

KEY MAP



THE VILLAGE AT LOOMIS

TENTATIVE MAP - PHASE A - LOTTING PLAN

TOWN OF LOOMIS, CALIFORNIA

MARCH 2018
SHEET 1 OF 10

SHEET INDEX

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LEGEND

- EXISTING PARCEL LINES
- ADJACENT EXISTING LOT LINES
- PROPOSED LOT LINES
- R/W - EXISTING
- R/W - PROPOSED
- EASEMENT
- FEMA 100-YR FLOOD PLAIN
- WETLANDS
- TLA REPORT PRE & POST DEVELOPMENT FLOODPLAIN
- TLA REPORT PRE DEVELOPMENT FLOODPLAIN
- TLA REPORT POST DEVELOPMENT FLOODPLAIN

PLACER COUNTY APNS:

043-080-007, -008, -015, and -044; 044-094-001, -004, -005, -006, and -010

BENCHMARK

HORIZONTAL DATUM:
LOCAL GROUND COORDINATES WITH TIES TO NAD83(1911.3) CA HPON
VERTICAL DATUM:
NGVD29 BASED ON BENCH MARK 'W 45 USGS' (PID 150766);
ELEV: 398.65

OWNERS' DEVELOPER

OWNER: THE VILLAGE AT LOOMIS, LLC,
P.O. BOX 1200, LOOMIS, CA 95650
PHONE: (916) 660-1720
DEVELOPER: LOWELL DEVELOPMENT, INC.,
P.O. BOX 1200 LOOMIS, CA 95650
PHONE: (916) 660-1720

ENGINEER

TLA ENGINEERING & PLANNING, INC.,
1504 EUREKA ROAD, SUITE 110
ROSEVILLE, CA 95661
PHONE: (916) 786-0685
FAX: (916) 786-0529

DATES OF SURVEYS

PHASES A-C, 01/21/04
PHASE D, 12/31/04
JOHNSON, LE: 10/25/13

**PHASE A:
LOT SIZE (SQUARE FEET)**

MIN: 2,280 MAX: 4,383
AVG: 2,628±

**PHASE A:
SETBACKS**

FRONT: TO PORCH - 5 FT
STREET TO PORCH - 10 FT
MENT TO PORCH - 0 FT
MEW TO LIVING - 5 FT
SIDE: INTERIOR - 3 FT
CORNER - 5 FT
REAR: FROM ALLEY TO GARAGE - 4 FT

ACREAGE TOTAL LOTS

14.5± 135

UTILITY AND SERVICE PROVIDERS:

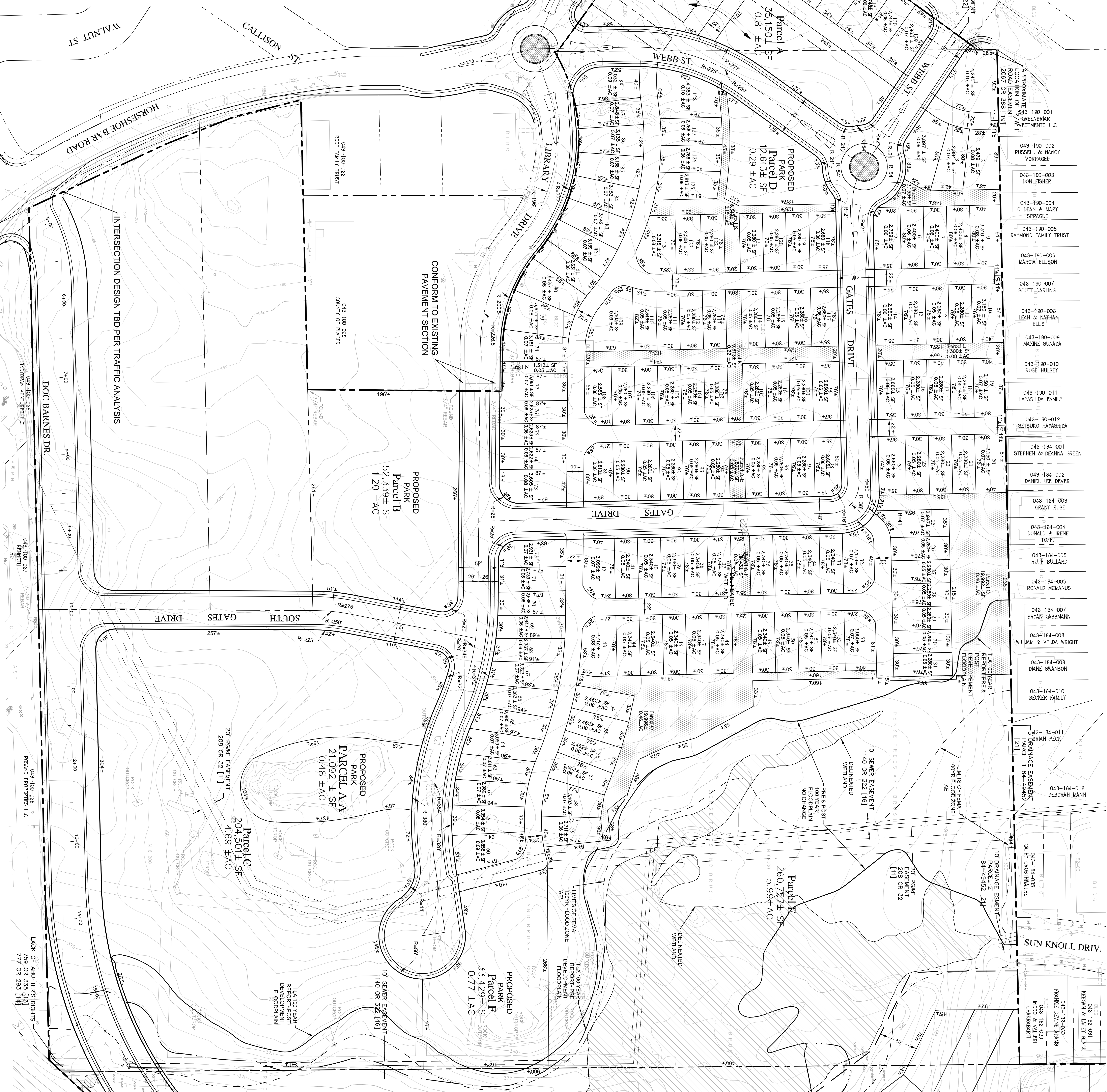
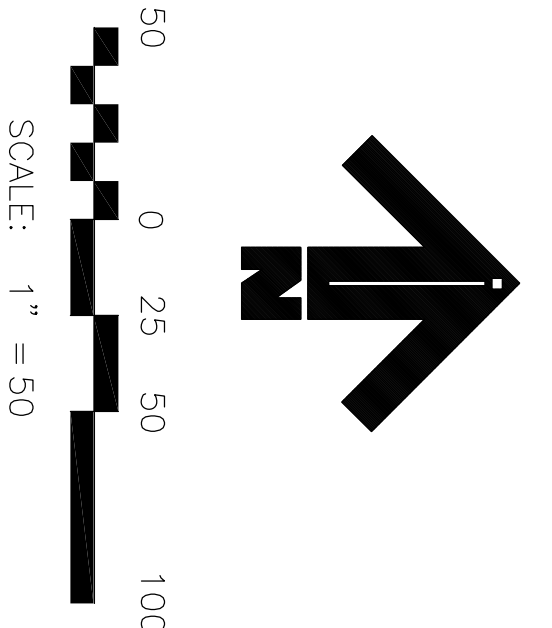
- WATERS: SLINGER COUNTY WATER AGENCY
- SEWER: SOUTHERN CALIFORNIA WATER AGENCY
- GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
- TELEPHONE: AT&T
- CABLE TV: WAYE BROADBAND
- SCHOOL DISTRICT: LOOMIS UNION HIGH SCHOOL DISTRICT
- FIRE PROTECTION: PEACER PLACER FIRE PROTECTION DISTRICT
- STREET DRAINAGE: SOUTHERN CALIFORNIA SHERIFF
- SOLID WASTE: TOWN OF LOOMIS RECOLOGY

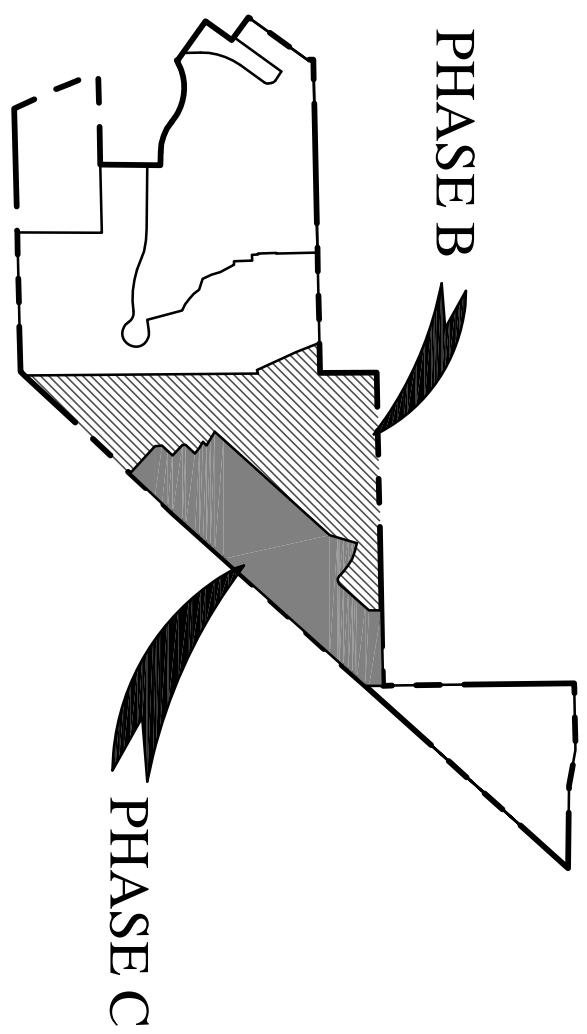
GENERAL NOTES:

- A. Septic Systems: There are no known existing wells, abandoned wells, stumps or any other underground septic systems on the property.
- B. Signage: There are no signs planned at this time.
- C. Dimensions & Areas: Dimensions & areas shown are approximate & subject to change.
- D. Final Maps: This tentative map is a large lot and a small lot map for Phases A, B, C and D. This tentative map is a large lot map only for the remainder of the lands shown herein.
- E. Under Common Ownership: Parcels 043-100-001, 002, 003, 004, 005, 006, 007, 008, 009, 010, 011, 012, 013, 014, 015, 016, 017, 018, 019, 020, 021, 022, 023, 024, 025, 026, 027, 028, 029, 030, 031, 032, 033, 034, 035, 036, 037, 038, 039, 040, 041, 042, 043, 044, 045, 046, 047, 048, 049, 050, 051, 052, 053, 054, 055, 056, 057, 058, 059, 060, 061, 062, 063, 064, 065, 066, 067, 068, 069, 070, 071, 072, 073, 074, 075, 076, 077, 078, 079, 080, 081, 082, 083, 084, 085, 086, 087, 088, 089, 090, 091, 092, 093, 094, 095, 096, 097, 098, 099, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 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393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 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793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

GENERAL PLAN and ZONING INFORMATION:

(EXISTING and PROPOSED)
SEE THE GENERAL PLAN AMENDMENT, REZONE AND PLANNED DEVELOPMENT EXHIBITS FILED WITH THIS APPLICATION.





KEY MAP

PHASE B
PHASE C

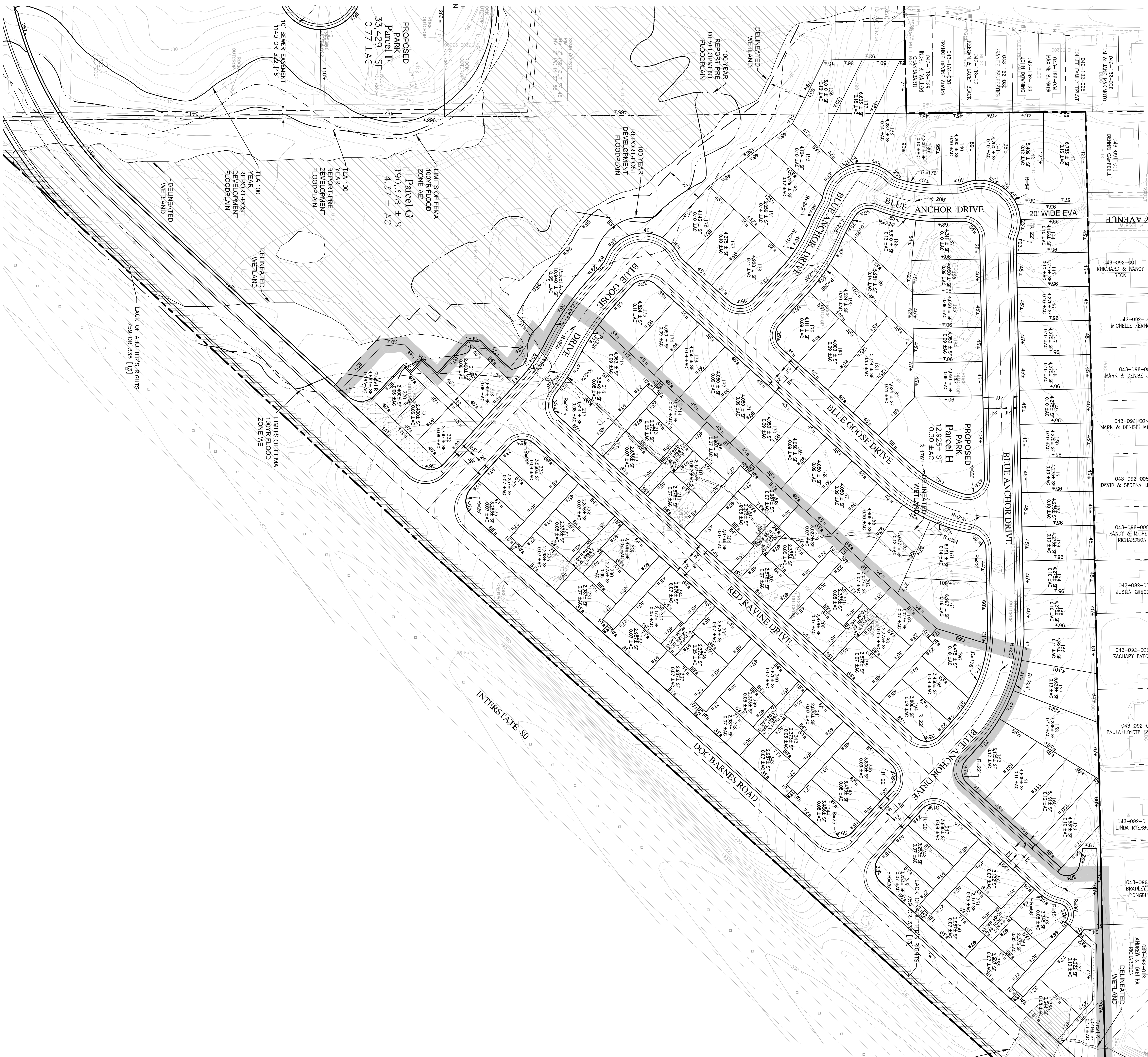
THE VILLAGE AT LOOMIS

TENTATIVE MAP - PHASES B & C - LOTTING PLAN

TOWN OF LOOMIS, CALIFORNIA

MARCH 2018

SHEET 2 OF 10



LEGEND

- EXISTING PARCEL LINES
- ADJACENT EXISTING LOT LINES
- PROPOSED LOT LINES
- R/W - EXISTING
- R/W - PROPOSED
- EASEMENT
- FEMA 100-YR FLOOD PLAN
- WETLANDS
- TLA REPORT PRE & POST DEVELOPMENT FLOODPLAIN
- TLA REPORT PRE DEVELOPMENT FLOODPLAIN
- TLA REPORT POST DEVELOPMENT FLOODPLAIN
- PHASE LINE

PHASES B & C

LOT SIZE (SQUARE FEET)

PHASE B: MIN: 4,003 MAX: 7,288 AVG: 4,748

PHASE C: MIN: 2,298 MAX: 4,475 AVG: 2,965

ACREAGE

PHASE B: 8.80±

PHASE C: 9.59±

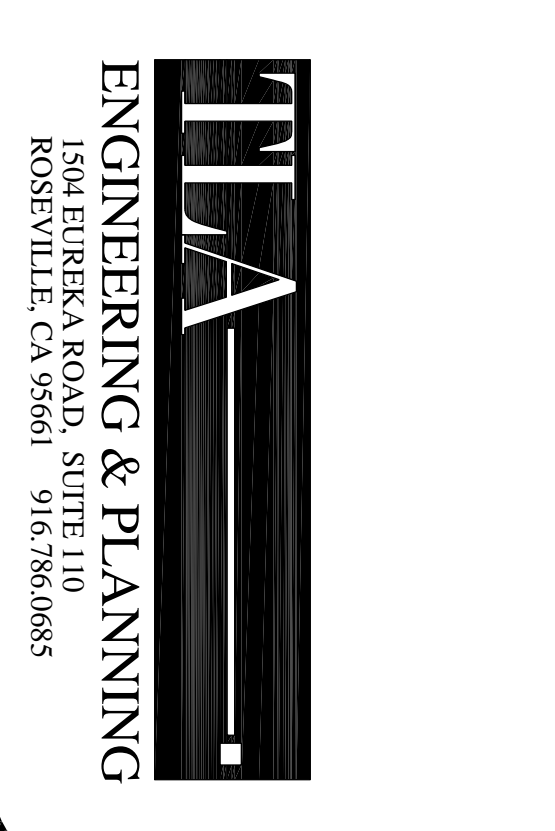
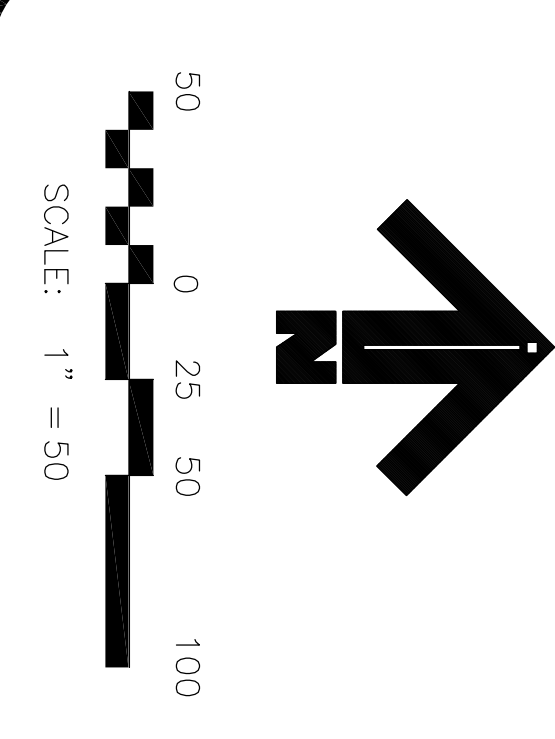
TOTAL LOTS

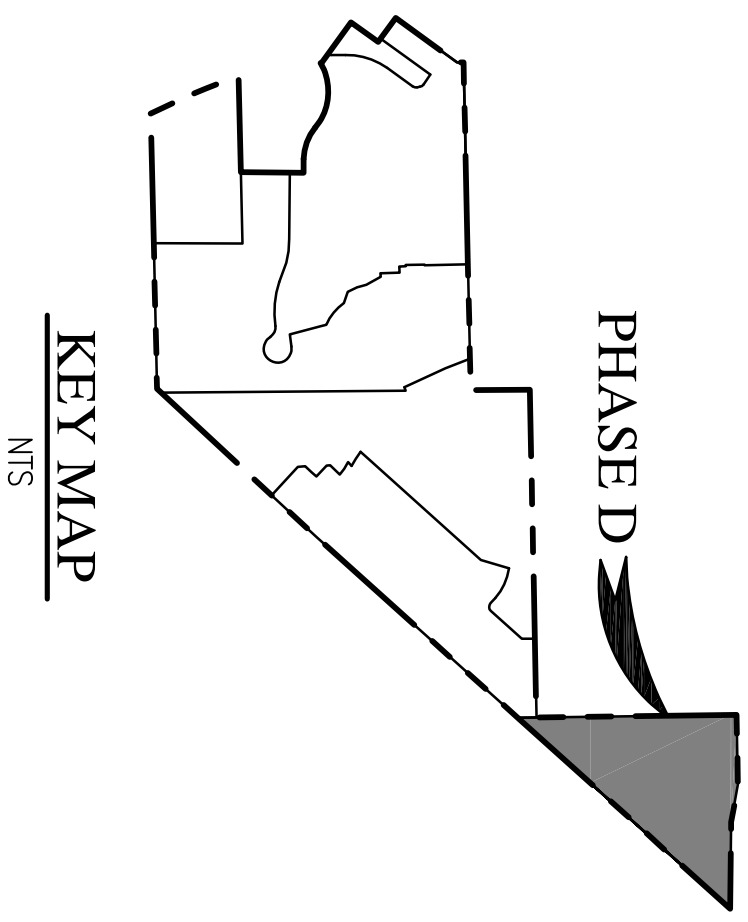
PHASE B: 58

PHASE C: 64

PHASE B: SETBACKS

- FRONT: STREET TO GARAGE - 18 FT
 - FRONT: STREET TO PRIVATE LOT - 10 FT
 - SIDE: INTERIOR - 4 FT
 - SIDE: CORNER - 10 FT
 - REAR: 10 FT
 - REAR: 15 FT FOR LOT #S 138-159
- PHASE C: SETBACKS**
- FRONT: TO GREEN COURT - 0 FT
 - FRONT: TO PRIVATE LOT - 10 FT
 - SIDE: INTERIOR - 3 FT
 - SIDE: CORNER - 10 FT
 - REAR: FROM ALLEY TO GARAGE - 5 FT





THE VILLAGE AT LOOMIS

TENTATIVE MAP - PHASE D - LOTTING PLAN

TOWN OF LOOMIS, CALIFORNIA

MARCH 2018
SHEET 3 OF 10



LEGEND

	EXISTING PARCEL LINES
	ADJACENT EXISTING LOT LINES
	PROPOSED LOT LINES
	R/W - EXISTING
	R/W - PROPOSED
	EASEMENT
	FEMA 100-YR FLOODPLAIN
	WETLANDS
	TIA REPORT PRE & POST DEVELOPMENT FLOODPLAIN
	TIA REPORT PRE DEVELOPMENT FLOODPLAIN
	TIA REPORT POST DEVELOPMENT FLOODPLAIN

PHASE D:
LOT SIZE (SQUARE FEET)
MIN: 4,066 MAX: 9,707 AVG: 5,822

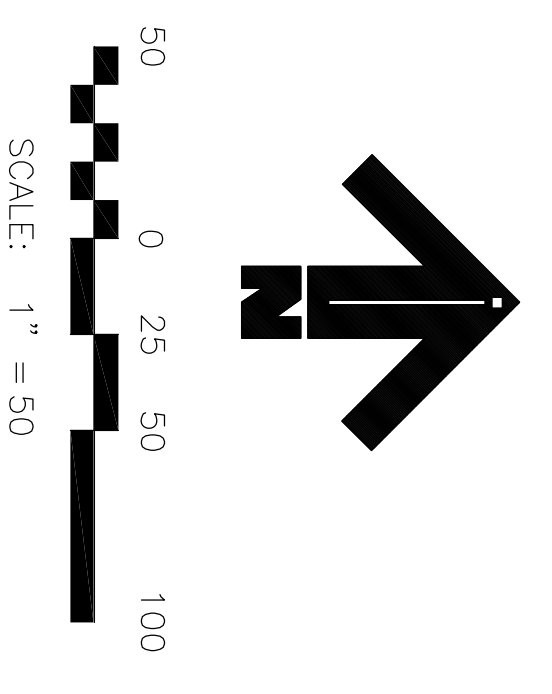
ACREAGE **TOTAL LOTS**
7.10± 29

PHASE D:
SETBACKS

FRONT: STREET TO GARAGE - 18 FT
STREET TO LIVING - 10 FT

SIDE: INTERIOR - 4 FT
CORNER - 10 FT

REAR: 10 FT
15 FT FOR LOT #S 279-286

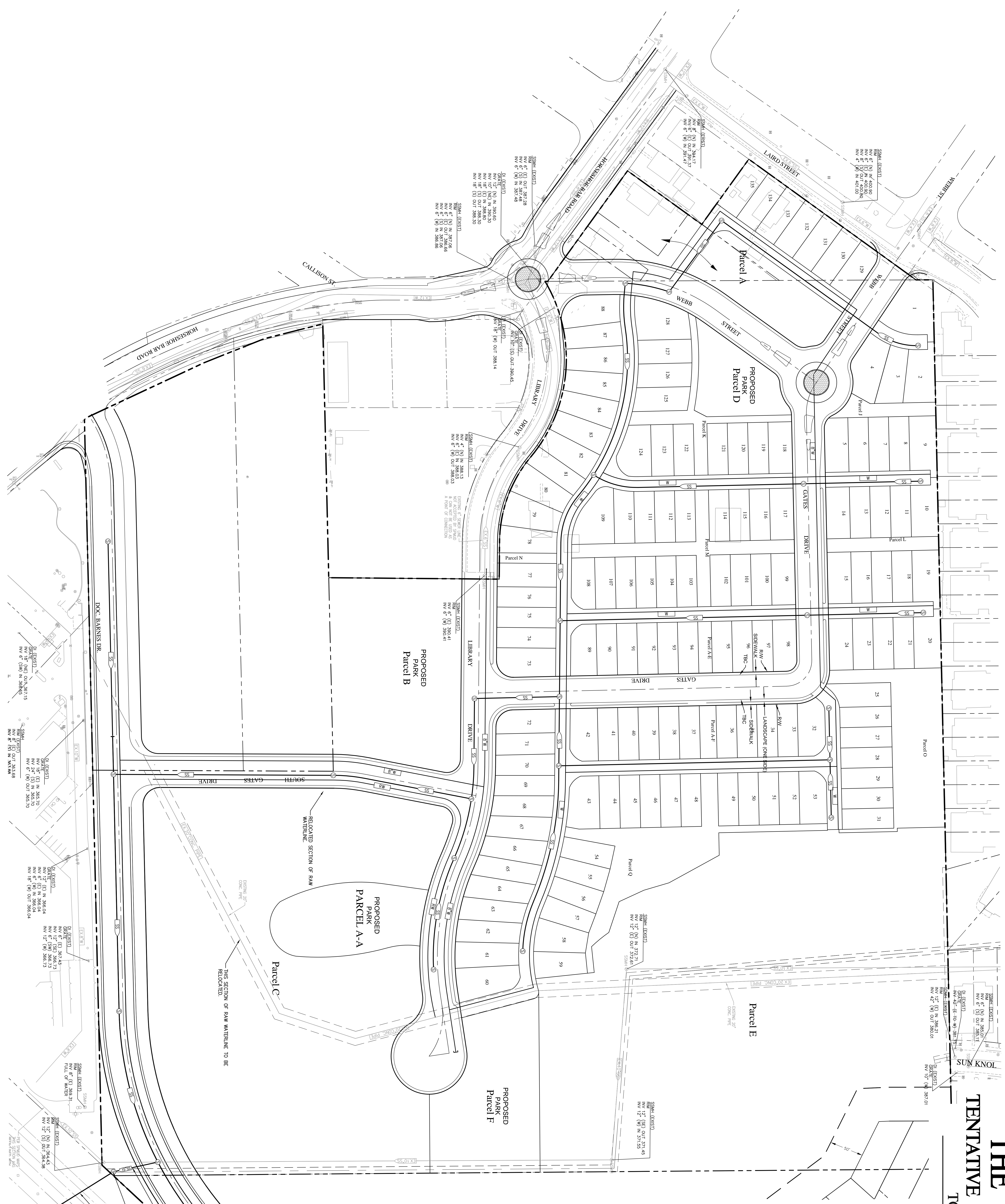


THE VILLAGE AT LOOMIS

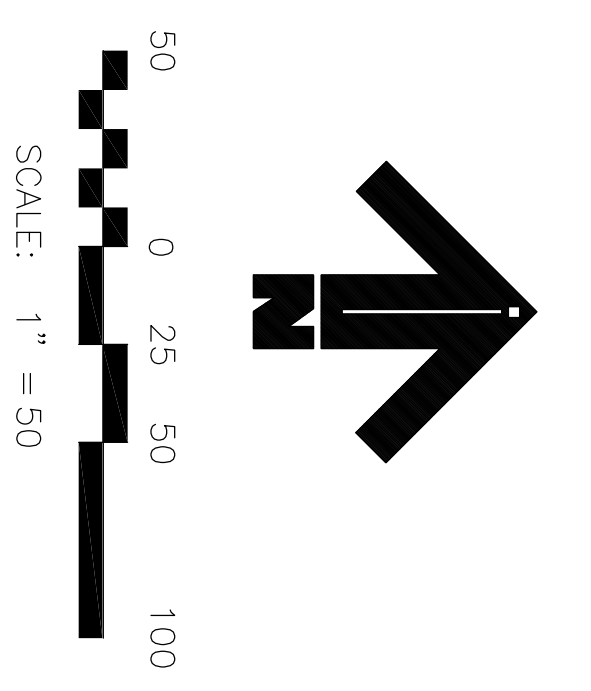
TENTATIVE MAP - PHASE A - UTILITY PLAN

TOWN OF LOOMIS, CALIFORNIA

MARCH 2018
SHEET 4 OF 10



EXISTING	PROPOSED	DESCRIPTION
①	②	BRAIN MANHOLE
③	④	SEWER MANHOLE
⑤	⑥	STORM WATER TREATMENT FACILITY
⑦	⑧	MANHOLE - WATER TRANSMISSION MAIN
⑨	⑩	BRAIN INLET
⑪	⑫	SEWER CLEAN OUT
⑬	⑭	SEWER SERVICE
⑮	⑯	SEWER LINE AND SIZE
⑰	⑱	DRAIN LINE AND SIZE
⑲	⑳	WATER LINE AND SIZE
㉑	㉒	RAW WATER LINE AND SIZE
㉓	㉔	FIRE HYDRANT (RESTRICTED)
㉕	㉖	STREET LIGHT
㉗	㉘	ELECTRIC WALT OR P/40
㉙	㉚	UTILITY WALT - TYPE NOT SPECIFIED
㉛	㉜	SLOPE BANK
㉝	㉞	RETAINING WALL
㉟	㊀	SPOT ELEVATION
㊁	㊂	CONTOUR LINE
㊃	㊄	FENCE
㊅	㊆	GAS, ELEC, TELE OR JOINT TRENCH
㊇	㊈	PROPERTY LINE
㊉	㊊	PUBLIC UTILITY EASEMENT
㊋	㊌	MONUMENT WELL
㊍	㊎	DETAIL DESIGNATION/SHEET REFERENCE
㊏	㊐	GRADE BREAK LINE
㊑	㊒	SLOPE
㊓	㊔	CONSTRUCTION FENCE
㊕	㊖	SEE DETAIL
㊗	㊘	PROPOSED ELEVATION
㊙	㊚	BUILDING ENVELOPE
㊛	㊜	LOT NUMBER



THE VILLAGE AT LOOMIS

TENTATIVE MAP - PHASE B & C - UTILITY PLAN

TOWN OF LOOMIS, CALIFORNIA

MARCH 2018
SHEET 5 OF 10

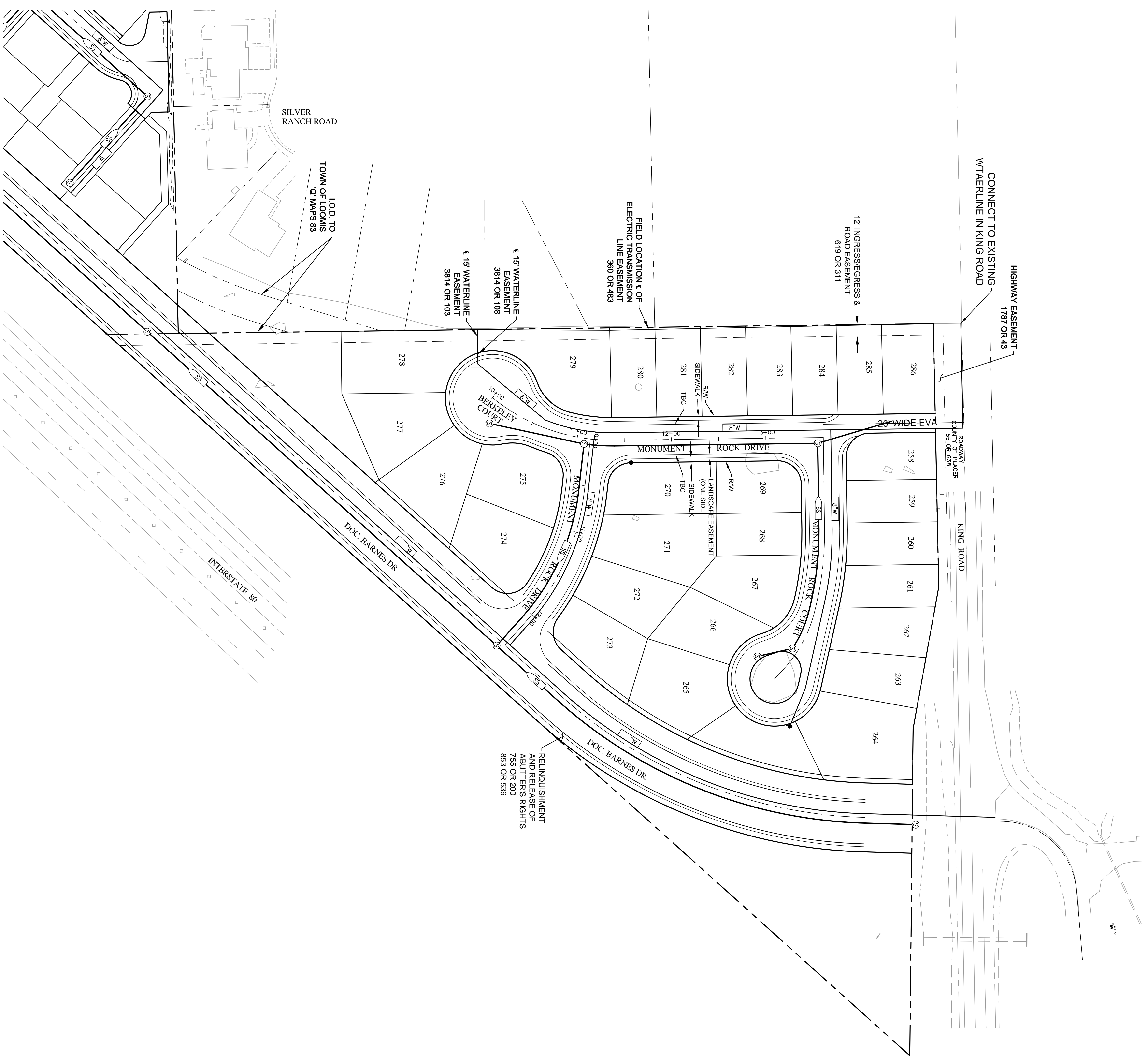


THE VILLAGE AT LOOMIS

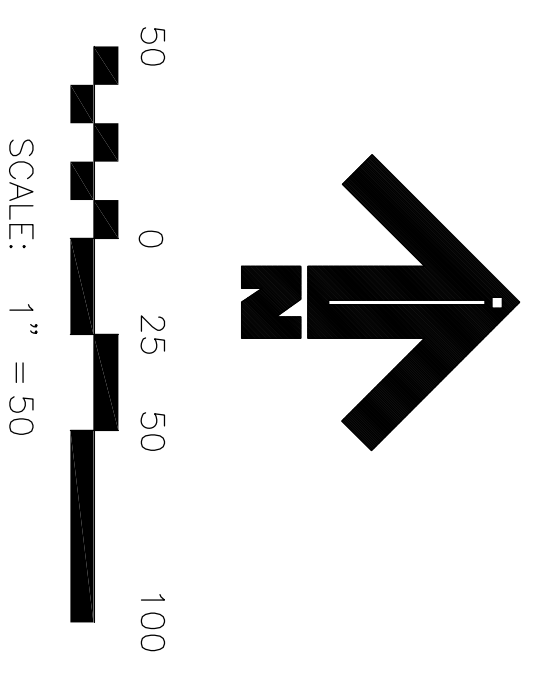
TENTATIVE MAP - PHASE D - UTILITY PLAN

TOWN OF LOOMIS, CALIFORNIA

MARCH 2018
SHEET 6 OF 10



EXISTING	PROPOSED	DESCRIPTION
①	②	DRAIN MANHOLE
③	④	SEWER MANHOLE
⑤	⑥	STORM WATER TREATMENT FACILITY
⑦	⑧	MANHOLE - WATER TRANSMISSION MAIN
⑨	⑩	DRAIN MET
⑪	⑫	DRAIN CLEAN OUT
⑬	⑭	SEWER CLEAN OUT
⑮	⑯	SEWER SERVICE
⑰	⑱	SEWER LINE AND SIZE
⑲	⑳	DRAIN LINE AND SIZE
㉑	㉒	WATER LINE AND SIZE
㉓	㉔	FIRE HYDRANT (RESTRAINED)
㉕	㉖	STREET LIGHT
㉗	㉘	ELECTRIC WALT OR PAD
㉙	㉚	UTILITY WALT - TYPE NOT SPECIFIED
㉛	㉜	SLOPE BANK
㉝	㉞	RETAINING WALL
㉟	㊱	ALUMINUM SPOT ELEVATION
㊲	㊳	CONTOUR LINE
㊴	㊵	FENCE
㊶	㊷	GAS, ELEC, TELE OR JOINT TRENCH
㊸	㊹	PROPERTY LINE
㊺	㊻	PUBLIC UTILITY EASEMENT
㊼	㊽	MONUMENT WELL
㊾	㊿	DETAILED RESERVATION/SHEET NO. 12
Ⓚ	Ⓛ	GRADE BREAK LINE
Ⓜ	Ⓨ	SWALE
Ⓩ	ⓞ	SLOPE
ⓐ	ⓧ	CONSTRUCTION FENCE, SEE DESIGN ELEVATION
ⓑ	ⓨ	PROPOSED ELEVATION
ⓓ	ⓩ	BUILDING ENVELOPE
ⓔ	⓪	PROPERTY LINE
ⓖ	⓫	LOT NUMBER



THE VILLAGE AT LOOMIS

TENTATIVE MAP - PHASE A - GRADING & DRAINAGE

TOWN OF LOOMIS, CALIFORNIA

MARCH 2018
SHEET 7 OF 10



LEGEND

- | | |
|--|--|
| | EXISTING DRAIN MANHOLE |
| | PROPOSED DRAIN MANHOLE |
| | STORM MANHOLE |
| | STORAGE WATER TREATMENT FACILITY MANHOLE - WATER TRANSMISSION MAIN |
| | DRAIN INLET |
| | DRAIN CLEAN OUT |
| | SEWER CLEAN OUT |
| | SEWER SERVICE |
| | SEWER LINE AND SIZE |
| | WATER LINE AND SIZE |
| | FIRE HYDRANT (RESTRICTED) |
| | STREET LIGHT |
| | ELECTRIC VAULT OR PAD |
| | UTILITY VAULT - TYPE NOT SPECIFIED |
| | SLOPE BANK |
| | RETAINING WALL |
| | RETAINING WALL NUMBER (SEE RETAINING WALL SCHEDULE THIS SHEET) |
| | SPOT ELEVATION |
| | CONTOUR LINE |
| | FENCE |
| | GAS, ELEC, TILE OR PROPERTY LINE |
| | MONUMENT WELL |
| | SETLINE |
| | GRADE BREAK LINE |
| | SLOPE |
| | SLOPE SIGN |
| | PROPOSED NEW BUILDING ENVELOPE |
| | PROPOSED ALLEY ACCESS |
| | PROPERTY LINE |
| | LOT NUMBER |

RETAINING WALL SCHEDULE			
WALL NO.	LENGTH	CASE NO.	HEIGHT
①	175 LF	CASE 1*	VARIABLE 0 to 2 FT
②	818 LF	CASE 1*	VARIABLE 0 to 8.3 FT

SEE SHEET 8 FOR CASE 1 AND 2 CONFIGURATIONS

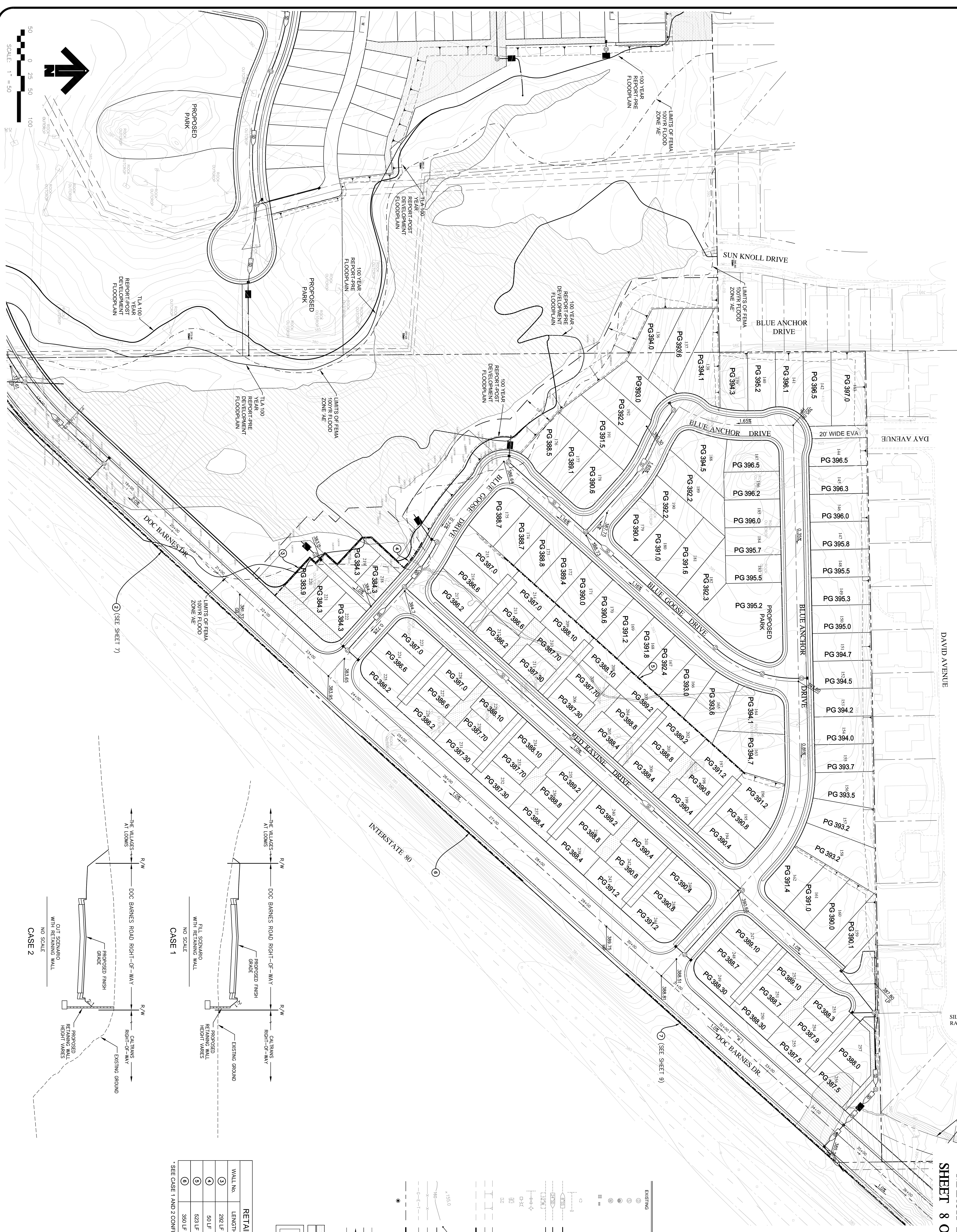
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THE VILLAGE AT LOOMIS

TENTATIVE MAP - PHASE B&C - GRADING & DRAINAGE

TOWN OF LOOMIS, CALIFORNIA

MARCH 2018
SHEET 8 OF 10

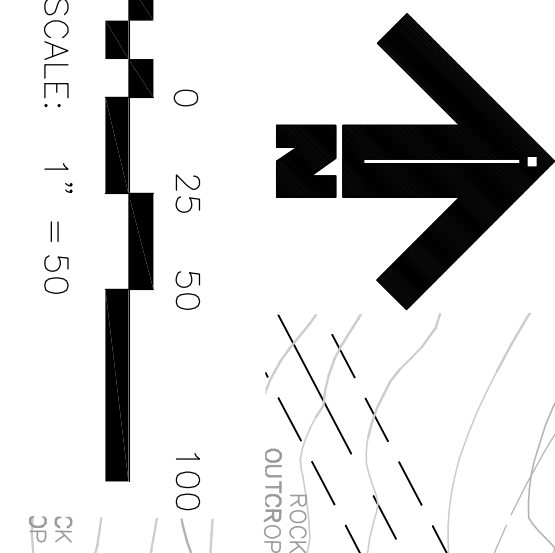
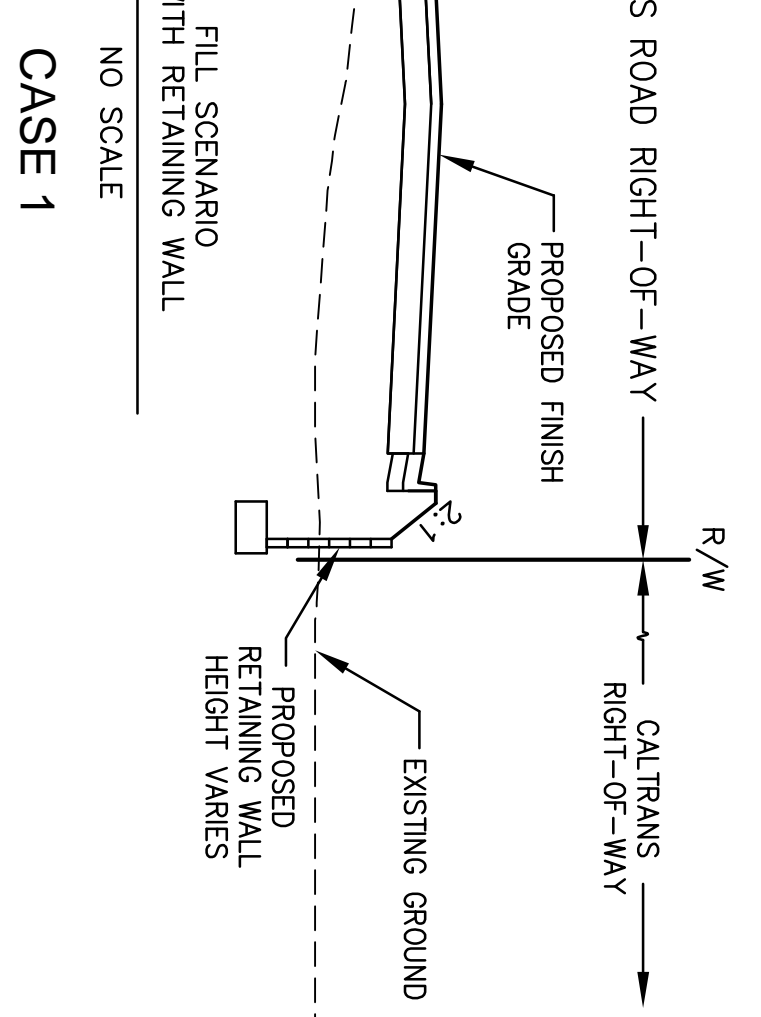


LEGEND

- | EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|--|
| ○ | ○ | DRAIN MANHOLE |
| ○ | ○ | SEWER MANHOLE |
| ○ | ○ | STORM WATER TREATMENT FACILITY |
| ○ | ○ | MANHOLE - WATER TRANSMISSION MAIN |
| ○ | ○ | DRAIN INLET |
| ○ | ○ | DRAIN CLEAN OUT |
| ○ | ○ | SEWER SERVICE |
| ○ | ○ | SEWER LINE AND SIZE |
| ○ | ○ | DEMAIN LINE AND SIZE |
| ○ | ○ | WATER LINE AND SIZE |
| ○ | ○ | STREET LIGHT |
| ○ | ○ | FIRE HYDRANT (RESTRICTED) |
| ○ | ○ | ELECTRIC WALT OR PAD |
| ○ | ○ | UTILITY WALT - TYPE NOT SPECIFIED |
| ○ | ○ | SLOPE BANK |
| ○ | ○ | RETAINING WALL NUMBER (SEE RETAINING WALL SCHEDULE THIS SHEET) |
| ○ | ○ | RETAINING WALL |
| ○ | ○ | SPOT ELEVATION |
| ○ | ○ | CONTIGR LINE |
| ○ | ○ | FENCE |
| ○ | ○ | GAS, ELEC., TELE. OR JOINT TRENCH |
| ○ | ○ | PROPERTY LINE |
| ○ | ○ | DETAIL DESIGNATION/GENERAL NOTES |
| ○ | ○ | MONUMENT WALL |
| ○ | ○ | GRADE BREAK LINE |
| ○ | ○ | SLOPE |
| ○ | ○ | CONSTRUCTION FENCE |
| ○ | ○ | PROPOSED NEW BUILDING ENVELOPE |
| ○ | ○ | PROPOSED ALLEY ACCESS |
| ○ | ○ | PROPERTY LINE |

WALL NO.	LENGTH	CASE NO.	HEIGHT
①	292 LF	N/A	VARIES 10.0 TO 12 FT
②	501 LF	N/A	VARIES 10.0 TO 12 FT
③	523 LF	N/A	VARIES 1.8 TO 3.5 FT
④	390 LF	CASE 2*	VARIES 0.0-4 FT

* SEE CASE 1 AND 2 CONFIGURATIONS THIS SHEET



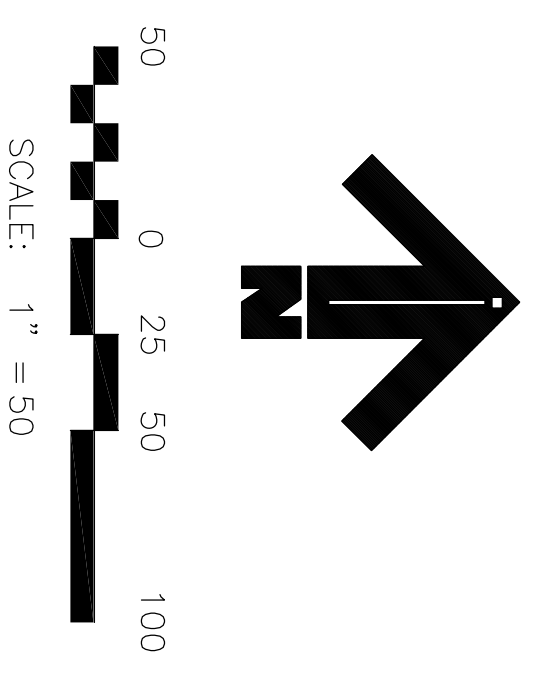
File: L:\proj\12x\1221\dwg\Entitlements\1-MAP\08 GRADE PHASE B&C.DWG Mar 06, 2018 - 4:34pm ewinkler

THE VILLAGE AT LOOMIS

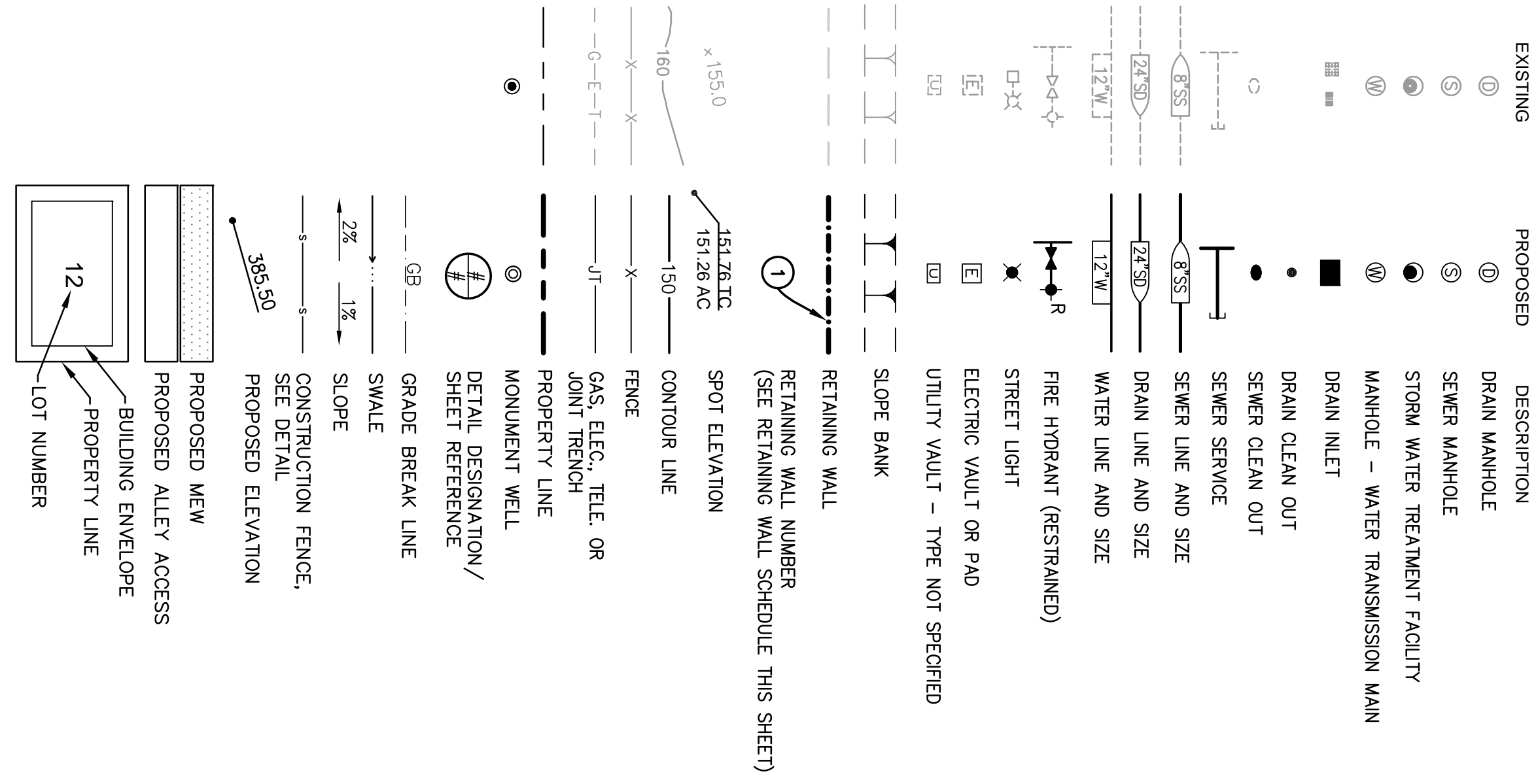
TENTATIVE MAP - PHASE D - GRADING & DRAINAGE

TOWN OF LOOMIS, CALIFORNIA

MARCH 2018
SHEET 9 OF 10



LEGEND



RETAINING WALL SCHEDULE

WALL NO.	LENGTH	CASE NO.	HEIGHT
7	1193 LF	CASE 1*	VARIES 0 TO 10.7 FT

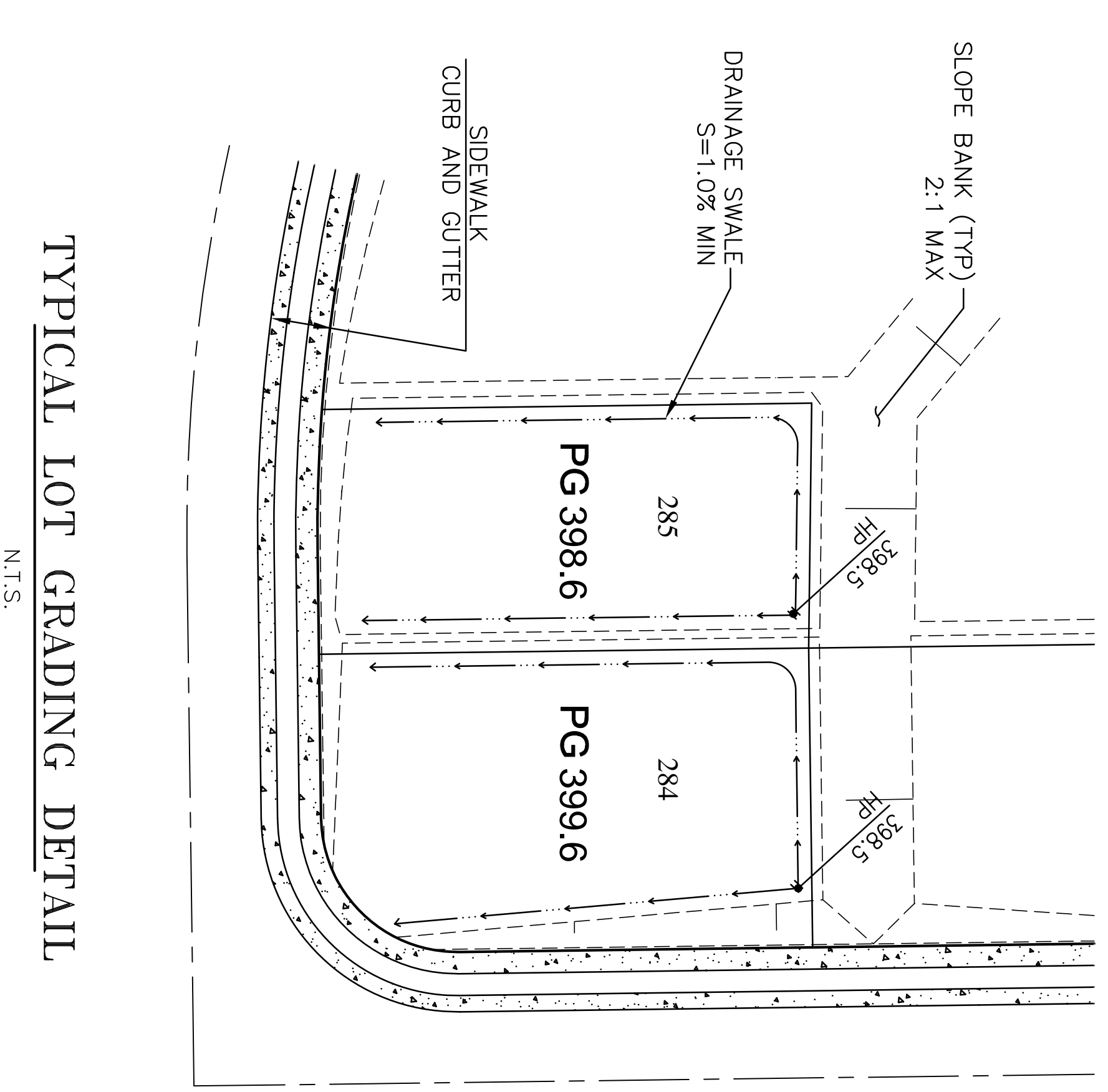
* SEE SHEET 8 FOR CASE 1 AND 2 CONFIGURATIONS

THE VILLAGE AT LOOMIS

TENTATIVE MAP - TYPICAL DETAILS

TOWN OF LOOMIS, CALIFORNIA

MARCH 2018
SHEET 10 OF 10

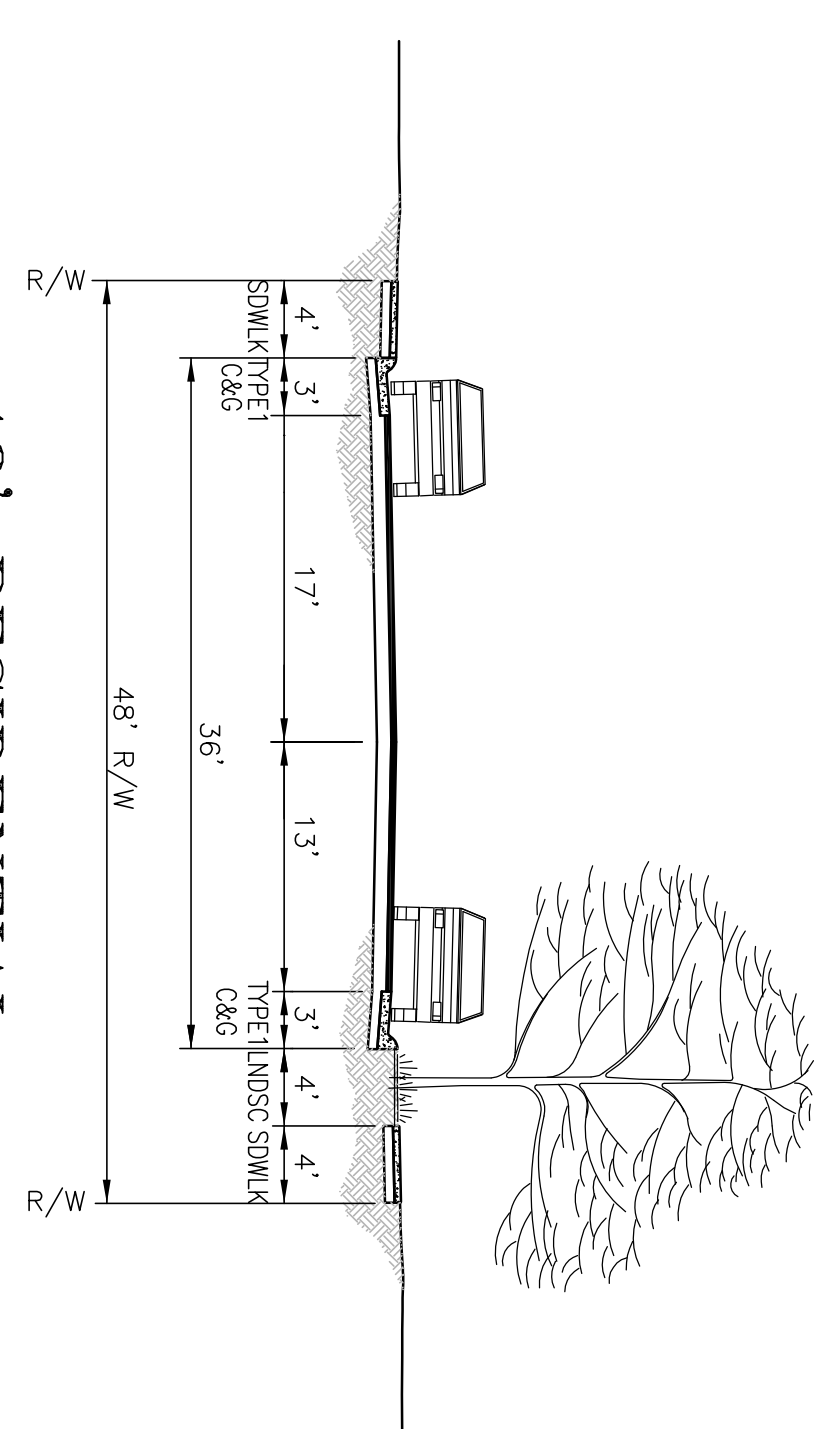


TYPICAL LOT GRADING DETAIL

N.T.S.

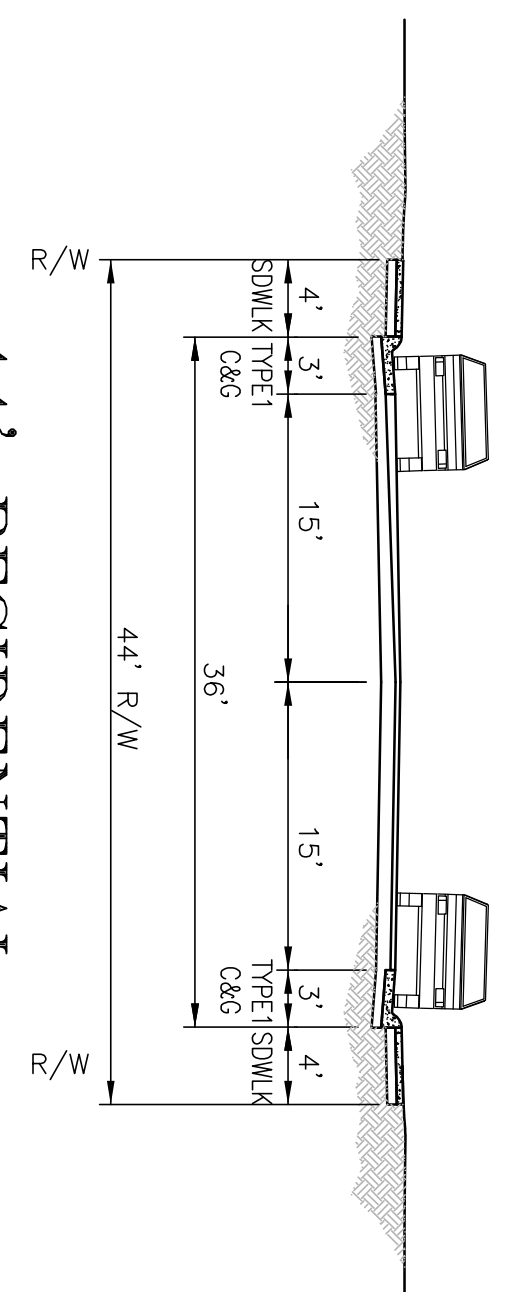
48' RESIDENTIAL

N.T.S.
GATES DRIVE, BLUE ANCHOR DRIVE,
BLUE GOOSE DRIVE, RED RAINE DRIVE,
BERRY DRIVE, MONUMENT DRIVE,
& MONUMENT ROCK COURT



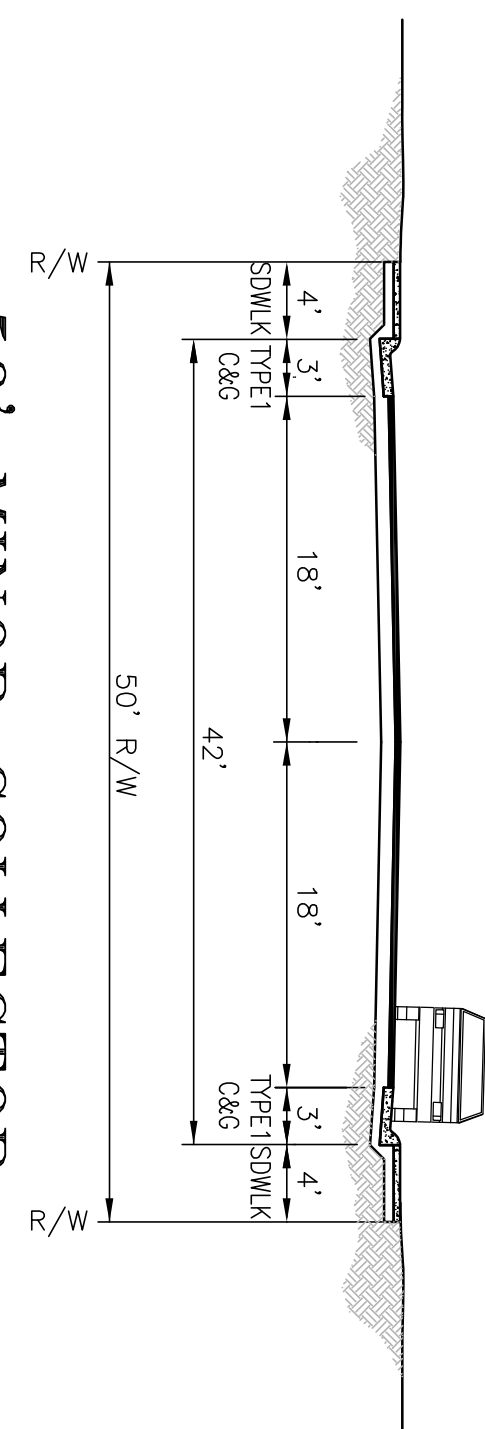
44' RESIDENTIAL

N.T.S.
RED RAINE DRIVE
(NORTHEAST AND SOUTHWEST OF
BLUE ANCHOR DR.)



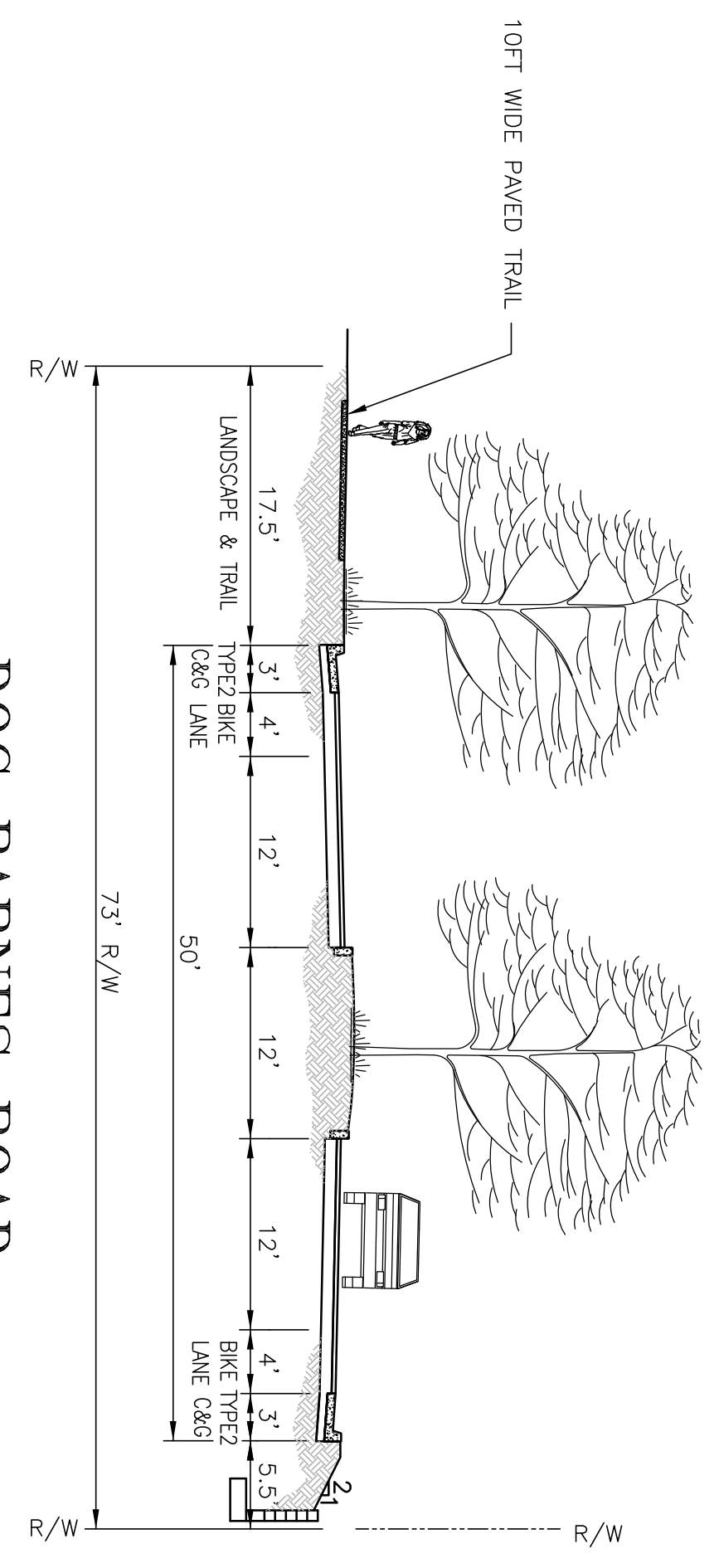
50' MINOR COLLECTOR

N.T.S.
SOUTH GATES DRIVE



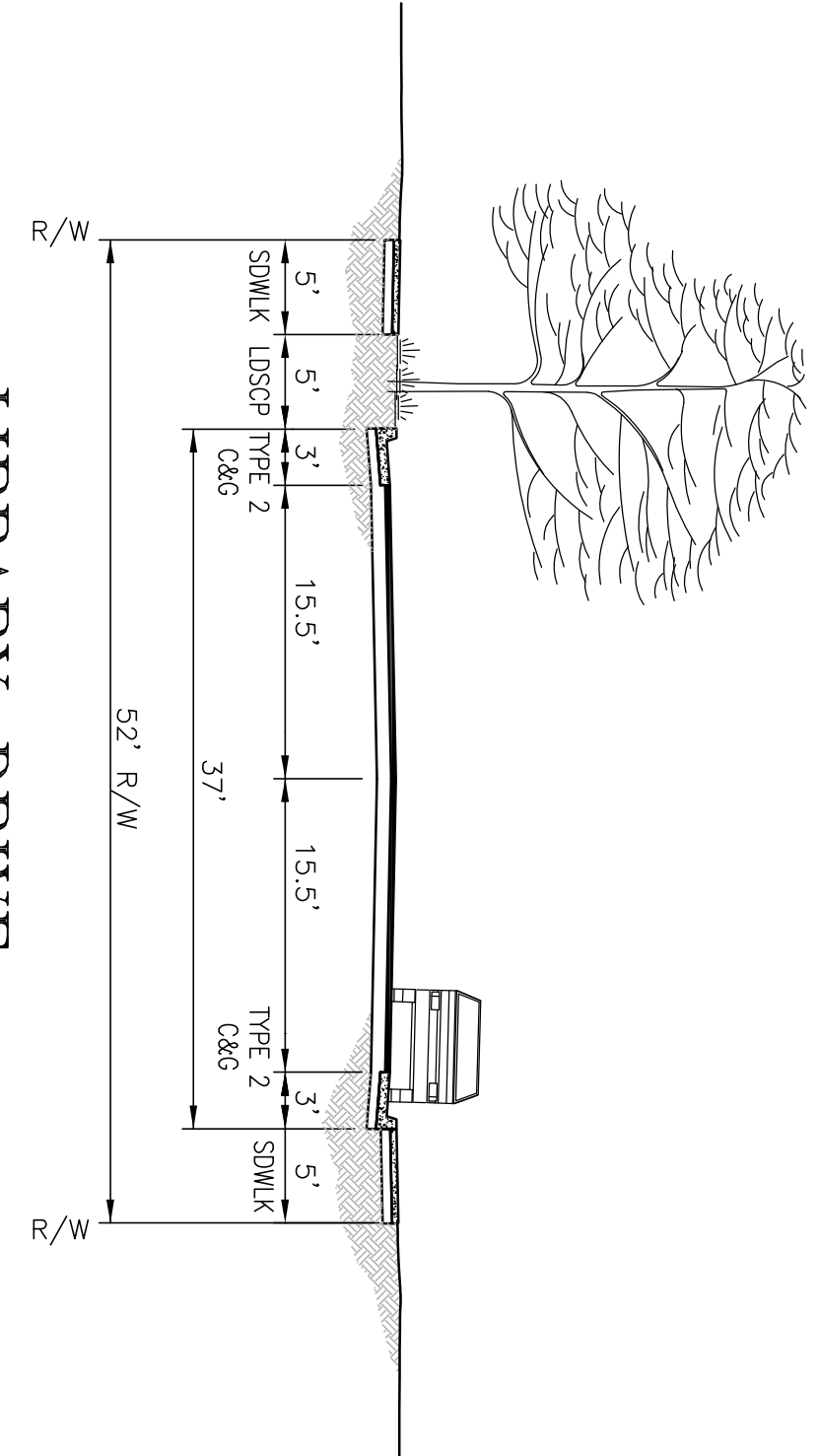
DOC BARNES ROAD

NO ON STREET PARKING
N.T.S.



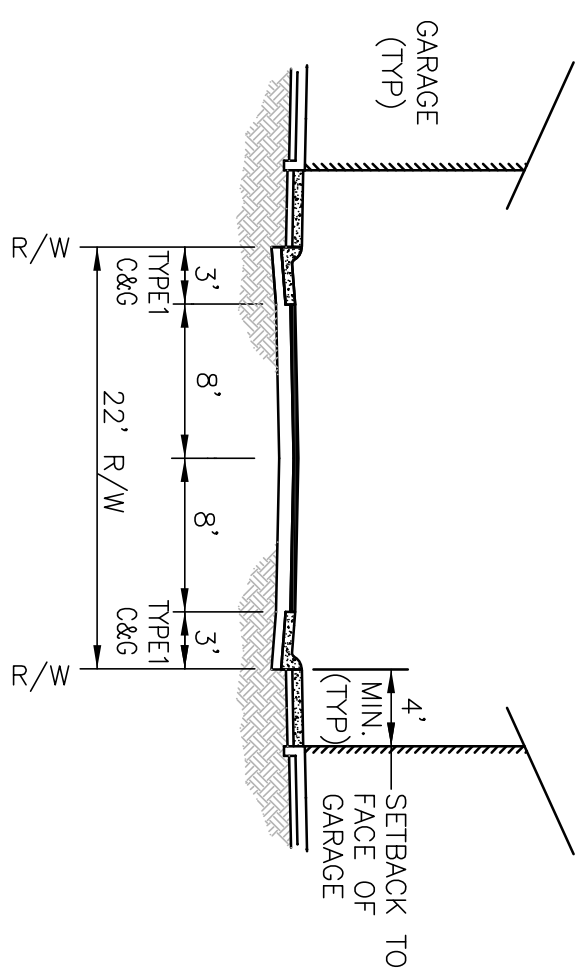
LIBRARY DRIVE

N.T.S.



22' ALLEY - VILLAGE RESIDENTIAL

(PHASE A)
NO PARKING IN R/W
N.T.S.



20' ALLEY ACCESS VILLAGE GREEN COURT

(PHASE C)
NO PARKING IN R/W
N.T.S.

