



AGENDA

Board of Adjustment Meeting

January 25, 2023 | 6:30 PM

Council Chambers

City Hall | 665 Country Club Road,
Lucas, Texas

Notice is hereby given that a regular meeting of the Board of Adjustments of the City of Lucas will be held on Wednesday, January 25, 2023, at 6:30 pm at Lucas City Hall, 665 Country Club Road, Lucas, Texas 75002-7651 at which time the following agenda will be discussed. As authorized by Section 551.071 of the Texas Government Code, the City Council may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any item on the agenda at any time during the meeting.

If you would like to watch the meeting live you may go to the City's live streaming link at <https://www.lucastexas.us/departments/public-meetings/>.

How to Provide Input at a Meeting:

Speak In Person: Request to Speak forms will be available at the meeting. Please fill out the form and give to the City Secretary prior to the start of the meeting. This form will also allow a place for comments.

Submit Written Comments: If you are unable to attend a meeting and would like to submit written comments regarding a specific agenda item, email the City Secretary at eday@lucastexas.us by no later than 3:30 pm the day of the meeting. The email must contain the person's name, address, phone number, and the agenda item(s) for which comments will be made. Any requests received after 3:30 pm will not be included at the meeting.

Call to Order

- Roll Call
- Determination of Quorum
- Reminder to turn off or silence cell phones
- Pledge of Allegiance

Public Hearing

1. Conduct a public hearing and consider the request by Wai Ho for a variance from the City of Lucas Code of Ordinances to allow a fence over eight feet tall around a sports court in the backyard located at 872 Bristol Park, Phase 2, Lot 21 being all of a 1.52-acre tract of land. (**Building Inspector Scott DeJong**)
 - A. Presentation by Building Inspector Scott DeJong
 - B. Conduct public hearing
 - C. Take action on the variance request

2. Conduct a public hearing and consider the request by Reynaldo and Karla Pena for a variance from the City of Lucas Code of Ordinances to allow an accessory building to be located within the required side yard setbacks located at 1100 Brockdale Park Road, Boatright Addition, Lot 2. **(Building Inspector Scott DeJong)**
 - A. Presentation by Building Inspector Scott DeJong
 - B. Conduct public hearing
 - C. Take action on the variance request

3. Conduct a public hearing and consider the request by Haiyan Zhan on behalf of homeowner Li Zhengquan for a variance from the City of Lucas Code of Ordinances to allow an accessory building to be located within the required side yard setbacks located at 1690 Lynn Lane, Glenbrook Estates, Lot 14. **(Building Inspector Scott DeJong)**
 - A. Presentation by Building Inspector Scott DeJong
 - B. Conduct public hearing
 - C. Take action on the variance request

Regular Agenda

4. Consider the appointment of a Chairman and Vice Chairman of the Board of Adjustment to serve for a period of one (1) year with terms ending December 31, 2023. **(Board of Adjustment)**
5. Consider approval of the minutes of the December 14, 2022 Board of Adjustment meeting. **(City Secretary Erin Day)**

Executive Agenda

As authorized by Section 551.071 of the Texas Government Code, the Planning and Zoning Commission may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney regarding any item on the agenda at any time during the meeting. This meeting is closed to the public as provided in the Texas Government Code.

6. Executive Session: An Executive Session is not scheduled for this meeting.
7. Adjournment.

Certification

I do hereby certify that the above notice was posted in accordance with the Texas Open Meetings Act on the bulletin board at Lucas City Hall, 665 Country Club Road, Lucas, Texas 75002 and on the City's website at www.lucastexas.us on or before 5:00 p.m. on January 20, 2023.

Erin Day, City Secretary

In compliance with the American with Disabilities Act, the City of Lucas will provide for reasonable accommodations for persons attending public meetings at City Hall. Requests for accommodations or interpretive services should be directed to Erin Day at 972-912-1211 or by email at eday@lucastexas.us at least 48 hours prior to the meeting.



City of Lucas

Board of Adjustments Agenda Request

January 25, 2023

Requester: Building Inspector Scott DeJong

Agenda Item Request

Conduct a public hearing and consider the request by Wai Ho for a variance from the City of Lucas Code of Ordinances to allow a fence over eight feet tall around a sports court in the backyard located at 872 Bristol Park, Phase 2, Lot 21 being all of a 1.52-acre tract of land.

- A. Presentation by Building Inspector Scott DeJong
- B. Conduct public hearing
- C. Take action on the variance request

Background Information

The City of Lucas Board of Adjustment has received a request for a variance from the literal interpretation of the City of Lucas Code of Ordinances to allow a fence over eight feet tall around a sports court in the backyard located at 872 Bristol Park.

The City's Code of Ordinances, Chapter 3, Building Regulations, Article 3.19, Fencing Requirements states the following:

3.19.001. Applicability.

This article shall apply to all fences that are erected in the city for the purpose of creating a barrier and used to prevent entry and/or to confine or to mark a boundary provided such fence is greater than sixty (60) feet in length and greater than thirty-six (36) inches in height.

3.19.002. Residential, agricultural and estate districts.

(a) Height.

- (1) Maximum height of 6 feet (6') for front yards.
- (2) Maximum height of 8 feet (8') for side and rear yards.

Attachments/Supporting Documentation

- 1. Public Hearing Notice
- 2. Location Map
- 3. Permit Application
- 4. Variance Application

Budget/Financial Impact

NA



City of Lucas
Board of Adjustments Agenda Request
January 25, 2023

Recommendation

Staff has no recommendation on this item. This is a Board of Adjustment decision.

Motion

I make a motion to approve/deny the request by Wai Ho for a variance from the City of Lucas Code of Ordinances to allow a fence over eight feet tall around a sports court in the backyard located at 872 Bristol Park, Phase 2, Lot 21 being all of a 1.52-acre tract of land.



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that the Board of Adjustments of the City of Lucas, Texas will conduct a public hearing on January 25, 2023, at 6:30 p.m. at Lucas City Hall, 665 Country Club, Lucas, Texas to consider a request for a variance from the literal interpretation of the City's Code of Ordinances more particularly described as follows:

An application submitted by Wai Ho for a parcel of land located in Bristol Park Phase 2, Lot 21 being all of a 1.52-acre tract of land, otherwise known as 872 Bristol Park, Lucas, Texas. The request is for variance from the literal interpretation of the City's Code of Ordinance to allow a fence over 8' tall around a sports court in the backyard.

The City's Code of Ordinances, Chapter 3, Building Regulations, states the following:

ARTICLE 3.19. Fencing Requirements

3.19.001. Applicability.

This article shall apply to all fences that are erected in the city for the purpose of creating a barrier and used to prevent entry and/or to confine or to mark a boundary provided such fence is greater than sixty (60) feet in length and greater than thirty-six (36) inches in height. (Ordinance 2015-01-00808 adopted 4/2/15)

3.19.002. Residential, agricultural and estate districts.

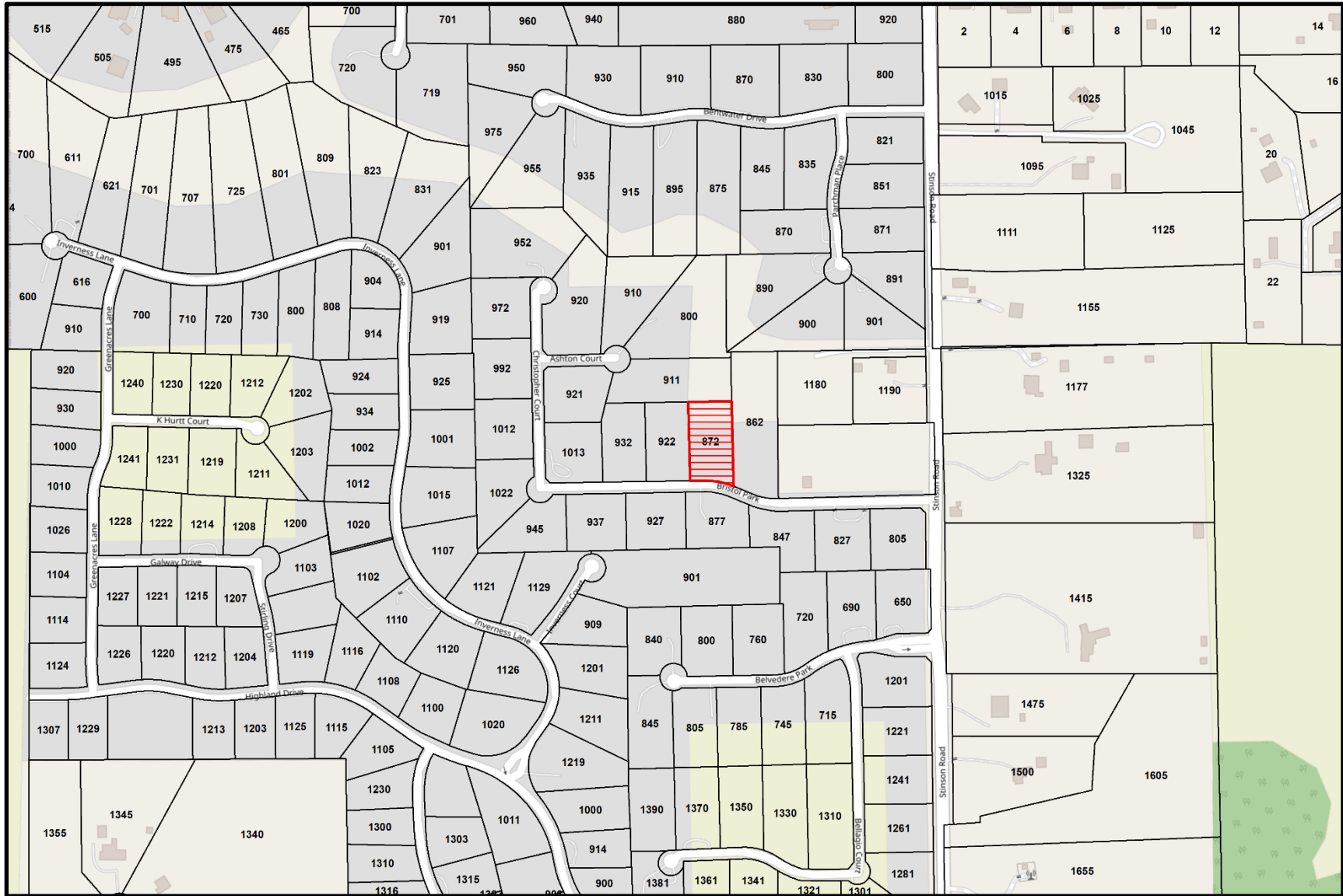
(a) Height.

- (1) Maximum height of 6 feet (6') for front yards.
- (2) Maximum height of 8 feet (8') for side and rear yards.

Those wishing to speak **FOR** or **AGAINST** the above item are invited to attend. If you are unable to attend and have comments you may send them to City of Lucas, Attention: City Secretary, 665 Country Club Road, Lucas, Texas 75002, or email eday@lucastexas.us and it will be presented at the hearing. If you have any questions about the request please contact Joe Hilbourn at jhilbourn@lucastexas.us.



LOCATION MAP: 872 BRISTOL PARK





MISCELLANEOUS BUILDING PERMIT

INSPECTION REQUEST LINE
214-644-0779

City of Lucas
665 Country Club
Lucas, TX 75002
Phone: 972-912-1206
EMAIL: PERMITS@LUCASTEXAS.US

PERMIT #

Project Address: 872 Bristol Park Zoning: Residential

Subdivision: Bristol Park Lot: 21 Block: B

Property Owner Name: Wai Ho Phone: 409-820-1646

(General) Contractor Name & Address: Lifetime Fence Company Phone: 214 952 9158

(Elec) Contractor Name & Address: _____ Phone: _____

(Plumb) Contractor Name & Address: _____ Phone: _____

(HVAC) Contractor Name & Address: _____ Phone: _____

Type of Permit:

- | | | |
|---|---|--|
| <input type="checkbox"/> HVAC | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> POOL/ SPA/HOT TUB |
| <input type="checkbox"/> ACCESSORY BUILDING | <input type="checkbox"/> POOL BARRIER FENCE | <input type="checkbox"/> PLUMBING |
| <input type="checkbox"/> CULVERT/APPROACH | <input type="checkbox"/> SIGN | <input type="checkbox"/> IRRIGATION |
| <input type="checkbox"/> FIRE SUPPRESSION | <input type="checkbox"/> CERTIFICATE OF OCCUPANCY | <input type="checkbox"/> ROOFING |
| | <input type="checkbox"/> PLAN REVIEW | <input type="checkbox"/> ALARM |

OTHER 194' of 10' tall chainlink around basketball court

BUILDING INFORMATION

BRIEF DESCRIPTION OF PROJECT: 194' of 10' tall chainlink around basketball court

ESTIMATED SQUARE FOOTAGE OF PROJECT: 194' ESTIMATED VALUE: 13,917.64

NOTICE TO APPLICANT: UNDER PENALTY OF INTENTIONAL MISREPRESENTATION AND/OR PERJURY, I DECLARE that I have examined and/or made this application and it is true and correct to the best of my knowledge and belief. I agree to construct said improvement in compliance with all provisions of the Ordinances of the City of Lucas, I realize that the information that I have stated hereon forms a basis for the issuance of the Building Permit herein applied for and approval of any plans in connection therewith shall not be construed to permit any construction upon said premises or use thereof in violation of any provision of the Lucas City Code or any other ordinance or to excuse the owner or his successors in from complying therewith. WHERE NO WORK HAS BEEN STARTED WITHIN 180 DAYS AFTER THE ISSUANCE OF A PERMIT OR WHEN MORE THAN 180 DAYS LAPSES BETWEEN APPROVAL OF REQUIRED INSPECTIONS, SUCH PERMIT SHALL BE VOID.

I hereby certify that I am the OWNER at this address or that for the purposes of obtaining this approval, I am acting on behalf of the owner. All contract work on this project will be done by a contractor holding a valid privilege tax license and contractor's license issued by the State of Texas and the City of Lucas.

SIGNED: Heather King
Owner or Agent

DATE: 11/4/22

FINAL INSPECTION REQUIREMENTS:

All final reports and paperwork need to be on site for final inspection, including but not limited to: backflow report, final energy report, final termite report, final grade report, septic report or other reports that may be necessary.

Official Use Only:

Permit Fees

Permit Fee: _____

Weight Permit: _____

Contractor Reg: _____

Other: _____

Total Amount Due: _____

Official Use Only

Signature: _____ Date: _____

Received By

Signature: _____ Date: _____

Building Official

From: _____ Check# _____ Cash _____ CC _____



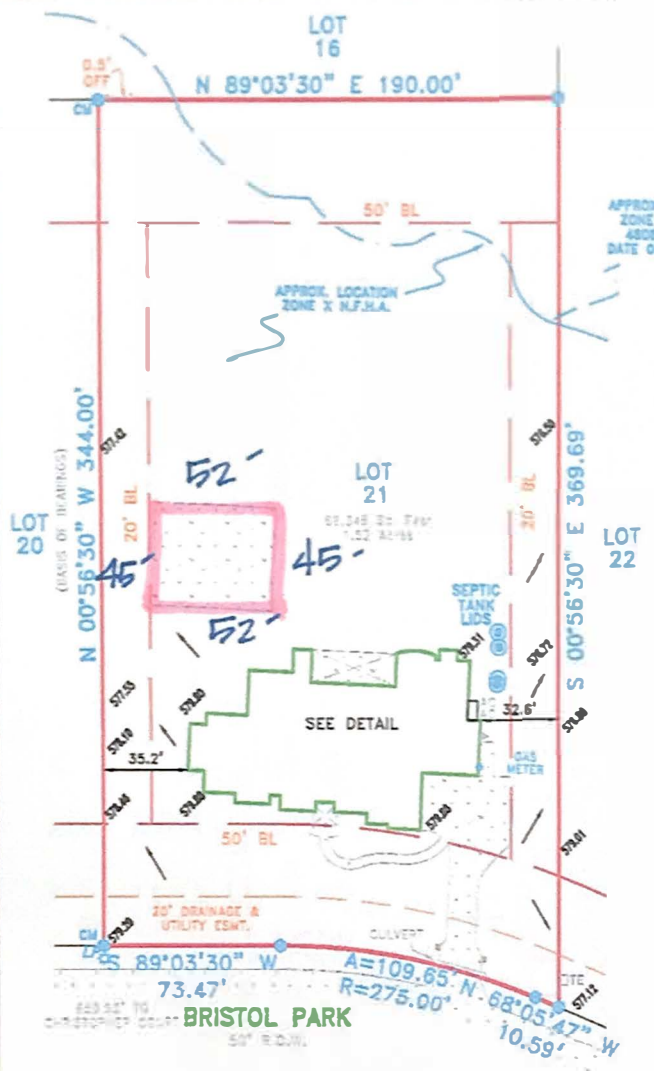
872 Bristol Park

Being Lot 21, Block B, of the Bristol Park Phase Two Addition, an addition to the City of Lucas, Collin County, Texas, according to the plat recorded under Document No. 2014-701, Plat Records, Collin County, Texas.

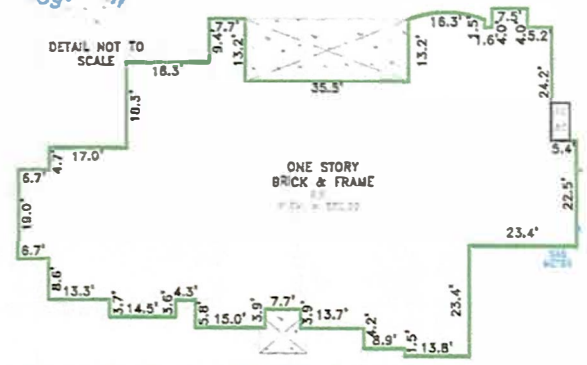


LEGEND

- 1/2" ROD FOUND
- ⊙ 1/2" ROD SET
- 1" PIPE FOUND
- ⊙ 1" PIPE FOUND/SET
- ⊙ 3/8" ROD FOUND
- ⊙ 3/8" ROD SET
- ⊙ POINT FOR CORNER
- ⊙ FENCE POST FOR CORNER
- CONTROLLING WORKMENT
- AC AIR CONDITIONER
- PC POOL EQUIPMENT
- TR TRANSFORMER
- FAD FAD
- ⊙ COLLIMK
- ⊙ POWER POLE
- ▲ UNDERGROUND ELECTRIC
- ▲ OVERHEAD ELECTRIC
- OIP— OVERHEAD ELECTRIC POWER
- OIS— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 4" WIDE TYPICAL
- IRON FENCE
- ✕ BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CONCRETE
- COVERED AREA



194' of 10' tall Chainlink around Basketball Court



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN DOC. #'S 20141223001397E0, 20170407000447240

NOTES:

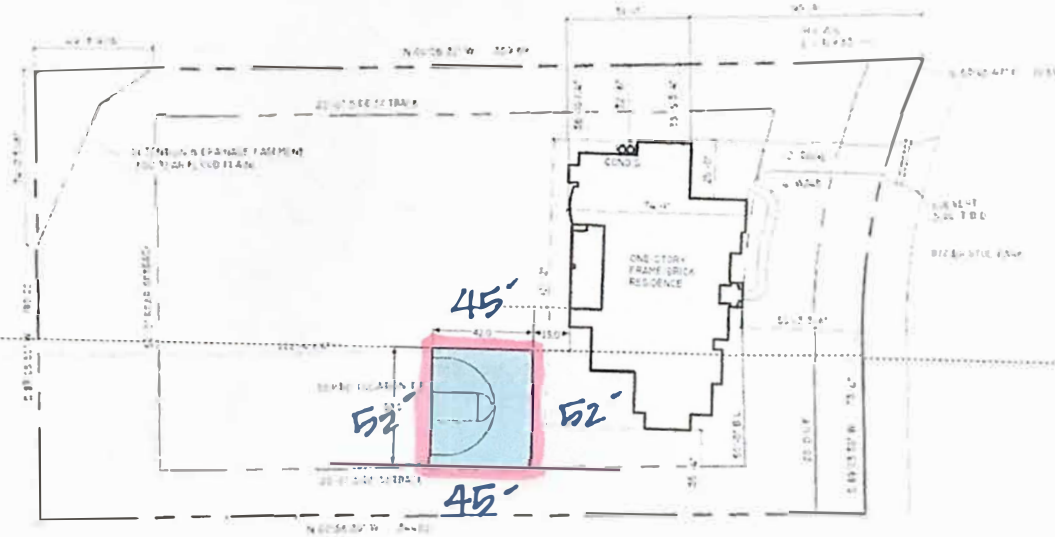
NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.
 FLOOD NOTE: According to the F.I.R.M. No. 48085C0405J, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone. Except as shown.
 This survey is made in conjunction with the information provided by Our Country Homes. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other uses shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Date: _____ Accepted by: _____
 Purchaser _____
 Purchaser _____

Drawn By: JLA
 Scale: 1" = 50'
 Date: 07/13/18
 GF No.: 18904DFW
 Job No. 1716608-02

12025 Shiloh Road, Ste. 230
 Dallas, TX 75229
 P 214-349-9485
 F 214-349-2265
 Firm No. 10166800
 www.cbgsurvey.com

Whi 1h - 0719 Bristol D.M.V.



194' of 10'
 tall Chainlink
 around basket
 ball court

PLOT PLAN

DATE: 11/04/22

LOT: 872

SCALE: 1" = 20'-0"

DATE: 11/04/22

Wai Ho - 872 Bristol Park



APPEAL TO THE BOARD OF ADJUSTMENT CITY OF LUCAS

DATE: 11/22/22

FEE: \$450.00

APPEAL # _____

SUBMITTED BY: Name: Wai Ho
Address: 872 Bristol Park
City: Lucas State: TX Zip: 75002
Phone: 469-826-11046

FILING DEADLINE: An appeal shall be filed with the Board within ten (10) days after the date of decision of the Enforcing Officer. Every appeal shall be filed with the City Secretary no later than fifteen (15) days prior to the scheduled Board meeting. When the filing deadline falls on a holiday, the following workday shall be observed as the filing deadline.

TYPES OF APPEALS: Please check the type of appeal you are filing. The Board shall consider two types of appeals authorized under Article 1011G, Revised Civil Statutes of Texas, as amended:

1. For a special exception for use or development of property on which the Board is required to act.
2. For a variance from the literal enforcement of the Ordinance in order to achieve a reasonable development of property.

BRIEFLY DESCRIBE YOUR APPEAL:

We are requesting permission to install 10' tall chainlink around a basketball court found at 872 Bristol Park in Lucas. We ask that you approve for the safety of players and property from stray basketballs.

PLEASE NOTE: Contact City Secretary for proper filing procedures. If applicant fails to appear without notice, the Board may require the applicant to re-file appeal.

EXPIRATION OF GRANDTED APPEAL: Approval of any appeal shall expire 90 days after the Board's decision unless authorized construction or occupancy permits have been obtained, or unless a greater time is requested in the application and is authorized by the Board. Any approval may be granted one extension of an additional 90 days on written request filed with the Board before expiration of original approval. The time limit for every granted appeal shall commence on the first day of the month succeeding the month in which the Board renders its decision.

SIGNATURE OF PERSON FILING FOR APPEAL:



DECISION OF THE BOARD: _____

DATE: _____

If not granted by the Board, state reason why:

CHAIRMAN



City of Lucas

Board of Adjustments Agenda Request

January 25, 2023

Requester: Building Inspector Scott DeJong

Agenda Item Request

Conduct a public hearing and consider the request by Reynaldo and Karla Pena for a variance from the City of Lucas Code of Ordinances to allow an accessory building to be located within the required side yard setbacks located at 1100 Brockdale Park Road, Boatright Addition, Lot 2.

- A. Presentation by Building Inspector Scott DeJong
- B. Conduct public hearing
- C. Take action on the variance request

Background Information

The City of Lucas Board of Adjustment has received a request for a variance from the literal interpretation of the City of Lucas Code of Ordinances to allow an accessory building to be located within the required side yard setbacks.

The City's Code of Ordinances, Chapter 14, Division 8, Accessory Buildings, Structures and Uses, 14.04.304 General Accessory Building and Structures Regulations, states the following:

- (3) Setbacks.
- (A) Accessory buildings.
 - (i) Front yard setback, a minimum of ten feet behind the rear build line of the main structure unless the building is attached and is designed to be architecturally compatible with the main building and constructed of similar materials as the main building. Then a fifty-foot front yard setback is required.
 - (ii) Rear yard setback, a minimum of twenty feet.
 - (iii) Side yard setbacks, a minimum of twenty feet.

Attachments/Supporting Documentation

- 1. Public Hearing Notice
- 2. Location Map
- 3. Pictures of Accessory Building
- 4. Variance Application

Budget/Financial Impact

NA

Recommendation

Staff has no recommendation on this item. This is a Board of Adjustment decision.



City of Lucas
Board of Adjustments Agenda Request
January 25, 2023

Motion

I make a motion to approve/deny the request by Reynaldo and Karla Pena for a variance from the City of Lucas Code of Ordinances to allow an accessory building to be located within the required side yard setbacks located at 1100 Brockdale Park Road, Boatright Addition, Lot 2.



NOTICE OF PUBLIC HEARING

Notice is Hereby Given that the Board of Adjustments of the City of Lucas, Texas will conduct a public hearing on January 25, 2023 at 6:30 p.m. at Lucas City Hall, 665 Country Club, Lucas, Texas to consider a request for a variance from the literal interpretation of the City's Code of Ordinances more particularly described as follows:

An application submitted by Reynaldo and Karla Pena, owners for a parcel of land located in the **BOATRIGHT ADDITION, LOT 2** being all of a 2.16-acre tract of land, otherwise known as 1100 Brockdale Park Rd, Lucas Texas. The request is for variance from the literal interpretation of the City's Code of Ordinance to allow an accessory building to be located within the required side yard setbacks.

The City's Code of Ordinances, Chapter 14, Division 8, Accessory Buildings, Structures and Uses, 14.04.304 General accessory building and structures regulations, states the following:

(3) Setbacks.

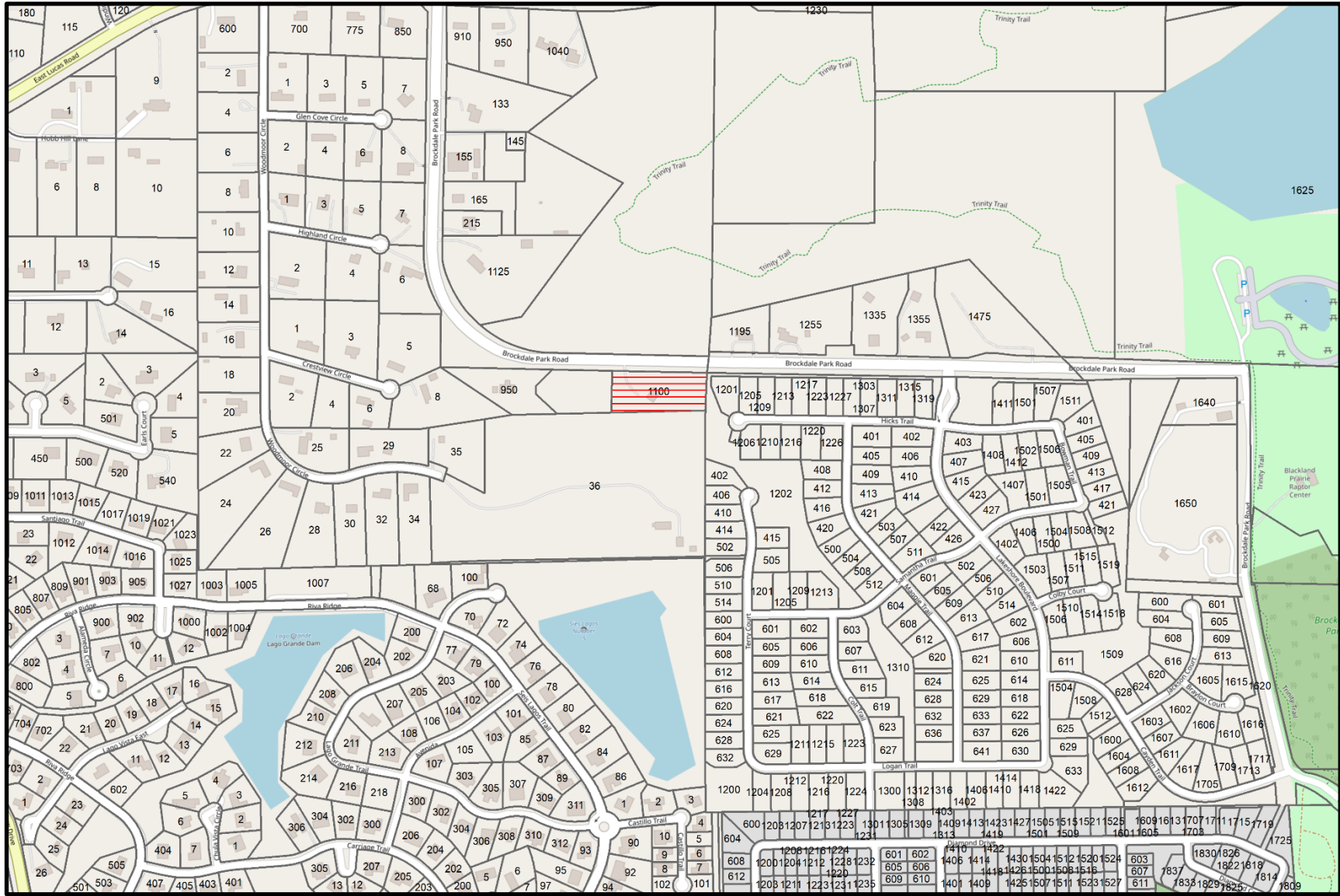
(A) Accessory buildings.

- (i) Front yard setback, a minimum of ten feet behind the rear build line of the main structure unless the building is attached and is designed to be architecturally compatible with the main building and constructed of similar materials as the main building. Then a fifty-foot front yard setback is required.
- (ii) Rear yard setback, a minimum of twenty feet.
- (iii) Side yard setbacks, a minimum of twenty feet.

Those wishing to speak **FOR** or **AGAINST** the above item are invited to attend. If you are unable to attend and have comments you may send them to City of Lucas, Attention: City Secretary, 665 Country Club Road, Lucas, Texas 75002, email eday@lucastexas.us and it will be presented at the hearing. If you have any question about the request please contact Joe Hilbourn at jhilbourn@lucastexas.us.



LOCATION MAP: 1110 BROCKDALE PARK ROAD





Front of Accessory Building at 1100 Brockdale



Distance from fence



APPEAL TO THE BOARD OF ADJUSTMENT CITY OF LUCAS

DATE: 1/5/2022

FEE: \$450.00

APPEAL # _____

SUBMITTED BY: Name: Reynaldo and Karla Pena
Address: 1100 brockdale park rd
City: Lucas State: Tx Zip: 75002
Phone: 2144376465

FILING DEADLINE: An appeal shall be filed with the Board within ten (10) days after the date of decision of the Enforcing Officer. Every appeal shall be filed with the City Secretary no later than fifteen (15) days prior to the scheduled Board meeting. When the filing deadline falls on a holiday, the following workday shall be observed as the filing deadline.

TYPES OF APPEALS: Please check the type of appeal you are filing. The Board shall consider two types of appeals authorized under Article 1011G, Revised Civil Statutes of Texas, as amended:

1. For a special exception for use or development of property on which the Board is required to act.
2. For a variance from the literal enforcement of the Ordinance in order to achieve a reasonable development of property.

BRIEFLY DESCRIBE YOUR APPEAL:

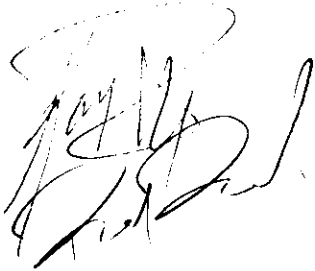
To Whom This May Concern,

We received a letter on December 19, 2022, regarding an accessory structure at our residence, 1100 Brockdale Park Rd. Lucas TX 75002 that violated Section 3.01.005 with the City of Lucas.

Firstly, we apologize for having unknowingly violated this code and we are eager to seek resolution. When we installed this storage unit over a 10-day period in October 2022, including its concrete foundation, we were unaware of the two requirements to 1) obtain an advance permit, or 2) maintain a minimum side yard setback of 20 feet. Currently, the storage unit has a 10 feet side yard setback from the property line, instead of 20.

Obviously, it is not possible to change our error of not obtaining a building permit in advance. As for the second violation, moving the structure 10 feet in order to comply with this ordinance would represent a significant hardship with marginal impact. We kindly request a variance from the Board of Adjustments to pay any penalties due and keep the structure where it is.

Thank you for your consideration

A handwritten signature in black ink, appearing to be "Jay Williams", written over a circular stamp that is mostly illegible.



City of Lucas

Board of Adjustments Agenda Request

January 25, 2023

Requester: Building Inspector Scott DeJong

Agenda Item Request

Conduct a public hearing and consider the request by Haiyan Zhan on behalf of homeowner Li Zhengquan for a variance from the City of Lucas Code of Ordinances to allow an accessory building to be located within the required side yard setbacks located at 1690 Lynn Lane, Glenbrook Estates, Lot 14.

- A. Presentation by Building Inspector Scott DeJong
- B. Conduct public hearing
- C. Take action on the variance request

Background Information

The City of Lucas Board of Adjustment has received a request for a variance from the literal interpretation of the City of Lucas Code of Ordinances to allow an accessory building to be located within the required side yard setbacks. The home has an existing legal non-conforming accessory building in the side yard. The building is set in line with the main structure. When the building was constructed, it met the City's requirements for accessory structures. The homeowner would like to enlarge the existing building.

The City's Code of Ordinances, Chapter 14, Division 8, Accessory Buildings, Structures and Uses, 14.04.304 General Accessory Building and Structures Regulations, states the following:

- (3) Setbacks.
 - (A) Accessory buildings.
 - (i) Front yard setback, a minimum of ten feet behind the rear build line of the main structure unless the building is attached and is designed to be architecturally compatible with the main building and constructed of similar materials as the main building. Then a fifty-foot front yard setback is required.
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Attachments/Supporting Documentation

- 1. Public Hearing Notice
- 2. Location Map
- 3. Permit Application
- 4. Variance Application

Budget/Financial Impact

NA



City of Lucas
Board of Adjustments Agenda Request
January 25, 2023

Recommendation

Staff has no recommendation on this item. This is a Board of Adjustment decision.

Motion

I make a motion to approve/deny the request by Haiyan Zhan on behalf of homeowner Li Zhengquan for a variance from the City of Lucas Code of Ordinances to allow an accessory building to be located within the required front yard setbacks located at 1690 Lynn Lane, Glenbrook Estates, Lot 14.



NOTICE OF PUBLIC HEARING

Notice is Hereby Given that the Board of Adjustments of the City of Lucas, Texas will conduct a public hearing on January 25, 2023 at 6:30 p.m. at Lucas City Hall, 665 Country Club, Lucas, Texas to consider a request for a variance from the literal interpretation of the City's Code of Ordinances more particularly described as follows:

An application submitted by Haiyan Zhan on behalf of owner Li Zhengquan for a parcel of land located in GLENBROOK ESTATES, LOT 14 being all of a 2.02-acre tract of land, otherwise known as 1690 Lynn Lane, Lucas Texas. The request is for variance from the literal interpretation of the City's Code of Ordinance to allow an accessory building to be located within the required side yard setbacks.

The City's Code of Ordinances, Chapter 14, Division 8, Accessory Buildings, Structures and Uses, 14.04.304 General accessory building and structures regulations, states the following:

(3) Setbacks.

(A) Accessory buildings.

- (i) Front yard setback, a minimum of ten feet behind the rear build line of the main structure unless the building is attached and is designed to be architecturally compatible with the main building and constructed of similar materials as the main building. Then a fifty-foot front yard setback is required.
- (ii) Rear yard setback, a minimum of twenty feet.
- (iii) Side yard setbacks, a minimum of twenty feet.

Those wishing to speak **FOR** or **AGAINST** the above item are invited to attend. If you are unable to attend and have comments you may send them to City of Lucas, Attention: City Secretary, 665 Country Club Road, Lucas, Texas 75002, email eday@lucastexas.us and it will be presented at the hearing. If you have any question about the request please contact Joe Hilbourn at jhilbourn@lucastexas.us.



MISCELLANEOUS BUILDING PERMIT

INSPECTION REQUEST LINE
214-644-0779

City of Lucas
665 Country Club
Lucas, TX 75002
Phone: 972-912-1206
EMAIL: PERMITS@LUCASTEXAS.US

PERMIT #

Project Address: 1690 Lynn Lane Lucas TX 75002 Zoning: _____

Subdivision: Glenbrook Estates Lot: 14 Block: _____

Property Owner Name: Zhengquan Li Phone: 402-979-7777

(General) Contractor Name & Address: Star Building & Carpents Phone: 833-319-0301

(Elec) Contractor Name & Address: _____ Phone: _____

(Plumb) Contractor Name & Address: _____ Phone: _____

(HVAC) Contractor Name & Address: _____ Phone: _____

Type of Permit:

- | | | |
|--|---|--|
| <input type="checkbox"/> HVAC | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> POOL/ SPA/HOT TUB |
| <input checked="" type="checkbox"/> ACCESSORY BUILDING | <input type="checkbox"/> POOL BARRIER FENCE | <input type="checkbox"/> PLUMBING |
| <input type="checkbox"/> CULVERT/APPROACH | <input type="checkbox"/> SIGN | <input type="checkbox"/> IRRIGATION |
| <input type="checkbox"/> FIRE SUPPRESSION | <input type="checkbox"/> CERTIFICATE OF OCCUPANCY | <input type="checkbox"/> ROOFING |
| <input type="checkbox"/> OTHER _____ | <input type="checkbox"/> PLAN REVIEW | <input type="checkbox"/> ALARM |

BUILDING INFORMATION

BRIEF DESCRIPTION OF PROJECT: Build a metal house

ESTIMATED SQUARE FOOTAGE OF PROJECT: 1050 ESTIMATED VALUE: \$ 29097.70

NOTICE TO APPLICANT: UNDER PENALTY OF INTENTIONAL MISREPRESENTATION AND/OR PERJURY, I DECLARE that I have examined and/or made this application and it is true and correct to the best of my knowledge and belief. I agree to construct said improvement in compliance with all provisions of the Ordinances of the City of Lucas, I realize that the information that I have stated hereon forms a basis for the issuance of the Building Permit herein applied for and approval of any plans in connection therewith shall not be construed to permit any construction upon said premises or use thereof in violation of any provision of the Lucas City Code or any other ordinance or to excuse the owner or his successors in from complying therewith. **WHERE NO WORK HAS BEEN STARTED WITHIN 180 DAYS AFTER THE ISSUANCE OF A PERMIT OR WHEN MORE THAN 180 DAYS LAPSES BETWEEN APPROVAL OF REQUIRED INSPECTIONS, SUCH PERMIT SHALL BE VOID.**

I hereby certify that I am the OWNER at this address or that for the purposes of obtaining this approval, I am acting on behalf of the owner. All contract work on this project will be done by a contractor holding a valid privilege tax license and contractor's license issued by the State of Texas and the City of Lucas.

SIGNED: [Signature] Owner or Agent DATE: 11/17/2022

FINAL INSPECTION REQUIREMENTS:

All final reports and paperwork need to be on site for final inspection, including but not limited to: backflow report, final energy report, final termite report, final grade report, septic report or other reports that may be necessary.

Official Use Only:

Permit Fees

Permit Fee: _____

Weight Permit: _____

Contractor Reg: _____

Other: _____

Total Amount Due: _____

Official Use Only

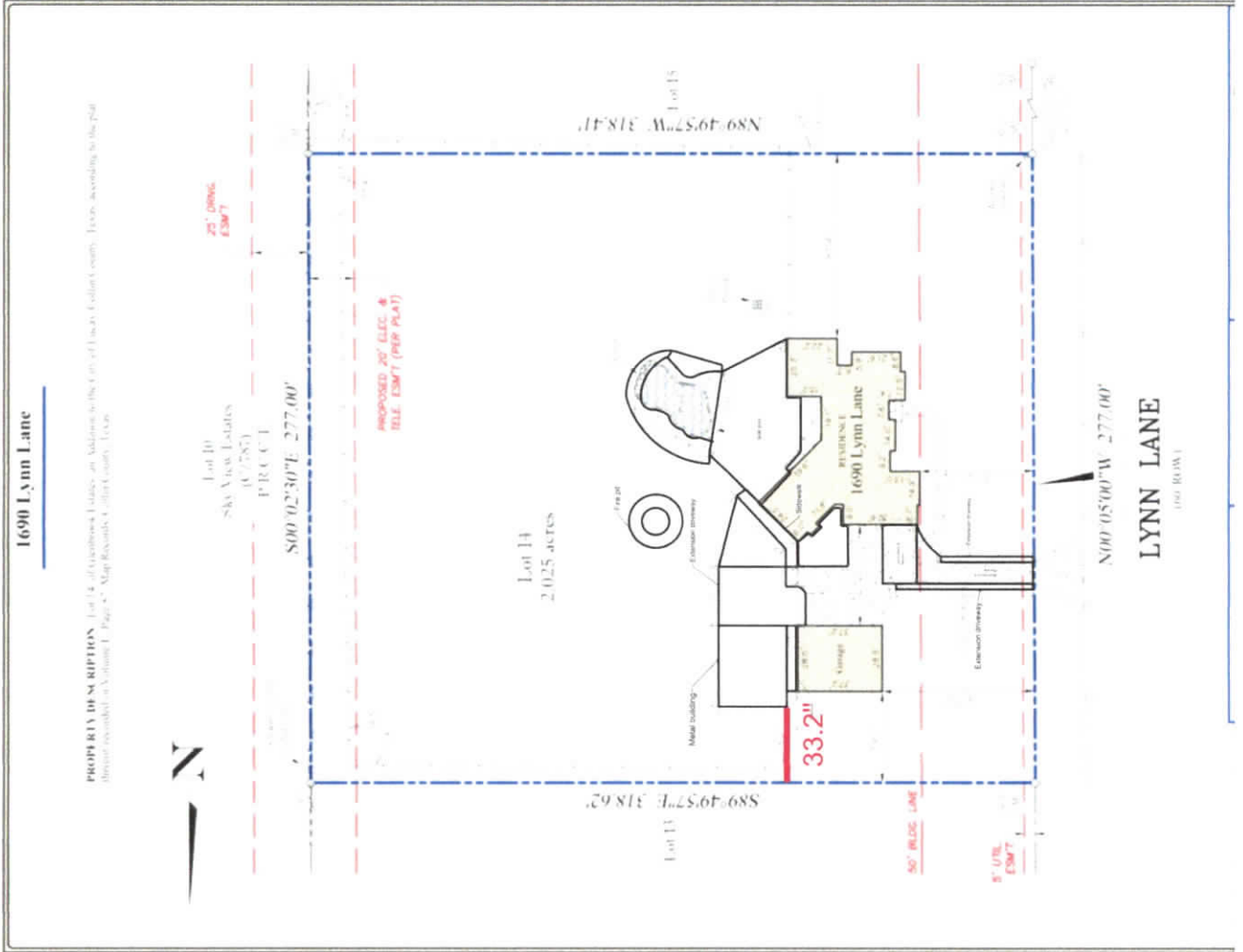
Signature: _____ Date: _____

Received By

Signature: _____ Date: _____

Building Official

From: _____ Check# _____ Cash _____ CC _____





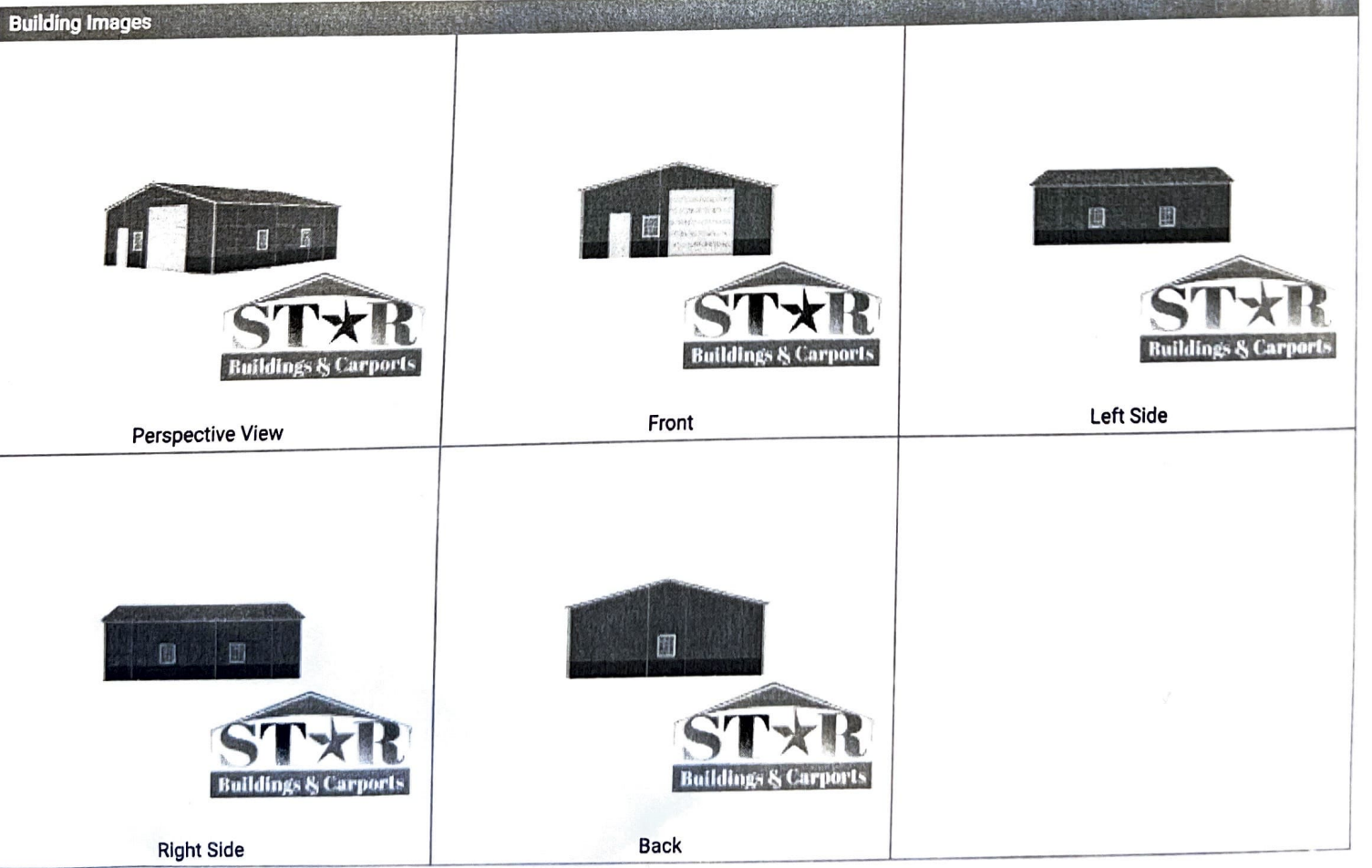
Star Buildings & Carports
 2803 NW Stallings Dr.
 Nacogdoches, TX 75964
 (833) 319-0301 or (936) 715-0363
 orders@starbuildingsandcarports.com

Customer Order - Nov 3, 2022

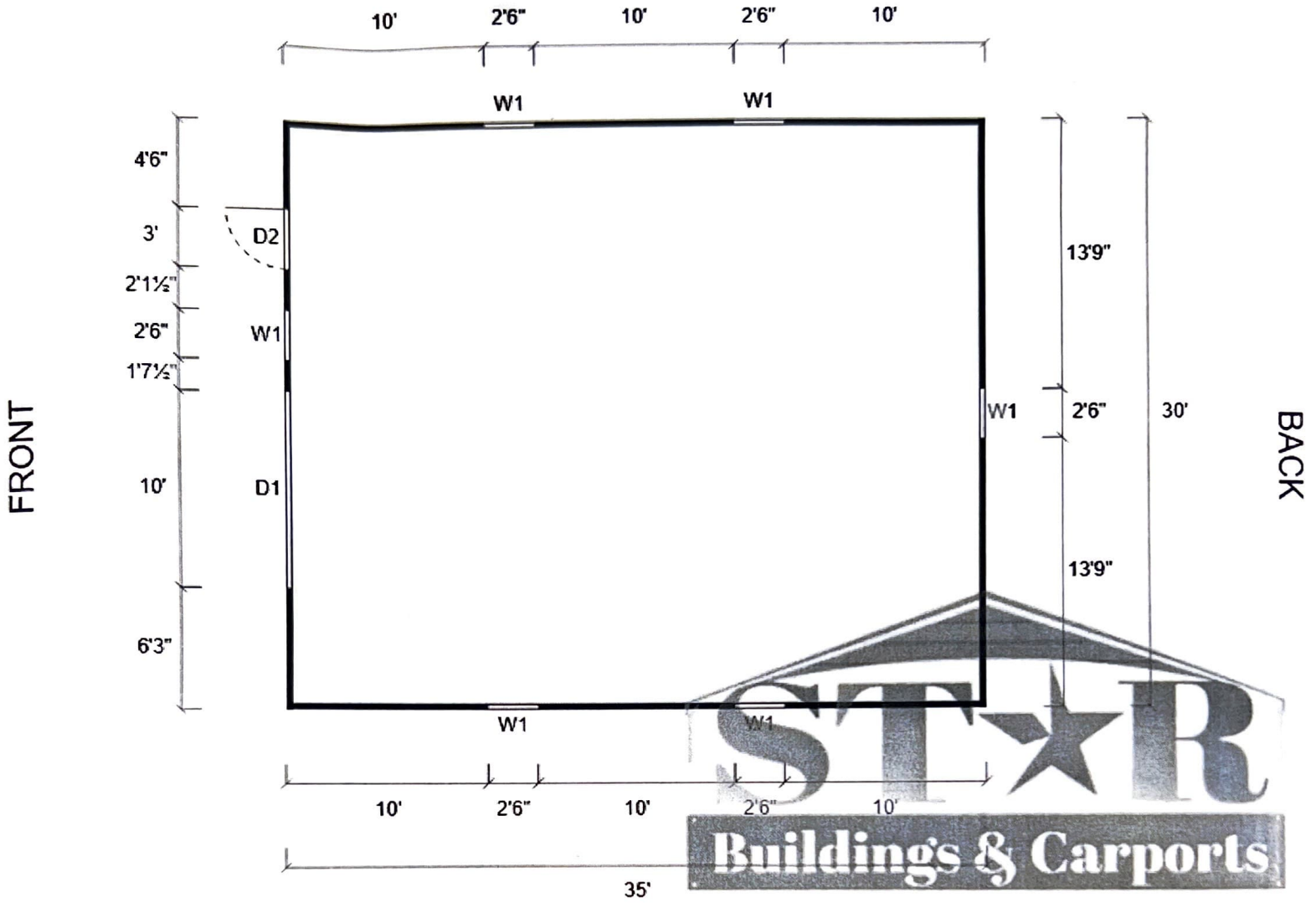
Ship To		Dealer	
Name <u>ZHENGQUAN LI</u>	Order # <u>1667487735687253</u>	LONESTAR SHEDS	
Billing Address <u>1690 LYNN LANE</u>		Phone: 9727425987	
City <u>LUCAS</u>	State <u>TX</u>	Zip Code <u>75002</u>	<u>BARBHISS@GMAIL.COM</u>
Install Address <u>1690 LYNN LANE</u>			
City <u>LUCAS</u>	State <u>TX</u>	Zip Code <u>75002</u>	
Email <u>LZQ851013@126.COM</u>	Phone # <u>4029797777</u>	Mobile # _____	

Building Info	Size	Color	Anchoring & Site Preparation
Style: Triple Wide (26' to 30' Wide)	30' X 35' X 10' Width Length Leg Height	Roof Pewter Gray <input checked="" type="checkbox"/>	Installation Surface: Dirt <input type="checkbox"/>
Roof Overhang: 6"		Trim: White <input type="checkbox"/>	Electricity Available <input checked="" type="checkbox"/>
Roof Style: Vertical Style		Wall Exterior Color Pewter Gray <input checked="" type="checkbox"/>	Ready For Installation (Only Check If Site Is Ready) <input type="checkbox"/>
Leg Style: Standard		Wall Exterior Color Pewter Gray <input checked="" type="checkbox"/>	Jobsite Level (No More Than 3" Un-level & Clear Of Obstacles) <input checked="" type="checkbox"/>
Brace: 2' Brace		Wainscot Quaker Gray <input checked="" type="checkbox"/>	Installation Surface Concrete <input type="checkbox"/>
			Inside City Limit <input checked="" type="checkbox"/>

Payment Details	
Payment Method	Money Order



LEFT SIDE



RIGHT SIDE

SYMBOL LEGEND

	D1 10' x 10' Garage Door		D2 36' x 80' Walk-in Door
	W1 30' x 36' With Grid		Closed Wall

Section	Description	Quantity	Amount
Structure Details			
	Style: Triple Wide (26' to 30' Wide)	1	-
	Base Price: 30'x35'	1	\$6,902.00
	Installation Surface: Dirt	1	-
	Roof Color: Pewter Gray	1	-
	Trim Color: White	1	-
	Wall Exterior Color: Pewter Gray	1	\$760.00
	Gable Ends Deluxe (Wainscot): Quaker Gray	1	\$880.00
	Side Walls Deluxe (Wainscot): Quaker Gray	1	-
	Roof Style: Vertical Style	1	-
	Roof Pitch: 3 / 12	1	-
	Roof Overhang: 6"	1	-
	Trusses: Triple Wide	1	-
	Leg Style: Standard	1	-
	Brace: 2' Brace	1	\$561.00
	Leg Height: 10'	1	\$1,139.00
	Left Side: Fully Enclosed	1	-
	Left Side Siding: Vertical	1	\$1,139.00
	Right Side: Fully Enclosed	1	-
	Right Side Siding: Vertical	1	\$2,397.00
	Front End: Fully Enclosed	1	-
	Front End Siding: Vertical	1	\$2,397.00
	Back End: Fully Enclosed	1	-
	Back End Siding: Vertical	1	-
Roll Doors & Ramps			
	10' x 10' Garage Door	1	\$836.00
Doors & Ramps			
	36" x 80" Walk-in Door	1	\$325.00
Windows & Accessories			
	30" x 36" With Grid	6	\$1,230.00
Additional Options			
	14 Gauge Framing		-
	29 Gauge Roof & Siding		-
		Subtotal:	\$18,566.00
		Sales Tax (8.25%):	\$1,531.70
		Total Order Amount:	\$20,097.70
		Deposit Required to Order:	\$2,970.56
		Final Balance Due at Installation:	\$17,127.14

Signatures	
Customer Signature:	
Date:	11/4/22
Delivery Notes:	
Dealer or Manufacturer Signature:	Barbara A. Huse Foresta Sheds
Date:	11/4/22

Purchase Agreement & Terms: Star Buildings & Carports reserves the right to correct any balance/pricing errors. Star Buildings & Carports holds the right to repossess any buildings not paid in full upon installation. The customer is responsible for obtaining building permits, if required. The customer is also responsible to verify there are no pipelines, gas lines, or water lines on installation site. In addition, there should be no electrical wires less than 15 feet above building site. The installers will charge the customer a labor fee for any additional labor such as cutting posts to level carports, building over objects (ex. RVs, mobile homes, etc.) Or for leveling your land. If any additions are made after the building is completed, there will be a return fee, plus the cost of addition. Star Buildings & Carports is not responsible for changes in scheduling due to weather, lack of permits, accidents, or unexpected extended installation times from previous customers. Regular and Boxed Eave Units longer than 36' will not be covered by warranty. By signing this form, the customer agrees with all of the above specifications, and understands that deposit on building is non-refundable in the event of cancellation after 72 hours upon order of building.

Customer Signature: _____ **Date:** 11/4/22

Dealer Signature: Barbara A. Hiss **Date:** 11/4/22

Pricing Table (For Internal Use): - Default Region

This estimate is provided by Star Buildings & Carports. Use of this estimate with any other company violates the terms and conditions of Star Buildings & Carports and will be subject to legal action.



Star Buildings & Carports
2803 NW Stallings Dr.
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orders@starbuildingsandcarports.com



STRUCTURAL DESIGN

ENCLOSED BUILDING

**MAXIMUM 30'- 0" WIDE X 16'- 0" HEIGHT-
BOX EAVE FRAME AND BOW FRAME**

**9 June 2020
Revision 0
M&A Project No. 20110S**

Prepared for:

**Star Buildings and Carports
3007 NW Stallings Drive
Nacogdoches, TX 75964**





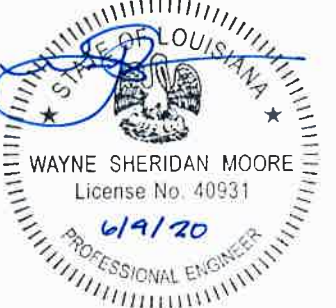
Prepared by:

Moore and Associates Engineering and Consulting, Inc.

**1009 East Avenue
North Augusta, SC 29841**

**401 S. Main Street, Suite 200
Mount Airy, NC 27030**



			
			
			
			
	<p>I HAVE RESEARCHED THIS CHAPTER AND THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.</p>		

<p align="center">MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.</p>	<p>DRAWN BY: LT</p>	<p align="center">STAR BUILDINGS AND CARPORTS 3007 NW STALLINGS DRIVE NACOGDOCHES, TX 75964 30'-0" x 16'-0" ENCLOSED STRUCTURE</p>		
	<p>CHECKED BY: PDH</p>	<p>PROJECT MGR: WSM</p>	<p>DATE: 6-9-20</p>	<p>SCALE: NTS</p>
<p><small>THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.</small></p>	<p>CLIENT: STAR BUILDINGS</p>	<p>SHT. 1</p>	<p>DWG. NO: SK-3</p>	<p>REV: 0</p>

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SHEET 6	COLUMN CONNECTION DETAILS (BOX EAVE RAFTER)
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SHEET 15B	LEAN-TO OPTIONS (BOW EAVE RAFTER)
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SHEET 17	SIDE WALL AND END WALL HEADER OPTIONS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: STAR BUILDINGS

STAR BUILDINGS AND CARPORTS
3007 NW STALLINGS DRIVE
NACOGDOCHES, TX 75964
30'-0"x16'-0" ENCLOSED STRUCTURE

DATE: 6-9-20

SCALE: NTS

JOB NO: 20110S

SHT. 2

DWG. NO: SK-3

REV: 0

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INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR MAXIMUM 30'-0" WIDE x 16'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC), 2015 IBC, 2012 IBC, 2009 IBC, AND 2006 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
 - A) DEAD LOAD = 15 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 25 PSF
4. 3-SECOND GUST ULTIMATE WIND SPEED (V_{ult}) = 140 MPH (NOMINAL WIND SPEED = 108 MPH).
5. MAXIMUM RAFTER/POST SPACING = 50 FEET
6. END WALL COLUMNS (POSTS) ARE EQUIVALENT TO SIDE WALL POSTS IN SIZE AND SPACING (UNLESS NOTED OTHERWISE).
7. RISK CATEGORY I.
8. WIND EXPOSURE CATEGORY B.
9. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS (UNLESS NOTED OTHERWISE), TS 2 1/4" x 2 1/4" - 12 GAUGE MAY BE USED AS AN OPTION.
10. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR HAT CHANNELS, AND COLUMNS (INTERIOR OR END) = 10" OC (MAX.)
11. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14° (3:12 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY ROOF SLOPES LESS THAN 3:12 REQUIRE USE OF LAP JOINT SEALANT.
12. ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6" OF EACH RAFTER COLUMN ALONG SIDES.
13. STANDARD SOIL NAIL FOUNDATION SYSTEM CONSISTS OF #4 REBAR W/ WELDED NUT x 36" LONG AND ARE APPLICABLE ONLY IN MEDIUM TO STIFF (SUITABLE) SOILS. OPTIONAL FOUNDATION SYSTEMS MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS. COORDINATE WITH LOCAL CODES/ORDINANCES REGARDING MINIMUM LENGTH FOR FROST DEPTH PROTECTION.
14. WIND FORCES GOVERN OVER SEISMIC FORCES SEISMIC PARAMETERS ANALYZED ARE:
 - SOIL SITE CLASS = D
 - RISK CATEGORY I
 - R= 325 $I_E = 10$
 - $S_{DS} = 2.039 g$ $V = C_S W$
 - $S_{D1} = 1.258 g$

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: STAR BUILDINGS

STAR BUILDINGS AND CARPORTS
3007 NW STALLINGS DRIVE
NACOGDOCHES, TX 75964
30'-0"x16'-0" ENCLOSED STRUCTURE

DATE: 6-9-20

SCALE: NTS

JOB NO: 20110S

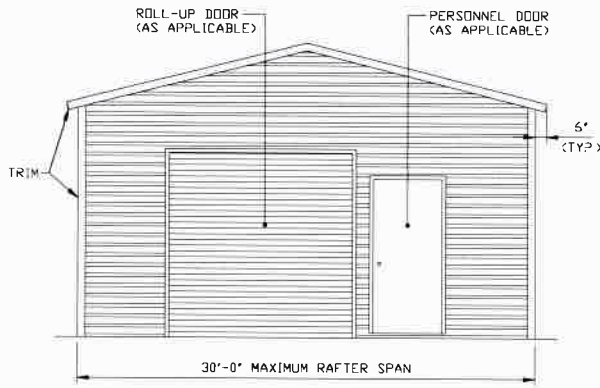
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DWG. NO: SK-3

REV: 0

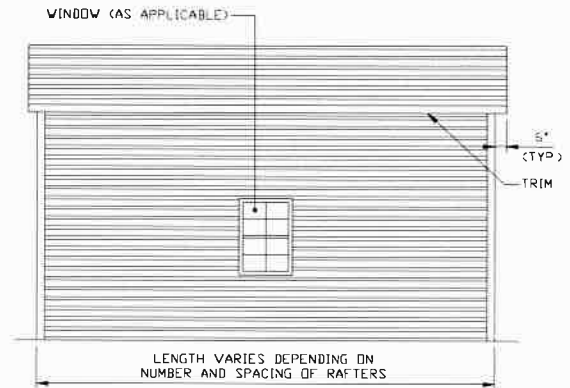
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BOX EAVE FRAME RAFTER STRUCTURE



TYPICAL END ELEVATION

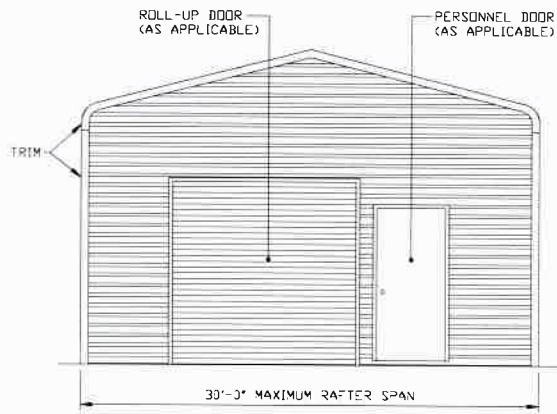
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TYPICAL SIDE ELEVATION

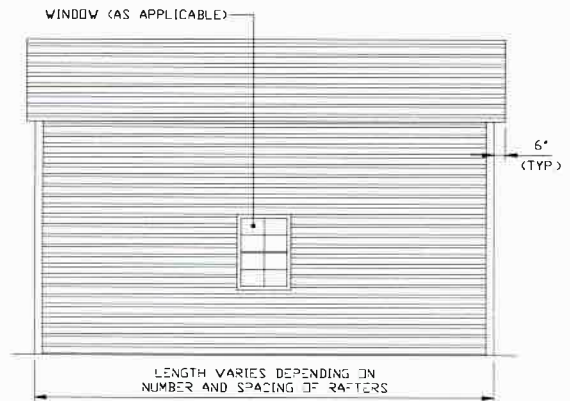
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BOW EAVE FRAME RAFTER STRUCTURE



TYPICAL END ELEVATION

SCALE: NTS



TYPICAL SIDE ELEVATION

SCALE: NTS

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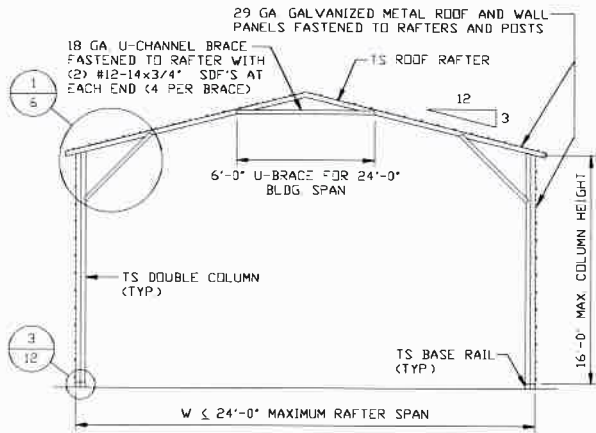
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DWG. NO: SK-3

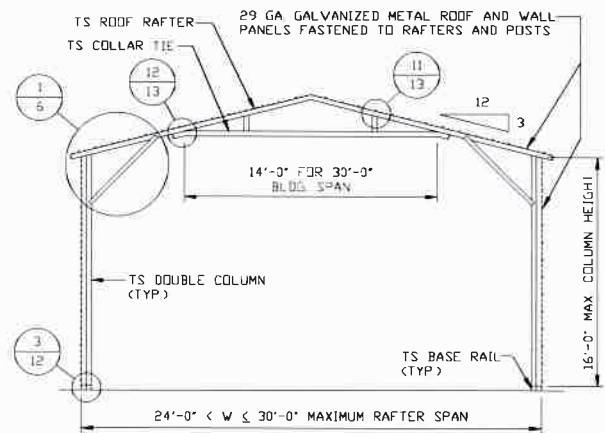
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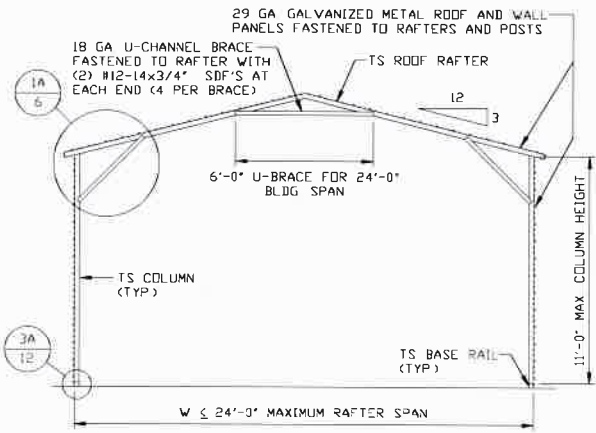
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



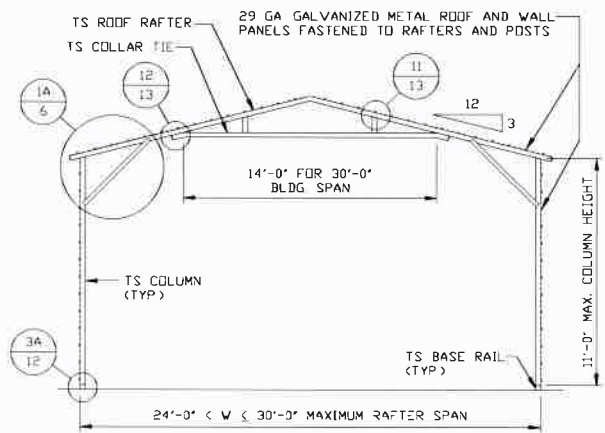
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



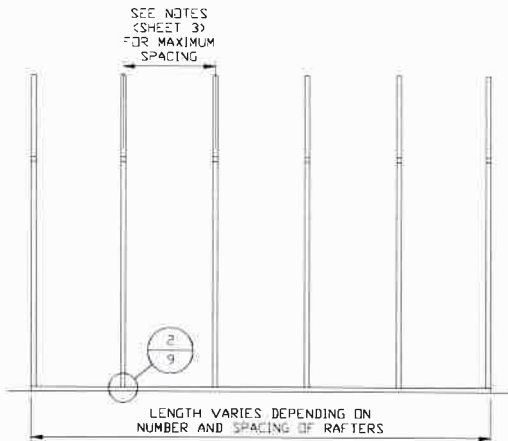
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE: NTS

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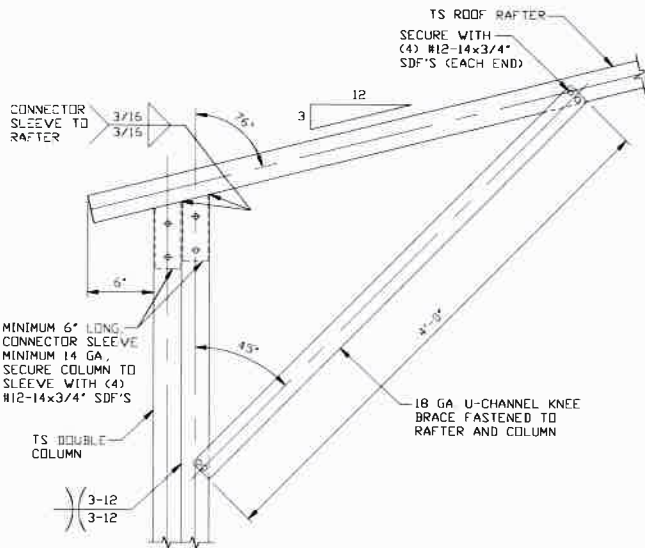
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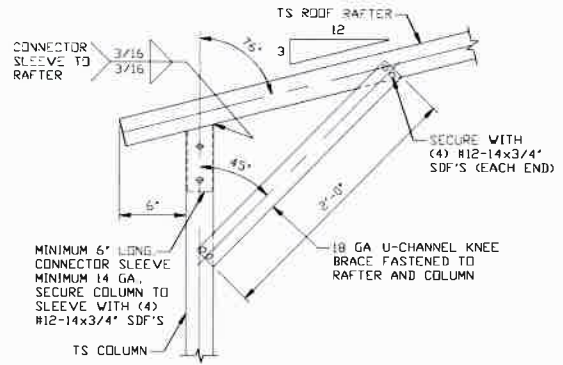
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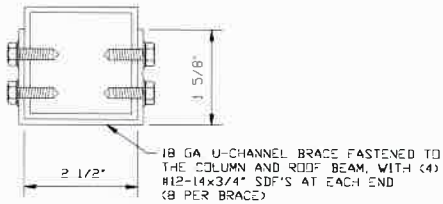
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1
BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 11'-0" < TO <= 16'-0"
 SCALE: NTS



1A
BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS <= 11'-0"
 SCALE: NTS



BRACE SECTION
 SCALE: NTS

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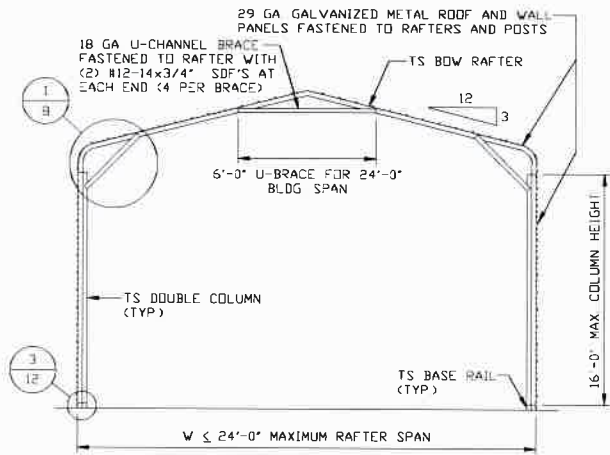
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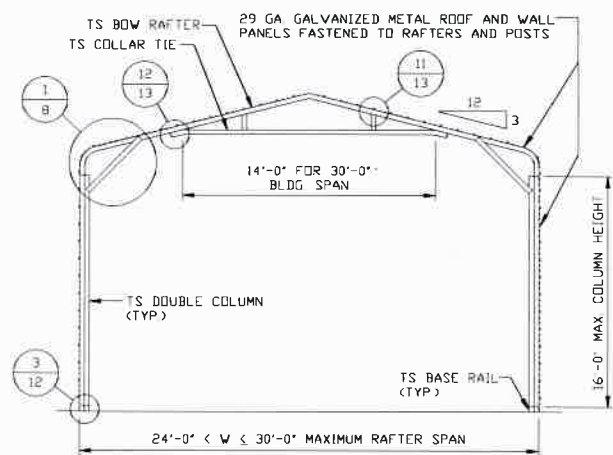
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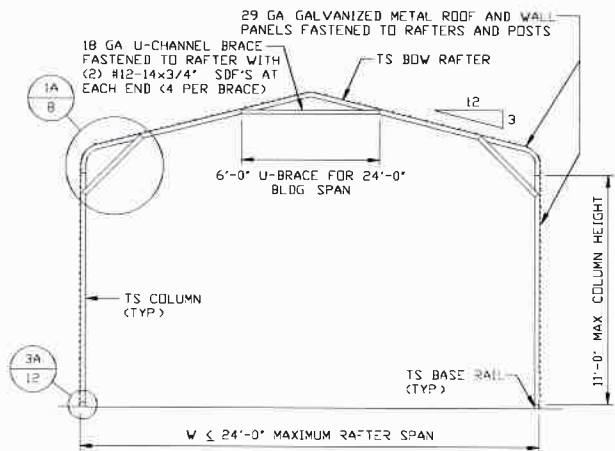
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



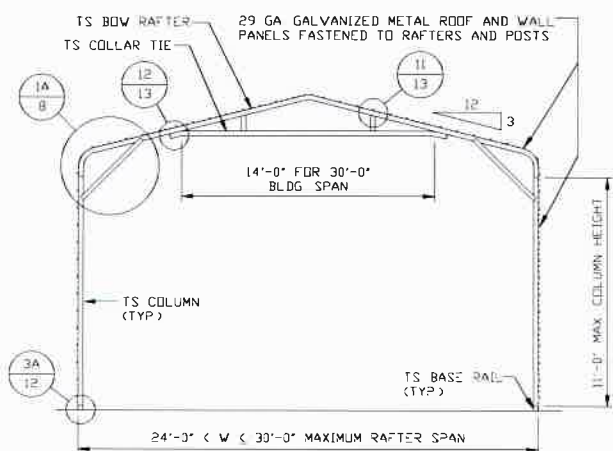
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



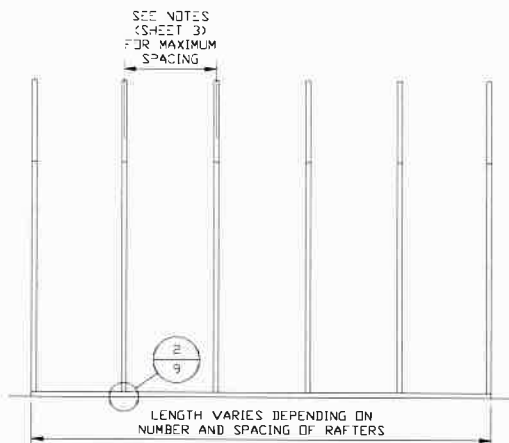
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN FRAMING SIDE SECTION

SCALE: NTS

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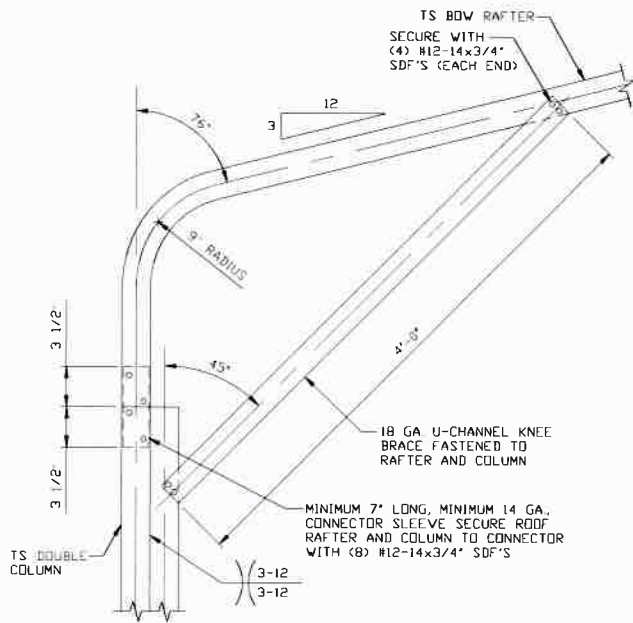
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JOB NO: 20110S

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REV: 0

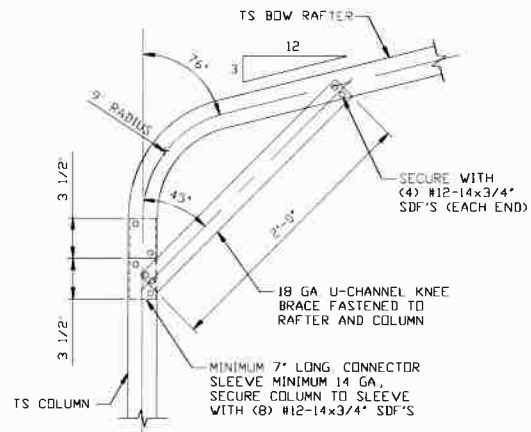
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BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 11'-0" < TO <= 16'-0"

1

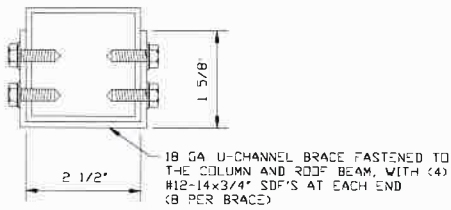
SCALE: NTS



BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS <= 11'-0"

1A

SCALE: NTS



BRACE SECTION

SCALE: NTS

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ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: STAR BUILDINGS

STAR BUILDINGS AND CARPORTS
3007 NW STALLINGS DRIVE
NACOGDOCHES, TX 75964
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DATE: 6-9-20

SCALE: NTS

JOB NO: 20110S

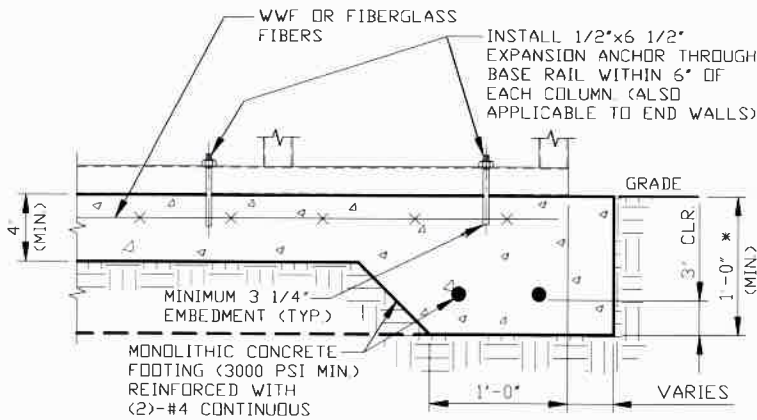
SHT. 8

DWG. NO: SK-3

REV: 0

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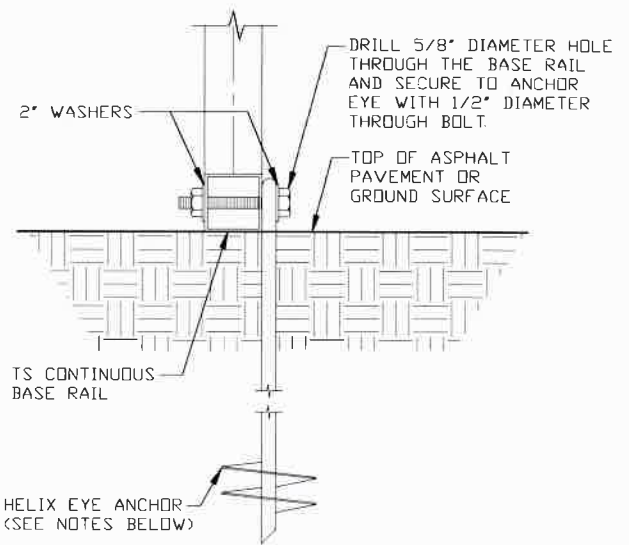
BASE RAIL ANCHORAGE OPTIONS



2

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS
 MINIMUM ANCHOR EDGE DISTANCE IS 4"
 * COORDINATE WITH LOCAL BUILDING CODE
 AND/OR BUILDING OFFICIAL REGARDING
 REQUIRED FOOTING DEPTH



2A

GROUND BASE HELIX ANCHORAGE

SCALE: NTS (CAN BE USED FOR ASPHALT)
 * COORDINATE WITH LOCAL CODES/ORD
 REGARDING MIN. FROST DEPTH (LENGTH)

GENERAL NOTES

NOTE: CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM
 SOIL BEARING CAPACITY OF 1,500 PSF

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE
 STRENGTH OF 3,000 PSI AT 28 DAYS

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING
 BARS SHALL BE PER ACI-318:

3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND
 PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE
 EARTH OR WEATHER, AND 1 1/2" ELSEWHERE.

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE
 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC
 MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE
 BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT
 BE FIELD BENT.

HELIX ANCHOR NOTES:

- 1 FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL
 AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE
 MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR
 SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT
- 2 FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM
 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM
 50" EMBEDMENT
- 3 FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY
 STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH
 MINIMUM 30 INCH EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM
 50" EMBEDMENT.
- 4 FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND
 SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM
 50" EMBEDMENT
- 5 FOR VERY LOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER
 CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES
 WITH MINIMUM 60" EMBEDMENT.

**MOORE AND ASSOCIATES
 ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: STAR BUILDINGS

STAR BUILDINGS AND CARPORTS
 3007 NW STALLINGS DRIVE
 NACOGDOCHES, TX 75964
 30'-0"x16'-0" ENCLOSED STRUCTURE

DATE: 6-9-20

SHT. 9

SCALE: NTS

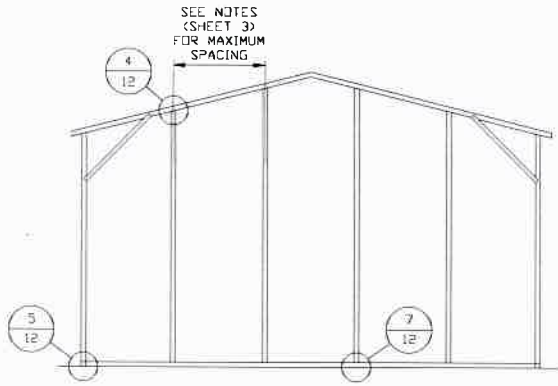
DWG. NO: SK-3

JOB NO: 20110S

REV: 0

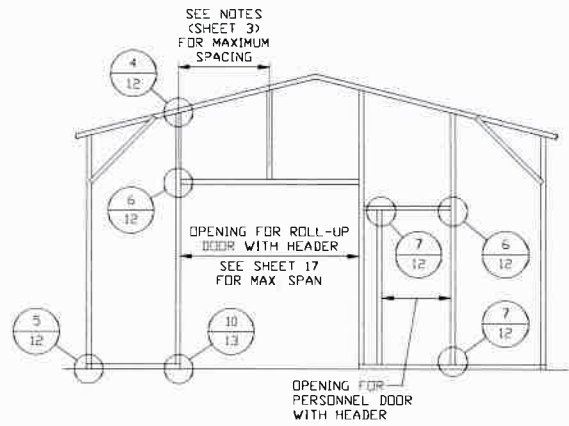
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BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



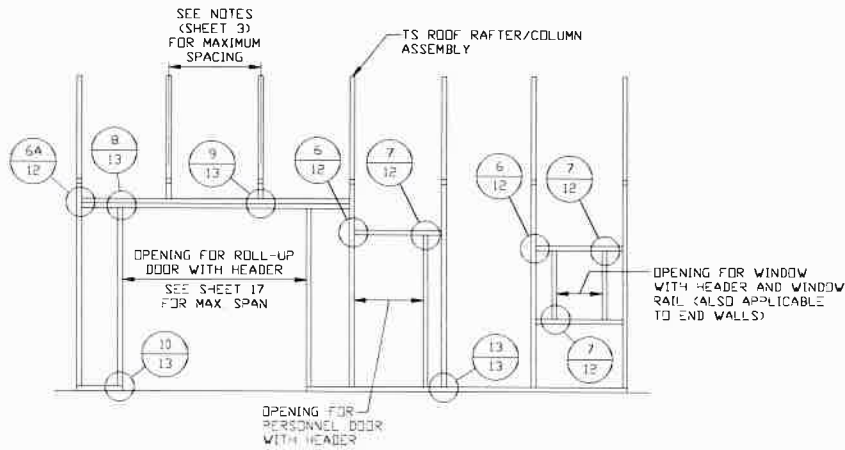
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS

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ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

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PROJECT MGR: VSM

CLIENT: STAR BUILDINGS

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3007 NW STALLINGS DRIVE
NACOGDOCHES, TX 75964
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 6-9-20

SCALE: NTS

JOB NO: 20110S

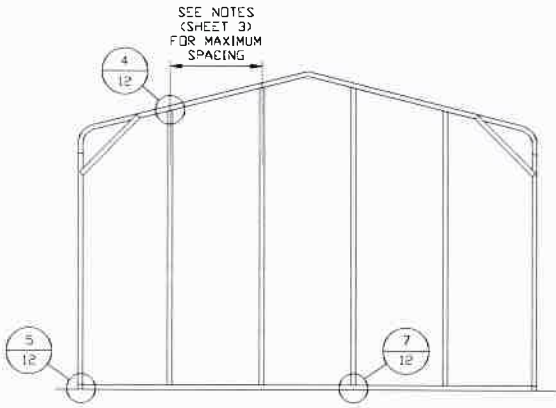
SHT. 10

DWG. NO: SK-3

REV: 0

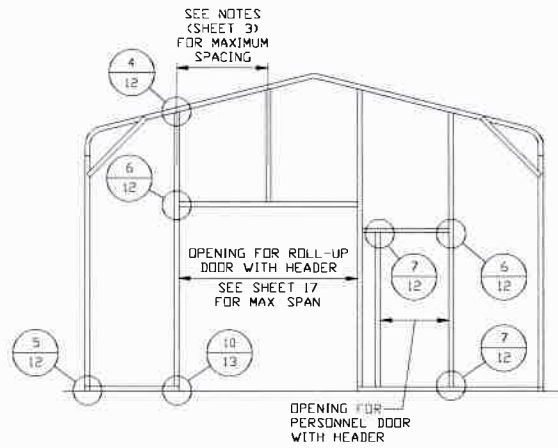
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BOW EAVE RAFTER END WALL AND SIDE WALL OPENINGS



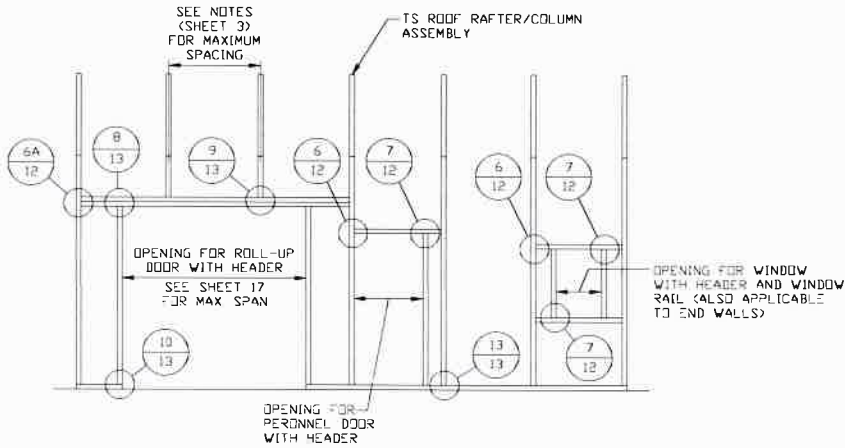
**TYPICAL BOW EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOW EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOW EAVE RAFTER SIDE
WALL OPENINGS FRAMING SECTION**

SCALE: NTS

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3007 NW STALLINGS DRIVE
NACOGDOCHES, TX 75964
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 6-9-20

SHT. 11

SCALE: NTS

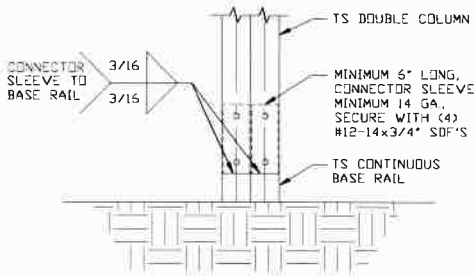
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JOB NO: 20110S

REV: 0

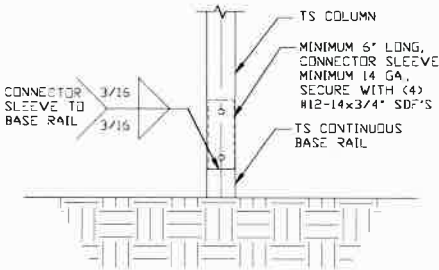
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CONNECTION DETAILS



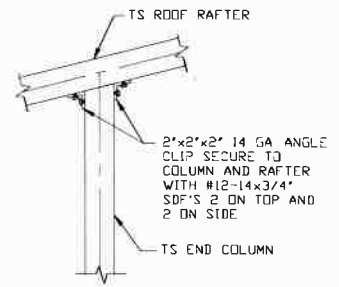
3 RAFTER COLUMN/
BASE RAIL
CONNECTION DETAIL

SCALE: NTS



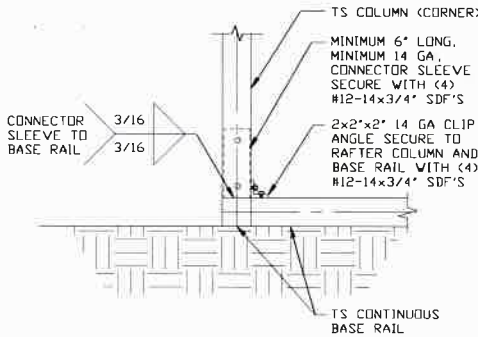
3A RAFTER COLUMN/
BASE RAIL
CONNECTION DETAIL

SCALE: NTS



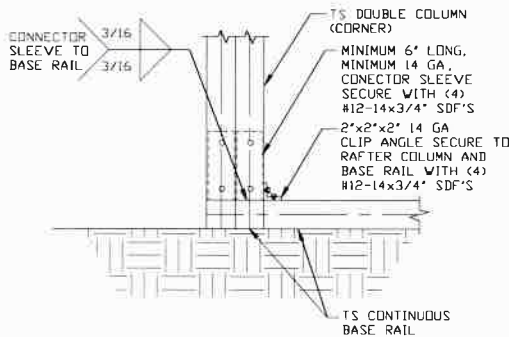
4 END COLUMN/RAFTER
CONNECTION DETAIL

SCALE: NTS



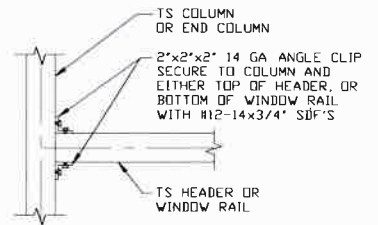
5 END COLUMN/BASE RAIL
CONNECTION DETAIL

SCALE: NTS



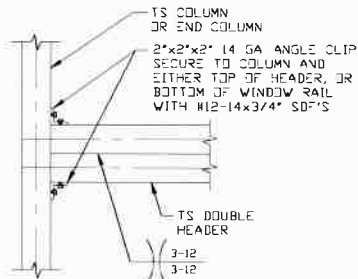
5A END COLUMN/BASE RAIL
CONNECTION DETAIL

SCALE: NTS



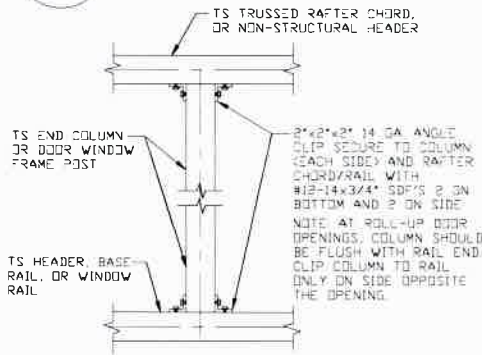
6 COLUMN OR WINDOW
RAIL/WALL GIRT
TO POST
CONNECTION DETAIL

SCALE: NTS



6A COLUMN OR WINDOW
RAIL TO POST
CONNECTION DETAIL

SCALE: NTS



7 COLUMN TO WINDOW RAIL
CONNECTION DETAIL

SCALE: NTS

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CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: STAR BUILDINGS

STAR BUILDINGS AND CARPORTS
3007 NW STALLINGS DRIVE
NACOGDOCHES, TX 75964
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 6-9-20

SHT. 12

SCALE: NTS

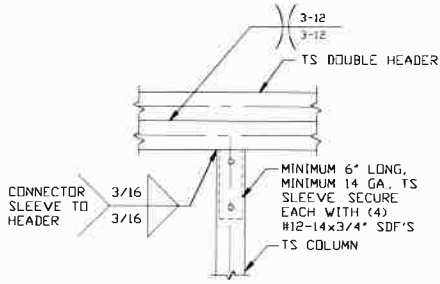
DWG. NO: SK-3

JOB NO: 20110S

REV: 0

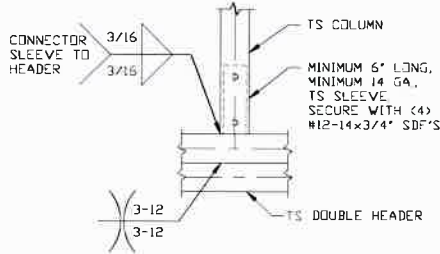
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CONNECTION DETAILS



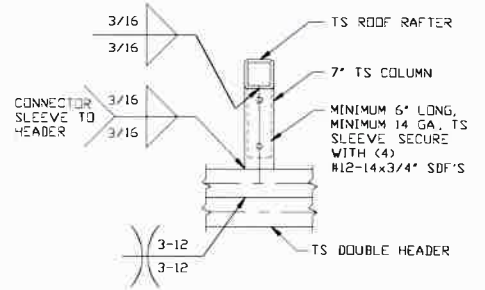
8 **DOUBLE HEADER/COLUMN CONNECTION DETAIL**

SCALE: NTS



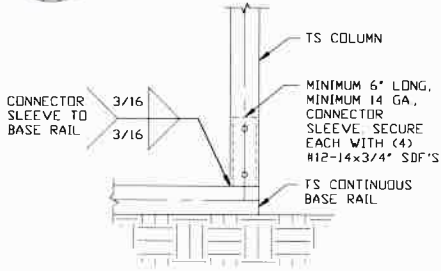
9A **COLUMN/DOUBLE HEADER CONNECTION DETAIL**

SCALE: NTS



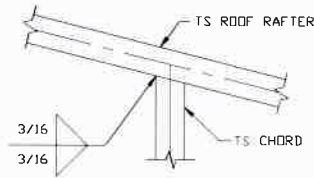
9B **COLUMN/DOUBLE HEADER CONNECTION DETAIL**

SCALE: NTS



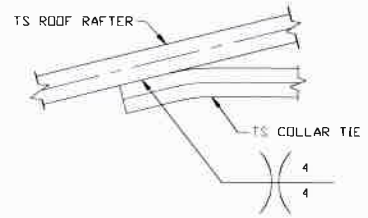
10 **COLUMN/BASE RAIL CONNECTION DETAIL**

SCALE: NTS



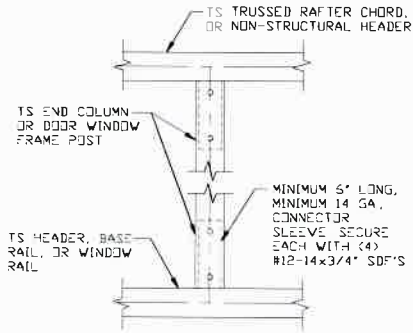
11 **RAFTER TO CHORD CONNECTION DETAIL**

SCALE: NTS



12 **COLLAR TIE CONNECTION DETAIL**

SCALE: NTS



13 **COLUMN TO HEADER OR BASE RAIL CONNECTION DETAIL**

SCALE: NTS

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DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: STAR BUILDINGS

**STAR BUILDINGS AND CARPORTS
3007 NW STALLINGS DRIVE
NACOGDOCHES, TX 75964
30'-0" x 16'-0" ENCLOSED STRUCTURE**

DATE: 6-9-20

SCALE: NTS

JOB NO: 20110S

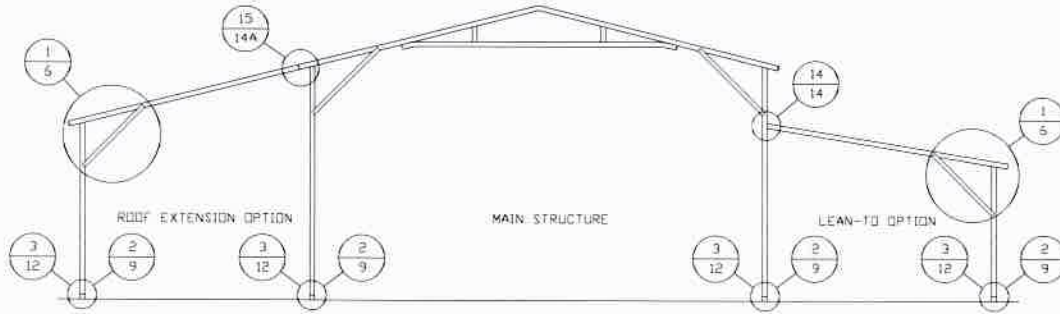
SHT. 13

DWG. NO: SK-3

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BOX EAVE RAFTER LEAN-TO OPTIONS



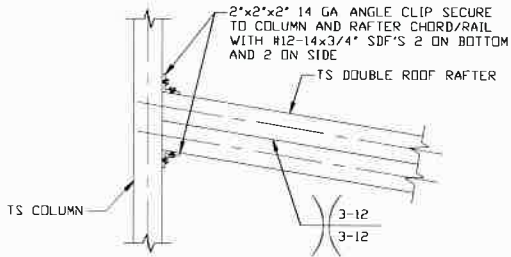
TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: NTS

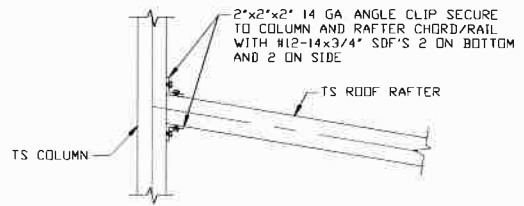
MAXIMUM WIDTH OF SINGLE MEMBER (RAFTER AND COLUMN) ROOF EXTENSION AND LEAN-TO IS 12'-0"

MAXIMUM WIDTH OF DOUBLE MEMBER RAFTER ROOF EXTENSION AND LEAN-TO IS 16'-0"

FOR SHARED COLUMN HEIGHTS REFERENCE RAFTER COLUMN CONNECTION DETAILS FOR APPROPRIATE COLUMN HEIGHT AND TUBING SPECIFICATIONS



14
**LEAN-TO RAFTER TO RAFTER
 COLUMN CONNECTION DETAIL FOR
 RAFTER SPANS 12'-0" < TO ≤ 16'-0"**
 SCALE: NTS



14A
**LEAN-TO RAFTER TO RAFTER
 COLUMN CONNECTION DETAIL
 FOR RAFTER SPANS ≤ 12'-0"**
 SCALE: NTS

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PROJECT MGR: WSM

CLIENT: STAR BUILDINGS

**STAR BUILDINGS AND CARPORTS
 3007 NW STALLINGS DRIVE
 NACOGDOCHES, TX 75964
 30'-0" x 16'-0" ENCLOSED STRUCTURE**

DATE: 6-9-20

SHT. 14

SCALE: NTS

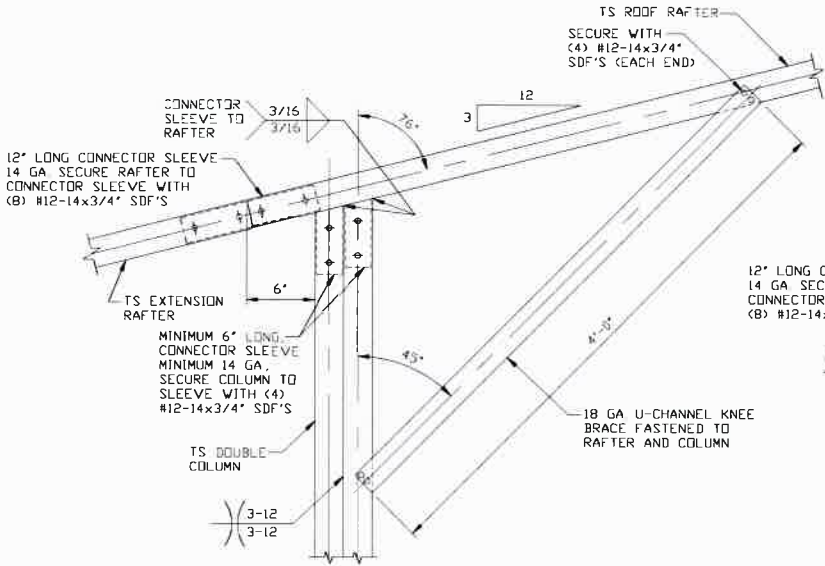
DWG. NO: SK-3

JOB NO: 20110S

REV: 0

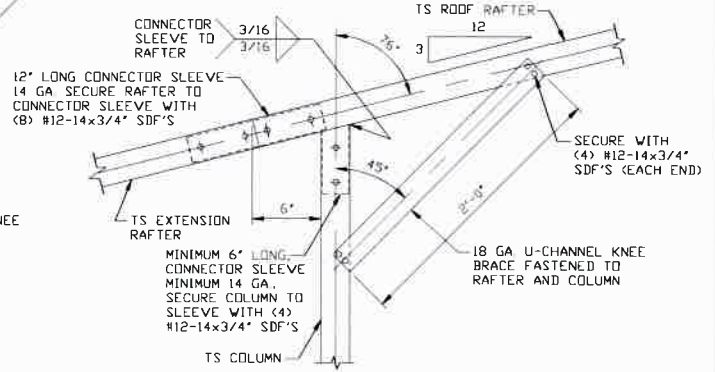
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BOX EAVE RAFTER LEAN-TO OPTIONS FOR RAFTER SPANS $\leq 12'-0''$



15
**SIDE EXTENSION RAFTER/
 COLUMN DETAIL FOR
 HEIGHTS 11'-0" < TO \leq 16'-0"**

SCALE: NTS



15A
**SIDE EXTENSION RAFTER/
 COLUMN DETAIL FOR
 HEIGHTS \leq 11'-0"**

SCALE: NTS

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PROJECT MGR: WSM

CLIENT: STAR BUILDINGS

STAR BUILDINGS AND CARPORTS
 3007 NW STALLINGS DRIVE
 NACOGDOCHES, TX 75964
 30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 6-9-20

SCALE: NTS

JOB NO: 20110S

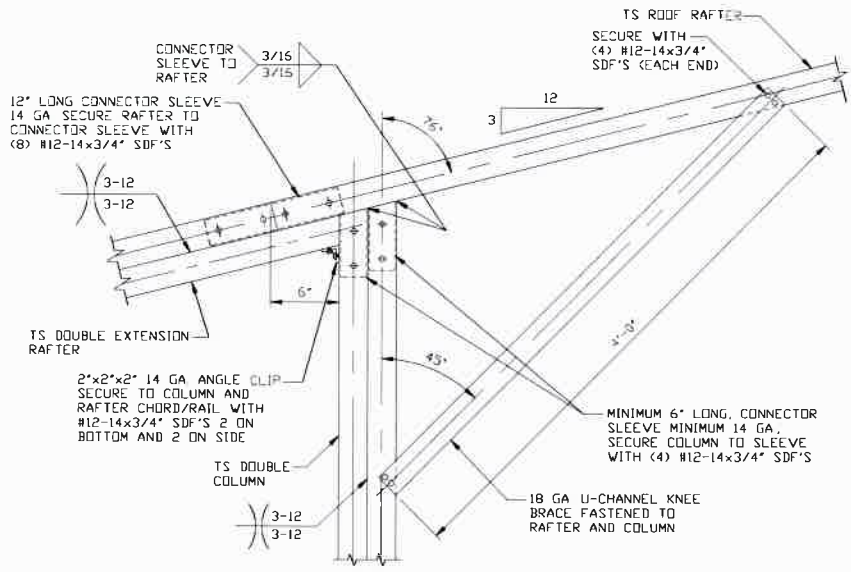
SHT. 14A

DWG. NO: SK-3

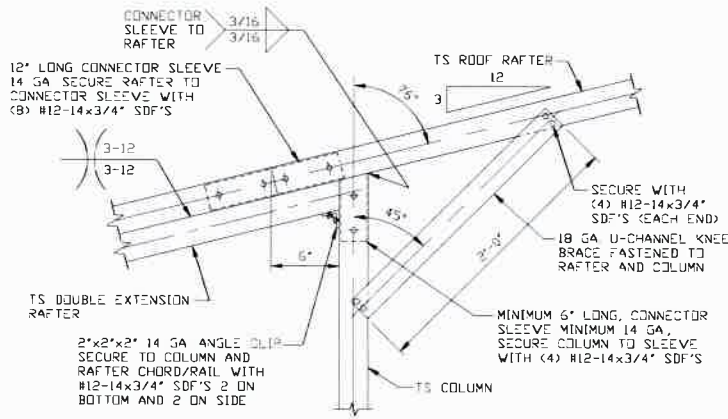
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BOX EAVE RAFTER LEAN-TO OPTIONS FOR RAFTER SPANS 12'-0" < TO ≤ 16'-0"



15B SIDE EXTENSION RAFTER/
COLUMN DETAIL FOR
HEIGHTS 11'-0" < TO ≤ 16'-0"
SCALE: NTS



15C SIDE EXTENSION RAFTER/
COLUMN DETAIL FOR
HEIGHTS ≤ 11'-0"
SCALE: NTS

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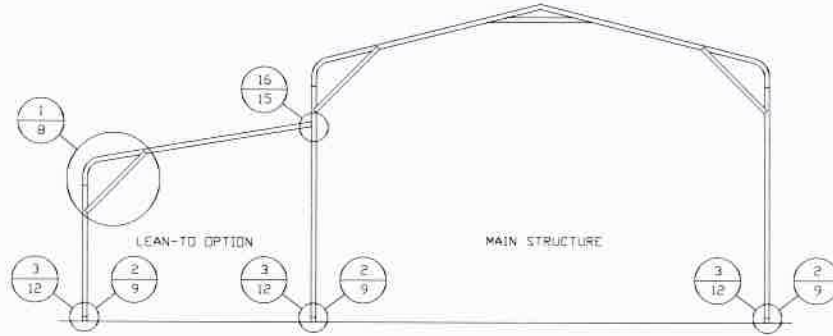
STAR BUILDINGS AND CARPORTS
3007 NW STALLINGS DRIVE
NACOGDOCHES, TX 75964
30'-0"x16'-0" ENCLOSED STRUCTURE

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CLIENT: STAR BUILDINGS

DATE: 6-9-20 **SCALE: NTS** **JOB NO: 20110S**
SHT. 14B **DWG. NO: SK-3** **REV: 0**

BOW EAVE RAFTER LEAN-TO OPTION



TYPICAL BOW EAVE RAFTER LEAN-TO OPTION FRAMING SECTION

SCALE: NTS

MAXIMUM WIDTH OF SINGLE MEMBER (RAFTER AND COLUMN) ROOF EXTENSION AND LEAN-TO IS 12'-0"

MAXIMUM WIDTH OF DOUBLE MEMBER RAFTER ROOF EXTENSION AND LEAN-TO IS 16'-0"

FOR SHARED COLUMN HEIGHTS REFERENCE RAFTER COLUMN CONNECTION DETAILS FOR APPROPRIATE COLUMN HEIGHT AND TUBING SPECIFICATIONS

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PROJECT MGR: WSM

CLIENT: STAR BUILDINGS

STAR BUILDINGS AND CARPORTS
3007 NW STALLINGS DRIVE
NACOGDOCHES, TX 75964
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 6-9-20

SCALE: NTS

JOB NO: 20110S

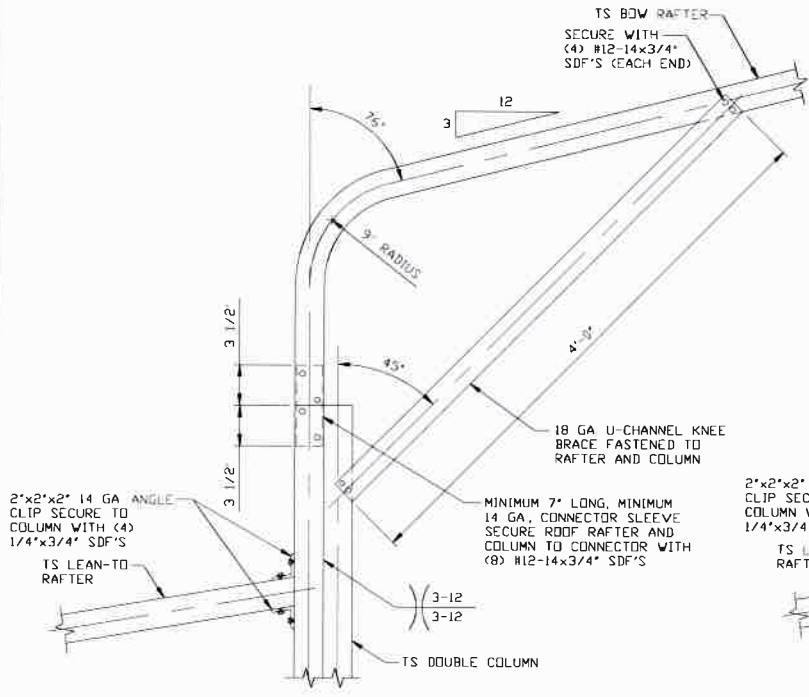
SHT. 15

DWG. NO: SK-3

REV: 0

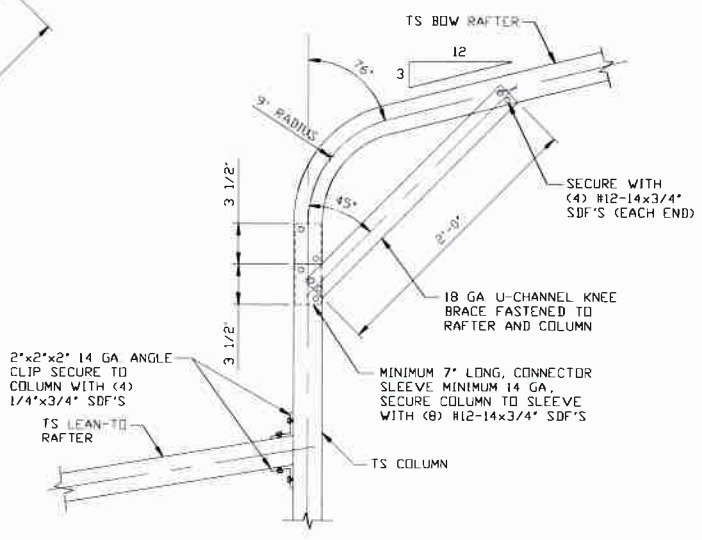
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BOW EAVE RAFTER LEAN-TO OPTIONS FOR RAFTER SPANS ≤ 12'-0"



16

**LEAN-TO RAFTER TO RAFTER
POST CONNECTION DETAIL
FOR HEIGHTS 11'-0" < TO ≤ 16'-0"**
SCALE: NTS



16A

**LEAN-TO RAFTER TO RAFTER
POST CONNECTION DETAIL
FOR HEIGHTS ≤ 11'-0"**
SCALE: NTS

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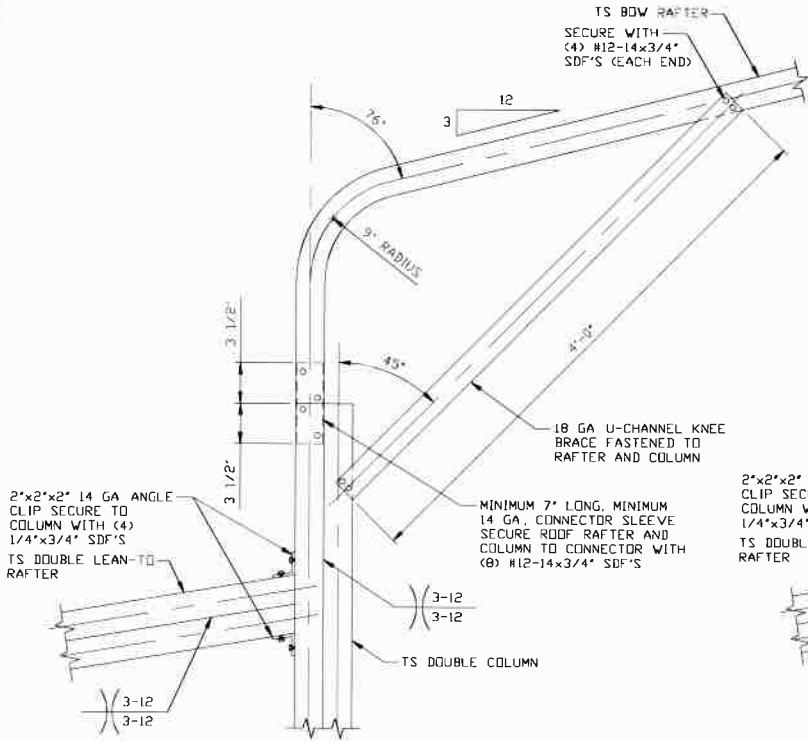
STAR BUILDINGS AND CARPORTS
3007 NW STALLINGS DRIVE
NACOGDOCHES, TX 75964
30'-0" x 16'-0" ENCLOSED STRUCTURE

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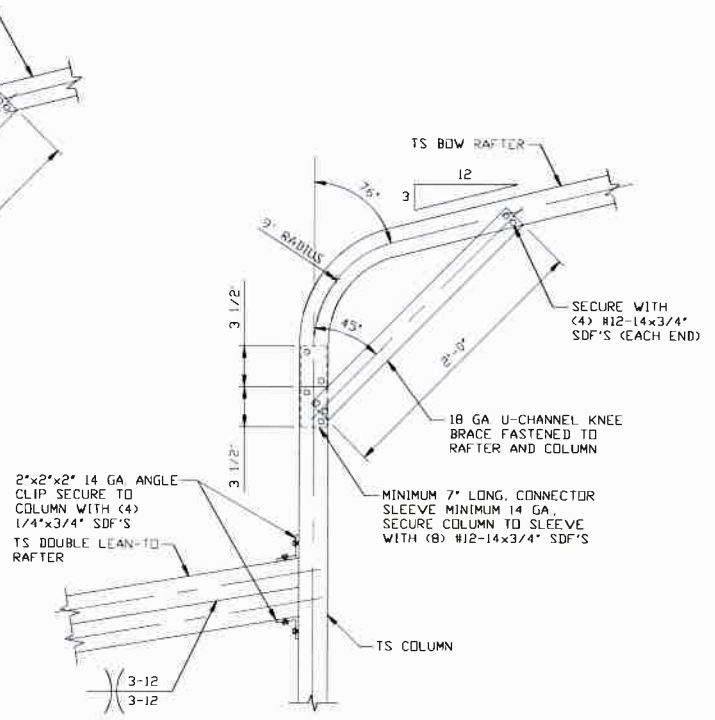
PROJECT MGR: WSM
CLIENT: STAR BUILDINGS

DATE: 6-9-20
SHT: 15A
SCALE: NTS
DWG. NO: SK-3
JOB NO: 20110S
REV: 0

BOW EAVE RAFTER LEAN-TO OPTIONS FOR RAFTER SPANS 12'-0" < TO ≤ 16'-0"



16
LEAN-TO RAFTER TO RAFTER POST CONNECTION DETAIL FOR HEIGHTS 11'-0" < TO ≤ 16'-0"
 SCALE: NTS



16A
LEAN-TO RAFTER TO RAFTER POST CONNECTION DETAIL FOR HEIGHTS ≤ 11'-0"
 SCALE: NTS

**MOORE AND ASSOCIATES
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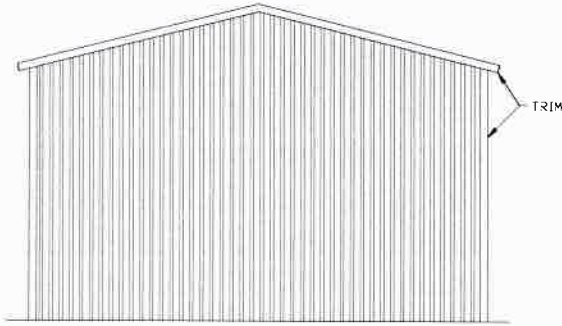
DRAWN BY: LT
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STAR BUILDINGS AND CARPORTS
 3007 NW STALLINGS DRIVE
 NACOGDOCHES, TX 75964
 30'-0" x 16'-0" ENCLOSED STRUCTURE

PROJECT MGR: VSM **DATE: 6-9-20** **SCALE: NTS** **JOB NO: 20110S**
CLIENT: STAR BUILDINGS **SHT. 15B** **DWG. NO: SK-3** **REV: 0**

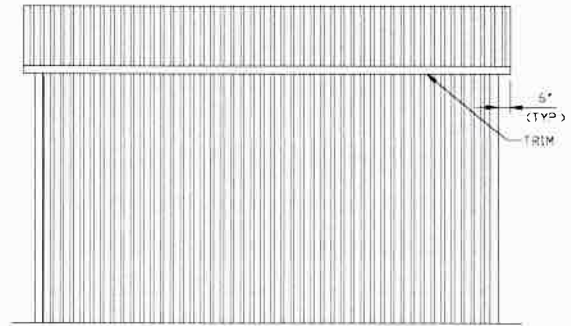
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BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



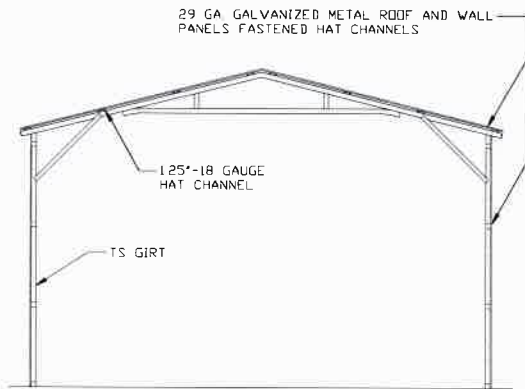
**TYPICAL END ELEVATION
VERTICAL ROOF/SIDING**

SCALE: NTS



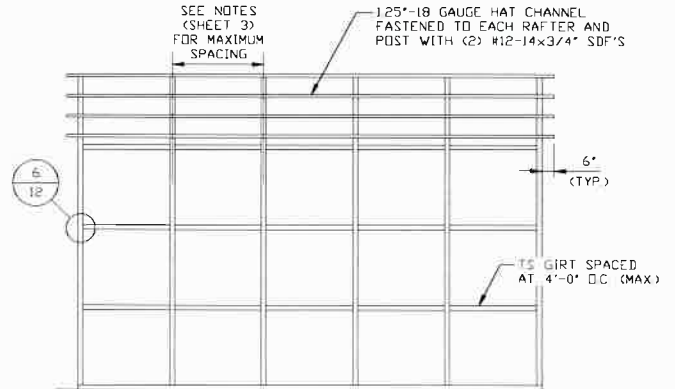
**TYPICAL SIDE ELEVATION
VERTICAL ROOF/SIDING**

SCALE: NTS



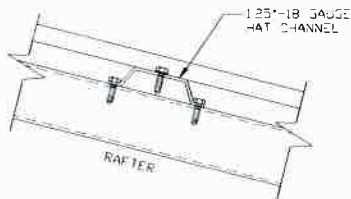
**TYPICAL SECTION VERTICAL
ROOF/SIDING OPTION**

SCALE: NTS



**TYPICAL FRAMING SECTION
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



ROOF PANEL ATTACHMENT

(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS

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PROJECT MGR: WSM

CLIENT: STAR BUILDINGS

STAR BUILDINGS AND CARPORTS
3007 NW STALLINGS DRIVE
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30'-0" x 16'-0" ENCLOSED STRUCTURE

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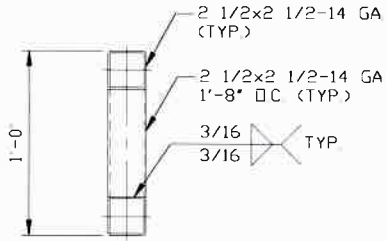
JOB NO: 20110S

DWG. NO: SK-3

REV: 0

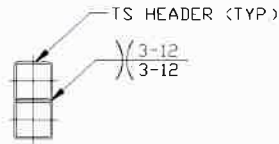
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SIDE WALL HEADER OPTIONS



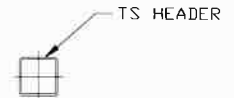
**HEADER DETAIL FOR
SPANS 13'-0" < TO ≤ 16'-0"**

SCALE: NTS



**HEADER DETAIL FOR
SPANS 8'-0" < TO ≤ 13'-0"**

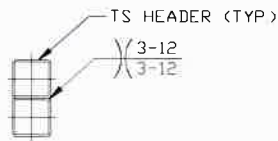
SCALE: NTS



**HEADER DETAIL FOR
SPANS ≤ 8'-0"**

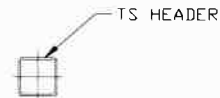
SCALE: NTS

END WALL HEADER OPTIONS



**HEADER DETAIL FOR
SPANS 12'-0" < TO ≤ 16'-0"**

SCALE: NTS



**HEADER DETAIL FOR
SPANS ≤ 12'-0"**

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: STAR BUILDINGS

STAR BUILDINGS AND CARPORTS
3007 NW STALLINGS DRIVE
NACOGDOCHES, TX 75964
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 6-9-20

SCALE: NTS

JOB NO: 20110S

SHT. 17

DWG. NO: SK-3

REV: 0

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APPEAL TO THE BOARD OF ADJUSTMENT CITY OF LUCAS

DATE: _____

FEE: \$450.00

APPEAL # _____

SUBMITTED BY: Name: Emma Zhan

Address: 1690 Lynn Lane

City: Lucas State: TX Zip: 75002

Phone: 909-996-6446

FILING DEADLINE: An appeal shall be filed with the Board within ten (10) days after the date of decision of the Enforcing Officer. Every appeal shall be filed with the City Secretary no later than fifteen (15) days prior to the scheduled Board meeting. When the filing deadline falls on a holiday, the following workday shall be observed as the filing deadline.

TYPES OF APPEALS: Please check the type of appeal you are filing. The Board shall consider two types of appeals authorized under Article 1011G, Revised Civil Statutes of Texas, as amended:

1. For a special exception for use or development of property on which the Board is required to act.

2. For a variance from the literal enforcement of the Ordinance in order to achieve a reasonable development of property.

BRIEFLY DESCRIBE YOUR APPEAL:

The owner Zhengquan Li just bought a house in Lucas so he is completely new to this city.
He has submitted a permit to build a metal shop but he does not know the ordinance
that the metal shop has to be at least 10 feet from the back build line because just
he saw the neighbours have the same kind of metal shop built like that. He did not aware
there is a new ordinance which forbid him to build that way. So he asks for a variance from
the literal enforcement of the ordinance because the shop has already built and he pays
large amount of money to build it.

PLEASE NOTE: Contact City Secretary for proper filing procedures. If applicant fails to appear without notice, the Board may require the applicant to re-file appeal.

EXPIRATION OF GRANDTED APPEAL: Approval of any appeal shall expire 90 days after the Board's decision unless authorized construction or occupancy permits have been obtained, or unless a greater time is requested in the application and is authorized by the Board. Any approval may be granted one extension of an additional 90 days on written request filed with the Board before expiration of original approval. The time limit for every granted appeal shall commence on the first day of the month succeeding the month in which the Board renders its decision.

SIGNATURE OF PERSON FILING FOR APPEAL:

Emma Zhan The realtor for the owner Zhengquan Li

DECISION OF THE BOARD: _____

DATE: _____

If not granted by the Board, state reason why:

CHAIRMAN



City of Lucas
Board of Adjustment Agenda Request
January 25, 2023

Item No. 04

Requester: Board of Adjustment

Agenda Item Request

Consider the appointment of a Chairman and Vice Chairman of the Board of Adjustment to serve for a period of one (1) year with a term ending December 31, 2023.

Background Information

NA

Attachments/Supporting Documentation

NA

Budget/Financial Impact

NA

Recommendation

NA

Motion

I make a motion to appoint _____ as Chairman of the Board of Adjustment for a period of one (1) year with a term ending December 31, 2023.

I make a motion to appoint _____ as Vice Chairman of the Board of Adjustment for a period of one (1) year with a term ending December 31, 2023.



City of Lucas

Board of Adjustment Agenda Request

January 25, 2023

Requester: City Secretary Erin Day

Agenda Item Request

Consider approval of the minutes of the December 14, 2022 Board of Adjustment meeting.

Background Information

NA

Attachments/Supporting Documentation

1. December 14, 2022 Board of Adjustment meeting minutes.

Budget/Financial Impact

NA

Recommendation

NA

Motion

I make a motion to approve the minutes of the December 14, 2022 Board of Adjustment meeting.



MINUTES

BOARD OF ADJUSTMENT MEETING

December 14, 2022 | 6:30 PM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

Call to Order

The meeting was called to order at 6:41 pm. It was determined that a quorum was present, and the Pledge of Allegiance was recited.

Members Present:

Chairman Tom Redman
Vice Chairman Ron Poteete
Member Brenda Rizos
Member Brian Stubblefield
Alternate Member Michael Dunn (*voting member*)

Staff Present:

City Manager Joni Clarke
Development Services Director Joe Hilbourn
City Secretary Erin Day
Building Inspector Scott DeJong
City Attorney Courtney Morris

Member Absent:

Member Brian Dale
Alternate Member Sean Watts

City Council Liaison Present:

Mayor Pro Tem Kathleen Peele

Chairman Redman conducted the swearing in process for all witnesses.

Public Hearing Agenda

- 1. Public hearing to consider the request by Joshua Maberry for a variance from the City's Code of Ordinances to allow an accessory building to be located within the required side yard setbacks located at 32 Woodmoor Drive, Woodmoor Addition Second Section, Lot 17.**

Building Inspector Scott DeJong gave a presentation explaining background information on the request, including that this project was started without a permit, a notice of violation was given by the City, and a permit was then requested by the applicant and denied due to the building being within the required side yard setbacks. Mr. DeJong explained a complaint was received regarding the building and prompted the City's inspection.

The public hearing was opened at 6:47 p.m.

Joshua Maberry, 32 Woodmoor Drive, Lucas, Texas, spoke advising the project was started without a permit with the intent of filing for a permit "in flight", due to attempting to take advantage of the price of materials at the time, and that he was unaware of the distance requirement from the side property line. Mr. Maberry advised he went to the immediate neighbors asking if they are content with the building location and gathered signatures of those in favor. Mr. Maberry explained the building location and property lines, advising that the distance is 16.9 feet from the front of the property. Alternate Member Dunn asked how much progress had been made on the building. Mr. Maberry advised the concrete had been poured and the shell is complete.

Vice Chairman Poteete asked if the concrete foundation was new or if it was existing. Mr. Maberry advised the existing foundation was torn out and they poured new concrete. Mr. Mayberry advised his house is slanted which has caused other issues as well as confusion regarding the distance from the property line. Vice Chairman Poteete asked if the variance was not granted, what other options Mr. Maberry had. Mr. Maberry advised he had worked out alternative plans with the contractor, but that the cost of doing so would be difficult for his family.

The public hearing was closed at 6:57 pm.

Chairman Redman opined that without a permit being requested prior to the beginning of construction on the building, it would not be fair to others to grant this variance. Alternate Member Dunn advised in normal circumstances this request would not be granted, that this issue was self-created, and that it could set a bad precedence if approved. Vice Chairman Poteete agreed that it would set a bad precedence. Member Rizos advised that the City ordinances are in place for a reason and are not to be undermined.

Mr. Maberry requested the public hearing be reopened in order for him to give further comment. Chairman Redman reopened the public hearing at 7:01 p.m.

Mr. Maberry requested that the grant his request due to the financial hardship it would put on his family to have to change the building plan and due to current family issues in the home.

Chairman Redman closed the public hearing at 7:04 p.m.

Chairman Redman advised the definition of Mr. Maberry's hardship does not meet the standards for granting a variance. Vice Chairman Poteete explained that the job of the Board of Adjustment is to protect the City ordinances that are in place and that the Board does not have much latitude to grant an exception in a circumstance such as this.

MOTION: A motion was made by Chairman Redman, seconded by Member Stubblefield to deny the request by Joshua Maberry for a variance from the City's Code of Ordinances to allow an accessory building to be located within the required side yard setbacks located at 32 Woodmoor Drive, Woodmoor Addition Second Section, Lot 17. The motion passed unanimously by a 5 to 0 vote.

Regular Agenda

2. Consider approval of the minutes of the May 25, 2022 Board of Adjustment meeting.

MOTION: A motion was made by Member Stubblefield, seconded by Alternate Member Dunn, to approve the minutes of the May 25, 2022 Board of Adjustment meeting as presented. The motion passed unanimously by a 5 to 0 vote.

3. Adjournment.

Chairman Redman adjourned the meeting at 7:10 pm.

Tom Redman, Chairman

Erin Day, City Secretary