



## **AGENDA**

### **CITY COUNCIL MEETING**

June 1, 2023 | 6:30 PM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

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*Notice is hereby given that a meeting of the Lucas City Council will be held on Thursday, June 1, 2023, beginning at 6:30 pm at Lucas City Hall, 665 Country Club Road, Lucas, Texas 75002-7651, at which time the following agenda will be discussed. As authorized by Section 551.071 of the Texas Government Code, the City Council may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any item on the agenda at any time during the meeting. Pursuant to Texas Government Code 551.127, one or more members of the governing body may appear via videoconference call. The presiding officer and a quorum of the City Council will be physically present at this meeting.*

If you would like to watch the meeting live, you may go to the City's live streaming link at <https://www.lucastexas.us/departments/public-meetings/>.

#### **How to Provide Input at a Meeting:**

**Speak In Person:** Request to Speak forms will be available at the meeting. Please fill out the form and give to the City Secretary prior to the start of the meeting. This form will also allow a place for comments.

**Submit Written Comments:** If you are unable to attend a meeting and would like to submit written comments regarding a specific agenda item, email City Secretary Erin Flores at [eday@lucastexas.us](mailto:eday@lucastexas.us) by no later than 3:30 pm the day of the meeting. The email must contain the person's name, address, phone number, and the agenda item(s) for which comments will be made. Any requests received after 3:30 pm will not be included at the meeting.

#### **Call to Order**

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- Roll Call
- Determination of Quorum
- Reminder to turn off or silence cell phones
- Pledge of Allegiance

#### **Citizen Input**

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1. Citizen Input.

#### **Community Interest**

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*Pursuant to Section 551.0415 of the Texas Government Code, the City Council may report on the following items: 1) expression of thanks, congratulations or condolences; 2) information about holiday schedules; 3) recognition of individuals; 4) reminders about upcoming City Council events; 5) information about community events; and 6) announcements involving imminent threat to public health and safety.*

2. Items of Community Interest:
  - A. Proclamation for Lucas Fire-Rescue 50<sup>th</sup> Anniversary.

## Public Hearings

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3. Conduct a public hearing and consider adopting Ordinance 2023-06-00982 approving a request for a change in zoning from AO (Agricultural and Open Space) to R-2 (Residential 2-acre) on a tract of land being 23.691 acres of land located in the Peter F. Lucas survey, abstract number 537, Town of Lucas, Collin County, Texas, being all of the Jason Blakely and Jessica Blakely called 23.691 acre tract 23 +/- parcel of land, more commonly known as 355 Winningkoff Road.
  - A. Presentation by Development Services Director Joe Hilbourn
  - B. Conduct public hearing
  - C. Take action on zoning change request
4. Conduct a public hearing and consider approving a request for a Planned Development zoning overlay on a parcel of land zoned Commercial Business (CB) on a tract of land being 42.339 acres (1,884,296 square feet) in the James Anderson Survey, Abstract Number 17, City of Lucas, Collin County, Texas, more commonly known as the Hunt tract at the northwest corner of the Parker Road and Country Club Road intersection. **(Cancelled at the request of the applicant.)**
  - A. Presentation by Development Services Director Joe Hilbourn
  - B. Conduct public hearing
  - C. Take action on zoning change request

## Consent Agenda

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*All items listed under the consent agenda are considered routine and are recommended to the City Council for a single vote approval. If discussion is desired, an item may be removed from the consent agenda for a separate vote.*

5. Consent Agenda:
  - A. Approval of the minutes of the May 18, 2023 City Council meeting. **(City Secretary Erin Flores)**

## Regular Agenda

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6. Consider corrections to the request by Majed Khalaf on behalf of Mahmoud Properties for a site plan, landscape plan, and elevations for use as a commercial retail and office center on a 2.25-acre tract of land in the Jas Lovelady Survey, Abstract Number ABS A0538, Tract 14 situated in the City of Lucas, Collin County, Texas, located at 995 West Lucas Road. **(Development Services Director Joe Hilbourn)**
7. Consider approving Ordinance 2023-06-00983 amending the City of Lucas Code of Ordinances, Chapter 3 titled "Building Regulations", Article 3.08 titled "Residential Code" by adding Section 3.08.004 titled "Construction Site Drainage". **(Development Services Director Joe Hilbourn)**
8. Provide an update and discuss the status of the drainage policy for effectively managing the stormwater system and provide direction to the City Manager. **(Public Works Director Scott Holden, Contract Engineer Joe Grajewski)**
9. Consider authorizing the City Manager to enter into a contract with Texas Materials Group, Inc., TexasBit, for the rehabilitation of Snider Lane in an amount not to exceed \$459,516 and rehabilitation of Long Road and Bloom Street in an amount not to exceed \$25,444, for

a total of \$484,960 from Account 11-8209-301 Improvement Roads (Street Maintenance).  
(Public Works Director Scott Holden, CIP Manager Patrick Hubbard)

10. Consider approving Resolution R 2023-06-00541 authorizing an application for new playground equipment at Forest Creek Park to the Texas Parks and Wildlife Local Park Grant Program. (Assistant City Manager Kent Souriyasak, CIP Manager Patrick Hubbard)
11. Consider approving Resolution R 2023-06-00542 authorizing an application for a proposed northern trail project to the Texas Parks and Wildlife Recreational Trails Grant Program. (Assistant City Manager Kent Souriyasak, CIP Manager Patrick Hubbard)
12. Consider the appointment of Mayor Pro Tem to serve for a one-year period beginning June 1, 2023 and ending May 31, 2024. (City Secretary Erin Flores)
13. Discuss updating the City of Lucas Code of Ordinances, Chapter 14 titled “Zoning” and provide guidance to the Planning and Zoning Commission. (Mayor Jim Olk)
14. Update on the North Texas Municipal Water District (NTMWD) Board of Directors meeting held on May 25, 2023, as it relates to Premium charged to Customer Cities. (City Councilmember Debbie Fisher, City Manager Joni Clarke)
15. Consider the 88th Legislative Session and discuss any proposed bill or significant resolution that may have an impact on the City of Lucas and provide guidance to the City Attorney and City Manager. (City Council, City Manager Joni Clarke, City Attorney Joe Gorfida)
16. Discuss FM 1378 Draft Design Schematic dated April 2023 and consider modifications to the City of Lucas Thoroughfare Plan. (City Council)

## Executive Session

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17. Executive Session:

As authorized by Section 551.071 of the Texas Government Code, the City Council may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney regarding any item on the agenda at any time during the meeting. This meeting is closed to the public as provided in the Texas Government Code.

18. Reconvene from Executive Session and take any action necessary as a result of Executive Session.
19. Adjournment.

## Certification

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*I do hereby certify that the above notice was posted in accordance with the Texas Open Meetings Act on the bulletin board at Lucas City Hall, 665 Country Club Road, Lucas, TX 75002 and on the City's website at [www.lucastexas.us](http://www.lucastexas.us) on or before 5:00 p.m. on May 26, 2023.*

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*Erin Flores, City Secretary*

*In compliance with the American with Disabilities Act, the City of Lucas will provide for reasonable accommodations for persons attending public meetings at City Hall. Requests for accommodations or interpretive services should be directed to City Secretary Erin Flores at 972.912.1211 or by email at [eflores@lucastexas.us](mailto:eflores@lucastexas.us) at least 48 hours prior to the meeting.*



# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 01

Requester: Mayor Jim Olk

#### **Agenda Item Request**

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Citizen Input.

#### **Background Information**

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NA

#### **Attachments/Supporting Documentation**

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NA

#### **Budget/Financial Impact**

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NA

#### **Recommendation**

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NA

#### **Motion**

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NA





# City of Lucas

## City Council Agenda Request

### June 1, 2023

Requester: Mayor Jim Olk

#### **Agenda Item Request**

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Items of Community Interest:

- A. Proclamation for Lucas Fire-Rescue 50<sup>th</sup> Anniversary.

#### **Background Information**

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NA

#### **Attachments/Supporting Documentation**

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- A. Proclamation for Lucas Fire-Rescue 50th Anniversary.

#### **Budget/Financial Impact**

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NA

#### **Recommendation**

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NA

#### **Motion**

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NA



# Proclamation



**WHEREAS**, on June 11, 1973, the Lucas Fire Department was established with a group of 18 Lucas citizens; and those 18 members borrowed \$1,200 from the Lucas Water Department to purchase a 1949 pumper engine affectionally named “Ole’ Streaker” to be used to respond to emergency calls; and

**WHEREAS**, the Lucas Fire Department has had approximately 293 volunteers, including 6 volunteer fire chiefs (Frank Hamlin, Roy Matheny, Tuck Minnett, Richard Morris, Alan Storck, and Ron Grotti) and two career fire chiefs (Jim Kitchens and Ted Stephens); and

**WHEREAS**, the City of Lucas built the current four apparatus bays for the Lucas Fire Department in 1999, and expanded this facility in 2015 by adding additional offices, a training room, workout facility and sleeping quarters to the Frank Hamlin Fire Station No. 1, and

**WHEREAS**, the City of Lucas added to the Lucas Fire Department its first career firefighter personnel in 2013, and officially made application to the Texas State Department of Health Services for their Emergency Medical Services (EMS) Providers License in 2014 and started providing EMS on April 1, 2014, with the department thereafter becoming known as Lucas Fire-Rescue; and

**WHEREAS**, today, Lucas Fire-Rescue responds to approximately 1,000 calls for service annually with one fire chief, two assistant chiefs, 15 career firefighters (working 24 hours on, 48 hours off), one civilian administrative assistant, and approximately four volunteers; and

**WHEREAS**, today, Lucas Fire-Rescue continues to reside at the Frank Hamlin Fire Station No. 1 located at 165 Country Club Road, Lucas, Texas, with a fleet of two Mobile Intensive Care Unit Ambulances, two engines, two brush trucks, one boat, one squad, one rehabilitation vehicle, one utility task vehicle and three command vehicles, that aid in the provision of emergency medical services and fire protection; and

**WHEREAS**, Lucas Fire-Rescue is maintaining an Insurance Service Office (ISO) rating of 1 inside the city limits, with the city population at approximately 9,020 people; and

**WHEREAS**, Lucas Fire-Rescue enhanced their ability to provide service to the Lucas community by entered into automatic aid agreements with the Fairview, Parker, and Wylie Fire Departments, and mutual aid agreements with the fire departments of Collin County; and

**AND NOW, THEREFORE**, I, Jim Olk, Mayor of the City of Lucas Texas on behalf of the City Council, do proclaim June 11, 2023, as the:

***“Official 50th Anniversary of the Lucas Fire-Rescue”***

**IN WITNESS WHEREOF**, I have hereunto set my hand and caused to be affixed the official seal of the City of Lucas, this 1st day of June, 2023.

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Jim Olk, Mayor

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Erin Flores, City Secretary



# City of Lucas City Council Agenda Request June 1, 2023

Item No. 03

Requester: Development Services Director Joe Hilbourn

## **Agenda Item Request**

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Conduct a public hearing and consider adopting Ordinance 2023-06-00982 approving a request for a change in zoning from AO (Agricultural and Open Space) to R-2 (Residential 2-acre) on a tract of land being 23.691 acres of land located in the Peter F. Lucas survey, abstract number 537, Town of Lucas, Collin County, Texas, being all of the Jason Blakely and Jessica Blakely called 23.691 acre tract 23 +/- parcel of land, more commonly known as 355 Winningkoff Road.

- A. Presentation by Development Services Director Joe Hilbourn
- B. Conduct public hearing
- C. Take action on zoning change request

## **Background Information**

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This lot is 23 +/- acres of land currently zoned AO, and the applicant is considering subdividing the property into three lots. The request matches the City of Lucas Comprehensive Plan. The Federal Emergency Management Agency (FEMA) flood boundaries were compared to the FEMA panel maps and are accurate. At the May 11, 2023 Planning and Zoning Commission meeting, the request was recommended for approval with a unanimous vote.

## **Attachments/Supporting Documentation**

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- 1. Ordinance 2023-06-00982; Zoning Change for 355 Winningkoff Road
- 2. Public Notice
- 3. Depiction
- 4. Legal Description
- 5. Location Map

## **Budget/Financial Impact**

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NA

## **Recommendation**

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The Planning and Zoning Commission gave a unanimous recommendation for approval.

## **Motion**

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I make a motion to approve/deny adopting Ordinance 2023-06-00982 approving a request for a change in zoning from AO (Agricultural and Open Space) to R-2 (Residential 2-acre) on a tract of land being 23.691 acres of land located in the Peter F. Lucas survey, abstract number 537, town of Lucas, Collin County, Texas, being all of the James Blakely and Jessica Blakely called 23.691 acre tract 23 +/- parcel of land, more commonly known as 355 Winningkoff Road.



**ORDINANCE # 2023-06-00982**

[CHANGE IN ZONING; ±23.691 ACRES FOR 355 WINNINGKOFF ROAD]

**AN ORDINANCE OF THE CITY OF LUCAS, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE CITY OF LUCAS, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN ZONING CLASSIFICATION FROM AGRICULTURE (AO) TO SINGLE FAMILY RESIDENTIAL, 2-ACRE LOTS (R-2), ON A PARCEL OF LAND CONSISTING OF ±23.691 ACRES SITUATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NO. 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING ALL OF THE JASON BLAKELY AND JESSICA BLAKELY CALLED 23.691 ACRE TRACT OF LAND COMMONLY KNOWN AS 355 WINNINGKOFF ROAD, AND BEING MORE PARTICULARLY DESCRIBED AND DEPICTED ON EXHIBIT “A”; PROVIDING A CONFLICTS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the Planning and Zoning Commission of the City of Lucas, Texas and the City Council of the City of Lucas, Texas, in compliance with the laws of the State of Texas with reference to the granting of zoning classifications and changes, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and the City Council of the City of Lucas, Texas is of the opinion and finds that said zoning change should be granted and that the Comprehensive Zoning Ordinance and Map should be amended;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LUCAS, TEXAS:**

**Section 1.** The Comprehensive Zoning Ordinance and Map of the City of Lucas, Texas, are hereby amended to grant a change in zoning from Agriculture (AO) to Single Family Residential, 2-Acre Lots (R-2), on a parcel of land consisting of ±23.691 acres situated in the Peter F. Lucas Survey, Abstract No. 537, being all of a 26.691 acre tract Town of Lucas, Collin County, Texas, being all of the Jason Blakely and Jessica Blakely called 23.691 acre tract of land more commonly described as 355 Winningkoff Road, and being more particularly described on Exhibit “A”, attached hereto and made part hereof for all purposes.

**Section 2.** To the extent of any irreconcilable conflict with the provisions of this ordinance and other ordinances of the City of Lucas governing the use and development of the Property and which are not expressly amended by this ordinance, the provisions of this ordinance shall be controlling.

**Section 3.** That all ordinances of the City of Lucas in conflict with the provisions of this Ordinance shall be, and same are hereby, repealed, provided, however, that all other provisions of said Ordinances are not in conflict herewith shall remain in full force and effect.

**Section 4.** That should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance or of the City of Lucas Code of Ordinances, as amended hereby, be adjudged or held to be voided or unconstitutional, the same shall not affect the validity of the remaining portions of said Ordinances or the City of Lucas Code of Ordinances, as amended hereby, which shall remain in full force and effect.

**Section 5.** An offense committed before the effective date of the Ordinance is governed by prior law and the provisions of the City of Lucas Code of Ordinances in effect when the offense was committed and the former law is continued in effect for this purpose.

**Section 6.** That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Code of Ordinances, as amended, and upon conviction in the municipal court shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day such violation shall continue shall be deemed to constitute a separate offense.

**Section 7.** That this Ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Lucas, and it is accordingly so ordained.

**DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF LUCAS, COLLIN COUNTY, TEXAS, ON THIS 1<sup>st</sup> DAY OF JUNE, 2023.**

APPROVED:

\_\_\_\_\_  
Jim Olk, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
Joseph J. Gorfida, Jr.  
(05-24-23/cgm/TM135202)

\_\_\_\_\_  
Erin Flores, City Secretary

**EXHIBIT “A”**  
**Legal Description**

**BEING 23.691 ACRES** OF LAND LOCATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NUMBER 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING ALL OF THE JASON BLAKELY AND JESSICA BLAKELY CALLED 23.691 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2022000147928, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (O.P.R.C.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD (VARIABLE WIDTH RIGHT-OF-WAY) AT THE SOUTHEAST CORNER OF SAID 23.691 ACRE TRACT;

THENCE SOUTH 88 DEGREES 26 MINUTES 41 SECONDS WEST, LEAVING SAID CENTERLINE, A DISTANCE OF 1516.17 FEET TO A 1/2” IRON ROD FOUND IN THE EAST LINE OF THE HUNTWICK ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME J, PAGE 165, PLAT RECORDS, COLLIN COUNTY, TEXAS (P.R.C.C.T.) AT THE SOUTHWEST CORNER OF SAID 23.691 ACRE TRACT AND THE COMMON NORTHWEST CORNER OF THE RB & KB REVOCABLE TRUST CALLED 12.39 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 20210914001875870, (O.P.R.C.C.T.);

THENCE NORTH 00 DEGREES 18 MINUTES 22 SECONDS WEST, ALONG THE EAST LINE OF SAID HUNTWICK ADDITION, A DISTANCE OF 682.40 FEET TO A 1/2” IRON ROD FOUND AT THE NORTHWEST CORNER OF SAID 23.691 ACRE TRACT, SAME BEING THE COMMON SOUTHWEST CORNER OF THE LAKESIDE ESTATES, PHASE ONE ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME K, PAGE 682, (P.R.C.C.T.);

THENCE NORTH 88 DEGREES 26 MINUTES 15 SECONDS EAST, ALONG THE COMMON LINE OF SAID 23.691 ACRE TRACT AND SAID LAKESIDE ESTATES, PHASE ONE, AT A DISTANCE OF 1463.71 FEET PASS A 1/2” IRON ROD FOUND AND CONTINUING FOR A TOTAL DISTANCE OF 1508.71 FEET TO A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD AT THE NORTHEAST CORNER OF SAID 23.691 ACRE TRACT;

THENCE SOUTH 00 DEGREES 55 MINUTES 56 SECONDS EAST, ALONG THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD, A DISTANCE OF 682.47 FEET TO THE POINT OF BEGINNING AND CONTAINING 23.691 ACRES OF LAND, MORE OR LESS.

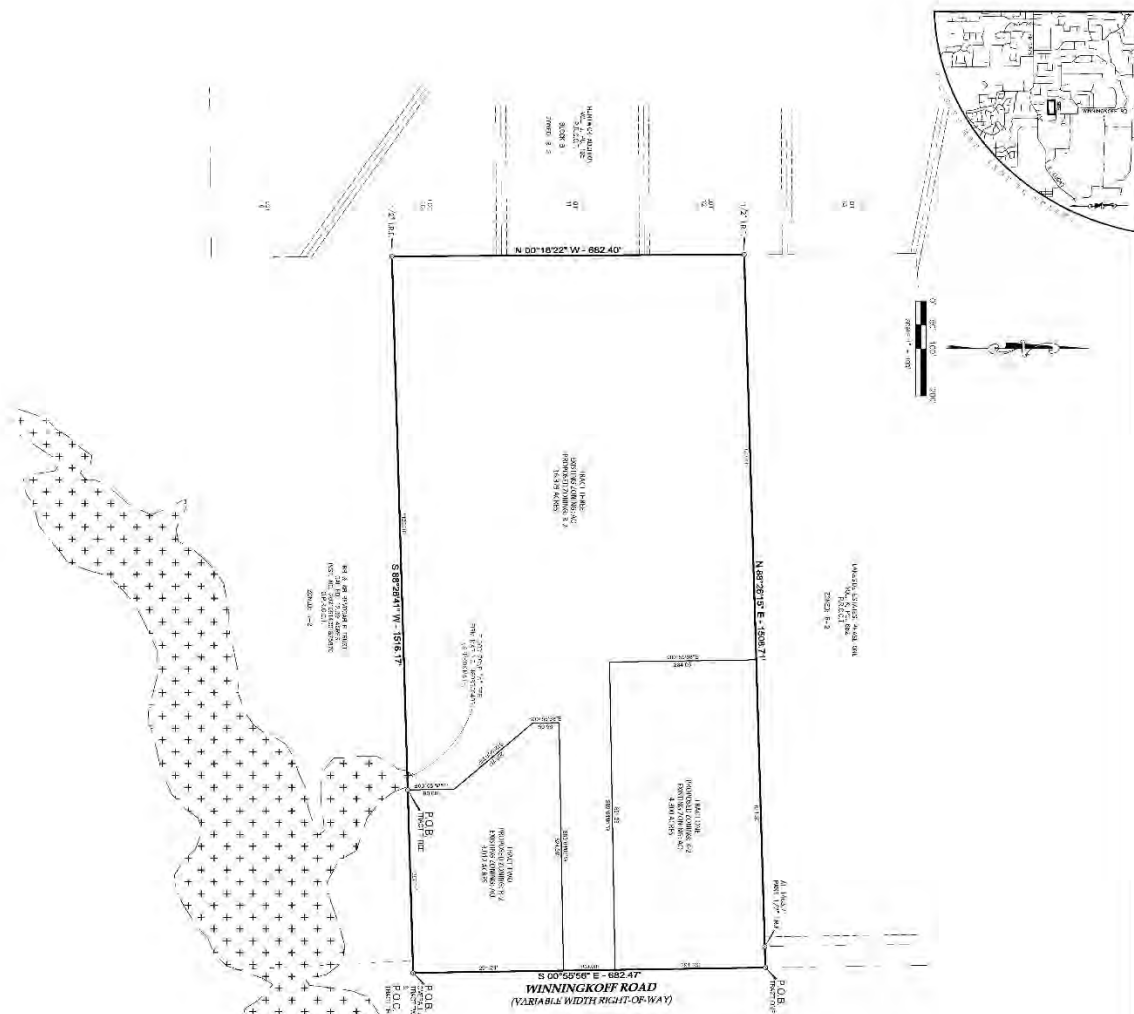
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Exhibit A  
City of Lucas  
Ordinance # 2023-06-00982; Change In Zoning; ±23.691 Acres For 355 Winningkoff Road  
Approved: June 1, 2023



## **NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning & Zoning Commission of the City of Lucas, Texas, will conduct a Public Hearing on Thursday, May 11, 2023 at 6:30 p.m. and City Council will conduct a second Public Hearing on Thursday, June 1, 2023 at 6:30 p.m. at Lucas City Hall, 665 Country Club Road, Lucas, Texas to consider a request for a change in zoning from AO, Agricultural and Open Space, to R-2, Residential 2-acre, on a parcel of land commonly known as 355 Winningkoff Road, more particularly described as follows:

BEING 23.691 ACRES OF LAND LOCATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NUMBER 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING ALL OF THE JASON BLAKELY AND JESSICA BLAKELY CALLED 23.691 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2022000147928, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (O.P.R.C.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD (VARIABLE WIDTH RIGHT-OF-WAY) AT THE SOUTHEAST CORNER OF SAID 23.691 ACRE TRACT;

THENCE SOUTH 88 DEGREES 26 MINUTES 41 SECONDS WEST, LEAVING SAID CENTERLINE, A DISTANCE OF 1516.17 FEET TO A 1/2" IRON ROD FOUND IN THE EAST LINE OF THE HUNTWICK ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME J, PAGE 165, PLAT RECORDS, COLLIN COUNTY, TEXAS (P.R.C.C.T.) AT THE SOUTHWEST CORNER OF SAID 23.691 ACRE TRACT AND THE COMMON NORTHWEST CORNER OF THE RB & KB REVOCABLE TRUST CALLED 12.39 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 20210914001875870, (O.P.R.C.C.T.);

THENCE NORTH 00 DEGREES 18 MINUTES 22 SECONDS WEST, ALONG THE EAST LINE OF SAID HUNTWICK ADDITION, A DISTANCE OF 682.40 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHWEST CORNER OF SAID 23.691 ACRE TRACT, SAME BEING THE COMMON SOUTHWEST CORNER OF THE LAKESIDE ESTATES, PHASE ONE ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME K, PAGE 682, (P.R.C.C.T.);

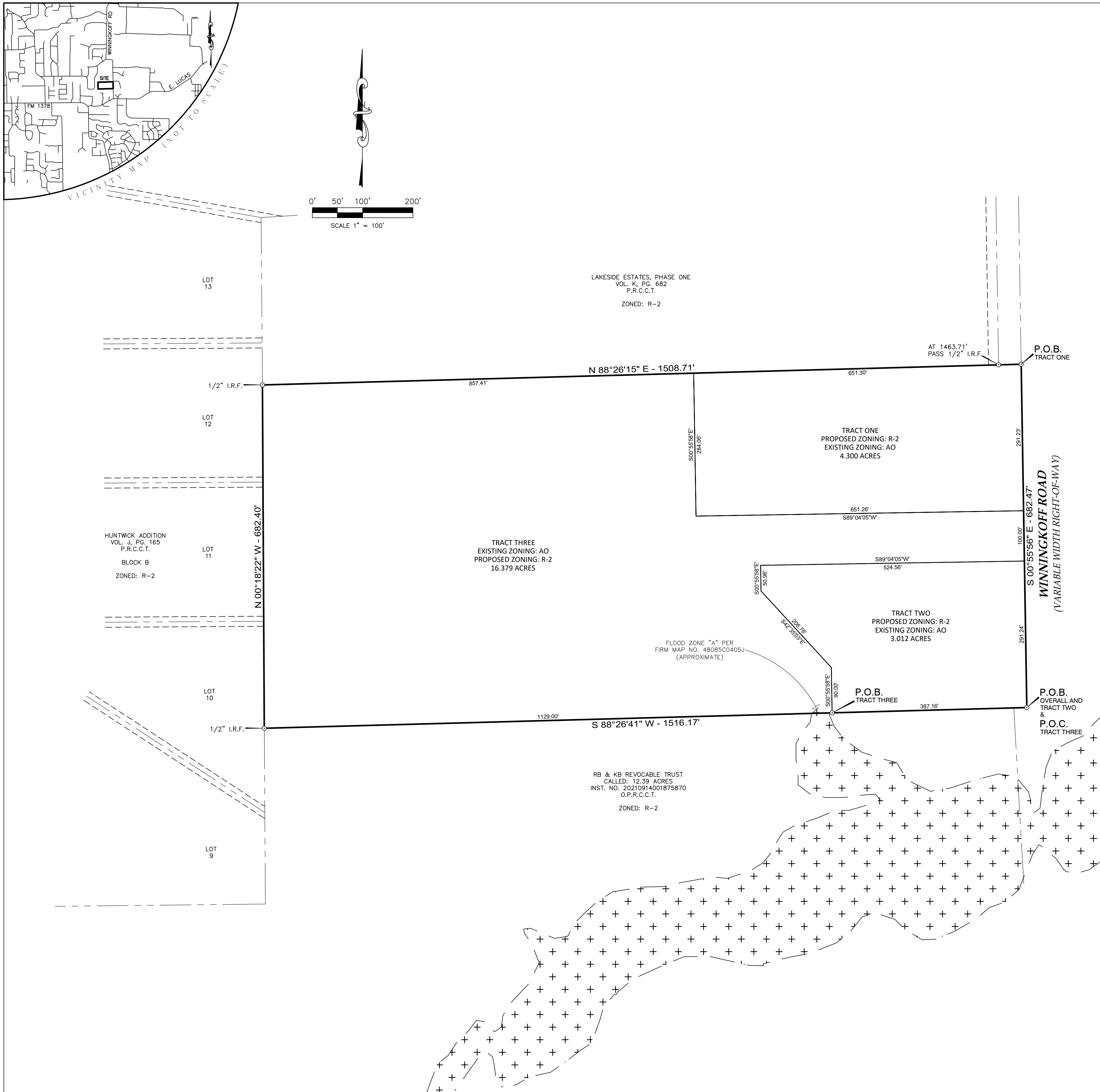
THENCE NORTH 88 DEGREES 26 MINUTES 15 SECONDS EAST, ALONG THE COMMON LINE OF SAID 23.691 ACRE TRACT AND SAID LAKESIDE ESTATES, PHASE ONE, AT A DISTANCE OF 1463.71 FEET PASS A 1/2" IRON ROD FOUND AND CONTINUING FOR A TOTAL DISTANCE OF 1508.71 FEET TO A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD AT THE NORTHEAST CORNER OF SAID 23.691 ACRE TRACT;

THENCE SOUTH 00 DEGREES 55 MINUTES 56 SECONDS EAST, ALONG THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD, A DISTANCE OF



682.47 FEET TO THE POINT OF BEGINNING AND CONTAINING 23.691 ACRES OF LAND, MORE OR LESS.

Those wishing to speak FOR or AGAINST the above item are invited to attend. If you are unable to attend and have comments you may send them to City of Lucas, City Secretary, 665 Country Club Road, Lucas, Texas 75002 or email [eday@lucastexas.us](mailto:eday@lucastexas.us), and it will be presented at the hearing. If you have any questions about the above hearing, you may contact [jhilbourn@lucastexas.us](mailto:jhilbourn@lucastexas.us)



LEGAL DESCRIPTION - OVERALL

**BEING 23.691 ACRES OF LAND LOCATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NUMBER 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING ALL OF THE JASON BLAKELY AND JESSICA BLAKELY CALLED 23.691 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2022000147928, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS [O.P.R.C.C.T.] AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:**

**BEGINNING AT A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGOFF ROAD [VARIABLE WIDTH RIGHT-OF-WAY] AT THE SOUTHEAST CORNER OF SAID 23.691 ACRE TRACT;**

**THENCE SOUTH 08 DEGREES 26 MINUTES 41 SECONDS WEST, LEAVING SAID CENTERLINE, A DISTANCE OF 1516.17 FEET TO A 1/2" IRON ROD FOUND IN THE EAST LINE OF THE HUNTWICK ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME 1, PAGE 165, PLAT RECORDS, COLLIN COUNTY, TEXAS [P.R.C.C.T.] AT THE SOUTHWEST CORNER OF SAID 23.691 ACRE TRACT AND THE COMMON NORTHWEST CORNER OF THE RB & KB REVOCABLE TRUST CALLED 12.39 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 20210914001875870, [O.P.R.C.C.T.];**

**THENCE NORTH 00 DEGREES 38 MINUTES 22 SECONDS WEST, ALONG THE EAST LINE OF SAID HUNTWICK ADDITION, A DISTANCE OF 682.40 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHWEST CORNER OF SAID 23.691 ACRE TRACT, SAME BEING THE COMMON SOUTHWEST CORNER OF THE LAKESIDE ESTATES, PHASE ONE ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME K, PAGE 682, [P.R.C.C.T.];**

**THENCE NORTH 08 DEGREES 26 MINUTES 15 SECONDS EAST, ALONG THE COMMON LINE OF SAID 23.691 ACRE TRACT AND SAID LAKESIDE ESTATES, PHASE ONE, AT A DISTANCE OF 1463.71 FEET PASS A 1/2" IRON ROD FOUND AND CONTINUING FOR A TOTAL DISTANCE OF 1508.71 FEET TO A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGOFF ROAD AT THE NORTHEAST CORNER OF SAID 23.691 ACRE TRACT;**

**THENCE SOUTH 00 DEGREES 55 MINUTES 56 SECONDS EAST, ALONG THE APPROXIMATE CENTERLINE OF WINNINGOFF ROAD, A DISTANCE OF 682.47 FEET TO THE POINT OF BEGINNING AND CONTAINING 23.691 ACRES OF LAND, MORE OR LESS.**

LEGAL DESCRIPTION - TRACT ONE

**BEGINNING 4.300 ACRES OF LAND** LOCATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NUMBER 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING A PORTION OF THE JASON BLAKEY AND JESSICA BLAKEY CALLED 23.691 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 202000147928, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (O.P.R.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD (VARIABLE WIDTH RIGHT-OF-WAY) AT THE NORTHEAST CORNER OF SAID 23.691 ACRE TRACT;

THENCE SOUTH 00 DEGREES 55 MINUTES 56 SECONDS EAST, ALONG THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD, SAME BEING THE EAST LINE OF SAID 23.691 ACRE TRACT, A DISTANCE OF 291.23 FEET;

THENCE LEAVING SAID CENTERLINE AND GOING OVER AND ACROSS SAID 23.691 ACRE TRACT, THE FOLLOWING TWO (2) COURSES AND DISTANCES:

1) SOUTH 89 DEGREES 04 MINUTES 05 SECONDS WEST, A DISTANCE OF 651.26 FEET

2) NORTH 00 DEGREES 55 MINUTES 58 SECONDS WEST, A DISTANCE OF 284.06 FEET TO THE NORTH LINE OF SAID 23.691 ACRE TRACT AND THE COMMON SOUTH LINE OF LAKESIDE ESTATES, PHASE ONE, AN ADDITION AS RECORDED IN VOLUME K, PAGE 682, PLAT RECORDS, COLLIN COUNTY, TEXAS;

THENCE NORTH 88 DEGREES 26 MINUTES 15 SECONDS EAST, ALONG SAID COMMON LINE A DISTANCE OF 651.30 FEET TO THE POINT OF BEGINNING AND CONTAINING 4.300 ACRES OF LAND, MORE OR LESS.

LEGAL DESCRIPTION - TRACT TWO

**BEING 3.012 ACRES** OF LAND LOCATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NUMBER 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING A PORTION OF THE JASON BLAKELY AND JESSICA BLAKELY CALLED 23.691 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2022000147928, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (O.P.R.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD (VARIABLE WIDTH RIGHT-OF-WAY) AT THE SOUTHEAST CORNER OF SAID 23.691 ACRE TRACT;

THENCE SOUTH 88 DEGREES 26 MINUTES 41 SECONDS WEST, LEAVING SAID CENTERLINE AND GOING ALONG THE SOUTH LINE OF SAID 23.691 ACRE TRACT, A DISTANCE OF 387.16 FEET;

THENCE GOING OVER AND ACROSS SAID 23.691 ACRE TRACT, THE FOLLOWING FOUR (4) COURSES AND DISTANCES:

- 1) NORTH 00 DEGREES 55 MINUTES 58 SECONDS WEST, A DISTANCE OF 90.00 FEET;
- 2) NORTH 42 DEGREES 35 MINUTES 03 SECONDS WEST, A DISTANCE OF 206.76 FEET;
- 3) NORTH 00 DEGREES 55 MINUTES 58 SECONDS WEST, A DISTANCE OF 50.96 FEET;
- 4) NORTH 89 DEGREES 04 MINUTES 05 SECONDS EAST, A DISTANCE OF 524.56 FEET TO THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD;

THENCE SOUTH 00 DEGREES 55 MINUTES 56 SECONDS EAST, ALONG THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD, A DISTANCE OF 291.24 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.012 ACRES OF LAND, MORE OR LESS.

LEGAL DESCRIPTION - TRACT THREE

**BEING 16.379 ACRES** OF LAND LOCATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NUMBER 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING A PORTION OF THE JASON BLAKEY AND JESSICA BLAKEY CALLED 23.691 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2022000147928, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (O.P.R.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD (VARIABLE WIDTH RIGHT-OF-WAY) AT THE SOUTHEAST CORNER OF SAID 23.691 ACRE TRACT;

THENCE SOUTH 88 DEGREES 26 MINUTES 41 SECONDS WEST, LEAVING SAID CENTERLINE AND ALONG THE SOUTH LINE OF SAID 23.691 ACRE TRACT, A DISTANCE OF 387.16 FEET TO THE POINT OF BEGINNING OF THE THEREIN DESCRIBED TRACT;

THENCE SOUTH 88 DEGREES 26 MINUTES 41 SECONDS WEST, A DISTANCE OF 1129.00 FEET TO A 1/2" IRON ROD FOUND IN THE EAST LINE OF THE HUNTWICK ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME J, PAGE 165, PLAT RECORDS, COLLIN COUNTY, TEXAS (P.R.C.T.) AT THE SOUTHWEST CORNER OF SAID 23.691 ACRE TRACT AND THE COMMON NORTHWEST CORNER OF THE RB & KB REVOCABLE TRUST CALLED 12.39 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 20210914001875870, (O.P.R.C.T.);

THENCE NORTH 00 DEGREES 18 MINUTES 22 SECONDS WEST, ALONG THE EAST LINE OF SAID HUNTWICK ADDITION, A DISTANCE OF 682.40 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHWEST CORNER OF SAID 23.691 ACRE TRACT, SAME BEING THE COMMON SOUTHWEST CORNER OF THE LAKESIDE ESTATES, PHASE ONE ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME K, PAGE 682, (P.R.C.T.);

THENCE NORTH 88 DEGREES 26 MINUTES 15 SECONDS EAST, ALONG THE COMMON LINE OF SAID 23.691 ACRE TRACT AND SAID LAKESIDE ESTATES, PHASE ONE, A DISTANCE OF 857.41 FEET;

THENCE LEAVING SAID COMMON LINE AND GOING OVER AND ACROSS SAID 23.691 ACRE TRACT, THE FOLLOWING TWO (2) COURSES AND DISTANCES:

- 1) SOUTH 00 DEGREES 55 MINUTES 58 SECONDS EAST, A DISTANCE OF 284.06 FEET;
- 2) NORTH 89 DEGREES 04 MINUTES 05 SECONDS EAST, A DISTANCE OF 651.26 FEET TO THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD AND THE EAST LINE OF SAID 23.691 ACRE TRACT;

THENCE SOUTH 00 DEGREES 55 MINUTES 56 SECONDS EAST, ALONG SAID APPROXIMATE CENTERLINE AND EAST LINE, A DISTANCE OF 100.00 FEET;

THENCE LEAVING SAID APPROXIMATE CENTERLINE AND GOING OVER AND ACROSS SAID 23.691 ACRE TRACT, THE FOLLOWING FOUR (4) COURSES AND DISTANCES:

- 1) SOUTH 89 DEGREES 04 MINUTES 05 SECONDS WEST, A DISTANCE OF 524.56 FEET;
- 2) SOUTH 00 DEGREES 55 MINUTES 58 SECONDS EAST, A DISTANCE OF 50.96 FEET;
- 3) SOUTH 42 DEGREES 35 MINUTES 03 SECONDS EAST, A DISTANCE OF 206.76 FEET;
- 4) SOUTH 00 DEGREES 55 MINUTES 58 SECONDS EAST, A DISTANCE OF 90.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 16.379 ACRES OF LAND, MORE OR LESS.

OWNER  
JASON & JESSICA BLAKELY  
355 WINNINGKOFF ROAD  
LUCAS, TEXAS 75002  
(972) 424-4070

# SAVINO

## ZONING EXHIBIT

BEING  
23.691 ACRES  
SITUATED IN THE  
PETER F. LUCAS SURVEY, A-537  
TOWN OF LUCAS  
COLLIN COUNTY, TEXAS



**O'NEAL SURVEYING CO.**  
205 WINDCO CIR., STE. 100  
WYLIE, TX 75098  
TBPB FIRM # 10194132  
WWW.ONEALSURVEYING.COM

DATE: MARCH 14, 2023

SHEET 1 OF 1

**BEING 23.691 ACRES** OF LAND LOCATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NUMBER 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING ALL OF THE JASON BLAKELY AND JESSICA BLAKELY CALLED 23.691 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2022000147928, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (O.P.R.C.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD (VARIABLE WIDTH RIGHT-OF-WAY) AT THE SOUTHEAST CORNER OF SAID 23.691 ACRE TRACT;

THENCE SOUTH 88 DEGREES 26 MINUTES 41 SECONDS WEST, LEAVING SAID CENTERLINE, A DISTANCE OF 1516.17 FEET TO A 1/2" IRON ROD FOUND IN THE EAST LINE OF THE HUNTWICK ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME J, PAGE 165, PLAT RECORDS, COLLIN COUNTY, TEXAS (P.R.C.C.T.) AT THE SOUTHWEST CORNER OF SAID 23.691 ACRE TRACT AND THE COMMON NORTHWEST CORNER OF THE RB & KB REVOCABLE TRUST CALLED 12.39 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 20210914001875870, (O.P.R.C.C.T.);

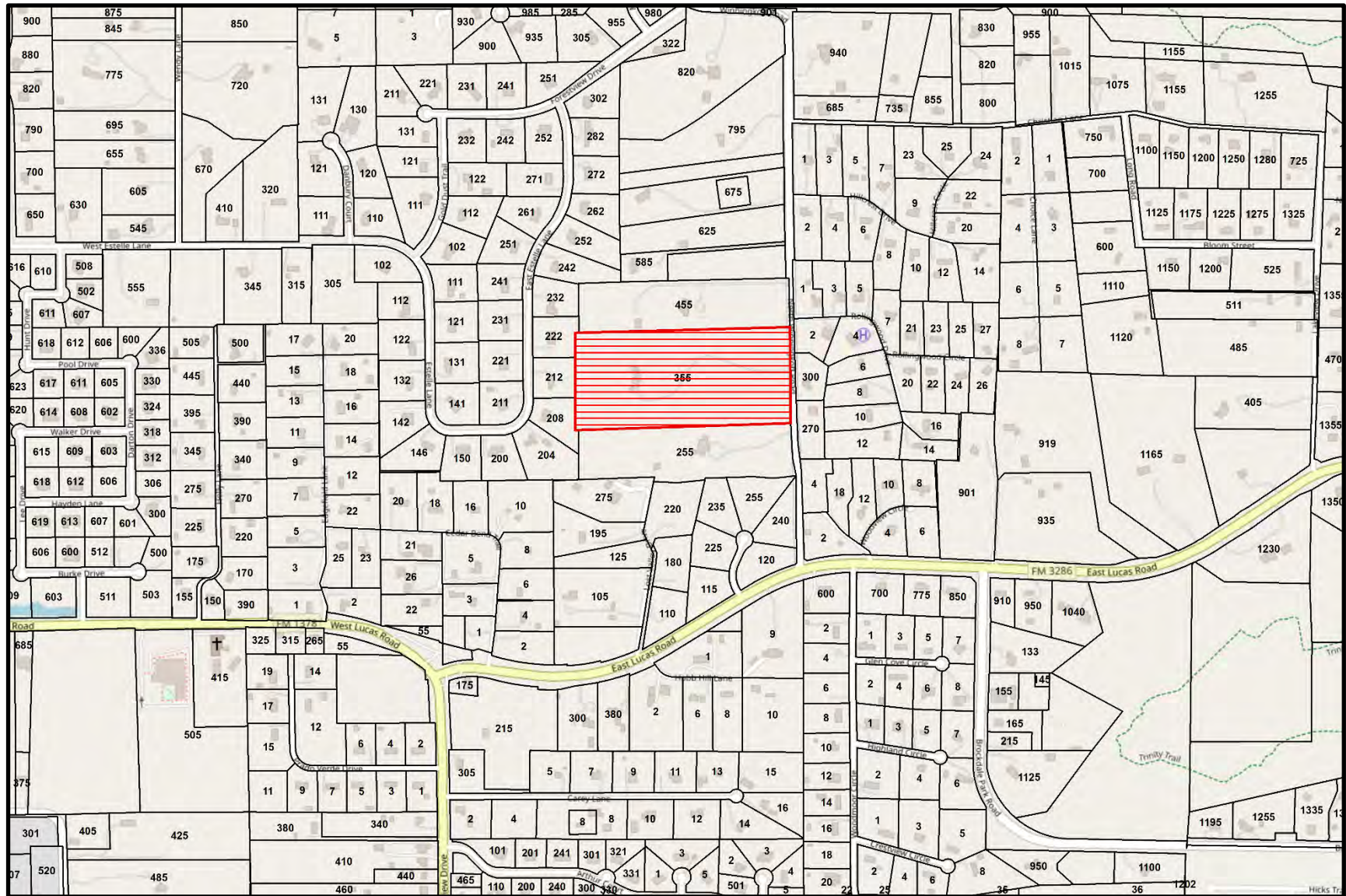
THENCE NORTH 00 DEGREES 18 MINUTES 22 SECONDS WEST, ALONG THE EAST LINE OF SAID HUNTWICK ADDITION, A DISTANCE OF 682.40 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHWEST CORNER OF SAID 23.691 ACRE TRACT, SAME BEING THE COMMON SOUTHWEST CORNER OF THE LAKESIDE ESTATES, PHASE ONE ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME K, PAGE 682, (P.R.C.C.T.);

THENCE NORTH 88 DEGREES 26 MINUTES 15 SECONDS EAST, ALONG THE COMMON LINE OF SAID 23.691 ACRE TRACT AND SAID LAKESIDE ESTATES, PHASE ONE, AT A DISTANCE OF 1463.71 FEET PASS A 1/2" IRON ROD FOUND AND CONTINUING FOR A TOTAL DISTANCE OF 1508.71 FEET TO A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD AT THE NORTHEAST CORNER OF SAID 23.691 ACRE TRACT;

THENCE SOUTH 00 DEGREES 55 MINUTES 56 SECONDS EAST, ALONG THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD, A DISTANCE OF 682.47 FEET TO THE POINT OF BEGINNING AND CONTAINING 23.691 ACRES OF LAND, MORE OR LESS.



# LOCATION MAP: 355 WINNINGKOFF ROAD







# City of Lucas City Council Agenda Request June 1, 2023

Item No. 04

Requester: Development Services Director Joe Hilbourn

## **Agenda Item Request**

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Conduct a public hearing and consider approving a request for a Planned Development zoning overlay on a parcel of land zoned Commercial Business (CB) on a tract of land being 42.339 acres (1,884,296 square feet) in the James Anderson Survey, Abstract Number 17, City of Lucas, Collin County, Texas, more commonly known as the Hunt tract at the northwest corner of the Parker Road and Country Club Road intersection. **(Cancelled at the request of the applicant.)**

- A. Presentation by Development Services Director Joe Hilbourn
- B. Conduct public hearing
- C. Take action on zoning change request

## **Background Information**

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This lot is 42.339 acres of land currently located in a Commercial Business (CB) zoning district. The applicant had planned to propose a planned development, with uses including retail, fitness, gas station, and restaurants.

This item was removed from the May 11, 2023 Planning and Zoning Commission meeting at the applicant's request. This item must be removed from the agenda.

## **Attachments/Supporting Documentation**

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NA

## **Budget/Financial Impact**

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NA

## **Recommendation**

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NA

## **Motion**

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There is no motion needed for this item.



# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 05

Requester: City Secretary Erin Flores

#### **Agenda Item Request**

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Consent Agenda:

- A. Approval of the minutes of the May 18, 2023 City Council meeting.

#### **Background Information**

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NA

#### **Attachments/Supporting Documentation**

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- 1. May 18, 2023 City Council Meeting Minutes

#### **Budget/Financial Impact**

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NA

#### **Recommendation**

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City staff recommends approval of the Consent Agenda.

#### **Motion**

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I make a motion to approve the Consent Agenda as presented.



## MINUTES

### CITY COUNCIL REGULAR MEETING

May 18, 2023 | 6:30 PM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

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#### City Councilmembers Present:

Mayor Jim Olk  
Councilmember Tim Johnson  
Councilmember David Keer  
Councilmember Tim Baney  
Councilmember Phil Lawrence (*video conference*)  
Councilmember Debbie Fisher  
Incoming Councilmember Dusty Kuykendall

#### City Councilmembers Absent:

Mayor Pro Tem Kathleen Peele

#### City Staff Present:

City Manager Joni Clarke  
Assistant City Manager Kent Souriyasak  
City Secretary Erin Flores  
Public Works Director Scott Holden  
Development Services Director Joe Hilbourn  
Management Analyst Joshua Menhennett  
Contract Engineer Joe Grajewski  
City Attorney Joe Gorfida  
Deputy Daniel Gillespie

The regular City Council meeting was called to order at 6:30 pm.

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#### Citizen Input

##### 1. Citizen Input

Greg Jacobs, 1415 Ford Lane, spoke thanking the City Council for the position the City took regarding the opposition of the expansion of the McKinney National Airport.

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#### Community Interest

##### 2. Items of Community Interest

Mayor Olk presented Councilmember Baney with a proclamation, honoring his service on the City Council.

Mayor Olk gave items of community interest including:

- Lucas Car Show
- Art in Public Places
- Lucas Farmers Market
- Lucas Fire-Rescue 50th Birthday
- TxDOT Public Meeting

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#### Consent Agenda

##### 3. Consent Agenda:

###### A. Approval of the minutes of the May 4, 2023 City Council meeting.

**MOTION:** A motion was made by Councilmember Johnson, seconded by Councilmember Baney, to approve the Consent Agenda as presented. The motion passed unanimously by a 6 to 0 vote, with Mayor Pro Tem Peele absent.

## **Regular Agenda**

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4. **Administer the Oath of Office, Statement of Officer and Certificate of Election to City Council incumbent Tim Johnson, City Council Seat 1 and Dusty Kuykendall, City Council Seat 2 and receive remarks from incoming Councilmembers.**

Councilmembers Tim Johnson and Dusty Kuykendall were sworn in and signed the Oath of Office and Statement of Officer. Mayor Olk welcomed Councilmember Kuykendall to the City Council. Outgoing Councilmember Baney thanked the City Council and staff for working with him during his time served.

**MOTION:** There was no motion needed on this item.

5. **Consider an update by Texas Department of Transportation (TxDOT) Area Engineer Jennifer Vorster, PE, regarding the following projects:**

1. **Update on the status of the intersection of Country Club Road (FM 1378) and East Lucas Road (FM 3286) commonly referred to as the Bait Shop Intersection.**
2. **Reconstruction update regarding Angel Parkway (FM 2551).**
3. **Update on the maintenance activities on Estates Parkway (FM 2170).**
4. **Status of potential expansion to 4-lane divided roadway and drainage improvements to Country Club Road (FM 1378) from the Bait Shop Intersection to the Lucas Fire Station.**
5. **Discussion regarding a signal study at the intersection of Brockdale Park Road and East Lucas Road (FM 3286).**

Jennifer Vorster with TxDOT gave a presentation highlighting the update to the Bait Shop project indicating that there will be an estimated 26-month construction time, that the pedestrian surface trail will now be decomposed granite to facilitate existing horse traffic, that a wider turn lane will be added to accommodate horse trailers, and gave information regarding a public meeting on May 25, 2023 at Willow Springs Middle School for the public to give their input on the project.

Mrs. Vorster explained that 2170 Estates Parkway has been laid with overlay, but that final striping and signs will still need to be completed. Councilmember Lawrence gave concerns related to condition of the driveways on Estates Parkway, specifically Orchard Road and Rimrock Road. Mrs. Vorster indicated she would bring his concerns to the contractors.

Councilmember Fisher advised she is concerned about having an emergency in the area of Edgefield Lane and only a right-hand turn being available. Councilmember Fisher opined that the changes to Edgefield Lane will make the road more dangerous. Mrs. Vorster advised a left-turn lane would not be possible in that area. Councilmember Fisher also addressed the guardrail near the intersection of West Lucas Road and Southview Drive, advising it is a hazard due to its proximity to the road. Mrs. Vorster responded that the guardrail is on the schedule to be replaced, and after the intersection is replaced the guardrail will go away. Councilmember Keer asked for Ingram Lane to be added to the list of driveways that need to be fixed.



Councilmember Johnson asked if there could be a cut in the curve so that an eastbound emergency vehicle would have a cut to turn left into Cedar Bend, and sign it so that it is for emergency vehicles only. Mrs. Vorster advised that is not something TxDOT would typically do because people would use the road for inappropriate purposes and could cause accidents. Councilmember Johnson asked if the streetlights at the intersection of Estates Parkway could be hooded because they have a glare. Mrs. Vorster advised the lights are not supposed to be blue, that they have gone bad and they will be replaced.

Mrs. Vorster presented the proposed changes to the construction project, including adding grassy medians between the roads. Councilmember Fisher asked who would be responsible to care for grassy medians. Mrs. Vorster advised the maintenance would fall back on the City. Councilmember Fisher indicated access to the churches is a concern of hers. Councilmember Fisher indicated that the number of homes that will be impacted is a concern. Mrs. Vorster advised TxDOT will work with homeowners impacted by the construction. Councilmember Lawrence asked how many homes would be impacted. Mrs. Vorster advised it would be several homes. Councilmember Lawrence expounded upon past encounters of residents having land taken away and explained that it would be very problematic.

Ilene Mougel, 651 Stinson Road, commented that the ditch needs to be cleaned out on Stinson Road to the east. Mayor Olk advised Mrs. Mougel that project was already completed. Mrs. Mougel asked about traffic during the construction and how it would be diverted. Mayor Olk explained that lanes would be left open for traffic to continue to flow.

Mrs. Vorster advised that if the City would like a signal study performed at Brockdale Park Road, they can let her know and she will get that done. Mayor Olk advised the City would let her know at a future date. Mrs. Vorster advised she would have the signal engineers look at that intersection and gather information on it.

Councilmember Fisher asked if the Brockdale Park residents can be made to make a right-turn. Mayor Olk advised the issue can be brought back to discuss.

Councilmember Kuykendall asked how having a light at Brockdale would affect the traffic going into the Bait Shop. Mrs. Vorster advised lights are timed and set up to work with other lights nearby.

Ilene Mougel, 651 Stinson Road, spoke again, asking if Murphy Road was still going to be part of this project. Mrs. Vorster advised it will be a part of the project.

Greg Jacobs, 1415 Ford Lane, spoke asking if there could be a signal study on Blondy Jhune Road's west end, due to how backed up it is during peak hours.

Councilmember Lawrence asked if there is a way to adjust the signal to "go to sleep" in slow traffic times. Mrs. Vorster advised they do not do that, but that lights could flash yellow in some circumstances.

**MOTION:** There was no motion needed for this item.

**6. Consider appointing a City Council member to the vacant liaison position on the City of Lucas Parks and Open Space Board.**

Councilmember Baney recommended Councilmember Kuykendall take his place as the Parks and Open Space liaison. Mayor Olk asked if there were any volunteers. Councilmember Kuykendall volunteered for the position.

**MOTION:** A motion was made by Mayor Olk, seconded by Councilmember Lawrence, to appoint Councilmember Kuykendall to the vacant liaison position on the City of Lucas Parks and Open Space Board. The motion passed unanimously by a 6 to 0 vote, with Mayor Pro Tem Peele absent.

**7. Discuss updating the City of Lucas Code of Ordinances, Chapter 14 titled “Zoning” and create a timeline for review with established future milestones.**

Mayor Olk advised the Planning and Zoning Commission will be doing a full review of Chapter 14, with the exception of items that were recently updated, and that Councilmember Fisher provided some items to the Commission that she thought would be helpful. Mayor Olk advised he thought it would be a good idea for the Council to review Chapter 14 and bring forward their individual concerns to bring back at a future Council meeting. Councilmember Fisher advised she spoke with City Manager Clarke regarding charging impact fees for the large accessory dwelling units that could be rented. Councilmember Fisher advised it may be better to wait until the legislative session is over to see what bills will be passed that will impact the City’s codes. Mayor Olk suggested that the Council bring back their ideas in order to give direction to the Planning and Zoning Commission.

**MOTION:** There was no motion needed for this item.

**8. Consider the 88th Legislative Session and discuss any proposed bill or significant resolution that may have an impact on the City of Lucas and provide guidance to the City Attorney and City Manager.**

City Attorney Joe Gorfida gave updates on the Legislative Session and the movement of significant bills.

**MOTION:** There was no motion needed for this item.

## **Executive Agenda**

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**1. Executive Session:**

As authorized by Section 551.071 of the Texas Government Code, the City Council may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney regarding any item on the agenda at any time during the meeting. This meeting is closed to the public as provided in the Texas Government Code.

There was no executive session during this meeting.

**5. Reconvene from Executive Session and take any action necessary as a result of the Executive Session.**

There was no executive session during this meeting.

**10. Adjournment.**

**MOTION:** A motion was made by Councilmember Johnson, seconded by Councilmember Lawrence to adjourn the meeting at 8:04 pm. The motion passed unanimously by a 6 to 0 vote, with Mayor Pro Tem Peele absent.

APPROVED:

ATTEST:

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Mayor Jim Olk

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Erin Flores, City Secretary



# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 06

Requester: Development Services Director Joe Hilbourn

#### **Agenda Item**

---

Consider corrections to the request by Majed Khalaf on behalf of Mahmoud Properties for a site plan, landscape plan, and elevations for use as a commercial retail and office center on a 2.25-acre tract of land in the Jas Lovelady Survey, Abstract Number ABS A0538, Tract 14 situated in the City of Lucas, Collin County, Texas, located at 995 West Lucas Road.

#### **Background Information**

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This parcel of land is currently zoned for Commercial Business (CB), contains 2.25 acres of land, and proposes commercial retail and office space.

At the April 13, 2023 Planning and Zoning Commission meeting, this item was tabled in order to allow the developer to make the following corrections:

- Modify the building height for Building B to 15 feet with a parapet wall to accommodate the 30 foot setback from the property line, which will also require the east end of Building A to be modified.
- Modify the site plan to include the setback line on the east side of the property.
- Modify landscape plan to add clear paths from the parking lot to the entrances of businesses.
- Impervious cover amount modified to account for all concrete that will be in the plan.

The developer has made the necessary corrections. At the May 11, 2023 Planning and Zoning Commission meeting, a positive recommendation was given by a unanimous vote.

**Site Plan:** The site plan proposes three new buildings. Building A consists of 7,565 square feet on the first floor and 5,737 square feet on the second floor, for a total of 13,302 square feet. Building B is a single-story consisting of 8,654 square feet. Building C is a single-story consisting of 2,640 square feet. The total square footage for all buildings is 24,596 square feet. There are two existing buildings that will have to be demolished prior to the build out of the property. Total impervious cover permitted is 63,482 square feet (65%), total impervious proposed is 59,574 square feet (61%). 82 parking spaces are required, 82 spaces are provided. Minimum lot size permitted is 43,500 square feet, provided is 97,666 square feet. The water main is 8-inch looped. The 24-foot wide fire lanes meet the minimum standard for turn radius R30.

**Landscape Plan:** The total site area is 97,656 square feet. Landscape area required is 14,648 square feet, landscape area provided is 34,480 square feet. The 244 linear feet located on West Lucas Road requires 22 trees, and 22 are provided. Shrubs required are 98, and 98 are provided. Parking perimeter is 211 linear feet. 11 trees are required, 22 are provided. Shrubs required are 85, provided are 98. Parking interior landscape required is 1,672 square feet. Provided is 2,777 square feet. Interior parking trees required is 9, and 9 are provided. All interior landscape elements are irrigated. On the west side of the property the applicant is proposing a live screen in lieu of a masonry screen wall. The property on the east side is zoned R-2 (Residential 2-Acre) but has a



# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 06

specific use permit overlay permitting commercial use. The property is currently used as a real estate office and sports training facility. The applicant is proposing a total of 133 wax myrtle trees on the east and west side to replace the masonry screen wall.

**Elevations:** Building finishes are a mix of stucco, stone tile, and glazing. Wall signage proposed is 345.5 square feet. A maximum of two monument signs are permitted (one every 100 linear feet of road frontage). Two monument signs are proposed, both less than 40 square feet. The buildings meet the City's requirements for changes in direction. The maximum uninterrupted length is 60 feet. Max building height permitted is 35 feet. Side yard setbacks shall be a minimum of 20 feet. Where a Commercial Business (CB) zone abuts on the side of a property zoned as single-family residential, each portion of a building in excess of 10 feet in height shall be set back two additional feet for each additional one foot in height. Building A's west end is 34 feet, 6 inches tall, east end is 19 feet, 4 inches tall. Building B is 19 feet, 4 inches tall. Building C is 21 feet tall. Buildings on the east side of the property are set back 30 feet so the maximum height permitted is 20 feet.

### Attachments/Supporting Documentation

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1. Site Plan, Landscape Plan, Elevations
2. Site Plan, Landscape Plan, Elevations Checklists
3. Application
4. OSSF Design
5. Civil Construction Plans
6. Location Map

### Budget/Financial Impact

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NA

### Recommendation

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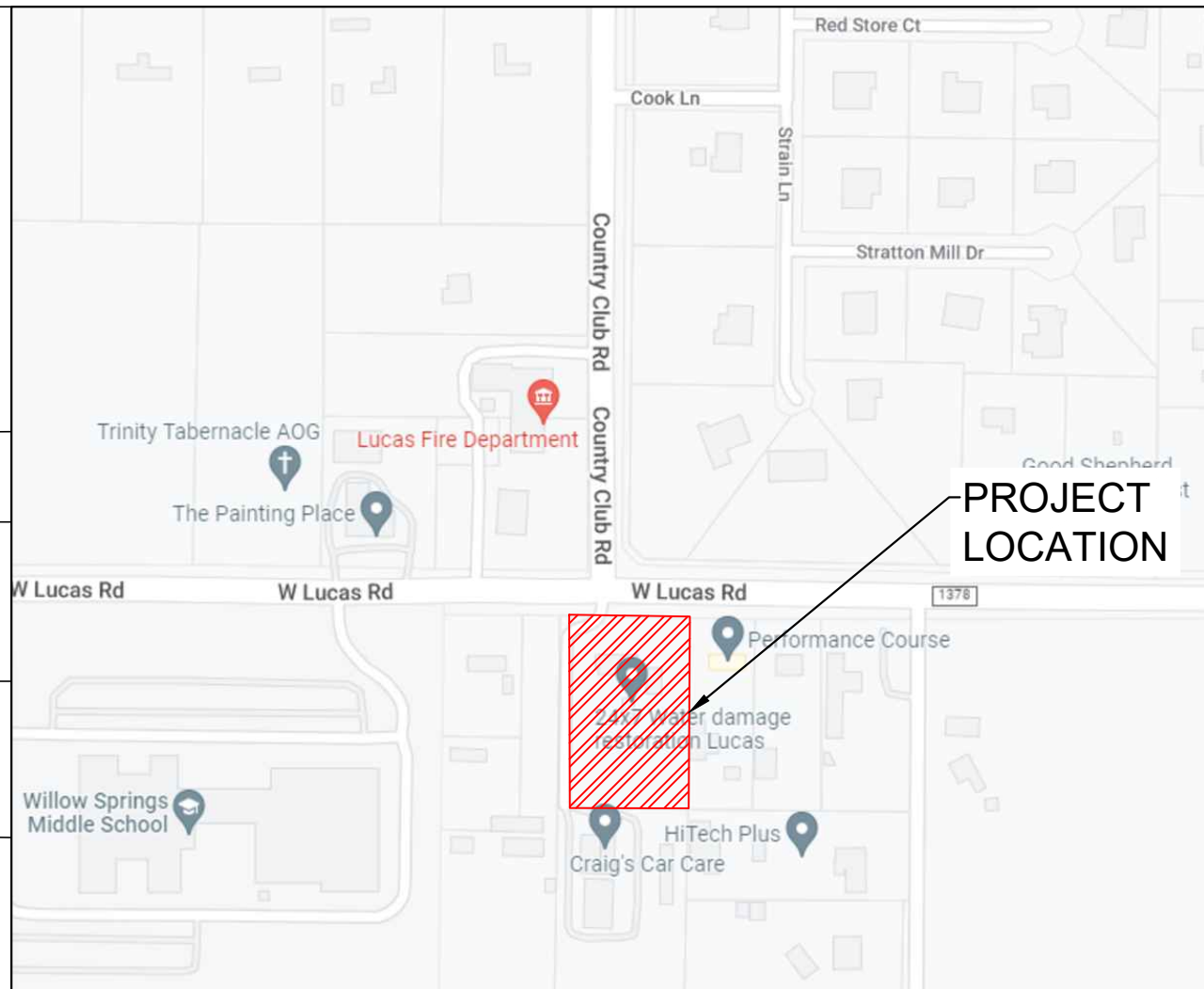
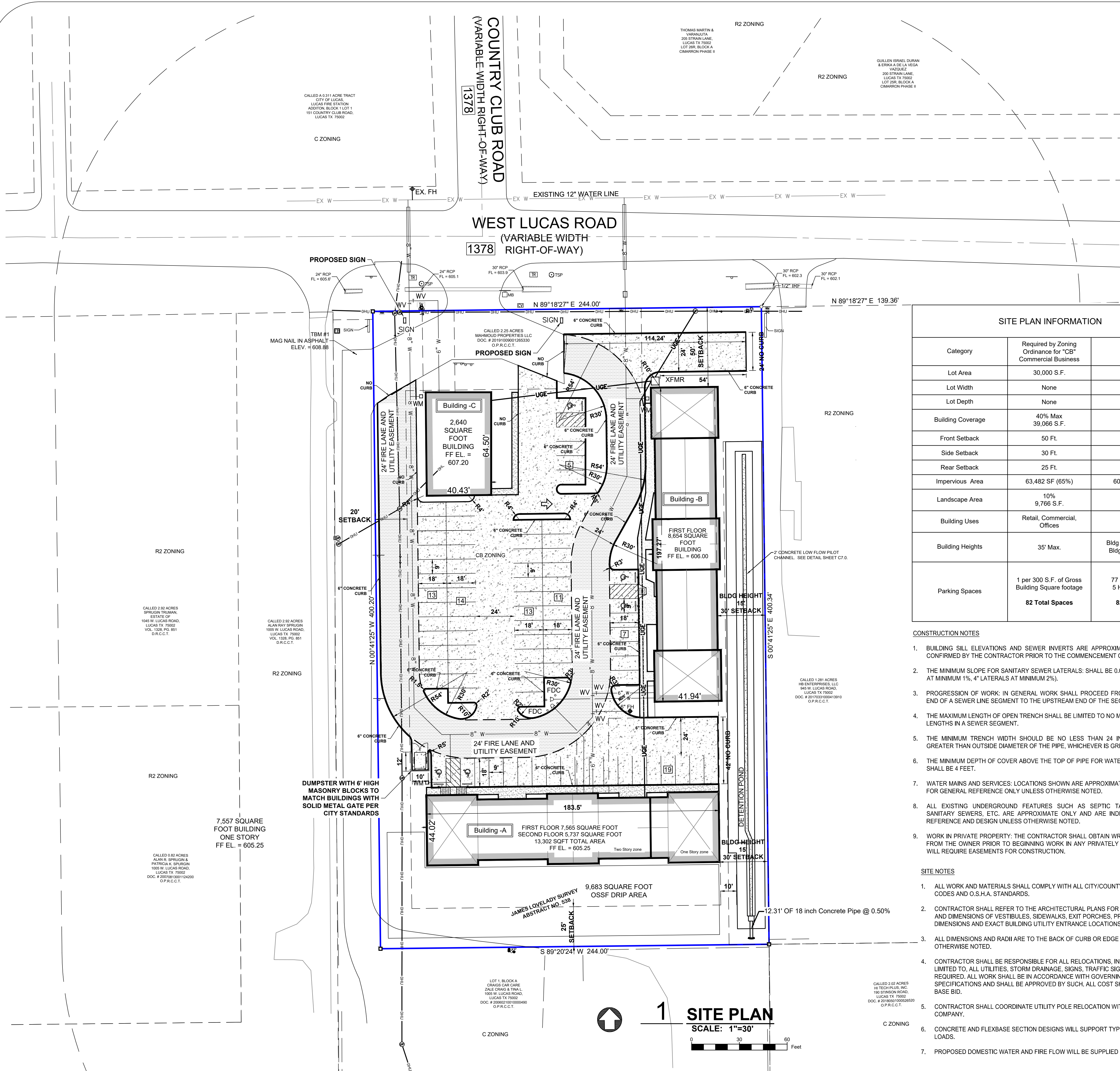
The Planning and Zoning Commission gave a unanimous recommendation for approval to the City Council.

### Motion

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I make a motion to approve/deny the request by Majed Khalaf on behalf of Mahmoud Properties for a site plan, landscape plan, and elevations for use as a commercial retail and office center on a 2.25-acre tract of land in the Jas Lovelady Survey, Abstract Number ABS A0538, Tract 14 situated in the City of Lucas, Collin County, Texas, located at 995 West Lucas Road.





2 LOCATION MAP  
SCALE: NTS

SITE PLAN INFORMATION		
Category	Required by Zoning Ordinance for "CB" Commercial Business	Provided
Lot Area	30,000 S.F.	97,666 S.F.
Lot Width	None	244.00 Ft.
Lot Depth	None	400.34 Ft.
Building Coverage	40% Max 39,066 S.F.	19.3% 18,859 S.F.
Front Setback	50 Ft.	52 Ft.
Side Setback	30 Ft.	30.00 Ft.
Rear Setback	25 Ft.	31.50 Ft.
Impervious Area	63,482 SF (65%)	60,257 SF (61.7%)
Landscape Area	10% 9,766 S.F.	38.3% 37,409 S.F.
Building Uses	Retail, Commercial, Offices	Offices
Building Heights	35' Max.	Bldg A 1st Story - 15 Ft. Bldg B 1 Story - 15 Ft.
Parking Spaces	1 per 300 S.F. of Gross Building Square footage 82 Total Spaces	77 Standard Spaces 5 Handicap Spaces 82 Total Spaces

- CONSTRUCTION NOTES
- BUILDING SILL ELEVATIONS AND SEWER INVERTS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
  - THE MINIMUM SLOPE FOR SANITARY SEWER LATERALS: SHALL BE 0.010 FT/FT (6" LATERALS AT MINIMUM 1%, 4" LATERALS AT MINIMUM 2%).
  - PROGRESSION OF WORK: IN GENERAL WORK SHALL PROCEED FROM THE DOWNSTREAM END OF A SEWER LINE SEGMENT TO THE UPSTREAM END OF THE SEGMENT.
  - THE MAXIMUM LENGTH OF OPEN TRENCH SHALL BE LIMITED TO NO MORE THAN THREE PIPE LENGTHS IN A SEWER SEGMENT.
  - THE MINIMUM TRENCH WIDTH SHOULD BE NO LESS THAN 24 INCHES OR ONE FOOT GREATER THAN OUTSIDE DIAMETER OF THE PIPE, WHICHEVER IS GREATER.
  - THE MINIMUM DEPTH OF COVER ABOVE THE TOP OF PIPE FOR WATER LINE INSTALLATIONS SHALL BE 4 FEET.
  - WATER MAINS AND SERVICES: LOCATIONS SHOWN ARE APPROXIMATE AND ARE INDICATED FOR GENERAL REFERENCE ONLY UNLESS OTHERWISE NOTED.
  - ALL EXISTING UNDERGROUND FEATURES SUCH AS SEPTIC TANKS, LEACH FIELDS, SANITARY SEWERS, ETC. ARE APPROXIMATE ONLY AND ARE INDICATED FOR GENERAL REFERENCE AND DESIGN UNLESS OTHERWISE NOTED.
  - WORK IN PRIVATE PROPERTY: THE CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO BEGINNING WORK IN ANY PRIVATELY OWNED AREAS WHICH WILL REQUIRE EASEMENTS FOR CONSTRUCTION.

- SITE NOTES
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SIDEWALKS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  - CONTRACTOR SHALL COORDINATE UTILITY POLE RELOCATION WITH THE UTILITY COMPANY.
  - CONCRETE AND FLEXBASE SECTION DESIGNS WILL SUPPORT TYPICAL FIRE APPARATUS LOADS.
  - PROPOSED DOMESTIC WATER AND FIRE FLOW WILL BE SUPPLIED BY CITY OF LUCAS.

- LEGEND - SITE PLAN
- PROPERTY LINE
  - ADJACENT PROPERTY LINE
  - BUILDING SETBACK EASEMENT
  - FIRE LANE STRIPING
  - PROPOSED WATER LINE
  - PROPOSED SANITARY SEWER LINE
  - PROPOSED STORM SEWER LINE
  - EXISTING WATER LINE
  - EXISTING SANITARY SEWER LINE
  - EXISTING STORM SEWER LINE
  - EXISTING GAS LINE
  - EXISTING OVERHEAD ELECTRIC LINE
  - EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING UNDERGROUND TELEPHONE LINE
  - EXISTING UNDERGROUND CABLE LINE
  - PROPOSED CONCRETE PAVEMENT
  - PROPOSED FIRE LANE PAVEMENT
  - PROPOSED SIDEWALK
  - EXISTING ASPHALT PAVEMENT
  - EXISTING TREE TO REMAIN
  - PROPOSED FIRE HYDRANT
  - PROPOSED GATE VALVE
  - PROPOSED WATER METER
  - PROPOSED MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING GATE VALVE
  - EXISTING WATER METER
  - EXISTING MANHOLE
  - EXISTING POWER POLE

**SITE PLAN**

OWNER:  
MAHMOUD PROPERTIES LLC  
844 ELGIN COURT,  
ROCKWALL, TX 75032

ENGINEER:  
ROC DESIGN ENGINEERS  
Texas Firm F-13744  
9101 N. LBJ FWY, SUITE 570  
Dallas, Texas 75243  
Phone 972.639.8375

LUCAS COMMERCIAL CENTER

Called 2.25 Acres  
MAHMOUD PROPERTIES LLC  
DOC. # 20191009001265330  
O.P.R.C.C.T.

**ROC CIVIL**

**ROC DESIGN ENGINEERS**  
Superior Civil Engineering Service  
Texas Firm F-13744

9101 N. LBJ FWY, SUITE 570  
Dallas, Texas 75243  
Phone 972.639.8375

**LUCAS COMMERCIAL CENTER**

**995 WEST LUCAS ROAD,  
LUCAS, TEXAS 75002**

No. Revision/Issue Date


04/30/2023

MAJED A. KHALAF  
67826  
LICENSED PROFESSIONAL ENGINEER

Issued Date: 04-30-23  
Project No: 22014

Drawn By: JPK  
Checked By: MAK  
Designed By: JPK

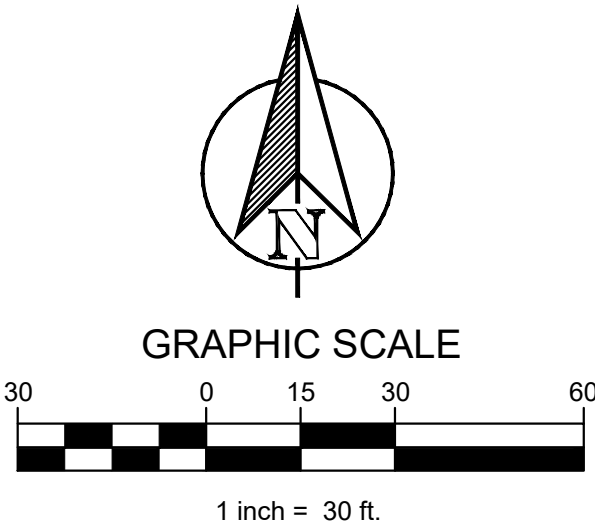
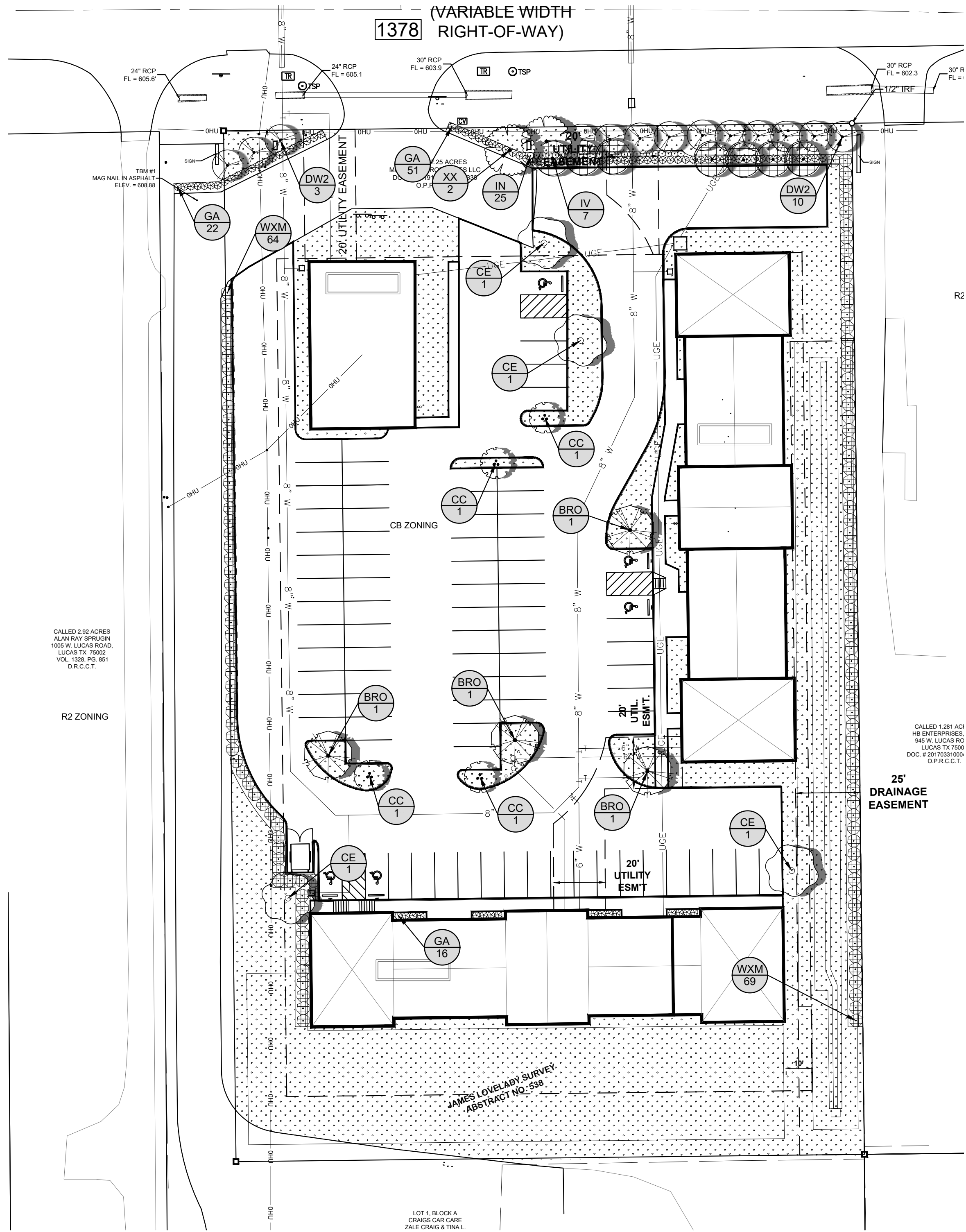
Project: 220014 Sheet

Date: 04/30/23




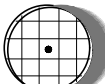





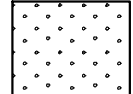
Scale: 1" = 30'

1 SITE PLAN  
SCALE: 1"=30'





PLANT\_SCHEDULE

TREES	CODE	COMMON / BOTANICAL NAME	SIZE	CONTAINER	QTY
	EX	Existing Tree to Remain protect during construction	exist.	exist.	2
	CC	Texas Red Bud / <i>Cercis canadensis</i> parking lot tree; multi-trunk	CONT.	3"Cal	4
	DW2	Desert Willow / <i>Chilopsis linearis</i> street tree (ornamental)	CONT.	3"Cal	13
	IV	Yaupon Holly / <i>Ilex vomitoria</i> street tree	CONT.	3"Cal	7
	BRO	Burr Oak / <i>Quercus macrocarpa</i> parking lot	CONT.	3"Cal	4
	CE	Cedar Elm / <i>Ulmus crassifolia</i> parking lot	CONT.	3"Cal	4
SHRUBS	CODE	COMMON / BOTANICAL NAME	SIZE	CONTAINER	QTY
	GA	Glossy Abelia / <i>Abelia grandiflora</i> 30" o.c	5 gal		89
	IN	Dwarf Yaupon / <i>Ilex vomitoria</i> `Nana` 24" o.c.	3 gal		25
	WXM	Southern Wax Myrtle / <i>Myrica cerifera</i> 60" o.c.	5 gal		133
GROUND COVERS	CODE	COMMON / BOTANICAL NAME	SIZE	CONTAINER	QTY
	CD	Bermuda Grass / <i>Cynodon dactylon</i> `tif 419`	sod		32,126 sf

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	97,656 SF
LANDSCAPE AREA REQUIRED:	14,648 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	34,480 SF
STREET TREES	
WEST LUCAS RD. FRONTAGE LENGTH:	244 LF
STREET TREES REQUIRED:	22 TREES (1 PER 20 LF OF FRONTAGE)
STREET TREES PROVIDED:	22 TREES
SHRUBS REQUIRED:	98 SHRUBS (8 PER 20 LF OF FRONTAGE)
SHRUBS PROVIDED:	98 SHRUBS
PARKING SCREENING	
PROVIDED:	PROVIDED
PARKING PERIMETER	
TREES REQUIRED:	211 LF
TREES PROVIDED:	11 TREES (1 PER 20 LF OF FRONTAGE)
SHRUBS REQUIRED:	22 TREES
SHRUBS PROVIDED:	85 SHRUBS (8 PER 20 LF OF FRONTAGE)
SHRUBS PROVIDED:	98 SHRUBS
PARKING INTERIOR	
TOTAL SITE AREA:	20,896 SF
LANDSCAPE AREA REQUIRED:	1,672 SF (8% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	2,777 SF
TREES REQUIRED:	9 TREES (1 TREE /10 SPACES; 82 SPACES)
TREES PROVIDED:	9 TREES
LOADING AREA SCREENING	
N/A	

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANTING AND IRRIGATION GUARANTEE

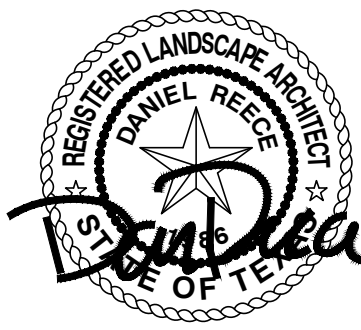
THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

ZONING CLASSIFICATION:  
CB (COMMERCIAL BUSINESS)

VICINITY MAP



NOT TO SCALE



5-1-23



No.	Revision/Issue	Date

LANDSCAPE PLANTING  
(CB ZONING)

Issued Date:	5-30-22
Project No:	22002
Drawn By:	ROC
Checked By:	MAK
Designed By:	ROC

Project	220014	Sheet
Date	10/13/22	LP-1
Scale	1" = 30'-0"	



PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS.
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCRUING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
  3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
  4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE REQUIRED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
  8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING
1. STAKES: 6" LONG GREEN METAL T-POSTS.
  2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED, PER SPECIFICATIONS SHALL BE APPLIED PER THE MANUFACTURERS LABELED RATES.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/- 1" OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  2. SOIL TESTING:
    - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECTS LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
    - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
    - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. PREPLANT TURF FERTILIZER (10-10-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
      - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
    - b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
  5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
    - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/- 0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING.
    - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
    - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
    - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
  6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

SUBMITTALS

1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
  2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
  3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
  4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURERS RECOMMENDED RATE.
  3. TRENCHING NEAR EXISTING TREES:
    - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
    - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
    - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
    - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

TREE PLANTING

1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH OF THE DEPTH OF THE ROOTBALL PLUS ONE TO FOUR INCHES.
  2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
  3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS FOR CONTAINER AND BOX TREES. REMOVE ANY POTENTIALLY GIRDLING AND OTHER ROOT DEFECTS (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
    - a. 1-2" TREES TWO STAKES PER TREE
    - b. 2-4" TREES THREE STAKES PER TREE
    - c. TREES OVER 4" CALIPER GUY AS NEEDED
    - d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
    - e. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
  4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
  5. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
  6. ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL, FROM ON-SITE OR IMPORT ADDITIONAL SOIL FROM AN OFF-SITE. IMPORTED SOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKES BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
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    - e. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
  7. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANTS ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
  2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
  3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
  2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
  3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
  4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
  5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- G. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
  2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALLS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

CLEAN UP

INSPECTION AND ACCEPTANCE

1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

LANDSCAPE MAINTENANCE

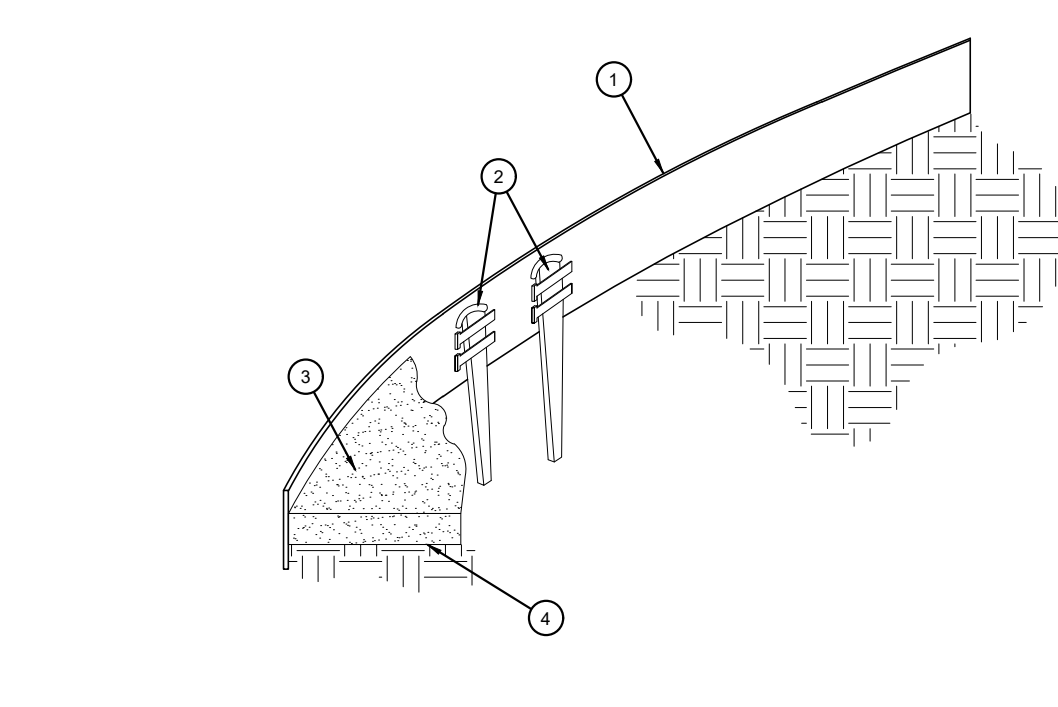
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWN, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
2. SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL, PRIOR TO FINAL ACCEPTANCE.
  - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOVED.

WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
3. PROVIDE A MINIMUM OF 10 COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

PROVIDE A MINIMUM OF 10 COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
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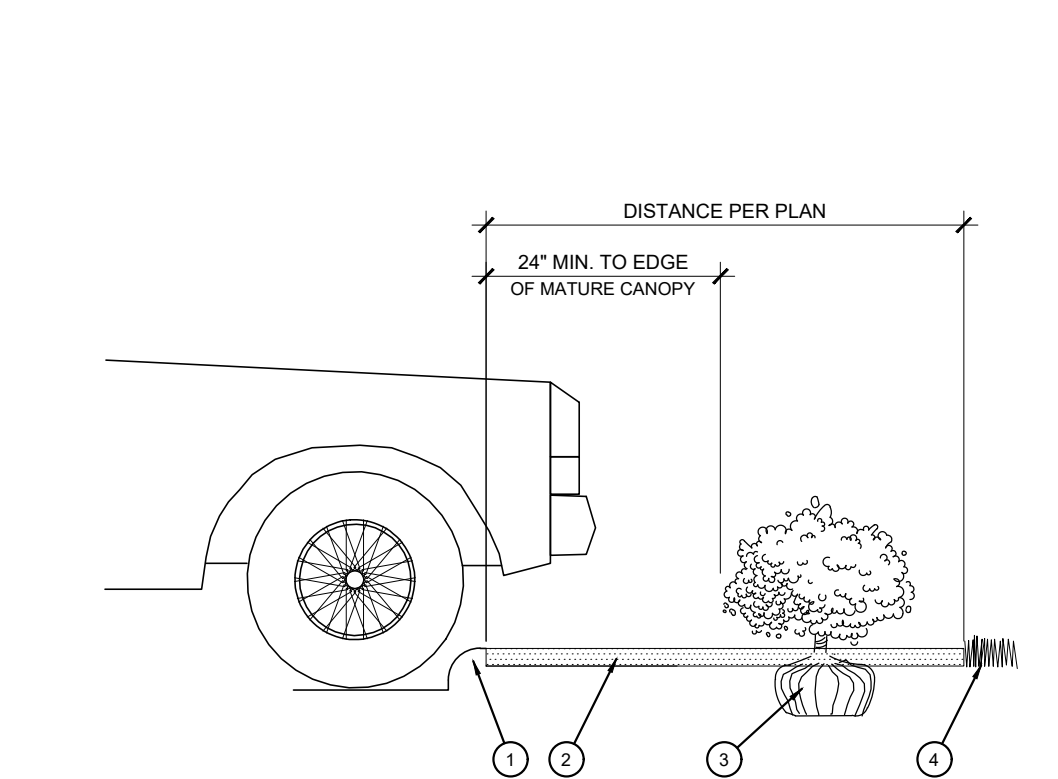


1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

- NOTES:
1. INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
  2. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
  3. TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

D. STEEL EDGING

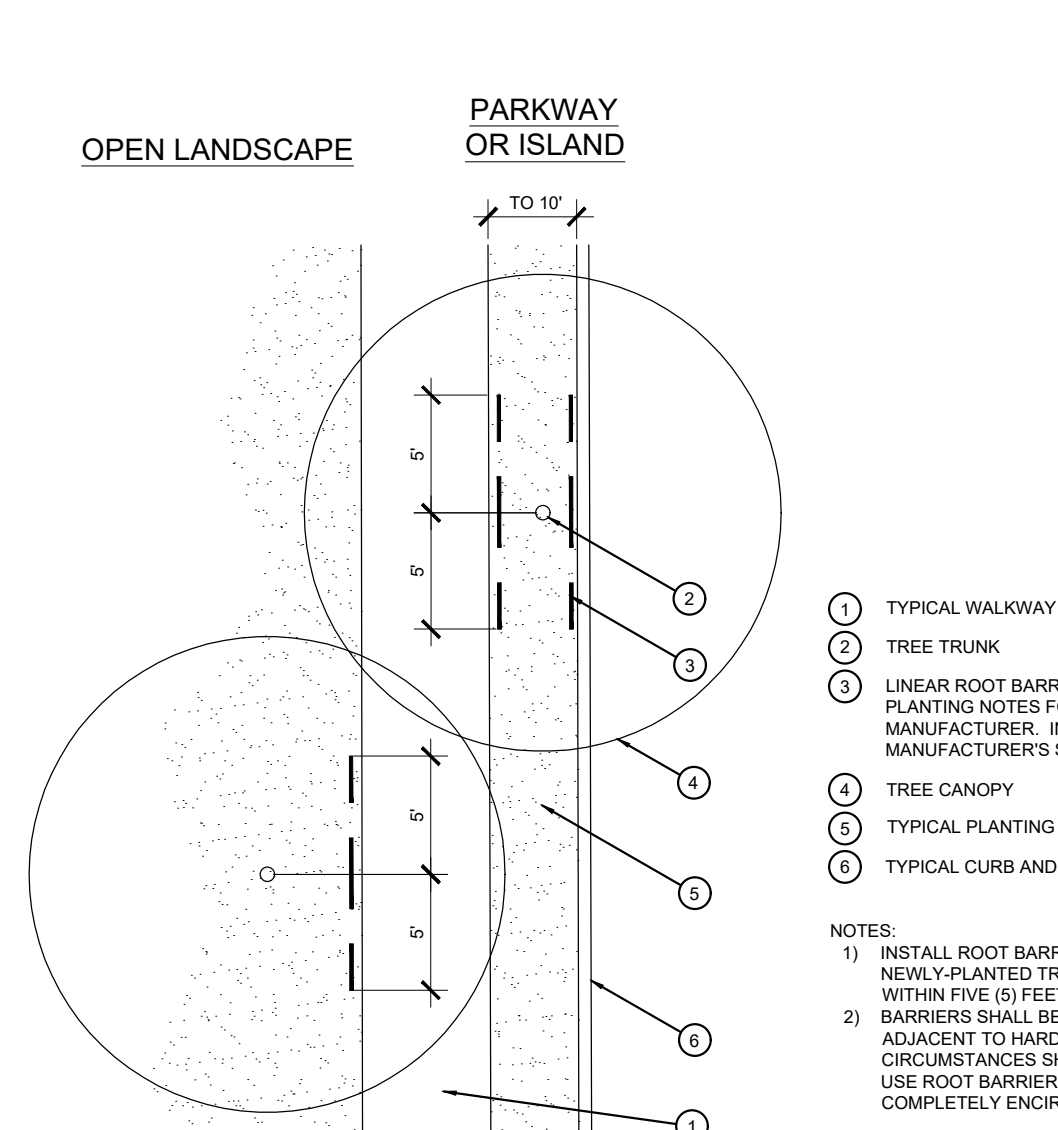
SCALE: NOT TO SCALE



1. CURB
2. MULCH LAYER
3. PLANT
4. TURF (WHERE SHOWN ON PLANS)

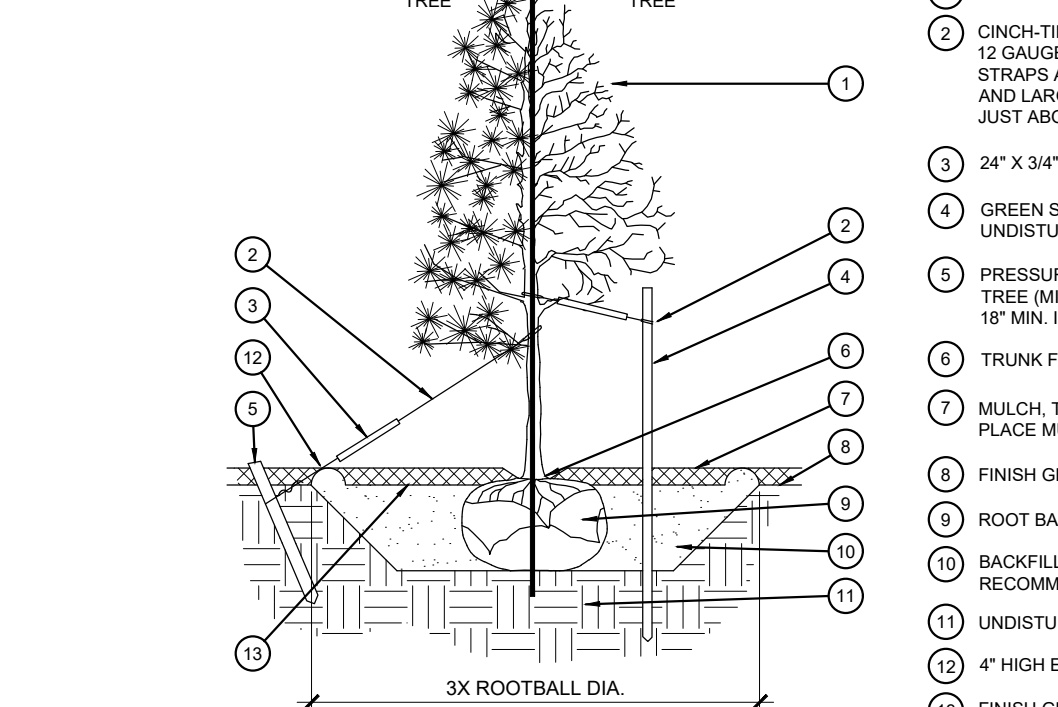
E. PLANTING AT PARKING AREA

SCALE: NOT TO SCALE



F. ROOT BARRIER - PLAN VIEW

SCALE: NOT TO SCALE

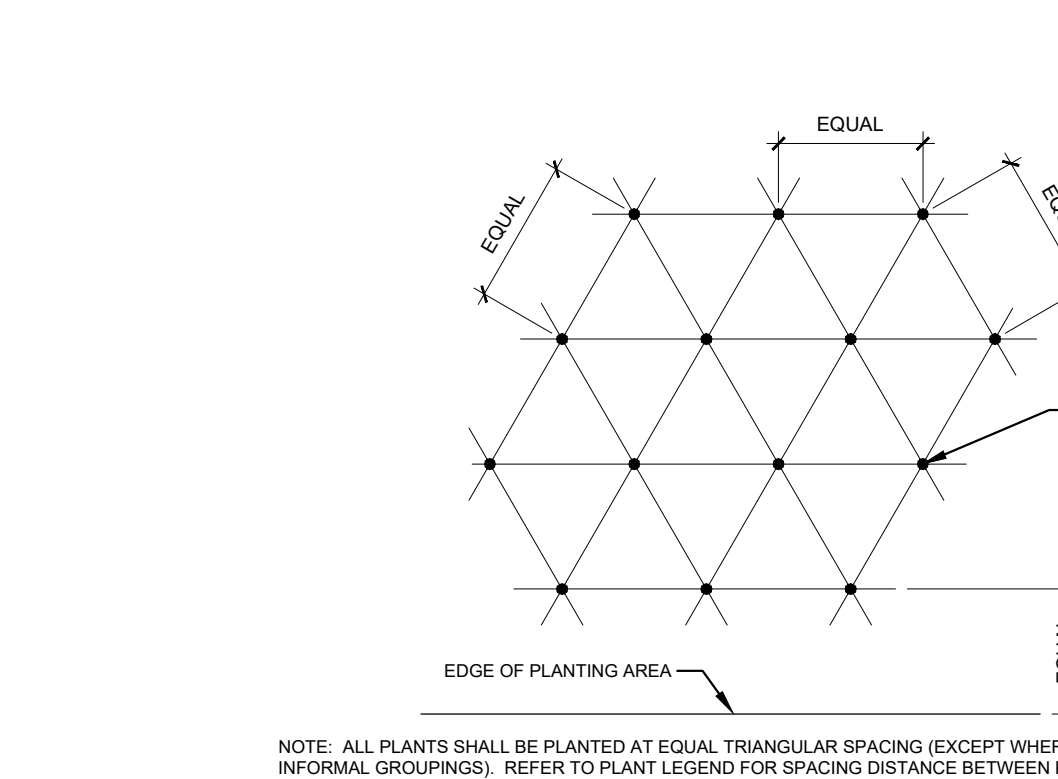


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A. TREE PLANTING

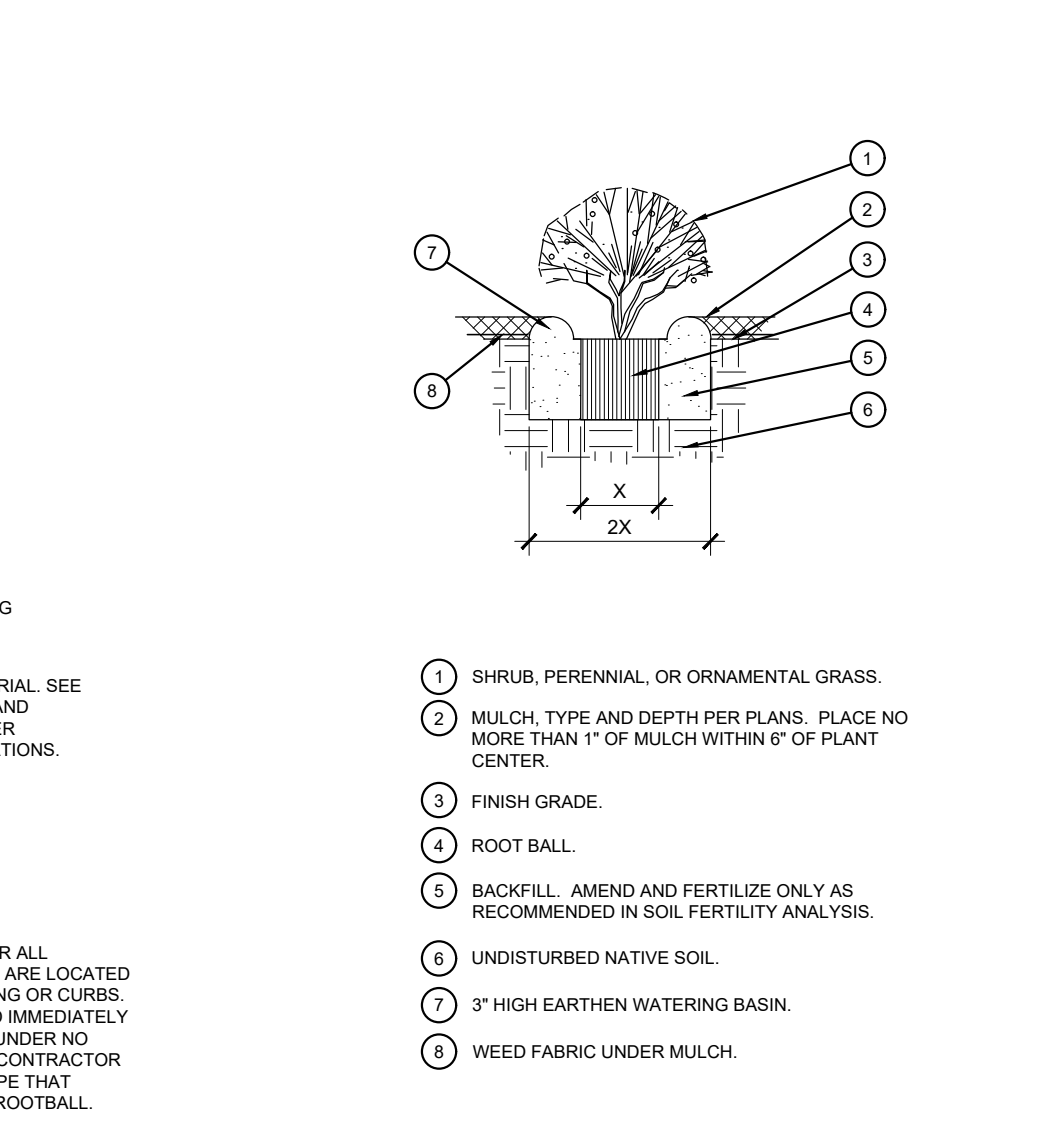
SCALE: NOT TO SCALE



1. CURB
2. MULCH LAYER
3. PLANT
4. TURF (WHERE SHOWN ON PLANS)

C. PLANT SPACING

SCALE: NTS



B. SHRUB AND PERENNIAL PLANTING

SCALE: NTS

1. TREE CANOPY.
2. CINCH-TIES (24" BOX" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX" 2" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4. GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5. PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
6. TRUNK FLARE.
7. MULCH TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8. FINISH GRADE.
9. ROOT BALL.
10. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11. UNDISTURBED NATIVE SOIL.
12. 4" HIGH EARTHEN WATERING BASIN.
13. FINISH GRADE.

- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
  2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2-4" ABOVE FINISH GRADE.
  3. FOR BAB TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE (SET OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL).
  4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
  5. FOR TREES BACKFILL WITH MULCH. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
  6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCES.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:

TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	4.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER

STEP 1: 100 SF / 95 = 51 PLANTS

STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

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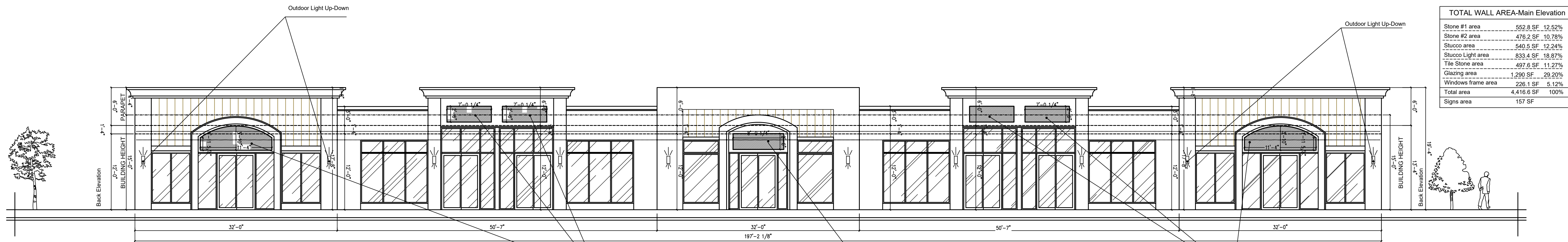
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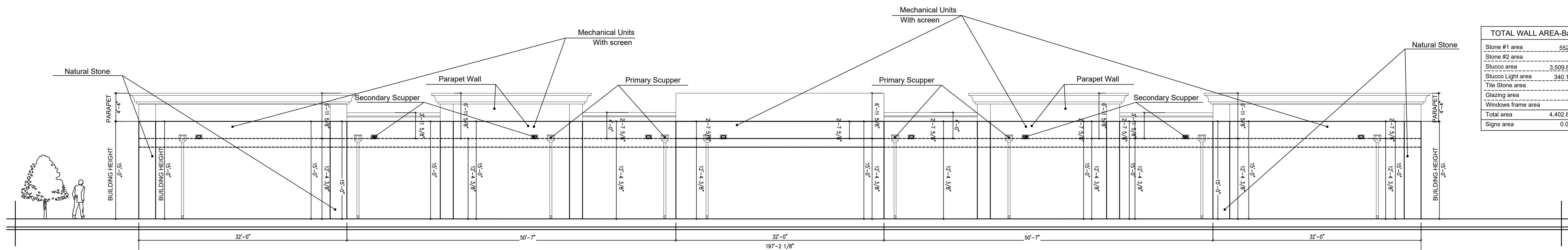




TOTAL WALL AREA-Main Elevation	
Stone #1 area	552.8 SF 12.52%
Stone #2 area	476.2 SF 10.78%
Stucco area	540.5 SF 12.24%
Stucco Light area	833.4 SF 18.87%
Tile Stone area	497.6 SF 11.27%
Glazing area	1,290 SF 29.20%
Windows frame area	226.1 SF 5.12%
Total area	4,416.6 SF 100%
Signs area	157 SF

## 01 Main Elevation

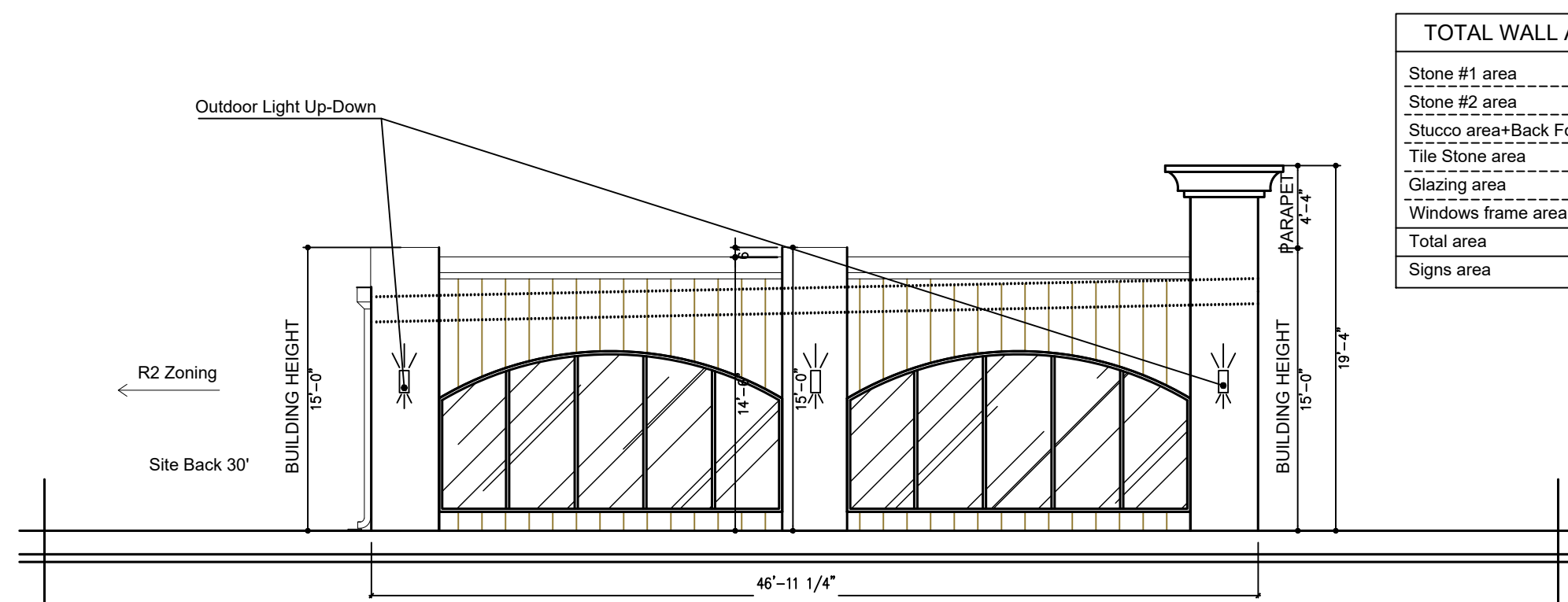
SCALE :1/8" = 1'-0"



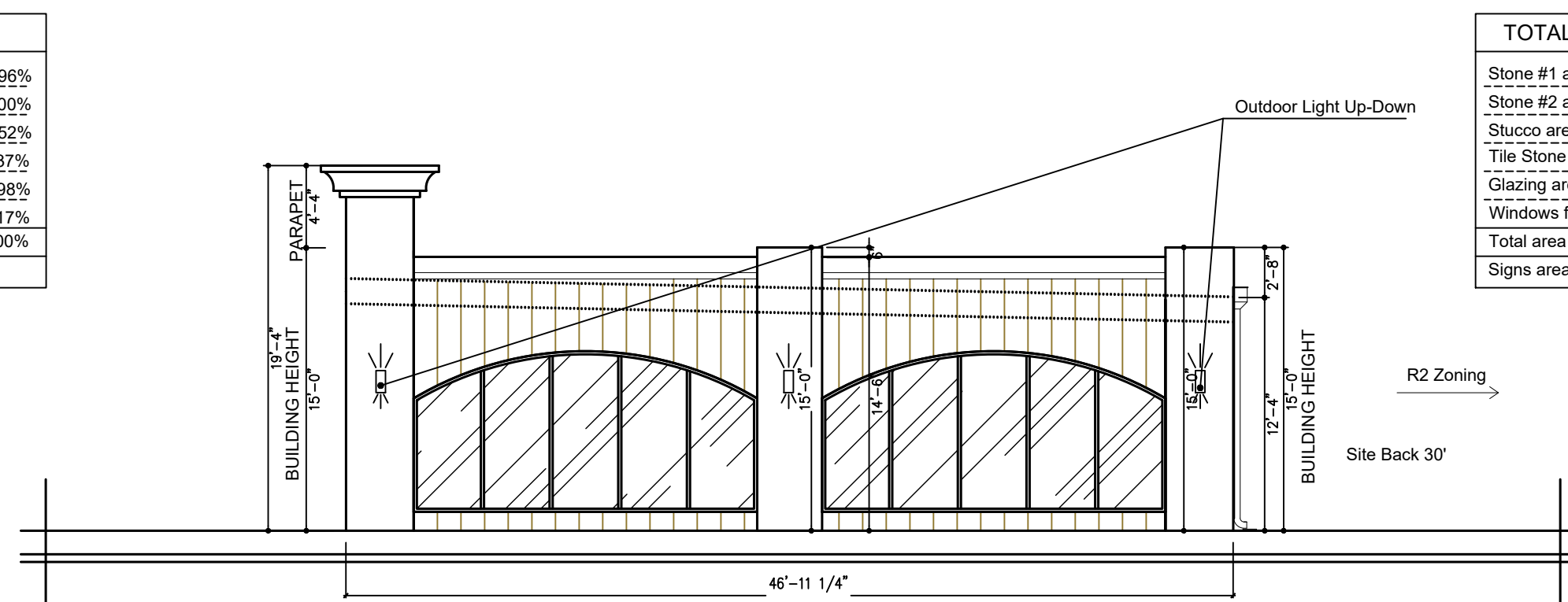
TOTAL WALL AREA-Back Elevation	
Stone #1 area	552.8 SF 12.56%
Stone #2 area	0 SF 0.00%
Stucco area	0 SF 0.00%
Stucco Light area	3,509.85 SF 79.72%
Tile Stone area	340.17 SF 7.72%
Glazing area	0 SF 0.00%
Windows frame area	0 SF 0.00%
Total area	4,402.82 SF 100%
Signs area	0.00 SF

## 02 Back Elevation

SCALE :1/8" = 1'-0"



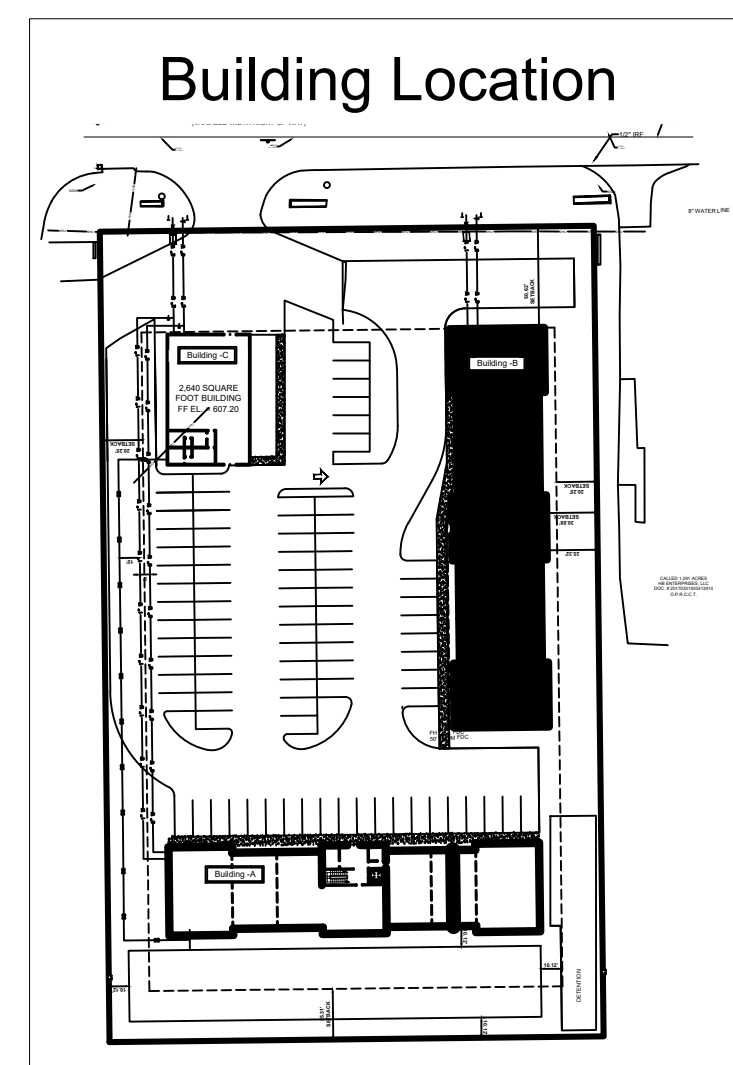
TOTAL WALL AREA-Left Elevation	
Stone #1 area	224 SF 15.96%
Stone #2 area	0.0 SF 0.00%
Stucco area+Back For Terrace	595.5 SF 42.52%
Tile Stone area	229.2 SF 16.37%
Glazing area	321.8 SF 22.98%
Windows frame area	30.4 SF 2.17%
Total area	1,400.4 SF 100%
Signs area	0.00 SF



TOTAL WALL AREA-Right Elevation	
Stone #1 area	224 SF 17.70%
Stone #2 area	0.00 SF 0.00%
Stucco area	380 SF 29.90%
Tile Stone area	123 SF 9.68%
Glazing area	496 SF 39.02%
Windows frame area	47 SF 3.70%
Total area	1,271 SF 100%
Signs area	0.00 SF

NOTE:

- This Facade Plan is for conceptual purposes only. All building plans require review and approval of the Building Inspection Department.
- All mechanical units shall be screened from public view.
- When permitted, exposed utility boxes and conduits shall be painted match the building.
- All signage areas and locations are subject to approval by the Building Inspection Department.
- Roof access shall be provided internally, unless otherwise permitted by the Building Office.



## 04 Left Elevations

SCALE :1/8" = 1'-0"

## 03 Right Elevations

SCALE :1/8" = 1'-0"

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS BEFORE FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

**F&L**  
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Rowlett Tx, 75088  
Fidesign11@gmail.com  
214-4781485

DRAWING TITLE :  
**ELEVATION  
BUILDING B**

PROJECT NAME :  
**LUCAS COMMERCIAL CENTER  
995 WEST LUCAS ROAD  
ALLEN , TX 75002**

ARCHITECT'S SEAL

REVISION DATE

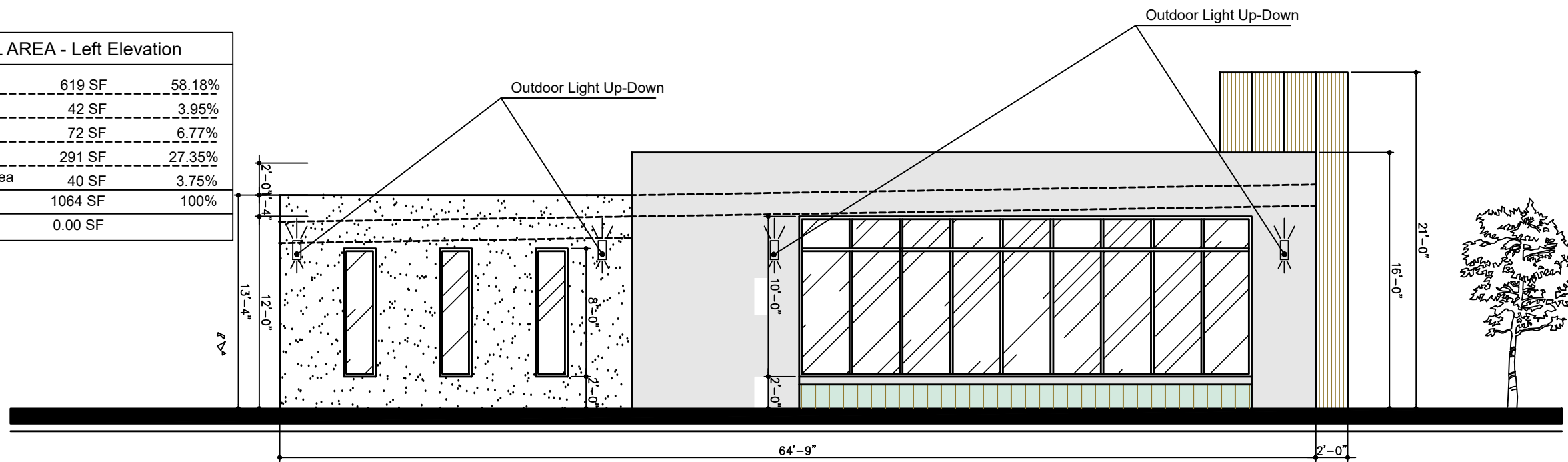
SHEET NUMBER

**A2.3**

PLOT DATE  
06/23/22

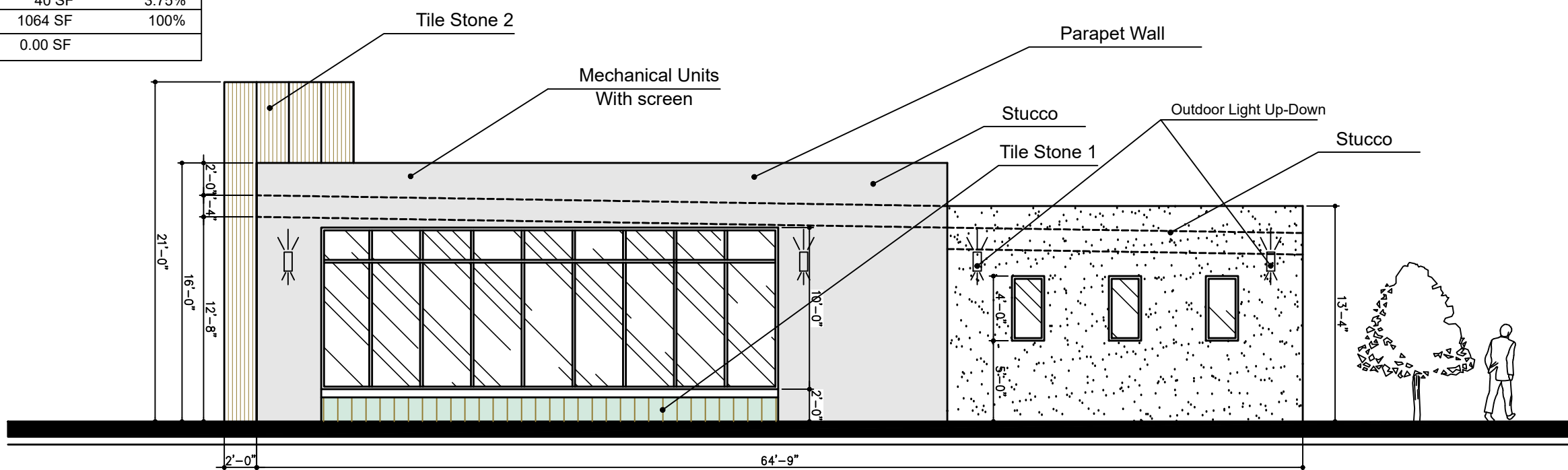
**Building -B**

TOTAL WALL AREA - Left Elevation		
Stucco area	619 SF	58.18%
Tile Stone area-1	42 SF	3.95%
Tile Stone area-2	72 SF	6.77%
Glazing area	281 SF	27.35%
Windows frame area	40 SF	3.75%
Total area	1064 SF	100%
Signs area	0.00 SF	

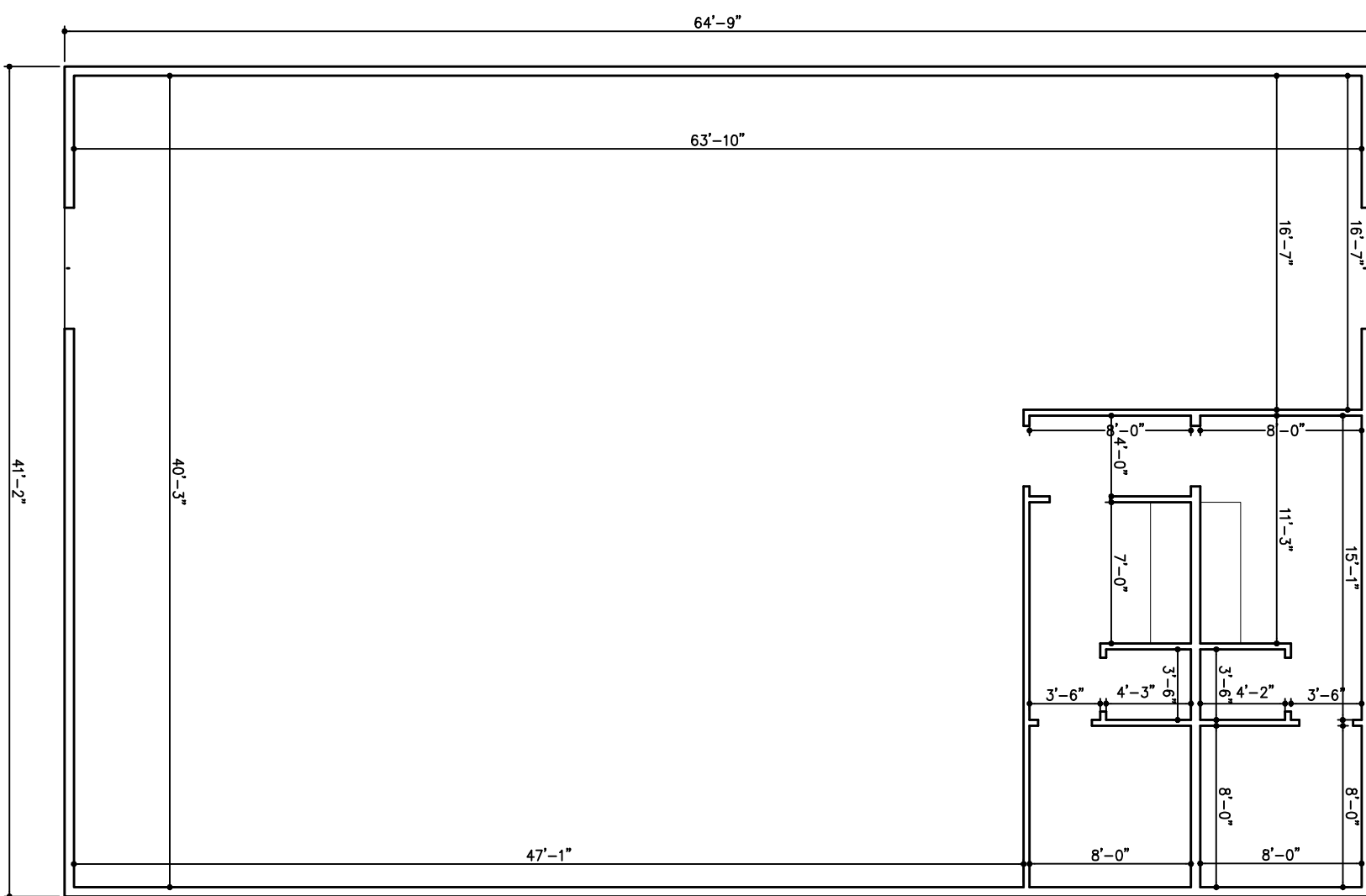


01 LEFT ELEVATION  
SCALE : 1/8" = 1'-0"

TOTAL WALL AREA - Right Elevation		
Stucco area	639 SF	60.05%
Tile Stone area-1	42 SF	3.95%
Tile Stone area-2	72 SF	6.77%
Glazing area	271 SF	25.48%
Windows frame area	40 SF	3.75%
Total area	1064 SF	100%
Signs area	0.00 SF	

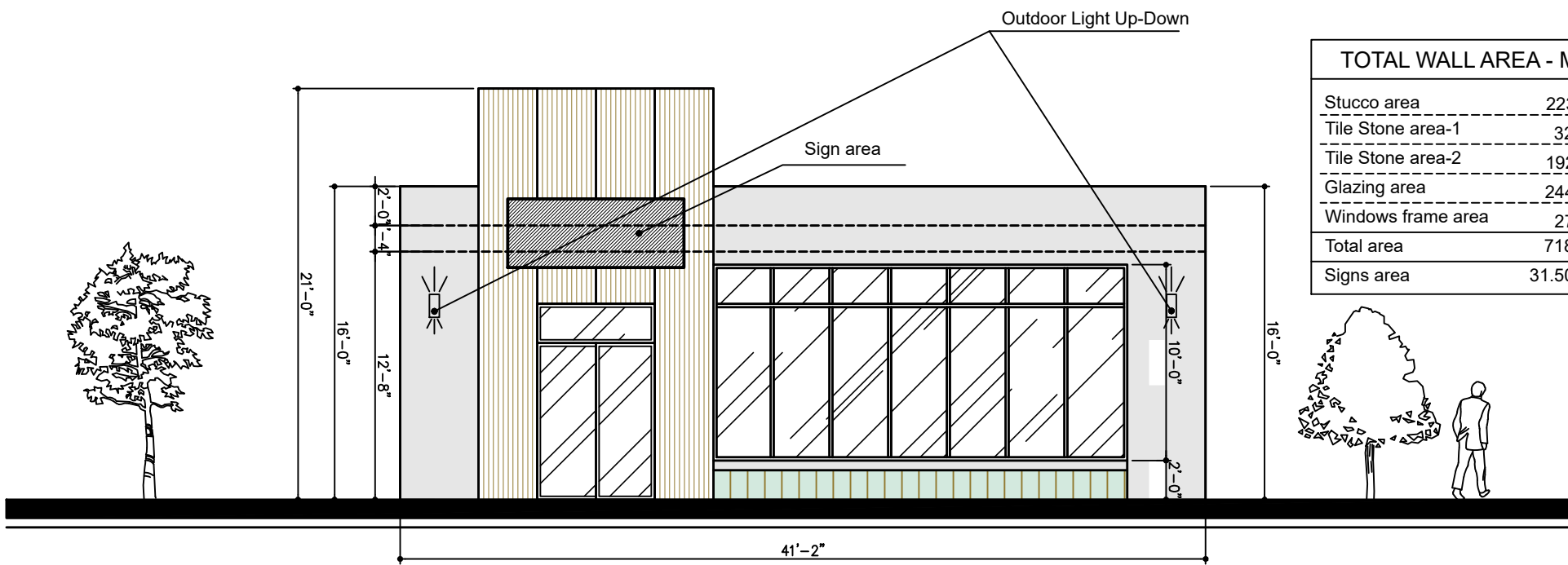


03 RIGHT ELEVATION  
SCALE : 1/8" = 1'-0"



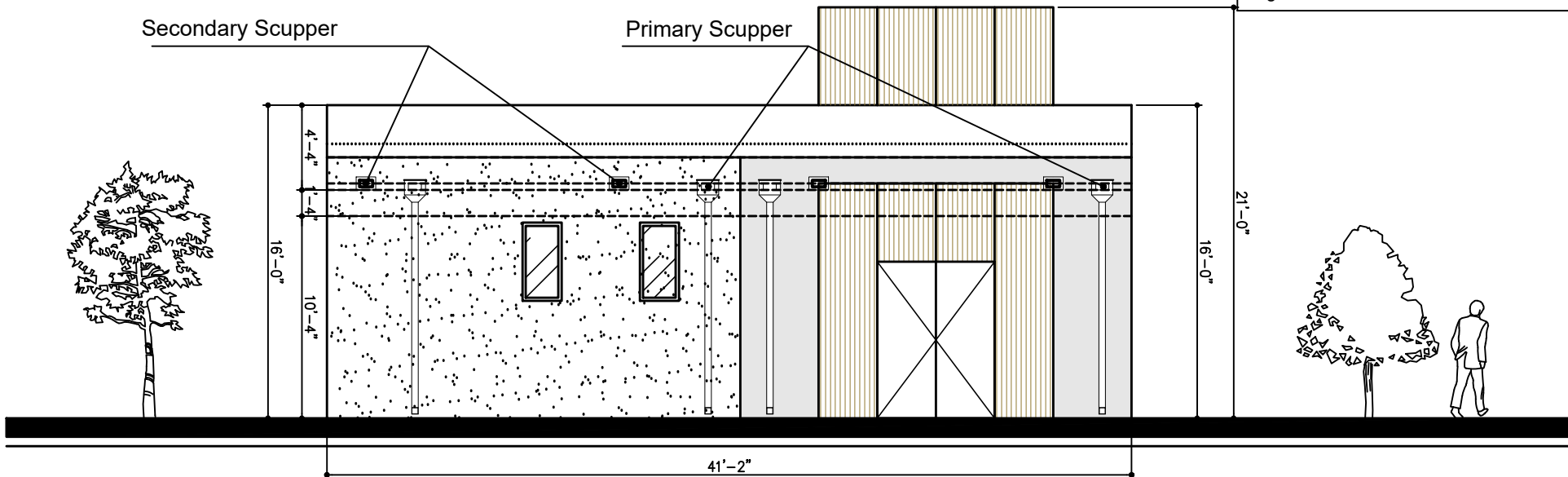
05 FLOOR PLAN  
SCALE : 1/8" = 1'-0"

TOTAL WALL AREA - Main Elevation		
Stucco area	223 SF	31.05%
Tile Stone area-1	32 SF	4.45%
Tile Stone area-2	192 SF	26.74%
Glazing area	244 SF	33.98%
Windows frame area	27 SF	3.78%
Total area	718 SF	100%
Signs area	31.50 SF	



02 MAIN ELEVATION  
SCALE : 1/8" = 1'-0"

TOTAL WALL AREA - Back Elevation		
Stucco area	498 SF	69.36%
Tile Stone area-1	0.00 SF	0.00%
Tile Stone area-2	156 SF	21.73%
Glazing area	12 SF	1.7%
Windows frame area	4 SF	0.53%
Metal Door area	48 SF	6.68%
Total area	718 SF	100%
Signs area	0.00 SF	



04 BACK ELEVATION  
SCALE : 1/8" = 1'-0"

NOTE:  
- This Facade Plan is for conceptual purposes only. All building plans require review and approval of the Building Inspection Department.  
- All mechanical units shall be screened from public view.  
- When permitted, exposed utility boxes and conduits shall be painted match the building.  
- All signage areas and locations are subject to approval by the Building Inspection Department.  
- Roof access shall be provided internally, unless otherwise permitted by the Building Office.

Building -C

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS BEFORE FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

**F&L**  
DESIGN & CONSTRUCTION L.L.C.  
8202 Woodside Rd Fidesign11@gmail.com  
Rowlett Tx, 75088 214-4781485

DRAWING TITLE :  
FLOOR PLAN AND ELEVATIONS  
BUILDING C

PROJECT NAME :  
LUCAS COMMERCIAL CENTER  
995 WEST LUCAS ROAD  
ALLEN , TX 75002

ARCHITECT'S SEAL

REVISION DATE

SHEET NUMBER  
A1.3

PLOT DATE  
06/23/22





## Site Plan Minimum Requirements

**Project Name** Lucas Commercial Center

**Preparer** Majed Khalaf

This checklist is provided to assist you in addressing the minimum requirements for Site Plan submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Indicate that all information is included on the submitted plans by checking the box next to the required information. Checking the box certifies to the City that you have completely and accurately addressed the issue. If not applicable, indicate an "N/A" next to the box. Return this completed form at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided directly on the plan and on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement/s.

Plans are expected to be submitted complete and accurate in all detail as shown by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes, depending on the amount/magnitude of changes or corrections needed. Please keep in mind that changes/additions to previously incomplete or inaccurate plans may generate additional comments at re-submittal of corrected Plans. Therefore, diligence to the initial submittal is paramount to expediting the review process.

### Included

- ☒ Site boundary is indicated by a heavy solid line intermittent with 2 dash lines, dimensioned with bearings and distances; indicate and label lot lines, setback lines, and distance to the nearest cross street.
- ☒ Site location/vicinity map clearly showing the location of the subject property with cross streets is provided. Indicate scale or NTS and provide north arrow.
- ☒ A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.
- ☒ A written and bar scale is provided.
- ☒ A title block is in the lower right corner that includes large, boldly printed "SITE PLAN", owner and engineer's names, addresses and phone numbers, subdivision name, lot number/s, block number or letter, original submission date, and a log of resubmittal/revision dates since submitted to the City.
- ☒ Tree masses are clouded with accurate canopy widths shown to determine critical root zone where located within close proximity to existing or proposed pavement.
- ☒ Flood plain boundary is shown and indicates F.I.R.M. Community panel number and date, and flow line of drainage ways and creeks, as applicable.
- ☒ Existing topography lines are shown with a light dashed line and proposed contours are shown by a medium weight solid line. Topography is shown at minimum five (5) foot contours referenced to sea level city datum. Spot elevations and additional contours may be required in certain areas depending on topography.
- ☒ Accurately located, labeled and dimensioned footprint of proposed structure(s) is/are shown by a solid heavy line.

- ~~X~~ Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.
- ~~X~~ Accurately located and labeled footprint of structure(s) proposed for demolition is/are shown by a light dashed line. Structures to be demolished are clearly labeled/ identified.
- ~~X~~ Accurately located footprint of nonresidential structure(s) on abutting properties is/are shown by a light, solid line.
- ~~X~~ Adjacent property lines within 500 feet of the subject property lines are shown by a light dashed line.
- ~~X~~ Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 500 feet of the property line is indicated.
- Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.
- ~~X~~ Finished floor elevation of existing and/or proposed structures is referenced to sea level datum.
- Full width of streets and alley rights-of-way with centerlines and backs of curbs or paving edges within 200 feet of the property line are dimensioned and street name or use is labeled.
- Driveways within 200 feet of the property line:
  - o Are accurately located and dimensioned.
  - o Distances to the nearest on-site driveway and/or off-site driveway is accurately located and dimensioned as measured from the centerlines.
  - o Distance to the nearest street is shown as measured from the end of curb-return radius of the adjacent street to the driveway centerline.
  - o Typical radii are shown.
- Drive-thru lanes, menu board location, pick-up window/s, maneuvering area, stacking lanes and escape lanes are indicated and dimensioned.
- Sidewalks and barrier-free ramps (BFR) within 200 feet of and on the subject property are shown, dimensioned and labeled.
- Off-site streets and roads:
  - o Existing and proposed roadways with medians and median openings adjacent to and within 200 feet of the project site are shown and dimensioned.
  - o Medians, median openings with associated left- turn lanes, continuous left turn lanes, transition and stacking lengths are shown and dimensioned within 200 feet of the project site.
  - o Existing, proposed, and required acceleration/deceleration lanes within 200 feet of the project site are shown dimensioned, stacking length indicated, and right-of-way dedication is indicated as applicable.
- ~~X~~ All parking spaces are shown, group numbered, and typical dimensions are provided. Indicate required two-foot overhang, as applicable.
- ~~X~~ Handicapped parking spaces and barrier-free access points are shown, dimensioned, and labeled.
- ~~X~~ Loading and maneuvering areas are indicated, labeled, and dimensioned. Loading area screening method is indicated and labeled.
- ~~X~~ Dumpster and/or compactor locations and screening methods are shown. Indicate screening materials and height for all sides. Screening material is to match structure façade with enclosure having solid metal gates. Specs and sketch available from staff.
- ~~X~~ Paving materials, boundaries and type are indicated.
- ~~X~~ Access easements are accurately located/ tied down, labeled and dimensioned.
- Off-site parking is shown and dimensioned from the off-site parking area to the structure or use as applicable. A parking easement or shared parking agreement is required and is provided in draft format.
- Fire lanes are shown and dimensioned at a minimum of 24 feet in width, with internal radii of not less than 20 feet. Label and use an approximate 20 percent shade for fire lanes to differentiate from other paving. Ensure that required labeling and dimensioning is readable through shading.

- ☒ Proposed dedications and reservations of land for public use including, but not limited to, rights-of-way, easements, park land, open space, drainage ways, floodplains and facility sites are accurately located, dimensioned and labeled.
- ☒ Screening walls are shown with dimensions and materials. An inset is provided that shows the wall details and column placement as applicable. Plans for masonry walls are to be signed and sealed by a structural engineer and approved by the City Engineer. Channeled or slip-panel/pre-cast walls are prohibited.
- ☒ The location of living screens are shown and labeled. Details of a living screen are provided on the Landscape Plan indicating plant species/name, height at planting, and spacing.
- ☒ A lighting plan that shows location by fixture type is included. A lighting data chart is used to reference fixture type (i.e. pole or wall pack), maximum height, those requiring shielding, those requiring skirting, wattage and foot-candles of each fixture. No lighting source (i.e. bulb, reflector, etc.) is allowed to be visible from an adjacent property or public street.
- ☒ Existing and proposed water and sanitary sewer lines, storm sewer pipe, with sizes, valves, fire hydrants, manholes, and other utility structures on-site or immediately adjacent to the site are shown and labeled.
- ☒ Boundaries of detention areas are located. Indicate above and/or below ground detention.
- ☒ Monument signage location is indicated. Details of construction materials and architecture are shown on required Building Elevation/Façade Plan. Color, type and texture are to match that of the building.
- ☒ Communication towers are shown and a fall distance/collapse zone is indicated.
- ☒ Provide Site Data Summary Table that references distinct numbers for each lot and all buildings (existing and proposed) that includes, where applicable:
  - Existing Zoning
  - Proposed use(s) for each structure
  - Total lot area less right-of-way dedications by square feet and acres
  - Square footage of building(s)
  - Building height (stories and feet)
  - Percent of lot coverage (building footprint square footage/lot square footage).
  - For apartment developments, number of living units broken down by number of bedrooms and minimum square footage for each dwelling unit.
  - Parking required by use with applicable parking ratios indicated for each use
  - Parking provided indicated
  - Handicap parking required as per Code of Ordinances and TAS/ADA requirements
  - List of exceptions and/or variance/s requested or previously granted, including dates and approving authority
- ☒ Improvements are proposed in TXDOT Right-of-Way and one (1) full set of civil engineering plans has been submitted to: Mohammad Khoshkar, TXDot Office, P.O.Box 90 McKinney, Texas 75069-0090, phone (972)547-2237



## Architectural Plan Checklist

**Project Name** Lucas Commercial Center

**Preparer** Ahmed Dardary

This checklist is provided to assist you in addressing the minimum requirements for **Landscape Plan** submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Confirm that all information is included on the submitted plans by checking the box next to the required information.

**Initialing the box certifies to the City that you have completely and accurately addressed the issue.** This completed form must be returned at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approving body. Additional information may be required. Reference the specific requirement. All exception/modification requests must also be specifically listed on the plan/s.

Plans are expected to be submitted complete in all detail as included by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes.

- ☒ Elevations of all four sides labeled North, East, South, and West with the front elevation designated as such.
- ☒ Materials calculations table showing for each elevation
  - ☐ Total surface area of each elevation
  - ☐ List of materials (including glazing) with square footage of each material per elevation and percentage of each material per elevation
- ☒ Building dimensions ( if multiple heights are used, provide dimension for each)
- ☒ Provide estimated allowable wall mounted signage size for each elevation.
- ☒ Add the following notes:
  - ☐ "This Façade Plan is for conceptual purposes only. All building plans require review and approval of the Building Inspection Department".
  - ☐ "All mechanical units shall be screened from public view"
  - ☐ "When permitted, exposed utility boxes and conduits shall be painted to match the building"
  - ☐ All signage areas and locations are subject to approval by the Building "Inspection Department"
  - ☐ "Roof access shall be provided internally, unless otherwise permitted by the Building Official"
- ☒ Cross sections of sight lines may be requested to verify screening of mechanical units.
- ☐ A sample board with a maximum size of 11" x 17" shall be provided with color and materials samples to correspond to the Facade Plan.
- ☒ Designate color and materials location on elevations.
- ☒ Additional information as requested by staff to clarify the proposed development and compliance with minimum development requirements.



## Landscape Plan Checklist

**Project Name** Lucas Commercial Center

**Preparer** Rodney McNapp

This checklist is provided to assist you in addressing the minimum requirements for **Landscape Plan** submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Confirm that all information is included on the submitted plans by checking the box next to the required information. **Initialing each item certifies to the City that you have completely and accurately addressed the issue.** This completed form must be returned at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approving body. Additional information may be required. Reference the specific requirement. All exception/modification requests must also be specifically listed on the plan/s.

Plans are expected to be submitted complete in all detail as included by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes.

- ☒ Plans shall be to same scale as approved site plan.
- ☒ A minimum of 15% of the gross area must be landscaped.
- ☒ The area between the property line and the street shall be included in the landscape plan and shall be maintained by the abutting property owner.
- ☒ Heights of landscaping materials shall be such that they do not create safety hazards for vehicular traffic by block sight lines at ingress points.
- ☒ The specifications shall state the common names and scientific names (genus species), sizes, and quantity of all materials to be utilized.
- ☒ Property abutting a different zoning district must be screened by a living screen. Planting which serves as a living screen shall be evergreens with an initial minimum six-foot (6') height and provided a solid visual barrier within two (2) years after planting.
- ☐ Additional information as needed for clarity.

### Lucas Code of Ordinances - Sec. 3.18.022 Minimum requirements

- ☒ The title block in the lower, right-hand corner containing the following: date, scale, site location map, north arrow, and the names, addresses, and telephone numbers of both the property owners and the person preparing the plan.
- ☒ The addition name, block and lot description along with business name placed in the title block in the lower right-hand corner of the plan.
- ☒ The property boundary dimensions of the site (bearings and distances).
- ☒ All existing and proposed public and private streets and sidewalks including street and sidewalk widths.
- ☐ All existing services: fire hydrants, water mains, and sewer mains within the tract and immediately adjacent to it with pipe size and location indicated.



- ~~X~~ All proposed water and sanitary sewer pipe lines with sizes indicated and valves, fire hydrants, manholes, and other appurtenances or structures shown.
- ~~X~~ All existing or proposed water, sewer and irrigation connections, meter location, and size of meters.
- ~~X~~ All existing and proposed utility and visibility easements.
- ~~X~~ All existing or proposed buildings on the property, existing structures, access points on and adjacent to the property.
- ~~X~~ Existing and proposed contours of berms in intervals of one (1) foot.
- ~~X~~ Detailed structural designs of entryway features.
- ~~X~~ Screening walls and location, type and height of screening wall, either living or masonry. (Masonry screening walls must be designed by a professional engineer registered in the state. Proposed berming is to be delineated by one-foot contours.)
- ~~X~~ The following additional information must be submitted on the landscape plan:
  - Tabulations of the landscape edge in linear feet. Give the street name and the amount of frontage.
    - Label streets.
    - The following information is to be provided on the landscape plan in a tabular format:
      - Indicate the trees/shrubs required and provided.
      - Indicate parking area trees required and provided.
      - Indicate the trees/shrubs required and provided for parking lot perimeter landscaping.
      - Indicate parking lot interior landscaping required and provided.
      - Indicate gross landscape square footage and percentage excluding the city right-of-way (i.e. the landscape provided within the landscape edge and within the interior of the lots).
  - Show graphically all plant material existing/proposed.
  - Distance of trees/shrubs from sidewalks, curbs, screening walls, and utilities (minimum five (5) feet).
  - Spacing between trees/shrubs (varies, check growth specifications).
- ~~X~~ Complete description of plant materials shown on the plan, including common and botanical names, locations, quantities, container (five-gallon minimum for required shrubs) or caliper sizes (four-inch minimum caliper for required shade trees), heights, spread, and spacing.
- ~~X~~ Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including information as to the amount (in square feet) of landscape area compared to gross site square footage. The city right-of-way shall not be included as part of the gross site landscaping.
- ~~X~~ Size, height, location and material of any proposed seating, lighting, planters, sculptures, decorative paving, and water features.
- ~~X~~ Landscape plans shall contain the certification and stamp of a landscape architect licensed in the state that such plans have been reviewed by such landscape architect and satisfy all requirements of this article.
- ~~X~~ Irrigation plans shall contain the certification and stamp of an irrigator licensed by the state board of irrigators that such plans were prepared by such irrigator and satisfy all requirements of this article.
- ~~X~~ Location of sprinkler heads, valves, double-check valves, water meter, automatic controller, rain and freeze sensor, wind sensor, moisture sensor or any control mechanic of whatever kind or make must be shown on all irrigation plans.
- ~~X~~ Living screens are clearly detailed by fence material, plant material species, plant material spacing, height at time of planting and mature height. Where the Director of Planning feels that there are elevation or topographical differences that would not accomplish the intent of the screening, the Director may request more details.
- ~~X~~ Public or private street names (including street suffixes and/or prefixes) and right-of-way (ROW) dimensions are indicated for all internal and external streets.

- ☒ All existing and proposed plant material is graphically shown; species and quantity for each grouping are labeled. A minimum of four different species is shown for each plant type and are distributed throughout the site.
- ☒ Distance of trees/shrubs from sidewalks, curbs, screening walls, and utilities is indicated. If less than five feet from paving, areas of impervious surface or utility lines, show dimension. Refer to Plant List for other exceptions to planting in paving areas.
- ☒ A full set of civil engineering drawings, also including the plat, site plan, and landscape plan have been submitted to TXU. Submit these drawings to: TXU Electric Delivery, Attn: Right-of-Way Department, 115 W. 7th Street, Ste. 725, Fort Worth, TX, 76102.
- ☒ I understand that the City requires an approval letter from TXU Electric Delivery prior to issuance of a building permit where landscaping, parking, or other improvement/s are proposed to encroach within any TXU/TP&L easement/s. TXU has stated a minimum of six weeks to process the review. Approved irrigation within a TXU transmission easement shall be limited to drip and soaker hose irrigation, with the valve for such located outside of the easement.
- ☒ Residential subdivisions are to have landscaping requirements (Indicate required planting ratio, square footage, linear footage, etc., including required and provided quantities) specifically listed in tabular format on plan for the following:
  - a) Landscape Buffer (along external street frontage-provide separate calculations for each street frontage).
  - b) Entryway Yard areas (located each side of subdivision entries) are provided for primary and secondary entryways.
  - c) Entryway Yard area Trees and Shrubs are provided.
  - d) Entryway Medians are shown and dimensioned.
  - e) Entryway Median Trees and Shrubs are provided.
  - f) Screening Wall plans are provided.



## DEVELOPMENT APPLICATION City of Lucas, Texas

NAME OF SUBDIVISION AND/OR PROJECT: Lucas Square

### ITEM SUBMITTED

### APPLICATION FEE

#### Site Plan

\$300 + \$10 per acre (i.e. \$500 for a 20 acre site plan)

#### Tree Survey/Conservation Plan

N/A

#### Tree Removal & Site Clearing Permit

\$250

N/A

#### Architectural Plan

\$250 + \$50 for any reviews or presentations of amended plans

#### Landscape Plan

\$200 + \$50 for any reviews or presentations of amended plans

#### Park Site Dedication

\$1,000 per lot or land dedication per Lucas City Ordinance Sec. 10.03.122

### TOTAL FEES SUBMITTED

Collin County Appraisal District Short Account Number(s): \_\_\_\_\_

Physical Location of Property: 995 W. Lucas Rd. Lucas, TX  
(Address and General Location – approximate distance to nearest existing street corner)

Brief Legal Description of Property (must also attach accurate metes and bounds description):  
\_\_\_\_\_  
(Survey/Abstract No. and Tracts; or platted Subdivision Name with Lots/Block)

Acreage: 2.25 Existing # of Lots/Tracts: \_\_\_\_\_ Existing Zoning: Retail & Office

OWNER'S NAME: Mahmoud Properties LLC Contact Phone: 313-377-7015

Applicant/Contact Person: Saleh Mahmoud Title: President

Company Name: Mahmoud Properties LLC

Street/Mailing Address: 844 Elgin Ct.

City: Rockwall State: TX Zip code: 75032

Phone: (313) 377-7015 Fax: ( ) Email Address: mahmoudpropertiesllc@gmail.com

ENGINEER/REPRESENTATIVE'S NAME: Dardari Consulting & Remodeling, LLC.

Contact Person: Ahmed A. Dardari Title: General Contractor

Street/Mailing Address: 1537 Englewood Dr.

City: Rockwall State: TX Zip code: 75032

Phone: (469) 434-8625 Fax: ( ) Email Address: amer\_dardari@hotmail.com







NAME OF SUBDIVISION and/or PROJECT: Lucas Square

**\*\*READ BEFORE SIGNING BELOW:** If there is more than one property owner, complete a separate sheet with the same wording as below. The City requires all original signatures. If applicant is other than the property owner, a "Power of Attorney" with original, notarized signatures is required. (Notaries are available upon submittal)

**ALL APPLICATIONS MUST BE COMPLETE, ACCOMPANIED BY THE APPLICABLE CHECKLIST AND TAX CERTIFICATE SHOWING TAXES PAID, BEFORE THEY WILL BE SCHEDULED FOR P&Z AGENDA.**

It is the applicant's responsibility to be familiar with, and to comply with, all City submittal requirements (in the Zoning & Subdivision Ordinances, and any separate submittal policies, requirements and/or checklists that may be required from City staff), including the number of plans to be submitted, application fees, etc. Please contact City staff in advance for submittal requirements. [Drawings will not be returned to applicant.]

**ALL PARCELS/PROPERTIES MUST MATCH IN ACREAGE ALL OTHER DOCUMENTS SUBMITTED WITH NO AMBIGUITY. SUBMISSIONS:**

Failure to submit all materials to the City with this application will result in delays scheduling the agenda date.

**NOTICE OF PUBLIC RECORDS.** The submission of plans/drawings/etc. with this application makes such items public record, and the applicant understands that these items may be viewed by the general public. Unless the applicant expressly states otherwise in writing, submission of this application (with associated plans/drawings/etc.) will be considered consent by the applicant that the general public may view and/or reproduce (i.e., copy) such documents.

Applicant agrees to pay any and all monies due to the City including but not limited to park pro rata fee, Tree Removal Permit fee, 3% of construction cost (developer to provide contracts for verification) and including but not limited to other fees that may be required prior to final plat approval.

STATE OF ~~TEXAS~~ Michigan  
COUNTY OF ~~COLLIN~~ Wayne

BEFORE ME, a Notary Public, on this day personally appeared SALEH MAHMOUD the undersigned who, under oath, stated the following: "I hereby certify that I am the owner, or duly authorized agent of the owner, (proof attached) for the purposes of this application; that all information submitted herein is true and correct. I understand that submitting this application does not constitute approval, and incomplete applications will result in delays and possible denial."

[Signature]  
\*\*Owner / Agent (circle one)

SUBSCRIBED AND SWORN TO before me, this the 28 day of June, 2022

Notary Public in and for the State of Texas: Michigan



<b>Official Use Only:</b>			<b>Action Taken</b>
Planning & Zoning:	_____	Date:	_____
City Council:	_____	Date:	_____
Applicant Withdrew: Yes or No	Applicant Made a Written Withdrawal: Yes or No	Date:	_____

# KCB Engineering, LLC

11303 Southwind Pl, Krum, TX 76249

(940) 368-6159

KCBEngineering@outlook.com

Roc Design Engineers  
Attn: Majad Khalaf, P.E.  
9101 LBJ Hwy Suite 570  
Dallas, TX 75243

Collin County Health Dept.  
Attn: OSSF Designated Representative  
4690 Community Ave., Suite 200  
McKinney, TX 76071

RE: Lucas Retail Center  
995 W. Lucas Rd.  
Lucas, TX 75002

October 28, 2022 rev 1-27-23

Gentlemen,

We have been asked to provide details and specifications for an On-Site Sewage Facility (OSSF) to be located at the above address. KCB Engineering, LLC has designed the OSSF for the above referenced property address sealed on October 28, 2022. The design is in compliance with the TCEQ chapter 285 requirements and standard accepted engineering practice.

This design requires a sewer line and a forced main to cross the fire lane and utility easement. Permission from the easement holder will be required prior to construction.

Due to the amount of development on the property, the OSSF has very limited options. The limitations are due to water lines, building sewer exits, detention pond and concrete paving to mention a few. The contractor should understand these limitations prior to construction commencing.


It is important that you understand the need to impress upon your management staff and tenants the need for good septic practices. This will reduce maintenance issues and costs for your company. These practices are listed on the following pages.

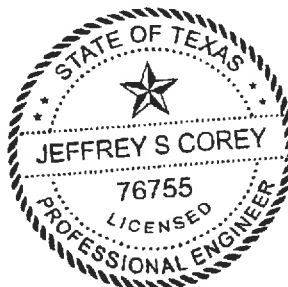
Once the system is in operation and has reached steady state, it is recommended that a BOD<sub>5</sub> be sampled. Based upon the results, the system may require additional adjustments.

You will need to apply for an OSSF construction and operating permit. Please submit the design packet and this letter along with the permit application to the Designated Representative for OSSF's at Collin County.

If you have any questions, please contact me.

Respectfully,

  
Jeffrey S. Corey, P.E.  
Professional Engineer  
TBPE #76755  
Texas Firm # F-15507



# KCB Engineering, LLC

11303 Southwind Pl, Krum, TX 76249

(940) 368-6159

KCBEngineering@outlook.com

## On-Site Sewage Recommended Practices

- Know and abide by all state and any local requirements for wastewater quality, testing, and reporting.
- Inspect the system at specified intervals, usually once every 3 months, to check its operation and perform routine maintenance.
- Contract with a licensed professional company to perform inspections, wastewater tests, and reports completion and submission to local agencies.
- Keep records on the system performance and your service activities.
- Recognize the tasks that should be left to professionals to make sure that the job is performed correctly and that you do not subject the public to undue health risks.
- Keep other supplies, such as the permit/ as-built plans/specifications, governmental forms, and the system owner's manual.
- Keep on hand the proper disinfectant, such as wastewater chlorine tablets or liquid bleach, to add to the disinfection component. If you do not maintain the system properly, you could endanger human and environmental health, impair your wastewater system, and incur legal action. Because sewage can contain disease-causing microbes, wastewater is a public health concern. Environmental protection: The EPA has set national guidelines for management of onsite and wastewater treatment systems. The guidelines are posted on the Web at <http://cfpub.epa.gov/owm/septic/home.cfm>. System reliability: All system components from the plumbing fixtures in the home to the spray heads in the yard must be functional within expectations. By law, water that leaves your property, either through runoff or by seepage into the ground, must meet certain quality standards as demonstrated by laboratory tests. If your wastewater treatment system is not maintained properly, the water will not be treated enough, and you may be subject to fines.
- Your system can be affected by the amount, strength, and timing of the wastewater entering it. These devices, practices, and products can alter an aerobic system's performance:
- Water-saving devices reduce the amount of wastewater, but they also make it stronger, which can prevent the system from meeting the required effluent standards.
- Water-treatment devices with automatic back flushing add extra water into the system that can be avoided.
- Some water-conditioning units add chemicals into the effluent that can reduce the effectiveness of the biological and physical processes in an aerobic treatment unit. This wastewater stream may need to be plumbed around the treatment tanks to the pump tank.
- Condensate from air conditioning units is not sewage. Route it around the system. □ Commercial ice machines can also add large amounts of clear water.
- Laundry activities greatly affect your wastewater system: - Powdered detergent can plug cast-iron piping, and some soap contains forms of benzoate as filler. Keep these out of the system to improve its long-term performance. - Bleach additives can affect the biology of the septic tank and the rest of the system. Do not overuse bleach. - The amount of laundry done each day is also important. Spread out the loads over time to help the system perform at its best.
- In-home businesses can directly affect the system. Use for daycare increases the overall flow and can increase the use of antibacterial soaps. The system can also be affected by other small businesses that use chemicals, such as antique refinishing services, beauty shops, lawn care services, photo labs, dog grooming services, and taxidermy shops. Barbershops typically discharge large amounts of hair.
- Prescription antibiotics and drugs are extremely hard on the microbes in the system. Flushing them into the wastewater system increases the maintenance.
- Heavy use of bath and body oils can raise the fats, oils, and grease (FOG) values in the system. Removal or reduction of these can improve the performance of the system.

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- A garbage disposal adds to the overall loading of the system in four ways: - More waste enters the treatment system. - Because the organic matter has not been digested, it takes longer to break down. - More water is used to rinse out the sink. - Smaller particles take longer to settle.
- Toxic drain cleaners kill the bacteria, resulting in a limited microbial activity in the tank and poor separating characteristics.
- Antibacterial soap also affects the biology of the tank.
- Liquid soap tends to be easily overused and may create problems in the system.
- Automatic cleaners (for toilets and showers) continually send chemicals into the system, which can cause long-term problems.
- Other cleaning products may also alter the treatment process. When choosing a cleaning product, first read the label: - Danger means that the chemical will kill the microbes; use it rarely or never. - Warning means that limited use should not affect the system much. - Caution typically means that the product will have little effect on the system.
- Areas used for effluent application must be seeded or sodded to provide vegetative cover. Effluent must not be applied to gardens or fruit orchards.
- Excessive amounts of toilet paper cause sludge to build up faster.
- Treated toilet paper, such as the type that contains lotion, does not settle well and forms a thick layer of scum at the top of the tank.
- Other paper products, such as wet wipes, should not enter the system.
- Flushable cleaning products, many wipes and toilet cleaning materials are labeled as "septic safe." This statement typically refers to their ability to flow through the piping. These items will collect in the treatment system and increase the need for maintenance.
- Trash and non-digestible material increase the amount of maintenance required and may even shorten the life of the components. Examples are rags, toys, diapers, condoms, cat litter, plastic bags, coffee grounds, cigarette filters, and feminine hygiene products. Many of these items have neutral buoyancy and will pass through the treatment components. Cat litter and coffee grounds add to the sludge that must be pumped out during maintenance. Diapers must be removed individually.

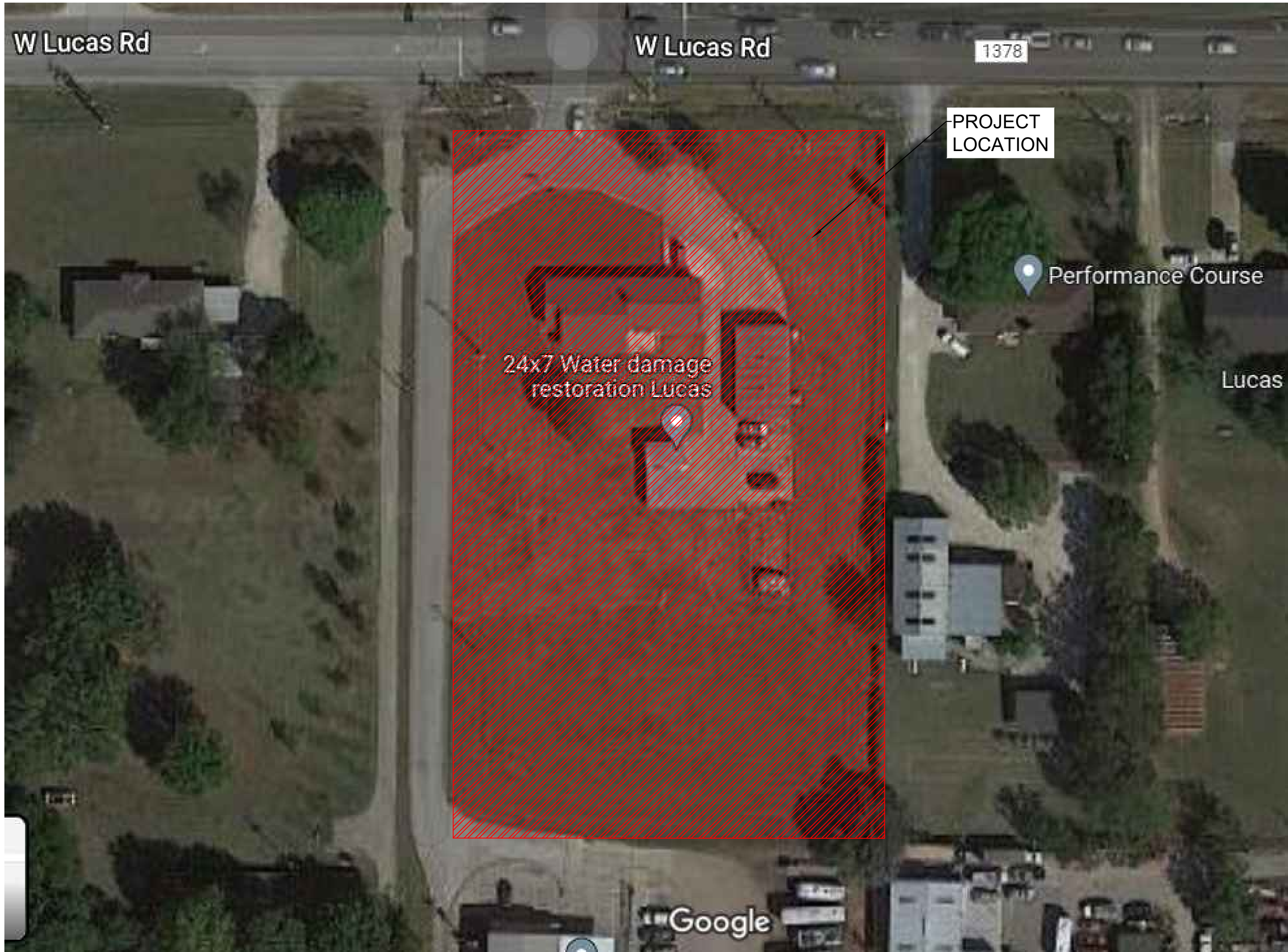


# CONSTRUCTION DRAWINGS FOR

# LUCAS COMMERCIAL CENTER

995 W. LUCAS ROAD, LUCAS, TX

APRIL 2023



Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	SITE PLAN
C2.0	EROSION CONTROL PLAN
C3.0	EXISTING DRAINAGE AREA MAP
C3.1	PROPOSED DRAINAGE AREA MAP
C3.2	PROPOSED DETENTION PLAN AND PROFILE
C4.0	GRADING PLAN
C5.0	PAVING PLAN
C6.0	UTILITY PLAN
C7.0	SITE DETAILS
C7.1	SITE DETAILS
C7.2	SITE DETAILS

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LUCAS COMMERCIAL CENTER

995 WEST LUCAS ROAD,  
LUCAS, TEXAS 75002

No.	Revision/Issue	Date

STATE OF TEXAS

MAJED A. KHALAF

67826

PROFESSIONAL ENGINEER

Majed A. Khalaf

04/30/2023

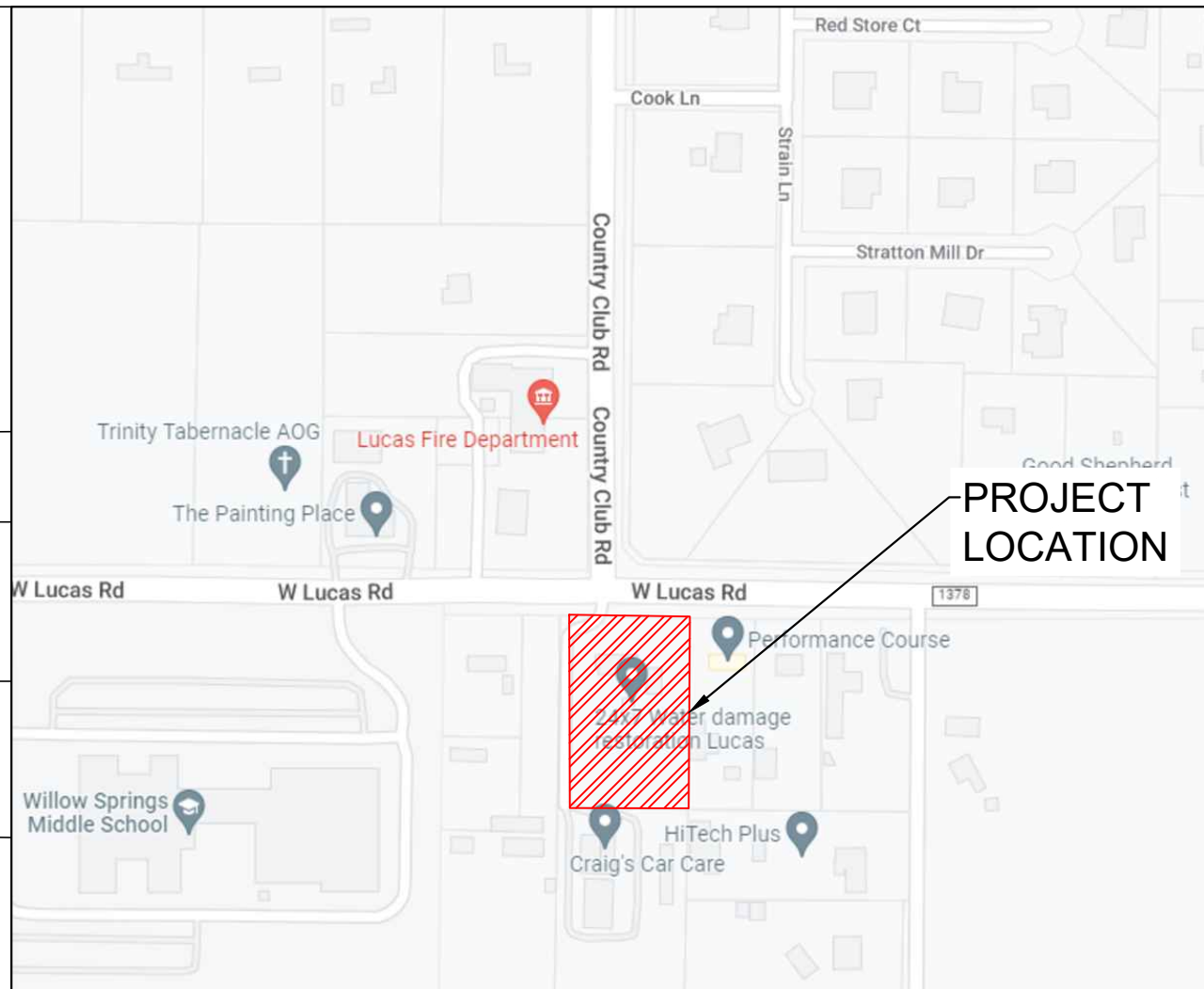
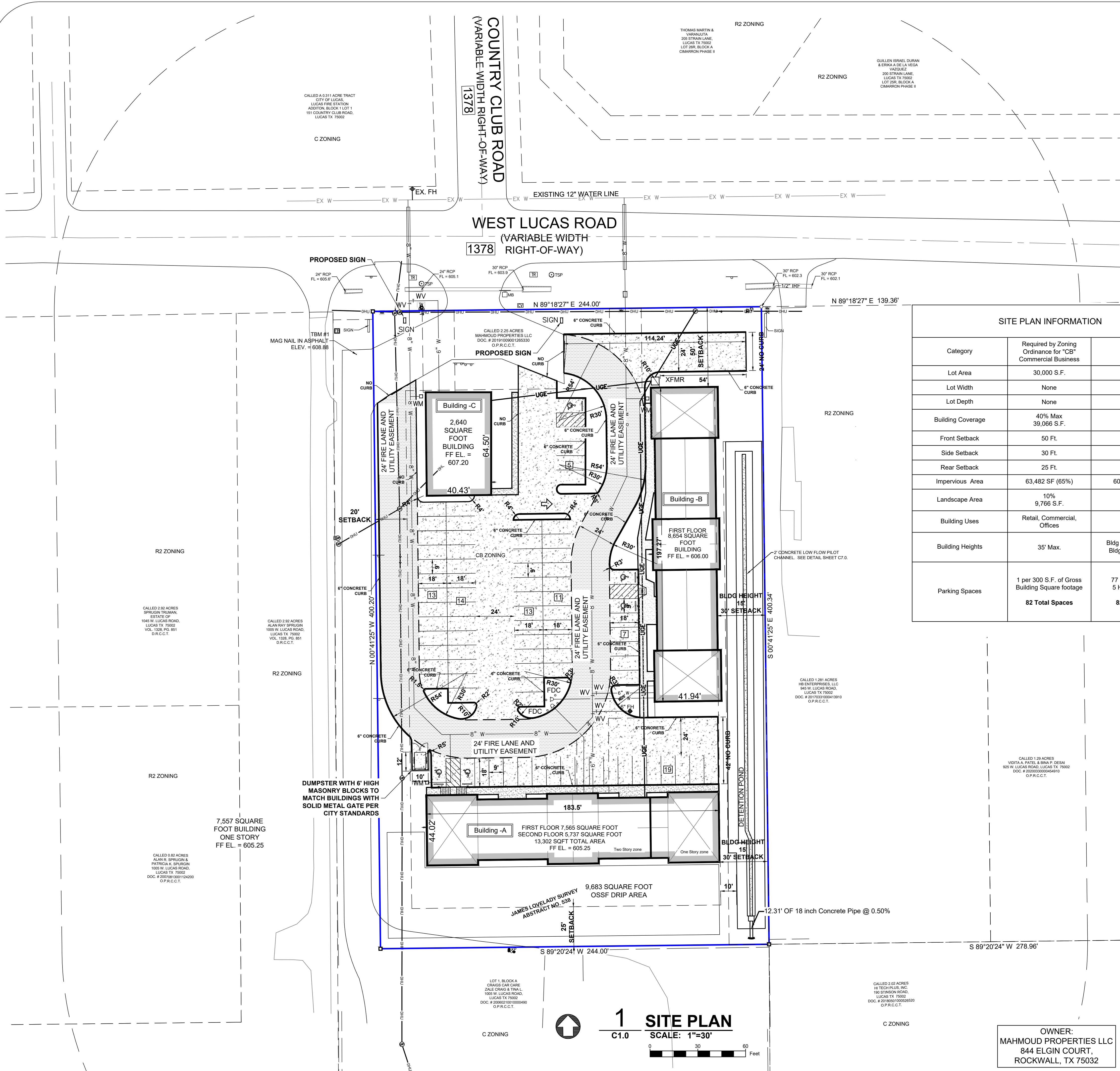
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Project No: 22014

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Checked By: MAK  
Designed By: JPK

Project 220014  
Date 04/30/23  
Scale

Sheet  
**C0.0**





2 LOCATION MAP  
C1.0 SCALE: NTS

LEGEND - SITE PLAN

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	BUILDING SETBACK EASEMENT
---	FIRE LANE STRIPING
W	PROPOSED WATER LINE
SS	PROPOSED SANITARY SEWER LINE
EX W	PROPOSED STORM SEWER LINE
EX SS	EXISTING WATER LINE
EX G	EXISTING SANITARY SEWER LINE
EX OHE	EXISTING STORM SEWER LINE
EX UGE	EXISTING GAS LINE
EX UGT	EXISTING OVERHEAD ELECTRIC LINE
EX UGC	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND TELEPHONE LINE
---	EXISTING UNDERGROUND CABLE LINE
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED FIRE LANE PAVEMENT
---	PROPOSED SIDEWALK
---	EXISTING ASPHALT PAVEMENT
---	EXISTING TREE TO REMAIN
+	PROPOSED FIRE HYDRANT
+	PROPOSED GATE VALVE
+	PROPOSED WATER METER
+	PROPOSED MANHOLE
+	EXISTING FIRE HYDRANT
+	EXISTING GATE VALVE
+	EXISTING WATER METER
+	EXISTING MANHOLE
+	EXISTING POWER POLE

CONSTRUCTION NOTES

- BUILDING SILL ELEVATIONS AND SEWER INVERTS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- THE MINIMUM SLOPE FOR SANITARY SEWER LATERALS: SHALL BE 0.010 FT/FT (6" LATERALS AT MINIMUM 1%, 4" LATERALS AT MINIMUM 2%).
- PROGRESSION OF WORK: IN GENERAL WORK SHALL PROCEED FROM THE DOWNSTREAM END OF A SEWER LINE SEGMENT TO THE UPSTREAM END OF THE SEGMENT.
- THE MAXIMUM LENGTH OF OPEN TRENCH SHALL BE LIMITED TO NO MORE THAN THREE PIPE LENGTHS IN A SEWER SEGMENT.
- THE MINIMUM TRENCH WIDTH SHOULD BE NO LESS THAN 24 INCHES OR ONE FOOT GREATER THAN OUTSIDE DIAMETER OF THE PIPE, WHICHEVER IS GREATER.
- THE MINIMUM DEPTH OF COVER ABOVE THE TOP OF PIPE FOR WATER LINE INSTALLATIONS SHALL BE 4 FEET.
- WATER MAINS AND SERVICES: LOCATIONS SHOWN ARE APPROXIMATE AND ARE INDICATED FOR GENERAL REFERENCE ONLY UNLESS OTHERWISE NOTED.
- ALL EXISTING UNDERGROUND FEATURES SUCH AS SEPTIC TANKS, LEACH FIELDS, SANITARY SEWERS, ETC. ARE APPROXIMATE ONLY AND ARE INDICATED FOR GENERAL REFERENCE AND DESIGN UNLESS OTHERWISE NOTED.
- WORK IN PRIVATE PROPERTY: THE CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO BEGINNING WORK IN ANY PRIVATELY OWNED AREAS WHICH WILL REQUIRE EASEMENTS FOR CONSTRUCTION.

SITE NOTES

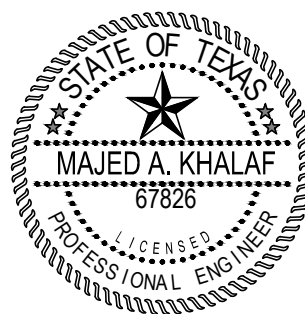
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SIDEWALKS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED, ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL COORDINATE UTILITY POLE RELOCATION WITH THE UTILITY COMPANY.
- CONCRETE AND FLEXBASE SECTION DESIGNS WILL SUPPORT TYPICAL FIRE APPARATUS LOADS.
- PROPOSED DOMESTIC WATER AND FIRE FLOW WILL BE SUPPLIED BY CITY OF LUCAS.

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LUCAS COMMERCIAL CENTER

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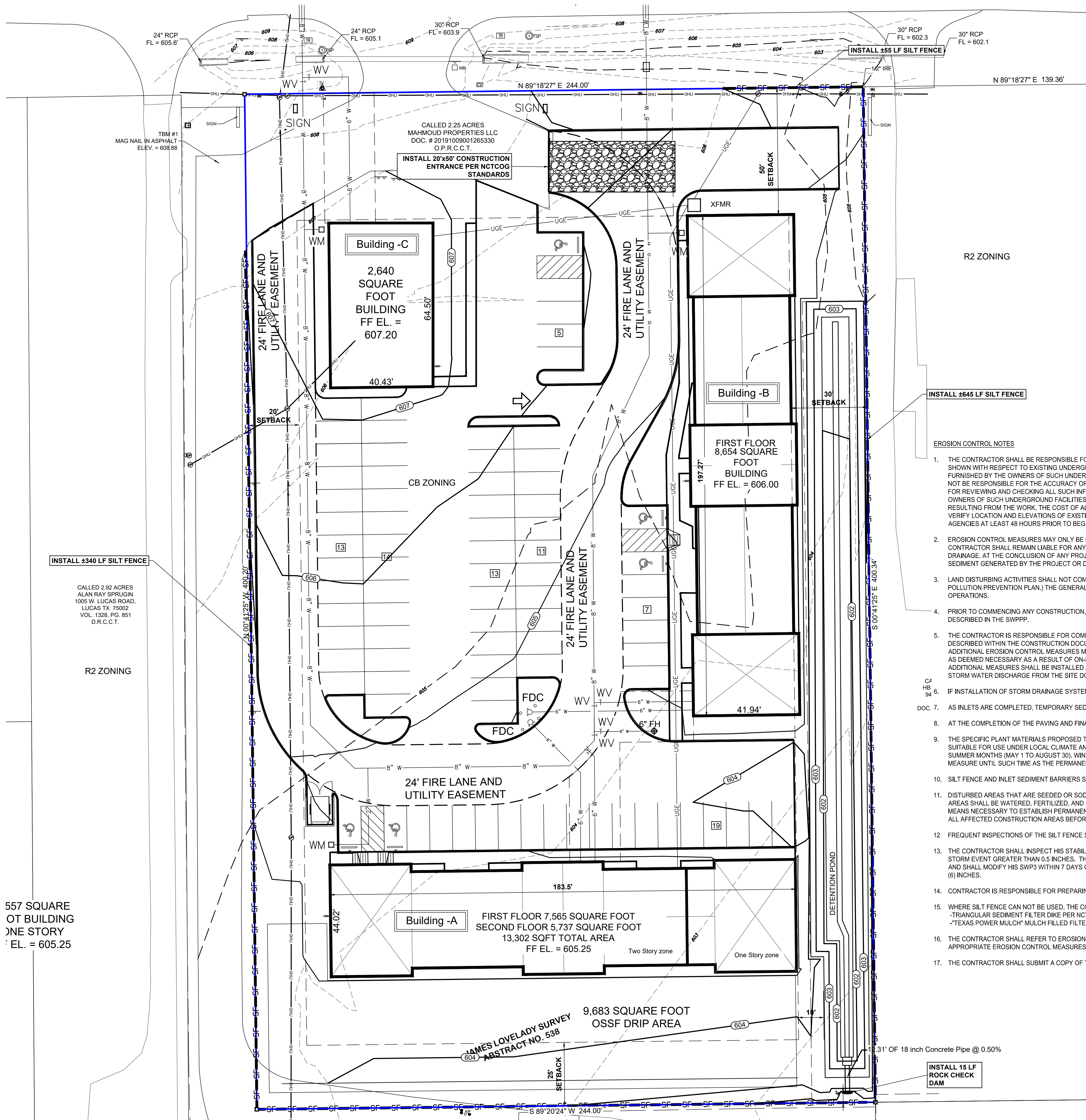
Project 220014

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Scale 1" = 30'

Sheet C1.0



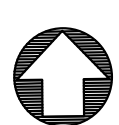


**LEGEND - EROSION CONTROL PLAN**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- BUILDING SETBACK
- EASEMENT
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM SEWER LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UNDERGROUND ELECTRIC LINE
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- EXISTING TREE TO REMAIN
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- PROPOSED WATER METER
- PROPOSED MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- EXISTING WATER METER
- EXISTING MANHOLE
- EXISTING POWER POLE
- SEDIMENT CONTROL BARRIER
- STABILIZED CONSTRUCTION ENTRANCE
- ROCK CHECK DAM
- INLET PROTECTION

**EROSION CONTROL NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATING. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON THE INFORMATION AND DATA FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPEARANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK, THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS, OR IN CHANNELS, DRAINAGEWAYS OR BORROW DITCHES AT RISK OF CONTRACTOR. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE, AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGEWAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE DREDGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES, (INCLUDING STORM WATER POLLUTION PREVENTION PLAN,) THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE APPROVED TPDES SWPPP DRAWINGS DURING CONSTRUCTION OPERATIONS.
- PRIOR TO COMMENCING ANY CONSTRUCTION, A CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS SHOWN, OR AS DESCRIBED IN THE SWPPP.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. THE EROSION CONTROL SYSTEM DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS SHOULD BE CONSIDERED TO REPRESENT THE MINIMUM ACCEPTABLE STANDARDS FOR THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDENT UPON THE STAGE OF CONSTRUCTION, THE SEVERITY OF THE RAINFALL EVEN AND/OR AS DEEMED NECESSARY AS A RESULT OF ON-SITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES OR THE JURISDICTIONAL AUTHORITIES. THESE ADDITIONAL MEASURES SHALL BE INSTALLED AT NO ADDITIONAL COST TO THE OWNER. IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO ASSURE THAT THE STORM WATER DISCHARGE FROM THE SITE DOES NOT EXCEED THE TOLERANCES ESTABLISHED BY ANY OF THE JURISDICTIONAL AUTHORITIES.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- AS INLETS ARE COMPLETED, TEMPORARY SEDIMENT BARRIERS SHALL BE INSTALLED.
- AT THE COMPLETION OF THE PAVING AND FINAL GRADING, THE DISTURBED AREA(S) SHALL BE REVEGETATED IN ACCORDANCE WITH THE SWPPP.
- THE SPECIFIC PLANT MATERIALS PROPOSED TO PROTECT FILL AND EXCAVATED SLOPES SHALL BE AS INDICATED WITHIN THE SWPPP. PLANT MATERIALS MUST BE SUITABLE FOR USE UNDER LOCAL CLIMATE AND SOIL CONDITIONS. IN GENERAL, HYDROSEEDING OR SODDING BERMUDA GRASS IS ACCEPTABLE DURING THE SUMMER MONTHS (MAY 1 TO AUGUST 30). WINTER RYE OR FESCUE GRASS MAY BE PLANTED DURING TIMES OTHER THAN THE SUMMER MONTHS AS A TEMPORARY MEASURE UNTIL SUCH TIME AS THE PERMANENT PLANTING CAN BE MADE.
- SILT FENCE AND INLET SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL REVEGETATION HAS BEEN COMPLETED.
- DISTURBED AREAS THAT ARE SEEDED OR SODDED SHALL BE CHECKED PERIODICALLY TO SEE THAT GRASS COVERAGE IS PROPERLY MAINTAINED. DISTURBED AREAS SHALL BE WATERED, FERTILIZED, AND RESEEDED OR RESODDED, IF NECESSARY. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. CONTRACTOR SHOULD ATTAIN A 75% BERMUDA COVERING BY SEEDING OR SODDING OVER ALL AFFECTED CONSTRUCTION AREAS BEFORE EROSION CONTROL CAN BE REMOVED.
- FREQUENT INSPECTIONS OF THE SILT FENCE SHALL BE MADE. ALL REPAIRS OR REPLACEMENTS SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL INSPECT HIS STABILIZATION AND EROSION CONTROL MEASURES AT MINIMUM OF ONCE EVERY 14 DAYS, AND WITHIN 24 HOURS OF ANY STORM EVENT GREATER THAN 0.5 INCHES. THE CONTRACTOR SHALL REPAIR INADEQUACIES REVEALED BY THE INSPECTION BEFORE THE NEXT STORM EVENT AND SHALL MODIFY HIS SWP3 WITHIN 7 DAYS OF THE INSPECTION. ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF WHEN IT REACHES A DEPTH OF SIX (6) INCHES.
- CONTRACTOR IS RESPONSIBLE FOR PREPARING, FILING, & MAINTAINING THE SWPPP & THE NOI.
- WHERE SILT FENCE CAN NOT BE USED, THE CONTRACTOR MAY SUBSTITUTE WITH THE FOLLOWING:
  - TRIANGULAR SEDIMENT FILTER DIKE PER NCTCOG SPEC 1050A
  - TEXAS POWER MULCH MULCH FILLED FILTER SOCK
- THE CONTRACTOR SHALL REFER TO EROSION CONTROL NARRATIVE AND SWPPP COORDINATION/INVESTIGATION DOCUMENTATION PROVIDED BY OTHERS FOR APPROPRIATE EROSION CONTROL MEASURES AND PROCEDURES FOR THIS PROJECT.
- THE CONTRACTOR SHALL SUBMIT A COPY OF THE SWPPP TO THE CITY PRIOR TO CONSTRUCTION.

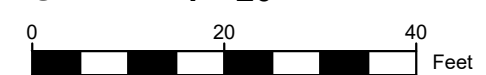


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C2.0

**EROSION CONTROL PLAN**

SCALE: 1"=20'



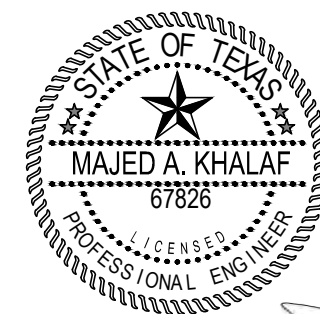
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**LUCAS COMMERCIAL CENTER**

**995 WEST LUCAS ROAD,  
LUCAS, TEXAS 75002**

No.	Revision/Issue	Date

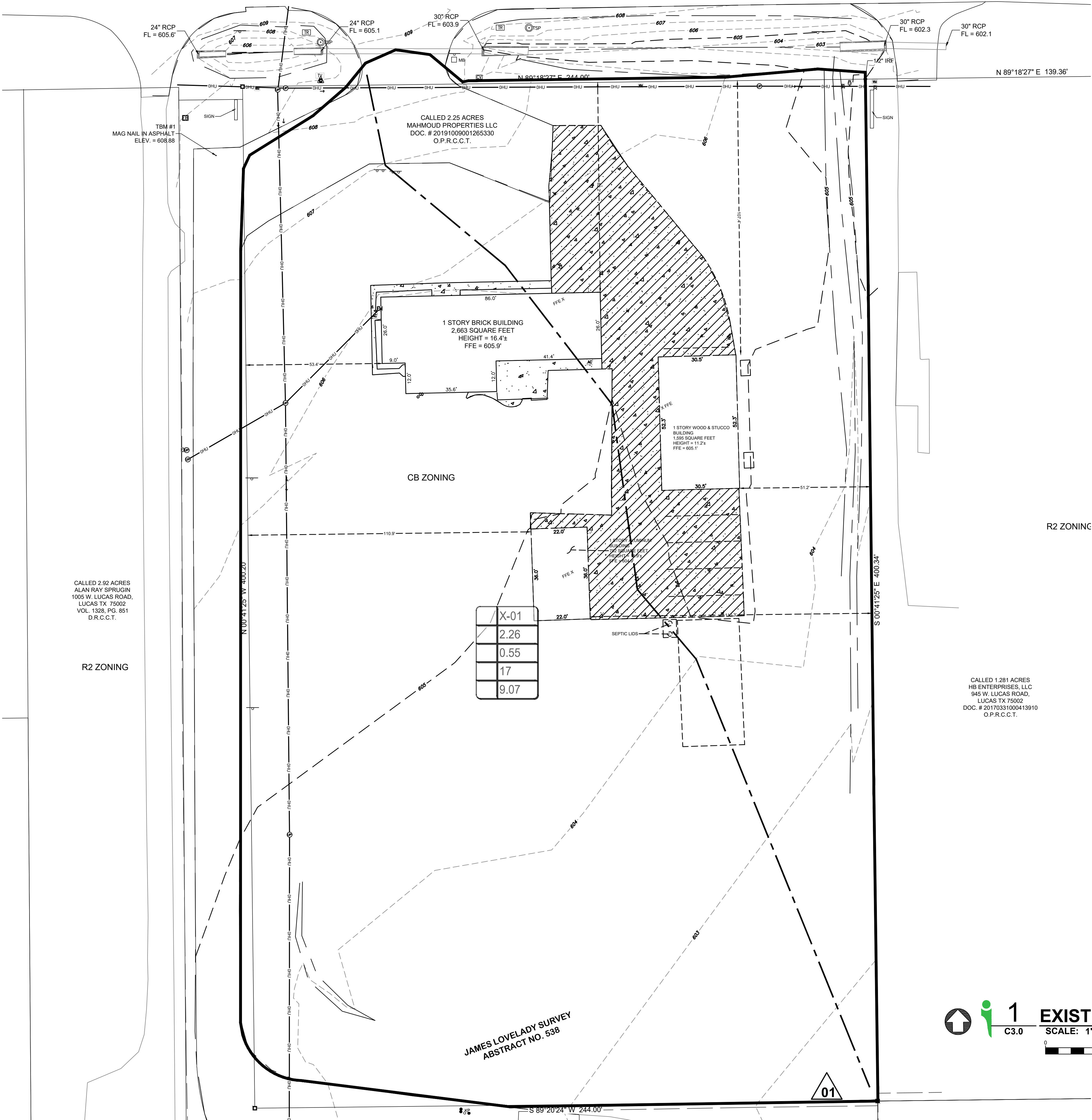


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Project	220014	Sheet
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Scale	1" = 20'	





Duration		Rainfall Intensity (in/hr) by Storm Frequency (Years)						
min	hr	2-year	5-year	10-year	25-year	50-year	100-year	
5	0.083	5.94	7.24	8.29	9.72	10.80	11.90	
10	0.167	4.76	5.80	6.65	7.80	8.68	9.53	
15	0.25	3.95	4.80	5.50	6.44	7.14	7.84	
30	0.5	2.75	3.33	3.81	4.45	4.93	5.40	
60	1	1.79	2.18	2.50	2.93	3.26	3.58	
120	2	1.11	1.37	1.59	1.88	2.11	2.35	
180	3	0.826	1.03	1.20	1.44	1.62	1.82	
360	6	0.494	0.620	0.728	0.882	1.00	1.13	
720	12	0.291	0.366	0.431	0.522	0.595	0.673	
1440	24	0.171	0.215	0.253	0.307	0.350	0.395	

NOAA ATLAS 14 RAINFALL INTENSITIES  
(TABLE 1 - LUCAS DRAINAGE DESIGN MANUAL)

FAA Formula Tc Worksheet

$T_c = 1.8(1.1 - C) \times \text{Flow length}^{0.5} / \text{Watercourse slope}^{0.333}$

Hyd. No. 1

X-01

Description

Flow length (ft) = 456.00  
Watercourse slope (%) = 1.57  
Runoff coefficient (C) = 0.55

Time of Conc. (min) = 17

DESIGN FLOW (QD) BY RATIONAL METHOD, EXISTING						
LOCATION	DESIGN STORM FREQUENCY (YEARS)	TIME OF CONCENTRATION (MIN)	INTENSITY, I (IN/HR)	DRAINAGE AREA, A (ACRES)	RUNOFF COEFFICIENT, C	DESIGN FLOW, Q <sub>D</sub> = CIA (CFS)
1	2	17	3.73	2.26	0.55	4.64
1	5	17	4.51	2.26	0.55	5.61
1	10	17	5.16	2.26	0.55	6.41
1	25	17	6.02	2.26	0.55	7.48
1	100	17	7.30	2.26	0.55	9.07

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PROFESSIONAL ENGINEER

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Scale 1" = 30'

Sheet  
C3.0

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C3.0

EXISTING DRAINAGE PLAN

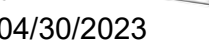
SCALE: 1"=20'

0 20 40 Feet



995 WEST LUCAS ROAD,  
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Project	220014	Sheet
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C3.1

$$T_c = 1.8(1.1 - C) \times \text{Flow length}^{0.5} / \text{Watercourse slope}^{0.333}$$

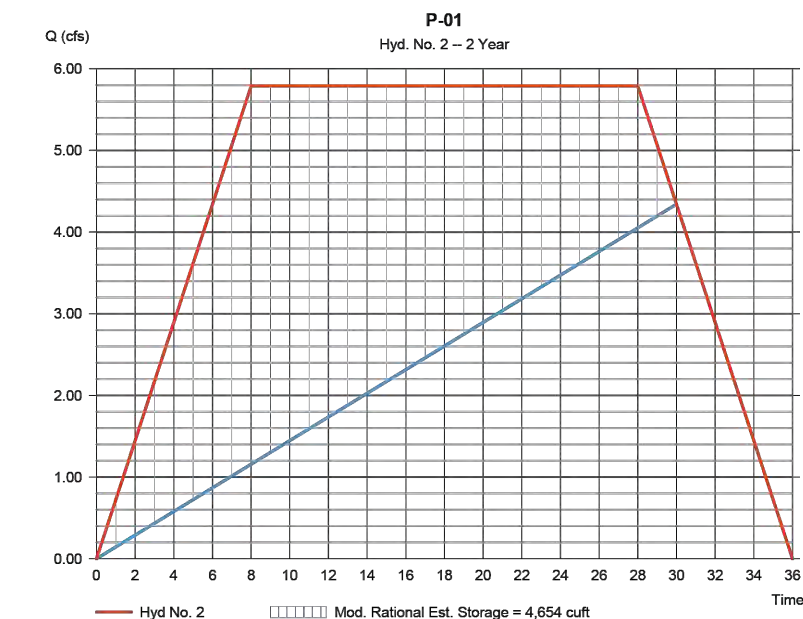
P-01

Flow length (ft)	= 529.00
Watercourse slope (%)	= 1.16
Runoff coefficient (C)	= 0.90

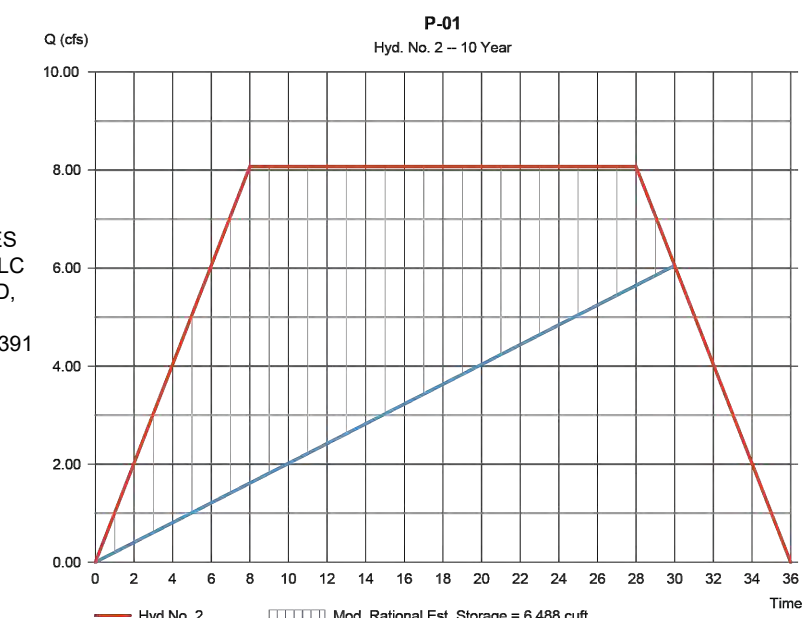
DESIGN FLOW (OD) B

DESIGN FLOW (QD) BY RATIONAL METHOD, PROPOSED						
LOCATION	DESIGN STORM FREQUENCY (YEARS)	TIME OF CONCENTRATION (MIN)	INTENSITY, I (IN/HR)	DRAINAGE AREA, A (ACRES)	RUNOFF COEFFICIENT, C	DESIGN FLOW, Q <sub>D</sub> = CIA (CFS)
1	2	8	5.13	2.26	0.9	10.44
1	5	8	6.23	2.26	0.9	12.66
1	10	8	7.13	2.26	0.9	14.50
1	25	8	8.34	2.26	0.9	16.96
1	100	8	10.15	2.26	0.9	20.64

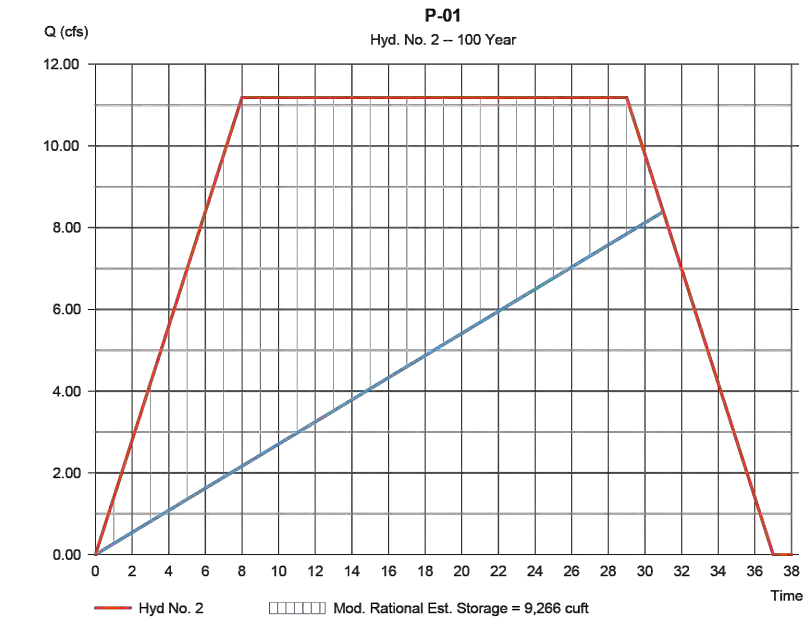
Hydrograph type	= Mod. Rational	Peak discharge	= 5.788 cfs	Hydrograph type	= Mod. Rational	Peak discharge	= 6.921 cfs
Storm frequency	= 2 yrs	Time to peak	= 8 min	Storm frequency	= 5 yrs	Time to peak	= 6 min
Time interval	= 1 min	Hyd. volume	= 8.751 cuft	Time interval	= 1 min	Hyd. volume	= 12.059 cuft
Drainage area	= 2.260 ac	Runoff coeff.	= 0.9	Drainage area	= 2.260 ac	Runoff coeff.	= 0.9
Intensity	= 2.846 in/hr	Time by FFA	= 8.00 min	Intensity	= 3.402 in/hr	Time by FFA	= 8.00 min
IDF Curve	= NOAA_95_W_LUCAS.IDF	Storm duration	= 3.5 x Tc	IDF Curve	= NOAA_95_W_LUCAS.IDF	Storm duration	= 3.6 x Tc
Target Q	= 4.620 cfs	Est. Req'd Storage	= 4.654 cuft	Target Q	= 5.620 cfs	Est. Req'd Storage	= 4.725 cuft



Hydrograph type	= Mod. Rational	Peak discharge	= 8.068 cfs
Storm frequency	= 10 yrs	Time to peak	= 8 min
Time interval	= 1 min	Hyd. volume	= 13,594 cuft
Drainage area	= 2,260 ac	Runnoff coeff.	= 0.9*
Intensity	= 3.967 in/hr	Tc by FAA	= 8.00 min
IDF Curve	= NOAA_995_W_LUCAS.IDF	Storm duration	= 3.5 x Tc
Target Q	= 6.440 cfs	Est. Ret'd Storage	= 6.488 cuft



Hydrograph type	= Mod. Rational	Peak discharge	= 11.19 cfs
Storm frequency	= 100 yrs	Time to peak	= 8 min
Time interval	= 1 min	Hyd. volume	= 19,490 cuft
Drainage area	= 2,260 ac	Runoff coeff.	= 0.9*
Intensity	= 5.49 in/hr	Tc by FAH	= 8.00 min
IDF Curve	= NOAA_995_W_LUCAS.IDF	Storm duration	= 3.6 x Tc
Target Q	= 9,070 cfs	Est. Req'd Storage	= -9.26 cuft



## PROPOSED DRAINAGE PLAN

CALLED 1.281 ACRES  
 HB ENTERPRISES, LLC  
 945 W. LUCAS ROAD,  
 LUCAS TX 75002  
 DOC. # 2017033100041391  
 O.P.R.C.C.T.

**25'**  
**DRAINAGE**  
**EASEMENT**

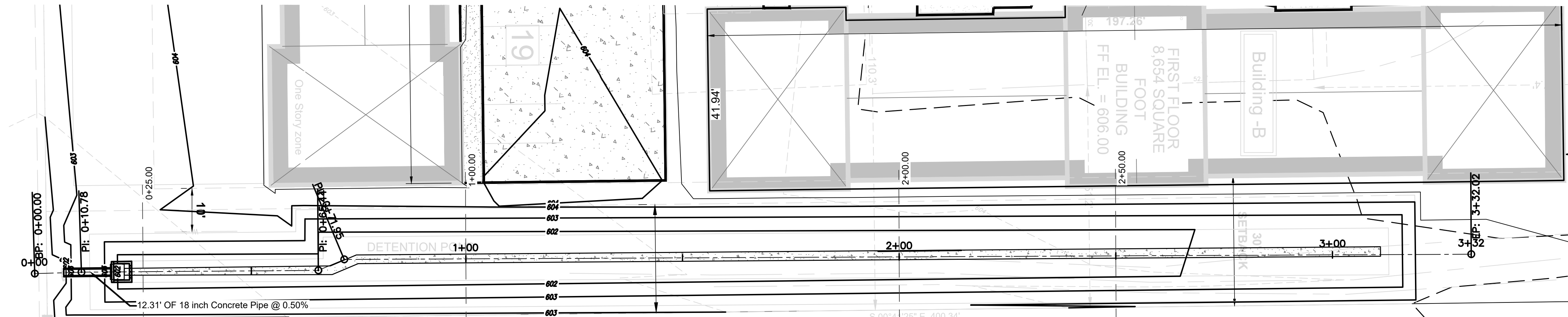


**SCALE: 1"=20'**

[illegible]

557 SQUARE  
OT BUILDING  
ONE STORY  
EL. = 605.25





DETENTION RELEASE SUMMARY (FLOW RATES IN CFS)					
EVENT	2-YR	5-YR	10-YR	25-YR	100-YR
MAX. ALLOWABLE RELEASE	4.64	5.61	6.41	7.49	9.07
ACTUAL RELEASE	4.19	5.28	6.2	7.48	9.03
ALLOWABLE - ACTUAL	0.45	0.33	0.21	0.01	0.04

Detention Stage/Storage/ Discharge			
Stage (ft)	Elev. (ft)	Storage (cf)	Discharge (cfs)
0.00	601.60	0.0	0.00
0.10	601.70	9.8	0.01
0.20	601.80	73.3	0.04
0.60	602.20	1,067.0	0.56
0.80	602.40	1,827.0	0.98
1.00	602.60	2,665.0	2.01
1.20	602.80	3,579.0	2.94
1.40	603.00	4,568.0	4.46
1.60	603.20	5,633.0	6.25
1.80	603.40	6,813.0	8.77
2.00	603.60	7,993.0	14.09
2.20	603.80	9,288.0	23.04

EQUATIONS USED FOR DISCHARGE CALCULATIONS:

(A) Rectangular Weir Flow Equation

$$Q = CLH^{3/2}$$

where

- Q = Weir discharge, cubic feet per second
- C = Weir coefficient
- L = Horizontal length, feet
- H = Head on weir, feet

(C) Orifice Flow Equation

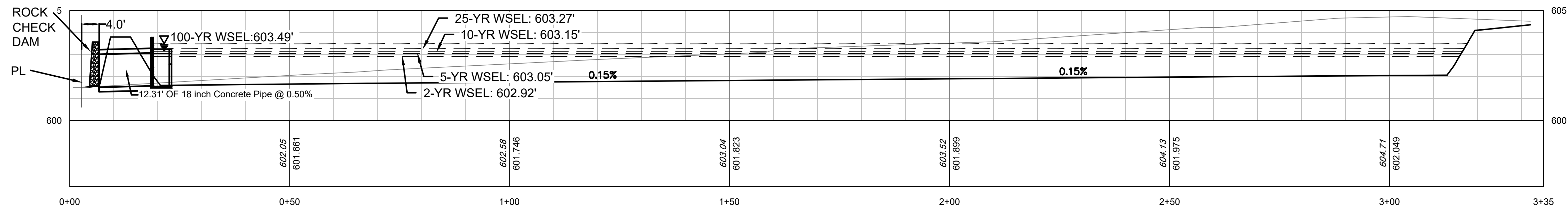
$$Q = C_o A (2gh)^{0.5}$$

where

- Q = Orifice Flow, cubic feet per second
- C<sub>o</sub> = Orifice Coefficient (use 0.6)
- A = Orifice Area, square feet
- g = Gravitation constant, 32.2 feet/sec<sup>2</sup>
- H = Head on orifice measured from centerline, feet

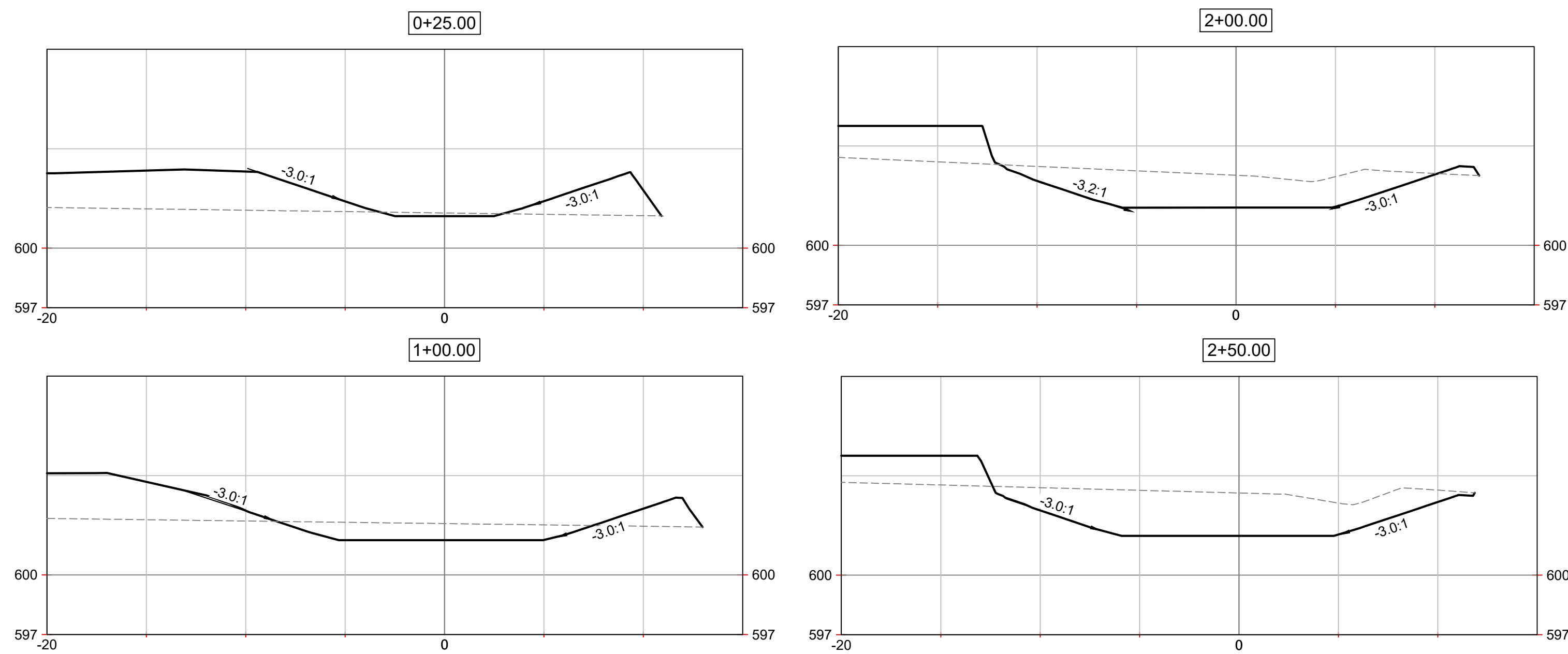
## 1 PROPOSED DETENTION PLAN

SCALE: 1"=15'



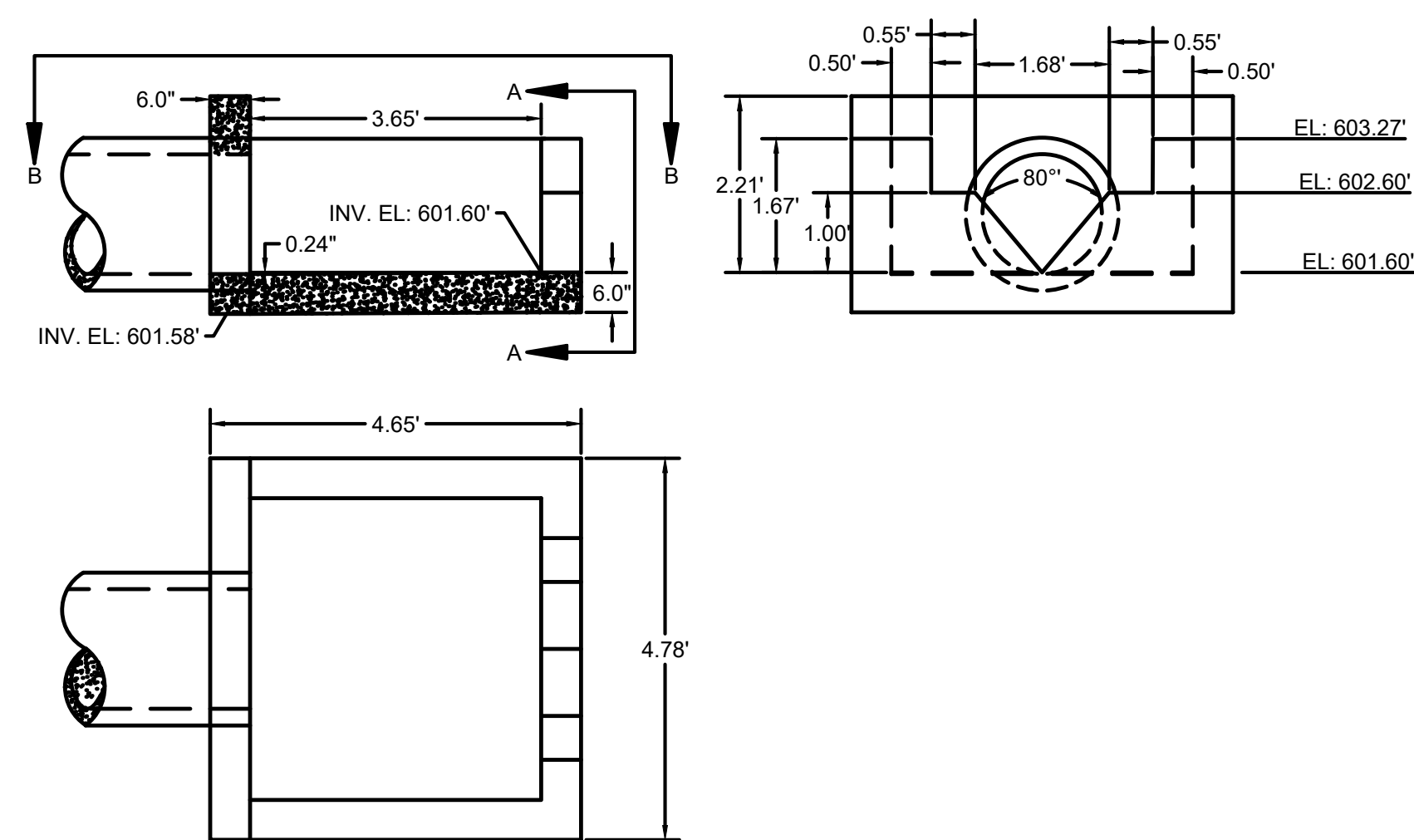
## 2 PROPOSED DETENTION PROFILE

SCALE: 1"=15'



## 3 PROPOSED DETENTION X-SECTIONS

SCALE: 1"=5'



## 4 PROPOSED OUTLET STRUCTURE

SCALE: 1"=2'

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**ROC DESIGN ENGINEERS**  
Superior Civil Engineering Service  
Texas Firm F-13744

9101 N. LBJ FWY, SUITE 570  
Dallas, Texas 75243  
Phone 972.639.8375

LUCAS COMMERCIAL CENTER

995 WEST LUCAS ROAD,  
LUCAS, TEXAS 75002

No.	Revision/Issue	Date
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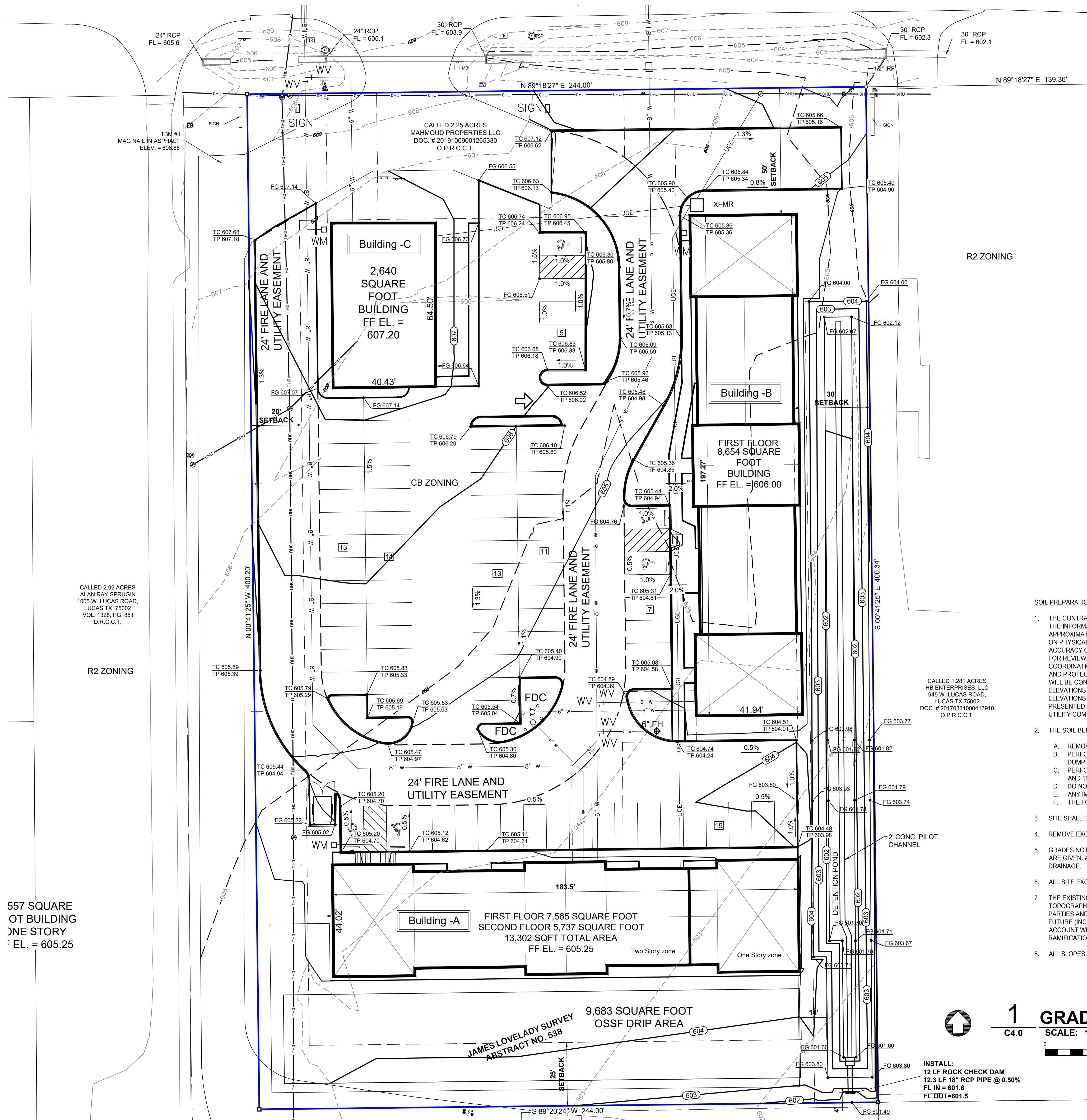
MAJED A. KHALAF  
67826  
04/30/2023

Issued Date: 04-30-23  
Project No: 22014  
Drawn By: JPK  
Checked By: MAK  
Designed By: JPK

Project: 220014	Sheet: C3.2
Date: 04/30/23	
Scale: 1" = 30'	



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LEGEND - GRADING PLAN	
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	BUILDING SETBACK
---	EASEMENT
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
W	PROPOSED WATER LINE
SS	PROPOSED SANITARY SEWER LINE
---	PROPOSED STORM SEWER LINE
EX W	EXISTING WATER LINE
EX SS	EXISTING SANITARY SEWER LINE
---	EXISTING STORM SEWER LINE
EX G	EXISTING GAS LINE
EX OHE	EXISTING OVERHEAD ELECTRIC LINE
EX UGE	EXISTING UNDERGROUND ELECTRIC LINE
EX UGT	EXISTING UNDERGROUND TELEPHONE LINE
EX UGC	EXISTING UNDERGROUND CABLE LINE
---	ACCESSIBLE ROUTE
---	EXISTING ASPHALT PAVEMENT
---	EXISTING TREE TO REMAIN
+	PROPOSED FIRE HYDRANT
+	PROPOSED GATE VALVE
+	PROPOSED WATER METER
+	PROPOSED MANHOLE
+	EXISTING FIRE HYDRANT
+	EXISTING GATE VALVE
+	EXISTING WATER METER
+	EXISTING MANHOLE
+	EXISTING POWER POLE
TS	TOP OF SIDEWALK ELEVATION
TP	TOP OF PAVEMENT ELEVATION
TW	TOP OF WALL ELEVATION
FG	FINISH GRADE ELEVATION
TG	TOP OF GRATE ELEVATION (INLET)
FL	FLOW LINE ELEVATION
ME	MATCH EXISTING ELEVATION
→	FLOW ARROW
EP	EXISTING PAVEMENT
FF	FINISHED FLOOR
FFE	FINISHED FLOOR ELEVATION

I, MAJED A. KHALAF, certify that the proposed excavation or fill will have no adverse impact to the drainage on, from, or through adjacent properties.

SOIL PREPARATION AND GRADING NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATING. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON THE INFORMATION AND DATA FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPEARANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA; AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA. FOR LOCATING ALL UNDERGROUND FACILITIES, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK, THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR COSTS INCURRED BY PROCEEDING WITH ELEVATIONS OF EXISTING UTILITIES THAT DIFFER FROM THOSE PRESENTED ON THESE PLANS. DISCREPANCIES SHALL BE PRESENTED TO THE ENGINEER FOR REVIEW PRIOR TO PROCEEDING WITH WORK. CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES, AGENCIES AND/OR ENGINEER AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- THE SOIL BENEATH THE PAVEMENT SHALL BE TREATED AS FOLLOWS:
  - REMOVE ALL VEGETATION, ORGANIC MATERIAL OR OTHER DELETERIOUS MATERIALS.
  - PERFORM ANY CUT OPERATIONS AS NEEDED AND PROOF ROLL THE PAVEMENT AREAS WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK. ANY AREAS WHICH RUT EXCESSIVELY OR PUMP SHALL BE UNDERCUT AND REPLACED WITH COMPACTED FILL.
  - PERFORM ALL FILL OPERATIONS. ALL FILL SHALL BE INSTALLED IN MAXIMUM 8 INCH LIFTS AND COMPACTED BETWEEN 95% AND 100% OF STANDARD PROCTOR AT A MOISTURE CONTENT AT OR ABOVE OPTIMUM
  - DO NOT USE ANY SAND AS FILL UNDER THE PAVEMENT.
  - ANY IMPORTED FILL SHALL BE SIMILAR TO THE ON SITE SOILS AND APPROVED BY EKON CONSULTING GROUP.
  - THE FOLLOWING TESTS SHALL BE RUN PER 5000 SQUARE FEET OR 300 LINEAR FEET: DENSITY AND MOISTURE CONTROL
- SITE SHALL BE GRADED TO ASSURE DRAINAGE OF SURFACE WATER FROM BUILDINGS.
- REMOVE EXCESS SPOIL FROM THE SITE AND LEGALLY DISPOSE OF THE SOILS.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
- ALL SITE EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED EXCAVATION.
- THE EXISTING GRADES AND CONTOURS SHOWN IN THESE PLANS REPRESENT THE ELEVATIONS AS INDICATED ON THE TOPOGRAPHIC SURVEY. DUE TO MANY FACTORS INCLUDING POSSIBLE DISTURBANCE OF THE SOIL OR BENCH MARKS BY OTHER PARTIES AND THE EXPANSIVE/SHRINKAGE NATURE OF THE SOIL, THE ELEVATIONS MAY BE SIGNIFICANTLY DIFFERENT IN THE FUTURE (INCLUDING THE BENCH MARKS). NORMAL EQUIPMENT AND MEASUREMENT ACCURACIES SHOULD BE TAKEN INTO ACCOUNT WHEN USING THESE ELEVATIONS. REFER TO THE GEOTECHNICAL INVESTIGATION FOR THE GEOTECHNICAL RAMIFICATIONS.
- ALL SLOPES IN UNPAVED AREAS SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.



1  
C4.0

GRADING PLAN

SCALE: 1"=20'



INSTALL:  
12 LF ROCK CHECK DAM  
12.3 LF 18" RCP PIPE @ 0.50%  
FL IN = 601.6  
FL OUT = 601.5

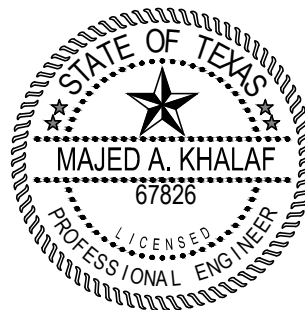
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**ROC DESIGN ENGINEERS**  
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9101 N. LBJ FWY, SUITE 570  
Dallas, Texas 75243  
Phone 972.639.8375

LUCAS COMMERCIAL CENTER

995 WEST LUCAS ROAD,  
LUCAS, TEXAS 75002

No.	Revision/Issue	Date
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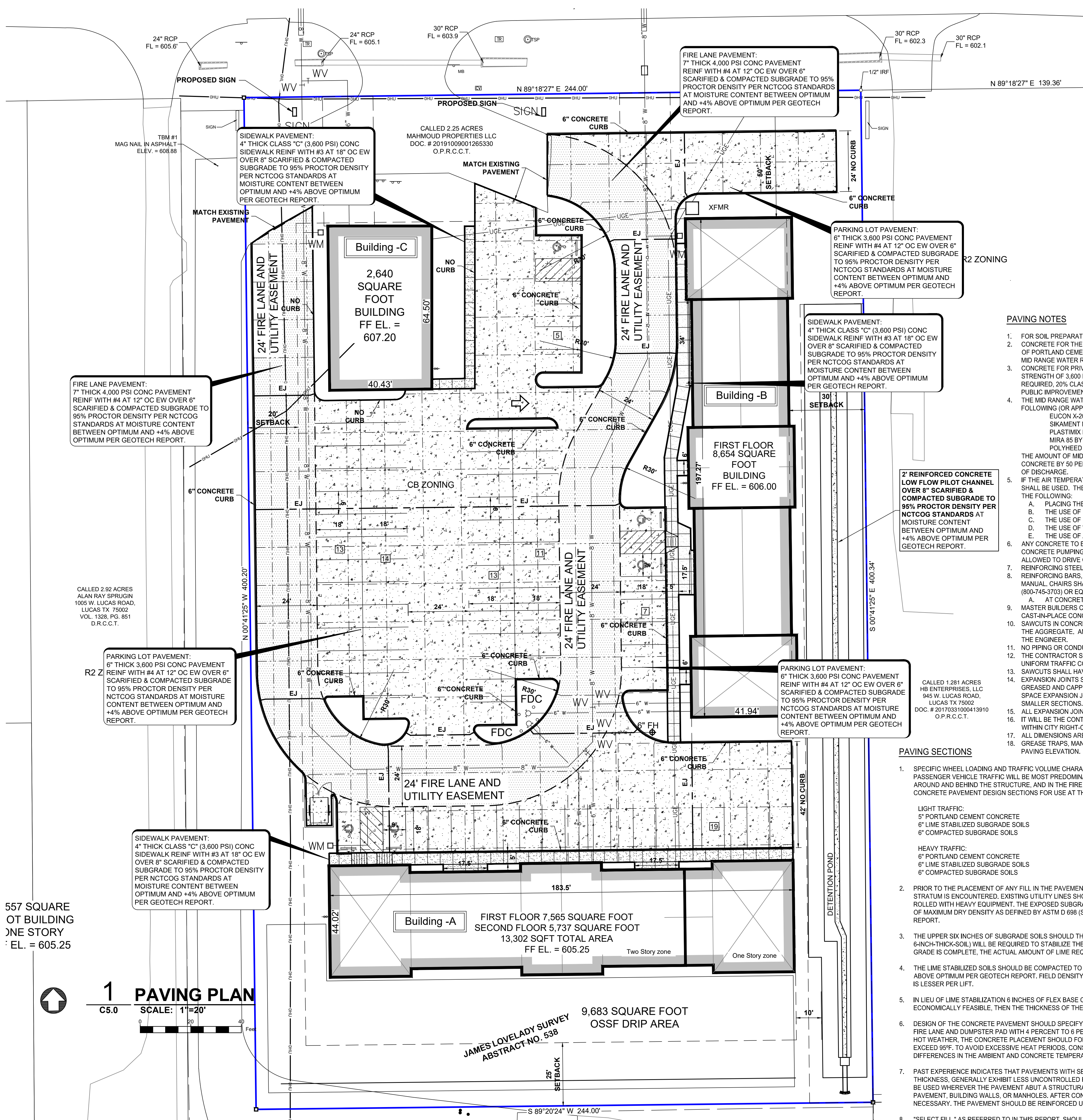


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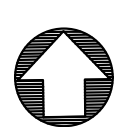
Issued Date: 04-30-23  
Project No: 22014  
Drawn By: JPK  
Checked By: MAK  
Designed By: JPK

Project	220014	Sheet
Date	04/30/23	C4.0
Scale	1" = 20'	

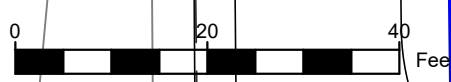




557 SQUARE  
OT BUILDING  
ONE STORY  
EL. = 605.25



1 PAVING PLAN  
C5.0 SCALE: 1"=20'



LEGEND - SITE PLAN

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	BUILDING SETBACK
---	EASEMENT
---	FIRE LANE STRIPING
W	PROPOSED WATER LINE
SS	PROPOSED SANITARY SEWER LINE
---	PROPOSED STORM SEWER LINE
EX W	EXISTING WATER LINE
EX SS	EXISTING SANITARY SEWER LINE
---	EXISTING STORM SEWER LINE
EX G	EXISTING GAS LINE
EX OHE	EXISTING OVERHEAD ELECTRIC LINE
EX UGE	EXISTING UNDERGROUND ELECTRIC LINE
EX UGT	EXISTING UNDERGROUND TELEPHONE LINE
EX UGC	EXISTING UNDERGROUND CABLE LINE

PROPOSED CONCRETE PAVEMENT

PROPOSED SIDEWALK

PROPOSED FIRE LANE PAVEMENT

+	PROPOSED FIRE HYDRANT
+	PROPOSED GATE VALVE
+	PROPOSED WATER METER
+	PROPOSED MANHOLE
+	EXISTING FIRE HYDRANT
+	EXISTING GATE VALVE
+	EXISTING WATER METER
+	EXISTING MANHOLE
+	EXISTING POWER POLE

PAVING NOTES

- FOR SOIL PREPARATION SPECIFICATIONS UNDER PAVEMENT, SEE SHEET C5.0
- CONCRETE FOR THE CONCRETE PAVEMENT SHALL HAVE A 28 DAY DESIGN COMPRESSIVE STRENGTH OF 4,000 PSI, A MINIMUM OF 6 SACKS OF PORTLAND CEMENT PER CUBIC YARD, 20% (MAX) CLASS C FLYASH, 4% TO 6% AIR CONTENT USING AIR ENTRAINING AGENT AS REQUIRED, MID RANGE WATER REDUCING AGENT AND A 5-6" SLUMP.
- CONCRETE FOR PRIVATE SIDEWALKS, CURBS AND GUTTERS AND DRAINAGE STRUCTURES SHALL HAVE A 28 DAY DESIGN COMPRESSIVE STRENGTH OF 3,600 PSI, A MINIMUM OF 5.5 SACKS OF CEMENT PER CUBIC YARD, 4% TO 6% AIR CONTENT USING AIR ENTRAINING AGENT AS REQUIRED, 20% CLASS C FLYASH A 5-6 INCH SLUMP, REFER TO CITY OF LUCAS AND/OR NCT-COG STANDARD SPECIFICATIONS FOR ALL PUBLIC IMPROVEMENTS.
- THE MID RANGE WATER REDUCING AGENT ADMIXTURE CONFORMING TO ASTM C-494, TYPE A OR D SHALL BE CHOSEN FROM ONE OF THE FOLLOWING (OR APPROVED EQUAL):
  - EUCON X-20 OR EUCON MR BY EUCOLD
  - SIKAMENT NL BY SIKKA
  - PLASTIMIX MR BY PROMIX TECHNOLOGIES
  - MIRA 85 BY W.R.GRACE AND CO.
  - POLYHEED 1020 BY DEUSSA ADMIXTURESTHE AMOUNT OF MID RANGE WATER REDUCER SHALL BE AS RECOMMENDED BY THE ADMIXTURE SUPPLIER TO INCREASE THE SLUMP OF THE CONCRETE BY 50 PERCENT OVER THE SLUMP WITHOUT THE ADMIXTURE. THE SLUMP GIVEN IN THE CONCRETE NOTES ARE AT THE POINT OF DISCHARGE.
- IF THE AIR TEMPERATURE IS GREATER THAN 90 DEGREES WITHIN 24 HOURS AFTER PLACEMENT, HOT WEATHER CONCRETE PROCEDURES SHALL BE USED. THE CONTRACTOR SHALL SUBMIT A PROCEDURE TO THE ENGINEER FOR APPROVAL. THESE PROCEDURES MAY INCLUDE THE FOLLOWING:
  - A. PLACING THE CONCRETE IN THE EARLY MORNING HOURS
  - B. THE USE OF EVAPORATION REDUCER (SEE BELOW)
  - C. THE USE OF MISTING AS A CURING METHOD
  - D. THE USE OF WET BLANKETS AS A CURING METHOD
  - E. THE USE OF A RETARDING ADMIXTURE (NOT PREFERRED)
- ANY CONCRETE TO BE PLACED FURTHER THAN 15 FEET FROM THE END OF A CONCRETE TRUCK SHALL BE PUMPED WITH A COMMERCIAL CONCRETE PUMPING TRUCK OR OTHER PLACEMENT METHOD APPROVED BY THE ENGINEER. THE CONCRETE TRUCK SHALL NOT BE ALLOWED TO DRIVE OVER THE SUBGRADE OR THE PAVEMENT REINFORCEMENT UNLESS APPROVED BY THE ENGINEER.
- REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO A.S.T.M. A-615 GRADE 80.
- REINFORCING BARS, BAR SUPPORTS, AND SPACERS SHALL BE DETAILED AND PROVIDED IN ACCORDANCE WITH THE A.C.I. DETAILING MANUAL. CHAIRS SHALL NOT BE PLACED FURTHER THAN 4 FEET APART. BAR SUPPORTS SHALL BE DAYTON/RICHMOND PRODUCTS (800-745-3703) OR EQUAL.
- AT CONCRETE PAVEMENT: (CONCRETE THICKNESS MINUS 1 1/2 INCHES) HIGH, TYPE R21, OR TYPE BBP
- MASTER BUILDERS CONFLUM OR EUCOBAR EVAPORATION REDUCERS SHALL BE USED AFTER EACH FINISHING OPERATION ON THE CAST-IN-PLACE CONCRETE PAVEMENT UNLESS PRIOR APPROVAL FROM THE ENGINEER HAS BEEN OBTAINED TO NOT USE THIS PRODUCT.
- SAWCUTS IN CONCRETE PAVEMENT SHALL BE MADE AS SOON AS THE CONCRETE IS OF SUFFICIENT STRENGTH TO SAW WITHOUT RAVELING THE AGGREGATE. ANY TIME LAPSE GREATER THAN 8 HOURS AFTER PLACING THE CONCRETE SHALL BE PERMITTED ONLY IF APPROVED BY THE ENGINEER.
- NO PIPING OR CONDUITS SHALL BE INSTALLED IN ANY CONCRETE WITHOUT THE APPROVAL OF THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE, CONSTRUCT AND MAINTAIN BARRICADES AND SIGNS IN ACCORDANCE WITH THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- SAWCUTS SHALL HAVE A MAXIMUM SPACING OF 15' EACH WAY.
- EXPANSION JOINTS SHALL BE SMOOTH DOWEL JOINTS WITH THE PAVEMENT THICKNESS INCREASED BY 25%, ONE END OF DOWELS TO BE GREASED AND CAPPED AND USE 1" EXPANSION JOINT MATERIAL IN THE JOINT. REDWOOD OR OTHER RIGID MATERIAL SHOULD BE AVOIDED. SPACE EXPANSION JOINTS BETWEEN 80' AND 100' APART AND AT ALL LOCATIONS IN WHICH LARGE PAVEMENT SECTIONS INTERSECT SMALLER SECTIONS.
- ALL EXPANSION JOINTS MUST BE SEALED WITH A BITUMINOUS JOINT SEALANT OR APPROVED EQUAL.
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS FROM THE CITY OF LUCAS BEFORE CONSTRUCTION WITHIN CITY RIGHT-OF-WAY.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- GREASE TRAPS, MANHOLES, AND VALVE COVERS IN PAVED AREAS SHALL BE TRAFFIC BEARING AND RIM ELEVATIONS SHALL MATCH FINAL PAVING ELEVATION.

PAVING SECTIONS

- SPECIFIC WHEEL LOADING AND TRAFFIC VOLUME CHARACTERISTICS WERE NOT AVAILABLE AT THE TIME OF THIS INVESTIGATION. HOWEVER, WE HAVE ASSUMED THAT LIGHT PASSENGER VEHICLE TRAFFIC WILL BE MOST PREDOMINANT IN THE PARKING AREAS AND THE RELATIVELY HEAVIER FIRE TRUCK TRAFFIC WILL OCCUR IN THE DRIVE AREAS AREA AROUND AND BEHIND THE STRUCTURE, AND IN THE FIRE LANE. BASED ON ASSUMED LOADING CONDITIONS, WE HAVE DEVELOPED THE FOLLOWING PORTLAND CEMENT CONCRETE PAVEMENT DESIGN SECTIONS FOR USE AT THIS SITE:  
  
LIGHT TRAFFIC:  
6" PORTLAND CEMENT CONCRETE  
6" LIME STABILIZED SUBGRADE SOILS  
6" COMPACTED SUBGRADE SOILS  
  
HEAVY TRAFFIC:  
6" PORTLAND CEMENT CONCRETE  
6" LIME STABILIZED SUBGRADE SOILS  
6" COMPACTED SUBGRADE SOILS
- PRIOR TO THE PLACEMENT OF ANY FILL IN THE PAVEMENT AREA, WE RECOMMEND ALL EXISTING VEGETATION, DEBRIS AND LOOSE SOILS SHOULD BE REMOVED UNTIL HARD STRATUM IS ENCOUNTERED. EXISTING UTILITY LINES SHOULD EITHER BE CAPPED ON BOTH SIDES OR REMOVED COMPLETELY. THE EXPOSED SURFACE SHOULD THEN BE PROOF ROLLED WITH HEAVY EQUIPMENT. THE EXPOSED SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF 6 INCHES, WATER AS REQUIRED AND COMPACTED TO 95 AND 100 PERCENT OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D 698 (STANDARD PROCTOR TEST), AT MOISTURE CONTENT BETWEEN OPTIMUM AND 4 POINTS ABOVE OPTIMUM PER GEOTECH REPORT.
- THE UPPER SIX INCHES OF SUBGRADE SOILS SHOULD THEN BE STABILIZED WITH LIME, BASED ON APPROXIMATELY 10 PERCENT OF HYDRATED LIME (44 LBS/YARD FOR 6-INCH-THICK-SOIL) WILL BE REQUIRED TO STABILIZE THE SUBGRADE SOILS (TO REDUCE THE PLASTICITY INDEX TO 15 OR LESS). IT SHOULD BE NOTED THAT AFTER THE FINAL GRADE IS COMPLETE, THE ACTUAL AMOUNT OF LIME REQUIRED SHOULD BE CALCULATED BY LIME SERIES TEST IN THE LABORATORY.
- THE LIME STABILIZED SOILS SHOULD BE COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY WITH THE MOISTURE CONTENT BETWEEN OPTIMUM AND 4 POINTS ABOVE OPTIMUM PER GEOTECH REPORT. FIELD DENSITY TESTS SHOULD BE TAKEN AT THE RATE OF ONE TEST PER EVERY 300 LINEAR FEET OR 5,000 SQUARE FEET, WHICHEVER IS LESSER PER LIFT.
- IN LIEU OF LIME STABILIZATION 6 INCHES OF FLEX BASE CAN BE USED. IN THE EVENT THAT LIME STABILIZATION OF THE SUBGRADE SOILS OR PLACEMENT OF FLEX BASE IS NOT ECONOMICALLY FEASIBLE, THEN THE THICKNESS OF THE CONCRETE CAN BE INCREASED BY AN ADDITIONAL ONE INCH OR CITY STANDARDS.
- DESIGN OF THE CONCRETE PAVEMENT SHOULD SPECIFY A MINIMUM 28-DAY CONCRETE COMPRESSIVE STRENGTH OF 3,600 PSI FOR ALL THE PAVEMENT AND 4,000 PSI FOR THE FIRE LANE AND DUMPSTER PAD WITH 4 PERCENT TO 6 PERCENT ENTRAINED AIR. THE CONCRETE SHOULD BE PLACED WITHIN ONE AND ONE-HALF HOURS OF BATCHING, DURING HOT WEATHER. THE CONCRETE PLACEMENT SHOULD FOLLOW ACI 311 HOT WEATHER CONCRETE AND IN NO CASE SHOULD THE CONCRETE TEMPERATURE BE ALLOWED TO EXCEED 95°F. TO AVOID EXCESSIVE HEAT PERIODS, CONSIDERATION SHOULD BE GIVEN TO LIMITING CONCRETE PLACEMENT TO A TIME OF DAY THAT WILL MINIMIZE LARGE DIFFERENCES IN THE AMBIENT AND CONCRETE TEMPERATURE.
- PAST EXPERIENCE INDICATES THAT PAVEMENTS WITH SEALED JOINTS ON 15 TO 20-FOOT SPACINGS, CUT TO A DEPTH OF AT LEAST ONE-QUARTER OF THE PAVEMENT THICKNESS, GENERALLY EXHIBIT LESS UNCONTROLLED POST CONSTRUCTION CRACKING THAN PAVEMENTS WITH WIDER SPACINGS. AS A MINIMUM, EXPANSION JOINTS SHOULD BE USED WHEREVER THE PAVEMENT ABUT A STRUCTURAL ELEMENT SUBJECT TO A DIFFERENT MAGNITUDE OF MOVEMENT, E.G., LIGHT POLES, RETAINING WALLS, EXISTING PAVEMENT, BUILDING WALLS, OR MANHOLES. AFTER CONSTRUCTION, THE CONSTRUCTION AND EXPANSION JOINTS SHOULD BE INSPECTED PERIODICALLY AND RESEALED, IF NECESSARY. THE PAVEMENT SHOULD BE REINFORCED USING AT LEAST NO. 3 BARS; 18 INCHES ON CENTER SHOULD BE USED.
- "SELECT FILL," AS REFERRED TO IN THIS REPORT, SHOULD CONSIST OF CLAYEY SANDS FREE OF ORGANIC MATERIALS WITH A PLASTICITY INDEX BETWEEN 6 AND 16, A LIQUID LIMIT OF 38 OR LESS, AND BETWEEN 15 AND 45 PERCENT PASSING A NO. 200 SIEVE.
- FLEX BASE: TXDOT 247 TYPE D GRADE 1-2.

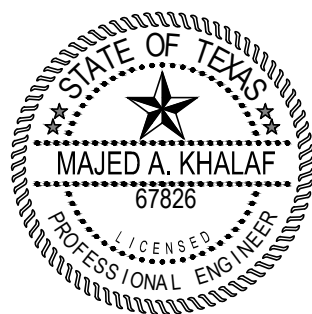
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**ROC DESIGN ENGINEERS**  
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Texas Firm F-13744

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Dallas, Texas 75243  
Phone 972.639.8375

LUCAS COMMERCIAL CENTER

995 WEST LUCAS ROAD,  
LUCAS, TEXAS 75002

No.	Revision/Issue	Date

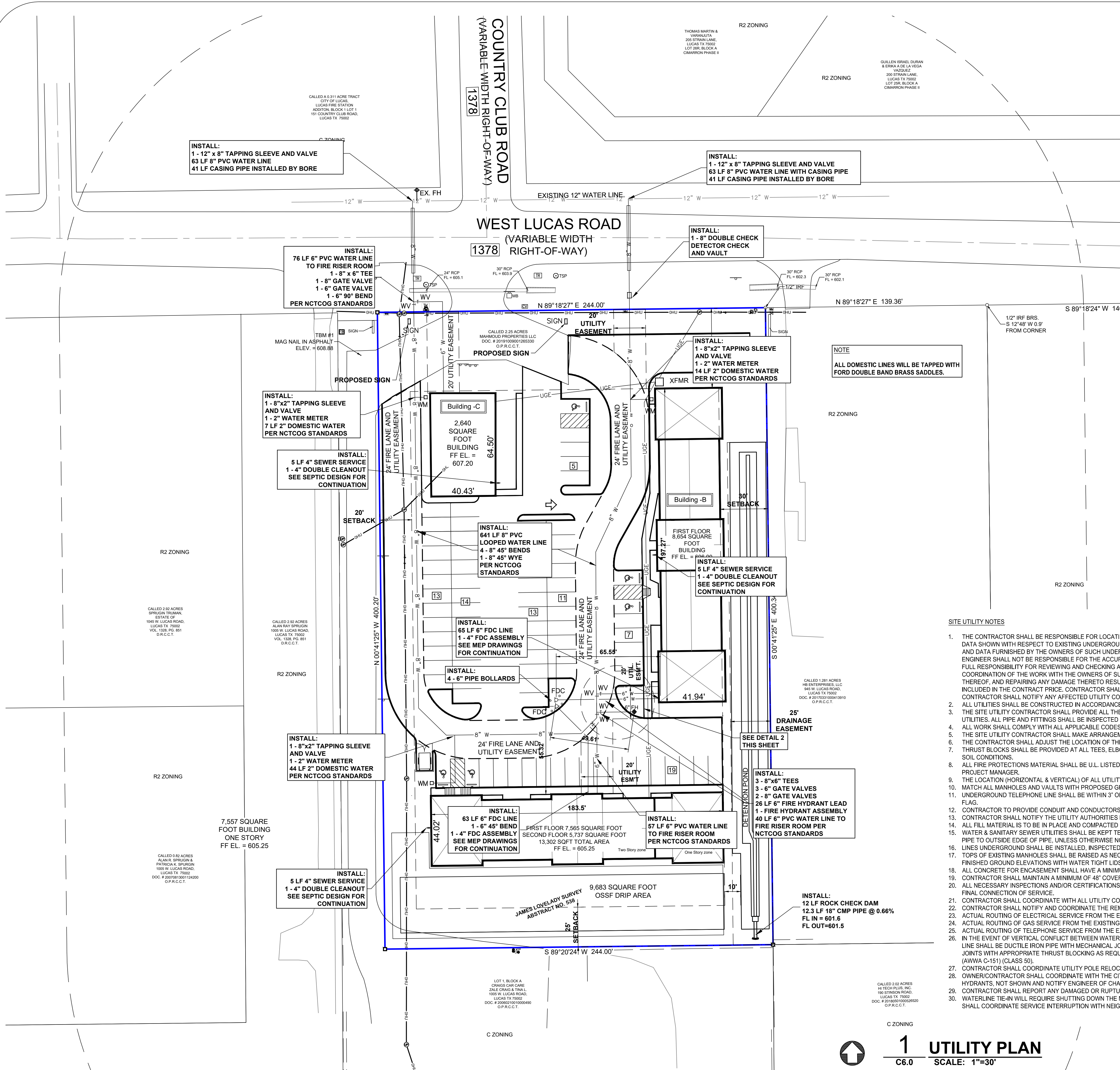


04/30/2023

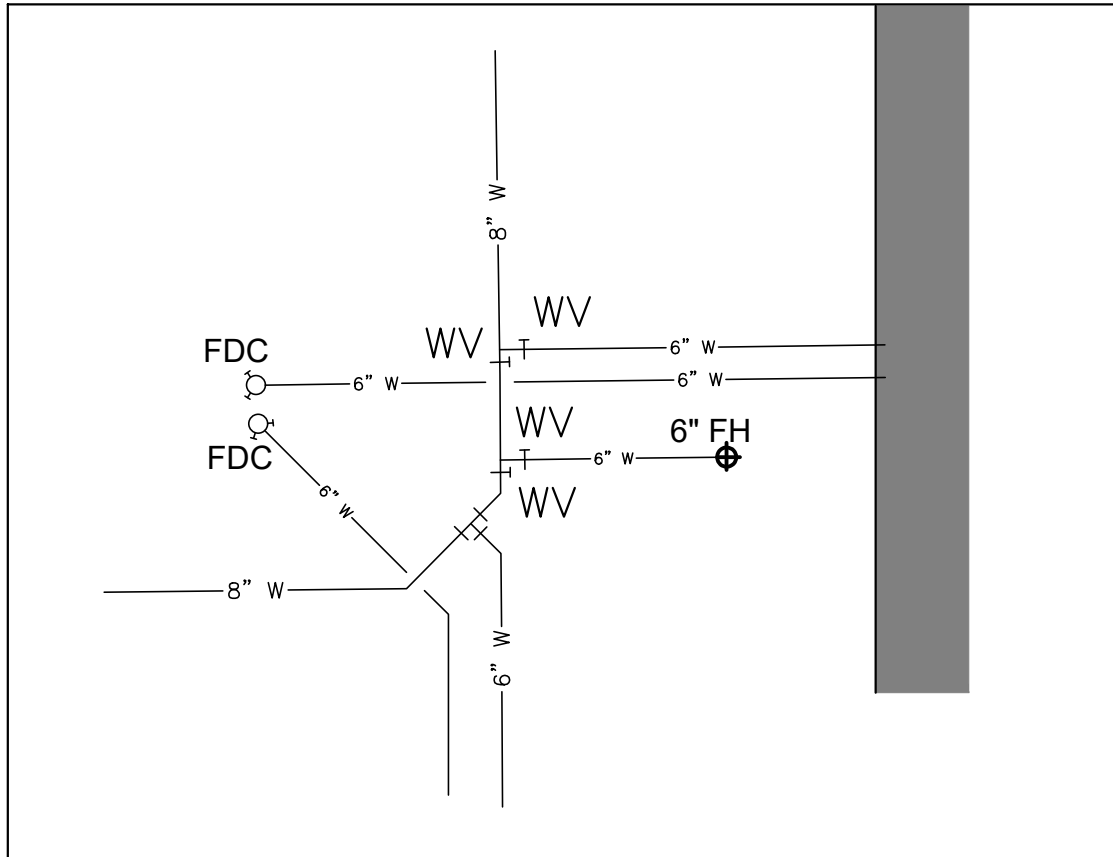
Issued Date: 04-30-23  
Project No: 22014  
  
Drawn By: JPK  
Checked By: MAK  
Designed By: JPK

Project	220014	Sheet
Date	04/30/23	C5.0
Scale	1" = 20'	





LEGEND - UTILITY PLAN	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	BUILDING SETBACK
	EASEMENT
	FIRE LANE STRIPING
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED STORM SEWER LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM SEWER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING UNDERGROUND CABLE LINE
	EXISTING TREE TO REMAIN
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED WATER METER
	PROPOSED MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	EXISTING WATER METER
	EXISTING MANHOLE
	EXISTING POWER POLE

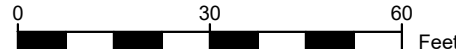


**2 WATER CONNECTION**  
C6.0 SCALE: NTS

- SITE UTILITY NOTES**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATING. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON THE INFORMATION AND DATA FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPEARANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA FOR LOCATING ALL UNDERGROUND FACILITIES. FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK, THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
  - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LUCAS PUBLIC WORKS SPECIFICATIONS AND/OR NCTCOG STANDARDS.
  - THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND APPURTENANCES NECESSARY FOR THE COMPLETE INSTALLATION OF THE UTILITIES. ALL PIPE AND FITTINGS SHALL BE INSPECTED BY THE CITY INSPECTOR PRIOR TO BEING COVERED.
  - ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS AND REQUIREMENTS.
  - THE SITE UTILITY CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE COMMUNITY WATER CO. FOR THE CONNECTIONS TO THE EXISTING WATER MAIN.
  - THE CONTRACTOR SHALL ADJUST THE LOCATION OF THE PROPOSED WATER LINES AS REQUIRED TO AVOID CONFLICTS WITH THE OTHER UTILITIES.
  - THRUST BLOCKS SHALL BE PROVIDED AT ALL TEES, ELBOWS AND BENDS, AND WILL BE OF SUFFICIENT SIZE TO COMPLY WITH CITY STANDARDS FOR EXISTING SOIL CONDITIONS.
  - ALL FIRE PROTECTION MATERIAL SHALL BE U.L. LISTED, FACTORY MUTUAL APPROVED, AND NFPA STANDARDS, UNLESS OTHERWISE DIRECTED BY THE PROJECT MANAGER.
  - THE LOCATION (HORIZONTAL & VERTICAL) OF ALL UTILITY LEAD-INS TO THE BUILDING SHALL BE VERIFIED WITH THE BUILDING MECHANICAL PLANS.
  - MATCH ALL MANHOLES AND VAULTS WITH PROPOSED GROUND ELEVATIONS.
  - UNDERGROUND TELEPHONE LINE SHALL BE WITHIN 3' OF CONDUIT, BURIED A MINIMUM OF 24", AND TERMINATING AT RIGHT-OF-WAY WITH PULL STRING AND FLAG.
  - CONTRACTOR TO PROVIDE CONDUIT AND CONDUCTORS FROM BUILDING TO POLE AND COORDINATE WITH UTILITY PROVIDER FOR CONNECTION.
  - CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
  - ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
  - WATER & SANITARY SEWER UTILITIES SHALL BE KEPT TEN FEET (10') APART (PARALLEL) OR WHEN CROSSING 24" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE, UNLESS OTHERWISE NOTED.)
  - LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
  - TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
  - ALL CONCRETE FOR ENCASEMENT SHALL HAVE A MINIMUM 28-DAY COMPRESSION STRENGTH AT 3000 P.S.I.
  - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 48" COVER BELOW FINISHED GRADE ON ALL WATERLINES.
  - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE IN POSSESSION BEFORE THE FINAL CONNECTION OF SERVICE.
  - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
  - CONTRACTOR SHALL NOTIFY AND COORDINATE THE REMOVAL OF ALL TAP CONNECTIONS WITH THE CITY OF LUCAS.
  - ACTUAL ROUTING OF ELECTRICAL SERVICE FROM THE EXISTING TRANSFORMER IS TO BE COORDINATED WITH THE ELECTRICAL UTILITY.
  - ACTUAL ROUTING OF GAS SERVICE FROM THE EXISTING GAS LINE TO THE TERMINUS POINT TO THE BUILDING IS TO BE COORDINATED WITH THE GAS UTILITY.
  - ACTUAL ROUTING OF TELEPHONE SERVICE FROM THE EXISTING TELEPHONE LINE TO THE BUILDING IS TO BE COORDINATED WITH THE TELEPHONE UTILITY.
  - IN THE EVENT OF VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOIST AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 24" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 OR A21.11 (AWWA C-151) (CLASS 50).
  - CONTRACTOR SHALL COORDINATE UTILITY POLE RELOCATION WITH THE UTILITY COMPANY.
  - OWNER/CONTRACTOR SHALL COORDINATE WITH THE CITY FIRE MARSHALL TO PROVIDE ANY ADDITIONAL FIRE SAFETY FEATURES, INCLUDING FIRE HYDRANTS, NOT SHOWN AND NOTIFY ENGINEER OF CHANGES.
  - CONTRACTOR SHALL REPORT ANY DAMAGED OR RUPTURE TO ANY UTILITIES TO THE APPROPRIATE AUTHORITIES AND TO THE CITY OF LUCAS.
  - WATERLINE TIE-IN WILL REQUIRE SHUTTING DOWN THE MAIN, WHICH WILL REQUIRE INTERRUPTING SERVICE TO ADJACENT PROPERTIES. CONTRACTOR SHALL COORDINATE SERVICE INTERRUPTION WITH NEIGHBOR AND/OR SHUTDOWN THE MAIN AT NIGHT.



**1 UTILITY PLAN**  
C6.0 SCALE: 1"=30'



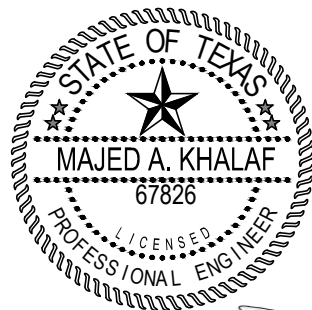
**ROC**  
CIVIL  
**ROC DESIGN ENGINEERS**  
Superior Civil Engineering Service  
Texas Firm F-13744

9101 N. LBJ FWY, SUITE 570  
Dallas, Texas 75243  
Phone 972.639.8375

LUCAS COMMERCIAL CENTER

995 WEST LUCAS ROAD,  
LUCAS, TEXAS 75002

No.	Revision/Issue	Date



04/30/2023

Issued Date: 04-30-23  
Project No: 22014

Drawn By: JPK  
Checked By: MAK  
Designed By: JPK

Project 220014

Date 04/30/23

Scale 1" = 30'

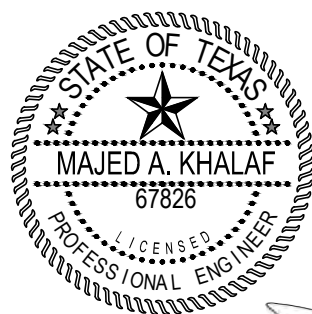
**C6.0**



LUCAS COMMERCIAL CENTER

995 WEST LUCAS ROAD,  
LUCAS, TEXAS 75002

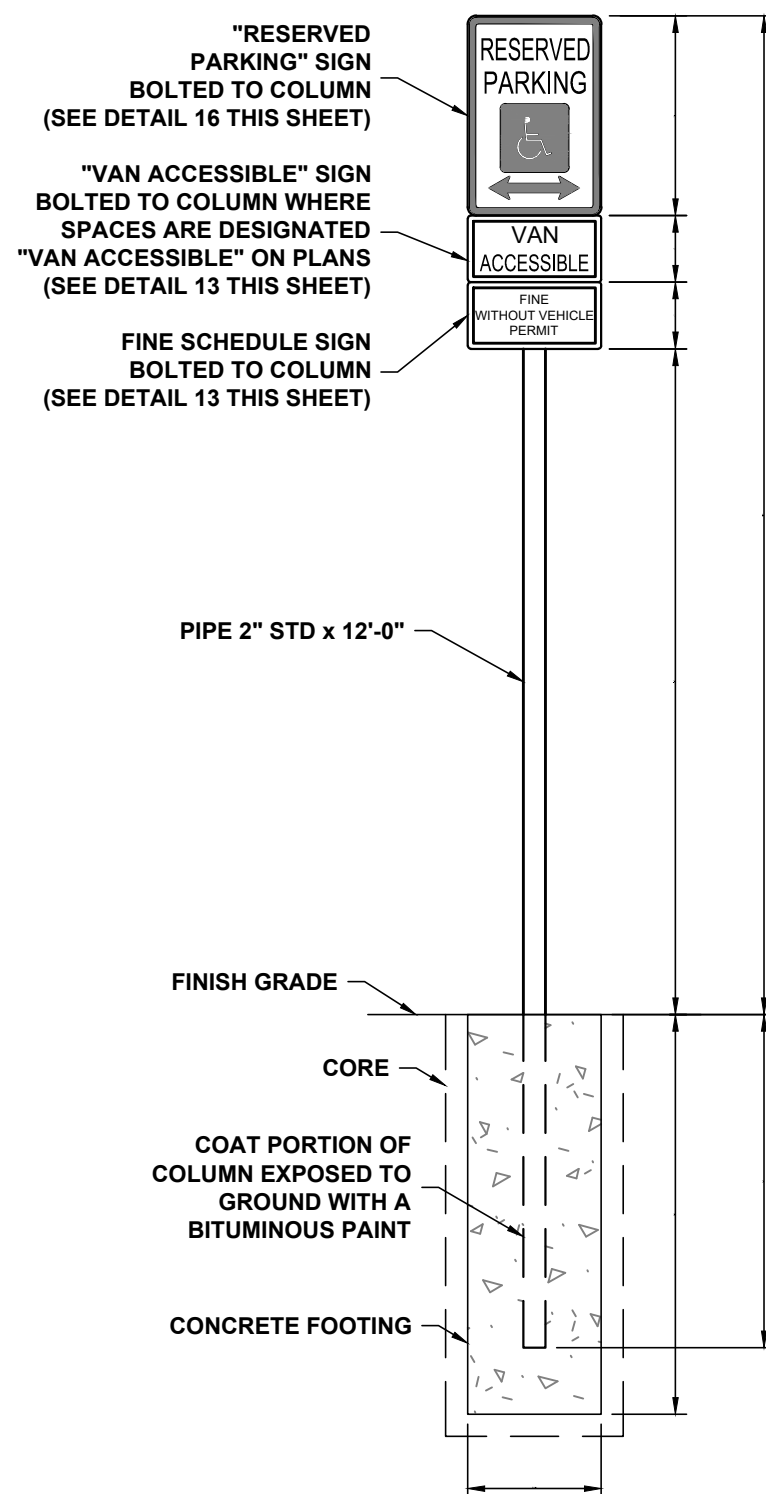
No.	Revision/Issue	Date



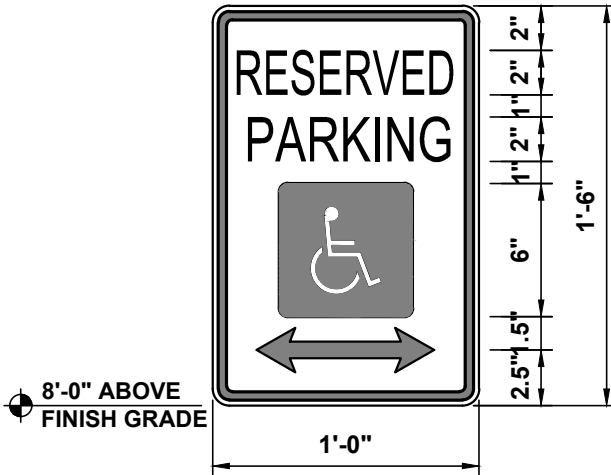
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Issued Date: 04-30-23  
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Drawn By: JPK  
Checked By: MAK  
Designed By: JPK

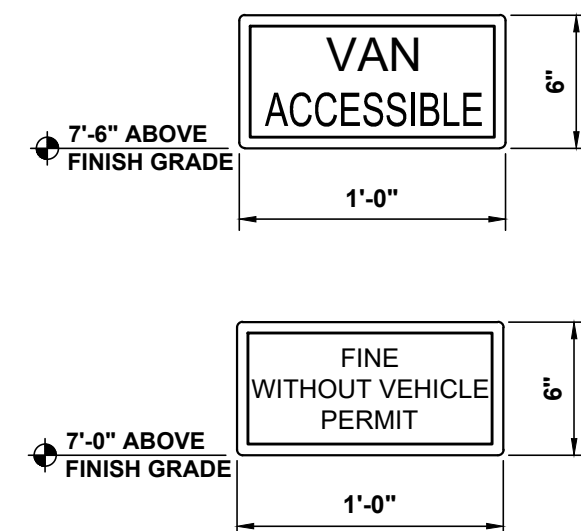
Project	Sheet
220014	C7.0
Date	04/30/23
Scale	



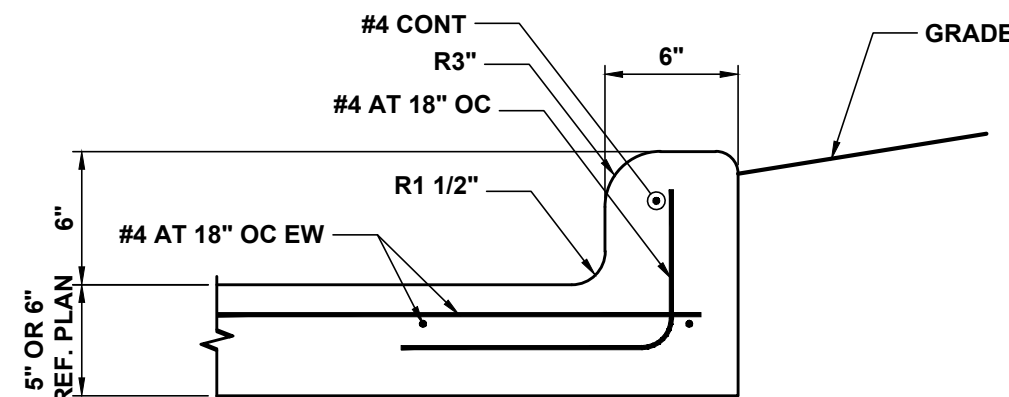
**14** TYPICAL ADA  
SIGN POST DETAIL  
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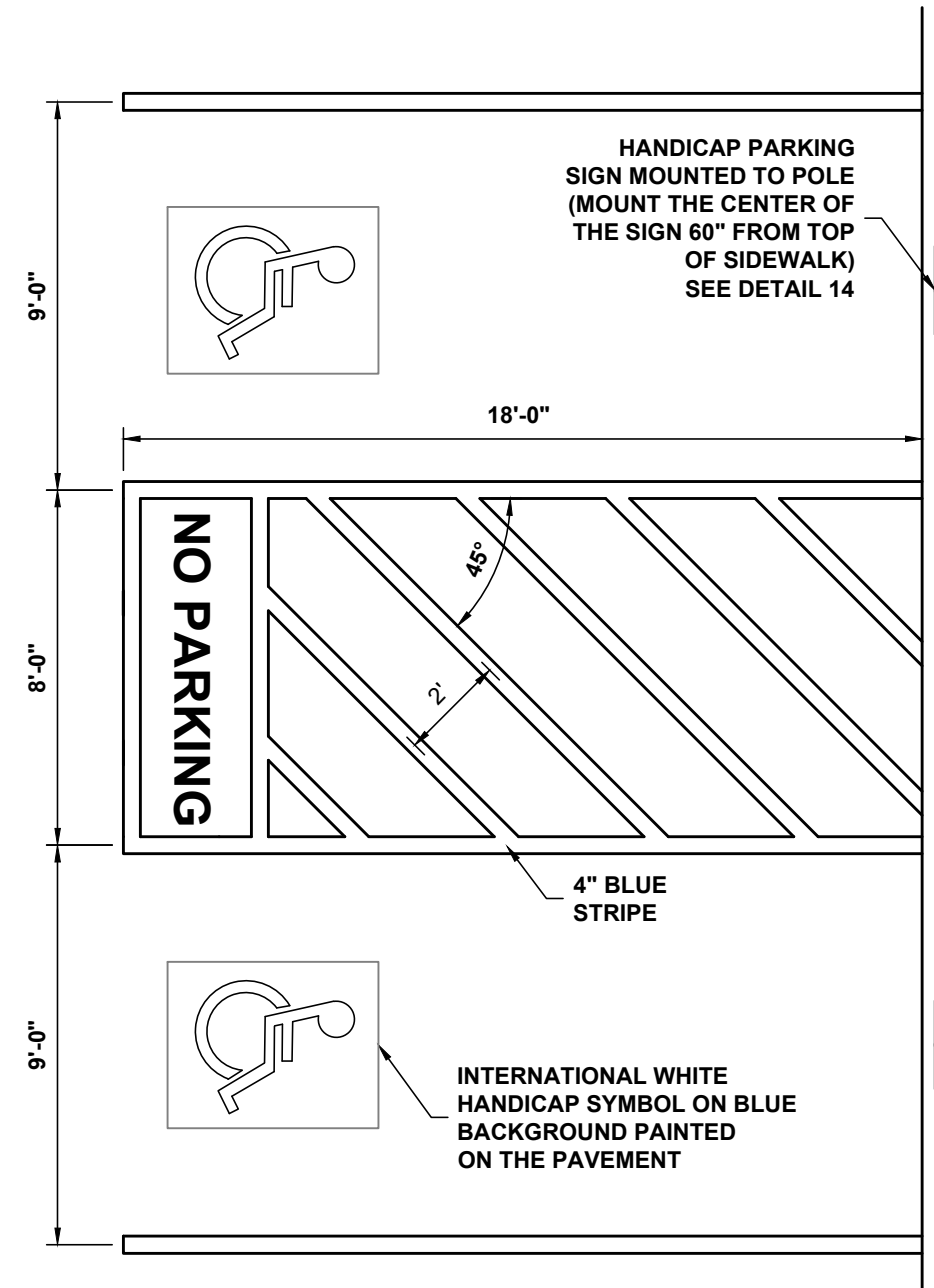
**16** RESERVED PARKING SIGN  
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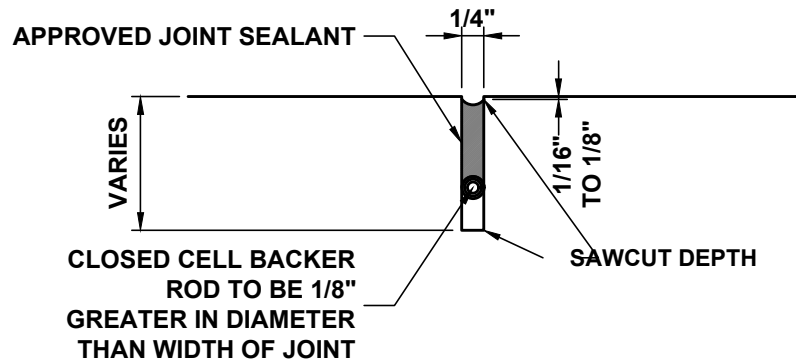
**13** VAN ACCESSIBLE AND  
FINE SCHEDULE SIGN  
C7.0 NOT TO SCALE



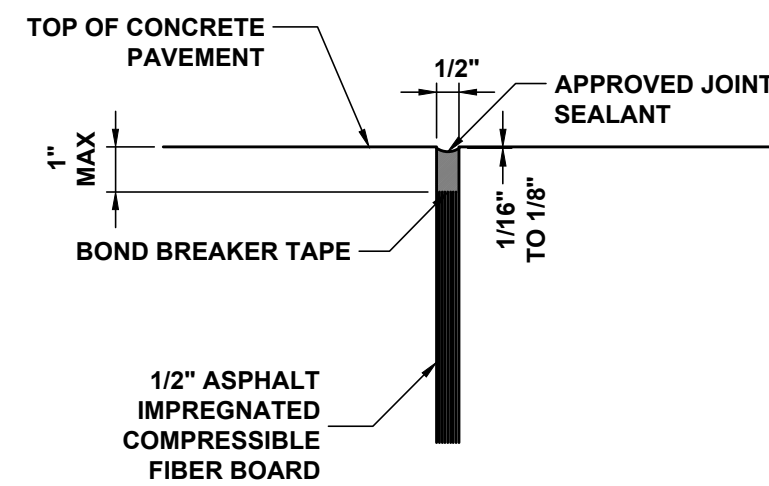
**12** TYPICAL CURB SECTION  
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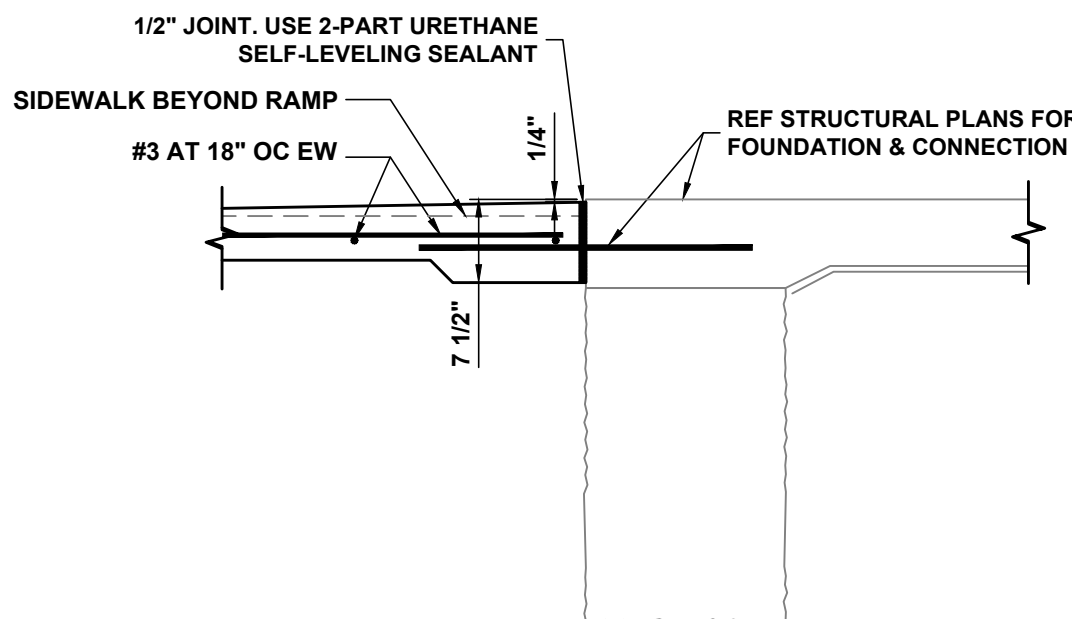
**11** HANDICAP PARKING  
SPACE DETAIL  
C7.0 NOT TO SCALE



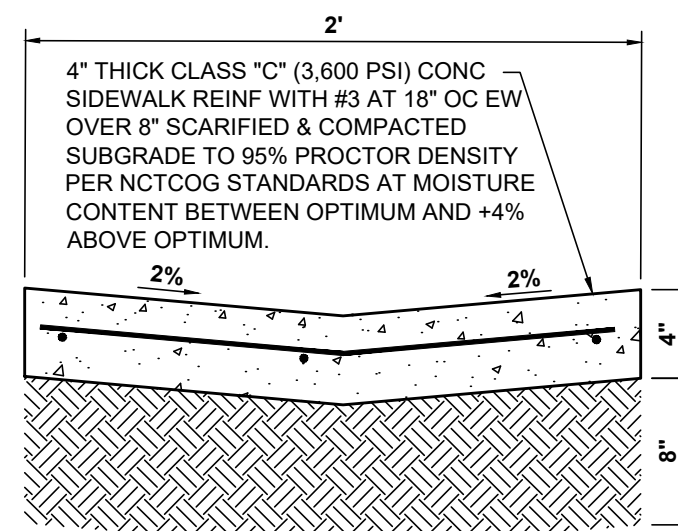
**10** LONGITUDINAL JOINT  
SEALING DETAIL  
C7.0 NOT TO SCALE



**9** EXPANSION JOINT  
SEALING DETAIL  
C7.0 NOT TO SCALE



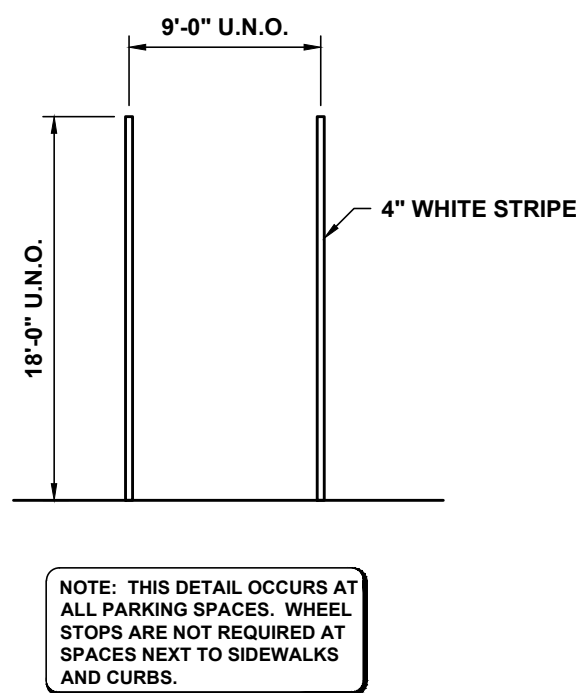
**8** SIDEWALK AT  
DOOR SECTION DETAIL  
C7.0 NOT TO SCALE



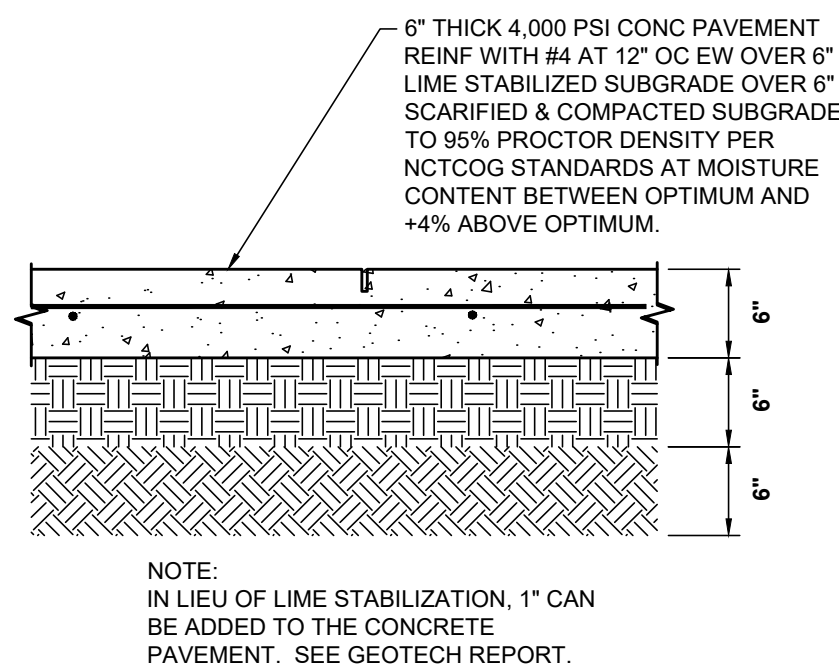
**7** LOW FLOW PILOT CHANNEL  
C7.0 NOT TO SCALE



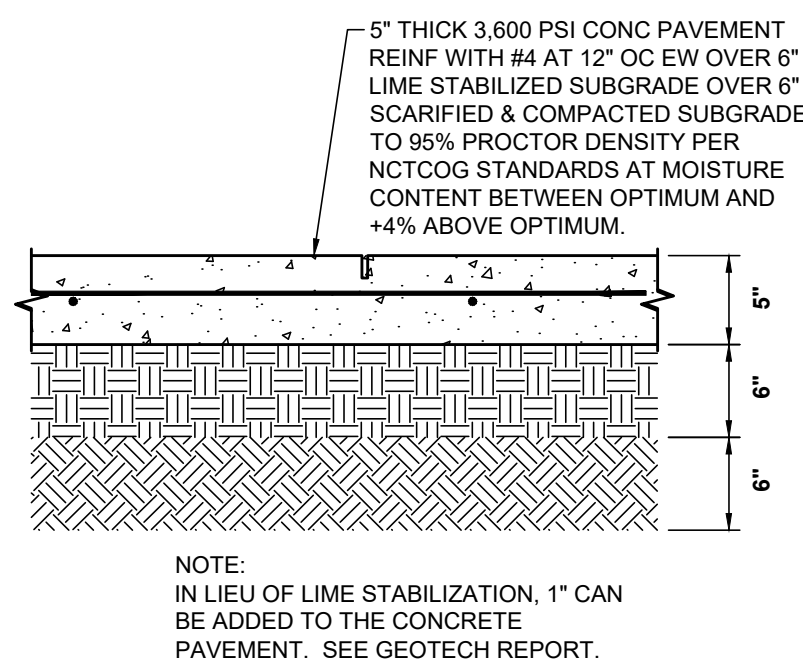
**6** TYPICAL FIRE LANE  
STRIPING DETAIL  
C7.0 NOT TO SCALE



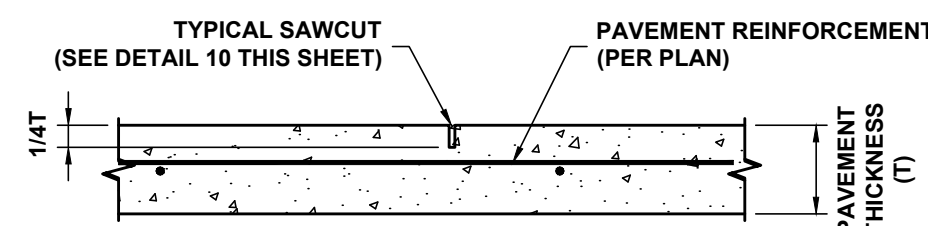
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STRIPING DETAIL  
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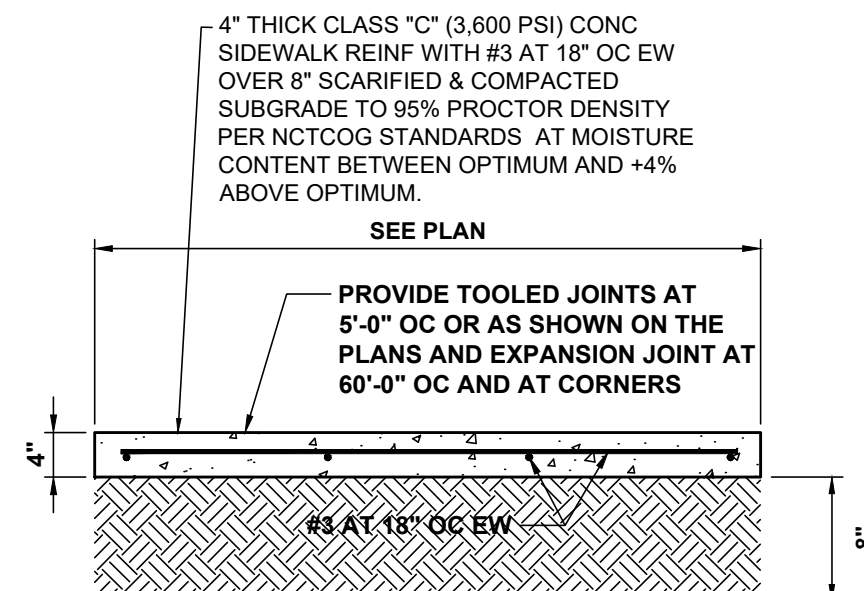
**4** FIRE LANE PAVEMENT SECTION  
C7.0 NOT TO SCALE



**3** SITE PAVEMENT SECTION  
C7.0 NOT TO SCALE

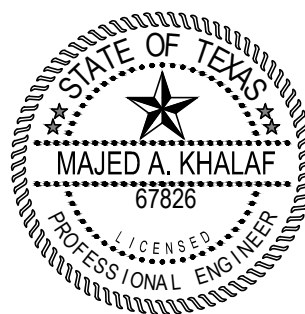


**2** TYPICAL SAWCUT  
SECTION DETAIL  
C7.0 NOT TO SCALE



**1** TYPICAL SIDEWALK SECTION  
C7.0 NOT TO SCALE

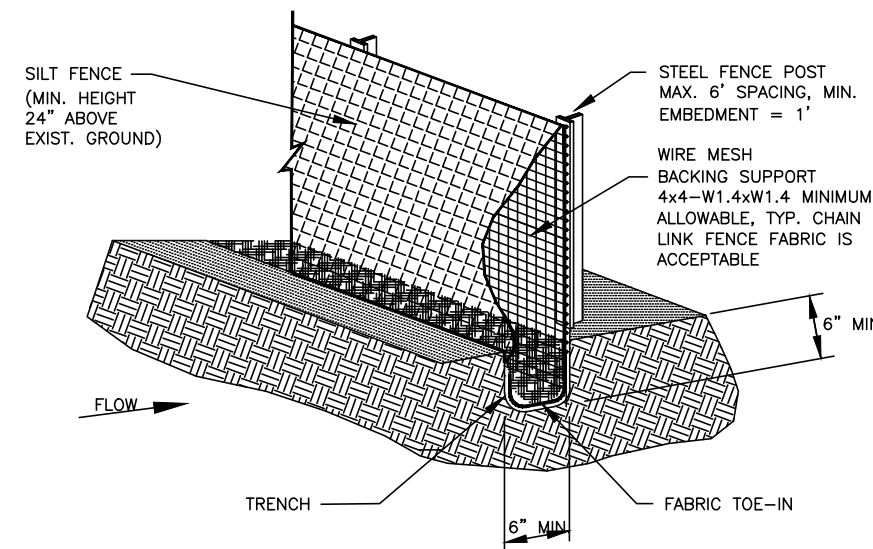
No.	Revision/Issue	Date



04/30/2023

Issued Date: 04-30-23  
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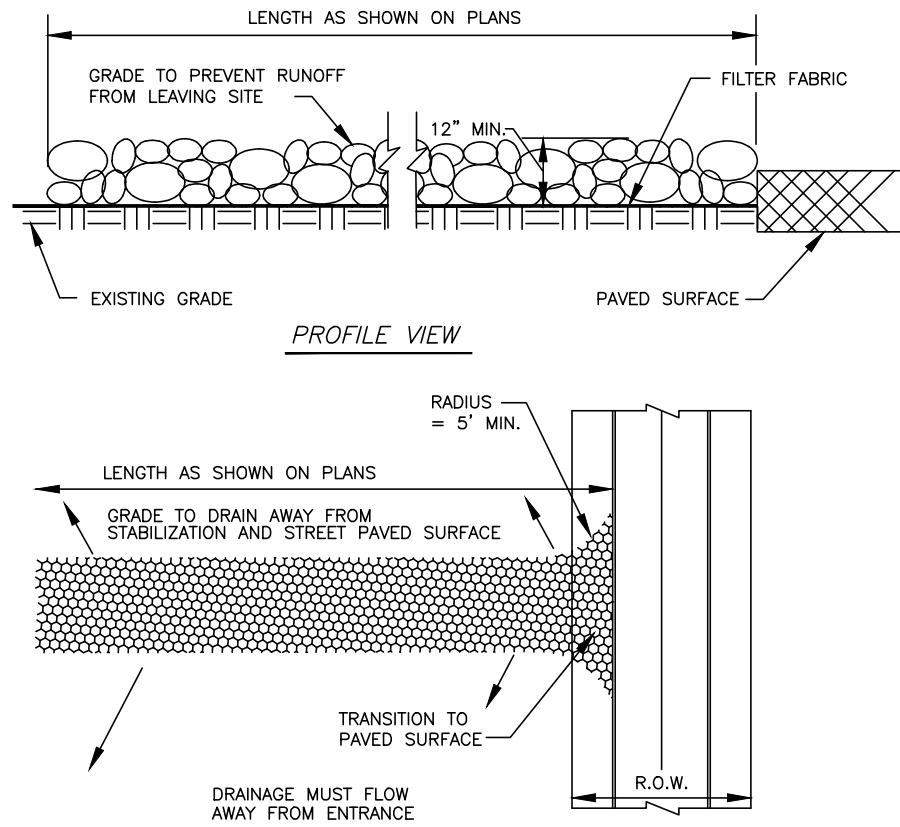
Project	220014	Sheet
Date	04/30/23	C7.1
Scale		



**SILT FENCE GENERAL NOTES:**

- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
- THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

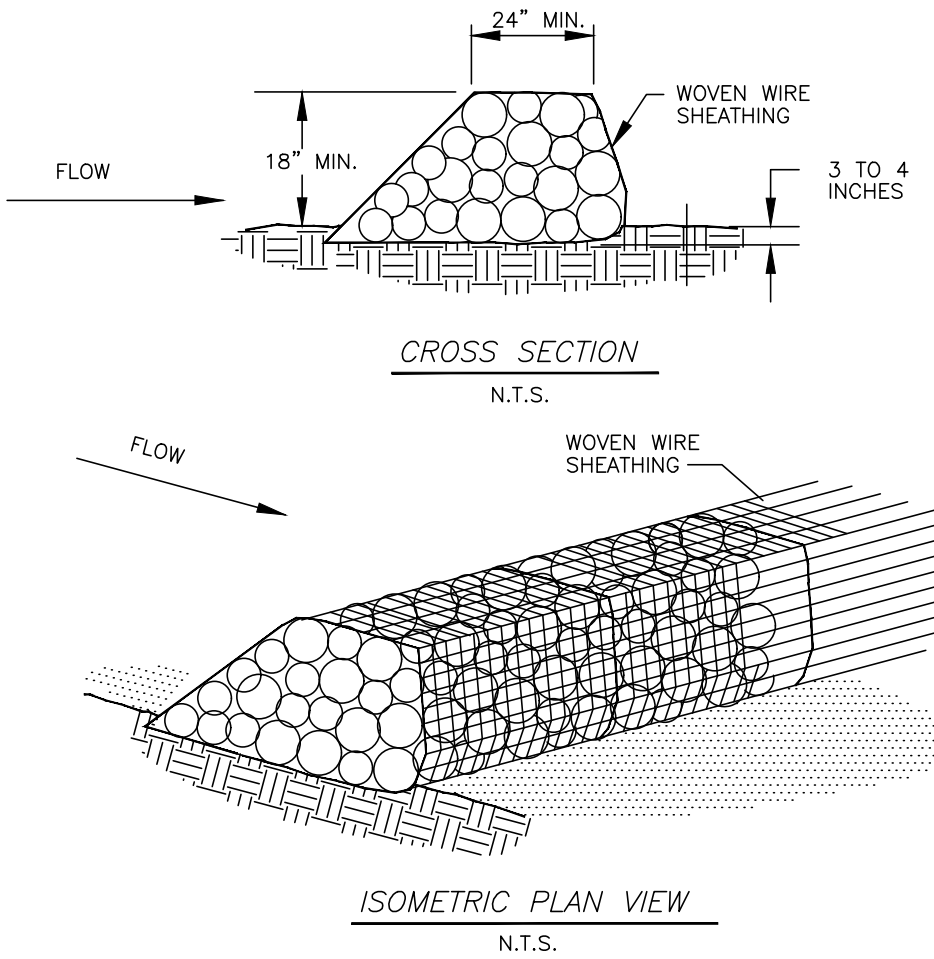
**7**  
C7.1  
**SILT FENCE**  
NOT TO SCALE



**NOTES:**

- STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK.
- LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
- THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
- THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
- THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

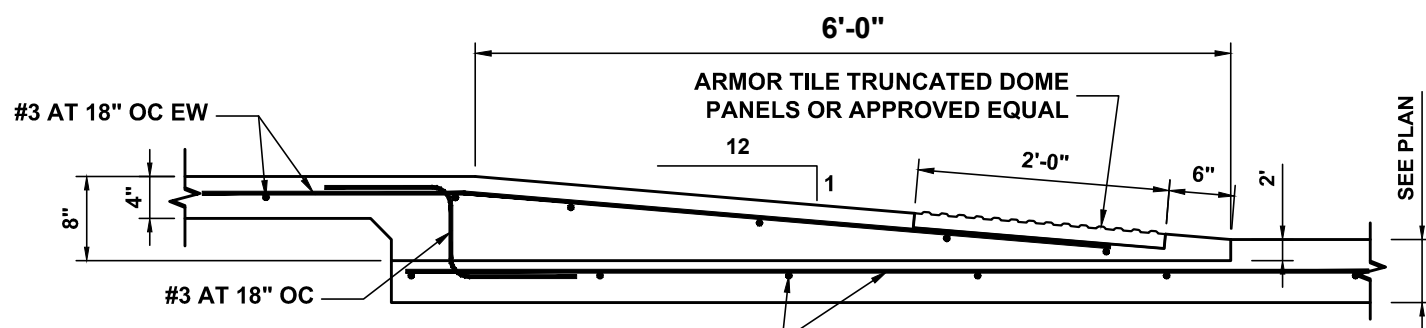
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C7.1  
**TEMPORARY STABILIZED  
CONSTRUCTION ENTRANCE**  
NOT TO SCALE



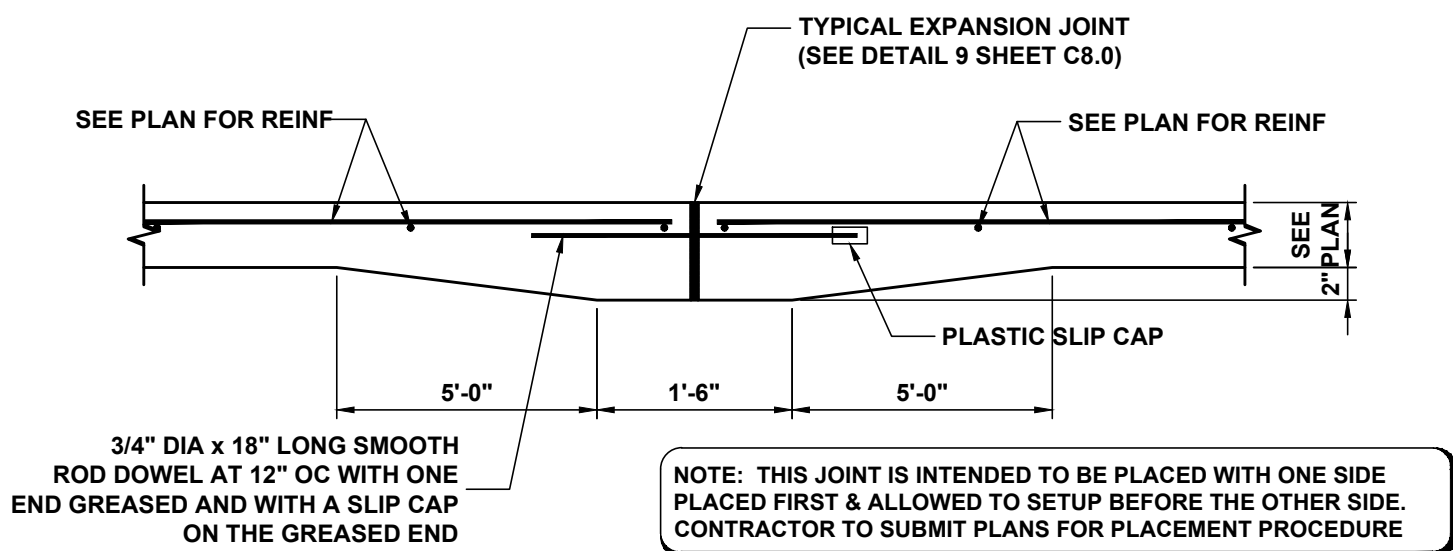
**ROCK CHECK DAM GENERAL NOTES:**

- USE ONLY OPEN GRADED ROCK 4-8 INCHES IN DIAMETER FOR STREAM FLOW CONDITION. USE OPEN GRADED ROCK 3-5 INCHES IN DIAMETER FOR OTHER CONDITIONS.
- THE ROCK CHECK DAM SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING A MAXIMUM OPENING OF 1 INCH AND A MINIMUM WIRE SIZE OF 20 GAUGE AND SHALL BE BURIED IN A TRENCH APPROXIMATELY 3 TO 4 INCHES DEEP.
- THE ROCK CHECK DAM SHALL BE INSPECTED EVERY TWO WEEKS OR AFTER EACH 1/2" RAIN EVENT AND SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
- WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD OF THE HEIGHT OF THE DAM OR ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.

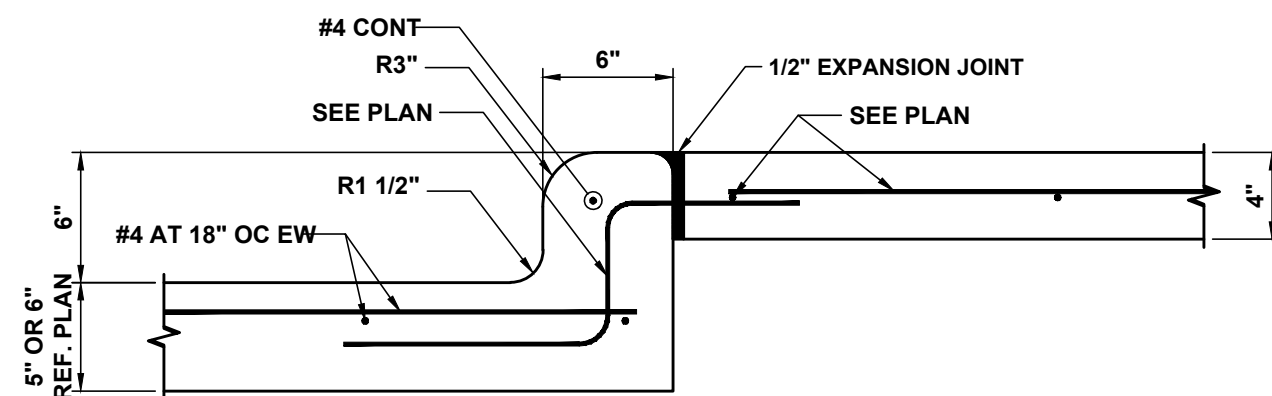
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C7.1  
**ROCK CHECK DAM**  
NOT TO SCALE



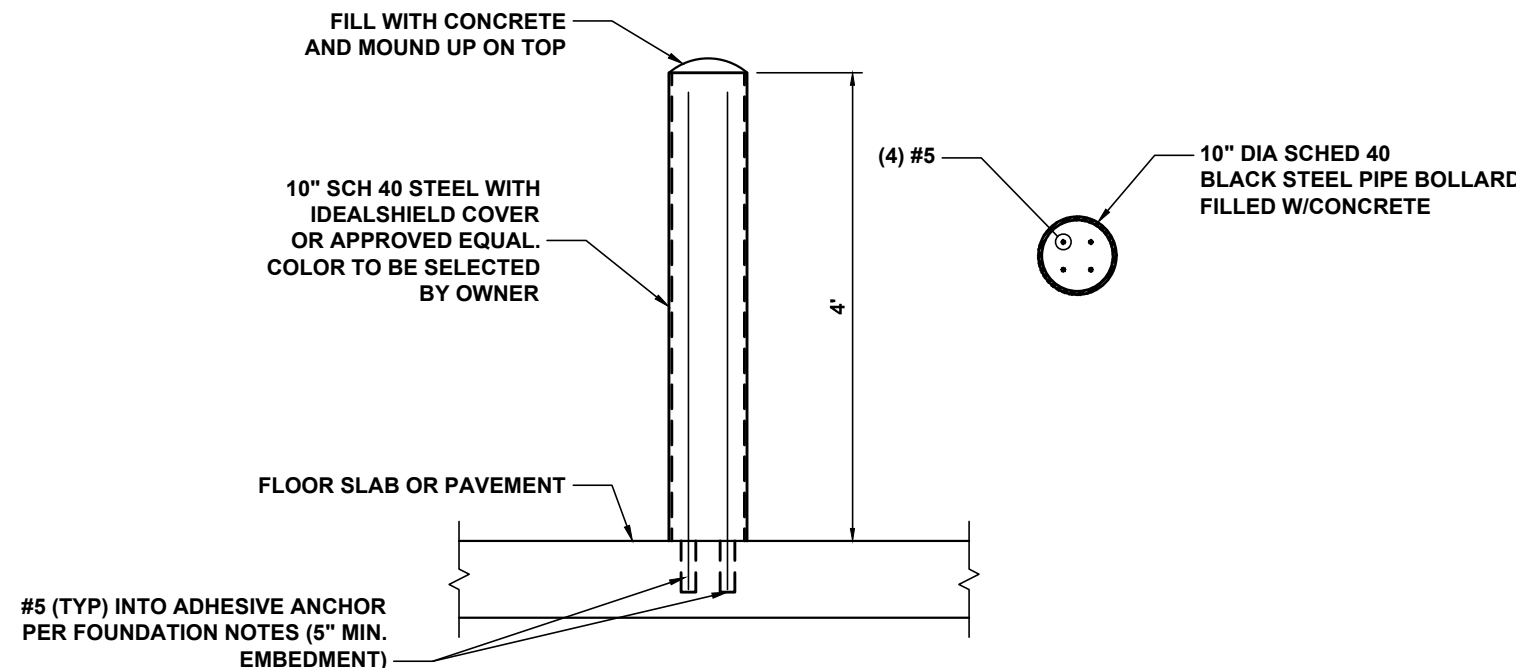
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C7.1  
**BARRIER FREE RAMP DETAIL**  
NOT TO SCALE



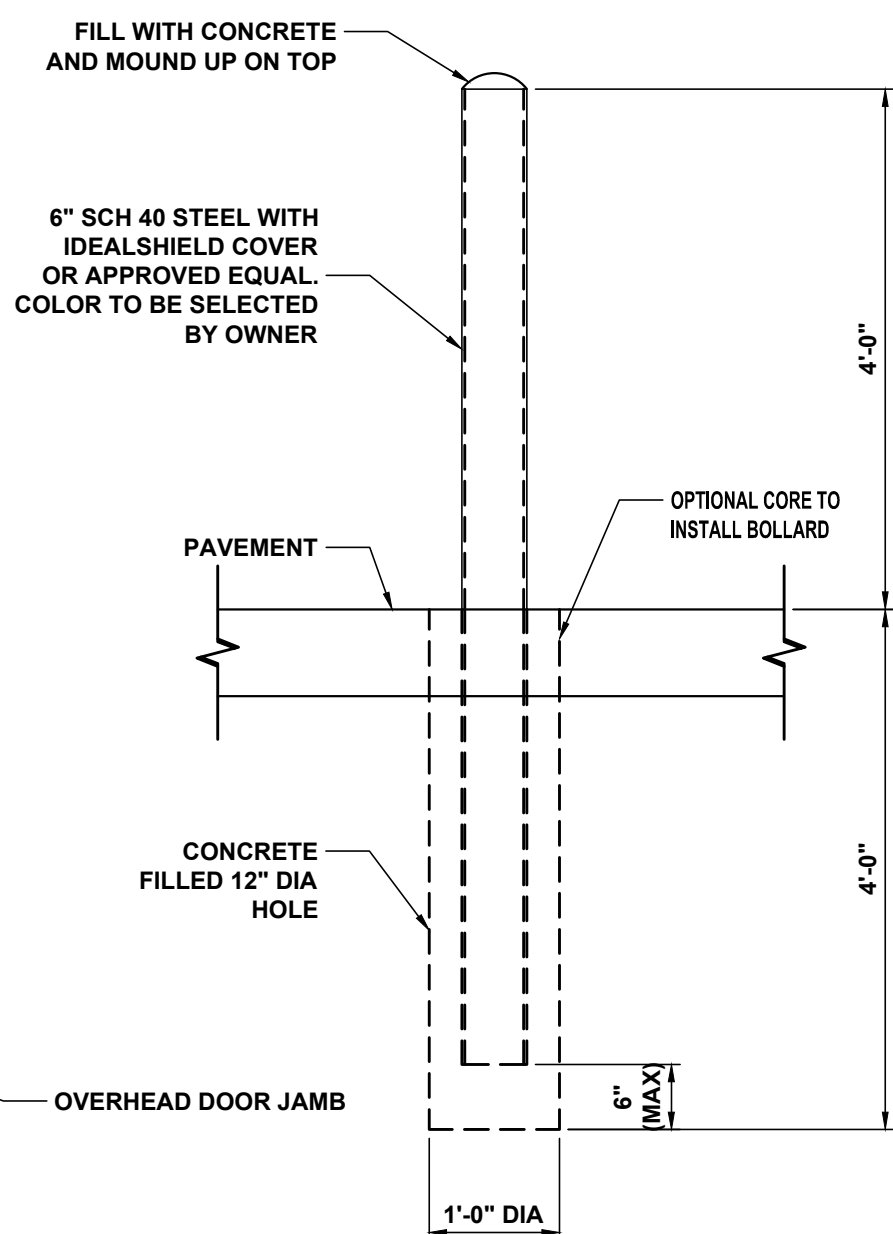
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C7.1  
**TYPICAL EXPANSION  
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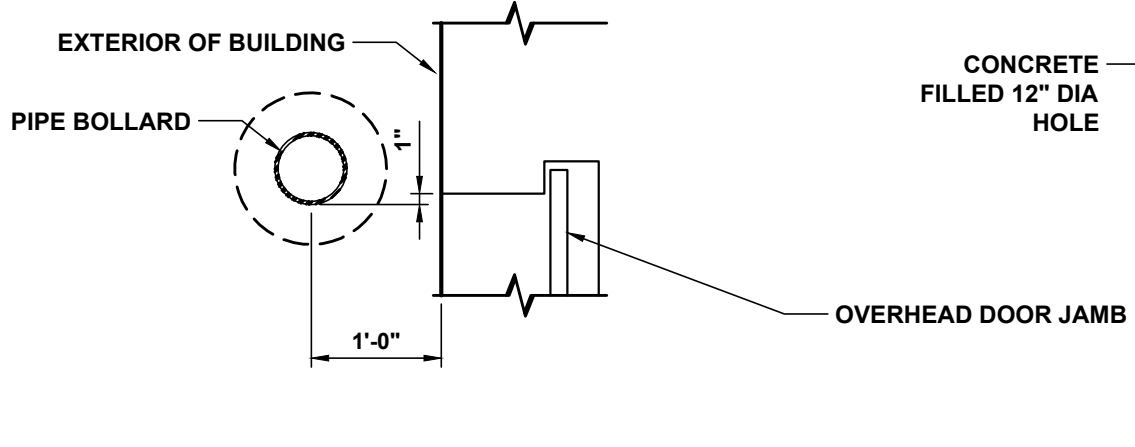
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C7.1  
**TYPICAL CURB AT  
SIDEWALK SECTION DETAIL**  
NOT TO SCALE



**1**  
C7.1  
**TYPICAL SHALLOW  
BOLLARD DETAIL**  
NOT TO SCALE



**3**  
C7.1  
**TYPICAL DEEP  
BOLLARD DETAIL**  
NOT TO SCALE



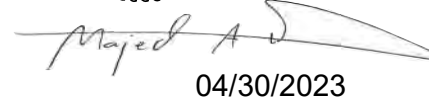
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LUCAS COMMERCIAL CENTER

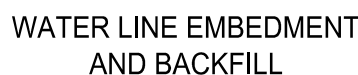
995 WEST LUCAS ROAD,  
LUCAS, TEXAS 75002

No.	Revision/Issue	Date



Issued Date:	04-30-23
Project No:	22014
Drawn By:	JPk
Checked By:	MAK
Designed By:	JPk

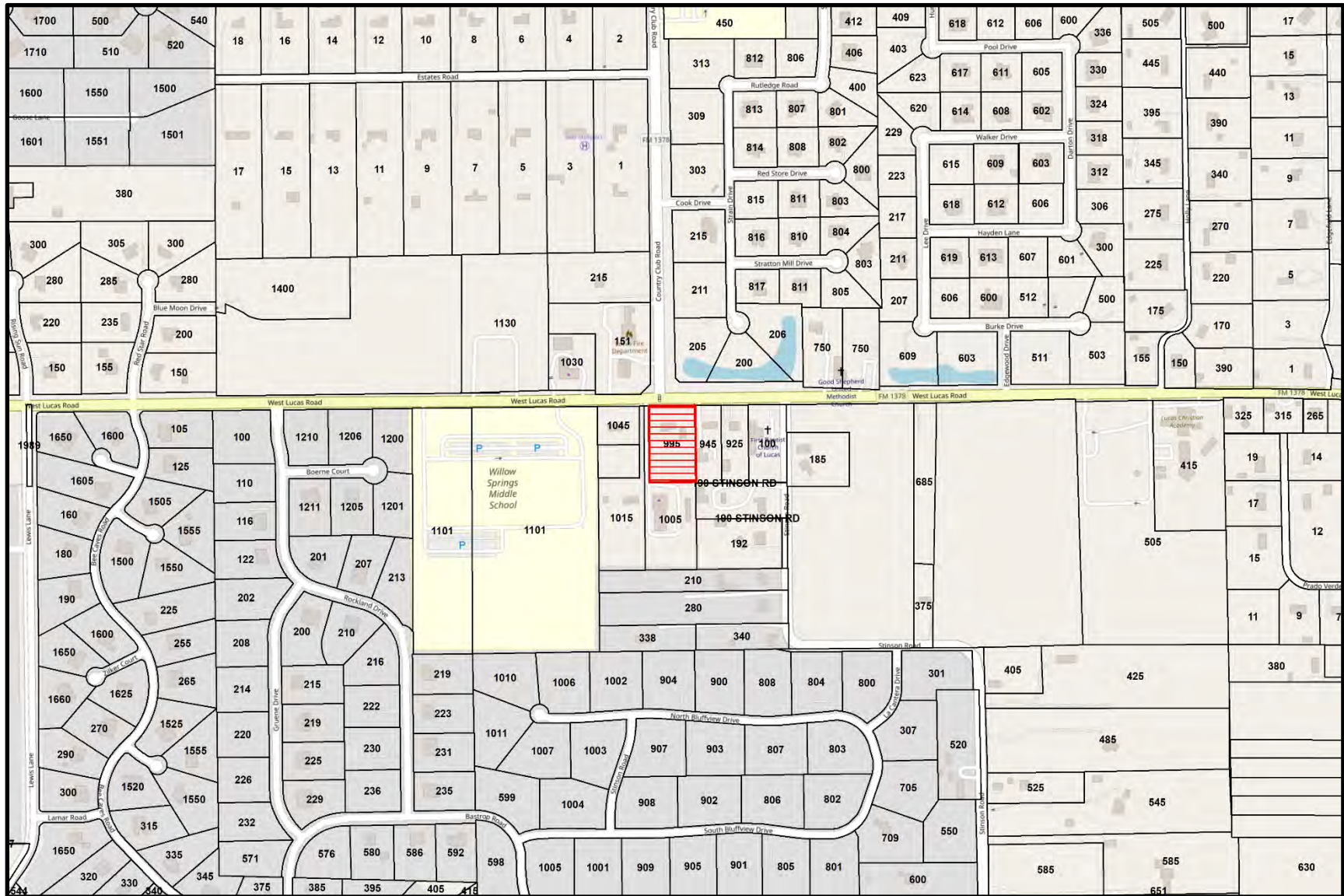
Project	220014	Sheet	<b>C7.2</b>
Date	04/30/23		
Scale			







# LOCATION MAP: 995 WEST LUCAS ROAD







# City of Lucas City Council Agenda Request June 1, 2023

Item No. 07

Requester: Development Services Director Joe Hilbourn

## **Agenda Item Request**

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Consider approving Ordinance 2023-06-00983 amending the City of Lucas Code of Ordinances, Chapter 3 titled “Building Regulations”, Article 3.08 titled “Residential Code” by adding Section 3.08.004 titled “Construction Site Drainage”.

## **Background Information**

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The Planning and Zoning Commission and City Council has directed staff to look at drainage requirements for existing lots of record throughout the City and find means to prevent negative impacts of vacant lot developments causing drainage to back up on existing homes. To address this issue, the City Attorney has provided the proposed ordinance, amending Chapter 3 titled “Building Regulations”, Article 3.08 titled “Residential Code” of the City’s Code of Ordinances by adding Section 3.08.004 titled “Construction Site Drainage”. Section 3.08.004 will require stormwater for construction projects in existing subdivisions to be conveyed in accordance with approved engineering plans for the subdivision or, alternately, for individual lot projects that are not subject to an approved engineering plan to provide the City with a plan for the individual lots signed and sealed by a licensed engineer.

### **§ 3.08.004 Construction Site Drainage**

Construction on individual or multiple lots shall follow the approved engineering plans for collection and conveyance of stormwater. In the absence of approved engineering plans, the owner shall submit the following items to the City for review which have been signed and sealed by a licensed professional engineer in the State of Texas:

- (a) Full extents of the contributing drainage area with contours and identifying existing drainage courses;
- (b) Flow calculations for the 2, 5, 10, 25 & 100-year storm events in conformance with the Lucas Drainage Design Manual;
- (c) Plan, profile, and sections of conveyance (open ditch & culverts) to be graded which are adequate to convey 100-year flow; and
- (d) Flow calculations for conveyance, in conformance with the Lucas Drainage Design Manual, which demonstrate there are no adverse impacts on adjacent properties.

## **Attachments/Supporting Documentation**

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1. Ordinance 2023-06-00983; Amending Code of Ordinances, Chapter 3 Building Regulations; Stormwater Runoff for New Construction in Existing Developments



**City of Lucas**  
**City Council Agenda Request**  
**June 1, 2023**

Item No. 07

**Budget/Financial Impact**

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NA

**Recommendation**

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City staff recommends approval as presented.

**Motion**

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I make a motion to approve/deny Ordinance 2023-06-00983 amending the City of Lucas Code of Ordinances, Chapter 3 titled "Building Regulations", Article 3.08 titled "Residential Code" by adding Section 3.08.004 titled "Construction Site Drainage".



**ORDINANCE #2023-06-00983**

[Amending Code of Ordinances, Chapter 3 Building Regulations;  
Stormwater Runoff for New Construction in Existing Developments]

**AN ORDINANCE OF THE CITY OF LUCAS, TEXAS, AMENDING THE CODE OF ORDINANCES BY AMENDING CHAPTER 3 TITLED "BUILDING REGULATIONS", BY AMENDING ARTICLE 3.08 TITLED "RESIDENTIAL CODE", BY ADDING SECTION 3.08.004 TITLED "CONSTRUCTION SITE DRAINAGE" TO REQUIRE STORMWATER FOR CONSTRUCTION PROJECTS IN EXISTING SUBDIVISIONS TO BE CONVEYED IN ACCORDANCE WITH APPROVED ENGINEERING PLANS FOR THE SUBDIVISION OR, ALTERNATIVELY, FOR INDIVIDUAL LOT(S) PROJECTS THAT ARE NOT SUBJECT TO AN APPROVED ENGINEERING PLAN TO PROVIDE THE CITY WITH A PLAN FOR THE INDIVIDUAL LOT(S) SIGNED AND SEALED BY A LICENSED ENGINEER; PROVIDING FOR A REPEALING CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED TWO THOUSAND DOLLARS (\$2000.00); AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, certain lots exist in the City that are part of a subdivision that existed prior to the implementation of stormwater runoff regulations, but have not been developed, and

**WHEREAS**, unlike the neighboring properties that may or may not be subject to current stormwater runoff regulations and controls, as these undeveloped lots are developed they must comply with the current stormwater runoff regulations and controls, and

**WHEREAS**, the City Council has determined it is in the best interest of the health, safety and welfare of the City to add regulations to ensure that stormwater from these undeveloped lots is safely conveyed to the appropriate stormwater runoff system in accordance with the current stormwater runoff regulations and controls.

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LUCAS, TEXAS:**

**SECTION 1.** That the City of Lucas Code of Ordinances is amended by amending Chapter 3 titled "Building Regulations", Article 3.08 titled "Residential Code", by adding subparagraph 3.08.004 titled "Construction Site Drainage" to read as follows:

### **§ 3.08.004 Construction Site Drainage.**

Construction on individual or multiple lots shall follow the approved engineering plans for collection and conveyance of stormwater. In the absence of approved engineering plans, the owner or owners agent shall submit the following items to the City for review which have been signed and sealed by a licensed professional engineer in the State of Texas:

- (a) Full extents of the contributing drainage area with contours and identifying existing drainage courses;
- (b) Flow calculations for the 2, 5, 10, 25 & 100-year storm events in conformance with the Lucas Drainage Design Manual;
- (c) Plan, profile, and sections of conveyance (open ditch & culverts) to be graded which are adequate to convey 100-year flow; and
- (d) Flow calculations for conveyance, in conformance with the Lucas Drainage Design Manual, which demonstrate there are no adverse impacts on adjacent properties.

**SECTION 2.** To the extent of any irreconcilable conflict with the provisions of this Ordinance and other ordinances of the City of Lucas and which are not expressly amended by this Ordinance, the provision of this Ordinance shall remain and be controlling.

**SECTION 3.** That should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal, or invalid, the same shall not affect the validity of the remaining portions of this Ordinance or the City of Lucas Code of Ordinances, as amended hereby, which shall remain if full force and effect.

**SECTION 4.** An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Ordinances of the City of Lucas, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

**SECTION 5.** That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Code of Ordinances, as amended, and upon conviction in the municipal court shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day such violation shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** That this Ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Lucas, and it is accordingly so ordained.



**DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF LUCAS,  
COLLIN COUNTY, TEXAS, ON THIS 1st DAY OF JUNE, 2023.**

APPROVED:

\_\_\_\_\_  
Jim Olk, Mayor

APPROVED AS TO FORM:

\_\_\_\_\_  
Joseph J. Gorfida, Jr., City Attorney  
(5-22-2023/cgm/TM 135171)

ATTEST:

\_\_\_\_\_  
Erin Flores, City Secretary



# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 08

Requester: CIP Manager Patrick Hubbard  
Public Works Director Scott Holden  
Engineering Consultant Joe Grajewski

### **Agenda Item Request**

---

Provide an update and discuss the status of the drainage policy for effectively managing the stormwater system and provide direction to the City Manager.

### **Background Information**

---

#### **Overview**

In response to a stated City Council goal for the City Manager, the Drainage Policy Team has undertaken an effort to establish a framework for managing drainage issues within the community. The Drainage Policy Team presented the initial scoping and backbone for this policy at the August 18, 2022 City Council meeting. This was followed up with an update on February 16, 2023. This item continues the previous discussion.

#### **Components of Drainage Policy**

The Drainage Policy is broadly divided the policy into four components. These are as follows and progress is summarized in the subsequent sections:

1. Management of Public Drainage System
2. Activities on Private Property
3. Regulatory Compliance (State and Federal)
4. Funding Drainage Activity

#### **Management of Public Drainage System**

Staff has developed and tested a Culvert Assessment Form to provide for the inspection of drainage facilities citywide, brainstormed how this form and inspection process will integrate with existing operations and developed some projections of labor needs for completing these inspections internally. This form and assessment process is based on best practices as provided by the Federal Highway Administration (FHWA).

Staff proposes setting a target number of assessments to be completed each month and then identifying and prioritizing assessments based on 1) those most relevant to upcoming projects, 2) those identified through public or staff reporting, and 3) the largest or most downstream facilities lacking a recent assessment.

FHWA estimates 15 minutes per inspection and trial inspections support this estimate. Staff estimates an additional 15 minutes for processing (e.g., compiling pictures, filing and updating GIS). The database presently shows 362 facilities, but this number is likely to change as research on maintenance obligation is completed on a subdivision basis and new facilities are added.



# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 08

#### **Activities on Private Property**

The Drainage Policy Team updated the Drainage Concern Procedure based on discussion from the February meeting. This procedure forms how staff respond when a concern is reported. This procedure has been used in concurrence with GovQA for complaint tracking. Staff are able to use GovQA to establish a log of drainage related public input and service requests.

For reference, the City maintains enforcement authority for floodplain violations in the City of Lucas Code of Ordinances, Chapter 3 “Building Regulations, Article 3.14 “Flood Damage Prevention”, and in Chapter 6 “Health and Sanitation”, Section 6.02.002 “Prohibited Acts” under Subsection (d). The City maintains enforcement authority for stormwater violations under Chapter 10 “Subdivisions”, Article 10.04 “Stormwater Runoff Regulations and Control.”

#### **Regulatory Obligations**

City of Lucas staff continues to meet all regulatory requirements regarding stormwater and floodplain management. Some revisions to local ordinances are under consideration. Staff will also continue to explore opportunities and best practices throughout the industry.

#### **Funding Stormwater Activity**

##### *Public Improvement District (PID)*

A funding strategy previously considered by City Council with generally positive support is the creation of one or more Public Improvement District (PID). A PID is a special district defined in Chapter 372 of the Texas Local Code. The statute allows for a city or county to levy a special assessment on properties within a specific area (the district) to pay for improvements to the properties within said district. PIDs are created with the consent of the property owners of the area. The city must receive a petition before it can create a PID.

##### *Grant Programs*

A range of grant programs exist to support floodplain management, stormwater quality, wetlands protection and other related activities. Staff utilize publicly available databases to identify promising grant opportunities and will present any such opportunities to the City Council for consideration.

#### **Attachments/Supporting Documentation**

---

1. Culvert Assessment Form
2. Drainage Concern Review Process



# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 08

#### **Budget/Financial Impact**

---

The budget/financial impact of a drainage policy depends on how the City Council decides to fund future stormwater projects and what level of service to provide.

Regarding condition assessments, the cost of the assessment would be covered as a portion of existing employee costs and vehicle overhead.

#### **Recommendations**

---

Staff recommends the following related to developing a drainage policy:

1. Proceeding with the inspection of existing drainage facilities utilizing the attached form and with subsequent maintenance and capital projects planning.
2. The implementation of the Drainage Concern Procedure as a staff Standard Operating Procedure.
3. Continuing the review of existing ordinances and policies to include revisions to the Code of Ordinances pertaining to Floodplain Management, Stormwater Management and Drainage Criteria.

#### **Motion**

---

There is no motion required.





## BRIDGE/CULVERT ASSESSMENT FORM

Date: \_\_\_\_\_

Inspector Name: \_\_\_\_\_

Facility ID: \_\_\_\_\_

Facility Location (Street): \_\_\_\_\_

### Field Assessment

Significant Rain in Last 72 Hours: Yes/No

Outfall Location is correctly identified (+/- 5-Feet): Yes/No

Number of Barrels: \_\_\_\_\_

Barrel Shape (circle): Circular – Box – Elliptical – Pipe Arch – Arch

Diameter (internal) \_\_\_\_ / Span \_\_\_\_ X Rise \_\_\_\_

Length \_\_\_\_

Pipe Material: Corrugated Metal – Concrete – Plastic – Other

**Condition Ratings: 1-Good, 2-Fair, 3-Poor, 4-Critical, 0-Unknown/Not Applicable**

NOTE 1: Score includes all parts of facility (e.g., headwalls, guardrails, channel, delineators, surface paving, signs, etc.)

NOTE 2: "Critical" advises that emergency/immediate action is needed while "Poor" advises that repair should be scheduled.

\_\_\_\_ Material (e.g., Corrosion, Chemical Scaring, Deterioration)

Description: \_\_\_\_\_

\_\_\_\_ Structural (e.g., Cracking, Crushing, Deformation, Settling, Joint Separation, Exposed Footings.

Description: \_\_\_\_\_

\_\_\_\_ Position (e.g., Overtopping/Watermarks, Slope, Channel Alignment)

Description: \_\_\_\_\_

\_\_\_\_ Debris/Deterioration (e.g., Blockage, Ponding, Erosion, Scour)

Description: \_\_\_\_\_

\_\_\_\_ Environmental (e.g., Offensive Odors, Chemical Sheen, Dead Animals, Distressed Vegetation)

Description: \_\_\_\_\_

**Condition (Lowest Score):** \_\_\_\_

### Level 1 Actions Recommended:

\_\_\_\_ Cleaning

\_\_\_\_ Repair Crushing/Separation

\_\_\_\_ Scour Protection

\_\_\_\_ Channel Repair/Modification

\_\_\_\_ Other

### Level 2 Actions Recommended:

\_\_\_\_ Culvert Replacement

\_\_\_\_ Re-Design

\_\_\_\_ Major Re-Grading

\_\_\_\_ Other

### Equipment List:

1. High Visibility Vest

2. Flashlight

3. Tape Measure

4. Measuring Wheel

5. Probe



## BRIDGE/CULVERT ASSESSMENT FORM

**Description of Findings (to be attached following review of field assessment):**

### **Photo Checklist**

\_\_\_\_ Inlet \_\_\_\_ Outlet \_\_\_\_ Road (ahead) \_\_\_\_ Road (behind) \_\_\_\_ Downstream \_\_\_\_ Upstream



# Drainage Concern Review Process

## Submittal and Organization

Concerns are submitted by the public and recorded in a database. These complaints are then prioritized based on their impacts. Complaints in the same geographic area may be grouped for processing but each affected property will receive a separate assessment.

## Prioritization

Concerns will generally be handled based on staff availability and on their impacts in the following order (This hierarchy applies to non-emergencies. Emergencies are handled by 911 response):

1. Flooding of a Public Street
2. Flood Damage to a Critical Facility (e.g., Fire Station, Nursing Home, Medical Facility, etc.)
3. Failure of Public Drainage Facility
4. Major Illicit Discharge or Contamination (e.g., Chemical sheen, concrete spills, areawide distress to vegetation, fish kills, persistent and offensive odors, etc.)
5. Flooding of a Fire Lane
6. Flooding of a Private Street
7. Flood Damage to a Dwelling Unit
8. Flood Damage to a Commercial Structure
9. Flooding Not Damaging a Principal Structure or Street
10. Nuisance Water, Minor Illicit Discharges and Contamination (e.g., trash and debris, excessive lawn debris)
11. Other

## Review Steps

1. Evaluate Reported Issue and Supporting Documents
2. Evaluate Downstream and Upstream Public Drainage Facilities and Drainage Channels
3. Evaluate Any Relevant Property Records

# **Review Recommendations**

## **1. No Further Action At this Time**

Public stormwater infrastructure is functioning adequately and one or more of the following is true; the issue is confined to a single lot, the cause is minor in nature, or the case constitutes or creates a civil dispute to which the city is not a party.

## **2. Repairs to Public Facilities**

Staff will complete repairs to any impaired, damaged, or non-functional public facilities contributing to the drainage complaint based on the severity of the impact with consideration given to the overall Maintenance Schedule and the Capital Improvement Plan.

## **3. Code Compliance Action**

Code compliance action shall take place in cases where there is a clear and significant violation present on private property which is causing harm to another property, a public facility, or the public welfare. This may include either enforcement from Code Enforcement or Engineering/Public Works, depending on the specific circumstances. In most cases, Code Enforcement will issue any required notices or citations and Engineering/Public Works will provide support. In the case of new development, Engineering/Public Works will oversee stormwater compliance during civil construction and Development Services will oversee stormwater compliance during building construction.

## **4. Recommend Further Study**

A complaint that presents a novel or areawide impact may warrant more extensive study. This should be reserved for especially unique or widespread circumstances where clear impacts on the welfare of the general public are present and causes are unclear.





# City of Lucas

## City Council Agenda Request

### June 1, 2023

Requester: Public Works Director Scott Holden

#### Agenda Item Request

---

Consider authorizing the City Manager to enter into a contract with Texas Materials Group, Inc., TexasBit, for the rehabilitation of Snider Lane in an amount not to exceed \$459,516 and rehabilitation of the intersection of Long Road and Bloom Street in an amount not to exceed \$25,444, for a total of \$484,960 from Account 11-8209-301 Improvement Roads (Street Maintenance).

#### Background Information

---

NEXCO Highway Solutions of America Inc. (NHSA) completed 79 miles of street inventory for the City of Lucas using their Smart Pavement Management (SPM) system. The rating model is based on the Pavement Surface Evaluation and Rating (PASER) manual, which is an industry standard manual for conducting condition assessments of this nature. Conditions are rated from 1 to 5, which aids in identifying roads for rehabilitation. Following the initial rating, staff completes site visits and more thorough evaluations of distresses in roadway segments.

The data supports the conclusion that sections of Snider Lane, Bloom Street and Long Road warrant rehabilitation. Therefore, Engineering and Public Works secured a quote from TexasBit for rehabilitation of a section of Snider Lane east of the Snider Lane Bridge in the amount of \$459,516 and for the rehabilitation of the intersection of Long Road and Bloom Street in the amount of \$25,444.

#### Attachments/Supporting Documentation

---

1. Quote for Pavement Rehabilitation Snider Lane
2. Quote for Pavement Rehabilitation Long Road and Bloom Street
3. Location Map

#### Budget/Financial Impact

---

For Fiscal Year 2022-2023, the following funds are available for proposed pavement rehabilitation projects:

11-8209-301 Improvement Roads (Street Maintenance): Budget \$650,000

\$158,992 is already encumbered for spot repairs to Estelle Lane and Honeysuckle Lane. The remaining Balance is \$491,009.

Snider Lane	\$459,516
Long Road and Bloom Street	\$25,444
Honeysuckle Road and Estelle Lane	\$158,992
<b>Total</b>	<b>\$643,952</b>



# City of Lucas

## City Council Agenda Request

### June 1, 2023

#### **Recommendation**

---

Staff recommends entering into a contract with TexasBit for the rehabilitation for Snider Lane and Long Road and Bloom Street.

#### **Motion**

---

I make a motion to approve/deny authorizing the City Manager to enter into a contract with TexasBit for the rehabilitation of Snider Lane in an amount not to exceed \$459,516 and for Long Road and Bloom Street in an amount not to exceed \$25,444, for a total of \$484,960 from Account 11-8209-301 Improvement Roads (Street Maintenance).



A CRH COMPANY

Texas Materials Group, Inc.  
420 Decker Drive, Suite 200  
Irving, TX 75062  
Phone: (214) 741-3531

**PROPOSAL AND CONTRACT**  
(Dallas County Interlocal Agreement)

To: City of Lucas

Effective Date: May 15, 2023

Texas Materials Group, Inc., TexasBit, offers to furnish all material, labor and equipment required for the performance of the following described work subject to the terms and conditions of the Dallas County Interlocal Agreement.

Description of Work and Price: Place hot mix asphalt paving @ approximately 460 lbs/sy

<u>Location</u>	<u>Limits</u>	<u>Mob</u>	<u>Tons</u>	<u>Unit Price (per ton)</u>	<u>Approx. Total</u>
Snider Ln	4,750 LF	\$2,000.00	1,275	\$133.65	\$172,403.75
Snider Ln	4,750 LF		1,275	\$146.83	\$187,208.25
					<hr/>
					\$359,612.00

\*"See Attached Sheet"

Unless the words "Lump Sum" appear next to an item of work, it is understood and agreed that the quantities referred to above are estimates only and that payment shall be made at the state unit prices for actual quantities of work performed by TexasBit.

This estimate expires thirty (30) days from the above date.

TEXASBIT, INC.

ACCEPTED: City of Lucas

W. L. Warner  
Account Manager  
214-926-9072  
William.Warner@Texasbit.com

\_\_\_\_\_  
Date  
\_\_\_\_\_



A CRH COMPANY

Texas Materials Group, Inc.  
420 Decker Drive, Suite 200  
Irving, TX 75062  
Phone: (214) 741-3531

**PROPOSAL AND CONTRACT**  
(Ellis County Interlocal Agreement)

To: City of Lucas

Effective Date: May 15, 2023

TexasBit, Inc. TexasBit offers to furnish all material, labor and equipment required for the performance of the following described work subject to the terms and conditions of the Ellis County Interlocal Agreement.

Description of Work and Price: Cement Stabilization - 24lbs. Per square yard - Only; Minimum of 500 tons per move in.

<u>Location</u>	<u>Limits</u>	<u>SY</u>	<u>Unit Price</u>	<u>Approx Total</u>
Snider Ln	4,750 LF	12,139	\$8.23	\$99,903.97

---

\$99,903.97

\*"See Attached Sheet"

Unless the words "Lump Sum" appear next to an item of work, it is understood and agreed that the quantities referred to above are estimates only and that payment shall be made at the state unit prices for actual quantities of work performed by TexasBit.

This estimate expires thirty (30) days from the above date.

TEXASBIT, INC.

ACCEPTED: City of Lucas

W. L. Warner  
Account Manager

\_\_\_\_\_  
Date \_\_\_\_\_



5/15/2023

City of Lucas
---------------

varies
\$ 1.00
33
Luna

Total Cost      \$ 459,515.97

May 15, 2023

[illegible]



A CRH COMPANY

Texas Materials Group, Inc.  
420 Decker Drive, Suite 200  
Irving, TX 75062  
Phone: (214) 741-3531

**PROPOSAL AND CONTRACT**  
(Dallas County Interlocal Agreement)

To: City of Lucas

Effective Date: May 9, 2023

Texas Materials Group, Inc., TexasBit, offers to furnish all material, labor and equipment required for the performance of the following described work subject to the terms and conditions of the Dallas County Interlocal Agreement.

Description of Work and Price: Place hot mix asphalt paving @ approximately 275 lbs/sy

<u>Location</u>	<u>Limits</u>	<u>Mob</u>	<u>Tons</u>	<u>Unit Price (per ton)</u>	<u>Approx. Total</u>
Long and Bloom	450 LF	\$2,000.00	138	\$170.50	\$25,443.75

---

\$25,443.75

\*"See Attached Sheet"

Unless the words "Lump Sum" appear next to an item of work, it is understood and agreed that the quantities referred to above are estimates only and that payment shall be made at the state unit prices for actual quantities of work performed by TexasBit.

This estimate expires thirty (30) days from the above date.

TEXASBIT, INC.

ACCEPTED: City of Lucas

W. L. Warner  
Account Manager  
214-926-9072

William.Warner@Texasbit.com

\_\_\_\_\_  
Date  
\_\_\_\_\_

5/9/2023

## City of Lucas

varies

\$ 1.00
---------

33

Luna
------

**Total Estimated Tons:** 138

Total Cost      \$ 25,443.75

May 9, 2023

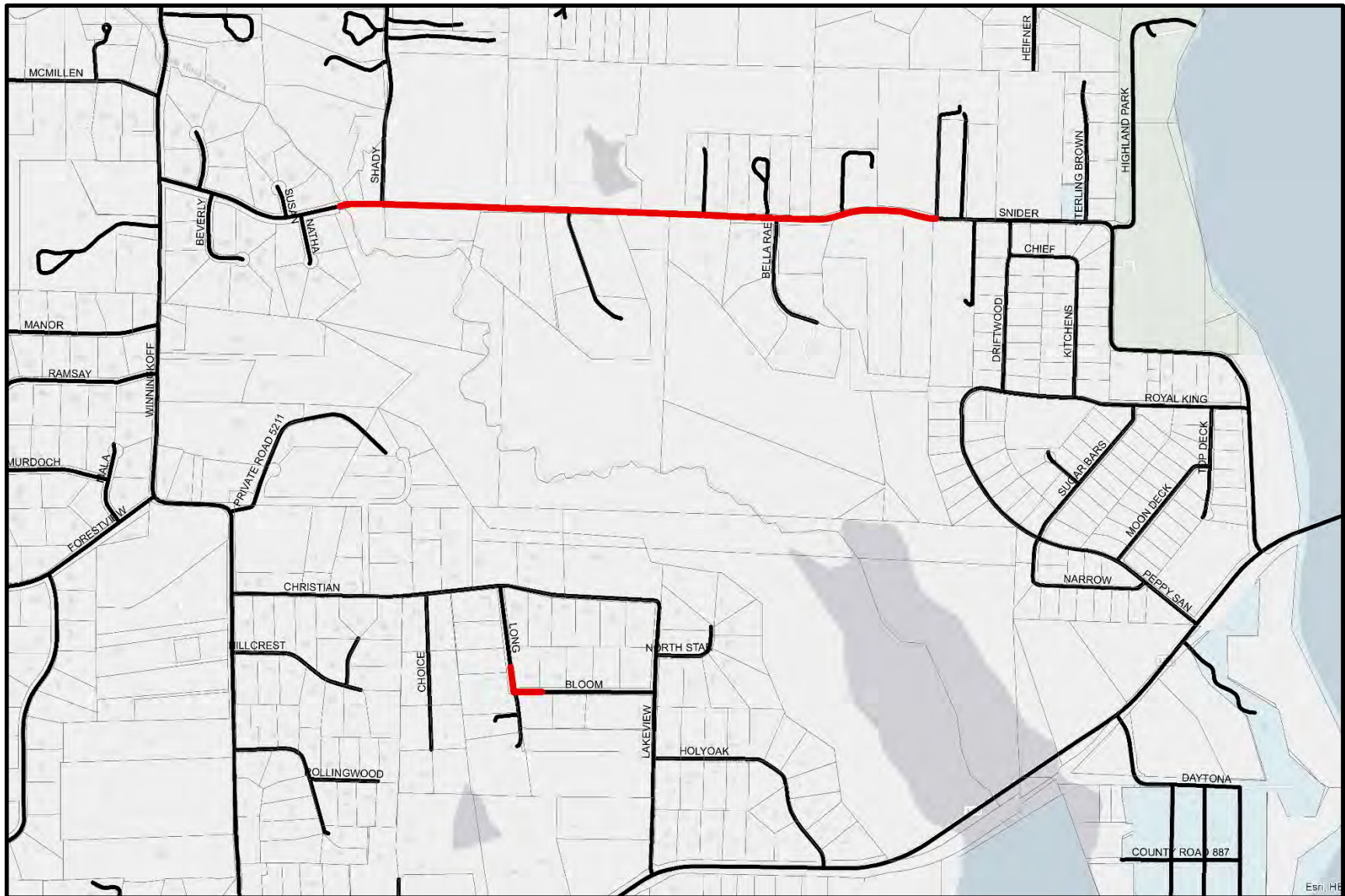
\$ 23,443.75    \$ 2,000.00

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# Location Map – TexasBit Street Maintenance

## Snider Lane / Long Lane and Bloom Lane





# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 10

Requester: Assistant City Manager Kent Souriyasak  
CIP Manager Patrick Hubbard

#### **Agenda Item**

---

Consider approving Resolution R 2023-06-00541 authorizing an application for new playground equipment at Forest Creek Park to the Texas Parks and Wildlife Local Park Grant Program.

#### **Background Information**

---

The Texas Parks and Wildlife Department (TPWD) provides annual funding to local governments through the Local Park Grant Program. This provides State and Federal passthrough funds to local governments for eligible projects including acquisition of land, new construction, renovation and professional services projects.

Requirements for the grant include 50% matching funds, dedication as parkland in perpetuity, properly maintained and open to the public, and a four-year timeline for project completion. The City qualifies in the small community (population of 20,000 or less) program of the grant. The award ceiling is \$150,000 and the grant application deadline is August 1, 2023.

In 2021, the City submitted a grant application for new playground equipment at Forest Creek Park; however, the City was not selected for the grant. The total cost for new playground equipment including sunshades was approximately \$263,000 at the time.

This year, staff recommends submitting a grant application to replace the current playground equipment at Forest Creek Park, which is approximately 20 years old and in poor condition. Staff is currently seeking updated quotes and different options for possible new playground equipment which will be presented at the City Council meeting on June 1, 2023.

#### **Attachments/Supporting Documentation**

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1. Resolution R 2023-06-00541; Authorizing Application for New Playground Equipment to the TPWD Local Park Grant Program
2. Texas Parks and Wildlife Local Park Grant Presentation

#### **Budget/Financial Impact**

---

The Local Park Grant requires a 50% match, and the award ceiling is \$150,000. In 2021, the City submitted a similar application for new playground equipment including sunshades which was approximately \$263,000. Staff is currently seeking updated quotes and different options for possible new playground equipment at Forest Creek Park.





# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 10

#### **Recommendation**

---

The Parks and Open Space Board recommends that the City Council approve the resolution authorizing the submission of a grant application for new playground equipment at Forest Creek Park to the Texas Parks and Wildlife Local Park Grant program.

#### **Motion**

---

I make a motion to approve/deny Resolution R 2023-06-00541 authorizing application for new playground equipment at Forest Creek Park to the Texas Parks and Wildlife Local Park Grant Program.



**RESOLUTION R 2023-06-00541**

[AUTHORIZING APPLICATION FOR NEW PLAYGROUND EQUIPMENT  
TO THE TEXAS PARKS AND WILDLIFE LOCAL PARK GRANT PROGRAM]

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LUCAS, TEXAS, AUTHORIZING THE PARTICIPATION IN THE LOCAL PARK GRANT PROGRAM OF THE TEXAS PARKS AND WILDLIFE CERTIFYING THAT THE CITY OF LUCAS IS ELIGIBLE TO RECEIVE PROGRAM ASSISTANCE, CERTIFYING THE CITY'S MATCHING SHARE IS READILY AVAILABLE, DEDICATING THE PROPOSED SITE FOR PERMANENT PUBLIC PARK AND RECREATIONAL USE; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City of Lucas is fully eligible to receive assistance under the Local Park Grant Program; and

**WHEREAS**, the City of Lucas authorizes an official to represent and act for the City in dealing with the Texas Parks and Wildlife Local Park Grant Program application.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LUCAS, TEXAS:**

**SECTION 1.** The City of Lucas hereby certifies that they are eligible to receive assistance under the Program, and that notice of the application has been posted according to local public meeting requirements.

**SECTION 2.** The City of Lucas hereby certifies that the matching share for this application is readily available at this time.

**SECTION 3.** The City of Lucas hereby authorizes and directs the Assistant City Manager to act for the City in working with the Texas Parks and Wildlife for the purposes of the Local Park Grant Program, and that Kent Souriyasak is hereby officially designated as the representative in this regard as outlined in Exhibit A.

**SECTION 4.** The City of Lucas hereby specifically authorizes the representative to make application to the Texas Parks and Wildlife Local Park Grant Program concerning the site to be known as Forest Creek Park in the City of Lucas for use as a park site and is hereby dedicated (or will be dedicated upon completion of the proposed acquisition) for public park and recreation purposes in perpetuity.

**SECTION 5.** This Resolution shall become effective from and after its passage.

**DULY PASSED** by the City Council of the City of Lucas, Texas, on this the 1st day of June, 2023.

CITY OF LUCAS, TEXAS:

ATTEST:

---

Jim Olk, Mayor

---

Erin Flores, City Secretary

## **Exhibit “A”**



## Local Park Grant Program Resolution Authorizing Application

A resolution of the City of Lucas, Texas, as hereinafter referred to as "Applicant," designating certain officials as being responsible for, acting for, and on behalf of the Applicant in dealing with the Texas Parks & Wildlife Department, hereinafter referred to as "Department," for the purpose of participating in the Local Park Grant Program, hereinafter referred to as the "Program"; certifying that the Applicant is eligible to receive program assistance; certifying that the Applicant matching share is readily available; and dedicating the proposed site for permanent (or for the term of the lease for leased property) public park and recreational uses.

**WHEREAS**, the Applicant is fully eligible to receive assistance under the Program; and

**WHEREAS**, the Applicant is desirous of authorizing an official to represent and act for the Applicant in dealing with the Department concerning the Program;

### **BE IT RESOLVED BY THE APPLICANT:**

**SECTION 1:** That the Applicant hereby certifies that they are eligible to receive assistance under the Program, and that notice of the application has been posted according to local public hearing requirements.

**SECTION 2:** That the Applicant hereby certifies that the matching share for this application is readily available at this time.

**SECTION 3:** That the Applicant hereby authorizes and directs the Assistant City Manager to act for the Applicant in dealing with the Department for the purposes of the Program, and that Kent Souriyasak is hereby officially designated as the representative in this regard.

**SECTION 4:** The Applicant hereby specifically authorizes the official to make application to the Department concerning the site to be known as Forest Creek Park in the City of Lucas or use as a park site and is hereby dedicated (or will be dedicated upon completion of the proposed acquisition) for public park and recreation purposes in perpetuity (or for the lease term, if legal control is through a lease). Projects with federal monies may have differing requirements.

Introduced, read and passed by an affirmative vote of the "Applicant" on this 1st day of June, 2022.

\_\_\_\_\_  
Signature of Local Government Official

Jim Olk, Mayor  
\_\_\_\_\_  
Typed Name and Title

### **ATTEST:**

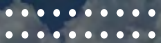
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Signature

Erin Flores, City Secretary  
\_\_\_\_\_  
Typed Name and Title





# Local Park Grant Program



## Today's Agenda

Overview of the Local Park Grant Program

Recreation Grants Online (RGO) Business System

Adopted Scoring Criteria & Application Tips

TORP Survey



# Team Introductions



**DANA LAGARDE**  
REC GRANTS DIRECTOR  
512-389-8175  
[dana.lagarde@tpwd.texas.gov](mailto:dana.lagarde@tpwd.texas.gov)



**DAN REECE**  
LP GRANT MANAGER  
512-389-4656  
[dan.reece@tpwd.texas.gov](mailto:dan.reece@tpwd.texas.gov)



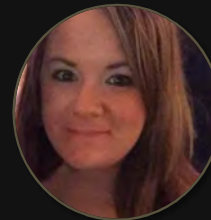
**BLAKE POWERS**  
BUSINESS SYSTEMS ADMINISTRATOR  
512-389-8725  
[blake.powers@tpwd.texas.gov](mailto:blake.powers@tpwd.texas.gov)



**AMY GROSSMAN**  
LP GRANT COMPLIANCE COORDINATOR  
512-902-6039  
[amy.grossman@tpwd.texas.gov](mailto:amy.grossman@tpwd.texas.gov)



# Team Introductions



**MEGAN NELSON**  
LP GRANT COORDINATOR  
512-389-8668  
[megan.nelson@tpwd.texas.gov](mailto:megan.nelson@tpwd.texas.gov)



**MATT MEARS**  
LP GRANT COORDINATOR  
512-389-8109  
[matthew.mears@tpwd.texas.gov](mailto:matthew.mears@tpwd.texas.gov)



**LINDSAY SANSOM**  
LP GRANT COORDINATOR  
512-389-8040  
[lindsay.sansom@tpwd.texas.gov](mailto:lindsay.sansom@tpwd.texas.gov)



**CRYSTAL LOCKE**  
LP GRANT COORDINATOR  
512-945-5832  
[crystal.locke@tpwd.texas.gov](mailto:crystal.locke@tpwd.texas.gov)



# Audience Introductions

- Name
- Organization
- Small Community/Non-Urban/Urban
- Previous experience with Local Park grants?

# Other TPWD Staff



## Upcoming Deadlines

- May 1, 2023 Applications Open
- August 1, 2023 Deadline (5:00 PM CST):
  - Small Community Program
  - Non-Urban Outdoor
  - Urban Outdoor
- January 2024 TPW Commission Approval







## Local Park Grant Program | Overview



## Local Parks – The Basics

- Acquisition and/or development of public parks and recreation facilities
- 50% matching grants/competitive application process
- Dedicated as parkland in perpetuity, properly maintained and open to the public (we do check)
- Four-year timeline for grant completion



# Local Park Grant Programs

Program	Population	Annual Deadline	Award Ceiling
Small Community	20,000 or less	August 1	\$150,000
Non-Urban Outdoor	500,000 or less	August 1	\$750,000
Non-Urban Indoor	500,000 or less	TBD	\$1 Million
Urban Outdoor	500,000+	August 1	\$1.5 Million
Urban Indoor	500,000+	TBD	\$1.5 Million



## Eligible Applicants

### Who Can Apply?

- Local Units of Government in Texas who are legally responsible for providing public recreation services to their citizens:
  - Cities
  - Counties
  - River Authorities
  - Municipal Utility Districts, etc.

### Who *Cannot* Apply?

- School Districts
- Non-Profits
- Local Units of Government with Major Grant Compliance Issues
- Private, Commercial, or Non-Public Entities
- HOAs





# Eligible Costs

- Acquisition of Land
- New Construction
- Renovation
- Professional Services (max. 12% Total Construction Cost)



## Eligible Outdoor Facilities







## Eligible Outdoor Facilities

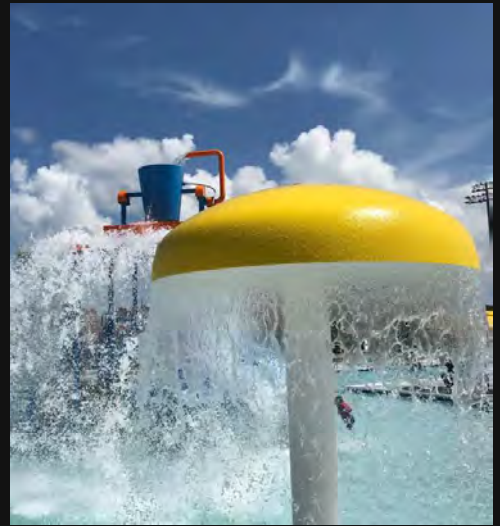
TEXAS  
PARKS &  
WILDLIFE



## Eligible Outdoor Facilities

TEXAS  
PARKS &  
WILDLIFE





## Eligible Outdoor Facilities

TEXAS  
PARKS &  
WILDLIFE

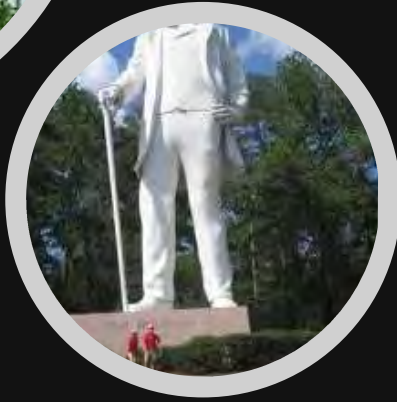


## Eligible Indoor Facilities



TEXAS  
PARKS &  
WILDLIFE





# Ineligible Costs

- Non-native plants
- Restoration of historic structures
- Pro- & semi-pro facilities
- Amusement parks
- Residences & furnishings
- Lodges, hotels, & luxury cabins
- Monuments & landmarks
- Public art
- Support facilities for ineligible facilities



# FUNDING \$OURCE\$

2023-2024





## State Funding

- Sporting Good Sales Tax
- Dedicated in 2019 through a constitutional amendment
- Texas Recreation and Parks Account
- Texas Large County & Municipality Recreation and Parks Account



## Federal Funding

- **Land and Water Conservation Fund**
  - Signed into law in 1964
  - Reauthorized by Congress in 2020 (GAOA)
  - Offshore oil and gas royalties
- Outdoor Recreation Legacy Partnership Program (ORLP)



# Funding Sources

- Urban & Non-Urban Grants – Should anticipate federal funding (LWCF) for awarded projects.
  - Types of projects NOT ALLOWED under LWCF:
    - publicly-owned non-parkland
    - projects on land leased from any entity other than the federal government
- Small Community Grants – State Sporting Good Sales Tax funding likely for all projects.



## ***RECREATION GRANT ONLINE***

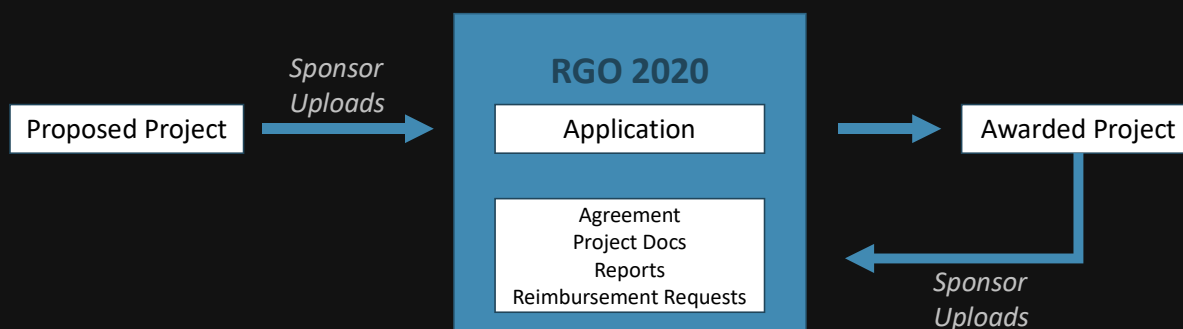
RG0 2020





RGO is the digital portal we use to:

- Accept/review/score grant applications
- Manage awarded projects throughout the grant lifecycle.



## Creating an Account in RGO 2020



Select person to be organization  
Administrator:

Create their user account.  
Create the organization account.



Once the organization account is  
approved:

Other users create user accounts and request to join the organization.  
Requests approved by our Staff.



Organization Administrator can:

Initiate a new application.  
Assign/remove members to their organization.  
Edit and save documents within the application.



Application Administrator can:

Edit and save documents within the application.  
Assign/remove members from applications.  
SUBMIT the application.

# User Account Types in RGO 2020

## ORGANIZATION/ACCOUNT USERS

- People affiliated with the local unit of government that receives grant funding. These may include: city managers, mayors, county staff, parks department staff, etc.

## APPLICATION USERS

- People responsible for completing applications, as selected by the appropriate account user. Can be an account user or from an outside organization.

Three Roles for both Account Users and Application Administrator:

- Administrator
- Staff
- Viewer



# Creating an Account - Consultant

No account is needed to view public resources.

To work on an organization's application, the Consultant will:

- Create a user account & request to join the "Grant Consultants" organization.
- Our Staff will review and approve request.

The organization Administrator will:

- Initiate a new application.
- Add the desired Consultant to the application in a security role specific to that application.



# Applying for New Grant Opportunities Managing Existing Projects

*Next steps...*

Sponsors can access RGO 2020 by visiting our TPWD/Rec Grants website and choosing the 'Apply/Manage' link

If you already have an account for your Sponsor Organization/User role, you can login with that account and view/apply for currently available grant opportunities

If you don't have an account for your sponsor Organization, you'll need to request one



## Resources > Local Park Grants Program

- Programmatic guidance
- Sample documents
- Technical assistance

## Quick Start Guides

- How to access login page
- How to request access to org
- How to add users
- How to view grant opportunities

The screenshot shows the RGO 2020 login page. At the top, there is a navigation bar with 'System Login' and 'Resources' tabs. Below this, a 'Welcome to the RGO 2020 login page!' message is displayed. The page is divided into three main sections: 'APPLY', 'MANAGE', and 'GET STARTED'. The 'GET STARTED' section contains two steps: 'Step 1) Review the Resources section of the website for programmatic guidance, Recreation Grants, including samples of current grant applications, required documents, and other information.' and 'Step 2) Familiarize yourself with the RGO 2020 Quick Start Guide for an overview of the RGO 2020 system.' A red arrow points from the 'Resources' link in Step 1 to a detailed view of the 'Resources' page. This page lists five links: '1. Boating Access Program (BA, BIG, CVA) - Resources', '2. CO-OP Grant Program - Resources', '3. Local Parks Grants Program - Resources', '4. Recreational Trails Grant Program - Resources', and '5. Target Range Grants Program - Resources'. The 'Local Parks Grants Program - Resources' link is highlighted with a red box.



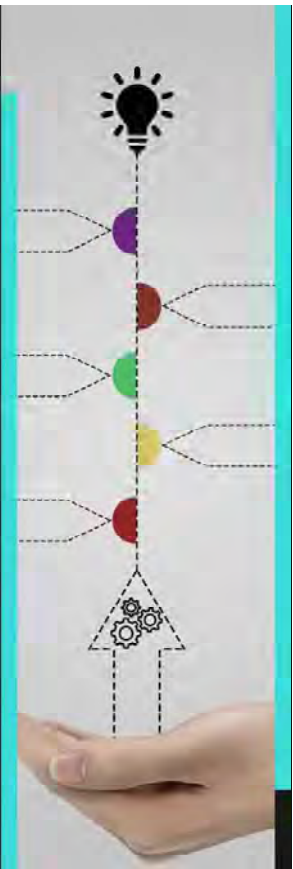
# Don't Wait Until the Last Minute!

- Create your organization account and associated user accounts ASAP, even if you aren't ready to complete your entire application.
- Account for extra time needed to address "error checks"
  - Required fields must be completed within system parameters. Ex: budget
  - Extra time might be needed to clear error messages
  - With sufficient time, we can provide technical support when needed



## TIMELINE & PROCESSES

LOCAL PARK GRANT LIFE CYCLE



# Local Park Grant Life Cycle



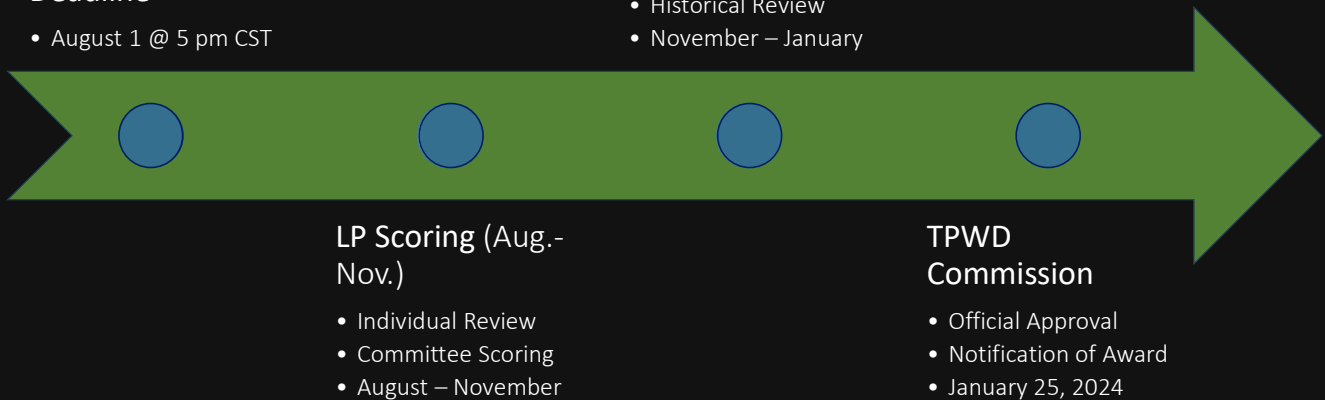
# Scoring Process

## Application Deadline

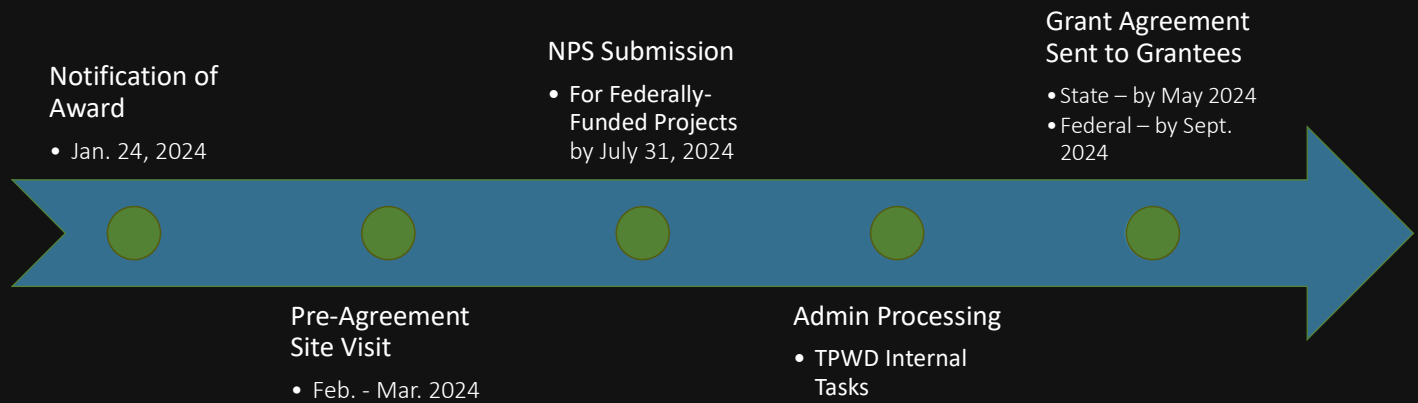
- August 1 @ 5 pm CST

## Partner Review

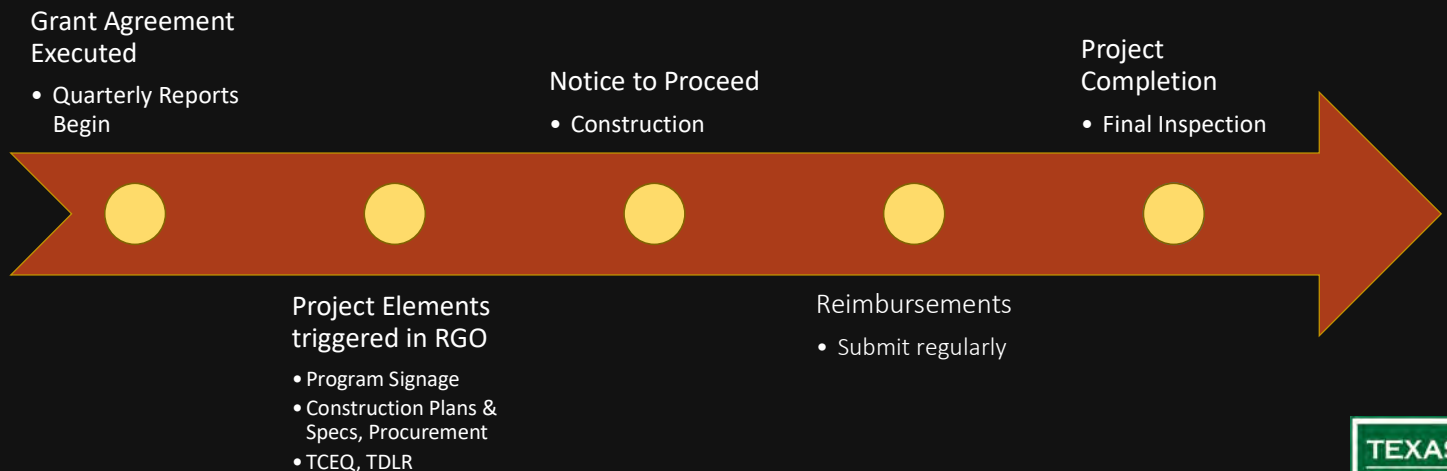
- TPWD Natural Resource
- Historical Review
- November – January



# Pre-Award Process



# Active Grant Process



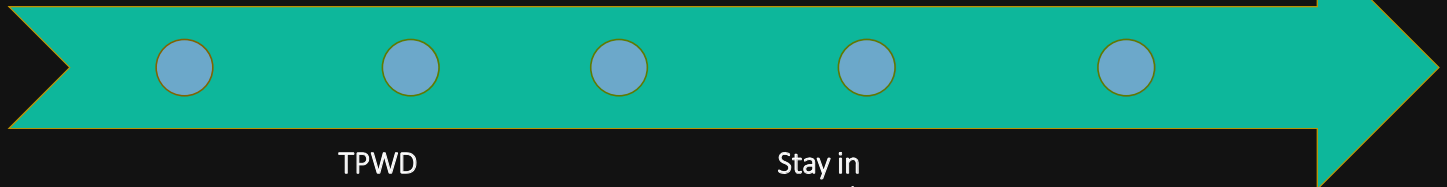


# Post-Completion Expectations

- All grant-funded park elements MUST last 25 years
- Grant-funded Pools and Recreation Buildings MUST last 40 years

Planning a  
Major Change  
Contact us first!!

"In Perpetuity"  
Requirements



TPWD  
Inspections

- Every 5 years

Stay in  
compliance to  
maintain  
eligibility for  
grants



BREAK TIME  
*15 Minutes*



# ADOPTED SCORING CRITERIA

PROJECT PRIORITY SCORING SYSTEM



**TEXAS**  

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**PARKS &**  

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**WILDLIFE**

## TPWD Mission Statement

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To manage and conserve the natural and cultural resources of Texas and to provide hunting, fishing and outdoor recreation opportunities for the use and enjoyment of present and future generations.

# TPWD CORE VALUES

Project Priority Scoring System



EXCELLENCE  
25 POINTS



INTEGRITY  
15 POINTS



SERVICE  
30 POINTS



STEWARDSHIP  
20 POINTS



TEAMWORK  
10 POINTS



***EXCELLENCE***  
**25 PTS**

**Goals & Objectives**  
**Timeline & Cost**  
**Site Design**



# EXCELLENCE: Goals & Objectives

- Statement of Work is clear, relevant, and eligible - [great example linked in the application](#)
- Project goals are SMART
- Connects to the Land and Water Plan and Texas Outdoor Recreation Plan
  - Be clear and direct in your language
- Connections to your local master plan or community-identified needs
- Short and long-term project benefits



## TPWD GOALS

The Land and Water Plan

1

PRACTICE, ENCOURAGE, &  
ENABLE SCIENCE-BASED  
STEWARDSHIP OF NATURAL  
AND CULTURAL RESOURCES

2

INCREASE ACCESS TO &  
PARTICIPATION IN THE  
OUTDOORS

3

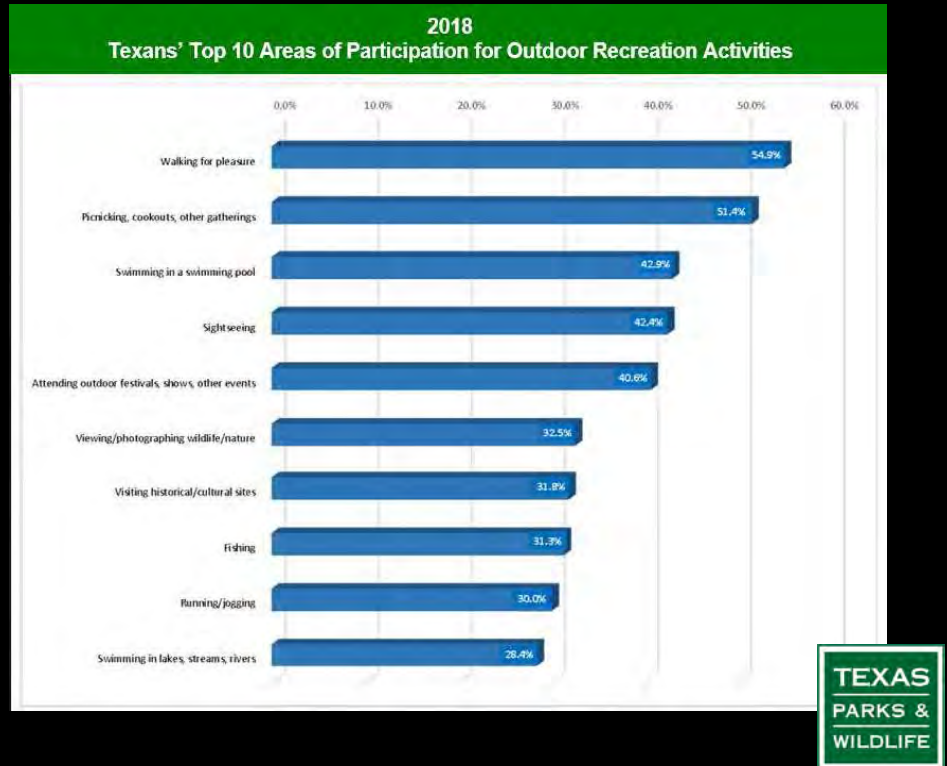
EDUCATE, INFORM, &  
ENGAGE TEXAS CITIZENS IN  
SUPPORT OF CONSERVATION  
& RECREATION

4

EMPLOY EFFICIENT,  
SUSTAINABLE & SOUND  
BUSINESS PRACTICES

# Texas Outdoor Recreation Plan (TORP)

- Purpose of the TORP:
  - Measure Supply
  - Measure Demand
  - Create strategic goals to address the gap between supply and demand
- Please complete the community needs survey!
  - Results help update scoring criteria
  - Fund projects that Texans want



## 2018 TORP: Identified Needs



**2018**  
**Most Common Responses to Lacking Outdoor Activities by Region**

Region	Most Common Response	Second Most Common Response
Region 1	Parks/Park Capacity	Children's Activities
Region 2	Trails	Campgrounds
Region 3	Trails	Parks/Park Capacity
Region 4	Trails	Parks/Park Capacity
Region 5	Trails	Fishing
Region 6	Trails	Swimming Pools



# EXCELLENCE: Timeline & Budget (5 pts)

- Easy to understand what is being built?
- The project proposal should include a detailed timeline and budget that are feasible and credible in terms of land acquisition and/or construction
- Timeline TIPS:
  - Consider TPWD requirements, (i.e., Commission Approval, Quarterly Status Reports, Reimbursements)
  - Acknowledge LWCF constraints (NPS submission)
  - Build in sufficient time for permitting



# EXCELLENCE: Timeline Examples



## Example A

- Professional services – 6 months
- Construction – 9 months
- Project close-out



## Example B: Federal Funding

- January 2024 – TPWD Commission Approval
- March 2024 – Pre-Agreement Site Visit
- July 2024 – Pre-Agreement Compliance
  - Permits/Coordination: USACE, NEPA, SHPO
- September 2024 - Grant Agreement Execution
- Active Period of Performance – 3 years
  - Construction Plans and Specs
  - TCEQ, TDLR, Temp/Permanent Signage
  - Quarterly Reporting
- Project Closeout/Post Completion
  - Reimbursements
  - Final Inspection





# EXCELLENCE: Budget Example

- **Let's look at the application!**
- Budget Summary breakdown
- Budget Narrative describes how line-item costs were developed;
- Where did the costs come from?
- Verify and document the Match!
- Consistency! **What is in the budget should also be in the statement of work and the site plan!**

				For TPWD use only	
	Grant Elements	Overmatch	Grant + Overmatch Total	Approved Grant Elements	Approved Grant + Overmatch Total
A. PROFESSIONAL SERVICES					
Grant Administration	\$3,500		\$3,500	\$3,500	\$3,500
Professional Services	\$28,000		\$28,000	\$28,000	\$28,000
TOTAL PROFESSIONAL SERVICES COST	\$31,500	\$0	\$31,500	\$31,500	\$31,500
				For TPWD use only	
	Grant Elements	Overmatch	Grant + Overmatch Total	Approved Grant Elements	Approved Grant + Overmatch Total
B. LAND ACQUISITION					
TOTAL LAND ACQUISITION COST	\$0	\$0	\$0	\$0	\$0
				For TPWD use only	
	Grant Elements	Overmatch	Grant + Overmatch Total	Approved Grant Elements	Approved Grant + Overmatch Total
C. CONSTRUCTION					
Paved/Gravel Trail with Solar Lighting	\$44,000		\$44,000	\$44,000	\$44,000
Interpretive	\$35,000		\$35,000	\$35,000	\$35,000
Interpretive Stations	\$30,000		\$30,000	\$30,000	\$30,000



# EXCELLENCE: Site Plan (10 pts)

- **Clear and easy to read and corresponds with the Narrative and the Budget**
- Includes the park boundary, street names, true north arrow, scale bar, and legend.
- Identifies utilities, easements, and proposed grant elements (if multi-phase site plan - clearly identify which elements are proposed to be funded for this year.)
- Support elements are eligible, but majority of grant-funded items should be directly used for recreation.



## Site Plan - Arlen Headquarters Park (EXAMPLE)

100 Feet



The information shown in this site plan is for purposes of example only. It is intended for use by TPWD's Recreation Grants Local Park applicants.

September 1, 2019

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## ARLEN HEADQUARTERS PARK SITE PLAN



TEXAS  
PARKS &  
WILDLIFE



# Example Application



Do these documents support each other?

Narrative: The City of Arlen is developing an existing park, Arlen Headquarters Park, with an all-abilities playground, solar lighting, a large pavilion, ADA-accessible picnic sites, a splashpad, restroom renovations, and a new sidewalk to connect these features to the parking lot.

Budget:

- Playground.....\$300,000.00
- Pavilion.....\$100,000.00
- Lighting.....\$150,000.00
- Electrical Connections.....\$50,000.00
- Restrooms.....\$300,000.00
- Landscaping.....\$1,000.00
- Two picnic sites.....\$500.00



## Site Plan Tips

Ask yourself, “Can someone who is not from our area read this and understand:”

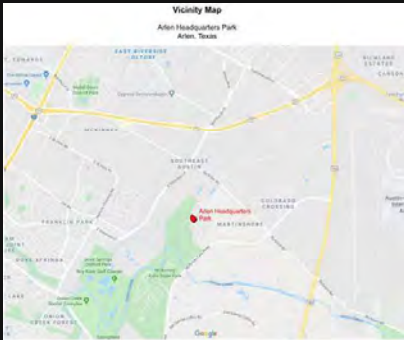
- Where is the park location and boundary?
- What is happening at the park that will be paid by this grant?
- And vice versa – is there anything proposed or existing that is not related to the grant?
- How does the proposed site plan connect to the budget and narrative?





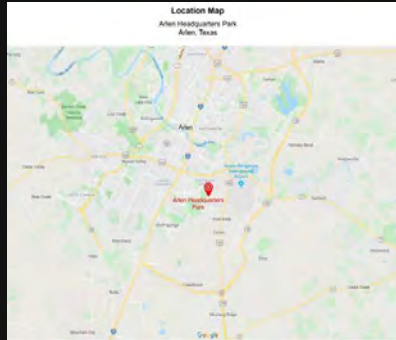
# Site Plan Tips

Also required for context:



## Vicinity Map

Zoom out enough to still see the labeled park, but also see labeled roads leading to it.



## Location Map

Zoom out even further to see park location in relation to major highways and closest identified City or Town.



## Site Photos

Multiple photos, even \*better\*, if they have captions, such as "The view at the corner of Arlen Dr, looking North into the park." Or "View of the mowed field that is proposed for a pavilion."



## INTEGRITY 15 PTS

Organizational Capacity  
Past Performance

# INTEGRITY: Organizational Capacity (5 pts)

- Is sufficient staff involved in the project?
- Looking for who will be managing the grant and their past experiences managing grant funds
- Maintenance plan that is specific to project scope
- Describe the staff and funding resources in place to operate and maintain grant supported facilities for 25 years (outdoor recreation); 40 years (pools)



# INTEGRITY: Past Performance (10 pts)

- First-time applicant (10 pts); or
- Full compliance on previously-funded or active projects awarded by TPWD
- Applicants not in compliance with the conditions of previously funded and active TPWD Recreation Grants but provide a credible and feasible action plan and the timeline for achieving compliance
- **Common Past Performance Issues:**
  - Previous inspection showed missing park equipment less than 25 years after installation.
  - Part of park is no longer available as public, outdoor recreation due to land sale, lease, utility installation, etc.
  - If your municipality was awarded but the municipality canceled the project. That money cannot be used again and the State of Texas loses it. The municipality has to wait three years before applying again.



# COMPLIANCE

OR WHAT HAPPENS AFTER THE MONEY IS SPENT?



## Compliance...

Or what happens after the construction is finished?

TPWD inspects the park every 5 years.

All grant elements must be available for 25 years and pools/recreation centers for 40 years.

Park stays as public, outdoor recreation in perpetuity.



# What happens if you need the park for something else?

There is a way to take the grant encumbrance off a park, but it takes a lot of resources and is considered a last resort.

**IMPORTANT** to make sure the grant application is for a park that has no plans for development or immediate changes.



# Can the park be just for residents?

**Parks need to be available for all residents and visitors to Texas.**

Fees can be charged for certain park amenities, but they are required:

- To be consistent with fees at other similar parks in the area
- Not charge one group of people more than twice the fees of another group of people.
  - For example, if it costs residents \$5 to use the pool, it can't cost more than \$10 for non-residents.



Example of park fees that are discriminatory

# Compliance

Our inspections look for the same things most cities and counties want to see at their parks:

**Are they open and welcoming for public, outdoor recreation?**

We are here to help! Both with funding and with future park protection.



## SERVICE 30 PTS

**Community Need**  
**Geographic Distribution**  
**Underserved Populations**  
**Accessibility**

## SERVICE: Community Need (10 pts)

- Current TPWD-approved Parks, Recreation, and Open Space Master Plan (5 pts)
- Was public input gathered specifically for the proposed project?
  - Specify HOW public input was gathered
- Tell us your story - how will this project impact your community and what priorities and community needs does this project address
  - Document when possible



## SERVICE: Geographic Distribution (5 pts)

- First public park in the service area (5 pts); or
- Explain how the project fills a critical park and recreation gap identified through community engagement (3 pts)
- Are they new elements in your park system?
  - If not, how do they improve access/ why are they needed?
- Is the project safely accessible by multiple methods of transportation and demonstrate with documentation? (i.e., walk, bike, public transit, 10-minute walk to parks) (2 pts)





## SERVICE: Underserved Populations (10 pts)

- Do data demonstrate the project's impact on opportunities for low-income and ethnic minority residents?
- Based on economic and demographic data for the service area from the most recent federal census data
  - Percent of the population qualifying as low income 5 (5 pts)
    - See link on RGO to calculate
  - Percent of population not answering "White Alone" (5 pts)
    - See link on RGO to calculate

<https://data.census.gov/>

<https://www.youtube.com/watch?v=BCGSWQg0pBY>



## SERVICE: Accessibility (5 pts)

1. **Required:** Explain how the project will meet ADA and ABA standards
2. If the element is listed in the narrative, it needs to be in the **narrative AND budget AND site plan.**
3. **Advanced:** Look for ways to incorporate park features that exceed state and federal ADA requirements.
  - Meet with an accessibility consultant and incorporate their recommendations.
  - Does your project focus an intent to provide **unique opportunities to people with disabilities?**
  - If you're including special amenities, include a specification of it to demonstrate what it is and that the cost is appropriate.
  - **Examples:** wide trails, zero entry pools, all-abilities playground elements, adult-changing stations in restrooms, etc.





# STEWARDSHIP 20 PTS

## Conservation Sustainable Design

## What is Sustainability?

Focusing on environment impact and reducing the amount of resources a site uses.

Examples of easy sustainability features to incorporate:

- Solar Lighting – the commercial kind, not the kind someone can easily remove.
- Choose appropriate plants for your climate. “Xeriscaping” in East Texas does not mean you need gravel and cactus.
- Use recycled material in benches, trash cans, etc. Include a spec sheet.
- Providing shade over play and rest structures. This supports people being outside and helps mitigate the weathering effects of the sun on the materials and they can last longer.
- Drip irrigation for landscaping to use less water.
- Are there places to use a renewable resource, like wood or mulch, instead of a nonrenewable resource, like plastic or metal?
- If there is something existing on site that provides shade or stormwater treatment on site and you’re keeping it instead of taking it out and putting in something new, that is sustainability.



# STEWARDSHIP: Sustainable Design (10 pts)

- Successfully demonstrate the integration of sustainable design features and practices
- Elements in the **scope AND budget AND site plan** that reduce energy use, water use, and emissions.
- Include **spec sheets** and appropriate prices for special items.
- Explain **how your agency is equipped** to care for grant elements throughout their useful life.



## What is Conservation?

Protecting or improving the plant and animal resources at a site.

Examples of easy conservation features to incorporate:

- **Identify and protect sensitive and unique features** (endangered species habitat, karst zones, wetlands, creeks, natural ponds, etc.). This can be done via a fence, a sign, strategically placed boulders, a path that stays away from the creek bank, etc.
- If there is a **creek or wetland** that has been impacted by development, work with TPWD biologists before you apply to identify the best plant species to **revegetate** it.
- Incorporate **"Grow Zones"** along creeks to encourage wildlife habitat, plant nurseries, and protection of creek banks prone to erosion.
- If landscaping is part of the design, include plants that **provide food for animals**.
- If you have a splashpad, a lot of water comes out of it during the cleanout process at the end of each day. Where does that water go? Can it be directed into a **raingarden or a swale** instead of the storm drain or a creek?
- Identify and protect floodplains on your site plan. Floodplains are recharge areas and installing a large concrete skatepark is not good for the creek or the skaters. Floodplains also can carry away items like benches, kiosks, playground mulch, etc.





# STEWARDSHIP: Conservation (10 pts)

- Does the project scope include clear conservation efforts that actively protect or restore critical ecosystems?
- Does it add elements (signage and resting points) that **create awareness** of natural and cultural resources?
- Are conservation efforts included in the **scope AND budget AND site plan**?
- Floodplain and environmental impact table
- Example for environment impact table (looking for positive impacts too)



# STEWARDSHIP: Conservation (10 pts)

In addition to design proposals, the application includes an Environmental Impacts table.

**Necessary to fill out each one, honestly, negative OR positive.**

If negative, describe how it will be addressed through site design or permitting.

**ENVIRONMENTAL IMPACTS**

Please provide an accurate assessment of how the proposed park development will impact the existing natural resources and surrounding community. Most projects are expected to have multiple impacts. Describe how those impacts are positive or negative in the Description column. If negative impacts, describe how this project will address or mitigate them.

ENVIRONMENTAL RESOURCES <small>Indicate potential for Positive and/or Negative impacts</small>	IMPACTS	DESCRIPTION <small>If minor impacts or more, please explain the nature of the impacts. For negative impacts, indicate how those will be addressed/mitigated.</small>
1. Air Quality	No/Negligible Impacts	No air quality impacts 23 of 1000
2. Circulation and transportation	Impacts Exceed Minor	The park will provide a new path that connects Main Street with Jones Street. This is a positive impact, improving pedestrian and bicycle circulation through the City. 168 of 1000
3. Climate	Minor Impacts	The proposed skatepark will create a more tree and <del>shaded</del> area in this part of the park and the proposed trees planting around the perimeter are meant to alleviate those impacts to the park and surrounding areas. 212 of 1000
4. Contamination or hazardous materials even if remediated	Not Applicable	There is no contamination or hazardous material at the park. 51 of 1000
5. Endangered species: (listed or proposed threatened)		





# TEAMWORK 10 PTS

## Coordination with SMEs Partnerships

### TEAMWORK: Coordination with SMEs (5 pts)

#### SME = Subject Matter Expert

- Seek expert input about design, construction, and planning.
  - Consultant, Engineer, Landscape Architect, TPWD Staff, Playscape Representative, etc.
- Has the sponsor identified **relevant permits**?
  - National Historic Preservation Act (Section 106) - Texas Historical Commission (THC) Concurrence
  - National Environmental Protection Act (NEPA)
  - US Army Corps of Engineers Coordination
- **Documentation** – provide email correspondences, letters, price quotes and specs, and/or notes from your meeting, etc.

## TEAMWORK: Partnerships (5 pts)

- Clear evidence of **organized community support** – fundraisers, volunteer days, residents presenting or requesting for this park at city meetings, etc.
- Verified overmatch – **are there funds going towards this project that are beyond what the grant will match?** If so, provide documents or official letters committing those funds to the project.
  - **For example** – The grant is providing \$150,000 and the City is matching it with \$150,000 AND the Elks Club is donating an extra \$50,000. This \$50,000 is **overmatch** and it can be **verified** with a letter from the Elks Club committing it to this specific project.
- Letters of support – **Who wants this park?**
  - Local residents and leaders, school principals, school children, athletic organizations, etc.



## TORP SURVEY



**Please take time to complete the community needs survey!**

- The results help to update Grant Scoring Criteria
- Helps to ensure we are funding the types of projects Texans want
- Paper copies available
- Link will also be sent out with slides
- THANK YOU!







QUESTIONS?

TEXAS  
PARKS &  
WILDLIFE



# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 11

Requester: Assistant City Manager Kent Souriyasak  
CIP Manager Patrick Hubbard

#### **Agenda Item**

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Consider approving Resolution R 2023-06-00542 authorizing an application for a proposed northern trail project to the Texas Parks and Wildlife Recreational Trails Grant Program.

#### **Background Information**

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The Collin County Parks Foundation Advisory Board administers the Project Funding Assistance Program and grant funds are awarded according to the priorities set forth in the Collin County Parks and Open Space Strategic Plan, being:

1. Land Acquisition for Parks and Open Space
2. Regional Trail Connector or Trail Project
3. Facilities (Capital) Improvements for Parks and Open Space.

The Project Funding Assistance Program is a reimbursement program and requires a 50% match. The Program also requires a resolution from the City Council approving submittal of the application. The application deadline to be considered for funding is July 10, 2023.

Staff is proposing to submit a northern trail project identified as Phase 1 of the Trinity Trail Connect in the City of Lucas Trails Master Plan. The proposed trail is focused on a section connecting the East Winningkoff Trailhead to the Trinity Trail, utilizing existing trail easements along East Winningkoff Road and Welborn Lane. The proposed trail would be constructed of crushed granite materials. Staff is working on identifying details for the proposed trail such as the width and total cost for construction. In addition, staff has submitted surveys to the North Texas Municipal Water District (NTMWD) to utilize the equestrian trail easement for a northern trail loop connection which is currently awaiting approval.

#### **Attachments/Supporting Documentation**

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1. Resolution R 2023-06-00542
2. Exhibit A – Trinity Trail Connect Depiction
3. City of Lucas Trails Master Plan
4. Application Requirements for Collin County Parks and Open Space Project Funding Assistance Program

#### **Budget/Financial Impact**

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The total cost for the proposed northern trail project is undetermined at this time. Staff is working on estimating costs for construction. Most of the recent trail projects that were awarded to other cities under the funding program have been for \$250,000.



# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 11

#### **Recommendation**

---

The Parks and Open Space Board recommends that the City Council approve the resolution authorizing the submission of an application for a proposed northern trail project to the Collin County Parks and Open Space Project Funding Assistance Program.

#### **Motion**

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I make a motion to approve/deny Resolution R 2023-06-00542 authorizing an application for a proposed northern trail project to the Texas Parks and Wildlife Recreational Trails Grant Program.





**RESOLUTION R 2023-06-00542**

[AUTHORIZING APPLICATION TO THE COLLIN COUNTY PARK  
AND OPEN SPACE PROJECT FUNDING ASSISTANCE PROGRAM]

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LUCAS, TEXAS, HEREINAFTER REFERRED TO AS THE “APPLICANT”, DESIGNATING CERTAIN OFFICIALS AS BEING RESPONSIBLE FOR ACTING FOR, AND ON BEHALF OF THE “APPLICANT”, IN DEALING WITH COLLIN COUNTY, HEREINAFTER REFERRED TO AS “GRANTOR”, FOR THE PURPOSE OF PARTICIPATING IN THE COLLIN COUNTY PARK AND OPEN SPACE PROJECT FUNDING ASSISTANCE PROGRAM, HEREINAFTER REFERRED TO AS THE “PROGRAM”, CERTIFYING THAT THE “APPLICANT” IS ELIGIBLE TO RECEIVE PROGRAM ASSISTANCE, CERTIFYING THAT THE “APPLICANT” MATCHING SHARE IS READILY AVAILABLE, AND DEDICATING THE PROPOSED FACILITY FOR PERMANENT PUBLIC PARK AND PEDESTRIAN TRANSPORTATION USES, AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the “Applicant” is fully eligible to receive assistance under the “Program”;  
and

**WHEREAS**, the “Applicant” is desirous of authorizing an official to represent and act for the “Applicant” in dealing with the “Grantor” concerning the “Program”; and

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LUCAS, TEXAS:**

**SECTION 1.** The “Applicant” hereby certifies that it is eligible to receive assistance under the “Program”.

**SECTION 2.** The “Applicant” hereby certifies that the matching share for this application is readily available at this time.

**SECTION 3.** The “Applicant” hereby authorizes and directs its Assistant City Manager to act for the “Applicant” in dealing with the “Grantor” for the purpose of the “Program”, and Kent Souriyasak is hereby officially designated as the representative in this regard.

**SECTION 4.** The “Applicant” hereby specifically authorizes the official to make application to the “Grantor” concerning the project known as the Trinity Trail Connect (or dedicated upon completion of construction) for public park and pedestrian transportation purposes in perpetuity.

City of Lucas, Texas

Resolution R 2023-06-00542; Authorizing Application to the Collin County Park and Open Space Project Funding Assistance Program

Approved: June 1, 2023

**SECTION 5.** This Resolution shall become effective immediately from and after its passage.

**DULY PASSED** by the City Council of the City of Lucas, Texas, on this the 1st day of June, 2023.

CITY OF LUCAS, TEXAS:

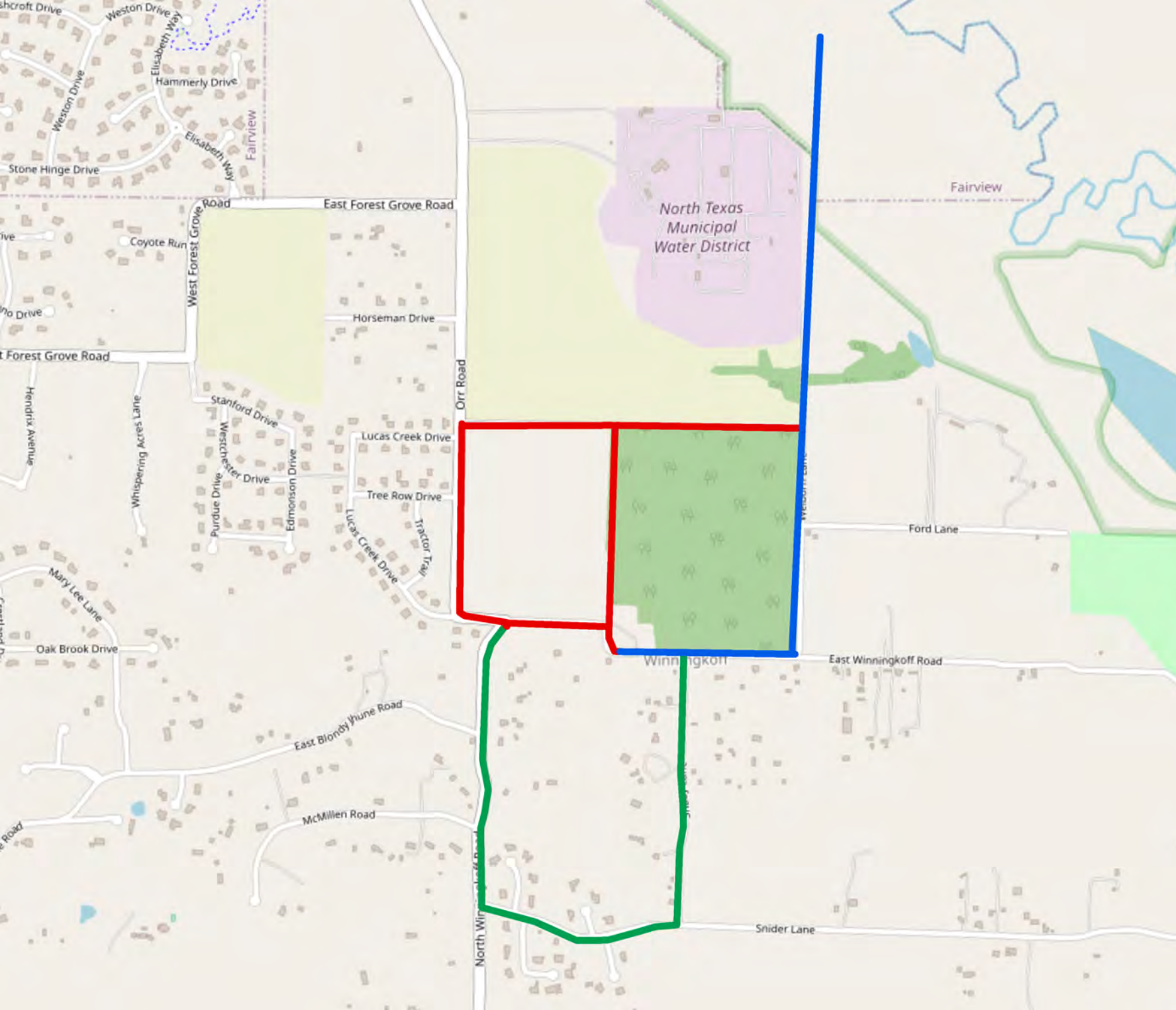
ATTEST:

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Jim Olk, Mayor

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Erin Flores, City Secretary

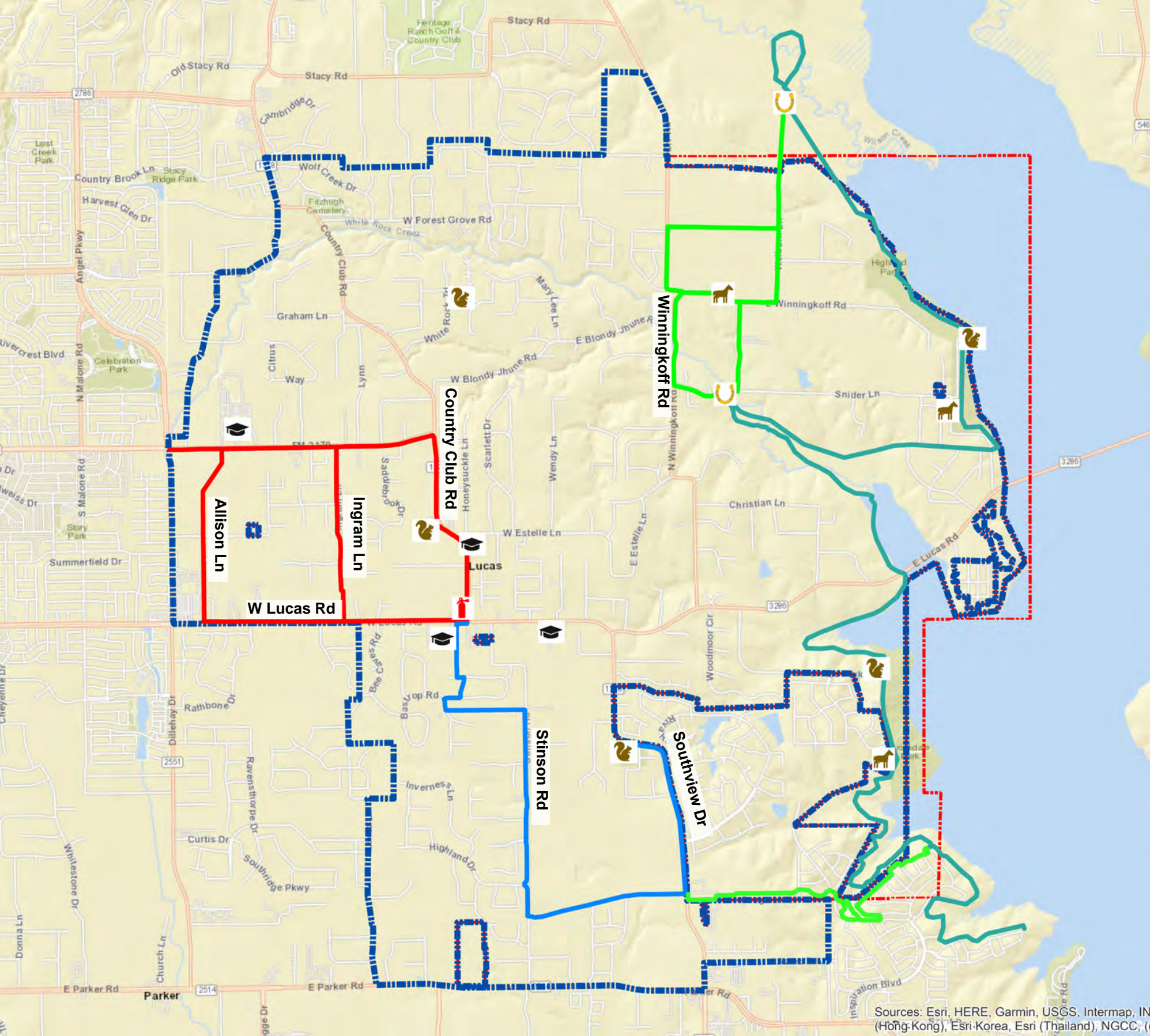


- Phase 1 (8,000 LF)
- Phase 2 (9,250 LF)
- Phase 3 (8,000 LF)

## Trinity Trail Connect City of Lucas







# LEGEND

## LOCATIONS

- FIRE STATION
- SCHOOL
- PARK
- TRAILHEAD
- TRAIL ACCESS

## TRAIL SEGMENTS

- CENTRAL LOOP
- WSMS TO SOUTHWIEW
- TRINITY TRAIL CONNECT
- TRINITY TRAIL

## BOUNDARIES

- CITY LIMITS
- ETJ LIMITS

# Trails Master Plan City of Lucas 2022

Revised: July 6, 2022  
Adopted: January 19, 2023







Collin County > Parks & Open Space > Project Funding Assistance Program

## Project Funding Assistance Program

The Collin County Parks Foundation Advisory Board administers the Project Funding Assistance Program and grant funds are awarded according to the priorities set forth in the Collin County Parks and Open Space Strategic Plan (Strategic Plan), being:

### 1-Land Acquisition for Parks and Open Space

### 2-Regional Trail Connector or Trail Project

### 3-Facilities (Capital) Improvements for Parks and Open Space.

The Program has been in place since 1999 when Collin County citizens approved a \$5.75 million bond proposition for Parks and Open Space. In 2001, those funds were used to create the Strategic Plan and assisted with the advancement of 33 projects for 25 different entities over a 3-year period.

In 2003, the citizens approved an \$11 million bond proposition for Parks and Open Space that allowed an already successful program to expand. These funds supported the development of 45 projects for 29 different entities over a 5-year period.

In 2007, the citizens approved a \$17 million bond proposition for Parks and Open Space of which these funds assisted with 95 projects for 28 different entities over a 7-year period.

In 2012, the Collin County Commissioners Court adopted the county's first Regional Trail Master Plan (RTMP). The RTMP is intended to provide coordination and connectivity of trails between cities and towns for the development of a countywide system of trails. Many of Collin County's cities and towns have since adopted their own Trail Plans and some can be viewed below.

City of Allen	City of Garland	City of Princeton
City of Anna	City of Lavon	Town of Prosper
City of Carrollton	City of Lucas	City of Richardson
City of Celina	City of McKinney	City of Sachse
Town of Fairview	City of Melissa	City of Van Alstyne
City of Farmersville	City of Parker	City of Wylie
City of Frisco	City of Plano	

In 2018, Collin County Citizens approved a \$10 million bond proposition for Parks and Open Space. Over a 5-year (2019-2023) period, Collin County will make these funds accessible to eligible applicants within the county through an application process. You can view a list of 2019-2022 funded projects [here](#). You can also select a completed project below to see photos.

City of Allen Land Acquisition of Molsen Farm	City of Celina Land Acquisition of Bonfire Properties	City of Josephine City Park
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City Of Josephine Splash Pad	City of Melissa Throckmorton Road Trail Connection	Myers Park Fence
Town of New Hope Pat Fowler Park	City of Plano Legacy Trail (Means Dr.-Penelope Ln)	City of Plano Preston Ridge Trail Connector
City of Princeton Crossroads Park Phase 1B	Town of Prosper Whitley Place Powerline Easement Trail	City of Richardson Breckinridge Park Trail Connections
City of Wylie Twin Lakes Park Trail		

The Project Funding Assistance Program is a reimbursement program. All applications must show dollar for dollar match in funds comprised of either direct cash contribution, match based on value of land to be improved, donated labor, material or in-kind services for the project to be considered. *(Under special circumstances, at the recommendation of the Parks Foundation Advisory Board, and approval by the Commissioners Court, a direct payment may be made in lieu of reimbursement.)*

Eligible applicants must be a 501(C) (3) tax exempt organization, nonpolitical group, or any unit of local government including municipalities and school districts. Faith based organizations are eligible to apply as long as the improvement is open to the public and only used as a park and/or open space.

Proposed project goals must be similar to and support or advance the mission published in the Strategic Plan. The executive summary of that plan is available to help guide applicants. If needed, the entire Strategic Plan document can be provided upon request by emailing [openspace@collincountytx.gov](mailto:openspace@collincountytx.gov).

## Timeline for 2023 Funding Program

**Monday, April 3, 2023:** Seek Commissioners Court approval of timeline

**Week of April 10, 2023:** Dissemination of a Press Release

**Week of April 10, 2023:** Electronic Distribution of Application Packet

**Monday, July 10, 2023:** Application Submittal Deadline by 4 p.m. and must be emailed to [openspace@collincountytx.gov](mailto:openspace@collincountytx.gov)

**August-September 2023:** Review by Parks Foundation Advisory Board

**October 2023:** Submit Funding Recommendation to Commissioners Court

**October-December 2023:** Entities enter into Interlocal or Funding Agreements with Collin County

## Submitting Application

**2023 Applications, and all supporting documents, should be submitted by email to [openspace@collincountytx.gov](mailto:openspace@collincountytx.gov) no later than 4 p.m. on July 10, 2023.**

Applications received after the submittal deadline, established by Commissioners Court, will not be considered by the Parks Foundation Advisory Board.

**Below is a list of required items to be submitted with the Project Funding Assistance Program Application. Many of the requirements listed have examples available to use as a guide.**

- 1. Application:** The application is a three page fillable document.



- **Applicant and Project Information:** Please ensure that the person listed as the Authorized Project Representative is the individual that will be in contact with the County Staff and the Board for the duration of the application review through project completion, if awarded.
- **Project Costs and Elements:** Include backup indicating how the project costs and match were determined. Provide proposals, contracts, appraisals for land acquisitions, etc. An Excel Spreadsheet can be substituted for this form.
- **Authorized Signature:** Please ensure that the individual signing on page 3 has contract signing authority for your entity.

The Authorized Project Representative and the Authorized Signatory do not have to be the same person, and most cases will not be.

2. **Resolution:** A signed copy of an approved resolution by the governing body for the entity presenting the application must be submitted.
3. **Project Narrative:** The narrative should include all of the following points and be clear and concise.
  - **Project Description:** Describe how your project addresses recommendations made in the Strategic Plan. Describe the elements for which assistance is requested. If land is to be acquired, explain how it will be acquired (by purchase, donation, condemnation, dedication by plat, or any combination of methods) and include the acreage of the land. If funding for capital improvements is requested, specify what facilities are to be built, renovated, demolished or removed. Describe if you intend to construct the improvements by contract, through force account, in-kind services, with assistance of other governmental entities, through volunteer efforts or any combination of these methods. Describe any plans to make this an on-going program.
  - **Objectives and Need for Project:** Briefly describe the recreational needs that are trying to be met and why they are needed. Give a brief history of the project and describe who will benefit. Explain how the project relates to current and future needs within the project service area. Please acknowledge that upon completion of the project, the park or proposed improvements will be accessible to all Collin County residents and meet ADA compliance. Address how the project will impact the conservation of natural resources, i.e., natural areas, wetlands, open space and view sheds, areas vulnerable to development, greenbelts and linkages, and environmental impact. Be sure to address any unique or innovative features, special land uses, planning, or community involvement.
  - **Funding Mechanisms:** Explain the method(s) for financing the project, include all matching funds (in-kind, donations, grants, city bonds) and relationships. Describe any relationship between the proposed project and the other work planned, anticipated or underway or previous governmental grants or assistance related to the proposed project. Describe any non-traditional funding methods. It is preferred that dollar for dollar matching funds be available at the time application is made. If not, there must be reasonable expectation of matching funds within six months from the time Commissioners Court approves funding for the project. *It is important to indicate if the project within this application will move forward regardless if the Board awards funds towards it or not.*
  - **Project Schedule:** Provide a detailed project action plan for completion of the proposed project. For planning purposes, the project should commence within six months of the executed ILA or Funding Agreement. *If funded, an updated progress report will be required to be submitted by the end of each quarter. (March, June, Sept, Dec.)*
  - **Implementation and Maintenance:** Describe who will oversee the project and who will be responsible for maintaining the completed project area, include level of expertise and how the project will be operated and maintained.
4. **Location Maps, Site Photos, Project Sketches, etc.:** Applicant must show accurate location of proposed project by including either the address or the Property ID information from Collin County Central Appraisal District. Please provide detailed visuals pertinent to the project including zoomed out aerials to show where the parcel(s) are located and zoomed in to the specific parcel(s) with north arrow included. Indicate clear connections of how it will tie into the RTMP and your own Trail Plan if one has been adopted. If proposed project is not on the RTMP, please indicate this. Make it easy for anyone looking at the information to understand exactly what it is you are proposing to do and where.
5. **Letters of Commitment:** Provide letters of commitment for all services, cash, labor, equipment, and materials that will be used as a match for the project. If this is a land acquisition, a Letter of Commitment or a Contract must be in place between the applicant and the landowner at the time the application is submitted. A copy of such agreement is required to be included in your application packet.
6. **Evidence of Non-Profit Status:** Applicants, other than public agencies, must provide evidence of their non-profit status.

## Approval Process

The Parks Foundation Advisory Board will review applications that are submitted prior to the approved deadline. The decision to recommend or not recommend an application for funding will be determined by how well the project meets the application criteria in the opinions of the members of the Parks Foundation Advisory Board and the amount of funds available to award.

If a two-thirds (2/3) majority of the Parks Foundation Advisory Board accepts the proposal as complete, finds that it satisfies the review criteria and determines that adequate funds are available, they will submit the proposals along with their recommendations to Commissioners Court for consideration. The final decision to approve or reject the recommendation will be at the discretion of Commissioners Court. If Commissioners Court approves the recommendation, funds will be awarded. Prior to commencement of the Project, an Interlocal or Funding Agreement must be executed between all involved parties.

## Interlocal Agreement (ILA) or Funding Agreement

Upon the Commissioners Court's approval of the Board's recommendations of funding awards, Collin County will initiate an Interlocal or Funding Agreement with each awarded entity. This agreement will need to be approved and signed by the entity and then returned to Collin County for final execution by Commissioners Court. Once fully executed, a copy will be returned to the respective entities and project funding can begin at that time.

## Payment of Funds

Funds will be made available as reimbursement for approved project expenses. Expenses incurred prior to full execution of the Interlocal or Funding Agreement are not eligible for reimbursement.

Reimbursement requests can be submitted any time after the ILA or Funding Agreement has been executed and funds have been spent. The project does not need to be complete to request reimbursement and multiple reimbursements can be made until completion of project.

To submit for reimbursement, please email the following items to [openspace@collincountytx.gov](mailto:openspace@collincountytx.gov)

- Invoice from entity to Collin County with indication of what money was spent on, how much was spent, and how much of that is being requested as reimbursement.
- Itemized list of expenditures.
- Proof of payment from entity to Vendor.

Examples of reimbursement requests can be found [here](#).

## Right to Reallocate Funds

It is the responsibility of the Parks Foundation Advisory Board to actively monitor the progress of approved projects. If the Parks Foundation Advisory Board determines that an approved project is not likely to come to fruition within a responsible length of time or the scope of project has changed considerably, the project applicant may be given an opportunity to submit a revised proposal for consideration. Based on the merits of the revised proposal, the Parks Foundation Advisory Board may vote to request the Commissioners Court reallocate the funds for use of the revised project. If Commissioners Court approves the reallocation of funds, a new Interlocal or Funding Agreement must be executed between all involved parties prior to commencement of the revised project.

For general questions, or to be added to the distribution list for future funding information, send an email to [openspace@collincountytx.gov](mailto:openspace@collincountytx.gov) with name, entity, address, phone number and email address.



# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 12

Requester: City Secretary Erin Flores

#### **Agenda Item Request**

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Consider the appointment of Mayor Pro Tem to serve for a one-year period beginning June 1, 2023 and ending May 31, 2024.

#### **Background Information**

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Per the City Charter, Section 3.10 (1) a Mayor Pro Tem shall be selected after each regular election of the City Councilmembers and shall serve in the capacity of Mayor during their absence.

#### **Attachments/Supporting Documentation**

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NA

#### **Budget/Financial Impact**

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NA

#### **Recommendation**

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NA

#### **Motion**

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I make a motion to appoint \_\_\_\_\_ as Mayor Pro Tem to serve for a one-year period beginning June 1, 2023 and ending May 31, 2024.





# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 13

Requester: Mayor Jim Olk

#### Agenda Item

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Discuss updating the City of Lucas Code of Ordinances, Chapter 14 titled “Zoning” and provide guidance to the Planning and Zoning Commission.

#### Background Information

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The City Council requested that a strategic review of the Code of Ordinances be done with specific focus on Chapter 14 titled “Zoning”.

Staff placed this item on the May 11, 2023 Planning and Zoning Commission agenda to determine how to facilitate the review and possible revisions to Chapter 14. Mayor Olk placed this item on the May 18, 2023 City Council agenda and requested that the City Council review Chapter 14 and be prepared to discuss potential revisions to Chapter 14 at the June 1, 2023 City Council meeting and to provide Planning and Zoning with some guidance on the review process.

The following is a proposed schedule for the Planning and Zoning Commission and the City Council to consider:

Section of Chapter 14	Meeting
14.01.004 14.02 Division 2 14.02 Division 3 14.02 Division 5	June 8, 2023 P & Z Meeting
14.03 Division 6 14.03 Division 8 14.03 Division 10 14.03 Division 15	July 13, 2023 P & Z Meeting
14.04 Division 5 Remainder of 14.01 Remainder of 14.02	August 10, 2023 P & Z Meeting
Remainder of 14.03 Remainder of 14.04	September 14, 2023 P & Z Meeting
Final Review by Planning and Zoning of Chapter 14	October 12, 2023 P & Z Meeting
Review by City Council	November 2, 2023 City Council Meeting
First Public Hearing	December 14, 2023 P & Z Meeting
Second Public Hearing	January 4, 2024 City Council Meeting



# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 13

#### **Attachment/Supporting Documentation**

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1. [City of Lucas Code of Ordinances, Chapter 14 titled “Zoning”](#) (Due to the size of Chapter 14, this link has been provided.)
2. Table of Contents for Chapter 14 with amendment dates.

#### **Budget/Financial Impact**

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NA

#### **Recommendation**

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Provide the Planning and Zoning Commission and staff with guidance on establishing specific goals and areas of focus for the systematic review of the City Code of Ordinances, Chapter 14 titled “Zoning”.

#### **Motion**

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NA

## Table of Contents

### Chapter 14 Zoning

#### 14.01 General Provisions

- 14.01.001 Short title and application of chapter
- 14.01.002 Interpretation and purposes
- 14.01.003 Scope
- 14.01.004 Definitions
- 14.01.005 Compliance with the regulations

#### 14.02 Administration

##### Div. 1 Generally

- 14.02.001 Enforcement and penalties
- 14.02.002 - .030 Reserved

##### Div. 2 Board of Adjustment

**last amended 2016**

- 14.02.031 Members and terms of office
- 14.02.032 Meetings
- 14.02.033 Quorum and voting
- 14.02.034 Powers and duties
- 14.02.035 Appeals
- 14.02.036 Decisions
- 14.02.037-.059 Reserved

##### Div. 3 Changes and Amendments

**last amended 2015**

- 14.02.060 Zoning upon annexation
- 14.02.061 Declaration of policy
- 14.02.062 Authority to amend
- 14.02.063 Procedure
- 14.02.064 Limitation on reapplication
- 14.02.065-.080 reserved

##### Div. 4 Specific Use Permits

**Amended May 2022**

- 14.02.081 Generally
- 14.02.082 Application and processing
- 14.02.083 Zoning amendment and limitations
- 14.02.084 Expiration, termination, revocation
- 14.02.085 - .110 Reserved

##### Div. 5 Final Plans Approval

**original text from 1995 codification**

- 14.02.111 Submission of final plans



## 14.03 Districts

### Div. 1 Generally last amended 2015

- 14.03.001 Division of districts
- 14.03.002 Maintenance of zoning map
- 14.03.003 Rules for the interpretation of district boundaries
- 14.03.004 – 050 Reserved

### Div. 2 AO last amended 2015

- 14.03.051 Use regulations.
- 14.03.052 Height regulations
- 14.03.053 Area regulations
- 14.03.054-.110 Reserved

### Div. 3 R2 Amended Sept 2022

- 14.03.111 Use regulations.
- 14.03.112 Height regulations
- 14.03.113 Area regulations
- 14.03.14-.170 Reserved

### Div. 4 R1.5 Amended Sept 2022

- 14.03.171 Use regulations.
- 14.03.172 Height regulations
- 14.03.173 Area regulations
- 14.03.174-.230 Reserved

### Div. 5 R1 Amended Sept 2022

- 14.03.231 Use regulations.
- 14.03.232 Height regulations
- 14.03.233 Area regulations
- 14.03.234-.290 Reserved

### Div. 6 VC last amended 2017

- 14.03.291 Purpose
- 14.03.292 Use regulations.
- 14.03.293 Building regulations
- 14.03.294 Height regulations
- 14.03.295 Area regulations
- 14.03.296 Site plan approval
- 14.03.297 Landscaping plan approval
- 14.03.298 Architectural plan approval
- 14.03.299 Off-street loading and parking
- 14.03.300-.350 Reserved

Div. 7	CB		<b>last amended 2018</b>
	14.03.351	Purpose	
	14.03.352	Use regulations.	
	14.03.353	Development regulations	
	14.03.354	Special district requirements	
	14.03.355	Major Development Standards	
	14.03.356	Major retail development traffic studies	
	14.03.357-.410	Reserved	
Div. 8	PD		<b>adopted 2006, not amended</b>
	14.03.411	General purpose and description	
	14.03.412	Permitted Uses	
	14.03.413	Planned development requirements	
	14.03.414	Mandatory homeowners' association	
	14.03.415	City/developer facilities agreement	
	14.03.416	Zoning ordinance compliance and zoning map	
	14.03.417-.470	Reserved	
Div. 9	LI		<b>last amended 2015</b>
	14.03.471	Use regulations	
	14.03.472	Building regulations.	
	14.03.473	Height regulations	
	14.03.474	Area regulations	
	14.03.475	Site plan approval	
	14.03.476	Landscaping plan approval	
	14.03.477	Off-street loading and parking	
	14.03.478-.530	Reserved	
Div. 10	ED		<b>last amended 2015</b>
	14.03.531	Purpose	
	14.03.532	Use regulations.	
	14.03.533	Height, lot, and yard requirements	
	14.03.534	Area requirements	
	14.03.535	Parking regulations	
	14.03.536	Special conditions	
	14.03.537-.650	Reserved	
Div. 11	RESERVED		
	14.03.591 – 14.03.650		
Div. 12	MHD		<b>last amended 2015</b>
	14.03.651	Purpose	
	14.03.652	Manufactured home district (MHD)	

14.03.653	Use regulations.
14.03.654	Height, lot, and yard requirements
14.03.655	Parking regulations
14.03.536	Supports, tiedowns and skirting
14.03.657-.710	Reserved

Div. 13 OS

**last amended 2015**

14.03.711	Purpose
14.03.712	Use regulations.
14.03.713	Building regulations
14.03.714	Height regulations
14.03.715	Area regulations
14.03.716	Site plan approval
14.03.717	Landscape plan approval
14.03.718	Architectural plan approval
14.03.719	Off-street loading and parking
14.03.720-.770	Reserved

Div. 14 Reserved

Div. 15 Schedule of Uses

14.03.801	Use Designations	<b>adopted 2008, last amended 12/2020</b>
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14.04 Supplementary Regulations

Div. 1 Generally

**last amended 2015**

14.04.001	Community Homes
14.04.002	Equestrian boarding
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Div. 2 Off-street parking and loading

**last amended 2020**

14.04.031	Vehicle parking regulations
14.04.032	Off-street residential parking
14.04.033	Off-street nonresidential parking
14.04.034	Special off-street parking regulations
14.04.035	Parking requirements for new and unlisted uses
14.04.036	Minimum distance for off-street parking
14.04.037	Off-street loading space
14.04.038	Driveways
14.04.039	Off-site parking requirements
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Div. 3 Performance Standards **adopted 1995, not amended**

- 14.04.071 Applicability
- 14.04.072 Noise
- 14.04.073 Smoke and particulate matter
- 14.04.074 Odorous matter
- 14.04.075 Fire and explosive hazard material
- 14.04.076 Toxic and noxious matter
- 14.04.077 Vibration
- 14.04.078 Glare
- 14.04.079 Waste materials
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Div. 4 Height and Area Exceptions and Modifications **last amended 2015**

- 14.04.121 Height
- 14.04.122 Front Yards
- 14.04.123 Side yards
- 14.04.124 Mailbox location
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Div. 5 Nonconforming Uses **adopted 1995, not amended**

- 14.04.171 Existing land
- 14.04.172 Existing buildings
- 14.04.173 Voluntary discontinued use of a building for one year
- 14.04.174 Existing residence
- 14.04.175 Repairs
- 14.04.176 Nonconforming use not to be extended or rebuilt
- 14.04.077-.210 Reserved

Div. 6 Exploration for Production of Oil, Gas and Other Minerals **last amended 2015**

- 14.04.211 Prohibition against exploration and production in residential, commercial and village center districts
- 14.04.212-.250 Reserved

Div. 7 Lighting **last amended 2015**

- 14.04.251 Purpose and intent
- 14.04.252 Definition
- 14.04.253 General provisions
- 14.04.254 Special provisions
- 14.04.255 Nonresidential provisions
- 14.04.256 Site plan standards
- 14.04.257 Temporary lighting exemption
- 14.04.258 Nonconforming lighting
- 14.04.259 Administration
- 14.04.260 Penalty
- 14.04.261 Variances

14.04.262-.300 Reserved

**Div. 8 Accessory Buildings, Structures and Uses Amended May 2023**

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14.04.302 Accessory Buildings, structures, and uses permit ed  
14.04.303 Exemptions  
14.04.304 General accessory buildings and structures regulations  
14.04.305-.340 Reserved

**Div. 9 Telecommunication Antennas last amended 2010**

14.04.341 Purpose  
14.04.342 Applicability  
14.04.343 Definition  
14.04.344 General requirements  
14.04.345 Collocation  
14.04.346 Support buildings and equipment storage  
14.04.347 Requirements for the placement of support structures and antennas  
14.04.348 Antennas on city-owned property  
14.04.349 Aesthetic and alternative design requirements  
14.04.350 Appeals  
14.04.351-.385 Reserved

**Div. 10 Licensed Amateur Communications Antennas last amended 2011**

14.04.386 Purpose  
14.04.387 Definition  
14.04.388 Maximum number of antennas and antenna support structures in residential districts  
14.04.389 Height  
14.04.390 Antenna and antenna support structure standards  
14.04.391 License requirements  
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**Div. 11 Wind Energy Conversion Systems adopted 2011, not amended**

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14.04.432 Definition  
14.04.433 Applicability  
14.04.434 Requirements  
14.04.435 Uses, lot size allowances, heights, setbacks, and required permits  
14.04.436 Prohibitions and nuisance abatement  
14.04.437 Agency cooperation, review, and compliance  
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14.04.439 Application requirements  
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- 14.04.452 Definitions
- 14.04.453 General requirements
- 14.04.454 Height
- 14.04.455 Broadband antennas and broadband antenna support structure standards





# City of Lucas

## City Council Agenda Request

### June 1, 2023

Item No. 14

Requesters: Councilmember Debbie Fisher  
City Manager Joni Clarke

#### **Agenda Item Request**

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Update on the North Texas Municipal Water District (NTMWD) Board of Directors meeting held on May 25, 2023, as it relates to Premium charged to Customer Cities.

#### **Background Information**

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The Cities of Garland, Mesquite, Plano and Richardson filed an appeal of the wholesale water rates imposed by the North Texas Municipal Water District (NTMWD) with the Public Utility Commission of Texas (PUC). In the Settlement Agreement executed in October 2020, the outcomes that transpired after the settlement agreement that were impactful to customer cities included the development of a new customer city contract template using a rolling average to determine the take or pay amount and NTMWD agreeing to perform an Independent Financial Review (IFR) of the regional water system. This independent study was conducted by Amawalk Financial Consultants, LLC (Amawalk) beginning in March 2021. In December 2021, NTMWD's Board of Directors accepted the report.

On January 31, 2022, Customer Cities (City Managers and Utility Managers) were invited to NTMWD to receive a presentation from Amawalk. Customer Cities took issue with some of the findings/recommendations in this report. In particular, it recommends a 10% premium without conducting any kind of rate study. Currently, the premium is five cents and if the 10% premium was implemented, it would be 30 cents!

Customer cities secured a utility consultant, Raftelis, to assist the customer cities in our quest to understand why NTMWD believes that customer cities should not be offered the same rate as member cities. Currently, there does not appear to be any pathway to becoming a member city and we believe that our contribution to the regional water system warrants a fair and equitable water rate.

As recommended by the IFR, the NTMWD engaged an outside consultant, Carollo Engineers, to further evaluate the customer city premium and provided an initial briefing to the NTMWD Board of Directors in February 2023.

Currently, the City of Lucas has a Potable Water Supply Contract and this 30-year agreement with an effective date of April 22, 2004 establishes a rate of five cents (5 cents) per 1,000 gallons above the rate established for the Member Cities of NTMWD. The contract also has language that states "or such other rate, as may be from time to time determined by NTMWD" so if NTMWD adopts a higher premium for customer cities, the financial impact could be substantial. It is important to note that customer cities represent only 19.7% of NTMWD revenue.



# City of Lucas

## City Council Agenda Request

### June 1, 2023

NTMWD indicated that in March and April of 2023, they welcome feedback from the member and customer cities and anticipate some NTMWD Board direction in May or June of 2023.

Finance Director Liz Exum, Assistant City Manager Kent Souriyasak and City Manager Joni Clarke attended the NTMWD meeting regarding customer city premium that was held on May 16, 2023. A copy of the presentation from that meeting together with an email from Jeanne Chipperfield, Deputy Director for Administrative Services with North Texas Municipal Water District, was sent to the City Council on May 17, 2023.

The NTMWD Board of Directors is scheduled to deliberate on the customer city premium at their meeting scheduled for May 25, 2023. Executive Director Jenna Covington indicated that she thought that the Board would take action on the matter at their June Board meeting. Councilmember Fisher, as City Council liaison to the NTMWD, will be attending the NTMWD Board of Directors meeting and City Manager Joni Clarke will also be attending.

#### **Attachments/Supporting Documentation**

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NA

#### **Budget/Financial Impact**

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The financial impact of an increase in the customer city premium is unknown at this time but has the possibility of being substantial. The City of Lucas did not consider such an increase when it completed its recent water rate study. Staff will be recommending that the proposed fiscal year 2023/2024 budget include funding for an update to the City's water rates.

#### **Recommendation**

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NA

#### **Motion**

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NA



# City of Lucas

## City Council Agenda Request

### June 1, 2023

Requesters: City Council  
City Attorney Joe Gorfida  
City Manager Joni Clarke

#### **Agenda Item Request**

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Consider the 88th Legislative Session and discuss any proposed bill or significant resolution that may have an impact on the City of Lucas and provide guidance to the City Attorney and City Manager.

#### **Background Information**

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The 88th Legislature's regular session runs from January 10 to May 29, 2023.

#### **Attachments/Supporting Documentation**

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1. TML Legislative Update (May 26, 2023)

#### **Budget/Financial Impact**

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NA

#### **Recommendation**

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NA

#### **Motion**

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NA



# **TML** LEGISLATIVE UPDATE



May 26, 2023  
Number 21

## **Legislative Update “Wrap-Up” Edition Coming Soon**

With the regular session of the 88th Texas Legislature set to draw to a close on May 29, the hard work of city officials across the state to promote good policies that benefit city residents is evident. No session produces 100 percent positive results, but city officials should be proud of the level of engagement they maintained with elected state leaders over the past 136 days and encouraged by the results.

The focus of League staff will soon shift to summarizing the city-related legislation that has passed. Additional details about that legislation will be included in future Legislative Update articles, including the “wrap-up” edition containing summaries of every city-related bill that passed.

## **Bills on the Move**

### **Significant Floor Action**

**H.B. 471** (Patterson/Schwertner), requiring cities to provide paid illness and injury leave for first responders for up to one year. Passed the Senate.

**H.B. 1526** (Cody Harris/Hughes), limiting parkland dedication requirements and fees in lieu of dedication for cities over 800,000 in population. Passed the Senate.

**H.B. 3492** (Stucky/Springer), prohibits cities from using the cost of constructing or improving public infrastructure as a factor in determining certain value-based fees related to engineering, inspection, and subdivision. Passed the Senate.

**H.B. 3613** (Cain/Bettencourt), requiring a city that is divided into districts, wards, or other areas to elect all councilmembers following each apportionment on the first uniform election date. Passed the Senate.

**H.B. 3699** (Wilson/Bettencourt), making numerous changes to the approval process for plats and plans, including limiting city authority regarding completeness checks for applications. The bill also prohibits a city from “directly or indirectly” regulating use and density of buildings in the ETJ, including a new prohibition on regulating minimum lot sizes in the ETJ. Passed the Senate.

**H.B. 4082** (Goldman/Bettencourt), allowing for use of certificates of obligation for “public works” but prohibits their usage for certain new stadiums, convention centers, civic centers, hotels, and arenas. Passed the Senate.

**S.B. 379** (Huffman/Howard), permits a sales tax exemption for feminine hygiene products, maternity clothing, and children’s diapers. Passed the House.

**S.B. 1015** (King/Spiller), relating to periodic rate adjustments by electric utilities. Passed the House.

**S.B. 1999** (Bettencourt/Hefner), defining “foregone revenue amount” as the voter-approval tax rate minus the actual tax rate multiplied by the preceding year’s total value, and redefines “unused increment rate” as the sum of the preceding three years’ foregone revenue amount divided by current value. Passed the House.

**S.B. 2035** (Bettencourt/Capriglione), prohibiting a city council from authorizing an anticipation note or certificate of obligation to pay a contractual obligation under certain circumstances, including if a bond proposition on the same project failed to be approved during the preceding five years. Passed the House.

**S.B. 2350** (Bettencourt/Shine), defining “voter-approval tax rate” for the purpose of the unused increment rate calculation as a taxing unit’s voter-approval tax rate in the applicable preceding tax year, as adopted by the taxing unit during the applicable preceding tax year, less the unused increment rate for that preceding tax year. Passed the House.

## **Federal Infrastructure Bill Update**

*In November 2021, the federal Infrastructure Investment and Jobs Act (IIJA) was signed into law. The IIJA is altogether a \$1.2 trillion bill that will invest in the nation's core infrastructure priorities including roads, bridges, rail, transit, airports, ports, energy transmission, water systems, and broadband.*

*The League will monitor state and federal agencies and work with the National League of Cities (NLC) to access the latest information relating to the IIJA. We will provide periodic updates in the Legislative Update on resources for Texas cities on how to access IIJA funding for local infrastructure projects.*

### **U.S. Department of Energy (DOE)**

In May, the DOE began accepting applications for over \$50 million in grants for electric vehicle (EV) charging infrastructure and equipment through the Joint Office of Energy and Transportation [Ride and Drive Electric \(RDE\) Funding Opportunity](#). The RDE seeks to help develop convenient, affordable, reliable, secure, and equitable EV charging networks nationwide by funding projects that:

- Enhance EV charging resiliency
- Provide equitable electrification access and opportunities
- Improve EV charging performance and reliability

Eligible applicants include state and local governments, institutions of higher learning, and non-profit organizations.

Concept papers are due by **4:00 pm CDT on June 16, 2023**. Full applications are due by **4:00 pm CDT on July 28, 2023**.

Interested city officials can find more information about the RDE program and application requirements [here](#).

### **City Officials Testify**

When the legislature is in session, nothing compares to the effectiveness of city officials testifying at the Capitol. City officials who take the time to travel to Austin to speak out on important city issues should be applauded by us all. The League extends its thanks to all those who have vigilantly represented cities during this session.

- Kent Cagle, City Manager, City of Killeen
- Ryan Haverlah, City Manager, City of Copperas Cove
- David Mitchell, City Manager, City of Harker Heights



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# City of Lucas City Council Agenda Request June 1, 2023

Requester: City Council

## **Agenda Item Request**

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Discuss FM 1378 Draft Design Schematic dated April 2023 and consider modifications to the City of Lucas Thoroughfare Plan.

## **Background Information**

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The Thoroughfare Plan was modified on May 4, 2023 to better align Stinson Road with FM 1378.

Staff is seeking guidance from the City Council on whether to make additional modifications to the City of Lucas Thoroughfare Plan.

## **Attachments/Supporting Documentation**

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1. City of Lucas Thoroughfare Plan – Updated May 4, 2023

## **Budget/Financial Impact**

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NA

## **Recommendation**

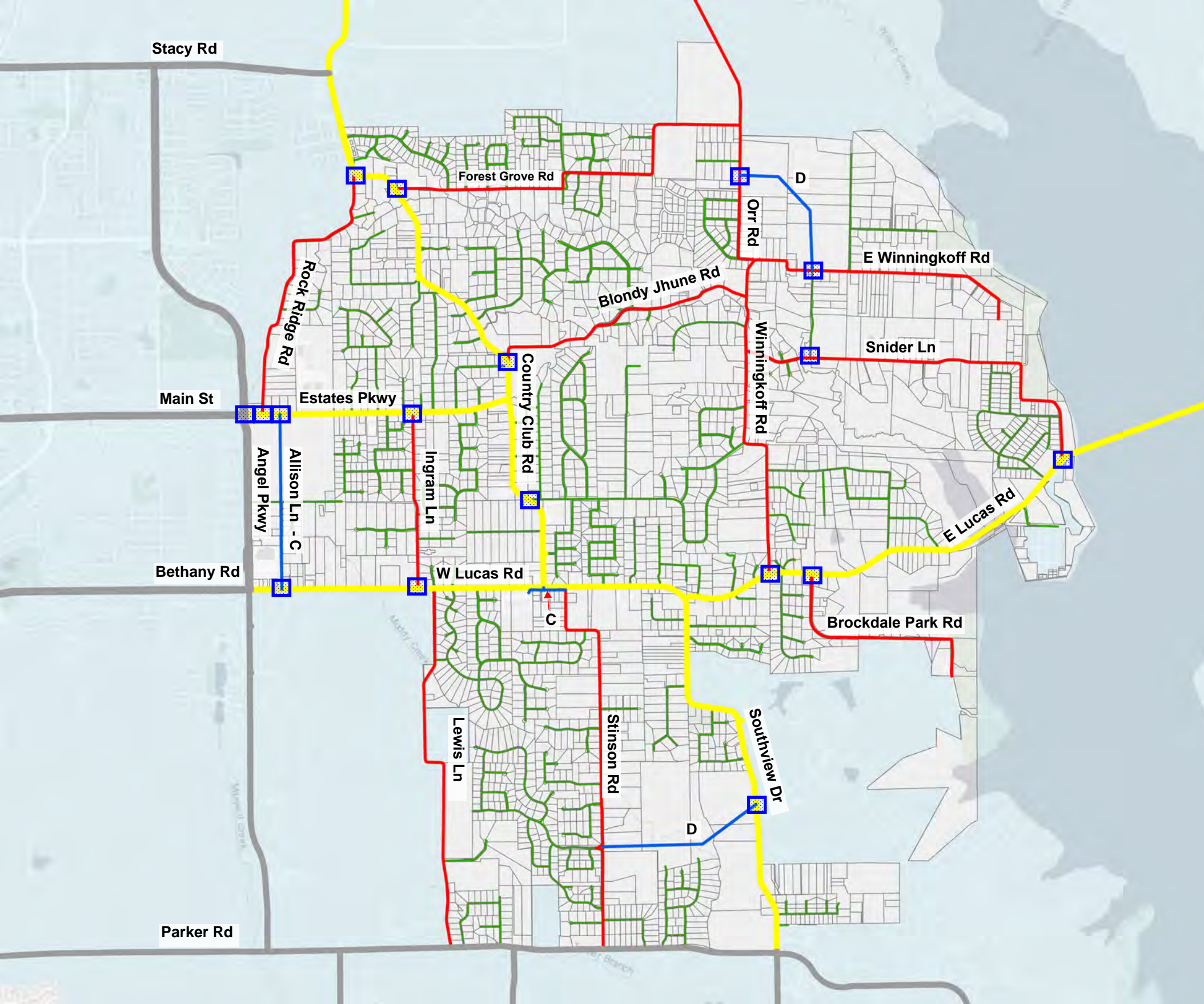
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NA

## **Motion**

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There is no motion required.



LEGEND					
Type	Color	# of Lanes	Divided	Pavement Width (ft)	Right-of-Way Width (ft)
A	Grey	6	Yes	78 + 16ft Median	120
B	Yellow	4	Varies	52-54	60
C	Red	2	No	24-28	50
D	Green	2	No	24	50
Proposed	Blue	As Labeled	As Labeled	As Labeled	As Labeled

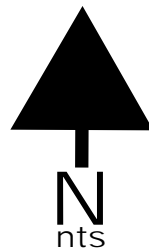
 Proposed Intersection Improvement

#### Notes:

1. Type D roads are shown for reference only and are not modified by this plan.
2. Private roads and driveways generally are not shown except where valuable for readability.
3. The blue shaded area is outside of City Limits.
4. Only the Northern 2,300 ft (approx) of Lewis Lane is Lucas maintained.
5. Only the Southern 300 ft (approx) of Rock Ridge Rd is Lucas maintained.

## Thoroughfare Plan City of Lucas 2022

Revised: March 31, 2023  
Adopted: May 4, 2023





# City of Lucas City Council Agenda Request June 1, 2023

Item No. 17

Requester: Mayor Jim Olk

## **Agenda Item Request**

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Executive Session:

As authorized by Section 551.071 of the Texas Government Code, the City Council may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney regarding any item on the agenda at any time during the meeting. This meeting is closed to the public as provided in the Texas Government Code.

## **Background Information**

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NA

## **Attachments/Supporting Documentation**

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NA

## **Budget/Financial Impact**

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NA

## **Recommendation**

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NA

## **Motion**

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NA





# City of Lucas City Council Agenda Request June 1, 2023

Item No. 18

Requester: Mayor Jim Olk

## **Agenda Item Request**

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Reconvene from Executive Session and take any action necessary as a result of the Executive Session.

## **Background Information**

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NA

## **Attachments/Supporting Documentation**

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NA

## **Budget/Financial Impact**

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NA

## **Recommendation**

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NA

## **Motion**

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NA