



AGENDA

Planning and Zoning Commission Meeting

February 9, 2023 | 6:30 PM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

Notice is hereby given that a meeting of the City of Lucas Planning and Zoning Commission will be held on February 9, 2023, at 6:30 pm at Lucas City Hall, 665 Country Club Road, Lucas, Texas 75002-7651, at which time the following agenda will be discussed. As authorized by Section 551.071 of the Texas Government Code, the Planning and Zoning Commission may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any item on the agenda at any time during the meeting.

If you would like to watch the meeting live, you may go to the City's live streaming link at <https://www.lucastexas.us/departments/public-meetings/>.

How to Provide Input at a Meeting:

Speak In Person: Request to Speak forms will be available at the meeting. Please fill out the form and give to the City Secretary prior to the start of the meeting. This form will also allow a place for comments.

Submit Written Comments: If you are unable to attend a meeting and would like to submit written comments regarding a specific agenda item, email Erin Day, City Secretary at eday@lucastexas.us no later than 3:30 pm the day of the meeting. The email must contain the person's name, address, phone number, and the agenda item(s) for which comments will be made. Any requests received after 3:30 pm will not be included at the meeting.

Call to Order

- Roll Call
- Determination of Quorum
- Reminder to turn off or silence cell phones
- Pledge of Allegiance

Public Hearing Agenda

1. Public hearing to consider a request by Billy Ray and Sharon McGee, property owners of 1050 Creek View Lane, Willow Creek Acres (Unrecorded), Lot 36 for a specific use permit to allow a kitchen and food preparation area in an accessory building with habitable space.
 - A. Presentation by Development Services Director Joe Hilbourn
 - B. Conduct public hearing
 - C. Take action regarding the proposed specific use permit request
2. Public hearing to consider a request by Charles and Elise Bissell, property owners of 1220 Winningkoff Road, Rolling Hills Estates, Block A, Lot 1 for a specific use permit to allow a kitchen and food preparation area in an accessory building with habitable space.

- A. Presentation by Development Services Director Joe Hilbourn
- B. Conduct public hearing
- C. Take action regarding the proposed specific use permit request

Regular Agenda

- 3. Consider the request by Stephen DiNapoli for a final plat for a parcel of land, being 41.512 acres of land, part of the John Thompson Survey, Abstract 893 and the G. Duccase Survey, Abstract 270 located on the northeast side of Winningkoff Road and north of Christian Lane, more commonly known as 950 Winningkoff Road, 970 Winningkoff Road, 905 Christian Lane, and 898 Private Road 5211, Lucas, Texas. **(Development Services Director Joe Hilbourn)**
- 4. Consider the request by Majed Khalaf on behalf of Mahmoud Properties for a site plan, landscape plan, and elevations for use as a commercial retail and office center on a 2.25-acre tract of land in the Jas Lovelady Survey, Abstract Number ABS A0538, Tract 14 situated in the City of Lucas, Collin County, Texas, located at 995 West Lucas Road. **(Development Services Director Joe Hilbourn)**
- 5. Discuss accessory building regulations in the City of Lucas. **(Development Services Director Joe Hilbourn)**
- 6. Consider approval of the minutes of the January 12, 2023 Planning and Zoning Commission meeting. **(City Secretary Erin Day)**

Executive Agenda

As authorized by Section 551.071 of the Texas Government Code, the Planning and Zoning Commission may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney regarding any item on the agenda at any time during the meeting. This meeting is closed to the public as provided in the Texas Government Code.

- 7. Executive Session: An Executive Session is not scheduled for this meeting.
- 8. Adjournment.

Certification

I do hereby certify that the above notice was posted in accordance with the Texas Open Meetings Act on the bulletin board at Lucas City Hall, 665 Country Club Road, Lucas, Texas 75002 and on the City's website at www.lucastexas.us on or before 5:00 p.m. on February 3, 2023.

Erin Day, City Secretary

In compliance with the American with Disabilities Act, the City of Lucas will provide for reasonable accommodations for persons attending public meetings at City Hall. Requests for accommodations or interpretive services should be directed to City Secretary Erin Day at 972-912-1211 or by email at eday@lucastexas.us at least 48 hours prior to the meeting.



City of Lucas

Planning and Zoning Agenda Request

February 9, 2023

Requester: Development Services Director Joe Hilbourn

Agenda Item Request

Public hearing to consider a request by Billy Ray and Sharon McGee, property owners of 1050 Creek View Lane, Willow Creek Acres (Unrecorded), Lot 36 for a specific use permit to allow a kitchen and food preparation area in an accessory building with habitable space.

- A. Presentation by Development Services Director Joe Hilbourn
- B. Conduct public hearing
- C. Take action regarding the proposed specific use permit request

Background Information

This lot is currently zoned R-2, and the applicant is requesting to construct an accessory building with habitable space that meets the City's requirements. The specific use permit request is to allow a food preparation area within an accessory building.

Section 14.04.304 (a) of the City's Code of Ordinances requires that an addition of a kitchen/food preparation area requires a specific use permit in R-2 or AO zoning districts that contain a single-family home and states the following:

Kitchen, cooking or a food preparation area may be permitted on property with a specific use permit. The specific use permit may only be granted provided the owners of the property enact a deed restriction with the city as party to the deed restriction that prohibits the use of the habitable space to be used for lease/barter agreement other than that of the full-time domestic staff providing support to the property.

Attachments/Supporting Documentation

- 1. Location Map
- 2. Permit application (site plan and kitchen layout)
- 3. Public Notice

Budget/Financial Impact

NA

Recommendation

Staff recommends approval of the specific use permit request as presented.



City of Lucas
Planning and Zoning Agenda Request
February 9, 2023

Motion

I make a motion to recommend to the City Council to approve/deny the specific use permit request for 1050 Creek View Lane, Willow Creek Acres (Unrecorded), Lot 36 for a specific use permit to allow a kitchen and food preparation area in an accessory building with habitable space.



LOCATION MAP: 1050 CREEK VIEW LANE





NEW RESIDENTIAL & COMMERCIAL

INSPECTION REQUEST LINE

214-644-0779

PERMIT #

CITY OF LUCAS
665 Country Club Road
Lucas, TX 75002
Phone: 972-912-1206
Fax: 972-727-0091

Project Address: 1050 Creek View Ln Lucas Tx. 75002 Zoning: Residential

Subdivision: Willow Creek Acres Unrecorded Lot: 36 Block: _____

Property Owner Name & Address: McGee Billy Ray & Sharon Phone: 951-306-6314

General Contractor: Level 1 General Construction Phone: 469-569-3551

Electrical Contractor: Electra Plus Phone: 972-402-0770

Plumbing Contractor: _____ Phone: _____

Mechanical Contractor: _____ Phone: _____

BUILDING INFORMATION

WORK BEING DONE		AREA IN SQUARE FEET		TYPE	
<input type="checkbox"/> NEW BLDG.	<input checked="" type="checkbox"/> INT. REMODEL	FLOOR AREA: <u>1132</u>	SF	<input checked="" type="checkbox"/> SINGLE FAMILY	<input type="checkbox"/> INDUSTRIAL/WHSE.
<input type="checkbox"/> NEW BLDG. (SHELL ONLY)	<input type="checkbox"/> EXT. REMODEL	GARAGE: _____	SF	<input type="checkbox"/> CHURCH	<input type="checkbox"/> COMMERCIAL
<input checked="" type="checkbox"/> INT. COMPLETION	<input type="checkbox"/> OTHER	PORCH: _____	SF	<input type="checkbox"/> SCHOOL	<input type="checkbox"/> OHER
<input checked="" type="checkbox"/> ADDITION		PATIO: _____	SF		
		TOTAL: <u>1132</u>	SF	ESTIMATED VALUE: _____	

REMARKS: This barn is being converted into a living space for her Dad

NOTICE TO APPLICANT: UNDER PENALTY OF INTENTIONAL MISREPRESENTATION AND/OR PERJURY, I DECLARE that I have examined and/or made this application and it is true and correct to the best of my knowledge and belief. I agree to construct said improvement in compliance with all provisions of the Ordinances of the City of Lucas, I realize that the information that I have stated hereon forms a basis for the issuance of the Building Permit herein applied for and approval of any plans in connection therewith shall not be construed to permit any construction upon said premises or use thereof in violation of any provision of the Lucas City Code or any other ordinance or to excuse the owner or his successors in from complying therewith. **WHERE NO WORK HAS BEEN STARTED WITHIN 180 DAYS AFTER THE ISSUANCE OF A PERMIT OR WHEN MORE THAN 180 DAYS LAPSES BETWEEN APPROVAL OF REQUIRED INSPECTIONS, SUCH PERMIT SHALL BE VOID.**

I hereby certify that I am the OWNER at this address or that for the purposes of obtaining this approval, I am acting on behalf of the owner. All contract work on this project will be done by a contractor holding a valid privilege tax license and contractor's license issued by the State of Texas and the City of Lucas.

SIGNED: [Signature] DATE: 12/15/2022
Owner or Agent

SCOPE OF PERMIT: For new buildings and for additions to existing buildings, this permit authorizes all structural, plumbing, electrical, mechanical, work to be performed in the construction of the building or structure at this address, if done at the same time of initial construction. No separate subcontractor permits are needed for those trades. However, the permit holder is required to use only subcontractors registered with the City of Lucas where such a requirement is applicable. If this permit is obtained for work other than new buildings and additions, separate permits must be obtained by all subcontractors.

FINAL INSPECTION REQUIREMENTS: All final reports and paperwork need to be on site for final inspection, including but not limited to: backflow report, final energy report, final termite report, final grade report, septic report or other reports that may be necessary.

Subject property is _____ or is not _____ within the flood hazard area.
Required lowest floor elevation is _____.

For Official Use:	
Permit Fees	
Building Permit:	_____
Water Meter & Install:	_____
Water Impact Fee:	_____
Street Impact Fee:	_____
Weight Permit:	_____
Other:	_____
Total Amount Due:	_____

Official Use Only:	
Signature: _____	Date: _____
Received By	
Signature: _____	Date: _____
Building Official	
From: _____	Check # _____ Cash _____

1050 CREEK VIEW LANE
 1.00 ACRES - PART OF LOT 36
 WILLOW CREEK ACRES (UNRECORDED SUBDIVISION)
 IN THE BENJAMIN SPARKS SURVEY, ABSTRACT NO. 813

SHEET 1 OF 2
 (SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION)

LOT 36

LEGEND
 FH = FIRE HYDRANT
 IRS = IRON ROD SET
 ASPHALT
 X = FENCE (WIRE)
 ○ = FENCE (CHAIN LINK)
 / = FENCE (WOOD)

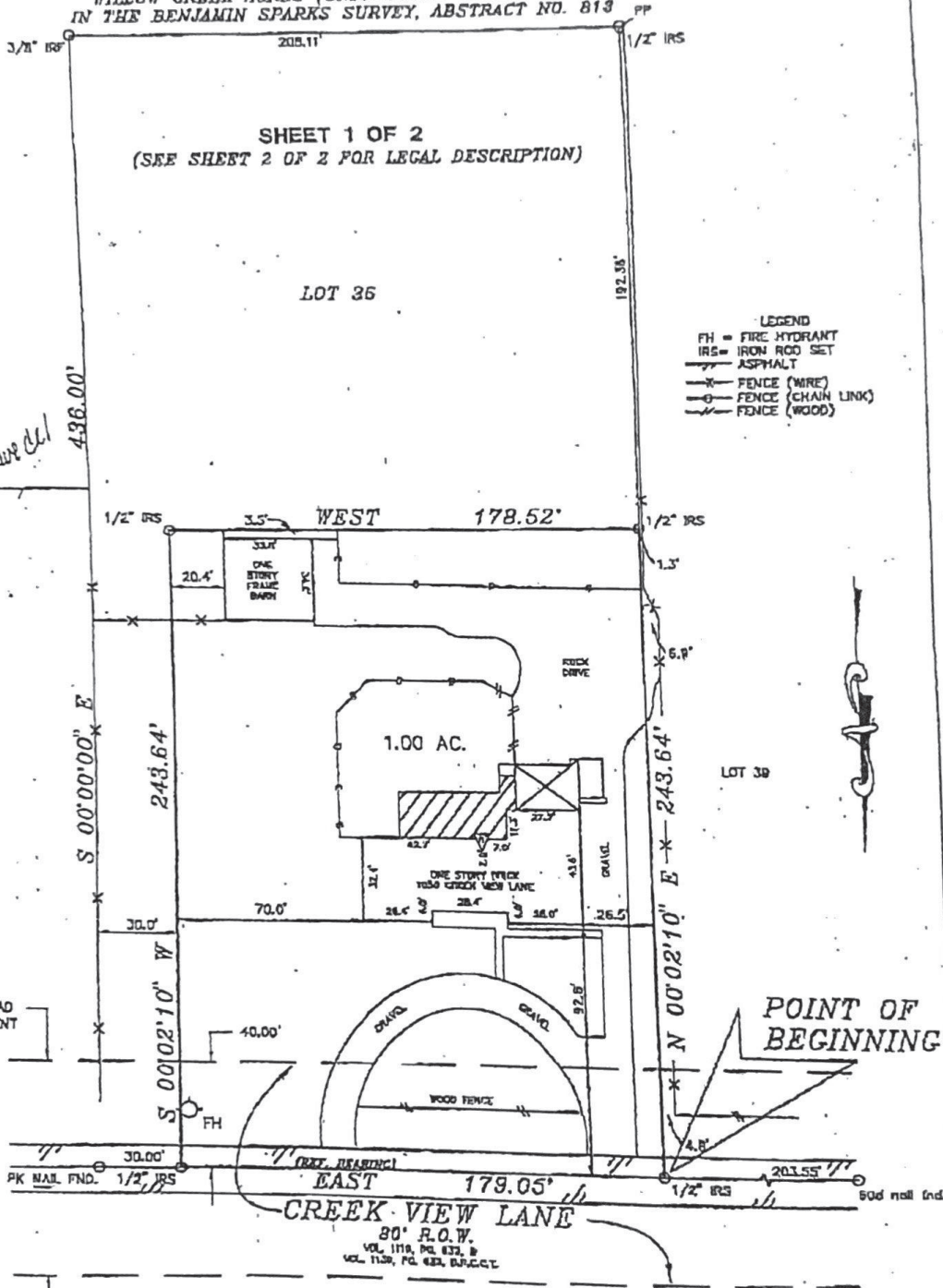
LOT 11
 6125118
 Survey
 9/23
 9/23/01
 436.00'

LOT 7

LOT 39

80' ROAD
 EASEMENT

POINT OF
 BEGINNING



I, the undersigned, being a duly Registered Professional Surveyor by the State of Texas, do hereby declare that a survey of the subject property was made on the ground under my personal supervision and direction on the 31st Day of May, 1998, in conformity with the laws of the State of Texas, and the plat hereon represents the property and visible improvements thereon.
 I have noted all recorded easements and rights-of-way recorded in copies of recorded instruments furnished me by the Title Company, C.P. No. 482728-114.
 The physical evidence and recorded description of all easements, including location and dimensions, are correct; shown;
 Daniel A. Smith, R.P.L.S. No. 4845

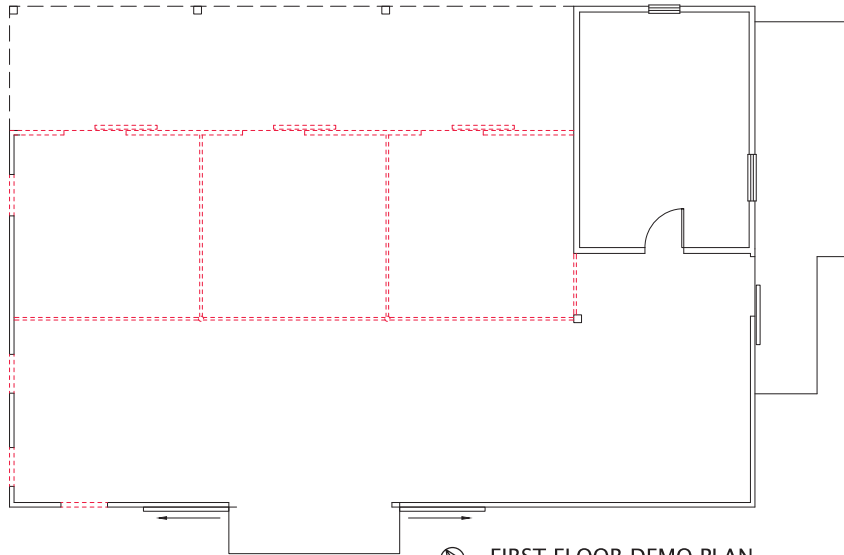


THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN ACCORDING TO THE FLOOD PLAIN MAP OF THE CITY OF LUCAS COMMUNITY PANEL NO. 481548 0455 C, MAP DATED 1/19/98, (ZONE "X")

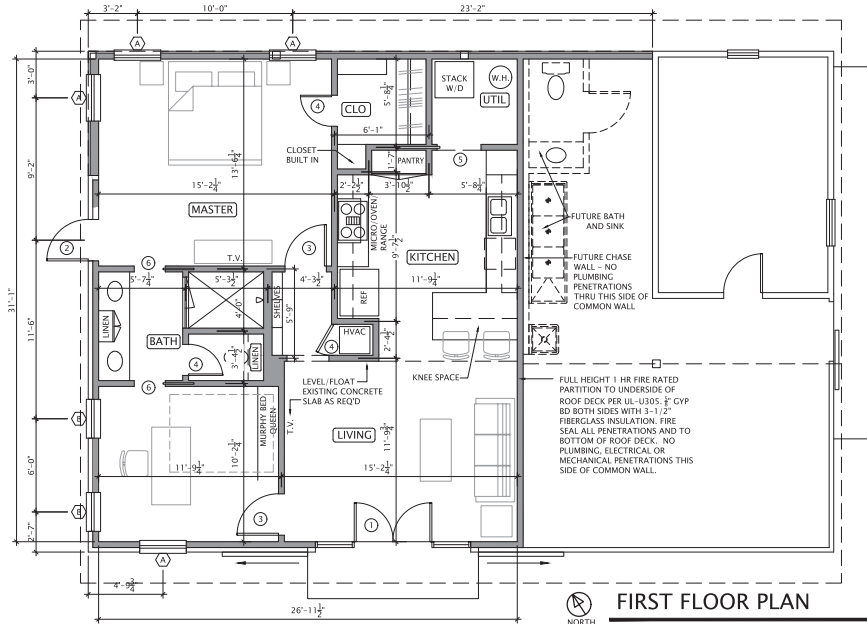
2/24/98 REVISION CALLS AND ADDED LEGEND

SCALE 1"=40'	DATE: 5/14/98	DRAWN: ED	JOB NO.: 48-1472
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DANIEL A. SMITH, INC.
 4528 VIA VENTURA
 MEGQUITE, TEXAS 76160
 (972) 226-4566 FAX (972) 226-4924



FIRST FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

PROJECT DESIGN BASED ON 2021 INTERNATIONAL RESIDENTIAL CODE AND RELEVANT AMENDMENTS TO THE CODE.

GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ENERGY CODE COMPLIANCE DOCUMENTATION (RESHECK)

STRUCTURAL ENGINEERING IS NOT PART OF THIS CONTRACT. OWNER/BUILDER IS DIRECTED TO CONSULT A STRUCTURAL ENGINEER FOR FOUNDATION AND FRAMING DESIGN.

GRADING/CIVIL ENGINEERING IS NOT PART OF THIS CONTRACT. OWNER/BUILDER IS DIRECTED TO CONSULT A CIVIL ENGINEER FOR GRADING AND DRAINAGE DESIGN.

GEOTECHNICAL DATA HAS NOT BEEN PROVIDED TO THE DESIGNER. OWNER/BUILDER IS DIRECTED TO SEEK THE DIRECTION OF A GEOTECHNICAL ENGINEER FOR FOUNDATION AND PAVING DESIGN CRITERIA BASED ON SOIL CONDITIONS SPECIFIC TO THE SITE.

PROVIDE ASPHALT IMPREGNATED EXPANSION JOINT WITH TRAFFIC SEALANT BETWEEN BUILDING FOUNDATIONS AND ALL FLAT WORK.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CODE REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

FINAL LOCATIONS OF TELEPHONE/DATA, TV OUTLETS AND FLOOR OUTLETS TO BE DETERMINED BY OWNER.

FINAL LOCATIONS OF FLOOR LIGHT SWITCHES AND UP-LIGHT TIMERS TO BE DETERMINED BY OWNER.

PROVIDE WATERLINE TO REFRIGERATOR, TYP. FOR ICE MAKER. PROVIDE ELECTRICAL TO ALL APPLIANCES AS REQUIRED. VERIFY VOLTAGE REQUIREMENTS WITH MANUFACTURER'S SPECIFICATIONS.

PROVIDE GFCI AND AFCI PROTECTED OUTLETS WHERE REQUIRED BY CODE. PROVIDE DRIP PANS BENEATH ALL HVAC UNITS AND WATER HEATERS. DRAIN TO EXTERIOR OR AS REQUIRED BY CODE.

FINAL LOCATIONS OF HVAC AND WATER HEATERS TO BE DETERMINED BY OWNER IN ACCORDANCE WITH A.H.J..

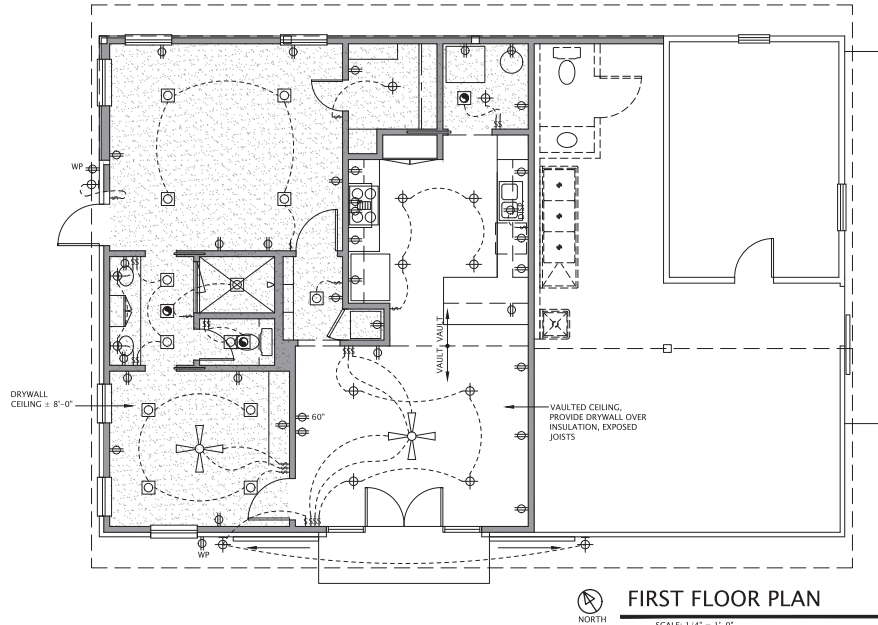
CONSULT OWNER FOR ALL ROOM FINISHES AND LIGHTING SPECIFICATIONS

DOOR SCHEDULE		
TAG	SIZE	DESCRIPTION
1	10'-0" x 8'-0" UNIT	PR. 2'-6" x 8'-0" ENTRY DOORS W/ SIDELIGHTS
2	2'-8" x 6'-8"	EXTERIOR FRENCH
3	2'-8" x 6'-8"	INTERIOR SOLID CORE
4	2'-0" x 6'-8"	INTERIOR SOLID CORE
5	2'-10" x 6'-8"	INTERIOR POCKET
6	2'-0" x 6'-8"	INTERIOR POCKET

WINDOW SCHEDULE		
TAG	SIZE	DESCRIPTION
A	3'-0" x 5'-0"	S.H.
B	2'-6" x 5'-0"	S.H.

LEGEND:

	EXISTING CONSTRUCTION TO REMAIN
	CONSTRUCTION TO DEMOLISHED
	NEW CONSTRUCTION



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE	ISSUE
08.19.22	I.F.C.

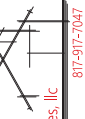
ACS
HandyMan Services, LLC
acshandyman.com
817-917-1047

RESIDENCE
1050 CREEK VIEW LANE, LUCAS, TX

A.1
1 OF 2 SHEETS

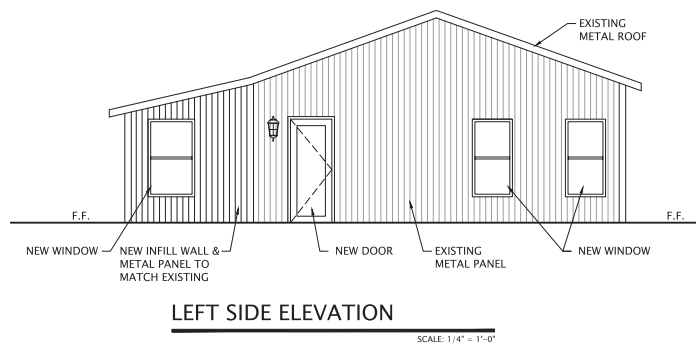
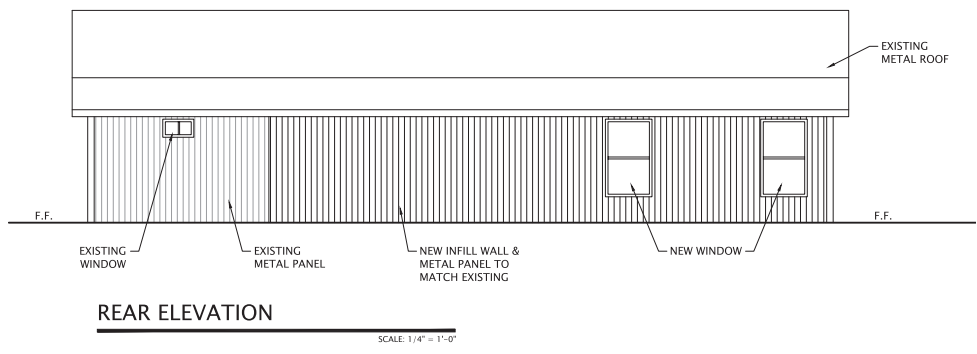
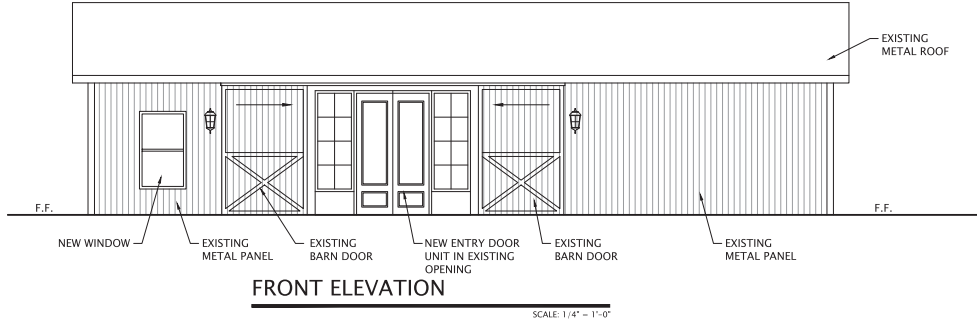
C:\projects\ACAD\Level One\Bentley\residence\Bentley.dwg - Tuesday, 8/19/2022 9:38:31 AM

DATE	ISSUE
08.19.22	I.F.C.


ACS
 HandyMan Services, LLC
 acshandyman.com
 817-917-1047

RESIDENCE
 1050 CREEK VIEW LANE, LUCAS, TX

A.2
 1 OF 2 SHEETS





NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that the Planning & Zoning Commission of the City of Lucas, Texas will conduct a public hearing on Thursday, February 9, 2023, at 6:30 p.m., and City Council will conduct a second public hearing on Thursday, March 2, 2023, at 6:30 p.m. at Lucas City Hall, 665 Country Club, Lucas, Texas to consider a Specific Use Permit (SUP) application to permit a kitchen and food preparation area more particularly described as follows:

Dave Wheeler on behalf of property owners Billy Ray and Sharon McGee at 1050 Creekview Lane, WILLOW CREEK ACRES (UNRECORDED), LOT 36; Lucas, Texas 75002 has submitted an application for a SUP to permit a kitchen with a food preparation area(s) in an accessory building with habitable space.

Per Code of Ordinances Section 14.04.304 General accessory buildings and structures regulations.

i) In R-2 or AO zoning districts that contain a single-family home:

a. Kitchen, cooking or a food preparation area may be permitted on property with a specific use permit. The specific use permit may only be granted provided the owners of the property enact a deed restriction with the city as party to the deed restriction that prohibits the use of the habitable space to be used for lease/barter agreement other than that of the full-time domestic staff providing support to the property.

Those wishing to speak FOR or AGAINST the above item are invited to attend. If you are unable to attend and have comments you may send them to City of Lucas, Attention: City Secretary, 665 Country Club Road, Lucas, Texas 75002, email eday@lucastexas.us and it will be presented at the Hearing. If you have any questions about the above hearing you may contact jhilbourn@lucastexas.us.



City of Lucas

Planning and Zoning Agenda Request

February 9, 2023

Requester: Development Services Director Joe Hilbourn

Agenda Item Request

Public hearing to consider a request by Charles and Elise Bissell, property owners of 1220 Winningkoff Road, Rolling Hills Estates, Block A, Lot 1 for a specific use permit to allow a kitchen and food preparation area in an accessory building with habitable space.

- A. Presentation by Development Services Director Joe Hilbourn
- B. Conduct public hearing
- C. Take action regarding the proposed specific use permit request

Background Information

This lot is currently zoned R-2, and the applicant is requesting to construct an accessory building with habitable space that meets the City's requirements. The specific use permit request is to allow a food preparation area within an accessory building.

Section 14.04.304 (a) of the City's Code of Ordinances requires that an addition of a kitchen/food preparation area requires a specific use permit in R-2 or AO zoning districts that contain a single-family home and states the following:

Kitchen, cooking or a food preparation area may be permitted on property with a specific use permit. The specific use permit may only be granted provided the owners of the property enact a deed restriction with the city as party to the deed restriction that prohibits the use of the habitable space to be used for lease/barter agreement other than that of the full-time domestic staff providing support to the property.

Attachments/Supporting Documentation

- 1. Location Map
- 2. Purpose and Plans (submitted by applicant)
- 3. Permit Application
- 4. Public Notice

Budget/Financial Impact

NA

Recommendation

Staff recommends approval of the specific use permit request as presented.



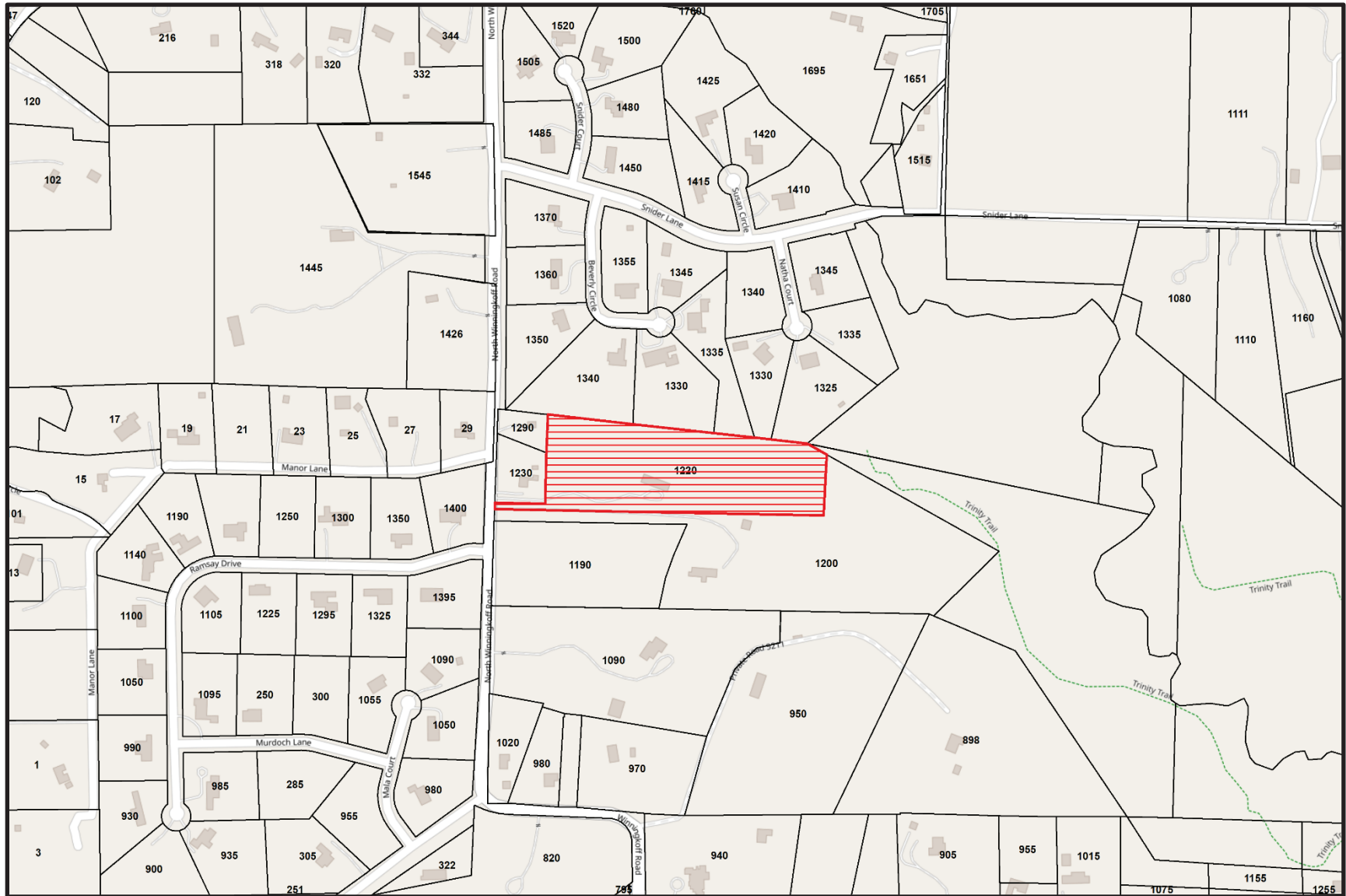
City of Lucas
Planning and Zoning Agenda Request
February 9, 2023

Motion

I make a motion to recommend to the City Council to approve/deny a request by Charles and Elise Bissell, property owners of 1220 Winningkoff Road, Rolling Hills Estates, Block A, Lot 1 for a specific use permit to allow a kitchen and food preparation area in an accessory building with habitable space.



LOCATION MAP: 1220 WINNINGKOFF ROAD



A barn is currently under construction at 1220 Winningkoff Road at the home of Charles and Elise Bissell. The barn is 40 X 60 plus a 10 X 60 covered porch. The total enclosed area is +/-2,400 square feet with +/-1,500 square feet fully finished out and heated and cooled. The barn has the following rooms:

- Office for the use of the owner as a home office
- Room that will house a golf simulator
- Exercise room
- A ½ bath
- An “apartment” with 1 bedroom, a full bath, a closet, and a utility room
- Shop area

The “apartment” will be for the use of family members of the owners. Initially, one of the owner’s son’s (Braden) will occupy the apartment while he is saving money to move away from home. Eventually, it is likely that the mother of Elise Bissell will occupy the apartment.

The Bissell’s have no intent to rent out the apartment to any unrelated parties.

Initially, the barn was not planned to include an oven or range. The Bissells now wish to apply for an SUP so that the barn may include an oven/range. This will make the apartment a more functional living area when occupied by family members.



MISCELLANEOUS BUILDING PERMIT

INSPECTION REQUEST LINE
Call before 8AM for Same Day Inspection

214-644-0779

PERMIT # 25937

City of Lucas
665 Country Club
Lucas, TX 75002
Phone: 972-727-8999
EMAIL: PERMITS@LUCASTEXAS.US

Project Address: 1220 Winning Koff Zoning: _____
Subdivision: Rolling Hills Estates Lot: 1 Block: A
Property Owner-Name: Charlie Bissell Phone: 972 567 5380
(General) Contractor Name & Address: Allen Mutschler Phone: 972 670 7443
(Elec) Contractor Name & Address: nortex Dustin Stephenson Phone: 214 289 4518
(Plumb) Contractor Name & Address: Larry Plumbing Service Phone: 214 729 3544
(HVAC) Contractor Name & Address: Johanna Panameno Phone: 469 434 4326

Type of Permit:

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> HVAC | <input checked="" type="checkbox"/> ELECTRICAL | <input type="checkbox"/> POOL/ SPA/HOT TUB |
| <input checked="" type="checkbox"/> ACCESSORY BUILDING | <input type="checkbox"/> POOL BARRIER or FENCE | <input checked="" type="checkbox"/> PLUMBING |
| <input type="checkbox"/> CULVERT/APPROACH | <input type="checkbox"/> SIGN | <input type="checkbox"/> IRRIGATION |
| <input type="checkbox"/> FIRE SUPPRESSION | <input type="checkbox"/> CERTIFICATE OF OCCUPANCY | <input type="checkbox"/> ROOFING |
| <input type="checkbox"/> OTHER _____ | <input type="checkbox"/> PLAN REVIEW | <input type="checkbox"/> ALARM |

BUILDING INFORMATION

BRIEF DESCRIPTION OF PROJECT: 2400 sqft Building with Appx 1300sqft finish
ESTIMATED SQUARE FOOTAGE OF PROJECT: 2400 ESTIMATED VALUE: \$140000

NOTICE TO APPLICANT: UNDER PENALTY OF INTENTIONAL MISREPRESENTATION AND/OR PERJURY, I DECLARE that I have examined and/or made this application and it is true and correct to the best of my knowledge and belief. I agree to construct said improvement in compliance with all provisions of the Ordinances of the City of Lucas, I realize that the information that I have stated hereon forms a basis for the issuance of the Building Permit herein applied for and approval of any plans in connection therewith shall not be construed to permit any construction upon said premises or use thereof in violation of any provision of the Lucas City Code or any other ordinance or to excuse the owner or his successors in from complying therewith. **WHERE NO WORK HAS BEEN STARTED WITHIN 180 DAYS AFTER THE ISSUANCE OF A PERMIT OR WHEN MORE THAN 180 DAYS LAPSES BETWEEN APPROVAL OF REQUIRED INSPECTIONS, SUCH PERMIT SHALL BE VOID.**

I hereby certify that I am the OWNER at this address or that for the purposes of obtaining this approval, I am acting on behalf of the owner. All contract work on this project will be done by a contractor holding a valid privilege tax license and contractor's license issued by the State of Texas and the City of Lucas.

SIGNED: _____
Owner or Agent

DATE: Feb 17 - 22

FINAL INSPECTION REQUIREMENTS:

All final reports and paperwork need to be on site for final inspection, including but not limited to: backflow report, final energy report, final termite report, final grade report, septic report or other reports that may be necessary.

Official Use Only: Permit Fees

Permit Fee: _____
Weight Permit: _____
Contractor Reg: _____
Other: _____
Total Amount Due: _____

Official Use Only

Signature: _____ Date: _____

Received By

Signature: _____ Date: _____

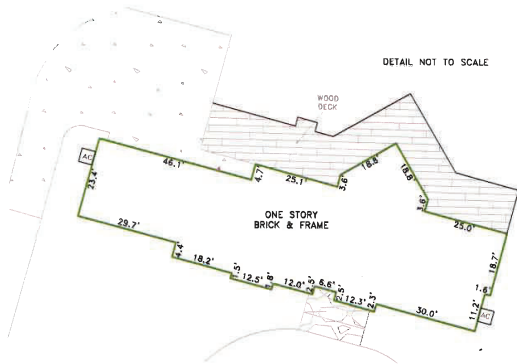
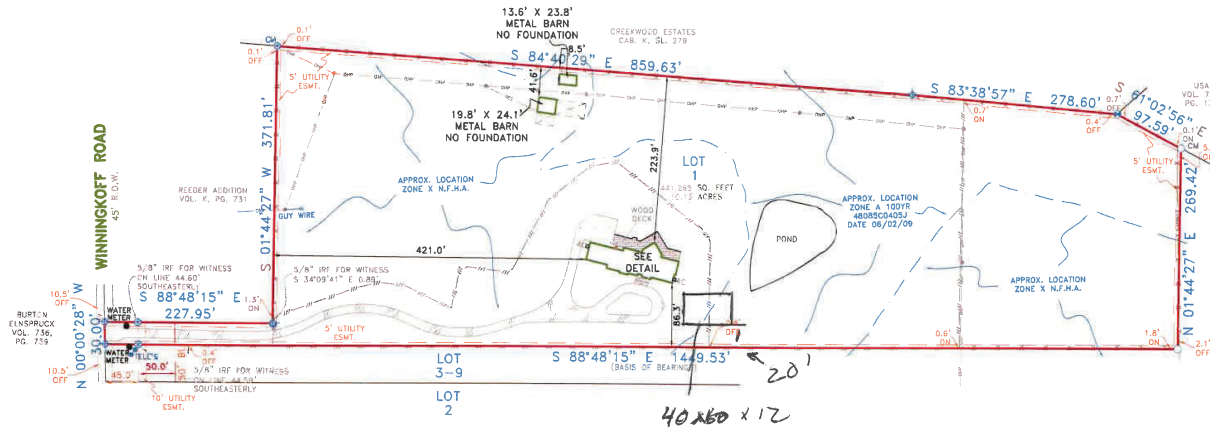
Building Official

From: _____ Check# _____ Cash _____ CC _____



1220 Winningkoff Road

Being Lot 1 in Block A of Replat of Rolling Hills Estates, an addition to the City of Lucas, Collin County, Texas, according to the map thereof recorded in Volume H, Page 10 of the Map Records of Collin County, Texas.



SURVEYOR'S CERTIFICATE

The undersigned Registered Professional Land Surveyor (Todd Fincher) hereby certifies to The Client, in connection with the transaction described in G.F. TPT21-01463FR that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material hereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions as are indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

Executed this 17th day of May, 2021

Todd Fincher
 Todd Fincher
 Registered Professional Land Surveyor No. 5633



NOTE: According to the F.I.R.M. in Map No. 48085C0405, this property does lie in Zone AE and does lie within the 100 year flood zone, EXCEPT AS SHOWN

ACCEPTED BY: _____ SIGNATURE _____ DATE _____ SIGNATURE _____ DATE _____

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOL. 1326, PG. 285, VOL. 3338, PG. 749, VOL. 3434, PG. 326 EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY VOL. 761, PG. 185

NOTES: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

REVISIONS		
DATE	BY	NOTES

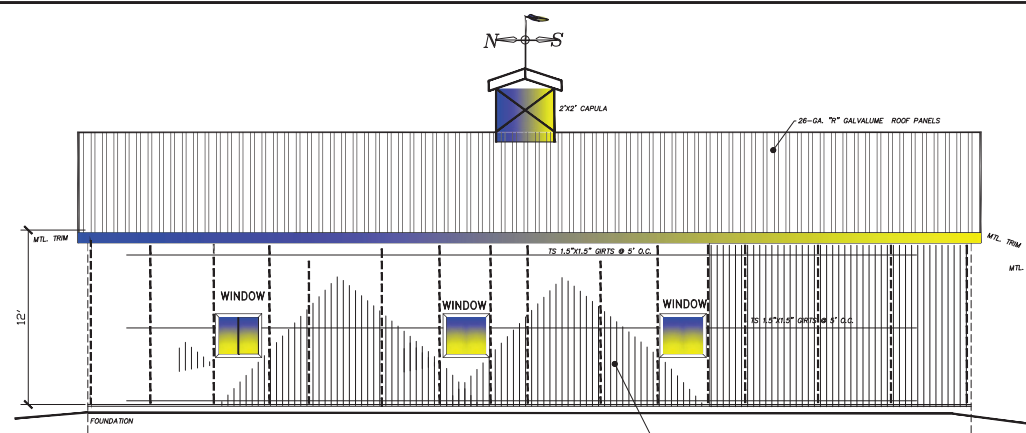
LEGEND	
○	CONTROLLING MONUMENT
○	1/2" IRON ROD FOUND
○	1/2" IRON ROD SET
○	1" IRON PIPE FOUND
○	FENCE POST CORNER
○	1" FOUND / SET
○	5/8" ROD FOUND
▲	UNDERGROUND ELECTRIC
▲	OVERHEAD ELECTRIC
▲	POWER POLE
▲	POINT FOR CORNER
▲	GRAVEL/ROAD ROCK OR DRIVE
■	POOL EQUIPMENT
■	COLUMN
—	AIR CONDITIONING
—	FIRE HYDRANT
—	PIPE FENCE
—	COVERED PORCH/DECK OR CARPORT
—	OVERHEAD ELECTRIC SERVICE
—	OVERHEAD POWER LINE
—	CONCRETE PAVING
—	DOUBLE SIDED WOOD FENCE
—	ASPHALT PAVING
—	CHAIN LINK FENCE
—	WOOD FENCE
—	6" WIDE TYPICAL BARBED WIRE
—	IRON FENCE

CBG SURVEYING TEXAS LLC
 419 Century Plaza Dr. Ste. 100
 Houston, TX 77073
 P 281.443.9288
 F 281.443.9224
 Firm No. 10194280
 www.cbgsllc.com

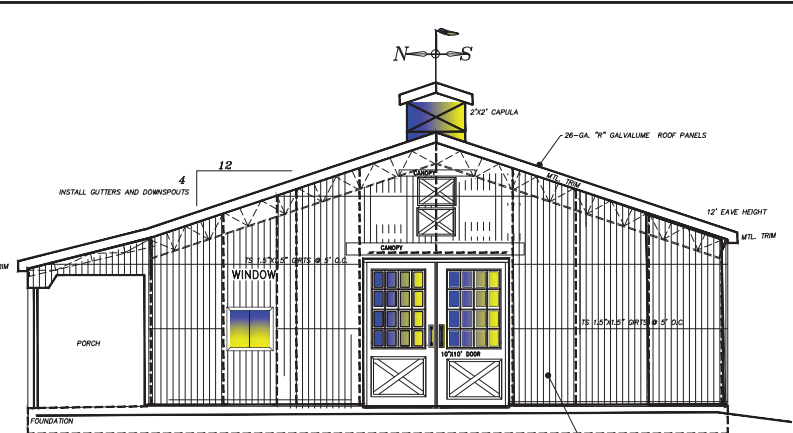
SCALE	DATE	JOB NO.	G.F. NO.	DRAWN
1" = 100'	05/18/2021	2109272	SEC ABOVE	JCM

FINAL SURVEY
 A REPLAT OF ROLLING HILLS ESTATES
 CITY OF LUCAS / COLLIN COUNTY, TEXAS
 1220 WINNINGKOFF ROAD

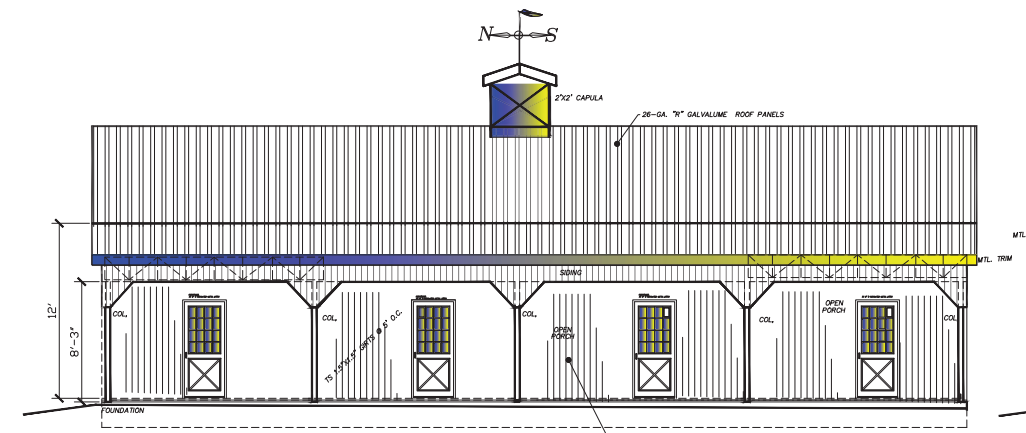




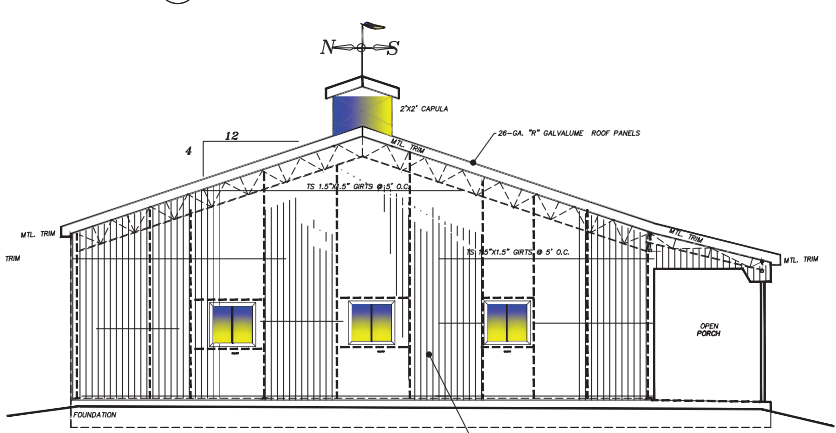
2 RIGHT ELEVATION
SCALE 1/4" = 1'-0"



1 FRONT ELEVATION
SCALE 1/4" = 1'-0"



3 LEFT ELEVATION
SCALE 1/4" = 1'-0"



4 REAR ELEVATION
SCALE 1/4" = 1'-0"

LEGAL DESCRIPTION
ROLLING HILL ESTATES LOT 1 BLOCK A COLLIN COUNTY TEXAS

DO NOT SCALE DRAWINGS

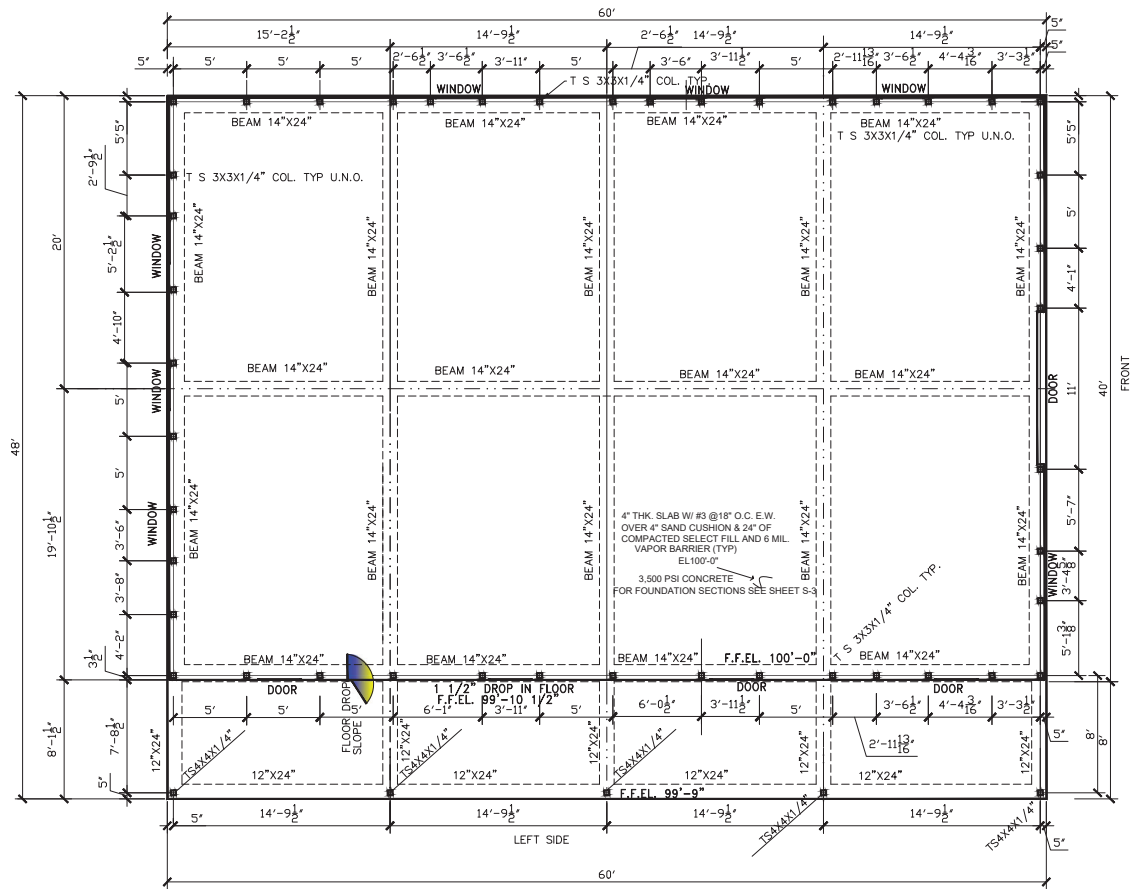


K.S. ATWAL & ASSOCIATES
TEXAS ENGINEERING FIRM REGISTRATION #6408
229 C R 2135, PITTSBURG, TEXAS 75686
TEL: 903 486 4942

SHEET NO.
S2
OF 4
DATE: 2/10/2022

NEW 40' X 60' BUILDING AT
1220 WINNINGKOFF RD. LUCAS TEXAS 75002
OWNER: CHARLES BISSELL
BUILDING ELEVATIONS

CONTRACTOR:
MR. ALLEN MUTSCLER
& M STEEL BUILDINGS
ROCKWALL, TEXAS
972 771 1617



THESE DRAWINGS ARE ISSUED TO INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF STRUCTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE STRUCTURE, THE TYPE OF STRUCTURE, AND OUTLINE NOTES OF MAJOR STRUCTURAL ELEMENTS OF CONSTRUCTION. AS "SCOPE" DOCUMENTS, THE DRAWINGS AND SPECIFICATIONS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE WORK.

CONTRACTS, IF LET ON THE BASIS OF SUCH DOCUMENTS, MUST BE WITH THE UNDERSTANDING THAT THE CONTRACTOR TO FURNISH ALL ITEMS REQUIRED FOR PROPER COMPLETION OF THE WORK WITHOUT ADJUSTMENT TO THE CONTRACT PRICE. IT IS INTENDED THAT THE WORK BE OF SOUND AND QUALITY CONSTRUCTION AND THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INCLUSION OF ADEQUATE AMOUNTS TO COVER INSTALLATION OF ALL ITEMS INDICATED, DESCRIBED OR IMPLIED, TO PERFORM THE INTENDED FUNCTIONS SPECIFIED ON THE DRAWING.

- TWO BLUE LINE PRINTS AND ONE SET OF SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE THE FABRICATION OF ANY CONCRETE MEMBERS OR ELEMENTS, STRUCTURAL STEEL, STEEL JOISTS, MISCELLANEOUS STEEL AND/OR CONCRETE WORK.
 - THE WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH PREVAILING AND LOCAL CODES AND GOOD STANDARD PRACTICE.
- QUALITY CONTROL AND ASSURANCE FOR SITE ADAPTATION, COMPETENT STRUCTURAL AND FOUNDATION DESIGN, MATERIALS AND COMPLIANCE WITH APPLICABLE CODES TO BE ACCOMPLISHED BY OTHERS.

BUILDING FOUNDATION PLAN
SCALE: 1/4"=1'-0"

$f_c = 3,500 \text{ psi @ 28 DAYS}$ $F_y = 40 \text{ KSI for } \#3 \text{ rebars, } 60 \text{ KSI for } > \#3 \text{ rebars}$

LEGAL DESCRIPTION
ROLLING HILL ESTATES LOT 1 BLOCK A COLLIN COUNTY TEXAS

DO NOT SCALE DRAWINGS

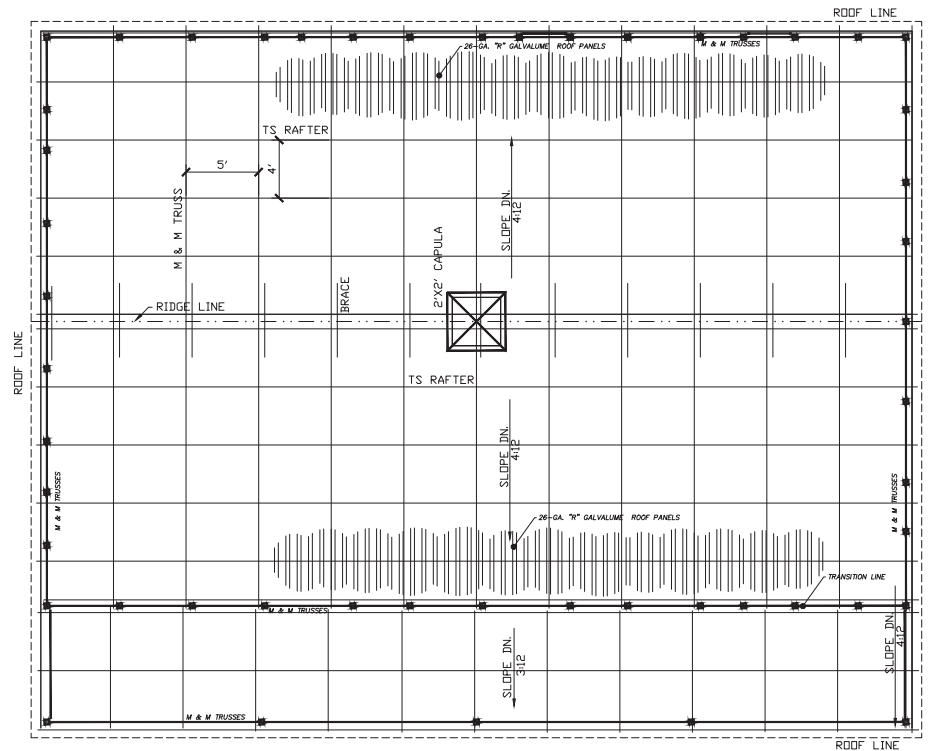


K.S. ATWAL & ASSOCIATES
TEXAS ENGINEERING FIRM REGISTRATION #6408
229 C R 2135, FITTSBURG, TEXAS 75686
TEL: 803 468 4842

SHEET NO.	S1
OF	4
DATE:	2/10/2022

NEW 40' X 60' BUILDING AT 1220 WINNINGKOFF RD. LUCAS TEXAS 75002
OWNER: CHARLES BISSELL
BUILDING FOUNDATION PLAN

CONTRACTOR: MR. ALLEN MUTSCLER M & M STEEL BUILDINGS ROCKWALL, TEXAS 972 771 1617



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

LEGAL DESCRIPTION
ROLLING HILL ESTATES LOT 1 BLOCK A COLLIN COUNTY TEXAS

DO NOT SCALE DRAWINGS



2/10/2022

K.S. ATWAL & ASSOCIATES
TEXAS ENGINEERING FIRM REGISTRATION #6406
229 C R 2135, PITTSBURG, TEXAS 75686
TEL: 903 466 4942

SHEET NO.

S2

OF 4

DATE: 2/10/2022

NEW 40' X 60' BUILDING AT
1220 WINNINGOFF RD. LUCAS TEXAS 75002

OWNER: CHARLES BISSELL

BUILDING ROOF FRAMING PLAN

CONTRACTOR:

MR. ALLEN MUTSCLER
M & M STEEL BUILDINGS
ROCKWALL, TEXAS
972 771 1617



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that the Planning & Zoning Commission of the City of Lucas, Texas will conduct a public hearing on Thursday, February 9, 2023, at 6:30 p.m., and City Council will conduct a second public hearing on Thursday, March 2, 2023, at 6:30 p.m. at Lucas City Hall, 665 Country Club, Lucas, Texas to consider a Specific Use Permit (SUP) application to permit a kitchen and food preparation area more particularly described as follows:

Charles and Elise Bissell, property owner at 1220 Winningkoff Road, ROLLING HILLS ESTATES, BLK A, LOT 1; Lucas, Texas 75002 has submitted an application for a SUP to permit a kitchen with a food preparation area(s) in an accessory building with habitable space.

Per Code of Ordinances Section 14.04.304 General accessory buildings and structures regulations.

i) In R-2 or AO zoning districts that contain a single-family home:

a. Kitchen, cooking or a food preparation area may be permitted on property with a specific use permit. The specific use permit may only be granted provided the owners of the property enact a deed restriction with the city as party to the deed restriction that prohibits the use of the habitable space to be used for lease/barter agreement other than that of the full-time domestic staff providing support to the property.

Those wishing to speak FOR or AGAINST the above item are invited to attend. If you are unable to attend and have comments you may send them to City of Lucas, Attention: City Secretary, 665 Country Club Road, Lucas, Texas 75002, email eday@lucastexas.us and it will be presented at the Hearing. If you have any questions about the above hearing you may contact jhilbourn@lucastexas.us.



City of Lucas

Planning and Zoning Agenda Request

February 9, 2023

Requester: Development Services Director Joe Hilbourn

Agenda Item

Consider the request by Stephen DiNapoli for a final plat for a parcel of land, being 41.512 acres of land, part of the John Thompson Survey, Abstract 893 and the G. Duccase Survey, Abstract 270, located on the northeast side of Winningkoff Road and north of Christian Lane, more commonly known as 950 Winningkoff Road, 970 Winningkoff Road, 905 Christian Lane, and 898 Private Road 5211, Lucas, Texas.

Background Information

This parcel of land is currently zoned R-2. It contains 41.512 acres of land and proposes twelve new residential lots.

The preliminary plat was first brought to the Planning and Zoning Commission at the May 13, 2021 meeting. The Commission recommended approval of the preliminary plat. The City Council approved the preliminary plat at the June 3, 2021 City Council meeting.

At the January 13, 2022 Planning and Zoning Commission meeting, an amendment was approved reducing the preliminary plat from 13 lots to 12 lots and added Cowboy Court.

Attachments/Supporting Documentation

1. Final plat
2. Final plat application
3. Final plat checklist
4. Location Map

Budget/Financial Impact

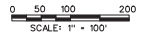
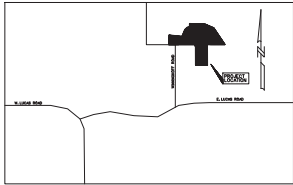
NA

Recommendation

Staff recommends approval of the final plat.

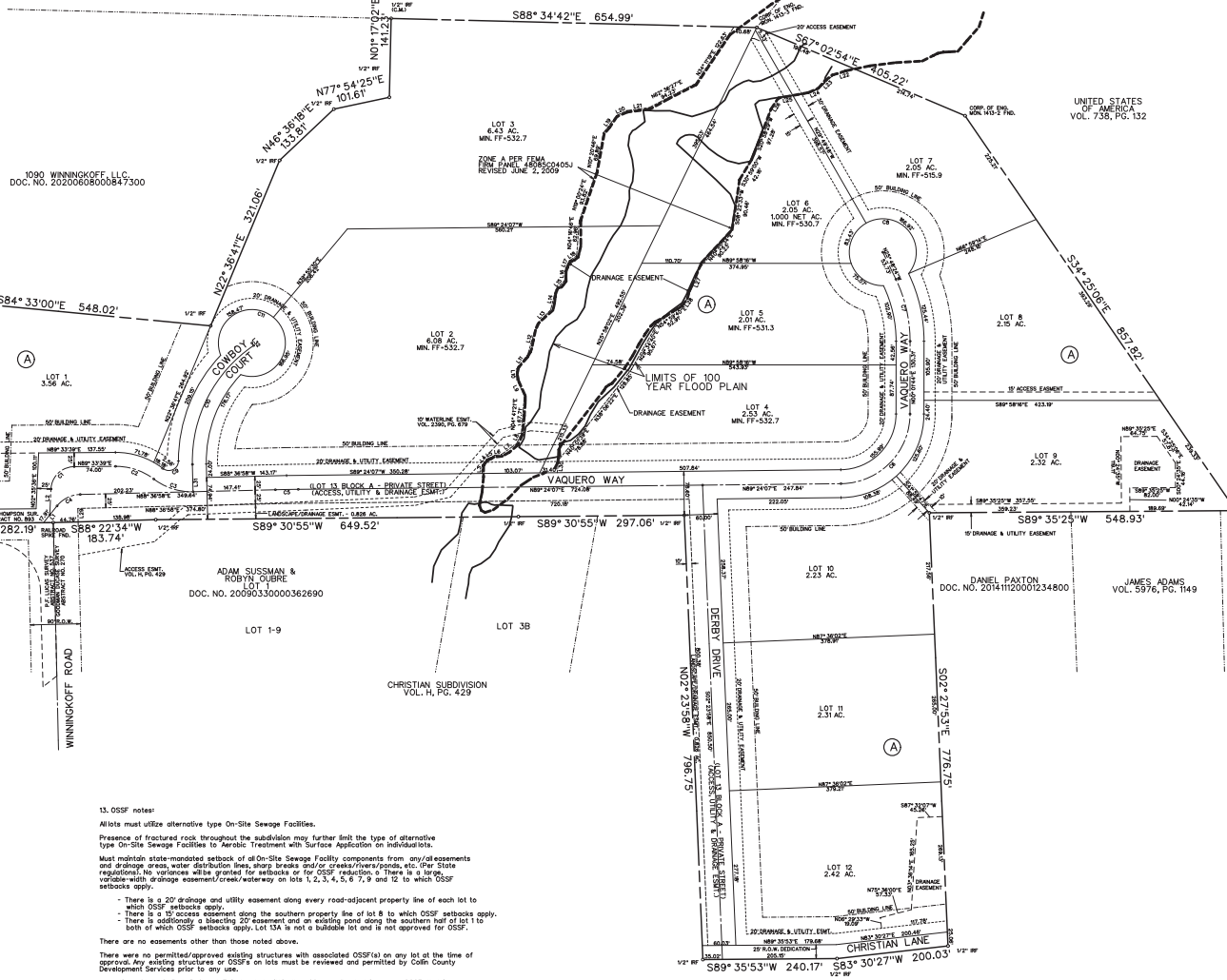
Motion

I make a motion to recommend to the City Council to approve/deny the request by Stephen DiNapoli for a final plat for a parcel of land, being 41.512 acres of land, part of the John Thompson Survey, Abstract 893 and the G. Duccase Survey, Abstract 270 located on the northeast side of Winningkoff Road and north of Christian Lane, more commonly known as 950 Winningkoff Road, 970 Winningkoff Road, 905 Christian Lane, and 898 Private Road 5211, Lucas, Texas.



LOT 3, BLOCK A
ROLLING HILLS ESTATES
VOL. H, PG. 10

UNITED STATES
OF AMERICA
VOL. 738, PG. 132



CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
C1.	86°58'03"	42.00'	63.75'	57.80'	N46°04'37"E
C2.	37°37'51"	112.00'	73.54'	73.23'	S11°31'41"E
C3.	38°34'01"	112.00'	75.39'	73.31'	S2°02'39"E
C4.	49°46'00"	53.00'	41.71'	46.30'	N64°47'25"E
C5.	05°47'29"	2888.00'	40.89'	46.99'	N89°00'33"E
C6.	09°22'12"	125.00'	19.89'	17.56'	N89°00'33"E
C7.	25°50'08"	225.00'	114.98'	114.01'	N12°53'20"W
C8.	45°18'36"	625.00'	325.42'	300.00'	N61°14'12"E
C9.	125°30'29"	11.00'	37.24'	36.23'	N67°44'46"E
C10.	57°14'24"	250.00'	249.72'	233.50'	N67°14'09"E
C11.	49°15'01"	60.00'	325.42'	50.00'	S46°01'37"E

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 88°52'08" E	38.42'
2.	N 02°30'36" E	46.40'
3.	N 00°52'53" W	14.71'
4.	N 34°17'04" E	13.54'
5.	N 62°32'33" E	32.81'
6.	N 87°43'08" E	11.43'
7.	N 54°31'08" E	33.91'
8.	N 02°02'15" W	18.62'
9.	N 29°02'09" W	31.02'
10.	N 02°02'15" W	18.62'
11.	N 37°53'36" E	24.01'
12.	N 16°02'46" E	25.48'
13.	N 49°44'22" E	36.20'
14.	N 03°12'50" E	19.89'
15.	N 04°07'10" E	22.05'
16.	N 02°02'15" W	18.62'
17.	N 59°31'47" E	15.00'
18.	N 37°53'36" E	31.11'
19.	N 02°02'15" W	18.62'
20.	N 64°02'05" E	20.29'
21.	N 24°23'23" E	32.81'
22.	N 46°02'43" W	33.82'
23.	N 02°02'15" W	18.62'
24.	N 02°02'15" W	18.62'
25.	N 02°02'15" W	18.62'
26.	N 02°02'15" W	18.62'
27.	N 02°02'15" W	18.62'
28.	N 02°02'15" W	18.62'
29.	N 02°02'15" W	18.62'
30.	N 02°02'15" W	18.62'
31.	N 02°02'15" W	18.62'
32.	N 54°08'40" W	5.43'

- NOTES
- Bearing are referenced to a 14.885 acre tract, as recorded in Doc. No. 20201000008080, in the Deed Records of Collin County, Texas.
 - All lot lines are radial or perpendicular to the street unless otherwise noted by bearing.
 - 1/2" iron rods with "CORWIN ENG. INC." caps set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted.
 - "Notice: Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits."
 - Lots or portions of lots within the flood plain or areas of special flood hazard as depicted on FEMA Flood Insurance Study (FIS) Revised June 2, 2009, require a development permit prior to issuance of a building permit and commencement of construction including site grading, on all or part of these lots.
 - Access to Christian Lane is limited to emergency access only.
 - Private streets are dedicated to and maintained by the Homeowners Association (H.O.A.).
 - All lots must utilize alternative type On-Site Sewage Facilities.
 - Must maintain state-mandated setback of all On-Site Sewage Facility components from any/all easements and drainage areas.
 - Final grading per the grading plan, will be required prior to installation/operation of On-Site Sewage Facilities.
 - Individual site evaluations and OSDF design plans must be submitted to and approved by Collin County for each lot prior to construction of any OSDF system.
 - All drainage easements shall be maintained by the HOA.

13. OSDF notes:
- All lots must utilize alternative type On-Site Sewage Facilities.
- Presence of fractured rock throughout the subdivision may further limit the type of alternative type On-Site Sewage Facilities to Aesthetic Treatment with Surface Application on individuals.
- Must maintain state-mandated setback of all On-Site Sewage Facility components from any/all easements and drainage areas, water distribution lines, storm drains and/or creeks/overflows, etc. per State regulations. No variances will be granted for setbacks or for OSDF installation. There is a large, variable-width drainage easement/waterway on lots 1, 2, 3, 4, 5, 6, 7, 9 and 12 to which OSDF setbacks apply.
- There is a 20' drainage and utility easement along every road-adjacent property line of each lot to which OSDF setbacks apply.
 - There is a 30' access easement along the southern property line of lot 8 to which OSDF setbacks apply.
 - There is additionally a bleaching 20' easement and an existing pond along the southern half of lot 1 to both of which OSDF setbacks apply. Lot 1A is not a bubble lot and is not approved for OSDF.
- There are no easements other than those noted above.
- There were no permitted/approved existing structures with associated OSDF(s) on any lot at the time of approval. Any existing structures or OSDF's on lots must be reviewed and permitted by Collin County Development Services prior to any use.
- A portion of lots 2, 3, 4, 5, 6 and 7 is located within the 100-year flood plain. Any OSDF that is located within the 100-year flood plain may be subject to special planning requirements or may be restricted from being within the flood plain.
- Any future structures and OSDF's must follow Flood Plain regulations in effect at the time of permitting.
 - A pre-planning meeting with RS/PE and Development Services is recommended prior to any development planning.
- Tree removal and/or grading for OSDF may be required on individuals.
- There are no water wells noted in this subdivision and no water wells are allowed without prior approval from Collin County Development Services.
- Each lot is limited to a maximum of 5,000 gallons of treated/discharged sewage each day.
- Individual site evaluations and OSDF design plans (meeting all State and County requirements) must be submitted to and approved by Collin County for each lot prior to construction of any OSDF system.

TOTAL RESIDENTIAL LOTS 12
TOTAL ACRES 41.512

FINAL PLAT
BARRATT LAKE ESTATES
LOTS 1-13 BLOCK A
OUT OF THE
JOHN THOMPSON SURVEY ABSTRACT NO. 893
GOODMAN DUCASE SURVEY, ABSTRACT NO. 270
IN THE
CITY OF LUCAS
COLLIN COUNTY, TEXAS
ZONING: R-2
OWNER
BARRATT LAKE ESTATES, L.L.C.
PO BOX 863264
PLANO, TEXAS 75086
PREPARED BY
CORWIN ENGINEERING, INC.
TBPCLS FIRM #5951
200 W. BELMONT, SUITE E
ALEX, TEXAS 75015
972-396-1200
OCTOBER 2022 SCALE: 1"=100'
SHEET 1 OF 2

DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That BARRATT LAKE ESTATES, LLC, Owners, do hereby bind themselves and their heirs, assigns and successors of title this plat designating the hereinabove described property as BARRATT LAKE ESTATES, an addition to the City of Lucas, and do hereby dedicate to the public use forever the streets, alleys, and right-of-way easements shown thereon, and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths that in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips, and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, without the necessity at any time of procuring the permission of anyone. Additionally, BARRATT LAKE ESTATES, LLC certifies that BARRATT LAKE ESTATES, LLC is the sole owners of the dedicated property and that no other's interest are attached to this property unless otherwise indicated on the required Mortgage Holder Certification that is included on this plat. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Lucas, Texas.

- Every owner of fee simple title to every individual lot within the subdivision shall be a member of the homeowners' association.
-The homeowners' association shall have the authority to collect membership fees.
-As applicable as it pertains to conditions shown herein, the homeowners' association shall be responsible for the maintenance of all common areas, screening walls, landscaped areas, private streets and alleys.
-The homeowners' association shall grant the City the right of access to any areas to abate any nuisances on such areas and attach a lien upon each individual lot for the prorated costs of abatement.
-The homeowners' association shall indemnify and hold the City harmless from any and all costs, expenses, suits, demands, liabilities, damages, or otherwise, including attorney fees and costs of suit, in connection with the City's maintenance of common areas.
-The homeowners' association shall, where additional rights-of-way has been dedicated for the purpose of providing landscaping, additional areas for sidewalks, walls or other amenities, enter into a license agreement with the City and shall be responsible for the installation and maintenance of all landscape areas in the public rights-of-way.

EXECUTED this the ___ day of ___, 2022.

Stephen Dinapoli
President

THE STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned, a Notary Public for the State of Texas, on this day personally appeared STEPHEN DINAPOLI, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he is the owner of the premises therein stated and for the purposes and considerations therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE, this the ___ day of ___, 2022.

NOTARY PUBLIC, STATE OF TEXAS

This plat is hereby approved by the Planning and Zoning Commission of the City of Lucas, Texas

Chairman, Planning and Zoning Commission Date
ATTEST:

Signature Date

Name & Title

The Director of Public Works of the City of Lucas, Texas hereby certifies that to the best of his/her knowledge or belief, this subdivision plat conforms to all requirements of the Code of Ordinances and with engineering construction standards and processes adopted by the City of Lucas, Texas as to which his/her approval is required.

Director of Public Works Date

The Development Services Director of the City of Lucas, Texas hereby certifies that to the best of his/her knowledge or belief, this subdivision plat conforms to all requirements of the Code of Ordinances or as may have been amended or modified, as allowed, by the Planning and Zoning Commission as to which his/her approval is required.

Development Services Director Date

LEGAL DESCRIPTION

WHEREAS, BARRATT LAKE ESTATES, LLC, is the owner of a tract of land situated in the John Thompson Survey, Abstract No. 893 and Goodman Ducas Survey, Abstract No. 270, being all of a 14,985 acre tract and a 14,088 acre tract, as described in Doc. No. 202104000088880 in the Deed Records of Collin County, Texas, and a 4,417 acre tract, as described in 202104000041130 in said Deed Records and a 8.0 acre tract, as described in Doc. No. 202104000007053300 in said Deed Records and being more particularly described as follows:

- BEGINNING, at a PK nailset at the southwest corner of said 4,417 acre tract being in Winninghoff Road (Variable R.O.W.);
THENCE, North 02°37'29" East, along the west line of said 4,417 acre tract, for a distance of 407.18 feet, to a 1/2 inch iron rod found at the northwest corner of said 4,417 acre tract;
THENCE, South 84°33'00" East, along the north line of said 4,417 acre tract, for a distance of 548.02 feet, to a 1/2 inch iron rod found at the northeast corner of said 4,417 acre tract and being in the west line of said 14,088 acre tract;
THENCE, North 22°36'41" East, along the west line of said 14,088 acre tract, for a distance of 321.06 feet, to a 1/2 inch iron rod found;
THENCE, North 46°36'18" East, continuing along said west line, for a distance of 133.81 feet, to a 1/2 inch iron rod found;
THENCE, North 77°54'25" East, continuing along said west line, for a distance of 101.61 feet, to a 1/2 inch iron rod found;
THENCE, North 01°17'02" East, continuing along said west line, for a distance of 141.23 feet, to a 1/2 inch iron rod found at the northwest corner of said 14,088 acre tract;
THENCE, South 89°34'42" East, along the north line of said 14,088 acre tract, for a distance of 654.89 feet, to a Corp. of Engineer Monument stamped 1413-3 found at the northeast corner of said 14,088 acre tract and the northwest corner of said 14,985 acre tract;
THENCE, South 67°02'54" East, along the north line of said 14,985 acre tract, for a distance of 405.22 feet, to a Corp. of Engineer Monument stamped 1413-2 found;
THENCE, South 34°25'06" East, continuing along said north line, for a distance of 857.82 feet, to a Corp. of Engineer Monument Stamped 1413-1 found, at the most easterly corner of said 14,985 acre tract;
THENCE, South 89°35'25" West, along the south line of said 14,985 acre tract, for a distance of 548.93 feet, to a 1/2 inch iron rod found at the northeast corner of said 8.0 acre tract;
THENCE, South 02°27'53" East, departing said south line and with the east line of said 8.0 acre tract, for a distance of 778.75 feet, to a 1/2 inch iron rod found at the southeast corner of said 8.0 acre tract;
THENCE, South 83°30'27" West, along the south line of said 8.0 acre tract, for a distance of 200.03 feet, to a 1/2 inch iron rod found;
THENCE, South 89°35'53" West, continuing along said south line, for a distance of 240.17 feet, to a 1/2 inch iron rod found at the southwest corner of said 8.0 acre tract;
THENCE, North 02°23'58" West, along the west line of said 8.0 acre tract, for a distance of 796.75 feet, to a 1/2 inch iron rod found at the northwest corner of said 8.0 acre tract being in south line of said 14,985 acre tract;
THENCE, South 89°30'55" West, along the south line of said 14,985 acre tract, for a distance of 297.06 feet, to a 1/2 inch iron rod found at the southwest corner of said 14,985 acre tract and being the southeast corner of said 14,088 acre tract;
THENCE, South 89°30'55" West, along the south line of said 14,088 acre tract, for a distance of 649.52 feet, to a 1/2 inch iron rod found;
THENCE, South 88°22'34" West, continuing along said south line, for a distance of 183.74 feet, to a Railroad spike found at the southwest corner of said 14,088 acre tract and being the southeast corner of said 4,417 acre tract;
THENCE, South 89°33'39" West, along the south line of said 4,417 acre tract, for a distance of 282.19 feet, to the POINT OF BEGINNING and containing 41.512 acres of land.

SURVEYOR'S CERTIFICATE

I, WARREN L. CORWIN, a registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from actual and accurate survey of the land and that the corner monuments shown thereon were properly placed, under my personal supervision, in accordance with the subdivision regulations of the City of Lucas, Texas.

Registered Professional Land Surveyor
Registration No. 4621
Date



THE STATE OF TEXAS
COUNTY OF COLLIN

BEFORE me, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared WARREN L. CORWIN, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed same for the purpose and consideration therein expressed.

Given under my hand and seal of office, this ___ day of ___, 2022.



NOTARY PUBLIC, STATE OF TEXAS

Health Department Certification:

I, as a representative of Collin County Development Services, do hereby certify that the on-site sewage facilities described on this plat conform to the applicable OSSF laws of the State of Texas, that site evaluations have been submitted representing the site conditions in the area in which on-site sewage facilities are planned to be used.

Designated Representative for Collin County Development Services

FINAL PLAT
BARRATT LAKE ESTATES
LOTS 1-13 BLOCK A

OUT OF THE
JOHN THOMPSON SURVEY ABSTRACT NO. 893
GOODMAN DUCASE SURVEY, ABSTRACT NO. 270

IN THE
CITY OF LUCAS
COLLIN COUNTY, TEXAS
ZONING: R-2

OWNER
BARRATT LAKE ESTATES, LLC.

PO BOX 863264

PLANO, TEXAS 75086

PREPARED BY

CORWIN ENGINEERING, INC.

TBPELS FIRM #5951

200 W. BELMONT, SUITE E

AILEN, TEXAS 75013

972-396-1200

OCTOBER 2022



Planning & Zoning Application Fee Breakdown

Development Name: Barnett Lake Estates

Development Address: Waring Keff

G/L	TRAN		
4361	361.1	Initial Zoning	\$ _____
4361	361.2	Rezoning	\$ _____
4362	362	Specific Use Permit	\$ _____
4363	363	Waiver/Variance Request	\$ _____
4390.1	390.1	Site Plan	\$ _____
4390.2	390.2	Tree Survey/Conservation Plan	\$ _____
4390.3	390.3	Architectural Plan	\$ _____
4390.4	390.4	Landscape Plan	\$ _____
4424	424.1	Preliminary Plat	\$ _____
4424	424.2	Final Plat	\$ <u>1057.56</u>
4424	424.3	Replat	\$ _____
4424	424.4	Vacation of Plat	\$ _____
4424	424.5	Optional Land Study	\$ _____
4424	424.6	Filing Fees	\$ _____
4427	427	Public Improvements/3% Construction	\$ _____
4980	980	Park ProRata/Dedication Fee	\$ _____

Total Amount Due \$ 1057.56

Official Use Only:	<u>DRB</u>	Date:	<u>8/11/22</u>
Received by:	<u>[Signature]</u>	Date:	_____
Processed by:	<u>[Signature]</u>	Date:	_____
Received Monies from:	<u>Barnett Lake Estates</u>	Check #	<u>1018</u> Cash _____ CC _____



PLATTING APPLICATION

Name of Subdivision and/or Project: Barratt Lake Estates

Items Submitted	Filing Fee
<input type="checkbox"/> Preliminary Plat	
▪ Single Family Residential Subdivision Development ○ \$750 + \$5 per acre with 20 acres or less (i.e. \$850 for 20 acres) excluding minor plats of five (5) acres or less.	_____
○ \$750 + \$5 per acre with 21 - 30 acres (i.e. \$900 for 30 acres)	_____
○ \$800 + \$5 per acre with 31 - 45 acres (i.e. \$1,025 for 45 acres)	_____
○ \$900 + \$5 per acre with 46+ acres (i.e. \$1,130 for 46 acres)	_____
▪ Estate Residential Subdivision Development ○ \$1,000 + \$7 per acre for all size parcels (i.e. \$1,140 for 20 acres)	_____
▪ Minor Plats ○ \$500 + \$5 per acre with 5 acres or less (i.e. \$525 for 5 acres)	_____
▪ Non-residential District Plats ○ \$800 + \$10 per acre with 30 acres or less	_____
○ \$850 + \$10 per acre with 31 - 45 acres	_____
○ \$950 + \$10 per acre with 46+ acres	_____
<input checked="" type="checkbox"/> Final Plat	
▪ Single Family Residential Subdivision Development	
○ \$800 + \$5 per acre with 30 acres or less	
<input checked="" type="checkbox"/> \$850 + \$5 per acre with 31 - 45 acres	
○ \$950 + \$5 per acre with 46+ acres <i>Any additional development fees will be charged at final plat rates.</i>	
▪ Estate residential Subdivision Development ○ \$950 + \$7 per lot for all size parcels	_____
▪ Minor Plat ○ \$350 + \$5 per acre with 5 acres or less	_____
▪ Non-residential District Plats ○ \$850 + \$10 per acre for up to 30 acres	_____
○ \$900 + \$10 per acre with 31 - 45 acres	_____
○ \$1,000 + \$10 per acre with 46+ acres	_____
▪ Replat ○ Minor Plat (5 acres or less) \$450 + \$5 per acre (\$475 for 5 acres) ○ All others - \$600 + \$10 per acre	_____
▪ Amended Plat ○ Minor Plats (5 acres or less) - \$300 + \$7 per acre (i.e. \$300 for an amended plat for 5 acres) ○ All others - \$500 + \$10 per acre (i.e. \$700 for an amended plat for 20 acres)	_____
<input type="checkbox"/> Storm Water Run-Off Permit ○ Developments 0 - 3 acres \$75 ○ Developments 4 - 10 acres \$150 ○ Developments 10+ acres \$500	_____
<input type="checkbox"/> Vacation of Plat ○ \$500 + \$10 per acre	_____
<input type="checkbox"/> Concept Plan (Optional Land Study) ○ \$150 per session with Planning & Zoning and/or City Council	_____
<input type="checkbox"/> Tree Survey/Conservation Plan No Fee	_____
<input type="checkbox"/> Tree Removal & Site Clearing Permit ○ \$250	_____
<input type="checkbox"/> Park Site Dedication ○ \$1,000 per lot or land dedication	_____
TOTAL	<u>\$ 1,057.56</u>

\$ 1,057.56

\$ 1,057.56



PLATTING APPLICATION

Physical Location of Property: _____
(Address and general location - approximate distance to nearest existing street intersection)

Legal Description of Property: J. Thomson / 893 and B Lucas / 270
(Survey/ Abstract Number and Tracts/Platted Subdivision Name with Lots/Block - Must attach metes and bounds description)

Comprehensive Zoning Designation(s): R-2

Existing Zoning Designation(s): R-2

Description of Project Use: SINGLE FAMILY Residential

Acreage: 41.512 Existing # of Lots/Tracts: NONE

Barratt Lake Estates, LLC
OWNERS NAME: _____ Contact Number: (214) 802-0028

Applicant/Contact Person: Stephen Dinapoli Title: MANAGING MEMBER

Company Name: DINAPOLI DEVELOPMENT, LLC

Street Address: 1104 WIMBLEDON LANE, PLANO, TX 75075

Mailing Address: PO BOX 863264, PLANO, TX 75086-3264

Phone: (214) 802-0028 Fax: NONE Email: _____

OWNERS NAME: _____ Contact Number: _____

Applicant/Contact Person _____ Title: _____

Company Name _____

Street Address _____

Mailing Address _____

Phone: _____ Fax: _____ Email: _____

CHASE FINCH CORWIN ENGINEERING, INC.
ENGINEER REPRESENTATIVE: _____ Contact Number: (972) 396-1200

Applicant/Contact Person: CHASE FINCH Title: _____

Company Name: CORWIN ENGINEERING, INC.

Street Address: 1200 WEST BELMONT SUITE E, ALLEN, TX 75013

Mailing Address: 1200 WEST BELMONT, SUITE E, ALLEN, TX 75013

Phone: (972) 396-1200 Fax: _____ Email: _____

Read before signing below: If there is more than one property owner complete a separate sheet with the same wording as below. The City requires all original signatures. If applicant is other than the property owner a "Power of Attorney" with original, notarized signatures are required. (notaries are available)

ITEMS REQUIRED PRIOR TO FINAL PLAT APPROVAL:

ALL APPLICATIONS MUST BE COMPLETE, ACCOMPANIED BY THE APPLICABLE CHECKLIST AND TAX CERTIFICATE SHOWING TAXES PAID BEFORE BEING SCHEDULED ON THE P&Z AGENDA. It is the applicant's responsibility to be familiar with, and to comply with, all City submittal requirements (in the Zoning & Subdivision Ordinances, and any separate submittal policies, requirements and/or checklists that may be required from City staff), including the number of plans to be submitted, application fees, etc. Please contact City staff in advance for submittal requirements. Drawings will not be returned to applicant.

ALL PARCELS/PROPERTIES MUST MATCH IN ACREAGE ALL OTHER DOCUMENTS SUBMITTED WITH NO AMBIGUITY.

SUBMISSIONS: Failure to submit all materials to the City with this application will result in delays scheduling the agenda date.

NOTICE OF PUBLIC RECORDS: The submission of plans/drawings with this application makes such items public record, and the applicant understands that these items may be viewed by the public unless they are copyrighted.



PLATTING APPLICATION

- Applicant agrees to pay any and all monies due to the City including but not limited to Park Site fee, Tree Removal Permit fee, 3% of Construction cost (developer to provide contracts for verification) and including but not limited to other fees that may be required prior to final plat approval.
- Maintenance Bond for City Improvements, 2 year – 10% Bond to be verified by submitting contract.
- Construction as-built record drawings (mylar)
- Engineering construction test reports.
- Walk-through with Public Works personnel completed with satisfactory outcome.
- HOA (covenants, conditions & restrictions) documentation approved by City Attorney before submittal to Planning & Zoning.

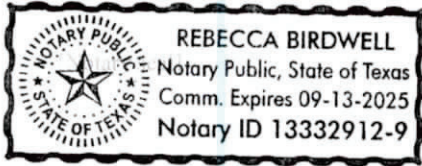
By signing this application, staff is granted access to your property to perform work related to your case. I waive the statutory time limits in accordance with Texas Local Government Code, Section 212.

STATE OF TEXAS }

COUNTY OF COLLIN }

BEFORE ME, a Notary Public, on this day personally appeared Stephen Dinapoli the undersigned applicant, who, under oath, stated the following: "I hereby certify that I am the owner, or duly authorized agent of the owner, (**proof must be attached, e.g. "Power of Attorney"**) for the purposes of this application; that all information submitted herein is true and correct. I understand that submitting this application does not constitute approval, and incomplete applications will result in delays and possible denial."

Barratt Lake Estates, LLC
Stephen Dinapoli
Owner / Agent (circle one)



SUBSCRIBED AND SWORN TO before me, this the 9th day of August, 2022.

Notary Public in and for the State of Texas: RBird

Official Use Only:

Planning & Zoning: _____ Date: _____

City Council: _____ Date: _____

Applicant Withdrew: Yes or No Date: _____

Applicant Made a Written Withdrawal: Yes or No Date: _____



PRELIMINARY AND FINAL PLAT Minimum Requirements Checklist

Project Name Barratt Lakes Estates Preparer _____

This checklist is provided to assist you in addressing the minimum requirements for Preliminary Plat submission. Confirm that all information is included on the submitted plans by checking the box next to the required information. Checking the box certifies to the City that you have completely and accurately addressed the issue. This completed form must be returned at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided both directly on the plan and on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approving body. Additional information may be required. Reference the specific requirement. Plans are to be submitted complete in all detail as shown by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes. If a preliminary plat is required, a Tree Survey/Preservation Plan is also required as part of the submittal requirements with and at the time of preliminary plat submittal. Refer to the Development Plan Application packet for the needed application and checklist.

- I have made the decision NOT to waive the statutory time limits (30 days) in accordance with section 212 of the Texas Local Government Code. I understand and acknowledge that the City may DENY my plat application if not complete as determined by staff within the 30-day time period.
- The required number of copies of the preliminary plat and the approved engineering and construction plans for all public infrastructure improvements in accordance with the design standards of the City, to include all streets, water mains and services, sewer system and services, and drainage systems required to develop the proposed subdivision.
- The name, address and telephone number of the owner, the surveyor, and engineer responsible for the preparation of the final plat.
- The name of the subdivision and location map showing adjacent subdivisions, street names (which shall conform, whenever possible, to existing street names and be approved by the Post Office) and lot and blocks numbers in accordance with a systematic arrangement.
- An accurate boundary survey description of the property, with bearings and distances, referenced to survey lines, existing property descriptions and established subdivisions, and showing the lines of adjacent tracts, the layout, dimensions and names of adjacent streets and alleys and lot lines shown in dashed lines.
- Existing boundary of adjacent street, and alley rights-of-way and boundaries of right-of-way (ROW) dedication are indicated, street names are labeled, and ROW widths are dimensioned.
- Scale, north point, date, lot and block numbers.
- The name and location of adjacent subdivisions or unplatted tracts drawn to scale shown in dotted lines and in sufficient detail to accurately show the existing streets, alleys and other features that may influence the layout and development of the propose subdivision. The abstract name and number, and name of the owner of the adjacent unplatted tracts should be shown.
- Exact location of lots, streets, public highways, alleys, parks and other features, with accurate dimensions in feet and decimal fractions of feet, with the length of radii and of arcs of all curves, internal angles, points of curvatures, length and bearings of the tangents, and with all other surveyor information necessary to reproduce the plat on the ground. Dimensions shall be shown from all angle points.
- All lots on building sites shall conform to the minimum standards for area, width and depth prescribed by the zoning district or districts in which the subdivision is located and state the area size of each lot. Internal lot lines are clearly indicated, shown to scale, and labeled with bearings and distances.
- Building setback lines and the location of utility easements.
- Topographic information showing contour lines with intervals up to one (1') foot indicating the terrain, drainage pattern of the area, and the drainage basin areas within the proposed subdivision. Topographic information showing contour lines with intervals up to two (2) feet indicating the terrain, the drainage pattern of the area, and the drainage basin areas outside the boundaries of the proposed subdivision.
- The layout and dimensions of proposed storm drainage areas, easements and rights-of-way necessary for drainage within and outside the boundaries of the proposed subdivision.
- The location and purpose of all proposed parks or other areas offered for dedication to public use.



PRELIMINARY AND FINAL PLAT Minimum Requirements Checklist

- The location of all existing property lines, buildings, sewer or water mains, storm drainage areas, water and wastewater facilities, fire hydrants, gas mains or other underground structures, easements of record or other existing features.
- The location, size and identification of any physical features of the property, including water courses, ravines, bridges, culverts, existing structures, drainage or other significant topographic features located on the property or within one hundred fifty feet (150') of the proposed subdivision.
- Copy of any deed restrictions, restrictive covenants, special use permit or planned development district ordinance regulating the property.
- The angle of intersection of the centerlines of all intersecting streets which are intended to be less than ninety (90°) degrees.
- In accordance with the city floodplain management regulations, of the Code of Ordinances, as amended, the floodplain and floodway lines and base flood elevations as shown on the current effective flood insurance rate maps for the city shall be shown, where applicable. A notation shall be shown on the face of the preliminary plat stating: "Lots or portions of lots within the floodplain or areas of special flood hazard require a development permit prior to issuance of a building permit or commencement of construction including site grading, on all or part of those lots".
- Floodplain and floodway lines and base flood elevations as shown on the current effective flood insurance rate maps for the City should be shown, where applicable.
- For a preliminary plat of land located outside the city limits where sanitary sewer does not exist or where street improvement standards vary from those specified by the city, such differences shall be noted.
- A certificate of ownership and dedication of all streets, alleys, easements, parks and other land intended for public use, signed and acknowledged before a Notary Public by the owner and lien holders of the property, along with complete and accurate metes and bounds description of the land subdivided and the property dedicated to public use.
- Receipt showing all taxes on the subject property are paid.
- Certification by a surveyor, to the effect that the preliminary plat represents a survey made by the Surveyor, and that all the necessary survey monuments are correctly shown thereon.
- A preliminary plat provided in multiple sheets shall include a key map showing the entire subdivision at smaller scale with lot and block numbers and street names on one (1) of the sheets or on a separate sheet of the same size.
- Copy of any proposed property owner or homeowners' association agreements, covenants and restrictions.
- Front and exterior side or corner setback lines are shown and labeled.
- Abstract lines, survey lines, county lines, school ISD boundary and corporate boundaries are shown and clearly labeled.
- A title block is provided in the lower right corner that includes large, boldly printed:

(Subdivision Name)

Preliminary Plat

Lot(s) _____, Block(s) _____ (survey, abstract and tract number)

If a replat, include:

Replat of Lot(s) _____, Block(s) _____

- A log of submittal/revision dates since submitted to the City.
- The purpose of a replat or amending plat is stated on the face of the plat document.
- If the proposal is a replat or amending plat, the existing lot numbers and block numbers or letters are shown as light dotted lines, with lot number designation followed by R for replats or an A for amending plats.
- Location of property lines, owner or subdivision name(s) and recording information of abutting properties is indicated. Unplatted property or any streets or alleys within a 500-foot radius of subject property are shown and identified/labeled as appropriate.

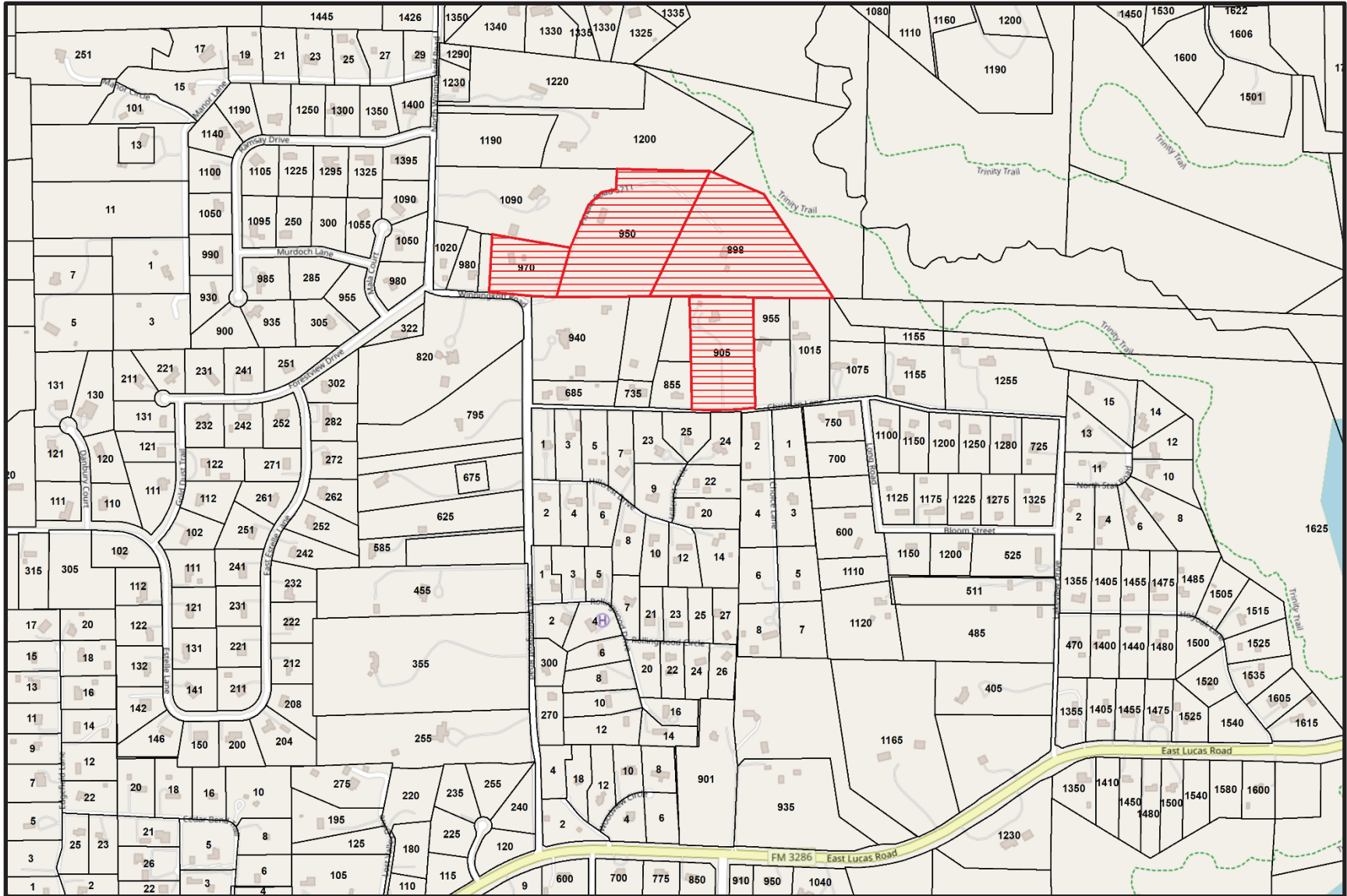


PRELIMINARY AND FINAL PLAT Minimum Requirements Checklist

- Medians, median openings; turn lanes, deceleration/acceleration lanes and stacking distance is indicated within 200 feet of the property. The entire median, left-turn lane and/or deceleration lane and median opening serving a site is shown.
- Each lot is dimensioned, and the square footage of each lot is indicated.
- Each lot is numbered, and block groups are assigned a letter. Homeowner's association and other open space areas are identified with tract number.
- The location of existing underground and above ground utilities, flood plain boundaries and state or federally protected areas, such as wetlands, are indicated.
- The location of existing structures or other features proposed to remain and those proposed for removal.
- Existing easements are indicated by a light, dashed line and labeled indicating dimension, purpose and County recording information.
- Location, dimension, and purpose of proposed easements are indicated by a medium-weight, dashed line. Required and proposed ingress/egress or access easements are shown, clearly labeled and tied down, as appropriate.
- Existing zoning is shown.
- Location and area of parks, drainage ways, creeks and open space is indicated and labeled.
- Legal description/metes and bounds description is included.
- Include any notes required by the various affected agencies/utilities.
- Residential minor streets shall be designed and platted so that no street segment shall have a straight line for more than 1,000 feet before altering its course by at least 20 degrees.
- Sites to be reserved or dedicated for parks, playgrounds and/or other public uses are indicated and labeled.
- Preliminary water plans are included with this submittal.
- Contours are indicated with intervals of two (2) feet for property five acres or less and five (5) feet for property more than five acres.
- A note is included that states whether or not the property is in the 100-year flood plain, with the FIRM Community Panel reference number and map date.
- A note shall be added to the plat stating: **“Preliminary Plat - For Inspection Purposes Only.”**



LOCATION MAP: BARRATT LAKE ESTATES





City of Lucas

Planning and Zoning Agenda Request

February 9, 2023

Requester: Development Services Director Joe Hilbourn

Agenda Item

Consider the request by Majed Khalaf on behalf of Mahmoud Properties for a site plan, landscape plan, and elevations for use as a commercial retail and office center on a 2.25-acre tract of land in the Jas Lovelady Survey, Abstract Number ABS A0538, Tract 14 situated in the City of Lucas, Collin County, Texas, located at 995 West Lucas Road.

Background Information

This parcel of land is currently zoned for commercial business, containing 2.25 acres of land, and proposes commercial retail and office space.

Site Plan: The site plan proposes three new buildings. One is a two-story building with 8,034 square feet on the first floor and 6,360 square feet on the second floor. The second building is a single story with 7,557 square feet. The third building is 2,640 square foot single-story building. The total square footage for the three new buildings is 24,291 square feet. There are two existing buildings that will have to be demolished prior to build out of the property. Total impervious cover permitted is 63,482 square feet (65%), total impervious proposed is 59,574 square feet (61%). 82 parking spaces are required, 82 spaces are provided. Minimum lot size permitted is 43,500 square feet, provided is 97,666 square feet. The water main is 8 inch looped. 24-foot-wide fire lanes meet the minimum standard for turn radius R30.

Landscape Plan: The total site area is 97,656 square feet. Landscape area required is 14,648 square feet. Landscape area provided is 34,480 square feet. The 244 linear feet located on West Lucas Road requires 22 trees, and 22 are provided. Shrubs required are 98, and 98 are provided. Parking perimeter is 211 linear feet. 11 trees are required, 22 are provided. Shrubs required are 85, provided are 98. Parking interior landscape required is 1,672 square feet. Provided is 2,777 square feet. Interior parking trees required is 9, and 9 are provided. All interior landscape elements are irrigated.

Elevations: Max building height permitted is 35 feet. Proposed is one-story (21 feet), one-story (27.25 feet), two-story (33.16 feet). Building finishes are a mix of stucco, stone tile, and glazing. Wall signage proposed is 345.5 square feet. A maximum of two monument signs are permitted (one every 100 linear feet of road frontage). Two monument signs are proposed, both less than 40 square feet. The buildings meet the City's requirements for changes in direction, the maximum uninterrupted length is 60 feet.

Attachments/Supporting Documentation

1. Site plan, landscape plan, elevations
2. Checklist Site Plan, landscape plan, elevations
3. Application
4. OSSF design



City of Lucas

Planning and Zoning Agenda Request

February 9, 2023

5. Civil Construction plans
6. Location Map

Budget/Financial Impact

NA

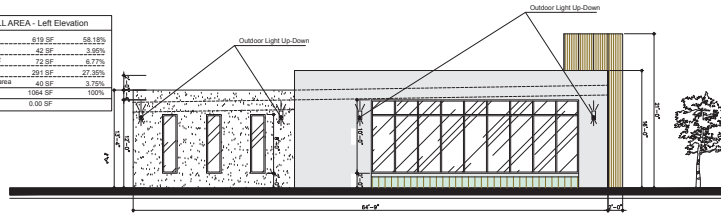
Recommendation

Staff recommends approval of the site plan, landscape plan, and elevations.

Motion

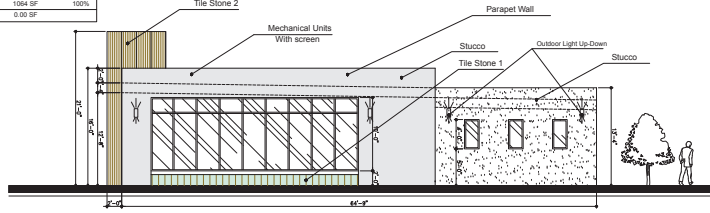
I make a motion to recommend to the City Council to approve/deny the request by Majed Khalaf on behalf of Mahmoud Properties for a site plan, landscape plan, and elevations for use as a commercial retail and office center on a 2.25-acre tract of land in the Jas Lovelady Survey, Abstract Number ABS A0538, Tract 14 situated in the City of Lucas, Collin County, Texas, located at 995 West Lucas Road.

TOTAL WALL AREA - Left Elevation	
Stucco area	619 SF 68.18%
Tile Stone area 1	42 SF 4.65%
Tile Stone area 2	72 SF 7.97%
Clausing area	231 SF 25.65%
Windows frame area	40 SF 4.37%
Total area	1064 SF 100%
Signs area	0.00 SF

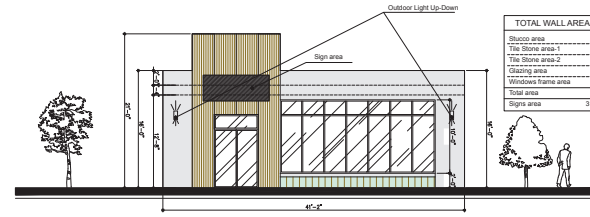


01 LEFT ELEVATION
SCALE : 1/8" = 1'-0"

TOTAL WALL AREA - Right Elevation	
Stucco area	639 SF 69.92%
Tile Stone area 1	25 SF 2.73%
Tile Stone area 2	72 SF 7.87%
Clausing area	271 SF 29.48%
Windows frame area	40 SF 4.33%
Total area	1064 SF 100%
Signs area	0.00 SF



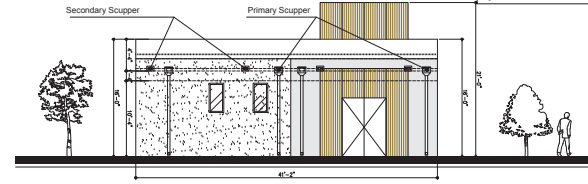
03 RIGHT ELEVATION
SCALE : 1/8" = 1'-0"



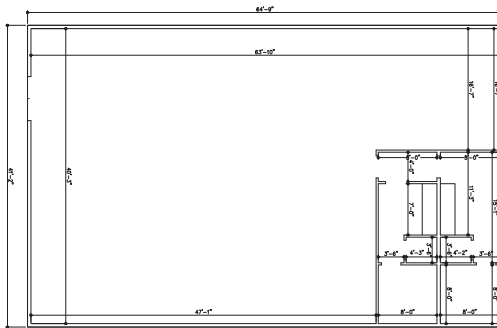
TOTAL WALL AREA - Main Elevation	
Stucco area	223 SF 11.05%
Tile Stone area 1	32 SF 1.55%
Tile Stone area 2	72 SF 3.52%
Clausing area	244 SF 11.80%
Windows frame area	27 SF 1.31%
Total area	598 SF 100%
Signs area	31.50 SF

02 MAIN ELEVATION
SCALE : 1/8" = 1'-0"

TOTAL WALL AREA - Back Elevation	
Stucco area	499 SF 69.26%
Tile Stone area 1	0.00 SF 0.00%
Tile Stone area 2	156 SF 21.73%
Clausing area	13 SF 1.77%
Windows frame area	4 SF 0.55%
Metal Door area	48 SF 6.66%
Total area	718 SF 100%
Signs area	0.00 SF



04 BACK ELEVATION
SCALE : 1/8" = 1'-0"



05 FLOOR PLAN
SCALE : 1/8" = 1'-0"

NOTE:
 - This Facade Plan is for conceptual purposes only. All building plans require review and approval of the Building Inspection Department.
 - All mechanical units shall be screened from public view.
 - When permitted, exposed utility boxes and conduits shall be painted to match the building.
 - All signage areas and locations are subject to approval by the Building Inspection Department.
 - Roof access shall be provided internally, unless otherwise permitted by the Building Office.

Building -C

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR ERRORS IMMEDIATELY. WORK SHALL BE DONE IN ACCORDANCE WITH THE DRAWINGS. DO NOT SCALE DRAWINGS.

F&L
 DESIGN & CONSTRUCTION L.L.C.
 8202 Woodside Rd Fidesign11@gmail.com
 Rowlett Tx, 75088 214-478-1485

DRAWING TITLE:
FLOOR PLAN AND ELEVATIONS BUILDING C

PROJECT NAME:
**LUCAS COMMERCIAL CENTER
 995 WEST LUCAS ROAD
 ALLEN, TX 75002**

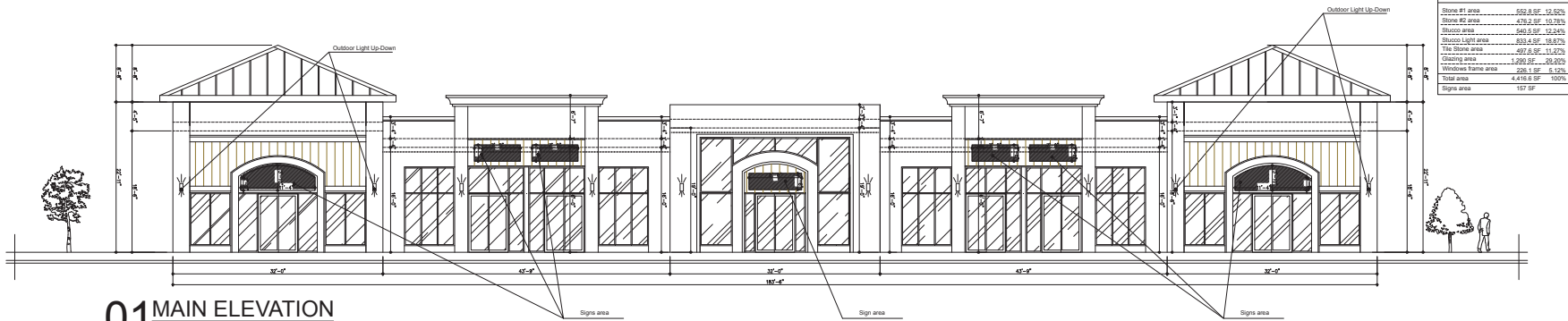
ARCHITECT'S SEAL

REVISION DATE

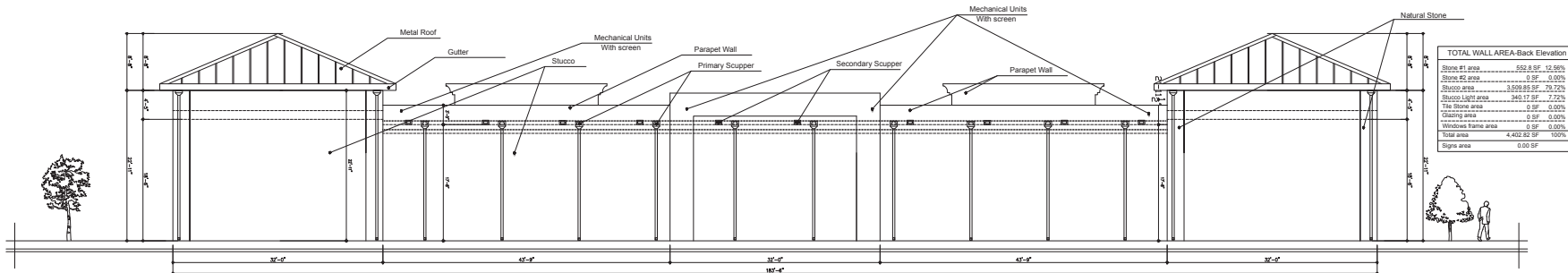
SHEET NUMBER

A1.3

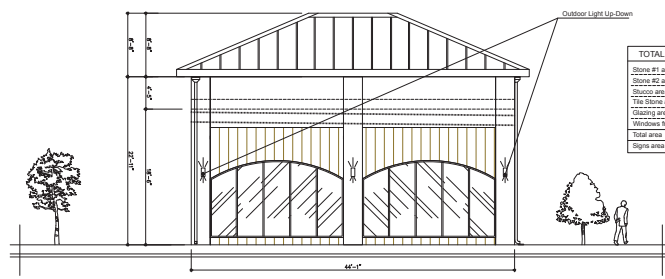
PLOT DATE
 06/23/22



01 MAIN ELEVATION
SCALE : 1/8" = 1'-0"



02 BACK ELEVATION
SCALE : 1/8" = 1'-0"



03 SIDE ELEVATION
SCALE : 1/8" = 1'-0"

NOTE:
 - This Facade Plan is for conceptual purposes only. All building plans require review and approval of the Building Inspection Department.
 - All mechanical units shall be screened from public view.
 - When permitted, exposed utility boxes and conduits shall be painted match the building.
 - All storage areas and locations are subject to approval by the Building Inspection Department.
 - Roof access shall be provided internally, unless otherwise permitted by the Building Office.

Building -A

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS IMMEDIATELY. DO NOT SCALE DRAWINGS.

F&L
 DESIGN & CONSTRUCTION L.L.C.
 8202 Woodside Rd
 Rowlett, TX 75088
 214-478-1485
 Fidesign11@gmail.com

DRAWING TITLE :
**ELEVATION A
 BUILDING A**

PROJECT NAME :
**LUCAS COMMERCIAL CENTER
 995 WEST LUCAS ROAD
 ALLEN, TX 75002**

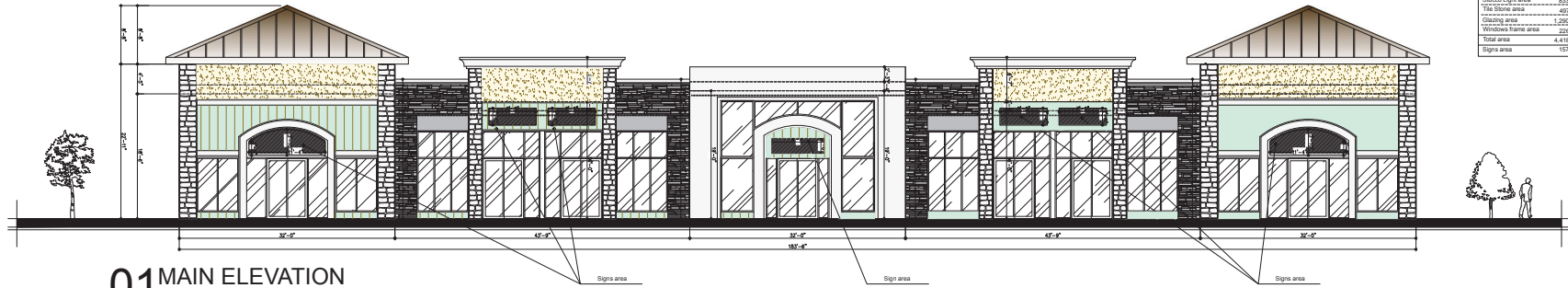
ARCHITECT'S SEAL

REVISION DATE

SHEET NUMBER

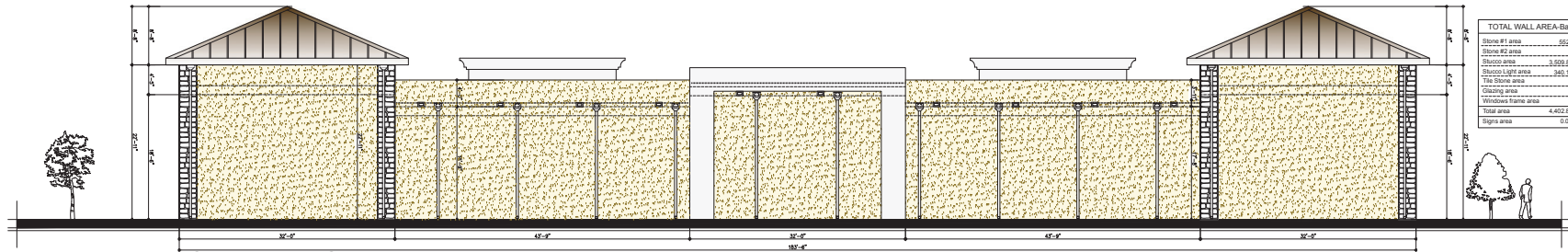
A2.1

PLOT DATE
 06/23/22



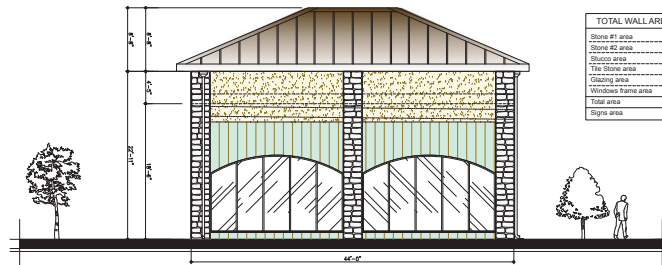
01 MAIN ELEVATION
SCALE : 1/8" = 1'-0"

TOTAL WALL AREA-Main Elevation	
Stone #1 area	552.8 SF 12.50%
Stone #2 area	479.2 SF 10.78%
Stucco area	349.5 SF 7.84%
Stucco Light area	533.4 SF 11.87%
Tile Stone area	497.8 SF 11.27%
Cladding area	1,200.0 SF 26.92%
Windows frame area	226.1 SF 5.12%
Total area	4,418.8 SF 100%
Signs area	137 SF



02 BACK ELEVATION
SCALE : 1/8" = 1'-0"

TOTAL WALL AREA-Back Elevation	
Stone #1 area	552.8 SF 12.50%
Stone #2 area	0 SF 0.00%
Stucco area	3,509.85 SF 79.72%
Stucco Light area	349.17 SF 7.72%
Tile Stone area	0 SF 0.00%
Cladding area	0 SF 0.00%
Windows frame area	0 SF 0.00%
Total area	4,402.82 SF 100%
Signs area	0.00 SF



03 SIDE ELEVATION
SCALE : 1/8" = 1'-0"

TOTAL WALL AREA-Side Elevation	
Stone #1 area	377.0 SF 12.85%
Stone #2 area	493.0 SF 15.00%
Stucco area	251.4 SF 7.68%
Stucco Light area	299.2 SF 9.14%
Cladding area	321.2 SF 9.84%
Windows frame area	39.8 SF 1.22%
Total area	1,010.4 SF 100%
Signs area	0.00 SF

NOTE:
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 - All mechanical units shall be screened from public view.
 - When permitted, exposed utility boxes and conduits shall be painted match the building.
 - All signage areas and locations are subject to approval by the Building Inspection Department.
 - Roof access shall be provided internally, unless otherwise permitted by the Building Office.

Building -A

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS IMMEDIATELY UPON DISCOVERY. DO NOT SCALE DRAWINGS.

F&L
 DESIGN & CONSTRUCTION L.L.C.
 8202 Woodside Rd. Fidesign11@gmail.com
 Rowlett, TX, 75088 214-478-1485

DRAWING TITLE :
**ELEVATION A
 BUILDING A**

PROJECT NAME :
**LUCAS COMMERCIAL CENTER
 995 WEST LUCAS ROAD
 ALLEN, TX 75002**

ARCHITECT'S SEAL

REVISION DATE

SHEET NUMBER

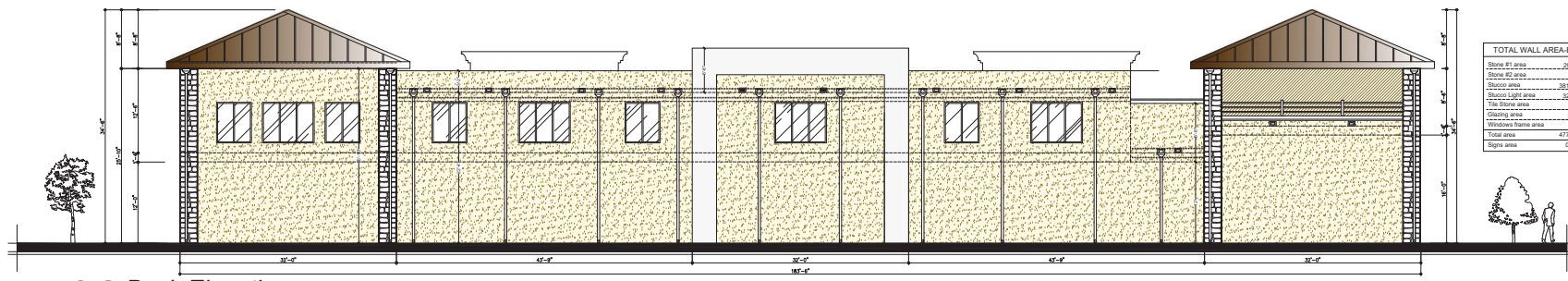
A2.2

PLOT DATE
 06/23/22



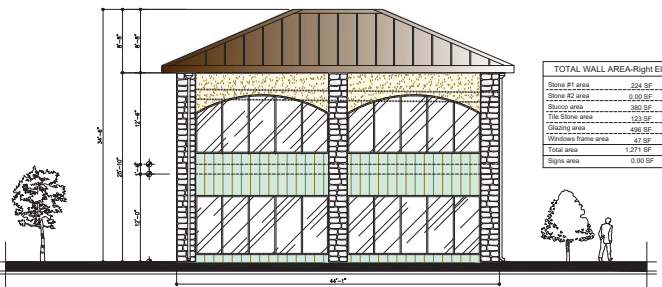
01 Main Elevation
SCALE :1/8" = 1'-0"

TOTAL WALL AREA-Main Elevation	
Stone #1 area	701.1 SF - 13.48%
Stone #2 area	406.8 SF - 8.95%
Brick area	400.2 SF - 8.94%
Brick Light area	800.0 SF - 15.38%
The Stone area	553.4 SF - 10.54%
Cladding area	2,513.3 SF - 50.72%
Windows Frame area	706.2 SF - 13.00%
Total area	5,261.0 SF - 100%
Signs area	157 SF



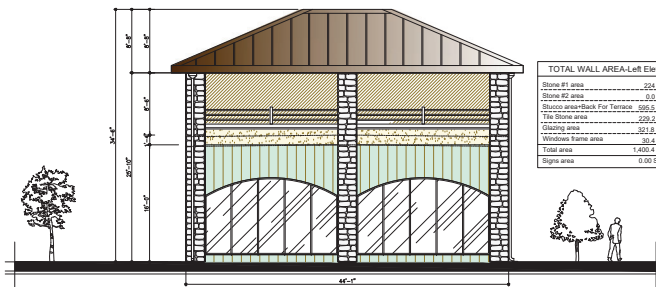
02 Back Elevation
SCALE :1/8" = 1'-0"

TOTAL WALL AREA-Back Elevation	
Stone #1 area	297.0 SF - 5.52%
Stone #2 area	0.0 SF - 0.00%
Brick area	3919.0 SF - 79.80%
Brick Light area	393.0 SF - 8.73%
The Stone area	0.0 SF - 0.00%
Cladding area	201.0 SF - 4.00%
Windows Frame area	48.0 SF - 1.00%
Total area	4718.0 SF - 100%
Signs area	0.00 SF



03 Right Elevations
SCALE :1/8" = 1'-0"

TOTAL WALL AREA-Right Elevation	
Stone #1 area	224.5F - 17.70%
Stone #2 area	0.00 SF - 0.00%
Brick area	280.0 SF - 29.00%
The Stone area	223.5F - 9.85%
Cladding area	499.5F - 59.00%
Windows Frame area	41.0F - 3.70%
Total area	1,278.5F - 100%
Signs area	0.00 SF



04 Left Elevations
SCALE :1/8" = 1'-0"

TOTAL WALL AREA-Left Elevation	
Stone #1 area	224.5F - 15.96%
Stone #2 area	0.00 SF - 0.00%
Brick area	280.0 SF - 42.52%
The Stone area	223.5F - 35.57%
Cladding area	321.8 SF - 22.98%
Windows Frame area	38.4 SF - 2.17%
Total area	1,468.2 SF - 100%
Signs area	0.00 SF

NOTE:
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 - All mechanical units shall be screened from public view.
 - When permitted, exposed utility boxes and conduits shall be painted to match the building.
 - All signage areas and locations are subject to approval by the Building Inspection Department.
 - Roof access shall be provided internally, unless otherwise permitted by the Building Office.

Building -B

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING ANY WORK. DO NOT SCALE DRAWINGS.

F&L
DESIGN & CONSTRUCTION L.L.C.
 8202 Woodside Rd. Fidesign11@gmail.com
 Rowlett, TX 75088 214-478-1485

DRAWING TITLE :
ELEVATION B
BUILDING B

PROJECT NAME :
LUCAS COMMERCIAL CENTER
995 WEST LUCAS ROAD
ALLEN, TX 75002

ARCHITECT'S SEAL

REVISION DATE

SHEET NUMBER

A2.4

PLOT DATE
 06/23/22

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY. THIS WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES. DO NOT SCALE DRAWINGS.

F&L
DESIGN & CONSTRUCTION L.L.C.
 8202 Woodside Rd. Ft. Worth, TX 76114
 Rowlett, TX 75088 214-4781485
 Fdesign11@gmail.com

DRAWING TITLE:
**ELEVATION B
 BUILDING B**

PROJECT NAME:
**LUCAS COMMERCIAL CENTER
 995 WEST LUCAS ROAD
 ALLEN, TX 75002**

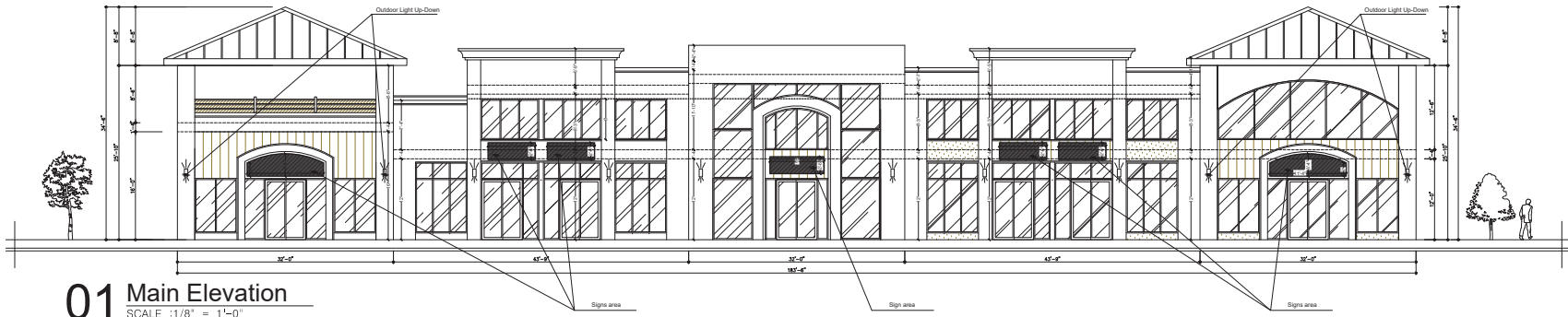
ARCHITECT'S SEAL

REVISION DATE

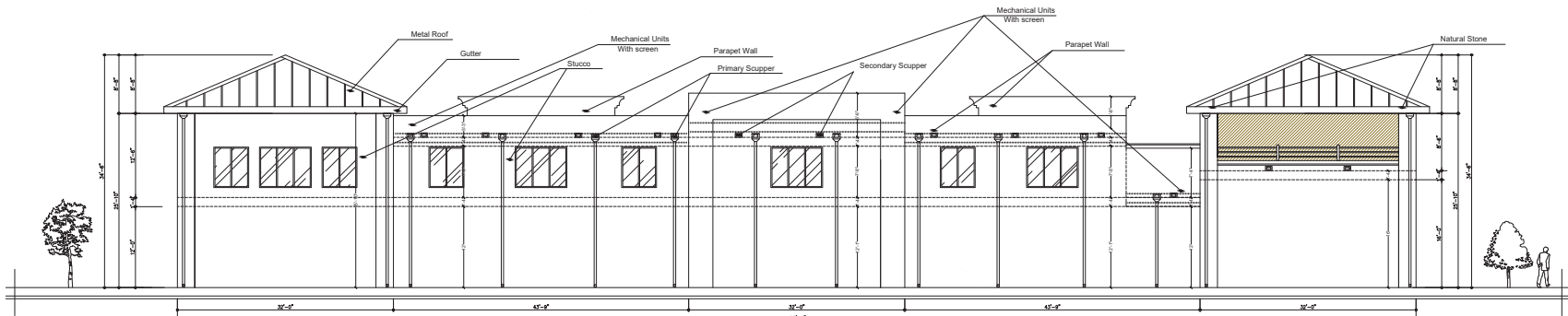
SHEET NUMBER

A2.3

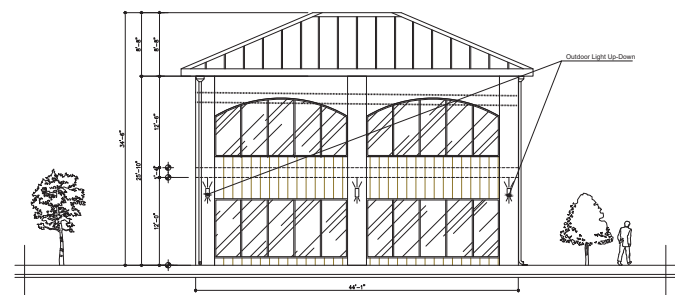
PLOT DATE
 06/23/22



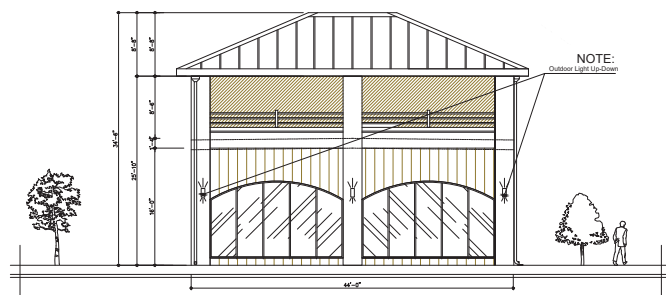
01 Main Elevation
 SCALE : 1/8" = 1'-0"



02 Back Elevation
 SCALE : 1/8" = 1'-0"



03 Right Elevations
 SCALE : 1/8" = 1'-0"



04 Left Elevations
 SCALE : 1/8" = 1'-0"

- NOTE:**
 Outdoor Light Up-Down
- This Facade Plan is for conceptual purposes only. All building plans require review and approval of the Building Inspection Department.
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 - Roof access shall be provided internally, unless otherwise permitted by the Building Office.

Building -B

PLANT SCHEDULE

TREES	CODE	COMMON / BOTANICAL NAME	SIZE	CONTAINER	QTY
	EX	Existing Tree to Remain protect during construction	exist.	exist.	2
	CC	Texas Red Bud / Cercis canadensis parking lot tree: multi-trunk	CONT.	3"Cal	4
	DW2	Desert Willow / Chiosops linearis	CONT.	3"Cal	13
	IV	Yaupon Holly / Ilex vomitoria street tree	CONT.	3"Cal	7
	BRO	Burr Oak / Quercus macrocarpa parking lot	CONT.	3"Cal	4
	CE	Cedar Elm / Ulmus crassifolia parking lot	CONT.	3"Cal	4
SHRUBS	CODE	COMMON / BOTANICAL NAME	SIZE	QTY	
	GA	Glossy Abelia / Abelia grandiflora 30" o.c	5 gal	103	
	IN	Dwarf Yaupon / Ilex vomitoria 'Nana' 24" o.c.	3 gal	25	
GROUND COVERS	CODE	COMMON / BOTANICAL NAME	SIZE	QTY	
	CD	Bermuda Grass / Cynodon dactylon 'W 419'	sod	32,316 sf	

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PERMIT FOR THE LANDSCAPE PLANTING AND/OR FINISH GRADING, THE CONTRACTOR WARRANTS THAT THE FINAL GRADING AND WALL COMPLIES WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PLANTING AND MAINTAINING VEGETATION UNLESS OTHERWISE NOTED TO REMAIN.
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/- 1" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREAS AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN CURBS AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS. AREAS AND AREAS OF POTENTIAL PONDING SHALL BE REDESIGNED TO BLEND IN WITH THE SURROUNDING GRADES AND AREAS OF POSITIVE DRAINAGE.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, AND HOW TO ACCOMMODATE THE ROUGH GRADE PROVIDED. THE AMOUNT OF SOIL AMENDMENTS TO ADD TO EXISTING OR NEW SOIL SHALL BE DETERMINED BY THE LANDSCAPE CONTRACTOR AND THE FINISH GRADES TO BE ESTABLISHED.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MOW DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 1" AWAY FROM THE WALKS.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 1" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ANY OTHER INFORMATION, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE ENGRAMMATIC. ACTUAL LOCATIONS SHALL BE DERIVED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AGENCIES ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON THESE NOTES AND PLANS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THESE NOTES AND PLANS, THE LANDSCAPE CONTRACTOR SHALL CONSULT WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF ONE OF THE PLANTS IS UNAVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- THE CONTRACTOR SHALL AT A MINIMUM PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE TO INSPECT AND APPROVE OR REJECT ALL PLANTS DELIVERED TO THE JOBITE, REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	97,656 SF
LANDSCAPE AREA REQUIRED:	14,548 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	34,480 SF
STREET TREES	
WEST LUCAS RD. FRONTAGE LENGTH:	244 LF
STREET TREES REQUIRED:	22 TREES (1 PER 20 LF OF FRONTAGE)
TREES PROVIDED:	22 TREES
SHRUBS REQUIRED:	88 SHRUBS (8 PER 20 LF OF FRONTAGE)
SHRUBS PROVIDED:	98 SHRUBS
PARKING SCREENING	PROVIDED
PARKING PERIMETER	
TREES REQUIRED:	211 LF
TREES PROVIDED:	11 TREES (1 PER 20 LF OF FRONTAGE)
SHRUBS REQUIRED:	22 TREES
SHRUBS PROVIDED:	85 SHRUBS (8 PER 20 LF OF FRONTAGE)
SHRUBS PROVIDED:	98 SHRUBS
PARKING INTERIOR	
TOTAL SITE AREA:	20,896 SF
LANDSCAPE AREA REQUIRED:	1,672 SF (8% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	2,777 SF
TREES REQUIRED:	9 TREES (1 TREE /10 SPACES; 82 SPACES)
TREES PROVIDED:	9 TREES
LOADING AREA SCREENING	N/A

ROOT BARRIERS

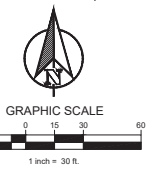
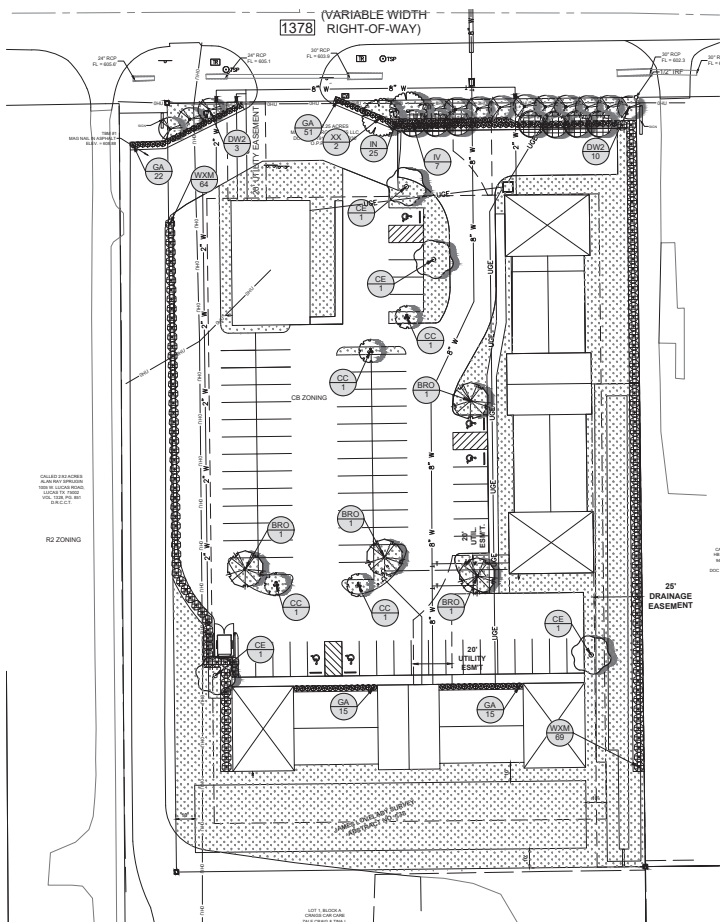
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDED WOOD MULCH, NATURAL HUNKED, OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

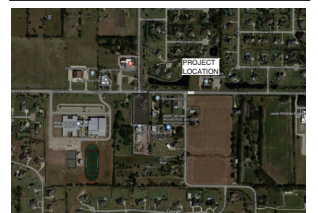
PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPROPRIATE MAINTENANCE OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.



ZONING CLASSIFICATION:
 CB (COMMERCIAL BUSINESS)

VICINITY MAP NOT TO SCALE



LANDSCAPE PLAN

OWNER:
 MAHMOUD PROPERTIES LLC
 844 ELGIN COURT,
 ROCKWALL, TX 75082

ENGINEER:
 ROC DESIGN ENGINEERS
 Texas Firm F-13744
 9101 N. LBJ FWY, SUITE 570
 Dallas, Texas 75243
 Phone 972.639.8375

LANDSCAPE ARCHITECT:
 EVERGREEN DESIGN GROUP
 15455 Dallas Pkwy., Ste 600
 Addison, TX 75001
 Phone 800.680.8630

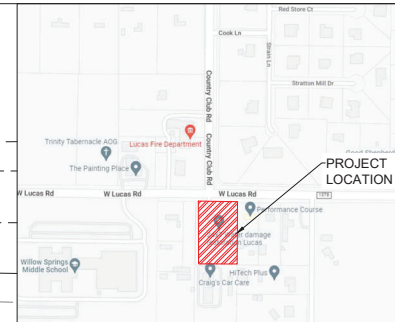
LUCAS COMMERCIAL CENTER
 Caled 2.25 Acres
 MAHMOUD PROPERTIES LLC
 DOC. # 20191009001265330
 O.P.R.C.C.T.

No.	Revision/Issue	Date

LANDSCAPE PLANTING
 (CB ZONING)

Issued Date:	5-30-22
Project No.:	22002
Drawn By:	ROC
Checked By:	MMK
Designed By:	ROC

Project:	220014	Sheet:	LP-1
Date:	10/13/22		
Scale:	1" = 30'-0"		



2 LOCATION MAP
 SCALE: NTS

LEGEND - SITE PLAN

---	PROPERTY LINE
- - - -	ADJACENT PROPERTY LINE
- - - -	BUILDING SETBACK
- - - -	EASEMENT
- - - -	FIRE LANE STRIPING
- - - -	PROPOSED WATER LINE
- - - -	PROPOSED SANITARY SEWER LINE
- - - -	PROPOSED STORM SEWER LINE
- - - -	EXISTING WATER LINE
- - - -	EXISTING SANITARY SEWER LINE
- - - -	EXISTING STORM SEWER LINE
- - - -	EXISTING GAS LINE
- - - -	EXISTING OVERHEAD ELECTRIC LINE
- - - -	EXISTING UNDERGROUND ELECTRIC LINE
- - - -	EXISTING UNDERGROUND TELEPHONE LINE
- - - -	EXISTING UNDERGROUND CABLE LINE
- - - -	PROPOSED FIRE LANE PAVEMENT
- - - -	PROPOSED SIDEWALK
- - - -	EXISTING ASPHALT PAVEMENT
○	EXISTING TREE TO REMAIN
●	PROPOSED FIRE HYDRANT
○	PROPOSED GATE VALVE
○	PROPOSED WATER METER
○	PROPOSED MANHOLE
○	EXISTING FIRE HYDRANT
○	EXISTING GATE VALVE
○	EXISTING WATER METER
○	EXISTING MANHOLE
○	EXISTING POWER POLE

SITE PLAN INFORMATION

Category	Required by Zoning Ordinance for "C2" Commercial Business	Provided
Lot Area	30,000 S.F.	97,666 S.F.
Lot Width	None	244.00 FL
Lot Depth	None	400.34 FL
Building Coverage	40% Max 39,096 S.F.	24.1% 23,563 S.F.
Front Setback	50 FL	52 FL
Side Setback	20 FL	30.50 FL
Rear Setback	25 FL	31.50 FL
Impervious Area	63,482 SF (65%)	59,574 SF (61%)
Landscape Area	10% 9,766 S.F.	24.4% 23,839 S.F.
Building Uses	Retail, Commercial, Offices	Offices
Building Heights	35' Max	1 Story - 21 FL 2 Story - 33.16 FL
Parking Spaces	1 per 300 S.F. of Gross Building Square Footage 82 Total Spaces	77 Standard Spaces 5 Handicap Spaces 82 Total Spaces

- CONSTRUCTION NOTES**
- BUILDING SILL ELEVATIONS AND SEWER INVERTS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
 - THE MINIMUM SLOPE FOR SANITARY SEWER LATERALS SHALL BE 0.010 FT/FT (8" LATERALS AT MINIMUM 1/4" LATERALS AT MINIMUM 2%).
 - PROGRESSION OF WORK IN GENERAL, WORK SHALL PROCEED FROM THE DOWNSTREAM END OF A SEWER LINE SEGMENT TO THE UPSTREAM END OF THE SEGMENT.
 - THE MAXIMUM LENGTH OF OPEN TRENCH SHALL BE LIMITED TO NO MORE THAN THREE PIPE LENGTHS IN A SEWER SEGMENT.
 - THE MINIMUM TRENCH WIDTH SHOULD BE NO LESS THAN 24 INCHES OR ONE FOOT GREATER THAN OUTSIDE DIAMETER OF THE PIPE, WHICHEVER IS GREATER.
 - THE MINIMUM DEPTH OF COVER ABOVE THE TOP OF PIPE FOR WATER LINE INSTALLATIONS SHALL BE 4 FEET.
 - WATER MAINS AND SERVICES' LOCATIONS SHOWN ARE APPROXIMATE AND ARE INDICATED FOR GENERAL REFERENCE ONLY UNLESS OTHERWISE NOTED.
 - ALL EXISTING UNDERGROUND FEATURES SUCH AS SEPTIC TANKS, LEACH FIELDS, SANITARY SEWERS, ETC. ARE APPROXIMATE ONLY AND ARE INDICATED FOR GENERAL REFERENCE AND DESIGN UNLESS OTHERWISE NOTED.
 - WORK IN PRIVATE PROPERTY: THE CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO BEGINNING WORK IN ANY PRIVATELY OWNED AREAS WHICH WILL REQUIRE EASEMENTS FOR CONSTRUCTION.

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBLES, SIGNALS, EXIT PORTALS, PREBUILT BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TOURS, SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL COORDINATE UTILITY POLE RELOCATION WITH THE UTILITY COMPANY.
 - CONCRETE AND FLEXBASE SECTION DESIGNS WILL SUPPORT TYPICAL FIRE APPARATUS LOADS.
 - PROPOSED DOMESTIC WATER AND FIRE FLOW WILL BE SUPPLIED BY CITY OF LUCAS.

SITE PLAN

OWNER:
 MAHMOUD PROPERTIES LLC
 844 ELGIN COURT,
 ROCKWALL, TX 75082

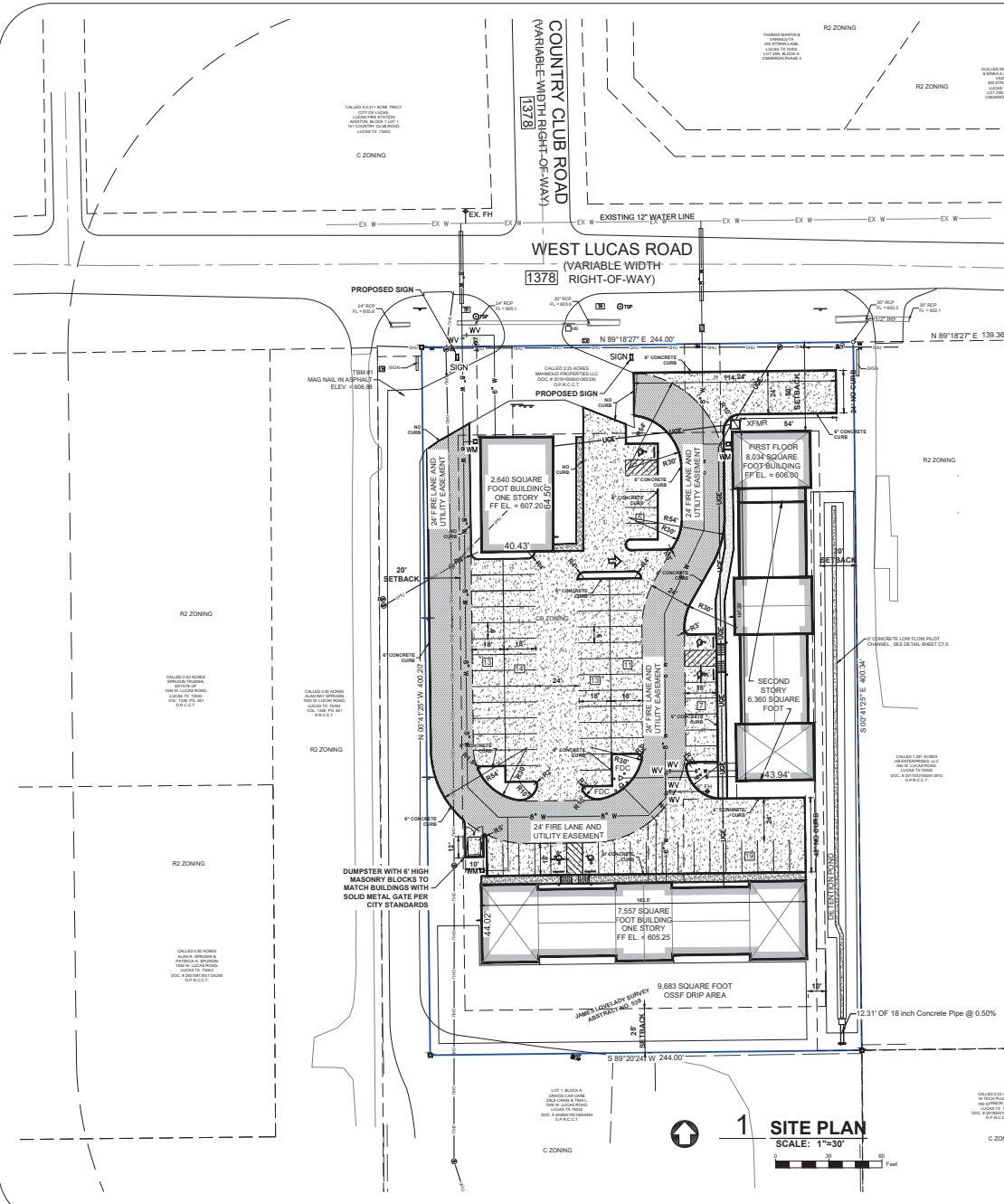
ENGINEER:
 ROC DESIGN ENGINEERS
 Texas Firm F-13744
 9101 N. LBJ FWY, SUITE 570
 Dallas, Texas 75243
 Phone 972.639.8375

LUCAS COMMERCIAL CENTER
 Called 2.25 Acres
 MAHMOUD PROPERTIES LLC
 DOC. # 20191009001265330
 O.P.R.C.T.



Issued Date:	01/30/23
Project No:	22014
Drawn By:	JPK
Checked By:	MAK
Employed By:	JPK

Project:	220014	Sheet:	
Date:	01/30/23		
Scale:	1" = 30'		



1 SITE PLAN
 SCALE: 1"=30'



Site Plan Minimum Requirements

Project Name Lucas Commercial Center **Preparer** Majed Khalaf

This checklist is provided to assist you in addressing the minimum requirements for Site Plan submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Indicate that all information is included on the submitted plans by checking the box next to the required information. Checking the box certifies to the City that you have completely and accurately addressed the issue. If not applicable, indicate an “N/A” next to the box. Return this completed form at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided directly on the plan and on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement/s.

Plans are expected to be submitted complete and accurate in all detail as shown by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes, depending on the amount/magnitude of changes or corrections needed. Please keep in mind that changes/additions to previously incomplete or inaccurate plans may generate additional comments at re-submittal of corrected Plans. Therefore, diligence to the initial submittal is paramount to expediting the review process.

Included

- Site boundary is indicated by a heavy solid line intermittent with 2 dash lines, dimensioned with bearings and distances; indicate and label lot lines, setback lines, and distance to the nearest cross street.
- Site location/vicinity map clearly showing the location of the subject property with cross streets is provided. Indicate scale or NTS and provide north arrow.
- A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.
- A written and bar scale is provided.
- A title block is in the lower right corner that includes large, boldly printed “SITE PLAN”, owner and engineer’s names, addresses and phone numbers, subdivision name, lot number/s, block number or letter, original submission date, and a log of resubmittal/revision dates since submitted to the City.
- Tree masses are clouded with accurate canopy widths shown to determine critical root zone where located within close proximity to existing or proposed pavement.
- Flood plain boundary is shown and indicates F.I.R.M. Community panel number and date, and flow line of drainage ways and creeks, as applicable.
- Existing topography lines are shown with a light dashed line and proposed contours are shown by a medium weight solid line. Topography is shown at minimum five (5) foot contours referenced to sea level city datum. Spot elevations and additional contours may be required in certain areas depending on topography.
- Accurately located, labeled and dimensioned footprint of proposed structure(s) is/are shown by a solid heavy line.

- Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.
- Accurately located and labeled footprint of structure(s) proposed for demolition is/are shown by a light dashed line. Structures to be demolished are clearly labeled/ identified.
- Accurately located footprint of nonresidential structure(s) on abutting properties is/are shown by a light, solid line.
- Adjacent property lines within 500 feet of the subject property lines are shown by a light dashed line.
- Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 500 feet of the property line is indicated.
- Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.
- Finished floor elevation of existing and/or proposed structures is referenced to sea level datum.
- Full width of streets and alley rights-of-way with centerlines and backs of curbs or paving edges within 200 feet of the property line are dimensioned and street name or use is labeled.
- Driveways within 200 feet of the property line:
 - Are accurately located and dimensioned.
 - Distances to the nearest on-site driveway and/or off-site driveway is accurately located and dimensioned as measured from the centerlines.
 - Distance to the nearest street is shown as measured from the end of curb-return radius of the adjacent street to the driveway centerline.
 - Typical radii are shown.
- Drive-thru lanes, menu board location, pick-up window/s, maneuvering area, stacking lanes and escape lanes are indicated and dimensioned.
- Sidewalks and barrier-free ramps (BFR) within 200 feet of and on the subject property are shown, dimensioned and labeled.
- Off-site streets and roads:
 - Existing and proposed roadways with medians and median openings adjacent to and within 200 feet of the project site are shown and dimensioned.
 - Medians, median openings with associated left- turn lanes, continuous left turn lanes, transition and stacking lengths are shown and dimensioned within 200 feet of the project site.
 - Existing, proposed, and required acceleration/deceleration lanes within 200 feet of the project site are shown dimensioned, stacking length indicated, and right-of-way dedication is indicated as applicable.
- All parking spaces are shown, group numbered, and typical dimensions are provided. Indicate required two-foot overhang, as applicable.
- Handicapped parking spaces and barrier-free access points are shown, dimensioned, and labeled.
- Loading and maneuvering areas are indicated, labeled, and dimensioned. Loading area screening method is indicated and labeled.
- Dumpster and/or compactor locations and screening methods are shown. Indicate screening materials and height for all sides. Screening material is to match structure façade with enclosure having solid metal gates. Specs and sketch available from staff.
- Paving materials, boundaries and type are indicated.
- Access easements are accurately located/ tied down, labeled and dimensioned.
- Off-site parking is shown and dimensioned from the off-site parking area to the structure or use as applicable. A parking easement or shared parking agreement is required and is provided in draft format.
- Fire lanes are shown and dimensioned at a minimum of 24 feet in width, with internal radii of not less than 20 feet. Label and use an approximate 20 percent shade for fire lanes to differentiate from other paving. Ensure that required labeling and dimensioning is readable through shading.

- Proposed dedications and reservations of land for public use including, but not limited to, rights-of-way, easements, park land, open space, drainage ways, floodplains and facility sites are accurately located, dimensioned and labeled.
- Screening walls are shown with dimensions and materials. An inset is provided that shows the wall details and column placement as applicable. Plans for masonry walls are to be signed and sealed by a structural engineer and approved by the City Engineer. Channeled or slip-panel/pre-cast walls are prohibited.
- The location of living screens are shown and labeled. Details of a living screen are provided on the Landscape Plan indicating plant species/name, height at planting, and spacing.
- A lighting plan that shows location by fixture type is included. A lighting data chart is used to reference fixture type (i.e. pole or wall pack), maximum height, those requiring shielding, those requiring skirting, wattage and foot-candles of each fixture. No lighting source (i.e. bulb, reflector, etc.) is allowed to be visible from an adjacent property or public street.
- Existing and proposed water and sanitary sewer lines, storm sewer pipe, with sizes, valves, fire hydrants, manholes, and other utility structures on-site or immediately adjacent to the site are shown and labeled.
- Boundaries of detention areas are located. Indicate above and/or below ground detention.
- Monument signage location is indicated. Details of construction materials and architecture are shown on required Building Elevation/Façade Plan. Color, type and texture are to match that of the building.
- Communication towers are shown and a fall distance/collapse zone is indicated.
- Provide Site Data Summary Table that references distinct numbers for each lot and all buildings (existing and proposed) that includes, where applicable:
 - Existing Zoning
 - Proposed use(s) for each structure
 - Total lot area less right-of-way dedications by square feet and acres
 - Square footage of building(s)
 - Building height (stories and feet)
 - Percent of lot coverage (building footprint square footage/lot square footage).
 - For apartment developments, number of living units broken down by number of bedrooms and minimum square footage for each dwelling unit.
 - Parking required by use with applicable parking ratios indicated for each use
 - Parking provided indicated
 - Handicap parking required as per Code of Ordinances and TAS/ADA requirements
 - List of exceptions and/or variance/s requested or previously granted, including dates and approving authority
- Improvements are proposed in TXDOT Right-of-Way and one (1) full set of civil engineering plans has been submitted to: Mohammad Khoshkar, TXDot Office, P.O.Box 90 McKinney, Texas 75069-0090, phone (972)547-2237



Architectural Plan Checklist

Project Name Lucas Commercial Center

Preparer Ahmed Dardary

This checklist is provided to assist you in addressing the minimum requirements for **Landscape Plan** submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Confirm that all information is included on the submitted plans by checking the box next to the required information.

Initialing the box certifies to the City that you have completely and accurately addressed the issue. This completed form must be returned at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approving body. Additional information may be required. Reference the specific requirement. All exception/modification requests must also be specifically listed on the plan/s.

Plans are expected to be submitted complete in all detail as included by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes.

- Elevations of all four sides labeled North, East, South, and West with the front elevation designated as such.
- Materials calculations table showing for each elevation
 - Total surface area of each elevation
 - List of materials (including glazing) with square footage of each material per elevation and percentage of each material per elevation
- Building dimensions (if multiple heights are used, provide dimension for each)
- Provide estimated allowable wall mounted signage size for each elevation.
- Add the following notes:
 - "This Façade Plan is for conceptual purposes only. All building plans require review and approval of the Building Inspection Department".
 - "All mechanical units shall be screened from public view"
 - "When permitted, exposed utility boxes and conduits shall be painted to match the building"
 - All signage areas and locations are subject to approval by the Building "Inspection Department"
 - "Roof access shall be provided internally, unless otherwise permitted by the Building Official"
- Cross sections of sight lines may be requested to verify screening of mechanical units.
- A sample board with a maximum size of 11" x 17" shall be provided with color and materials samples to correspond to the Façade Plan.
- Designate color and materials location on elevations.
- Additional information as requested by staff to clarify the proposed development and compliance with minimum development requirements.



Landscape Plan Checklist

Project Name Lucas Commercial Center

Preparer Rodney McNapp

This checklist is provided to assist you in addressing the minimum requirements for **Landscape Plan** submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Confirm that all information is included on the submitted plans by checking the box next to the required information. **Initialing each item certifies to the City that you have completely and accurately addressed the issue.** This completed form must be returned at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approving body. Additional information may be required. Reference the specific requirement. All exception/modification requests must also be specifically listed on the plan/s.

Plans are expected to be submitted complete in all detail as included by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes.

- Plans shall be to same scale as approved site plan.
- A minimum of 15% of the gross area must be landscaped.
- The area between the property line and the street shall be included in the landscape plan and shall be maintained by the abutting property owner.
- Heights of landscaping materials shall be such that they do not create safety hazards for vehicular traffic by block sight lines at ingress points.
- The specifications shall state the common names and scientific names (genus species), sizes, and quantity of all materials to be utilized.
- Property abutting a different zoning district must be screened by a living screen. Planting which serves as a living screen shall be evergreens with an initial minimum six-foot (6') height and provided a solid visual barrier within two (2) years after planting.
- Additional information as needed for clarity.

Lucas Code of Ordinances - Sec. 3.18.022 Minimum requirements

- The title block in the lower, right-hand corner containing the following: date, scale, site location map, north arrow, and the names, addresses, and telephone numbers of both the property owners and the person preparing the plan.
- The addition name, block and lot description along with business name placed in the title block in the lower right-hand corner of the plan.
- The property boundary dimensions of the site (bearings and distances).
- All existing and proposed public and private streets and sidewalks including street and sidewalk widths.
- All existing services: fire hydrants, water mains, and sewer mains within the tract and immediately adjacent to it with pipe size and location indicated.

- All proposed water and sanitary sewer pipe lines with sizes indicated and valves, fire hydrants, manholes, and other appurtenances or structures shown.
- All existing or proposed water, sewer and irrigation connections, meter location, and size of meters.
- All existing and proposed utility and visibility easements.
- All existing or proposed buildings on the property, existing structures, access points on and adjacent to the property.
- Existing and proposed contours of berms in intervals of one (1) foot.
- Detailed structural designs of entryway features.
- Screening walls and location, type and height of screening wall, either living or masonry. (Masonry screening walls must be designed by a professional engineer registered in the state. Proposed berming is to be delineated by one-foot contours.)
- The following additional information must be submitted on the landscape plan:
 - Tabulations of the landscape edge in linear feet. Give the street name and the amount of frontage.
 - Label streets.
 - The following information is to be provided on the landscape plan in a tabular format:
 - Indicate the trees/shrubs required and provided.
 - Indicate parking area trees required and provided.
 - Indicate the trees/shrubs required and provided for parking lot perimeter landscaping.
 - Indicate parking lot interior landscaping required and provided.
 - Indicate gross landscape square footage and percentage excluding the city right-of-way (i.e. the landscape provided within the landscape edge and within the interior of the lots).
 - Show graphically all plant material existing/proposed.
 - Distance of trees/shrubs from sidewalks, curbs, screening walls, and utilities (minimum five (5) feet).
 - Spacing between trees/shrubs (varies, check growth specifications).
- Complete description of plant materials shown on the plan, including common and botanical names, locations, quantities, container (five-gallon minimum for required shrubs) or caliper sizes (four-inch minimum caliper for required shade trees), heights, spread, and spacing.
- Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including information as to the amount (in square feet) of landscape area compared to gross site square footage. The city right-of-way shall not be included as part of the gross site landscaping.
- Size, height, location and material of any proposed seating, lighting, planters, sculptures, decorative paving, and water features.
- Landscape plans shall contain the certification and stamp of a landscape architect licensed in the state that such plans have been reviewed by such landscape architect and satisfy all requirements of this article.
- Irrigation plans shall contain the certification and stamp of an irrigator licensed by the state board of irrigators that such plans were prepared by such irrigator and satisfy all requirements of this article.
- Location of sprinkler heads, valves, double-check valves, water meter, automatic controller, rain and freeze sensor, wind sensor, moisture sensor or any control mechanic of whatever kind or make must be shown on all irrigation plans.
- Living screens are clearly detailed by fence material, plant material species, plant material spacing, height at time of planting and mature height. Where the Director of Planning feels that there are elevation or topographical differences that would not accomplish the intent of the screening, the Director may request more details.
- Public or private street names (including street suffixes and/or prefixes) and right-of-way (ROW) dimensions are indicated for all internal and external streets.

- All existing and proposed plant material is graphically shown; species and quantity for each grouping are labeled. A minimum of four different species is shown for each plant type and are distributed throughout the site.
- Distance of trees/shrubs from sidewalks, curbs, screening walls, and utilities is indicated. If less than five feet from paving, areas of impervious surface or utility lines, show dimension. Refer to Plant List for other exceptions to planting in paving areas.
- A full set of civil engineering drawings, also including the plat, site plan, and landscape plan have been submitted to TXU. Submit these drawings to: TXU Electric Delivery, Attn: Right-of-Way Department, 115 W. 7th Street, Ste. 725, Fort Worth, TX, 76102.
- I understand that the City requires an approval letter from TXU Electric Delivery prior to issuance of a building permit where landscaping, parking, or other improvement/s are proposed to encroach within any TXU/TP&L easement/s. TXU has stated a minimum of six weeks to process the review. Approved irrigation within a TXU transmission easement shall be limited to drip and soaker hose irrigation, with the valve for such located outside of the easement.
- Residential subdivisions are to have landscaping requirements (Indicate required planting ratio, square footage, linear footage, etc., including required and provided quantities) specifically listed in tabular format on plan for the following:
 - a) Landscape Buffer (along external street frontage-provide separate calculations for each street frontage).
 - b) Entryway Yard areas (located each side of subdivision entries) are provided for primary and secondary entryways.
 - c) Entryway Yard area Trees and Shrubs are provided.
 - d) Entryway Medians are shown and dimensioned.
 - e) Entryway Median Trees and Shrubs are provided.
 - f) Screening Wall plans are provided.



DEVELOPMENT APPLICATION
City of Lucas, Texas

NAME OF SUBDIVISION AND/OR PROJECT: Lucas Square

ITEM SUBMITTED	APPLICATION FEE
Site Plan \$300 + \$10 per acre (i.e. \$500 for a 20 acre site plan)	_____
Tree Survey/Conservation Plan	N/A
Tree Removal & Site Clearing Permit \$250	N/A
Architectural Plan \$250 + \$50 for any reviews or presentations of amended plans	_____
Landscape Plan \$200 + \$50 for any reviews or presentations of amended plans	_____
Park Site Dedication \$1,000 per lot or land dedication per Lucas City Ordinance Sec. 10.03.122	_____
TOTAL FEES SUBMITTED	_____

Collin County Appraisal District Short Account Number(s): _____

Physical Location of Property: 995 W. Lucas Rd. Lucas, TX
(Address and General Location – approximate distance to nearest existing street corner)

Brief Legal Description of Property (must also attach accurate metes and bounds description):

(Survey/Abstract No. and Tracts; or platted Subdivision Name with Lots/Block)

Acreage: 2.25 Existing # of Lots/Tracts: _____ Existing Zoning: Retail & Office

OWNER'S NAME: Mahmoud Properties LLC Contact Phone: 313-377-7015

Applicant/Contact Person: Saleh Mahmoud Title: President

Company Name: Mahmoud Properties LLC

Street/Mailing Address: 844 Elgin Ct.

City: Rockwall State: TX Zip code: 75032

Phone: (313) 377-7015 Fax: () Email Address: mahmoudpropertiesllc@gmail.com

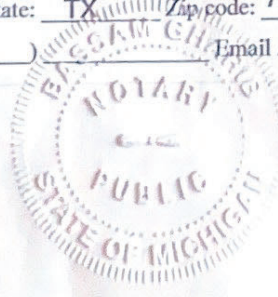
ENGINEER/REPRESENTATIVE'S NAME: Dardari Consulting & Remodeling, LLC.

Contact Person: Ahmed A. Dardari Title: General Contractor

Street/Mailing Address: 1537 Englewood Dr.

City: Rockwall State: TX Zip code: 75032

Phone: (469) 434-8625 Fax: () Email Address: amer.dardari@hotmail.com





NAME OF SUBDIVISION and/or PROJECT: Lucas Square

****READ BEFORE SIGNING BELOW:** If there is more than one property owner, complete a separate sheet with the same wording as below. The City requires all original signatures. If applicant is other than the property owner, a "Power of Attorney" with original, notarized signatures is required. (Notaries are available upon submittal)

ALL APPLICATIONS MUST BE COMPLETE, ACCOMPANIED BY THE APPLICABLE CHECKLIST AND TAX CERTIFICATE SHOWING TAXES PAID, BEFORE THEY WILL BE SCHEDULED FOR P&Z AGENDA. It is the applicant's responsibility to be familiar with, and to comply with, all City submittal requirements (in the Zoning & Subdivision Ordinances, and any separate submittal policies, requirements and/or checklists that may be required from City staff), including the number of plans to be submitted, application fees, etc. Please contact City staff in advance for submittal requirements. [Drawings will not be returned to applicant.]

ALL PARCELS/PROPERTIES MUST MATCH IN ACREAGE ALL OTHER DOCUMENTS SUBMITTED WITH NO AMBIGUITY. SUBMISSIONS: Failure to submit all materials to the City with this application will result in delays scheduling the agenda date.

NOTICE OF PUBLIC RECORDS. The submission of plans/drawings/etc. with this application makes such items public record, and the applicant understands that these items may be viewed by the general public. Unless the applicant expressly states otherwise in writing, submission of this application (with associated plans/drawings/etc.) will be considered consent by the applicant that the general public may view and/or reproduce (i.e., copy) such documents.

Applicant agrees to pay any and all monies due to the City including but not limited to park pro rata fee, Tree Removal Permit fee, 3% of construction cost (developer to provide contracts for verification) and including but not limited to other fees that may be required prior to final plat approval.

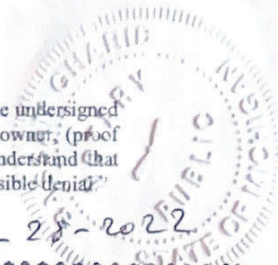
STATE OF ~~TEXAS~~ Michigan
COUNTY OF ~~COLLIN~~ Wayne

BEFORE ME, a Notary Public, on this day personally appeared SALEH MAHMOUD the undersigned who, under oath, stated the following: "I hereby certify that I am the owner, or duly authorized agent of the owner, (proof attached) for the purposes of this application; that all information submitted herein is true and correct. I understand that submitting this application does not constitute approval, and incomplete applications will result in delays and possible denial."

[Signature]
**Owner / Agent (circle one)

SUBSCRIBED AND SWORN TO before me, this the 28 day of June, 2022

Notary Public in and for the State of Texas: Michigan



6-28-2022
Bassam Ali Ghani
Notary Public of Michigan
Wayne County
Expires 01/01/2023
Acting in the County of Wayne

Official Use Only:	Action Taken
Planning & Zoning: _____	Date: _____
City Council: _____	Date: _____
Applicant Withdrew: Yes or No	Applicant Made a Written Withdrawal: Yes or No
	Date: _____

KCB Engineering, LLC

11303 Southwind Pl, Krum, TX 76249

(940) 368-6159

KCBEngineering@outlook.com

Roc Design Engineers
Attn: Majad Khalaf, P.E.
9101 LBJ Hwy Suite 570
Dallas, TX 75243

Collin County Health Dept.
Attn: OSSF Designated Representative
4690 Community Ave., Suite 200
McKinney, TX 76071

RE: Lucas Retail Center
995 W. Lucas Rd.
Lucas, TX 75002

October 28, 2022 rev 1-27-23

Gentlemen,

We have been asked to provide details and specifications for an On-Site Sewage Facility (OSSF) to be located at the above address. KCB Engineering, LLC has designed the OSSF for the above referenced property address sealed on October 28, 2022. The design is in compliance with the TCEQ chapter 285 requirements and standard accepted engineering practice.

This design requires a sewer line and a forced main to cross the fire lane and utility easement. Permission from the easement holder will be required prior to construction.

Due to the amount of development on the property, the OSSF has very limited options. The limitations are due to water lines, building sewer exits, detention pond and concrete paving to mention a few. The contractor should understand these limitations prior to construction commencing.


It is important that you understand the need to impress upon your management staff and tenants the need for good septic practices. This will reduce maintenance issues and costs for your company. These practices are listed on the following pages.

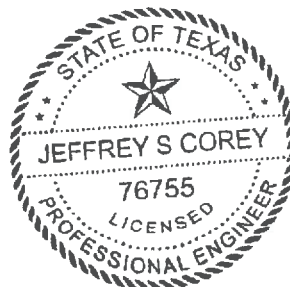
Once the system is in operation and has reached steady state, it is recommended that a BOD₅ be sampled. Based upon the results, the system may require additional adjustments.

You will need to apply for an OSSF construction and operating permit. Please submit the design packet and this letter along with the permit application to the Designated Representative for OSSF's at Collin County.

If you have any questions, please contact me.

Respectfully,


Jeffrey S. Corey, P.E.
Professional Engineer
TBPE #76755
Texas Firm # F-15507



KCB Engineering, LLC

11303 Southwind Pl, Krum, TX 76249

(940) 368-6159

KCBEngineering@outlook.com

On-Site Sewage Recommended Practices

- Know and abide by all state and any local requirements for wastewater quality, testing, and reporting.
- Inspect the system at specified intervals, usually once every 3 months, to check its operation and perform routine maintenance.
- Contract with a licensed professional company to perform inspections, wastewater tests, and reports completion and submission to local agencies.
- Keep records on the system performance and your service activities.
- Recognize the tasks that should be left to professionals to make sure that the job is performed correctly and that you do not subject the public to undue health risks.
- Keep other supplies, such as the permit/ as-built plans/specifications, governmental forms, and the system owner's manual.
- Keep on hand the proper disinfectant, such as wastewater chlorine tablets or liquid bleach, to add to the disinfection component. If you do not maintain the system properly, you could endanger human and environmental health, impair your wastewater system, and incur legal action. Because sewage can contain disease-causing microbes, wastewater is a public health concern. Environmental protection: The EPA has set national guidelines for management of onsite and wastewater treatment systems. The guidelines are posted on the Web at <http://cfpub.epa.gov/owm/septic/home.cfm>. System reliability: All system components from the plumbing fixtures in the home to the spray heads in the yard must be functional within expectations. By law, water that leaves your property, either through runoff or by seepage into the ground, must meet certain quality standards as demonstrated by laboratory tests. If your wastewater treatment system is not maintained properly, the water will not be treated enough, and you may be subject to fines.
- Your system can be affected by the amount, strength, and timing of the wastewater entering it. These devices, practices, and products can alter an aerobic system's performance:
- Water-saving devices reduce the amount of wastewater, but they also make it stronger, which can prevent the system from meeting the required effluent standards.
- Water-treatment devices with automatic back flushing add extra water into the system that can be avoided.
- Some water-conditioning units add chemicals into the effluent that can reduce the effectiveness of the biological and physical processes in an aerobic treatment unit. This wastewater stream may need to be plumbed around the treatment tanks to the pump tank.
- Condensate from air conditioning units is not sewage. Route it around the system. □ Commercial ice machines can also add large amounts of clear water.
- Laundry activities greatly affect your wastewater system: - Powdered detergent can plug cast-iron piping, and some soap contains forms of benzoate as filler. Keep these out of the system to improve its long-term performance. - Bleach additives can affect the biology of the septic tank and the rest of the system. Do not overuse bleach. - The amount of laundry done each day is also important. Spread out the loads over time to help the system perform at its best.
- In-home businesses can directly affect the system. Use for daycare increases the overall flow and can increase the use of antibacterial soaps. The system can also be affected by other small businesses that use chemicals, such as antique refinishing services, beauty shops, lawn care services, photo labs, dog grooming services, and taxidermy shops. Barbershops typically discharge large amounts of hair.
- Prescription antibiotics and drugs are extremely hard on the microbes in the system. Flushing them into the wastewater system increases the maintenance.
- Heavy use of bath and body oils can raise the fats, oils, and grease (FOG) values in the system. Removal or reduction of these can improve the performance of the system.

KCB Engineering, LLC

11303 Southwind Pl, Krum, TX 76249

(940) 368-6159

KCBEngineering@outlook.com

- A garbage disposal adds to the overall loading of the system in four ways: - More waste enters the treatment system. - Because the organic matter has not been digested, it takes longer to break down. - More water is used to rinse out the sink. - Smaller particles take longer to settle.
- Toxic drain cleaners kill the bacteria, resulting in a limited microbial activity in the tank and poor separating characteristics.
- Antibacterial soap also affects the biology of the tank.
- Liquid soap tends to be easily overused and may create problems in the system.
- Automatic cleaners (for toilets and showers) continually send chemicals into the system, which can cause long-term problems.
- Other cleaning products may also alter the treatment process. When choosing a cleaning product, first read the label: - Danger means that the chemical will kill the microbes; use it rarely or never. - Warning means that limited use should not affect the system much. - Caution typically means that the product will have little effect on the system.
- Areas used for effluent application must be seeded or sodded to provide vegetative cover. Effluent must not be applied to gardens or fruit orchards.
- Excessive amounts of toilet paper cause sludge to build up faster.
- Treated toilet paper, such as the type that contains lotion, does not settle well and forms a thick layer of scum at the top of the tank.
- Other paper products, such as wet wipes, should not enter the system.
- Flushable cleaning products, many wipes and toilet cleaning materials are labeled as “septic safe.” This statement typically refers to their ability to flow through the piping. These items will collect in the treatment system and increase the need for maintenance.
- Trash and non-digestible material increase the amount of maintenance required and may even shorten the life of the components. Examples are rags, toys, diapers, condoms, cat litter, plastic bags, coffee grounds, cigarette filters, and feminine hygiene products. Many of these items have neutral buoyancy and will pass through the treatment components. Cat litter and coffee grounds add to the sludge that must be pumped out during maintenance. Diapers must be removed individually.

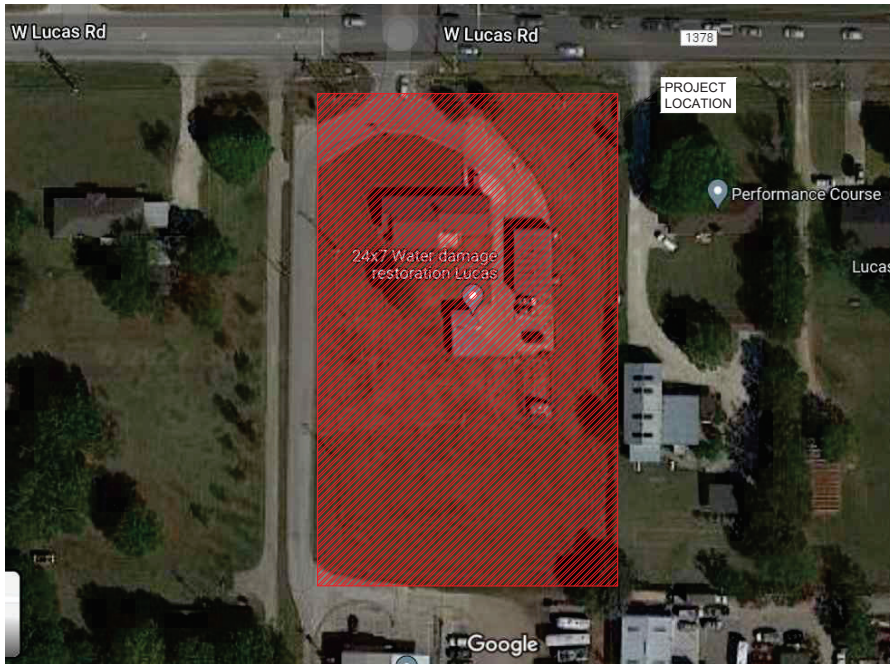
CONSTRUCTION DRAWINGS FOR

LUCAS COMMERCIAL CENTER

995 W. LUCAS ROAD, LUCAS, TX
JANUARY 2023

ROC CIVIL
ROC DESIGN ENGINEERS
 Superior Civil Engineering Service
 Texas Firm F-13744
 9101 N. LBJ FWY, SUITE 570
 Dallas, Texas 75243
 Phone 972.639.8375

LUCAS COMMERCIAL CENTER
 995 WEST LUCAS ROAD,
 LUCAS, TEXAS 75002



Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	SITE PLAN
C2.0	EROSION CONTROL PLAN
C3.0	EXISTING DRAINAGE AREA MAP
C3.1	PROPOSED DRAINAGE AREA MAP
C3.2	PROPOSED DETENTION PLAN AND PROFILE
C4.0	GRADING PLAN
C5.0	PAVING PLAN
C6.0	UTILITY PLAN
C7.0	SITE DETAILS
C7.1	SITE DETAILS
C7.2	SITE DETAILS

No.	Revision/Issue	Date



Issued Date: 01-30-23
 Project No: 22014
 Drawn By: JPK
 Checked By: MAX
 Designed By: JPK

Project	220014	Sheet	C0.0
Date	01/30/23	Scale	



2 LOCATION MAP
 C1.0 SCALE: NTS

SITE PLAN INFORMATION		
Category	Required by Zoning Ordinance for "C2" Commercial Business	Provided
Lot Area	30,000 S.F.	97,666 S.F.
Lot Width	None	244.00 FL
Lot Depth	None	400.34 FL
Building Coverage	40% Max 39,096 S.F.	24.1% 23,563 S.F.
Front Setback	50 Ft.	52 Ft.
Side Setback	20 Ft.	30.50 Ft.
Rear Setback	25 Ft.	31.50 Ft.
Impervious Area	63,482 SF (65%)	59,574 SF (61%)
Landscape Area	10% 9,766 S.F.	24.4% 23,839 S.F.
Building Uses	Retail, Commercial, Offices	Offices
Building Heights	35' Max	1 Story - 21 Ft. 2 Story - 27.25 Ft. 2 Story - 33.16 Ft.
Parking Spaces	1 per 300 S.F. of Gross Building Square Footage 82 Total Spaces	77 Standard Spaces 3 Handicap Spaces 82 Total Spaces

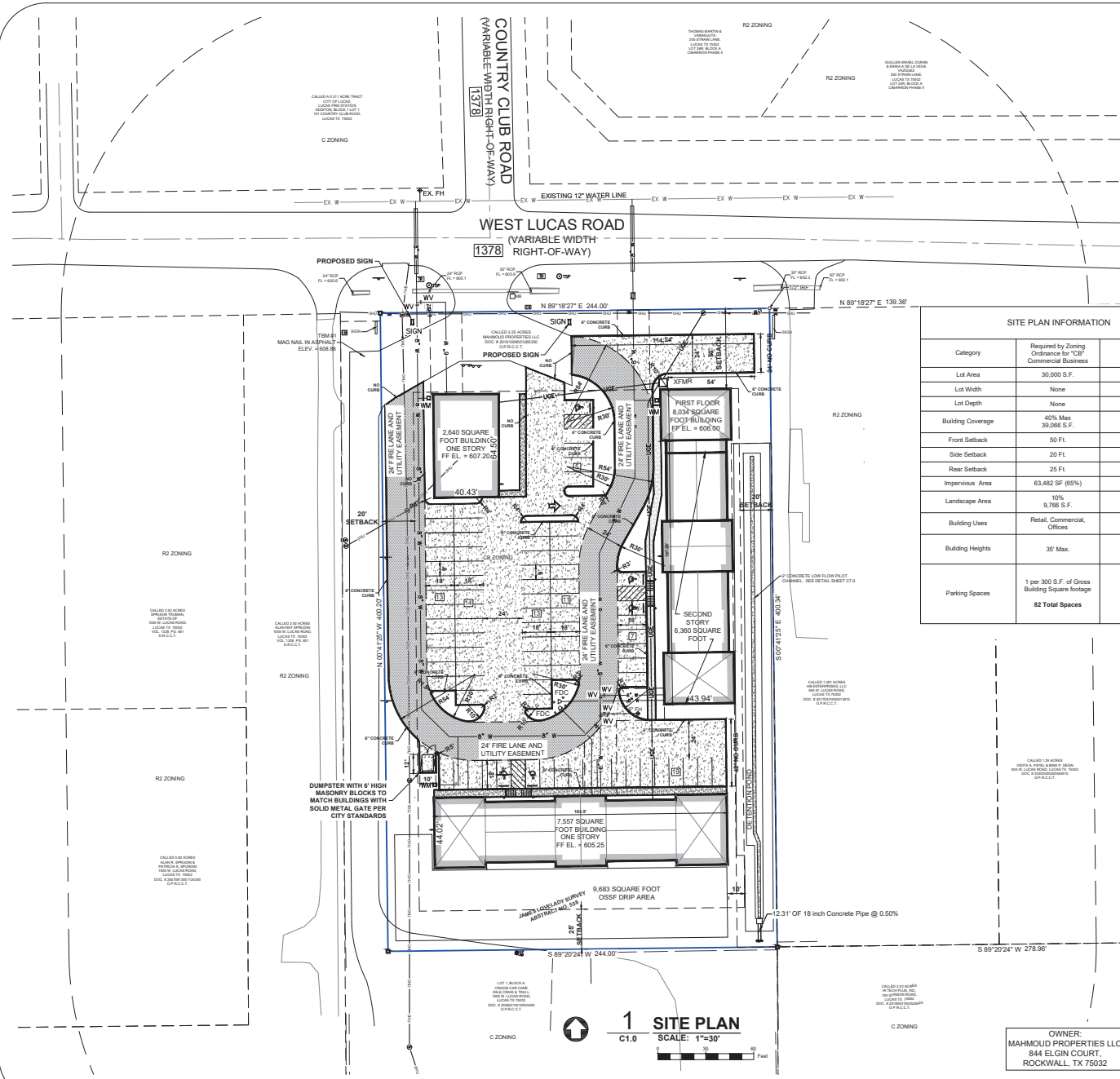
LEGEND - SITE PLAN	
---	PROPERTY LINE
- - - -	ADJACENT PROPERTY LINE
- - - -	BUILDING SETBACK EASEMENT
- - - -	FIRE LANE STRIPING
- - - -	PROPOSED WATER LINE
- - - -	PROPOSED SANITARY SEWER LINE
- - - -	PROPOSED STORM SEWER LINE
- - - -	EXISTING WATER LINE
- - - -	EXISTING SANITARY SEWER LINE
- - - -	EXISTING STORM SEWER LINE
- - - -	EXISTING GAS LINE
- - - -	EXISTING OVERHEAD ELECTRIC LINE
- - - -	EXISTING UNDERGROUND ELECTRIC LINE
- - - -	EXISTING UNDERGROUND TELEPHONE LINE
- - - -	EXISTING UNDERGROUND CABLE LINE
- - - -	PROPOSED CONCRETE PAVEMENT
- - - -	PROPOSED FIRE LANE PAVEMENT
- - - -	PROPOSED SIDEWALK
- - - -	EXISTING ASPHALT PAVEMENT
○	EXISTING TREE TO REMAIN
◆	PROPOSED FIRE HYDRANT
●	PROPOSED GATE VALVE
●	PROPOSED WATER METER
●	PROPOSED MANHOLE
●	EXISTING FIRE HYDRANT
●	EXISTING GATE VALVE
●	EXISTING WATER METER
●	EXISTING MANHOLE
●	EXISTING POWER POLE

CONSTRUCTION NOTES

- BUILDING SILL ELEVATIONS AND SEWER INVERTS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- THE MINIMUM SLOPE FOR SANITARY SEWER LATERALS SHALL BE 0.10 FT/FT (6" LATERALS AT MINIMUM 1%, 4" LATERALS AT MINIMUM 2%).
- PROGRESSION OF WORK IN GENERAL WORK SHALL PROCEED FROM THE DOWNSTREAM END OF A SEWER LINE SEGMENT TO THE UPSTREAM END OF THE SEGMENT.
- THE MAXIMUM LENGTH OF OPEN TRENCH SHALL BE LIMITED TO NO MORE THAN THREE PIPE LENGTHS IN A SEWER SEGMENT.
- THE MINIMUM TRENCH WIDTH SHOULD BE NO LESS THAN 24 INCHES OR ONE FOOT GREATER THAN OUTSIDE DIAMETER OF THE PIPE, WHICHEVER IS GREATER.
- THE MINIMUM DEPTH OF COVER ABOVE THE TOP OF PIPE FOR WATER LINE INSTALLATIONS SHALL BE 4 FEET.
- WATER MAINS AND SERVICES: LOCATIONS SHOWN ARE APPROXIMATE AND ARE INDICATED FOR GENERAL REFERENCE ONLY UNLESS OTHERWISE NOTED.
- ALL EXISTING UNDERGROUND FEATURES SUCH AS SEPTIC TANKS, LEACH FIELDS, SANITARY SEWERS, ETC. ARE APPROXIMATE ONLY AND ARE INDICATED FOR GENERAL REFERENCE AND DESIGN UNLESS OTHERWISE NOTED.
- WORK IN PRIVATE PROPERTY: THE CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO BEGINNING WORK IN ANY PRIVATELY OWNED AREAS WHICH WILL REQUIRE EASEMENTS FOR CONSTRUCTION.

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SIDEWALKS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS, POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL COORDINATE UTILITY POLE RELOCATION WITH THE UTILITY COMPANY.
- CONCRETE AND FLEXBASE SECTION DESIGNS WILL SUPPORT TYPICAL FIRE APPARATUS LOADS.
- PROPOSED DOMESTIC WATER AND FIRE FLOW WILL BE SUPPLIED BY CITY OF LUCAS.



1 SITE PLAN
 C1.0 SCALE: 1"=30'

OWNER:
 MAHMOUD PROPERTIES LLC
 844 ELGIN COURT.
 ROCKWALL, TX 75082

LUCAS COMMERCIAL CENTER

995 WEST LUCAS ROAD,
 LUCAS, TEXAS 75002

No.	Revision/Issue	Date



Issued Date:	01/30/23
Project No.:	22014
Drawn By:	JPK
Checked By:	MAK
Employed By:	JPK

Project:	22014	Sheet:	C1.0
Date:	01/30/23	Scale:	1" = 30'

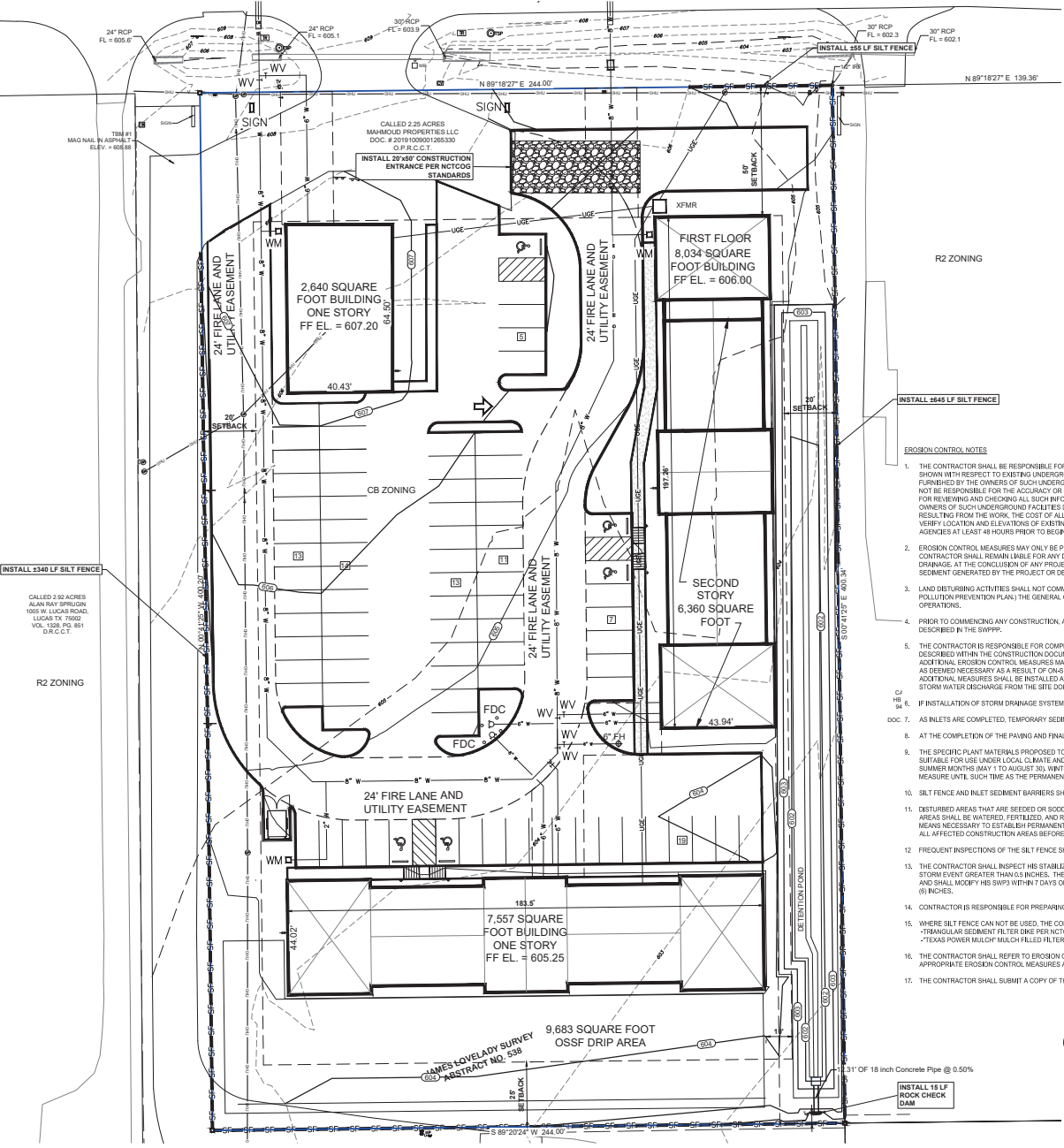
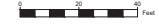
LEGEND - EROSION CONTROL PLAN

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	BUILDING SETBACK
---	EASEMENT
---	PROPOSED WATER LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED STORM SEWER LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER LINE
---	EXISTING STORM SEWER LINE
---	EXISTING GAS LINE
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND TELEPHONE LINE
---	EXISTING UNDERGROUND CABLE LINE
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED ASPHALT PAVEMENT
---	PROPOSED SIDEWALK
---	EXISTING CONCRETE PAVEMENT
---	EXISTING ASPHALT PAVEMENT
---	EXISTING TREE TO REMAIN
---	PROPOSED FIRE HYDRANT
---	PROPOSED GATE VALVE
---	PROPOSED WATER METER
---	PROPOSED MANHOLE
---	EXISTING FIRE HYDRANT
---	EXISTING GATE VALVE
---	EXISTING WATER METER
---	EXISTING MANHOLE
---	EXISTING POWER POLE
---	SEDIMENT CONTROL BARRIER
---	STABILIZED CONSTRUCTION ENTRANCE
---	ROCK CHECK DAM
---	INLET PROTECTION

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATING. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON THE INFORMATION AND DATA FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPEARANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA. FOR LOCATING ALL UNDERGROUND FACILITIES, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THEREO RESULTING FROM THE WORK, THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
2. EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS, OR IN CHANNELS, DRAINAGEWAYS OR BORROW DITCHES AT RISK OF CONTRACTOR. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGEWAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE CRODGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.
3. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES, INCLUDING STORM WATER POLLUTION PREVENTION PLAN. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE APPROVED TPDES SWPPP DRAWINGS DURING CONSTRUCTION OPERATIONS.
4. PRIOR TO COMMENCING ANY CONSTRUCTION, A CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS SHOWN, OR AS DESCRIBED IN THE SWPPP.
5. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. THE EROSION CONTROL SYSTEM DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS SHOULD BE CONSIDERED TO REPRESENT THE MINIMUM ACCEPTABLE STANDARDS FOR THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDANT UPON THE STAGE OF CONSTRUCTION, THE SEVERITY OF THE RAINFALL EVEN AND/OR AS DETERMINED NECESSARY AS A RESULT OF ON-SITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES OR THE JURISDICTIONAL AUTHORITIES. THESE ADDITIONAL MEASURES SHALL BE INSTALLED AT NO ADDITIONAL COST TO THE OWNER. IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO ASSURE THAT THE STORM WATER DISCHARGE FROM THE SITE DOES NOT EXCEED THE TOLERANCES ESTABLISHED BY ANY OF THE JURISDICTIONAL AUTHORITIES.
6. IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
7. AS INLETS ARE COMPLETED, TEMPORARY SEDIMENT BARRIERS SHALL BE INSTALLED.
8. AT THE COMPLETION OF THE PAVING AND FINAL GRADING, THE DISTURBED AREA(S) SHALL BE REVEGETATED IN ACCORDANCE WITH THE SWPPP.
9. THE SPECIFIC PLANT MATERIALS PROPOSED TO PROTECT FILL AND EXCAVATED SLOPES SHALL BE AS INDICATED WITHIN THE SWPPP. PLANT MATERIALS MUST BE SUITABLE FOR USE UNDER LOCAL CLIMATE AND SOIL CONDITIONS. IN GENERAL, HYDROSEEDING OR SEEDING BERMAUDA GRASS IS ACCEPTABLE DURING THE SUMMER MONTHS (MAY 1 TO AUGUST 30). WINTER RYE OR FESCUE GRASS MAY BE PLANTED DURING TIMES OTHER THAN THE SUMMER MONTHS AS A TEMPORARY MEASURE UNTIL SUCH TIME AS THE PERMANENT PLANTING CAN BE MADE.
10. SILT FENCE AND INLET SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL REVEGETATION HAS BEEN COMPLETED.
11. DISTURBED AREAS THAT ARE SEEDED OR SODDED SHALL BE CHECKED PERIODICALLY TO SEE THAT GRASS COVERAGE IS PROPERLY MAINTAINED. DISTURBED AREAS SHALL BE WATERED, FERTILIZED, AND RESEEDED OR RESODDED, IF NECESSARY. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. CONTRACTOR SHOULD ATTAIN A 75% BERMAUDA COVERING BY SEEDING OR SODDING COVER ALL AFFECTED CONSTRUCTION AREAS BEFORE EROSION CONTROL CAN BE REMOVED.
12. FREQUENT INSPECTIONS OF THE SILT FENCE SHALL BE MADE. ALL REPAIRS OR REPLACEMENTS SHALL BE MADE IMMEDIATELY.
13. THE CONTRACTOR SHALL INSPECT HIS STABILIZATION AND EROSION CONTROL MEASURES AT A MINIMUM OF ONCE EVERY 14 DAYS, AND WITHIN 24 HOURS OF ANY STORM EVENT GREATER THAN 1/8 INCHES. THE CONTRACTOR SHALL REPAIR BACKLOGGED REVEALED BY THE INSPECTION BEFORE THE NEXT STORM EVENT AND SHALL MODIFY HIS SWPP WITHIN 7 DAYS OF THE INSPECTION. ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF WHEN IT REACHES A DEPTH OF SIX (6) INCHES.
14. CONTRACTOR IS RESPONSIBLE FOR PREPARING, FILING, & MAINTAINING THE SWPPP & THE NOI.
15. WHERE SILT FENCE CAN NOT BE USED, THE CONTRACTOR MAY SUBSTITUTE WITH THE FOLLOWING:
 - TRIANGULAR SEDIMENT TRAP PER NCTCOG SPEC 105A
 - TEXAS POWER MULCH FILLER FILTER SOCK
16. THE CONTRACTOR SHALL REFER TO EROSION CONTROL NARRATIVE AND SWPPP COORDINATION/INVESTIGATION DOCUMENTATION PROVIDED BY OTHERS FOR APPROPRIATE EROSION CONTROL MEASURES AND PROCEDURES FOR THIS PROJECT.
17. THE CONTRACTOR SHALL SUBMIT A COPY OF THE SWPPP TO THE CITY PRIOR TO CONSTRUCTION.

1 EROSION CONTROL PLAN
 SCALE: 1"=20'



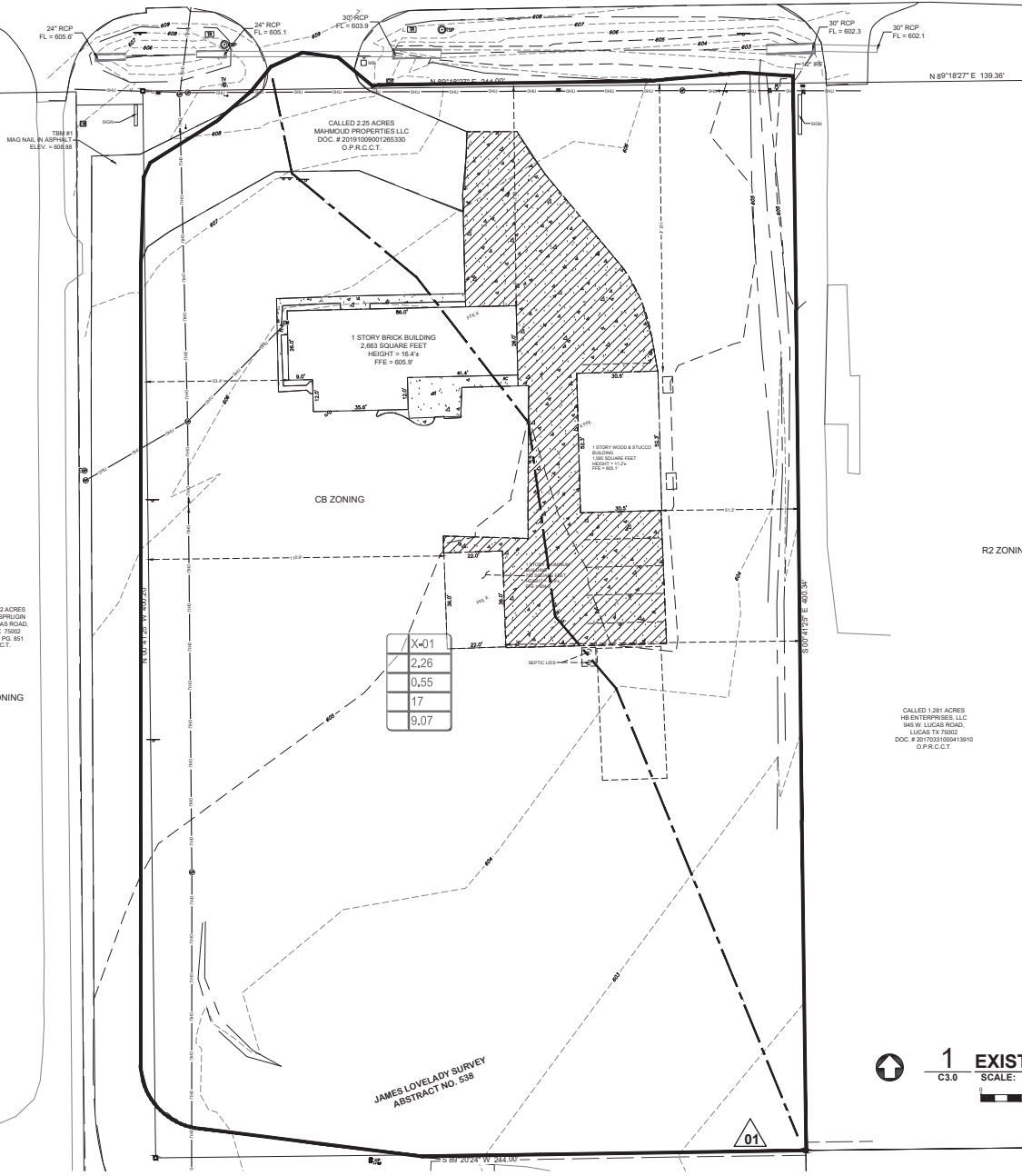
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No.	Revision/Issue	Date

Professional Engineer Seal for MAILED A. KHANAL, No. 6762, State of Texas. Date: 01/30/2023.

Issued Date:	01/30/2023
Project No.:	220014
Drawn By:	JPK
Checked By:	MAK
Designed By:	JPK

Project:	220014	Sheet:	C2.0
Date:	01/30/23	Scale:	1" = 20'



Duration min	Rainfall Intensity (in/hr) by Storm Frequency (Years)					
	2-year	5-year	10-year	25-year	50-year	100-year
5	0.083	5.94	7.24	8.29	9.72	10.90
10	0.167	4.76	5.80	6.65	7.80	8.68
15	0.25	3.95	4.80	5.50	6.44	7.14
30	0.5	2.75	3.33	3.81	4.45	4.93
60	1	1.79	2.18	2.50	2.93	3.26
120	2	1.11	1.37	1.59	1.88	2.11
180	3	0.826	1.03	1.20	1.44	1.62
360	6	0.594	0.720	0.728	0.882	1.00
720	12	0.291	0.366	0.431	0.522	0.595
1440	24	0.171	0.215	0.253	0.307	0.355

NOAA ATLAS 14 RAINFALL INTENSITIES
(TABLE 1 - LUCAS DRAINAGE DESIGN MANUAL)

FAA Formula Tc Worksheet

$T_c = 1.48(1.1 - C) \times \text{Flow length}^{0.5} / \text{Watercourse slope}^{0.333}$
 Hyd. No. 1
 X-01
 Description
 Flow length (ft) = 485.00
 Watercourse slope (%) = 1.17
 Runoff coefficient (C) = 0.15
 Time of Conc. (min) = 11

DESIGN FLOW (QD) BY RATIONAL METHOD, EXISTING						
LOCATION	DESIGN STORM FREQUENCY (YEARS)	TIME OF CONCENTRATION (MIN)	INTENSITY, I (IN/HR)	DRAINAGE AREA, A (ACRES)	RUNOFF COEFFICIENT, C	DESIGN FLOW, Q _D = CIA (CFS)
R2 ZONING	1	2	3.73	2.26	0.55	4.64
	1	5	4.51	2.26	0.55	5.61
	1	10	5.16	2.26	0.55	6.41
	1	25	6.02	2.26	0.55	7.48
	1	100	7.30	2.26	0.55	9.07

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 Texas Firm F-13744
 9101 N. LBJ FWY, SUITE 570
 Dallas, Texas 75243
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LUCAS COMMERCIAL CENTER
995 WEST LUCAS ROAD,
LUCAS, TEXAS 75002

No.	Revision/Issue	Date

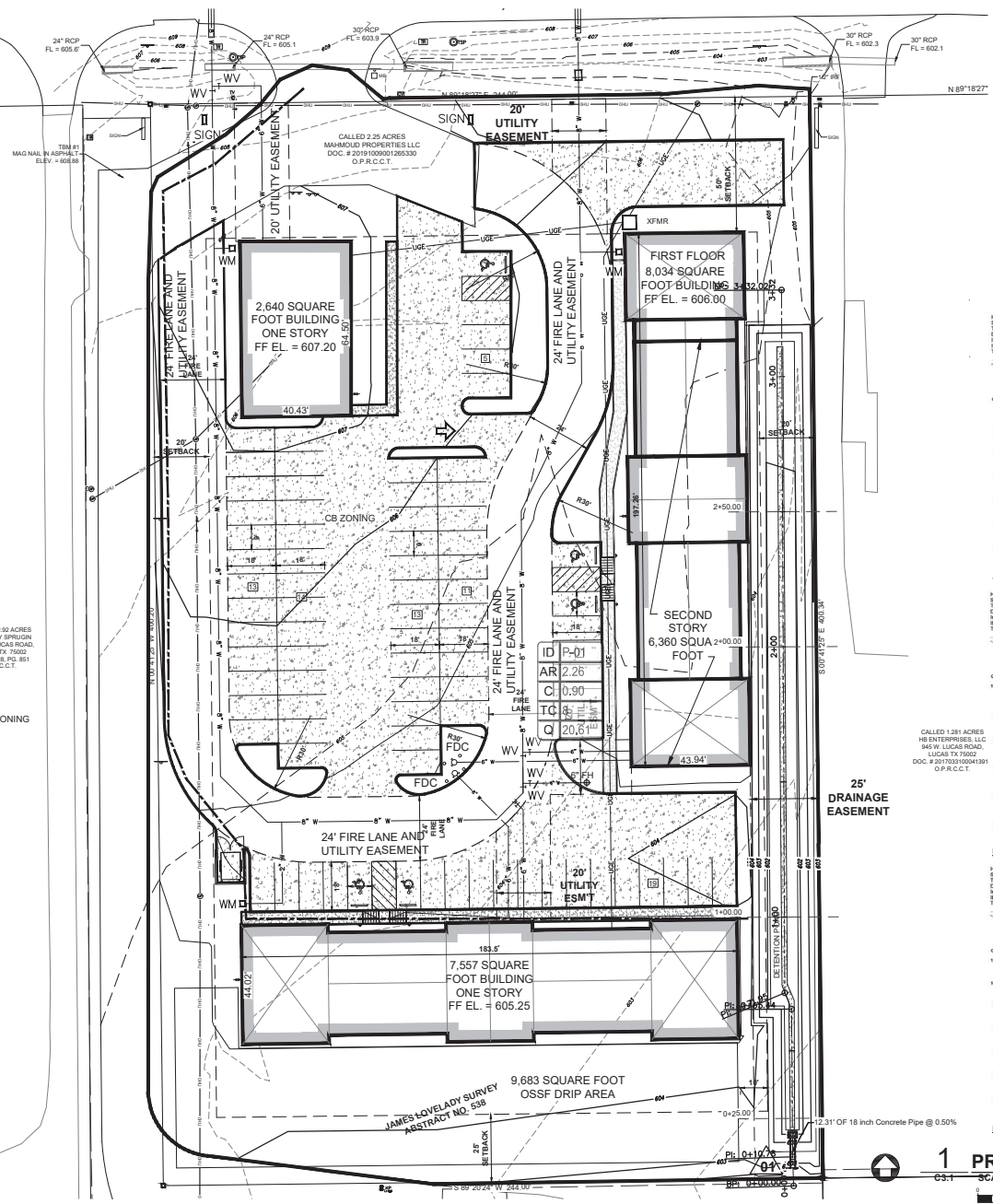
Professional Engineer Seal for **MAJED A. KHALAF**, License No. 67626, dated 01/30/2023.

Issued Date: 01/30/23
 Project No: 220014
 Drawn By: JPK
 Checked By: MAX
 Design By: JPK

Project: 220014 Sheet: **C3.0**
 Date: 01/30/23
 Scale: 1" = 30'

1 EXISTING DRAINAGE PLAN
 SCALE: 1"=20'
 0 20 40 Feet

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FAA Formula Tc Worksheet

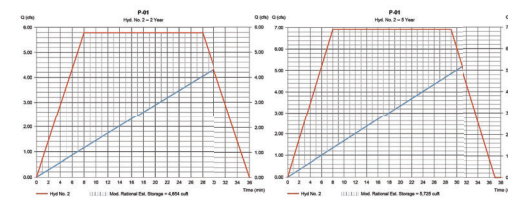
Tc = 1.8(1.1 - C) / Q Flow length 0.51 Watercourse slope 0.333
 Hyd. No. 2
 P-01
 Description
 Flow length (ft) = 529.00
 Watercourse slope (%) = 1.16
 Runoff coefficient (C) = 0.90
 Time of Conc. (min) = 8

DESIGN FLOW (QD) BY RATIONAL METHOD, PROPOSED

LOCATION	DESIGN STORM FREQUENCY (YEARS)	TIME OF CONCENTRATION (MIN)	INTENSITY, I (IN/HR)	DRAINAGE AREA, A (ACRES)	RUNOFF COEFFICIENT, C	DESIGN FLOW, Qd = CIA (CFS)
1	2	8	5.13	2.26	0.9	10.44
1	5	8	6.23	2.26	0.9	12.66
1	10	8	7.13	2.26	0.9	14.50
1	25	8	8.34	2.26	0.9	16.96
1	100	8	10.15	2.26	0.9	20.64

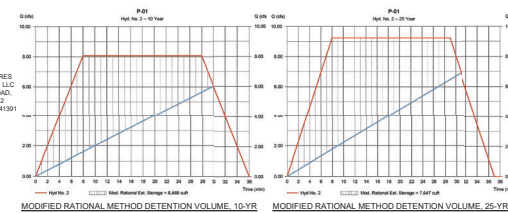
Hydrograph type = Mod. Rational Peak discharge = 6.758 cfs
 Storm frequency = 2 yrs Time to peak = 8.245 min
 Time interval = 1 min Peak volume = 8.572 cu ft
 Drainage area = 2.260 ac Runoff coeff = 0.90
 Intensity = 5.248 in/hr To 1st A.A. = 5.52 in/hr
 IDF Curve = NOAA_NWS_W_LUCAS_IDP Storm duration = 5.52 in/hr
 Target Q = 4.622 cfs Est. Res'd Storage = 4.654 cu ft

Hydrograph type = Mod. Rational Peak discharge = 8.342 cfs
 Storm frequency = 5 yrs Time to peak = 8.245 min
 Time interval = 1 min Peak volume = 10.500 cu ft
 Drainage area = 2.260 ac Runoff coeff = 0.90
 Intensity = 7.128 in/hr To 1st A.A. = 7.52 in/hr
 IDF Curve = NOAA_NWS_W_LUCAS_IDP Storm duration = 7.52 in/hr
 Target Q = 6.825 cfs Est. Res'd Storage = 6.722 cu ft



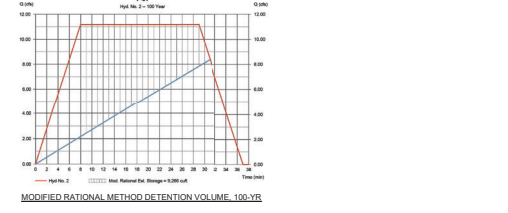
MODIFIED RATIONAL METHOD DETENTION VOLUME: 2-YR
 Hydrograph type = Mod. Rational Peak discharge = 6.758 cfs
 Storm frequency = 2 yrs Time to peak = 8.245 min
 Time interval = 1 min Peak volume = 8.572 cu ft
 Drainage area = 2.260 ac Runoff coeff = 0.90
 Intensity = 5.248 in/hr To 1st A.A. = 5.52 in/hr
 IDF Curve = NOAA_NWS_W_LUCAS_IDP Storm duration = 5.52 in/hr
 Target Q = 4.622 cfs Est. Res'd Storage = 4.654 cu ft

MODIFIED RATIONAL METHOD DETENTION VOLUME: 5-YR
 Hydrograph type = Mod. Rational Peak discharge = 8.342 cfs
 Storm frequency = 5 yrs Time to peak = 8.245 min
 Time interval = 1 min Peak volume = 10.500 cu ft
 Drainage area = 2.260 ac Runoff coeff = 0.90
 Intensity = 7.128 in/hr To 1st A.A. = 7.52 in/hr
 IDF Curve = NOAA_NWS_W_LUCAS_IDP Storm duration = 7.52 in/hr
 Target Q = 6.825 cfs Est. Res'd Storage = 6.722 cu ft



MODIFIED RATIONAL METHOD DETENTION VOLUME: 10-YR
 Hydrograph type = Mod. Rational Peak discharge = 8.342 cfs
 Storm frequency = 10 yrs Time to peak = 8.245 min
 Time interval = 1 min Peak volume = 10.500 cu ft
 Drainage area = 2.260 ac Runoff coeff = 0.90
 Intensity = 7.128 in/hr To 1st A.A. = 7.52 in/hr
 IDF Curve = NOAA_NWS_W_LUCAS_IDP Storm duration = 7.52 in/hr
 Target Q = 6.825 cfs Est. Res'd Storage = 6.722 cu ft

MODIFIED RATIONAL METHOD DETENTION VOLUME: 25-YR
 Hydrograph type = Mod. Rational Peak discharge = 10.150 cfs
 Storm frequency = 25 yrs Time to peak = 8.245 min
 Time interval = 1 min Peak volume = 12.810 cu ft
 Drainage area = 2.260 ac Runoff coeff = 0.90
 Intensity = 8.334 in/hr To 1st A.A. = 8.75 in/hr
 IDF Curve = NOAA_NWS_W_LUCAS_IDP Storm duration = 8.75 in/hr
 Target Q = 8.034 cfs Est. Res'd Storage = 7.947 cu ft



MODIFIED RATIONAL METHOD DETENTION VOLUME: 100-YR
 Hydrograph type = Mod. Rational Peak discharge = 10.150 cfs
 Storm frequency = 100 yrs Time to peak = 8.245 min
 Time interval = 1 min Peak volume = 12.810 cu ft
 Drainage area = 2.260 ac Runoff coeff = 0.90
 Intensity = 8.334 in/hr To 1st A.A. = 8.75 in/hr
 IDF Curve = NOAA_NWS_W_LUCAS_IDP Storm duration = 8.75 in/hr
 Target Q = 8.034 cfs Est. Res'd Storage = 7.947 cu ft

1 PROPOSED DRAINAGE PLAN
 SCALE: 1"=20'

ROC CIVIL
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LUCAS COMMERCIAL CENTER
 995 WEST LUCAS ROAD,
 LUCAS, TEXAS 75002

No.	Revision/Issue	Date

1/30/2023

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 Checked By: MAX
 Designed By: JPK

Project: 220014 Sheet:
 Date: 01/30/23
 Scale: 1" = 30' **C3.1**

No.	Revision/Issue	Date



Issued Date:	01-30-23
Project No.:	220014
Drawn By:	JPK
Checked By:	MAX
Designed By:	JPK

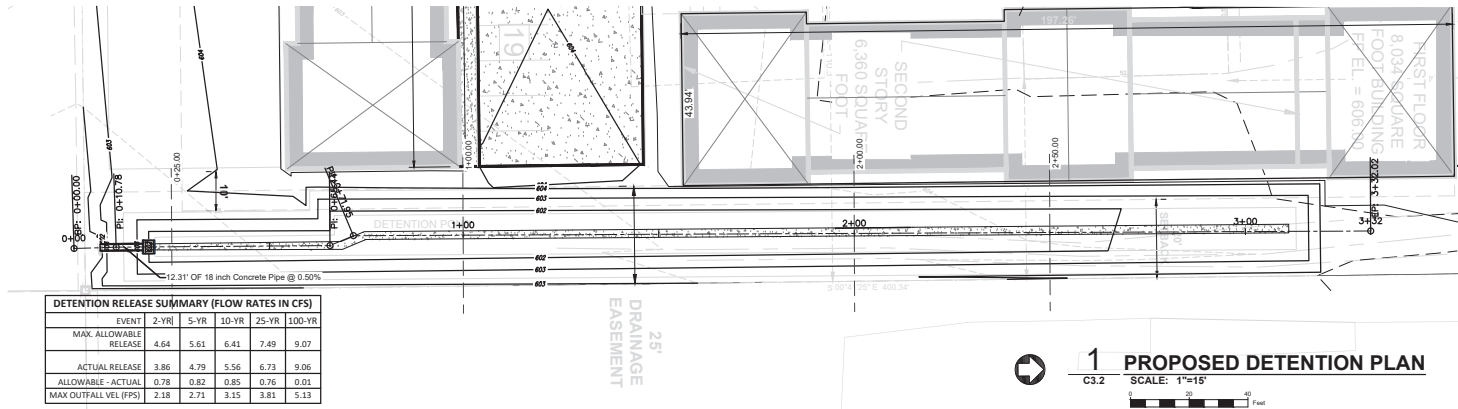
Project:	220014	Sheet:	C3.2	
Date:	01/30/23	Scale:		1" = 30'
Scale:	1" = 30'			

Detention Stage / Storage / Discharge			
Stage (ft)	Elev. (ft)	Storage (cf)	Discharge (cfs)
0.00	601.60	0.0	0.00
0.10	601.70	9.8	0.00
0.20	601.80	73.3	0.00
0.60	602.20	1,067.0	0.26
0.80	602.40	1,827.0	0.93
1.00	602.60	2,665.0	1.84
1.20	602.80	3,579.0	2.92
1.40	603.00	4,568.0	4.17
1.60	603.20	5,633.0	5.55
1.80	603.40	6,813.0	7.44
2.00	603.60	7,993.0	10.66
2.20	603.80	9,288.0	14.66

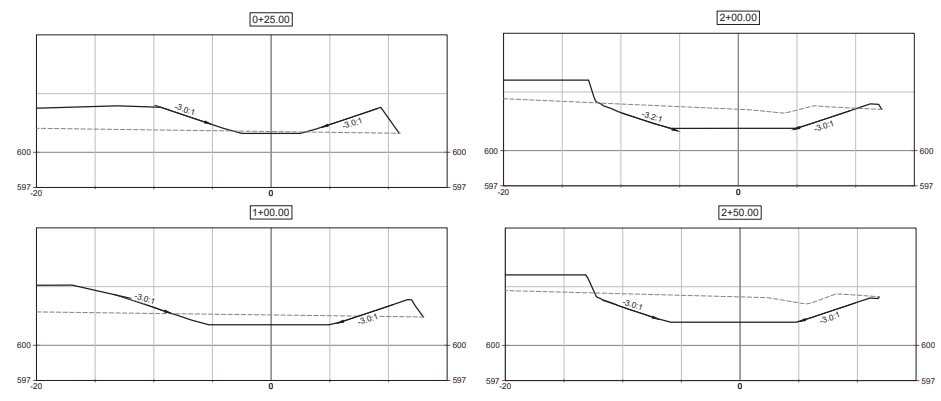
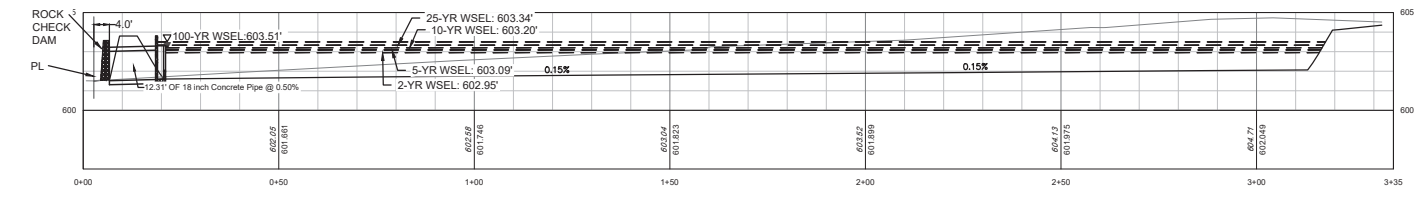
EQUATIONS USED FOR DISCHARGE CALCULATIONS:

(A) Rectangular Weir Flow Equation:
 $Q = CWH^3$
 where:
 Q = Weir discharge, cubic feet per second
 C = Weir coefficient
 L = Horizontal length, feet
 H = Head on weir, feet

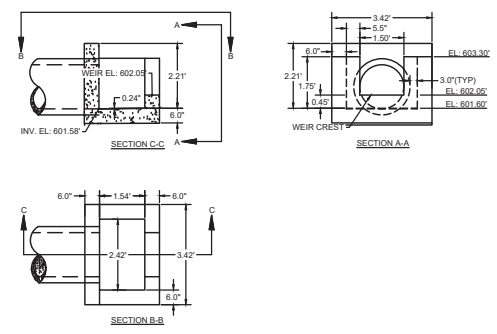
(C) Orifice Flow Equation:
 $Q = C_o A \sqrt{2gh}$
 where:
 Q = Orifice flow, cubic feet per second
 C_o = Orifice coefficient (see table)
 A = Orifice Area, square feet
 g = Gravitational constant, 32.2 feet/sec²
 H = Head on orifice measured from centerline, feet



EVENT	2-YR	5-YR	10-YR	25-YR	100-YR
MAX ALLOWABLE RELEASE	4.64	5.61	6.41	7.49	9.07
ACTUAL RELEASE	3.86	4.79	5.56	6.73	9.06
ALLOWABLE - ACTUAL	0.78	0.82	0.85	0.76	0.01
MAX OUTFALL VEL (FPS)	2.18	2.71	3.15	3.81	5.13



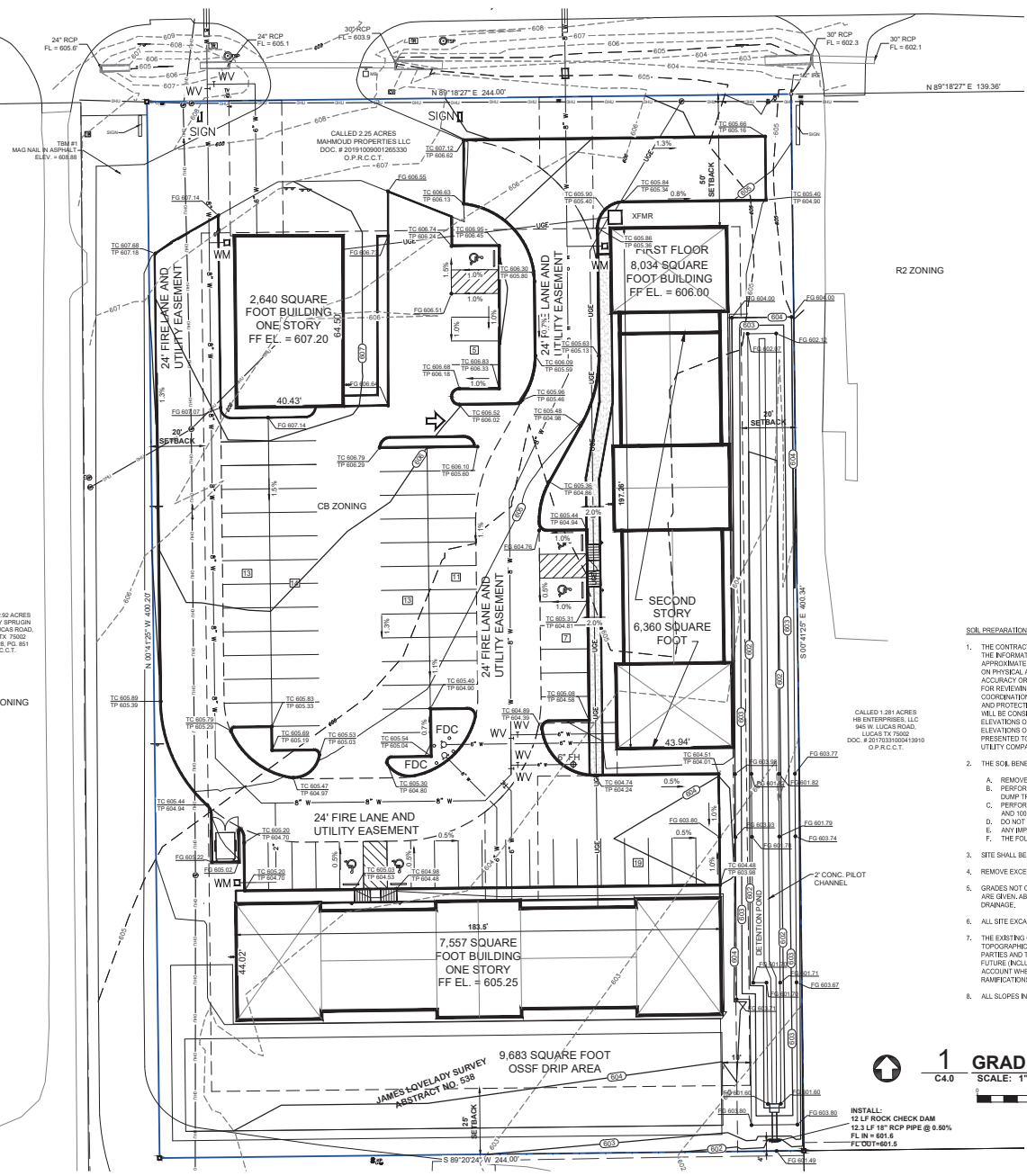
3 PROPOSED DETENTION X-SECTIONS
 C3.2 SCALE: 1"=5'



NOTE: CONCRETE SHALL BE 4,000-PSI CONCRETE W/ #4 REBAR 24" O.C.E.W.

4 PROPOSED OUTLET STRUCTURE
 C3.2 SCALE: 1"=2'

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LEGEND - GRADING PLAN

---	PROPERTY LINE
- - - -	ADJACENT PROPERTY LINE
---	BUILDING SETBACK
---	EASEMENT
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
---	PROPOSED WATER LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED STORM SEWER LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER LINE
---	EXISTING STORM SEWER LINE
---	EXISTING GAS LINE
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND TELEPHONE LINE
---	EXISTING UNDERGROUND CABLE LINE
---	ACCESSIBLE ROUTE
---	EXISTING ASPHALT PAVEMENT
---	EXISTING TREE TO REMAIN
+	PROPOSED FIRE HYDRANT
+	PROPOSED GATE VALVE
+	PROPOSED WATER METER
+	PROPOSED MANHOLE
+	EXISTING FIRE HYDRANT
+	EXISTING GATE VALVE
+	EXISTING WATER METER
+	EXISTING MANHOLE
+	EXISTING POWER POLE
+	TOP OF SIDEWALK ELEVATION
+	TOP OF PAVEMENT ELEVATION
+	TOP OF WALL ELEVATION
+	FRESH GRADE ELEVATION
+	TOP OF GRATE ELEVATION (INLET)
+	FLOW LINE ELEVATION
+	MATCH EXISTING ELEVATION
+	FLOW ARROW
+	EXISTING PAVEMENT
+	FINISHED FLOOR
+	FINISHED FLOOR ELEVATION

I, MAJED A. KHALAF, certify that the proposed excavation or fill will have no adverse impact to the drainage on, from, or through adjacent properties.

- SOIL PREPARATION AND GRADING NOTES**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATING, THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON THE INFORMATION AND DATA FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPEARANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA. FOR LOCATING ALL UNDERGROUND FACILITIES, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THEREO RESULTING FROM THE WORK, THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR COSTS INCURRED BY PROCEEDING WITH ELEVATIONS OF EXISTING UTILITIES THAT DIFFER FROM THOSE PRESENTED ON THESE PLANS. DISCREPANCIES SHALL BE PRESENTED TO THE ENGINEER FOR REVIEW PRIOR TO PROCEEDING WITH WORK. CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES, AGENCIES AND/OR ENGINEER AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
 - THE SOIL BENEATH THE PAVEMENT SHALL BE TREATED AS FOLLOWS:
 - REMOVE ALL VEGETATION, ORGANIC MATERIAL OR OTHER DELETERIOUS MATERIALS.
 - PERFORM ANY CUT OPERATIONS AS NEEDED AND PROOF ROLL THE PAVEMENT AREAS WITH A FULLY LOADED TANDEN AXLE DAMP TRUCK. ANY AREAS WHICH RUT EXCESSIVELY OR RAMP SHALL BE UNDERCUT AND REPLACED WITH COMPACTED FILL.
 - PERFORM ALL FILL OPERATIONS. ALL FILL SHALL BE INSTALLED IN MAXIMUM 8 INCH LIFTS AND COMPACTED BETWEEN 95% AND 100% OF STANDARD PROCTOR AT A MOISTURE CONTENT AT OR ABOVE OPTIMUM.
 - DO NOT USE ANY SAND AS FILL UNDER THE PAVEMENT.
 - ANY IMPORTED FILL SHALL BE SIMILAR TO THE ON SITE SOILS AND APPROVED BY EKON CONSULTING GROUP.
 - THE FOLLOWING TESTS SHALL BE RUN PER 500 SQUARE FEET OR 300 LINEAR FEET: DENSITY AND MOISTURE CONTROL.
 - SITE SHALL BE GRADED TO ASSURE DRAINAGE OF SURFACE WATER FROM BUILDINGS.
 - REMOVE EXCESS SPOIL FROM THE SITE AND LEGALLY DEPOSE OF THE SOILS.
 - GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
 - ALL SITE EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED EXCAVATION.
 - THE EXISTING GRADES AND CONTOURS SHOWN IN THESE PLANS REPRESENT THE ELEVATIONS AS INDICATED ON THE TOPOGRAPHIC SURVEY, DUE TO MANY FACTORS INCLUDING POSSIBLE DISTURBANCE OF THE SOIL OR BENCH MARKS BY OTHER PARTIES AND THE EXPANSIVE/SHRINKAGE NATURE OF THE SOIL, THE ELEVATIONS MAY BE SIGNIFICANTLY OFFERENT IN THE FUTURE (INCLUDING THE BENCH MARKS). NORMAL EQUIPMENT AND MEASUREMENT ACCURACIES SHOULD BE TAKEN INTO ACCOUNT WHEN USING THESE ELEVATIONS. REFER TO THE GEOTECHNICAL INVESTIGATION FOR THE GEOTECHNICAL RAMIFICATIONS.
 - ALL SLOPES IN UNPAVED AREAS SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

1 GRADING PLAN
SCALE: 1"=20'



ROC DESIGN ENGINEERS
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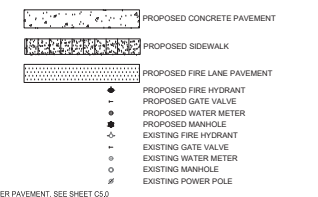
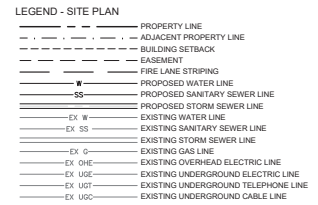
LUCAS COMMERCIAL CENTER
995 WEST LUCAS ROAD,
LUCAS, TEXAS 75002

No.	Revision/Issue	Date



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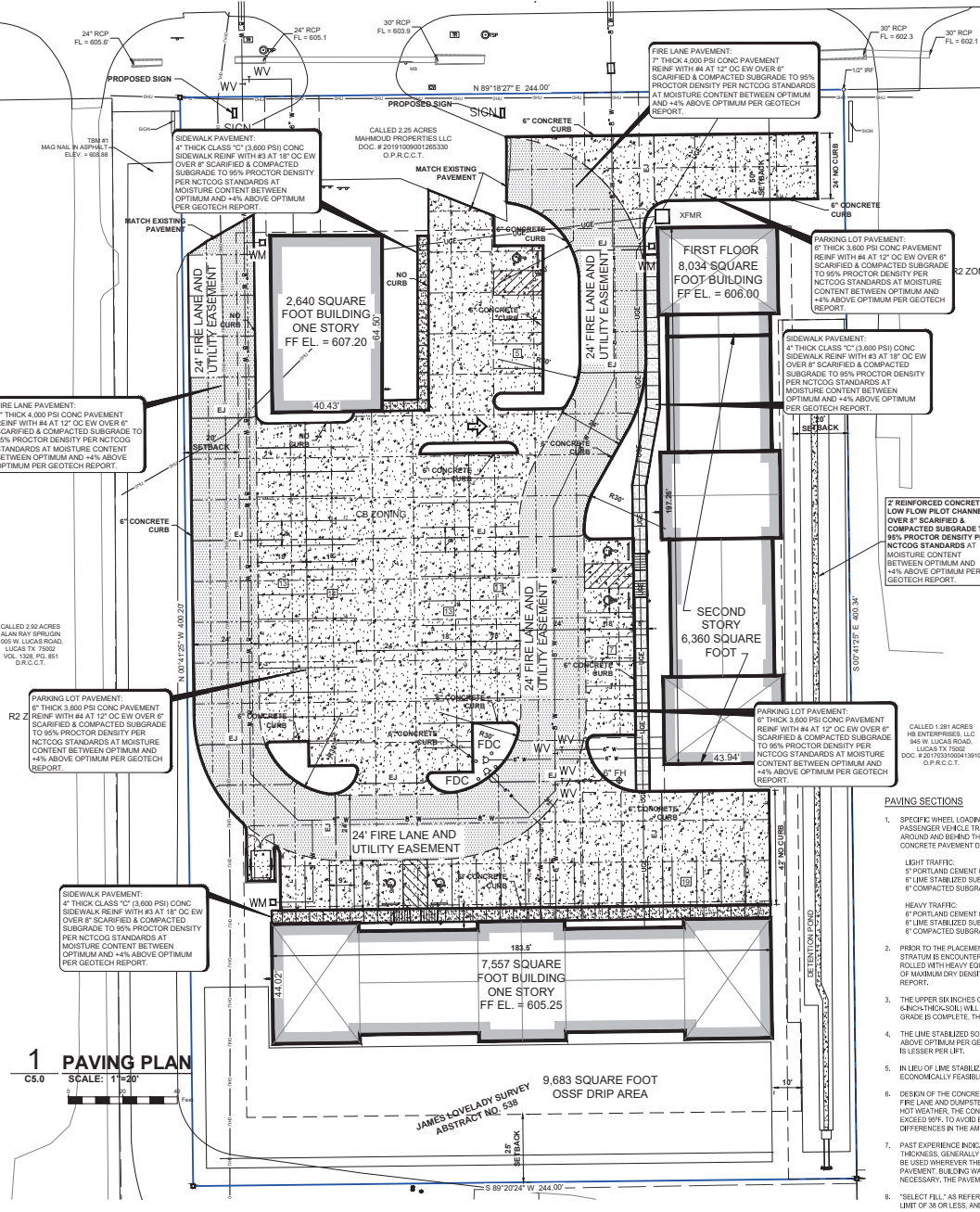


PAVING NOTES

- FOR SOIL PREPARATION SPECIFICATIONS UNDER PAVEMENT, SEE SHEET C12.
- CONCRETE FOR THE CONCRETE PAVEMENT SHALL HAVE A 28 DAY DESIGN COMPRESSIVE STRENGTH OF 4,000 PSI. A MINIMUM OF 6 SACKS OF PORTLAND CEMENT PER CUBIC YARD, 20% MAXIMUM CLASS C FLYASH, 4% TO 6% AIR CONTENT USING AIR ENTRAINING AGENT AS REQUIRED, MID RANGE WATER REDUCING AGENT AND 1.5" SLUMP.
- CONCRETE FOR PRIVATE SIDEWALKS, CURBS AND GUTTERS AND DRAINAGE STRUCTURES SHALL HAVE A 28 DAY DESIGN COMPRESSIVE STRENGTH OF 3,000 PSI. A MINIMUM OF 5.5 SACKS OF CEMENT PER CUBIC YARD, 4% TO 6% AIR CONTENT USING AIR ENTRAINING AGENT AS REQUIRED, 20% CLASS C FLYASH A 5/8-INCH SLUMP. REFER TO CITY OF LUCAS AND/OR NCTCOG STANDARD SPECIFICATIONS FOR ALL PRIVATE IMPROVEMENTS.
- THE MID RANGE WATER REDUCING AGENT ADMIXTURE CONFORMING TO ASTM C-494, TYPE A OR D SHALL BE CHOSEN FROM ONE OF THE FOLLOWING (OR APPROVED EQUAL):
 ELUCON K-20 OR ELUCON BR BY EUCLD
 SAKRAMENT N BY SNA
 PLASTIMAR MR BY PROMIX TECHNOLOGIES
 MRA 85 BY W.R.GRACE AND CO.
 FOL-THRED 100 BY DESSAUS ADMIXTURES
 THE AMOUNT OF MID RANGE WATER REDUCER SHALL BE AS RECOMMENDED BY THE ADMIXTURE SUPPLIER TO INCREASE THE SLUMP OF THE CONCRETE BY 50 PERCENT OVER THE SLUMP WITHOUT THE ADMIXTURE. THE SLUMP GIVEN IN THE CONCRETE NOTES ARE AT THE POINT OF DISCHARGE.
- IF THE AIR TEMPERATURE IS GREATER THAN 90 DEGREES WITHIN 24 HOURS AFTER PLACEMENT, HOT WEATHER CONCRETE PROCEDURES SHALL BE USED. THE CONTRACTOR SHALL SUBMIT A PROCEDURE TO THE ENGINEER FOR APPROVAL. THESE PROCEDURES MAY INCLUDE THE FOLLOWING:
 A. PLACING THE CONCRETE IN THE EARLY MORNING HOURS
 B. THE USE OF EVAPORATION REDUCER (SEE BELOW)
 C. THE USE OF MISTS AS A CURING METHOD
 D. THE USE OF WET BLANKETS AS A CURING METHOD
 E. THE USE OF A RETARDING ADMIXTURE (NOT PREFERRED)
- ANY CONCRETE TO BE PLACED FURTHER THAN 15 FEET FROM THE END OF A CONCRETE TRUCK SHALL BE PUMPED WITH A COMMERCIAL CONCRETE PUMPING TRUCK OR OTHER PLACEMENT METHOD APPROVED BY THE ENGINEER. THE CONCRETE TRUCK SHALL NOT BE ALLOWED TO DRIVE OVER THE SUBGRADE OR THE PAVEMENT REINFORCEMENT UNLESS APPROVED BY THE ENGINEER.
- REINFORCING STEEL SHALL BE NEW DOMESTIC REINFORCED BILLET STEEL, CONFORMING TO A.S.T.M. A-615, GRADE 60.
- REINFORCING BARS, BAR SUPPORTS, AND SPACERS SHALL BE DETAIL AND PROVIDED IN ACCORDANCE WITH THE A.C.I. DETAILING MANUAL. CHAIRS SHALL NOT BE PLACED FURTHER THAN 4 FEET APART. BAR SUPPORTS SHALL BE DANTON/ROMKO PRODUCTS (900-745-3703) OR EQUAL.
- AT CONCRETE PLACEMENT, CONCRETE THICKNESS MINUS 1/2 INCHES MIN. TYPE #1, OR TYPE #2 MASTER BLDG/CONFLM OR EUCOGAR EVAPORATION REDUCERS SHALL BE USED AFTER EACH FINISHING OPERATION ON THE CAST-IN-PLACE CONCRETE PAVEMENT UNLESS PRIOR APPROVAL FROM THE ENGINEER HAS BEEN OBTAINED TO NOT USE THE PRODUCT.
- SAW CUTS IN CONCRETE PAVEMENT SHALL BE MADE AS SOON AS THE CONCRETE IS OF SUFFICIENT STRENGTH TO SAW WITHOUT RAVELLING THE AGGREGATE. ANY TIME LAPSE GREATER THAN 8 HOURS AFTER PLACING THE CONCRETE SHALL BE PERMITTED ONLY IF APPROVED BY THE ENGINEER.
- NO PIPING OR CONDUITS SHALL BE INSTALLED IN ANY CONCRETE WITHOUT THE APPROVAL OF THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE, CONSTRUCT AND MAINTAIN BARRICADES AND SIGNS IN ACCORDANCE WITH THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- SAW CUTS SHALL HAVE A MAXIMUM SPACING OF 15' EACH WAY.
- EXPANSION JOINTS SHALL BE SMOOTH DOWEL JOINTS WITH THE PAVEMENT THICKNESS INCREASED BY 25%. ONE END OF DOWELS TO BE GREASED AND CAPPED AND USE 1" EXPANSION JOINT MATERIAL AT THE JOINT. REDWOOD OR OTHER RIGID MATERIAL SHOULD BE AVOIDED.
- ALL EXPANSION JOINTS MUST BE SEALED WITH A BUTYLMUMS JOINT SEALANT OR APPROVED EQUAL.
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ACCURE ALL NECESSARY PERMITS FROM THE CITY OF LUCAS BEFORE CONSTRUCTION WITHIN CITY RIGHT-OF-WAY.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- GREASE TRAPS, MANHOLES, AND VALVE COVERS IN PAVED AREAS SHALL BE TRAFFIC BEARING AND RIM ELEVATIONS SHALL MATCH FINAL PAVING ELEVATION.

PAVING SECTIONS

- SPECIFIC WHEEL LOADING AND TRAFFIC VOLUME CHARACTERISTICS WERE NOT AVAILABLE AT THE TIME OF THIS INVESTIGATION. HOWEVER, WE HAVE ASSUMED THAT LIGHT PASSENGER VEHICLE TRAFFIC WILL BE MOST PREDOMINANT IN THE PARKING AREAS AND THE RELATIVELY HEAVIER FIRE TRUCK TRAFFIC WILL OCCUR IN THE DRIVE AREAS AREA AROUND AND BEHIND THE STRUCTURE. AND IN THE FIRE LANE. BASED ON ASSUMED LOADING CONDITIONS, WE HAVE DEVELOPED THE FOLLOWING PORTLAND CEMENT CONCRETE PAVEMENT DESIGN SECTIONS FOR USE AT THIS SITE:
 LIGHT TRAFFIC:
 6" PORTLAND CEMENT CONCRETE
 6" LIME STABILIZED SUBGRADE SOILS
 6" COMPACTED SUBGRADE SOILS
 HEAVY TRAFFIC:
 6" PORTLAND CEMENT CONCRETE
 6" LIME STABILIZED SUBGRADE SOILS
 6" COMPACTED SUBGRADE SOILS
- PRIOR TO THE PLACEMENT OF ANY FILL IN THE PAVEMENT AREA, WE RECOMMEND ALL EXISTING VEGETATION, DEBRIS AND LOOSE SOILS SHOULD BE REMOVED UNTIL HARD STRATUM IS ENCOUNTERED. EXISTING UTILITY LINES SHOULD EITHER BE CAPPED ON BOTH SIDES OR REMOVED COMPLETELY. THE EXPOSED SURFACE SHOULD THEN BE ROLLER ROLLED WITH HEAVY EQUIPMENT. THE EXPOSED SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF 6 INCHES, WATER AS REQUIRED AND COMPACTED TO 95 AND 100 PERCENT OF MAXIMUM DRY DENSITY AS DENSED BY ASTM D 1556 (STANDARD PROCTOR TEST) AT MOISTURE CONTENT BETWEEN OPTIMUM AND +4% ABOVE OPTIMUM PER GEOTECH REPORT.
- THE UPPER SIX INCHES OF SUBGRADE SOILS SHOULD THEN BE STABILIZED WITH LIME, BASED ON APPROXIMATELY 10 PERCENT OF HYDRATED LIME (44 LBS/SYD FOR 6000-FIN) WHICH WILL BE REQUIRED TO STABILIZE THE SUBGRADE SOILS TO REDUCE THE PLASTICITY INDEX TO 5 OR LESS. IF SHOULD BE NOTED THAT AFTER THE FINAL GRADE IS COMPLETE, THE ACTUAL AMOUNT OF LIME REQUIRED SHOULD BE CALCULATED BY LIME SERIES TEST IN THE LABORATORY.
- THE LIME STABILIZED SOILS SHOULD BE COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY WITH THE MOISTURE CONTENT BETWEEN OPTIMUM AND 4 POINTS ABOVE OPTIMUM PER GEOTECH REPORT. FIELD DENSITY TESTS SHOULD BE TAKEN AT THE RATE OF ONE TEST PER EVERY 300 LINEAR FEET OR 5,000 SQUARE FEET, WHICHEVER IS LESSER PER LOT.
- IN LIEU OF LIME STABILIZATION 6 INCHES OF FLEX BASE CAN BE USED, IN THE EVENT THAT LIME STABILIZATION OF THE SUBGRADE SOILS OR PLACEMENT OF FLEX BASE IS NOT ECONOMICALLY FEASIBLE, THEN THE THICKNESS OF THE CONCRETE CAN BE INCREASED BY AN ADDITIONAL ONE INCH OR CITY STANDARDS.
- DESIGN OF THE CONCRETE PAVEMENT SHOULD SPECIFY A MINIMUM 28-DAY CONCRETE COMPRESSIVE STRENGTH OF 3,000 PSI FOR ALL THE PAVEMENT AND 4,000 PSI FOR THE FIRE LANE AND DUMPSTER PAD WITH 4 PERCENT TO 6 PERCENT ENTRAINED AIR. THE CONCRETE SHOULD BE PLACED WITHIN ONE AND ONE-HALF HOURS OF BATCHING, DURING WHICH TIME THE CONCRETE SHOULD BE VIBRATED TO REMOVE AIR ENTRAINMENT. THE CONSTRUCTION AND EXPANSION JOINTS SHOULD BE PERIODICALLY RESEALED TO EXCEED 99% TO AVOID EXCESSIVE HEAT PERIODS. CONSIDERATION SHOULD BE GIVEN TO LIMITING CONCRETE PLACEMENT TO A TIME OF DAY THAT WILL MINIMIZE LARGE DIFFERENCES IN THE AMBIENT AND CONCRETE TEMPERATURE.
- PAST EXPERIENCE INDICATES THAT PAVEMENTS WITH SEALED JOINTS ON 15 TO 20-FOOT SPACINGS, CUT TO A DEPTH OF AT LEAST ONE-QUARTER OF THE PAVEMENT THICKNESS, GENERALLY EXHIBIT LESS CRACKING THAN UNSEALED JOINTS. CONCRETE PAVEMENTS WITH WIDER SPACINGS, AS A MINIMUM, EXPANSION JOINTS SHOULD BE USED WHEREVER THE PAVEMENT IS A STRUCTURAL ELEMENT SUBJECT TO A DIFFERENT MAGNITUDE OF MOVEMENT, E.G., LIGHT POLES, RETAINING WALLS, EXISTING PAVEMENT, BUILDING WALLS, OR DRAINAGE STRUCTURES. THE CONSTRUCTION AND EXPANSION JOINTS SHOULD BE RECHECKED PERIODICALLY AND RESEALED, IF NECESSARY. THE PAVEMENT SHOULD BE REINFORCED USING AT LEAST NO. 3 BARS, 18 INCHES ON CENTER SHOULD BE USED.
- "SELECT FILL" AS REFERRED TO IN THIS REPORT, SHOULD CONSIST OF CLAYEY SANDS FREE OF ORGANIC MATERIALS WITH A PLASTICITY INDEX BETWEEN 6 AND 16, A LIQUID LIMIT OF 38 OR LESS, AND BETWEEN 15 AND 45 PERCENT PASSING A NO. 200 SIEVE.
- FLEX BASE: TxDOT 247 TYPE D GRADE 1-2.



No.	Revision/Issue	Date



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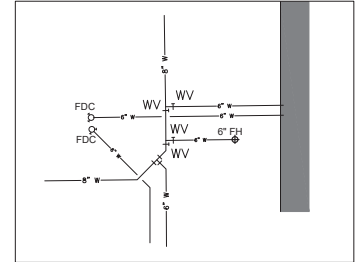
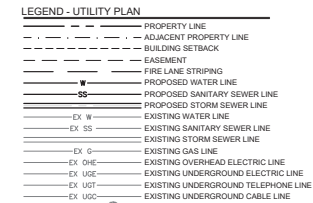
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No.	Revision/Issue	Date

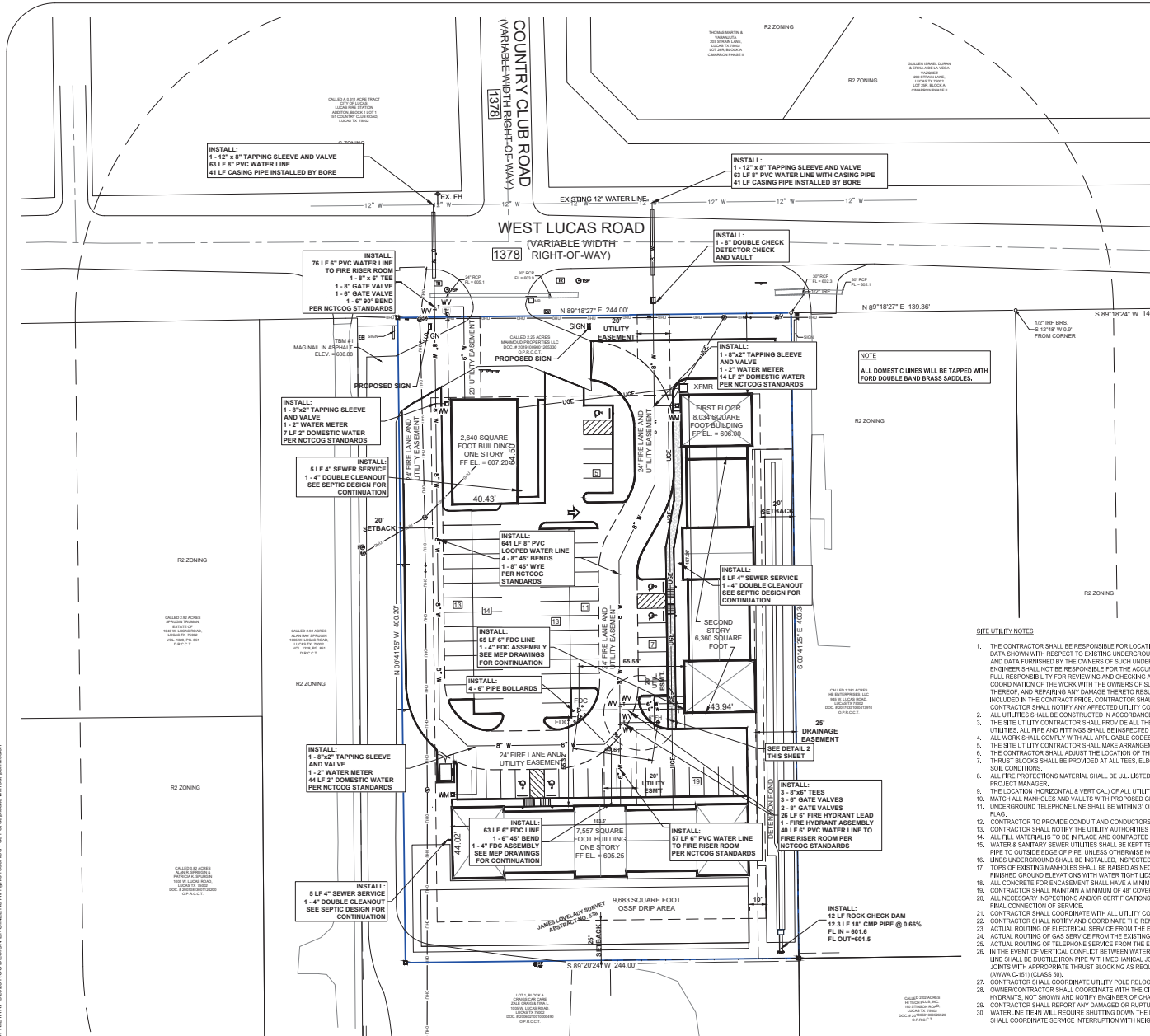


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Project No:	22014
Drawn By:	JFK
Checked By:	MAK
Designed By:	JFK

Project:	22014	Sheet:	C6.0
Date:	01/30/23	Scale:	1" = 30'



2 WATER CONNECTION DETAIL
 C6.0 SCALE: NTS

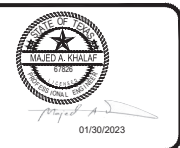


1 UTILITY PLAN
 C6.0 SCALE: 1"=30'

- SITE UTILITY NOTES**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATING. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON THE INFORMATION AND DATA FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPEARANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA FOR LOCATING ALL UNDERGROUND FACILITIES FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERE TO RESULTING FROM THE WORK. THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
 - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LUCAS PUBLIC WORKS SPECIFICATIONS AND/OR NCTCOG STANDARDS.
 - THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND APPURTENANCES NECESSARY FOR THE COMPLETE INSTALLATION OF THE UTILITIES. ALL PIPE AND FITTINGS SHALL BE INSPECTED BY THE CITY INSPECTOR PRIOR TO BEING COVERED.
 - ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS AND REQUIREMENTS.
 - THE SITE UTILITY CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE COMMUNITY WATER CO. FOR THE CONNECTIONS TO THE EXISTING WATER MAIN.
 - THE CONTRACTOR SHALL ADJUST THE LOCATION OF THE PROPOSED WATER LINES AS REQUIRED TO AVOID CONFLICTS WITH THE OTHER UTILITIES. THRUST BLOCKS SHALL BE PROVIDED AT ALL TEES, ELBOWS AND BENDS, AND WILL BE OF SUFFICIENT SIZE TO COMPLY WITH CITY STANDARDS FOR EXISTING SOIL CONDITIONS.
 - ALL FIRE PROTECTIONS MATERIAL SHALL BE U.L. LISTED, FACTORY MUTUAL APPROVED, AND NFPA STANDARDS, UNLESS OTHERWISE DIRECTED BY THE PROJECT MANAGER.
 - THE LOCATION, HORIZONTAL & VERTICAL OF ALL UTILITY LEADS TO THE BUILDING SHALL BE VERIFIED WITH THE BUILDING MECHANICAL PLANS, TO MATCH ALL MANHOLES AND VALVES WITH PROPOSED GROUND ELEVATIONS.
 - UNDERGROUND TELEPHONE LINE SHALL BE WITHIN 3' OF CONDUIT, BURIED A MINIMUM OF 24" AND TERMINATING AT RIGHT-OF-WAY WITH PULL STRING AND FLAG.
 - CONTRACTOR TO PROVIDE CONDUIT AND CONDUCTORS FROM BUILDING TO POLE AND COORDINATE WITH UTILITY PROVIDER FOR CONNECTION.
 - CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 24 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - ALL FILL MATERIALS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - WATER & SANITARY SEWER UTILITIES SHALL BE KEPT TEN FEET (10') APART (PARALLEL OR WHEN CROSSING 24" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE, UNLESS OTHERWISE NOTED).
 - UNLESS UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
 - ALL CONCRETE FOR ENCASEMENT SHALL HAVE A MINIMUM 28-DAY COMPRESSION STRENGTH AT 3000 P.S.I.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4" COVER BELOW FINISHED GRADE ON ALL WATERLINES.
 - ALL NECESSARY INSPECTING AND/OR CERTIFICATION REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE IN POSSESSION BEFORE THE FINAL CONNECTION OF SERVICE.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - CONTRACTOR SHALL NOTIFY AND COORDINATE THE REMOVAL OF ALL TAP CONNECTIONS WITH THE CITY OF LUCAS.
 - ACTUAL ROUTING OF ELECTRICAL SERVICE FROM THE EXISTING TRANSFORMER TO BE COORDINATED WITH THE ELECTRICAL UTILITY.
 - ACTUAL ROUTING OF GAS SERVICE FROM THE EXISTING GAS LINE TO THE TERMINUS POINT TO THE BUILDING IS TO BE COORDINATED WITH THE GAS UTILITY.
 - ACTUAL ROUTING OF TELEPHONE SERVICE FROM THE EXISTING TELEPHONE LINE TO THE BUILDING IS TO BE COORDINATED WITH THE TELEPHONE UTILITY.
 - IN THE EVENT OF VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINT AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKS TO PROVIDE A MINIMUM OF 2" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 OR A21.11 (AWWA C151) CLASS 50.
 - CONTRACTOR SHALL COORDINATE UTILITY POLE RELOCATION WITH THE UTILITY COMPANY.
 - OWNER/CONTRACTOR SHALL COORDINATE WITH THE CITY FIRE MARSHAL TO PROVIDE ANY ADDITIONAL FIRE SAFETY FEATURES, INCLUDING FIRE HYDRANTS, NOT SHOWN AND NOTIFY ENGINEER OF CHANGES.
 - CONTRACTOR SHALL REPORT ANY DAMAGED OR RUPTURE TO ANY UTILITIES TO THE APPROPRIATE AUTHORITIES AND TO THE CITY OF LUCAS.
 - WATER LINE AN WELL REQUIRE SHUTTING DOWN THE MAIN, WHICH WILL REQUIRE INTERRUPTING SERVICE TO ADJACENT PROPERTIES. CONTRACTOR SHALL COORDINATE SERVICE INTERRUPTION WITH NEIGHBOR AND/OR SHUTDOWN THE MAIN AT NIGHT.

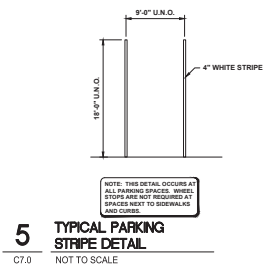
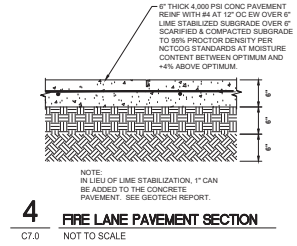
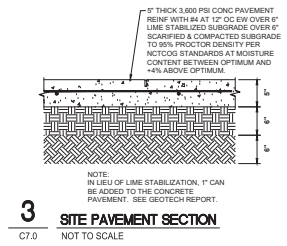
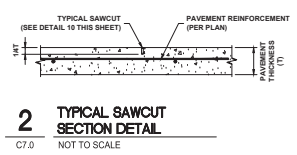
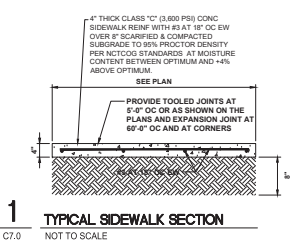
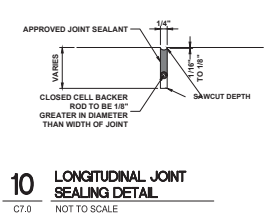
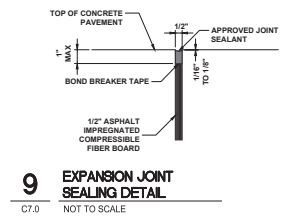
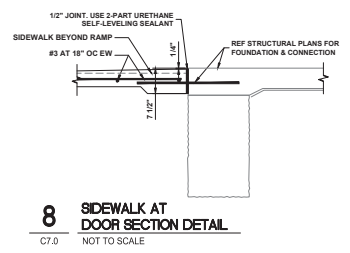
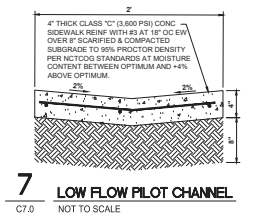
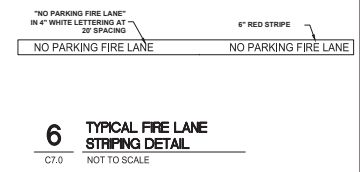
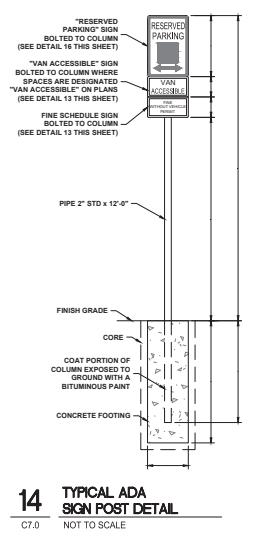
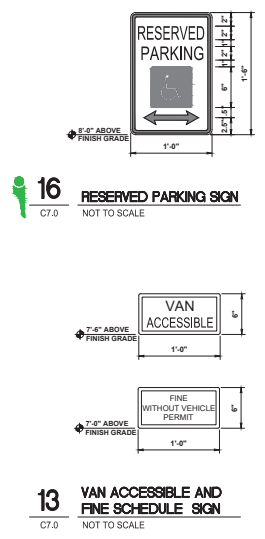
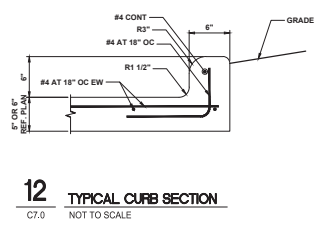
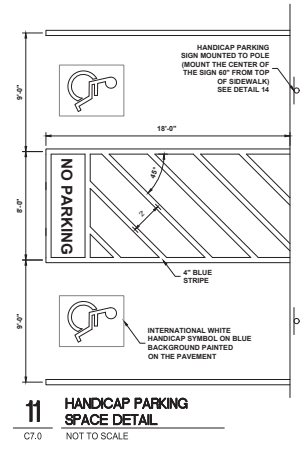
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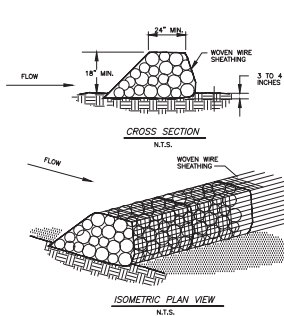


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Project No:	22014
Drawn By:	JPK
Checked By:	MAK
Designed By:	JPK

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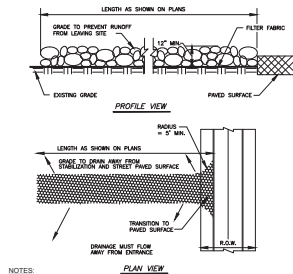
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ROCK CHECK DAM GENERAL NOTES

1. USE ONLY OPEN GRADED ROCK 4-8 INCHES IN DIAMETER FOR STREAM FLOW CONDITION. USE OPEN GRADED ROCK 3-5 INCHES IN DIAMETER FOR OTHER CONDITIONS.
2. THE ROCK CHECK DAM SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING A MAXIMUM OPENING OF 1 INCH AND A MINIMUM WIRE SIZE OF 20 GAUGE AND SHALL BE BURIED IN A TRENCH APPROXIMATELY 3 TO 4 INCHES DEEP.
3. THE ROCK CHECK DAM SHALL BE INSPECTED EVERY TWO WEEKS OR AFTER EACH 1/2" RAIN EVENT AND SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
4. WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD OF THE HEIGHT OF THE DAM OR ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.

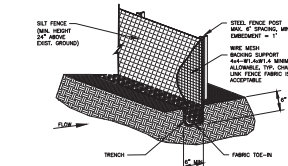
9 **ROCK CHECK DAM**
C7.1 NOT TO SCALE



NOTES

1. STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK.
2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

8 **TEMPORARY STABILIZED CONSTRUCTION ENTRANCE**
C7.1 NOT TO SCALE

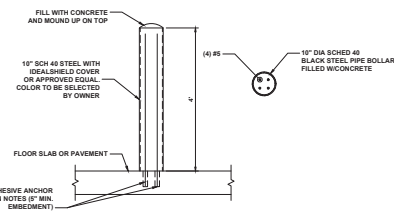
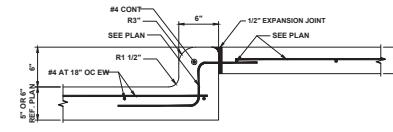
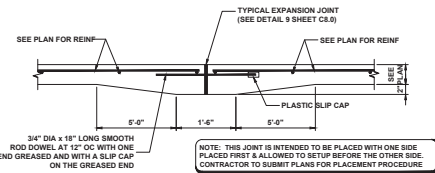
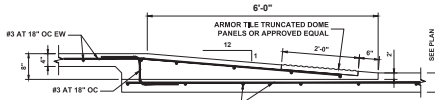
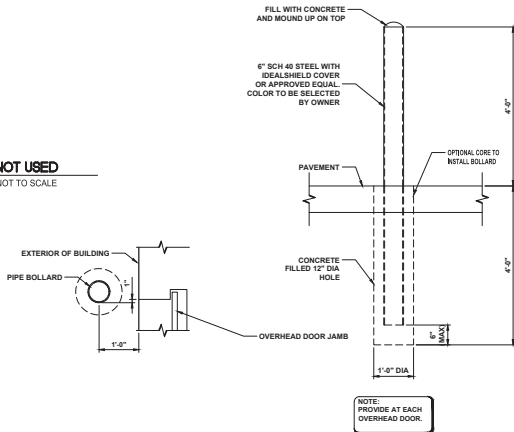


SILT FENCE GENERAL NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN-SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UP-HILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 4 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SEDIMENTATION.

7 **SILT FENCE**
C7.1 NOT TO SCALE

6 **NOT USED**
C7.1 NOT TO SCALE

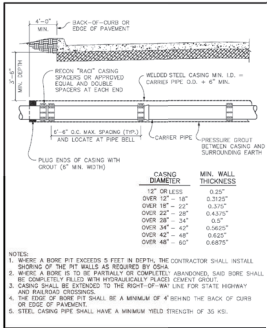


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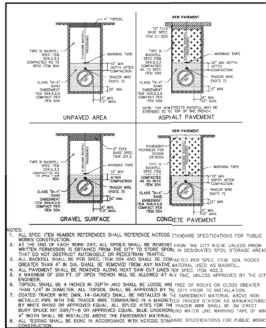


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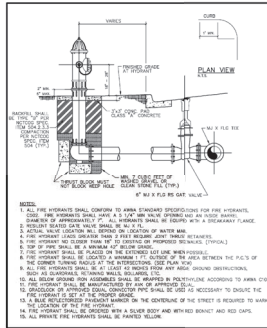
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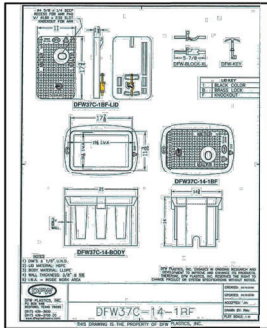
BORE AND CASING



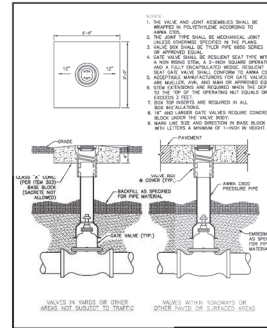
WATER LINE EMBEDMENT AND BACKFILL



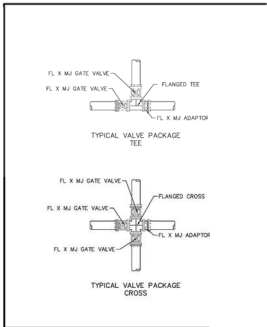
FIRE HYDRANT INSTALLATION



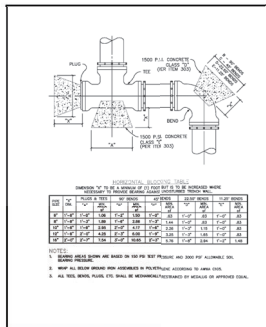
WATER METER DETAIL



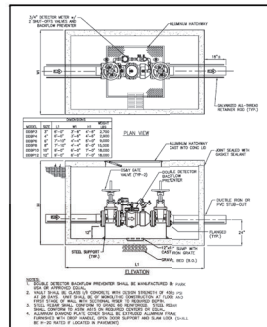
GATE VALVE AND BOX



VALVE INSTALLATION



HORIZONTAL BLOCKING



DOUBLE DETECTOR BACKFLOW PREVENTER

ROC CIVIL
ROC DESIGN ENGINEERS
 Superior Civil Engineering Service
 Texas Firm F-13744
 9101 N. LBJ FWY, SUITE 570
 Dallas, Texas 75243
 Phone 972.639.8375

LUCAS COMMERCIAL CENTER
 995 WEST LUCAS ROAD,
 LUCAS, TEXAS 75002

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Designed By:	JPK

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Date	01/30/23		
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City of Lucas

Planning and Zoning Agenda Request

February 9, 2023

Requester: Development Services Director Joe Hilbourn

Agenda Item

Discuss accessory building regulations in the City of Lucas.

Background Information

There have been ongoing concerns expressed by both the Planning and Zoning Commission and the City Council regarding accessory buildings with habitable space. This item has been discussed during three of the last four Planning and Zoning Commission meetings. City Attorney Courtney Morris and city staff attempted to incorporate the feedback and recommendations that have been received from the Planning and Zoning Commission.

Attachments/Supporting Documentation

1. Draft ordinance for the regulation of accessory buildings

Budget/Financial Impact

NA

Recommendation

Staff is seeking feedback on the proposed revisions to the accessory building regulations.

Motion

There is no motion needed for this item.

Editing Notes:

- Current language
- Proposed Language
- ~~Current language to remove~~

14.01.004 Definitions:

Accessory buildings and structures – are buildings or structures located on the same lot as a dwelling or other principal building, the use of which is subordinate and incidental to the use of the dwelling or other principal building. Accessory buildings and structures include but are not limited to:

1. fences,
2. retaining walls,
3. swimming pools,
4. gazebos,
5. accessory dwelling units,
6. livestock and agricultural use barns,
7. car barns,
8. implement or other storage barns,
9. man-caves and she-sheds,
10. storage sheds,
11. shops,
12. tool houses or shops
13. workshops,
14. art studios,
15. pool houses,
16. garages,
17. carports,
18. covered patios,
19. decks that exceed 30" in height,
20. deck covers,
21. outdoor kitchens and living areas
22. covered breezeways,
23. playhouses,
24. sports courts, batting cages and pitching cages
25. uncovered flat work, including but not limited to patios, sidewalks, concrete pool decking, and driveways
26. any other improved space whether attached or detached from the principal building or structure.

Accessory building or use is:

1. Subordinate to and serves a principal building or principal use;
2. Subordinate in area, extent, or purpose to the principal building or principal use served;
3. Contributes to the comfort, convenience, and necessity of occupants of the principal building or principal use served; and
4. Located on the same building lot as the principal use served. "Accessory" when used in the text shall have the same meaning as accessory use.

Accessory dwelling unit - a secondary self-contained structure used, designed, or intended to be used for human habitation, for living, sleeping, cooking, eating, or any combination thereof and located on the same lot as a primary dwelling unit and shares ownership and utility connection with the primary dwelling unit. Accessory Dwelling Units do not include party barns, car barns, man-caves, she-sheds.

Accessory Use – use of land, buildings, or structures that are subordinate and incidental to the primary use and contributes to the comfort, convenience, and necessity of occupants of the principal building or principal use of the land.

Principal building, primary dwelling unit or principal use – primary building, dwelling, or use of the lot on which the building or dwelling unit is located.

~~*Servant's quarters* - An accessory building or portion of a main residential building located on the same lot as the principal residential building, occupied only by such persons and their families as are employed full time by the occupants of the principal residence.~~

§ 14.04.301. Purpose. The purpose and intent of the accessory building, accessory structures and accessory use regulations is to:

- (1) Maintain neighborhood and community integrity and preserve the existing character of neighborhoods by encouraging compatible land uses.
- (2) Provide the residents of the city the opportunity to use their property to enhance the quality of life and/or fulfill personal objectives as long as the use of the property is ~~not in~~ compatible with the land uses or character of the neighborhood.
- (3) Assure that public and private services such as streets, water and electrical systems are not burdened by accessory uses to the extent that the accessory usage exceeds that which is normally associated with the primary use of the property.

§ 14.04.302. Accessory buildings, structures, buildings and uses permitted.

(a) Accessory ~~structures or buildings~~ and structures may be erected, maintained, and used for purposes which are clearly accessory to the principal ~~or main building, structure, building~~ or use

permitted on the premises. Except in the agriculture district accessory buildings shall be built after the ~~main~~ **primary** building or structure.

(b) Accessory **buildings**, structures, ~~buildings~~ and uses shall be so constructed, maintained and utilized so that the use of the building, **structure** or equipment located **therein** does not produce excessive noise, vibration, concussion, dust, dirt, smoke, odors, noxious gases, heat, traffic, glare from artificial illumination or from reflection of natural light. ~~and shall be on the premises of the principal or main use, structure, or building except as may be specifically provided herein.~~

(c) ~~For any accessory structure a special exception may be required when the total square footage of the main building and any accessory buildings exceeds 50,000 square feet.~~ **The total square footage of the primary building or structure and any accessory buildings or structures shall not exceed the lesser of 50,000 square feet or thirty percent (30%) of the lot square footage.** Special exceptions may be granted by the city council when such property owner can show the following:

(1) Does not contain or support a use inconsistent with the zoning district regulation applicable to the property;

(2) Use of structure does not cause traffic congestion;

(3) Does not support use by any person other than owner or occupant of the main structure; and

(4) That size and mass of the structure is consistent with the surrounding uses.

(d) Except as provided herein, no trailers, containers, commercial boxes or other similar **prefabricated** structures shall be used as accessory **buildings or** structures ~~or buildings~~. Exceptions to this subsection (d) are as follows:

(1) Agriculture uses with five (5) acres or more may use trailers, containers, or commercial boxes for permanent storage located behind the ~~main~~ **primary building or** structure and **completely** obscured from public view; or

(2) Industrial and commercial users may use trailers, containers, or commercial boxes for temporary storage **facilities for a period not to exceed ninety (90) days total in any one calendar year.** Such industrial or commercial temporary storage facilities shall be located behind the ~~main~~ **primary building or** structure **and completely** obscured from public view ~~for a period not to exceed ninety (90) days total in any one calendar year.~~ The director of community development may extend the allowable time in thirty (30) day increments up to a maximum of 180 days, provided the property owner provides just cause for the extension.

§ 14.04.303. Exemptions. The following accessory structures are exempt from this division:

(1) Retaining walls;

(2) Air conditioning mechanical equipment;

(3) Uncovered flatwork (such as but not limited to patios, sidewalks, concrete pool decking and driveways);

(4) Play houses less than 125 square feet without running water or electricity, playground equipment, tree forts, and similar structures located behind the front of the ~~main~~ primary building, structure, or dwelling; and

(5) Temporary (less than 7 days) membrane structures (such as but not limited to tents and bounce houses).

§ 14.04.304. General accessory buildings and structures regulations.

In all residential districts, accessory building and structures shall comply with the following standards except as may be otherwise specifically provided for in this code:

(1) Types of accessory buildings and structures.

(A) Attached accessory building and structures. Accessory buildings and structures that are physically attached to a ~~main~~ primary building or structure or located less than ten feet (10') from the ~~main~~ primary building or structure shall be considered attached accessory buildings and shall meet the requirements set forth for attached accessory buildings or structures. ~~These may include but are not limited to garages, carports, guest/servants quarters, patio covers, outdoor kitchens or living areas, decks that exceed 30" in height, deck covers, shops, tool houses, pool houses, and other incidental accessory structures.~~

(B) Detached accessory buildings and structures. Accessory buildings and structures which are physically located ten feet (10') or more from a ~~main~~ primary building or structure and a minimum of ten feet (10') behind the required ~~front setback~~ rear build line may be considered detached accessory buildings and shall be required to meet the requirements set forth for detached accessory buildings. ~~These may include but are not limited to garages, carports, guest/servants quarters, patio covers, outdoor kitchens or living areas, decks that exceed 30" in height, deck covers, shops, tool houses, pool houses, and other incidental accessory structures.~~

(2) Design.

(A) Attached accessory buildings and structures shall be designed to be architecturally compatible with the ~~main~~ primary building, structure or dwelling, and constructed of similar materials as the main building.

(B) Detached accessory buildings shall be constructed of materials designed for construction and have a minimum life expectancy of at least twenty (20) years.

(3) Setbacks.

(A) Accessory buildings.

(i) Front yard setback, a minimum of ten feet behind the rear build line of the ~~main primary building, structure or dwelling.~~ ~~unless the building is attached and is designed to be architecturally compatible with the main building and constructed of similar materials as the main primary building, structure, or dwelling.~~ ~~Attached accessory building— Then a fifty foot front yard setback is required.~~

(ii) Rear yard setback, a minimum of twenty feet.

(iii) ~~Side yard setbacks, a minimum of twenty feet.~~ Side yard setbacks shall be twenty feet (20') unless the side yard build line is adjacent to a street. Side yards adjacent to a street shall have side yard setbacks determined by the street right-of-way designation on the Master Thoroughfare Plan as follows:

1. For streets designated as type C or D roadways - seventy-five feet (75').
2. For streets designated as type B – eighty-five feet (85').
3. For streets designated as type A – one-hundred and ten feet (110').

(iv.) Where a build line is established on a plat, which is not consistent with this Article, the build line that is a greater distance from the front property line shall be observed.

(v.) No required parking shall be allowed within the required front yard.

(B) In-ground swimming pools, sports courts, tennis courts and similar uses shall maintain a minimum rear yard setback of 25 feet, a minimum side yard setback of 20 feet and if the in-ground pool is in front of the main building it shall maintain a front setback of 300 feet. In-ground swimming pool setbacks shall be measured from the inside wall of said pool.

(C) The inside wall of an aboveground swimming pool and any elevated decking associated with an aboveground swimming pool shall be located behind the main building and shall maintain a minimum rear yard setback of 50 feet and a minimum side yard setback of 25 feet.

(4) Accessory Dwelling Units. Each lot may contain one Accessory Dwelling Unit. Accessory Dwelling Units may be occupied provided it is in compliance with the following:

~~(A) General regulations for accessory buildings containing habitable space. Any accessory building containing habitable space shall comply with the following:~~

~~(i) Accessory buildings containing habitable space shall meet the requirements of the International Residential Code as adopted by the city from time to time.~~

~~(ii) Accessory buildings containing habitable space may not be rented out separate and apart from the main structure.~~

~~(iii) Detached accessory buildings containing habitable space~~ **Accessory Dwelling Units** shall be limited to a maximum height of 25 feet measured to the peak of the roof of the structure.

~~(iv) Accessory buildings containing habitable space shall not contain a kitchen, cooking or food preparation area except as provided for in subsection (B)(i)a. below.~~

(B) Size regulations: ~~Specific regulations for an accessory building containing habitable space.~~

~~(i) In R-2 or AO zoning districts~~ **maximum footprint of 1500 square feet.** ~~that contain a single family home:~~

~~a. Kitchen, cooking or a food preparation area may be permitted on property with a specific use permit. The specific use permit may only be granted provided the owners of the property enact a deed restriction with the city as party to the deed restriction that prohibits the use of the habitable space to be used for lease/barter agreement other than that of the full-time domestic staff providing support to the property.~~

~~b. One (1) accessory building may contain up to 1,500 square feet of habitable space.~~

~~(ii) In R-1.5 zoning districts~~ **maximum footprint of 1,200 square feet.** ~~÷ a. One (1) accessory building may contain up to of habitable space.~~

~~(iii) In R-1 zoning districts~~ **shall maximum footprint of 1,000 square feet.** ~~÷ a. One (1) accessory building may contain up to of habitable space~~

(5) Each residential lot may contain one of the following - Party barns, car barns, man-caves, pool houses, and she-sheds subject to the following:

- A. may include areas dedicated to entertainment, eating, or sanitation or any combination thereof.**
- B. shall not be used as a temporary or permanent dwelling by friends, relatives, or employees of the occupant of the primary building, structure, or dwelling.**
- C. Shall not have a footprint exceeding 1250 square feet**
- D. Shall not contain areas for dedicated to use for kitchens or bedrooms.**



City of Lucas
Planning and Zoning Commission Request
February 9, 2023

Item No. 06

Requester: City Secretary Erin Day

Agenda Item Request

Consider the approval of the minutes of the January 12, 2023 Planning and Zoning Commission meeting.

Background Information

NA

Attachments/Supporting Documentation

NA

Budget/Financial Impact

NA

Recommendation

NA

Motion

I make a motion to approve the minutes of the January 12, 2023 Planning and Zoning Commission meeting.



MINUTES

PLANNING AND ZONING COMMISSION MEETING

January 12, 2023 | 6:30 PM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

Call to Order

The meeting was called to order at 6:30 pm and the Pledge of Allegiance was recited.

Commissioners Present:

Vice-Chairman Tommy Tolson
Commissioner Peggy Rusterholtz
Commissioner Joe Williams
Commissioner Adam Sussman
Alternate Commissioner Chris Bierman

Staff Present:

City Manager Joni Clarke
Assistant City Manager Kent Souriyasak
Development Services Director Joe Hilbourn
Public Works Director Scott Holden
CIP Manager Patrick Hubbard
City Attorney Courtney Morris

Commissioners Absent:

Chairman Dusty Kuykendall
Alternate Commissioner James Foster

City Council Liaison Present:

Mayor Jim Olk

Citizen Input

Alec Morris, 1229 Highland Drive, thanked the Planning and Zoning Commission for their hard work and for listening to his plea to the Commission to not extend Highland Drive to connect to Lewis Lane in the proposed Thoroughfare Plan.

Public Hearing Agenda

- 1. Public hearing to consider approving the updates to the City of Lucas Comprehensive Plan, including Chapters 1 through 8, the Wastewater System Master Plan, Water Distribution Master Plan, Thoroughfare Plan, Future Land Use Map, Zoning Map, and Trails Master Plan.**

The Planning and Zoning Commission discussed amending the Comprehensive Plan with the following:

- On page 35, remove the extra “a” in the last sentence of the second paragraph which states, “It was a previously a gravel road.”
- On page 44, remove the last sentence at the bottom of the page that states, “Included in Appendix is a water system map showing the existing dead end water lines.”
- On the Future Land Use Map, designate the tract of land that is Hart Elementary School and the adjacent triangle lot as R2 (Residential 2-acre lot).
- On the Zoning Map, update the parcel of land at Stinson Road and Parker Road to reflect the recent zoning change from R1.5 (Residential 1.5-acre lot) to R1 (Residential 1-acre lot) that was approved at the January 5, 2023 City Council meeting.

Vice-Chairman Tolson opened the public hearing at 6:40 pm.

With no further comments, the public hearing was closed at 6:41 pm.

MOTION: A motion was made by Commissioner Sussman, seconded by Alternate Commissioner Bierman, to approve the updates to the City of Lucas Comprehensive Plan, including Chapters 1 through 8, the Wastewater System Master Plan, Water Distribution Master Plan, Thoroughfare Plan, Future Land Use Map, Zoning Map, and Trails Master Plan with the proposed amendments. The motion passed unanimously by a 5 to 0 vote.

- 2. Public hearing to consider a request by the City of Lucas to rezone a tract of land on the Southeast corner of the intersection of Estelle Lane and Country Club Road from Commercial Business to ED (Estates District) and abandon an existing SUP (Specific Use Permit) that permits a 3000 square foot commercial business, situated in the Ben Sparks Survey, Abstract No. A0813, Tract 74, 0.95 acres.**

The public hearing was canceled.

Regular Agenda

- 3. Discuss accessory building regulations in the City of Lucas.**

Development Services Director Joe Hilbourn gave a presentation on this agenda item and discussed proposed changes which included recommendations by Mayor Olk.

City Attorney Courtney Morris indicated that the accessory dwelling unit definition was newly added. Mr. Hilbourn explained the definition indicating the proposed change would result in more specific use permits related to habitable space greater than 500 square feet.

Mr. Hilbourn explained he is in favor of Mayor Olk's recommendations, except the fact that there will be more requests for specific use permits. The Planning and Zoning Commission questioned why there would be more specific use permits. Mr. Hilbourn explained he sees a lot of accessory buildings or dwelling units that do not have a kitchen. Mr. Hilbourn indicated essentially anything over 500 square feet would require a specific use permit.

The Planning and Zoning Commission discussed the definition of sanitation. Ms. Morris indicated the sanitation language is referring to bathrooms.

Commissioner Sussman indicated limiting the space by tiers is fine but having to manage the circumstances for specific use permits is not what the Planning and Zoning Commission intended.

Mayor Olk discussed conflicting definitions related to accessory dwellings and indicated there was previous testimony from people to establish accessory dwellings like guest houses. Mayor Olk explained the City Council saw specific use permits coming forward and thought this may be an issue that the Planning and Zoning Commission can help with. Mayor Olk indicated when someone requested a specific use permit for a kitchen, the City Council did not have parameters to deny it. Mayor Olk provided a definition for accessory building as living space as defined by the International Residential Code. Mayor Olk clarified it was not the City Council's intent to address space such as garages, mancaves, party rooms, pool rooms, or home offices. Mayor Olk indicated this is to address buildings that were meant to be additional dwelling units. Mayor Olk explained if the space exceeds 500 square feet, it would need to go to the Planning and Zoning Commission to review the intent and provide a recommendation to City Council.

Commissioner Rusterholtz asked if a living space excludes different areas that are not considered a living space such as a large barn or shop that will subsequently have a living space and exceeds 500 square feet. Commissioner Rusterholtz asked if the Planning and Zoning Commission will look at the 500 square feet or the whole building. Mayor Olk explained this does not look at the whole building based on how it is written, only the 500 square feet. Mayor Olk indicated a need to make sure we address the language, so they match and read well.

Commissioner Rusterholtz explained if someone truly wants a habitable area, it may be best accomplished by doing it all on the main building and with common rooflines. Commissioner Rusterholtz suggested allowing detached accessory dwelling units on three acres or more, but anything less than three acres they must be attached, advising that this could reduce the possibility of it becoming a rental situation. Commissioner Rusterholtz explained that we need to provide a definition for what exactly defines a kitchen in an accessory dwelling unit.

Mayor Olk indicated there is nothing that stops someone from having multiple kitchens unless it has multiple dwelling units.

Commissioner Rusterholtz indicated once someone builds a space with plumbing, it doesn't take long to convert it into a building with a kitchen. Commissioner Williams indicated he is more inclined to review the specific use permits as this gives an opportunity for the Planning and Zoning Commission to review.

Commissioner Sussman suggested to limit the size of habitable space and what is driving them. Commissioner Sussman agreed with Mayor Olk's separations for maximum number of square footage and indicated most people will select the maximum space based on economics. Commissioner Sussman explained he does not want to manage someone else's decision for square footage and that the habitable space definition could be retrofitted in reverse. Commissioner Sussman indicated he does not care what someone does with the habitable space as long as it's within the space requirements. Commissioner Rusterholtz commented that we should find a balance and what people can do on their property. Commissioner Rusterholtz indicated once we have large second homes, then the zoning is gone. Commissioner Sussman agreed with Mayor Olk's recommendations to cut down the space on manageable habitable space.

Alternate Commissioner Bierman asked if the Planning and Zoning Commission should set a limit on habitable space.

Commissioner Sussman indicated Mayor Olk's recommendations are a good compromise and does not want to get involved with specific use permits for incremental habitable space and let people make their own decisions.

Alternate Commissioner Bierman indicated that secondary homes are addressed by square footage limits and references the pushback from people that they cannot build a 3,000 square foot space.

Commissioner Rusterholtz discussed conditions to prove if someone rents out a space that is creating a nuisance, that the rental agreement would have to be presented in order to prove it is the renter causing a nuisance. Mayor Olk indicated these are conditions of a specific use permit and that the nuisance could be addressed by the nuisance ordinance. Mayor Olk discussed that the accessory dwelling unit definition could be adopted as a secondary self-contained structure but this would need clarification if the structure is detached, attached, or separate from the primary home.

Commissioner Rusterholtz asked if it is permissible or considered a duplex for a single-family dwelling to have an additional separate ensuite with a second kitchen in the main house. Mr. Hilbourn indicated it is permissible as long as it is connected, open, and you cannot walk through a wall.

The Planning and Zoning Commission discussed issues related to the definition of habitable space that creates problems for people, such as those who are building pool houses and workshops.

Commissioner Rusterholtz indicated an opposition to the common utilities in the definition.

Vice-Chairman Tolson commented that the ordinance suggestions do not limit the number of accessory buildings or dwelling units and recommending allowing only one unit with habitable space. Vice-Chairman Tolson discussed restricting utility meters and putting accessory buildings on the same meter as the primary home to make it more difficult as a standalone home. Vice-Chairman Tolson provided examples that meet the requirements for Residential 2-acres and asked if kitchens or cooking areas are allowed in Residential 1-acre and 1.5-acres. Mr. Hilbourn indicated kitchens and cooking areas are only allowed in Residential 2-acres.

Vice-Chairman Tolson indicated he is on board with specific use permits exceeding 500 square feet and that it would not be used for guest quarters or family members based on his reading. Mayor Olk clarified if someone is coming as a guest, they are just coming into the house. Vice-Chairman Tolson indicated he would not want to limit the owners or occupants of a property and prefers that the spaces can be used for guest quarters.

The Planning and Zoning Commissions discussed the restrictions and process for reviewing specific use permits. Mayor Olk indicated a specific use permit is a use that would normally be or not be allowed in a specific zoning unit.

The Planning and Zoning Commission provided the following recommendations:

- One additional dwelling unit per lot
- Tighter definition of additional dwelling unit that is separate from accessory buildings
- Not limiting the number of accessory buildings
- Include utilities language for water, gas and internet, but remove electrical
- Allow occupancy of guests
- Consider space area limitations
- Create a clearer definition for accessory buildings related to habitable space
- Remove information referring to attached accessory buildings indicating it is either part of the main structure or 10 feet away as detached

City Manager Joni Clarke indicated staff will send revised updates for feedback.

There was no motion or action taken on this item.

4. Consider the appointment of a Chairman and Vice Chairman of the Planning and Zoning Commission to serve for a period of one (1) year with a term ending December 31, 2023.

MOTION: A motion was made by Commissioner Williams, seconded by Alternate Commissioner Bierman to nominate Dusty Kuykendall as Chairman and Tommy Tolson as Vice-Chairman of the Planning and Zoning Commission to serve for a period of one (1)

year with a term ending December 31, 2023. The motion passed unanimously by a 5 to 0 vote.

5. Consider the approval of the minutes of the December 8, 2022 Planning and Zoning Commission meeting.

MOTION: A motion was made by Commissioner Williams, seconded by Commissioner Rusterholtz to approve the minutes of the December 8, 2022 Planning and Zoning Commission meeting as presented. The motion passed unanimously by a 5 to 0 vote.

6. Adjournment.

MOTION: A motion was made by Commissioner Williams, seconded by Alternate Commissioner Bierman to adjourn the meeting at 8:17 pm. The motion passed unanimously by a 5 to 0 vote.

Dusty Kuykendall, Chairman

Erin Day, City Secretary