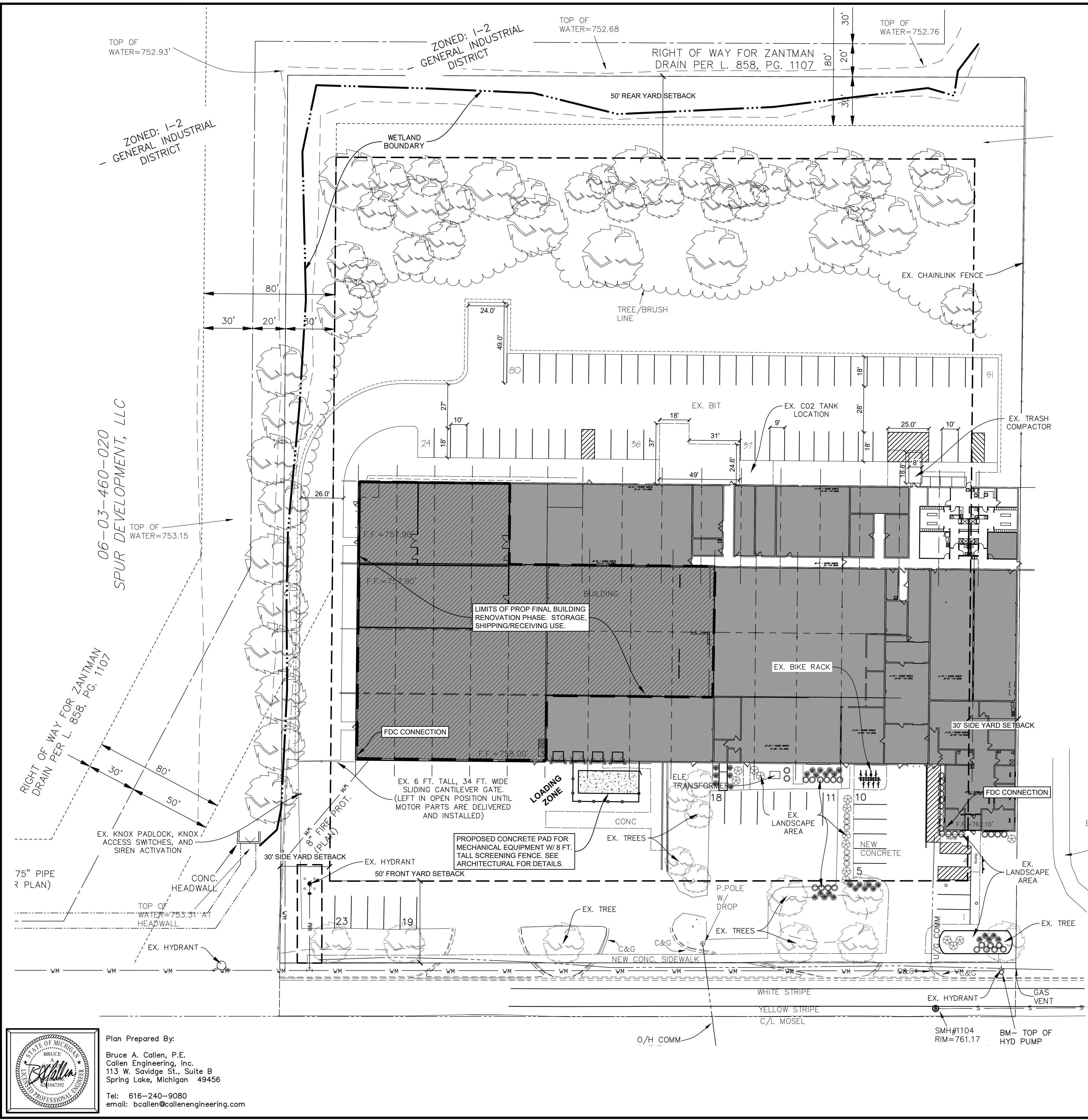


MICHIGAN OPPORTUNITY 1, LLC
521 E. MOSEL
KALAMAZOO, MICHIGAN 49004
734-564-5320

NO.	ISSUANCE / REVISION	DATE
1	BY: AUB SITE PLAN / SUI REVIEW	11-07-23

MICHIGAN OPPORTUNITY 1, LLC
521 E. MOSEL AVENUE
CHARTER TOWNSHIP OF KALAMAZOO
KALAMAZOO COUNTY, MICHIGAN
EX. CONDITIONS / REMOVALS PLAN

DRAWN BY	DATE
J.W.C.	NOV '23
ENGINEER	DATE
B.A.C.	NOV '23
EDIT	DATE
SCALE	SCALE
DRAWING	PLOT SCALE
AS NOTED	1:1
PROJECT	022 P.W.
SHEET NO.	C0.1



GENERAL NOTES

- PROJECT INCLUDES RENOVATION OF 26,473 SFT. OF AN EXISTING BUILDING FOR STORAGE AND SHIPPING/ RECEIVING USE INCIDENTAL TO PREVIOUSLY APPROVED USES IN THE BUILDING. RELATED IMPROVEMENTS INCLUDE A NEW SCREENED MECHANICAL EQUIPMENT PAD ON THE SOUTH SIDE OF THE BUILDING.
- THE DEVELOPMENT IS SERVED BY EXISTING PUBLIC SANITARY SEWER AND PUBLIC WATERMAIN.
- ACCESS TO THE DEVELOPMENT SHALL BE VIA THREE (3) EXISTING CURB CUTS ONTO MOSEL AVENUE.
- STORM DRAINAGE SHALL BE CONVEYED VIA SURFACE FLOW, AND DIRECTED TO AN EXISTING RETENTION SWALE.
- PARKING AND DRIVE AREAS SHALL BE PAVED WITH BITUMINOUS AND CONCRETE PAVEMENT.

PARKING	REQUIRED	PROVIDED
General Retail Sales Use:	1 space per 200 sft UFA 2,064 UFA / 200 =	13 spaces 10 (Front of Bldg) 3 (Rear of Bldg)
Warehouse Use:	1 space per 1,000 sft GFA 59,200 GFA / 1,000 =	60 spaces 13 (Front of Bldg) 54 (Rear of Bldg)
TOTAL:		73 spaces 80 spaces

- NO NEW SITE LIGHTING IS PROPOSED. IN THE EVENT THAT THE LIGHTING ON THE NORTH SIDE OF THE BUILDING IMPACTS THE NEIGHBORING PROPERTY, THE SITE OWNER WILL REMOVE OR REPLACE THE BULB WITH A COMPLYING FIXTURE. THE APPLICANT SHALL PROVIDE LIGHT FIXTURE DETAILS TO THE TOWNSHIP TO ENSURE LIGHTS ARE COMPLIANT WITH TOWNSHIP STANDARDS IN TERMS OF HEIGHT, SHIELDING REQUIREMENTS, AND NUMBER.
- EX. LANDSCAPING AND SCREENING SHALL MEET THE INTENT OF CHARTER TOWNSHIP OF KALAMAZOO ZONING ORDINANCE.
- NO NEW SITE SIGNAGE IS PROPOSED.
- SUBJECT SITE MEETS ALL BUFFER REQUIREMENTS PER SECTION 8.02. PART V.V. OF THE CHARTER TOWNSHIP OF KALAMAZOO ZONING ORDINANCE.
- REQUIRED LOADING ZONE LOCATED IN BUILDING INTERIOR AND LOADING BAYS FRONTING THE BUILDING.

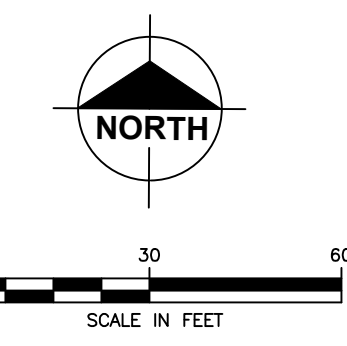
LANDSCAPE DATA

GENERAL SITE LANDSCAPING

TREES

OPEN SPACE AREA:	100,693 SFT.
TREES REQ. (1 TREE / 3,000 SFT.):	34 TREES
TREES PROVIDED:	45 EXISTING TREES

- PROPOSED FEATURES LEGEND**
- NEW CONCRETE AREA
 - WAREHOUSE USE
 - GENERAL RETAIL USE
 - EX. TREE TO REMAIN



Plan Prepared By:

Bruce A. Callen, P.E.
Callen Engineering, Inc.
113 W. Savidge St., Suite B
Spring Lake, Michigan 49456

Tel: 616-240-9080
email: bcallen@callenengineering.com

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811

Know what's below.
Call before you dig.

DATE OF PLAN: 11-07-23

Callen Engineering, Inc.
108 East Savidge Street
Spring Lake, MI 49456
T. 616-240-5260
www.callenengineering.com

MICHIGAN OPPORTUNITY 1, LLC

521 E. MOSEL

KALAMAZOO, MICHIGAN 49004

734-564-5320

MICHIGAN OPPORTUNITY 1, LLC

521 E. MOSEL AVENUE

CHARTER TOWNSHIP OF KALAMAZOO

KALAMAZOO COUNTY, MICHIGAN

SITE PLAN

NO.	ISSUANCE / REVISION	DATE
1	DATE: 11-07-23 BY: AUB SITE PLAN / SUB REVIEW	

REVISED IN ACCORDANCE WITH CONSTRUCTION RECORDS

DRAWN BY	DATE
J.W.C.	NOV '23
ENGINEER	DATE
B.A.C.	NOV '23
EDIT	DATE

SCALE
DRAWING: 1" = 100'
PILOT SCALE: AS NOTED 1:1

PROJECT 022 P.W.

C1.0

TOP OF WATER=752.93'

TOP OF WATER=752.68

TOP OF WATER=752.76

RIGHT OF WAY FOR ZANTMAN DRAIN PER L. 858, PG. 1107

06-03-460-020 SPUR DEVELOPMENT, LLC

RIGHT OF WAY FOR ZANTMAN DRAIN PER L. 858, PG. 1107

STING 112" X 75" PIPE CH DRAIN (PER PLAN)

CONC. HEADWALL

TOP OF WATER=753.31' AT HEADWALL

CB#1279 RIM=760.25 IE S=755.5' IE E=755.5' IE W=755.5'

CB#1270 RIM=759.96 IE S=756.1' IE E=756.1' IE W=755.86'

CB#1277 RIM=759.80 IE N=756.2'

O/H COMM & ELE

LEACH BASIN RIM=759.73' SUMP=754.53'

CB#1168 RIM=760.32 IE N=756.67'

CB#1148 RIM=760.35 IE S=756.7' IE W=756.7'

SMH#1104 RIM=761.17 IE W=743.57' IE E=743.57'

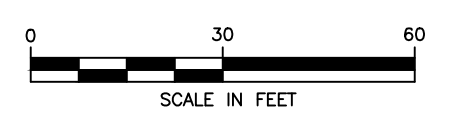
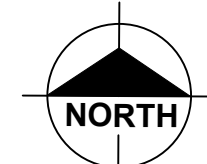
BM- TOP OF HYD PUMP VALVE EL=763.46' NAVD '88

CB#2193 RIM=761.22 IE S=756.64' TOP OF 4" PVC RUNS THROUGH PIPE=759.8'

CB#2309 RIM=757.29 IE E=754.21'

CB#2189 RIM=759.87' IE N=756.3' IE W=756.29'

DRAINAGE FLOW DIRECTION

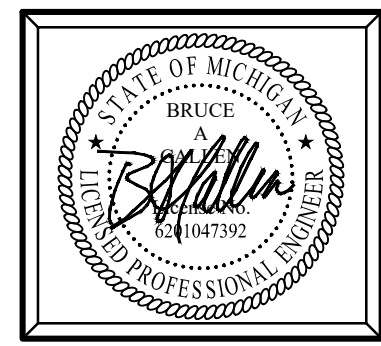


For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.



Know what's below. Call before you dig.

DATE OF PLAN: 11-07-23



Plan Prepared By:
Bruce A. Callen, P.E.
Callen Engineering, Inc.
113 W. Savidge St., Suite B
Spring Lake, Michigan 49456
Tel: 616-240-9080
email: bcallen@callenengineering.com

Callen Engineering, Inc.
108 East Savidge Street
Spring Lake, MI 49456
T. 616.240.5260
www.callenengineering.com



MICHIGAN OPPORTUNITY 1, LLC
521 E. MOSEL
KALAMAZOO, MICHIGAN 49004
734-564-5320

NO.	ISSUANCE / REVISION	DATE
1	SITE PLAN / SUI REVIEW	11-07-23

MICHIGAN OPPORTUNITY 1, LLC
521 E. MOSEL AVENUE
CHARTER TOWNSHIP OF KALAMAZOO
KALAMAZOO COUNTY, MICHIGAN
GRADING, DRAINAGE, & SESC PLAN

DRAWN BY	DATE
J.W.C.	NOV '23
ENGINEER	DATE
B.A.C.	NOV '23
EDIT	DATE
SCALE	PLOT SCALE
AS NOTED	1:1
PROJECT	022 P.W.
SHEET NO.	C2.0

Memorandum

TO: Kalamazoo Township Planning Commission
FROM: Danielle Bouchard, AICP – Township Planner
Kyle Mucha, AICP – Township Zoning Administrator
SUBJECT: **Site Plan Review – 316 West Mosel Avenue – “Margaret Daycare”**
DATE: November 9, 2023

The applicant, **Bosch Architecture**, on behalf of the property owner (**Joy Abimbowo**), is seeking site plan approval to operate a daycare. The subject site is located at 316 W. Mosel Avenue.

OVERVIEW

The applicant is requesting site plan approval to operate a group daycare facility at 316 West Mosel Avenue. The subject site is currently zoned C-1, Local Commercial. A child care center/daycare center is considered a principally permitted use within the C-1, Local Commercial District (Section 17.02) and does not require special land use review and approval.

The Township Zoning Ordinance defines a Child Care Center/Day Care Center as the following:

“A facility, other than a private residence, receiving more than twelve (12) preschool or school-age children for group care for periods of less than twenty-four (24) hours a day, and where the parents or guardians are not immediately available to the child. It includes a facility that provides care for not less than two (2) consecutive weeks regardless of the number of hours of care per day.”

USE OF THE PROPERTY

The property is improved with a 4,114 square foot building and associated parking lot. The previous use of the subject site was a financial institution. However, the use was discontinued in recent months. Currently, the subject property is not utilized.

The property has direct frontage along West Mosel Avenue and is located between N. Westnedge Avenue to the west and N. Burdick Street to the east.

EXISTING AND SURROUNDING CONDITIONS AND ZONING DISTRICTS

The existing zoning district on the subject site is C-1, Local Commercial. Properties to the east, south and west are also zoned C-1, with adjacent properties to the north zoned R-2, Single & Two-Family Residential.

While no direct impact on this review, there exists a lawfully established marijuana grow facility to the southeast of the subject site at 2609 N. Burdick. The grow facility is outside of the required buffer distances and the establishment of a daycare facility at this location should not trigger any nonconformities with the Township Zoning Ordinance.





SITE PLAN REVIEW

A. Schedule of Regulations: Section 25.02

Regulation Type	C-1 District Requirements	316 W Mosel Conditions	Compliance with Ordinance Standards
Minimum Lot Area	10,890 sq. ft.	87,120 sq. ft.	Yes
Minimum Lot Width	70 ft.	148.5 ft.	Yes
Maximum Stories	2	1	Yes
Maximum Building Height	30 ft.	>30 ft.	Yes
Front Yard Setback	25 ft.	>75 ft.	Yes
Side Yard Setback	25 ft.	>25 ft.	Yes
Rear Yard Setback	25 ft.	>100 ft.	Yes
Maximum Lot Coverage	60%	25.4%	Yes

The applicant proposes minor site improvements that include a dumpster enclosure, playground area and fencing, and site landscaping enhancements. Based on the documentation provided to the Township, no structural alterations are proposed to take place on the exterior of the site.

B. Parking

The Kalamazoo Township Zoning Ordinance – Article 4 - requires one (1) parking space per six (6) children, based on licensed capacity. In addition, one (1) parking space shall be required for each employee on the largest typical daily work shift.

The site plan details a total of 53 children ($53 / 6 = 8.83$), with 18 employees which would require 27 spaces. The plan notes 39 spaces currently in existence from the previous use of the site as a financial institution. The parking provisions have been satisfied in accordance with the Township Zoning Ordinance.

We also note the current parking lot condition appears to be in a state of disrepair. The applicant shall provide further details if the parking lot is planned to be repaved and/or restriped.

C. Site Circulation

The subject site is serviced by two means of ingress/egress along W. Mosel. The site plan does not dimension the drive aisles for vehicular traffic. The site plan should note the drive aisle width to ensure proper fire safety access.

D. Sidewalks

Per Section 2.18 of the Kalamazoo Township Zoning Ordinance, sidewalks shall be required in conjunction with all new developments or changes of use. Because the proposed project is a change of use, sidewalks shall be required along West Mosel Avenue.



E. Landscaping

In accordance with Article 5, Landscaping and Screening, of the Township Zoning Ordinance, the subject site is required to meet the following regulations:

Landscaping: General Requirements	Requirements	Site Plan Conditions	Compliance with Ordinance Standards
General Landscaping Ratio	1 tree per 3,000 sq. ft. (approx..12 trees)	Existing trees to remain	Likely
Landscaping Adjacent to Roads	1 tree per 40 ft. (D) 1 tree per 100 ft. (O) 8 shrubs per 40 ft. 157 lineal feet of frontage	4 Deciduous 2 ornamentals 32 shrubs	Yes
Berms In Front Yard	Maximum of 3 ft. height	None Shown	NA
Parking Lot Landscaping	Requirements	Site Plan Conditions	Compliance with Ordinance Standards
General Landscaping Ratio	30 sq. ft. per parking space	39 spaces (30 sq ft x 39 spaces = 1,170 sq. ft.) Provided: 2,300	Yes

An estimated 39% of the subject site is open/undeveloped, with existing mature-growth trees located along the northern portion of the site. Based on the parcel size of two (2) acres and an estimated open space of 34,800 square feet, the applicant would be required to plant approximately 12 trees. The site plan notes an existing five (5) trees in the rear yard. Given that the property includes an undeveloped area with existing trees in the rear yard, it is likely that the general site landscaping ratio is met.

It is recommended that the Planning Commission accept the proposed landscaping plan and waive the requirement to install one (1) tree per 3,000 square feet, which would be a waiver of seven (7) additional landscaping trees.

F. Screening

Section 5.03.A.4 requires screening in the form of a landscaped berm, greenbelt, or wall be required whenever a non-residential use (currently proposed) abuts directly upon land zoned or used for residential purposes (adjacent northern parcel).

The subject site is currently undeveloped along the northern portion with the adjacent residential use heavily wooded and in a natural vegetative state. The accompanying aerial photograph depicts the natural landscape of the subject site and the abutting residential use.

Due to the significant distance (estimated at 480+ feet) of the residential dwelling at 2826 N. Westnedge Avenue, a landscape screening would not appear to be crucial, given the existing mature growth trees and distance between structures.

It is recommended that the Planning Commission waive the screening requirement as it pertains to this section of the zoning ordinance.



G. Lighting

No lighting details have been provided for review. The applicant is required to submit lighting details for review.

H. Signage

The site plan notes an existing sign, located along W. Mosel Avenue. However, no further details have been provided regarding site signage. Signage may be reviewed administratively at a later date.

I. Trash Disposal

Trash disposal is regulated by Section 2.22 of the Zoning Ordinance. The applicant proposes to construct a new dumpster enclosure towards the rear of the parcel. The following provisions regulate dumpsters:

1. *Dumpsters shall comply with the setback requirements for the district in which they are located. The proposed location does not meet the side yard setback requirements. The dumpster will need to be relocated to meet this provision.*
2. *Concrete Pad: dumpsters shall be placed on a concrete pad; the concrete pad should extend a minimum of ten (10) feet in front of the dumpster enclosure. The site plan notes a concrete pad, however, does not note a ten-foot extension in front of the enclosure. The applicant should modify the plans to provide concrete a minimum of ten feet in front of the closure.*
3. *Dumpsters shall be screened on three sides with a permanent building, masonry wall, or wood fencing, not less than six feet in height. The site plan notes a vinyl fence for screening purposes. The screening fence shall be made of wood or masonry.*

ADDITIONAL REVIEWS

The Township Fire Marshal and Engineer will provide comments via a separate document.



RECOMMENDATIONS

The applicant has submitted a site plan for the establishment of a childcare/daycare facility at 316 W. Mosel Avenue. The proposal is classified as a permitted use within the C-1, Local Business District.

Based on the analysis conducted in this review memorandum, we find that minor alterations are needed in order to provide a positive recommendation to the Planning Commission for site plan approval. Please refer to the underlined comments contained within this letter. Additionally, while the Township has no control over State of Michigan licensing requirements, the applicant is encouraged to submit documentation of license approval for Township records.

Please feel free to reach out to Kyle Mucha, AICP, at KMucha@mcka.com or Danielle Bouchard, AICP at dbouchard@mcka.com if you have any questions regarding this review.

Respectfully Submitted,

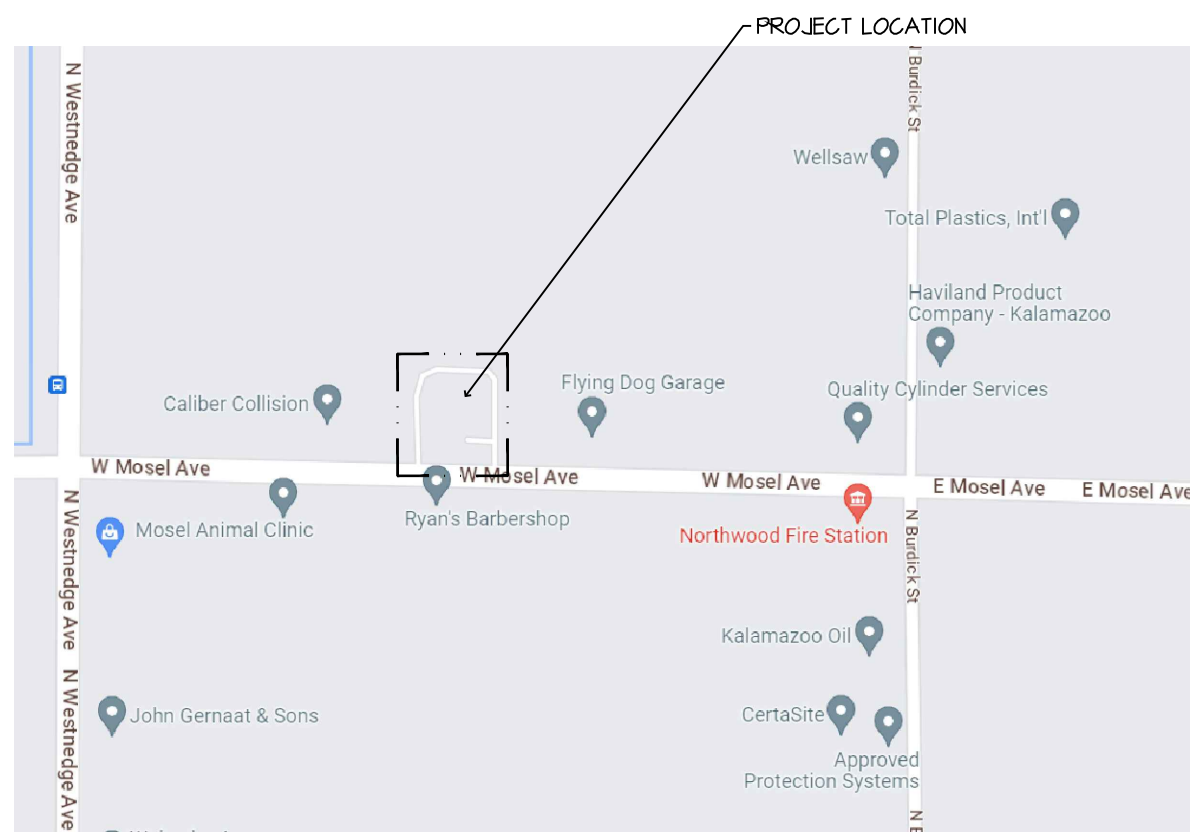
McKenna

Danielle Bouchard

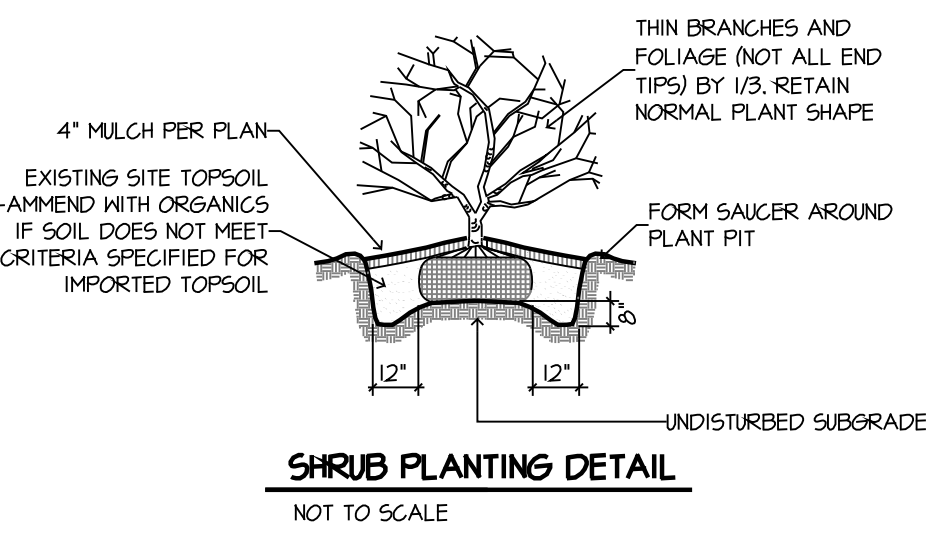
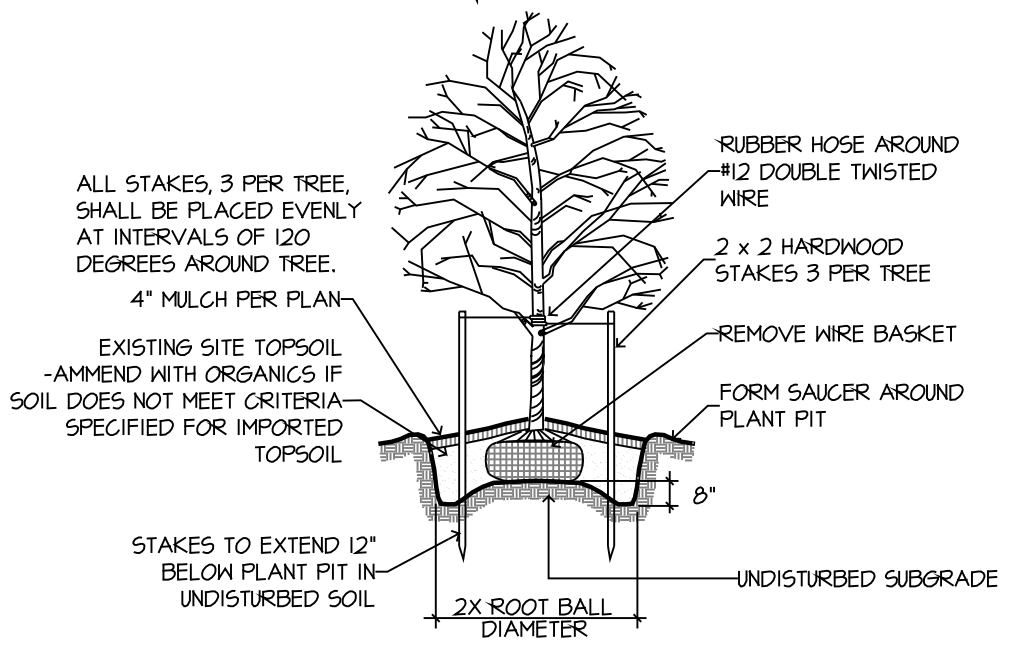
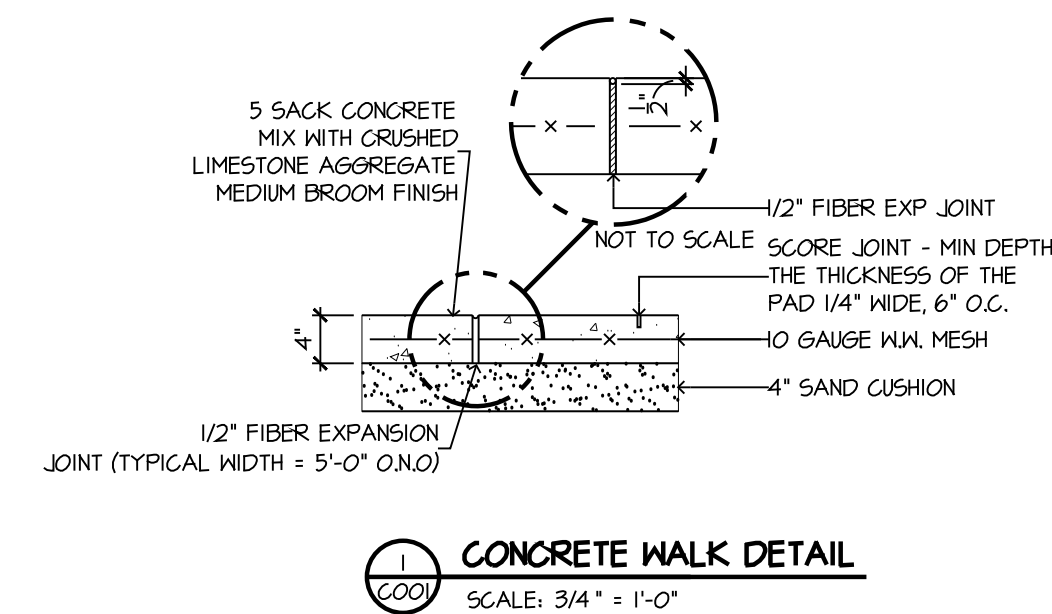
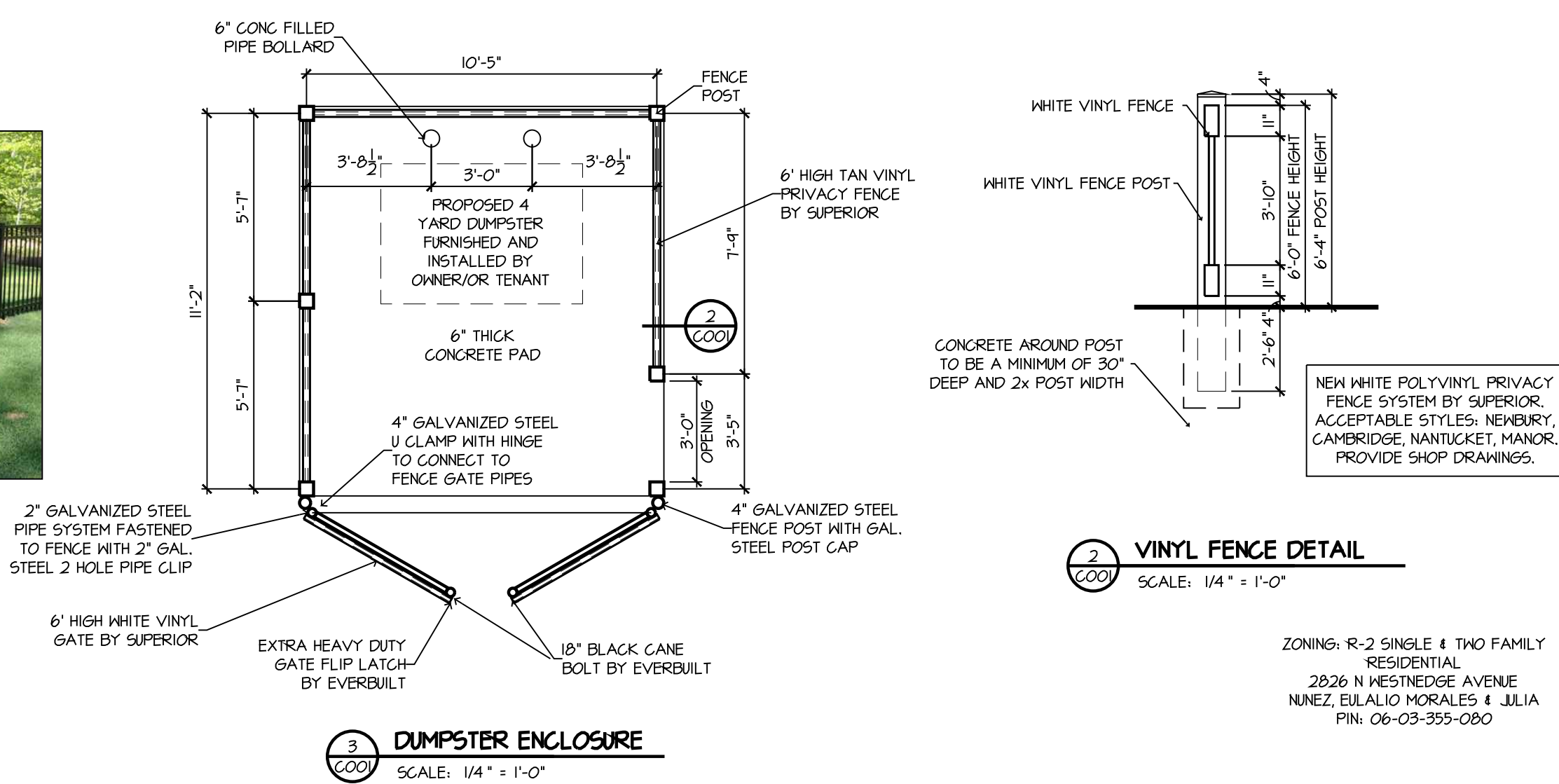
Danielle Bouchard, AICP
Township Planner

KMucha

Kyle Mucha, AICP
Township Zoning Administrator



**EXAMPLE OF DECORATIVE ALUMINUM FENCE AT PLAYGROUND
(FENCE TO BE PROVIDED BY OWNER)**



PLANT LIST

KEY	BOTANIC NAME	COMMON NAME	SIZE	QTY
DECIDUOUS SHRUBS:				
Hd	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	24" min ht	6
Hf	Heigela Florida 'Nine and Roses'	Nine and Roses Heigela	24" ht. min.	2
Hq	Hydrangea quercifolia 'Sikes Dwarf'	Dwarf Oakleaf Hydrangea	5 gallon	10
P5	Phytocarpus opulifolius 'SMPOTW'	Tiny Nine Ninebark	3 gallon	14

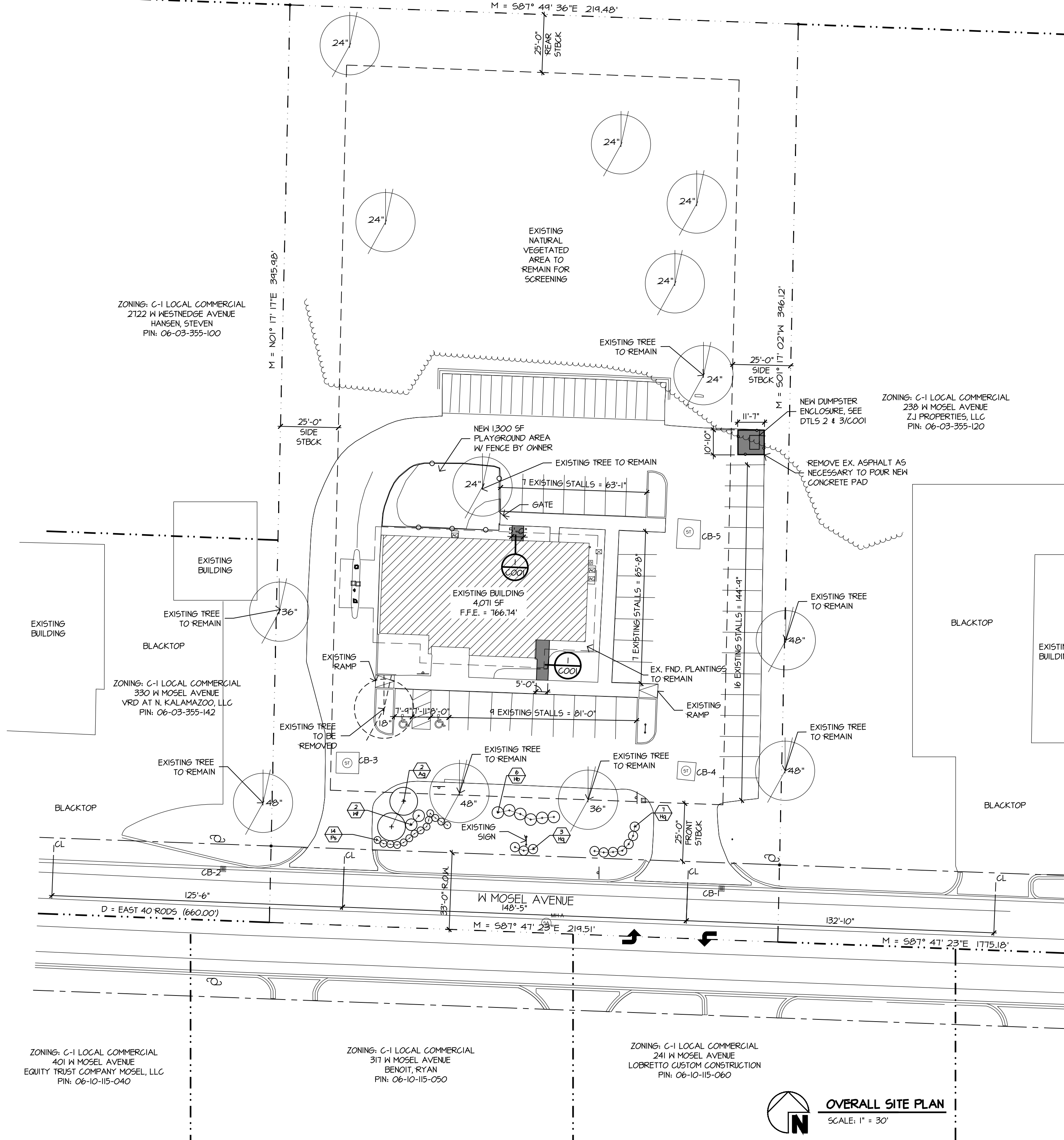
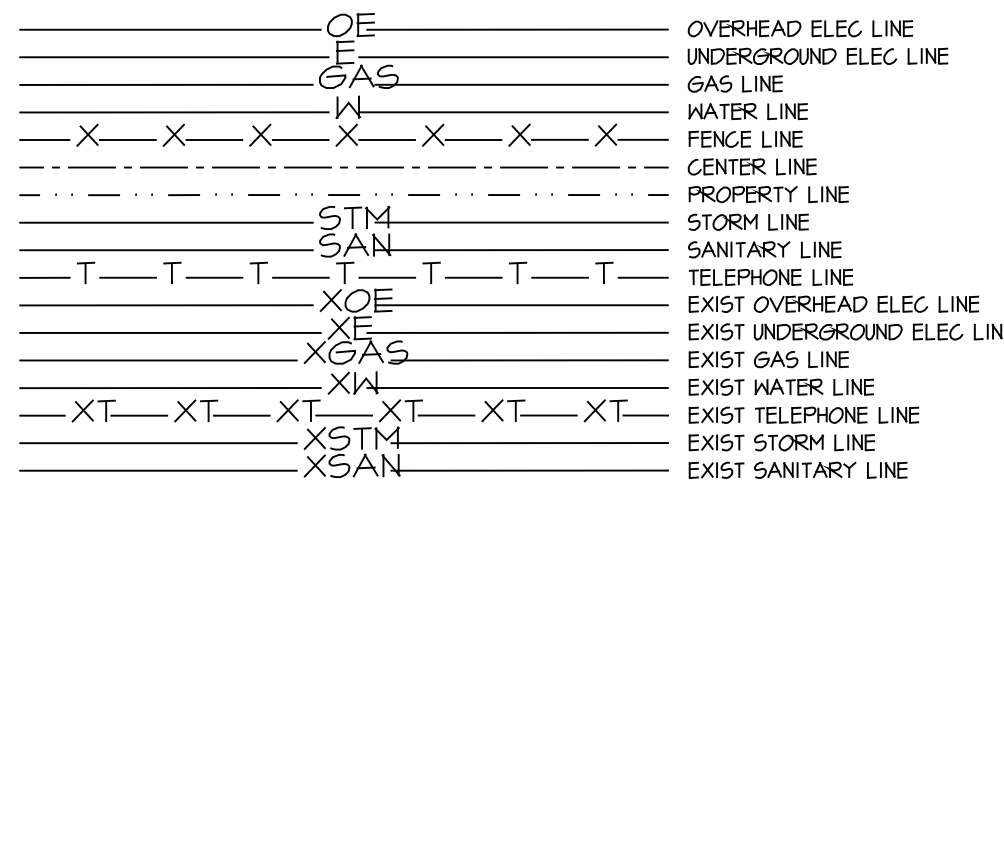
ORNAMENTAL TREES:				
Ag	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	clump- 8-9' ht.	2

LEGAL DESCRIPTION

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:
LAND SITUATED IN THE TOWNSHIP OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN;
COMMENCING AT A POINT 40 RODS EAST OF THE SOUTHWEST CORNER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 11 WEST; THENCE NORTH PARALLEL WITH THE WEST LINE OF SAID SECTION 24 RODS; THENCE EAST 15 RODS 5 FEET (ASSESSED AS 220 FEET); THENCE SOUTH 24 RODS TO THE SOUTH LINE OF SAID SECTION; THENCE WEST THEREON 13 RODS 5 FEET (ASSESSED AS 220 FEET) TO THE PLACE OF BEGINNING.

TYPICAL MATERIALS, SYMBOLS AND INDICATIONS

(M) MANHOLE	(SS) EXIST SPOT GRADE
(SM) STORM SEWER MANHOLE	(F) FINISH GRADE
(S) SANITARY SEWER MANHOLE	(H) FIRE HYDRANT
(V) PHONE CO MANHOLE	(W) WATER VALVE
(E) ELEG CO MANHOLE	(M) WATER METER
(W) WATER MANHOLE	(G) GAS VALVE
(B) CATCH BASIN/CURB INLET	(UG) UNDERGROUND GAS MARKER
(U) UTILITY POLE W/ LIGHT	(G) GAS METER
(P) UTILITY POLE	(B) BASKETBALL NET
(L) LIGHT POLE	(M) MAIL BOX
(F) FLAG POLE	(P) PARKING METER
(Y) YARD LAMP / POLE	(S) SIGN
(P) PHONE BOOTH	(B) SOIL BORING
(M) MONITOR WELL	(C) CONCRETE BOLLARD
(E) ELECTRIC BOX / TRANSFORMER	(T) EXIST TREE TO REMAIN
(A) AIR CONDITIONING UNIT	(N) NEW TREE
(T) UNDERGROUND TELEPHONE MARKER	(R) TREE TO BE REMOVED
(B) TELEPHONE BOX MARKER	

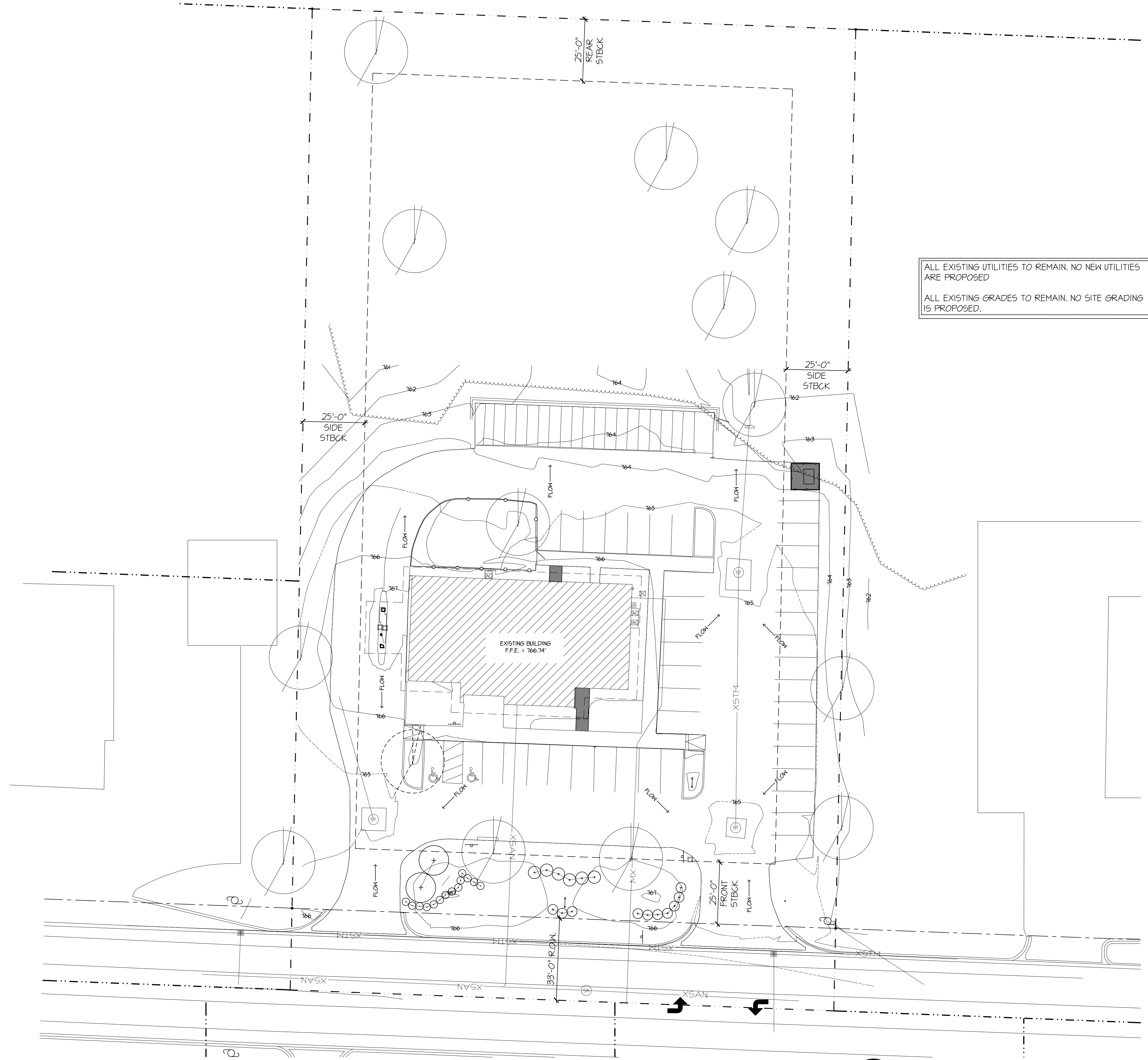


SITE INFORMATION

- PARCEL ADDRESS: 316 WEST MOSEL AVENUE, KALAMAZOO, MI 49004. TAX PARCEL NO.: 06-03-355-110
- OWNER: JOY IYOH, KATJOYCELYN@YAHOO.COM
- ARCHITECT: BOSCH ARCHITECTURE, 8065 VINEYARD PKY, KALAMAZOO, MI, 49004 (269) 321-9151
- SURVEY: AR ENGINEERING
- ZONING: C-1 LOCAL COMMERCIAL
- PROPOSED LAND USE: DAYCARE
- TOTAL SITE AREA: 2 ACRES (87120 SF), 1.83 ACRES (MINUS R.O.W.)
- LAND USE PERCENT (%): OPEN: 34.7%, BUILD: 25.4%, PAVEMENT: 34.9%
- BUILDING TYPE(S): EXISTING 4,071 SF
- MAXIMUM BUILDING HEIGHT: 30' MAXIMUM ACTUAL: EXISTING
- REQUIRED PARKING: CHILD CARE CENTER: 1 SPACE PER 6 CHILDREN (BASED ON LICENSED CAPACITY) + 1 SPACE PER EMPLOYEE ON LARGEST SHIFT. MAX OCCUPANCY: 53 CHILDREN, MAX EMPLOYEES: 18 EMPLOYEES. 53 CHILDREN / 6 + 18 EMPLOYEES = 26.83 PARKING STALLS. TOTAL REQUIRED PARKING: 27 SPACES. TOTAL PARKING PROVIDED: 41 SPACES (2 BF.)
- LANDSCAPING: SEE THIS SHEET. GENERAL SITE LANDSCAPING: PROVIDE (1) DECIDUOUS OR EVERGREEN TREE PER 3,000 SF OF UNPAVED AREA. ADJACENT TO ROADS: (1) DECIDUOUS OR EVERGREEN TREE PER 40 LF. (1) ORNAMENTAL TREE PER 100 LF. (2) SHRUBS PER 40 LF. TRESS TO BE NO MORE THAN 15' OC OF NOT LESS THAN 6' HT. TOTAL LOT FRONTAGE = 1515 FT. 1515 FT / 40 FT = 3.79 = (4) DECIDUOUS TREES REQUIRED. (4) EXISTING DECIDUOUS TREES PROVIDED. 1515 FT / 100 FT = 15.15 = (2) ORNAMENTAL TREES REQUIRED. (2) ORNAMENTAL TREES PROVIDED. 1515 FT / 40 FT * 8 = 30.3 = (32) SHRUBS REQUIRED. (32) SHRUBS PROVIDED. PARKING LOT LANDSCAPING: 30 SF PER PARKING SPACE. LANDSCAPE AREAS TO BE A MINIMUM OF 4' WIDE AND NO LESS THAN 300 SF. (1) SHADE TREE REQUIRED PER (5) SPACES. 30 SF * 41 PARKING SPACES = 1230 SF REQUIRED. 2300 SF PROVIDED. (4) SPACES / 10 = (4) SHADE TREES REQUIRED. (4) EXISTING TREES PROVIDED.

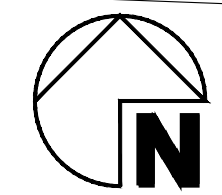
GENERAL NOTES (SITE WORK)

- SITE PREPARATION:**
 - ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PERFORMED BY THE CONTRACTOR IN COMPLIANCE WITH PART 41 OF PUBLIC ACT 451 OF 1994.
 - ORGANIC TOPSOIL SHALL BE STRIPPED FROM THE CONSTRUCTION AREA AND STOCKPILED AS INSTRUCTED BY THE G.C. FOR LATER USE.
- EARTHWORK:**
 - CALL MISS DIG AT 1-800-482-7111 BEFORE BEGINNING EXCAVATION.
 - EXCAVATION SHALL BE LEVEL TO EXACT DEPTHS AND DIMENSIONS INDICATED ON DRAWINGS.
 - CONSTRUCTION OF FOUNDATIONS AND SLABS-ON-GRADE WILL BE ON COMPACTED FILL IN MOST AREAS. LAYERED COMPACTION SHALL BE PERFORMED TO A MINIMUM DENSITY OF 95% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM DESIGNATION D-1557 VALUES. PLACE A MIN. 6 INCHES OF BANK RUN SAND COMPACTED TO 95% OF MAXIMUM DENSITY UNDER ALL FLOOR SLABS ON GRADE.
 - SOIL TESTING WILL BE CONTRACTED AND PAID FOR BY THE GENERAL CONTRACTOR.
 - SITE SHALL BE FINE GRADED BEFORE PLACING TOP SOIL OR GRANULAR BASE MATERIAL.
 - EXTERIOR SURFACE DRAINAGE SHALL BE AWAY FROM BUILDINGS, 5% 10'-0" OUT FROM BLDG.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING AND NEW GRADES PRIOR TO COMMENCEMENT OF ANY WORK. THIS OFFICE SHALL NOT BE HELD RESPONSIBLE FOR ANY MISSING OR ERRONEOUS INFORMATION.



ALL EXISTING UTILITIES TO REMAIN. NO NEW UTILITIES ARE PROPOSED

ALL EXISTING GRADES TO REMAIN. NO SITE GRADING IS PROPOSED.



SITE GRADING & UTILITY PLAN
SCALE: 1" = 20'

Margaret Daycare

316 West Mosel Avenue, Kalamazoo, MI 49004

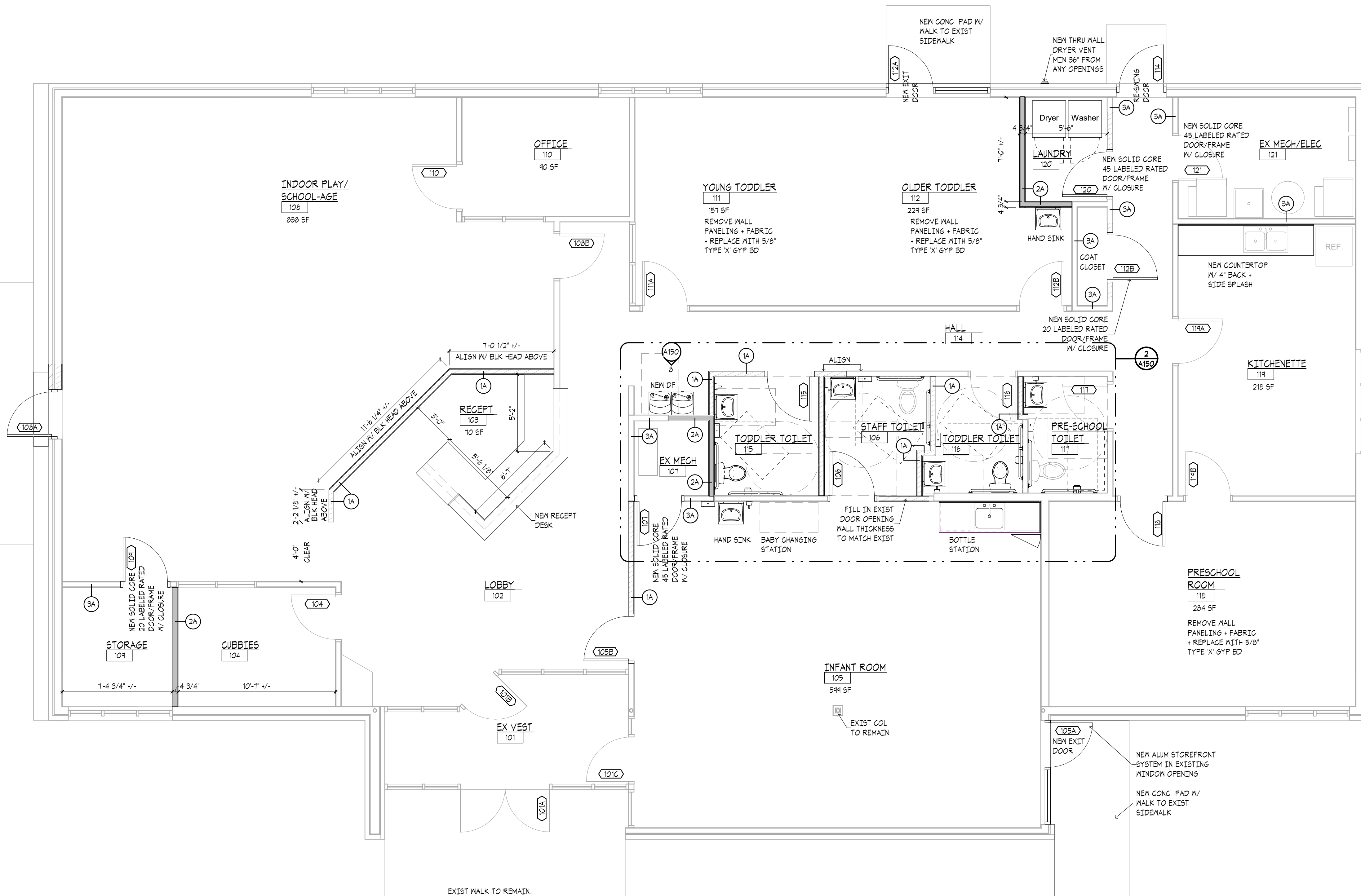
PRELIMINARY - NOT FOR CONSTRUCTION

ISSUED



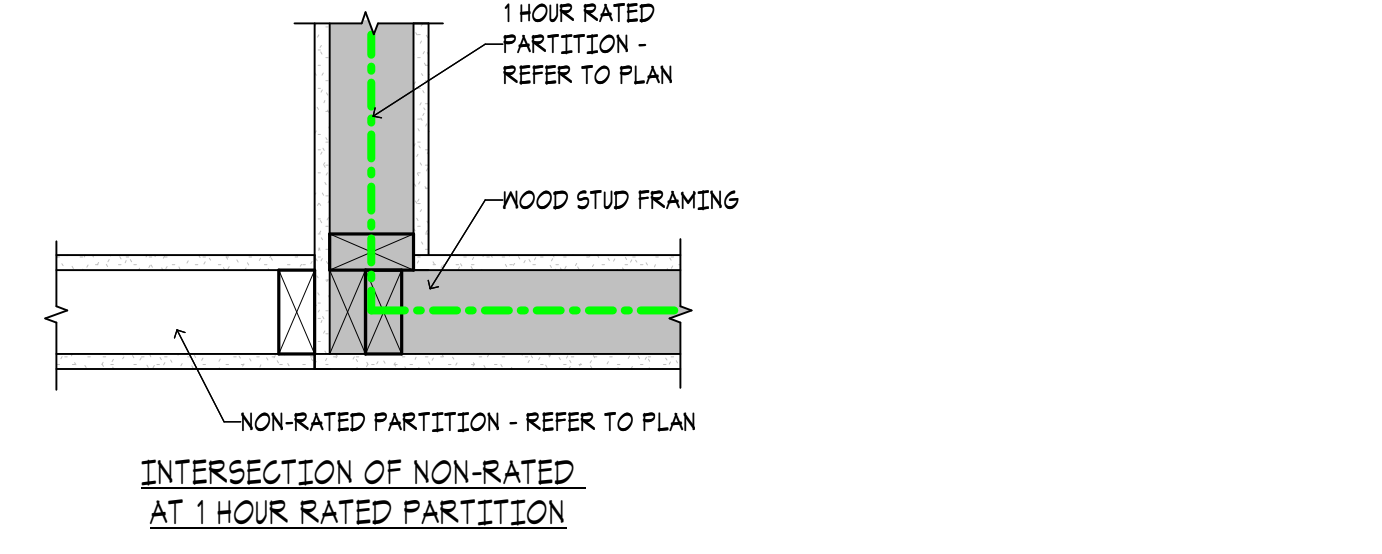
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8065 Vineyard Parkway
Kalamazoo, MI 49009
(269) 351-5151
Boscharch.com

C002
SITE GRADING & UTILITY PLAN

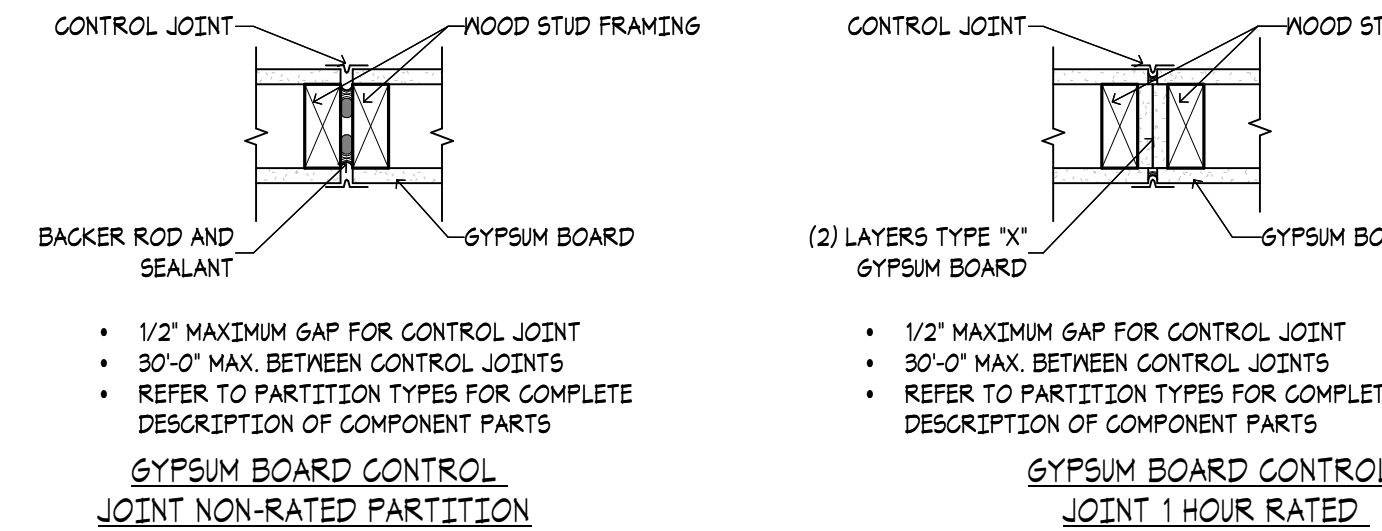


- GENERAL NOTES**
1. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF LOCAL TOWNSHIP, THE STATE OF MICHIGAN, AND ALL OTHER AUTHORITIES HAVING JURISDICTION. THIS PROJECT SHALL FULLY COMPLY WITH MICHIGAN BUILDING CODE INCORPORATING THE ADOPTED EDITION OF THE MICHIGAN BUILDING CODE.
 2. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE AIA GENERAL CONDITIONS FOR CONSTRUCTION.
 3. SHOULD THE GENERAL CONTRACTOR (G.C.) DISCOVER ANY DISCREPANCIES OR AMBIGUITIES OF INFORMATION THAT CAUSE DOUBT AS TO THE MEANING OF ANY DRAWING OR SPECIFICATION, THE G.C. SHALL NOTIFY THE ARCHITECT, AND REQUEST CLARIFICATION PRIOR TO PROCEEDING.
 4. THE G.C. WILL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, CERTIFICATES, GUARANTEES, ETC., AS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION, AND DELIVER THESE TO THE OWNER UPON COMPLETION OF THE WORK. THE OWNER SHALL PAY FOR ALL BUILDING PERMITS. THE G.C. SHALL ARRANGE AND COORDINATE INSPECTION OF ALL WORK BY BUILDING OFFICIALS. HE SHALL BE HELD RESPONSIBLE FOR ANY VIOLATIONS ARISING FROM LACK OF PERMIT, CONDEMNED WORK, OR FINES. EACH TRADE OR CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED LICENSES AND CERTIFICATIONS NECESSARY TO WORK ON THIS PROJECT.
 5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LABOR AND MATERIALS AND MAKE GOOD OF ANY DEFECTS THEREIN WHICH ARE DISCOVERED OR OCCUR WITHIN ONE YEAR AFTER THE COMPLETION OF THE PROJECT. HE SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY MATERIAL OF EQUIPMENT CONSIDERED PART OF THE CONTRACT AND UNDER GUARANTEE PERIODS SPECIFICALLY NOTED BY THE MANUFACTURER THEREOF.
 6. ALL WORKMEN EMPLOYED BY THE G.C. OR ANY SUBCONTRACTORS SHALL BE SKILLED AT THE WORK TO WHICH HE IS ASSIGNED. ALL TRADES MUST PROVIDE EVIDENCE OF WORKMAN'S COMPENSATIONS AND LIABILITY INSURANCE IN FORCE.
 7. ALL MATERIAL STORED ON THE SITE SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE FROM OTHER WORK IN PROGRESS. REPAIR OF COMPLETED WORK DAMAGED IN THE COURSE OF THE PROJECT WILL BE THE G.C.'S RESPONSIBILITY AT NO COST TO THE OWNER.
 8. THE PROJECT SITE IS TO BE KEPT REASONABLY CLEAN AT ALL TIMES. LOOSE TRASH IS TO BE CONTAINED AND EMPTIED OFF THE SITE WHEN FULL. PAINT SPOTS AND EXCESS CAULKING ARE TO BE REMOVED.
 9. UPON COMPLETION OF THE WORK, THE G.C. IS RESPONSIBLE FOR THE FINAL ADJUSTMENTS OR REVISIONS, PARTIAL SKETCH, OR INITIALING AND DATING OF CHANGE BY THE ARCHITECT ON THE EXISTING PLANS.
 10. THOSE ITEMS NOT NOTED, BUT IMPLIED AS NECESSARY FOR THE COMPLETION OF THE WORK ARE TO BE PART THEREOF. THE G.C. SHALL VERIFY ALL DIMENSIONS, QUANTITIES, AND ALL DETAILS IN THE FIELD.
 11. APPROVAL OF MINOR CHANGES OR CLARIFICATION TO PLANS MAY BE ACCOMPLISHED BY ISSUANCE OF REVISED PLANS, PARTIAL SKETCH, OR INITIALING AND DATING OF CHANGE BY THE ARCHITECT ON THE EXISTING PLANS.
 12. THE ARCHITECT AND/OR DESIGNER SHALL HAVE NO CONTROL OVER AND SHALL HAVE NO RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES.
 13. THE ARCHITECT AND/OR DESIGNER HAS NO RESPONSIBILITY FOR ANY ACTIONS OR OMISSIONS OF THE G.C. OR HIS SUBCONTRACTORS, OR THE FAILURE OF THEM TO PERFORM WORK ACCORDING TO THE CONTRACT DOCUMENTS.
 14. NO CHANGE BY THE ARCHITECT WILL BE MADE BY THE G.C. UNLESS AUTHORIZED BY AN AIA CHANGE ORDER, AND SIGNED BY ALL PARTIES, PRIOR TO AFFECTING THE CHANGE.
 15. UNLESS OTHERWISE NOTED, ALL EXPOSED ELECTRICAL, MECHANICAL, PLUMBING AND COMMUNICATIONS LINES, DUCTS, PIPES, UNITS AND DEVICES ARE TO BE PRIMED AND PAINTED THE SAME COLOR AS THE WALL AND/OR CEILING SURFACE ON WHICH THEY RUN, OR ARE TO BE LOCATED ON, IN ORDER TO BLEND IN. TENANT REQUIREMENTS WILL DIGITATE AND MAY REQUIRE DUCTS, PIPES, ETC. ARE TO REMAIN UN-PRIMED. CONSULT TENANT REQUIREMENTS PRIOR TO PRIMING.
 16. ALL NOTES ON ALL DRAWINGS OF THE ARCHITECT, ENGINEER, AND DESIGNER'S DRAWINGS AND PLANS ARE TO BE CONSIDERED PART OF THE CONTRACT DOCUMENTS.

FIRE RATED WALL PLAN DETAILS - INTERSECTIONS OF RATED AND NON RATED PARTITIONS

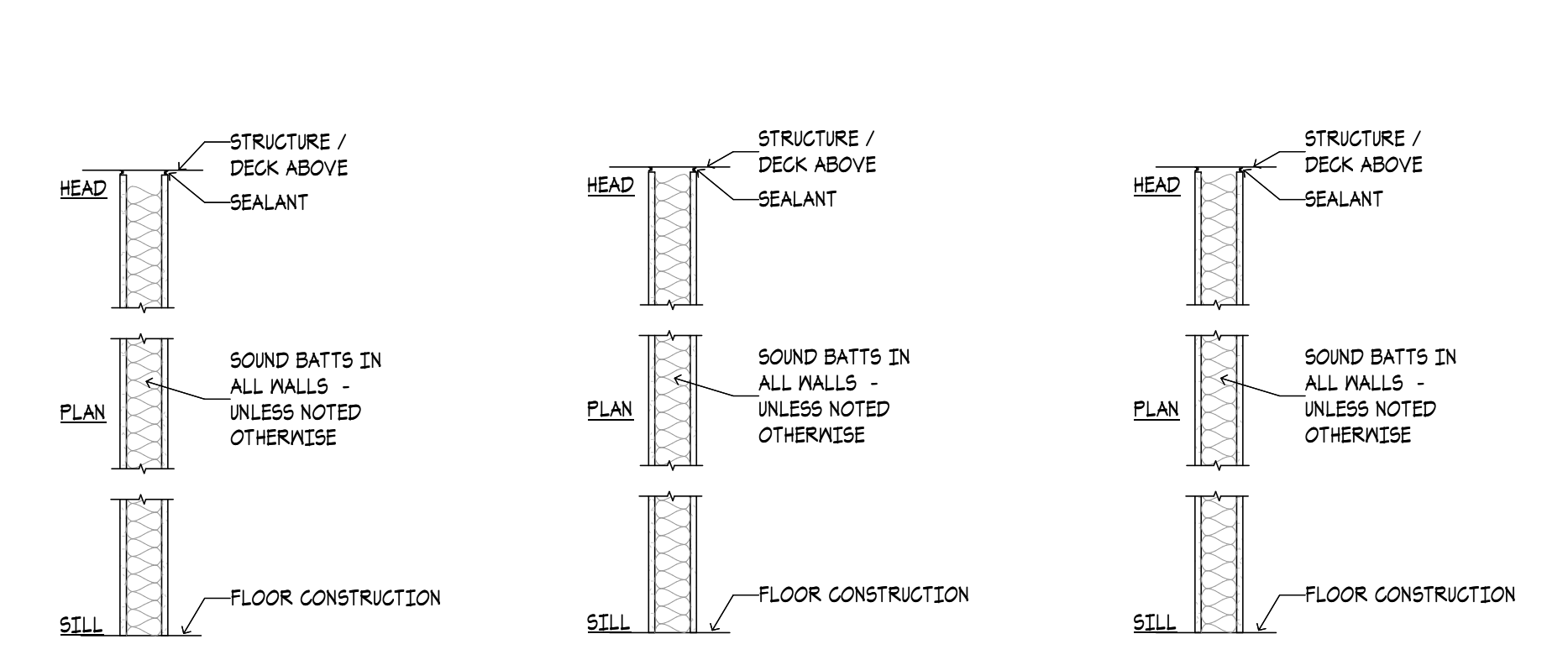


FIRE RATED WALL PLAN DETAILS - GYPSUM BOARD CONTROL JOINTS AT RATED PARTITIONS



WOOD STUD WALL PLAN DETAILS
SCALE: 1/2" = 1'-0"

EXIST WALK TO REMAIN. EXIST CANOPY STRUCTURE TO REMAIN. NEW CANVAS ANNING BY SIGN CONTRACTOR



- WOOD STUD PARTITIONS**
SCALE: 3/4" = 1'-0"
- (A) 2x4 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE 'X' 5/8" GYPSUM BOARD BOTH SIDES
 - (B) 2x6 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE 'X' 5/8" GYPSUM BOARD BOTH SIDES
 - (C) 2x8 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE 'X' 5/8" GYPSUM BOARD BOTH SIDES
 - (2A) 2x4 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE 'X' GYPSUM BOARD BOTH SIDES
 - (2B) 2x6 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE 'X' GYPSUM BOARD BOTH SIDES
 - (2C) 2x8 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE 'X' GYPSUM BOARD BOTH SIDES

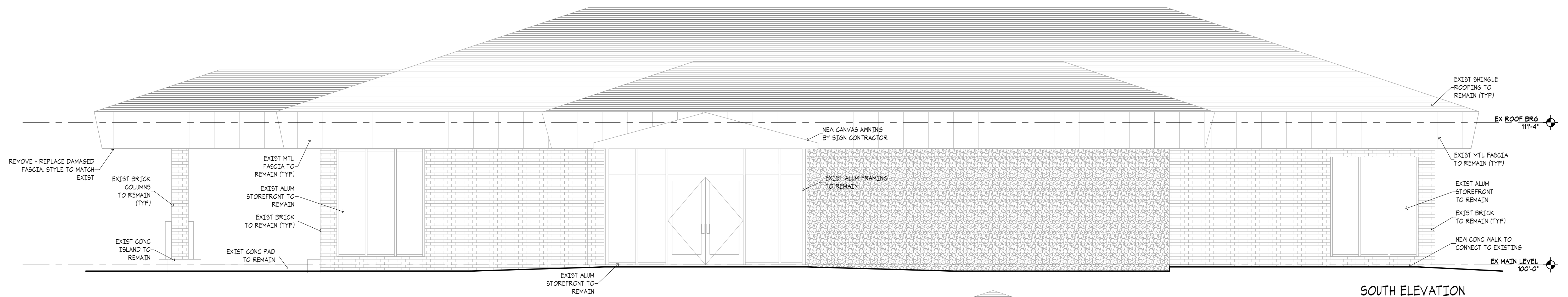
FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL PARTITION NOTES

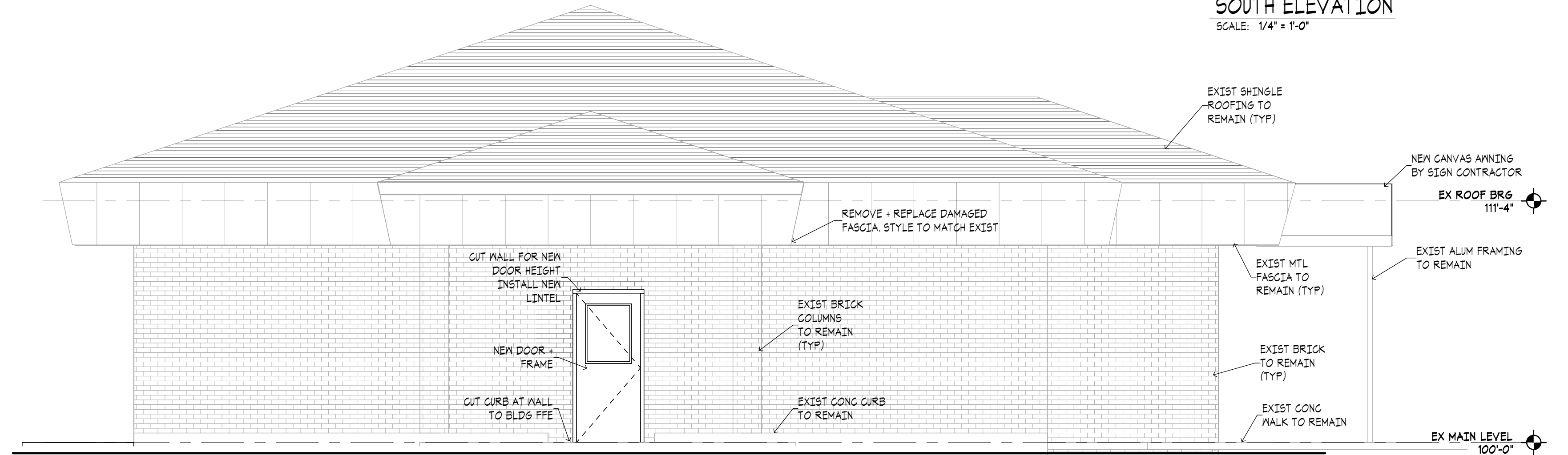
1. REFER TO FLOOR PLAN FOR LOCATION OF SMOKE AND FIRE-RATED PARTITIONS.
2. REFER TO SCHEDULES AND DETAILS FOR FINISHES.
3. ALL PARTITIONS EXTEND FROM FLOOR TO STRUCTURE/DECK ABOVE UNLESS NOTED OR DETAILED OTHERWISE.
4. ALL METAL STUD PARTITIONS EXTENDING TO STRUCTURE ABOVE SHALL TERMINATE WITH DEFLECTION TRACK - SEE TYPICAL DETAILS ON THIS SHEET.
5. ALL GYPSUM BOARD PARTITIONS NOT EXTENDING TO THE STRUCTURE MUST BE BRACED.
6. U.L. DESIGN NUMBERS REFER TO FIRE RESISTANCE DIRECTORY, UNDERWRITERS LABORATORY, LATEST EDITION.
7. MISCELLANEOUS NON-RATED CHASES TO BE 5/8" GYPSUM BOARD ON 2x4 WOOD STUD/FRAMING @ 16" O.C. UNLESS NOTED OTHERWISE.
8. FIRE-RATED PARTITIONS TO HAVE FIRE-STOPPING SEALANTS AT HEAD, SILL JUNCTURE WITH DIS-SIMILAR MATERIALS, ETC. AND AROUND ALL PENETRATIONS AND OPENINGS.
9. CONSTRUCT ALL PARTITIONS WITH SOUND ATTENUATION BATTS WITH THE FOLLOWING SOUND BATT THICKNESSES:
2 1/2" OR LESS STUD - 1 1/2" THICKNESS
3 1/2" OR LARGER STUD - 3" THICKNESS

FIRE RATED WALL KEY

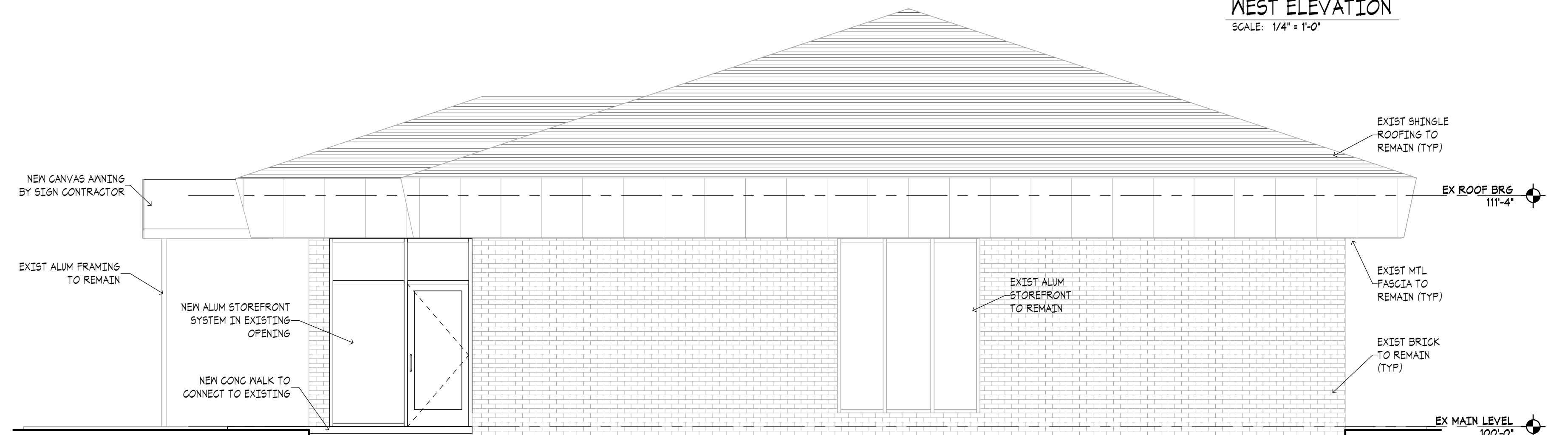
DESIGNATION	PARTITION RATING
(Red dashed line)	3 HOUR FIRE WALL
(Red solid line)	2 HOUR FIRE WALL
(Blue solid line)	2 HOUR FIRE BARRIER
(Green solid line)	1 HOUR FIRE WALL
(Green dashed line)	1 HOUR FIRE BARRIER
(Green dotted line)	1 HOUR FIRE PARTITION
(Green dash-dot line)	1/2 HOUR SMOKE PARTITION
(Green cross-hatch)	1 HOUR RATED CL6 (6A RC 2601/2602)



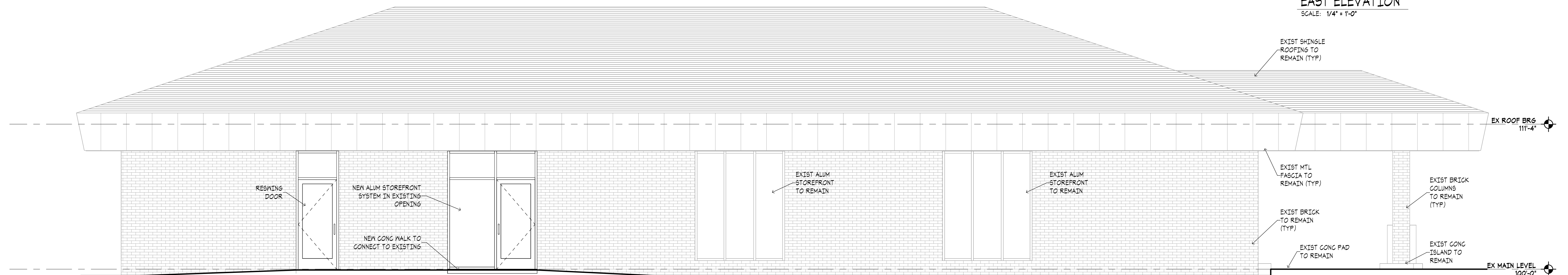
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Margaret Daycare Center
310 W Mosel Ave, Kalamazoo, MI 49004

NOT FOR CONSTRUCTION
10/31/2023

ISSUED

bosch
ARCHITECTURE
ENGINEERING & INTERIOR DESIGN

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A201
EXTERIOR ELEVATIONS