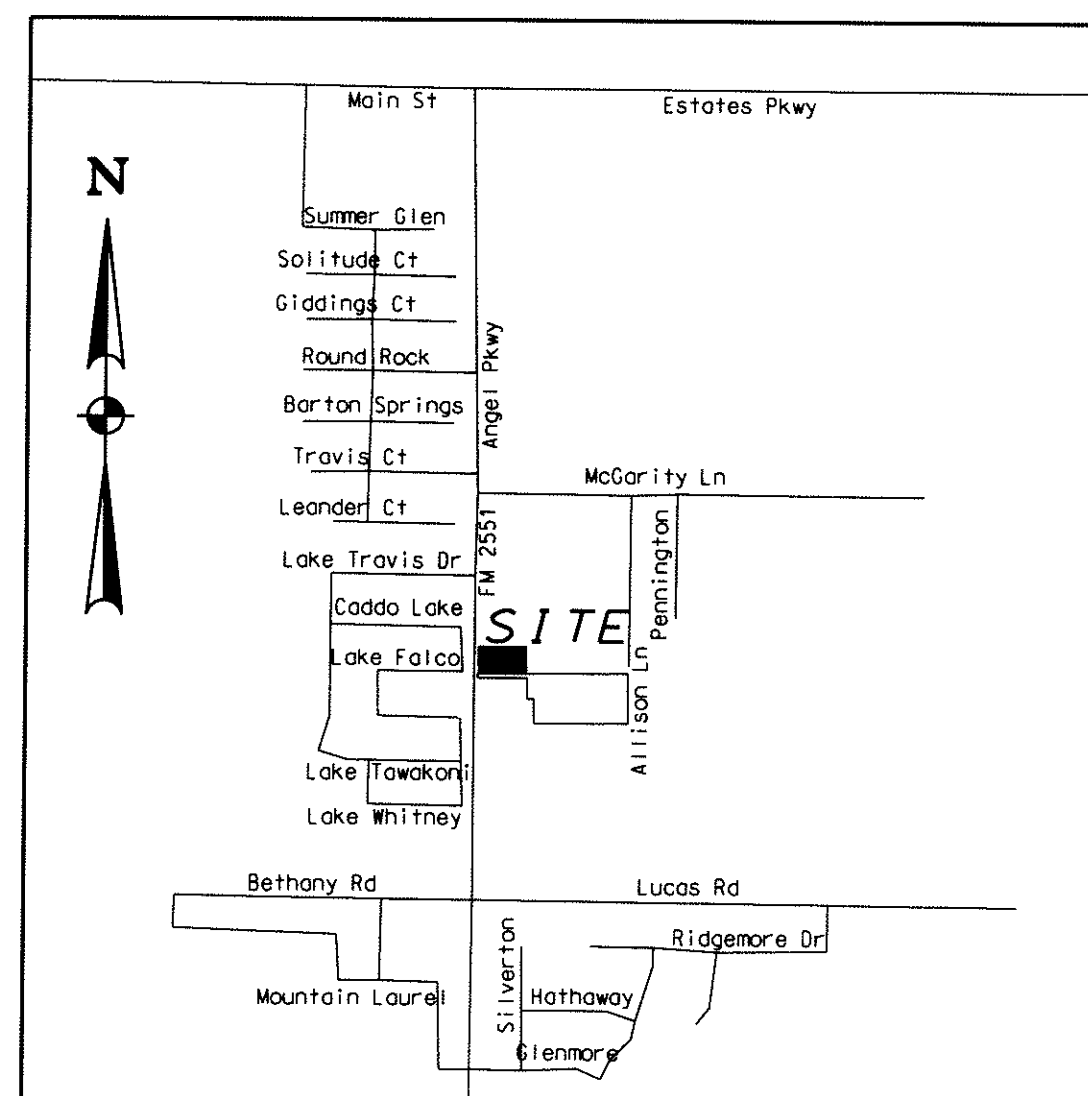


ANGEL PARKWAY PET HOSPITAL PAVING, DRAINAGE & UTILITY IMPROVEMENTS LOT 1, BLOCK A - ANGEL ADDITION CITY OF LUCAS, TEXAS

ARCHITECT:
PLACES MADE ARCHITECTURE
2840 KELLER SPRINGS ROAD, SUITE 103
CARROLLTON, TEXAS 75006
(214)529-9508
DAVID O'SHEA

CONTRACTOR:
TRI-STAR CONSTRUCTION
3601 YUCCA DRIVE
FLOWER MOUND, TEXAS 75028
RANDY AHLFS
(972)221-5558

ENGINEER:
HELMBERGER ASSOCIATES, INC.
1525 BOZMAN ROAD
WYLIE, TEXAS 75098
RANDALL T. HELMBERGER, PE
(972) 442-7459
TBPE REGISTRATION NO. F-000756



VICINITY MAP
NOT TO SCALE

PAVING AND GRADING GENERAL NOTES

1. All construction shall conform to the City of Lucas Standard Construction Details and Standard Specifications for Public Works Construction. In the event that an item is not covered, NCTCOG specifications shall be followed. The contractor shall bring any discrepancies to the attention of the engineer for approval or modification.
2. Excavation or fill operations shall not interfere with or obstruct pre-construction drainage patterns until such time as on-site drainage improvements are constructed.
3. Top of curb elevations are noted with (TC) following them. Gutter elevations are 0.50 feet below top of curb. All other spot elevations shown are to top of pavement or finished grade unless otherwise noted. The intention of this grading plan is to preclude ponding water on paving or grassed areas. If the contractor finds any location that will result in ponding water, the Engineer shall be notified for clarification prior to pavement placement.
4. All subgrade beneath proposed pavement shall be scarified 8" deep and compacted to 95% Standard Proctor (ASTM-D-698) at or slightly above optimum moisture content.
5. All driveways/approaches shall match existing street pavement sections. Firelane and access to the dumpster location and access easement pavement shall be 6" thick 4000 psi concrete with #3 bars on 18" centers both ways. Parking lot pavement shall be 5" thick 4000 psi concrete with #3 bars on 18" centers both ways. Sidewalks shall be 4" thick 4000 psi concrete with #3 bars on 24" centers both ways.
6. The trash enclosure foundation shall be constructed of 6" thick 4000 psi concrete with #3 bars on 18" centers both ways. Slab edges shall be 12" wide by 24" deep with two #5 bars top and bottom.
7. Sawed transverse dummy joints shall be installed in concrete pavement on 15' centers. Sawed longitudinal dummy joints shall be installed along centerline of fire lane and outside were applicable. All joints shall be filled with an approved sealer.
8. Transverse expansion joints shall be installed at all drive returns. Expansion joints shall be placed along all fixed objects such as light poles and foundations.
9. Contractor shall adjust all manholes and water valves to match finished grades as shown on drawings.
10. Street lights shall be installed 3 1/2 to 4' behind back of curbs as required but shall not encroach on any sidewalks.
11. Contractor shall construct barrier free ramps at all intersections per City of Lucas Details. All handicap ramps, stalls, walks and access to the building(s) shall meet ADA standards.
12. All conduit for irrigation sleeves shall be class 200 PVC installed 12" below concrete pavement and extend 2' outside of back of curb.
13. Contractor shall be responsible for traffic control, warning and safety devices until all work has been accepted by the City of Lucas and the owner.
14. Contractor shall be responsible for Trench Safety in compliance with the Occupational Safety and Health Administration's trench safety standards.
15. The location of existing utilities shown on these plans are approximate. All utilities may not be shown. It is the responsibility of the contractor to contact the City of Lucas and all area utilities that may conflict with construction prior to beginning work.
16. Erosion control shall conform to the North Texas Council of Government Details as approved by the City of Lucas.

Topography and field surveying provided by North Texas Surveys, Inc., McKinney, Texas.

Asbuilt utilities, paving and drainage information obtained from record drawings on file with the City of Lucas.

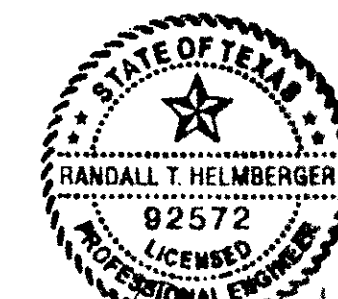
UTILITY CONSTRUCTION GENERAL NOTES

1. All construction shall conform to the City of Lucas Standard Construction Details and Standard Specifications for Public Works Construction. In the event that an item is not covered, NCTCOG specifications shall be followed. The contractor shall bring any discrepancies to the attention of the engineer for approval or modification.
2. All water mains shall be Class 200, AWWA C900 PVC pipe.
3. All gate valves shall be City approved resilient Seat Gate Valves (A-2370-series).
4. All fire hydrants must meet City of Lucas Specifications.
5. Hose/pumper nozzles on fire hydrants shall be 18" above top of curb, or finished grade and shall face the streets or firelane. Fire hydrant shall not be placed less than 2.0' nor more than 6.0' behind the curb.
6. All water mains shall have a minimum cover of 48" below finished grade.
7. All water mains shall be pressure tested in accordance with the specifications. The Contractor shall flush and sterilize all water mains.
8. The location of existing utilities shown on these plans are approximate. All utilities may not be shown. It is the responsibility of the contractor to contact all area utilities that may conflict with construction prior to beginning work.
9. All sanitary sewer pipe outside of the building shall be SDR35 PVC pipe.
10. All concrete blocking and embedment for water and sewer line shall be in accordance with the City of Lucas construction standards.
11. Contractor shall be responsible for traffic control, warning and safety devices until all work has been accepted by the City of Lucas and the owner.
12. Contractor shall be responsible for Trench Safety in compliance with the Occupational Safety and Health Administration's trench safety standards.
13. Any water or sanitary sewer service located outside of a street, alley or easement shall be installed by a plumber and be inspected by Building Inspection.
14. Fire Department Connection shall be within 50' of a fire hydrant.

Asbuilt utilities, paving and drainage information obtained from record drawings on file with the City of Lucas.

SHEET INDEX

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FINAL PLAT	2of2
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PAVING AND DIMENSION CONTROL PLAN	C2
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GRADING AND DRAINAGE PLAN	C4
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PEDESTRIAN FACILITIES CURB RAMPS - PED - 12A	10F4
PEDESTRIAN FACILITIES CURB RAMPS - PED - 12A	20F4
PEDESTRIAN FACILITIES CURB RAMPS - PED - 12A	30F4
PEDESTRIAN FACILITIES CURB RAMPS - PED - 12A	40F4



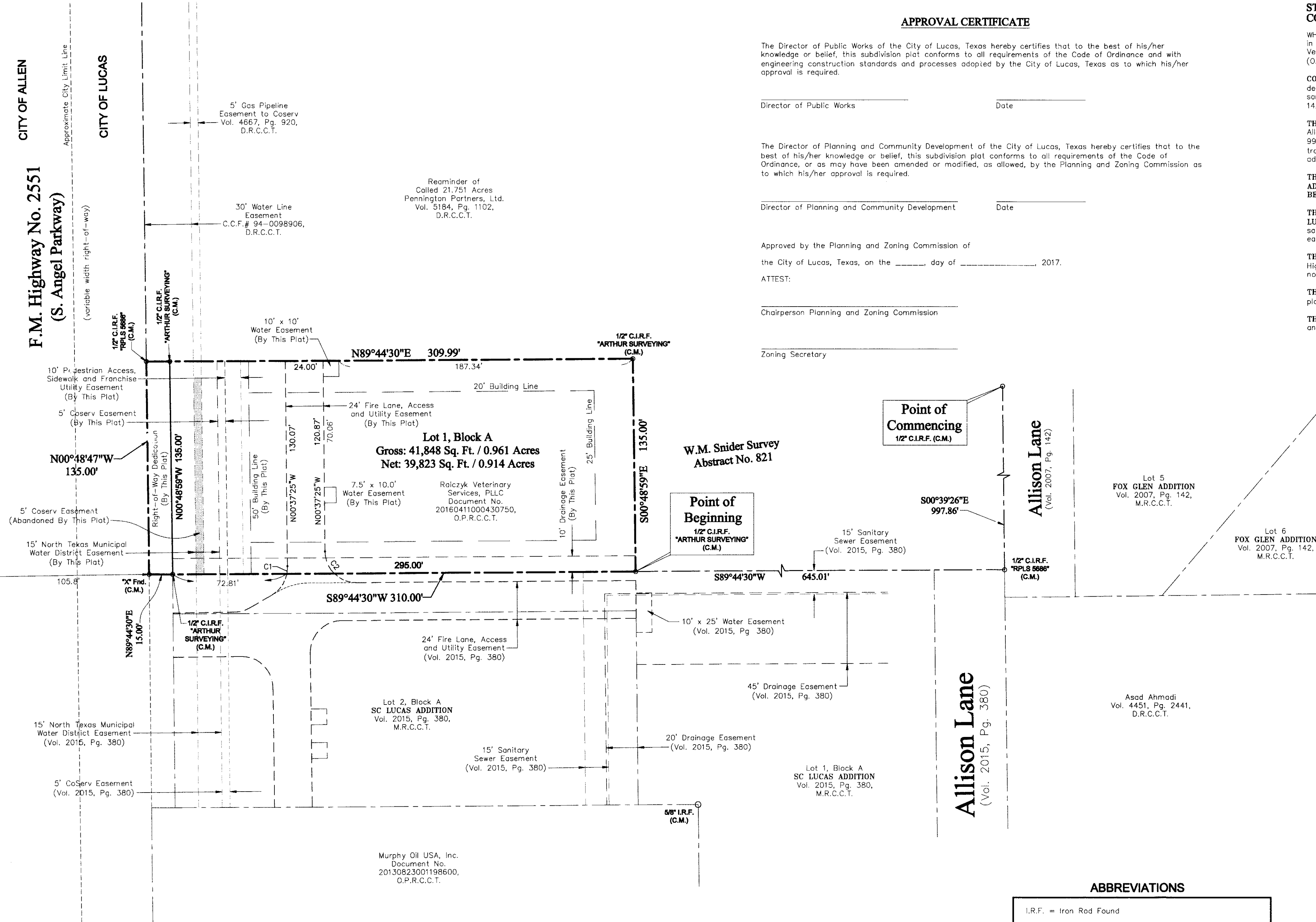
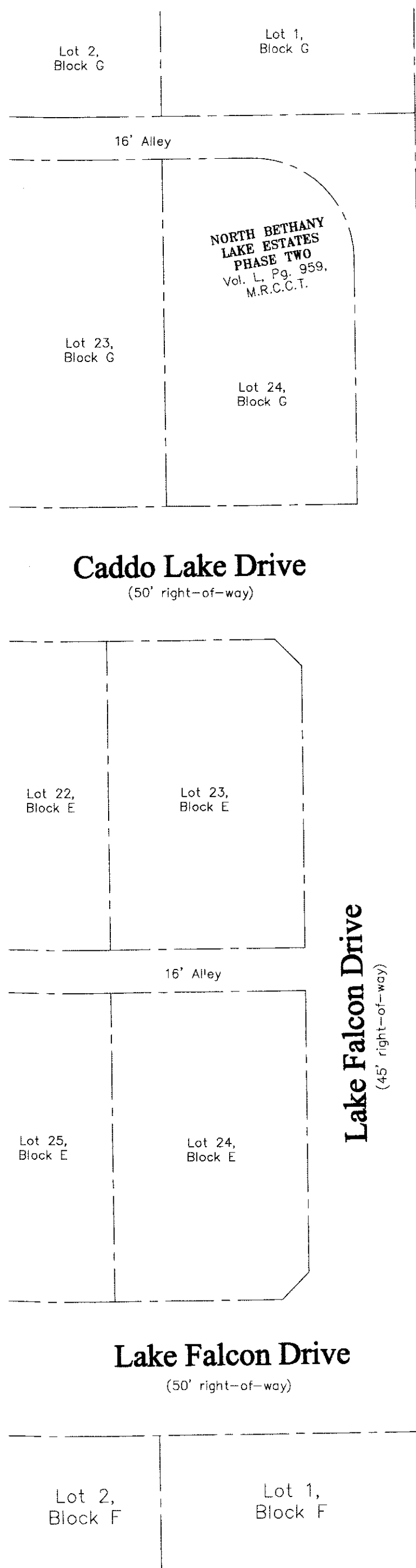
4/21/16

AS-BUILT DRAWING 06-19-17

THIS DOCUMENT IS SUBMITTED AS AN "AS-BUILT DRAWING" FOR RECORD PURPOSES ONLY. ANY MODIFICATION OR CHANGES THAT HAVE BEEN MADE DURING CONSTRUCTION AND NOTED ON THIS DRAWING HAVE BEEN SUPPLIED BY THE OWNER, HIS REPRESENTATIVE OR THE CONTRACTOR. FIELD INSPECTION/CONTRACT SUPERVISION OF THE CONSTRUCTION WAS PERFORMED BY OTHERS. IT IS NOT GUARANTEED BY HELMBERGER ASSOCIATES, INC. THAT THIS DOCUMENT REPRESENTS "AS-BUILT" CONDITIONS. TBPE FIRM NO. 000756

APRIL 2016

**ANGEL PARKWAY PET HOSPITAL
LOT 1, BLOCK A - ANGEL ADDITION**



- Notes:**
- According to the Flood Insurance Rate Map of Collin County, Texas, Map No. 48085C0405J, Map Revised June 02, 2009, the herein described property is located in Zone "X", described by said map to be, "areas determined to be outside the 0.2% annual chance floodplain".
 - The surveyor has relied on the herein described deed with regard to any easements, restrictions, or rights-of-way affecting the above described property. No additional research regarding said easements, restrictions or rights-of-way has been performed by the surveyor.
 - Bearings are based on the northerly line of SC LUCAS ADDITION, as recorded in Volume 2015, Page 380, of the Map Records, Collin County, Texas.
 - NOTICE: Selling a portion of this addition by metes and bounds is a violation of city subdivision ordinance and State of Texas statutes and is subject to fines and withholding of utilities and building permits.

APPROVAL CERTIFICATE

The Director of Public Works of the City of Lucas, Texas hereby certifies that to the best of his/her knowledge or belief, this subdivision plat conforms to all requirements of the Code of Ordinance and with engineering construction standards and processes adopted by the City of Lucas, Texas as to which his/her approval is required.

Director of Public Works _____ Date _____

The Director of Planning and Community Development of the City of Lucas, Texas hereby certifies that to the best of his/her knowledge or belief, this subdivision plat conforms to all requirements of the Code of Ordinance, or as may have been amended or modified, as allowed, by the Planning and Zoning Commission to which his/her approval is required.

Director of Planning and Community Development _____ Date _____

Approved by the Planning and Zoning Commission of the City of Lucas, Texas, on the _____ day of _____, 2017.

ATTEST:
Chairperson Planning and Zoning Commission _____

Zoning Secretary _____

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF COLLIN §

WHEREAS, RAICZYK VETERINARY SERVICES, PLLC, is the owner of a tract of land, situated in the W.M. Snider Survey, Abstract No. 821, in the City of Lucas, Collin County, Texas, and being all of that called 0.961 acre tract of land, described by deed to Raiczky Veterinary Services, PLLC, as recorded under Document No. 20160411000430750, of the Official Public Records, Collin County, Texas (O.P.R.C.C.T.), said tract being more particularly described as follows:

COMMENCING at a 1/2" iron rod with a plastic cap found for the northeasterly corner of a called 21.751 acre tract, described by deed to Pennington Partners, Ltd., as recorded in Volume 5164, Page 1102, of the Deed Records, Collin County, Texas (D.R.C.C.T.), some being the northwesterly corner of FOX GLEN ADDITION, an addition to the City of Lucas, as recorded in Volume 2007, Page 142, of the Map Records, Collin County, Texas (M.R.C.C.T.), and also being in McGarity Lane (a.k.a. County Road No. 224);

THENCE South 00°39'26" East, along the westerly line of said FOX GLEN ADDITION, same being the westerly monumented line of Allison Lane, as dedicated by said FOX GLEN ADDITION, same also being the easterly line of said 21.751 acres, a distance of 997.86' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5686" found for the southeasterly corner of said 21.751 acre tract, said corner also being the northeasterly corner of a 45' right-of-way dedication, as dedicated by SC LUCAS ADDITION, an addition to the City of Lucas, as recorded in Volume 2015, Page 380, M.R.C.C.T.;

THENCE South 89°44'30" West, continuing along the southerly line of said 21.751 acre tract, same being the northerly line of said SC LUCAS ADDITION, a distance of 310.00' to an "X" cut found on a concrete culvert, said corner being the southwesterly corner of said 21.751 acre tract, said corner also being the northwesterly corner of said SC LUCAS ADDITION, said corner also being in the easterly monumented line of F.M. Highway No. 2551;

THENCE North 00°48'47" West, along the westerly line of said 21.751 acre tract, same being the easterly monumented line of F.M. Highway No. 2551, a distance of 310.00' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5686" found for the northwesterly corner of said 0.961 acre tract;

THENCE North 89°44'30" East, along the northerly line of said 0.961 acre tract, a distance of 309.99' to a 1/2" iron rod with a plastic cap stamped "ARTHUR SURVEYING" found for the northeasterly corner of said 0.961 acre tract;

THENCE South 00°48'59" East, along the easterly line of said 0.961 acre tract, a distance of 135.00' to the POINT OF BEGINNING and containing 0.961 acres of land, more or less.

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT we, Raiczky Veterinary Services, PLLC, owner, does hereby bind themselves and their heirs, assigns and successors of title this plat designating the hereinabove described property as ANGEL PARKWAY VET HOSPITAL ADDITION, LOT 1, BLOCK A, an addition to the City of Lucas, Collin County, Texas, and does hereby dedicate to the public use forever, the streets, alleys and public use areas shown hereon; the easements, as shown, for mutual use and accommodation of the City of Lucas and all public utilities desiring to use or using same. All and any public utility and the City of Lucas shall have the right to remove and keep removed all or parts of any building, fences, shrubs, trees or other improvements or growths which in any way, endanger or interfere with the construction, maintenance or efficiency of its respective systems on said easements; and the City of Lucas and all public utilities desiring to use or using same, shall have the right to reconstruct, inspect, patrol, maintain and add to or remove all or parts of its respective systems without the necessity of, at anytime, procuring the permission of anyone. This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the City of Lucas.

WITNESS MY HAND at Lucas, Texas, this _____ day of _____, 2017.

RAICZYK VETERINARY SERVICES, PLLC

Name - Position _____

Signature _____

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally

appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that the same is his act and deed in the capacity therein stated and for the purposes therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE on this, the _____ day of _____, 2017.

NOTARY PUBLIC in and for the State of Texas.

MORTGAGE HOLDER CERTIFICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT I, _____, hold a mortgage or represent holders of a mortgage on a portion of the described property herein, do hereby consent to the submission and filing of this plat designating the hereinabove described property as ANGEL PARKWAY VET HOSPITAL ADDITION, LOT 1, BLOCK A, an addition to the City of Lucas, Collin County, Texas, and does hereby dedicate to the public use forever, the streets, alleys and public use areas shown hereon; the easements, as shown, for mutual use and accommodation of the City of Lucas and all public utilities desiring to use or using same. All and any public utility and the City of Lucas shall have the right to remove and keep removed all or parts of any building, fences, shrubs, trees or other improvements or growths which in any way, endanger or interfere with the construction, maintenance or efficiency of its respective systems on said easements; and the City of Lucas and all public utilities shall have the right to reconstruct, inspect, patrol, maintain and add to or remove all or parts of its respective systems without the necessity of, at anytime, procuring the permission of anyone. This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the City of Lucas.

WITNESS MY HAND at Lucas, Texas, this _____ day of _____, 2017.

Name - Position _____

Signature _____

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally

appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that the same is his act and deed in the capacity therein stated and for the purposes therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE on this, the _____ day of _____, 2017.

NOTARY PUBLIC in and for the State of Texas.

ABBREVIATIONS

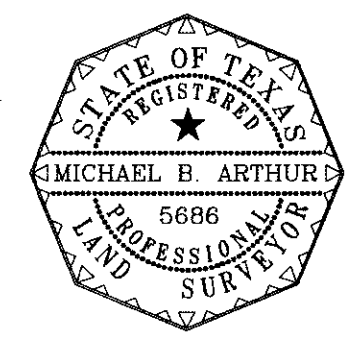
- I.R.F. = Iron Rod Found
- (C.M.) = Controlling Monument
- C.I.R.F. = Capped Iron Rod Found
- C.I.R.S. = 1/2" iron rod with yellow plastic cap stamped "RPLS 5686" set
- M.R.C.C.T. = Map Records, Collin County, Texas
- D.R.C.C.T. = Deed Records, Collin County, Texas
- O.P.R.C.C.T. = Official Public Records, Collin County, Texas

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

THAT I, MICHAEL B. ARTHUR, do hereby certify that I prepared this plat from an actual on-the-ground survey of the above described property, and that the corner monuments shown hereon were found or were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the City of Lucas, Collin County, Texas.

Michael B. Arthur
Registered Professional Land Surveyor
Texas Registration No. 5686



STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared MICHAEL B. ARTHUR, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE on this, the _____ day of _____, 2017.

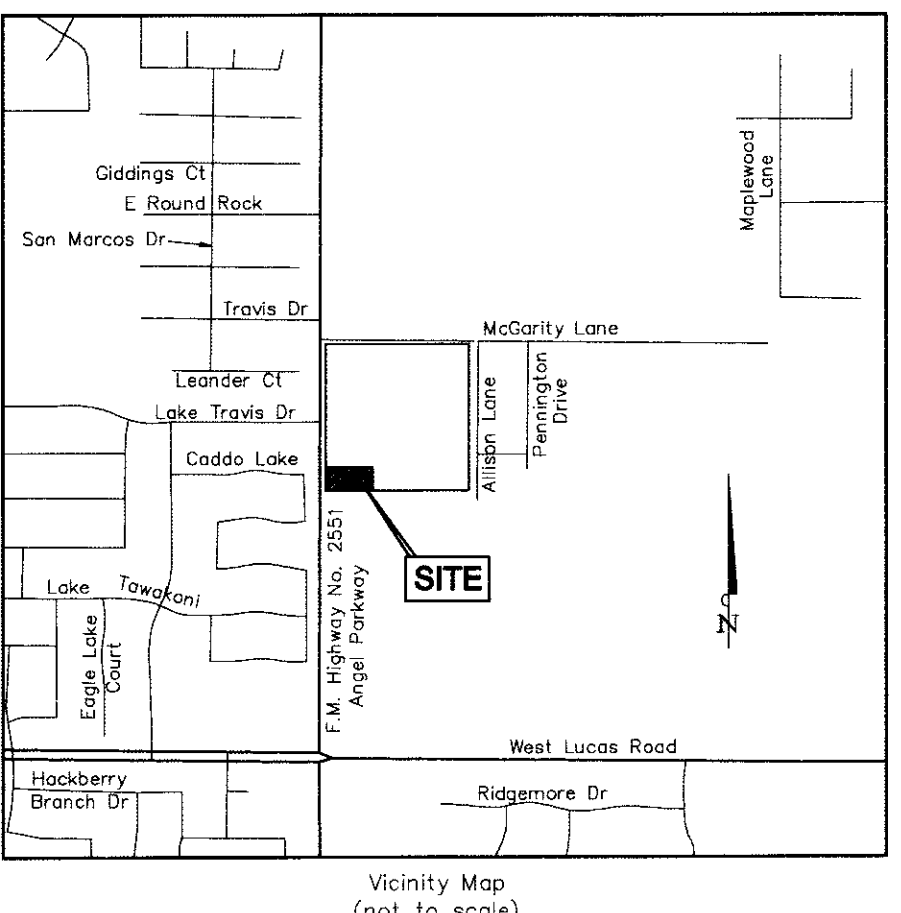
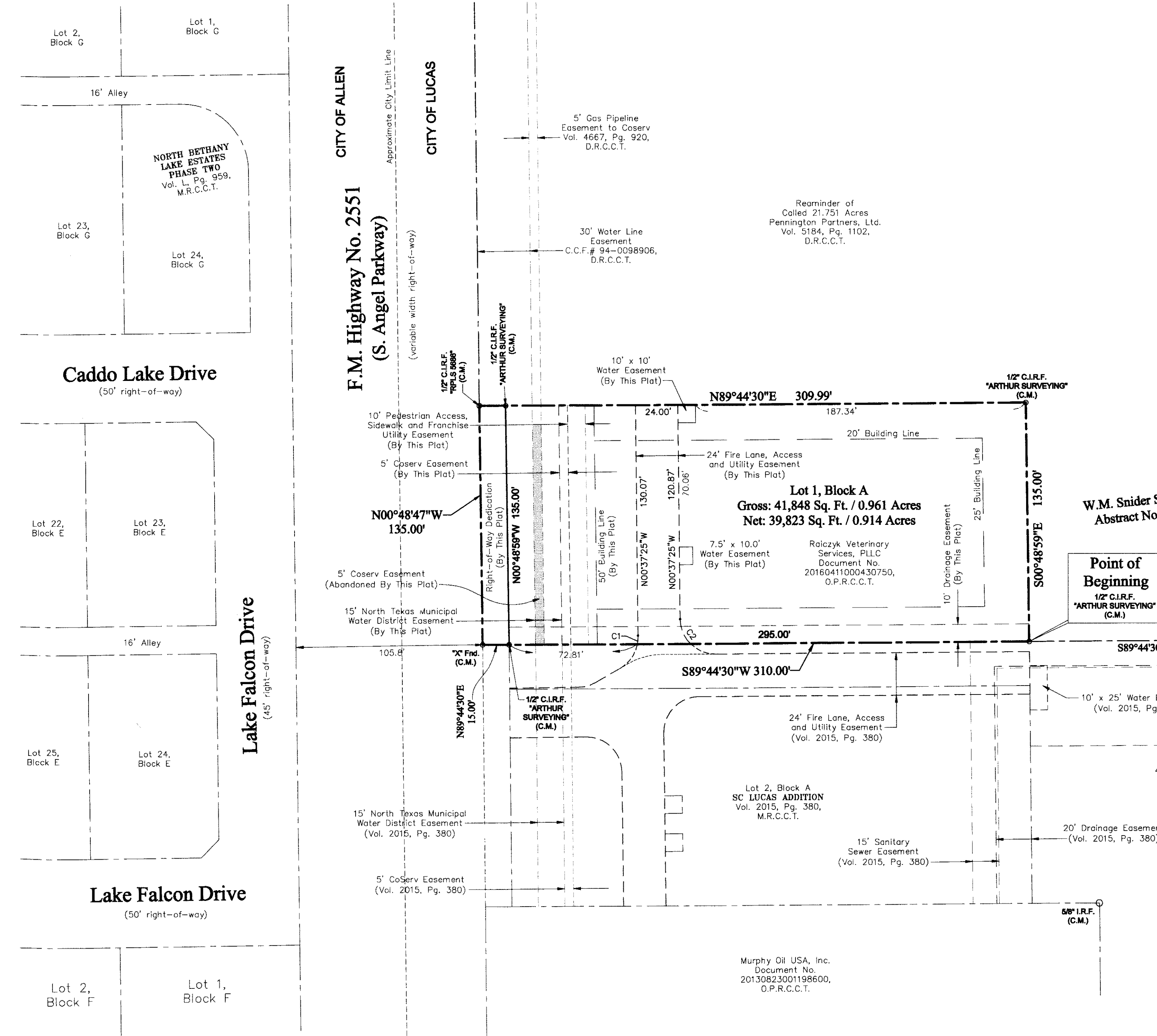
NOTARY PUBLIC in and for the State of Texas

Owner:
Raiczky Veterinary Services, PLLC
243 Latham Drive,
Fairview, Texas 75069

Engineer:
Helmsberger Associates, Inc.
1525 Bazman Road
Wylie, Texas 75098
(972) 442-7459
Contact: Randy Helmsberger

Surveyor:
North Texas Surveying, LLC
1515 South McDonald St., Suite 110
McKinney, Texas 75069
(469) 424-2074
www.northtexasurveying.com
Firm Registration No. 10074200
Contact: Chad Holcomb

FINAL PLAT
ANGEL PARKWAY
PET HOSPITAL ADDITION
LOT 1, BLOCK A
41,848 Sq. Ft. / 0.961 Acres
in the
W. M. Snider Survey ~ Abstract No. 821
City of Lucas, Collin County, Texas
Date: June 01, 2017 Scale: 1" = 40'



- Notes:**
- According to the Flood Insurance Rate Map of Collin County, Texas, Map No. 48085C0405J, Map Revised June 02, 2009, the herein described property is located in Zone "X", described by said map to be, "areas determined to be outside the 0.2% annual chance floodplain".
 - The surveyor has relied on the herein described deed with regard to any easements, restrictions, or rights-of-way affecting the above described Property. No additional research regarding said easements, restrictions or rights-of-way has been performed by the surveyor.
 - Bearings are based on the northerly line of SC LUCAS ADDITION, as recorded in Volume 2015, Page 380, of the Map Records, Collin County, Texas.
 - NOTICE: Selling a portion of this addition by metes and bounds is a violation of city subdivision ordinance and State of Texas statutes and is subject to fines and withholding of utilities and building permits.

APPROVAL CERTIFICATE

The Director of Public Works of the City of Lucas, Texas hereby certifies that to the best of his/her knowledge or belief, this subdivision plat conforms to all requirements of the Code of Ordinance and with engineering construction standards and processes adopted by the City of Lucas, Texas as to which his/her approval is required.

Director of Public Works _____ Date _____

The Director of Planning and Community Development of the City of Lucas, Texas hereby certifies that to the best of his/her knowledge or belief, this subdivision plat conforms to all requirements of the Code of Ordinance, or as may have been amended or modified, as allowed, by the Planning and Zoning Commission as to which his/her approval is required.

Director of Planning and Community Development _____ Date _____

Approved by the Planning and Zoning Commission of the City of Lucas, Texas, on the _____ day of _____, 2017.

Chairperson Planning and Zoning Commission _____

Zoning Secretary _____

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF COLLIN §

WHEREAS, RAICZYK VETERINARY SERVICES, PLLC, is the owner of a tract of land, situated in the W.M. Snider Survey, Abstract No. 821, in the City of Lucas, Collin County, Texas, and being all of that called 0.961 acre tract of land, described by deed to Raiczky Veterinary Services, PLLC, as recorded under Document No. 20160411000430750, of the Official Public Records, Collin County, Texas (O.P.R.C.C.T.), said tract being more particularly described as follows:

COMMENCING at a 1/2" iron rod with a plastic cap found for the northeasterly corner of a called 21.751 acre tract, described by deed to Pennington Partners, Ltd., as recorded in Volume 5164, Page 1102, of the Deed Records, Collin County, Texas (D.R.C.C.T.), same being the northwesterly corner of FOX GLEN ADDITION, on addition to the City of Lucas, as recorded in Volume 2007, Page 142, of the Map Records, Collin County, Texas (M.R.C.C.T.), and also being in McGarity Lane (s.k.a. County Road No. 224);

THENCE South 00°39'26" East, along the westerly line of said FOX GLEN ADDITION, same being the westerly monumented line of Allison Lane, as dedicated by said FOX GLEN ADDITION, same also being the easterly line of said 21.751 acres, a distance of 997.86' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5686" found for the southeasterly corner of said 21.751 acre tract, said corner also being the northeasterly corner of a 45' right-of-way dedication, as dedicated by SC LUCAS ADDITION, an addition to the City of Lucas, as recorded in Volume 2015, Page 380, M.R.C.C.T.;

THENCE South 89°44'30" West, along the southerly line of said 21.751 acre tract, same being the northerly line of said SC LUCAS ADDITION, a distance of 645.01' to a 1/2" iron rod with a plastic stamped "ARTHUR SURVEYING" found for the POINT OF BEGINNING;

THENCE South 89°44'30" West, continuing along the southerly line of said 21.751 acre tract, same being the northerly line of said SC LUCAS ADDITION, a distance of 310.00' to an "X" cut found on a concrete culvert, said corner being the southwesterly corner of said 21.751 acre tract, said corner also being the northwesterly corner of said SC LUCAS ADDITION, said corner also being in the easterly monumented line of F.M. Highway No. 2551;

THENCE North 00°48'47" West, along the westerly line of said 21.751 acre tract, same being the easterly monumented line of F.M. Highway No. 2551, a distance of 135.00' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5686" found for the northwesterly corner of said 0.961 acre tract;

THENCE North 89°44'30" East, along the northerly line of said 0.961 acre tract, a distance of 309.99' to a 1/2" iron rod with a plastic cap stamped "ARTHUR SURVEYING" found for the northeasterly corner of said 0.961 acre tract;

THENCE South 00°48'59" East, along the easterly line of said 0.961 acre tract, a distance of 135.00' to the POINT OF BEGINNING and containing 0.961 acres of land, more or less.

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT we, Raiczky Veterinary Services, PLLC, owner, does hereby bind themselves and their heirs, assigns and successors of title this plat designating the hereinabove described property as ANGEL PARKWAY VET HOSPITAL ADDITION, LOT 1, BLOCK A, an addition to the City of Lucas, Collin County, Texas, and does hereby dedicate to the public use forever, the streets, alleys and public use areas shown hereon; the easements, as shown, for mutual use and accommodation of the City of Lucas and all public utilities desiring to use or using same. All and any public utility and the City of Lucas shall have the right to remove and keep removed all or parts of any building, fences, shrubs, trees or other improvements or growths which in any way, endanger or interfere with the construction, maintenance or efficiency of it's respective systems on said easements; and the City of Lucas and all public utilities shall have the right to construct, reconstruct, inspect, patrol, maintain and add to or remove all or parts of it's respective systems without the necessity of, at anytime, procuring the permission of anyone. This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the City of Lucas.

WITNESS MY HAND at Lucas, Texas, this _____ day of _____, 2017.

RAICZYK VETERINARY SERVICES, PLLC

Name - Position _____

Signature _____

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally

appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that the same is his act and deed in the capacity therein stated and for the purposes therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE on this, the _____ day of _____, 2017.

NOTARY PUBLIC in and for the State of Texas.

MORTGAGE HOLDER CERTIFICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT I _____, hold a mortgage or represent holders of a mortgage on a portion of the described property herein, do hereby consent to the submission and filing of this plat designating the hereinabove described property as ANGEL PARKWAY VET HOSPITAL ADDITION, LOT 1, BLOCK A, an addition to the City of Lucas, Collin County, Texas, and does hereby dedicate to the public use forever, the streets, alleys and public use areas shown hereon; the easements, as shown, for mutual use and accommodation of the City of Lucas and all public utilities desiring to use or using same. All and any public utility and the City of Lucas shall have the right to remove and keep removed all or parts of any building, fences, shrubs, trees or other improvements or growths which in any way, endanger or interfere with the construction, maintenance or efficiency of it's respective systems on said easements; and the City of Lucas and all public utilities shall have the right to construct, reconstruct, inspect, patrol, maintain and add to or remove all or parts of it's respective systems without the necessity of, at anytime, procuring the permission of anyone. This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the City of Lucas.

WITNESS MY HAND at Lucas, Texas, this _____ day of _____, 2017.

Name - Position _____

Signature _____

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally

appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that the same is his act and deed in the capacity therein stated and for the purposes therein expressed.

WITNESS MY HA D AND SEAL OF OFFICE on this, the _____ day of _____, 2017.

NOTARY PUBLIC in and for the State of Texas.

ABBREVIATIONS

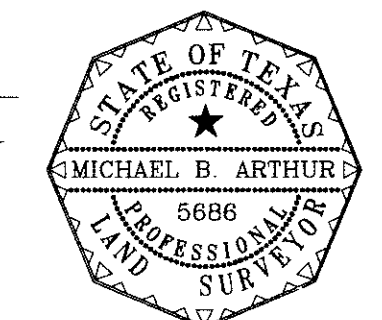
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- (C.M.) = Controlling Monument
- C.I.R.F. = Capped Iron Rod Found
- C.I.R.S. = 1/2" iron rod with yellow plastic cap stamped "RPLS 5686" set
- M.R.C.C.T. = Map Records, Collin County, Texas
- D.R.C.C.T. = Deed Records, Collin County, Texas
- O.P.R.C.C.T. = Official Public Records, Collin County, Texas

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

THAT I, MICHAEL B. ARTHUR, do hereby certify that I prepared this plat from an actual on-the-ground survey of the above described property, and that the corner monuments shown hereon were found or were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the City of Lucas, Collin County, Texas.

Michael B. Arthur
Registered Professional Land Surveyor
Texas Registration No. 5686



STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared MICHAEL B. ARTHUR, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE on this, the _____ day of _____, 2017.

NOTARY PUBLIC in and for the State of Texas

Owner:
Raiczky Veterinary Services, PLLC
243 Latham Drive,
Fairview, Texas 75069

Engineer:
Helmbarger Associates, Inc.
1525 Bazeman Road
Wylie, Texas 75098
(972) 442-7459
Contact: Randy Helmbarger

Surveyor:
North Texas Surveying, LLC
1515 South McDonald St, Suite 110
McKinney, Texas 75069
(469) 424-2074
www.northtexassurveying.com
Firm Registration No: 10074200
Contact: Chad Holcomb

**FINAL PLAT
ANGEL PARKWAY
PET HOSPITAL ADDITION
LOT 1, BLOCK A**

41,848 Sq. Ft. / 0.961 Acres
in the

W. M. Snider Survey ~ Abstract No. 821
City of Lucas, Collin County, Texas

Date: June 01, 2017 Scale: 1" = 40'

ive

F.M. Highway
(S. Angel Highway)

(VARIABLE WIDTH)

105.7'

30" WATER LINE
C.G. E. = 94'-00.96906,
D.R.C.C.T.

VACANT
REMAINDER
LOT 2, BLOCK A - ANGEL ADDITION
PART OF
CALLED 21.751 ACRES
PENNINGTON PARTNERS, LTD.
VOL. 5184, PG. 1102,
D.R.C.C.T.

N89°44'30"E 310.00'

N00°48'47"W
135.00'

Lake Falcon Drive
(45' RIGHT-OF-WAY)

FL 30" RCP
641.74'

FL 30" RCP
641.82'

FL 30" RCP
641.78'

"X" SET TBM
ELEV. = 644.72

7.5' WALK AND DIRECTIONAL
D.P.R. BY OTHERS

S89°44'30"W
310.00'

EXISTING KWIK KAR
LOT 2, BLOCK A
SC LUCAS ADDITION
VOL. 2015, PG. 380,
M.R.C.C.T.

"X" SET TBM
ELEV. = 643.73

CONCRETE PAVING,
FIRE LANE, ACCESS
AND UTILITY EASEMENT
(VOL. 2015, PG. 380)

LOT 1, BLOCK A - ANGEL ADDITION
PART OF
CALLED 21.751 ACRES
PENNINGTON PARTNERS, LTD.
VOL. 5184, PG. 1102,
D.R.C.C.T.

0.961 Acres

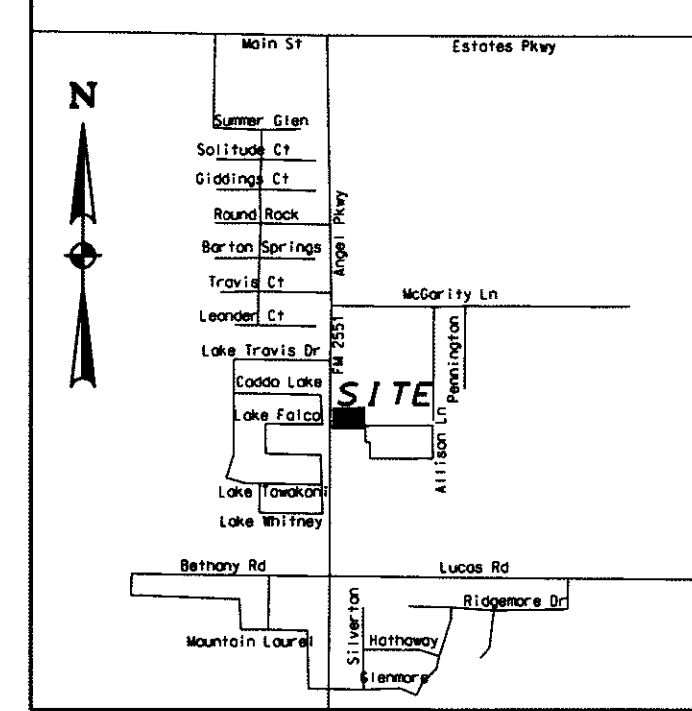
PROPOSED VET CLINIC AND LEASE SPACE
SINGLE STORY - 35' MAX HEIGHT
4,375 SF - TOTAL BUILDING
1,125 SF - PET HOSPITAL

PROPOSED DUMPSTER LOCATION
WITH 6" MASONRY SCREENING
WALL TO MATCH BUILDING
FACADE WITH METAL GATES

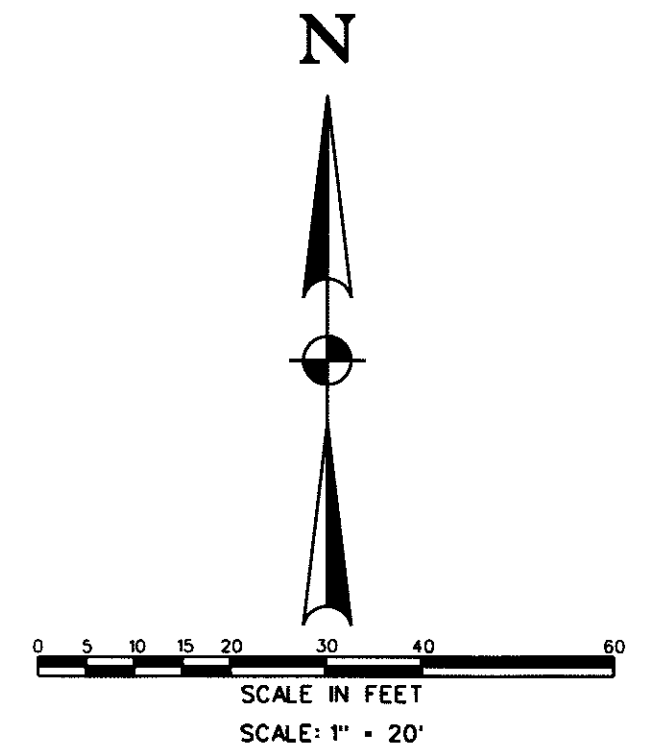
S00°48'47"E 135.00'

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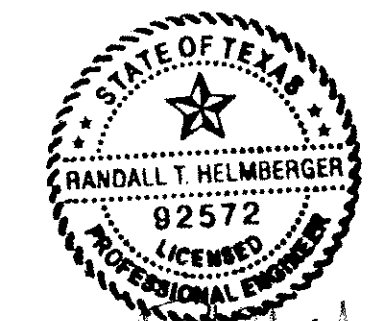


VICINITY MAP
NOT TO SCALE



SITE DATA SUMMARY - ANGEL PARKWAY PET HOSPITAL

- EXISTING ZONING: PD 2004-10-108 AND BG
- PROPOSED ZONING: SAME
- PROPOSED USE: VETERINARY CLINIC - GENERAL/MED OFFICE
- PROPERTY AREA: 41,861 SF - 0.961 ACRES
- AREA OF PROPOSED BUILDING: 4,375 SF
- BUILDING HEIGHT: ONE STORY
35' MAX BUILDING HEIGHT
- LOT COVERAGE: 10.45%
- PARKING REQUIRED: 1 SPACE/200 SF = 4375/200 = 22 SPACES
- PARKING PROVIDED: 27 SPACES + 2 ACCESSIBLE = 29 SPACES



4/21/16

ARCHITECT:
PLACES MADE ARCHITECTURE
2840 KELLER SPRINGS ROAD, SUITE 103
CARROLLTON, TEXAS 75006
(214) 529-9508
DAVID D' SHEA

CONTRACTOR:
TRI-STAR CONSTRUCTION
3601 YUCCA DRIVE
FLOWER MOUND, TEXAS 75028
RANDY AHLFS
(972) 221-5558

ENGINEER:
HELMBERGER ASSOCIATES, INC.
1525 BOZMAN ROAD
WYLIE, TEXAS 75098
RANDALL T. HELMBERGER, PE
(972) 442-7459

SITE PLAN						
ANGEL PARKWAY PET HOSPITAL						
LOT 1, BLOCK A - ANGEL ADDITION						
LUCAS, TEXAS						
TBPE REGISTRATION NO. F-000756		H HELMBERGER ASSOCIATES, INC. CIVIL AND ENVIRONMENTAL ENGINEERS 1525 BOZMAN ROAD, WYLIE, TEXAS 75098 (972) 442-7459				
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HELM.	CADD	JANUARY 2016	1"=20'	SPLAN.DGN	1548	C1

LINE LEGEND:

- PROPERTY LINE
- DRAINAGE FLOW
- PROPOSED WATER LINE
- PROPOSED CURB
- 610- EXISTING CONTOUR LINE
- BUILDING SETBACK LINE
- UTILITY EASEMENT
- DRAINAGE DIVIDE LINE
- LOT LINE

AS-BUILT DRAWING 06-19-17

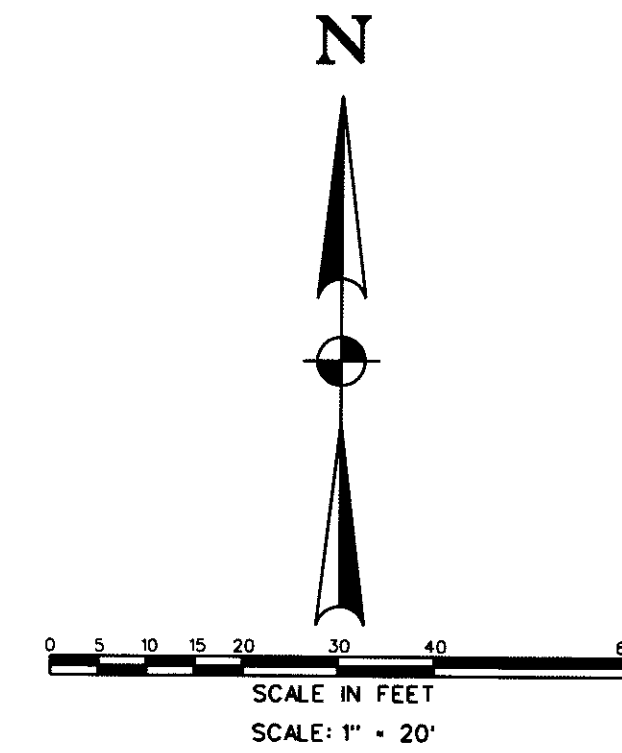
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WATER METER SCHEDULE

TYPE	SIZE	NUMBER	SANITARY SEWER	REMARKS
DOMESTIC	1"	1 - PROPOSED	6"	
IRRIGATION	1"	1 - PROPOSED	NA	

ive

F.M. Highway
(S. Angel H
(VARIABLE WIDTH



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0.961 Acres

S00°48'47"E
135.00'

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Lake Falcon Drive
(45' RIGHT-OF-WAY)

FL 30" RCP
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FL 30" RCP
641.82'
FL 30" RCP
641.78'

"X" SET TBM
ELEV. = 644.72

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S89°44'30"W
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EXISTING KWIK KAR
LOT 2, BLOCK A
SC LUCAS ADDITION
VOL. 2015, PG. 300,
M.R.G.C.T.

CONCRETE PAVING
FIRE LANE, ACCESS
AND UTILITY EASEMENT
(VOL. 2015, PG. 380)

GENERAL NOTES:
ALL DIMENSIONS ARE TO BACK-OF-CURB
ALL CURBS ARE 6" STANDARD CURBS

SIDEWALK SECTIONS:
ALL SIDEWALKS WILL BE A MINIMUM OF 5' UNLESS ADJACENT TO PARKING
(6' MINIMUM IF ADJACENT TO STALL) 4" 4000 PSI CONCRETE WITH NO. 3
BARS 18" O.C.E.W.

PAVEMENT SECTIONS:
FIRE LANE PAVEMENT AND DUMPSTER APPROACH SHALL BE 6" THICK
4000 PSI REINFORCED CONCRETE PAVEMENT ON 6" THICK
LIME STABILIZED SUBGRADE PER THE PAVEMENT NOTES ON
SHT G.M. CONCRETE TO BE REINFORCED WITH NO. 3 BARS ON 24" O.C.E.W.

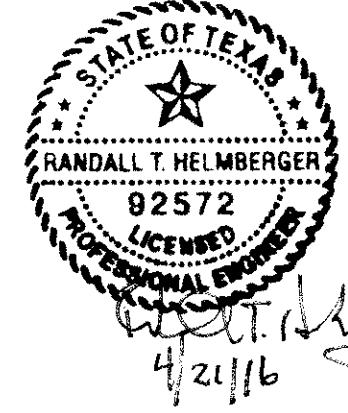
PARKING LOT PAVEMENT - PARKING LOT PAVEMENT SHALL BE 5" THICK
3000 PSI REINFORCED CONCRETE PAVEMENT ON 12" DEEP SCARIFIED
AND COMPACTED SUBGRADE TO 95% STANDARD PROCTOR (ASTM-D-698)
AT OR SLIGHTLY ABOVE OPTIMUM MOISTURE CONTENT TO BE
REINFORCED WITH NO. 3 BARS 24" O.C.E.W.

DUMPSTER ENCLOSURE FOUNDATION PAVEMENT SHALL BE 6" THICK
4000 PSI REINFORCED CONCRETE PAVEMENT ON
LIME STABILIZED SUBGRADE PER THE PAVEMENT NOTES ON
SHT G.M. CONCRETE TO BE REINFORCED WITH NO. 3 BARS ON 24" O.C.E.W.

DRIVEWAY APPROACH IN R.O.W. SHALL BE STANDARD STREET PAVING
(HANDPOURED 8" 4000 PSI CONCRETE W/ NO. 4 BARS 24" O.C.E.W. AND
8" LIME SUBGRADE W/ P.I. LESS THAN 12)

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AS-BUILT DRAWING 06-19-17



LINE LEGEND:

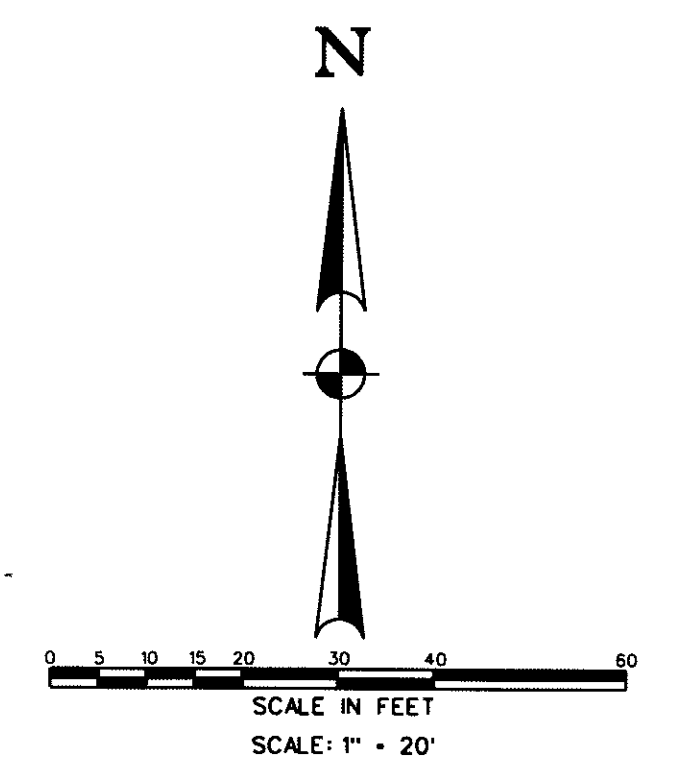
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PAVING AND DIMENSION CONTROL PLAN						
ANGEL PARKWAY PET HOSPITAL						
LOT 1, BLOCK A - ANGEL ADDITION						
LUCAS, TEXAS						
TBPE REGISTRATION NO. F-000756		HELMBERGER ASSOCIATES, INC. CIVIL AND ENVIRONMENTAL ENGINEERS 1525 BOZMAN ROAD, WYLLIE, TEXAS 75098 (972) 442-7439				
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HELM.	CADD	JANUARY 2016	1"=20'	PBORDER	1548	C2

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F.M. Highway
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(VARIABLE WIDTH

Lake Falcon Drive
(45' RIGHT-OF-WAY)



N00°48'47"W
135.00'

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ELEV. = 644.72

S89°44'30"W
310.00'

"X" SET TBM
ELEV. = 643.73

S00°48'47"E 135.00'

END 8" WATER
INSTALL:
1 - FIRE HYDRANT
2 - 8" X 6" TEE
1 - 8" VALVE
1 - 6" VALVE
1 - 8" PLUG

INSTALL:
1 - 1" DOMESTIC SVC
W/ METER
1 - 1" IRRIGATION SVC
W/ METER

INSTALL:
1 - 8" TEE
2 - 8" VALVES
1 - 8" REDUCER

BEGIN 8" WATER
CONNECT TO EXIST STUB
REMOVE EXIST PLUG
INSTALL:
2 - 8" 45° BENDS

PROPOSED 6" SDR 35 PVC
SEWER SERVICE ON 2.0%
MINIMUM WITH DBL CLEANOUTS
AT BUILDING AND AT ALL
BENDS AS REQUIRED

LOWER WATER TO
AVOID STORM PIPES
IF REQUIRED

CONCRETE PAVING
FIRE LANE, ACCESS
AND UTILITY EASEMENT
(VOL. 2015, PG. 380)

EXIST FIRE HYDRANT
10' X 25' WATER EASEMENT
VOL. 2015, PG. 300*

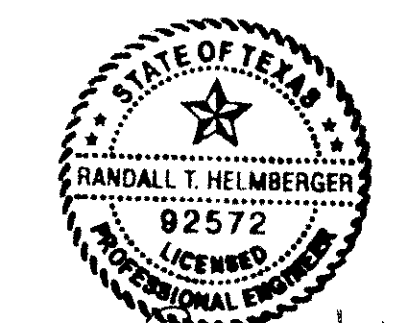
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AS-BUILT DRAWING 06-19-17

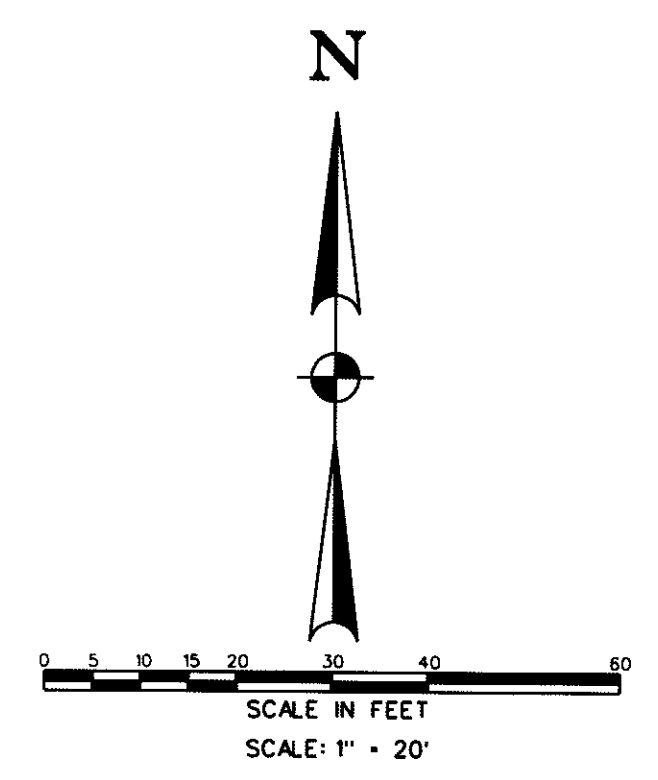
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WATER METER SCHEDULE				
TYPE	SIZE	NUMBER	SANITARY SEWER	REMARKS
DOMESTIC	1"	1 - PROPOSED	6"	
IRRIGATION	1"	1 - PROPOSED	NA	



4/21/16

UTILITY PLAN						
ANGEL PARKWAY PET HOSPITAL						
LOT 1, BLOCK A - ANGEL ADDITION						
LUCAS, TEXAS						
TBPE REGISTRATION NO. F-000756		H HELMBERGER ASSOCIATES, INC. CIVIL AND ENVIRONMENTAL ENGINEERS 1525 BOZMAN ROAD, WYLLIE, TEXAS 75096 (972) 442-7458				
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HELM.	CADD	JANUARY 2016	1"=20'	UBORDER	1548	C3



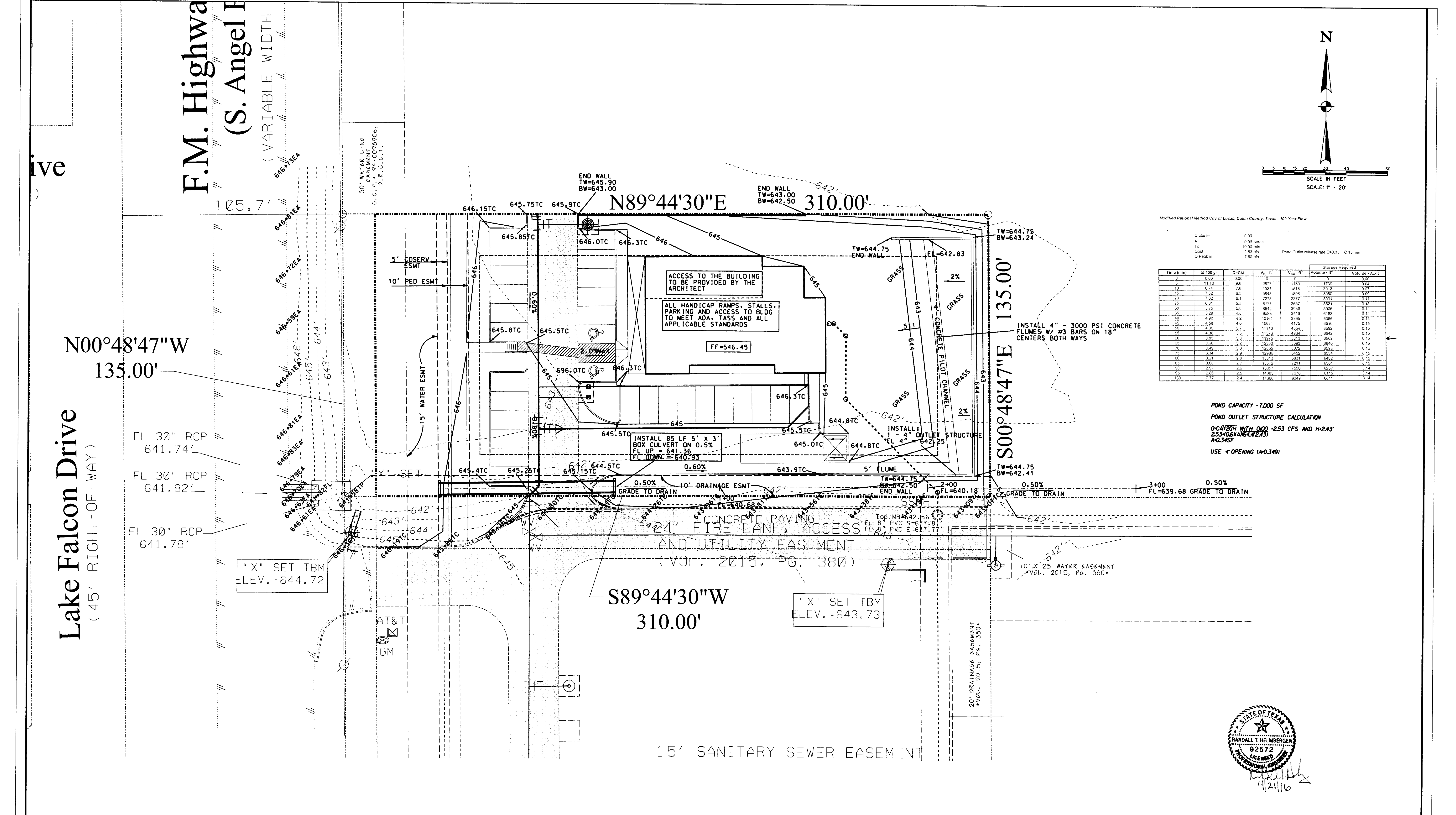
Modified Rational Method City of Lucas, Collin County, Texas - 100 Year Flow

Cturge = 0.90
 A = 0.98 acres
 Tc = 10.00 min
 Gp = 2.83 cfs
 Q Peak in = 7.60 cfs

Pond Outlet release rate C=0.35, TC 15 min

Time (min)	Id 100 yr	Q-CIA	V _{in} - ft ³	V _{out} - ft ³	Storage Required
0	0.00	0.00	0	0	0.00
5	11.10	9.6	2877	1139	1739
10	8.74	7.6	4311	1518	2793
15	7.52	6.5	5848	1958	3890
20	7.02	6.1	7278	2277	5001
25	6.31	5.5	8178	2607	5571
30	5.75	5.0	8942	3036	5906
35	5.29	4.6	9598	3416	6183
40	4.90	4.2	10161	3785	6376
45	4.58	4.0	10684	4175	6510
50	4.30	3.7	11140	4584	6592
55	4.06	3.5	11578	4934	6642
60	3.85	3.3	11975	5313	6682
65	3.66	3.2	12333	5683	6718
70	3.49	3.0	12665	6072	6753
75	3.34	2.9	12985	6452	6784
80	3.21	2.8	13293	6831	6812
85	3.08	2.7	13572	7211	6831
90	2.97	2.6	13857	7590	6847
95	2.86	2.5	14088	7970	6851
100	2.77	2.4	14360	8349	6851

POND CAPACITY - 7000 SF
 POND OUTLET STRUCTURE CALCULATION
 O-CANAL WITH DOD 2.53 CFS AND H=24.3'
 253*(0.61864723)
 A=0.345F
 USE 4" OPENING (A=0.349)

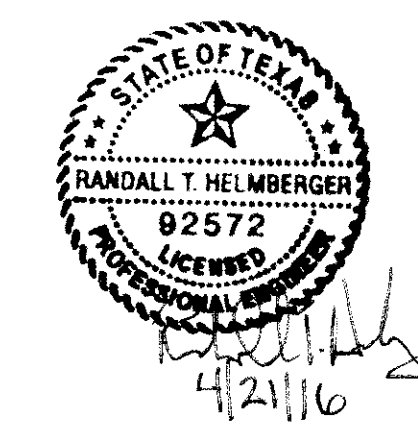


LINE LEGEND:

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AS-BUILT DRAWING 06-19-17

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GRADING AND DRAINAGE PLAN					
ANGEL PARKWAY PET HOSPITAL					
LOT 1, BLOCK A - ANGEL ADDITION					
LUCAS, TEXAS					
TBPE REGISTRATION NO. F-000756		HELMBERGER ASSOCIATES, INC. CIVIL AND ENVIRONMENTAL ENGINEERS 1525 BOZMAN ROAD, WYLLIE, TEXAS 75098 (972) 442-7450			
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
HELM.	CADD	JANUARY 2016	1"=20'	GBORDER	1548
					C4

ive

F.M. Highway
(S. Angel Highway)

(VARIABLE WIDTH)

N00°48'47"W
135.00'

Lake Falcon Drive
(45' RIGHT-OF-WAY)

FL 30" RCP
641.74'

FL 30" RCP
641.82'

FL 30" RCP
641.78'

"X" SET TBM
ELEV. = 644.72

S89°44'30"W
310.00'

"X" SET TBM
ELEV. = 643.73

EROSION CONTROL CONSTRUCTION PHASING:

PHASE 1 - TOP SOIL REMOVAL AND ROUGH GRADING
PHASE 2 - UTILITY INSTALLATION
PHASE 3 - BUILDING CONSTRUCTION
PHASE 4 - PAVING
PHASE 5 - LANDSCAPE AND IRRIGATION

BMP MAINTENANCE SCHEDULE

BMP	MAINTENANCE FREQUENCY	BY:
SILT FENCE	WEEKLY/AFTER RAIN	CONTRACTOR
INLET PROTECTION	WEEKLY/AFTER RAIN	CONTRACTOR
CONST ENTRANCE	WEEKLY/AFTER RAIN	CONTRACTOR

LINE LEGEND:

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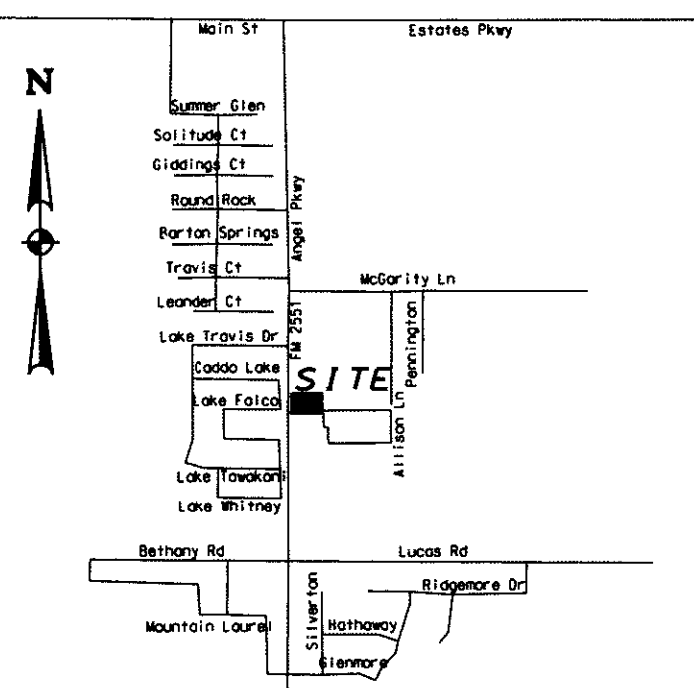
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- GENERAL NOTES:**
- EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
 - ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF MCKINNEY ENGINEERING DIVISION.
 - IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
 - IF OFF-SITE SOIL BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOIL AREAS ARE CONSIDERED A PART OF THE PROJECT SITE. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
 - TOTAL PROJECT AREA = 0.91 ACRES
DISTURBED AREA = 0.91 ACRES
UNDISTURBED AREA = 0.00 ACRES
 - SEE SHEET C3 FOR PROPOSED UTILITIES
 - SEE SHEET C4 FOR DRAINAGE CALCULATIONS AND GRADING IMPROVEMENTS

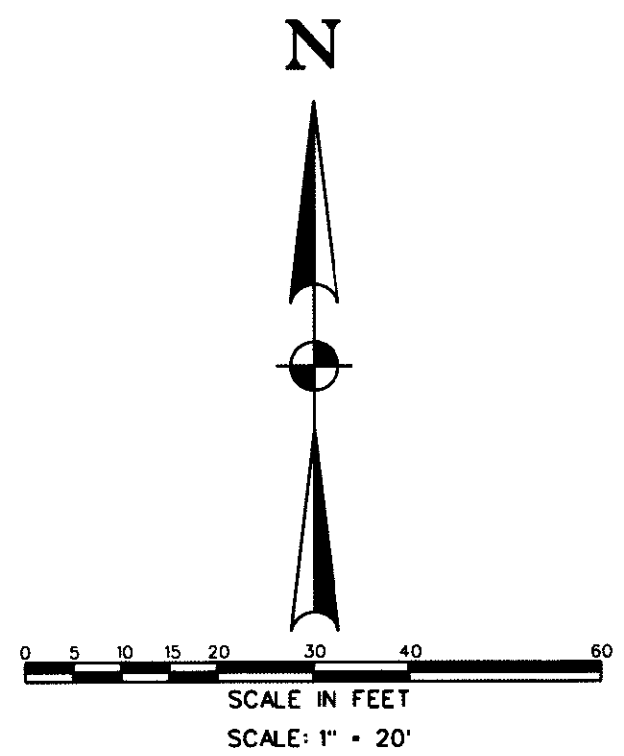
LEGEND:

---	SILT FENCE
---	INLET PROTECTION
---	CONSTRUCTION ENTRANCE/EXIT

REV.	BY:	REVISION



VICINITY MAP NOT TO SCALE

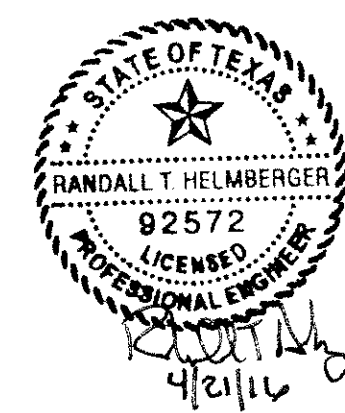


EROSION CONTROL CONSTRUCTION PLAN

CONSTRUCTION ENTRANCE	INSTALLATION:	REMOVAL:
CHECK DAM	PRIOR TO STARTING	AFTER PAVEMENT PLACEMENT
SILT FENCE	PRIOR TO STARTING	AFTER ESTABLISHING GRASS COVER PORTION TO BE REMOVED AT END OF PAVING
INLET PROTECTION	AFTER INLET INSTALLATION	PORTION TO BE REMOVED AFTER SITE GRADING AROUND EXIST INLET AFTER FINAL ACCEPTANCE

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AS-BUILT DRAWING 06-19-17



ARCHITECT:
PLACES MADE ARCHITECTURE
2840 KELLER SPRINGS ROAD, SUITE 103
CARROLLTON, TEXAS 75006
(214) 529-9508
DAVID O'SHEA

CONTRACTOR:
TRI-STAR CONSTRUCTION
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ENGINEER:
HELMBERGER ASSOCIATES, INC.
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EROSION CONTROL PLAN

ANGEL PARKWAY PET HOSPITAL
LOT 1, BLOCK A - ANGEL ADDITION
LUCAS, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HELM.	CADD	FEBRUARY 2016	1"=20'	ERBORDER	1548	C5

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 CIVIL AND ENVIRONMENTAL ENGINEERS
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(45' RIGHT-OF-WAY)

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S00°48'47"E 135.00'

VACANT
REMAINDER
LOT 2, BLOCK A - ANGEL ADDITION
CALLED 21.751 ACRES
PENNINGTON PARTNERS, LTD.
VOL. 5104, PG. 1102,
D.R.C.C.T.

VACANT
LOT 1, BLOCK A
SC LUGAS ADDITION
VOL. 2015, PG. 300,
M.R.C.C.T.

LANDSCAPE NOTES:

- Grass to be Hydromulch Bermuda or solid sod 419 Bermuda. Check with the City of Lucas to determine how to apply turf grass during water restrictions.
- All landscape areas are to be watered by a fully automatic irrigation system including rain and freeze sensors as per City of Lucas and TECQ codes.
- Grass and bed areas are to be separated by 14 gauge metal edging.
- Contractor to verify plant material quantities and notify owner of any conflicts.
- Bed preparation shall consist of incorporating one 4 cubic foot bale of spagnum peat moss and one 3 cubic foot bag of landscapers mix per 75 sq. ft. into the top six inches of existing soil.
- All plant material shall meet American Nursery Standards for height and width in each container size. With the exception of ground cover beds, all plant material shall be mulched with 2" of cedar mulch (minimum).
- Trees shall have a root ball of a minimum of 10 inches of diameter for each inch of caliper.
- Contractor shall be responsible for locating all utilities and obtaining permits as required by City of Lucas.

LANDSCAPING REQUIREMENTS:

Site: 41861 sq. ft. X 15% = 6280 sq. ft.	6280 sq. ft.
Provided: (~40% %)	20452 sq. ft.
Landscape Edge: (1 shade Tree & 8 shrubs per 20 linear feet of street frontage)	
FM 2551: 135'	
Trees Required: (135/20=6.75)	7
Trees Provided:	7
Shrubs Required: (135/20x8=54)	54
Shrubs Provided:	77
Parking Lot Screening: Provided	
Interior Parking Lot: 29 spaces (10425 s.f. x 5% = 522 s.f.)	
Landscape Area Required:	521 sq. ft.
Provided:	693 sq. ft.
Trees Required (1 tree per 10 spaces) (29 spaces/10 = 2.9)	3
Trees Provided	4
Parking Lot Perimeter: (1 shade tree and 8 plants per 20 linear feet)	
South (98')	
Trees Required: (98/20=4.9)	5
Trees Provided: (None due to drainage esmt.)	0
Shrubs Required: (135/20x8=54)	54
Shrubs Provided: (None due to drainage esmt.)	0
West (124')	
Trees Required: (124/20=6.2)	6
Trees Provided:	6
Shrubs Required: (124/20x8=49.6)	50
Shrubs Provided:	77

LINE LEGEND:

-----	PROPERTY LINE
-----	DRAINAGE FLOW
-----	PROPOSED WATER LINE
-----	PROPOSED CURB
-----	EXISTING CONTOUR LINE
-----	BUILDING SETBACK LINE
-----	UTILITY EASEMENT
-----	DRAINAGE DIVIDE LINE
-----	LOT LINE

Maintenance
Every property owner and any tenants shall keep their landscaping in a well-maintained, safe, clean, and attractive condition at all times. Such maintenance includes, but is not limited to, the following:

- (1) Landscaped areas shall be kept free of trash, litter, weeds, and other such materials or plants not a part of the landscape. All plant material shall be maintained in a healthy and growing condition, and must be replaced with plant material of similar variety and size (size not to be smaller than the minimum required by this article at the time of replacement) if diseased, damaged, destroyed, or removed.
- (2) Lawn mowing on a regular basis as determined by the planning director.
- (3) Tree and shrub pruning.
- (4) Watering of landscaped areas on a regular basis. An automatic underground irrigation system is required for all landscaping.
- (5) Keeping landscape lighting in working order.
- (6) Keeping lawn and garden areas alive, free of weeds, and attractive.
- (7) Cleaning of abutting waterways and landscaped areas lying between public right-of-way lines and the property unless such streets, waterways or landscaped areas are expressly designated to be maintained by applicable governmental authority.

PLANT #	PLANT NAME	SIZE	SPACING	HEIGHT	QUANTITY
DB1	Dwarf Burford Holly (Ilex cornuta Burfordiana)	5 gal	30'	20'	77
LO	Live Oak (Quercus virginiana)	4" cal	All	16'	3
LBE	Lace Bark Elm (Ulmus 'lace bark')	4" cal	All	16'	2
BC	Bald Cypress (Taxodium distichum)	4" cal	All	16'	6

Height at time of planting

SITE DATA SUMMARY - ANGEL PARKWAY PET HOSPITAL

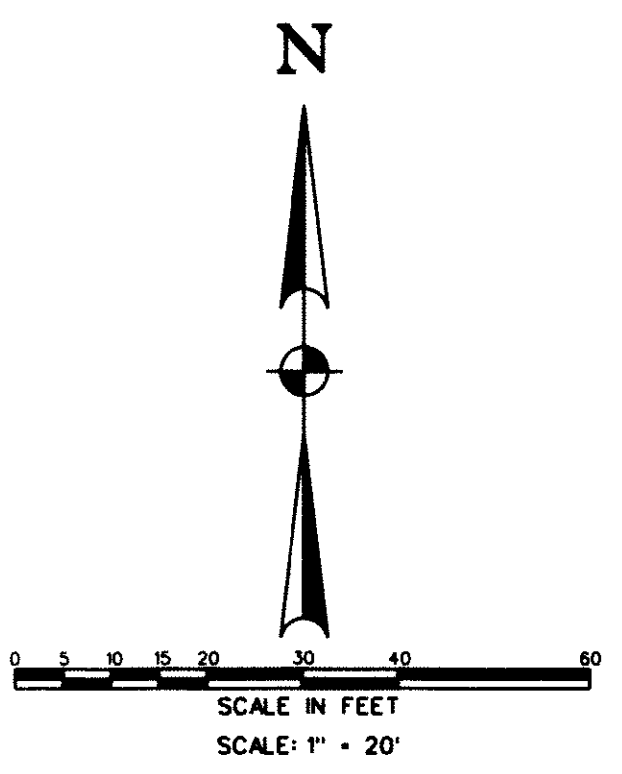
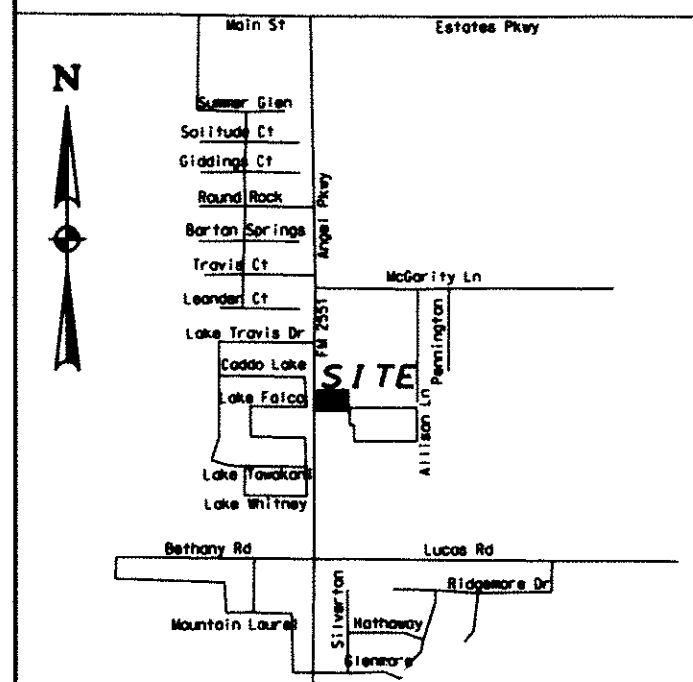
- EXISTING ZONING: PD 2004-10-108 AND BG
- PROPOSED ZONING: SAME
- PROPOSED USE: VETERINARY CLINIC - GENERAL/MED OFFICE
- PROPERTY AREA: 41,861 SF - 0.961 ACRES
- AREA OF PROPOSED BUILDING: 4,375 SF
- BUILDING HEIGHT: ONE STORY
35' MAX BUILDING HEIGHT
- LOT COVERAGE: 10.45%
F.A.R. = .10:1
- PARKING REQUIRED: 1 SPACE/200 SF = 4375/200 = 22 SPACES
- PARKING PROVIDED: 27 SPACES + 2 ACCESSIBLE = 29 SPACES

ARCHITECT:
PLACES MADE ARCHITECTURE
2840 KELLER SPRINGS ROAD, SUITE 103
CARROLLTON, TEXAS 75006
(214) 529-9508
DAVID O'SHEA

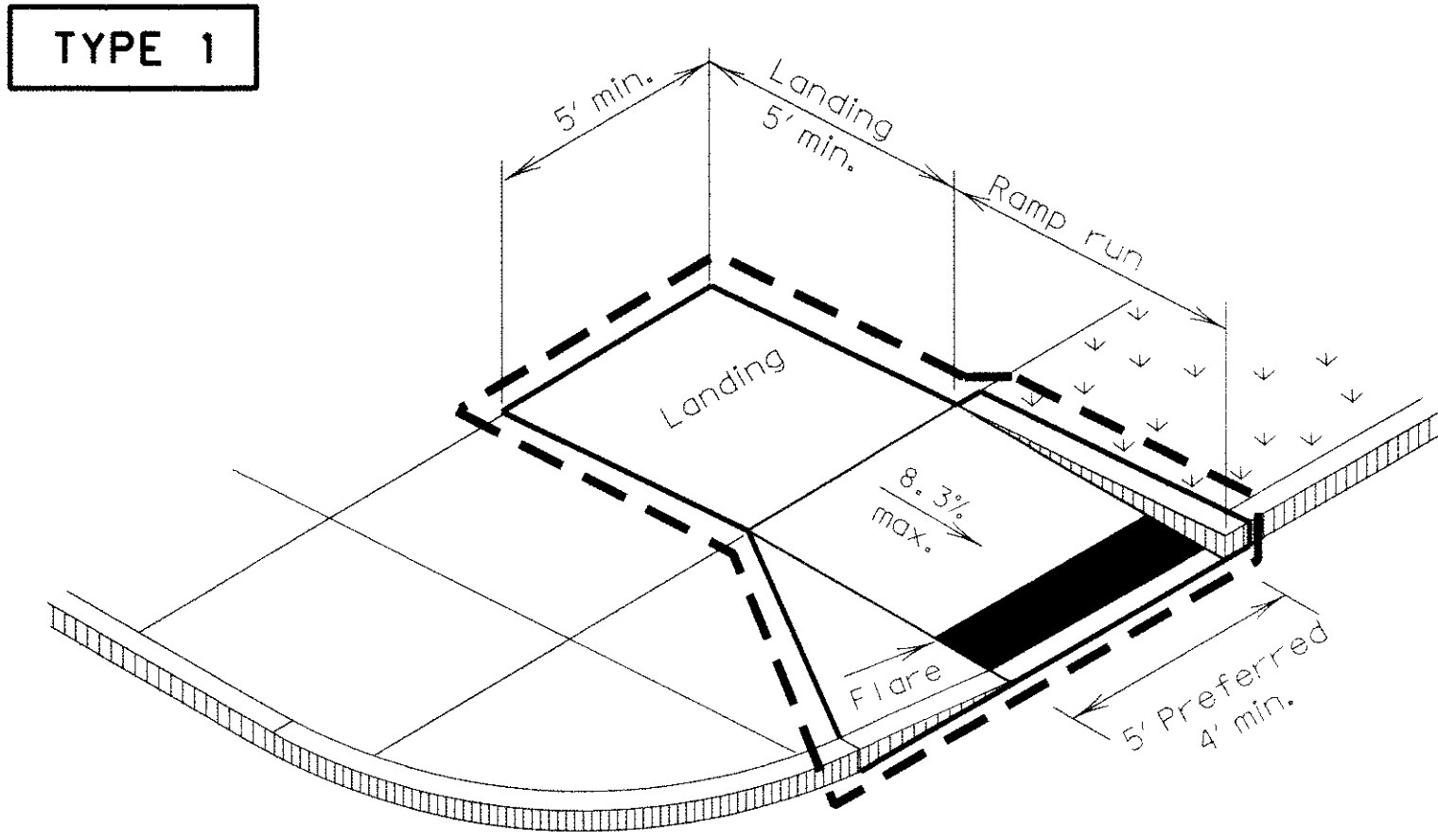
CONTRACTOR:
TRI-STAR CONSTRUCTION
3601 YUCCA DRIVE
FLOWER MOUND, TEXAS 75028
RANDY AHLFS
(972) 221-5558

ENGINEER:
HELMBERG ASSOCIATES, INC.
1525 BOZMAN ROAD
WYLLIE, TEXAS 75098
RANDALL T. HELMBERG, PE
(972) 442-7459

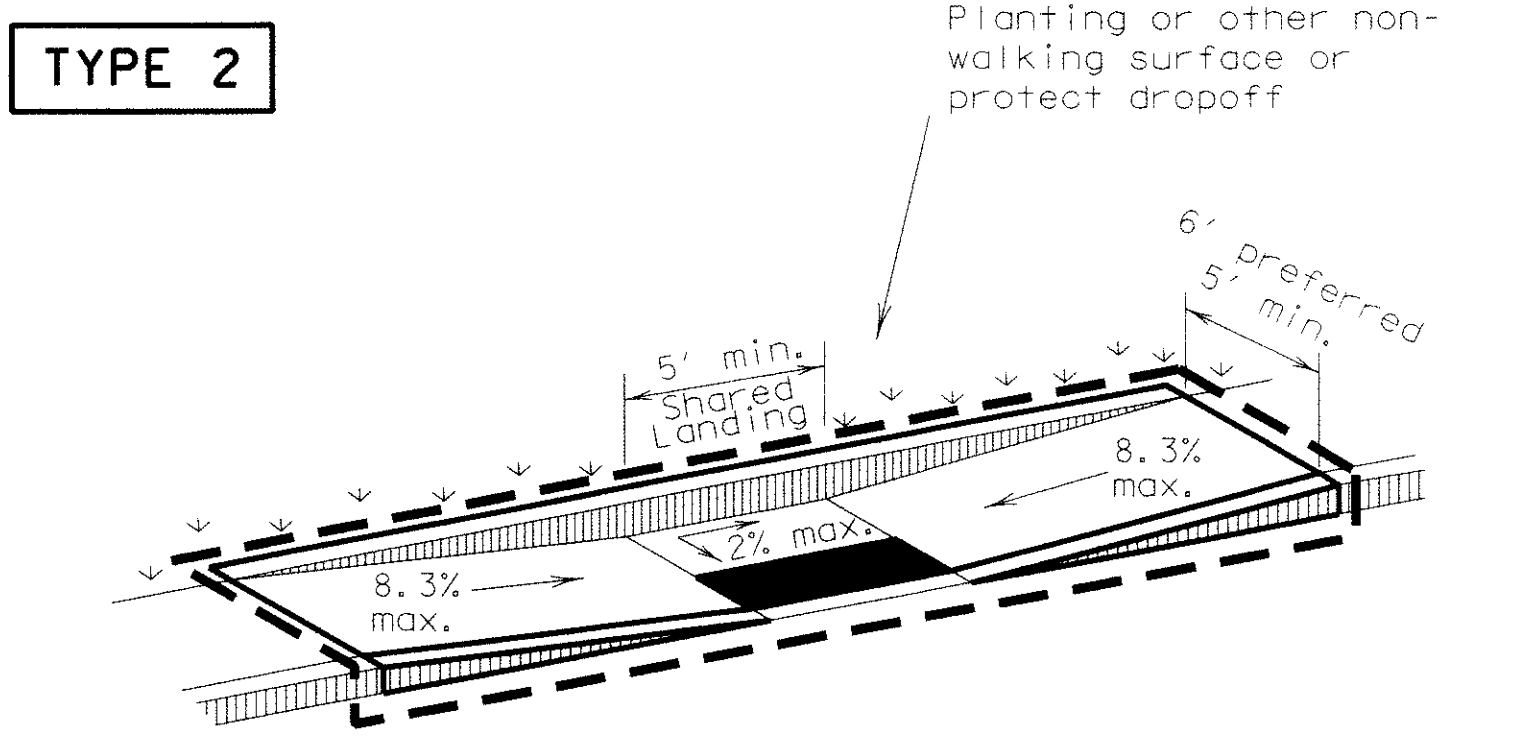
LANDSCAPE PLAN						
ANGEL PARKWAY PET HOSPITAL						
LOT 1, BLOCK A - ANGEL ADDITION						
LUCAS, TEXAS						
SHARP LANDSCAPES						
1129 HUNTINGTON DRIVE RICHARDSON, TEXAS 75080						
BILL SHARP - 972-976-6172						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HELM.	CADD	JANUARY 2016	1"=20'	LBORDER	1548	L1



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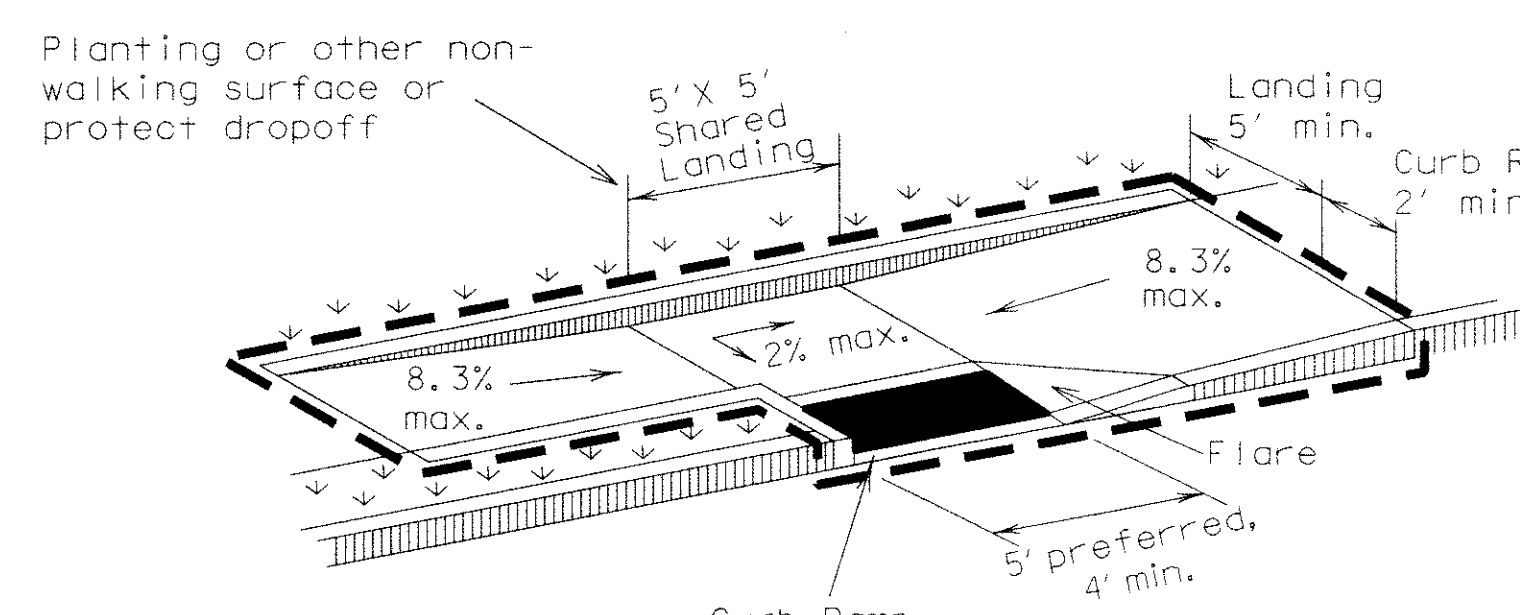


PERPENDICULAR CURB RAMP

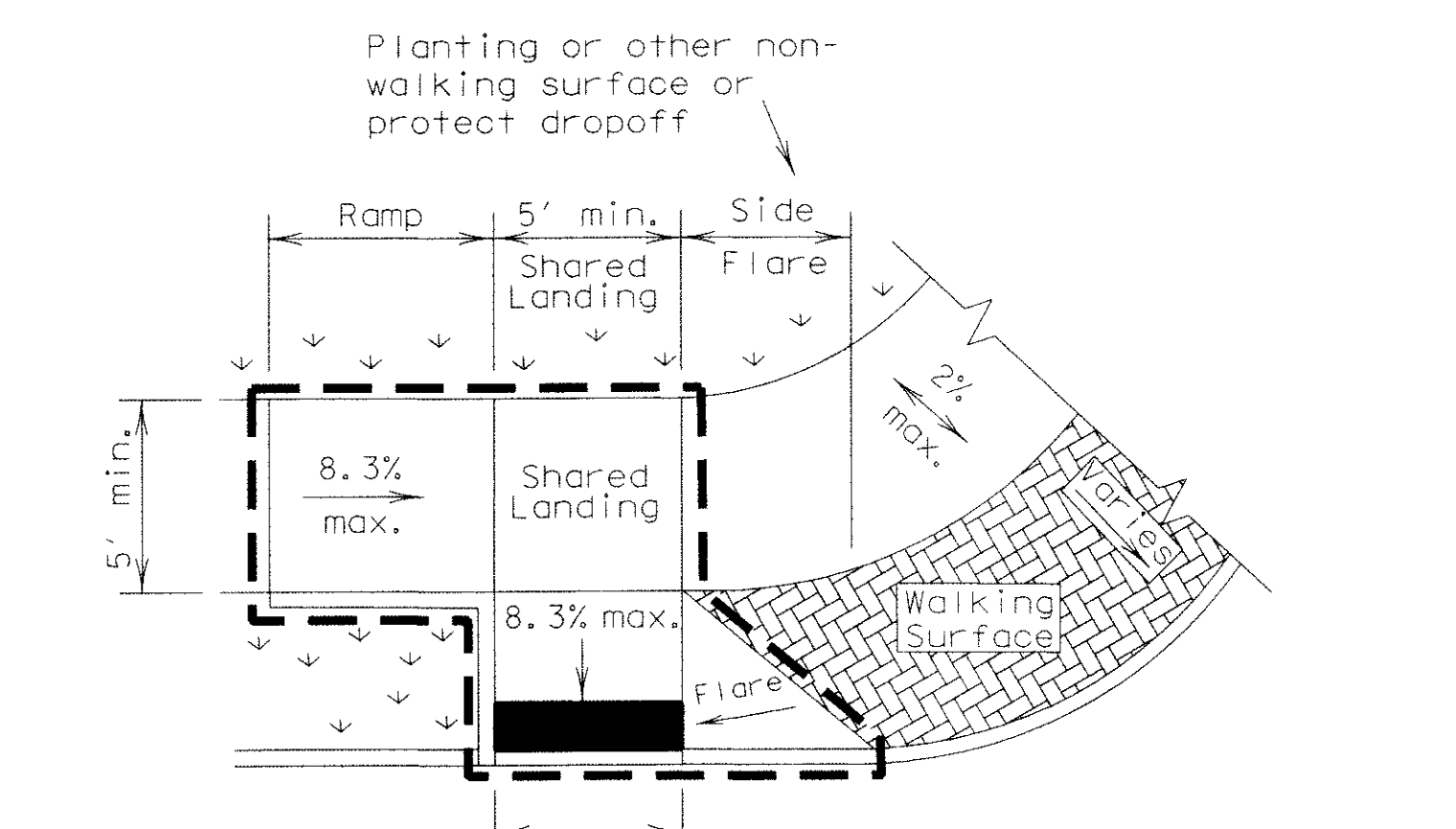


PARALLEL CURB RAMP

(Use only where water will not pond in the landing.)

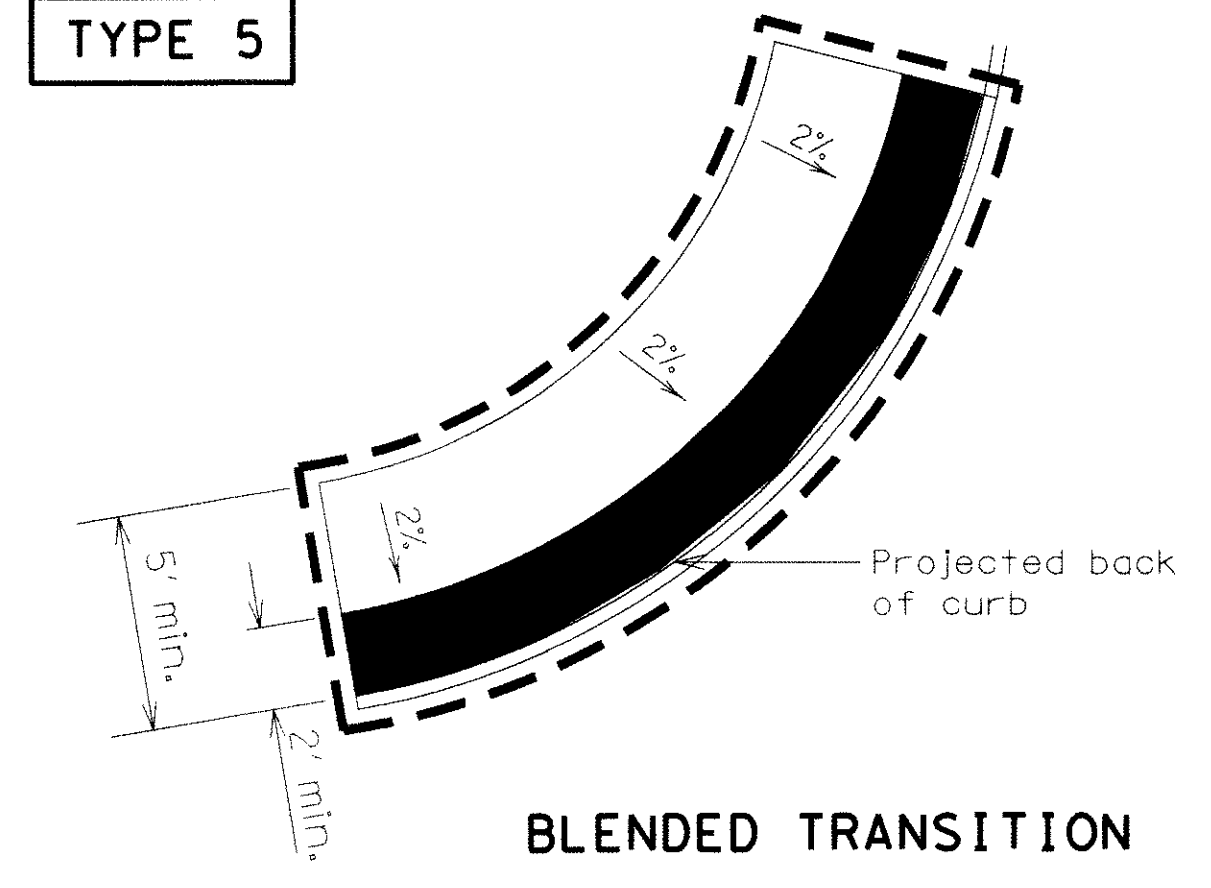


TYPE 3

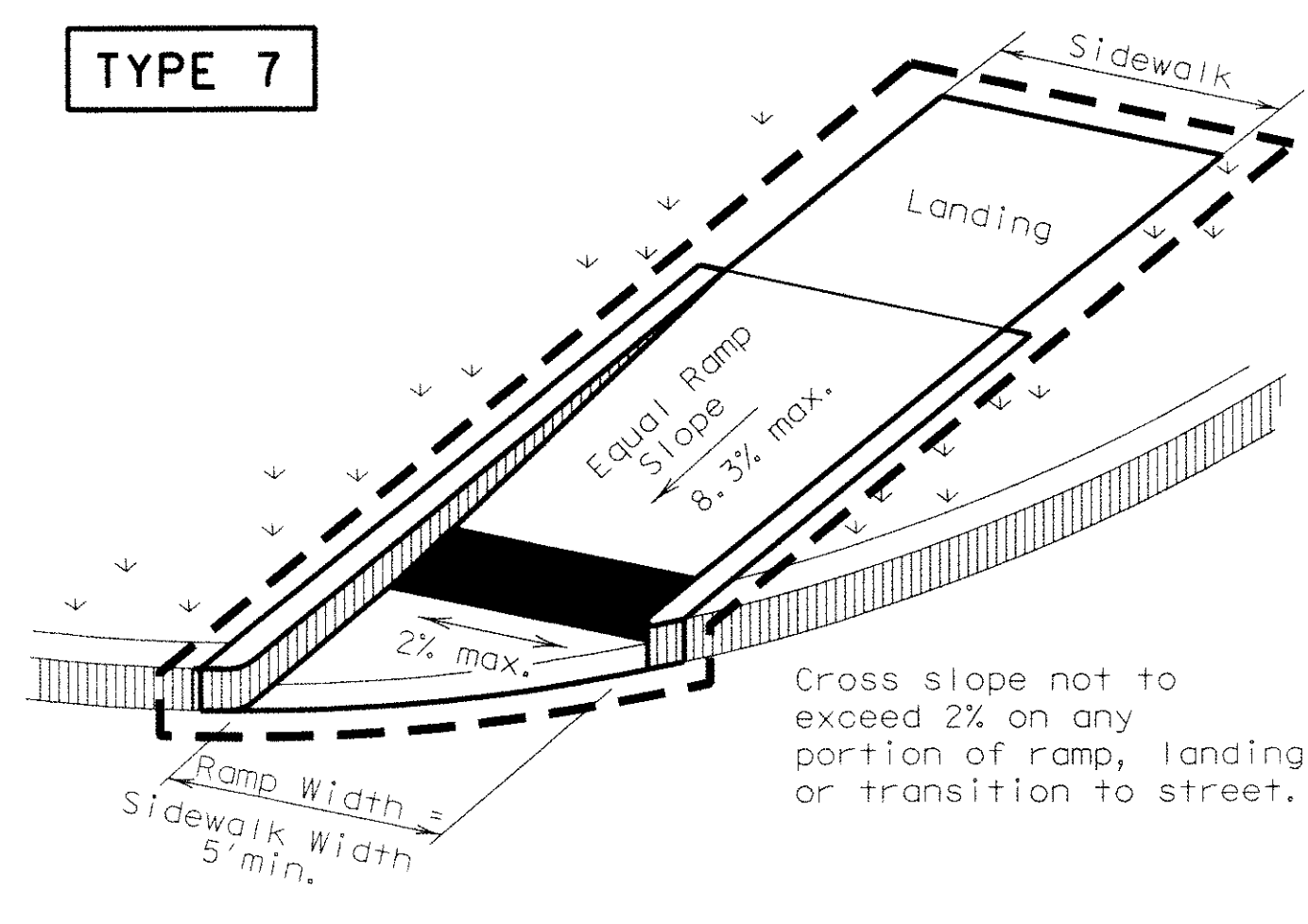


TYPE 6

COMBINATION CURB RAMPS

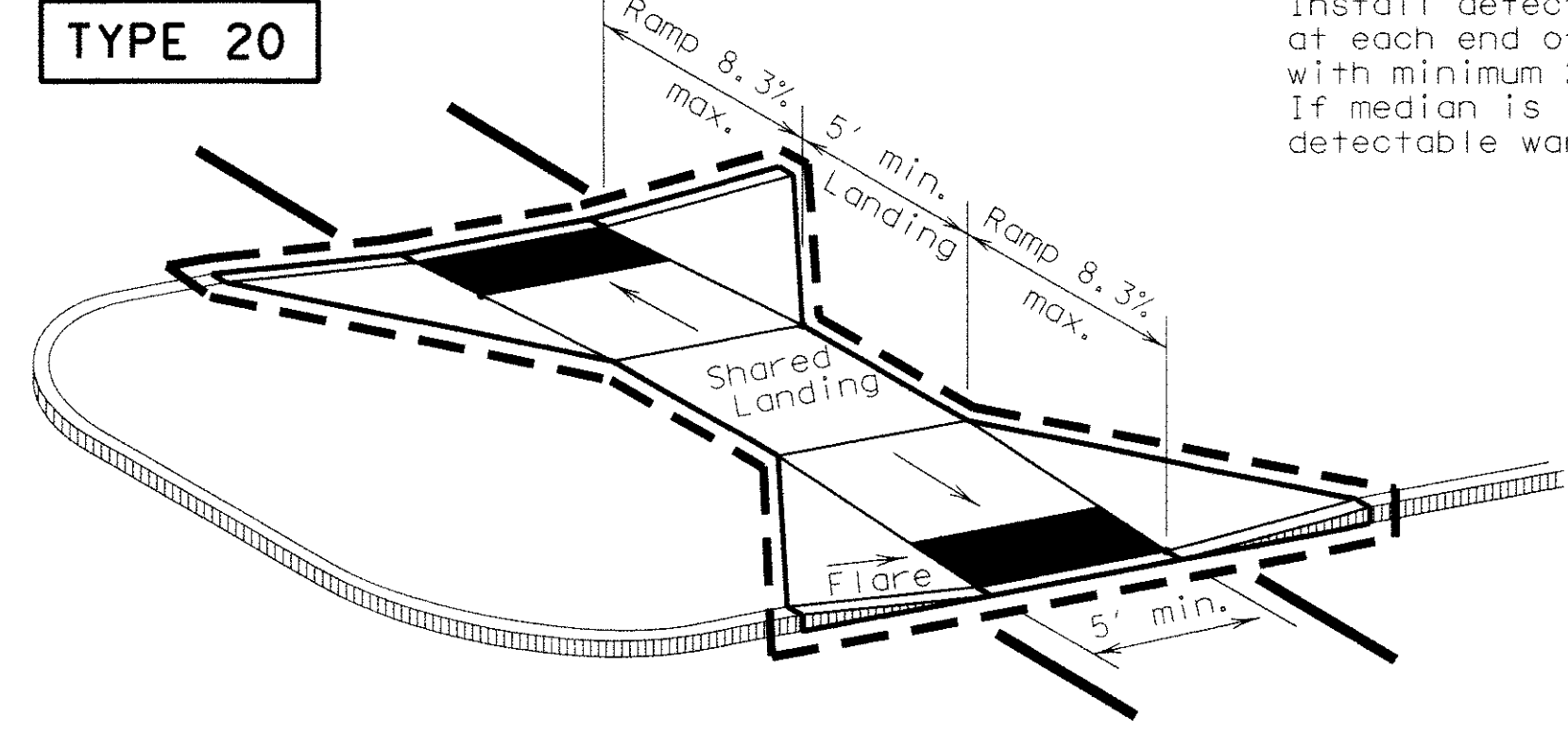


BLENDED TRANSITION

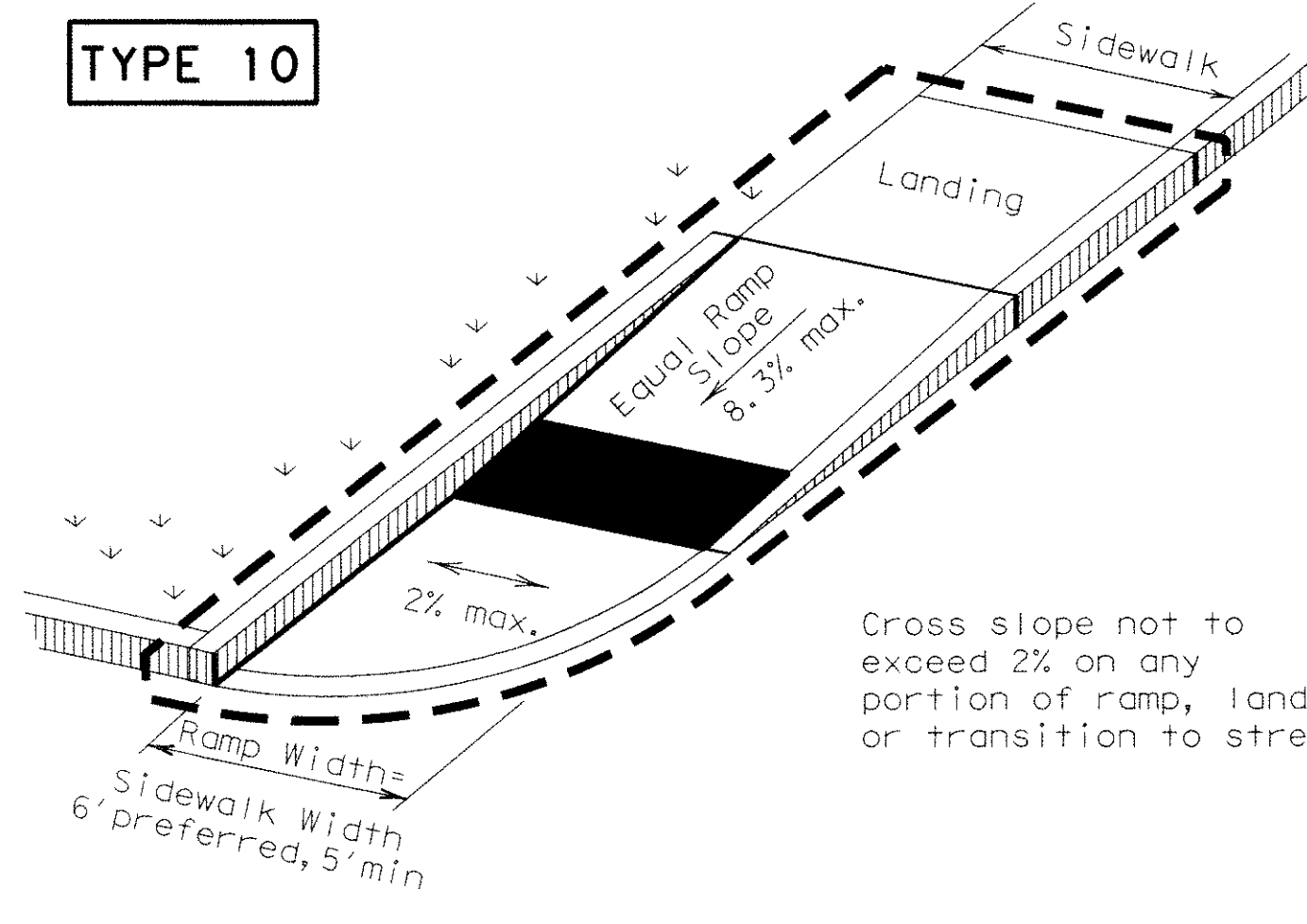
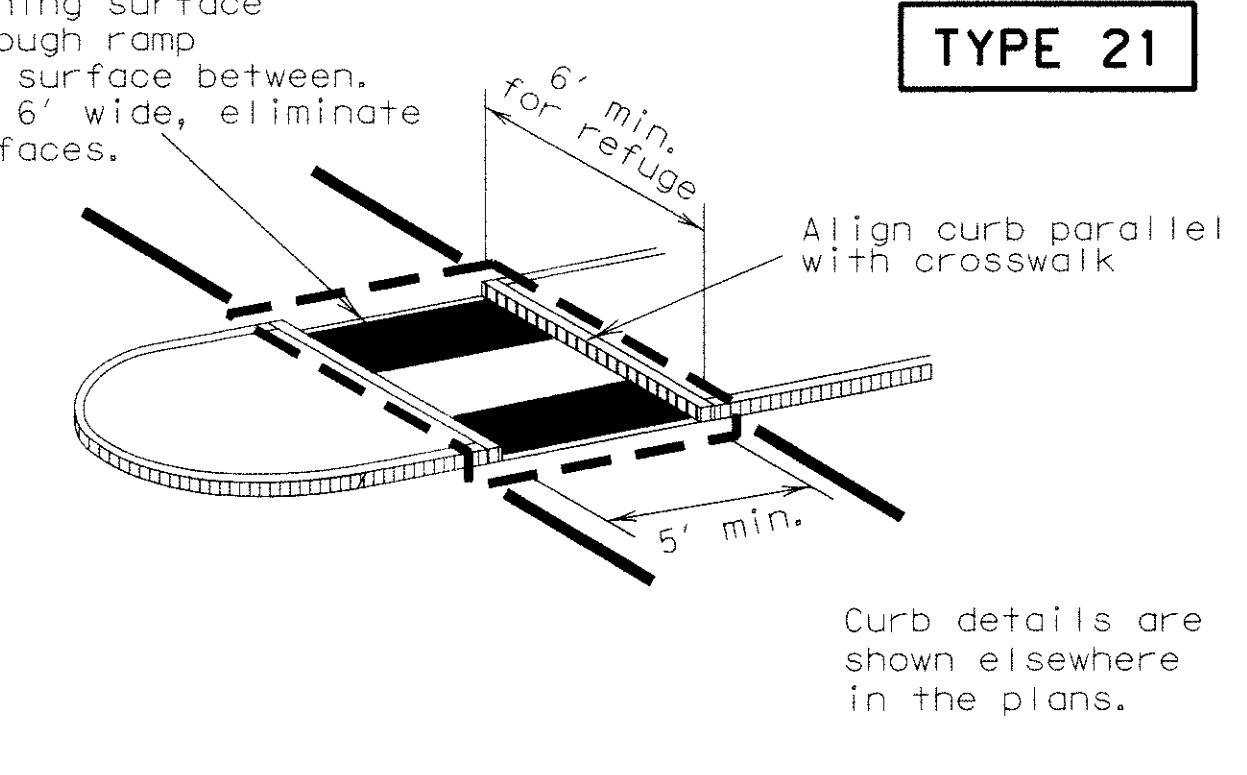


(Sidewalk set back from curb)

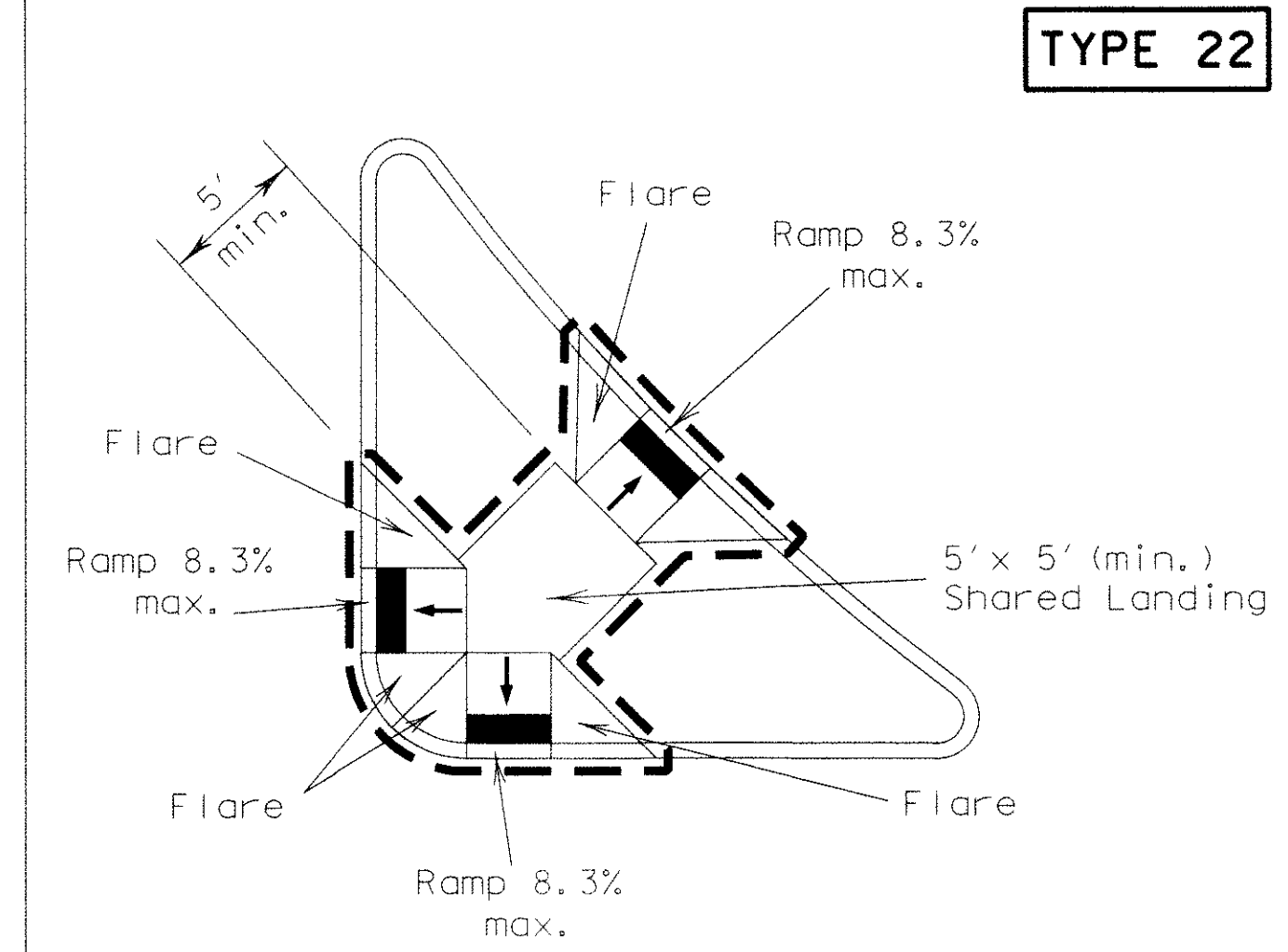
DIRECTIONAL RAMPS WITHIN RADIUS



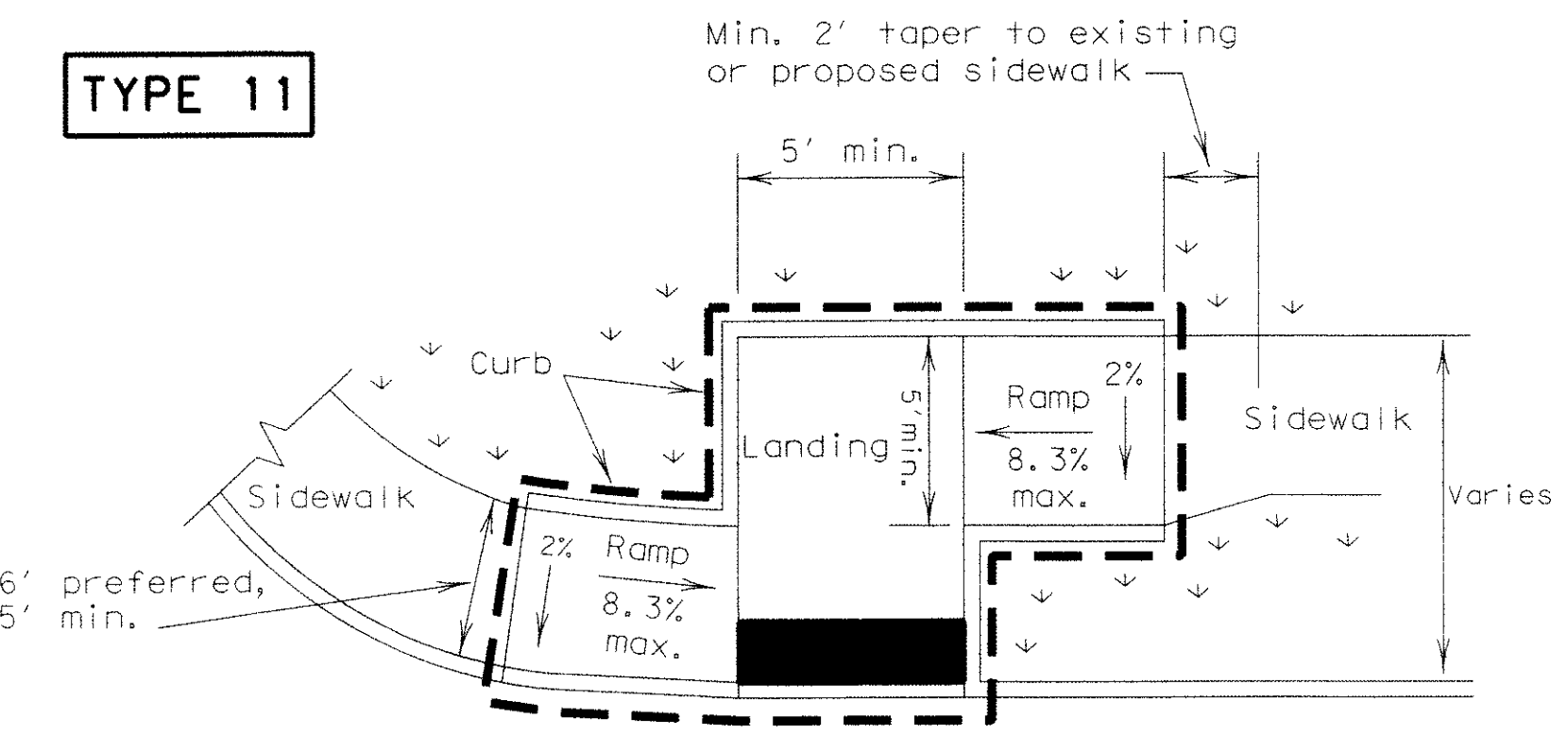
CURB RAMPS AT MEDIAN ISLANDS



(Sidewalk adjacent to curb)



COMBINATION ISLAND RAMPS



OFFSET PARALLEL CURB RAMP

NOTES / LEGEND:

See General Notes on sheet 2 of 4 for more information.

- ∇ ∇ ∇ Denotes planting or non-walking surface
- ∇ ∇ ∇ not part of pedestrian circulation path.

--- Ramp Limits of Payment

■ Detectable Warning Surface



**PEDESTRIAN FACILITIES
CURB RAMPS**

PED-12A

FILE: ped12a.dgn	DN: TxDOT	CK: RM	DW: TxDOT	CK: VP
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REVISIONS				
VP June 13, 2012	DIST	COUNTY	SHEET NO.	

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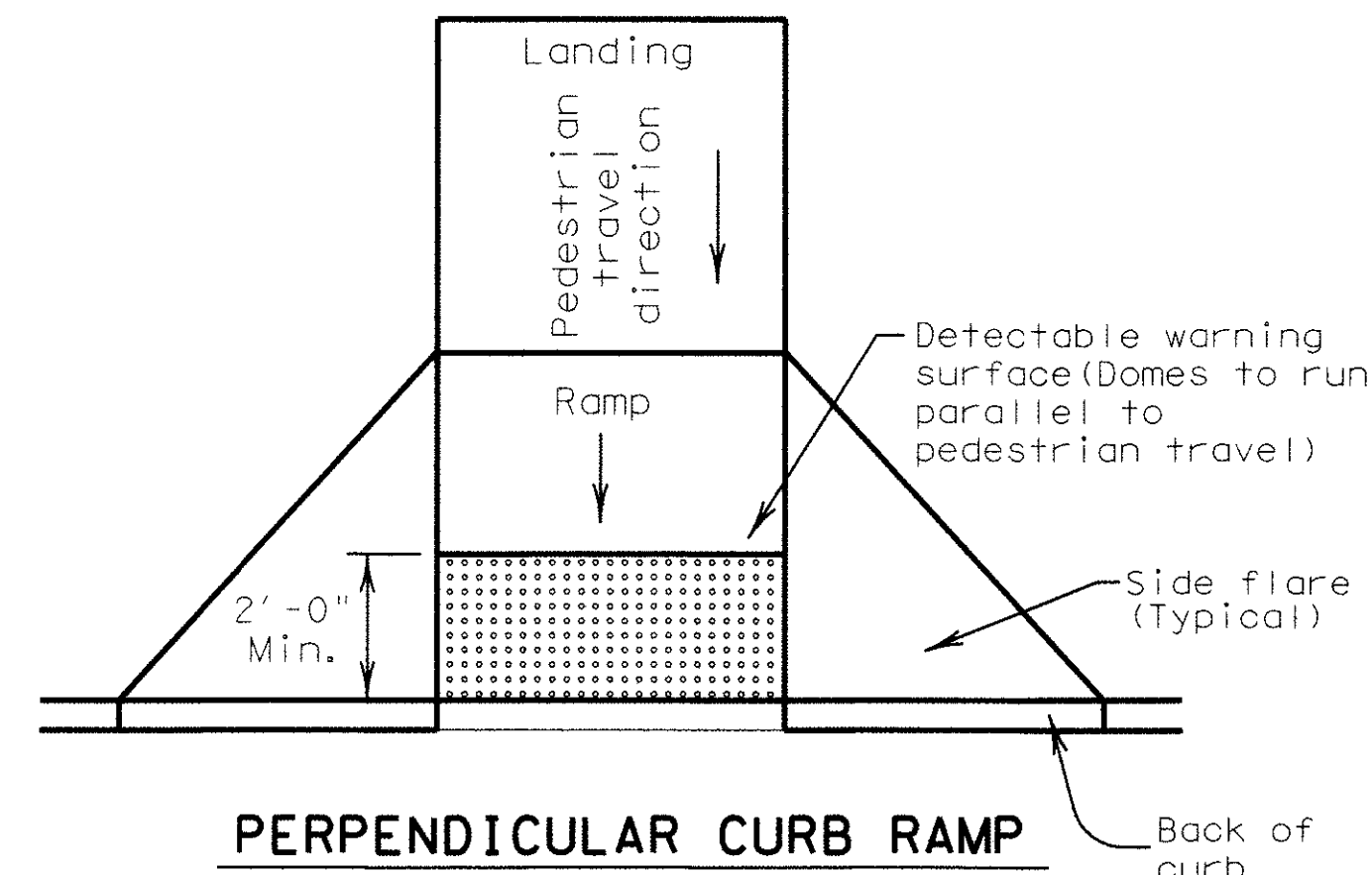
General Notes

Curb Ramps

1. Install a curb ramp or blended transition at each pedestrian street crossing.
2. All slopes shown are maximum allowable. Lesser slopes that will still drain properly should be used. Adjust curb ramp length or grade of approach sidewalks as directed.
3. The minimum sidewalk width is 5'. Where the sidewalk is adjacent to the back of curb, a 6' sidewalk width is desirable. Where a 5' sidewalk cannot be provided due to site constraints, sidewalk width may be reduced to 4' for short distances. 5' x 5' passing areas at intervals not to exceed 200' are required.
4. Landings shall be 5' x 5' minimum with a maximum 2% slope in any direction.
5. Maneuvering space at the bottom of curb ramps shall be a minimum of 4' x 4' wholly contained within the crosswalk and wholly outside the parallel vehicular travel path.
6. Maximum allowable cross slope on sidewalk and curb ramp surfaces is 2%.
7. Provide flared sides where the pedestrian circulation path crosses the curb ramp. Flared sides shall be sloped at 10% maximum, measured parallel to the curb. Returned curbs may be used only where pedestrians would not normally walk across the ramp, either because the adjacent surface is planted, substantially obstructed, or otherwise protected.
8. Additional information on curb ramp location, design, light reflective value and texture may be found in the current edition of the Texas Accessibility Standards (TAS) and 16 TAC 68.102.
9. To serve as a pedestrian refuge area, the median should be a minimum of 6' wide, measured from back of curbs. Medians should be designed to provide accessible passage over or through them.
10. Small channelization islands, which do not provide a minimum 5' x 5' landing at the top of curb ramps, shall be cut through level with the surface of the street.
11. Crosswalk dimensions, crosswalk markings and stop bar locations shall be as shown elsewhere in the plans. At intersections where crosswalk markings are not required, curb ramps shall align with theoretical crosswalks unless otherwise directed.
12. Handrails are not required on curb ramps. Provide curb ramps wherever on accessible route crosses (penetrates) a curb.
13. Curb ramps and landings shall be constructed and paid for in accordance with Item 531 "Sidewalks".
14. Place concrete at a minimum depth of 5" for ramps, flares and landings, unless otherwise directed.
15. Provide a smooth transition where the curb ramps connect to the street.
16. Curbs shown on sheet 1 within the limits of payment are considered part of the curb ramp for payment, whether it is concrete curb, gutter, or combined curb and gutter.
17. Existing features that comply with TAS may remain in place unless otherwise shown on the plans.

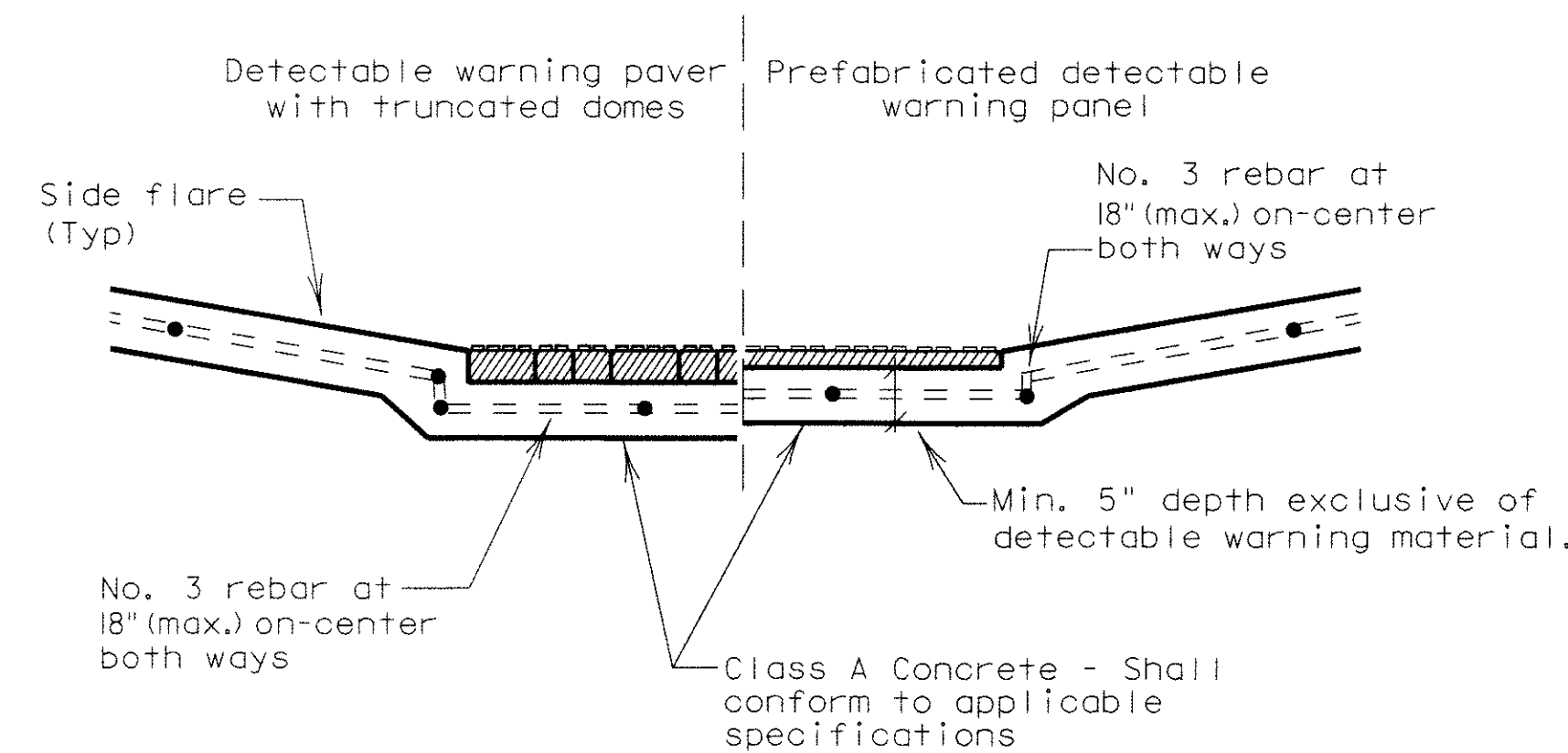
Detectable Warning Material

18. Curb ramps must contain a detectable warning surface that consists of raised truncated domes complying with Section 705 of the TAS. The surface must contrast visually with adjoining surfaces, including side flares. Furnish and install an approved cast-in-place dark brown or dark red detectable warning surface material adjacent to uncolored concrete, unless specified elsewhere in the plans.
19. Detectable Warning Materials must meet TxDOT Departmental Materials Specification DMS 4350 and be listed on the Material Producer List. Install products in accordance with manufacturer's specifications.
20. Detectable warning surfaces must be slip resistant and not allow water to accumulate.
21. Detectable warning surfaces shall be a minimum of 24" in depth in the direction of pedestrian travel, and extend the full width of the curb ramp or landing where the pedestrian access route enters the street.
22. Detectable warning surfaces shall be located so that the edge nearest the curb line is at the back of curb. Align the rows of domes to be perpendicular to the grade break between the ramp run and the street. Detectable warning surfaces may be curved along the corner radius.
23. Shaded areas on Sheet 1 of 4 indicate the approximate location for the detectable warning surface for each curb ramp type.



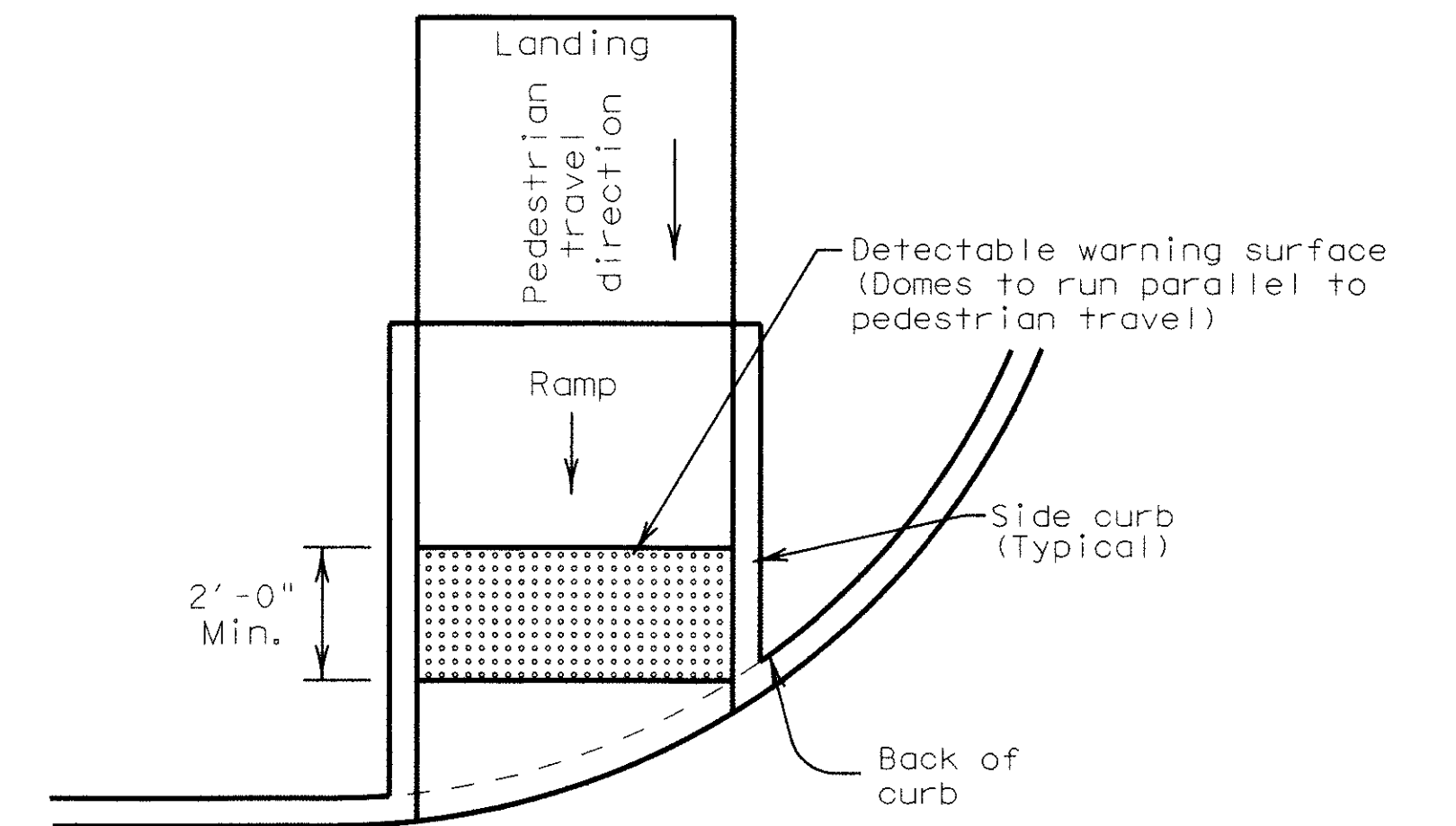
PERPENDICULAR CURB RAMP

Typical placement of detectable warning surface on sloping ramp run.



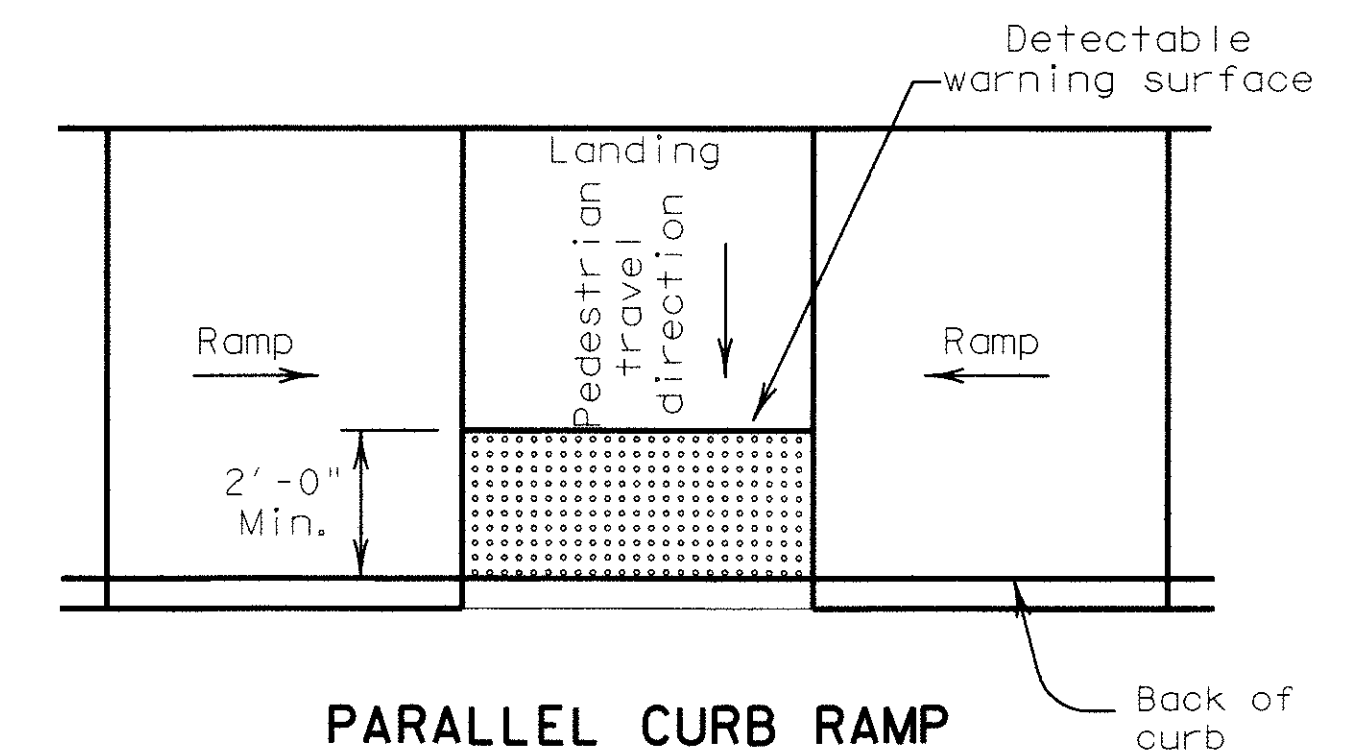
SECTION: CURB RAMP AT DETECTABLE WARNING

DETECTABLE WARNINGS



DIRECTIONAL CURB RAMP

Typical placement of detectable warning surface on sloping ramp run.



PARALLEL CURB RAMP

Typical placement of detectable warning surface on landing at street edge.

Detectable Warning Pavers

24. Furnish detectable warning paver units meeting all requirements of ASTM C-936, C-33. Lay in a two by two unit basket weave pattern or as directed.
25. Lay full-size units first followed by closure units consisting of at least 25 percent of a full unit. Cut detectable warning paver units using a power saw.

Sidewalks

26. Provide clear ground space at operable parts, including pedestrian push buttons. Operable parts shall be placed within one or more reach ranges specified in TAS 308.
27. Place traffic signal or illumination poles, ground boxes, controller boxes, signs, drainage facilities and other items so as not to obstruct the pedestrian access route or clear ground space.
28. Street grades and cross slopes shall be as shown elsewhere in the plans.
29. Changes in level greater than 1/4 inch are not permitted.
30. The least possible grade should be used to maximize accessibility. The running slope of sidewalks and crosswalks within the public right of way may follow the grade of the parallel roadway. Where a continuous grade greater than 5% must be provided, handrails may be desirable to improve accessibility. Handrails may also be needed to protect pedestrians from potentially hazardous conditions. If provided, handrails shall comply with TAS 505.
31. Handrail extensions shall not protrude into the usable landing area or into intersecting pedestrian routes.
32. Driveways and turnouts shall be constructed and paid for in accordance with Item "Intersections, Driveways and Turnouts". Sidewalks shall be constructed and paid for in accordance with Item, "Sidewalks".
33. Sidewalk details are shown elsewhere in the plans.

SHEET 2 OF 4

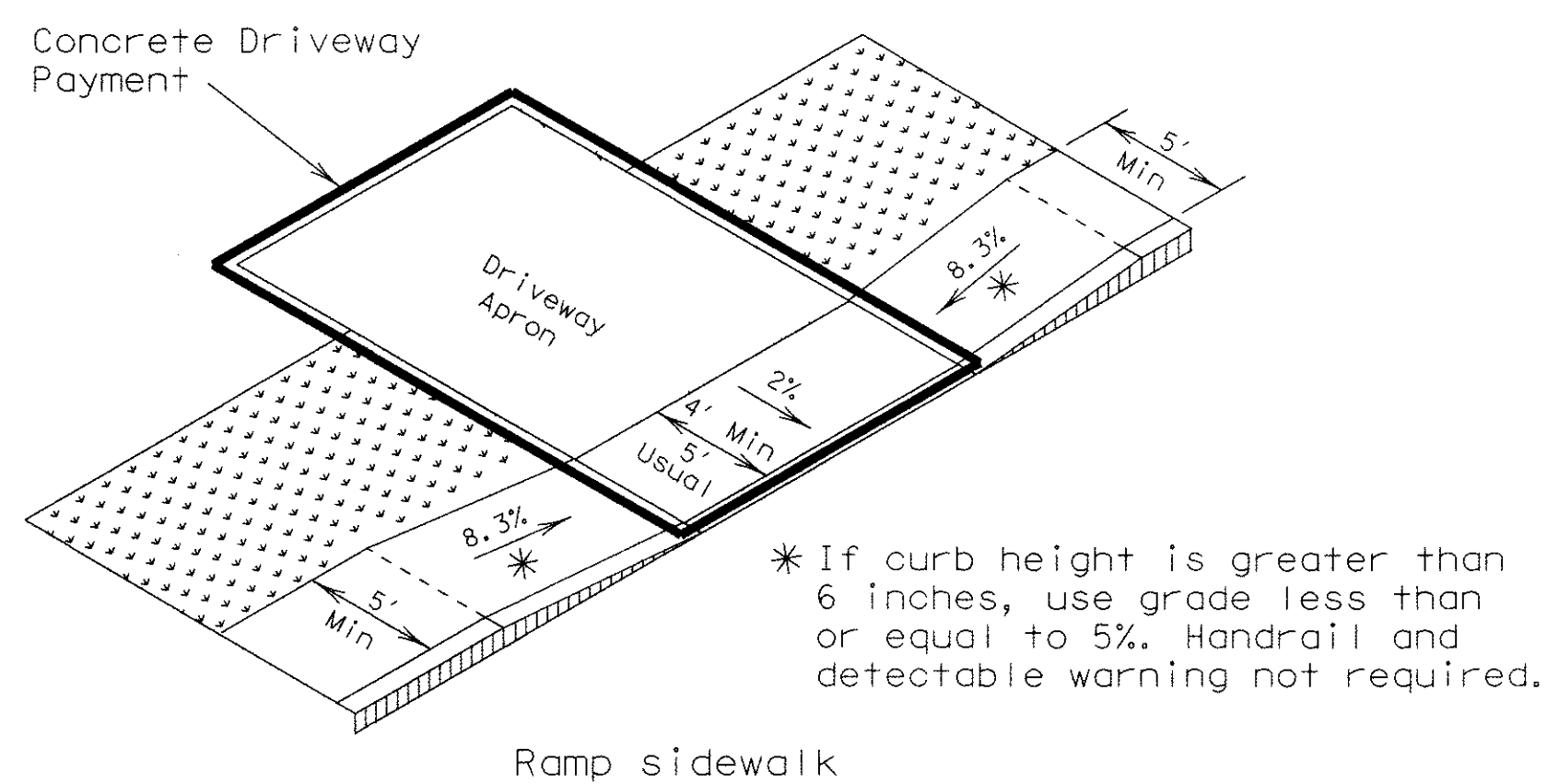
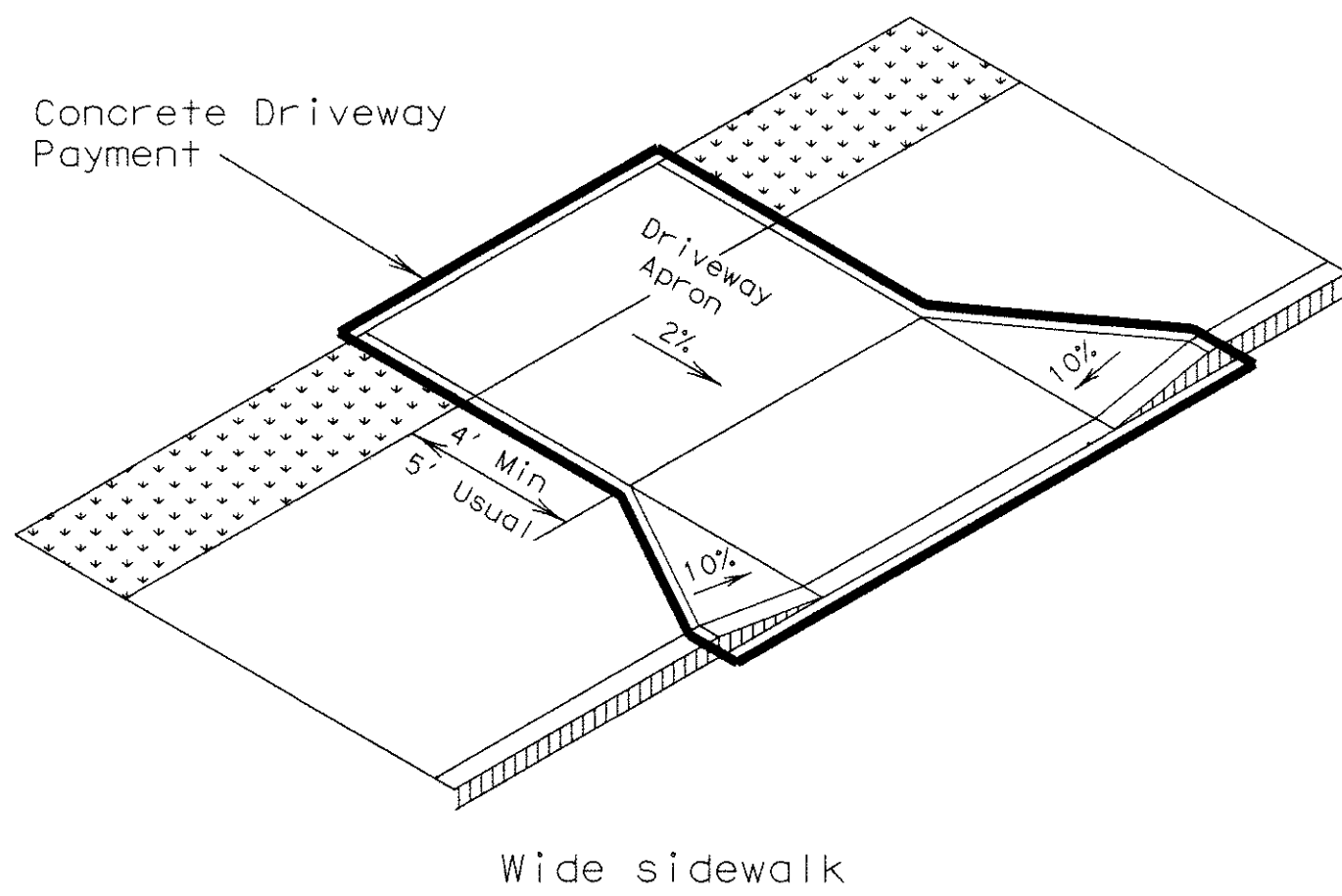
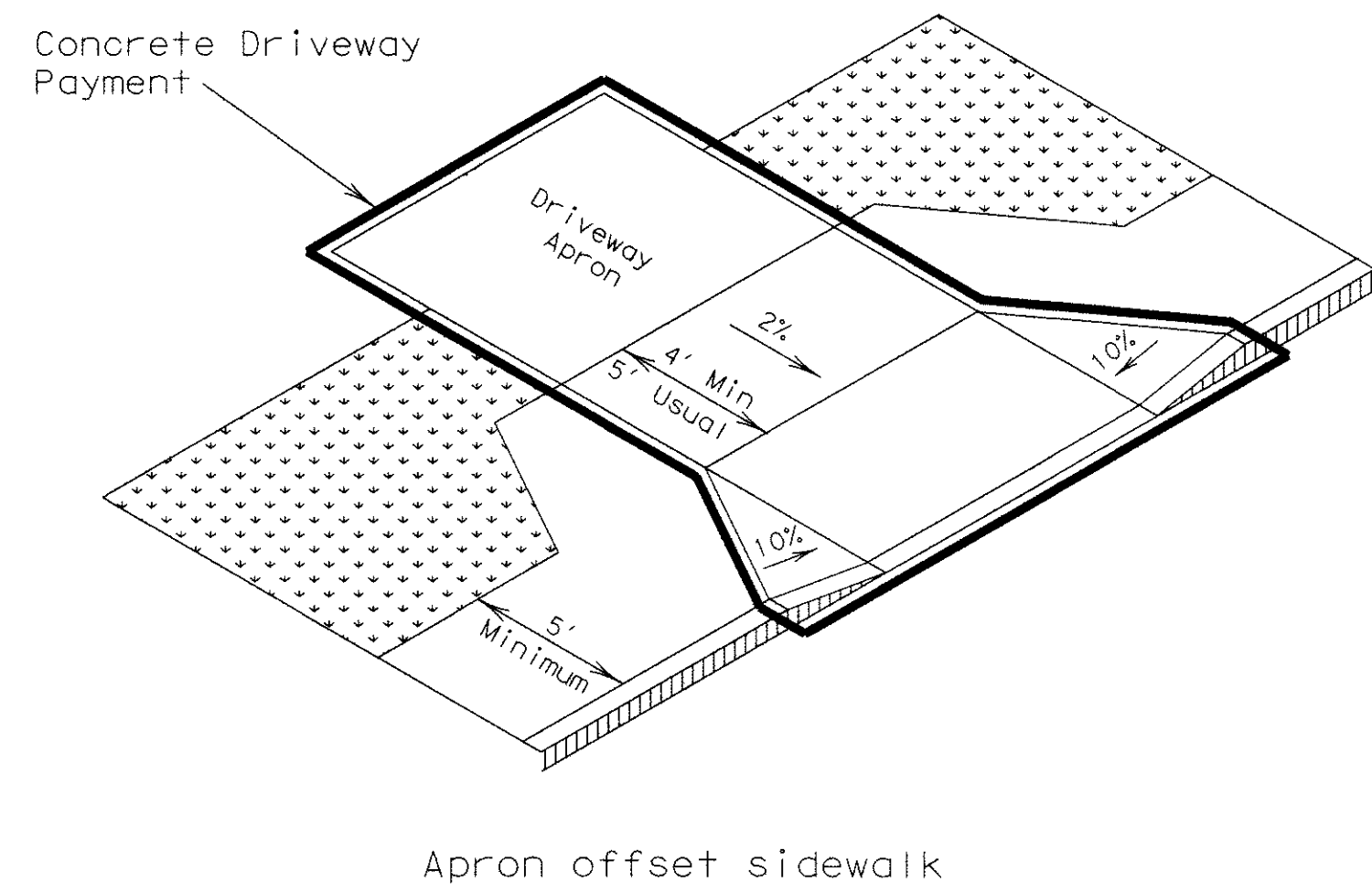
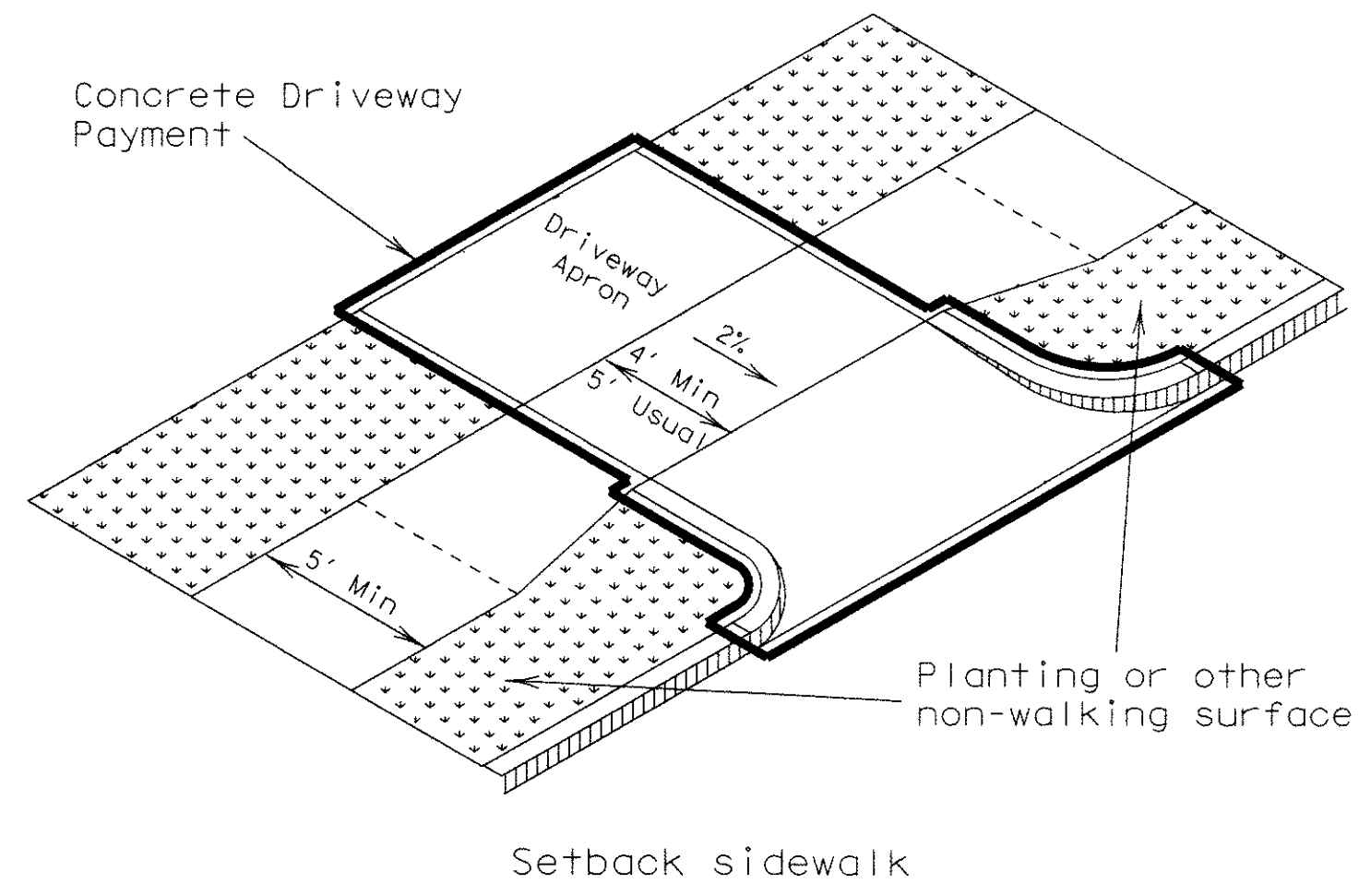


PEDESTRIAN FACILITIES CURB RAMPS

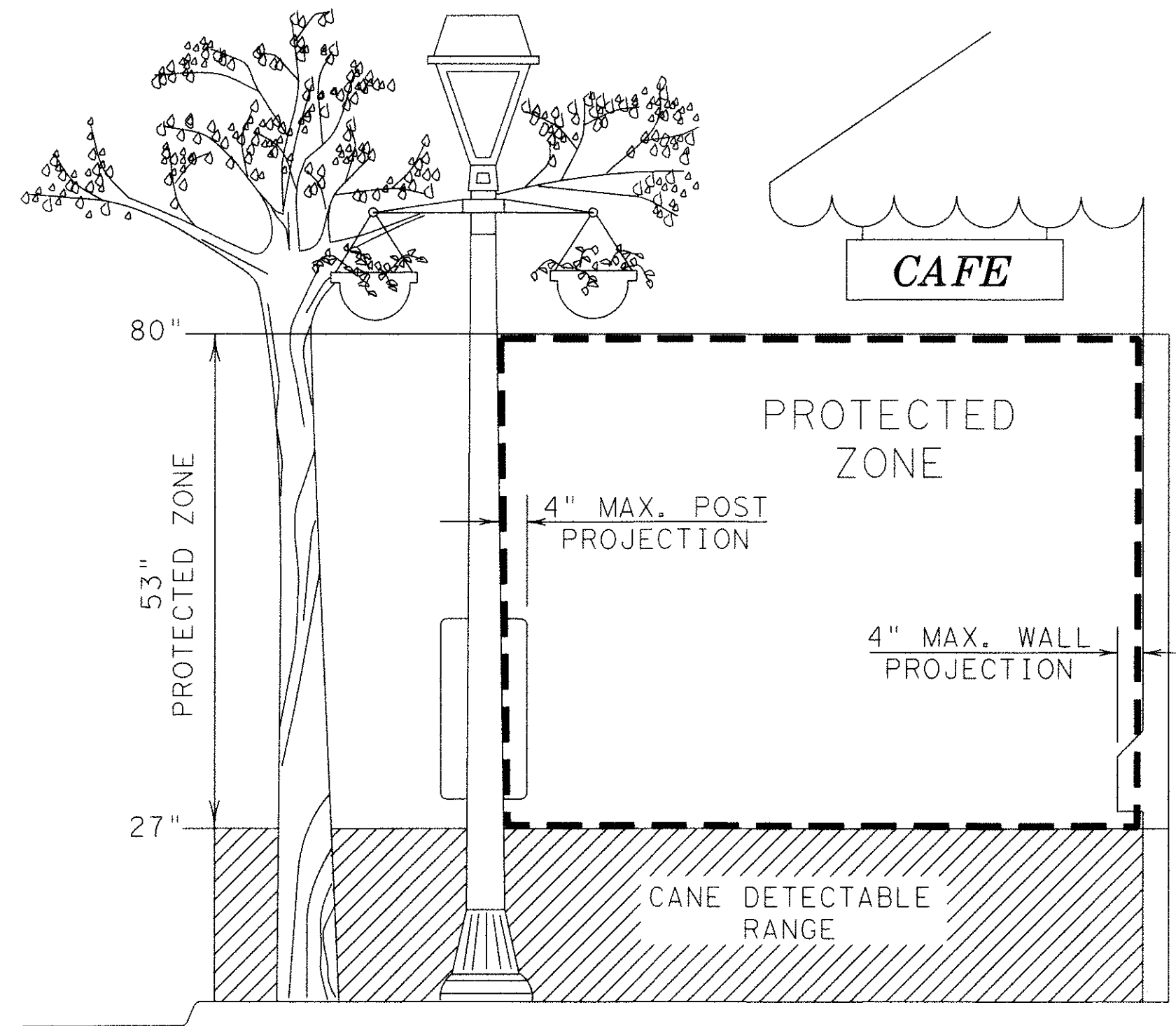
PED-12A

FILE: ped12a.dgn	DN: TxDOT	CK: RM	DW: TxDOT	CK: VP
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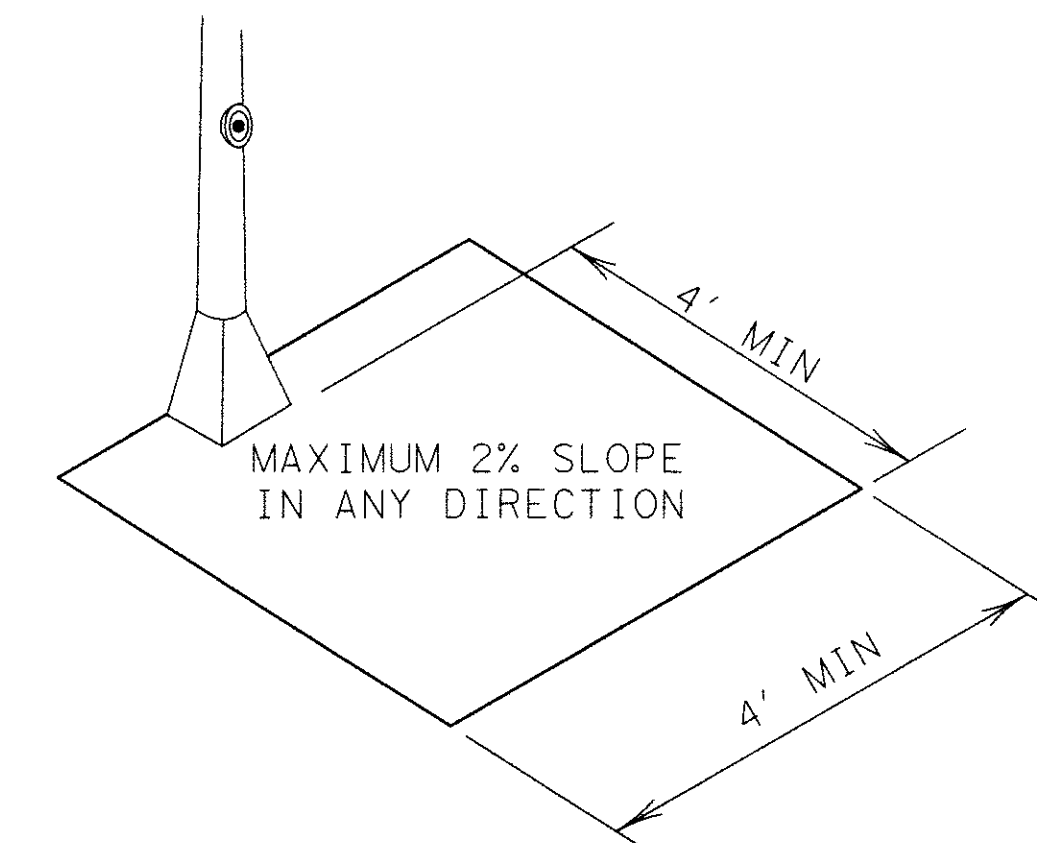


SIDEWALK TREATMENT AT DRIVEWAYS

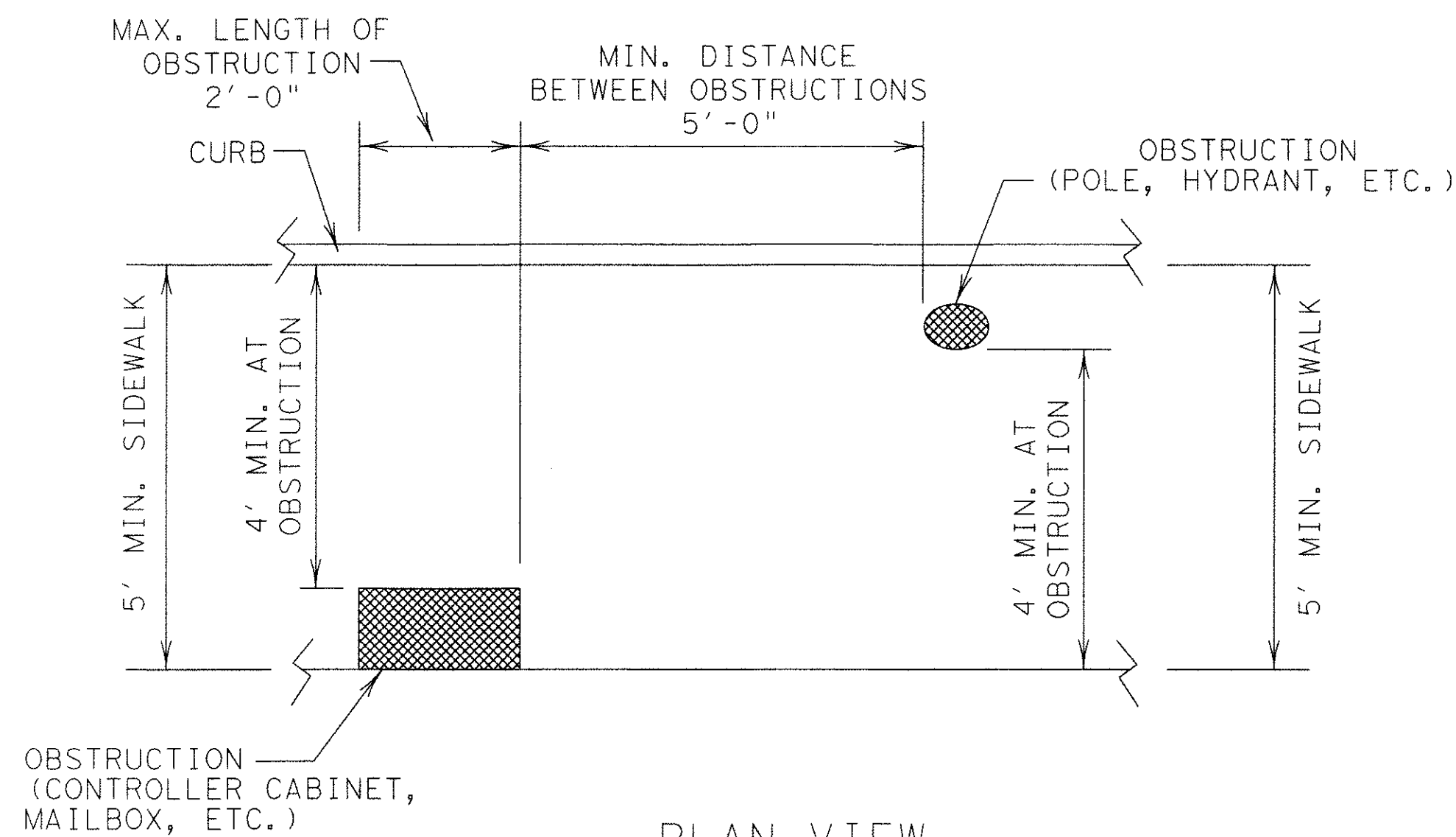


PROTECTED ZONE

In pedestrian circulation area, maximum 4" projection for post or wall mounted objects between 27" and 80" above the surface.

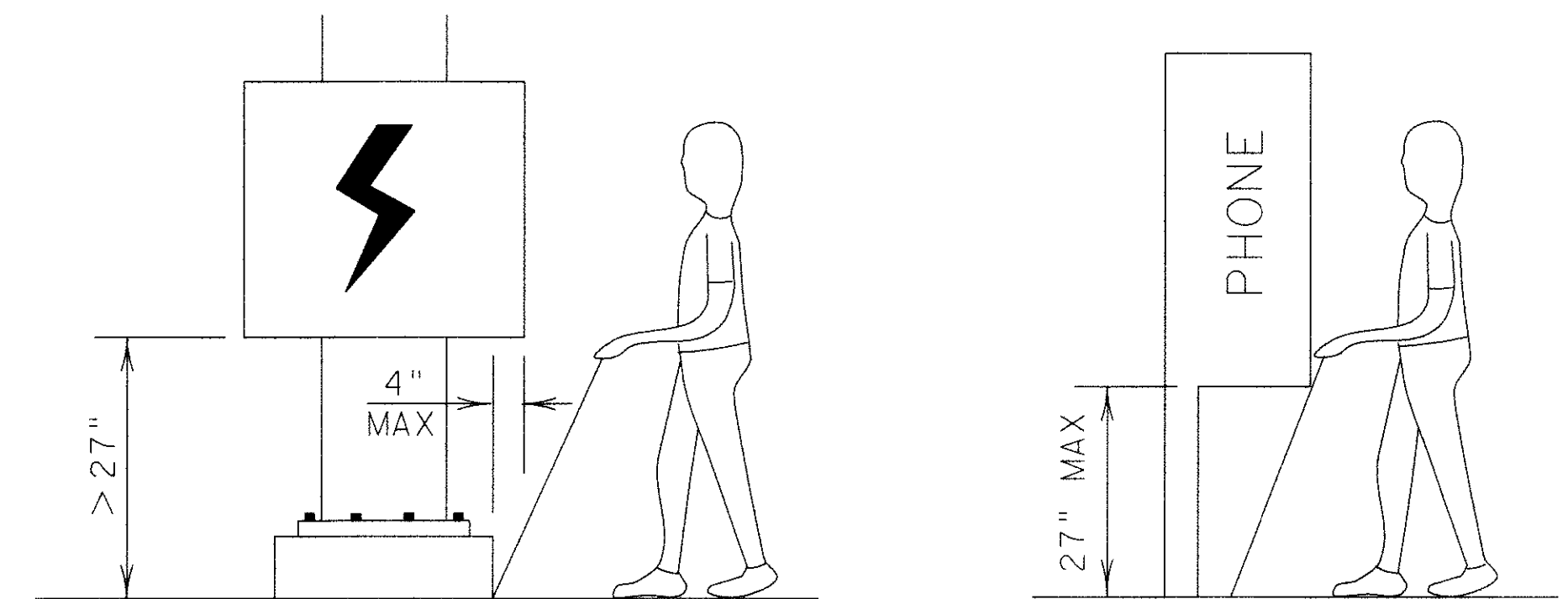


CLEAR GROUND SPACE ADJACENT TO PEDESTRIAN PUSH BUTTON



**PLAN VIEW
PLACEMENT OF STREET FIXTURES**

(ITEMS NOT INTENDED FOR PUBLIC USE. MINIMUM 4' x 4' CLEAR GROUND SPACE REQUIRED AT PUBLIC USE FIXTURES.)



When an obstruction of a height greater than 27" from the surface would create a protrusion of more than 4" into the pedestrian circulation area, construct additional curb or foundation at the bottom to provide a maximum 4" overhang.

Protruding objects of a height \leq 27" are detectable by cane and do not require additional treatment.

DETECTION BARRIER FOR VERTICAL CLEARANCE < 80"

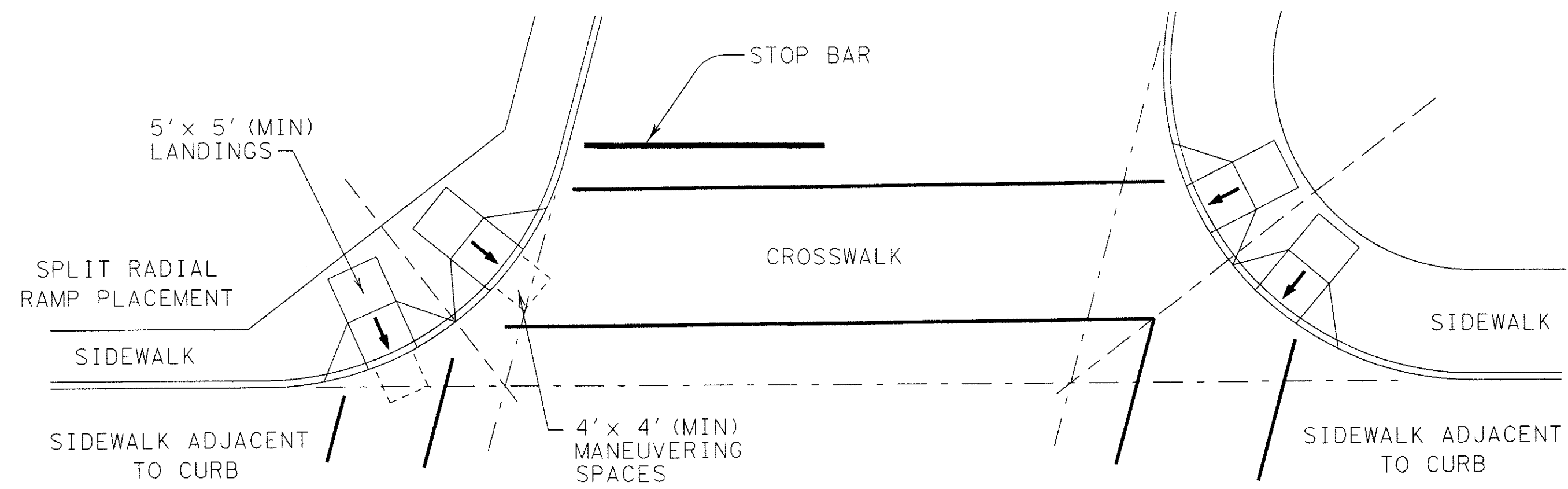


**PEDESTRIAN FACILITIES
CURB RAMPS**

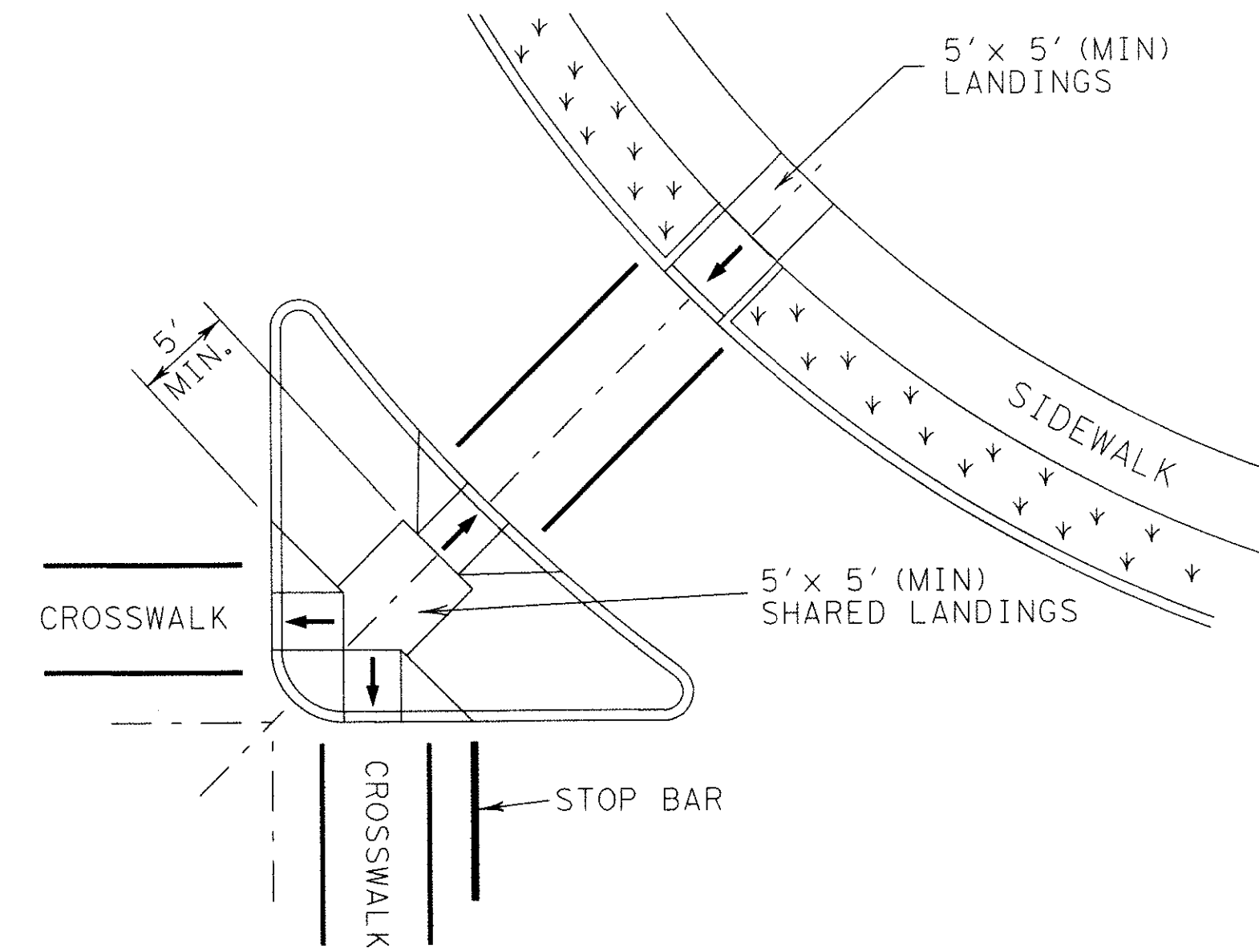
PED-12A

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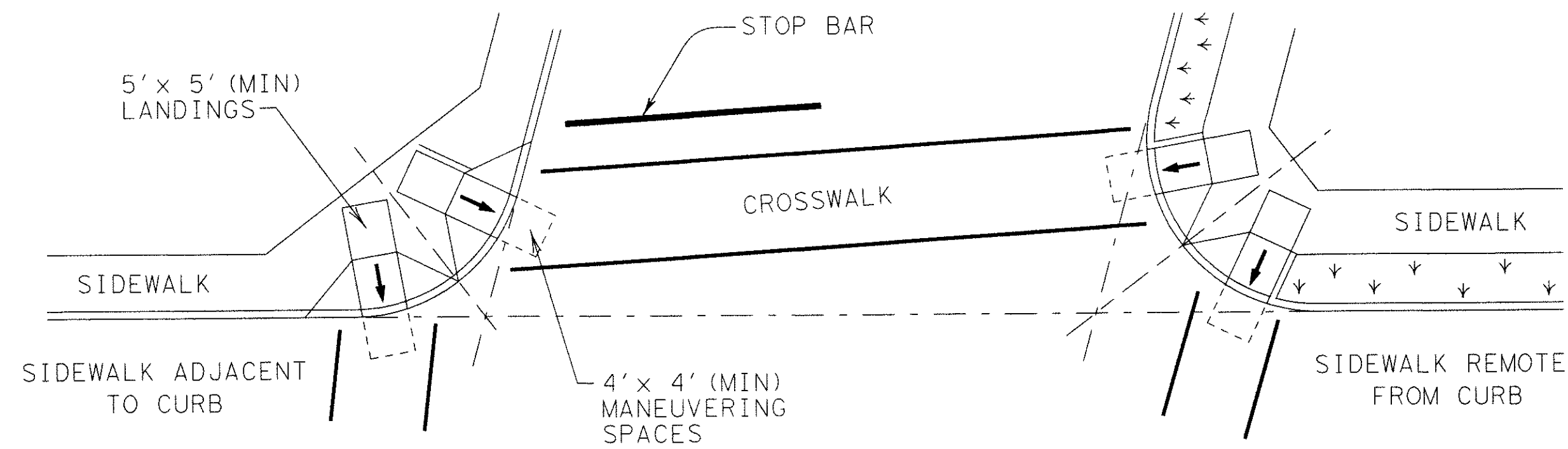
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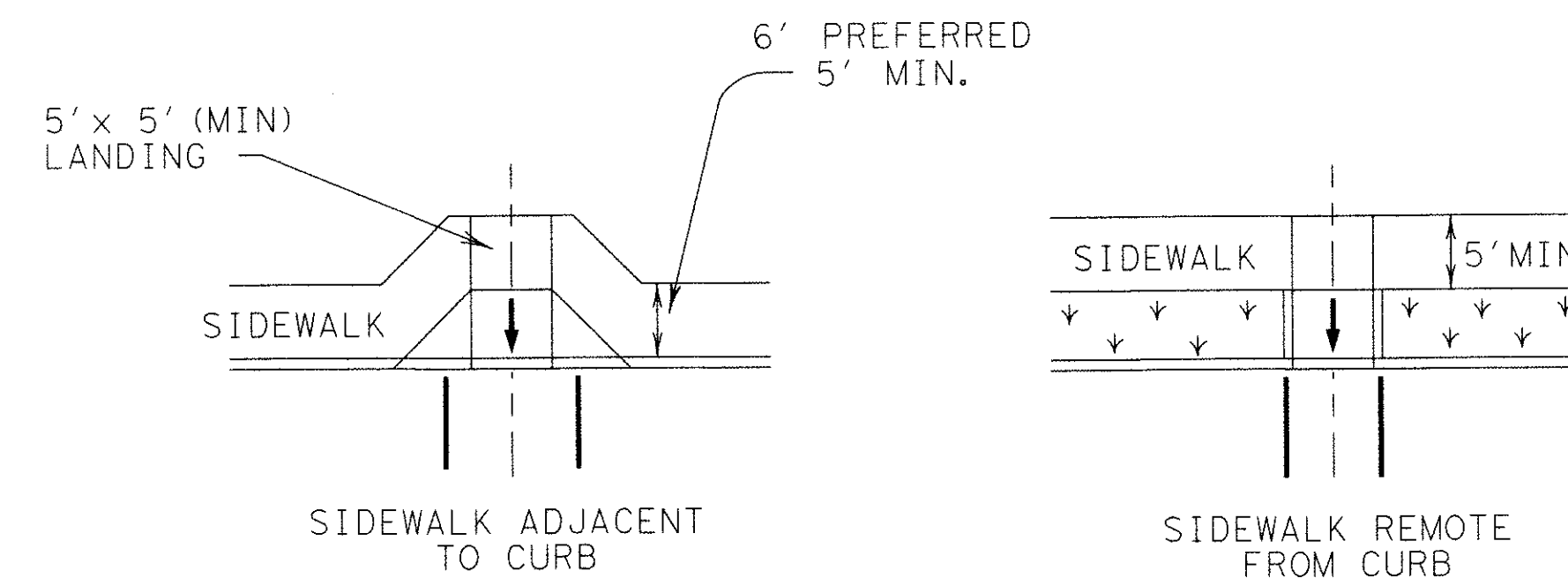
SKewed INTERSECTION WITH "LARGE" RADIUS



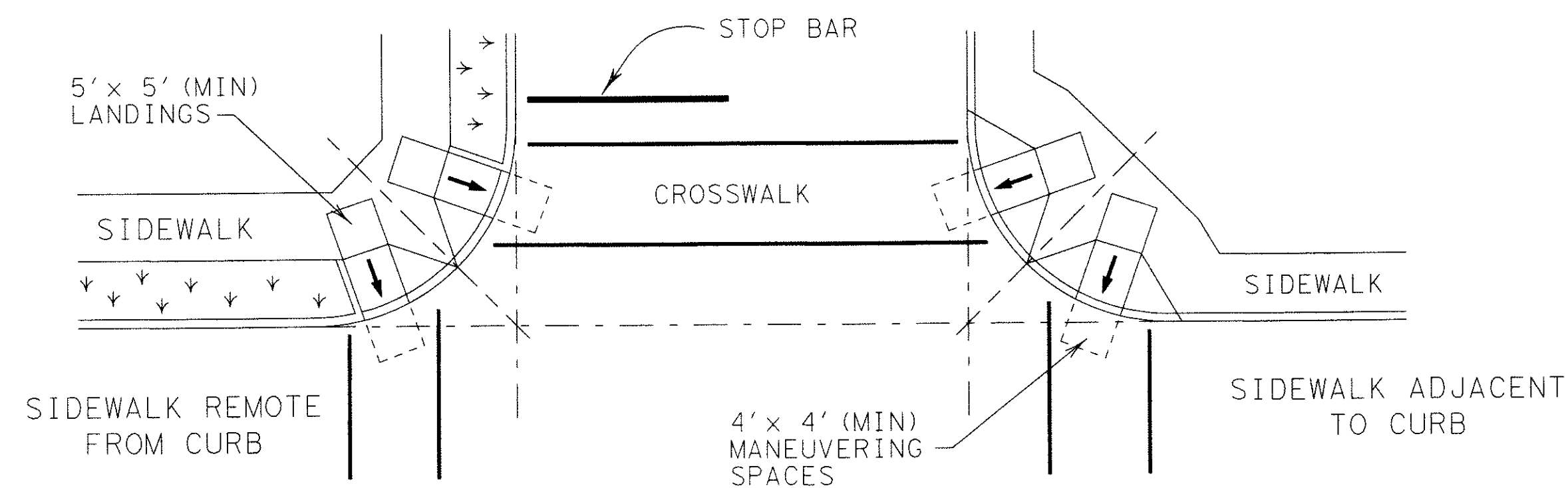
**AT INTERSECTION
W/FREE RIGHT TURN & ISLAND**



SKewed INTERSECTION WITH "SMALL" RADIUS



**MID-BLOCK PLACEMENT
PERPENDICULAR RAMPS**



NORMAL INTERSECTION WITH "SMALL" RADIUS

TYPICAL CROSSING LAYOUTS

		Design Division Standard	
PEDESTRIAN FACILITIES CURB RAMPS			
PED-12A			
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