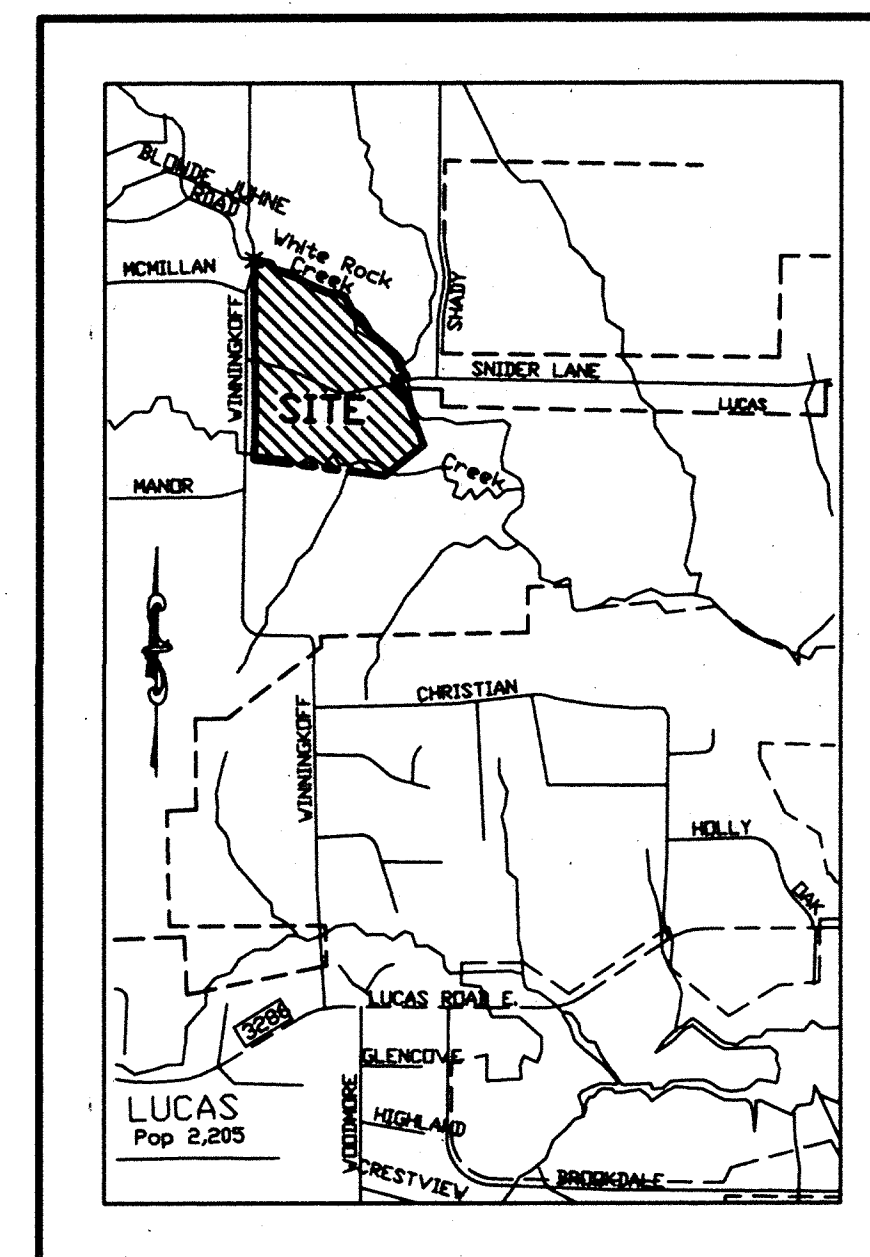


CIVIL CONSTRUCTION PLANS FOR CREEKWOOD ESTATES

JOHN THOMPSON SURVEY, ABSTRACT NO. 893
CITY OF LUCAS, COLLIN COUNTY, TEXAS
64.00 ACRES

GENERAL NOTES (APPLICABLE TO ALL SHEETS)

1. Excavated material shall be placed as directed by the Owner.
2. Construction shall meet the requirements of the latest revision of the Standards of Design and Standard Details for the City of Lucas.
3. All fill areas to be density controlled and compacted to 95% density at optimum moisture content.
4. Pavement thickness shall be a minimum of 6" thickness with a strength of 3000 psi at 28 days and reinforced with No.3 bar at 24" centers each way.
5. All streets shall be constructed with 7% lime stabilized subgrade compacted to 95% standard proctor density.
6. It shall be the responsibility of the Contractor to locate and verify all existing utilities prior to the beginning of construction to insure no conflicts between all utility lines.
7. Where water pipelines either cross or otherwise come within 9 feet of a sanitary sewer pipeline, the sewer pipeline shall be with a minimum working pressure Class 150 psi.
8. All water lines installed to be PVC pipe Class 150 conforming to AWWA Standard C-900, fitting shall be mechanical or O-ring.
9. All water lines are to be installed a minimum of 48" deep measured from top of pipe.
10. All storm inlets shall be cast-in-place.
11. Utility contractor shall use MEGALUGS when install the water line and double strap services when installing the services.
12. Water services shall be a minimum of 1" type k copper installed with two in-line nylon ball cutoff valves inside the meter box. Corporation cock shall be Mueller No. H-15000 w/ straight coupling nut or approved equal. Curb stops shall be Mueller No. H-15174 MK oriseal or approved equal.
13. All water lines shall be pressure tested and disinfected in accordance with AWWA C 601.
14. All gate valves shall be Mueller or approved equal and conform to AWWA C-500 specifications. All gate valves shall be iron body, bronze mounted, double disk, parallel seat, non-rising stem, internal wedging type.
15. All fire hydrants shall be located at the right-of-way line. All fire hydrants shall be Mueller or approved equal.



LOCATION MAP
1"=2000'

RECORD DRAWINGS:

THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF LUCAS. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF LUCAS INSPECTED THE CONSTRUCTION. THE OWNER NOR ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED.

SHEET INDEX

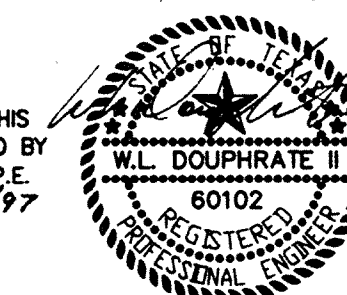
1. COVER SHEET
2. FILE PLAT
3. FILE PLAT
4. DRAINAGE AREA MAP
5. STORM SEWER + SWALE "B"
6. SWALE "A" & "C"
7. SWALE "D"
8. PAVING SHEET SNIDER COURT
9. PAVING SHEET BEVERLY CIRCLE
10. PAVING SHEET SUSAN CIRCLE
11. PAVING SHEET NATHA COURT
12. PAVING SHEET SNIDER LANE
13. WATER PLAN
14. GRADING PLAN
15. EROSION CONTROL
16. DETAILS WATER
17. DETAILS EROSION CONTROL
18. DETAILS HEADWALL
19. ENTRANCE SIGNS

NOTE: CONTRACTOR TO VERIFY IN THE FIELD THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. INFORMATION PROVIDED WITHIN THESE PLANS DOES NOT RELIEVE THE CONTRACTOR OF THE FULL AND TOTAL RESPONSIBILITY FOR THE PROTECTION OF EXISTING UTILITIES NOR ANY DAMAGES CAUSED BY SAID CONTRACTOR DURING CONSTRUCTION.

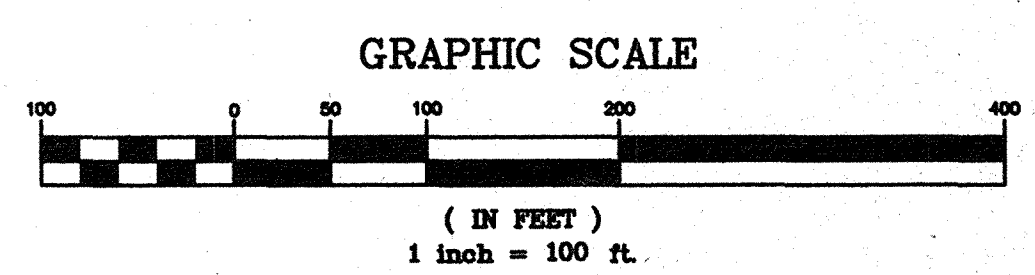
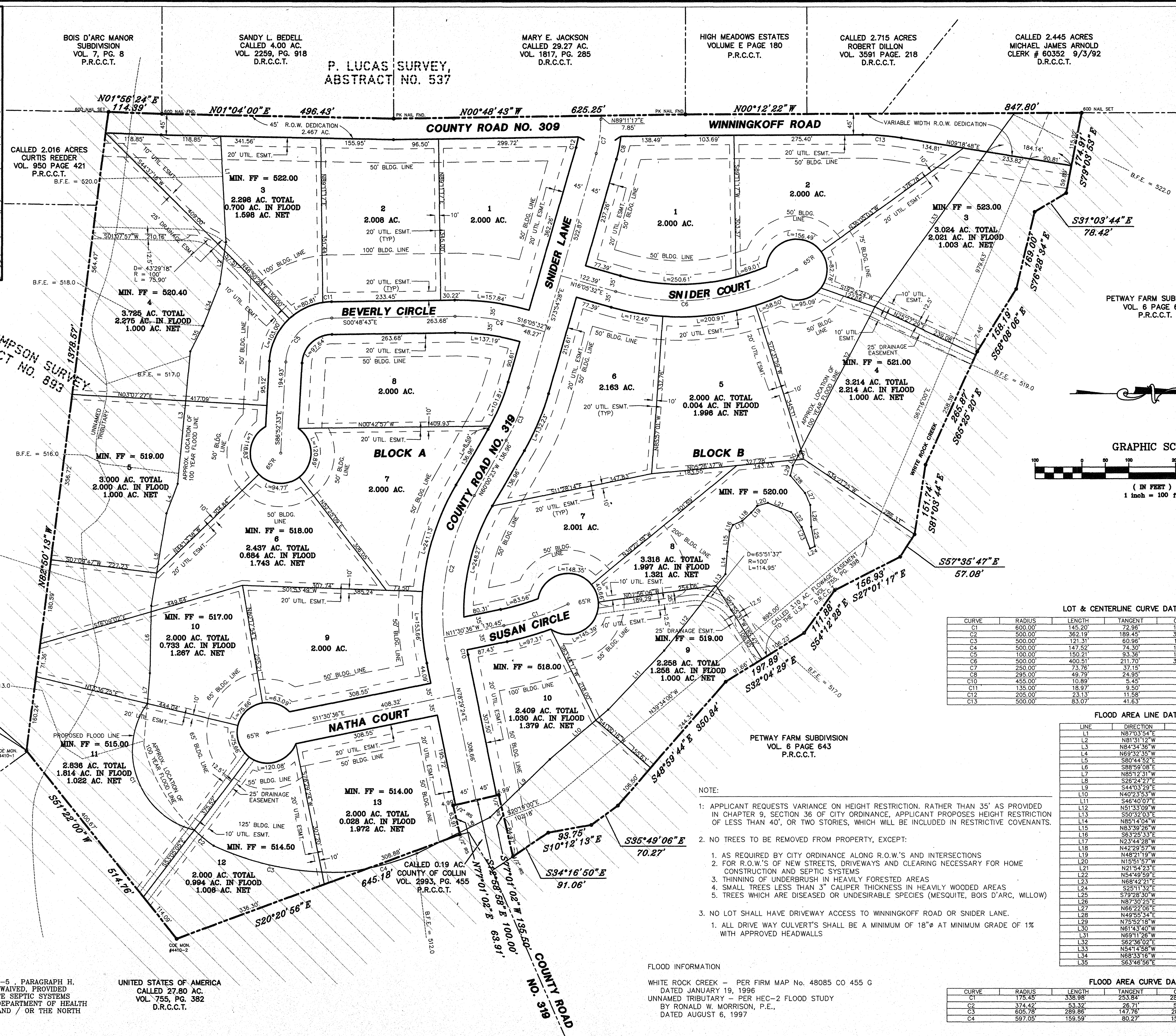
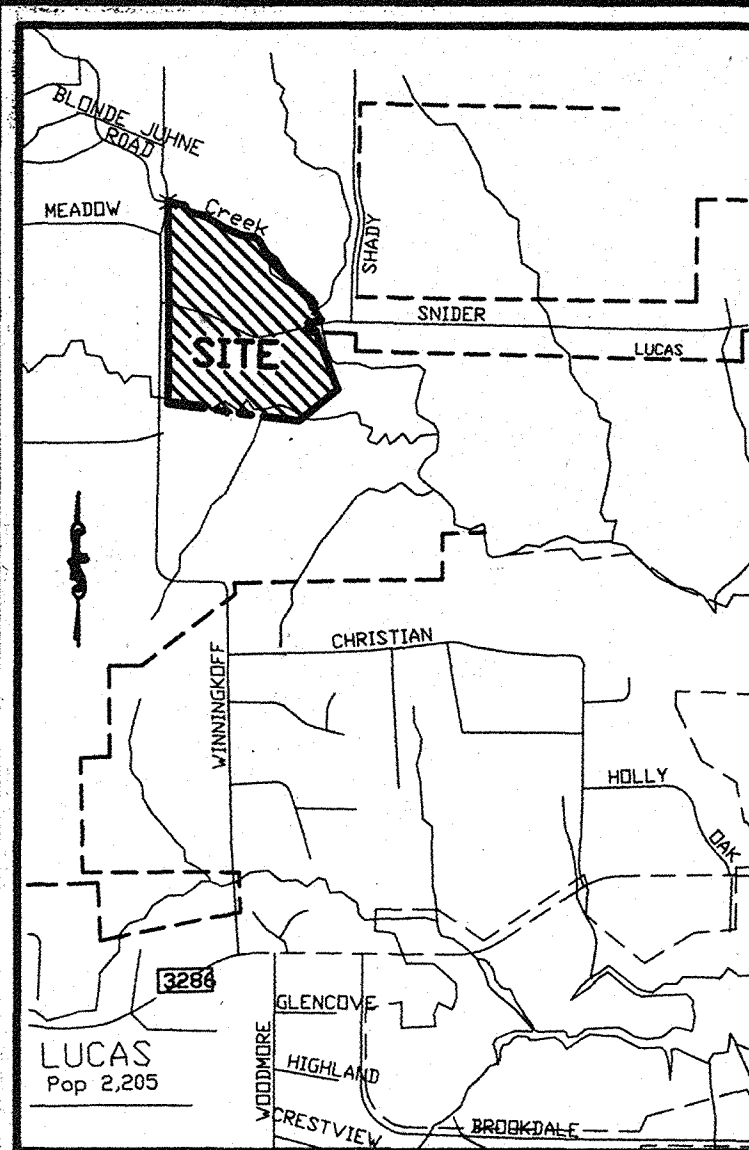
OWNER- J.R. BROWNING
C/O HOMESITE INVESTMENTS II, LTD.
9330 LBJ, SUITE 250
DALLAS, TEXAS 75243
(972) 889-9959

DOUPHRATE & ASSOCIATES
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRATE II TEXAS P.E. NO. 60102 ON 9/16/97



DATE: SEPTEMBER 12, 1997



LOT & CENTERLINE CURVE DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	600.00'	145.20'	72.96'	144.85'	S18°26'34"E	135°51'57"
C2	500.00'	362.19'	189.45'	354.32'	S80°45'29"E	41°30'13"
C3	500.00'	121.31'	60.96'	121.02'	S66°57'25"E	13°54'08"
C4	500.00'	147.52'	74.30'	146.98'	S07°39'24"W	18°54'15"
C5	100.00'	150.21'	93.36'	136.48'	N43°50'38"W	86°03'50"
C6	500.00'	400.51'	211.70'	389.89'	N06°51'19"W	45°53'42"
C7	250.00'	73.76'	37.15'	73.49'	S82°21'36"E	16°54'18"
C8	295.00'	49.79'	24.95'	49.73'	N78°44'34"W	09°40'11"
C9	455.00'	10.89'	5.45'	10.89'	N79°10'33"E	01°22'17"
C10	135.00'	18.97'	9.50'	18.96'	S04°50'18"E	08°03'11"
C11	205.00'	23.13'	11.58'	23.11'	N77°08'23"W	06°27'49"
C12	500.00'	83.07'	41.63'	82.98'	N04°33'13"E	09°31'10"

FLOOD AREA LINE DATA

LINE	DIRECTION	DISTANCE
L1	N87°03'54"E	226.99'
L2	N81°31'12"W	90.22'
L3	N84°34'36"W	284.39'
L4	N69°32'35"W	67.52'
L5	S80°44'52"E	200.90'
L6	S88°59'08"E	144.25'
L7	N85°12'31"W	65.51'
L8	S26°24'27"E	173.32'
L9	S44°03'28"E	177.94'
L10	N40°23'53"W	164.35'
L11	S46°40'07"E	174.08'
L12	N51°33'09"W	148.83'
L13	S50°32'03"E	60.07'
L14	N85°14'04"W	48.24'
L15	N83°39'26"W	43.52'
L16	S63°25'33"E	16.12'
L17	N23°44'28"W	21.89'
L18	N42°29'57"W	26.09'
L19	N48°21'19"W	19.30'
L20	N15°51'57"W	23.65'
L21	N21°54'23"E	53.39'
L22	N54°48'59"E	38.91'
L23	N68°42'21"E	49.87'
L24	S25°11'32"E	11.34'
L25	S79°28'30"W	42.96'
L26	N87°30'25"E	46.75'
L27	N66°22'08"E	28.06'
L28	N49°55'34"E	48.54'
L29	N75°52'18"W	22.29'
L30	N61°43'40"W	23.65'
L31	N69°12'26"W	10.07'
L32	S62°36'02"E	348.65'
L33	N54°14'58"W	510.59'
L34	N68°33'16"W	96.48'
L35	S63°46'56"E	61.50'

FLOOD AREA CURVE DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	175.45'	338.98'	175.45'	286.68'	S69°33'31"W	110°41'47"
C2	374.42'	53.32'	287.71'	53.28'	S38°42'07"W	08°03'36"
C3	605.78'	289.86'	147.76'	287.11'	N11°19'23"E	27°24'57"
C4	597.05'	159.59'	80.27'	159.12'	S14°46'51"E	15°18'54"

- NOTE:
1. APPLICANT REQUESTS VARIANCE ON HEIGHT RESTRICTION. RATHER THAN 35' AS PROVIDED IN CHAPTER 9, SECTION 36 OF CITY ORDINANCE, APPLICANT PROPOSES HEIGHT RESTRICTION OF LESS THAN 40', OR TWO STORIES, WHICH WILL BE INCLUDED IN RESTRICTIVE COVENANTS.
 2. NO TREES TO BE REMOVED FROM PROPERTY, EXCEPT:
 1. AS REQUIRED BY CITY ORDINANCE ALONG R.O.W.'S AND INTERSECTIONS
 2. FOR R.O.W.'S OF NEW STREETS, DRIVEWAYS AND CLEARING NECESSARY FOR HOME CONSTRUCTION AND SEPTIC SYSTEMS
 3. THINNING OF UNDERBRUSH IN HEAVILY FORESTED AREAS
 4. SMALL TREES LESS THAN 3" CALIPER THICKNESS IN HEAVILY WOODED AREAS
 5. TREES WHICH ARE DISEASED OR UNDESIRABLE SPECIES (MESQUITE, BOIS D'ARC, WILLOW)
 3. NO LOT SHALL HAVE DRIVEWAY ACCESS TO WINNINGKOFF ROAD OR SNIDER LANE.
 1. ALL DRIVE WAY CULVERTS SHALL BE A MINIMUM OF 18" @ MINIMUM GRADE OF 1% WITH APPROVED HEADWALLS

FLOOD INFORMATION
 WHITE ROCK CREEK - PER FIRM MAP No. 48085 CO 455 G
 DATED JANUARY 19, 1996
 UNNAMED TRIBUTARY - PER HEC-2 FLOOD STUDY
 BY RONALD W. MORRISON, P.E.,
 DATED AUGUST 6, 1997

NOTE:
 THE PROVISIONS OF CHAPTER 9, SECTION 9-5, PARAGRAPH H, OF THE LUCAS CODE OF ORDINANCES, ARE WAIVED, PROVIDED THAT ALL NECESSARY LICENSES FOR PRIVATE SEPTIC SYSTEMS ARE OBTAINED FROM THE COLLIN COUNTY DEPARTMENT OF HEALTH SERVICES AND ENVIRONMENTAL SERVICE'S, AND / OR THE NORTH TEXAS MUNICIPAL WATER DISTRICT.

UNITED STATES OF AMERICA
 CALLED 27.80 AC.
 VOL. 755, PG. 382
 D.R.C.C.T.

CALLED 0.19 AC.
 COUNTY OF COLLIN
 VOL. 2993, PG. 455
 P.R.C.C.T.

PETWAY FARM SUBDIVISION
 VOL. 6 PAGE 643
 P.R.C.C.T.

DOUPHRAE & ASSOCIATES
 ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
 P.O. BOX 1336 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

FINAL PLAT
 CREEKWOOD ESTATES
 64.00 AC. IN J. THOMPSON S.A. 893
 CITY OF LUCAS, COLLIN COUNTY TEXAS

REVISION
 WLD.
 CHECKED
 DLR
 DRAWN
 9/11/97
 DATE
 9706FPLT
 PROJECT

LEGAL DESCRIPTION

WHEREAS, HOMESITE INVESTMENTS II, LTD., A TEXAS LIMITED PARTNERSHIP, IS THE OWNER OF A TRACT OF LAND MORE FULLY DESCRIBED AS FOLLOWS:

BEING, 64.260 ACRES OF LAND SITUATED IN THE JOHN THOMPSON SURVEY, ABSTRACT NO. 893, COLLIN COUNTY, TEXAS, AND BEING A PART OF THAT CERTAIN CALLED 94 1/2 ACRE TRACT AS CONVEYED TO RAMON ESTEVE, JR. AND RECORDED IN VOLUME 693, PAGE 417 OF THE DEED RECORDS OF COLLIN COUNTY, TEXAS, SAID 64.260 ACRE TRACT TO BE MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING, AT A CORPS OF ENGINEERS MONUMENT NO. 4410-1 FOUND FOR THE SOUTHEAST CORNER, ALSO BEING THE SOUTHWEST CORNER OF THAT CERTAIN CALLED 27.80 ACRE TRACT CONVEYED TO THE UNITED STATES OF AMERICAN AND RECORDED IN VOLUME 755, PAGE 382 OF THE DEED RECORDS OF COLLIN COUNTY, TEXAS, AND THE NORTHEAST CORNER OF THE ROLLING HILLS ESTATES SUBDIVISION RECORDED IN VOLUME H, PAGE 10 OF THE PLAT RECORDS OF COLLIN COUNTY, TEXAS;

THENCE, NORTH 82°50'13" WEST, A DISTANCE OF 1378.57 FEET WITH THE SOUTH LINE OF SAID 94 1/2 ACRE TRACT AND WITH THE NORTH LINE OF SAID SUBDIVISION TO A 60D NAIL SET FOR THE OCCUPIED SOUTHWEST CORNER OF SAID 94 1/2 ACRE TRACT AND THE NORTHWEST CORNER OF A CALLED 2.016 ACRE TRACT AS RECORDED IN VOLUME 950, PAGE 421, OF SAID DEED RECORDS, AND BEING THE CENTERLINE OF COUNTY ROAD NO. 309 (WINNINGKOFF ROAD);

THENCE, ALONG SAID CENTERLINE NORTH 01°56'24" EAST, A DISTANCE OF 114.39 FEET TO A 60D NAIL FOUND FOR CORNER, BEING THE NORTHEAST CORNER OF THE BOIS D'ARC MANOR SUBDIVISION, AS RECORDED IN VOLUME 7, PAGE 8 OF SAID PLAT RECORDS, ALSO BEING THE SOUTHEAST CORNER OF THAT CERTAIN CALLED 4.00 ACRE TRACT CONVEYED TO SANDY L. BEDELL AND RECORDED IN VOLUME 2259, PAGE 918 OF SAID DEED RECORDS;

THENCE, CONTINUING ALONG SAID CENTERLINE NORTH 01°04'00" EAST, A DISTANCE OF 496.43 FEET TO A PK NAIL FOUND FOR CORNER, ALSO BEING THE NORTHEAST CORNER OF THE ABOVE MENTIONED CALLED 4.00 ACRE TRACT;

THENCE, NORTH 00°48'43" WEST, CONTINUING WITH SAID ROAD, A DISTANCE OF 625.25 FEET TO A PK NAIL FOUND FOR CORNER IN THE PAVEMENT, SAME BEING THE NORTHEAST CORNER OF THAT CERTAIN CALLED 29.27 ACRE TRACT CONVEYED TO MARY E. JACKSON AND RECORDED IN VOLUME 1817, PAGE 285, OF SAID DEED RECORDS, ALSO BEING THE SOUTHEAST CORNER OF THE HIGH MEADOWS ESTATES SUBDIVISION AS RECORDED IN VOLUME E, PAGE 180, OF SAID PLAT RECORDS;

THENCE, CONTINUING ALONG THE ABOVE MENTIONED CENTERLINE, NORTH 00°12'22" WEST, LEAVING SAID CENTERLINE AT 424.71 FEET AND CONTINUING WITH THE OCCUPIED WEST LINE OF SAID 94 1/2 ACRE TRACT FOR A TOTAL DISTANCE OF 847.80 FEET TO A 60D NAIL SET FOR THE OCCUPIED NORTHWEST CORNER OF SAID 94 1/2 ACRE TRACT BEING IN THE CENTERLINE OF WHITE ROCK CREEK;

THENCE, ALONG THE CENTERLINE OF WHITE ROCK CREEK, THE FOLLOWING:

SOUTH 79°03'53" EAST, 174.91 FEET;
SOUTH 31°03'44" EAST, 78.42 FEET;
SOUTH 76°28'34" EAST, 169.00 FEET;
SOUTH 58°08'06" EAST, 158.19 FEET;
SOUTH 65°25'20" EAST, 265.87 FEET;
SOUTH 81°03'44" EAST, 151.74 FEET;
SOUTH 57°35'47" EAST, 57.08 FEET;
SOUTH 27°01'17" EAST, 156.93 FEET;
SOUTH 54°12'28" EAST, 111.88 FEET;
SOUTH 32°04'29" EAST, 197.89 FEET;
SOUTH 48°59'44" EAST, 350.84 FEET;
SOUTH 35°49'06" EAST, 70.27 FEET;
SOUTH 10°12'13" EAST, 93.75 FEET;

SOUTH 34°16'50" EAST, 91.06 FEET TO A 1/2" REBAR SET IN THE NORTH LINE OF A CALLED 0.19 ACRE TRACT OF LAND CONVEYED TO RAMON M. ESTEVE, JR. TO COUNTY OF COLLIN IN A DEED DATED NOVEMBER 23, 1987 AND RECORDED IN VOLUME 2993, PAGE 455 OF SAID DEED RECORDS;

THENCE, S 77°01'02" WEST, A DISTANCE OF 135.50 FEET WITH THE NORTH LINE OF SAID 0.19 ACRE TRACT TO A 1/2" REBAR SET FOR THE NORTHWEST CORNER OF SAME;

THENCE, SOUTH 12°58'58" EAST, WITH THE MOST WESTERLY WEST LINE OF SAID 0.19 ACRE TRACT, CROSSING THE CENTERLINE OF COUNTY ROAD NO. 319 (SNIDER LANE) AT 50.00 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 100.00 FEET TO A 1/2" REBAR SET FOR THE SOUTHEAST CORNER OF SAME;

THENCE, NORTH 77°01'02" EAST, A DISTANCE OF 63.91 FEET WITH THE MOST WESTERLY SOUTH LINE OF SAID 0.19 ACRE TRACT TO A 1/2" REBAR SET FOR THE MOST SOUTHERLY SOUTHEAST CORNER OF SAME, BEING IN THE WEST LINE OF SAID 27.80 ACRE TRACT;

THENCE, SOUTH 20°20'56" EAST, A DISTANCE OF 645.18 FEET TO A CORPS OF ENGINEERS MONUMENT NO. 4410-2 FOUND FOR THE EAST CORNER, ALSO BEING AN INTERIOR CORNER OF THE ABOVE MENTIONED CALLED 27.80 ACRE TRACT;

THENCE, SOUTH 51°22'00" WEST, A DISTANCE OF 514.76 FEET BACK TO THE PLACE OF BEGINNING AND CONTAINING 2,787,843 SQUARE FEET OR 64.000 ACRES OF LAND OF WHICH 2.991 ACRES IS WITHIN THE OCCUPIED RIGHT-OF-WAY OF COUNTY ROAD NO. 309 (WINNINGKOFF ROAD) AND COUNTY ROAD NO. 319 (SNIDER LANE), LEAVING A NET ACREAGE OF 61.009 ACRE OF LAND.

NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, J.R. BROWNING, PRESIDENT OF SPIREHAVEN INVESTMENTS, INC. THE GENERAL PARTNER OF HOMESITE INVESTMENTS II, LTD. HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS CREEKWOOD ESTATES, AN ADDITION TO THE CITY OF LUCAS, COLLIN COUNTY, TEXAS, AND DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE PUBLIC STREETS LABELED AS SUCH HEREON; AND DOES DEDICATE THE EASEMENTS SHOWN ON THE PLAT FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING SAME.

NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE "UTILITY EASEMENT" AS SHOWN, SAID "UTILITY EASEMENT" BEING HEREBY RESERVED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING SAME, ALL AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF THE BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OR ITS RESPECTIVE SYSTEM ON THE "UTILITY EASEMENT" AND ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF EGRESS TO OR FROM AND UPON THE SAID "UTILITY EASEMENT" FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS, WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS OF THE CITY OF LUCAS, TEXAS.

WITNESS MY HAND AT DALLAS, TEXAS THIS 7th DAY OF April, 1998.

J.R. Browning
J.R. BROWNING, PRESIDENT
SPIREHAVEN INVESTMENTS, INC.

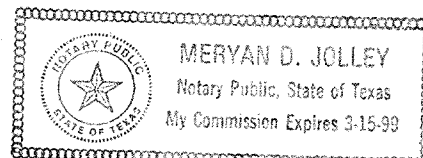
STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, on this day personally appeared J.R. Browning, President, of SPIREHAVEN INVESTMENTS, INC., the General Partner of HOMESITE INVESTMENTS II, LTD., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 7th Day of April, 1998.

Maryann D. Jolley
Notary Public in and for the State of Texas

My Commission Expires: 3-15-99



This lien holder of the property which is subject to this plat does hereby join in the dedication of all streets and easements as shown on the final plat of CREEKWOOD ESTATES.

Thomas M. Risley
FIRST STATE BANK OF TEXAS
THOMAS M. RISLEY, SENIOR VICE PRESIDENT

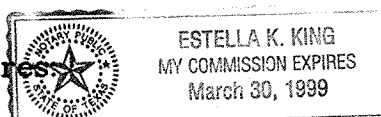
STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, on this day personally appeared Thomas M. Risley, Senior Vice President of First State Bank of Texas, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 7th Day of April, 1998.

Estella K. King
Notary Public in and for the State of Texas

My Commission Expires: March 30, 1999



SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, KENNETH E. BROWN, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Kenneth E. Brown
KENNETH E. BROWN, R.P.L.S. NO. 2062



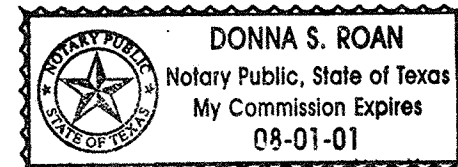
STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, on this day personally appeared Kenneth E. Brown, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 6th day of April, 1998.

Donna S. Roan
Notary Public in and for the State of Texas

My Commission Expires: 08-01-01



"RECOMMENDED FOR APPROVAL"

Richard W. Hays
Chairperson, Planning And Zoning Commission
City of Lucas, Texas

4/14/98
Date

"APPROVED FOR CONSTRUCTION"

Paul H. Curran
Mayor
City of Lucas, Texas

4-14-98
Date

The undersigned, the City Secretary of the City of Lucas, Texas, hereby certifies that the foregoing final plat of the CREEKWOOD ESTATES 6th subdivision or addition to the City of Lucas was submitted to the City Council on the 6th day of October, 1997, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.

Witness my hand this 14th day of April, A.D. 1998.

John D. Hays
City Secretary
City of Lucas, Texas



Filed for Record in:
COLLIN COUNTY, TX
HONORABLE HELEN STARNES
On 1998/04/16
At 10:02A K280
Number: 98-0036899
Type: PL 26.00

DOUPHRAE & ASSOCIATES
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT

P.O. BOX 1336
ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

FINAL PLAT
CREEKWOOD ESTATES
64.00 AC. IN J. THOMPSON S.A. 893
CITY OF LUCAS, COLLIN COUNTY TEXAS

REVISION

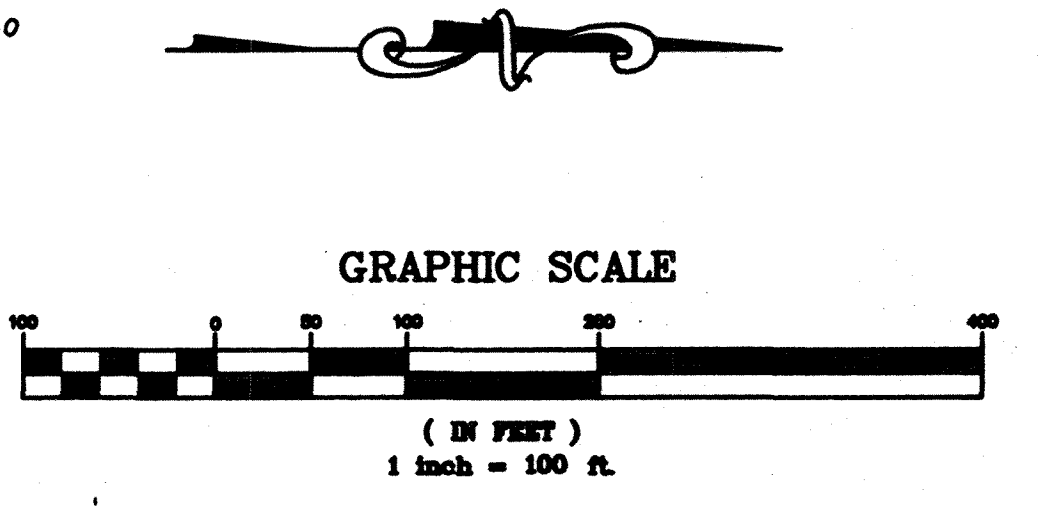
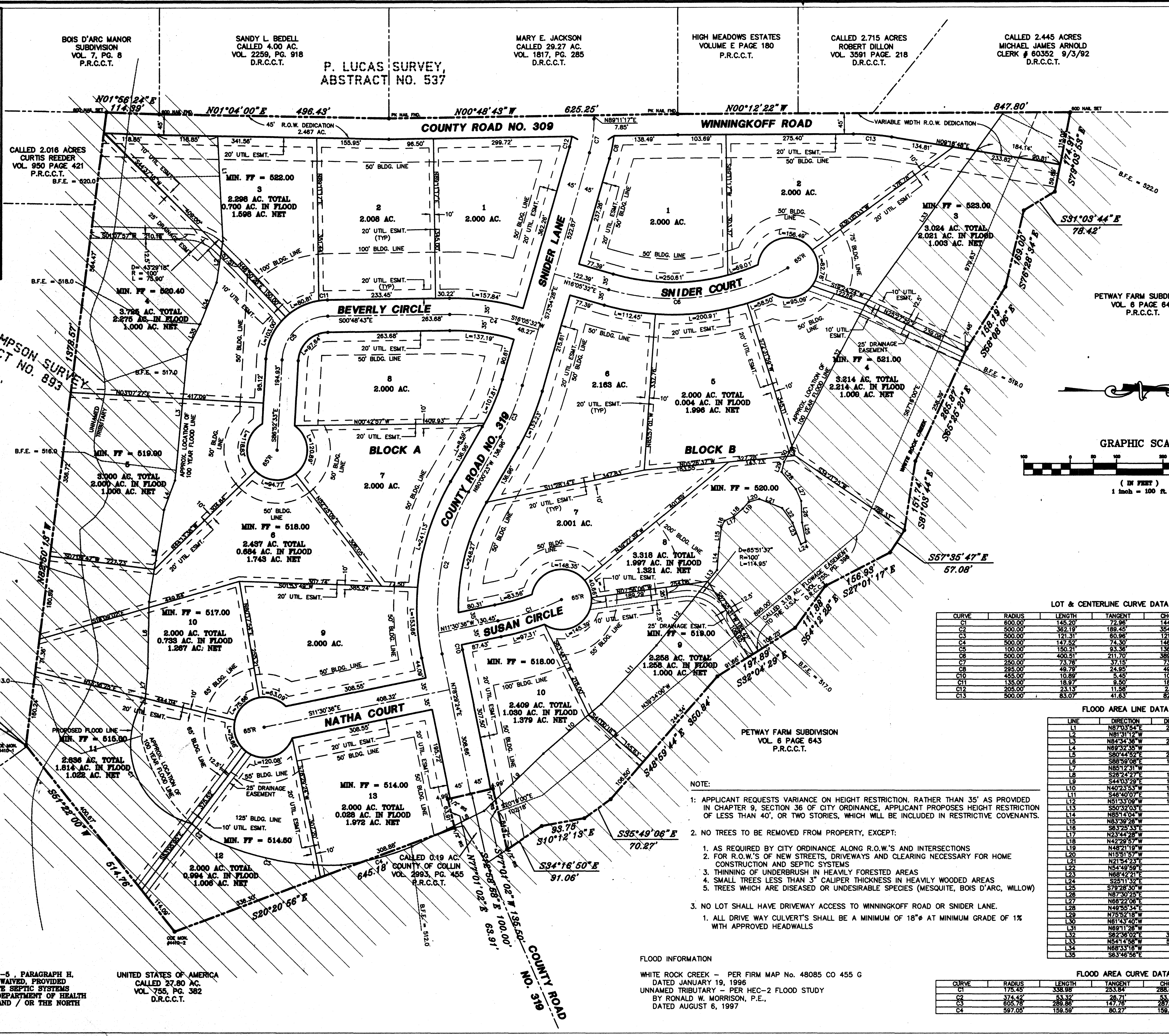
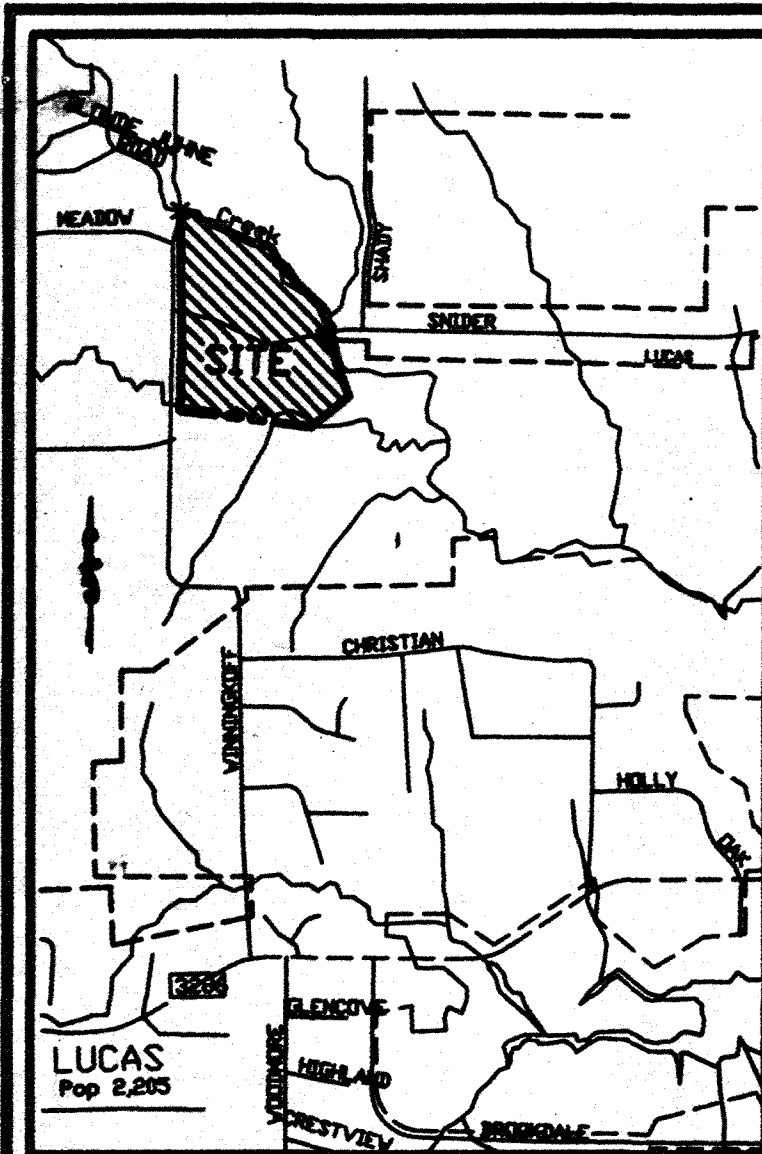
WLD.
CHECKED

DLB
DRAWN

10/7/97
DATE

9708PLT2
PROJECT

2
OF
2



LOT & CENTERLINE CURVE DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	600.00	145.20	72.96	144.85	S18°28'34\"	135°19'57\"
C2	500.00	382.19	188.45	354.32	S80°48'29\"	41°30'13\"
C3	500.00	121.31	60.96	121.02	S86°57'25\"	135°40'08\"
C4	300.00	147.52	74.57	146.88	S07°38'24\"	165°41'15\"
C5	100.00	150.21	93.36	136.48	N43°50'38\"	86°03'50\"
C6	500.00	400.51	211.70	388.89	N06°51'19\"	45°53'42\"
C7	250.00	73.78	37.15	73.49	S82°21'36\"	165°41'15\"
C8	295.00	48.78	24.85	48.73	N78°44'54\"	09°40'11\"
C9	435.00	10.89	5.45	10.89	N78°10'33\"	01°22'17\"
C10	135.00	18.97	9.50	18.96	S04°50'18\"	08°03'11\"
C11	205.00	23.13	11.58	23.11	N77°08'23\"	06°27'49\"
C12	500.00	83.07	41.53	82.98	N04°33'13\"	09°31'10\"

FLOOD AREA LINE DATA

LINE	DIRECTION	DISTANCE
L1	N87°03'54\"	226.99
L2	N81°31'12\"	90.22
L3	N84°34'36\"	284.39
L4	N69°32'38\"	67.22
L5	S00°44'52\"	200.60
L6	S88°39'08\"	144.25
L7	N85°12'31\"	85.51
L8	S26°24'27\"	173.32
L9	S44°03'29\"	177.84
L10	N40°23'53\"	164.35
L11	S46°40'07\"	174.08
L12	N51°33'09\"	148.83
L13	S50°32'03\"	60.07
L14	N85°14'04\"	48.23
L15	N83°39'28\"	43.92
L16	S83°25'33\"	16.12
L17	N23°44'28\"	21.89
L18	N42°28'57\"	26.09
L19	N48°21'19\"	19.30
L20	N15°51'57\"	23.65
L21	N21°54'23\"	53.39
L22	N44°49'59\"	38.51
L23	N68°42'21\"	49.87
L24	S25°11'32\"	11.34
L25	S79°28'30\"	42.98
L26	N87°50'29\"	46.75
L27	N86°22'08\"	28.08
L28	N49°55'34\"	48.54
L29	N75°52'18\"	22.29
L30	N61°43'40\"	23.65
L31	N89°11'28\"	10.07
L32	S82°38'02\"	348.65
L33	N84°14'58\"	510.59
L34	N68°33'16\"	98.48
L35	S83°46'56\"	61.50

- NOTE:
1. APPLICANT REQUESTS VARIANCE ON HEIGHT RESTRICTION, RATHER THAN 35' AS PROVIDED IN CHAPTER 9, SECTION 36 OF CITY ORDINANCE, APPLICANT PROPOSES HEIGHT RESTRICTION OF LESS THAN 40', OR TWO STORIES, WHICH WILL BE INCLUDED IN RESTRICTIVE COVENANTS.
 2. NO TREES TO BE REMOVED FROM PROPERTY, EXCEPT:
 1. AS REQUIRED BY CITY ORDINANCE ALONG R.O.W.'S AND INTERSECTIONS
 2. FOR R.O.W.'S OF NEW STREETS, DRIVEWAYS AND CLEARING NECESSARY FOR HOME CONSTRUCTION AND SEPTIC SYSTEMS
 3. THINNING OF UNDERBRUSH IN HEAVILY FORESTED AREAS
 4. SMALL TREES LESS THAN 3\"
 5. TREES WHICH ARE DISEASED OR UNDESIRABLE SPECIES (MESQUITE, BOIS D'ARC, WILLOW)
 3. NO LOT SHALL HAVE DRIVEWAY ACCESS TO WINNINGKOFF ROAD OR SNIDER LANE.
 1. ALL DRIVE WAY CULVERTS SHALL BE A MINIMUM OF 18\"

FLOOD INFORMATION
 WHITE ROCK CREEK - PER FIRM MAP No. 48085 CO 455 G
 DATED JANUARY 19, 1996
 UNNAMED TRIBUTARY - PER HEC-2 FLOOD STUDY
 BY RONALD W. MORRISON, P.E.,
 DATED AUGUST 6, 1997

FLOOD AREA CURVE DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	175.45	338.98	175.45	288.86	S89°33'31\"	110°41'47\"
C2	374.42	53.32	28.71	53.28	S38°42'02\"	08°09'36\"
C3	605.78	289.86	147.76	287.11	N11°19'23\"	27°24'57\"
C4	597.05	159.59	80.27	159.12	S14°46'51\"	15°18'54\"

NOTE:
 THE PROVISIONS OF CHAPTER 9, SECTION 9-5, PARAGRAPH H, OF THE LUCAS CODE OF ORDINANCES, ARE WAIVED, PROVIDED THAT ALL NECESSARY LICENSES FOR PRIVATE SEPTIC SYSTEMS ARE OBTAINED FROM THE COLLIN COUNTY DEPARTMENT OF HEALTH SERVICES AND ENVIRONMENTAL SERVICES, AND / OR THE NORTH TEXAS MUNICIPAL WATER DISTRICT.

UNITED STATES OF AMERICA
 CALLED 27.80 AC.
 VOL. 755, PG. 382
 D.R.C.C.T.

DOUPHRAITE & ASSOCIATES
 ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
 P.O. BOX 1336 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

FINAL PLAT
 CREEKWOOD ESTATES
 64.00 AC. IN J. THOMPSON S.A. 893
 CITY OF LUCAS, COLLIN COUNTY TEXAS

REVISION
 W.L.D.
 CHECKED
 D.L.B.
 DRAWN
 9/18/97
 DATE
 9708FFLT
 PROJECT

LEGAL DESCRIPTION

WHEREAS, HOMESITE INVESTMENTS II, LTD., A TEXAS LIMITED PARTNERSHIP, IS THE OWNER OF A TRACT OF LAND MORE FULLY DESCRIBED AS FOLLOWS:

BEING, 64.280 ACRES OF LAND SITUATED IN THE JOHN THOMPSON SURVEY, ABSTRACT NO. 893, COLLIN COUNTY, TEXAS, AND BEING A PART OF THAT CERTAIN CALLED 94 1/2 ACRE TRACT AS CONVEYED TO RAMON ESTEVE, JR. AND RECORDED IN VOLUME 693, PAGE 417 OF THE DEED RECORDS OF COLLIN COUNTY, TEXAS, SAID 64.280 ACRE TRACT TO BE MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING, AT A CORPS OF ENGINEERS MONUMENT NO. 4410-1 FOUND FOR THE SOUTHEAST CORNER, ALSO BEING THE SOUTHWEST CORNER OF THAT CERTAIN CALLED 27.80 ACRE TRACT CONVEYED TO THE UNITED STATES OF AMERICAN AND RECORDED IN VOLUME 755, PAGE 382 OF THE DEED RECORDS OF COLLIN COUNTY, TEXAS, AND THE NORTHEAST CORNER OF THE ROLLING HILLS ESTATES SUBDIVISION RECORDED IN VOLUME H, PAGE 10 OF THE PLAT RECORDS OF COLLIN COUNTY, TEXAS;

THENCE, NORTH 82°50'13" WEST, A DISTANCE OF 1378.57 FEET WITH THE SOUTH LINE OF SAID 94 1/2 ACRE TRACT AND WITH THE NORTH LINE OF SAID SUBDIVISION TO A 80D NAIL SET FOR THE OCCUPIED SOUTHWEST CORNER OF SAID 94 1/2 ACRE TRACT AND THE NORTHWEST CORNER OF A CALLED 2.016 ACRE TRACT AS RECORDED IN VOLUME 950, PAGE 421, OF SAID DEED RECORDS, AND BEING THE CENTERLINE OF COUNTY ROAD NO. 309 (WINNINGKOFF ROAD);

THENCE, ALONG SAID CENTERLINE NORTH 01°56'24" EAST, A DISTANCE OF 114.39 FEET TO A 60D NAIL FOUND FOR CORNER, BEING THE NORTHEAST CORNER OF THE BOIS D'ARC MANOR SUBDIVISION, AS RECORDED IN VOLUME 7, PAGE 8 OF SAID PLAT RECORDS, ALSO BEING THE SOUTHEAST CORNER OF THAT CERTAIN CALLED 4.00 ACRE TRACT CONVEYED TO SANDY L. BEDELL AND RECORDED IN VOLUME 2259, PAGE 918 OF SAID DEED RECORDS;

THENCE, CONTINUING ALONG SAID CENTERLINE NORTH 01°04'00" EAST, A DISTANCE OF 496.43 FEET TO A PK NAIL FOUND FOR CORNER, ALSO BEING THE NORTHEAST CORNER OF THE ABOVE MENTIONED CALLED 4.00 ACRE TRACT;

THENCE, NORTH 00°48'43" WEST, CONTINUING WITH SAID ROAD, A DISTANCE OF 625.25 FEET TO A PK NAIL FOUND FOR CORNER IN THE PAVEMENT, SAME BEING THE NORTHEAST CORNER OF THAT CERTAIN CALLED 29.27 ACRE TRACT CONVEYED TO MARY E. JACKSON AND RECORDED IN VOLUME 1817, PAGE 285, OF SAID DEED RECORDS, ALSO BEING THE SOUTHEAST CORNER OF THE HIGH MEADOWS ESTATES SUBDIVISION AS RECORDED IN VOLUME E, PAGE 180, OF SAID PLAT RECORDS;

THENCE, CONTINUING ALONG THE ABOVE MENTIONED CENTERLINE, NORTH 00°12'22" WEST, LEAVING SAID CENTERLINE AT 424.71 FEET AND CONTINUING WITH THE OCCUPIED WEST LINE OF SAID 94 1/2 ACRE TRACT FOR A TOTAL DISTANCE OF 847.80 FEET TO A 80D NAIL SET FOR THE OCCUPIED NORTHWEST CORNER OF SAID 94 1/2 ACRE TRACT BEING IN THE CENTERLINE OF WHITE ROCK CREEK;

THENCE, ALONG THE CENTERLINE OF WHITE ROCK CREEK, THE FOLLOWING:

SOUTH 79°03'53" EAST, 174.91 FEET;
SOUTH 31°03'44" EAST, 78.42 FEET;
SOUTH 76°28'34" EAST, 169.00 FEET;
SOUTH 56°08'06" EAST, 158.19 FEET;
SOUTH 65°25'20" EAST, 265.87 FEET;
SOUTH 81°03'44" EAST, 151.74 FEET;
SOUTH 57°35'47" EAST, 57.08 FEET;
SOUTH 27°01'17" EAST, 156.93 FEET;
SOUTH 54°12'26" EAST, 111.88 FEET;
SOUTH 32°04'29" EAST, 197.89 FEET;
SOUTH 48°59'44" EAST, 350.84 FEET;
SOUTH 35°48'06" EAST, 70.27 FEET;
SOUTH 10°12'13" EAST, 93.75 FEET;

SOUTH 34°16'50" EAST, 91.06 FEET TO A 1/2" REBAR SET IN THE NORTH LINE OF A CALLED 0.19 ACRE TRACT OF LAND CONVEYED TO RAMON M. ESTEVE, JR. TO COUNTY OF COLLIN IN A DEED DATED NOVEMBER 23, 1987 AND RECORDED IN VOLUME 2993, PAGE 456 OF SAID DEED RECORDS;

THENCE, S 77°01'02" WEST, A DISTANCE OF 135.50 FEET WITH THE NORTH LINE OF SAID 0.19 ACRE TRACT TO A 1/2" REBAR SET FOR THE NORTHWEST CORNER OF SAME;

THENCE, SOUTH 12°58'56" EAST, WITH THE MOST WESTERLY WEST LINE OF SAID 0.19 ACRE TRACT, CROSSING THE CENTERLINE OF COUNTY ROAD NO. 319 (SNIDER LANE) AT 50.00 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 100.00 FEET TO A 1/2" REBAR SET FOR THE SOUTHEAST CORNER OF SAME;

THENCE, NORTH 77°01'02" EAST, A DISTANCE OF 63.91 FEET WITH THE MOST WESTERLY SOUTH LINE OF SAID 0.19 ACRE TRACT TO A 1/2" REBAR SET FOR THE MOST SOUTHERLY SOUTHEAST CORNER OF SAME, BEING IN THE WEST LINE OF SAID 27.80 ACRE TRACT;

THENCE, SOUTH 20°20'56" EAST, A DISTANCE OF 645.18 FEET TO A CORPS OF ENGINEERS MONUMENT NO. 4410-2 FOUND FOR THE EAST CORNER, ALSO BEING AN INTERIOR CORNER OF THE ABOVE MENTIONED CALLED 27.80 ACRE TRACT;

THENCE, SOUTH 51°22'00" WEST, A DISTANCE OF 514.76 FEET BACK TO THE PLACE OF BEGINNING AND CONTAINING 2,787,843 SQUARE FEET OR 64.000 ACRES OF LAND OF WHICH 2.991 ACRES IS WITHIN THE OCCUPIED RIGHT-OF-WAY OF COUNTY ROAD NO. 309 (WINNINGKOFF ROAD) AND COUNTY ROAD NO. 319 (SNIDER LANE), LEAVING A NET ACREAGE OF 61.009 ACRE OF LAND.

NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, J.R. BROWNING, PRESIDENT OF SPIREHAVEN INVESTMENTS, INC. THE GENERAL PARTNER OF HOMESITE INVESTMENTS II, LTD., HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS CREEKWOOD ESTATES, AN ADDITION TO THE CITY OF LUCAS, COLLIN COUNTY, TEXAS, AND DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE PUBLIC STREETS LABELED AS SUCH HEREON; AND DOES DEDICATE THE EASEMENTS SHOWN ON THE PLAT FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING SAME.

NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE "UTILITY EASEMENT" AS SHOWN. SAID "UTILITY EASEMENT" BEING HEREBY RESERVED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING SAME. ALL AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF THE BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OR ITS RESPECTIVE SYSTEM ON THE "UTILITY EASEMENT" AND ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF EGRESS TO OR FROM AND UPON THE SAID "UTILITY EASEMENT" FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS, WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS OF THE CITY OF LUCAS, TEXAS.

WITNESS MY HAND AT DALLAS, TEXAS THIS _____ DAY OF _____, 1997.

J.R. BROWNING, PRESIDENT
SPIREHAVEN INVESTMENTS, INC.

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, on this day personally appeared J.R. Browning, President, of SPIREHAVEN INVESTMENTS, INC., the General Partner of HOMESITE INVESTMENTS II, LTD., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ Day of _____, 1997.

Notary Public in and for the State of Texas My Commission Expires:

FIRST STATE BANK OF TEXAS
THOMAS M. RISLEY, SENIOR VICE PRESIDENT

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, on this day personally appeared Thomas M. Risley, Senior Vice President of First State Bank of Texas, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ Day of _____, 1997.

Notary Public in and for the State of Texas My Commission Expires:

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, KENNETH E. BROWN, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

KENNETH E. BROWN, R.P.L.S. NO. 2062



STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, on this day personally appeared Kenneth E. Brown, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 1997.

Notary Public in and for the State of Texas My Commission Expires:

"RECOMMENDED FOR APPROVAL"

Chairperson, Planning And Zoning Commission
City of Lucas, Texas

Date

"APPROVED FOR CONSTRUCTION"

Mayor
City of Lucas, Texas

Date

The undersigned, the City Secretary of the City of Lucas, Texas, hereby certifies that the foregoing final plat of the CREEKWOOD ESTATES subdivision or addition to the City of Lucas was submitted to the City Council on the _____ day of _____, 1997, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.

Witness my hand this _____ day of _____, A.D. 1997.

City Secretary
City of Lucas, Texas

DOUPHRADE & ASSOCIATES
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT

P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972)771-8004 FAX: (972)771-8005

FINAL PLAT
CREEKWOOD ESTATES
64.00 AC. IN J. THOMPSON S.A. 893
CITY OF LUCAS, COLLIN COUNTY TEXAS

REVISION

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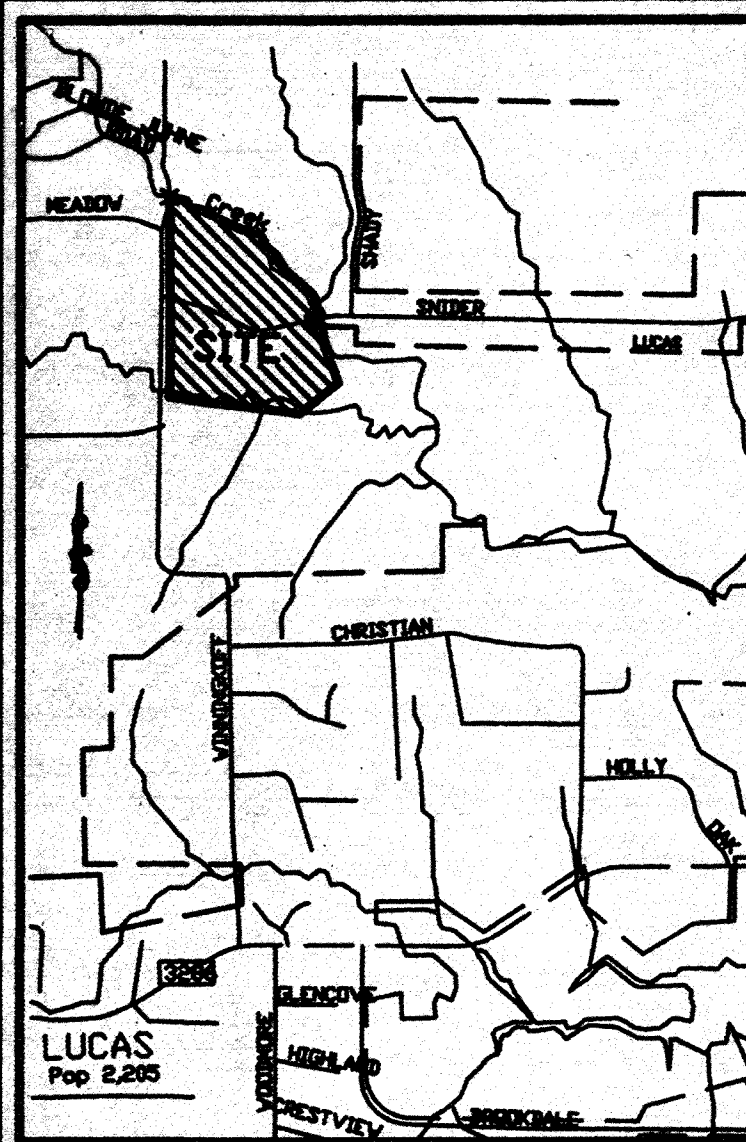
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DATE

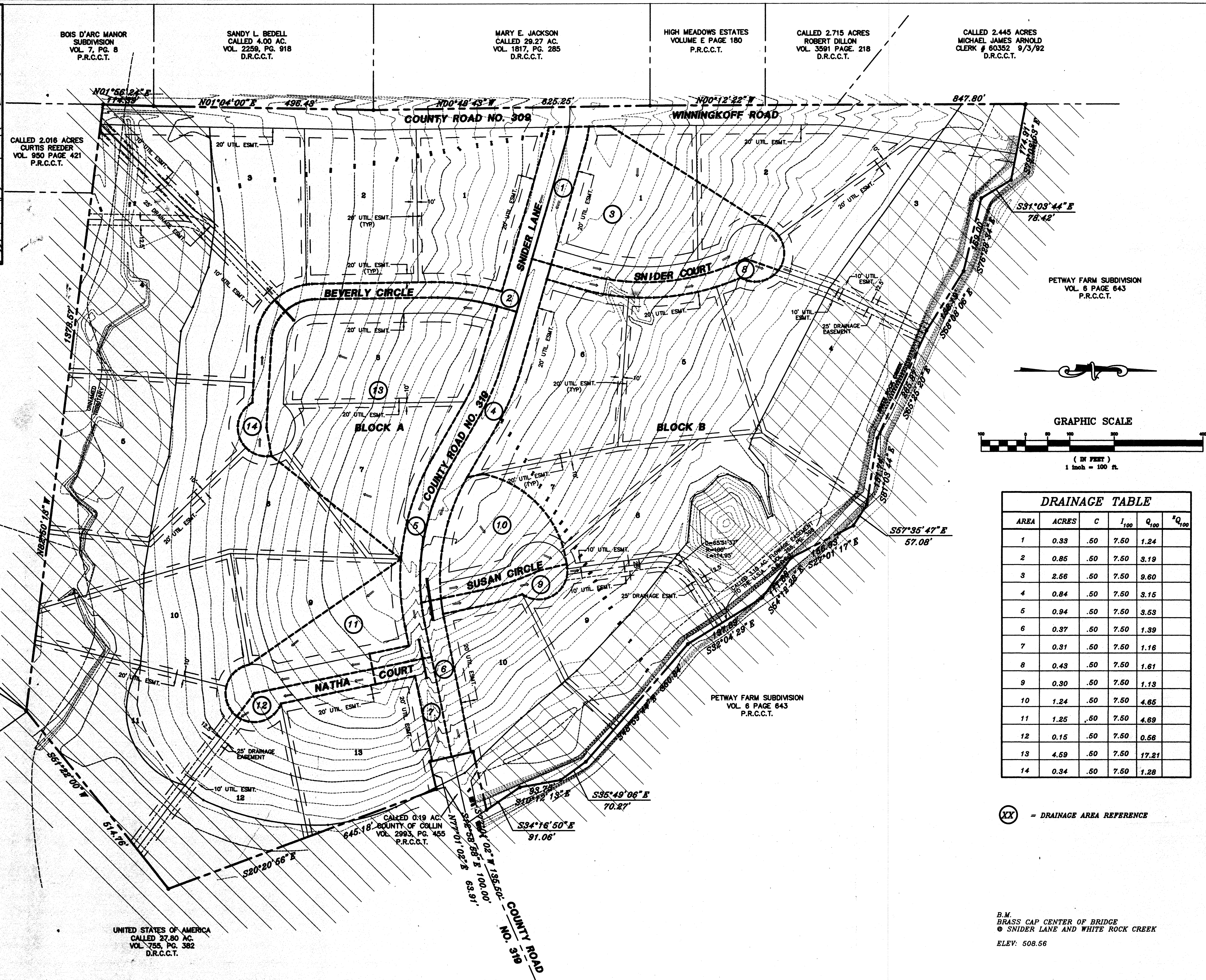
9706PLT2

PROJECT

3
of
19



LOCATION MAP
1"=2000'



PETWAY FARM SUBDIVISION
VOL. 6 PAGE 643
P.R.C.C.T.

GRAPHIC SCALE

(IN FEET)
1 inch = 100 ft.

DRAINAGE TABLE

AREA	ACRES	C	I ₁₀₀	Q ₁₀₀	Q ₁₀₀ ²
1	0.33	.50	7.50	1.24	
2	0.85	.50	7.50	3.19	
3	2.56	.50	7.50	9.60	
4	0.84	.50	7.50	3.15	
5	0.94	.50	7.50	3.53	
6	0.37	.50	7.50	1.39	
7	0.31	.50	7.50	1.16	
8	0.43	.50	7.50	1.61	
9	0.30	.50	7.50	1.13	
10	1.24	.50	7.50	4.65	
11	1.25	.50	7.50	4.69	
12	0.15	.50	7.50	0.56	
13	4.59	.50	7.50	17.21	
14	0.34	.50	7.50	1.28	

(XX) = DRAINAGE AREA REFERENCE

B.M.
BRASS CAP CENTER OF BRIDGE
@ SNIDER LANE AND WHITE ROCK CREEK
ELEV. 508.56



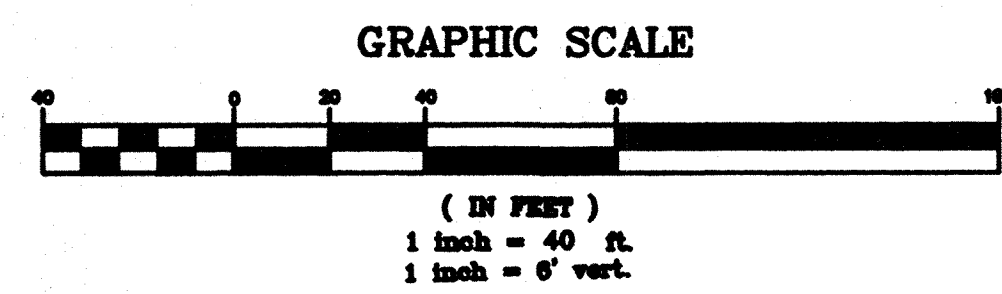
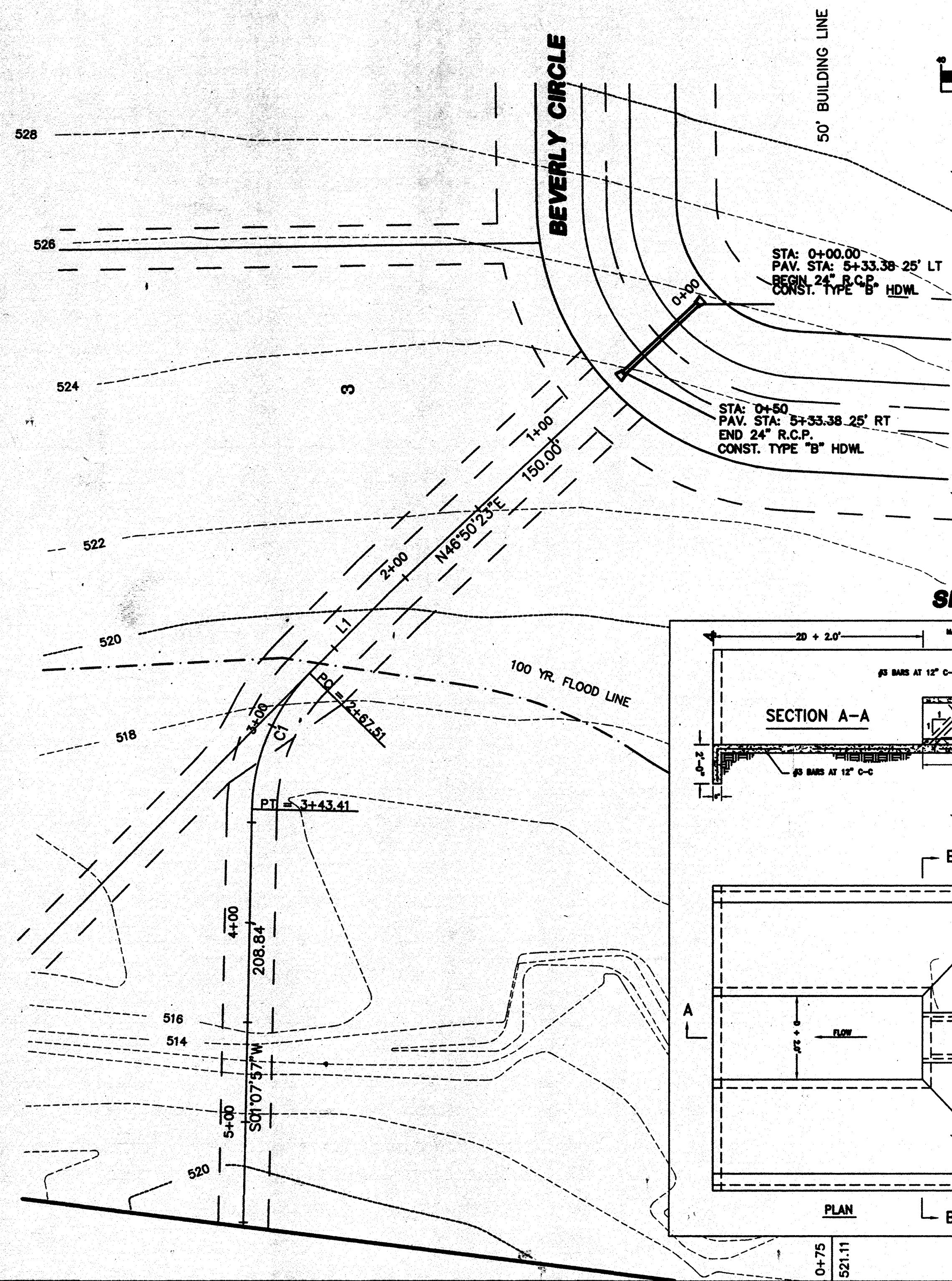
THE SEAL APPEARING ON THIS
DOCUMENT WAS AUTHORIZED BY
W.L. DOUPBRATE II TEXAS P.E.
NO. 60102 ON 9/3/92

DOUPBRATE & ASSOCIATES
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT

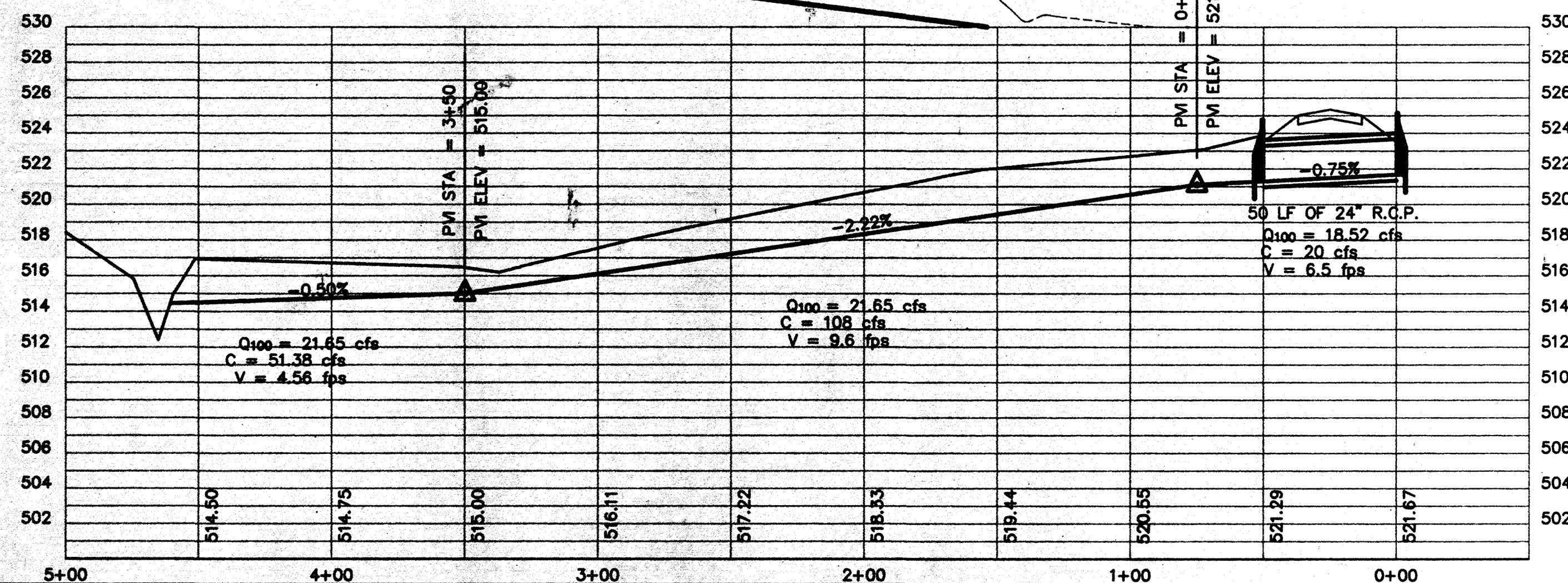
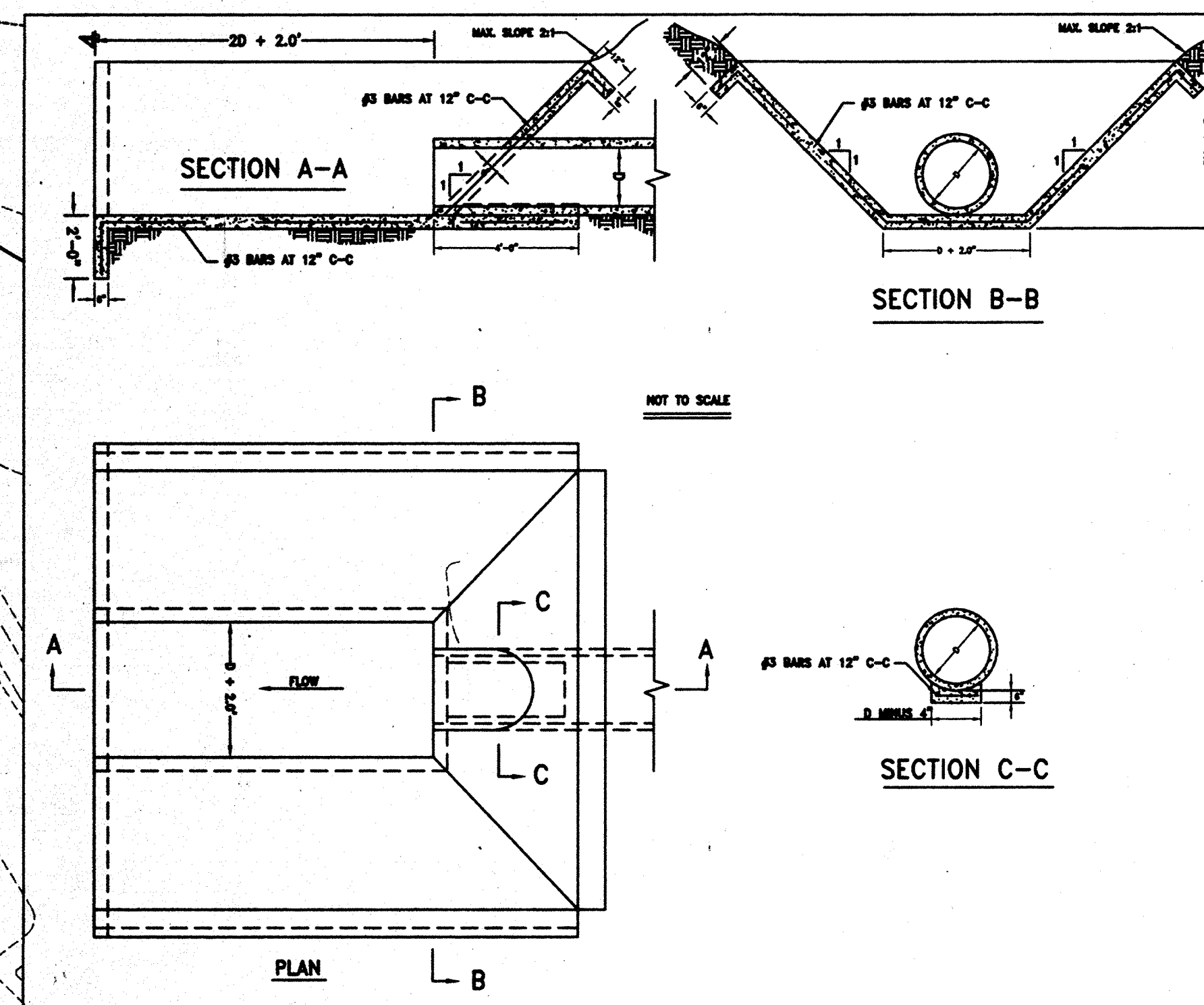
P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

DRAINAGE AREA MAP
CREEKWOOD ESTATES
64.00 AC. IN J. THOMPSON S.A. 893
CITY OF LUCAS, COLLIN COUNTY TEXAS

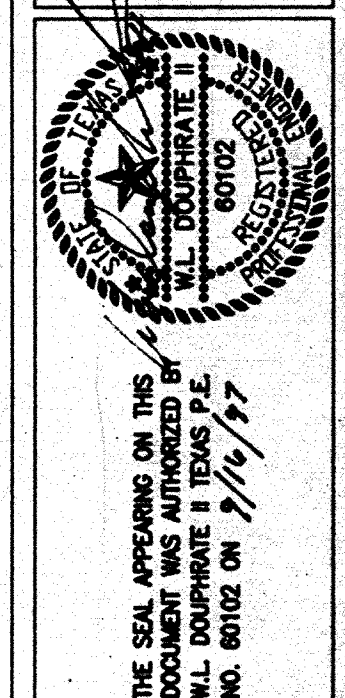
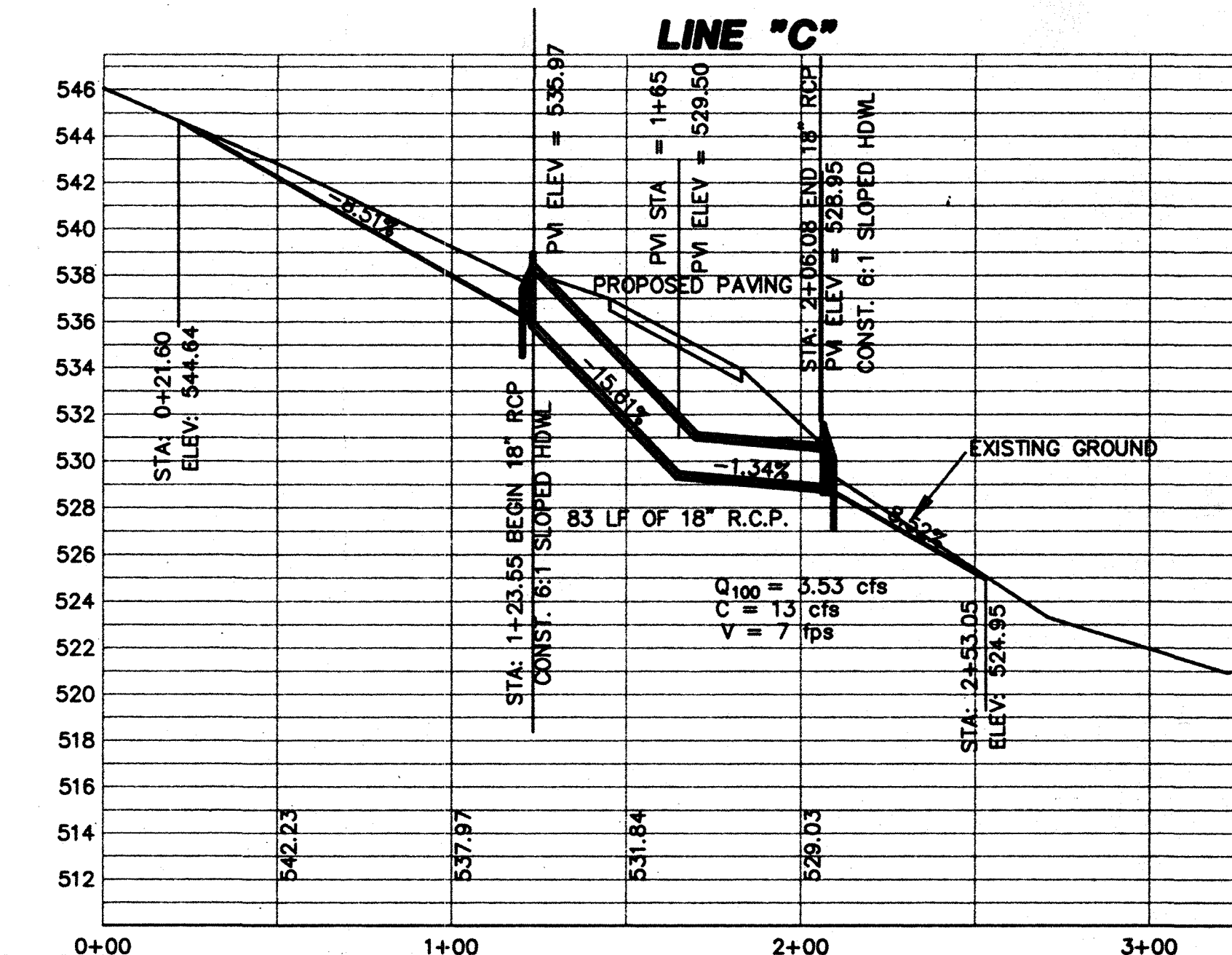
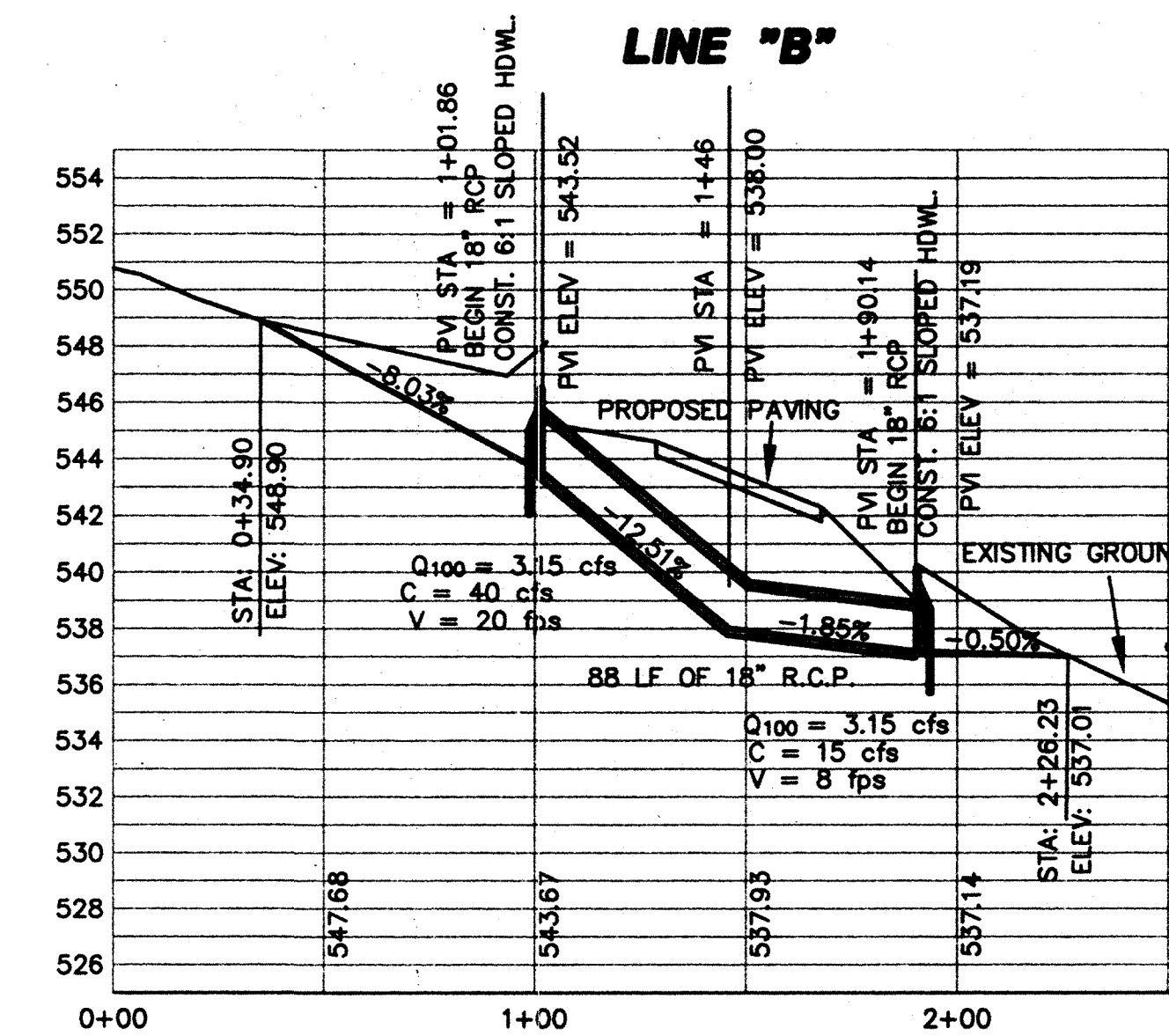
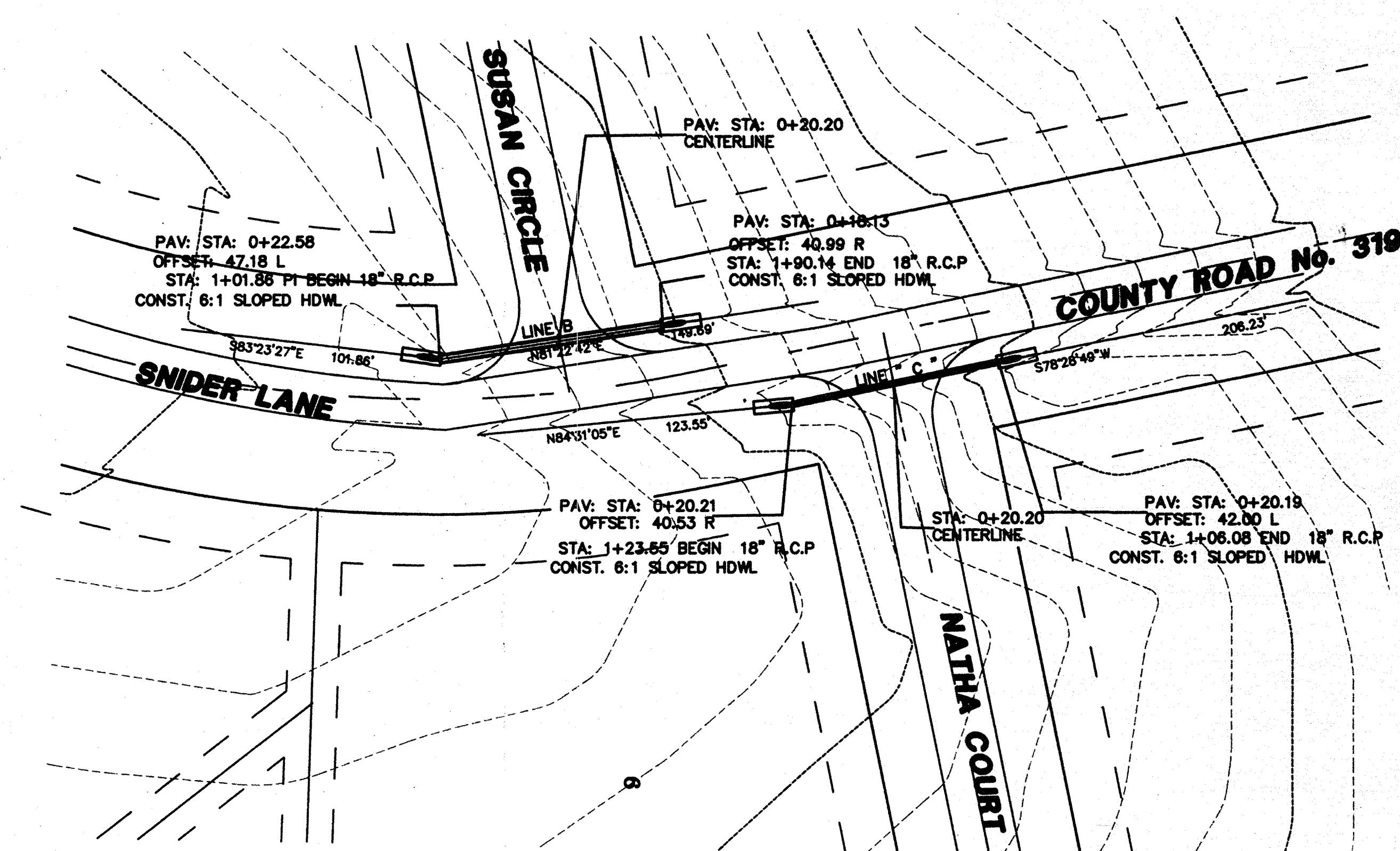
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DRAWN
9/11/97
DATE
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SLOPED HEADWALL DETAIL



B.M.
BRASS CAP CENTER OF BRIDGE
@ SNIDER LANE AND WHITE ROCK CREEK
ELEV: 508.56

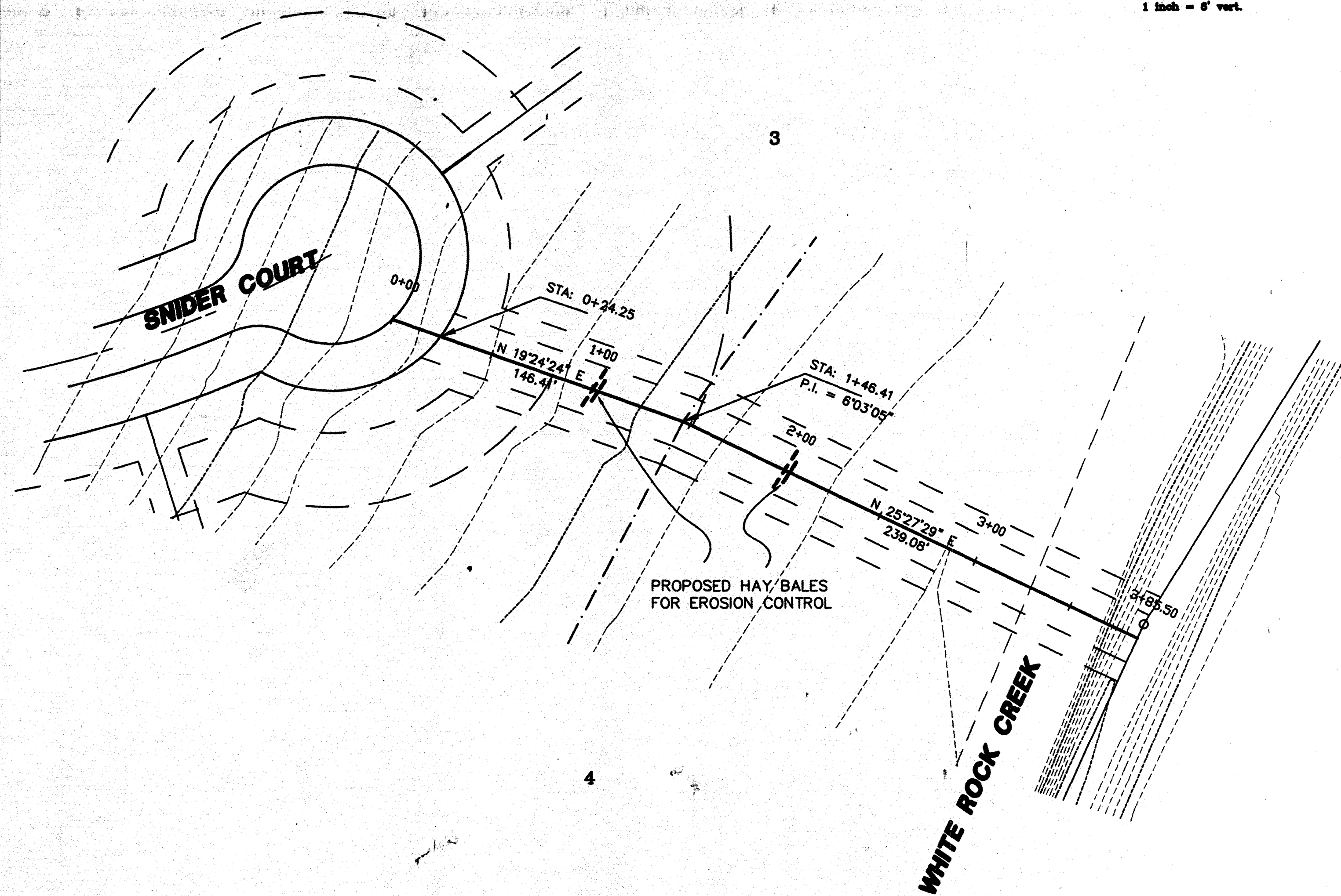


DOUPHRAE & ASSOCIATES
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
P.O. BOX 1336 ROCKWALL, TEXAS 76087
PHONE: (972)771-9004 FAX: (972)771-9005

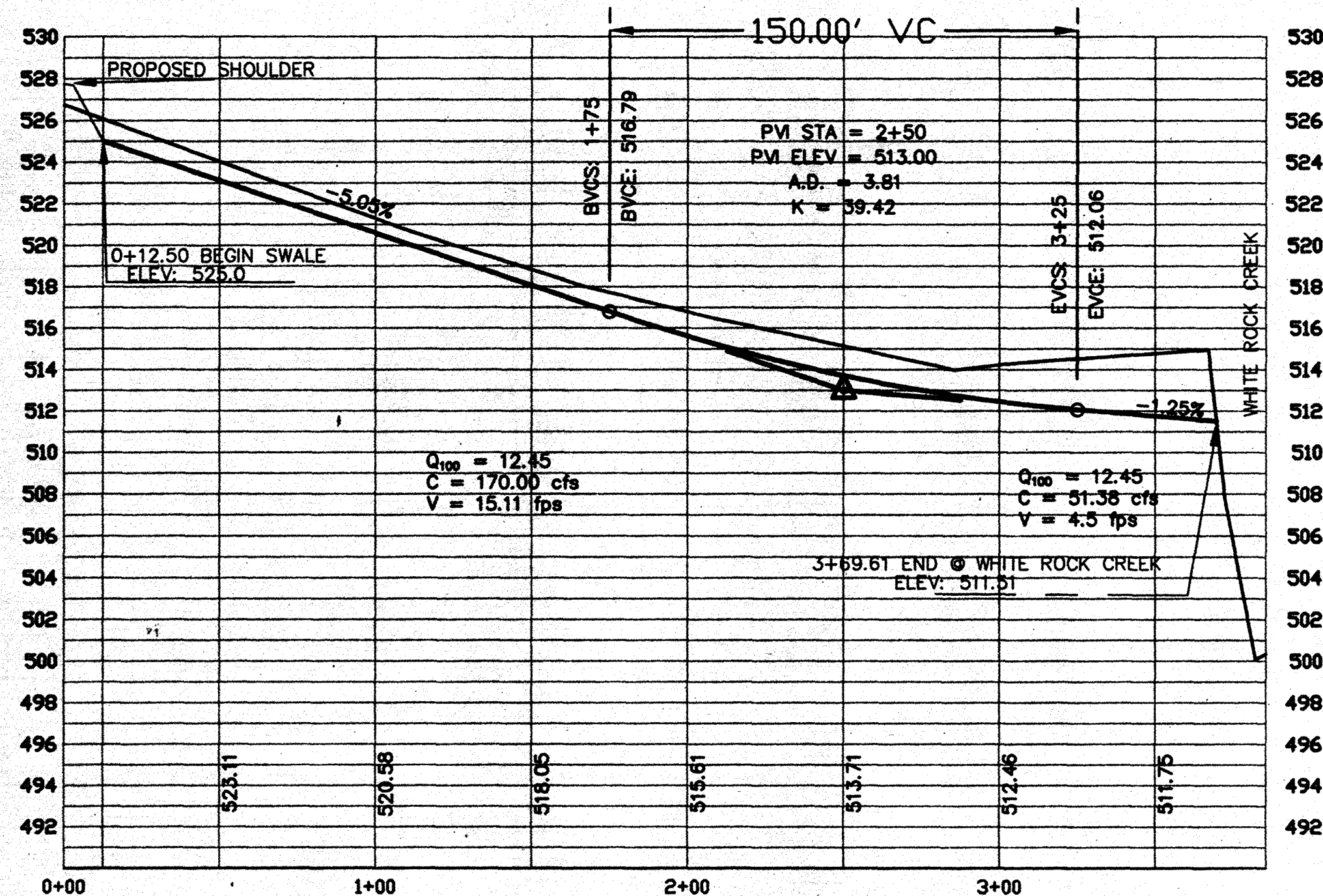
LINE A B & C
STORM SEWER AND SWALE
CREEKWOOD ESTATES
CITY OF LUCAS, COLLIN COUNTY TEXAS

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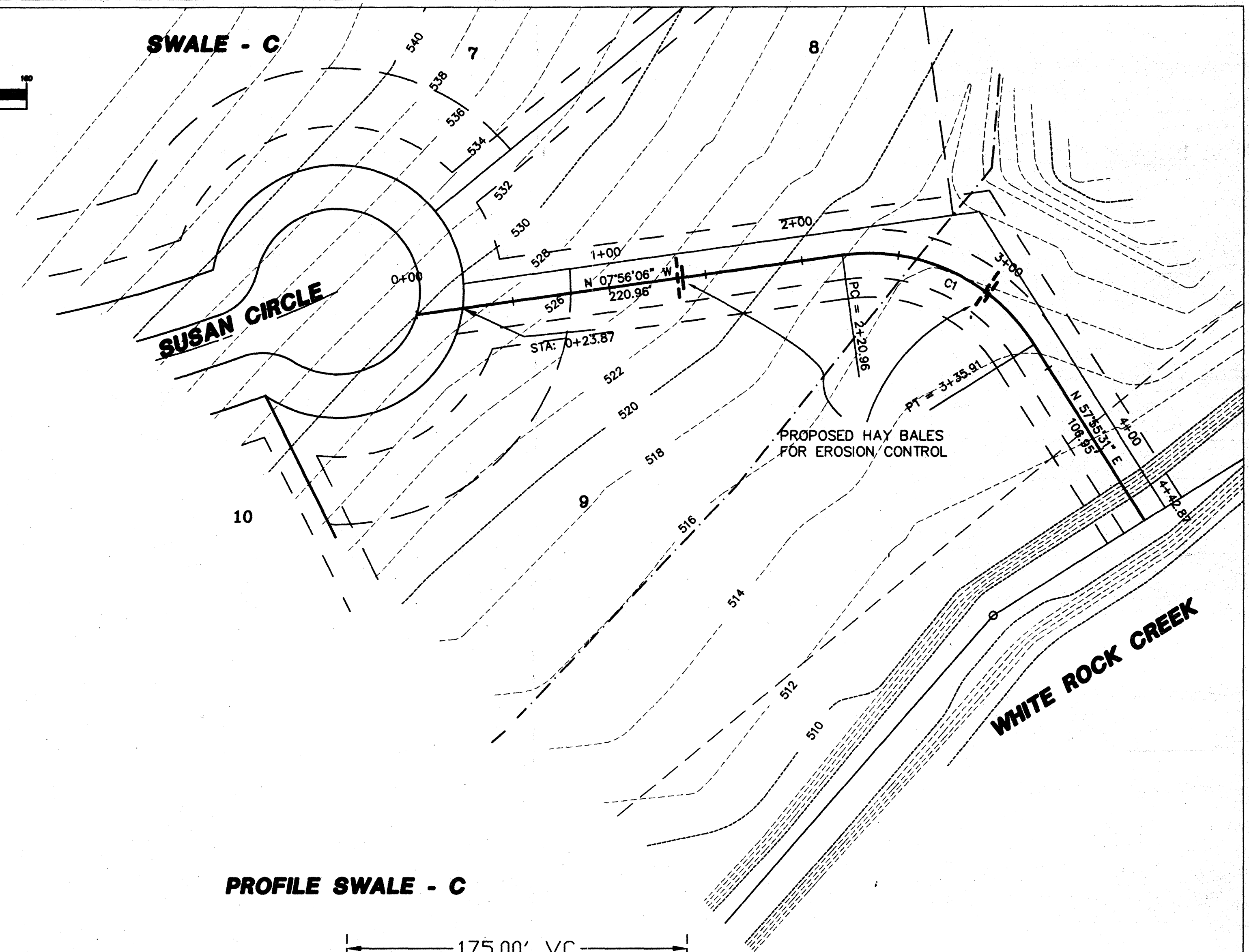
SWALE - A



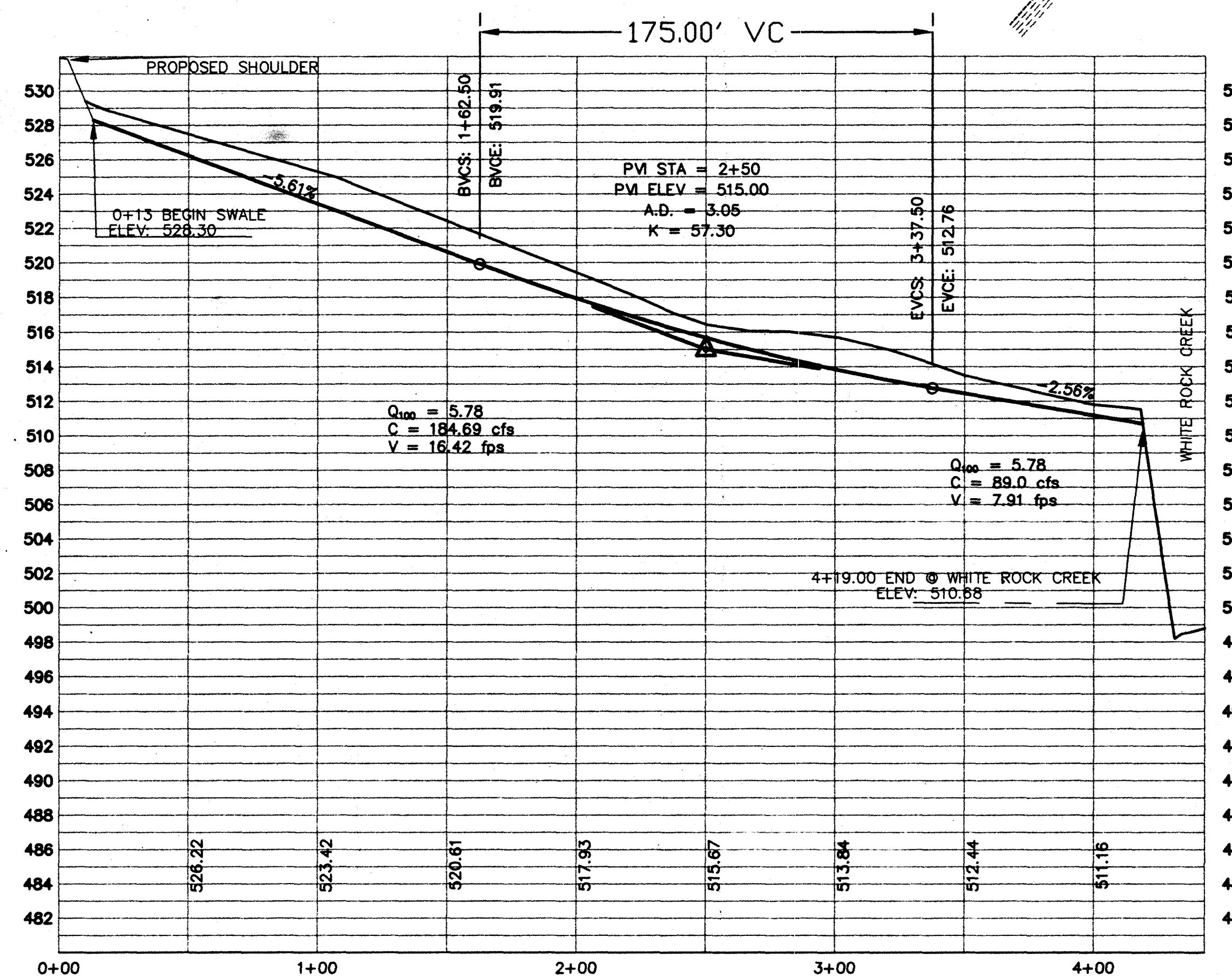
PROFILE SWALE - A



SWALE - C



PROFILE SWALE - C



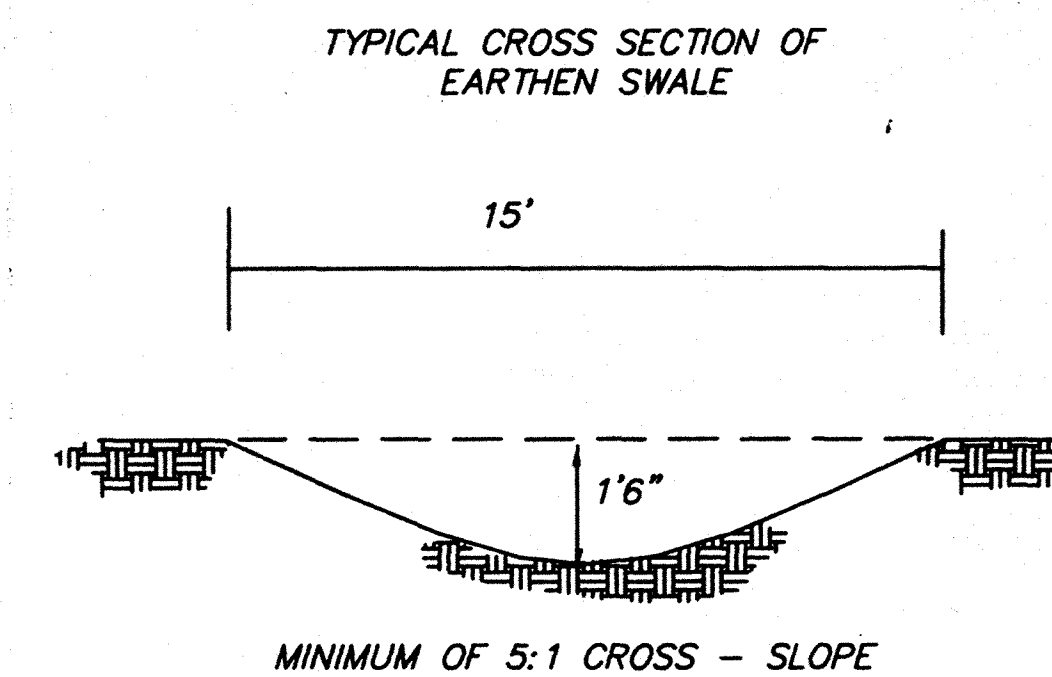
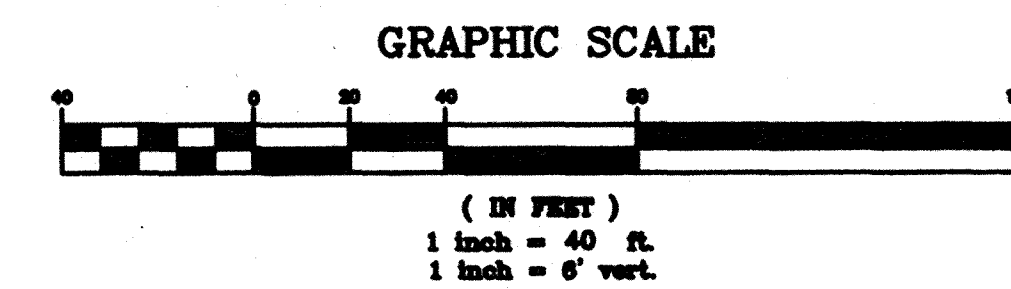
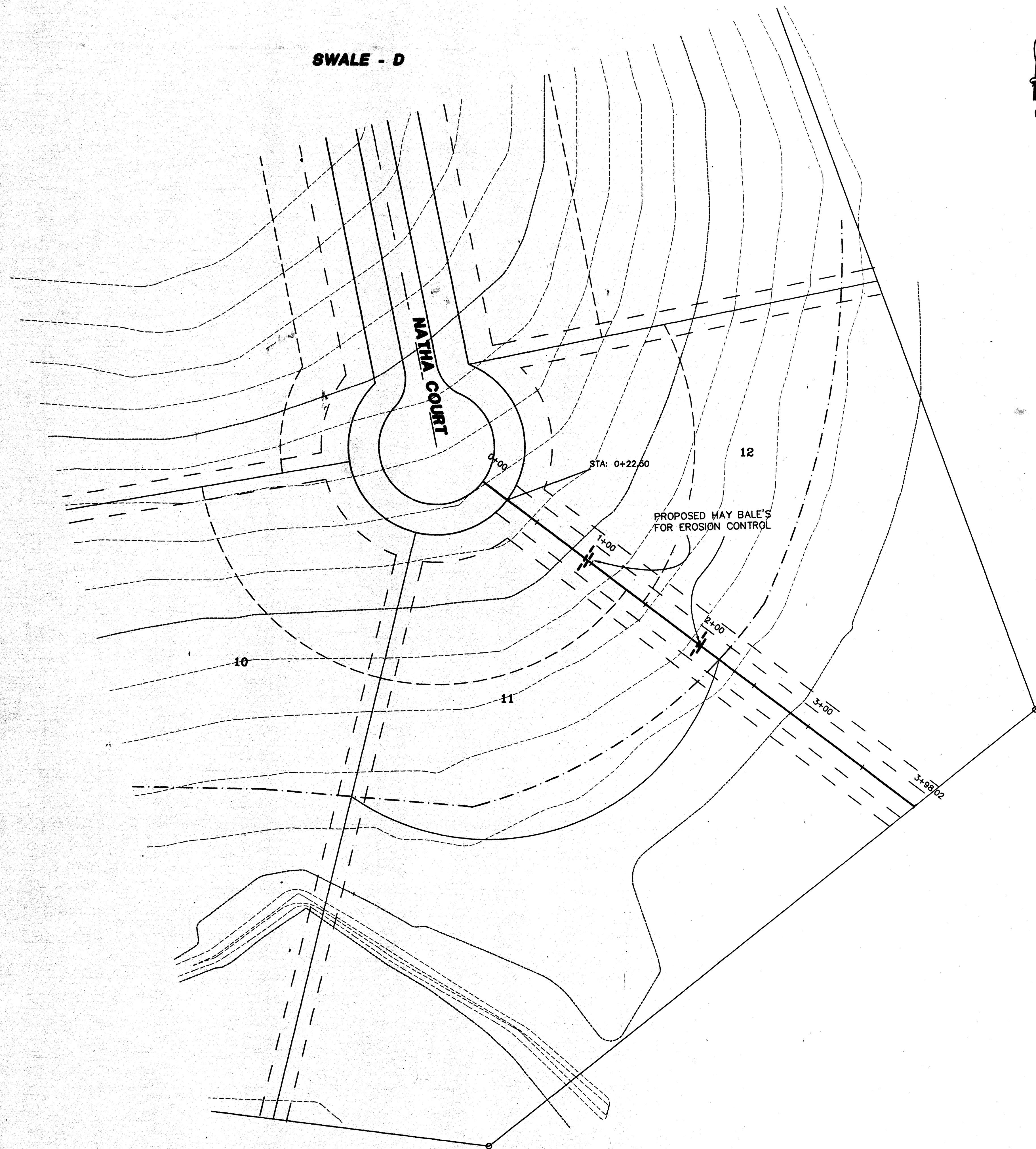
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRADE II TEXAS P.E. NO. 9012 ON 9/1/77

DOUPHRADE & ASSOCIATES
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9006

SWALE A & C
PLAN AND PROFILE
CREEKWOOD ESTATES
CITY OF LUCAS

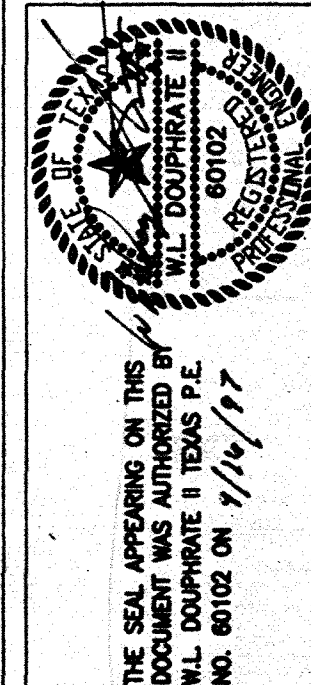
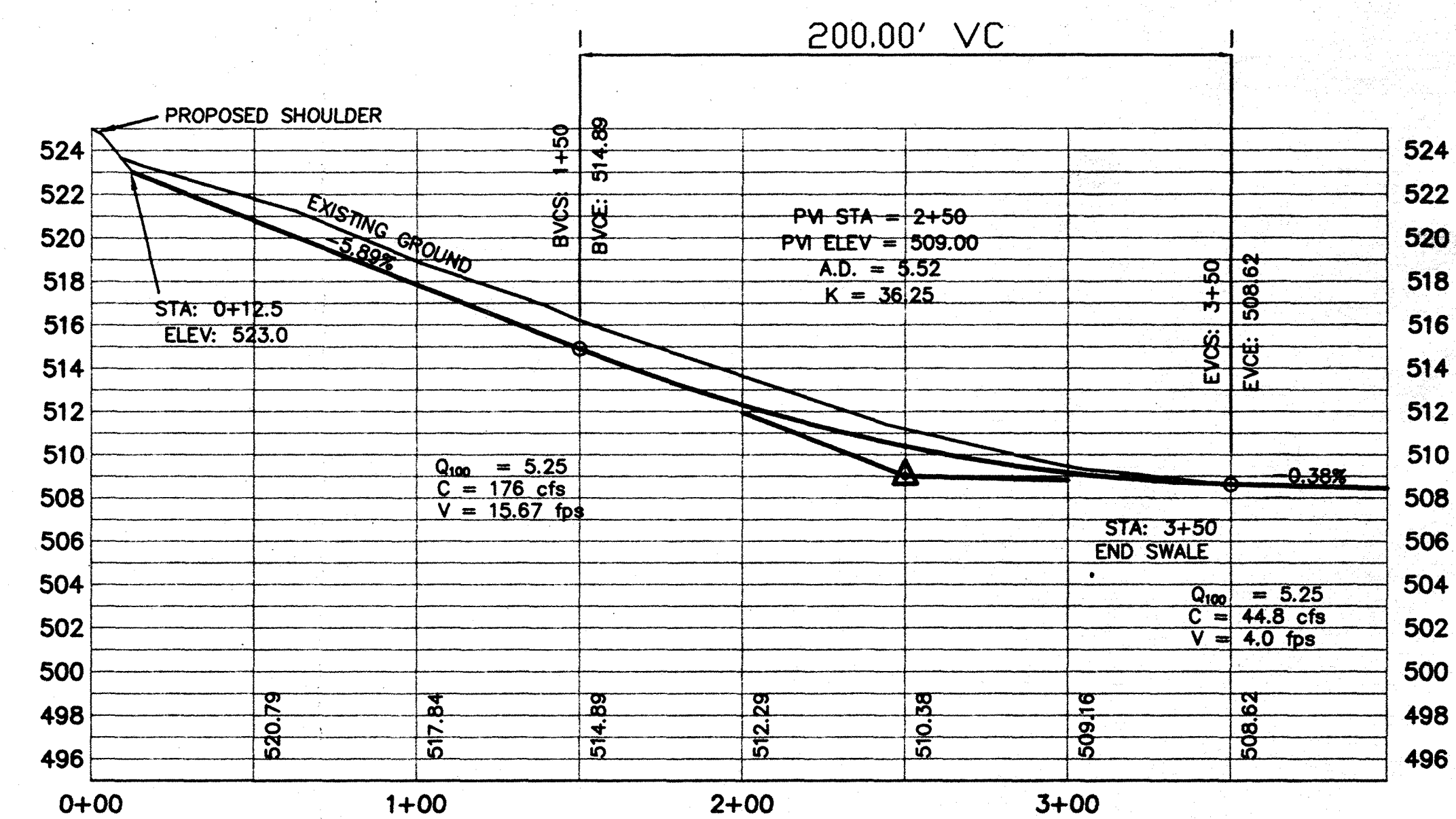
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SWALE - D



SECTION A - A

PROFILE SWALE - D

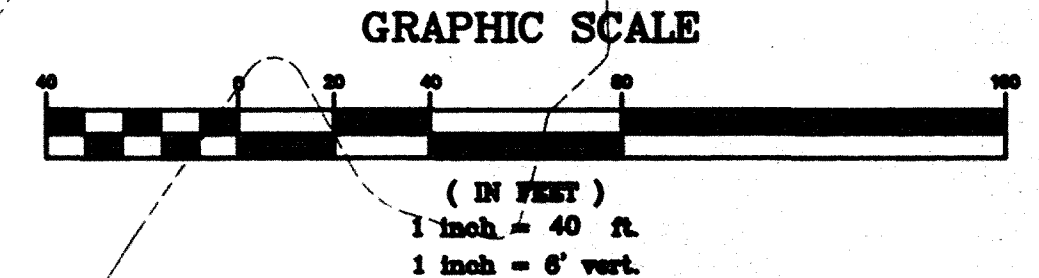


DOUPHRADE & ASSOCIATES
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-0005

SWALE D
PLAN AND PROFILE
CREEKWOOD ESTATES
CITY OF LUCAS, COLLIN COUNTY TEXAS

REVISION
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STA: 0+13.23 INSTALL
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SAW CUT AND REMOVE
87 SF OF EX. ASPH.



THE SEAL APPEARING ON THIS
DOCUMENT WAS AUTHORIZED BY
W.L. DOUPHRADE, TEXAS P.E.
NO. 60102 ON 1/16/97

DOUPHRADE & ASSOCIATES
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972) 771-9004 FAX: (972) 771-9005

PLAN AND PROFILE
SNIDER COURT
CREEKWOOD ESTATES
CITY OF LUCAS, COLLIN COUNTY TEXAS

REVISION	
W.L.D.	
CHECKED	
K.E.B.	
DRAWN	
DATE	9/11/97
PROJECT	9708PVI

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OF
10

COUNTY ROAD NO. 319

SNIDER LANE

BLOCK B

SNIDER COURT

BLOCK B

STA: 0+43.12
RAD. RETURN

STA: 0+43.12
RAD. RETURN

PVI STA = 1+50
PVI ELEV = 553.00
A.D. = -6.07
K = 41.20
250.00' VC

STA: 4+88.01
25.51' RT. PRC
ELEV: 528.80 EP

STA: 4+61.12
P.C.C.

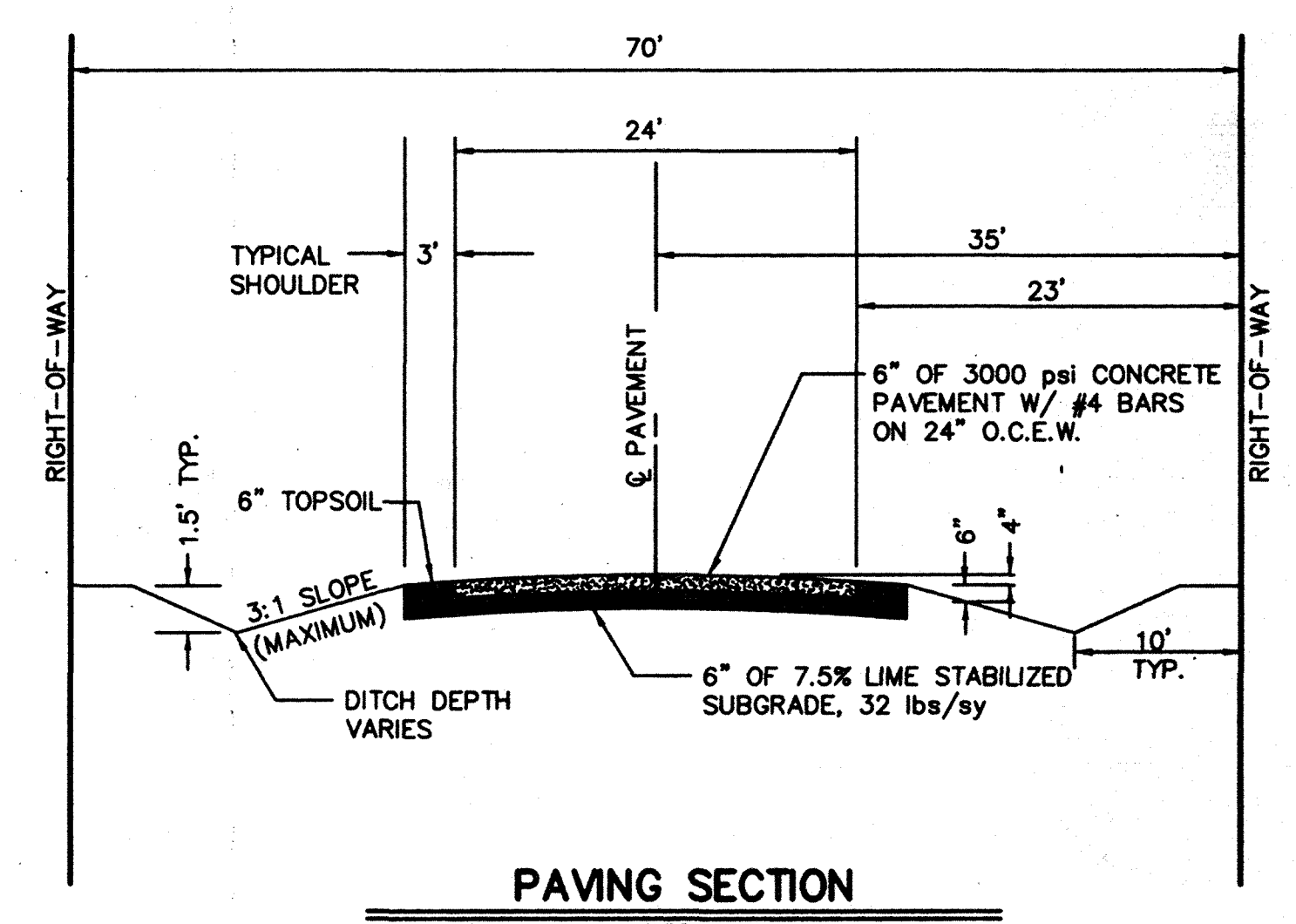
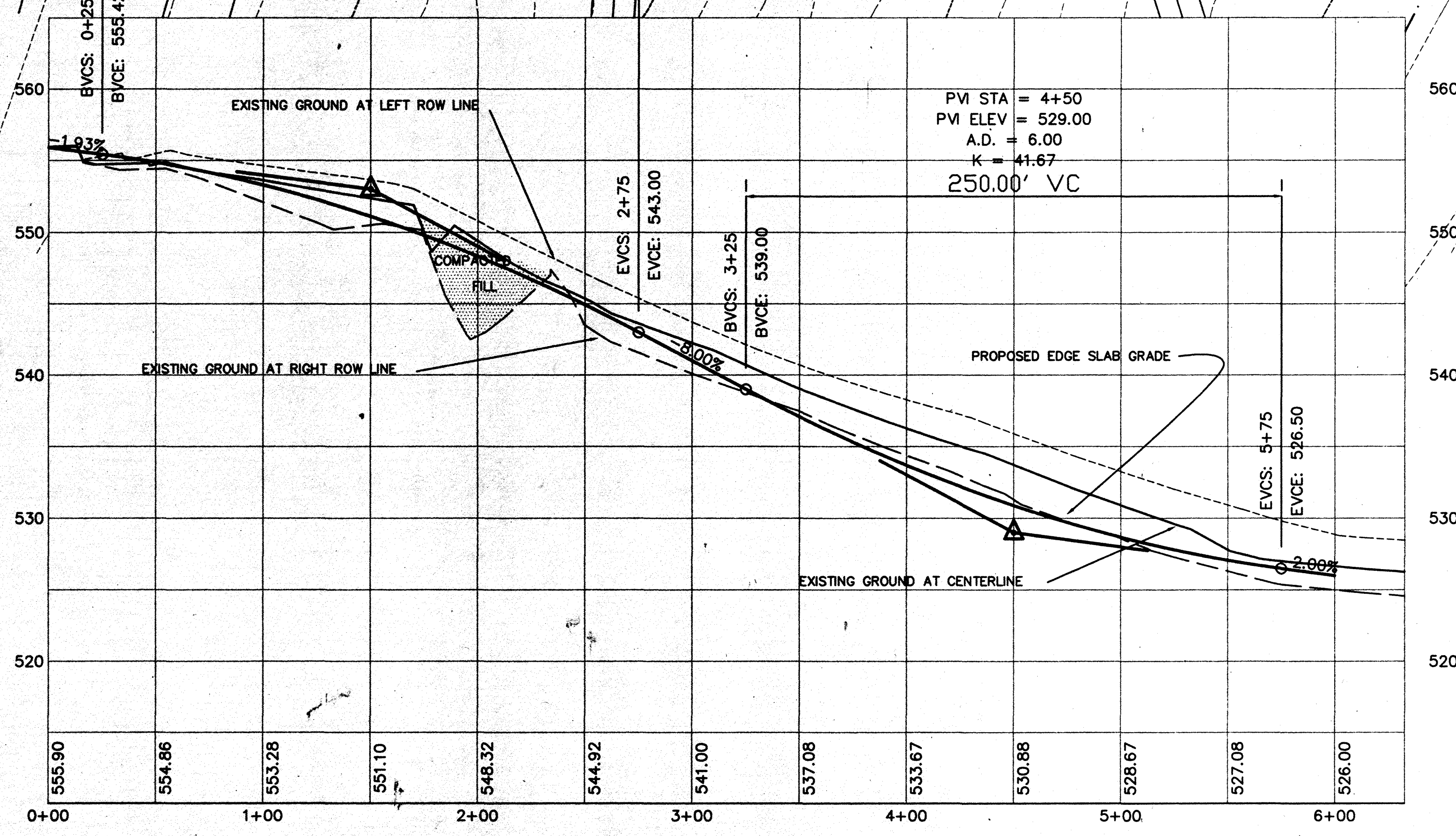
STA: 5+65.42 CL
ELEV: 526.70 EP

STA: 4+66.12
P.R.C.

STA: 4+88.51
23.81' RT. PRC
ELEV: 528.82 EP

SEE SH. 12 FOR SWALE DETAIL

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	500.00'	400.51'	211.70'	389.89'	N06°51'19"W	45°53'42"



PAVING SECTION
N.T.S.

B.M.
BRASS CAP CENTER OF BRIDGE
@ SNIDER LANE AND WHITE ROCK CREEK
ELEV: 508.56

SEE SH. 8 FOR PIPE
AND SWALE DETAILS

PROPOSED 8" WATER

BEVERLY CIRCLE

STA: 0+36.22
RAD. RETURN

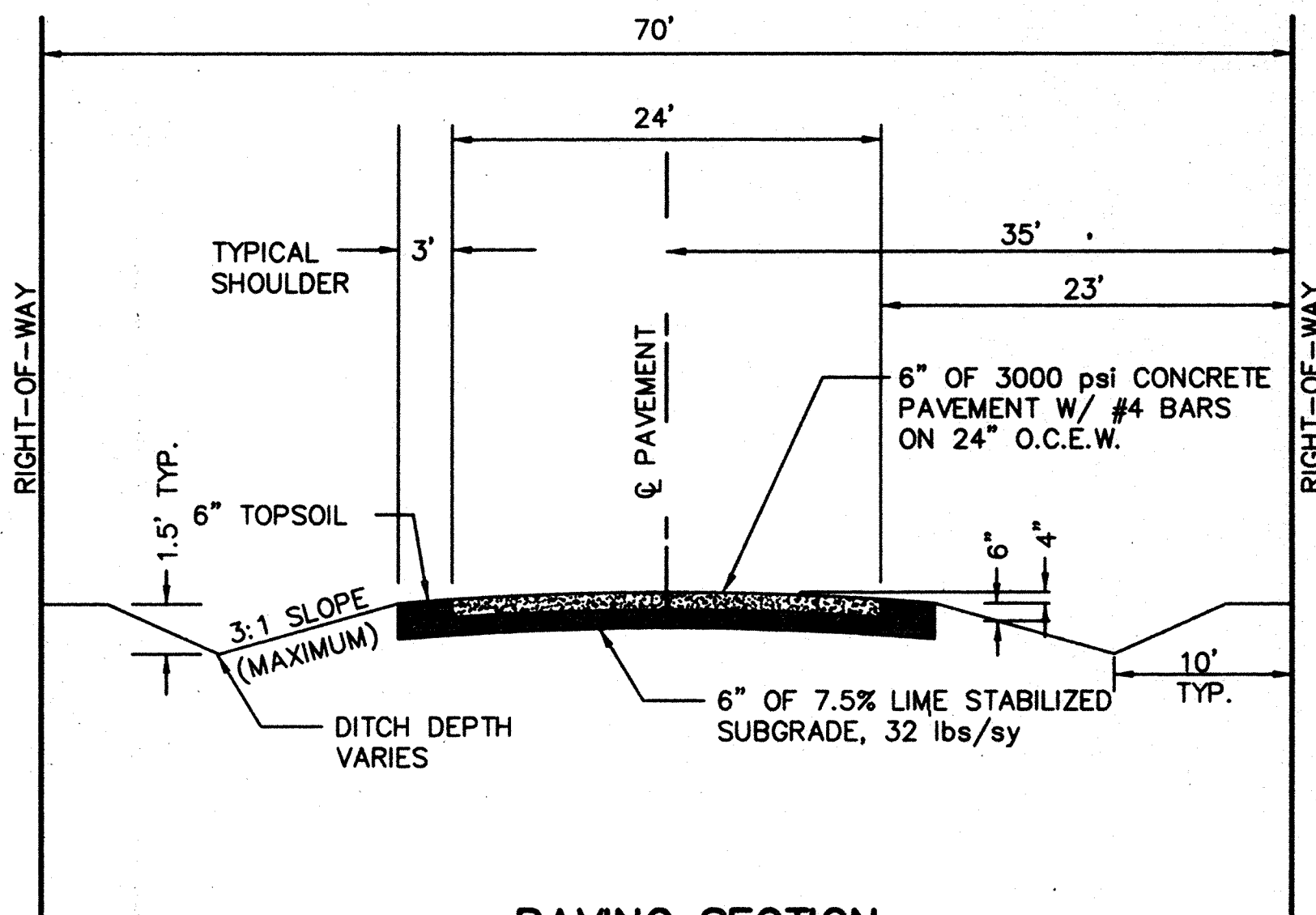
STA: 0+37.06
RAD. RETURN

STA: 0+06.04 INSTALL
STD. CONCRETE HEADER
SAW CUT AND REMOVE
87 SF OF EX. ASPH.

CENTERLINE DATA

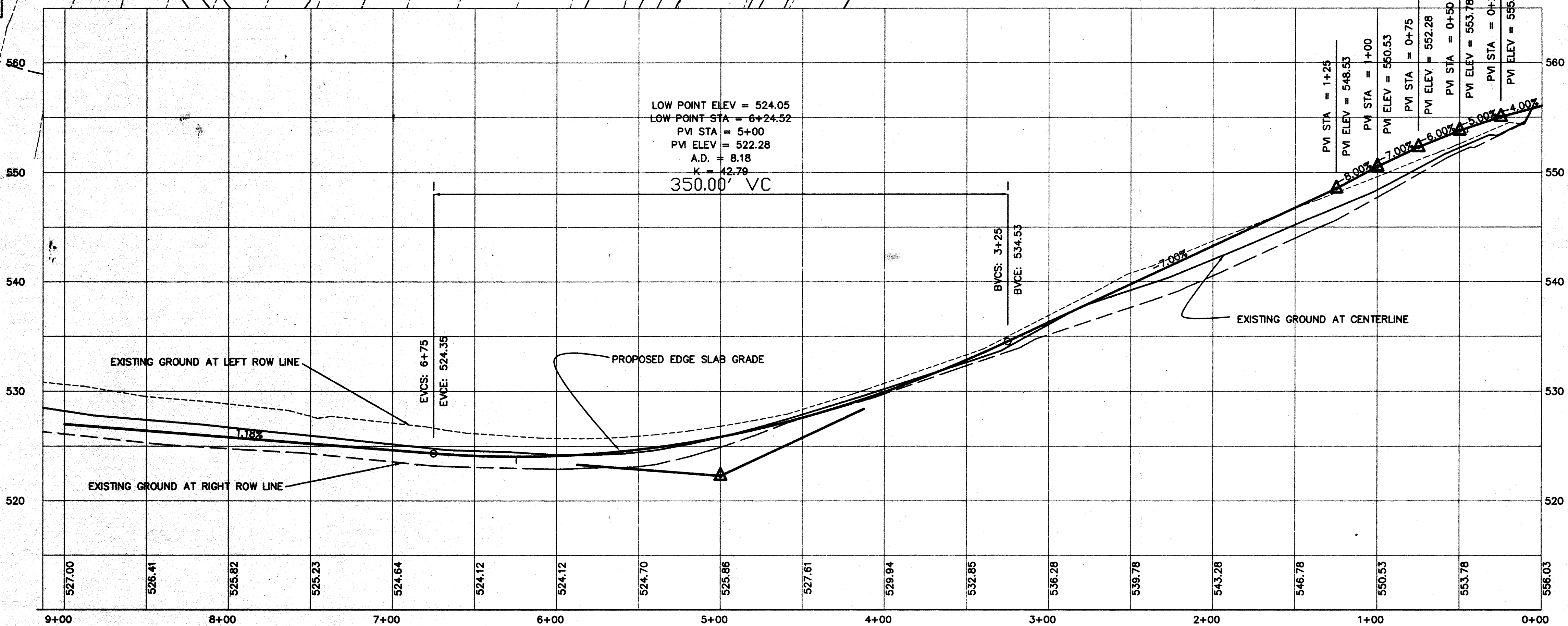
LINE	DIRECTION	DISTANCE
L1	S16°05'32"W	48.27

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	100.00'	150.21'	93.36'	136.48'	S43°50'38"E	86°03'50"
C2	500.00'	147.52'	74.30'	146.98'	S07°38'24"W	16°54'15"



PAVING SECTION

N.T.S.



B.M.
BRASS CAP CENTER OF BRIDGE
© SNIDER LANE AND WHITE ROCK CREEK
ELEV: 508.56

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.
1 inch = 6' vert.



THE SEAL APPEARING ON THIS
DOCUMENT WAS AUTHORIZED BY
W.L. DOUPHRAE A TEXAS P.E.
NO. 60102 ON 1/1/17

DOUPHRAE & ASSOCIATES
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT

P.O. BOX 1386 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

PLAN AND PROFILE
BEVERLY CIRCLE
CREEKWOOD ESTATES
CITY OF LUCAS, COLLIN COUNTY TEXAS

REVISION

W.L.D.

CHECKED

K.E.B.

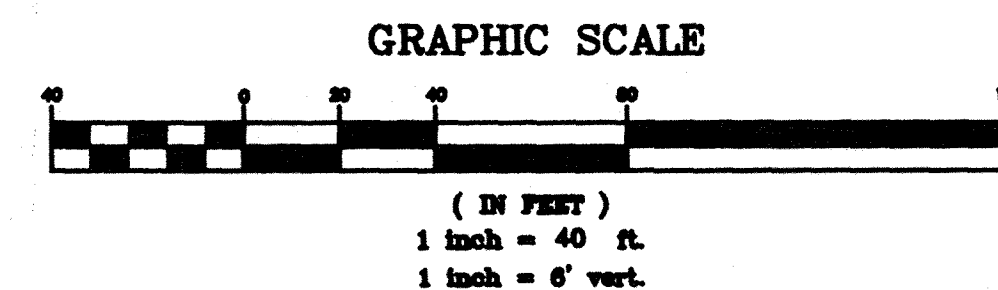
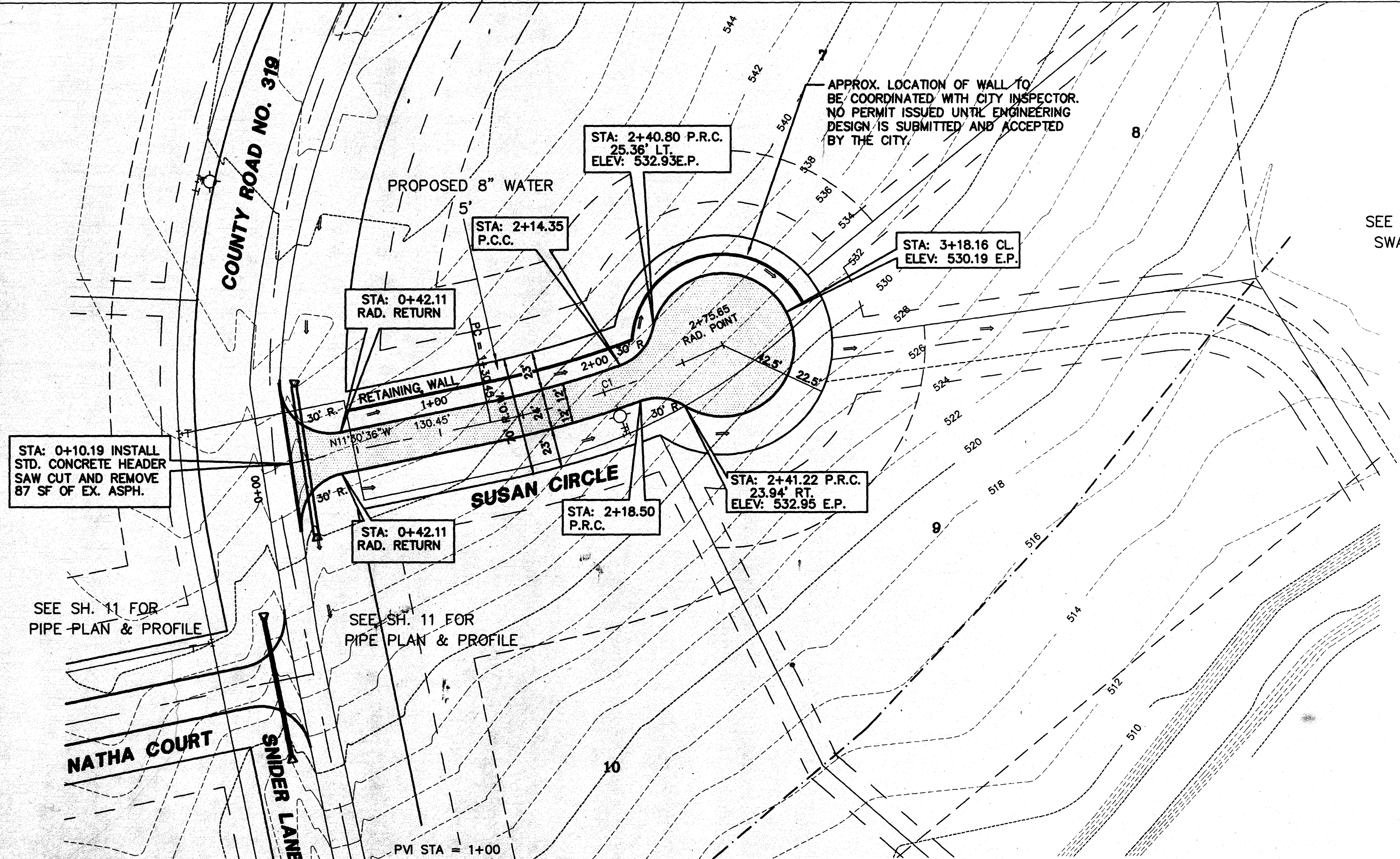
DRAWN

9/11/07

DATE

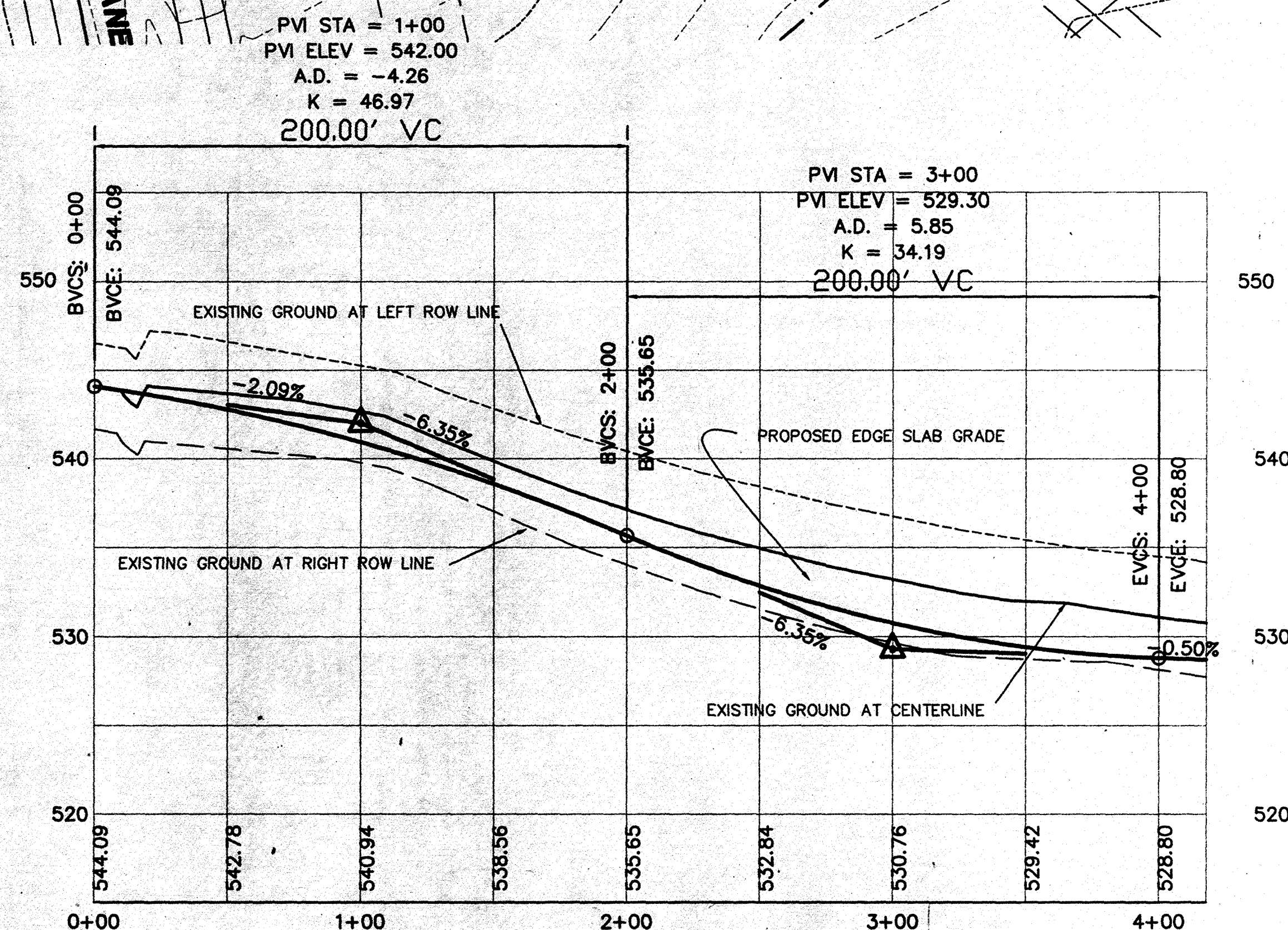
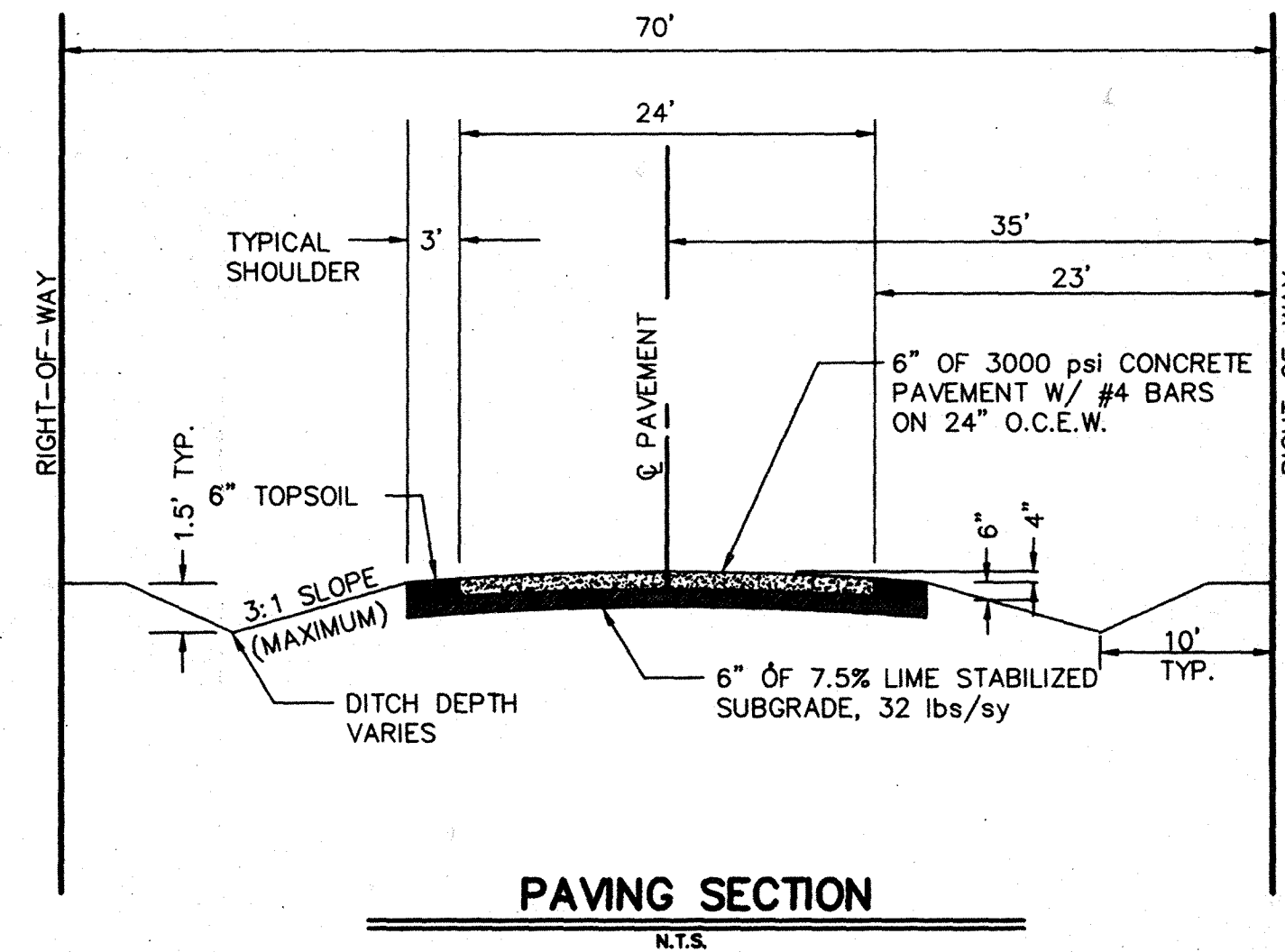
9700PV2

PROJECT

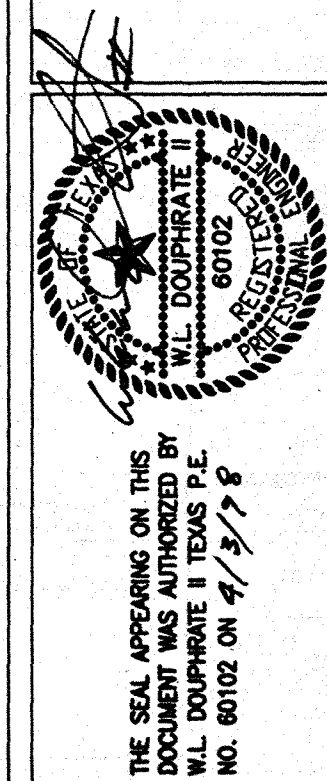


CENTERLINE DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	600.00'	145.20'	72.96'	144.85'	N18°26'34"W	13°51'57"



B.M.
 BRASS CAP CENTER OF BRIDGE
 @ SNIDER LANE AND WHITE ROCK CREEK
 ELEV: 508.56

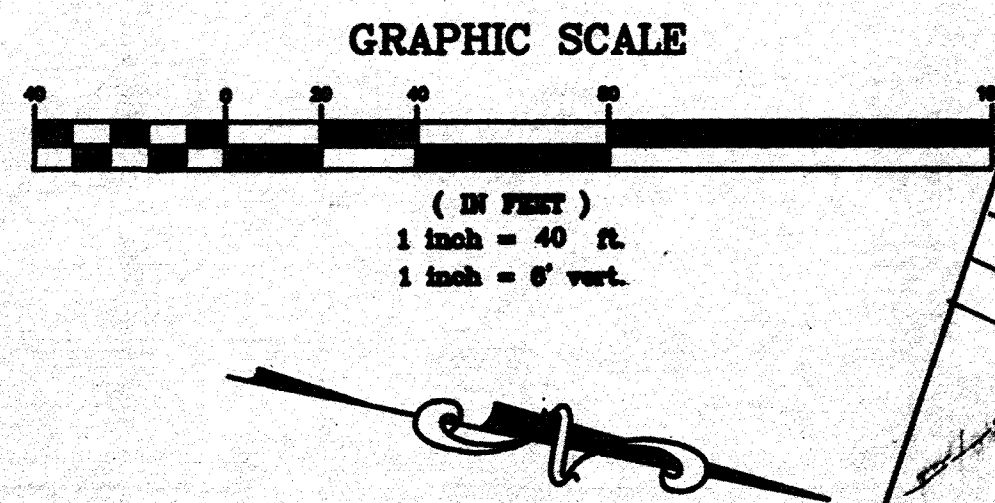


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PLAN AND PROFILE
SUSAN CIRCLE
CREEKWOOD ESTATES
 CITY OF LUCAS, COLLIN COUNTY TEXA

REVISION

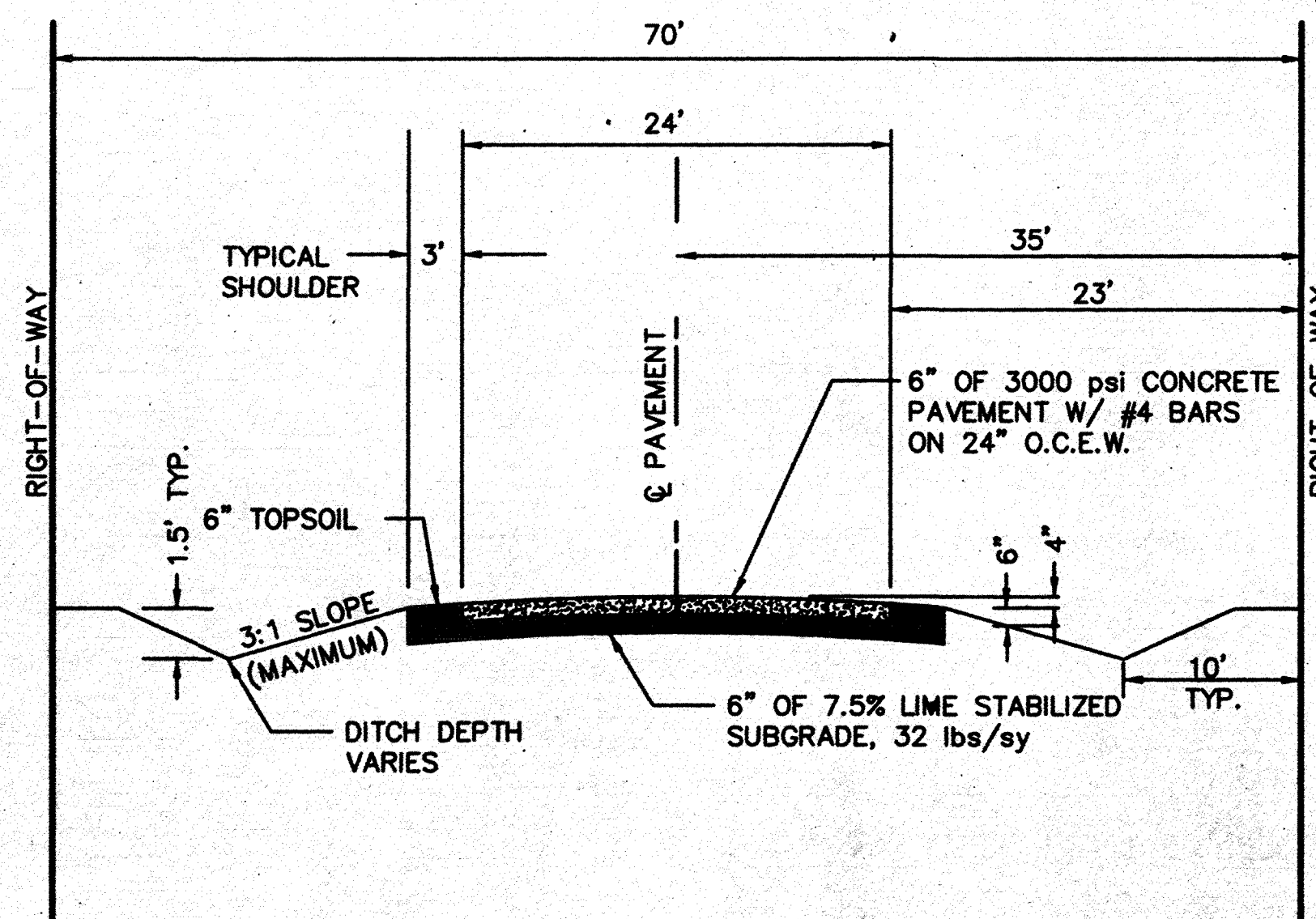
W.L.D.
CHECKED
K.E.R.
DRAWN
9/1/97
DATE
9708PVS
PROJECT



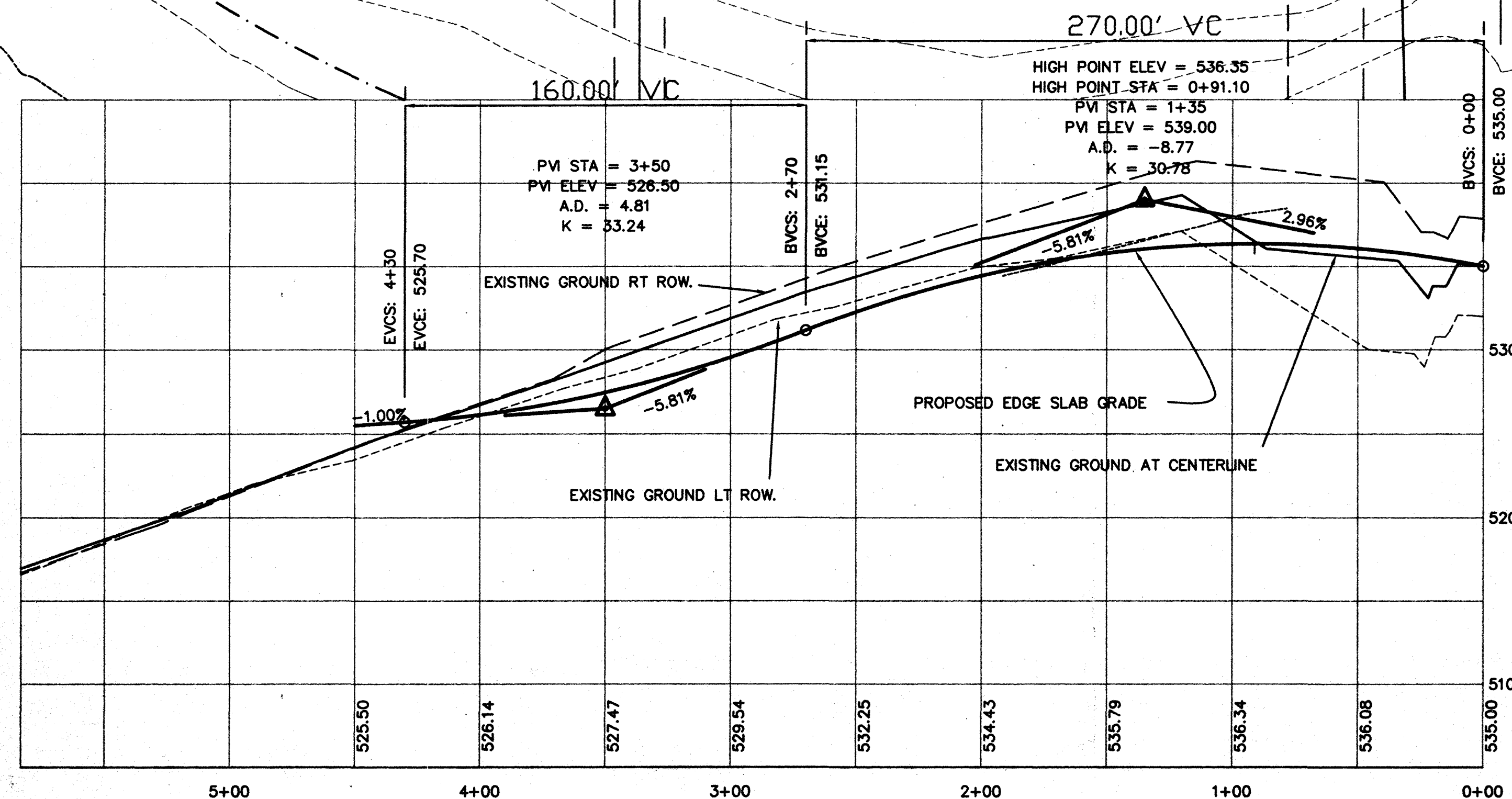
COMPACTED FILL
738 CYS
ELEV: 513.0

PAVING SECTION

N.T.S.



B.M.
BRASS CAP CENTER OF BRIDGE
@ SNIDER LANE AND WHITE ROCK CREEK
ELEV: 508.56



BLOCK A

NATHA COURT

SNIDER LANE

SUSAN CIRCLE

COUNTY ROAD NO. 319

STA: 3+73.68 P.R.C.
24.62' RT.
ELEV: 526.39 E.P.

STA: 3+49.23
P.C.

STA: 3+50 FIRE HYD.

STA: 0+39.31
RAD. RETURN

STA: 0+10.20 INSTALL
STD. CONCRETE HEADER
SAW CUT AND REMOVE
83 SF OF EX. ASPH.

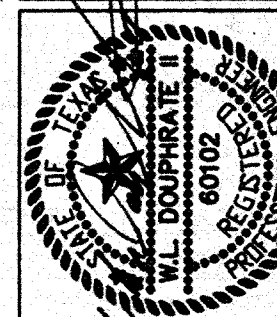
STA: 3+73.68 P.R.C.
24.62' RT.
ELEV: 526.39 E.P.

STA: 3+49.23
P.C.

STA: 0+40.19
RAD. RETURN

SEE SH. 12
FOR SWALE DETAIL

SEE SH. 11 FOR
PLAN & PROFILE OF PIPE



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DOCUMENT WAS AUTHORIZED BY
W.L. DOUPPRATE II TEXAS P.E.
NO. 60102 ON 7/1/77

DOUPPRATE & ASSOCIATES
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PHONE: (972) 771-0004 FAX: (972) 771-0005

PLAN AND PROFILE
NATHA COURT
CREEKWOOD ESTATES
CITY OF LUCAS

REVISION

W.L.D.

CHECKED

KER

DRAWN

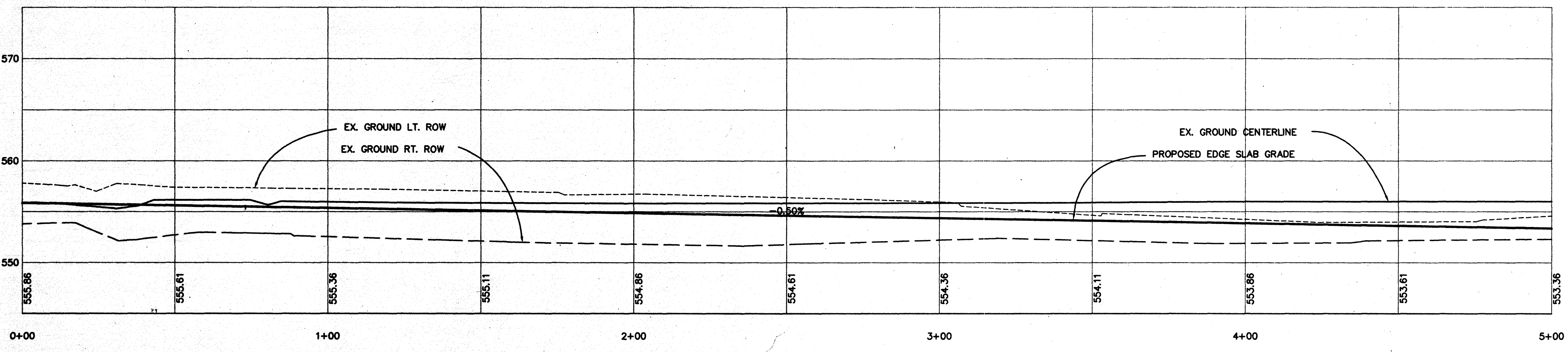
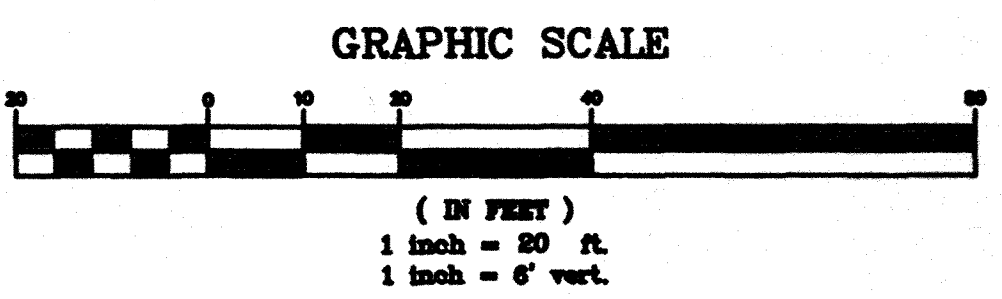
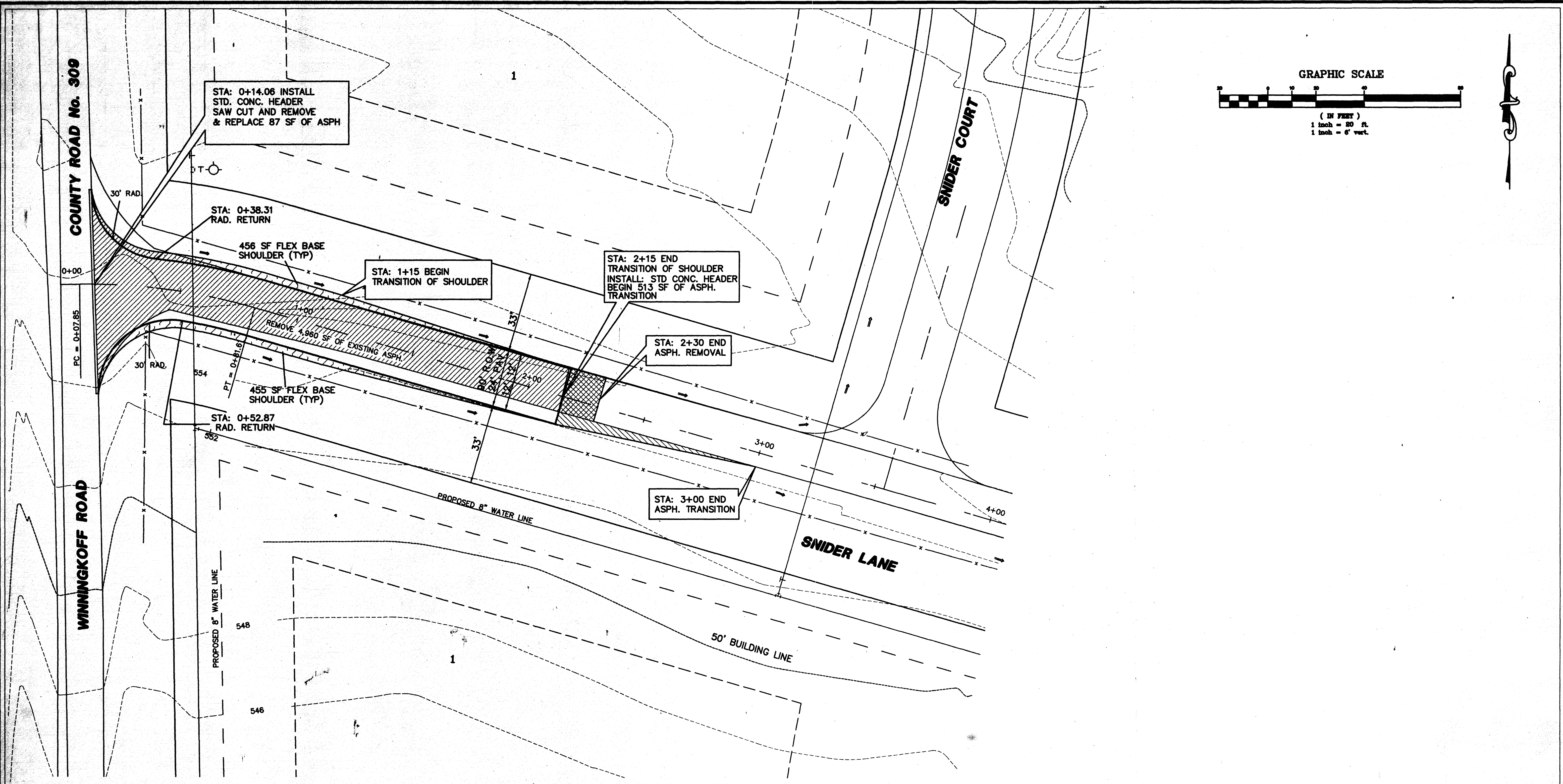
DATE

9/11/97

PROJECT

9708P4

1



PLAN OF ASPHALT EXPANSION

SNIDER LANE

CREEKWOOD ESTATES

CITY OF LUCAS, COLLIN COUNTY TEXAS

DOUPHRADE & ASSOCIATES

ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT

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REVISION

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10/07/87

DATE

9708PV5

PROJECT

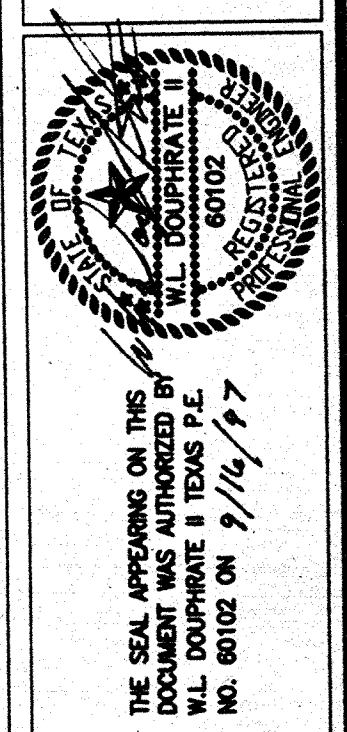
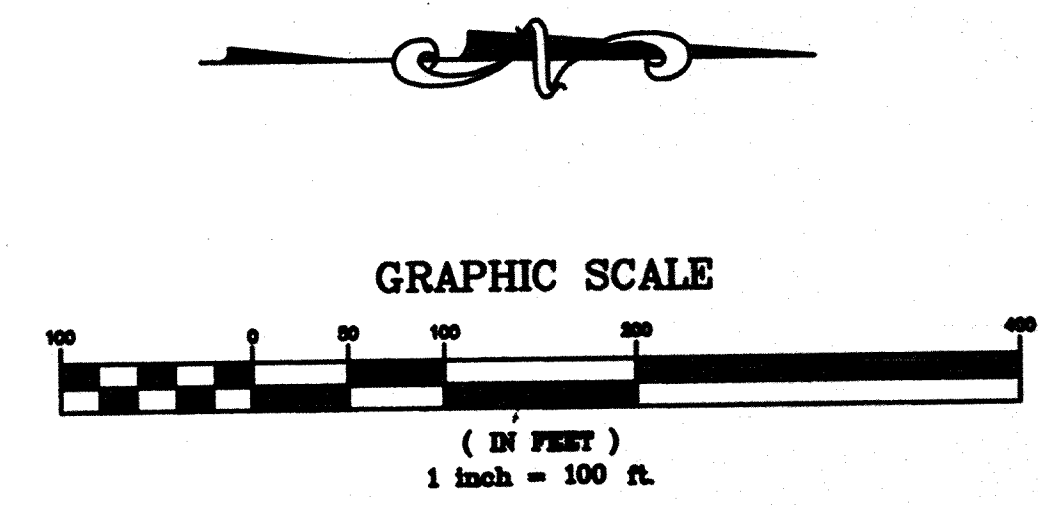
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12

OF

12

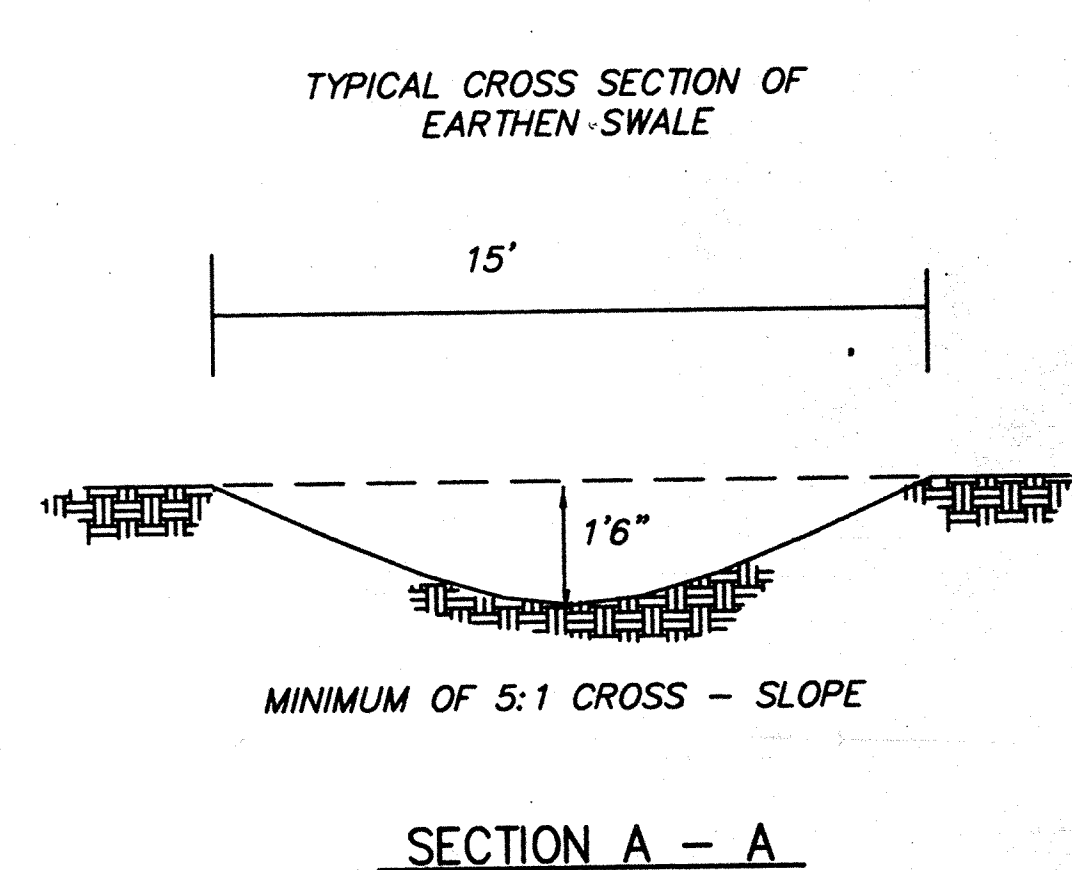
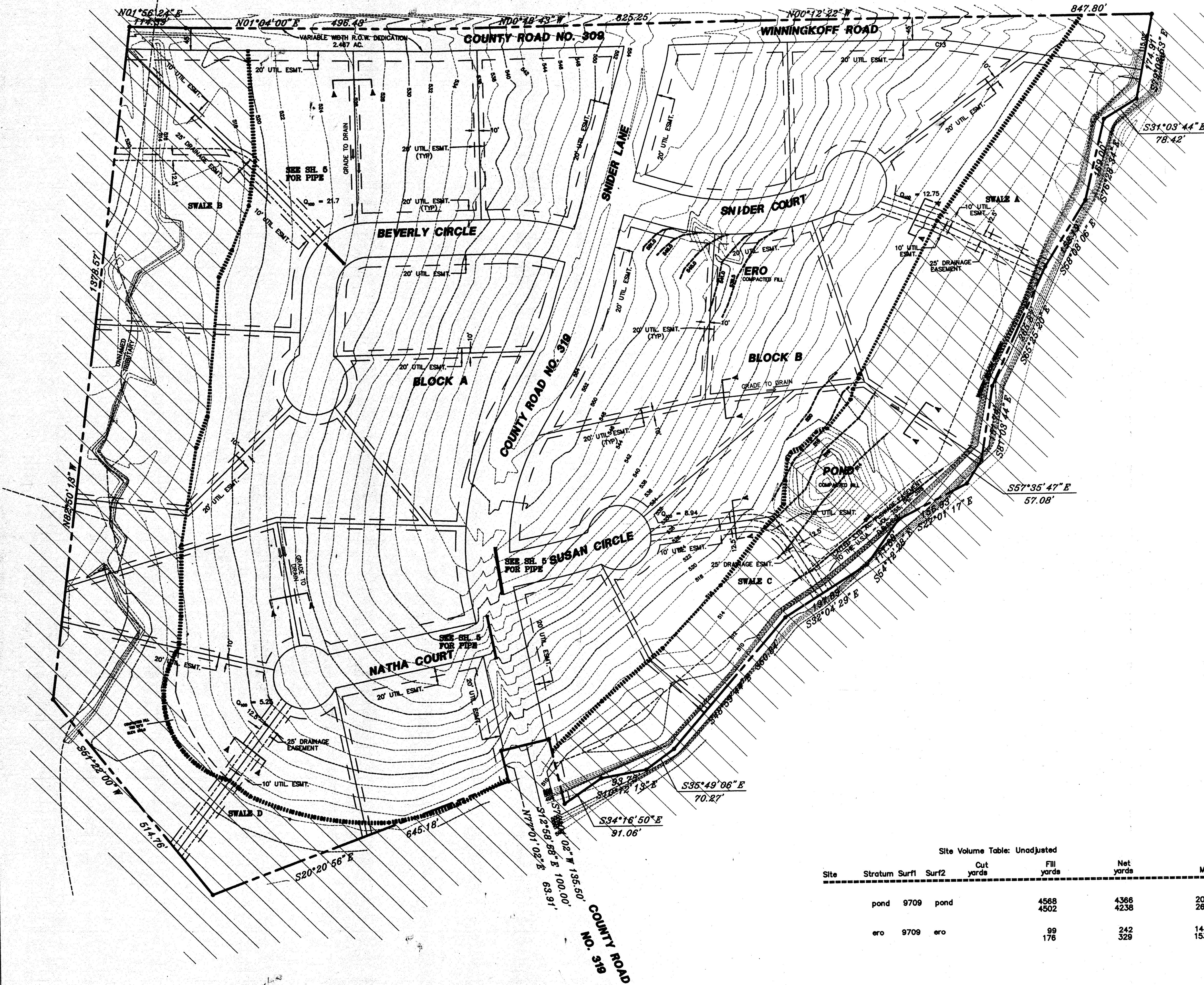
P. LUCAS SURVEY,
ABSTRACT NO. 537



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GENERAL GRADING PLAN
CREEKWOOD ESTATES
64.00 AC. IN J. THOMPSON S.A. 893
CITY OF LUCAS, COLLIN COUNTY TEXAS

REVISION
W.L.D.
CHECKED
D.L.B.
DRAWN
9/12/97
DATE
9708GPD
PROJECT
14
OF
19



Site Volume Table: Unadjusted

Site	Stratum	Surf1	Surf2	Cut yards	Fill yards	Net yards	Method
pond	9709	pond			4568 4502	4366 4238	202 (C) Grid 264 (C) Composite
ero	9709	ero			99 176	242 329	143 (F) Grid 153 (F) Composite

B.M.
BRASS CAP CENTER OF BRIDGE
© SNIDER LANE AND WHITE ROCK CREEK
ELEV: 508.56

BOIS D'ARC MANOR
SUBDIVISION
VOL. 7, PG. 8
P.R.C.C.T.

SANDY L. BEDELL
CALLED 4.00 AC.
VOL. 2259, PG. 918
D.R.C.C.T.

P. LUCAS SURVEY,
ABSTRACT NO. 537

MARY E. JACKSON
CALLED 29.27 AC.
VOL. 1817, PG. 285
D.R.C.C.T.

HIGH MEADOWS ESTATES
VOLUME E PAGE 180
P.R.C.C.T.

CALLED 2.715 ACRES
ROBERT DILLON
VOL. 3591 PAGE. 218
D.R.C.C.T.

CALLED 2.445 ACRES
MICHAEL JAMES ARNOLD
CLERK # 60352 9/3/92
D.R.C.C.T.

CALLED 2.016 ACRES
CURTIS REEDER
VOL. 950 PAGE 421
P.R.C.C.T.

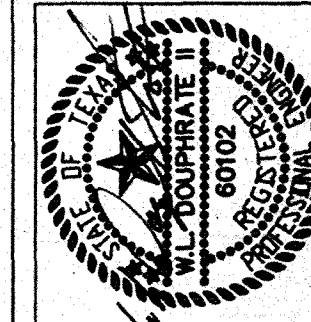
PETWAY FARM SUBDIVISION
VOL. 6 PAGE 643
P.R.C.C.T.

ROLLING HILLS ESTATES
VOL. H. PAGE 10
P.R.C.C.T.

UNITED STATES OF AMERICA
CALLED 27.80 AC.
VOL. 755, PG. 382
D.R.C.C.T.

CALLED 0.19 AC.
COUNTY OF COLLIN
VOL. 2993, PG. 455
P.R.C.C.T.

PETWAY FARM SUBDIVISION
VOL. 6 PAGE 643
P.R.C.C.T.

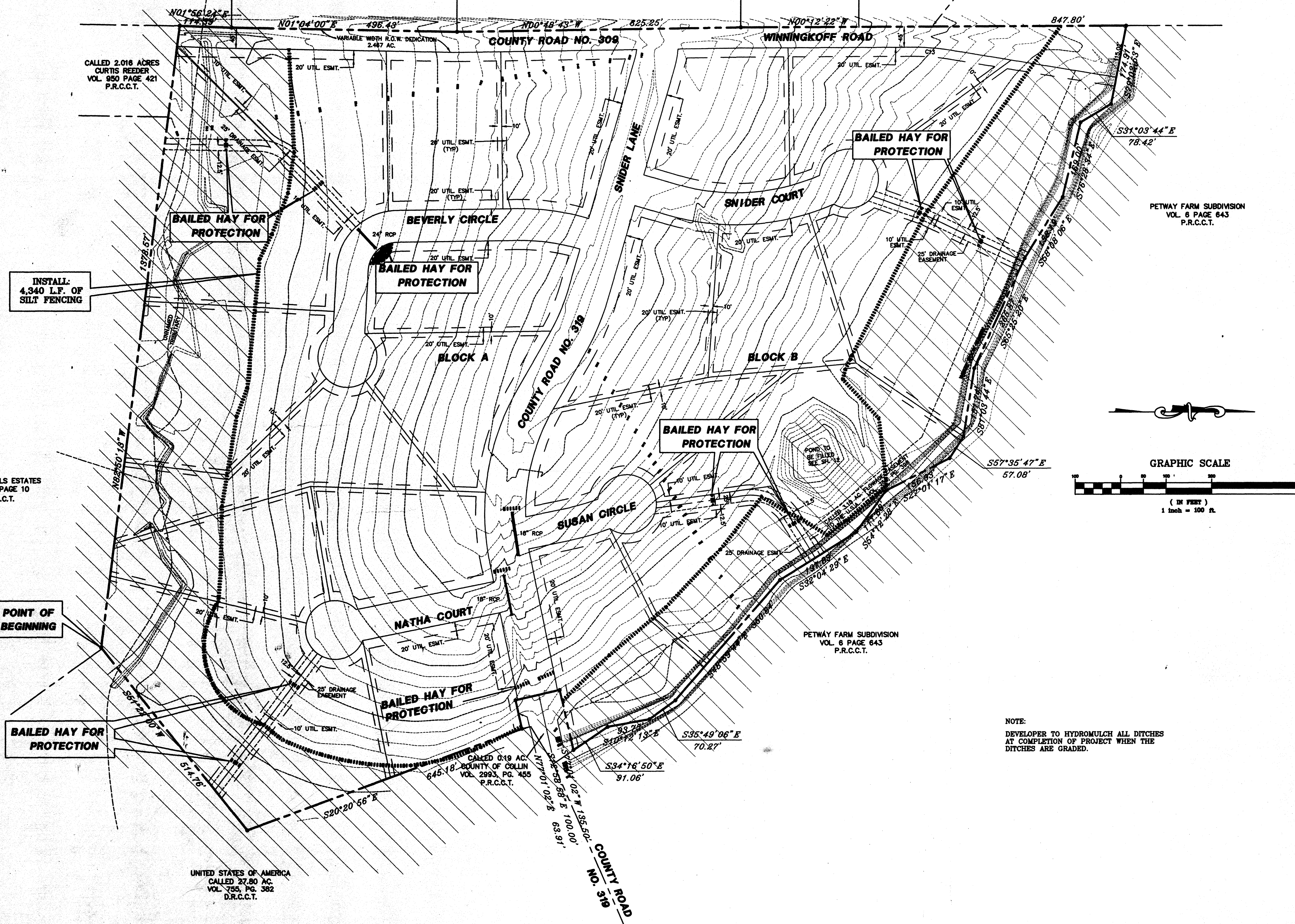


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DOCUMENT WAS AUTHORIZED BY
THE BOARD OF ENGINEERING
EXAMINERS OF THE STATE OF TEXAS
NO. 60102 ON 9/1/97

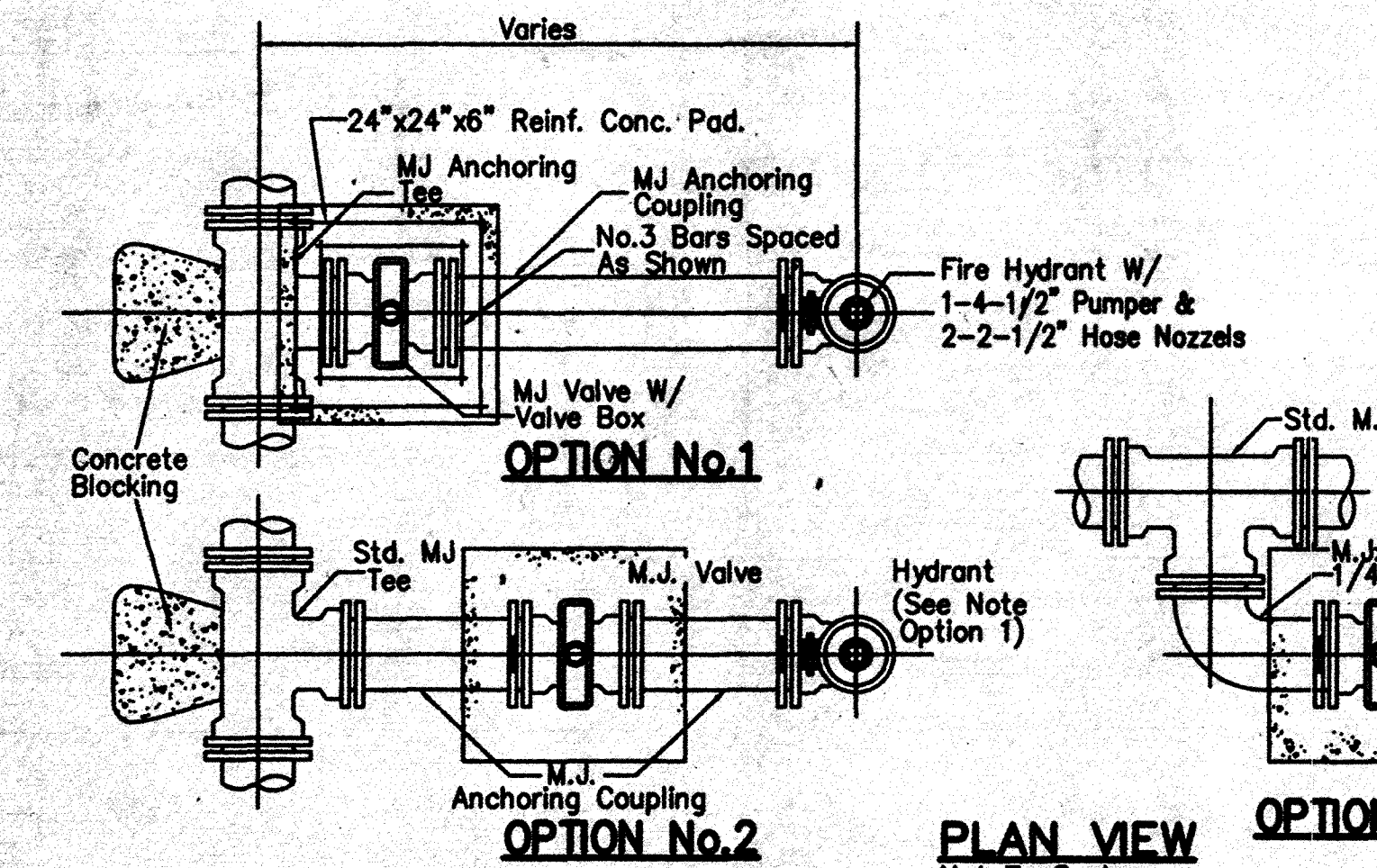
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ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972) 771-9004 FAX: (972) 771-9005

EROSION CONTROL PLAN
CREEKWOOD ESTATES
64.00 AC. IN J. THOMPSON S.A. 893
CITY OF LUCAS, COLLIN COUNTY TEXAS

REVISION	
WLD.	
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D.L.B.	
DRAWN	
9/1/97	
DATE	
970600	
PROJECT	
15	
OF	
19	

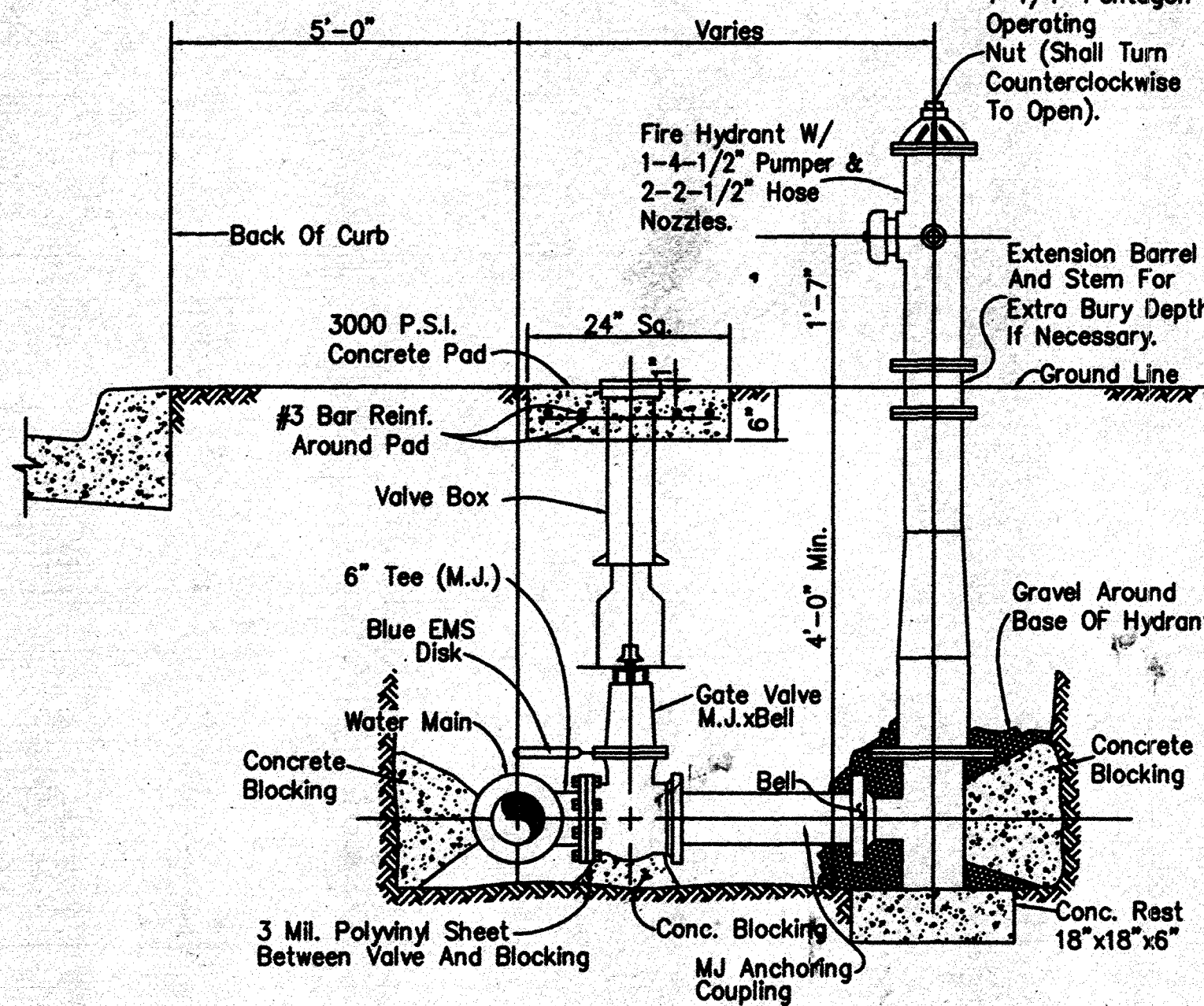


NOTE:
DEVELOPER TO HYDROMULCH ALL DITCHES
AT COMPLETION OF PROJECT WHEN THE
DITCHES ARE GRADED.

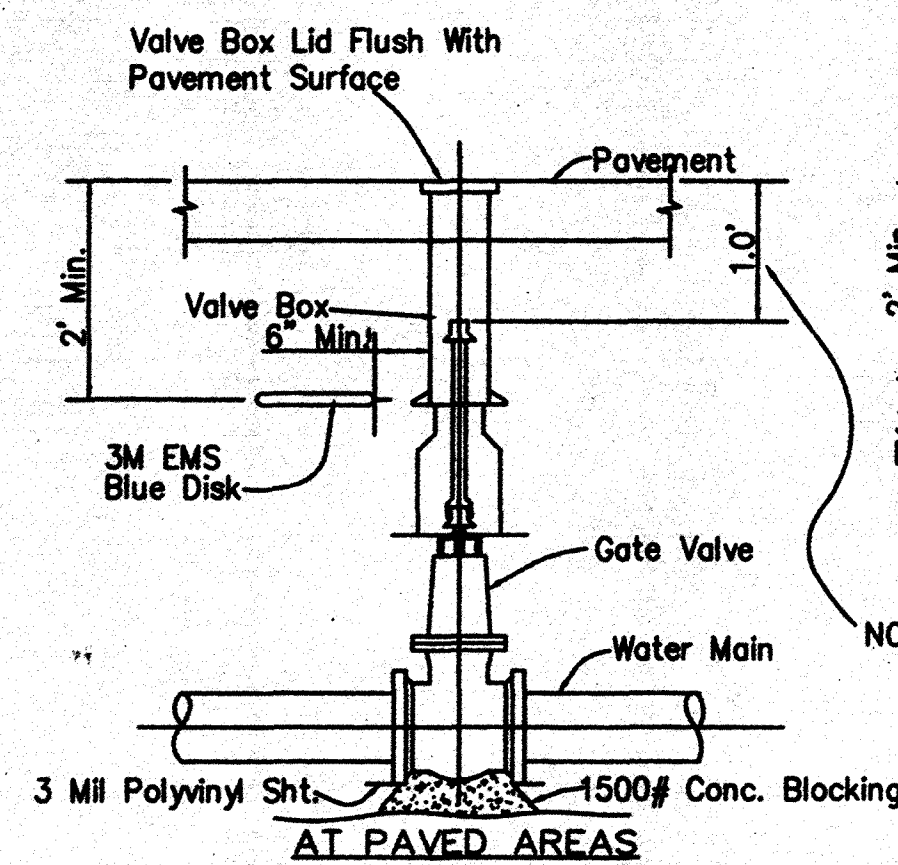


PLAN VIEW

OPTION No.3

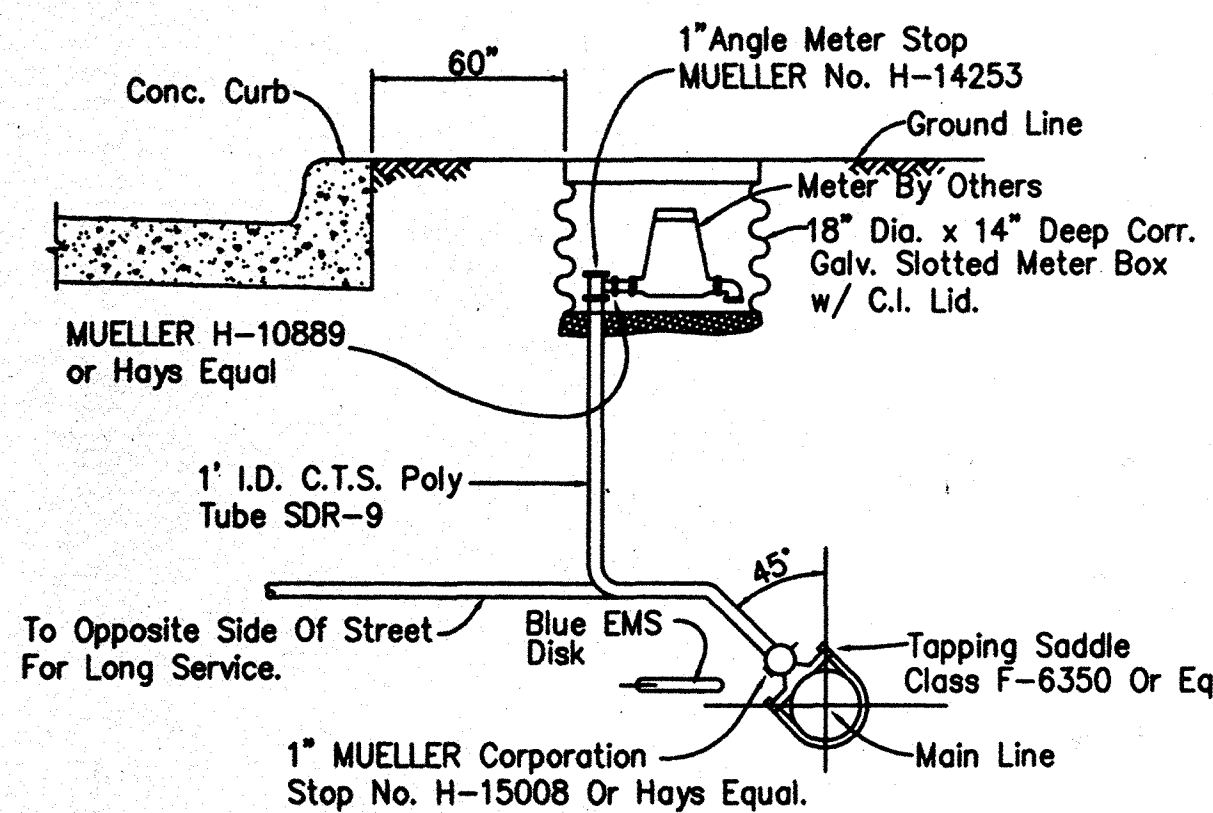
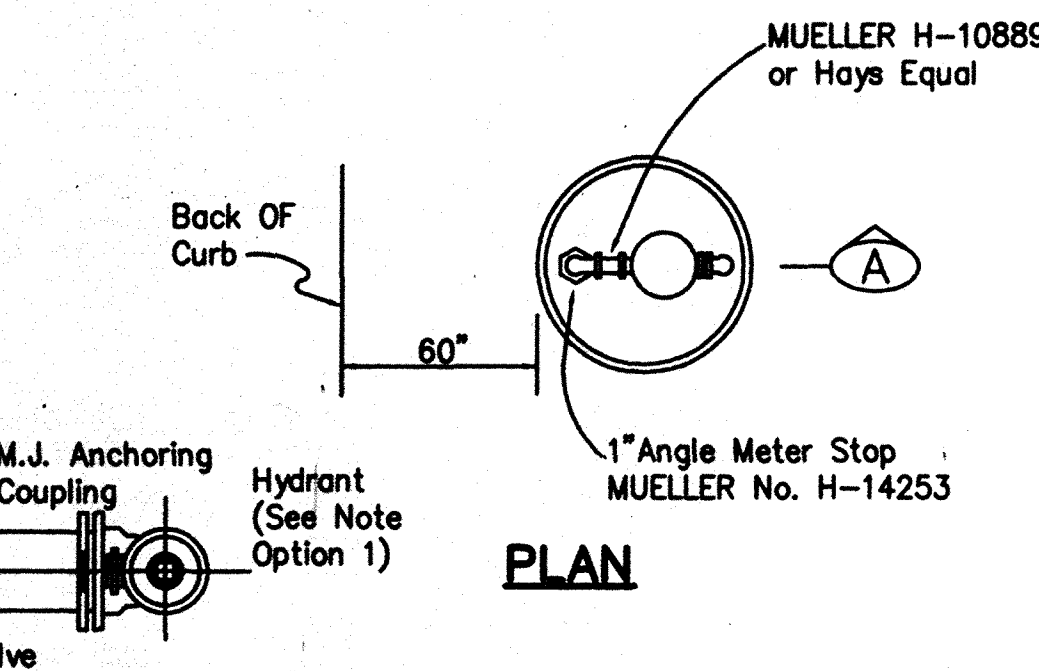


Not To Scale



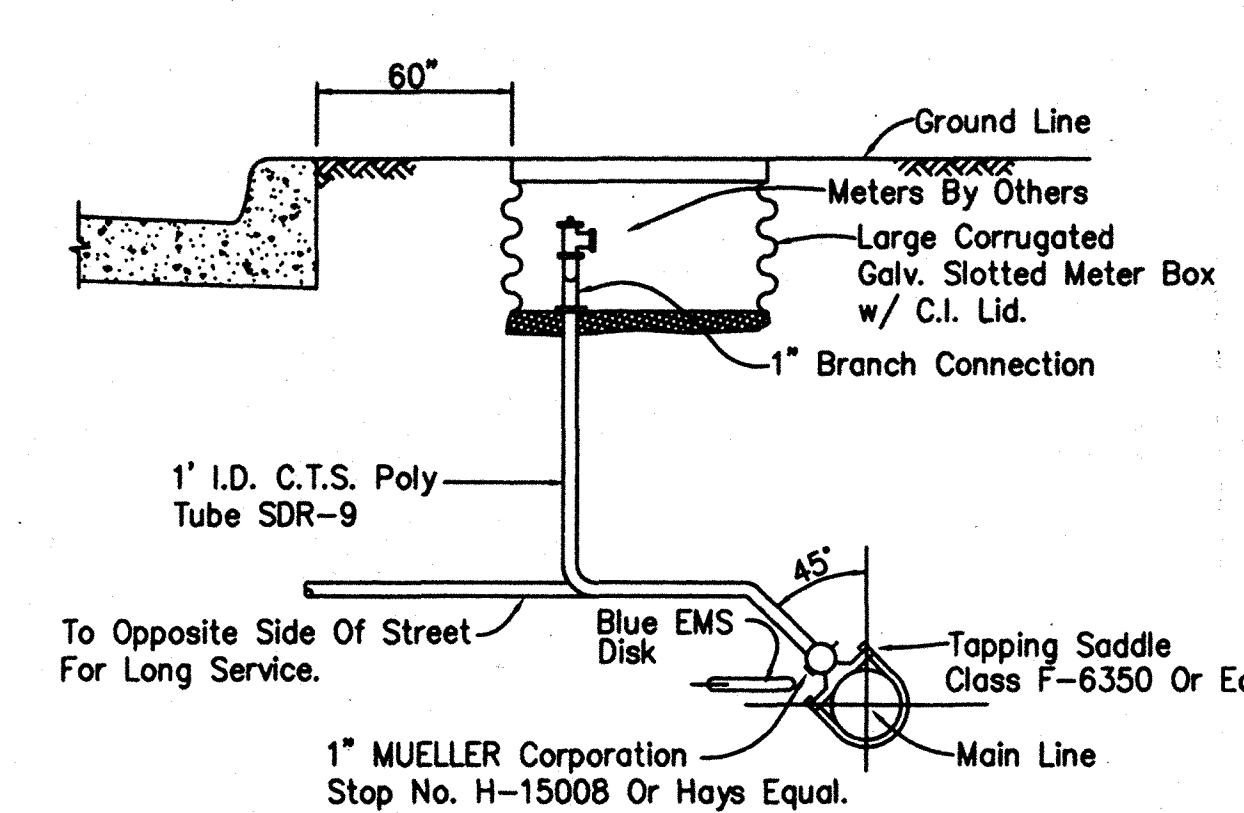
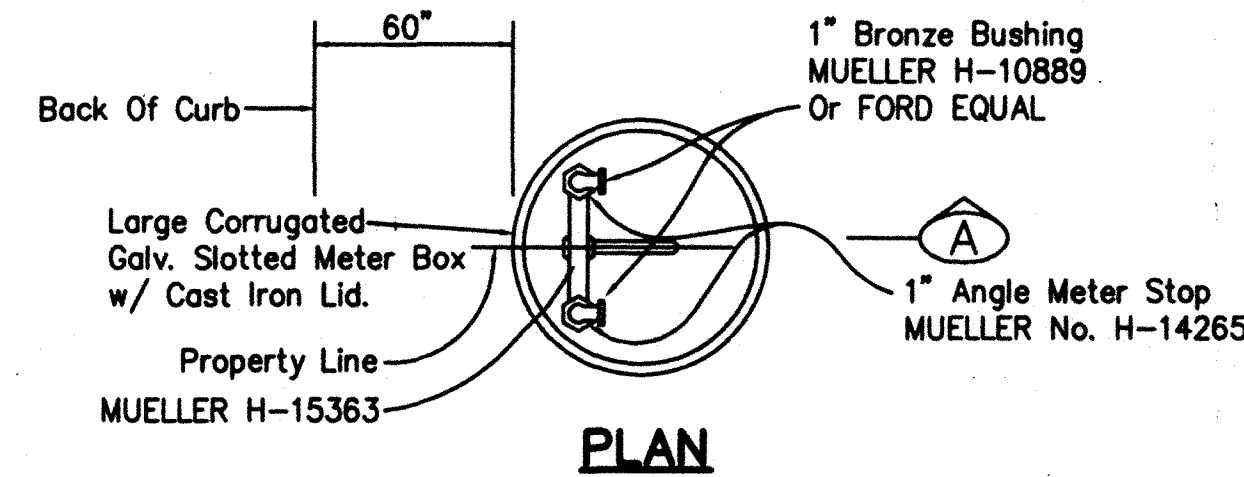
Not To Scale

NOTE: If Valve Operating Nut Is More Than 3' Below Pavement Surface, Provide Extension Stem to 1' Below Pavement Surface.



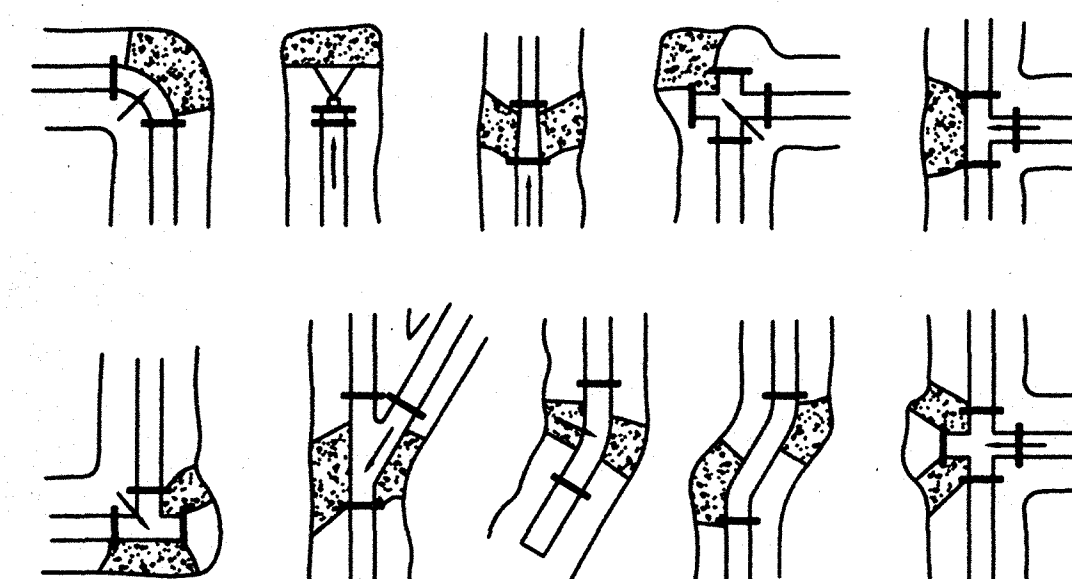
SINGLE SERVICE CONNECTION

Not To Scale



DOUBLE SERVICE CONNECTION

Not To Scale



TYPICAL THRUST BLOCKING DETAILS

NOTES:

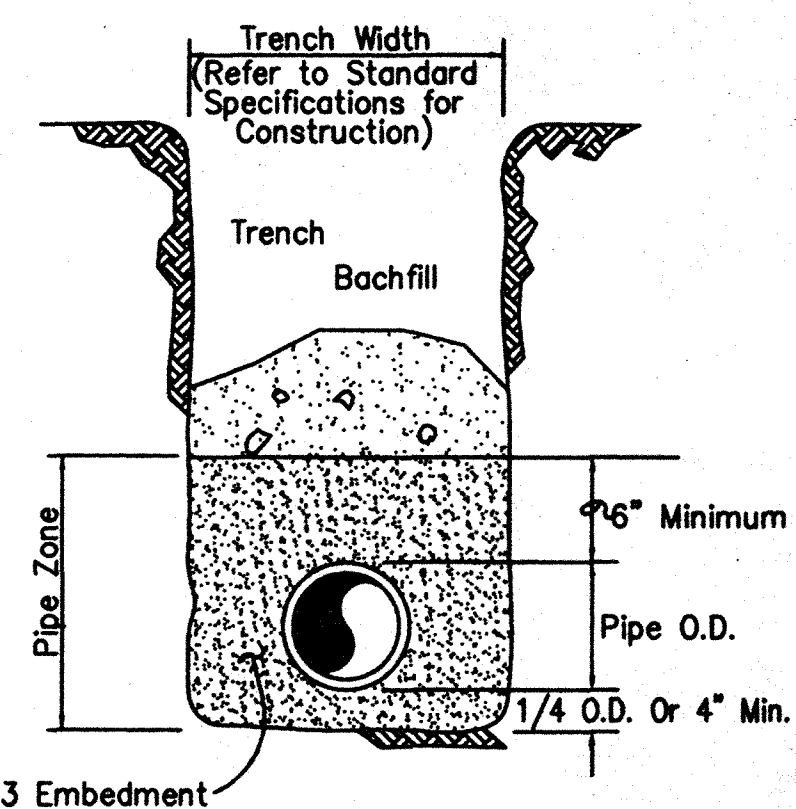
1. The earth bearing surface shall be undisturbed material. Keep all joints free from concrete. Thrust block to be constructed of 1,500 P.S.I. (20 day) concrete and placed as shown on "Typical Blocking Details" above.
2. It shall be the responsibility of the contractor to install adequate thrust blocking. The HORIZONTAL BLOCKING TABLE shows the minimum thrust blocking area required (in square feet) bearing against undisturbed trench wall.
3. All fittings shall be blocked regardless of the angle or direction, except as noted in the chart.
4. Soil bearing strength is assumed. To be 2,000 P.S.F. site conditions may vary which will require modifications to the blocking calculations.

HORIZONTAL BLOCKING TABLE

PIPE SIZE (IN.)	THRUST (POUNDS) DEAD END AND TEE	BLOCKING (SQUARE FEET)					
		DEAD END AND TEE	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND	5° DEFLECT
4	2,450	1.23	1.73	0.94	0.50	0.50	0.50
6	5,513	2.76	3.90	2.11	1.08	0.54	0.50
8	9,802	4.90	6.93	3.75	1.91	0.96	0.50
10	15,315	7.66	10.83	5.86	2.99	1.50	0.67
12	22,054	11.03	15.59	8.43	4.30	2.18	0.96

BASED ON 2,000 P.S.F. SOIL BEARING CAPACITY AND 195 P.S.I. LINE PRESSURE (150 P.S.I. WORKING PRESSURE PLUS 30% FOR WATER HAMMER.)

GRANULAR, TYPE 3, EMBEDMENT: Pit run granular embedment material shall be free flowing sand or mixed sand and pea gravel free from large stones, clay and organic material. The material may be an inferior grade of pit run or blow sand not normally considered satisfactory for concrete aggregate and may be used directly from pits without processing, provided it complies with the qualities described herein. The material shall be such that when wet it will not form a mud ball or tend to cling together. The material shall have 100% passing one inch (1") sieve, and the plasticity index of that part passing the 40 sieve is obtained from the City.



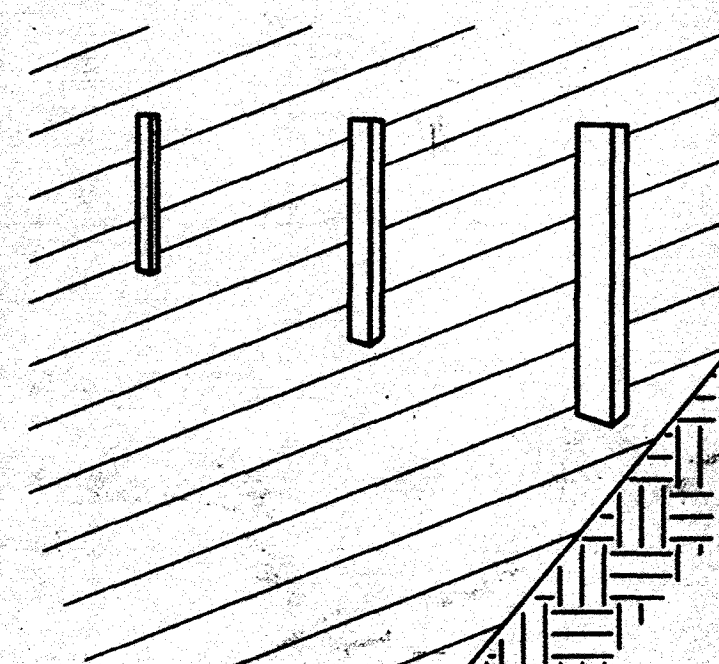
PIPE EMBEDMENT DETAIL

DOUPHRADE & ASSOCIATES
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PHONE: (972)771-9004 FAX: (972)771-9006

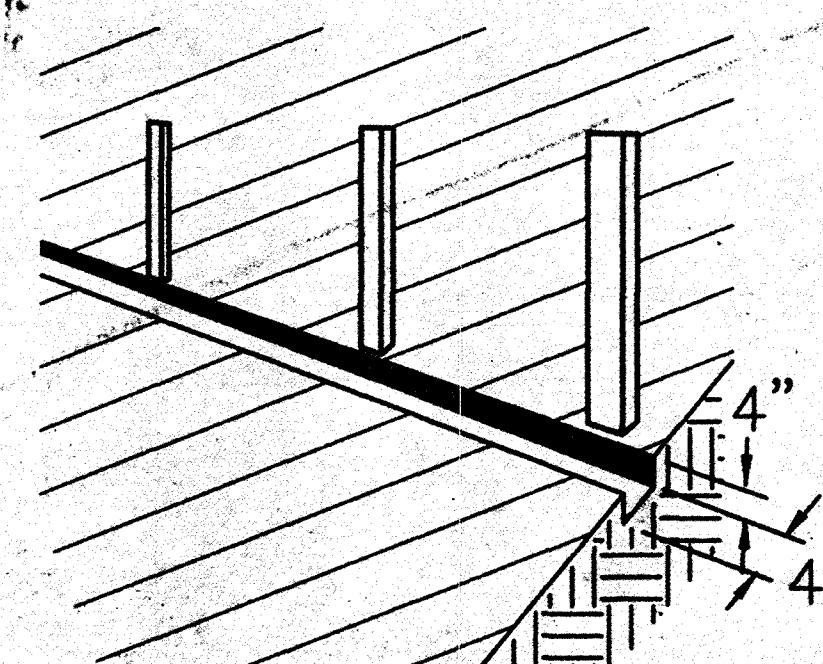
DETAILS
CREEKWOOD ESTATES
64.00 AC. IN J. THOMPSON S.A. 893
CITY OF LUCAS, COLLIN COUNTY TEXAS

REVISION
W.L.D.
D.L.B.
9/16/97
9/20/97
PROJECT

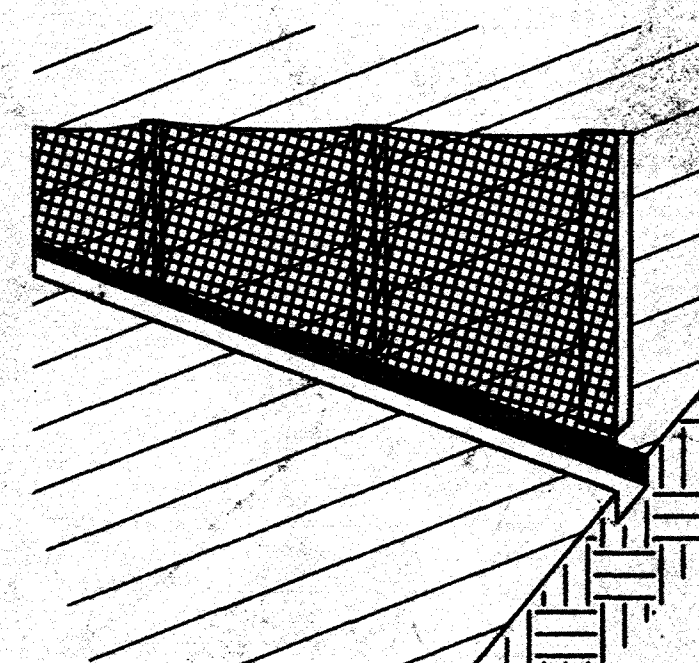
1. SET THE STAKES



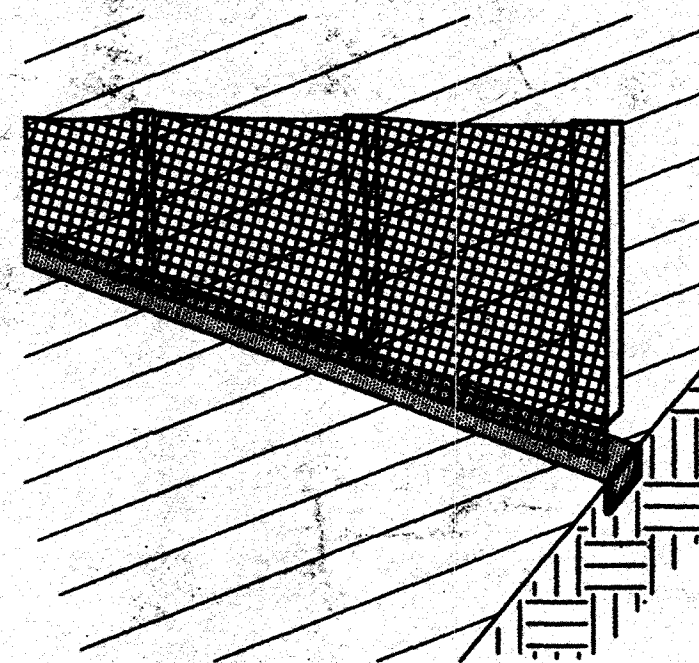
2. EXCAVATE A 4"x4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.

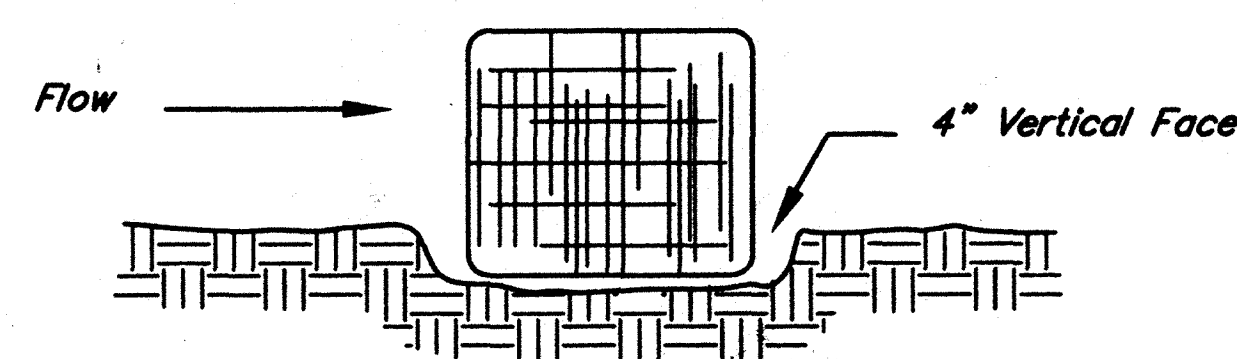


4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



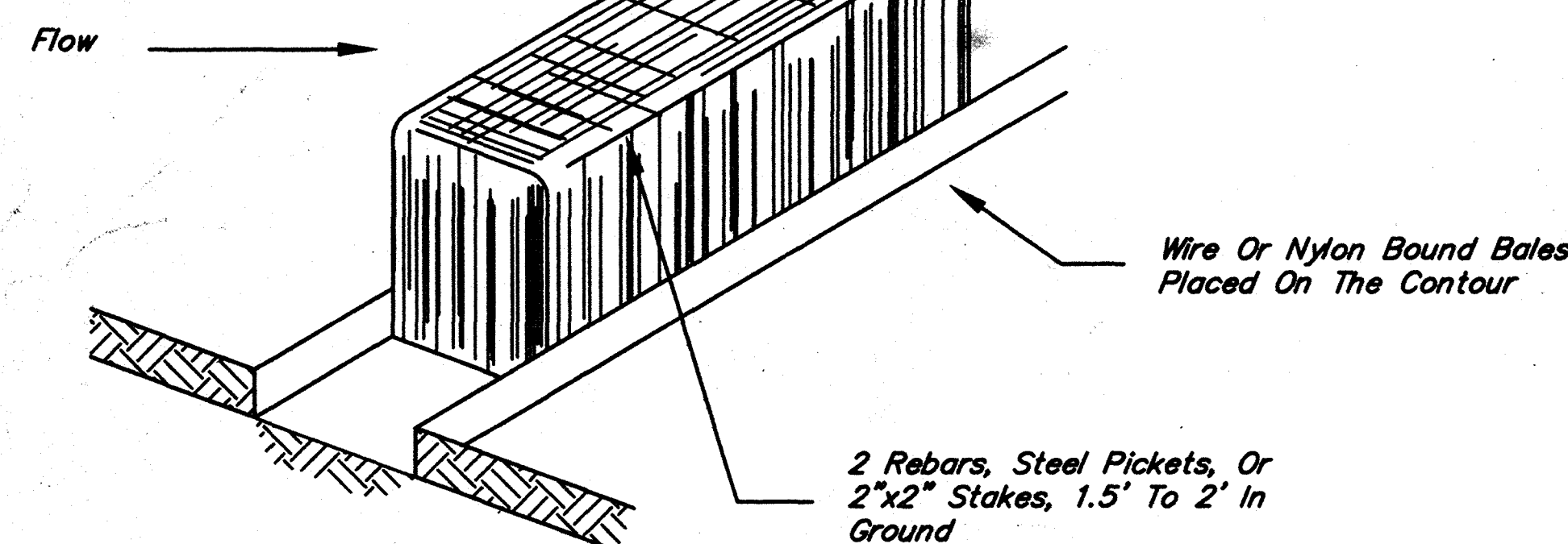
CONSTRUCTION OF A FILTER BARRIER

N.T.S.



Embedding Detail

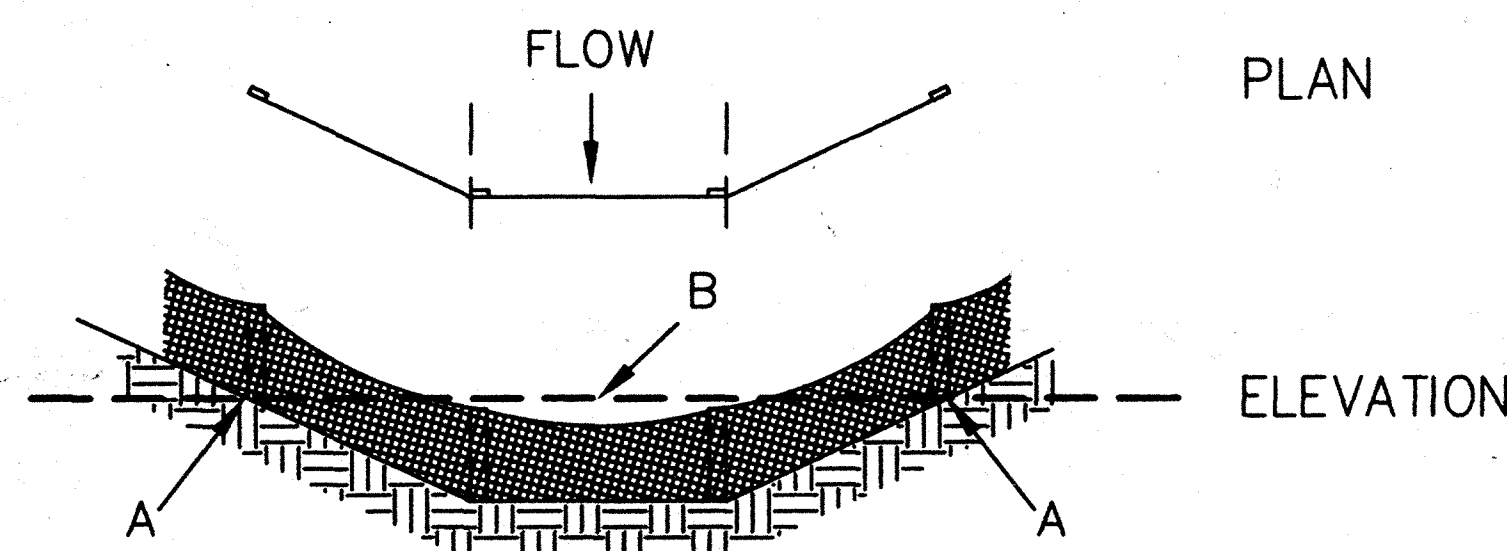
Angle First Stake Toward Previously Laid Bale



Anchoring Detail

TEMPORARY HAY BALE BARRIER

N.T.S.



POINTS "A" SHOULD BE HIGHER THAN POINT "B"

PROPER PLACEMENT OF A FILTER BARRIER IN A DRAINAGE WAY

N.T.S.

STANDARDS FOR SILT FENCE

DEFINITION

TEMPORARY BARRIER FENCE MADE OF BURLAP OR POLYPROPYLENE MATERIAL WHICH IS WATER PERMEABLE BUT WILL TRAP WATER - BORNE SEDIMENT.

PURPOSE

TO INTERCEPT AND DETAIN WATER - BORNE SEDIMENT FROM UNPROTECTED AREAS OF LIMITED EXTENT.

CONDITIONS WHERE PRACTICE APPLIES

SILT FENCE IS USED DURING THE PERIOD OF CONSTRUCTION NEAR THE PERIMETER OF A DISTURBED AREA TO INTERCEPT SEDIMENT WHILE ALLOWING WATER TO PERCOLATE THROUGH. THIS FENCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED. SILT FENCE SHOULD NOT BE USED WHERE THERE IS A CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY.

DESIGN CRITERIA

SILT FENCE IS CONSTRUCTED NEAR THE PERIMETER OF A DISTURBED SITE WITHIN THE DEVELOPING AREA. IT IS NOT TO BE CONSTRUCTED OUTSIDE THE PROPERTY LINES WITHOUT OBTAINING A LETTER OF PERMISSION FROM THE AFFECTED ADJACENT PROPERTY OWNERS.

A DESIGN IS NOT REQUIRED FOR THE INSTALLATION OF THE SILT FENCE. HOWEVER, THE FOLLOWING CRITERIA SHALL BE OBSERVED:

- DRAINAGE AREA - LESS THAN TWO ACRES
- HEIGHT - 30 INCHES MINIMUM HEIGHT MEASURED FROM EXISTING OR GRADED GROUND.
- MATERIAL - BURLAP, POLYPROPYLENE FABRIC, OR NYLON REINFORCED WITH POLYESTER NETTING. THE MULLEN BURST STRENGTH SHALL BE GREATER THAN 150 PSI. THE EDGES SHALL BE TREATED TO UNRAVELING UNRAVELING.
- SUPPORT - STEEL FENCE POSTS SPACED A MAXIMUM OF 8 FEET APART. WOVEN WIRE WILL BE USED TO SUPPORT THE MATERIAL.

OUTLET

SILT FENCE SHALL BE PLACED AND CONSTRUCTED IN SUCH A MANNER THAT RUNOFF FROM A DISTURBED SURFACE OR EXPOSED UPLAND AREA SHALL BE INTERCEPTED, SEDIMENT TRAPPED, AND THE SURFACE RUNOFF ALLOWED TO PERCOLATE THROUGH THE STRUCTURE. SILT FENCE SHALL BE PLACED IN SUCH A MANNER THAT SURFACE RUNOFF WHICH PERCOLATES THROUGH WILL FLOW ONTO AN UNDISTURBED STABILIZED AREA OR STABILIZED OUTLET.

EROSION CONTROL GENERAL NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
3. THE TRENCH SHOULD BE A MINIMUM OF 4 INCHES DEEP AND 4 INCHES WIDE TO ALLOW FOR THE SILT FENCE TO BE LAID IN THE GROUND AND BACKFILLED.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POSTS.
5. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES AND DISPOSED OF IN AN APPROVED SPOIL SITE OR AS IN NO. 7 ABOVE.
9. EROSION PROTECTION WILL BE DELETED OR ADDED PER THE CITY OF IRVING.
10. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION.
11. ALL SEEDING AND FERTILIZATION OF DISTURBED AREAS WILL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.

DOUPHRAE & ASSOCIATES
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT

P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

EROSION CONTROL DETAILS
CREEKWOOD ESTATES
64.00 AC. IN J. THOMPSON S.A. 893
CITY OF LUCAS, COLLIN COUNTY TEXAS

REVISION

W.L.D.
CHECKED

D.L.B.
DRAWN

9/11/97
DATE

9708DET2
PROJECT

PROJECT

17
8
19

COUNTY ROAD No. 309

WINNINGKOFF ROAD

PROPOSED ENTRANCE SIGN
(SEE DETAIL)

STA: 1+15 BEGIN
TRANSITION OF SHOULDER

STA: 2+15 END
TRANSITION OF SHOULDER
INSTALL: STD CONC. HEADER
BEGIN 513 SF OF ASPH.
TRANSITION

STA: 2+30 END
ASPH. REMOVAL

STA: 3+00 END
ASPH. TRANSITION

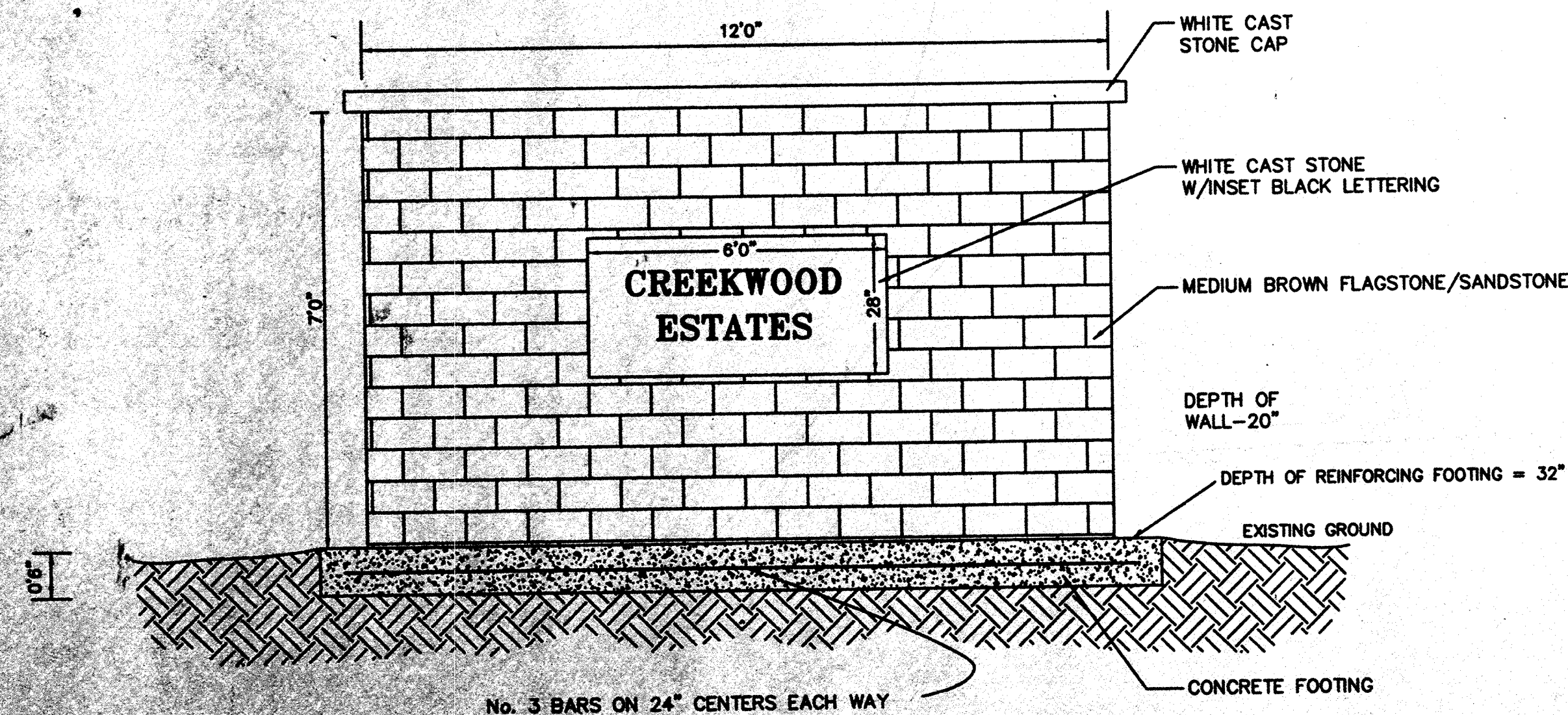
PROPOSED ENTRANCE SIGN
(SEE DETAIL)

PROPOSED 12" WATER LINE

PROPOSED 8" WATER LINE

CREEKWOOD ESTATES - LUCAS, TEXAS
MONUMENT SIGNS

N.T.S.



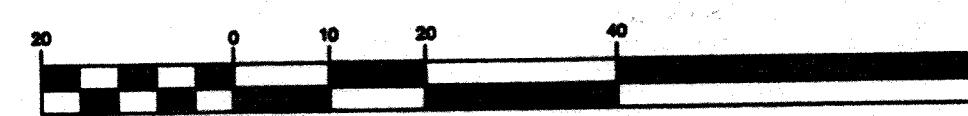
SNIDER COURT

SNIDER LANE

EXISTING PAVING

BEVERLY
CIRCLE

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.
1 inch = 6" vert.

6

NOTE: MONUMENT SIGNS TO BE LOCATED DIAGONALLY AT
SOUTHEAST CORNER & NORTHEAST CORNER OF WINNINGKOFF
& SNIDER LANE IN STREET R.O.W. EXACT LOCATION TO BE
DETERMINED BY CITY ENGINEER.

DOUPHRAE & ASSOCIATES
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT

P.O. BOX 1336 ROCKWALL, TEXAS 75087
PHONE: (972) 771-9004 FAX: (972) 771-9005

ENTRANCE DETAIL
CREEKWOOD ESTATES

64.00 AC. IN J. THOMPSON S.A. 893
CITY OF LUCAS, COLLIN COUNTY TEXAS

REVISION

W.L.D.
CHECKED

D.L.B.
DRAWN

9/1/87
DATE

9708ENTR
PROJECT

10
11
12