

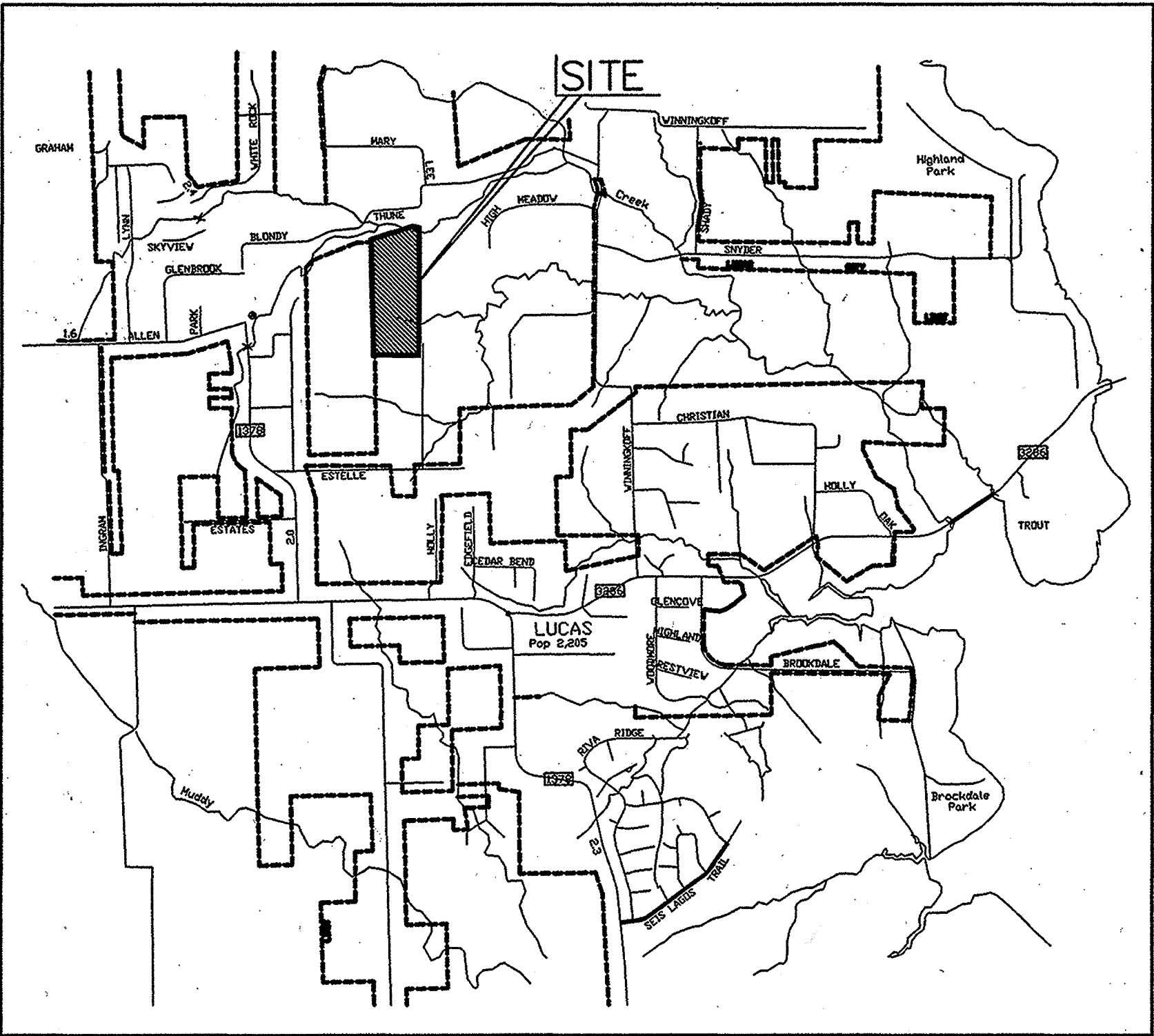
CIVIL CONSTRUCTION PLANS

"TARA"
PHASE II

BENJAMIN SPARKS SURVEY, ABSTRACT NO. 813
P.E. LUCAS SURVEY, ABSTRACT NO. 537
COLLIN COUNTY, TEXAS
71.03 ACRES

GENERAL NOTES
(APPLICABLE TO ALL SHEETS)

1. Excavated material shall be placed as directed by the Owner.
2. Construction shall meet the requirements of the latest revision of the Standards of Design and Standard Details for the City of Lucas.
3. All fill areas to be density controlled and compacted to 95% density at optimum moisture content.
4. Pavement thickness shall be a minimum of 6" thickness with a strength of 3600 psi at 28 days and reinforced with No.3 bar at 24" centers each way.
5. All streets shall be constructed with 6% lime stabilized subgrade compacted to 95% standard proctor density.
6. It shall be the responsibility of the Contractor to locate and verify all existing utilities prior to the beginning of construction to insure no conflicts between all utility lines.
7. Where water pipelines either cross or otherwise come within 9 feet of a sanitary sewer pipeline, the sewer pipeline shall be with a minimum working pressure Class 150 psi.
8. All water lines installed to be PVC pipe Class 150 conforming to AWWA Standard C-900, fitting shall be mechanical or O-ring.
9. All water lines are to be installed a minimum of 48" deep measured from top of pipe.
10. All storm inlets shall be cast-in-place.
11. Utility contractor shall use MEGALUGS when install the water line and double strap services when installing the services.
12. Water services shall be a minimum of 1" type k copper. Corporation cock shall be Mueller No. H-15000 w/ straight coupling nut or approved equal. Curb stops shall be Mueller No. H-15174 MK oriseal or approved equal.
13. All water lines shall be pressure tested and disinfected in accordance with AWWA C 601.
14. All gate valves shall be Mueller or approved equal and conform to AWWA C-500 specifications. All gate valves shall be iron body, bronze mounted, double disk, parallel seat, non-rising stem, internal wedging type.
15. All fire hydrants shall be located at the right-of-way line. All fire hydrants shall be Mueller or approved equal.



VICINITY MAP
1"=1000'

SHEET INDEX

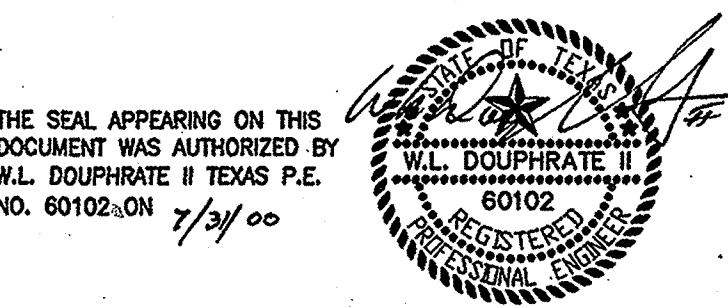
1. COVER SHEET
2. FILE PLAT
3. FILE PLAT
4. DRAINAGE AREA MAP
5. GRADING PLAN
6. PAVING PLAN & PROFILE-SCARLETT STA: 26+16.20-34+00
7. PAVING PLAN & PROFILE-SCARLETT STA: 34+00-46+00
8. PAVING PLAN & PROFILE-SCARLETT STA: 46+00-52+74.97
9. PAVING PLAN & PROFILE-HAMILTON STA: 11+57.05-KENNEDY 20+00
10. PAVING PLAN & PROFILE-KENNEDY STA: 20+00-24+78.41
11. PAVING PLAN & PROFILE-WILKES STA: 0+00-6+00
12. PAVING PLAN & PROFILE-WILKES STA: 6+00-13+15.71
13. WATER PLAN
14. STORM PLAN-LINE 6
15. STORM PLAN-LINE 7
16. STORM PLAN -DETENTION POND
- 16-A. STORM PLAN -GRADE TO DRAIN
17. EROSION CONTROL PLAN
18. EROSION CONTROL DETAILS
19. DETAILS

NOTE:
CONTRACTOR TO VERIFY IN THE FIELD THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. INFORMATION PROVIDED WITHIN THESE PLANS DOES NOT RELIEVE THE CONTRACTOR OF THE FULL AND TOTAL RESPONSIBILITY FOR THE PROTECTION OF EXISTING UTILITIES NOR ANY DAMAGES CAUSED BY SAID CONTRACTOR DURING CONSTRUCTION.

RECORD DRAWINGS:
THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF Lucas. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF Lucas INSPECTED THE CONSTRUCTION. THE OWNER NOR ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED

OWNER/DEVELOPER:
D.R. HORTON-TEXAS LTD.
310 E. I.H. 30, SUITE 310
GARLAND, TEXAS 75043
(972) 226-4333

DOUPHRA & ASSOCIATES, INC.
ENGINEERING • PROJECT MANAGEMENT • SURVEYING
P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005



MAY 2000

"TARA, PHASE II"

Filed for Record in
Collin County, McKinney TX
Public Survey
Doc/Num : 2866-017249
Date: 08/26/08
By: J. H. 101
Revised: 08/26/08

POINT OF BEGINNING

GRAPHIC SCALE

(IN FEET)
1 inch = 100 ft.

ESTELLE LANE
1146.28'

1146.28'

POINT OF COMMENCING

(BEARING REFERENCE)
NORTH

BLOCK E

BLOCK B

BLOCK C

BLOCK A
EX 36" STEEL PIPE

69.708 AC. GROSS
1.13 AC. IN ROW DED.
68.578 AC. NET

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CH. BEARING
C1	101.88'	235.00'	101.88'	N12°12'30"W
C2	155.78'	365.00'	155.78'	N12°24'08"W
C3	278.69'	350.00'	278.69'	N22°38'06"E
C4	281.54'	365.00'	281.54'	N22°27'25"W
C5	339.87'	435.00'	339.87'	N22°10'16"W
C6	211.04'	265.00'	211.04'	N22°37'52"E

PROJECT: 9948PH1PLT
DATE: NOV. 99
SCALE: 1"=100'
DRAWN: D.L.B.
CHK'D: W.L.D.

DOUPHRADE & ASSOCIATES, INC.
ENGINEERING • CONSTRUCTION MANAGEMENT • SURVEYING
P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

BENJAMIN SPARKS SURVEY
ABSTRACT No. 813
P.E. LUCAS SURVEY
ABSTRACT No. 537

FINAL PLAT
"TARA"
PHASE ONE
30 LOTS-68.578 AC.
BENJAMIN SPARKS SURVEY-ABST. NO. 813
COLLIN COUNTY, TEXAS

Filed for Record in
Collin County, McKinney TX
Honorable Helen Starnes
Collin County Clerk
On Dec 28 2000
At 8:35am m 402
Doc/Num : 2000- 0137349
Recording/Type:PL 26.00
Receipt #: 314510

LEGAL DESCRIPTION

BEING A TRACT OF LAND SITUATED IN THE BENJAMIN SPARKS SURVEY, ABSTRACT No. 813, COLLIN COUNTY TEXAS, AND BEING PART OF A 100 ACRE TRACT, ALL OF A 0.34 ACRE TRACT AND PART OF A 40 ACRE TRACT OF LAND THAT WAS CONVEYED TO THE O.E. SPURGIN REVOCABLE LIVING TRUST AS FILED IN THE CLERK'S FILE 97-52322 OF THE LAND RECORDS OF COLLIN COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCING, AT A POINT IN THE CENTERLINE OF ESTELLE LANE, SAID POINT BEING THE SOUTHEAST CORNER OF SAID 100 ACRE TRACT AS RECORDED IN CLERK'S FILE 97-52322;

THENCE, NORTH 89°08'28" WEST, ALONG THE CENTERLINE OF ESTELLE LANE, A DISTANCE OF 1146.28 FEET TO A POINT AT THE SOUTHEAST CORNER OF A 1 ACRE TRACT AS CONVEYED TO M. SPURGIN AS RECORDED IN VOLUME 637, PAGE 171, OF THE DEED RECORDS OF COLLIN COUNTY, TEXAS;

THENCE, NORTH 00°26'49" WEST, LEAVING THE CENTERLINE OF ESTELLE LANE, A DISTANCE OF 226.55 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHEAST CORNER OF SAID 1 ACRE TRACT;

THENCE, NORTH 89°33'59" WEST, ALONG THE NORTHERLY LINE OF SAID 1 ACRE TRACT, A DISTANCE OF 208.91 FEET TO THE POINT OF BEGINNING;

BEGINNING AT A POINT ON THE EAST LINE OF WILLOW CREEK ACRES, AND UNRECORDED SUBDIVISION, AND BEING THE NORTHWEST CORNER OF SAID 1 ACRE TRACT CONVEYED TO M. SPURGIN, (VOL 637, PAGE 171,) A FENCE CORNER POST FOR CORNER;

THENCE ALONG THE EAST LINE OF SAID WILLOW CREEK ACRES THE FOLLOWING:

NORTH A DISTANCE OF 1710.83 FEET TO A 1/2" IRON ROD FOUND;
N. 00°04'06" W. A DISTANCE OF 402.03 FEET TO A 1/2" IRON ROD SET;

THENCE, LEAVING THE EAST LINE OF WILLOW CREEK ACRES, THE FOLLOWING:

NORTH 89°38'25" EAST, A DISTANCE OF 349.85 FEET TO A 1/2" IRON ROD SET;
SOUTH 00°21'35" EAST, A DISTANCE OF 148.54 FEET TO A 1/2" IRON ROD SET;
NORTH 89°38'25" EAST, A DISTANCE OF 330.68 FEET TO A 1/2" IRON ROD SET;
SOUTH 00°39'02" EAST, A DISTANCE OF 50.96 FEET TO A 1/2" IRON ROD SET;
NORTH 89°49'00" EAST, A DISTANCE OF 319.04 FEET TO A 1/2" IRON ROD SET;
NORTH 00°11'00" WEST, A DISTANCE OF 168.25 FEET TO A 1/2" IRON ROD SET;
NORTH 89°49'00" EAST, A DISTANCE OF 371.07 FEET TO A 1/2" IRON ROD SET ON THE WESTERLY LINE OF LOT 5 OF L.B. CHANDLER ADDITION, AN ADDITION TO COLLIN COUNTY, AS RECORDED IN CABINET F, PAGE 641 OF THE PLAT RECORDS OF COLLIN COUNTY, TEXAS;

THENCE, ALONG THE WEST LINE OF SAID CHANDLER ADDITION, THE FOLLOWING;

SOUTH 00°33'00" WEST, A DISTANCE OF 128.54 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
SOUTH 00°12'16" WEST, A DISTANCE OF 598.51 FEET TO A 3/8" IRON ROD FOUND FOR CORNER;
SOUTH 01°03'22" WEST, A DISTANCE OF 149.02 FEET TO A 3/8" IRON ROD FOUND FOR CORNER;
SOUTH 00°16'25" WEST, A DISTANCE OF 902.54 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
SOUTH 00°23'57" WEST, A DISTANCE OF 554.86 FEET TO A POINT IN ESTELLE LANE FOR CORNER;

THENCE NORTH 89°08'28" WEST, ALONG ESTELLE LANE, A DISTANCE OF 1146.28 FEET TO A POINT FOR CORNER;

THENCE, NORTH 00°26'49" WEST, LEAVING ESTELLE LANE, A DISTANCE OF 226.55 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

THENCE, NORTH 89°33'59" WEST, A DISTANCE OF 208.91 FEET TO THE POINT OF BEGINNING AND CONTAINING 68.578 ACRES OF LAND.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, D.R. HORTON-TEXAS, LTD. , DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS TARA, PHASE ONE, AN ADDITION TO COLLIN COUNTY, TEXAS, AND DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE PUBLIC STREETS LABELED AS SUCH HEREON, AND DOES DEDICATE THE EASEMENTS SHOWN ON THE PLAT FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING SAME.

NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE "UTILITY EASEMENT" AS SHOWN. SAID "UTILITY EASEMENT" BEING HEREBY RESERVED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING SAME. ALL AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF THE BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OR ITS RESPECTIVE SYSTEM ON THE "UTILITY EASEMENT" AND ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF EGRESS TO OR FROM AND UPON THE SAID "UTILITY EASEMENT" FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS, WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS OF THE CITY OF LUCAS, TEXAS.

WITNESS MY HAND AT DALLAS, TEXAS THIS 12th DAY OF October, 2000

David Booth
D.R. HORTON-TEXAS, LTD. by DAVID BOOTH

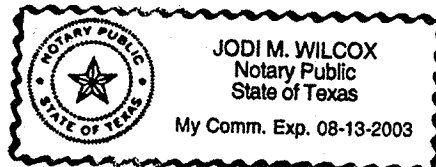
STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, on this day personally appeared DAVID BOOTH, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 12th Day of October, 2000

Jodi M. Wilcox
Notary Public in and for the State of Texas

My Commission Expires: 8-13-2003



NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, KENNETH E. BROWN, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Kenneth E. Brown
KENNETH E. BROWN, R.P.L.S. NO. 2062



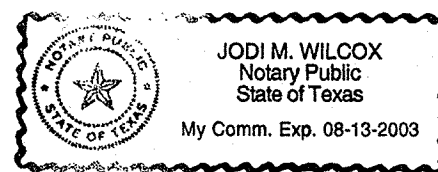
STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, on this day personally appeared Kenneth E. Brown, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 12th day of October, 2000

Jodi M. Wilcox
Notary Public in and for the State of Texas

My Commission Expires: 8-13-2003



"RECOMMENDED FOR APPROVAL"

David Booth
Chairperson, Planning And Zoning Commission
City of Lucas, Texas

11-01-2K
Date

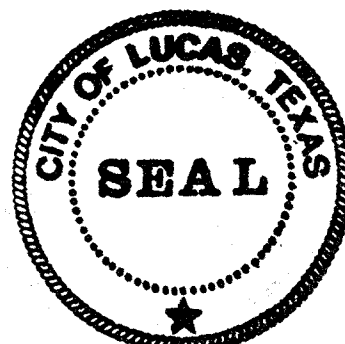
"APPROVED FOR CONSTRUCTION"

Lauro Rojas-Sanchez
Mayor
City of Lucas, Texas

11-6-00
Date

The undersigned, the City Secretary of the City of Lucas, Texas, hereby certifies that the foregoing final plat of the TARA, PHASE ONE subdivision or addition to the City of Lucas was submitted to the City Council on the 28 day of July, 2000, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.
Witness my hand this 6th day of November, A.D. 2000

Lauro Rojas-Sanchez
City Secretary
City of Lucas, Texas



DOUPHRA
& ASSOCIATES, INC.

ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2231 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

FINAL PLAT
TARA
PHASE ONE
COLLIN COUNTY, TEXAS

REVISION

WLD.
CHECKED

KEB.
DRAWN

11/15/99
DATE

9948 VERB
PROJECT

2
OF
2

Filed for Record in:
Collin County, McKinney TX
Honorable Helen Starnes
Collin County Clerk
On Jul 02 2002
At 9:45am **947**
Doc/Num : 2002- 0093818
Recording/Type: PL 26.00
Receipt #: 23462

LEGAL DESCRIPTION

BEING A TRACT OF LAND SITUATED IN THE BENJAMIN SPARKS SURVEY, ABSTRACT NO. 813 AND THE P.E. LUCAS SURVEY, ABSTRACT NO. 537, COLLIN COUNTY TEXAS, AND BEING PART OF A 100 ACRE TRACT AND PART OF A 40 ACRE TRACT OF LAND THAT WAS CONVEYED TO THE O.E. SPURGIN REVOCABLE LIVING TRUST AS FILED IN THE CLERK'S FILE 97-52322 OF THE LAND RECORDS OF COLLIN COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING, AT A POINT IN THE CENTERLINE OF ESTELLE LANE, SAID POINT BEING THE SOUTHEAST CORNER OF SAID 100 ACRE TRACT AS RECORDED IN CLERK'S FILE 97-52322:

THENCE, LEAVING THE CENTERLINE OF ESTELLE LANE AND ALONG THE EAST LINE OF SAID 100 ACRE TRACT, THE FOLLOWING:

NORTH 00°23'57" EAST, A DISTANCE OF 554.86 FEET TO A POINT;
NORTH 00°16'25" EAST, A DISTANCE OF 902.54 FEET TO A POINT;
NORTH 01°03'22" EAST, A DISTANCE OF 149.02 FEET TO A POINT;
NORTH 00°12'16" EAST, A DISTANCE OF 598.51 FEET TO A POINT;
NORTH 00°38'00" EAST, A DISTANCE OF 128.54 FEET TO A 1/2" IRON ROD FOUND AT THE POINT OF BEGINNING, BEING ON THE EASTERLY LINE OF SAID 100 ACRE TRACT AND BEING THE WESTERLY LINE OF THE L.B. CHANDLER ADDITION, AN ADDITION TO COLLIN COUNTY AS RECORDED IN CABINET F, PAGE 641 OF THE PLAT RECORDS OF COLLIN COUNTY, TEXAS;

THENCE, LEAVING THE EAST LINE OF SAID 100 ACRE TRACT, THE FOLLOWING:

SOUTH 89°49'00" WEST, A DISTANCE OF 371.07 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
SOUTH 00°11'00" EAST, A DISTANCE OF 168.25 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
SOUTH 89°49'00" WEST, A DISTANCE OF 319.04 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
NORTH 00°39'02" WEST, A DISTANCE OF 50.96 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
SOUTH 89°38'25" WEST, A DISTANCE OF 330.68 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
NORTH 00°21'35" WEST, A DISTANCE OF 148.54 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
SOUTH 89°38'25" WEST, A DISTANCE OF 349.85 FEET TO A 1/2" IRON ROD FOUND ON THE EASTERLY LINE OF WILLOW CREEK ACRES (UNRECORDED);

THENCE, ALONG THE EASTERLY LINE OF WILLOW CREEK ACRES, THE FOLLOWING:

NORTH 00°04'06" WEST, A DISTANCE OF 551.22 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
NORTH 00°24'39" EAST, A DISTANCE OF 1081.30 FEET TO A POINT FOR CORNER;
NORTH 60°27'50" EAST, A DISTANCE OF 130.74 FEET TO A POINT FOR CORNER;
NORTH 25°22'14" EAST, A DISTANCE OF 110.06 FEET TO A POINT FOR CORNER;
NORTH 05°55'46" WEST, A DISTANCE OF 164.04 FEET TO A POINT ON THE SOUTHERLY LINE OF A CALLED 10.001 ACRE TRACT AS CONVEYED TO H. WAYNE HENDRICK AS RECORDED IN COUNTY CLERK'S NO. 97-0027627;

THENCE, ALONG THE SOUTH AND EAST LINE OF SAID HENDRICK TRACT, THE FOLLOWING:

NORTH 72°05'14" EAST, A DISTANCE OF 299.17 FEET TO A POINT FOR CORNER;
NORTH 00°23'14" EAST, A DISTANCE OF 228.00 FEET TO A POINT ON THE SOUTHERLY LINE OF A TRACT AS CONVEYED TO W.D. HENDRICK AND FLORIA HENDRICK AS RECORDED IN VOLUME 544, PAGE 138, OF SAID DEED RECORDS;

THENCE, NORTH 87°42'40" EAST, A DISTANCE OF 591.93 FEET TO A 1/2" IRON ROD FOUND AT THE SOUTHWEST CORNER OF A TRACT AS CONVEYED TO BILLIE C. CRABTREE AS RECORDED IN VOLUME 2480, PAGE 280, OF SAID DEED RECORDS;

THENCE, SOUTH 89°50'38" EAST, ALONG THE SOUTH LINE OF SAID CRABTREE TRACT, A DISTANCE OF 348.41 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHWEST CORNER OF A TRACT AS CONVEYED TO GREGG RANDOLPH AS RECORDED IN VOLUME 1615, PAGE 929, OF SAID DEED RECORDS;

THENCE, SOUTH 00°24'57" WEST, A DISTANCE OF 610.58 FEET TO A 3/8" IRON ROD FOUND AT THE SOUTHWEST CORNER OF JEFF BAILEY ADDITION, AN ADDITION TO COLLIN COUNTY, AS RECORDED IN CABINET H, PAGE 71, SAME BEING THE NORTHWEST CORNER OF L.B. CHANDLER ADDITION, AN ADDITION TO COLLIN COUNTY, AS RECORDED IN CABINET F, PAGE 641, OF SAID PLAT RECORDS;

THENCE, ALONG THE WESTERLY LINE OF SAID L.B. CHANDLER ADDITION, THE FOLLOWING:

SOUTH 00°05'25" WEST, A DISTANCE OF 472.98 FEET TO AN 8 PENNY NAIL FOUND FOR CORNER;
SOUTH 01°07'06" EAST, A DISTANCE OF 397.82 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;
SOUTH 00°33'00" WEST, A DISTANCE OF 845.77 FEET TO THE POINT OF BEGINNING AND CONTAINING 71.03 ACRES OF LAND.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, D.R. HORTON-TEXAS, LTD., DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS TARA, PHASE TWO, AN ADDITION TO COLLIN COUNTY, TEXAS, AND DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE PUBLIC STREETS LABELED AS SUCH HEREON; AND DOES DEDICATE THE EASEMENTS SHOWN ON THE PLAT FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING SAME.

NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE "UTILITY EASEMENT" AS SHOWN. SAID "UTILITY EASEMENT" BEING HEREBY RESERVED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING SAME. ALL AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF THE BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OR ITS RESPECTIVE SYSTEM ON THE "UTILITY EASEMENT" AND ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF EGRESS TO OR FROM AND UPON THE SAID "UTILITY EASEMENT" FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS, WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS OF THE CITY OF LUCAS, TEXAS.

WITNESS MY HAND AT DALLAS, TEXAS THIS 6th DAY OF MAY, 2002

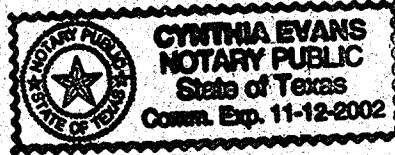
D.R. HORTON-TEXAS, LTD. by DAVID BOOTH

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, on this day personally appeared DAVID BOOTH, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 6th Day of May, 2002

Notary Public in and for the State of Texas



11-12-2002
My Commission Expires:

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, KENNETH E. BROWN, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

KENNETH E. BROWN, R.P.L.S. NO. 2062

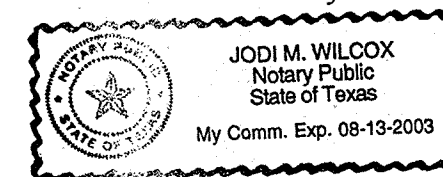


STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, on this day personally appeared Kenneth E. Brown, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 2nd day of May, 2002

Jodi M. Wilcox
Notary Public in and for the State of Texas My Commission Expires: 8-13-2003



"RECOMMENDED FOR APPROVAL"
Stephen Chyzman
Chairperson, Planning And Zoning Commission
City of Lucas, Texas

5/30/02
Date

"APPROVED FOR CONSTRUCTION"

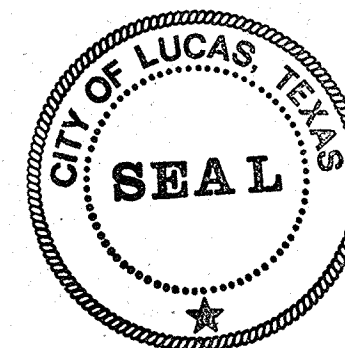
T. Hepb
Mayor
City of Lucas, Texas

5-9-02
Date

The undersigned, the City Secretary of the City of Lucas, Texas, hereby certifies that the foregoing final plat of the TARA, PHASE TWO subdivision or addition to the City of Lucas was submitted to the City Council on the 4 day of December, 2000 NW and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed

Witness my hand this 3 day of June, A.D. 2002

Netta Wilkison
City Secretary
City of Lucas, Texas



NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

PROJECT: 9948VERBPH2
DATE: MAY 2000
SCALE: 1"=100'
DRAWN: D.L.B.
CHK'D: W.L.D.

DOUPHRATE & ASSOCIATES, INC.
ENGINEERING • CONSTRUCTION MANAGEMENT • SURVEYING
P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

FINAL PLAT
"TARA"
PHASE TWO
30 LOTS- 71.03 AC.
BENJAMIN SPARKS SURVEY-ABST. NO. 813
P.E. LUCAS SURVEY, ABSTRACT NO. 537
COLLIN COUNTY, TEXAS
SHEET 2 OF 2

Filed for Record in:
Collin County, McKinney TX
Honorable Helen Starnes
Collin County Clerk
On Jul 02 2002
At 9:45am
Doc/Num : 2002- 0093818
Recording/Type: PL 26.00
Receipt #: 23462

WILLOW CREEK ACRES (UNRECORDED)

CALLED 10.001 AC.
H. WAYNE HENDRICK
CC # 97-0027627

W.D. HENDRICK AND FLORIAN HENDRICK
VOL. 544, PG. 138
D.R.C.C.T.

BILLIE C. CRABTREE
VOL. 2480, PG. 280
D.R.C.C.T.

ACCESS EASEMENT
VOL. 1861 PAGE 421

JEFF BAILEY ADDITION
CAB. H, PG. 71
P.R.C.C.T.

GREGG RANDOLPH
VOL. 1615, PG. 929
D.R.C.C.T.

GWEN MERRITT & PEGGY EVANS
C.C. NO. 55-0345278
8.5 AC.

L.B. CHANDLER ADDITION
CAB. F, PG. 641

PHASE ONE

BLOCK C

BLOCK D

BLOCK A

SCARLETT DRIVE

HAMILTON DRIVE

WILKES DRIVE

KENNEDY DRIVE

BLOCK E

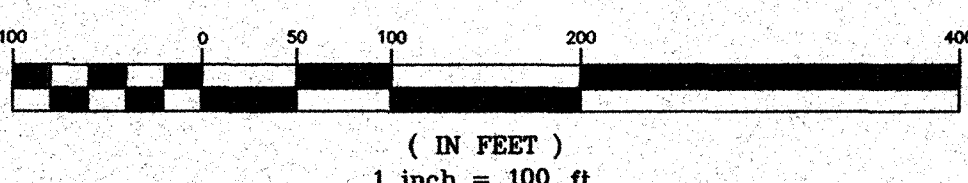
POINT OF
COMMENCING

POINT OF
BEGINNING

P.E. LUCAS SURVEY
ABSTRACT No. 537
BENJAMIN SPARKS SURVEY
ABSTRACT No. 813

CURVE	LENGTH	RADIUS	TANGENT	CH BRG	CH DIST	DELTA
C1	415.26	265.00	N45°11'00"W	374.77	90°00'00"	
C2	208.84	300.00	N10°45'35"E	204.85	39°53'10"	
C3	319.83	465.00	S19°20'41"W	313.57	39°24'32"	
C4	208.22	235.00	N25°34'02"W	201.48	50°46'03"	
C5	89.71	235.00	S49°59'05"W	89.16	21°52'17"	
C6	259.62	225.00	N27°51'55"E	245.45	66°06'38"	

GRAPHIC SCALE

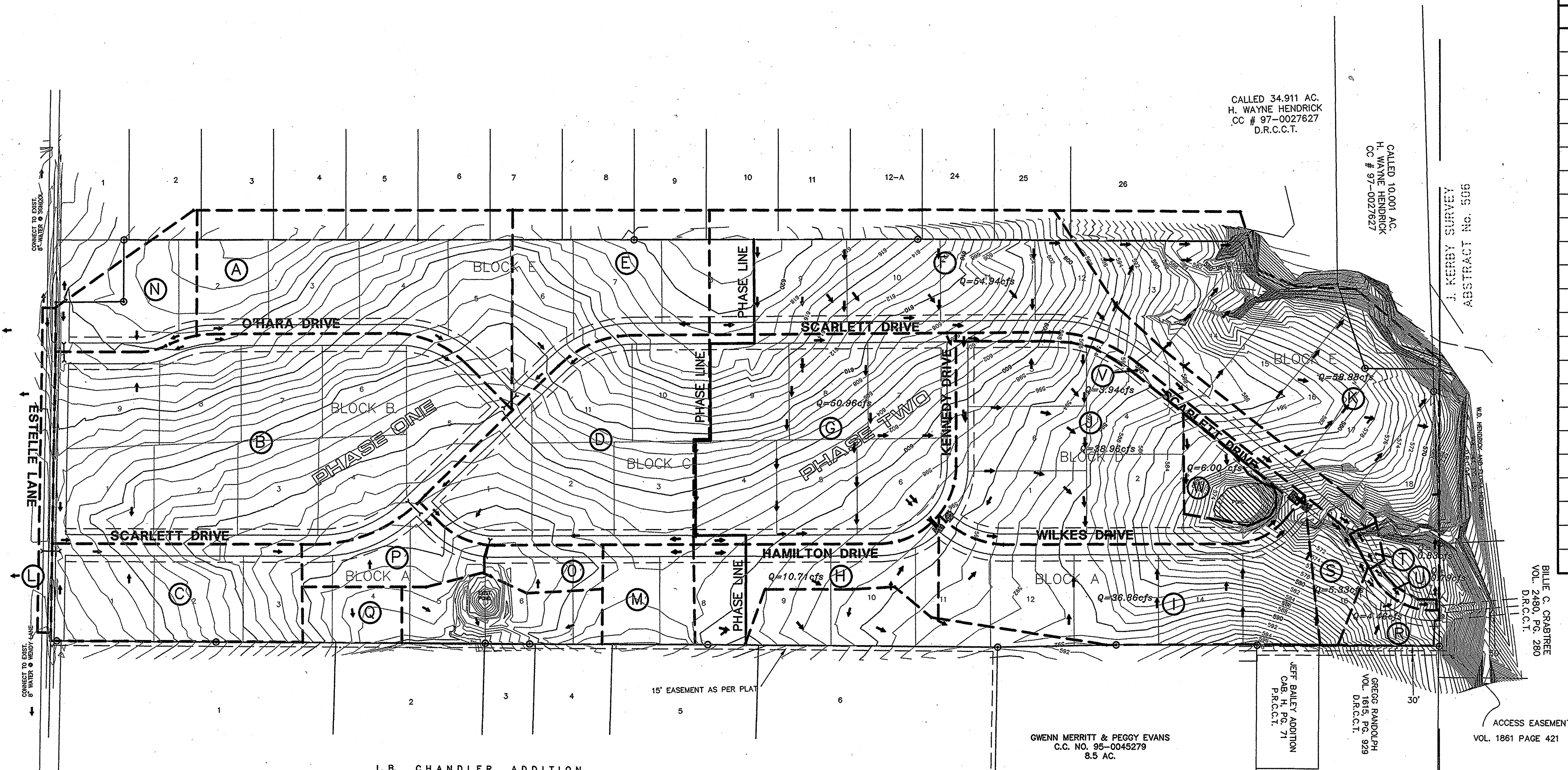
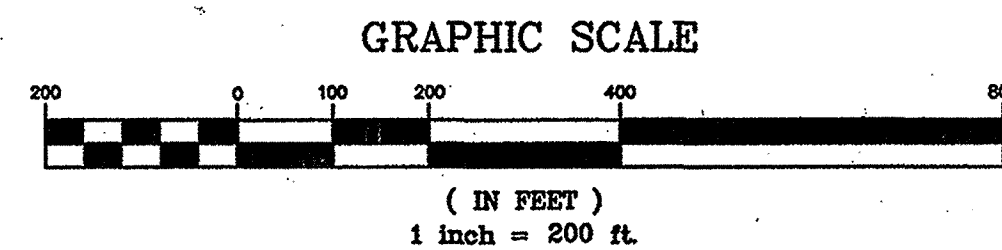


10/12/00 REVISED BOUNDARY D.B.

PROJECT: 9948PH2PLT
DATE: MAY 2000
SCALE: 1"=100'
DRAWN: D.L.B.
CHK'D: W.L.D.

DOUPHRADE & ASSOCIATES, INC.
ENGINEERING - CONSTRUCTION MANAGEMENT - SURVEYING
P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

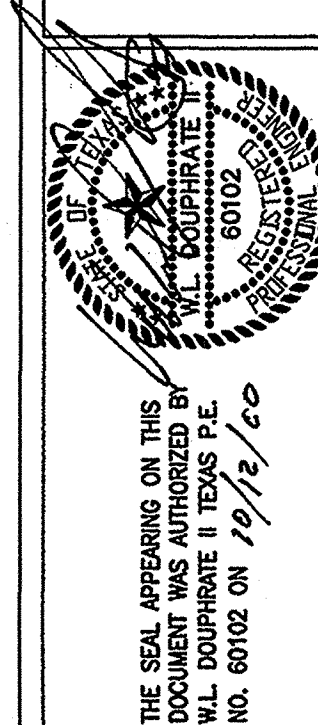
FINAL PLAT
"TARA"
PHASE TWO
30 LOTS-70.99 AC.
P.E. LUCAS SURVEY, ABSTRACT NO. 537
BENJAMIN SPARKS SURVEY-ABST. NO. 813
COLLIN COUNTY, TEXAS
SHEET 2 OF 19



DRAINAGE TABLE							
AREA	ACRES	EX C	C	I 100	DEV. Q100	EX Q100	
A	10.91	.35	.50	7.5	40.91	28.64	
B	21.23	.35	.50	7.5	79.61	55.73	
C	6.42	.35	.50	7.5	24.08	16.85	
D	11.44	.35	.50	7.5	42.90	30.03	
E	7.25	.35	.50	7.5	27.19	19.03	
F	14.65	.35	.50	7.5	54.94	38.45	
G	13.59	.35	.50	7.5	50.96	35.67	
H	4.08	.35	.50	7.5	15.3	10.71	
I	9.83	.35	.50	7.5	36.86	25.80	
J	10.39	.35	.50	7.5	38.96	27.27	
K	15.70	.35	.50	7.5	58.88	41.21	
L	1.05	.35	.50	7.5	3.94	2.76	
M	2.36	.35	.50	7.5	8.85	6.20	
N	3.33	.35	.50	7.5	12.49	8.74	
O	1.31	.35	.50	7.5	4.91	3.44	
P	2.52	.35	.50	7.5	9.45	6.62	
Q	1.46	.35	.50	7.5	3.83	5.47	
R	1.19	.35	.50	7.5	4.46	3.12	
S	1.42	.35	.50	7.5	5.33	3.72	
T	0.22	.35	.50	7.5	0.83	0.58	
U	0.21	.35	.50	7.5	0.79	0.55	
V	1.05	.35	.50	7.5	3.94	2.75	
W	1.60	.35	.50	7.5	6.00	4.20	

DRIVEWAY CULVERT TABLE			DRIVEWAY CULVERT TABLE			DRIVEWAY CULVERT TABLE			DRIVEWAY CULVERT TABLE			DRIVEWAY CULVERT TABLE		
BLOCK	LOT	CULVERT SIZE (IN.)	BLOCK	LOT	CULVERT SIZE (IN.)	BLOCK	LOT	CULVERT SIZE (IN.)	BLOCK	LOT	CULVERT SIZE (IN.)	BLOCK	LOT	CULVERT SIZE (IN.)
A	9	21	A	15	36	C	8	18	D	5	21	E	13	36
A	10	21	A	16	36	C	9	18	D	6	21	E	14	36
A	11	36	C	4	21	D	1	30	E	9	24	E	15	36
A	12	36	C	5	30	D	2	36	E	10	30	E	16	36
A	13	36	C	6	36	D	3	21 / 36	E	11	36	E	17	36
A	14	36	C	7	18	D	4	21	E	12	36	E	18	36

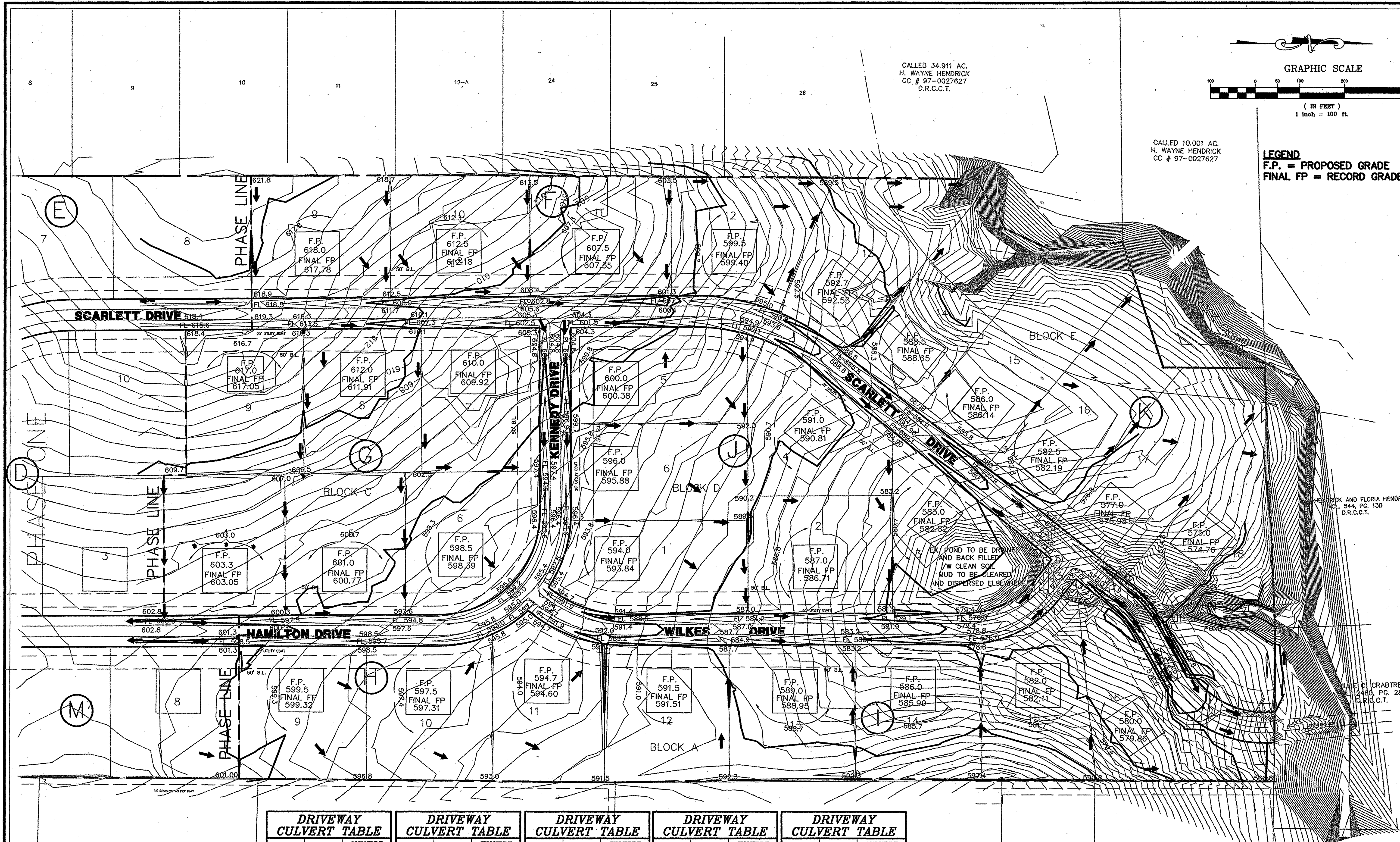
THE INTENT OF THE OWNER AND ENGINEER
WAS TO CONSTRUCT THESE
ACCORDING TO THESE PLANS AS AT
THE CITY OF Lucas AND GRADES WERE SET ON THE GROUND FOR
CONSTRUCTION ACCORDING TO SAID PLANS.
THE CITY OF Lucas INSPECTED
THE CONSTRUCTION. THE OWNER NOR
ENGINEER DID NOT VERIFY LINES OR GRADES
AFTER CONSTRUCTION. WE ARE NOT AWARE
OF ANY CHANGES OR REVISIONS TO THESE
PLANS DURING CONSTRUCTION EXCEPT AS
NOTED



DOUPHRAITE & ASSOCIATES, INC.
2231 RIDGE RD., # 200 ROCKFALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

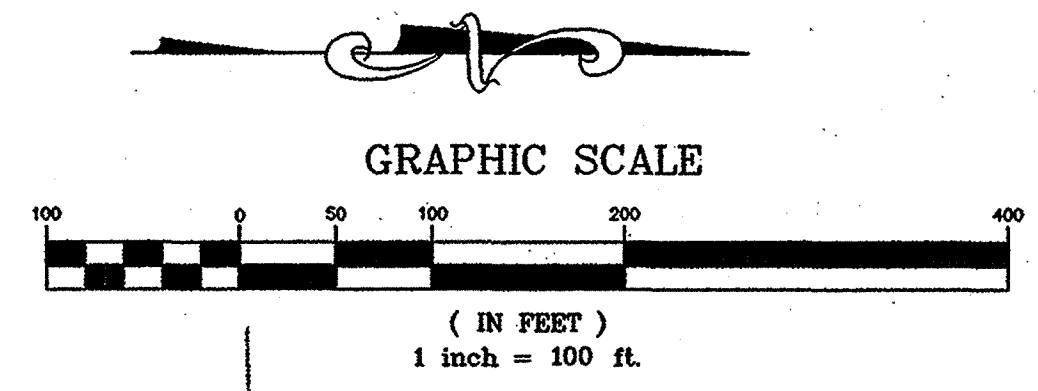
DRAINAGE AREA MAP
TARA, PHASE II
71.03 AC.
COLLIN COUNTY, TEXAS

REVISION	WLD.
CHECKED	KEB.
DRAWN	5/15/00
DATE	9948 FH2 DAM
PROJECT	
4 OF 19	

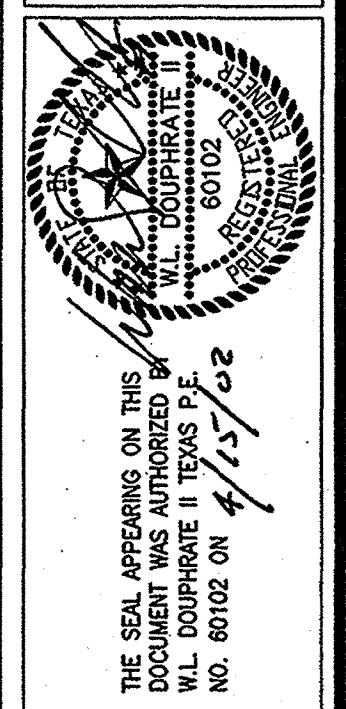


CALLED 34.911 AC.
 H. WAYNE HENDRICK
 CC # 97-0027627
 D.R.C.C.T.

CALLED 10.001 AC.
 H. WAYNE HENDRICK
 CC # 97-0027627



LEGEND
 F.P. = PROPOSED GRADE
 FINAL FP = RECORD GRADE



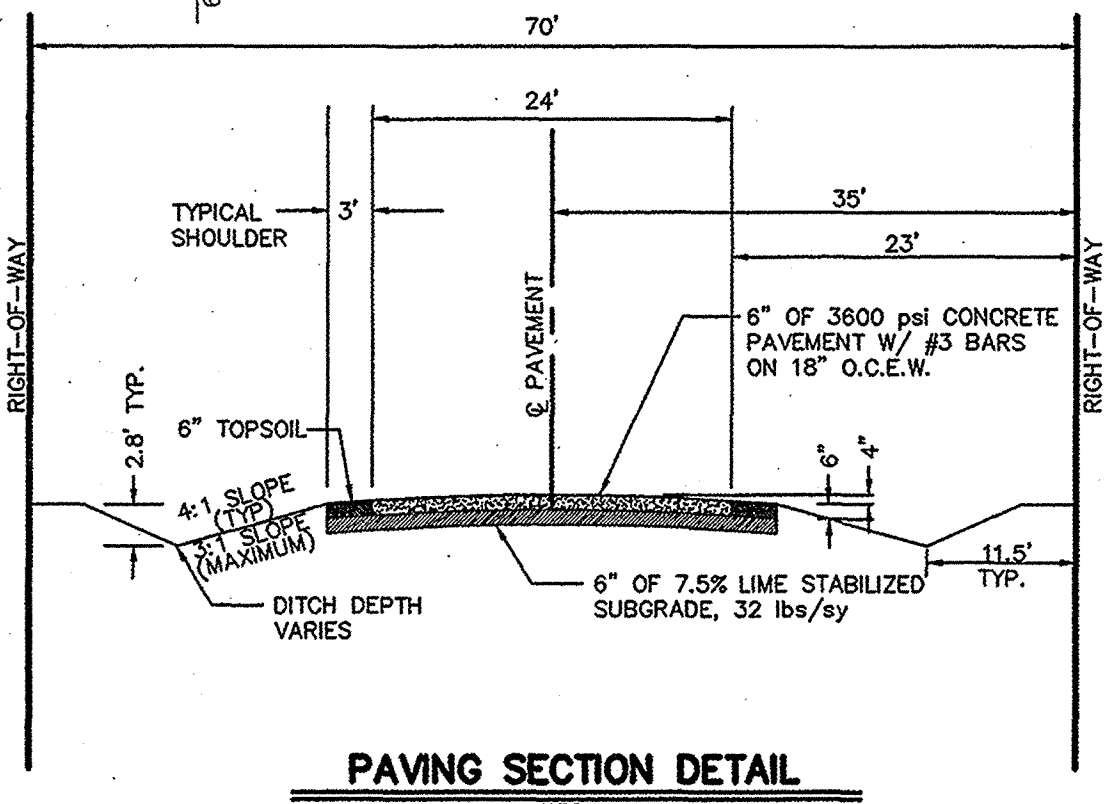
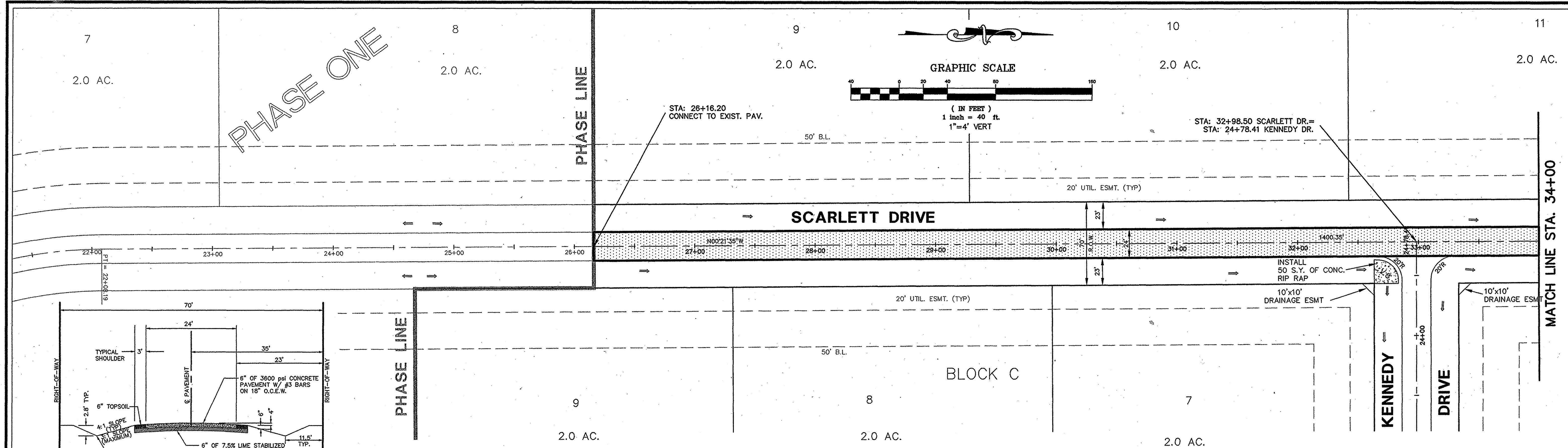
DOUPHRADE & ASSOCIATES, INC.
 ENGINEERING - PROJECT MANAGEMENT - SURVEYING
 2231 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-9004 FAX: (972) 771-9005

LOT GRADING PLAN
TARA
PHASE TWO
 COLLIN COUNTY, TEXAS

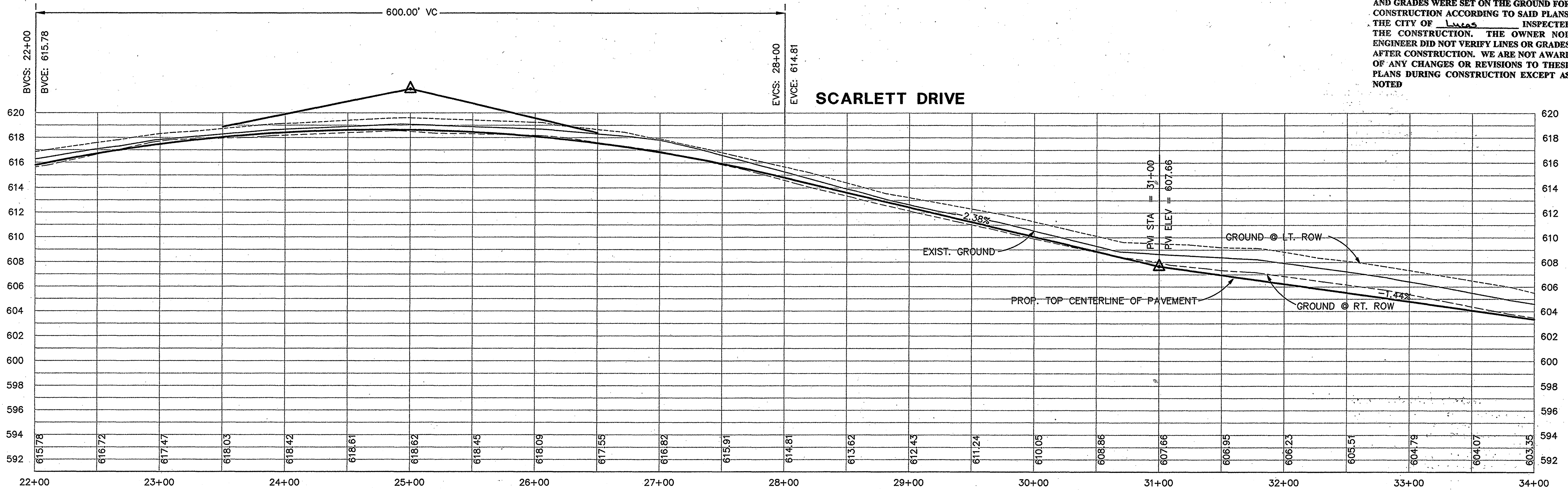
DRIVEWAY CULVERT TABLE			DRIVEWAY CULVERT TABLE			DRIVEWAY CULVERT TABLE			DRIVEWAY CULVERT TABLE			DRIVEWAY CULVERT TABLE		
BLOCK	LOT	CULVERT SIZE (IN.)	BLOCK	LOT	CULVERT SIZE (IN.)	BLOCK	LOT	CULVERT SIZE (IN.)	BLOCK	LOT	CULVERT SIZE (IN.)	BLOCK	LOT	CULVERT SIZE (IN.)
A	9	21	A	15	36	C	8	18	D	5	21	E	13	36
A	10	21	A	16	36	C	9	18	D	6	21	E	14	36
A	11	36	C	4	21	D	1	30	E	9	24	E	15	36
A	12	36	C	5	30	D	2	36	E	10	30	E	16	36
A	13	36	C	6	36	D	3	21 / 36	E	11	36	E	17	36
A	14	36	C	7	18	D	4	21	E	12	36	E	18	36

RECORD DRAWINGS:
 THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF Lucas. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF Lucas INSPECTED THE CONSTRUCTION. THE OWNER NOR ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED

REVISION	
W.L.D.	
CHECKED	
K.E.B.	
DRAWN	
5/5/00	
DATE	
9948PH2GRD	
PROJECT	
5	
OF	
19	



HIGH POINT ELEV = 618.64
HIGH POINT STA = 24+78.13
PVI STA = 25+00
PVI ELEV = 621.95
A.D. = -4.44
K = 135.16



NOTE:
1. 3 FOOT SHOULDER MUST BE EXTENDED AROUND THE RADIUS OF THE INTERSECTION.

RECORD DRAWINGS:
THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF LUCAS. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF LUCAS INSPECTED THE CONSTRUCTION. THE OWNER NOR ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRATE, P.E. NO. 6102 ON 7/1/00

DOUPHRATE & ASSOCIATES, INC.

ENGINEERING - PROJECT MANAGEMENT - SURVEYING

2231 RIDGE RD., # 200 ROCKFALL, TEXAS 75087

PHONE: (972)771-9004 FAX: (972)771-9005

PAVING PLAN & PROFILE

SCARLETT DR. STA. 26+16.20 TO 34+00

TARA, PHASE II

COLLIN COUNTY, TEXAS

REVISION

W.L.D.

CHECKED

K.E.B.

DRAWN

4/25/00

DATE

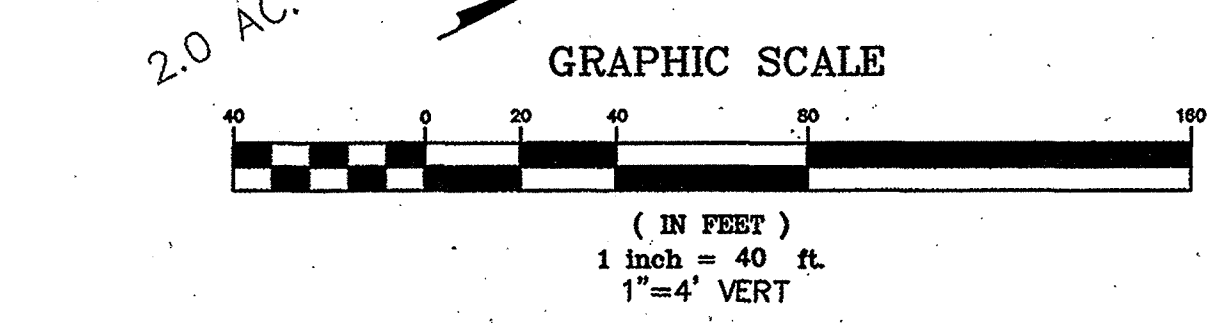
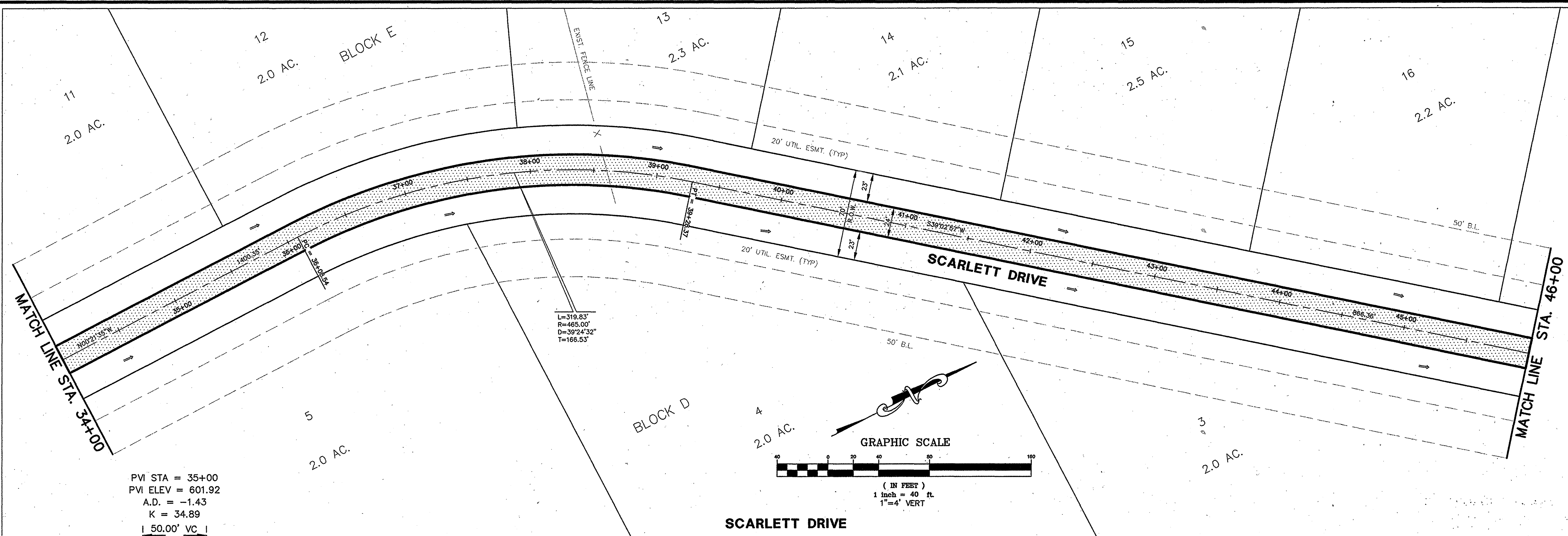
9948PV10

PROJECT

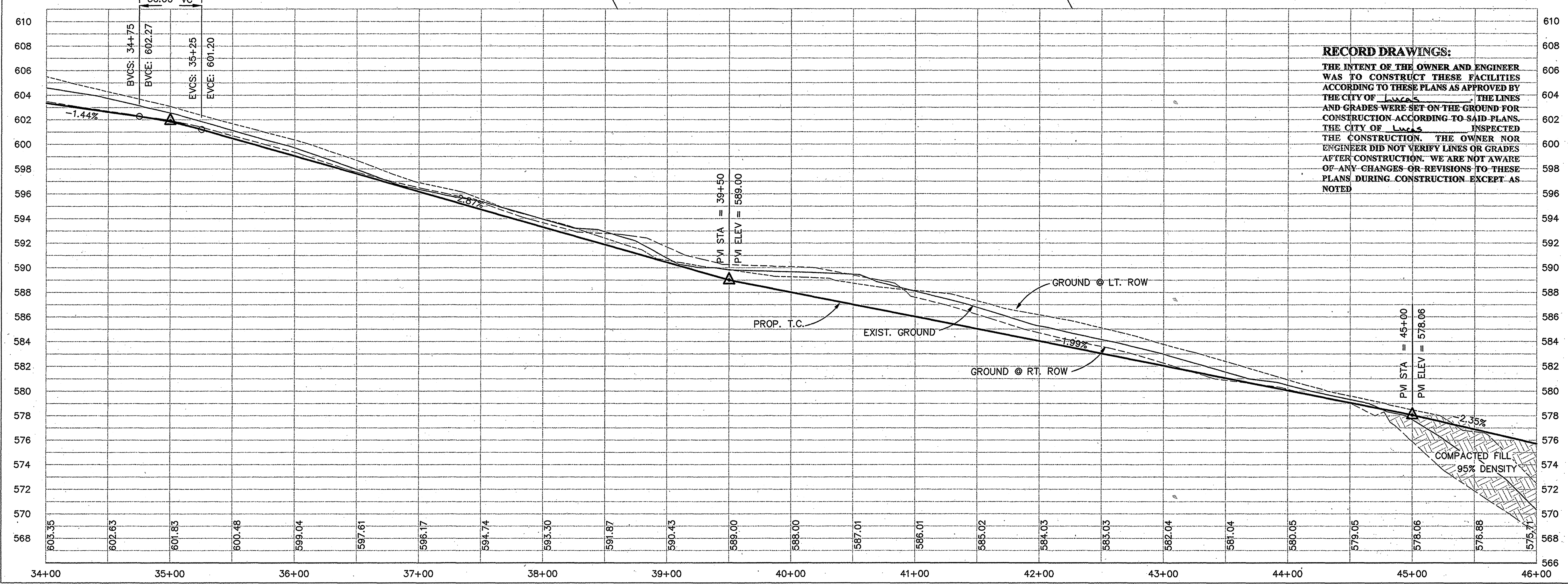
6

OF

19



PVI STA = 35+00
PVI ELEV = 601.92
A.D. = -1.43
K = 34.89



RECORD DRAWINGS:
THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF LUCAS. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF LUCAS INSPECTED THE CONSTRUCTION. THE OWNER NOR ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRADE II TEXAS P.E. NO. 60102 ON 12/31/2024

DOUPHRADE & ASSOCIATES, INC.

ENGINEERING - PROJECT MANAGEMENT - SURVEYING
2231 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

PAVING PLAN & PROFILE

SCARLETT DR. STA. 34+00 TO 46+00

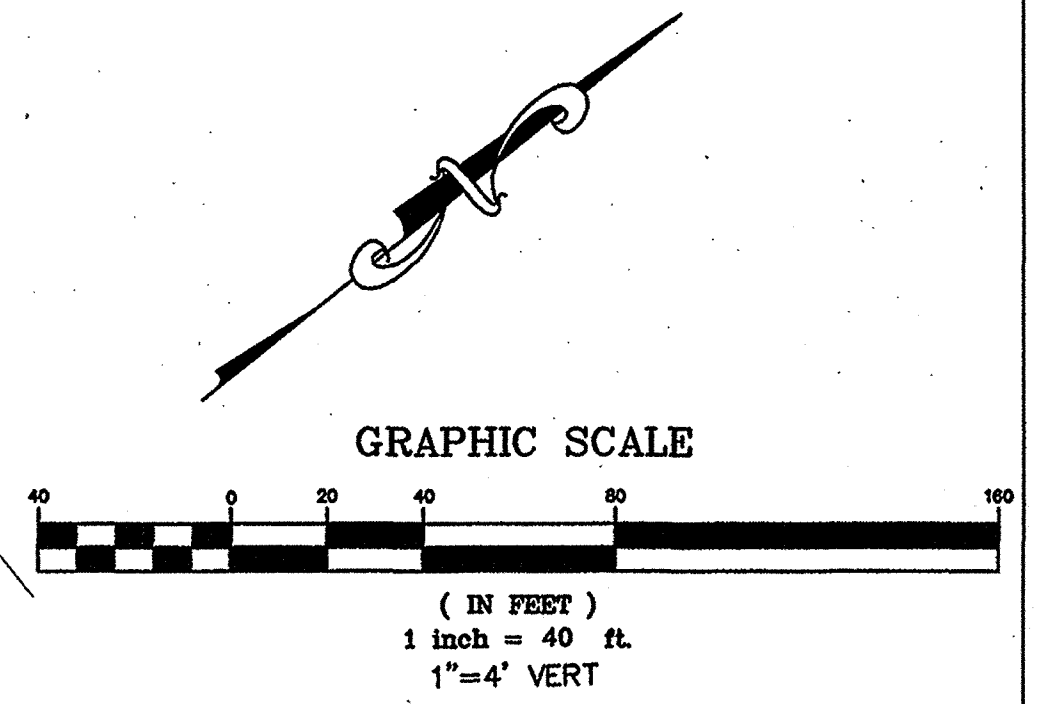
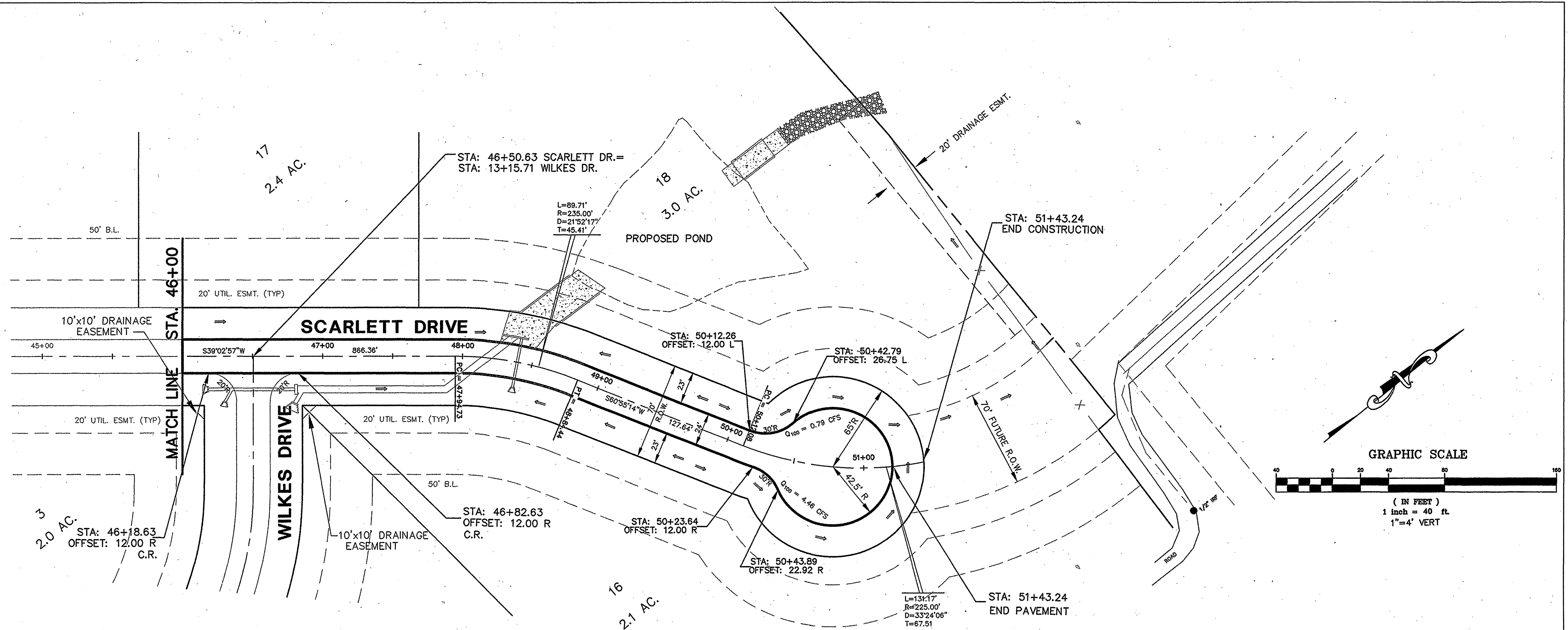
TARA, PHASE II

COLLIN COUNTY, TEXAS

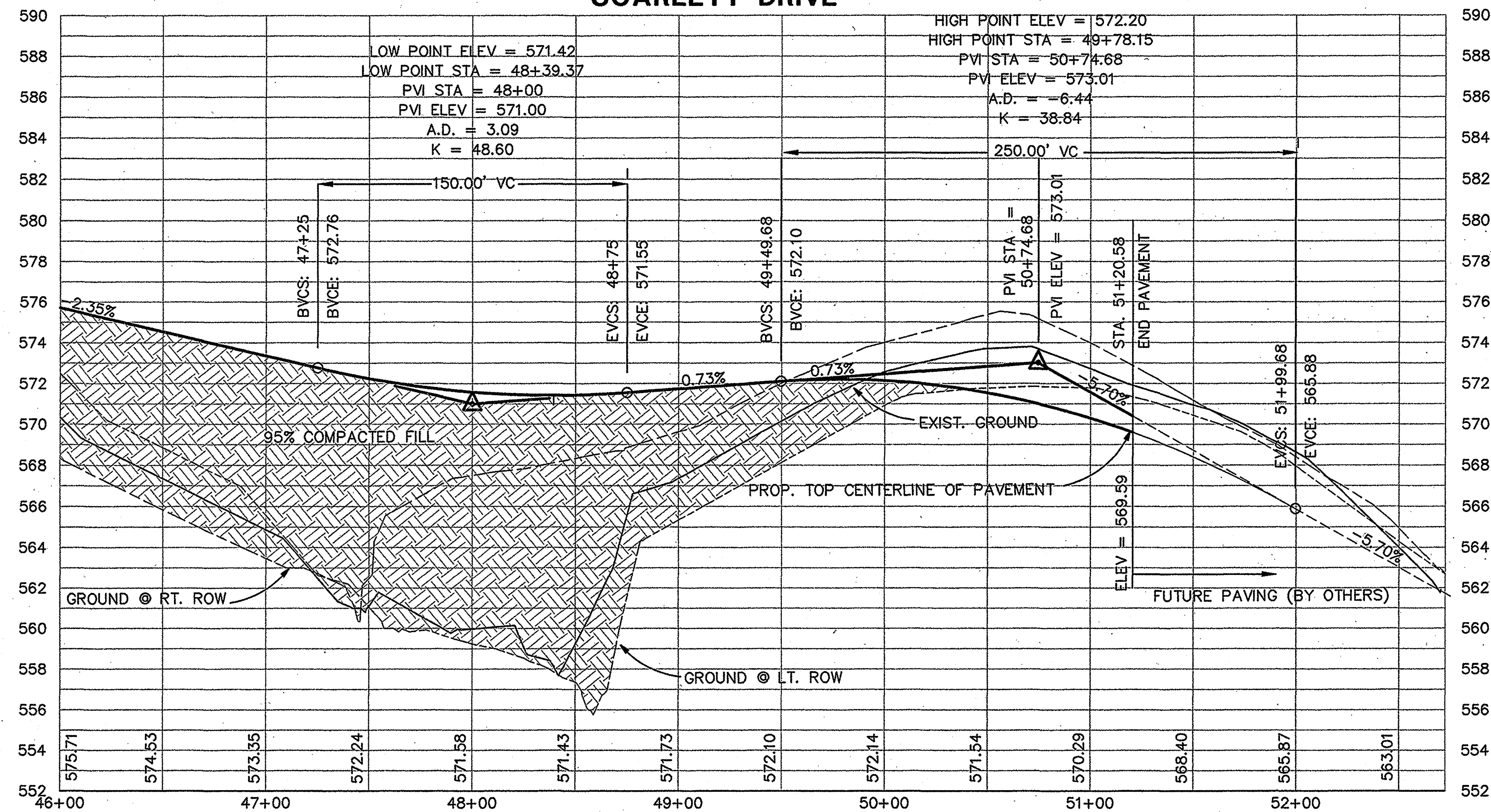
REVISION

W.L.D.
CHECKED
K.E.B.
DRAWN
4/27/00
DATE
9948 PVI
PROJECT

7
OF
19



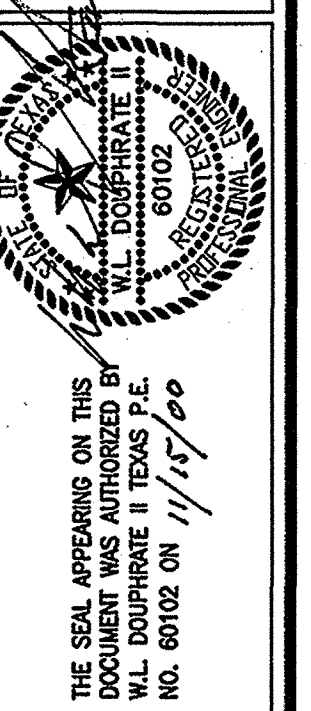
SCARLETT DRIVE



NOTE:
1. 3 FOOT SHOULDER MUST BE EXTENDED
AROUND THE RADIUS OF THE INTERSECTION.

RECORD DRAWINGS:

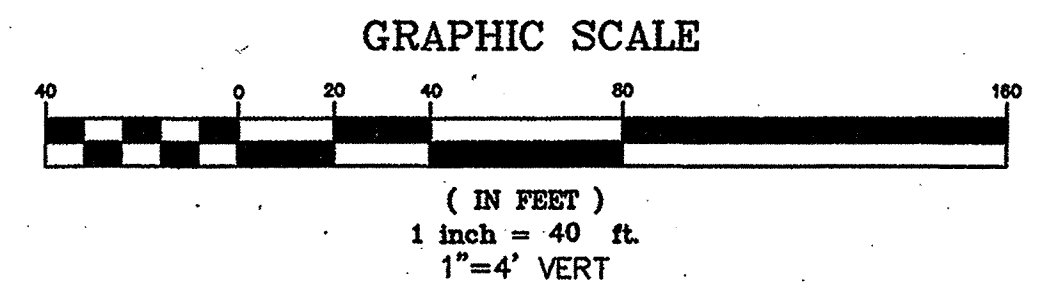
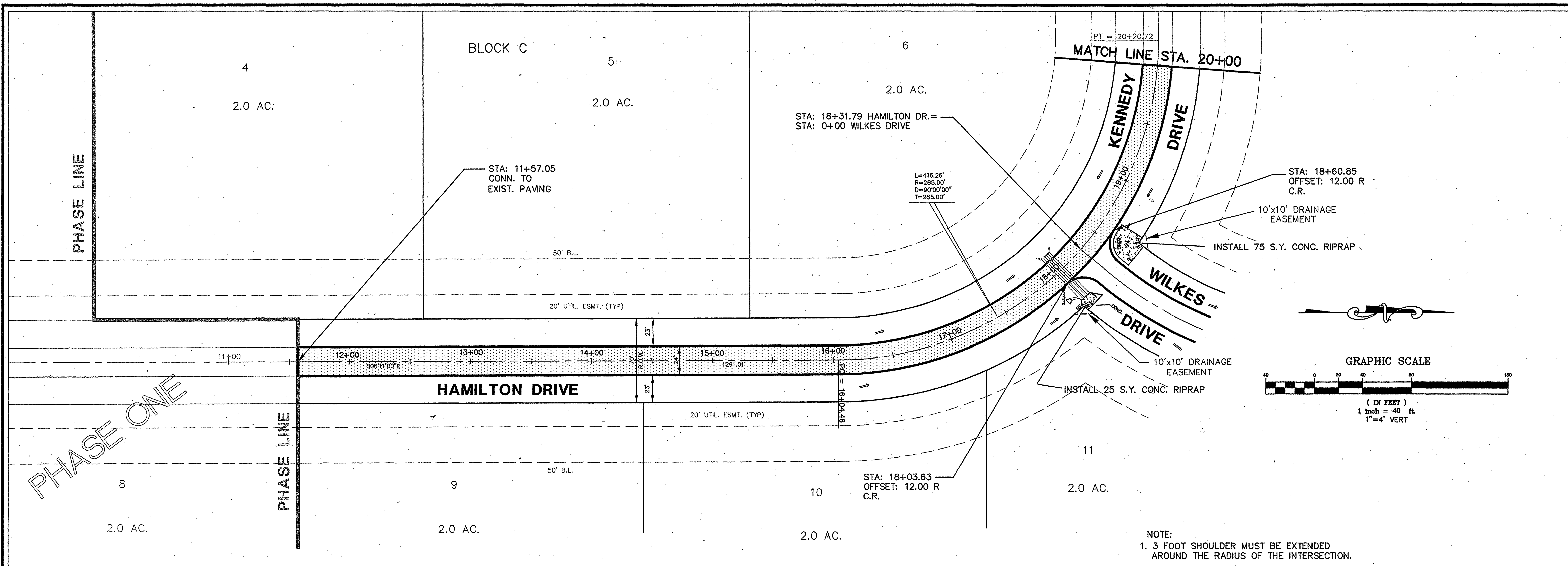
THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF LUCAS. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF LUCAS INSPECTED THE CONSTRUCTION. THE OWNER NOR ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED



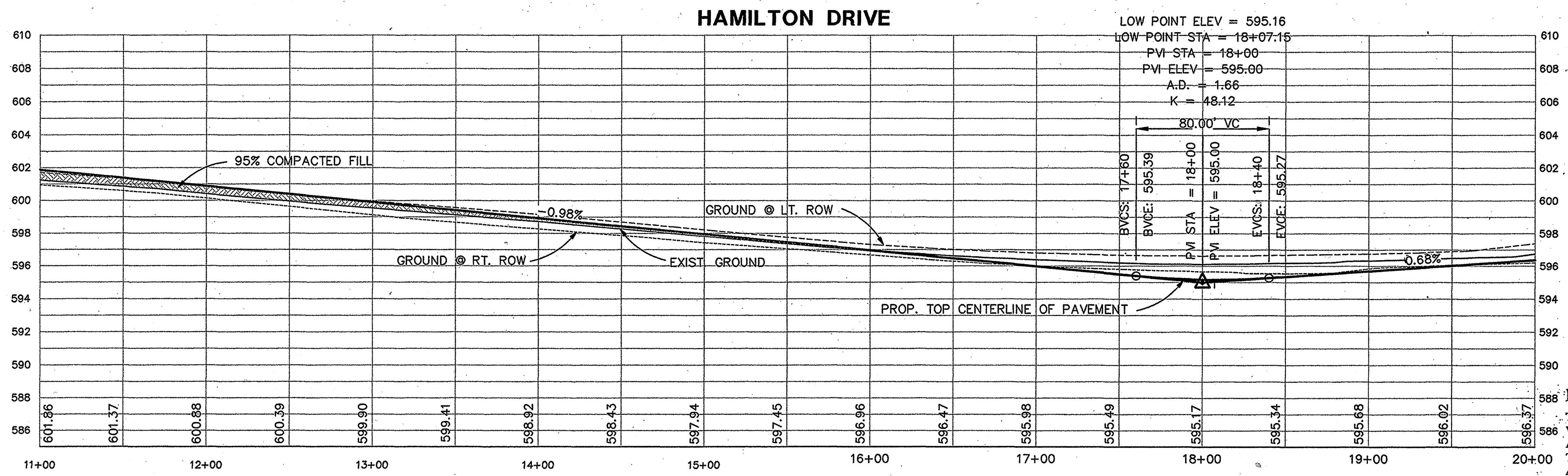
DOUPHRA
& ASSOCIATES, INC.
ENGINEERING - PROJECT MANAGEMENT - SURVEYING
2231 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

PAVING PLAN & PROFILE
SCARLETT DR. STA 46+00 TO 52+74.97
TARA, PHASE II
COLLIN COUNTY, TEXAS

REVISION	
W.L.D.	CHECKED
K.E.B.	DRAWN
4/27/00	DATE
9948 PV12	PROJECT
8	OF
19	



NOTE:
1. 3 FOOT SHOULDER MUST BE EXTENDED AROUND THE RADIUS OF THE INTERSECTION.



RECORD DRAWINGS:
THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF Lucas. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF Lucas INSPECTED THE CONSTRUCTION. THE OWNER NOR ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRADE II TEXAS P.E. NO. 60102 ON 11/1/20

DOUPHRADE & ASSOCIATES, INC.

ENGINEERING - PROJECT MANAGEMENT - SURVEYING

2231 RIDGE RD., # 200 ROCKWALL, TEXAS 75087

PHONE: (972)771-9004 FAX: (972)771-9005

PAVING PLAN & PROFILE

HAMILTON DR. STA. 11+57.05 TO 20+00

TARA, PHASE II

COLLIN COUNTY, TEXAS

REVISION

W.L.D.

CHECKED

K.E.B.

DRAWN

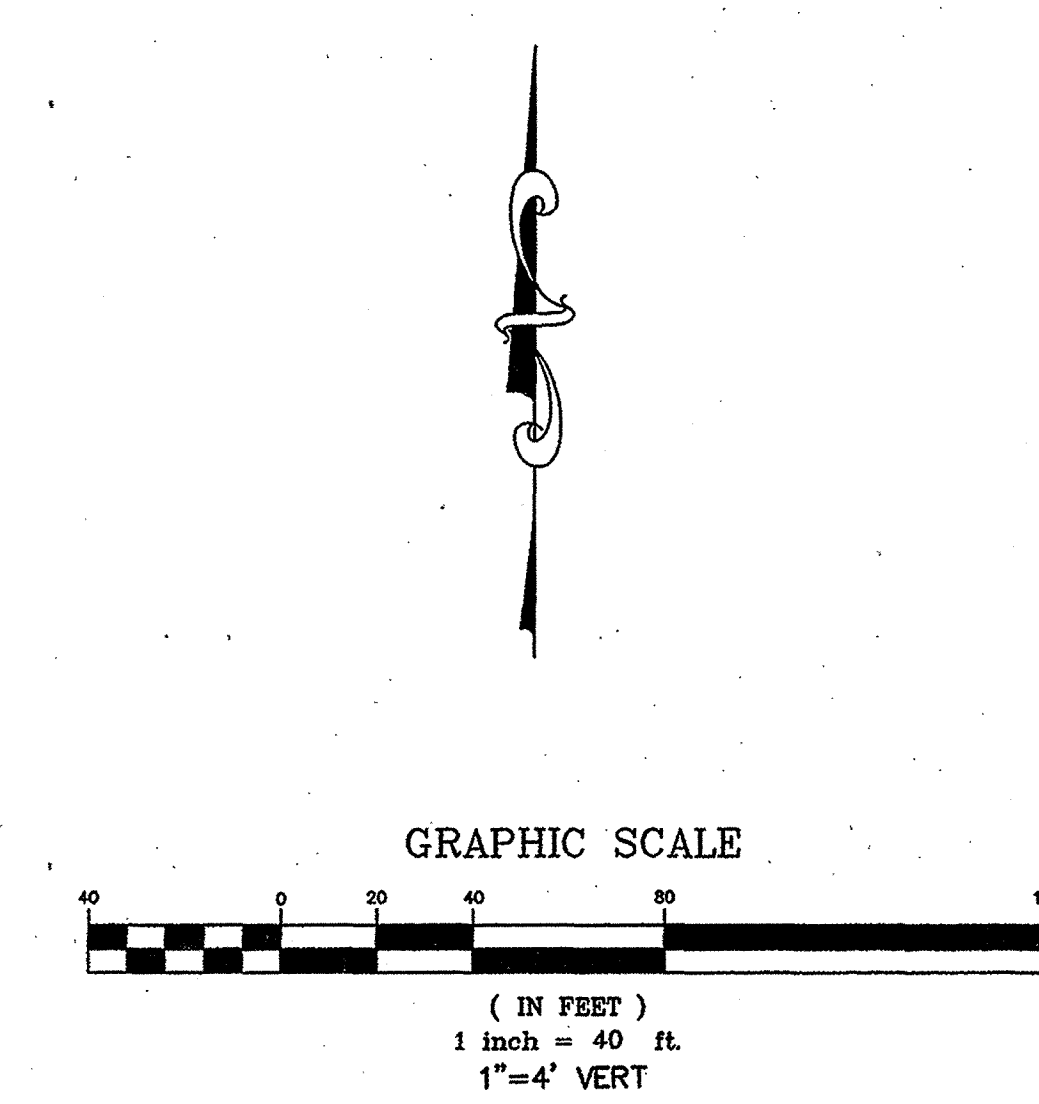
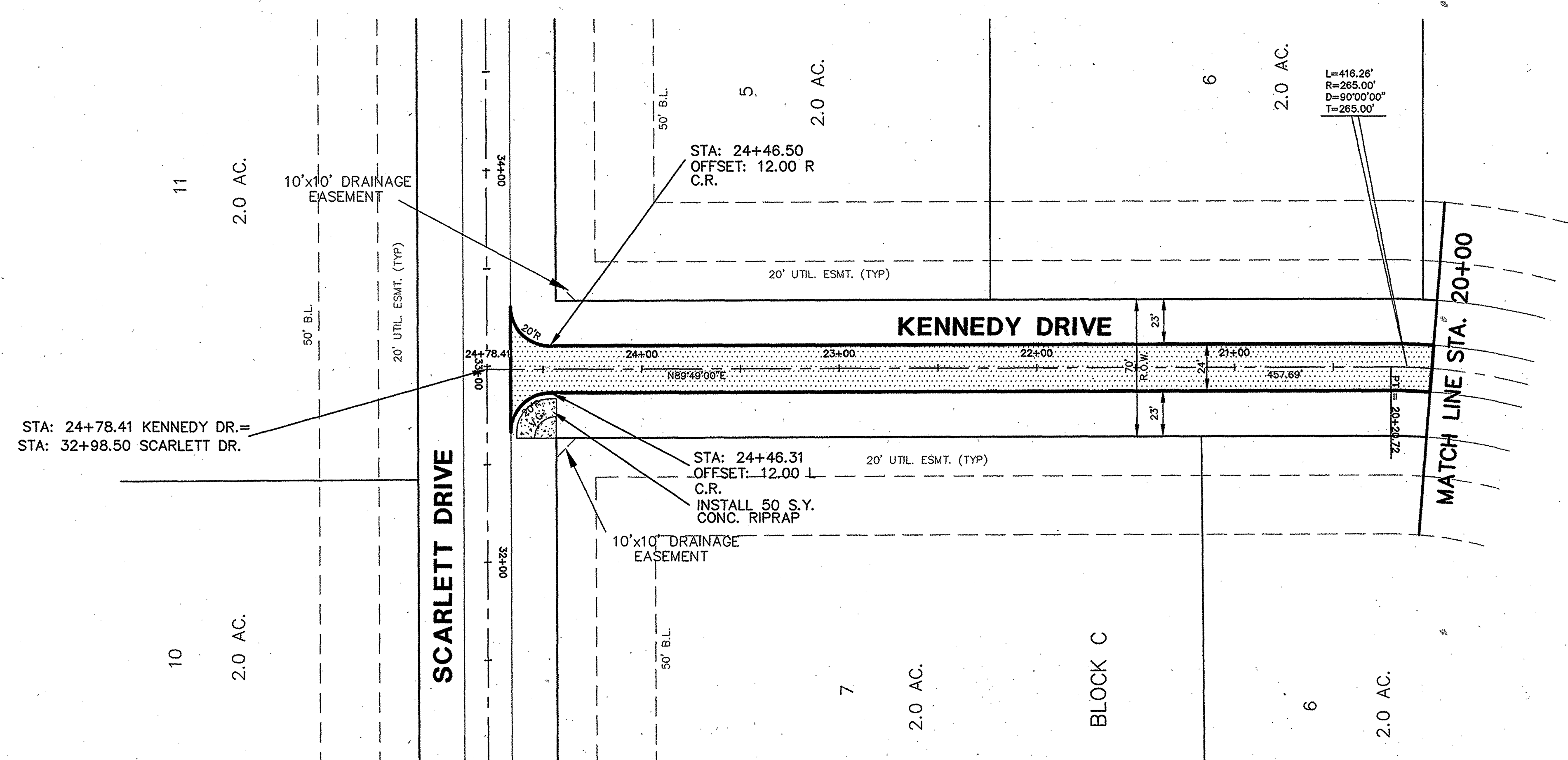
4/28/00

DATE

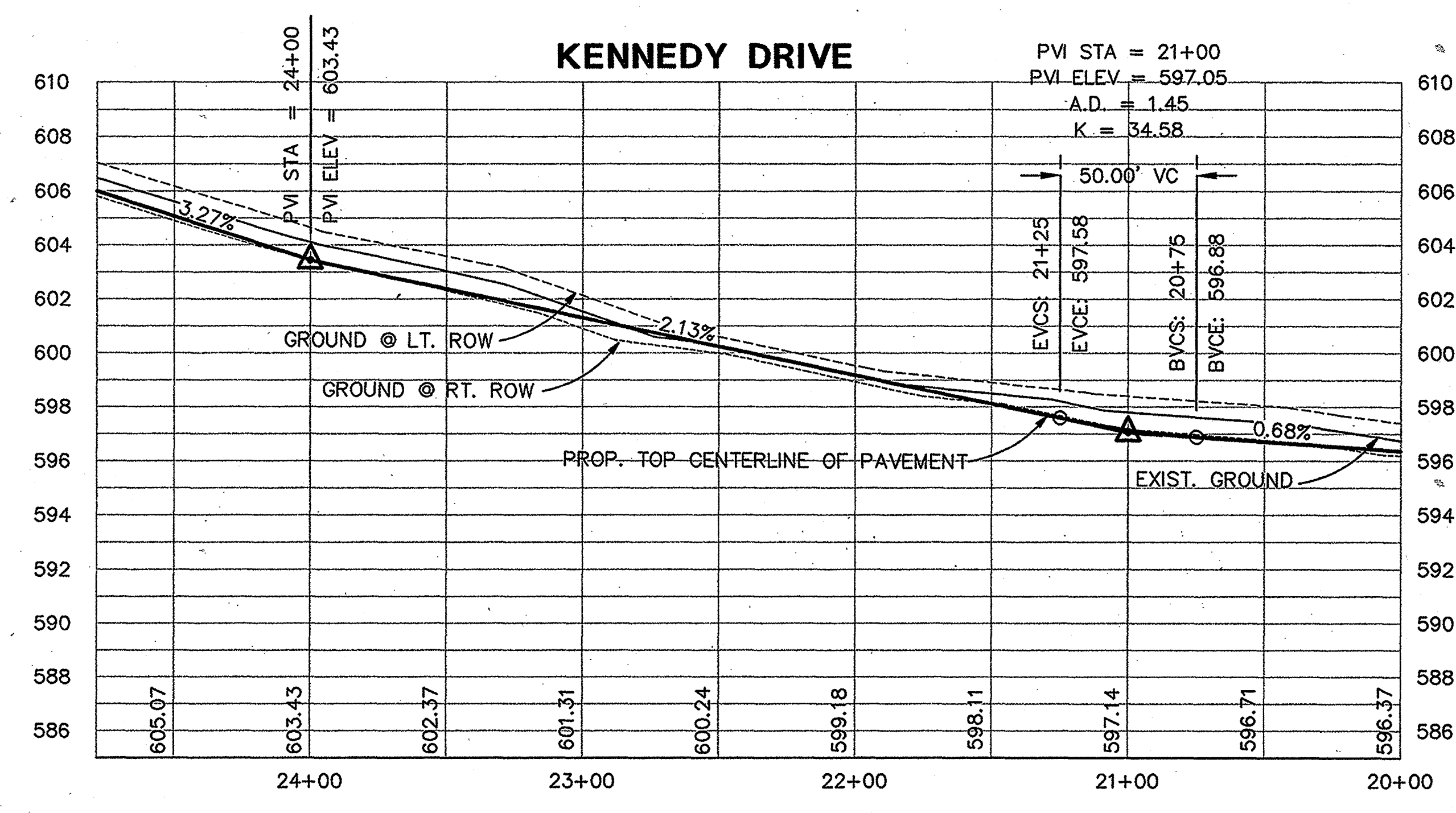
9948PVI3

PROJECT

9 OF 19



NOTE:
1. 3 FOOT SHOULDER MUST BE EXTENDED
AROUND THE RADIUS OF THE INTERSECTION.



RECORD DRAWINGS:
THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF Lucas. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF Lucas INSPECTED THE CONSTRUCTION. THE OWNER NOR ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRATE II TEXAS P.E. NO. 60102 ON 7/13/00

DOUPHRATE & ASSOCIATES, INC.
ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2231 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

PAVING PLAN & PROFILE
KENNEDY DR. STA. 20+00 TO 24+78.41
TARA, PHASE II
COLLIN COUNTY, TEXAS

REVISION	
W.L.D.	CHECKED
K.E.B.	DRAWN
5/1/00	DATE
9948PVI4	PROJECT
10	OF
19	

STA: 0+00.00 WILKES DR.=
STA: 18+31.79 HAMILTON DR.

2.0 AC.

HAMILTON
DRIVE

INSTALL 25 S.Y. CONC. RIPRAP

STA: 0+30.01
OFFSET: 12.00 R

STA: 0+30.55
OFFSET: 12.00 L

INSTALL 75 S.Y. CONC. RIPRAP

10'x10' DRAINAGE
EASEMENT

L=208.84'
R=300.00'
D=39°53'10"
T=108.85'

2.0 AC.

2.0 AC.

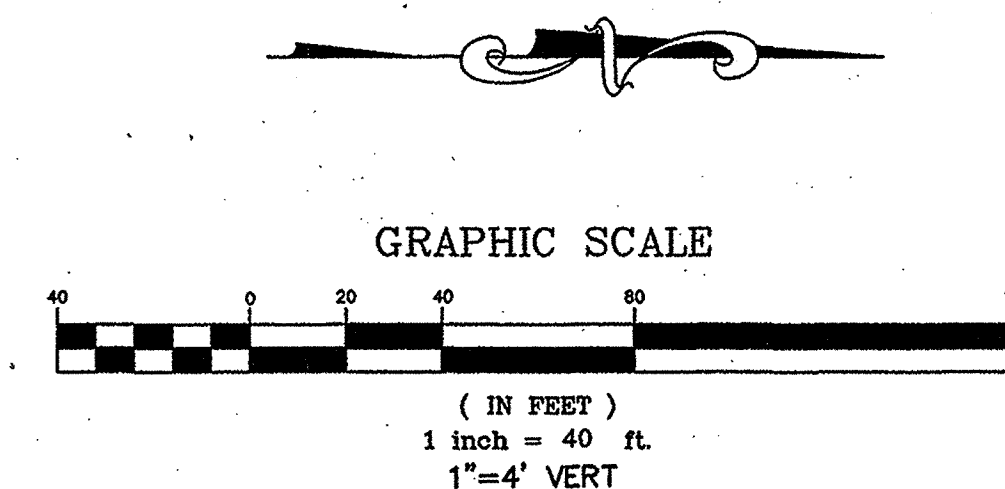
WILKES DRIVE

BLOCK A

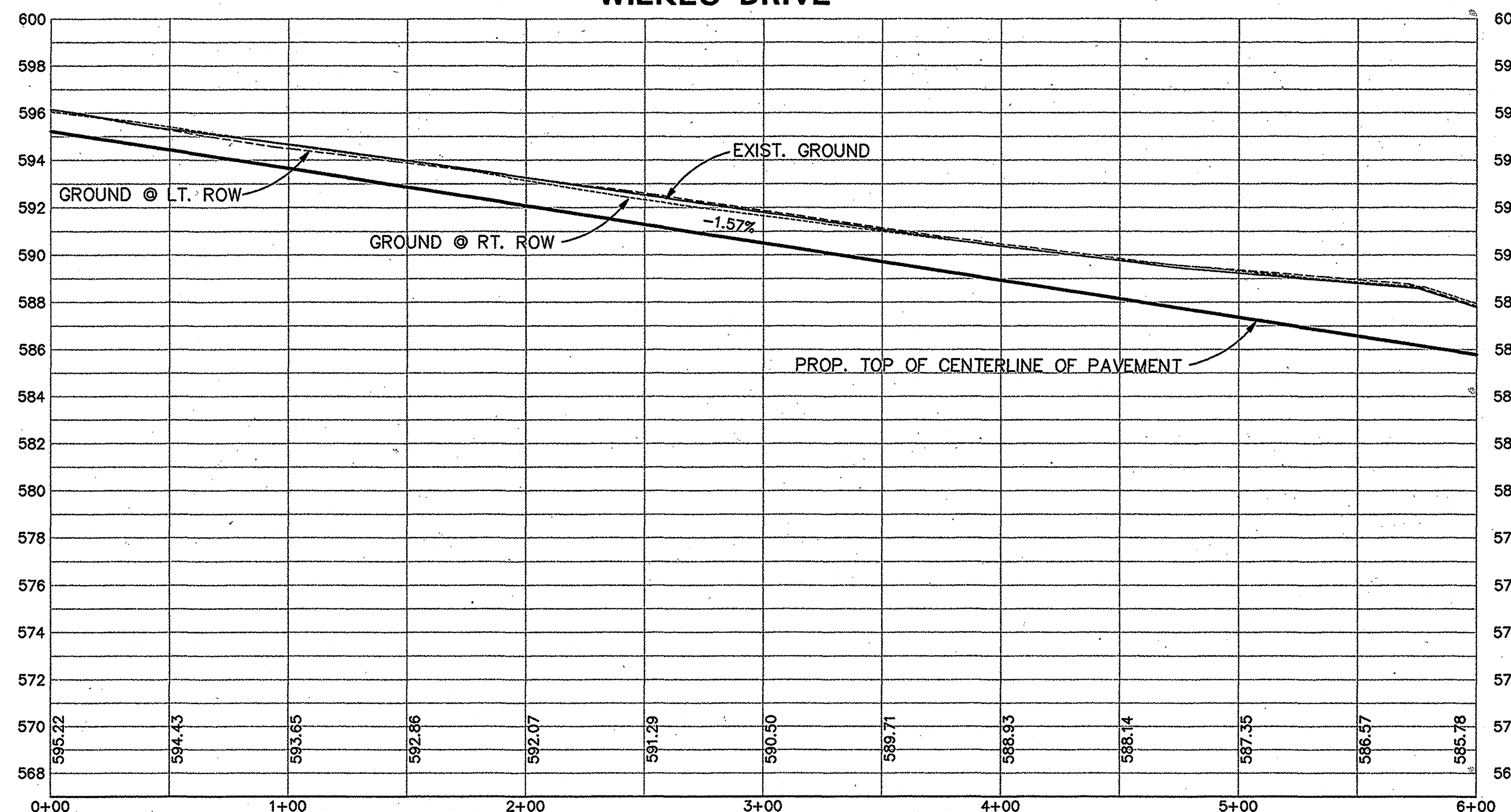
2.0 AC.

2.0 AC.

MATCH LINE STA. 6+00



WILKES DRIVE



NOTE:
1. 3 FOOT SHOULDER MUST BE EXTENDED
AROUND THE RADIUS OF THE INTERSECTION.

RECORD DRAWINGS:

THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF LUCAS. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF LUCAS INSPECTED THE CONSTRUCTION. THE OWNER NOR ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED

PAVING PLAN & PROFILE
WILKES DR. STA. 0+00 TO 6+00
TARA, PHASE II
COLLIN COUNTY, TEXAS

REVISION

W.L.D.

CHECKED

K.E.B.

DRAWN

5/1/00

DATE

9948 FV15

PROJECT

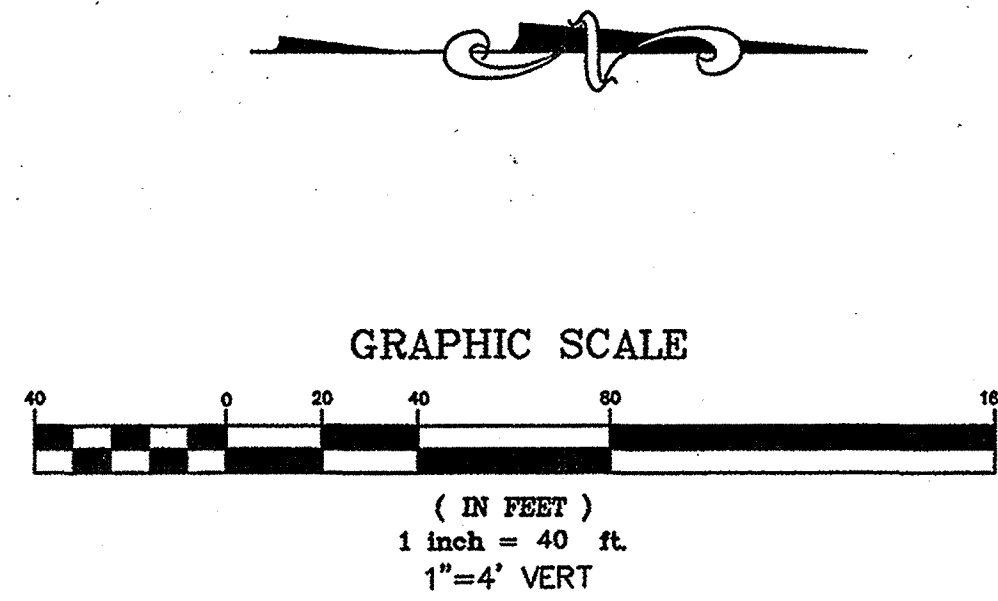
11

OF

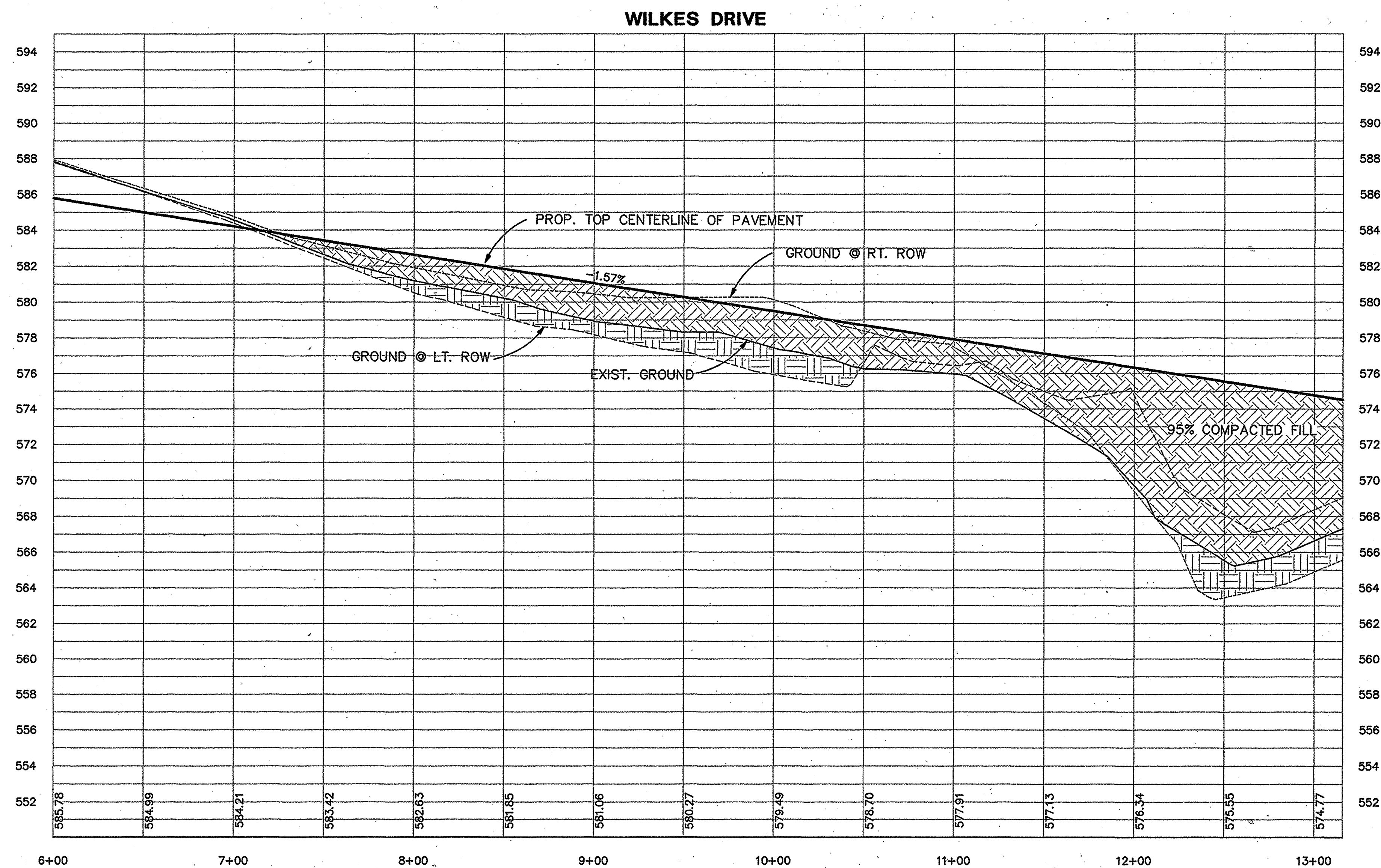
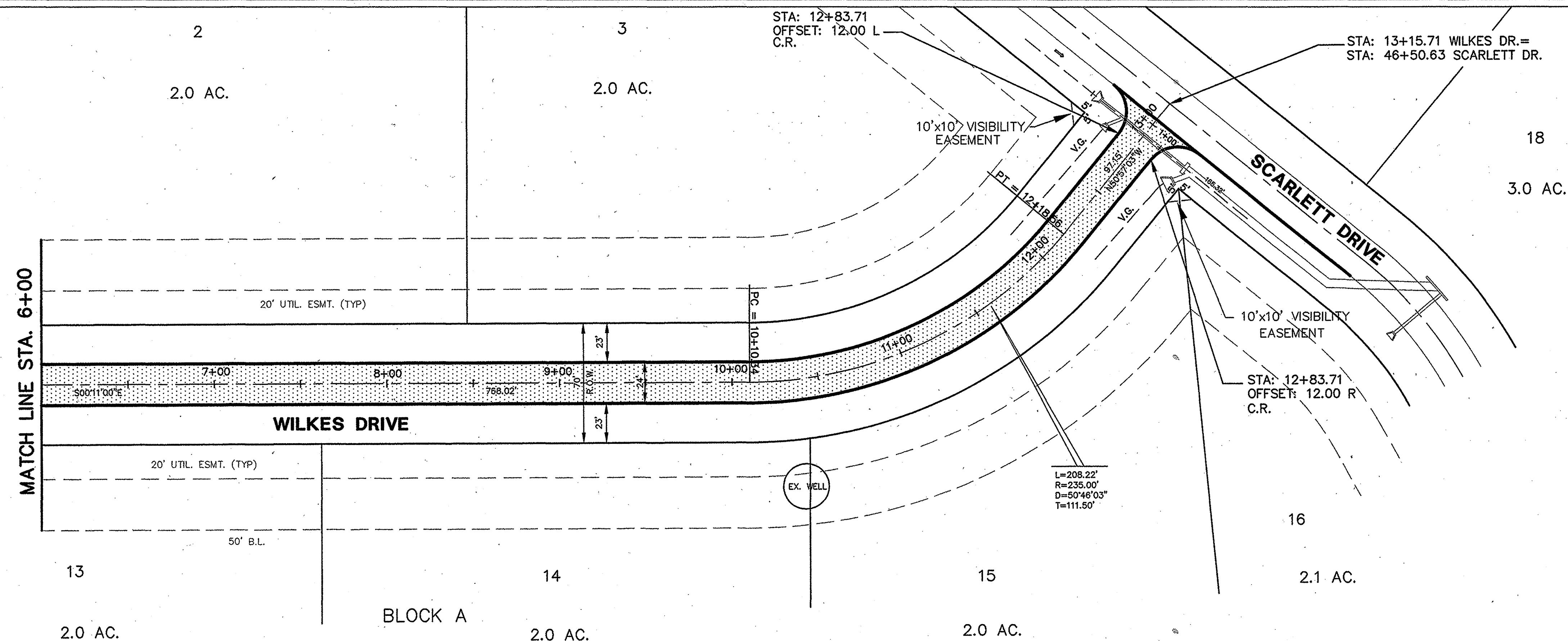
19

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRADE II TEXAS P.E. NO. 60102 ON 11/11/96

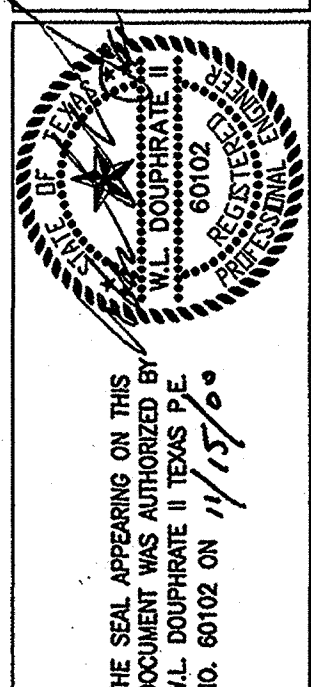
DOUPHRADE & ASSOCIATES, INC.
ENGINEERING - PROJECT MANAGEMENT - SURVEYING
2231 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005



NOTE:
1. 3 FOOT SHOULDER MUST BE EXTENDED
AROUND THE RADIUS OF THE INTERSECTION.



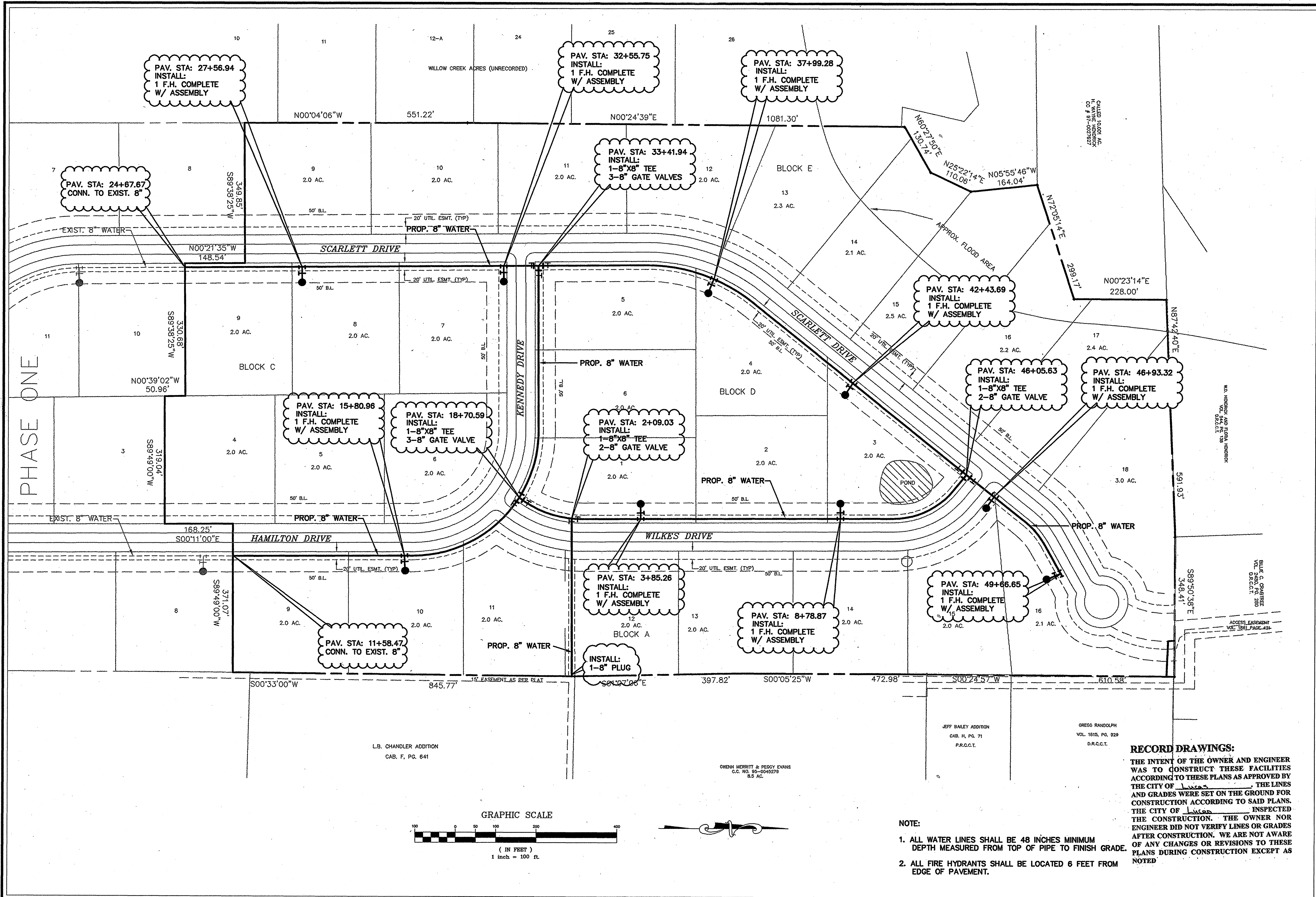
RECORD DRAWINGS:
THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF Lucas. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF Lucas INSPECTED THE CONSTRUCTION. THE OWNER NOR ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED.



DOUPHRATE & ASSOCIATES, INC.
ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2231 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

PAVING PLAN & PROFILE
WILKES DR. STA. 6+00 TO 13+15.71
TARA, PHASE II
COLLIN COUNTY, TEXAS

REVISION	DATE
W.L.D. CHECKED	5/2/00
K.E.B. DRAWN	DATE
PROJECT	9948PV16
12 OF 19	



THE SEAL APPEARING ON THIS PLAN IS THE PROPERTY OF W.L.D. & ASSOCIATES, INC. NO. 60102 ON 4/15/22

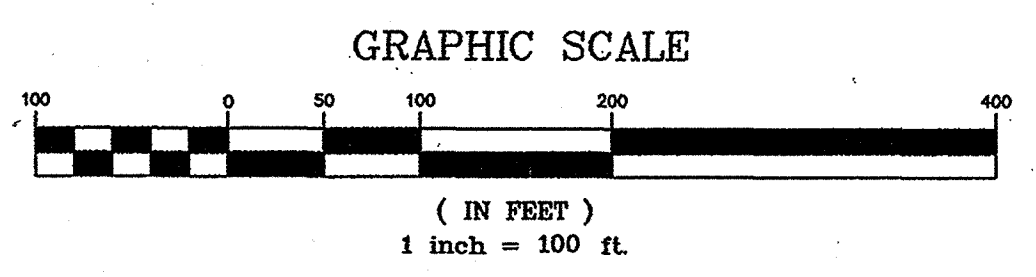
DOUPHRE & ASSOCIATES, INC.
ENGINEERING - PROJECT MANAGEMENT - SURVEYING
2231 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972) 771-9004 FAX: (972) 771-9005

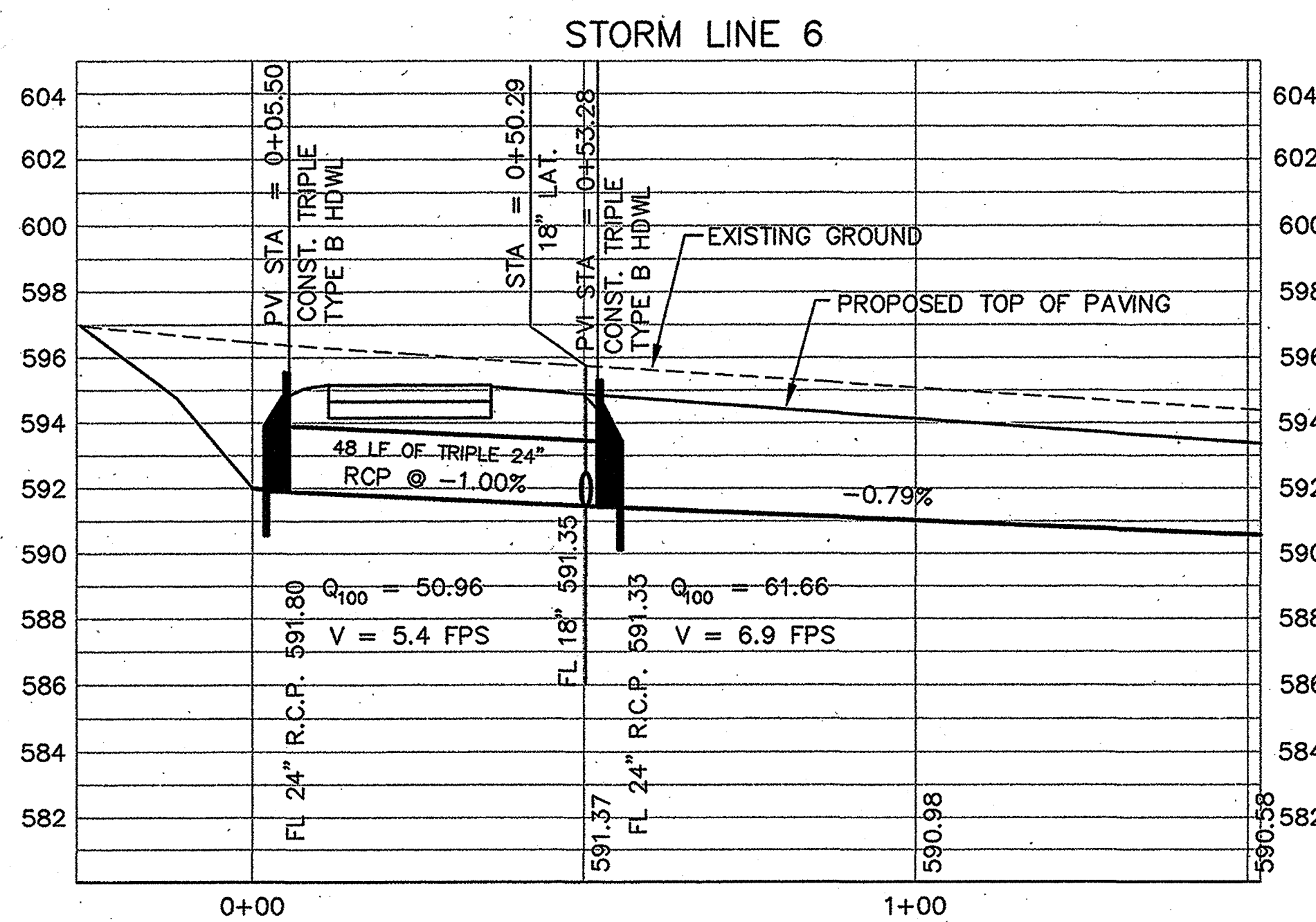
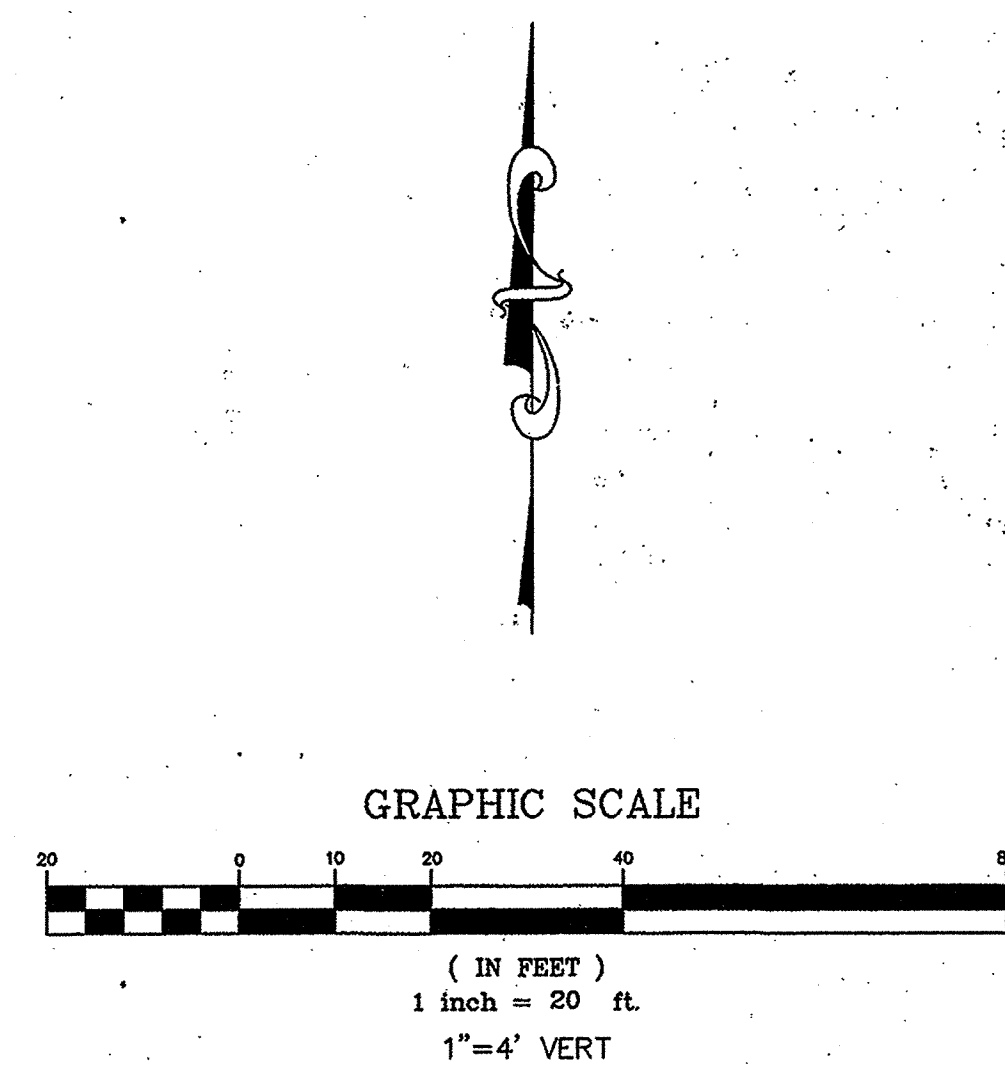
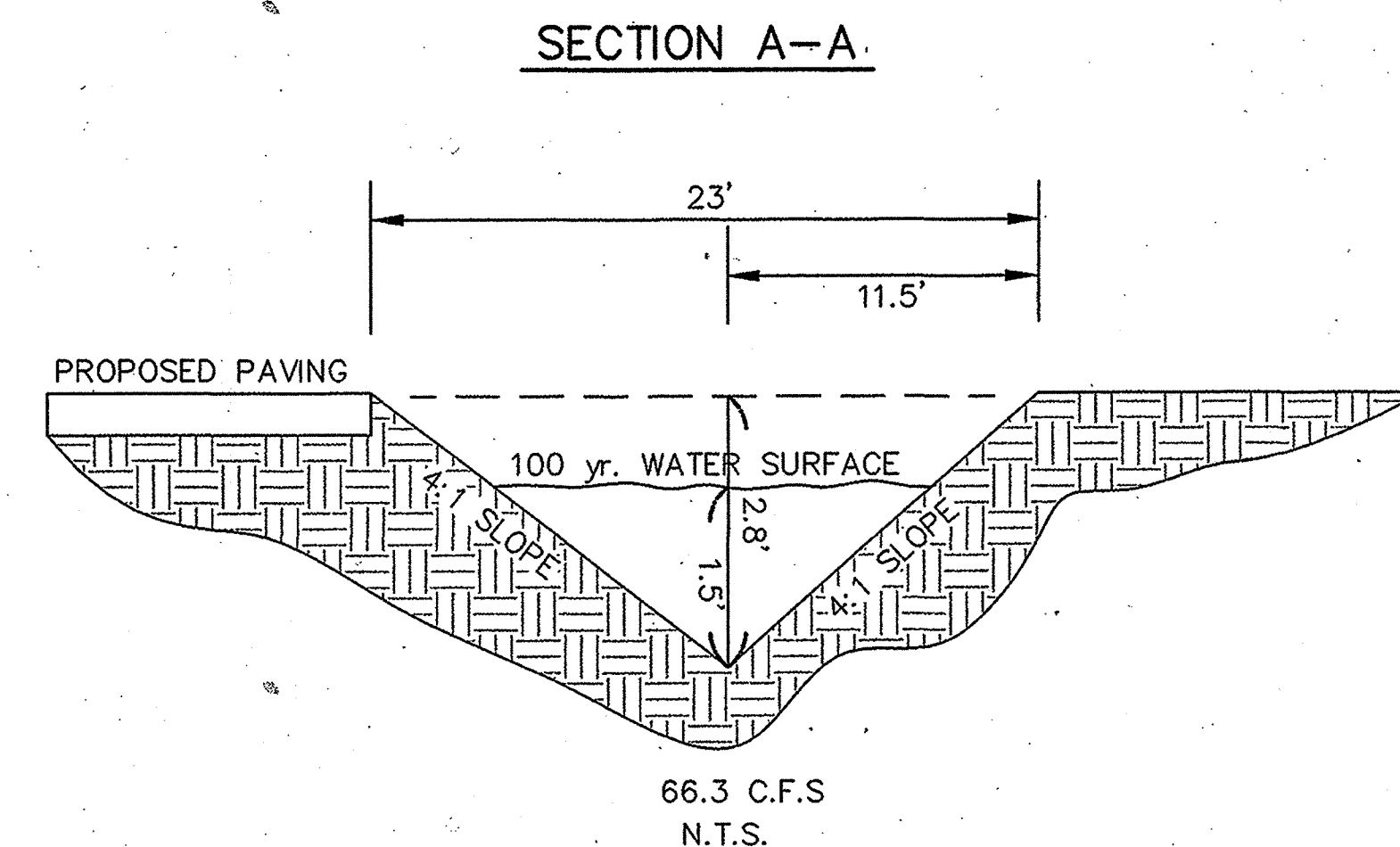
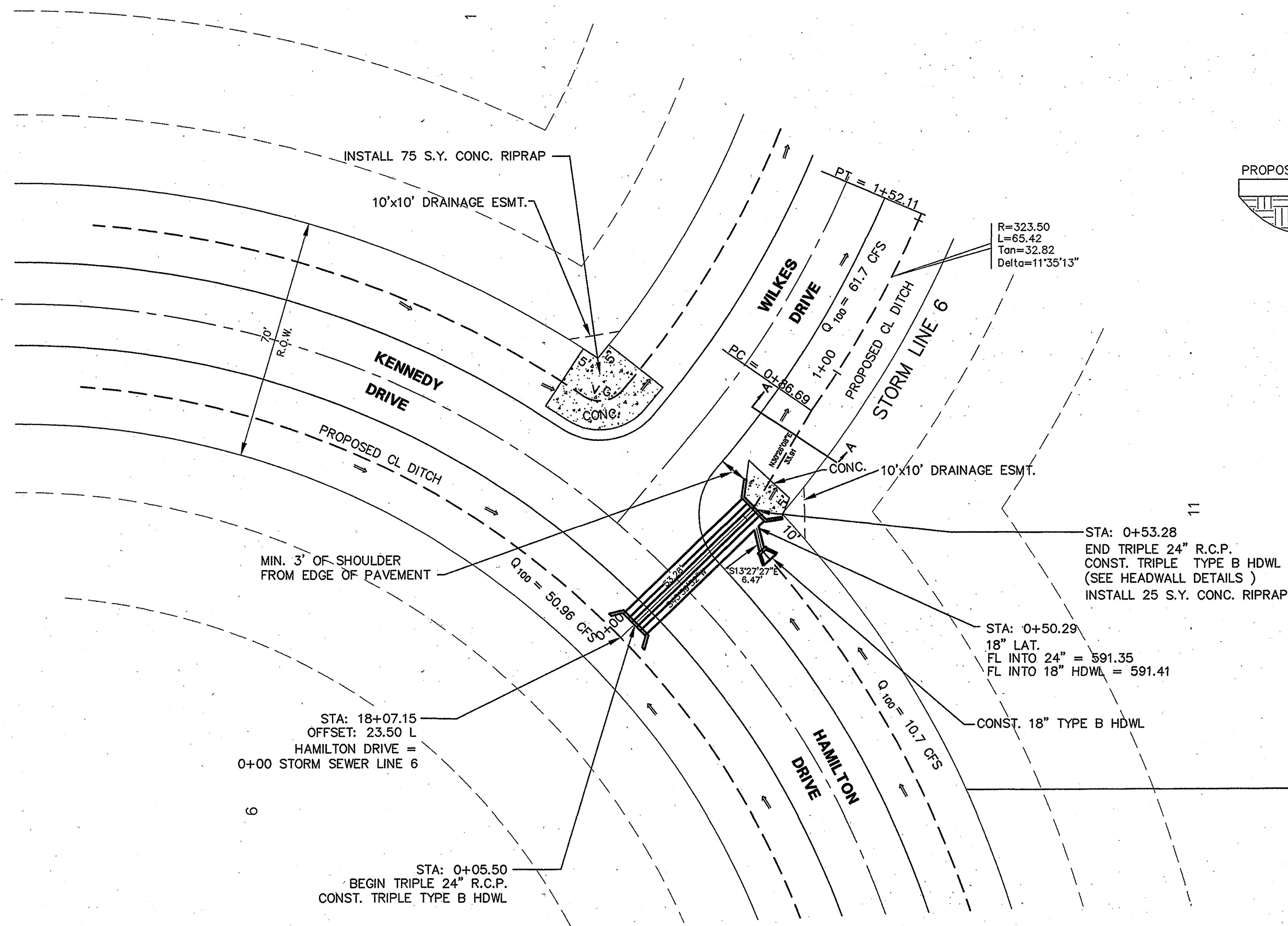
WATER PLAN
TARA
PHASE TWO
COLLIN COUNTY, TEXAS

REVISION	
W.L.D.	
CHECKED	
K.E.B.	
DRAWN	
5/4/00	
DATE	
9948PH2WAT	
PROJECT	
13	
OF	
19	

RECORD DRAWINGS:
THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF LUGER. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF LUGER INSPECTED THE CONSTRUCTION. THE OWNER NOR ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED

- NOTE:
- ALL WATER LINES SHALL BE 48 INCHES MINIMUM DEPTH MEASURED FROM TOP OF PIPE TO FINISH GRADE.
 - ALL FIRE HYDRANTS SHALL BE LOCATED 6 FEET FROM EDGE OF PAVEMENT.





NOTE:
1. CULVERT HEADWALLS SHALL BE EXTENDED UP TO PAVEMENT GRADE.

RECORD DRAWINGS:
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DOUPHRAVE & ASSOCIATES, INC.
ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

STORM SEWER PLAN & PROFILE
LINE 6
TARA, PHASE TWO
COLLIN COUNTY, TEXAS

11/01/00
CHANGED HDWL TO
TYPE B
10/27/00
LENGTHENED 24" &
ADDED 18" LATERAL
REVISION

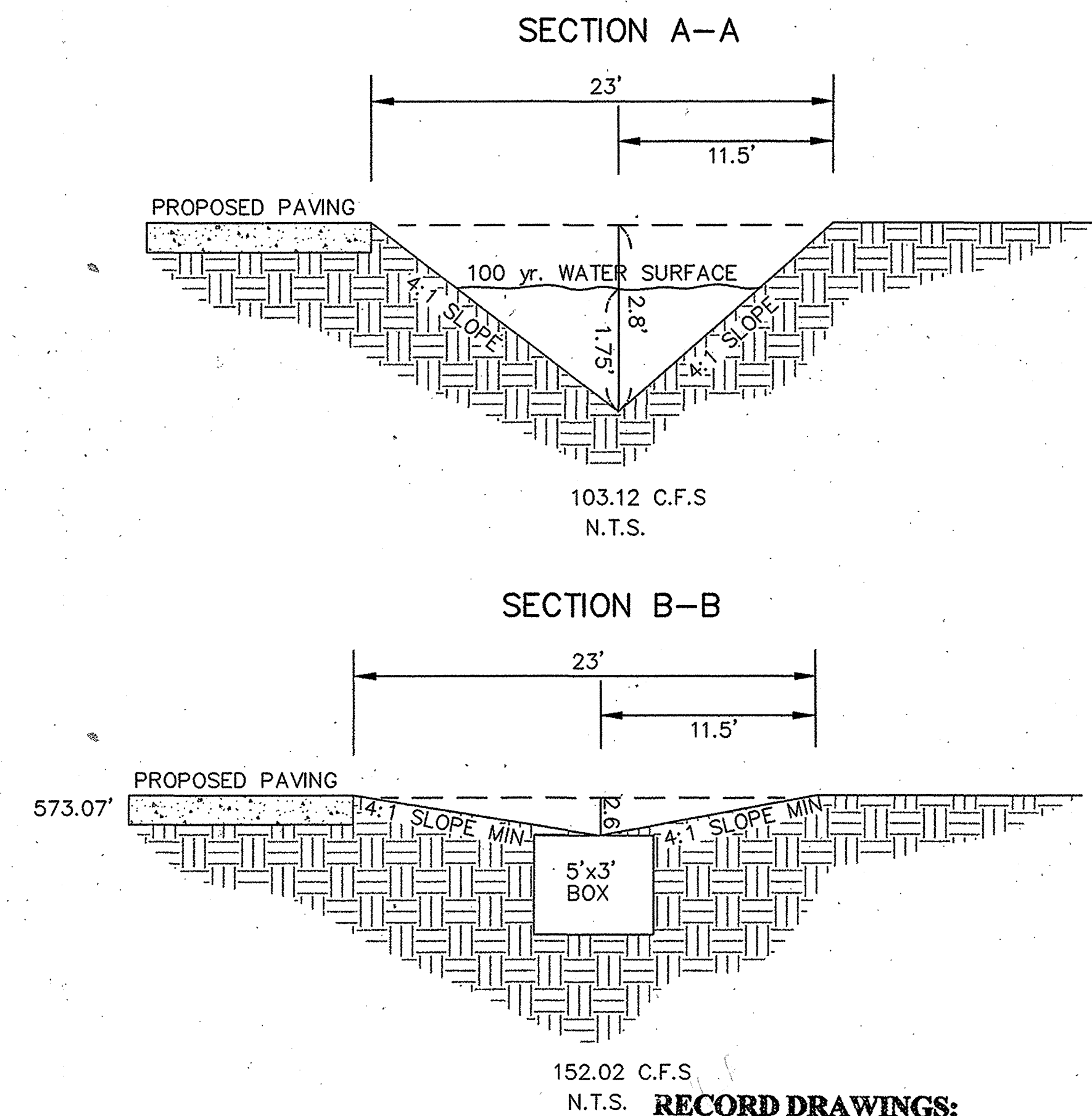
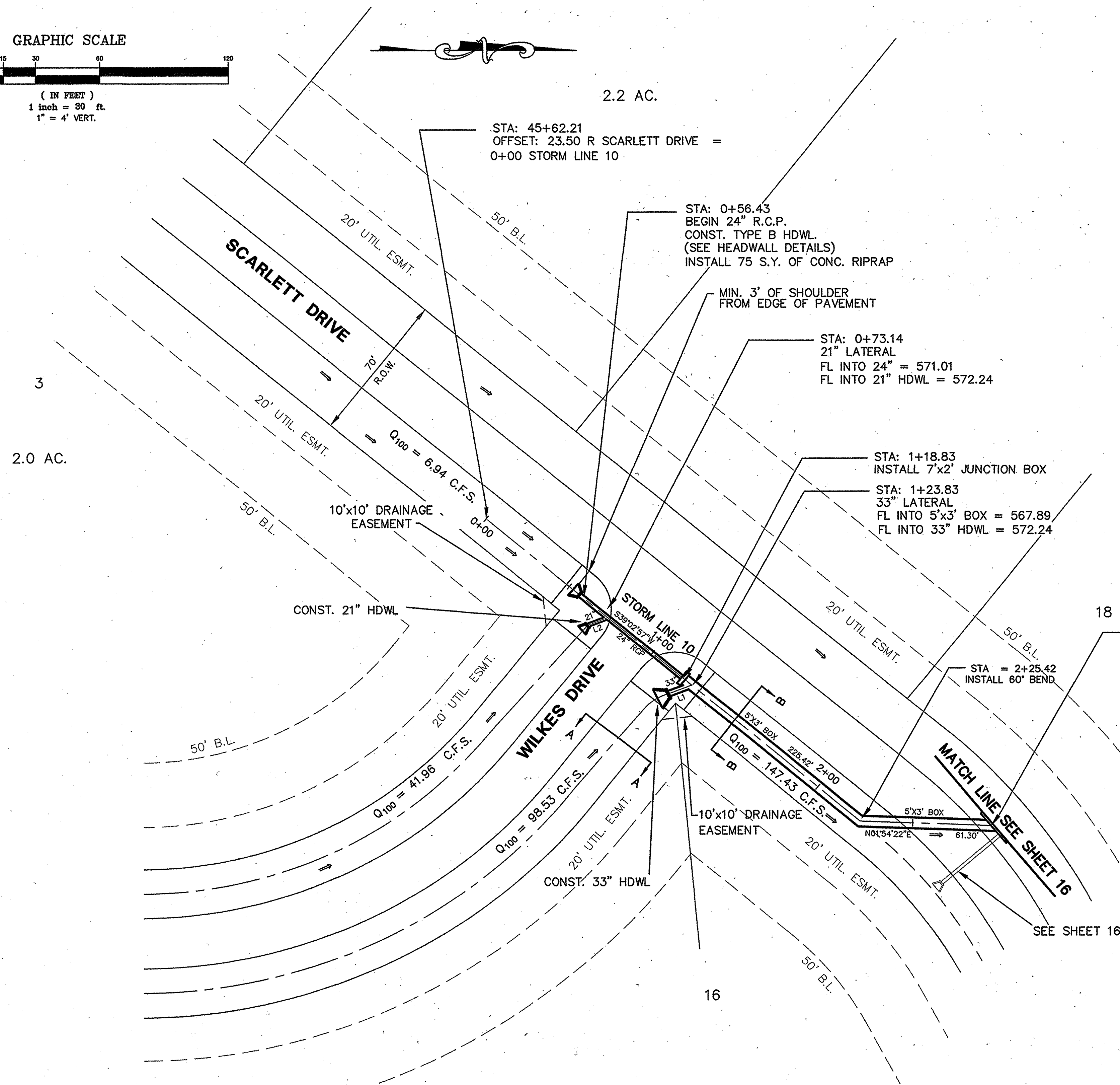
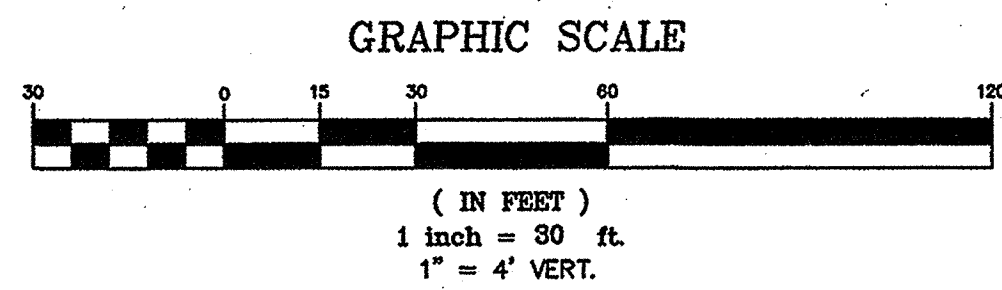
W.L.D.
CHECKED

K.E.B.
DRAWN

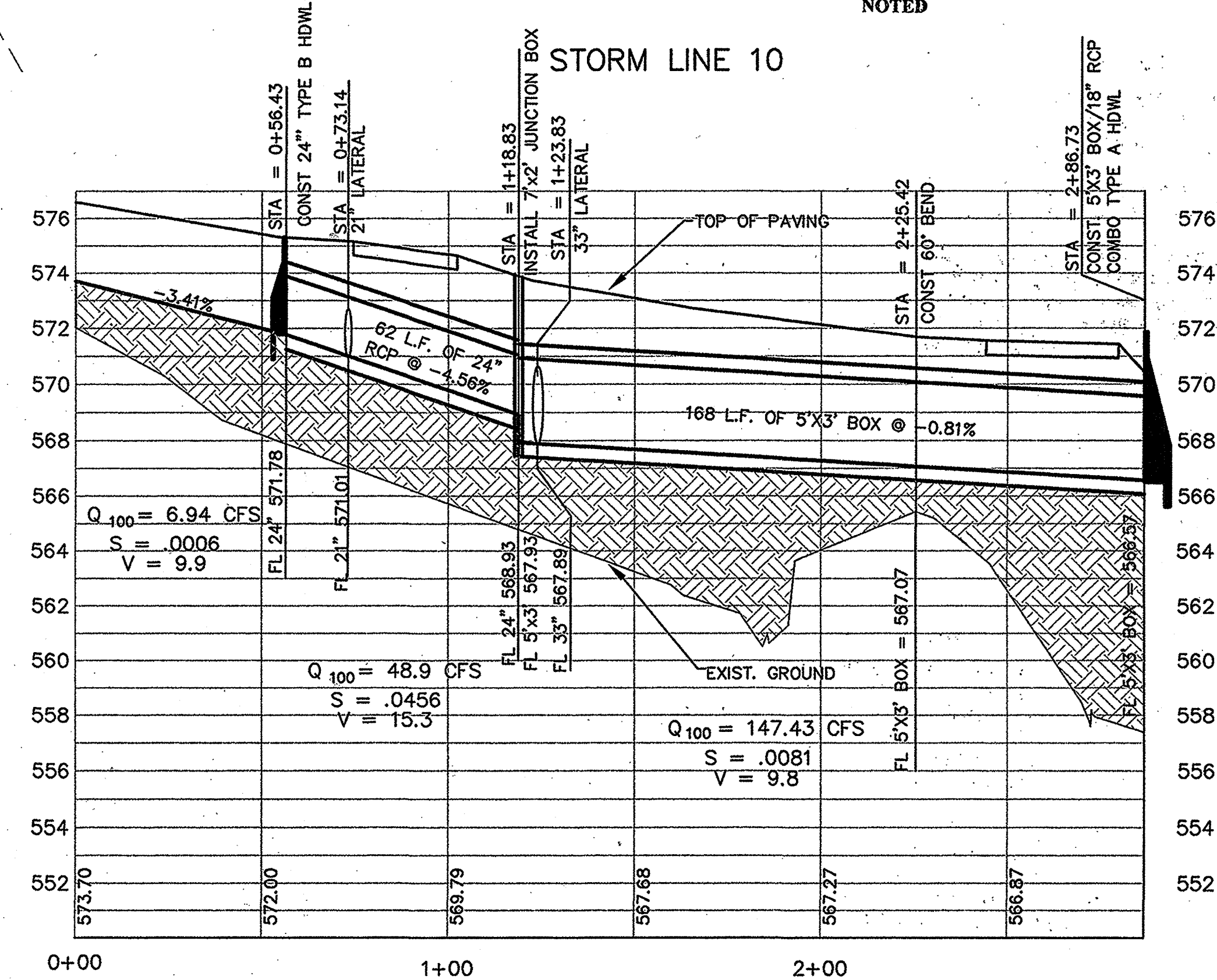
5/11/00
DATE

9948 PH2 STM
PROJECT

14
OF
19



LINE TABLE		
LINE	LENGTH	BEARING
L1	11.34'	S20°57'03"E
L2	10.00'	S20°57'03"E

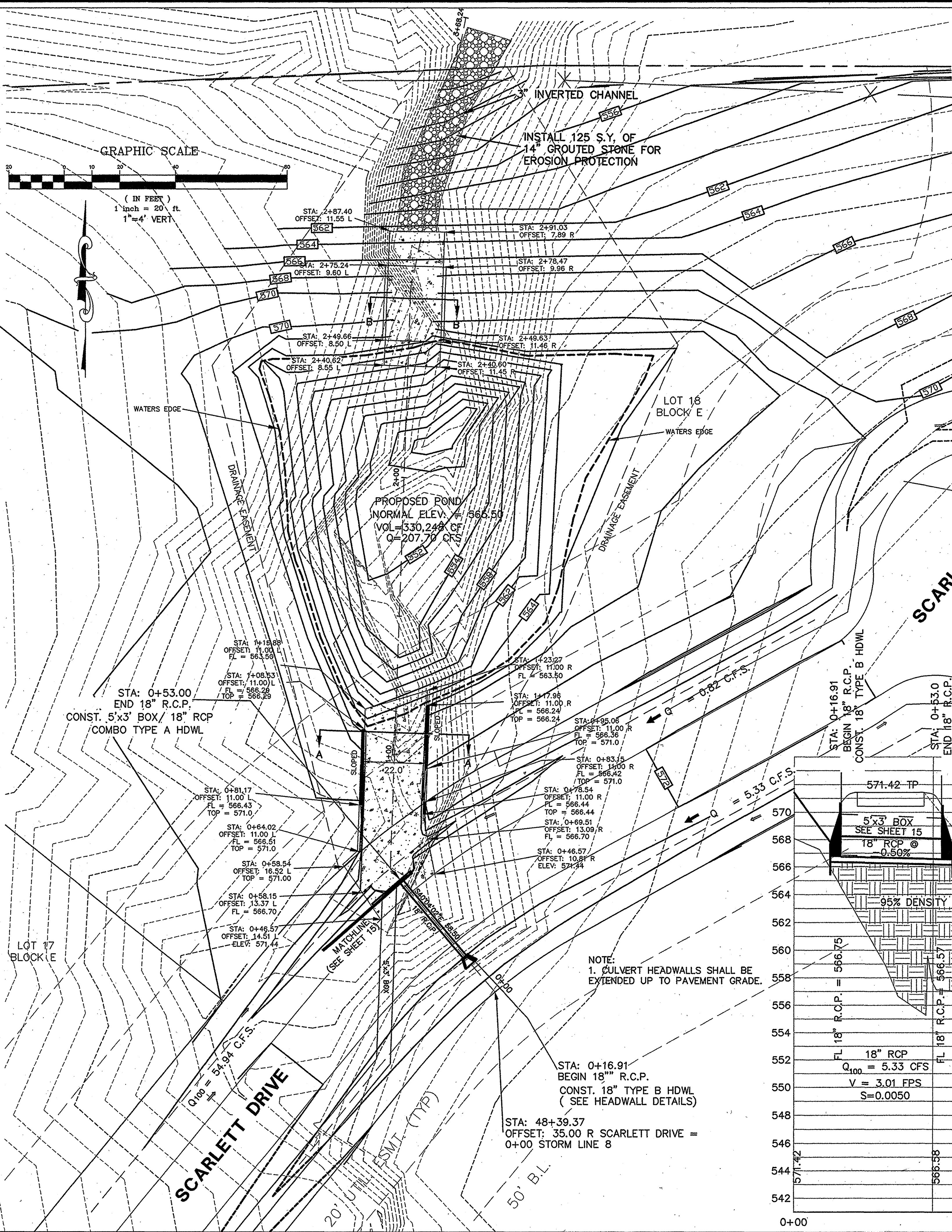
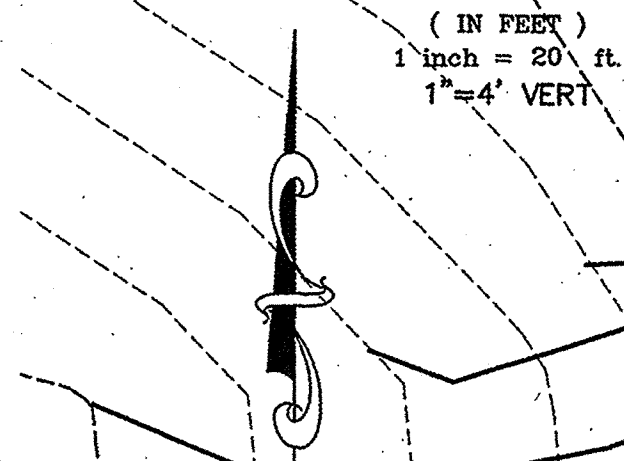
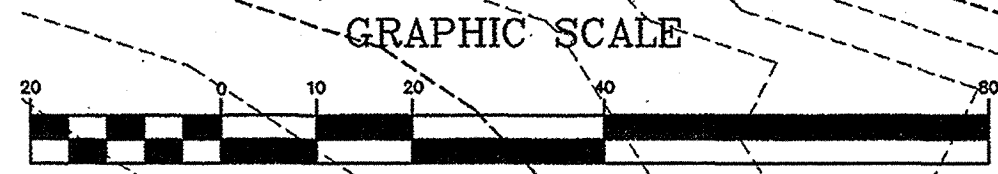


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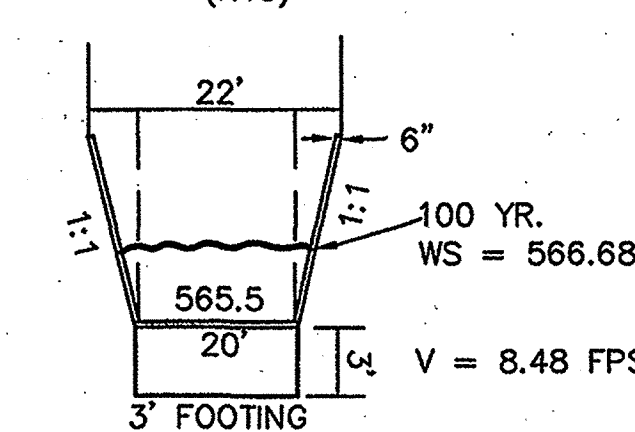
THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF LUCAS. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF LUCAS INSPECTED THE CONSTRUCTION. THE OWNER NOR ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED

STORM SEWER PLAN & PROFILE LINE 7 TARA, PHASE TWO COLLIN COUNTY, TEXAS

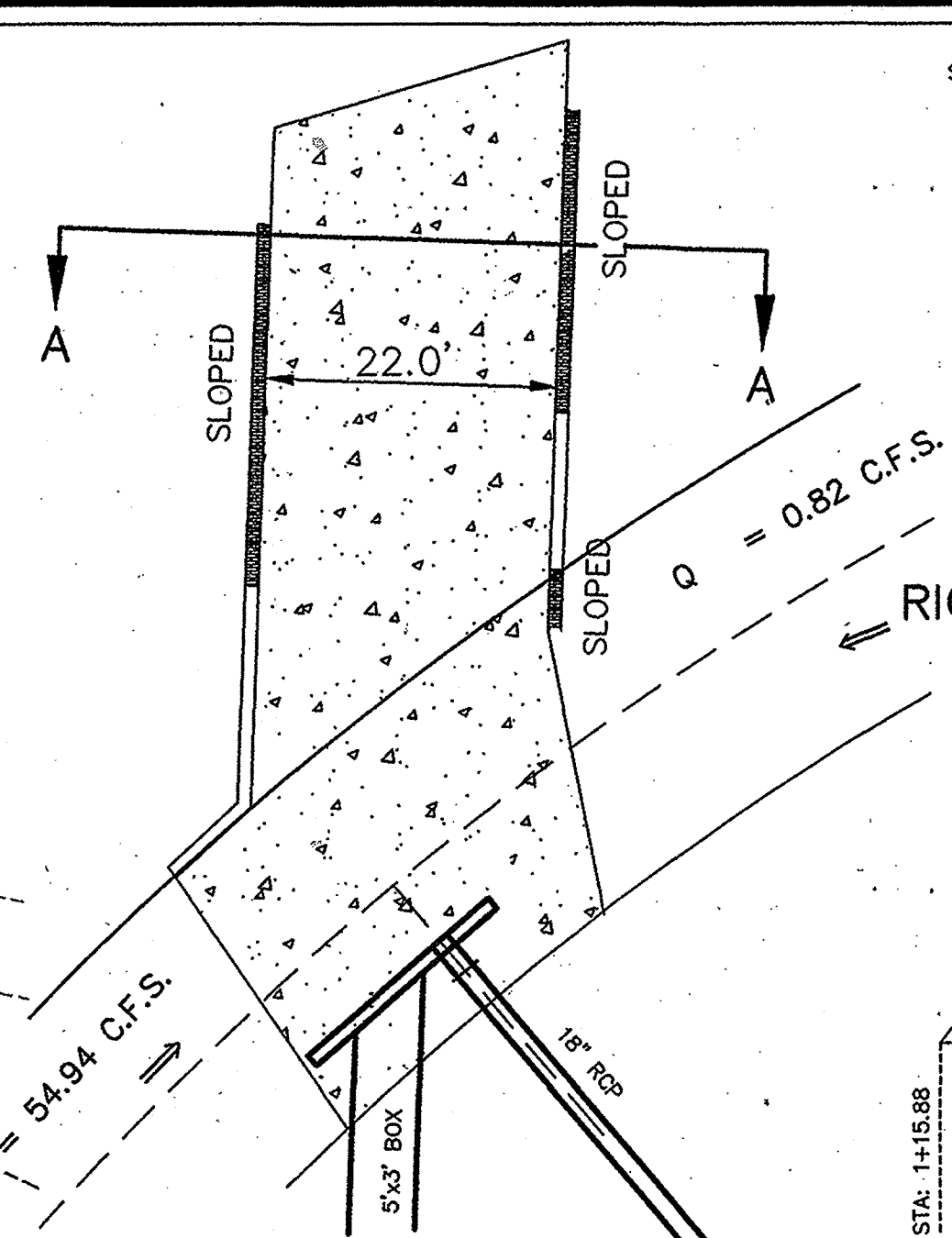
11/01/00 REV. CHANGE 2x2 TO 24" & ADDED JUNCTION BOX	REVISION
10/27/00 REV. STM. LINE 10	REVISION
W.L.D.	CHECKED
KEB.	DRAWN
5/11/00	DATE
9948 PH2 STMIA	PROJECT



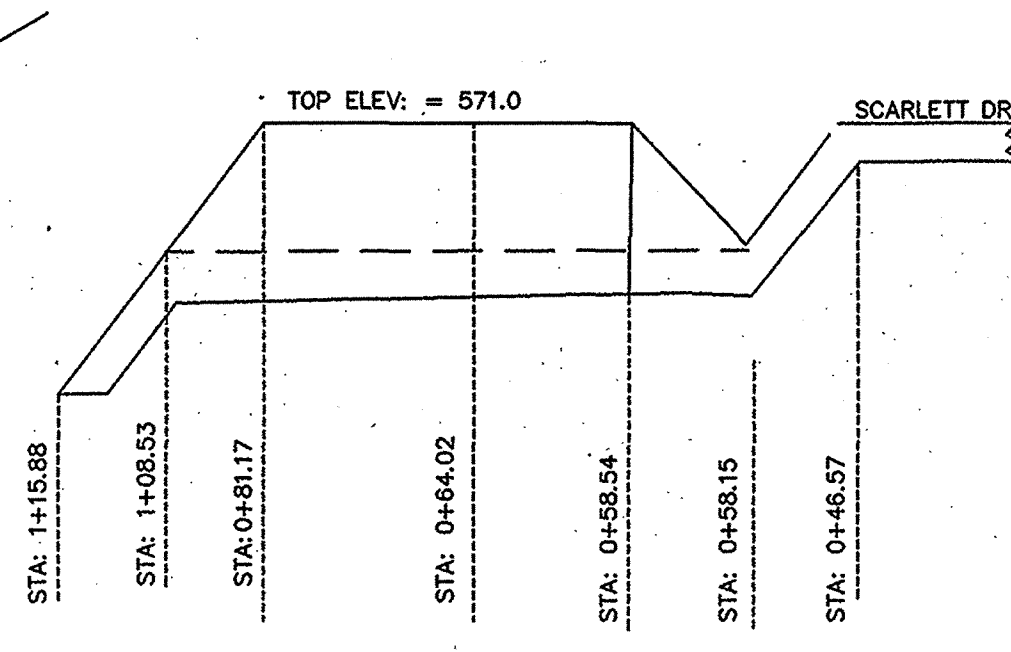
OVERFLOW
SPILLWAY SECTION
B-B
(NTS)



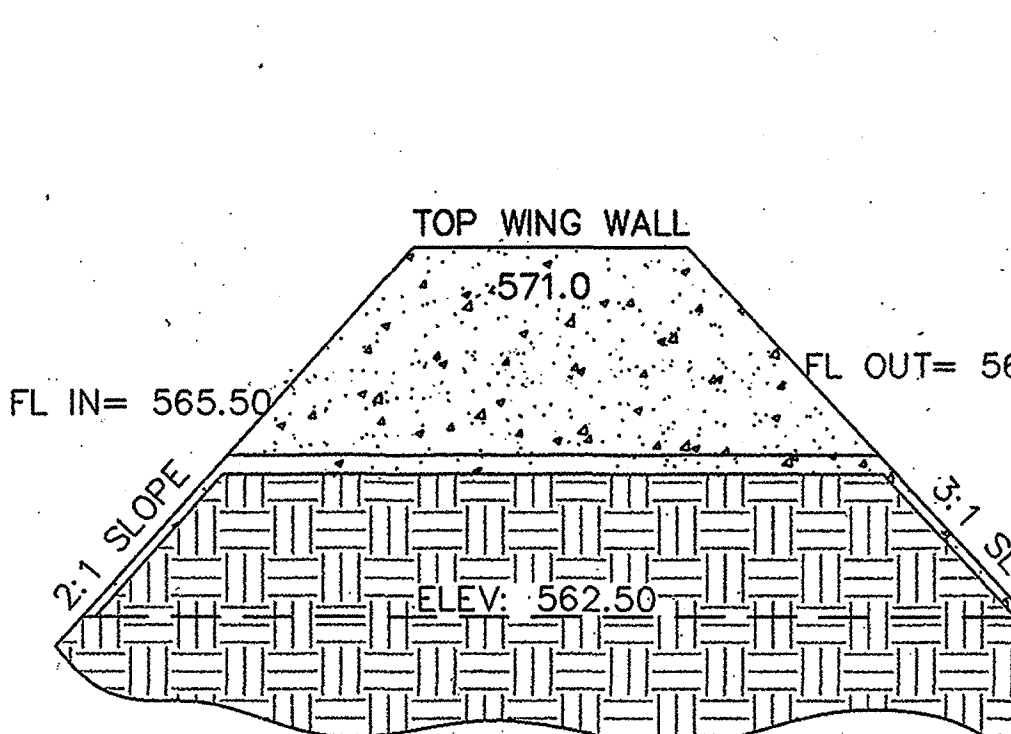
NOTE:
3' FOOTING ON DOWNSTREAM &
UPSTREAM OF PROPOSED OVERFLOW



RIGHT PROFILE CHANNEL & CULVERT
@SECTION A-A

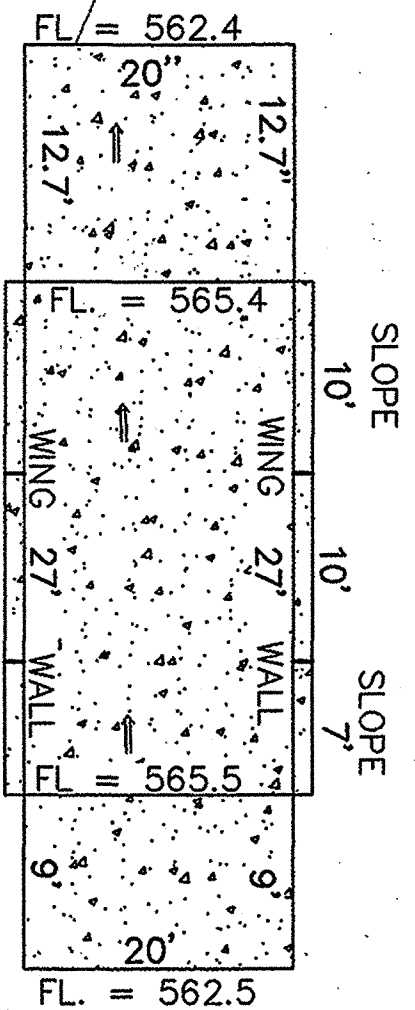


LEFT PROFILE CHANNEL & CULVERT
@SECTION A-A



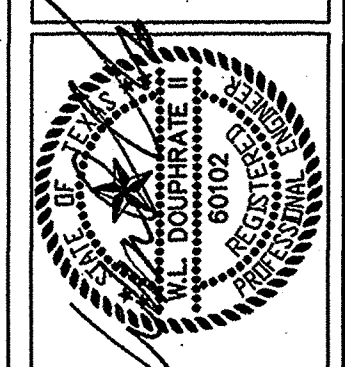
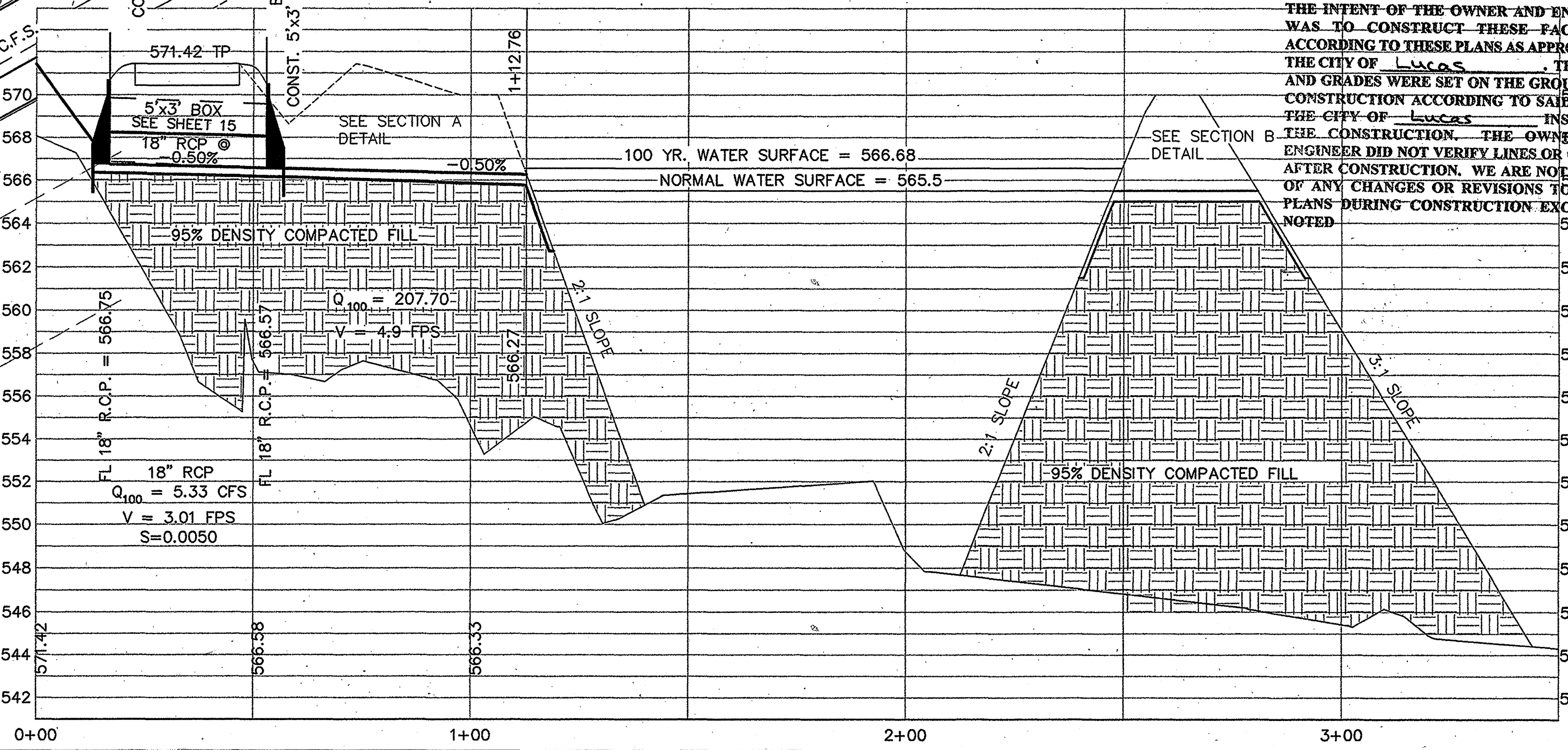
PLAN VIEW OF SPILLWAY

6" THICKNESS ON WING WALL
(TYP)



PROFILE VIEW OF SPILLWAY
RECORD DRAWINGS:

THE INTENT OF THE OWNER AND ENGINEER
WAS TO CONSTRUCT THESE FACILITIES
ACCORDING TO THESE PLANS AS APPROVED BY
THE CITY OF LUCAS. THE LINES
AND GRADES WERE SET ON THE GROUND FOR
CONSTRUCTION ACCORDING TO SAID PLANS.
THE CITY OF LUCAS INSPECTED
THE CONSTRUCTION. THE OWNER'S
ENGINEER DID NOT VERIFY LINES OR GRADES
AFTER CONSTRUCTION. WE ARE NOT AWARE
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NOTED

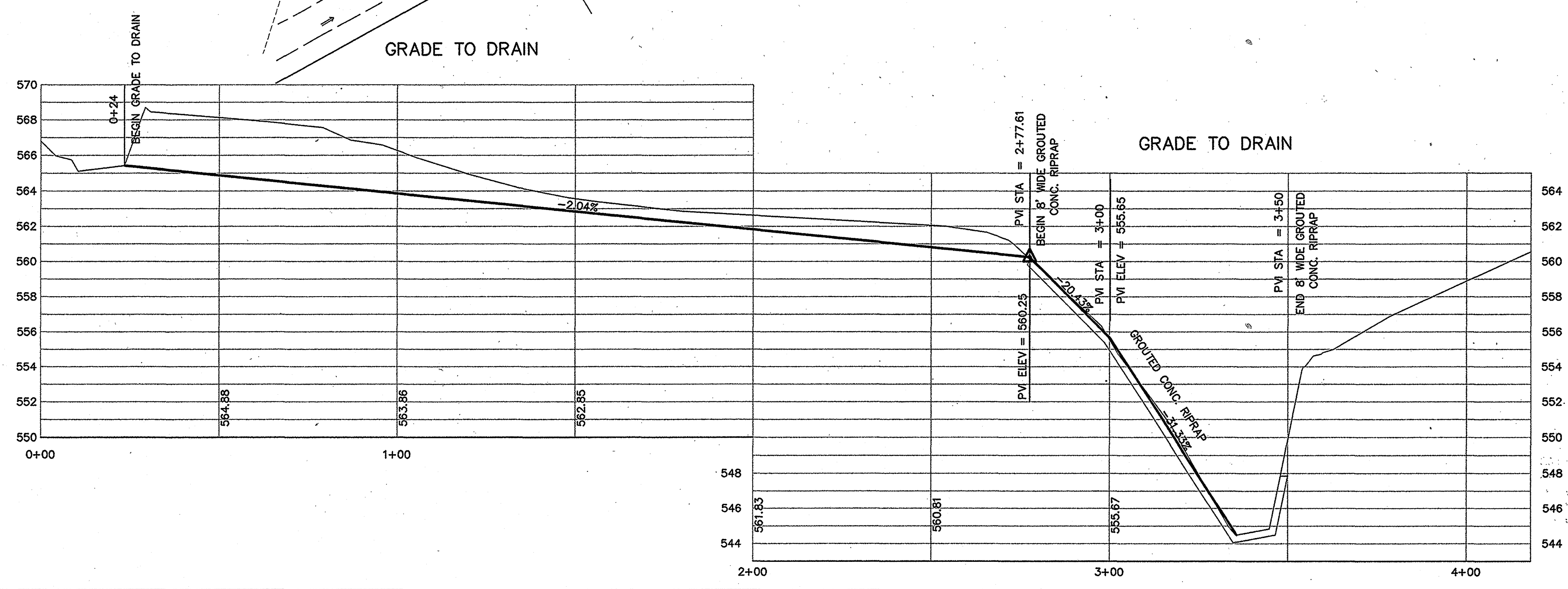
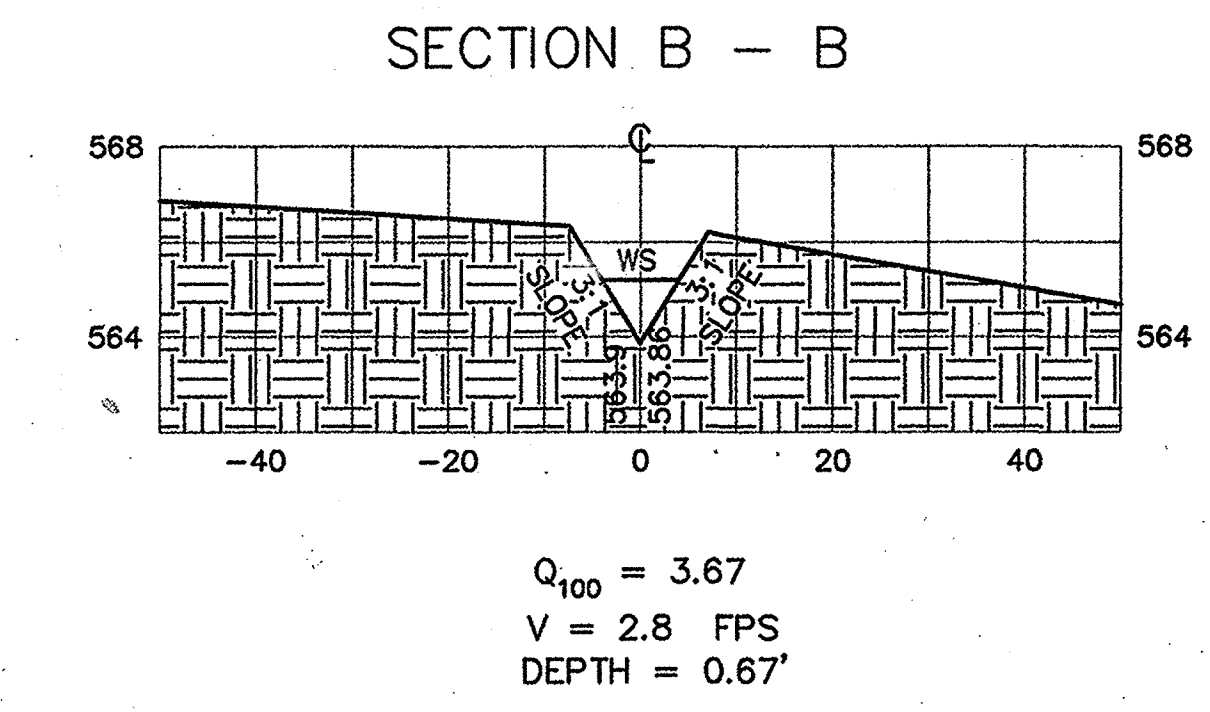
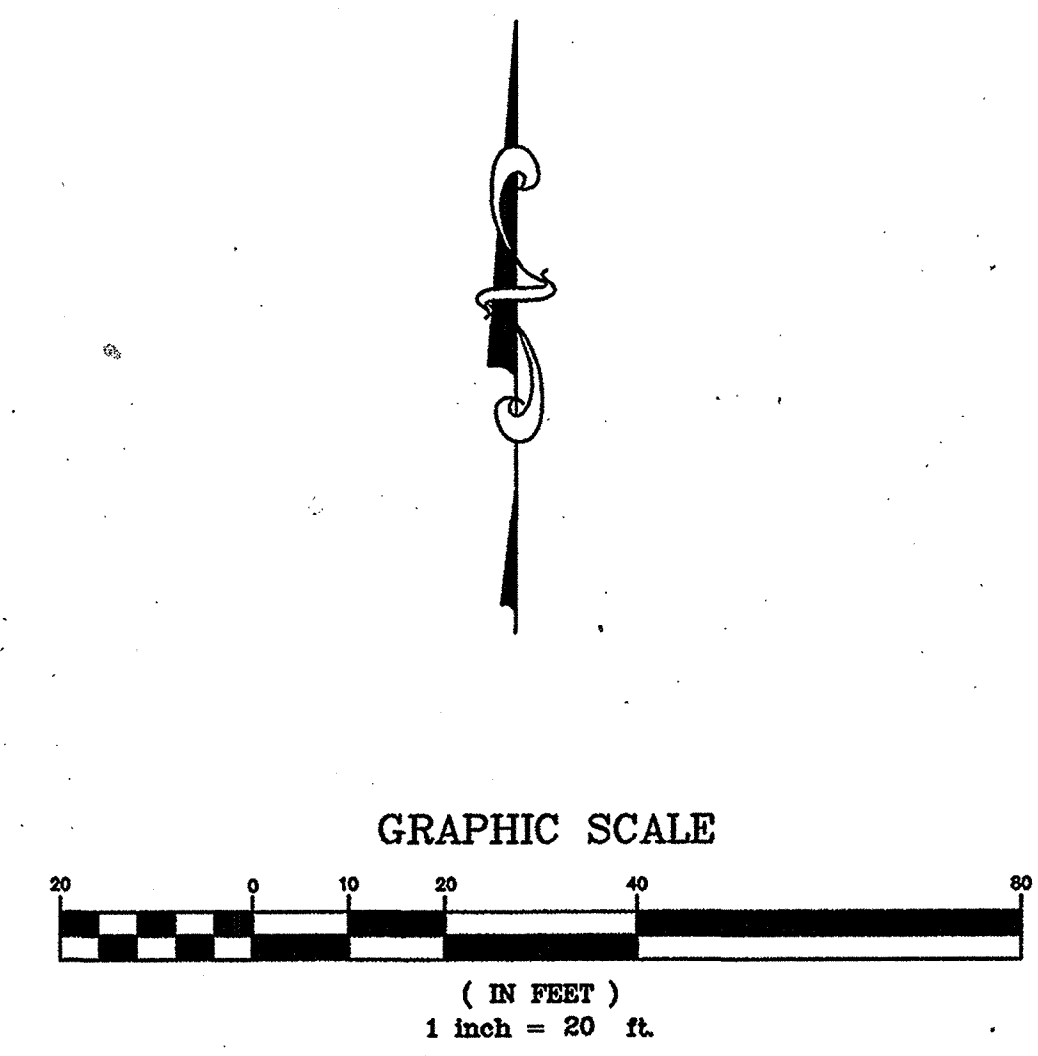
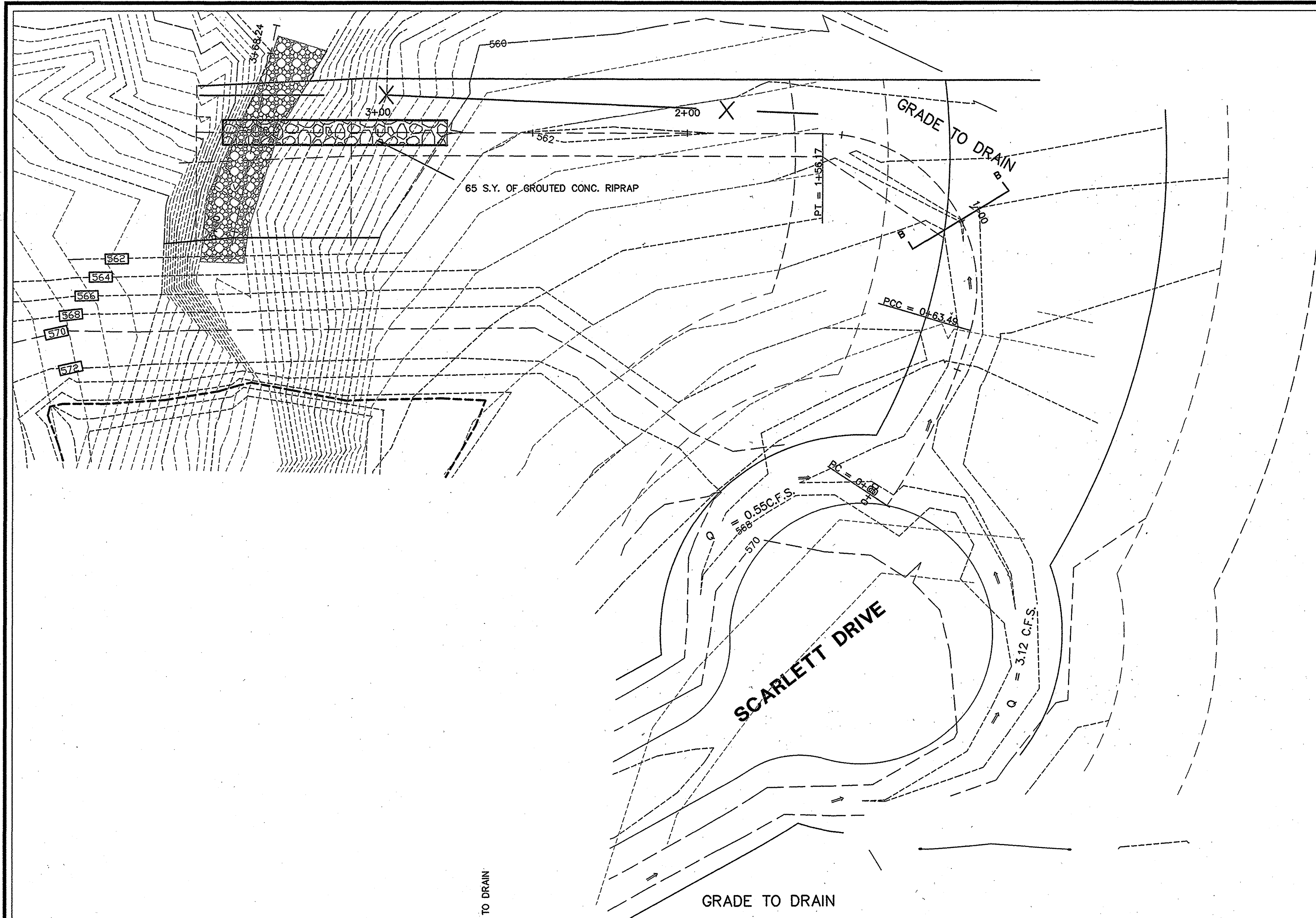


THE SEAL APPEARING ON THIS
DOCUMENT WAS AUTHORIZED BY
W.L. DOUPHRATE, TEXAS P.E.
NO. 60102 ON 4/17/02

DOUPHRATE
& ASSOCIATES, INC.
ENGINEERING - PROJECT MANAGEMENT - SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

STORM PLAN & PROFILE
DETENTION POND
TARA, PHASE II
COLLIN COUNTY, TEXAS

11/01/00 CHANGE DETAIL & ADDED 5x3 IN PROFILE	REVISION
10/27/00 CHANGE PIPE TO 18"	REVISION
W.L.D. CHECKED	
K.E.B. DRAWN	
5/15/00 DATE	
9948PH2STM-2B PROJECT	
16 OF 19	



RECORD DRAWINGS:

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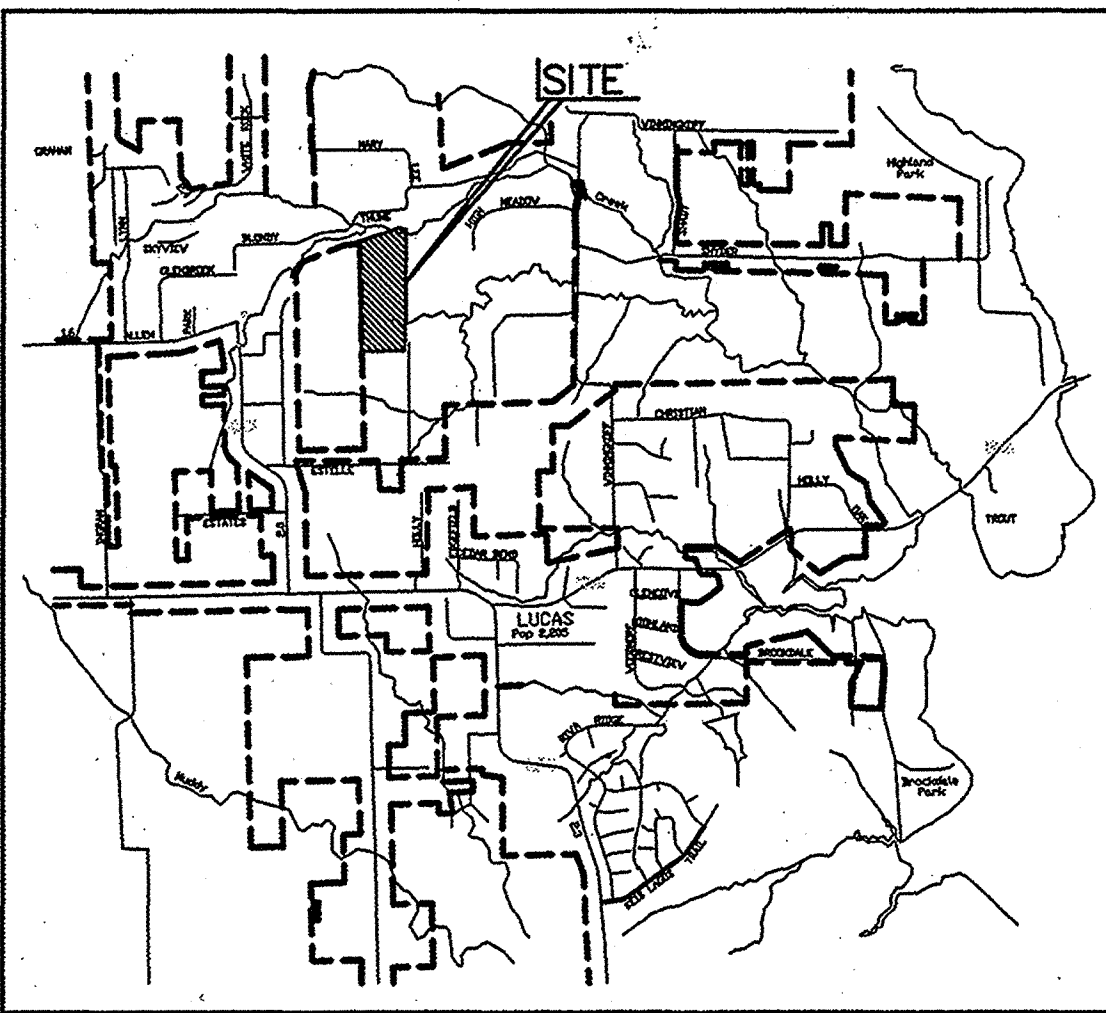
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRAITE II TEXAS P.E. NO. 60102 ON 7/1/00

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 ENGINEERING • PROJECT MANAGEMENT • SURVEYING
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

STORM PLAN & PROFILE
STORM 8 & GRADE TO DRAIN
TARA, PHASE II
 COLLIN COUNTY, TEXAS

REVISION
W.L.D. CHECKED
K.E.B. DRAWN
5/15/00 DATE
9948PH2STM3 PROJECT

16-A
 OF
 19

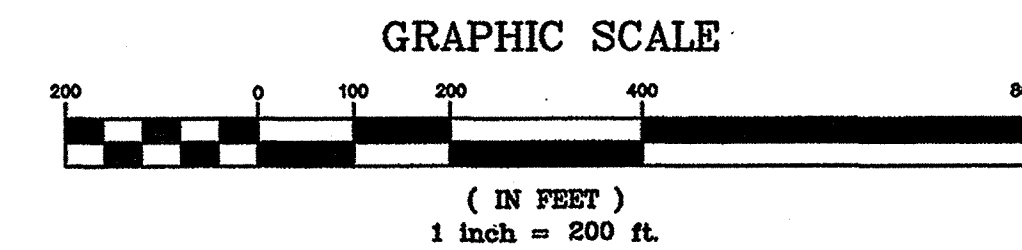


VICINITY MAP
1"=1000'

INSTALL 1675 L.F. OF
SILT FENCING FOR
EROSION CONTROL

CALLED 34.911 AC.
H. WAYNE HENDRICK
CC # 97-0027627
D.R.C.C.T.

CALLED 10.001 AC.
H. WAYNE HENDRICK
CC # 97-0027627



INSTALL 1600 L.F. OF
SILT FENCING & HAY BALES FOR
POND PROTECTION

INSTALL 3000 L.F. OF
SILT FENCING FOR
EROSION CONTROL

L.B. CHANDLER ADDITION
CAB. F. PAGE 641
P.R.C.C.T.

GWENN MERRITT & PEGGY EVANS
C.C. NO. 95-0045279
8.5 AC.

JEFF BAILEY ADDITION
CAB. H. PG. 71
P.R.C.C.T.

GREGG RANDOLPH
VOL. 1615, PG. 929
D.R.C.C.T.

BILLIE C. CRABTREE
VOL. 2480, PG. 280
D.R.C.C.T.

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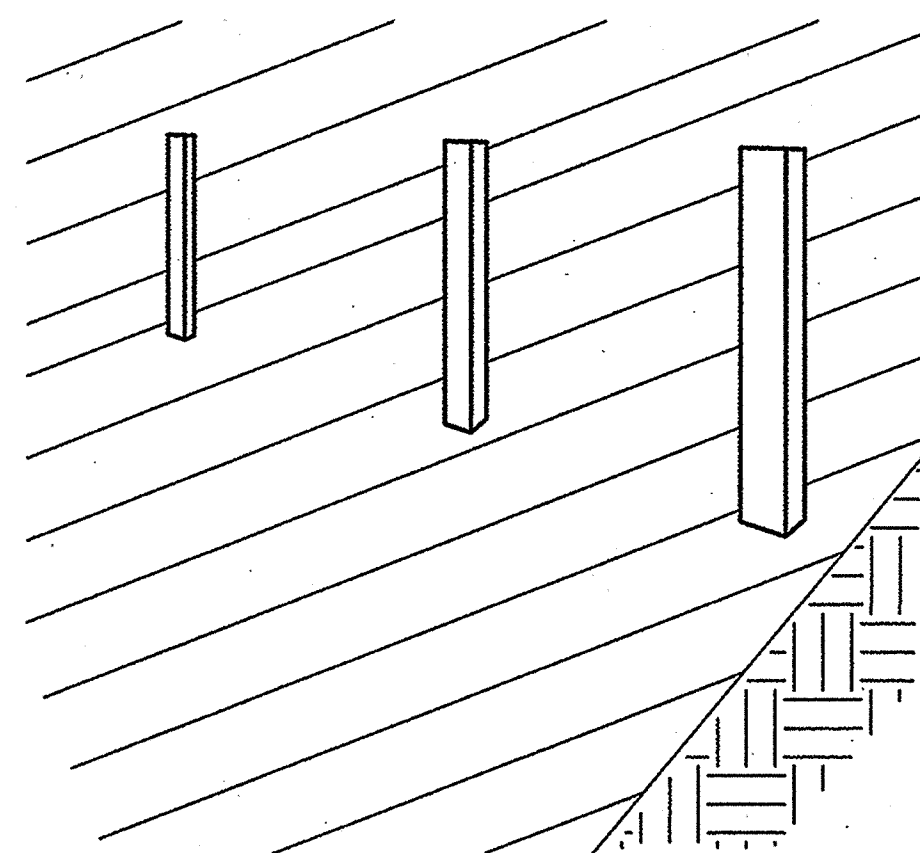
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRATE JR. TEXAS P.E. NO. 60102 ON 5/12/00

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ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2231 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972) 771-9004 FAX: (972) 771-9005

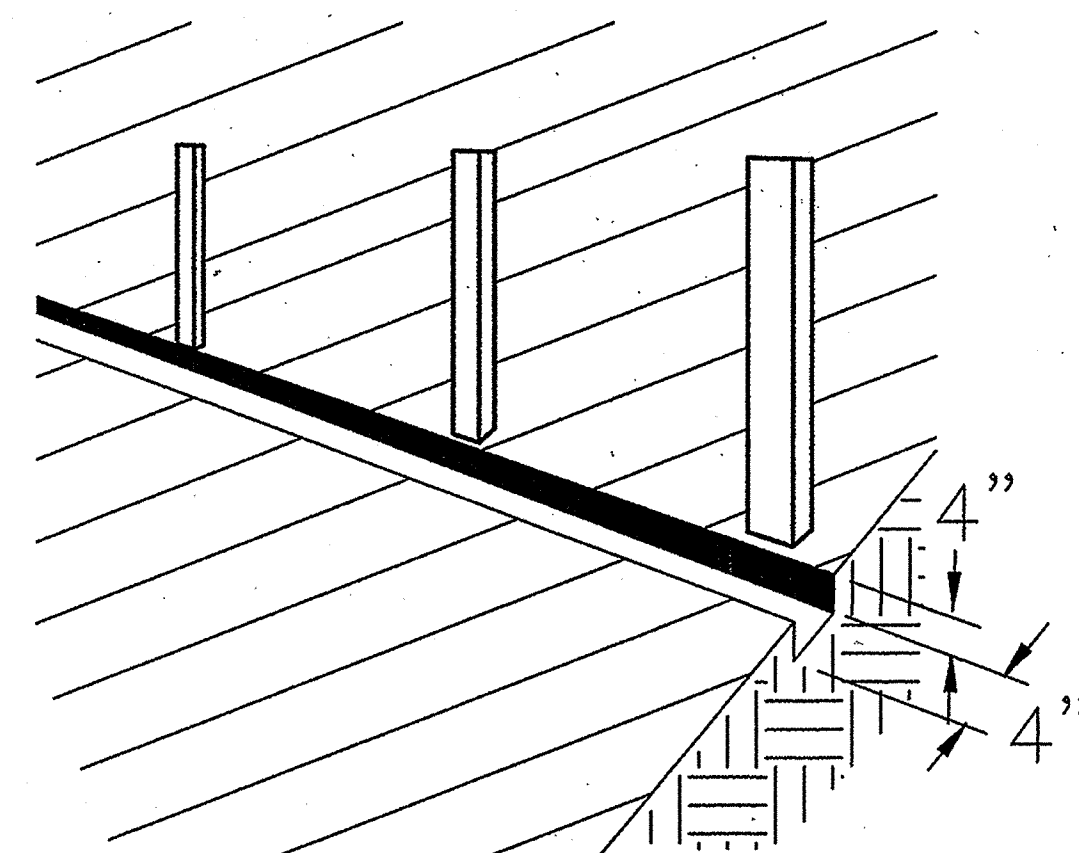
EROSION CONTROL PLAN
TARA
PHASE II
COLLIN COUNTY, TEXAS

REVISION
W.L.D. CHECKED
KEB. DRAWN
5/15/00 DATE
9948PH2ERO PROJECT

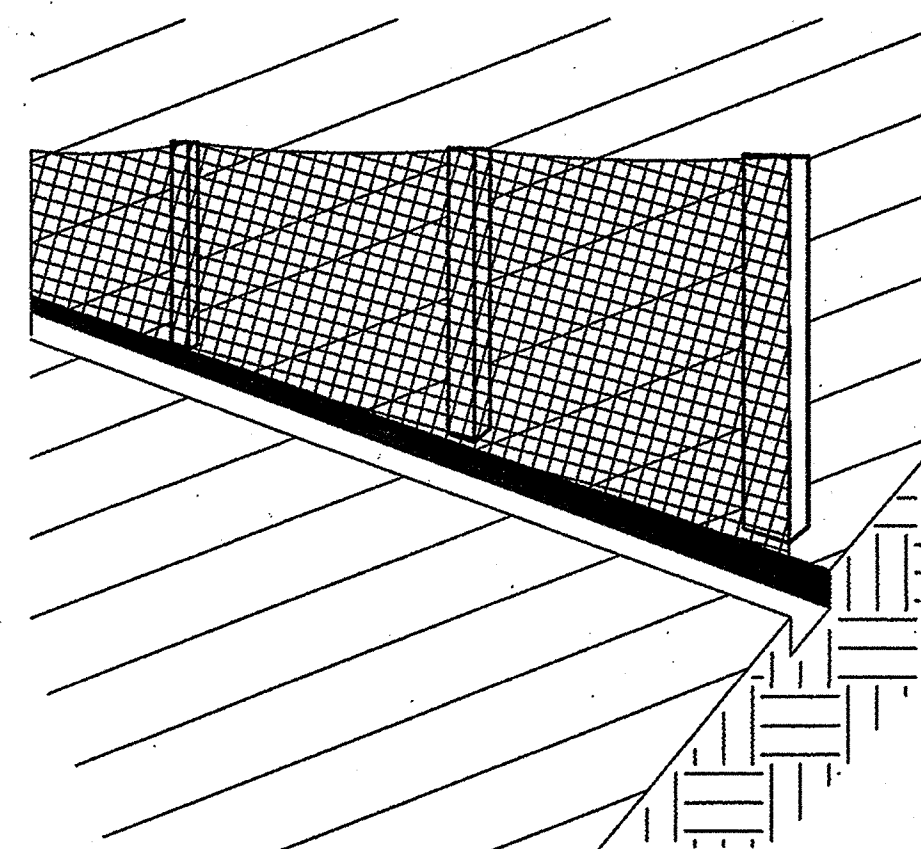
1. SET THE STAKES



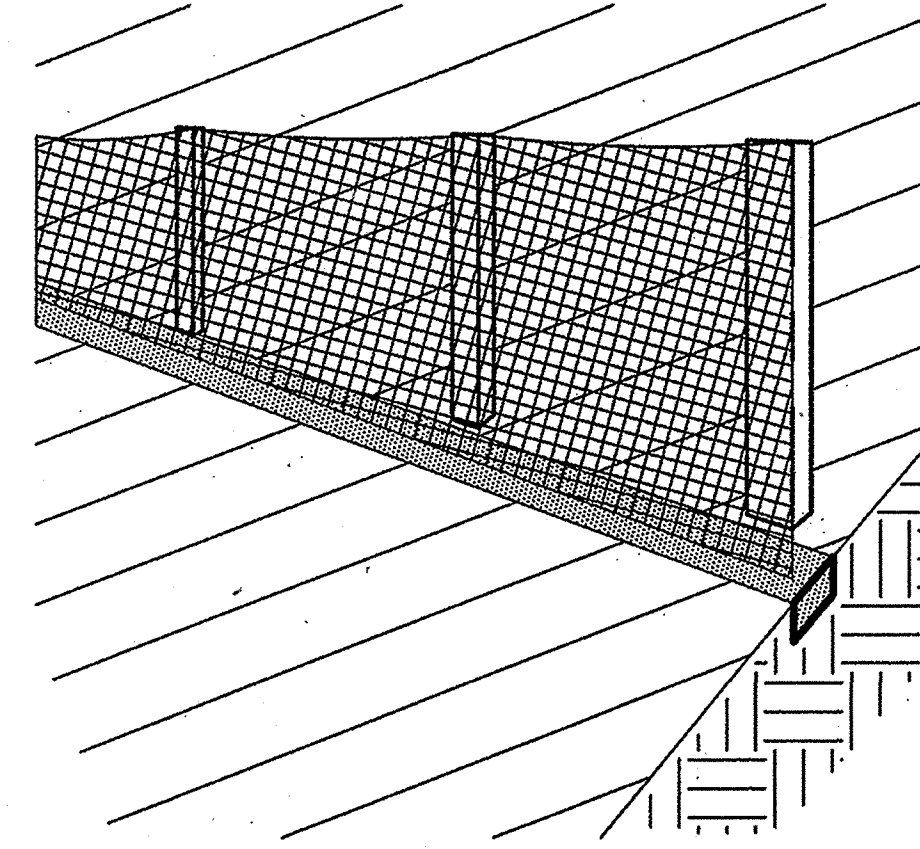
2. EXCAVATE A 4"x4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.



4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



CONSTRUCTION OF A FILTER BARRIER

N.T.S.

STANDARDS FOR SILT FENCE

DEFINITION

TEMPORARY BARRIER FENCE MADE OF BURLAP OR POLYPROPYLENE MATERIAL WHICH IS WATER PERMEABLE BUT WILL TRAP WATER - BORNE SEDIMENT.

PURPOSE

TO INTERCEPT AND DETAIN WATER - BORNE SEDIMENT FROM UNPROTECTED AREAS OF LIMITED EXTENT.

CONDITIONS WHERE PRACTICE APPLIES

SILT FENCE IS USED DURING THE PERIOD OF CONSTRUCTION NEAR THE PERIMETER OF A DISTURBED AREA TO INTERCEPT SEDIMENT WHILE ALLOWING WATER TO PERCOLATE THROUGH. THIS FENCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED. SILT FENCE SHOULD NOT BE USED WHERE THERE IS A CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY.

DESIGN CRITERIA

SILT FENCE IS CONSTRUCTED NEAR THE PERIMETER OF A DISTURBED SITE WITHIN THE DEVELOPING AREA. IT IS NOT TO BE CONSTRUCTED OUTSIDE THE PROPERTY LINES WITHOUT OBTAINING A LETTER OF PERMISSION FROM THE AFFECTED ADJACENT PROPERTY OWNERS.

A DESIGN IS NOT REQUIRED FOR THE INSTALLATION OF THE SILT FENCE. HOWEVER, THE FOLLOWING CRITERIA SHALL BE OBSERVED :

- DRAINAGE AREA - LESS THAN TWO ACRES
- HEIGHT - 30 INCHES MINIMUM HEIGHT MEASURED FROM EXISTING OR GRADED GROUND.
- MATERIAL - BURLAP, POLYPROPYLENE FABRIC, OR NYLON REINFORCED WITH POLYESTER NETTING. THE MULLEN BURST STRENGTH SHALL BE GREATER THAN 150 PSI. THE EDGES SHALL BE TREATED TO PREVENT UNRAVELING.
- SUPPORT - STEEL FENCE POSTS SPACED A MAXIMUM OF 8 FEET APART. WOVEN WIRE WILL BE USED TO SUPPORT THE MATERIAL.

OUTLET

SILT FENCE SHALL BE PLACED AND CONSTRUCTED IN SUCH A MANNER THAT RUNOFF FROM A DISTURBED SURFACE OR EXPOSED UPLAND AREA SHALL BE INTERCEPTED, SEDIMENT TRAPPED, AND THE SURFACE RUNOFF ALLOWED TO PERCOLATE THROUGH THE STRUCTURE.

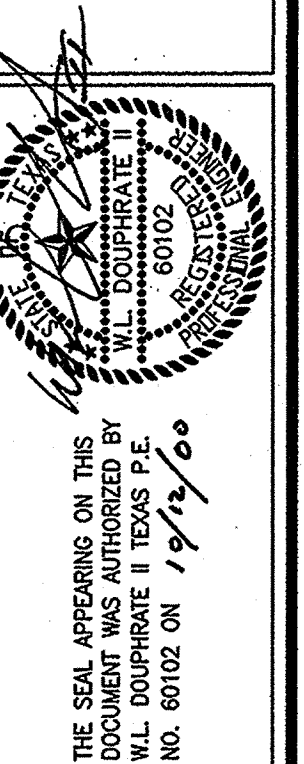
SILT FENCE SHALL BE PLACED IN SUCH A MANNER THAT SURFACE RUNOFF WHICH PERCOLATES THROUGH WILL FLOW ONTO AN UNDISTURBED STABILIZED AREA OR STABILIZED OUTLET.

EROSION CONTROL GENERAL NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
3. THE TRENCH SHOULD BE A MINIMUM OF 4 INCHES DEEP AND 4 INCHES WIDE TO ALLOW FOR THE SILT FENCE TO BE LAID IN THE GROUND AND BACKFILLED.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POSTS.
5. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES AND DISPOSED OF IN AN APPROVED SPOIL SITE OR AS IN NO. 7 ABOVE.
9. EROSION PROTECTION WILL BE DELETED OR ADDED PER THE CITY OF FATE.
10. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION.
11. ALL SEEDING AND FERTILIZATION OF DISTURBED AREAS WILL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.

RECORD DRAWINGS:

THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF Lucas. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF Lucas INSPECTED THE CONSTRUCTION. THE OWNER NOR ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED

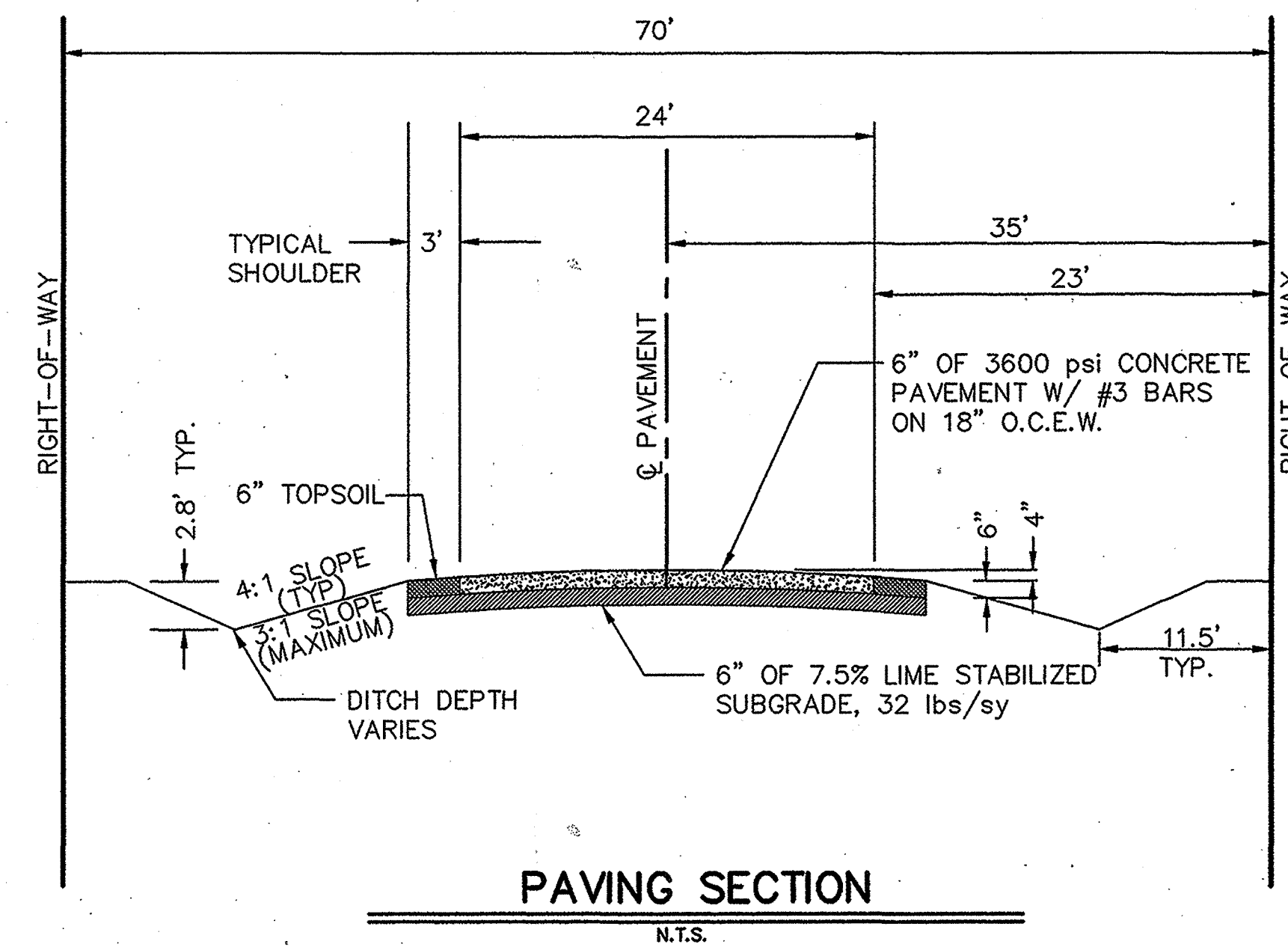
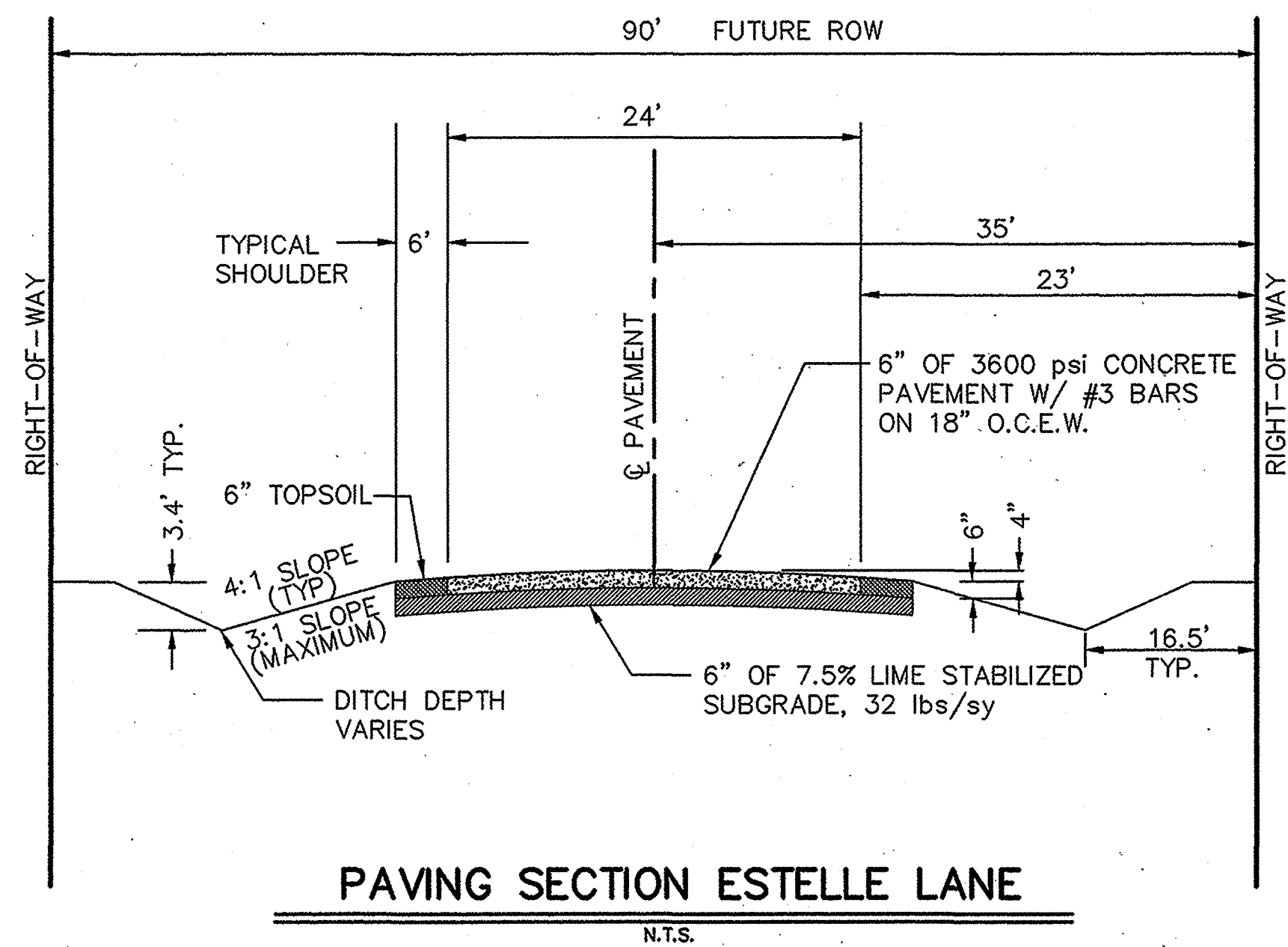


DOUPHRA
& ASSOCIATES, INC.
ENGINEERING - PROJECT MANAGEMENT - SURVEYING
2231 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

EROSION CONTROL DETAILS
TARA
PHASE II
COLLIN COUNTY, TEXAS

REVISION	
W.L.D. CHECKED	
K.E.B. DRAWN	
5/15/00 DATE	
9948PH2ERO2 PROJECT	

18
OF
19



PAVING DETAILS
TARA
PHASE ONE
LUCAS, COLLIN COUNTY, TEXAS

REVISION

W.L.D.
CHECKED

K.E.B.
DRAWN

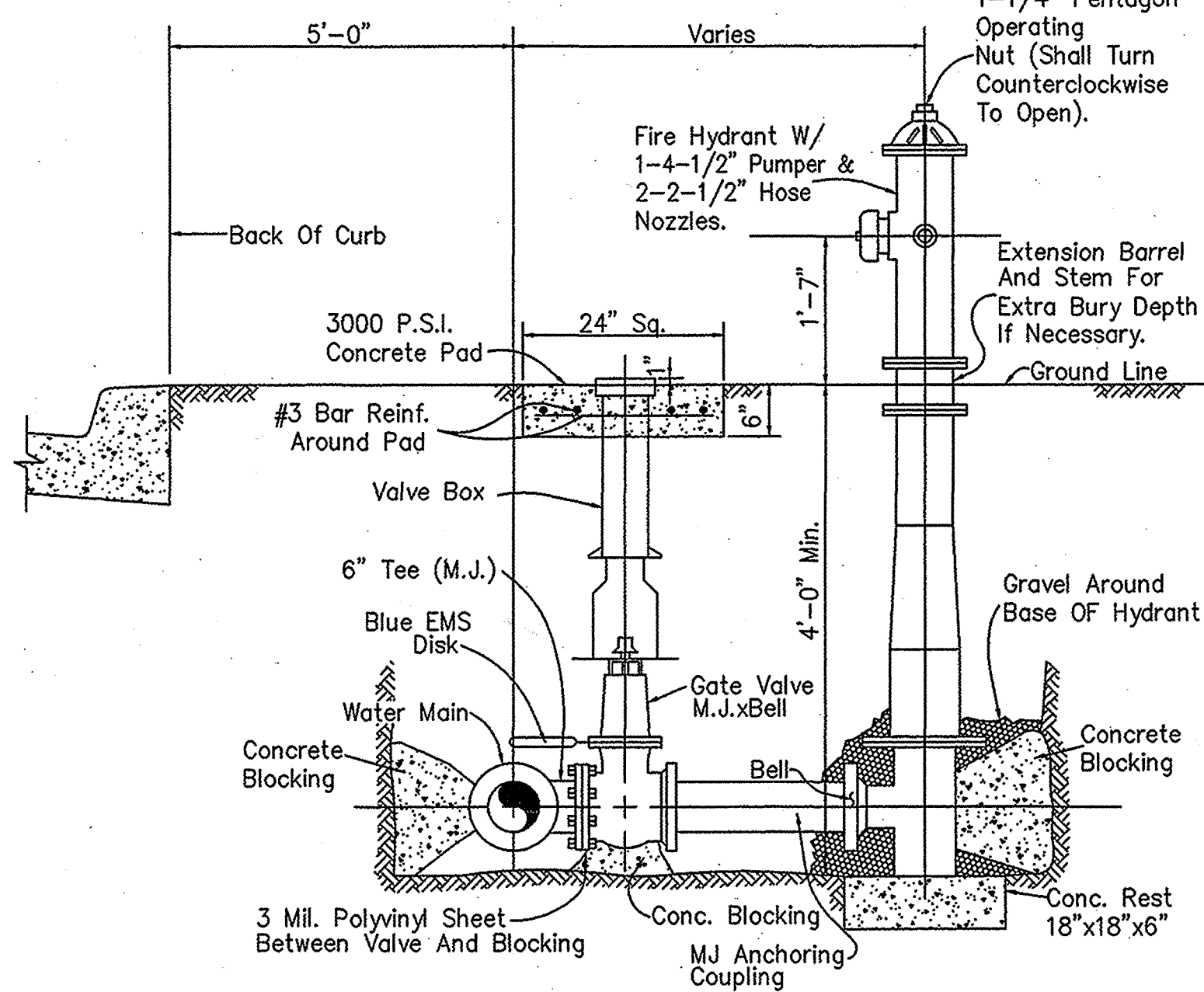
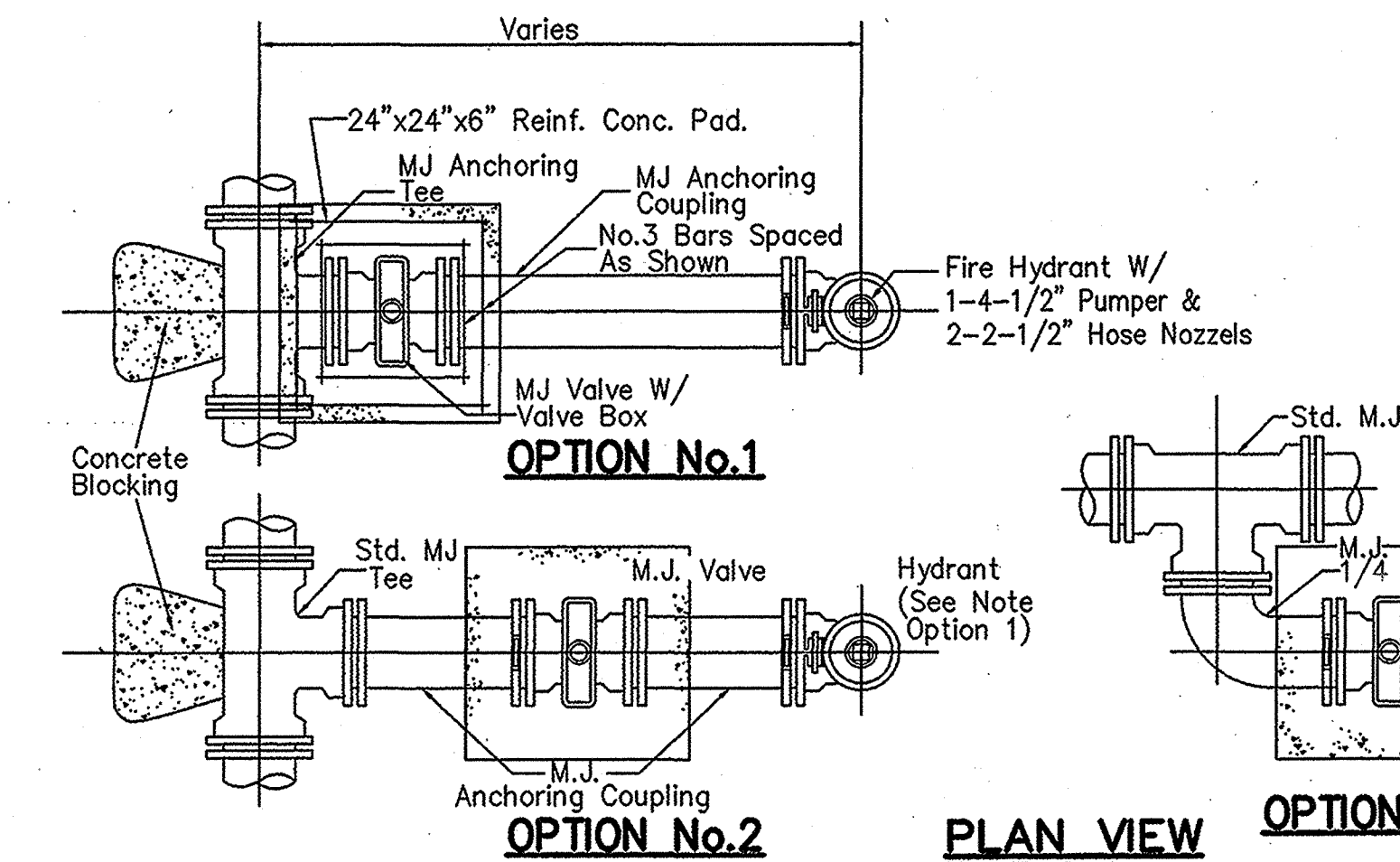
11/15/99
DATE

9948 PAVDET
PROJECT

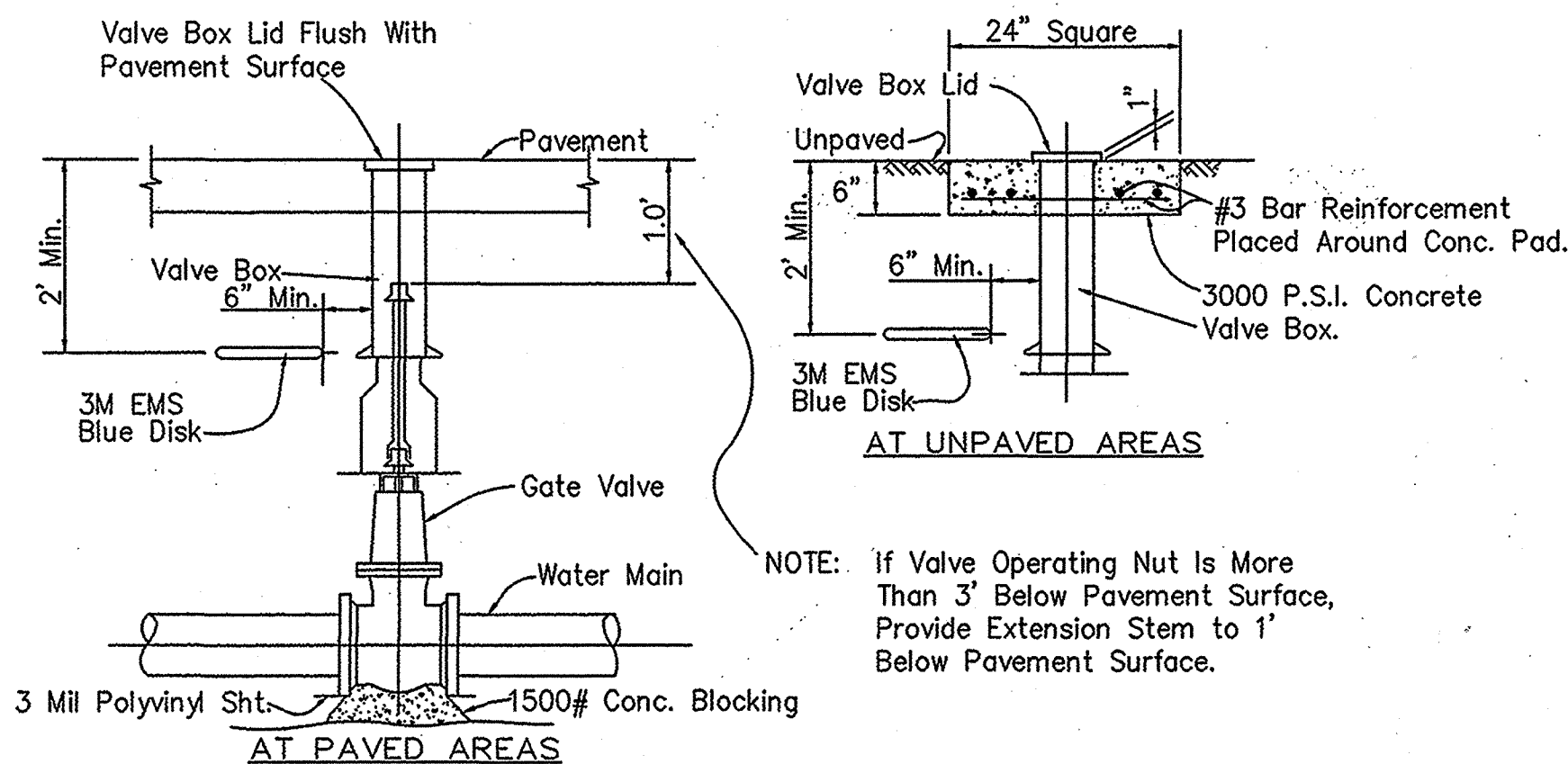
198
OF
19

DOUPHRATE & ASSOCIATES, INC.
 ENGINEERING • PROJECT MANAGEMENT • SURVEYING
 2231 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-9004 FAX: (972) 771-9005

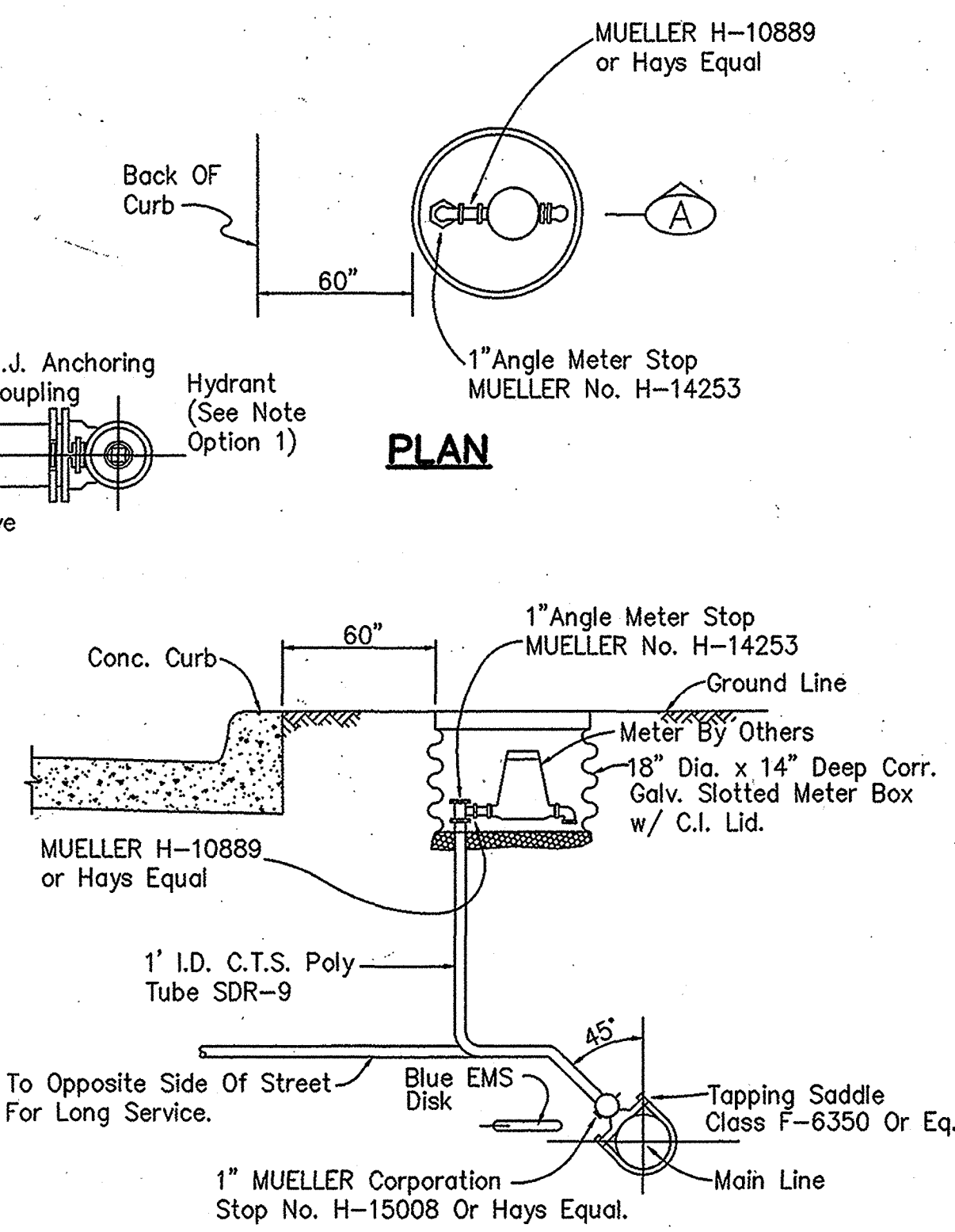
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY THE BOARD OF PROFESSIONAL ENGINEERS OF THE STATE OF TEXAS P.E. NO. 60102 ON 9/1/99



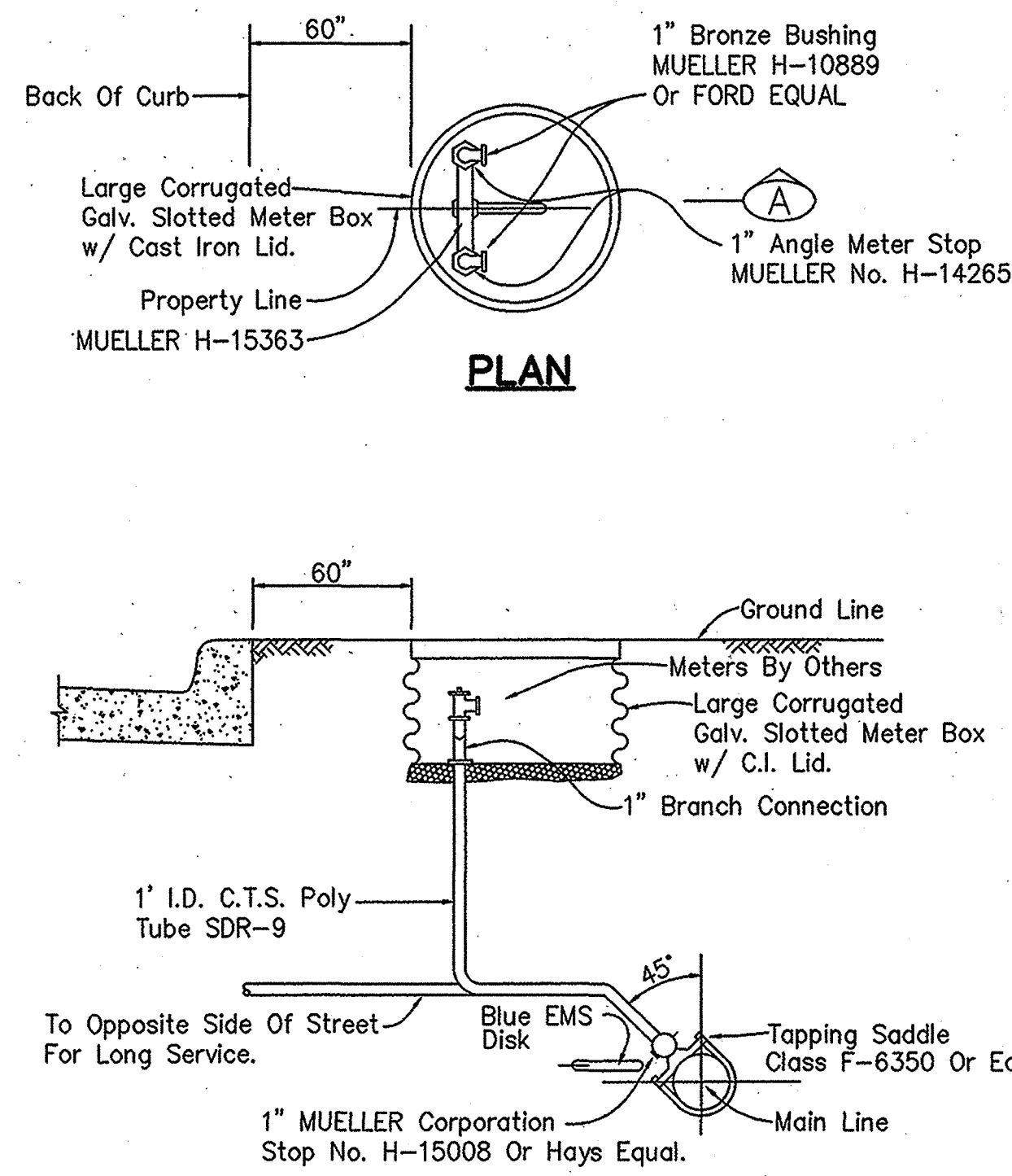
TYPICAL FIRE HYDRANT INSTALLATION
Not To Scale



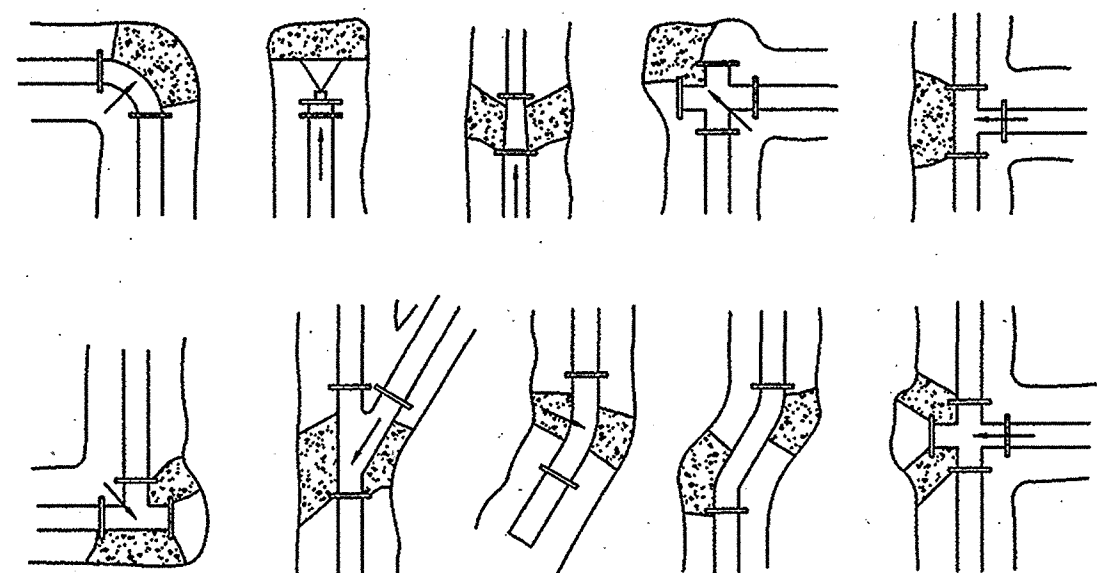
TYPICAL GATE VALVE AND BOX EXTENSION STEM DETAIL
Not To Scale



SECTION A
SINGLE SERVICE CONNECTION
Not To Scale



SECTION A
DOUBLE SERVICE CONNECTION
Not To Scale



TYPICAL THRUST BLOCKING DETAILS

- NOTES:**
- The earth bearing surface shall be undisturbed material. Keep all joints free from concrete. Thrust block to be constructed of 1,500 P.S.I. (20 day) concrete and placed as shown on "Typical Blocking Details" above.
 - It shall be the responsibility of the contractor to install adequate thrust blocking. The HORIZONTAL BLOCKING TABLE shows the minimum thrust blocking area required (in square feet) bearing against undisturbed trench wall.
 - All fittings shall be blocked regardless of the angle or direction, except as noted in the chart.
 - Soil bearing strength is assumed. To be 2,000 P.S.F. site conditions may vary which will require modifications to the blocking calculations.

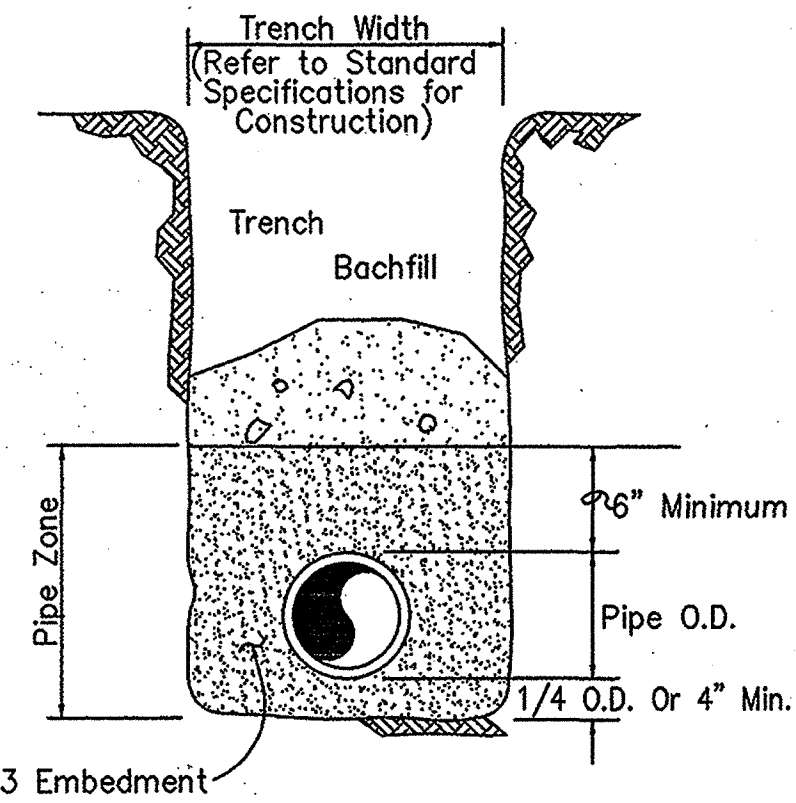
HORIZONTAL BLOCKING TABLE

AREA REQUIRED (IN SQUARE FEET) BEARING AGAINST UNDISTURBED TRENCH WALL

PIPE SIZE (IN.)	THRUST (POUNDS) DEAD END AND TEE	BLOCKING (SQUARE FEET)					
		DEAD END AND TEE	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND	5° DEFLECT
4	2,450	1.23	1.73	0.94	0.50	0.50	0.50
6	5,513	2.76	3.90	2.11	1.08	0.54	0.50
8	9,802	4.90	6.93	3.75	1.91	0.96	0.50
10	15,315	7.66	10.83	5.86	2.99	1.50	0.67
12	22,054	11.03	15.59	8.43	4.30	2.16	0.96

BASED ON 2,000 P.S.F. SOIL BEARING CAPACITY AND 195 P.S.I. LINE PRESSURE (150 P.S.I. WORKING PRESSURE PLUS 30% FOR WATER HAMMER.)

GRANULAR, TYPE 3, EMBEDMENT: Pit run granular embedment material shall be free flowing sand or mixed sand and pea gravel free from large stones, clay and organic material. The material may be an inferior grade of pit run or blow sand not normally considered satisfactory for concrete aggregate and may be used directly from pits without processing, provided it complies with the qualities described herein. The material shall be such that when wet it will not form a mud ball or tend to cling together. The material shall have 100% passing one inch (1") sieve, and the plasticity index of that part passing the 40 sieve is obtained from the City.



PIPE EMBEDMENT DETAIL

DOUPHRADE & ASSOCIATES
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

DETAILS
TARA
PHASE ONE
CITY OF LUCAS, COLLIN COUNTY TEXAS

REVISION
WLD.
CHECKED
DLB.
DRAWN
1/24/99
DATE
9948DET1
PROJECT