



AGENDA

Planning and Zoning Commission Meeting

June 8, 2023 | 6:30 PM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

Notice is hereby given that a meeting of the City of Lucas Planning and Zoning Commission will be held on June 8, 2023, at 6:30 pm at Lucas City Hall, 665 Country Club Road, Lucas, Texas 75002-7651, at which time the following agenda will be discussed. As authorized by Section 551.071 of the Texas Government Code, the Planning and Zoning Commission may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any item on the agenda at any time during the meeting.

If you would like to watch the meeting live, you may go to the City's live streaming link at <https://www.lucastexas.us/departments/public-meetings/>.

How to Provide Input at a Meeting:

Speak In Person: Request to Speak forms will be available at the meeting. Please fill out the form and give to the City Secretary prior to the start of the meeting. This form will also allow a place for comments.

Submit Written Comments: If you are unable to attend a meeting and would like to submit written comments regarding a specific agenda item, email Erin Flores, City Secretary at eflores@lucastexas.us no later than 3:30 pm the day of the meeting. The email must contain the person's name, address, phone number, and the agenda item(s) for which comments will be made. Any requests received after 3:30 pm will not be included at the meeting.

Call to Order

- Roll Call
- Determination of Quorum
- Reminder to turn off or silence cell phones
- Pledge of Allegiance

Regular Agenda

1. Consider the request by Dave Wilcox (on behalf of Liberty Bank) for a final plat for Hendrick Estates, a parcel of land being 73.4268 acres of land located on the north and south sides of Blondy Jhune Road and east of Country Club Road, being part of the Peter Lucas Survey, A-537; J.W. Kerby Survey, A-506; James Grayum Survey, A-506, Tracts 1, 2, & 3. **(Development Services Director Joe Hilbourn)**
2. Consider the approval of the Declaration and Protective Covenants for Hendrick Estates, a parcel of land being 73.4268 acres of land being part of the Peter Lucas Survey, A-537; J.W. Kerby Survey, A-506; James Grayum Survey, A-506, Tracts 1, 2, & 3. **(Development Services Director Joe Hilbourn)**
3. Discuss updating the City of Lucas Code of Ordinances, Chapter 14 titled "Zoning." **(Development Services Director Joe Hilbourn)**

4. Consider the appointment of a Chair of the Planning and Zoning Commission to serve for a term ending December 31, 2023 and appoint a Vice-Chair if needed. (**Planning and Zoning Commission**)
5. Consider the 88th Legislative Session and discuss any proposed bill or significant resolution that may have an impact on the City of Lucas and provide guidance to the City Attorney and City Manager. (**Planning and Zoning Commission, City Attorney Courtney Morris, City Manager Joni Clarke**)
6. Consider approval of the minutes of the May 11, 2023 Planning and Zoning Commission Meeting. (**Management Analyst Joshua Menhennett**)

Public Hearing

7. Conduct a public hearing and consider a Specific Use Permit (SUP) application to permit an accessory building in the front of the main structure at 253 East Blondy Jhune Road, Lot 5 of Rock Creek Acres, Lucas, Texas zoned R-2 (Residential 2-Acre).
 - A. Presentation by Development Services Director Joe Hilbourn
 - B. Conduct public hearing
 - C. Take action on Specific Use Permit request

Executive Agenda

As authorized by Section 551.071 of the Texas Government Code, the Planning and Zoning Commission may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney regarding any item on the agenda at any time during the meeting. This meeting is closed to the public as provided in the Texas Government Code.

8. Executive Session: There is not an executive session scheduled for this meeting.
9. Reconvene from Executive Session.
10. Adjournment.

Certification

I do hereby certify that the above notice was posted in accordance with the Texas Open Meetings Act on the bulletin board at Lucas City Hall, 665 Country Club Road, Lucas, Texas 75002 and on the City's website at www.lucastexas.us on or before 5:00 p.m. on June 2, 2023.

Joshua Menhennett, Management Analyst

In compliance with the American with Disabilities Act, the City of Lucas will provide for reasonable accommodations for persons attending public meetings at City Hall. Requests for accommodations or interpretive services should be directed to City Secretary Erin Flores at 972-912-1211 or by email at eflores@lucastexas.us at least 48 hours prior to the meeting.



City of Lucas

Planning and Zoning Agenda Request

June 8, 2023

Item No. 01

Requester: Development Services Director Joe Hilbourn

Agenda Item

Consider the request by Dave Wilcox (on behalf of Liberty Bank) for a final plat for Hendrick Estates, a parcel of land being 73.4268 acres of land located on the north and south sides of Blondy Jhune Road and east of Country Club Road, being part of the Peter Lucas Survey, A-537; J.W. Kerby Survey, A-506; James Grayum Survey, A-506, Tracts 1, 2, & 3.

Background Information

This parcel of land is currently zoned R-2 (Residential 2-Acre), contains 73.35 +/- acres of land, and proposes 34 new residential lots that conform to the City's requirements. The City Engineer has approved the construction plans, flood study and traffic impact analysis. This request complies with the City's Comprehensive Plan. There is a flood plain located along both the northern and southern boundaries of the subdivision, with each lot containing a designated flood plain. There is at least one acre located outside of the flood plain. Blondy Jhune Road alignment has also changed from its original location in accordance with the traffic impact analysis and gives the best line of site possible at the intersection of Blondy Jhune and Country Club Road.

Public improvements have been completed and accepted. The final plat substantially conforms to the preliminary plat. The applicant is changing the name of the subdivision from Hendrick Farms to Hendrick Estates.

Attachments/Supporting Documentation

1. Preliminary Plat
2. Final Plat
3. Hendrick Estates Platting Application
4. Hendrick Estates Platting Checklist
5. Record drawings/As-builts

Budget/Financial Impact

NA

Recommendation

Staff recommends approval as presented.

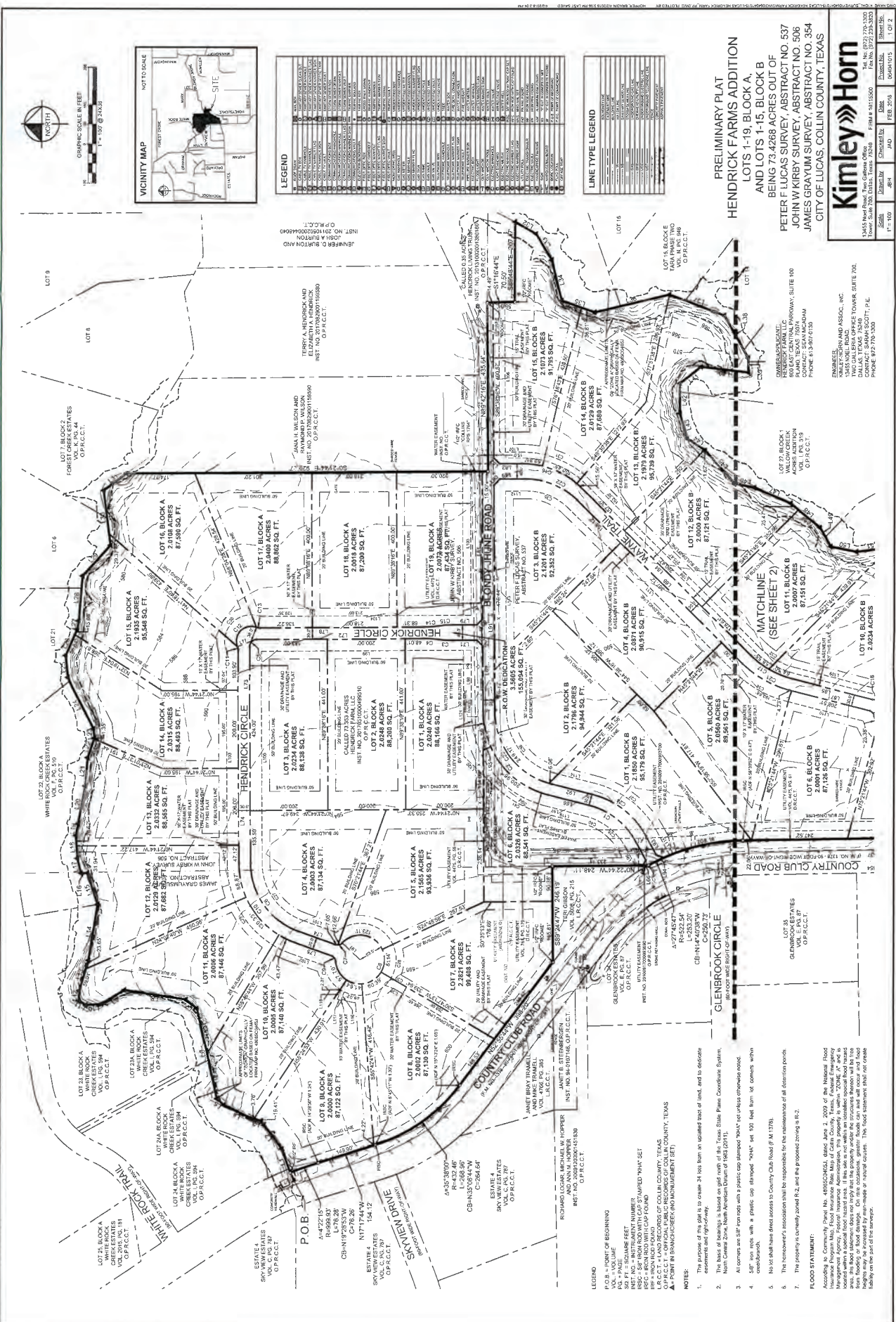


City of Lucas
Planning and Zoning Agenda Request
June 8, 2023

Item No. 01

Motion

I make a motion to approve/deny the request by Dave Wilcox (on behalf of Liberty Bank) for a final plat for Hendrick Estates, a parcel of land being 73.4268 acres of land located on the north and south sides of Blondy Jhune Road and east of Country Club Road, being part of the Peter Lucas Survey, A-537; J.W. Kerby Survey, A-506; James Grayum Survey, A-506, Tracts 1, 2, & 3.



LEGEND

PLAT BOUNDARY	SUBDIVISION BOUNDARY	STREET CENTERLINE
PROPERTY BOUNDARY	OWNER'S PROPERTY	UTILITY LINE
STREET CENTERLINE	UTILITY LINE	EASEMENT
EASEMENT	EASEMENT	EASEMENT

LINE TYPE LEGEND

SOLID LINE	PLAT BOUNDARY
DASHED LINE	SUBDIVISION BOUNDARY
DOTTED LINE	STREET CENTERLINE
DASH-DOTTED LINE	PROPERTY BOUNDARY
DOTTED LINE	UTILITY LINE
DASH-DOTTED LINE	EASEMENT
DOTTED LINE	EASEMENT
DASH-DOTTED LINE	EASEMENT
DOTTED LINE	EASEMENT

PRELIMINARY PLAT
HENDRICK FARMS ADDITION
 AND LOTS 1-19, BLOCK A
 AND LOTS 1-15, BLOCK B
 BEING 73.4268 ACRES OUT OF
 PETER F. LUCAS SURVEY, ABSTRACT NO. 537
 JOHN W. KIRBY SURVEY, ABSTRACT NO. 506
 JAMES GRAYM SURVEY, ABSTRACT NO. 354
 CITY OF LUCAS, COLLIN COUNTY, TEXAS

Kimley»Horn
 ENGINEERS, ARCHITECTS AND ASSOC., INC.
 13455 HIDE ROAD,
 800 EAST CENTRAL PARKWAY, SUITE 100
 DALLAS, TEXAS 75240
 CONTACT: SEAN MCADAM
 PHONE: 63.567.6139

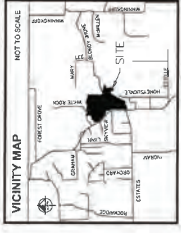
NOTES:

- The purpose of this plat is to create 34 lots from an updated tract of land, and to designate the boundaries and acreages of the lots.
- This plat is being filed with the Texas State Public Appraiser's Office, North Central District of 1983 (P011).
- All corners are set by monuments with a permanent "MAN" set unless otherwise noted.
- "50" iron pipe with a plastic cap stamped "MAN" set 100 feet from 1/2 corner when convenient.
- No lot shall have direct access to Country Club Road (F.M. 1770).
- The homeowner's association shall be responsible for the maintenance of all easement points.
- The property is currently zoned R-2, and the proposed zoning is R-3.

FLOOD STATEMENT:
 According to Community Page No. 495302050, dated June 2, 2009 of the National Flood Insurance Program, Flood Hazard Determination Report, the property is within "ZONE 7" and is not located within a special flood hazard area. If this site is not within an unincorporated flood hazard area, the owner should verify the Flood Hazard Determination Report with the local flood hazard map. On rare occasions, grantor/flooded area will occur and flood hazard determination reports may be made of individual lots. This flood statement shall not create liability on the part of the surveyor.

LEGEND

PLAT BOUNDARY	SUBDIVISION BOUNDARY	STREET CENTERLINE
PROPERTY BOUNDARY	OWNER'S PROPERTY	UTILITY LINE
STREET CENTERLINE	UTILITY LINE	EASEMENT
EASEMENT	EASEMENT	EASEMENT



LINE TYPE	DESCRIPTION
Solid line	Property boundary
Dashed line	Proposed boundary
Dotted line	Survey boundary
Thin solid line	Right-of-way line
Thin dashed line	Proposed right-of-way line
Thin dotted line	Survey right-of-way line
Thick solid line	Water easement
Thick dashed line	Proposed water easement
Thick dotted line	Survey water easement
Thin solid line with dashes	Utility easement
Thin dashed line with dashes	Proposed utility easement
Thin dotted line with dashes	Survey utility easement
Thin solid line with dots	Right-of-way line
Thin dashed line with dots	Proposed right-of-way line
Thin dotted line with dots	Survey right-of-way line

LINE TYPE	DESCRIPTION
Solid line	Property boundary
Dashed line	Proposed boundary
Dotted line	Survey boundary
Thin solid line	Right-of-way line
Thin dashed line	Proposed right-of-way line
Thin dotted line	Survey right-of-way line
Thick solid line	Water easement
Thick dashed line	Proposed water easement
Thick dotted line	Survey water easement
Thin solid line with dashes	Utility easement
Thin dashed line with dashes	Proposed utility easement
Thin dotted line with dashes	Survey utility easement
Thin solid line with dots	Right-of-way line
Thin dashed line with dots	Proposed right-of-way line
Thin dotted line with dots	Survey right-of-way line

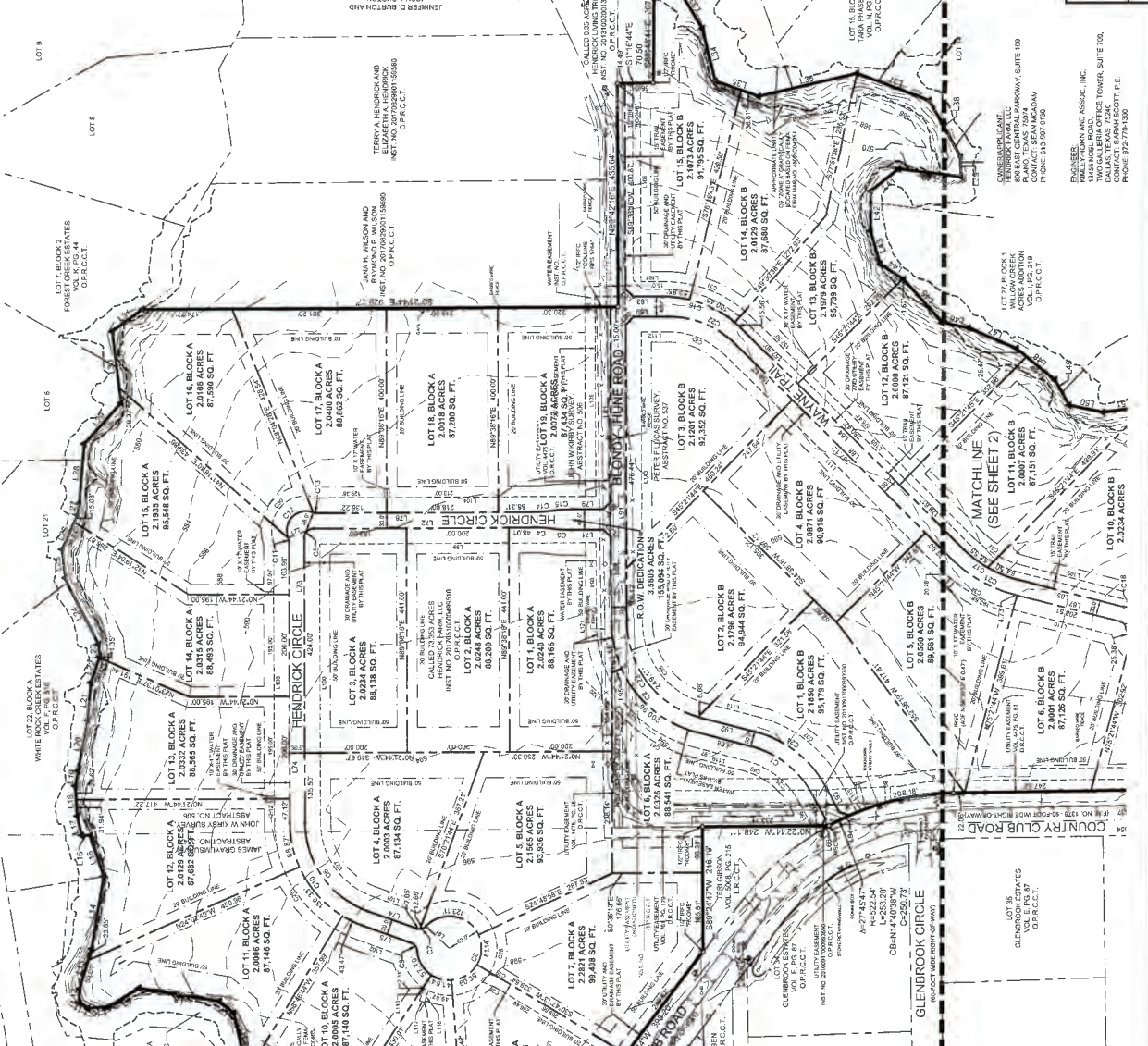
**PRELIMINARY PLAT
HENDRICK FARMS ADDITION
AND LOTS 1-19, BLOCK A,
AND LOTS 1-15, BLOCK B,
BEING 73.4268 ACRES OUT OF
PETER F LUCAS SURVEY, ABSTRACT NO. 537
JOHN WIRBY SURVEY, ABSTRACT NO. 506
JAMES GRAYJUM SURVEY, ABSTRACT NO. 364
CITY OF LUCAS, COLLIN COUNTY, TEXAS**

Kimley»Horn

1345 NORTH CENTRAL EXPRESSWAY, SUITE 100
DALLAS, TEXAS 75246
PHONE: 972.277.1330

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DALLAS, TEXAS 75246
PHONE: 972.277.1330

DATE: FEB. 2016
SHEET NO. 01 OF 2



LEGEND

POB - POINT OF BEGINNING
VOL. - VOLUME
INST. NO. - INSTRUMENT NUMBER
SQ. FT. - SQUARE FEET
R-332.46 - RESUBDIVISION OF LOT 1, BLOCK 1, HENDRICK FARMS ADDITION, ABSTRACT NO. 537, JOHN WIRBY SURVEY, ABSTRACT NO. 506, JAMES GRAYJUM SURVEY, ABSTRACT NO. 364, COLLIN COUNTY, TEXAS
C-284.61 - CONVEYANCE OF INTEREST IN REAL PROPERTY, ABSTRACT NO. 537, JOHN WIRBY SURVEY, ABSTRACT NO. 506, JAMES GRAYJUM SURVEY, ABSTRACT NO. 364, COLLIN COUNTY, TEXAS
C-284.61 - CONVEYANCE OF INTEREST IN REAL PROPERTY, ABSTRACT NO. 537, JOHN WIRBY SURVEY, ABSTRACT NO. 506, JAMES GRAYJUM SURVEY, ABSTRACT NO. 364, COLLIN COUNTY, TEXAS

NOTES

- The purpose of this plat is to create 48 lots from an undivided tract of land, and to dedicate the portion of the tract shown in red to the City of Lucas, Texas, for use as a public park.
- The hour of recording is based on the date of the Texas State Plat Coordinate System, North Central Zone, North American Datum of 1983 (NAD83).
- All corners are 5/8" from rods with a plastic cap stamped "TKA" set unless otherwise noted.
- 5/8" iron rods with a plastic cap stamped "TKA" set 100 feet from all corners, within one-tenth inch.
- No lot shall have direct access to Country Club Road (F.M. 1379).
- The instrument's preparation shall be responsible for the maintenance of all easement points.
- The property is currently zoned R-3, and the proposed zoning is R-2.

FLOOD STATEMENT:

According to Community Plan No. 4983200601, dated June 2, 2009 of the National Flood Insurance Administration, this property is within "ZONE A" and is not subject to flooding or flood damage. On this occasion, greater flood risk can occur and flood damage may result from flooding or flood damage. This flood statement is not a warranty of flood risk liability on the part of the engineer.



PLATTING APPLICATION

- Applicant agrees to pay any and all monies due to the City including but not limited to Park Site fee, Tree Removal Permit fee, 3% of Construction cost (developer to provide contracts for verification) and including but not limited to other fees that may be required prior to final plat approval.
- Maintenance Bond for City Improvements, 2 year – 10% Bond to be verified by submitting contract.
- Construction as-built record drawings (mylar)
- Engineering construction test reports.
- Walk-through with Public Works personnel completed with satisfactory outcome.
- HOA (covenants, conditions & restrictions) documentation approved by City Attorney before submittal to Planning & Zoning.

By signing this application, staff is granted access to your property to perform work related to your case. I waive the statutory time limits in accordance with Texas Local Government Code, Section 212.

STATE OF TEXAS }
 COUNTY OF COLLIN }

BEFORE ME, a Notary Public, on this day personally appeared Neil Crouch the undersigned applicant, who, under oath, stated the following: "I hereby certify that I am the owner, or duly authorized agent of the owner, (**proof must be attached, e.g. "Power of Attorney"**) for the purposes of this application; that all information submitted herein is true and correct. I understand that submitting this application does not constitute approval, and incomplete applications will result in delays and possible denial."



Neil Crouch
 Owner / Agent (circle one)

SUBSCRIBED AND SWORN TO before me, this the 17 day of January, 2023
 Notary Public in and for the State of Texas: [Signature]

Official Use Only:	
Planning & Zoning: _____	Date: _____
City Council: _____	Date: _____
Applicant Withdrew: Yes or No	Date: _____
Applicant Made a Written Withdrawal: Yes or No	Date: _____



PLATTING APPLICATION

Name of Subdivision and/or Project: Hendrick Farm Addition

Items Submitted	Filing Fee
<input type="checkbox"/> Preliminary Plat	
▪ Single Family Residential Subdivision Development	
○ \$750 + \$5 per acre with 20 acres or less (i.e. \$850 for 20 acres) excluding minor plats of five (5) acres or less.	
○ \$750 + \$5 per acre with 21 - 30 acres (i.e. \$900 for 30 acres)	
○ \$800 + \$5 per acre with 31 - 45 acres (i.e. \$1,025 for 45 acres)	
○ \$900 + \$5 per acre with 46+ acres (i.e. \$1,130 for 46 acres)	
▪ Estate Residential Subdivision Development	
○ \$1,000 + \$7 per acre for all size parcels (i.e. \$1,140 for 20 acres)	
▪ Minor Plats	
○ \$500 + \$5 per acre with 5 acres or less (i.e. \$525 for 5 acres)	
▪ Non-residential District Plats	
○ \$800 + \$10 per acre with 30 acres or less	
○ \$850 + \$10 per acre with 31 - 45 acres	
○ \$950 + \$10 per acre with 46+ acres	
<input checked="" type="checkbox"/> Final Plat	\$1,320
▪ Single Family Residential Subdivision Development	
○ \$800 + \$5 per acre with 30 acres or less	
○ \$850 + \$5 per acre with 31 - 45 acres	
<input checked="" type="checkbox"/> \$950 + \$5 per acre with 46+ acres	\$950 + 74 ac x \$5/ac = \$1,320
<i>Any additional development fees will be charged at final plat rates.</i>	
▪ Estate residential Subdivision Development	
○ \$950 + \$7 per lot for all size parcels	
▪ Minor Plat	
○ \$350 + \$5 per acre with 5 acres or less	
▪ Non-residential District Plats	
○ \$850 + \$10 per acre for up to 30 acres	
○ \$900 + \$10 per acre with 31 - 45 acres	
○ \$1,000 + \$10 per acre with 46+ acres	
▪ Replat	
○ Minor Plat (5 acres or less) \$450 + \$5 per acre (\$475 for 5 acres)	
○ All others - \$600 + \$10 per acre	
▪ Amended Plat	
○ Minor Plats (5 acres or less) - \$300 + \$7 per acre (i.e. \$300 for an amended plat for 5 acres)	
○ All others - \$500 + \$10 per acre (i.e. \$700 for an amended plat for 20 acres)	
<input type="checkbox"/> Storm Water Run-Off Permit	
○ Developments 0-3 acres \$75	
○ Developments 4-10 acres \$150	
○ Developments 10+ acres \$500	
<input type="checkbox"/> Vacation of Plat	
○ \$500 + \$10 per acre	
<input type="checkbox"/> Concept Plan (Optional Land Study)	
○ \$150 per session with Planning & Zoning and/or City Council	
<input type="checkbox"/> Tree Survey/Conservation Plan	<u>No Fee</u>
<input type="checkbox"/> Tree Removal & Site Clearing Permit	
○ \$250	
<input type="checkbox"/> Park Site Dedication	
○ \$1,000 per lot or land dedication	
TOTAL	



PLATTING APPLICATION

Physical Location of Property: 1320 Country Club Road
(Address and general location – approximate distance to nearest existing street intersection)

Legal Description of Property: Peter Lucas Survey, Abs 537, John W Kirby Survey, Abs 506, James Grayum Survey, Abs 354
(Survey/ Abstract Number and Tracts/Platted Subdivision Name with Lots/Block – Must attach metes and bounds description)

Comprehensive Zoning Designation(s): R-2

Existing Zoning Designation(s): R-2

Description of Project Use: 34 single family lots

Acreeage: 73.43 ac Existing # of Lots/Tracts: 5

OWNERS NAME: Hendrick Farm Development, LLC Contact Number: (469) 522-4458
Applicant/Contact Person Dan Siciliano Title: Asset Manager
Company Name Hendrick Farm Development, LLC
Street Address 1605 LBJ Freeway, Suite 700, Dallas, TX 75234
Mailing Address 1605 LBJ Freeway, Suite 700, Dallas, TX 75234
Phone: (469) 522-4458 Fax: _____ Email: _____

OWNERS NAME: _____ Contact Number: _____
Applicant/Contact Person _____ Title: _____
Company Name _____
Street Address _____
Mailing Address _____
Phone: _____ Fax: _____ Email: dan.siciliano@lbig.com

ENGINEER REPRESENTATIVE: _____ Contact Number: (972) 770-3034
Applicant/Contact Person Matt Duenwald, P.E. Title: Project Manager
Company Name Kimley-Horn & Associates, Inc.
Street Address 13455 Noel Road, Two Office Tower, Suite 700, Dallas, TX 75240
Mailing Address 13455 Noel Road, Two Office Tower, Suite 700, Dallas, TX 75240
Phone: (972) 770-3034 Fax: _____ Email: matt.duenwald@kimley-horn.com

Read before signing below: If there is more than one property owner complete a separate sheet with the same wording as below. The City requires all original signatures. If applicant is other than the property owner a "Power of Attorney" with original, notarized signatures are required. (notaries are available)

ITEMS REQUIRED PRIOR TO FINAL PLAT APPROVAL:

ALL APPLICATIONS MUST BE COMPLETE, ACCOMPANIED BY THE APPLICABLE CHECKLIST AND TAX CERTIFICATE SHOWING TAXES PAID BEFORE BEING SCHEDULED ON THE P&Z AGENDA. It is the applicant's responsibility to be familiar with, and to comply with, all City submittal requirements (in the Zoning & Subdivision Ordinances, and any separate submittal policies, requirements and/or checklists that may be required from City staff), including the number of plans to be submitted, application fees, etc. Please contact City staff in advance for submittal requirements. Drawings will not be returned to applicant.

ALL PARCELS/PROPERTIES MUST MATCH IN ACREAGE ALL OTHER DOCUMENTS SUBMITTED WITH NO AMBIGUITY.

SUBMISSIONS: Failure to submit all materials to the City with this application will result in delays scheduling the agenda date.

NOTICE OF PUBLIC RECORDS: The submission of plans/drawings with this application makes such items public record, and the applicant understands that these items may be viewed by the public unless they are copyrighted.



FINAL PLAT

Minimum Requirements Checklist

Project Name Hendrick Estates Preparer CJ Hitch

This checklist is provided to assist you in addressing the minimum requirements for final plat submission. An application is incomplete unless all applicable information noted below is submitted to the Development Services Department. Confirm that all information is included on the submitted plans by checking the box next to the required information. **Checking the box certifies to the City that you have completely and accurately addressed the issue.**

This completed form must be returned at the time of application submittal. If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead with sufficient details as to allow a determination by the appropriate approving body. Additional information may be required. Reference the specific requirement. All exception/modification requests must also be specifically listed on the plans.

Plans are expected to be submitted complete in all detail as included by the checklist. Should plans be determined to be incomplete, they may either be returned to the applicant without further review or marked up with needed changes. **If a preliminary plat was not required, a Tree Survey/Preservation Plan is required as part of the submittal requirements with and at the time of submittal of the final plat. Refer to the Development Plan Application for the needed application and checklist.**

Items to be Included:

- All information required for a Preliminary Plat.
- Record drawings, construction plans including one set of mylars and a digital copy in DWG or DGN format, and two sets of bluelines, where applicable.
- All information required for a preliminary plat.
- The improvement agreement and security if required, in a form satisfactory to the city attorney and in an amount established by the city council upon recommendation of the city engineer and shall include a provision that the owner shall comply with all the terms of the final plat approval as determined by the commission.
- Formal irrevocable offers of dedication to the public of all streets, alleys, utilities, easements and parks in a form approved by the city attorney.
- An owner may, at the discretion of the commission, obtain approval of a phase of a subdivision for which a preliminary plat was approved provided such phase meets all the requirements of this article in the same manner as is required for a complete subdivision.
- If applicable, copy of agreements, covenants and restrictions establishing and creating the homeowners' association approved by the commission based on recommendation of the city attorney.
- I have made the decision NOT to waive the statutory time limits (30 days) in accordance with section 212 of the Texas Local Government Code. I understand and acknowledge that the City may DENY my Plat Application if not complete as determined by staff within the 30-day time period.
- Location map clearly showing the location of the proposed final Plat with cross streets is included. Indicate scale or not to scale (NTS) and provide north arrow.
- Written and bar graph scale and north arrow are indicated. North shall be oriented to the top or left side of the sheet.
- Abstract lines, survey lines, corporate boundaries are shown and clearly labeled.
- A title block is provided in the lower right corner that includes large, boldly printed (SUBDIVISION NAME)
FINAL PLAT (or REPLAT, AMENDING PLAT, MINOR PLAT as applicable)
LOT(S) _____, BLOCK(S) _____
(survey, abstract and tract number)
If a replat, include:
REPLAT OF LOT(S) _____, BLOCK(S) _____
- The owner and surveyor's name, address and phone number, gross and net areas as applicable, submission date, and a log of submittal/revision dates since submitted to the City.



FINAL PLAT Minimum Requirements Checklist

- Location of property lines, owner or subdivision name(s) and recording information of abutting properties is shown.
- Abutting properties are indicated by a light solid line.
- Existing boundary of street rights-of-way adjacent to the property and boundaries of right-of-way dedication are indicated by a medium weight solid line, intermittent with two dashed lines, and widths are dimensioned.
- Existing and proposed internal alleys and streets ROW are indicated by a medium weight solid line, intermittent with two dashed lines.
- Streets are named and ROW dimensioned.
- Streets and alleys ROW within 200 feet of the subject property boundary are accurately located, dimensioned, and named/labeled.
- Residential minor streets shall be designed and platted so that no street segment shall have a straight line for more than 1,000 feet before altering its course by at least 20 degrees.
- The length and bearing of all straight lines, radii, arc lengths, tangent length and central angles of all curves are indicated along the lines of each lot. The curve data pertaining to block or lot boundary may be placed in a curve table at the base of the plat and prepared in a tabular form with the following information:
 - Curve number
 - Delta
 - Radius
 - Tangent length
 - Tangent offset
 - Arc length
 - Chord
- The description and location of all survey monuments placed in the subdivision or immediately adjacent to it are shown.
- In all subdivisions, corners are established at the corner of each block in the subdivision consisting of an iron rod or pipe not less than three-quarter inches (3/4") in diameter and twenty-four inches (24") deep, flush with the top of the sidewalk or other paving, surface, etc. All lot corners shall be installed prior to the final inspection of the subdivision.
- Lot corner monuments are placed at all lot corners except corners which are also block corners, consisting of iron rods or pipes of a diameter of not less than one-half inch (1/2") and eighteen inches (18") deep set flush with the top of the sidewalk. All lot corners shall be installed prior to the final inspection of the subdivision.
- Curve point markers are established using the same specifications as lot corners. All lot corners shall be installed prior to the final inspection of the subdivision.
- Internal lot lines are clearly indicated and shown to scale.
- Each lot is dimensioned with bearings and distances, as applicable, and the square footage of each lot is indicated.
- Each lot is numbered, and block groups are assigned a letter.
- The location of flood plain boundaries and state or federally protected areas, such as wetlands, are indicated.
- Existing easements are indicated by a light, dashed line and labeled indicating dimension, purpose, and County recording information.
- Proposed easements are indicated by a medium weight, dashed line and labeled indicating dimension and purpose.
- Required cross access or ingress/egress easements are shown, dimensioned, labeled, and properly tied down.
- Existing zoning of the subject property is indicated.
- Location and area of parks, drainage ways, and open space is indicated. Open space/Homeowner's Association (HOA) areas are to be labeled with tract number/s.
- A legal description/metes and bounds description is included.
- Include any notes required by the various affected agencies/utilities.
- Sites to be reserved or dedicated for parks, playgrounds and/or other private or public use are indicated.
- A note is included that states whether or not the property is in the 100-year flood plain, with the F.I.R.M. Community Panel reference number and map date indicated.



FINAL PLAT Minimum Requirements Checklist

- Applicable notes have been added to the plat. Any change from the wording shown herein shall be approved by the City of Lucas.
- The Improvement Agreement and security, if required, in a form satisfactory to the City Attorney and in an amount established by the City Council upon recommendation of the City Engineer and should include a provision that the owner will comply with all the terms of the final plat approval as determined by the Commission.
- At the discretion of the Commission, obtain approval of a phase of a subdivision for which a Preliminary Plat was approved provided such phase meets all the requirements of the subdivision ordinance.
- Copy of agreements, covenants and restrictions establishing and creating the homeowners’ association approved by the Commission based on recommendation of the City Attorney. (if applicable)
- The purpose of a Replat or Amending Plat is specifically noted on the face of the drawing.
- Homeowner Association Covenants, Conditions, and Restrictions (CCR’s) are submitted for review and include statements for perpetual maintenance and provisions for maintenance by City of Lucas should the homeowner’s association (HOA) dissolve.
- The Improvement Agreement and security, if required, in a form satisfactory to the City Attorney and in an amount established by the City Council upon recommendation of the City Engineer and should include a provision that the owner will comply with all the terms of the final Plat approval as determined by the Commission.
- The following certificates shall be placed on the final plat in a manner that will allow them to be clearly visible on the final plat.

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF LUCAS, TEXAS, ON THE
 _____ DAY OF _____, _____.

ATTEST:

 Chairperson, Planning and Zoning Commission

 Zoning Secretary

“APPROVED FOR PREPARATION OF FINAL PLAT”

 Chairman, City of Lucas Date
 Planning and Zoning Commission

 Development Services Director Date

 Director of Public Works Date

CIVIL CONSTRUCTION PLANS PAVING, GRADING & UTILITIES

FOR

HENDRICK FARM

CITY OF LUCAS, COLLIN COUNTY, TEXAS

APPROVED
CITY OF LUCAS
CITY ENGINEER DATE
2-10-22

PLAN SUBMITTAL/REVIEW LOG

DATE	DESCRIPTION
03/02/18	1ST SUBMITTAL TO CITY
04/30/18	2ND SUBMITTAL TO CITY
05/14/2018	3RD SUBMITTAL TO CITY
06/09/2021	4TH SUBMITTAL TO CITY
10/09/2021	5TH SUBMITTAL TO CITY
12/15/2021	6TH SUBMITTAL TO CITY
01/11/2022	7TH SUBMITTAL TO CITY

ENGINEER

Kimley»Horn

18455 NOEL ROAD
DALLAS, TEXAS 75224
TEL (972) 775-1300
CONTACT: SARAHLE SCOTT, P.E.

OWNER/DEVELOPER

HENDRICK FARM, LLC
800 CENTRAL PARKWAY EAST, SUITE 100
PLANO, TEXAS 75074
TEL (972) 420-2100
CONTACT: ROYLEDGE HAGGARD



Know what's below.
Call before you dig.



VICINITY MAP
N.T.S.

JANUARY 2022

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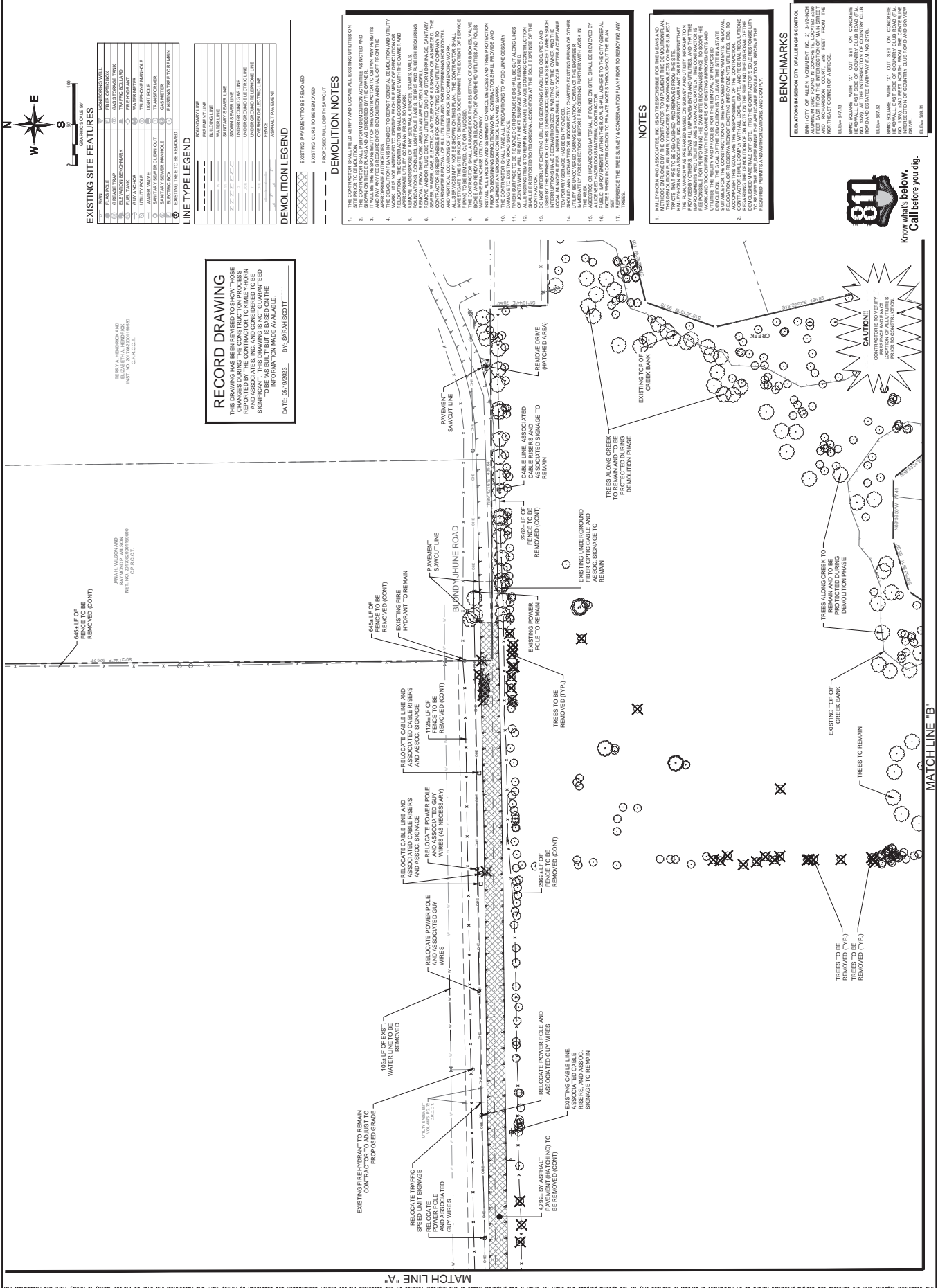
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RECORD DRAWING
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DATE: 02/03/22 BY: SARAHLE SCOTT



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1365 ROSEL ROAD, SUITE 700, DALLAS, TX 75246
WWW.KIMLEY-HORN.COM
TEKAS REGISTERED ENGINEERING FIRM #28

NO.	REVISIONS	DATE	BY



DEMOLITION NOTES

- THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
- SHOW ALL EXISTING UTILITIES AS NOTED ON THIS PLAN AND AS DIRECTED BY THE OWNER, ASSIGNED AND APPROPRIATE AGENCY, AND ANY FEES REQUIRED FOR DEMOLITION AND/OR REMOVAL FROM THE CITY OF LUCAS.
- THE DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF LUCAS ORDINANCE 10.01.01. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ALL AGENCIES INVOLVED IN THE DEMOLITION PROCESS.
- REMOVING AND/OR DESTROYING ANY STRUCTURES, WALLS, FENCES, SIGNAGE, OR OTHER ITEMS SHALL BE IN ACCORDANCE WITH THE CITY OF LUCAS ORDINANCE 10.01.01. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LUCAS.
- ALL EXISTING UTILITIES SHALL BE PROTECTED AND NOT DAMAGED DURING DEMOLITION. IF ANY UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE THEM AT HIS OWNERS RISK.
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NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LUCAS AND ANY AGENCIES INVOLVED IN THE DEMOLITION PROCESS.
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BENCHMARKS

- REVISIONS BASED ON CITY OF LUCAS PERMITS:
- MARKER 1: 1" X 1" SET ON CONCRETE
 - MARKER 2: 1" X 1" SET ON CONCRETE
 - MARKER 3: 1" X 1" SET ON CONCRETE
 - MARKER 4: 1" X 1" SET ON CONCRETE
 - MARKER 5: 1" X 1" SET ON CONCRETE
 - MARKER 6: 1" X 1" SET ON CONCRETE
 - MARKER 7: 1" X 1" SET ON CONCRETE
 - MARKER 8: 1" X 1" SET ON CONCRETE
 - MARKER 9: 1" X 1" SET ON CONCRETE
 - MARKER 10: 1" X 1" SET ON CONCRETE
 - MARKER 11: 1" X 1" SET ON CONCRETE
 - MARKER 12: 1" X 1" SET ON CONCRETE
 - MARKER 13: 1" X 1" SET ON CONCRETE
 - MARKER 14: 1" X 1" SET ON CONCRETE
 - MARKER 15: 1" X 1" SET ON CONCRETE
 - MARKER 16: 1" X 1" SET ON CONCRETE
 - MARKER 17: 1" X 1" SET ON CONCRETE
 - MARKER 18: 1" X 1" SET ON CONCRETE
 - MARKER 19: 1" X 1" SET ON CONCRETE
 - MARKER 20: 1" X 1" SET ON CONCRETE

RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES THAT HAVE BEEN MADE TO THE ORIGINAL DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LUCAS AND ANY AGENCIES INVOLVED IN THE DEMOLITION PROCESS.

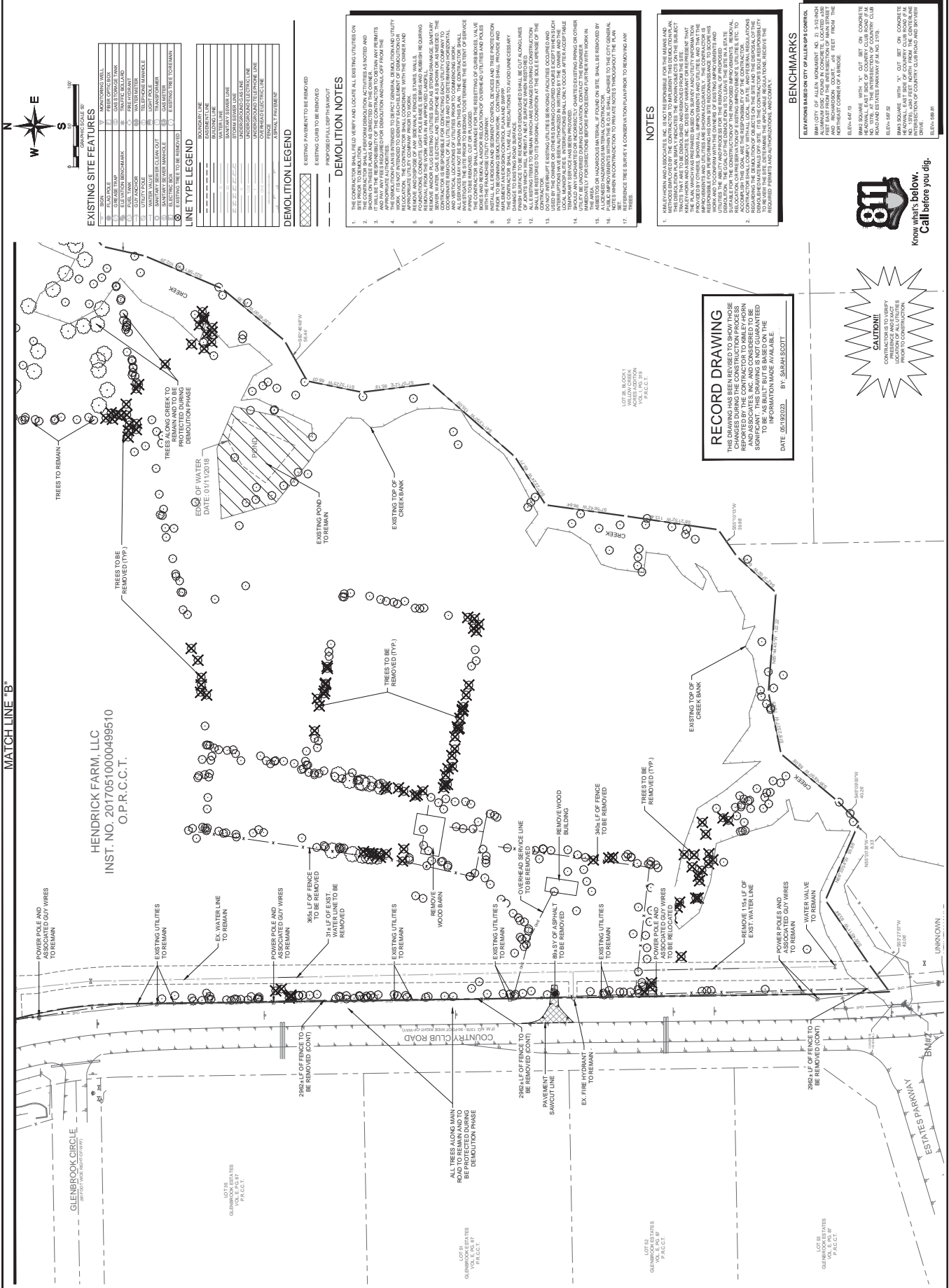
EXISTING SITE FEATURES

NO.	DESCRIPTION
1	BLUNDY/HUNE ROAD
2	BLUNDY CREEK
3	WATER LINE
4	STORM SEWER LINE
5	GAS LINE
6	TELEPHONE LINE
7	UTILITY POLE
8	EXISTING FENCE
9	EXISTING SIGNAGE
10	EXISTING TREES
11	EXISTING ASPHALT
12	EXISTING CONCRETE
13	EXISTING STRUCTURES
14	EXISTING UTILITIES
15	EXISTING EROSION CONTROL
16	EXISTING DRAINAGE
17	EXISTING LANDSCAPE
18	EXISTING FURNITURE
19	EXISTING LIGHTING
20	EXISTING PAINT
21	EXISTING SURFACING
22	EXISTING CURBS
23	EXISTING DRIVEWAYS
24	EXISTING SIDEWALKS
25	EXISTING STAIRS
26	EXISTING RAMP
27	EXISTING ELEVATION
28	EXISTING DRAINAGE
29	EXISTING EROSION CONTROL
30	EXISTING LANDSCAPE
31	EXISTING FURNITURE
32	EXISTING LIGHTING
33	EXISTING PAINT
34	EXISTING SURFACING
35	EXISTING CURBS
36	EXISTING DRIVEWAYS
37	EXISTING SIDEWALKS
38	EXISTING STAIRS
39	EXISTING RAMP
40	EXISTING ELEVATION
41	EXISTING DRAINAGE
42	EXISTING EROSION CONTROL
43	EXISTING LANDSCAPE
44	EXISTING FURNITURE
45	EXISTING LIGHTING
46	EXISTING PAINT
47	EXISTING SURFACING
48	EXISTING CURBS
49	EXISTING DRIVEWAYS
50	EXISTING SIDEWALKS
51	EXISTING STAIRS
52	EXISTING RAMP
53	EXISTING ELEVATION
54	EXISTING DRAINAGE
55	EXISTING EROSION CONTROL
56	EXISTING LANDSCAPE
57	EXISTING FURNITURE
58	EXISTING LIGHTING
59	EXISTING PAINT
60	EXISTING SURFACING
61	EXISTING CURBS
62	EXISTING DRIVEWAYS
63	EXISTING SIDEWALKS
64	EXISTING STAIRS
65	EXISTING RAMP
66	EXISTING ELEVATION
67	EXISTING DRAINAGE
68	EXISTING EROSION CONTROL
69	EXISTING LANDSCAPE
70	EXISTING FURNITURE
71	EXISTING LIGHTING
72	EXISTING PAINT
73	EXISTING SURFACING
74	EXISTING CURBS
75	EXISTING DRIVEWAYS
76	EXISTING SIDEWALKS
77	EXISTING STAIRS
78	EXISTING RAMP
79	EXISTING ELEVATION
80	EXISTING DRAINAGE
81	EXISTING EROSION CONTROL
82	EXISTING LANDSCAPE
83	EXISTING FURNITURE
84	EXISTING LIGHTING
85	EXISTING PAINT
86	EXISTING SURFACING
87	EXISTING CURBS
88	EXISTING DRIVEWAYS
89	EXISTING SIDEWALKS
90	EXISTING STAIRS
91	EXISTING RAMP
92	EXISTING ELEVATION
93	EXISTING DRAINAGE
94	EXISTING EROSION CONTROL
95	EXISTING LANDSCAPE
96	EXISTING FURNITURE
97	EXISTING LIGHTING
98	EXISTING PAINT
99	EXISTING SURFACING
100	EXISTING CURBS

MATCH LINE "A" | MATCH LINE "B"



Table with columns: No., REVISIONS, DATE, BY

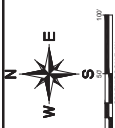


BENCHMARKS table listing benchmarks such as BM LOT 10 OF ALLEN MONUMENT and BM SQUARE WITH 'X' CUT SET ON CONCRETE.

- NOTES: 1. KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE DEMOLITION PLAN... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND AUTHORIZATIONS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND ADJACENT PROPERTIES...

- DEMOLITION NOTES: 1. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND AUTHORIZATIONS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND ADJACENT PROPERTIES...

EXISTING SITE FEATURES table listing features like 1. MAIN BUILDING WALL, 2. DRIVE DRIVEWAY, 3. DRIVE DRIVEWAY, etc.



RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS... DATE: 06/19/2025 BY: SARAH SCOTT

91616161 04/21/2025 James Date: 06/19/2025 01:47:35pm File Path: \\D:\Projects\2024\042125-14616161-Hendrick Farm\CDM\Plan\Sheet3\3-Demo Plan.dwg Plot Date: 06/19/2025 01:47:35pm

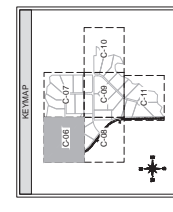
DATE: JANUARY 2022
SCALE: AS SHOWN
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DRAWN BY: MSM
CHECKED BY: SES



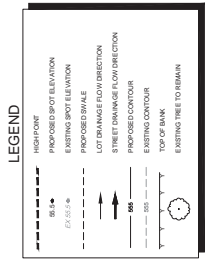
Kimley-Horn
TEXAS REGISTERED ENGINEERING FIRM # F-2928
WWW.KIMLEY-HORN.COM
1945 N. HORN ROAD, SUITE 700, DALLAS, TX 75240
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NO.	REVISIONS	DATE	BY
1	ADDED BERM GRADINGS	05/10/2022	CFM

BENCHMARKS
ELEVATIONS BASED ON CITY OF ALLEN GPS CONTROL.
BENCHMARK OF ALLEN MONUMENT NO. 2, 3.02 HIGH
FEET EAST FROM THE INTERSECTION OF MAIN STREET
AND 11TH STREET, 11TH STREET FROM THE
NORTHWEST CORNER OF A BRIDGE.
ELEVATION: 813.13
BENCHMARK WITH "C" CUT SET ON CONCRETE
MONUMENT AT THE INTERSECTION OF COUNTRY CLUB
ROAD AND SKYLINE DRIVE.
ELEVATION: 812.25
BENCHMARK WITH "X" CUT SET ON CONCRETE
MONUMENT WEST SIDE OF COUNTRY CLUB ROAD AT
INTERSECTION OF COUNTRY CLUB ROAD AND SKYLINE
DRIVE.
ELEVATION: 808.81

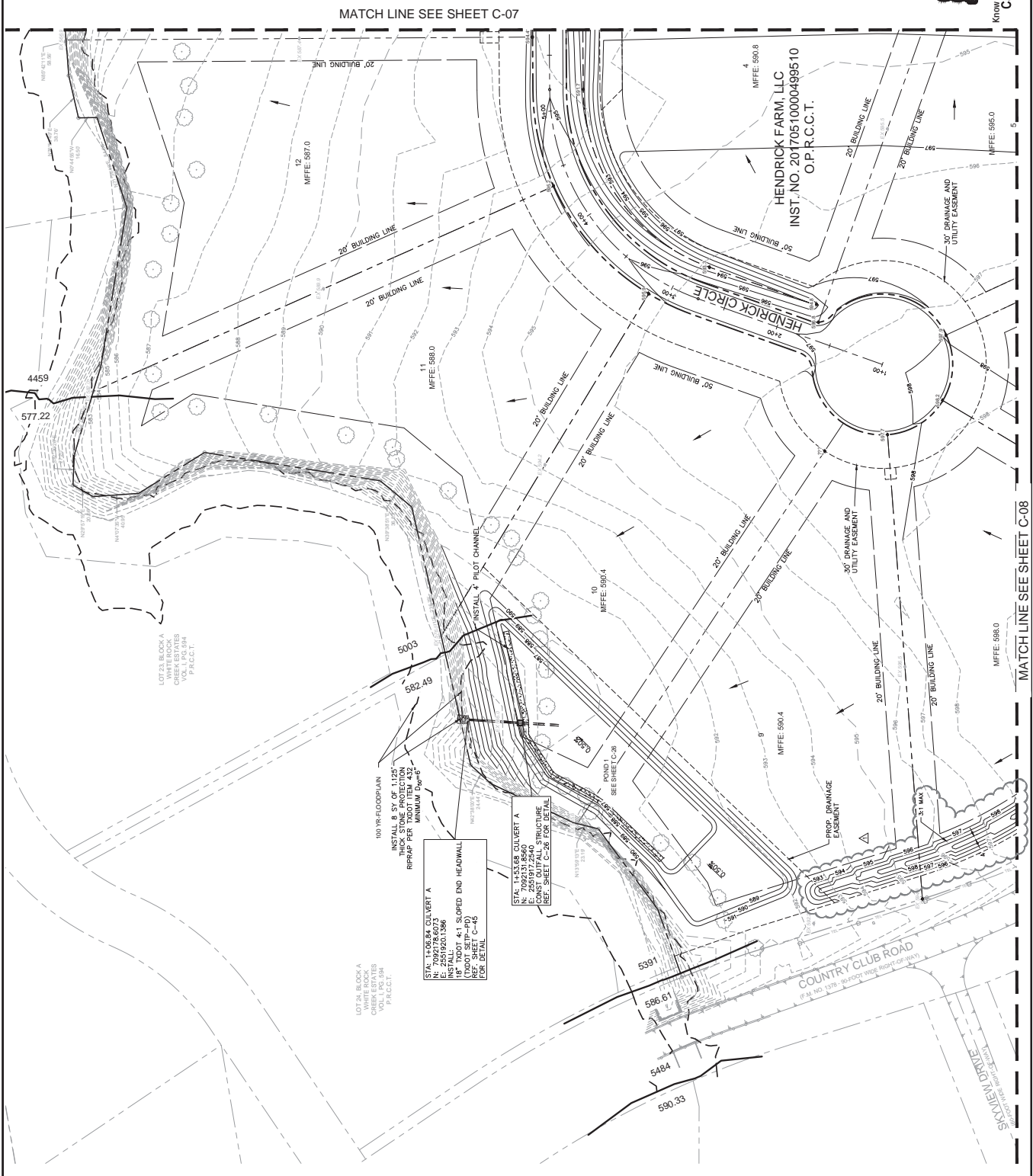
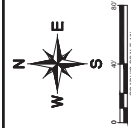


RECORD DRAWING
THIS DRAWING HAS BEEN ISSUED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS WHICH ARE NOT SHOWN ON THIS DRAWING. SUCH CHANGES SHALL BE MADE BY THE CONTRACTOR AND ASSOCIATES, INC. AND CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION MADE AVAILABLE.
DATE: 05/19/2023 BY: SARAH SCOTT



GRADING GENERAL NOTES

- CONTRACTOR SHALL CUT & BEND BACK OF CURB TO SURFACE ELEVATION.
- NOTES TO THE CONTRACTOR: ALL GRADING SHALL BE TO THE FINISHED ELEVATION UNLESS OTHERWISE NOTED.
- PROPOSED CONTOURS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR TO USE SPOT ELEVATIONS FOR GRADING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND STRUCTURES. GENERAL NOTES MUST BE CONSIDERED TO PREVENT ANY DISCREPANCIES THROUGHOUT THE PLAN SET.
- SEE SPECIFICATIONS FOR CULVERT PLAN AND PROFILES.
- SEE SPECIFICATIONS FOR DETENTION POND CALCULATIONS.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND STRUCTURES. CONTRACTOR TO MAINTAIN THE HOME BUILDER TO INSURE THAT ALL UTILITIES ARE MAINTAINED TO THE PROPER DEPTH AND LOCATION.



This document, together with the drawings and designs presented herein, is prepared for the specific project and shall not be used for any other project without the written authorization and approval of Kimley-Horn and Associates, Inc. The Engineer, together with the drawings and designs presented herein, is prepared for the specific project and shall not be used for any other project without the written authorization and approval of Kimley-Horn and Associates, Inc.

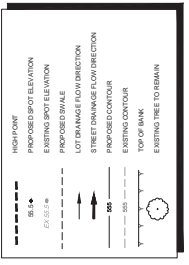
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DESIGNED BY: CRA
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DATE: JANUARY 2022
RMA PROJECT: 5103080010



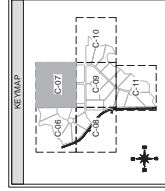
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WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM # 2828

NO.	REVISIONS	DATE

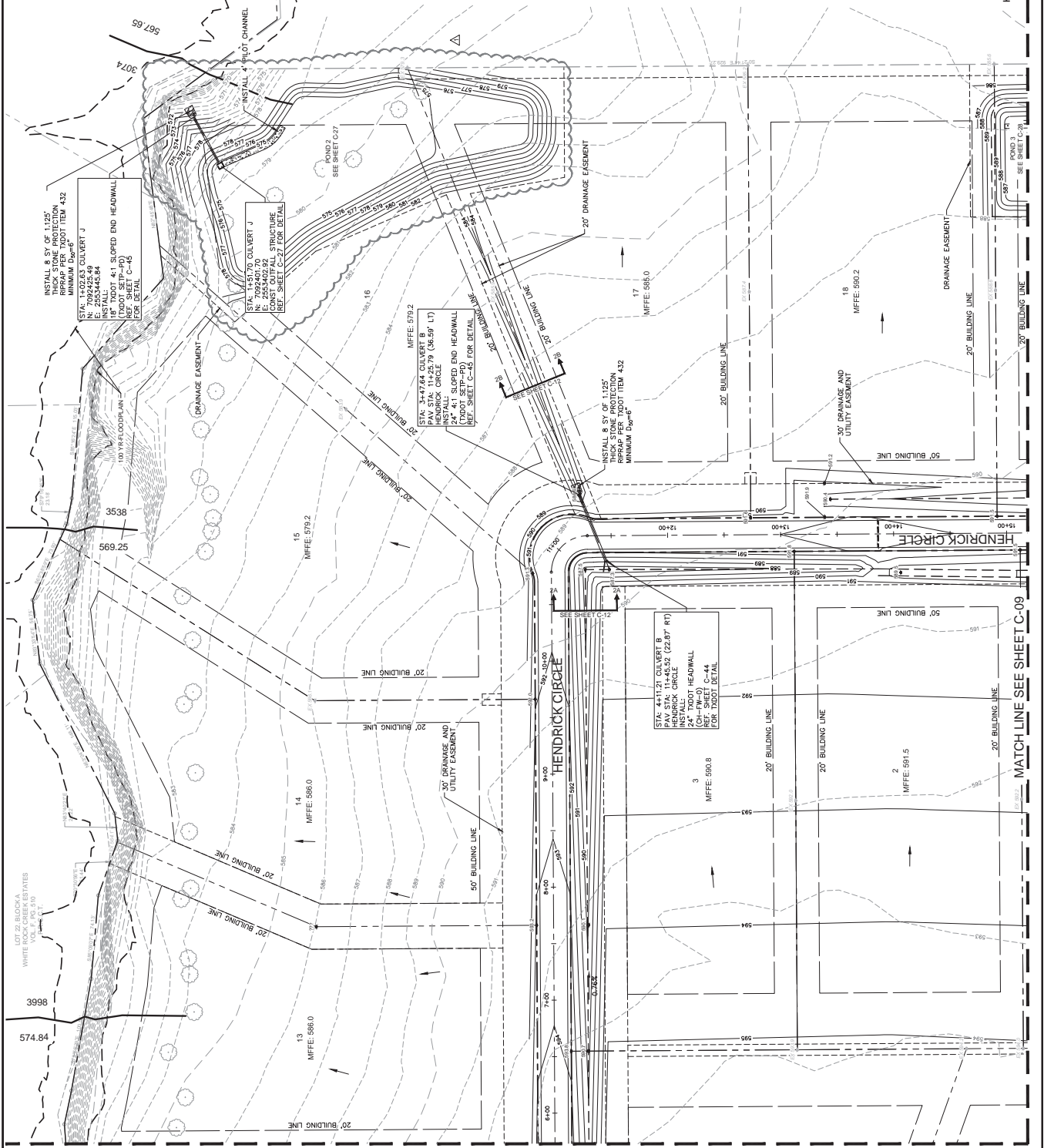
- GRADING GENERAL NOTES**
- CONTRACTOR SHALL CITY BENCHMARK OF GATE TO BURNHAM ELEVATION NOTED
 - ALL SLOPES TOWARD BURNHAM GROUND ARE TO BE 4:1 UNLESS OTHERWISE NOTED
 - PROPOSED CONTOURS SHOW ARE FOR REFERENCE ONLY - CONTRACTOR TO VERIFY FIELD CONDITIONS
 - PUBLIC AND PRIVATE WITHIN THE 10:00 SHALL ADHERE TO THE CITY GENERAL NOTES WHEN RECONSTRUCTION TO PRIVATE NOTES THROUGHOUT
 - SEE SHEET C-06 FOR DRAINAGE AND UTILITY NOTES
 - SEE SHEET C-04 FOR DRAINAGE AND UTILITY NOTES
 - HOME BUILDER SHALL INSTALL DRAINAGE CALCULATORS AT THE TOP OF CURBS TO COLLECT WATER
 - SEE SHEET C-06 FOR DRAINAGE AND UTILITY NOTES



RECORD DRAWING
THIS DRAWING HAS BEEN RE-DESIGNED TO SHOW THOSE REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR SHALL BE RESPONSIBLE TO BE "AS BUILT" BUT IS BASED ON THE INFORMATION PROVIDED TO US.
DATE: 06/19/2023 BY: SARAH SCOTT



BENCHMARKS
ELEVATIONS BASED ON CITY OF ALLEN GPS CONTROL.
BENCHMARK OF ALLEN MONUMENT NO. 29, 3.02 HIGHER FEET EAST FROM THE INTERSECTION OF MAIN STREET AND NORTH STREET, ALLEN, TEXAS. UTM ZONE 17T, NORTHING CORNER OF A BRIDGE.
ELEVATION: 13
BENCHMARK WITH "X" CUT SET ON CONCRETE MONUMENT. NO. 29, AT THE INTERSECTION OF COUNTRY CLUB AND MAIN STREET, ALLEN, TEXAS.
ELEVATION: 13
BENCHMARK WITH "X" CUT SET ON CONCRETE MONUMENT. NO. 29, AT THE INTERSECTION OF COUNTRY CLUB AND MAIN STREET, ALLEN, TEXAS.
ELEVATION: 13



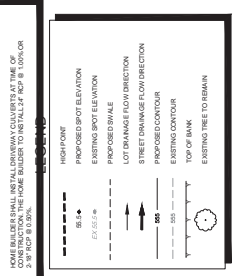
MATCH LINE SEE SHEET C-06 (Left) / MATCH LINE SEE SHEET C-09 (Right)

DATE: JANUARY 2022
SCALE: AS SHOWN
DESIGNED BY: CRA
DRAWN BY: MSM
CHECKED BY: SES
RMA PROJECT: 19465 NOKEL ROAD, SUITE 700, DALLAS, TX 75240
PHONE: 214.750.3000
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM # 2928

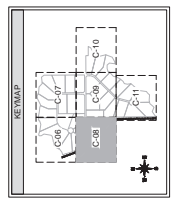


NO.	REVISIONS	DATE	BY
1	ADDED BERM GRADINGS	05/10/2022	CFM

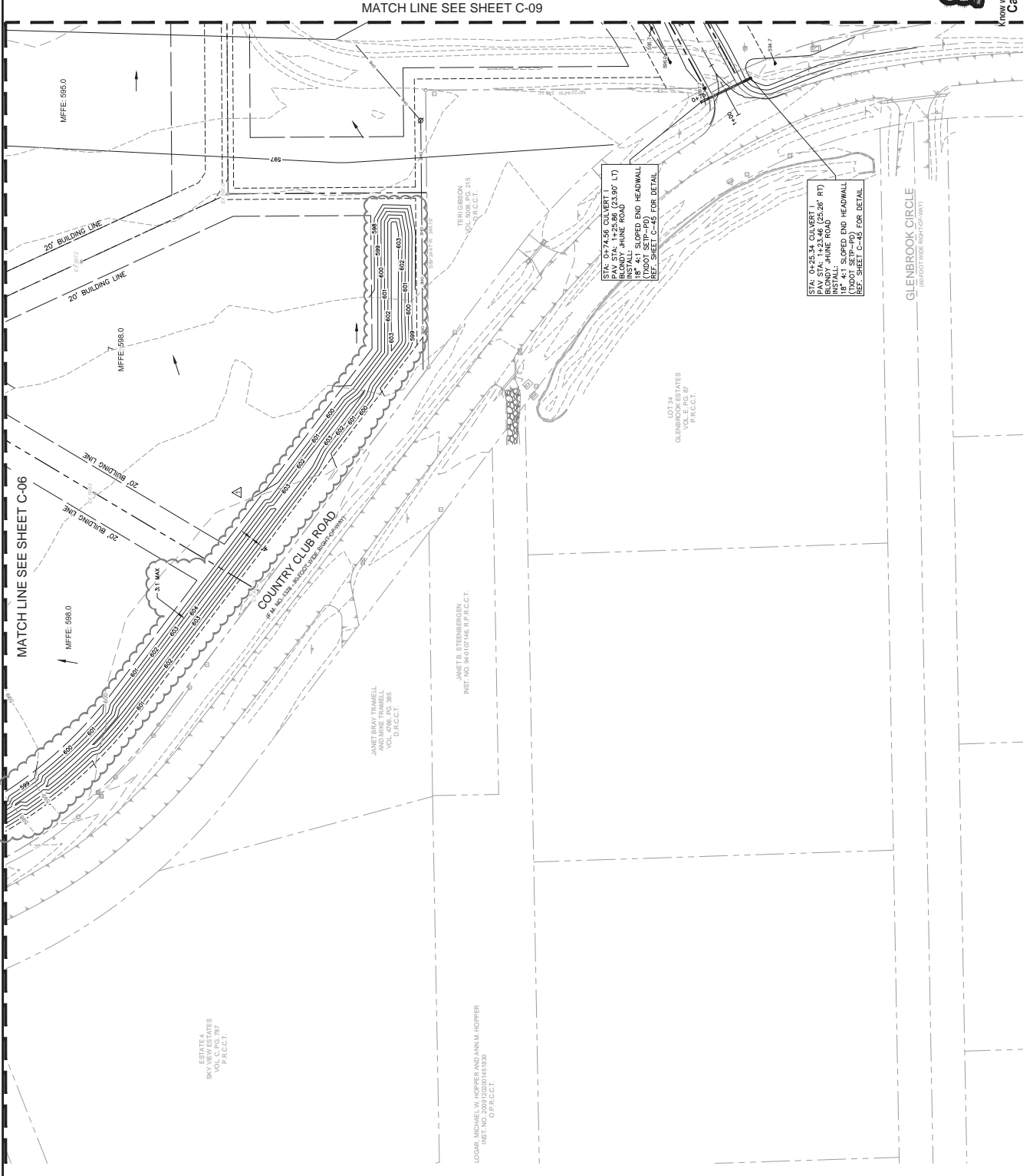
- GRADING GENERAL NOTES**
- CONTRACTOR SHALL OBTAIN BENCHMARK DATA TO DETERMINE ELEVATION
 - ALL SLOPES TOWARD NEARBY DRAINAGE ARE TO BE 4:1 MAX UNLESS OTHERWISE NOTED
 - PROPOSED CONTOURS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ELEVATIONS AND SLOPES IN THE FIELD AND SHALL ADJUST TO THE CITY ORIGINAL NOTES WHEN IN CONSTRUCTION TO PRIVATE NOTES THROUGHOUT
 - PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED PRIOR TO CONSTRUCTION
 - SEE SHEET C-07 FOR DETERMINATION POINT CALCULATIONS
 - HOME BUILDER SHALL INSTALL DRAINAGE CULVERTS AT TIME OF CONSTRUCTION
 - HOME BUILDER SHALL INSTALL DRAINAGE CULVERTS AT TIME OF CONSTRUCTION



RECORD DRAWING
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DATE: 05/19/2022 BY: JEROME SCOTT



- BENCHMARKS**
- ELEVATION BASED ON CITY OF ALLEN GPS CONTROL
- MARKERS: ALLEN MONUMENT NO. 2, 3.02' HIGH
NO. 10, 1.50' HIGH
NO. 11, 1.50' HIGH
NO. 12, 1.50' HIGH
NO. 13, 1.50' HIGH
NO. 14, 1.50' HIGH
NO. 15, 1.50' HIGH
NO. 16, 1.50' HIGH
NO. 17, 1.50' HIGH
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NO. 91, 1.50' HIGH
NO. 92, 1.50' HIGH
NO. 93, 1.50' HIGH
NO. 94, 1.50' HIGH
NO. 95, 1.50' HIGH
NO. 96, 1.50' HIGH
NO. 97, 1.50' HIGH
NO. 98, 1.50' HIGH
NO. 99, 1.50' HIGH
NO. 100, 1.50' HIGH



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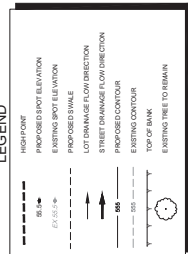
Kimley-Horn & Associates, Inc. 1365 N. ROAD, SUITE 700, DALLAS, TX 75240

Table with columns: NO., DATE, REVISIONS

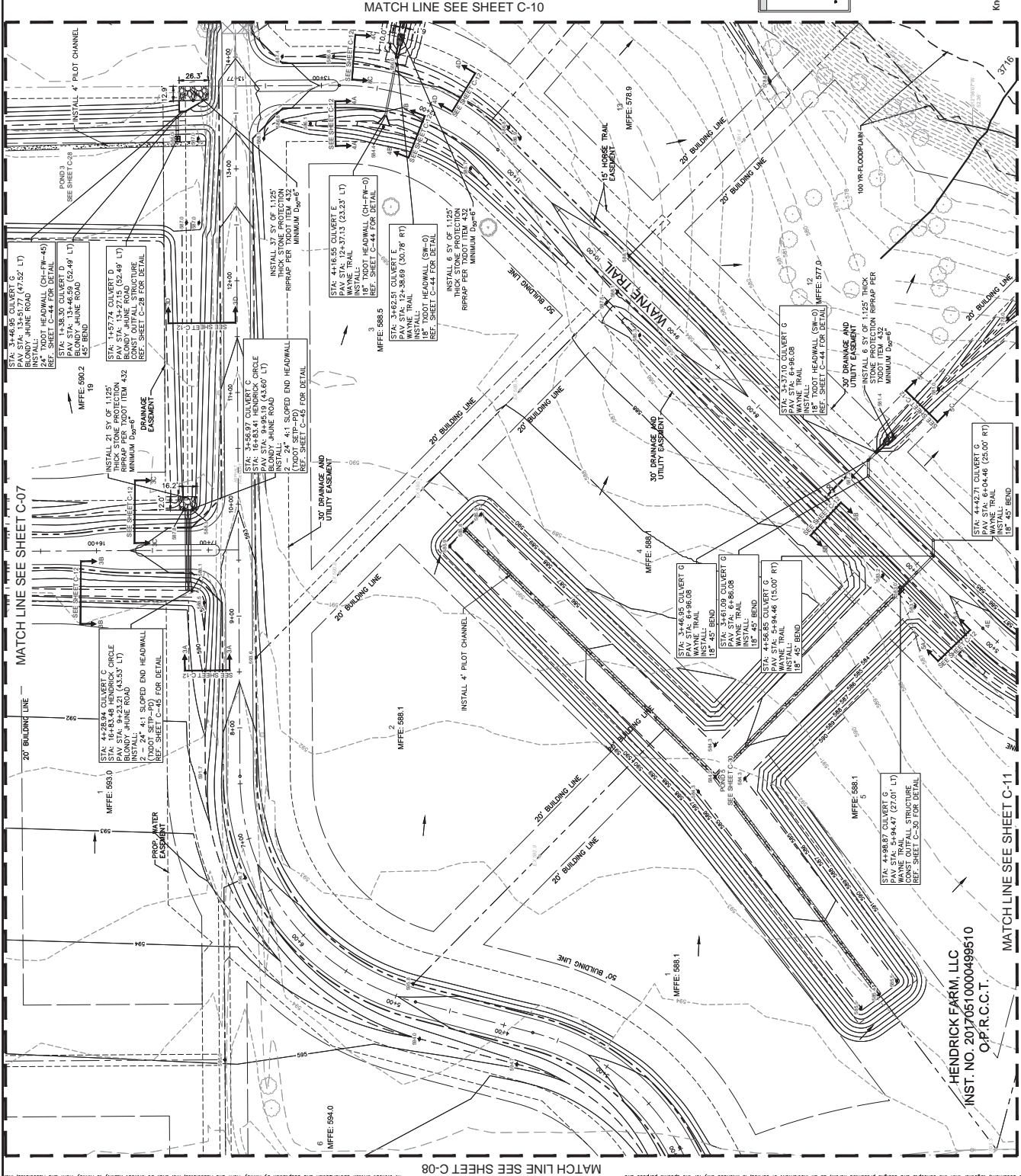
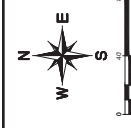
BENCHMARKS ELEVATIONS BASED ON CITY OF ALLEN GPS CONTROL... HENDRICK FARM... HENDRICK FARM, LLC INST. NO. 20170510000499510 O.P.R. C.C.T.



RECORD DRAWING THIS DRAWING HAS BEEN REVIEWED TO SHOW THAT IT ACCURATELY REPRESENTS THE WORK TO BE CONSTRUCTED... DATE: 02/20/2022 BY: SMOOT/SCOTT

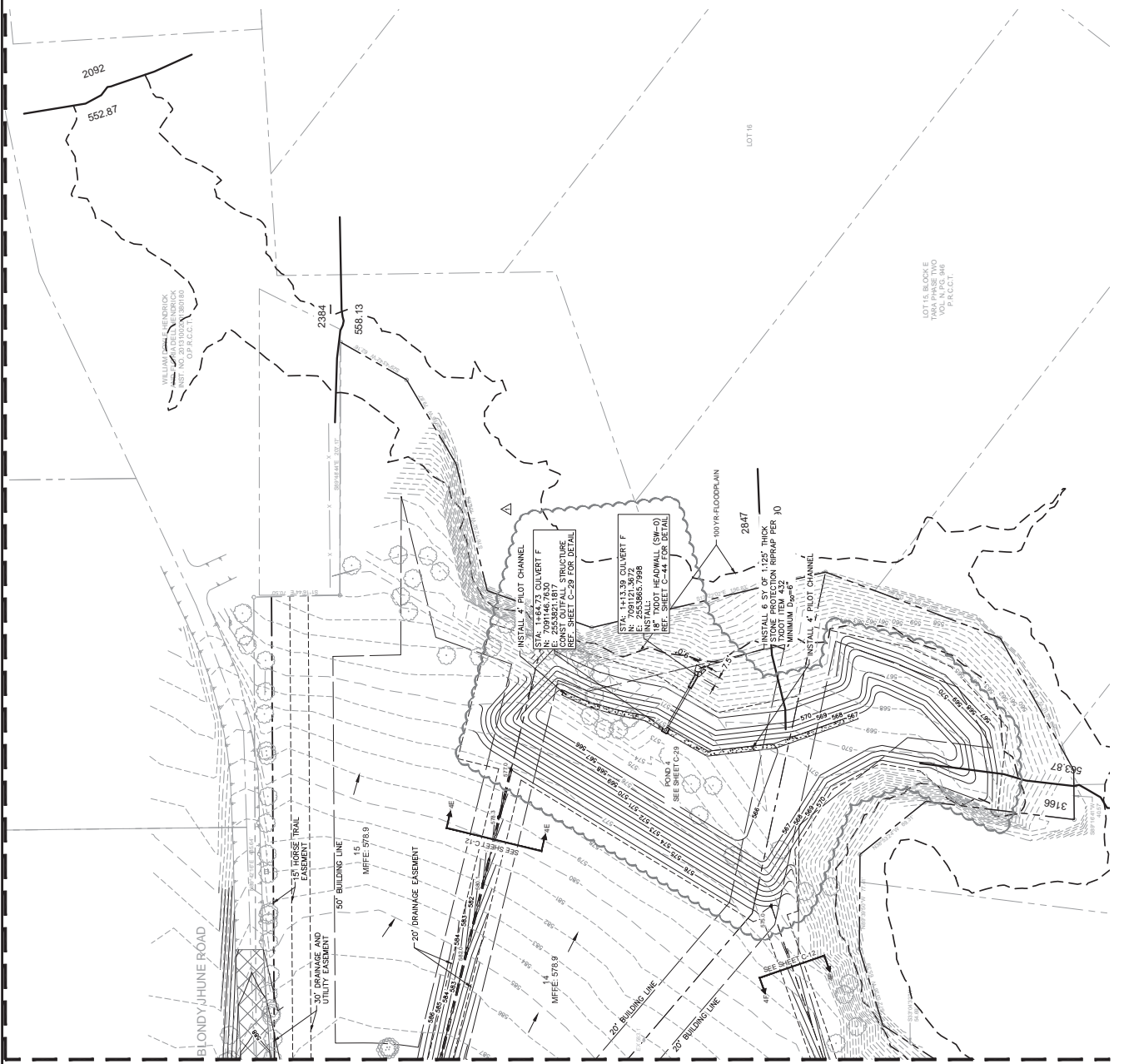


GRADING GENERAL NOTES 1. CONTRACTOR SHALL CUT TO FINISH GRADE TO MATCH SURFACE ELEVATION... 2. ALL SLOPES TO MATCH SURFACE GROUND ARE TO BE 4:1 UNLESS OTHERWISE NOTED...



MATCH LINE SEE SHEET C-08 MATCH LINE SEE SHEET C-10 MATCH LINE SEE SHEET C-11

HENDRICK FARM, LLC INST. NO. 20170510000499510 O.P.R. C.C.T.





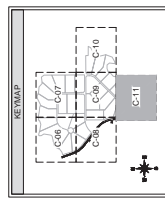
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KIMLEY-HORN AND ASSOCIATES, INC.
1365 NOEL ROAD, SUITE 700, DALLAS, TX 75240
WWW.KIMLEY-HORN.COM
TEKAS REGISTERED ENGINEERING FIRM # 282

No.	REVISIONS	DATE	BY

BENCHMARKS
ELEVATIONS BASED ON CITY OF LUCAS GPR CONTROL.
BENCHMARK OF ALLEN MONUMENT NO. 23, 3.302 HIGHS
FEET EAST FROM THE INTERSECTION OF MAIN STREET AND
NORTH STREET, INTERSECTION OF MAIN STREET AND
NORTH STREET CORNER OF A BRIDGE.
ELEVATION: 517.70
ELEVATION: 517.70
ELEVATION: 517.70

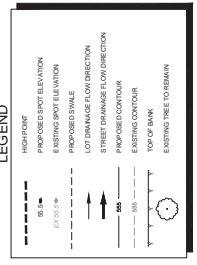
CAUTION!
CONTRACTOR TO VERIFY
LOCATIONS AND DEPTHS
OF ALL UTILITIES
PRIOR TO CONSTRUCTION.

RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO SHOW THOSE
CHANGES TO THE ORIGINAL DESIGN WHICH WERE
AND ASSOCIATED WITH THE ORIGINAL DESIGN AND
TO BE AS BUILT, BUT IS BASED ON THE
INFORMATION MADE AVAILABLE.
DATE: 03/02/2023 BY: JSM/AT/SCOTT



CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	100.00'	89.24'	N82°00'13"W	86.22'	56°31'40"	54.14'
C2	100.00'	72.84'	N54°28'03"W	71.33'	41°37'23"	38.18'
C3	140.00'	48.05'	N65°19'28"W	46.86'	20°34'33"	24.78'



- GRADING GENERAL NOTES**
- CONTRACTOR SHALL OBTAIN ELEVATION DATA TO DETERMINE EXISTING ELEVATION NOTED.
 - ALL SLOPES TO MATCH SURROUNDING ARE TO BE 4:1 UNLESS OTHERWISE NOTED.
 - PROPOSED CONTIGUOUS SLOPES ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY EXISTING SLOPES AND TO BE AS BUILT.
 - PUBLIC WORKS DEPARTMENT SHALL VERIFY THE SLOPES SHALL ADHERE TO THE CITY GENERAL NOTES WHEN IN CONTRADICTION TO PRIVATE NOTES THROUGHOUT THIS DRAWING.
 - SEE SHEET C-4 FOR CURVE DATA AND PROFILES.
 - SEE SHEET C-4 FOR DETENTION POND CALCULATIONS.
 - HOME BUILDER SHALL INSTALL DRAINAGE CHALETS AT TIME OF CONSTRUCTION. THE HOME BUILDER TO INSTALL RCP 8" DIA. OR 6" DIA. RCP 8" DIA. RCP 8" DIA.



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CHANNEL CROSS
SECTIONS

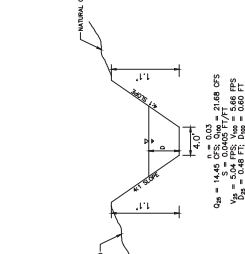
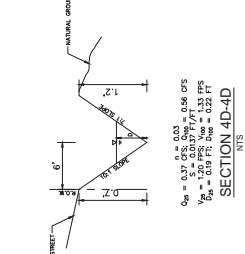
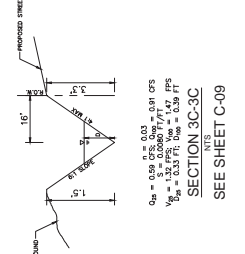
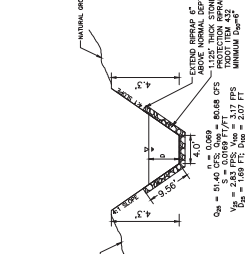
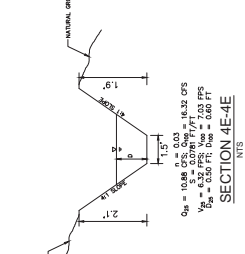
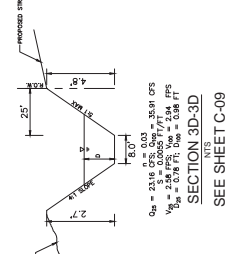
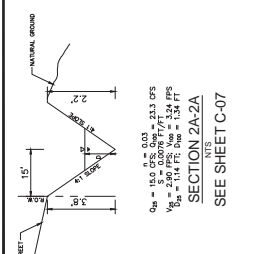
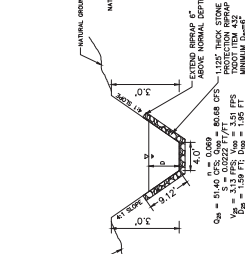
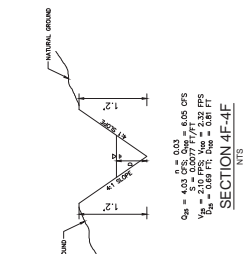
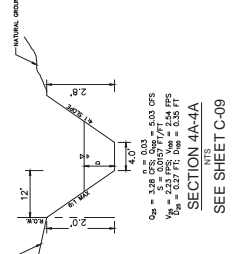
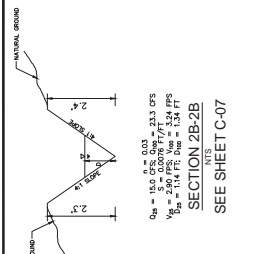
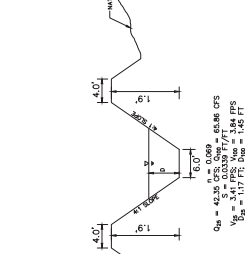
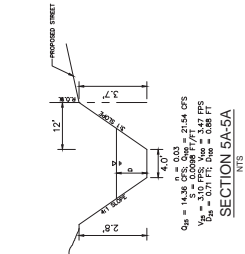
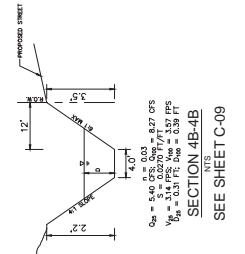
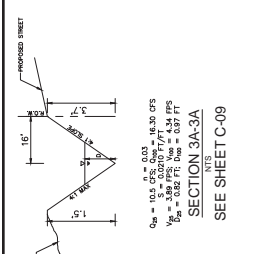
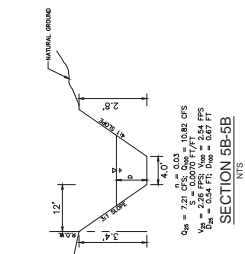
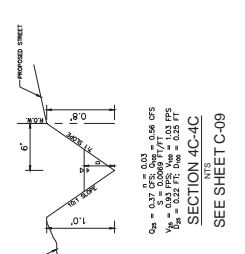
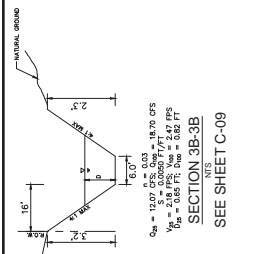


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1345 WEST ROAD, SUITE 700, DALLAS, TX 75240
PHONE: 972.751.2000
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM # 282

NO.	REVISIONS	DATE	BY

BENCHMARKS
ELEVATIONS BASED ON CITY OF ALLEN GPM CONTROL
BENCHMARK OF ALLEN MONUMENT NO. 2, 3.00 HIGHER
FEET (AS SHOWN) FROM THE INTERSECTION OF MAIN STREET
AND 11TH STREET, ALLEN, TEXAS. SEE PLAN SHEET
NORTHWEST CORNER OF A BRIDGE.
ELEVATION: 891.13
BENCHMARK WITH "X" CUT SET ON CONCRETE
MONUMENT AT THE INTERSECTION OF COUNTRY CLUB
ROAD AND 11TH STREET, ALLEN, TEXAS.
ELEVATION: 891.23
BENCHMARK WITH "X" CUT SET ON CONCRETE
MONUMENT AT THE INTERSECTION OF COUNTRY CLUB ROAD AND
INTERSECTION OF COUNTRY CLUB ROAD AND SKYVIEW
ELEVATION: 891.81

RECORD DRAWING
THIS DRAWING HAS BEEN REVISIONED TO SHOW THE
CHANGES DURING THE CONSTRUCTION PROCESS.
THESE CHANGES ARE THE PROPERTY OF KIMLEY-HORN
AND ASSOCIATES, INC. AND CONSIDERED TO BE
SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED
TO BE ACCURATE. ALL INFORMATION MADE AVAILABLE
DATE: 05/19/2023 BY: SARAH SCOTT



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PHONE: 214.751.1000
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TEXAS REGISTERED ENGINEERING FIRM # 282

NO.	REVISIONS	DATE

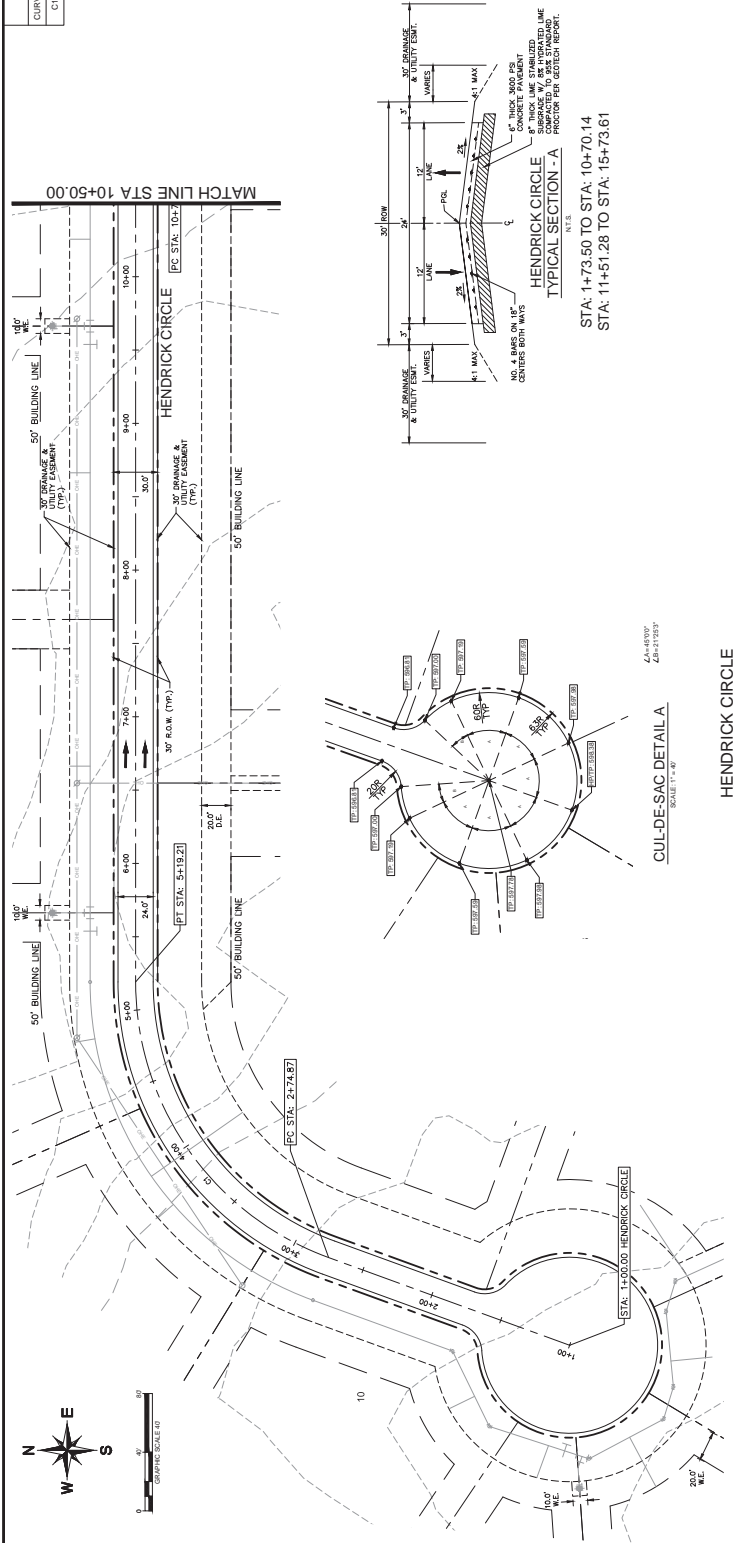
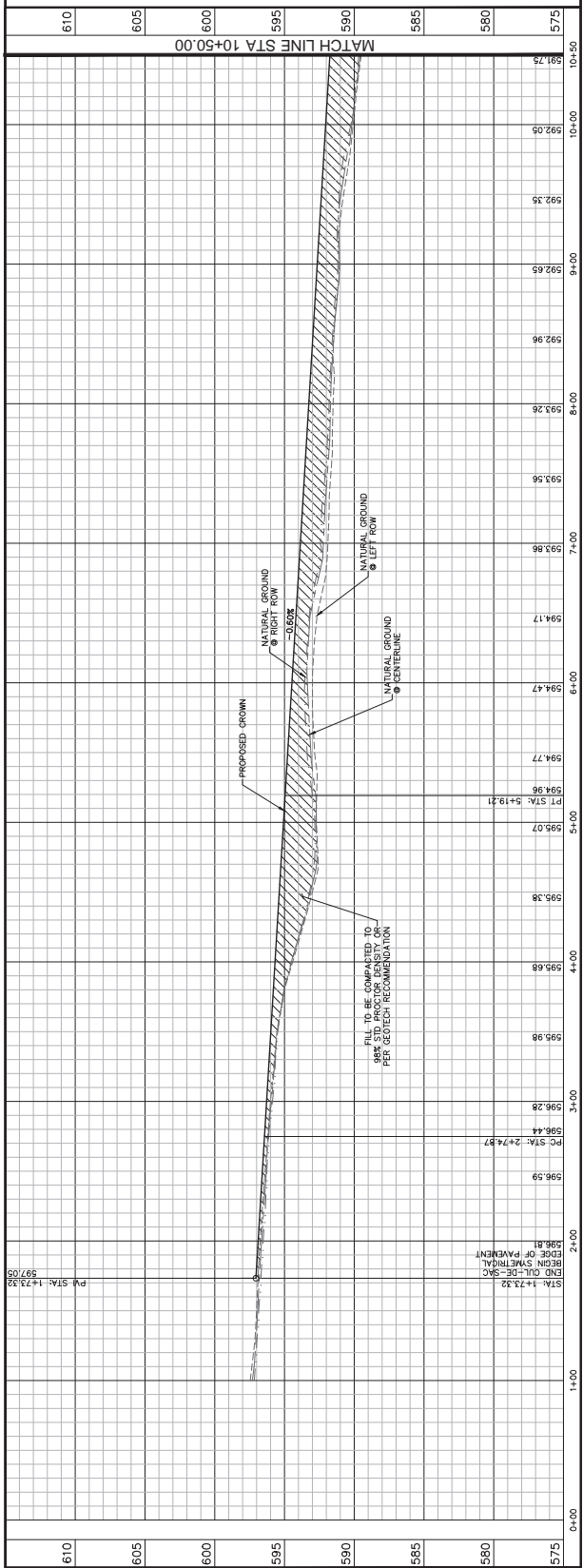
CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	200.00'	241.35'	N52°30'16" E	229.83'	70°00'00"	140.64'

RECORD DRAWING
THIS DRAWING HAS BEEN REVISIONED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE CLIENT, KIMLEY-HORN AND ASSOCIATES, INC. AND CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE ACCURATE. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION MADE AVAILABLE.
DATE: 05/19/2023 BY: SARAH SCOTT

- PROFILE SCALE**
1" = 4' VERTICAL
1" = 4' HORIZONTAL
- PAVING NOTES**
- SEE PLAN FOR EXISTING DRAINAGE SECTIONS.
 - SEE SHEET C-1 FOR BRIDGE.
 - THE PAVEMENT SHALL BE SET TO THE EXISTING FINISH GRADE WITH A MINIMUM CONTRAST TO ADJACENT PAVEMENT SURFACES THROUGHOUT THE PLAN.

BENCHMARKS
ELEVATIONS BASED ON CITY OF ALLEN GPS CONTROL (BENCHMARK OF ALLEN MONUMENT NO. 2) 3.50 HIGHER THAN THE INTERSECTION OF MAIN STREET AND COUNTY CLUB ROAD FROM THE INTERSECTION OF MAIN STREET AND COUNTY CLUB ROAD TO THE INTERSECTION OF COUNTY CLUB ROAD AND SRV HWY. NORTHWEST CORNER OF A BRIDGE.
ELEVATION: 575.00
ELEVATION: 580.00
ELEVATION: 585.00
ELEVATION: 590.00
ELEVATION: 595.00
ELEVATION: 600.00
ELEVATION: 605.00
ELEVATION: 610.00



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DATE: JANUARY 2022
SCALE: AS SHOWN
DESIGNED BY: CRA
CHECKED BY: SEB
DRAWN BY: SEB
RMA PROJECT: 210308103



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KIMLEY-HORN AND ASSOCIATES, INC.
13465 ROCK ROAD, SUITE 700, DALLAS, TX 75240
PHONE: 972.759.1000
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM # 282

NO.	REVISIONS	DATE

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARINGS	CHORD	DELTA	TANGENT
C2	250.00'	37.62'	S41°10'57"E	37.58'	8°27'11"	18.84'
C3	250.00'	37.62'	N4°10'33"W	37.58'	8°27'11"	18.84'
C4	250.00'	37.62'	N82°20'0"E	37.58'	8°27'11"	18.84'
C5	250.00'	37.62'	S32°20'0"W	37.58'	8°27'11"	18.84'

RECORD DRAWING
THIS DRAWING IS A RECORD DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY CHANGES DURING THE CONSTRUCTION PROCESS SHOULD BE REPORTED TO KIMLEY-HORN IMMEDIATELY. THIS DRAWING IS NOT GUARANTEED TO BE AS BUILT, BUT IS BASED ON THE SIGNIFICANT INFORMATION PROVIDED TO THE ENGINEER. DATE: 08/10/2023 BY: SARAH SCOTT

PROFILE SCALE
1" = 4' VERTICAL
1" = 4' HORIZONTAL

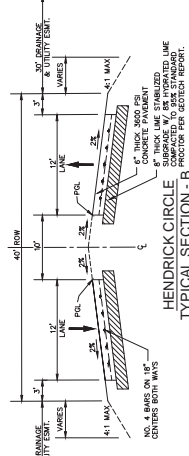
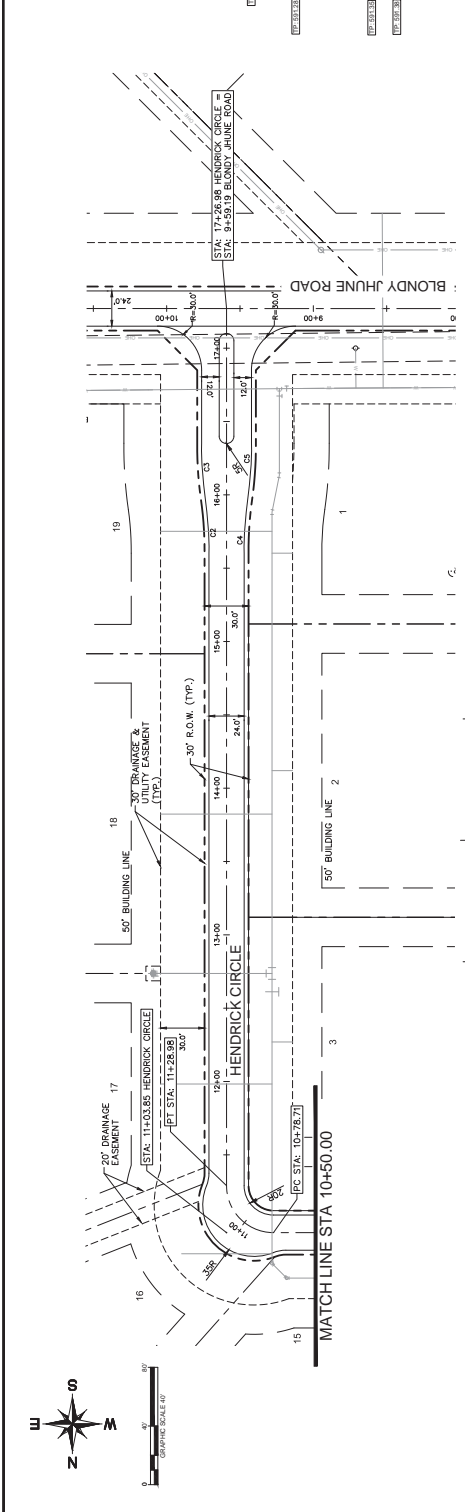
PAVING NOTES

- SEE SHEET C-13 FOR SPONGE.
- SEE SHEET C-13 FOR SPONGE.
- THE LOW SHALL BE TO THE CENTERLINE OF THE ROADWAY. CONTRACTOR TO VERIFY ELEVATIONS THROUGHOUT THE PLAN AND PROFILE.

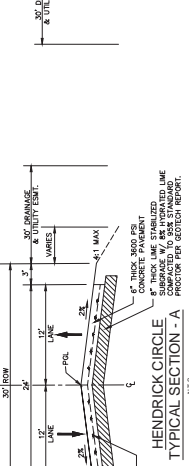
BENCHMARKS

ELEVATIONS BASED ON CITY OF ALLEN GPT CONTROL. BENCHMARK OF ALLEN MONUMENT NO. 10, 3.00 HIGHER THAN THE INTERSECTION OF MAIN STREET AND NORTH STREET FROM THE INTERSECTION OF MAIN STREET AND NORTH STREET. BENCHMARK SET FROM THE NORTHWEST CORNER OF A BRIDGE.

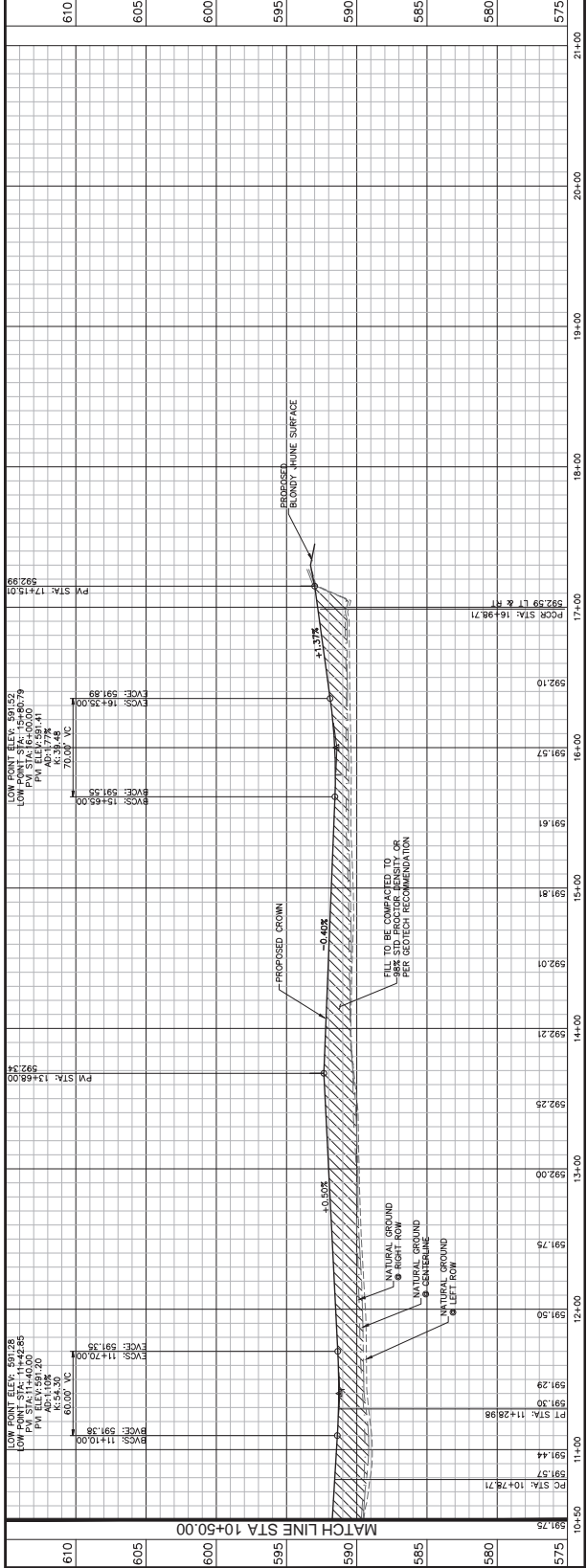
ELVA-PT 13
ELVA-PT 25
ELVA-PT 26
ELVA-PT 27
ELVA-PT 28
ELVA-PT 29



HENDRICK CIRCLE
TYPICAL SECTION - A
N.S.
STA: 11+73.50 TO STA: 10+70.14
STA: 11+51.28 TO STA: 15+73.61



HENDRICK CIRCLE
TYPICAL SECTION - B
N.S.
STA: 16+53.74 TO STA: 16+98.60



PAVING PLAN & PROFILE
WAYNE TRAIL

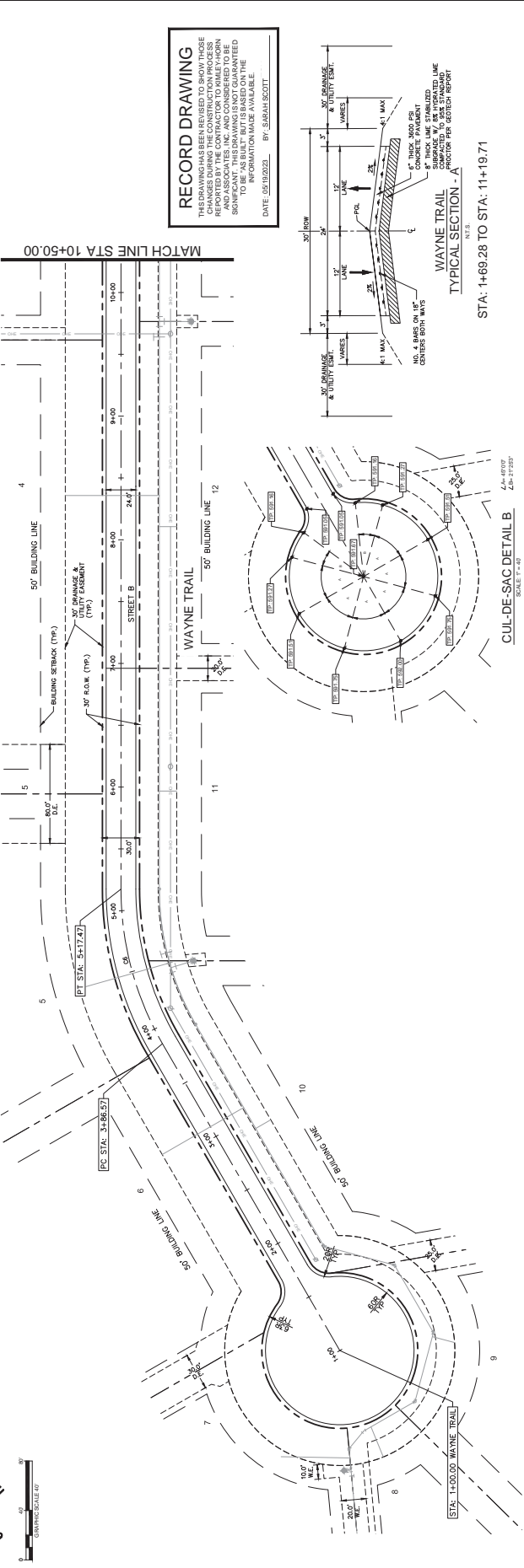
DATE: JANUARY 2022
SCALE: AS SHOWN
DESIGNED BY: CRA
CHECKED BY: HCL
RMA PROJECT: 060800105



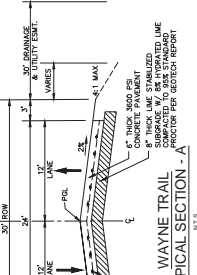
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TEXAS REGISTERED ENGINEERING FIRM # 238

NO.	REVISIONS	DATE	BY

CURVE	RADIUS	LENGTH	CURVE BEARING	CHORD	DELTA	TANGENT
CC	250.00'	133.36'	N52°30'16"E	128.41'	30°00'00"	66.93'

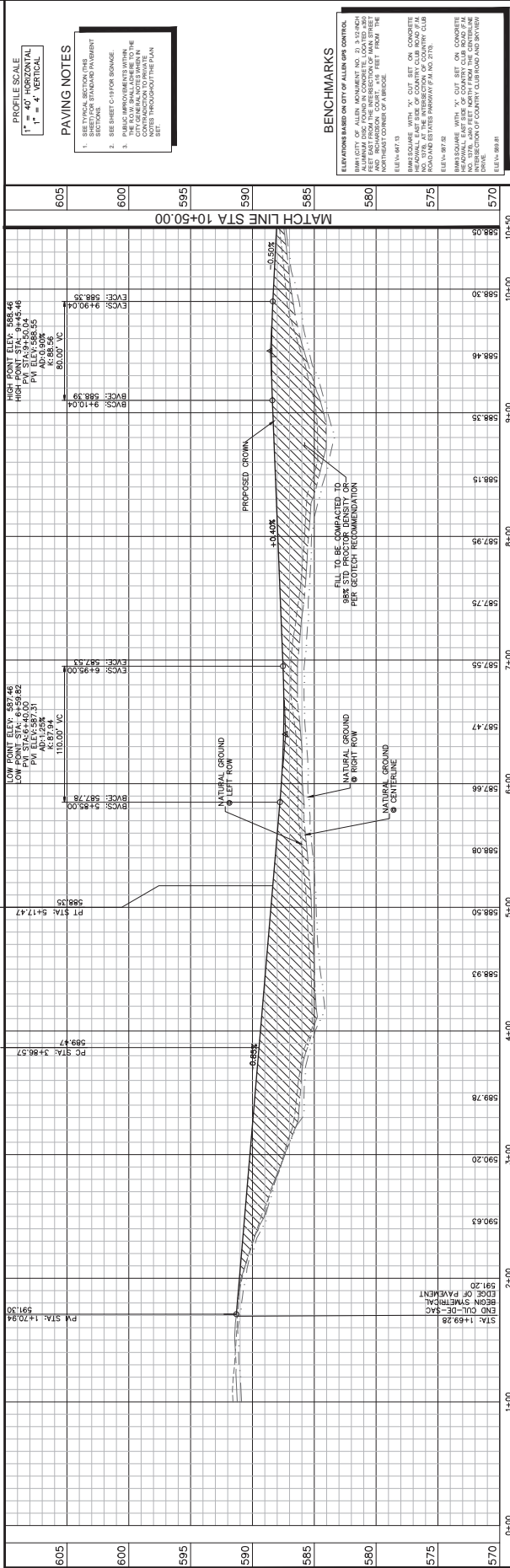


RECORD DRAWING
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DATE: 05/01/2023 BY: SARAH SCOTT



WAYNE TRAIL
TYPICAL SECTION - A
SCALE: 1" = 4' VERTICAL
STA: 1+69.28 TO STA: 11+19.71

WAYNE TRAIL
CUL-DE-SAC DETAIL B
SCALE: 1" = 40'



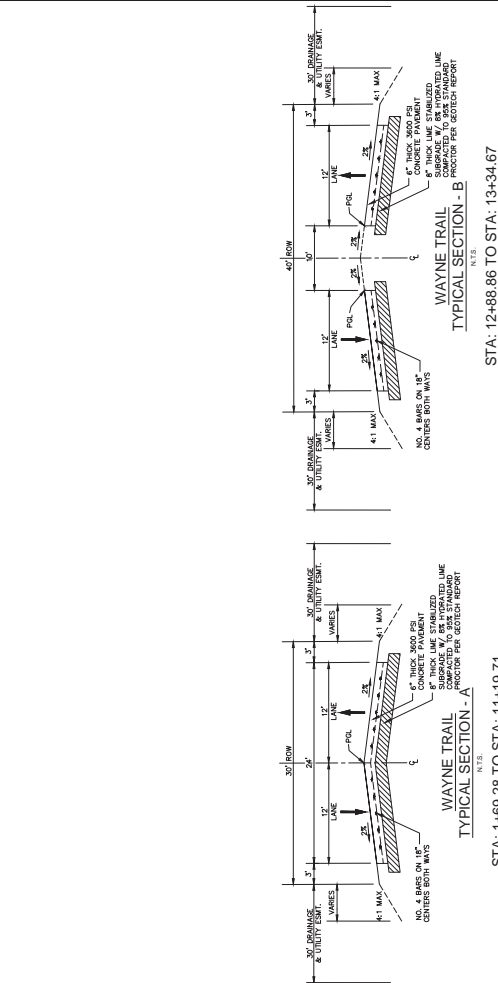
BENCHMARKS

ELEVATIONS BASED ON CITY OF ALLEN GPS CONTROL. BENCHMARK OF ALLEN MONUMENT NO. 2, 3.50 HIGH SET 100 FEET FROM THE INTERSECTION OF MAIN STREET AND BAY STREET. SET POINT: 118.100 NORTHWEST CORNER OF A BRIDGE.
ELEVATION: 574.13
BENCHMARK WITH "X" CUT SET ON CONCRETE CURB AT THE INTERSECTION OF COUNTRY CLUB ROAD AND BAY STREET.
ELEVATION: 574.25
BENCHMARK WITH "X" CUT SET ON CONCRETE CURB AT THE INTERSECTION OF COUNTRY CLUB ROAD AND BAY STREET.
ELEVATION: 574.30

Revised 5/1/2023, James Date: 05/01/2023, 01:50:05pm File Path: C:\Users\james\Documents\Projects\Wayne Trail\Wayne Trail.dwg
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NO.	REVISIONS	DATE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
CT	200.00'	157.06'	N202°01'16"E	153.07'	45°00'00"	62.84'



RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES TO THE ORIGINAL DRAWING WHICH WERE REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. AND CONSIDERED TO BE CORRECT. THIS DRAWING IS TO BE USED FOR CONSTRUCTION AND SHALL BE SUBJECT TO BE "AS BUILT" BUT IS BASED ON THE INFORMATION MADE AVAILABLE.
DATE: 05/09/2022 BY: SARAH SCOTT

PROFILE SCALE
1" = 4' VERTICAL
1" = 4' HORIZONTAL

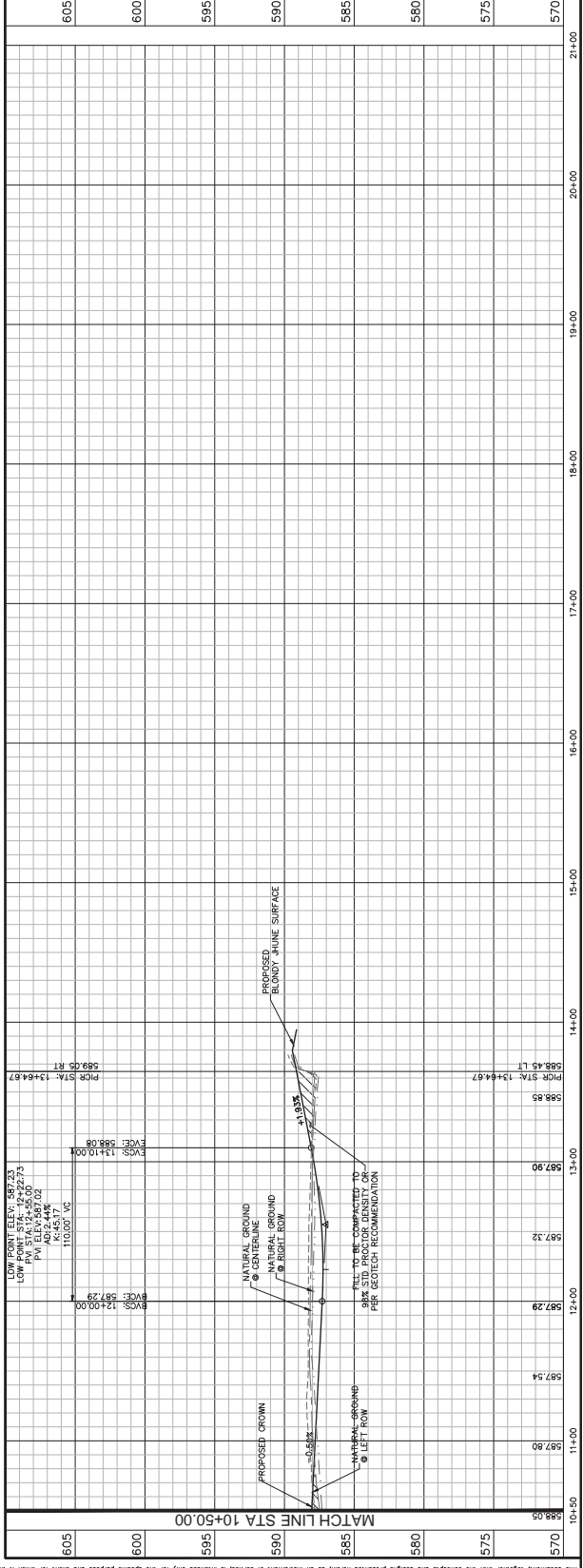
PAVING NOTES

- SEE PLAN FOR STATIONING AND OFFSETS.
- SEE SHEET C FOR BRIDGE.
- THE LOW SHALL BE SET TO THE CENTERLINE OF THE ROADWAY IN ACCORDANCE WITH THE CONTRACT DOCUMENTS THROUGHOUT THE PLAN SET.

BENCHMARKS

ELEVATIONS BASED ON CITY OF ALLEN GPC CONTROL (BENCHMARK OF ALLEN MONUMENT NO. 2) 3.50 HIGHER THAN THE INTERSECTION OF MAIN STREET AND STATE STREET AT THE INTERSECTION OF MAIN STREET AND STATE STREET, NEAR THE NORTHWEST CORNER OF A BRIDGE.

EL 564.81
EL 564.81
EL 564.81
EL 564.81
EL 564.81
EL 564.81



DATE: 05/09/2022 10:50:17am File Path: K:\Data\2022\105157\17m_Plan\Profile\Wayne Trail\Profile.dwg
The drawings and designs prepared or being prepared by this firm are to be used only for the project and shall not be used for any other project or for any other purpose without the written consent of Kimley-Horn and Associates, Inc.



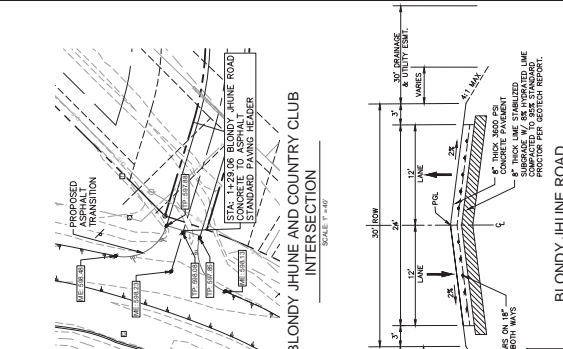
DATE: JANUARY 2022
SCALE: AS SHOWN
DESIGNED BY: CRA
CHECKED BY: HCL
PROJECT: RMA PROJECT



Kimley-Horn
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WWW.KIMLEY-HORN.COM
PHONE: 214.750.0000
TEXAS REGISTERED ENGINEERING FIRM # 282

NO.	REVISIONS	DATE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
CS	210.00'	171.54'	N32°02'22"E	166.91'	46°46'13"	30.36'
CS	210.00'	174.89'	N52°02'21"E	163.89'	79°00'11"	161.15'

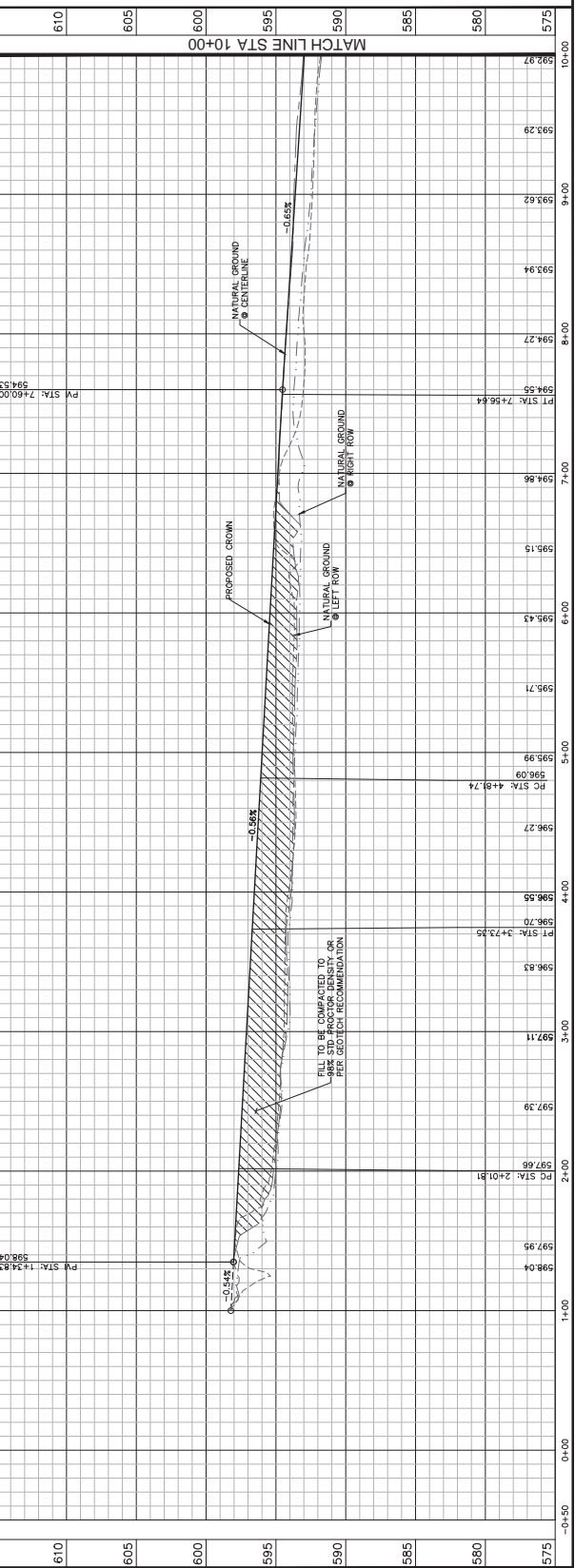
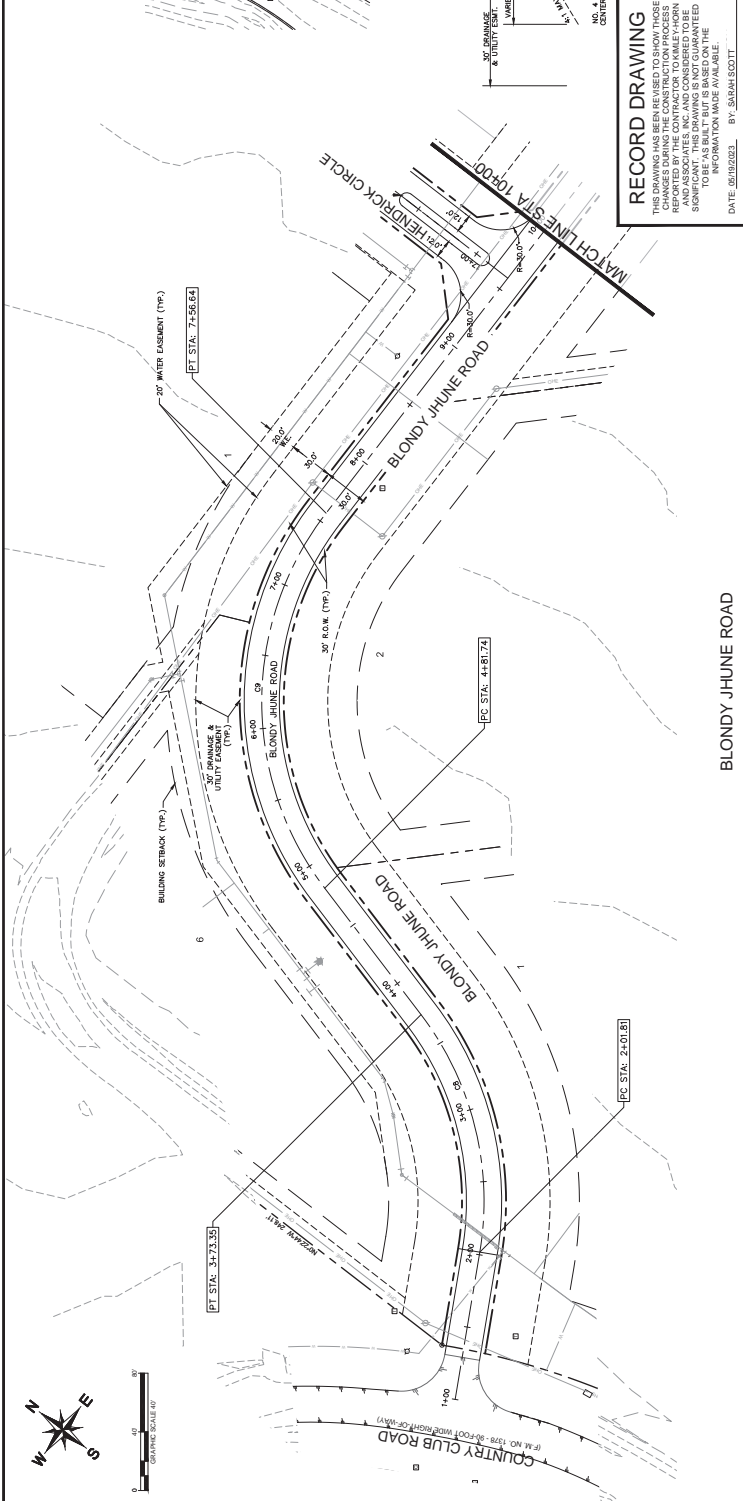


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BLONDY JHUNE ROAD
TYPICAL SECTION - A
STA: 11+29.06 TO STA: 9+12.19
STA: 10+06.19 TO STA: 13+27.19

- PAVING NOTES**
- SEE TYPICAL SECTION FOR PAVEMENT THICKNESS.
 - SEE SHEET C-18 FOR BRIDGE.
 - THE FILL SHALL BE TO THE CONTRACTOR'S SATISFACTION AND SHALL BE COMPACTED TO THE STANDARD SPECIFICATIONS THROUGHOUT THE PLAN SECTION.

BENCHMARKS
ELEVATIONS BASED ON CITY OF LUCAS GPC CONTROL. BENCHMARK OF ALLEN MONUMENT NO. 2, 3.50' HIGH SET AT THE INTERSECTION OF MAIN STREET AND NORTH STREET. BENCHMARK OF LUCAS COUNTY NORTH CORNER OF A BRIDGE. ELEVATION: 580.00'. BENCHMARK OF COUNTRY CLUB ROAD AND RAVINE. ELEVATION: 581.00'.



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SIGNAGE PLAN

RMA PROJECT: _____
 DATE: _____
 SCALE: AS SHOWN
 REVISIONS BY: _____
 DESIGNED BY: _____
 CHECKED BY: _____
 DRAWN BY: _____
 DATE: _____



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TEXAS REGISTERED ENGINEERING FIRM # 283

No.	REVISIONS	DATE	BY



BENCHMARKS

ELEVATIONS BASED ON CITY OF ALLEN GPS CONTROL

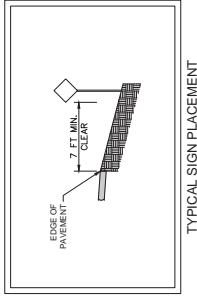
BMA LOT 7 OF ALLEN MONUMENT NO. 2, 3.02 ACRES
 100 FT. BENCH MARK FROM THE INTERSECTION OF MAIN STREET
 AND COUNTY CLUB ROAD TO THE NORTHWEST CORNER OF A BRIDGE.
 ELEV. 89.43

BMA SQUARE WITH "X" CUT SET ON CONCRETE
 NE CORNER OF COUNTY CLUB ROAD AT
 INTERSECTION OF COUNTY CLUB ROAD AND
 INTERSECTION OF COUNTY CLUB ROAD AND SKYVIEW
 ELEV. 89.41



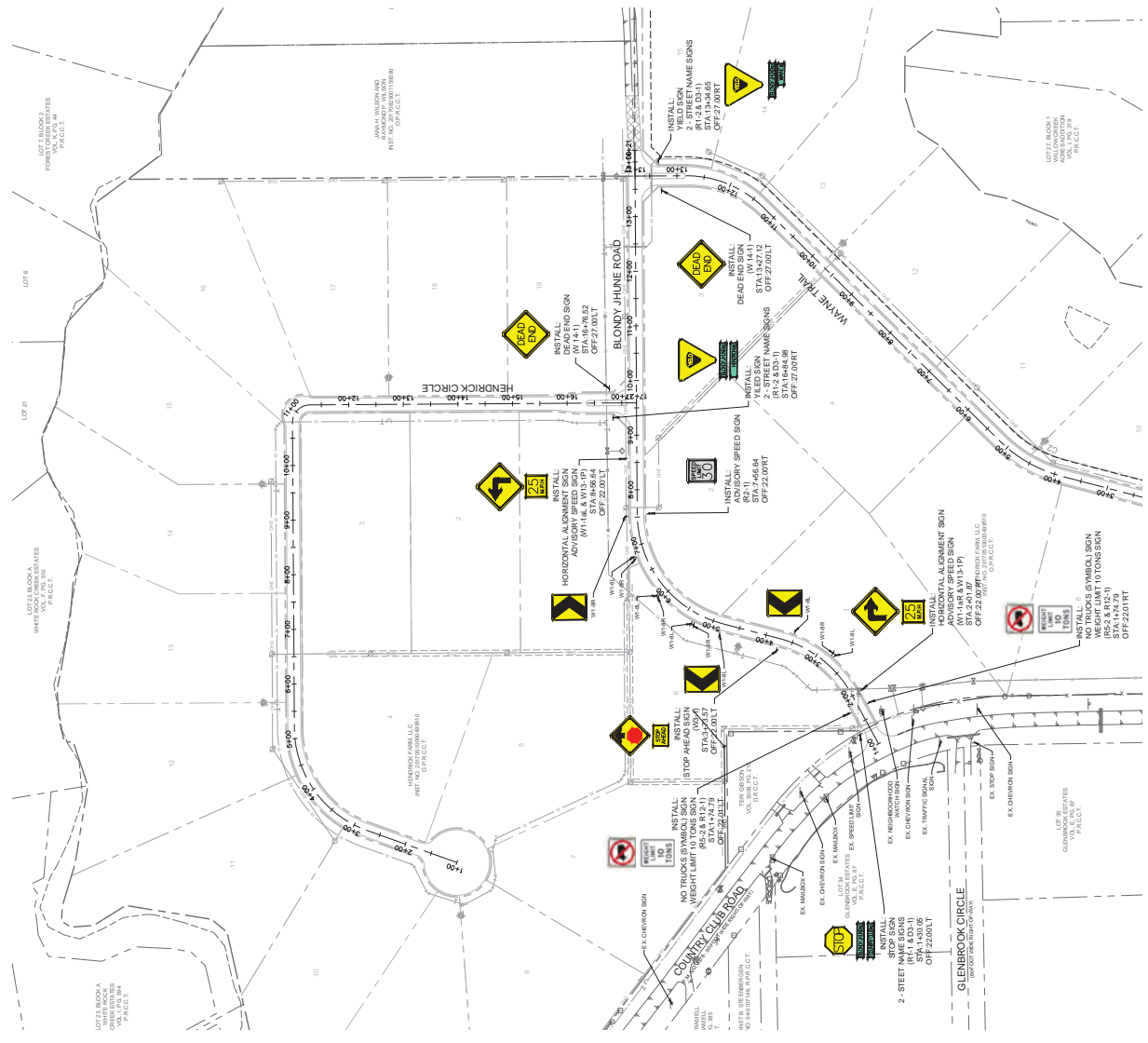
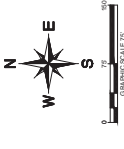
RECORD DRAWING

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EXISTING SITE FEATURES

1	BLDG. FOOTING
2	CONCRETE FOUNDATION
3	ASPHALT DRIVE
4	GRAVEL DRIVE
5	GRAVEL DRIVE
6	GRAVEL DRIVE
7	GRAVEL DRIVE
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99	GRAVEL DRIVE
100	GRAVEL DRIVE



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Kimley-Horn
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WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM # 282

NO.	REVISIONS	DATE

BENCHMARKS
ELEVATIONS BASED ON CITY OF ALLEN GPM CONTROL
BENCHMARK OF ALLEN MONUMENT NO. 2, 3.30 HIGH
ARE 1.60 HIGHER FROM THE INTERSECTION OF MAIN STREET
AND 11TH STREET TO THE INTERSECTION OF MAIN STREET
AND 10TH STREET. THE
ELEVATION IS 48.21.
BENCHMARK WITH "X" CUT SET ON CONCRETE
BASED ON THE INTERSECTION OF COUNTY CLUB
ROAD AND 11TH STREET. THE
ELEVATION IS 48.21.
BENCHMARK WITH "X" CUT SET ON CONCRETE
BASED ON THE INTERSECTION OF COUNTY CLUB ROAD
AND 10TH STREET. THE
ELEVATION IS 48.21.

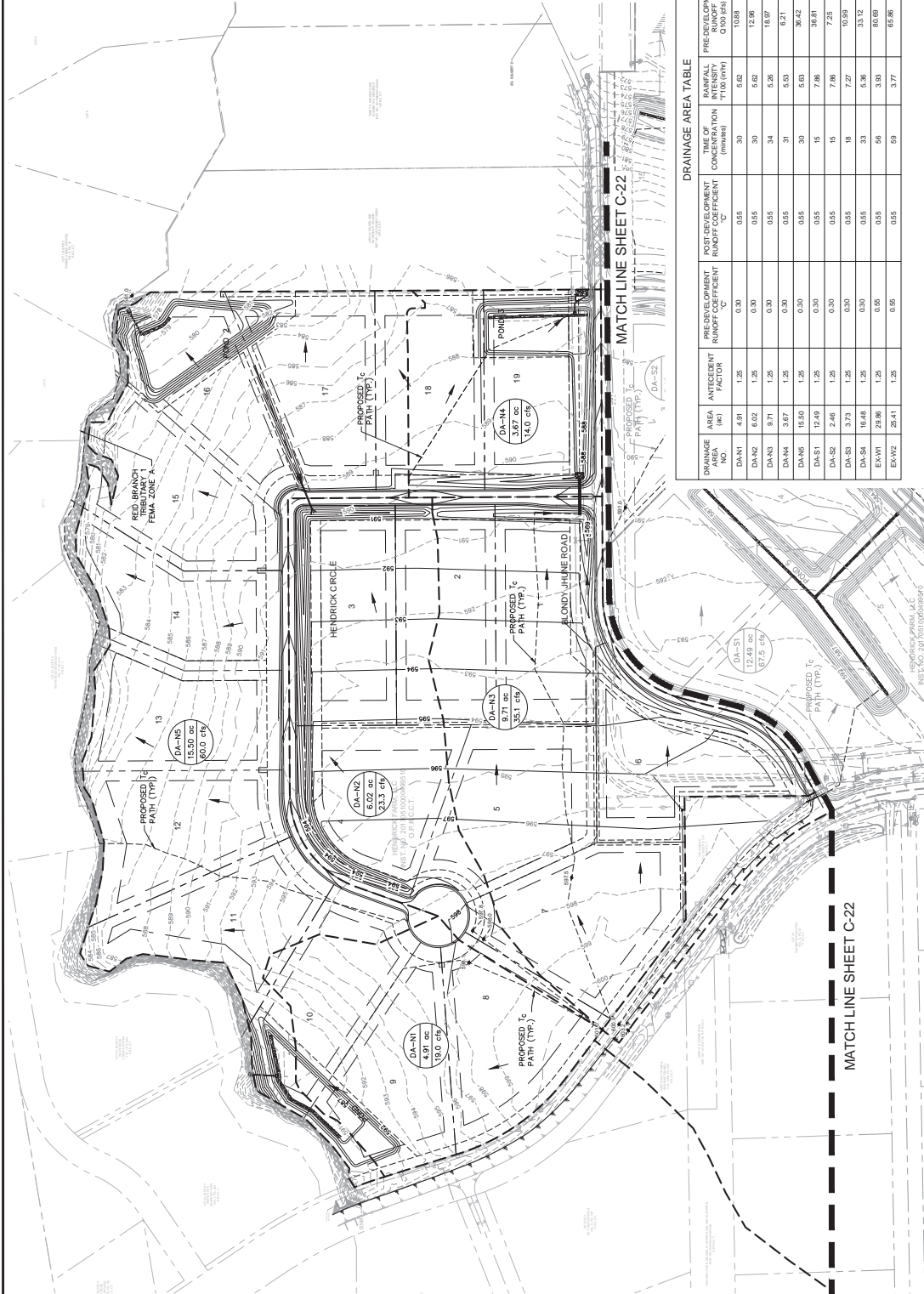
DRAINAGE AREA TABLE

DRAINAGE AREA NO.	AREA (AC)	ANTECEDENT RUNOFF COEFFICIENT	POST-DEVELOPMENT RUNOFF COEFFICIENT	TIME OF CONCENTRATION (MIN)	RAINFALL INTENSITY (IN/HOUR)	PRE-DEVELOPMENT Q (CFS)	POST-DEVELOPMENT Q (CFS)	COLLECTION POINT
DA-N1	4.51	1.25	0.30	30	5.62	10.88	18.95	DETENTION POND 1
DA-N2	6.02	1.25	0.30	30	5.62	12.36	21.86	DETENTION POND 2
DA-N3	9.71	1.25	0.30	34	5.26	16.97	35.11	CUVERT C, DET. POND 3
DA-N4	3.67	1.25	0.30	31	5.59	9.21	13.97	DETENTION POND 3
DA-N5	15.50	1.25	0.30	30	5.63	36.42	60.01	BYPASS, RED BRANCH TRIBUTARY 1
DA-S1	12.49	1.25	0.30	15	7.86	7.25	13.27	DETENTION POND 4
DA-S2	2.46	1.25	0.30	15	7.72	10.99	16.63	CUVERT E, DET. POND 4
DA-S3	3.73	1.25	0.30	18	7.22	10.99	16.63	DETENTION POND 4
DA-S4	19.48	1.25	0.30	33	5.36	33.12	60.74	RED BRANCH 1
EA-W1	23.96	1.25	0.30	56	3.30	60.69	80.69	EXCUVERT A
EA-W2	25.41	1.25	0.30	59	3.77	65.86	85.86	EXCUVERT B

RECORD DRAWING
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DATE: 08/09/2023 BY: SARAH SCOTT

DRAINAGE GENERAL NOTES
1. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING INFRASTRUCTURE TO CONSTRUCTION.
2. ALL INFORMATION IS FOR INFORMATION PURPOSES.
3. ALL DRAINAGE LINES SHALL BE RCP, CLASS III UNLESS OTHERWISE NOTED.

DRAINAGE DESIGN CRITERIA
OVERFLOW: 1.0 CFS/TA
Q = FLOW IN CUBIC FEET PER SECOND (CFS)
C = RUNOFF COEFFICIENT = 0.45 (1.0 AGES-RE-IDENTICAL)
I = INTENSITY (TIME OF CONCENTRATION = 1.0)
1" = 1/8" = 0.125"
1" = 1/4" = 0.25"
1" = 1/2" = 0.5"
1" = 3/4" = 0.75"
1" = 1" = 1.0"
A = DRAINAGE AREA IN ACRES



SHALLOW CONCENTRATED FLOW
SHEET FLOW
TC = 0.070 (1.49 / (1.49 * 2.0))
S = 0.000 (0.000 / 2.0)

Reach	Length (ft)	Elev. (ft)	Slope	Manrope (ft)	Length (ft)	Elev. (ft)	Location	Area (sq ft)	Perimeter (ft)	Radius (ft)	Elev. (ft)	Slope (ft/ft)	Area (sq ft)	Perimeter (ft)	Radius (ft)	Elev. (ft)	Area (sq ft)	Perimeter (ft)	Radius (ft)	Elev. (ft)
EA-W1	300	591.6	0.006	0.150	300	591.6	Unimproved	144,000	1,200	120	591.6	0.006	144,000	1,200	120	591.6	144,000	1,200	120	591.6
DA-N1	300	591.6	0.006	0.150	300	591.6	Unimproved	144,000	1,200	120	591.6	0.006	144,000	1,200	120	591.6	144,000	1,200	120	591.6
DA-N2	300	591.6	0.006	0.150	300	591.6	Unimproved	144,000	1,200	120	591.6	0.006	144,000	1,200	120	591.6	144,000	1,200	120	591.6
DA-N3	300	591.6	0.006	0.150	300	591.6	Unimproved	144,000	1,200	120	591.6	0.006	144,000	1,200	120	591.6	144,000	1,200	120	591.6
DA-N4	300	591.6	0.006	0.150	300	591.6	Unimproved	144,000	1,200	120	591.6	0.006	144,000	1,200	120	591.6	144,000	1,200	120	591.6
DA-N5	300	591.6	0.006	0.150	300	591.6	Unimproved	144,000	1,200	120	591.6	0.006	144,000	1,200	120	591.6	144,000	1,200	120	591.6
DA-S1	300	591.6	0.006	0.150	300	591.6	Unimproved	144,000	1,200	120	591.6	0.006	144,000	1,200	120	591.6	144,000	1,200	120	591.6
DA-S2	300	591.6	0.006	0.150	300	591.6	Unimproved	144,000	1,200	120	591.6	0.006	144,000	1,200	120	591.6	144,000	1,200	120	591.6
DA-S3	300	591.6	0.006	0.150	300	591.6	Unimproved	144,000	1,200	120	591.6	0.006	144,000	1,200	120	591.6	144,000	1,200	120	591.6
DA-S4	300	591.6	0.006	0.150	300	591.6	Unimproved	144,000	1,200	120	591.6	0.006	144,000	1,200	120	591.6	144,000	1,200	120	591.6
EA-W2	300	591.6	0.006	0.150	300	591.6	Unimproved	144,000	1,200	120	591.6	0.006	144,000	1,200	120	591.6	144,000	1,200	120	591.6

DRAINAGE CALCULATIONS



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NO.	REVISIONS	DATE
	REVISIONS FROM UPDATED DRAWINGS	5/3/2022

Design Storm	Inflow per Storm Event			Outflow per Storm Event			Detention Volume		
	Storm (cfs)	Peak (cfs)	Duration (hrs)	Storm (cfs)	Peak (cfs)	Duration (hrs)	Volume (cu ft)	Volume (cu ft)	Volume (cu ft)
2-year	587.70	2.3	3.1	2.3	0.0	0.0	0.0	0.0	0.0
5-year	677.75	3.3	3.1	3.3	0.0	0.0	0.0	0.0	0.0
10-year	777.75	4.3	3.1	4.3	0.0	0.0	0.0	0.0	0.0
25-year	877.75	5.3	3.1	5.3	0.0	0.0	0.0	0.0	0.0
100-year	977.75	6.3	3.1	6.3	0.0	0.0	0.0	0.0	0.0

Design Storm	Inflow per Storm Event			Outflow per Storm Event			Detention Volume		
	Storm (cfs)	Peak (cfs)	Duration (hrs)	Storm (cfs)	Peak (cfs)	Duration (hrs)	Volume (cu ft)	Volume (cu ft)	Volume (cu ft)
2-year	587.70	2.3	3.1	2.3	0.0	0.0	0.0	0.0	0.0
5-year	677.75	3.3	3.1	3.3	0.0	0.0	0.0	0.0	0.0
10-year	777.75	4.3	3.1	4.3	0.0	0.0	0.0	0.0	0.0
25-year	877.75	5.3	3.1	5.3	0.0	0.0	0.0	0.0	0.0
100-year	977.75	6.3	3.1	6.3	0.0	0.0	0.0	0.0	0.0

Design Storm	Inflow per Storm Event			Outflow per Storm Event			Detention Volume		
	Storm (cfs)	Peak (cfs)	Duration (hrs)	Storm (cfs)	Peak (cfs)	Duration (hrs)	Volume (cu ft)	Volume (cu ft)	Volume (cu ft)
2-year	587.70	2.3	3.1	2.3	0.0	0.0	0.0	0.0	0.0
5-year	677.75	3.3	3.1	3.3	0.0	0.0	0.0	0.0	0.0
10-year	777.75	4.3	3.1	4.3	0.0	0.0	0.0	0.0	0.0
25-year	877.75	5.3	3.1	5.3	0.0	0.0	0.0	0.0	0.0
100-year	977.75	6.3	3.1	6.3	0.0	0.0	0.0	0.0	0.0

Design Storm	Inflow per Storm Event			Outflow per Storm Event			Detention Volume		
	Storm (cfs)	Peak (cfs)	Duration (hrs)	Storm (cfs)	Peak (cfs)	Duration (hrs)	Volume (cu ft)	Volume (cu ft)	Volume (cu ft)
2-year	587.70	2.3	3.1	2.3	0.0	0.0	0.0	0.0	0.0
5-year	677.75	3.3	3.1	3.3	0.0	0.0	0.0	0.0	0.0
10-year	777.75	4.3	3.1	4.3	0.0	0.0	0.0	0.0	0.0
25-year	877.75	5.3	3.1	5.3	0.0	0.0	0.0	0.0	0.0
100-year	977.75	6.3	3.1	6.3	0.0	0.0	0.0	0.0	0.0

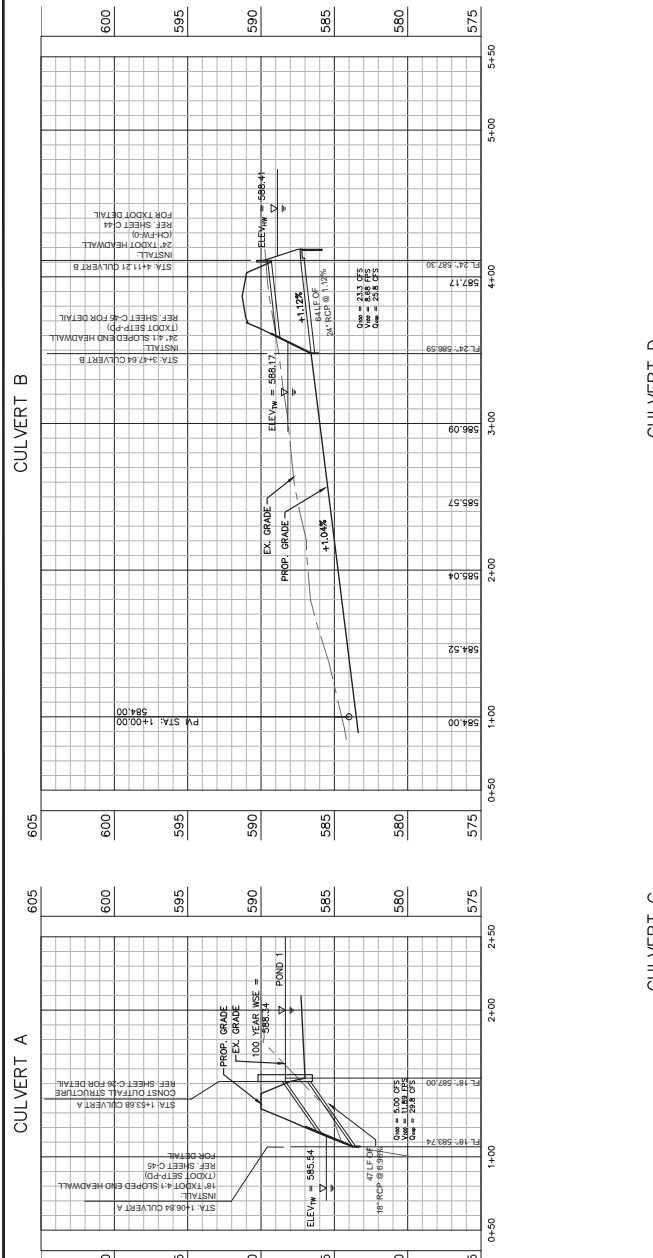
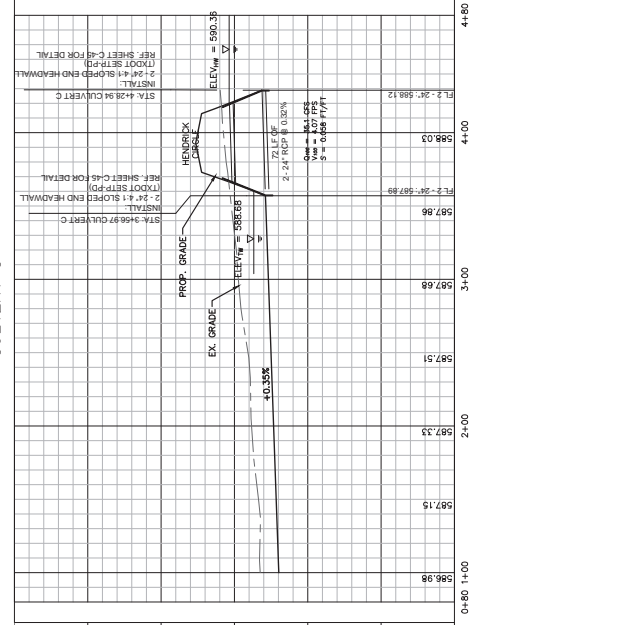
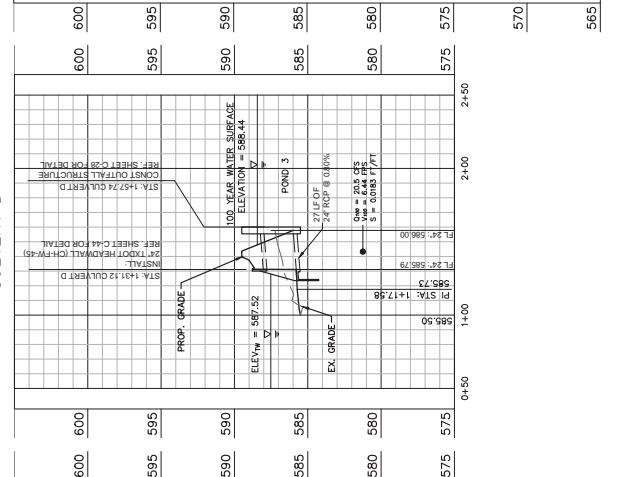
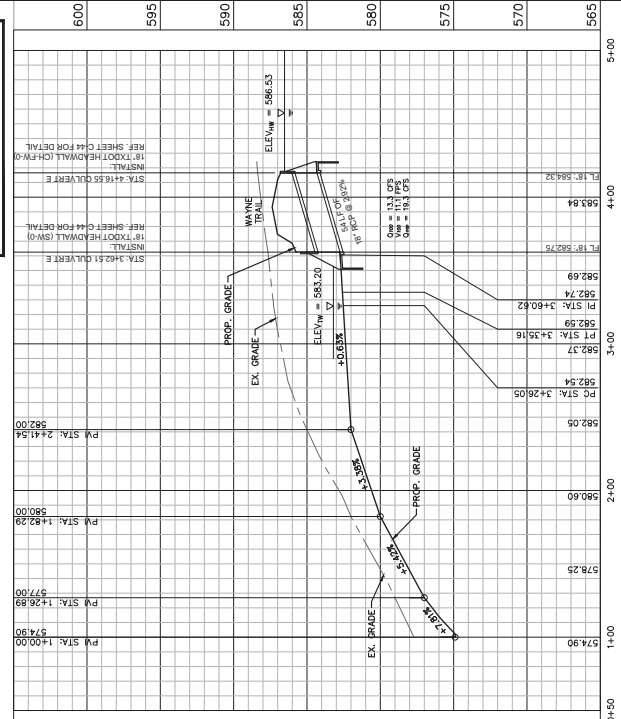
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CHECKED BY: HCL
DESIGNED BY: CRA
SCALE: AS SHOWN
DATE: JANUARY 2022
DRAWN BY: HCL
RMA PROJECT



Kimley-Horn
KIMLEY-HORN AND ASSOCIATES, INC.
1365 NOEL ROAD, SUITE 700, DALLAS, TX 75240
PHONE: 972.751.0000
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM # 282

NO.	REVISIONS	DATE	BY



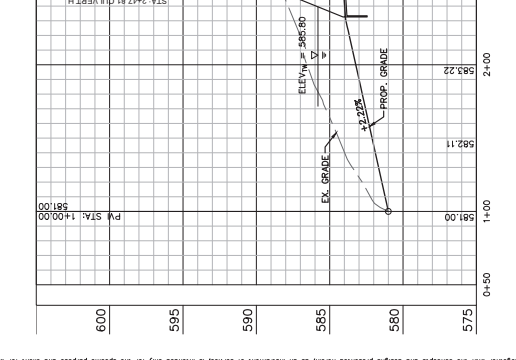
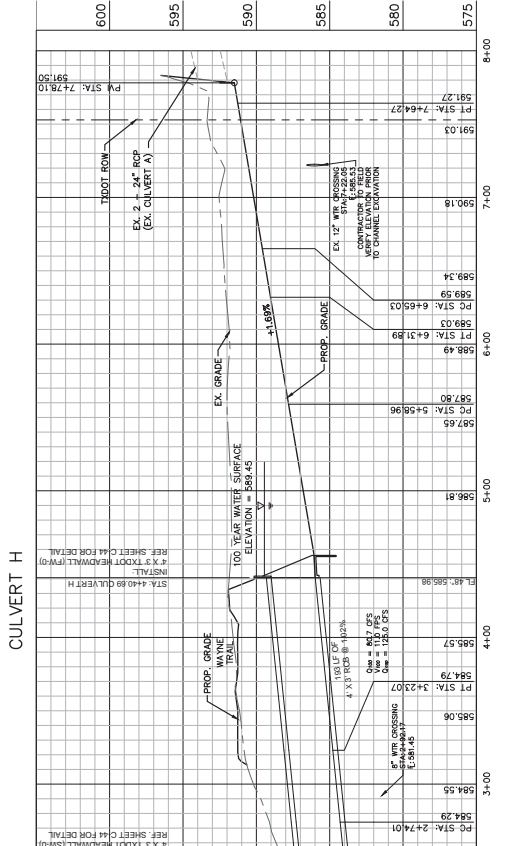
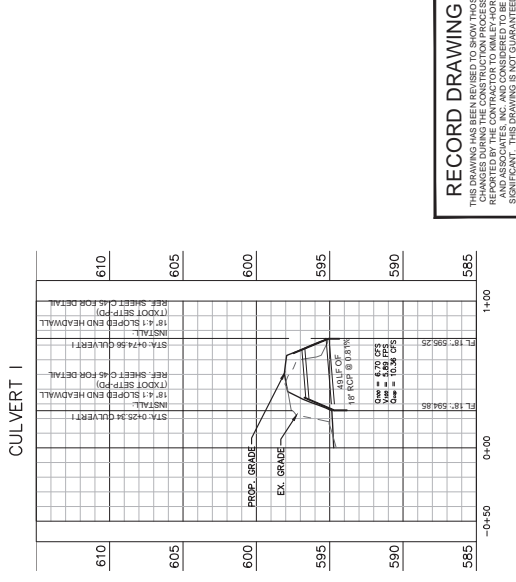
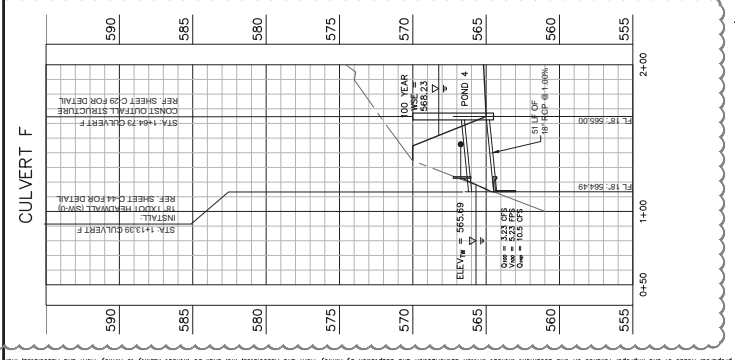
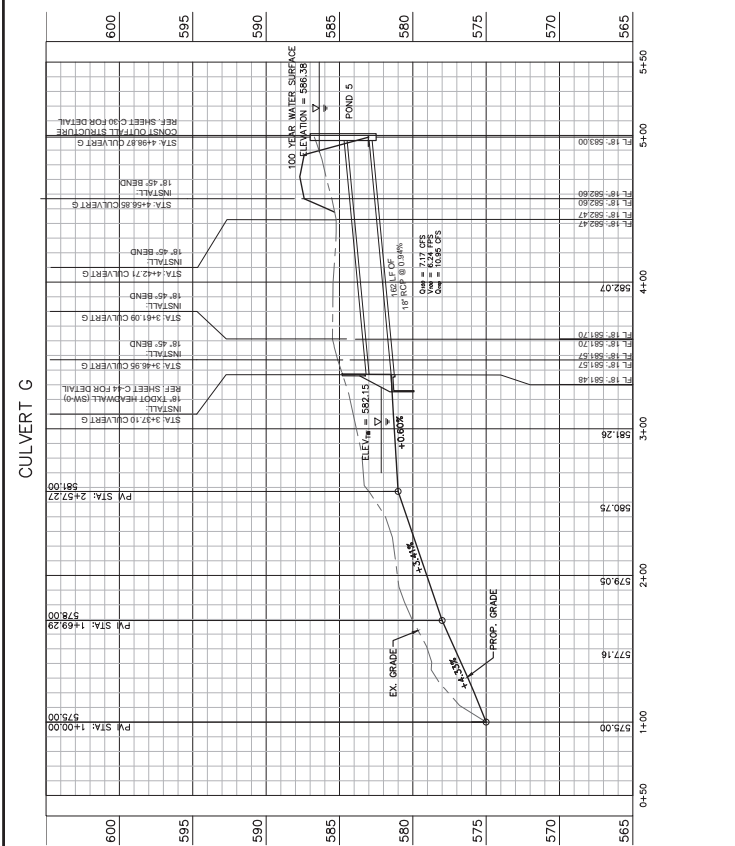
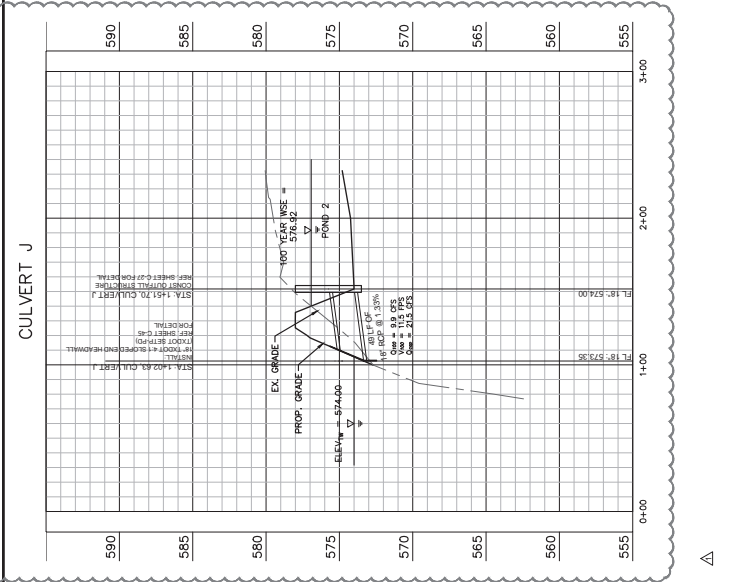
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DATE: 05/10/2023 BY: SARAH E. SCOTT



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KIMLEY-HORN AND ASSOCIATES, INC.
13465 NOLAN ROAD, SUITE 700, DALLAS, TX 75240
PHONE: 972.759.2000
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM # 2838

NO.	REVISIONS	DATE	BY
1	REVISIONS PER POND UPDATES	5/3/2022	CFM

RECORD DRAWING
THIS DRAWING HAS BEEN REVIEWED TO SHOW THAT THE DESIGNER HAS COMPLETED ALL REQUIRED DESIGN AND CONSTRUCTION DOCUMENTS AND ASSOCIATES, INC. AND CONSIDERED TO BE A SIGNATURE OF THE DESIGNER. THIS DRAWING IS INTENDED TO BE AS-BUILT BUT IS BASED ON THE INFORMATION MADE AVAILABLE.
DATE: 06/19/2022 BY: SARAH SCOTT



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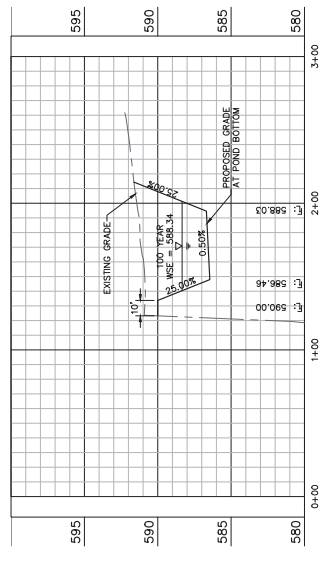


NO.	REVISIONS	DATE	BY

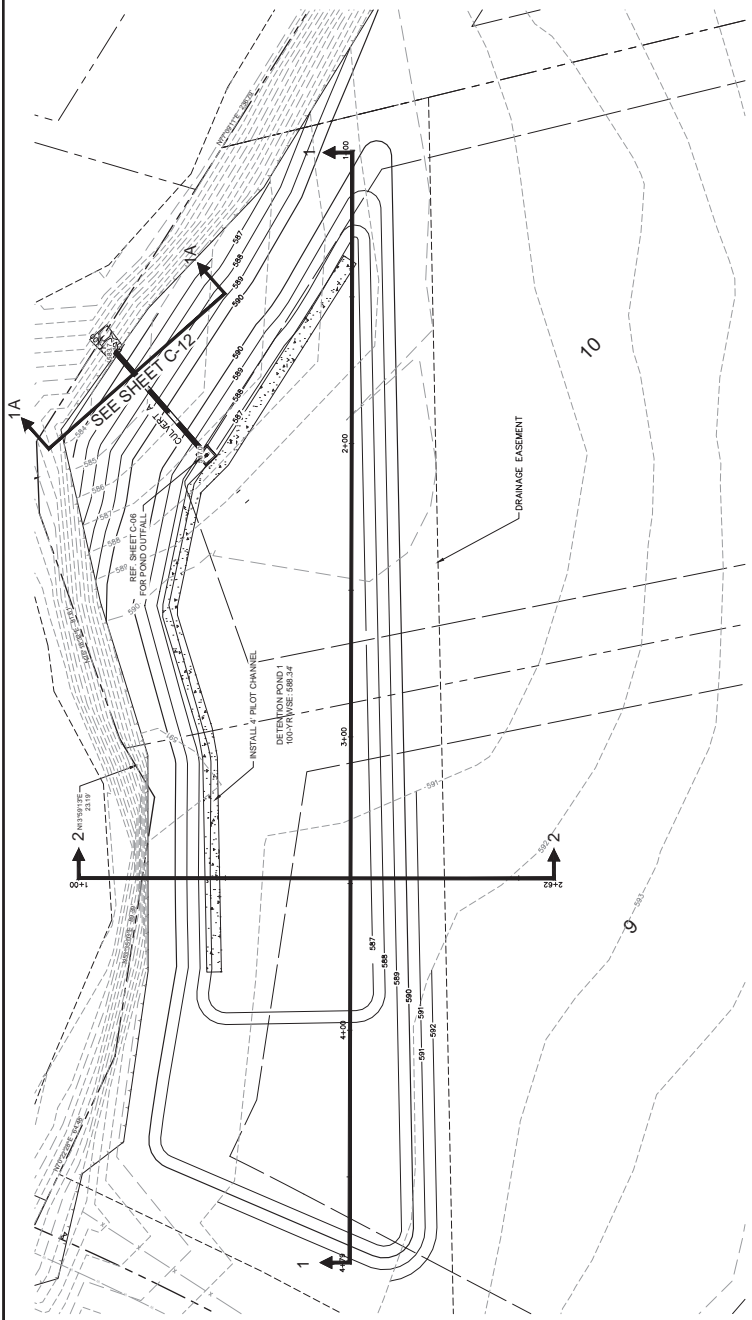
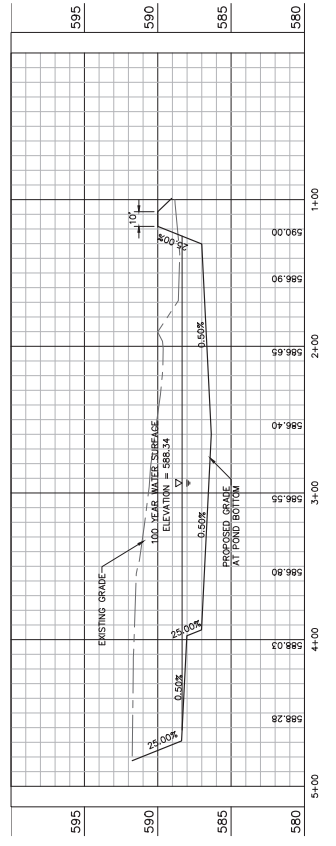
RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS. KIMLEY-HORN AND ASSOCIATES, INC. AND CONSIDERED TO BE SIGNATURE AND SEAL MAINTAINED INFORMATION MADE AVAILABLE.
DATE: 06/16/2022 BY: SARAH SCOTT

PROFILE SCALE
1" = 4' HORIZONTAL
1" = 4' VERTICAL

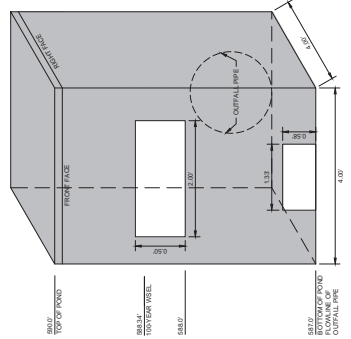
POND 1 - CROSS SECTION 2



POND 1 - CROSS SECTION 1



POND 1 OUTFALL STRUCTURE DETAIL



Detention Pond 1 - Summary Table		
Elevation	Area (sq. ft)	Volume (cu-ft)
587.0	0.30	0.00
588.0	0.44	0.37
589.0	0.52	0.85
590.0	0.60	1.41
591.0	0.68	2.10
592.0	0.76	2.91
593.0	0.84	3.87
594.0	0.92	4.98
595.0	1.00	6.15

Detention Pond 1 - Water Surface Elevation Summary		
Storm Event	Elevation	Volume
2-yr (MRM Cells)	587.70	0.26
10-yr (MRM Cells)	587.93	0.34
25-yr (MRM Cells)	588.10	0.42
100-yr (MRM Cells)	588.34	0.53

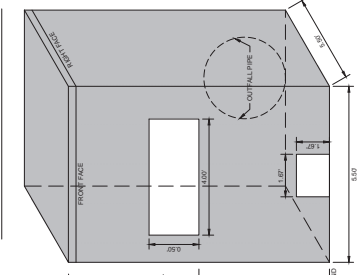
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REA PROJECT
NO. 2103
DATE: JANUARY 2022
DESIGNED BY: AS SHOWN
CHECKED BY: CDH
SCALE: AS SHOWN



Kimley-Horn
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOLAN ROAD, SUITE 700, DALLAS, TX 75240
PHONE: 214.726.1000
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM # 282

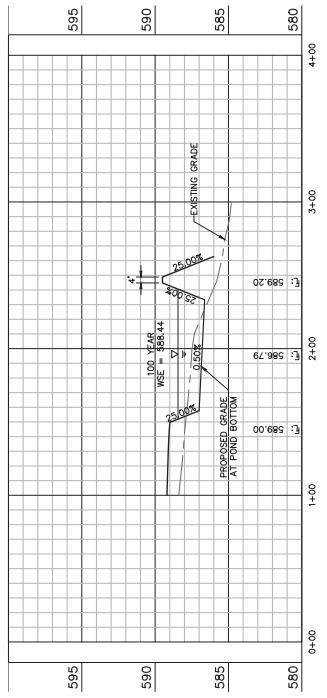
NO.	REVISIONS	DATE	BY



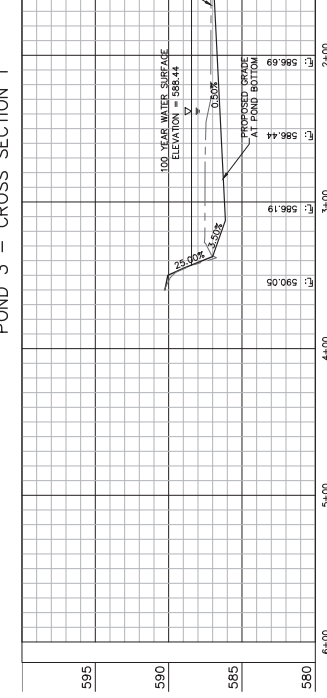
POND 3 OUTFALL STRUCTURE DETAIL

RECORD DRAWING
THIS DRAWING IS FOR RECORD PURPOSES ONLY. ANY CHANGES DURING THE CONSTRUCTION PROCESS REPORTED BY THE CONTRACTOR TO KIMLEY-HORN SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED. INFORMATION MADE AVAILABLE TO THE CONTRACTOR BY KIMLEY-HORN ON 05/19/2023 BY SARAH SCOTT.

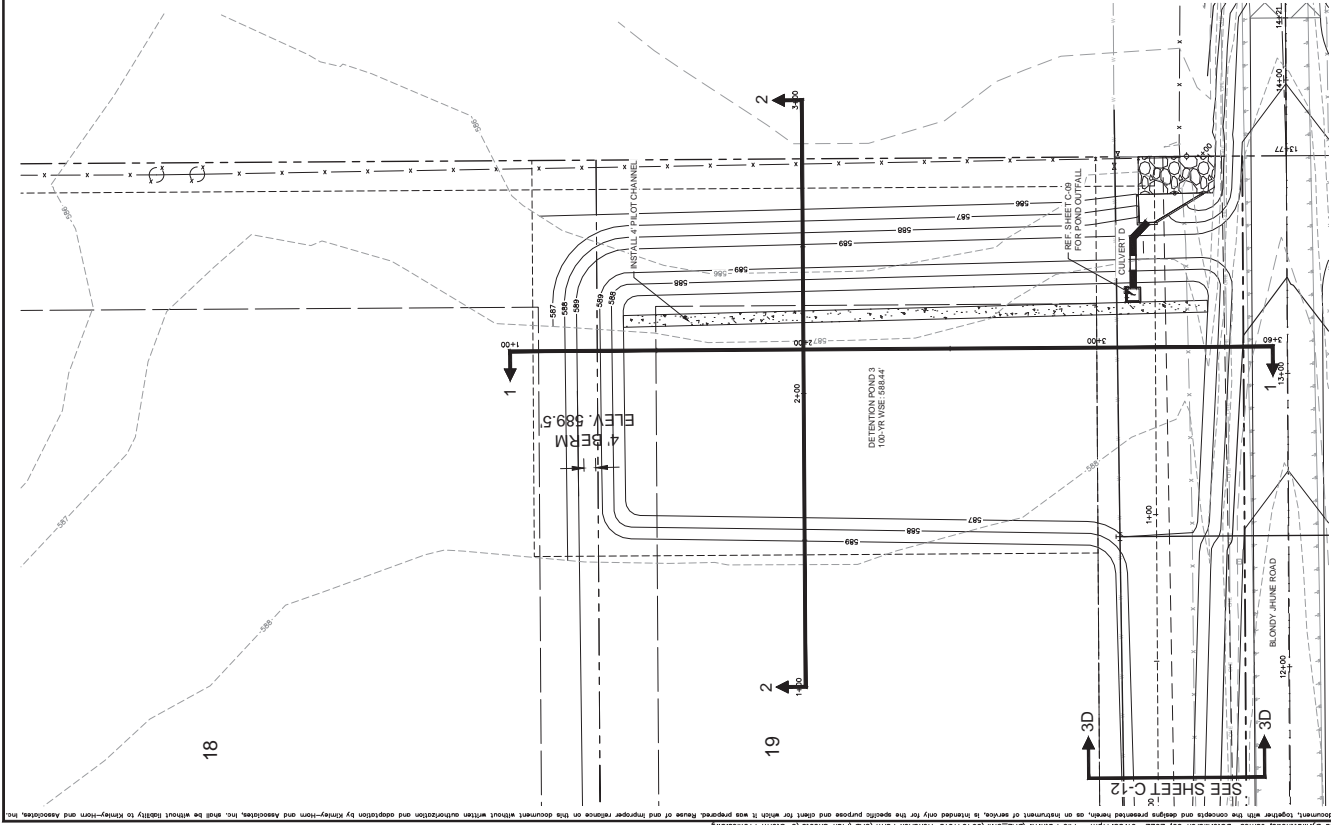
Station	100-Yr WSE (ft)	Proposed Grade (ft)	Existing Grade (ft)
0+00	589.00	589.00	589.00
1+00	588.79	588.79	588.79
2+00	588.20	588.20	588.20
3+00	586.19	586.19	586.19
4+00	586.44	586.44	586.44
5+00	586.94	586.94	586.94
6+00	587.32	587.32	587.32



POND 3 - CROSS SECTION 2



POND 3 - CROSS SECTION 1



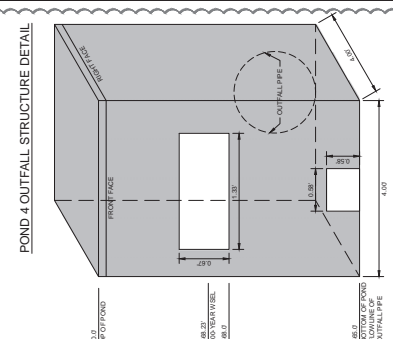
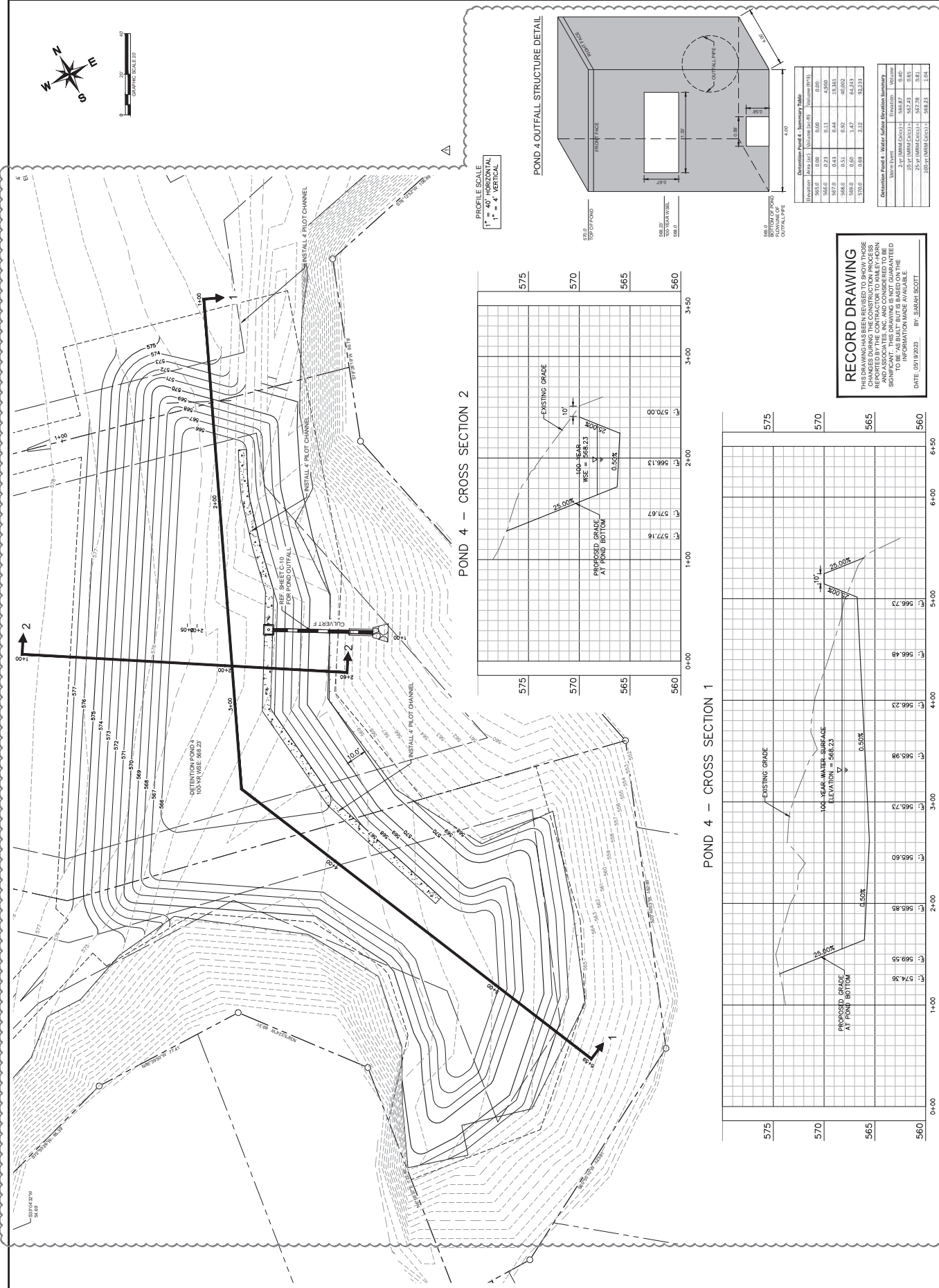
Printed By: J. Smith, Date: 05/19/2023, 01:53:11pm. Path: \\C:\Users\j.smith\OneDrive - Kimley-Horn\Documents\Projects\2103\Drawings\2103-01\2103-01-C-28.dwg. This drawing is for record only. The contractor shall verify the accuracy of all information shown on this drawing. Kimley-Horn and Associates, Inc. shall be held harmless for any errors or omissions on this drawing. Kimley-Horn and Associates, Inc. shall be held harmless for any errors or omissions on this drawing. Kimley-Horn and Associates, Inc. shall be held harmless for any errors or omissions on this drawing.

MA PROJECT
DATE: JANUARY 2022
SCALE: AS SHOWN
DESIGNER: CRP
CHECKED BY: CDH
DRAWN BY: WMM



Kimley-Horn
KIMLEY-HORN AND ASSOCIATES, INC.
1945 NOEL ROAD, SUITE 700, DALLAS, TX 75240
PHONE: 972.750.0000
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM # 2828

NO.	REVISIONS	DATE	BY
	REVISIONS TO GRADING AND CALC'S	5/3/2022	CFM



Extension Pond 4 - Summary Table

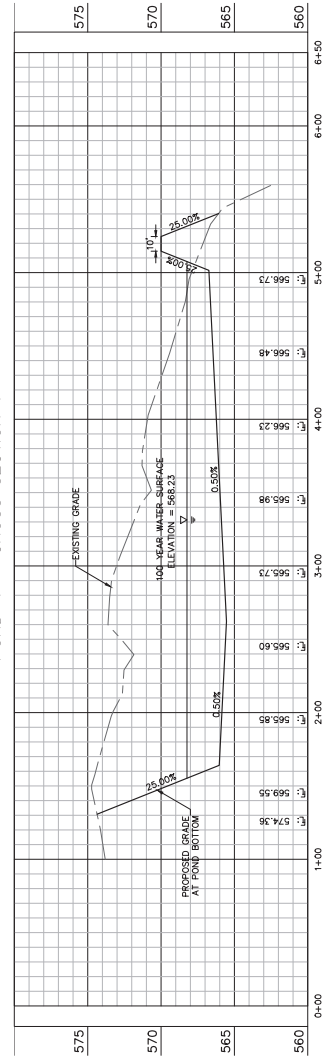
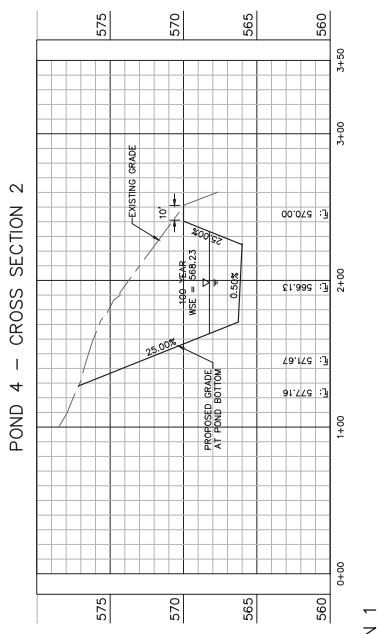
Location	Flow (MGD)	Velocity (ft/s)	Velocity (ft/min)
1565.0	0.06	0.006	0.006
566.0	0.73	0.11	4.200
567.0	0.43	0.44	13.851
568.0	0.02	0.02	0.643
569.0	0.02	0.02	0.643
570.0	0.09	0.12	92.333

Extension Pond 4 - Water Surface Elevation Summary

Storm Event	Elevation	Volume
2-yr (NRMA Calc)	568.87	0.00
5-yr (NRMA Calc)	569.28	0.00
25-yr (NRMA Calc)	569.78	0.00
100-yr (NRMA Calc)	569.23	1.00

RECORD DRAWING
THIS DRAWING HAS BEEN REVIEWED AND APPROVED FOR RECORD DURING THE CONSTRUCTION PROCESS. ANY CHANGES DURING THE CONSTRUCTION PROCESS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE INFORMATION HEREIN IS FOR INFORMATION PURPOSES ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION HEREIN IS NOT GUARANTEED AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE INFORMATION HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION HEREIN IS NOT GUARANTEED AND IS SUBJECT TO CHANGE WITHOUT NOTICE.

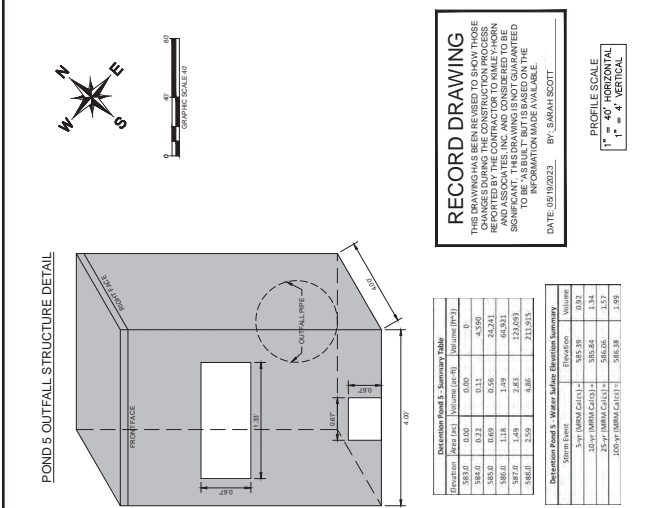
DATE: 05/19/2023 BY: SARAH SCOTT



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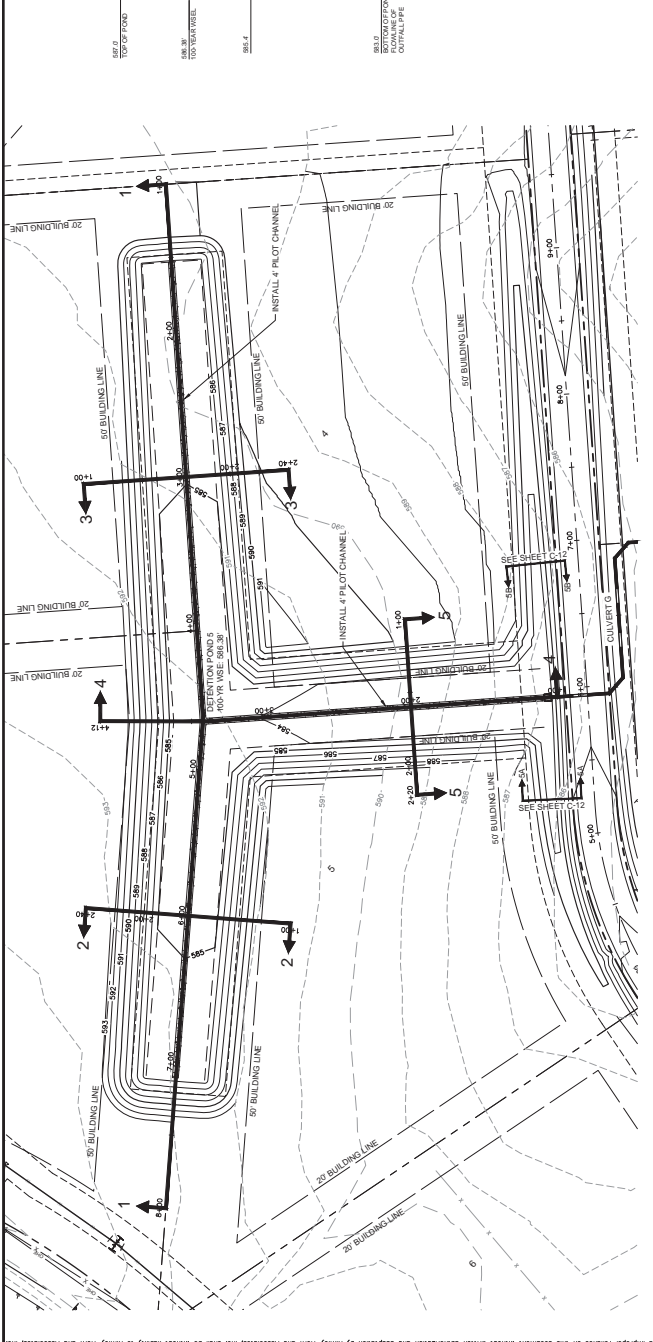
NO.	REVISIONS	DATE	BY



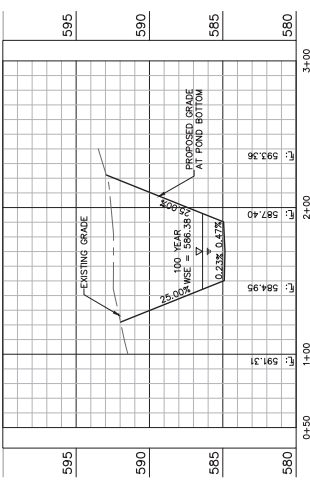
RECORD DRAWING
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DATE: 05/19/2023 BY: JBR/MS/SCOTT

PROFILE SCALE
1" = 40' HORIZONTAL
1" = 4' VERTICAL

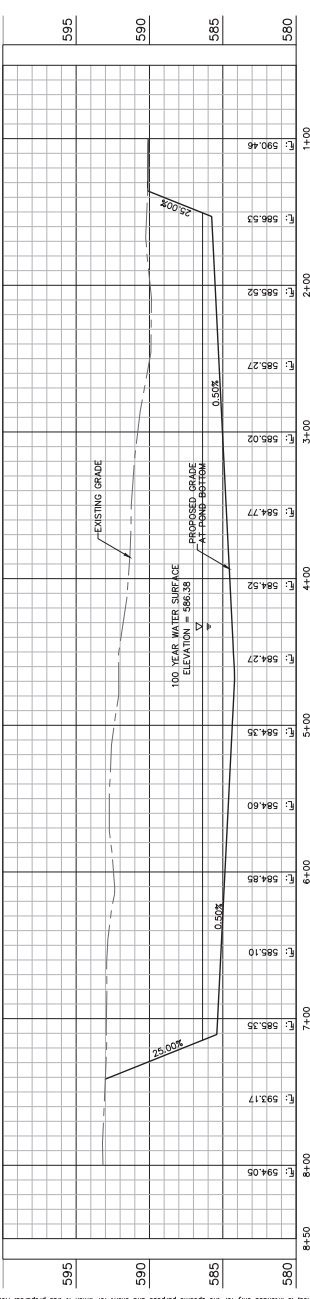
Item	Quantity	Unit	Notes
Excavation	583.0	cu yd	100% (M&M) C401
Concrete	8.00	sq yd	100% (M&M) C401
Rebar	0.22	tons	100% (M&M) C401
Gravel	0.09	cu yd	100% (M&M) C401
Grass	1.48	sq yd	100% (M&M) C401
Soil	2.85	cu yd	100% (M&M) C401
Structure	2.59	sq ft	100% (M&M) C401



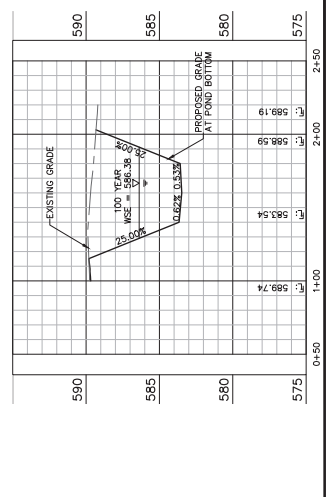
POND 5 - CROSS SECTION 2



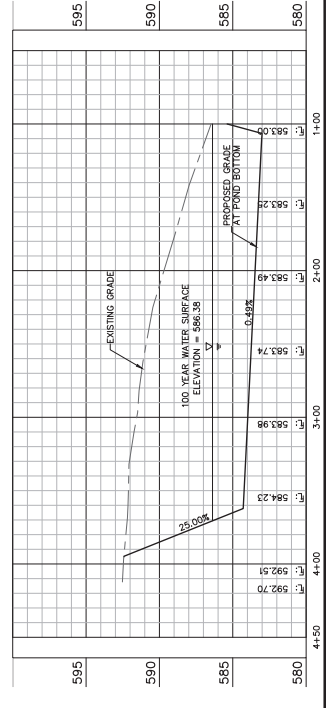
POND 5 - CROSS SECTION 1



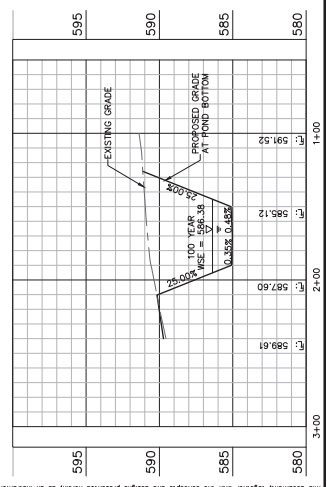
POND 5 - CROSS SECTION 5



POND 5 - CROSS SECTION 4



POND 5 - CROSS SECTION 3



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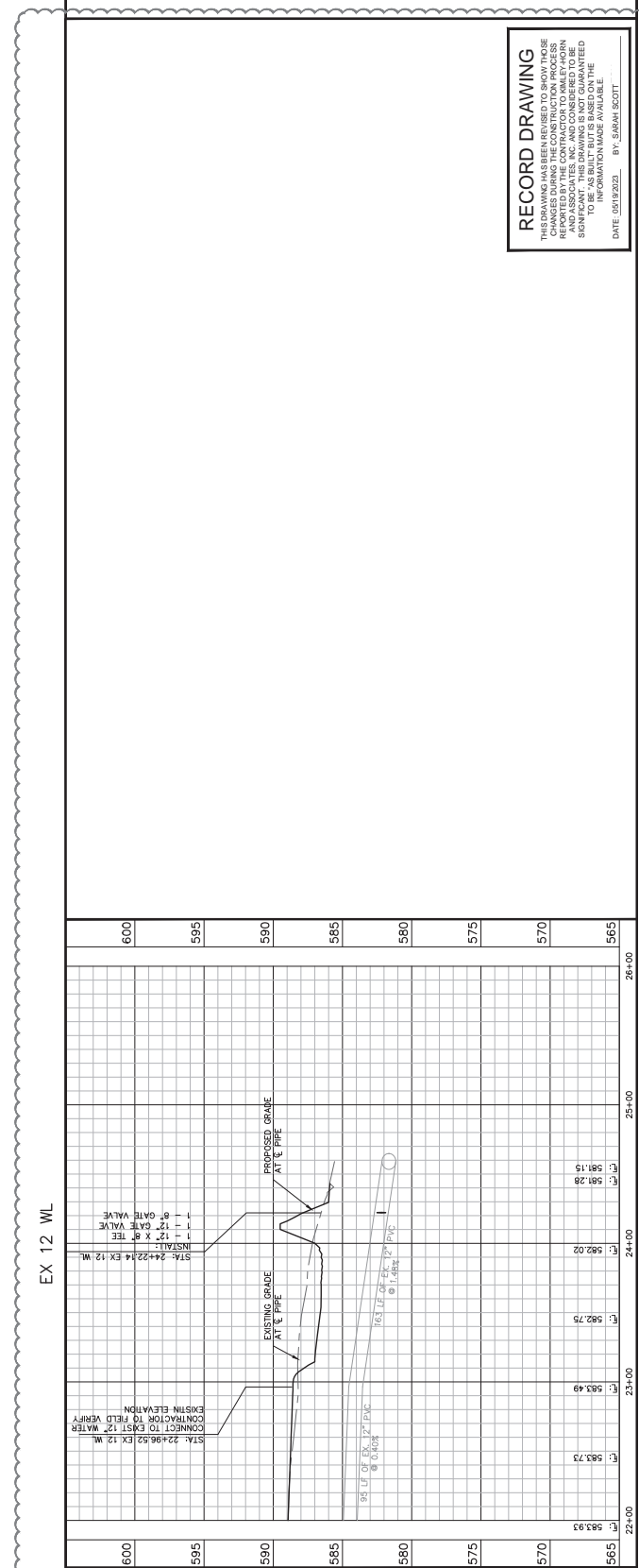


Kimley-Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
13465 NOEL ROAD, SUITE 700, DALLAS, TX 75240
PHONE 972.751.5000
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM # 628

No.	REVISIONS	DATE	BY

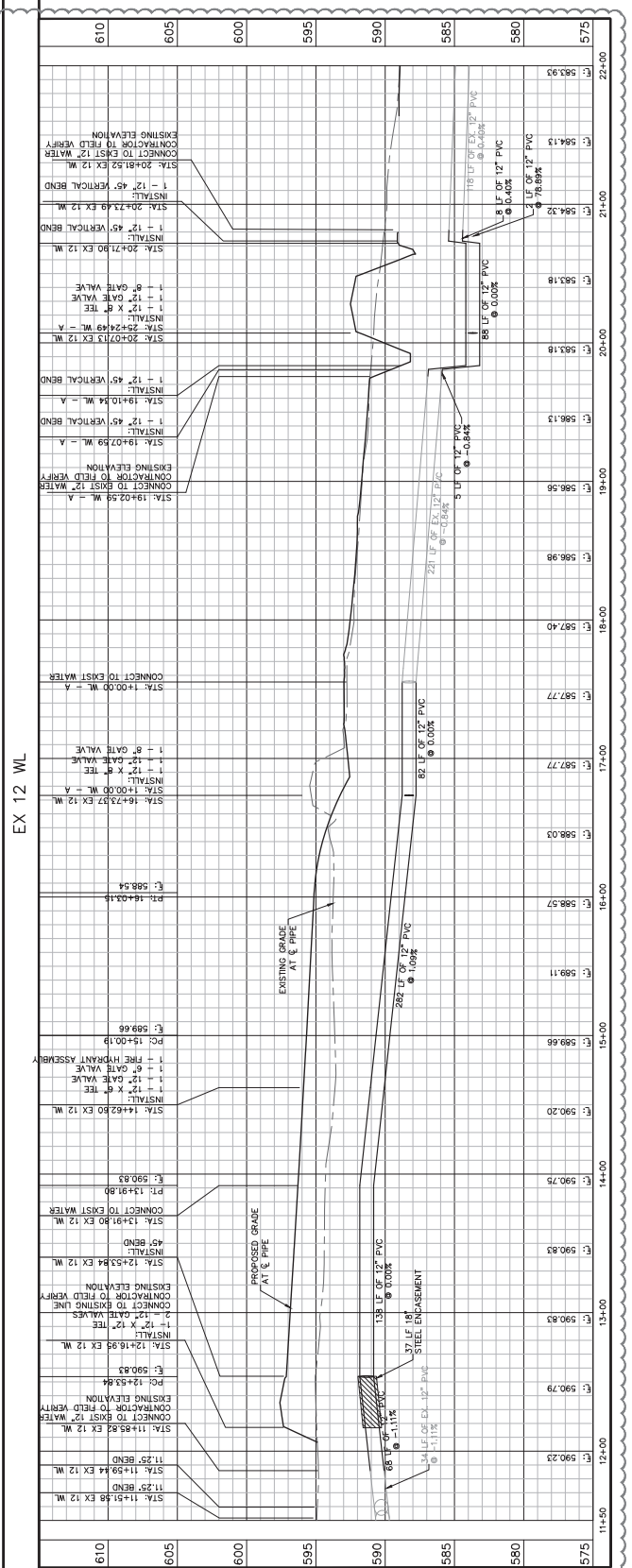
RECORD DRAWING
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PROFILE SCALE
1" = 4' VERTICAL



EX 12 WL

PROFILE SCALE
1" = 4' VERTICAL



EX 12 WL



Kimley-Horn
TEXAS REGISTERED ENGINEERING FIRM # 238
WWW.KIMLEY-HORN.COM
1365 N. HORN ROAD, SUITE 700, DALLAS, TX 75240
PHONE: 972.751.3000

NO.	REVISIONS	DATE

BENCHMARKS

ELEVATIONS BASED ON CITY OF ALLEN GIP CONTROL.

BENCHMARK	ELEVATION
MARKER 101	101.00
MARKER 102	102.00
MARKER 103	103.00
MARKER 104	104.00
MARKER 105	105.00
MARKER 106	106.00
MARKER 107	107.00
MARKER 108	108.00
MARKER 109	109.00
MARKER 110	110.00
MARKER 111	111.00
MARKER 112	112.00
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MARKER 199	199.00
MARKER 200	200.00

RECORD DRAWING

THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES TO THE ORIGINAL DRAWING THAT WERE REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. AND CONSIDERED TO BE NECESSARY TO CORRECT THE DRAWING TO REFLECT THE AS-BUILT CONDITIONS. THIS DRAWING IS TO BE "AS BUILT" BUT IS BASED ON THE INFORMATION MADE AVAILABLE.

DATE: 05/19/2023 BY: SARAH SCOTT

TREE PROTECTION NOTE

REFER TO THE SURVEY/OBSERVATION PLAN FOR PROTECTED TREES AND THE TREE PROTECTION PLAN FOR PROTECTED TREES. ALL TREE PROTECTION SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.

VEGETATIVE STABILIZATION REQUIREMENTS

1. ALL DISTURBED AREAS SHALL BE LEFT UNDISTURBED FOR VEGETATION TO RE-ESTABLISH ITSELF. VEGETATION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

2. VEGETATION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. VEGETATION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

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BMP MAINTENANCE SCHEDULE

1. ALL BMPs SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. BMPs SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

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EROSION CONTROL SCHEDULE AND PHASING

1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.

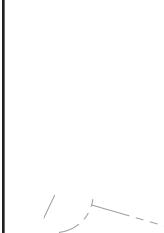
2. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

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STANDARD EROSION CONTROL GENERAL NOTES

- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
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SITE MAP GENERAL NOTES

- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
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VEGETATIVE STABILIZATION REQUIREMENTS

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BMP MAINTENANCE SCHEDULE

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EROSION CONTROL SCHEDULE AND PHASING

1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.

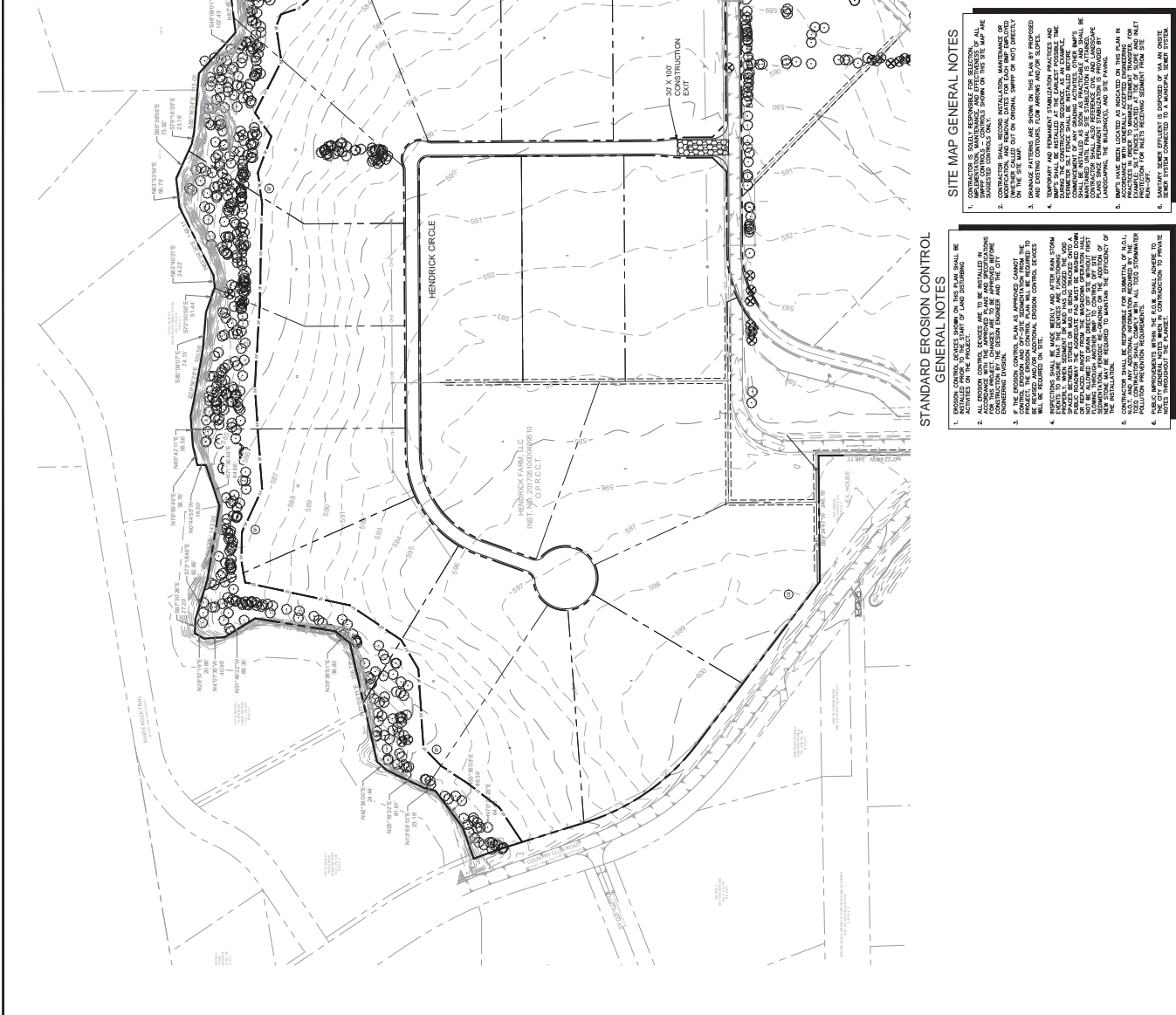
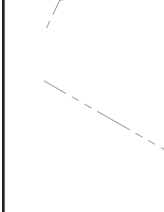
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6. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.



NO.	REVISIONS	DATE	BY

TEXAS REGISTERED ENGINEERING FIRM # 228
 WMM WIMLEY HORN CO. INC.
 1365 ROSEL ROAD, SUITE 700, DALLAS, TX 75240
 PHONE: 214.751.0200
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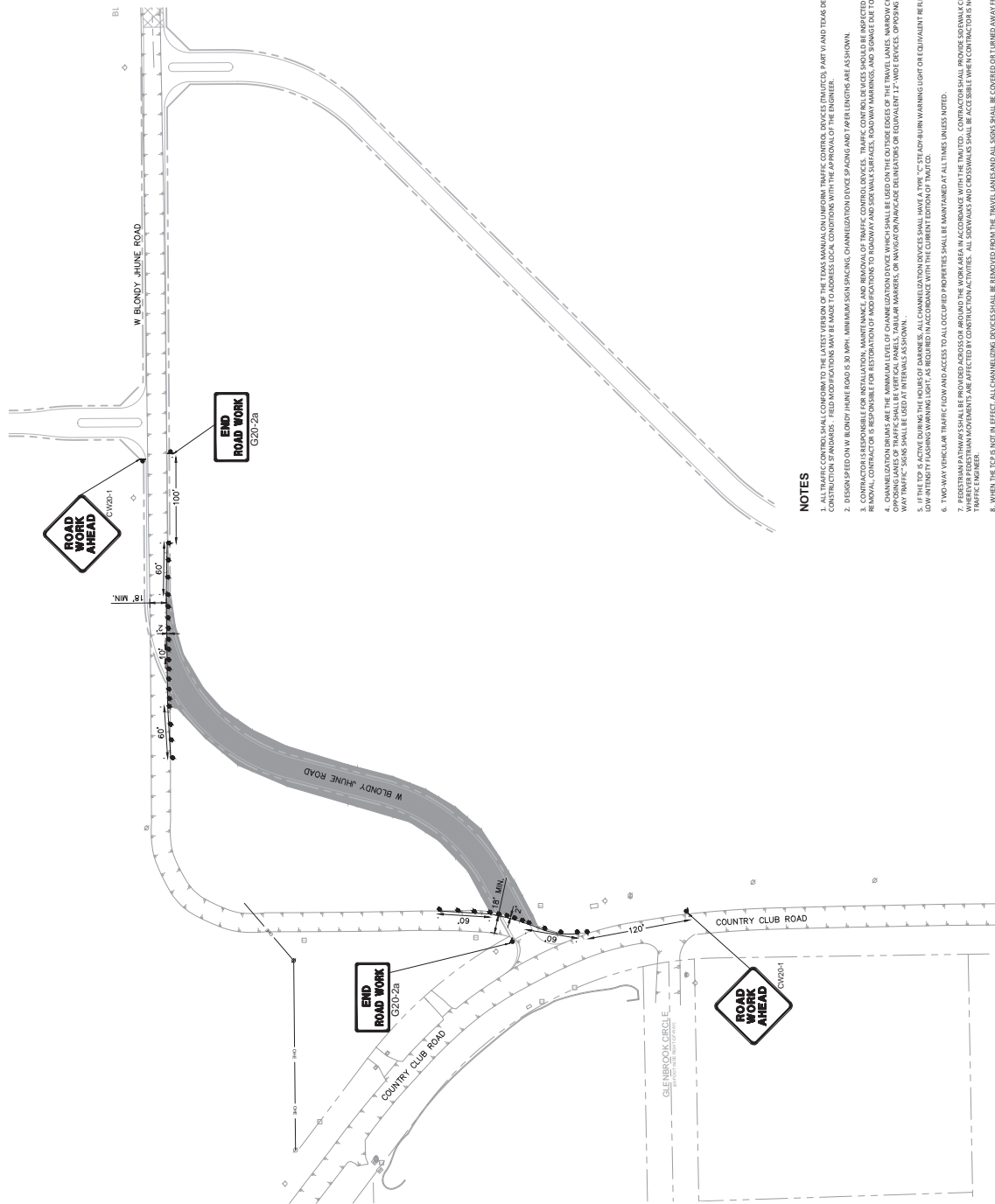
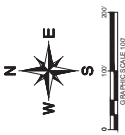
RHA PROJECT
 DATE: JANUARY 2022
 SCALE: AS SHOWN
 DESIGNED BY: CPA
 DRAWN BY: MSJ
 CHECKED BY: SES

TRAFFIC CONTROL PLAN (1 OF 3)

HENDRICK FARM
 CITY OF LUCAS
 COLLIN COUNTY, TEXAS

SHEET NUMBER
 C-41

PHASE 1 NARROW LANES ON W BLONDY JHUNE ROAD



LEGEND

- SIGN
- FLASHING ARROW BOARD
- TYPE 3 BARRICADE
- DIRECTION OF TRAVEL
- WORK AREA
- CENTERLINE DEVICES WITH OTLD

RECORD DRAWING

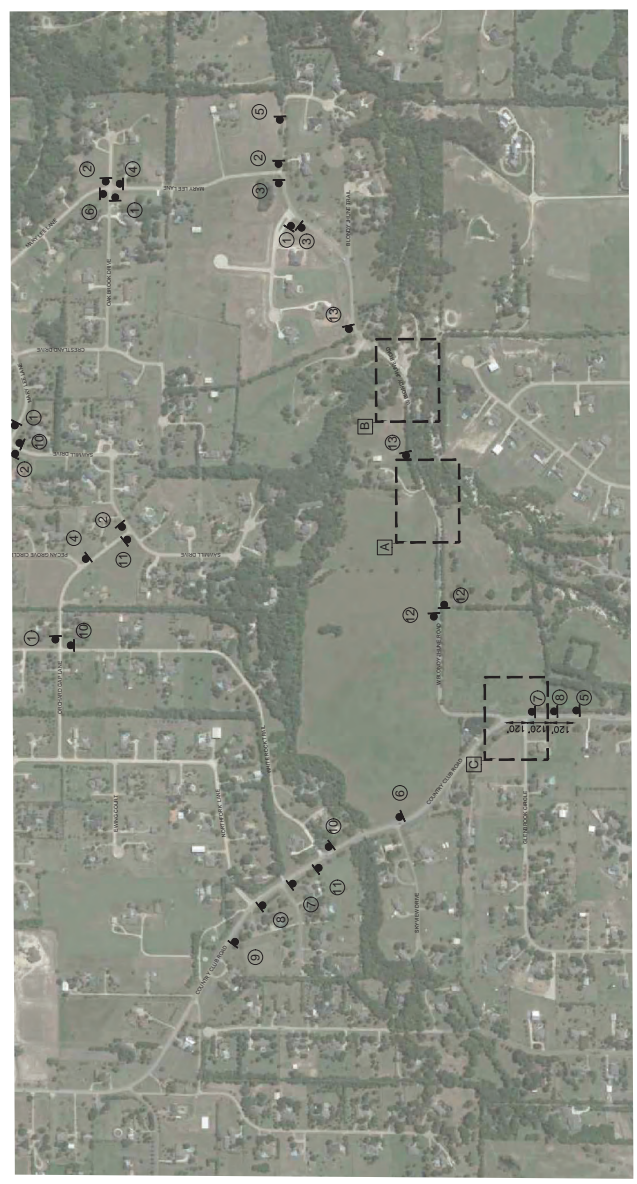
THIS DRAWING HAS BEEN REUSED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS. THE ORIGINAL DRAWING WAS PREPARED BY WMM WIMLEY-HORN AND ASSOCIATES, INC. AND IS CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE ACCURATE AND DOES NOT REPRESENT THE INFORMATION MADE AVAILABLE.

DATE: 06/11/2022 BY: SARAH SCOTT

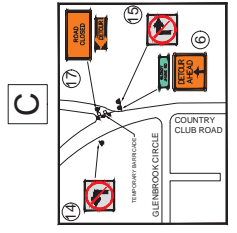
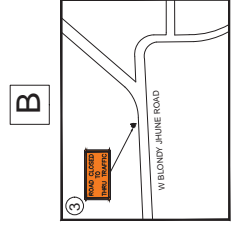
NOTES

- ALL ROAD CONTROL SIGNS SHALL BE THE LATEST VERSION OF THE TEXAS MANUAL ON Uniform Traffic Control Devices (MUTCD). PART VI AND TOURS DEPARTMENT OF TRANSPORTATION (DOT) BARRICADES & CONSTRUCTION SPANNADES. FIELD ADJUSTMENTS MAY BE MADE TO ADDRESS LOCAL CONDITIONS WITH THE APPROVAL OF THE ENGINEER.
- DESIGN SPEED ON W BLONDY JHUNE ROAD IS 30 MPH. MINIMUM SIGN SPACING, CHANNELIZATION DEVICE SPACING AND PAPER LENGTHS ARE AS SHOWN.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, AND REMOVAL OF TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHOULD BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NECESSARY. AFTER REMOVAL, CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF MODIFICATIONS TO ROADWAY AND SIDEWALK SURFACES, ROADWAY MARKINGS, AND SIGNAGE TO TRAFFIC CONTROL DEVICES OR CONSTRUCTION ACTIVITY.
- CHANNELIZATION DEVICES ARE THE MINIMUM LEVEL OF CHANNELIZATION DEVICE WHICH SHALL BE USED ON THE OUTSIDE EDGES OF THE TRAVEL LANES. NARROW CHANNELIZATION DEVICES ON THE CENTERLINE SEPARATING OPPOSITE DIRECTIONS OF TRAFFIC SHALL BE VERTICAL PANELS, TABULAR MARKERS, OR WINGTOP/PANCAKE DELIMITATORS OR EQUIVALENT 12" HIGH DEVICES. OPPOSING TRAFFIC LANE DIVIDER (OTLD) DEVICES WITH ONE-FOURTH DOWN-INTENSITY FLASHING WARNING LIGHTS SHALL BE MAINTAINED THROUGHOUT THE PROJECT. ALL CHANNELIZATION DEVICES SHALL HAVE A TYPE 'C' TOP FOR RAIN WARNING LIGHT OR EQUIVALENT REFLECTOR. AND ALL WARNING SIGNS SHALL HAVE A TYPE 'N' DOWN-INTENSITY FLASHING WARNING LIGHT, AS REQUIRED IN ACCORDANCE WITH THE CURRENT EDITION OF MUTCD.
- TWO-WAY VEHICULAR TRAFFIC FLOW AND ACCESS TO ALL OCCUPIED PROPERTIES SHALL BE MAINTAINED AT ALL TIMES UNLESS NOTED.
- PEDESTRIAN PATHWAYS SHALL BE PROVIDED AROUND THE WORK AREA IN ACCORDANCE WITH THE MUTCD. CONTRACTOR SHALL PROVIDE SEPARATE CLOSURE, CROSSWALK CLOSURE, AND/OR WALKWAY BYPASS WHERE PEDESTRIAN MOVEMENTS ARE AFFECTED BY CONSTRUCTION ACTIVITIES. ALL SEPARABLE AND CROSSWALKS SHALL BE ACCESSIBLE WHEN CONTRACTOR IS NOT WORKING UNLESS OTHERWISE APPROVED BY THE CITY TRAFFIC ENGINEER.
- ALL TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM THE WORK AREA IMMEDIATELY AFTER THE WORK AREA IS RESTORED TO ORIGINAL CONDITIONS. THE ORIGINAL WORK SPACES SHALL BE RESTORED WITH TREE PLACES OR TEMPORARY PAVEMENT. WHERE A SIGN OR PAVEMENT REMAINS RESULTS IN MORE THAN A 2" DROP OFF, AGRADIENT FROM AN ACTIVE TRAVEL LANE, THE EDGE SHALL BE MARKED WITH VERTICAL PANELS OR CHANNELIZATION DEVICES AT 25' SPACING, AND WARNING SIGN CV 8-9a. SHOULDER DROP OFF SHALL BE POSTED 240' IN ADVANCE OF THE DROP OFF CONDITION.

PHASE 2 FULL LANE CLOSURES ON W BLONDY JHUNE ROAD WITH DETOUR



NOT TO SCALE



NOTES

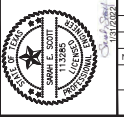
- CONTRACTOR SHALL CONFORM TO THE LATEST EDITION OF THE TEXAS MANUAL ON HIGHWAY TRAFFIC CONTROL. TRAFFIC CONTROL PLAN (TAMP) PART IV AND TEXAS DEPARTMENT OF TRANSPORTATION (TDDOT) SPARKROAD & CONSTRUCTION STANDARDS. FIELD MODIFICATIONS MAY BE MADE TO ADDRESS LOCAL CONDITIONS WITH THE APPROVAL OF THE ENGINEER.
- DESIGN SPEED ON W BLONDY JHUNE ROAD IS 30 MPH. MINIMUM SIGN SPACING, CHANNELIZATION DEVICE SPACING AND TAPE LENGTHS ARE AS SHOWN.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, AND REMOVAL OF TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHOULD BE SUPPLIED ONLY AND REMOVED OR RELOCATED AS NECESSARY. AFTER REMOVAL, CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF MODIFICATIONS TO ROADWAY AND SIDEWALK SURFACES. ROADWAY MARKINGS AND SIGNAGE DUE TO TRAFFIC CONTROL DEVICES OR CONSTRUCTION ACTIVITY. CHANNELIZATION DEVICES ARE THE MINIMUM LEVEL OF CHANNELIZATION DEVICES WHICH SHALL BE USED ON THE OUTSIDE EDGES OF THE TRAFFIC LANES. NARROW CHANNELIZATION DEVICES ON THE CENTERLINE SEPARATING OPPOSING LANES OF TRAFFIC SHALL BE VERTICAL PANELS, TRIANGULAR MARKERS, OR NAVIGATION/NAVIGATOR ILLUMINATORS OR EQUIVALENT 12" WIDE DEVICES. OPPOSING TRAFFIC LANE DIVIDER (TDDOT) DEVICES WITH CW4-T120 LOW INTENSITY FLASHING WARNING SIGNS AS REQUIRED IN ACCORDANCE WITH THE CURRENT EDITION OF TAMP.
- IF THE TOP-ACTIVE SURFACE OF THE ROADWAY IS DAMAGED, ALL CHANNELIZATION DEVICES SHALL HAVE A "TOP-ACTIVE SURFACE" RUBBER MAT OR EQUIVALENT REFLECTOR, AND ALL WARNING SIGNS SHALL HAVE A "TOP-ACTIVE SURFACE" RUBBER MAT OR EQUIVALENT REFLECTOR. ALL CHANNELIZATION DEVICES SHALL BE MAINTAINED AT ALL TIMES UNLESS NOTED.
- PROESTRAN ROADWAYS SHALL BE PROVIDED ACCESS FOR AROUND THE WORK AREA IN ACCORDANCE WITH THE TAMP. CONTRACTOR SHALL PROVIDE SIDEWALK CLOSURE, CROSSWALK CLOSURE, AND/OR SIDEWALK CROSSWALK CLOSURE. WHEREVER PEDESTRIAN MOVEMENTS ARE AFFECTED BY CONSTRUCTION ACTIVITIES, ALL SIDEWALKS AND CROSSWALKS SHALL BE ACCESSIBLE WHEN CONTRACTOR IS NOT WORKING UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE STREET CLOSURE TO PREVENT MOTORISTS FROM ROUTING THROUGH PRIVATE PROPERTY AND LIMITS OF CONSTRUCTION. WHEREVER PEDESTRIAN MOVEMENTS ARE AFFECTED BY CONSTRUCTION ACTIVITIES, ALL SIDEWALKS AND CROSSWALKS SHALL BE ACCESSIBLE WHEN CONTRACTOR IS NOT WORKING UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. ALL SIDEWALKS AND CROSSWALKS SHALL BE ACCESSIBLE WHEN CONTRACTOR IS NOT WORKING UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. WHEREVER PEDESTRIAN MOVEMENTS ARE AFFECTED BY CONSTRUCTION ACTIVITIES, ALL SIDEWALKS AND CROSSWALKS SHALL BE ACCESSIBLE WHEN CONTRACTOR IS NOT WORKING UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. ALL SIDEWALKS AND CROSSWALKS SHALL BE ACCESSIBLE WHEN CONTRACTOR IS NOT WORKING UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- CONTRACTOR TO ENSURE THAT TEMPORARY BARRICADES PROVIDES ADEQUATE STREET CLOSURE TO PREVENT MOTORISTS FROM ROUTING THROUGH PRIVATE PROPERTY AND LIMITS OF CONSTRUCTION. ALL SIDEWALKS AND CROSSWALKS SHALL BE ACCESSIBLE WHEN CONTRACTOR IS NOT WORKING UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. ALL SIDEWALKS AND CROSSWALKS SHALL BE ACCESSIBLE WHEN CONTRACTOR IS NOT WORKING UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- ALL SIGNS ARE SHOWN FOR GRAPHICAL REPRESENTATION ONLY. DISTANCE OF SIGNAGE PLACEMENT FROM TRAVELED WAY TO CONFORM TO CITY OF LUCAS, TDDOT AND MUTCD STANDARDS, WHERE APPLICABLE.

RECORD DRAWING
THIS DRAWING HAS BEEN PREPARED TO SHOW THE CHANGES DURING THE CONSTRUCTION PROCESS. THE ORIGINAL DRAWING IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN AND ASSOCIATES, INC. THE INFORMATION MADE AVAILABLE IS FOR INFORMATION PURPOSES ONLY.

DATE: 05/10/2023 BY: BRAD SCOTT

NO.	REVISIONS	DATE	BY

Kimley-Horn & Associates, Inc.
KIMLEY-HORN AND ASSOCIATES, INC.
1365 NOEL ROAD, SUITE 700, DALLAS, TX 75240
PHONE: 214-751-3000
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM #28



TRAFFIC CONTROL PLAN (2 OF 3)

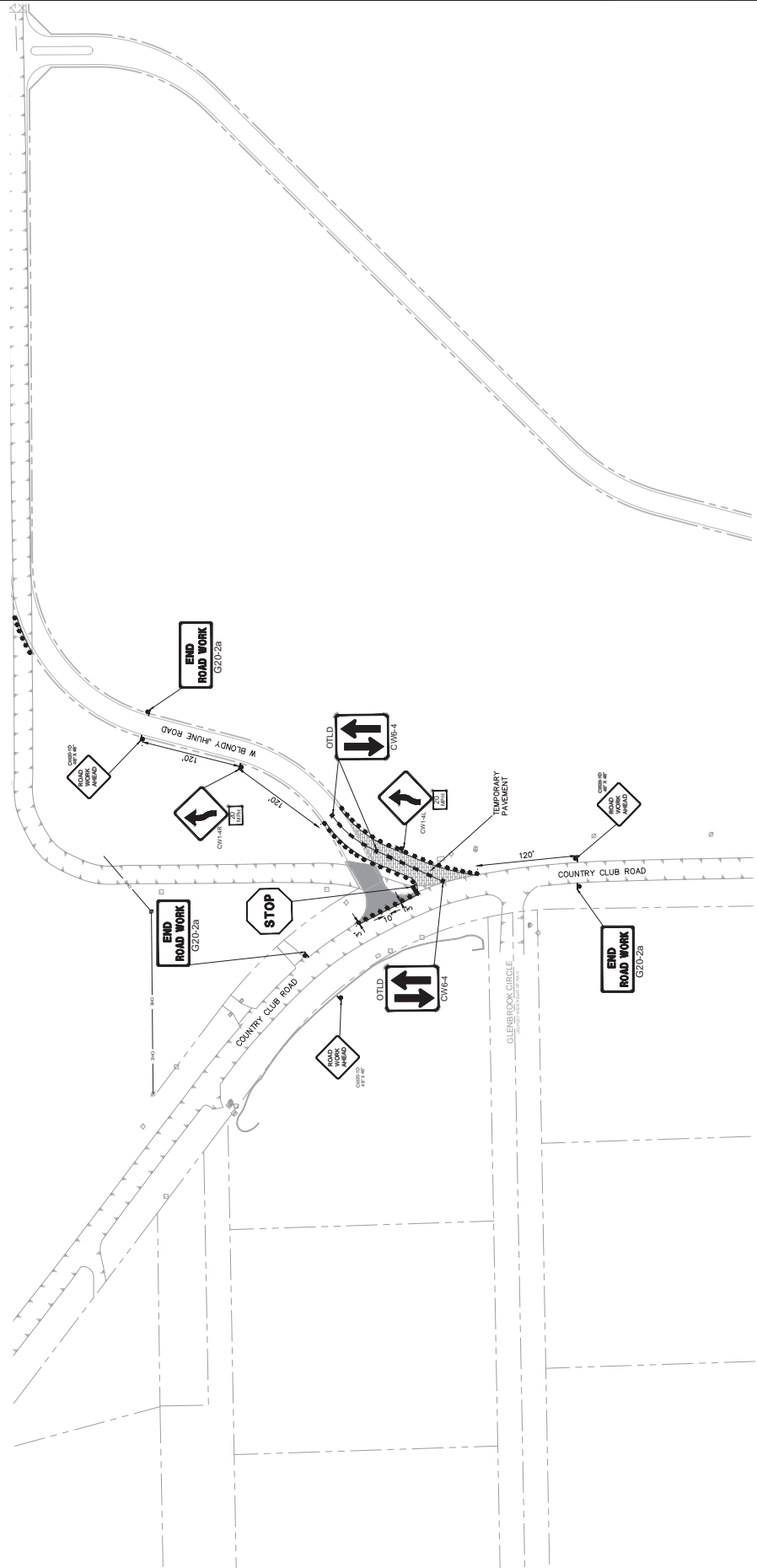
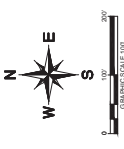
HENDRICK FARM
CITY OF LUCAS
COLLIN COUNTY, TEXAS

CHECKED BY: SES
DESIGNED BY: LML
SCALE: AS SHOWN
DATE: JANUARY 2022
PROJECT: 510 LUKER ROAD

LEGEND

- SGN
- FLASHING ARROW BOARD
- TYPE 3 BARRICADE
- DIRECTION OF TRAVEL
- WORK AREA
- CENTERLINE DEVICES WITH OTLD

**PHASE 3
NARROW LANES ON ON
COUNTRY CLUB ROAD**



NOTES

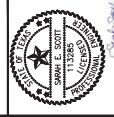
1. ALL TRAFFIC CONTROL SHALL CONFORM TO THE LATEST VERSION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUCD), PART V AND TEXAS DEPARTMENT OF TRANSPORTATION (DOT) BARRICADE & CONSTRUCTION STANDARDS. FIELD MODIFICATIONS MAY BE MADE TO ADDRESS LOCAL CONDITIONS WITH THE APPROVAL OF THE ENGINEER.
2. DESIGN SPEED ON W. BLONDY AVENUE ROAD IS 30 MPH. MINIMUM SIGN SPACING, CHANNELIZATION DEVICE SPACING AND TAPE LENGTHS ARE AS SHOWN.
3. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, AND REMOVAL OF TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHOULD BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NECESSARY. AFTER THE WORK AREA IS COMPLETED, ALL TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM THE WORK AREA AND STORED IN AN APPROPRIATE LOCATION.
4. CHANNELIZATION DEVICES ARE THE MINIMUM LEVEL OF CHANNELIZATION. DEVICE SPACING SHALL BE 50 FT ON THE OUTSIDE EDGE OF THE TRAVEL LANE, MAXIMUM CHANNELIZATION SPACING ON THE CENTERLINE OF OPPOSING LANES OF TRAFFIC SHALL BE VERTICAL PANELS, TABULAR MARKERS, OR NAVIGATOR/NAVIGATOR DIAMETER OR EQUIVALENT 12" WIDE DEVICES, OPPOSING TRAFFIC LANE DIVIDER (OTLD) DEVICES WITH CWB-4, "TWO WAY TRAFFIC" SIGNS SHALL BE USED AT INTERVALS AS SHOWN.
5. IF THE TOP IS ACTIVE DURING THE HOURS OF DARKNESS, ALL CHANNELIZATION DEVICES SHALL HAVE A TYPE "C" STUDY-BURN WARNING LIGHT OR EQUIVALENT REFLECTOR, AND ALL WARNING SIGNS SHALL HAVE A TYPE "A" CONVICTION LIGHT FOR NIGHT VISIBILITY. ALL CHANNELIZATION DEVICES SHALL BE MAINTAINED AT ALL TIMES UNLESS NOTED.
6. TWO-WAY VERTICAL CLEAR TRAFFIC FLOW AND ACCESS TO ALL OCCUPIED PROPERTIES SHALL BE MAINTAINED AT ALL TIMES UNLESS NOTED.
7. ALL TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUCD), PART V AND TEXAS DEPARTMENT OF TRANSPORTATION (DOT) BARRICADE & CONSTRUCTION STANDARDS. FIELD MODIFICATIONS MAY BE MADE TO ADDRESS LOCAL CONDITIONS WITH THE APPROVAL OF THE ENGINEER.
8. WHEN THE TOP IS NOT IN EFFECT, ALL CHANNELIZATION DEVICES SHALL BE REMOVED FROM THE TRAVEL LANES AND ALL SIGNS SHALL BE COVERED OR TURNED AWAY FROM THE DIRECTION OF TRAFFIC. THE TRAVEL LANE SURFACES SHALL BE MAINTAINED IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUCD), PART V AND TEXAS DEPARTMENT OF TRANSPORTATION (DOT) BARRICADE & CONSTRUCTION STANDARDS. FIELD MODIFICATIONS MAY BE MADE TO ADDRESS LOCAL CONDITIONS WITH THE APPROVAL OF THE ENGINEER.

RECORD DRAWING
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HENDRICK FARM
CITY OF LUCAS
COLLIN COUNTY, TEXAS

TRAFFIC CONTROL PLAN
(3 OF 3)

REA PROJECT	DATE
BOOK TITLE	SCALE: AS SHOWN
DESIGNED BY	DESIGNED BY
CHECKED BY	SCALE: AS SHOWN
DATE	DATE
REVISIONS	REVISIONS



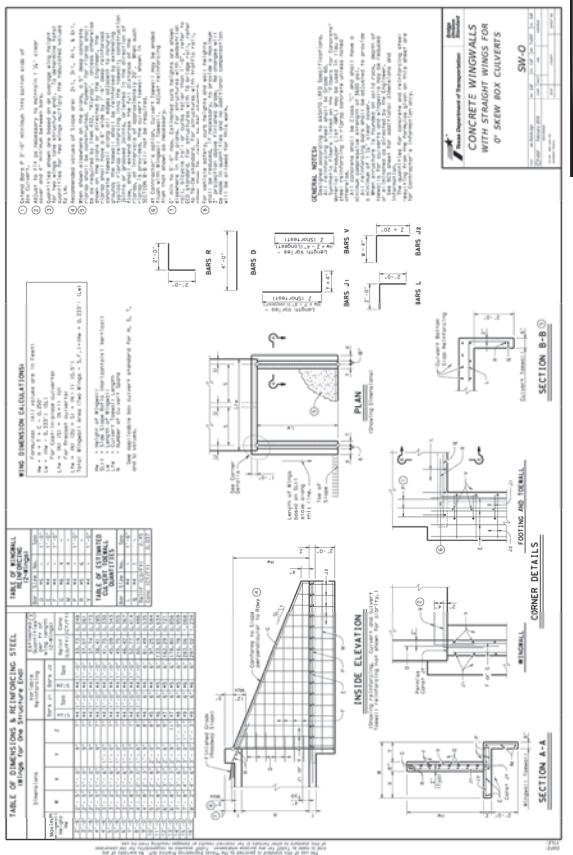
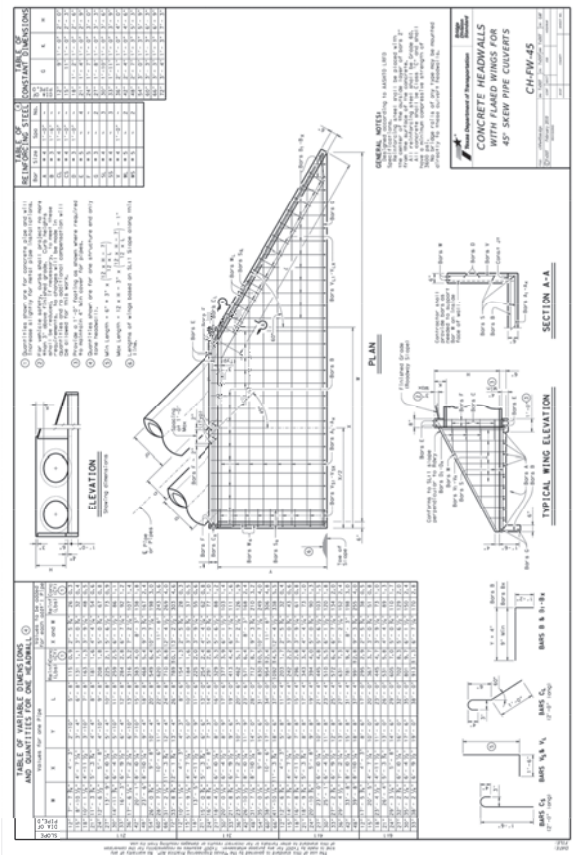
Kimley-Horn
KIMLEY-HORN AND ASSOCIATES, INC.
1365 NOEL ROAD, SUITE 700, DALLAS, TX 75240
PHONE: 214-751-3000
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM # 228

No.	REVISIONS	DATE	BY

SHEET NUMBER
C-43

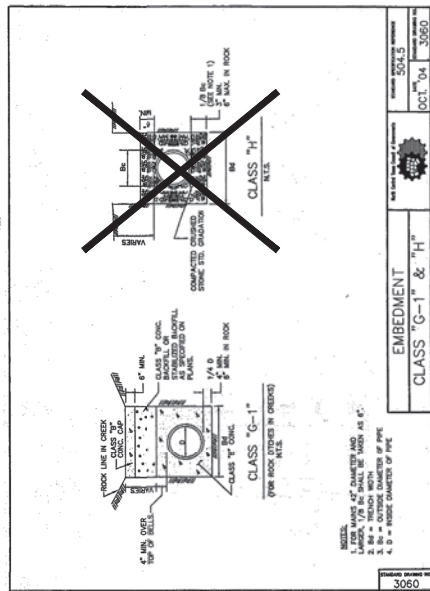
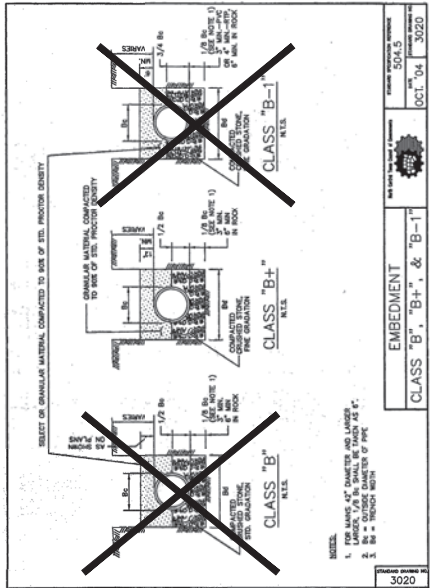


DATE	01/20/22
PROJECT	HKA PROJECT
DRAWN BY	CRS
DESIGNED BY	CRS
SCALE	AS SHOWN

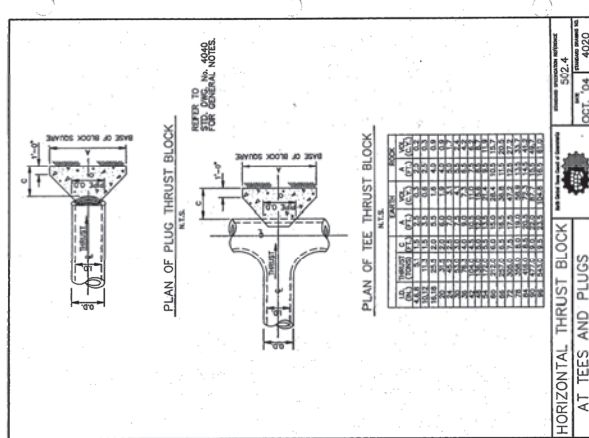


RECORD DRAWING
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RECORD DRAWING
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DATE: 10/11/2022 BY: JARAH SCOTT



TABLES OF DIMENSIONS AND QUANTITIES

HORIZONTAL THRUST BEND AT PIPE BEND

REINFORCEMENT: 504.4

DATE: OCT. '04 4010C

A	A = 48" 3/4"		A = 60"		A = 72" 3/4"		A = 84"		A = 96"		A = 108"		A = 120"	
	AREA (SQ. FT.)	VOLUME (CU. YD.)	AREA (SQ. FT.)	VOLUME (CU. YD.)	AREA (SQ. FT.)	VOLUME (CU. YD.)	AREA (SQ. FT.)	VOLUME (CU. YD.)	AREA (SQ. FT.)	VOLUME (CU. YD.)	AREA (SQ. FT.)	VOLUME (CU. YD.)	AREA (SQ. FT.)	VOLUME (CU. YD.)
18	1.80	0.10	3.60	0.20	5.40	0.30	7.20	0.40	9.00	0.50	10.80	0.60	12.60	0.70
24	2.40	0.13	4.80	0.27	7.20	0.40	9.60	0.53	12.00	0.67	14.40	0.80	16.80	0.93
30	3.00	0.16	6.00	0.34	9.00	0.53	12.00	0.70	15.00	0.87	18.00	1.00	21.00	1.13
36	3.60	0.19	7.20	0.41	10.80	0.60	14.40	0.77	18.00	0.94	21.60	1.17	25.20	1.27
42	4.20	0.22	8.40	0.48	12.60	0.67	17.00	0.84	21.00	1.01	25.20	1.24	28.80	1.34
48	4.80	0.25	9.60	0.55	14.40	0.74	19.00	0.91	24.00	1.08	28.80	1.31	32.40	1.41
54	5.40	0.28	10.80	0.62	16.20	0.81	21.00	0.98	27.00	1.15	32.40	1.38	36.00	1.48
60	6.00	0.31	12.00	0.69	18.00	0.88	23.00	1.05	30.00	1.22	36.00	1.45	39.60	1.55
66	6.60	0.34	13.20	0.76	19.80	0.95	25.00	1.12	33.00	1.29	39.60	1.52	43.20	1.62
72	7.20	0.37	14.40	0.83	21.60	1.02	27.00	1.19	36.00	1.36	43.20	1.59	46.80	1.69
78	7.80	0.40	15.60	0.90	23.40	1.09	29.00	1.26	39.00	1.43	46.80	1.66	50.40	1.76
84	8.40	0.43	16.80	0.97	25.20	1.16	31.00	1.33	42.00	1.50	50.40	1.73	54.00	1.83
90	9.00	0.46	18.00	1.04	27.00	1.23	33.00	1.40	45.00	1.57	54.00	1.80	57.60	1.90
96	9.60	0.49	19.20	1.11	28.80	1.30	35.00	1.47	48.00	1.64	57.60	1.87	61.20	1.97
102	10.20	0.52	20.40	1.18	30.60	1.37	37.00	1.54	51.00	1.71	61.20	1.94	64.80	2.04
108	10.80	0.55	21.60	1.25	32.40	1.44	39.00	1.61	54.00	1.78	64.80	2.01	68.40	2.11
114	11.40	0.58	22.80	1.32	34.20	1.51	41.00	1.68	57.00	1.85	68.40	2.08	72.00	2.18
120	12.00	0.61	24.00	1.39	36.00	1.58	43.00	1.75	60.00	1.92	72.00	2.15	75.60	2.25

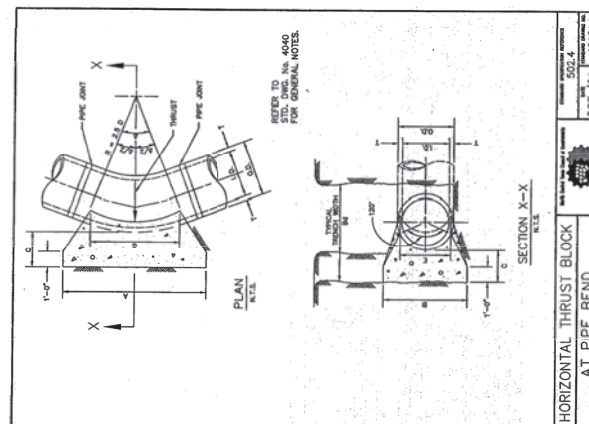
TABLES OF DIMENSIONS AND QUANTITIES

HORIZONTAL THRUST BLOCK AT PIPE BEND

REINFORCEMENT: 502.4

DATE: OCT. '04 4010B

A	A = 48" 3/4"		A = 60"		A = 72" 3/4"		A = 84"		A = 96"		A = 108"		A = 120"	
	AREA (SQ. FT.)	VOLUME (CU. YD.)	AREA (SQ. FT.)	VOLUME (CU. YD.)	AREA (SQ. FT.)	VOLUME (CU. YD.)	AREA (SQ. FT.)	VOLUME (CU. YD.)	AREA (SQ. FT.)	VOLUME (CU. YD.)	AREA (SQ. FT.)	VOLUME (CU. YD.)	AREA (SQ. FT.)	VOLUME (CU. YD.)
18	1.80	0.10	3.60	0.20	5.40	0.30	7.20	0.40	9.00	0.50	10.80	0.60	12.60	0.70
24	2.40	0.13	4.80	0.27	7.20	0.40	9.60	0.53	12.00	0.67	14.40	0.80	16.80	0.93
30	3.00	0.16	6.00	0.34	9.00	0.53	12.00	0.70	15.00	0.87	18.00	1.00	21.00	1.13
36	3.60	0.19	7.20	0.41	10.80	0.60	14.40	0.77	18.00	0.94	21.60	1.17	25.20	1.27
42	4.20	0.22	8.40	0.48	12.60	0.67	17.00	0.84	21.00	1.01	25.20	1.24	28.80	1.34
48	4.80	0.25	9.60	0.55	14.40	0.74	19.00	0.91	24.00	1.08	28.80	1.31	32.40	1.41
54	5.40	0.28	10.80	0.62	16.20	0.81	21.00	0.98	27.00	1.15	32.40	1.38	36.00	1.48
60	6.00	0.31	12.00	0.69	18.00	0.88	23.00	1.05	30.00	1.22	36.00	1.45	39.60	1.55
66	6.60	0.34	13.20	0.76	19.80	0.95	25.00	1.12	33.00	1.29	39.60	1.52	43.20	1.62
72	7.20	0.37	14.40	0.83	21.60	1.02	27.00	1.19	36.00	1.36	43.20	1.59	46.80	1.69
78	7.80	0.40	15.60	0.90	23.40	1.09	29.00	1.26	39.00	1.43	46.80	1.66	50.40	1.76
84	8.40	0.43	16.80	0.97	25.20	1.16	31.00	1.33	42.00	1.50	50.40	1.73	54.00	1.83
90	9.00	0.46	18.00	1.04	27.00	1.23	33.00	1.40	45.00	1.57	54.00	1.80	57.60	1.90
96	9.60	0.49	19.20	1.11	28.80	1.30	35.00	1.47	48.00	1.64	57.60	1.87	61.20	1.97
102	10.20	0.52	20.40	1.18	30.60	1.37	37.00	1.54	51.00	1.71	61.20	1.94	64.80	2.04
108	10.80	0.55	21.60	1.25	32.40	1.44	39.00	1.61	54.00	1.78	64.80	2.01	68.40	2.11
114	11.40	0.58	22.80	1.32	34.20	1.51	41.00	1.68	57.00	1.85	68.40	2.08	72.00	2.18
120	12.00	0.61	24.00	1.39	36.00	1.58	43.00	1.75	60.00	1.92	72.00	2.15	75.60	2.25



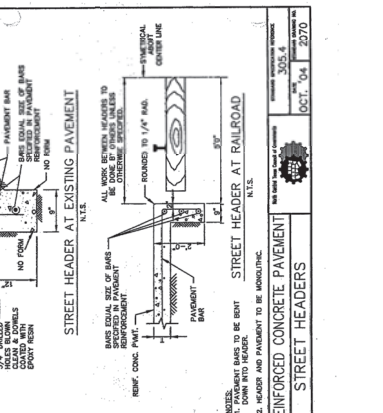
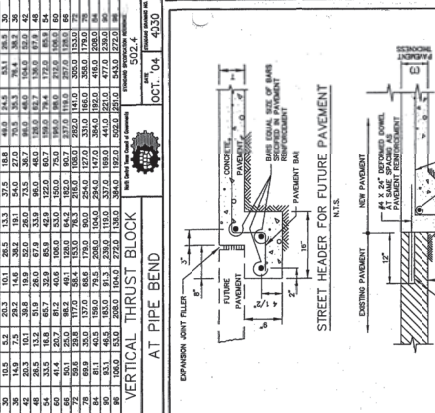
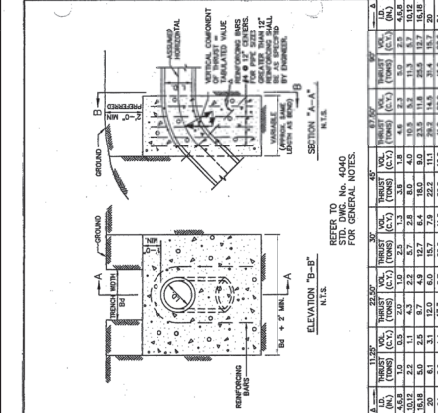
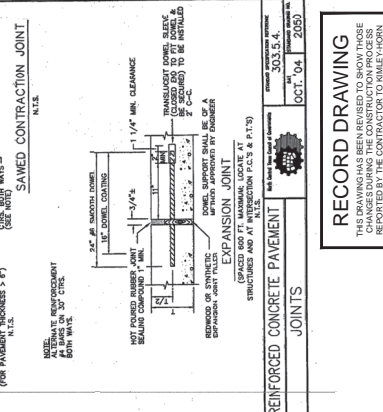
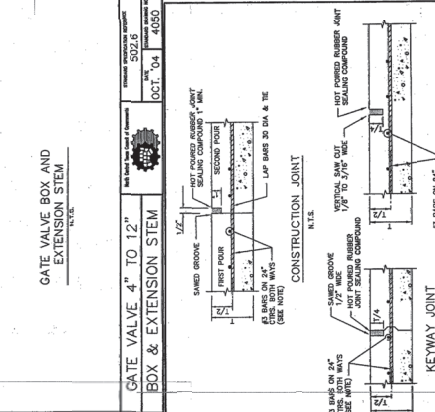
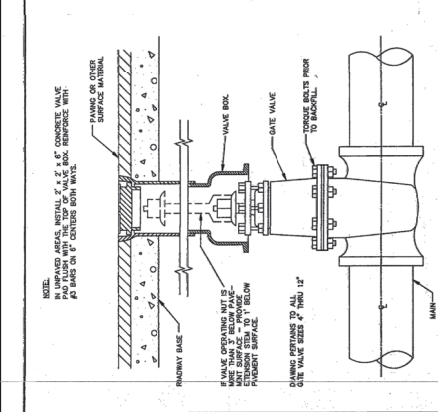
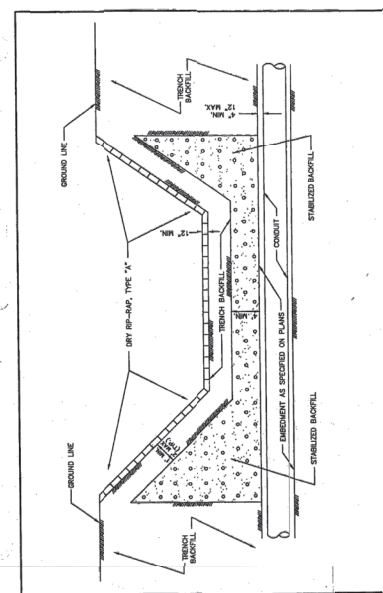
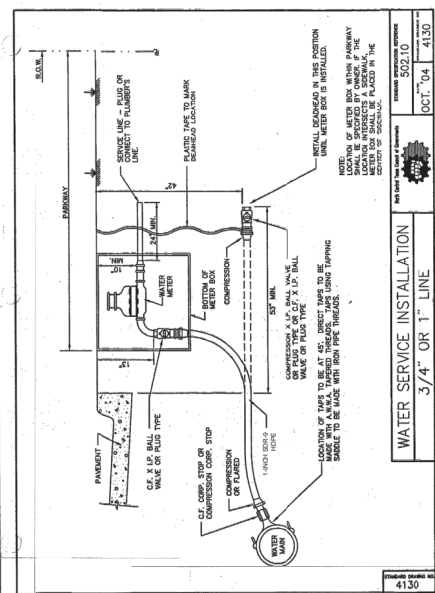
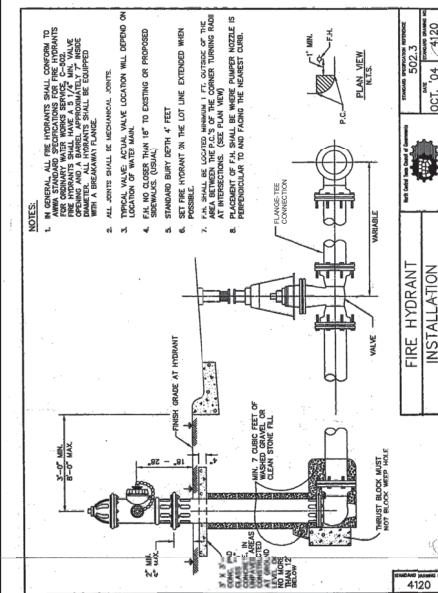
GENERAL NOTES FOR ALL THRUST BLOCKS:

- CONCRETE FOR BLOOMING SHALL BE CLASS "C".
- ALL CALCULATIONS ARE BASED ON INTERNAL PRESSURE OF 200 PSF FOR DUCTILE IRON, P.V.C., AND 150 PSF FOR CONCRETE PIPE.
- VOLUMES OF THRUST BLOCKS ARE THE VOLUMES OF CONCRETE EQUAL TO THE VOLUME OF PIPE. THE VOLUME OF CONCRETE SHALL BE EQUAL TO THE VOLUME OF PIPE. THE VOLUME OF CONCRETE SHALL NOT BE LESS THAN SHOWN HERE.
- WALL THICKNESS (T) ASSUMED HERE FOR ESTIMATING PURPOSES ONLY.
- POUR CONCRETE FOR BLOCK AGAINST UNDISTURBED EARTH.
- CONCRETE SHALL BE ENCASED. THE VOLUME OF CONCRETE BLOOMING SHALL NOT BE LESS THAN SHOWN HERE.
- THE SOIL BERING PROCEDURES ARE BASED ON 1000 LBS./SQ. FT. IN SOIL AND USE POLYETHYLENE WRAP OR EQUAL BETWEEN CONCRETE AND SOIL. SEE OR USE POLYETHYLENE WRAP OR EQUAL BETWEEN CONCRETE AND SOIL. SEE OR USE POLYETHYLENE WRAP OR EQUAL BETWEEN CONCRETE AND SOIL.
- PLUG TO PREVENT THE CONCRETE FROM SETTING TO IT.
- CONCRETE SHALL NOT EXTEND BEYOND JOINTS.

THRUST BLOCK GENERAL NOTES

REINFORCEMENT: 502.4

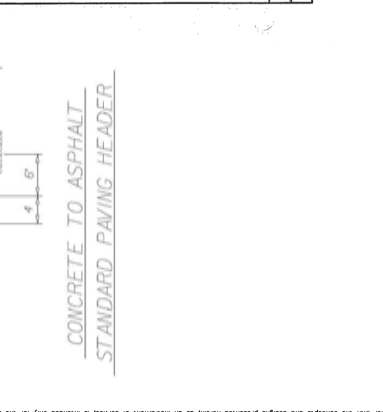
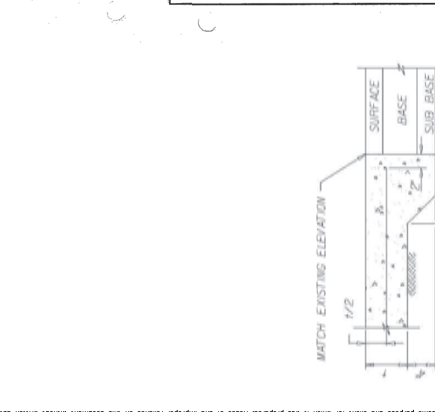
DATE: OCT. '04 4040



VERTICAL THRUST BLOCK AT PIPE BEND

REFER TO AN 8454 FOR GENERAL NOTES.

NO.	DIAM.	DEPTH	THICKNESS	MIN. CONC.	MIN. CONC.	MIN. CONC.	MIN. CONC.	MIN. CONC.	MIN. CONC.	MIN. CONC.	MIN. CONC.	MIN. CONC.	MIN. CONC.	MIN. CONC.	MIN. CONC.	MIN. CONC.
1	12"	2'	12"	4.0	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0	8.5	9.0	9.5	10.0
2	14"	2'	14"	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0	8.5	9.0	9.5	10.0	10.5
3	16"	2'	16"	5.0	5.5	6.0	6.5	7.0	7.5	8.0	8.5	9.0	9.5	10.0	10.5	11.0
4	18"	2'	18"	5.5	6.0	6.5	7.0	7.5	8.0	8.5	9.0	9.5	10.0	10.5	11.0	11.5
5	20"	2'	20"	6.0	6.5	7.0	7.5	8.0	8.5	9.0	9.5	10.0	10.5	11.0	11.5	12.0
6	22"	2'	22"	6.5	7.0	7.5	8.0	8.5	9.0	9.5	10.0	10.5	11.0	11.5	12.0	12.5
7	24"	2'	24"	7.0	7.5	8.0	8.5	9.0	9.5	10.0	10.5	11.0	11.5	12.0	12.5	13.0
8	26"	2'	26"	7.5	8.0	8.5	9.0	9.5	10.0	10.5	11.0	11.5	12.0	12.5	13.0	13.5
9	28"	2'	28"	8.0	8.5	9.0	9.5	10.0	10.5	11.0	11.5	12.0	12.5	13.0	13.5	14.0
10	30"	2'	30"	8.5	9.0	9.5	10.0	10.5	11.0	11.5	12.0	12.5	13.0	13.5	14.0	14.5
11	32"	2'	32"	9.0	9.5	10.0	10.5	11.0	11.5	12.0	12.5	13.0	13.5	14.0	14.5	15.0
12	34"	2'	34"	9.5	10.0	10.5	11.0	11.5	12.0	12.5	13.0	13.5	14.0	14.5	15.0	15.5
13	36"	2'	36"	10.0	10.5	11.0	11.5	12.0	12.5	13.0	13.5	14.0	14.5	15.0	15.5	16.0
14	38"	2'	38"	10.5	11.0	11.5	12.0	12.5	13.0	13.5	14.0	14.5	15.0	15.5	16.0	16.5
15	40"	2'	40"	11.0	11.5	12.0	12.5	13.0	13.5	14.0	14.5	15.0	15.5	16.0	16.5	17.0
16	42"	2'	42"	11.5	12.0	12.5	13.0	13.5	14.0	14.5	15.0	15.5	16.0	16.5	17.0	17.5
17	44"	2'	44"	12.0	12.5	13.0	13.5	14.0	14.5	15.0	15.5	16.0	16.5	17.0	17.5	18.0
18	46"	2'	46"	12.5	13.0	13.5	14.0	14.5	15.0	15.5	16.0	16.5	17.0	17.5	18.0	18.5
19	48"	2'	48"	13.0	13.5	14.0	14.5	15.0	15.5	16.0	16.5	17.0	17.5	18.0	18.5	19.0
20	50"	2'	50"	13.5	14.0	14.5	15.0	15.5	16.0	16.5	17.0	17.5	18.0	18.5	19.0	19.5
21	52"	2'	52"	14.0	14.5	15.0	15.5	16.0	16.5	17.0	17.5	18.0	18.5	19.0	19.5	20.0
22	54"	2'	54"	14.5	15.0	15.5	16.0	16.5	17.0	17.5	18.0	18.5	19.0	19.5	20.0	20.5
23	56"	2'	56"	15.0	15.5	16.0	16.5	17.0	17.5	18.0	18.5	19.0	19.5	20.0	20.5	21.0
24	58"	2'	58"	15.5	16.0	16.5	17.0	17.5	18.0	18.5	19.0	19.5	20.0	20.5	21.0	21.5
25	60"	2'	60"	16.0	16.5	17.0	17.5	18.0	18.5	19.0	19.5	20.0	20.5	21.0	21.5	22.0
26	62"	2'	62"	16.5	17.0	17.5	18.0	18.5	19.0	19.5	20.0	20.5	21.0	21.5	22.0	22.5
27	64"	2'	64"	17.0	17.5	18.0	18.5	19.0	19.5	20.0	20.5	21.0	21.5	22.0	22.5	23.0
28	66"	2'	66"	17.5	18.0	18.5	19.0	19.5	20.0	20.5	21.0	21.5	22.0	22.5	23.0	23.5
29	68"	2'	68"	18.0	18.5	19.0	19.5	20.0	20.5	21.0	21.5	22.0	22.5	23.0	23.5	24.0
30	70"	2'	70"	18.5	19.0	19.5	20.0	20.5	21.0	21.5	22.0	22.5	23.0	23.5	24.0	24.5
31	72"	2'	72"	19.0	19.5	20.0	20.5	21.0	21.5	22.0	22.5	23.0	23.5	24.0	24.5	25.0
32	74"	2'	74"	19.5	20.0	20.5	21.0	21.5	22.0	22.5	23.0	23.5	24.0	24.5	25.0	25.5
33	76"	2'	76"	20.0	20.5	21.0	21.5	22.0	22.5	23.0	23.5	24.0	24.5	25.0	25.5	26.0
34	78"	2'	78"	20.5	21.0	21.5	22.0	22.5	23.0	23.5	24.0	24.5	25.0	25.5	26.0	26.5
35	80"	2'	80"	21.0	21.5	22.0	22.5	23.0	23.5	24.0	24.5	25.0	25.5	26.0	26.5	27.0

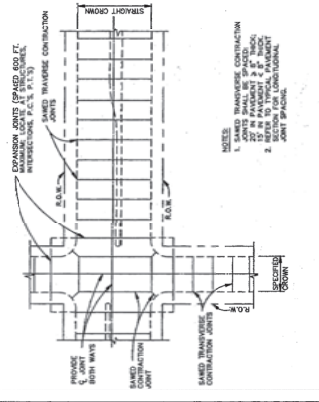




NO.	REVISIONS	DATE

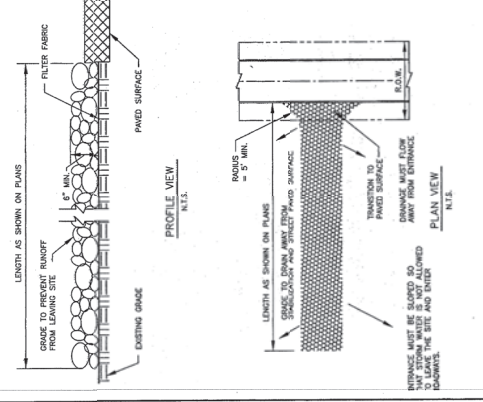
RECORD DRAWING
THIS DRAWING HAS BEEN REVISIONED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS. THE ORIGINAL DRAWING IS THE BASIS FOR THE CONSTRUCTION OF THIS PROJECT. ANY CHANGES MADE TO THIS DRAWING SHALL BE AS BUILT. THIS INFORMATION IS FOR YOUR INFORMATION AND IS NOT TO BE USED FOR ANY OTHER PROJECTS. INFORMATION MADE AVAILABLE BY: SARAH SCOTT DATE: 05/19/2023

SPACING DIAGRAM FOR TRANSVERSE JOINTS
N.T.S.



REINFORCED CONCRETE PAVEMENT
TRANSVERSE JOINT SPACING
OCT '04 1070A

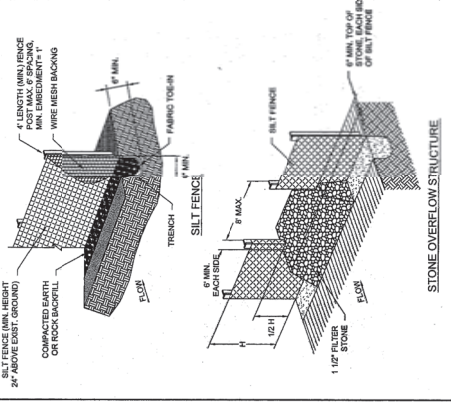
STABILIZED CONSTRUCTION
ENTRANCE
OCT '04 1070A



STABILIZED CONSTRUCTION
ENTRANCE
OCT '04 1070B

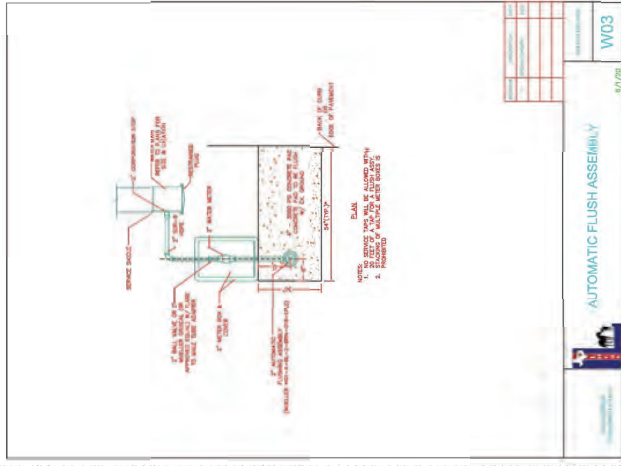
- STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:
1. FENCE SHALL BE 3 TO 5 INCH DIAMETER CONCRETE AGGREGATE
 2. LENGTH SHALL BE AS SPECIFIED IN THE SWPPP.
 3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
 4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT FROM TIRE TREADS. WHEN NECESSARY, WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM THE CONSTRUCTION SITE. WHEN NECESSARY, DRAINAGE DITCH OR WATERCOURSE USING APPROVED METHODS.
 6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PAVED SURFACES. WHEN NECESSARY, CRUSHED STONE OR PAVED SURFACES MUST BE MAINTAINED.
 7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE CONSTRUCTION SITE.
 8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
 9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.

SILT FENCE
OCT '04 1020A



- SILT FENCE GENERAL NOTES
1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SHARP OR MACHINED TRENCHER. THE TRENCH SHALL BE PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH STONE OR UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
 3. TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 12 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS FASTENED TO THE POST. THE FABRIC SHOULD BE OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 5. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT FENCE SHALL BE DISPOSED OF IN AN APPROPRIATE MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

SILT FENCE
OCT '04 1020B





City of Lucas

Planning and Zoning Agenda Request

June 8, 2023

Item No. 02

Requester: Development Services Director Joe Hilbourn

Agenda Item Request

Consider the approval of the Declaration and Protective Covenants for Hendrick Estates, a parcel of land being 73.4268 acres of land being part of the Peter Lucas Survey, A-537; J.W. Kerby Survey, A-506; James Grayum Survey, A-506, Tracts 1, 2, & 3.

Background Information

The Homeowners Association (HOA) Declaration of Covenants, Conditions and Restrictions is attached. This document has been reviewed by the City Attorney.

Attachments/Supporting Documentation

1. Declaration of Covenants, Conditions and Restrictions for Hendrick Estates

Budget/Financial Impact

NA

Recommendation

City staff recommends approving the HOA documents.

Motion

I make a motion to approve/deny the Declaration and Protective Covenants for Hendrick Estates, a parcel of land being 73.4268 acres of land being part of the Peter Lucas Survey, A-537; J.W. Kerby Survey, A-506; James Grayum Survey, A-506, Tracts 1, 2, & 3.

DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS

THIS DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS (“Declaration”) is made this ___ day of June, 2023, by HENDRICK FARM DEVELOPMENT, LLC, a Texas limited liability company (“Declarant”).

WITNESSETH

WHEREAS, Declarant is the owner of a tract of real property located in Lucas, Collin County, Texas (the “Property”), more particularly described in Exhibit “A” attached hereto and made a part hereof for all purposes by reference; and

WHEREAS, Declarant has devised a general plan for the development, improvement, and sale of the Property.

WHEREAS, the aforesaid general plan provides a common scheme of development designed to protect and safeguard the Property over a long period of time;

NOW, THEREFORE, Declarant declares that all of the Lots (hereinafter defined) shall be held, sold and conveyed subject to the following easements, restrictions, covenants, conditions, reservations, and liens, which are for the purpose of protecting the value and desirability of, and which shall run with, the Property and which shall be binding on all parties having any right, title or interest in the Property or any part thereof, and their respective heirs, successors and assigns, and which shall inure to the benefit of each Owner (hereinafter defined) from time to time of the Property or any part thereof.

ARTICLE I DEFINITIONS

1. “Association” shall mean and refer to Hendrick Estates Homeowners Association, a Texas nonprofit corporation, and its successors and assigns as the owner or manager.
2. “Property” shall mean and refer to the 73.353 acre tract of land located in Lucas, Collin County, Texas, and more particularly described in the attached Exhibit “A” and made a part hereof for all purposes by reference.
3. “Owner” shall mean and refer to the record owner (including the Declarant), whether one or more persons or entities, of fee simple title to any Property, including contract sellers, but excluding those having such interest merely as security for the performance of an obligation; provided, however, that the purchaser at a foreclosure sale or trustee's sale shall be deemed an Owner; provided, further, that the Association shall not be an Owner.
4. “Lot” shall mean and refer to separately subdivided lot within the Property.

5. "Declarant" shall mean and refer to HENDRICK FARM DEVELOPMENT, LLC, a Texas limited liability company, and its permitted successors and assigns as Declarant under this Declaration.
6. "Member" shall mean any Owner of a Lot or a part of a Lot.
7. "Membership" is defined in Article II.
8. "Person" or "person" shall mean an individual, corporation, partnership, association, trust, limited liability company, or other legal entity or any combination thereof.
9. "approval" or "consent" (or words having similar intent) shall mean securing the prior written approval or consent as required herein before doing, making, or suffering that for which such approval or consent is required.
10. "Articles of Incorporation" shall mean the Certificate of Formation of the Association, filed with the Secretary of State of Texas on January 20, 2023, as the same may from time to time be amended in accordance with this Declaration.
11. "Assessment" shall mean and refer to an Annual Assessment or Special Assessment levied, charged, or assessed against an Owner and/or his Lot in accordance with the provisions of this Declaration.
12. "Board" shall mean and refer to the Board of Directors of the Association as the same may from time to time be constituted.
13. "Class" is defined in Article II.
14. "Common Funds" shall mean and refer to all funds collected or received by the Association, including, but not limited to, the proceeds from insurance carried or obtained by the Association which are payable to or received by the Association as trustee for the benefit of the Owners or otherwise.
15. "Declaration" shall mean and refer to this Declaration as the same may be amended, changed, or modified from time to time in accordance with its terms.
16. "Development Plan" shall mean that certain Development Plan as represented by the Final Plat, prepared by Kimley Horn & Assoc., Inc., and filed of record on _____, Instrument Number _____, attached hereto as Exhibit "A."
17. "Improvements" shall mean and refer to all improvements now or hereafter constructed on a Lot.
18. "Mortgage" shall mean and refer to any security devise (including a deed of trust) encumbering all or any portion of the Lots which secures a loan made by an entity regularly engaged in the business of making loans.

19. "Mortgagee" shall mean and refer to the record owner of a beneficial interest under a Mortgage.
20. "ACC" shall mean the Architectural Control Committee to be formed in concert with the Association. The Declarant shall appoint three individuals to the ACC. No construction or installation of any improvements nor signage of any kind shall be allowed within the Property without prior approval of the ACC.

ARTICLE II MEMBERSHIP AND VOTING RIGHTS

1. Membership. Each Person who is the Owner of any Lot shall have one "Membership" in the Association for each Lot of which he is an Owner; provided, however, that if more than one person is the Owner of a Lot, all of such persons collectively, regardless of the number of persons who hold an interest in said Lot, shall have one Membership (in other words, if two or more persons are the Owners of one Lot, then such persons shall in any case own only one Membership in the Association). Each Owner shall provide the Secretary of the Association the name of such Owner, his address, and his telephone number. The foregoing is not intended to include persons who hold a vendor's lien, deed of trust lien or other security interest in a Lot, unless such lien is foreclosed and the lienholder becomes the Owner of such Lot. The Membership shall be appurtenant to and may not be separated from record ownership of any Lot, and the transfer of any Membership not made as part of a sale of a Lot shall be null and void. Ownership of a Lot shall be the sole qualification for being a Member of the Association.
2. Owners Right to Vote.
 - 2.1. The Owner(s) shall have the right to vote, in person or by proxy, the Membership in the Association. When more than one Person is the Owner of any Lot, while all such Persons shall be Members, only one vote shall be allowed for all Owners of such Lot.
 - 2.2. The Memberships shall be divided into two classes (each a "Class"). Class A shall be comprised of all Owners of one or more Lot(s). Class B shall be the Declarant. The Class B member shall be entitled to 15 votes for each Lot which it owns. The Class B membership shall cease at such time as Declarant and/or its affiliates together own fewer than one Lot.
3. Election of Board of Directors. Declarant shall appoint the initial three board members. Upon the sale of all Lots, the Class A members shall elect replacement Directors for the Board.

ARTICLE III COVENANT FOR MAINTENANCE AND ASSESSMENTS

1. Creation of the Lien and Personal Obligations of Assessments. Each Owner of any Lot, by acceptance of a deed therefore, whether or not it shall be so expressed in such deed, is deemed to covenant and agree to pay to the Association.
2. Purpose of Assessments. The purpose of assessments is for the maintenance of common area facilities, if any, as well as payment of fees assessed by the City of Lucas, utility costs, or any other expenses approved by the Board.

3. Annual Assessment. An annual assessment of \$950.00 per Lot (the “Annual Assessment”) shall be due and payable for all lots owned after Declarant’s ownership.
4. Special Assessments. The Association may levy in any year Special Assessments for the following purposes:
 - 4.1. Defraying the amount of any deficit created by an excess of expenditures of the Association over receipts for the previous year provided or paying for unexpected repairs and restoration and replacement of damaged drainage easements, or other improvement within the Property; provided, however, that the maximum amount of any Special Assessments for this purpose during any year may not exceed twenty-five percent (25%) of the Assessment for the then current year without the consent of 75% of all owners within the Property.
5. Delinquent Assessments; Repayment Plans; Enforcement of Lien. As required by the Texas Property Code § 209.0062, et seq., the written guidelines and requirements for the payment of delinquent Assessments, the collection of delinquent Assessments and the Association's enforcement rights are set forth in a separate document to be filed of record in the Official Public Records of the County Clerk of Collin County, Texas.
6. Subordination of the Lien to Mortgages. The lien securing the amount of nonpayment of any Assessment, together with any interest and cost and reasonable legal fees provided for herein, shall be subordinate to the lien of any Mortgage. Sale or transfer of any Lot shall not affect the Assessment lien. However, the sale or transfer of any Lot pursuant to foreclosure of a Mortgage or any proceeding in lieu thereof, shall extinguish the lien of such Assessments as to payments which become due prior to such sale or transfer but shall not relieve the previous Owner from personal liability for payment thereof. No such sale or transfer shall relieve such Lot from liability for any assessments thereafter becoming due or from the lien thereof.
7. Diminution of Assessment. No diminution or abatement of Assessments shall be allowed or claimed for inconvenience or discomfort arising from the making of repairs or improvements to the Lot(s) or from any action taken to comply with any law, ordinance or order of a governmental authority.
8. Mortgagee Notice. The Association shall promptly notify the Mortgagee of any Lot whose Owner is in default in the payment of Assessments, of the existence of such default, by notice addressed to such Mortgagee at its last known address as reflected in the records of the Association.

ARTICLE IV
MAINTENANCE BY AND SERVICES OF THE ASSOCIATION

1. Willful or Negligent Acts. In the event that the need for maintenance or repair is caused through the willful or negligent act of any Owner or his tenants, guests or invitees, the Association shall add the cost of such maintenance or repairs, as a Special Assessment, to the normal assessment of such Owner.

2. Powers and Duties Generally. In addition, the powers of assessment, collection and enforcement set forth in Articles III and VI hereof, the Association may exercise any and all rights to enforce any of the provisions of this Declaration or the rules and regulations duly adopted by the Board of Directors of the Association, or to carry out and perform its powers and responsibilities. Furthermore, the Association shall have the duty to maintain and supervise all common area facilities, structures, improvements, systems, and open spaces.
3. Powers and Duties. The Association shall provide, perform, cause to be performed, maintain, acquire, contract and/or pay for all or any of the following:
 - 3.1. Utilities. To be determined upon completion and City of Lucas acceptance of the Property.
 - 3.2. Insurance. To be determined upon completion of Improvements.
 - 3.3. Management Services. Unless approved by all Classes, no contract for services shall be made and entered into which binds the Association for a period in excess of one (1) year or that is not terminable, with cause, upon thirty (30) days' written notice.
 - 3.4. Materials. Unless approved by all Classes, no contract for supplies and materials shall be made and entered into which binds the Association for a period in excess of one (1) year or that is not terminable, without cause, upon thirty (30) days' written notice.
 - 3.5. Miscellaneous Services. Such other services for the use, enjoyment and protection of the Property as the Board of Directors of the Association may determine from time to time are reasonable, proper or desirable, including, but not limited to, special lighting, security guards and security facilities.
 - 3.6. Annual Independent Audit; Examination of Books. An annual balance sheet and statement of income and expense of the Association. Said balance sheet and income and expense statement shall reflect the income and expenditures of the Association's fiscal year and shall be prepared by the chief financial officer of the Association, or any other person retained by the Association to prepare the same, or by an independent certified public accountant, as the Board of Directors shall determine. A copy of the balance sheet and statement of income and expense shall be delivered to each Owner within ninety (90) days after the close of the Association's fiscal year. Additionally, any Mortgagee or Owner shall be entitled to inspect the books of the Association during usual business hours upon reasonable notice to the Association.
 - 3.7. Legal and Accounting. Legal and accounting services and fees for the Association and the Board of Directors, provided that said services and fees are incurred solely in connection with the performance or enforcement (including the collection of Assessments) of the provisions of this Declaration or the Articles of Incorporation.
 - 3.8. Fidelity Bonds. Such fidelity bond or bonds naming the Directors of the Association, Members, the Manager, his staff and/or such other person or persons as may be designated by the Association as principals, with the Association as the obligee.
 - 3.9. Taxes and Assessments. Taxes and/or assessments of whatever type duly assessed against all or of the Association, which taxes and/or assessments are not separately assessed to individual Owners.

4. Delegation of Powers. The Association may delegate any of its duties, powers or functions to any qualified Person who is acting as Manager. Neither the Association, nor the members of its Board, nor its officers or committee members shall be liable for any omission or improper exercise by the Manager or his staff of any such duty, power or function so delegated so long as the Association's contract with the Manager allows the Owners a direct right of action against the Manager for such omission or improper exercise.
5. Limitation of Liability. Neither the Declarant (nor its agents or employees) nor the Association, nor its Board of Directors (nor any member thereof), nor its officers (nor any of them), nor any committee of the Board of Directors (nor any member thereof), shall be liable for any failure to provide any service or perform any duty, function or responsibility designated or provided in this Declaration or in any other document to be performed by the same, or for injury or damage to persons or property caused by fire, explosion, the elements or by another Owner or person in or on the Lots or resulting from electricity, water, rain, dust or sand which may leak or flow from outside any building or from any part of any building or from any pipes, drains, conduits, appliances or equipment, or from any other place or cause unless caused by the gross negligence or willful misconduct of Declarant (or its agents or employees), the Association, the Board of Directors (or any member thereof), the committee of Board of Directors (or any member thereof) or the officers of the Association.
6. Indemnification. The Association shall and does hereby indemnify the Board of Directors (and each member thereof), the officers of the Association (and each of them), the members of all committees of the Board of Directors (and each of them) and each of the employees of the Association against all expenses and liabilities, including attorney's fees, reasonably incurred by such person or persons in connection with any proceeding to which he may be a party, by reason of his being or having been a director, officer, committee member or employee of the Association, except in such cases where he is adjudged guilty of gross negligence or willful misconduct in the performance of his duties. Each Owner, by acceptance of a deed within the Property, agrees to hold harmless the Declarant, its affiliates, employees, and contractors from any liability in connection with defects, or perceived defects related to the development of the Property or other condition of the Property.
7. Non-Profit Character of Association. Notwithstanding anything contained herein to the contrary, neither the Association or its Board of Directors or the Manager or his staff may do, conduct, or engage in any activity, or cause the same to be done, which may jeopardize the non-profit character of the Association.

ARTICLE V
PERMITTED USES AND RESTRICTIONS

1. General Restrictions. All Lots shall be used solely for single family residential purposes in compliance with Use and Design Guidelines attached hereto as Exhibit "B."

2. Noxious Uses. A Lots and Improvements located thereon shall not be used so as to disturb the neighborhood or occupants of adjoining property, or to constitute a nuisance, or to violate any public law, ordinance, or regulations from time to time applicable thereto. A Lot and Improvements located thereon shall not be sued for any purpose which will create or emit any objectionable, offensive or noxious odors, dust, gas, fumes or other such material.
3. Specifically Prohibited Uses. No commercial use of any kind shall be operated on any Lot. The foregoing shall not be construed to restrict the use of a home within the Property for the purpose of a home office.
4. Nuisances. No rubbish or debris of any kind shall be placed or permitted to accumulate upon any part of a Lot, except in dumpsters or other trash receptacles; and no odors shall be permitted to arise from any dumpsters or other trash receptacles so as to render any Lot or portion thereof unsanitary, unsightly, offensive or detrimental to any other property in the vicinity thereof or to occupants of any such other property. No nuisance shall be permitted to exist or operate upon any Lot so as to be offensive or detrimental to any other property in the vicinity thereof or to its occupants.
5. Repair of Buildings. No building or structure upon any Lot shall be permitted to fall into disrepair, and each such building and structure shall at all times be kept in good condition and repair.
6. Mineral Exploration. No Lots shall be used in any manner to explore for or to remove any oil or other hydrocarbons, minerals of any kind, gravel, earth or any earth substance of any kind.
7. Machinery and Equipment. Without the approval of the Board of Directors of the Association, no machinery or equipment of any kind shall be placed, operated or maintained upon a Lot by any Owner or its agents, contractors and employees except such machinery or equipment as is usual and customary in Collin County, Texas, in connection with the use, maintenance, or construction of such Lot or Improvements thereon.
8. Lighting. No lighting or illumination shall be placed upon the Lots in such a manner as to cause unreasonable glare or illumination.

ARTICLE VI ENFORCEMENT OF OBLIGATIONS OF OWNER

1. General Maintenance. Except as otherwise herein provided for maintenance of Lots and Improvements thereon by the Association, each Owner shall maintain and care for all trees, plants, or foliage on his Lot and otherwise keep his Lot and all Improvements thereon in reasonable repair so as not to be unsightly or in violation of any city ordinance.
2. Complaints by Owner. If any Owner believes any other Owner is in violation of this Declaration, he may so notify such Owner in writing, explaining his reasons for such complaint. If the Owner fails to remedy the alleged violation in ten (10) days after delivery of such notice, a complaint may be transmitted in writing to the Board of Directors of the

Association, who may thereupon choose, within not more than ten (10) days, enforce this Declaration as provided in Section 3 of this Article VI. If the Board of Directors fails to act, the complaint will be considered denied without prejudice. The complainant Owner shall not be precluded by the Association's failure to act from instituting appropriate legal action.

3. Complaints by Association. If the Association believes any Owner is in violation of this Declaration, it shall notify such Owner in writing, explaining its reason for such complaint. If the Owner fails to remedy the alleged violation within ten (10) days following delivery of such notice, then the Association shall have the right to (i) institute appropriate legal action or (ii) submit the dispute to arbitration, such arbitration to be held in accordance with the rules of the American Arbitration Association by the action of a majority of arbitrators chosen as follows: (a) one arbitrator shall be chosen by the Owner; (b) one arbitrator shall be chosen by the Association; (c) one arbitrator shall be chosen by the two (2) arbitrators previously chosen. If either party fails to choose an arbitrator within thirty (30) days after the transmission of the complaint to the Owner, the other party may choose the second arbitrator. If the two arbitrators fail to select a third arbitrator within thirty (30) days after their own selection, either party may request the American Arbitration Association to appoint a third arbitrator. The decision of the arbitrators shall be made within ninety (90) days after the transmission of the complaint to the Owner. If the arbitrators fail to act within such ninety (90) days, the complaint will be considered dismissed without prejudice. The Association shall not be precluded by dismissal as a result of the arbitrators failure to act from reinstating arbitration or from instituting other appropriate legal action. The prevailing party in any such litigation or arbitration shall be entitled to recover from the other party all costs and expenses thereof, including attorney's fees, in connection therewith.
4. Remedy of Violations. If the arbitrator(s) as provided in Section 3 above or a court of competent jurisdiction upholds the complaint, the Owner shall be so notified in writing and shall promptly remedy the violation of this Declaration, and if he fails to remedy such violation within thirty (30) days after the date of such notice or in the time specified in any such proceeding, as appropriate, the Association may (but shall not be obligated to) cause the violation to be remedied and add the cost of same, as a Special Assessment, to the normal assessment of such Owner and/or may pursue such other remedies as may be available at law or in equity. The Association, and its designees, shall have the right of entry upon the Lot owned by such Owner for such purpose.

ARTICLE VII FIRE AND EXTENDED COVERAGE INSURANCE

1. Public Liability and Property Damage. The Association shall purchase, obtain, carry and maintain one or more comprehensive public liability and property damage policies naming as insured the Association, its Board of Directors (and each member thereof), its officers (and each of them), the Manager (if any) and his staff, all employees of the Association, and all of the Owners (including Declarant).

2. Workmen's Compensation. The Association shall purchase, obtain, carry and maintain workmen's compensation and employer's liability insurance to the extent necessary to comply with applicable laws.
3. Fidelity Bonds. The Association shall purchase, obtain, carry and maintain fidelity bonds for officers and employees of the Association.

ARTICLE VIII DRAINAGE EASEMENTS AND RIGHTS

1. Easement. Any easement identified on the recorded plat of the Property shall be perpetual and considered to be created and maintained for the benefit of owners of all Lots within the Property. Use of such easement shall be without charge.
2. Maintenance. The Association shall be responsible for the maintenance of all easements, including but not limited to drainage, utility, water, trails, and detention ponds.
3. Association's Failure to Maintain. If the Association fails to carry out such any maintenance for which it is responsible, an Owner of any Lot, after giving the Association notice of the required maintenance and allowing the Association ten (10) days following delivery of such notice to complete such maintenance, may cause the required maintenance to be performed and recover from the Association the costs of completing the required maintenance, together with interest at the rate of fifteen percent (15%) per annum from the date paid by the Owner until reimbursed, which amounts the Association will pay from proceeds of Assessments levied under this Declaration or other funds available to the Association.

ARTICLE IX MORTGAGEE PROTECTIVE PROVISIONS

1. Status of Mortgages. Any Mortgage will be subject and subordinate to this Declaration, but the Mortgagee may contain such mortgagee-protective provisions requested by the Mortgagee. A Mortgagee will be entitled to notices from the Association only if it provides the Association with its address for notice, and a Mortgagee will be entitled to notices from an Owner only if it provides the Owner (or its predecessor as Owner of the Lot in question) with its address for notice.
2. Notices and Cure of Defaults. The Association or an Owner shall provide any Mortgagee (at the address registered with the Association or Owner in the manner provided by this Declaration) a copy of any notice of default sent to the Owner of the Lot encumbered by the Mortgage held by the Mortgagee at the same time as the Association or Owner gives such notice to such defaulting Owner. No such notice to a defaulting Owner shall be deemed to have been duly given unless and until a copy of such notice shall have been given to each such Mortgagee. Any Mortgagee shall have a period of thirty (30) business days more than that given to the defaulting Owner to remedy any default or cause the default to be remedied or, in the case of a non-monetary default not capable of remedy by a Mortgagee within the allotted time, such greater period of time thereafter as is necessary to complete the cure so long as the

Mortgagee pursues the cure with continuous and diligent efforts. In the event of default, the Association or an Owner shall be obliged to accept performance by any Mortgagee of any covenant, condition or agreement to be performed hereunder by the Owner of the Lot encumbered by the Mortgage held by the Mortgagee with the same force and effect as though performed by such defaulting Owner.

3. Liability of Mortgagee. No Mortgagee shall become liable under this Declaration unless it becomes, and then only for so long as it remains, the Owner of the Lot encumbered by the Mortgage held by the Mortgagee.

ARTICLE X GENERAL PROVISIONS

1. Enforcement. The restrictions, covenants, easements and other provisions herein set forth shall run with the land and bind the present Owners, their respective successors and assigns, and all parties claiming by, through or under any of them, and each current or future Owner of a Lot shall be deemed to agree and covenant with all other Owners and their respective successors and assigns, and with each of them, to conform to and observe said restrictions, covenants, easements and other provisions as to the Lot of such Owner and the construction of Improvements thereon. No restriction, covenant or other obligation herein set forth shall be personally binding on any Person except in respect to breaches committed as to a Lot while such Person is an Owner of such Lot. No action for enforcement of this Declaration may be commenced until the procedure specified in Article VI, Section 2 or Section 3, as appropriate, has been completed. Failure of any Owner or Owners or the Association to enforce any of the restrictions, covenants, easements or other provisions herein set forth shall in no event be deemed a waiver of the right to do so or to enforce other restrictions, covenants, easements or provisions.
2. Invalidation. The invalidation of any of the restrictions, covenants, easements or other provisions set forth herein, by judgment or court order or otherwise, shall in no way affect any other restrictions, covenants, easements or provisions, which shall remain in full force and effect.
3. Right to Assign. Declarant may assign its rights and obligations hereunder by a written document recorded in the Deed Records of Collin County, Texas. Declarant may assign its rights and obligations hereunder with respect to portions of the Lots without assigning such rights and obligations with respect to other portions of the Lots. Upon the assumption of the obligations herein contained (or any part thereof) by any assignee as evidenced by a written document recorded in the Deed Records of Collin County, Texas, the obligations of Declarant hereunder so assigned shall cease and terminate. Upon such assignment or conveyance being made, the assignees or grantees may, at their option, exercise, transfer or assign such rights, reservations, easements and privileges or any one or more of them at any time or times in the same way and manner as the Declarant.

4. Duration and Amendment. Any change or modification of the terms of this Declaration, the Articles of Incorporation, or the bylaws of the Association shall be effective only if approved by a majority of each of the Classes of Membership. Any such termination, modification, or amendment shall be filed of record in the Collin County Deed Records promptly when executed. Furthermore, any change or modification of the terms of this Declaration pertaining to the use, operation, maintenance, or supervision of any of the common area facilities, structures, improvements, systems, or grounds that are the responsibility of the Association must receive prior written consent of the City of Lucas' City Council.
5. Notices. All notices given or required to be given by the Association to its Members or to Mortgagees shall be deemed to have actually been given if actually received and whether or not actually received, when deposited in the United States mail, postage prepaid, and addressed to the Member or Mortgagee at his address as it appears on the books of the Association.
6. Remedy at Law Inadequate. Except for the nonpayment of any Assessments provided for herein, it is hereby expressly declared, stipulated and agreed that the remedy at law to recover damages for the breach, default or violation of any of the restrictions, covenants, easements and other provisions contained in this Declaration are inadequate and the failure of any Owner, tenant, occupant or user of any Lot to comply with each and all of the restrictions, covenants, easements and other provisions of this Declaration and the rules, regulations, decisions, resolutions of the Association and its Board of Directors, all as lawfully amended from time to time, may be enjoined by appropriate legal proceedings instituted by Declarant, any Owner or the Association or its Board of Directors.
7. Governing Law. This Declaration shall be governed by and construed in accordance with the laws of the State of Texas, without giving effect to principles of conflicts of law.
8. Liberal Interpretation. This Declaration shall be liberally construed to effectuate its purpose of creating a uniform plan for the Lots.
9. Term. This Declaration shall run for an initial term of twenty-five years and shall automatically renew in successive ten year periods, unless the City of Lucas City Council issues written consent to the dissolution of this Declaration.
10. City Indemnification. The Association shall and does hereby indemnify the City of Lucas from any and all costs, expenses, suits, demands, liabilities or damages including attorney's fees and costs of suit, incurred or resulting from the City's removal of any landscape systems, features or elements that cease to be maintained by the Association or from the City's performance of the aforementioned operation, maintenance or supervision responsibilities of the Association due to the Association's failure to perform said responsibilities.
11. Authority of City. The City of Lucas, or its lawful agents, has the authority to perform any of the following actions, after due notice to the Association:
 - 11.1. remove any landscape systems, features or elements that cease to be maintained by the Association;

- 11.2. perform the responsibilities of the Association or the Board, if the Association or Board fails to do so in compliance with any provisions of the agreements, covenants or restrictions of the Association or of any applicable city codes or regulations;
- 11.3. assess the Association for all costs incurred by the City in performing said responsibilities if the Association fails to do so; and
- 11.4. avail itself of any other enforcement actions available to the City pursuant to state law, city codes or regulations.

IN WITNESS WHEREOF, Declarant has caused this Declaration to be executed and delivered by a person duly authorized thereunto as of the day and year first above written.

By: R. NEIL CROUCH, II
Title: President

THE STATE OF TEXAS §
 §
COUNTY OF COLLIN §

This instrument was acknowledged before me on this ____ day of June, 2023, by R. NEIL CROUCH, II, President of HENDRICK FARM DEVELOPMENT, LLC, a Texas limited liability company.

NOTARY PUBLIC – STATE OF TEXAS

EXHIBIT B
USE AND DESIGN GUIDELINES

The following Property Use and Design Guidelines shall apply to the Property.

Section 1: Landscaping, Fences and Exterior Elements

1. Landscaping. Upon Completion of each residence, each residence within the Property must comply with the landscaping requirements of any applicable City of Lucas ordinances and Association Rules. Notwithstanding compliance with the foregoing, the following landscape elements shall be installed prior to occupancy of the residence:
 - 1.1. Sod. Each residence shall have full sod installed for the entire front, side and rear yards.
 - 1.2. Trees. Each residence shall comply with either of the following tree requirements:
 - 1.2.1. Two (2) approved “Large Trees” (as defined in the City of Lucas’ Code of Ordinances § 3.18.024) placed between forward of the front elevation of the primary structure and at least two (2) “Small Trees” (as defined in the City of Lucas’ Code of Ordinances § 3.18.024) placed anywhere else on the Lot; or
 - 1.2.2. Three (3) approved “Large Trees” placed anywhere on the Lot.
 - 1.3. Tree Maintenance. Each homeowner shall be responsible for maintenance and preservation of trees located on their property and shall promptly replace dead trees within ninety (90) days of loss occurrence when favorable planting weather exists or sixty (60) days unless otherwise noticed by the ACC or compliance division.
 - 1.4. Shrubbery and Planting Beds. Each Residence shall have a minimum of fourteen (14) five-gallon shrubs and one (1) 15-gallon accent planted in a mulched planting bed; the planting bed shall have some type of barrier to separate the sod and bed mulch areas. The foregoing may be supplemented or replaced with materials approved by the Declarant or Association. The homeowner shall be responsible for the maintenance and preservation of the shrubs and planting bed; and, shall promptly replace dead plants within ninety (90) days of loss occurrence.
2. Fences.
 - 2.1. Thoroughfares and Corner Lots. Residences facing the street or major thoroughfares require a minimum of four (4) foot ornamental iron fence placed at least five (5) feet behind the front façade, excluding front porches.
 - 2.2. Good Repair. Fencing must be kept in good repair at all times.
3. Flags and Flagpoles.
 - 3.1. The only flags which may be displayed are: (i) the flag of the United States of America (ii) the flag of the State of Texas; and (iii) an official or replica flag of any branch of the United States armed forces and School Spirit flags. No other types of flags, pennants, banners, kits or similar types of displays are permitted on a Lot if the display is visible from a street.
 - 3.2. The flag of the United States must be displayed in accordance with 4 U.S.C § 5-10.
 - 3.3. The flag of the State of Texas must be displayed in accordance with Chapter 3100 of the Texas Government Code.

- 3.4. Any freestanding flagpole, or flagpole attached to a residence, shall be constructed of permanent, long-lasting materials. The materials used for the flagpole shall be harmonious with the residence and must have a silver finish with a gold or silver ball at the top. The flagpole must not exceed three (3) inches in diameter.
- 3.5. The display of a flag, or the location and construction of the supporting flagpole, shall comply with applicable zoning ordinances, easements, and setbacks of record.
- 3.6. A displayed flag, and the flagpole on which it is flown, shall be maintained in good condition at all times. Any flag that is deteriorated must be replaced or removed. Any flagpole that is structurally unsafe or deteriorated shall be repaired, replaced, or removed.
- 3.7. Only one flagpole will be allowed per Lot. A flagpole can either be securely attached to the face of the residence (no other structure) or be a freestanding flagpole. A flagpole attached to the residence may not exceed 4 feet in length. A freestanding flagpole may not exceed 20 feet in height. Any freestanding flagpole must be located in either the front yard or backyard of a Lot, and there must be a distance of at least 5 feet between the flagpole and the property line.
- 3.8. Any flag flown or displayed on a freestanding flagpole may be no smaller than 3'x5' and no larger than 4'x6'.
- 3.9. Any flag flown or displayed on a flagpole attached to the residence may be no larger than 3'x5'.
- 3.10. Any freestanding flagpole must be equipped to minimize halyard noise. The preferred method is through the use of an internal halyard system. Alternatively, swivel snap hooks must be covered, or "Quiet Halyard" Flag snaps installed. Neighbor complaints of noisy halyards are a basis to have flagpole removed until Owner resolves the noise complaint.
- 3.11. The illumination of a flag is allowed so long as it does not create a disturbance to other residents in the community. Solar powered, pole mounted light fixtures are preferred as opposed to ground mounted light fixtures. Compliance with all municipal requirements for electrical ground mounted installations must be certified by the Owner. Flag illumination may not shine into another residence. Neighbor complaints regarding flag illumination are a basis to prohibit further illumination until Owner resolves complaint.
- 3.12. Flagpoles shall not be installed on any property maintained by the Association.
- 3.13. All freestanding flagpole installations must receive prior written approval of ACC.

4. Vehicles.

- 4.1. No vehicle containing advertising logos and/or "wrapped" graphics shall be allowed overnight within the Property unless such vehicle shall be located within a garage or otherwise screened from view from any public street, alley or lot.
- 4.2. No vehicle shall be allowed to be kept within the Property if such vehicle contains an exhaust system or other device or system which allows the vehicle to produce a noise deemed by the Association to be excessive when operated.
- 4.3. No vehicle shall be parked or operated within the Property in a manner which limits any owner from free and unfettered access to the owner's driveway.
- 4.4. No vehicle which is not eligible or physically able to be legally operated on a public roadway may be kept within the Property unless such vehicle is contained entirely within a garage.

Section Two: Residences

1. Roofs. Roof Pitch for homes shall have a minimum of 6-in-12 slopes. Roof Pitch for porches and patios may have a lesser pitch, subject to approval of the Declarant or ACC.
 - 1.1. Roofing Materials. Roofing materials shall be asphalt shingles with a minimum 30-year rated shingle having a minimum weight of 220 pounds per square (100 square feet) and have a Weatherwood, Slateblend or other approved roofing colors that are consistent with Architectural styles within the community. Other roofing materials or colors shall not be used without written approval from the Declarant or ACC.
 - 1.2. Dormers and Above Roof Chimneys. Dormers and Chimney Chases, above roof structure and roofing materials, must be finished with an exterior grade material consistent with the majority of the exterior surfaces of the primary structure and with Declarant or ACC approval.

2. Certain Roofing Materials. Roofing shingles covered by this Section are exclusively those designed primarily to: (i) be wind and hail resistant; (ii) provide heating and cooling efficiencies greater than those provided by customary composite shingles; or (iii) provide solar generation capabilities (collectively, "Roofing Shingles").
 - 2.1. Roofing Shingles allowed under this Section 2.2 shall:
 - 2.1.1. Resemble the shingles used or otherwise authorized for use on the Property;
 - 2.1.2. Be more durable than and are of equal or superior quality to the shingles used or otherwise authorized for use on the Property;
 - 2.1.3. Match the aesthetics of the property surrounding the property of the owner requesting permission to install the Roofing Shingles.
 - 2.2. The owner requesting permission to install the Roofing Shingles will be solely responsible for accrediting, certifying, and demonstrating to the ACC that the proposed installation is in full compliance with the paragraphs above.
 - 2.3. Roofing Shingles shall be installed after receiving the written approval of the Declarant or ACC.
 - 2.4. Owners are hereby placed on notice that the installation of Roofing Materials may void or adversely affect other warranties.

3. Solar Panels.
 - 3.1. Solar energy devices, including any related equipment or system components (collectively "Solar Panels") may only be installed after receiving the written approval of the ACC.
 - 3.2. Solar Panels may not be installed upon or within any area which is maintained by the Association.
 - 3.3. Solar Panels may only be installed on designated locations on the roof of a home, on any structure allowed under any Association dedicatory instrument, or within any fenced rear-yard or fenced-in patio of the owner's property, but only as allowed by the Declarant or ACC. Solar Panels may not be installed on the front elevation of the home.
 - 3.4. If located on the roof of a home, Solar Panels shall:
 - 3.4.1. Not extend higher than or beyond the roofline;
 - 3.4.2. Conform to the slope of the roof;
 - 3.4.3. Have a top edge that is parallel to the roofline; and

- 3.4.4. Have a frame, support bracket, or wiring that is black or painted to match the color of the roof tiles or shingles of the roof. Piping must be painted to match the surface to which it is attached, i.e. the soffit and wall. Solar Panels must blend with the color of the roof to the greatest extent possible.
 - 3.5. If located in the fenced rear-yard or patio, Solar Panels shall not be taller than the fence line or visible from a street.
 - 3.6. The ACC may deny a request for the installation of Solar Panels if it determines that the placement of the Solar Panels, as proposed by the property owner, will create an interference with the use and enjoyment of land of neighboring owners.
 - 3.7. Owners are hereby placed on notice that the installation of Solar Panels may void or adversely affect roof warranties. Any installation of Solar Panels which voids material warranties is not permitted and will be cause for the Solar Panels to be removed by the owner.
 - 3.8. Solar Panels must be properly maintained at all times or removed by the owner.
 - 3.9. Solar Panels which become non-functioning or inoperable must be removed by the owner of the property.
4. Side and Rear Walls.
 - 4.1. Side and rear wall surfaces of the first floor must be constructed using one hundred percent (100%) masonry; second floor side and rear wall surfaces must be seventy-five percent (75%) masonry with the remaining twenty-five percent (25%) using cementitious fiber siding materials.
5. Chimneys. Chimney wall structures that are a direct extension of an exterior wall shall match the requirement of said wall.
6. Masonry Percentages. Required masonry percentages shall be calculated excluding exterior wall areas built on top of a roof.
7. Windows. Windows shall be constructed of vinyl, divided light on all front windows, divided light on all windows backing siding collectors, parks or open spaces. Reflective glass is prohibited.
8. Garage. Garage doors shall be constructed of metal or wood and shall be kept in good repair at all times.
9. Address Blocks. All address blocks shall be cast stone on all brick, stone, and/or stucco finishes.



City of Lucas

Planning and Zoning Agenda Request

June 8, 2023

Item No. 03

Requester: Development Services Director Joe Hilbourn

Agenda Item

Discuss updating the City of Lucas Code of Ordinances, Chapter 14 titled “Zoning”.

Background Information

The City Council requested that a strategic review of the Code of Ordinances be done with specific focus on Chapter 14 titled “Zoning.” At the June 1, 2023 City Council meeting, the Council gave direction that the Planning and Zoning Commission review Chapter 14 in segments and bring updates to the City Council. Councilmembers will inform City staff of any specific areas of concern to bring to the Planning and Zoning Commission.

The following is the proposed schedule for the Planning and Zoning Commission:

Section of Chapter 14	Meeting
14.01.004 14.02 Division 2 14.02 Division 3 14.02 Division 5	June 8, 2023 P & Z Meeting
14.03 Division 6 14.03 Division 8 14.03 Division 10 14.03 Division 15	July 13, 2023 P & Z Meeting
14.04 Division 5 Remainder of 14.01 Remainder of 14.02	August 10, 2023 P & Z Meeting
Remainder of 14.03 Remainder of 14.04	September 14, 2023 P & Z Meeting
Final Review by Planning and Zoning of Chapter 14	October 12, 2023 P & Z Meeting
Review by City Council	November 2, 2023 City Council Meeting
First Public Hearing	December 14, 2023 P & Z Meeting
Second Public Hearing	January 4, 2024 City Council Meeting

Attachment/Supporting Documentation

1. [City of Lucas Code of Ordinances, Chapter 14 titled “Zoning”](#) (Due to the size of Chapter 14, this link has been provided.)
2. Table of Contents for Chapter 14 with amendment dates.



City of Lucas
Planning and Zoning Agenda Request
June 8, 2023

Budget/Financial Impact

NA

Recommendation

NA

Motion

NA

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Chapter 14 Zoning

14.01 General Provisions

- 14.01.001 Short title and application of chapter
- 14.01.002 Interpretation and purposes
- 14.01.003 Scope
- 14.01.004 Definitions
- 14.01.005 Compliance with the regulations

14.02 Administration

Div. 1 Generally

- 14.02.001 Enforcement and penalties
- 14.02.002 - .030 Reserved

Div. 2 Board of Adjustment

last amended 2016

- 14.02.031 Members and terms of office
- 14.02.032 Meetings
- 14.02.033 Quorum and voting
- 14.02.034 Powers and duties
- 14.02.035 Appeals
- 14.02.036 Decisions
- 14.02.037-.059 Reserved

Div. 3 Changes and Amendments

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- 14.02.060 Zoning upon annexation
- 14.02.061 Declaration of policy
- 14.02.062 Authority to amend
- 14.02.063 Procedure
- 14.02.064 Limitation on reapplication
- 14.02.065-.080 reserved

Div. 4 Specific Use Permits

Amended May 2022

- 14.02.081 Generally
- 14.02.082 Application and processing
- 14.02.083 Zoning amendment and limitations
- 14.02.084 Expiration, termination, revocation
- 14.02.085 - .110 Reserved

Div. 5 Final Plans Approval

original text from 1995 codification

- 14.02.111 Submission of final plans

14.03 Districts

Div. 1 Generally **last amended 2015**

- 14.03.001 Division of districts
- 14.03.002 Maintenance of zoning map
- 14.03.003 Rules for the interpretation of district boundaries
- 14.03.004 – 050 Reserved

Div. 2 AO **last amended 2015**

- 14.03.051 Use regulations.
- 14.03.052 Height regulations
- 14.03.053 Area regulations
- 14.03.054-.110 Reserved

Div. 3 R2 Amended Sept 2022

- 14.03.111 Use regulations.
- 14.03.112 Height regulations
- 14.03.113 Area regulations**
- 14.03.14-.170 Reserved

Div. 4 R1.5 Amended Sept 2022

- 14.03.171 Use regulations.
- 14.03.172 Height regulations
- 14.03.173 Area regulations**
- 14.03.174-.230 Reserved

Div. 5 R1 Amended Sept 2022

- 14.03.231 Use regulations.
- 14.03.232 Height regulations
- 14.03.233 Area regulations**
- 14.03.234-.290 Reserved

Div. 6 VC **last amended 2017**

- 14.03.291 Purpose
- 14.03.292 Use regulations.
- 14.03.293 Building regulations
- 14.03.294 Height regulations
- 14.03.295 Area regulations
- 14.03.296 Site plan approval
- 14.03.297 Landscaping plan approval
- 14.03.298 Architectural plan approval
- 14.03.299 Off-street loading and parking
- 14.03.300-.350 Reserved

Div. 7	CB		last amended 2018
	14.03.351	Purpose	
	14.03.352	Use regulations.	
	14.03.353	Development regulations	
	14.03.354	Special district requirements	
	14.03.355	Major Development Standards	
	14.03.356	Major retail development traffic studies	
	14.03.357-.410	Reserved	
Div. 8	PD		adopted 2006, not amended
	14.03.411	General purpose and description	
	14.03.412	Permitted Uses	
	14.03.413	Planned development requirements	
	14.03.414	Mandatory homeowners' association	
	14.03.415	City/developer facilities agreement	
	14.03.416	Zoning ordinance compliance and zoning map	
	14.03.417-.470	Reserved	
Div. 9	LI		last amended 2015
	14.03.471	Use regulations	
	14.03.472	Building regulations.	
	14.03.473	Height regulations	
	14.03.474	Area regulations	
	14.03.475	Site plan approval	
	14.03.476	Landscaping plan approval	
	14.03.477	Off-street loading and parking	
	14.03.478-.530	Reserved	
Div. 10	ED		last amended 2015
	14.03.531	Purpose	
	14.03.532	Use regulations.	
	14.03.533	Height, lot, and yard requirements	
	14.03.534	Area requirements	
	14.03.535	Parking regulations	
	14.03.536	Special conditions	
	14.03.537-.650	Reserved	
Div. 11	RESERVED		
	14.03.591 – 14.03.650		
Div. 12	MHD		last amended 2015
	14.03.651	Purpose	
	14.03.652	Manufactured home district (MHD)	

- 14.03.653 Use regulations.
- 14.03.654 Height, lot, and yard requirements
- 14.03.655 Parking regulations
- 14.03.536 Supports, tiedowns and skirting
- 14.03.657-.710 Reserved

Div. 13 OS

last amended 2015

- 14.03.711 Purpose
- 14.03.712 Use regulations.
- 14.03.713 Building regulations
- 14.03.714 Height regulations
- 14.03.715 Area regulations
- 14.03.716 Site plan approval
- 14.03.717 Landscape plan approval
- 14.03.718 Architectural plan approval
- 14.03.719 Off-street loading and parking
- 14.03.720-.770 Reserved

Div. 14 Reserved

Div. 15 Schedule of Uses

- 14.03.801 Use Designations **adopted 2008, last amended 12/2020**

14.04 Supplementary Regulations

Div. 1 Generally

last amended 2015

- 14.04.001 Community Homes
- 14.04.002 Equestrian boarding
- 14.04.003-.030 Reserved

Div. 2 Off-street parking and loading

last amended 2020

- 14.04.031 Vehicle parking regulations
- 14.04.032 Off-street residential parking
- 14.04.033 Off-street nonresidential parking
- 14.04.034 Special off-street parking regulations
- 14.04.035 Parking requirements for new and unlisted uses
- 14.04.036 Minimum distance for off-street parking
- 14.04.037 Off-street loading space
- 14.04.038 Driveways
- 14.04.039 Off-site parking requirements
- 14.04.040-.070 Reserved

Div. 3	Performance Standards	adopted 1995, not amended
	14.04.071	Applicability
	14.04.072	Noise
	14.04.073	Smoke and particulate matter
	14.04.074	Odorous matter
	14.04.075	Fire and explosive hazard material
	14.04.076	Toxic and noxious matter
	14.04.077	Vibration
	14.04.078	Glare
	14.04.079	Waste materials
	14.04.080-.120	Reserved
Div. 4	Height and Area Exceptions and Modifications	last amended 2015
	14.04.121	Height
	14.04.122	Front Yards
	14.04.123	Side yards
	14.04.124	Mailbox location
	14.04.125-.170	Reserved
Div. 5	Nonconforming Uses	adopted 1995, not amended
	14.04.171	Existing land
	14.04.172	Existing buildings
	14.04.173	Voluntary discontinued use of a building for one year
	14.04.174	Existing residence
	14.04.175	Repairs
	14.04.176	Nonconforming use not to be extended or rebuilt
	14.04.077-.210	Reserved
Div. 6	Exploration for Production of Oil, Gas and Other Minerals	last amended 2015
	14.04.211	Prohibition against exploration and production in residential, commercial and village center districts
	14.04.212-.250	Reserved
Div. 7	Lighting	last amended 2015
	14.04.251	Purpose and intent
	14.04.252	Definition
	14.04.253	General provisions
	14.04.254	Special provisions
	14.04.255	Nonresidential provisions
	14.04.256	Site plan standards
	14.04.257	Temporary lighting exemption
	14.04.258	Nonconforming lighting
	14.04.259	Administration
	14.04.260	Penalty
	14.04.261	Variances

14.04.262-.300 Reserved

Div. 8 Accessory Buildings, Structures and Uses Amended May 2023

- 14.04.301 Purpose
- 14.04.302 Accessory Buildings, structures, and uses permitted
- 14.04.303 Exemptions
- 14.04.304 General accessory buildings and structures regulations
- 14.04.305-.340 Reserved

Div. 9 Telecommunication Antennas last amended 2010

- 14.04.341 Purpose
- 14.04.342 Applicability
- 14.04.343 Definition
- 14.04.344 General requirements
- 14.04.345 Collocation
- 14.04.346 Support buildings and equipment storage
- 14.04.347 Requirements for the placement of support structures and antennas
- 14.04.348 Antennas on city-owned property
- 14.04.349 Aesthetic and alternative design requirements
- 14.04.350 Appeals
- 14.04.351-.385 Reserved

Div. 10 Licensed Amateur Communications Antennas last amended 2011

- 14.04.386 Purpose
- 14.04.387 Definition
- 14.04.388 Maximum number of antennas and antenna support structures in residential districts
- 14.04.389 Height
- 14.04.390 Antenna and antenna support structure standards
- 14.04.391 License requirements
- 14.04.392-.430 Reserved

Div. 11 Wind Energy Conversion Systems adopted 2011, not amended

- 14.04.431 Purpose
- 14.04.432 Definition
- 14.04.433 Applicability
- 14.04.434 Requirements
- 14.04.435 Uses, lot size allowances, heights, setbacks, and required permits
- 14.04.436 Prohibitions and nuisance abatement
- 14.04.437 Agency cooperation, review, and compliance
- 14.04.438 Decommissioning
- 14.04.439 Application requirements
- 14.04.440 Review standards
- 14.04.441-.450 Reserved

Div. 12 Residential Broadband Antenna Support Structures **adopted 2020, not amended**

- 14.04.451 Purpose
- 14.04.452 Definitions
- 14.04.453 General requirements
- 14.04.454 Height
- 14.04.455 Broadband antennas and broadband antenna support structure standards



City of Lucas
Planning and Zoning Commission Request
June 8, 2023

Item No. 04

Requester: Planning and Zoning Commission

Agenda Item Request

Consider the appointment of a Chair of the Planning and Zoning Commission to serve for a term ending December 31, 2023, and appoint Vice-Chair if needed.

Background Information

Councilmember Dusty Kuykendall previously served as the Chair of the Planning and Zoning Commission and was elected to the City Council on May 18, 2023. Therefore, a vacancy has been created for the position of Chair. Commissioner Tommy Tolson currently serves as Vice-Chair.

Attachments/Supporting Documentation

NA

Budget/Financial Impact

NA

Recommendation

NA

Motion

I make a motion to appoint _____ as Chair of the Planning and Zoning Commission for a term ending December 31, 2023.

If Needed:

I make a motion to appoint _____ as Vice-Chair of the Planning and Zoning Commission for a term ending December 31, 2023.



City of Lucas

Planning & Zoning Agenda Request

June 8, 2023

Requesters: Planning and Zoning Commission
City Attorney Courtney Morris
City Manager Joni Clarke

Agenda Item Request

Consider the 88th Legislative Session and discuss any proposed bill or significant resolution that may have an impact on the City of Lucas and provide guidance to the City Attorney and City Manager.

Background Information

The 88th Legislature's regular session ran from January 10, 2023 to May 29, 2023.

Attachments/Supporting Documentation

1. Legislative Update from City Attorney (May 31, 2023)

Budget/Financial Impact

NA

Recommendation

NA

Motion

NA

2023 LEGISLATIVE SESSION

Passed

SB 929: Requires a City provide written mailed notice to go to each property owner regarding any proposed zoning change that could result in the creation of a legal non-conforming use. Must contain the following language bolded and all caps in the notice, **“THE CITY IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.”** (SENT TO GOVERNOR)

Status 5/30/2023: Passed on May 19 2023 - 100% progression; 2023-05-19 - Effective immediately.

SB 543: Would allowing a city to convey real property under a Chapter 380 agreement. (Sent to the Governor).

Status 5/30/2023: Passed on May 24 2023 - 100% progression; 2023-05-24 - Effective immediately.

HB 2308: Limiting city regulation of agricultural operations within city limits and ETJ. City limited on bring a nuisance action to violation of state law. (Sent to Governor)

Status 5/30/2023: Passed on May 23 2023 - 100% progression; 2023-05-23 - Effective on 9/1/23.

SB 2038: Requires a city to release an area from the ETJ on petition from the landowners. (Sent to Governor).

Status 5/30/2023: Passed on May 19 2023 - 100% progression; 2023-05-19 - Effective on 9/1/23.

HB 624: Allows for a firefighter, including volunteer, to transport a sick or injured patient to a health care facility in a vehicle other than an emergency vehicle under certain conditions. (Sent to the Governor)

Status 5/30/2023: Passed on May 23 2023 - 100% progression; 2023-05-23 - Effective on 9/1/23.

Still In Progress

- **Sent to Governor**

HB 2127: Pre-empts City from enacting ordinances in areas already regulated by State law. “In a field of regulation that is occupied by a provision of this code”. Allows for declaratory and injunctive relief as well as attorney fees. City immunity is waived. Pre-emption in the following codes: Agriculture Code, Business & Commerce

Code, Finance Code (Exception: current ordinance regulating credit service organizations, credit access business), Insurance Code, Labor Code (Includes: employment leave, hiring practices, breaks, employment benefits, scheduling practices, any other terms that exceed or conflict with State or Federal law for employers other than a municipality or county); Local Government Code (Includes: control, manage, care welfare, health and safety of animals; breeding, care, treatment, veterinary practice, or sale of animals, animal products. Also includes the retail sale of dogs or cats once the state adopts statewide regulations for the retail sale of dogs and cats); Natural Resource Code; Occupations Code (Exception: massage establishments); Property Code. (Passed the House and Senate)

Status 5/30/2023: (Enrolled) 2023-05-24 - Sent to the Governor [HB2127 Detail]

HB 1819: States a City may not adopt an order, ordinance, or other measure that imposes a curfew to regulate the movement or actions of persons younger than 18 years of age. (sent to the Governor)

Status 5/30/2023: Enrolled on May 18 2023 - 75% progression; 2023-05-22 - Sent to the Governor

HB 3699: Requires platting only when a landowner is subdividing and is required to dedicate parts of the tract for public use such as for streets, alleys, squares, and parks. or when the lot fronts on or adjacent to the streets, alleys, squares, parks or other parts. Application submitted is considered complete if it meets all of the requirements. City must adopt a list of requirements and make such available to the public of all documents to be submitted and if submitted meeting all requirements, it is considered complete. Can only require dedication of land within a subdivision for future street and alleys if it is within the CIP adopted by the City. (Passed the House, public hearing 5/16, voted out of committee and Senate amendment on 5/22)

Status 5/30/2023: Enrolled on May 29 2023 - 75% progression; 2023-05-30 - Sent to the Governor.

HB 14: Allows developer-led third-party review of development documents (plan, plat, or other document related to development) if a municipal government fails to take action within 15 days of it being filed. Action is to approve, deny or conditionally approve. (Passed House/referred to local government)

Status 5/30/2023: Enrolled on May 24 2023 - 75% progression; 2023-05-26 - Sent to the Governor.

HB 1750: Relating to the applicability of certain City requirements to agricultural operations that affect farmers and ranchers who engage in ag operations within City limits. Purpose of the bill is to ensure ag operations are protected by providing limitations on City governmental requirements on all agricultural operations within City limits. Specifically, City restraint requirements as it relates to dogs would not be applicable to a dog used to protect livestock; maximum height for vegetation must at least 12

inches and only applies to portions of the property that are located no more than 10 feet from a property boundary that is adjacent to a public sidewalk, street, or highway, or a property that is owned by another person and has a structure with inhabitants. (Sent to Governor)

Status 5/30/2023: Enrolled on May 16 2023 - 75% progression; 2023-05-18 - Sent to the Governor.

HB 3033: Requires the City to release public information within 30-days after receiving a written decision from the Attorney General in response to a PIA. In determining a deadline to request an opinion, the City does not have to consider Saturday, Sunday or national and state holidays if the City is closed on those days. Option City holidays are not considered. (Passed the House/ referred to B&C)

Status 5/30/2023: Enrolled on May 28 2023 - 75% progression; 2023-05-30 - Sent to the Governor.

SB 1340: This bill adds an agreement entered into by a local government under chapter 312 of the Tax Code to the definition of "Local development agreement". The current Chapter 380 and 381 database maintained by the comptroller will now be a consolidate searchable data tool renamed the "Local Development" agreement database and adds information to be added to the database. It also states a taxing unit that maintains an Internet website and that executes a tax abatement agreement shall provide on the website a direct link to the location of the agreement information published on the comptroller's Internet website. Effective 9/1/23

Status 5/30/2023: Enrolled on May 18 2023 - 75% progression; 2023-05-19 - Sent to the Governor.

Still in Progress

- **Pending in committee, sent to Calendars, etc...**

HB 2023: If a Court determines that an ordinance, regulatory decision, denial of an application, refusal to issue a permit or similar measure is unenforceable by the City because it is pre-empted by the Texas Constitution and State statute, the Court shall award the prevailing party in the action such court costs and reasonable attorney's fees including expert witness fees to be paid by the City. (Sent to House Calendar)

Status 5/30/2023: Introduced on February 8 2023 - 25% progression; 2023-04-26 - Committee report sent to Calendars.

HB 2665: Prohibits a City from adopting or enforcing ordinances against short term rentals. Was amended to create a task force (Texas Department of Licensing and

Regulations) that will study short term rentals. Report due by December 31, 2024.
(Received from the House)

Status 5/30/2023: Engrossed on May 9 2023 - 50% progression; 2023-05-10 -
Received from the House.

HB 2789/SB 1412: Allows an accessory dwelling unit in a single-family zoning district by right. It can be built before, after, or concurrently with the primary dwelling. The City would be pre-empted from regulating when it is built, or restrict renting of the accessory dwelling unit. However, City can collect impact fees separate and apart from the main dwelling unit. The permit for approval of the accessory dwelling is ministerially approval and no hearing before P&Z or City Council permitted for approval. (HB 2789 Sent to Calendar in the House/ SB 1412 Passed Senate and House)

Status 5/30/2023:

HB 2789: Introduced on February 24 2023 - 25% progression;
2023-05-02 - Committee report sent to Calendars.

SB 1412: Engrossed on April 27 2023 - 50% progression;
2023-05-23 - Statement(s) of vote recorded in Journal.

SB 221: Would require the Secretary of State to review ballot language in initiative, referendum, and charter elections for home rule cities. Waives governmental immunity if a person seeks a writ of mandamus to compel the City to comply with the requirements that a ballot proposition be submitted with definiteness, certainty, and neutrality so that the voters are not misled by the language. (Passed the Senate and still pending in House /postponed on a point of order 5/18.)

Status 5/30/2023: Engrossed on March 28 2023 - 50% progression; 2023-05-18 -
Postponed 12/24/23 10:00 AM.

SB 767: Requires the City's fee schedule to be on the City's budget cover page if new fees are being established or increased. (Left pending in the committee)

Status 5/30/2023: Engrossed on April 12 2023 - 50% progression; 2023-05-23 -
Postponed 5/23/24 10:00 AM.

SB 1419: Would prohibit City from making a loan or grant of public money under a Chapter 380 economic development grant agreement from the proceeds of property taxes ("ad valorem taxes"). Current law prohibits grant agreements or loans to be paid from the proceeds of bonds or other obligations of the municipality payable from ad valorem taxes. Limits grant agreements to 10 years and requires a public hearing with not less than 15 business days' notice. Does not prohibit the City from using other proceeds such as sales tax and fees to make the loan or grant. (Passed Senate and was sent to the House/referred to ways and means)

Status 5/30/2023:

HB2789: Introduced on February 24 2023 - 25% progression; 2023-05-02 - Committee report sent to Calendars.

SB1412: Engrossed on April 27 2023 - 50% progression; 2023-05-23 - Statement(s) of vote recorded in Journal.

HB 276: City may not adopt an ordinance that regulates the following on a single-family lot: growing fruits and vegetables; raising or keeping six or fewer domestic fowls; or six or fewer adult rabbits. Ordinance can regulate odor, noise, safety or sanitary conditions. Can prohibit the raising or keeping of a rooster. (Passed House and sent to Senate/referred to Local Government)

Status 5/30/2023: Engrossed on April 28 2023 - 50% progression; 2023-05-01 - Referred to Local Government; Pending: Senate Local Government Committee.

HB 5089: Relating to the location at which certain sales are consummated for purposes of local sales and use taxes. (Still in the House.)

Status 5/30/2023: Introduced on March 10 2023 - 25% progression; 2023-05-02 - Committee report sent to Calendars.

SB 1787: Relating to the ability of the City to regulate lot size for those lots greater than 1,400 square feet. (HB 3921 is companion bill and was placed on House calendar. SB 1787 Passed the Senate, received first reading in the House/ committee report filed 5/18.)

Status 5/30/2023: Engrossed on May 11 2023 - 50% progression; 2023-05-23 - Placed on General State Calendar.

HB 2806: Entitles an owner of a commercial sign the ability to relocate the sign in certain circumstances to same property or adjacent property on the same highway not more than one mile from the previous location. City would be required to grant a special exception to their ordinance if such location was prohibited. (Passed the house/ referred to transportation)

Status 5/30/2023: Engrossed on May 2 2023 - 50% progression; 2023-05-17 - Referred to Transportation.

Pending: Senate Transportation Committee

HB 2367: Regulation of residential amenity rentals by a political subdivision provided rental is less than 15 hours and not for the purpose of sleeping accommodations to a tenant. City may require registration. (Left pending in Committee)

Status 5/30/2023: Introduced on February 15 2023 - 25% progression; 2023-03-29 - Left pending in committee; Pending: House Land & Resource Management Committee.

HB 2926: Extends the Workers' Comp presumption for COVID for two years, until September 1, 2025. (Passed the House/ referred to Business and Commerce)

Status 5/30/2023: NEED TO CONFIRM PROPER BILL NUMBER.

HB 2493: Electronic information, including databases, must be produced under Public Information Act. (Passed the House/ referred to Business and Commerce)

Status 5/30/2023: Engrossed on May 6 2023 - 50% progression; 2023-05-10 - Referred to Business & Commerce.

SB 990: Eliminates county-wide polling place program. (Passed the Senate/ referred to Elections)

Status 5/30/2023: Engrossed on April 20 2023 - 50% progression; 2023-04-25 - Referred to Elections.

SB 221: SOS ballot language review for City propositions, private cause of action against City. (Passed Senate, sent to calendar)

Status 5/30/2023:

HB 2224 (SB 1663): Eliminated the requirement for an engineering study if a City wants to lower a speed limit to 20 MPH (current law set at 25 MPH) for a street located in a residential district. (Passed House-HB 2224; Passed Senate-SB 1663/ set to calendar)

Status 5/30/2023:

SB 1663: Engrossed on April 17 2023 - 50% progression; 2023-05-23 - Placed on General State Calendar.

HB 2224: Engrossed on April 20 2023 - 50% progression; 2023-04-24 - Received from the House.

HB 2954: Regarding mandatory office hours regarding city secretaries during election season Includes the regular business day that the City is open. (Passed the House/referred to State Affairs)

Status 5/30/2023: Engrossed on March 28 2023 - 50% progression; 2023-05-18 - Postponed 12/24/23 10:00 AM.

HB 2232: Allowing a property located in a portion of the city's ETJ subject to county control over plating may apply to the county commissioner's court for cancellation of certain subdivision plats. (Passed the House)

Status 5/30/2023: Engrossed on May 7 2023 - 50% progression; 2023-05-21 - Left pending in committee; Pending: Senate Local Government Committee.

- HB 2266:** Allowing a state license holder to bring legal action against a city if city regulation results in adverse economic impact on the license holder. (Passed the House/ public hearing scheduled 5/19)
- Status 5/30/2023:** Engrossed on May 11 2023 - 50% progression; 2023-05-24 - Not again placed on intent calendar.
- HB 4285:** Prohibits city from enforcing outdoor sign ordinance in the ETJ. (Passed the House)
- Status 5/30/2023:** Engrossed on May 7 2023 - 50% progression; 2023-05-09 - Referred to Local Government; Pending: Senate Local Government Committee.
- SB 369:** Providing that any area not receiving full municipal services (full municipal, unless negotiated service plan provides otherwise, services defined by police, fire, solid waste collection, water and wastewater facilities where city has CCN) may be disannexed, unless the city is not required to provide full municipal services under an annexation service plan or has entered a written agreement. (Passed the Senate/ placed on calendar 5/23)
- Status 5/30/2023:** Engrossed on May 10 2023 - 50% progression; 2023-05-23 - Placed on General State Calendar.
- SB 767:** Requires a fee schedule of new and increased fees to be on the city's budget's cover page and for cities over 30,000 to establish and maintain an email notification service regarding new or increase fees. "**This budget includes estimated revenue from the following new or increased fees: (include a description of each new or increased fee, the dollar amount of each new fee, and the dollar amount of and percentage of increase of each increased fee).**" (Passed the Senate/placed on house calendar)
- Status 5/30/2023:** Engrossed on April 12 2023 - 50% progression; 2023-05-23 - Postponed 5/23/24 10:00 AM.
- SB 1421:** Limits city regulation of agricultural operations and vegetation height restrictions within city limits and the ETJ. As currently drafted, the bill does not differentiate between agricultural operations and agricultural-like activity on residential lots and would also eliminate a city's ability to impose zoning regulations on any agricultural operation within city limits. This bill passed the Senate and is now in the House Agriculture and Livestock Committee. (Passed the House and referred to Ag & Livestock)
- Status 5/30/2023:** Engrossed on April 3 2023 - 50% progression; 2023-04-17 - Referred to Agriculture & Livestock; Pending: House Agriculture & Livestock Committee.
- HB 2970:** Requires a municipality to allow the placement of a new HUD-code manufactured home as a permitted use in all zoning districts that allow detached SFR or duplex dwellings if the owner of the HUD-code MH elects to treat the MH as real property

under Occ. Code 1201.2055. City may require the HUD-code MH to have a value equal to or greater than the median taxable value of each SFR located within 500 feet of the lot on which the MH is to be placed and have exterior siding, roofing, foundation fascia and fenestration compatible with same, be securely placed on permanent foundation, and comply with city's aesthetic, setbacks, landscaping, square footage and other site requirements. (Passed the House and left pending in Senate Committee)

Status 5/30/2023: Engrossed on April 12 2023 - 50% progression; 2023-05-08 - Left pending in committee; Pending: Senate Local Government Committee.

HB 866: Establishes that a plat is considered filed on the date the applicant submits the plat, along with a completed plat application and the application fees and other requirements prescribed for plat approval. (Passed the House and referred to Local Government)

Status 5/30/2023: Engrossed on April 13 2023 - 50% progression; 2023-05-24 - Not again placed on intent calendar.

SB 829: Cottage Food: would, among other things: (1) add to the definition of "cottage food production operation" a nonprofit organization that produces at the individual's home or the home of an individual who is a director or officer of the nonprofit organization, as applicable; (2) provide that to be considered a cottage food production operation, an individual operating out of the individual's home would need to: (a) have an annual gross income of \$100,000 or less from the sale of certain foods; (b) sell the cottage foods directly to consumers or to a cottage food vendor; and (c) deliver products to the consumer or cottage food vendor at the point of sale or another location designated by the consumer or cottage food vendor; (3) provide that a local government authority, including a local health department, may not require a cottage food production operation to obtain any type of license or permit or pay any fee to sell cottage food directly to a consumer or cottage food vendor.(Passed the House, reported out of committee)

Status 5/30/2023: Engrossed on April 12 2023 - 50% progression; 2023-05-23 - Placed on General State Calendar.

HB 3890: This bill states that by 1/1/24 each CAD will be required to create an Internet database for public view that contains information regarding each protest hearing conducted by the ARB that includes the name of the Board members that attended the hearing, the date and time of the hearing, the account number and property category, the CAD value, the owners opinion of value, and the ARBs determination of protest and value. The database must be updated by October 1 of each year. A link to the database must be placed on the web page of each CAD of the taxing unit database maintained by the Department of Information Resources. Beginning on January 1, 2025, the database shall include information for protests relating to the most recent tax year and each tax year thereafter until the database includes

information for protests relating to the most recent five tax years. Beginning on January 1, 2030, the database shall include information for protests relating to the previous five tax years. Effective 1/1/24

Status 5/30/2023: Introduced on March 7 2023 - 25% progression; 2023-03-20 - Referred to Business & Industry; Pending: House Business & Industry Committee.

Key Dates in this Session

- May 8 (119th Day):** Last day for House Committees to report bills to the House.
- May 12:** Last day for House to consider Consent HBs on local consent calendar on 2nd and 3rd readings and all 3rd reading HBs on supplemental calendar.
- May 19:** Last day for House to consider local HBs on local and consent calendar on 2nd and 3rd readings.
- Monday, May 29:** Sine Die
- Monday, May 29:** Gov. Greg Abbott called immediate special session officially beginning at 9 p.m. Monday, May 29, 2023 on limited topics and bills not passed in regular session. Multiple special sessions is a possibility.



City of Lucas
Planning and Zoning Agenda Request
June 8, 2023

Item No. 06

Requester: Management Analyst Joshua Menhennett

Agenda Item Request

Consider approval of the minutes of the May 11, 2023 Planning and Zoning Commission meeting.

Background Information

NA

Attachments/Supporting Documentation

1. May 11, 2023 Planning and Zoning Commission Minutes

Budget/Financial Impact

NA

Recommendation

NA

Motion

I make a motion to approve the minutes of the May 11, 2023 Planning and Zoning Commission meeting.



MINUTES

PLANNING AND ZONING COMMISSION MEETING

May 11, 2023 | 6:30 PM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

Commissioners Present:

Chairman Dusty Kuykendall
Vice-Chairman Tommy Tolson
Commissioner Peggy Rusterholtz
Commissioner Joe Williams
Alternate Commissioner Chris Bierman (*voting member*)

Staff Present:

City Manager Joni Clarke
Assistant City Manager Kent Souriyasak
Development Services Director Joe Hilbourn
City Attorney Courtney Morris
City Secretary Erin Flores
Management Analyst Joshua Menhennett

Commissioners Absent:

Commissioner Adam Sussman
Alternate Commissioner James Foster

City Council Liaison Present:

Mayor Jim Olk

Call to Order

The meeting was called to order at 6:30 pm and the Pledge of Allegiance was recited.

Chair Kuykendall gave information regarding a public hearing being held by TxDOT regarding the widening of FM 1378.

Commissioner Rusterholtz congratulated Chairman Kuykendall on his election to City Council and thanked him for his time served on the Planning and Zoning Commission.

Public Hearing Agenda

1. **Conduct a public hearing and consider approving a request for a change in zoning from AO (Agricultural and Open Space) to R-2 (Residential 2-acre) on a tract of land being 23.691 acres of land located in the Peter F. Lucas survey, abstract number 537, town of Lucas, Collin County, Texas, being all of the Jason Blakely and Jessica Blakely called 23.691 acre tract 23 +/- parcel of land, more commonly known as 355 Winningkoff Road.**
 - A. **Presentation by Development Services Director Joe Hilbourn**
 - B. **Conduct public hearing**
 - C. **Take action on Zoning Change Request**

Development Services Director Joe Hilbourn gave a presentation highlighting the background of the request, proposed lot location, and staff recommendation.

Chairman Kuykendall opened the public hearing at 6:34 pm.

J. R. Douglas, representing Jason and Jessica Blakely, spoke about their excitement about the future of the proposed home sites.

Chairman Kuykendall closed the public hearing at 6:34 pm.

MOTION: A motion was made by Commissioner Rusterholtz, seconded by Vice-Chairman Tolson, to approve a request for a change in zoning from AO (Agricultural and Open Space) to R-2 (Residential 2-acre) on a tract of land being 23.691 acres of land located in the Peter F. Lucas survey, abstract number 537, town of Lucas, Collin County, Texas, being all of the Jason Blakely and Jessica Blakely called 23.691 acre tract 23 +/- parcel of land, more commonly known as 355 Winningkoff Road. The motion passed unanimously by a 5 to 0 vote.

2. **Conduct a public hearing and consider approving a request for a Planned Development zoning overlay on a parcel of land zoned Commercial Business (CB) on a tract of land being 42.339 acres (1,884,296 square feet) in the James Anderson Survey, Abstract Number 17, City of Lucas, Collin County, Texas, more commonly known as the Hunt tract at the northwest corner of the Parker Road and Country Club Road intersection.**
 - A. **Presentation by Development Services Director Joe Hilbourn**
 - B. **Conduct public hearing**
 - C. **Take action on Zoning Change Request**

This agenda item was pulled from the agenda at the applicant's request.

MOTION: There was no motion needed for this item.

Regular Agenda

3. **Consider corrections to the request by Majed Khalaf on behalf of Mahmoud Properties for a site plan, landscape plan, and elevations for use as a commercial retail and office center on a 2.25-acre tract of land in the Jas Lovelady Survey, Abstract Number ABS A0538, Tract 14 situated in the City of Lucas, Collin County, Texas, located at 995 West Lucas Road.**

Development Services Director Joe Hilbourn gave a presentation explaining the changes to the site plan, landscape plan, and elevations, which conform with the Planning and Zoning Commissions' recommendations made at the April 13, 2023 meeting.

MOTION: A motion was made by Commissioner Rusterholtz, seconded by Commissioner Williams, to accept the request by Majed Khalaf on behalf of Mahmoud Properties for a site plan, landscape plan, and elevations for use as a commercial retail and office center on a 2.25-acre tract of land in the Jas Lovelady Survey, Abstract Number ABS A0538, Tract 14 situated in the City of Lucas, Collin County, Texas, located at 995 West Lucas Road. The motion passed unanimously by a 5 to 0 vote.

4. **Discuss updating the City of Lucas Code of Ordinances, Chapter 14 titled "Zoning", and create a timeline for review with established future milestones.**

Development Services Director Joe Hilbourn explained that staff is seeking direction from the Commission on updating Chapter 14 of the City Code of Ordinances. Commissioner Rusterholtz opined that changes to regulations regarding accessory dwelling units may need to be made upon conclusion of the Texas Legislative Session, in case there are new laws passed. Chairman Kuykendall

recommended that the review be conducted in sections to promote ease of review. City Attorney Courtney Morris asked the Commission if there were any sections in particular or issues in the current verbiage that should be addressed. Mayor Jim Olk opined that a recommendation from all members of the Lucas City Council would provide guidance for review.

City Manager Joni Clarke advised the Commission that City staff could work to create a plan that would group sections that are alike together to make the review easier. Commissioner Rusterholtz advised that an item of note is the section related to nonconforming uses and standards.

Mr. Hilbourn advised that staff would create a schedule for review of Chapter 14. City Attorney Morris advised that specific use permit regulations and the zoning appeals process have already been reviewed, as well as accessory dwelling unit regulations. Chairman Kuykendall asked how input from the City Council would be received. Mayor Olk advised there would be an item on a future agenda for discussion.

City Attorney Morris advised that another item of interest is the Schedule of Uses Chart. Commissioner Williams pointed out that home-based business regulations have already been reviewed recently.

Chairman Kuykendall directed that after receiving feedback from the City Council and a schedule from staff, the Commission can begin discussions on the update.

MOTION: There was no motion needed for this item.

5. Consider the 88th Legislative Session and discuss any proposed bill or significant resolution that may have an impact on the City of Lucas and provide guidance to the City Attorney and City Manager.

City Attorney Courtney Morris advised the Commission on various legislative items in the 88th Texas Legislative Session.

MOTION: There was no motion needed for this item.

6. Consider approval of the minutes of the April 13, 2023 Planning and Zoning Commission meeting.

MOTION: A motion was made by Commissioner Williams, seconded by Commissioner Rusterholtz, to approve the minutes of the April 13, 2023 Planning and Zoning Commission meeting. The motion passed unanimously by a 5 to 0 vote.

7. Adjournment.

MOTION: A motion was made by Commissioner Williams, seconded by Alternate Commissioner Bierman to adjourn the meeting at 6:54 pm. The motion passed unanimously by a 5 to 0 vote.

Tommy Tolson, Vice-Chairman

Joshua Menhennett, Management Analyst



City of Lucas

Planning and Zoning Agenda Request

June 8, 2023

Item No. 07

Requester: Development Services Director Joe Hilbourn

Agenda Item Request

Conduct a public hearing and consider a Specific Use Permit (SUP) application to permit an accessory building in the front of the main structure at 253 East Blondy Jhune Road, Lot 5 of Rock Creek Acres, Lucas, Texas zoned R-2 (Residential 2-Acre).

- A. Presentation by Development Services Director Joe Hilbourn
- B. Conduct public hearing
- C. Take action on Specific Use Permit request

Background Information

The property located at 253 East Blondy Jhune Road is a 19.754-acre tract of land zoned R-2. The applicant is requesting a SUP to place an accessory building in front of the main structure. The City of Lucas Code of Ordinances, Chapter 14, Division 8, Section 14.04.304, Subsection 3(a)(i) states that a SUP is required for an accessory building to be located in front of the main structure.

(3) Setbacks.

(a) Accessory buildings.

- i.* Front yard setback: Attached accessory buildings or structures shall meet the required setback of the principle building or structure. Detached accessory buildings or structures shall be setback a minimum of ten feet (10') behind the rear build line of the principle building, structure or dwelling. A Specific Use Permit may be granted to allow a detached accessory building, structure or dwelling in AO and R-2 (Residential 2-acre) zoned districts and shall require a three-hundred foot (300') front yard setback.

The Notice of Public Hearing for this item erroneously stated 7:00 p.m., therefore the public hearing must not be opened before this time.

Attachments/Supporting Documentation

- 1. Proposed SUP Ordinance
- 2. Public Notice
- 3. Proposed site plan
- 4. Proposed elevations

Budget/Financial Impact

NA



City of Lucas
Planning and Zoning Agenda Request
June 8, 2023

Item No. 07

Recommendation

City staff recommends approving the request for a SUP as presented.

Motion

I make a motion to recommend to the City Council to approve/deny a Specific Use Permit (SUP) application to permit an accessory building in the front of the main structure at 253 East Blondy Jhune Road, Lot 5 of Rock Creek Acres, Lucas, Texas zoned R-2 (Residential 2-Acre).



ORDINANCE #2023-06-XXXX

[Specific Use Permit for Accessory Building in the Front of the Main Structure
253 East Blondy Jhune Road]

AN ORDINANCE OF THE CITY OF LUCAS, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE CITY OF LUCAS, TEXAS, AS HERETOFORE AMENDED, BY GRANTING A SPECIFIC USE PERMIT TO ALLOW AN ACCESSORY BUILDING IN THE FRONT OF THE MAIN STRUCTURE, LOCATED AT 253 EAST BLONDY JHUNE ROAD, CITY OF LUCAS, COLLIN COUNTY, TEXAS (THE “PROPERTY”), CURRENTLY ZONED SINGLE-FAMILY RESIDENTIAL, 2-ACRE LOTS DISTRICT (“R2”), AND BEING MORE PARTICULARLY DESCRIBED IN EXHIBIT “A” ATTACHED HERETO; PROVIDING FOR THE APPROVAL OF THE BOUNDARY SURVEY ATTACHED HERETO AS EXHIBIT “B”; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING A CONFLICTS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Planning and Zoning Commission of the City of Lucas, Texas, and the governing body of the City of Lucas in compliance with the laws of the State of Texas and the Ordinances of the City of Lucas, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area, and in the vicinity thereof, and in the exercise of its legislative discretion have concluded that the Comprehensive Zoning Ordinance and Map of the City of Lucas, Texas, as previously amended, should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LUCAS, TEXAS, THAT:

SECTION 1. That the Comprehensive Zoning Ordinance and Map of the City of Lucas, Texas, as heretofore amended, be and the same are hereby amended, to grant a Specific Use Permit to allow for an accessory building in front of the main structure, located at 253 East Blondy Jhune Road, City of Lucas, Collin County, Texas, currently zoned Single-Family Residential, 2-Acre Lots District (“R2”), and being more particularly described in Exhibit “A” attached hereto and made a part hereof for all purposes.

SECTION 2. That the above-described property shall be used only in the manner and for the purposes provided for by the Comprehensive Zoning Ordinance of the City of Lucas as heretofore amended:

- (1) The Property shall be developed in accordance with the Boundary Survey attached hereto as Exhibit “B”; and

SECTION 3. To the extent of any irreconcilable conflict with the provisions of this Ordinance and other Ordinances of the City of Lucas governing the use and development of the Property and which are not expressly amended by this Ordinance, the provisions of this Ordinance shall be controlling.

SECTION 4. That all Ordinances of the City of Lucas in conflict with the provisions of this Ordinance shall be, and same are hereby, repealed, provided, however, that all other provisions of said Ordinances are not in conflict herewith shall remain in full force and effect.

SECTION 5. That should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance or of the City of Lucas Code of Ordinances, as amended hereby, be adjudged or held to be voided or unconstitutional, the same shall not affect the validity of the remaining portions of said Ordinances or the City of Lucas Code of Ordinances, as amended hereby, which shall remain in full force and effect.

SECTION 6. An offense committed before the effective date of the Ordinance is governed by prior law and the provisions of the City of Lucas Code of Ordinances in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 7. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Code of Ordinances, as amended, and upon conviction in the municipal court shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 8. That this Ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Lucas, and it is accordingly so ordained.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF LUCAS, COLLIN COUNTY, TEXAS, ON THIS ____ DAY OF _____, 2023.

APPROVED:

Jim Olk, Mayor

APPROVED AS TO FORM:

ATTEST:

Joseph J. Gorfida, Jr., City Attorney
(05-12-2023:cgm:TM135032)

Erin Flores, City Secretary

EXHIBIT "A"
PROPERTY DESCRIPTION

253 East Blondy Jhune Road, Lot 5, Rock Creek Acres, Lucas, Texas 75002.

SITUATED in the State of Texas, County of Collin, and City of Lucas, being part of the John Cahill Survey, Abstract No. 146 and part of the John Kerby Survey, Abstract No. 506, and being part of Lot 3R of Rock Creek Acres, an addition to the City of Lucas as recorded in Volume 2013, Page 170 of the Collin County Map Records with said premises being more particularly described as follows:

BEGINNING at a Roome capped iron rod found in the north right-of-way line of Blondy Jhune Road marking the most southerly southwest corner of Lot 3R, the most southerly southwest corner of said premises, and the southeast corner of Lot 4 of said addition;

THENCE with a west line of Lot 3R, a west line of said premises, and the east line of said Lot 4, North 01°18'26" East, 216.63 feet to a Roome capped iron rod found marking an interior ell-corner of Lot 3R, an interior ell-corner of said premises, and the most easterly northeast corner of said Lot 4;

THENCE with a south line of Lot 3R, a south line of said premises, and a north line of said Lot 4, North 88°30'35" West, 280.38 feet to a Roome capped iron rod found marking a southwest corner of Lot 3R, a southwest corner of said premises, and an interior ell-corner of said Lot 4;

THENCE with a west line of Lot 3R, a west line of said premises, and an east line of said Lot 4, North 02°27'53" East, 276.47 feet to a Roome capped iron rod found marking an interior ell-corner of Lot 3R, an interior ell-corner of said premises, and the most northerly northeast corner of said Lot 4;

THENCE with a south line of Lot 3R, a south line of said premises, and the north line of said Lot 4, North 88°27'27" West, passing a 5/8-inch iron rod found at 274.01 feet marking the northwest corner of said Lot 4, and the northeast corner of Cross Creek Addition, an addition to the City of Lucas as recorded in Volume J, Page 328 of the Collin County Map Records, and continuing along the north line of said Cross Creek Addition for a total distance of 846.02 feet to a 1/2-inch iron rod found marking the most westerly southwest corner of Lot 3R, the most westerly southwest corner of said premises, the northwest corner of said Cross Creek Addition, the northeast corner of a called 2.00 acre tract as recorded in Volume 1331, Page 73 of the Collin County Land Records, and being the southeast corner of Forest Creek Estates, an addition to the City of Lucas as recorded in Volume N, Page 433 of the Collin County Map Records;

THENCE with the west line of Lot 3R, the west line of said premises, and the east line of said Forest Creek Estates, North 01°29'23" East, 510.79 feet to a Boundary Solutions capped iron rod found marking the northwest corner of said premises;

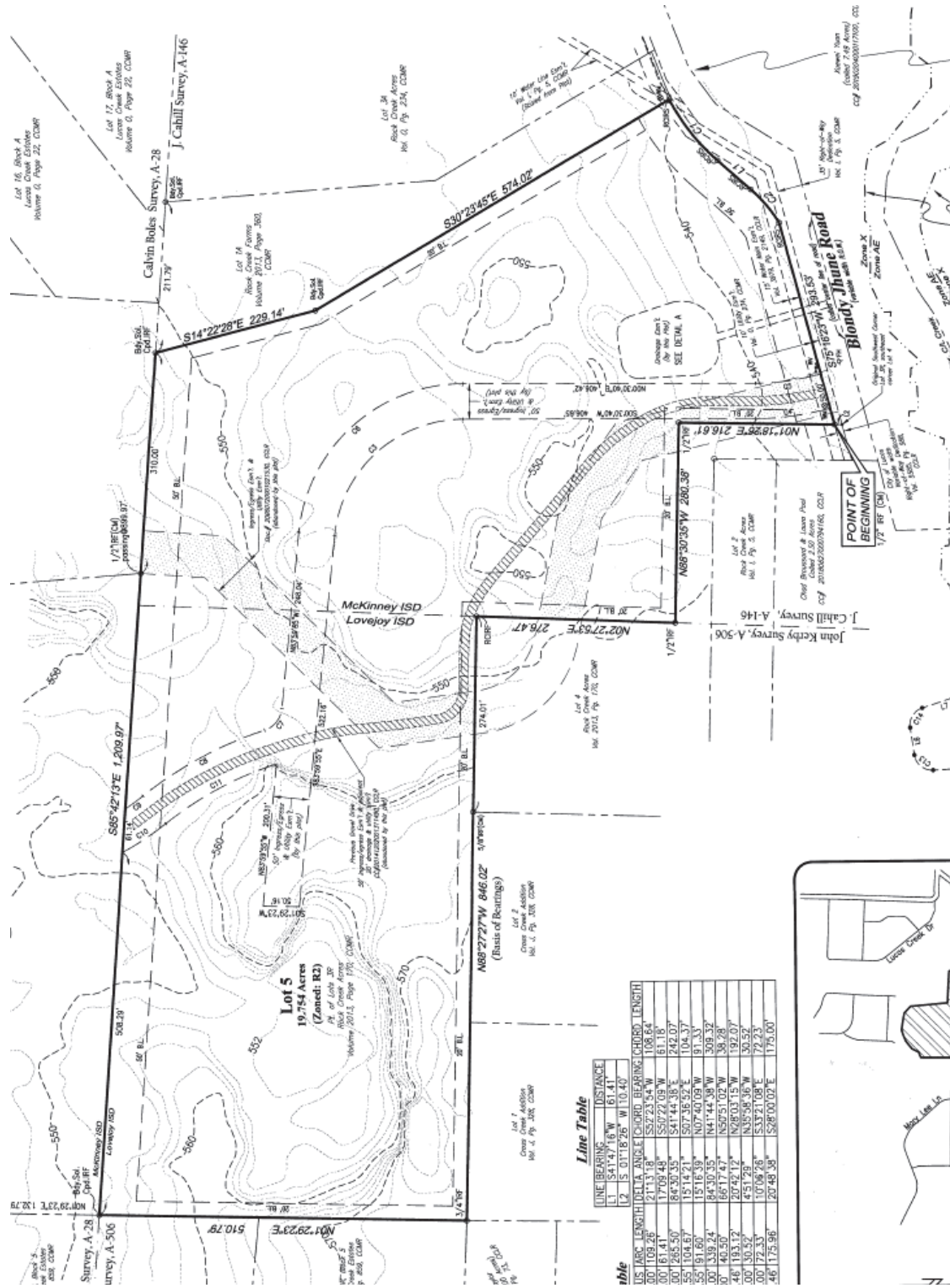
THENCE with the north line of said premises, South 85°42'13" East, passing at 899.97 feet a 1/2" iron rod found marking the southwest corner of Lot 1A of said Rock Creek Farms, and continuing with the south line of Lot 1A a total distance of 1209.97 feet to a Boundary Solutions capped iron rod found marking the northeast corner of said premises, a northeast corner of Lot 3R, and an interior corner of said Lot 1A;

THENCE with the east line of said premises, and a common line between Lot 3R and Lot 1A as follows: South 14°22'30" East, 229.14 feet to a Boundary Solutions capped iron rod found for corner; South 30°23'45" East, 577.34 feet to a Boundary Solutions capped iron rod found marking the most easterly southeast corner of said premises, said Lot 3R, being in the northerly right-of-way line of

Blondy Jhune Road and the northerly line of a called 0.267 acre tract to the City of Lucas as recorded in Volume 5585, Page 588 of the Collin County Land Records;

THENCE with the northerly right-of-way line of Blondy Jhune Road, the southerly line of said premises and the southerly line of said Lot 3R as follows: South 54°20'28" West, 52.33 feet to a point for corner; South 32°00'17" West, 116.71 feet to a point for corner; and South 75°16'23" West, 367.38 feet to the point of beginning and containing 19.836 acres of land.

EXHIBIT "B" BOUNDARY SURVEY



Line Table

LINE BEARING	DISTANCE
S 54° 14' 09\"/>	



City of Lucas
 Ordinance # 2023-06-XXXX
 Approved: _____



NOTICE OF PUBLIC HEARINGS

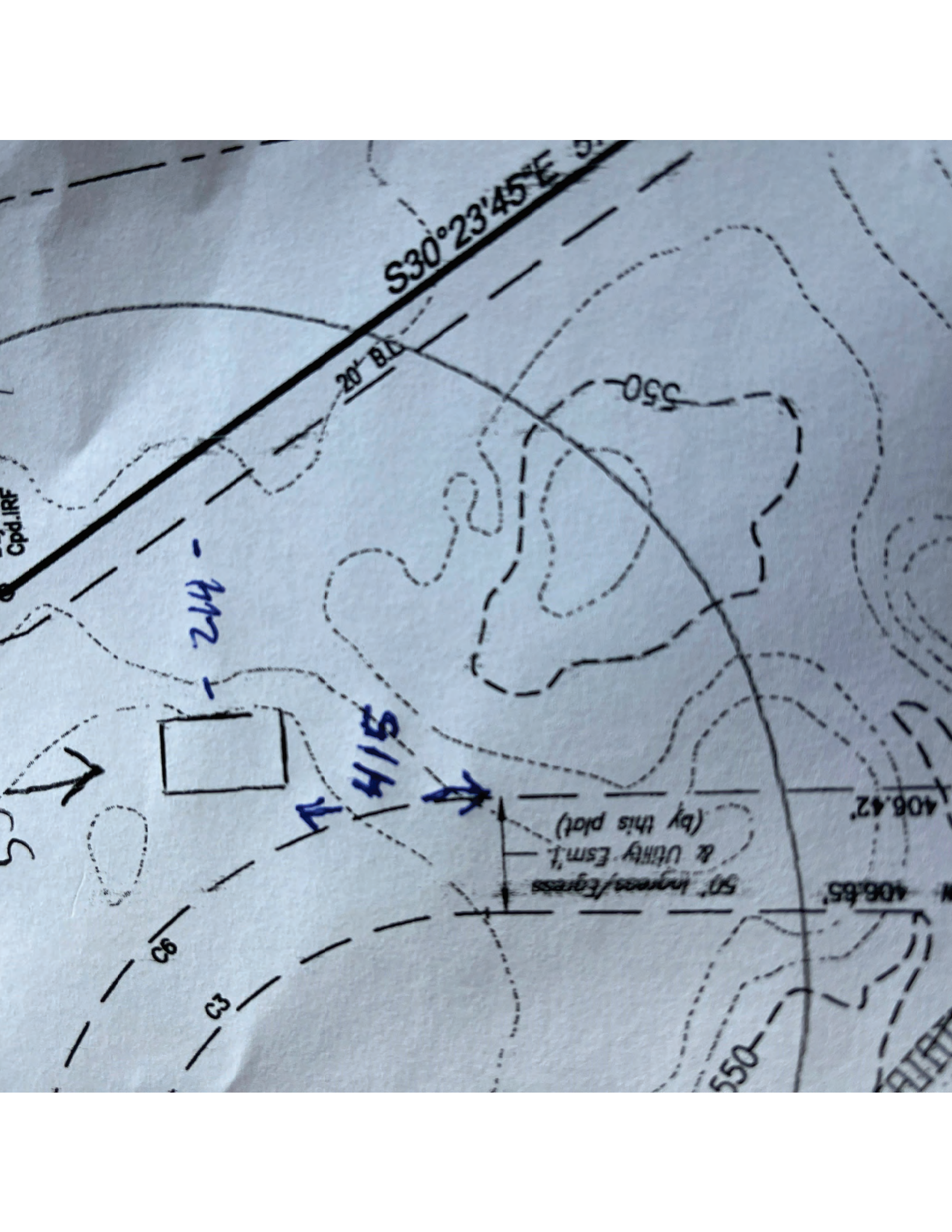
NOTICE IS HEREBY GIVEN, that the Planning and Zoning Commission of the City of Lucas, Texas will conduct a public hearing on Thursday, June 8, 2023 at 7:00 p.m. and the City Council will conduct a second public hearing on Thursday, June 15, 2023 at 7:00 p.m. at Lucas City Hall, 665 Country Club Road, Lucas, Texas to consider a Specific Use Permit (SUP) application to permit an accessory building in the front of the main structure at 253 East Blondy Jhune Road, Lot 5 of Rock Creek Acres, Lucas, Texas, Zoned R-2. The request is described as follows:

(1) Setbacks.

(a) Accessory buildings.

- i.* Front yard setback: Attached accessory buildings or structures shall meet the required setback of the primary building or structure. Detached accessory buildings or structures shall be setback a minimum of ten feet behind the rear build line of the primary building, structure or dwelling. A Specific Use Permit may be granted to allow a detached accessory building or structure to be located in front of the primary building, structure or dwelling in AO and R-2 zoned districts and shall require a 300 foot front yard setback.

Those wishing to speak FOR or AGAINST the above item are invited to attend. If you are unable to attend and have comments you may send them to City of Lucas, Attention: City Secretary, 665 Country Club Road, Lucas, Texas 75002, or email eflores@lucastexas.us and it will be presented at the hearing. If you have any questions about the above hearing, you may contact Development Services Director Joe Hilbourn at jhilbourn@lucastexas.us.



GENERAL FRAMING NOTES AND SCHEDULES

1. GENERAL LOADING CONDITIONS

THE DESIGN OF THE STRUCTURE AND PARTS THEREOF IS IN ACCORDANCE WITH THE BELLEVUE-CITY ADAPTED BUILDING CODES, AS AMENDED AND ADOPTED BY THE CITY OF LUGGS, TEXAS.

- 1.1. BUILDING CODES: IBC 2018, IRC 2018
- 1.2. ROOF LIVE LOADS:
 - DL
 - 20 PSF
 - 5 PSF
- 1.3. DESIGN WIND SPEED: 90 MPH Exposure C
- 1.4. DESIGN SNOW LOAD: 5 PSF (MIN. ROOF LIVE LOAD GOVERNS)
- 1.5. SEISMIC ZONE: N/A
- 1.6. SPECIAL LOADS: N/A

2. GENERAL CONDITIONS

- 2.1. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND SECTIONS AND REPORT ANY DISCREPANCY TO THE ARCHITECT PRIOR TO THE FABRICATION OR INSTALLATION OF STRUCTURAL MEMBERS.
- 2.2. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND SHORING TO MAINTAIN THE STRUCTURE AND TO BE REMOVED AT THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.
- 2.3. THE PROJECT SPECIFICATIONS SHALL BE CONSIDERED AN INTEGRAL PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL REVIEW THE PROJECT SPECIFICATIONS AND THE ARCHITECT'S COMMENTS AND NOTIFY THE ARCHITECT OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- 2.4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS AND REQUIREMENTS, INCLUDING BUT NOT LIMITED TO OSHA REGULATIONS, AN APPROVED AGENCY OR INDIVIDUAL SHALL INSPECT THE FRAMING AND CONNECTIONS.
- 2.5. THE CONTRACTOR SHALL FOLLOW ALL CONSTRUCTION MEANS, METHODS, AND TECHNIQUES AND/OR PROCEDURES, AS WELL AS SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES. AS SUCH, ANY REQUIRED CONSTRUCTION SEQUENCES, METHODS, MEANS, METHODS, AND TECHNIQUES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

3. GEOTECHNICAL INFORMATION

- 3.1. A GEOTECHNICAL REPORT WAS NOT AVAILABLE AT THE TIME OF DESIGN. REFERENCE FOUNDATION PLAN AND DETAIL SHEETS FOR RECOMMENDATIONS RELATED TO THE SUBGRADE.

3. MATERIALS

- 3.1. CONCRETE
 - 3.1.1. REFERENCE CONCRETE DETAIL SHEET FOR GENERAL NOTES.
- 3.2. STEEL
 - 3.2.1. STRUCTURAL STEEL COMPONENTS SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:
 - 3.2.1.1. STRUCTURAL STEEL WFL: ASTM A992
 - 3.2.1.2. STRUCTURAL STEEL TUBES: ASTM A500
 - 3.2.1.3. STRUCTURAL STEEL WELLS: ASTM A588
 - 3.2.1.4. ANCHOR BOLTS: ASTM F1554 Grade 55

4. ROOF SHEATHING

- 4.1. ROOF SHEATHING SHALL BE AT LEAST 7/16" THICK APA RATED SHEATHING (CLASS 1) WITH 1" x 4" AT EDGES. ALL SHEATHING SHALL BE SECURED TO CLIPS TO SECURE UNSUPPORTED EDGES. NAIL WITH 80 COMMON NAILS OR SCREW WITH TEK SCREWS AT 6" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE.



J. Robinson
Engineering, LLC
Efficiency in Design
DALLAS, TX
TELEPHONE: 469-805-7902
Firm F-23996

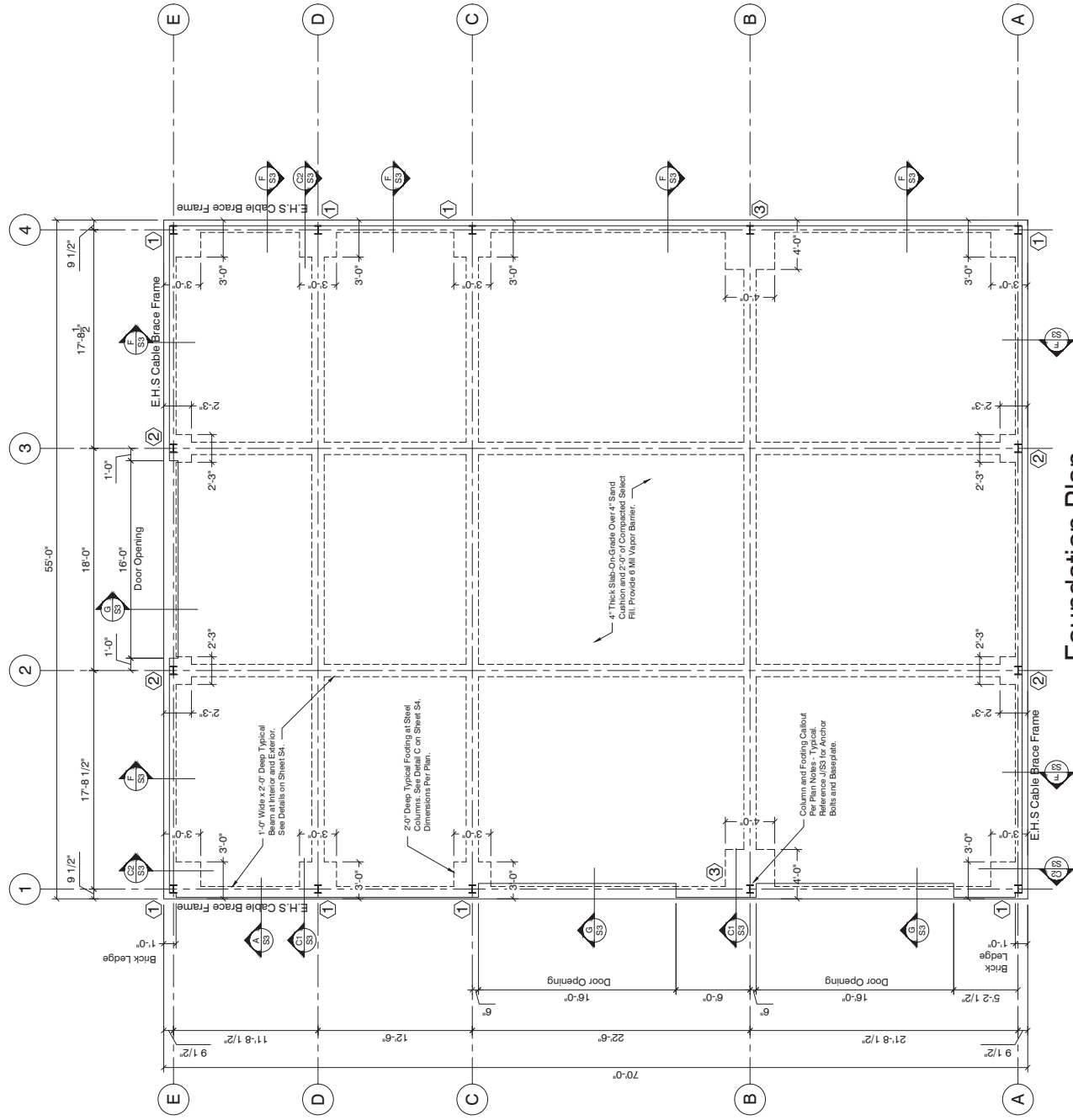


M&M Steel Buildings
Contact: Alvin Hutcheson (972) 675-7143
253 E Blonay Juhne Road
Lucas, TX 75062

General Notes

DRAWN BY: J.R.
SHEET
S1
SCALE: 1/4" = 1'-0"
DATE: 02/28/2023
OF 7
REVISION:

JOB CODE: 23101



Foundation Plan

- Typical Notes**
- See Foundation Details sheet for typical foundation notes. Contractor shall verify all dimensions prior to purchasing material.
 - Install all hardware specified in accordance with manufacturers specifications.
 - Welded shop positions are listed with Owner and Contractor.
- Foundation Requirements**
- Slab Thickness: T = 4"
 - Subgrade Reinforcing: W = 1"
 - Beam Width: D = 24"
 - Beam Depth: Top: 2#5
Bottom: 2#5
 - Beam Steel Reinforcing: System: 2#5
- Plan Note Legend**
- W8x5 Steel Column and 3'-0" x 3'-0" Concrete Footing (8 Total)
 - W12x5 Steel Column and 2'-0" x 2'-0" Concrete Footing (4 Total)
 - W8x5 Steel Column and 4'-0" x 4'-0" Concrete Footing (2 Total)

J. Robinson
Engineering, LLC
Efficiency in Design
DALLAS, TX
TELEPHONE: 469-865-7602
Firm F-23996

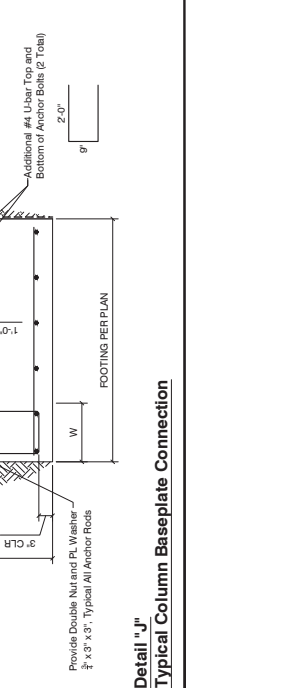
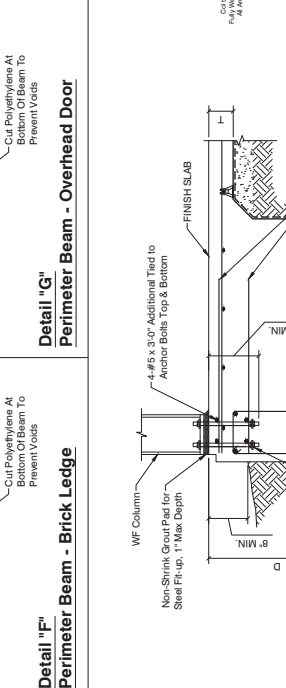
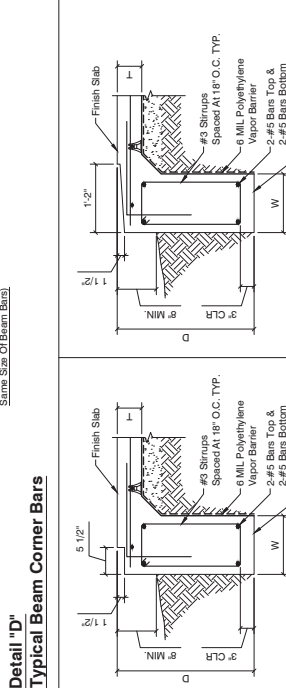
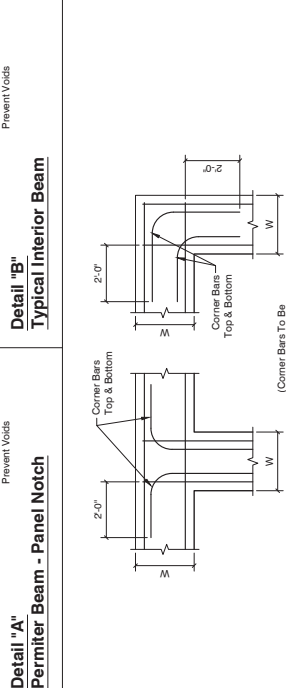
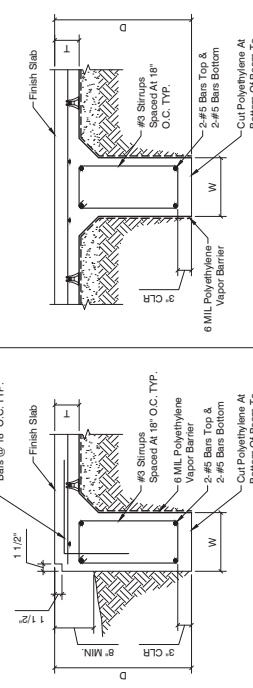
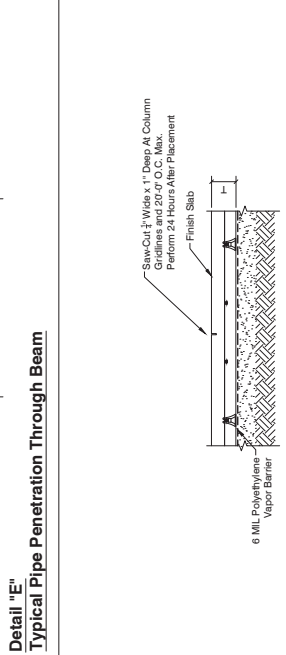
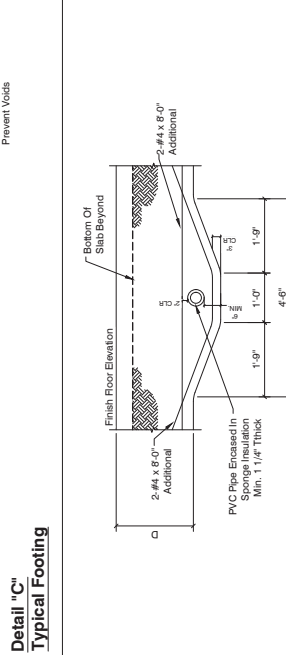
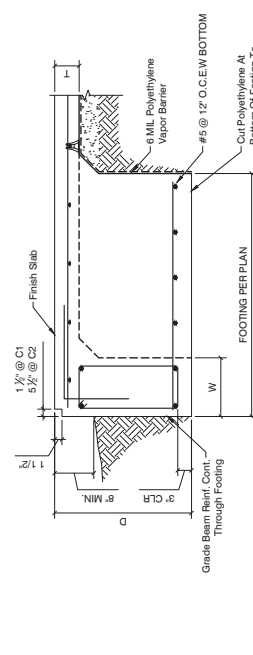
M&M Steel Buildings
Contact: Alan Hutcheson (972) 675-7443
253 E Bloncy June Road
Lucas, TX 75062

Foundation Plan	
DRAWN BY: J.R.	SHEET
SCALE: 1/4" = 1'-0"	S2
DATE: 02/28/2023	OF 7
REVISION:	

JOB CODE: 23101

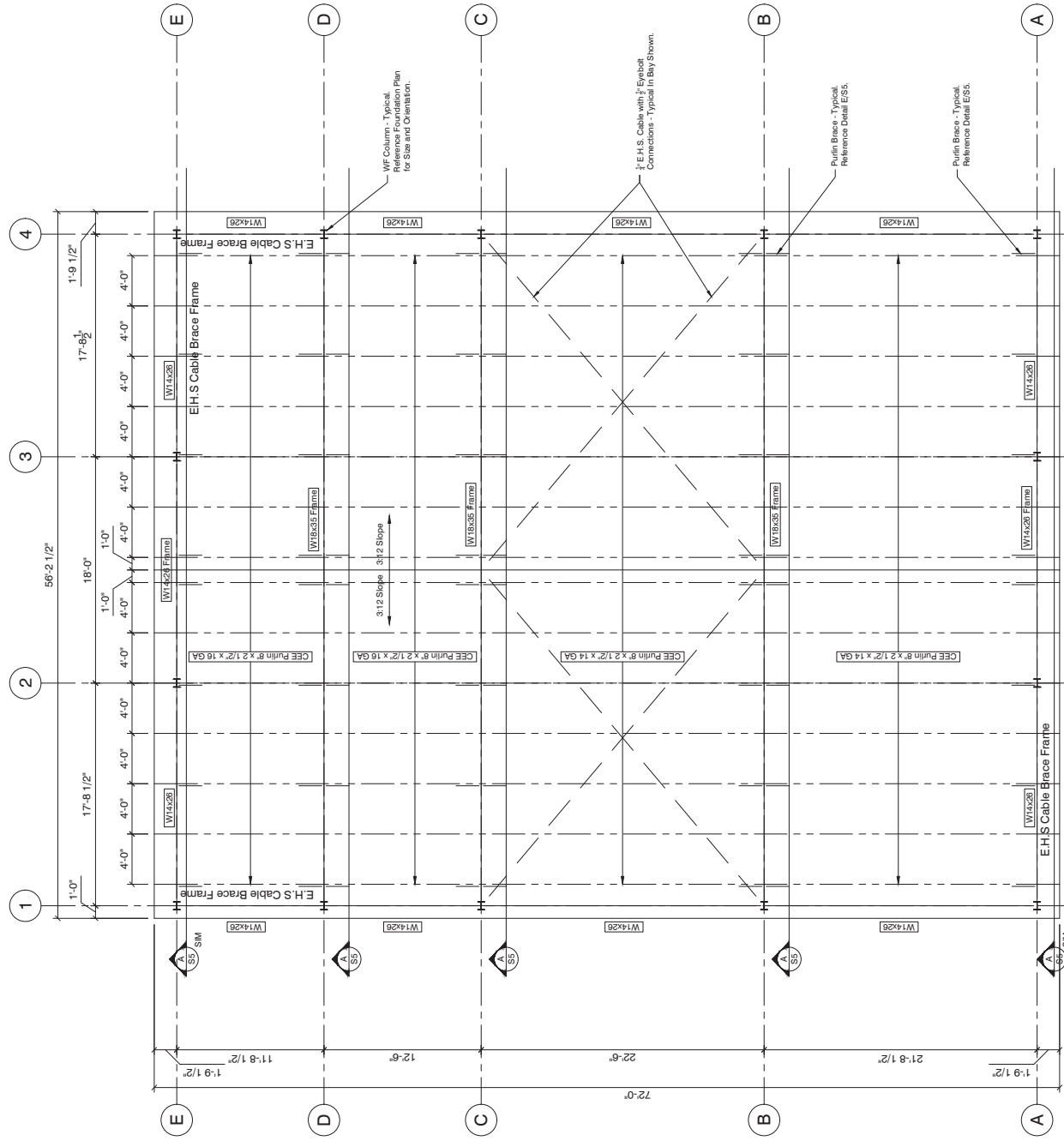
Foundation Notes

- TO PREVENT SETTLEMENT DUE TO SOIL CONSOLIDATION, ALL EXTERIOR FOUNDATION BEAMS MUST BE FOUND ON A MINIMUM OF 12 INCHES INTO UNDISTURBED SOIL OR UNIFORMLY COMPACTED SELECT FILL. THE SELECT FILL SHOULD BE NON-EXPANSIVE SOIL WITH A PLASTICITY INDEX BETWEEN 12 TO 18, AND SHOULD BE PLACED IN LIFTS OF 6 TO 8 INCHES AND UNIFORMLY COMPACTED TO A MINIMUM OF 95% OF ASTM D698 (STANDARD PROCTER) MAXIMUM DENSITY AT A MOISTURE CONTENT IN BETWEEN OPTIMUM AND +3% OF OPTIMUM.
- AT ALL TIMES, CONTRACTORS SHALL MAINTAIN PROPER DRAINAGE AND PROTECT THE SUBGRADE IMPROVEMENT TO REDUCE ANTICIPATED SLAB MOVEMENTS ON THE ORDER OF 1" TOTAL MOVEMENT.
- ALL CONCRETE SHALL BE NORMAL WEIGHT, WITH MINIMUM STRENGTH OF 3000 PSI AFTER 28 DAYS AND SHALL CONFORM TO ACI 318, ACI 301, AND ASTM C94, MOST CURRENT EDITIONS.
- CONCRETE SHALL NOT BE PLACED WITH SLUMP GREATER THAN 5 INCHES.
- WHEN SPECIFIED ALL #3 BARS SHALL BE #40 GRADE STEEL, AND ALL #4 OR LARGER BARS SHALL BE ASTM A-615 GRADE 60.
- PLUMBING MAY CROSS BEAMS BUT NOT BE PLACED IN ANY STANDING WATER AT THE TIME OF CONCRETE PLACEMENT.
- ALL GRADE BEAMS AND SLAB AREA SHALL BE FREE OF ANY STANDING WATER AT THE TIME OF SURFACE (LEVELING) SAND UNDER CONCRETE SLAB IS RECOMMENDED TO ACHIEVE A LEVEL SURFACE.
- PROVIDE A 6 MIL POLYETHYLENE MOISTURE RETARDER BENEATH BEAM AREA.
- PLANS ARE FOR BEAM PLACEMENT ONLY. SET FORMS, DROPS, BRICK LEDGES, HANDICAP RAMPS, ETC., BY ARCHITECTURAL FLOOR PLAN OR AS SPECIFIED BY OWNER/GENERAL CONTRACTOR.
- AT CONTRACTOR'S OPTION, LEDGE MAY BE INCLUDED OR OMITTED AT EXTERIOR DOOR OPENINGS.
- TO INSURE PROPER DRAINAGE AS STATED BELOW, THE ELEVATION OF THE TOP OF SLAB SHALL BE A MINIMUM OF 8 INCHES ABOVE THE HIGHEST NATURAL GRADE ELEVATION AROUND THE PERIMETER OF THE SLAB. IN THE EVENT OF STANDING WATER (FOODING) WITHIN THE FINISH FLOOR AREA, PERIMETER WILL RESULT IN SOIL EXPANSION WHICH WILL CAUSE FOUNDATION PROBLEMS.
- DRAINAGE, DRAINAGE, DRAINAGE. DRAINAGE ALL AROUND A FOUNDATION IS CRITICAL IN AREAS WHERE EXPANSIVE SOIL EXISTS. STANDING WATER WITHIN 10 FEET OF A FOUNDATION WILL RESULT IN SOIL HEAVE AND UPWARD FOUNDATION MOVEMENT. PROPER ROUGH GRADING IS REQUIRED TO INSURE THAT THERE ARE NO LOW SPOTS ADJACENT TO THE FOUNDATION WHERE WATER CAN STAND. THESE AREAS NEED TO BE FILLED AND ROUGH GRADED TO INSURE WATER FLOWS AWAY FROM THE FOUNDATION. STANDING WATER ADJACENT TO THE FOUNDATION IN THESE HIGH CLAY CONTENT SOIL AREAS WILL CAUSE THE FOUNDATION TO HEAVE (MOVE UP), AND RESULT IN FOUNDATION PROBLEMS. ALL FOUNDATION AREAS SHOULD BE PROTECTED FROM THE FOUNDATION A MINIMUM OF 6" IN 6'.
- IN AREAS WHERE EXPANSIVE OR COLLAPSIBLE SOILS ARE KNOWN TO EXIST, ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND DISCHARGE ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST 5 FEET (1524 MM) FROM FOUNDATION WALLS OR TO AN APPROVED DRAINAGE SYSTEM.
- TREE REMOVAL: COMPLETELY REMOVE ALL TREES WITHIN 10' OF FOUNDATION. BACKFILL AND MOISTURE CONDITION ALL VOIDS LEFT BY TREE IN 6' LIFTS COMPACTED TO 95% AND WITHIN 5% OF OPTIMUM MOISTURE. TREES CAN CAUSE EXCESSIVE DRYING OF SOILS WHICH LEAD TO EDGE DROP AND FOUNDATION PROBLEMS. IF TREES ARE NOT REMOVED, BEAM DEPTH SHOULD BE MINIMUM 36" SPANNING 15 FT IN EACH DIRECTION AWAY FROM THE LOCATION OF THE TREE.
- PRE-POUR INSPECTION BY J. ROBINSON ENGINEERING, LLC AVAILABLE UPON REQUEST.



NOT USED

<p>J. Robinson Engineering, LLC Efficiency in Design</p>	<p>DALLAS, TX TELEPHONE 469-865-7902 Firm F-23996</p>
	<p>M&M Steel Buildings Contact: Alan (972) 970-7445 263 E Bloney June Road Lucas, TX 75062</p>
Foundation Details	
<p>DRWNER: J.R. SCALE: 1/4" = 1'-0" DATE: 02/28/2023 REVISION:</p>	<p>SHEET S3 OF 7</p>
JOB CODE: 23101	



Provide L 1 x 1 x 0.075" Purlin Bridging Spaced at 6'-0" On Center Max. Connect to Roof Purlins with Tek Screw.

Provide Structural Plywood Sheathing Per Structural General Notes on Sheet S1. Reference B/S/S for Attachment of Metal Roof Panels.

Typical Notes:

1. Install all hardware specified in accordance with manufacturer's specifications.
2. Temporary bracing of wood structure prior to completion of
3. Builder/Contractor shall provide connections and supporting elements for framing shown on this sheet per international codes and local code requirements.



J. Robinson
Engineering, LLC
Efficiency in Design
DALLAS, TX
TELEPHONE: 469-805-7002
Firm F-23996

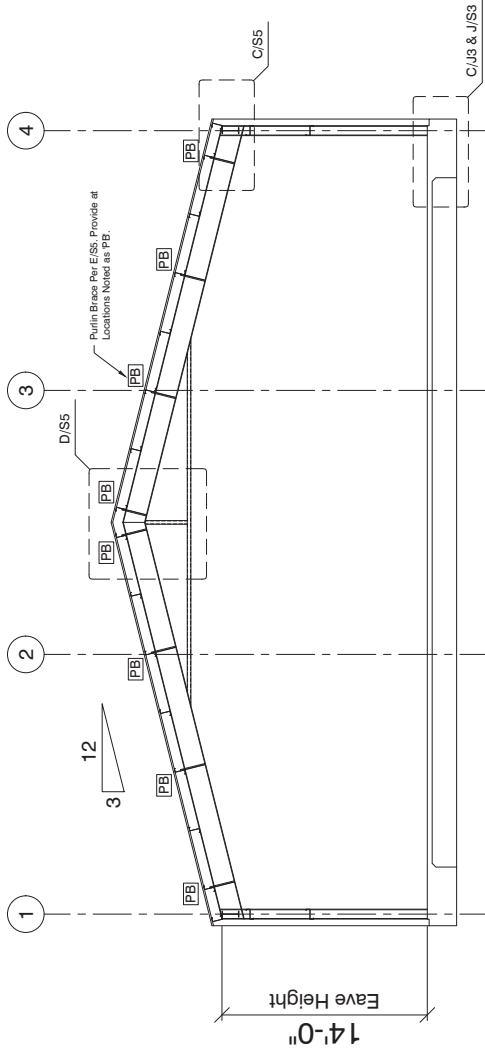
M&M Steel Buildings
Contact: Alan Hutcheson (972) 670-7143
253 E Bloncy June Road
Lucas, TX 75062

Roof Framing Plan

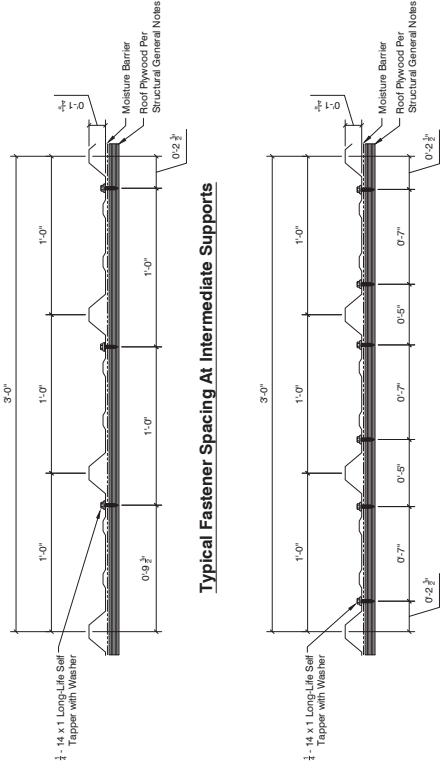
DRAWN BY: J.R.	SHEET
SCALE: 1/4" = 1'-0"	S4
DATE: 02/28/2023	OF 7
REVISION:	

JOB CODE: 23101

Roof Framing Plan



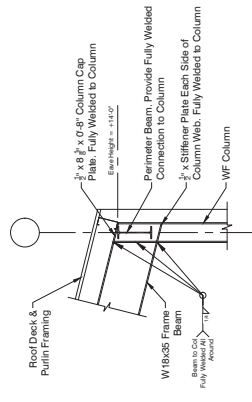
Detail "A"
Typical Rigid Frame Elevation



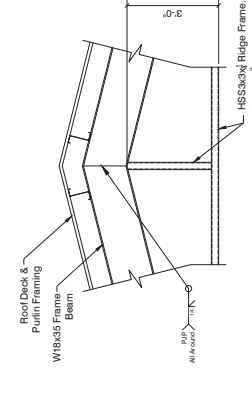
Typical Fastener Spacing At Intermediate Supports

Typical Fastener Spacing At Panel Ends

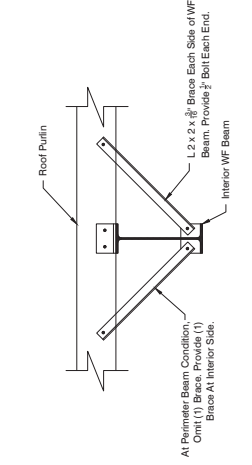
Detail "B"
Typical Roof Deck Attachment



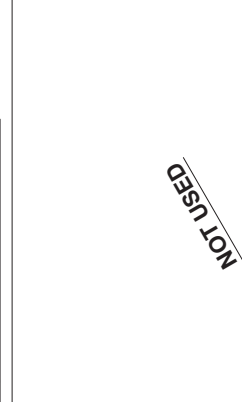
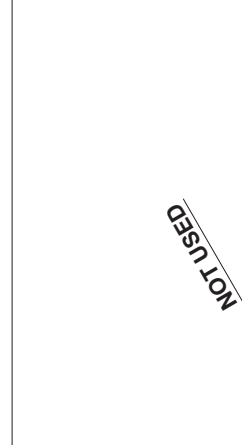
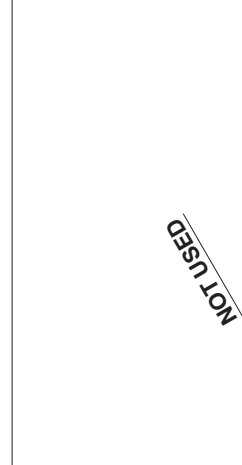
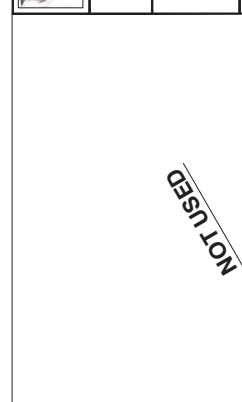
Detail "C"
Rigid Frame to Column Connection



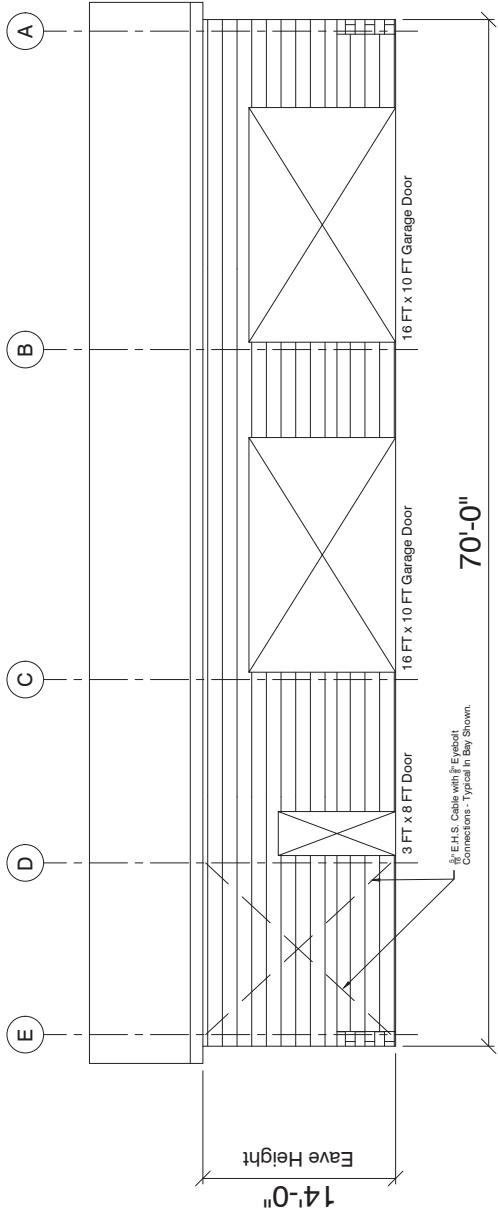
Detail "D"
Rigid Frame at Ridge



Detail "E"
Rigid Frame Purlin Brace

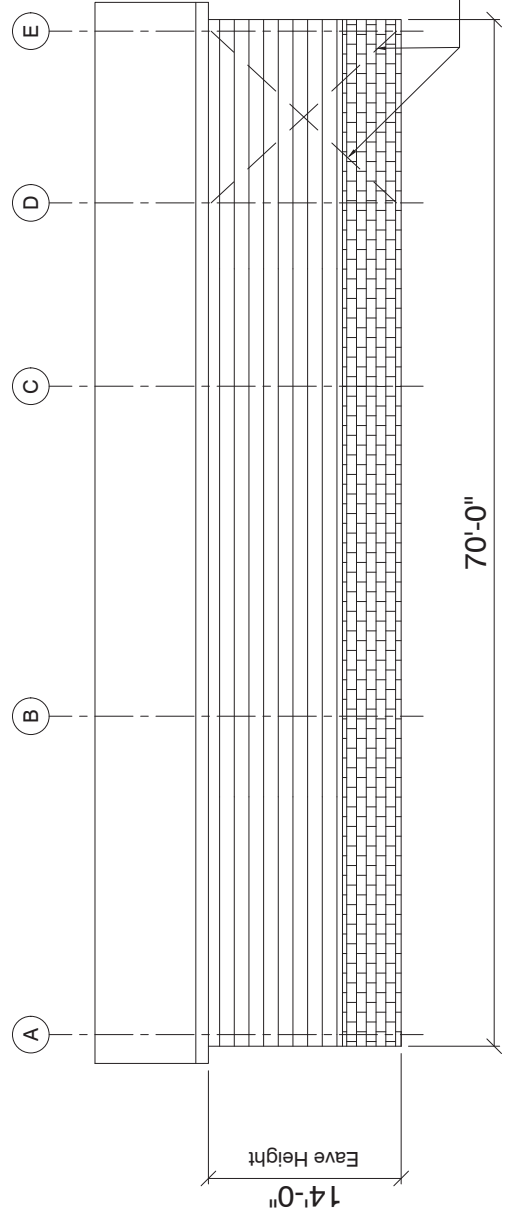


	J. Robinson Engineering, LLC Efficiency in Design DALLAS, TX TELEPHONE: 469-865-7602		M&M Steel Buildings Contact: Alan (972) 970-7475 253 E Bloney June Road Lucas, TX 75062	Steel Framing Details
		Firm F-23996	DWG: J.R. SCALE: 1/4" = 1'-0" DATE: 02/28/2023 REVISION:	SHEET S5 OF 7



8" CEE or ZEE Horizontal Girts, Infill Wall Framing, And Framing Around Openings By Contractor.

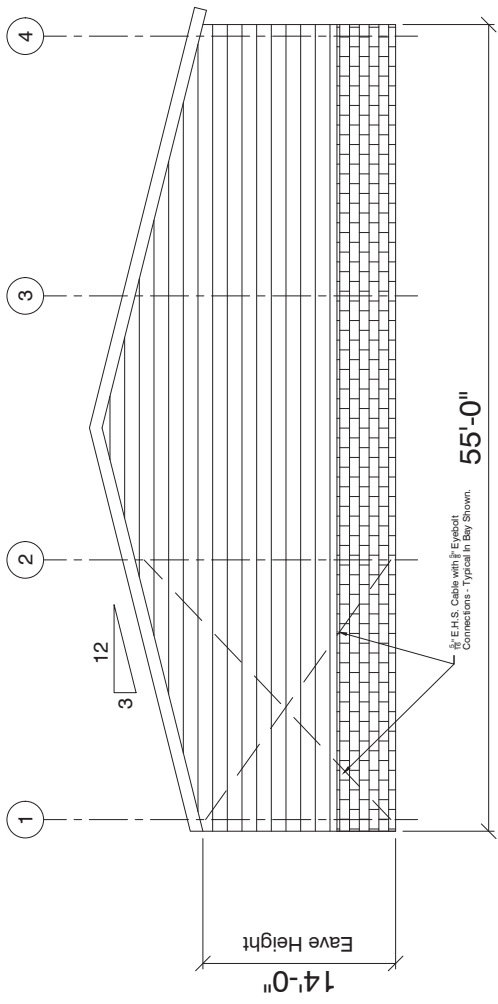
Grid 1 (West) Elevation



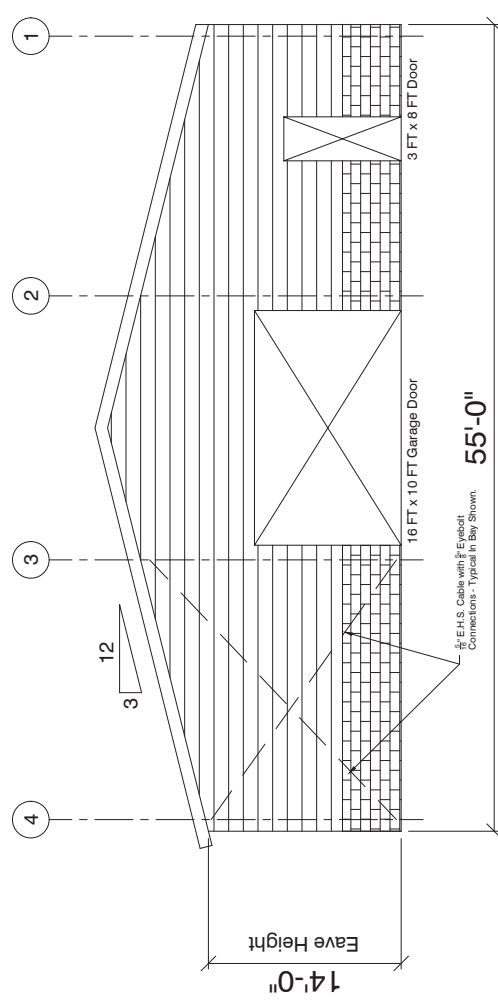
8" CEE or ZEE Horizontal Girts, Infill Wall Framing, And Framing Around Openings By Contractor.

Grid 4 (East) Elevation

<p>J. Robinson Engineering, LLC Efficiency in Design DALLAS, TX TELEPHONE: 469-805-7002</p>	<p>M&M Steel Buildings Contact: Alan Anderson (972) 670-7743 253 E Bloncy June Road Lucas, TX 75062</p>	<p>Exterior Elevations</p>	<p>DATE: 0/28/2023</p>
			<p>REVISION:</p>
<p>JOB CODE: 23101</p>			<p>SHEET S6 SCALE: 1/4" = 1'-0" DATE: 0/28/2023 OF 7</p>



Grid A (South) Elevation



Grid E (North) Elevation

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	Exterior Elevations		
DRAWN BY: J.R. SCALE: 1/4" = 1'-0" DATE: 0/2/08-2023 REVISION:	SHEET S7 OF 7		
JOB CODE: 23101			