

# THE VILLAGE AT LOOMIS

## TENTATIVE MAP - PHASE A - LOTTING PLAN

### TOWN OF LOOMIS, CALIFORNIA

JULY 2017  
SHEET 1 OF 10

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#### LEGEND

- EXISTING PARCEL LINES
- ADJACENT EXISTING LOT LINES
- PROPOSED LOT LINES
- R/W - EXISTING
- R/W - PROPOSED
- EASEMENT
- FEMA 100-YR FLOOD PLAIN
- WETLANDS
- TIA REPORT PRE & POST DEVELOPMENT FLOODPLAIN
- TIA REPORT PRE DEVELOPMENT FLOODPLAIN
- TIA REPORT POST DEVELOPMENT FLOODPLAIN

#### BENCHMARK

HORIZONTAL DATUM:  
LOCAL GROUND COORDINATES WITH TIES TO NAD83(99) (5)  
CA HP04  
VERTICAL DATUM:  
NAD09 BASED ON BENCH MARK 'W 45 USGS' (PID J07066);  
ELEV. 398.65

#### OWNERS / DEVELOPER

OWNER: THE VILLAGE AT LOOMIS, LLC.  
P.O. BOX 1200, LOOMIS, CA 95650  
PHONE: (916) 660-1720  
DEVELOPER: LOWELL DEVELOPMENT, INC.  
P.O. BOX 1200 LOOMIS, CA 95650  
PHONE: (916) 660-1720

#### ENGINEER

TIA ENGINEERING & PLANNING, INC.  
114 UTTERA, SUITE 110  
ROSELILLE, CA 95661  
PHONE: (916) 786-0685  
FAX: (916) 786-0529

#### DATES OF SURVEYS

PHASES A-C: 01/21/04  
PHASE D: 12/31/04  
JOHNSON/LE: 10/25/13

#### LOT SIZE (SQUARE FEET)

MIN: 2,280 MAX: 4,383 AVG: 2,628±

#### ACREAGE\* TOTAL LOTS

14.9± 143

#### UTILITY AND SERVICE PROVIDERS:

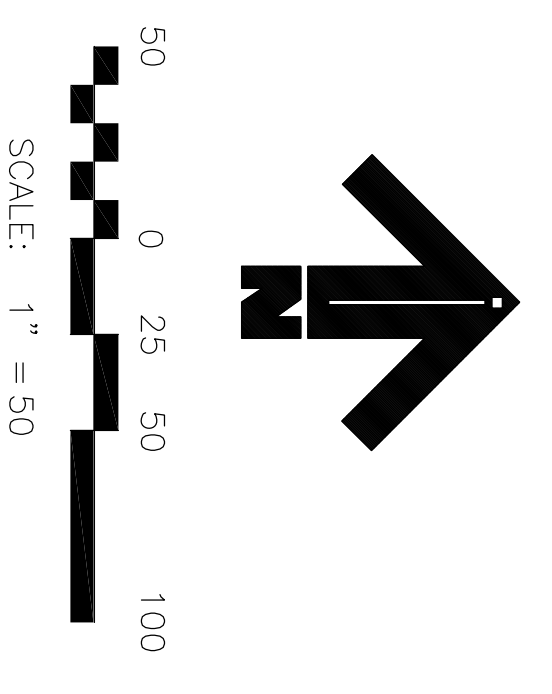
- WATERS: SLINGER COUNTY WATER AGENCY
- SEWER: SOUTHERN CALIFORNIA WATER SERVICE
- GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
- TELEPHONE: AT&T
- CABLE TV: WAVE BROADBAND
- SCHOOL DISTRICT: LOOMIS UNION HIGH SCHOOL DISTRICT
- FIRE PROTECTION: PEACER JUNIOR HIGH SCHOOL DISTRICT
- POST OFFICE: LOOMIS POST OFFICE
- STORM DRAINAGE: TOWN OF LOOMIS SHERIFF
- SOLID WASTE: AUBURN PLACER DISPOSAL SERVICE

#### GENERAL NOTES:

- A. Septic Systems  
There are no known existing wells, abandoned wells, sumps or any other underground septic systems on the property.  
B. Signage  
There are no signs planned at this time.  
C. Dimensions & Areas  
Dimensions & Areas shown are approximate & subject to change.  
D. Final Maps  
This tentative map is a large lot and a small lot map for Phases A, B, C and D. This tentative map is a large lot map only for the remainder of the lands shown herein.  
Applicant reserves the right to record multiple final maps.  
E. Under Common Ownership, Parcels A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z and A-1 through A-40.  
F. Easements, Easements & A-C: Roads, Gates Drive, South Gates Drive, Library Drive, Red Foote Drive, Blue Goose Drive, Blue Anchor Drive, Dec Barrows Drive, Monument Rock Drive, Monument Rock Court, Berkeley Court.  
G. Flood Zones  
All land outside FEMA 100 year Floodplain (Zone AE) is in FEMA Zone X.

CONFORM TO EXISTING  
PAVEMENT SECTION

INTERSECTION DESIGN TBD PER TRAFFIC ANALYSIS



**TIA**  
ENGINEERING & PLANNING  
1501 BIRKBAK ROAD, SUITE 110  
ROSELILLE, CA 95661 916/786-0685

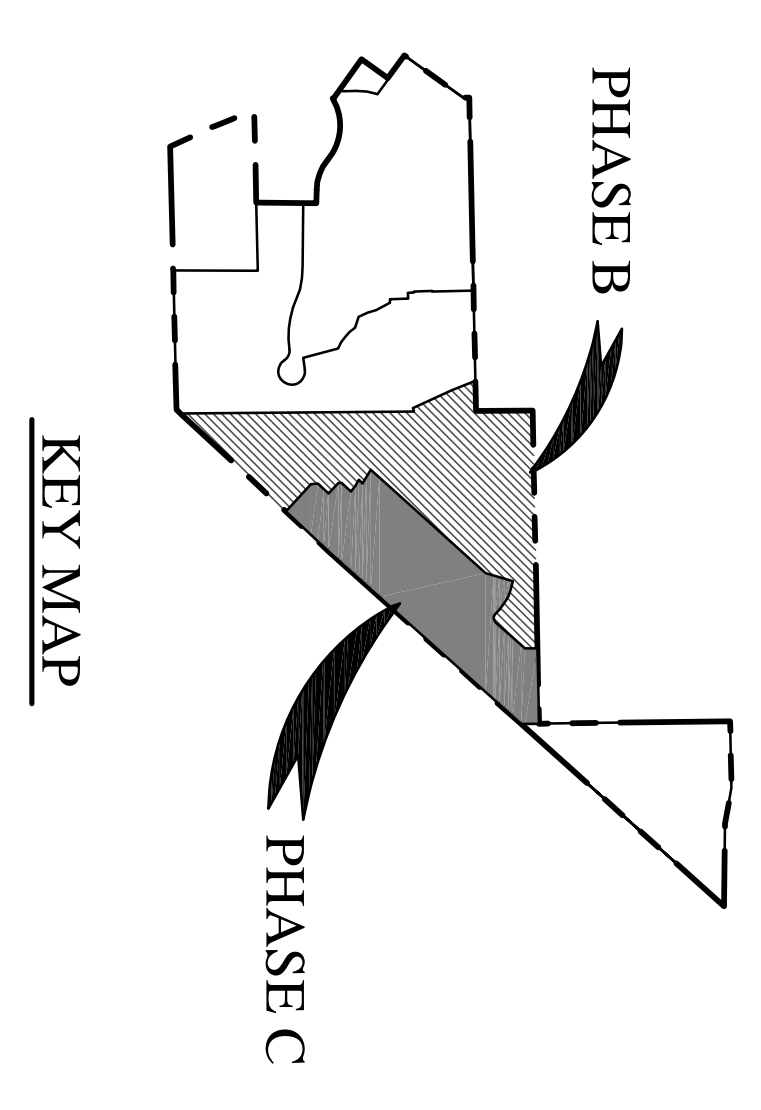
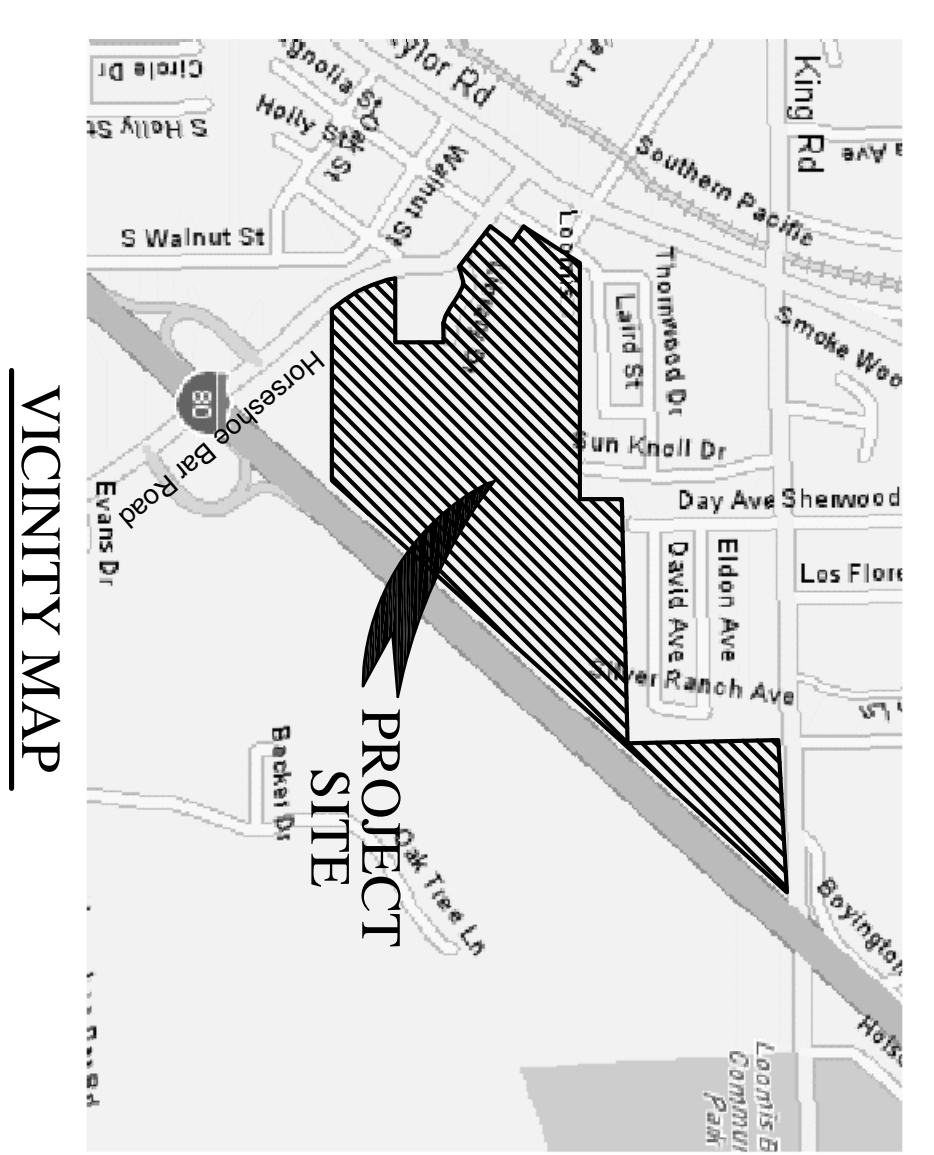
File: L:\proj\12x\1221\dwg\Entitlements\T-MAP\01 TM-PHASE A.dwg Jul 19, 2017 - 4:28pm plingtn

# THE VILLAGE AT LOOMIS

## TENTATIVE MAP - PHASES B & C - LOTTING PLAN

### TOWN OF LOOMIS, CALIFORNIA

JULY 2017  
SHEET 2 OF 10



**LEGEND**

- EXISTING PARCEL LINES
- ADJACENT EXISTING LOT LINES
- PROPOSED LOT LINES
- R/W - EXISTING
- R/W - PROPOSED
- EASEMENT
- FEMA 100-YR FLOOD PLAN
- WETLANDS
- TIA REPORT PRE & POST DEVELOPMENT FLOODPLAIN
- TIA REPORT PRE DEVELOPMENT FLOODPLAIN
- TIA REPORT POST DEVELOPMENT FLOODPLAIN
- PHASE LINE
- DELIMITED WETLAND

**BENCHMARK**  
HORIZONTAL DATUM:  
LOCAL GROUND COORDINATES WITH TIES TO NAD83(1991.35)  
CA HPGN

VERTICAL DATUM:  
NGVD29 BASED ON BENCH MARK 'W 45 USGS' (PID JS0766);  
ELEV. 398.65

**OWNERS / DEVELOPER**  
OWNER: THE VILLAGE AT LOOMIS, LLC,  
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DEVELOPER: LOWELL DEVELOPMENT, INC.,  
P.O. BOX 1200 LOOMIS, CA 95650  
PHONE: (916) 660-1720

**ENGINEER**  
TIA ENGINEERING & PLANNING, INC.  
1504 EUREKA ROAD, SUITE 110  
ROSEVILLE, CA 95661  
PHONE: (916) 786-0685  
FAX: (916) 786-0529

**DATES OF SURVEYS**

PHASES A-C: 01/21/04  
PHASE D: 12/31/04  
JOHNSON/LE: 10/25/13

**LOT SIZE (SQUARE FEET)**

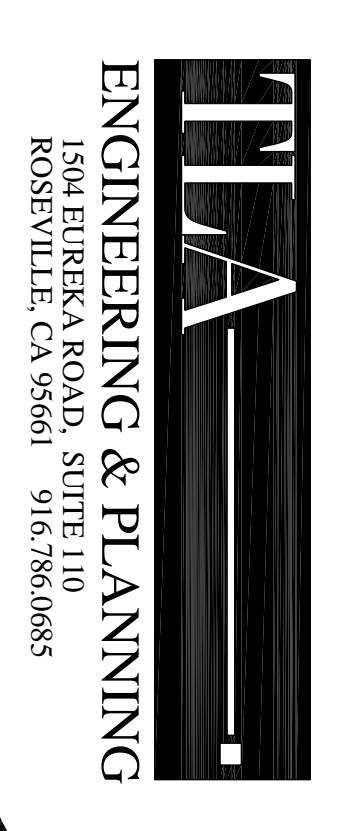
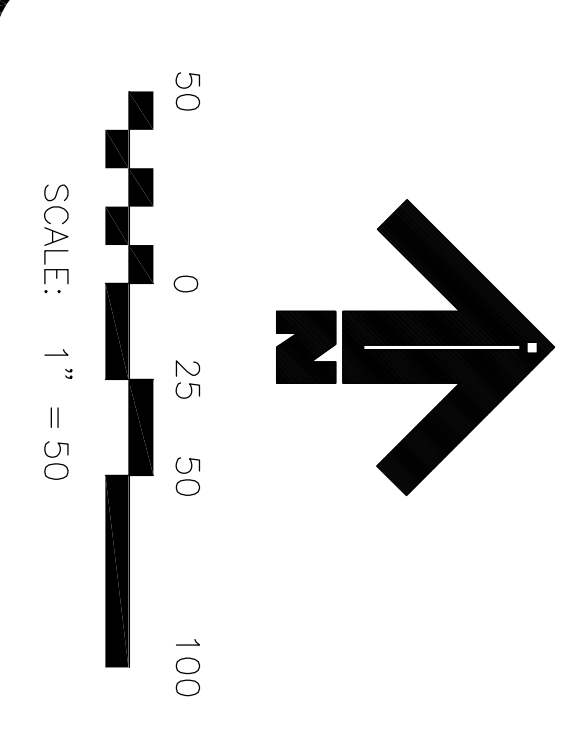
PHASE B: MIN:4,003 MAX:7,288 AVG:4,748  
PHASE C: MIN:2,298 MAX:4,475 AVG:2,965

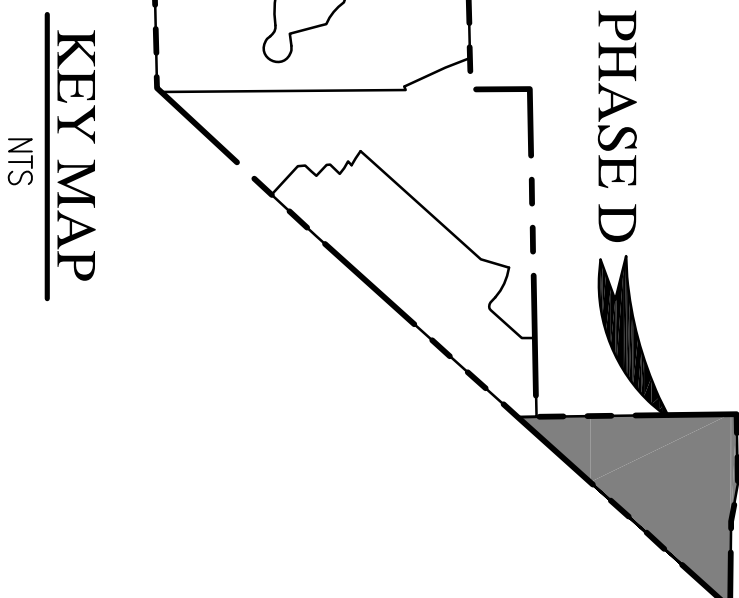
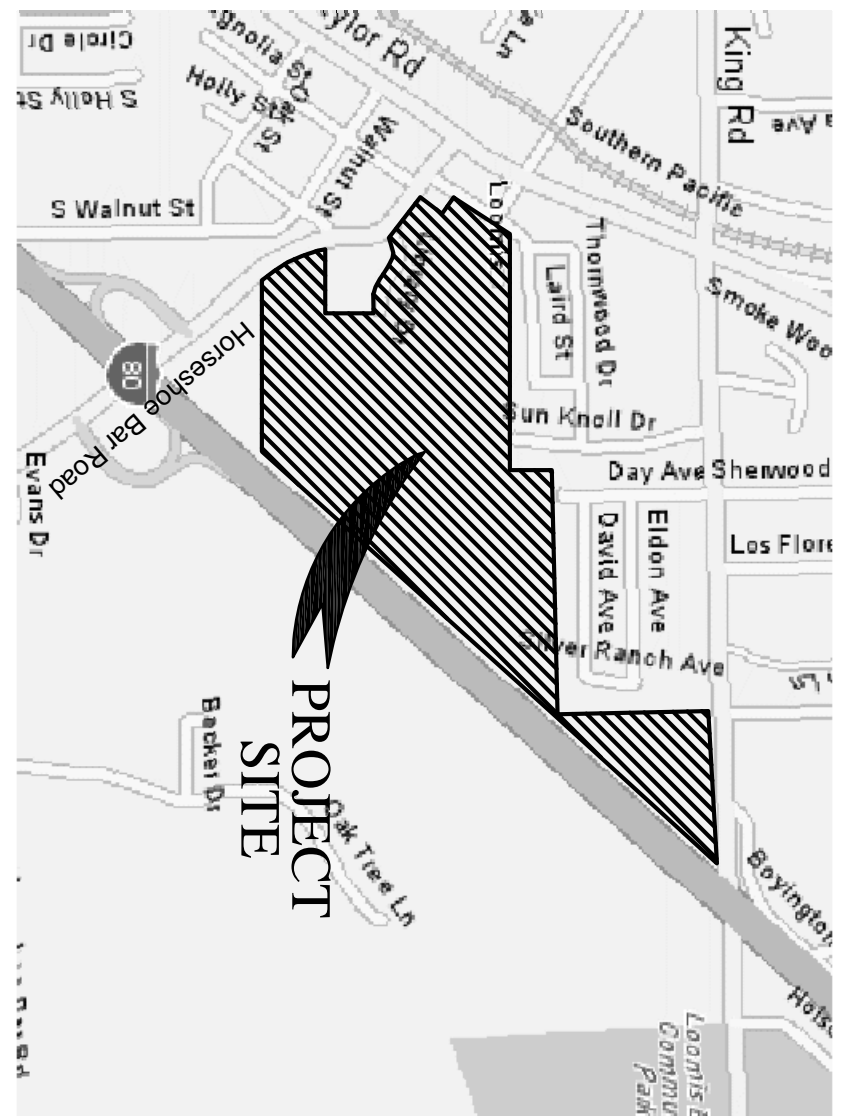
**ACREAGE # TOTAL LOTS**

PHASE B: 8.80± 59  
PHASE C: 9.59± 64

**UTILITY AND SERVICE PROVIDERS:**

WATER: PLACER COUNTY WATER AGENCY  
SEWER: SOUTH PLACER MUNICIPAL UTILITY DISTRICT  
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC  
TELEPHONE: AT&T  
CABLE TV: WAVE BROADBAND  
SCHOOL DISTRICT: LOOMIS UNION SCHOOL DISTRICT  
FIRE PROTECTION: PLACER UNION HIGH SCHOOL DISTRICT  
POLICE PROTECTION: PLACER COUNTY SHERIFF  
STORM DRAINAGE: TOWN OF LOOMIS  
SOLID WASTE: AUBURN PLACER DISPOSAL SERVICE





# THE VILLAGE AT LOOMIS

## TENTATIVE MAP - PHASE D - LOTTING PLAN

### TOWN OF LOOMIS, CALIFORNIA

JULY 2017  
SHEET 3 OF 10



**LEGEND**

- EXISTING PARCEL LINES
- ADJACENT EXISTING LOT LINES
- PROPOSED LOT LINES
- R/W - EXISTING
- R/W - PROPOSED
- EASEMENT
- FEMA 100-YR FLOODPLAIN
- WETLANDS
- TIA REPORT PRE & POST DEVELOPMENT FLOODPLAIN
- TIA REPORT PRE DEVELOPMENT FLOODPLAIN
- TIA REPORT POST DEVELOPMENT FLOODPLAIN

**BENCHMARK**  
HORIZONTAL DATUM:  
LOCAL GROUND COORDINATES WITH TIES TO NAD83(1991.35)  
CA HPGN  
VERTICAL DATUM:  
NGVD29 BASED ON BENCH MARK 'W 45 USGS' (PID JS0766);  
ELEV: 398.65

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PHONE: (916) 660-1720

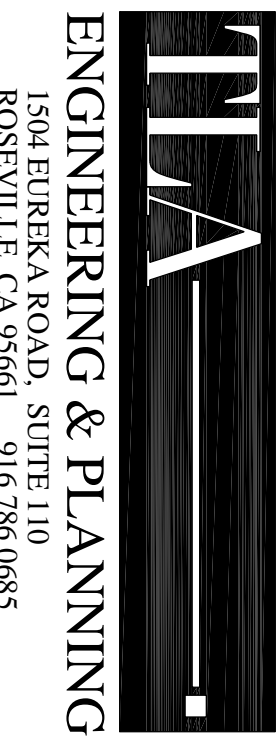
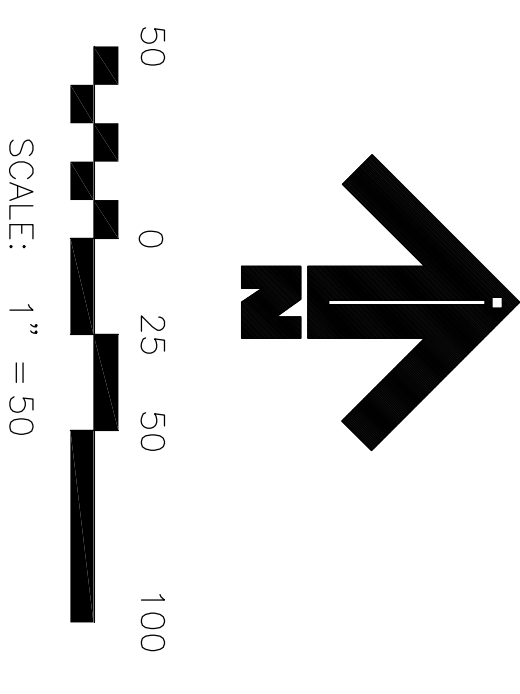
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ROSEVILLE, CA 95661  
PHONE: (916) 786-0685  
FAX: (916) 786-0529

**DATES OF SURVEYS**  
PHASES A-C: 01/21/04  
PHASE D: 12/31/04  
JOHNSON/LE: 10/29/13

**LOT SIZE (SQUARE FEET)**  
MIN: 4,066 MAX: 9,707 AVG: 5,822

**ACREAGE \*** TOTAL LOTS  
7.104 29

**LUTILITY AND SERVICE PROVIDERS:**  
WATER: PLACER COUNTY WATER AGENCY  
SEWER: SOUTH PLACER MUNICIPAL UTILITY DISTRICT  
ELECTRIC: AT&T  
TELEPHONE: AT&T  
CABLE TV: WAVE BROADBAND  
SCHOOL DISTRICT: LOOMIS UNION SCHOOL DISTRICT  
FIRE PROTECTION: PLACER COUNTY SHERIFF  
POLICE PROTECTION: PLACER COUNTY SHERIFF  
STORM DRAINAGE: TOWN OF LOOMIS  
SOLID WASTE: AUBURN PLACER DISPOSAL SERVICE



# THE VILLAGE AT LOOMIS

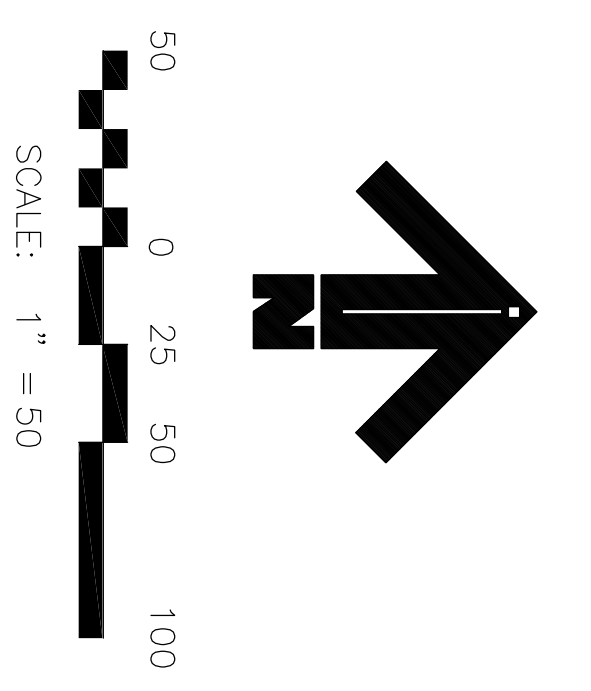
## TENTATIVE MAP - PHASE A - UTILITY PLAN

### TOWN OF LOOMIS, CALIFORNIA

JULY 2017  
SHEET 4 OF 10



EXISTING	PROPOSED	DESCRIPTION
①	②	BRAIN MANHOLE
③	④	SEWER MANHOLE
⑤	⑥	STORM WATER TREATMENT FACILITY
⑦	⑧	MANHOLE - WATER TRANSMISSION MAIN
⑨	⑩	BRAIN INLET
⑪	⑫	SEWER CLEAN OUT
⑬	⑭	SEWER SERVICE
⑮	⑯	SEWER LINE AND SIZE
⑰	⑱	DRAIN LINE AND SIZE
⑲	⑳	WATER LINE AND SIZE
㉑	㉒	RAW WATER LINE AND SIZE
㉓	㉔	FIRE HYDRANT (RESTRICTED)
㉕	㉖	STREET LIGHT
㉗	㉘	ELECTRIC VAULT OR PAD
㉙	㉚	UTILITY VAULT - TYPE NOT SPECIFIED
㉛	㉜	SLOPE BANK
㉝	㉞	RETAINING WALL
㉟	㊀	SPOT ELEVATION
㊁	㊂	CONTOUR LINE
㊃	㊄	FENCE
㊅	㊆	GAS, ELEC., TELE OR JOINT TRENCH
㊇	㊈	PROPERTY LINE
㊉	㊊	PUBLIC UTILITY EASEMENT
㊋	㊌	MONUMENT WELL
㊍	㊎	DETAILED DESIGNATION/SHEET REFERENCE
㊏	㊐	GRADE BREAK LINE
㊑	㊒	SLOPE
㊓	㊔	CONSTRUCTION FENCE
㊕	㊖	SEE DETAIL
㊗	㊘	PROPOSED ELEVATION
㊙	㊚	BUILDING ENVELOPE
㊛	㊜	PROPERTY LINE
㊝	㊞	LOT NUMBER

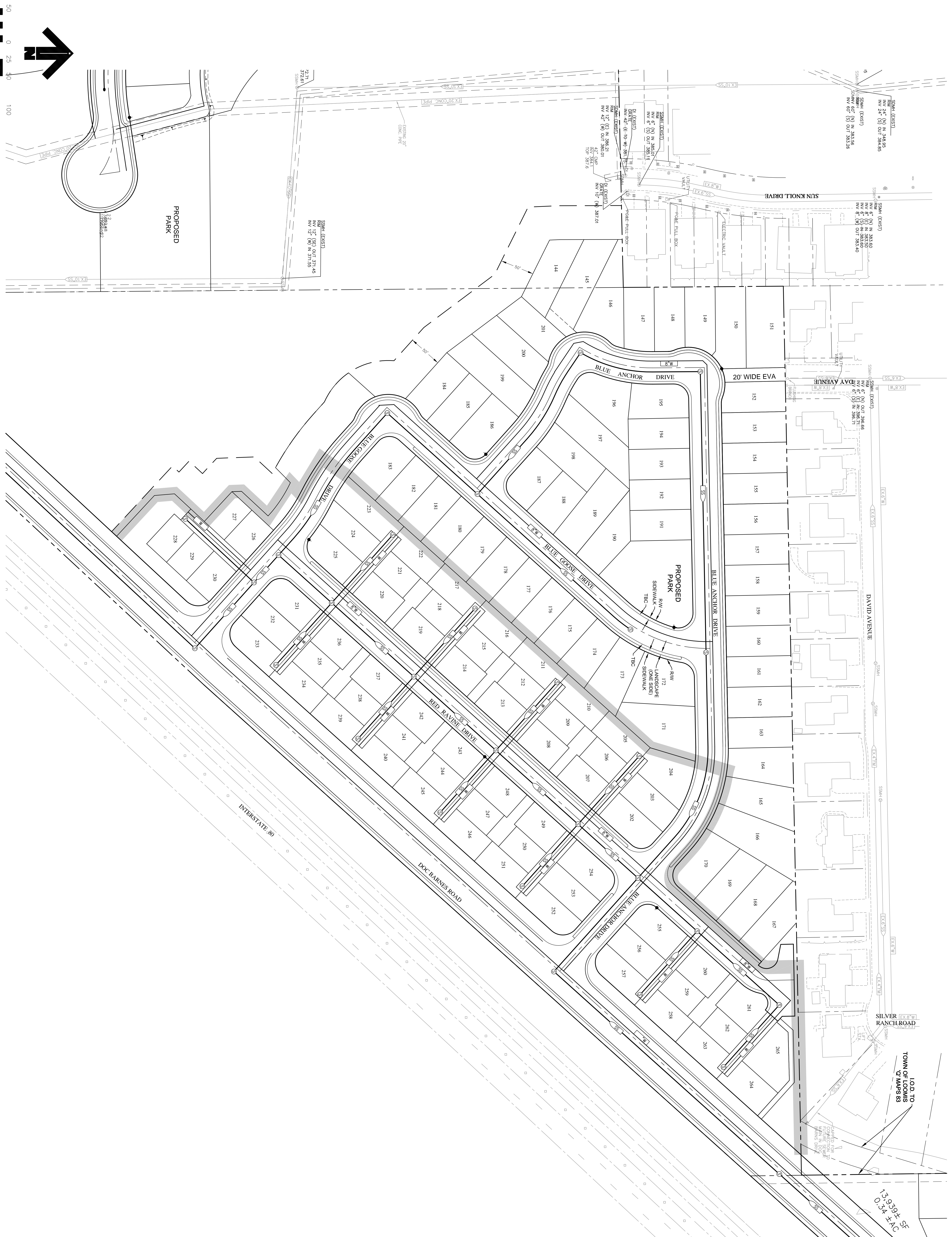


# THE VILLAGE AT LOOMIS

## TENTATIVE MAP - PHASE B & C - UTILITY PLAN

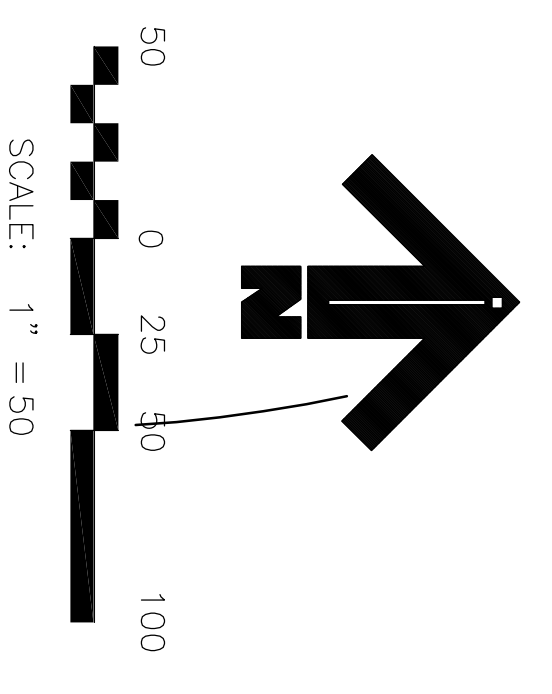
### TOWN OF LOOMIS, CALIFORNIA

JULY 2017  
SHEET 5 OF 10



**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
①	②	DRAIN MANHOLE
③	④	SEWER MANHOLE
⑤	⑥	STORM WATER TREATMENT FACILITY
⑦	⑧	MANHOLE - WATER TRANSMISSION MAIN
⑨	⑩	DRAIN METE
⑪	⑫	DRAIN CLEAN OUT
⑬	⑭	SEWER CLEAN OUT
⑮	⑯	SEWER SERVICE
⑰	⑱	SEWER LINE AND SIZE
⑲	⑳	DRAIN LINE AND SIZE
㉑	㉒	WATER LINE AND SIZE
㉓	㉔	FIRE HYDRANT (RESTRIKED)
㉕	㉖	STREET LIGHT
㉗	㉘	ELECTRIC WALT OR PAD
㉙	㉚	UTILITY WALT - TYPE NOT SPECIFIED
㉛	㉜	SLOPE BANK
㉝	㉞	RETAINING WALL
㉟	㊀	ALTIMETIC SPOT ELEVATION
㊁	㊂	CONTOUR LINE
㊃	㊄	FENCE
㊅	㊆	GAS, ELEC, TELE OR JOINT TRENCH
㊇	㊈	PROPERTY LINE
㊉	㊊	MONUMENT WELL
㊋	㊌	DETAILED RESERVATION/ SHEET FOR SERVICE
㊍	㊎	GRADE BREAK LINE
㊏	㊐	SWALE
㊑	㊒	SLOPE
㊓	㊔	CONSTRUCTION FENCE, PROPOSED ELEVATION
㊕	㊖	BUILDING ENVELOPE
㊗	㊘	PROPERTY LINE
㊙	㊚	LOT NUMBER

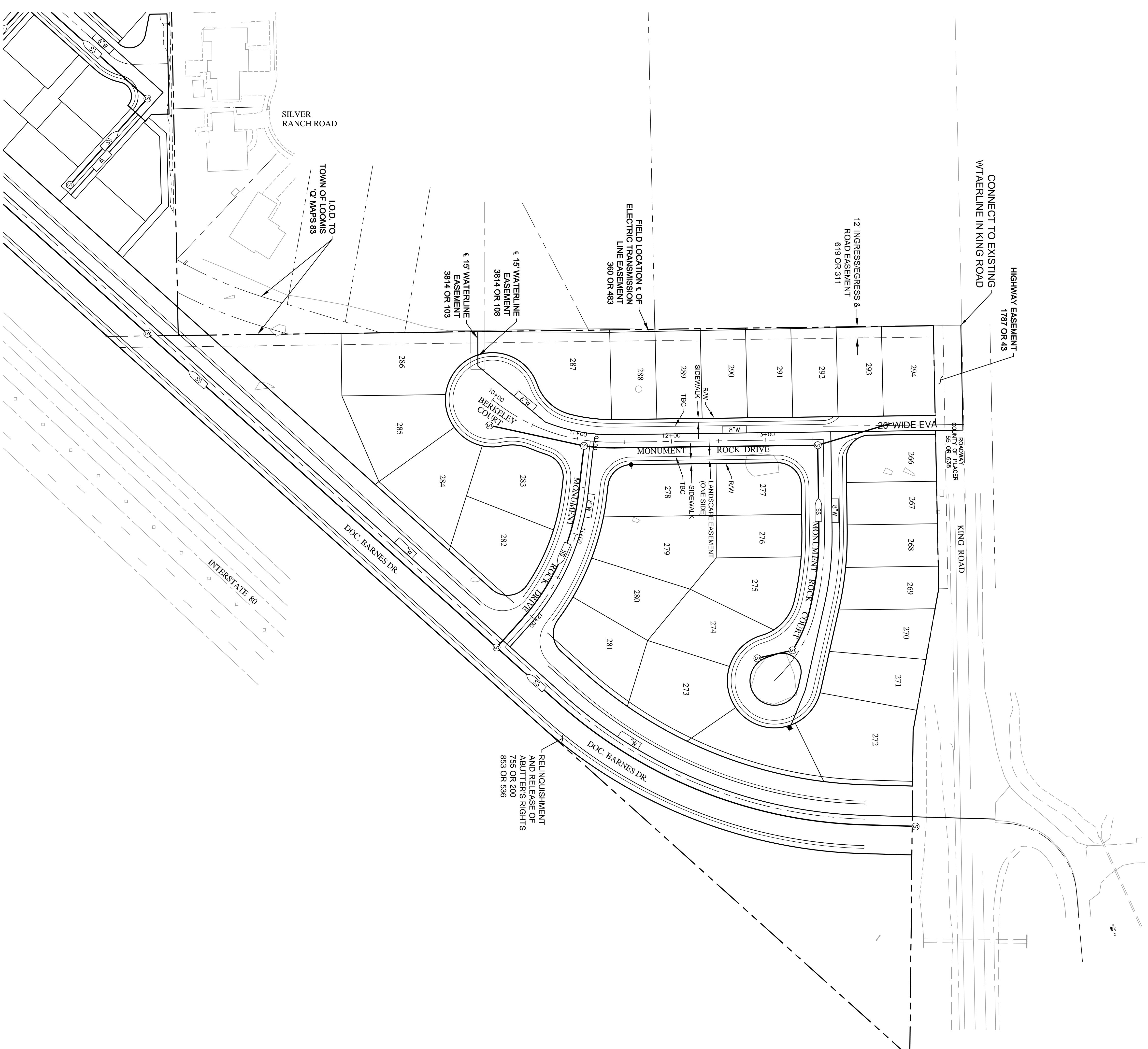


# THE VILLAGE AT LOOMIS

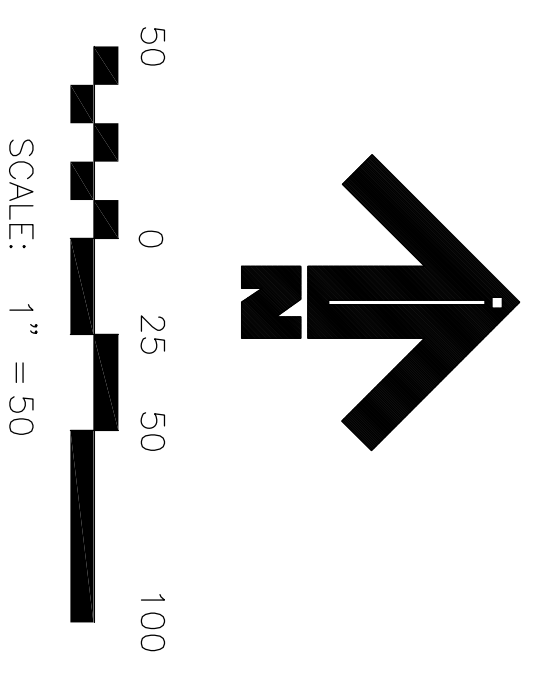
## TENTATIVE MAP - PHASE D - UTILITY PLAN

### TOWN OF LOOMIS, CALIFORNIA

JULY 2017  
SHEET 6 OF 10



EXISTING	PROPOSED	DESCRIPTION
①	②	DRAIN MANHOLE
③	④	SEWER MANHOLE
⑤	⑥	STORM WATER TREATMENT FACILITY
⑦	⑧	MANHOLE - WATER TRANSMISSION MAIN
⑨	⑩	DRAIN MET
⑪	⑫	DRAIN CLEAN OUT
⑬	⑭	SEWER CLEAN OUT
⑮	⑯	SEWER SERVICE
⑰	⑱	SEWER LINE AND SIZE
⑲	⑳	DRAIN LINE AND SIZE
㉑	㉒	WATER LINE AND SIZE
㉓	㉔	FIRE HYDRANT (RESTRAINED)
㉕	㉖	STREET LIGHT
㉗	㉘	ELECTRIC WALT OR PAD
㉙	㉚	UTILITY WALT - TYPE NOT SPECIFIED
㉛	㉜	SLOPE BANK
㉝	㉞	RETAINING WALL
㉟	㊱	ALUMINUM SPOT ELEVATION
㊲	㊳	CONTOUR LINE
㊴	㊵	FENCE
㊶	㊷	GAS, ELEC, TELE OR JOINT TRENCH
㊸	㊹	PROPERTY LINE
㊺	㊻	PUBLIC UTILITY EASEMENT
㊼	㊽	MONUMENT WELL
㊾	㊿	DETAILED RESERVATION/SHEET NO CHANGE
Ⓚ	Ⓛ	GRADE BREAK LINE
Ⓜ	Ⓨ	SWALE
Ⓩ	ⓞ	SLOPE
ⓐ	ⓧ	CONSTRUCTION FENCE, SEE DESIGN ELEVATION
ⓑ	ⓨ	PROPOSED ELEVATION
ⓓ	ⓩ	BUILDING ENVELOPE
ⓔ	⓪	PROPERTY LINE
ⓖ	⓫	LOT NUMBER



# THE VILLAGE AT LOOMIS

## TENTATIVE MAP - PHASE A - GRADING & DRAINAGE

TOWN OF LOOMIS, CALIFORNIA

JULY 2017  
SHEET 7 OF 10



### LEGEND

- |  |  |
|--|--|
|  | EXISTING DRAIN MANHOLE   |
|  | PROPOSED DRAIN MANHOLE   |
|  | STORM WATER TREATMENT FACILITY MANHOLE - WATER TRANSMISSION MAIN |
|  | DRAIN INLET  |
|  | DRAIN CLEAN OUT  |
|  | SEWER CLEAN OUT  |
|  | SEWER SERVICE  |
|  | SEWER LINE AND SIZE  |
|  | WATER LINE AND SIZE  |
|  | FIRE HYDRANT (RESTRICTED)  |
|  | STREET LIGHT   |
|  | ELECTRIC VAULT OR PAD  |
|  | UTILITY VAULT - TYPE NOT SPECIFIED                               |
|  | SLOPE BANK   |
|  | RETAINING WALL   |
|  | RETAINING WALL NUMBER (SEE RETAINING WALL SCHEDULE THIS SHEET)   |
|  | SPOT ELEVATION   |
|  | CONTOUR LINE   |
|  | FENCE  |
|  | GAS, ELEC, TILE OR PROPERTY LINE                                 |
|  | MONUMENT WELL  |
|  | SETLINE  |
|  | UTILITY VAULT - TYPE NOT SPECIFIED                               |
|  | GRADE BREAK LINE   |
|  | SLOPE  |
|  | SLOPE BREAK LINE   |
|  | PROPOSED NEW BUILDING ENVELOPE                                   |
|  | PROPOSED ALLEY ACCESS  |
|  | PROPERTY LINE  |
|  | LOT NUMBER   |

### RETAINING WALL SCHEDULE

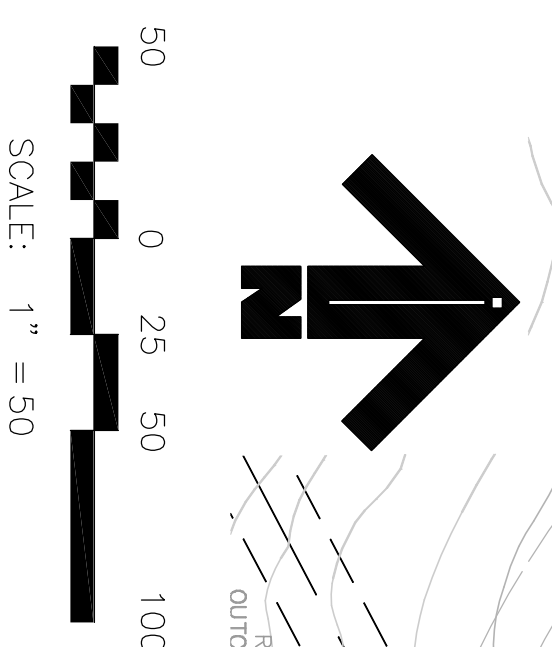
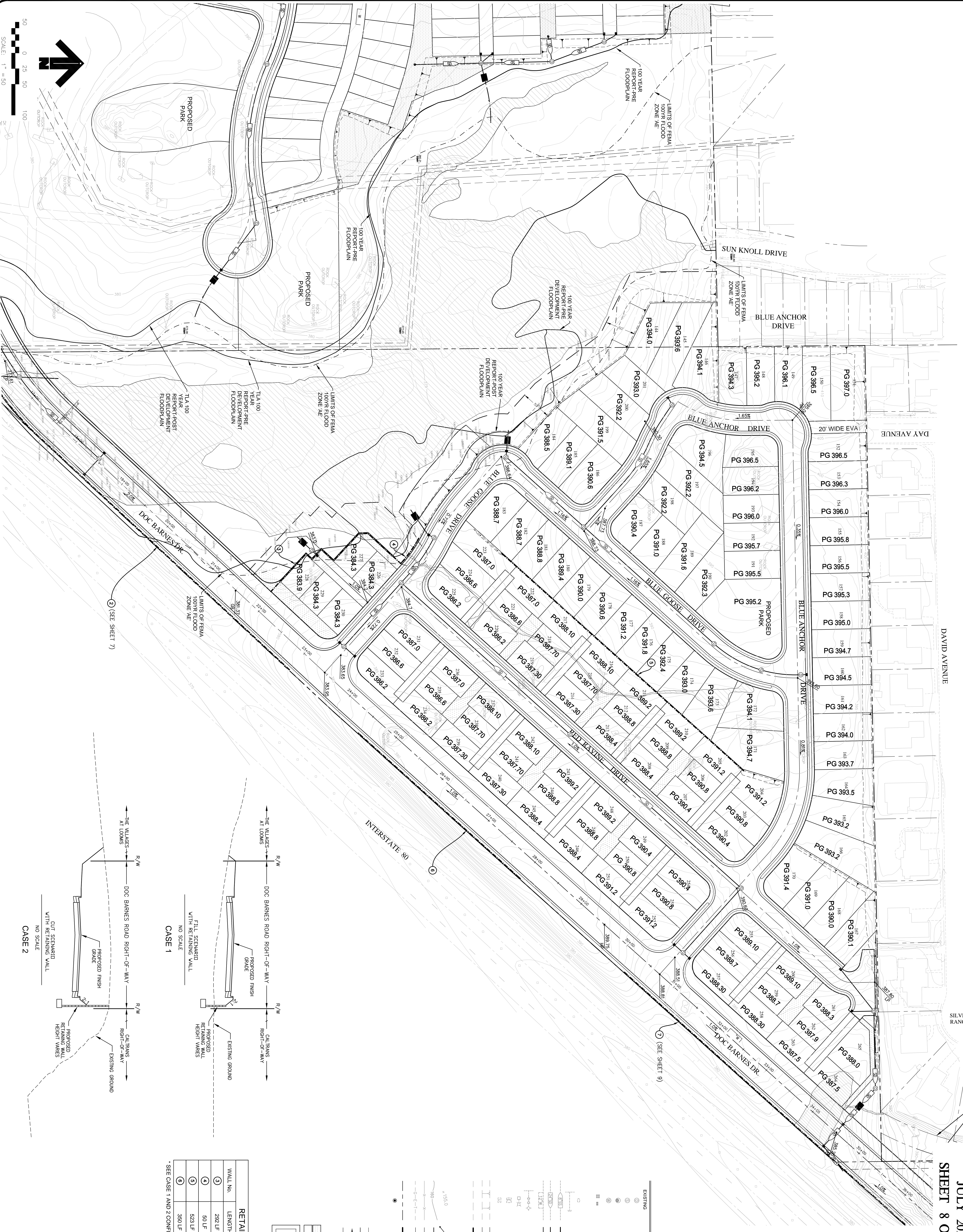
WALL NO.	LENGTH	CASE NO.	HEIGHT
①	175 LF	CASE 1*	VARIABLE 0 to 2 FT
②	818 LF	CASE 1*	VARIABLE 0 to 3.3 FT

SEE SHEET 8 FOR CASE 1 AND 2 CONFIGURATIONS

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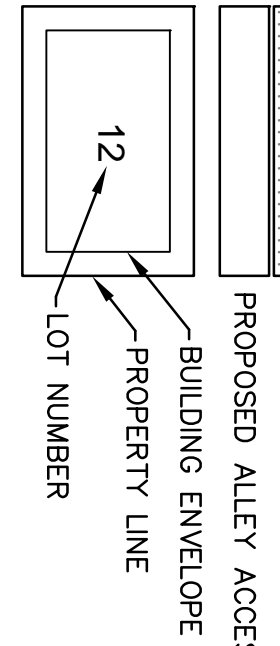
**THE VILLAGE AT LOOMIS**  
**TENTATIVE MAP - PHASE B&C - GRADING & DRAINAGE**  
 TOWN OF LOOMIS, CALIFORNIA

JULY 2017  
 SHEET 8 OF 10



**LEGEND**

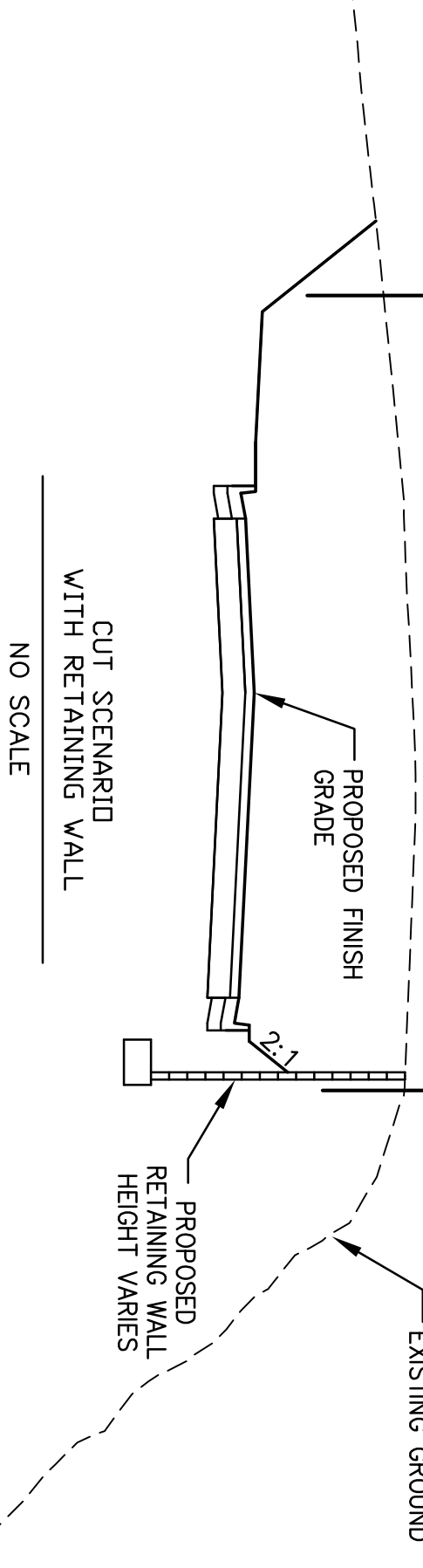
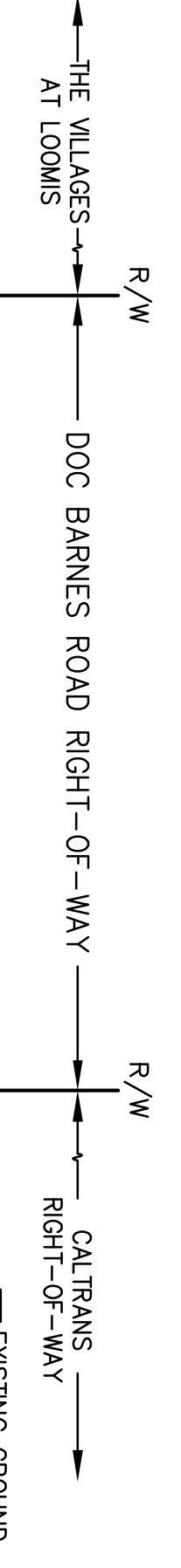
- EXISTING
- PROPOSED
- DRAIN MANHOLE
- SEWER MANHOLE
- STORM WATER TREATMENT FACILITY
- MANHOLE - WATER TRANSMISSION MAIN
- DRAIN INLET
- DRAIN CLEAN OUT
- SEWER SERVICE
- SEWER LINE AND SIZE
- DEMAIN LINE AND SIZE
- WATER LINE AND SIZE
- STREET LIGHT
- FIRE HYDRANT (RESTRICTED)
- ELECTRIC WALT OR PAD
- UTILITY WALT - TYPE NOT SPECIFIED
- SLOPE BANK
- RETAINING WALL
- RETAINING WALL NUMBER (SEE RETAINING WALL SCHEDULE THIS SHEET)
- SPOT ELEVATION
- CONTIGUR LINE
- FENCE
- GAS, ELEC., TELE. OR JOINT TRENCH
- PROPERTY LINE
- MONUMENT WALL
- DETAILED DESIGNATION/ GRADE BREAK LINE
- SLOPE
- SWALE
- CONSTRUCTION FENCE
- PROPOSED NEW BUILDING ENVELOPE
- PROPOSED ALLEY ACCESS
- PROPERTY LINE



**RETAINING WALL SCHEDULE**

WALL NO.	LENGTH	CASE NO.	HEIGHT
①	292 LF	N/A	VARIES 10.0 TO 12 FT
②	50 LF	N/A	VARIES 10.0 TO 12 FT
③	523 LF	N/A	VARIES 1.8 TO 3.5 FT
④	350 LF	CASE 2*	VARIES 0.4-4 FT

\* SEE CASE 1 AND 2 CONFIGURATIONS THIS SHEET



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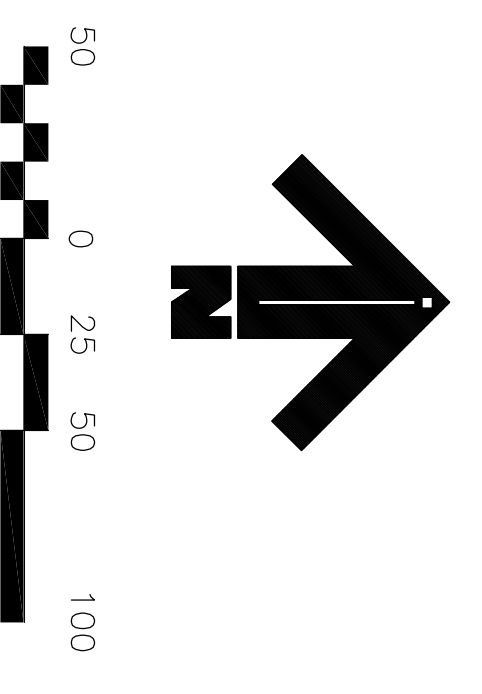


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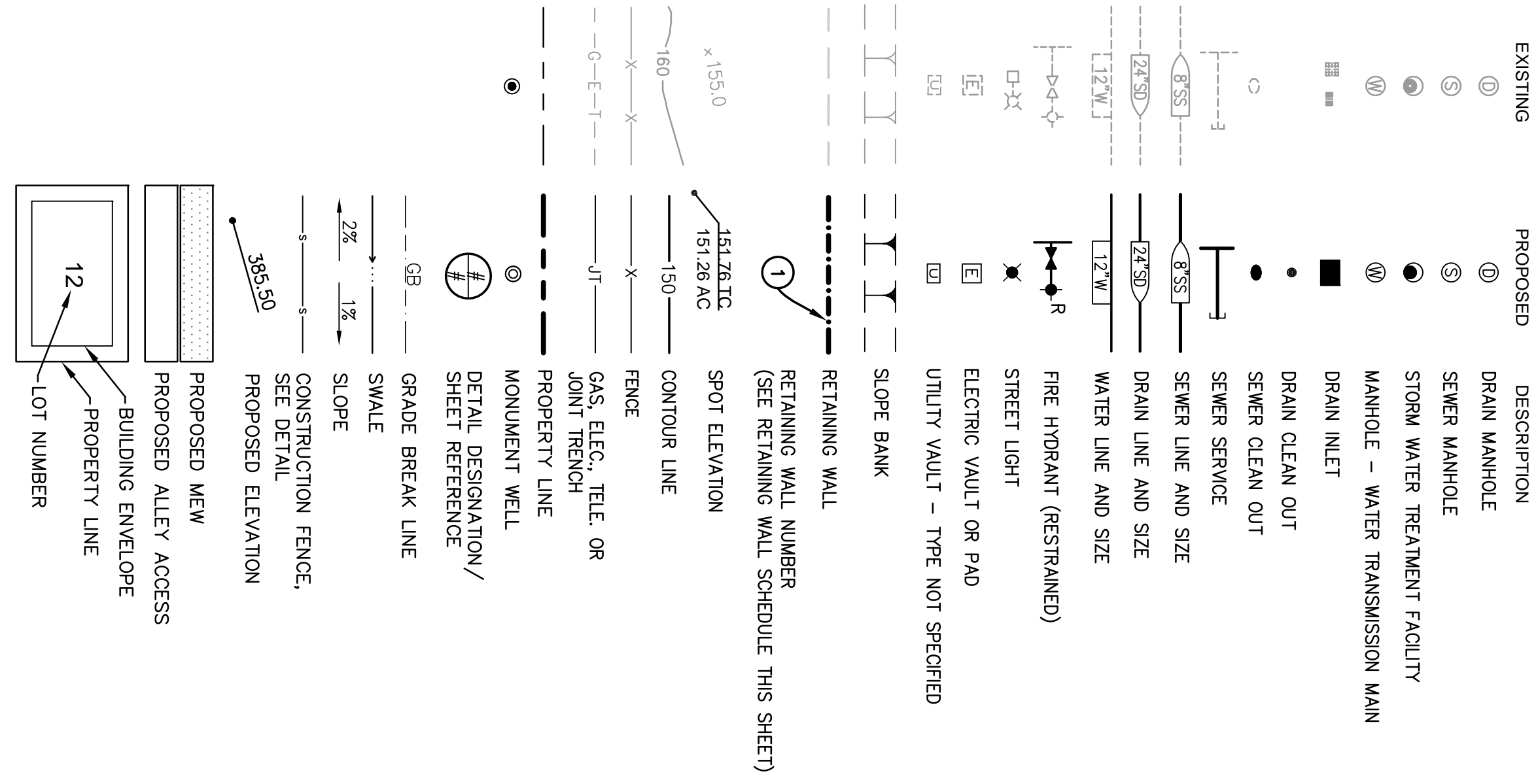
## TENTATIVE MAP - PHASE D - GRADING & DRAINAGE

### TOWN OF LOOMIS, CALIFORNIA

JULY 2017  
SHEET 9 OF 10



#### LEGEND



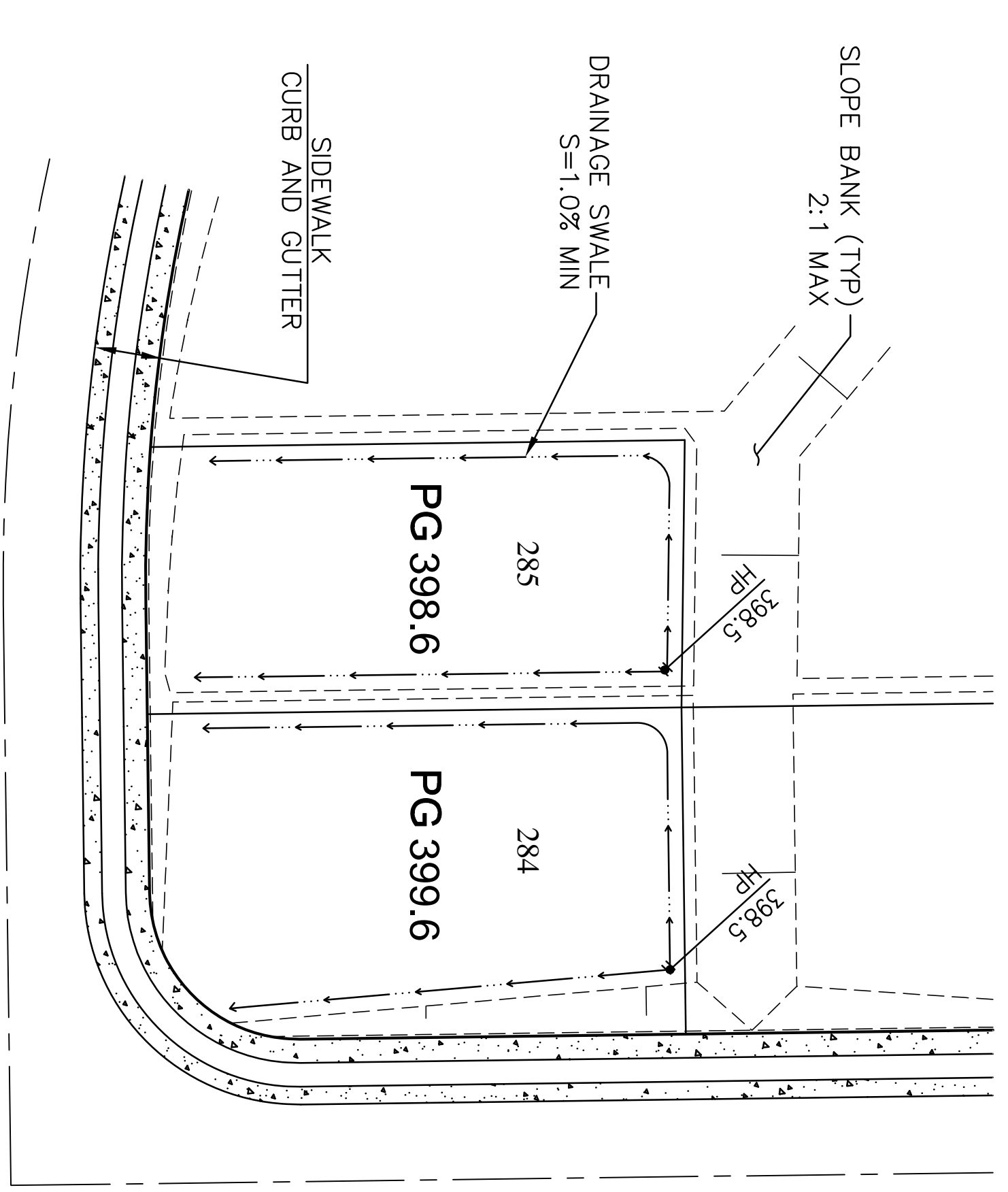
#### RETAINING WALL SCHEDULE

WALL NO.	LENGTH	CASE NO.	HEIGHT
7	1193 LF	CASE 1*	VARIABLE 0 TO 10.7 FT

\* SEE SHEET 8 FOR CASE 1 AND 2 CONFIGURATIONS

**THE VILLAGE AT LOOMIS**  
**TENTATIVE MAP - TYPICAL DETAILS**  
**TOWN OF LOOMIS, CALIFORNIA**

JULY 2017  
SHEET 10 OF 10



**TYPICAL LOT GRADING DETAIL**  
N.T.S.