

Staff Report

TO: Town of Loomis Planning Commission Members
FROM: Mary Beth Van Voorhis, Planning Director
DATE: March 26, 2019
RE: CONDITIONAL USE PERMIT – APPLICATION #18-13
5397 BRACE ROAD (APN 044-123-009), LOOMIS, CA 95650
TINY TOES ACADEMY PRESCHOOL/DAYCARE

Recommendation

1. Conduct a public hearing and receive public input; and
2. Adopt the recommended Notice of Exemption as per the requirements of the California Environmental Quality Act (CEQA); and
3. Adopt Resolution #19-** approving Conditional Use Permit #18-13 for Nicholas & Amanda Bair to operate Tiny Toes Academy Preschool/Daycare subject to the findings in Exhibit A and the recommended conditions of approval as outlined in Exhibit B.

Issue Statement and Discussion

Conditional Use Permit Application #18-13 proposes to construct and operate a preschool/daycare facility in an existing/vacant 2,689 sq.ft. residence on a one (1) acre (43,560 sq.ft.) parcel at 5397 Brace Road, Loomis, CA 95650. The Town of Loomis Zoning Code allows for this type of use in a residential zone with an approved Use Permit.

The interior of the existing 2,689 sq.ft. single family residence will be remodeled to provide four (4) classrooms, including handicap accessibility, updated kitchen facilities and bathrooms suitable for a maximum of forty (40) children and six (6) teachers. Exterior improvements include minor grading to provide required parking (pursuant to Town of Loomis Code), a new gated entrance, and landscape improvements. The existing natural vegetation at the northeast portion of the parcel will remain natural (no proposed improvements).

The existing one acre parcel site (Figure 1-Vicinity Map) consists of one parcel, with an existing/vacant single family residence with vacant (undeveloped) land (Figure 2-Aerial View) to the north and east on the "L" shaped lot. The existing site north and east portion of the parcel is undeveloped with several stands of oak and other trees (Figure 3-Topographic Map) and is directly south of the floodway and east of the 100 year floodplain (Figure 4-Floodway/Floodplain Map). Proposed Parcel 1 is directly accessed from Brace Road and can be served by all public utilities in front of the parcel within Brace Road. The four page Improvement Plans are shown in Figure 5.

Figure 1 – Vicinity Map

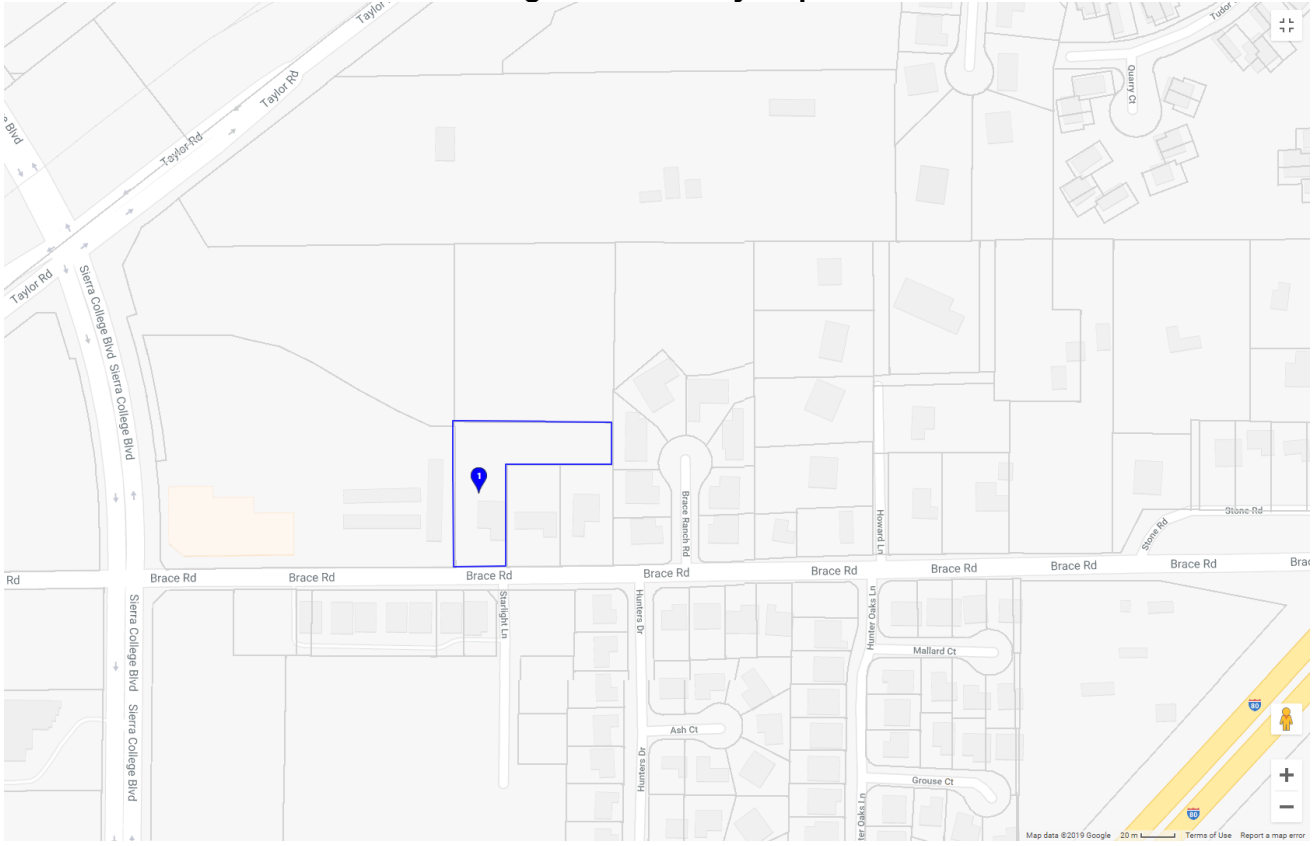


Figure 2 – Aerial View – Site Specific

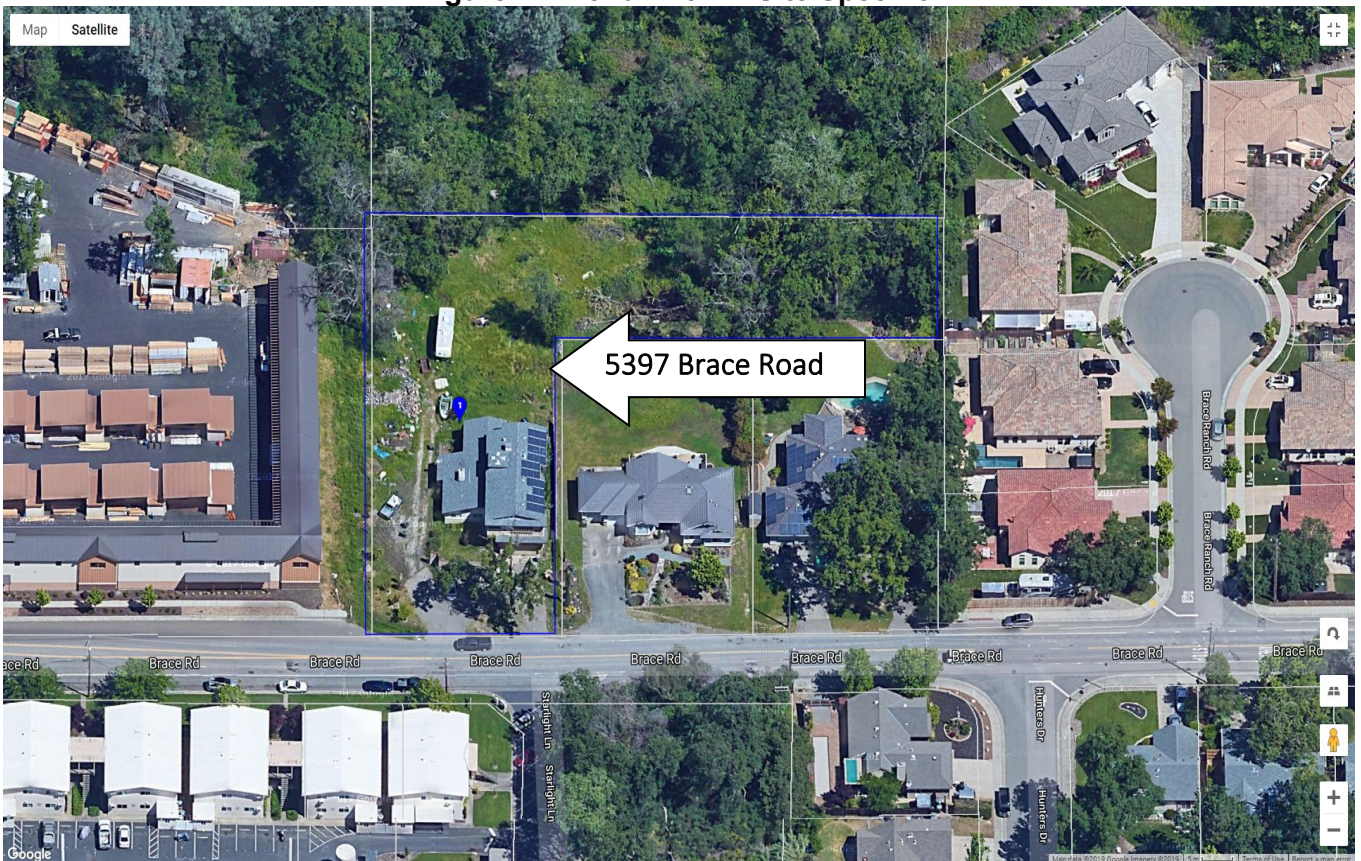


Figure 3 – Topographic View

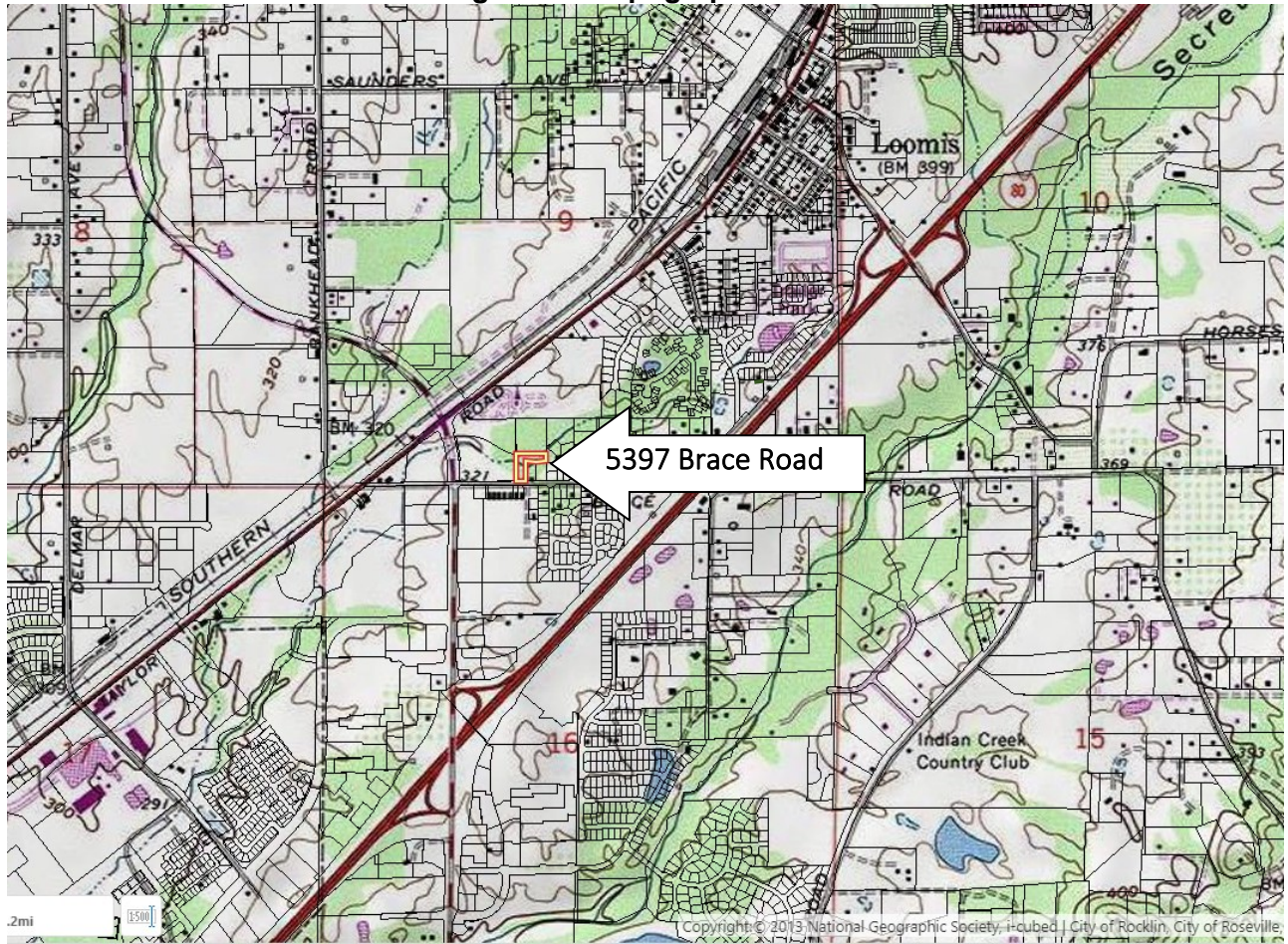


Figure 4 – Floodway and 100 year Floodplain

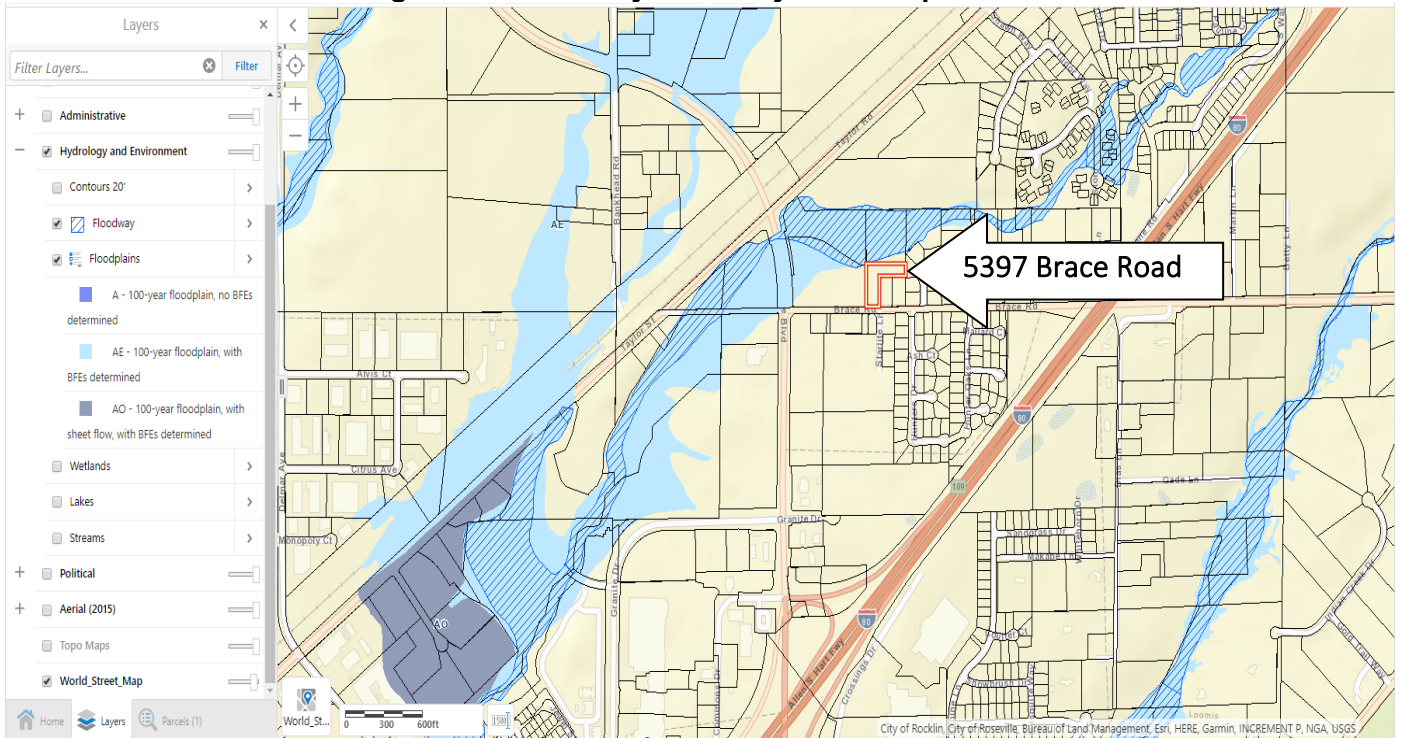


Figure 5 – Improvement Plans (Total four pages)

GENERAL NOTES

1. ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE LATEST TOWN OF LOOMIS CONSTRUCTION STANDARDS AND TOWN LAND DEVELOPMENT MANUAL. ALL REFERENCES TO STATE OR CALIFORNIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS SHALL REFER TO THE MOST RECENT EDITION OF THE STANDARD SPECIFICATIONS. ATTENTION IS ALSO DIRECTED TO THE STANDARD DRAWINGS CONTAINED IN THE PLACER COUNTY LAND DEVELOPMENT MANUAL AND THE CURRENT EDITION OF THE CALIFORNIA SFP WHICH, WHEN APPLICABLE, ARE INCLUDED IN THESE DRAWINGS AND REFERENCED BY DETAIL OR STANDARD PLAN NUMBER.
2. TOWN ENGINEER OR ENGINEER, AS USED IN THESE PLANS AND NOTES, REFERS TO THE DIRECTOR OF PUBLIC WORKS, TOWN ENGINEER, OR AN AUTHORIZED AGENT APPOINTED BY THE DIRECTOR.
3. PUBLIC SAFETY AND TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH COUNTY AND/OR TOWN REQUIREMENTS AND AS DIRECTED BY THE ENGINEER. SAFE VEHICULAR AND PEDESTRIAN ACCESS SHALL BE PROVIDED AT ALL TIMES DURING CONSTRUCTION.
4. ALL FIELD SURVEY SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR. THE OWNER SHALL PROVIDE ONE SET OF CONSTRUCTION CONTROL SHEETS. ANY ADDITIONAL SURVEY ACCESSORY SHALL BE PROVIDED BY THE DESIGNER/SURVEYOR AT THE EXPENSE OF THE CONTRACTOR. ALL SURVEY SHALL BE DONE PER SECTION 14.07 PLACER COUNTY GENERAL SPECIFICATIONS.
5. THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR VERIFICATION THAT THE CONSTRUCTION SITE OF THE LOCATIONS OF ALL UNDERGROUND FACILITIES WHERE SUCH FACILITIES MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF THE IMPROVEMENTS SHOWN ON THESE PLANS. CALL "UNDERGROUND SERVICE ALERT" AT 800-225-2800 TWO (2) DAYS MINIMUM TO FOURTEEN (14) DAYS MINIMUM BEFORE EXCAVATION IS STARTED.
6. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS. MONUMENTS AND SURVEY MARKERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. SET OUT BENCHMARK AS LOCATED ON PLANS.
7. ALL A. C. SURFACES SHALL BE SWIFT CUT OFF FROM MINIMUM INSIDE THE EDGE OF PAVEMENT TO A NEAT, STRAIGHT LINE AND REPAIRED. THE EXPOSED EDGE SHALL BE SEALED WITH HALLOLUM PRIOR TO FINISH. THE EXPOSED BASE MATERIAL SHALL BE GRADED, RECOMPACTED AND RESEALED PRIOR TO FINISH. FOLLOW LOCAL SPECIFICATIONS (M-1).
8. CONTRACTOR SHALL MAINTAIN EXISTING DUST CONTROL PRIOR TO COMMENCEMENT OF GRADING. THE PROJECT OWNER/EMPLOYER SHALL SUBMIT A DUST CONTROL PLAN FOR APPROVAL BY THE TOWN ENGINEER AND THE PLACER COUNTY AIR POLLUTION CONTROL DISTRICT. THE PLANS SHALL FOLLOW THE LATEST VERSION OF THE PLASTIC DUST CONTROL MEASURES (RULE 280) PROVIDED BY THE PLACER COUNTY AIR POLLUTION CONTROL DISTRICT.
9. EACH PAVING SPACE RESERVED FOR THE HANDICAPPED SHALL BE IDENTIFIED BY A PERMANENTLY AFFIXED REFLECTORIZED SIGN CONSTRUCTED OF POLYMER ON STEEL, BEARED TEXT, OF EQUAL, EXCEEDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. A SIGN SHALL ALSO BE POSTED WHICH CLARIFY AND COMPLEMENT THE PAVEMENT. "HANDICAPPED" INDICATES NOT SURFACING PLACEMENT OR LINGERING PLATES ISSUED FOR PERMITS. HANDICAPPED PAVING SPACES MAY BE TONED AWAY AT THE OWNER'S EXPENSE. HANDICAP ACCESS SHALL COMPLY WITH TITLE 24 C.A.C.
10. NO CONSTRUCTION SHALL BE DONE BETWEEN OCTOBER 1 AND MAY 1 WITHOUT A TOWN APPROVED SEDIMENT AND EROSION CONTROL PLAN TO PREVENT SOIL EROSION. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS CONTAINED IN THE "EROSION AND SEDIMENT CONTROL GUIDELINES FOR DEVELOPER AREAS OF THE SIERRA", OCTOBER, 1991.
11. INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF SIGNIFICANT EROSION AND SILTATION ENDURING THE STORM DRAIN SYSTEM, NATURAL URBAN COURSES AND/OR INTRODUCING OPEN ADJACENT ROADS AND PROPERTIES. INTERVENTION AND EROSION CONTROL WORK ON THESE PLANS IS INTENDED AS A GUIDE. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED AND APPROVED BY THE ENGINEER. THIS RESPONSIBILITY SHALL APPLY THROUGHOUT THE COURSE OF CONSTRUCTION UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED AND SHALL NOT BE LIMITED TO KEY BENCH MARKERS.
12. AFTER STRIPPING THE DEBRIS, ANY EXISTING LOOSE FILL, UNSATURABLE SOILS, SILTY SAND DEPOSITS, OR DISTURBED NATURAL SOILS SHALL BE EXCAVATED AND PROPERLY DISPOSED OF TO THE SATISFACTION OF THE ENGINEER.
13. THE CONTRACTOR SHALL REGRADE ALL ROAD WORKINGS, PAVEMENT MARKERS, AND OTHER DELINEATION THAT ARE IN CONFLICT WITH THE DELINEATION SHOWN ON THE PLANS AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL LAUNCH ALL PAVEMENT WORKINGS FOR APPROVAL BY THE ENGINEER. AFTER APPROVAL, THE CONTRACTOR SHALL REGRADE ALL PAVEMENT MARKERS AND THERMOPLASTIC PAVEMENT MARKERS WITHIN TOWN ROAD-OF-WAY AS WELL AS ALL ON-SITE PAVED OR THERMOPLASTIC WORKINGS.
14. ASPHALT CONCRETE SHALL BE TYPE A, 1/2" MINIMUM MEDIUM GRADING AND CONFORM TO SECTION 30 OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
15. THE UPPER 3" OF ASPHALTIC BASE SHALL BE CLASS 2, 3/4" MINIMUM GRADING. WHERE THE BASE THICKNESS EXCEEDS 8", THE DEPTH BELOW 8" MAY BE CLASS 2, 1" MINIMUM GRADING. ASPHALTIC BASE SHALL CONFORM TO SECTION 33 OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
16. ALL WORK WITHIN TOWN ROAD-OF-WAY SHALL CONFORM TO ALL PROVISIONS OF EMBANKMENT STATED IN THE PERMIT SPECIFICATIONS AND GENERAL PROVISIONS OF EMBANKMENT. ATTENTION IS DIRECTED TO ITEMS 2, 3 AND 8 OF THE GENERAL PROVISIONS ON THE EMBANKMENT PERMIT.

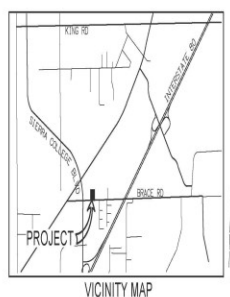
STORM DRAIN NOTES

1. ALL CONCRETE AND ITS PLACEMENT IN REINFORCED CONCRETE STRUCTURES SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF LOOMIS STANDARD PLANS.
2. ALL REINFORCING STEEL SHALL CONFORM TO THE CURRENT APPLICABLE PLACER COUNTY REQUIREMENTS.
3. ALL PIPE LINES ARE EXCEPTED. REINFORCEMENT SHALL BE PROVIDED TO SATISFY THE STATE OF CALIFORNIA OSHA SAFETY REQUIREMENTS.
4. FOR TRENCH EXCAVATIONS IN NATIVE SOILS, SHORING SHALL BE PROVIDED TO SATISFY THE STATE OF CALIFORNIA OSHA SAFETY REQUIREMENTS.
5. ALL PIPE CONSTRUCTION WITHIN FULL AREA MUST BE CONFINED WITH THE GRADING WORK TO ENSURE THAT WHEN THE FILL OPERATION HAS BEEN COMPLETED, AT GRADE, A MINIMUM OF ONE FOOT ABOVE TOP OF PIPE OR TO A MINIMUM OF FIVE FEET ABOVE THE PROPOSED SUBGRADE OF PIPE, THE STORM DRAIN TRENCH SHALL BE EXCAVATED AND THE PIPE INSTALLED.
6. ALL WORK MUST BE IN ACCORDANCE WITH THE CURRENT APPLICABLE PLACER COUNTY STANDARD PLANS AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AS PUBLISHED BY THE BUILDING DIVISION (GREENBOOK) AND BOTH MUST BE KEPT ON THE JOB SITE AT ALL TIMES.
7. THE CONTRACTOR MUST NOTIFY THE CITY AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
8. ALL FILLS MUST BE COMPACTED TO MEET THE REQUIREMENTS FOR THE CURRENT APPLICABLE PLACER COUNTY STANDARD PLANS.
9. ALL SURVEYING REQUIRED FOR VERTICAL AND HORIZONTAL ALIGNMENT MUST BE PROVIDED BY THE CONTRACTOR OR DEVELOPER, AND SUFFICIENT REFERENCE MARKS MUST BE IN ACCORDANCE WITH THE REQUEST OF THE DIRECTOR OF PUBLIC WORKS/CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE IN THE FIELD.
10. ALL REINFORCED CONCRETE PIPES MUST BE BEDDED IN ACCORDANCE WITH THE PIPE BEDDING DETAIL PER CURRENT APPLICABLE PLACER COUNTY STANDARD PLANS.
11. PRIOR TO THE PLACEMENT OF STORM DRAIN IMPROVEMENTS, THE DEVELOPERS SHALL NOTIFY AND SUBMIT IN WRITING TO THE DIRECTOR OF PUBLIC WORKS/CITY ENGINEER IN THE FIELD THAT THE STORM DRAIN SYSTEM IS BEING CONSTRUCTED TO SUPPORT THE STRUCTURES AND ANY ADJACENT UTILITIES.
12. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE DEVELOPER'S CONTRACTOR SHALL OBTAIN A PERMIT FROM CALIFORNIA. A COPY OF THE PERMIT SHALL BE KEPT AT THE JOB SITE AT ALL TIMES.
13. WHEN APPLICABLE, THE DEVELOPER SHALL OBTAIN A PERMIT FROM THE STATE DEPARTMENT OF FISH AND WILDLIFE IN ACCORDANCE WITH SECTION 1302 OF THE CALIFORNIA FISH AND GAME CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
14. ALL CONTIGUAL STEEL SHALL BE LAPTED MINIMUM OF 48 BAR DIAMETERS.
15. OWNER ALL EXPOSED EDGES OF CONCRETE 1/2" MINIMUM.
16. LENGTH OF WHOLE STRUCTURES MAY BE INCREASED TO MEET PIPE SIZES AT OPTION OF CONTRACTOR AS LONG AS REINFORCING STEEL IS CONTAINED AS REQUIRED, ANY CHANGE IN SPAN LENGTH MUST BE APPROVED BY THE ENGINEER AND THE DIRECTOR OF PUBLIC WORKS/CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE IN THE FIELD.
17. FLOOR OF WHOLE STRUCTURE SHALL BE STEEL TYPED TO SPRING LINE.
18. BODY OF WHOLE STRUCTURE, INCLUDING SPUR, MUST BE PLACED IN A CONTINUOUS POSITION, EXCEPT THAT A CONSTRUCTION JOINT AT THE SPRING LINE WITH A LONGITUDINAL KEY MAY BE PERMITTED.
19. ALL REINFORCING BARS MUST BE SECURELY LAPED TO PLACE IN THE TRENCH. TWO-WAY WAYS OF STEEL MUST BE WELDED TOGETHER BOTH WAYS AT ALL TRENCH INTERSECTIONS.
20. STORM DRAIN SHOULDER FOR ALL URBAN FACILITIES WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PLACED AND COMPACTED IN THE PRESENCE OF THE DIRECTOR OF PUBLIC WORKS/CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE IN THE FIELD AND MEET OR EXCEED CURRENT APPLICABLE STANDARD SPECIFICATIONS.
21. ALL PIPE TO BE BORED AND GRADED (LESS THAN 30" OUTSIDE ONLY, 24" AND GREATER - INSIDE AND OUTSIDE).
22. ALL DRINKING WATER SHALL BE ADEQUATELY SEPARATED FROM (BOTH) SIZES SHALL PIPE CONFORMING TO NEW DRAIN, SINKS, POLYMER, CHLORIDE PLASTIC (PVC) PIPE CONFORMING TO NEW DRAIN, SINKS OR APPROVED EQUAL.
23. R.C.P. SHALL COMPLY WITH ALL A.S.T.M. APPLICABLE SPECIFICATIONS.
24. ALL LOCAL DEPRESSIONS SHALL BE CONSTRUCTED PER STREET IMPROVEMENT PLANS IN ACCORDANCE WITH CURRENT APPLICABLE PLACER COUNTY STANDARD PLANS.
25. LOCAL DEPRESSIONS AND SINKS OF CURB INLETS SHALL NOT BE PLACED UNTIL ADJACENT CURB AND GUTTER HAS BEEN PLACED.
26. CATCH BASIN CURB SUPPORT AND INLET ANGLE SHALL BE CONSTRUCTED PER CURRENT APPLICABLE PLACER COUNTY STANDARD PLANS.
27. CURB INLET BOX SHALL BE CONSTRUCTED MONOLITHICALLY WITH SIDEWALK, IF SIDEWALK IS TO BE CONSTRUCTED.
28. THE CONTRACTOR SHALL CONDUCT CONSTRUCTION OPERATIONS IN SUCH A MANNER THAT STORM AND OTHER WATERS MAY PROCEED UNINTERRUPTED ALONG THEIR EXISTING STREET OR CHANNEL COURSES.
29. MAINTAIN APPLICABLE. THE DEVELOPER SHALL SECURE A REQUIRED FEDERAL, STATE, AND LOCAL ENVIRONMENTAL REGULATORY PERMITS, AGREEMENTS, AND/OR CLEARANCES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND SHALL KEEP A COPY OF ALL SUCH DOCUMENTS ON SITE FOR EXAMINATION FOR THE ENTIRE DURATION OF CONSTRUCTION ACTIVITIES.
30. IN THE COURSE OF WATER CONTROL, THE CONTRACTOR SHALL CONDUCT CONSTRUCTION OPERATIONS TO PROTECT WATERS FROM POLLUTION WITH FUELS, OILS, SOLIDS, AND OTHER HARMFUL MATERIALS PER THE STATE WATER CONSTRUCTION PERMIT AND ACCEPTED SHEET.
31. PIPE CONSTRUCTION IN FULL AREA MUST BE CONFINED WITH THE GRADING WORK TO ENSURE THAT WHEN THE FILL OPERATION HAS BEEN COMPLETED, AT GRADE, A MINIMUM OF ONE FOOT ABOVE THE TOP OF THE PIPE.
32. LOCATIONS OF PUBLIC UTILITIES SHOWN HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION. HOWEVER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE TRUE LOCATION OF ANY EXISTING UTILITIES AND TO EXERCISE PROPER PRECAUTIONS.

IMPROVEMENT PLAN

5397 BRACE ROAD DAYCARE

APN: 044-123-009
TOWN OF LOOMIS
PLACER COUNTY, CALIFORNIA



TOWN OF LOOMIS	DATE
TOWN OF LOOMIS	DATE
PLACER COUNTY WATER AGENCY	DATE
AGENCY ENGINEER	DATE
SOUTH PLACER FIRE DISTRICT	DATE
FIRE CHIEF	DATE

ENGINEER'S NOTES

1. AN ATTEMPT HAS BEEN MADE TO SHOW ALL PUBLIC UTILITIES IN THEIR APPROXIMATE LOCATION. THE CONTRACTOR SHALL VERIFY THIS INFORMATION BY THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UTILITIES WITHIN THE WORK AREA. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE THE EXISTING UTILITIES BASED ON AVAILABLE RECORDS. HOWEVER, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF SUCH DELINEATION OF UTILITIES NOR FOR THE EXISTENCE OF ADDITIONAL BURIED OBJECTS OR UTILITIES NOT SHOWN ON THESE DRAWINGS WHICH MAY BE ENCOUNTERED. ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL EXISTING CONDITIONS DISCOVERED BY THE CONTRACTOR SHOULD BE REPORTED TO THE ENGINEER IMMEDIATELY. ADDITIONALLY, CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL COST ASSOCIATED WITH PERMITTING TO DETERMINE THE LOCATION OF EXISTING UTILITIES AND WORK REQUIRED TO relocate AND/OR REPAIR EXISTING UTILITIES REQUIRED TO CONSTRUCT THE PROJECT IF A CONFLICT DOES EXIST.
2. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS RESPONSIBILITY SHALL BE HELD TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. NO CONSTRUCTION CONTRACTOR FURTHER AGREES TO ACCEPT, INDEMNIFY AND HOLD DESIGN PROFESSIONAL, WHOMEVER FROM WHOM ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
3. CONTRACTOR TO CONTACT ADEQUATE PROPERTY OWNER THRU WORKING DAYS PRIOR TO ENTRY OR CONSTRUCTION ON OR STORAGE OF MATERIALS ON ADJACENT PROPERTIES. WORK ON, ENTRY ONTO, OR STORAGE OF MATERIALS ON ADJACENT PROPERTIES REQUIRE A RIGHT-OF-ENTRY OR AN EGRESS. CONTACT ENGINEER TO DETERMINE.
4. EXCAVATIONS DEEP FIVE (5) FEET DEEP REQUIRE AN EXCAVATION PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH.
5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER TWO WORKING DAYS IN ADVANCE OF DOING ANY EXCAVATION, GRADING OR EARTHWORK OF ANY KIND, IN THE EVENT THAT NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF RECTIFYING ANY SURVEY CONTROL POINTS DESTROYED BY HIS OPERATION.
6. THE CONTRACTOR SHALL EXPLORE THE SIZES OF EXISTING SEWER AND DRAIN LINES AND VERIFY THEIR LOCATION AND ELEVATION PRIOR TO PLACEMENT OF PIPE. ALL SIZES OF SUCH EXCAVATION AND SHOULDER SHALL BE INCLUDED IN THE PRICE PAID FOR VARIOUS OTHER ITEMS OF WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL BUILDING FACILITIES FOR ALL UNDERGROUND WORK THROUGHOUT THE COURSE OF CONSTRUCTION. SIGN DRAWINGS SHALL RECORD THE LOCATION AND GRADE OF UNDERGROUND WORK THROUGHOUT CONSTRUCTION.

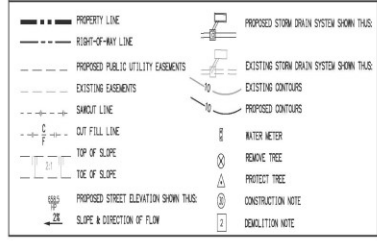
SHEET INDEX

SHEET	NUMBER
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UTILITY & AGENCY COORDINATION

WATER: PCWA	(530) 823-4886
SEWER: SPCWD	(916) 788-8555
DRAINAGE: TOWN OF LOOMIS	(916) 652-1840
UTILITY COMPANIES:	
AT&T	(916) 484-2388
PG&E	(530) 689-3256
STAR STREAM	(916) 652-9479

LEGEND



ABBREVIATION

△	CURB BENCH	HW	HANDHOLE	R/W	RIGHT OF WAY
AC	ASPHALTIC CONCRETE	IN	INVERT	SD	SOUTHERN CALIF. EDISON
AD	AREA DRAIN	JS	JUNCTION STRUCTURE	SO	STORM DRAIN
BC	BEGIN CURVE	L	LENGTH	SL	STREET LIGHT/CONDUIT
BCR	BEGIN CURB RETURN	LAT	LATERAL	SS	SEWER
BDP	BOTTOM OF PIPE	LD	LOCAL DEPRESSION	SN	SIDEWALK
BVC	BEGIN VERTICAL CURVE	LF	LEFT	TEL	TELEPHONE
BN	BOTTOM OF WALL	MGR	METAL BURN GUARD RAIL	TAN	TANGENT LENGTH
C&G	CURB AND GUTTER	MB	MIDDLE OF CURVE	TOB	TOP OF BERM
CB	CATCH BASIN	MC	MIDDLE OF CURVE	TC	TOP OF CURB
CF	CURB FACE	NC	NORTHWARD	TE	TEMPORARY CONSTRUCTION
CL	CENTERLINE	NC	NORTH CROWN	TF	TOP OF FOOTING
CM	CLASSIFIED HIGHWAY	NG	NOT IN CONTRACT	TT	TOP OF GRADE
DLC	DEFECTION LEAD IN CABLE	OS	ORIGINAL SURFACE	TW	TOP OF WALL
DW	DOMESTIC WATER	OH	OVERHEAD	TM	TOP OF MASONRY WALL
E	ELECTRIC	PAC	PACIFIC BELL	TP	TOP OF PIPE
EMT	EASTBOUND	PB	PORTLAND CEMENT	TS	TRAFFIC SIGNAL/CONDUIT
EO	EDGE OF CURVE	PC	PORTLAND CEMENT CONCRETE	TSC	TRAFFIC SIGNAL
EOR	EDGE OF RETURN	PC	POINT OF COMPOUND CURVE	TK	TOP OF TANK
EP	EDGE OF PAVEMENT	PI	POINT OF INTERSECTION	UMK	UNKNOWN
ES	EDGE OF SHOULDER	PL	PROPERTY/LOT LINE	UN	UNDER SUPERVISION OF
ETW	EDGE OF TRAVELWAY	PT	POINT ON TANGENT	V	VALVE
EVG	END VERTICAL CURVE	PRC	POINT OF REVERSE CURVE	VCP	VITRIFIED CLAY PIPE
FS	FINISH GRADE	PIC	PULVULIZED CALCESTRUE	WLT	WALL
FH	FIRE HYDRANT	PVI	POINT OF VERTICAL INFLECTION	WNT	WENT
FL	FLOW LINE	INT	INTERSECTION	W	WATER
FS	FINISH SURFACE	R	RADIUS	WLL	WALL LAYOUT LINE
G	GAS	RPN	RAISED PAVEMENT MARKER	WW	WATER METER/SEWER USE
GB	GRADE BREAK	RW	RECALCULATED WATER		
GW	GAS METER/SERVICE	RC	REINFORCED CONCRETE PIPE		
IN	GAS INLET	RPT	RIGHT		
HOL	HORIZONTAL BRACE LINE				

Know what's below.
Call before you dig.

JOB NUMBER: []

APPROVED FOR CONSTRUCTION:

DRAWN BY: DNE

DESIGNED BY: DNE

CHECKED BY: PS

TOWN OF LOOMIS, CALIFORNIA
PUBLIC WORKS DEPARTMENT

BRITTON STRIPES, REC 61528

BRITTON STRIPES, REC 61528

PREPARED FOR:

NICHOLAS BAIR
PHONE: (916) 581-9428

IMPROVEMENT PLAN FOR

BRACE ROAD DAYCARE

TITLE SHEET

TOWN OF LOOMIS

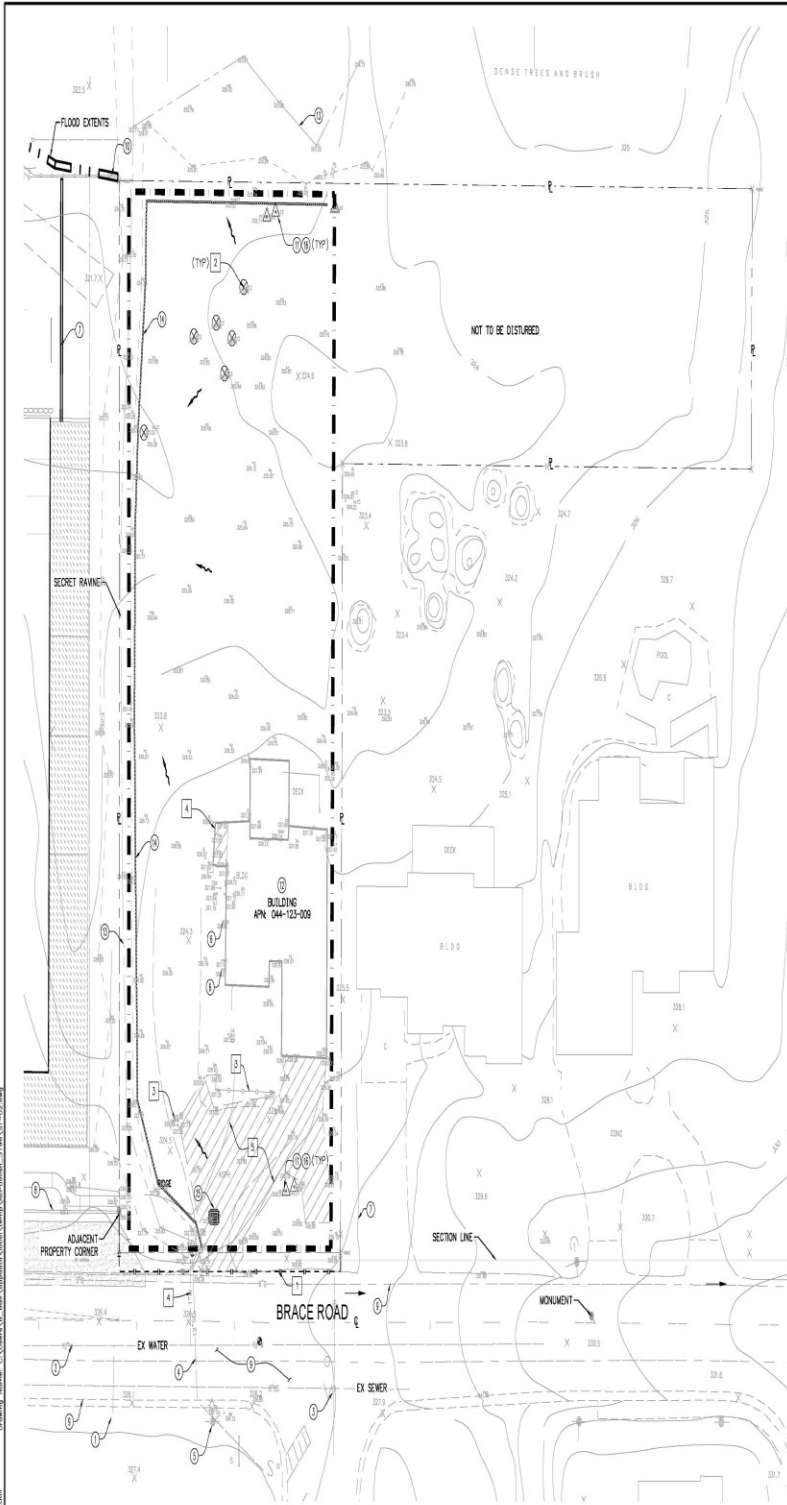
SHEET

1

OF 4

PRELIMINARY - NOT FOR CONSTRUCTION

CITY PERMIT



CONSTRUCTION NOTES:

- 1) PROTECT-IN-PLACE FIRE HOSEWY AND VALVE ASSEMBLY
- 2) PROTECT-IN-PLACE DOMESTIC WATER LINE
- 3) PROTECT-IN-PLACE SANITARY SEWER LINE AND MANHOLES
- 4) PROTECT-IN-PLACE 24" ODP STORM DRAIN
- 5) PROTECT-IN-PLACE OVERHEAD ELECTRIC AND LIGHT POLES
- 6) PROTECT-IN-PLACE PRIVATE UTILITY VAULTS, RISERS, AND CLEAN OUTS
- 7) PROTECT-IN-PLACE PRIVATE OFFSITE HARDSCAPE AND SITE FEATURES
- 8) PROTECT-IN-PLACE OFFSITE CURB, GUTTER AND SIDEWALK
- 9) PROTECT-IN-PLACE AC AND ROADWAY STRIPING
- 10) PROTECT-IN-PLACE FENCE
- 11) PROTECT-IN-PLACE TREE
- 12) PROTECT-IN-PLACE HOUSE
- 13) PROTECT-IN-PLACE THIMBLES AND BANS OF ADJACENT CREEK
- 14) INSTALL STORM MANHOLES
- 15) INSTALL INLET PROTECTION
- 16) INSTALL TREE PROTECTION FENCING AT DROP LINE OF TREES TO REMAIN

DEMOLITION NOTES:

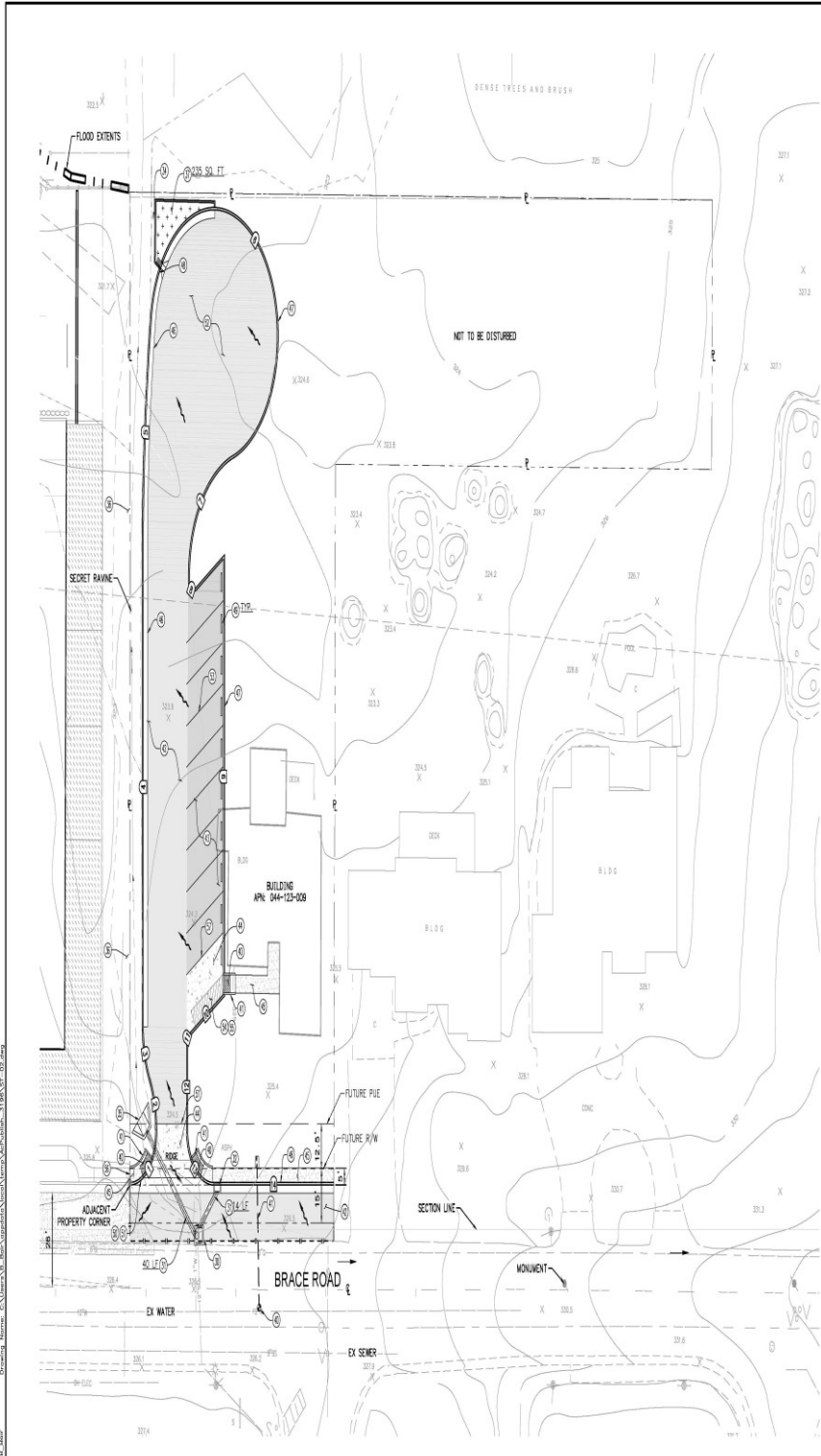
- 1) SHOULD TO FULL DEPTH EXISTING AC EXPOSING A CLEAN EDGE
- 2) REMOVE AND PROPERLY DISPOSE OF EXISTING OAK TREE, SIZE PER PLAN
- 3) DEMOLISH AND PROPERLY DISPOSE OF BLOCK SCREEN WALL
- 4) DEMOLISH AND PROPERLY DISPOSE OF A PORTION OF THE EXISTING STRUCTURE. EXTENTS TO BE VERIFIED IN FIELD.
- 5) DEMOLISH AND REMOVE EXISTING AC DRIVEWAY

EROSION CONTROL LEGEND

- LIMIT OF WORK
- STRAIN WAFFLE PER CITY STD
- DIRECTION OF FLOW
- INLET PROTECTION PER CITY STD
- TO BE DEMOLISHED

Drawn by: NLS, 05/18/18, 9:29am, by: M. B. 31188183-009.dwg

	JOB NUMBER: APPROVED FOR CONSTRUCTION		PREPARED FOR: NICHOLAS BAIR PHONE: (916) 531-0439	IMPROVEMENT PLAN FOR BRACE ROAD DAYCARE EXISTING CONDITION, DEMOLITION AND EROSION CONTROL TOWN OF LOOMIS	SHEET 2 OF 4	
	DRAWN BY: ENR DESIGNED BY: ENR		TOWN OF LOOMIS, CALIFORNIA PUBLIC WORKS DEPARTMENT			BRITTANY N. BAIR, R.C.E. 87537 PUBLIC WORKS DIRECTOR/CITY ENGINEER
	CHECKED BY: PS APPROVED DATE:		BRITTON SNIPES, R.C.E. 87538 PUBLIC WORKS DIRECTOR/CITY ENGINEER			BRITTANY N. BAIR, R.C.E. 87537 DATE:



- CONSTRUCTION NOTES:**
1. INSTALL 1" DOMESTIC SERVICE HOT TOP AND GATE VALVE
 2. INSTALL 1" DOMESTIC WATER SERVICE FOR 1" DISK METER PER PDM STD 5201. METER PER PDM
 3. CONTRACT 4" S&W AND COVER PER LOOMIS STD. DNG. DNG. 50-23
 4. INSTALL 18" 50 PIPE 9-0-000L LENGTH PER PLAN
 5. CONTRACT TYPE B DRP INLET PER LOOMIS STD. DNG. 50-4
 6. CONTRACT WER OVERFLOW WITH REINFORCED COBBLE OUTFALL PER DETAIL ON SHEET 004
 7. CONTRACT CONCRETE HEADWALL OUTFALL PER CALTRANS RFP 080
 8. INSTALL NON-MOVING GEOTEXTILE GRID AND ANGULAR RIP RAP ALONG BANKS OF EXISTING CREEK (5 FT OFFSET ON BOTH SIDES FROM FLOW LINE)
 9. CONTRACT BIODEGRADATION PLANTER WITH OUTFALL PER DETAIL ON SHEET 004
 10. INSTALL "NO DUMPING DRAINS TO OCEAN" SIGNAGE PER PLACER COUNTY STD DNG 403
 11. CONTRACT PEDESTRIAN RAMP PER LOOMIS STD. H-6
 12. CONTRACT 10" TO 6" VERTICAL CLEAR TRAVELWAY
 13. INSTALL HEAVY DUTY ASPHALT SECTION PER DETAIL ON SHEET 004
 14. INSTALL PARKING RATED ASPHALT SECTION PER DETAIL ON SHEET 004
 15. INSTALL HEAVY DUTY CONCRETE SECTION PER DETAIL ON SHEET 004
 16. CONTRACT 4" WIDE SIDEWALK PER LOOMIS STD. DNG. H-2
 17. CONTRACT TYPE 2 VERTICAL CONCRETE CURB AND GUTTER PER LOOMIS STD. DNG. H-2
 18. CONTRACT 6" VERTICAL CONCRETE BARRIER CURB
 19. CONTRACT CURB CUT PER DETAIL ON SHEET 004
 20. INSTALL WHEEL STOP PER DETAIL ON SHEET 004
 21. CONTRACT DRIVEWAY CONNECTION RAKESIDE VALLEY GUTTER PER PLACER COUNTY STD DNG 118
 22. CONTRACT ROADWAY CONNECTION PER PLACER COUNTY STD DNG 118
 23. CONTRACT OFFSET C&G-S&G PER PLACER COUNTY STD DNG 103
 24. INSTALL 4" WHITE THERMOPLASTIC STRIPING PER CITY OF CAHARILLO STANDARDS
 25. INSTALL ACCESSIBLE PARKING STALL PER CALTRANS RFP AREA
 26. INSTALL ISA PAVEMENT MARKING PER CALTRANS RFP AREA DETAIL A
 27. CONSTRUCT PROPOSED EPDM AND DOWEL CONCRETE TO EXISTING CONCRETE CONNECTION. CONTRACTOR TO VERIFY EXISTING ELEVATIONS IN FIELD.
 28. CONSTRUCT ASPHALT TO CONCRETE CONNECTION

NO	BEARING/DELTA	LENGTH	RADIUS
1	∠=88°58'42"	23.56	15.00
2	∠=28°53'18"	15.16	30.00
3	∠=28°53'18"	15.16	30.00
4	N00°53'44"W	33.44	--
5	∠=92°09'50"	64.08	450.00
6	∠=244°52'58"	148.36	36.00
7	∠=72°42'29"	44.41	35.00
8	∠=120°00'00"	6.28	3.00
9	N00°53'44"W	121.24	--
10	N69°18'18"E	21.87	--
11	∠=46°00'00"	3.14	3.00
12	N00°53'44"W	24.49	--
13	∠=90°00'00"	23.56	15.00
14	N89°02'58"E	66.59	--



Drawn by: **811** Date: 03/18/19
 Checked by: **811** Date: 03/18/19
 Approved by: **811** Date: 03/18/19
 Project: **811** Date: 03/18/19

NOTE:
 IF STORM DRAIN PIPE COVER IS LESS THAN 18", PLACE SLURRY GROUT SHOULDER PER SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS



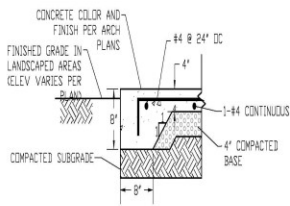
NO	DESCRIPTION	APPROVED	DATE

APPROVED FOR CONSTRUCTION:
 TOWN OF LOOMIS, CALIFORNIA
 PUBLIC WORKS DEPARTMENT
 DESIGNED BY: **811**
 BRITTON SHIPPS, REG. 61536
 PUBLIC WORKS SUPERVISOR/CITY ENGINEER
 DATE: 03/18/19

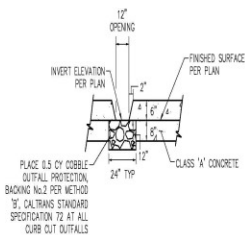
PREPARED FOR:
 NICHOLAS BAIR
 PHONE: (916) 531-0419
 BRITTANY N. BAIR, REG. 61537
 DATE: 03/18/19

IMPROVEMENT PLAN FOR
BRACE ROAD
DAYCARE
 GRADING AND UTILITIES
 TOWN OF LOOMIS

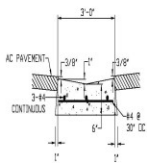
SHEET
3
 OF 4



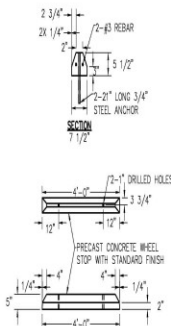
45 THICKENED SIDEWALK EDGE DETAIL
NO SCALE



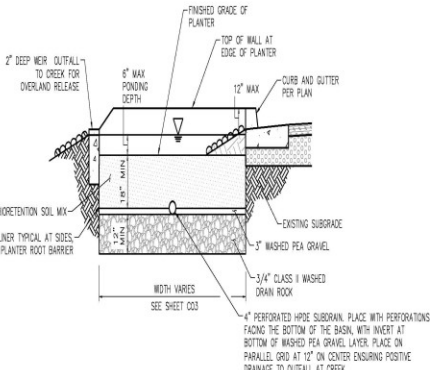
46 CURB CUT DETAIL
NO SCALE



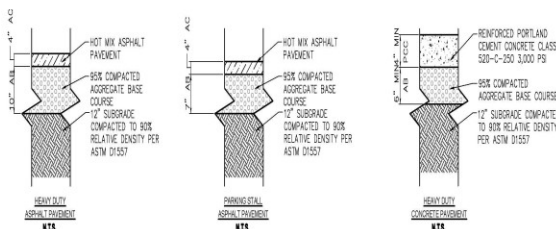
49 VALLEY GUTTER DETAIL
NO SCALE



58 WHEEL STOP DETAIL
NO SCALE



57 BIORETENTION DETAIL
NO SCALE



GENERAL NOTES:

1. THE AGGREGATE BASE SHOULD CONSIST OF AN ANGULAR CRUSHED AGGREGATE

CONCRETE PAVEMENT NOTES:

1. CONTROL JOINTS SHOULD HAVE A MAXIMUM SPACING OF 30 TIMES THE THICKNESS OF THE CONCRETE SLABS, AS PER THE AMERICAN CONCRETE INSTITUTE RECOMMENDATIONS, AND SHOULD BE PLACED IN A ROUGHLY SQUARE PATTERN.
2. AT CONSTRUCTION JOINTS, AN ADEQUATELY DESIGNED KEED CONSTRUCTION JOINT OR A BUTT END CONSTRUCTION JOINT IS RECOMMENDED. FOR A BUTT END CONSTRUCTION JOINT, AN ADEQUATE NUMBER OF DEFORMED TE BARS SHOULD BE PROVIDED.
3. TE BARS ARE ALSO RECOMMENDED ALONG THE FIRST LONGITUDINAL JOINT FROM THE PAVEMENT EDGE TO KEEP THE OUTSIDE SLAB FROM SEPARATING FROM THE PAVEMENT.
4. ISOLATION JOINTS ARE RECOMMENDED FOR CONCRETE PAVEMENT AREAS THAT ABUT FINISHED OBJECTS SUCH AS AROUND LIGHT POLES, INLETS, ETC.
5. CONTRACTION JOINTS, MADE TRANSVERSE TO THE DIRECTION OF TRAFFIC FLOW, SHOULD BE MADE AT INTERVALS OF 15 FEET OR LESS.
6. JOINTS WITHIN THE CONCRETE SIDEWALK SHALL BE SAWCUT. THE CUTTING OF JOINT SHALL TAKE PLACE NO LATER THAN 6-12 HOURS AFTER FINISHING CONCRETE.

ASPHALT PAVEMENT NOTES:

1. ALL CRUSHED MATERIALS SHOULD BE PROVIDED BY A STATE QUALIFIED QUARRY/PIV. CONSTRUCTION METHODS SHOULD BE IN ACCORDANCE WITH CALTRANS CONSTRUCTION AND MATERIAL SPECIFICATIONS.
2. THE PAVEMENT SUBGRADE SHOULD BE SHAPED AND SLOPED TO PERFORATED CATCH BASINS TO PROMOTE DRAINAGE OF THE AGGREGATE BASE.
3. THE TEMPERATURE OF THE ASPHALT LEAVING THE PLANT SHOULD BE 325 DEGREES FAHRENHEIT AND THE TRUCKS SHOULD BE TAPPED. DURING PLACEMENT, ASPHALT MIX TEMPERATURE SHOULD BE BETWEEN 280 AND 290 DEGREES FAHRENHEIT TO ACHIEVE ADEQUATE COMPACTION. THE ASPHALT SHOULD BE PLACED USING STANDARD PAVING EQUIPMENT AND SHOULD BE IMMEDIATELY ROLLED WITH A 12-TON THREE-WHEEL ROLLER OR EQUIVALENT FOR IMMEDIATE COMPACTION FOLLOWED BY A VIBRATORY ROLLER TO OBTAIN THE REQUIRED DEGREE OF COMPACTION. A FLAT WHEEL ROLLER MAY BE NECESSARY TO FINALIZE COMPACTION AS WELL AS TO ROLL OUT ROLLER MARKS CAUSED BY THE COMPACTION PROCESS.
4. QUALITY CONTROL AND FIELD DENSITY TESTS SHOULD BE PERFORMED DURING ASPHALT PLACEMENT TO CONFIRM ADEQUATE COMPACTION. THE ASPHALT MATERIAL SHOULD BE SAMPLED FOR EXTRACTION GRADATION AND RICE GRAVITIES. THE CONTRACTOR SHALL SUBMIT A JOB SPECIFIC ASPHALT DESIGN MIX PRIOR TO CONSTRUCTION FOR APPROVAL. THE ASPHALT COURSES SHOULD BE COMPACTION TO 98% OF THEIR MAXIMUM THEORETICAL DENSITY. CONSIDERATION SHOULD BE GIVEN TO TAKING PAVEMENT CORES TO EVALUATE THE IN-PLACE THICKNESS AND TO CONFIRM THE MAXIMUM SPECIFIC GRAVITY AND COMPACTION OF THE ASPHALT.

42 43 44 PAVEMENT SECTION DETAIL
NO SCALE

CONSTRUCTION NOTES:	QTY.	UNITS
1 PROTECT IN-PLACE FIRE HYDRANT AND VALVE ASSEMBLY		
2 PROTECT IN-PLACE DOMESTIC WATER LINE		
3 PROTECT IN-PLACE SANITARY SEWER LINE AND MANHOLES		
4 PROTECT IN-PLACE 24" ODP STORM DRAIN		
5 PROTECT IN-PLACE OVERHEAD ELECTRIC AND LIGHT POLES		
6 PROTECT IN-PLACE PRIVATE UTILITY VALVES, RISERS, AND CLEAN OUTS		
7 PROTECT IN-PLACE PRIVATE OFFSITE HARDWARE AND SITE FEATURES		
8 PROTECT IN-PLACE OFFSITE CABLE, GUTTER AND SIDEWALK		
9 PROTECT IN-PLACE AC AND ROADWAY STRIPING		
10 PROTECT IN-PLACE FENCE		
11 PROTECT IN-PLACE TREE		
12 PROTECT IN-PLACE HOUSE		
13 PROTECT IN-PLACE THAMES AND BANKS OF ADJACENT CREEK		
14 INSTALL STORM MANHOLES		
15 INSTALL INLET PROTECTION		
16 INSTALL TREE PROTECTION FENCING AT DROP LINE IF TREES TO REMAIN		
17 INSTALL 1" DOMESTIC SERVICE HOT TOP AND GATE VALVE		
18 INSTALL 1" DOMESTIC WATER SERVICE FOR 1" DISK METER PER PDM STD S001. METER PER PDM		
19 CONTRACT 48" SMH AND COVER PER LDMMS STD. DIM. 50-23		
20 INSTALL 18" SD PIPE 5-0.000. LENGTH PER PLAN		
21 CONTRACT TYPE B DRP INLET PER LDMMS STD. DIM. 50-4		
22 NOT USED		
23 CONTRACT RIVER OVERTOP WITH REINFORCED COBBLE OUTFALL PER DETAIL ON SHEET 004		
24 INSTALL CONCRETE HEADWALL OUTFALL PER CALTRANS RSP 030		
25 INSTALL NON-MOVING GEOTEXTILE GRID AND ANGULAR RSP PER ALONG BANKS OF EXISTING CREEK (5' OFFSET ON BOTH SIDES FROM FLOW LINE)		
26 CONTRACT BIORETENTION PLANTER WITH OUTFALL PER DETAIL ON SHEET 004		
27 INSTALL "NO DRAINING DRAINS TO OCEAN" SIGNAGE PER PLAZER COUNTY STD DIM 410		
28 CONTRACT PEDESTRIAN RAMP PER LDMMS STD H-8		
29 CONTRACT 6" TO 6" VERTICAL CURB TRANSITION		
30 INSTALL HEAVY DUTY ASPHALT SECTION PER DETAIL ON SHEET 004		
31 INSTALL PARKING RATED ASPHALT SECTION PER DETAIL ON SHEET 004		
32 INSTALL HEAVY DUTY CONCRETE SECTION PER DETAIL ON SHEET 004		
33 CONTRACT 4" WIDE SIDEWALK PER LDMMS STD. DIM. H-2		
34 CONTRACT TYPE 2 VERTICAL CONCRETE CURB AND GUTTER PER LDMMS STD. DIM. H-2		
35 CONTRACT 6" VERTICAL CONCRETE BARRIER CURB		
36 CONTRACT CURB CUT PER DETAIL ON SHEET 004		
37 INSTALL WHEEL STOP PER DETAIL ON SHEET 004		
38 CONTRACT DRAINAGE CONNECTION RADIUS VALLEY GUTTER PER PLAZER COUNTY STD DIM 118		
39 CONTRACT ROADWAY CONNECTION PER PLAZER COUNTY STD DIM 118		
40 CONTRACT OFFSET CURB PER PLAZER COUNTY STD DIM 118		
41 INSTALL 4" WHITE THERMOPLASTIC STRIPING PER CITY OF CAMARILLO STANDARDS		
42 INSTALL ACCESSIBLE PARKING STALL PER CALTRANS RSP AREA DETAIL A		
43 INSTALL ISA PAVEMENT MARKING PER CALTRANS RSP AREA DETAIL A		
44 CONTRACT PROPOSED EPONY AND DONEL CONCRETE TO EXISTING CONCRETE CONNECTION. CONTRACTOR TO VERIFY EXISTING ELEVATIONS IN FIELD.		
45 CONTRACT ASPHALT TO CONCRETE CONNECTION		

<p>Know what's below. Call before you dig.</p>	<p>JOB NUMBER: APPROVED FOR CONSTRUCTION</p> <p>DRAWN BY: ENB TOWN OF LOOMIS, CALIFORNIA PUBLIC WORKS DEPARTMENT</p> <p>DESIGNED BY: ENB</p> <p>CHECKED BY: PS BRITTON SHUPES, REC 81526 DATE PUBLIC WORKS DIRECTOR/CITY ENGINEER</p>		<p>PREPARED FOR: NICHOLAS BAIR PHONE: (916) 531-2439</p>	<p>IMPROVEMENT PLAN FOR BRACE ROAD DAYCARE DETAILS</p>	<p>SHEET 4 OF 4</p>
	<p>TOWN OF LOOMIS</p>	<p>BRITTAN N. BAIR, REC: 87537 DATE</p>	<p>TOWN OF LOOMIS</p>	<p>TOWN OF LOOMIS</p>	<p>TOWN OF LOOMIS</p>

General Plan, Zoning, and Existing Land Uses:

	GENERAL PLAN	ZONING	CURRENT LAND USE
ON SITE	RESIDENTIAL MEDIUM DENSITY	RS-10	SINGLE FAMILY RESIDENTIAL
NORTH	RESIDENTIAL MEDIUM DENSITY	RS-10	SINGLE FAMILY RESIDENTIAL
EAST	RESIDENTIAL MEDIUM DENSITY	RS-10	SINGLE FAMILY RESIDENTIAL
SOUTH	RESIDENTIAL HIGH DENSITY	RH	MULTI-FAMILY RESIDENTIAL
WEST	GENERAL COMMERCIAL	CG	GENERAL COMMERCIAL

General Plan: Residential - Medium Density (RM): The single-family residential land use designation is applied to approximately 330 acres, including: the Sunrise Loomis neighborhood and adjacent areas on the west side of Humphrey Road and south of King Road; two areas on the north and south sides of King Road between Taylor Road and I-80; and an area on the north and south sides of Brace Road between Sierra College Boulevard and I-80.

This land use designation may accommodate residential use at densities ranging from two to six dwelling units per acre, with the appropriate minimum parcel size for proposed subdivisions determined by the Zoning Ordinance. Building heights are limited to two stories or 30 feet, and structural development shall not exceed 50 percent of lot coverage.

Zoning: RS-10 (Single-Family Residential) – Chapter 13.24.020. The RS zoning district is applied to areas appropriate for neighborhoods of single-family homes, and related, compatible uses. The maximum allowable density ranges from one dwelling per half-acre, to two to six dwellings per acre, with the specific allowable density for each parcel shown on the zoning map by a numerical suffix to the RS map symbol (see Section 13,24.050). The RS-5 district is intended to be applied only within the downtown area of Loomis. The RS zoning district is consistent with and implements the residential – low density and residential – medium density land use designation of the general plan.

Pursuant to Zoning Code Chapter 13.24.040 – Residential district general development standards, Table 2-2, a Child or adult day care center IS an allowed use, with Use Permit Approval within the RS district with specific use regulations as outlined in Chapter 13.42.080 which provides:

13.42.080 - Child day care facilities.

A. **Applicability.** Child day care facilities shall comply with the following standards. These standards apply in addition to the other provisions of this title and requirements imposed by the California Department of Social Services (DSS). DSS licensing is required for all facilities.

B. **Standards for Large Family Day Care Homes.** As required by state law, a large family day care home shall be approved if it complies with the following standards:

1. **Location Requirements.** In order to avoid the concentration of intensive, nonresidential land uses in residential neighborhoods, maintain residential character, and compatibility with adjacent residential uses, no large family day care home shall be located within five hundred feet of an existing large family day care home, or child day care center. In no case shall a residential property be directly abutted by a large family day care center on two or more sides.

2. **Parking, Drop-off Area.**

a. At least two off-street parking spaces shall be provided exclusively for dropping off and picking up children. The driveway may be used to provide the off-street parking required by Section 13.36.040, if the parking will not obstruct any required drop-off and pick up areas nor block any sidewalks or other public access. Alternative parking and drop-off arrangements may be approved by the director based on traffic and pedestrian safety considerations.

- b. A home located on a street with a speed limit of thirty-five miles per hour or greater shall provide a drop-off/pick-up area designed to prevent vehicles from backing onto the street (e.g., circular driveway).
 3. **Outdoor Activity Areas.**
 - a. Any side or rear yard areas intended for day care use shall be enclosed with a fence or wall to separate the children from neighboring properties.
 - b. Outdoor recreation equipment over eight feet in height shall be set back a minimum of five feet from perimeter property lines.
 4. **Noise.** Noise generated from the large family day care home shall not exceed the standards in Section 13.30.070.
 5. **Additional Standards.** Each large family day care home shall comply with applicable building and fire codes, and standards adopted by the state, and Social Services Department licensing requirements (California Code of Regulations, Title 22, Division 2).
- C. **Standards for Child Day Care Centers.**
 1. **Minimum Site Area.** The minimum site area for a child day care center shall be ten thousand square feet.
 2. **Fencing.** A six-foot high solid decorative fence or wall shall be constructed on all property lines, except in the front yard. Fences or walls shall provide for safety with controlled points of entry. Fences and walls shall be provided in combination with landscape materials to help mitigate the appearance of long, flat walls.
 3. **Parking and Loading.**
 - a. Off-street parking shall be provided as required through the use permit process, but shall be a minimum of one space per employee on the largest shift.
 - b. Picking up and dropping off of children shall not create unsafe conditions. Loading and unloading of children from vehicles shall only be allowed in the driveway or in an approved parking area.
 4. **Noise.** Potential noise sources shall be identified during the use permit process, and noise attenuation and sound dampening shall be addressed.
 5. **Activity/Play Areas.** The facility shall be provided with both indoor and outdoor play areas in compliance with state requirements. (Ord. 205 § 1 (Exh. A), 2003)

Zoning Code Chapter 13.80.020 provides the following definition:

D. Definitions, D.

Day care means facilities that provide nonmedical care and supervision of minor children for periods of less than twenty-four hours. These facilities include the following, all of which are required to be licensed by the California State Department of Social Services:

1. **Child day care center** means commercial or nonprofit child day care facilities designed and approved to accommodate fifteen or more children. Includes infant centers, preschools, sick-child centers and school-age day care facilities. These may be operated in conjunction with a school or church facility, or as an independent land use.

The State of California regulates all Child Care Centers General Licensing Requirements under Division 12, Chapter 1, Section 101152. The applicant is always required to meet state regulations during operation.

Parcel Information:

	<u>Required</u>	<u>Proposal</u>
Minimum lot size Area (net)	10,000 sq.ft.	Complies
Minimum lot width	60 ft.	Complies
Minimum lot depth	100 ft.	Complies
Maximum Site Coverage	30%	Complies

Owner Information:

APN 044-123-009
Steven and Denise Bair
1350 Desmond Lane
Newcastle, CA 95680
(530) 889-1516

Applicant:

Nicholas and Amanda Bair
5735 Stone Road
Loomis, CA 95650
(916) 316-6375

Existing Improvements/Utilities/Service Systems:

Sewer – South Placer Municipal Utilities District
Trash - Recology
Fire – South Placer Fire District
Water – Placer County Water Agency
Gas/Electric – Pacific Gas & Electric

As previously mentioned, the existing one (1) acre (43,560 sq.ft.) parcel has an existing 2,689 sq.ft. single family dwelling that is proposed to be improved on the interior to create a child day care facility in accordance with Town codes and operated under State of California regulations.

The applicant proposes the creation of a small farmhouse preschool and early education center for children ages 18 months to 5 years (pre-k). They will be offering a farm to fork gardening center with a blend of Waldorf, Montessori and traditional styles of learning. The proposal includes four classrooms with a maximum capacity of 8-10 children per class (40 maximum) with a maximum teaching staff of 6 employees. Proposed hours of operation will be Monday through Friday, from 7:00 a.m. to 5:30 p.m.

The area just west of the structure will be graded to provide ample parking for the day care and includes a turn-around at the back of the parcel for vehicles and emergency responders. The north western parcel boundary is just outside of the designated floodway. Surface improvements are proposed in this area.

The number of parking spaces required by land use is defined in Zoning Code Chapter 13.36.040, Table 3-7 and requires kindergarten and nursery schools to provide 1 space per employee (6 required) plus 1 space per 10 children (4 required). The proposal provides for 10 parking spaces, which includes 1 handicap accessible space near the building entrance.

Pursuant to Municipal Code Chapter 13.54, Tree Conservation, as indicated on Page 2 of 4 of the improvement plans, there are six trees (one black oak and five live oaks) that have been identified for removal in the area of the newly created turnaround (Exhibit D). These trees range in size from 7-9 inches in diameter(dbh) and are not salvageable and, therefore, are exempt from mitigation. A Town approved tree permit is required prior to removal of these trees.

The area to the east of the newly created parking/turn around area will remain natural vegetation.

The front of the property entrance will be improved to Town Standards with the inclusion of proper gating. The entire yard will be fenced with locked gates. The fenced yard will have 24/7 full-site monitoring.

Agency Review and response comments:

The application, project information, and exhibit maps were sent to concerned agencies on January 7, 2019 requesting their comments by January 28, 2019. Dated comments received have been included in the conditions of approval of the project, are provided in Attachment C, and summarized below:

1. 1/10/19 Town of Loomis, Engineer
Applicant shall meet all Town codes and standards, provide frontage improvement, dedicate right of ways and drainage easements.
2. 1/18/19 United Auburn Indian Community (UAIC)
Tribal monitoring may be required. Should inadvertent discoveries of tribal cultural resources occur, immediately contact UAIC for consultation on appropriate and respectful treatment and disposition.
3. 1/23/19 Placer County Water Agency (PCWA)
Prior to issuing a Water Availability letter, the owner and/or the owner's representative will need to schedule a meeting with Agency staff to discuss the project and determine specific Agency requirements.
4. 1/24/19 Central Valley Regional Water Quality Control Board (CVRWQCB)
Applicant is required to consult with the CVRWQCB and obtain any approval consistent with matters within their purview and as outlined in detail as included in their response.
5. 1/28/19 Placer County Flood Control and Water Conservation District (PCFCWCD)
Applicant is required to meet all requirements of the PCFCWCD.

Applicant is required to reference the FEMA Flood Insurance Study (FIS) and Flood Insurance Rate Map (FIRM) dated 11/2/18 for Secret Ravine as the most current and best available information for development of this site.

Applicant is also referred to the District's 1990 Stormwater Management Manual for future drainage related design standards. On-site detention is not recommended, unless required to mitigate localized drainage impacts.

The development is likely subject to the requirement Hydromodification Management and Low Impact Design (LID) measures of the Town's new Phase II NPDES Permit.

6. 1/28/19 South Placer Municipal Utility District (SPMUD)
The design and construction of all on-site and off-site facilities which may be required as a result of this project, including the acquisition and granting of sewer easements, will be the responsibility of the owner/applicant. All work shall conform to the Standard Specifications of SPMUD. Submit improvement plans to SPMUD for review and approval prior to commencement of any work. For public sewer, the applicant/owner is required to meet with District staff to determine specific requirements prior to issuance of a will-serve letter.

7. 1/31/19 Placer County Health and Human Services Department (Environmental Health)
A Phase 1 Environmental Site Assessment (ESA) is required. The applicant completed the Phase 1 ESA on 3/5/19. A copy of the Phase I ESA was forwarded to Environmental Health on 3/12/19 for review and is on file in the Planning Department. They replied on 3/20/19 that they did not identify any issues outlined in the report. No further action is required.

The existing well shall be properly destroyed under an approved permit from Environmental Health.

Applicant to confirm if the site contains a second well on the property or provide proof of how it was

destroyed.

Applicant to provide proof of connection to PCWA water by way of will serve letter or monthly payment invoice.

8. 2/1/19 Pacific Gas & Electric (PG&E)

Applicant to meet all requirements for gas and electric facilities within the project area. If the proposed project is adjacent/or within PG&E owned property and/or easements, application must work with PG&E to ensure compatible uses and activities near their facilities.

9. 2/18/19 South Placer Fire District (SPFD)

All construction must comply with SPFD standards, as well as the 2016 California Building and Fire Codes.

Building, Fire Alarm System, and Site plan submittals are required.

The site plans shall include entry gate details.

Fire Alarm plans submittals are deferred.

SPFD will perform final inspection on the Fire Alarm Systems, Site, Entry Gate, and Building.

Will serve process, fee schedule, application process, plan submittal form, appendix "D" and "E" have been included for applicant's use.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA):

A determination has been made that the project is categorically exempt from the provision of CEQA under Section 15332, Class 32, In-Fill Development Projects. "Class 32 consists of projects characterized as in-fill development meeting the conditions described as:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effect relating to traffic, noise, air quality, or water quality.
- (e) The site can adequately be served by all required utilities and public services.

A Notice of Exemption may be filed, but is not required, after a public agency decides that a project is exempt from CEQA and grants approval of the project. Should the Notice of Exemption be filed, a shorter statute of limitations of 35 days commences for any challenge to the approval. If a Notice of Exemption is not filed, the normal 180 day statute of limitations will apply.

ATTACHMENTS:

- A. Draft Resolution #19-__ (Pages 13 – 20)
 - Exhibit A: Recommended Findings
 - Exhibit B: Recommended Conditions of Approval
 - Exhibit C: Notice of Exemption
- B. Application #18-13
- C. Public Agency Comments
- D. Tree Removal Plan - Photographic Evidence

NOTE: Notice published in the Loomis News on March 15, 2019 and mailed to adjacent property owners within 300 feet on March 13, 2019.