



TOWN OF LOOMIS
PLANNING COMMISSION AGENDA
LOOMIS DEPOT
5775 HORSESHOE BAR ROAD
LOOMIS, CALIFORNIA

TUESDAY

DECEMBER 17, 2013

7:30 PM

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

___ Chairman Hogan
___ Commissioner Miller
___ Commissioner Thew
___ Commissioner Wilson

CEREMONIAL MATTERS

ADMINISTRATION OF OATH TO INCOMING PLANNING COMMISSIONERS: Brian Baker and Jeff Duncan

RECOGNITION OF DEPARTING PLANNING COMMISSIONER: Janet Thew

BRIEF RECESS

COMMISSION COMMENTS

PUBLIC COMMENT FOR ITEMS NOT ON THE AGENDA

ADOPTION OF AGENDA

If items on the Agenda will be rescheduled for a different day and time, it will be announced at this time. All matters listed under the Consent Agenda are considered to be routine and all will be enacted by one motion with a voice vote. There is no separate discussion of these items unless members of the Planning Commission, audience or staff request specific items to be removed from the Consent Agenda for separate action. Any items removed will be considered after the motion to approve the Consent Agenda.

CONSENT AGENDA

RECOMMENDATION

1. OCTOBER 22, 2013 MINUTES
with Commissioners Baker, Duncan, and Miller abstaining

APPROVE

2. PROJECT STATUS REPORT

RECEIVE AND FILE

PUBLIC COMMENT ON CONSENT AGENDA

PUBLIC HEARING

3. PROJECT #13-09 T-MOBILE CELL TOWER #SC74101A USE PERMIT (UP), VARIANCE (VAR), AND NEGATIVE DECLARATION (A MODIFICATION TO #01-08 CINGULAR WIRELESS ANTENNAE FACILITY #SA-955-01 CUP) 5475 ROCKLIN ROAD, PCWA WATER TANK SITE, APN 045-161-019 & -022

The project consists of the modification of a previously approved Conditional Use Permit (CUP) for the construction and operation of a telecommunications facility. The modifications include: removal of antenna panels from PCWA tank; construction of a 45-foot tall monopole on a new ± 65- square foot concrete pad adjacent to a leased, fenced equipment yard; relocation and installation of new 8-foot chain link fence sections to secure water tank; and, designation of a walking path for technician access to equipment yard. A variance to the 35-foot limit in the RE zone district is requested in order to construct the 45-foot tall monopole. A Negative Declaration has been prepared and circulated under CEQA. A No Effect Determination (NED) has been approved and issued by the California Department of Fish and Wildlife.

RECOMMENDATION: Hear staff report, take public comment, discuss and approve Resolution #13-06 for a Negative Declaration, Use Permit and Variance with the findings in Exhibit A and the conditions in Exhibit B.

PUBLIC COMMENT:

ADJOURN: _____ **PM**

INFORMATION SUBMITTED AT HEARING OR AFTER PREPARATION OF PACKETS

The Planning Commission may not have time to read written information submitted at the hearing or after 5:00 p.m. the Friday before the scheduled hearing date. We encourage you to present your comments, during the scheduled time period, at the public hearing.

ACCOMMODATING THOSE INDIVIDUALS WITH SPECIAL NEEDS

In compliance with the Americans with Disabilities Act, the Town of Loomis encourages those with disabilities to participate fully in the public hearing process. If you have special needs or requirements in order for you to attend or participate in the Town's public hearing process or programs, please contact Town Hall at 652-1840 prior to the public hearing or program you wish to attend, so that we can accommodate you. Materials relating to an item on this agenda can be obtained at Town Hall (3665 Taylor Road) or on the Town's website at www.loomis.ca.gov.

ADMINISTRATIVE REMEDIES MUST BE EXHAUSTED PRIOR TO ACTION BEING INITIATED IN A COURT OF LAW

If you challenge the proposed project described above in court, you may be limited to raising only those issues you raised at the public hearing described in this notice, or in written correspondence delivered to the Town at, or prior to the public hearing.

APPEAL PERIOD

CERTIFICATION OF POSTING OF AGENDA

I, Marianne Nockles-Lockwood, Planner for the Town of Loomis, declare that the foregoing agenda for the Tuesday, December 17, 2013 Regular Meeting of the Town of Loomis Planning Commission was posted December 11, 2013 at Town Hall of the Town of Loomis, 3665 Taylor Road, Loomis, California, 95650. The agenda is also available on the Town website at www.loomis.ca.gov.

Signed December 11, 2013 at Loomis, California.



Marianne Nockles-Lockwood, Planner



**TOWN OF LOOMIS
PLANNING COMMISSION ACTION MINUTES
LOOMIS DEPOT
5775 HORSESHOE BAR ROAD
LOOMIS, CALIFORNIA**

TUESDAY

OCTOBER 22, 2013

7:30 PM

CALL TO ORDER

Call to order by Chairman Hogan at 7:31 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

Present:

Chairman Hogan
Commissioner Black
Commissioner Thew
Commissioner Wilson

Absent:

Commissioner Miller

COMMISSION COMMENTS:

No comment.

PUBLIC COMMENT FOR ITEMS NOT ON THE AGENDA:

No public comment.

ADOPTION OF AGENDA

If items on the Agenda will be rescheduled for a different day and time, it will be announced at this time. All matters listed under the Consent Agenda are considered to be routine and all will be enacted by one motion with a voice vote. There is no separate discussion of these items unless members of the Planning Commission, audience or staff request specific items to be removed from the Consent Agenda for separate action. Any items removed will be considered after the motion to approve the Consent Agenda.

A motion was made to adopt the agenda. On motion by Commission Wilson, seconded by Commissioner Thew and passed by voice vote.

CONSENT AGENDA

RECOMMENDATION

1. PROJECT STATUS REPORT

RECEIVE AND FILE

PUBLIC COMMENT ON CONSENT AGENDA:

No public comment.

PUBLIC HEARINGS

2. PROJECT #13-14 MIYATA MINOR LAND DIVISION – APNS: 044-072-026 & -027

Kawaye Kay Miyata, the property owner, is requesting approval of a minor land division to divide a 22,045 square foot residential parcel into two parcels: 11,110 sq.ft. and 10,945 sq.ft. in size. The property is zoned RS-10 (Single Family Residential-10,000 sq.ft. lot minimum). There is currently one (1) single-family residence on this property (proposed Parcel 1) which is to remain. Access to both parcels is from Saunders Avenue.

RECOMMENDATION: Approve Resolution #13-04 for the Miyata Minor Land Division with the findings in Exhibit A and the recommended conditions of approval in Exhibit B.

PUBLIC COMMENT:

Bill Mitchell, representing the Miyata family, stated he had no concerns and was here to answer any questions for the Miyata family.

Following further discussion on the matter, a motion was made to approve Resolution 13-04, Miyata Minor Land Division at 5968 Saunders Avenue, APNS. 044-072-026 & 044-072-027, to divide a 22,045 square foot residential parcel into two (2) residential parcels, with the findings in Exhibit A and the recommended conditions of approval in Exhibit B. On motion by Commissioner Thew, seconded by Commissioner Black and passed by the following roll call vote:

Ayes: Black, Hogan Thew, Wilson

Noes: None

Absent: Miller

BUSINESS

3. CONSIDERATION OF CANCELLING NOVEMBER 2013 PLANNING COMMISSION MEETING AND MOVING DECEMBER 2013 PLANNING COMMISSION MEETING TO THIRD TUESDAY OF THE MONTH

There are no projects for the November Planning Commission meeting.

The regularly scheduled December Planning Commission meeting falls on Tuesday, December 24, the Christmas Eve holiday. Moving the December meeting to Tuesday, December 17, 2013 removes any conflict.

RECOMMENDATION: Discuss and approve Resolution #13-05 cancelling the November meeting and rescheduling the December meeting.

PUBLIC COMMENT:

No public comment.

Following further discussion on the matter, a motion was made to adopt Resolution 13-05, cancelling the November 2013 meeting and rescheduling the December 2013 meeting to Tuesday, December 17, 2013. On motion by Commissioner Black, seconded by Commissioner Wilson and passed by the following roll call vote:

Ayes: Black, Hogan, Thew, Wilson

Noes: None

Absent: Miller

ADJOURN

Chairman Hogan adjourned the meeting at 8 p.m.

Chairman Hogan

Planning Assistant

ACTIVE PROJECTS PLANNING STATUS REPORT – As of December 4, 2013

<u>Project #</u> <u>Date Submitted</u> <u>Actions Taken</u>	<u>Project Name</u> <u>Location</u> <u>Zoning</u>	<u>Applicant/Engineer/Consultant</u>	<u>Owner</u>	<u>Request/Protect Description</u>	<u>Current Status</u>
#13-17 MDR CC zone	Roof Replacement 3701/3705 Taylor Road APN 044-104-001 & -010	Mehl Family Trust Claudine Mehl TTEE 1010 Charleston Circle Roseville, CA 95661	Same	Request for minor design review to replace existing roof. Pitched roof areas visible from road or sidewalk will be roofed with Midnight Bronze (black colored) metal standing seam. Roof material is similar to other buildings in vicinity. False front roof facade will remain.	Notice of Intent to Approve on 12/18/13 by Town Manager/Planning Director posted.
#13-16 MVAR RR zone	Collier Shop & Carport Minor Variance 3680 Cagle Lane APN 044-080-026	Darrell Collier 3680 Cagle Lane Loomis, CA 95650	Same	Request for minor variance (less than 25%) to front setback for a shop and a carport.	Approved by Town Manager/ Planning Director 12/4/13
Housing Element Update 2013 GPA	Town of Loomis Housing Element	Town of Loomis/Lisa Wise Consulting Inc	Town of Loomis	Update to the Housing Element of the Town's General Plan as mandated by State law	Consultant hired
#13-16 MLD RS-10 zone	5594 King Road Lot Split APN: 044-051-027	Hossei Kianmajd 7615 Auburn Folsom Rd. Granite Bay, CA 95746	Kianmajd Family Trust	Request to subdivide a 1.28-acre parcel into 4 parcels (10,000 sq.ft. lot minimum).	Incomplete letter sent to applicant 9/17/13
#13-13 MLD RA zone	Bankhead Road Parcel Map Northwest corner of Bankhead Road & Sierra College Blvd. APN: 030-100-014	Ron Smith 5701 LoneTree Blvd. #102 Rocklin CA 95765	same	Request to subdivide a 19.45-acre parcel into 4 parcels (Minor Land Division). Two parcels approximately 2.3-acres in size, one parcel approximately 2.6-acres, and a remainder parcel of 11.1-acres.	Application to be revised per applicant 9/30/13.
#13-12 MLD RE zone	Wells Avenue-Barton Road Parcel Map Southeast corner of Wells Avenue & Barton Road APN: 045-182-001	Ron Smith 5701 LoneTree Blvd. #102 Rocklin CA 95765	same	Request to subdivide a 21.7-acre parcel into 4 parcels (Minor Land Division). Proposed parcel sizes are: 5.6-acres, 4.9-acres, 6.2-acres and 5.0-acres.	Additional information received 9/30/13. Application under environmental review. ON-HOLD pending USACE response.
#13-09 UP & VAR RE zone	T-Mobile site #SC74101A PCWA water tank 5475 Rocklin Rd APN:045-161-019 and -022	T-Mobile West, LLC (agent-Tim Miller)	Placer County Water Agency	T-Mobile proposes to remove its existing antennas from the PCWA water tank and mount them on a proposed new 45' monopole to be located directly adjacent to the water tank.	CEQA IS/ND distributed for 30-day public review ; no comment s received. Scheduled for 12/17 PC meeting.
#12-09 PRELIMINARY SITE DESIGN (Tree Bank & Passive Park)	Heritage Park and Mitigation Bank (end of S. Walnut)	Town of Loomis	same	Town Council has approved the Heritage Park site to no longer be a subdivision but rather a tree mitigation bank and passive park. A workshop is planned to receive input on preliminary design rec.'s from residents.	Public Workshop held on 9/15/12. Report and recommendation received 11/6/12. ON-HOLD pending Council direction.
#11-10 Tree Ordinance review/amendment	Tree Ordinance Review	Town of Loomis	Town of Loomis	Review the current tree ordinance and discuss possible recommendations for revisions. PROSC recommended potential revisions to PC. PC SubC worked on and submitted draft tree ordinance for PC review.	PC approved 9/24/13 meeting TC agenda 10/8/13 TC workshop 11/13
#10-07 MP update	PARK, RECREATION & OPEN SPACE MASTER PLAN UPDATE	CONSULTANTS Keith Gurnee (Master Plan); Adrienne Graham (CEQA)	TOWN OF LOOMIS	Prepare Park, Recreation & Open Space Master Plan Update.	Master Plan update completed & recommended for approval by PC. ON-HOLD
#08-22 Housing Element Re-Zoning	Town of Loomis Housing Element Re-zoning(s) per Implementation Program(s)		Town of Loomis	Re-zones to comply with State Laws regarding affordable housing. Proposed Inclusionary Housing Ordinance.	Proposed Inclusionary Housing Ord. forwarded to TC for review & approval. ON-HOLD per TC
#08-20 Housing Element Update	Town of Loomis Housing Element		Town of Loomis	Update to Housing Element	7/2/10 - HCD received 2 nd submittal for review. Ready to approve once re-zones

#07-12 SUB/GP/AZA/ER 06-28-07	The Villages in Loomis Eastern Terminus of Library Drive; APN's 043-080- 044,015,044-094- 001,004,005,006,010	TLA Engineering and Planning 1528 Eureka Road St 100 Roseville, Ca 95661	Taylor Road Property, Inc 6225 Walnut St St D Loomis, CA 95650	Proposal to subdivide a 54+ acres of land and a request for General Plan and Zoning Amendment with Environmental Review	completed by Council. ON- HOLD per TC direction. Waiting for revised submittal info. 8/7/13 meeting with Town staff.
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BUILDING PERMITS ISSUED		1 st Qtr. FY 2013/14	2 nd Qtr.	3 rd Qtr.	4 th Qtr.	FY 12/13	FY 11/12	FY 10/11	FY 09/10	FY 08/09	FY 07/08
Single-Family Dwelling	3					8	3	4	8	2	8
Solar	4					30	22	12	18	11	15
Re-Roof	11					30	32	34	34	34	55
Residential Addition/Remodel	7					22	26	18	22	12	14
HVAC change-out	12					44	35	38	29	24	28
Water Heater change-out	2					15	17	14	7	14	13
Patio Cover						9	6	5	5	8	8
Swimming Pool	1					14	10	10	5	16	13
Ag.Building/Detached Structure	7					11	14	6	6	6	10
Electrical	7					24	15	22	8	13	20
Gas Line Extension	2					3	4	1	5	1	6
Demolition						3	5	2	3	2	6
Commercial Building						0	0	1	1	4	2
Temporary Power Pole	1					5	1	1	0	5	4
Water line extension	1										
Residing/Windows change-out	1					7	8	4	1	5	8
Gas Furnace						4	5	0	1	2	5
Tenant Improvement	1					6	7	4	0	1	6
TOTALS						235	210	179	155	161	222

ACTIVE BUSINESS LICENSES FOR CALENDAR YEAR:

Loomis Business Licenses Issued or Renewed -
Out of Town Business Licenses Issued or Renewed -

2013 (as of report date)
551
204

2012 2011 2010 2009 2008 2007
424 440 543 550 683 594
168 216 234 227 256 222

ACTIVE TREE MITIGATION ITEMS:

(1) **Homewood Lumber (Comm. Development)** – 1,057 trees owed at ±100 per year over 10 years. *Existing total owed (as of 4/22/13) = 973 (84 utilized).* If any of the required ±100 trees per year are not utilized by the Town, those trees roll-over to the following year. Per the agreement, the Town's Tree Matrix (developed by the Town Arborist) is utilized when selecting tree type(s) to be used by the Town (maximum cost of tree = \$500).

(2) **Leon Code Violation (Code Enf.)** – 75 15-gallon oak trees planted onsite to mitigate for oaks removed without proper permitting. Mitigation planting plan was implemented in August 2011. Arborist report required. 80% of the 75 trees are to be healthy and thriving after the 5-year establishment period August 2016, if 80% are not healthy at that time, additional plantings will be required and the 5-year monitoring starts again for those trees.

(3) **Steinmetz (Res. Development)** – 30 15-gallons planted in September 2010. Mitigation agreement with the Town requires an arborist report to be submitted by the end of September 2015 to determine 80% survivability. If 80% are not healthy, additional plantings will be required and the 5-year monitoring starts again for those trees.



**STAFF REPORT
PLANNING COMMISSION MEETING OF DECEMBER 17, 2013**

To: Planning Commission

From: Marianne Nockles-Lockwood

Subject: PROJECT #13-09 T-MOBILE CELL TOWER #SC74101A USE PERMIT (UP), VARIANCE (VAR), AND NEGATIVE DECLARATION (ND)
(MODIFICATION TO #01-08 CINGULAR WIRELESS ANTENNAE FACILITY #SA-955-01 CUP)
5475 ROCKLIN ROAD, LOOMIS, CA 95650; APNs 045-161-019 & -022
PLACER COUNTY WATER AGENCY (PCWA) WATER TANK SITE

Date: December 11, 2013

REQUEST

Approval of a Use Permit (UP), Variance (VAR), and Negative Declaration (ND) is requested. T-Mobile West LLC and Placer County Water Agency (PCWA), the applicant and property owner respectively, request the modification of a previously approved Conditional Use Permit (CUP) for the construction and operation of a telecommunications facility (#01-08 CUP, ND, and CA Dept of Fish & Game Certificate of Fee Exemption, approved 9/18/01). The modification project (#13-09 UP & VAR) is subject to the Conditions of Approval placed on #01-08 CUP. The modifications include: removal of antenna panels from PCWA tank; construction of a 45-foot tall monopole on a new \pm 65- square foot concrete pad adjacent to a leased, fenced equipment yard; relocation and installation of new 8-foot chain link fence sections to secure water tank; and, designation of a walking path for technician access to equipment yard. A variance to the 35-foot limit in the Residential Estate (RE) zone district is requested in order to construct the 45-foot tall monopole. A Negative Declaration has been prepared and circulated under CEQA. A No Effect Determination (NED) has been approved and issued by the California Department of Fish and Wildlife.

BACKGROUND

The Town approved a telecommunications facility at the site in 2001 which consisted of antenna panels mounted onto the tank and equipment cabinets located within a fenced, leased 15-ft by 20-ft area on the east side of the tank. (Project #01-08 CUP)

For security purposes, PCWA is requiring that the existing antenna panels be removed from the tank and that an existing 8-ft high chain link fence be relocated and new sections installed to prevent access from the T-Mobile leased area to the tank.

PROJECT DESCRIPTION

The modification project (#13-09) consists of the removal of 6 flush mounted panels which are installed below the top elevation of 35-ft tall Placer County Water Agency (PCWA) water tank, and the construction of a new 45-ft tall monopole (2 ft in diameter) with a 10-ft radome (3 ft in diameter). The panels will be relocated into the radome. The monopole will be located approximately 25 ft to the SE of the tank, on a new ± 65 sq.ft. concrete pad adjacent to the eastern edge of the existing fenced T-Mobile equipment area. T-Mobile leases a ± 15 -ft by 20-ft or 300 sq.ft. area from PCWA. This leased area is within a ± 20 –30-ft graded, graveled, asphalted zone which surrounds the tank. The applicant indicates that existing equipment will be used; if any new equipment is necessary, it would be painted the same color as the existing cabinets. New man-gates will be installed in the fence and a designated walking path through the graveled area created to allow T-Mobile to access their equipment without PCWA personnel being present. The monopole shall be painted the same brown color as the two existing wooden utility poles on the site to blend into the surroundings. The facility is unmanned (visited every 4-8 weeks for routine maintenance), is not lit, does not emit noise or glare, and does not interfere with television or radio reception. T-Mobile will comply with all FCC, FAA, and CPUC rules on site location and operation. The proposed service area is the south end of Loomis and vicinity.

A variance to the Town's Zoning Ordinance is requested to allow the pole to exceed the 35-ft height limit in the RE zone district. The proposed 45-ft height would allow the new panels to be positioned at a centerline height of 42-ft in order to clear the obstruction of the tank. PCWA has an existing pole-type antenna which extends 16 ft above the top of the tank. Utility poles in the vicinity of the proposed monopole are 42-ft in height. A row of utility poles extends along the north side of Rocklin Road with overhead utility lines running through the PCWA site. Visually, the project would appear to add one new pole to the line. The new monopole would be shorter than the existing PCWA antenna and similar in height to utility poles. The monopole and radome would be painted the same brown color as the utility poles to "blend" or "disappear" into the background.

The project is consistent with the General Plan and Zoning Ordinance. The facility complies with telecommunications facilities permit requirements set by Specific Use Regulations in Section 13.44 of the Zoning Ordinance. The PCWA site is identified in Section 13.44.040 (A) of the Zoning Ordinance as a location for telecommunications facilities. A facility was approved on the site in 2001 and is currently operating. No complaints have been received about the facility or its' operation.

SITE DESCRIPTION

The project is located on the north side of Rocklin Road on the PCWA water tank site. The tank is located on a small rise approximately 25 feet higher than Rocklin Road. The tank is ±5,000,000 gallons in size and ±35 feet high. T-Mobile has a fenced, leased equipment area approximately 300 sq.ft. in size located on the east side of the tank. Equipment cabinets have been painted the same color as the water tank to blend into the background. PCWA has installed landscaping around the perimeter of the tank lot and in the area between the tank and Rocklin Road. This landscaping is slowly growing and screening the overall PCWA property.

General Plan Designation: Residential Estate 2/3 acres/du

Zoning: RE Residential Estate

Surrounding Uses and Zoning:

North – Residential parcels, RE

East – Residential parcels and church, RE

South & Southeast – Residential parcels, RA with CUP approval for Regina Coeli Priory

Southwest – Residential parcels, RR

West – Residential parcels and church, RE

Improvements/Utilities/Service Systems:

Sewer - SPMUD

Water - PCWA

Gas/Electric - PG&E

Trash - Recology Auburn Placer

ISSUES

Use Permit

The site is identified in the Zoning Ordinance as a location for telecommunications facilities. The project can be considered a modification to an existing utility “lifeline” facility and to be consistent with the General Plan. There will be minimal aesthetic or visual impacts upon the neighborhood since the monopole will be painted brown to match the existing utility poles in the vicinity and the tower will be approximately the same height as the utility poles. The project is subject to the conditions of approval imposed upon #01-08 CUP which will be incorporated by reference into the approval resolution. There have been no complaints received or problems noted by the Town for the operations of the existing telecommunications facility. The project benefits both the public and public safety providers.

REQUIRED FINDINGS

In order to approve the Use Permit, the Planning Commission must find that “The proposed use, with the conditions of approval, can be found to be consistent with the Town’s General Plan and Zoning Ordinance and will not be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general

welfare of the Town.” The proposed monopole will be located within an existing telecommunications facility which has been in the identical location and operating since 2001 without incidents or complaints. Further, conditions have been incorporated into approval of the project to address potential visual impacts. The project is consistent with the General Plan in providing for a utility “lifeline” facility and meets the requirements of Chapter 13.44 Telecommunications Facilities in the Zoning Ordinance.

Height Variance Request

PCWA is required to restrict access to the tank. The applicant is proposing to construct a monopole (cell tower) and to relocate the antenna panels currently located on the tank to the tower. The tower will be constructed on the east side of the tank adjacent to the existing equipment yard. In order to clear the obstruction of the water tank and to continue to provide 360° service to the south area of the Town, the minimum height that the monopole can be is 45 feet. The applicant has submitted engineering evidence of the height requirement. The tank creates a physical obstruction unique to the property. The telecommunications facility currently provides a valuable service to both the residents and public safety providers in the south area of the Town; the only way to continue providing this service is through construction of a 45-foot tall monopole. The panels can no longer be mounted on the water tank and there are no sites suitable for the applicant’s use in the area. Granting the variance is necessary for the preservation and enjoyment of this service for residents. The site is identified in the Zoning Ordinance Section 13.44.040 (A) as an allowable location for the placement of new wireless telecommunications facilities. The variance is consistent with the general plan and there are no specific plans in the area.

REQUIRED FINDINGS

In order to approve the variance request, the Planning Commission must make three findings noted in quotation marks below.

- a. “There are special circumstances applicable to the property (e.g., location, shape, size, surroundings, topography, or other conditions), so that the strict application of this title denies the property owner privileges enjoyed by other property owners in the vicinity and within the same zoning district.” The PCWA water tank is a special circumstance of surroundings and topography that creates an obstruction for wireless signals. Forty-five (45) feet is the minimum height of a monopole to clear the obstruction and provide 360° service to the south area of the Town.
- b. “Granting the variance is necessary for the preservation and enjoyment of substantial property rights enjoyed by other property owners in the same vicinity and zoning district and denied to the property owner for which the variance is sought.” PCWA, the property owner, is requiring that the panels be removed from the tank for security purposes. Once the panels are removed, the applicant will not be able to provide wireless service to residents and public safety personnel in the south area of the Town. The telecommunications ground equipment is already installed and operating on the site. There

is no other site available to the applicant to provide the same level of service. PCWA has an existing pole-type antenna which extends 16 ft above the top of the tank. Utility poles in the vicinity are 42-ft in height. The new monopole would be shorter than the existing PCWA antenna and similar in height to utility poles.

- c. "The variance is consistent with the general plan and any applicable specific plan." There is no specific plan in the area. The project is consistent with the General Plan in providing for a utility "lifeline" facility and meets the requirements of Chapter 13.44 Telecommunications Facilities in the Zoning Ordinance.

ZONING ORDINANCE CHAPTER 13.44 TELECOMMUNICATIONS FACILITIES

The PCWA water tank site is identified as one of the five locations for new wireless telecommunications facilities. The applicant has complied with other applicable provisions of Chapter 13.44.

REQUIRED FINDINGS

In order to approve the monopole, the Planning Commission must find "that the location is essential to meet the service demands of the carrier, and no other alternative site or type of antenna support structure is feasible; and, that the use of a monopole for the proposed facility by itself or in combination with other existing...facilities will avoid or minimize adverse effects related to land use compatibility, visual resources, and public safety." The monopole is essential in that PCWA, the property owner, is requiring that the panels be removed from the tank for security purposes and once the panels are removed, the applicant will not be able to provide wireless service to residents and public safety personnel in the south area of the Town. A monopole is the only feasible support structure since the panels can no longer be located on the tank. The monopole will utilize the existing telecommunications ground equipment which is already installed and operating on the site. There is no other site available to the applicant to provide the same level of service. The land use is compatible, since the monopole will be located on an existing developed public utility site. Visual impacts will be minimized in that the monopole shall be painted the same brown color as the two existing wooden utility poles on the site to blend into the surroundings. PCWA has an existing pole-type antenna which extends 16 ft above the top of the tank. Utility poles in the vicinity are 42-ft in height. The new monopole would be shorter than the existing PCWA antenna and similar in height to utility poles.

ENVIRONMENTAL REVIEW

The project is located within an existing developed site that has been graded, asphalted, fenced, and vegetation removed. A telecommunications facility is currently operating on the site. No significant impacts were identified in the Initial Study. A Negative Declaration has been prepared and circulated under CEQA from October 30, 2013 to November 29, 2013. No comments were received. A No Effect Determination was approved by the California Department of Fish and Wildlife (formerly the Department of Fish and Game). The previously approved project (#01-08 CUP) had a Negative Declaration, and CA Dept of Fish & Game Certificate of Fee Exemption,

approved 9/18/01. A Notice of Determination will be filed with the Placer County Clerk upon approval of the project.

RECOMMENDATION

That the Planning Commission approve Resolution #13-06 approving a Negative Declaration and Project #13-09 UP and VAR allowing modifications to a telecommunications facility and construction of a monopole with the Findings in Exhibit A and the Conditions in Exhibit B.

ATTACHMENTS

1. Resolution #13-06 approving a Negative Declaration and Project #13-09 UP and VAR with Conditions
2. Application
3. Negative Declaration/Environmental Initial Study
4. PCWA letter dated October 17, 2013
5. Site Plan/Elevation Drawings
6. Photo Simulations

RESOLUTION #13-06

A RESOLUTION OF THE PLANNING COMMISSION OF THE TOWN OF LOOMIS APPROVING A NEGATIVE DECLARATION, A USE PERMIT, AND A VARIANCE FOR T-MOBILE TO ALLOW MODIFICATIONS TO AN EXISTING TELECOMMUNICATIONS FACILITY AND CONSTRUCTION OF A 45-FOOT MONOPOLE ON THE SITE OF THE PCWA WATER TANK LOCATED AT 5475 ROCKLIN ROAD (APNS 045-161-019 & -022)

WHEREAS, T-Mobile, the applicant, has proposed to modify an existing telecommunications facility and construct a 45-foot monopole on the site of the PCWA water tank located at 5475 Rocklin Road (APNs 045-161-019 & -022), such application being identified as #13-09; and

WHEREAS, T-Mobile, the applicant, has requested a variance to the 35-foot height limit in the Residential Estate (RE) zone district in order to construct the 45-foot monopole and has presented evidence in support of the request; and

WHEREAS, on December 17, 2013, the Planning Commission conducted a public hearing of the application, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff report relating to said application, the plans, the written and oral evidence presented to the Planning Commission in support of and in opposition to the application.

NOW THEREFORE, the Planning Commission of the Town of Loomis at its meeting of December 17, 2013, does resolve as follows:

1. An initial study has been conducted by the Town to evaluate the potential for adverse environmental impacts of the proposed project. Considering the record as a whole, there is no evidence before the Commission that the proposed project will have significant environmental impacts. The Negative Declaration is approved, and staff is directed to file an appropriate Notice of Determination with the County Clerk.
2. The proposed Project is consistent with the goals, policies and land uses in the Town of Loomis General Plan and Zoning Ordinance.
3. The Project #13-09 Use Permit and Variance is hereby approved per the findings set forth in Exhibit A and the conditions set forth in Exhibit B.

ADOPTED this 17th day of December, 2013, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAINED:

Michael Hogan, Chairman

Marianne Nockles-Lockwood, Planner

EXHIBIT A
PROJECT #13-09
PLANNING COMMISSION HEARING DECEMBER 17, 2013

FINDINGS:

Negative Declaration

1. The initial study identified possible adverse environmental effects, but conditions of project approval have reduced them to a point where they are not significant.

Use Permit

1. The proposed use, subject to the recommended conditions, is consistent with the Town's General Plan and Zoning Ordinance and will not be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the Town in that the proposed monopole will be located within an existing telecommunications facility which has been in the identical location and operating since 2001 without incidents or complaints. Further, conditions have been incorporated into approval of the project to address potential visual impacts. The project is consistent with the General Plan in providing for a utility "lifeline" facility and meets the requirements of Chapter 13.44 Telecommunications Facilities in the Zoning Ordinance.

Variance

1. There are special circumstances applicable to the property (e.g., location, shape, size, surroundings, topography, or other conditions), so that the strict application of this title denies the property owner privileges enjoyed by other property owners in the vicinity and within the same zoning district. The PCWA water tank is a special circumstance of surroundings and topography that creates an obstruction for wireless signals. Forty-five (45) feet is the minimum height of a monopole to clear the obstruction and provide 360° service to the south area of the Town.
2. Granting the variance is necessary for the preservation and enjoyment of substantial property rights enjoyed by other property owners in the same vicinity and zoning district and denied to the property owner for which the variance is sought. PCWA, the property owner, is requiring that the panels be removed from the tank for security purposes. Once the panels are removed, the applicant will not be able to provide wireless service to residents and public safety personnel in the south area of the Town. The telecommunications ground equipment is already installed and operating on the site. There is no other site available to the applicant to provide the same level of service. PCWA has an existing pole-type antenna which extends 16 ft above the top of

the tank. Utility poles in the vicinity are 42-ft in height. The new monopole would be shorter than the existing PCWA antenna and similar in height to utility poles.

3. The variance is consistent with the general plan and any applicable specific plan. There is no specific plan in the area. The project is consistent with the General Plan in providing for a utility "lifeline" facility and meets the requirements of Chapter 13.44 Telecommunications Facilities in the Zoning Ordinance.

Chapter 13.44 Telecommunications Facilities

1. The location is essential to meet the service demands of the carrier, and no other alternative site or type of antenna support structure is feasible; and, that the use of a monopole for the proposed facility by itself or in combination with other existing...facilities will avoid or minimize adverse effects related to land use compatibility, visual resources, and public safety. There is no other site available to the applicant to provide the same level of service. The construction of a monopole is essential in that PCWA, the property owner, is requiring that the panels be removed from the tank for security purposes and that once the panels are removed, the applicant will not be able to provide wireless service to residents and public safety personnel in the south area of the Town. A monopole is the only feasible support structure since the panels can no longer be located on the tank. The monopole will utilize the existing telecommunications ground equipment which is already installed and operating on the site. The land use is compatible, since the monopole will be located on an existing developed public utility site. Visual impacts will be minimized in that the monopole shall be painted the same brown color as the two existing wooden utility poles on the site to blend into the surroundings. PCWA has an existing pole-type antenna which extends 16 ft above the top of the tank. Utility poles in the vicinity are 42-ft in height. The new monopole would be shorter than the existing PCWA antenna and similar in height to utility poles. Public safety will be served by the monopole.

EXHIBIT B
CONDITIONS OF APPROVAL PROJECT #13-09
PLANNING COMMISSION, DECEMBER 17, 2013

This Use Permit and Variance is approved to allow modifications to an existing telecommunications facility and the construction of a 45-foot tall monopole within a fenced leased area at the PCWA water tank site at 5475 Rocklin Road (APNs 045-161-019 & -022) per the following conditions. The applicant has two (2) years in which to exercise the Use Permit by the start of construction on-site, December 17, 2015.

GENERAL CONDITIONS

1. _____ The conditions of approval for Project #01-08 (Town of Loomis Planning Commission Resolution #01-12) are hereby incorporated by reference into Project #13-09.
2. _____ The conditions of approval incorporate by reference all of the mitigations listed in the Negative Declaration prepared for Project #13-09 and Project #01-08.
3. _____ The monopole shall be painted brown to match the wooden utility poles on site.

RESOLUTION #01-12

A RESOLUTION OF THE PLANNING COMMISSION OF THE TOWN OF LOOMIS APPROVING A NEGATIVE DECLARATION AND A CONDITIONAL USE PERMIT FOR CINGULAR WIRELESS TO ALLOW THE INSTALLATION OF SIX PERSONAL COMMUNICATION SYSTEM ANTENNAE AND RELATED EQUIPMENT CABINETS ON THE SITE OF THE PCWA WATER TANK LOCATED AT 5475 ROCKLIN ROAD (APNS 045-150-036 AND -053)

WHEREAS, CINGULAR WIRELESS, the applicant, has proposed to install six personal communication system antennae and related equipment cabinets on the site of the PCWA water tank located at 5475 Rocklin Road (APNS 045-150-036 AND -053), such application being identified as #01-08; and

WHEREAS, on September 18, 2001, the Planning Commission conducted a public hearing of the application, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff report relating to said application, the plans, the written and oral evidence presented to the Planning Commission in support of and in opposition to the application.

NOW THEREFORE, the Planning Commission of the Town of Loomis at its meeting of September 18, 2001, did resolve as follows:

1. The Planning Commission of the Town of Loomis hereby makes the findings attached herein as Exhibit A in connection with the Conditional Use Permit Application #01-08.
2. An initial study has been conducted by the Town to evaluate the potential for adverse environmental impacts of the proposed project. Considering the record as a whole, there is not evidence before the Commission that the proposed project will have potential for an adverse effect on wildlife resources or the habitat upon which the wildlife depends.
3. The Commission has, on the basis of substantial evidence contained in the record before the Commission as a whole, rebutted the presumption of adverse effect contained in subsection (d) of 14 California Code of Regulations section 753.5.
4. The Negative Declaration is approved, and staff is directed to file an appropriate Notice of Determination and a Certificate of Fee Exemption with the County Clerk.
5. The proposed Project is consistent with the goals, policies and land uses in the Town of Loomis General Plan and Zoning Ordinance.
6. The Conditional Use Permit #01-08 is hereby approved per the findings set forth in Exhibit A and the conditions set forth in Exhibit B.

ADOPTED this 18th day of September, 2001, by the following vote:

AYES: Beckett, DeWing, Fuson, G. Wilson

NOES:

ABSENT: J. Wilson

ABSTAINED:



Gaylord Wilson, Chairman
Kathy Kerdus, Secretary

EXHIBIT A

FINDINGS:

Negative Declaration

1. The initial study identified possible adverse environmental effects, but conditions of project approval have reduced them to a point where they are not significant.

Conditional Use Permit

1. The proposed use, subject to the recommended conditions, is consistent with the Town's General Plan and Zoning Ordinance and will not be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the Town in that the proposed antennae facility will be located on an existing structure which has been in the identical location for a number of years. Further, conditions have been incorporated into approval of the project to address potential visual impacts.

EXHIBIT B
FINAL CONDITIONS OF APPROVAL
PLANNING COMMISSION SEPTEMBER 18, 2001

This Conditional Use Permit is approved to allow the installation of 6 (3"x2.5"x5.5') flush mounted panels below the top elevation of a PCWA water tank and installing 2 (5'8"x4'3"x2'4") base transceiver station (BTS) equipment cabinets within a fenced leased 15'x20' area near the base of the water tank located at 5475 Rocklin Road (APNS 045-150-036 AND -053) per the following conditions. The applicant has two (2) years in which to exercise the Conditional Use Permit by the start of construction on-site.

GENERAL CONDITIONS

1. _____ The Owner shall comply with all applicable provisions of the Town of Loomis Municipal Code.
2. _____ The conditions of approval incorporate by reference all of the mitigation's listed in the Negative Declaration prepared for the project.
3. _____ The project shall proceed only in accordance with approved plans on file in the Planning Department, the conditions contained herein and the Town of Loomis Municipal Code. Approval of this project shall not waive compliance with all sections of the Town of Loomis Municipal code (Zoning, Building Codes, etc.), Loomis General Plan, and applicable policy plans.
4. _____ The operation of the personal communications system facility shall be conducted in accordance with the project description submitted to staff and the Planning Commission.
5. _____ The personal communications system antennae and related equipment cabinets shall be constructed in conformance with requirements as adopted by the Town of Loomis.
6. _____ When submitting for Plan Check the applicant must provide to the Planning Department a copy of the Final Conditions of Approval with a cover letter specifying how and where the revised plans address each of the conditions. Plan Check by the Planning Department will not be initiated without compliance with this condition. All plans shall be consistent with that approved by the Planning Commission. The applicant shall be responsible for correcting any inconsistency, which may occur through error or omission during plan preparation or construction.
7. _____ The project shall conform to the Noise Element of the General Plan. Noise generated by the project shall not cause the Ldn to exceed 60 dBA at the property line during or after construction, nor shall it cause the noise level at the property line to exceed 75 dBA at any time during or after construction.
8. _____ The property owner and future property owner shall be responsible to ensure all conditions are incorporated into the standard provisions of any lease and/or rental agreements entered into with any tenants on the property subject to this Conditional Use Permit.

9. _____ All grading performed shall conform to the Town Grading Ordinance, and/or as recommended by a soils report, with prior review and approval by the Town Engineer. If required, a Grading Permit shall be obtained prior to building permit issuance.
10. _____ The hours for construction on-site shall be limited to Monday through Friday, 7 AM to 7 PM, and Saturday, 8 AM to 5 PM.
11. _____ The owner shall pay all applicable development fees (Road Circulation Fees, Drainage Fees, Community Facilities Fee and Fire Fee) in affect at the time of building permit issuance.

IMPROVEMENTS

12. _____ The applicant shall obtain an encroachment permit prior to any work within public rights-of-way.
13. _____ Public facilities damaged during the course of construction shall be repaired by the applicant at his sole expense, to the satisfaction of the Town Engineer.
14. _____ Cost of all inspections related to on-site improvements shall be borne by the applicant and shall be paid prior to completion of the improvements.
15. _____ The owner of the personal communications system facility shall indemnify, exonerate and hold harmless the Town of Loomis and all officers and employees thereof against all claims, demands and causes of action arising out of construction and subsequent operation of this project.
16. _____ The project shall be designed so that after development, the storm water runoff will not exceed the existing runoff rate. On-site detention shall be provided, as necessary, for the increased runoff rate caused by project development in accordance with the Placer County Flood Control District Storm water Management Manual.
17. _____ The personal communications system antennae shall be painted the same color as the water tank to reduce the aesthetic impact on the neighborhood in which it will be located. The equipment cabinets shall be painted in a neutral earth tone color to blend with the surroundings.

AGENCIES

18. _____ The applicant shall contact the APCD to review any rules that may apply to specific types of projects and insure that the project conforms to all APCD Rules and Regulations.
19. _____ The applicant shall obtain all necessary permits from the Federal Communications Commission, prior to bringing the facility into service.

OTHER (ADDED BY PLANNING COMMISSION AT HEARING)

20. _____ At time of building permit issuance, the applicant shall submit the lease with PCWA for review by the Planning Department. The lease shall contain a provision that the equipment cabinets shall be relocated, if necessary, if Rocklin Road is widened.

RECEIVED

NOV 05 2001

TOWN OF LOOMIS

**TOWN OF LOOMIS
NOTICE OF DETERMINATION**

RECEIVED

TOWN OF LOOMIS

County Clerk, County of Placer
2954 Richardson Drive
Auburn, CA 95604

Town of Loomis
P. O. Box 1327
Loomis, CA 95650

SUBJECT: Filing of Notice of Determination in Compliance with Section 21108 or 21152 of the Public Resources Code.

PROJECT TITLE: #01-08 CUP CINGULAR WIRELESS ANTENNAE FACILITY #SA-955-01

PROJECT LOCATION: 5475 ROCKLIN ROAD, Loomis, APN 045-150-036 AND -053

PROJECT DESCRIPTION:

The project is a part of the wireless communications infrastructure network in California, called "Personal Communication Service" (PCS). The project consists of the installation of 6 (3"x2.5"x5.5') flush mounted panels below the top elevation of a PCWA water tank and installing 2 (5'8"x4'3"x2'4") base transceiver station (BTS) equipment cabinets within a fenced leased 15'x20' area near the base of the water tank. The panels shall be painted the same color as the existing water tank to blend into the structure. The equipment cabinets will be located within an existing fenced enclosure and painted a neutral earth tone color to blend in with the surroundings. Existing trees and shrubs obscure the enclosed area. A Negative Declaration has been adopted.

This is to advise that the Town of Loomis Planning Commission has approved the above described project on July 24, 2001, and has made the following determinations regarding the above described project:

1. The project, as mitigated, will, X will not have a significant effect on the environment.
2. X A Negative Declaration was prepared for this project pursuant to the provisions of CEQA.
3. Mitigation measures X were, were not made a condition of the approval of the project.
4. A statement of Overriding Considerations was, X was not adopted for this project.

This is to certify that the Negative Declaration is available to the General Public at:

The Loomis Town Hall
6140 Horseshoe Bar Road, Suite K
Loomis, California 95650

SEP 21 2001
POSTED
Through
JIM McCauley, COUNTY CLERK
By Kathy Ripley
Deputy Clerk


Marianne Nockles-Lockwood, Senior Planner

FILED

cc: Loomis Fire Protection District
Placer County Water Agency

#1522

SEP 21 2001

Jim McCauley
COUNTY CLERK OF PLACER COUNTY
BY Kathy Ripley
DEPUTY

TOWN OF LOOMIS
P.O. Box 1327
6140 Horseshoe Bar Road, Suite K
Loomis, CA 95650
916-652-1840

CALIFORNIA DEPARTMENT OF FISH & GAME

Certificate of Fee Exemption

FILE #: #01-08 CUP
PROJECT TITLE: Cingular Wireless Antennae Facility #SA-955-01
PROJECT LOCATION: 5475 Rocklin Road, Loomis
ASSESSOR PARCEL #: 045-150-036 and -053
PROJECT APPLICANT: Cingular Wireless
PROPERTY OWNER: Placer County Water Agency
APPROVAL DATE: September 18, 2001
APPROVING BODY: Town of Loomis Planning Commission

PROJECT DESCRIPTION:

The project is a part of the wireless communications infrastructure network in California, called "Personal Communication Service" (PCS). The project consists of the installation of 6 (3"x2.5"x5.5") flush mounted panels below the top elevation of a PCWA water tank and installing 2 (5'8"x4'3"x2'4") base transceiver station (BTS) equipment cabinets within a fenced leased 15'x20' area near the base of the water tank. The panels shall be painted the same color as the existing water tank to blend into the structure. The equipment cabinets will be located within an existing fenced enclosure and painted a neutral earth tone color to blend in with the surroundings. Existing trees and shrubs obscure the enclosed area.

STATE CLEARINGHOUSE NUMBER: N/A

FINDINGS OF EXEMPTION: The Town of Loomis finds that this project is exempt from Assembly Bill 3158 because the project will have no impact on wildlife or wildlife habitat as no significant natural features exist on site.

CERTIFICATION: I hereby certify that the Town of Loomis has made the above finding and that the project will not individually or cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code. This finding was based on the results of an initial study prepared for the project, which determined that the project could not have a significant effect on the environment. A Negative Declaration was prepared and filed as the environmental document for the project.

9/18/01
Date


Lead Agency: Marianne Nockles-Lockwood
Senior Planner

**TOWN OF LOOMIS
NEGATIVE DECLARATION**

DATE FILED: August 29, 2001

Pursuant to Division 6, Title 14, Chapter 3, Article 6, Section 15070 of the California Administrative Code and by the Town of Loomis, and Resolution 93-51, the Planning Director of the Town of Loomis, does prepare, and cause to be filed with the Loomis Town Clerk, Loomis, California, this Negative Declaration regarding the Project described as follows:

PROJECT: #01-08 Cingular Wireless Antennae Facility #SA-955-01 CUP

PROJECT DESCRIPTION: The project is a part of the wireless communications infrastructure network in California, called "Personal Communication Service" (PCS). The project consists of the installation of 6 (3"x2.5"x5.5') flush mounted panels below the top elevation of a PCWA water tank and installing 2 (5'8"x4'3"x2'4") base transceiver station (BTS) equipment cabinets within a fenced leased 15'x20' area near the base of the water tank. The panels shall be painted the same color as the existing water tank to blend into the structure. The equipment cabinets will be located within an existing fenced enclosure and painted a neutral earth tone color to blend in with the surroundings. Existing trees and shrubs obscure the enclosed area. Site plans and elevation drawings have been included.

LOCATION OF PROJECT: 5475 Rocklin Road, Loomis, CA 95650
APN 045-150-036 and-053

TENTATIVE HEARING DATE: September 18, 2001, 7:30 PM
Loomis Planning Commission
Loomis Town Hall
6140 Horseshoe Bar Road, Suite K
Loomis, CA

COMMENT PERIOD: August 29, 2001, to September 18, 2001

On the Basis of an Initial study and in accordance with Section 15070 of the California Administrative Code it is found that the proposed Project will not produce, or be subject to significant environmental effects.

Further information may be obtained by contacting the Town of Loomis, 6140 Horseshoe Bar Road, Suite K, Loomis, California or telephone (916) 652-1840. Any written comments should be received at 6140 Horseshoe Bar Road, Suite K, Loomis, by September 18, 2001 by 5:00 p.m.

Marianne Nockles-Lockwood
Senior Planner

**TOWN OF LOOMIS
ENVIRONMENTAL CHECKLIST FORM**

1. Project Title: #01-08 Cingular Wireless Antennae Facility #SA-955-01 CUP
2. Lead Agency Name and Address: Town of Loomis
P.O. Box 1327
Loomis, CA 95650
3. Contact Person and Phone Number: Marianne Nockles-Lockwood, Senior Planner
(916) 652-1840
4. Project Location: 5475 Barton Road Loomis, CA 95650
APN 045-150-036 and -053
5. Project Sponsor's Name and Address: Cingular Wireless
c/o Ron Mauck, Quad Knopf
3851 North Freeway Blvd.
Sacramento, CA 95834
6. General Plan Designation: Agricultural Residential 4.6
7. Zoning: AR-B-4.6 ac. min.
8. Description of the Project: The project is a part of the wireless communications infrastructure network in California, called "Personal Communication Service" (PCS). The project consists of the installation of 6 (3"x2.5"x5.5') flush mounted panels below the top elevation of a PCWA water tank and installing 2 (5'8"x4'3"x2'4") base transceiver station (BTS) equipment cabinets within a fenced leased 15'x20' area near the base of the water tank. The panels shall be painted the same color as the existing water tank to blend into the structure. The equipment cabinets will be located within an existing fenced enclosure and painted a neutral earth tone color to blend in with the surroundings. Existing trees and shrubs obscure the enclosed area. Site plans and elevation drawings have been included prior to the Environmental Checklist Section of this Environmental Initial Study to assist in understanding the physical layout of the proposal. The facility will be unmanned (visited on an average of once every six weeks for routine maintenance), will not be lit, will not emit noise or glare, and will not interfere with television or radio reception.

The FCC mandates that the licenses comply with stringent requirements including providing high quality in-building coverage to the general public within a very aggressive time frame. The limit for Cingular Wireless' frequency band is 1,000 microwatts per square centimeters ($\mu\text{W}/\text{cm}^2$) . According to the applicant, the maximum power density for the fully configured site is: 0.004 ($\mu\text{W}/\text{cm}^2$) at the site; 100 feet away from the site 0.009; 1000 feet away from the site 0.102; 2000 feet away from the site 0.032. The proposed system is well below the FCC exposure limit of 1000 ($\mu\text{W}/\text{cm}^2$) According to the applicant, the proposed PCS site target area is the south end of Loomis and vicinity.
9. Surrounding Land uses and Setting: (Briefly describe the project's surroundings)
North: Vacant Land/ Rural Residential Uses
South: Rural Residential Uses; St. Francis Woods Subdivision 1 acre minimum
(\approx 300 feet SW of site)
East: Church; Rural Residential Uses
West: Vacant Land/Rural Residential Uses
10. Other public agencies whose approval is required (e.g. permits, financing approval, or participation agreement).
Placer County Water Agency; Federal Communications Commission (FCC)

ENVIRONMENTAL CHECKLIST:

Pursuant to Section 15063, CEQA Guidelines, the Town of Loomis has utilized an Environmental Checklist to evaluate the potential environmental effects of the project. The checklist provides a determination of these potential impacts and includes the substantiation developed in support of the conclusions checked on the form.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture Resources | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Geology /Soils |
| <input type="checkbox"/> Hazards/Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality | <input type="checkbox"/> Land Use/Planning |
| <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Population/Housing |
| <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation | <input type="checkbox"/> Transportation/Traffic |
| <input type="checkbox"/> Utility/Service Systems | <input type="checkbox"/> Mandatory Findings of Significance | <input checked="" type="checkbox"/> None |

DETERMINATION: On the basis of this initial evaluation:

- ☒ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- ☐ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- ☐ I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- ☐ I find that although the proposed project could have a significant effect on the environment, all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation

measures that are imposed upon the proposed project, nothing further is required.

Signature  Date 8/28/01

Printed Name Marianne Nockles-Lockwood For Town of Loomis

EVALUATION OF ENVIRONMENTAL FACTORS:

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<u>I. AESTHETICS</u> – Would the project:				
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Create a new source of substantial light or glare, which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comment: (I - a, b, c and d) The antennae will be located on an existing water tank and the equipment cabinets within an existing fenced area which is screened from view by trees and shrubs. The project will not have a significant impact on visitors' and residents' perceptions of the town. One emergency light is proposed with this project; company personnel will activate the light during inspections. The proposed project will not have a significant impact on views.

Mitigation: The project shall comply with the conditions of the Use Permit with respect to design. The conditions shall include, but not necessarily be limited to, painting the antennae panels the same color as the water tank to blend in with the existing structure and painting the equipment cabinets a neutral or earth color to best "blend" or "disappear" in the surrounding area.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<u>II. AGRICULTURE RESOURCES</u> – In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. Would the project:				
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comment: (II. a, b and c) The project site has been developed as a water tank for a quasi-public agency for many years. No undeveloped land or areas currently used for any agricultural purposes will be developed or taken out of production to accommodate this project.

Mitigation: None Required

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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III. AIR QUALITY – Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Conflict with or obstruct implementation of the applicable air quality plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions, which exceed quantitative thresholds for ozone precursors)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Expose sensitive receptors to substantial pollutant concentrations? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Create objectionable odors affecting a substantial number of people? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Comment: (III. a. through e.) The project is electric powered and has no gaseous emissions. The project will have short-term construction impacts. The fenced area, where the equipment cabinets, will be located, has been graded previously. Construction activities, including grading, would generate a variety of pollutants; the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non-attainment condition if not mitigated. Construction equipment would produce short-term combustion emissions. After construction the project is expected to generate approximately one trip per six-week period for maintenance purposes. Although minor, auto emissions, from the project traffic, will contribute to a determination of the ambient air quality, such impacts were anticipated by the General Plan update and were addressed as part of the environmental impact analysis prepared for that project. Findings of overriding consideration were adopted for the unavoidable significant air quality impacts.

Mitigation: The project shall conform to requirements of the Placer County Air Pollution Control District (PCAPCD). Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the Town Engineer and PCAPCD.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	------------------------------------	--------------

IV. BIOLOGICAL – Would the project:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or US Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

through direct removal, filling, hydrological interruption, or other means?

d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

☐ ☐ ☐ ☒

e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?

☐ ☐ ☐ ☒

f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional or state habitat conservation plan?

☐ ☐ ☐ ☒

Comment: (IV. a through f) The project is an infill development on an already developed site and will not result in any modification or disturbance to any wildlife, riparian, or aquatic habitat. Therefore, the project will not have a substantial adverse effect on any species identified as a candidate, sensitive, or special status species by any governmental agency. The project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified by any level of government. The project will have no impact on federally protected wetlands as defined by section 404 of the Clean Water Act. Nor will it interfere with the movement of any native resident or migratory fish or wildlife species, migratory corridors, or native wildlife nursery sites. The project does not conflict with any local policies or ordinances protecting biological resources or with the provisions of any approved local, regional, or state conservation plans.

Mitigation: None Required

V. CULTURAL RESOURCES – Would the project:

a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?

Potentially Significant Impact Less Than Significant With Mitigation Incorporated Less Than Significant Impact No Impact

☐ ☐ ☐ ☒

b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?

☐ ☐ ☐ ☒

c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

☐ ☐ ☐ ☒

d) Disturb any human remains, including those interred outside of formal cemeteries?

☐ ☐ ☐ ☒

Comment: (V. a. through d.) The project site is not located within the historic downtown core area, the existing water tank and surrounding fenced access area has been in place for many years. Therefore, construction of the proposed project will not result in adverse impact to cultural resources.

Mitigation: None Required

VI. GEOLOGY AND SOILS – Would the project:

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

Potentially Significant Impact Less Than Significant With Mitigation Incorporated Less Than Significant Impact

i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-A of the Uniform Building Code (1997), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comment: (VI. a. through e.) The project site is located in the Great Valley geomorphic province, near the boundary of the Sierra Nevada geomorphic province. The Project site is not within an Alquist Priolo Earthquake Fault zone, and there are no known faults on or adjacent to the site. The Loomis Basin DEIR identifies three inactive faults in the Loomis Basin- all south of the Town of Loomis. Accordingly, the site is situated in an area that is considered to have relatively low seismic activity; Uniform Building Code (1997) Seismic Zone 3. Current Building Code requirements will reduce potential effects of fault rupture to a less-than-significant level. Like most of central California, the site can be expected to be subjected to seismic ground shaking at some future time. However, according to the California Division of Mines and Geology bulletin, South Placer County is classified as a low severity earthquake zone. The maximum probable ground shaking is expected to be no greater than V or VII on the Modified Mercalli Scale. Structural damage from ground shaking of this magnitude will be minimal if structures are constructed in accordance with applicable Uniform Building Code requirements. The potential for liquefaction at the project site is considered small. The potential for landslides and mudflows is negligible at the project site because of the absence of steep slopes. The project will require minimal soil displacement for construction of the equipment cabinets. There are no recorded episodes of subsidence in the area. The site may contain minimal expansive soils. Compliance with Uniform Building Code requirements will reduce any potential impacts associated with expansive soils to a less-than significant level. There are no unique physical features.

Mitigation: As a condition of project approval, a building and grading plan consistent with town requirements and meeting the approval of the Town Engineer, will be submitted and approved prior to any development on site. The grading plan is to specify erosion control measures, which will reduce potential erosion, impacts to less-than-significant level.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<u>VII. HAZARDS AND HAZARDOUS MATERIALS</u> – Would the project:				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h) Expose people or structures to a significant risk of loss, injury or death involving wild land fires, including where wild lands are adjacent to urbanized areas or where residences are intermixed with wild lands? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Comment: (VII.a) The project does not involve the routine transport, use, or disposal of hazardous materials nor is there any reasonably foreseeable circumstance in which upset and accident conditions could result in the release of hazardous materials. Therefore, in this regard, the project will not create a significant hazard to the public or the environment.

(VII.b and c) The project is located in a rural residential area and will result in a new source of electromagnetic radiation (i.e. radio waves). The American National Standards Institute (ANSI) and the Institute of Electrical and Electronics Engineers (IEEE) have published a standard called ANSI/IEEE C95.1-1992 which sets recommended maximum power density levels for radio frequency (RF) energy originating from communications sites and other sources. The FCC has also produced its own guidelines, which are stricter than the ANSI. Cingular Wireless facilities transmit less than 2000 Watts ERP and the FCC limit for Cingular Wireless's frequency band is 1,000 microwatts per square centimeter (mW/cm²). The applicant has calculated a power density ranging from 0.004 to 0.032 mW/cm² located at the site and then at 2000 feet away. This level is well below the 1000 mW/cm² limit allowed and should pose no radiation hazard.

Under the FCC regulations wireless service providers are required to certify with the FCC that an antenna facility, such as the project, are in compliance with all applicable FCC standards, both by itself and when considered cumulatively with existing antenna facilities.

In addition, Section 704 of the Telecommunications Act of 1996 states that: "No State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless services facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission's [FCC] regulations concerning such emissions."

(VII.d) The project site is not included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5. Therefore, development of the project would not create a significant hazard to the public or the environment.

(VII.e and f) The project is not located within an airport use plan area or, within two miles of a public, private, or public use airport.

(VII.g) The project will not impair implementation of, or physically interfere with, an adopted emergency response plan or emergency evacuation plan. In fact, enhanced communication, anticipated to result from installation of the proposed antennae, should improve emergency response capabilities.

(VII.h) The project is an unmanned facility located on a developed site surrounded by a fence. The site is within a rural residential area. Therefore it will not result in exposure of people or structures to a significant risk or loss, injury or death involving wild land fires.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<u>VIII. HYDROLOGY AND WATER QUALITY</u> – Would the project:				
a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner, which would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures, which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comment: (VIII.a and b) As an unmanned facility, which will not be connected to a public or private water supply, and built on a developed site, the project will not result in the violation of any water quality standards or discharge any waste. Nor will the project have any impacts that could result in a net deficit in aquifer volume or a lowering of the local groundwater table.

(VIII.c and d) The project is being built on a developed site. The project's relatively small footprint of approximately two (5'8"x4'3"x2'4") cabinets will not substantially alter the existing drainage pattern of the site or the area, will not alter the course of a stream or river, nor result in substantial erosion, siltation, or flooding either on- or off-site.

(VIII.e and f) The project will not create, or contribute, runoff water in quantities significant enough to exceed the capacity of existing storm water drainage systems or provide a substantial additional source of runoff, polluted or otherwise. The project's design and construction, as noted above, will not result in a substantial degradation of water quality.

(VIII.g, h, i and j) The project is not located near, or in, any seasonal or perennial streams or waterways. Therefore, it will not in any significant way impact or effect any 100-year flood hazard areas, nor expose people or structures to a significant risk of loss, injury or death involving flooding, including inundation by seiche, tsunami, or mudflow.

Mitigation: The project developer shall construct the project in a manner so that post – development runoff flows do not exceed pre – development flows through the use of a drainage plan that includes provisions for on – site detention of runoff flows and payment of the Town's drainage impact fee, if required. Other drainage system improvements may be required. This mitigation may be implemented through development of a drainage plan, subject to review and approval of the Town Engineer.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
IX. LAND USE AND PLANNING - Would the project:				
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comment: (IX.a, b, and c)

The project site has a General Plan designation of Agricultural Residential and buildings, structures, and uses necessary for the performance of a governmental or quasi-public function are allowed uses. A PCWA water tank exists on the site. Therefore, if the Town of Loomis approves the project application for a use permit, the processing of which this Initial Study is a part of, the project will not be in conflict with the land use plans, policies, and regulations of the Town of Loomis.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
X. MINERAL RESOURCES -- Would the project:				
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Comment: (X.a and b) There are no known sources of valuable minerals located upon the project site. The site is not designated for mineral resource recovery on the Town of Loomis General Plan or any other land use plans. In addition, the site has already been developed as a water tank. This effectively limits the ability to recover mineral resources from the site even if such should exist.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
XI. NOISE – Would the project result in:				
a) Exposure of persons of or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Exposure of persons to or generation of excessive ground borne vibration or ground borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above level existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comment: (XI.a, b, c and d) There are no known sources of severe noise in the vicinity of the project. The project is an unmanned facility, which will require only periodic visits by maintenance crews. The Town of Loomis General Plan has established 65 Ldn as the normally acceptable outdoor noise level for residential uses in the vicinity of the project site. After construction, the project should generate little or no noise or vibration, as it does not include air conditioning or any other noise or vibration generating equipment. Therefore the project will not result in any substantial permanent increase in ambient noise levels in the project vicinity. There will be short-term increases in noise levels associated with construction. This impact is considered to be less than significant, provided limited hours during which construction activity may occur, as established by the Town of Loomis, are observed.

(XI.e) The project, an unmanned facility, is not located within an airport land use plan area or within two miles of a public airport or private or public use airport or airstrip.

Mitigation: No construction work shall begin prior to 7:00 a.m. nor occur after 7:00 p.m. Monday through Friday nor prior to 8:00 a.m. or after 5:00 p.m. on Saturday, with no work to occur on holidays.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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XII. POPULATION AND HOUSING -- Would the project:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Comment: (XII.a, b and c) The project cannot reasonably be expected to induce substantial growth in the area over and above that already expected.

Mitigation: None required.

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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XIII. PUBLIC SERVICES

a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governments) facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

- | | | | | |
|--------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| Fire protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Police protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Schools? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Parks? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Other public facilities? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Comment: (XIII. A.) The Town presently provides services to the area, including police and fire protection through various contractual agreements. This project, an unmanned communications facility, on its own will not create a substantial increase, or demand, on present levels of service.

Mitigation: The applicant shall be required to pay any drainage, public facility and/or development fees associated with the project.

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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XIV. RECREATION --

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

b) Does the project include recreational facilities or require the construction or expansion of recreational facilities that might have an adverse physical effect on the environment?

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Comment: (XIV.a and b) The project is an unmanned communications facility, as such it will have no impact on the use of existing neighborhood and regional parks or other recreational facilities. Nor does the project include the construction of any new recreational facilities or require the expansion of existing facilities.

Mitigation: None Required

Potentially Significant Impact Less Than Significant With Mitigation Incorporated Less Than Significant Impact No Impact

XV. TRANSPORTATION/TRAFFIC -- Would the project:

a) Cause an increase in traffic that is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?

☐ ☐ ☐ ☒

b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways?

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c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

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d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

☐ ☐ ☐ ☒

e) Result in inadequate emergency access?

☐ ☐ ☐ ☒

f) Result in inadequate parking capacity?

☐ ☐ ☐ ☒

g) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?

☐ ☐ ☐ ☒

Comment: (XV.a, b, c, d, e, f and g) The project is an unmanned facility being installed on a previously developed site. Approximately one (1) vehicle trip per six weeks is anticipated for regular maintenance of the facility. No new roads, or changes to existing street improvements or parking areas are being proposed, or are required by the adopted Town of Loomis development standards, as a part of the project. The project will not result in any appreciable increase in traffic or result in an established level of service standard being exceeded for any roads or highways, nor will the project have impact emergency access to any area, or air traffic. It does not conflict with any adopted policies, plans, or programs supporting alternative transportation.

Mitigation: None required.

Potentially Significant Impact Less Than Significant With Mitigation Incorporated Less Than Significant Impact No Impact

XVI. UTILITIES AND SERVICE SYSTEMS --Would the project:

a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?

☐ ☐ ☐ ☒

b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in a determination by the wastewater treatment provider that serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comment: (XVI.a, b, c, d, e, f and g) All utilities already exist in the area and the applicable utilities have indicated that they have the capacity to serve this project. The project is an unmanned facility, it does not require the provision of a water supply, potable or otherwise, nor will it generate any wastewater. It does increase the amount of impervious surface in the area by less than 150 square feet. This will not result in a significant increase in storm water runoff. Therefore the project will not require the construction of new, or expansion of existing, storm water drainage facilities. As an unmanned facility the project will not generate solid waste after construction and, therefore, will not have any solid waste disposal needs; given that it will comply with federal, state, and local statutes and regulations related to solid waste.

Mitigation: The project developer shall construct the project in a manner so that post – development runoff flows do not exceed pre – development flows through the use of a drainage plan that includes provisions for on – site detention of runoff flows and payment of the Town's drainage impact fee. Other drainage system improvements may be required. This mitigation may be implemented through development of a drainage plan, subject to review and approval of the Town Engineer.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
XVII. MANDATORY FINDINGS OF SIGNIFICANCE --				
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

projects)?

c) Does the project have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?



Sources for Initial Study/Negative Declaration

1. Town of Loomis Planning Staff, Site Visits, August 2001.
2. Town of Loomis General Plan Update, Crawford, Multari & Clark Associates, July 2001.
3. Town of Loomis General Plan Update Draft EIR, Rincon Consultants, April 2001.
4. Town of Loomis General Plan, SACOG & Westkoert Company, 1987.
5. Town of Loomis General Plan, FEIR, 1987.
6. FEMA Map, Panel #0601C04418F, June 8, 1998
7. CA Department of Conservation Agricultural Land Evaluation and Site Assessment Model (1997) and Farmland Mapping and Monitoring Program, June 2001.
8. California Division of Mines and Geology Bulletin.
9. State of California Hazardous Waste and Substances Sites List, April 1998.
10. Negative Declaration prepared by Town of Loomis Planning Staff for CUP-7-00 Pacific Bell Wireless Monopole, 3301 Taylor Road, Loomis, dated August 31, 2000.
11. Negative Declaration prepared by Town of Loomis Planning Staff for CUP #99-19 Sprint Wireless, 3301 Taylor Road, Loomis, dated October 21, 1999.

APPLICATION



TOWN OF LOOMIS

6140 Horseshoe Bar Rd, Suite K
Loomis, CA 95650
(916) 652-1840 FAX (916) 652-1847

For Town Use

File Number #13-09 MAY 30 2013
Application Fee(s) \$1,383
Receipt # 20966 Date 5/30/13
Date Received 5/30/13
Paid \$ 1,383

PLANNING DEPARTMENT

Planning Application

- Project Title: T-Mobile site # SC 74101A, "Sierra College Blvd"
- Street Address/ Location: PCWA Water Tank facility on Rocklin Rd.
- APN(s): 045-161-019, 045-161-022 Acreage: _____
Zoning: RE General Plan Designation: RE
Current Site Use: Placer County Water Agency water tanks
Surrounding Land Use(s): Residential estates and churches
- Property Owner: Placer County Water Agency (PCWA)
Address: 144 Ferguson Rd, PO Box 6570, Auburn, CA 95604
City State Zip
Telephone: (530) 823-4850 email: lwagstaff@pcwa.net
- Project Applicant: T-Mobile West, LLC - Agent - Timothy Miller
Address: 1755 Creekside Oaks Dr, #190, Sacramento, CA 95833
City State Zip
Telephone: (916) 826-4232 email: Timothy@sitecomwireless.com
- Project Engineer/Architect: Peeks Site - Com
Address: 12852 Earhart Ave, #101, Auburn, CA 95602
City State Zip
Telephone: (530) 885-6160 email: info@peeksitecom.com
- What actions, approvals or permits by the Town of Loomis does the proposed project require?

- | | |
|--|--|
| <input type="checkbox"/> Appeal | <input type="checkbox"/> Miscellaneous Permit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Planned Development |
| <input checked="" type="checkbox"/> Conditional Use Permit (Minor) | <input type="checkbox"/> Second Unit Permit |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> Sign Review |
| <input type="checkbox"/> Development Agreement | <input type="checkbox"/> Tentative Review |
| <input type="checkbox"/> Environmental Review | <input type="checkbox"/> Minor Land Division |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Subdivision |
| <input type="checkbox"/> Hardship Mobile Home Permit | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Zoning Amendment (Rezone) |
| <input type="checkbox"/> Other _____ | |

8. Does the proposed project need approval by other governmental agencies?

☒ yes ☐ no if yes, which agencies? Building permit from Town of Loomis,
new lease agreement with PCWA.

9. Which agencies/utilities provide the following services to the project? (Please note if not hooked up to sewer or water)

Electricity <u>PG&E</u>	Natural Gas <u>N/A</u>
Fire Protection <u>Loomis Fire Dept.</u>	Water/Well <u>N/A</u>
Sewer/Septic <u>N/A</u>	Telephone <u>AT&T</u>

High School N² Elem. School NA
Other _____

10. The Town had informed me of my responsibilities pursuant to California Government Code, Section 65962.5(f), regarding notifying the Town of hazardous waste and/or hazardous substance sites on the project site. I have consulted the lists consolidated by the State Environmental Protection Agency dated _____ and find: Regulatory identification number _____

Date of list 4-30-2013 No problems identified No Problems

Type of problem _____

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated 4-30-2013 Applicant Timothy Miller

11. Project Description (Describe the project so that a person unfamiliar with the project would understand the purpose, size, phasing, duration, required improvements, duration of construction activities, surrounding land uses, etc. associated with the project. Attach additional pages as necessary.) Please see attached project description.

12. Owner Authorization:

I hereby authorize Timothy Miller, the above-listed applicant, to make applications for project approvals by the Town of Loomis, regarding the above-described project and to receive all notices, correspondence, etc., from the Town regarding this project. I also hereby authorize the town staff to place a noticing board (approximately 4' x 3') on my property, visible from the street, at least ten (10) days prior to the first hearing on my project, and for subsequent hearings as determined necessary by the Planning Director.

Signature(s) of Owner(s)

[Signature]

Printed Name(s)

Lisa Hogstad

Date

5/24/13

Date

13. Applicant and/or Owner Hold Harmless:

Owner, and Applicant (if different from Owner), agrees to hold Town harmless from all injuries, damages, costs and expenses, including attorney's fees resulting from the negligence of owner, and Applicant (if different from Owner), and their employees, contractors, subcontractors and agents, in connection with any proceeding brought in any State or Federal court with respect to the applicant's project.

Signature(s) of Owner(s)

Timothy Miller (T-Mobile Agent)

Printed Name(s)

Timothy Miller

Date

4-30-13

Date

14. Applicant and/or Owner Acknowledgment:

Owner/Applicant expressly agree they are solely responsible for assuring compliance with all applicable laws, rules, regulations, and practices required to implement this development, and that Town staff's errors or omissions in explaining what is required, whether on this application form or otherwise, do not establish a basis for Owner/Applicant failing to comply with all such laws, rules, regulations and practices.

Signature(s) of Owner(s) and/or Applicant

Timothy Miller (T-Mobile Agent)

Printed Name(s)

Timothy Miller

Date

4-30-13

April 25, 2012

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MAY 30 2013

TOWN OF LOOMIS

**T-Mobile West LLC
Site # SC74101/Sierra College Blvd.
Town of Loomis Use Permit Application
Project Description/Justification Statement**

General:

T-Mobile West LLC, ("T-Mobile") has been authorized by the Federal Communications Commission to construct and operate a wireless network in Northern California as well as in most of the major metropolitan areas in the United States. Originally the T-Mobile network was part of the Cingular Wireless network; however as the result of mergers and acquisitions with AT&T, the network now known as T-Mobile was required by the FCC to be divested by AT&T.

On September 18, 2001 the Town of Loomis Planning Commission approved Cingular Wireless (now T-Mobile) to construct and operate a wireless telecommunications site at the Placer County Water Agency ("PCWA") water tank facility located at 5475 Rocklin Road (CUP # 01-08). The current APNs making up the PCWA Rocklin Road tank facility are 045-160-019, 045-160-022 and 045-150-056. The current T-Mobile site is located on APNs 045-160-019 and 045-160-022. Presently T-Mobile's site consists of several antennas mounted on the PCWA water tank and support equipment located on the ground adjacent to the water tank.

In 2011 PCWA contacted T-Mobile and requested T-Mobile remove its antennas from the water tank for security reasons and relocate them at a mutually acceptable location on the PCWA property. This request is documented by the attached letter from Lloyd Wagstaff, Real Property Specialist for PCWA dated 1-11-2012. PCWA, a public entity serving Placer County values the revenue the T-Mobile facility provides. Since that time T-Mobile and PCWA have been working on a new site design that would serve T-Mobile's network requirements and address PCWA's concerns.

T-Mobile proposes to remove its existing antennas from the water tank and to mount them on a proposed new 45' monopole to be located directly adjacent to the existing T-Mobile support equipment. T-Mobile respectfully requests the Town of Loomis approve the requested use permit to construct, operate and maintain the new 45' monopole and the existing support equipment.

Justification Statement:

On September 18, 2001 the Town of Loomis Planning Commission approved Cingular Wireless (now T-Mobile) to construct and operate a wireless telecommunications site at

the Placer County Water Agency ("PCWA") water tank facility located at 5475 Rocklin Road. Since that time the T-Mobile facility has been providing valuable wireless telecommunication services to the surrounding rural areas of Loomis. With the advent of "smart phones", more and more people are increasingly dependent upon their wireless phones for everyday communication necessities. Currently it is estimated over 25% of residences have dropped their "landline" telephone connections and use only their wireless phones for communication. The level of data being broadcast over wireless telecommunication networks is increasing exponentially every year, making seamless wireless coverage ever more important.

In 2011 PCWA contacted T-Mobile and requested T-Mobile remove its antennas from the water tank for security reasons and relocate them at a mutually acceptable location on the PCWA property. This request is documented by the attached letter from Lloyd Wagstaff, Real Property Specialist for PCWA dated 1-11-2012. PCWA, a public entity serving Placer County values the revenue the T-Mobile facility provides. Since that time T-Mobile and PCWA have been working on a new site design that would meet T-Mobile's network requirements and address PCWA's concerns.

The subject parcels (APNs 045-160-019 and 045-160-022) on which the existing T-Mobile telecommunication facility is located are zoned RE. The height limit in a RE zone is 35'. T-Mobile is proposing a 45' monopole, with up to six panel antennas mounted inside a radome, which will lessen the visual effect of the antennas. The 45' monopole will give T-Mobile a centerline height of approximately 42' for its antennas. At this height the radio waves from the antennas will not be impacted by the adjacent 33' water tank. T-Mobile requests a variance to this height limit based upon the fact a proposed church to be located at the intersection of Rocklin Road and Barton Road was recently approved by the Town of Loomis Planning Commission. The proposed church is located in a RE zone, and has an approved height of approximately 45', same as the proposed T-Mobile new monopole. In addition, there is an existing utility pole on the PCWA property as documented on the survey (C-1) page of the T-Mobile site plans with a height of approximately 40' which the proposed T-Mobile monopole will blend in with.

CUP # 01-08 was approved by the Town of Loomis Planning Commission on September 18, 2001 allowing the current T-Mobile facility to be constructed. The findings upon which CUP 01-08 was approved are relevant and accurate today. T-Mobile's proposed monopole will blend in with the existing PCWA water tank facility. The height of the proposed monopole will not be unique to the surrounding area given the recent church approval and the existing utility pole line. Many of evergreen trees planted on the subject parcel are over 10'-15' presently, and will continue to increasingly hide the proposed T-Mobile monopole as they grow. Therefore, T-Mobile respectfully requests the Town of Loomis approve the requested use permit to construct, operate and maintain the new 45' monopole and the existing support equipment.

Project Specifications

The current T-Mobile facility consists of six panel antennas mounted to the 33' water tank, with the T-Mobile radio cabinets and support equipment located on the ground approximately 25' from the water tank. The proposed 45' monopole will be located directly adjacent to the eastern edge of the existing T-Mobile equipment area. The location for the monopole was determined by the following factors. 1-The necessity of the monopole to be close to the T-Mobile equipment so the antennas cables can run from the T-Mobile equipment to the monopole. 2- The locations of various underground pipelines, the adjacent overhead utility lines and the requirement of open access to the water tank dictated the monopole to be located on the east side of the existing T-Mobile equipment.

T-Mobile is proposing a 45' monopole, with up to six panel antennas mounted inside a radome, which will lessen the visual effect of the antennas. The 45' monopole will give T-Mobile a centerline height of approximately 42' for its antennas. At this height the radio waves from the antennas will not be impacted by the adjacent 33' water tank. The 10' radome will allow T-Mobile to modify its antennas in the future without changing the appearance of the monopole.

PCWA is requiring T-Mobile to install a new 8' interior fence matching the existing perimeter fence to better protect the water tank.

Statement of Operations:

No nuisances will be generated by the proposed monopole, nor will the T-Mobile facility injure the public health, safety, morals or general welfare. With proper care and separation, T-Mobile's technology does not interfere with any other forms of communication whether public or private.

Once the construction of the wireless facility is complete and the telephone switching equipment is fine-tuned, visitation to the site by service personnel for routine maintenance typically occurs an average of once a month. The site is entirely self-monitored and connects directly to a central office where sophisticated computers alert personnel to any equipment malfunction.

Because the wireless facility will be unmanned, there will be no regular hours of operation and no impact to existing local traffic patterns. No water or sanitation services will be required.

T-Mobile will comply with all FCC rules governing construction requirements, technical standards, interference protection, power and height limitations and radio frequency standards. In addition, T-Mobile will comply with all FAA and CPUC rules on site location and operation.

Environmental Impacts:

The T-Mobile facility will result in no significant impacts to the environment or to the area in which it is located. The facility produces no noise, smoke or odors. Construction will result in minimal modifications and disturbance to the immediate area.

Benefits to the Community

The proposed T-Mobile facility will provide many benefits to Town of Loomis residents. These benefits include the following:

- 911 capability allowing motorists to summon aid and report dangerous situations.
- Support for emergency services by providing wireless communications to paramedics, firefighters, and law enforcement agencies.
- The ability to transmit data allowing for immediate access to vital information.
- A backup system to the land-line system in the event of power outages, natural or man-made disasters.
- Communication capabilities thereby enhancing the safety of travelers by allowing immediate access to emergency assistance.
- Enhance the communications systems of residents who telecommute from their homes.

In summary, the new T-Mobile facility will provide "State of the Art" wireless telecommunication services to the Town of Loomis and become an important element of the Town of Loomis infrastructure for future business and residential services.

RECEIVED

MAY 30 2013

**TOWN OF LOOMIS
PLANNING DEPARTMENT**

TOWN OF LOOMIS

ENVIRONMENTAL REVIEW APPLICATION

I. LAND USE AND PLANNING

1. Project Name (same as on Planning Application) T-Mobile site SC74101A
2. What is the general land use category for the project? Residential Estate
(residential, commercial, industrial, etc.)
3. What are the number of units or gross floor area proposed? NA
4. Are there existing facilities on the site? (buildings, wells, septic systems, parking, etc.) Yes [☒] No [☐]
If yes, show on the site plan and describe. PCWA water tank, T-Mobile wireless telecommunications facility.
5. Is adjacent property in common ownership? Yes [☒] No [☐] If yes, Assessor's Parcel Number (s) and acreage(s). 045-150-056
6. Describe previous land use(s) of the site over the last 10 years. PCWA water tank facility, T-Mobile wireless telecom facility.
7. Will the project require or provide storage for vehicles, equipment, materials, etc.? Yes [☐] No [☒]
If yes, describe the location, size and type of storage (secured, covered, etc.) proposed. _____

II. POPULATION AND HOUSING

1. How many new residents will the project generate? 0
2. Will the project displace or require the relocation of any residential units? Yes [☐] No [☒] If yes, the number. _____
3. What changes in character of the neighborhood would result from project development? (surrounding land uses such as residential, agricultural, commercial, etc.) None
4. Will the project create or destroy job opportunities? Create [☒] Destroy [☐] Describe Improve coverage for working from home in service area.
5. Will the proposed project displace any currently productive use? Yes [☐] No [☒] If yes, describe. _____

III. GEOLOGY AND SOILS

1. Are there any potential geologic hazards (soil settlement, steep slopes, slides, faults, etc.) associated with the project property or on surrounding properties? Yes [☐] No [☒] If yes, describe. _____

2. Will grading on the site be required? Yes [] No [☒] If yes, describe the grading anticipated for the project (locations, maximum depths/slopes of excavations and fills). _____

Estimate the grading area/quantities. _____ acres _____ cubic yards

3. Will site excavation and fill quantities balance? Yes [] No [☒] If no, describe the source(s) or disposal site(s), transport methods and haul routes required for grading materials. _____

4. Are retaining walls proposed? Yes [] No [☒] If yes, describe location(s), type(s), height(s), etc. _____

5. Describe the erosion potential of the project site and the measures that will be utilized to reduce erosion. NA

6. Will blasting be required during project construction? Yes [] No [☒] If yes, describe. _____

7. Are there any known natural economic mineral resources on the project site? (sand, gravel, mineral deposits, etc.) Yes [] No [☒] If yes, describe. _____

IV. HYDROLOGY AND DRAINAGE

1. Is there any body of water within or on the boundaries of the project site? (lake, pond, stream, canal, etc.) Yes [] No [☒] If yes, name/describe the body of water and show on the site plan. _____

2. If there is a body of water within or on the boundaries of the project site, will water be diverted from this water body? Yes [] No [☒] If yes, describe. _____

3. If water will be diverted, does the project applicant have an appropriate or riparian water right? Yes [] No [☒] If yes, describe. _____

4. Where is the nearest off-site body of water such as a waterway, river, stream, pond, canal, irrigation ditch or drainageway? Include the name of this water body, if applicable. Unknown pond approx. 1/4 mile south of subject parcel

5. What area/percentage of the project site is presently covered by impervious surface? Estimate 100%
What will be the area/percentage of impervious surface coverage after development? Estimate 61%

6. Will any runoff from the project site enter any off-site body of water? Yes [] No [☒] If yes, identify the destination of the runoff. _____

7. Will there be a discharge to surface waters of wastewater other than stormwater runoff? Yes [] No [☒] If yes, identify/describe the materials/contaminants present in this runoff. _____

8. Will the project result in the physical alteration of a body of water? Yes [] No [☒] If yes, describe. _____
9. Will the drainage or runoff from this project cause or exacerbate downstream flooding? Yes [] No [☒] If yes, describe. _____
10. Are there any areas of the project site that are subject to flooding or inundation? Yes [] No [☒] If yes, describe. _____
11. Will the project alter existing drainage channels and/or drainage patterns? Yes [] No [☒] If yes, describe. _____

V. AIR QUALITY

Note: Specific air quality studies may be required to be conducted as part of the project review/approval process. Such specific studies may be included with the submittal of this questionnaire.

1. Are there currently any known sources of air pollution such as an industrial use or major roadway in the vicinity of the project? Yes [☒] No [] If yes, describe. Rocklin Road
2. Describe the following emissions sources related to project development:
- Construction emissions - Extent and duration of site grading activities: No grading
- Stationary source emissions - Are woodstoves proposed in residential projects? Yes [] No [☒]
- Mobile source emissions - Vehicle activities related to residential, commercial and/or industrial uses: Construction will take approx 3-4 weeks
3. Based on proposed use, will the project significantly contribute to the violation of ambient air quality standards? Yes [] No [☒] If yes, describe (may require the results from specific air quality studies). _____
4. Are there any sensitive receptors to air pollution (such as schools or hospitals) located in the vicinity of the project? Yes [] No [☒] If yes, describe. _____
5. Describe measures that are proposed by the project to reduce stationary and mobile source emissions? No emissions
6. Will vegetation be cleared from the project? Yes [] No [☒] If yes, describe the method of disposal. _____

VI. TRANSPORTATION/CIRCULATION

Note: Detailed traffic studies prepared by a qualified traffic consultant may be required, following review of the information presented below. Such studies may be included with the submittal of this questionnaire.

1. Does the project front on a local roadway? Yes ☒ No ☐ If yes, what is the name of the roadway?
Rocklin Road
- If no, what is the name and distance of the nearest roadway? _____
2. Will new entrances onto local roadways be constructed. Yes ☐ No ☒
If yes, describe. _____
3. Would any non-automobile traffic result from the development of the project? Yes ☐ No ☒ If yes, describe. _____
4. If applicable, what road standards are proposed within the project? _____
(Show typical street sections(s) on the site plan.)
5. Will a new entrance(s) onto local roadways be constructed? Yes ☐ No ☒
If yes, show location(s) on site plan.
6. Describe any frontage improvements to the local roadway(s). None
7. Describe the traffic that will be generated by the project (average daily traffic [ADT], peak hour volumes and peak hour times/days). NA
8. Will this traffic affect the service levels at an existing major street intersection or freeway interchange? Yes ☐ No ☒ If yes, describe. _____
9. Are pedestrian, bicycle, equestrian and/or transit facilities proposed with the project? Yes ☐ No ☒
If yes, describe. _____
10. Will the project require provisions for parking? Yes ☐ No ☒ If yes, describe the number, size, location and access of the parking facilities proposed. _____
11. Will there be company vehicles associated with the project? Yes ☐ No ☒ If yes, describe the number and type of vehicles and the parking that will be provided for these vehicles (see 10, above). _____

VII. BIOLOGICAL RESOURCES

Note: Detailed studies or exhibits (e.g., tree survey, wetlands delineation) may be required, following a review of the information presented below. Such studies or exhibits may be included with the submittal of this questionnaire.

1. Briefly describe site vegetation. PCWA has installed landscaping on subject parcel consisting of evergreen trees and shrubs.
2. Will any trees of 6-inches diameter breast height (dbh) or greater be removed as a result of project development? Yes ☐ No ☒ If yes, describe the number of trees to be removed, tree species, tree inches and the percentage of the trees on the site that the removals represent.
3. Briefly describe wildlife typically found in the area. Typically none on subject parcel
4. Describe changes to site habitat(s) resulting from development of the project. No change
5. Are any rare or endangered species (as defined in Section 15380, CEQA Guidelines) found in the project area? Yes ☐ No ☒ If yes, describe.
6. Are any federally-listed threatened species, or candidates for listing, found in the project area? Yes ☐ No ☒ If yes, describe.
7. Is there a rare natural community (monitored by the DFG Natural Diversity Data Base) present on the project site? Yes ☐ No ☒ If yes, describe.
8. Are there wetlands (i.e., seasonal wetlands, wetland swales, riparian corridor, etc.) on the project site? Yes ☐ No ☒ If yes, describe (type, acreage, etc.).
9. If yes, will project development affect these wetland areas? Yes ☐ No ☒ If yes, describe.
10. If yes, will a Corps of Engineers permit be required for disturbing site wetlands? Yes ☐ No ☒

VIII. HAZARDOUS MATERIALS

Hazardous materials are defined as any material that, because of its quantity, concentration or physical or chemical characteristics, poses a significant present or potential hazard to human health and safety or to the environment if released into the workplace or the environment. "Hazardous materials" include, but are not limited to, hazardous substances, hazardous waste and any material (including oils, lubricants and fuels) which a handler or administering agency has a reasonable basis for believing that it would be injurious to the health and safety of persons or harmful to the environment if released into the workplace or environment.

1. Will the proposed project involve the handling, storage or transportation of hazardous materials?
Yes [] No [☒]

If yes, attach a list of all hazardous materials to be handled/stored at the project site. The list needs to include (but is not limited to) fuels, chemicals, cleaners, lubricants, coolants, biocides, etc. A description needs to be included explaining how these materials will be managed, used, stored, disposed/recycled.

Describe any hazardous wastes that will be generated and detail how/where they will be stored and disposal of. Include an outline of the proposed chemical emergency spill response plan.

If yes, will the project involve the handling, storage or transportation of more than 55 gallons, 500 pounds or 200 cubic feet (STP) at any one time of a product or formulation containing hazardous materials or will any of these materials be stored in underground storage tanks? Yes [] No [☒]

If yes, please contact the Placer County Environmental Health Division at 889-7335 for an explanation of additional requirements.

IX. NOISE

Note: Projects located near a major noise source and/or projects that will result in increased noise generation or exposure may require a detailed noise study (with any proposed mitigations) prior to environmental determination.

1. Is the project located near a major noise source? Yes [] No [☒] If yes, describe. _____
2. Describe the noise that will be generated by this project, both during construction and following project development. Typical construction noise for the 3-4 weeks of "on and off" construction activities. No noise once site is built except for small air conditioners on equipment cabinets.

X. PUBLIC SERVICES

FIRE AND EMERGENCY MEDICAL SERVICES

1. Describe the nearest fire protection facilities (location, distance, agency). Loomis Fire Dept located approx. 3 miles from subject parcel.
2. Describe the nearest emergency water source for fire protection purposes (type, location, distance, agency). Loomis Fire Dept Hydrant on Becklin Road
3. Describe the fire hazard and fire protection needs created as a result of project development. None
4. Describe the on-site fire protection facilities proposed with this project. None

5. If this is a single access project, what is the distance from the project to the nearest through roadway/name of roadway? NA
6. Describe parking area access, number of spaces and entry/exit for emergency vehicles. No change to existing, parking available on PCWA driveway
7. Are there any site limitations that will limit accessibility by emergency service vehicles? Yes ☒ No ☐ If yes, describe. Narrow driveway to subject parcel, fire truck could park on Rocklin Road and reach parcel easily.
8. Estimate the number of persons on-site (residents or employees/visitors) None

LAW ENFORCEMENT

1. Describe the access to the site and entrance features (gates, etc.). All fencing and gates designed by PCWA. Typical 8' high fencing and gates.
2. Describe the security protection that will be provided on the site, if any. Monitored by PCWA
3. Describe the location, visibility and lighting of vehicle and equipment storage areas. No change to existing PCWA standard

WATER

1. Is the project within a public domestic water system district or service area? Yes ☒ No ☒ If yes, describe the district/area. Served by PCWA
2. Can the district serve the project? Yes ☒ No ☐
3. What will be the water source(s) for the project? None required
4. What is the estimated usage and peak usage of the project? _____ gpd/_____ gpd - NA
5. Are there any existing or abandoned wells on the site? Yes ☐ No ☒ If yes, describe (location, depth, yield, contaminants, etc.) _____

WASTEWATER

1. Is wastewater presently disposed on the site? Yes ☐ No ☒ If yes, describe the method(s) and quantities (gpd). _____
2. Is the project located within a sewer district? Yes ☐ No ☐ If yes, describe. NA
- If yes, can the district serve the project? Yes ☐ No ☐
- Is there sewer service in the area? Yes ☒ No ☐ If yes, what is the distance to the nearest collector line? NA
3. What are the projected wastewater quantities (gpd) generated by the project and the proposed method of disposal? _____ gpd NA

4. Will there be any unusual characteristics associated with project wastewater? Yes [] No [☒] If yes, describe any special treatment processes that may be necessary for these wastes. _____

5. During the wettest time of year, is the groundwater level on the project site less than 8 feet below the surface of the ground? Yes [] No [☒]

SOLID WASTE

1. Describe the type(s) of solid waste and estimate the quantities of waste per day/month that will be produced by the project. Specify if there are any special wastes (chemicals, infectious waste, oils, solvents, recyclables, etc.) None
2. Describe the disposal method of this waste material. NA
3. Describe the access that will be provided to refuse removal vehicles and the location and design of recycling and refuse storage equipment. NA

PARKS AND RECREATION

1. What is the distance from the project to the nearest public park or recreation area? NA
What is the name of this facility? _____
2. Are any park or recreation facilities proposed as part of the project? Yes [] No [☒] If yes, describe. _____

SCHOOLS

1. What are the nearest elementary and high schools to the project? NA
What are the distances to these schools from the project? NA

XI. AESTHETICS

1. Is the proposed project consistent/compatible with adjacent land uses and densities? Yes [☒] No []
Describe the consistencies/compatibilities or inconsistencies/incompatibilities. T-Mobile currently operates a telecom site on subject parcel. PCWA has demanded T-Mobile remove antennas from water tank and install them on new 45' tall monopole
2. Is the proposed project consistent/compatible with adjacent architectural styles? Yes [☒] No []
Describe the consistencies/compatibilities or inconsistencies/incompatibilities. Proposed 45' tall monopole close to height of existing approx. 40' joint pole on subject parcel.
3. Describe the signage and/or lighting proposed by the project. Only as required by governmental agencies

4. Is landscaping proposed? Yes [] No [☒] If yes, describe. _____

XII. CULTURAL RESOURCES

Note: If the project site is located on or near an archaeological, historical or paleontological site, specific studies may be required.

1. Does the project site support any archaeological, historical or paleontological features (e.g., Native American habitation sites, old foundations or structures, etc.)? Yes [] No [☒] If yes, describe. _____

2. What is the nearest archaeological, historical or paleontological site? Unknown

What is the name of this site? _____

ENVIRONMENTAL DOCUMENTS

**TOWN OF LOOMIS
NOTICE OF INTENT TO ADOPT A NEGATIVE DECLARATION**

DATE FILED: October 30, 2013

Pursuant to Division 6, Title 14, Chapter 3, Article 6, Section 15070 of the California Administrative Code and by the Town of Loomis, and Resolution 93-51, the Planning Director of the Town of Loomis, does prepare, and cause to be filed with the Loomis Town Clerk, Loomis, California, this Negative Declaration regarding the Project described as follows:

**PROJECT: #13-09 T-Mobile Cell Tower #SC74101A Use Permit (UP) and Variance (VAR)
(Modification to #01-08 Cingular Wireless Antennae Facility #SA-955-01 CUP)**

PROJECT DESCRIPTION: The project (#13-09 UP) consists of the modification of a previously approved CUP for the construction and operation of a telecommunications facility (#01-08 CUP, Negative Declaration, and CA Dept of Fish & Game Certificate of Fee Exemption, approved 9/18/01); the modification project (#13-09 UP) is subject to the Conditions of Approval placed on #01-08 CUP. For security purposes, PCWA is requiring that panels be removed from the tank and that an existing 8-ft high chain link fence be relocated and new sections installed to prevent access from the T-Mobile leased area to the tank. The modification project (#13-09) consists of the removal of 6 flush mounted panels which are installed below the top elevation of a 33-ft tall Placer County Water Agency (PCWA) water tank, and the construction of a new 45-ft tall monopole (2 ft in diameter) with a 10-ft radome (3 ft in diameter). The panels will be relocated into the radome. The monopole will be located approximately 25 ft to the SE of the tank, on a new ± 65 sq.ft. concrete pad adjacent to the eastern edge of the existing fenced T-Mobile equipment area. T-Mobile leases a ± 15 -ft by 20-ft or 300 sq.ft. area from PCWA. This leased area is within a ± 20 -30-ft graded, graveled, asphalted zone which surrounds the tank. The existing equipment will be used. New man-gates will be installed in the fence and a designated walking path through the graveled area created to allow T-Mobile to access their equipment without PCWA personnel being present. The monopole shall be painted the same brown color as the two existing wooden utility poles on the site to blend into the surroundings. The facility is unmanned (visited every 4-8 weeks for routine maintenance), is not lit, does not emit noise or glare, and does not interfere with television or radio reception. T-Mobile will comply with all FCC, FAA, and CPUC rules on site location and operation. The proposed service area is the south end of Loomis and vicinity. A variance to the Town's Zoning Ordinance is requested to allow the pole to exceed the 35-ft height limit in the RE zone district. The proposed 45-ft height would allow the new panels to be positioned at a centerline height of 42-ft in order to clear the obstruction of the tank. PCWA has an existing pole-type antenna which extends 16 ft above the top of the tank. Utility poles in the vicinity are 42-ft in height. The new monopole would be shorter than the existing PCWA antenna and similar in height to utility poles. Site plans and elevation drawings have been included.

LOCATION OF PROJECT: 5475 Rocklin Road, Loomis, CA 95650
APN 045-161-019 and -022

TENTATIVE HEARING DATE: December 17, 2013, 7:30 PM
Loomis Planning Commission
Loomis Depot
5775 Horseshoe Bar Road
Loomis, CA

COMMENT PERIOD: October 30, 2013 to November 29, 2013

On the Basis of an initial study and in accordance with Section 15070 of the California Administrative Code it is found that the proposed Project will not produce, or be subject to significant environmental effects.

Further information may be obtained by contacting the Town of Loomis, 3665 Taylor Road, Loomis, California or telephone (916) 652-1840. Any written comments should be received at 3665 Taylor Road, Loomis, CA 95650, by November 29, 2013 by 5:00 p.m.

Marianne Nockles-Lockwood, Planner

**TOWN OF LOOMIS
ENVIRONMENTAL CHECKLIST FORM**

1. Project Title: #13-09 T-Mobile Cell Tower #SC74101A Use Permit (UP) & Variance (VAR)
(Modification to #01-08 Cingular Wireless Antennae Facility #SA-955-01 Conditional Use Permit (CUP))
2. Lead Agency Name and Address: Town of Loomis
3665 Taylor Road
Loomis, CA 95650
3. Contact Person and Phone Number: Marianne Nockles-Lockwood, Planner
mlockwood@loomis.ca.gov; (916) 652-1840
4. Project Location: 5475 Rocklin Road Loomis, CA 95650
APN 045-161-019 and -022
5. Project Sponsor's Name and Address: T-Mobile West, LLC, Agent: Timothy Miller
1755 Creekside Oaks Drive, #190
Sacramento, CA 95833
Timothy@sitecomwireless.com; (916) 826-4232
6. General Plan Designation: Residential Estate-2.3 acres/du
7. Zoning: RE – Residential Estate
8. Description of the Project: The project (#13-09 UP) consists of the modification of a previously approved CUP for the construction and operation of a telecommunications facility (#01-08 CUP, Negative Declaration, and CA Dept of Fish & Game Certificate of Fee Exemption, approved 9/18/01); the modification project (#13-09 UP) is subject to the Conditions of Approval placed on #01-08 CUP. For security purposes, PCWA is requiring that panels be removed from the tank and that an existing 8-ft high chain link fence be relocated and new sections installed to prevent access from the T-Mobile leased area to the tank. The modification project (#13-09) consists of the removal of 6 flush mounted panels which are installed below the top elevation of a 33-ft tall Placer County Water Agency (PCWA) water tank, and the construction of a new 45-ft tall monopole (2 ft in diameter) with a 10-ft radome (3 ft in diameter). The panels will be relocated into the radome. The monopole will be located approximately 25 ft to the SE of the tank, on a new ± 65 sq.ft. concrete pad adjacent to the eastern edge of the existing fenced T-Mobile equipment area. T-Mobile leases a ± 15 -ft by 20-ft or 300 sq.ft. area from PCWA. This leased area is within a ± 20 –30-ft graded, graveled, asphalted zone which surrounds the tank. The existing equipment will be used. New man-gates will be installed in the fence and a designated walking path through the graveled area created to allow T-Mobile to access their equipment without PCWA personnel being present. The monopole shall be painted the same brown color as the two existing wooden utility poles on the site to blend into the surroundings. The facility is unmanned (visited every 4-8 weeks for routine maintenance), is not lit, does not emit noise or glare, and does not interfere with television or radio reception. T-Mobile will comply with all FCC, FAA, and CPUC rules on site location and operation. The proposed service area is the south end of Loomis and vicinity. A variance to the Town's Zoning Ordinance is requested to allow the pole to exceed the 35-ft height limit in the RE zone district. The proposed 45-ft height would allow the new panels to be positioned at a centerline height of 42-ft in order to clear the obstruction of the tank. PCWA has an existing pole-type antenna which extends 16 ft above the top of the tank. Utility poles in the vicinity are 42-ft in height. The new monopole would be shorter than the existing PCWA antenna and similar in height to utility poles. Site plans and elevation drawings have been included with this Environmental Initial Study to assist in understanding the physical layout of the proposal.
9. Surrounding Land uses and Setting: (Briefly describe the project's surroundings)
North: Rural Residential Uses/ single family residences
South: Rural Residential Uses; St. Francis Woods Subdivision 1 acre minimum
East: Church; Rural Residential Uses
West: Church/Rural Residential Uses
10. Other public agencies whose approval is required (e.g. permits, financing approval, or participation agreement). PCWA

ENVIRONMENTAL CHECKLIST:

Pursuant to Section 15063, CEQA Guidelines, the Town of Loomis has utilized an Environmental Checklist to evaluate the potential environmental effects of the project. The checklist provides a determination of these potential impacts and includes the substantiation developed in support of the conclusions checked on the form.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|---|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Geology /Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards/Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Noise |
| <input type="checkbox"/> Population/Housing | <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Utilities/Service Systems | <input type="checkbox"/> Mandatory Findings of Significance |

DETERMINATION: On the basis of this initial evaluation:

- ☒ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- ☐ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- ☐ I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- ☐ I find that although the proposed project could have a significant effect on the environment, all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Signature  Date 10/30/13

Printed Name Marianne Nockles-Lockwood for Town of Loomis

EVALUATION OF ENVIRONMENTAL FACTORS:

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
I. AESTHETICS – Would the project:				
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Create a new source of substantial light or glare, which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

(a & b) The project site is not part of a designated scenic view shed, and is not visible from a designated scenic highway. (California Department of Transportation, California Scenic Highway Mapping System, Placer County, last updated 9/7/11, http://www.dot.ca.gov/hq/LandArch/scenic_highways/index.htm, Accessed 10/29/13) Therefore, there would be no impact.

(c) The 45-ft tall monopole will be located approximately 25 ft to the southeast from an existing 33-ft high water tank. There is an existing 16-ft pole-type antenna extending above the southwest section of the tank. Existing equipment cabinets are located within an existing fenced area which is screened from view by trees and shrubs. An existing 8-ft tall chain link fence located within the interior of the site will be relocated closer to the tank and some new sections of fencing installed, a man gate will be installed in the fence, and a walkway designated across a graveled area to allow personnel to access the equipment, but to prevent access to the tank. An approximately 14-ft long and 2-ft high CMU retaining wall will be installed at the man gate and walkway entrance. There are two utility poles on the PCWA site; the one nearest the proposed monopole is 42-ft in height. A row of utility poles extends along the north side of Rocklin Road with overhead utility lines running through the PCWA site. The project would appear to add one new pole to the line. The applicant is proposing to paint the monopole and radome the same color brown color as the existing utility poles to "blend" or "disappear" into the surrounding area. Any new equipment would be painted the same color as the existing equipment cabinets. PCWA has installed landscaping around the perimeter of the tank lot and in the area between the tank and Rocklin Road. This landscaping is slowly growing and screening the overall PCWA property. The project would not have a significant impact on visitors' and residents' perceptions of the town. The proposed project would not have a significant impact on views. Therefore, there would be no impact.

(d) There is one existing emergency light on a utility pole which can be activated during inspections. There is no potential for substantial light or glare from the project. Therefore, there would be no impact.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
II. AGRICULTURE AND FORESTRY RESOURCES –				
Would the project:				

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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| c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Result in the loss of forest land or conversion of forest land to non-forest use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion:

- (a) The project site is designated Other Land on the Placer County Important Farmland Map 2010 by the State Department of Conservation. "Other land is land not included in any other mapping category. Common examples include low density rural developments, brush, timber, wetland, and riparian areas not suitable for livestock grazing, confined livestock poultry, or aquaculture facilities, strip mines, borrow pits, and water bodies smaller than 40 acres. Vacant and nonagricultural land surrounded on all sides by urban development and greater than 40 acres is mapped as other land." (California Department of Conservation, Division of Land Resource Protection, Farmland Mapping and Monitoring Program, Placer County Important Farmland 2010 Map, Map published May 2013. <http://ftp.consrv.ca.gov/pub/dlrp/FMMP/pdf/2010/pla10.pdf>, Accessed 10/28/13.) Therefore, there would be no impact.
- (b) The project site is not under Williamson Act contract. Therefore, there would be no impact.
- (c & d) The project site is not forest land or timberland. Therefore, there would be no impact.
- (e) The project site has been developed as a water tank for a quasi-public agency for many years. No undeveloped land or areas currently used for any agricultural purposes will be developed or taken out of production to accommodate this project. Therefore, there would be no impact.

Mitigation: None Required

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| III. AIR QUALITY – Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project: | | | | |
| a) Conflict with or obstruct implementation of the applicable air quality plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions, which exceed quantitative thresholds for ozone precursors)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Expose sensitive receptors to substantial pollutant concentrations? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Create objectionable odors affecting a substantial number of people? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion:

(a - e) Air quality is regulated by federal, state, regional, and local agencies. The project site is located within the Sacramento Valley Air Basin (SVAB) area of Placer County and is under the jurisdiction of Placer County Air Pollution Control District (PCAPCD). Placer County is in non-attainment for ozone and PM₁₀. All projects with potential to cause air emissions are subject to adopted PCAPCD rules and regulations in effect at the time of construction. The project will have short-term construction impacts. No grading is proposed for the project. The water tank is located within an approximately 140-ft by 130-ft area which has been graded, graveled, and asphalted; this area extends approximately 20-30 feet from the edge of the tank on all sides. T-Mobile's leased equipment facility and proposed monopole are located within this developed area. The project is electric powered and has no gaseous emissions; power and equipment are already in place and operating. Construction activities, including grading, would generate a variety of pollutants; the most significant of which would be dust (PM₁₀). This would exacerbate the existing PM₁₀ non-attainment condition if not mitigated. Construction equipment would produce short-term combustion emissions. After construction the project is expected to generate approximately one trip per 4-8 week period for maintenance purposes. The project does not conflict or obstruct any air quality plan, does not violate any air quality standard, does not result in a cumulatively considerable net increase in pollutants, does not expose sensitive receptors to substantial pollutant concentrations, and does not create objectionable odors. The project is subject to the previously approved CUP which requires that the project conform to the rules and requirements of the Placer County Air Pollution Control District (PCAPCD) in effect at the time of construction and, that prior to commencement of grading, the applicant submit a dust control plan for approval by the Town Engineer and PCAPCD. With these conditions, there would be no impacts.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
IV. BIOLOGICAL – Would the project:				
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

(a - f) The project is an infill development on an already developed site (graded, graveled, asphalted, fenced, no vegetation) and will not result in any modification or disturbance to any wildlife, riparian, or aquatic habitat. Therefore, the

project will not have a substantial adverse effect on any species identified as a candidate, sensitive, or special status species by any governmental agency. The project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified by any level of government. The project will have no impact on federally protected wetlands as defined by section 404 of the Clean Water Act. Nor will it interfere with the movement of any native resident or migratory fish or wildlife species, migratory corridors, or native wildlife nursery sites. The project does not conflict with any local policies or ordinances protecting biological resources or with the provisions of any approved local, regional, or state conservation plans. Therefore there would be no impacts.

Mitigation: None Required

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<u>V. CULTURAL RESOURCES</u> – Would the project:				
a) Cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

(a - d) The project site is not located within the historic downtown core area. The existing water tank, surrounding fenced access area, and fenced telecommunications equipment area have been in place for many years. Any construction would take place in previously disturbed areas. Therefore, construction of the proposed project will not result in adverse impact to cultural resources. Therefore there would be no impacts.

Mitigation: None Required

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	
<u>VI. GEOLOGY AND SOILS</u> -- Would the project:				
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to California Geological Survey Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?

- | | | | | |
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| d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1997), creating substantial risks to life or property? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion:

(a - e) Loomis is located on a granitic pluton and is in an area that is not subject to severe seismic events. (State of California Department of Conservation, 2010 Geologic Map of California, California Geological Survey, Geologic Data Map No. 2, <http://www.quake.ca.gov/gmaps/GMC/stategeologicmap.html>, Accessed 10/28/13) The Project site is not within an Alquist Priolo Earthquake Fault zone, and there are no known faults on or adjacent to the site. (State of California Department of Conservation, Alquist Priolo Earthquake Fault Zones, 9/21/12, http://www.consrv.ca.gov/cgs/rghm/ap/Pages/official_release.aspx, Accessed 10/28/13) The California Geological Survey identifies inactive faults to the east and west of the Loomis Basin. (State of California Department of Conservation, 2010 Fault Activity Map of California, California Geological Survey, Geologic Data Map No. 6, <http://www.quake.ca.gov/gmaps/FAM/faultactivitymap.html>, Accessed 10/28/13) Accordingly, the site is situated in an area that is considered to have relatively low seismic activity; Uniform Building Code (1997) Seismic Zone 3. Current Building Code requirements will reduce potential effects of fault rupture to a less-than-significant level. Like most of central California, the site can be expected to be subjected to seismic ground shaking at some future time. However, according to the California Division of Mines and Geology bulletin, South Placer County is classified as a low severity earthquake zone. The maximum probable ground shaking is expected to be no greater than VI on the Modified Mercalli Scale. Structural damage from ground shaking of this magnitude will be minimal if structures are constructed in accordance with applicable Uniform Building Code requirements. The potential for liquefaction at the project site is considered small. The potential for landslides and mudflows is negligible at the project site because of the absence of steep slopes. The project will require minimal soil displacement for construction of the monopole. There are no recorded episodes of subsidence in the area. The site may contain minimal expansive soils. Compliance with Uniform Building Code requirements will reduce any potential impacts associated with expansive soils to a less-than significant level. There are no unique physical features. The project is subject to the previously approved CUP which requires that the project submit building and grading plans consistent with town requirements and meeting the approval of the Town Engineer Building Official prior to any development on site. The grading plan is to specify erosion control measures, which will reduce potential erosion. With these previously imposed conditions, there would be no impact.

Mitigation: None required.

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| VII. GREENHOUSE GAS EMISSIONS – Would the project: | | | | |
| a) Generate greenhouse gas emissions (GHG), either directly or indirectly, that may have a significant impact on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion:

(a & b) The project is located within a developed area which has been previously graded, graveled, asphalted, fenced, and has no vegetation. No grading is proposed with the project. The monopole pad is approximately 65 sq.ft. in size. The leased equipment area is approximately 300 sq.ft. in size. The monopole and its operation will not generate significant greenhouse gases in that the equipment is powered by electricity from the existing equipment cabinets on site. Maintenance occurs once every 4-8 weeks with personnel visiting the site. PCAPCD has determined significance thresholds for GHG emissions for two land use categories: single family residential and retail. It has also determined the size of land use projects that would reach this threshold. (Placer County Air Pollution Control District (PCAPCD), CEQA Handbook, October 11, 2012.) In preparing this IS/ND, Town staff considered the project to be retail rather than

residential. According to PCAPCD's CEQA Handbook, the significance threshold is reached by a retail project 130,000 sq.ft. in size (Table 2-2); the cumulative significance threshold is reached by a retail land use project 15,000 sq.ft. in size (Table 2-4). The project is less than 300 sq.ft. in size; therefore it is below the threshold of significance and has a less than significant impact (Figure 2-1). There is no conflict with any adopted plan, policy, or regulation. Therefore, there would be no impact.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<u>VIII. HAZARDS AND HAZARDOUS MATERIALS – Would the project:</u>				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and/or accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Expose people or structures to a significant risk of loss, injury or death involving wild land fires, including where wild lands are adjacent to urbanized areas or where residences are intermixed with wild lands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

(a) The project does not involve the routine transport, use, or disposal of hazardous materials nor is there any reasonably foreseeable circumstance in which upset and accident conditions could result in the release of hazardous materials. Therefore, in this regard, the project will not create a significant hazard to the public or the environment. Therefore, there would be no impact.

(b & c) The project is located on a developed site and is replacing an existing 6 panel cellular communications system located on a water tank with a monopole. Under the FCC regulations wireless service providers are required to certify with the FCC that an antenna facility, such as the project, are in compliance with all applicable FCC standards, both by itself and when considered cumulatively with existing antenna facilities. In addition, Section 704 of the

Telecommunications Act of 1996 states that: "No State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless services facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission's [FCC] regulations concerning such emissions." Therefore, there would be no impact.

(d) The project site is not included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5. (CA Dept. of Toxic Substances Control Environstor, Hazardous Waste and Substances Site List, page 7 of 11, http://www.envirostor.dtsc.ca.gov/public/search.asp?PAGE=7&CMD=search&ocieerp=False&business_name=&main_street_number=&main_street_name=&city=&zip=&county=&branch=&status=ACT%2CBKLG%2CCOM&site_type=CSITES%2COPEN%2CFUDS%2CCLOSE&cleanup_type=&npl=&funding=&reporttype=CORTESE&reporttitle=HAZARDOUS+WASTE+AND+SUBSTANCES+SITE+LIST&federal_superfund=&state_response=&voluntary_cleanup=&school_cleanup=&operating=&post_closure=&non_operating=&corrective_action=&tiered_permit=&evaluation=&spec_prog=&national_priority_list=&senate=&congress=&assembly=&critical_pol=&business_type=&case_type=&display_results=&pub=&hwmp=False&permitted=&pc_permitted=&ORDERBY=county&next=Next+50, Accessed 10/29/13) Therefore, development of the project would not create a significant hazard to the public or the environment. Therefore, there would be no impact.

(e - h) The project is not located within an airport use plan area or, within two miles of a public, private, or public use airport. The project will not impair implementation of, or physically interfere with, an adopted emergency response plan or emergency evacuation plan. In fact, enhanced communication, anticipated to result from installation of the proposed antennae, should improve emergency response capabilities. The project is an unmanned facility located on a developed site surrounded by a fence. Therefore it will not result in exposure of people or structures to a significant risk or loss, injury or death involving wild land fires. Therefore, there would be no impact.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
IX. HYDROLOGY AND WATER QUALITY – Would the project:				
a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner, which would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in on- or off-site flooding?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other food hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| h) Place within a 100-year flood hazard area structures, which would impede or redirect flood flows? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| j) Result in inundation by seiche, tsunami, or mudflow? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion:

(a & b) As an unmanned facility, which will not be connected to a public or private water supply, and built on a developed site, the project will not result in the violation of any water quality standards or discharge any waste. Nor will the project have any impacts that could result in a net deficit in aquifer volume or a lowering of the local groundwater table. Therefore, there would be no impact.

(c & d) The project is being built on a developed site. The monopole's relatively small footprint of approximately 65 sq.ft. adjacent to a 300 sq.ft. leased equipment area will not substantially alter the existing drainage pattern of the site or the area, will not alter the course of a stream or river, nor result in substantial erosion, siltation, or flooding either on- or off-site. Therefore, there would be no impact.

(e & f) The project will not create, or contribute, runoff water in quantities significant enough to exceed the capacity of existing storm water drainage systems or provide a substantial additional source of runoff, polluted or otherwise. The project's design and construction, as noted above, will not result in a substantial degradation of water quality. Therefore, there would be no impact.

(g - j) The project is not located near, or in, any seasonal or perennial streams or waterways. (US Geologic Survey, Rocklin Quadrangle, Accessed 10/29/13) Therefore, it will not in any significant way impact or effect any 100-year flood hazard areas, nor expose people or structures to a significant risk of loss, injury or death involving flooding, including inundation by seiche, tsunami, or mudflow. Per FEMA FIRM panel 06061C0481F, the project site is in Zone X, which is outside the area of a 500-year flood. Therefore, there would be no impact.

The project is subject to the conditions of approval for the previously approved CUP which required that the project be constructed in a manner so that post – development runoff flows do not exceed pre – development flows through the use of a drainage plan that includes provisions for on – site detention of runoff flows and payment of the Town's drainage impact fee, if required, that other drainage system improvements may be required, and that this mitigation may be implemented through development of a drainage plan, subject to review and approval of the Town Engineer. With these previously imposed conditions, there would be no impact.

Mitigation: None required.

- | | Potentially
Significant
Impact | Less Than
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With
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Impact | No
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|---|--------------------------------------|--|------------------------------------|-------------------------------------|
| X. LAND USE AND PLANNING - Would the project: | | | | |
| a) Physically divide an established community? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Conflict with any applicable habitat conservation plan or natural community conservation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion:

(a - c) The project site has a General Plan designation of Residential Estate 2/3 acres/du and a zoning designation of RE Residential Estate. Specific Use Regulations have been established for a telecommunications facility in the Town's

Zoning Ordinance. A PCWA water tank exists on the site. The Town of Loomis approved a use permit for the installation and operation of a cellular communications facility on this site in 2001; the facility is currently operating. The site has been identified in the Town's Zoning Ordinance, Section 13.44.040, as a location for telecommunications facilities. There is no habitat conservation plan for the area. Therefore there would be no impact.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
XI. MINERAL RESOURCES – Would the project:				
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

(a & b) There are no known sources of valuable minerals located upon the project site. The site is not designated for mineral resource recovery on the Town of Loomis General Plan or any other land use plans. (California Department of Conservation, SMARA Mineral Land Classification Map Placer County, Accessed 10/28/13, <http://www.quake.ca.gov/gmaps/WH/smaramaps.htm>). In addition, the site has already been developed as a water tank and telecommunications facility. This effectively limits the ability to recover mineral resources from the site even if such should exist. Therefore there would be no impact.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
XII. NOISE – Would the project result in:				
a) Exposure of persons or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable local, state, or federal standards?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Exposure of persons to or generation of excessive ground borne vibration or ground borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above level existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

(a - d) There are no known sources of severe noise in the vicinity of the project. The project is an unmanned facility, which requires only periodic visits by maintenance crews. The Town of Loomis General Plan has established 65 Ldn as the normally acceptable outdoor noise level for residential uses in the vicinity of the project site. After construction, the monopole will generate little or no noise or vibration, as it does not include air conditioning or any other noise or vibration generating equipment. The existing equipment on site does not generate noise. Therefore the project will not result in any substantial permanent increase in ambient noise levels in the project vicinity. There will be short-term increases in noise levels associated with construction. The project is subject to the previously approved CUP which requires that no construction work shall begin prior to 7:00 a.m. nor occur after 7:00 p.m. Monday through Friday nor prior to 8:00 a.m. or after 5:00 p.m. on Saturday, with no work to occur on holidays. With these previously imposed conditions, there would be no impact.

(e) The project, an unmanned facility, is not located within an airport land use plan area or within two miles of a public airport or private or public use airport or airstrip. Therefore there would be no impact.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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XIII. POPULATION AND HOUSING -- Would the project:

a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?

☐ ☐ ☐ ☒

b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?

☐ ☐ ☐ ☒

c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?

☐ ☐ ☐ ☒

Discussion:

(a - c) The project is replacing part of an existing telecommunications facility. It cannot reasonably be expected to induce substantial growth in the area over and above that already expected. Therefore there would be no impact.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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XIV. PUBLIC SERVICES

a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Fire protection?

☐ ☐ ☐ ☒

Police protection?

☐ ☐ ☐ ☒

Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

(a) The Town presently provides services to the area, including police and fire protection through various contractual agreements. This project, replacing a portion of an unmanned communications facility, on its own will not create a substantial increase, or demand, on present levels of service. Therefore there would be no impact.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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XV. RECREATION --

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Include recreational facilities or require the construction or expansion of recreational facilities that might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

(a & b) The project is an unmanned communications facility, as such it will have no impact on the use of existing neighborhood and regional parks or other recreational facilities. Nor does the project include the construction of any new recreational facilities or require the expansion of existing facilities. Therefore there would be no impact.

Mitigation: None Required

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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XVI. TRANSPORTATION/TRAFFIC -- Would the project:

a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

(e.g., farm equipment)?

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) Result in inadequate emergency access? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion:

(a - g) The project is installing a monopole on unmanned facility on a previously developed site. There is no increase in the frequency of maintenance from the existing facility. Approximately one (1) vehicle trip per 4 – 8 weeks is anticipated for regular maintenance of the facility. No new roads, or changes to existing street improvements or parking areas are being proposed, or are required by the adopted Town of Loomis development standards, as a part of the project. The project will not result in any appreciable increase in traffic or result in an established level of service standard being exceeded for any roads or highways, nor will the project have impact emergency access to any area, or air traffic. It does not conflict with any adopted policies, plans, or programs supporting alternative transportation. Therefore there would be no impact.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<u>XVII. UTILITIES AND SERVICE SYSTEMS</u> –Would the project:				
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in a determination by the wastewater treatment provider that serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

(a - g) All utilities already exist in the area and currently serve the project. The project is an unmanned facility, it does not require the provision of a water supply, potable or otherwise, nor will it generate any wastewater. It does increase the amount of impervious surface in the area by less than 56 square feet. This will not result in a significant increase in storm

water runoff. Therefore the project will not require the construction or new, or expansion of existing, storm water drainage facilities. As an unmanned facility the project will not generate solid waste after construction and, therefore, will not have any solid waste disposal needs; given that it will comply with federal, state, and local statutes and regulations related to solid waste. The project is subject to the conditions of approval of the previously approved CUP which requires the project developer to construct the project in a manner so that post – development runoff flows do not exceed pre – development flows through the use of a drainage plan that includes provisions for on – site detention of runoff flows and payment of the Town's drainage impact fee, that other drainage system improvements may be required, and that this mitigation may be implemented through development of a drainage plan, subject to review and approval of the Town Engineer. With these previously imposed conditions, there will be no impact.

Mitigation: None required.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<u>XVIII. MANDATORY FINDINGS OF SIGNIFICANCE --</u>				
a) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of an endangered, rare, or threatened species, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

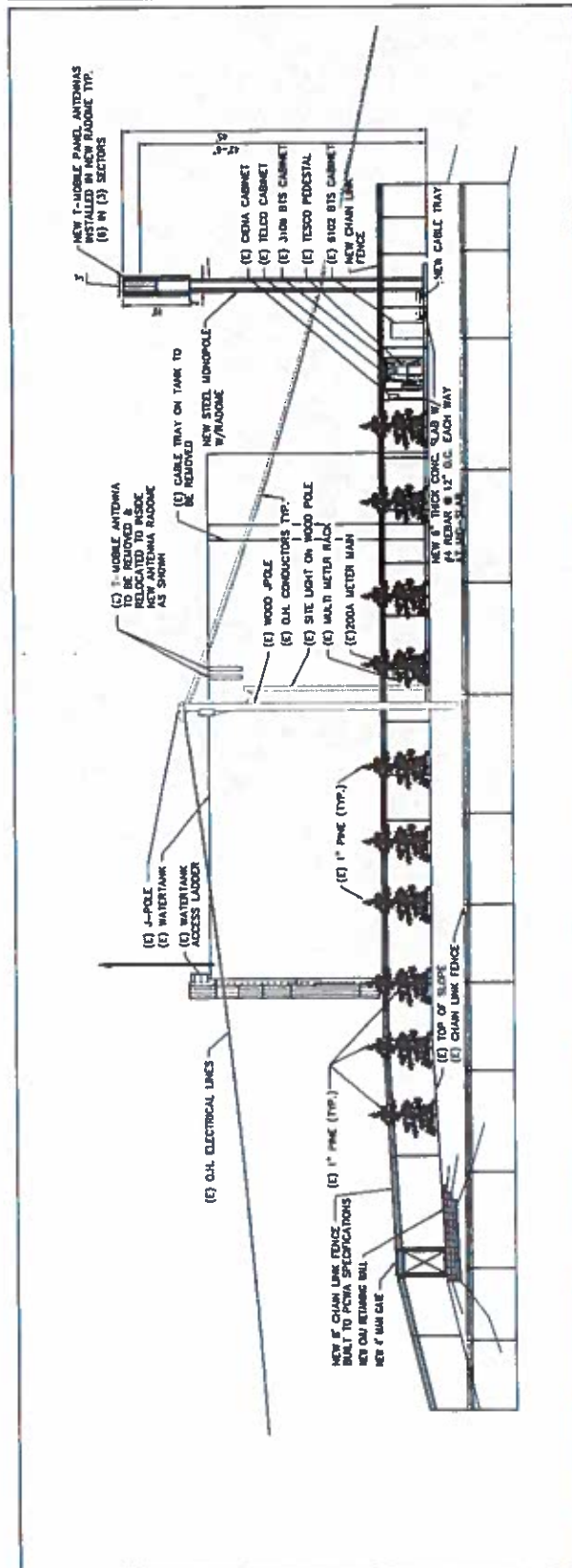
(a-c) As evaluated in this IS/ND, the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife species to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of an endangered, rare, or threatened species, or eliminate important examples of the major periods of California history or prehistory. No cumulatively considerable impacts are identified by this IS/ND. The project does not have impacts that could cause adverse effects on human beings, either directly or indirectly.



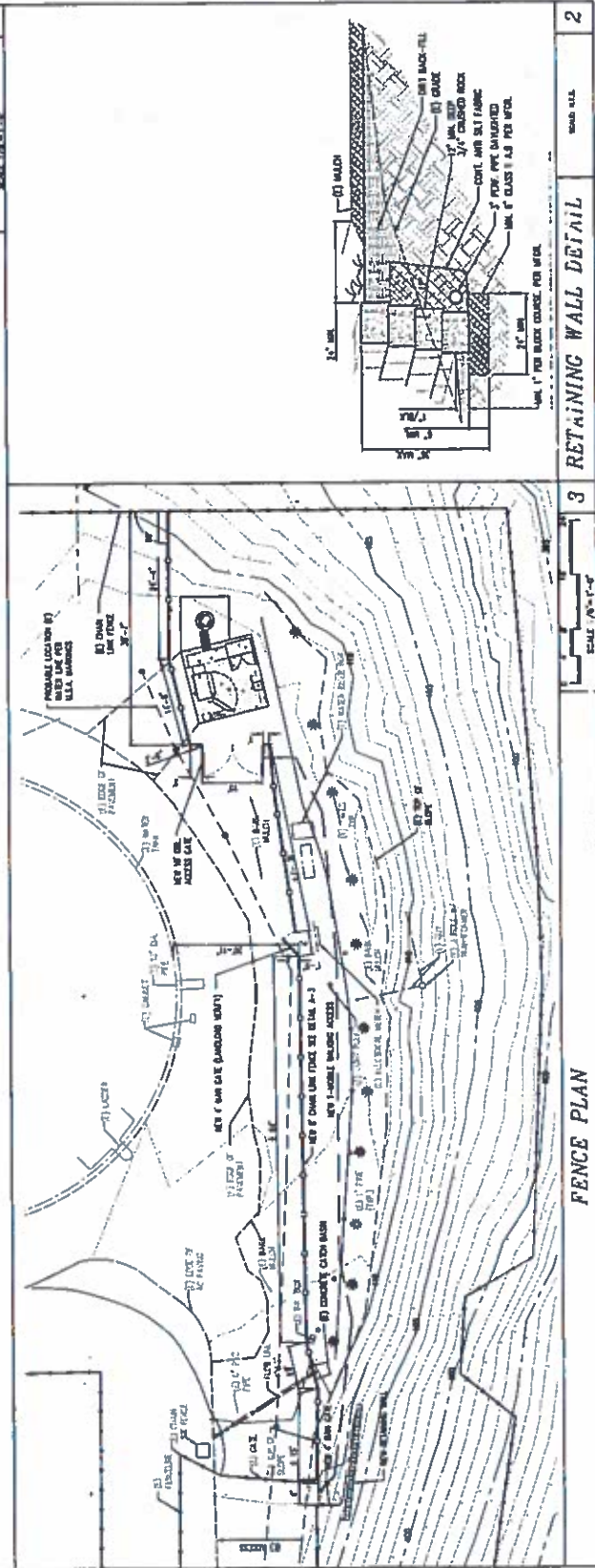
Google earth

feet 100
meters 30

13-09 T-Mobile CUP & VAR, 5475 Rocklin Rd. Loomis, CA
45' monopole location



SOUTH ELEVATION



FENCE PLAN

RETAINING WALL DETAIL

SITE ADDRESS

1974 October 1964

T-Mobile
T-MOBILE WEST LLC
10000 Rockledge Blvd. Suite 100 • San Diego, CA 92121

Peek Site-Com

12852 Earhart Ave., Suite 101
Auburn, California 95602
Phone (530) 885-8160
E-Mail info@pretsilecom.com

As a result of the above, the Commission has concluded that the proposed rule is necessary to protect the integrity of the securities markets and to prevent the manipulation of the securities markets.

[illegible]

CORRESPONDENCE



PLACER COUNTY WATER AGENCY
SINCE 1957

BOARD OF DIRECTORS

Gray Allen, District 1
Primo Santini, District 2
Mike Lee, District 3
Robert Dugan, District 4
Joshua Alpine, District 5

David Breninger, General Manager
Ed Tiedemann, General Counsel

BUSINESS CENTER

144 Ferguson Road
MAIL
P.O. Box 6570
Auburn, CA 95604

PHONE

(530) 823-4850
(800) 464-0030

WWW.PCWA.NET

October 17, 2013
File No. General Info

Mr. Rick Angelocci, Town Manager
Town of Loomis
3665 Taylor Road
Loomis, CA 95650

RECEIVED

OCT 17 2013

TOWN OF LOOMIS

SUBJECT: T- Mobile Antenna Relocation Application (SC09955A)
Antenna Site: 5475 Rocklin Road, Loomis, CA
Placer County APNs 045-150-036 & 045-160-053

Dear Mr. Angelocci:

This letter is to provide background information regarding the T-Mobile Conditional Use Permit Application for a new monopole to be placed on Placer County Water Agency Land in the Town of Loomis; specifically, the need to remove antennas currently attached to the water tank at this location and relocate them to a new monopole to be built outside of PCWA's security fencing.

In 2002 PCWA was required to comply with the federal "Public Health Security and Bioterrorism Preparedness and Response Act" implemented by the Environmental Protection Agency. This law required this Agency to assess the vulnerability of its drinking water system from potential terrorist threats and to develop a plan, based on this assessment, to enhance water security. Completed by PCWA in 2003 this confidential plan identified access for wireless communication providers within secured areas as a significant potential problem.

In compliance with PCWA's security plan, this Agency no longer enters into leases that allow non-PCWA employees into these protected areas. While all future leases must now be located on land outside of security fencing, PCWA must still contend with access privileges under existing cellular leases until they expire.

T-Mobile's lease at the Rocklin Road water tank was executed in 1992 and for over ten years PCWA Staff have escorted the cellular carrier's employees into this secured area whenever access is requested. This is inefficient for PCWA staff and is not cost a cost-effective approach for PCWA's water customers. In recent discussions with T-Mobile an agreement has been reached for their antennas to be removed from PCWA's tank and relocated to a free-standing

monopole located outside of the tanks security fencing, subject to the Town of Loomis' approval. This project will eliminate the need and cost to escort T-Mobile employees through a secured area.

To protect water quality and maintain proper security at the Rocklin Avenue tank site, Placer County Water Agency requests the Town of Loomis to approve T-Mobile's application for a Conditional Use Permit to establish a monopole for its antennas, to be located outside of this tank sites' secure area.

Please feel free to contact me at (530) 823-4883, if you any questions or concerns regarding this relocation request.

Sincerely,

A handwritten signature in blue ink that reads "Brian C. Martin". The signature is fluid and cursive, with the first name "Brian" and last name "Martin" clearly legible, and "C." as a middle initial.

Brian C. Martin, P.E.
Director of Technical Services



PLACER COUNTY WATER AGENCY
OFFICE 1-957
BUSINESS CENTER PHONE
144 Ferguson Road 530.823.4850
MAIL 800.464.0030
P.O. Box 6570 WWW.PCWA.NET
Auburn, CA 95604

January 11, 2012

Timothy Miller
SiteCom, Inc.
25 Cadillac Drive, Ste 103
Sacramento, CA 95825

RECEIVED

MAY 30 2013

TOWN OF LOOMIS

SUBJECT: Your File SC09955A
5475 Rocklin Road, Loomis, CA
APN 045-150-036 & 045-160-053

Dear Mr. Miller:

This letter is to confirm our conversation regarding T-Mobile's communications lease at the Rocklin Road property owned by Placer County Water Agency in Loomis, California. Specifically, the need to remove the antennas attached to this water tank. To protect water quality and maintain proper security, this Agency no longer enters into leases that permit antennas to be attached directly to water tanks.

The Rocklin Road water tank is scheduled to be repainted in the next few months and we are requesting that T-Mobile remove its existing antennas from this tank and relocate them to another mutually acceptable location within PCWA lands.

Please feel free to contact me at (530) 823-4881, if you any questions or concerns regarding this relocation request.

Sincerely,

Lloyd Wagstaff
Real Property Specialist

LW:kc

z:sec\kc\jan12\cor

SITE PLAN ELEVATION DRAWINGS



Google earth

feet 100
meters 30



13-09 T-Mobile CUP + VAR, 5475 Rocklin Rd. Loomis, CA
45' monopole location

GENERAL NOTES

1. DRAWINGS ARE NOT TO BE SEEN WITHOUT THE GENERAL NOTES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
2. PRIOR TO THE BEGINNING OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
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11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
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14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

VICINITY MAP



LOOMIS, CA

CONTACTS

CONTRACTOR:
T-MOBILE WEST LLC
1750 GARDEN STREET
SACRAMENTO, CALIFORNIA 95811
(916) 441-7400

OWNER:
SIERRA COLLEGE
1750 GARDEN STREET
SACRAMENTO, CALIFORNIA 95811
(916) 441-7400

DESIGN CRITERIA

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

DESIGN CRITERIA

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF PUBLIC WORKS, 2003 EDITION, AS AMENDED BY THE LATEST REVISIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

PROJECT SUMMARY

PROJECT NAME: SIERRA COLLEGE BLVD
PROJECT LOCATION: SIERRA COLLEGE BLVD, LOOMIS, CA
PROJECT DESCRIPTION: T-MOBILE WEST LLC
PROJECT OWNER: SIERRA COLLEGE
PROJECT CONTRACTOR: T-MOBILE WEST LLC
PROJECT DESIGNER: T-MOBILE WEST LLC
PROJECT DATE: 10/1/2013

SHEET INDEX

T	TITLE SHEET
C-1	SURVEY
A-1	OVERALL SITE PLAN
A-1.1	ENLARGED SITE PLAN
A-1.2	ENLARGED WATERTANK PLAN
A-2	ELEVATION SHEET
A-2.1	ELEVATION SHEET
A-3	FENCE DETAILS SHEET
A-3.1	FENCE DETAILS SHEET

SCOPE OF WORK

T-MOBILE PROPOSES REMOVE ALL ANTENNAS FROM (C) WATER TANK AND REPLACE WITH NEW ANTENNAS MOORE IN NEW WATERTANK. ALSO REMOVE ALL COAX FROM UIC COUGITS TO WATER TANK AND ROUTE TO NEW WATERTANK.

T-MOBILE	DETAILS	DATE
PROPERTY		
CONST.		
CONST.		
PLT		

SITE ADDRESS

1750 GARDEN STREET
LOOMIS, CA 95668

T-Mobile
T-MOBILE WEST LLC
1750 GARDEN STREET, SUITE 101
LOOMIS, CA 95668
Phone: (916) 441-7400
E-Mail: info@t-mobile.com

Peak Site-Com
1750 GARDEN STREET, SUITE 101
LOOMIS, CA 95668
Phone: (916) 441-7400
E-Mail: info@peak-site.com

The owner, engineer, architect, and the contractor shall be responsible for obtaining all necessary permits and approvals from the local, state and federal agencies. The contractor shall be responsible for obtaining all necessary permits and approvals from the local, state and federal agencies.

REVISIONS	DATE	BY
1. NEW CONST. SHEET	10-1-13	BL
2. NEW CONST. SHEET	10-1-13	BL

PROJECT
SIERRA COLLEGE BLVD

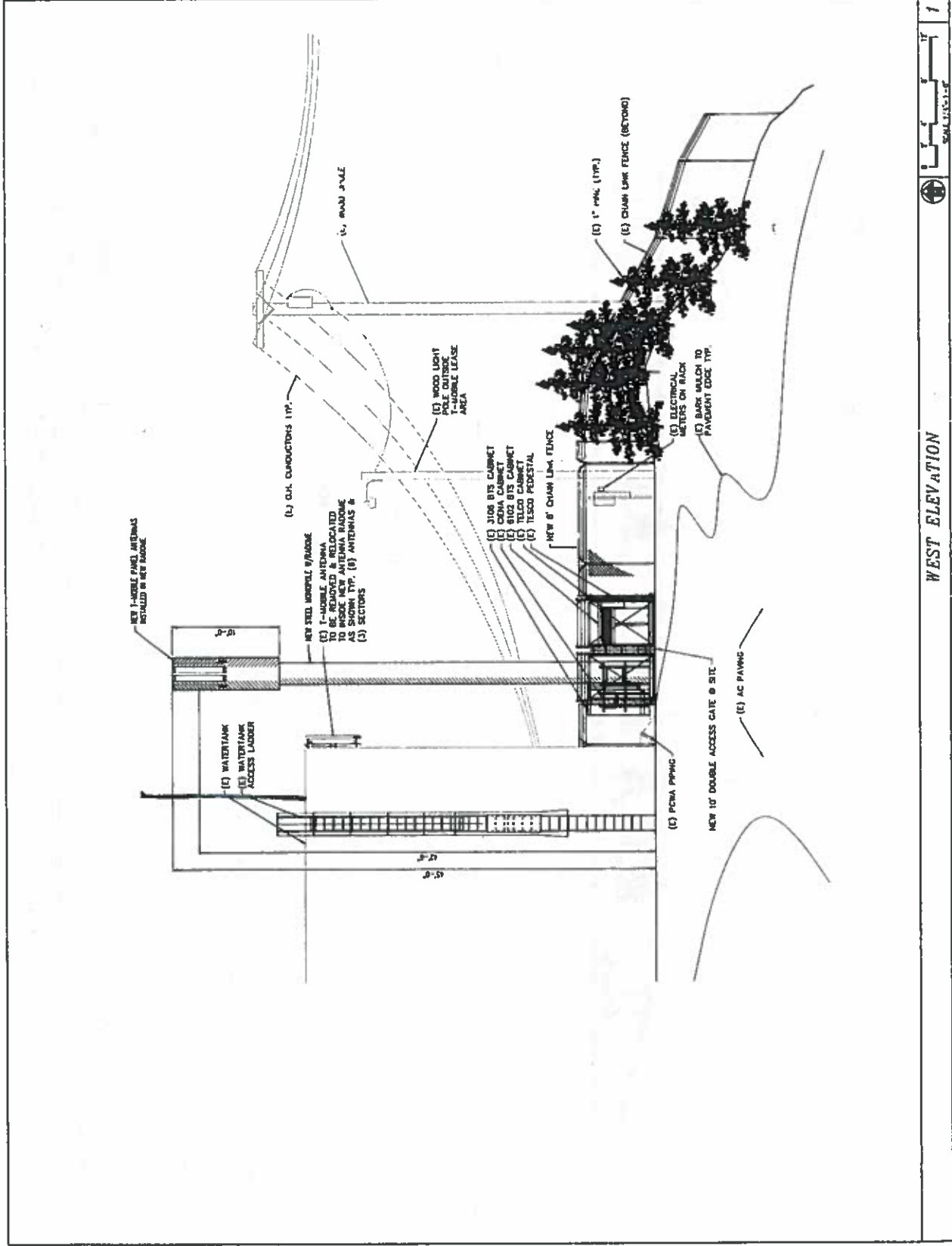
TITLE SHEET

DATE	BY	DATE	BY
10-1-13	BL	10-1-13	BL
10-1-13	BL	10-1-13	BL

RECEIVED

MAY 30 2013

TOWN OF LOOMIS



WEST ELEVATION



SITE ADDRESS
 5790 MARINA BLVD
 LINDSEY, CA 95559

T-Mobile
 T-MOBILE WEST LLC
 10000 N. 10th Street, Suite 100
 Phoenix, AZ 85020

Peek Site-Com
 12832 E. 1st Ave, Suite 101
 Aurora, Colorado 80012
 Phone: (303) 685-6160
 E-mail: info@peeksite.com

This drawing is a preliminary design. It is not intended to be used for construction. It is subject to change without notice. The client is responsible for obtaining all necessary permits and approvals. The designer is not responsible for any errors or omissions in this drawing.

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	REV. 001: 001	11-11-11	RL
2	REV. 002: 002	11-11-11	RL

SIERRA COLLEGE BLVD
ELEVATION

PROJECT
 SHEET NO. **A-2**
 OF **2**

DATE
 11-11-11

DESIGNED BY
 RL

CHECKED BY
 RL

APPROVED BY
 RL

Monopole Elevation

SITE ADDRESS
 12532 Egan Ave, Suite 101
 Auburn, California 95602
 Phone (530) 885-8100
 E-Mail info@peeksite.com

T-Mobile
 T-MOBILE WEST LLC
 12532 Egan Ave, Suite 101
 Auburn, California 95602
 Phone (530) 885-8100
 E-Mail info@peeksite.com

Peek Site-Com
 12532 Egan Ave, Suite 101
 Auburn, California 95602
 Phone (530) 885-8100
 E-Mail info@peeksite.com

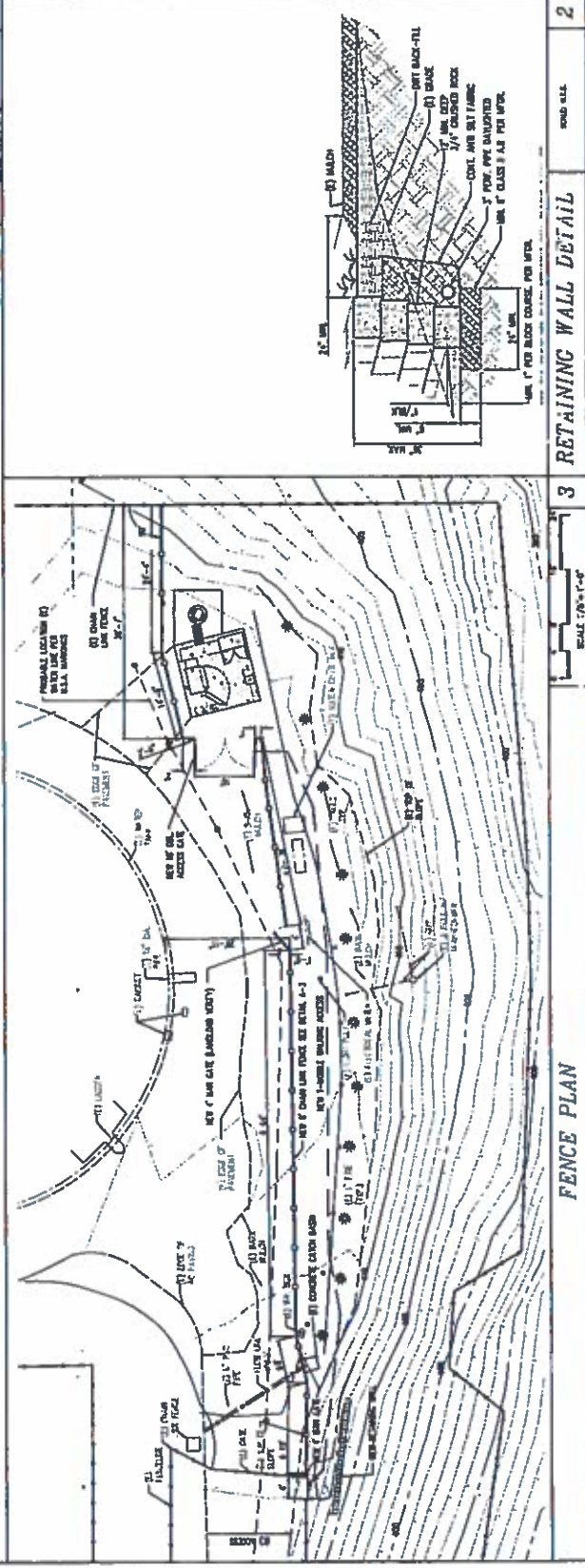
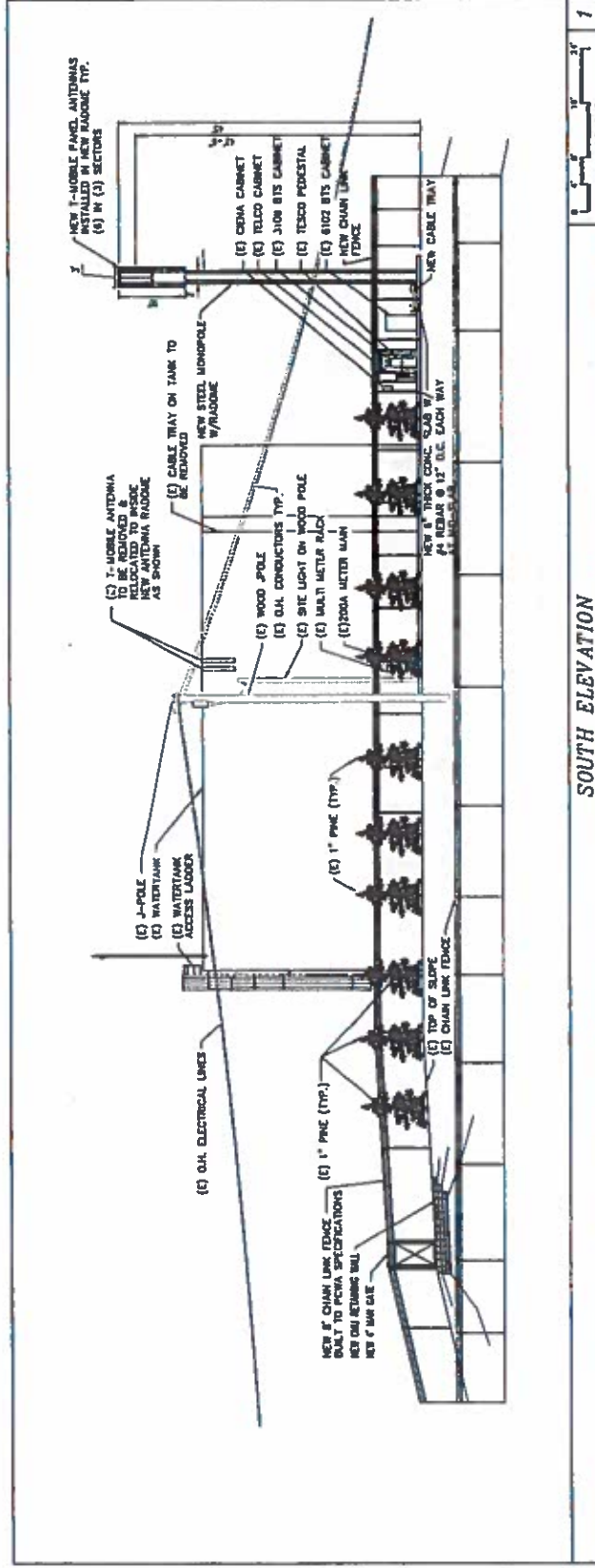
See drawing for details. All dimensions are to the centerline of the structure unless otherwise noted. All dimensions are in feet and inches.

REVISIONS

NO.	DATE	BY	REVISION
1	08-01-03	WLT	ISSUED FOR PERMIT
2	08-01-03	WLT	ISSUED FOR PERMIT

**SIRRA COLLEGE BLVD
ELEVATION**

NO.	DATE	BY	REVISION
1	08-01-03	WLT	ISSUED FOR PERMIT
2	08-01-03	WLT	ISSUED FOR PERMIT



Monopole Elevation

1999 1998 1997 1996 1995 1994 1993 1992 1991 1990 1989 1988 1987 1986 1985 1984 1983 1982 1981 1980 1979 1978 1977 1976 1975 1974 1973 1972 1971 1970 1969 1968 1967 1966 1965 1964 1963 1962 1961 1960 1959 1958 1957 1956 1955 1954 1953 1952 1951 1950 1949 1948 1947 1946 1945 1944 1943 1942 1941 1940 1939 1938 1937 1936 1935 1934 1933 1932 1931 1930 1929 1928 1927 1926 1925 1924 1923 1922 1921 1920 1919 1918 1917 1916 1915 1914 1913 1912 1911 1910 1909 1908 1907 1906 1905 1904 1903 1902 1901 1900 1899 1898 1897 1896 1895 1894 1893 1892 1891 1890 1889 1888 1887 1886 1885 1884 1883 1882 1881 1880 1879 1878 1877 1876 1875 1874 1873 1872 1871 1870 1869 1868 1867 1866 1865 1864 1863 1862 1861 1860 1859 1858 1857 1856 1855 1854 1853 1852 1851 1850 1849 1848 1847 1846 1845 1844 1843 1842 1841 1840 1839 1838 1837 1836 1835 1834 1833 1832 1831 1830 1829 1828 1827 1826 1825 1824 1823 1822 1821 1820 1819 1818 1817 1816 1815 1814 1813 1812 1811 1810 1809 1808 1807 1806 1805 1804 1803 1802 1801 1800 1799 1798 1797 1796 1795 1794 1793 1792 1791 1790 1789 1788 1787 1786 1785 1784 1783 1782 1781 1780 1779 1778 1777 1776 1775 1774 1773 1772 1771 1770 1769 1768 1767 1766 1765 1764 1763 1762 1761 1760 1759 1758 1757 1756 1755 1754 1753 1752 1751 1750 1749 1748 1747 1746 1745 1744 1743 1742 1741 1740 1739 1738 1737 1736 1735 1734 1733 1732 1731 1730 1729 1728 1727 1726 1725 1724 1723 1722 1721 1720 1719 1718 1717 1716 1715 1714 1713 1712 1711 1710 1709 1708 1707 1706 1705 1704 1703 1702 1701 1700 1699 1698 1697 1696 1695 1694 1693 1692 1691 1690 1689 1688 1687 1686 1685 1684 1683 1682 1681 1680 1679 1678 1677 1676 1675 1674 1673 1672 1671 1670 1669 1668 1667 1666 1665 1664 1663 1662 1661 1660 1659 1658 1657 1656 1655 1654 1653 1652 1651 1650 1649 1648 1647 1646 1645 1644 1643 1642 1641 1640 1639 1638 1637 1636 1635 1634 1633 1632 1631 1630 1629 1628 1627 1626 1625 1624 1623 1622 1621 1620 1619 1618 1617 1616 1615 1614 1613 1612 1611 1610 1609 1608 1607 1606 1605 1604 1603 1602 1601 1600 1599 1598 1597 1596 1595 1594 1593 1592 1591 1590 1589 1588 1587 1586 1585 1584 1583 1582 1581 1580 1579 1578 1577 1576 1575 1574 1573 1572 1571 1570 1569 1568 1567 1566 1565 1564 1563 1562 1561 1560 1559 1558 1557 1556 1555 1554 1553 1552 1551 1550 1549 1548 1547 1546 1545 1544 1543 1542 1541 1540 1539 1538 1537 1536 1535 1534 1533 1532 1531 1530 1529 1528 1527 1526 1525 1524 1523 1522 1521 1520 1519 1518 1517 1516 1515 1514 1513 1512 1511 1510 1509 1508 1507 1506 1505 1504 1503 1502 1501 1500 1499 1498 1497 1496 1495 1494 1493 1492 1491 1490 1489 1488 1487 1486 1485 1484 1483 1482 1481 1480 1479 1478 1477 1476 1475 1474 1473 1472 1471 1470 1469 1468 1467 1466 1465 1464 1463 1462 1461 1460 1459 1458 1457 1456 1455 1454 1453 1452 1451 1450 1449 1448 1447 1446 1445 1444 1443 1442 1441 1440 1439 1438 1437 1436 1435 1434 1433 1432 1431 1430 1429 1428 1427 1426 1425 1424 1423 1422 1421 1420 1419 1418 1417 1416 1415 1414 1413 1412 1411 1410 1409 1408 1407 1406 1405 1404 1403 1402 1401 1400 1399 1398 1397 1396 1395 1394 1393 1392 1391 1390 1389 1388 1387 1386 1385 1384 1383 1382 1381 1380 1379 1378 1377 1376 1375 1374 1373 1372 1371 1370 1369 1368 1367 1366 1365 1364 1363 1362 1361 1360 1359 1358 1357 1356 1355 1354 1353 1352 1351 1350 1349 1348 1347 1346 1345 1344 1343 1342 1341 1340 1339 1338 1337 1336 1335 1334 1333 1332 1331 1330 1329 1328 1327 1326 1325 1324 1323 1322 1321 1320 1319 1318 1317 1316 1315 1314 1313 1312 1311 1310 1309 1308 1307 1306 1305 1304 1303 1302 1301 1300 1299 1298 1297 1296 1295 1294 1293 1292 1291 1290 1289 1288 1287 1286 1285 1284 1283 1282 1281 1280 1279 1278 1277 1276 1275 1274 1273 1272 1271 1270 1269 1268 1267 1266 1265 1264 1263 1262 1261 1260 1259 1258 1257 1256 1255 1254 1253 1252 1251 1250 1249 1248 1247 1246 1245 1244 1243 1242 1241 1240 1239 1238 1237 1236 1235 1234 1233 1232 1231 1230 1229 1228 1227 1226 1225 1224 1223 1222 1221 1220 1219 1218 1217 1216 1215 1214 1213 1212 1211 1210 1209 1208 1207 1206 1205 1204 1203 1202 1201 1200 1199 1198 1197 1196 1195 1194 1193 1192 1191 1190 1189 1188 1187 1186 1185 1184 1183 1182 1

T-MOBILE WEST LLC
1700 Corporate Oaks Drive, Suite 100 • Sacramento, CA 95833

17852 Earhart Ave., Suite 101
Auburn, California 95602

Phone (530) 885-6160
E-Mail: info@earthlink.com

The following information is for your reference only. It is not intended to be used as a substitute for professional advice. Please consult your physician or other qualified health care provider for more information.

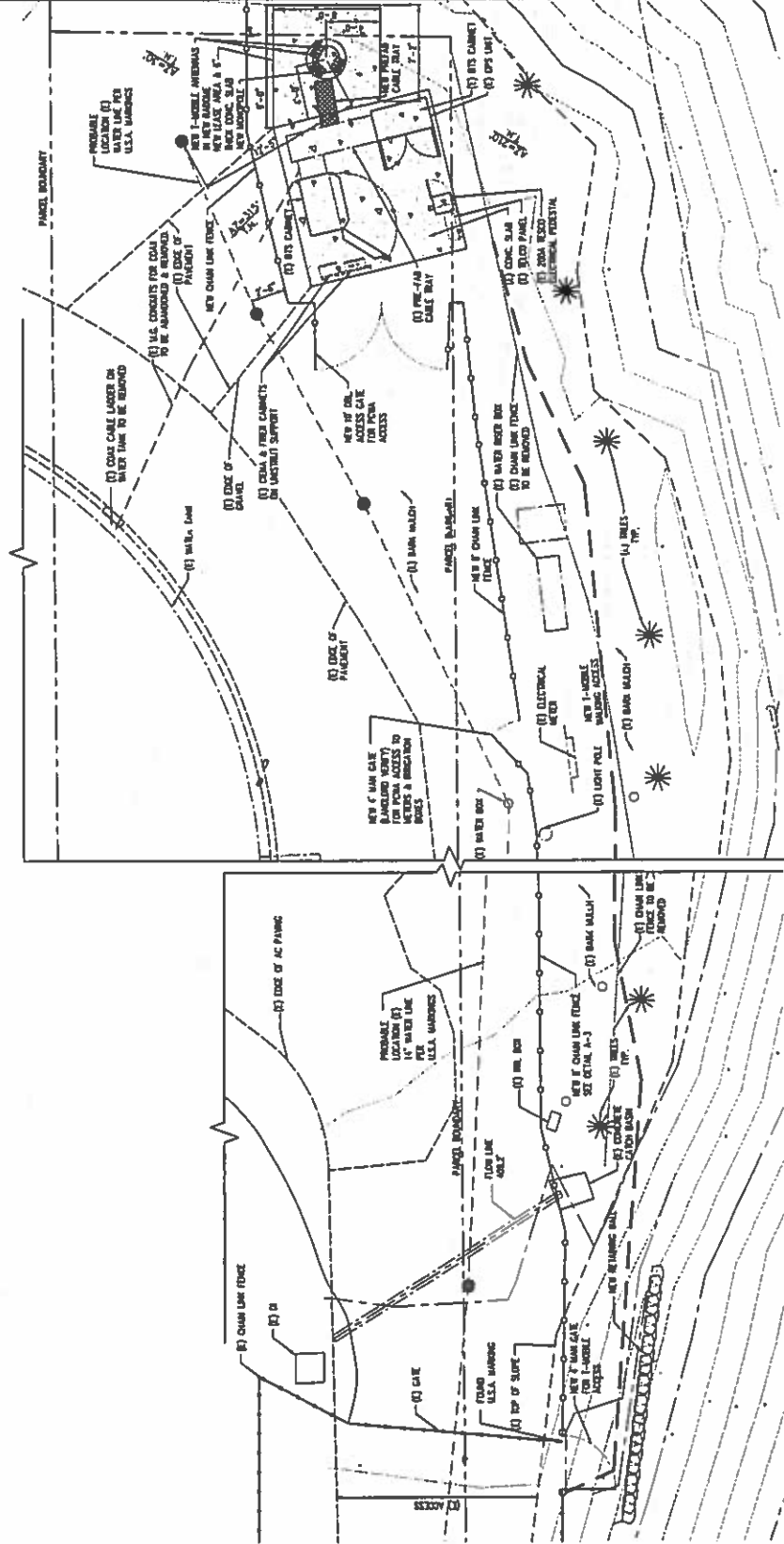
REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	ISS CODES INC.'S	1-16-13	BA
2	ISS CODES INC.'S	6-24-13	WT

SIERRA COLLEGE BLVD

SITE PLAN

[illegible]

NOTE:
ALL EXISTING ANTENNAS & COAX CABLE MOUNTING
HARDWARE TO BE REMOVED, EXCEPT BRACKETTS ATTACHED
DIRECTLY TO THE TOWER. TO THE LANDING'S SATISFACTION
& PARTS RELOADED UP AS REQUIRED.



ENLARGED SITE PLAN



SITE ADDRESS
 5700 N. 10th Ave.
 Suite 100
 Aurora, CO 80010

T-Mobile
 T-MOBILE WEST LLC
 1700 Broadway, Suite 1000, Denver, CO 80202
 Phone (303) 865-8180
 E-Mail: info@tmwest.com

Peek Site-Com
 13853 Eastport Ave., Suite 101
 Auburn, California 95602
 Phone (530) 865-8180
 E-Mail: info@peeksitecom.com

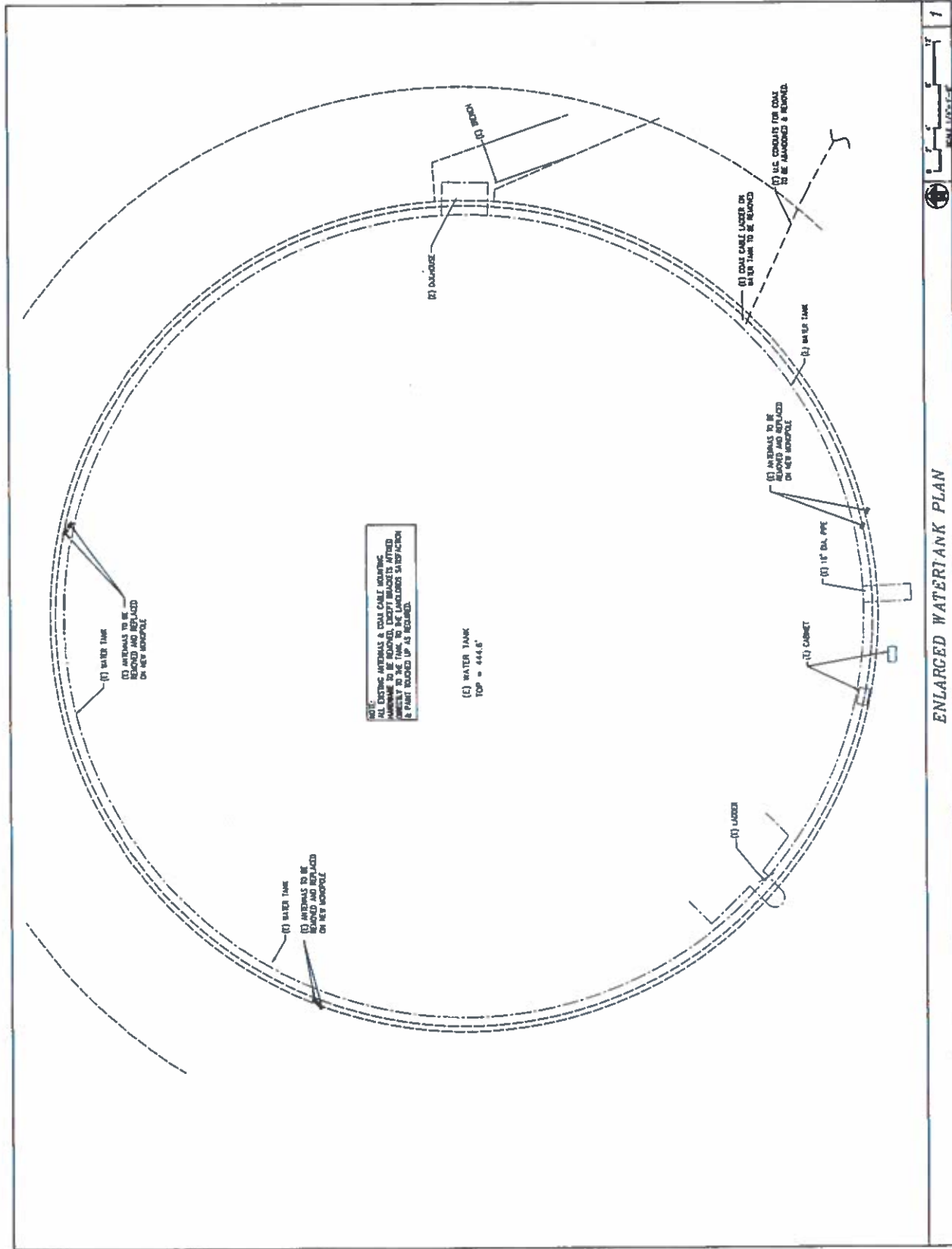
This drawing is a preliminary drawing and is not to be used for construction purposes. It is subject to change without notice. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	ISSUE CONCEPTS	9-11-13	ALL
2	ISSUE CONCEPTS	9-24-13	WPT

SIERRA COLLEGE BLVD
WATERTANK PLAN

PROJECT
 NAME: SIERRA COLLEGE BLVD
 LOCATION: 1000 N. 10th Ave., Aurora, CO 80010
 SCALE: AS SHOWN
 DATE: 9-11-13
 DRAWN BY: WPT
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]
 SHEET: A-1.1 OF 1



[illegible]

STY: MATHS: 600
UNIT: 10: 1000

1700 Broadway, Suite 1000, New York, NY 10019

...the ...

SIERRA COLLEGE BLVD

SEARCHED	INDEXED	SERIALIZED	FILED
MAY 1968	MAY 1968	MAY 1968	MAY 1968
FBI - NEW YORK	FBI - NEW YORK	FBI - NEW YORK	FBI - NEW YORK

PCWA FENCING STANDARDS

SECTION 0444
PLASTER COUNTY WATER AGENT
1417 EMISSION ROAD
JACKSON, CA 95021
CHINA JUNG FENCING

PART 1 - GENERAL

1.01 DESCRIPTION

- A. Provide new chain-link fencing around the project site, as the dependent indicated on the drawings.
- B. Provide 100% chain-link fencing around the project site, as the dependent indicated on the drawings.
- C. Provide temporary fencing at the project site, as the dependent indicated on the drawings.
- D. Provide temporary fencing at the project site, as the dependent indicated on the drawings.

1.02 SUBMITTALS

- A. Submit drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- B. Submit drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- C. Submit drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- D. Submit drawings and product data. Submit drawings and product data for the fence, posts, and hardware.

1.03 QUALITY ASSURANCE

- A. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- B. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- C. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- D. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.

1.04 INSTALLATION

- A. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- B. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- C. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- D. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.

1.05 MAINTENANCE

- A. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- B. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- C. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- D. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.

1.06 FINISHES

- A. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- B. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- C. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- D. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.

1.07 ACCESSORIES

- A. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- B. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- C. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- D. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.

1.08 SPECIAL NOTES

- A. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- B. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- C. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- D. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.

1.09 SPECIAL NOTES

- A. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- B. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- C. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- D. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.

1.10 SPECIAL NOTES

- A. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- B. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- C. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.
- D. Provide drawings and product data. Submit drawings and product data for the fence, posts, and hardware.

SITE ADDRESS

1700 BROADWAY
DALLAS, TX 75201

T-Mobile
T-MOBILE WEST LLC
12501 East 1st Ave, Suite 101
Aurora, California 95002
Phone (530) 885-8100
E-Mail: info@t-mobile.com

Peek Site-Com
12501 East 1st Ave, Suite 101
Aurora, California 95002
Phone (530) 885-8100
E-Mail: info@peeksite.com

See drawing for details. All dimensions are to the centerline of the structure. All dimensions are to the centerline of the structure. All dimensions are to the centerline of the structure.

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	SEE CORRECTION	1-10-13	EL

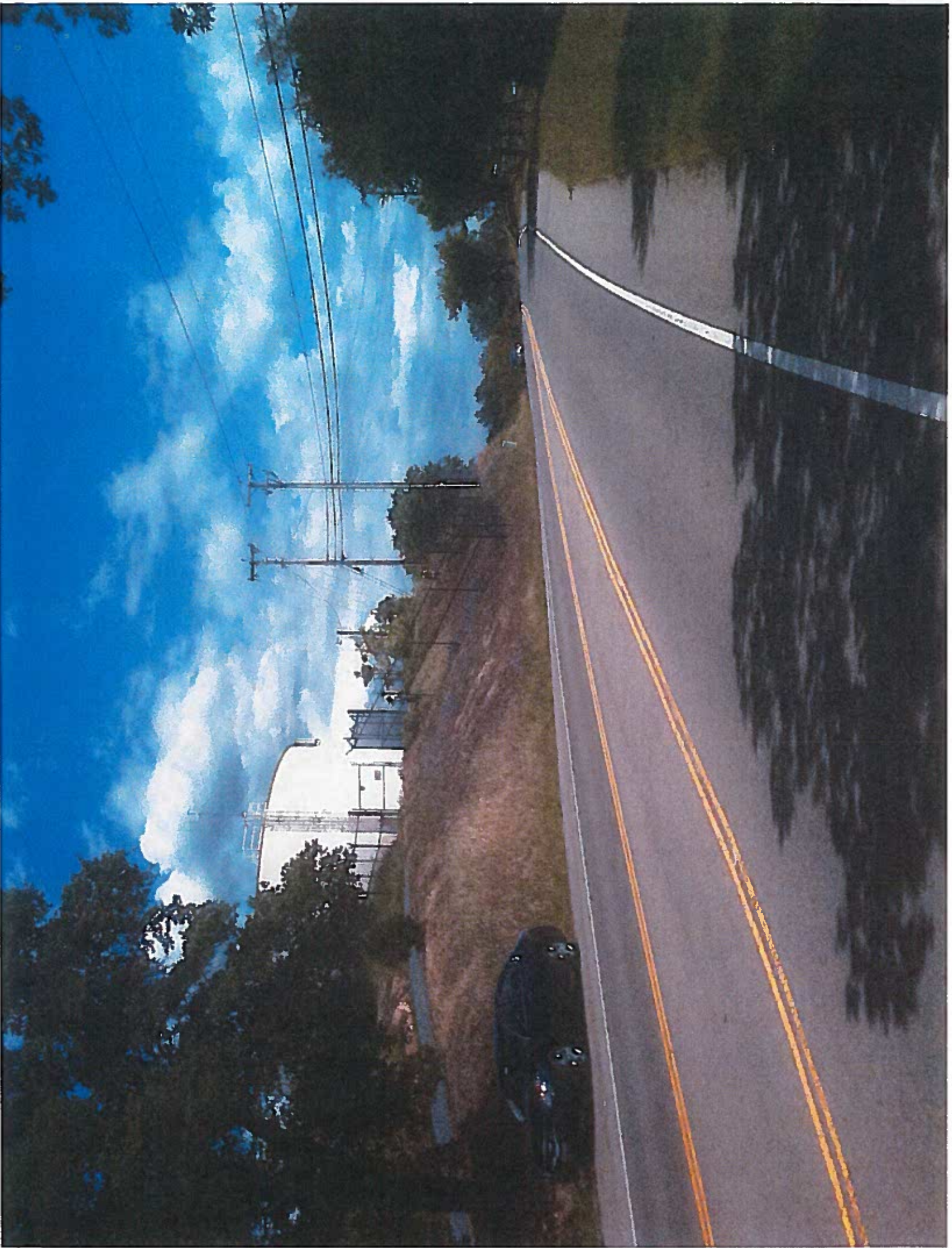
SIERRA COLLEGE BLVD

DETAILS

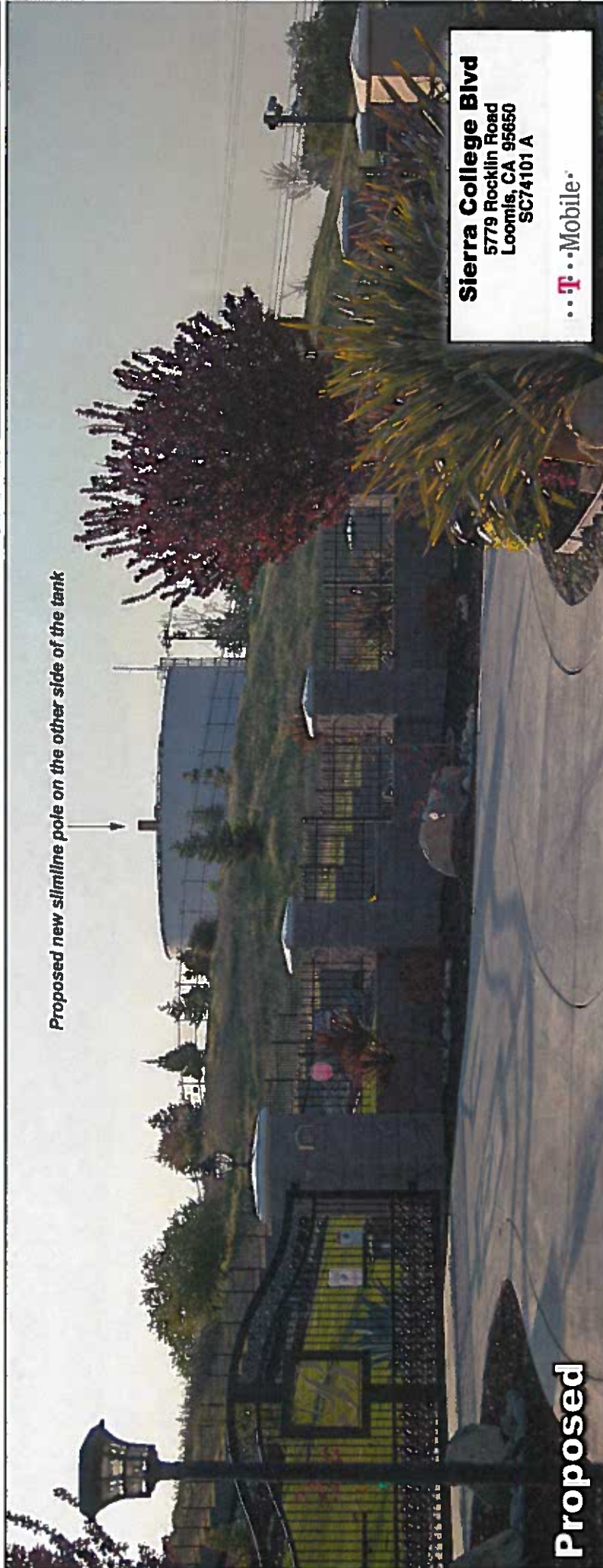
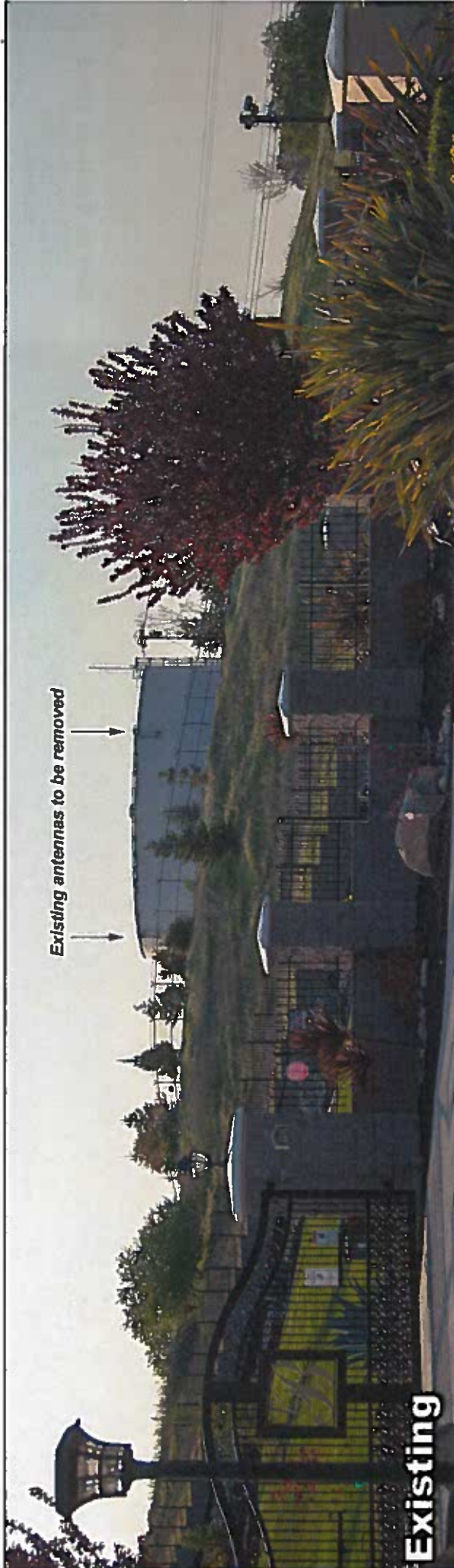
PROJECT NO.	100-1000
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PROJECT LOCATION	100-1000
PROJECT DATE	1-10-13
PROJECT BY	EL
PROJECT FOR	EL
PROJECT NO.	100-1000
PROJECT NAME	SIERRA COLLEGE BLVD
PROJECT LOCATION	100-1000
PROJECT DATE	1-10-13
PROJECT BY	EL
PROJECT FOR	EL

PCWA FENCING STANDARDS

PHOTO SIMULATIONS



Photosimulation of view looking southeast from Poppy Ridge Court, the driveway nearest the site.



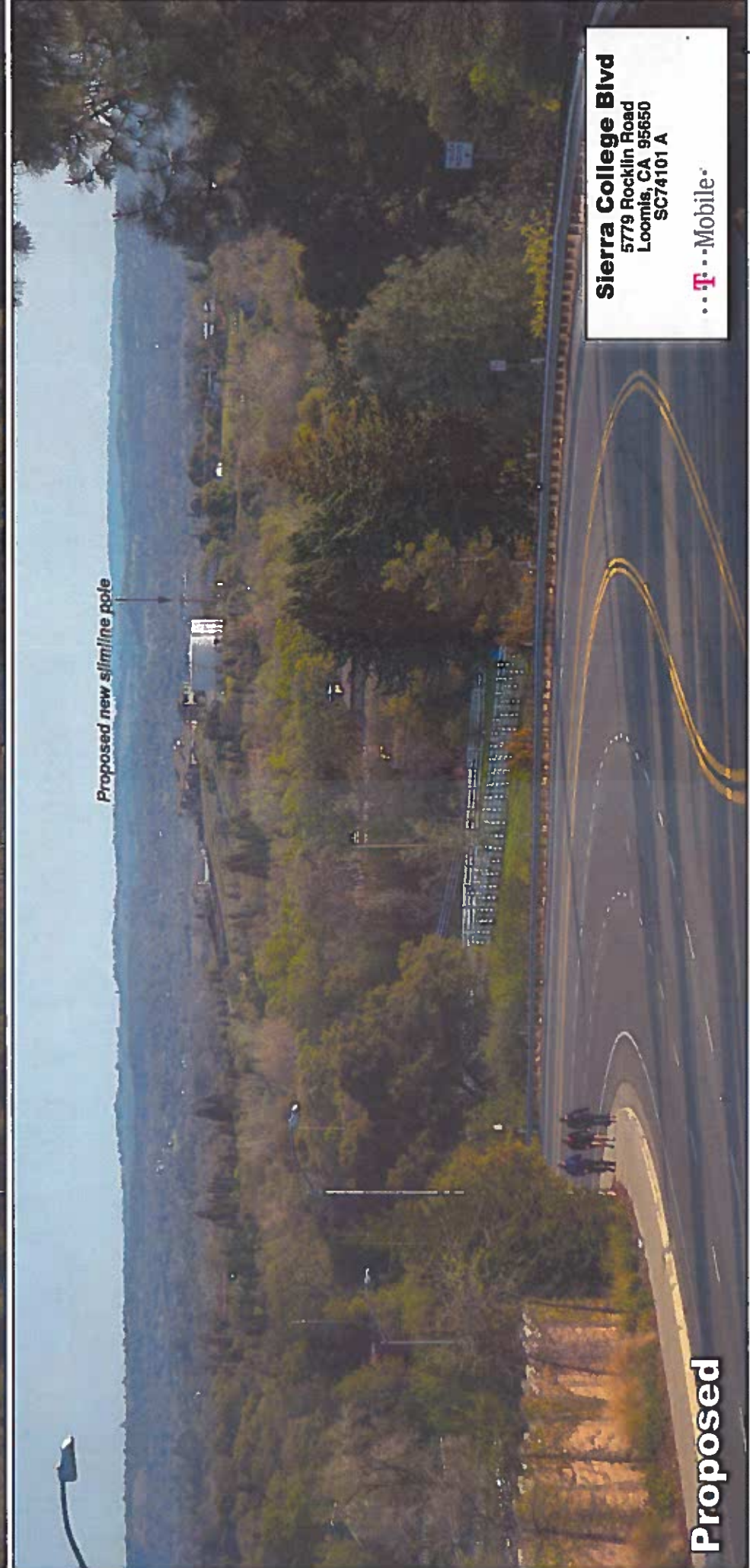
Sierra College Blvd
5779 Rocklin Road
Loomis, CA 95650
SC74101 A

..T..Mobile..

Photosimulation of telephoto view looking northeast from Rocklin Ridge, along Sierra College Blvd.



Existing

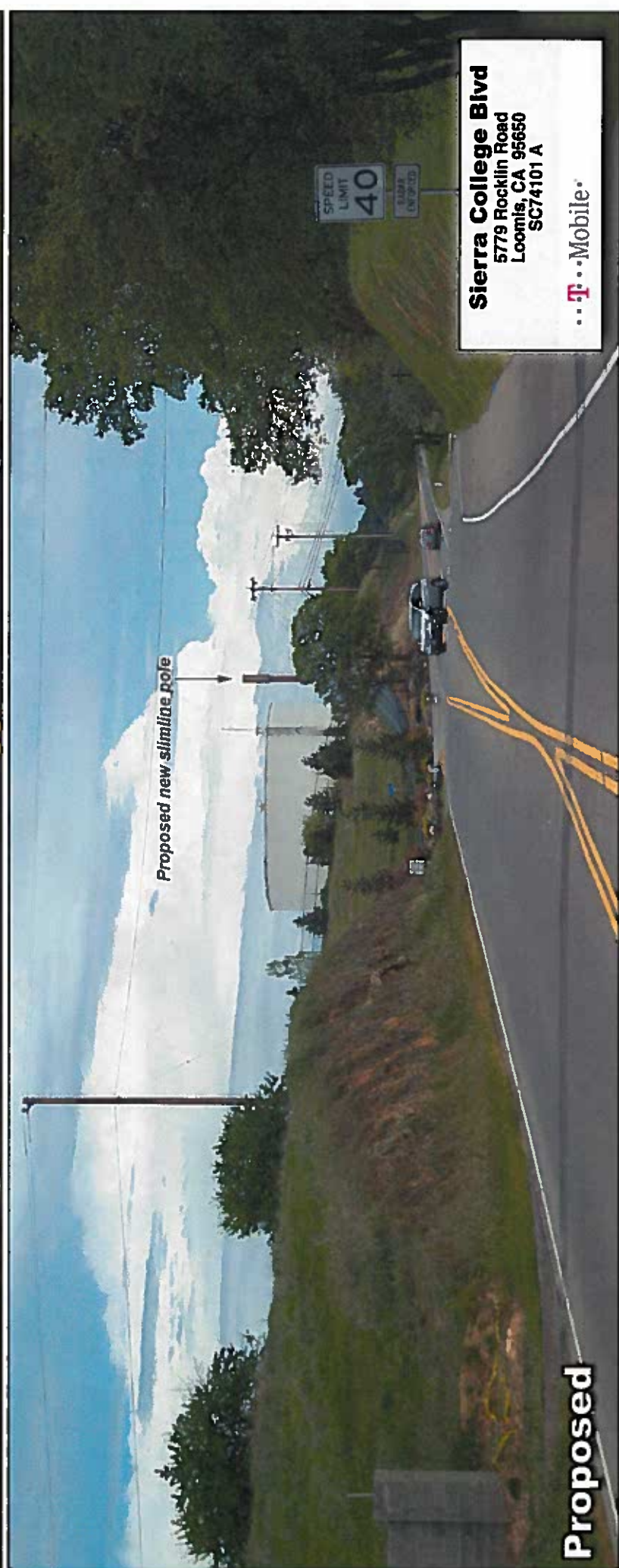
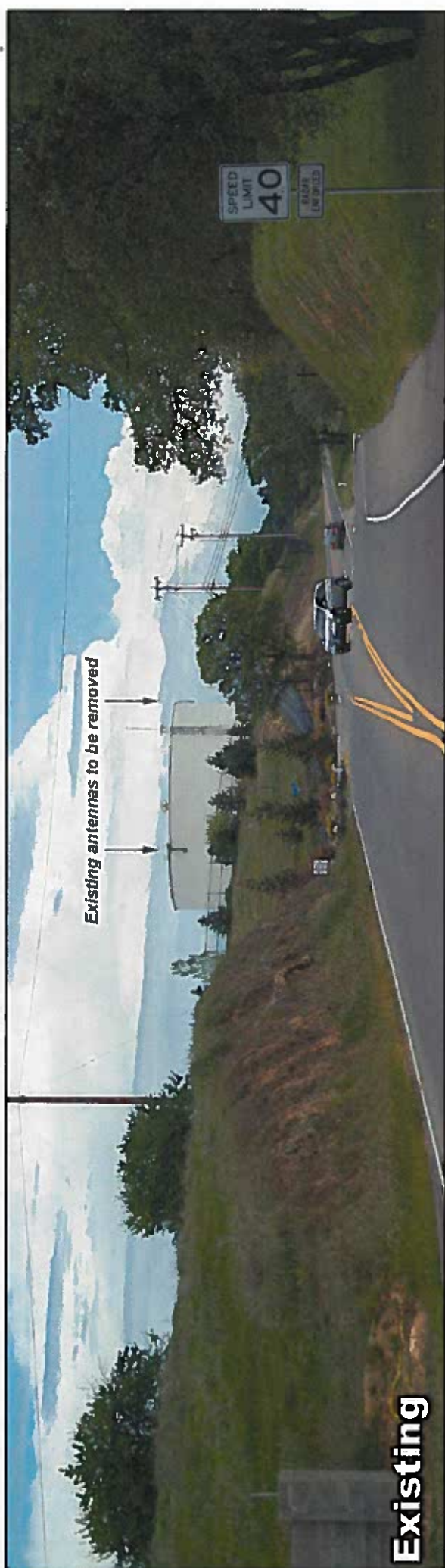


Proposed

Sierra College Blvd
5779 Rocklin Road
Loomis, CA 95650
SC74101 A

...T...Mobile...

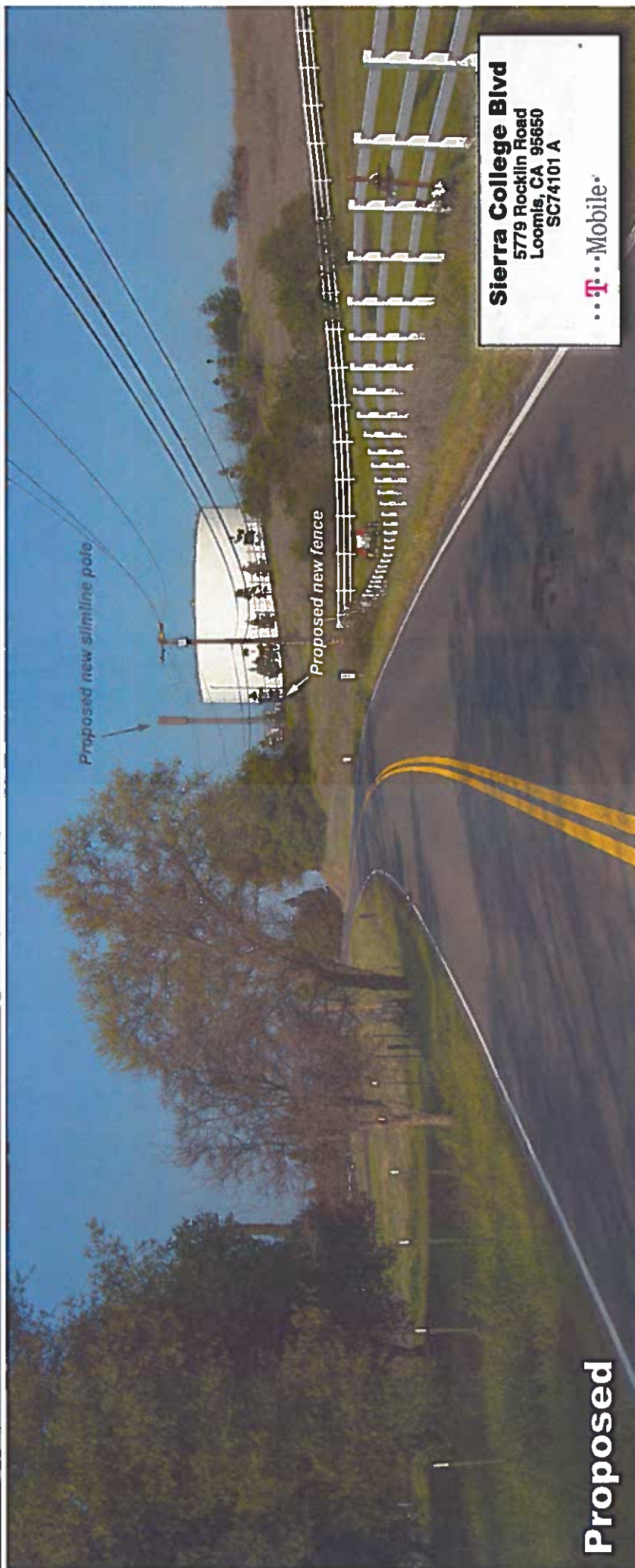
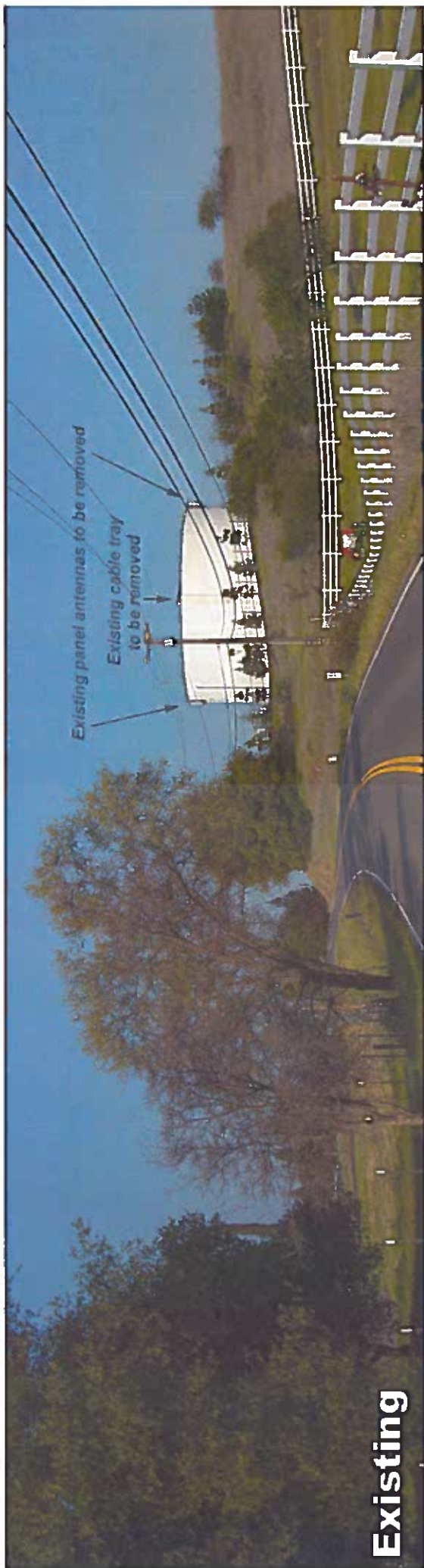
Photosimulation of view looking east along eastbound Rocklin Road, just west of St Francis Woods.

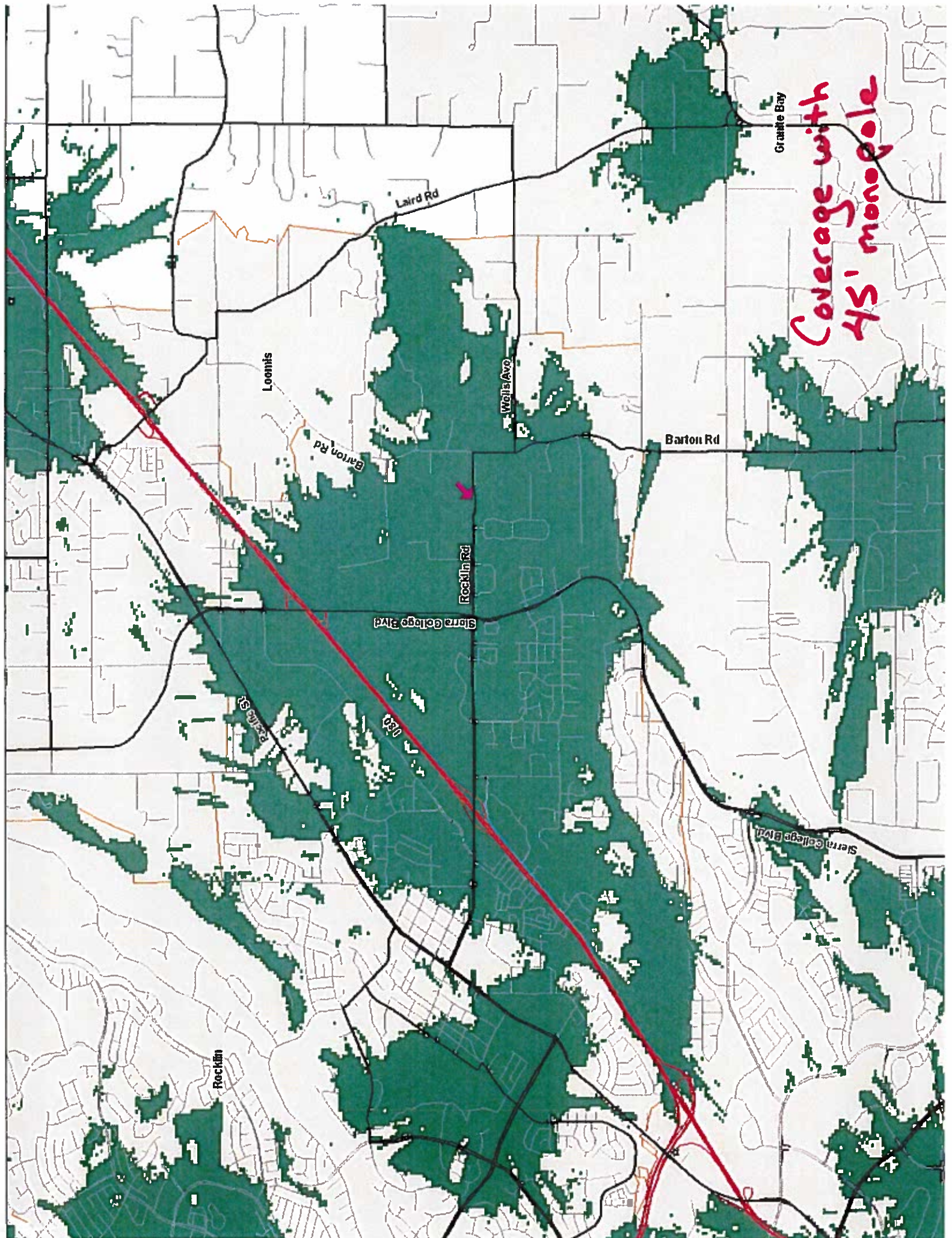


Sierra College Blvd
5779 Rocklin Road
Loomis, CA 95650
SC74101 A

..T..Mobile..

Photosimulation of view looking west along westbound Rocklin Road, just west of Barton Road.





Coverage with
45' monopole

Atia sparsa
glogonin 124