



AGENDA

Planning and Zoning Commission Meeting

May 11, 2023 | 6:30 PM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

Notice is hereby given that a meeting of the City of Lucas Planning and Zoning Commission will be held on May 11, 2023, at 6:30 pm at Lucas City Hall, 665 Country Club Road, Lucas, Texas 75002-7651, at which time the following agenda will be discussed. As authorized by Section 551.071 of the Texas Government Code, the Planning and Zoning Commission may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any item on the agenda at any time during the meeting.

If you would like to watch the meeting live, you may go to the City's live streaming link at <https://www.lucastexas.us/departments/public-meetings/>.

How to Provide Input at a Meeting:

Speak In Person: Request to Speak forms will be available at the meeting. Please fill out the form and give to the City Secretary prior to the start of the meeting. This form will also allow a place for comments.

Submit Written Comments: If you are unable to attend a meeting and would like to submit written comments regarding a specific agenda item, email Erin Flores, City Secretary at eflores@lucastexas.us no later than 3:30 pm the day of the meeting. The email must contain the person's name, address, phone number, and the agenda item(s) for which comments will be made. Any requests received after 3:30 pm will not be included at the meeting.

Call to Order

- Roll Call
- Determination of Quorum
- Reminder to turn off or silence cell phones
- Pledge of Allegiance

Public Hearing

1. Conduct a public hearing and consider approving a request for a change in zoning from AO (Agricultural and Open Space) to R-2 (Residential 2-acre) on a tract of land being 23.691 acres of land located in the Peter F. Lucas survey, abstract number 537, town of Lucas, Collin County, Texas, being all of the Jason Blakely and Jessica Blakely called 23.691 acre tract 23 +/- parcel of land, more commonly known as 355 Winningkoff Road.
 - A. Presentation by Development Services Director Joe Hilbourn
 - B. Conduct public hearing
 - C. Take action on Zoning Change Request

2. Conduct a public hearing and consider approving a request for a Planned Development zoning overlay on a parcel of land zoned Commercial Business (CB) on a tract of land being 42.339 acres (1,884,296 square feet) in the James Anderson Survey, Abstract Number 17, City of Lucas, Collin County, Texas, more commonly known as the Hunt tract at the northwest corner of the Parker Road and Country Club Road intersection.
 - A. Presentation by Development Services Director Joe Hilbourn
 - B. Conduct public hearing
 - C. Take action on Zoning Change Request

Regular Agenda

3. Consider corrections to the request by Majed Khalaf on behalf of Mahmoud Properties for a site plan, landscape plan, and elevations for use as a commercial retail and office center on a 2.25-acre tract of land in the Jas Lovelady Survey, Abstract Number ABS A0538, Tract 14 situated in the City of Lucas, Collin County, Texas, located at 995 West Lucas Road. **(Development Services Director Joe Hilbourn)**
4. Discuss updating the City of Lucas Code of Ordinances, Chapter 14 titled “Zoning”, and create a timeline for review with established future milestones. **(Development Services Director Joe Hilbourn)**
5. Consider the 88th Legislative Session and discuss any proposed bill or significant resolution that may have an impact on the City of Lucas and provide guidance to the City Attorney and City Manager. **(Planning and Zoning Commission, City Attorney Courtney Morris, City Manager Joni Clarke)**
6. Consider approval of the minutes of the April 13, 2023 Planning and Zoning Commission Meeting. **(Management Analyst Joshua Menhennett)**

Executive Agenda

As authorized by Section 551.071 of the Texas Government Code, the Planning and Zoning Commission may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney regarding any item on the agenda at any time during the meeting. This meeting is closed to the public as provided in the Texas Government Code.

7. Executive Session: There is not an executive session scheduled for this meeting.
8. Reconvene from Executive Session.
9. Adjournment.

Certification

I do hereby certify that the above notice was posted in accordance with the Texas Open Meetings Act on the bulletin board at Lucas City Hall, 665 Country Club Road, Lucas, Texas 75002 and on the City’s website at www.lucastexas.us on or before 5:00 p.m. on May 5, 2023.

Joshua Menhennett, Management Analyst

In compliance with the American with Disabilities Act, the City of Lucas will provide for reasonable accommodations for persons attending public meetings at City Hall. Requests for accommodations or interpretive services should be directed to City Secretary Erin Flores at 972-912-1211 or by email at eflores@lucastexas.us at least 48 hours prior to the meeting.



Item No. 01

City of Lucas
Planning and Zoning Agenda Request
May 11, 2023

Requester: Development Services Director Joe Hilbourn

Agenda Item Request

Conduct a public hearing and consider approving a request for a change in zoning from AO (Agricultural and Open Space) to R-2 (Residential 2-acre) on a tract of land being 23.691 acres of land located in the Peter F. Lucas survey, abstract number 537, town of Lucas, Collin County, Texas, being all of the Jason Blakely and Jessica Blakely called 23.691 acre tract 23 +/- parcel of land, more commonly known as 355 Winningkoff Road.

- A. Presentation by Development Services Director Joe Hilbourn
- B. Conduct public hearing
- C. Take action on Zoning Change Request

Background Information

This lot is 23 +/- acres of land currently zoned AO, and the applicant is considering subdividing the property into three lots. The request matches the City of Lucas Comprehensive Plan. The Federal Emergency Management Agency (FEMA) flood boundaries were compared to the FEMA panel maps and are accurate.

Attachments/Supporting Documentation

- 1. Public Notice
- 2. Depiction
- 3. Legal Description
- 4. Location Map

Budget/Financial Impact

NA

Recommendation

City staff recommends approving the request as presented.

Motion

I make a motion to approve/deny a request for a change in zoning from AO (Agricultural and Open Space) to R-2 (Residential 2-acre) on a tract of land being 23.691 acres of land located in the Peter F. Lucas survey, abstract number 537, town of Lucas, Collin County, Texas, being all of the James Blakely and Jessica Blakely called 23.691 acre tract 23 +/- parcel of land, more commonly known as 355 Winningkoff Road.



NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning & Zoning Commission of the City of Lucas, Texas, will conduct a Public Hearing on Thursday, May 11, 2023 at 6:30 p.m. and City Council will conduct a second Public Hearing on Thursday, June 01, 2023 at 6:30 p.m. at Lucas City Hall, 665 Country Club Road, Lucas, Texas to consider a request for a change in zoning from AO, Agricultural and Open Space, to R-2, Residential 2-acre, on a parcel of land described as follows:

BEING 23.691 ACRES OF LAND LOCATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NUMBER 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING ALL OF THE JASON BLAKELY AND JESSICA BLAKELY CALLED 23.691 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2022000147928, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (O.P.R.C.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD (VARIABLE WIDTH RIGHT-OF-WAY) AT THE SOUTHEAST CORNER OF SAID 23.691 ACRE TRACT;

THENCE SOUTH 88 DEGREES 26 MINUTES 41 SECONDS WEST, LEAVING SAID CENTERLINE, A DISTANCE OF 1516.17 FEET TO A 1/2" IRON ROD FOUND IN THE EAST LINE OF THE HUNTWICK ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME J, PAGE 165, PLAT RECORDS, COLLIN COUNTY, TEXAS (P.R.C.C.T.) AT THE SOUTHWEST CORNER OF SAID 23.691 ACRE TRACT AND THE COMMON NORTHWEST CORNER OF THE RB & KB REVOCABLE TRUST CALLED 12.39 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 20210914001875870, (O.P.R.C.C.T.);

THENCE NORTH 00 DEGREES 18 MINUTES 22 SECONDS WEST, ALONG THE EAST LINE OF SAID HUNTWICK ADDITION, A DISTANCE OF 682.40 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHWEST CORNER OF SAID 23.691 ACRE TRACT, SAME BEING THE COMMON SOUTHWEST CORNER OF THE LAKESIDE ESTATES, PHASE ONE ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME K, PAGE 682, (P.R.C.C.T.);

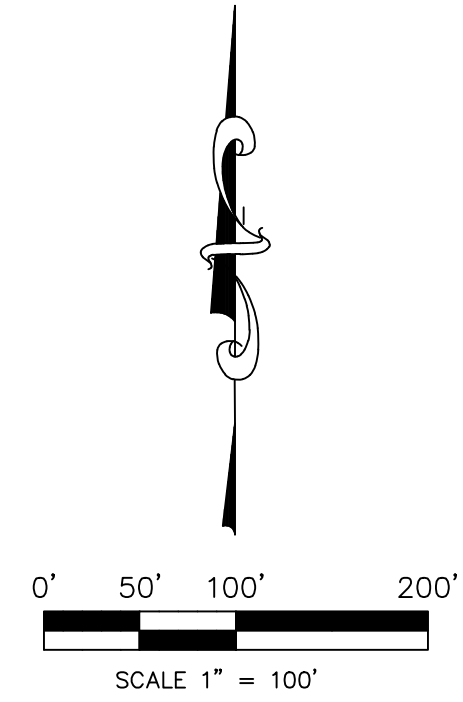
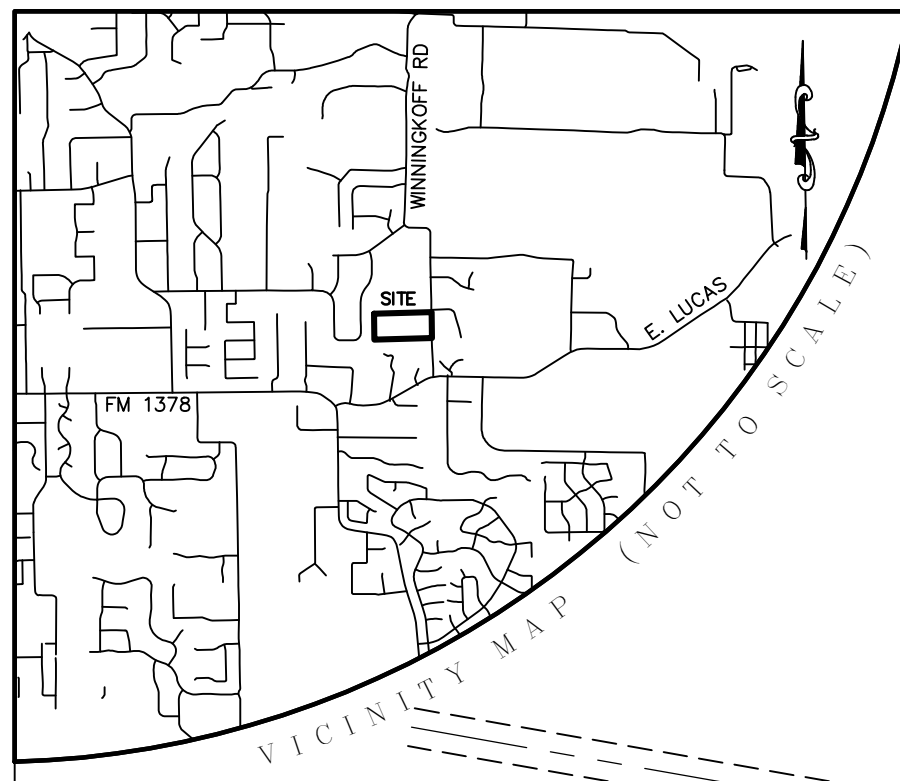
THENCE NORTH 88 DEGREES 26 MINUTES 15 SECONDS EAST, ALONG THE COMMON LINE OF SAID 23.691 ACRE TRACT AND SAID LAKESIDE ESTATES, PHASE ONE, AT A DISTANCE OF 1463.71 FEET PASS A 1/2" IRON ROD FOUND AND CONTINUING FOR A TOTAL DISTANCE OF 1508.71 FEET TO A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD AT THE NORTHEAST CORNER OF SAID 23.691 ACRE TRACT;

THENCE SOUTH 00 DEGREES 55 MINUTES 56 SECONDS EAST, ALONG THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD, A DISTANCE OF

682.47 FEET TO THE POINT OF BEGINNING AND CONTAINING 23.691 ACRES OF LAND, MORE OR LESS.

More Commonly know as 355 Winningkoff Road

Those wishing to speak FOR or AGAINST the above item are invited to attend. If you are unable to attend and have comments you may send them to City of Lucas, City Secretary, 665 Country Club Road, Lucas, Texas 75002, email eday@lucastexas.us, and it will be presented at the Hearing. If you have any questions about the above hearing, you may contact jhilbourn@lucastexas.us



LOT 13

LOT 12

HUNTWICK ADDITION
VOL. 4, PG. 165
P.R.C.C.T.
BLOCK B
ZONED: R-2

LOT 11

LOT 10

LOT 9

N 00°18'22" W - 682.40'

1/2" I.R.F.

LAKESIDE ESTATES, PHASE ONE
VOL. K, PG. 682
P.R.C.C.T.
ZONED: R-2

N 88°26'15" E - 1508.71'

TRACT ONE
PROPOSED ZONING: R-2
EXISTING ZONING: AO
4.300 ACRES

S100°55'58"E
284.06'

651.30'

651.26'

S88°04'05"W

FLOOD ZONE "A" PER
FIRM MAP NO. 48085C0405J
(APPROXIMATE)

TRACT TWO
PROPOSED ZONING: R-2
EXISTING ZONING: AO
3.012 ACRES

S100°55'58"E
50.96'

S88°04'05"W
524.56'

206.76'

S100°55'58"E
50.96'

RB & KB REVOCABLE TRUST
CALLED: 12.39 ACRES
INST. NO. 20210914001875870
O.P.R.C.C.T.
ZONED: R-2

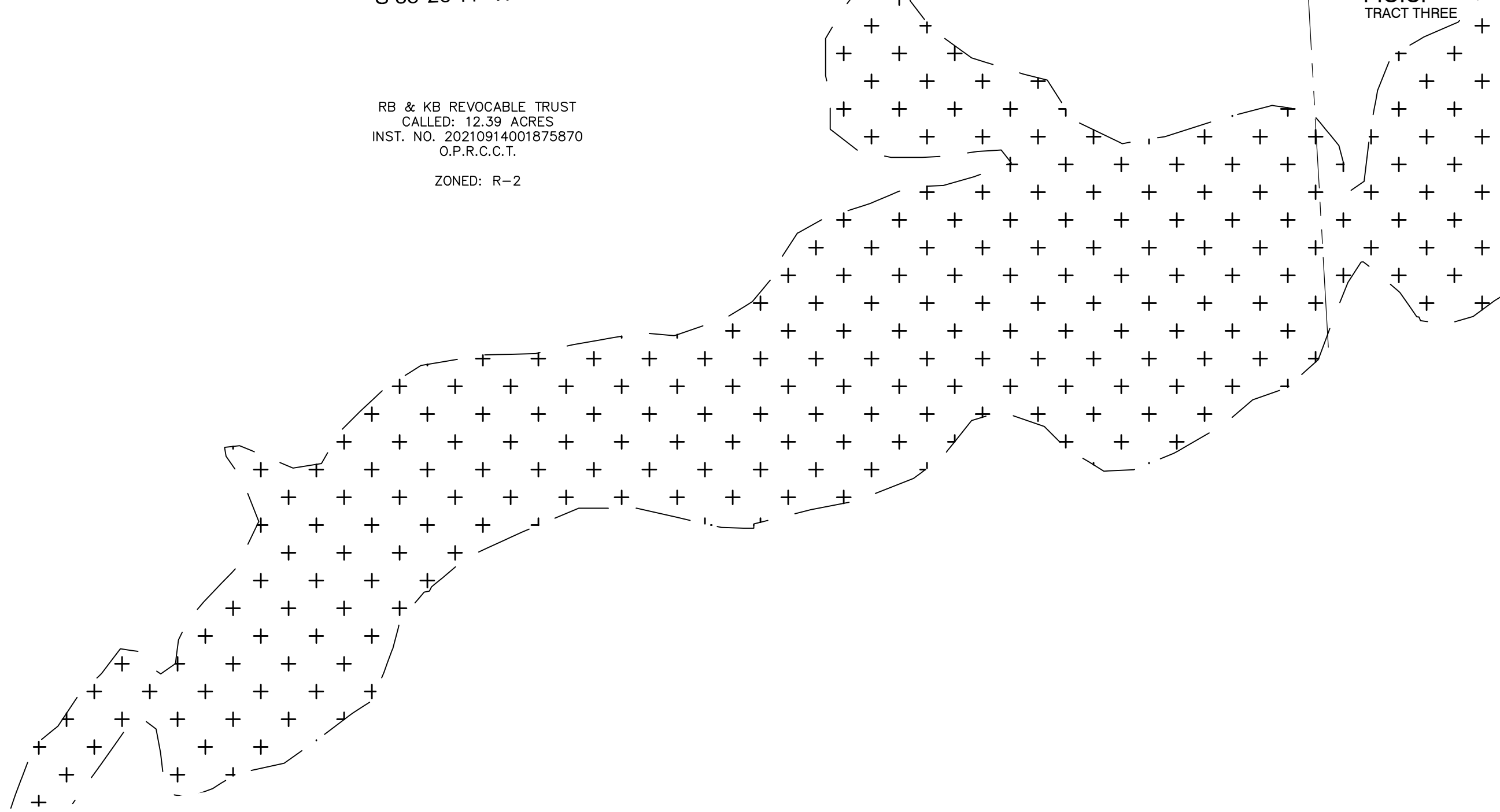
S 88°26'41" W - 1516.17'

P.O.B.
TRACT THREE

P.O.B.
TRACT ONE

S 00°55'56" E - 682.47'
WINNINGKOFF ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

P.O.B.
OVERALL AND
TRACT TWO &
TRACT THREE



LEGAL DESCRIPTION - OVERALL

BEING 23.691 ACRES OF LAND LOCATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NUMBER 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING ALL OF THE JASON BLAKELY AND JESSICA BLAKELY CALLED 23.691 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2022000147928, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (O.P.R.C.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
BEGINNING AT A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD (VARIABLE WIDTH RIGHT-OF-WAY) AT THE SOUTHEAST CORNER OF SAID 23.691 ACRE TRACT;
THENCE SOUTH 88 DEGREES 26 MINUTES 41 SECONDS WEST, LEAVING SAID CENTERLINE, A DISTANCE OF 1516.17 FEET TO A 1/2" IRON ROD FOUND IN THE EAST LINE OF THE HUNTWICK ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME J, PAGE 165, PLAT RECORDS, COLLIN COUNTY, TEXAS (P.R.C.C.T.) AT THE SOUTHWEST CORNER OF SAID 23.691 ACRE TRACT AND THE COMMON NORTHWEST CORNER OF THE RB & KB REVOCABLE TRUST CALLED 12.39 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 20210914001875870, (O.P.R.C.C.T.);
THENCE NORTH 00 DEGREES 18 MINUTES 22 SECONDS WEST, ALONG THE EAST LINE OF SAID HUNTWICK ADDITION, A DISTANCE OF 682.40 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHWEST CORNER OF SAID 23.691 ACRE TRACT, SAME BEING THE COMMON SOUTHWEST CORNER OF THE LAKESIDE ESTATES, PHASE ONE ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME K, PAGE 682, (P.R.C.C.T.);
THENCE NORTH 88 DEGREES 26 MINUTES 15 SECONDS EAST, ALONG THE COMMON LINE OF SAID 23.691 ACRE TRACT AND SAID LAKESIDE ESTATES, PHASE ONE, AT A DISTANCE OF 1463.71 FEET PASS A 1/2" IRON ROD FOUND AND CONTINUING FOR A TOTAL DISTANCE OF 1508.71 FEET TO A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD AT THE NORTHEAST CORNER OF SAID 23.691 ACRE TRACT;
THENCE SOUTH 00 DEGREES 55 MINUTES 56 SECONDS EAST, ALONG THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD, A DISTANCE OF 682.47 FEET TO THE POINT OF BEGINNING AND CONTAINING 23.691 ACRES OF LAND, MORE OR LESS.

LEGAL DESCRIPTION - TRACT ONE

BEING 4.300 ACRES OF LAND LOCATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NUMBER 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING A PORTION OF THE JASON BLAKELY AND JESSICA BLAKELY CALLED 23.691 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2022000147928, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (O.P.R.C.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
BEGINNING AT A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD (VARIABLE WIDTH RIGHT-OF-WAY) AT THE NORTHEAST CORNER OF SAID 23.691 ACRE TRACT;
THENCE SOUTH 00 DEGREES 55 MINUTES 56 SECONDS EAST, ALONG THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD, SAME BEING THE EAST LINE OF SAID 23.691 ACRE TRACT, A DISTANCE OF 291.23 FEET;
THENCE LEAVING SAID CENTERLINE AND GOING OVER AND ACROSS SAID 23.691 ACRE TRACT, THE FOLLOWING TWO (2) COURSES AND DISTANCES:
1) SOUTH 89 DEGREES 04 MINUTES 05 SECONDS WEST, A DISTANCE OF 651.26 FEET
2) NORTH 00 DEGREES 55 MINUTES 58 SECONDS WEST, A DISTANCE OF 284.06 FEET TO THE NORTH LINE OF SAID 23.691 ACRE TRACT AND THE COMMON SOUTH LINE OF LAKESIDE ESTATES, PHASE ONE, AN ADDITION AS RECORDED IN VOLUME K, PAGE 682, PLAT RECORDS, COLLIN COUNTY, TEXAS;
THENCE NORTH 88 DEGREES 26 MINUTES 15 SECONDS EAST, ALONG SAID COMMON LINE A DISTANCE OF 651.30 FEET TO THE POINT OF BEGINNING AND CONTAINING 4.300 ACRES OF LAND, MORE OR LESS.

LEGAL DESCRIPTION - TRACT TWO

BEING 3.012 ACRES OF LAND LOCATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NUMBER 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING A PORTION OF THE JASON BLAKELY AND JESSICA BLAKELY CALLED 23.691 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2022000147928, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (O.P.R.C.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
BEGINNING AT A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD (VARIABLE WIDTH RIGHT-OF-WAY) AT THE SOUTHEAST CORNER OF SAID 23.691 ACRE TRACT;
THENCE SOUTH 88 DEGREES 26 MINUTES 41 SECONDS WEST, LEAVING SAID CENTERLINE AND GOING ALONG THE SOUTH LINE OF SAID 23.691 ACRE TRACT, A DISTANCE OF 387.16 FEET;
THENCE GOING OVER AND ACROSS SAID 23.691 ACRE TRACT, THE FOLLOWING FOUR (4) COURSES AND DISTANCES:
1) NORTH 00 DEGREES 55 MINUTES 58 SECONDS WEST, A DISTANCE OF 90.00 FEET;
2) NORTH 42 DEGREES 35 MINUTES 03 SECONDS WEST, A DISTANCE OF 206.76 FEET;
3) NORTH 00 DEGREES 55 MINUTES 58 SECONDS WEST, A DISTANCE OF 50.96 FEET;
4) NORTH 89 DEGREES 04 MINUTES 05 SECONDS EAST, A DISTANCE OF 524.56 FEET TO THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD;
THENCE SOUTH 00 DEGREES 55 MINUTES 56 SECONDS EAST, ALONG THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD, A DISTANCE OF 291.24 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.012 ACRES OF LAND, MORE OR LESS.

LEGAL DESCRIPTION - TRACT THREE

BEING 16.379 ACRES OF LAND LOCATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NUMBER 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING A PORTION OF THE JASON BLAKELY AND JESSICA BLAKELY CALLED 23.691 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2022000147928, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (O.P.R.C.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
COMMENCING AT A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD (VARIABLE WIDTH RIGHT-OF-WAY) AT THE SOUTHEAST CORNER OF SAID 23.691 ACRE TRACT;
THENCE SOUTH 88 DEGREES 26 MINUTES 41 SECONDS WEST, LEAVING SAID CENTERLINE AND ALONG THE SOUTH LINE OF SAID 23.691 ACRE TRACT, A DISTANCE OF 387.16 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT;
THENCE SOUTH 88 DEGREES 26 MINUTES 41 SECONDS WEST, A DISTANCE OF 1129.00 FEET TO A 1/2" IRON ROD FOUND IN THE EAST LINE OF THE HUNTWICK ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME J, PAGE 165, PLAT RECORDS, COLLIN COUNTY, TEXAS (P.R.C.C.T.) AT THE SOUTHWEST CORNER OF SAID 23.691 ACRE TRACT AND THE COMMON NORTHWEST CORNER OF THE RB & KB REVOCABLE TRUST CALLED 12.39 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 20210914001875870, (O.P.R.C.C.T.);
THENCE NORTH 00 DEGREES 18 MINUTES 22 SECONDS WEST, ALONG THE EAST LINE OF SAID HUNTWICK ADDITION, A DISTANCE OF 682.40 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHWEST CORNER OF SAID 23.691 ACRE TRACT, SAME BEING THE COMMON SOUTHWEST CORNER OF THE LAKESIDE ESTATES, PHASE ONE ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME K, PAGE 682, (P.R.C.C.T.);
THENCE NORTH 88 DEGREES 26 MINUTES 15 SECONDS EAST, ALONG THE COMMON LINE OF SAID 23.691 ACRE TRACT AND SAID LAKESIDE ESTATES, PHASE ONE, A DISTANCE OF 857.41 FEET;
THENCE LEAVING SAID COMMON LINE AND GOING OVER AND ACROSS SAID 23.691 ACRE TRACT, THE FOLLOWING TWO (2) COURSES AND DISTANCES:
1) SOUTH 00 DEGREES 55 MINUTES 58 SECONDS EAST, A DISTANCE OF 284.06 FEET;
2) NORTH 89 DEGREES 04 MINUTES 05 SECONDS EAST, A DISTANCE OF 651.26 FEET TO THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD AND THE EAST LINE OF SAID 23.691 ACRE TRACT;
THENCE SOUTH 00 DEGREES 55 MINUTES 56 SECONDS EAST, ALONG SAID APPROXIMATE CENTERLINE AND EAST LINE, A DISTANCE OF 100.00 FEET;
THENCE LEAVING SAID APPROXIMATE CENTERLINE AND GOING OVER AND ACROSS SAID 23.691 ACRE TRACT, THE FOLLOWING FOUR (4) COURSES AND DISTANCES:
1) SOUTH 89 DEGREES 04 MINUTES 05 SECONDS WEST, A DISTANCE OF 524.56 FEET;
2) SOUTH 00 DEGREES 55 MINUTES 58 SECONDS EAST, A DISTANCE OF 50.96 FEET;
3) SOUTH 42 DEGREES 35 MINUTES 03 SECONDS EAST, A DISTANCE OF 206.76 FEET;
4) SOUTH 00 DEGREES 55 MINUTES 58 SECONDS EAST, A DISTANCE OF 90.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 16.379 ACRES OF LAND, MORE OR LESS.

OWNER
JASON & JESSICA BLAKELY
355 WINNINGKOFF ROAD
LUCAS, TEXAS 75002
(972) 424-4070

SAVINO
ZONING EXHIBIT
BEING
23.691 ACRES
SITUATED IN THE
PETER F. LUCAS SURVEY, A-537
TOWN OF LUCAS
COLLIN COUNTY, TEXAS

O'NEAL SURVEYING CO.
205 WINDCO CIR., STE. 100
WYLIE, TX 75098
TBPLS FIRM # 10194132
WWW.ONEALSURVEYING.COM

BEING 23.691 ACRES OF LAND LOCATED IN THE PETER F. LUCAS SURVEY, ABSTRACT NUMBER 537, TOWN OF LUCAS, COLLIN COUNTY, TEXAS, BEING ALL OF THE JASON BLAKELY AND JESSICA BLAKELY CALLED 23.691 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2022000147928, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (O.P.R.C.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

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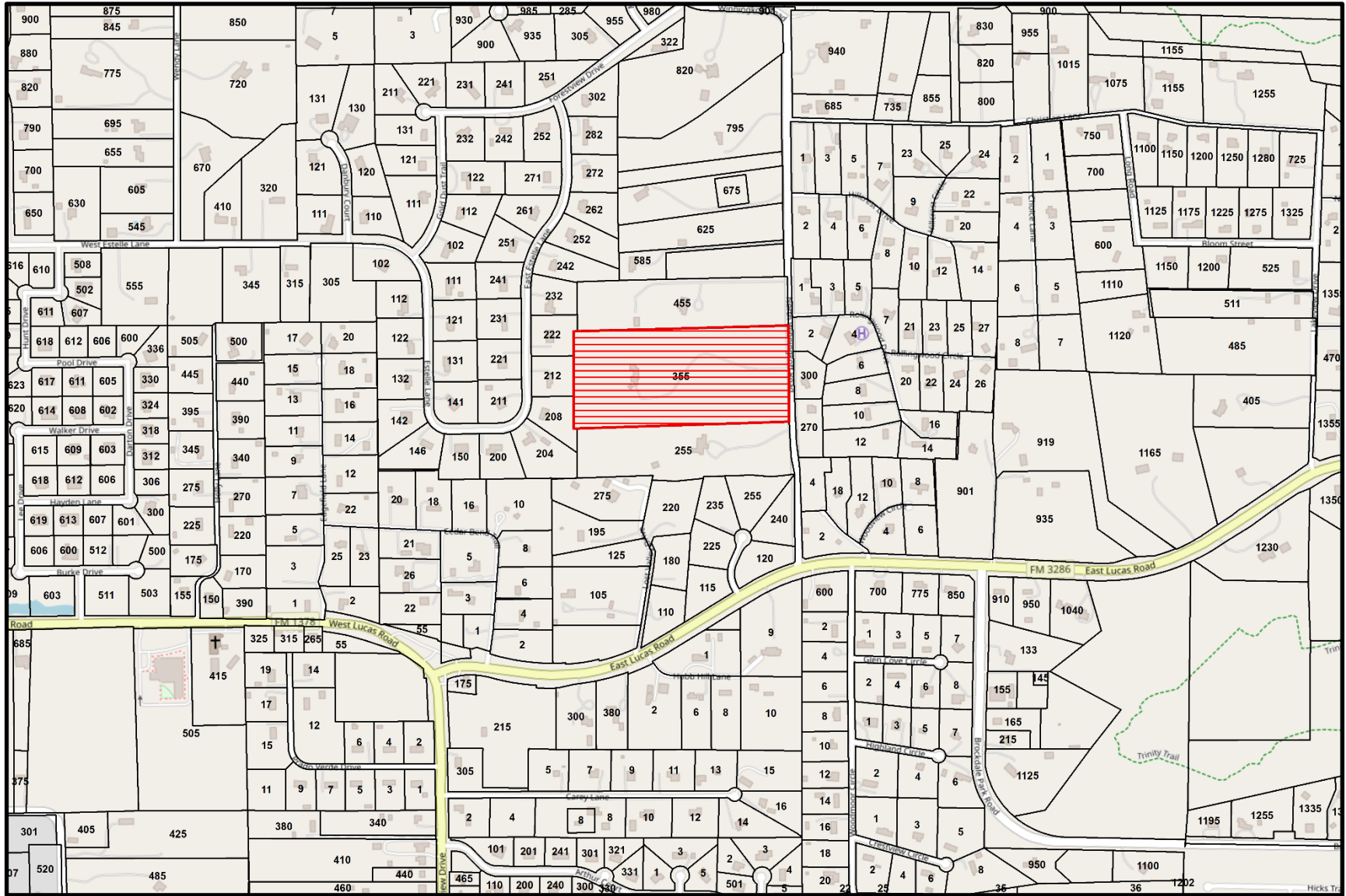
THENCE NORTH 00 DEGREES 18 MINUTES 22 SECONDS WEST, ALONG THE EAST LINE OF SAID HUNTWICK ADDITION, A DISTANCE OF 682.40 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHWEST CORNER OF SAID 23.691 ACRE TRACT, SAME BEING THE COMMON SOUTHWEST CORNER OF THE LAKESIDE ESTATES, PHASE ONE ADDITION, AN ADDITION TO THE TOWN OF LUCAS BY PLAT THEREOF RECORDED IN VOLUME K, PAGE 682, (P.R.C.C.T.);

THENCE NORTH 88 DEGREES 26 MINUTES 15 SECONDS EAST, ALONG THE COMMON LINE OF SAID 23.691 ACRE TRACT AND SAID LAKESIDE ESTATES, PHASE ONE, AT A DISTANCE OF 1463.71 FEET PASS A 1/2" IRON ROD FOUND AND CONTINUING FOR A TOTAL DISTANCE OF 1508.71 FEET TO A MAG NAIL SET IN THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD AT THE NORTHEAST CORNER OF SAID 23.691 ACRE TRACT;

THENCE SOUTH 00 DEGREES 55 MINUTES 56 SECONDS EAST, ALONG THE APPROXIMATE CENTERLINE OF WINNINGKOFF ROAD, A DISTANCE OF 682.47 FEET TO THE POINT OF BEGINNING AND CONTAINING 23.691 ACRES OF LAND, MORE OR LESS.



LOCATION MAP: 355 WINNINGKOFF ROAD





City of Lucas

Planning and Zoning Agenda Request

May 11, 2023

Item No. 02

Requester: Development Services Director Joe Hilbourn

Agenda Item Request

Conduct a public hearing and consider approving a request for a Planned Development zoning overlay on a parcel of land zoned Commercial Business (CB) on a tract of land being 42.339 acres (1,884,296 square feet) in the James Anderson Survey, Abstract Number 17, City of Lucas, Collin County, Texas, more commonly known as the Hunt tract at the northwest corner of the Parker Road and Country Club Road intersection.

- A. Presentation by Development Services Director Joe Hilbourn
- B. Conduct public hearing
- C. Take action on Zoning Change Request

Background Information

This lot is 42.339 acres of land currently located in a Commercial Business (CB) Zoning District. The applicant is proposing a planned development. The planned development concept plan and proposed development regulations submitted by the applicant are attached.

The applicant is proposing 218,462 square feet of building with a parking ratio of 8.61 per 1,000 square feet of gross space. The proposed uses include retail, fitness, gas station and restaurants.

Attachments/Supporting Documentation

1. Public Notice
2. Concept Plan
3. Legal Description
4. Proposed Development Regulations (submitted by applicant)
5. City of Lucas Zoning Use Chart
6. Signs
7. Color Board/Materials
8. Location Map

Budget/Financial Impact

NA

Recommendation

City staff recommends the following modifications:

In the Proposed Development Regulations (submitted by applicant) in paragraph C titled "Impervious Cover", the applicant is proposing that the maximum impervious coverage not exceed 80%. This might be problematic from a stormwater runoff drainage perspective. The City of



City of Lucas

Planning and Zoning Agenda Request

May 11, 2023

Item No. 02

Lucas' runoff drainage factors are based on 70% impervious cover. The City's current impervious cover requirement is 65%. When the drainage calculations were created, impervious cover was 70%. Altering the Proposed Development Regulations to 70% impervious cover may be more acceptable.

In the Proposed Development Regulations (submitted by applicant) in paragraph F titled "Height", the applicant is proposing a height not to exceed three stories or 45 feet, whichever is less. The City of Lucas Fire-Rescue Department does not have the equipment required to fight a fire that exceeds a height of 35 feet.

From the proposed uses in the applicant's Proposed Development Regulations, the following uses are currently permitted with a Special Use Permit (SUP) and the applicant is requesting that they be allowed by right:

- (1) Restaurants with or without drive-thru windows and service
- (2) Medical minor emergency clinic
- (3) Convenience store with refueling station that is associated with a grocery store
- (4) Convenience store with refueling station that is not associated with a grocery store shall be permitted by right if a building permit is obtained within 5 years of the anniversary date of this ordinance being adopted
- (7) Pet shop
- (8) Paint store
- (10) Vehicle wash shall be permitted by right if a building permit is obtained within 5 years of the anniversary date of this ordinance being adopted.

Staff does not recommend allowing the above-referenced uses by right.

The following proposed uses are permitted by right up to 50,000 square feet:

- (5) Department store (retail) shall be permitted by right if a building permit is obtained within 5 years of the anniversary date of this ordinance being adopted.
- (6) Grocery store of any size.

Staff recommends adjusting the above uses to up to 70,000 feet allowed by right, with any building greater than 70,000 square feet requiring a SUP.

Staff recommends prohibiting proposed use (9) Therapeutic massage.

In the Proposed Development Regulations (submitted by applicant) in paragraph K titled "Signs", staff recommends a maximum height of 14 feet for pylon signs and ten feet for monument signs.



City of Lucas
Planning and Zoning Agenda Request
May 11, 2023

Item No. 02

Motion

I make a motion to approve/deny a request for a Planned Development zoning overlay on a parcel of land zoned Commercial Business (CB) on a tract of land being 42.339 acres (1,884,296 square feet) in the James Anderson Survey, Abstract Number 17, City of Lucas, Collin County, Texas, more commonly known as the Hunt tract at the northwest corner of the Parker Road and Country Club Road intersection.



NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning & Zoning Commission of the City of Lucas, Texas, will conduct a Public Hearing on Thursday, May 11, 2023 at 6:30 p.m. and City Council will conduct a second Public Hearing on Thursday, June 01, 2023 at 6:30 p.m. at Lucas City Hall, 665 Country Club Road, Lucas, Texas to consider a request for a Planned Development zoning overlay on a parcel of land zoned commercial business described as follows:

BEING 42.339 acres (1,884,296 square feet) in the James Anderson Survey, Abstract Number 17, City of Lucas, Collin County, Texas; said 42.339 acres (1,884,296 square feet) of land being a portion of that certain tract of land described in a Special Warranty Deed to JCBR Holdings LLC (hereinafter referred to as JCBR Holdings tract), as recorded in Instrument Number 20110222000191070, Official Public Records, Collin County, Texas (O.P.R.C.C.T.); said 42.339 acres (1,884,296 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a one-half inch iron rod with plastic cap stamped "PJB Surveying" found for the Easterly Southeast corner of said JCBR Holdings tract, same being the intersection of the existing West right-of-way line of Southview Drive, also known as F.M. 1378 (90' right-of-way), as recorded in Volume 419, Page 227, Deed Records, Collin County, Texas, with the existing North right-of-way line of E. Parker Road, also known as F.M. 2514 (variable width right-of-way), as recorded in Instrument Number 20151116000374390, O.P.R.C.C.T.;

THENCE South 89 degrees 36 minutes 43 seconds West with the common line between said JCBR Holdings tract and the with the existing North right-of-way line of said E. Parker Road, a distance of 28.52 feet to a one-half inch iron rod with plastic cap stamped "PJB Surveying" found for corner;

THENCE South 00 degrees 23 minutes 17 seconds East, continue with the common line between said JCBR Holdings tract and the with the existing North right-of-way line of said E. Parker Road, a distance of 16.38 feet to a one-half inch iron rod with plastic cap stamped "PJB Surveying" found for corner;

THENCE South 45 degrees 07 minutes 20 seconds West, continue with the common line between said JCBR Holdings tract and the with the existing North right-of-way line of said E. Parker Road, a distance of 43.68 feet to a one-half inch iron rod with plastic cap stamped "PJB Surveying" found for corner;

THENCE North 89 degrees 48 minutes 09 seconds West, continue with the common line between said JCBR Holdings tract and the with the existing North right-of-way line of said E. Parker Road, a distance of 801.93 feet to a five-eighths inch iron rod found for corner;

THENCE South 88 degrees 26 minutes 02 seconds West, continue with the common line between said JCBR Holdings tract and the with the existing North right-of-way line of said E. Parker Road, a distance of 194.94 feet to a five-eighths inch iron rod found for corner;

THENCE North 89 degrees 51 minutes 22 seconds West, continue with the common line between said JCBR Holdings tract and the with the existing North right-of-way line of said E. Parker Road, a distance of 305.21 feet to a five-eighths inch iron rod found for corner;

THENCE North 86 degrees 12 minutes 25 seconds West, continue with the common line between said JCBR Holdings tract and the with the existing North right-of-way line of said E. Parker Road, a distance of 267.11 feet to a five-eighths inch iron rod found for corner, same being the beginning of a non-tangent curve to the right, whose long chord bears North 84 degrees 27 minutes 06 seconds West, a distance of 344.34 feet;

THENCE Westerly, continue with the common line between said JCBR Holdings tract and the with the existing North right-of-way line of said E. Parker Road, with said non-tangent curve to the right, having a radius of 1828.00 feet, through a central angle of 10 degrees 48 minutes 32 seconds, for an arc distance of 344.85 feet to a five-eighths inch iron rod found for corner;

THENCE North 72 degrees 59 minutes 09 seconds West, continue with the common line between said JCBR Holdings tract and the with the existing North right-of-way line of said E. Parker Road, a distance of 74.42 feet to a Texas Department of Transportation aluminum disk found for the Southwest corner of said JCBR Holdings tract;

THENCE North 60 degrees 07 minutes 41 seconds East, continue with the common line between said JCBR Holdings tract and the with the existing North right-of-way line of said E. Parker Road, pass at a distance of 3.92 feet, the Southeasterly corner of that certain tract of land described as Lot 1, Block C, Enchanted Creek Phase 1B, an addition to the City of Lucas, Collin County, Texas, according to the plat recorded in Instrument Number 2015-322, Plat Records, Colin County, Texas, continue with said course, departing the existing North right-of-way line of said E. Parker Road, with the common line between said JCBR Holdings tract and said Enchanted Creek Phase 1B for a total distance of 26.93 feet to a three-eighths inch iron rod with plastic cap stamped "PIBURN Partners" found for corner;

THENCE North 03 degrees 41 minutes 16 seconds East, continue with the common line between said JCBR Holdings tract and said Enchanted Creek Phase 1B, a distance of 83.63 feet to a one-half inch iron rod found for corner;

THENCE North 08 degrees 17 minutes 19 seconds West, continue with the common line between said JCBR Holdings tract and said Enchanted Creek Phase 1B, a distance of 429.75 feet to a three-eighths inch iron rod found for corner;

THENCE North 03 degrees 06 minutes 34 seconds West, continue with the common line between said JCBR Holdings tract and said Enchanted Creek Phase 1B, a distance of 298.52 feet to a three-eighths inch iron rod found for corner;

THENCE North 17 degrees 11 minutes 08 seconds East, continue with the common line between said JCBR Holdings tract and said Enchanted Creek Phase 1B, a distance of 11.54 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;

THENCE North 90 degrees 00 minutes 00 seconds East, departing the East line of said Enchanted Creek Phase 1B, crossing said JCBR Holdings tract, a distance of 1615.47 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;

THENCE North 00 degrees 00 minutes 00 seconds East, continue crossing said JCBR Holdings tract, a distance of 32.95 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;

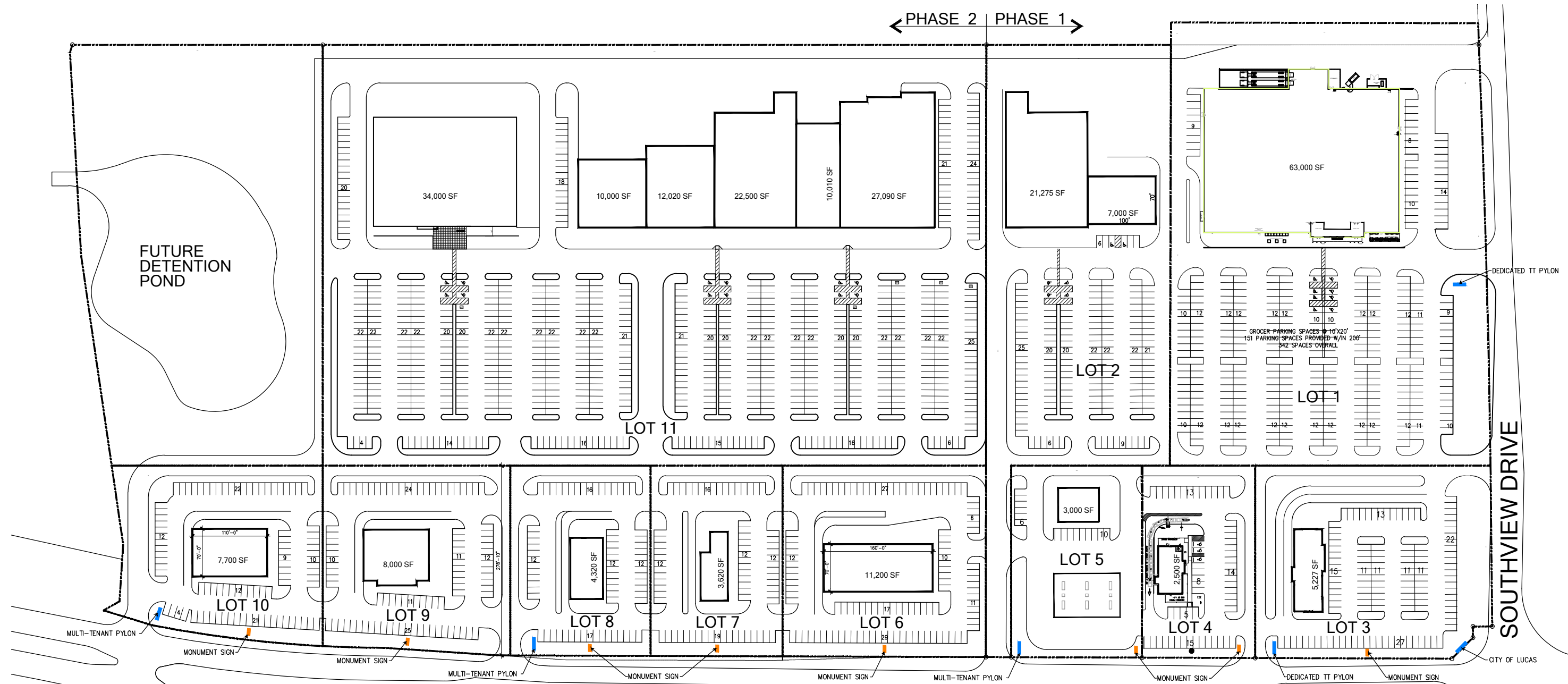
THENCE South 89 degrees 51 minutes 35 seconds East, continue crossing said JCBR Holdings tract, a distance of 451.66 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner in the east line of said JCBR Holdings tract, same being the existing West right-of-way line of the aforesaid Southview Drive;

THENCE South 01 degree 58 minutes 55 seconds East with the common line between said JCBR Holdings tract and the existing West right-of-way line of said Southview Drive, a distance of 472.43 feet to a one-half inch iron rod with plastic cap stamped "KIMLEY HORN" found for corner;

THENCE South 00 degrees 35 minutes 49 seconds East, continue with the common line between said JCBR Holdings tract and the existing West right-of-way line of said Southview Drive, a distance of 414.51 feet to the PLACE OF BEGINNING, and containing a calculated area of 42.339 acres (1,884,296 square feet) of land.

More Commonly know as The Hunt tract at the northwest corner of the Parker Road, and 1378 intersection

Those wishing to speak FOR or AGAINST the above item are invited to attend. If you are unable to attend and have comments you may send them to City of Lucas, City Secretary, 665 Country Club Road, Lucas, Texas 75002, email eday@lucastexas.us, and it will be presented at the Hearing. If you have any questions about the above hearing, you may contact jhilbourn@lucastexas.us



LOT	SITE AREA		BUILDING AREA	PARKING REQUIRED				TOTAL REQ'D	CODE PROV.	PARKING RATIO	LOT COVERAGE	
	SF	ACRES		Retail		Fitness*						
				1 PER	200	1/3 seats	75					
1	301,335	6.918	63,000 sf	63,000	315		0	315	338	5.365 /1000 SF	21%	
2	178,024	4.087	28,275 SF	24,775	124		3,500	171	174	6.154 /1000 SF	16%	
3	96,648	2.219	5,227 SF				5,227	70	124	23.723 /1000 SF	5%	
4	47,066	1.080	2,500 SF				2,500	34	55	22.000 /1000 SF	5%	
5	54,292	1.246	3,000 SF	3,000	15			15	16	5.333 /1000 SF	6%	
6	83,945	1.927	11,200 SF				11,200	150	112	10.000 /1000 SF	13%	
7	54,334	1.247	3,620 SF				3,620	49	71	19.613 /1000 SF	7%	
8	57,564	1.321	4,320 SF				4,320	58	69	15.972 /1000 SF	8%	
9	74,850	1.718	8,000 SF				8,000	107	93	11.625 /1000 SF	11%	
10	74,720	1.715	7,700 SF				7,700	103	90	11.688 /1000 SF	10%	
11	603,316	13.850	81,620 SF	47,620	239		34,000	454	693	737	9.030 /1000 SF	14%
POND	215,527	4.948										
TOTAL	1,841,621	42.278	218,462				693			618		

PARKER ROAD

SOUTHVIEW DRIVE

01 SITE PLAN



1" = 150'-0"

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

SP03

JOB NO: 23-021
ISSUE DATE: 4/6/2023
SCALE: AS NOTED



DALLAS, TX 972.385.9651
www.GSOarchitects.com

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PARKER RD @ SOUTHVIEW

LUCAS, TEXAS
VAQUERO VENTURES

LEGAL LAND DESCRIPTION:

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SECTION 1. DEVELOPMENT REGULATIONS.

The Property shall be developed and used in accordance with the provisions of the Zoning Ordinance applicable to the Commercial Business (CB) Zoning District subject to the following:

- A. Conceptual Site Plan:** The Property shall be used and developed substantially in accordance with the Concept Plan attached hereto as Exhibit “B” and incorporated herein by reference (“the Concept Plan”). Any additions or modifications to the concept plan shall be approved by the Development Services Director or their designee.
- B. Additional Permitted Use:** In addition to the uses permitted in a Commercial Business (CB) Zoning District, the Property may also be developed and used for the following purposes by right:
- (1) Restaurants with or without drive-thru windows and service;
 - (2) Medical minor emergency clinic;
 - (3) Convenience store with refueling station that is associated with a grocery store;
 - (4) Convenience store with refueling station that is not associated with a grocery store shall be permitted by right if a building permit is obtained within 5 years of the anniversary date of this ordinance being adopted;
 - (5) Department store (retail) shall be permitted by right if a building permit is obtained within 5 years of the anniversary date of this ordinance being adopted;
 - (6) Grocery store of any size;
 - (7) Pet shop;
 - (8) Paint store;
 - (9) Therapeutic massage;
 - (10) Vehicle wash shall be permitted by right if a building permit is obtained within 5 years of the anniversary date of this ordinance being adopted.
- C. Impervious Cover:** The maximum impervious coverage shall be calculated and assessed for the entire property and shall not exceed eighty percent (80%).
- D. Architectural Design and Buildings:** Buildings constructed on the property shall be designed around the Hill Country theme and comply with the following:
- (1) All building façades that (i) face a public street right-of-way (regardless of setback distance) or (ii) are located less than 50 feet from a residential land use or public

park property shall be designed with distinguishable architectural elements, such as a distinct base (wainscot), field wall and parapet with cornice, color and texture change, or accent lighting;

- (2) All single tenant buildings with entrances that face a street right-of-way shall be designed and constructed with pediments, columns, porticos, porches, overhangs, roof forms (peaked, domed, or curvilinear), an arcade, roof, alcove, or awnings.
 - (3) All buildings shall use colors and materials similar to Exhibit “C” and incorporated herein by reference (“the Finish Board”)
 - (4) Accent colors, building materials, and other architectural elements may be used to provide corporate identity in the structures.
- E. Setbacks:** All buildings and structures shall comply with the minimum setbacks set forth in Section 14.03.353 of the Zoning Ordinance.
- F. Height:** The maximum height of any building or structure shall not exceed three (3) stories or forty-five (45) feet, whichever is less.
- G. Lighting:** Unless otherwise shown on the Concept Plan, all lighting installed on the Property shall be pedestrian-scale, shielded and downcast, shall not exceed twenty (20) feet in height, and shall be directed away from adjacent properties and public rights-of-way.
- H. Landscaping:** Prior to issuance of a certificate of occupancy for any building located on the Property, all landscaping and irrigation complying with Section 14.03.354 of the Zoning Ordinance, with the following exceptions:
- (1) An average twenty foot (20’) wide landscape edge shall be required adjacent to all rights-of-way.
 - (2) Street trees shall be planted within all required right-of-way buffers at a ratio of one (1) large tree per each forty linear feet (40’) measured on center, or portion thereof, of street frontage. Trees may be grouped or clustered to accommodate certain site design features or signage locations.
- I. Parking:** All buildings and structures shall comply with the minimum and maximum parking standards set forth in Section 14.04.033 of the Zoning Ordinance and shall be permitted to vary from the minimum and maximum parking standard by 10%.
- J. Driveways and Ingress/Egress:** The location and spacing of driveways on the Property shall be generally consistent with the Concept Plan; provided, however, there may be permitted minor changes to the final location.
- K. Signs:** All signs shall be designed, constructed, and installed in accordance with the provisions set forth in Section 3.16.009 of the Code of Ordinances and comply with the following:

- (1) Pole signs shall not be permitted; and
- (2) All monument, pylon and multi-tenant signs shall be constructed and installed as shown on the sign plan in the general locations depicted.
- (3) All multi-tenant signs shall be permitted to advertise any business located within the property.
- (4) There shall be one city entry sign constructed, and located at the southwest corner of the property depicting "Welcome to Lucas".

L. Outside Storage Prohibited: Outside storage and sales, including, but not limited to, merchandise or equipment, is prohibited except for the following:

- (1) Seasonal outdoor display and storage shall be permitted on the sidewalk adjacent to the perimeter footprint for the buildings. Also, it shall be permitted within six feet (6') of the cashier office building and gas fuel pumps for the grocery store fuel station facility.
- (2) Seasonal outdoor sales and storage events shall be allowed without screening or fencing in the parking lot.

Ordinance No.
Exhibit A - Property Boundaries

BEING 42.339 acres (1,884,296 square feet) in the James Anderson Survey, Abstract Number 17, City of Lucas, Collin County, Texas; said 42.339 acres (1,884,296 square feet) of land being a portion of that certain tract of land described in a Special Warranty Deed to JCBR Holdings LLC (hereinafter referred to as JCBR Holdings tract), as recorded in Instrument Number 20110222000191070, Official Public Records, Collin County, Texas (O.P.R.C.C.T.); said 42.339 acres (1,884,296 square feet) of land being more particularly described, by metes and bounds, as follows:

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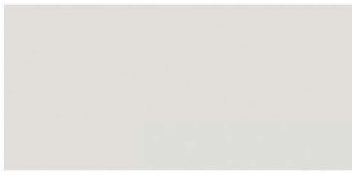
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Ordinance No.
Exhibit C – Finish Board



STUCCO - COLOR 1



ALUMINUM COMPOSITE PANEL
CHARCOAL



STUCCO - COLOR 2



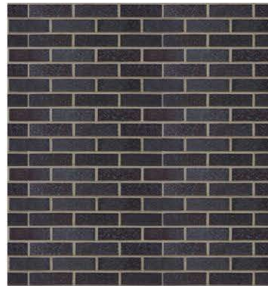
ALUMINUM COMPOSITE PANEL
CHAMPAGNE



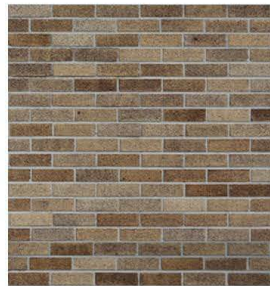
SPLIT FACE LIMESTONE



CUT COURSED LIMESTONE



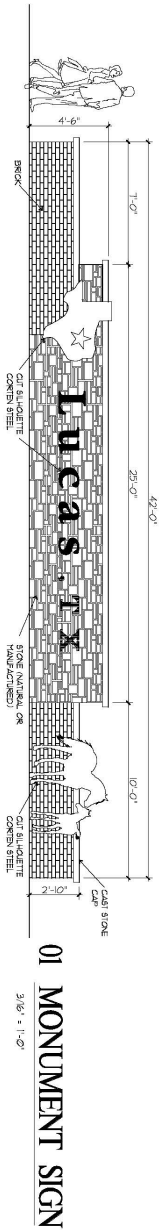
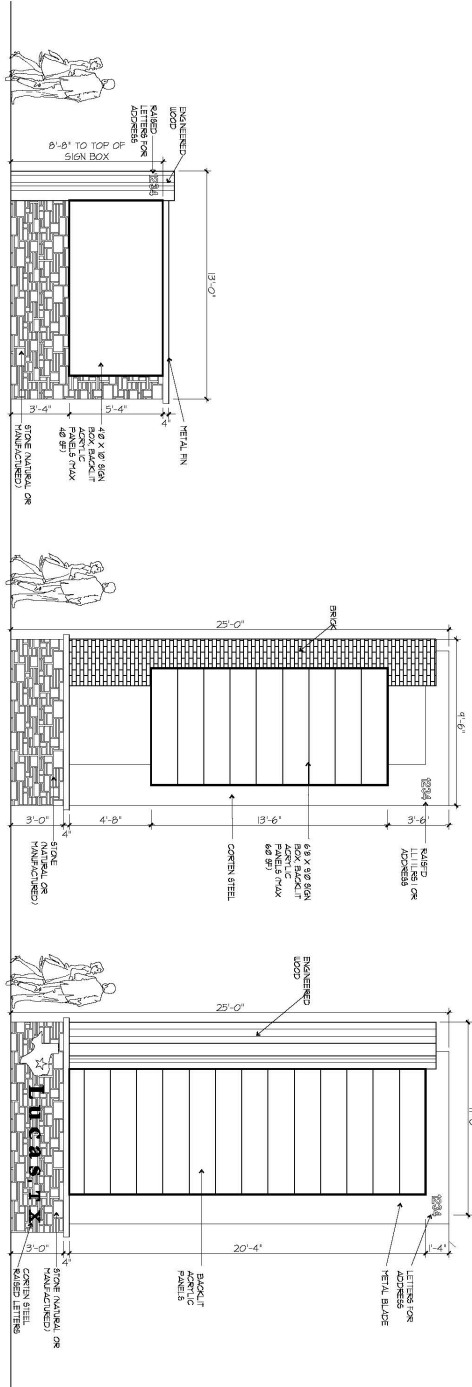
ACCENT BRICK



ACCENT BRICK



Ordinance No. Exhibit D – Sign Plan



GSO ARCHITECTS
DALLAS, TX
WWW.GSOARCHITECTS.COM
972.355.8951

PARKER RD & SOUTHWIEW/DR
LUCAS, TEXAS
VAQUERO VENTURES

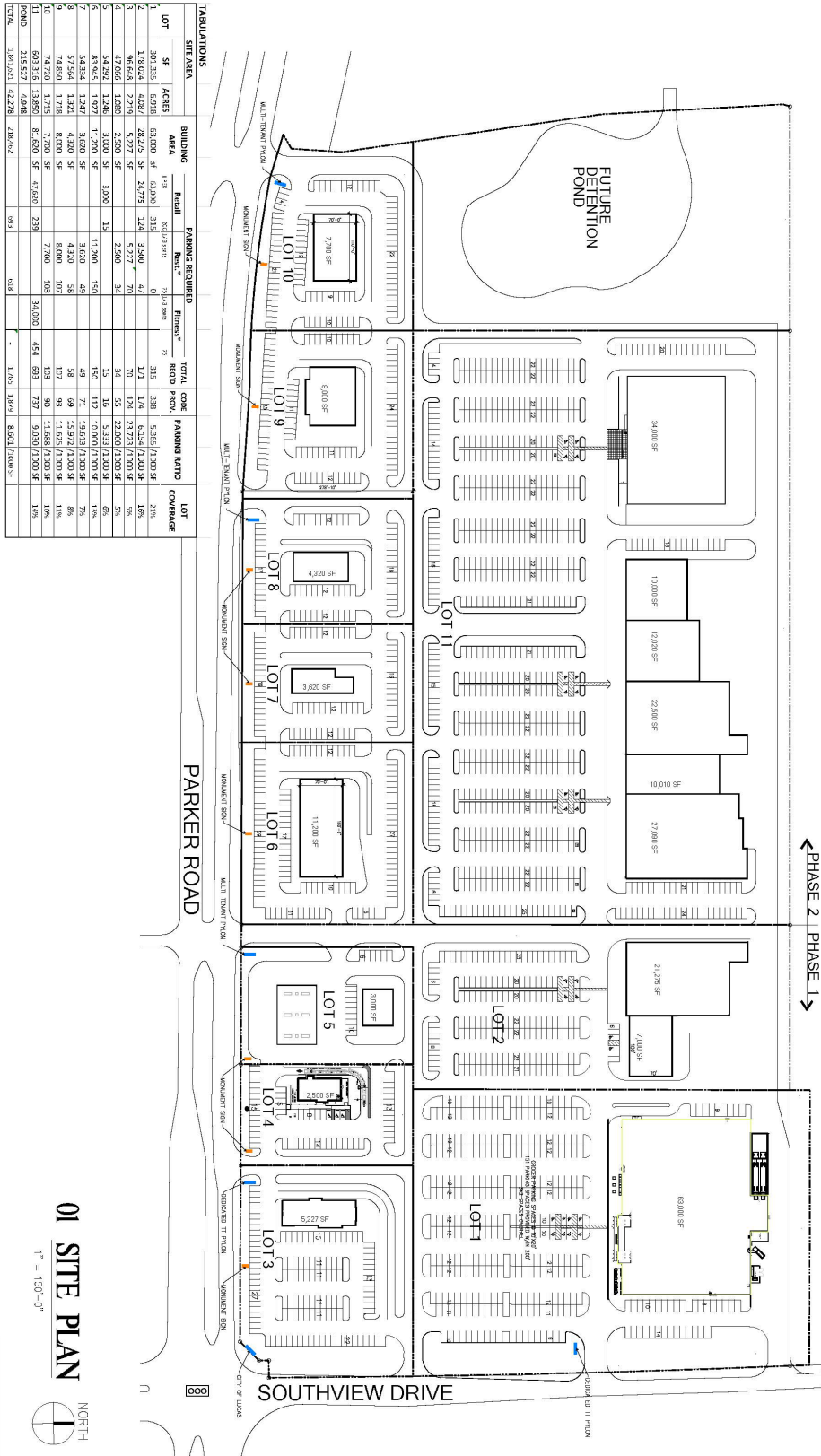
PRELIMINARY SIGN
NOT FOR CONSTRUCTION

SIGN

JOB NO. 23-01
SIGN DATE: 08/29/23
SCALE: 1/8" = 1'-0"

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Ordinance No. Exhibit D – Sign Plan



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PARKER RD @ SOUTHVIEW

VAQUERO VENTURES
 LUCAS TEXAS

SP03

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION
 04/10/2023
 05/01/2023
 SCALES AS NOTED

01 SITE PLAN
 NORTH
 1" = 150'-0"

DIVISION 15
Schedule of Uses

§ 14.03.801. Use designations.

- (a) The use of land and/or buildings shall be in accordance with those listed in the following schedule of uses chart. No land or building shall hereinafter be used and no building or structure shall be erected, altered, converted other than for those uses specified in the zoning district in which it is located. The legend for interpreting the permitted uses in this schedule of uses is:

X	Designates use permitted in the zoning district indicated
	Designates use prohibited in district indicated
S	Designates use may be approved by specific use permit. (See also section 14.02.081)

- (b) If a use is not listed, it is not allowed in any district.
- (c) Use chart organization.
- (1) Residential uses.
 - (2) Educational, institutional, public and special uses.
 - (3) Office and professional.
 - (4) Retail and related uses.
 - (5) Automobile, transportation, utility, communication and related uses.
 - (6) Other uses.
- (d) Classification of new/unlisted uses. It is recognized that new types of land use will develop and forms of land use not presently anticipated may seek to locate in the city. In order to provide for such changes and contingencies, a determination as to the appropriate classification of any new or unlisted form of land use in the schedule of uses chart shall be made as follows:
- (1) Initiation.
 - (A) A person, city department, the planning and zoning commission, or city council may propose zoning amendments to regulate new and previously unlisted uses.
 - (B) A person requesting the addition of a new or unlisted use shall submit to the director of planning all information necessary for the classification of the use, including but not limited to:
 - (i) The nature of the use and whether the use involves dwelling activity, sales, services, or processing;
 - (ii) The type of product sold or produced under the use;
 - (iii) Whether the use has enclosed or open storage and the amount and nature of the storage;
 - (iv) Anticipated employment typically anticipated with the use;
 - (v) Transportation requirements;

- (vi) The nature and time of occupancy and operation of the premises;
 - (vii) The off-street parking and loading requirements;
 - (viii) The amount of noise, odor, fumes, dust, toxic materials and vibration likely to be generated; and
 - (ix) The requirements for public utilities such as sanitary sewer and water and any special public services that may be required.
- (2) The development services director shall refer the question concerning a new or unlisted use to the planning and zoning commission requesting a recommendation as to the zoning classification into which such use should be placed. The referral of the use interpretation question shall be accompanied by the statements of facts in subsection (B) above. An amendment to this chapter shall be required as prescribed by ordinance.
 - (3) The planning and zoning commission shall consider the nature and described performance of the proposed use and its compatibility with the uses permitted in the most similar and should be permitted.
 - (4) The planning and zoning commission shall transmit its findings and recommendations to the city council as to the classification proposed for any new or unlisted use. The city council shall approve [or] disapprove the recommendation of the planning and zoning commission or make such determination concerning the classification of such use as is determined appropriate based upon its findings. If approved, the new or unlisted use shall be amended in the use charts of the zoning ordinance according to ordinance.
 - (5) Standards for new and unlisted uses may be interpreted by the director of planning as those of a similar use. When a determination of the appropriate zoning district cannot be readily ascertained, the same criteria outlined in subsection (B) above shall be followed for determination of the appropriate district. The decision of the director of planning may be appealed according to the process outlined in subsections (2) through (4) above.
- (e) Schedule of uses chart.

Use	AO	R2	R1.5	R1	VC	CB	OS	MH	LI	ED
Residential uses										
Accessory buildings	X	X	X	X			X	X		X
Accessory buildings with habitable space	X	X	X	X						
Caretaker/guard residence	X					S			X	
Community home	X	X	X	X						
Home occupation	X	X	X	X				X		X
Mobile home on individual lot								X		
Mobile home park								X		
Multifamily residence								X		
Registered family home	S	S	S	S						
Single-family dwelling (detached)	X	X	X	X						X
Temporary field construction office	X	X	X	X	X	X			X	X
Educational, institutional, public and special uses										
Adult, child care or day care center	S					X		S		S
Amateur communications antenna	X	X	X	X				X		
Athletic stadium or field (not with public school)	S	S	S	S		S			S	
Church including church related activities	X	X	X	X	X	X	X	X	X	X
Community center (public)	X	X	X	X	X	X		X	X	
Equestrian facilities	X	S				X	X		X	
Equestrian boarding	X	X				X	X		X	
Farm, ranch, garden or orchard	X	X	X	X		X	X	X	X	
Fire or police station	X	X	X	X	X	X		X	X	
Government offices (federal, state, county, city)	X	X	X	X	X	X	X	X	X	
Halfway house									X	
Hospital						S			X	
Clinic					S	X			X	
Library (public)	X	X	X	X	X	X		X	X	

Use	AO	R2	R1.5	R1	VC	CB	OS	MH	LI	ED
Movie theater						X			X	
Municipal uses operated by the city	X	X	X	X	X	X	X	X	X	
Museum	X	S	S	S	X	X		S	X	
Nursing home					S	S			S	
Pet boarding	S					S			S	
Pet day care						S			S	
Philanthropic institutions					S	X			X	
Public park or playground	X	X	X	X	X	X	X	X	X	
Radio, TV antenna or tower						S			S	
Broadband antenna support structure	X	X	X	X						
Recreation area					S	X			X	
Retirement home/senior independent living facility					S	S			S	
School (private)	S	S	S	S	S	X		S	X	
School (public)	X	X	X	X	X	X	X	X	X	X
School, trade or commercial	S				S	S			X	
Trade days/periodic or seasonal open market	S					S			X	
Office and Professional										
General professional office					X	X			X	
Bank or credit union					X	X			X	
Medical/dental clinic					X	X			X	
Medical laboratory					S	S			X	
Medical minor emergency clinic					S	S			X	
Radio broadcasting without tower					S	X			X	
Real estate sales office (permanent)					X	X			X	
Retail and Related Uses										
Antique shop					X	X			X	
Art and craft supply store					X	X			X	

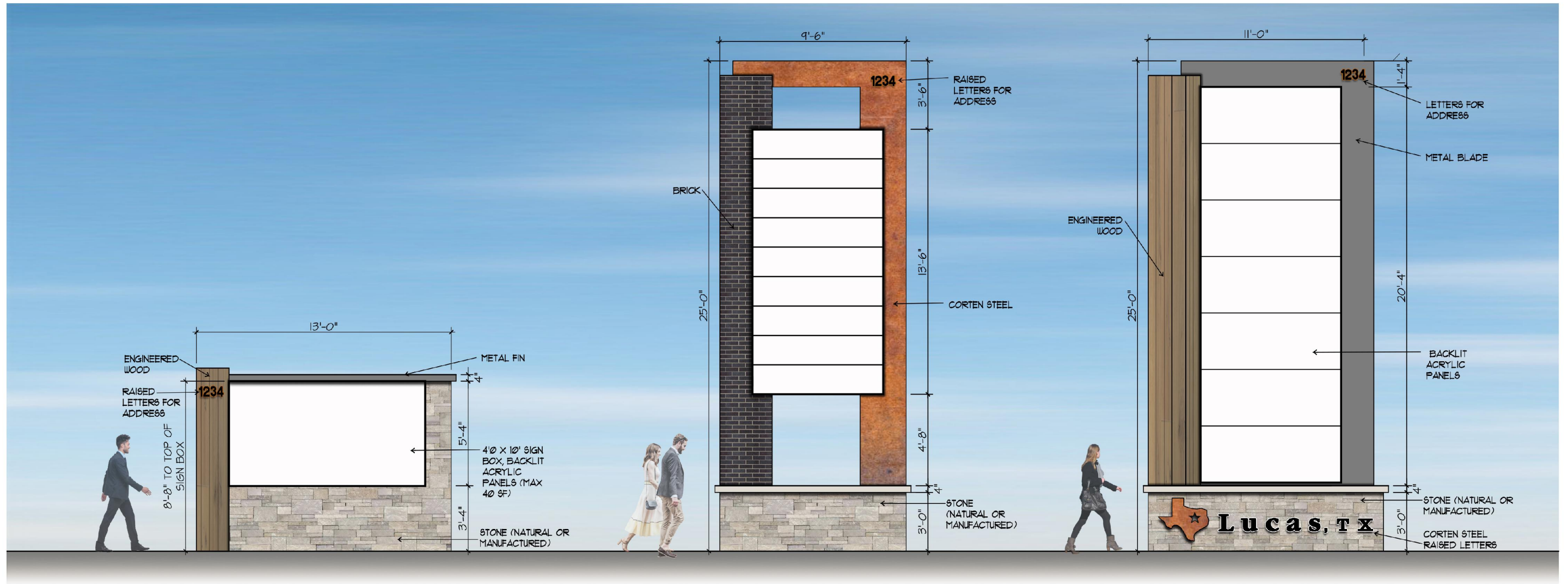
Use	AO	R2	R1.5	R1	VC	CB	OS	MH	LI	ED
Bakery (retail)					X	X			X	
Barber shop or beauty salon					X	X			X	
Bicycle, lawnmower sales, repair enclosed						X			X	
Bookstore					X	X			X	
Building materials and hardware (inside)						X			X	
Camera store					X	X			X	
Ceramics store						X			X	
Clothing, apparel or shoe store (new)					X	X			X	
Coffee house					S	X			X	
Computer sales and repair (new and used)					X	X			X	
Convenience store with refueling station						S			X	
Convenience store without refueling station					X	X			X	
Dance studio or gymnastics					S	X			X	
Department store (retail)					S	S			S	
Donut shop					X	X			X	
Driving school						X			X	
Dry cleaning/laundry (no plant on site)					X	X			X	
Dry cleaning plant									X	
Fabric store					X	X			X	
Farmer's market	S				S	S			X	
Feed store						X			X	
Fish and tackle store					S	X			X	
Florist					X	X			X	
Funeral home						X			X	
Furniture store, home furnishings					X	X			X	
Gift shop (new merchandise)					X	X			X	
Grocery store					X	X			X	

Use	AO	R2	R1.5	R1	VC	CB	OS	MH	LI	ED
Gunsmith						S			S	
Hobby or toy store					X	X			X	
Ice cream or frozen yogurt sales					X	X			X	
Kennels	S								S	
Key shop or locksmith					X	X			X	
Laundromat (self-service)								S		
Meat market (retail)					X	X			X	
Medical aids and equipment					X	X			X	
Musical instrument sales and repair					X	X			X	
Nursery (retail)						X			X	
Outside display of merchandise	S					S			S	
Optical store					X	X			X	
Paint store						S			X	
Pet shop					S	S			S	
Pharmacist or drug store (without drive thru)					X	X			X	
Pharmacist or drug store (with a drive thru)					S	S			S	
Printing shop						X			X	
Produce stand (including wood and seasonal items)	S				S	X			X	
Recycling collection center						X			X	
Refueling station						S			X	
Restaurant, cafe or cafeteria (excluding smoked on site)					X	X			X	
Restaurant drive in					S	S			X	
Restaurant (food smoked on site)					S	S			X	
Self-storage						S			S	
Sporting goods					X	X			X	
Tack and saddle shop	S				X	X			X	
Therapeutic message					S	S			S	

Use	AO	R2	R1.5	R1	VC	CB	OS	MH	LI	ED
Used clothing store					S	S			S	
Veterinarian office (with outside pens)						S			X	
Veterinarian office (without outside pens)						X			X	
Wallpaper, flooring and carpet supply						X			X	
Automobile, Transportation, Utility, Communication and Related Uses										
Auto paint (in building)						S			S	
Auto parts store						X			X	
Automotive repair minor						S			S	
Automobile sales (new)						S			X	
Automobile sales (used)						S			X	
Boat sales (new or used)						S			X	
Communication towers						S			S	
Electrical substation	S	S	S	S		S	S	S	S	
Manufacturing (light industrial - enclosed only)									X	
Mobile home sales (new or used)									S	
Motorcycle repair/paint (enclosed)						S			X	
Recreation vehicle sales (new or used)									X	
Telephone exchange	S	S	S	S		S	S	S	S	
Truck sales (new)									X	
Truck sales (used)									X	
Truck rental, leasing									X	
Trailer rental/sales									X	
Tractor sales (new or used)									X	
Vehicle leasing or rental						S			X	
Vehicle wash						S			X	
Water utilities	X	X	X	X	X	X	X	X	X	
Other uses										

Use	AO	R2	R1.5	R1	VC	CB	OS	MH	LI	ED
Forestry	S									
Mining	S									
RV, boat, motorized or non-motorized vehicles, (inside or outside storage)									S	
Temporary real estate sales office		X	X	X	X					

(Ordinance 2008-11-00634 adopted 11/20/08; Ordinance 2012-05-00715, sec. 4, adopted 5/17/12; Ordinance 2012-10-00737 adopted 10/4/12; Ordinance 2016-03-00832 adopted 3/3/16; Ordinance 2016-10-00845 adopted 10/20/16; Ordinance 2017-04-00853 adopted 4/6/17; Ordinance 2017-07-00859 adopted 7/6/17; Ordinance 2018-03-00876 adopted 3/1/18; Ordinance 2020-12-00927 adopted 12/17/20)



04 SINGLE-TENANT SIGN

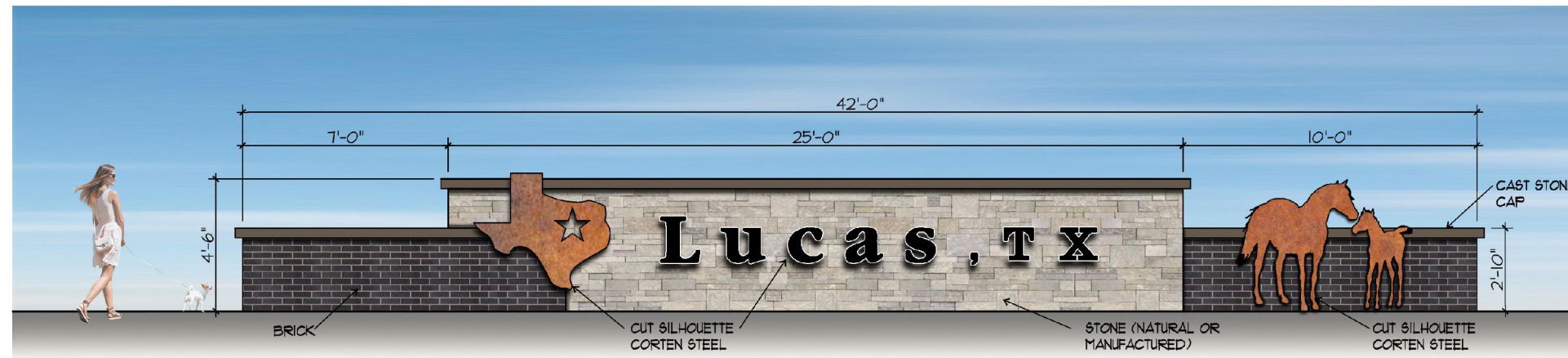
3/16" = 1'-0"

03 MULTI-TENANT SIGN

3/16" = 1'-0"

02 MULTI-TENANT SIGN

3/16" = 1'-0"

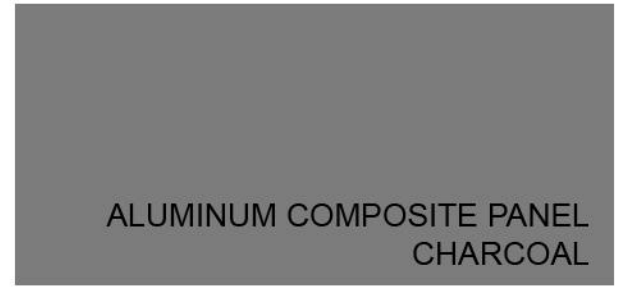


01 MONUMENT SIGN

3/16" = 1'-0"



STUCCO - COLOR 1



ALUMINUM COMPOSITE PANEL
CHARCOAL



STUCCO - COLOR 2



ALUMINUM COMPOSITE PANEL
CHAMPAGNE



SPLIT FACE LIMESTONE



CUT COURSED LIMESTONE



ACCENT BRICK



ACCENT BRICK



City of Lucas

Planning and Zoning Agenda Request

May 11, 2023

Item No. 03

Requester: Development Services Director Joe Hilbourn

Agenda Item

Consider corrections to the request by Majed Khalaf on behalf of Mahmoud Properties for a site plan, landscape plan, and elevations for use as a commercial retail and office center on a 2.25-acre tract of land in the Jas Lovelady Survey, Abstract Number ABS A0538, Tract 14 situated in the City of Lucas, Collin County, Texas, located at 995 West Lucas Road.

Background Information

This parcel of land is currently zoned for Commercial Business (CB), contains 2.25 acres of land, and proposes commercial retail and office space.

At the April 13, 2023 Planning and Zoning Commission meeting, this item was tabled in order to allow the developer to make the following corrections:

- Modify the building height for Building B to 15 feet with a parapet wall to accommodate the 30 foot setback from the property line, which will also require the east end of Building A to be modified.
- Modify the site plan to include the setback line on the east side of the property.
- Modify landscape plan to add clear paths from the parking lot to the entrances of businesses.
- Impervious cover amount modified to account for all concrete that will be in the plan.

Site Plan: The site plan proposes three new buildings. Building A consists of 7,565 square feet on the first floor and 5,737 square feet on the second floor, for a total of 13,302 square feet. Building B is a single-story consisting of 8,654 square feet. Building C is a single-story consisting of 2,640 square feet. The total square footage for all buildings is 24,596 square feet. There are two existing buildings that will have to be demolished prior to the build out of the property. Total impervious cover permitted is 63,482 square feet (65%), total impervious proposed is 59,574 square feet (61%). 82 parking spaces are required, 82 spaces are provided. Minimum lot size permitted is 43,500 square feet, provided is 97,666 square feet. The water main is 8-inch looped. The 24-foot-wide fire lanes meet the minimum standard for turn radius R30.

Landscape Plan: The total site area is 97,656 square feet. Landscape area required is 14,648 square feet, landscape area provided is 34,480 square feet. The 244 linear feet located on West Lucas Road requires 22 trees, and 22 are provided. Shrubs required are 98, and 98 are provided. Parking perimeter is 211 linear feet. 11 trees are required, 22 are provided. Shrubs required are 85, provided are 98. Parking interior landscape required is 1,672 square feet. Provided is 2,777 square feet. Interior parking trees required is 9, and 9 are provided. All interior landscape elements are irrigated. On the west side of the property the applicant is proposing a live screen in lieu of a masonry screen wall. The property on the east side is zoned R-2 (Residential 2-Acre) but has a specific use permit overlay permitting commercial use. The property is currently used as a real estate office and sports training facility. The applicant is proposing a total of 133 wax myrtle trees on the east and west side to replace the masonry screen wall.



City of Lucas

Planning and Zoning Agenda Request

May 11, 2023

Elevations: Building finishes are a mix of stucco, stone tile, and glazing. Wall signage proposed is 345.5 square feet. A maximum of two monument signs are permitted (one every 100 linear feet of road frontage). Two monument signs are proposed, both less than 40 square feet. The buildings meet the City's requirements for changes in direction. The maximum uninterrupted length is 60 feet. Max building height permitted is 35 feet. Side yard setbacks shall be a minimum of 20 feet. Where a Commercial Business (CB) zone abuts on the side of a property zoned as single-family residential, each portion of a building in excess of 10 feet in height shall be set back two additional feet for each additional one foot in height. Building A's west end is 34 feet, 6 inches tall, east end is 19 feet, 4 inches tall. Building B is 19 feet, 4 inches tall. Building C is 21 feet tall. Buildings on the east side of the property are set back 30 feet so the maximum height permitted is 20 feet.

Attachments/Supporting Documentation

1. Site Plan, Landscape Plan, Elevations
2. Site Plan, Landscape Plan, Elevations Checklists
3. Application
4. OSSF Design
5. Civil Construction Plans
6. Location Map

Budget/Financial Impact

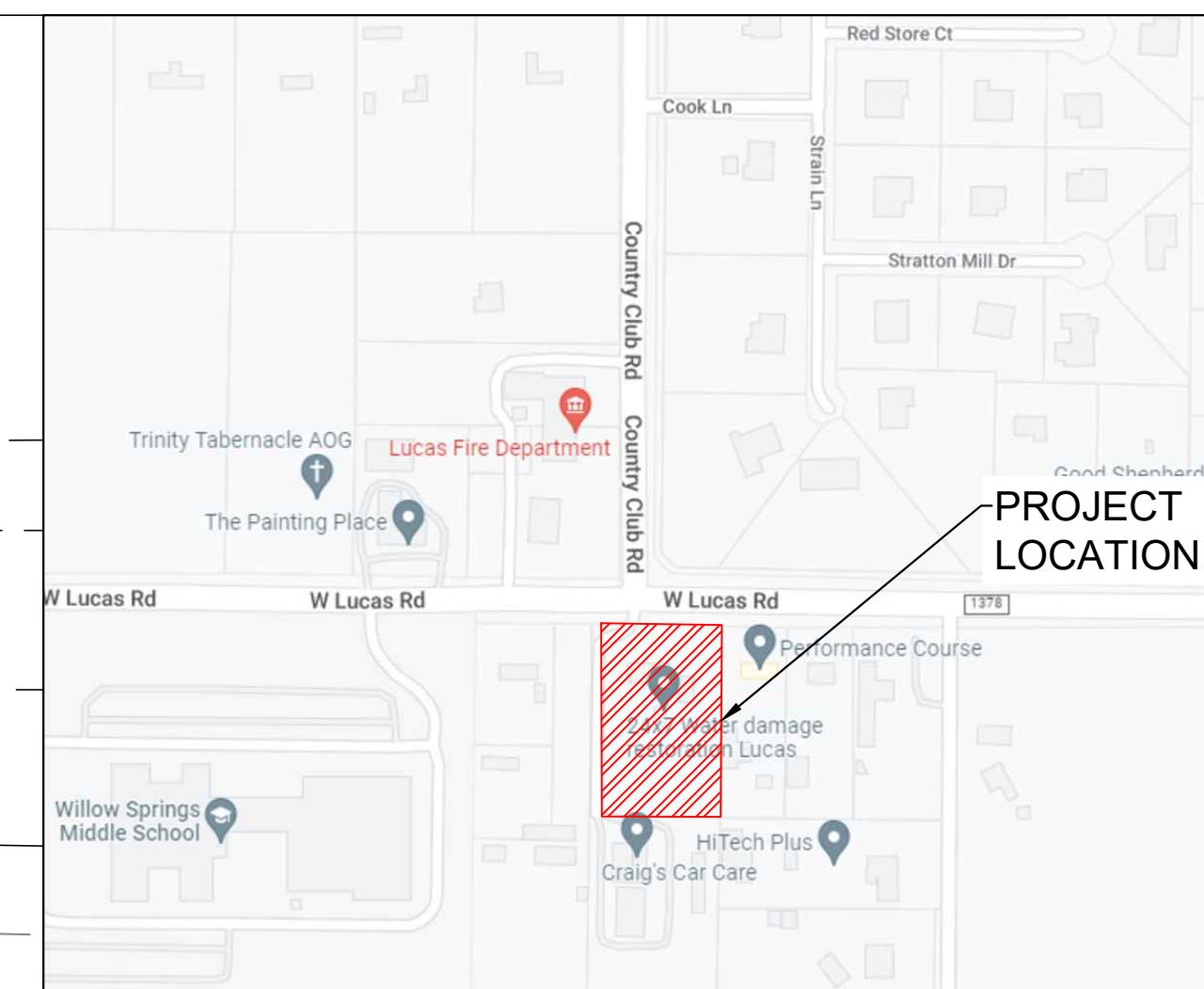
NA

Recommendation

Staff recommends approval of a recommendation to the City Council to approve the site plan, landscape plan, and elevations.

Motion

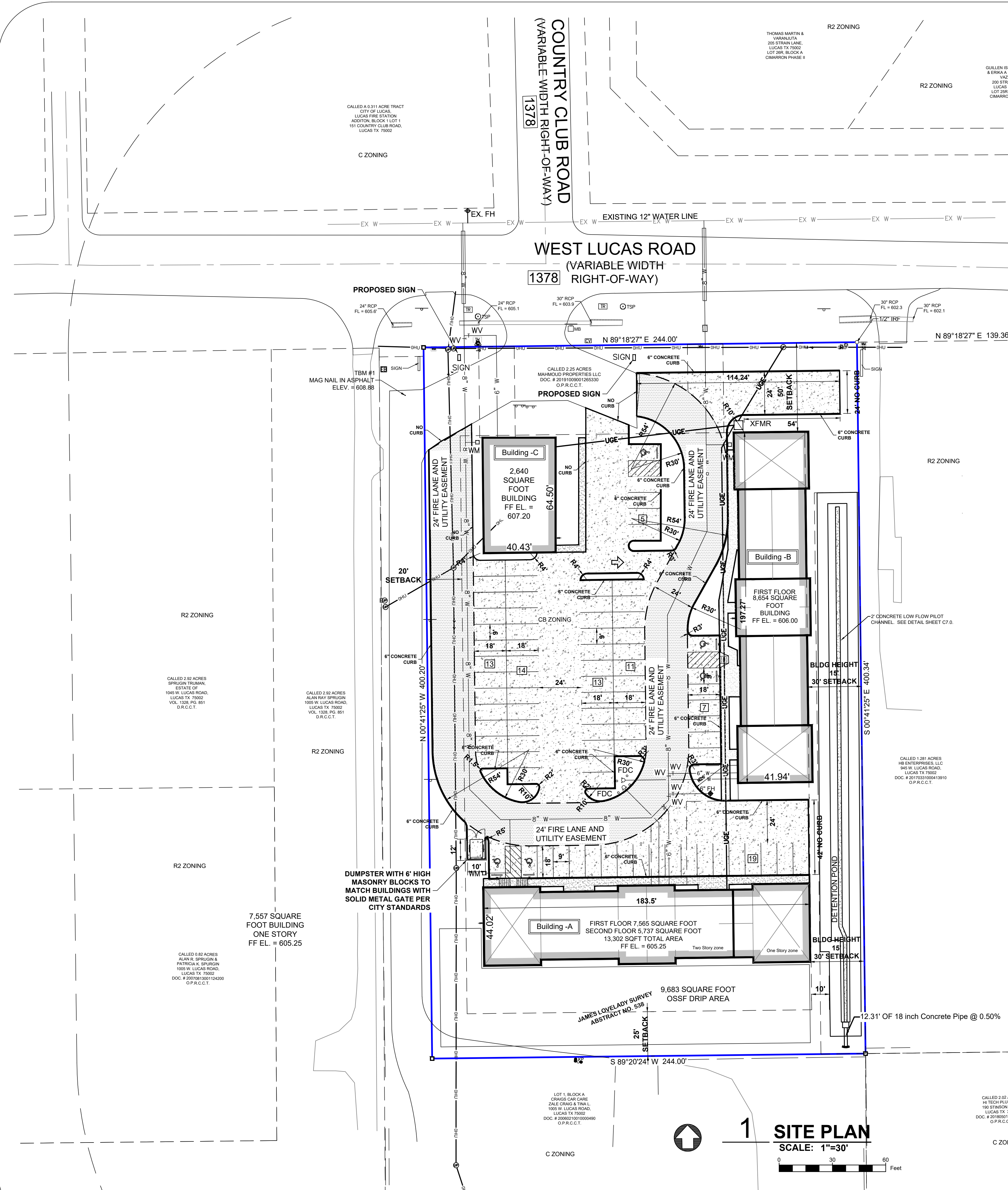
I make a motion to recommend to the City Council to approve/deny the request by Majed Khalaf on behalf of Mahmoud Properties for a site plan, landscape plan, and elevations for use as a commercial retail and office center on a 2.25-acre tract of land in the Jas Lovelady Survey, Abstract Number ABS A0538, Tract 14 situated in the City of Lucas, Collin County, Texas, located at 995 West Lucas Road.



2 LOCATION MAP
 SCALE: NTS

LUCAS COMMERCIAL CENTER

**995 WEST LUCAS ROAD,
 LUCAS, TEXAS 75002**



SITE PLAN INFORMATION

Category	Required by Zoning Ordinance for "CB" Commercial Business	Provided
Lot Area	30,000 S.F.	97,666 S.F.
Lot Width	None	244.00 Ft.
Lot Depth	None	400.34 Ft.
Building Coverage	40% Max 39,066 S.F.	19.3% 18,859 S.F.
Front Setback	50 Ft.	52 Ft.
Side Setback	30 Ft.	30.00 Ft.
Rear Setback	25 Ft.	31.50 Ft.
Impervious Area	63,482 SF (65%)	60,257 SF (61.7%)
Landscape Area	10% 9,766 S.F.	38.3% 37,409 S.F.
Building Uses	Retail, Commercial, Offices	Offices
Building Heights	35' Max.	Bldg A 1st Story - 15 Ft. Bldg B 1 Story - 15 Ft.
Parking Spaces	1 per 300 S.F. of Gross Building Square Footage 82 Total Spaces	77 Standard Spaces 5 Handicap Spaces 82 Total Spaces

LEGEND - SITE PLAN

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- BUILDING SETBACK
- EASEMENT
- FIRE LANE STRIPING
- W --- PROPOSED WATER LINE
- SS --- PROPOSED SANITARY SEWER LINE
- EX W --- PROPOSED STORM SEWER LINE
- EX W --- EXISTING WATER LINE
- EX SS --- EXISTING SANITARY SEWER LINE
- EX SS --- EXISTING STORM SEWER LINE
- EX G --- EXISTING GAS LINE
- EX OHE --- EXISTING OVERHEAD ELECTRIC LINE
- EX UGE --- EXISTING UNDERGROUND ELECTRIC LINE
- EX UGT --- EXISTING UNDERGROUND TELEPHONE LINE
- EX UGC --- EXISTING UNDERGROUND CABLE LINE
- PROPOSED CONCRETE PAVEMENT
- PROPOSED FIRE LANE PAVEMENT
- PROPOSED SIDEWALK
- EXISTING ASPHALT PAVEMENT
- EXISTING TREE TO REMAIN
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- PROPOSED WATER METER
- PROPOSED MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- EXISTING WATER METER
- EXISTING MANHOLE
- EXISTING POWER POLE

- CONSTRUCTION NOTES**
- BUILDING SILL ELEVATIONS AND SEWER INVERTS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
 - THE MINIMUM SLOPE FOR SANITARY SEWER LATERALS: SHALL BE 0.010 FT/FT (6" LATERALS AT MINIMUM 1%, 4" LATERALS AT MINIMUM 2%).
 - PROGRESSION OF WORK: IN GENERAL WORK SHALL PROCEED FROM THE DOWNSTREAM END OF A SEWER LINE SEGMENT TO THE UPSTREAM END OF THE SEGMENT.
 - THE MAXIMUM LENGTH OF OPEN TRENCH SHALL BE LIMITED TO NO MORE THAN THREE PIPE LENGTHS IN A SEWER SEGMENT.
 - THE MINIMUM TRENCH WIDTH SHOULD BE NO LESS THAN 24 INCHES OR ONE FOOT GREATER THAN OUTSIDE DIAMETER OF THE PIPE, WHICHEVER IS GREATER.
 - THE MINIMUM DEPTH OF COVER ABOVE THE TOP OF PIPE FOR WATER LINE INSTALLATIONS SHALL BE 4 FEET.
 - WATER MAINS AND SERVICES: LOCATIONS SHOWN ARE APPROXIMATE AND ARE INDICATED FOR GENERAL REFERENCE ONLY UNLESS OTHERWISE NOTED.
 - ALL EXISTING UNDERGROUND FEATURES SUCH AS SEPTIC TANKS, LEACH FIELDS, SANITARY SEWERS, ETC. ARE APPROXIMATE ONLY AND ARE INDICATED FOR GENERAL REFERENCE AND DESIGN UNLESS OTHERWISE NOTED.
 - WORK IN PRIVATE PROPERTY: THE CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO BEGINNING WORK IN ANY PRIVATELY OWNED AREAS WHICH WILL REQUIRE EASEMENTS FOR CONSTRUCTION.

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SIDEWALKS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL COORDINATE UTILITY POLE RELOCATION WITH THE UTILITY COMPANY.
 - CONCRETE AND FLEXBASE SECTION DESIGNS WILL SUPPORT TYPICAL FIRE APPARATUS LOADS.
 - PROPOSED DOMESTIC WATER AND FIRE FLOW WILL BE SUPPLIED BY CITY OF LUCAS.

SITE PLAN

OWNER:
 MAHMOUD PROPERTIES LLC
 844 ELGIN COURT,
 ROCKWALL, TX 75032

ENGINEER:
 ROC DESIGN ENGINEERS
 Texas Firm F-13744
 9101 N. LBJ FWY, SUITE 570
 Dallas, Texas 75243
 Phone 972.639.8375

LUCAS COMMERCIAL CENTER

Called 2.25 Acres
 MAHMOUD PROPERTIES LLC
 DOC. # 20191009001265330
 O.P.R.C.C.T.

No.	Revision/Issue	Date

STATE OF TEXAS
 MAJED A. KHALAF
 LICENSED PROFESSIONAL ENGINEER
 67826
 04/30/2023

Issued Date: 04-30-23
 Project No: 22014

Drawn By: JPK
 Checked By: MAK
 Designed By: JPK

Project: 220014 Sheet: Date: 04/30/23 Scale: 1" = 30'

PLANT SCHEDULE

TREES	CODE	COMMON / BOTANICAL NAME	SIZE	CONTAINER	QTY
	EX	Existing Tree to Remain protect during construction	exist.	exist.	2
	CC	Texas Red Bud / <i>Cercis canadensis</i> parking lot tree; multi-trunk	CONT.	3'Cal	4
	DW2	Desert Willow / <i>Chilopsis linearis</i> street tree (ornamental)	CONT.	3'Cal	13
	IV	Yaupon Holly / <i>Ilex vomitoria</i> street tree	CONT.	3'Cal	7
	BRO	Burr Oak / <i>Quercus macrocarpa</i> parking lot	CONT.	3'Cal	4
	CE	Cedar Elm / <i>Ulmus crassifolia</i> parking lot	CONT.	3'Cal	4
SHRUBS	CODE	COMMON / BOTANICAL NAME	SIZE	QTY	
	GA	Glossy Abelia / <i>Abelia grandiflora</i> 30" o.c.	5 gal	89	
	IN	Dwarf Yaupon / <i>Ilex vomitoria</i> 'Nana' 24" o.c.	3 gal	25	
	WXM	Southern Wax Myrtle / <i>Myrica cerifera</i> 60" o.c.	5 gal	133	
GROUND COVERS	CODE	COMMON / BOTANICAL NAME	SIZE	QTY	
	CD	Bermuda Grass / <i>Cynodon dactylon</i> 'tif 419'	sod	32,126 sf	

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITIES AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	97,656 SF
LANDSCAPE AREA REQUIRED:	14,648 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	34,480 SF
STREET TREES	
WEST LUCAS RD. FRONTAGE LENGTH:	244 LF
TREES REQUIRED:	22 TREES (1 PER 20 LF OF FRONTAGE)
STREET TREES PROVIDED:	22 TREES
SHRUBS REQUIRED:	98 SHRUBS (8 PER 20 LF OF FRONTAGE)
SHRUBS PROVIDED:	98 SHRUBS
PARKING SCREENING	
PROVIDED:	PROVIDED
PARKING PERIMETER	
TREES REQUIRED:	211 LF
TREES PROVIDED:	11 TREES (1 PER 20 LF OF FRONTAGE)
SHRUBS REQUIRED:	22 TREES
SHRUBS PROVIDED:	85 SHRUBS (8 PER 20 LF OF FRONTAGE)
SHRUBS PROVIDED:	98 SHRUBS
PARKING INTERIOR	
TOTAL SITE AREA:	20,896 SF
LANDSCAPE AREA REQUIRED:	1,672 SF (8% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	2,777 SF
TREES REQUIRED:	9 TREES (1 TREE /10 SPACES; 82 SPACES)
TREES PROVIDED:	9 TREES
LOADING AREA SCREENING	
N/A:	N/A

ROOT BARRIERS

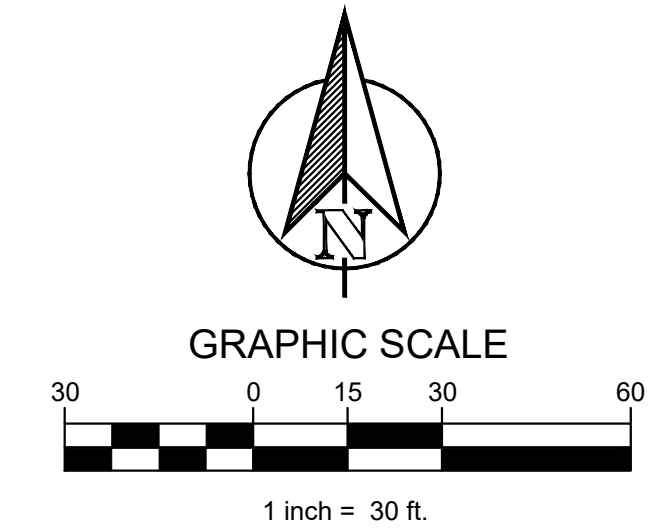
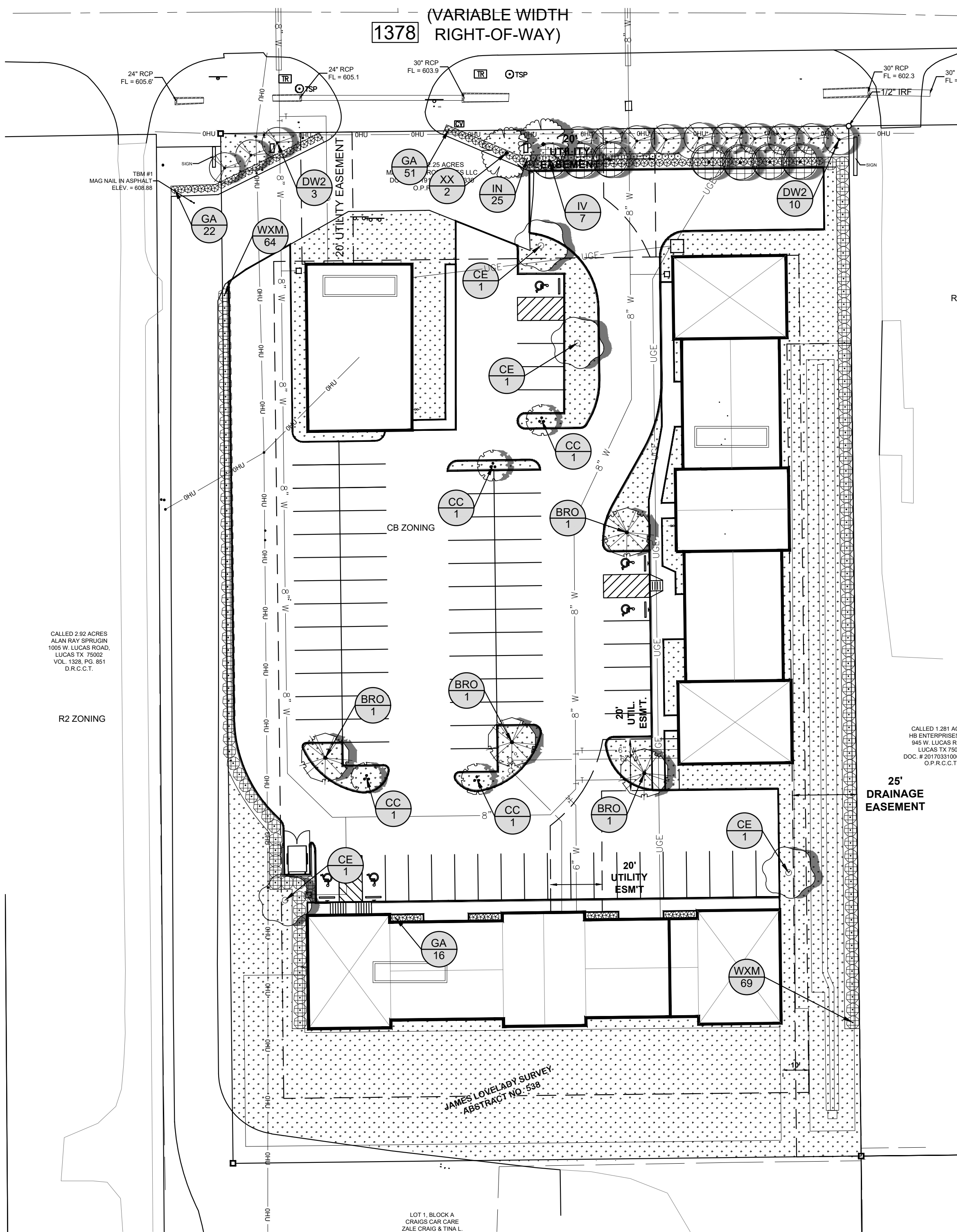
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

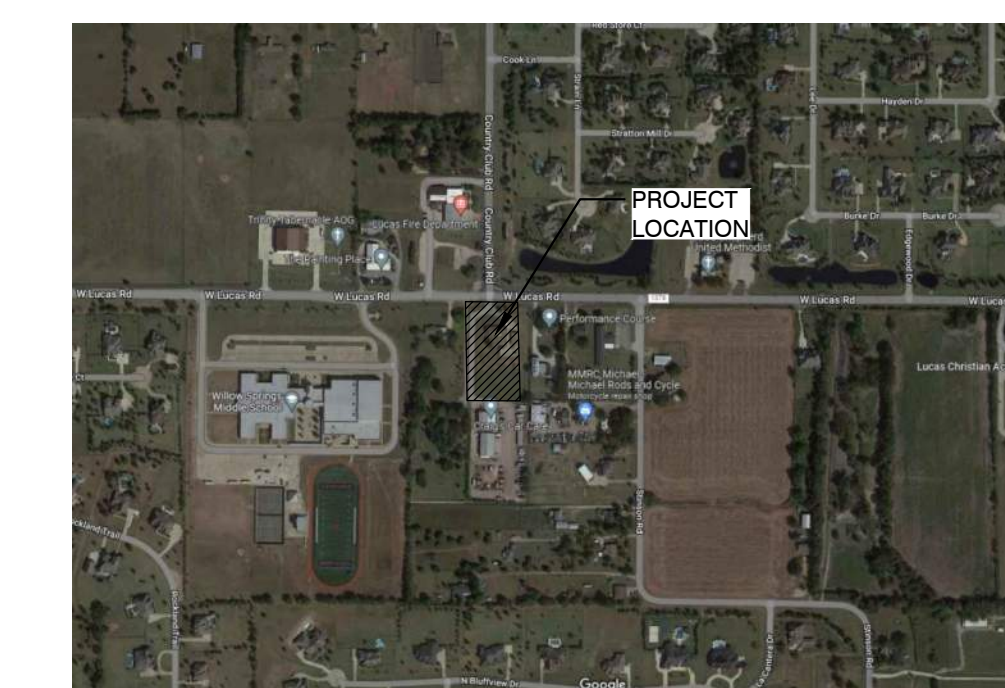
PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.



ZONING CLASSIFICATION:
 CB (COMMERCIAL BUSINESS)

VICINITY MAP



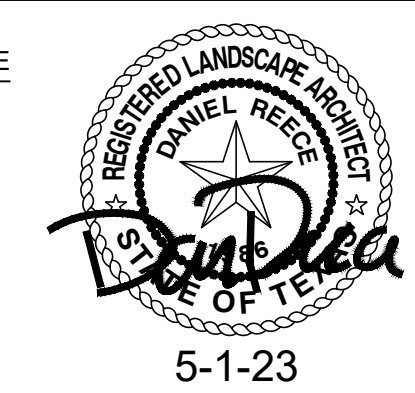
LANDSCAPE PLAN

OWNER:
 MAHMOUD PROPERTIES LLC
 844 ELGIN COURT,
 ROCKWALL, TX 75082

ENGINEER:
 ROC DESIGN ENGINEERS
 Texas Firm F-13744
 9101 N. LBJ FWY, SUITE 570
 Dallas, Texas 75243
 Phone 972.639.8375

LANDSCAPE ARCHITECT:
 EVERGREEN DESIGN GROUP
 15455 Dallas Pkwy., Ste 600
 Addison, TX 75001
 Phone 800.680.6630

LUCAS COMMERCIAL CENTER
 Called 2.25 Acres
 MAHMOUD PROPERTIES LLC
 DOC. # 20191009001265330
 O.P.R.C.C.T.



No.	Revision/Issue	Date

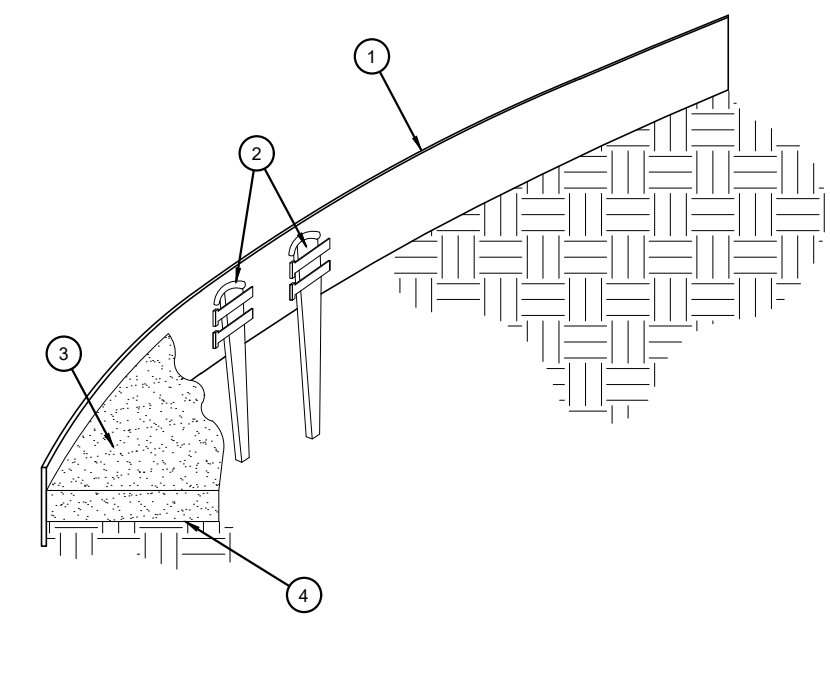
LANDSCAPE PLANTING (CB ZONING)

Issued Date:	5-30-22
Project No.:	22002
Drawn By:	ROC
Checked By:	MAK
Designed By:	ROC

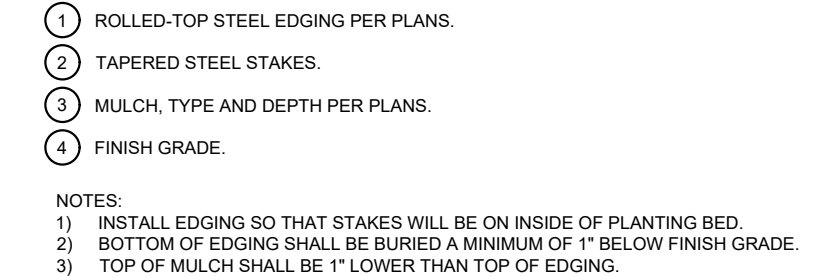
Project	220014	Sheet	
Date	10/13/22		LP-1
Scale	1" = 30'-0"		

PLANTING SPECIFICATIONS

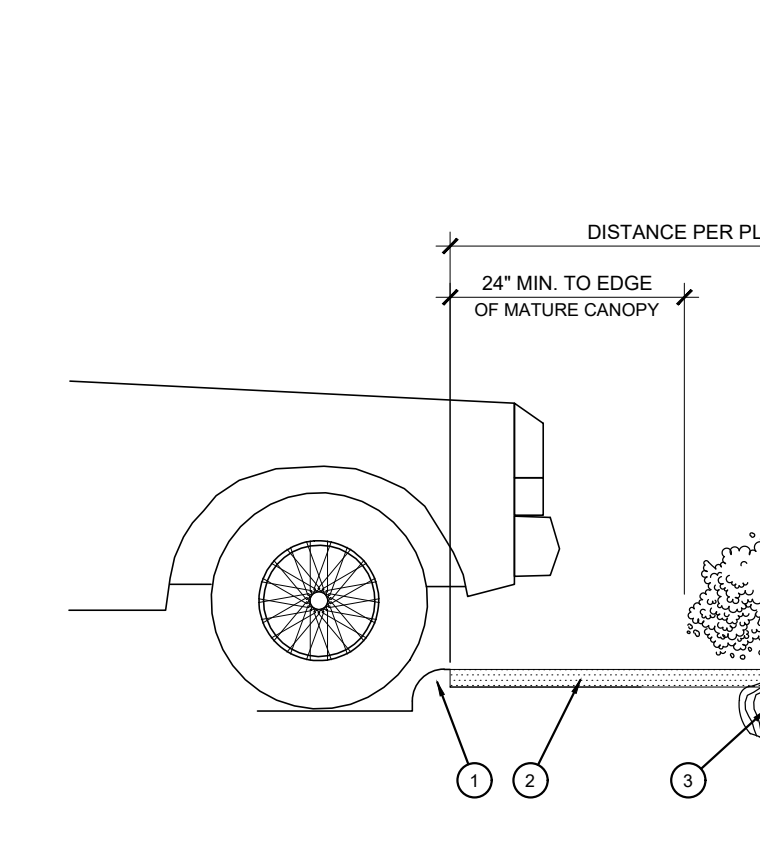
- GENERAL**
- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC) PRIOR TO THE START OF ANY WORK.
- C. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 - FRENCHING NEAR EXISTING TREES
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2' AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2' AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2' AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- D. TREE PLANTING**
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL AND TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE. FOR CONTAINER AND BOX TREES: TO REMOVE ANY POTENTIAL GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM CONTAINERS OR BOXES.
 - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 - BACKFILL AND TAMP THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL SOIL. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING 12 INCHES CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
 - SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
 - TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
 - COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
 - FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL TESTING AGENCY (SEE BELOW).
 - MULCH: SIZE AND TYPE AS INDICATED ON PLANS. FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING**
- STAKES: 6' LONG GREEN METAL T-POSTS.
 - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING**
- ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.
- METHODS**
- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/- 0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 - SOIL TESTING
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - PRE-PLANT TURF FERTILIZER (10-10-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS. PER 1,000 S.F.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - IRON SULPHATE - 2 LBS. PER CU. YD.
- B. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/- 0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.**
- C. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.**
- D. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.**
- E. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.**
- F. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.**
- G. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.**



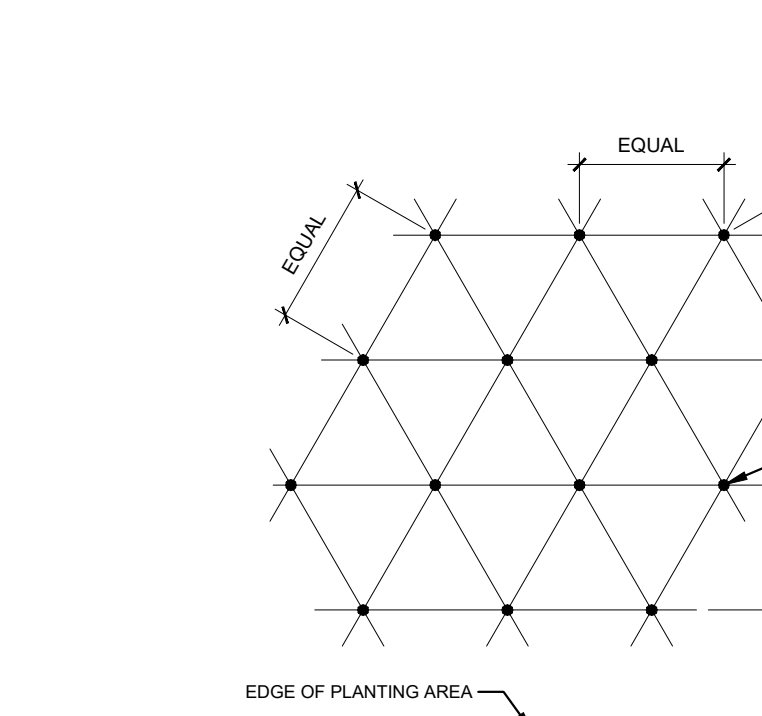
- TREE CANOPY.
- CINCH-TIES (2" X 2" BOX"2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (8" BOX"2" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- GREEN STEEL I-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- TRUNK FLARE.
- MULCH TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 4" HIGH EARTHEN WATERING BASIN.
- FINISH GRADE.



D. STEEL EDGING
SCALE: NOT TO SCALE



A. TREE PLANTING
SCALE: NOT TO SCALE



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

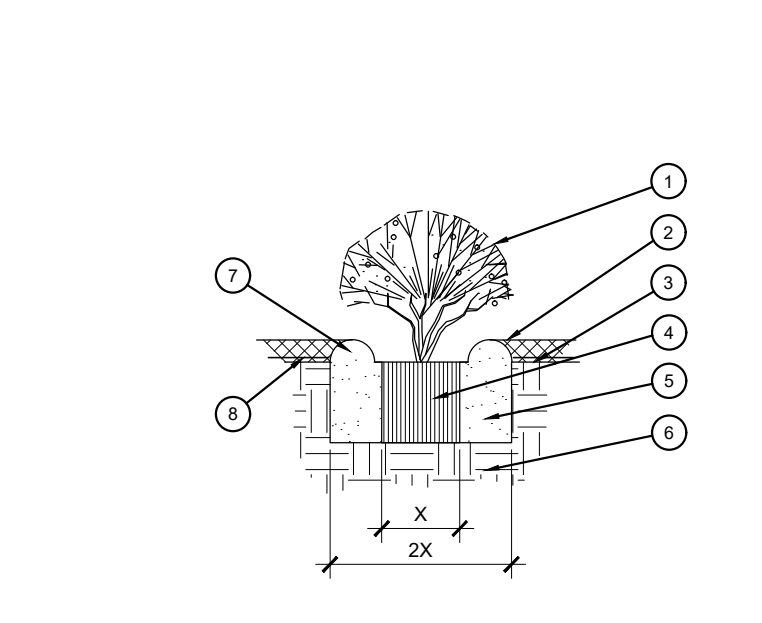
1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.48
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
STEP 1: 100 SF / 1.95 = 51 PLANTS
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

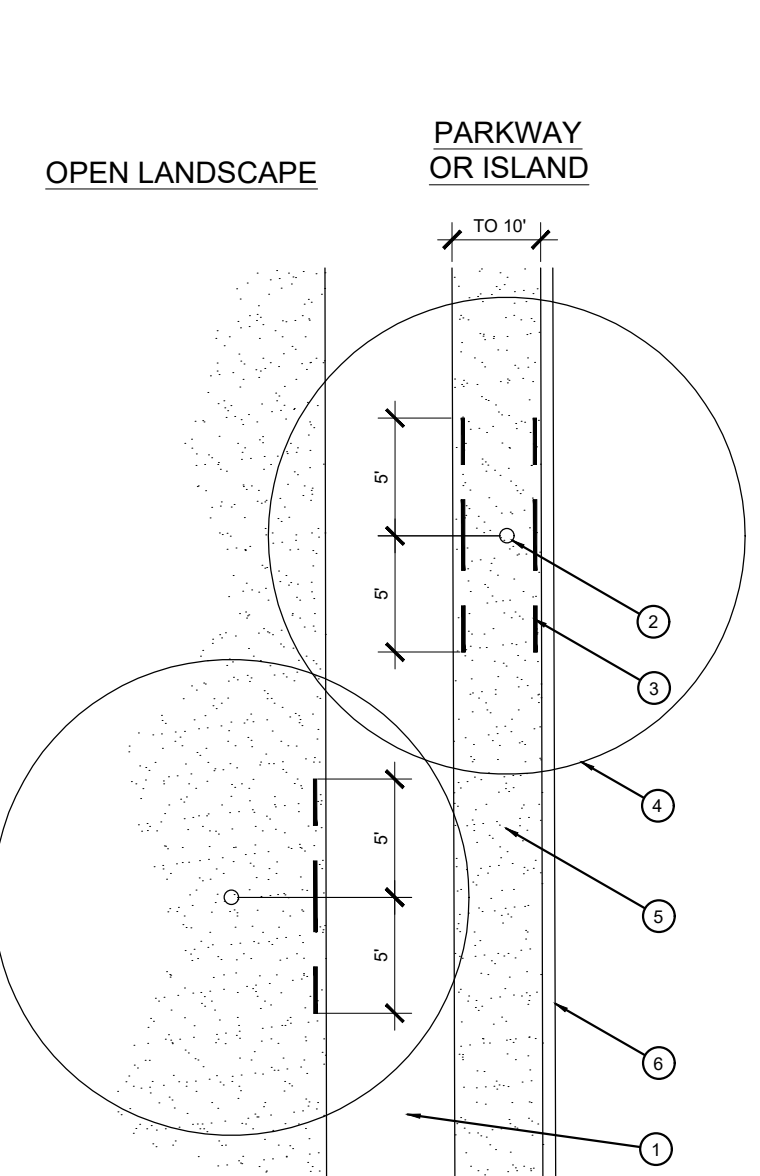
C. PLANT SPACING
SCALE: NTS



- SHRUB, PERENNIAL OR ORNAMENTAL GRASS.
- MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- FINISH GRADE.
- TRUNK BALL.
- BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 3" HIGH EARTHEN WATERING BASIN.
- WEED FABRIC UNDER MULCH.

B. SHRUB AND PERENNIAL PLANTING
SCALE: NTS

E. PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



F. ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



- NOTES:**
- INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
 - BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

ROC CIVIL
ROC DESIGN ENGINEERS
Superior Civil Engineering Service
Texas Firm F-13744

9101 N. LBJ FWY, SUITE 570
Dallas, Texas 75243
Phone 972.639.8375

LUCAS COMMERCIAL CENTER
995 WEST LUCAS ROAD,
LUCAS, TEXAS 75002

No.	Revision/Issue	Date

LANDSCAPE DETAILS & SPECIFICATIONS

Issued Date:	5-30-22
Project No.:	22002
Drawn By:	ROC
Checked By:	MAK
Designed By:	ROC

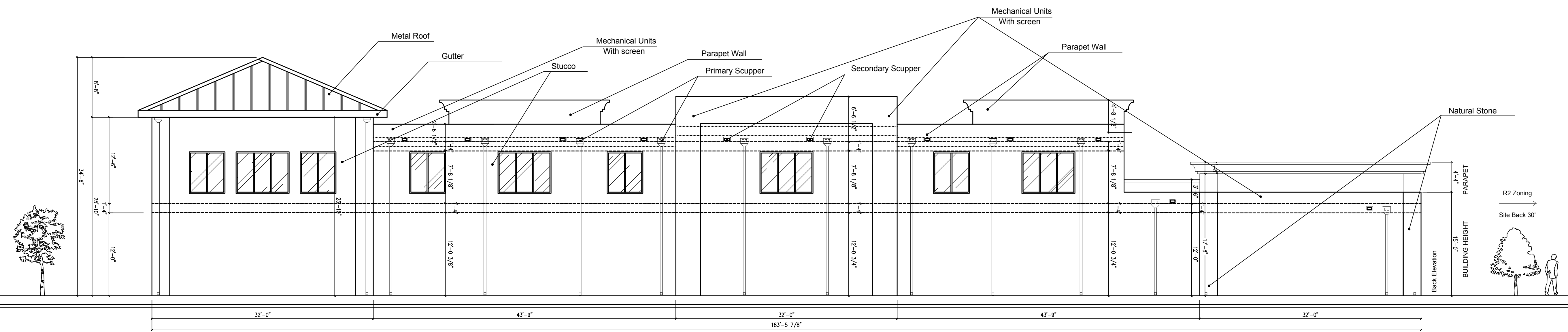


Project	Sheet
Date	LP-2
Scale	



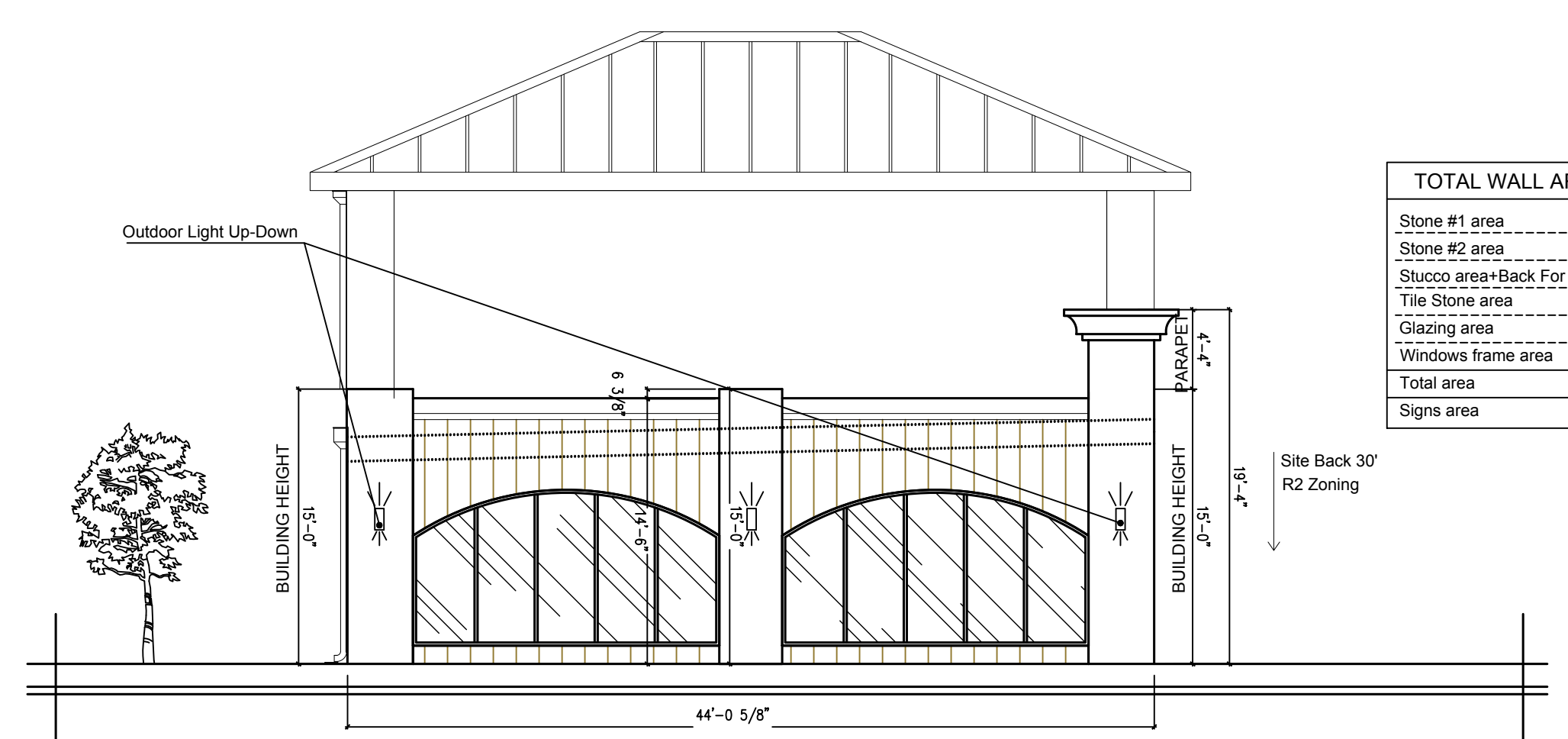
TOTAL WALL AREA-Main Elevation		
Stone #1 area	552.8 SF	12.52%
Stone #2 area	476.2 SF	10.76%
Stucco area	540.5 SF	12.24%
Stucco Light area	833.4 SF	18.87%
Tile Stone area	497.6 SF	11.27%
Glazing area	1,290 SF	29.22%
Windows frame area	228.1 SF	5.12%
Total area	4,416.6 SF	100%
Signs area	157 SF	

01 Main Elevation
SCALE : 1/8" = 1'-0"

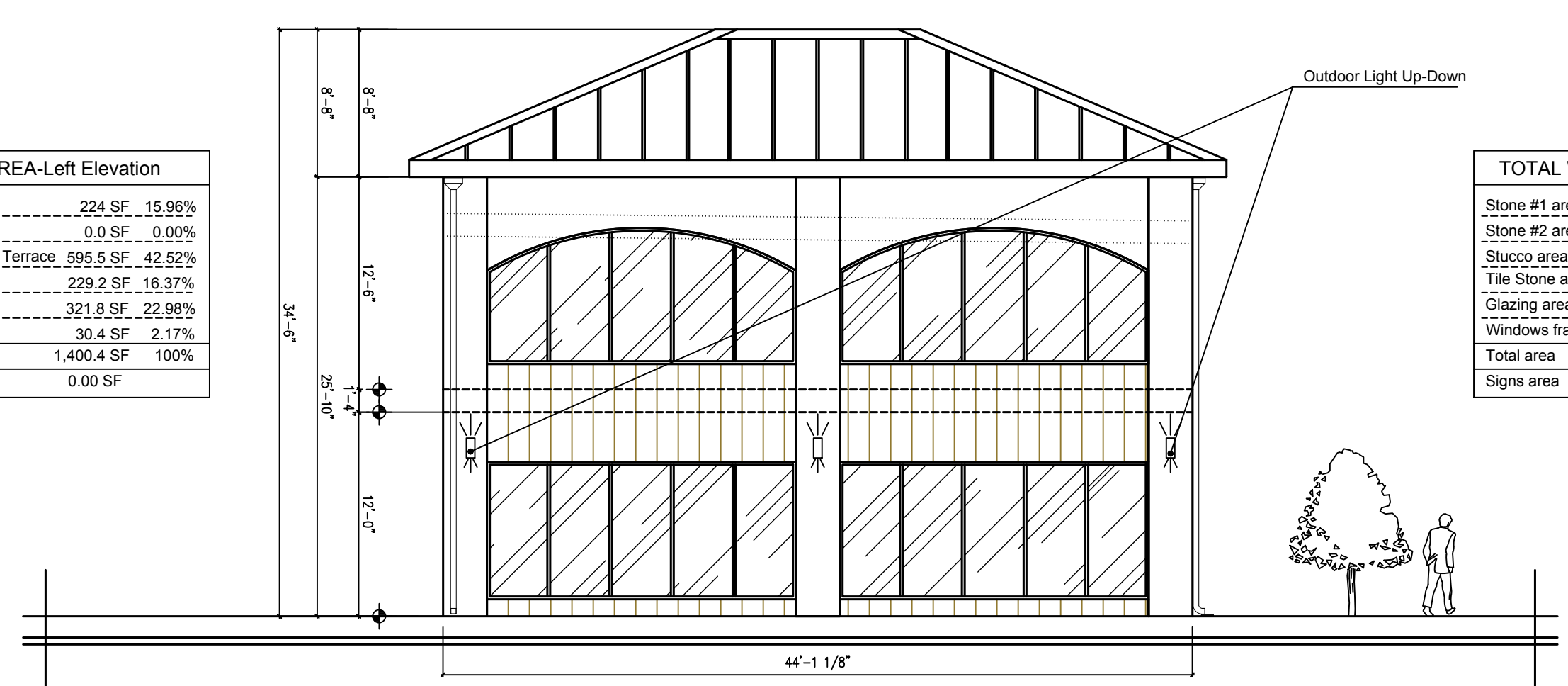


TOTAL WALL AREA-Back Elevation		
Stone #1 area	552.8 SF	12.56%
Stone #2 area	0 SF	0.00%
Stucco area	3,509.85 SF	79.72%
Stucco Light area	340.17 SF	7.72%
Tile Stone area	0 SF	0.00%
Glazing area	0 SF	0.00%
Windows frame area	0 SF	0.00%
Total area	4,402.82 SF	100%
Signs area	0.00 SF	

02 Back Elevation
SCALE : 1/8" = 1'-0"



TOTAL WALL AREA-Left Elevation		
Stone #1 area	224 SF	15.96%
Stone #2 area	0.0 SF	0.00%
Stucco area+Back For Terrace	595.5 SF	42.52%
Tile Stone area	229.2 SF	16.37%
Glazing area	321.8 SF	22.98%
Windows frame area	30.4 SF	2.17%
Total area	1,400.4 SF	100%
Signs area	0.00 SF	

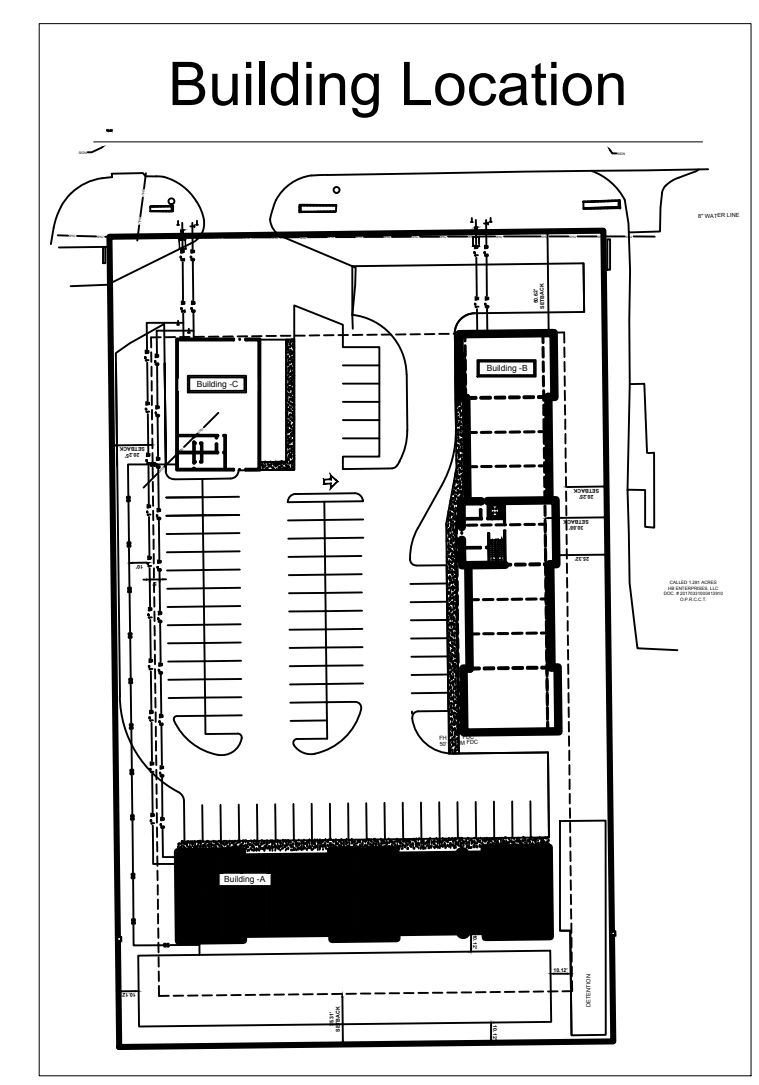


TOTAL WALL AREA-Right Elevation		
Stone #1 area	224 SF	17.70%
Stone #2 area	0.00 SF	0.00%
Stucco area	380 SF	29.90%
Tile Stone area	123 SF	9.68%
Glazing area	496 SF	39.02%
Windows frame area	47 SF	3.70%
Total area	1,271 SF	100%
Signs area	0.00 SF	

04 Left Elevations
SCALE : 1/8" = 1'-0"

03 Right Elevations
SCALE : 1/8" = 1'-0"

NOTE:
 - This Facade Plan is for conceptual purposes only. All building plans require review and approval of the Building Inspection Department.
 - All mechanical units shall be screened from public view.
 - When permitted, exposed utility boxes and conduits shall be painted match the building.
 - All signage areas and locations are subject to approval by the Building Inspection Department.
 - Roof access shall be provided internally, unless otherwise permitted by the Building Office.



Building -A

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS BEFORE FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

F&L
 DESIGN & CONSTRUCTION L.L.C.
 8202 Woodside Rd
 Rowlett Tx, 75088
 Fidesign11@gmail.com
 214-478-1485

DRAWING TITLE :
ELEVATION BUILDING A

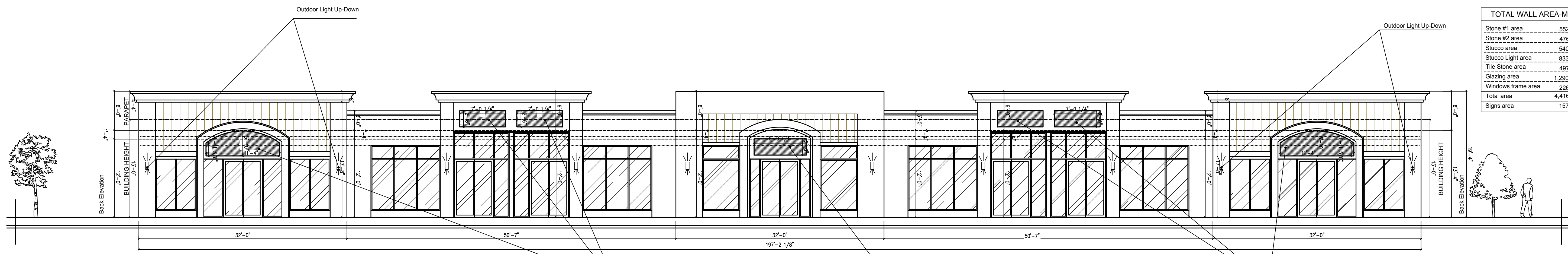
PROJECT NAME :
**LUCAS COMMERCIAL CENTER
 995 WEST LUCAS ROAD
 ALLEN , TX 75002**

ARCHITECT'S SEAL

REVISION DATE

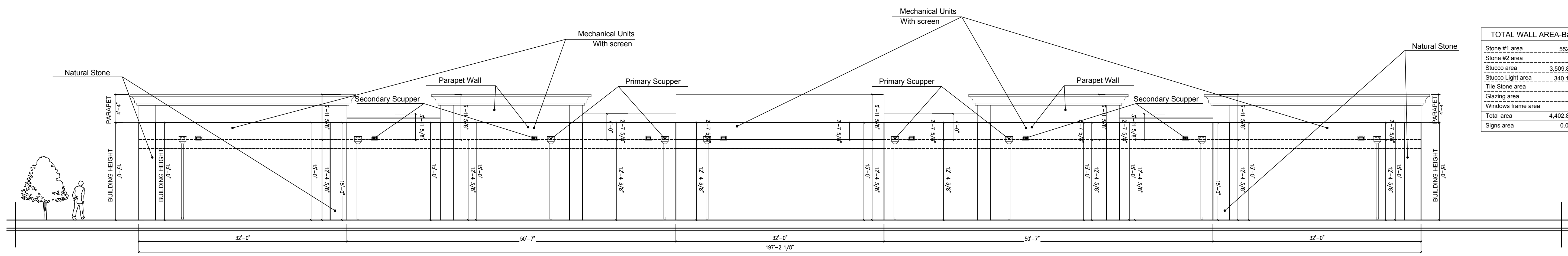
SHEET NUMBER
A2.1

PLOT DATE
 06/23/22



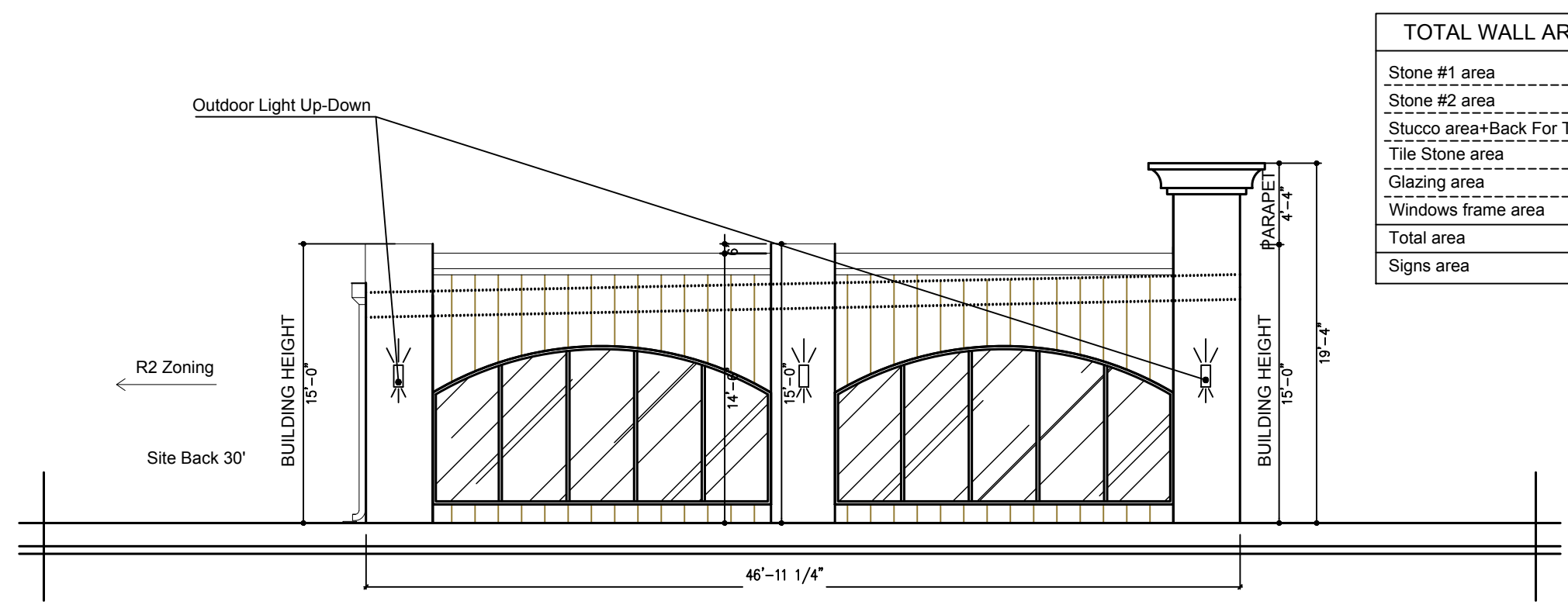
TOTAL WALL AREA-Main Elevation	
Stone #1 area	552.8 SF 12.52%
Stone #2 area	476.2 SF 10.78%
Stucco area	540.5 SF 12.24%
Stucco Light area	833.4 SF 18.87%
Tile Stone area	497.6 SF 11.27%
Glazing area	1,290 SF 29.20%
Windows frame area	226.1 SF 5.12%
Total area	4,416.6 SF 100%
Signs area	157 SF

01 Main Elevation
SCALE :1/8" = 1'-0"

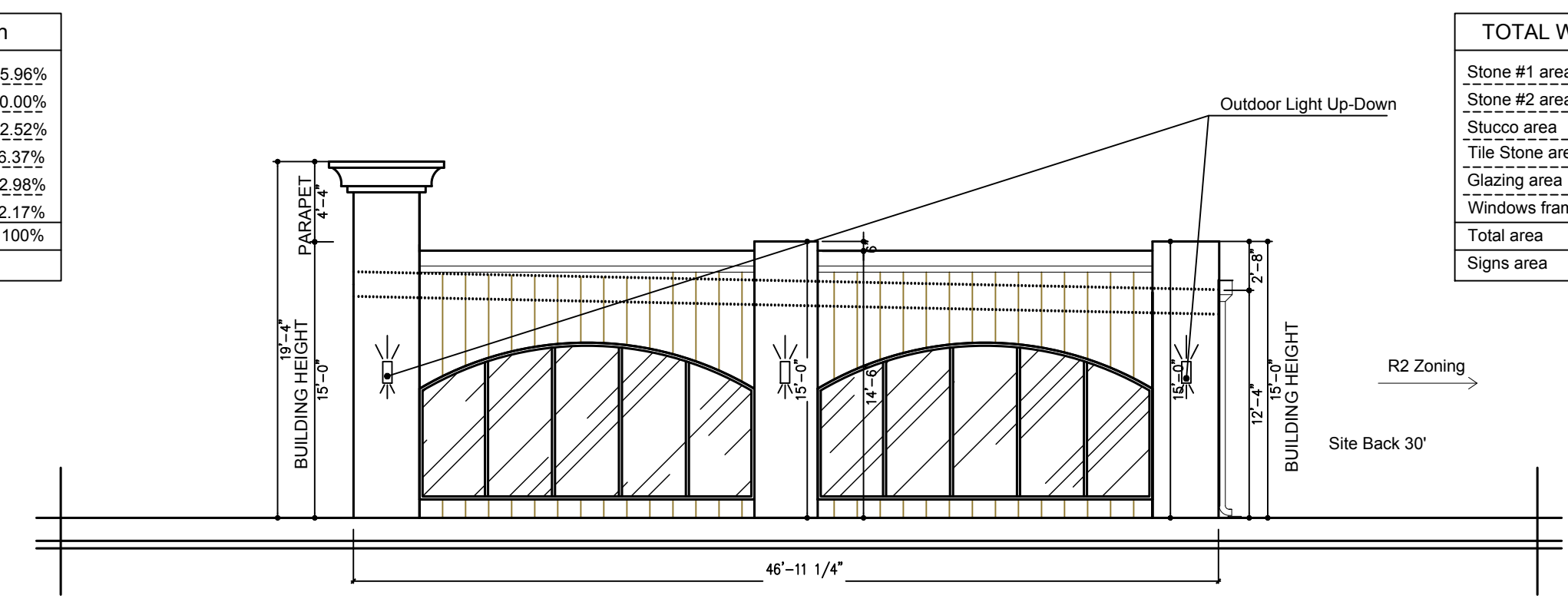


TOTAL WALL AREA-Back Elevation	
Stone #1 area	552.8 SF 12.56%
Stone #2 area	0 SF 0.00%
Stucco area	3,509.85 SF 79.72%
Stucco Light area	340.17 SF 7.72%
Tile Stone area	0 SF 0.00%
Glazing area	0 SF 0.00%
Windows frame area	0 SF 0.00%
Total area	4,402.82 SF 100%
Signs area	0.00 SF

02 Back Elevation
SCALE :1/8" = 1'-0"



TOTAL WALL AREA-Left Elevation	
Stone #1 area	224 SF 15.96%
Stone #2 area	0.0 SF 0.00%
Stucco area+Back For Terrace	595.5 SF 42.52%
Tile Stone area	229.2 SF 16.37%
Glazing area	321.8 SF 22.98%
Windows frame area	30.4 SF 2.17%
Total area	1,400.4 SF 100%
Signs area	0.00 SF

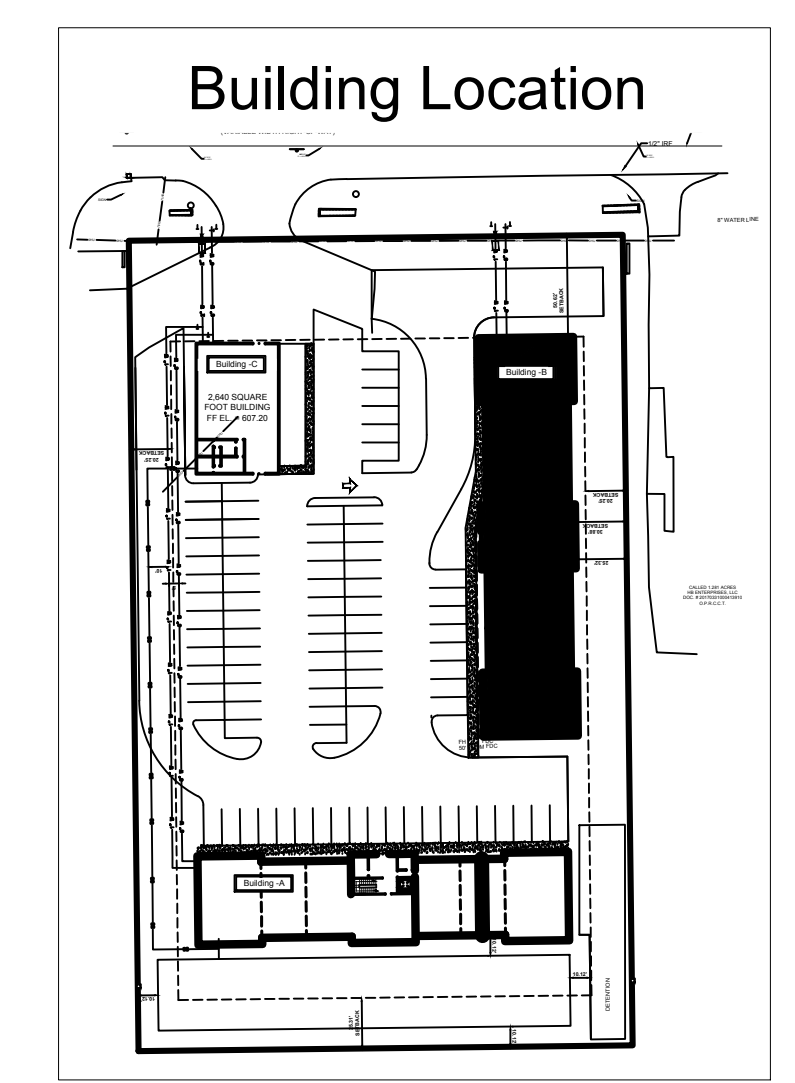


TOTAL WALL AREA-Right Elevation	
Stone #1 area	224 SF 17.70%
Stone #2 area	0.00 SF 0.00%
Stucco area	380 SF 29.90%
Tile Stone area	123 SF 9.68%
Glazing area	496 SF 39.02%
Windows frame area	47 SF 3.70%
Total area	1,271 SF 100%
Signs area	0.00 SF

04 Left Elevations
SCALE :1/8" = 1'-0"

03 Right Elevations
SCALE :1/8" = 1'-0"

NOTE:
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 - All mechanical units shall be screened from public view.
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 - All signage areas and locations are subject to approval by the Building Inspection Department.
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Building -B

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS BEFORE FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

F&L
 DESIGN & CONSTRUCTION L.L.C.
 8202 Woodside Rd
 Rowlett Tx, 75088
 Filesign11@gmail.com
 214-478-1485

DRAWING TITLE :
ELEVATION BUILDING B

PROJECT NAME :
**LUCAS COMMERCIAL CENTER
 995 WEST LUCAS ROAD
 ALLEN , TX 75002**

ARCHITECT'S SEAL

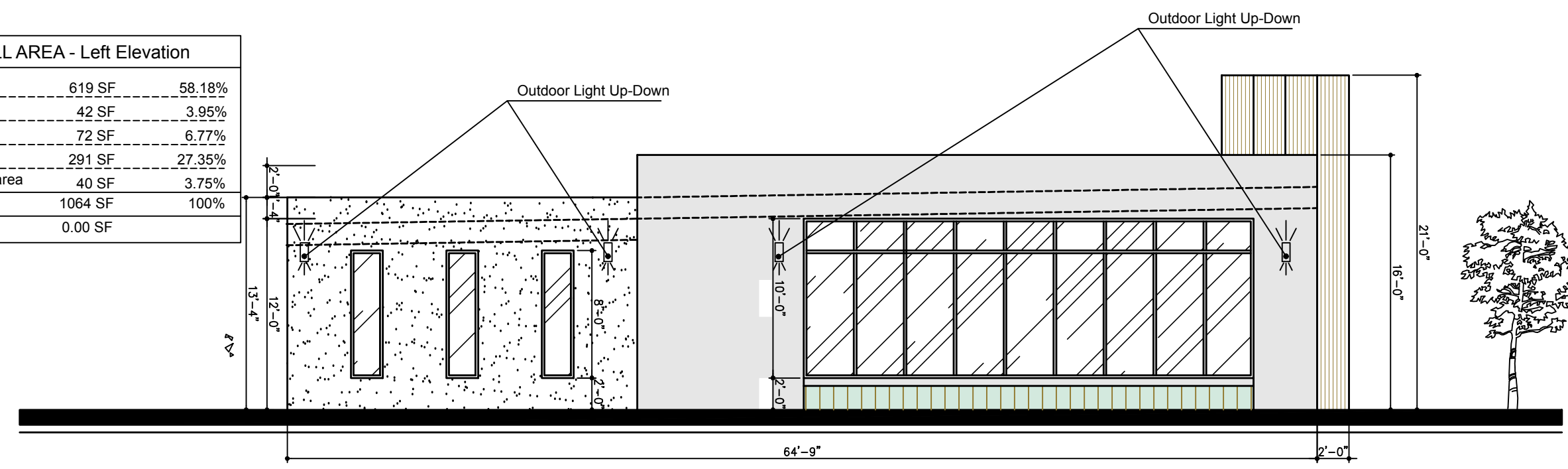
REVISION DATE

SHEET NUMBER

A2.3

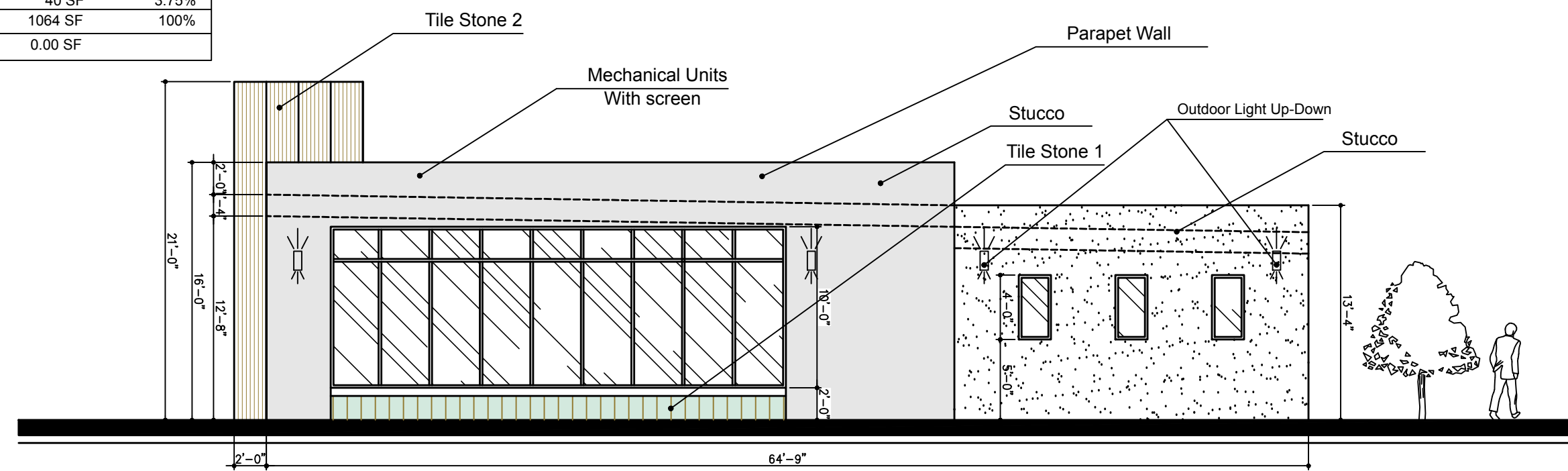
PLOT DATE
 06/23/22

TOTAL WALL AREA - Left Elevation		
Stucco area	619 SF	58.18%
Tile Stone area-1	42 SF	3.95%
Tile Stone area-2	72 SF	6.77%
Glazing area	291 SF	27.35%
Windows frame area	40 SF	3.75%
Total area	1064 SF	100%
Signs area	0.00 SF	

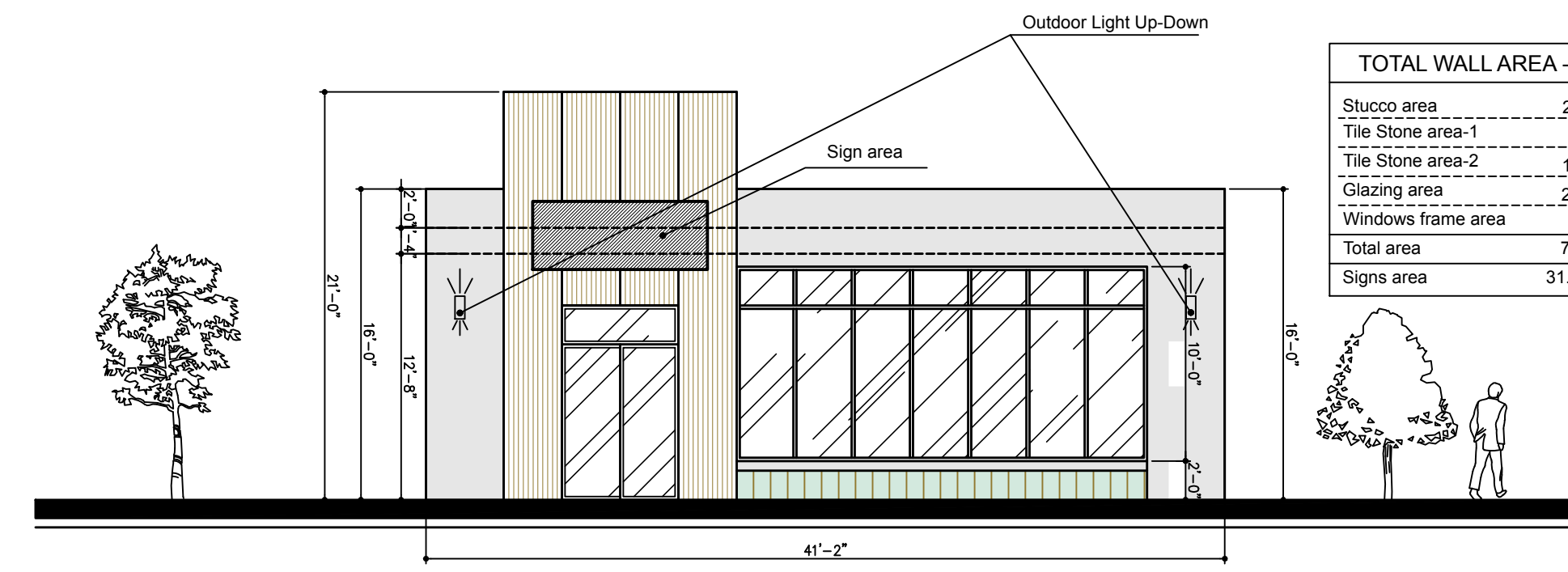


01 LEFT ELEVATION
SCALE : 1/8" = 1'-0"

TOTAL WALL AREA - Right Elevation		
Stucco area	639 SF	60.05%
Tile Stone area-1	42 SF	3.95%
Tile Stone area-2	72 SF	6.77%
Glazing area	271 SF	25.48%
Windows frame area	40 SF	3.75%
Total area	1064 SF	100%
Signs area	0.00 SF	



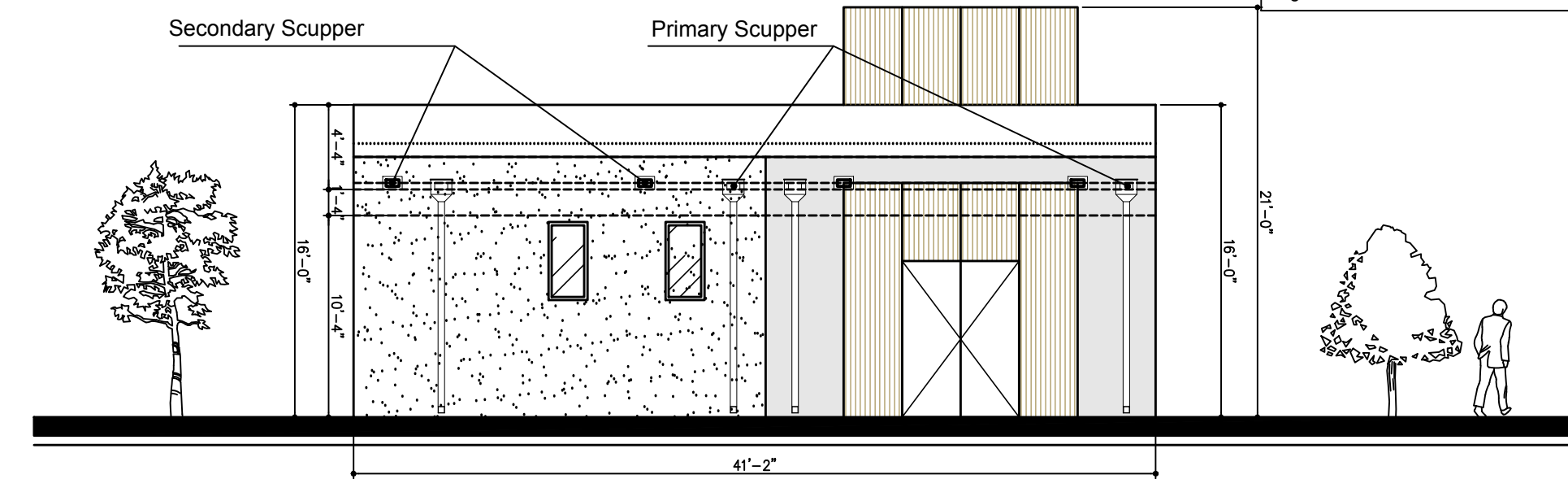
03 RIGHT ELEVATION
SCALE : 1/8" = 1'-0"



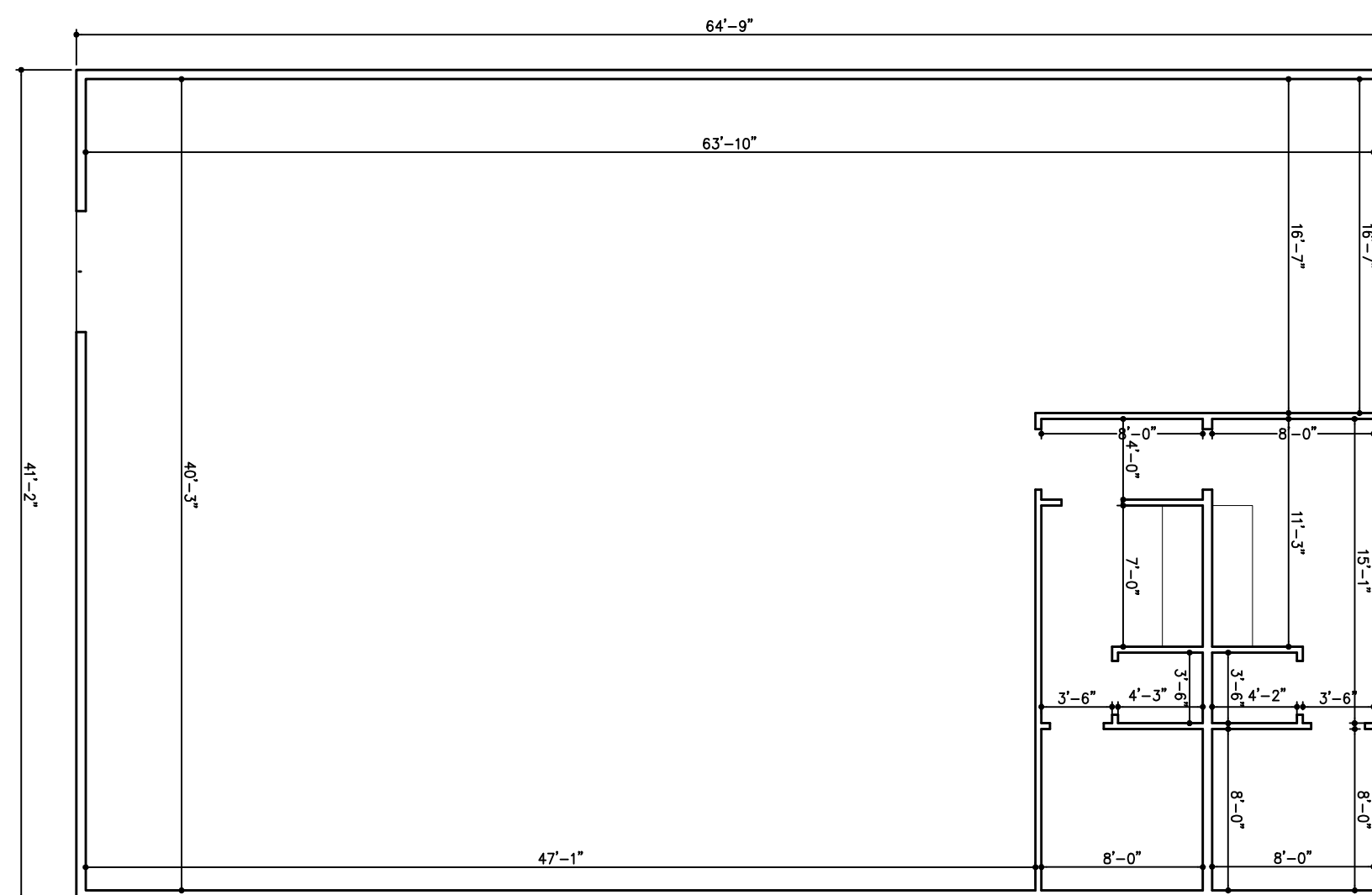
TOTAL WALL AREA - Main Elevation		
Stucco area	223 SF	31.05%
Tile Stone area-1	32 SF	4.45%
Tile Stone area-2	192 SF	26.74%
Glazing area	244 SF	33.98%
Windows frame area	27 SF	3.78%
Total area	718 SF	100%
Signs area	31.50 SF	

02 MAIN ELEVATION
SCALE : 1/8" = 1'-0"

TOTAL WALL AREA - Back Elevation		
Stucco area	498 SF	69.36%
Tile Stone area-1	0.00 SF	0.00%
Tile Stone area-2	156 SF	21.73%
Glazing area	12 SF	1.7%
Windows frame area	4 SF	0.53%
Metal Door area	48 SF	6.68%
Total area	718 SF	100%
Signs area	0.00 SF	



04 BACK ELEVATION
SCALE : 1/8" = 1'-0"



05 FLOOR PLAN
SCALE : 1/8" = 1'-0"

NOTE:

- This Facade Plan is for conceptual purposes only. All building plans require review and approval of the Building Inspection Department.
- All mechanical units shall be screened from public view.
- When permitted, exposed utility boxes and conduits shall be painted match the building.
- All signage areas and locations are subject to approval by the Building Inspection Department.
- Roof access shall be provided internally, unless otherwise permitted by the Building Office.

Building -C

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS BEFORE FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

F&L
DESIGN & CONSTRUCTION L.L.C.
8202 Woodside Rd Rowlett, TX, 75088
Fidesign1@gmail.com
214-4781485

DRAWING TITLE :
FLOOR PLAN AND ELEVATIONS BUILDING C

PROJECT NAME :
**LUCAS COMMERCIAL CENTER
995 WEST LUCAS ROAD
ALLEN , TX 75002**

ARCHITECT'S SEAL

REVISION DATE

SHEET NUMBER

A1.3

PLOT DATE
06/23/22



Site Plan Minimum Requirements

Project Name Lucas Commercial Center

Preparer Majed Khalaf

This checklist is provided to assist you in addressing the minimum requirements for Site Plan submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Indicate that all information is included on the submitted plans by checking the box next to the required information. Checking the box certifies to the City that you have completely and accurately addressed the issue. If not applicable, indicate an "N/A" next to the box. Return this completed form at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided directly on the plan and on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement/s.

Plans are expected to be submitted complete and accurate in all detail as shown by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes, depending on the amount/magnitude of changes or corrections needed. Please keep in mind that changes/additions to previously incomplete or inaccurate plans may generate additional comments at re-submittal of corrected Plans. Therefore, diligence to the initial submittal is paramount to expediting the review process.

Included

- Site boundary is indicated by a heavy solid line intermittent with 2 dash lines, dimensioned with bearings and distances; indicate and label lot lines, setback lines, and distance to the nearest cross street.
- Site location/vicinity map clearly showing the location of the subject property with cross streets is provided. Indicate scale or NTS and provide north arrow.
- A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.
- A written and bar scale is provided.
- A title block is in the lower right corner that includes large, boldly printed "SITE PLAN", owner and engineer's names, addresses and phone numbers, subdivision name, lot number/s, block number or letter, original submission date, and a log of resubmittal/revision dates since submitted to the City.
- Tree masses are clouded with accurate canopy widths shown to determine critical root zone where located within close proximity to existing or proposed pavement.
- Flood plain boundary is shown and indicates F.I.R.M. Community panel number and date, and flow line of drainage ways and creeks, as applicable.
- Existing topography lines are shown with a light dashed line and proposed contours are shown by a medium weight solid line. Topography is shown at minimum five (5) foot contours referenced to sea level city datum. Spot elevations and additional contours may be required in certain areas depending on topography.
- Accurately located, labeled and dimensioned footprint of proposed structure(s) is/are shown by a solid heavy line.

- Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.
- Accurately located and labeled footprint of structure(s) proposed for demolition is/are shown by a light dashed line. Structures to be demolished are clearly labeled/ identified.
- Accurately located footprint of nonresidential structure(s) on abutting properties is/are shown by a light, solid line.
- Adjacent property lines within 500 feet of the subject property lines are shown by a light dashed line.
- Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 500 feet of the property line is indicated.
- Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.
- Finished floor elevation of existing and/or proposed structures is referenced to sea level datum.
- Full width of streets and alley rights-of-way with centerlines and backs of curbs or paving edges within 200 feet of the property line are dimensioned and street name or use is labeled.
- Driveways within 200 feet of the property line:
 - o Are accurately located and dimensioned.
 - o Distances to the nearest on-site driveway and/or off-site driveway is accurately located and dimensioned as measured from the centerlines.
 - o Distance to the nearest street is shown as measured from the end of curb-return radius of the adjacent street to the driveway centerline.
 - o Typical radii are shown.
- Drive-thru lanes, menu board location, pick-up window/s, maneuvering area, stacking lanes and escape lanes are indicated and dimensioned.
- Sidewalks and barrier-free ramps (BFR) within 200 feet of and on the subject property are shown, dimensioned and labeled.
- Off-site streets and roads:
 - o Existing and proposed roadways with medians and median openings adjacent to and within 200 feet of the project site are shown and dimensioned.
 - o Medians, median openings with associated left- turn lanes, continuous left turn lanes, transition and stacking lengths are shown and dimensioned within 200 feet of the project site.
 - o Existing, proposed, and required acceleration/deceleration lanes within 200 feet of the project site are shown dimensioned, stacking length indicated, and right-of-way dedication is indicated as applicable.
- All parking spaces are shown, group numbered, and typical dimensions are provided. Indicate required two-foot overhang, as applicable.
- Handicapped parking spaces and barrier-free access points are shown, dimensioned, and labeled.
- Loading and maneuvering areas are indicated, labeled, and dimensioned. Loading area screening method is indicated and labeled.
- Dumpster and/or compactor locations and screening methods are shown. Indicate screening materials and height for all sides. Screening material is to match structure façade with enclosure having solid metal gates. Specs and sketch available from staff.
- Paving materials, boundaries and type are indicated.
- Access easements are accurately located/ tied down, labeled and dimensioned.
- Off-site parking is shown and dimensioned from the off-site parking area to the structure or use as applicable. A parking easement or shared parking agreement is required and is provided in draft format.
- Fire lanes are shown and dimensioned at a minimum of 24 feet in width, with internal radii of not less than 20 feet. Label and use an approximate 20 percent shade for fire lanes to differentiate from other paving. Ensure that required labeling and dimensioning is readable through shading.

- ^X Proposed dedications and reservations of land for public use including, but not limited to, rights-of-way, easements, park land, open space, drainage ways, floodplains and facility sites are accurately located, dimensioned and labeled.
- ^X Screening walls are shown with dimensions and materials. An inset is provided that shows the wall details and column placement as applicable. Plans for masonry walls are to be signed and sealed by a structural engineer and approved by the City Engineer. Channeled or slip-panel/pre-cast walls are prohibited.
- ^X The location of living screens are shown and labeled. Details of a living screen are provided on the Landscape Plan indicating plant species/name, height at planting, and spacing.
- ^X A lighting plan that shows location by fixture type is included. A lighting data chart is used to reference fixture type (i.e. pole or wall pack), maximum height, those requiring shielding, those requiring skirting, wattage and foot-candles of each fixture. No lighting source (i.e. bulb, reflector, etc.) is allowed to be visible from an adjacent property or public street.
- ^X Existing and proposed water and sanitary sewer lines, storm sewer pipe, with sizes, valves, fire hydrants, manholes, and other utility structures on-site or immediately adjacent to the site are shown and labeled.
- ^X Boundaries of detention areas are located. Indicate above and/or below ground detention.
- ^X Monument signage location is indicated. Details of construction materials and architecture are shown on required Building Elevation/Façade Plan. Color, type and texture are to match that of the building.
- ^X Communication towers are shown and a fall distance/collapse zone is indicated.
- ^X Provide Site Data Summary Table that references distinct numbers for each lot and all buildings (existing and proposed) that includes, where applicable:
 - Existing Zoning
 - Proposed use(s) for each structure
 - Total lot area less right-of-way dedications by square feet and acres
 - Square footage of building(s)
 - Building height (stories and feet)
 - Percent of lot coverage (building footprint square footage/lot square footage).
 - For apartment developments, number of living units broken down by number of bedrooms and minimum square footage for each dwelling unit.
 - Parking required by use with applicable parking ratios indicated for each use
 - Parking provided indicated
 - Handicap parking required as per Code of Ordinances and TAS/ADA requirements
 - List of exceptions and/or variance/s requested or previously granted, including dates and approving authority
- ^X Improvements are proposed in TXDOT Right-of-Way and one (1) full set of civil engineering plans has been submitted to: Mohammad Khoshkar, TXDot Office, P.O.Box 90 McKinney, Texas 75069-0090, phone (972)547-2237



Architectural Plan Checklist

Project Name Lucas Commercial Center

Preparer Ahmed Dardary

This checklist is provided to assist you in addressing the minimum requirements for **Landscape Plan** submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Confirm that all information is included on the submitted plans by checking the box next to the required information.

Initialing the box certifies to the City that you have completely and accurately addressed the issue. This completed form must be returned at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approving body. Additional information may be required. Reference the specific requirement. All exception/modification requests must also be specifically listed on the plan/s.

Plans are expected to be submitted complete in all detail as included by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes.

- Elevations of all four sides labeled North, East, South, and West with the front elevation designated as such.
- Materials calculations table showing for each elevation
 - Total surface area of each elevation
 - List of materials (including glazing) with square footage of each material per elevation and percentage of each material per elevation
- Building dimensions (if multiple heights are used, provide dimension for each)
- Provide estimated allowable wall mounted signage size for each elevation.
- Add the following notes:
 - "This Façade Plan is for conceptual purposes only. All building plans require review and approval of the Building Inspection Department".
 - "All mechanical units shall be screened from public view"
 - "When permitted, exposed utility boxes and conduits shall be painted to match the building"
 - All signage areas and locations are subject to approval by the Building "Inspection Department"
 - "Roof access shall be provided internally, unless otherwise permitted by the Building Official"
- Cross sections of sight lines may be requested to verify screening of mechanical units.
- A sample board with a maximum size of 11" x 17" shall be provided with color and materials samples to correspond to the Facade Plan.
- Designate color and materials location on elevations.
- Additional information as requested by staff to clarify the proposed development and compliance with minimum development requirements.



Landscape Plan Checklist

Project Name Lucas Commercial Center

Preparer Rodney McNapp

This checklist is provided to assist you in addressing the minimum requirements for **Landscape Plan** submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Confirm that all information is included on the submitted plans by checking the box next to the required information. **Initialing each item certifies to the City that you have completely and accurately addressed the issue.** This completed form must be returned at the time of application submittal.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approving body. Additional information may be required. Reference the specific requirement. All exception/modification requests must also be specifically listed on the plan/s.

Plans are expected to be submitted complete in all detail as included by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes.

- Plans shall be to same scale as approved site plan.
- A minimum of 15% of the gross area must be landscaped.
- The area between the property line and the street shall be included in the landscape plan and shall be maintained by the abutting property owner.
- Heights of landscaping materials shall be such that they do not create safety hazards for vehicular traffic by block sight lines at ingress points.
- The specifications shall state the common names and scientific names (genus species), sizes, and quantity of all materials to be utilized.
- Property abutting a different zoning district must be screened by a living screen. Planting which serves as a living screen shall be evergreens with an initial minimum six-foot (6') height and provided a solid visual barrier within two (2) years after planting.
- Additional information as needed for clarity.

Lucas Code of Ordinances - Sec. 3.18.022 Minimum requirements

- The title block in the lower, right-hand corner containing the following: date, scale, site location map, north arrow, and the names, addresses, and telephone numbers of both the property owners and the person preparing the plan.
- The addition name, block and lot description along with business name placed in the title block in the lower right-hand corner of the plan.
- The property boundary dimensions of the site (bearings and distances).
- All existing and proposed public and private streets and sidewalks including street and sidewalk widths.
- All existing services: fire hydrants, water mains, and sewer mains within the tract and immediately adjacent to it with pipe size and location indicated.

- All proposed water and sanitary sewer pipe lines with sizes indicated and valves, fire hydrants, manholes, and other appurtenances or structures shown.
- All existing or proposed water, sewer and irrigation connections, meter location, and size of meters.
- All existing and proposed utility and visibility easements.
- All existing or proposed buildings on the property, existing structures, access points on and adjacent to the property.
- Existing and proposed contours of berms in intervals of one (1) foot.
- Detailed structural designs of entryway features.
- Screening walls and location, type and height of screening wall, either living or masonry. (Masonry screening walls must be designed by a professional engineer registered in the state. Proposed berming is to be delineated by one-foot contours.)
- The following additional information must be submitted on the landscape plan:
 - Tabulations of the landscape edge in linear feet. Give the street name and the amount of frontage.
 - Label streets.
 - The following information is to be provided on the landscape plan in a tabular format:
 - Indicate the trees/shrubs required and provided.
 - Indicate parking area trees required and provided.
 - Indicate the trees/shrubs required and provided for parking lot perimeter landscaping.
 - Indicate parking lot interior landscaping required and provided.
 - Indicate gross landscape square footage and percentage excluding the city right-of-way (i.e. the landscape provided within the landscape edge and within the interior of the lots).
 - Show graphically all plant material existing/proposed.
 - Distance of trees/shrubs from sidewalks, curbs, screening walls, and utilities (minimum five (5) feet).
 - Spacing between trees/shrubs (varies, check growth specifications).
- Complete description of plant materials shown on the plan, including common and botanical names, locations, quantities, container (five-gallon minimum for required shrubs) or caliper sizes (four-inch minimum caliper for required shade trees), heights, spread, and spacing.
- Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including information as to the amount (in square feet) of landscape area compared to gross site square footage. The city right-of-way shall not be included as part of the gross site landscaping.
- Size, height, location and material of any proposed seating, lighting, planters, sculptures, decorative paving, and water features.
- Landscape plans shall contain the certification and stamp of a landscape architect licensed in the state that such plans have been reviewed by such landscape architect and satisfy all requirements of this article.
- Irrigation plans shall contain the certification and stamp of an irrigator licensed by the state board of irrigators that such plans were prepared by such irrigator and satisfy all requirements of this article.
- Location of sprinkler heads, valves, double-check valves, water meter, automatic controller, rain and freeze sensor, wind sensor, moisture sensor or any control mechanic of whatever kind or make must be shown on all irrigation plans.
- Living screens are clearly detailed by fence material, plant material species, plant material spacing, height at time of planting and mature height. Where the Director of Planning feels that there are elevation or topographical differences that would not accomplish the intent of the screening, the Director may request more details.
- Public or private street names (including street suffixes and/or prefixes) and right-of-way (ROW) dimensions are indicated for all internal and external streets.

- All existing and proposed plant material is graphically shown; species and quantity for each grouping are labeled. A minimum of four different species is shown for each plant type and are distributed throughout the site.
- Distance of trees/shrubs from sidewalks, curbs, screening walls, and utilities is indicated. If less than five feet from paving, areas of impervious surface or utility lines, show dimension. Refer to Plant List for other exceptions to planting in paving areas.
- A full set of civil engineering drawings, also including the plat, site plan, and landscape plan have been submitted to TXU. Submit these drawings to: TXU Electric Delivery, Attn: Right-of-Way Department, 115 W. 7th Street, Ste. 725, Fort Worth, TX, 76102.
- I understand that the City requires an approval letter from TXU Electric Delivery prior to issuance of a building permit where landscaping, parking, or other improvement/s are proposed to encroach within any TXU/TP&L easement/s. TXU has stated a minimum of six weeks to process the review. Approved irrigation within a TXU transmission easement shall be limited to drip and soaker hose irrigation, with the valve for such located outside of the easement.
- Residential subdivisions are to have landscaping requirements (Indicate required planting ratio, square footage, linear footage, etc., including required and provided quantities) specifically listed in tabular format on plan for the following:
 - a) Landscape Buffer (along external street frontage-provide separate calculations for each street frontage).
 - b) Entryway Yard areas (located each side of subdivision entries) are provided for primary and secondary entryways.
 - c) Entryway Yard area Trees and Shrubs are provided.
 - d) Entryway Medians are shown and dimensioned.
 - e) Entryway Median Trees and Shrubs are provided.
 - f) Screening Wall plans are provided.



DEVELOPMENT APPLICATION

City of Lucas, Texas

NAME OF SUBDIVISION AND/OR PROJECT: Lucas Square

ITEM SUBMITTED	APPLICATION FEE
Site Plan \$300 + \$10 per acre (i.e. \$500 for a 20 acre site plan)	_____
Tree Survey/Conservation Plan	<u>N/A</u>
Tree Removal & Site Clearing Permit \$250	<u>N/A</u>
Architectural Plan \$250 + \$50 for any reviews or presentations of amended plans	_____
Landscape Plan \$200 + \$50 for any reviews or presentations of amended plans	_____
Park Site Dedication \$1,000 per lot or land dedication per Lucas City Ordinance Sec. 10.03.122	_____
TOTAL FEES SUBMITTED	_____

Collin County Appraisal District Short Account Number(s): _____

Physical Location of Property: 995 W. Lucas Rd. Lucas, TX
(Address and General Location – approximate distance to nearest existing street corner)

Brief Legal Description of Property (must also attach accurate metes and bounds description):

(Survey/Abstract No. and Tracts; or platted Subdivision Name with Lots/Block)

Acreage: 2.25 Existing # of Lots/Tracts: _____ Existing Zoning: Retail & Office

OWNER'S NAME: Mahmoud Properties LLC Contact Phone: 313-377-7015

Applicant/Contact Person: Saleh Mahmoud Title: President

Company Name: Mahmoud Properties LLC

Street/Mailing Address: 844 Elgin Ct.

City: Rockwall State: TX Zip code: 75032

Phone: (313) 377-7015 Fax: () _____ Email Address: mahmoudpropertiesllc@gmail.com

ENGINEER/REPRESENTATIVE'S NAME: Dardari Consulting & Remodeling, LLC.

Contact Person: Ahmed A. Dardari Title: General Contractor

Street/Mailing Address: 1537 Englewood Dr.

City: Rockwall State: TX Zip code: 75032

Phone: (469) 434-8625 Fax: () _____ Email Address: amer.dardari@hotmail.com





NAME OF SUBDIVISION and/or PROJECT: Lucas Square

****READ BEFORE SIGNING BELOW:** If there is more than one property owner, complete a separate sheet with the same wording as below. The City requires all original signatures. If applicant is other than the property owner, a "Power of Attorney" with original, notarized signatures is required. (Notaries are available upon submittal)

ALL APPLICATIONS MUST BE COMPLETE, ACCOMPANIED BY THE APPLICABLE CHECKLIST AND TAX CERTIFICATE SHOWING TAXES PAID, BEFORE THEY WILL BE SCHEDULED FOR P&Z AGENDA. It is the applicant's responsibility to be familiar with, and to comply with, all City submittal requirements (in the Zoning & Subdivision Ordinances, and any separate submittal policies, requirements and/or checklists that may be required from City staff), including the number of plans to be submitted, application fees, etc. Please contact City staff in advance for submittal requirements. [Drawings will not be returned to applicant.]

ALL PARCELS/PROPERTIES MUST MATCH IN ACREAGE ALL OTHER DOCUMENTS SUBMITTED WITH NO AMBIGUITY. SUBMISSIONS: Failure to submit all materials to the City with this application will result in delays scheduling the agenda date.

NOTICE OF PUBLIC RECORDS. The submission of plans/drawings/etc. with this application makes such items public record, and the applicant understands that these items may be viewed by the general public. Unless the applicant expressly states otherwise in writing, submission of this application (with associated plans/drawings/etc.) will be considered consent by the applicant that the general public may view and/or reproduce (i.e., copy) such documents.

Applicant agrees to pay any and all monies due to the City including but not limited to park pro rata fee, Tree Removal Permit fee, 3% of construction cost (developer to provide contracts for verification) and including but not limited to other fees that may be required prior to final plat approval.

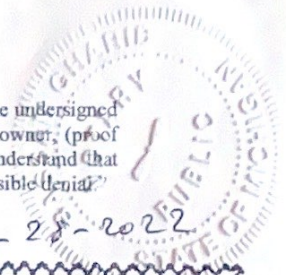
STATE OF ~~TEXAS~~ Michigan
COUNTY OF ~~COLLIN~~ Wayne

BEFORE ME, a Notary Public, on this day personally appeared SALEH MAHMOUD the undersigned who, under oath, stated the following: "I hereby certify that I am the owner, or duly authorized agent of the owner, (proof attached) for the purposes of this application; that all information submitted herein is true and correct. I understand that submitting this application does not constitute approval, and incomplete applications will result in delays and possible denial."

[Signature]
**Owner / Agent (circle one)

SUBSCRIBED AND SWORN TO before me, this the 28 day of June, 2022

Notary Public in and for the State of Texas: Michigan



6-28-2022
Bassam Ali Ghanib
Notary Public of Michigan
Wayne County
Expires 01/01/2023
Acting in the County of Wayne

Official Use Only:	Action Taken		
Planning & Zoning:	_____	Date:	_____
City Council:	_____	Date:	_____
Applicant Withdrew: Yes or No	Applicant Made a Written Withdrawal: Yes or No	Date:	_____

KCB Engineering, LLC

11303 Southwind Pl, Krum, TX 76249

(940) 368-6159

KCBEngineering@outlook.com

Roc Design Engineers
Attn: Majad Khalaf, P.E.
9101 LBJ Hwy Suite 570
Dallas, TX 75243

Collin County Health Dept.
Attn: OSSF Designated Representative
4690 Community Ave., Suite 200
McKinney, TX 76071

RE: Lucas Retail Center
995 W. Lucas Rd.
Lucas, TX 75002

October 28, 2022 rev 1-27-23

Gentlemen,

We have been asked to provide details and specifications for an On-Site Sewage Facility (OSSF) to be located at the above address. KCB Engineering, LLC has designed the OSSF for the above referenced property address sealed on October 28, 2022. The design is in compliance with the TCEQ chapter 285 requirements and standard accepted engineering practice.

This design requires a sewer line and a forced main to cross the fire lane and utility easement. Permission from the easement holder will be required prior to construction.

Due to the amount of development on the property, the OSSF has very limited options. The limitations are due to water lines, building sewer exits, detention pond and concrete paving to mention a few. The contractor should understand these limitations prior to construction commencing.


It is important that you understand the need to impress upon your management staff and tenants the need for good septic practices. This will reduce maintenance issues and costs for your company. These practices are listed on the following pages.

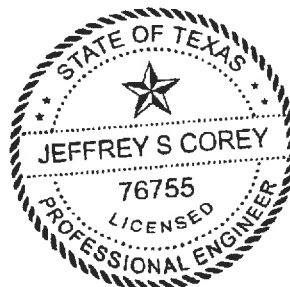
Once the system is in operation and has reached steady state, it is recommended that a BOD₅ be sampled. Based upon the results, the system may require additional adjustments.

You will need to apply for an OSSF construction and operating permit. Please submit the design packet and this letter along with the permit application to the Designated Representative for OSSF's at Collin County.

If you have any questions, please contact me.

Respectfully,


Jeffrey S. Corey, P.E.
Professional Engineer
TBPE #76755
Texas Firm # F-15507



KCB Engineering, LLC

11303 Southwind Pl, Krum, TX 76249

(940) 368-6159

KCBEngineering@outlook.com

On-Site Sewage Recommended Practices

- Know and abide by all state and any local requirements for wastewater quality, testing, and reporting.
- Inspect the system at specified intervals, usually once every 3 months, to check its operation and perform routine maintenance.
- Contract with a licensed professional company to perform inspections, wastewater tests, and reports completion and submission to local agencies.
- Keep records on the system performance and your service activities.
- Recognize the tasks that should be left to professionals to make sure that the job is performed correctly and that you do not subject the public to undue health risks.
- Keep other supplies, such as the permit/ as-built plans/specifications, governmental forms, and the system owner's manual.
- Keep on hand the proper disinfectant, such as wastewater chlorine tablets or liquid bleach, to add to the disinfection component. If you do not maintain the system properly, you could endanger human and environmental health, impair your wastewater system, and incur legal action. Because sewage can contain disease-causing microbes, wastewater is a public health concern. Environmental protection: The EPA has set national guidelines for management of onsite and wastewater treatment systems. The guidelines are posted on the Web at <http://cfpub.epa.gov/owm/septic/home.cfm>. System reliability: All system components from the plumbing fixtures in the home to the spray heads in the yard must be functional within expectations. By law, water that leaves your property, either through runoff or by seepage into the ground, must meet certain quality standards as demonstrated by laboratory tests. If your wastewater treatment system is not maintained properly, the water will not be treated enough, and you may be subject to fines.
- Your system can be affected by the amount, strength, and timing of the wastewater entering it. These devices, practices, and products can alter an aerobic system's performance:
- Water-saving devices reduce the amount of wastewater, but they also make it stronger, which can prevent the system from meeting the required effluent standards.
- Water-treatment devices with automatic back flushing add extra water into the system that can be avoided.
- Some water-conditioning units add chemicals into the effluent that can reduce the effectiveness of the biological and physical processes in an aerobic treatment unit. This wastewater stream may need to be plumbed around the treatment tanks to the pump tank.
- Condensate from air conditioning units is not sewage. Route it around the system. □ Commercial ice machines can also add large amounts of clear water.
- Laundry activities greatly affect your wastewater system: - Powdered detergent can plug cast-iron piping, and some soap contains forms of benzoate as filler. Keep these out of the system to improve its long-term performance. - Bleach additives can affect the biology of the septic tank and the rest of the system. Do not overuse bleach. - The amount of laundry done each day is also important. Spread out the loads over time to help the system perform at its best.
- In-home businesses can directly affect the system. Use for daycare increases the overall flow and can increase the use of antibacterial soaps. The system can also be affected by other small businesses that use chemicals, such as antique refinishing services, beauty shops, lawn care services, photo labs, dog grooming services, and taxidermy shops. Barbershops typically discharge large amounts of hair.
- Prescription antibiotics and drugs are extremely hard on the microbes in the system. Flushing them into the wastewater system increases the maintenance.
- Heavy use of bath and body oils can raise the fats, oils, and grease (FOG) values in the system. Removal or reduction of these can improve the performance of the system.

KCB Engineering, LLC

11303 Southwind Pl, Krum, TX 76249

(940) 368-6159

KCBEngineering@outlook.com

- A garbage disposal adds to the overall loading of the system in four ways: - More waste enters the treatment system. - Because the organic matter has not been digested, it takes longer to break down. - More water is used to rinse out the sink. - Smaller particles take longer to settle.
- Toxic drain cleaners kill the bacteria, resulting in a limited microbial activity in the tank and poor separating characteristics.
- Antibacterial soap also affects the biology of the tank.
- Liquid soap tends to be easily overused and may create problems in the system.
- Automatic cleaners (for toilets and showers) continually send chemicals into the system, which can cause long-term problems.
- Other cleaning products may also alter the treatment process. When choosing a cleaning product, first read the label: - Danger means that the chemical will kill the microbes; use it rarely or never. - Warning means that limited use should not affect the system much. - Caution typically means that the product will have little effect on the system.
- Areas used for effluent application must be seeded or sodded to provide vegetative cover. Effluent must not be applied to gardens or fruit orchards.
- Excessive amounts of toilet paper cause sludge to build up faster.
- Treated toilet paper, such as the type that contains lotion, does not settle well and forms a thick layer of scum at the top of the tank.
- Other paper products, such as wet wipes, should not enter the system.
- Flushable cleaning products, many wipes and toilet cleaning materials are labeled as “septic safe.” This statement typically refers to their ability to flow through the piping. These items will collect in the treatment system and increase the need for maintenance.
- Trash and non-digestible material increase the amount of maintenance required and may even shorten the life of the components. Examples are rags, toys, diapers, condoms, cat litter, plastic bags, coffee grounds, cigarette filters, and feminine hygiene products. Many of these items have neutral buoyancy and will pass through the treatment components. Cat litter and coffee grounds add to the sludge that must be pumped out during maintenance. Diapers must be removed individually.

CONSTRUCTION DRAWINGS FOR

LUCAS COMMERCIAL CENTER

995 W. LUCAS ROAD, LUCAS, TX

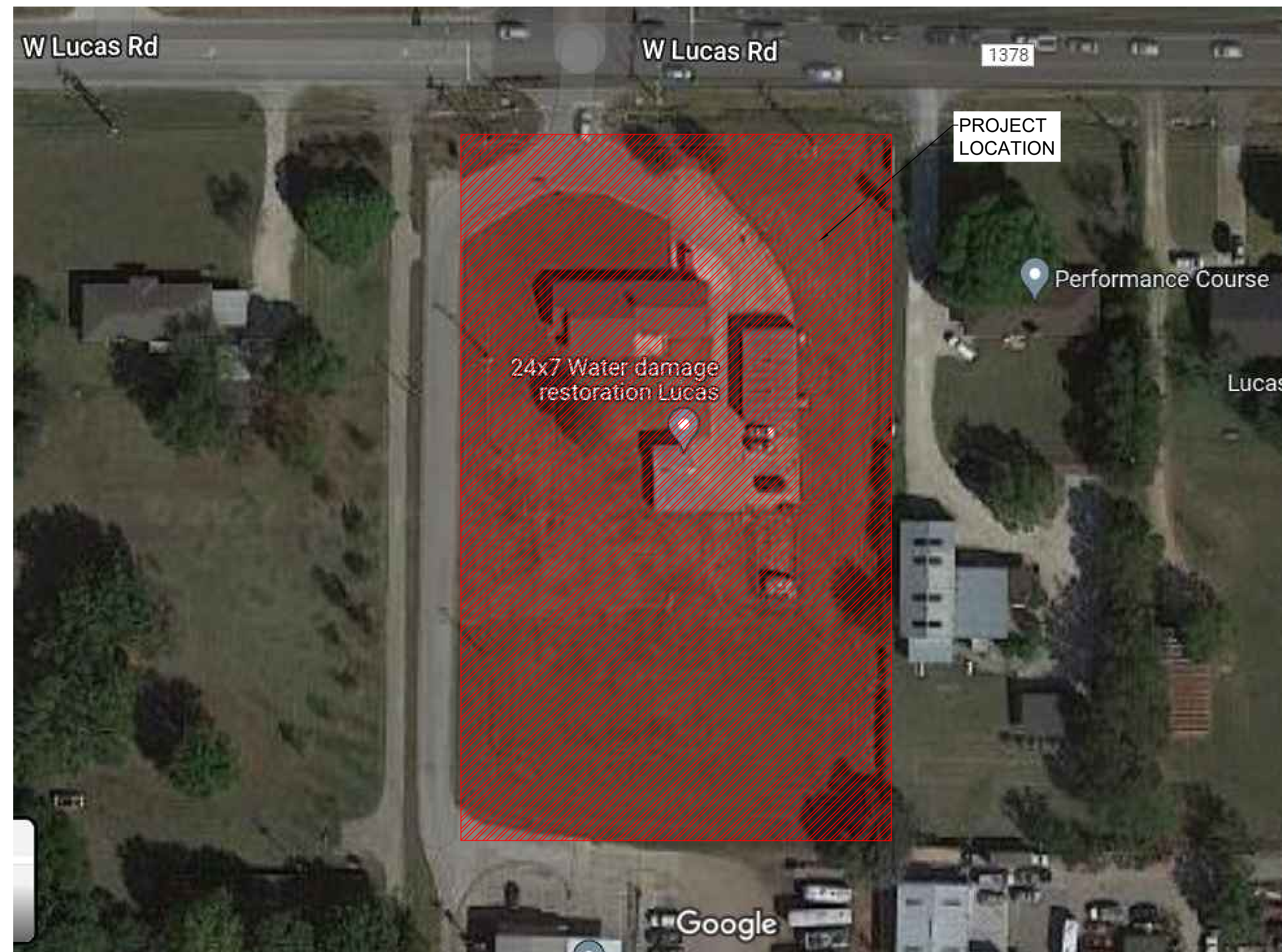
APRIL 2023

ROC CIVIL
ROC DESIGN ENGINEERS
 Superior Civil Engineering Service
 Texas Firm F-13744

9101 N. LBJ FWY, SUITE 570
 Dallas, Texas 75243
 Phone 972.639.8375

LUCAS COMMERCIAL CENTER

995 WEST LUCAS ROAD,
 LUCAS, TEXAS 75002



Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	SITE PLAN
C2.0	EROSION CONTROL PLAN
C3.0	EXISTING DRAINAGE AREA MAP
C3.1	PROPOSED DRAINAGE AREA MAP
C3.2	PROPOSED DETENTION PLAN AND PROFILE
C4.0	GRADING PLAN
C5.0	PAVING PLAN
C6.0	UTILITY PLAN
C7.0	SITE DETAILS
C7.1	SITE DETAILS
C7.2	SITE DETAILS

No.	Revision/Issue	Date

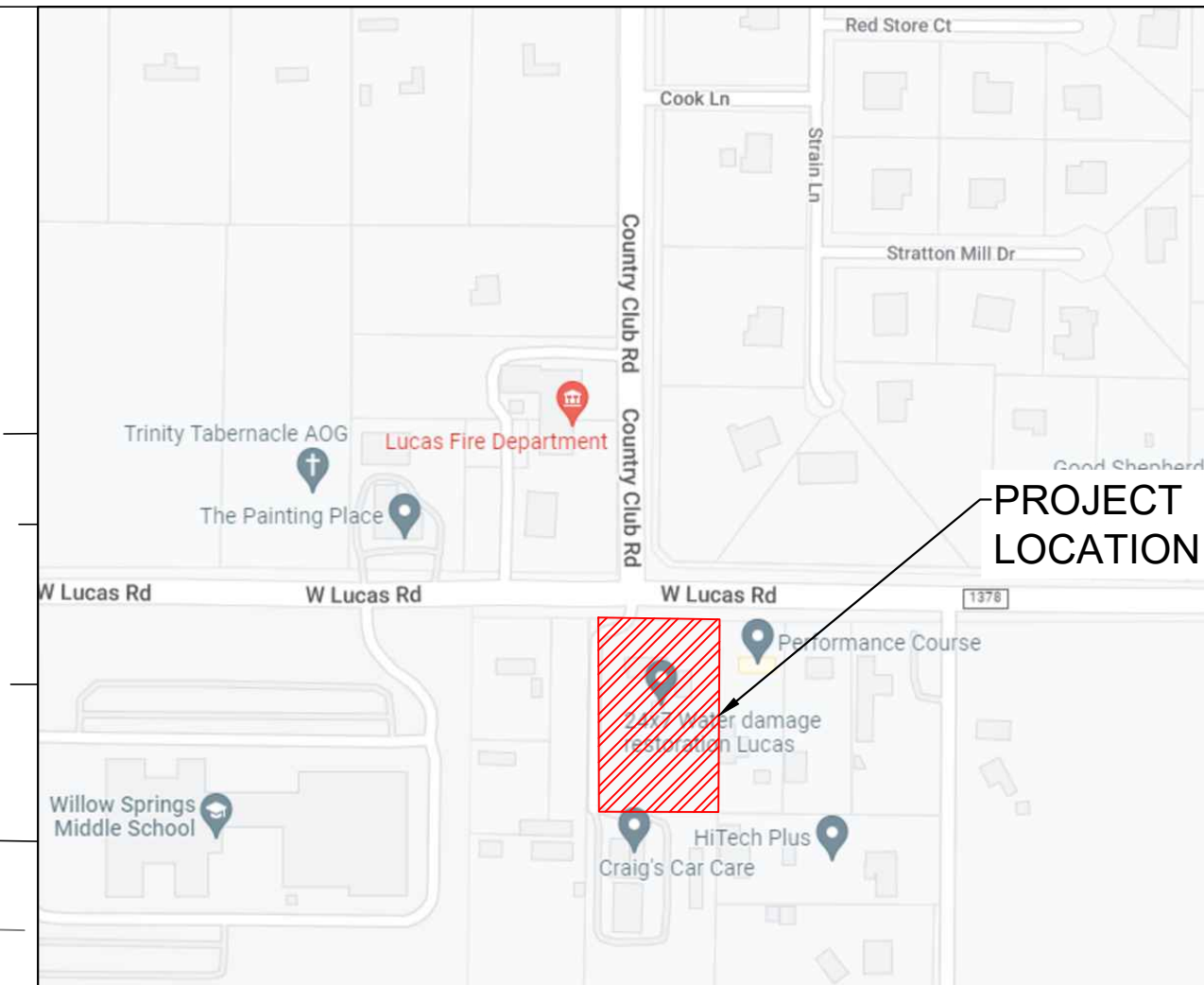
STATE OF TEXAS
 MAJED A. KHALAF
 67826
 LICENSED PROFESSIONAL ENGINEER

Majed A. Khalaf
 04/30/2023

Issued Date: 04-30-23
 Project No: 22014

Drawn By: JPK
 Checked By: MAK
 Designed By: JPK

Project	220014	Sheet	C0.0
Date	04/30/23	Scale	
Scale			



2 LOCATION MAP
 C1.0 SCALE: NTS

SITE PLAN INFORMATION		
Category	Required by Zoning Ordinance for "CB" Commercial Business	Provided
Lot Area	30,000 S.F.	97,666 S.F.
Lot Width	None	244.00 Ft.
Lot Depth	None	400.34 Ft.
Building Coverage	40% Max 39,066 S.F.	19.3% 18,859 S.F.
Front Setback	50 Ft.	52 Ft.
Side Setback	30 Ft.	30.00 Ft.
Rear Setback	25 Ft.	31.50 Ft.
Impervious Area	63,482 SF (65%)	60,257 SF (61.7%)
Landscape Area	10% 9,766 S.F.	38.3% 37,409 S.F.
Building Uses	Retail, Commercial, Offices	Offices
Building Heights	35' Max.	Bldg A 1st Story - 15 Ft. Bldg B 1 Story - 15 Ft.
Parking Spaces	1 per 300 S.F. of Gross Building Square Footage 82 Total Spaces	77 Standard Spaces 5 Handicap Spaces

LEGEND - SITE PLAN	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	BUILDING SETBACK
	EASEMENT
	FIRE LANE STRIPING
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED STORM SEWER LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM SEWER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING UNDERGROUND CABLE LINE
	PROPOSED CONCRETE PAVEMENT
	PROPOSED FIRE LANE PAVEMENT
	PROPOSED SIDEWALK
	EXISTING ASPHALT PAVEMENT
	EXISTING TREE TO REMAIN
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED WATER METER
	PROPOSED MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	EXISTING WATER METER
	EXISTING MANHOLE
	EXISTING POWER POLE

CONSTRUCTION NOTES

- BUILDING SILL ELEVATIONS AND SEWER INVERTS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- THE MINIMUM SLOPE FOR SANITARY SEWER LATERALS SHALL BE 0.010 FT/FT (6" LATERALS AT MINIMUM 1%, 4" LATERALS AT MINIMUM 2%).
- PROGRESSION OF WORK IN GENERAL WORK SHALL PROCEED FROM THE DOWNSTREAM END OF A SEWER LINE SEGMENT TO THE UPSTREAM END OF THE SEGMENT.
- THE MAXIMUM LENGTH OF OPEN TRENCH SHALL BE LIMITED TO NO MORE THAN THREE PIPE LENGTHS IN A SEWER SEGMENT.
- THE MINIMUM TRENCH WIDTH SHOULD BE NO LESS THAN 24 INCHES OR ONE FOOT GREATER THAN OUTSIDE DIAMETER OF THE PIPE, WHICHEVER IS GREATER.
- THE MINIMUM DEPTH OF COVER ABOVE THE TOP OF PIPE FOR WATER LINE INSTALLATIONS SHALL BE 4 FEET.
- WATER MAINS AND SERVICES: LOCATIONS SHOWN ARE APPROXIMATE AND ARE INDICATED FOR GENERAL REFERENCE ONLY UNLESS OTHERWISE NOTED.
- ALL EXISTING UNDERGROUND FEATURES SUCH AS SEPTIC TANKS, LEACH FIELDS, SANITARY SEWERS, ETC. ARE APPROXIMATE ONLY AND ARE INDICATED FOR GENERAL REFERENCE AND DESIGN UNLESS OTHERWISE NOTED.
- WORK IN PRIVATE PROPERTY: THE CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO BEGINNING WORK IN ANY PRIVATELY OWNED AREAS WHICH WILL REQUIRE EASEMENTS FOR CONSTRUCTION.

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SIDEWALKS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL COORDINATE UTILITY POLE RELOCATION WITH THE UTILITY COMPANY.
- CONCRETE AND FLEXBASE SECTION DESIGNS WILL SUPPORT TYPICAL FIRE APPARATUS LOADS.
- PROPOSED DOMESTIC WATER AND FIRE FLOW WILL BE SUPPLIED BY CITY OF LUCAS.

LUCAS COMMERCIAL CENTER

995 WEST LUCAS ROAD,
 LUCAS, TEXAS 75002

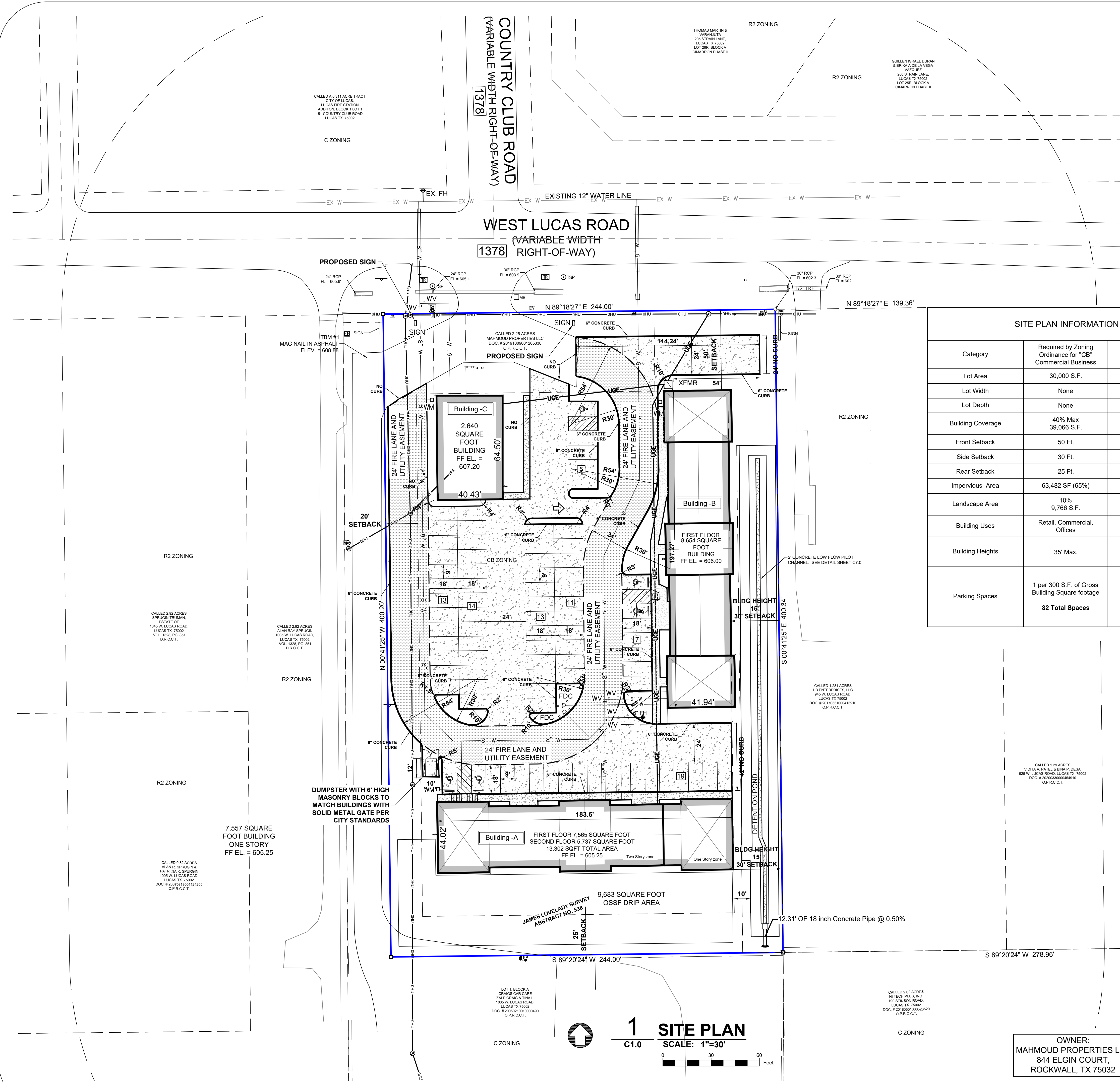
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04/30/2023

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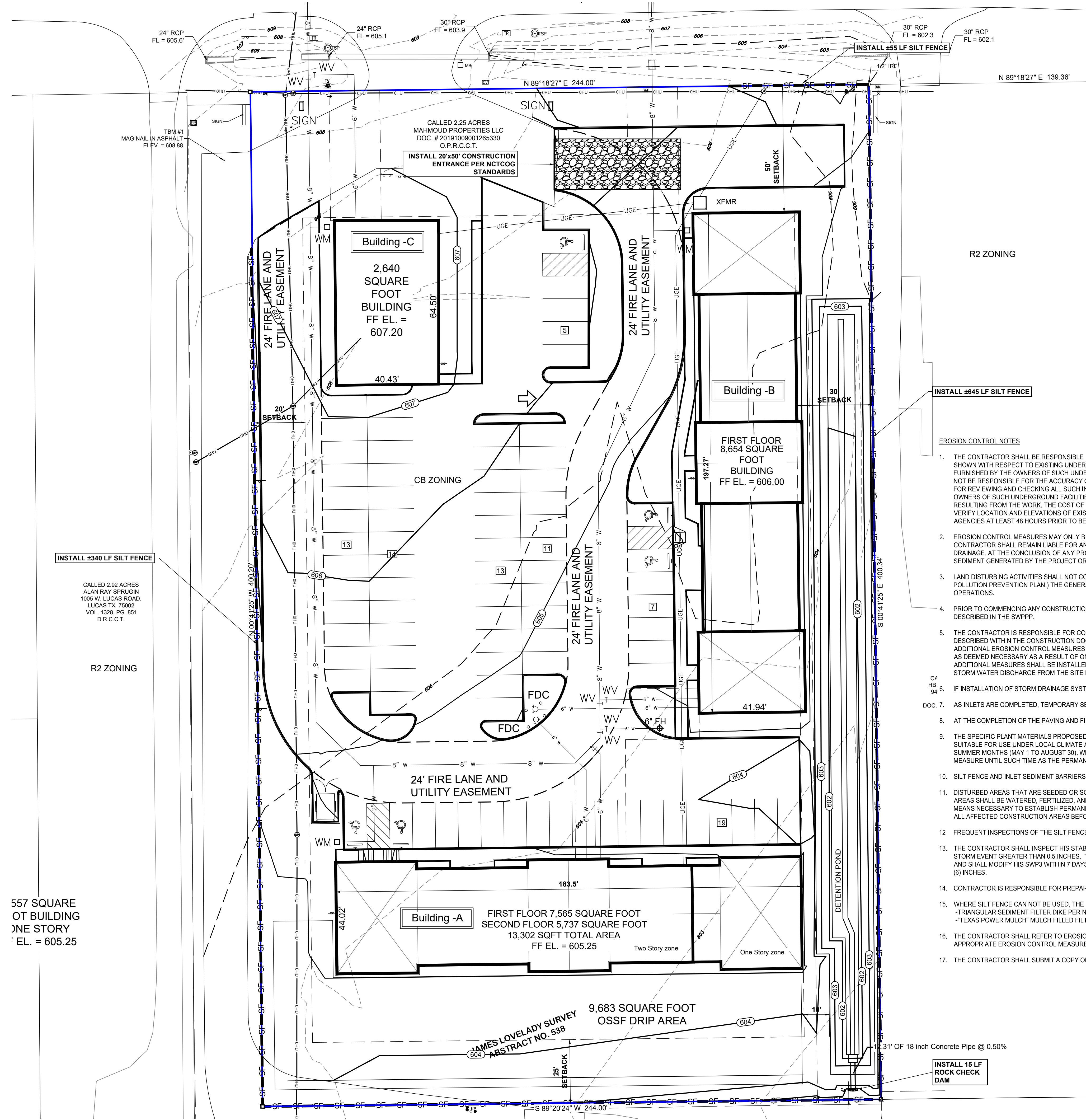
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Date	04/30/23		
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1 SITE PLAN
 C1.0 SCALE: 1"=30'

OWNER:
 MAHMOUD PROPERTIES LLC
 844 ELGIN COURT,
 ROCKWALL, TX 75032

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LEGEND - EROSION CONTROL PLAN

- PROPERTY LINE
ADJACENT PROPERTY LINE
BUILDING SETBACK
EASEMENT
PROPOSED WATER LINE
PROPOSED SANITARY SEWER LINE
PROPOSED STORM SEWER LINE
EXISTING WATER LINE
EXISTING SANITARY SEWER LINE
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EXISTING ASPHALT PAVEMENT
EXISTING TREE TO REMAIN
PROPOSED FIRE HYDRANT
PROPOSED GATE VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
EXISTING FIRE HYDRANT
EXISTING GATE VALVE
EXISTING WATER METER
EXISTING MANHOLE
EXISTING POWER POLE
SEDIMENT CONTROL BARRIER
STABILIZED CONSTRUCTION ENTRANCE
ROCK CHECK DAM
INLET PROTECTION

EROSION CONTROL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATING...
2. EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS, OR IN CHANNELS, DRAINAGEWAYS OR BORROW DITCHES...
3. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES...
4. PRIOR TO COMMENCING ANY CONSTRUCTION, A CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE SHALL BE INSTALLED...
5. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS...
6. IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED...
7. AS INLETS ARE COMPLETED, TEMPORARY SEDIMENT BARRIERS SHALL BE INSTALLED.
8. AT THE COMPLETION OF THE PAVING AND FINAL GRADING, THE DISTURBED AREA(S) SHALL BE REVEGETATED...
9. THE SPECIFIC PLANT MATERIALS PROPOSED TO PROTECT FILL AND EXCAVATED SLOPES SHALL BE AS INDICATED WITHIN THE SWPPP...
10. SILT FENCE AND INLET SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL REVEGETATION HAS BEEN COMPLETED.
11. DISTURBED AREAS THAT ARE SEEDED OR SODDED SHALL BE CHECKED PERIODICALLY TO SEE THAT GRASS COVERAGE IS PROPERLY MAINTAINED...
12. FREQUENT INSPECTIONS OF THE SILT FENCE SHALL BE MADE. ALL REPAIRS OR REPLACEMENTS SHALL BE MADE IMMEDIATELY.
13. THE CONTRACTOR SHALL INSPECT HIS STABILIZATION AND EROSION REPAIR MEASURES AT MINIMUM OF ONCE EVERY 14 DAYS...
14. CONTRACTOR IS RESPONSIBLE FOR PREPARING, FILING, & MAINTAINING THE SWPPP & THE NOI.
15. WHERE SILT FENCE CAN NOT BE USED, THE CONTRACTOR MAY SUBSTITUTE WITH THE FOLLOWING:
-TRIANGULAR SEDIMENT FILTER DIKE PER NCTCOG SPEC 1050A
-TEXAS POWER MULCH MULCH FILLED FILTER SOCK
16. THE CONTRACTOR SHALL REFER TO EROSION CONTROL NARRATIVE AND SWPPP COORDINATION/INVESTIGATION DOCUMENTATION PROVIDED BY OTHERS...
17. THE CONTRACTOR SHALL SUBMIT A COPY OF THE SWPPP TO THE CITY PRIOR TO CONSTRUCTION.

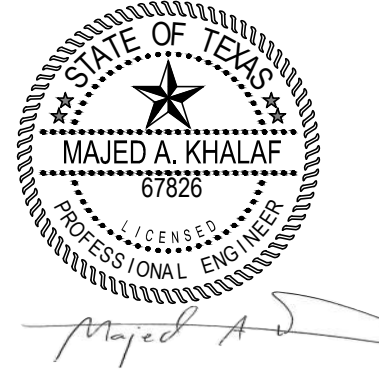
ROC CIVIL
ROC DESIGN ENGINEERS
Superior Civil Engineering Service
Texas Firm F-13744

9101 N. LBJ FWY, SUITE 570
Dallas, Texas 75243
Phone 972.639.8375

LUCAS COMMERCIAL CENTER

995 WEST LUCAS ROAD,
LUCAS, TEXAS 75002

Table with 3 columns: No., Revision/Issue, Date



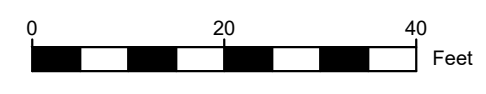
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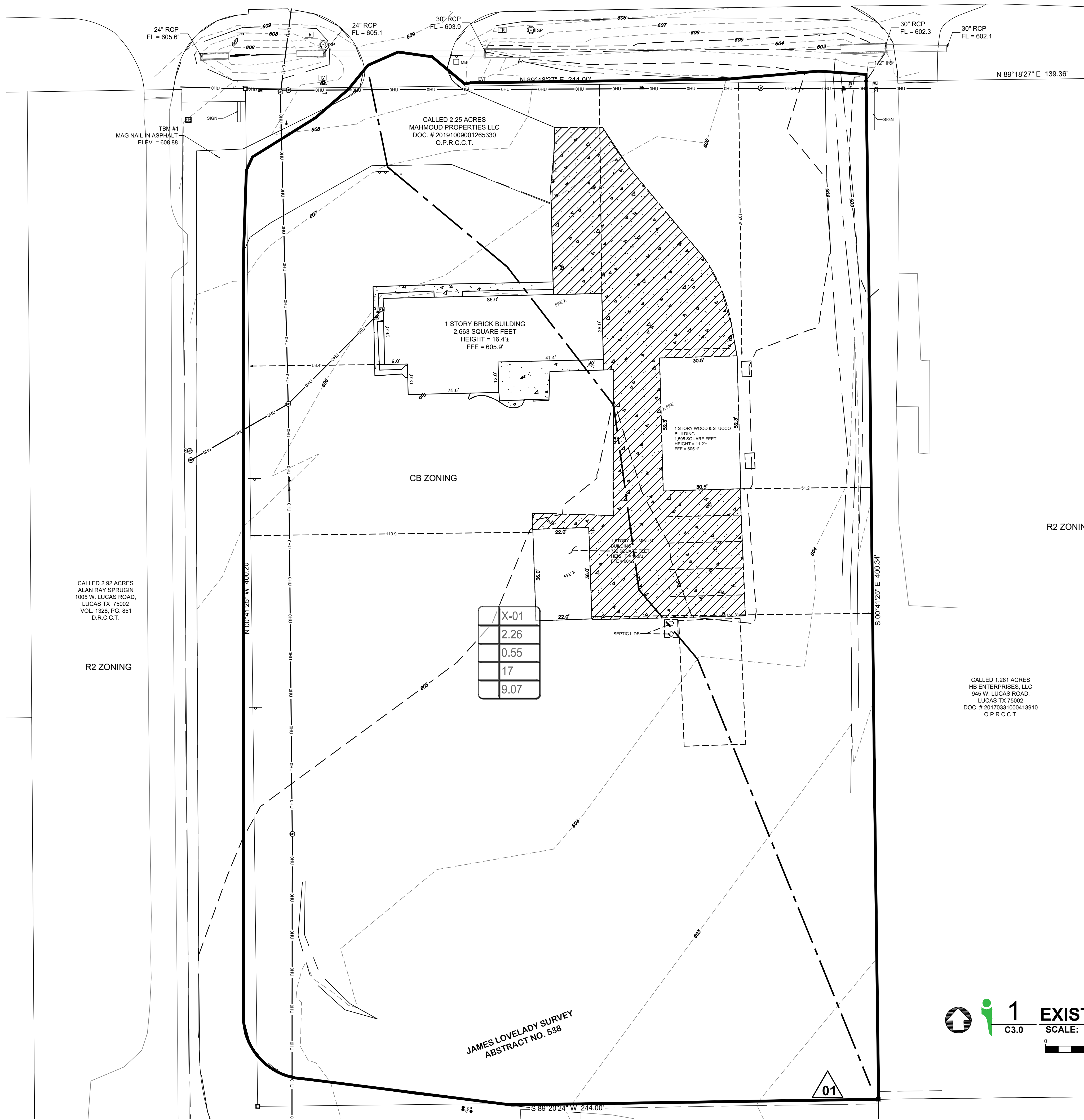
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557 SQUARE
OT BUILDING
ONE STORY
FF EL. = 605.25

1 EROSION CONTROL PLAN
SCALE: 1"=20'



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Duration		Rainfall Intensity (in/hr) by Storm Frequency (Years)						
min	hr	2-year	5-year	10-year	25-year	50-year	100-year	
5	0.083	5.94	7.24	8.29	9.72	10.80	11.90	
10	0.167	4.76	5.80	6.65	7.80	8.68	9.53	
15	0.25	3.95	4.80	5.50	6.44	7.14	7.84	
30	0.5	2.75	3.33	3.81	4.45	4.93	5.40	
60	1	1.79	2.18	2.50	2.93	3.26	3.58	
120	2	1.11	1.37	1.59	1.88	2.11	2.35	
180	3	0.826	1.03	1.20	1.44	1.62	1.82	
360	6	0.494	0.620	0.728	0.882	1.00	1.13	
720	12	0.291	0.366	0.431	0.522	0.595	0.673	
1440	24	0.171	0.215	0.253	0.307	0.350	0.395	

NOAA ATLAS 14 RAINFALL INTENSITIES
(TABLE 1 - LUCAS DRAINAGE DESIGN MANUAL)

FAA Formula Tc Worksheet

$T_c = 1.8(1.1 - C) \times \text{Flow length}^{0.5} / \text{Watercourse slope}^{0.333}$
 Hyd. No. 1
 X-01
 Description
 Flow length (ft) = 456.00
 Watercourse slope (%) = 1.57
 Runoff coefficient (C) = 0.55
 Time of Conc. (min) = 17

LOCATION	DESIGN STORM FREQUENCY (YEARS)	TIME OF CONCENTRATION (MIN)	INTENSITY, I (IN/HR)	DRAINAGE AREA, A (ACRES)	RUNOFF COEFFICIENT, C	DESIGN FLOW, Q _D = CIA (CFS)
1	2	17	3.73	2.26	0.55	4.64
1	5	17	4.51	2.26	0.55	5.61
1	10	17	5.16	2.26	0.55	6.41
1	25	17	6.02	2.26	0.55	7.48
1	100	17	7.30	2.26	0.55	9.07

X-01
2.26
0.55
17
9.07

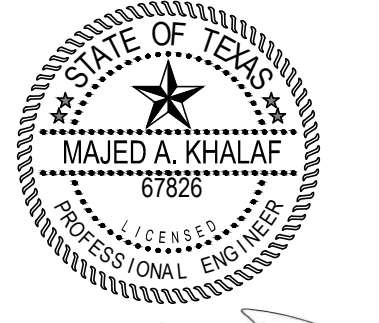
1 EXISTING DRAINAGE PLAN
 SCALE: 1"=20'
 0 20 40 Feet

ROC CIVIL
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 Superior Civil Engineering Service
 Texas Firm F-13744

9101 N. LBJ FWY, SUITE 570
 Dallas, Texas 75243
 Phone 972.639.8375

LUCAS COMMERCIAL CENTER
 995 WEST LUCAS ROAD,
 LUCAS, TEXAS 75002

No.	Revision/Issue	Date

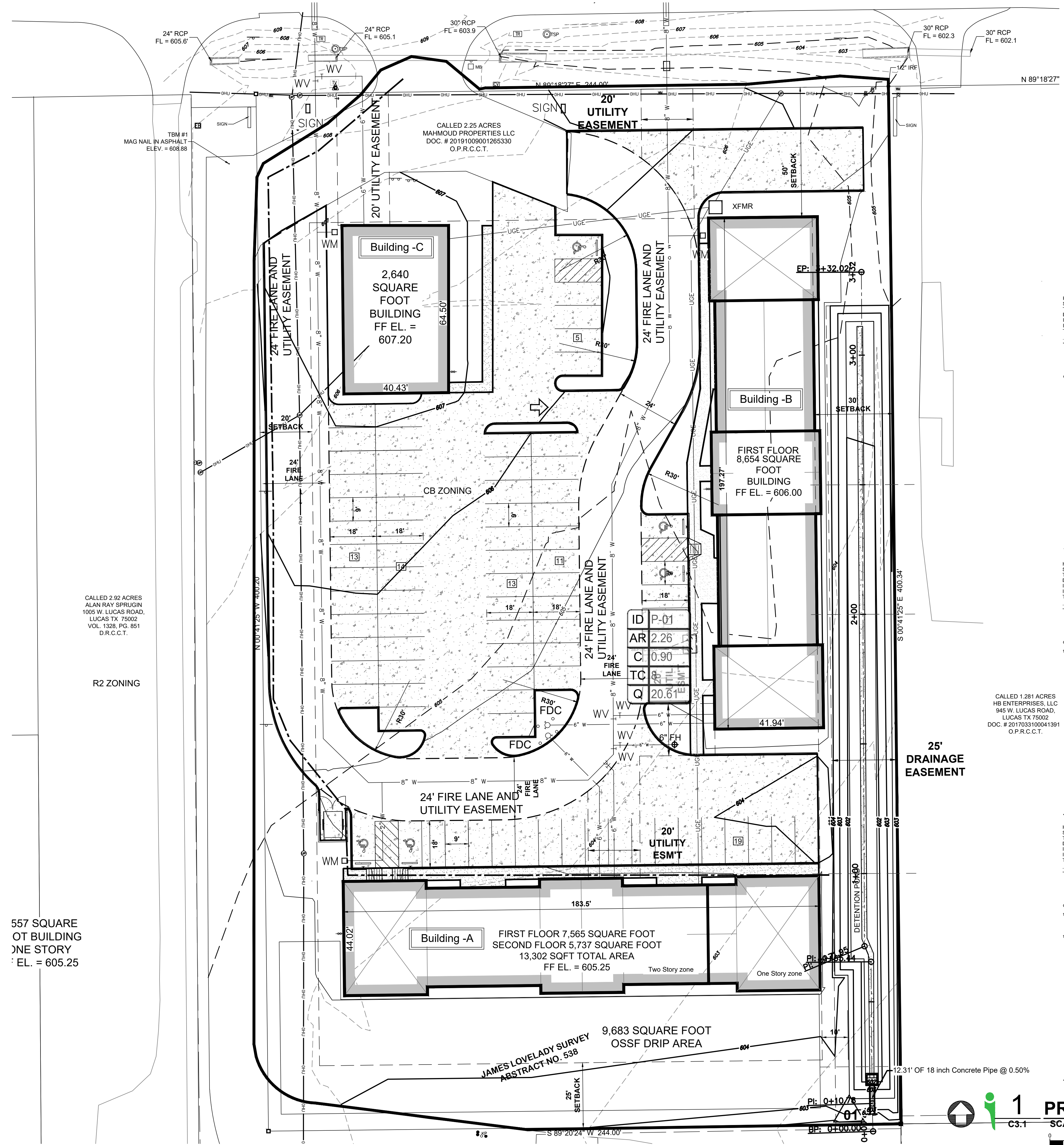


04/30/2023

Issued Date: 04-30-23
 Project No: 22014
 Drawn By: JPK
 Checked By: MAK
 Designed By: JPK

Project 220014 Sheet
 Date 04/30/23
 Scale 1" = 30'
C3.0

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FAA Formula Tc Worksheet

$T_c = 1.8(1.1 - C) \times \text{Flow length}^{0.5} / \text{Watercourse slope}^{0.333}$

Hyd. No. 2
P-01

Description

Flow length (ft) = 529.00
Watercourse slope (%) = 1.16
Runoff coefficient (C) = 0.90

Time of Conc. (min) = 8

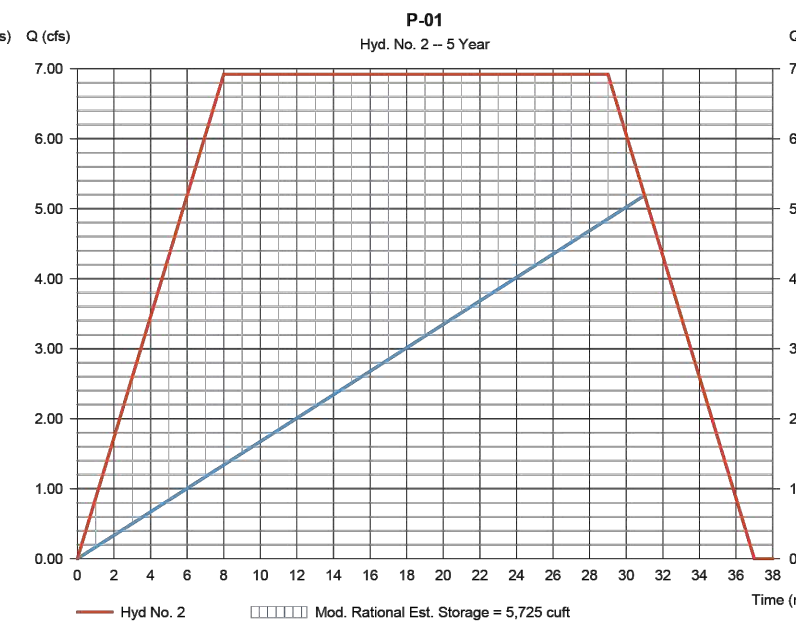
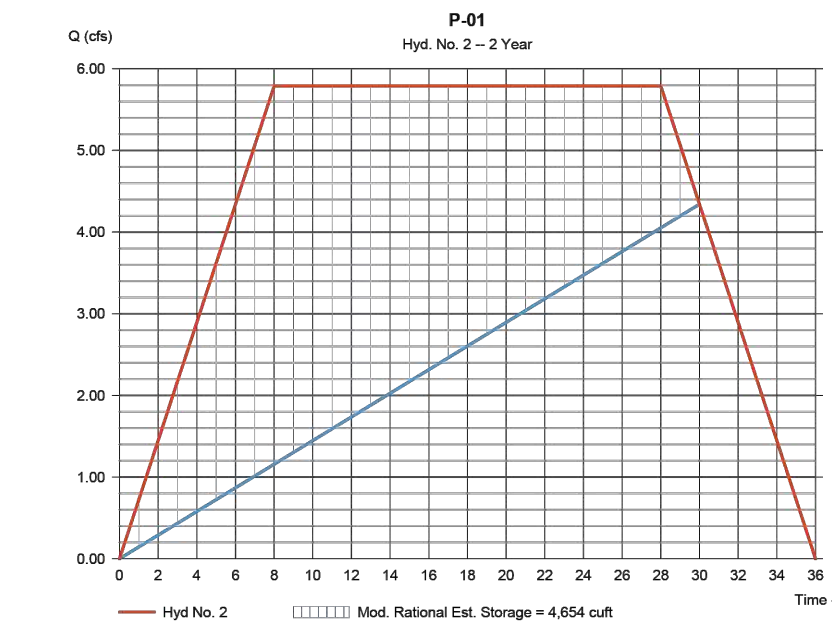
DESIGN FLOW (QD) BY RATIONAL METHOD, PROPOSED						
LOCATION	DESIGN STORM FREQUENCY (YEARS)	TIME OF CONCENTRATION (MIN)	INTENSITY, I (IN/HR)	DRAINAGE AREA, A (ACRES)	RUNOFF COEFFICIENT, C	DESIGN FLOW, Q _D = CIA (CFS)
1	2	8	5.13	2.26	0.9	10.44
1	5	8	6.23	2.26	0.9	12.66
1	10	8	7.13	2.26	0.9	14.50
1	25	8	8.34	2.26	0.9	16.96
1	100	8	10.15	2.26	0.9	20.64

Hydrograph type = Mod. Rational
Storm frequency = 2 yrs
Time interval = 1 min
Drainage area = 2.260 ac
Intensity = 2.846 in/hr
IDF Curve = NOAA_995_W_LUCAS.IDF
Target Q = 4.620 cfs

Peak discharge = 5.758 cfs
Time to peak = 8 min
Hyd. volume = 9.751 cuf
Runoff coeff. = 0.9
Tc by FAA = 8.00 min
Storm duration = 3.5 x Tc
Est. Req'd Storage = 4.654 cuf

Hydrograph type = Mod. Rational
Storm frequency = 5 yrs
Time interval = 1 min
Drainage area = 2.260 ac
Intensity = 3.402 in/hr
IDF Curve = NOAA_995_W_LUCAS.IDF
Target Q = 5.620 cfs

Peak discharge = 6.821 cfs
Time to peak = 8 min
Hyd. volume = 12.059 cuf
Runoff coeff. = 0.9
Tc by FAA = 8.00 min
Storm duration = 3.5 x Tc
Est. Req'd Storage = 5.725 cuf



MODIFIED RATIONAL METHOD DETENTION VOLUME, 2-YR

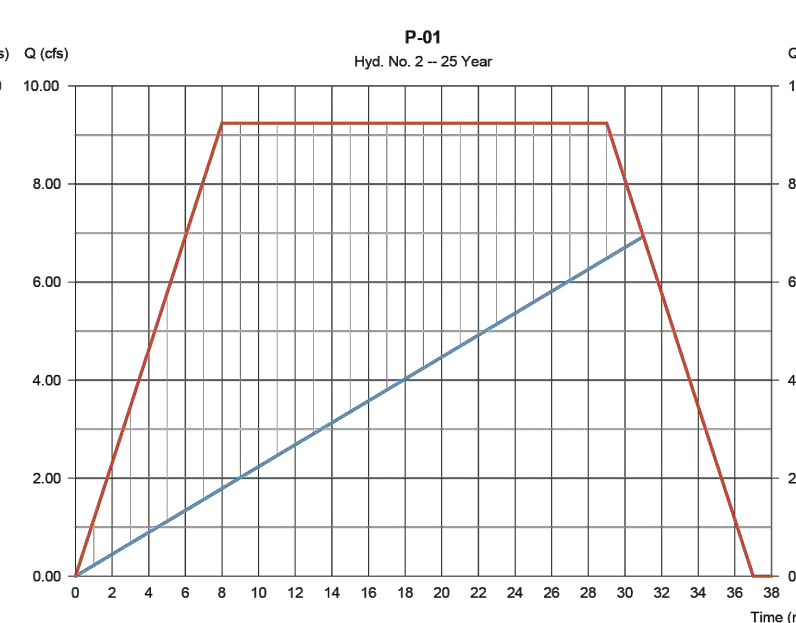
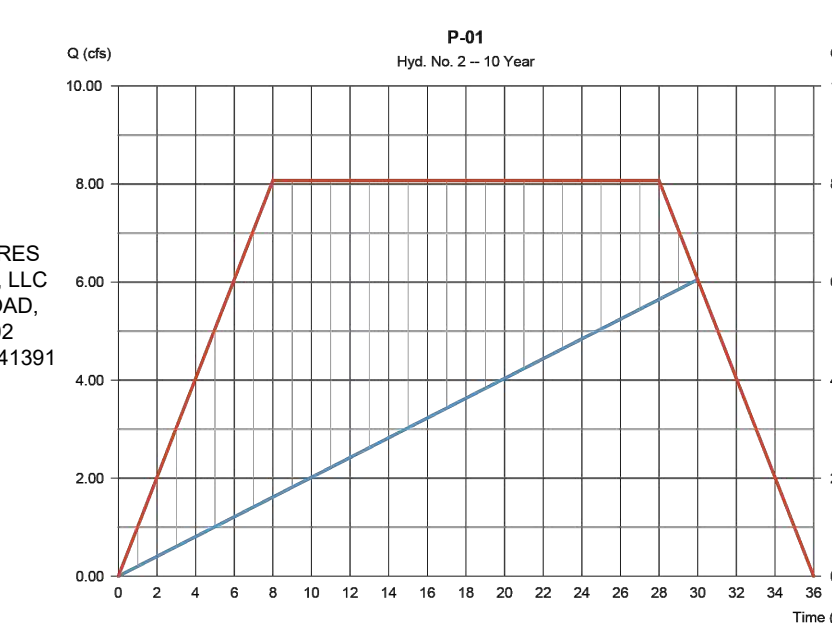
Hydrograph type = Mod. Rational
Storm frequency = 2 yrs
Time interval = 1 min
Drainage area = 2.260 ac
Intensity = 3.187 in/hr
IDF Curve = NOAA_995_W_LUCAS.IDF
Target Q = 4.440 cfs

Peak discharge = 8.008 cfs
Time to peak = 8 min
Hyd. volume = 13.584 cuf
Runoff coeff. = 0.9
Tc by FAA = 8.00 min
Storm duration = 3.5 x Tc
Est. Req'd Storage = 4.468 cuf

MODIFIED RATIONAL METHOD DETENTION VOLUME, 5-YR

Hydrograph type = Mod. Rational
Storm frequency = 5 yrs
Time interval = 1 min
Drainage area = 2.260 ac
Intensity = 4.243 in/hr
IDF Curve = NOAA_995_W_LUCAS.IDF
Target Q = 7.590 cfs

Peak discharge = 9.240 cfs
Time to peak = 8 min
Hyd. volume = 16.100 cuf
Runoff coeff. = 0.9
Tc by FAA = 8.00 min
Storm duration = 3.5 x Tc
Est. Req'd Storage = 7.647 cuf



MODIFIED RATIONAL METHOD DETENTION VOLUME, 10-YR

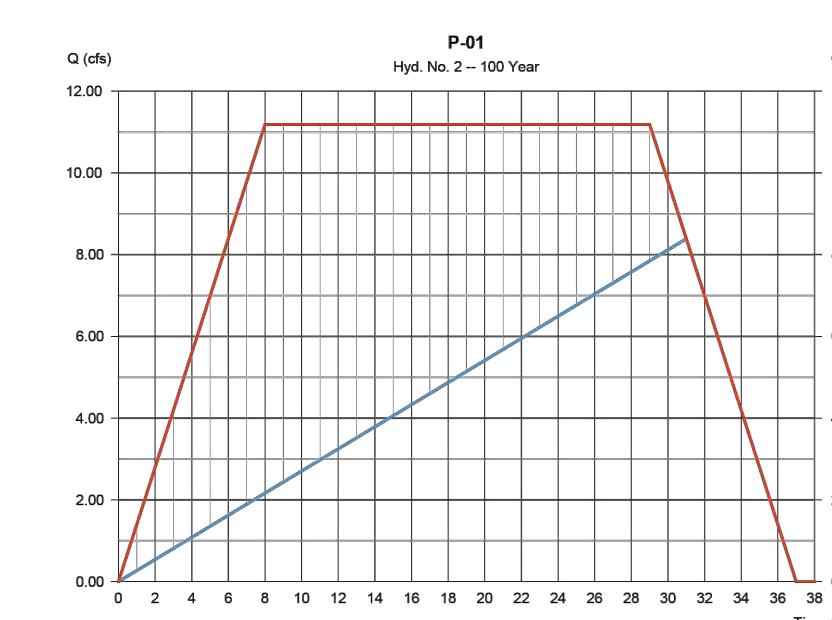
Hydrograph type = Mod. Rational
Storm frequency = 10 yrs
Time interval = 1 min
Drainage area = 2.260 ac
Intensity = 5.499 in/hr
IDF Curve = NOAA_995_W_LUCAS.IDF
Target Q = 9.070 cfs

Peak discharge = 11.19 cfs
Time to peak = 8 min
Hyd. volume = 19.490 cuf
Runoff coeff. = 0.9
Tc by FAA = 8.00 min
Storm duration = 3.5 x Tc
Est. Req'd Storage = 9.258 cuf

MODIFIED RATIONAL METHOD DETENTION VOLUME, 25-YR

Hydrograph type = Mod. Rational
Storm frequency = 25 yrs
Time interval = 1 min
Drainage area = 2.260 ac
Intensity = 7.13 in/hr
IDF Curve = NOAA_995_W_LUCAS.IDF
Target Q = 12.66 cfs

Peak discharge = 16.96 cfs
Time to peak = 8 min
Hyd. volume = 27.49 cuf
Runoff coeff. = 0.9
Tc by FAA = 8.00 min
Storm duration = 3.5 x Tc
Est. Req'd Storage = 13.25 cuf



MODIFIED RATIONAL METHOD DETENTION VOLUME, 100-YR

Hydrograph type = Mod. Rational
Storm frequency = 100 yrs
Time interval = 1 min
Drainage area = 2.260 ac
Intensity = 10.15 in/hr
IDF Curve = NOAA_995_W_LUCAS.IDF
Target Q = 20.64 cfs

Peak discharge = 20.64 cfs
Time to peak = 8 min
Hyd. volume = 41.28 cuf
Runoff coeff. = 0.9
Tc by FAA = 8.00 min
Storm duration = 3.5 x Tc
Est. Req'd Storage = 20.64 cuf

CALLLED 1.281 ACRES
HB ENTERPRISES, LLC
945 W. LUCAS ROAD,
LUCAS TX 75002
DOC. # 2017033100041591
O.P.R.C.C.T.

25'
DRAINAGE
EASEMENT

557 SQUARE
OT BUILDING
ONE STORY
EL. = 605.25

CALLLED 2.92 ACRES
ALAN RAY SPRUGIN
1005 W. LUCAS ROAD,
LUCAS TX 75002
VOL. 1328 PG. 851
D.R.C.C.T.

R2 ZONING

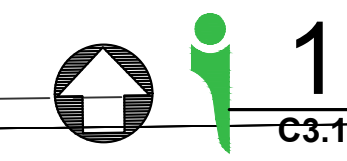
Building -C
2,640
SQUARE
FOOT
BUILDING
FF EL. =
607.20

Building -B
FIRST FLOOR
8,654 SQUARE
FOOT
BUILDING
FF EL. = 606.00

Building -A
FIRST FLOOR 7,565 SQUARE FOOT
SECOND FLOOR 5,737 SQUARE FOOT
13,302 SQFT TOTAL AREA
FF EL. = 605.25

9,683 SQUARE FOOT
OSSF DRIP AREA

JAMES LOVELADY SURVEY
ABSTRACT NO. 538



1
C3.1
PROPOSED DRAINAGE PLAN
SCALE: 1"=20'

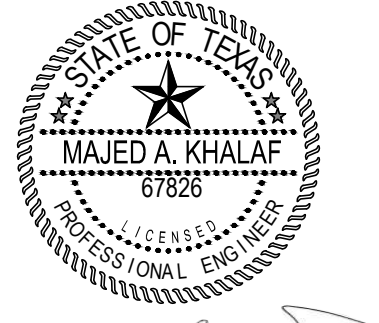
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LUCAS COMMERCIAL CENTER

995 WEST LUCAS ROAD,
LUCAS, TEXAS 75002

No.	Revision/Issue	Date



04/30/2023

Issued Date: 04-30-23
Project No: 22014
Drawn By: JPK
Checked By: MAK
Designed By: JPK

Project 220014
Date 04/30/23
Scale 1" = 30'
Sheet
C3.1

Detention Stage /Storage/ Discharge			
Stage (ft)	Elev. (ft)	Storage (cf)	Discharge (cfs)
0.00	601.60	0.0	0.00
0.10	601.70	9.8	0.01
0.20	601.80	73.3	0.04
0.60	602.20	1,067.0	0.56
0.80	602.40	1,827.0	0.98
1.00	602.60	2,665.0	2.01
1.20	602.80	3,579.0	2.94
1.40	603.00	4,568.0	4.46
1.60	603.20	5,633.0	6.25
1.80	603.40	6,813.0	8.77
2.00	603.60	7,993.0	14.09
2.20	603.80	9,288.0	23.04

EQUATIONS USED FOR DISCHARGE CALCULATIONS:

(A) Rectangular Weir Flow Equation

$$Q = CLH^{3/2}$$

where

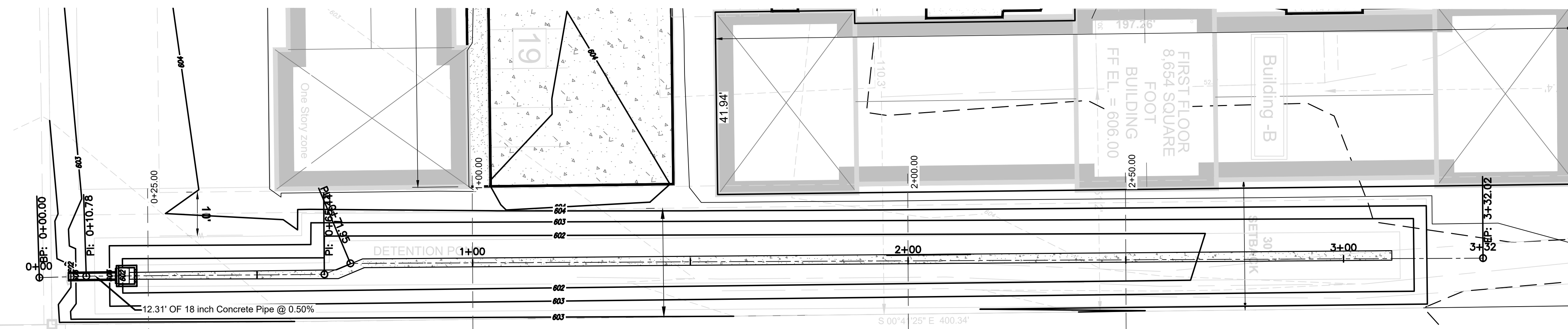
- Q = Weir discharge, cubic feet per second
- C = Weir coefficient
- L = Horizontal length, feet
- H = Head on weir, feet

(C) Orifice Flow Equation

$$Q = C_o A (2gh)^{0.5}$$

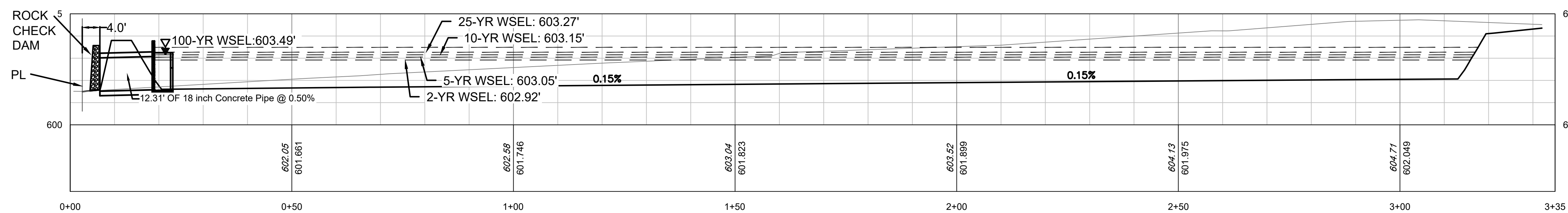
where

- Q = Orifice Flow, cubic feet per second
- C_o = Orifice Coefficient (use 0.6)
- A = Orifice Area, square feet
- g = Gravitation constant, 32.2 feet/sec²
- H = Head on orifice measured from centerline, feet

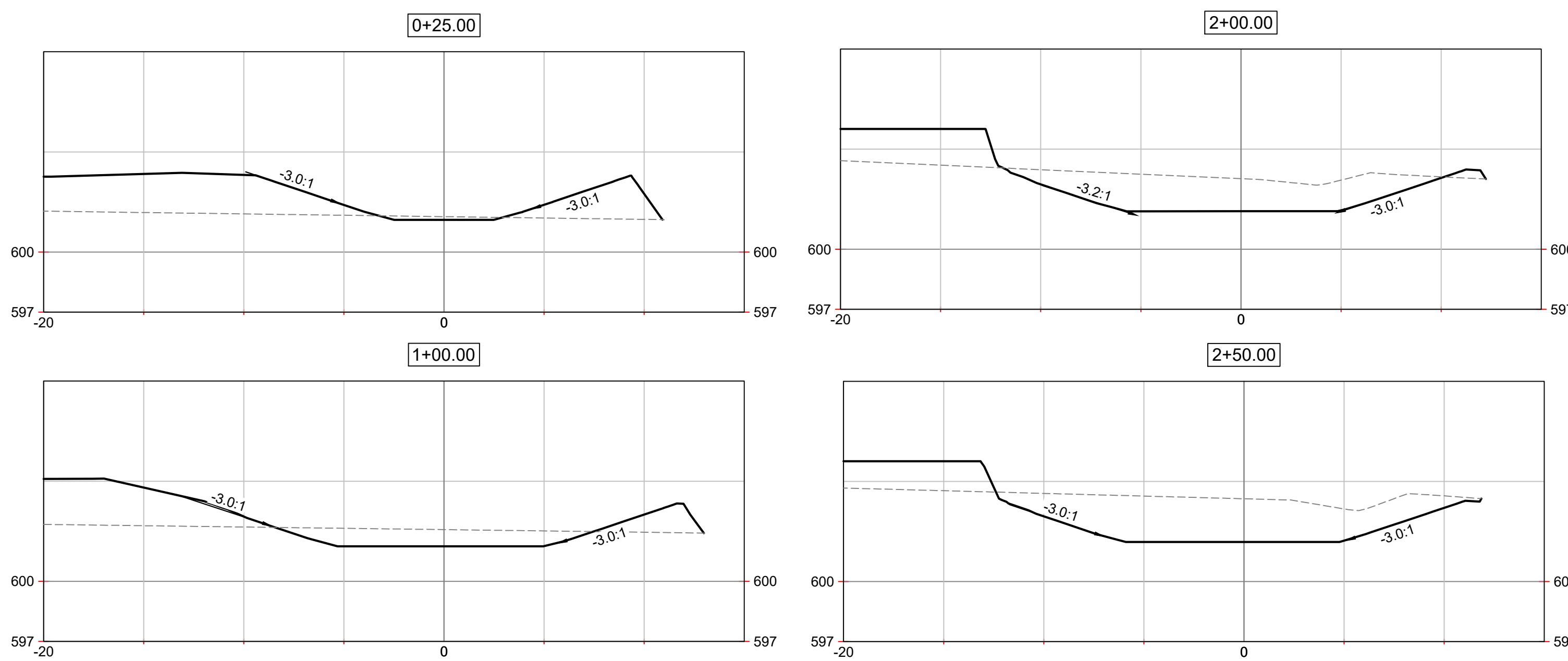


DETENTION RELEASE SUMMARY (FLOW RATES IN CFS)					
EVENT	2-YR	5-YR	10-YR	25-YR	100-YR
MAX. ALLOWABLE RELEASE	4.64	5.61	6.41	7.49	9.07
ACTUAL RELEASE	4.19	5.28	6.2	7.48	9.03
ALLOWABLE - ACTUAL	0.45	0.33	0.21	0.01	0.04

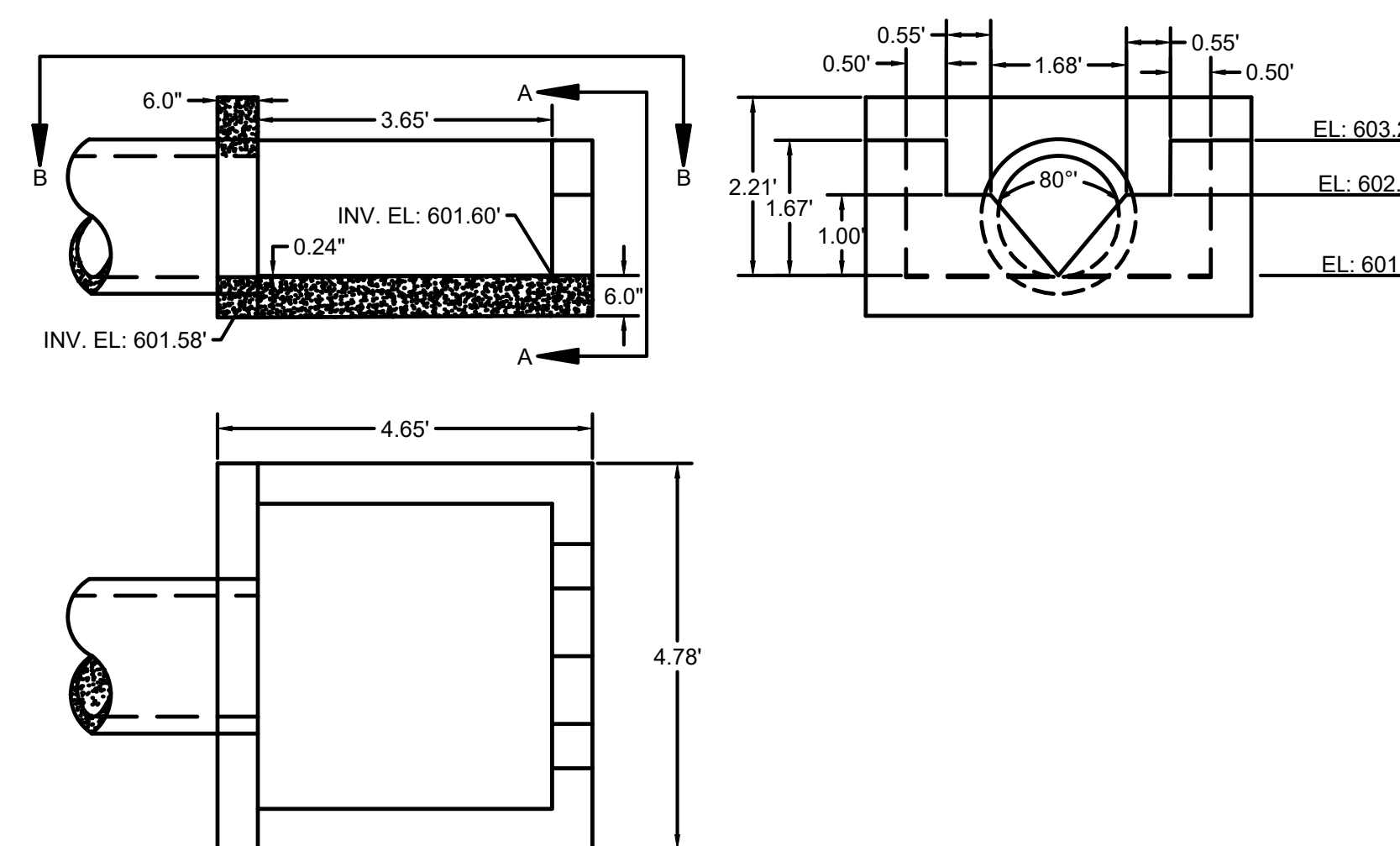
1 PROPOSED DETENTION PLAN
 SCALE: 1"=15'



2 PROPOSED DETENTION PROFILE
 SCALE: 1"=15'



3 PROPOSED DETENTION X-SECTIONS
 SCALE: 1"=5'



4 PROPOSED OUTLET STRUCTURE
 SCALE: 1"=2'

No.	Revision/Issue	Date



Issued Date: 04-30-23
 Project No: 22014
 Drawn By: JPK
 Checked By: MAK
 Designed By: JPK

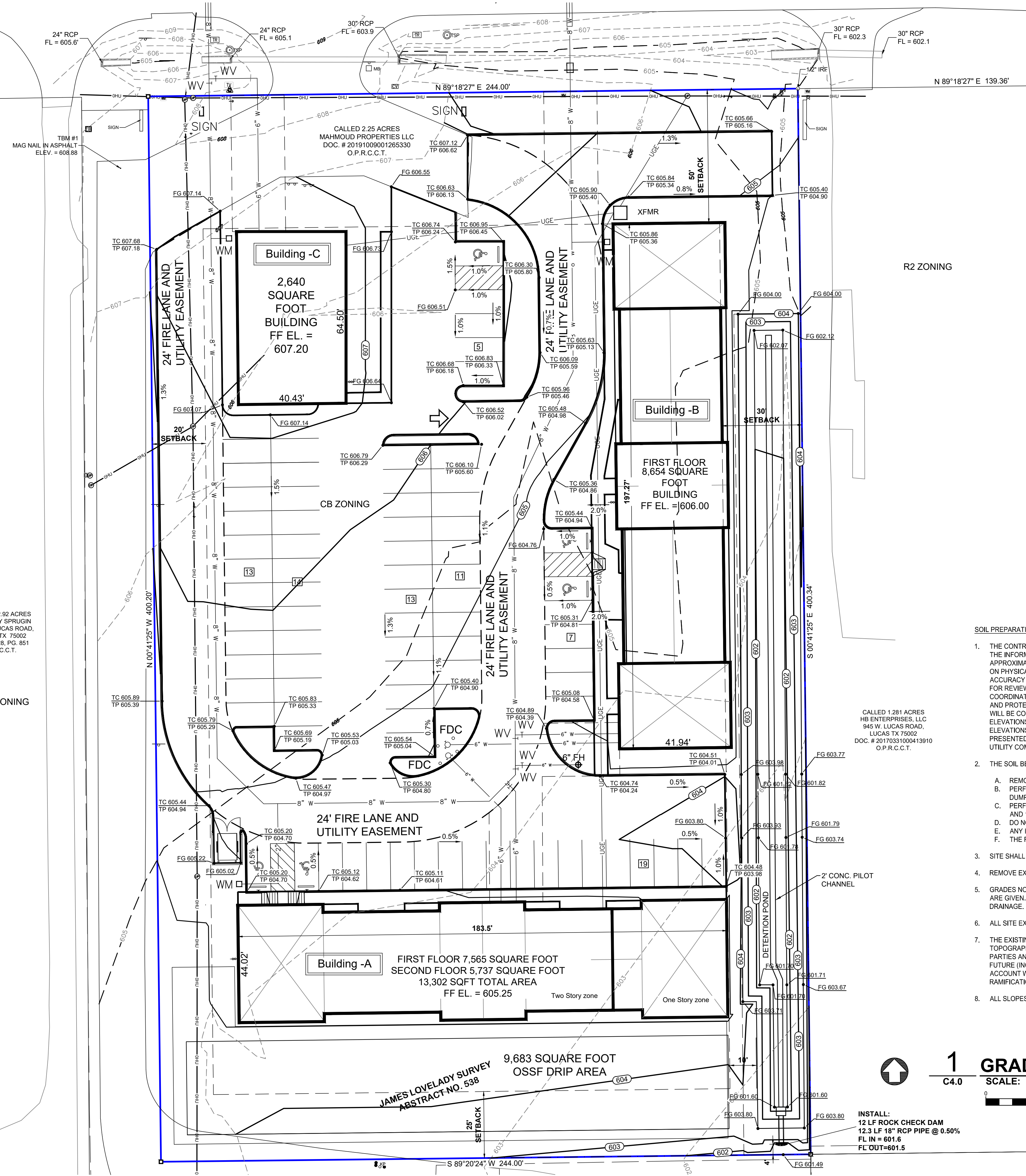
Project: 220014	Sheet:
Date: 04/30/23	C3.2
Scale: 1" = 30'	

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557 SQUARE
OT BUILDING
ONE STORY
EL. = 605.25

CALLLED 2.92 ACRES
ALAN RAY SPRUGIN
1005 W. LUCAS ROAD,
LUCAS TX 75002
VOL. 1328 PG. 851
D.R.C.C.T.

R2 ZONING



LEGEND - GRADING PLAN

---	PROPERTY LINE
- - - -	ADJACENT PROPERTY LINE
---	BUILDING SETBACK
- - - -	EASEMENT
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
W	PROPOSED WATER LINE
SS	PROPOSED SANITARY SEWER LINE
---	PROPOSED STORM SEWER LINE
EX W	EXISTING WATER LINE
EX SS	EXISTING SANITARY SEWER LINE
---	EXISTING STORM SEWER LINE
EX G	EXISTING GAS LINE
EX OHE	EXISTING OVERHEAD ELECTRIC LINE
EX UGE	EXISTING UNDERGROUND ELECTRIC LINE
EX UGT	EXISTING UNDERGROUND TELEPHONE LINE
EX UGC	EXISTING UNDERGROUND CABLE LINE
---	ACCESSIBLE ROUTE
---	EXISTING ASPHALT PAVEMENT
---	EXISTING TREE TO REMAIN
+	PROPOSED FIRE HYDRANT
+	PROPOSED GATE VALVE
+	PROPOSED WATER METER
+	PROPOSED MANHOLE
+	EXISTING FIRE HYDRANT
+	EXISTING GATE VALVE
+	EXISTING WATER METER
+	EXISTING MANHOLE
+	EXISTING POWER POLE
TS	TOP OF SIDEWALK ELEVATION
TP	TOP OF PAVEMENT ELEVATION
TW	TOP OF WALL ELEVATION
FG	FINISH GRADE ELEVATION
TG	TOP OF GRATE ELEVATION (INLET)
FL	FLOW LINE ELEVATION
ME	MATCH EXISTING ELEVATION
---	FLOW ARROW
EP	EXISTING PAVEMENT
FF	FINISHED FLOOR
FFE	FINISHED FLOOR ELEVATION

I, MAJED A. KHALAF, certify that the proposed excavation or fill will have no adverse impact to the drainage on, from, or through adjacent properties.

SOIL PREPARATION AND GRADING NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATING. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON THE INFORMATION AND DATA FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPEARANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA; AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA. FOR LOCATING ALL UNDERGROUND FACILITIES, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK, THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR COSTS INCURRED BY PROCEEDING WITH ELEVATIONS OF EXISTING UTILITIES THAT DIFFER FROM THOSE PRESENTED ON THESE PLANS. DISCREPANCIES SHALL BE PRESENTED TO THE ENGINEER FOR REVIEW PRIOR TO PROCEEDING WITH WORK. CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES, AGENCIES AND/OR ENGINEER AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- THE SOIL BENEATH THE PAVEMENT SHALL BE TREATED AS FOLLOWS:
 - REMOVE ALL VEGETATION, ORGANIC MATERIAL OR OTHER DELETERIOUS MATERIALS.
 - PERFORM ANY CUT OPERATIONS AS NEEDED AND PROOF ROLL THE PAVEMENT AREAS WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK. ANY AREAS WHICH RUT EXCESSIVELY OR PUMP SHALL BE UNDERCUT AND REPLACED WITH COMPACTED FILL.
 - PERFORM ALL FILL OPERATIONS. ALL FILL SHALL BE INSTALLED IN MAXIMUM 8 INCH LIFTS AND COMPACTED BETWEEN 95% AND 100% OF STANDARD PROCTOR AT A MOISTURE CONTENT AT OR ABOVE OPTIMUM
 - DO NOT USE ANY SAND AS FILL UNDER THE PAVEMENT.
 - ANY IMPORTED FILL SHALL BE SIMILAR TO THE ON SITE SOILS AND APPROVED BY EKON CONSULTING GROUP.
 - THE FOLLOWING TESTS SHALL BE RUN PER 5000 SQUARE FEET OR 300 LINEAR FEET. DENSITY AND MOISTURE CONTROL
- SITE SHALL BE GRADED TO ASSURE DRAINAGE OF SURFACE WATER FROM BUILDINGS.
- REMOVE EXCESS SPOIL FROM THE SITE AND LEGALLY DISPOSE OF THE SOILS.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
- ALL SITE EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED EXCAVATION.
- THE EXISTING GRADES AND CONTOURS SHOWN IN THESE PLANS REPRESENT THE ELEVATIONS AS INDICATED ON THE TOPOGRAPHIC SURVEY. DUE TO MANY FACTORS INCLUDING POSSIBLE DISTURBANCE OF THE SOIL OR BENCH MARKS BY OTHER PARTIES AND THE EXPANSIVE/SHRINKAGE NATURE OF THE SOIL, THE ELEVATIONS MAY BE SIGNIFICANTLY DIFFERENT IN THE FUTURE (INCLUDING THE BENCH MARKS). NORMAL EQUIPMENT AND MEASUREMENT ACCURACIES SHOULD BE TAKEN INTO ACCOUNT WHEN USING THESE ELEVATIONS. REFER TO THE GEOTECHNICAL INVESTIGATION FOR THE GEOTECHNICAL RAMIFICATIONS.
- ALL SLOPES IN UNPAVED AREAS SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

CALLLED 1.281 ACRES
HB ENTERPRISES, LLC
945 W. LUCAS ROAD,
LUCAS TX 75002
DOC. # 20170331000413910
O.P.R.C.C.T.

1 GRADING PLAN
SCALE: 1"=20'
C4.0

INSTALL:
12 LF ROCK CHECK DAM
12.3 LF 18" RCP PIPE @ 0.50%
FL IN = 601.6
FL OUT = 601.5

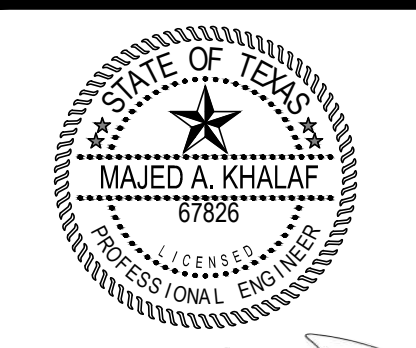
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Texas Firm F-13744

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LUCAS COMMERCIAL CENTER

995 WEST LUCAS ROAD,
LUCAS, TEXAS 75002

No.	Revision/Issue	Date



04/30/2023

Issued Date: 04-30-23
Project No: 22014
Drawn By: JPK
Checked By: MAK
Designed By: JPK

Project	220014	Sheet	C4.0
Date	04/30/23		
Scale	1" = 20'		

LEGEND - SITE PLAN

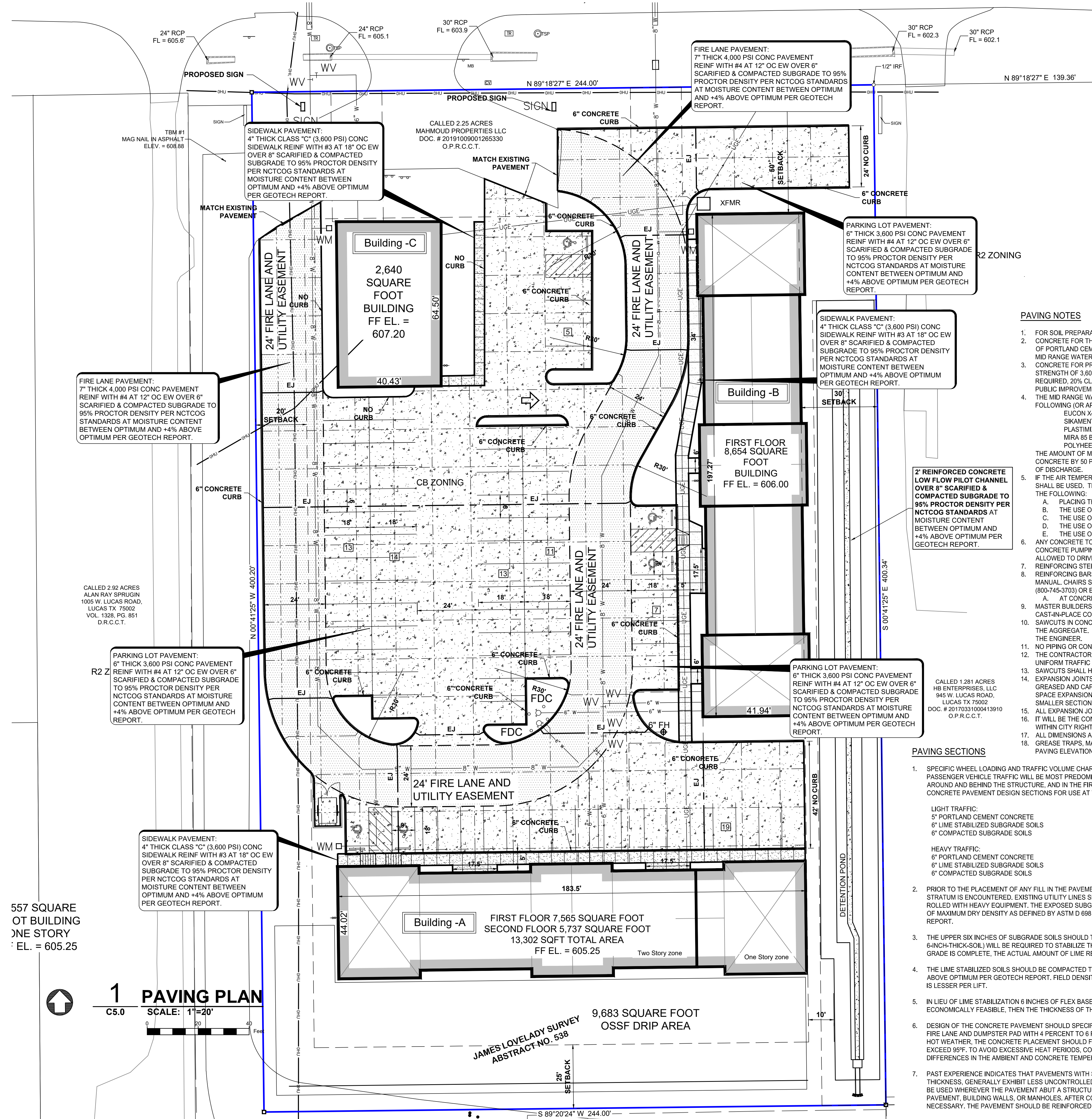
- PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - BUILDING SETBACK
 - EASEMENT
 - FIRE LANE STRIPING
 - PROPOSED WATER LINE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED STORM SEWER LINE
 - EX W --- EXISTING WATER LINE
 - EX SS --- EXISTING SANITARY SEWER LINE
 - EX S --- EXISTING STORM SEWER LINE
 - EX G --- EXISTING GAS LINE
 - EX OHE --- EXISTING OVERHEAD ELECTRIC LINE
 - EX UGE --- EXISTING UNDERGROUND ELECTRIC LINE
 - EX UGT --- EXISTING UNDERGROUND TELEPHONE LINE
 - EX UGC --- EXISTING UNDERGROUND CABLE LINE
-
- [Pattern] PROPOSED CONCRETE PAVEMENT
 - [Pattern] PROPOSED SIDEWALK
 - [Pattern] PROPOSED FIRE LANE PAVEMENT
-
- [Symbol] PROPOSED FIRE HYDRANT
 - [Symbol] PROPOSED GATE VALVE
 - [Symbol] PROPOSED WATER METER
 - [Symbol] PROPOSED MANHOLE
 - [Symbol] EXISTING FIRE HYDRANT
 - [Symbol] EXISTING GATE VALVE
 - [Symbol] EXISTING WATER METER
 - [Symbol] EXISTING MANHOLE
 - [Symbol] EXISTING POWER POLE

PAVING NOTES

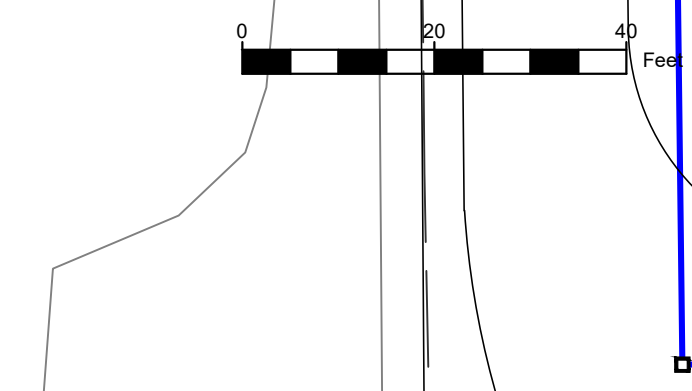
- FOR SOIL PREPARATION SPECIFICATIONS UNDER PAVEMENT, SEE SHEET C5.0
- CONCRETE FOR THE CONCRETE PAVEMENT SHALL HAVE A 28 DAY DESIGN COMPRESSIVE STRENGTH OF 4,000 PSI, A MINIMUM OF 6 SACKS OF PORTLAND CEMENT PER CUBIC YARD, 20% (MAX) CLASS C FLYASH, 4% TO 6% AIR CONTENT USING AIR ENTRAINING AGENT AS REQUIRED, MID RANGE WATER REDUCING AGENT AND A 5-6" SLUMP.
- CONCRETE FOR PRIVATE SIDEWALKS, CURBS AND GUTTERS AND DRAINAGE STRUCTURES SHALL HAVE A 28 DAY DESIGN COMPRESSIVE STRENGTH OF 3,600 PSI, A MINIMUM OF 5.5 SACKS OF CEMENT PER CUBIC YARD, 4% TO 6% AIR CONTENT USING AIR ENTRAINING AGENT AS REQUIRED, 20% CLASS C FLYASH A 5-6 INCH SLUMP. REFER TO CITY OF LUCAS AND/OR NCT-COG STANDARD SPECIFICATIONS FOR ALL PUBLIC IMPROVEMENTS.
- THE MID RANGE WATER REDUCING AGENT ADMIXTURE CONFORMING TO ASTM C-494, TYPE A OR D SHALL BE CHOSEN FROM ONE OF THE FOLLOWING (OR APPROVED EQUAL):
 - EUCON X-20 OR EUCON MR BY EUCLID
 - SIKAMENT NL BY SIKA
 - PLASTIMIX MR BY PROMIX TECHNOLOGIES
 - MIRA 85 BY W.R. GRACE AND CO.
 - POLYHEED 1020 BY DEUSSA ADMIXTURES
 THE AMOUNT OF MID RANGE WATER REDUCER SHALL BE AS RECOMMENDED BY THE ADMIXTURE SUPPLIER TO INCREASE THE SLUMP OF THE CONCRETE BY 50 PERCENT OVER THE SLUMP WITHOUT THE ADMIXTURE. THE SLUMP GIVEN IN THE CONCRETE NOTES ARE AT THE POINT OF DISCHARGE.
- IF THE AIR TEMPERATURE IS GREATER THAN 90 DEGREES WITHIN 24 HOURS AFTER PLACEMENT, HOT WEATHER CONCRETE PROCEDURES SHALL BE USED. THE CONTRACTOR SHALL SUBMIT A PROCEDURE TO THE ENGINEER FOR APPROVAL. THESE PROCEDURES MAY INCLUDE THE FOLLOWING:
 - A. PLACING THE CONCRETE IN THE EARLY MORNING HOURS
 - B. THE USE OF EVAPORATION REDUCER (SEE BELOW)
 - C. THE USE OF MISTING AS A CURING METHOD
 - D. THE USE OF WET BLANKETS AS A CURING METHOD
 - E. THE USE OF A RETARDING ADMIXTURE (NOT PREFERRED)
- ANY CONCRETE TO BE PLACED FURTHER THAN 15 FEET FROM THE END OF A CONCRETE TRUCK SHALL BE PUMPED WITH A COMMERCIAL CONCRETE PUMPING TRUCK OR OTHER PLACEMENT METHOD APPROVED BY THE ENGINEER. THE CONCRETE TRUCK SHALL NOT BE ALLOWED TO DRIVE OVER THE SUBGRADE OR THE PAVEMENT REINFORCEMENT UNLESS APPROVED BY THE ENGINEER.
- REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO A.S.T.M. A-615 GRADE 60.
- REINFORCING BARS, BAR SUPPORTS, AND SPACERS SHALL BE DETAILED AND PROVIDED IN ACCORDANCE WITH THE A.C.I. DETAILING MANUAL. CHAIRS SHALL NOT BE PLACED FURTHER THAN 4 FEET APART. BAR SUPPORTS SHALL BE DAYTON/RICHMOND PRODUCTS (800-745-3703) OR EQUAL.
- MASTER BUILDERS CONFORM OR EUCOBAR EVAPORATION REDUCERS SHALL BE USED AFTER EACH FINISHING OPERATION ON THE CAST-IN-PLACE CONCRETE PAVEMENT UNLESS PRIOR APPROVAL FROM THE ENGINEER HAS BEEN OBTAINED TO NOT USE THIS PRODUCT. SAW CUTS IN CONCRETE PAVEMENT SHALL BE MADE AS SOON AS THE CONCRETE IS OF SUFFICIENT STRENGTH TO SAW WITHOUT RAVELING THE AGGREGATE. ANY TIME LAPSE GREATER THAN 8 HOURS AFTER PLACING THE CONCRETE SHALL BE PERMITTED ONLY IF APPROVED BY THE ENGINEER.
- NO PIPING OR CONDUITS SHALL BE INSTALLED IN ANY CONCRETE WITHOUT THE APPROVAL OF THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE, CONSTRUCT AND MAINTAIN BARRICADES AND SIGNS IN ACCORDANCE WITH THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- SAWCUTS SHALL HAVE A MAXIMUM SPACING OF 15' EACH WAY.
- EXPANSION JOINTS SHALL BE SMOOTH DOWEL JOINTS WITH THE PAVEMENT THICKNESS INCREASED BY 25%. ONE END OF DOWELS TO BE GREASED AND CAPPED AND USE 1" EXPANSION JOINT MATERIAL IN THE JOINT. REDWOOD OR OTHER RIGID MATERIAL SHOULD BE AVOIDED. SPACE EXPANSION JOINTS BETWEEN 80' AND 100' APART AND AT ALL LOCATIONS IN WHICH LARGE PAVEMENT SECTIONS INTERSECT SMALLER SECTIONS.
- ALL EXPANSION JOINTS MUST BE SEALED WITH A BITUMINOUS JOINT SEALANT OR APPROVED EQUAL.
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS FROM THE CITY OF LUCAS BEFORE CONSTRUCTION WITHIN CITY RIGHT-OF-WAY.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- GREASE TRAPS, MANHOLES, AND VALVE COVERS IN PAVED AREAS SHALL BE TRAFFIC BEARING AND RIM ELEVATIONS SHALL MATCH FINAL PAVING ELEVATION.

PAVING SECTIONS

- SPECIFIC WHEEL LOADING AND TRAFFIC VOLUME CHARACTERISTICS WERE NOT AVAILABLE AT THE TIME OF THIS INVESTIGATION. HOWEVER, WE HAVE ASSUMED THAT LIGHT PASSENGER VEHICLE TRAFFIC WILL BE MOST PREDOMINANT IN THE PARKING AREAS AND THE RELATIVELY HEAVIER FIRE TRUCK TRAFFIC WILL OCCUR IN THE DRIVE AREAS AROUND AND BEHIND THE STRUCTURE, AND IN THE FIRE LANE. BASED ON ASSUMED LOADING CONDITIONS, WE HAVE DEVELOPED THE FOLLOWING PORTLAND CEMENT CONCRETE PAVEMENT DESIGN SECTIONS FOR USE AT THIS SITE:
 - LIGHT TRAFFIC:
 - 5' PORTLAND CEMENT CONCRETE
 - 6' LIME STABILIZED SUBGRADE SOILS
 - 6' COMPACTED SUBGRADE SOILS
 - HEAVY TRAFFIC:
 - 6' PORTLAND CEMENT CONCRETE
 - 6' LIME STABILIZED SUBGRADE SOILS
 - 6' COMPACTED SUBGRADE SOILS
- PRIOR TO THE PLACEMENT OF ANY FILL IN THE PAVEMENT AREA, WE RECOMMEND ALL EXISTING VEGETATION, DEBRIS AND LOOSE SOILS SHOULD BE REMOVED UNTIL HARD STRATUM IS ENCOUNTERED. EXISTING UTILITY LINES SHOULD EITHER BE CAPPED ON BOTH SIDES OR REMOVED COMPLETELY. THE EXPOSED SURFACE SHOULD THEN BE PROOF ROLLED WITH HEAVY EQUIPMENT. THE EXPOSED SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF 6 INCHES, WATER AS REQUIRED AND COMPACTED TO 95 AND 100 PERCENT OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D 698 (STANDARD PROCTOR TEST), AT MOISTURE CONTENT BETWEEN OPTIMUM AND 4 POINTS ABOVE OPTIMUM PER GEOTECH REPORT.
- THE UPPER SIX INCHES OF SUBGRADE SOILS SHOULD THEN BE STABILIZED WITH LIME, BASED ON APPROXIMATELY 10 PERCENT OF HYDRATED LIME (44 LBS/YARD FOR 6-INCH-THICK-SOIL) WILL BE REQUIRED TO STABILIZE THE SUBGRADE SOILS (TO REDUCE THE PLASTICITY INDEX TO 15 OR LESS). IT SHOULD BE NOTED THAT AFTER THE FINAL GRADE IS COMPLETE, THE ACTUAL AMOUNT OF LIME REQUIRED SHOULD BE CALCULATED BY LIME SERIES TEST IN THE LABORATORY.
- THE LIME STABILIZED SOILS SHOULD BE COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY WITH THE MOISTURE CONTENT BETWEEN OPTIMUM AND 4 POINTS ABOVE OPTIMUM PER GEOTECH REPORT. FIELD DENSITY TESTS SHOULD BE TAKEN AT THE RATE OF ONE TEST PER EVERY 300 LINEAR FEET OR 5,000 SQUARE FEET, WHICHEVER IS LESSER PER LIFT.
- IN LIEU OF LIME STABILIZATION 6 INCHES OF FLEX BASE CAN BE USED. IN THE EVENT THAT LIME STABILIZATION OF THE SUBGRADE SOILS OR PLACEMENT OF FLEX BASE IS NOT ECONOMICALLY FEASIBLE, THEN THE THICKNESS OF THE CONCRETE CAN BE INCREASED BY AN ADDITIONAL ONE INCH OR CITY STANDARDS.
- DESIGN OF THE CONCRETE PAVEMENT SHOULD SPECIFY A MINIMUM 28-DAY CONCRETE COMPRESSIVE STRENGTH OF 3,600 PSI FOR ALL THE PAVEMENT AND 4,000 PSI FOR THE FIRE LANE AND DUMPSTER PAD WITH 4 PERCENT TO 6 PERCENT ENTRAINED AIR. THE CONCRETE SHOULD BE PLACED WITHIN ONE AND ONE-HALF HOURS OF BATCHING, DURING HOT WEATHER, THE CONCRETE PLACEMENT SHOULD FOLLOW ACI 311 HOT WEATHER CONCRETING AND IN NO CASE SHOULD THE CONCRETE TEMPERATURE BE ALLOWED TO EXCEED 95°F. TO AVOID EXCESSIVE HEAT PERIODS, CONSIDERATION SHOULD BE GIVEN TO LIMITING CONCRETE PLACEMENT TO A TIME OF DAY THAT WILL MINIMIZE LARGE DIFFERENCES IN THE AMBIENT AND CONCRETE TEMPERATURE.
- PAST EXPERIENCE INDICATES THAT PAVEMENTS WITH SEALED JOINTS ON 15 TO 20-FOOT SPACINGS, CUT TO A DEPTH OF AT LEAST ONE-QUARTER OF THE PAVEMENT THICKNESS, GENERALLY EXHIBIT LESS UNCONTROLLED POST-CONSTRUCTION CRACKING THAN PAVEMENTS WITH WIDER SPACINGS. AS A MINIMUM, EXPANSION JOINTS SHOULD BE USED WHEREVER THE PAVEMENT ABUT A STRUCTURAL ELEMENT SUBJECT TO A DIFFERENT MAGNITUDE OF MOVEMENT, E.G., LIGHT POLES, RETAINING WALLS, EXISTING PAVEMENT, BUILDING WALLS, OR MANHOLES. AFTER CONSTRUCTION, THE CONSTRUCTION AND EXPANSION JOINTS SHOULD BE INSPECTED PERIODICALLY AND RESEALED, IF NECESSARY. THE PAVEMENT SHOULD BE REINFORCED USING AT LEAST NO. 3 BARS, 18 INCHES ON CENTER SHOULD BE USED.
- "SELECT FILL" AS REFERRED TO IN THIS REPORT, SHOULD CONSIST OF CLAYEY SANDS FREE OF ORGANIC MATERIALS WITH A PLASTICITY INDEX BETWEEN 6 AND 16, A LIQUID LIMIT OF 38 OR LESS, AND BETWEEN 15 AND 45 PERCENT PASSING A NO. 200 SIEVE.
- FLEX BASE: TXDOT 247 TYPE D GRADE 1-2.



1 PAVING PLAN
 SCALE: 1"=20'

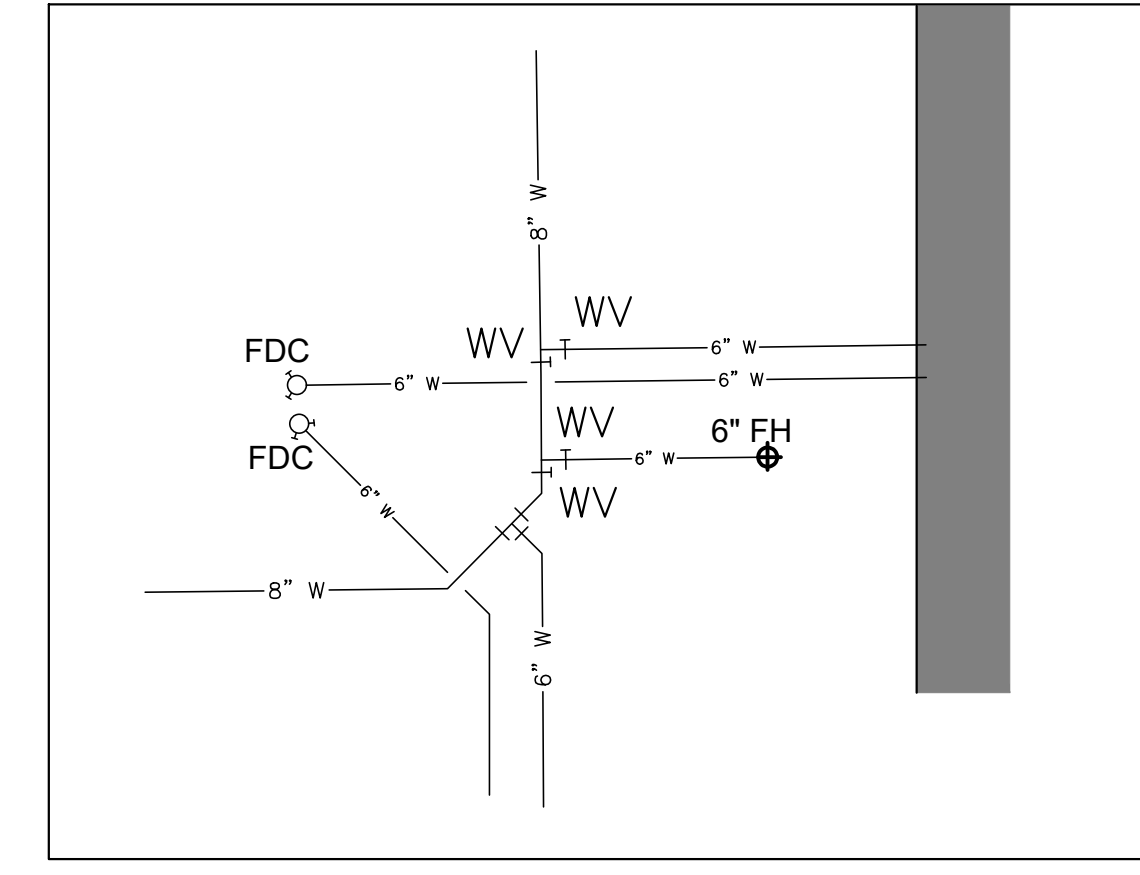
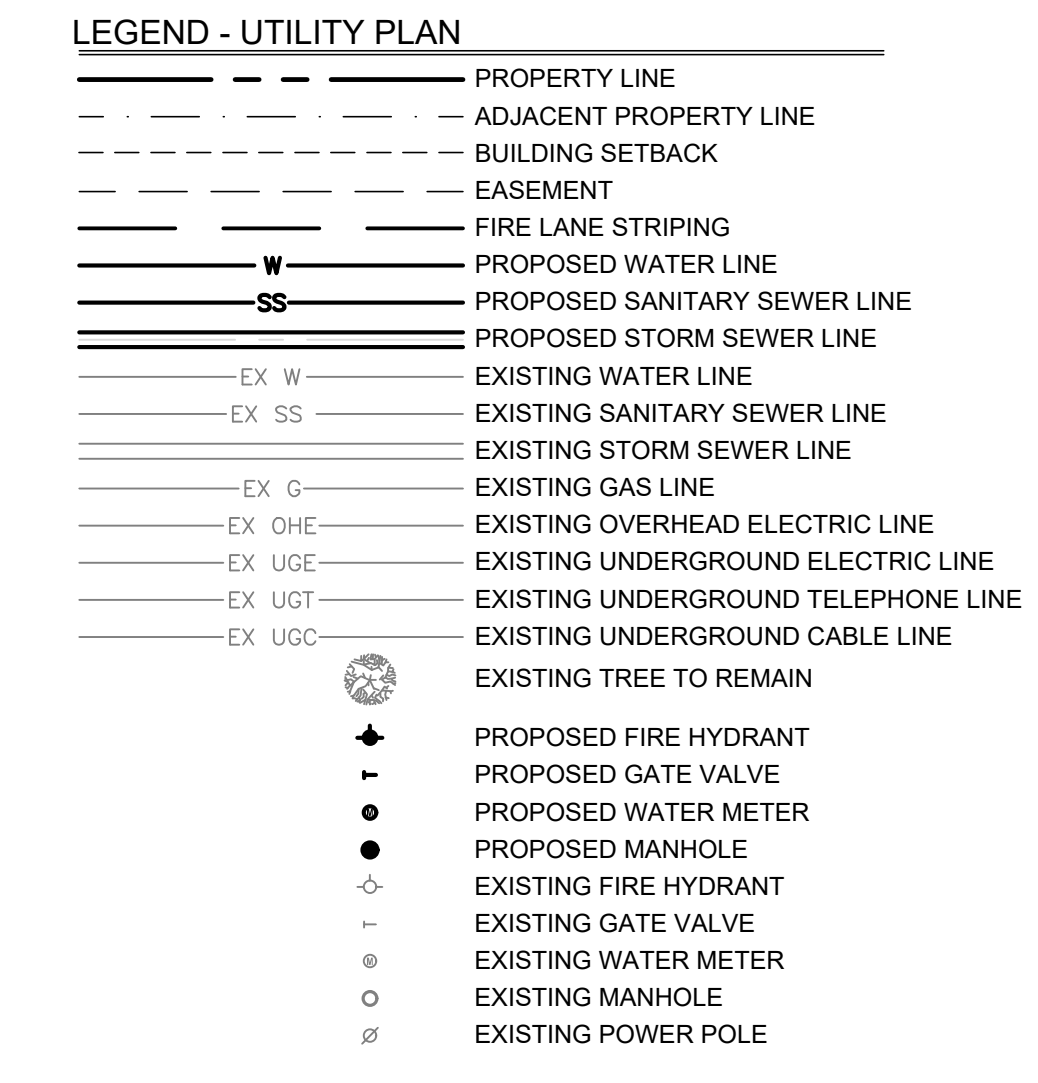


557 SQUARE
 OT BUILDING
 ONE STORY
 EL. = 605.25

Building -A
 FIRST FLOOR 7,565 SQUARE FOOT
 SECOND FLOOR 5,737 SQUARE FOOT
 13,302 SQFT TOTAL AREA
 FF EL. = 605.25
 Two Story zone One Story zone

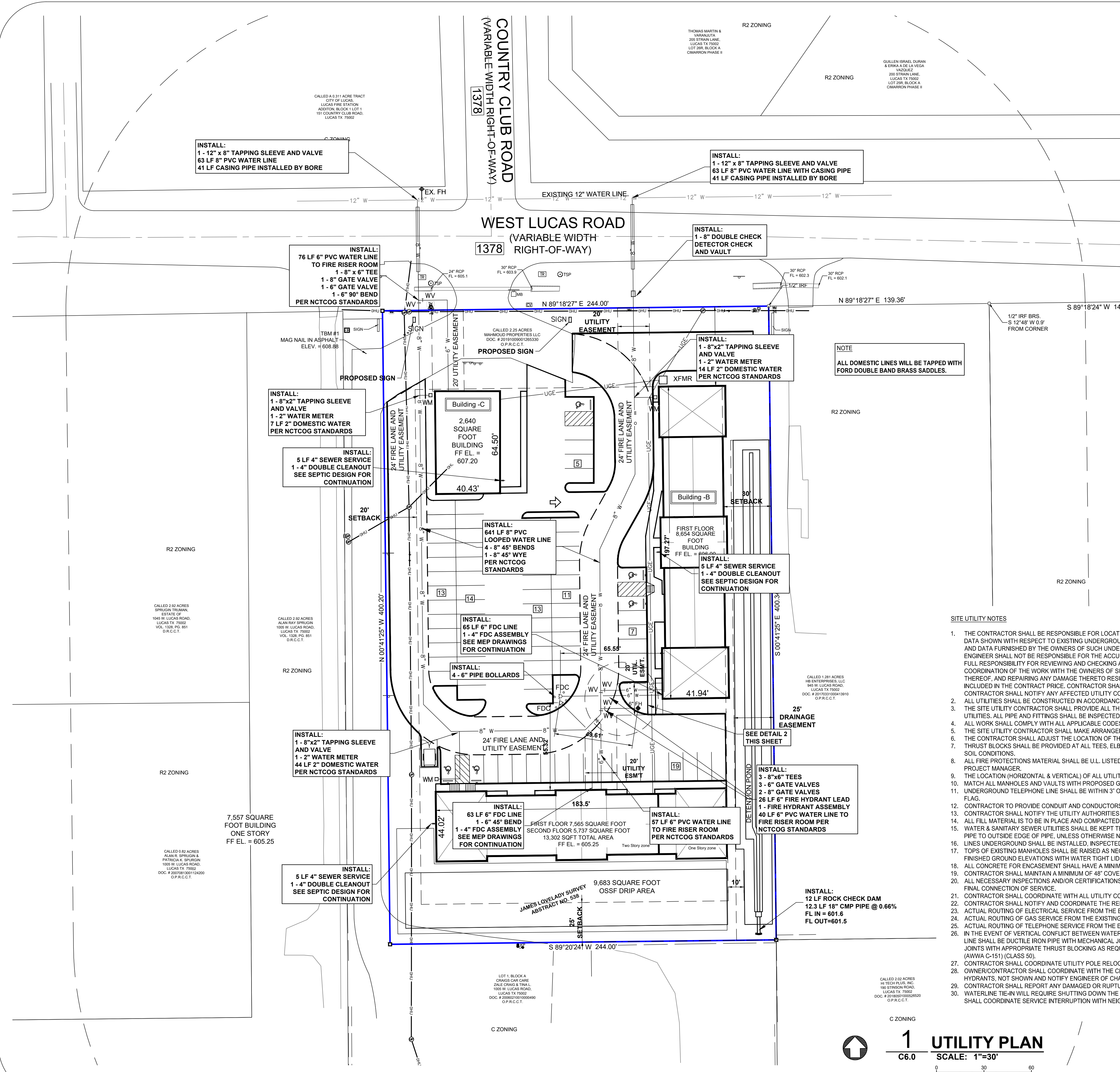
**FIRST FLOOR
 8,654 SQUARE
 FOOT
 BUILDING**
 FF EL. = 606.00

Building -C
 2,640
 SQUARE
 FOOT
 BUILDING
 FF EL. =
 607.20



WATER CONNECTION
2
 C6.0 SCALE: NTS

- SITE UTILITY NOTES**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATING. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON THE INFORMATION AND DATA FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPEARANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA. AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA. FOR LOCATING ALL UNDERGROUND FACILITIES, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK, THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
 - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LUCAS PUBLIC WORKS SPECIFICATIONS AND/OR NCTCOG STANDARDS.
 - THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND APPURTENANCES NECESSARY FOR THE COMPLETE INSTALLATION OF THE UTILITIES. ALL PIPE AND FITTINGS SHALL BE INSPECTED BY THE CITY INSPECTOR PRIOR TO BEING COVERED.
 - ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS AND REQUIREMENTS.
 - THE SITE UTILITY CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE COMMUNITY WATER CO. FOR THE CONNECTIONS TO THE EXISTING WATER MAIN.
 - THE CONTRACTOR SHALL ADJUST THE LOCATION OF THE PROPOSED WATER LINES AS REQUIRED TO AVOID CONFLICTS WITH THE OTHER UTILITIES.
 - THRUST BLOCKS SHALL BE PROVIDED AT ALL TEES, ELBOWS AND BENDS, AND WILL BE OF SUFFICIENT SIZE TO COMPLY WITH CITY STANDARDS FOR EXISTING SOIL CONDITIONS.
 - ALL FIRE PROTECTION MATERIAL SHALL BE U.L. LISTED, FACTORY MUTUAL APPROVED, AND NFPA STANDARDS, UNLESS OTHERWISE DIRECTED BY THE PROJECT MANAGER.
 - THE LOCATION (HORIZONTAL & VERTICAL) OF ALL UTILITY LEAD-INS TO THE BUILDING SHALL BE VERIFIED WITH THE BUILDING MECHANICAL PLANS.
 - MATCH ALL MANHOLES AND VAULTS WITH PROPOSED GROUND ELEVATIONS.
 - UNDERGROUND TELEPHONE LINE SHALL BE WITHIN 3' OF CONDUIT, BURIED A MINIMUM OF 24", AND TERMINATING AT RIGHT-OF-WAY WITH PULL STRING AND FLAG.
 - CONTRACTOR TO PROVIDE CONDUIT AND CONDUCTORS FROM BUILDING TO POLE AND COORDINATE WITH UTILITY PROVIDER FOR CONNECTION.
 - CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - WATER & SANITARY SEWER UTILITIES SHALL BE KEPT TEN FEET (10') APART (PARALLEL) OR WHEN CROSSING 24" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE, UNLESS OTHERWISE NOTED.)
 - LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
 - ALL CONCRETE FOR ENCASEMENT SHALL HAVE A MINIMUM 28-DAY COMPRESSION STRENGTH AT 3000 P.S.I.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 48" COVER BELOW FINISHED GRADE ON ALL WATERLINES.
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE IN POSSESSION BEFORE THE FINAL CONNECTION OF SERVICE.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - CONTRACTOR SHALL NOTIFY AND COORDINATE THE REMOVAL OF ALL TAP CONNECTIONS WITH THE CITY OF LUCAS.
 - ACTUAL ROUTING OF ELECTRICAL SERVICE FROM THE EXISTING TRANSFORMER IS TO BE COORDINATED WITH THE ELECTRICAL UTILITY.
 - ACTUAL ROUTING OF GAS SERVICE FROM THE EXISTING GAS LINE TO THE TERMINUS POINT TO THE BUILDING IS TO BE COORDINATED WITH THE GAS UTILITY.
 - ACTUAL ROUTING OF TELEPHONE SERVICE FROM THE EXISTING TELEPHONE LINE TO THE BUILDING IS TO BE COORDINATED WITH THE TELEPHONE UTILITY.
 - IN THE EVENT OF VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOIST AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 24" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR A21.11 (AWWA C-151) (CLASS 50).
 - CONTRACTOR SHALL COORDINATE UTILITY POLE RELOCATION WITH THE UTILITY COMPANY.
 - OWNER/CONTRACTOR SHALL COORDINATE WITH THE CITY FIRE MARSHAL TO PROVIDE ANY ADDITIONAL FIRE SAFETY FEATURES, INCLUDING FIRE HYDRANTS, NOT SHOWN AND NOTIFY ENGINEER OF CHANGES.
 - CONTRACTOR SHALL REPORT ANY DAMAGED OR RUPTURE TO ANY UTILITIES TO THE APPROPRIATE AUTHORITIES AND TO THE CITY OF LUCAS.
 - WATERLINE TIE-IN WILL REQUIRE SHUTTING DOWN THE MAIN, WHICH WILL REQUIRE INTERRUPTING SERVICE TO ADJACENT PROPERTIES. CONTRACTOR SHALL COORDINATE SERVICE INTERRUPTION WITH NEIGHBOR AND/OR SHUTDOWN THE MAIN AT NIGHT.



UTILITY PLAN
 C6.0 SCALE: 1"=30'
 0 30 60 Feet

No.	Revision/Issue	Date

STATE OF TEXAS
 MAJED A. KHALAF
 67826
 PROFESSIONAL ENGINEER
 04/30/2023

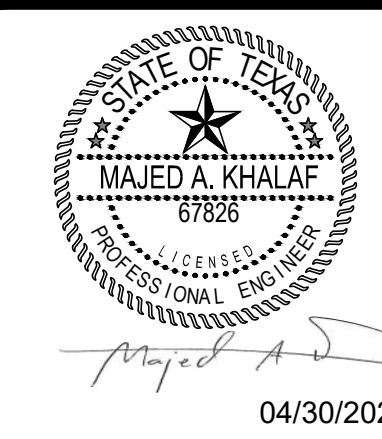
Issued Date:	04-30-23
Project No:	22014
Drawn By:	JPK
Checked By:	MAK
Designed By:	JPK

Project	220014	Sheet	C6.0
Date	04/30/23		
Scale	1" = 30'		

LUCAS COMMERCIAL CENTER

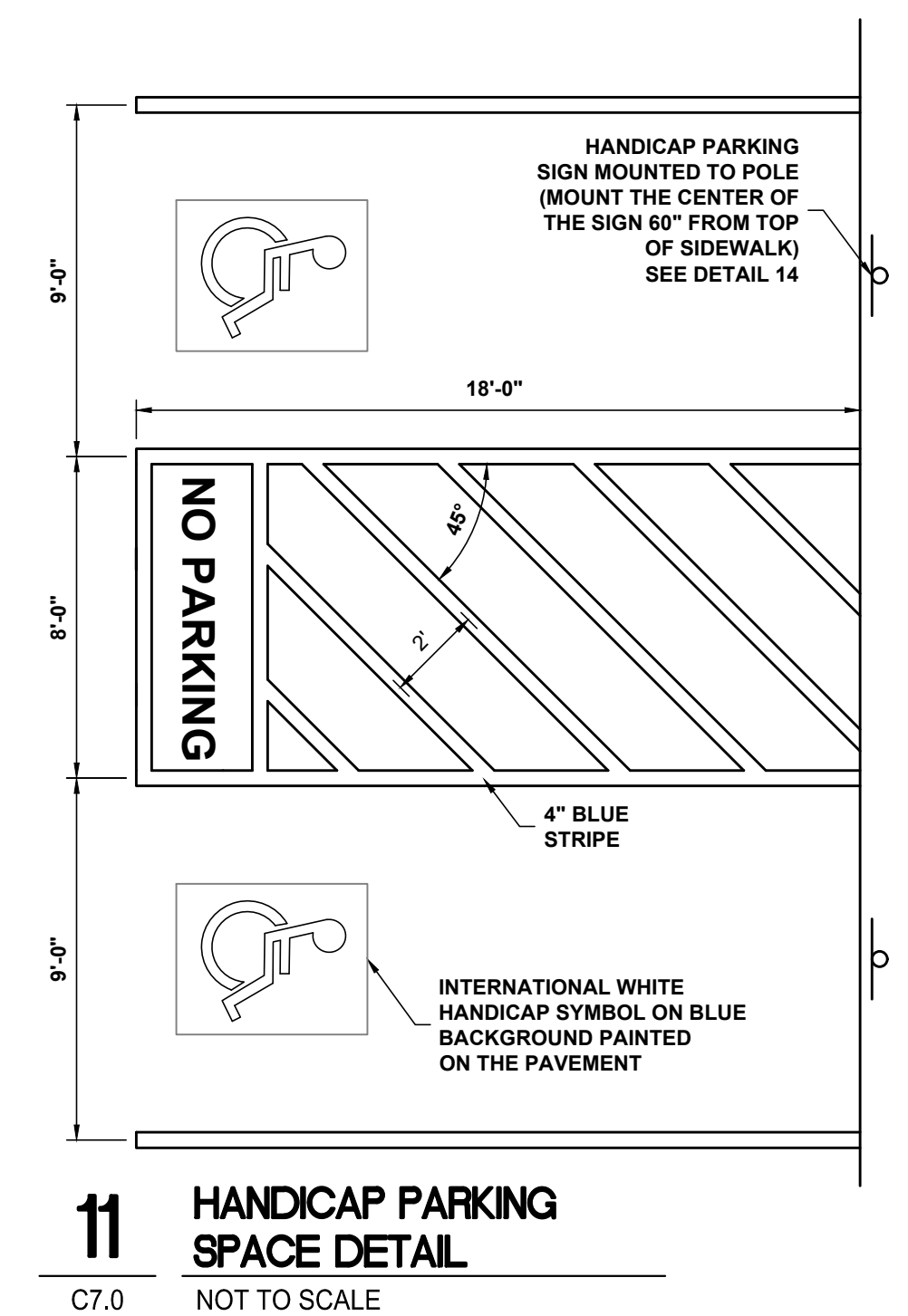
**995 WEST LUCAS ROAD,
 LUCAS, TEXAS 75002**

No.	Revision/Issue	Date

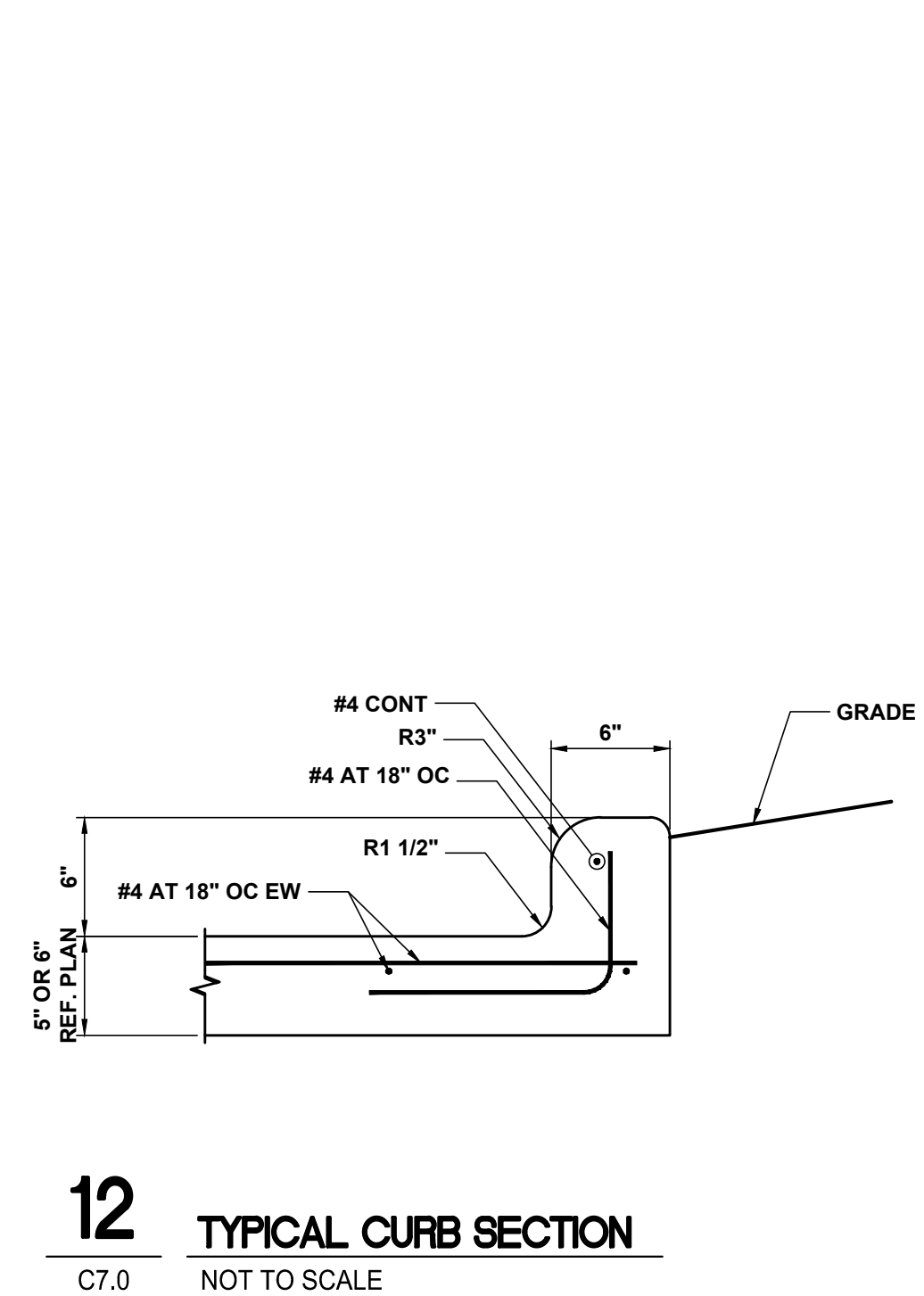


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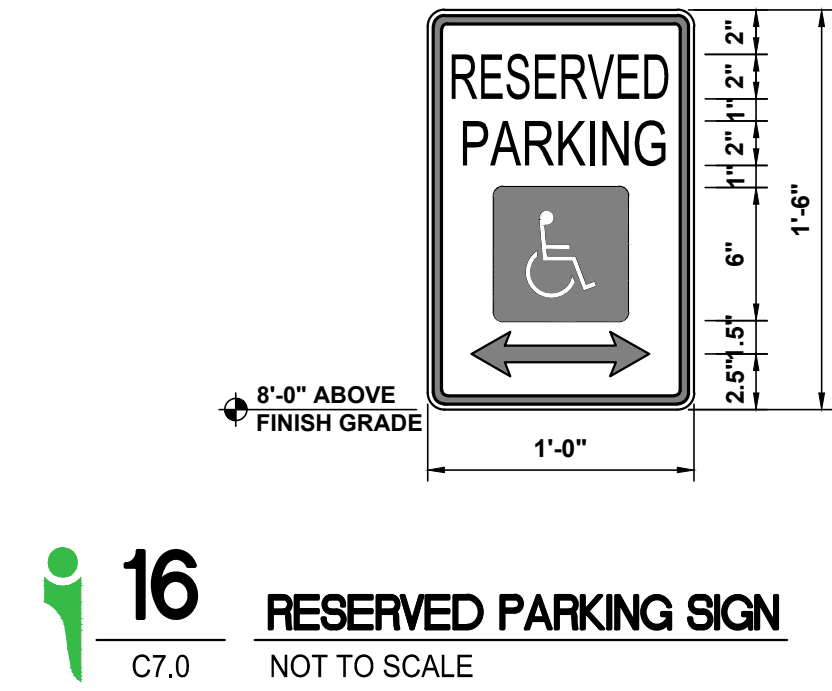
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Scale			



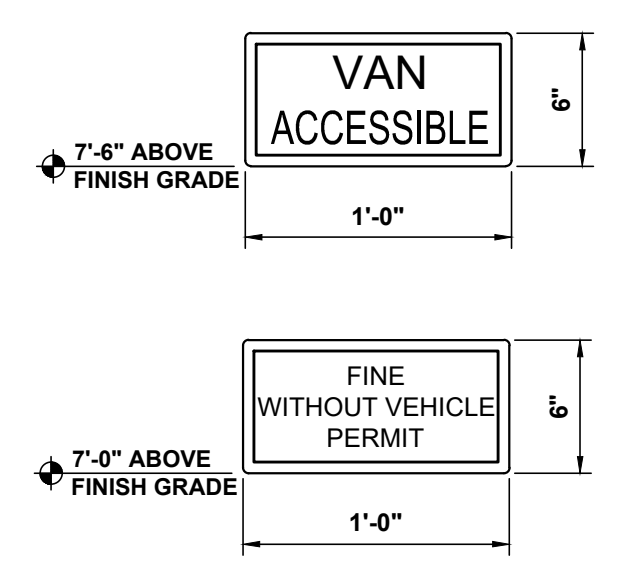
11 HANDICAP PARKING SPACE DETAIL
 C7.0 NOT TO SCALE



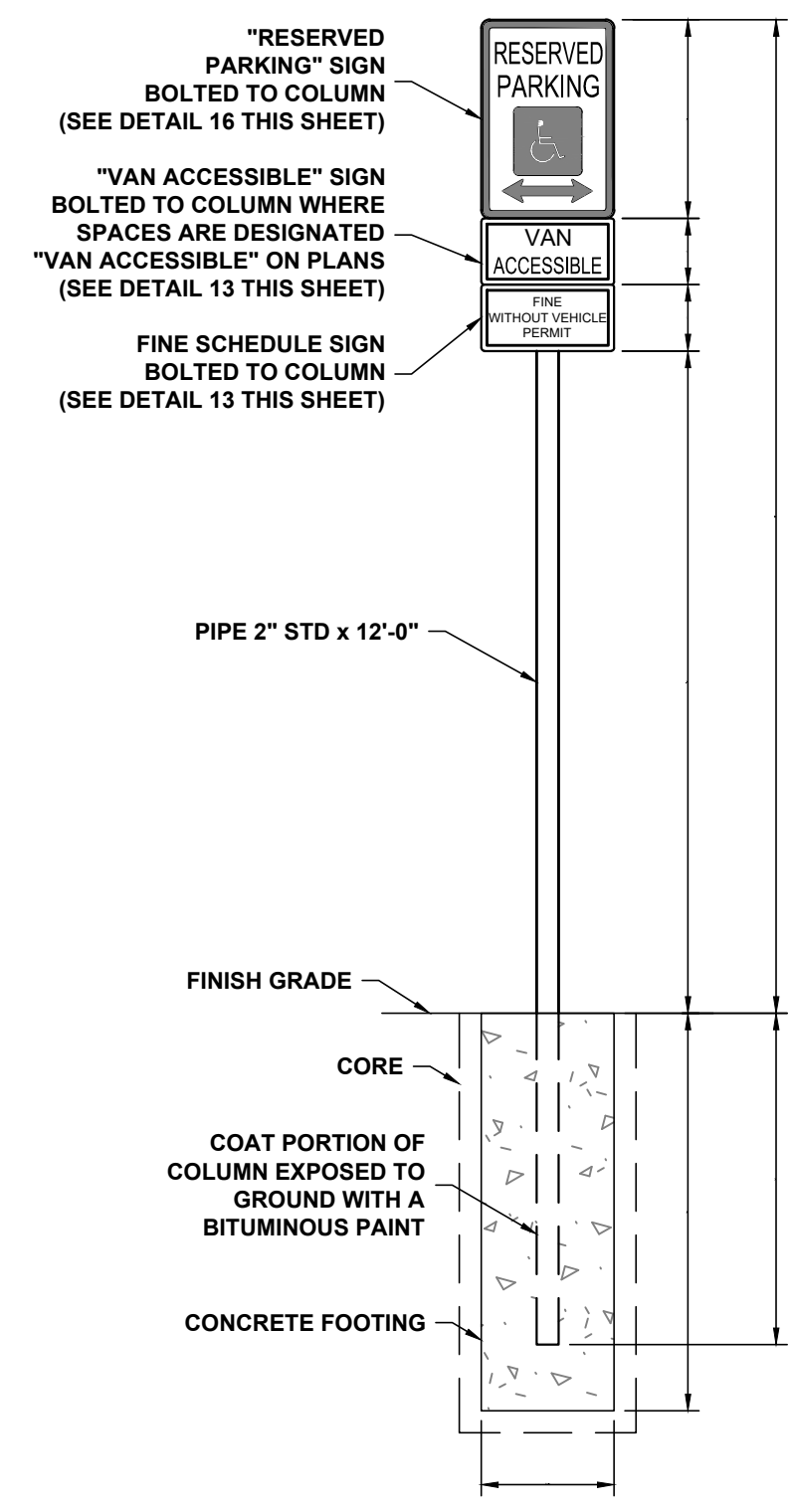
12 TYPICAL CURB SECTION
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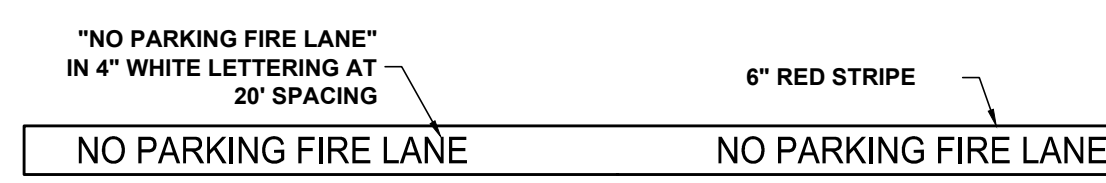
16 RESERVED PARKING SIGN
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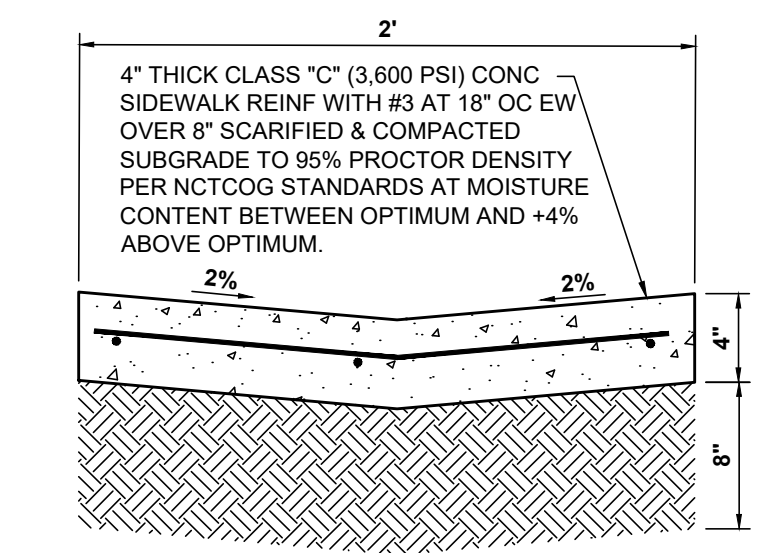
13 VAN ACCESSIBLE AND FINE SCHEDULE SIGN
 C7.0 NOT TO SCALE



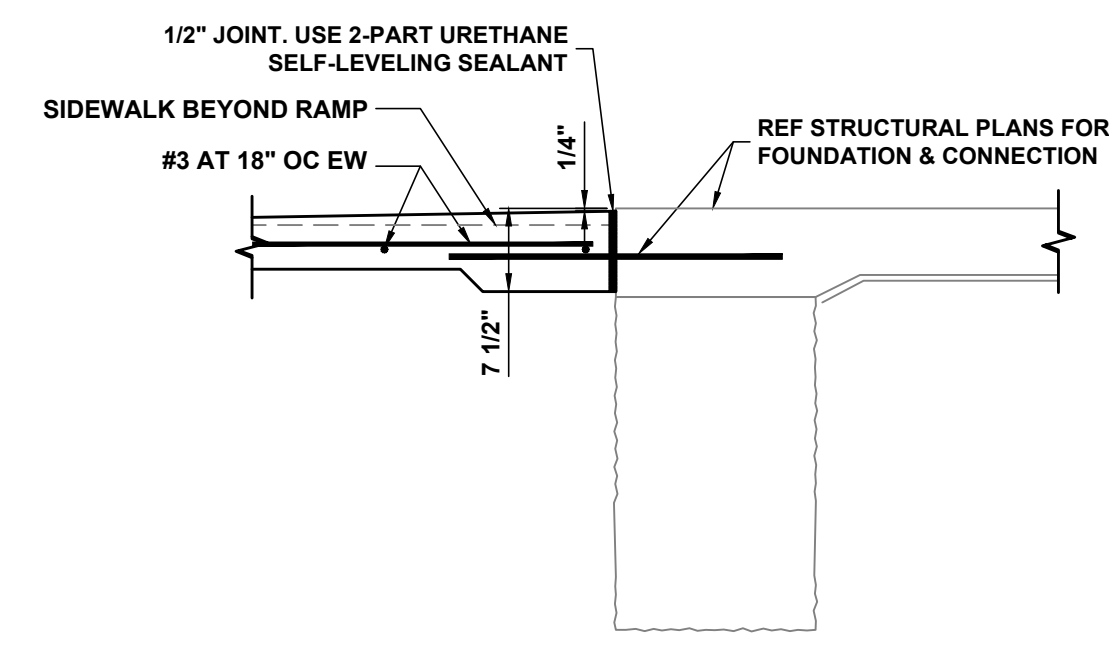
14 TYPICAL ADA SIGN POST DETAIL
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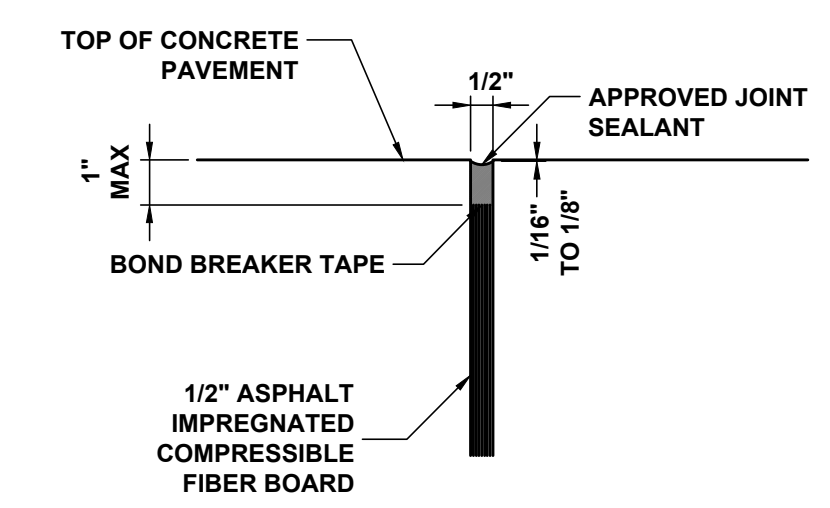
6 TYPICAL FIRE LANE STRIPING DETAIL
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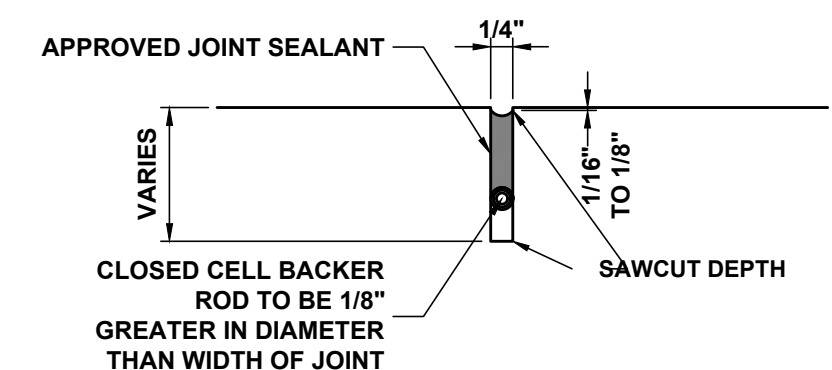
7 LOW FLOW PILOT CHANNEL
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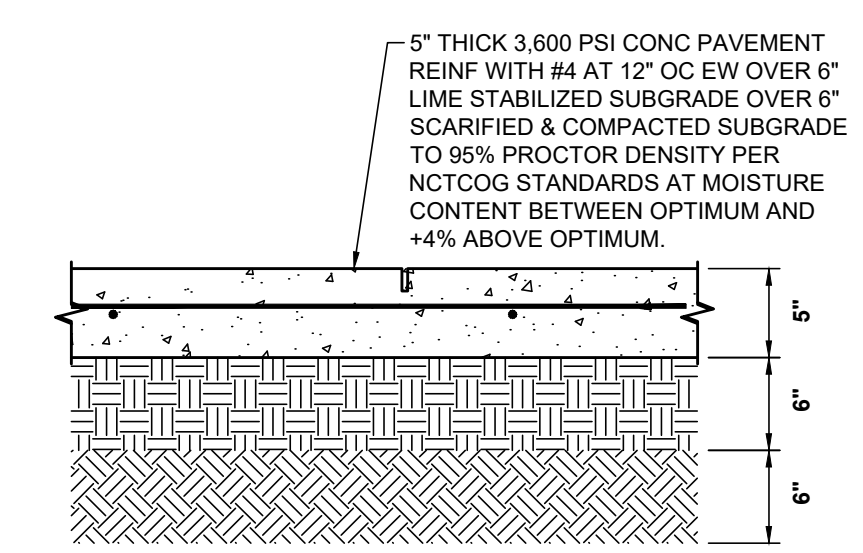
8 SIDEWALK AT DOOR SECTION DETAIL
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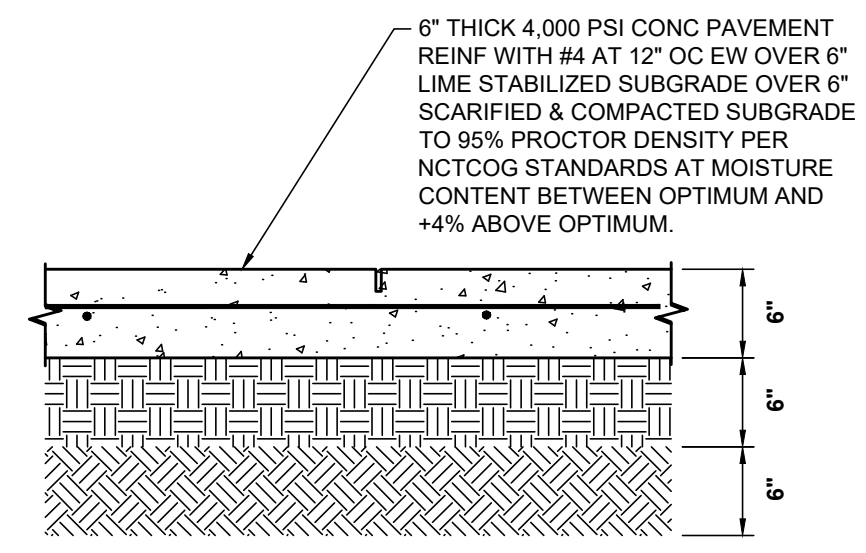
9 EXPANSION JOINT SEALING DETAIL
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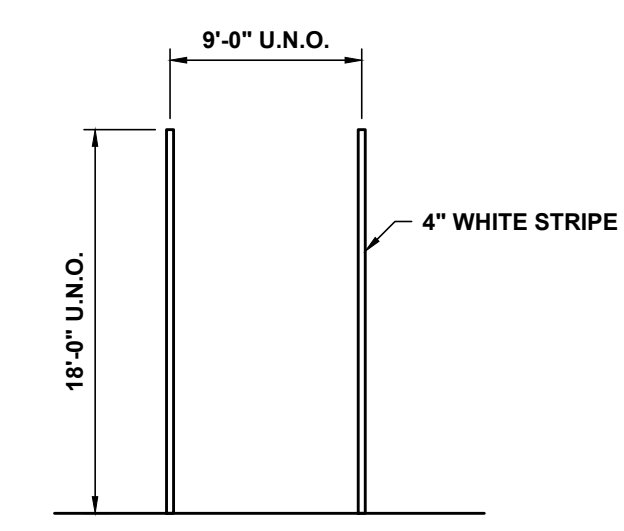
10 LONGITUDINAL JOINT SEALING DETAIL
 C7.0 NOT TO SCALE



3 SITE PAVEMENT SECTION
 C7.0 NOT TO SCALE

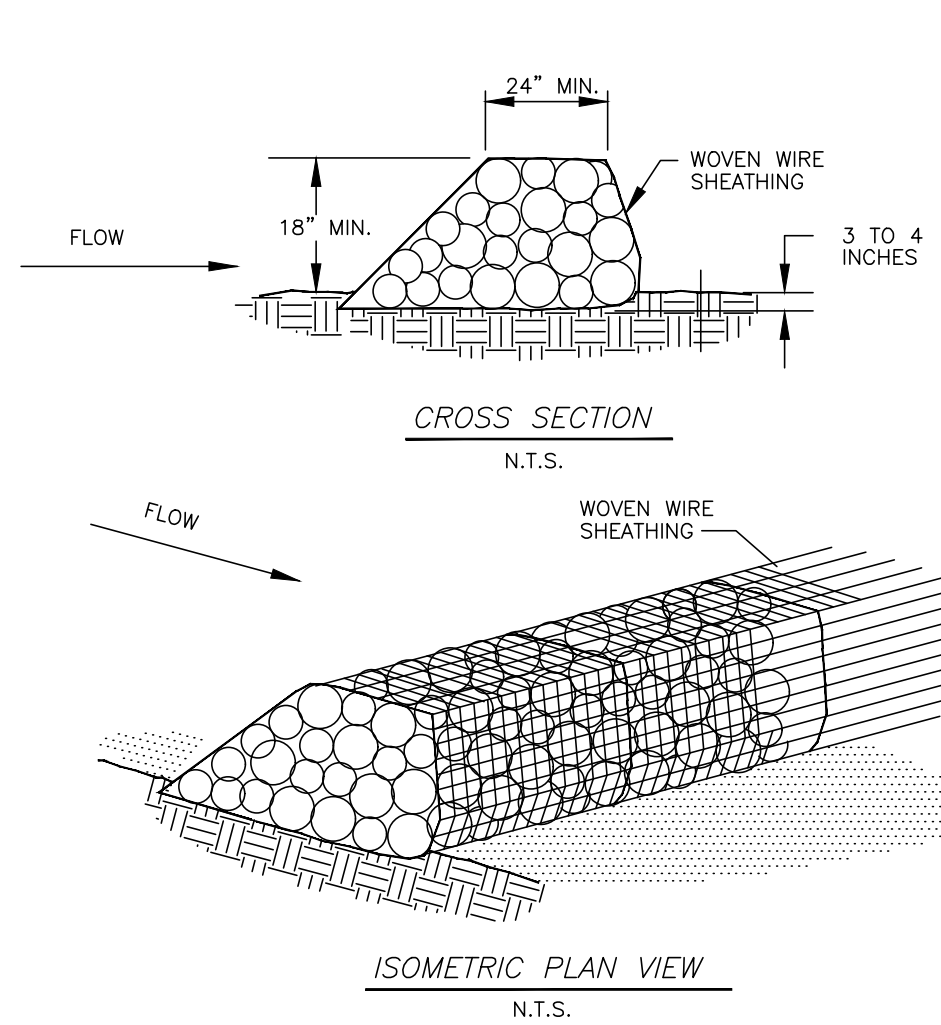


4 FIRE LANE PAVEMENT SECTION
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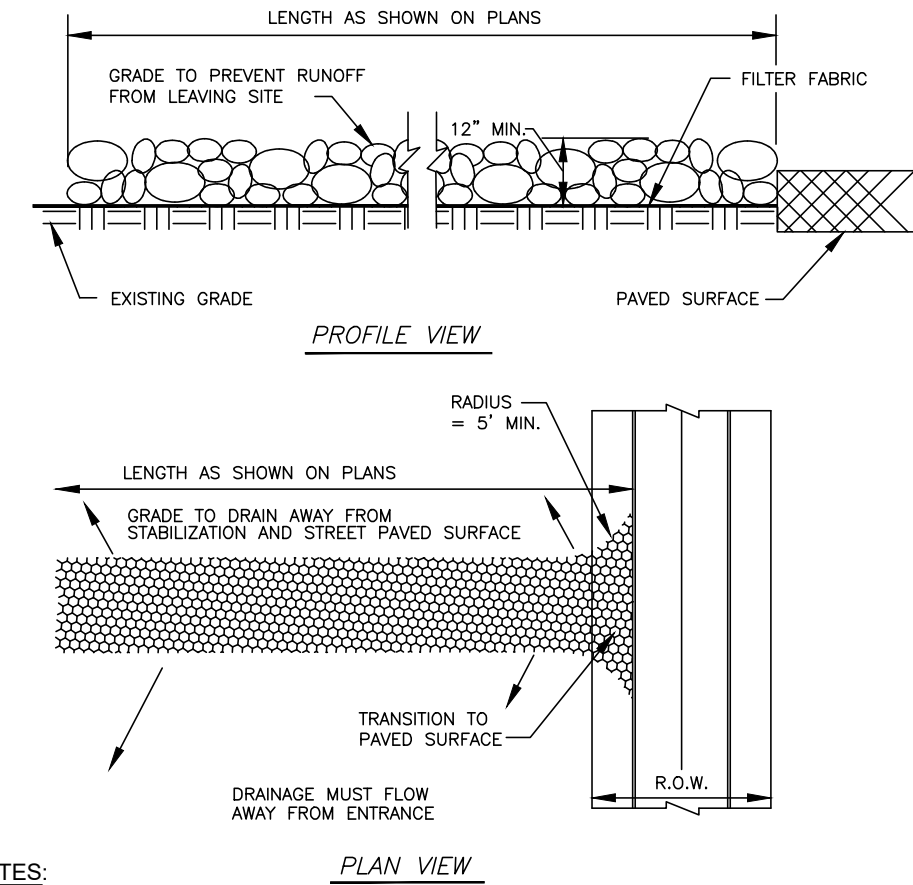
5 TYPICAL PARKING STRIPE DETAIL
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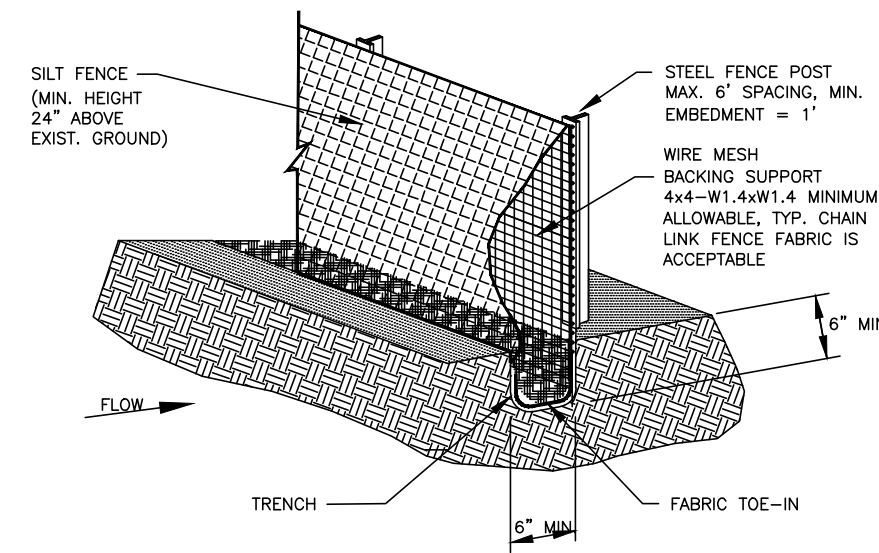
- ROCK CHECK DAM GENERAL NOTES:**
- USE ONLY OPEN GRADED ROCK 4-8 INCHES IN DIAMETER FOR STREAM FLOW CONDITION. USE OPEN GRADED ROCK 3-5 INCHES IN DIAMETER FOR OTHER CONDITIONS.
 - THE ROCK CHECK DAM SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING A MAXIMUM OPENING OF 1 INCH AND A MINIMUM WIRE SIZE OF 20 GAUGE AND SHALL BE BURIED IN A TRENCH APPROXIMATELY 3 TO 4 INCHES DEEP.
 - THE ROCK CHECK DAM SHALL BE INSPECTED EVERY TWO WEEKS OR AFTER EACH 1/2" RAIN EVENT AND SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
 - WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD OF THE HEIGHT OF THE DAM OR ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.

9 **ROCK CHECK DAM**
 C7.1 NOT TO SCALE



- NOTES:**
- STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK.
 - LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
 - THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
 - THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 - WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
 - THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

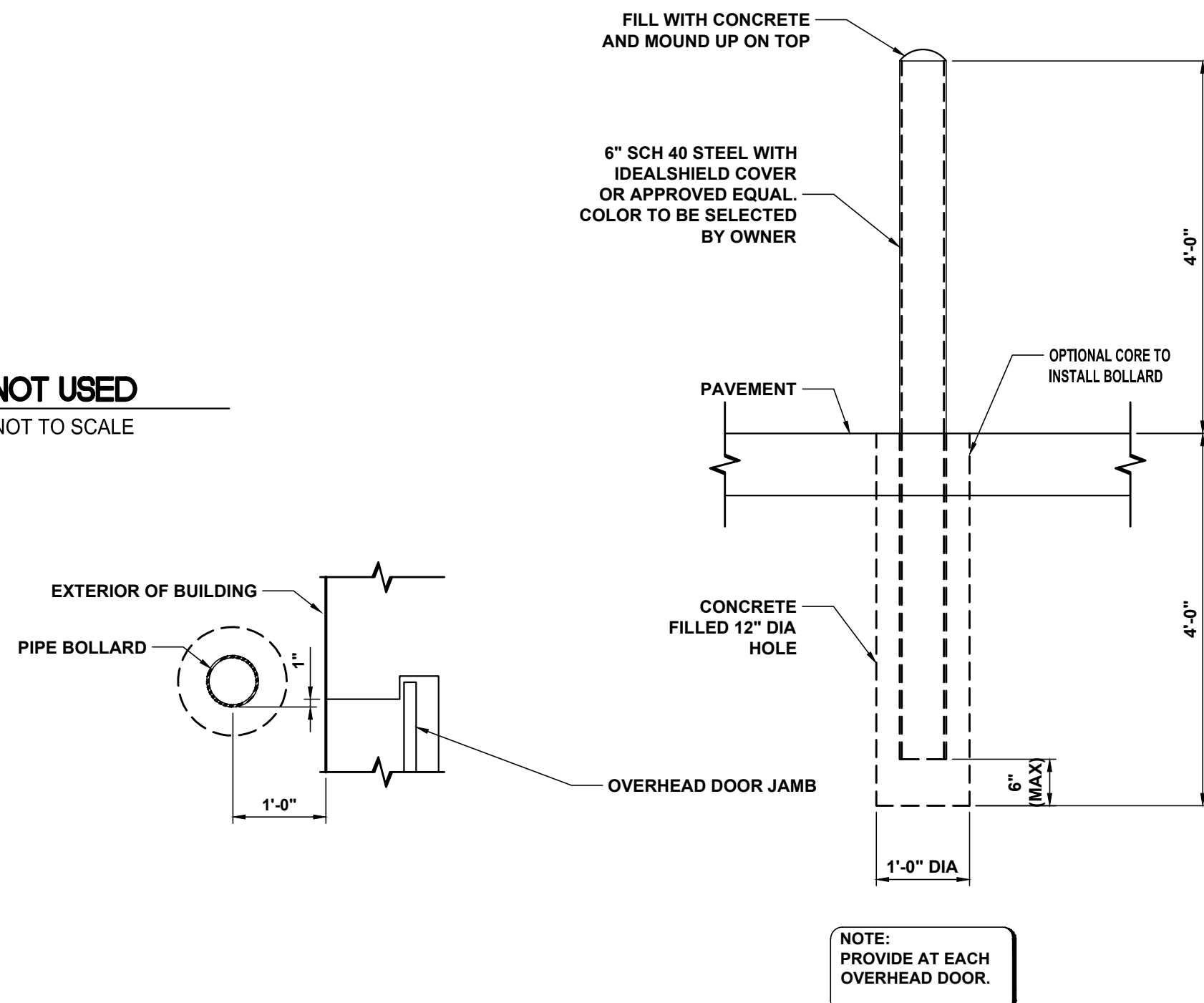
8 **TEMPORARY STABILIZED CONSTRUCTION ENTRANCE**
 C7.1 NOT TO SCALE



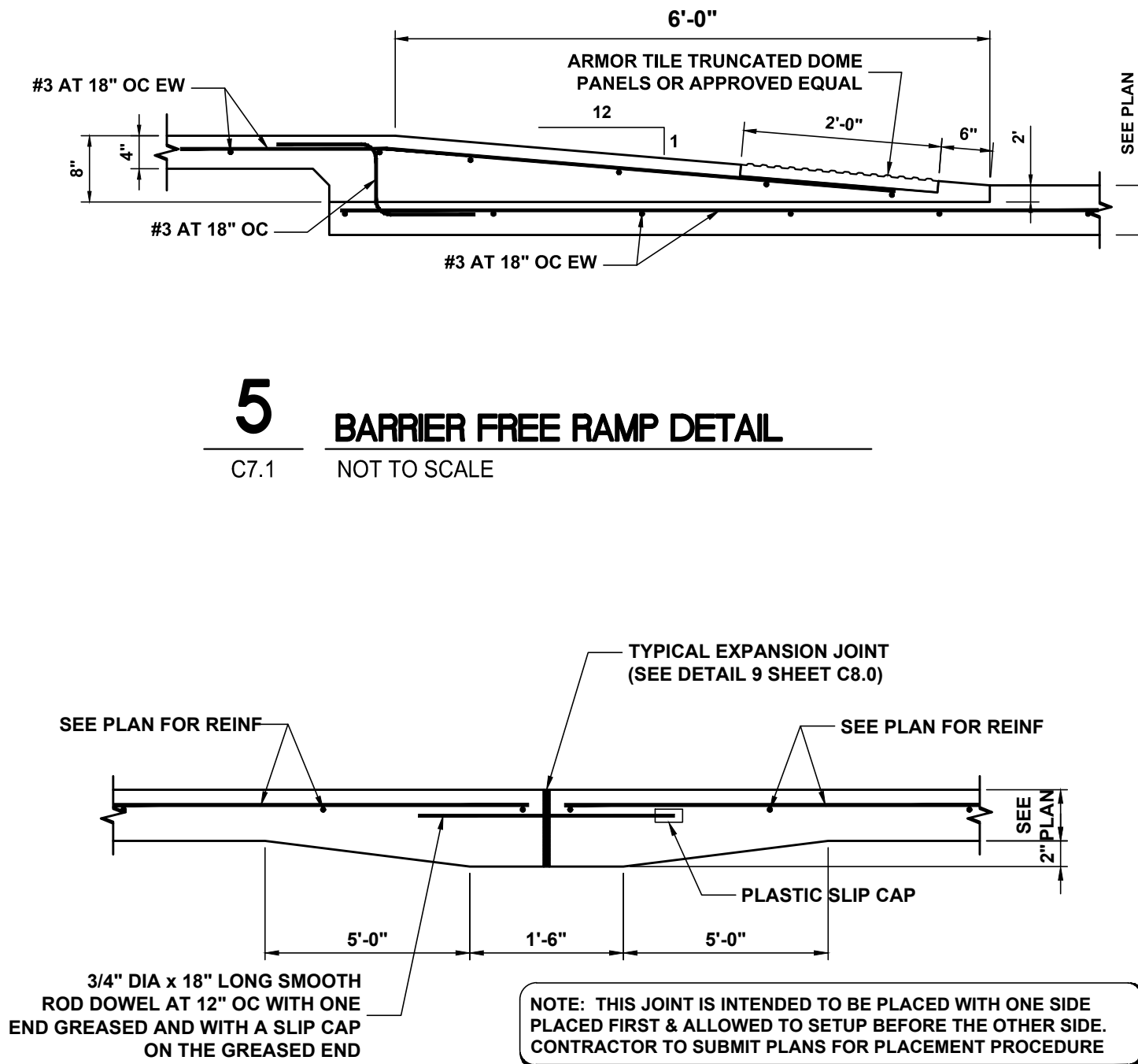
- SILT FENCE GENERAL NOTES:**
- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 - THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
 - THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 - SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 - INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
 - ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

7 **SILT FENCE**
 C7.1 NOT TO SCALE

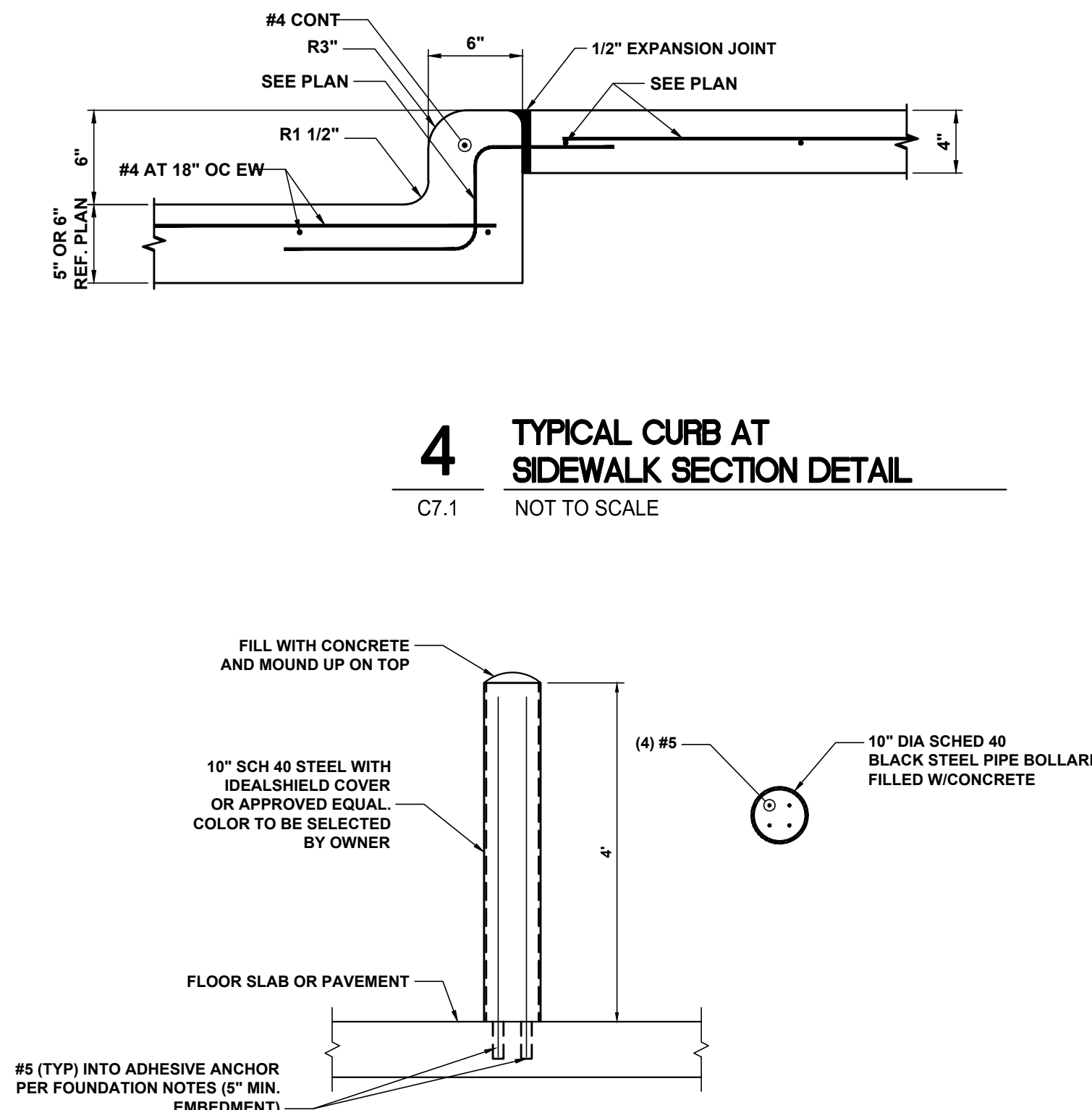
6 **NOT USED**
 C7.1 NOT TO SCALE



3 **TYPICAL DEEP BOLLARD DETAIL**
 C7.1 NOT TO SCALE

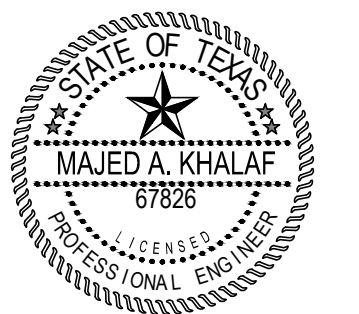


2 **TYPICAL EXPANSION JOINT SECTION DETAIL**
 C7.1 NOT TO SCALE



1 **TYPICAL SHALLOW BOLLARD DETAIL**
 C7.1 NOT TO SCALE

No.	Revision/Issue	Date



04/30/2023

Issued Date: 04-30-23
 Project No: 22014
 Drawn By: JPK
 Checked By: MAK
 Designed By: JPK

Project	220014	Sheet	C7.1
Date	04/30/23		
Scale			



City of Lucas

Planning and Zoning Agenda Request

May 11, 2023

Item No. 04

Requester: Development Services Director Joe Hilbourn

Agenda Item

Discuss updating the City of Lucas Code of Ordinances, Chapter 14 titled “Zoning” and create a timeline for review with established future milestones.

Background Information

The City Council requested that a strategic review of the Code of Ordinances be done with specific focus on Chapter 14 titled “Zoning”. Of particular importance is the development or redevelopment of smaller parcels, what the zoning ordinances allow for and how that regulation impacts the community.

Councilmember Debbie Fisher is requesting an overall review of the Zoning Ordinance, along with specific focus on the following:

1. Limit the number of outdoor living areas and outdoor kitchens.
2. Limit additional fences for accessory dwelling units.
3. Limit the number of swimming pools on a single lot.
4. Limit each single-family lot to a single entrance.
5. Require a second utility meter for accessory dwelling units.

Attachment/Supporting Documentation

1. [City of Lucas Code of Ordinances, Chapter 14 titled “Zoning”](#) (Due to the size of Chapter 14, this link has been provided.)

Budget/Financial Impact

NA

Recommendation

Provide staff with feedback on establishing a systematic review of the City Code of Ordinances, Chapter 14 titled “Zoning”.

Motion

NA



City of Lucas City Council Agenda Request May 11, 2023

Requesters: Planning and Zoning Commission
City Attorney Courtney Morris
City Manager Joni Clarke

Agenda Item Request

Consider the 88th Legislative Session and discuss any proposed bill or significant resolution that may have an impact on the City of Lucas and provide guidance to the City Attorney and City Manager.

Background Information

The 88th Legislature's regular session runs from January 10, 2023 to May 29, 2023.

Attachments/Supporting Documentation

1. TML Legislative Update (May 4, 2023)

Budget/Financial Impact

NA

Recommendation

NA

Motion

NA

TML Legislative Webinar #4: What to Expect in the Final Days
May 4, 2023

Governor Abbott's Priorities/Emergency Items

- Property Tax Relief
- Ending Covid Restrictions
- School Choice
- School Safety
- Bail Reform
- Border Security
- Prosecution of Fentanyl Deaths

Lt. Governor Patrick's Priorities

- **S.B. 3:** Increasing homestead exemption from \$40,000 to \$70,000 and tangible business property exemption.
- **S.B. 4:** Additional school property tax relief.
- **S.B. 5:** Increasing business personal property tax. Initially had \$76 million fiscal note to cities.
- **S.B. 22:** Rural law enforcement funding.
- **S.B. 28:** Addressing Texas' future water needs.
- **S.B. 29:** Banning local COVID-19 mandates.

Speaker Phelan's Priorities

- **H.B. 2** Property Tax Relief Act
- **H.B. 3** School safety
- **H.B. 4** Texas Data Privacy and Security Act
- **H.B. 5** Texas Jobs & Security Act
- **H.B. 6** Criminal penalties for certain controlled substances
- **H.B. 8** Community colleges funding model
- **H.B. 9** Texas Broadband Infrastructure Fund
- **H.B. 10** Texas Water Fund
- **H.B. 11** Teacher recruitment, preparation and retention
- **H.B. 12** Postpartum Medicaid coverage
- **H.B. 13** Active shooter preparedness and funding for school safety
- **H.B. 14** Plat and plan submission process
- **H.B. 15** Mental Health and Brain Research Institute of Texas
- **H.B. 16** Juvenile justice reform
- **H.B. 17** Official misconduct and removal of district and county attorneys
- **H.B. 18** Securing Children Online through Parental Empowerment Act
- **H.B. 19** Establishes the Business Court Judicial District
- **H.B. 100** School funding
- **H.B. 300** Sales tax exemption for essential baby items and feminine hygiene products

Speaker Phelan's Priorities (continued)

- **H.B. 400** Behavioral Health Innovation Grant Program for higher education
- **H.B. 600** Cost of living adjustments for retired Texas teachers
- **H.B. 900** Restricting Explicit & Adult Designated Educational Resources (READER) Act

Super Preemption

- **H.B. 2127** (Burrows) and **S.B. 814** (Creighton)
 - Preemption of city/county regulations in a field occupied by the following codes: Agriculture, Business and Commerce, Finance, Insurance, Labor, Natural Resources, Property, and Occupations, unless expressly authorized. H.B. 2127 passed House/S.B. 814 pending in Senate Business and Commerce.
- **S.B. 149** (Springer)
 - No city ordinances that regulate intrastate commercial activity. Pending in Senate Business and Commerce.
- **H.B. 2266** (Leach)
 - State license holder can sue if city regulation would result in adverse economic impact. Reported favorably from House Judiciary.
- **H.B. 2350** (Cody Harris)
 - No city occupational license if state issues an occupational license, with exceptions. On House calendar 5/4.

Targeted Preemption

- **S.B. 1017** (Birdwell)
 - City can't regulate energy source or engine. Sent to Governor.
- **S.B. 130** (Campbell)
 - City can't regulate private wages or benefits. Passed the Senate.
- **H.B. 92** (Landgraf) / **H.B. 276** (Cortez)
 - Must allow for growing of fruits and vegetables, and up to six chickens and six rabbits. H.B. 92 and H.B. 276 have passed the House.
- **S.B. 784** (Birdwell) / **S.B. 1114** (Hancock) / **H.B. 2211** (Landgraf)
 - City can't regulate greenhouse gas emissions. S.B. 784 passed the Senate and reported favorably from House Public Health/S.B. 1114 passed the Senate/H.B. 2211 reported favorably from House Environmental Regulation.
- **H.J.R. 9** (Landgraf)
 - Constitutional right to food, water, etc. Giving rise to any use of residential land. Reported favorably from House Agriculture.
- **H.B. 1389** (Guillen)
 - Weedy lot ordinances don't apply to agricultural operations. Passed the House.
- **H.B. 1750** (Burns) and **H.J.R. 126** / **S.B. 1421** (Perry)
 - Both bills limit city regulation of agricultural operations within the city limits and ETJ. H.B. 1750 and H.J.R. 126 passed the House and are on Senate intent calendar/S.B. 1421 passed the Senate.

Targeted Preemption (continued)

- **H.B. 2308** (Ashby)
 - Preemption of certain ordinances that regulate agricultural operations. Passed the House, on Senate intent calendar.
- **H.B. 2239** (Troxclair)
 - City can't prohibit removal of ash juniper trees on residential property. Passed the House.
- **H.B. 2035** (Slawson) and **S.B. 986** (Creighton)
 - City can't adopt or enforce a regulation that restricts evictions. S.B. 986 passed Senate / H.B. 2035 pending in Committee.
- **H.B. 2367** (Lozano)
 - Preempts city regulation of "residential amenity rentals". Pending in House Land and Resource Management.
- **H.B. 1598** (Darby)
 - Limits city ability to regulate siting of municipal solid waste facilities. Passed the House.

Community Censorship

- **S.B. 175** (Middleton) / **H.B. 3538** (Troxclair)
 - Community censorship - City can't hire lobbyists or join an organization that lobbies. Amended to allow joining of lobbying organization. S.B. 175 passed the Senate.

Land Use

- **S.B. 369** (Campbell)
 - Automatic disannexation by December 2023 for any area not receiving full municipal services. On Senate intent calendar.
- **H.B. 3053** (Dean)
 - Automatic disannexation elections for areas involuntarily annexed between 2015-2017 with some limited exceptions. Passed the House.
- **S.B. 2037** (Bettencourt)
 - No city subdivision regulations or minimum lot sizes/setbacks in ETJ. On Senate intent calendar.
- **S.B. 2038** (Bettencourt)/**H.B. 5217** (C. Bell)
 - Neighborhoods can be released from ETJ by majority petition. S.B. 2038 substituted for H.B. 5217 / S.B. 2038 passed the House and Senate.
- **H.B. 4175** (Cody Harris)
 - Full city services required in ETJ if certain land uses denied. Passed the House.
- **H.B. 4285** (Rogers)
 - No newsign regulations in ETJ unless city annexes area. Set on Local calendar 5/6.

Land Use (continued)

- **H.B. 1526** (Cody Harris) and **S.B. 558** (Hughes)
 - Limits amount of parkland dedication fees and amount that can be dedicated (over 800,000 pop.). H.B. 1526 passed the House / S.B. 558 reported favorably from Senate Natural Resources.
- **H.B. 149** (Murr)
 - All cities, not just those over 1M, can sell small parks (2 acres or less) without an election. Passed the House.

Land Use

- **H.B. 14** (Cody Harris)
 - Third-party review of plans, plats, and inspections 15 days after shot clock (Speaker priority). Passed the House.
- **H.B. 866** (Oliveron) / **S.B. 494** (Hughes)
 - As filed, city can't impose prerequisites or conditions to file a plan or plat. Substitute allows for administrative delegation of plat approval, removes plans from shot clock, and allows for third-party plat reviews under certain circumstances. H.B. 866 passed the House / S.B. 494 pending in Senate Local Government.
- **H.B. 3826** (Toth)
 - City can't extend building permit shot clock. Reported favorably from House Land and Resource Management.
- **H.B. 3169** (Landgraf)
 - Prohibits one specific city from prohibiting or limiting the use of short-term rentals. Reported favorably from House Urban Affairs.
- **H.B. 2665** (Gates)
 - Study on impact of local short-term rental regulations and need for statewide regulation. Reported favorably from House Land and Resource Management.
- **H.B. 2970** (Guillen)
 - HUD-Code homes allowed in all residential zones subject to some criteria. Passed the House.
- **S.B. 929** (Parker) / **H.B. 3490** (Rogers)
 - Payment for terminating non-conforming use after zoning change. S.B. 929 passed to third reading in House.

Land Use

- **H.B. 1204** (Martinez) and **H.B. 4275** (Rogers)
 - Allows an ESD to prevent a city from becoming the sole provider of emergency services of an area that is voluntarily annexed by the city. H.B. 4275 reported favorably from House Land and Resource Management.
- **H.B. 1381** (Hernandez)
 - Only one zoning hearing required by zoning commission. Passed the House.

Land Use (continued)

- **H.B. 586** (E. Thompson)
 - Consent annexations down a roadway permitted in some cases. Passed the House.
- **H.B. 2956** (Shine)
 - Consent annexation across a railroad track. Set on House Calendar 5/5.
- **H.B. 1707** (Klick) / **S.B. 472** (Hughes)
 - Preempts city regulations over charter schools, must treat like a public school. H.B. 1707 passed the House / S.B. 472 on Senate Intent calendar.
- **S.B. 2453** (Menendez)
 - Exceptions to building materials preemption for energy and water conservation standards. Passed the Senate.

Land Use - Density Related Bills

- **H.B. 3921** (Goldman) / **S.B. 1787** (Bettencourt)
 - Cities over 85k pop in counties over 1M pop cannot require lot sizes larger than 2,500 square feet or 16' x 30', or fewer than 31.1 homes per acre, with specifics about setbacks. H.B. 3921 reported favorably from House Land and Resource Management / S.B. 1787 pending in Senate Local Government.
- **S.B. 1412** (Hughes) / **H.B. 2789** (Holland)
 - Accessory Dwelling Units (ADUs) by right in single family zoning or un-zoned areas. SB 1412 passed Senate / H.B. 2789 reported favorably from House Land and Resource Management.

Property Tax

- **H.B. 2** (Meyer)
 - 5% appraisal cap all property. Passed the House.
- **S.B. 5** (Parker)
 - Increases business personal property tax exemption. Passed the Senate.
- **H.B. 159** (Landgraf)
 - Yearly tax rates must be published in a newspaper, excepts cities in counties over 1 million. Passed the House.
- **S.B. 976** (Middleton)/**S.B. 978** (Bettencourt)
 - Repeals de minimis tax rate for cities under 30,000 population. Pending in Senate Local Government.
- **S.B. 1999** (Bettencourt)
 - Adjusts unused increment rate calculation by converting the rate to a dollar amount that carries forward. Passed the Senate.

Sales Tax

- **H.B. 300** (Howard)
 - Sales tax exemption for family care items – baby wipes, diapers, maternity clothing, feminine hygiene products, etc. Large fiscal note (\$91 million state / \$17 million cities) but bipartisan momentum and Speaker priority bill. Passed the House.
- **S.B. 612** (Johnson)
 - Street maintenance sales tax extended between elections. Passed the Senate.
- **H.B. 5089** (Meyer)
 - Destination sales tax sourcing for intrastate sales. Reported favorably from House Ways and Means.
- **H.B. 3104** (Anderson)
 - Sales tax exemption for data centers that affects cities but not the state. On House Calendar 5/5.

Debt

- **H.B. 1489** (Tepper)
 - Certificates of obligation (COs) can only be issued in a public emergency, in response to a court order, or to comply with state or federal regulation. Pending in House Pension/Investments.
- **H.B. 4082** (Goldman)
 - Prohibits use of COs for stadiums, arenas, civic centers, and hotels. Passed to third reading in House.
- **H.B. 187** (Landgraf) and **S.B. 946** (Sparks)
 - All debt elections must be held in November. H.B. 187 heard in House Pensions/Investments / S.B. 946 reported from Senate State Affairs.
- **S.B. 561** (Sparks)
 - Political subdivision may not issue debt for equipment/vehicles if expected useful life ends before debt matures. Passed the Senate.
- **S.B. 976** (Middleton)/**S.B. 977** (Bettencourt)
 - Requires non-voter approved debt to be financed from M&O property tax rate. Pending in Senate Local Government.

Debt

- **S.B. 1814** (Bettencourt)
 - Limits a taxing unit's ability to retire debt earlier than required by bond covenants. Passed the Senate.
- **S.B. 2035** (Bettencourt)
 - Prevents issuance of an anticipation note or CO within five years of a failed bond election for same project. Passed the Senate.
- **S.B. 1252** (Bettencourt)
 - For any bond that increases taxes, require a statement on the proposition stating, "THIS IS A TAX INCREASE." Passed the Senate.

City Finance and Administration

- **S.B. 767** (Parker)
 - Notice of new and increased fees in every city budget, as well as email notification system alerting residents of new and increased fees. Passed the Senate and pending in House Urban Affairs.
- **H.B. 2023** (Munoz)
 - Plaintiff can get attorney's fees and costs when successfully suing city regarding preempted ordinances or failure to issue permits. Reported favorably from House Land and Resource Management.
- **H.B. 3492** (Stucky)
 - City cannot impose fees related to engineering, construction, subdivisions if the fee is based on the cost of constructing or improving public infrastructure. Passed the House.
- **H.B. 3485** (K. Bell)
 - Contractor can stop work on city project without a proper change order. Reported favorably from House Business and Industry.
- **H.B. 2965** (Vasut)
 - City can't require construction contractors to waive their right to cure defects. Reported favorably from House Judiciary.
- **S.B. 271** (Johnson)
 - City must report cyber incidents to state. Passed the Senate and reported favorably from House State Affairs.

Purchasing and Procurement

- **H.B. 3245** (Manuel)
 - Raises the maximum contract amount for local bidding preference in construction contracts from \$100,000 to \$500,000. Passed the House.
- **H.B. 1132** (Spiller)
 - Competitive bidding threshold raised from \$50,000 to \$100,000. Voted favorably from House County Affairs.

Community and Economic Development

- **H.B. 1492** (Ordaz) and **S.B. 543** (Blanco)
 - Clarifies that a city can transfer real property under a 380 agreement. H.B. 1492 reported favorably from House Urban Affairs Committee / S.B. 543 passed the Senate.
- **H.B. 5** (Hunter)
 - Replaces Chapter 313 with a new state law. On House calendar 5/4.
- **S.B. 1340** (Zaffirini)
 - 380 database expanded to include Chapter 312 property tax abatement agreements. Passed the Senate.

Community and Economic Development (continued)

- **S.B. 1419** (Birdwell)
 - Ch. 380 grants can't come from property taxes plus more transparency. Passed Senate.

Public Safety and Health

- **S.B. 224** (Alvarado)
 - Increases penalties for catalytic converter theft. Passed the Senate, voted favorably from House Homeland Security.
- **H.B. 1819** (Cook)
 - Repeals city juvenile curfew ordinance authority. Passed to third reading in House.
- **H.B. 410** (Thompson)
 - No arrests allowed for Class C misdemeanors. Passed the House.
- **S.B. 1413** (Johnson) / **H.B. 2681** (Frazier)
 - Fire department can remove items from right-of-way. S.B. 1413 passed the Senate, voted favorably from House Transportation. H.B. 2681 passed the House.
- **S.B. 1852** (Flores)
 - 18 hours required active shooter training for police officers. Passed the Senate.
- **S.B. 2018** (Flores)
 - Additional penalties and enforcement of statewide camping ban. Passed the Senate.
- **H.B. 2134** (Thimesch)
 - Increased city authority of massage parlors. Passed the House.

Personnel

- **H.B. 2464** (Price)
 - Would permit TMRS cities to offer certain non-retroactive COLA increases. Passed the House.
- **H.B. 471** (Patterson)
 - Paid sick and injury leave for first responders up to a year, plus disease presumption expansion. Passed the House.
- **H.B. 2925** (Martinez)
 - Automatic civil service in cities over 10,000 pop without an election. Reported favorably from House County Affairs.
- **H.B. 2455** (King)
 - Fire department must offer an annual occupational medical evaluation to each fire fighter employed by the fire department at no cost to the fire fighter. Passed the House.
- **S.B. 1621** (Kolkhorst)
 - Cities must participate in e-verify. Voted favorably from Senate Business and Commerce.

Personnel (continued)

- **H.B. 1661** (Burns)
 - Removes age 45 limit for new police in civil service cities. Passed the House.
- **H.B. 1076** (Neave Criado)
 - Legal permanent residents can be licensed police officers. Voted favorably from House Homeland Security.
- **H.B. 2957** (Bumgarner)
 - Periodic cancer screenings for firefighters. Passed the House.
- **S.B. 252** (Alvarado)
 - Veterans who are legal permanent residents can be licensed peace officers. On Senate local calendar.
- **H.B. 2926** (Turner)
 - Extends the workers comp presumption for COVID for two years, until September 1, 2025. Passed the House.
- **H.B. 1579** (Canales)
 - Investigation must be held before disciplining a firefighter. Reported favorably from House Urban Affairs.

Utilities and Environment

- **S.B. 1238** (Nichols) and **H.B. 9** (Ashby)
 - Broadband development and funding. S.B. 1238 passed the Senate / H.B. 9 passed the House.
- **S.B. 1117** (Hancock)
 - Video services do not include streaming for franchise fee purposes. On Senate intent calendar.
- **S.B. 1015** (King)
 - Limits city participation in electric periodic rate adjustment. Passed Senate, 5/3 hearing in House State Affairs.
- **H.B. 4385** (Guillen)
 - City can provide sewer service to areas of less than 15 connections without a CCN. Passed the House.

Open Government / Social Media

- **H.B. 2493** (Capriglione)
 - Electronic information, including databases, must be produced under Public Information Act. Set on House calendar 5/5.
- **H.B. 3033** (Landgraf)
 - 30-day deadline to produce documents after attorney general decision under PIA. Set on House Calendar 5/5.
- **S.B. 958** (Campbell)
 - Can't release non-profit donor information under PIA with penalties. Passed the Senate.

Open Government / Social Media (continued)

- **S.B. 1893** (Birdwell)
 - No use of TikTok on any city device. Passed the Senate.
- **H.B. 622** (Shaheen)
 - Alternative to newspaper notice. Pending in House County Affairs.

Elections

- **S.B. 990** (Hall)
 - Eliminates county-wide polling place program. Passed the Senate.
- **S.B. 221** (Bettencourt)
 - SOS ballot language review for city propositions, private cause of action against city. Passed Senate, pending in House Elections.
- **H.B. 371** (Bucy)
 - SOS chooses runoff election dates. Passed the House.
- **H.B. 1434** (Buckley)
 - Type A city council can vote to stagger their terms. Passed the House.
- **S.B. 2071** (Bettencourt)
 - Automatic election recounts when wins by 0.5% or less. Passed the Senate.

Other

- **H.B. 2806** (Canales)
 - Billboards entitled to relocate in certain areas if use discontinued due to highway widening or public improvement project. Passed the House.
- **H.B. 2224** (Hernandez) / **S.B. 1663** (Alvarado)
 - City can lower a residential speed limit to 20 mph without a traffic study. HB 2224 passed House / SB 1663 passed the Senate, voted from House Transportation.
- **S.B. 829** (Kolkhorst)
 - Further limits city authority over cottage food operations. Passed the Senate.
- **H.B. 4559** (Darby)
 - City population bracket updates for 2020 census. Passed the House, 5/4 hearing in Senate Special Committee on Redistricting.



City of Lucas
Planning and Zoning Agenda Request
May 11, 2023

Item No. 06

Requester: Management Analyst Joshua Menhennett

Agenda Item Request

Consider approval of the minutes of the April 13, 2023 Planning and Zoning Commission meeting.

Background Information

NA

Attachments/Supporting Documentation

1. April 13, 2023 Planning and Zoning Commission Minutes

Budget/Financial Impact

NA

Recommendation

NA

Motion

I make a motion to approve the minutes of the April 13, 2023 Planning and Zoning Commission meeting.



MINUTES

PLANNING AND ZONING COMMISSION MEETING

April 13, 2023 | 6:30 PM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

Call to Order

The meeting was called to order at 6:30 pm and the Pledge of Allegiance was recited.

Commissioners Present:

Chairman Dusty Kuykendall
Vice-Chairman Tommy Tolson
Commissioner Peggy Rusterholtz
Commissioner Joe Williams
Commissioner Adam Sussman

Staff Present:

City Manager Joni Clarke
Development Services Director Joe Hilbourn
City Attorney Courtney Morris (*video conference*)
City Secretary Erin Day
Management Analyst Joshua Menhennett

Commissioners Absent:

Alternate Commissioner James Foster
Alternate Commissioner Chris Bierman

City Council Liaison Present:

Mayor Jim Olk

Public Hearing Agenda

1. **Conduct a public hearing and consider approving updates to the City of Lucas Thoroughfare Plan.**
 - A. **Presentation by Development Services Director Joe Hilbourn**
 - B. **Conduct public hearing**
 - C. **Take action on Thoroughfare Plan**

Development Services Director Joe Hilbourn presented on modifications to the Thoroughfare Plan. The changes included a modification to Stinson Road as it aligns to West Lucas Road. Commissioner Adam Sussman asked for clarification on the change being made. Mr. Hilbourn specified the area where changes would be made.

Chairman Kuykendall opened the public hearing at 6:33 pm. There were no members of the public wishing to address the Planning and Zoning Commission. Chairman Kuykendall closed the public hearing at 6:34 pm.

MOTION: A motion was made by Commissioner Rusterholtz, seconded by Vice-Chairman Tolson to approve the update to the City of Lucas Thoroughfare Plan as presented. The motion passed unanimously by a 5 to 0 vote.

2. **Conduct a public hearing and consider changes to the City's Code of Ordinances by amending Chapter 14 titled "Zoning", Article 14.01 titled "General Provisions", Division 1 titled "Generally", Section 14.01.004 titled "Definitions", and amending Chapter 14 titled "Zoning", Article 14.04 titled "Supplementary Regulations", Division 8 titled "Accessory Buildings, Structures and Uses".**

- A. Presentation by Development Services Director Joe Hilbourn**
- B. Conduct public hearing**
- C. Take action on amendments to Accessory Building Regulations**

Development Services Director Joe Hilbourn presented the proposed changes to be made to the referenced Code. City Attorney Courtney Morris advised that the changes that were made were not consistent for legal purposes. Commissioner Peggy Rusterholtz noted that there is inconsistency with numbers and wording in sections of the referenced Code. Commissioner Peggy Rusterholtz recommended technical corrections to other parts of the same Code, including consistency in reference words used, in addition to the location of certain wording in the Code. Mayor Jim Olk advised the Commission on the purpose of the present verbiage. Commissioner Adam Sussman opined that he has concern with added administrative requirements as a result of requiring special use permits for increased square footage.

Chairman Kuykendall opened the public hearing at 6:43 pm. There were no members of the public wishing to address the Planning and Zoning Commission. Chairman Kuykendall closed the public hearing at 6:43 pm.

MOTION: A motion was made by Vice-Chairman Tommy Tolson, seconded by Commissioner Rusterholtz to recommend to the City Council to approve changes to the City Code of Ordinances by amending Chapter 14 titled “Zoning”, Article 14.01 titled “General Provisions”, Division 1 titled “Generally”, Section 14.01.004 titled “Definitions”, and amending Chapter 14 titled “Zoning”, Article 14.04 titled “Supplementary Regulations”, Division 8 titled “Accessory Buildings, Structures and Uses” with the following modifications:

- In Section 14.04.302, Subsection 1 in the second line, change the word “accessory” to “subordinate”.
- In Section 14.04.304, Subsection 4(B)(ii), delete the words “and AO” and in Subsection 4(B)(iii), add the words “AO” after the designation of “R-1”.

The motion passed unanimously by a 5 to 0 vote.

- 3. Conduct a public hearing and consider approving a request for a change in zoning from AO (Agricultural and Open Space) to R-2 (Residential 2-acre) on a 23+/- parcel of land generally located at 355 Winningkoff Road.**

- A. Presentation by Development Services Director Joe Hilbourn**
- B. Conduct public hearing**
- C. Take action on Zoning Change Request**

This agenda item was pulled from the agenda as a result of an error in the public notice.

MOTION: There was no motion needed for this item.

- 4. Conduct a public hearing and consider approving changes to the City of Lucas Code of Ordinances, Chapter 14 titled “Zoning”, by amending Article 14.02 titled “Administration”, Division 3 titled “Changes and Amendments”, Section §14.02.063 titled “Procedure”.**

- A. Presentation by Development Services Director Joe Hilbourn**
- B. Conduct public hearing**
- C. Take action on amendments to the Zoning Appeals Process**

Development Services Director Joe Hilbourn presented on the recommended changes to the zoning appeals process, including striking of text that was not necessary and the addition of words to improve specificity. City Attorney Courtney Morris advised the Commission that stricken language was never required by statute. Commissioner Peggy Rusterholtz opined that the Code now reads much cleaner.

Chairman Kuykendall opened the public hearing at 6:48 pm. There were no members of the public wishing to address the Planning and Zoning Commission. Chairman Kuykendall closed the public hearing at 6:49 pm

MOTION: A motion was made by Commissioner Joe Williams, seconded by Vice-Chairman Tommy Tolson to recommend to City Council to approve changes to the City of Lucas Code of Ordinances, Chapter 14 titled “Zoning”, by amending Article 14.02 titled “Administration”, Division 3 titled “Changes and Amendments”, Section §14.02.063 titled “Procedure”. The motion passed unanimously by a 5 to 0 vote.

Regular Agenda

- 5. Consider the request by Majed Khalaf on behalf of Mahmoud Properties for a site plan, landscape plan, and elevations for use as a commercial retail and office center on a 2.25-acre tract of land in the Jas Lovelady Survey, Abstract Number ABS A0538, Tract 14 situated in the City of Lucas, Collin County, Texas, located at 995 West Lucas Road.**

Development Services Director Joe Hilbourn presented the proposed site plan, landscape plan, and construction elevations. The requestor, Majed Khalaf (650 East Tripp Road, Sunnyvale, TX 75182) addressed the Commission. Mr. Khalaf noted that the addition of trees on the east and west side of the proposed plan were made to accommodate for the lack of a masonry wall. Commissioner Adam Sussman asked Development Services Director Joe Hilbourn if a commercial property development is held to certain motor traffic flow requirements. Mr. Hilbourn advised that an access lane and minimum turning radius is required. Mr. Hilbourn advised Commissioner Sussman that the property on the east side is zoned R-2 and the property on the west side is R-2 with a special use permit. Mr. Hilbourn advised that if the land is sold on the west side then the special use permit also carries with it.

Commissioner Peggy Rusterholtz asked for specifications on the distance of the site from the nearest residential district. Mr. Hilbourn advised that Building B does not meet the setback requirements. Commissioner Peggy Rusterholtz noted that the site plan will need to be modified to fix this issue. Commissioner Rusterholtz also noted that the east end of Building A would need to be modified as well. Chairman Kuykendall asked for the height of Building A. Mr. Hilbourn advised that the east end of Building A was 19 feet, four inches. Commissioner Rusterholtz also recommended a clear path from the parking lot be created using concrete as opposed to grass. Commissioner Rusterholtz and Chairman Dusty Kuykendall opined that wax myrtles would be more favorable than a wall on the east side.

MOTION: A motion was made by Commissioner Rusterholtz, seconded by Commissioner Williams to table the request to allow the developer to make the necessary changes to bring it in conformance with the ordinances. The motion passed unanimously by a 5 to 0 vote.

- 6. Discuss updates on the Barrett Lakes Estates Addition.**

Development Services Director Joe Hilbourn presented on the updates and changes made to the addition at Barrett Lakes Estates, including photos outlining corrections made to the grout, riprap, outfall, outflow, and pipes on the property. Vice-Chairman Tommy Tolson asked which set of stormwater management variables were used for the plans. Mr. Hilbourn advised that the management variables used were those in place at the time of filing.

MOTION: There was no motion needed for this item.

7. Consider the 88th Legislative Session and discuss any proposed bill or significant resolution that may have an impact on the City of Lucas and provide guidance to the City Attorney and City Manager.

City Attorney Courtney Morris advised the Commission on various legislative items in the 88th Texas Legislative Session. Commissioner Peggy Rusterholtz asked what it means for a bill to be “pending” in committee. City Attorney Courtney Morris clarified that this means that the committee did not vote on the bill or change the text of the bill, and it could come back up for a decision later.

MOTION: There was no motion needed for this item.

8. Consider approval of the minutes of the March 9, 2023 Planning and Zoning Commission meeting.

MOTION: A motion was made by Commissioner Williams, seconded by Commissioner Sussman to approve the minutes of the March 9, 2023 Planning and Zoning Commission meeting. The motion passed unanimously by a 5 to 0 vote.

9. Adjournment.

MOTION: A motion was made by Commissioner Sussman, seconded by Commissioner Williams to adjourn the meeting at 7:32 pm. The motion passed unanimously by a 5 to 0 vote.

Dusty Kuykendall, Chairman

Joshua Menhennett, Management Analyst