



AGENDA CITY COUNCIL MEETING

December 1, 2022 | 6:30 PM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

Notice is hereby given that a meeting of the Lucas City Council will be held on Thursday, December 1, 2022, beginning at 6:30 pm at Lucas City Hall, 665 Country Club Road, Lucas, Texas 75002-7651, at which time the following agenda will be discussed. As authorized by Section 551.071 of the Texas Government Code, the City Council may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any item on the agenda at any time during the meeting. Pursuant to Texas Government Code 551.127, one or more members of the governing body may appear via videoconference call. The presiding officer and a quorum of the City Council will be physically present at this meeting.

If you would like to watch the meeting live, you may go to the City's live streaming link at <https://www.lucastexas.us/departments/public-meetings/>.

How to Provide Input at a Meeting:

Speak In Person: Request to Speak forms will be available at the meeting. Please fill out the form and give to the City Secretary prior to the start of the meeting. This form will also allow a place for comments.

Submit Written Comments: If you are unable to attend a meeting and would like to submit written comments regarding a specific agenda item, email City Secretary Erin Day at eday@lucastexas.us by no later than 3:30 pm the day of the meeting. The email must contain the person's name, address, phone number, and the agenda item(s) for which comments will be made. Any requests received after 3:30 pm will not be included at the meeting.

Call to Order

- Roll Call
- Determination of Quorum
- Reminder to turn off or silence cell phones
- Pledge of Allegiance

Citizen Input

1. Citizen Input.

Community Interest

Pursuant to Section 5510415 of the Texas Government Code, the City Council may report on the following items: 1) expression of thanks, congratulations or condolences; 2) information about holiday schedules; 3) recognition of individuals; 4) reminders about upcoming City Council events; 5) information about community events; and 6) announcements involving imminent threat to public health and safety.

2. Items of Community Interest.

Public Hearing - Cancelled

3. Hold a Public Hearing to consider a request by David Lewis, on behalf of property owner 3R Land Properties L.C., to rezone four parcels of land on the north side of Parker Road from Residential 1.5 acres to Residential 1 acre, situated in the Lewis P. Turner Survey, Abstract No. 901, Tract 4, 2.280 acres and Tract 5, 3.9943 acres, and in the John Gray Survey, Abstract No. 349, Tract 6, 8.5 acres and Tract 7, 10.296 acres. **(CANCELLED – MOVED TO DECEMBER 15, 2022)**

Consent Agenda

All items listed under the consent agenda are considered routine and are recommended to the City Council for a single vote approval. If discussion is desired, an item may be removed from the consent agenda for a separate vote.

4. Consent Agenda:
 - A. Approval of the minutes of the November 17, 2022 City Council meeting. **(City Secretary Erin Day)**
 - B. Approval of Ordinance #2022-12-00961 amending the Code of Ordinances Chapter 12, Article 12.03, Section 12.03.002 “Specific Speed Limits”. **(Public Works Director Scott Holden)**
 - C. Approval of Ordinance #2022-12-00962 reinstating Ordinance #1974-11-00038 which established the common boundary line between the City of Lucas, Texas and the City of Parker, Texas, and ratifying Ordinance #1998-04-00372 which repealed Ordinance #1998-01-0366 and amended Ordinance #1974-11-00038. **(Public Works Director Scott Holden)**

Regular Agenda

5. Consider approval of an application for a site plan, landscape plan, elevations, and a preliminary plat submitted by Dave Carter, on behalf of the owner NDC Holdings, LP, for Lucas Retail Addition, a retail center on a 1.619-acre tract of land in the William Snider Survey, Abstract Number 821, situated in the City of Lucas, Collin County, Texas, located at 2695 McGarity Lane. **(Development Services Director Joe Hilbourn)**
6. Discuss proposed amendments to a development agreement with Younger Partners for property located at the northwest corner of Southview Drive and Parker Road. **(Development Services Director Joe Hilbourn)**
7. Consider a request by Preston Walhood, on behalf of Young Dean Homestead, Ltd., for a preliminary plat for Dean Estates on a parcel of land consisting of 44.185 acres, located in the John McKinney Survey, Abstract Number 596, creating 27 single-family lots and two common spaces on the east side of Stinson Road, approximately 55 feet south of the roundabout. **(Development Services Director Joe Hilbourn)**
8. Consider the final draft of the City of Lucas Comprehensive Plan and set the public hearing dates for January 12 and January 19, 2023. **(Development Services Director Joe Hilbourn)**
9. Discuss establishing logo usage guidelines for the City of Lucas logo and provide direction to the City Manager. **(City Manager Joni Clarke)**

10. Consider board appointments to the Parks and Open Space Board for a two-year term beginning on January 1, 2023 and expiring on December 31, 2024. (City Council, City Secretary Erin Day)

Executive Session

11. Executive Session: An Executive Session is not scheduled for this meeting.

As authorized by Section 551.071 of the Texas Government Code, the City Council may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney regarding any item on the agenda at any time during the meeting. This meeting is closed to the public as provided in the Texas Government Code.

12. Reconvene from Executive Session and take any action necessary as a result of the Executive Session.
13. Adjournment.

Certification

I do hereby certify that the above notice was posted in accordance with the Texas Open Meetings Act on the bulletin board at Lucas City Hall, 665 Country Club Road, Lucas, TX 75002 and on the City's website at www.lucastexas.us on or before 5:00 p.m. on November 23, 2022.

Erin Day, City Secretary

In compliance with the American with Disabilities Act, the City of Lucas will provide for reasonable accommodations for persons attending public meetings at City Hall. Requests for accommodations or interpretive services should be directed to City Secretary Erin Day at 972.912.1211 or by email at eday@lucastexas.us at least 48 hours prior to the meeting.



City of Lucas

City Council Agenda Request

December 1, 2022

Item No. 01

Requester: Mayor Jim Olk

Agenda Item Request

Citizen Input.

Background Information

NA

Attachments/Supporting Documentation

NA

Budget/Financial Impact

NA

Recommendation

NA

Motion

NA



City of Lucas

City Council Agenda Request

December 1, 2022

Requester: Mayor Jim Olk

Agenda Item Request

Items of Community Interest.

Background Information

NA

Attachments/Supporting Documentation

NA

Budget/Financial Impact

NA

Recommendation

NA

Motion

NA



City of Lucas

City Council Agenda Request

December 01, 2022

Item No. 03

Requester: Development Services Director Joe Hilbourn

Agenda Item Request

Hold a Public Hearing to consider a request by David Lewis, on behalf of property owner 3R Land Properties L.C., to rezone four parcels of land on the north side of Parker Road from Residential 1.5 acres to Residential 1 acre, situated in the Lewis P. Turner Survey, Abstract No. 901, Tract 4, 2.280 acres and Tract 5, 3.9943 acres, and in the John Gray Survey, Abstract No. 349, Tract 6, 8.5 acres and Tract 7, 10.296 acres.

- A. Presentation by Development Services Director Joe Hilbourn
- B. Public Hearing - Cancelled

Background Information

This lot is currently zoned Residential 1.5 acres (R1.5) and the applicant is requesting a change in zoning to Residential 1 acre (R-1). The tract is 25 +/- acres of land and is shown in the Comprehensive Plan to be planned for R-1.

The Planning and Zoning Commission denied the rezoning request for this parcel by a 5-0 vote on November 10, 2022. The applicant has appealed the decision. Therefore, the Public Hearing must be rescheduled to allow for the time requirements for the public notice to be met. Staff has moved the Public Hearing to the December 15, 2022 City Council meeting.

Attachments/Supporting Documentation

NA

Budget/Financial Impact

NA

Recommendation

Staff recommends postponing the Public Hearing.

Motion

No motion is required for this item.



City of Lucas

City Council Agenda Request

December 1, 2022

Item No. 04

Requester: City Secretary Erin Day
Public Works Director Scott Holden

Agenda Item Request

Consent Agenda:

- A. Approval of the minutes of the November 17, 2022, City Council meeting.
- B. Approval of Ordinance #2022-12-00961 amending the Code of Ordinances Chapter 12, Article 12.03, Section 12.03.002 “Specific Speed Limits”.
- C. Approval of Ordinance #2022-12-00962 reinstating Ordinance #1974-11-00038 which established the common boundary line between the City of Lucas, Texas and the City of Parker, Texas, and ratifying Ordinance #1998-04-00372 which repealed Ordinance #1998-01-0366 and amended Ordinance #1974-11-00038.

Background Information

Item B

The City of Lucas Code of Ordinances, under Chapter 12, Article 12.03, Section 12.03.002 “Specific Speed Limits” states that the maximum speed limit for Forest Grove Road is 40 miles per hour (MPH). Ordinance #2022-12-00961 will amend this section to state that the maximum speed limit on this road will be lowered to 30 MPH.

Item C

Following a general review of boundary agreements with the City of Parker, a potential discrepancy was identified in how the ordinances have been adopted over time. This item seeks to resolve and clarify the issue through reinstatement of the original boundary agreement.

Attachments/Supporting Documentation

1. Minutes of the November 17, 2022 City Council meeting
2. Ordinance #2022-12-00961: Amending the Code of Ordinances Chapter 12, Article 12.03
3. Ordinance #2022-12-00962: Reinstating Ordinance for Boundary Line between the City of Lucas and the City of Parker



City of Lucas
City Council Agenda Request
December 1, 2022

Budget/Financial Impact

NA

Recommendation

City staff recommends approval of the Consent Agenda.

Motion

I make a motion to approve the Consent Agenda as presented.



City Councilmembers Present:

Mayor Pro Tem Kathleen Peele
Councilmember David Keer
Councilmember Tim Baney
Councilmember Phil Lawrence (*remote*)
Councilmember Debbie Fisher

City Staff Present:

City Manager Joni Clarke
Assistant City Manager Kent Souriyasak
Finance Director Liz Exum
Contract Engineer Joe Grajewski
Public Works Director Scott Holden
City Secretary Erin Day

City Councilmembers Absent:

Mayor Jim Olk
Councilmember Tim Johnson

The regular City Council meeting was called to order at 6:31 pm.

Citizen Input

1. Citizen Input

There was no citizen input at this meeting.

Community Interest

2. Items of Community Interest

Mayor Pro Tem Peele gave items of community interest including:

- Donations for Holiday Donation Drive
- Country Christmas
- Service Tree Nominations
- CWD procedures during Thanksgiving week
- Collin County Future Mobility Plan Meetings

Consent Agenda

3. Consent Agenda:

- A. Approval of the minutes of the November 3, 2022, City Council meeting.
- B. Consider authorizing the City Manager to enter into a professional services agreement with JTG Engineering, PLLC, in the amount of \$134,287.50 for General Engineering Services. Funding for these services was approved in the Fiscal Year 2022-2023 budget in line item 11-6209-309 (Professional Services).

- C. Approval of Resolution R 2022-11-00537 scheduling a Public Hearing to consider amendments to the Land Use Assumptions and Capital Improvement Plan under which an Impact Fee may be amended for water and roadways within the City.

Councilmember Keer requested to pull Item B from the Consent Agenda for further discussion.

MOTION: A motion was made by Councilmember Fisher, seconded by Councilmember Keer, to approve Items A and C of the Consent Agenda as presented. The motion passed unanimously by a 5 to 0 vote, with Mayor Olk and Councilmember Johnson absent.

Regular Agenda

- B. Consider authorizing the City Manager to enter into a professional services agreement with JTG Engineering, PLLC, in the amount of \$134,287.50 for General Engineering Services. Funding for these services was approved in the Fiscal Year 2022-2023 budget in line item 11-6209-309 (Professional Services).**

MOTION: A motion was made by Councilmember Keer, seconded by Councilmember Lawrence, to approve the professional services agreement with JTG Engineering, PLLC, with the understanding that the professional will be compensated according to the payment schedule set forth in the agreement in Exhibit “C”, and at no time shall the total compensation for the agreement exceed \$134,287.50. The motion passed unanimously by a 5 to 0 vote, with Mayor Olk and Councilmember Johnson absent.

- 4. Discuss the Capex Consulting Group Water and Wastewater Rate Study and Five-Year Financial Plan and set date for the public hearing.**

Finance Director Liz Exum gave a presentation detailing the purpose of the rate study conducted by Capex Consulting and the steps in the process of adopting a new water rate.

Mayor Pro Tem Peele asked if Council would have the opportunity to make any adjustments before the water rate adoption. Councilmember Fisher explained that at the public hearing the citizens will have a chance to speak, and Council can give their feedback at that time. Councilmember Fisher asked that the study results be placed on the website for citizens to view.

Jeff Snowden gave a presentation including: objectives of study, summary of wholesale and retail water flow, rates of revenue increase, summary of all water and wastewater debt, pro forma cash flow under current rates, revenue-to-demand comparison by customer class, peer group comparison of residential and commercial water bills, cost impact of proposed water rates, rate increase projections for residential and commercial, and recommended steps for the rate adjustment.

Council Comments

Councilmember Lawrence asked if this cost increase is more than what was done in the past. Mr. Snowden advised this increase is less than the previous increase. Councilmember Fisher asked if this adjustment would still be based on tier levels. Mr. Snowden advised that it is still based on tier levels.

Councilmember Lawrence asked if there was a difference in the rate increase between member cities and customer cities. City Manager Joni Clarke advised that currently, customer cities who have not

gone to a new contract pay a five-cent premium on the wholesale rate, and that North Texas Municipal Water District is current doing a rate study.

Councilmember Lawrence asked if commercial rates could be skewed based on the size of a commercial business. Mr. Snowden explained that the rate is tiered based on consumption level.

Council discussed the increase in water chemical prices, and why water rate increases are necessary. Councilmember Lawrence explained that citizens have some confusion as to why the City has surplus funds in the Water Fund but rates still increase. Mayor Pro Tem Peele explained that having a five-year plan is good because it can be adjusted later if needed, but there are infrastructure needs coming up and this allows the City to have the needed funds. Councilmember Fisher explained that even with the increase, we will still need more funds for all of the water projects coming up. Councilmember Lawrence explained that having an adequate fund balance allows the City to borrow at a much lower rate for needed funds. City Manager Joni Clarke advised that City Council will be having a public hearing on January 5, 2023 regarding Capital Improvement Projects and that the citizens will be able to see projects coming up and the cost associated.

MOTION: A motion was made by Mayor Pro Tem Peele seconded by Councilmember Lawrence, to approve the results of the Water and Wastewater Rate Study and Five-Year Financial Plan and schedule the public hearing for January 19, 2023 as presented. The motion passed unanimously by a 5 to 0 vote, with Mayor Olk and Councilmember Johnson absent.

6. Consider board/commission appointments to the Board of Adjustment (also serving as the Building and Standards Commission) and the Planning and Zoning Commission (also serving as the Capital Improvements Advisory Committee) for a two-year term beginning on January 1, 2023, and expiring on December 31, 2024.

Mayor Pro Tem Peele advised that Mayor Olk is the Council Liaison for the Planning and Zoning Commission, and he recommended the following be reappointed:

- Dusty Kuykendall
- Tommy Tolson
- Joe Williams
- James Foster as Alternate

MOTION: A motion was made by Mayor Pro Tem Peele, seconded by Councilmember Fisher, to reappoint Dusty Kuykendall, Tommy Tolson, Joe Williams, and James Foster as Alternate to the Planning and Zoning Commission for a two-year term beginning on January 1, 2023 and expiring on December 31, 2024. The motion passed unanimously by a 5 to 0 vote, with Mayor Olk and Councilmember Johnson absent.

Mayor Pro Tem Peele, liaison to the Board of Adjustment, advised she recommends the following to be reappointed to the Board of Adjustment:

- Ron Potete
- Brian Dale

Mayor Pro Tem Peele requested a delay in the reappointment of Michael Dunn, Alternate pending further discussion.

MOTION: A motion was made by Mayor Pro Tem Peele, seconded by Councilmember Lawrence, to reappoint Ron Poteete and Brian Dale to the Board of Adjustment for a two-year term beginning on January 1, 2023 and expiring on December 31, 2024. The motion passed unanimously by a 5 to 0 vote, with Mayor Olk and Councilmember Johnson absent.

Executive Agenda

7. Executive Session: As authorized by Section 551.071 of the Texas Government Code, the City Council may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney regarding any item on the agenda at any time during the meeting. This meeting is closed to the public as provided in the Texas Government Code.

An Executive Session was not held during the meeting.

8. Reconvene from Executive Session and take any action necessary as a result of the Executive Session.

9. Adjournment.

MOTION: A motion was made by Councilmember Lawrence, seconded by Councilmember Keer, to adjourn the meeting at 7:31 pm. The motion passed unanimously by a 5 to 0 vote, with Mayor Olk and Councilmember Johnson absent.

APPROVED:

ATTEST:

Mayor Jim Olk

Erin Day, City Secretary



ORDINANCE # 2022-12-00961

[AMENDING CODE OF ORDINANCE CHAPTER 12, ARTICLE 12.03]

AN ORDINANCE OF THE CITY OF LUCAS, TEXAS, AMENDING THE CODE OF ORDINANCES BY AMENDING CHAPTER 12 “TRAFFIC AND VEHICLES” BY AMENDING ARTICLE 12.03 “SPEED LIMITS” BY AMENDING SECTION 12.03.002 “SPECIFIC SPEED LIMITS” TO AMEND THE MAXIMUM PRIMA FACIA SPEED LIMIT FOR FOREST GROVE ROAD LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF LUCAS; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00) FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Section 545.356 of the Transportation Code provides that whenever the governing body of the City shall determine upon the basis of an engineering and traffic investigation that any prima facie speed therein set forth is greater or less than is reasonable or safe under the conditions found to exist at any intersection or other place or upon any part of a street or highway within the City, taking into consideration the width and condition of the pavement and other circumstances on such portion of said street or highway, as well as the usual traffic thereon, said governing body may determine and declare a reasonable and safe prima facie speed limit thereat or thereon by the passage of an ordinance, which shall be effective when appropriate signs giving notice thereof are erected at such intersection or other place or part of the street or highway; and,

WHEREAS, the City Council of the City of Lucas, Texas, upon the basis of an engineering and traffic investigation finds it necessary to alter prima facie maximum speed limits established by Section 545.356 of the Transportation Code, the following prima facie speed limits hereafter indicated for vehicles are hereby determined and declared to be reasonable and safe, and such speed limits are hereby fixed at the rate of speed indicated for vehicles traveling upon the named streets and highways, or parts thereof.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LUCAS, TEXAS:

Section 1. That the Code of Ordinances of the City of Lucas, Texas be, and the same is, hereby amended by amending Chapter 12 “Traffic and Vehicles” by amending Article 12.03 “Speed Limits” by amending Section 12.03.002 “Specific speed limits” to read as follows:

“CHAPTER 12”

TRAFFIC AND VEHICLES

...

ARTICLE 12.03 SPEED LIMITS

...

AMEND:

Sec. 12.03.002 Specific speed limits

...

(c) On the hereinafter designated streets, or portions thereof, the speed designated herein shall be the prima facie maximum speed limit, and any speed in excess thereof shall be prima facie evidence that such speed is not reasonable or prudent and that it is unlawful. Such streets, or portions thereof, being more particularly described:

Road	Extent	Speed Limit
...		
Forest Grove Road	All portions within the city, generally	40-30
... ”		

Section 2. All ordinances of the City of Lucas in conflict with the provisions of this Ordinance shall be, and same are hereby, repealed, provided, however, that all other provisions of said Ordinances that are not in conflict herewith shall remain in full force and effect.

Section 3. Should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance or of the City of Lucas Code of Ordinances, as amended hereby, be adjudged or held to be voided or unconstitutional, the same shall not affect the validity of the remaining portions of said Ordinances or the City of Lucas Code of Ordinances, as amended hereby, which shall remain in full force and effect.

Section 4. An offense committed before the effective date of the Ordinance is governed by prior law and the provisions of the City of Lucas Code of Ordinances in effect when the offense was committed and the former law is continued in effect for this purpose.

Section 5. Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Code of Ordinances, as amended, and upon conviction in the municipal court shall be punished by a fine not to exceed the sum of Two Hundred Dollars (\$200) for each offense, and each and every day such violation shall continue shall be deemed to constitute a separate offense.

Section 6. This Ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Lucas, and it is accordingly so ordained.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF LUCAS, COLLIN COUNTY, TEXAS, ON THIS 1ST DAY OF DECEMBER 2022.

APPROVED:

Jim Olk, Mayor

APPROVED AS TO FORM:

ATTEST:

Joseph J. Gorfida, Jr., City Attorney
(11-15-2022:TM 132382)

Erin Day, City Secretary



ORDINANCE #2022-12-00962

[Reinstating City of Lucas Ordinance #9742 (1974-11-00038) and
Ratifying Ordinance 98-04-01 (1998-04-00372)]

AN ORDINANCE OF THE CITY OF LUCAS, TEXAS, REINSTATING ORDINANCE NUMBER 9742 [NEW ORDINANCE NUMBER 1974-11-00038] WHICH ESTABLISHED THE COMMON BOUNDARY LINE BETWEEN THE CITY OF LUCAS, TEXAS, AND THE CITY OF PARKER TEXAS; RATIFYING ORDINANCE NUMBER 98-04-01 [NEW ORDINANCE NUMBER 1998-04-00372] WHICH REPEALED ORDINANCE NUMBER 98-01-05 [NEW ORDINANCE NUMBER 1998-01-0366] AND AMENDED ORDINANCE NUMBER 9742 [NEW ORDINANCE NUMBER 1974-11-00038]; PROVIDING A CONFLICTS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on November 4, 1974, the Lucas City Council adopted Ordinance Number 9742 [New Ordinance Number 1974-11-00038] which established a common extraterritorial jurisdiction boundary line (“ETJ line”) between the cities of Lucas and Parker; and

WHEREAS, on January 5, 1998, the Lucas City Council adopted Ordinance Number 98-01-05 [New Ordinance Number 1998-01-00366] which repealed Ordinance Number 9742 and adopted a new ETJ line; and

WHEREAS, on April 21st, 1998, the Lucas City Council adopted Ordinance Number 98-04-01 [New Ordinance Number 1998-01-00372] which repealed Ordinance Number 98-01-05 and amended Ordinance Number 9742, but did not specifically reinstate Ordinance 9742; and

WHEREAS, the Texas Government Code, Code Construction Act, section 311.030 provides that the repeal of a repealing statute does not revive the statute originally repealed; and

WHEREAS, an ordinance may be reinstated by affirmative language indicating the governing bodies intent to reinstate the repealed ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LUCAS, TEXAS, THAT:

SECTION 1. That City of Lucas Ordinance Number 9742 [New Ordinance Number 1974-11-00038], attached hereto and incorporated herein for all intents and purposes as “Exhibit A” is hereby reinstated and all acts, ordinances and resolutions enacted in reliance on Ordinance

9742 [New Ordinance Number 1974-11-00038] are hereby ratified, including but not limited to Ordinance Number 98-04-01 [New Ordinance Number 1998-04-00372].

SECTION 2. To the extent of any irreconcilable conflict with the provisions of this ordinance and other ordinances of the City of Lucas and which are not expressly amended by this ordinance, the provisions of this ordinance shall be controlling.

SECTION 3. That all ordinances of the City of Lucas in conflict with the provisions of this Ordinance shall be, and same are hereby, repealed, provided, however, that all other provisions of said Ordinances are not in conflict herewith shall remain in full force and effect.

SECTION 4. That should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance or of the City of Lucas Code of Ordinances, as amended hereby, be adjudged or held to be voided or unconstitutional, the same shall not affect the validity of the remaining portions of said Ordinances or the City of Lucas Code of Ordinances, as amended hereby, which shall remain in full force and effect.

SECTION 5. That this Ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Lucas, and it is accordingly so ordained.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF LUCAS, COLLIN COUNTY, TEXAS, ON THIS 1st DAY OF DECEMBER, 2022.

APPROVED:

Jim Olk, Mayor

APPROVED AS TO FORM:

ATTEST:

Joseph J. Gorfida, Jr., City Attorney
(11-22-2022:TM132517)

Erin Day, City Secretary

EXHIBIT "A"

ORDINANCE NO. 9742

AN ORDINANCE OF THE CITY OF LUCAS, TEXAS, ESTABLISHING THE COMMON EXTRATERRITORIAL JURISDICTION BOUNDARY LINE BETWEEN THE CITY OF LUCAS, TEXAS, AND THE CITY OF PARKER, TEXAS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, it is the desire of the cities of Lucas and Parker to establish their common extraterritorial jurisdiction boundary line in accordance with Article 970a Section 3(B) V.A.T.S., and in order to accomplish this end, the governing bodies of the Cities of Lucas and Parker have met and entered into a contract, a copy of which is attached hereto and marked Exhibit "A", apportioning, by mutual agreement, the areas of overlapping extraterritorial jurisdiction;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LUCAS, TEXAS:

SECTION 1. That the following-described boundary line be and the same is hereby declared to be the official common extraterritorial jurisdiction boundary line between the City of Lucas and the City of Parker in order to accomplish the purposes set forth above, said boundary line being more particularly described as follows, to-wit:

BEGINNING at a point in the Lewis M. Marshall Survey, Abstrac : 594, Collin County, Texas, said point being South 1°16'52" West, 2016.04 feet and East 0°00', 2309 feet from the Northwest corner of said Survey, said beginning point being in Muddy Creek;

THENCE North 41°00' West along the West Bank of Muddy Creek 145.00 feet to a point for a corner;

THENCE North 1°00' West and along a fence on the bank of Muddy Creek 180.25 feet to a point for a corner in the center of Muddy Creek;

THENCE along the meanderings of Turner Branch as follows:

- South 65°40' West, 65 feet;
- North 57°15' West, 60 feet;
- North 29°15' East, 80 feet;
- South 77°30' West, 170 feet;
- South 15°-00' East, 55 feet;
- South 44°15' West, 90 feet;
- South 59°50' West, 292.00 feet to a point for a corner in the center of Turner Branch;

THENCE North $0^{\circ}44'$ East, along a fence line a distance of 1103.00 feet to a point for a corner;

THENCE North $81^{\circ}50'$ West, 269.50 feet to a point for a corner;

THENCE North $88^{\circ}48'$ West 250 feet to a point for a corner;

THENCE South $1^{\circ}12'$ West along a fence, 171.50 feet to a point for a corner;

THENCE South $69^{\circ}14'$ West, 102.17 feet to a point for a corner;

THENCE North $76^{\circ}29'$ West, 500 feet to a point for a corner;

THENCE North $71^{\circ}16'$ East, 214 feet to a point for a corner;

THENCE North $57^{\circ}06'$ East, 232.00 feet to a point for a corner;

THENCE North $47^{\circ}11'$ West, 56 feet to a fence on the West bank of Turner Branch;

THENCE North $10^{\circ}47'$ West, 105.60 feet to a point for a corner;

THENCE North $35^{\circ}16'$ West, 158.40 feet to a point for a corner in the West line of the Lewis M. Marshall Survey, Abstract 594, and being in the center of Turner Branch;

THENCE North $1^{\circ}18'$ East, along the West line of the said Lewis M. Marshall Survey a distance of 379.00 feet to a point for a corner, said point being in the West line of said Lewis M. Marshall Survey, and said corner being in the South right-of-way of Parker Road;

THENCE along the South right-of-way line of Parker Road to its intersection with the common line of the West line of the L. P. Turner Survey, Abstract No. 426, if extended South;

THENCE continuing along the South right-of-way of Parker Road on the following course, North $89^{\circ}44'$ West, 84.60 feet, South $88^{\circ}59'$ West, 1443.30 feet to a point for a corner;

THENCE North 100 feet to a point in the North right-of-way line of Parker Road;

THENCE North $50^{\circ}20'$ West, 45.49 feet, to a point in the East right-of-way line of Lewis Lane said point being the Southwest corner of the Kirkland Estates West, a subdivision of the city of Lucas, Collin Collin County, Texas;

THENCE Northerly along the East right-of-way line of Lewis Lane on the following described course, North $9^{\circ}01'30''$ West, 797.03 feet, North $5^{\circ}21'04''$ East, 570.00 feet, and North

1°48'09" West, 457.00 feet to a point for a corner in the East right-of-way line of Lewis Lane;

THENCE in a Northwesterly direction to the Southeast corner of the George W. Estes Survey, Abstract No. 300;

THENCE continuing along the East boundary line of the George W. Estes Survey to its intersection with the South boundary line of the Ann S. Hurst Survey, Abstract No. 428;

THENCE North from the Northeast corner of the George W. Estes Survey, across the Ann A. Hurst Survey to a point in the South right-of-way line of Bandy Lane, said point being due North of the Northeast corner of said George W. Estes Survey;

THENCE West along the South right-of-way line of Bandy Lane to its intersection with the West line of the Ann S. Hurst Survey, abstract No. 428;

THENCE South along the West boundary line of the Ann S. Hurst Survey, Abstract 428 to a point, said point being South 300 feet from the Northwest corner of the Ann S. Hurst Survey, Abstract 428.

SECTION 2. The fact that the best interest and welfare of the general public will be served by the City of Parker and the City of Lucas establishing a common extraterritorial jurisdiction boundary line, requires that this Ordinance shall take effect immediately from and after its passage, and it is accordingly so ordained.

DULY PASSED by the City Council of the City of Lucas, Texas, on the 4 day of November, 1974.

APPROVED:

Chas. R. Rutledge
MAYOR

DULY ENROLLED:

Gordell Chandler
CITY SECRETARY

APPROVED AS TO FORM:

[Signature]
CITY ATTORNEY

CONTRACT

THE STATE OF TEXAS X
COUNTY OF COLLIN X

KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, the CITY OF PARKER, TEXAS, and the CITY OF LUCUS , TEXAS, are parties to this Contract and

WHEREAS, Article 3, Section 64 of the Constitution of the State of Texas authorizes cities to contract one with another for the performance of governmental functions required or authorized by the Constitution or the Laws of the State of Texas; and

WHEREAS, the parties agree that under this Contract the public welfare of each city will be enhanced by proper planning for orderly growth; and

WHEREAS, the parties further agree that under this Contract, citizens, property owners, and corporate firms presently located or which may in the future be located, within the area between each city will be benefited in planning and developing their property, homes, and businesses; and

WHEREAS, the parties further agree that it is in the interest of the Citizens of this area to reach voluntary agreement concerning the location of future mutual boundaries between the various cities;

NOW, THEREFORE, it is hereby mutually agreed by the duly authorized officials of the CITY OF PARKER, TEXAS, and the CITY OF LUCUS , TEXAS:

- 1. That, in accordance with council ordinance duly passed and adopted by the CITY OF PARKER, TEXAS, at the council meeting of _____, 1974, and in accordance with council ordinance duly passed and adopted by the CITY OF LUCUS , TEXAS, at the council meeting of August 5, 1974, the mayor or city manager and secretary of the respective cities are thereby authorized to execute this agreement on behalf of the Citizens of said cities.

2. That the following described boundary between the CITY OF PARKER, TEXAS, and the CITY OF LUCUS, TEXAS, is voluntarily agreed upon by the duly elected mayor and council of each of said cities, and that the following described boundary be accepted by the citizens of said cities as the common boundary between the said cities.

3. That the following described boundary between the CITY OF PARKER, TEXAS, and the CITY OF LUCUS, TEXAS, shall be recognized with respect to future development of each city, but that the land which is encompassed by the mutual boundary other than the land presently within the said cities, shall not be subject to taxation by either respective city until such time that land is legally annexed to that respective city.

4. That the extra-territorial jurisdiction of each city shall remain in accordance with the terms and conditions of the 1963 Municipal Annexation Act.

5. The boundary line between the CITY OF PARKER, TEXAS, and the CITY OF LUCUS, TEXAS, shall be as follows:

(See Exhibit "A" attached hereto and made a part hereof)

6. IN WITNESS WHEREOF, the parties hereto acting under authority of their respective governing bodies have caused this Contract to be duly executed, in several counterparts, each of which shall constitute an original, on this 5th day of

August, 1974

CITY OF LUCUS

By Chas. R. Rutledge

CITY OF PARKER

ATTEST

By Harold Scott - Mayor

Gardell Chandler
City Secretary

ATTEST:

City Secretary

PARKER - LUCAS
DIVISION LINE

BEGINNING at a point in the Lewis M. Marshall Survey, Abstract 524, Collin County Texas, said point being South $1^{\circ}16'52''$ West, 2016.04 feet and East $0^{\circ}00'$, 2309 feet from the Northwest corner of said Survey, said beginning point being in Muddy Creek;

THENCE North $41^{\circ}00'$ West along the West bank of Muddy Creek 145.00 feet to a point for a corner;

THENCE North $1^{\circ}00'$ West and along a fence on the bank of Muddy Creek 180.25 feet to a point for a corner in the center of Muddy Creek;

THENCE along the meanderings of Turner Branch as follows:

South $65^{\circ}40'$ West, 65 feet;
North $57^{\circ}15'$ West, 60 feet;
North $29^{\circ}15'$ East, 80 feet;
South $77^{\circ}30'$ West, 170 feet;
South $15^{\circ}-00'$ East, 55 feet;
South $44^{\circ}15'$ West, 90 feet;
South $59^{\circ}50'$ West, 292.00 feet to a point for a corner in the center of Turner Branch;

THENCE North $0^{\circ}44'$ East, along a fence line a distance of 1103.00 feet to a point for a corner;

THENCE North $81^{\circ}50'$ West, 269.50 feet to a point for a corner;

THENCE North $88^{\circ}48'$ West, 250 feet to a point for a corner;

THENCE South $1^{\circ}12'$ West along a fence, 171.50 feet to a point for a corner;

THENCE South $69^{\circ}14'$ West, 102.17 feet to a point for a corner;

THENCE North $76^{\circ}29'$ West, 500 feet to a point for a corner;

THENCE North $71^{\circ}16'$ East, 214 feet to a point for a corner;

THENCE North $57^{\circ}06'$ East, 232.00 feet to a point for a corner;

THENCE North $47^{\circ}11'$ West, 56 feet to a fence on the West bank of Turner Branch;

THENCE North $10^{\circ}47'$ West, 105.60 feet to a point for a corner;

THENCE North $35^{\circ}16'$ West, 158.40 feet to a point for a corner in the West line of the Lewis M. Marshall Survey, Abstract 524, and being in the center of Turner Branch;

THENCE North $1^{\circ}18'$ East, along the West line of the said Lewis M. Marshall Survey a distance of 429.00 feet to the Northwest corner of said Lewis M. Marshall Survey, said corner being in the centerline of Parker Road;

THENCE North, 50 feet to a point in the North right-of-way line of Parker Road (F.M. Highway 2514);

THENCE along the North right-of-way line of Parker Road to its intersection with the common line of the West line of the L. P. Turner Survey, Abstract No. 901 and the East line of the Martin Hearn Survey, Abstract No. 426, said point of intersection being located in the South boundary of Kirkland Estates West, a subdivision of the City of Lucas, Collin County, Texas;

THENCE continuing along the North right-of-way of Parker Road on the following course, North $89^{\circ}44'$ West, 84.60 feet, South $88^{\circ}59'$ West, 1443.30 feet, and North $50^{\circ}20'$ West, 45.49 feet, to a point in the East right-of-way line of Lewis Lane said point being the Southwest corner of the above described Kirkland Estates West;

THENCE Northerly along the East right-of-way line of Lewis Lane on the following described course, North $9^{\circ}01'30''$ West, 797.03 feet, North $5^{\circ}21'04''$ East, 570.00 feet, and North $1^{\circ}48'09''$ West, 457.00 feet to a point for a corner in the East right-of-way line of Lewis Lane;

THENCE in a Northwesterly direction to the Southeast corner of the George W. Estes Survey, Abstract No. 300;

THENCE continuing along the East boundary line of the George W. Estes Survey to its intersection with the South boundary line of the Ann S. Hurst Survey, Abstract No. 428;

THENCE North from the Northeast corner of the George W. Estes Survey, across the Ann S. Hurst Survey to a point in the South right-of-way line of Bandy Lane, said point being due North of the Northeast corner of said George W. Estes Survey;

THENCE West along the South right-of-way line of Bandy Lane to its intersection with the West line of the Ann S. Hurst Survey, Abstract No. 428;

THENCE South along the West boundary line of the Ann S. Hurst Survey, Abstract 428 to a point, said point being South 300 feet from the Northwest corner of the Ann S. Hurst Survey, Abstract 428.



City of Lucas

City Council Agenda Request

December 1, 2022

Requester: Development Services Director Joe Hilbourn

Agenda Item Request

Consider approval of an application for a site plan, landscape plan, elevations, and a preliminary plat submitted by Dave Carter, on behalf of the owner NDC Holdings, LP, for Lucas Retail Addition, a retail center on a 1.619-acre tract of land in the William Snider Survey, Abstract Number 821, situated in the City of Lucas, Collin County, Texas, located at 2695 McGarity Lane.

Background Information

Site Plan:

NDC Holdings is proposing 10,450 square feet of retail and restaurant space. A drive-through does require a specific use permit. The specific use permit was approved on June 2, 2022. The site is currently zoned Commercial Business, and the use fits the area.

Impervious cover shown is 63% (a maximum of 65% is permitted). The amount of parking spaces required is 74 (74 are proposed). Site stormwater runoff detention is accounted for and shown, and all drainage is dedicated as a drainage easement for protection. The site does meet the City's lighting requirements and the photometric plan that was submitted. The photometric site plans show a max height of outdoor fixtures of 25', and lights are shielded, full cutoff light fixtures in compliance with the City's lighting ordinance.

Landscape Plan:

Total site area is 70,503 square feet and the building footprint is 10,450 square feet. Total landscape area provided is 17,233 square feet; 15% is required and 24% is proposed. Angel Parkway - street trees required is 10 (10 are provided). Angel Parkway - street shrubs required is 80, 121 are provided. McGarity Lane - street trees required is 12, 12 are provided. McGarity Lane - street shrubs required is 118, 128 are provided. Parking area is 35,241 square feet. Required interior landscape is 1,762 square feet (5%). Provided interior landscape is 2,697 square feet (7%). Parking shade trees required is 8 trees. Parking shade trees provided is 9 trees.

Irrigation is required for all provided landscape elements; the irrigation plan provided is showing compliance.

Architectural Plan:

The proposed building height is 27 feet tall; maximum permitted is 35 feet tall. The proposed building has 100% masonry. The length of the building is 142 feet wide and meets the City's requirements for a change of direction in an elevation every 60 feet.

House Bill 2439 no longer permits cities to restrict building materials that are permitted by a model code. The building materials proposed comply with the requirements in the 2015 International Building Code.



City of Lucas

City Council Agenda Request

December 1, 2022

Preliminary plat:

The lot is 1.619 acres of land. The preliminary plat and civil engineering plans (approved by the engineering department on October 26, 2022) provides easements for drainage including detention, utility easements, and easements for fire lanes. The plat meets the City's requirements for a preliminary plat.

Attachments/Supporting Documentation

1. Site Plan
2. Elevations
3. Photometric Plan
4. Preliminary Plat
5. Landscape Plan
6. Application
7. Checklist
8. Location Map

Budget/Financial Impact

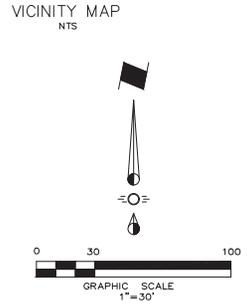
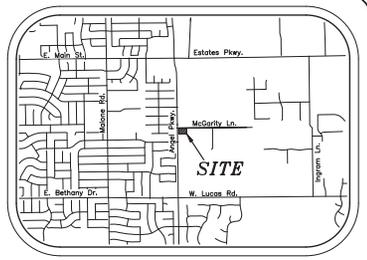
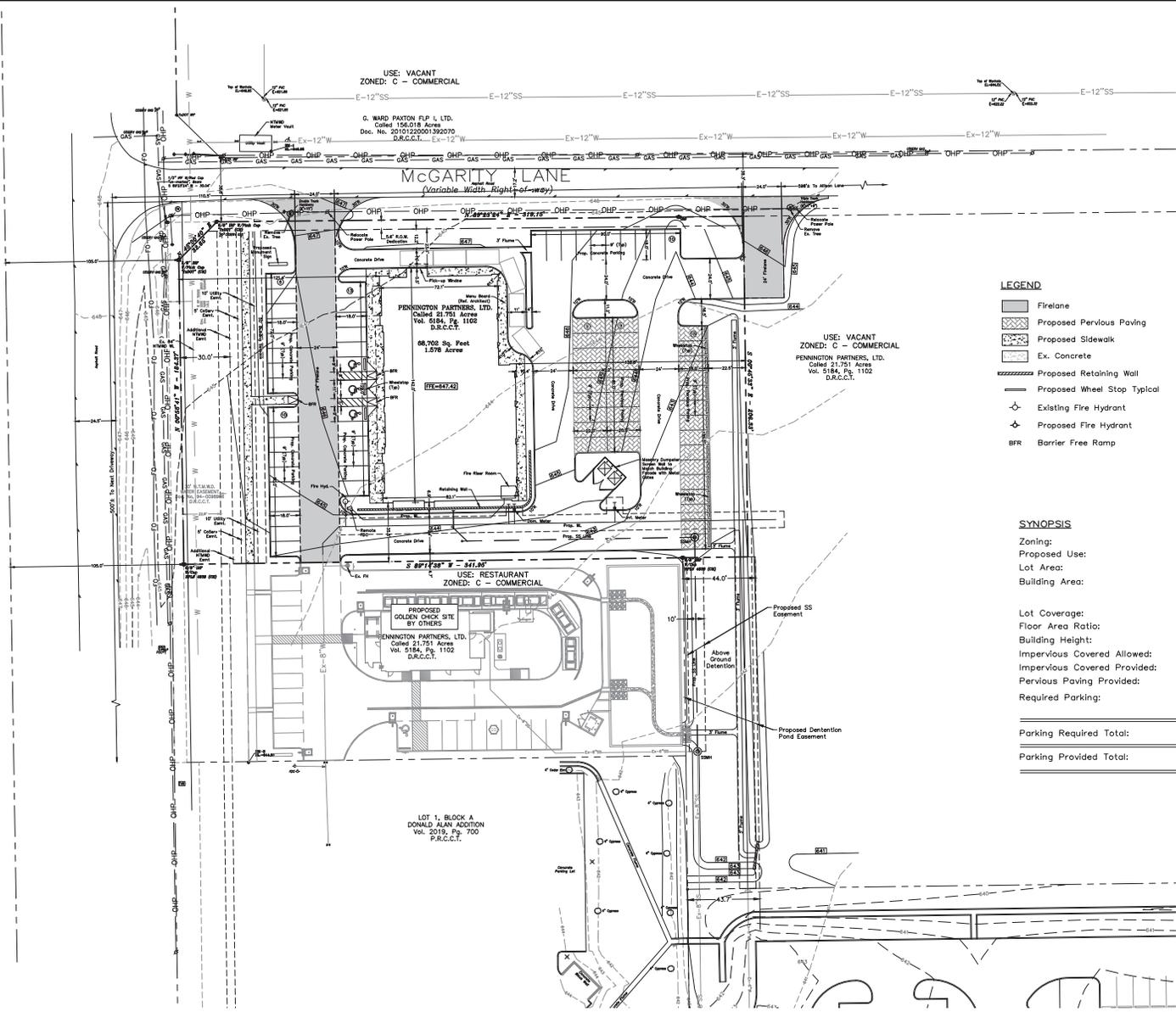
NA

Recommendation

Staff recommends approving the site plan, landscape plan, architectural plan, and the preliminary plat.

Motion

I make a motion to approve/deny the site plan, landscape plan, elevations and the preliminary plat submitted by Dave Carter, on behalf of the owner NDC Holdings, LP, for Lucas Retail Addition, a retail center on a 1.619-acre tract of land in the William Snider Survey, Abstract Number 821, situated in the City of Lucas, Collin County, Texas, located at 2695 McGarity Lane.



- LEGEND**
- Firelane
 - Proposed Pervious Paving
 - Proposed Sidewalk
 - Ex. Concrete
 - Proposed Retaining Wall
 - Proposed Wheel Stop Typical
 - Existing Fire Hydrant
 - Proposed Fire Hydrant
 - Barrier Free Ramp

SYNOPSIS

<p>Zoning: C - Commercial</p> <p>Proposed Use: Retail / Restaurant</p> <p>Lot Area: 1,578 Acres (68,702 sf) - Post ROW Dedication</p> <p>Building Area: Retail 6,270 sf, Restaurant 4,180 sf, Total 10,450 sf</p> <p>Lot Coverage: 15.2% (Total Bldg Area 10,450 sf)</p> <p>Floor Area Ratio: 0.15 : 1</p> <p>Building Height: 27' (35' Max.)</p> <p>Impervious Covered Allowed: 44,656 sf (65%)</p> <p>Impervious Covered Provided: 43,511 sf (63%)</p> <p>Pervious Paving Provided: 5,681 sf</p> <p>Required Parking: Retail 1:200 (6,270/200) = 32 Spcs., Restaurant 1:100 (4,180/100) = 42 Spcs.</p> <p>Parking Required Total: 74 Parking Spaces</p> <p>Parking Provided Total: 74 Parking Spaces (3 HC)</p>	<p>C - Commercial</p> <p>Retail / Restaurant</p> <p>1,578 Acres (68,702 sf) - Post ROW Dedication</p> <p>Retail 6,270 sf</p> <p>Restaurant 4,180 sf</p> <p>Total 10,450 sf</p> <p>15.2% (Total Bldg Area 10,450 sf)</p> <p>0.15 : 1</p> <p>27' (35' Max.)</p> <p>44,656 sf (65%)</p> <p>43,511 sf (63%)</p> <p>5,681 sf</p> <p>Retail 1:200 (6,270/200) = 32 Spcs.</p> <p>Restaurant 1:100 (4,180/100) = 42 Spcs.</p> <p>74 Parking Spaces</p> <p>74 Parking Spaces (3 HC)</p>
---	--

FLOOD ZONE NOTE:
FIRM Flood Insurance Rate Map No. 48085C0405J (effective date June 2, 2009) published by the Federal Emergency Management Administration for Collin County, Texas the subject parcel lies within "ZONE X" (Un-Shaded) and is outside of the 0.2% annual chance floodplain.

CITY BENCHMARK:

MON #7 = Standard City of Allen monument being a 3 1/2 inch aluminum disk in top of headwall, located 106 feet +/- south of the intersection of Countrybrook Lane and Angel Parkway on the east side of Angel Parkway.
Elev. = 637.04

SITE BENCHMARK:

BM-1 = "X" in southwest corner of a utility vault on the north side McGarity Lane and approximately 95' east of the F.M. Road 5551 (Angel Parkway) eastern edge.
Elev. = 646.65

BM-2 = "X" in concrete sidewalk approximately 120'± south and 37'± east of the southwest corner of the subject property.
Elev. = 644.32

Issue Dates:	Revision & Dates:
1 09/06/22	1
2 10/11/22	2
3 10/18/22	3
4	4
5	5
6	6

CROSS ENGINEERING CONSULTANTS
1731 W. Virginia Street
972.562.4499
McKinney, Texas 75069
Texas PE, Firm No. F-5938

Drawn By: C.E.G.L. Checked By: C.E.G.L. Scale: 1"=30'

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF JONATHAN D. HAKE, P.E. NO. 94735 ON 10/16/22. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

SITE PLAN
LUCAS RETAIL
1.619 ACRE TRACT
WILLIAM SNIDER SURVEY, ABSTR. NO. 821
CITY OF LUCAS, TEXAS

Sheet No.	SP
Project No.	21125

OWNER:
NDC Holdings
8235 Douglas Avenue, Suite 720
Dallas, Texas 75225
Phone (214) 361-1655
Contact: Dave Carter

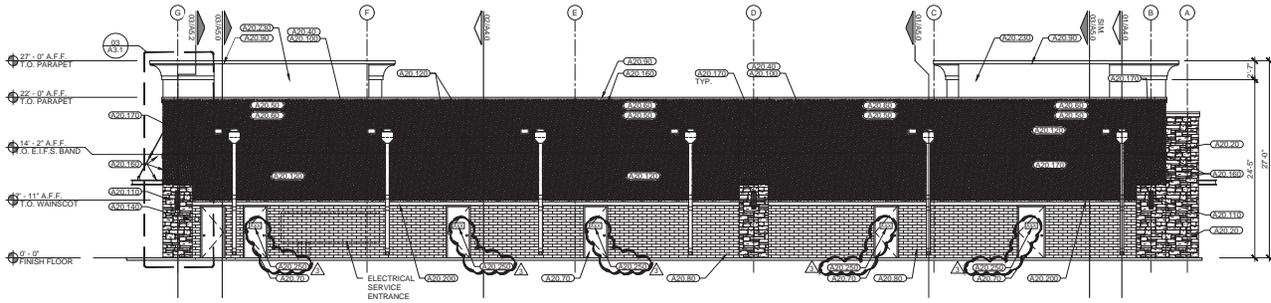
ENGINEER:
Cross Engineering Consultants, Inc.
1720 W. Virginia St.
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jonathan Hake, P.E.

ARCHITECT:
Bret Flory
1913 Gardengrove Court
Plano, Texas 75075
Phone (972) 467-9749
Contact: Bret Flory

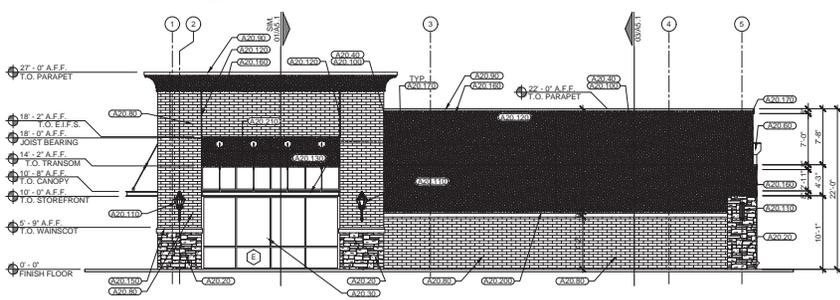
SURVEYOR:
Ringley & Associates
701 S. Tennessee St.
McKinney, TX 75069
Phone (972) 542-1266
Fax (972) 542-8682
Contact: Lawrence Ringley

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

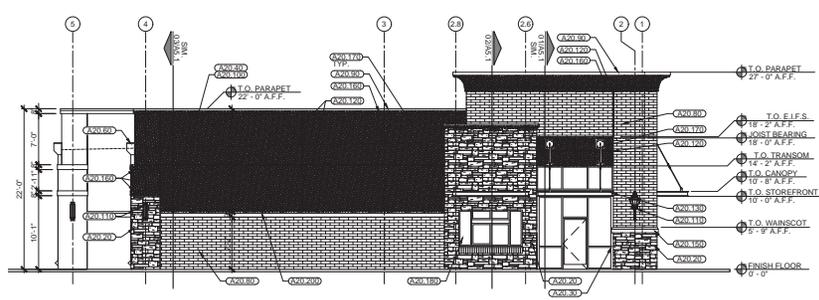
LUCAS RETAIL



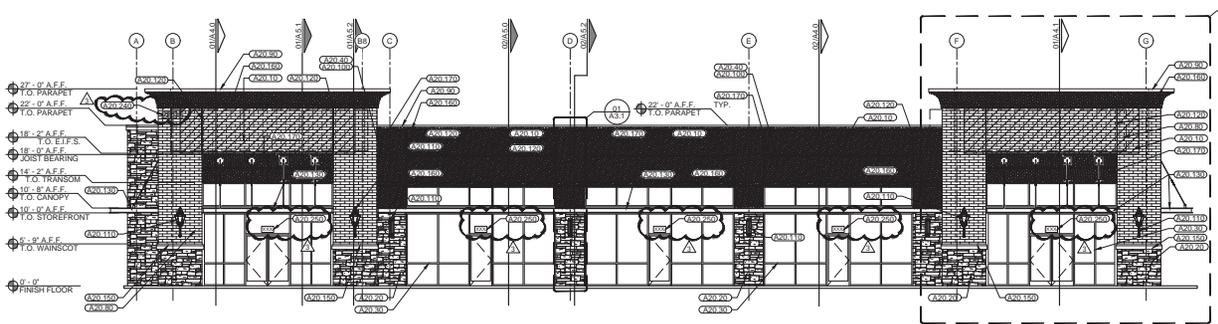
03 ELEVATION - EAST
SCALE: 1/8" = 1'-0"



02 ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



04 ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



01 ELEVATION - WEST
SCALE: 1/8" = 1'-0"

- KEY NOTES:**
- 030100 SIGNAGE (BY OTHERS) PROVIDE J-BOX AND CONDUIT
 - 030200 FULL THICKNESS NATURAL STONE VENEER [S11]
 - 030300 STOREFRONT SYSTEM [ALT]
 - 030400 ROOF LINE BEYOND
 - 030500 12" X 8" THROUGH WALL OVERFLOW SCUPPER [P22]
 - 030600 PRE-FINISHED 6" W X 4" D (SQUARE) METAL DOWNSPOUT WITH CONDUCTOR HEAD [P22]
 - 030700 HOLLOW METAL DOOR AND FRAME [P15]
 - 030800 KING SIZE BRICK VENEER [B11]
 - 030900 PRE-FINISHED METAL COPING [P22]
 - 031000 TPO ROOF [TPO]
 - 031100 WALL MOUNTED LIGHT FIXTURE - MOUNT 80" A.F.F. FROM BOTTOM OF FIXTURE (REF. MEP)
 - 031200 CONTROL JOINT
 - 031300 HORIZONTAL METAL AWNING [P12]
 - 031400 KNOX BOX
 - 031500 CAST STONE WATERTABLE [CS1]
 - 031600 EIFS CORNICE BAND, 1-1/2" CLADDING [E11]
 - 031700 1/2" EIFS CLADDING [E12]
 - 031800 DRIVE-THRU WINDOW W/ AIR-CURTAIN
 - 031900 (NOT USED)
 - 032000 EIFS WATERTABLE [E15]
 - 032100 ELECTRICAL SERVICE AREA
 - 032200 BACK OF PARAPET (TPO)
 - 032300 12" TALL BUILDING ADDRESS NUMBERS
 - 032400 6" TALL SUITE NUMBERS

- GENERAL NOTES:**
1. DOWNSPOUTS ARE INDICATED FOR SIZE, QUANTITY, AND LOCATION THIS IS ONLY AN APPROXIMATE.
 2. HOLLOW METAL STEEL DOORS, FRAMES, EXPOSED METAL FLASHING AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDINGS COLOR UNLESS NOTED OTHERWISE.
 3. CONTRACTOR TO PROVIDE FIRE RETARDANT PLYWOOD BACKING FOR SIGNAGE AS SHOWN. PLYWOOD BACKING TO EXTEND TO WALL EXTENTS (AS SHOWN).
 4. REFERENCE CS.02 FOR FINISH SCHEDULE.
 5. PRIME AND PAINT ALL EXPOSED STEEL (REFER TO FINISH SCHEDULE)



ARCHITECT:
CROSS ARCHITECTS, PLLC
1285 W. 15TH ST.
SUITE 125
PLANO, TEXAS 75075
P: 972.398.6646
WWW.CROSSARCHITECTS.COM

**LUCAS RETAIL
SHOPPING CENTER
LUCAS, TX.**

DATE: 05/11/22

PROJECT NUMBER:
21140

ISSUE LOG

NO. DATE
16/07/22 /CITY COMMENTS

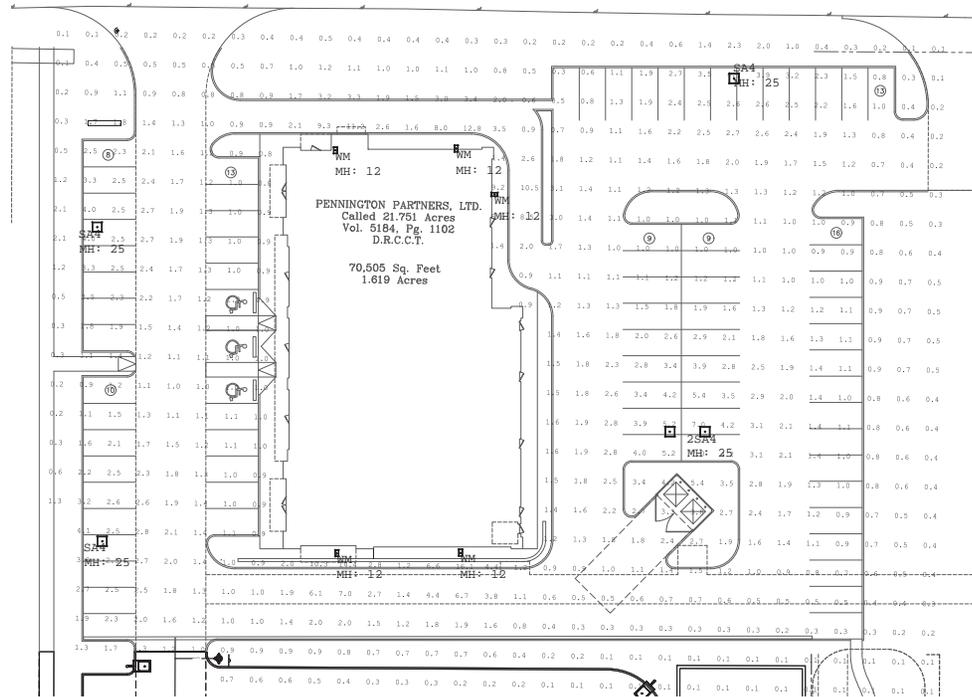
DRAWINGS ISSUED FOR:
PERMIT SET

SHEET NUMBER

A3.0

EXTERIOR
ELEVATIONS

COPYRIGHT © 2022



1 SITE PLAN - PHOTOMETRICS
SCALE 1" = 20'-0"

Luminaire Schedule						
Symbol	Qty	Label	LF	Description	lum Watts	lumens/Lamp
SA4	3	SA4	0.900	M-E - GALN-SA4A-740-0-T4PT	321	N.A.
SA4	1	2SA4	0.900	M-E - GALN-SA4A-740-0-T4PT	321	N.A.
MH	5	MH	0.900	Luminaire - ATCR68	38	N.A.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
Site	illumiance	Fc	1.87	16.1	0.4	15.70

- NOTES
- Calc at grade level
 - Mounting
Type SA - 25' AFO
Type MH - 12' AFO

CONTRACTOR SHALL COORDINATE
MEP DRAWINGS WITH ALL OTHER
DISCIPLINES



Texas Registered Engineering Firm F-9218
5020 Tompson Parkway - Plano, TX 75024
Dallas / Fort Worth 214.432.3030
Houston 832.532.2007



ARCHITECT:
CROSS ARCHITECTS, PLLC
879 JUNCTION DRIVE
ALLEN, TEXAS 75013
P: 972.398.6644
WWW.CROSSARCHITECTS.COM

**LUCAS RETAIL
SHOPPING CENTER
LUCAS, TX.**

DATE: 05/11/22

PROJECT NUMBER:
21140

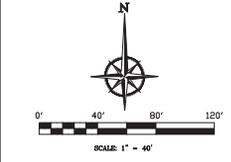
ISSUE LOG

NO.	DATE
1	08/12/22
2	08/31/22
3	10/07/22

DRAWINGS ISSUED FOR:
PERMIT SET
SHEET NUMBER

E1.1PH

PHOTOMETRIC -
SITE PLAN
COPYRIGHT © 2022



AREA NOTE:
The area (acres) shown hereon is based on the mathematical closure of the courses and distances reflected on this Survey. It does not include the tolerances that may be present due to positional accuracy of the boundary monuments in place.

REFERENCE BEARING NOTE:
The bearings shown hereon are geodetic and were derived from GPS observations and measurements from City of Allen Control Monument No. 7 and referenced to the Texas State Plane Coordinate System, NAD 83, North Central Zone (4202).

FLOOD ZONE NOTE:
This Surveyor has reviewed Flood Insurance Rate Map No. 48060C0403 (effective date June 2, 2009) published by the Federal Emergency Management Administration for Collin County, Texas and based upon said scaled map and graphic plotting, such review revealed that the subject parcel lies within "ZONE X" (Un-Shaded) and is outside of the 0.5% annual chance floodplain.

MONUMENT NOTE:
All lot corner monuments set by this Surveyor are 1/2 inch diameter rebar, 18 inches long, topped with a red plastic cap, stamped "RPLS 4701" or if in concrete pavement a ring nail with a steel washer, stamped "RPLS 4701", unless otherwise noted.

SUBDIVISION NOTE:
All proposed lots situated in whole or in part within the city's corporate limits comply with the minimum size requirements of the governing zoning district and the requirements of the subdivision ordinance.

Selling a portion of this addition by metes and bounds is a violation of City Subdivision Ordinance and State of Texas statutes and is subject to fines and withholding of utilities and building permits.

PURPOSE STATEMENT:
The purpose of this plat is to abandon an easement and dedicate easements for the development of the subject property.

LEGEND

- WATER VALVE
- WATER METER
- FIRE HYDRANT
- POWER POLE
- GUY ANCHOR
- TELEPHONE RISER
- FIBER OPTIC CABLE BOX
- CABLE TELEVISION RISER
- UTILITY MARKER (Labeled)
- UTILITY MARKER (Labeled)
- SANITARY SEWER MANHOLE

BOUNDARY LINE

ADJACENT BOUNDARY LINE

OVERHEAD POWER LINE

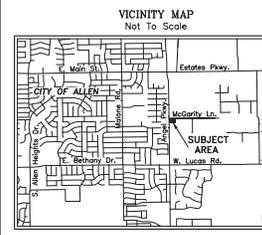
BURIED COUNTRY GAS LINE

BURIED FIBER OPTIC LINE

BURIED WATER LINE

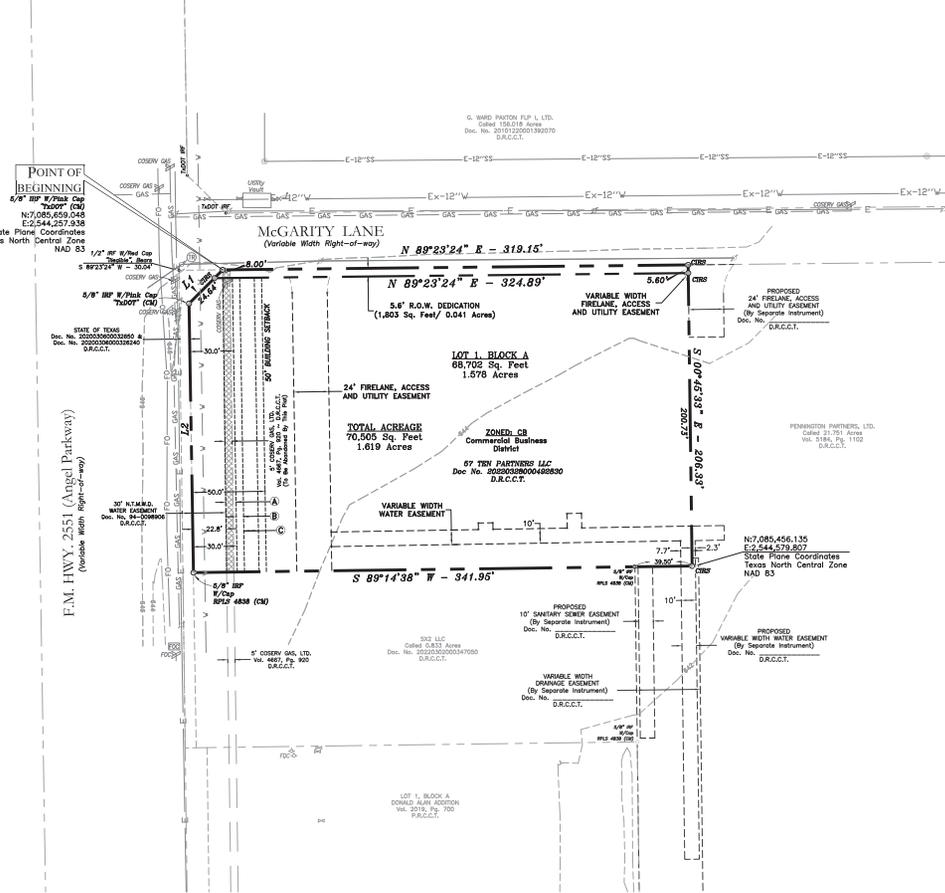
BURIED 12" WATER LINE

SANITARY SEWER LINE (Size Labeled)



ABBREVIATIONS

Vol. = Volume
Pg. = Page
Doc. No. = Document Number
D.R.C.C.T. = Deed Records, Collin County, Texas
P.R.C.C.T. = Plat Records, Collin County, Texas
IRF = Iron Rod Found
IRS = 1/2" Iron Rod Set with red plastic cap, stamped "RPLS 4701"
TDOT = Texas Department of Transportation
CM = Controlling Monument



SURVEYORS' CERTIFICATE

That I, Lawrence H. Ringley, do hereby certify, that I prepared this plat from an actual on the ground survey of the land as described and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the City of Lucas Planning and Zoning Commission.

DATED this _____ day of _____, 2022.

RELEASED 10/6/22 FOR REVIEW PURPOSES ONLY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

Lawrence H. Ringley, R.P.L.S.
State of Texas, No. 4701

OWNER'S CERTIFICATE

STATE OF TEXAS ()
COUNTY OF COLLIN ()

WHEREAS, 57 TEN PARTNERS, LLC is the owner of that certain tract of land situated in the City of Lucas, in the William Snider Survey, Abstract No. 821 of Collin County, Texas and being a part of that certain called 21.761 acre tract of land described in a deed to Fumington Partners, Ltd., recorded in Volume 5184, Page 1102, Deed Records, Collin County, Texas (D.R.C.C.T.) and being more particularly described by metes & bounds as follows:

BEGINNING at a 5/8 inch iron rod, topped with a pink plastic cap, stamped "TDOT", found for the northeastern corner of that certain called 0.6666 acre strip of land, described as Parcel 59 in a deed to the State of Texas, dated March 5, 2020 and recorded in Document No. 2020030000382840, D.R.C.C.T. and from said beginning point, a found 1/2 inch iron rod, topped with a red plastic cap (Haghighi stamp), at the intersection of the original east-right-of-way line of F.M. Highway 2551 (Angel Parkway - variable width right-of-way) and the south right-of-way line of McGarity Lane (variable width right-of-way) for the northwest corner of said Parcel 59 and the above described 21.761 acre tract, bears South 89 deg. 23 min. 24 sec. West - 30.04 feet;

THENCE North 89 deg. 23 min. 24 sec. East, along the common line of said 21.761 acre tract and said McGarity Lane, a distance of 319.15 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4701", set for the northeast corner of this tract;

THENCE South 00 deg. 44 min. 33 sec. East, departing from said McGarity Lane, over & across said 21.761 acre tract, a distance of 206.33 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4701", set for the southeast corner of this tract;

THENCE South 89 deg. 14 min. 38 sec. West, continuing across said 21.761 acre tract, at a distance of 39.50 feet, passing a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4638", found on and continuing across said 21.761 acre tract for a total distance of 341.95 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4638", found on the east line of the above described TDOT Parcel 59 and same being the more current east right-of-way line of said F.M. Highway 2551 (Angel Parkway);

THENCE North 00 deg. 56 min. 41 sec. West, along the east line of said F.M. Highway 2551 and said Parcel 59, a distance of 154.37 feet to a 5/8 inch iron rod, topped with a pink plastic cap, stamped "TDOT", found for an angle corner;

THENCE North 45 deg. 00 min. 40 sec. East, continuing along the east line of said F.M. 2551 and said Parcel 59, a distance of 32.85 feet to the POINT OF BEGINNING and containing 70,505 square feet or 1.619 acre of land.

OWNER'S DEDICATION

STATE OF TEXAS ()
COUNTY OF COLLIN ()

That 57 TEN PARTNERS, LLC, Owners, do hereby bind themselves and their heirs, assigns and successors of title this plat designating the hereinabove described property as LUCAS RETAIL, in addition to the City of Lucas, and do hereby dedicate to the public use forever the streets, alleys, and right-of-way easements shown thereon, and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of parties collecting agents and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growth that in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips, and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, without the necessity at any time of procuring the permission of anyone. Additionally, I certify that I am the sole owner of the dedicated property and that no other's interest are attached to this property unless otherwise indicated on the required Mortgage Holder Certification that is included on this plat. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Lucas, Texas.

Witness our hands at LUCAS, Texas, this _____ day of _____, 2022.

Dave Carter - President
57 Ten Partners LLC

STATE OF TEXAS ()
COUNTY OF COLLIN ()

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared DAVE CARTER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2022.

Notary Public, State of Texas

This plat is hereby approved by the Planning and Zoning Commission of the City of Lucas, Texas

Chairman, Planning and Zoning Commission _____ Date _____

ATTEST:

Signature _____ Date _____

Name & Title _____

The Director of Public Works of the City of Lucas, Texas hereby certifies that to the best of his/her knowledge or belief, this subdivision plat conforms to all requirements of the Code of Ordinances and with engineering construction standards and processes adopted by the City of Lucas, Texas as to which his/her approval is required.

Scott Holden, _____ Date _____
Director of Public Works

The Development Services Director of the City of Lucas, Texas hereby certifies that to the best of his/her knowledge or belief, this subdivision plat conforms to all requirements of the Code of Ordinances, or as may be amended or modified, as allowed, by the Planning and Zoning Commission as to which his/her approval is required.

Joseph Hilburn, _____ Date _____
Development Services Director

**LUCAS RETAIL
PRELIMINARY PLAT
LOT 1, BLOCK A
1.619 Acre Tract**
Zoned: CB (Commercial Business)
situated in the
William Snider Survey, Abstract No. 821
City of Lucas, Collin County, Texas

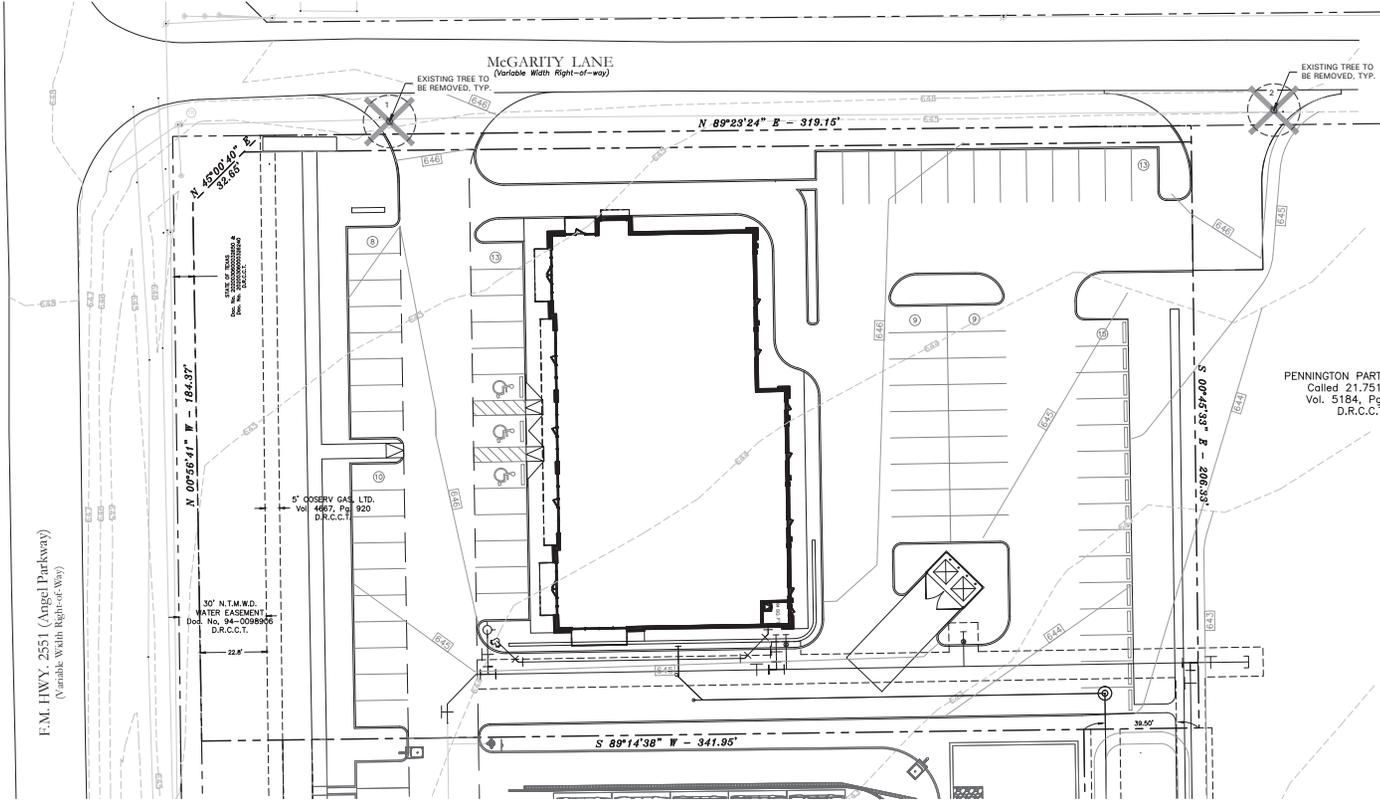
"PRELIMINARY PLAT FOR REVIEW PURPOSES ONLY"

OWNER
57 TEN PARTNERS, LLC
Contact: Dave Carter, President
4516 Lovers Lane, Suite #224
Dallas, Texas 75225
(214)-244-1777

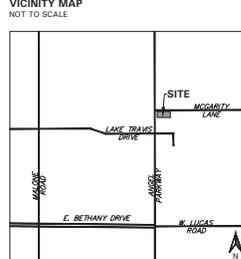
SURVEYOR
RINGLEY & ASSOCIATES, INC.
701 S. Tennessee Street
McKinney, Texas 75069
LHR@ringley.com
972-542-1266

RINGLEY & ASSOCIATES, INC.
SURVEYING, MAPPING & PLANNING
701 S. Tennessee Street, McKinney, Texas 75069
(972) 542-1266

Drawn by	Date	Scale	Job	Title	Sheet
Hand Hand	07/07/2022	1" = 40'	2021-071	2021-071-PP-DWG	1 of 1



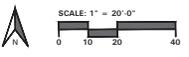
TREE SURVEY FIELD DATA				
No.	Dia. (Inches)	Species (Common Name)	Status	Remarks
1	18.5	HACKBERRY	TO BE REMOVED	NOT PROTECTED/OFF SITE
2	15.5	HACKBERRY	TO BE REMOVED	NOT PROTECTED/OFF SITE
Total Caliper Inches on Site				35
Total Caliper Inches Removed				35
Total Mitigation Inches Required				0
Total Mitigation Inches Provided				0



4345 North Central Expressway
Suite 3081
Dallas, Texas 75205
214.895.7192

OWNER:
NDC HOLDINGS
214.361.1555
DAVE@NDC HOLDINGS.COM
8235 DOUGLAS AVENUE, SUITE 720
DALLAS, TEXAS 75225

LUCAS RETAIL ADDITION
LOT 1, BLOCK A



Issue Dates:	Revision & Date:
1 07.14.22	1 08.11.22
2	2 10.05.22
3	3
4	4
5	5
6	6

CROSS ENGINEERING CONSULTANTS
1731 W. Virginia Street
972.562.4499
McKinney, Texas 75069
Texas P.E. Firm No. F-3015

Drawn By: TJM
Checked By: KAH
Scale: 1" = 20' - 0"



TREE PRESERVATION PLAN
LUCAS RETAIL
1.619 ACRE TRACT
WILLIAM SNIDER SURVEY, ABSTR. NO. 821
CITY OF LUCAS, TEXAS

Sheet No.
L1.01
Project No.
21125

LUCAS RETAIL

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work includes: furnish all equipment, labor, materials, services, equipment and appliances required to complete the work covered by these specifications and landscaping operations in these specifications and landscaping plans, including:
 - 1. Planting trees, shrubs and grasses
 - 2. Bed preparation and fertilization
 - 3. Notification of sources
 - 4. Water and maintenance until final acceptance
 - 5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock, published by American Association of Nurserymen, April 14, 2014 Edition; by American National Standards Institute, Inc. (ANSI) - plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Horita Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation, General Contractor shall leave planting bed areas three (3) inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive seed and soil shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 - 1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 - 2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, clearing up and all other work necessary for maintenance.
 - 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to final acceptance.
- B. Guarantee:

1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance.

The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died or are dead, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.

a. Plants called for replacement shall be of the same size and kind as those originally planted and shall be planted in an approved container. All work, including equipment, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including nuts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.

b. At the direction of the Owner, plants shall be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.

c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.

3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.

4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

C. Repairs: Any necessary repairs under the Guarantee must be made within 10 days after receiving written notice from the Owner. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.

B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

C. Selection of Plant Material:

- 1. Make contract with suppliers immediately upon obtaining notice of contract acceptance to select and bulk materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and/or exceed project specifications.
- 2. Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with a proposal for use of equivalent material. If such substitutions are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.

3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required in document material selection, source and delivery schedules to site.

4. Measurements: Measure trees with branches and trunk or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.

6. Owner's Authorized Representative retains the right to reject any plant material upon arrival to the site and during installation for size and condition of root balls and latent defects.

7. Owner's Authorized Representative may reject unsatisfactory plant material with acceptable material at its additional cost to the Owner. Plants damaged in transit or at job site shall be replaced at the Owner's expense.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

- 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
- 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

B. Delivery:

- 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
- 2. Deliver only plant materials that can be planted in one week unless adequate storage and watering facilities are available on the site.

3. Protect root balls with heating in wet/sawdust or other approved moisture retaining material not provided within 24 hours. Cover all materials during transport.

4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.

5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance of job site.

6. Remove rejected plant material immediately from job site.

7. To avoid damage or stress, do not lift, move, adjust to plants, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of roots to normal tops of plants. Plant spread refers to normal spread of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.

B. Quantities: The drawings and specifications are complementary. Anything called for on one drawing shall be called for on both. The plant schedule is an aid to bidding only. Confirm all quantities on site.

C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetric, well-shaped, full and free of insect infestations, diseases, injuries to the bark or roots, broken branches, insects, diseases, injuries to the bark or leaves, and are to be of specimen quality.

D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undamaged condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as specified on additional callouts to the Owner.

specified on additional callout to the Owner.

E. Trees shall be healthy, full branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, not slightly bumpy and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be an (10") inches in diameter for each (1") inch of ball diameter.

F. Plants shall be healthy, full branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, not slightly bumpy and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be an (10") inches in diameter for each (1") inch of ball diameter.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dolagragras or Negrass shall be rejected.

2. Physical properties as follows:

- a. Clay - between 7-27 percent
- b. Silt - between 15-25 percent
- c. Sand - less than 52 percent

3. Organic matter shall be 3%-10% of total dry weight.

4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.

C. Premixed Bedding Soil as supplied by Vital Earth Resources, Midland, Texas. Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acclio Geo Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.

E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Resources or approved equal.

F. Organic Fertilizer: Fertilizer of Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be at least 50% slow release granular Nitrogen (SCU or LF) with a minimum 8% sulfur and 4% iron, plus micronutrients.

H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 10' long with 6" stake holes and 52 centimeter spacing as manufactured by The J.D. Russell Company and under its trade name EDGEMORE Heavy Duty Steel.

B. Staking Material for Shade Trees: refer to details.

C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.

D. Filter Fabric: "Miraf Miracast" by Miraf Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.

E. River Rock: "Colorado" or native river rock, 2" - 4" dia.

F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

B. All planting areas shall be conditioned as follows:

1. Prepare new planting beds by scraping away existing grass weeds as necessary. Till existing soil to a depth of 18" inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's directions. Apply 6" inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sulfate or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.

2. All planting areas shall receive a two (2") inch layer of specified mulch.

3. Backfill for tree pits shall be as follows: Use existing top soil on site; use imported topsoil as needed; free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered thoroughly.

C. Grass Areas:

1. Blocks of sod should be laid joint to joint (staggered joint) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently open, then watered thoroughly.

3.2 INSTALLATION

A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all deadweeds, Texas, Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acclio Geo Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.

C. Position the trees and shrubs in their intended location as per plan.

D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.

E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be long enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth as to permit planting and setting. The crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (3/4") inch in diameter. Plants should be thoroughly moist before removing containers.

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or graded.

H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the trees to move to another location to have drainage tested. Install a PVC stand pipe

tree planting detail as approved by the Landscape Architect of the location test first.

I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug to solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/2 of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root balled, if so follow standard nursery practice of "root scoring".

J. Do not wrap trees.

K. Mark the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least one (1") inch of specified mulch.

M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.

N. Obstruction below ground: In the event that rock or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3") feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.

P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following First Pruning, Class I pruning standards provided by the National Arborist Association.

1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.

2. Pruning shall be done with clean, sharp tools.

3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

G. Steel Curbing Installation:

1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owner's approval prior to installation.

2. All steel curbing shall be free of knots and abrupt bends.

3. Top of curbing shall be 2" maximum height above final finished grade.

4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.

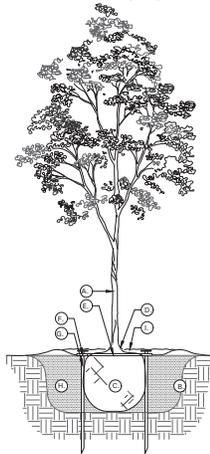
5. Do not install steel edging along sidewalks or curbs.

6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

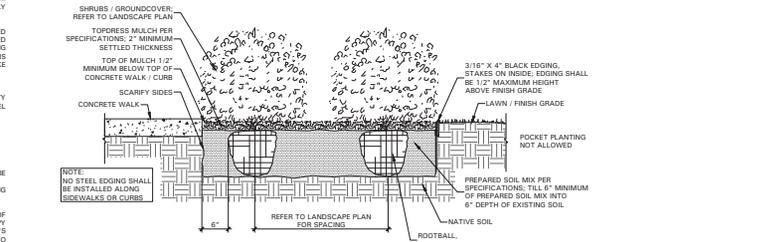
A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION



TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK, www-ansi.org
- B. TREE FIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLES IS REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL: REMOVE TOP 1/2 BURLAP AND ANY OTHER FOREIGN OBJECT CONTAINER GROWN STOCK TO BE INSPECTED FOR GROWING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GROWING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S SPECIFICATIONS FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL. TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER ON MALLET FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL. DO NOT DISTURB ROOTBALL.
- H. BACKFILL: USE EXISTING NATIVE SOIL. DO NOT AMENDMENTS WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- I. MULCH: DOUBLE SHREDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS WITH 2" HT. WATERING RING. ENSURE THAT ROOT FLARE IS EXPOSED. CONFIRM ALL QUANTITIES ON SITE. SHOULD NOT BE VISIBLE.
- J. TREE STAKES: TREE STAKE SOLUTIONS SAFETY STAKE: BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuffy (803) 676-6143 jtt@treesolutions.com www.treesolutions.com
- K. OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY. ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.
- L. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL OBTAIN TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



02 SHRUB / GROUNDCOVER DETAIL NOT TO SCALE



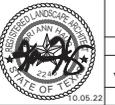
- 4348 North Central Expwy
- Suite 501
- Dallas, Texas 75205
- 214.895.7192

OWNER:
NDC HOLDINGS
214-261-1555
DAVE@NDC HOLDINGS.COM
8235 DOUGLAS AVENUE, SUITE 720
DALLAS, TEXAS 75225

LUCAS RETAIL ADDITION
LOT 1, BLOCK A

Issue Dates:	Revision & Date:
1 07.14.22	1 08.11.22
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CROSS ENGINEERING CONSULTANTS
1701 W. Virginia Street
972.562.4499
McKinney, Texas 75069
Texas P.E. Firm No. F-3015
Drawn By: TJM Checked By: KAH Scale:



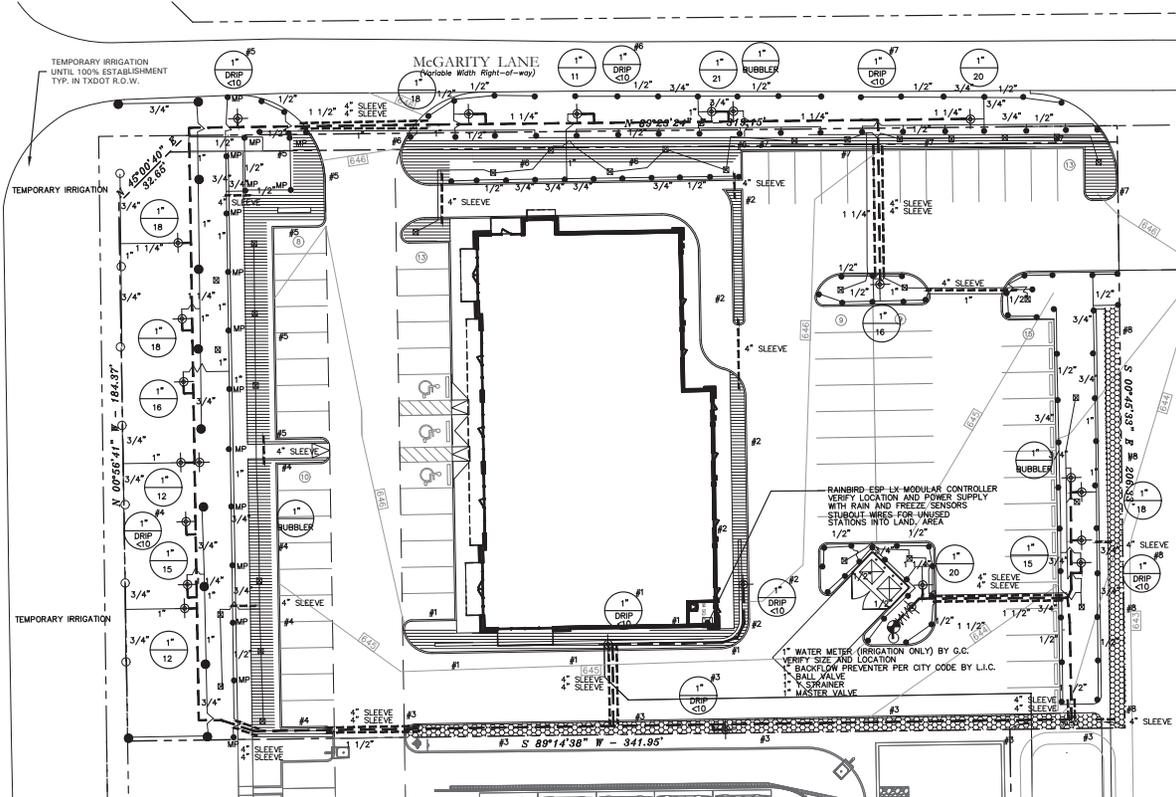
LANDSCAPE SPECIFICATIONS AND DETAILS
LUCAS RETAIL
1.619 ACRE TRACT
WILLIAM SNIDER SURVEY, ABSTR. NO. 821
CITY OF LUCAS, TEXAS

Sheet No. I.2.02
Project No. 21125

01 TREE PLANTING DETAIL NOT TO SCALE

LUCAS RETAIL

F.M. HWY. 2551 (Angel Parkway)
(Variable Width Right-of-Way)



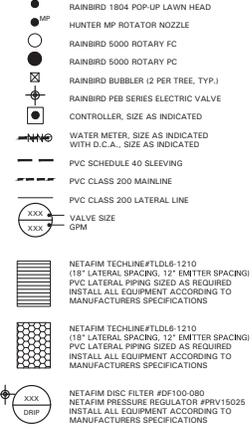
SLEEVING NOTES

1. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
2. SLEEVE MATERIAL SHALL BE SCHEDULE 40 PIPE, SIZE AS INDICATED ON PLAN.
3. CONTRACTOR SHALL LAY SLEEVES AND CONDUITS AT TWENTY FOUR (24) INCHES BELOW FINISH GRADE OF THE TOP OF PAVEMENT.
4. CONTRACTOR SHALL EXTEND SLEEVES ONE (1) FOOT BEYOND EDGE OF ALL PAVEMENT.
5. CONTRACTOR SHALL CAP PIPE ENDS USING PVC CAPS.
6. CONTRACTOR SHALL FURNISH OWNER AND IRRIGATION CONTRACTOR WITH AN "AS-BUILT" DRAWING SHOWING ALL SLEEVE LOCATIONS.

IRRIGATION NOTES

1. THE IRRIGATION CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR SO THAT ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
2. ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE RAINBIRD EQUIPMENT CATALOG UNLESS OTHERWISE INDICATED.
3. TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. IF STATIC PRESSURE IS LESS THAN 65 P.S.I., NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. DO NOT WORK UNTIL NOTIFIED TO DO SO BY OWNER.
4. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SLEEVE MATERIAL SHALL BE SCHEDULE 40, SIZE AS INDICATED ON PLAN. REFER TO SLEEVING NOTES.
5. ALL MAIN LINE AND LATERAL LINE PIPING IN PLANTING AND LAWN AREAS SHALL HAVE A MINIMUM OF 12 INCHES OF COVER. ALL PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. CONTRACTOR TO VERIFY LOCAL FREEZE DEPTHS AND ADJUST DEPTH OF COVER ACCORDINGLY.
6. LAWN SPRAY HEADS SHALL BE RAINBIRD 1804 INSTALLED PER DETAIL SHOWN.
7. ROTOR HEADS SHALL BE RAINBIRD 5000 INSTALLED PER DETAIL SHOWN. (WITH BUILT-IN CHECK VALVE)
8. NOZZLES SHALL BE RAINBIRD PLASTIC, UNLESS OTHERWISE NOTED. IRRIGATION CONTRACTOR SHALL SELECT THE PROPER SIZE AND RADII FOR EACH NOZZLE TO ENSURE 100% AND PROPER COVERAGE OF ALL LAWN AREAS AND PLANT MATERIAL. NO WATER SHALL SPRAY ON BUILDING.
9. ALL NOZZLES IN PARKING LOT ISLANDS AND PLANTING BEDS SHALL BE LOW ANGLE NOZZLES TO MINIMIZE OVER SPRAY ON PAVEMENT SURFACES.
10. ELECTRIC CONTROL VALVES SHALL BE RAINBIRD PEB INSTALLED PER DETAIL SHOWN. SIZE OF VALVES AS SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN VALVE BOXES LARGE ENOUGH TO PERMIT MANUAL OPERATION, REMOVAL OF SOLENOID AND / OR VALVE COVER WITHOUT ANY EARTH EXCAVATION.
11. ALL 24 VOLT VALVE WIRING TO BE UF 14 GAUGE SINGLE CONDUCTOR. ALL WIRE SPICES ARE TO BE PERMANENT AND WATERPROOF.
12. AUTOMATIC CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5) FEET OF CONTROLLER. LOCATION BY OTHER TRADES. RAIN AND FREEZE SENSORS SHALL BE INSTALLED WITH EACH CONTROLLER.
13. THE DESIGN PRESSURE IS 65 PSI.
14. ELECTRICAL SPICES AT EACH VALVE AND CONTROLLER ONLY.
15. IRRIGATION IN TEXAS IS REGULATED BY: THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) MC 178 / PO BOX 13087 AUSTIN, TEXAS 78711-3087
16. TCEQ'S WEBSITE IS WWW.TCEQ.STATE.TX.US.

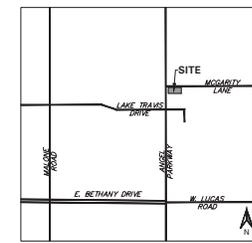
IRRIGATION LEGEND



BUBBLER PIPING CHART

NUMBER OF BUBBLERS	SIZE OF PIPE
1 - 5	2"
6 - 10	3"
11 - 20	4"
21 - 30	5"
31 - 40	6"

VICINITY MAP
NOT TO SCALE



LUCAS RETAIL ADDITION
LOT 1, BLOCK A

OWNER:
NDC HOLDINGS
214-261-1555
DAVE@NDC HOLDINGS.COM
8235 DOUGLAS AVENUE, SUITE 720
DALLAS, TEXAS 75225

4345 North Central Expressway
Suite 301
Dallas, Texas 75205
214.895.7192

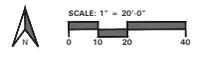
CROSS ENGINEERING CONSULTANTS
1731 W. Virginia Street McKinney, Texas 75069
972.562.4499 Texas P.E. Firm No. F-3015

Drawn By: JJJW Checked By: JJJW Scale: 1" = 20' - 0"



IRRIGATION PLAN
LUCAS RETAIL
1.619 ACRE TRACT
WILLIAM SNIDER SURVEY, ABSTR. NO. 821
CITY OF LUCAS, TEXAS

Sheet No.
L3.01
Project No.
21125



LUCAS RETAIL

SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVES AND UTILITY CONDUITS

PART 1 - GENERAL

- 1.1 DESCRIPTION
- A. Provide underground irrigation sleeves as indicated on the drawings.
 - 1.2 RELATED WORK SPECIFIED ELSEWHERE
 - A. Section 32 8424 - Irrigation System
 - 1.3 REFERENCED STANDARDS
 - A. American Society for Testing and Materials:
 - 1. ASTM - D2441 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SDR-PR)
 - 2. ASTM - D2466 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 40
 - 3. ASTM - D2564 Solvent Cements for Poly (Vinyl Chloride) Plastic Pipe and Fittings

PART 2 - MATERIALS

- 2.1 DEFINITIONS
- A. Sleeve - A pipe within which another pipe is placed for carrying water or other fluids to be installed.
 - B. Wire Sleeves - A pipe used to carry low voltage irrigation wires for operation of the electric solenoid valves.
- 2.2 GENERAL
- A. Polyvinyl Chloride Pipe (PVC) - Manufactured in accordance with standards noted herein:
 - 1. Marking and Identification - Permanently marked with SDR number, ASTM standard number, and the NSF (National Sanitation Foundation) seal.
 - 2. Solvent - As recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings before applying solvent.

PART 3 - EXECUTION

- 3.1 INSTALLATION
- A. Coverage - Provide twenty-four inches (24") minimum cover over top of sleeve from finish grade.
 - B. Sleeve Extensions - Extend sleeve one foot (1') past edge of pavement or concrete walls. Install 30 degree elbow on each sleeve end and add additional length of same size pipe to extend above finish grade by twelve inches (12"). Cap pipe ends using duct tape.
- 3.2 BACKFILL
- A. Connection - Place backfill over sleeves in six (6") inch lifts. Tamp firmly into place taking care not to damage sleeve. Complete backfill and connection to prevent any future settlement. Compact to 85% Standard Proctor.
 - B. Damage - Repair any damage resulting from improper connection including pavement repair and replacement.

END OF SECTION

SECTION 32 8424 - IRRIGATION SYSTEM

PART 1 - GENERAL

- 1.1 SCOPE
- A. Provide complete sprinkler installation as detailed and specified herein, including furnishing all labor, material, tools, equipment, and related items for the complete and proper

installation of the irrigation system as indicated by the Drawings. All costs associated with this installation, including fees for testing and inspections of the system components are the responsibility of the installer of this irrigation system.

- B. Work includes but is not limited to:
 - 1. Trenching and backfill.
 - 2. Installation of automatic controlled system.
 - 3. Upon completion of installation, supply as-built drawings showing details of installation including details of mainline piping, manual and automatic valves, electrical supply to valves, and specify the exact location of automatic valves.
- C. All sleeves as shown on plans shall be furnished by General Contractor. Meter and power source shall be provided by General Contractor.
- 1.2 RELATED WORK SPECIFIED ELSEWHERE
 - A. Refer to Irrigation Plans for controller, head, and valve locations.
 - B. Section 32 8423 - Underground Irrigation Sleeves and Utility Conduits
 - C. Section 32 9300 - Landscape
- D. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.3 APPLICABLE STANDARDS

- A. America Standard for Testing and Materials (ASTM) - Latest edition.
 - 1. D2241 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SDR-PR)
 - 2. D2464 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Threaded, Schedule 40
 - 3. D2465 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 40
 - 4. D2467 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 80
 - 5. D2564 Solvent Cements for Poly (Vinyl Chloride) (PVC) Plastic Pipe and Fittings
 - 6. D2287 Flexible Poly (Vinyl Chloride) (PVC) Plastic Pipe
 - 7. F665 Poly (Vinyl Chloride) (PVC) Solvent Weld Primer
 - 8. D3855 Making Solvent - Cemented Joints with Poly (Vinyl Chloride) (PVC) Pipe and Fittings

1.4 MAINTENANCE AND GUARANTEE

- A. The Contractor shall guarantee materials and workmanship for one (1) calendar year after final acceptance by Owner.
- B. Guarantee is limited to repair and replacement of defective materials or workmanship, including repair of backfill settlement.
- C. Provide maintenance of system, including labeling and lowering of heads to compensate for lawn, grading, cleaning and adjustment of heads, and raising and leveling of shrub heads to compensate for shrub growth for one (1) year after completion of installation.

1.5 SUBMITTALS

- A. Procedures: Comply with Division I requirements.
- B. Product Data: The Contractor shall submit five (5) copies of equipment manufacturer's cut sheets and shop drawings for approval by Owner Authorized Representative prior to installation, including, but not limited to the following: sprinkler heads, pipe, controller, valves, backflow prevention devices, valve boxes, wire, conduit, fittings, and all other types of fixtures proposed to be installed on the job. The submittal shall include the manufacturer's name, model number, equipment capacity, and manufacturer's installation recommendations, if applicable, for each proposed item.
- C. No work covered under this section may begin until the

Contractor has submitted the required information. No partial submittal shall be accepted and submittals shall be neatly bound into a brochure and logically organized. After the submittal has been approved, substitutions will not be allowed, except as provided by written consent by the Owner Authorized Representative.

- D. Shop drawings include dimensions, elevations, construction details, arrangements, and capacity equipment, as well as manufacturer's installation recommendations.
- E. Operating and Maintenance Manual:
 - 1. Provide one (1) individually bound manual detailing operating and maintenance requirements for the irrigation system.
 - 2. Manuals shall be delivered to the Owner Authorized Representative within one hundred (100) days prior to completion of the irrigation system.
 - 3. Provide descriptions of all installed materials and systems in sufficient detail to permit maintenance personnel to understand, identify, and maintain the equipment.
 - 4. Provide the following in each manual:
 - a. Title sheet with Contractor's name, address, telephone number, and contact name.
 - b. Division of guarantee period: include warranties and guarantees extended to the Owner by the manufacturer of all equipment.
 - c. Equipment list providing the following for each item:
 - 1) Manufacturer's name
 - 2) Make and model number
 - 3) Name and address of local part's representative
 - 4) Spare parts list in detail
 - 5) Details operating and maintenance instructions for major equipment.

F. Project Record Documents:

- 1. Comply with Division I requirements.
- 2. Locate by written dimension, routing of mainline piping, remote control valves, and quick coupling valves. Locate mainlines by single dimensions from permanent site features provided they run parallel to these elements. Mainlines, intermediate elements, connections, and quick couplers by two dimensions from a permanent site feature at approximately 70 degrees to each other.
- 3. When dimensioning a complex, transverse work to bond paper.
- 4. Submit three (3) copies of the completed as-built drawings, along with a copy of PDF files of the same, to the Owner Authorized Representative prior to final acceptance of the work. Mark drawings "Record Plans - Showing Significant Changes". Date and sign drawings.

G. Quick Coupler Keys:

- Provide three (3) coupler keys with baller drains attached using brass rod.
- H. Controller Keys: Provide three (3) sets of keys to controller enclosures.
- I. Use of materials differing in quality, size, or performance than those specified shall only be allowed upon written approval of the Landscape Architect. The decision shall be based on comparative ability of material or article to perform fully all the functions of manufacturer's catalog showing full specification of each type sprinkler proposed as a substitute, including discharge in GPM maximum allowable operating pressure at sprinkler.

J. Bidders desiring to make a substitution for specified sprinklers shall submit manufacturer's catalog showing full specification of each type sprinkler proposed as a substitute, including discharge in GPM maximum allowable operating pressure at sprinkler.

K. Approval of substitute sprinkler shall not relieve irrigation contractor of his responsibility to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system. If irrigation contractor notes any problems in head discharge or coverage, it is his responsibility to notify the Landscape Architect in writing, before proceeding with

work. Irrigation Contractor guarantees 100% coverage of all areas to be irrigated.

1.6 TESTING

- A. Perform testing required with other trades, including settlement, paving, plumbing, electrical, etc., to avoid unnecessary cutting, patching, and boring.
- B. Water Pressure: This irrigation system has been designed to operate with a minimum static water pressure indicated on drawings. The Contractor shall maintain the relative pressure at each water meter prior to beginning construction. Confirm that the Owner Authorized Representative is notified of static pressure values from pressure stat on drawings. Do not shut water until notified to do so by Owner Authorized Representative.
- 1.7 COORDINATION
 - A. Coordinate installation with other trades, including earthwork, paving, and plumbing to avoid unnecessary cutting, patching and boring.
 - B. Coordinate to ensure that electrical power source is in place.
 - C. Coordinate system installation with work specified in other sections and coordinate with Landscape Contractor to ensure plant material is uniformly watered in accordance with intent shown on drawings.

PART 2 - PRODUCTS

- 2.1 GENERAL
- A. Mainline: Mainlines are the piping from water source to operating valves. This portion of piping is subject to surges, being a closed portion of sprinkler system. Hydrant lines are considered a part of sprinkler main.
 - B. Lateral Piping: Lateral piping is that portion of piping from operating valve to sprinkler heads. This portion of piping is not subject to surges, being an "open end" portion of sprinkler system.
- 2.2 POLY VINYL CHLORIDE PIPE (PVC PIPE)
- A. PVC pipe shall be manufactured in accordance with commercial standards noted herein.
 - B. Marking and Identification: PVC pipe shall be continuously marked with the following information: manufacturer's name, pipe type, type of pipe, and material. SDR number, product standard number, and the NSF (National Sanitation Foundation) seal.
 - C. PVC Pipe Fittings: Shall be of the same material as the PVC pipe specified and shall be compatible with PVC pipe fittings.

2.3 COPPER TUBING

A. Hard, straight lengths of domestic manufacture only. Do not use copper tubing of foreign origin or any so-called irrigation tubing (5th wall).

2.4 COPPER TUBE FITTINGS

A. Cast brass or wrought copper, sweat, solder type.

2.5 WIRE

- A. Type UF with 464" thick waterproof insulation which is Underwriters Laboratory approved for direct underground burial when used in a National Electric Code Class II Circuit (DD) with AC or DC.
- B. Wire Connectors: Waterproof splicing kit connectors. Type BVE by 3M.

2.6 SCHEDULE 80 PVC NIPPLES

A. Composed of Standard Schedule 40 PVC Fittings and PVC

meeting noted standards. No clamps or wires may be used. Nipples for heads and stem rods to be nominal one-half inch (1/2") diameter by eight (8") inches long, where applicable.

- B. Polyethylene nipples six (6") inches long shall be used on all pop-up spray heads.
- 2.7 MATERIALS - SEE IRRIGATION PLAN
 - A. Sprinkler heads in lawn areas as specified on plan.
 - B. PVC Pipe: Class 200, SDR 21
 - C. Copper Tubing (City Connection): Type "M"
 - D. 24V Wire: Size 14, Type UF
 - E. Electric valves: Shall be all plastic construction as indicated on plans.
 - F. Backflow Prevention Device: Refer to drawing requirements and flow valves. Coordinate exact location with General Contractor.

PART 3 - EXECUTION

- 3.1 INSTALLATION - GENERAL
- A. Staking: Before installation is started, place a stake where each sprinkler is to be located, in accordance with drawing. Staking shall be approved by Owner Authorized Representative before proceeding with work.
 - B. Excavations: Excavations are unclassified and include earth, loose rock, rock or any combination thereof, in wet or dry state. Backfill trenches with material removed, provided that the earth is suitable for compaction and contains no lumps, clods, rock, debris, etc. Special backfill specifications, if furnished take precedence over this general specification.
 - C. Backfill: Flood or hand-tamp to prevent after setting. Hand rake trenches and adjoining area to leave grade in as good or better condition than before installation.
 - D. Piping Layout: Piping layout is diagrammatic. Route piping around trees and shrubs in a manner as to avoid damage to plantings. Do not dig within ball of newly planted trees or shrubs. In areas where existing trees are present, trenches shall be adjusted on-site to provide a minimum clearance of four (4) feet between the dip line of any tree or trench. The Contractor shall notify the Owner Authorized Representative in writing of a planned change in trench routing from that shown on the drawings.
- 3.2 PPE INSTALLATION
- A. Sprinkler Mains: Install a four (4") inch wide minimum trench with a minimum of fifteen (15") inches of cover.
 - B. Lateral Piping: Install a four (4") inch wide minimum trench deep enough to allow for installation of sprinkler heads and valves, but in no case, with less than twelve (12") of cover.
 - C. Trenching: Remove lumber, rubbish, and large rocks from trenches. Provide firm, uniform bearing for entire length of each pipe line to prevent uneven settlement. Nesting or blocking of pipe shall not be permitted. Remove foreign matter or dirt from inside of pipe before welding, and keep piping clean by approved means during and after laying of pipe.
- 3.3 PVC PIPE AND FITTING ASSEMBLY
- A. Solvent: Use only solvent recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings of dirt, dust and moisture before applying solvent.
 - B. PVC to metal connection: Work metal connections first. Use a non-hardening pipe dope such as Penetrate No. 2 on threaded PVC adapters into which pipe may be welded.

3.4 COPPER TUBING AND FITTING ASSEMBLY

A. Clean pipe and fitting thoroughly and lightly sand pipe connections to remove residue from pipe. Attach fitting to tubing in an approved manner using 50/50 soft solder core solder.

3.5 POP-UP SPRAY HEADS

A. Supply pop-up spray heads in accordance with materials list and plans. Attach sprinkler to lateral piping with a semi-rigid rubber gasket. Minimum height of pop-up heads shall be less than three (3") inches or more than six (6") inches long.

3.6 VALVES

A. Supply valves in accordance with materials list and sized according to drawings. Install valves as a final condition in accordance with manufacturer's specifications. See plan for typical installation of electric valves and valve box.

3.7 WIRING

A. Supply wire from the automatic sprinkler controls to the valves. No conduit will be required for UF wire unless otherwise noted on the plan. Wire shall be tucked under the piping.

3.8 AUTOMATIC SPRINKLER CONTROLS

A. Supply in accordance with Irrigation Plan. Install according to manufacturer's recommendations.

3.9 TESTING

- A. Sprinkler Mains: Test sprinkler main only for a period of twelve (12) to fourteen (14) hours under normal pressure. If leaks occur, replace joints or parts and repeat test.
- B. Complete tests prior to backfilling. Sufficient backfill material may be placed in trenches between fittings to ensure stability of line under pressure. In each case, leave fittings and couplings open to visual inspection for full period of test.

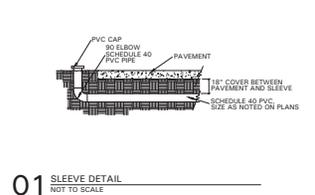
3.10 FINAL ADJUSTMENT

- A. After installation has been completed, make final adjustment of sprinkler system in preparation for Owner Authorized Representative's final inspection.
- B. Completely flush system to remove debris from lines by removing nozzle from heads on end of lines and turning on system.
- C. Check sprinklers for proper operation and proper alignment for direction of throw.
- D. Check each section of spray heads for operating pressure and balance to other sections by use of flow adjustment on top of each head.
- E. Check nozzling for proper coverage. Prevailing wind conditions may indicate that each of angle of spray should be other than shown on drawings. In this case, change nozzles to provide correct coverage and furnish data to Owner Authorized Representative with each change.

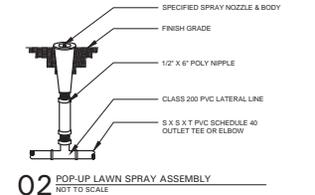
3.11 SYSTEM DEMONSTRATION

A. Instruct Owner's personnel in operation and maintenance of system including adjusting of sprinkler heads. Use operation and maintenance manual for basis of demonstration.

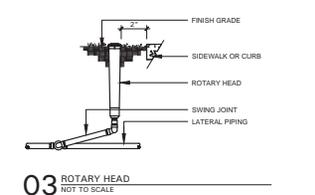
END OF SECTION



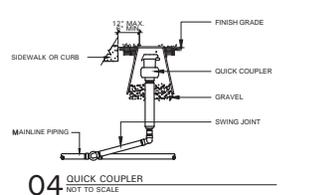
01 SLEEVE DETAIL
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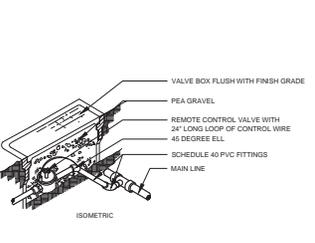
02 POP-UP LAWN SPRAY ASSEMBLY
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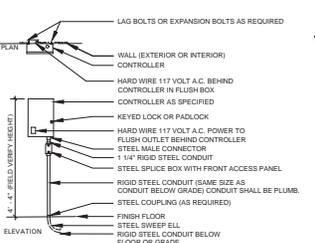
03 ROTARY HEAD
NOT TO SCALE



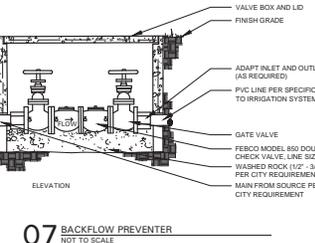
04 QUICK COUPLER
NOT TO SCALE



05 REMOTE CONTROL VALVE
NOT TO SCALE



06 WALL MOUNTED CONTROLLER
NOT TO SCALE



07 BACKFLOW PREVENTER
NOT TO SCALE



4246 North Central Exp
Suite 501
Dallas, Texas 75205
214.895.7192

OWNER:
NDC HOLDINGS
214-581-1555
DAVE@NDC HOLDINGS.COM
8235 DOUGLAS AVENUE, SUITE 720
DALLAS, TEXAS 75225

LUCAS RETAIL ADDITION
LOT 1, BLOCK A

Issue Dates:	Revision & Date:
1 07.14.22	1 08.11.22
2	2 10.05.22
3	3
4	4
5	5
6	6

CROSS ENGINEERING CONSULTANTS
1731 W. Virginia Street
972.562.4499
McKinney, Texas 75069
Texas P.E. Firm No. 8-3015

Drawn By: JJW Checked By: JJW Scale:



IRRIGATION SPECIFICATIONS AND DETAILS
LUCAS RETAIL
1.619 ACRE TRACT
WILLIAM SNIDER SURVEY, ABSTR. NO. 821
CITY OF LUCAS, TEXAS

Sheet No.
L3.02
Project No.
21125

LUCAS RETAIL



DEVELOPMENT APPLICATION

City of Lucas, Texas

NAME OF SUBDIVISION AND/OR PROJECT: Lucas Retail Addition

ITEM SUBMITTED	APPLICATION FEE
Site Plan \$300 + \$10 per acre (i.e. \$500 for a 20 acre site plan)	\$320
Tree Survey/Conservation Plan	N/A
Tree Removal & Site Clearing Permit \$250	N/A
Architectural Plan \$250 + \$50 for any reviews or presentations of amended plans	\$250
Landscape Plan \$200 + \$50 for any reviews or presentations of amended plans	\$200
Park Site Dedication \$1,000 per lot or land dedication per Lucas City Ordinance Sec. 10.03.122	
TOTAL FEES SUBMITTED	\$770

Collin County Appraisal District Short Account Number(s): 1217837 - R-6821-000-0160-1

Physical Location of Property: Southeast intersection of McGarity Lane and FM 2551 (Angel Parkway)
(Address and General Location – approximate distance to nearest existing street corner)

Brief Legal Description of Property (must also attach accurate metes and bounds description):
William Snider Survey, Abstract 821
(Survey/Abstract No. and Tracts; or platted Subdivision Name with Lots/Block)

Acreage: 1.619 Existing # of Lots/Tracts: 1 Existing Zoning: C

OWNER'S NAME: NDC Angel PKWY, LLC Contact Phone: 214.34.1555

Applicant/Contact Person: DAVE CARTER Title: President/Manager

Company Name: NDC Holdings, LP

Street/Mailing Address: 4516 LOVERS LANE, #224

City: Dallas State: TX Zip code: 75225

Phone: (214) 244-1777 Fax: () Email Address: dave@ndc Holdings.com

ENGINEER/REPRESENTATIVE'S NAME: Cross Engineering Consultants

Contact Person: Jonathan Hake Title: Vice President

Street/Mailing Address: 1720 W. Virginia Parkway

City: McKinney State: Texas Zip code: 75069

Phone: (972) 562-44049 Fax: (972) 562-4471 Email Address: jhake@crossengineering.biz



NAME OF SUBDIVISION and/or PROJECT: Lucas Retail Shopping Center

****READ BEFORE SIGNING BELOW:** If there is more than one property owner, complete a separate sheet with the same wording as below. The City requires all original signatures. If applicant is other than the property owner, a "Power of Attorney" with original, notarized signatures is required. (Notaries are available upon submittal)

ALL APPLICATIONS MUST BE COMPLETE, ACCOMPANIED BY THE APPLICABLE CHECKLIST AND TAX CERTIFICATE SHOWING TAXES PAID, BEFORE THEY WILL BE SCHEDULED FOR P&Z AGENDA. It is the applicant's responsibility to be familiar with, and to comply with, all City submittal requirements (in the Zoning & Subdivision Ordinances, and any separate submittal policies, requirements and/or checklists that may be required from City staff), including the number of plans to be submitted, application fees, etc. Please contact City staff in advance for submittal requirements. [Drawings will not be returned to applicant.]

ALL PARCELS/PROPERTIES MUST MATCH IN ACREAGE ALL OTHER DOCUMENTS SUBMITTED WITH NO AMBIGUITY.
SUBMISSIONS: Failure to submit all materials to the City with this application will result in delays scheduling the agenda date.

NOTICE OF PUBLIC RECORDS. The submission of plans/drawings/etc. with this application makes such items public record, and the applicant understands that these items may be viewed by the general public. Unless the applicant expressly states otherwise in writing, submission of this application (with associated plans/drawings/etc.) will be considered consent by the applicant that the general public may view and/or reproduce (i.e., copy) such documents.

Applicant agrees to pay any and all monies due to the City including but not limited to park pro rata fee, Tree Removal Permit fee, 3% of construction cost (developer to provide contracts for verification) and including but not limited to other fees that may be required prior to final plat approval.

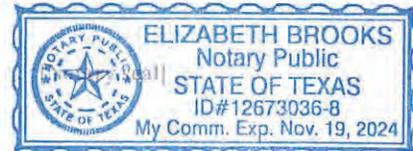
STATE OF TEXAS }
COUNTY OF COLLIN }

BEFORE ME, a Notary Public, on this day personally appeared DAVE LUTER the undersigned who, under oath, stated the following: "I hereby certify that I am the owner, or duly authorized agent of the owner, (proof attached) for the purposes of this application; that all information submitted herein is true and correct. I understand that submitting this application does not constitute approval, and incomplete applications will result in delays and possible denial."

****Owner / Agent (circle one)**

SUBSCRIBED AND SWORN TO before me, this the 29th day of September, 2022.

Notary Public in and for the State of Texas: Elizabeth Brooks



Official Use Only:

Action Taken

Planning & Zoning: _____ Date: _____

City Council: _____ Date: _____

Applicant Withdrew: Yes or No Applicant Made a Written Withdrawal: Yes or No Date: _____



Site Plan Minimum Requirements

Project Name Lucas Retail Shopping Center **Preparer** Jonathan Hake

This checklist is provided to assist you in addressing the minimum requirements for Site Plan submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Indicate that all information is included on the submitted plans by checking the box next to the required information. Checking the box certifies to the City that you have completely and accurately addressed the issue. If not applicable, indicate an “N/A” next to the box. Return this completed form at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided directly on the plan and on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement/s.

Plans are expected to be submitted complete and accurate in all detail as shown by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes, depending on the amount/magnitude of changes or corrections needed. Please keep in mind that changes/additions to previously incomplete or inaccurate plans may generate additional comments at re-submittal of corrected Plans. Therefore, diligence to the initial submittal is paramount to expediting the review process.

Included

- Site boundary is indicated by a heavy solid line intermittent with 2 dash lines, dimensioned with bearings and distances; indicate and label lot lines, setback lines, and distance to the nearest cross street.
- Site location/vicinity map clearly showing the location of the subject property with cross streets is provided. Indicate scale or NTS and provide north arrow.
- A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.
- A written and bar scale is provided.
- A title block is in the lower right corner that includes large, boldly printed “SITE PLAN”, owner and engineer’s names, addresses and phone numbers, subdivision name, lot number/s, block number or letter, original submission date, and a log of resubmittal/revision dates since submitted to the City.
- Tree masses are clouded with accurate canopy widths shown to determine critical root zone where located within close proximity to existing or proposed pavement.
- Flood plain boundary is shown and indicates F.I.R.M. Community panel number and date, and flow line of drainage ways and creeks, as applicable.
- Existing topography lines are shown with a light dashed line and proposed contours are shown by a medium weight solid line. Topography is shown at minimum five (5) foot contours referenced to sea level city datum. Spot elevations and additional contours may be required in certain areas depending on topography.
- Accurately located, labeled and dimensioned footprint of proposed structure(s) is/are shown by a solid heavy line.

- Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.
- Accurately located and labeled footprint of structure(s) proposed for demolition is/are shown by a light dashed line. Structures to be demolished are clearly labeled/ identified.
- ~~X~~ Accurately located footprint of nonresidential structure(s) on abutting properties is/are shown by a light, solid line.
- Adjacent property lines within 500 feet of the subject property lines are shown by a light dashed line.
- ~~X~~ Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 500 feet of the property line is indicated.
- ~~X~~ Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.
- ~~X~~ Finished floor elevation of existing and/or proposed structures is referenced to sea level datum.
- ~~X~~ Full width of streets and alley rights-of-way with centerlines and backs of curbs or paving edges within 200 feet of the property line are dimensioned and street name or use is labeled.
- ~~X~~ Driveways within 200 feet of the property line:
 - o Are accurately located and dimensioned.
 - o Distances to the nearest on-site driveway and/or off-site driveway is accurately located and dimensioned as measured from the centerlines.
 - o Distance to the nearest street is shown as measured from the end of curb-return radius of the adjacent street to the driveway centerline.
 - o Typical radii are shown.
- ~~X~~ Drive-thru lanes, menu board location, pick-up window/s, maneuvering area, stacking lanes and escape lanes are indicated and dimensioned.
- ~~X~~ Sidewalks and barrier-free ramps (BFR) within 200 feet of and on the subject property are shown, dimensioned and labeled.
- Off-site streets and roads:
 - o Existing and proposed roadways with medians and median openings adjacent to and within 200 feet of the project site are shown and dimensioned.
 - o Medians, median openings with associated left- turn lanes, continuous left turn lanes, transition and stacking lengths are shown and dimensioned within 200 feet of the project site.
 - o Existing, proposed, and required acceleration/deceleration lanes within 200 feet of the project site are shown dimensioned, stacking length indicated, and right-of-way dedication is indicated as applicable.
- ~~X~~ All parking spaces are shown, group numbered, and typical dimensions are provided. Indicate required two-foot overhang, as applicable.
- ~~X~~ Handicapped parking spaces and barrier-free access points are shown, dimensioned, and labeled.
- Loading and maneuvering areas are indicated, labeled, and dimensioned. Loading area screening method is indicated and labeled.
- ~~X~~ Dumpster and/or compactor locations and screening methods are shown. Indicate screening materials and height for all sides. Screening material is to match structure façade with enclosure having solid metal gates. Specs and sketch available from staff.
- ~~X~~ Paving materials, boundaries and type are indicated.
- ~~X~~ Access easements are accurately located/ tied down, labeled and dimensioned.
- ~~X~~ Off-site parking is shown and dimensioned from the off-site parking area to the structure or use as applicable. A parking easement or shared parking agreement is required and is provided in draft format.
- ~~X~~ Fire lanes are shown and dimensioned at a minimum of 24 feet in width, with internal radii of not less than 20 feet. Label and use an approximate 20 percent shade for fire lanes to differentiate from other paving. Ensure that required labeling and dimensioning is readable through shading.

- X Proposed dedications and reservations of land for public use including, but not limited to, rights-of-way, easements, park land, open space, drainage ways, floodplains and facility sites are accurately located, dimensioned and labeled.
- X Screening walls are shown with dimensions and materials. An inset is provided that shows the wall details and column placement as applicable. Plans for masonry walls are to be signed and sealed by a structural engineer and approved by the City Engineer. Channeled or slip-panel/pre-cast walls are prohibited.
- X The location of living screens are shown and labeled. Details of a living screen are provided on the Landscape Plan indicating plant species/name, height at planting, and spacing.
- X A lighting plan that shows location by fixture type is included. A lighting data chart is used to reference fixture type (i.e. pole or wall pack), maximum height, those requiring shielding, those requiring skirting, wattage and foot-candles of each fixture. No lighting source (i.e. bulb, reflector, etc.) is allowed to be visible from an adjacent property or public street.
- X Existing and proposed water and sanitary sewer lines, storm sewer pipe, with sizes, valves, fire hydrants, manholes, and other utility structures on-site or immediately adjacent to the site are shown and labeled.
- X Boundaries of detention areas are located. Indicate above and/or below ground detention.
- X Monument signage location is indicated. Details of construction materials and architecture are shown on required Building Elevation/Façade Plan. Color, type and texture are to match that of the building.
- NA Communication towers are shown and a fall distance/collapse zone is indicated.
- X Provide Site Data Summary Table that references distinct numbers for each lot and all buildings (existing and proposed) that includes, where applicable:
 - o Existing Zoning
 - o Proposed use(s) for each structure
 - o Total lot area less right-of-way dedications by square feet and acres
 - o Square footage of building(s)
 - o Building height (stories and feet)
 - o Percent of lot coverage (building footprint square footage/lot square footage).
 - o For apartment developments, number of living units broken down by number of bedrooms and minimum square footage for each dwelling unit.
 - o Parking required by use with applicable parking ratios indicated for each use
 - o Parking provided indicated
 - o Handicap parking required as per Code of Ordinances and TAS/ADA requirements
 - o List of exceptions and/or variance/s requested or previously granted, including dates and approving authority
- Improvements are proposed in TXDOT Right-of-Way and one (1) full set of civil engineering plans has been submitted to: Mohammad Khoshkar, TXDot Office, P.O.Box 90 McKinney, Texas 75069-0090, phone (972)547-2237



Architectural Plan Checklist

Project Name Lucas Retail Shopping Center

Preparer Arnold Hernandez

This checklist is provided to assist you in addressing the minimum requirements for **Landscape Plan** submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Confirm that all information is included on the submitted plans by checking the box next to the required information.

Initialing the box certifies to the City that you have completely and accurately addressed the issue. This completed form must be returned at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approving body. Additional information may be required. Reference the specific requirement. All exception/modification requests must also be specifically listed on the plan/s.

Plans are expected to be submitted complete in all detail as included by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes.

- Elevations of all four sides labeled North, East, South, and West with the front elevation designated as such.
- Materials calculations table showing for each elevation
 - Total surface area of each elevation
 - List of materials (including glazing) with square footage of each material per elevation and percentage of each material per elevation
- Building dimensions (if multiple heights are used, provide dimension for each)
- Provide estimated allowable wall mounted signage size for each elevation.
- Add the following notes:
 - “This Façade Plan is for conceptual purposes only. All building plans require review and approval of the Building Inspection Department”.
 - “All mechanical units shall be screened from public view”
 - “When permitted, exposed utility boxes and conduits shall be painted to match the building”
 - All signage areas and locations are subject to approval by the Building “Inspection Department”
 - “Roof access shall be provided internally, unless otherwise permitted by the Building Official”
- Cross sections of sight lines may be requested to verify screening of mechanical units.
- A sample board with a maximum size of 11” x 17” shall be provided with color and materials samples to correspond to the Façade Plan.
- Designate color and materials location on elevations.
- Additional information as requested by staff to clarify the proposed development and compliance with minimum development requirements.



Landscape Plan Checklist

Project Name LUCAS RETAIL

Preparer KORI HAUG

This checklist is provided to assist you in addressing the minimum requirements for **Landscape Plan** submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Confirm that all information is included on the submitted plans by checking the box next to the required information. **Initialing each item certifies to the City that you have completely and accurately addressed the issue.** This completed form must be returned at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approving body. Additional information may be required. Reference the specific requirement. All exception/modification requests must also be specifically listed on the plan/s.

Plans are expected to be submitted complete in all detail as included by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes.

- Plans shall be to same scale as approved site plan.
- A minimum of 15% of the gross area must be landscaped.
- The area between the property line and the street shall be included in the landscape plan and shall be maintained by the abutting property owner.
- Heights of landscaping materials shall be such that they do not create safety hazards for vehicular traffic by block sight lines at ingress points.
- The specifications shall state the common names and scientific names (genus species), sizes, and quantity of all materials to be utilized.
- Property abutting a different zoning district must be screened by a living screen. Planting which serves as a living screen shall be evergreens with an initial minimum six-foot (6') height and provided a solid visual barrier within two (2) years after planting.
- Additional information as needed for clarity.

Lucas Code of Ordinances - Sec. 3.18.022 Minimum requirements

- The title block in the lower, right-hand corner containing the following: date, scale, site location map, north arrow, and the names, addresses, and telephone numbers of both the property owners and the person preparing the plan.
- The addition name, block and lot description along with business name placed in the title block in the lower right-hand corner of the plan.
- The property boundary dimensions of the site (bearings and distances).
- All existing and proposed public and private streets and sidewalks including street and sidewalk widths.
- All existing services: fire hydrants, water mains, and sewer mains within the tract and immediately adjacent to it with pipe size and location indicated.

- ✓ All proposed water and sanitary sewer pipe lines with sizes indicated and valves, fire hydrants, manholes, and other appurtenances or structures shown.
- ✓ All existing or proposed water, sewer and irrigation connections, meter location, and size of meters.
- ✓ All existing and proposed utility and visibility easements.
- ✓ All existing or proposed buildings on the property, existing structures, access points on and adjacent to the property.
- ✓ Existing and proposed contours of berms in intervals of one (1) foot.
- N/A Detailed structural designs of entryway features.
- N/A Screening walls and location, type and height of screening wall, either living or masonry. (Masonry screening walls must be designed by a professional engineer registered in the state. Proposed berming is to be delineated by one-foot contours.)
- ✓ The following additional information must be submitted on the landscape plan:
 - Tabulations of the landscape edge in linear feet. Give the street name and the amount of frontage.
 - Label streets.
 - The following information is to be provided on the landscape plan in a tabular format:
 - Indicate the trees/shrubs required and provided.
 - Indicate parking area trees required and provided.
 - Indicate the trees/shrubs required and provided for parking lot perimeter landscaping.
 - Indicate parking lot interior landscaping required and provided.
 - Indicate gross landscape square footage and percentage excluding the city right-of-way (i.e. the landscape provided within the landscape edge and within the interior of the lots).
 - Show graphically all plant material existing/proposed.
 - Distance of trees/shrubs from sidewalks, curbs, screening walls, and utilities (minimum five (5) feet).
 - Spacing between trees/shrubs (varies, check growth specifications).
- ✓ Complete description of plant materials shown on the plan, including common and botanical names, locations, quantities, container (five-gallon minimum for required shrubs) or caliper sizes (four-inch minimum caliper for required shade trees), heights, spread, and spacing.
- ✓ Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including information as to the amount (in square feet) of landscape area compared to gross site square footage. The city right-of-way shall not be included as part of the gross site landscaping.
- N/A Size, height, location and material of any proposed seating, lighting, planters, sculptures, decorative paving, and water features.
- ✓ Landscape plans shall contain the certification and stamp of a landscape architect licensed in the state that such plans have been reviewed by such landscape architect and satisfy all requirements of this article.
- ✓ Irrigation plans shall contain the certification and stamp of an irrigator licensed by the state board of irrigators that such plans were prepared by such irrigator and satisfy all requirements of this article.
- ✓ Location of sprinkler heads, valves, double-check valves, water meter, automatic controller, rain and freeze sensor, wind sensor, moisture sensor or any control mechanic of whatever kind or make must be shown on all irrigation plans.
- N/A Living screens are clearly detailed by fence material, plant material species, plant material spacing, height at time of planting and mature height. Where the Director of Planning feels that there are elevation or topographical differences that would not accomplish the intent of the screening, the Director may request more details.
- ✓ Public or private street names (including street suffixes and/or prefixes) and right-of-way (ROW) dimensions are indicated for all internal and external streets.

- ✓ All existing and proposed plant material is graphically shown; species and quantity for each grouping are labeled. A minimum of four different species is shown for each plant type and are distributed throughout the site.
- ✓ Distance of trees/shrubs from sidewalks, curbs, screening walls, and utilities is indicated. If less than five feet from paving, areas of impervious surface or utility lines, show dimension. Refer to Plant List for other exceptions to planting in paving areas.
- N/A A full set of civil engineering drawings, also including the plat, site plan, and landscape plan have been submitted to TXU. Submit these drawings to: TXU Electric Delivery, Attn: Right-of-Way Department, 115 W. 7th Street, Ste. 725, Fort Worth, TX, 76102.
- N/A I understand that the City requires an approval letter from TXU Electric Delivery prior to issuance of a building permit where landscaping, parking, or other improvement/s are proposed to encroach within any TXU/TP&L easement/s. TXU has stated a minimum of six weeks to process the review. Approved irrigation within a TXU transmission easement shall be limited to drip and soaker hose irrigation, with the valve for such located outside of the easement.
- N/A Residential subdivisions are to have landscaping requirements (Indicate required planting ratio, square footage, linear footage, etc., including required and provided quantities) specifically listed in tabular format on plan for the following:
 - a) Landscape Buffer (along external street frontage-provide separate calculations for each street frontage).
 - b) Entryway Yard areas (located each side of subdivision entries) are provided for primary and secondary entryways.
 - c) Entryway Yard area Trees and Shrubs are provided.
 - d) Entryway Medians are shown and dimensioned.
 - e) Entryway Median Trees and Shrubs are provided.
 - f) Screening Wall plans are provided.



Tree Survey and Conservation Plan Minimum Requirements

Project Name LUCAS RETAIL **Preparer** KORI HAUG

This checklist is provided to assist you in addressing the minimum requirements for Tree Survey/Preservation Plan submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Indicate that all information is included on the submitted plans by checking the box next to the required information.

Initialing the box certifies to the City that you have completely and accurately addressed the issue. If not applicable, indicate an “N/A” next to the box. Return this completed form at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead and directly on the plans with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement.

Plans are expected to be submitted complete and accurate in all detail as shown by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes, depending on the amount/magnitude of changes or corrections needed. Please keep in mind that changes to previously incomplete or inaccurate plans may generate additional comments at re-submittal of corrected Plans. Therefore, diligence to the initial submittal is paramount to expediting the review process.

For the purpose of preparing this Plan, a facade will be each building face (including the face of a parapet roof); the elevation will be that area from just above the roof to the ground.

Sec. 3.18.015 Tree replacement requirements

- (a) Replacement of protected trees required. In the event that it is necessary to remove a protected tree, the applicant shall be required to replace the protected tree being removed with an approved replacement tree, as defined herein.
- (b) Restrictions. Any required replacement tree shall not be planted within an area such that the mature canopy of the tree will interfere with overhead utility lines, or that the mature root zone of the tree interferes with wastewater lines, water and all other utility easements, or where the tree will obstruct sidewalks or present hazards to the safe use of the roadway by way of visual impairment.
- (c) Trees required by zoning ordinance or deed restrictions. Trees required to be added per the landscaping requirements in the zoning ordinance or by virtue of deed restrictions shall not be considered as replacement trees.
- (d) Alternate location. Should a lot or parcel of land requesting the removal of trees not be large enough to accommodate the replacement of the caliper inches removed, the planning staff may require an alternate location(s) within the city to place the total caliper inches removed.
- (e) Number of replacement trees. Trees shall be replaced 1 for 1 in measured DBH of the trees removed.

Sec. 3.18.016 Tree protection during construction

(a) Generally. A major purpose of this article is to protect all protected trees that are not required to be removed to allow approved construction to occur.....

- ✓✓ Location/vicinity map is provided identifying the location with cross streets labeled.
- ✓✓ Existing tree canopy/masses are accurately shown to determine critical root zone and what effects paving will have in those areas.
- N/A Flood plain boundary indicating F.I.R.M. Community Panel number and date, and flow line of drainage ways/creeks, as applicable.
- ✓✓ Tree Measurement:
 - See Code of Ordinance – Tree Conservation, Chapter 3, Article 3.18.001, page 3-111
- ✓✓ Trees proposed for removal shall be painted with a luminescent orange ‘X’ (or colored flags in lieu of paint), no greater than 6 inches in size. The developer shall be required to maintain tree markings and tags throughout the approval of the project.
- ✓✓ An inset is provided on the Plan to detail protective fence installation. Protective fencing shall be installed to the limits of the drip line.
- ✓✓ It is understood that construction fencing shall be installed around all protected trees and clusters/groupings and inspected by City staff prior to approval of a grading or building permit. Fencing shall be installed as shown on the Tree Survey/Preservation Plan approved by the City.
- ✓✓ Areas are indicated where trenching and/or boring is proposed within critical root zone areas of existing, protected trees. Root pruning, canopy trimming, bark protection and/or any other tree protection/preservation methods shall be specified/detailed on plan/s as appropriate.
- ✓✓ The following information is to be provided on the Tree Survey/Preservation Plan in a tabular format:
 - a) Listing of protected trees by common name of species. See Plant Material/ Protected Tree Guide on Planning Department web page.
 - b) Caliper of tree at DBH.
 - c) A reference number for all protected trees.
 - d) General condition of the tree certified as such by a licensed arborist, forester, landscape architect, or other that is qualified to make such determinations.
 - e) Whether proposed for preservation or removal and amount of mitigation required.
- ✓✓ Distance of protected trees from sidewalks, curbs, screening walls, and utilities. Proposed grades are indicated, along with any proposed retaining walls and/or tree wells.
- ✓✓ Tree Mitigation:
 - a) Trees proposed for removal shown by an ‘X’ using a heavy line.
 - b) Replacement trees are indicated on the Landscape Plan by a heavy line denoting the canopy, with a unique identifier/label also provided.
 - c) Indicate in the above table the total number of caliper inches proposed for preservation, removal, and any credits earned/requested.
 - d) Indicate mitigation method proposed for removal of protected trees:
 - e) Mitigation is required at (1:1/ Inch for Inch) = Caliper inches of mitigation required, which indicates the quantity of required 4” minimum caliper trees AND/OR Escrow: \$121.67 x Caliper inches (DBH) of mitigation required.
- ✓✓ I have reviewed the Plant Material/ Protected Table Guide for compliance with City Ordinance Sections 3.18.023 - .025.
- ✓✓ Title block in the lower right corner that includes large, boldly printed “BUILDING FACADE/ELEVATION PLAN”, owner and architect names, addresses and phone numbers, subdivision name, lot number, block number or letter, submission date, and a log of submission/revision dates since submitted to the City.

Fee Schedule attached

Impact Fees assessed at time of Final Plat:
(Collected at time of or prior to issuance of first building permit)

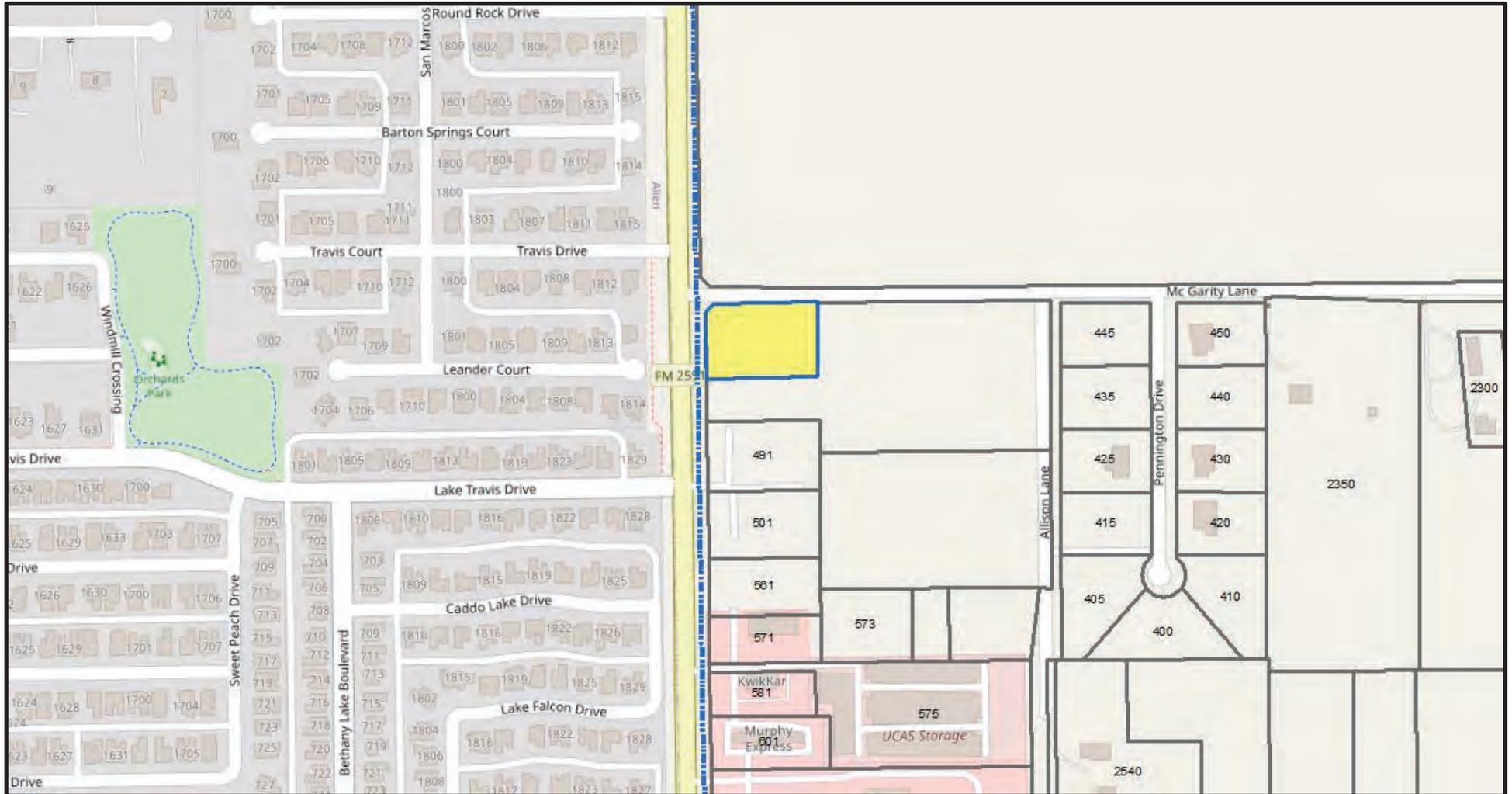
Water & Sewer Impact Fee Amount to be determined by size of meter.

Roadway Impact Fee Amount to be determined by land use, unit classification and impact zone.

If you have any questions, please contact the Planning & Zoning Department at 972-912-1207.



LOCATION MAP: SE CORNER OF MCGARITY LN AND ANGEL PWKY*



*Affected parcel has not yet been subdivided. Approximate location of proposed parcel shown.



City of Lucas

City Council Agenda Request

December 1, 2022

Requester: Development Services Director Joe Hilbourn

Agenda Item Request

Discuss proposed amendments to a development agreement with Younger Partners for a property located at the northwest corner of Southview Drive and Parker Road.

Background Information

Tom Grunnah with Younger Partners is proposing a development at the northwest corner of Southview Drive and Parker Road. The property currently has a development agreement that only allows for commercial development, and they would like to amend the agreement to permit residential.

The proposed development would include 32 ± of commercial acreage and 106 ± of residential acreage, with 13 lots larger than 2 acres and 38 lots 1.5 to 2 acres.

Attachments/Supporting Documentation

1. Concept Plan

Budget/Financial Impact

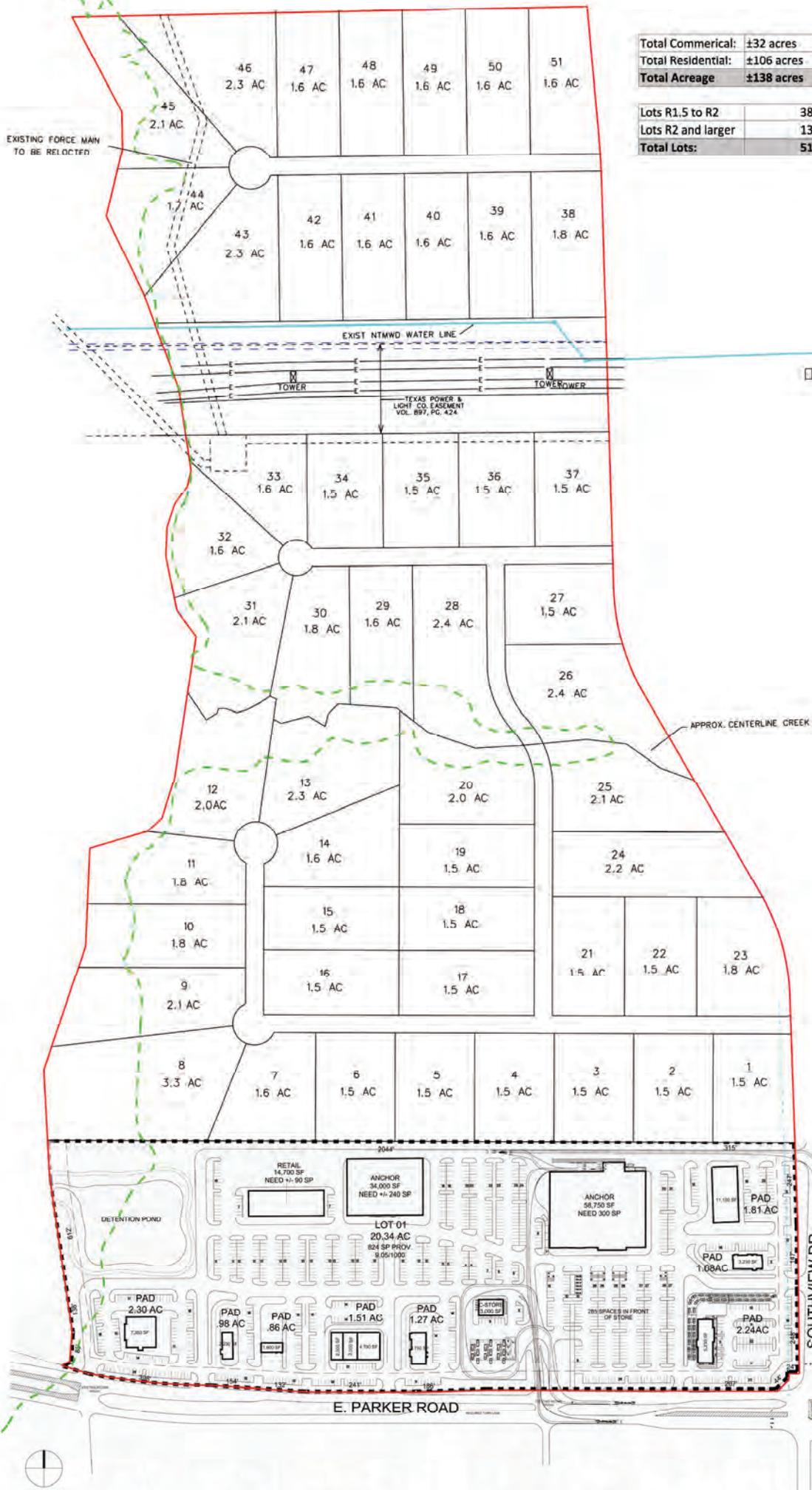
NA

Recommendation

Staff is seeking direction from City Council on amending the development agreement.

Motion

There is no motion required for this item.



Total Commercial:	±32 acres
Total Residential:	±106 acres
Total Acreage	±138 acres

Lots R1.5 to R2	38
Lots R2 and larger	13
Total Lots:	51



City of Lucas

City Council Agenda Request

December 1, 2022

Item No. 07

Requester: Development Services Director Joe Hilbourn

Agenda Item Request

Consider a request by Preston Walhood, on behalf of Young Dean Homestead, Ltd., for a preliminary plat for Dean Estates on a parcel of land consisting of 44.185 acres, located in the John McKinney Survey, Abstract Number 596, creating 27 single-family lots and two common spaces on the east side of Stinson Road, approximately 55 feet south of the roundabout.

Background Information

This parcel of land is zoned R-1 and complies with the City's Comprehensive Plan. It is 44.185 acres, and the applicant is proposing 27 single-family lots and two common spaces. The civil construction plans were approved by the engineering department on November 1, 2022. Dean Estates is proposing a dead-end street that exceeds 600' and has greater than ten lots. Dean Estates is proposing a split entrance to allow for a second means of ingress/egress that is separated, a looped water main into Enchanted Creek Estates Phase 2, and an enlarged cul-de-sac turnaround in accordance with the requirements in 10.03.123 Streets and Drainage under section (a) Streets:

- (5) Where streets within the proposed subdivision are dictated by lot design to be cul-de-sacs, such cul-de-sac streets shall be provided with a permanent cul-de-sac having a minimum right-of-way radius of sixty feet (60') and shall not exceed six hundred feet (600') in length except in circumstances dictated by topography and existing development. Future streets that may offer a second point of access shall not be considered when measuring the length of cul-de-sac until the street is actually constructed. In situations where cul-de-sacs exceed the prescribed length by more than five percent (5%), a combination of the following based on the number of lots and dwelling units will be considered as a mitigating measure:
- (A) A secondary emergency entrance/exit;
 - (B) Widening of the street and enlarging the cul-de-sac turnaround;
 - (C) Addition of fire hydrants; and
 - (D) Looped water system.

Attachments/Supporting Documentation

1. Preliminary plat
2. Location Map
3. Application
4. Tree Survey

Budget/Financial Impact

NA



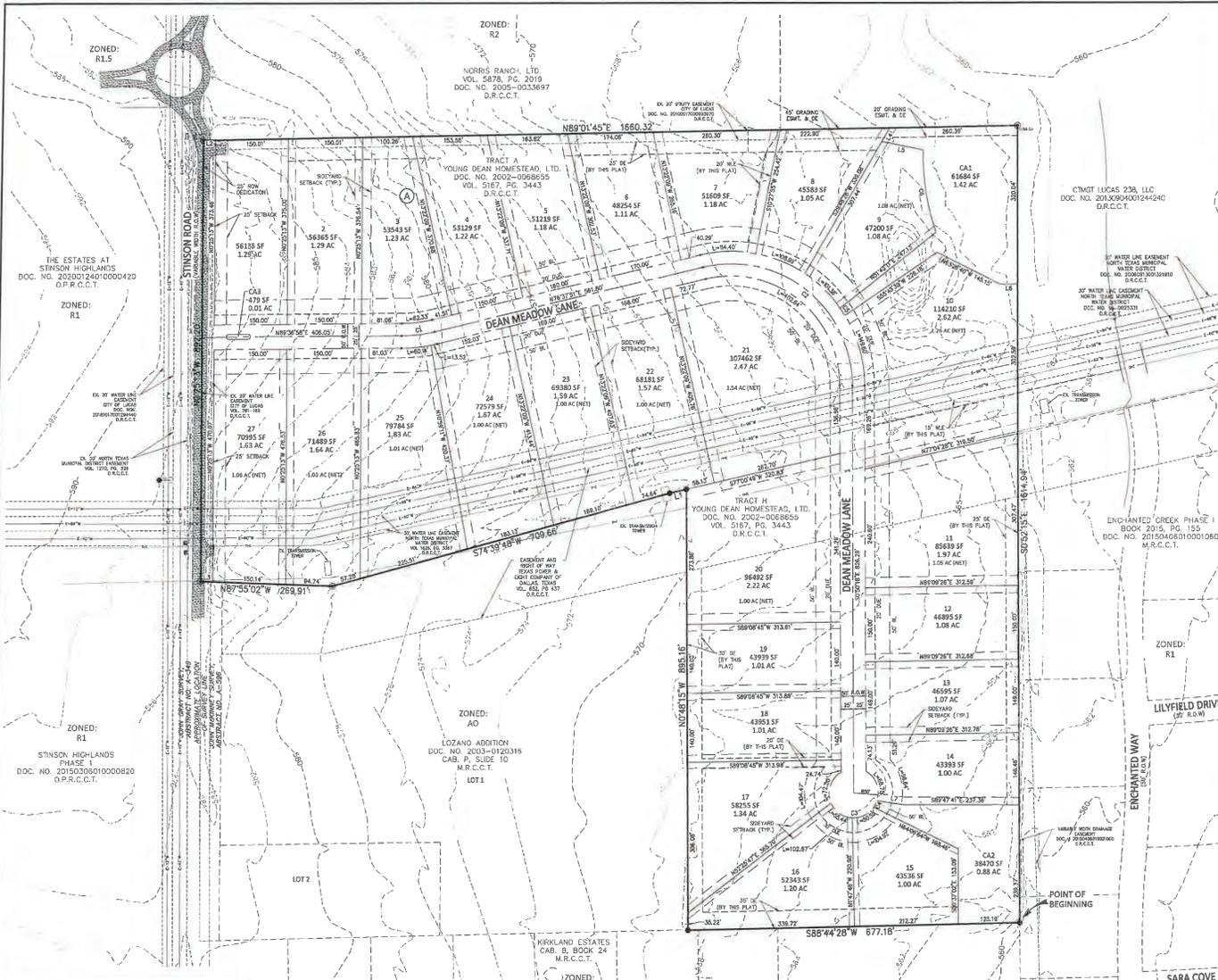
City of Lucas
City Council Agenda Request
December 1, 2022

Recommendation

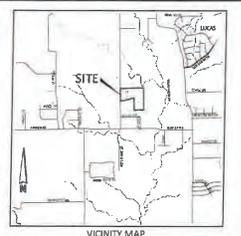
Staff recommends approval of the preliminary plat as presented.

Motion

I make a motion to approve/deny a request by Preston Walhood, on behalf of Young Dean Homestead, Ltd., for a preliminary plat for Dean Estates on a parcel of land consisting of 44.185 acres, located in the John McKinney Survey, Abstract Number 596, creating 27 single-family lots and two common spaces on the east side of Stinson Road, approximately 55 feet south of the roundabout.



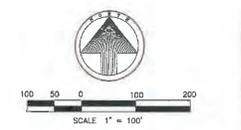
North Texas Municipal Water District (NTMWD) Note:
 The NTMWD easement restricts construction of permanent structures such as foundations, walls, pool and permanent storage buildings, items such as driveways, fences, sprinkler systems and normal landscaping plans that encroach on the NTMWD easements are allowed. However, the NTMWD assumes no responsibility for damage resulting from the need to repair or maintain the NTMWD pipelines. Further, any cost for repair for damage to the pipelines resulting from construction by the developer, contractor or owner will be the responsibility of the developer, contractor or owner.



NOTES:

1. ALL LOTS MUST USE ALTERNATIVE TYPE ON-SITE SEWER FACILITIES.
2. LOT TO LOT DRAINAGE IS NOT PERMITTED WITHOUT ENGINEERING SECTION APPROVAL.
3. ALL LOTS MUST MAINTAIN STATE-MANDATED SETBACK OF ALL ON-SITE SEWER FACILITY COMPONENTS FROM ANY/ALL EASEMENTS AND DRAINAGE AREAS, WATER DISTRIBUTION LINES, SHARP BENDS AND/OR CREEKS/PONDS, ETC.
4. A PORTION OF LOTS 10, 11, 20-27, BLOCK A ARE WITHIN A 200' ELECTRICAL LINE EASEMENT. THESE LOTS DO NOT CONFORM TO COLLIN COUNTY OSSF REGULATIONS. THE EASEMENT MAY NOT BE USED FOR OSSF CONVEYANCE, STORAGE OR DISPOSAL, AND REQUIRED SETBACKS MUST BE FOLLOWED. DUE TO SETBACK RESTRICTIONS, NO SURFACE IMPROVEMENTS, IMPERVIOUS COVER, OUTBUILDINGS, SWIMMING POOLS, ETC. ARE ALLOWED ON SAID LOTS WITHOUT A PRE-CONSTRUCTION PLANNING MEETING WITH A REGISTERED SANITARIAN/PROFESSIONAL ENGINEER AND COLLIN COUNTY DEVELOPMENT SERVICES. NOTE: LACK OF USABLE LOT MAY PRECLUDE SAID LOTS FROM HAVING SWIMMING POOLS AND/OR OUTBUILDINGS. ADDITIONALLY, DWELLING SIZE ON SAID LOTS MAY BE LIMITED TO A MAXIMUM OF 5,000 SQUARE FEET AND/OR 5 BEDROOMS.
5. A LARGE PORTION OF LOTS 11 & 20 ARE WITHIN A 200' ELECTRICAL LINE EASEMENT. THE EASEMENT MAY NOT BE USED FOR OSSF CONVEYANCE, STORAGE OR DISPOSAL, AND REQUIRED SETBACKS MUST BE FOLLOWED. DUE TO SETBACK RESTRICTIONS, NO SURFACE IMPROVEMENTS, IMPERVIOUS COVER, OUTBUILDINGS, SWIMMING POOLS, ETC. ARE ALLOWED ON LOTS 11 & 20 WITHOUT A PRE-CONSTRUCTION PLANNING MEETING WITH A REGISTERED SANITARIAN/PROFESSIONAL ENGINEER AND COLLIN COUNTY DEVELOPMENT SERVICES.
6. TREE REMOVAL AND/OR GRADING FOR OSSF MAY BE REQUIRED ON INDIVIDUAL LOTS.
7. INDIVIDUAL SITE EVALUATIONS AND OSSF DESIGN PLANS MEETING ALL STATE AND COUNTY REQUIREMENTS MUST BE SUBMITTED TO AND APPROVED BY COLLIN COUNTY FOR EACH LOT PRIOR TO CONSTRUCTION OF ANY OSSF SYSTEM.
8. BY GRANTING, PLACING, THE PARCEL DESCRIBED HEREON DOES NOT US WITHIN A SPECIAL FLOOD HAZARD AREA, AS Delineated ON THE COLLIN COUNTY, TEXAS AND INCORPORATED AREAS, FLOOD INSURANCE RATE MAP, MAP NUMBER 480802045, DATED JUNE 02, 2008, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE ABOVE FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE ON OCCASION, THE GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN MADE OR NATURAL CAUSES. THE ABOVE FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
9. SOURCE BEARING IS BASED ON TEXAS STATE PLANE COORDINATE SYSTEM. PROJECTION: STATE PLANE NAD83 TEXAS NORTH CENTRAL ZONE COA, LAMBERT CONFORMAL CONIC (TRANS-MERCATOR).
10. PROPERTY OWNERS TO MAINTAIN PROPERTY INCLUDING DRAINAGE AND UTILITY EASEMENTS TO THE EDGE OF PARCEL.
11. SELLING A PORTION OF ANY LOT WITHIN THIS ADDITION BY METES AND BOUNDERS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
12. NO PERMANENT STRUCTURES, WALLS, TREES, UTILITIES, EXCEPT CREEKS, APPROXIMATELY 30 FEET SHALL BE SUBMITTED TO AND APPROVED BY COLLIN COUNTY FOR EACH LOT PRIOR TO CONSTRUCTION OF ANY OSSF SYSTEM.
13. ALL OPEN SPACE LOTS (CA1, CA2 & CA3) SHALL BE ACCESS, UTILITY AND DRAINAGE EASEMENTS.
14. ALL OPEN SPACE LOTS (CA1, CA2 & CA3) SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
15. ALL STREET LIGHTS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" iron rod w/ yellow plastic cap stamped "JVC" set (unless otherwise noted)
 - 1/2" iron rod found w/ yellow plastic cap stamped "JVC" (unless otherwise noted)
- AC Building Line
 BL Curve No.
 CT Center Line
 CM Control Monument
 DE Drainage Easement
 ES Easement
 LI Line No.
 C1 Curve No.
 SF Square Feet
 UF Utility Easement
 WLE Water Line Easement
 U.T.E. Utility & Telecommunications Easement
 P.O.E. Positive Overflow Easement
 W.M.E. Wet Maintenance Easement
 C.P.R.C.C.T. = Official Public Records of Collin County, Texas
 D.R.C.C.T. = Deed Records of Collin County, Texas



BENCHMARKS
 ** XX FOUND IN THE CONCRETE PAVING OF STINSON ROAD APPROXIMATELY 1.160' NORTH OF THE CENTERLINE INTERSECTION OF STINSON ROAD AND HILLTOP DRIVE. THE MONUMENT IS LOCATED APPROXIMATELY 77' NORTH/EAST OF A POWER POLE AND 115' NORTH/EAST OF A WATER MANHOLE. ELEVATION = 587.11'
 SQUARE CUT ON NORTHWEST CORNER OF WYE INLET LOCATED AT THE SOUTHWEST CORNER OF STINSON ROAD AND HIGHLAND DRIVE. ELEVATION = 589.47'

Line Table

Line	Length	Direction
L1	35.58	S77° 07' 04" W
L2	25.00	N89° 01' 45" E
L3	25.02	S87° 05' 02" E
L4	31.44	N38° 48' 28" E
L5	88.84	S78° 32' 30" E
L6	34.82	N89° 03' 28" E
L7	53.88	S81° 38' 07" E

Curve Table

Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	87.86	300.00	102° 39' 08"	87.86	N87° 07' 28" E
C2	447.56	550.00	102° 37' 52"	390.03	S05° 06' 13" W
C3	15.84	50.00	102° 37' 52"	360.77	N87° 36' 37" E
CA	14.80	50.00	095° 57' 40"	363.28	S02° 25' 37" E
CB	17.74	275.00	085° 41' 42"	17.73	N33° 51' 51" E
CD	189.53	485.84	029° 40' 52"	188.80	N09° 52' 10" W

Lot Area

Lot #	Block	S.F.	AC.
1	A	56135	1.28
2	A	56365	1.28
3	A	53543	1.23
4	A	53129	1.22
5	A	51916	1.18
6	A	48284	1.11
7	A	81608	1.88
8	A	45563	1.05

Lot Area

Lot #	Block	S.F.	AC.
9	A	47200	1.08
10	A	114210	2.62
11	A	88839	1.87
12	A	48895	1.08
13	A	46396	1.07
14	A	43383	1.00
15	A	43336	1.00
16	A	52343	1.20

Lot Area

Lot #	Block	S.F.	AC.
17	A	56255	1.24
18	A	43351	1.01
19	A	43839	1.01
20	A	86462	2.22
21	A	107462	2.47
22	A	8981	0.20
23	A	89380	1.58
24	A	72579	1.67

Lot Area

Lot #	Block	S.F.	AC.
25	A	79784	1.83
26	A	71489	1.64
27	A	70595	1.63
28	A	35110	0.80
29	A	81884	1.87

Owner/Applicant:
 Watter Line Advisors, LP
 4040 N. Central Expressway, Suite 850
 Dallas, Texas 75224
 Phone: 214-368-6238
 Contact: Preston Walwood

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite 1200
 Plano, Texas 75074
 Phone: 972-261-3100
 Ryan.Reichard@johnsonvolk.com
 TBPELS FIRM NO. 101194033

JOHNSON VOLK CONSULTING
 TBPELS Engineering Firm No. 119824 | Land Surveying Firm No. 01190313
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.261.3100

PURPOSE OF PLAT
 THE PURPOSE OF THIS PLAT IS TO CREATE 27 RESIDENTIAL LOTS FROM A 44.084 ACRE TRACT OF LAND

PRELIMINARY PLAT
DEAN FARMS AT
STINSON HIGHLAND
 LOTS 1-27, CA1 & CA2, BLOCK A
 27 SINGLE FAMILY LOTS &
 2 COMMON SPACES
 44.084 ACRES
 OUT OF THE
 JOHN MCKINNEY SURVEY, ABSTRACT NO. 596
 CITY OF LUCAS,
 COLLIN COUNTY, TEXAS
 EXIST. ZONING: R1

September 27, 2022
 SHEET 1 OF 2

DRAWN BY: PRESTON WALWOOD; CHECKED BY: PRESTON WALWOOD; DATE: 09/27/2022; PROJECT: DEAN FARMS AT STINSON HIGHLAND; SHEET: 1 OF 2; SCALE: AS SHOWN; TYPICAL: 1/8" = 1'

OWNER'S CERTIFICATION & DEDICATION:

STATE OF TEXAS
COUNTY OF COLLIN

BEING a tract of land situated in the JOHN MCKINNEY SURVEY, ABSTRACT NO. 596, City of Lucas, Collin County, Texas and being all of those tracts of land described as Tract A and Tract H in Deed to Young Dean Homestead, Ltd., as recorded in Document No. 2002-0086855 (Volume 5167, Page 3443), Deed Records, Collin County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found in the west line of ENCHANTED CREEK PHASE 1, an Addition to the City of Lucas, Collin County, Texas according to the Plat thereof recorded in Book 2015, Page 155 (Document No. 20150406010001060), Map Records, Collin County, Texas for the common southeast corner of said Tract H and northeast corner of KIRKLAND ESTATES, an Addition to the City of Lucas, Collin County, Texas according to the Plat thereof recorded in Cabinet 8, Book 24, Map Records, Collin County, Texas;

THENCE South 88 degrees 44 minutes 26 seconds West, leaving said west line and with the common south line of said Tract H and north line of said KIRKLAND ESTATES Addition, a distance of 877.18 feet to a 1/2 inch iron rod found for the common southwest corner of said Tract H and southeast corner of Lot 2 of LOZANO ADDITION, an Addition to the City of Lucas, Collin County, Texas according to the Plat thereof recorded in Cabinet P, Slide 10 (Document No. 2003-020319), Map Records, Collin County, Texas;

THENCE North 00 degrees 48 minutes 15 seconds West, leaving said common line and with the common west line of said Tract A and north line of said Lot 2, a distance of 35.28 feet to a 1/2 inch iron rod found in the south line of said Tract A for the common northwest corner of said Tract H and northeast corner of said Lot 2;

THENCE South 77 degrees 07 minutes 06 seconds West, leaving said common line and with the common south line of said Tract A and north line of said Lot 2, a distance of 35.28 feet to a 1/2 inch iron rod found for corner;

THENCE South 74 degrees 39 minutes 48 seconds West, continuing with said common line, a distance of 709.66 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE North 87 degrees 55 minutes 02 seconds West, continuing with said common line, a distance of 269.91 feet to an "X" set in concrete for the southwest corner of said Tract A;

THENCE North 00 degrees 25 minutes 13 seconds West, leaving said common line, a distance of 892.20 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of said Tract A and southwest corner of that tract of land described in deed to Morris Ranch, Ltd., as recorded in Volume 5878, page 2019 (Document No. 2005-0033897), Deed Records, Collin County, Texas;

THENCE North 89 degrees 01 minutes 45 seconds East, a distance of 1,680.32 feet to a 1/2 inch iron rod with a red plastic cap stamped "KHA" found for the northeast corner of said Tract A;

THENCE South 00 degrees 52 minutes 10 seconds East, a distance of 1,614.94 feet to the POINT OF BEGINNING and containing 44.084 acres of land, more or less.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That WARNER LAND ADVISORS, LP., does hereby bind themselves and their heirs, assignees and successors of title this plat dedicating the heretofore described property as DEAN FARMS AT STINSON HIGHLAND, an addition to the City of Lucas, and does hereby dedicate to the use of the public forever any streets, alleys, right-of-way or easements shown thereon, and does hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of garbage collection agencies and all utilities dealing to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements that in any way endanger or interfere with construction, maintenance or efficiency of its respective systems on any of these easement strips, and any public utility shall at all times have the right of ingress or egress to and from and upon the said easement strips for purposes of constructing, reconstructing, inspecting, maintaining, or otherwise, without the necessity of any time of procuring the permission of anyone. Additionally, WARNER LAND ADVISORS, LP., certifies that it is the sole owner of the dedicated property and that no other's interest is attached to this property unless otherwise indicated on the required Mortgage Holder Certification that is included on this plat. Furthermore, as the owner of the property described herein, and in consideration of establishing the subdivision described herein, it agrees to the following:

- Every owner of fee simple title to every individual lot within the subdivision shall be a member of the homeowners' association.
The homeowners' association shall have the authority to collect membership fees;
As applicable as it pertains to conditions shown herein, the homeowners' association shall be responsible for the maintenance of all common areas, screening walls, landscaped areas, private streets and alleys.
The homeowners' association shall grant the City the right of access to any areas to abate any nuisances on such areas and attach a lien upon each individual lot for the prorated cost of abatement.
The homeowners' association shall indemnify and hold the City harmless from any and all costs, expenses, suits, demand, liabilities, damages, or otherwise, including attorney fees and costs of suit, in connection with the City's maintenance of common areas.
The homeowners' association shall, where additional rights-of-way has been dedicated for the purpose of providing landscaping, additional areas for sidewalks, wells or other amenities, enter into a license agreement with the City and shall be responsible for the installation and maintenance of all landscape areas in the public rights-of-way.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Lucas, Texas.

WARNER LAND ADVISORS, LP.

By: Warner Capital, LLC
By: Stephen L. Sullivan, Manager

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and of the State of Texas, on this day personally appeared WARNER LAND ADVISORS, LP., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this ___ day of ___, 20__.

Notary public in and for the State of Texas My Commission Expires

SURVEYOR'S CERTIFICATE:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Ryan S. Reynolds, do hereby certify, that I prepared this plat from an actual on the ground survey of the land as described and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the City of Lucas Planning and Zoning Commission.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

RYAN S. REYNOLDS, R.P.L.S.
Texas Registered Professional Land Surveyor No. 6383.

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office, this ___ day of ___, 20__.

Notary public for and in the State of Texas

My commission expires: _____

CERTIFICATE OF APPROVAL:

This plat is hereby approved by the Planning and Zoning Commission of the City of Lucas, Texas. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Lucas, Texas.

Dusty Kuykendall
Chair, Planning and Zoning Commission

ATTEST:

Signature Date

Name & Title Date

The Director of Public Works of the City of Lucas, Texas hereby certifies that to the best of his/her knowledge or belief, this subdivision plat conforms to all requirements of the Code of Ordinances and with engineering construction standards and processes adopted by the City of Lucas, Texas as to which his/her approval is required.

Scott Holden, PE
Director of Public Works

The Development Services Director of the City of Lucas, Texas hereby certifies that to the best of his/her knowledge or belief, this subdivision plat conforms to all requirements of the Code of Ordinances or as may have been amended or modified, as allowed, by the Planning and Zoning Commission as to which his/her approval is required.

Joseph Hilbourn
Director of Development Services

Notary public for and in the State of Texas

NOTES:

- 1. ALL LOTS MUST USE ALTERNATIVE TYPE ON-SITE SEWAGE FACILITIES.
2. LOT TO LOT DRAINAGE IS NOT PERMITTED WITHOUT ENGINEERING DESIGN APPROVAL.
3. ALL LOTS MUST MAINTAIN STATE-MANDATED SETBACK OF ALL ON-SITE SEWAGE FACILITY COMPONENTS FROM ANY/FALL EASEMENTS AND DRAINAGE AREAS. WATER DISTRIBUTION LINES, SHARP BENDS AND/OR OBSTACLES/PONDING, ETC.
4. A PORTION OF LOTS 10, 11, 20-27, BLOCK A ARE WITHIN A 250' ELECTRICAL LINE EASEMENT. THESE LOTS DO NOT CONFORM TO COLLIN COUNTY OSSF REGULATIONS. THE EASEMENT MAY NOT BE USED FOR OSSF CONVEYANCE, STORAGE OR DISPOSAL AND REQUIRED SETBACKS MUST BE FOLLOWED. DUE TO SETBACK RESTRICTIONS, NO SURFACE IMPROVEMENTS, IMPERVIOUS COVER, OUTFLOWINGS, SWIMMING POOLS, ETC. ARE ALLOWED ON SAID LOTS WITHOUT A PRE-CONSTRUCTION PLANNING MEETING WITH A REGISTERED SANITARIAN/PROFESSIONAL ENGINEER AND COLLIN COUNTY DEVELOPMENT SERVICES. NOTE: LACK OF USABLE LOT MAY PRECLUDE SAID LOTS FROM HAVING SWIMMING POOLS AND/OR OUTFLOWINGS. ADDITIONALLY, DWELLING SIZE OR SAID LOTS MAY BE LIMITED TO A MAXIMUM OF 8,000 SQUARE FEET AND/OR 2 BEDROOMS.
5. A LARGE PORTION OF LOTS 11 & 20 ARE WITHIN A 250' ELECTRICAL LINE EASEMENT. THE EASEMENT MAY NOT BE USED FOR OSSF CONVEYANCE, STORAGE OR DISPOSAL AND REQUIRED SETBACKS MUST BE FOLLOWED. DUE TO SETBACK RESTRICTIONS, NO SURFACE IMPROVEMENTS, IMPERVIOUS COVER, OUTFLOWINGS, SWIMMING POOLS, ETC. ARE ALLOWED ON LOTS 11 & 20 WITHOUT A PRE-CONSTRUCTION PLANNING MEETING WITH A REGISTERED SANITARIAN/PROFESSIONAL ENGINEER AND COLLIN COUNTY DEVELOPMENT SERVICES.
6. TREE REMOVAL AND/OR GRADING FOR OSSF MAY BE REQUIRED ON INDIVIDUAL LOTS.
7. INDIVIDUAL SITE EVALUATIONS AND OSSF DESIGN PLANS (INCLUDING ALL STATE AND COUNTY REQUIREMENTS) MUST BE SUBMITTED TO AND APPROVED BY COLLIN COUNTY FOR EACH LOT PRIOR TO CONSTRUCTION OF ANY OSSF SYSTEM.
8. BY GRAPHICAL PLATTING THE PARCELS DESCRIBED HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA, AS Delineated ON THE COLLIN COUNTY, TEXAS AND UNINCORPORATED AREAS FLOOD INSURANCE RATE MAP, MAP NUMBER 408082434, DATED JUNE 02, 2009, AS PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY. THE ABOVE FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON OCCASION, THE GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN MADE OR NATURAL CAUSES. THE ABOVE FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
9. SOURCE BEARING IS BASED ON TEXAS STATE PLANE COORDINATE SYSTEM. PREVIOUS STATE PLANE HAZARD TEXAS NORTH CENTRAL ZONE 4504 LAMBERT CONFORMAL CONIC (NAD83-NAD82).
10. PROPERTY OWNERS TO MAINTAIN PROPERTY INCLUDING DRAINAGE AND UTILITY EASEMENTS TO THE EDGE OF PAVEMENT.
11. SELLING A PORTION OF ANY LOT WITHIN THIS ADDITION BY ACRES AND GRASSING IS WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
12. NO PERMANENT STRUCTURES, WALLS, TREES, UTILITIES, EXCEPT BOUNDING AT APPROXIMATELY 90 DEGREES SHALL BE PERMITTED WITHIN THE MINIMUM EASEMENTS IN LOTS 10, 21-27, BLOCK A.
13. ALL OPEN SPACE LOTS (CA1, CA2 & CA3) SHALL BE ACCESS, UTILITY AND DRAINAGE EASEMENTS.
14. ALL OPEN SPACE LOTS (CA1, CA2 & CA3) SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
15. ALL STREET LIGHTS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

HEALTH DEPARTMENT CERTIFICATION
I HEREBY CERTIFY THAT THE ON-SITE SEWAGE FACILITIES DESCRIBED ON THIS PLAT CONFORM TO THE APPLICABLE OSSF LAWS OF THE STATE OF TEXAS, THAT SITE EVALUATIONS HAVE BEEN SUBMITTED REPRESENTING THE SITE CONDITIONS IN THE AREA IN WHICH ON-SITE SEWAGE FACILITIES ARE PLANNED TO BE USED.

REGISTERED SANITARIAN OR DESIGNATED REPRESENTATIVE
COLLIN COUNTY DEVELOPMENT SERVICES

PURPOSE OF PLAT
THE PURPOSE OF THIS PLAT IS TO CREATE
27 RESIDENTIAL LOTS FROM A 44.084 ACRE
TRACT OF LAND

PRELIMINARY PLAT
DEAN FARMS AT
STINSON HIGHLAND

LOTS 1-27, CA1 & CA2, BLOCK A
27 SINGLE FAMILY LOTS &
2 COMMON SPACES
44.084 ACRES
OUT OF THE
JOHN MCKINNEY SURVEY, ABSTRACT NO. 596
CITY OF LUCAS
COLLIN COUNTY, TEXAS
EXIST. ZONING: R1

September 27, 2022
SHEET 2 OF 2

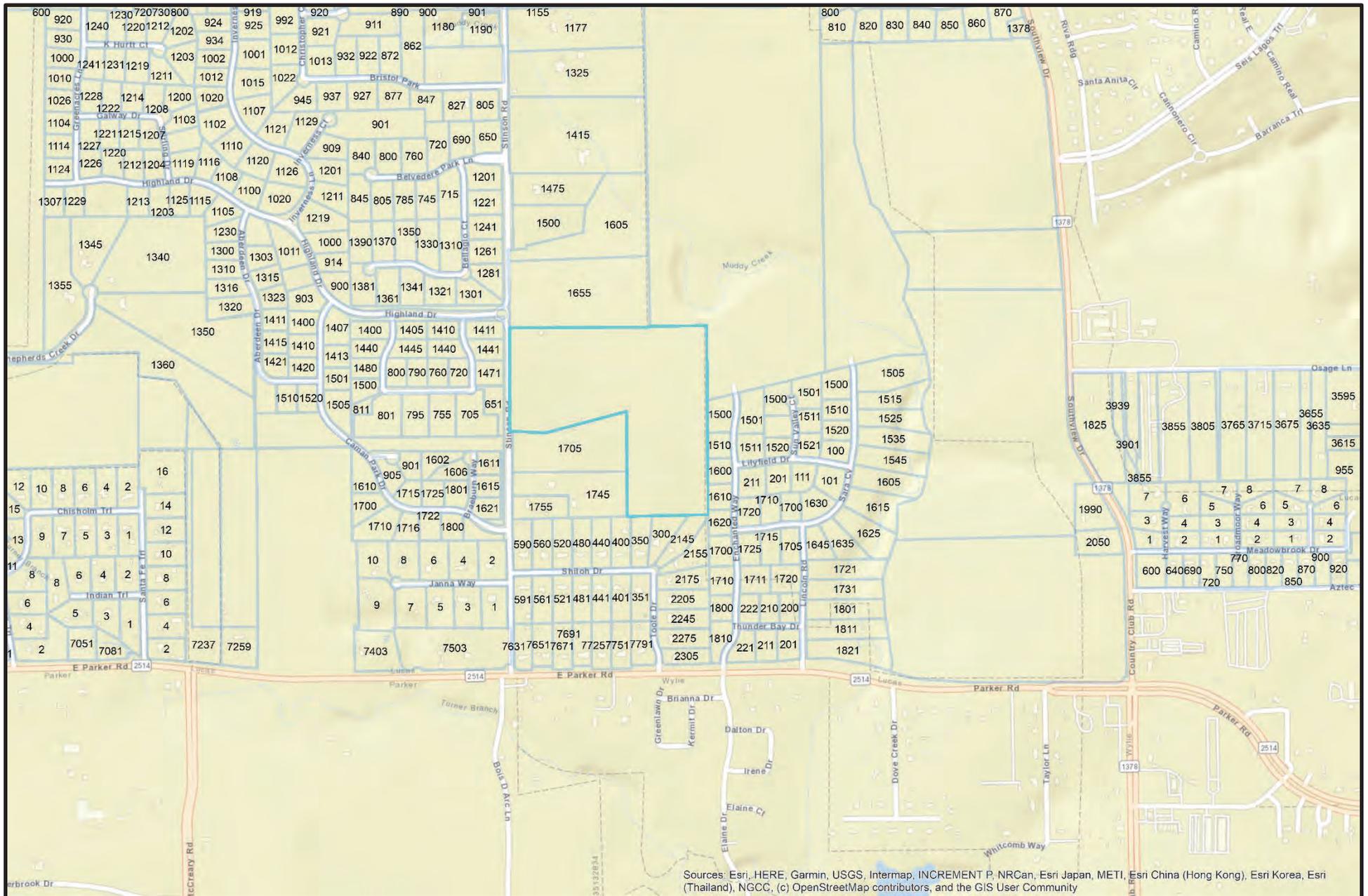
Owner/Applicant:
Warner Land Advisors, LP
4040 N. Central Expressway, Suite 850
Dallas, Texas 75024
Phone: 214-365-0238
Contact: Preston Walhoad

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Ryan.Reynolds@johnsonvolk.com
TBPELS FIRM NO. 10194033





LOCATION MAP



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community



PLATTING APPLICATION

Name of Subdivision and/or Project: Dean Farms at Stinson Highlands

Items Submitted	Filing Fee
<input type="checkbox"/> Preliminary Plat	
▪ Single Family Residential Subdivision Development	
○ \$750 + \$5 per acre with 20 acres or less (i.e. \$850 for 20 acres) excluding minor plats of five (5) acres or less.	
○ \$750 + \$5 per acre with 21 - 30 acres (i.e. \$900 for 30 acres)	
<input checked="" type="checkbox"/> \$800 + \$5 acre with 31 - 45 acres (i.e. \$1,025 for 45 acres) 44 acres	\$1,020
○ \$900 + \$5 per acre with 46+ acres (i.e. \$1,130 for 46 acres)	
▪ Estate Residential Subdivision Development	
○ \$1,000 + \$7 per acre for all size parcels (i.e. \$1,140 for 20 acres)	
▪ Minor Plats	
○ \$500 + \$5 per acre with 5 acres or less (i.e. \$525 for 5 acres)	
▪ Non-residential District Plats	
○ \$800 + \$10 per acre with 30 acres or less	
○ \$850 + \$10 per acre with 31 - 45 acres	
○ \$950 + \$10 per acre with 46+ acres	
<input type="checkbox"/> Final Plat	
▪ Single Family Residential Subdivision Development	
○ \$800 + \$5 per acre with 30 acres or less	
○ \$850 + \$5 per acre with 31 - 45 acres	
○ \$950 + \$5 per acre with 46+ acres	
<i>Any additional development fees will be charged at final plat rates.</i>	
▪ Estate residential Subdivision Development	
○ \$950 + \$7 per lot for all size parcels	
▪ Minor Plat	
○ \$350 + \$5 per acre with 5 acres or less	
▪ Non-residential District Plats	
○ \$850 + \$10 per acre for up to 30 acres	
○ \$900 + \$10 per acre with 31 - 45 acres	
○ \$1,000 + \$10 per acre with 46+ acres	
▪ Replat	
○ Minor Plat (5 acres or less) \$450 + \$5 per acre (\$475 for 5 acres)	
○ All others - \$600 + \$10 per acre	
▪ Amended Plat	
○ Minor Plats (5 acres or less) - \$300 + \$7 per acre (i.e. \$300 for an amended plat for 5 acres)	
○ All others - \$500 + \$10 per acre (i.e. \$700 for an amended plat for 20 acres)	
<input type="checkbox"/> Storm Water Run-Off Permit	
○ Developments 0 - 3 acres \$75	
○ Developments 4 - 10 acres \$150	
○ Developments 10+ acres \$500	
<input type="checkbox"/> Vacation of Plat	
○ \$500 + \$10 per acre	
<input type="checkbox"/> Concept Plan (Optional Land Study)	
○ \$150 per session with Planning & Zoning and/or City Council	
<input type="checkbox"/> Tree Survey/Conservation Plan	No Fee
<input type="checkbox"/> Tree Removal & Site Clearing Permit	
○ \$250	
<input type="checkbox"/> Park Site Dedication	
○ \$1,000 per lot or land dedication	
TOTAL	\$1,020



PLATTING APPLICATION

Physical Location of Property: East of Stinson Road, 100' south of Highland Drive
(Address and general location - approximate distance to nearest existing street intersection)

Legal Description of Property: JOHN MCKINNEY SURVEY, ABSTRACT NO. 596
(Survey/ Abstract Number and Tracts/Platted Subdivision Name with Lots/Block - Must attach metes and bounds description)

Comprehensive Zoning Designation(s): R1

Existing Zoning Designation(s): R1

Description of Project Use: Single Family Residential Lots

Acreage: 44.084 acres

Existing # of Lots/Tracts: 1

OWNERS NAME: Young Dean Homestead, Ltd

Contact Number:

Applicant/Contact Person Preston Walhood

Title: Vice President

Company Name Warner Land Advisors, LP

Street Address 4040 N Central Expressway, Suite 850 Dallas Texas 75204

Mailing Address

Phone: 214-368-0238

Fax:

Email: pwalhood@warnergrou.com

OWNERS NAME:

Contact Number:

Applicant/Contact Person

Title:

Company Name

Street Address

Mailing Address

Phone:

Fax:

Email:

ENGINEER REPRESENTATIVE: Johnson Volk Consulting Contact Number:

Applicant/Contact Person Tom Dayton, PE

Title:

Company Name JohnsonVolk Consulting

Street Address 704 Central Parkway East, Suite 1200 Plano, Texas 75074

Mailing Address

Phone: 972-201-3102

Fax:

Email: tom.dayton@johnsonvolk.com

Read before signing below: If there is more than one property owner complete a separate sheet with the same wording as below. The City requires all original signatures. If applicant is other than the property owner a "Power of Attorney" with original, notarized signatures are required. (notaries are available)

ITEMS REQUIRED PRIOR TO FINAL PLAT APPROVAL:

ALL APPLICATIONS MUST BE COMPLETE, ACCOMPANIED BY THE APPLICABLE CHECKLIST AND TAX CERTIFICATE SHOWING TAXES PAID BEFORE BEING SCHEDULED ON THE P&Z AGENDA. It is the applicant's responsibility to be familiar with, and to comply with, all City submittal requirements (in the Zoning & Subdivision Ordinances, and any separate submittal policies, requirements and/or checklists that may be required from City staff), including the number of plans to be submitted, application fees, etc. Please contact City staff in advance for submittal requirements. Drawings will not be returned to applicant.

ALL PARCELS/PROPERTIES MUST MATCH IN ACREAGE ALL OTHER DOCUMENTS SUBMITTED WITH NO AMBIGUITY.

SUBMISSIONS: Failure to submit all materials to the City with this application will result in delays scheduling the agenda date.

NOTICE OF PUBLIC RECORDS: The submission of plans/drawings with this application makes such items public record, and the applicant understands that these items may be viewed by the public unless they are copyrighted.



PLATTING APPLICATION

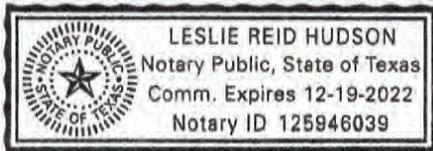
- Applicant agrees to pay any and all monies due to the City including but not limited to Park Site fee, Tree Removal Permit fee, 3% of Construction cost (developer to provide contracts for verification) and including but not limited to other fees that may be required prior to final plat approval.
- Maintenance Bond for City Improvements, 2 year – 10% Bond to be verified by submitting contract.
- Construction as-built record drawings (mylar)
- Engineering construction test reports.
- Walk-through with Public Works personnel completed with satisfactory outcome.
- HOA (covenants, conditions & restrictions) documentation approved by City Attorney before submittal to Planning & Zoning.

By signing this application, staff is granted access to your property to perform work related to your case. I waive the statutory time limits in accordance with Texas Local Government Code, Section 212.

STATE OF TEXAS }
 COUNTY OF COLLIN }

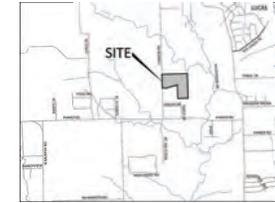
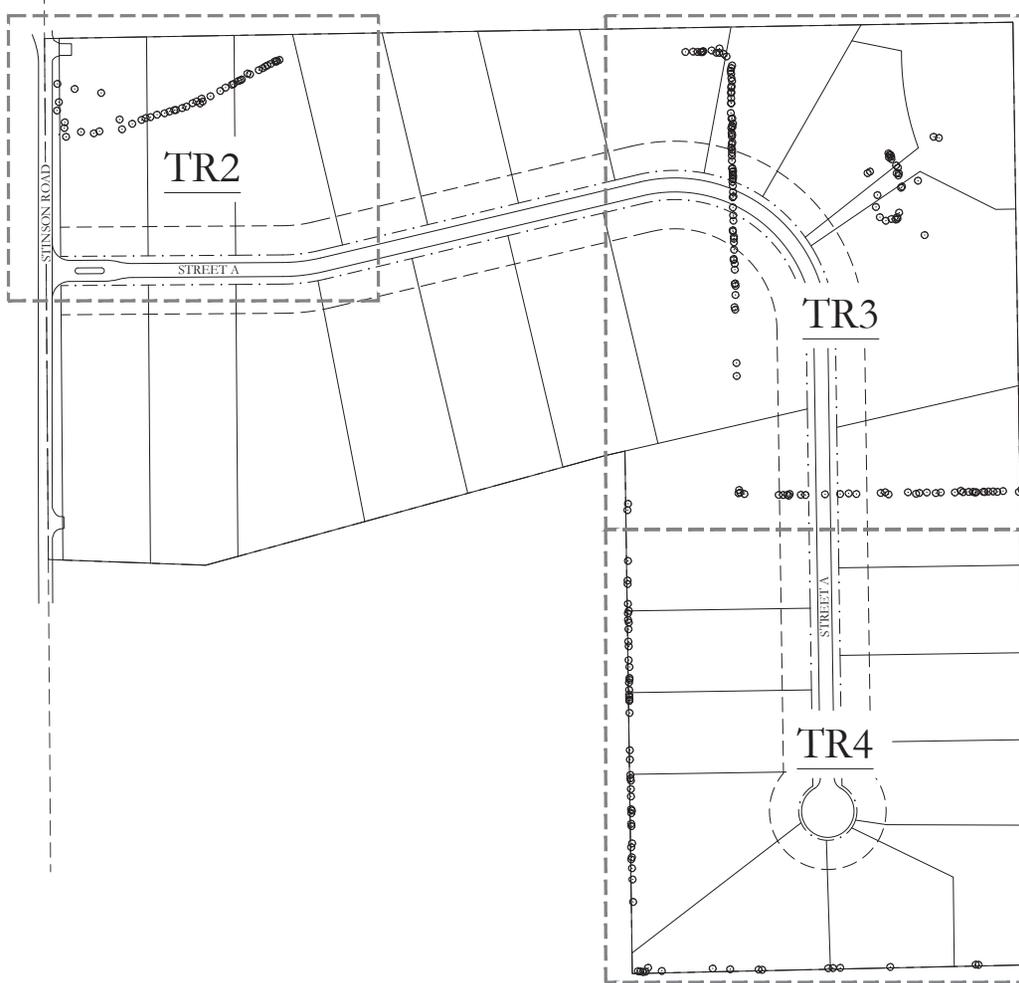
BEFORE ME, a Notary Public, on this day personally appeared Preston Wainood the undersigned applicant, who, under oath, stated the following: "I hereby certify that I am the owner, or duly authorized agent of the owner, (**proof must be attached, e.g. "Power of Attorney"**) for the purposes of this application; that all information submitted herein is true and correct. I understand that submitting this application does not constitute approval, and incomplete applications will result in delays and possible denial."

[Signature]
 Owner / Agent (circle one)



SUBSCRIBED AND SWORN TO before me, this the 8th day of August, 2022
 Notary Public in and for the State of Texas: [Signature]

Official Use Only:	
Planning & Zoning: _____	Date: _____
City Council: _____	Date: _____
Applicant Withdrew: Yes or No	Date: _____
Applicant Made a Written Withdrawal: Yes or No	Date: _____



LOCATION MAP
NOT TO SCALE

OWNER/DEVELOPER:
 WARNER LAND ADVISORS, LP.
 4040 N. CENTRAL EXPRESSWAY, SUITE 850
 DALLAS, TEXAS 75024
 PH. (469) 387-4407
 CONTACT: PRESTON WALHOOD

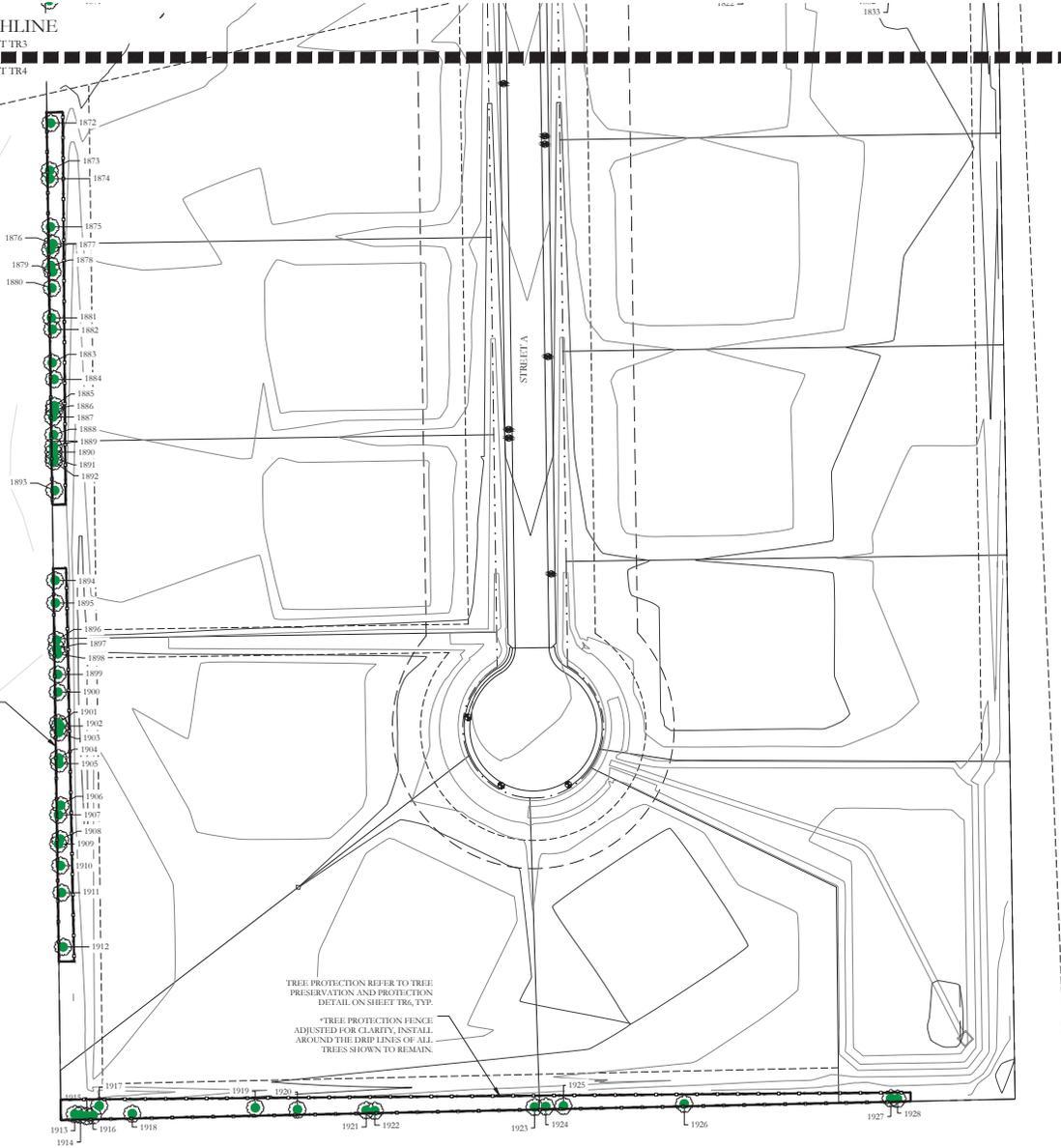
LANDSCAPE ARCHITECT:
 JOHNSON VOLK CONSULTING
 704 CENTRAL PARKWAY EAST, SUITE 1200
 PLANO, TEXAS 75074
 PH. (972) 201-3100
 CONTACT: CODY JOHNSON, RLA, ASLA, LI



MATCHLINE

REF: SHEET TR3

REF: SHEET TR4



TREE PROTECTION REFER TO TREE PRESERVATION AND PROTECTION DETAIL ON SHEET TR6, TYP.

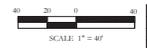
*TREE PROTECTION FENCE ADJUSTED FOR CLARITY, INSTALL AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN.

TREE PROTECTION REFER TO TREE PRESERVATION AND PROTECTION DETAIL ON SHEET TR6, TYP.

*TREE PROTECTION FENCE ADJUSTED FOR CLARITY, INSTALL AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN.

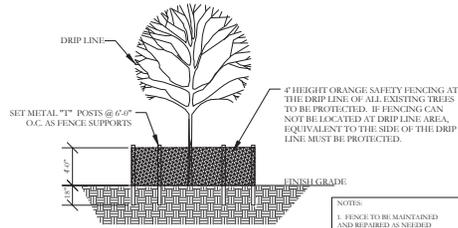
LEGEND

- 1-3 EXISTING TREE TO BE REMOVED
- 2 EXISTING TREE TO REMAIN
- 2 EXISTING TREE LOCATED OFF-SITE TO REMAIN
- TREE PROTECTION REFER TREE PRESERVATION AND PROTECTION DETAIL ON SHEET TR6
- INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN, TYP.



D:\31\100000\100000.dwg - Johnson Volk Consulting - 10/24/2002 10:00:00 AM

Tree ID Number	Diameter at Breast Height (DBH) (Inches)	Common Name	Scientific Name	Protected Tree?	Condition	Comment	Location	Remove or Remain	Mitigation Required, Percentage	Mitigation Required to Caliper Inches
1877	7.3	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1878	1.20	Cedar Elm	Ulmus crassifolia	Yes	Healthy		Lot	Remove	0%	0.0
1879	8.4	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1880	13.2	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1881	28.8	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1882	1.20	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1883	1.20	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1884	1.20	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1885	1.20	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1886	9.6	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1887	9.6	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1888	30.0	Cottonwood	Populus deltoides	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1889	7.2	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1890	24.0	Cottonwood	Populus deltoides	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1891	8.4	Winged Willow	Salix laedocarpa	No	Healthy		Lot	Remove	0%	0.0
1892	9.6	Winged Willow	Salix laedocarpa	No	Healthy		Lot	Remove	0%	0.0
1893	32.4	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1894	54.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1893	15.6	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1896	9.6	Cedar Elm	Ulmus crassifolia	Yes	Healthy		Lot	Remove	0%	0.0
1897	49.2	Winged Willow	Ulmus crassifolia	No	Healthy	Main Trunk	Lot	Remove	0%	0.0
1898	51.6	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1899	8.4	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1900	19.2	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1901	24.0	Cottonwood	Populus deltoides	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1902	9.6	Box Elm	Morus pumifera	No	Healthy		Lot	Remove	0%	0.0
1903	24.0	Cottonwood	Populus deltoides	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1904	10.8	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1905	14.4	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1906	12.0	Cottonwood	Populus deltoides	Yes	Healthy		Lot	Remove	0%	0.0
1907	18.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1908	15.2	Box Elm	Morus pumifera	Yes	Healthy		Lot	Remove	0%	0.0
1909	27.6	Cottonwood	Populus deltoides	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1910	12.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy		Lot	Remove	0%	0.0
1911	18.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy		Lot	Remove	0%	0.0
1912	36.0	Box Elm	Morus pumifera	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1914	8.4	Pecan	Carya dioeciana	Yes	Healthy		Lot	Remove	0%	0.0
1915	15.6	Pecan	Carya dioeciana	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1916	8.4	Pecan	Carya dioeciana	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1917	9.6	Cottonwood	Populus deltoides	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1913	1.20	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy		Lot	Remove	0%	0.0
1918	14.4	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Main Trunk	Lot	Remove	0%	0.0
1919	8.4	Post Oak	Quercus stellata	No	Healthy		Lot	Remove	0%	0.0
1920	9.6	Post Oak	Quercus stellata	No	Healthy		Lot	Remove	0%	0.0
1921	25.2	Post Oak	Quercus stellata	No	Healthy	Main Trunk	Lot	Remove	0%	0.0
1922	9.6	Post Oak	Quercus stellata	No	Healthy		Lot	Remove	0%	0.0
1923	9.6	Hackberry	Celtis occidentalis	No	Healthy		Lot	Remove	0%	0.0
1924	10.8	Cedar Elm	Ulmus crassifolia	Yes	Healthy		Lot	Remove	0%	0.0
1925	7.2	Hackberry	Celtis occidentalis	No	Healthy		Lot	Remove	0%	0.0
1926	9.6	Hackberry	Celtis occidentalis	No	Healthy		Lot	Remove	0%	0.0
1927	8.4	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Open Space	Remove	0%	0.0	
1928	7.2	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Open Space	Remove	0%	0.0	
Total Tree Population										163.2
										Total Tree Replacement Caliper Inches



1 TREE PROTECTION DETAIL

NOT TO SCALE

TREE PROTECTION NOTES

- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0\"/>
- DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL, SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
- NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
- NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED.





City of Lucas

City Council Agenda Request

December 1, 2022

Item No. 08

Requester: Development Services Director Joe Hilbourn

Agenda Item Request

Consider the final draft of the City of Lucas Comprehensive Plan and set the public hearing dates for January 12 and January 19, 2023.

Background Information

The Planning and Zoning Commission/Capital Improvements Advisory Committee began the process of updating the City's Comprehensive Plan in January 2022, with recommended revisions being forwarded to City Council for review.

City staff updated the layout of the Comprehensive Plan after completion of the chapter reviews by the Planning and Zoning Commission/Capital Improvements Advisory Committee and the City Council.

Attachments/Supporting Documentation

1. City of Lucas Comprehensive Plan

Budget/Financial Impact

NA

Recommendation

City staff recommends setting the public hearing dates for January 12 and January 19, 2023.

Motion

I make a motion to set the public hearing dates for the Comprehensive Plan for January 12 and January 19, 2023.



CITY OF LUCAS COMPREHENSIVE PLAN

Updated 2022



Silver Certified City for the Keep Lucas Beautiful Program through the Scenic Texas Organization



Governor's Community Achievement Award from TxDOT and Keep Texas Beautiful



ISO Class 1 Rating
Highest Public Protection
Classification Rating Achievable



Lucas Farmers Market
International City/County
Management Association's 2022
Community Partnership Award

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CHAPTER 1 INTRODUCTION

PURPOSE

The Comprehensive Plan is a long-range plan that defines the overall plan for future growth and development in the city. This, in turn, serves as a basis for decision making by staff, elected and appointed officials, and the general public. The original plan, adopted in the late 1980's, initiated the framework for the City of Lucas. Over the years it has been reviewed and updated as growth dictated. Having this comprehensive framework will assist in evaluating proposed actions, decisions concerning changes in local economic and demographic conditions and resources, and will assist in guiding future planning scenarios for Lucas.

The State of Texas has established laws that specifically regulate the way incorporated cities such as Lucas can ensure the health, safety, and welfare of their citizens. It gives cities the power to regulate the use of land, but only if such regulations are based on a Comprehensive Plan. Lucas strives to guide future development without sacrificing the unique character of the city.

In basic terms, the primary objectives of a Comprehensive Plan are to:

- Manage growth in an orderly manner,
- Minimize potential conflicts between land uses,
- Provide for efficient and cost-effective delivery of public services,
- Maintain a high quality of life for its citizens, and
- Establish a rational and reasonable basis for making decisions about the community.

This updated version of the Comprehensive Plan will address the preservation of the country atmosphere of Lucas by identifying the growth and future needs relating to population, housing, land use, economic development, parks, streets, drainage, water, thoroughfares, and capital improvements.

LOCATION

Lucas is located in Collin County just northeast of the Dallas-Fort Worth Metroplex, 30 miles north of downtown Dallas. The city is positioned 10 miles east of the DART Parker Road Station, 30 miles north of the Dallas Love Field Airport, and 40 miles east of the Dallas-Fort Worth International Airport. Lucas is bordered by the City of Allen to the west, Parker to the southwest, Wylie to the south, St. Paul to the southeast, Lake Lavon to the east, and Fairview to the northwest as shown in Figure 1.1.

The population is estimated at 8,631 in 2021 and contains a total land area of 10,323 acres within the city limits.

Lucas has experienced significant growth in recent years as a result of its unique features including:

- Appealing rural atmosphere
- Animal friendly neighborhoods

CHAPTER 1 INTRODUCTION

- Exceptional educational systems
- Proximity to services and shopping
- Low crime rate
- High quality housing
- Large lot sizes
- Nearby recreational facilities

The City of Lucas' location outside the pressures and restrictions of intense urban life, combined with its convenient position relative to local and regional economic and recreational centers, makes Lucas a stable and attractive community.

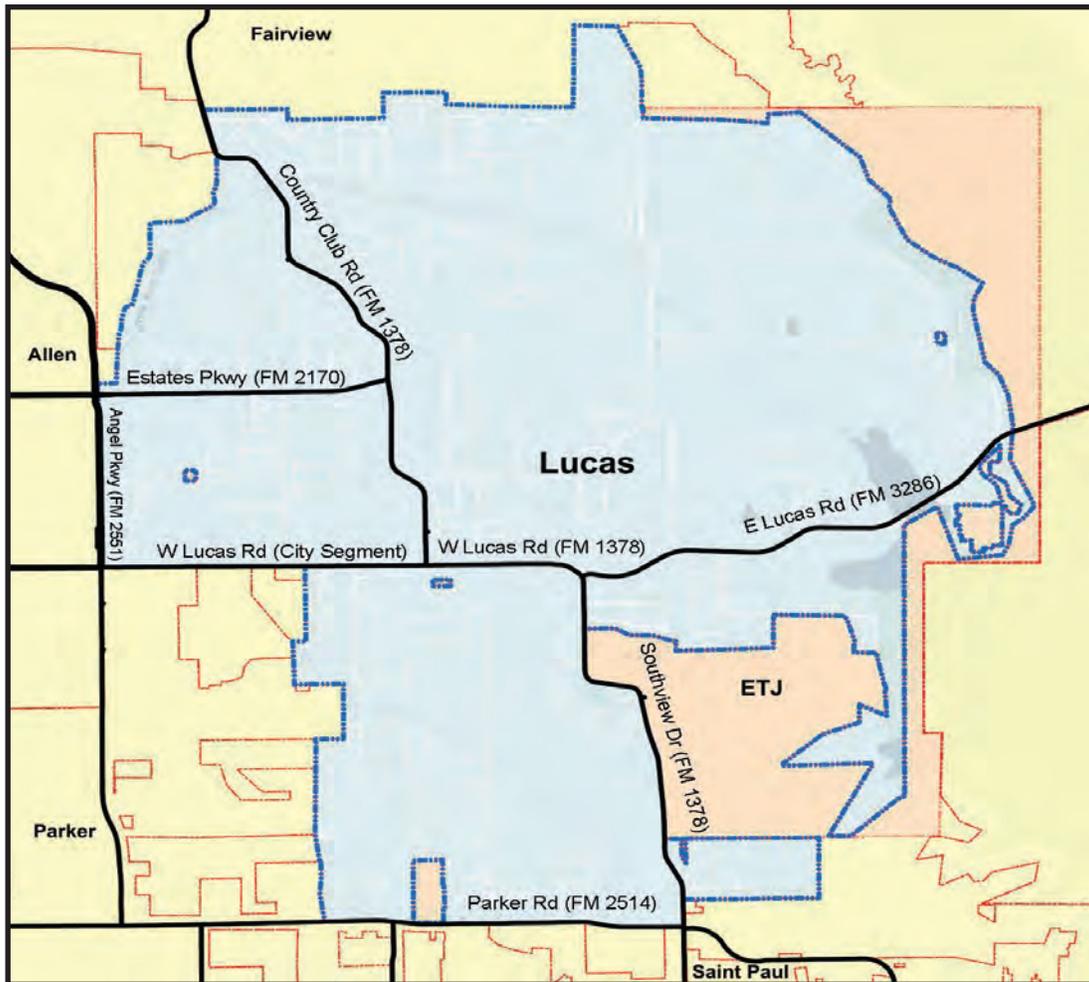


Figure 1.1—City of Lucas, Texas

CHAPTER 2 POPULATION

One of the most important elements of the planning process is the analysis and projection of the population. The purpose of projecting population is to provide a general scale for future development that will be compatible with the prospects and the potentials of the city. Population growth is primarily driven by construction of new housing and the annexation of land.

The population estimates reported in this plan are based on the US Census Bureau, the North Central Texas Council of Governments (NCTCOG) Databases on Demographics, and other state agencies. Over the next 25 years the North Central Texas population is expected to grow by five million people. It is assumed the City of Lucas will also experience significant growth if the local and regional economies remain stable.

After estimating the size and density of the future population, it becomes possible to determine the future level of demand for facilities and to develop indices for issues which typically confront those persons who are actively involved in making decisions related to the planning process. Projected population demand is a rational basis for projecting infrastructure needs and establishing the timing of capital expenditures.

POPULATION TRENDS

The population of Lucas has increased dramatically from 540 in 1970 to 8,631 in 2021. This represents an annual growth rate of 9.2% and reflects the desire of many people to live in a rural or "small town" environment while keeping close to major urban centers. Continued population growth in Lucas is supported by forecast data for Collin County. The population of Collin County is expected to increase by almost 54 percent by 2035. The age composition of the Lucas population provides a profile illustrating when and where the greatest need for various types of public expenditures will be required in order to meet citizen demand.

POPULATION PROJECTIONS

Population projections provide the most basic planning assumptions required for strategically meeting future public needs. Six significant assumptions specific to Lucas help form the basis from which to project future populations, and are listed below:

1. The density and character of development in Lucas will not change appreciably.
2. Lucas will experience in-migration from larger urban areas causing the local population to increase.
3. The average household size will remain 3.22 persons per household.
4. Population can be estimated based on the number of existing houses; the calculation of potential number of houses that can be built on developable land based on projected future land use, and subdivision of land tracts.
5. The City of Lucas is estimated to be built out in 2035. Based upon all the foregoing assumptions, future population projections for both Lucas and the area within its extra-territorial jurisdiction (ETJ) are shown in Figure 2.1 and illustrated in Figure 2.2.

CHAPTER 2 POPULATION

6. Whether the projected population occurs five years early or five years later, the city will require the same number of facilities for the projected number of people.

The anticipated population growth will place additional demands on the City’s infrastructure and resources:

- Streets and bridges
- Water and wastewater system (wastewater serves non-residential uses only)
- Stormwater management
- Parks and recreational facilities
- Environmental, educational, safety and health services
- Public Safety

Lucas should set goals for both the desired population levels and facilities necessary to accommodate the resulting demands. Most of these topics will be discussed in the following chapters of this Comprehensive Plan.

YEAR	POPULATION (CITY LIMITS ONLY)	PERCENT GROWTH	ANNUAL GROWTH RATE	POPULATION (ETJ)	POPULATION (CITY LIMITS & ETJ)	PERCENT GROWTH	ANNUAL GROWTH RATE
2020	7,895	14.8%	3.5%	3,296	11,191	22.7%	5.2%
2025	9,704	11.1%	2.22%	4,862	15,266	18%	4.5%
2030	11,901	18.5%	3.7%	5,796	17,697	16.2%	3.24%
2035	12,094	1.6%	1.6%	5,951	18,861	6.2%	1.24%

Figure 2.1 - City of Lucas Population Projections

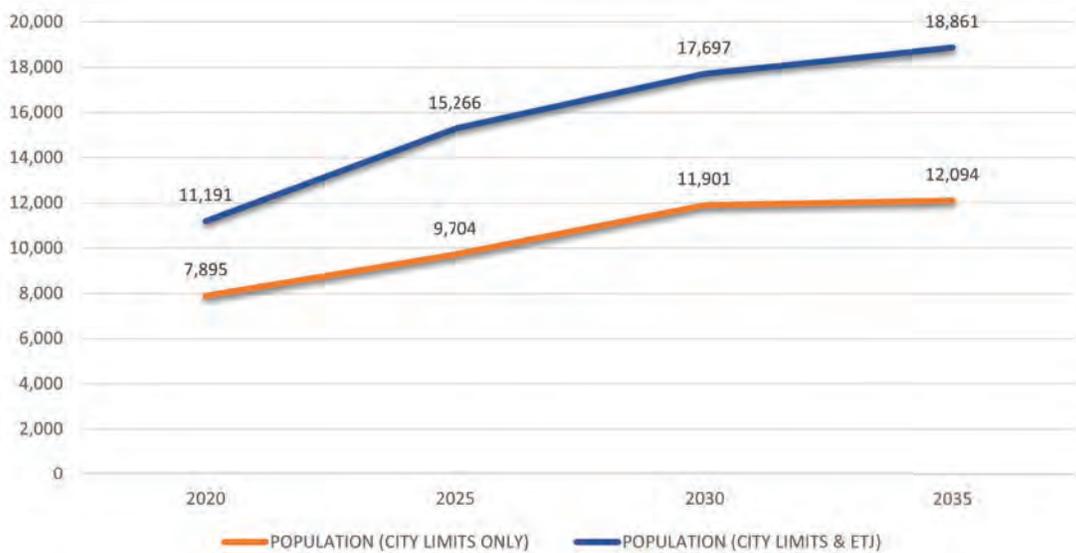


Figure 2.2 - Lucas Population Projections

CHAPTER 3 HOUSING

INTRODUCTION

There are four generally recognized determinants of the level of effective demand for housing units as follow:

1. The physical sources of housing demand which includes the number and type of family units in an area and the need for replacing existing units.
2. The level of wealth in an area and the distribution of that income.
3. Mortgage rates.
4. The supply price of housing which is the cost of providing the residents of an area with appropriate housing facilities.

The complex interaction of these four considerations works to determine whether adequate housing of the appropriate types is available to the residents of Lucas.

EXISTING HOUSING ANALYSIS

As of January 1, 2021, housing inventory in Lucas is:

- 2,680 Single family housing units
- 24 Semi or non-permanent housing units (e.g. Assisted Living Facilities)
- 1,210 ETJ single family housing units
- 3,914 Total housing units

HOUSING GOALS AND OBJECTIVES

Although Lucas will add dwelling units through new construction, existing units must be adequately maintained to meet the local housing demand and foster a stable housing environment. It should be assumed that all housing and properties within the community are maintained in a reasonable (or sound), safe and sanitary condition for their useful service life. To enable the city to direct its efforts in developing housing with the highest and best use, the following specific goals and objectives should be followed:

GOAL 1

Encourage suitable development of land with adequate lot sizes, paved streets and utilities.

Objectives:

- Establish and maintain subdivision ordinances to ensure that new infrastructure meets or exceeds minimum city requirements.
- Encourage high-quality construction through the continued enforcement of city ordinances and adopted building codes.
- Alleviate maintenance and service issues by upgrading existing infrastructure (water service, streets and drainage) to meet or exceed minimum standards.

CHAPTER 3 HOUSING

GOAL 2

A sufficient choice of adequate housing should be provided to meet the needs of individuals.

Objectives:

- Zone land to promote long-term neighborhood stability.
- Maintain moderate density housing in suitable locations on the periphery of the city.

FUTURE HOUSING REQUIREMENTS

To provide an indication of the future demand for housing in Lucas, it is necessary to project the number of housing units which will be needed. These projections are based upon the assumption that the average household size would remain at 3.22 persons during this planning period. Allowing for a five percent vacancy rate and reflecting anticipated future population levels, the future total housing needs for Lucas are estimated and illustrated in Figure 3.1. Lucas should encourage the maintenance or rehabilitation of older homes so they remain habitable over the planning period and beyond. As the population ages, provision must be considered for proper accessibility for an increasing elderly and disabled population. Attention to building design and adaptability can achieve a solution to this challenge.

HOUSING ACTIONS

Housing needs and some of the potential housing issues within the City have been identified above. The prevention of housing issues in Lucas will require the development and implementation of an effective housing program. Although this will be an ongoing process, specific actions for the next five years have been developed. These actions, which will be of negligible cost to the city, are listed below.

Action Items:

1. Beginning with those units in worst condition, complete the rehabilitation of housing units in the City by using one or a combination of the following methods:
 - Strict enforcement of the City's ordinances and building codes.
 - Establish or coordinate with existing community groups such as Habitat for Humanity to help those lacking the means to rehabilitate their property.
2. Review zoning ordinance for compliance of development within the city.

CHAPTER 3 HOUSING

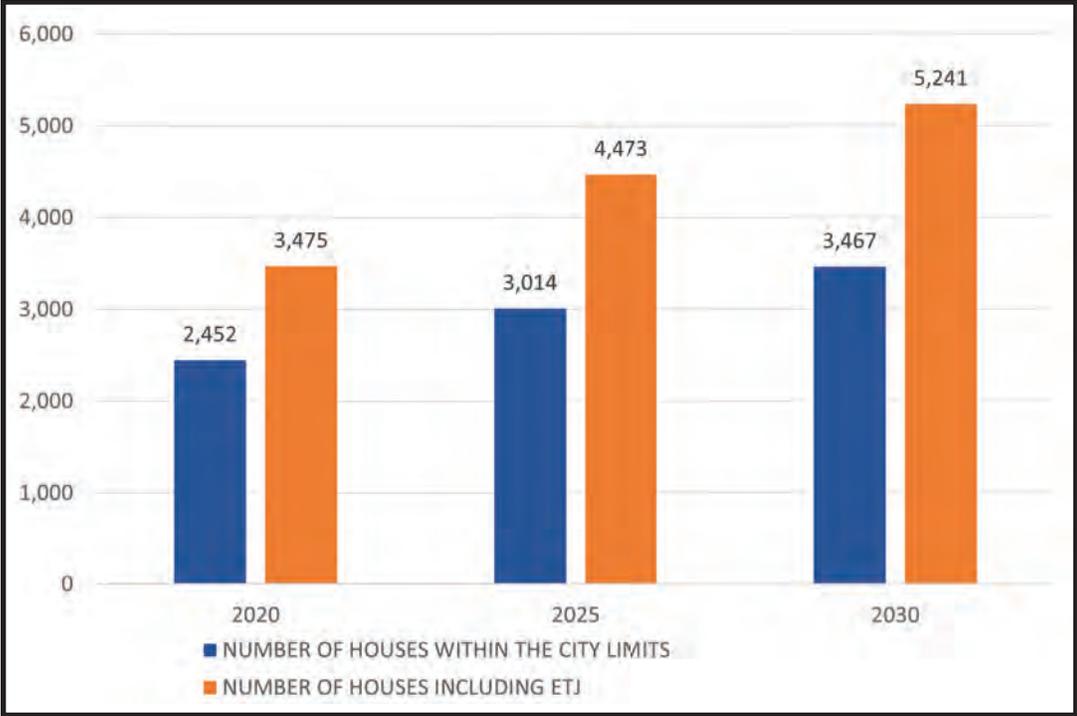


Figure 3.1 – Projected number of housing unit needs for City of Lucas and extra territorial jurisdiction.

CHAPTER 4 LAND USE

INTRODUCTION

The land use analysis provides both statistical and graphical information concerning the various types, amount and intensity of land use within Lucas and identify problems which have arisen as a result of conflicting land use patterns or inappropriate land uses. An updated future land use plan can then be produced enabling Lucas to better guide land development in a manner which reflects local goals and objectives.

The total corporate limits of Lucas comprise 10,323 acres of land while the actual developed area of the city covers 9,008 acres. ETJs cover an additional 1,315 acres. Lucas has annexed all of the pockets of ETJ previously surrounded by corporate limits and the remaining ETJ tracts, excluding those located in the Seis Lagos Utility District for which there are no plans for future annexation, have a development agreement in place providing a timeframe for annexation.

ANALYSIS OF EXISTING LAND USE

Residential Land Use

Residential land use consists of 6,045 acres of single-family land use and 43 acres of manufactured homes land use, or 58.98 percent of the gross land area of Lucas. This is the most important land use classification in Lucas. Most single-family development lies in the central portions of Lucas, taking advantage of gentle topography which is out of floodplain areas. Although there are some scattered commercial uses intermingled with single-family uses, most neighborhoods contend only with vacant lots as the only other use present. Manufactured homes account for 0.55 percent of total developed land area.

Commercial Land Use

Commercial land use covers 505 acres or 4.89 percent of the gross land area of Lucas. Access to public sewer facilities is allowed only in areas designated by metes and bounds that have been zoned for commercial use.

Lucas families are served by six independent school districts. The majority and central portion of Lucas are served by Lovejoy ISD with significant portions of the perimeter of the city split between the other districts but no other district having campuses within city limits. Lovejoy ISD has 3 campuses within Lucas. These are Hart Elementary School, Willow Springs Middle School, and Lovejoy High School. Lucas Christian Academy serving grades K-12 is also based in Lucas and serves area families. The public-school districts partially located in Lucas are as follows:

- Allen ISD
- Lovejoy ISD
- McKinney ISD
- Plano ISD

CHAPTER 4 LAND USE

- Princeton ISD
- Wylie ISD

Most of the remaining commercial land uses within the city are in close proximity to the major roadway system. At present, there appears to be minimal conflict between commercial and adjacent land uses.

Industrial Land Use - (These parcels are zoned Light Industrial)

Industrial land use covers seven acres or 0.07 percent gross land area of the city and consists of light industrial uses along the north side of West Lucas Road. These light industrial uses have potential for conflict with adjacent future residential uses.

Streets and Rights-of-Way

Land utilized for streets and utilities comprises 971 acres, or 9.41 percent of the gross land area of Lucas. Streets do not pose any conflicts with other land uses in Lucas as these uses tend to be compatible.

Public/Semi-Public Land Use

Public and semi-public land use within Lucas covers 29 acres, or 0.28 percent of the gross land area. Most of this land is utilized for city facilities, cemeteries, and public utilities such as water towers.

Parks Land Use

Parks land use covers 153 acres, or 1.48 percent of the gross land area of the city. This includes three neighborhood parks, the Lucas Community Park, and two parks located adjacent to Lake Lavon. In general, parks are compatible with their surrounding land uses.

Agricultural and Open Space Land Use

The remaining land use types, including agricultural and open spaces, are located at various locations throughout the city. Agricultural and open spaces cover 2,570 acres or 24.9 percent of the gross land in the City of Lucas. This also includes those areas which are usually subdivided into lots with access to potable water facilities and paved streets or where surrounding development densities make agriculture or ranching less practical. This also includes land located in flood plains.

SOCIO-ECONOMIC AND MAN-MADE INFLUENCES AFFECTING LAND USE

An analysis of the existing development activity in Lucas should examine the following basic influences: population growth, housing availability, public utilities and facilities, transportation, and

CHAPTER 4 LAND USE

development constraints posed by both the natural and man-made environment. This can then be used to better determine the influences which will define future land development in the city.

Housing

Lucas is comprised of primarily single-family housing units. With a steady growth in population, it is anticipated that the demand for well-constructed and well-maintained housing will continue to increase. Therefore, more units will need to be built to provide adequate and safe housing for the growing population. As the city's development approaches a "built out" condition, the increase in tax revenue due to new housing should be expected to diminish.

Infrastructure

Future growth and appropriate levels of service depends upon the city's water supply and distribution system, street system, and drainage system at suitable capacities and operational levels to meet demands. Various elements of Lucas' water, streets, and drainage systems will need improvement in the coming years.

Public/Semi-Public Facilities

Public facilities in Lucas include a City Hall, community center, parks, cemeteries, fire station and utility sites. As the future population increases, there will be a corresponding increase in the demand for these public facilities.

OTHER SERVICES

There will be an increase in the local demand for retail and/or consumer services as the population increases. Lucas has approximately 5.85 acres of commercial land use per 100 inhabitants (excluding the schools). To avoid conflict with adjacent residential uses and minimize negative traffic impacts, future commercial uses should generally continue to be confined to peripheral areas of the city.

ETJ AND FUTURE ANNEXATIONS

The ETJ of Lucas includes:

- Land adjacent to Lake Lavon
- A municipal utility district in the southeast corner of the city
- Several pieces of land adjacent to the city

CHAPTER 4 LAND USE

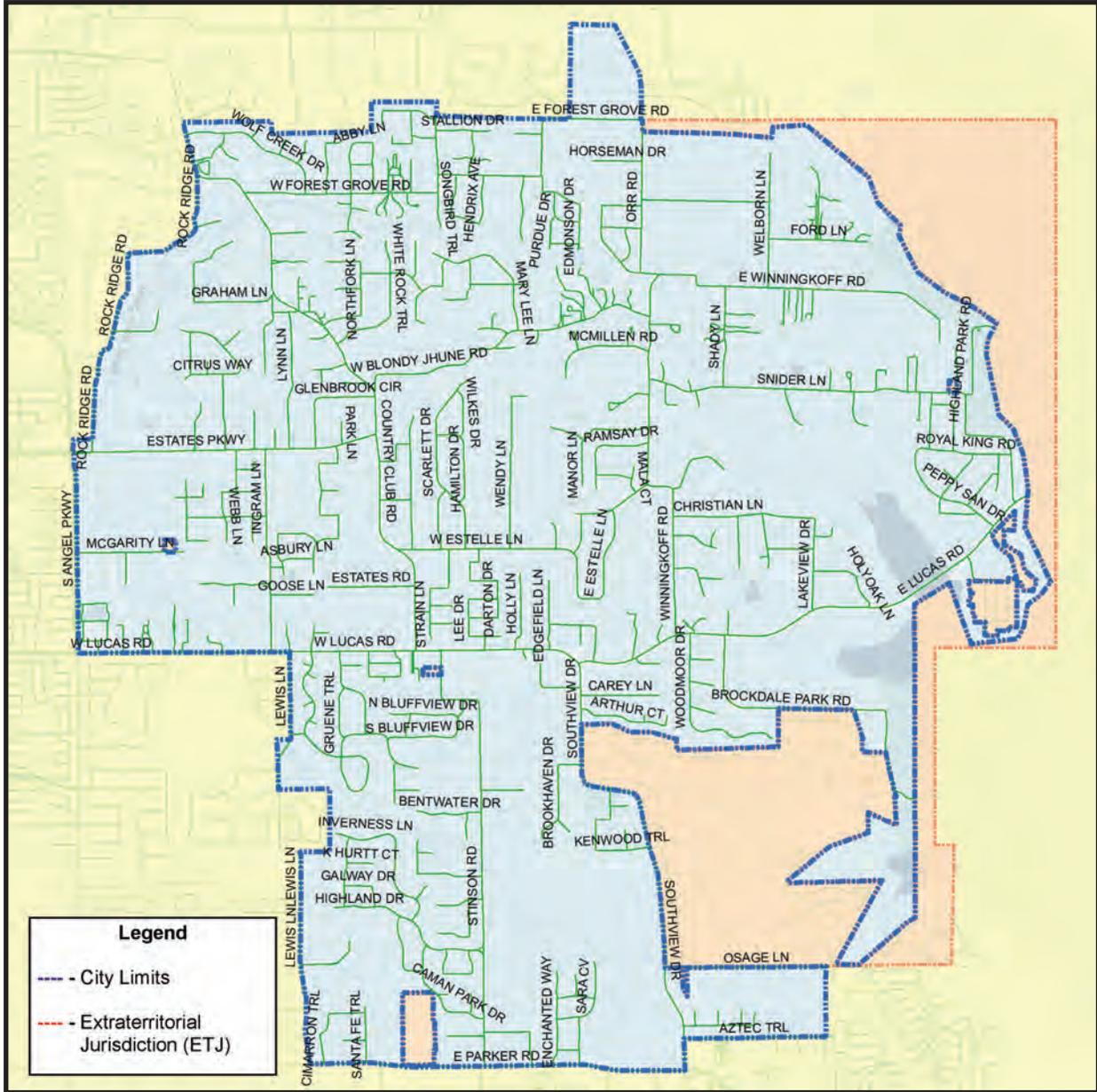


Figure 4.1- City Limits and Extraterritorial jurisdictions (ETJ)

CHAPTER 4 LAND USE

The composition of the ETJ area is presented in table 4.3 and figure 4.4. Any future large-scale residential development in the ETJ area will most likely occur to the southeast adjacent to Lake Lavon. It should be noted that development agreements are in place which preclude some of the ETJ areas from annexation at the time of preparation of this Comprehensive Plan and that some areas of ETJ are currently located in Municipal Utility Districts that cannot be partially annexed and are not entirely within Lucas ETJ, thereby preventing them from being annexed. The only available area for annexation at this time, excluding those with a development agreement or Municipal Utility District (MUD), is Trinity Park.

LAND USE	ACRES	% OF GROSS
SINGLE FAMILY — MANUFACTURED HOUSING	1,100.02	83.65
COMMERCIAL	37.44	2.85
INDUSTRIAL	0	0
PARKS	32.39	2.46
PUBLIC/ SEMI-PUBLIC	2.15	0.16
STREETS	103	7.83
AGRICULTURAL AND OPEN SPACE	40	3.04
TOTAL	1,315.00	100

Figure 4.2 - Allocation of Existing ETJ Land Use

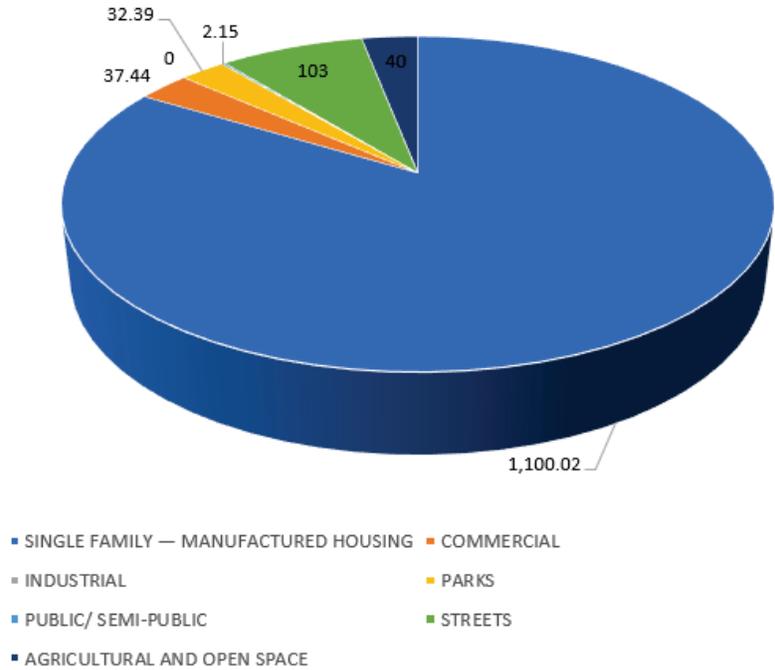


Figure 4.3- Allocation of Existing ETJ Land Use

CHAPTER 4 LAND USE

ZONING AND SUBDIVISION REGULATIONS

Lucas has previously adopted zoning and subdivision ordinances. Subdivision Ordinances provide the city with control over development practices within both the city and to a far more limited extent, the ETJ. Zoning ordinances are used to regulate land uses that can occur within the city limits. The continued monitoring of these ordinances is important to ensure future development activities are consistent with the city's development objectives.

LAND USE GOALS AND OBJECTIVES

The overall goal of Lucas' land use policy is to optimize land use in order to improve the quality of life of Lucas residents. To achieve this, Lucas needs to avoid traffic congestion, inadequate or obsolete utilities or services and the location of incompatible land uses adjacent to one another. The proper planning and use of land will result in well-ordered land uses and development patterns as the city progresses.

To achieve this overall goal, the City of Lucas has carried forward the same goals and objectives established in the past Comprehensive Plan.

LOCAL GOALS AND OBJECTIVES AFFECTING DEVELOPMENT

GOAL 1.

Develop the community in a manner which preserves and maintains property values and is consistent with the city's ability to serve existing and future development.

Objectives:

- Plan for reasonable demand with regard to water, street circulation and neighborhood connectors.
- Maintain the present rural atmosphere with a majority of large-lot residential development.

GOAL 2.

Preserve the residential and rural small-town atmosphere of the community while encouraging quality commercial development.

Objectives:

Utilize the "Survey of selected business" as a guideline for attracting business to the community.

- Ensure that commercial and other "high activity" uses are adjacent to designated neighborhood connectors to maintain acceptable fire/emergency response times.
- Preserve peripheral areas to the south and west for future limited commercial and moderate density residential development.

CHAPTER 4 LAND USE

- Regularly review, update (if necessary) and enforce the zoning and subdivision ordinances to minimize the intrusion of incompatible land uses.
- Promote the general health and safety of the community residents.

It is important to understand that the Land Use Plan for Lucas is intended to serve as a general guide for the future development of the city. It should be considered flexible in nature, rather than a rigid blueprint for future land use. The population, housing, infrastructure and land use data contained in sections of this Comprehensive Plan serve to establish the determinants for land use projections.

FUTURE LAND USE

Land Use Planning Principles and Process

The following principles are considered applicable to the proper designation of land for residential use:

- Residential land should be well drained and free from danger of floods.
- Residential land should be readily accessible from, but not necessarily facing, arterial or collector streets.
- Residential land should be free from encroaching incompatible land uses.
- Residences should be able to access community facilities such as parks, schools, playgrounds and commercial facilities serving everyday needs.

Factors relating to the designation of land for commercial uses include:

- Must be located to maximize the use of major neighborhood connectors while minimizing excessive traffic impacts on residential roads and neighborhoods.
- Should be limited and compact.
- Must allow for safe automobile/pedestrian access and circulation. (Commercial areas require sidewalks per our adopted regulations)
- Must be designed to avoid blighting effects on adjacent residential land and must be kept from encroaching on other sensitive land uses.

The proposed locations for commercial activities on the periphery of the community is acceptable in terms of decreasing traffic stresses on central area roadways while providing accessibility to area customers. Commercial areas, if properly developed with landscaping programs and a developed access route to remove consumer traffic from through traffic, can be an asset to a community. It is with these factors in mind that the following principles were established for the planning of commercial areas:

- Commercial land uses should be formed into compact developments, avoiding "strip commercial" growth.

CHAPTER 4 LAND USE

- Avoid the occurrence of scattered commercial development along major highways. Commercial activities should be consolidated into a few well-organized areas to take maximum advantage of utilities and services and to promote the economic well-being of the total business community.
- Adequate off-street parking and access should be utilized for commercial areas to decrease potential congestion and safety hazards.

As the City of Lucas grows, future fire stations and emergency sites should be located to minimize the response time in accordance with national standards.

In order to formulate, adopt and implement a plan that accomplishes the foregoing overall goals and objectives, it is important to incorporate certain basic planning principles and processes into the local future land use planning effort. The Future Land Use Plan expresses projections that are based on sound planning principles, recognizing and supporting existing land uses, community facilities and physical features.

The plan for Lucas suggests that certain areas be reserved and developed for various land uses. Selecting the pattern and distribution of future land use is best accomplished through:

1. analysis of existing land use characteristics
2. effects of existing infrastructure
3. location of existing neighborhood connectors
4. application of recognized planning principles

These characteristics and principles establish a process by which to judge the most optimum and best land use based on local and community-wide standards. There are two advantages of going through such a process. First, it results in a land use plan for the city as represented by the Future Land Use Map. The Future Land Use Map can be used to assure that individual decisions follow a comprehensive pattern. It also helps in the sensitive but necessary evaluation of change with respect to public and private benefits. Second, the establishment of this planning process provides the city with a method of logically making subsequent land use decisions.

RECOMMENDED ASSIGNMENT OF LAND USES

Residential Land Use Requirements

The assignment of land uses is then based upon the goals, objectives and planning principles previously stated. It is anticipated that new residential uses will be built as (1) new subdivisions close to or within current city limits, as (2) larger lot development in sparsely populated areas adjacent to Lake Lavon and the ETJs, and as (3) in-fill development/redevelopment. As one moves further west and south, residential densities transition from larger lots of two or more acres, to lots of one and one-half acres, and one acre. Establishing this hierarchy of development density will result in a more cohesive distribution of land uses throughout the city.

CHAPTER 4 LAND USE

Commercial Land Use Requirements

Future commercial land use allocations in Lucas should focus on peripheral locations to minimize traffic impacts on residential areas, reduce the potential for incompatible land uses, and minimize subsequent potential adverse effects. These locations will serve local needs with limited impacts to commuter and passerby highway traffic.

Industrial Land Use Requirements

No provision is made for future industrial development in Lucas. There are no apparent benefits to the city in preserving areas for industrial development.

Parks Requirements

With respect to parks and open space, local opportunities for residents exist in Lucas. Expanded recreation options can be a benefit if operating and maintenance costs are held to manageable levels. Refer to Chapter 6 for detailed information on Parks and Open Spaces.

RECOMMENDED LAND USE PLAN

The Future Land Use Map must be continually updated to reflect changes in the Future Land Use Plan as they take place. A current delineation of existing conditions in both graphic and tabular form will not only allow for an up-to-date analysis of needs but will also allow for a measurement of success in achieving the Plan. Further, the Future Land Use Map should be used as a guide to keep incremental changes of the community in perspective. The individual decisions which shape the community, however, should be evaluated with respect to the characteristics and principles discussed throughout this document. Exceptions to this plan can be made and can be acceptable on a case-by-case basis where the greater good of the community is enhanced.

CHAPTER 5

ECONOMIC DEVELOPMENT

INTRODUCTION

Economic Development can be defined as the basis by which a community maximizes or preserves the quality of life for its citizens. Economic development is a complex process vital to a community's pursuit of greater prosperity. Successful community development is a result of a well-executed economic development process that is given high priority by local leadership and supported by residents. Moreover, economic development provides local employment and investment opportunities that generate these revenues. These revenues pay for public improvements, services, and facilities, as well as offset increases in property taxes. However, for the City of Lucas, it is important to understand that economic development is only supported when it sustains the overall livability of Lucas. What does the term livability mean regarding city planning? Many intangibles make a city livable, such as a sense of community, a strong sense of place in particular areas, city pride, and the friendliness of neighbors. However, there are also tangible aspects which can nurture livability. Therefore, the aspects of livability that this chapter will embrace include:

- Creation of trail network that connects neighborhoods;
- Creation of neighborhood identity, and areas with a strong “sense of place”;
- Aesthetic quality of the neighborhoods and community;
- Proximity to open space and recreational opportunities;
- Ease of access to and quality of retail and restaurants;
- Traffic flow and managing the impact of development and the associated increase in traffic on neighborhoods;
- Sustainability in buildings and development pattern; and
- Accessibility to natural areas

DEVELOPMENT CHARACTERISTICS AND POLICIES

Regional Context

Many aspects of regional development and demographic trends have a significant influence on economic potential. State, national, and international economics influence the regional and local economic potential, as well as contribute to the underlying assumptions for conducting regional and local economic analysis. Lucas, with a current population estimate of 8,631 persons in 2021, contains a total land area of approximately 10,323 acres. An additional 1,922 acres is located within the ETJs. The city's location in Collin County places it on the northeastern edge of the Dallas/Fort Worth Metroplex, convenient to most major employment centers.

Physical Growth Patterns

The Future Land Use Plan (Figure 4.5) depicts future land development characteristics for Lucas. Lucas is a traditional bedroom community with primarily large single-family lots and open spaces located through the core of the city with commercial located on the periphery. Residential development is served by on-site sewerage facilities (OSSF), which requires a minimum of one acre for

CHAPTER 5

ECONOMIC DEVELOPMENT

a residential home site. Most commercial development is served as defined by the Wastewater Master Plan. Commercial development is planned in two primary areas of the city. Both of these areas have been planned and have all necessary services installed for development. Unlike residential development, most of these areas for commercial development have access to sanitary sewer infrastructure installed with capacity available to meet future demand for these services.

In the past, the majority of commercial establishments consisted of small retail providers catering generally to local trade. In recent years major commercial growth has occurred along the western city limit boundary near the City of Allen, between West Lucas Road and Estates Parkway. In addition to development of commercial establishments near the western city limit, future commercial growth is anticipated near the southern city limit boundary in an area west of Southview Drive. Since Lucas foresees itself in the future as a community of primarily low-density residential uses, the city will focus on appropriate, smaller scale commercial development, which will generate an acceptable level of sales tax revenues while effectively serving the needs of the local population base.

Local Regulations and Development Policies

The local regulations are reflected in the City's subdivision and zoning ordinances. Both ordinances must effectively direct development activities in a manner which reflects local goals and objectives while recognizing realistic development standards. These regulations are not intended to discourage growth but rather to ensure that any new development provides for quality facilities and services.

Economic Base Study

The majority of all workers living in Lucas tend to be employed in occupations which require a higher or higher/moderate skill level. According to the US Census Bureau estimates for 2016-2020, the median household income in City of Lucas is \$174,500, which is almost three times the \$63,826 median household for the State of Texas.

Utility Services

The City of Lucas is the retail provider of water for its residents and businesses and its water wholesaler is the North Texas Municipal Water District (NTMWD). Details regarding the water system are described in Chapter 8 (Water) of this planning document. TXU and Grayson/Collin Electric provide electrical distribution. Natural gas, supplied by CoServe, is available in limited areas of the city.

Industrial Sites

Presently, there is no industrial development in Lucas. The high land costs in the area, compared to the Dallas/Fort Worth Metroplex, zoning restrictions, the limited sanitary sewer system and the emphasis on Lucas remaining a low-density residential community are factors which make future industrial development in Lucas unlikely. The proximity of Lucas to major employment centers

CHAPTER 5 ECONOMIC DEVELOPMENT

makes the issue of local job creation less important. Residential development is and will continue to be the most dominant land use along with minor ancillary development.

Commercial Sites

Lucas has a total of 505 acres of commercial development. By excluding land reserved for schools, 375 acres are directly reserved for commercial land uses. Future commercial sites will be located on the periphery of the city to minimize intrusive traffic volumes on interior neighborhoods. Details are provided in the Land Use Section of this planning document.

Community Assessment

It is important to note there is a critical link between economic development and comprehensive planning. Economic development is impacted by:

- Land use;
- Zoning;
- Accessibility to utilities;
- Access via transportation systems and infrastructure; and
- Demographics

Characteristics of the City of Lucas include:

1. A property tax rate lower than the average for cities in Collin County and for cities in the DFW region. (\$0.288397 in 2021)
2. The city has had a fiscally conservative City Council that places an emphasis on providing balance between necessary services with low taxes.
3. Skilled labor represents a high percentage of the Lucas work force.
4. Commercial land availability along FM 2551 and the southeast quadrant of the city (FM 1378 and Parker Road).
5. Vacant land for additional housing.
6. Available sewer service in commercially zoned areas as defined by the Wastewater Master Plan.
7. Land prices are higher than regional or state averages.

It is important for Lucas to realize its potentials and liabilities in terms of future economic development. Because of its location, Lucas has more potential for developing as a quality residential area than it does in becoming a significant economic center. However, it is important for Lucas to develop some commercial areas to meet the needs of residents.

While it is possible to operate primarily upon property taxes, doing so may require undesirable constraints on future spending. It is important Lucas not become dependent solely upon property taxes as the only revenue source for local government operations. Lucas needs a healthy mix of ad valorem and sales tax revenue. Ad valorem taxes should be used generally for day-to-day operations while sales tax revenue should be used for capital projects.

CHAPTER 5

ECONOMIC DEVELOPMENT

Decisions regarding business location will come from the business owner and their willingness to invest in a particular site, however, the city's development environment as conveyed through its development codes will have a major impact on where and what type of business activity takes place.

ECONOMIC DEVELOPMENT PLAN

Economic development in Lucas should have two major thrusts: (1) maintain appropriate housing development and (2) attract businesses that are appropriate for the community. Commercial development has benefitted the city with increased tax revenue. Balancing the financial well-being of the city and its ability to provide essential services with the citizens' desire to maintain the features and attributes of the city is paramount. Therefore, it is important to emphasize citizen feedback during public meetings regarding economic development.

HOUSING SUPPLY

The demand for quality, upscale housing in Lucas is expected to continue. Lucas should focus on quality housing to ensure that community values are maintained, and the city continues as a desirable place to live.

ATTRACTING NEW BUSINESSES

Attracting appropriate new businesses to Lucas will increase tax revenues and fund city-provided services. There is attractive land available for new businesses in the western and southern city limit boundaries with infrastructure in place or in the planning stages. The western area is accessible through three arterial roadways including West Lucas Road, Estates Parkway and Angel Parkway. The area in southern part of city is similarly accessible through two major arterial roadways, East Parker Road and Southview Drive.

The citizen's preferable commercial businesses survey conducted by the city in 2015 should be utilized to attract businesses desired by its citizens. The top five responses from the survey include:

- Sit Down Family Restaurant
- Farmers Market
- Garden/Nursery
- Grocery Store
- Feed Store

These types of retail establishments typically generate good sales tax revenues. It is anticipated that planning for the development of similar businesses in the western and southern part of the city in commercial zoning areas will continue.

CHAPTER 5 ECONOMIC DEVELOPMENT

ECONOMIC DEVELOPMENT GOALS AND OBJECTIVES

Based on input from Lucas citizens, boards, commissions, City Council and staff, the following economic development goals and implementation strategies are recommended:

GOAL 1

Support business endeavors that are in harmony with the rural characteristics and unique environment.

GOAL 2

Improve and maintain the infrastructure to support growth in the tax base and sustain a sound financial future through the adoption and implementation of a capital improvement program.

GOAL 3

Attract businesses to Lucas that serve the local population and promote the livability and a high quality of life for our citizens.

CHAPTER 6 PARKS, RECREATION AND OPEN SPACE

INTRODUCTION OF PARKS, OPEN SPACE, AND TRAILS

Lucas is a distinctive community with unique features in design and surrounding natural environments. The city contains a total land area of 10,323 acres and 75 percent (or 7,742 acres) of the land has been developed. The remaining acres of land are vacant or being used for agricultural related purposes. Lucas is primarily comprised of low-density housing, large residential lots, and natural open spaces. Lucas is a hidden gem community with estate style living in the DFW Metroplex that is easily accessible to public parks, trails, recreational activities, and Lavon Lake. The city's entire eastern boundary borders along Lavon Lake and the Trinity Trail, which is a 25-mile trail designated for equestrian and pedestrian use only. There are three public parks, one private park, and three public trailheads located in Lucas; however, there is no planned or designated open space system.

The City Council appoints a Parks and Open Space Board (POSB) that serves in an advisory capacity to the City Council in all matters relating to parks and open space. The POSB makes recommendations on the implementation of beautification programs and projects to enhance the natural beauty of Lucas. During this update of the Comprehensive Plan, the city worked with POSB on making necessary revisions to help provide guidance on future planning for parks, open space, and trails. This collaboration has also led to an update of the Trails Master Plan (TMP) where new trail sections have been added to show the connectivity between neighborhoods, public parks, facilities, and the Trinity Trail. The updated Parks, Open Space, and Trails Master Plan (POSTMP) continue to place an emphasis on providing public access to recreational opportunities while preserving the natural environment of Lucas.

PREVIOUS PARKS AND OPEN SPACE MASTER PLANS

1988 – The first Comprehensive Plan for Lucas was adopted in 1988 and included a section on parks which indicated there were no recreation areas within the city. The plan revealed there was a lack of open space and recreation areas that needed to be addressed as the city continued to be developed.

2003 – The City Council adopted Ordinance No. 2003-11-00490 entitled Park Land Dedication to provide requirements for park land dedication in new residential and mixed-use subdivisions and to provide for necessary planning for open space preservation and park development. The Ordinance states the following requirements for park land dedication:

- The city shall create and maintain a master park plan.
- The master park plan shall designate the size of the parks and the park zones that are to be supportive of these parks.
- Dedication of park land shall be in accordance with the master park plan.
- The city will determine the park location based on land suitability.
- This master park plan may be, from time to time, updated and amended at the discretion of the city.

CHAPTER 6 PARKS, RECREATION AND OPEN SPACE

2004 – The city completed an update to the Comprehensive Plan which included a section on parks and open space. A community survey was conducted to determine interest regarding parks, open space, and recreational amenities.

2005 – Lucas moved forward with developing the POSTMP. The city conducted another citizen survey to verify the accuracy of past survey results. The survey findings suggested that citizens were most interested in multi-purpose trails (walking, hiking, and biking), undeveloped open space, picnicking/pavilions, fishing piers, and equestrian trails/arena. These top preferences can be attributed to the rural character of Lucas and its proximity to Lake Lavon.

Public workshops and meetings were held to obtain additional public input where the citizen concerns were also found to be consistent with the citizen survey results. The citizen group agreed that Lake Lavon was a major resource for Lucas. This led to recommendations to preserve park land along the lake and that the trail system should also link residential neighborhoods to the lake.

2006 – The POSMP was adopted by the City Council and serves as the master plan for the physical development of the city to provide recommendations for its growth, development, and beautification.

2015 – The City began efforts to update the Comprehensive Plan and the POSMP. These efforts included town hall meetings and workshops to receive citizen feedback about local parks, recreation, and open space priorities. POSB took on an active role in recommending updates including developing the TMP.

2017 – The City Council approved the Comprehensive Plan which included the TMP and updated POSMP. The Trails Master Plan designates all trails east of FM 1378 (Country Club Road) to be equestrian and hiking trails. All trails west and south of FM 1378 are designated as multi-purpose trails.

2021 – In this newly updated Comprehensive Plan, POSB recommends new changes to the TMP located in the southern trail section (Willow Springs Middle School to Southview Drive) and northern trail section (Trinity Trail Connect). POSB has prioritized sections of the TMP based on connectivity to schools, public facilities, and access points to the Trinity Trail. The POSB has also expressed an interest in the expansion of existing parks to accommodate more visitors as the population grows.

EXISTING PARKS AND OPEN SPACE

The City of Lucas operates three public parks in addition to having preserved considerable open space and accessibility through the development process. The City's public parks are the Lucas Community Park, Kenneth R. Lewis Park, and Forest Creek Park. There is a private park which is located in the Stonegate subdivision. Brockdale Park and Highland Park are also located in Lucas; however, the parks are located on land owned by the U.S. Army Corps of Engineers (USACE). Lucas has three accessible trailheads available to the public: East Winningkoff Trailhead, Brockdale

CHAPTER 6 PARKS, RECREATION AND OPEN SPACE

Trailhead, and Highland Park Trailhead. The city owns and maintains the East Winningkoff Trailhead which provides trail access in the northern area of Lucas. The USACE owns and maintains the Highland Park and Brockdale Park Trailheads which provide trail access on the eastern areas of Lucas.



LUCAS COMMUNITY PARK

665 Country Club Road

The city established the Lucas Community Park in 2009 and is located south of City Hall. The park is three acres and offers a five-foot-wide concrete sidewalk that circulates around two adjacent walking loops. The park also includes a pavilion, picnic tables, benches, barbecue grills, fire pit, and a large playground. Lucas residents and non-

residents have the option to reserve the pavilion for a fee. There is also the Community Center located on the west area next to a gravel parking lot. The Community Center is only available to Lucas residents to reserve at no cost. The facility provides an opportunity for residents to utilize the event space and rooms for special occasions. There is a public parking lot located between City Hall and the park. Improvements were made to the gravel parking lot to expand parking capacity during special events. Drainage improvements were made to the western park loop to prevent any flooding from that area of the park.

KENNETH R. LEWIS PARK

820 Southview Drive

Kenneth R. Lewis dedicated park land to the city in 1989. The park became known as Kenneth R. Lewis Park and is situated on five acres. Two-thirds of the park is open space and undeveloped for use with recreational activities. The park includes a baseball/softball field with a dugout, soccer fields, pavilion, restroom facilities, and public parking. There is also a concrete pathway surrounding the park that is available for walking.



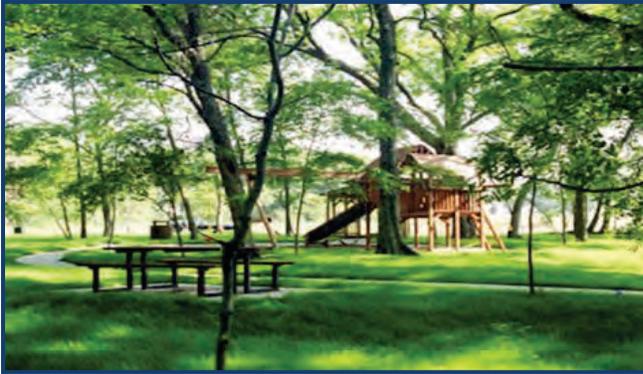
FOREST CREEK PARK

985 Orchard Gap Lane

Forest Creek Park is a neighborhood park located near the subdivisions of Forest Creek Estates, White Rock Creek Estates and Northfork Ranch in the northern section of Lucas. The public can access the park from Country Club Road via Orchard Gap Lane off Norfolk Lane or White Rock

CHAPTER 6 PARKS, RECREATION AND OPEN SPACE

Trail. The park is two-acres consisting of a parking area, pavilion, two playgrounds, open space, sport court, and soccer field with goals. The city made park improvements to remove dilapidated structures which accumulated within the vicinity of the park. As part of the park renovations, the city also added a sport court, soccer goals, pavilion, and picnic tables.



STONEGATE PARK

St. James Drive

Stonegate Park is a private park located within the gated neighborhood of Stonegate in the northern section of Lucas. The park does not have a property address, but it is situated between 150 and 250 St. James Drive. Stonegate Park is only accessible to residents within the Stonegate neighborhood. This is a very small neighborhood park

occupying less than one acre adjacent to one of the tributaries of White Rock Creek. The park offers a traditional multiuse playground, small gazebo, picnic tables, and two-foot-wide concrete sidewalk that passes through the park. The sidewalk connects to a concrete trail that continues alongside the tributary of White Rock Creek.

EAST WINNINGKOFF TRAILHEAD

745 East Winningkoff Road

In 2017, the city developed the East Winningkoff Trailhead located in the northeast section of the city. The trailhead sits on three acres of land with equestrian and pedestrian access to the Trinity Trail. The trail access point connects to an unimproved trail along East Winningkoff Road to Welborn Lane that connects to the Trinity Trail. The trailhead offers a large gravel parking lot for loading and unloading of horses. Additional facilities include a corral, pavilion, restroom, and access to water.



BROCKDALE PARK TRAILHEAD

1625 Brockdale Park Road

Brockdale Park was established in 2005 and is located on the eastern edge of Lucas next to Lavon Lake. This park is situated on land owned by the USACE. Brockdale Park is 127 acres which includes the Brockdale Park Trailhead, boat ramp, and the Blackland Prairie Raptor Center. The Brockdale Park Trailhead provides recreational trail access to the Trinity Trail along

CHAPTER 6

PARKS, RECREATION AND OPEN SPACE

Lake Lavon. The trailhead includes parking, equestrian loading/unloading area, riding arena, restroom facility, pavilion, corral, and access to water. The Brockdale Park boat ramp is located east of the trailhead which allows access to Lake Lavon. The boat ramp has public parking available for vehicles, trailers, and boats. This provides access to recreational activities on the lake for those who enjoy boating and fishing activities. The Blackland Prairie Raptor Center is a non-profit organization that is located on the land area of Brockdale Park. The Blackland Prairie Raptor Center is dedicated to environmental preservation through public education and the conservation of birds of prey and wildlife in their natural habitat.



HIGHLAND PARK TRAILHEAD

1955 Snider Lane

Similar to Brockdale Park, the USACE owns and maintains Highland Park. Highland Park is located at the northeast edge of Lucas and is approximately 59 acres. The park has a parking area and restrooms with relatively minimal services onsite. Highland Park provides a boat ramp at the north end of the park for boating and fishing activities on

Lavon Lake. The entrance to the boat ramp is through Highland Park Road which is located north of Snider Lane. The boat ramp is concrete with ample parking for trailers and vehicles. Trinity Trail passes through Highland Park and provides access points to the trail. A section of the Trinity Trail continues north past the limit of Highland Park to the northern section of Lucas near the NTMWD Treatment Plant. The Highland Park Trailhead is located south of Highland Park where the public can load and unload their horses to utilize the trail system. The trailhead includes facilities such as a loading/unloading area, ADA compliant restrooms, one pavilion, and a watering place for horses.

OPEN SPACES AND NATURAL FEATURES

Open space is defined by the U.S. Environmental Protection Agency (EPA) as any open piece of land that is undeveloped and is accessible to the public. There are no buildings or other structures located on land designated as open space. Open space can include school yards, playgrounds, public seating areas, public plazas, vacant lots, and green space. Green space is land that is partly or completely covered with grass, trees, shrubs, or other vegetation including parks, community gardens, and cemeteries. The city's desire to preserve open space is outlined in the Park Land Dedication Ordinance which includes different options for the handling of park land dedication and the preservation of open space in Lucas. Lucas also has other forms of open space such as trail easements and federal land surrounding Lake Lavon. The most important natural feature in Lucas is Lake Lavon and its tributary creeks. Lake Lavon was constructed in 1954 and is owned and controlled by the USACE. There are 20 acres along the lake designated for park use (Brockdale Park and Highland Park) located within the City's boundaries. The public has access to these parks, the trail system, and the lake for recreational activities.

CHAPTER 6 PARKS, RECREATION AND OPEN SPACE

EXISTING TRAILS

The Trinity Trail and the connecting trail from the East Winningkoff Trailhead is currently the only public trail in-use that exists in Lucas. The trail is only open for recreational use to equestrians and hikers. The Trinity Trail is situated along Lake Lavon with scenic views of the lake and surrounding natural landscape. The trail is unpaved and 25.5 miles long located on federal land owned by the U.S. Army COE. The trail extends from the south at the East Fork Trailhead in Wylie to the north at the Giant Sycamore Loop in Fairview. There is approximately 11 miles of the Trinity Trail that passes through Lucas. This trail enters the city from the south at Collin Park in St. Paul and stretches north along the edge of the lake passing through Brockdale Park and Highland Park.

The Trinity Trail is operated and maintained by the Trinity Trail Preservation Association, a non-profit organization dedicated to the preservation and maintenance of the Trinity Equestrian and Hiking Trail. The city partners with the Trinity Trail Preservation Association and the USACE for a Public Lands Trail Cleanup where volunteers pick up trash and debris on sections of the Trinity Trail. The city also entered into a Memorandum of Understanding between Collin County and the USACE to work together in coordinating and supporting the development and operation of a multi-use trail for equestrian and pedestrian use at Lake Lavon. This partnership helps determine goals related to the planning, development, maintenance, and operation of the Trinity Trail, Brockdale Park Trailhead and Highland Park Trailhead.

PROPOSED FUTURE TRAILS

During development of the POSMP, the city conducted a community survey and held public meetings to collect feedback from residents related to parks and open space. Residents ranked trails as the number one interest for parks and open space in the community survey. When the city began updating its Comprehensive Plan, POSB worked towards developing the TMP which focuses on three primary trail sections within Lucas: 1) Central Loop, 2) Northern Trail (Trinity Trail Connect), and 3) Southern Trail (Willow Springs Middle School to Southview Drive). In order to ensure the safety of all users along the trail system, the TMP designates all trails east of FM 1378 (Country Club Road) as equestrian and hiking trails. The trails west and south of FM 1378 are designated as multi-purpose trails to prevent potential safety risks between horse riders, bicyclists, walkers, and hikers.

Central Trail Loop

POSB has prioritized the Central Loop in the TMP as the number one trail priority. The Central Loop is a multi-purpose trail focused on connectivity to schools, public facilities, churches, and businesses. There are three major schools located along the Central Loop: Hart Elementary School, Willow Springs Middle School, and Lovejoy High School. The loop also connects to City Hall, the Fire Station, and the Lucas Community Park. The trail loop would begin at West Lucas Road/Allison Lane, extend east to and north on Country Club Road, west onto Estates Parkway, and south on Allison Lane returning to West Lucas Road. There would also be a trail connection through Ingram Lane to connect West Lucas Road and Estates Parkway. As the Texas Department of Transportation (TxDOT) works on the roadway expansion along Angel Parkway, the city may

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want to consider a potential trail connection from the Central Loop. This would allow residents to connect to retail and dining establishments in the main commercial area of Lucas.

Northern Trail (Trinity Trail Connect)

The Northern Trail (also known as Trinity Trail Connect) is considered second priority on the TMP. The Trinity Trail Connect is an equestrian and pedestrian trail that connects to the East Winningkoff Trailhead and has access points to the Trinity Trail. This trail consists of two loops which are centrally connected to the East Winningkoff Trailhead. These two loops would allow recreational access for residents who live in the northern area of the city. Public parking is available at the East Winningkoff Trailhead where users could walk or ride horses on the trail and connect to the Trinity Trail through access points.

The first trail loop extends west from Welborn Lane, south on Orr Road, east on Winningkoff Road, and returns north onto Welborn Lane. The second trail loop creates a connecting southern section that extends south from East Winningkoff Road onto Shady Lane, west on Snider Lane, and north on Winningkoff Road.

Southern Trail (Willow Springs Middle School to Southview Drive)

The Southern Trail (also known as Willow Springs Middle School to Southview Drive) is considered third priority in the TMP. This trail would connect the southern neighborhoods to Willow Springs Middle School and Kenneth R. Lewis Park. The trail would begin on the eastern side of Willow Springs Middle School on West Lucas Road and continue south to the back of the school connecting to North Bluffview Drive. The trail would extend south through Hidden Pass Lane, west on South Bluffview Drive, south and east on Bastrop Road connecting to Stinson Road. The trail would continue south along Stinson Road, passing Highland Drive, extend east to Southview Drive, and continues north connecting to Kenneth R. Lewis Park. It is desirable to develop a small trailhead in the southern trail section but due to undefined development, the location has not yet been identified.

GOALS AND OBJECTIVES

The City continues to make improvements and pursue special projects to achieve the goals established in the Comprehensive Plan. The goals and objectives were developed in coordination with previous comprehensive and community planning. The POSTMP help outline a prioritized plan for the development of parks, open space, and trails in Lucas. Since 2017, the city has taken major efforts to achieve these goals such as the development of the East Winningkoff Trailhead, renovation at Forest Creek Park, maintenance at Kenneth R. Lewis Park, and improvements at Lucas Community Park. The city has submitted trail grant applications to be considered for TxDOT Safe Routes to Schools Project, Texas Parks and Wildlife Department Recreational Trails Grant, and Collin County Parks and Open Space Project Funding Assistance Program. The city continues to monitor for new grant application opportunities and identify potential special projects

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that would be deemed eligible. Lucas supports the following goals and objectives when considering new projects for parks, open space, and trails.

GOAL 1

Preserve natural environment and native ecosystems.

Objectives:

- Conserve and protect ecologically sensitive and naturally beautiful areas (e.g., floodplains along creeks, wetlands, high points with scenic views toward Lake Lavon, etc.).
- Establish and/or enhance green space and natural areas along flood plains, and promote public access to green belt areas with trail systems, equestrian/hiking trails, etc.
- Encourage and promote water conservation using native plant materials, Smartscape techniques, and other methods.
- Maintain high standards for groundwater quality due to the proximity of Lake Lavon.
- Encourage development types which minimize impacts upon the community's natural resources and visual appeal.

GOAL 2

Provide a comprehensive TMP to include green belt and open space that is compatible with the environment and compatible with residential neighborhoods.

Objectives:

- Continue to update Chapter 6, Parks, Recreation and Open Space of the Comprehensive Plan to meets current preferences and reflection of changing environment in the region.
- Promote trail connections and ensure greenbelt and open space dedication during the development review process.
- Create pedestrian and equestrian trails between residential neighborhoods, linear greenbelts, schools, public administrative facilities, and other activity centers, whenever physically and financially possible.
- Continue to adopt and finalize a detailed plan for necessary open space/trail easements to connect existing and future parks, schools, and neighborhoods into an integrated, low maintenance parks and recreation system.
- Formulate and adopt policies and ordinances that protect the acquired/donated park land and open space easements.
- Utilize trails, wherever possible, to connect schools, parks, and residential areas locally and regionally.
- Design a parks and open space system that is interconnected and multifunctional, which protects important natural, cultural, and visual resources while providing appropriate opportunities for recreation.
- Integrate locally planned trails with the “Collin County Regional TMP” approved by the Collin County Commissioners Court on May 7, 2012.
- Coordinate planning efforts and trail connection points with adjacent cities.

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GOAL 3

Develop and maintain the new Lucas parks and open space system.

Objectives:

- Determine actual maintenance cost currently needed to maintain existing parks.
- Undertake the necessary effort to determine maintenance costs and capital investment costs associated with acquiring and/or developing new parks and open space as well as the expansion and redevelopment of existing park facilities
- Allocate sufficient funding to maintain existing parks, open space, and trails.
- Formulate and adopt policies and ordinances that protect existing park facilities, open spaces, and trails.
- Explore cost sharing options such as local, state, and federal grant opportunities.

PLAN AND RECOMMENDATIONS

The purpose of this plan and recommendations are to provide community direction in a constantly changing environment. The city collaborates with community stakeholders when considering new projects related to public parks, open space, and trails. As the Lucas population continues to increase, the POSB recommends focusing on the expansion of existing parks to accommodate visitors and additional space. Lucas Community Park is a popular park used by the city for large-scale special events and it has become evident that public parking is limited. Special events at the park have become large community gatherings where the city may want to consider expansion in the future. In addition to parks and open space, the City has updated its TMP by examining practical trail locations that would not impede on a resident's property.

POSB has developed an adopt-a-park program where each board member visits a city park on a rotational basis to help recommend park improvements to the city. To further help achieve the goals in this plan, the city's Keep Lucas Beautiful program continues to promote the beautification and natural preservation of Lucas. As the city considers future planning and decision making related to parks, open space, and trails, the following recommendations are intended as a guide for the POSTMP.

- Trails (equestrian, hiking and biking), greenbelts, parkways or paths should connect to large recreational areas and provides access to recreational opportunities and scenic views.
- Prioritization of the TMP beginning with the Central Loop, Northern Trail (Trinity Trail Connect), and Southern Trail (Willow Springs Middle School to Southview Drive).
- Expansion of existing parks to accommodate additional space and public parking during special events.
- Municipal recreational facilities should be used to serve the community and prevent the construction of redundant facilities.
- School recreational facilities are encouraged to make their facilities available to the public when practical. If possible, school recreational areas should include parking, drinking fountains, restrooms, and remain open on weekends and during the summer months.

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STREETS

The livelihood of a community is, to a very large extent, dependent upon convenient and efficient access to nearby major trade centers, major national travel routes and transportation terminals of national importance outside of the city. It is likewise dependent upon efficient circulation of people within the city. Local streets should provide safe, reliable access to work, schools, shopping, and homes. A street network, therefore, is of vital importance as it ties a community together and links it to the outside world.

The primary function of a street network is the safe and efficient movement of vehicles and people. The street network of any city operates, in effect, as the skeleton of that city, providing access in varying degrees to all properties abutting the network. In addition to moving traffic, streets provide access to and drainage for abutting properties, open space between buildings, and right-of-way for various utilities. In this way, the street network is a primary factor in the determination of appropriate land use locations.

When adequate streets and drainage facilities are constructed, they can represent the largest single required expenditure of a city. As roads age they are affected by many factors: the quality of the soil under the road base, the type of pavement surface; type of preventative maintenance; and drainage conditions in the area (related to topography).

Repairing the roads to proper standards for long term durability can require roads to be raised or lowered to improve drainage, dedicate additional right-of-way, install improved drainage facilities, and use appropriate road construction materials.

DRAINAGE

To protect property from flooding, it is imperative to facilitate drainage through natural and designed drainage systems. The topography of Lucas consists of both level and rolling terrain. As a result, localized flooding can occur, especially where culvert and drainage ditches are obstructed with vegetation or debris.

Many factors directly affect the surface storm drainage. To minimize property damage from flooding during periods of intense rainfall, the drainage system for a community should be properly designed, sized, constructed, and maintained. Storm drainage facilities include inlets, culverts, bridges, concrete lined channels, natural drainage channels, swales, creeks, retention and detention ponds, and lakes.

Drainage can have significant effects on structural durability of streets and travel safety. Level ground and poor drainage allows water to collect in some areas, which can erode the road base, cause sections of roadway to fail, and lead to loss of traction on the road. Currently roadway drainage is primarily handled via open channels and culverts. Maintenance in these channels is needed to avoid overgrowth of trees and other vegetation. Overgrowth can make roads difficult to drain and roots can undermine the structural stability of the pavements. As a result, the drainage

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system is discussed in conjunction with the streets system in this chapter.

BRIDGES/CULVERTS

Bridges and culverts are important parts of the infrastructure in the city. Both provide passage for transportation, usually over running water. While there are technical differences between bridges and culverts, for the purpose of thoroughfare planning, the road segment is the object of analysis independent of the engineering design characteristics of crossings, insofar as the decision to maintain such connections determines major traffic routes regardless of how the crossing is ultimately achieved. The City of Lucas has the following bridges/culverts over waterways along city-maintained thoroughfares:

- West Blondy Jhune Bridge
- East Blondy Jhune Bridge
- Snider Lane Bridge
- Stinson Culvert
- Winningkoff Bridge

By maintaining these bridges/culverts, Lucas maintains connection across the locations where these segments span. The decision to define these segments as thoroughfares necessitates the maintenance of these drainage/roadway assets. Additional roadways exist over waterways along local streets. These are not included in the thoroughfare plan because they do not carry through traffic and may be added, removed or modified by individual developments at a smaller scale.

The Texas Department of Transportation (TxDOT) maintains additional crossings over watercourses at the state's discretion so, while the same principle concerning the street segments does apply, the city has no direct ownership or control over these crossings.

STREET SYSTEM ANALYSIS

General Street Statistics

Within the city, traffic control is achieved primarily with signage. The city does not own, operate, or monitor any traffic signals to control traffic flow. TxDOT controls the traffic signals at these intersections:

- West Lucas Road and Southview Drive
- West Lucas Road and Country Club Road
- Country Club Road and Estates Parkway

STREET CONFIGURATION AND FUNCTIONAL CLASSIFICATION

The roadways in Lucas are classified as arterials (Type A and B), neighborhood connectors (Type C), and local streets (Type D). All of these roadways provide different levels of access and serve

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varying levels of traffic volume.

The highest level of roadway in Lucas is the arterial, which carries larger volumes of traffic based upon the number of lanes, with limited access connections. Most of these arterial roads are classified as Farm to Market (FMs) roads. Established in Texas through legislation in 1949, Farm to Market Roads exist as secondary state highway transportation systems connecting rural or agricultural areas to towns and city centers. The FMs have become an integral part of many Texans' daily commute. TxDOT maintains the state's FMs within the City of Lucas which consist of the following:

- FM 1378 Country Club Road and Southview
- FM 2514 Parker Road
- FM 3286 East Lucas Road
- FM 2551 Estates Parkway

The City of Lucas maintains one portion of Class B arterial street, the segment of West Lucas Road connecting Angel Parkway to Country Club Road. Lucas assumed maintenance of this road from Collin County in the 1990's. It was a previously a gravel road.

The neighborhood connector carries less traffic utilized for mostly local trips and has a higher level of access. These neighborhood connector streets are owned and maintained by the city and consist of the following:

- Blondy Jhune Road
- Forest Grove Road
- Highland Drive (existing portion)
- Ingram Lane
- Lewis Lane (the City manages 600 feet of the northern section that is within the City of Lucas)
- Orr Road
- Rock Ridge Road (the City manages 300 feet of the southern section that is within the City of Lucas)
- Stinson Road
- Snider Road
- Winningkoff Road

Additional neighborhood connectors for consideration to serve future development and public safety consist of:

- Highland Drive
- Completion of northern loop consisting of Forest Grove Road past Orr Road to the east, heading south to East Winningkoff Road and connecting to Snider Lane
- The construction of Allison Lane from West Lucas Road to Estates Parkway

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- The extension of Edgewood Drive across West Lucas Road to connect to Stinson Road and reconfiguration of the existing Stinson Road intersection with West Lucas Road to allow for more efficient traffic flow.

The remaining streets in the city function as local streets. Local streets have direct access to every parcel and carry a more limited volume of traffic. The 2022 Master Thoroughfare Plan representing the street network in the City of Lucas is located in the Appendix.

STREET SYSTEM EVALUATION

Like other elements of public infrastructure, a street system should be understood as a portfolio of capital assets and must be managed accordingly. Therefore, it is essential that the city have a street condition assessment and management system in place before beginning major improvements to roadways. This system helps to ensure that streets in the existing developed areas of Lucas are improved in a uniform and orderly manner. It is through such a system that completed city projects will provide maximum benefits and will become an integral part of the future city infrastructure. This should assist in the elimination of duplicate expenditures and assure that possible early obsolescence of improvements can be avoided.

A system inventory as part of a street management system helps to identify different segments of the roadway system. Condition evaluation of the roadway segments is the first step in planning improvement. Such a system will provide a continuous evaluation of the street system inventory. It will also help to detect developing problems and determine the proper corrective action needed. If a road is found to be adequate for its present service, it should be re-evaluated in detail every five to 10 years to determine the trend of changes affecting its future adequacy. A complete evaluation of the roadway system would include all arterials, neighborhood connectors, and local streets in the city. As part of the condition assessment, an extensive visual evaluation of the pavement surface conditions, drainage, traffic control devices, and environmental conditions would be performed. This evaluation includes collecting data on the existing roadway conditions and rating evaluated elements for adequacy.

The criteria for the condition assessment are based on criteria which was adapted to the city needs. This condition assessment assists in identifying roadways that are candidates for maintenance, repair or total reconstruction.

EXISTING STREET CONDITIONS

In 2022, the city conducted a pavement condition assessment to gather data to better prepare maintenance and rehabilitation planning. This initial assessment gathered data from approximately 75 miles of city-maintained roadways and assigned ratings using a 5-tier rating model based on the Pavement Surface Evaluation and Rating (PASER) system, a system developed to evaluate the condition of road segments. The city will update this data collection annually for initiative-taking maintenance planning, preservation activities towards maintaining an acceptable rating, and use resources effectively by identifying segments most in need of repair to help extend the life cycle of

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the city's roadways. See Figure 7.1 Pavement Condition Rating and Percentage.

Future road project are ranked according to priority as follows:

1) Street Paving

A large number of streets in the city are paved, have acceptable pavement width and are in fair to good condition. A number of asphalt streets are demonstrating signs of potential failure due to inadequate road bases, poor soil condition, heavy traffic volumes, age, and drainage issues.

2) Street Drainage

Some of the street system has been affected by poor drainage flow. The key areas that need to be addressed are silted and improperly sloped open channels along some roadways as well as the silted or undersized culverts. These channels and culverts allow water to flow across and under roadways causing premature damage. Potholes, cracks, and slumped pavement are examples of what can happen when the road base is allowed to erode.

3) Street Right-of-Way

Many of the roadways appear to need additional right-of-way to address drainage issues. Existing channels are too close to the road base, allowing water to impact road conditions. These narrow rights-of-way allow trees to grow too close to the roadways. When the right-of-way is not cleared or maintained, tree roots have been found to burrow under the roadway causing damage to the pavement.

4) Surface Conditions

Surface distresses may appear on city streets. Asphalt pavement related distresses that are most common included: longitudinal and transverse cracking, potholes and patch deterioration, rutting, shoving and corrugation, alligator cracking, shoulder/pavement edge drop-offs, and deterioration.

Pavement Condition Rating		Maintenance Methods
1	Excellent	New Pavement
2	Very Good	Crack has been sealed
3	Good	Crack Seal/Chip Seal/Routine Maintenance
4	Fair	Minor Rehabilitation
5	Poor	Major Rehabilitation

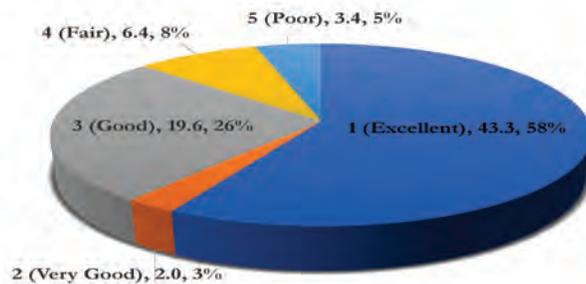


Figure 7.1 - Pavement Condition Rating and Percentage

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5) Street Width

Undersized roadways in the city can hamper vehicular circulation. Design consideration should include proper street widths for new and newly reconstructed roadways.

TYPES OF STREET IMPROVEMENTS

There are several different methods of maintaining streets within a city. The appropriate choice depends upon the condition of roadway, the anticipated traffic load, and available funds.

Recommended street maintenance alternatives can include the following.

- Point Repairs -- Excavation of failed pavement sections and repair pavement surfaces (pothole repair).
- Level-Up -- Leveling of depressions in pavement with hot/cold mix asphalt concrete. This is used to even out roadway surface.
- Seal-Coat -- Application of asphaltic cement covered with uniform size of aggregate and rolling the aggregates after application. Ideally used once every three to five years to maintain streets and forestall more costly repairs. It should be noted that sealcoating does not address the structural deficiencies and it is only effective when the roadway base is in relatively good structural condition.
- Overlay -- Depending on the severity of wear, approximately one inch of surface is milled off the existing roadway. The remaining surface material is then overlaid with hot mix asphaltic concrete followed by a surface treatment. This is used to completely replace the surface material of a street to address pavement deterioration and extend street life.
- Reclaim -- Scarifying existing pavement and base material while adding cement to create a recycled asphalt-enhanced roadway base. The base is then compacted and overlaid with a new asphaltic concrete pavement. Streets receiving this treatment might last five years depending on the traffic load and environmental conditions.
- Reconstruction -- Roadway reconstruction options remove the existing pavement and new asphalt, or reinforced concrete pavement is installed. The goal is to construct pavement that has a minimum 20 year life span.

DRAINAGE SYSTEM ANALYSIS

The entire city relies on stormwater drainage to be carried on the surface. The storm drainage system of Lucas currently consists of a system of channels and culverts. These facilities carry stormwater run-off within Lucas to the eventual terminus outside the city limits in Lake Lavon or Lake Ray Hubbard.

Annual precipitation in Lucas is approximately 42 inches per year. Rains are heaviest in spring and fall. City streets are crowned to promote open channel drainage on each side of the street.

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The Federal Emergency Management Agency (FEMA) provides flood insurance rate maps that depict the 100-year and 500-year flood plains. These flood plains cover those areas that would most likely be inundated with storm water during the heaviest rains. The floodway defines the area where buildings are not eligible for flood insurance, while those located in the flood fringe may be eligible once floodproofing is implemented, but development should still be avoided in these locations in favor of alternatives. The goal of this program is to curtail development in floodplain areas, thereby reducing damage to structures and minimizing the danger to people during flooding events. Lucas is a participating city in the National Flood Insurance Program (NFIP).

Collin County, TxDOT, and USACE control some of those facilities in the extraterritorial jurisdiction and some of the roadways in and around the city. Most of the necessary seasonal maintenance is the responsibility of the adjacent individual property owners. Initial design along with poor maintenance can cause negative drainage issues and impact road quality.

GENERAL DRAINAGE PROBLEMS

Creeks

Creeks are the natural drainage courses that stormwater will follow and will generally flood during storms. Most large channels have their flood carrying capacity indicated by FEMA on their respective floodway maps. It is important to note that creeks that have not been mapped by FEMA are still subject to high water flows. In theory, any property has some chance of flooding given enough rainfall. Flood ways fill first followed by each level of floodplain, then non-floodplain areas.

Water Channels

A significant portion of the flooding that occurs in the city is associated with open channels and culverts being inundated with rainwater flowing off adjacent properties while following the natural topographical lay of the city. Despite the proper construction and operation of the majority of these channels, it is possible for it to take several days for stormwater to fully drain or dry out in some locations. These channels are designed to convey surface water. Certain facilities, such as detention or retention ponds, are intentionally built to slow down water flowing through them so that downstream channels do not overflow. Impervious surfaces and changes to drainage patterns can cause issues, so these facilities must be actively maintained.

Culverts

Some structures in the street system do not lend themselves to adequate drainage when the facilities exist perpendicular to the natural flow lines. It is necessary to construct culvert pipes under roadways to allow a path for drainage under those roadway segments. In cases where culvert passage is silted, undersized or not provided, stormwater can cause premature damage to roadways and major safety problems.

PLAN AND RECOMMENDATIONS

Purpose

The purpose of the Streets and Drainage section of the Comprehensive Plan is to assist the city in

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appropriating public funds in a manner which maximizes benefit. The plan identifies those street and drainage improvements which are needed in order to provide an efficient transportation system as well as minimizing property damage from flooding during periods of intense rainfall.

STREET RECOMMENDATIONS

The most important consideration when developing a plan for street rehabilitation is to ensure that all plans for roadway construction also include plans for drainage improvements. All plans for road reconstruction must consider the size and slope needs for drainage. Any program for street improvements without drainage improvements is not recommended.

The city has adopted specific street section designs based on roadway classification. Different rights-of-way widths, pavement widths, and base thicknesses are required for roadways that are expected to serve differing levels of traffic. This is especially useful when enforcing street quality standards and minimums for residential subdivision developments.

If several years lapse before projects are undertaken, a new assessment may be necessary to ensure that data is current. Increased traffic due to growth, new commercial development, and changes in city maintenance practices can revise the recommendations made in this report. Street maintenance and repair plans should be reviewed annually to adjust for cost and changes in the road conditions.

Proposed improvements should be based on the street analysis, focusing on improvements that impact safety, are the most cost effective in the long term, are most in need, or will benefit the most people. High priority projects including highly traveled roadways in poor condition or first-time paving should be considered as soon as the city is able to finance the repairs. For this plan, improvements should be phased. Phasing of improvements is designed to help minimize the financial impact on the community while still realizing the need to make necessary improvements.

POSSIBLE FINANCIAL SOURCES FOR IMPROVEMENTS

The City should pursue funding sources that will make fiscal sense to assist in providing necessary street improvements, including but not limited to:

- The General Fund
- General Obligation Bonds
- Certificates of Obligation
- City Sales Tax
- Special Fees/User Fees
- Grants
- Cost Sharing (e.g., Collin County, TxDOT, NCTCOG)
- Development Fees

CHAPTER 8 WATER SYSTEMS

INTRODUCTION

One of the most essential services provided by the City of Lucas is delivering safe drinking water to the community. The City of Lucas owns and operates its water system that consists of elevated storage tanks, ground storage tanks, pumps, water lines, hydrants, valves, etc. A Certificate of Convenience and Necessity (CCN No. 10193 amended on April 5, 2019) was issued by the State of Texas Public Utility Commission (PUC) to the City of Lucas to define its water service area and grant exclusive retail service rights. Because the CCN does not follow city boundaries, there are areas that are not in the city limits of Lucas but receive water from Lucas such as the area west of Rock Ridge Road that is located in the City of Allen’s extraterritorial jurisdiction (ETJ) and Trinity Park that is located in unincorporated Collin County. The Seis Lagos Utility District (SLUD), the Wylie Northeast Special Utility District (WNSUD), and the City of Allen supply water to a portion of residents inside the Lucas city limits and ETJ.

The city’s water system is a vital part of the city-owned infrastructure. The purpose of this section is to provide a description of the current water system, identifying criteria for determining future improvements to the water system, and providing a description of the water system capital improvements needed to meet future demand.

EXISTING WATER SYSTEM

Water Supply

The City of Lucas purchases water from the North Texas Municipal Water District (NTMWD). Water is delivered to the city at two delivery points. One delivery point is at the North Pump Station site located on Country Club Road between West Lucas Road and Estates Parkway. The other delivery site is at the McGarity site located on McGarity Lane just east of Angel Parkway. The delivery point at the McGarity site is the newer of the two delivery sites, established in fiscal year 2004/2005.

Existing System Facilities

The following information describes the location and description of the city’s water infrastructure:

Ground Storage:

McGarity Site	200,000-gallon tank 350,000-gallon tank
North Pump Station	500,000-gallon tank 750,000-gallon tank

Total: 1,800,000 gallons

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Elevated Storage:

McGarity Site 300,000-gallon tank

Winningkoff Site 300,000-gallon tank

Total: 600,000 gallons

McGarity Pumping Facilities:

Building No. 1 Pump No. 1 – 1,100 gallons per minute (gpm)
 Pump No. 2 – 1,100 gpm

Building No. 2 Pump No. 1 – 750 gpm
 Pump No. 2 – 750 gpm
 Pump No. 3 – 750 gpm

Total: 4,450 gpm

North Pump Station Pumping Facilities:

Pump No. 1 – 900 gpm
Pump No. 2 – 900 gpm
Pump No. 3 – 900 gpm
Pump No. 4 – 900 gpm
Pump No. 5 – 900 gpm

Total: 4,500 gpm

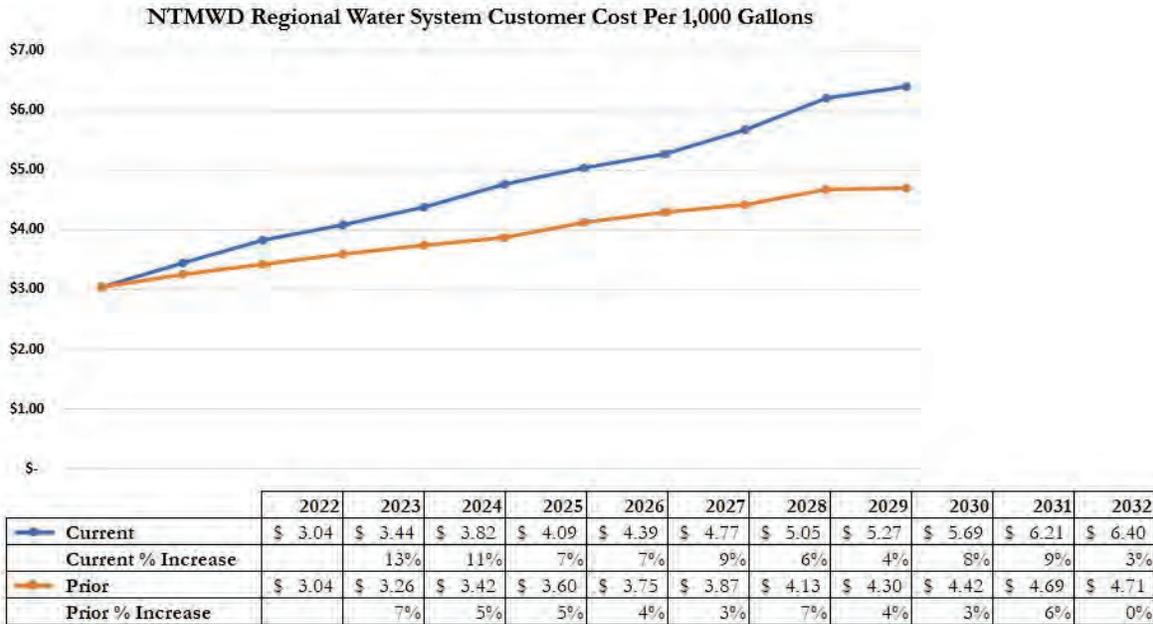
FINANCIAL

The water system is funded by the fees adopted by ordinance and paid by the rate payers within the service area. Approximately every five years, the City of Lucas conducts a rate study to ensure the financial stability of the water system. The objectives of the rate study are to:

- Benchmark the City of Lucas water rates against surrounding communities for the purpose of assessing the regional rate equity.
- Review and forecast operational and maintenance costs and evaluate debt service and future capital investment.
- Develop fair and equitable rate structure for each defined customer class and create a phased approach to rate adjustments.

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The graph below illustrates the projected wholesale water rate over a ten-year period. The City must include the cost of its water infrastructure and operational cost to determine the retail water rate for its water customers.



PARAMETERS FOR FUTURE FACILITIES

Typically, the two principal factors that determine the size and capacity of future water system facilities are the anticipated water demand in the water system and certain facilities design criteria. In the case of the Lucas water system, other factors will also have an impact on the future water system facilities. These factors are staging the additions to the water system to account for development, the need to reduce the number of dead-end water lines in the system, and the ability of the NTMWD to supply water.

Water Demand

Water demand is a function of the number of people living in the service area and their water usage. The population to be served by the water system will include the build-out population of 13,274, plus an estimated population of 250 people currently being served by the water system that live outside the city limits. Accordingly, an estimated population of 13,442 located within the proposed service area will be utilized for determining the water demand, size and capacity of future system facilities that will eventually need to be met by the water system.

Since water demand in the water system service area is based on the population and their water usage, historical water usage is used to determine per capita per day usage. Based on this historical data, the water usage is approximately 250 gallons per capita per day, the maximum day to average

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day ratio is 2.5, and the peak hour to maximum day ratio is 1.8. With a build-out population of 13,442 in the service area, this water usage will result in an average daily demand of 3.75 million gallons per day (mgd), a maximum day demand of 8.4 mgd, and a peak hour demand of 15.12 mgd for the water system at build-out.

Design Criteria

Different design criteria can be used to determine the size and capacity needed for future system facilities. Minimum requirements for determining the size of storage and pumping facilities are provided by the Texas Commission on Environmental Quality (TCEQ). Per the TCEQ, the water system needs to have at least 200 gallons of ground storage and 100 gallons of elevated storage per connection. More stringent design criteria have been utilized, per previous analysis, for the present water system. This design criteria are based on providing elevated storage to meet peak hour demands in the system. Based on these criteria, the elevated storage needs to have enough capacity to provide for peak hour demand with a reserve of one-third of the total elevated storage capacity for fire flow. The ground storage requires sufficient capacity to meet a specified portion of the maximum day demand. The pumping capacity in the system needs to be sufficient to meet a specified portion of the maximum day demand. It is recommended that the more stringent design criteria, which has been used in the past for the existing water system, continue to be utilized for system facilities.

Pressure Planes

The existing water system operates on two pressure planes. The upper pressure plane is located primarily in the northwest part of the service area. The lower pressure plane serves the rest of the service area. The McGarity pump station pumps water to the McGarity tower. The McGarity tower has an elevation of 792 feet which is the upper pressure plane. The North Pump Station pumps water to the Winningkoff tower. The Winningkoff tower has an elevation of 723 feet which is the lower pressure plane.

Dead End Water Lines

There are a large number of dead-end water lines in the existing water system. Dead-end water lines have to be periodically flushed per TCEQ requirements in order to keep sufficient disinfection levels in the water lines. The City has to devote resources and funds to accomplish this purpose. It is the city's goal to reduce the number of dead-end water lines thru the addition of water lines that will provide loops to eliminate the longer dead-end water lines. Looping lines will eliminate the need to flush the lines, improve the dependability of the system in the area, and enhancing fire protection. Included in the Appendix is a water system map showing the existing dead end water lines.

CHAPTER 8 WATER SYSTEMS

PROPOSED WATER SYSTEM

In 2021, the City acquired the services of an engineering firm, Birkhoff, Hendricks & Carter, LLP (BHC), to prepare an existing water distribution system hydraulic computer model and evaluation.

To conduct the existing waters system demand analysis, the following was evaluated:

- Hourly Pumping, Elevated and Ground Storage Levels
- NTMWD Supply Meter Data
- Customer Retail Billing Records

The findings of the demand analysis illustrated the following:

- Residential Maximum Day Unit Demand:
495 gallons per capita per day (gpcd)
- Residential Maximum Hour Unit Demand:
891 gpcd
 - Maximum Day Demand (4.3 MGD)
 - Maximum Hour Demand (7.7 MGD)
 - Minimum Hour Demand (0.98 MGD)

The existing water system hydraulic model included the following information:

- Base Map: Collin Central Appraisal District Lots
 - All known water lines in the system create network
 - Junction Nodes (Elevations and System Demands)
 - Existing System Pressure Plans (or Service Areas)
 - 792 Service Area (High Zone – McGarity Pump Station and EST)
 - 723 Service Area (Low Zone- North Pump Station and EST)
 - Pump Stations and Ground Storage Reservoirs
 - McGarity Pump Station: 5 Pumps = 4.82 MGD
 - North Pump Station: 5 Pumps = 5.20 MGD
- Total = 10.02 MGD**

Existing System Pumping Recommendations					
Service Area	Population Served	Estimated Number of Connections	TCEQ Min. Pumping (0.6 gpm/Conn.)	BHC Pumping Requirements	Total Existing Pumping
723 Service Area	5356	1706	1.47 MGD	2.72 MGD	5.20 MGD
792 Service Area	2711	863	0.75 MGD	1.58 MGD	4.82 MGD
System Totals	8067	2569	2.22 MGD	4.30 MGD	10.02 MGD

CHAPTER 8 WATER SYSTEMS

Existing System Storage Recommendations							
Service Area	Population Served	Estimated Number of Connections	TCEQ Minimum Volume Elev. Storage	BHC Elevated Storage Requirements	Total Existing Elevated Storage	BHC Ground Storage Recommendation	Total Existing Ground Storage
723 Service Area	5356	1706	0.34 MG	0.54 MG	0.30 MG	0.68 MG	1.25 MG
792 Service Area	2711	863	0.17 MG	0.32 MG	0.30 MG	0.40 MG	0.55 MG
System Totals	8067	2569	0.51 MG	0.86 MG	0.60 MG	1.08 MG	1.80 MG

The general conclusions identified the strengths of the water system to include:

1. The Water Distribution System has adequate and modern ground storage and high service pumping capacity.
2. The Distribution System layout and sizing is generally adequate and meets the needs of the current system demands, even under a severe test.

The improvements recommended:

1. Additional Elevated Storage Capacity is recommended in the 723 System.
2. The pressure boundary divide could be shifted to provide better and more stable pressures for some customers in the system.
3. Maintenance on the EST at McGarity is difficult (but not impossible) without a second EST in the 792 Service Area.
4. Carefully monitor the operational condition of the new pumps at both the McGarity Pump Station and North Pump Station.

The long-term recommendations include:

1. Develop a Water Distribution Master Plan.
2. Coordinate with NTMWD on long-term water supply needs.
3. Consider a second elevated storage tank for the 792-service area.

Proposed System Facilities

A number of system improvements will need to be made for the future water system based on water demand, the design criteria for improvements, and the other criteria mentioned in the previous section.

As indicated in the long-term recommendations, the City of Lucas has engaged the engineering firm of Birkhoff, Hendricks & Carter, LLP (BHC) to create a Water Distribution Master Plan which will include the following:

CHAPTER 8 WATER SYSTEMS

Project Component	Total Capital Cost (\$)*
Proposed 0.5 MG EST & Parallel 12-Inch Water Line	
Proposed 0.75 MG EST (723 SA)	\$5,500,000
Parallel 10-in. Water Line	\$2,000,000
TOTAL:	\$7,500,000

1. Review the water capital improvement projects included in the last impact fee report.
2. Review, update, and add where necessary capital projects eligible for recovery in the impact fee program.
3. Update the impact fee models for the years 2022 and 2032 based on population and land use absorption provided by the City. Water models will be 72-hour extended period simulation models for maximum hourly demand conditions. Impact fee models will be compared to the Master Plan buildout models to determine excess capacity in impact fee water lines and facilities.
4. Update the 10-year capital improvement program, including opinions of probable costs and implementation schedule. The 10-year Capital Improvement Program will be based on land use and growth assumptions provided by the City of Lucas.
5. Inventory new and existing water and wastewater projects eligible for the impact fee program.
6. For each project identified, analyze the capacity currently utilized, total capacity available, and the capacity utilized over the impact fee period.

The principal facilities needed for build-out conditions within the water system service area include the following:

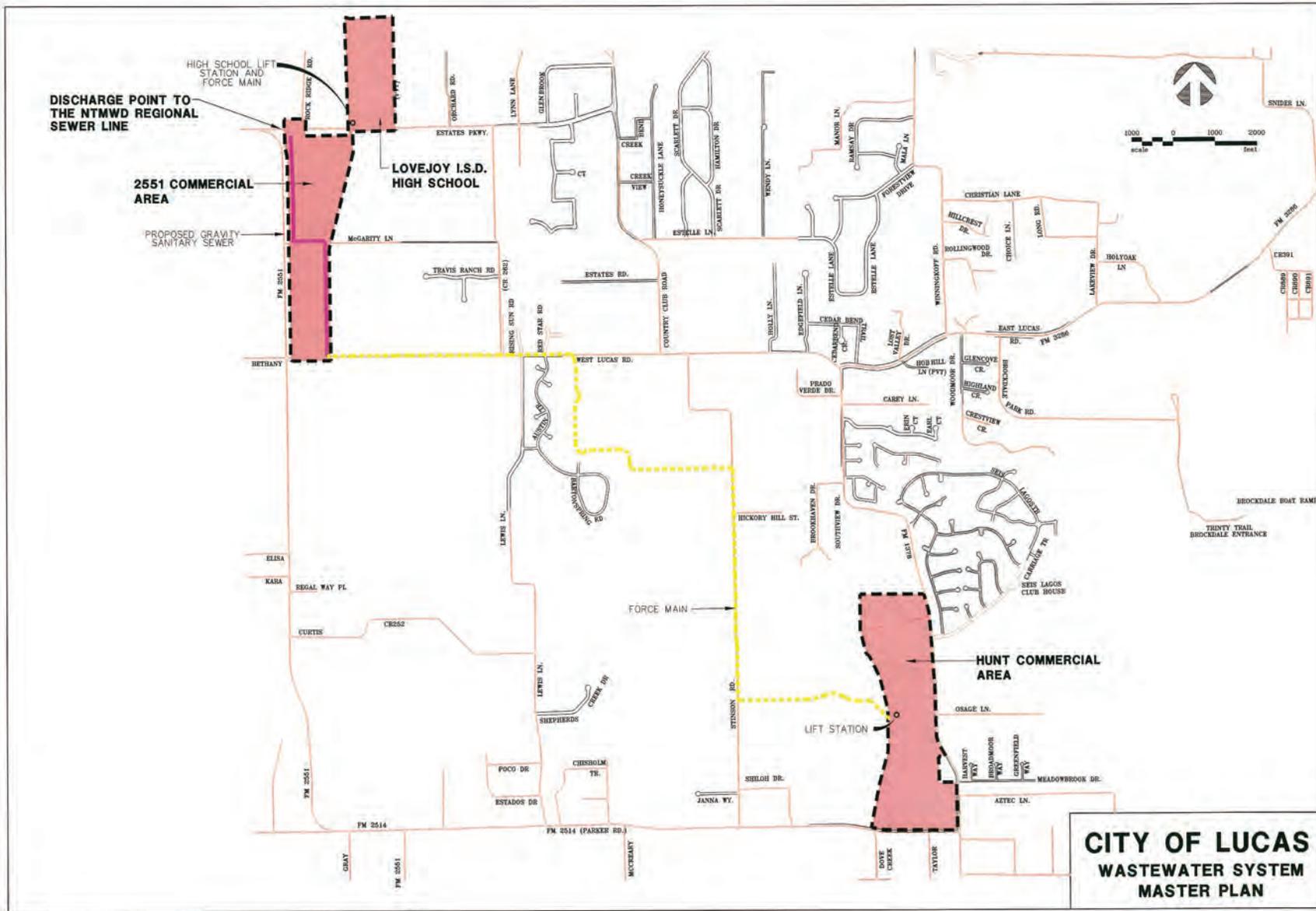
Opinion of Cost Include:

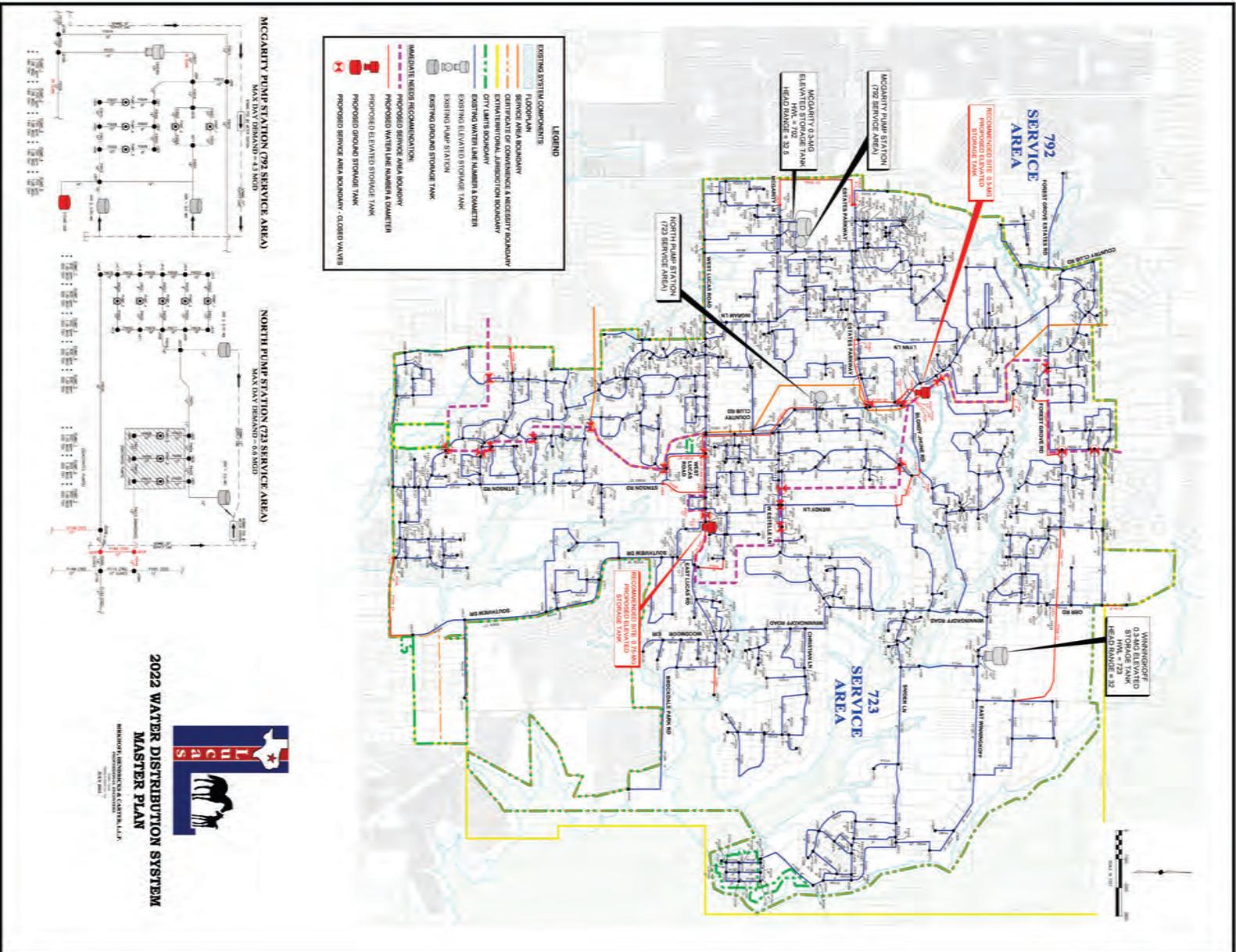
- Construction
- Engineering
- Easements
- 20% Contingency

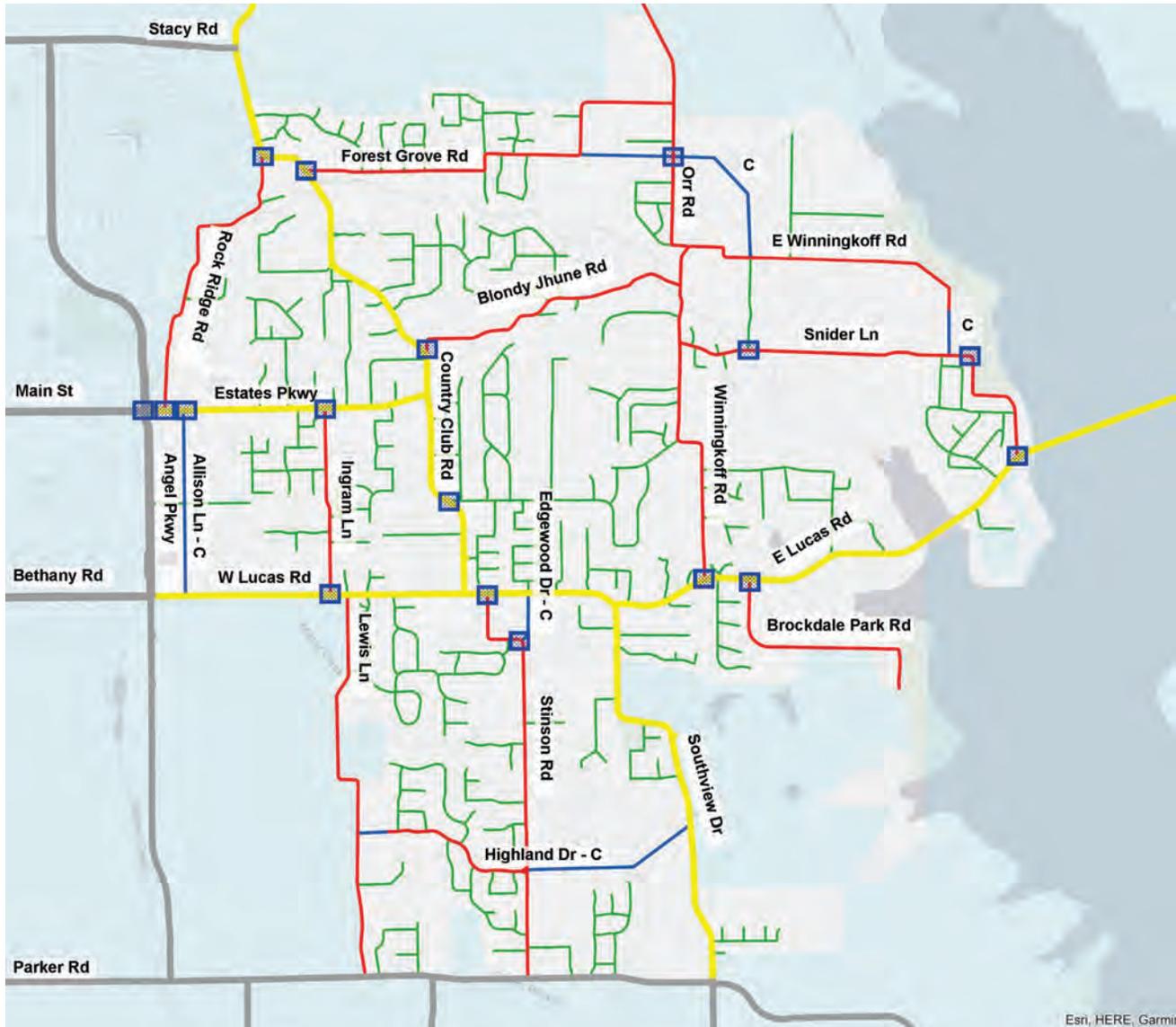
APPENDIX

Maps included in the Comprehensive Plan are as follows:

- Wastewater System Master Plan Map
- Water System Map
- Thoroughfare Plan Map
- Land Use Map
- Zoning Map
- Trails Master Plan







LEGEND					
Type	Color	# of Lanes	Divided	Pavement Width (ft)	Right-of-Way Width (ft)
A	Grey	6	Yes	78 + 16ft Median	120
B	Yellow	4	Varies	52-54	60
C	Red	2	No	24-28	50
D	Green	2	No	24	50
Proposed	Blue	As Labeled	As Labeled	As Labeled	As Labeled

Proposed Intersection Improvement

Notes:

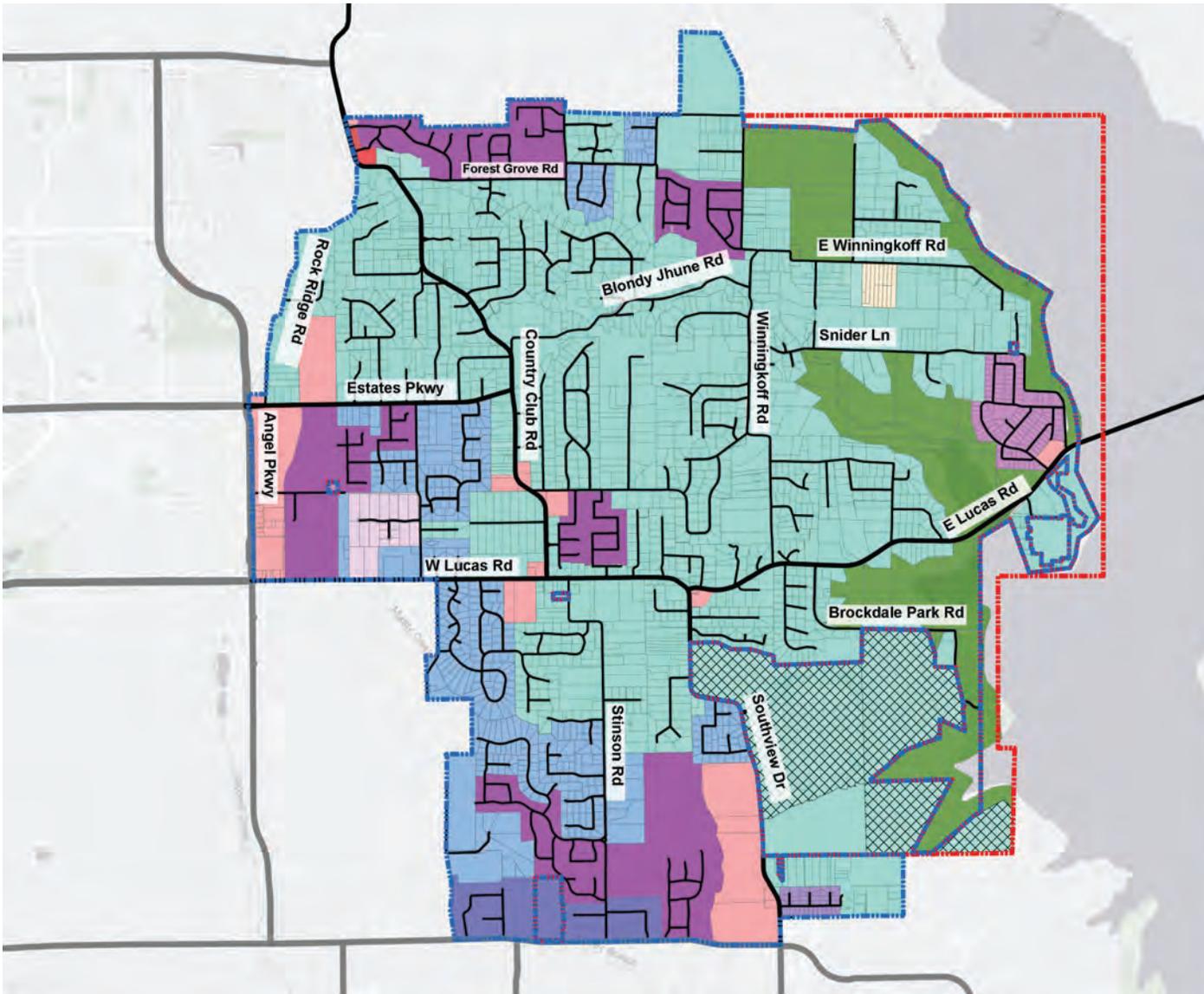
1. Type D roads are shown for readability purposes and are not modified by this plan.
2. Private roads and driveways generally are not shown except where valuable for readability.
3. The blue shaded area is outside of City Limits.
4. Only the Northern 2,300 ft (approx) of Lewis Lane is Lucas maintained.
5. Only the Southern 300 ft (approx) of Rock Ridge Rd is Lucas maintained.

**Thoroughfare Plan
City of Lucas
2022**

November 2, 2022



Esri, HERE, Garmin



LEGEND

Land Use

- R2 (Single Family Residential 2 Acre Lots)
- R1.5 (Single Family Residential 1.5 Acre Lots)
- R1 (Single Family Residential 1 Acre Lots)
- ED (Estate Development District)
- MHD (Manufactured Housing)
- Commercial
- Village Center
- Open Space

Boundaries

- Corporate Boundary (City Limit)
- ETJ Boundary (Extraterritorial Jurisdiction)

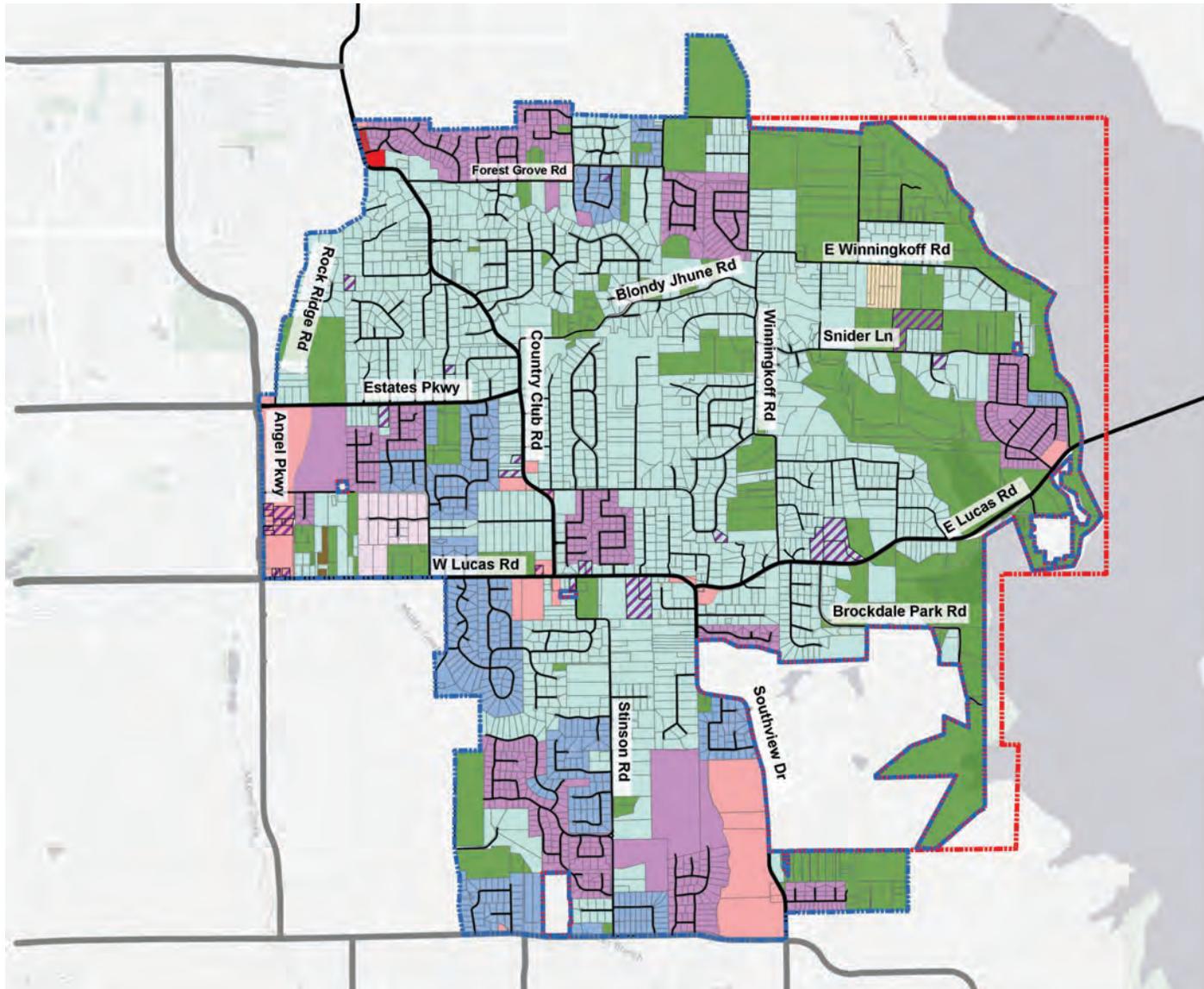
Overlays

- Areas Managed by Municipal Utility District

**Future Land Use
Plan
City of Lucas
2022**

November 14, 2022



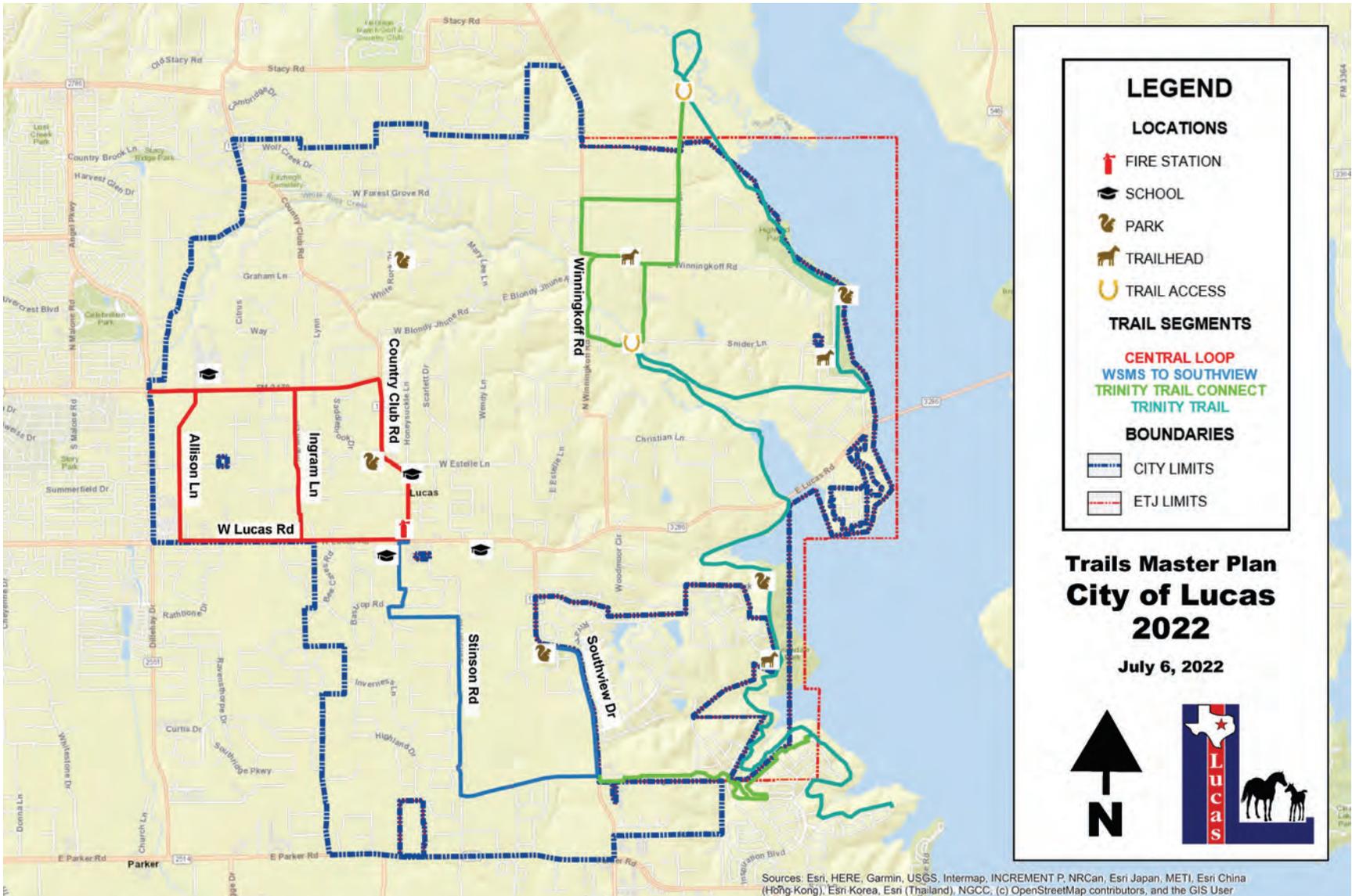


LEGEND	
Zoning	
	R2 (Single Family Residential 2 Acre Lots)
	R1.5 (Single Family Residential 1.5 Acre Lots)
	R1 (Single Family Residential 1 Acre Lots)
	ED (Estate Development District)
	MHD (Manufactured Housing District)
	CBCB (Commercial Business)
	VC (Village Center)
	AO (Agriculture)
	OS (Open Space)
	LI (Light Industrial)
Boundaries	
	Corporate Boundary (City Limit)
	ETJ Boundary (Extrajurisdictional)
Overlays	
	SUP (Specific Use Permit)

Zoning Map City of Lucas 2022

Revised: November 14, 2022
Adopted: _____





Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User



City of Lucas

City Council Agenda Request

December 1, 2022

Item No. 09

Requester: City Manager Joni Clarke

Agenda Item Request

Discuss establishing logo usage guidelines for the City of Lucas logo and provide direction to the City Manager.

Background Information

The City of Lucas logo is the official trademark of the City. It represents the City's distinctive brand in municipal governance and public services. The City of Lucas logo is recognizable and a valuable asset in communicating with the public. The logo helps residents identify personnel, property, print materials, and other forms of communication originating from the City of Lucas.

The City's logo is the official trademark of the City of Lucas. It represents the City's distinctive localized success in municipal governance and public services. Pursuant to municipal law, City logos are exclusively used for official City business such as events, services, marketing, communications, etc. The City's logo is protected under the State of Texas Trademark Registration #802567570. The registration is valid from January 2022 to 2027.

The City currently does not have any guidelines for city logo usage or a formal process to consider third-party requests to use the city logo for reproduction (e.g., website, publications, printed materials, products, and signage). Guidelines for city logo usage may help standardize requirements and govern limited use by third-party entities.

The City of Lucas has received a request from the Friends of Lucas-Fire Rescue to use the city logo on small barn quilts that are displayed on mailboxes. The Friends received an inquiry from a Lucas resident who would like to purchase these small barn quilts with the logo for their neighborhood.

The City Manager presented information regarding establishing guidelines on logo usage at the October 20, 2022 City Council meeting and indicated that the City does not currently allow other entities to use our city logo, but if the City Council would like to consider allowing it, we can develop a policy. City Attorney Joe Gorfida and staff developed some guidelines relating to logo usage and it is recommended that potential users should execute a license agreement.

The City Council emphasized that the City has to be careful so that the logo is not altered in any way, and that we need to be very clear on what circumstances can take place and there was some support for neighborhoods that wanted to display the logo. There was also concern expressed regarding potential enforcement of violations pertaining to the logo use guidelines. The City Council indicated that they needed additional time to review this matter and review other city policies.



City of Lucas

City Council Agenda Request

December 1, 2022

At the November 3, 2022 City Council meeting, the City Council expressed their concerns regarding the use of the City logo including:

- Not having a recourse to remove the logo if it is being used improperly
- No time limit on the use
- The potential for possibly changing colors or size
- Using the logo for disparaging reasons or for political reasons
- Businesses making a profit off of the use
- Generally, the risks that come from allowing the public to use the logo

The City Council noted that it is the City's logo, but it is also the citizen's logo and perhaps citizens should have the right to use it and it would be able to show their City pride. The City Council also agreed that the logo must be protected.

The City Manager is requesting direction from the City Council in regard to allowing third parties to use the City's logo and established logo usage guidelines.

Attachments/Supporting Documentation

1. Draft of City of Lucas Logo Usage Guidelines

Budget/Financial Impact

NA

Recommendation

NA

Motion

There is motion required.



City of Lucas Logo Usage Guidelines

Purpose

The purpose of these guidelines is to protect the City of Lucas' ("City") property rights inherent in the City logo and ancillary logos by governing its limited use by third-party entities professionally and consistently. These guidelines are intended to standardize the application of the City's logo and ancillary logos, hereinafter referred to collectively as "logos," and to protect the City's logos from any unauthorized usage.

Policy

The City's logo is the official trademark of the City of Lucas. It represents the City's distinctive localized success in municipal governance and public services. Pursuant to municipal law, City logos are exclusively used for official City business such as events, services, marketing, communications, etc. The City's logo is protected under the State of Texas Trademark Registration #802567570. The registration is valid from January 2022 to 2027.

Non-City Use

With permission from the City of Lucas, there are **limited circumstances** under which non-City, third parties may be granted permission to use the City's logos on a case-by-case basis for reproduction. Any use that falls outside of these guidelines is expressly unauthorized. The City of Lucas reserves the right to deviate from these guidelines in specific situations, as it deems appropriate. Approved third parties may be allowed to display the official City of Lucas logo with the approval of the City Manager or designee. To protect the integrity and to have quality control of the logo, third parties shall comply with the following guidelines:

1. The logo must be used as it is provided by the City of Lucas with no changes, including but not limited to changes in the design, color, spatial proportion, or removal of any words and/or art elements. The logo may not be animated, imitated, morphed, or otherwise distorted in perspective or appearance.
2. The logo may not be used in a manner, or in association with a product type that would disparage the City of Lucas.
3. The logo may not be combined with any other company name, product name, service name, domain name, website title, publication title, or the like. The logo may not be displayed on any website, social media, electronic or digital forum without written permission from the City. The City is not interested in allowing its logo to be used by third parties to generate profit but rather be allowed to be used by its citizens as a mechanism to show city spirit and civic pride.

Procedure

1. Eligibility

To be eligible for consideration for use of the City of Lucas' logos, third-party entities must fill out the official request use application below, submit the completed application form, and follow the evaluation criteria listed in these guidelines. Permission to use the City logos is a privilege and requires direct, written City approval in every case.

2. Application

Organizations or individuals requesting permission to use City logos shall submit the required application form to the City Manager.

The submitted application shall be completed in its entirety and, at a minimum, include the following information: explanation of the proposed use of the City logos, how the City logos are proposed to appear, identification of project, and proposed scope of distribution.

3. Guidelines

The City shall ensure the following guidelines are adhered to:

- a. Reproduction of City logos adherence with these guidelines;
- b. Submission of a copy of the final artwork for approval by the City;
- c. City logos do not imply endorsement or sponsorship of any kind; and
- d. Enforcement of unaccepted uses of the City logos including, but not limited to:
 - 1) Use that advocate or promotes the sale or use of tobacco, alcohol, controlled substances, firearms or weapons;
 - 2) Use that promotes pornography, obscenity, indecency, or other material offensive to prevailing community standards or persons of ordinary sensibilities;
 - 3) Use that promotes adult-oriented businesses;
 - 4) Use that promotes religious messages or advocates or promotes religious beliefs;
 - 5) Use to promote, or support, or in opposition to any political candidate or ballot measure;
 - 6) Use to promote or support political messages not endorsed by the City; and
 - 7) Use that in any way denigrates the City, or its operation, or its officers, agents, or employees.

4. Evaluation Criteria

The City shall consider (as appropriate) any of the following criteria to evaluate the merits of the third-party entity's application and the City's benefits of co-branding an event or program with the third-party entity:

- a. Demonstrated commitment to the City's core values and City's Comprehensive Plan;
- b. Impact on City core services, operations, assets, and facility resources;
- c. Financial viability;
- d. Media exposure value for key City messages;
- e. Economic impact;
- f. Protection of the City's best interests;

- g. Project timelines;
- h. Third party entity's experience, qualifications, and reputation;
- i. Communications strategy; and
- j. Other relevant criteria as determined by City staff.

5. License Agreement

Third party entities granted permission to use City logos for approved activities shall sign a separate license agreement accepting the City's terms and conditions. License agreements are for a specific time period and may be terminated by the City without cause.

6. Termination

Improper use of City logos may result in termination of an entity's license agreement and prohibition of future use of City logos.

DRAFT



City of Lucas
665 Country Club Road
Lucas, Texas 75002
972.727.8999
www.lucastexas.us

City of Lucas Logo Usage Application

Please complete the following information attach your design to the application:

Business Name/Requesting Entity:	Date Submitted:
Individual Contact Name/Submitted By:	Email:
Address/City/State/Zip:	Telephone:
Please provide a detailed description of the purpose for requesting the Use of the City of Lucas' Logo:	
Intent of use and distribution, including audiences intended for:	
Length of time logo will be used/displayed/publish/etc. (if it will be used on a recurring basis, how many times):	
Vendor that will produce the merchandise:	
Quantity to be ordered:	

Date: _____

Applicant

For Official Use:

_____ Approved

_____ NOT Approved

Date: _____

Joni Clarke
City Manager, City of Lucas



City of Lucas City Council Agenda Request December 1, 2022

Item No. 10

Requester: Councilmember Tim Baney
City Secretary Erin Day

Agenda Item Request

Consider board appointments to the Parks and Open Space Board for a two-year term beginning on January 1, 2023 and expiring on December 31, 2024.

Background Information

Per the Board Appointment Policy established in December 2019, new board applications are submitted to the City Council during November to consider prospective applicants to be interviewed for vacant positions or possible appointments. The deadline for application submittal is November 1, 2022.

Board members with terms expiring are outlined below noting if they would like to serve another two-year term.

PARKS AND OPEN SPACE BOARD	
<i>Board Member</i>	<i>Reappointment Consideration for 2-year term</i>
David Rhoads	No
Christel Parish	Yes
Laura Giles	Yes
John Elliott	Yes
Vacancy: Should the City Council reappoint existing members wishing to serve another term, there will be one vacancy on this board.	

Attachments/Supporting Documentation

1. Board Appointment Policy
2. Board attendance sheets
3. Board applications (*sent under separate attachment*)

Budget/Financial Impact

NA

Recommendation

City Council Liaison to the Parks and Open Space Board Councilmember Tim Baney is recommending the following incumbents be reappointed:

- Christel Parish
- Laura Giles (move from Alternate Member 1 to Member)



City of Lucas

City Council Agenda Request

December 1, 2022

- John Elliott (move from Alternate Member 2 to Alternate Member 1)

City Council Liaison to the Parks and Open Space Board Councilmember Tim Baney is recommending the following candidate be appointed as Alternate Member 2:

- Joan Phillips

Motion

Motion 1:

I make a motion to appoint/reappoint:

- 1.
- 2.
- 3.

to the Parks and Open Space Board for a two-year term beginning on January 1, 2023 and expiring on December 31, 2024.

Motion 2:

I make a motion to appoint:

- 1.

to the Parks and Open Space Board as Alternate Member 2 for a two-year term beginning on January 1, 2023 and expiring on December 31, 2024.



City of Lucas

BOARD APPOINTMENT POLICY

PURPOSE

The purpose of the Board Appointment Policy is to provide procedures and standards for the appointment process by the City Council, and guidelines for citizens being appointed to a City of Lucas board or commission.

APPLICATION PROCESS

The City of Lucas will advertise in the Lucas Leader and on the City website during the months of September and October each year for the recruitment of new board members.

A Meet and Greet reception will be held on the 4th Thursday in October at 6:30 pm at City Hall for citizens interested in serving on a board as well as existing board members. The reception will provide an opportunity for each City Council liaison to provide information on the board/commission they represent.

Board applications will be accepted through November 1st each year.

New board member applications will be submitted to the City Council for review at the first meeting in November, and the City Council will determine which prospective applicants they would like to interview.

Interviews with the City Council may take place at the second meeting in November.

Prospective applicants of the Board of Adjustment and Planning and Zoning Commission may meet with City Councilmembers during Executive Session. Prospective applicants of the Parks and Open Space Board and Technology Committee may meet with the City Council during the open regular session of the meeting and may be called upon to speak at the podium with the City Council.

During the interview process in Executive Session or during the regular open session meeting, a prospective board member may expect to be asked about the following items:

- Why the applicant would like to serve their community
- What experience the applicant could bring to a board/commission
- What is the applicant's vision for the City
- How the applicant's skillset would benefit the board they are interested in serving
- Any other questions the City Council deems appropriate for that board/commission

APPOINTMENT PROCESS FOR NEW BOARD MEMBERS

At the first City Council meeting in December, board member appointments will be placed on the City Council agenda.

Following City Council appointment, the City Secretary will notify new board members of their appointment along with procedures for setting up email and appropriate training.

Each new board member will be required to take part in Open Meetings Act training (50-minute video on Attorney General's website), sign a Statement of Officer paperwork and Oath of Office paperwork within 30 days of being appointed. Each new board member will also be required to setup a City of Lucas email account where the City will correspond with the board member for meeting notices, Board packet distribution, and general correspondence.

REAPPOINTMENT PROCESS FOR EXISTING BOARD MEMBERS

In October each year, the City Secretary shall contact existing board members whose terms are expiring confirming they would like to be considered for reappointments.

At the first City Council meeting in December, reappointment of existing board members whose term are expiring will be considered. Board member attendance may be brought before the City Council as part of reappointment consideration.

The City Council will review each board and vote upon each board member whose term is expiring.

The City Secretary shall contact each board member who was reappointed for another two-year term.

For any existing board members that would like to serve on a different board, a new application shall be completed and submitted for City Council consideration.

Approved by City Council: December 19, 2019

July 8, 2021	Present	Absent	Present	Present	Absent	Absent	Present
August 12, 2021	Present	Present	Present	Absent	Present	Present	Present
September 9, 2021	Present	Present	Absent	Present	Present	Absent	Absent
October 14, 2021	Present	Present	Present	Present	Absent	Present	Present
November 11, 2021	Present	Absent	Present	Present	Present	Absent	Present
December 9, 2021	Present						
January 13, 2022	Present	Present	Present	Absent	Present	Present	Present
February 10, 2022	Present	Present	Present	Present	Present	Absent	Absent
March 10, 2022	Present						
April 14, 2022	Absent	Present	Present	Present	Present	Present	Present
May 12, 2022	Present						
June 9, 2022	Present						
July 14, 2022	Present	Absent	Present	Present	Present	Absent	Absent
August 11, 2022	Absent	Present	Present	Present	Present	Absent	Present
September 8, 2022	Present	Present	Absent	Present	Present	Absent	Absent
October 13, 2022	Present	Present	Present	Absent	Present	Present	Present
Total of 22 Meetings for 2021-2022							
2021-2022 Attendance Totals:	Present: 20 Absent: 2	Present: 17 Absent: 5	Present: 20 Absent: 2	Present: 19 Absent: 3	Present: 19 Absent: 3	Present: 11 Absent: 9	Present: 13 Absent: 4

*Denotes Board members whose terms expire in December 2022

**Parks and Open Space Board Attendance
2021-2022**

Meeting Date 2021-2022	David Rhoads* Chairman	Bill Esposito Vice Chairman	Pam Poteete*	Ken Patterson	Christel Parish*	Laura Giles* Alternate 1	John Elliot Alternate 2
	Term Expires: 2022	Term Expires: 2023	Term Expires: 2022	Term Expires: 2023	Term Expires: 2022	Term Expires: 2022	Term Expires: 2023
January 26, 2021	Present	Present	Present	Present	Present	Present	Appointed August 4, 2022
March 23, 2021	Present	Present	Absent	Present	Present	Present	
May 25, 2021	Present	Present	Present	Present	Present	Present	
July 27, 2021	Present	Present	Present	Present	Absent	Absent	
August 4, 2021	Present	Present	Present	Present	Absent	Present	
August 26, 2021	Present	Present	Present	Present	Present	Present	
September 28, 2021	Present	Present	Present	Present	Present	Absent	
November 16, 2021	Present	Present	Present	Present	Present	Present	
December 13, 2021	Present	Present	Absent	Present	Present	Absent	
January 25, 2022	Present	Present	Present	Absent	Present	Present	
March 22, 2022	Present	Present	Present	Present	Absent	Present	
May 24, 2022	Present	Present	Present	Present	Present	Absent	
July 26, 2022	Present	Present	Present	Present	Present	Present	
August 30, 2022	Present	Present	Present	Present	Absent	Absent	
September 27, 2022	Present	Present	Present	Present	Present	Present	Present
Total of 15 Meetings for 2021-2022							
2021-2022 Attendance Totals:	Present: 15 Absent: 0	Present: 15 Absent: 0	Present: 13 Absent: 2	Present: 15 Absent: 0	Present: 9 Absent: 4	Present: 8 Absent: 5	Present: 1 Absent: 0

*Denotes Board members whose terms expire in December 2022



City of Lucas City Council Agenda Request December 1, 2022

Item No. 11

Requester: Mayor Jim Olk

Agenda Item Request

Executive Session: An Executive Session is not scheduled for this meeting.

As authorized by Section 551.071 of the Texas Government Code, the City Council may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney regarding any item on the agenda at any time during the meeting. This meeting is closed to the public as provided in the Texas Government Code.

Background Information

NA

Attachments/Supporting Documentation

NA

Budget/Financial Impact

NA

Recommendation

NA

Motion

NA



City of Lucas
City Council Agenda Request
December 1, 2022

Item No. 12

Requester: Mayor Jim Olk

Agenda Item Request

Reconvene from Executive Session and take any action necessary as a result of the Executive Session.

Background Information

NA

Attachments/Supporting Documentation

NA

Budget/Financial Impact

NA

Recommendation

NA

Motion

NA