



CITY OF MADEIRA BEACH

PLANNING & ZONING DEPARTMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 255
planning@madeirabeachfl.gov



ALCOHOLIC BEVERAGE PERMIT APPLICATION

Applicant: Name and Address

DOCKSIDE DAVES RESTAURANT
14701-14703 GULF BLVD
MADEIRA BEACH FL 33708

Property Owner: Name and Address

DOCKSIDE DAVES REAL ESTATE LLC
14701-14703 GULF BLVD
MADEIRA BEACH FL 33708

Telephone: 727-389-9543Email: docksidesmadbeach@gmail.comTelephone: 727-717-3226Email: docksidesmadbeach@gmail.comType of Ownership: ☐ Individual ☐ Partnership ☐ Corporation ☒ LLCName of Business: DOCKSIDE DAVES RESTAURANT Business Phone: 727 392 9399Parcel Identification: 09-31-15-87048-000-0070 8 09-31-15-00000-410-0100

Legal Description: _____

Number of Seats: Inside: 63 Outside: 57Number of Employees: 10Zoning District: C3 - RETAIL - COMMERCIALFuture Land Use: RESIDENTIAL - OFFICE - RETAIL

Classification:

- ☐ Package store, beer & wine ☐ Retail Store, beer, wine ☐ Bar
☐ Package store, beer, wine, liquor ☒ Restaurant ☐ Hotel Restaurant
☐ Club ☐ Charter Boat/Party Boat ☐ Hotel

Alcoholic Beverage License Type: 4-COPNumber of Parking Spaces: 23 Handicap Parking Spaces: 2 Bike Racks: 3Motorcycle Parking Spaces: 2 Total Amount of Parking Spaces: 35 (5 OFF SITE)

Hours of Operation:

Monday: 10 AM — 2 AM
 Tuesday: 10 AM — 2 AM
 Wednesday: 10 AM — 2 AM
 Thursday: 10 AM — 2 AM
 Friday: 10 AM — 2 AM
 Saturday: 10 AM — 2 AM
 Sunday: 10 AM — 2 AM

General Description of Business: FULL SERVICE RESTAURANT WITH LIVE ENTERTAINMENT. CATERING TO LUNCH AND DINNER CROWDS.

Supporting Materials Required:

- ☐ Property Owner's Written Approval ☐ Property Survey (With Total Parking Count)
☐ Site Plan ☐ State Application and Floor Plan

Consideration of alcoholic beverage application: On a separate attached page, please answer the following questions:

1. The extent to which the location and the extent to which the proposed alcoholic beverage request will adversely affect the character of the existing neighborhood.
2. The extent to which traffic generated as a result of the location of the proposed alcoholic beverage request will create congestion or present a safety hazard.
3. Whether or not the proposed use is compatible with the particular location for which it is proposed.
4. Whether or not the proposed use will adversely affect the public safety.
5. No application for review under this section shall be considered until the applicant has paid in full any outstanding charges, fees, interest, fines or penalties owned by the applicant to the City under any section of the code.

ABP #: _____

Affidavit of Applicant:

I understand that this Alcoholic Beverage Permit Application, with its attachments, becomes a permanent record for the City of Madeira Beach and hereby certify that all statements made herein together with any attachments, are true to the best of my knowledge.

Signature of Applicant:  Date: 11-17-25

PARKING SPACE RESERVATION AGREEMENT

This Parking Space Reservation Agreement ("Agreement") is made and entered into on this 22 day of October, 2025, by and between:

Premium Parking ("Provider"), with a business address at 601 Poydras New Orleans LA , and Dockside Daves ("Client"), with a business address at _____.

1. Purpose

Provider agrees to reserve parking spaces for Client's employees under the terms and conditions set forth in this Agreement.

2. Reserved Spaces

Provider will reserve 5 to 10 parking spaces for Client's employees at the parking facility located at P2956 – 14805 Gulf Blvd Madeira Beach.

3. Fees

Client agrees to pay \$125 per reserved stall per month. Payment is due on the first day of each month.

4. Term

This Agreement shall commence on November 1st, 2025, and end November 1st, 2026. The Agreement will auto renew yearly until terminated by either party with 30 days' written notice.

5. Use of Spaces

Reserved spaces are for Client's employee vehicles only. Client is responsible for ensuring that only authorized vehicles use the reserved stalls.

6. Liability

Provider shall not be responsible for loss, damage, or theft of vehicles or personal property in the reserved parking spaces. Client assumes all risk associated with use of the reserved spaces.

7. Termination

Either party may terminate this Agreement with 30 days' written notice. Upon termination, all fees due up to the termination date shall be payable.

8. Miscellaneous

- a. This Agreement constitutes the entire understanding between the parties.
- b. Any amendments must be in writing and signed by both parties.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first written above.

Premium Parking

Date: 10/22/2025Name: Emily EatonTitle: Market President - Central & Northeastern Florida

14805 Gulf Blvd Ownership

Date: 10/30/2025Name: John KalayhTitle: Owner

Dockside Daves

Date: 10/28/2025Name: Bob [Signature]Title: Owner

- ① THE EXTENT TO WHICH THE LOCATION AND THE EXTENT TO WHICH THE PROPOSED ALCOHOLIC BEVERAGE REQUEST WILL ADVERSELY AFFECT THE CHARACTER OF THE EXISTING NEIGHBORHOOD IS THAT IT WILL NOT AFFECT THE EXISTING NEIGHBORHOOD. THE RESTAURANT AND BAR NEXT TO US, THE REEF, ALREADY HAS LIQUOR. NOTHING FOR US WILL BE CHANGING, JUST ADDING LIQUOR TO OUR EXISTING BEER SELECTION.
- ② THE ADDITION OF LIQUOR SHOULD NOT CREATE TRAFFIC CONGESTION. OUR BUSINESS HAS BEEN THERE FOR WELL OVER A DECADE. WE ALREADY HAVE OUR EXISTING CLIENTELE. OUR PARKING LOT ALSO HAS AN EXIT OFF OF FIRST ST. E AS WELL AS 147TH AVE E, KEEP CARS FREE AND CLEAR OF CONGESTION. GOLF BLVD.
- ③ THE PROPOSED USE IS COMPATIBLE WITH THE PARTICULAR LOCATION.
- ④ THE PROPOSED WILL NOT ADVERSELY AFFECT THE PUBLIC SAFETY. OUR NEIGHBORS HAVE LIQUOR AND WE BOTH HAVE LONG TENURE AND NO ISSUES.
- ⑤ AGREED

Dockside Dave's Real Estate, LLC

14703 Gulf Blvd, Madeira Beach, FL 33708

12.26.2024

Dockside Dave's Real Estate LLC, as a landlord, allows for the sale of liquor at said establishment.

Thank you,


Brandon Nazzario

727-389-9543

docksidesmadbeach@gmail.com

ABP #: 2025-06

****For City of Madeira Beach Use Only****

Fee: \$1,000.00 ☒ Check # 1393 ☐ Cash ☐ Receipt # _____

Date Received: 10/10/25 Received by: 

ABP# Assigned: _____

BOC Hearing Date: _____ ☐ Approved ☐ Denied

Community Development Director Date: _____

City Manager Date: _____

CERTIFICATION

I hereby authorize permission for the Planning Commission, Board of Commissioners, Building Official, and Community Development Director to enter upon the above referenced premises for purposes of inspection related to this petition.

I hereby certify that I have read and understand the contents of this application, and that this application, together with all supplemental data and information, is a true representation of the fact concerning this request; that this application is made with my approval, as owner and applicant, as evidenced by my signature below.

It is hereby acknowledged that the filing fee of this application does not constitute automatic approval of the request; and further, if the request is approved, I will obtain all the necessary permits and comply with all applicable orders, codes, conditions, rules, and regulations pertaining to the subject property.

I have received a copy of the Redevelopment Plan Requirements and Procedures (attached), read and understand the reasons necessary for granting a Redevelopment Plan and the procedure, which will take place at the Public Hearing.

Appeals. (City Code, Sec. 2-109). An aggrieved party, including the local governing authority, may appeal a final administrative order of the Board of Commissioners to the circuit court. Such an appeal shall not be a hearing de novo, but shall be limited to appellate review of the record created before the Board of Commissioners. An appeal shall be filed within 30 days of the execution of the order to be appealed.

Applicant's Signature: _____

Date: _____

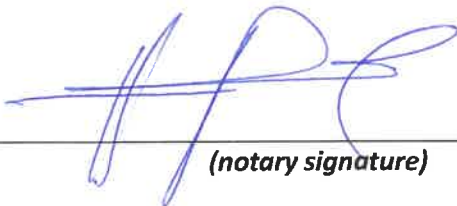
STATE OF FLORIDACOUNTY OF PINELLAS

Before me, this 10TH day of OCTOBER, 2025, appeared in person

who, being sworn, deposes and says that the forgoing

BRENDON NAZZARIO**(name of applicant)**

is true and correct certification and who is _____ personally know to me or has produced FL DRIVERS LICENSE as identification.


(notary signature)

Commission Expires: _____

06-26-2029

Stamp



ABP #: _____

NOTICE: *Persons are advised that, if they decide to appeal any decision made at this hearing, they will need a record of the proceedings, and for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based*

SHEET #	DESCRIPTION
CO	COVER SHEET
SUR	SURVEY
D-1.0	DEMOLITION PLAN BUILDING "A"
D-2.0	DEMOLITION PLAN BUILDING "B"
A-1.0	FIRST FLOOR PLAN BUILDING "A,B"
A-2.0	SECOND FLOOR PLAN BUILDING "B"
A-3.0	STRUCTURAL FLOOR PLAN BLDG. "A"
A-4.0	STRUCTURAL FLOOR PLAN BLDG. "B"
A-5.0	HOOD PLAN 1
A-5.1	HOOD PLAN 2
A-6.0	ELEVATIONS
A-7.0	STAIR DETAILS
LS-1.0	LIFE SAFETY PLAN FIRST FLOORS
LS-2.0	LIFE SAFETY PLAN SECOND FLOOR
M-1.0	MECHANICAL PLAN BLDG. "A" FIRST FL.
M-2.0	MECHANICAL PLAN BLDG. "A" SECOND FL.
M-3.0	MECHANICAL PLAN BUILDING "B"

E-1.0	ELECTRICAL PLAN BUILDING "A"
E-2.0	ELECTRICAL PLAN BUILDING "B"
E-3.0	ELECTRICAL PANELS & LOADS CALC
P-1.0	PLUMBING PLAN BLDG. "A" FIRST FLOOR PLAN
P-2.0	PLUMBING PLAN BLDG. "B" FIRST FLOOR PLAN
P-3.0	PLUMBING PLAN BLDG. "A" SECOND FLOOR PLAN
G-1.0	GAS PLAN



THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD TO PERMIT OR APPROVE THE VIOLATION OF ANY CITY, COUNTY, OR STATE LAW CODE, REGULATION OR ORDINANCE.

The property owner and the applicant/permittee are liable for damage to any sidewalk, curb, street or other city facility adjacent to the property site, and shall be required to pay for repairs or replacement as necessary to return them to their original condition.

PROJECT DOCKSIDE DAVES 14701 & 14703 GULF BLVD. MADEIRA BEACH, FL

ADDRESS:
14701 & 14703 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

LEGAL DESCRIPTION: (O.R. 5086, PG 1742)
LOTS 7 AND 9 AND LOT 8 LESS ROAD RIGHT-OF-WAY AS DESCRIBED IN O.R. BOOK 4776, PAGE 129, SUNNY SHORES, ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

AND (O.R. 22616, PG 2275)

BEGINNING AT THE MOST SOUTHERLY CORNER OF LOT 30 OF TRACT 2, MADEIRA BEACH VISTA IN GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 16, PAGE 104, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, RUN N. 43°50'06" E., 200 FEET; THENCE S. 46°09'54" E. 57.77 FEET; THENCE S. 43°50'06" W., 200 FEET TO THE EASTERLY BOUNDARY OF GULF BOULEVARD, THENCE IN A NORTHWESTERLY DIRECTION ALONG THE EASTERLY BOUNDARY OF GULF BOULEVARD 57.77 FEET TO THE POINT OF BEGINNING. LESS AND EXCEPT THAT PORTION DESCRIBED ON O.R. BOOK 4340, PAGES 1490 - 1493 FOR RIGHT OF WAY PURPOSES

THIS PARCEL APPEARS TO BE IN FLOOD ZONE "AE (EL 10 FEET)", ACCORDING TO THE FLOOD INSURANCE RATE MAP, MAP NUMBER: 12103C0191H, MAP EFFECTIVE DATE: 08/24/2021, AS PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

THIS MAP'S NOTES STATE THAT THE BASE FLOOD ELEVATIONS SHOWN REPRESENT ROUNDED WHOLE-FOOT ELEVATIONS AND THEREFORE MAY NOT EXACTLY REFLECT THE FLOOD ELEVATION DATA PRESENTED IN THE FLOOD INSURANCE STUDY (FIS) REPORT. THE FIS REPORT WAS NOT CONDUCTED FOR THIS SURVEY.

THIS FLOOD ZONE NOTE IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, AND ANY PROPOSED FINISHED FLOOR ELEVATIONS ARE TO BE DETERMINED BY THE PERMITTING AGENCY HAVING JURISDICTION.

GENERAL NOTES:

- DO NOT SCALE THE DRAWINGS. ACTUAL CONDITIONS ARE TO BE FIELD VERIFIED BY THE GENERAL CONTRACTOR.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND STANDARDS, TO INCLUDE ALL STATE LAWS, AND LOCAL ORDINANCES.
- REPAIR, PATCH, AND REFINISH ALL EXISTING STRUCTURES AFFECTED BY THIS CONSTRUCTION.
- ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTORS TO EXPOSE ALL AFFECTED EXISTING CONDITIONS AND RELOCATE, ADJUST, CHANGE OR ABANDON EXISTING CONDITIONS ACCORDING TO ALL APPLICABLE CODES AND LOCAL ORDINANCES.
- ALL MATERIALS INSTALLED BELOW DESIGN FLOOD ELEVATION MUST BE FLOOD RESISTANT FEMA NFIP CLASS 4 OR 5 MATERIALS.

SCOPE OF WORK

THIS PLAN SUBMITTAL IS FOR THE RENOVATION OF THE EXISTING RESTAURANT, INCLUDING THE UPDATING AND EQUIPMENT ON KITCHEN COOK LINE, ADDING TWO (2) NEW ADA COMPLIANT RESTROOMS, RELOCATING THE INSIDE BAR AND CREATING A NEW BAR WITH SEATING AREA ABOVE D.F.E. ON THE SECOND LEVEL WITH AN ADA LIFT ACCESS.

THERE IS A SECOND BUILDING ON-SITE WHICH IS CURRENTLY AN ART STUDIO AND WILL BE RENOVATED INTO A SMALL LIVE ENTERTAINMENT STAGE AND BAR AREA.

ALL RENOVATIONS WILL BE DONE IN ACCORDANCE WITH FBC 2023 8TH EDITION AND BE FEMA COMPLIANT.

BUILDING DESIGN DATA

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH FLORIDA BUILDING CODE 2023, 8th EDITION

WINDBORNE DEBRIS REGION: YES
V (ult) ULTIMATE DESIGN WIND SPEED: 150 MPH
V (asd) NOMINAL DESIGN WIND SPEED: 116 MPH
BUILDING RISK CATEGORY: II
EXPOSURE CLASSIFICATION: D
DESIGN: ENCLOSED
INTERNAL PRESSURE COEFFICIENT: (+/-) 0.18

HEIGHT & EXPOSURE ADJUSTMENT COEFF.: 1.00 (max.30')

DESIGN WIND LOADS - DOORS, WINDOWS, COMPONENTS & CLADDING DESIGN

ZONE	PRESSURES (PSF) *
HIP ROOF - SLOPE (20°-27°)	Vult 1 +13.1 P.S.F. -20.5 P.S.F. 2e, 2r, & 3 +13.1 P.S.F. -35.5 P.S.F.
GABLE ROOF - SLOPE (20°-27°)	1 & 2e +18.1 P.S.F. -34.6 P.S.F. 2n, 2r, & 3e +18.1 P.S.F. -55.2 P.S.F. 3r +18.1 P.S.F. -65.4 P.S.F.
WALLS -	4 +24.3 P.S.F. -26.3 P.S.F. 5 +24.3 P.S.F. -32.5 P.S.F.

*ADJUSTED FOR EXPOSURE AND HEIGHT

h= 26 FT.
a= 4 FT.

REBAR GRADE 40
CONCRETE 3,000 P.S.I. MIN.
LUMBER S.Y.P. OR P.T. GRADE #2 U.N.O.
SOIL BEARING CAPACITY 1,500 P.S.F. (ASSUMED)
FLOOD HAZARD AREA NO

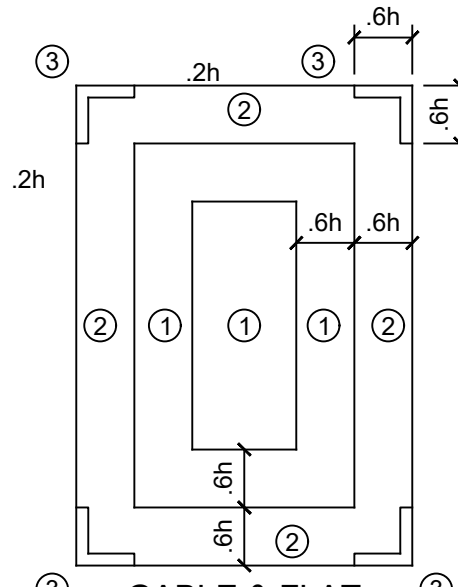
CLASSIFICATION R3
CONSTRUCTION TYPE IIIB

APPLICABLE CODES:

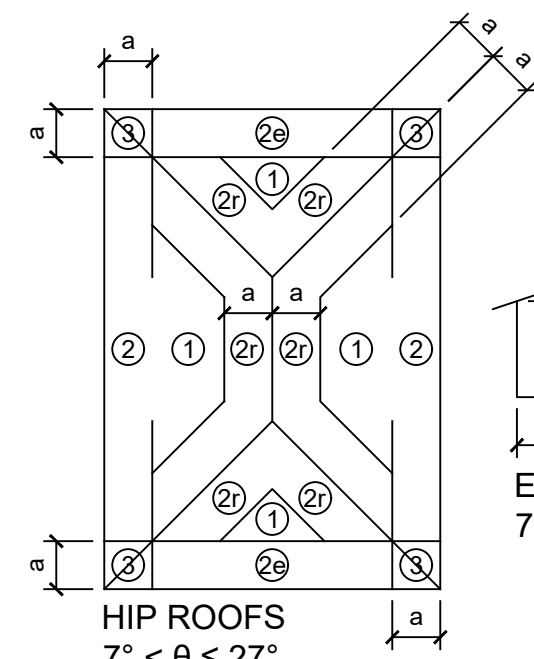
FLORIDA BUILDING CODE, 2023, 8th Edition
FLORIDA BUILDING CODE RESIDENTIAL, 2023, 8th Edition
FLORIDA BUILDING CODE EXISTING, 2023, 8th Edition
FLORIDA BUILDING CODE PLUMBING, 2023, 8th Edition
FLORIDA BUILDING CODE FUEL GAS, 2023, 8th Edition
FLORIDA BUILDING CODE MECHANICAL, 2023, 8th Edition
FLORIDA BUILDING CODE ENERGY, 2023, 8th Edition
FLORIDA BUILDING CODE ACCESSIBILITY, 2023, 8th Edition
FLORIDA FIRE PREVENTION CODE, 7th Edition 2023
2017 NATIONAL ELECTRIC CODE / NFPA 70

STRUCTURE LIVE / DEAD LOADING

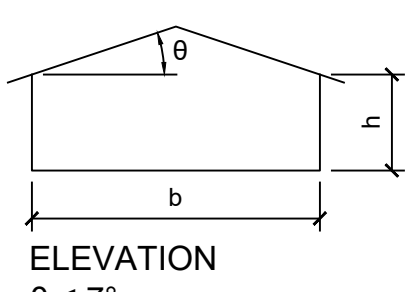
ROOF LOADING LIVE / DEAD = 20 P.S.F. / 20 P.S.F.
FLOOR LOADING LIVE / DEAD = 40 P.S.F. / 20 P.S.F.
BALCONY LIVE / DEAD = 60 P.S.F. / 20 P.S.F.
GUARD RAILING 200 LBS. APPLIED TOP @ ANY POINT IN ANY DIRECTION PER F.B.C. 2020 RESIDENTIAL R312.1 & TABLE R301.5
STAIRS & HAND RAILING PER F.B.C. 2020 RESIDENTIAL R311.7



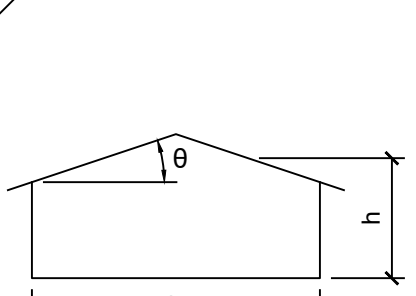
GABLE & FLAT ROOFS
θ ≤ 7°



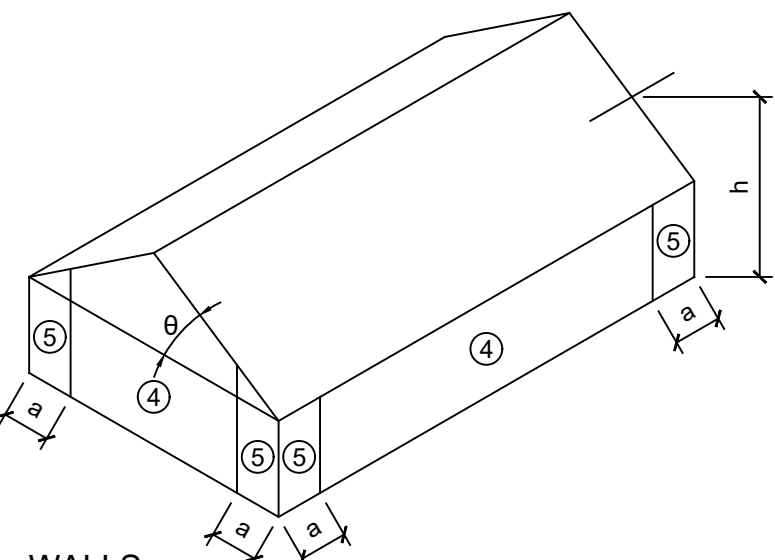
HIP ROOFS
7° < θ ≤ 27°



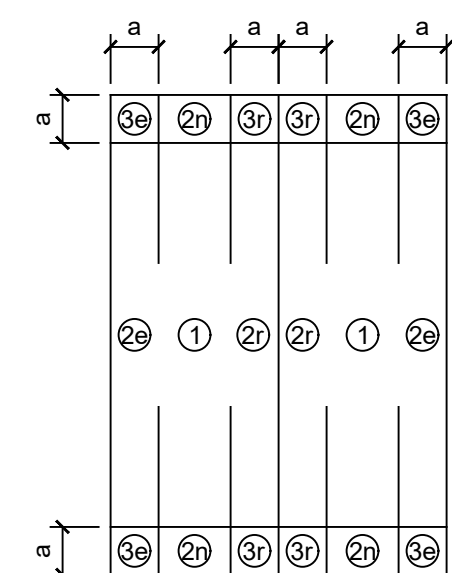
ELEVATION
θ ≤ 7°



ELEVATION
7° < θ ≤ 27°

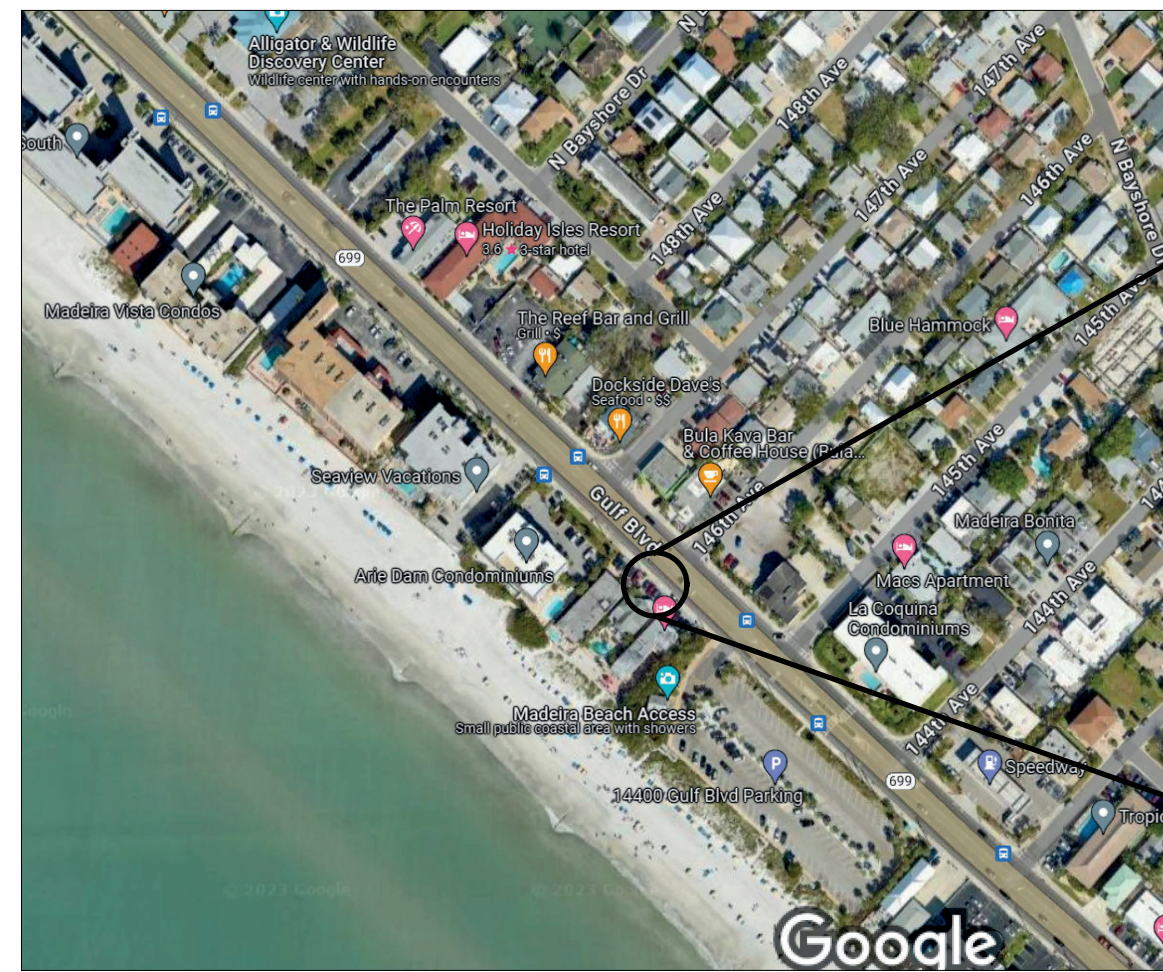


WALLS

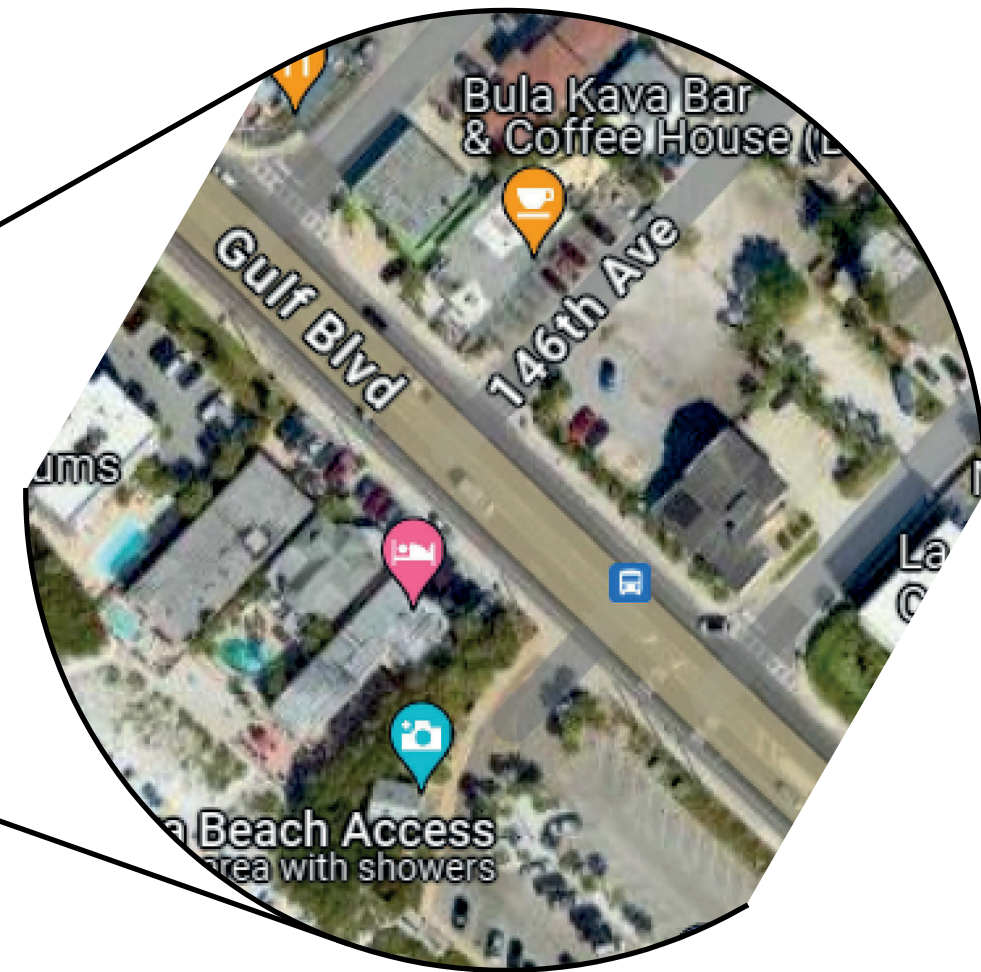


GABLE ROOFS
7° < θ ≤ 45°

COMPONENTS AND CLADDING PRESSURE ZONES
a = 4 feet

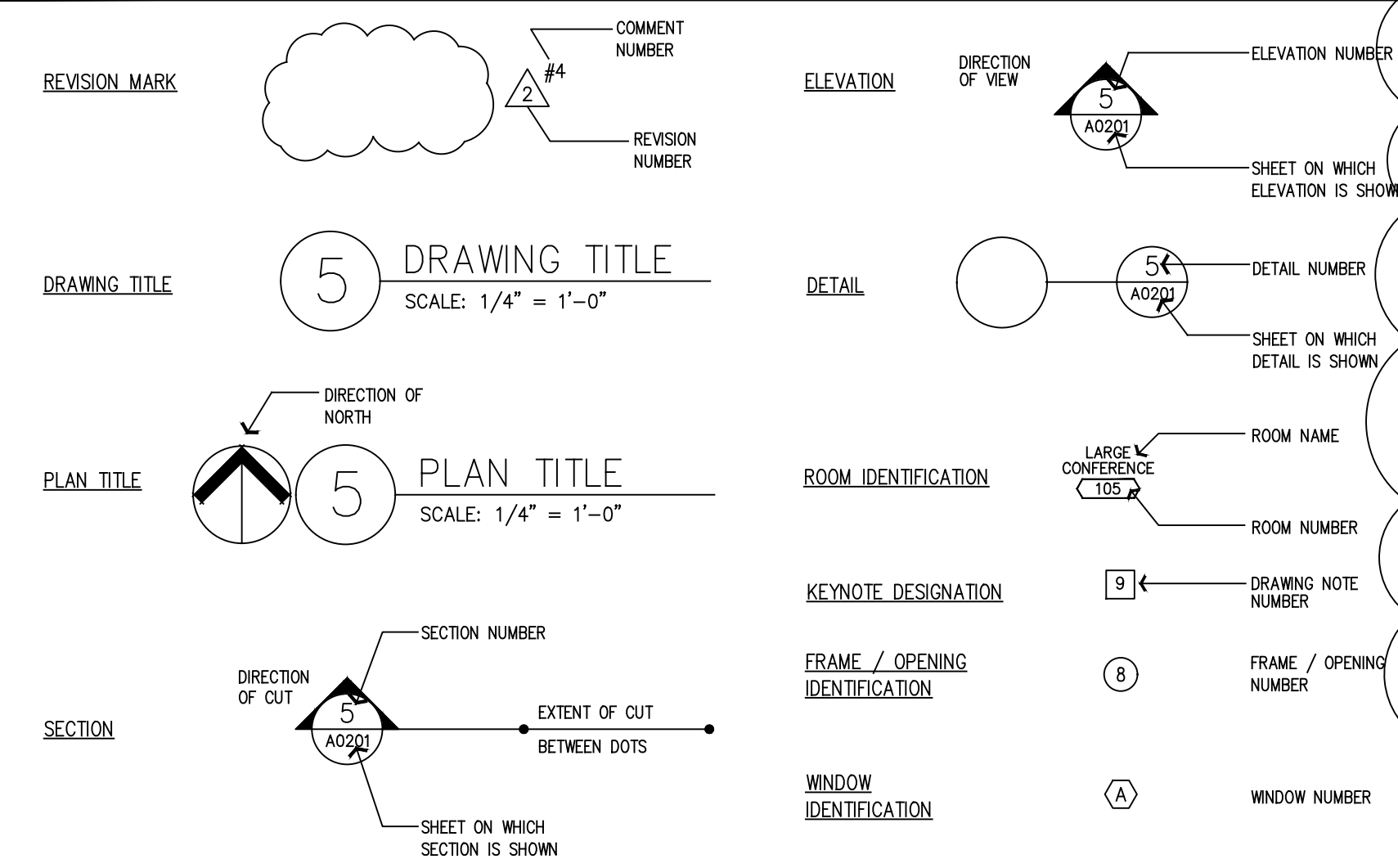


VICINITY MAP (N.T.S.)



LOCATION MAP (N.T.S.)

LEGEND / SYMBOLS



SITE DATA TABLE:

CATEGORY	ALLOWABLE	EXISTING	PROPOSED
ZONING	C-3	C-3	C-3
SITE AREA	-	18,465 S.F. (.42 ACRES)	18,465 S.F. (.42 ACRES)
FLOOR AREA RATIO (FAR)	.55 (55%) MAX	4,025 S.F. = .217 (21.7%)	4,025 S.F. = .217 (21.7%)
PERVIOUS SURFACES	-	3,152 S.F. = .170 (17%)	5,006 S.F. = .271 (27.11%)
IMPERVIOUS SURFACE RATIO (ISR)	.70 (70%) MAX	15,313 S.F. = .829 (82.9%)	13,459 S.F. = .729 (72.89%)

NOTES:

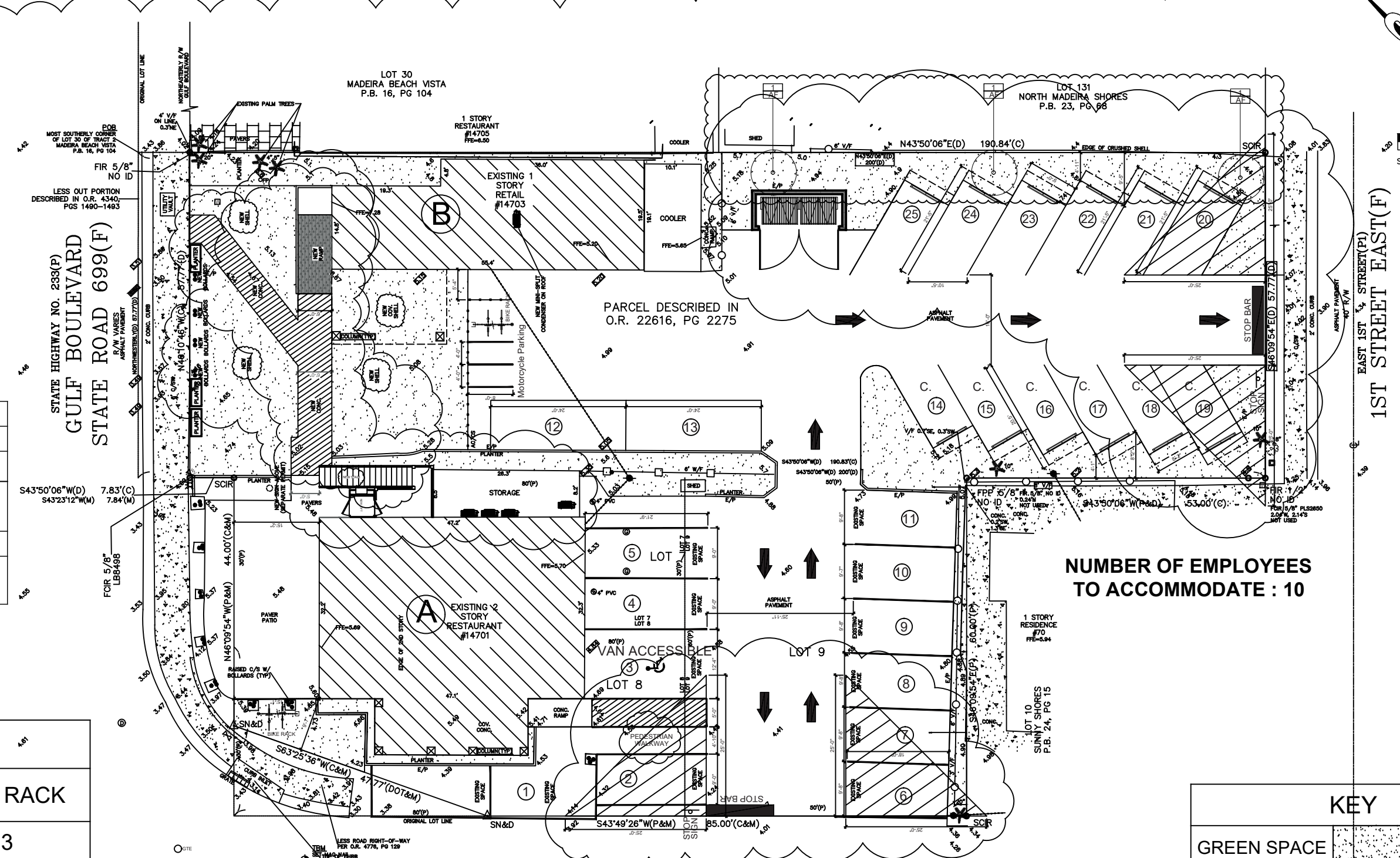
- CALCULATION OF COVERAGE FOR LOTS LOCATED IN THE C-3 DISTRICT IS PER SECTION 110-667

PARKING COUNT					
STANDARD	COMPACT	MOTORCYCLE	ADA	OFF-SITE	BIKE RACK
17	6	2	2	5	3

Only one ADA parking space provided as shown on site plan; Lot has a total of 25 vehicle parking spaces including the ADA
TOTAL REQUIRED PARKING SPOTS: 35

PARKING COUNT = 27 SPOTS + 3 BIKE RACK CREDITS + 5 OFF SITE
GRAND TOTAL = 35 PARKING SPACES (5 OFFSITE)

NUMBER OF EMPLOYEES: 10



Site Plan

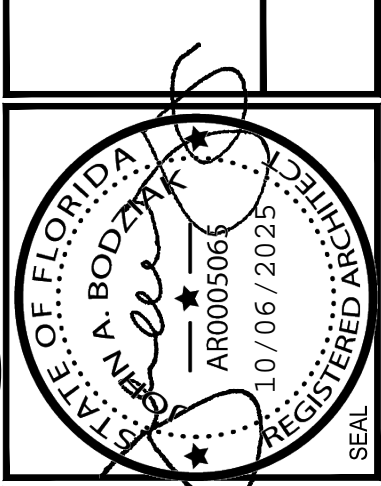
1"= +20"-0"

KEY	
GREEN SPACE	

REVISIONS	DESCRIPTION	DATE
NO.		

CLIENT

PROJECT
DOCKSIDE DAVES
14701 & 14703 GULF BLVD.
MADEIRA BEACH, FL
SITE PLAN & SHEET INDEX



JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005066
743 9th STREET N., SAINT PETERSBURG, FLORIDA 33710
TEL (727) 327-1966 FAX: (727) 626-0968

DRAWN BY MT
UPDATED ON Oct. 6, 25
DATE SEP - 2023
JOB PROJECT # 2300-037
SHEET #

CO

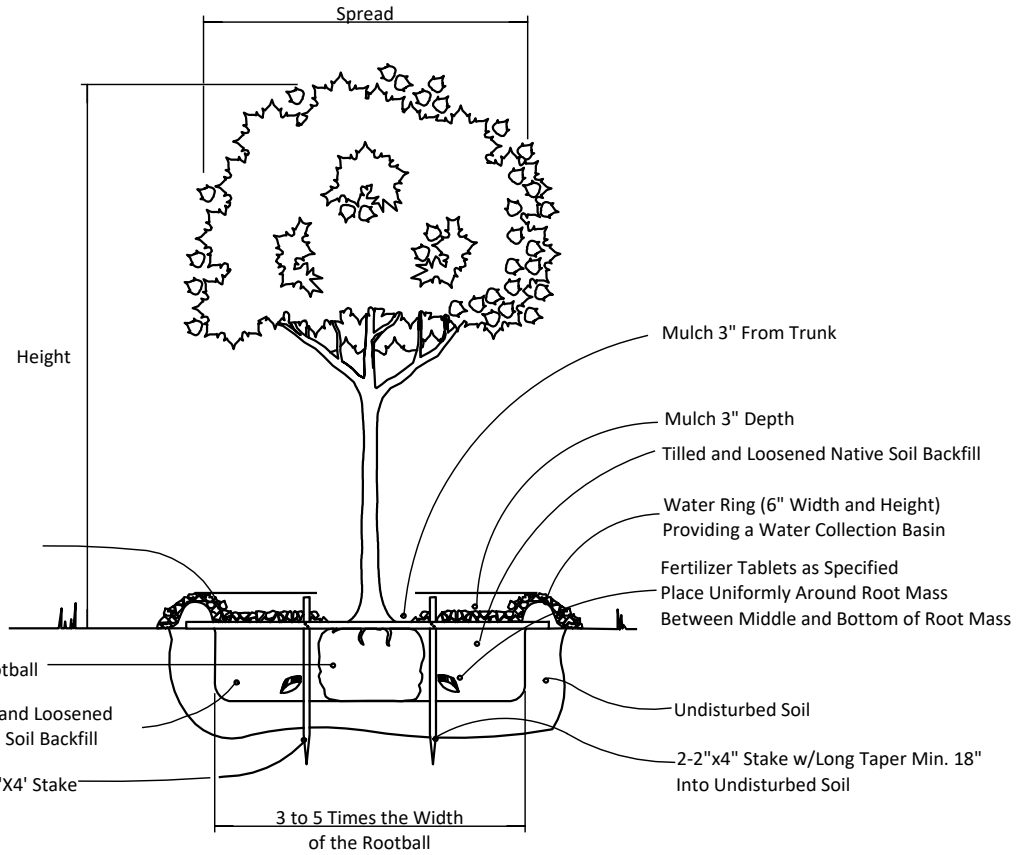


Site improvements must be designed to direct runoff away from neighboring properties. Runoff must flow towards right of way or bay as designed.

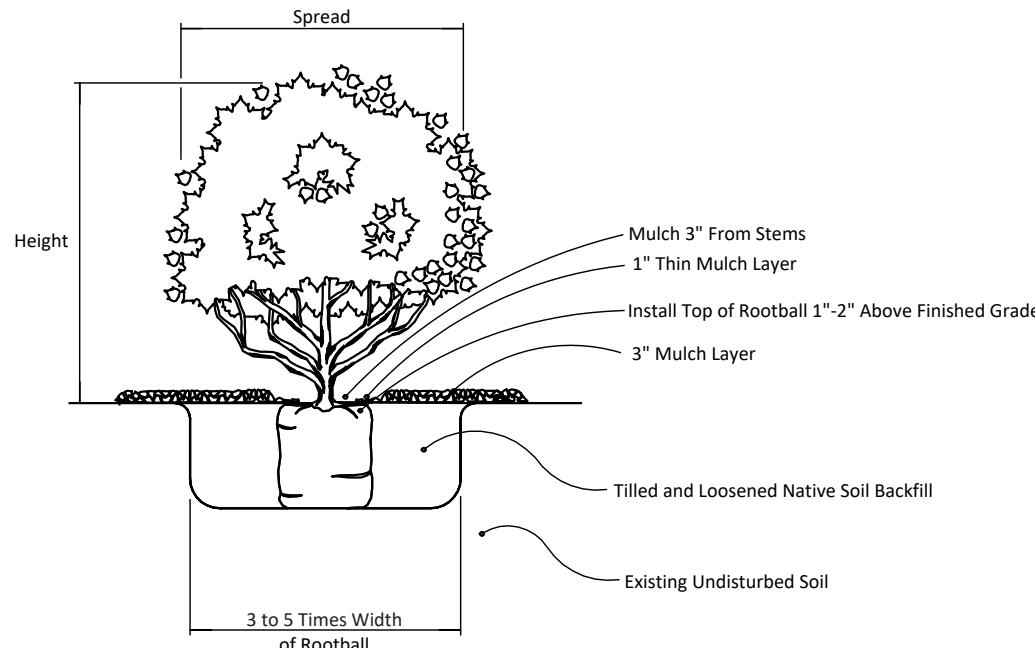
During construction site must be properly protected with silt fencing along perimeter of work. Silt fence to be installed in accordance with storm water management best practices including height, stability, maintenance, etc.

Final, as-built grading elevations will need to be reviewed by an engineer with the as-built drainage plan signed and sealed before C.O. is issued.

- NOTES:
- All wood shall be spruce or pine, not pressure treated.
 - Cross ties shall not cross over woody roots.
 - Remove all string &/or wire wrapped around trunk.
 - Remove all straps, ropes, wire, &/or strings used to lift the rootball.
 - Remove all burlap &/or wire from the top of the root ball.
 - Top of rootball to be set 3"-4" above surrounding finish grade.



1 TREE PLANTING DETAIL
N.T.S.



2 SHRUB & GROUNDCOVER PLANTING DETAIL
N.T.S.

LANDSCAPE LEGEND:					
SYMBOL	QTY	CODE	COMMON	BOTANICAL	SPECIFICATIONS
	3	"AF"	FLORIDA MAPLE	ACER FLORIDANUM	N.D.F. 10' HGT. X 2" DBH
NOTES:					
CHARACTERISTICS: N=NAIVE, F=FLOWERING, E=EVERGREEN, D=DECIDUOUS ALL TREES AND BASE PLANTS REQUIRE MULCH AT PLANTING OVER THE ROOT ZONE.					
TOTAL TREES / SHRUBS: 52 NATIVE TREES / SHRUBS: 37 (71%)					
1. ALL SPECIES INDICATED ABOVE ARE CONCEPTUAL AND SUBJECT TO SOURCING AVAILABILITY. SUBSTITUTION, IF REQUIRED, SHALL BE OF APPROVED EQUAL. SUBSTITUTIONS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING.					
2. ALL SPECIES NOT LISTED IN GRADES AND STANDARDS FOR NURSERY PLANTS, PUBLISHED BY FDACS, SHALL CONFORM TO A FLORIDA #1.					
3. PER TIMC 72-39 (2) A ALL TREE SPECIES SHALL BE RECOGNIZED BY THE STATE DIVISION OF FORESTRY AS BEING DROUGHT-TOLERANT AND SUITABLE FOR SUCCESSFUL PROPAGATION IN THE LOCAL ENVIRONMENT. PALMS SHALL HAVE A MINIMUM OF SIX FEET OF CLEAR WOOD AT PLANTING. ALL TREES SHALL HAVE A MINIMUM HEIGHT OF EIGHT FEET AFTER PLANTING WITH A TWO-INCH DIAMETER BREAST HEIGHT (DBH).					
4. PER TIMC 72-39 (2) B ALL SHRUBS SHALL BE A MINIMUM OF 1.5' IN HEIGHT UPON PLANTING.					
5. PER TIMC 72-39 60% OF TREE, SHRUB, AND GROUND COVER SPECIES SHALL BE NATIVE TO FLORIDA.					



PLANS APPROVED WITH
CONDITIONS NOTED
JPetraglia
10/31/2025
Planning & Zoning

- None of the appliances in building 8 will be built in as confirmed on phone with contractor Rob.
- There will be no open entertainment space anywhere at the facility or on either property as indicated in parking count: only seating area available for customers.
- An offsite parking agreement for a minimum of five parking spaces must be provided and accepted by the city attorney prior to final inspection and prior to any further alcoholic beverage permit application hearings. The offsite parking agreement shall be for employees and all on-site parking provided must be reserved for customers. The agreement shall provide at a minimum:
 - A survey or site plan of off site parking site showing parking lot meets code (number of handicap, size, etc.) and labeling which spaces will be reserved for Dockside Daves.
 - The site plan should also indicate any other parking agreements the offsite parking facility is entered into and which spaces on the survey are being used for this purpose.
 - A legally recorded parking agreement must be submitted and tied to both parcels. Parking agreement must be signed by the property owner of offsite facility (not their agent) and recorded with the property deed of the off-site lot (through the county clerk or recorder). The agreement should also bind the parking facility property for more than 30 days. Revocation or modification of this agreement will invalidate permit compliance and may result in revocation of Certificate of Occupancy.
- Unity of title must be provided and approved by all parties prior to final inspection.
- Owner must obtain new BTR prior to final inspection.

147TH AVENUE

Site Plan

1"= +10'-0"

PARKING COUNT					
STANDARD	COMPACT	MOTORCYCLE	ADA	OFF-SITE	BIKE RACK
17	6	2	2	5	3

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NUMBER OF EMPLOYEES: 10

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CATEGORY	ALLOWABLE	EXISTING	PROPOSED
ZONING	C-3	C-3	C-3
SITE AREA	-	18,465 S.F. (42 ACRES)	18,465 S.F. (42 ACRES)
FLOOR AREA RATIO (FAR)	.55 (55%) MAX	4,025 S.F. = .217 (21.7%)	4,025 S.F. = .217 (21.7%)
PERVIOUS SURFACES	-	3,152 S.F. = .170 (17%)	5,006 S.F. = .271 (27.11%)
IMPERVIOUS SURFACE RATIO (ISPR)	.70 (70%) MAX	15,313 S.F. = .829 (82.9%)	13,459 S.F. = .729 (72.89%)

NOTES:

- CALCULATION OF COVERAGE FOR LOTS LOCATED IN THE C-3 DISTRICT IS PER SECTION 110-667

APPROVED
Planning & Zoning
10/31/2025

REVISIONS

NO.	DATE	DESCRIPTION

CLIENT

PROJECT
DOCKSIDE DAVES
14701 & 14703 GULF BLVD.
MADEIRA BEACH, FL

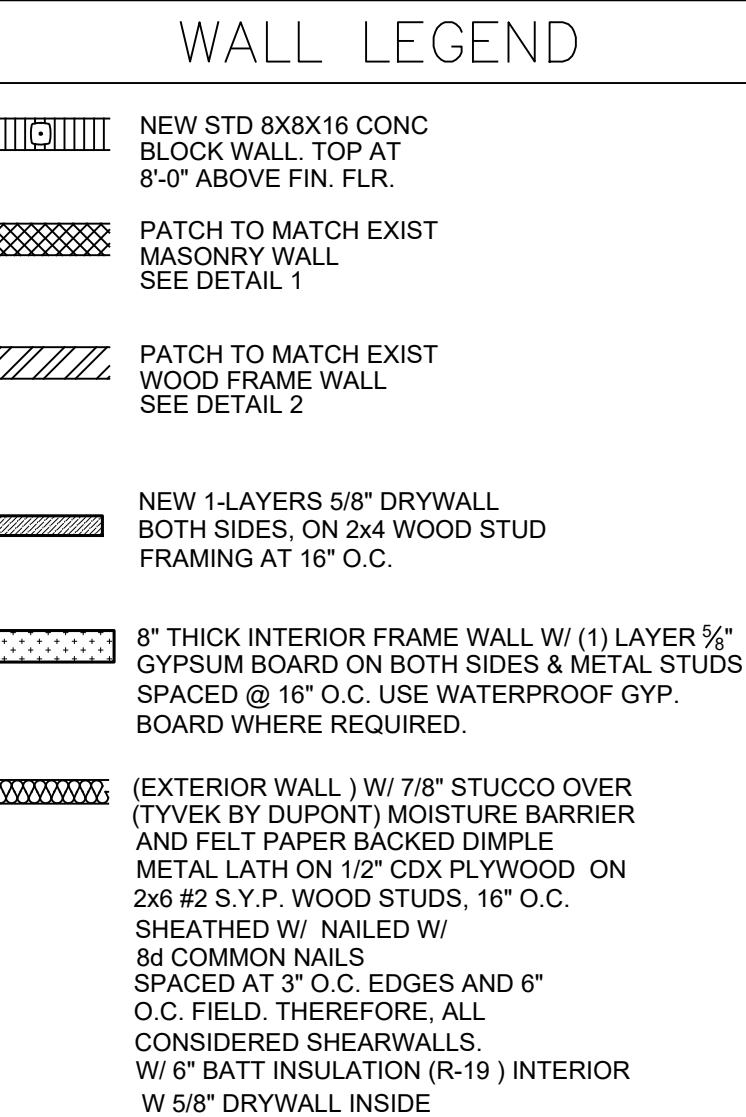
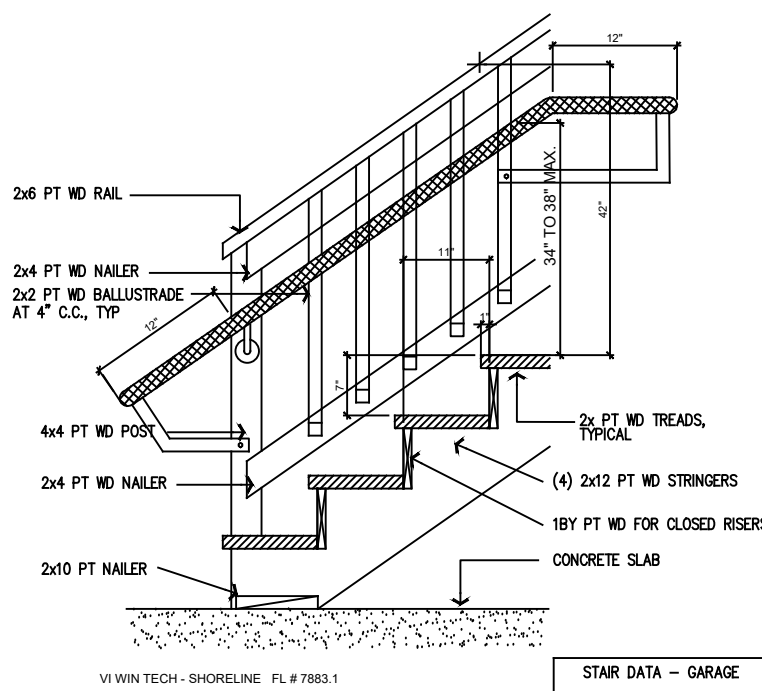
SITE PLAN

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TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY
UPDATED ON
DATE
JAB PROJECT #
SHEET #

MT
OCT 6, 25
SEP - 2023
0000-000
SP-1.0

Reviewed for Code
Compliance
By: Kathleen.Croteau
Date: 11/03/2025
Building



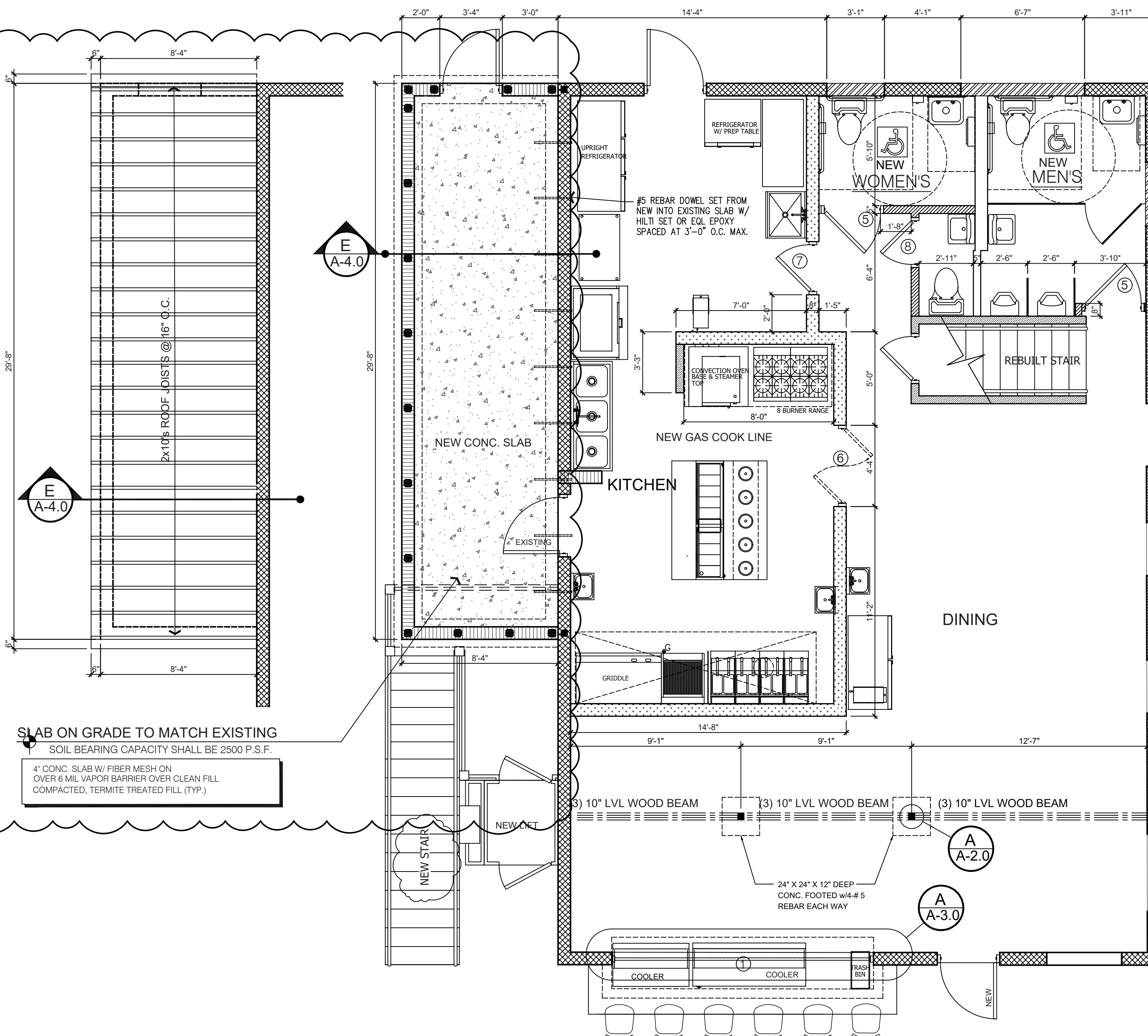

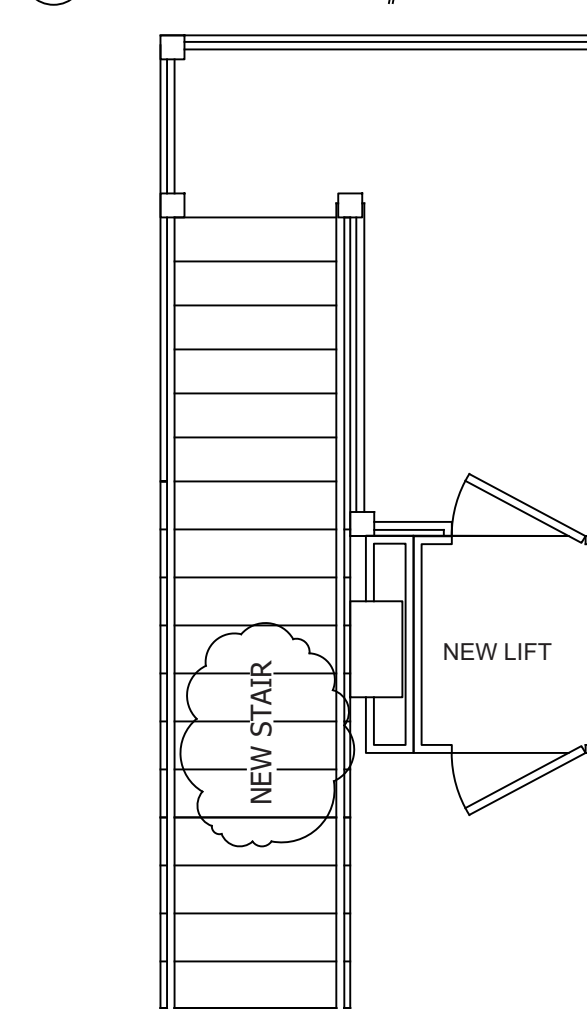
OCCUPANCY BUILDING "A" BUILDING FIRST & SECOND FLOORS			
KITCHEN AREAS	232 S.F.	(200 S.F./PERSON)	= 2.3 O.L.
SERVICE AREAS	197 S.F.	(100 S.F./PERSON)	= 1.8 O.L.
INSIDE DINING		24 FIXED SEATS	= 24 O.L.
OUTSIDE DINING W TABLE		32 FIXED SEATS	= 32 O.L.
BAR SEATING		28 SEATS	= 28 O.L.
BAR SERVICE AREA	173 S.F.	(100 S.F./PERSON)	=1.7 O.L.
OFFICE	140 S.F.	(100 S.F./PERSON)	=1.4 O.L.
STORAGE	155 S.F.	(30 S.F./PERSON)	=5 O.L.
BATHROOMS	222 S.F.	(100 S.F./PERSON)	=2.2 O.L.
TOTAL OCCUPANCY PER FBC CHAPTER 10			= 93.9 O.L.

120 SEATS BETWEEN BOTH BUILDINGS

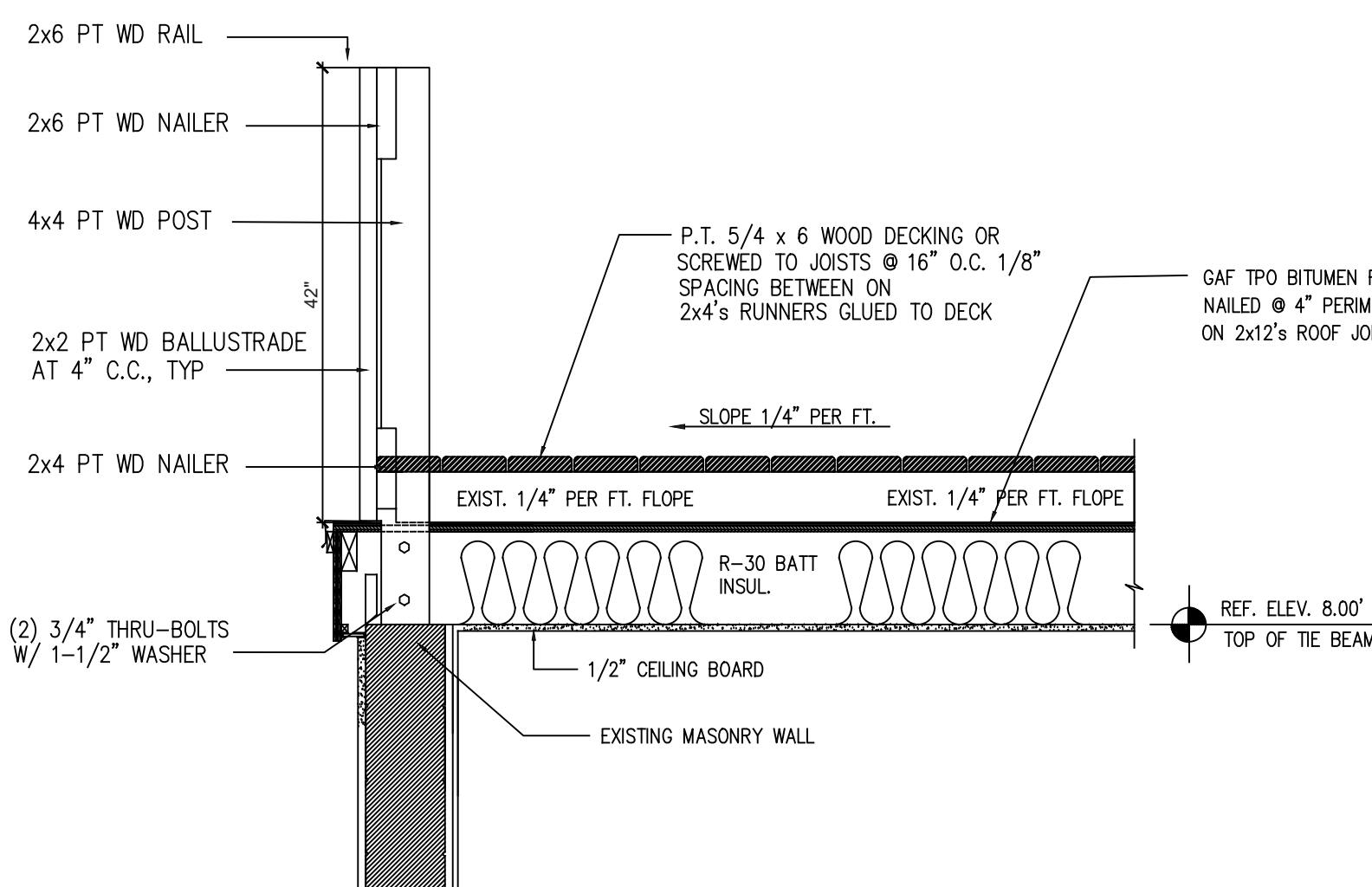
BUILDING "A"
NEW FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

120 SEATS BETWEEN BOTH BUILDINGS

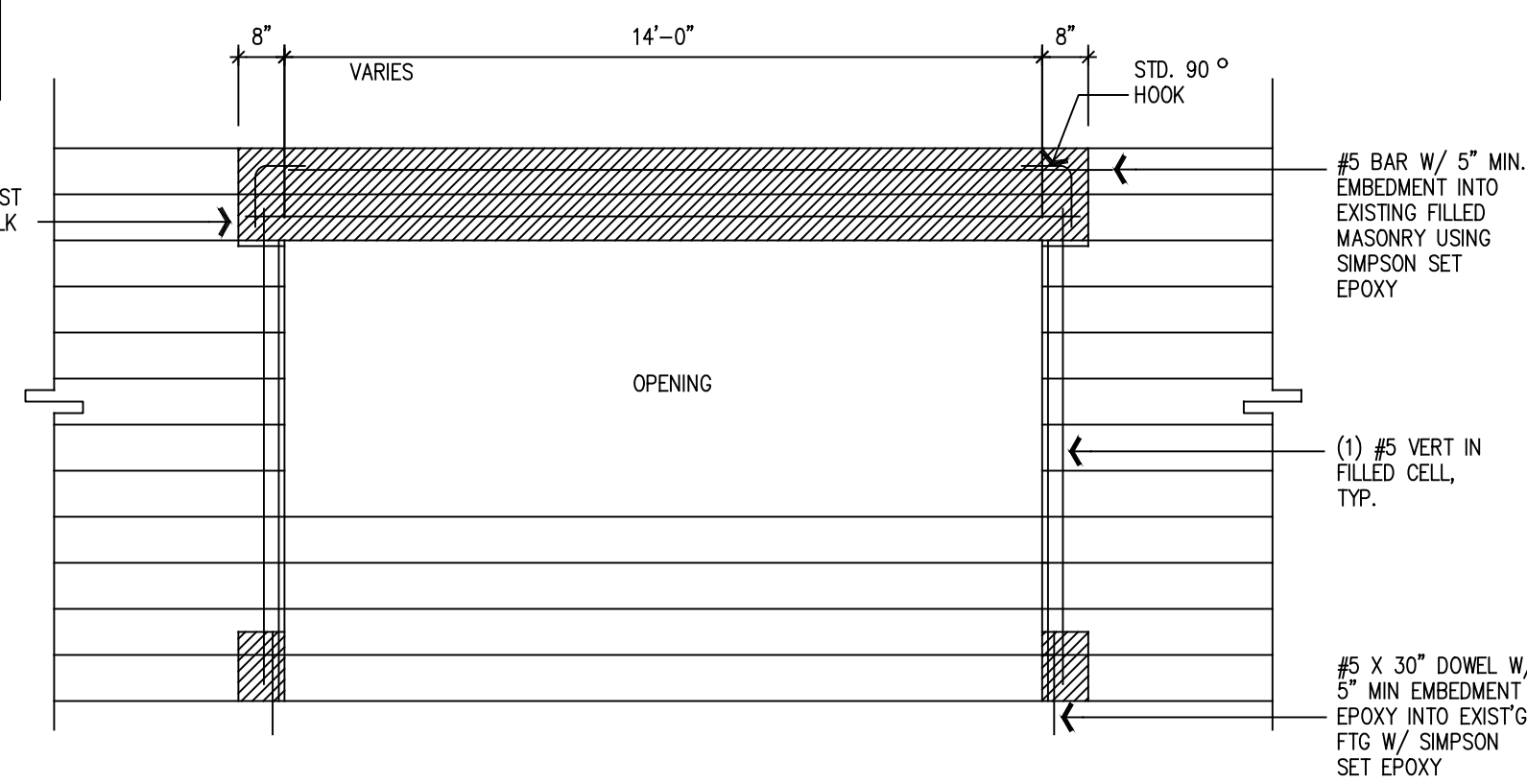
[illegible]







SCALE: 1/4"=1'-0'



B



(A)

- | | |
|---|--|
|  | NEW MASONRY
BLOCK WALL TOP AT
8'-0" ABOVE FIN. FLR. |
|  | EXISTING MASONRY
BLOCK WALL TOP AT
8'-0" ABOVE FIN. FLR. |
|  | 1-LAYERS 5/8" DRYWALL
BOTH SIDES, ON 2x4 WOOD STUD
FRAMING AT 16" O.C. |
|  | PATCH TO MATCH EXIST
ADJACENT MATLS |

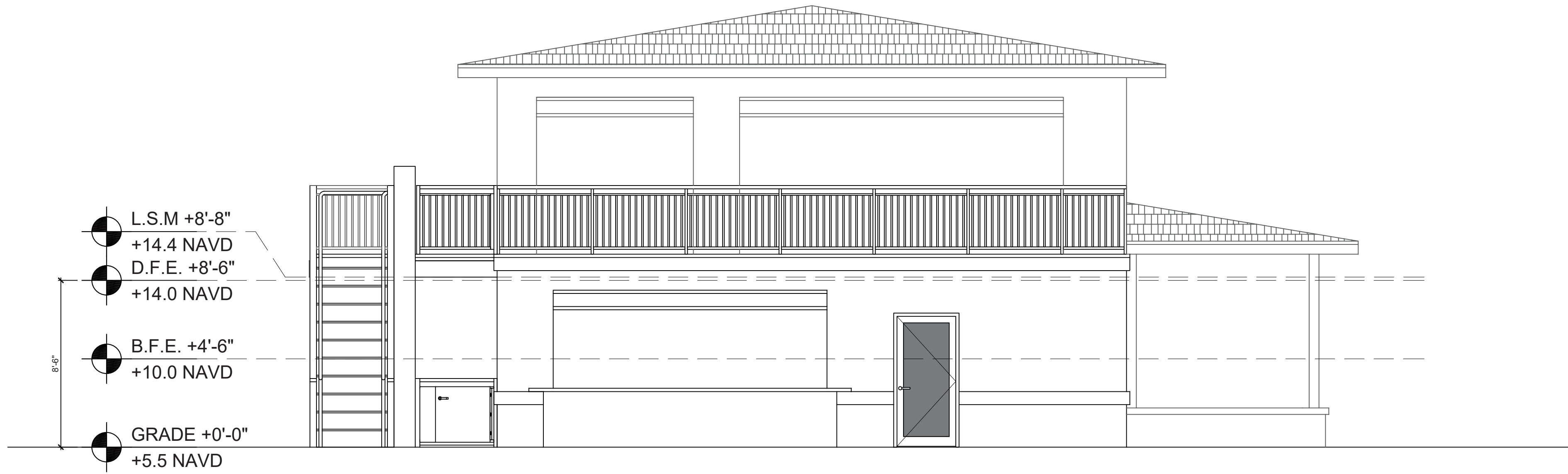
BUILDING C		CLIENT
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THE CONTRACTOR.

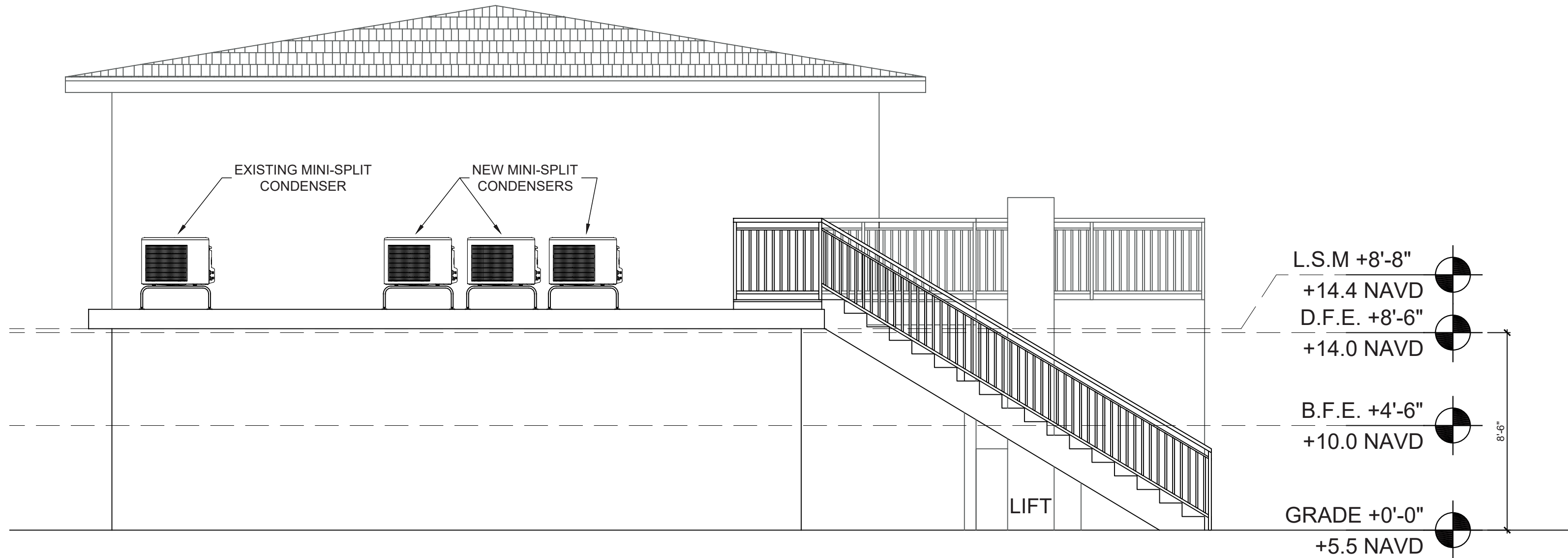
SHEET #

A-3.0

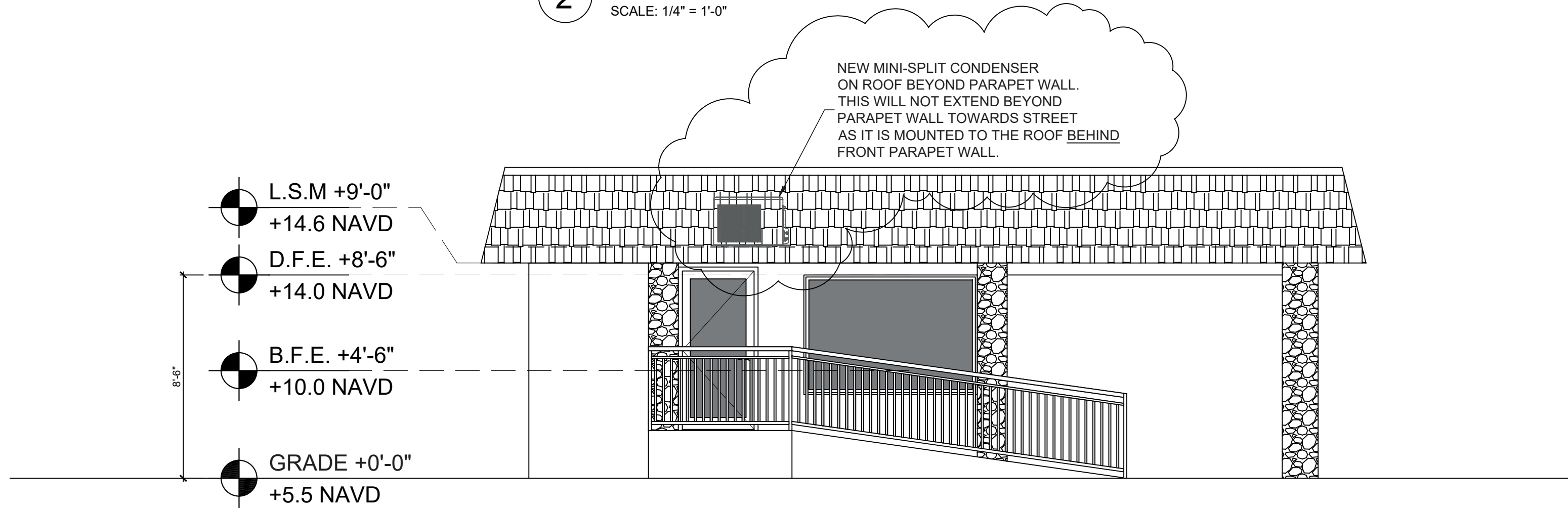
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN



1 BLDG A FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 BLDG A SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 BLDG B FRONT ELEVATION
SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO ARCHITECT IMMEDIATELY. REVISIONS OR CHANGES TO CONSTRUCTION, UNLESS OTHERWISE SPECIFIED, SHALL BE MADE IN WRITING BY THE ARCHITECT.

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APPROVED
John A. Bodziak
Architect AIA, PA

REVISIONS	
NO.	DATE

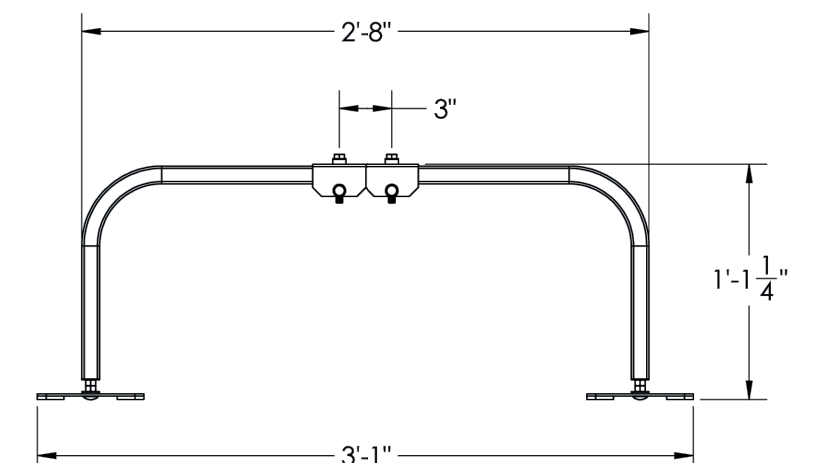
PROJECT INTERIOR REMODEL
DOCKSIDE DAVES
14701 & 14703 GULF BLVD.
MADEIRA BEACH, FL

BUILDING ELEVATIONS

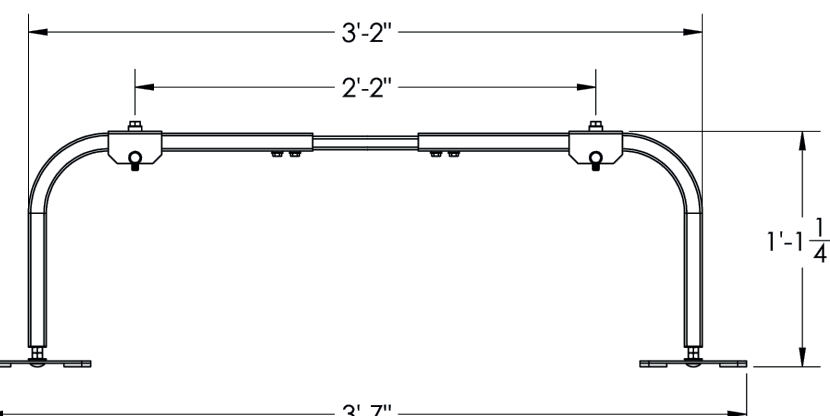
JOHN A. BODZIAK
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DRAWN BY: JB/MT
UPDATED ON: Oct. 30, 25
DATE: DEM - 2023
LAB PROJECT #: 23-037
SHEET #

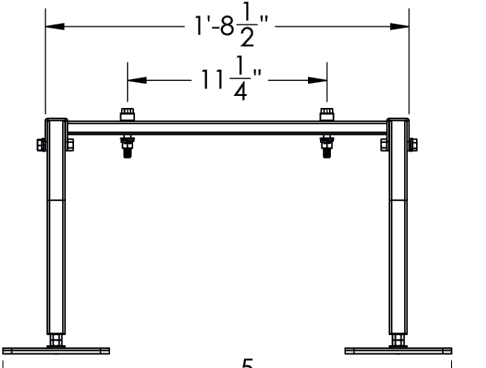
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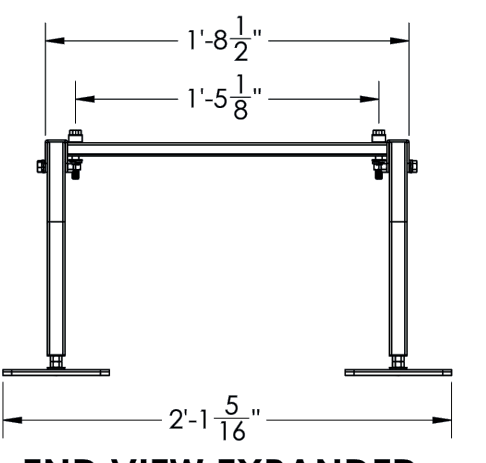
SIDE VIEW RETRACTED



SIDE VIEW EXPANDED



END VIEW RETRACTED



END VIEW EXPANDED

(*) - WIDTH IS ADJUSTABLE IN 1" INCREMENTS
IMPORTANT NOTE: THE INSTALLER IS RESPONSIBLE FOR TETHERING AND BOLTING UNITS TO WITHSTAND WIND AND/OR SEISMIC LOADS.

Reviewed for Code Compliance
By: Kathleen Croteau
Date: 11/03/2025

UNLESS OTHERWISE SPECIFIED:
DIMENSIONS ARE IN INCHES (MILLIMETERS)
TOLERANCES ARE: ANGLES ±1/2°
FINISHES: SEE FINISH SCHEDULE
DIMENSIONS ARE IN INCHES (MILLIMETERS)
TOLERANCES ARE: ANGLES ±1/2°
FINISHES: SEE FINISH SCHEDULE

DIVERSiTECH
DO NOT SCALE DRAWING

MINI SPLIT STAND - 1201
MODEL NO. GSMS1201
DO NOT SCALE DRAWING

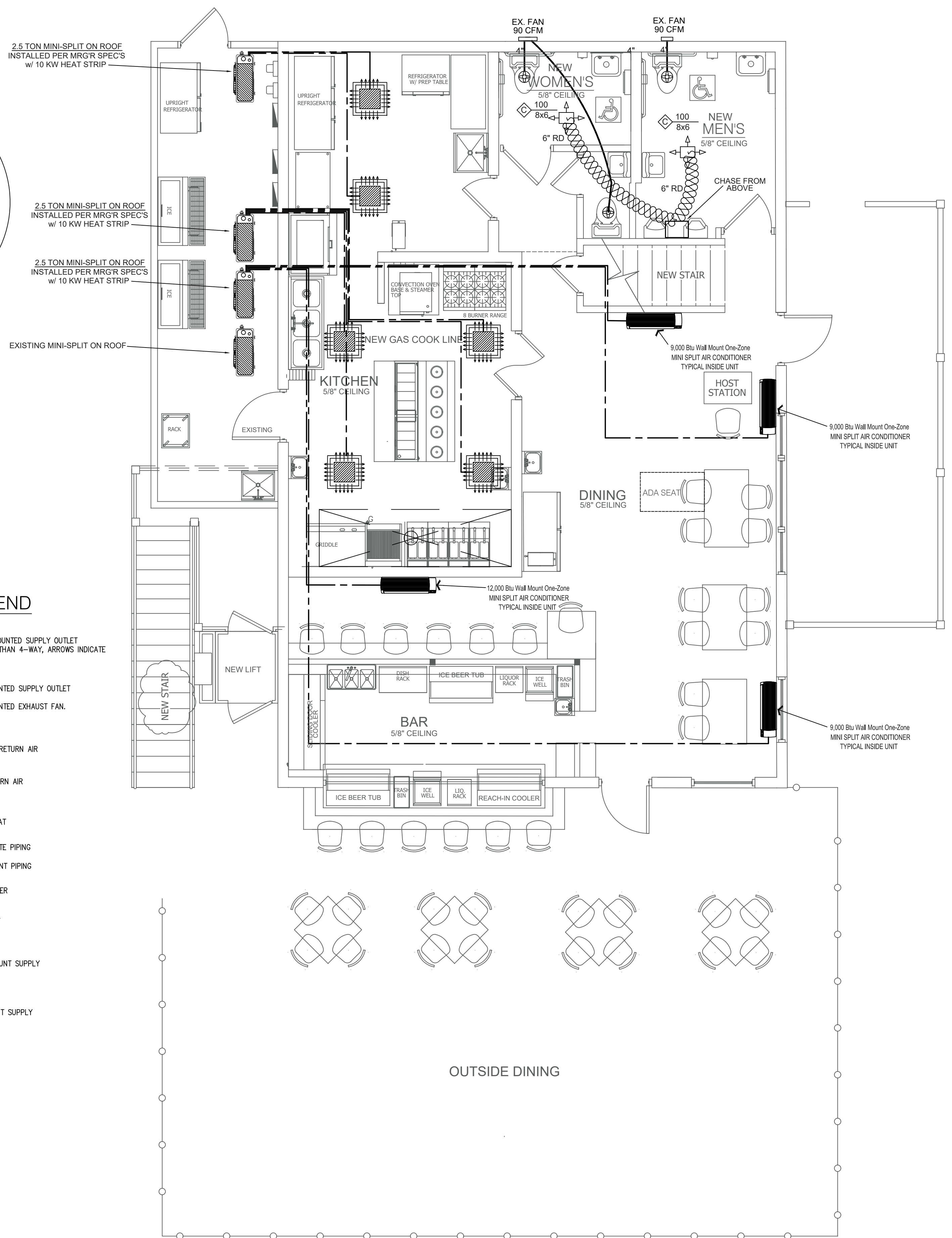
MINI-SPLIT RACK DETAIL

SCALE: NTS

MECHANICAL EQUIPMENT SCHEDULE					
AHU/CU #	MANUFACTURER	MODEL #	TONS/ CFM	HEAT STRIP	ELECTRICAL SPECIFICATIONS
AC	LG MINI SPLIT 4 ZONE	(KUMXB301A 4-KNMB071A)	2.5 TONS		208/ 230/ 240-VOLT, SINGLE PHASE, 22.0 - SEER2

HVAC LEGEND

- CEILING MOUNTED SUPPLY OUTLET
IF OTHER THAN 4-WAY, ARROWS INDICATE
- WALL MOUNTED SUPPLY OUTLET
- WALL MOUNTED EXHAUST FAN.
- BEDROOM RETURN AIR
- MAIN RETURN AIR
- THERMOSTAT
- CONDENSATE PIPING
- REFRIGERANT PIPING
- FIRE DAMPER
- FLEX DUCT
- CEILING MOUNT SUPPLY
- WALL MOUNT SUPPLY



BUILDING "A"
FIRST FLOOR
MECHANICAL PLAN
SCALE: 1/4"=1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF WORK. SPECIFICATIONS, REQUIREMENTS AND CONDITIONS SHALL BE SUBJECT TO THE DISCRETION OF THE ARCHITECT.

PROFESSIONAL STATEMENT TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED BY THE JURISDICTION.

APPROVED
John A. Bodziak
Architect AIA, PA

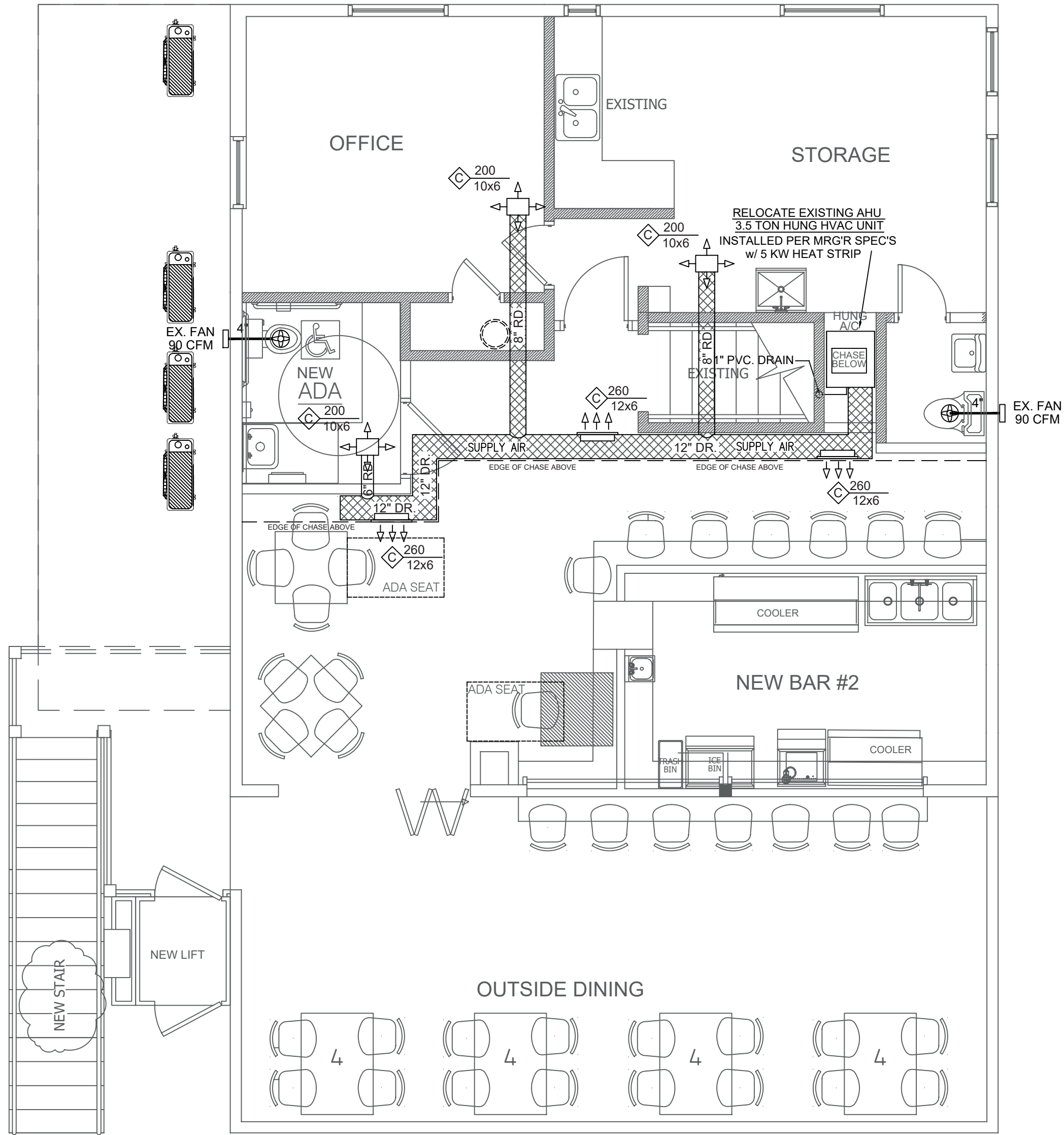
NO.	DATE	DESCRIPTION

PROJECT INTERIOR REMODEL
DOCKSIDE DAVES
14701 & 14703 GULF BLVD.
MADEIRA BEACH, FL

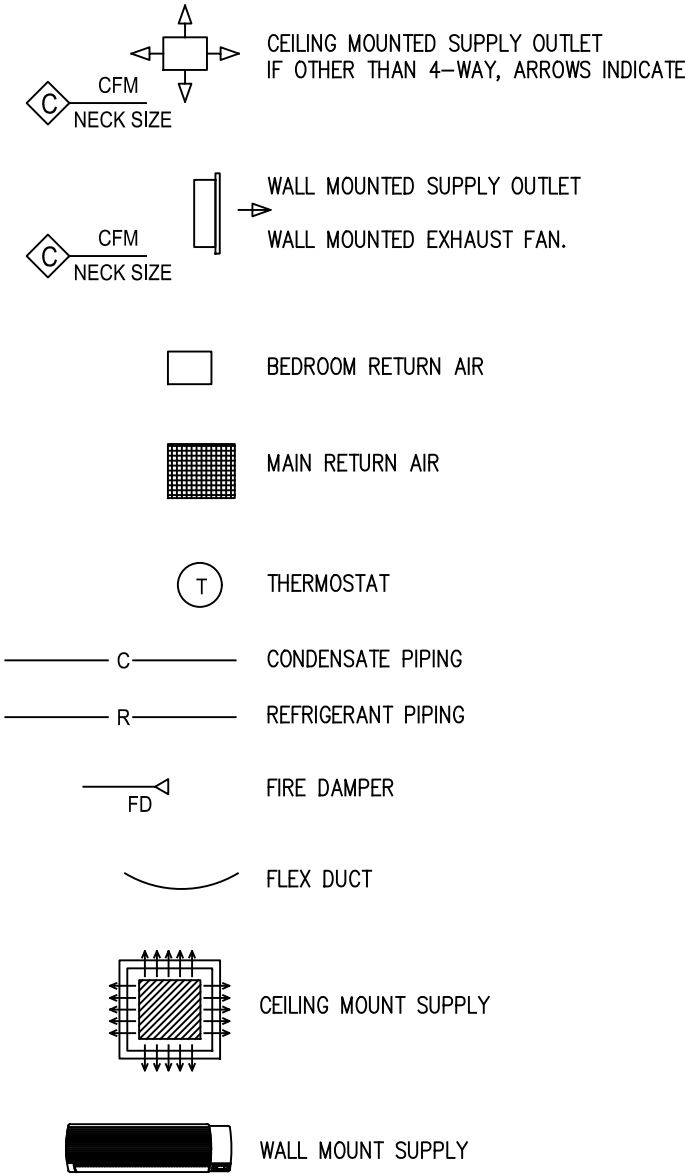
FIRST FLOOR MECHANICAL PLAN BLDG. "A"

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DRAWN BY	JB/MT
UPDATED ON	Oct. 6, 25
DATE	DEM - 2023
JAB PROJECT #	23-037
SHEET #	M-1.0



HVAC LEGEND

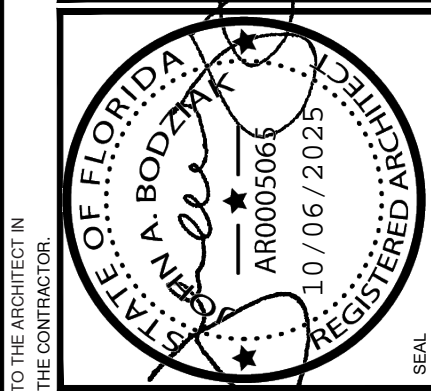


BUILDING "A"
SECOND FLOOR
MECHANICAL PLAN
SCALE: 1/4"=1'-0"

REVISIONS		DESCRIPTION	
NO.	DATE		

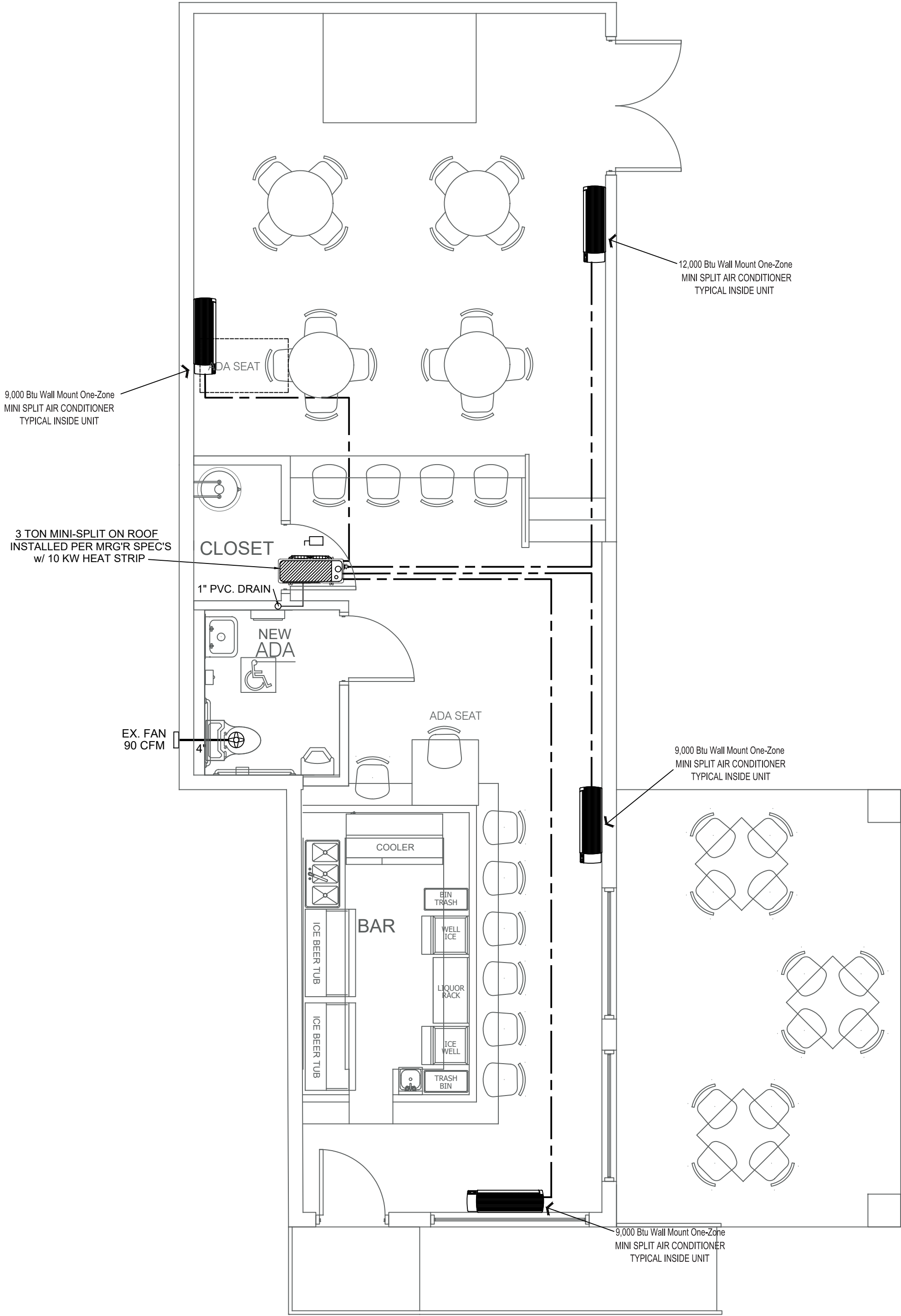
CLIENT	

PROJECT INTERIOR REMODEL DOCKSIDE DAVES 14701 & 14703 GULF BLVD. MADEIRA BEACH, FL	SECOND FLOOR MECHANICAL BLDG. "A"
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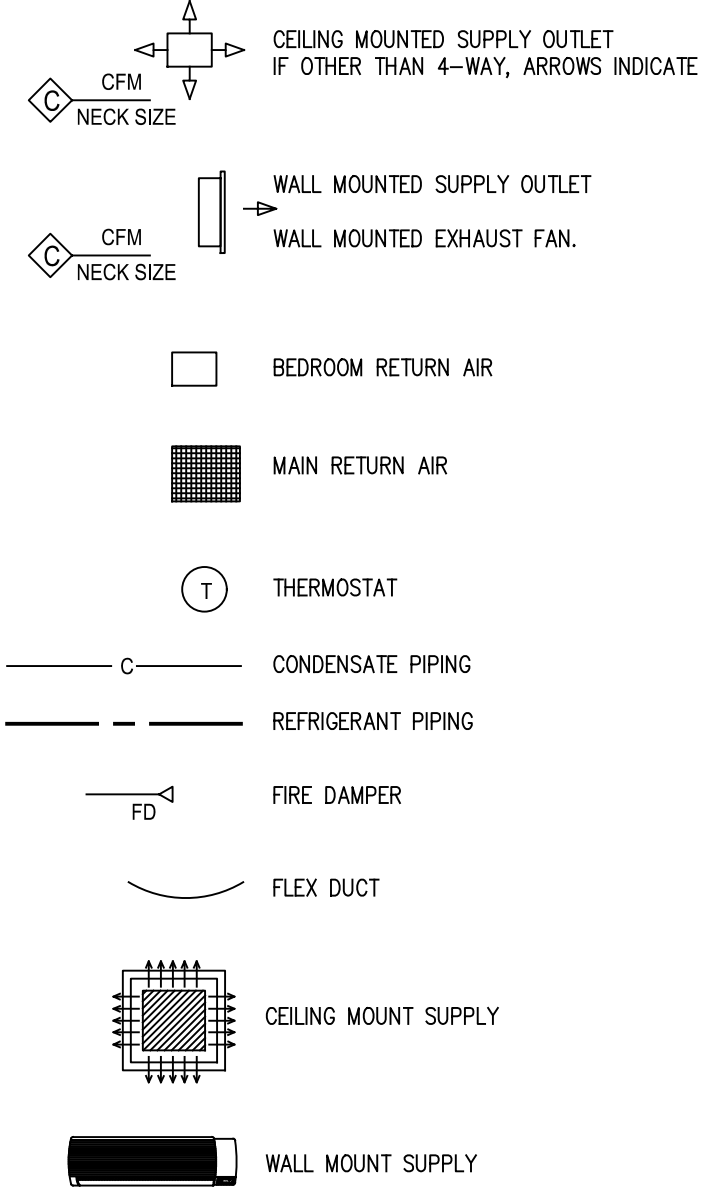
JOHN A. BODZIAK
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DRAWN BY	JB/MT
UPDATED ON	Oct. 6, 25
DATE	DEM - 2023
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SHEET #	M-2.0



BUILDING "B"
MECHANICAL PLAN
SCALE: 1/4"=1'-0"

HVAC LEGEND



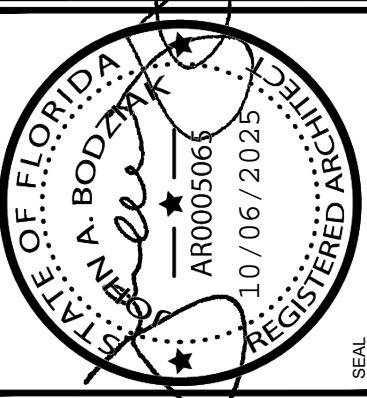
PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 253 AND 254, LAWS OF FLORIDA.

REVISIONS	
NO.	DESCRIPTION

--

PROJECT INTERIOR REMODEL
DOCKSIDE DAVES
14701 & 14703 GULF BLVD.
MADEIRA BEACH, FL

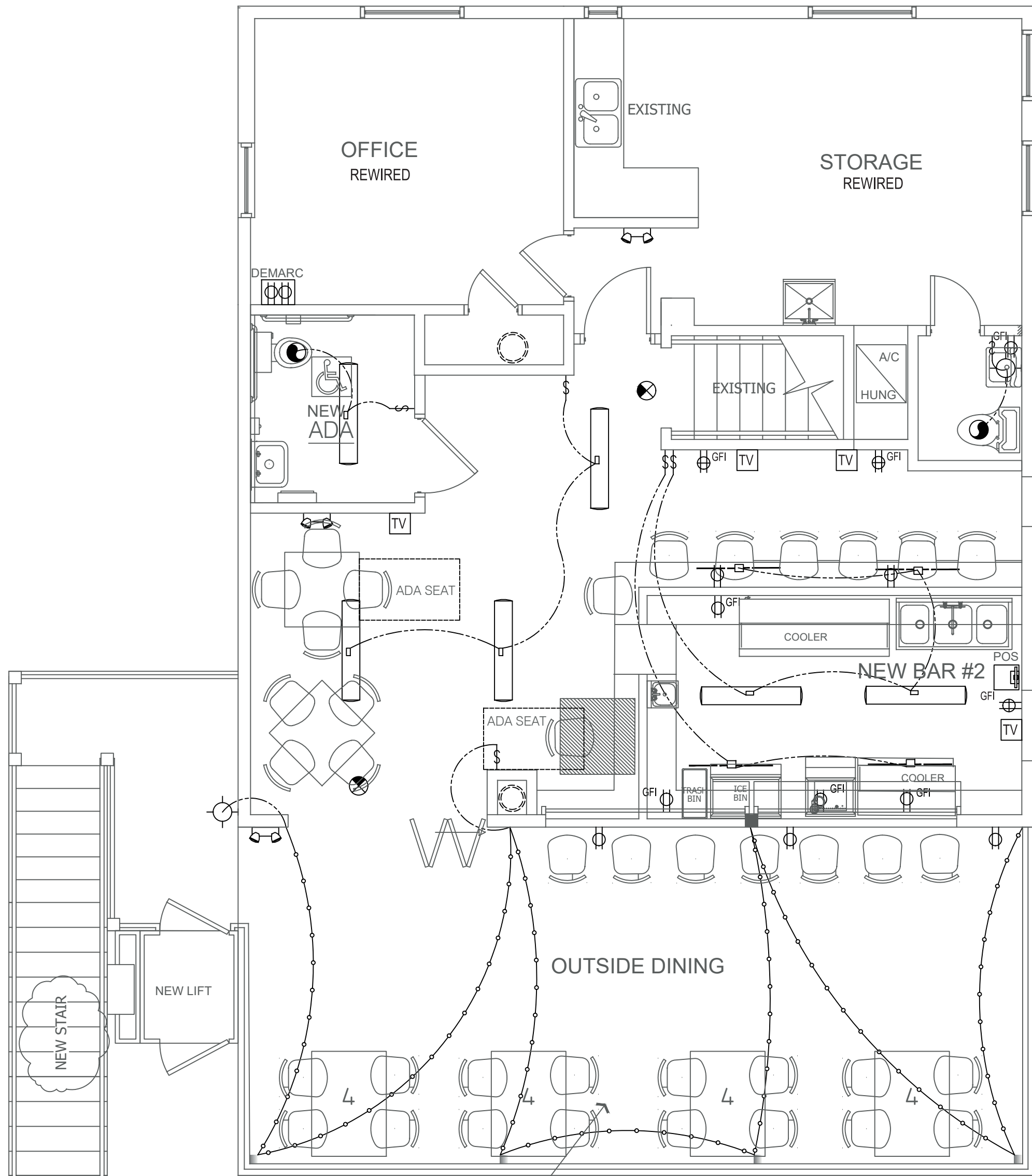
MECHANICAL PLAN BUILDING "B"



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DRAWN BY	JB/MT
UPDATED ON	Oct. 6, 25
DATE	DEM - 2023
JAB PROJECT #	23-037

SHEET #
M-3.0



**BUILDING A
SECOND FLOOR PLAN
ELECTRICAL PLAN**

SCALE: 1/4"=1'-0"

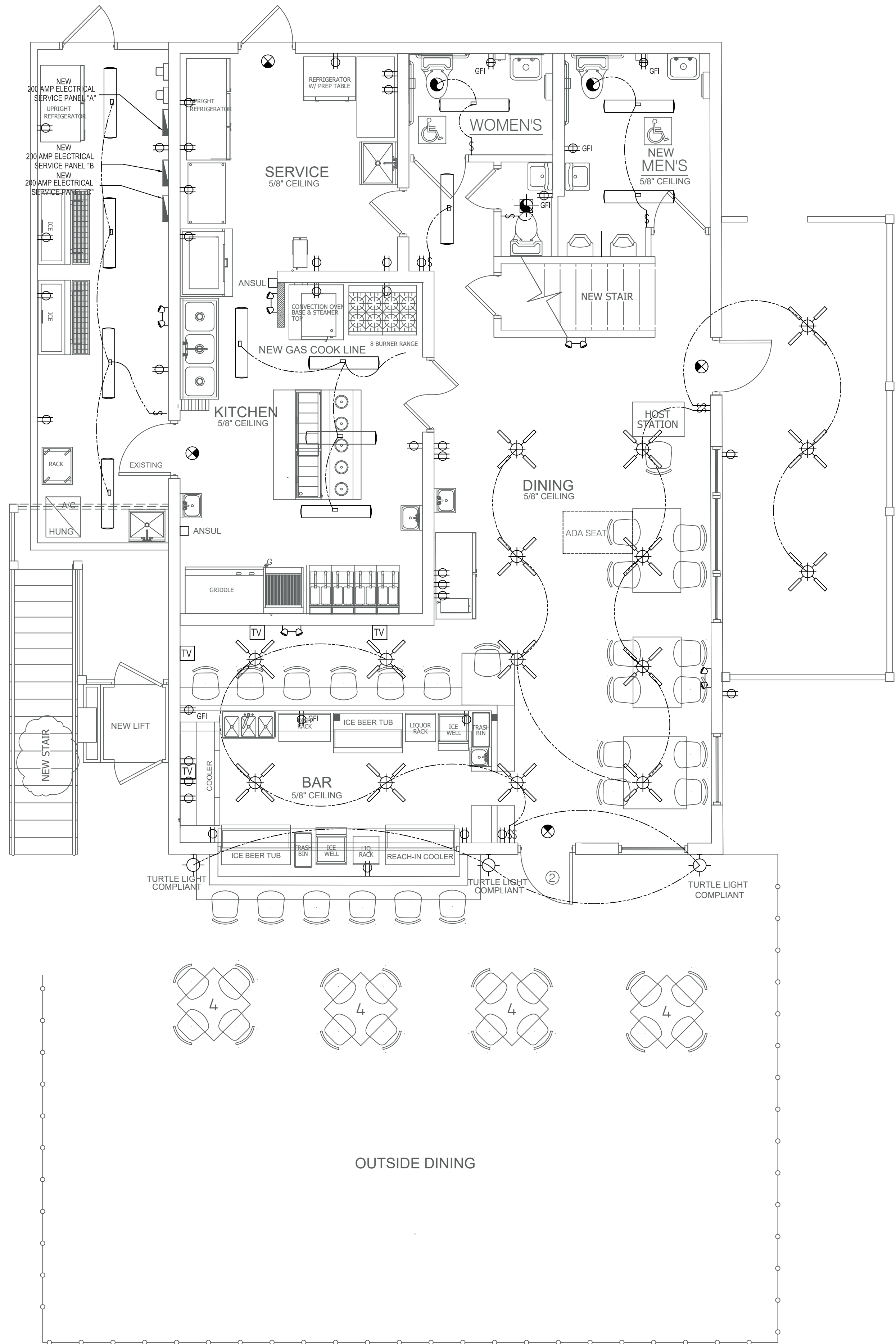


LIGHTING LEGEND

- EGRESS LIGHT W/SELF-CONTAINED BATTERY PACK (CONN. AHEAD OF LOCAL LTG. CKT.) - TYPICAL
- EXIT SIGN, SHADED QUADRANT(S) INDICATES FACE(S), MOUNTING
- LIGHT SENSOR SWITCH IN BATHROOM
- ADJUSTABLE CD STROBE ONLY
- EXIT & EGRESS LIGHT W/SELF-CONTAINED BATTERY PACK (CONN. AHEAD OF LOCAL LTG. CKT.) - TYPICAL

ELECTRICAL KEY

- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- RHEOSTAT SWITCH
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- VAPOR PROTECTED RECESSED LIGHT FIXTURE
- JUNCTION BOX
- UNDER COUNTER MOUNT FLUORESCENT LIGHT FIXTURE
- FLUORESCENT LIGHT FIXTURE
- EXHAUST FAN
- EXHAUST FAN/LIGHT COMBINATION
- OUTLET FOR GARAGE DOOR OPENER (OPTIONAL)
- CHIMES (OPTIONAL)
- PUSHBUTTON SWITCH (OPTIONAL)
- SMOKE DETECTOR HARD WIRED & BATT BACK-UP
- CARBON MONOXIDE DETECTORS OUTSIDE OF ALL BEDROOMS
- TELEPHONE (OPTIONAL)
- TELEVISION (OPTIONAL)
- THERMOSTAT LOCATE
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SPEAKER (OPTIONAL)
- ROUGH-IN FOR OPT. CEILING FAN
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN
- POINT OF SALE



**BUILDING A
FIRST FLOOR PLAN
ELECTRICAL PLAN**

SCALE: 1/4"=1'-0"

**NOTE: ALL LIGHTING VISIBLE
FROM OUTSIDE TO BE TURTLE
LIGHT COMPLIANT**

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 253 AND 253.1, LAWS OF FLORIDA.

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DATE: OCT. 6, 2025
JAB PROJECT #: 23-037
SHEET #

E-1.0

PROJECT: INTERIOR REMODEL
DOCKSIDE DAVES
14701 & 14703 GULF BLVD.
MADEIRA BEACH, FL

ELECTRICAL PLAN BUILDING 'A'

REVISIONS

NO.	DATE	DESCRIPTION

CLIENT

SEAL

STATE OF FLORIDA
JOHN A. BODZIAK
ARCHITECT AIA, PA
AR00050665
10/06/2025
REGISTERED ARCHITECT

ELECTRICAL KEY

	DUPLEX CONVENIENCE OUTLET		FLUORESCENT LIGHT FIXTURE
	DUPLEX OUTLET ABOVE COUNTER		EXHAUST FAN
	WEATHERPROOF DUPLEX OUTLET		EXHAUST FAN/LIGHT COMBINATION
	GROUND FAULT INTERRUPTER DUPLEX OUTLET		OUTLET FOR GARAGE DOOR OPENER (OPTIONAL)
	HALF-SWITCHED DUPLEX OUTLET		CHIMES (OPTIONAL)
	SPECIAL PURPOSE OUTLET		PUSHBUTTON SWITCH (OPTIONAL)
	DUPLEX OUTLET IN FLOOR		SMOKE DETECTOR HARD WIRED & BATT BACK-UP
	220 VOLT OUTLET		TELEPHONE (OPTIONAL)
	WALL SWITCH		TELEVISION (OPTIONAL)
	THREE-WAY SWITCH		THERMOSTAT
	FOUR-WAY SWITCH		ELECTRIC METER
	RHEOSTAT SWITCH		ELECTRIC PANEL
	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE		DISCONNECT SWITCH
	WALL MOUNTED INCANDESCENT LIGHT FIXTURE		SPEAKER (OPTIONAL)
	RECESSED INCANDESCENT LIGHT FIXTURE		ROUGH-IN FOR OPT. CEILING FAN
	LIGHT FIXTURE WITH PULL CHAIN		CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN
	REINFORCED JUNCTION BOX		SPEAKERS
	HOLLYWOOD STRIP LIGHT		
	UNDER COUNTER MOUNT FLUORESCENT LIGHT FIXTURE		

ELECTRICAL NOTES

ELECTRICAL DEVICES

SWITCHES AND WALL OUTLETS OVER COUNTERS
REMAINING SWITCHES
WALL OUTLETS
(1" ABOVE TOP OF MIRROR)
WATER SOFTENER AND SUMP OUTLETS
TELEPHONE OUTLETS
TELEVISION OUTLETS
EXTERIOR GFI'S
GARAGE FOY'S (ABOVE GARAGE FLOOR)
BASEMENT WALL OUTLETS
FRONT DOOR COACH LIGHT
GARAGE DOOR COACH LIGHT (ABOVE GARAGE FLOOR)
DINING AND BREAKFAST FIXTURE HEIGHT
FOYER AND STAIRWAY FIXTURE HEIGHT
THERMOSTAT
DOOR BELL CHIMES
DOOR BELL BUTTON
KITCHEN HOOD FAN "WHIP"
KITCHEN WALL HUNG MICROWAVE RECEPTACLE
KITCHEN DISHWASHER RECEPTACLE
KITCHEN RANGE
KITCHEN REFRIGERATOR
WASHER/DRYER OUTLET
C.L. = CENTER LINE

ABOVE FINISHED FLOOR

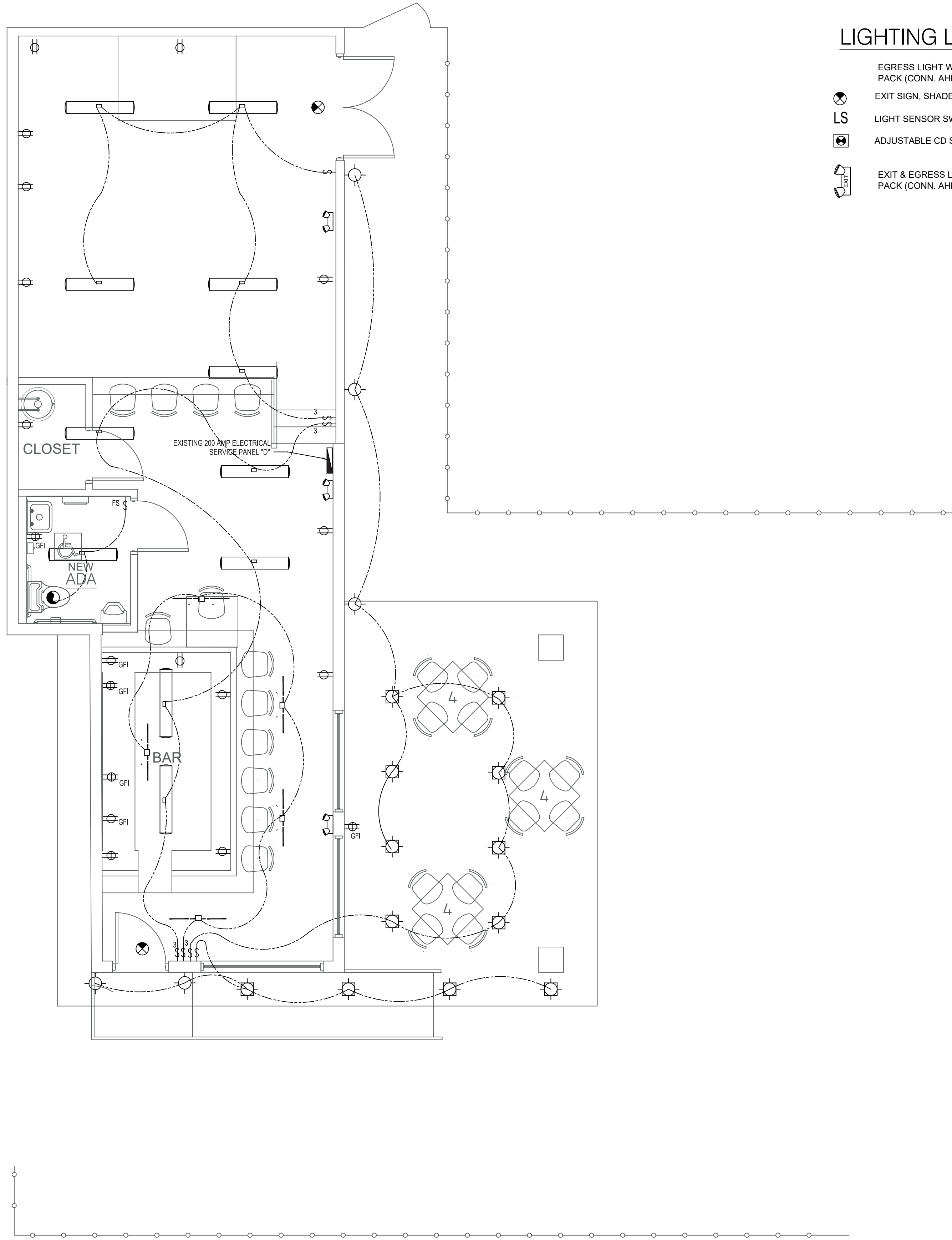
48" TO C.L. - 44" TO C.L.
48" TO C.L. - 44" TO C.L.
18" TO C.L.
80" TO C.L.
48" TO C.L.
12" TO C.L. - 15" TO C.L.
12" TO C.L. - 15" TO C.L.
12" TO C.L. - 15" TO C.L.
48" TO C.L. - 44" TO C.L.
48" TO C.L.
72" TO C.L.
84" TO C.L.
64" TO BOTTOM OF FIXTURE
86" TO BOTTOM OF FIXTURE
54" TO C.L. - 44" TO C.L.
84" TO C.L.
LEVEL WITH DOOR HANDLE
66" TO C.L.
76" TO C.L.
UNDER SINK
24" TO C.L.
48" TO C.L.
36" TO C.L.



GENERAL NOTES

- FIELD VERIFY PRIOR TO START OF WORK
- MASTER BATH STANDARD 30" HIGH VANITY TO BE 4" ABOVE VANITY
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIP-
MENT (I.E. FURNACES, A/C UNITS,
ELECTRICAL PANELS, SANITARY SUMP PITS,
DRAIN TILE SUMP AND WATER HEATERS)
ARE SUBJECT TO RELOCATION DUE TO
FIELD CONDITIONS.
- ALL SMOKE DETECTORS SHALL BE UL CERTIFIED
110V INTERCONNECTED, AND MEET NEC 2014
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERUPTERS (GFI)
AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE
REQUIREMENTS OF ALL GOVERNING CODES.

NOTE: ALL LIGHTING VISIBLE
FROM OUTSIDE TO BE TURTLE
LIGHT COMPLIANT



LIGHTING LEGEND

- EGRESS LIGHT W/SELF-CONTAINED BATTERY
PACK (CONN. AHEAD OF LOCAL LTG. CKT.) - TYPICAL
- EXIT SIGN, SHADED QUADRANT(S) INDICATES FACE(S), MOUNTING
- LS
LIGHT SENSOR SWITCH IN BATHROOM
- ADJUSTABLE CD STROBE ONLY
- EXIT & EGRESS LIGHT W/SELF-CONTAINED BATTERY
PACK (CONN. AHEAD OF LOCAL LTG. CKT.) - TYPICAL

BUILDING "B"
ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH CONSTRUCTION. SPECIFICATIONS DISCREPANCIES AND CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH CONSTRUCTION.

PROFESSIONAL STATEMENT TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM REGULATORY CODES AND THE APPLICABLE MINIMUM SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE FLORIDA ELECTRICAL CODE AND THE FLORIDA MECHANICAL CODE.

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APPROVED
Kathleen Greeneau
Professional Engineer

REVISIONS	
NO.	DATE

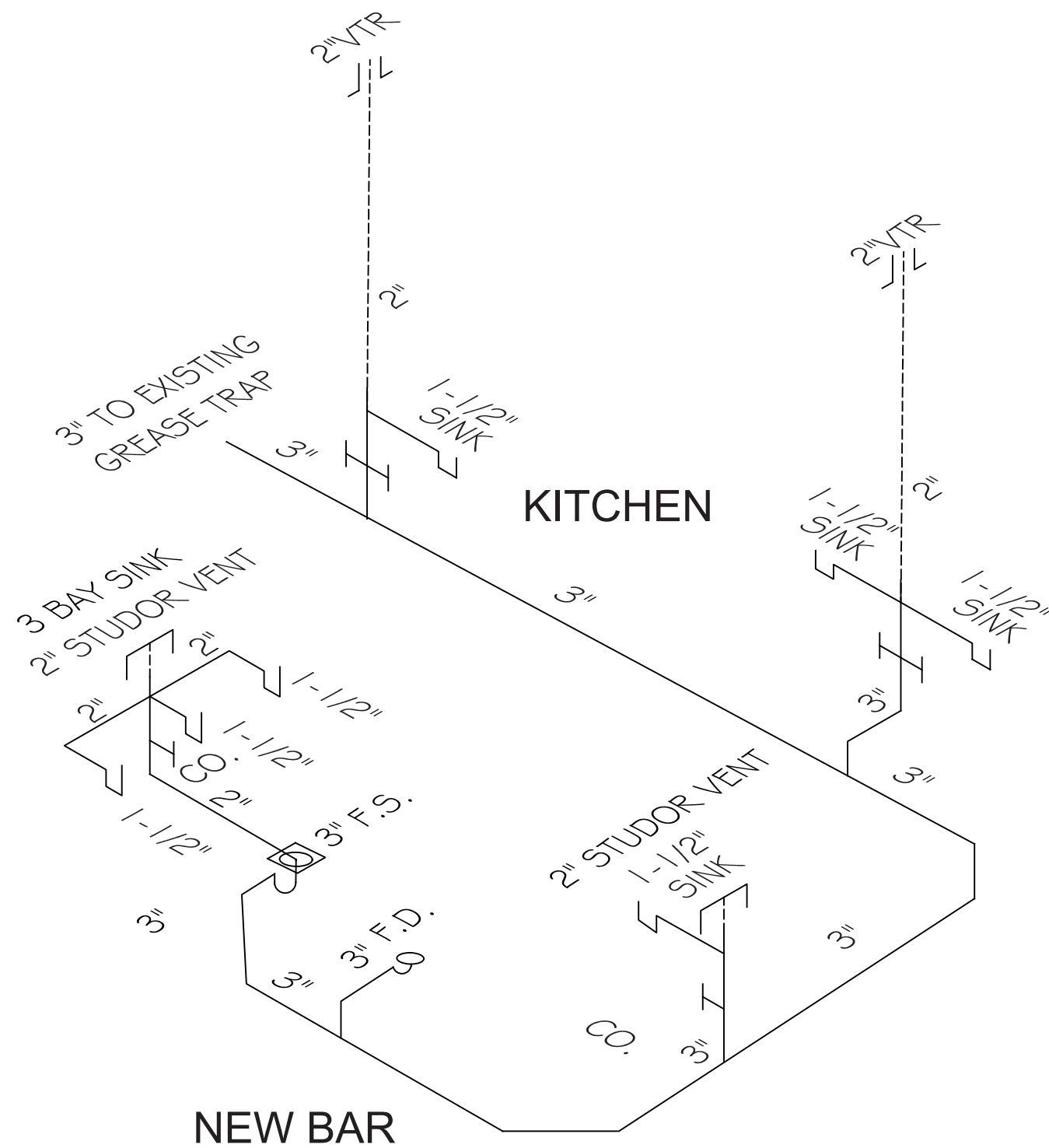
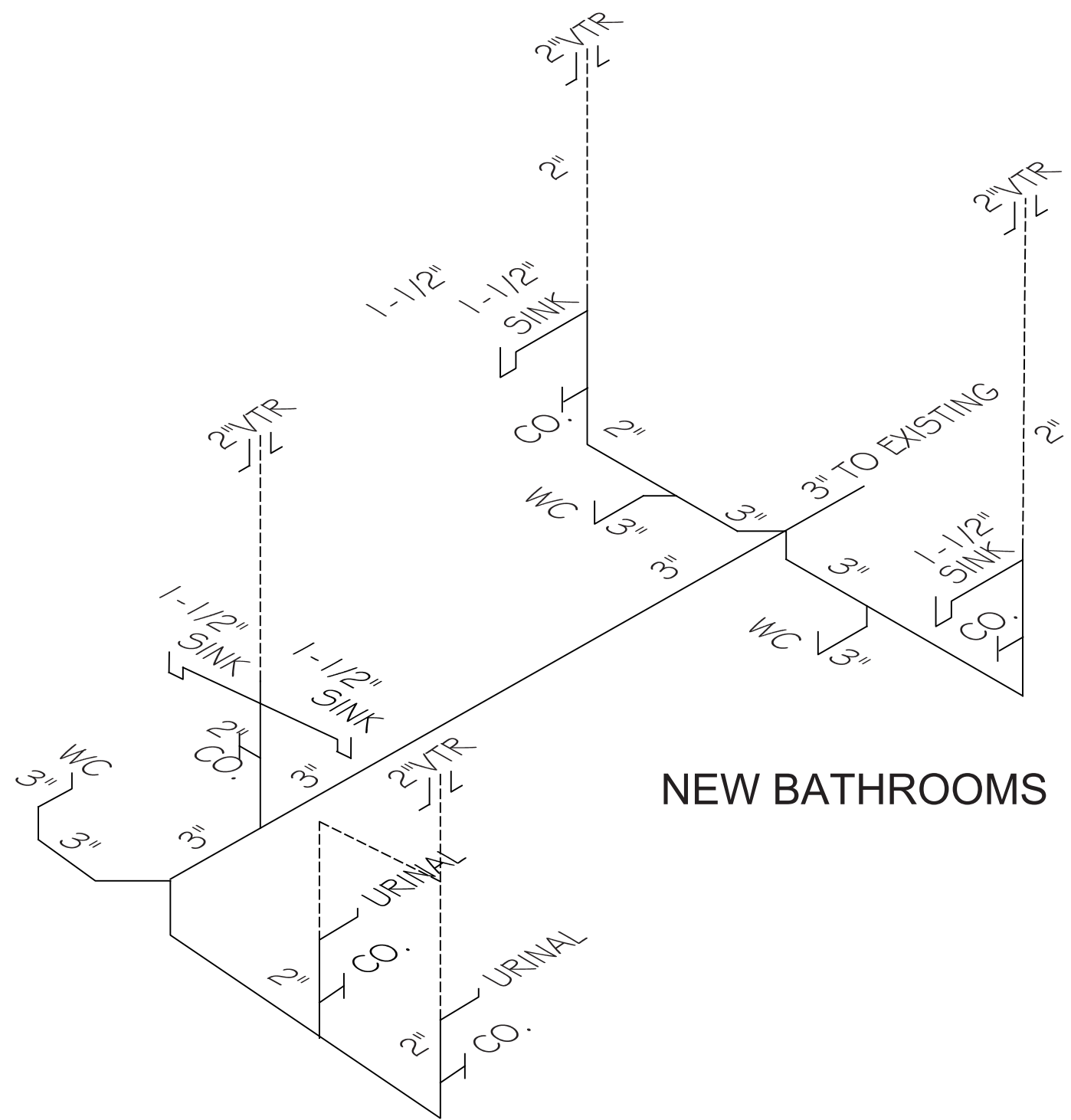
PROJECT: INTERIOR REMODEL
DOCKSIDE DAVES
14701 & 14703 GULF BLVD.
MADEIRA BEACH, FL

ELECTRICAL PLAN BUILDING "B"

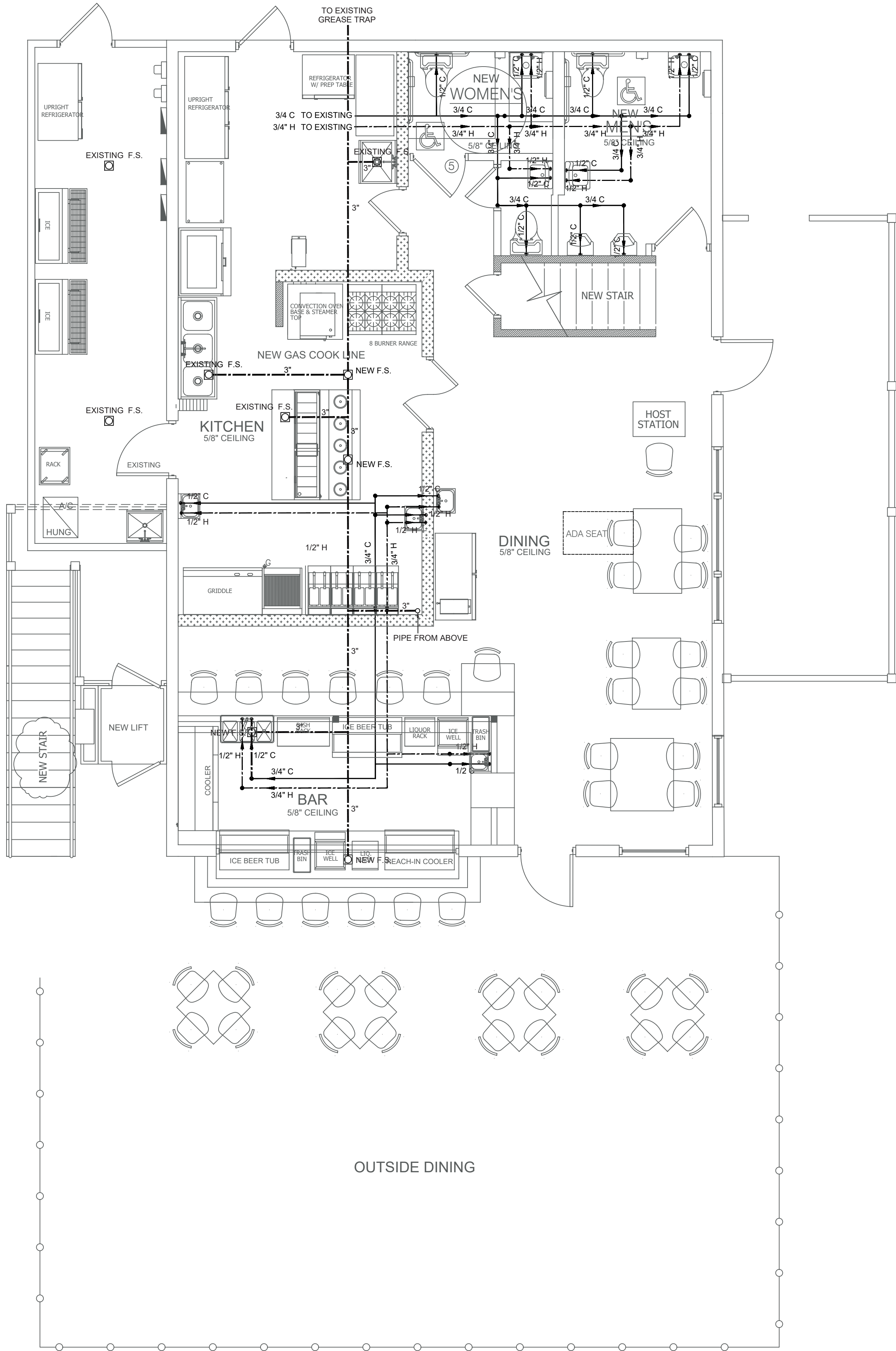
JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005085
EMAIL: JACK@JABODZIAK.COM
5665 CENTRAL AVE. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0988

10/06/2025
REGISTERED ARCHITECT
SEAL

DRAWN BY	JB/MT
UPDATED ON	Oct. 6, 25
DATE	DEM - 2023
JAB PROJECT #	23-037
SHEET #	E-2.0



SANITARY RISER



PLUMBING SPECIFICATIONS

1. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL COMPLETE SANITARY AND DOMESTIC WATER PIPING SYSTEMS, INCLUDING ALL ASSOCIATED DEVICES, EQUIPMENT, CONTROLS, AND CONNECTIONS TO EXISTING SERVICES, SUPPORTS, AND HARDWARE REQUIRED FOR THE SATISFACTORY OPERATION OF THE SYSTEMS, WHETHER SPECIFICALLY SHOWN OR NOT. PLUMBING CONTRACTOR SHALL PROVIDE ROUTING AND OFFSETS NECESSARY TO AVOID CONFLICT WITH STRUCTURE, FINISHES, AND WORK OF OTHER TRADES; THE DRAWINGS INDICATE IN GENERAL THE ROUTING, AND DO NOT SHOW ALL REQUIRED PIPING, FITTINGS, OFFSETS, ETC.
2. SANITARY DRAIN, WASTE AND VENT PIPING IS TO BE SCHED 40 PVC, NO-HUB CAST IRON OR TYPE L HARD COPPER TUBE ABOVE AND BELOW GROUND. ALL EXPOSED PIPING IN FINISHED SPACES IS TO BE CAST IRON SUITABLE FOR PAINTING. SANITARY LINE SLOPES SHALL BE IN ACCORDANCE WITH FLORIDA PLUMBING CODE TABLE 704.1. SLOPE SHALL BE A MINIMUM OF 1/8" / FOOT FOR LINES BETWEEN 3" AND 6" IN DIAMETER. AND A MINIMUM OF 1/4" / FOOT FOR LINES UNDER 3" IN DIAMETER.
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4. ALL HOT WATER PIPING TO BE INSULATED WITH 1" PIPE INSULATION PER THE FLORIDA STATE ENERGY CODE.
5. VERIFY LOCATIONS, SIZES, AND INVERT ELEVATIONS OF SANITARY DRAIN, VENT, AND DOMESTIC WATER PIPING CONNECTIONS PRIOR TO PROCEEDING WITH THE INSTALLATION OF ANY NEW WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED CONTRACTOR SHALL OBTAIN DIRECTION FROM THE ENGINEER BEFORE PROCEEDING.
6. ALL PLUMBING WORK SHALL CONFORM TO ALL STATE AND LOCAL CODES, RULES, AND REGULATIONS.
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10. INSTALL ALL WORK TO COMPLY WITH ADA REQUIREMENTS IF APPLICABLE.
11. COORDINATE ALL CLEANOUTS WITH ARCHITECTURAL PRIOR TO INSTALLATION.

BUILDING "A"

FIRST FLOOR
PLUMBING PLAN

SCALE: 1/4"=1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

APPROVED FOR CONSTRUCTION
JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@BODZIAK.COM
5665 CENTRAL AVE., SUITE 100, JACKSONVILLE, FLORIDA 32210
TEL: (727) 327-1966 FAX: (727) 825-0968

REVISIONS

NO.	DATE	DESCRIPTION

CLIENT

PROJECT: INTERIOR REMODEL
DOCKSIDE DAVES
14701 & 14703 GULF BLVD.
MADEIRA BEACH, FL

FIRST FLOOR PLUMBING PLAN BLDG. "A"

SEAL

JOHN A. BODZIAK
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5665 CENTRAL AVE., SUITE 100, JACKSONVILLE, FLORIDA 32210
TEL: (727) 327-1966 FAX: (727) 825-0968

DRAWN BY: JB/MT
UPDATED ON: Oct. 6, 25
DATE: DEM - 2023
JOB PROJECT #: 23-037
SHEET #

P-1.0



SCALE: 1/4"=1'-0"

PLUMBING SPECIFICATIONS

1. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL COMPLETE SANITARY AND DOMESTIC WATER PIPING SYSTEMS; INCLUDING ALL ASSOCIATED DEVICES, EQUIPMENT, CONTROLS, AND CONNECTIONS TO EXISTING SERVICES, SUPPORTS, AND HARDWARE REQUIRED FOR THE SATISFACTORY OPERATION OF THE SYSTEMS, WHETHER SUCH SERVICES OR NOT. PLUMBING CONTRACTOR SHALL PROVIDE ROUTING AND OFFSETS NECESSARY TO AVOID CONFLICT WITH STRUCTURE, FINISHES, AND WORK OF OTHER TRADES; THE DRAWINGS INDICATE IN GENERAL THE ROUTING, AND DO NOT SHOW ALL REQUIRED PIPING, FITTINGS, OFFSETS, ETC.
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9. INSTALL ALL PRECAST FIRESTOPPING AND PENETRATION ASSEMBLIES AT ALL PIPING THROUGH RATED WALLS AND ASSEMBLIES.
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11. COORDINATE ALL CLEANOUTS WITH ARCHITECTURAL PRIOR TO INSTALLATION.



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DRAWN BY	JB/MT
UPDATED ON	Oct. 6, 25
DATE	DEM - 2023
JAB PROJECT #	23-037
SHEET #	

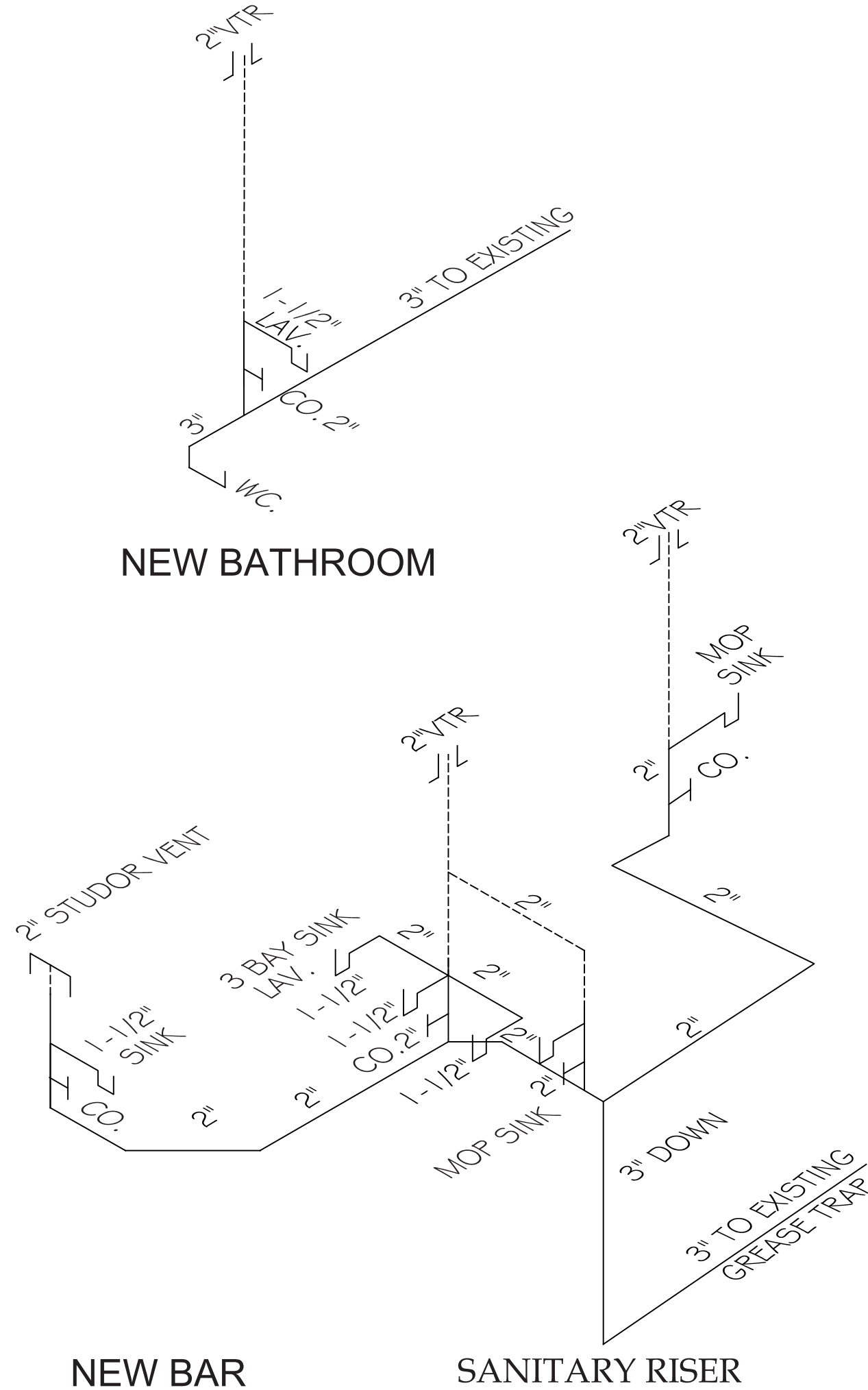
P-2.0

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005005
EMAIL: JACK@JABODZIAK.COM
5665 CENTRAL AVE. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

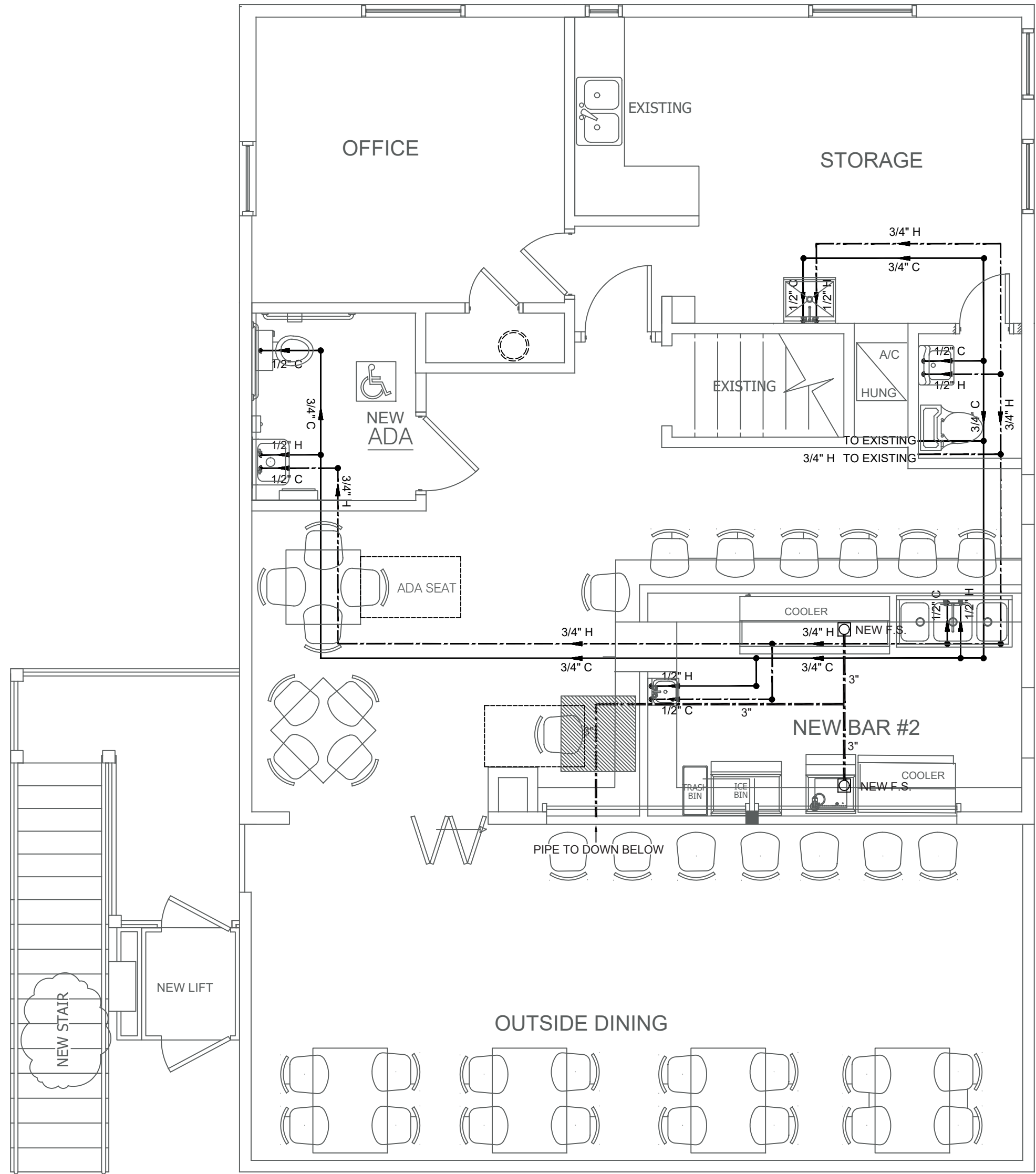


PROJECT INTERIOR REMODEL
DOCKSIDE DAVES
14701 & 14703 GULF BLVD.
MADEIRA BEACH, FL
IMAGING PLAN BUILDING "B"

[illegible][illegible]



- PLUMBING SPECIFICATIONS
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BUILDING "A"

SECOND FLOOR PLUMBING PLAN

SCALE: 1/4"=1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

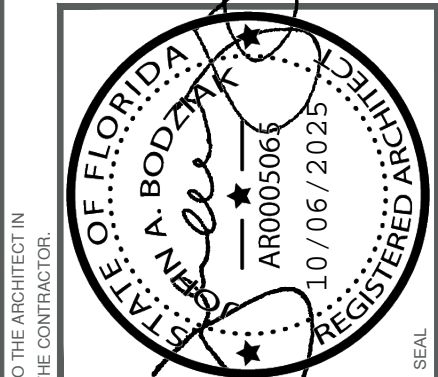
PROFESSIONAL STATEMENT TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE AND THE FLORIDA FIRE CODE. THE ARCHITECT'S KNOWLEDGE IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE CONTRACTOR. THE ARCHITECT DOES NOT WARRANT THAT THE PLANS AND SPECIFICATIONS WILL BE FREE FROM ALL ERRORS OR OMISSIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THE PLANS AND SPECIFICATIONS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE PLANS AND SPECIFICATIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THE PLANS AND SPECIFICATIONS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE PLANS AND SPECIFICATIONS.

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

PROJECT: INTERIOR REMODEL
DOCKSIDE DAVES
14701 & 14703 GULF BLVD.
MADEIRA BEACH, FL

SECOND FLOOR PLUMBING PLAN BLDG. "A"



JOHN A. BODZIAK
ARCHITECT AIA, PA
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5665 CENTRAL AVE. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0988

DRAWN BY	JB/MT
UPDATED ON	Oct. 6, 25
DATE	DEM - 2023
JAB PROJECT #	23-037
SHEET #	P-3.0

REMODEL/REPAIR COST ESTIMATE/BREAKDOWN PACKET
THIS MUST BE COMPLETED



CITY OF MADEIRA BEACH
PLANNING & ZONING DEPARTMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 244 ♦ FAX (727) 399-1131
planning@madeirabeachfl.gov



SUBSTANTIAL IMPROVEMENT/DAMAGE PACKET

Parcel ID#: 09-31-15-87048-000-0070

Property Address: 14701 Gulf blvd., Madeira Beach, FL 33708

Permit number(s): 2024-2123-RINT

Contractor or Owner Builder's Name: Robert Cornetta - Rob C Services, LLC

Contractor or Owner Builder's Phone Number: 727-598-1763

Existing and Proposed Lowest Floor Elevation if changing (excluding garage): _____

Contractor Type: ☒ Licensed Contractor (Page 9 can be left blank) ☐ Owner Builder (Page 8 can be left blank)

☒ I provided an ACV appraisal of my property in accordance with FEMA P-758 (Value: \$ 630,000.00)

-OR-

☐ I accept Pinellas County's Approximate Market Value (Value: \$ _____)

☐ I have provided a complete line-item cost breakdown on company letterhead to support this document as a fair cost of repair or improvement for my structure (pages 4-6 can be left blank; not applicable for owner/builder projects)

-OR-

☒ This form will serve as the line-item cost breakdown for the complete estimated cost of construction as a fair cost of repair or improvement for my structure

Signature of Contractor or Owner-Builder

9/4/2025

Date

FLOODPLAIN BUILDING SHELL COST BREAKDOWN WORKSHEET

Item	N/A	Area/Quantity	New Contractor	Prev. Contractor	Labor	Total
Site Preparation						
Exterior Demolition & Debris Removal						
Footings						
Floor Slabs						
Termite Treatment						
Exterior Frame Walls						
Exterior Masonry & Concrete Walls						
Floor Framing						
Floor Sheathing						
Roof & Ceiling Framing						
Roof Sheathing						
Roof Covering						
Gutters & Downspouts						
Fascia & Soffits						
Exterior Stairs/Handrails/Landings						
Exterior Decks & Balconies						
Exterior Guardrails						
Exterior Wall Covering (Stucco)						
Exterior Wall Covering (Vinyl Siding)						
Exterior Wall Covering (Aluminum Siding)						
Exterior Wall Covering (Hardie Material)						
Exterior Wall Covering (Wood Products)						
Exterior Wall Covering (Paint)						
Exterior Wall Covering (Other)						
Windows						
Exterior Doors						
Glass Block						
Garage Doors & Openers						
Skylights & Solar Tubes						
Glazing Protection						
Plumbing Piping						
Potable (Drinking) Water Plumbing						
Potable (Drinking) Water Filtration/ Conditioning/Recirculation System						
A/C Compressor/Condenser Unit & Wiring						
A/C Air Handler Unit & Wiring						
Solar Panels & Equipment						
Installed Generator						
Exterior Beams & Columns						
Decorative Moldings						
Ceiling Insulation						
Wall Insulation						
Floor Insulation						
Flood Vents						
Fire Suppression System						
Fire Escape						

Total Building Shell Cost: \$ _____

FLOODPLAIN ENCLOSURE COST BREAKDOWN WORKSHEET

Item	N/A	Area/Quantity	New Contractor	Prev. Contractor	Labor	Total
Interior Demolition & Debris Removal						
Wall Framing / Joists, Trusses, Beams						
Drywall – Walls						
Drywall – Ceiling						
Wall Finish/Painting/Covering						
Ceiling Finish/Painting/Covering						
Baseboard/Crown Molding/Trim Boards						
Floor Covering						
Electrical Service Panel						
Electrical Sub Panel						
Electrical Receptacles (120 VAC)						
Electrical Receptacles (240 VAC)						
Electrical Light Fixtures & Switches						
Ceiling Fans & Exhaust Fans						
Electrical Wiring						
Central Vacuum System						
Security System & Intercom System						
A/C Ducting						
Sinks						
Toilets						
Bathtubs & Jacuzzis						
Showers						
Water Heater						
Washing Machine & Dryer Hookup						
Sump Pumps						
Built-in Appliances						
Built-in Furniture						
Closet Shelving / Built in Cabinets						
Cabinets & Vanities						
Counter Tops						
Interior Doors						
Fireplace/Hearth/Mantel						
Chimney / Chimney Cap						
Elevator & Equipment						
Interior Stairs/Handrails/Landings						
Interior Guardrails						

Total Enclosure Cost: \$ _____

TOTALS	
BUILDING SHELL TOTAL	\$ 63,300.00
ENCLOSURE TOTAL	\$ 111,003.70
OTHER COSTS TOTAL	\$ 78,920.49
SUBTOTAL	\$ 253,224.19
CONTRACTOR OVERHEAD & PROFIT (owner/builder minimum 15% overhead required)	\$ 37,987.50
GRAND TOTAL	\$ 291,211.69

Total cost of all other related Permits:

\$ _____

If the total on the contract does not match the subtotal or grand total above, please explain below (i.e. "contract is x dollars more because of debris haul away costs" or "contract is x dollars less because of items purchased by homeowner not being included in contract")

This disclosure is to comply with substantial improvement as defined in Madeira Beach Code of Ordinances Chapter 94 - FLOODPLAIN MANAGEMENT

I fully understand that phasing improvements to the building is not permitted. I hereby attest that the description in the permit application for the work on the existing building that is located at the property identified above is all the work that will be done, including all improvements, rehabilitation, remodeling, repairs, additions, and any other form of improvement. I fully understand all additional defects, reconstruction costs, damage, and/or unforeseen repairs (i.e., termite damage, deteriorated wood, or storm damage) may trigger the requirement for total compliance with flood regulations of this structure. Owner and contractor agree that the total scope and cost of this project shall not be increased in any manner without the express written consent of the Madeira Beach Building Department and Community Development Department. Further acknowledgment is made that any increase may require the entire structure to comply with current FEMA and applicable building code regulations. If the structure has sustained substantial damage, any repairs are considered substantial improvement regardless of the actual repair work performed. Violating the FEMA improvement threshold may result in removal of improvement work, revocation of the Certificate of Occupancy for the building, and/or an order to remove the structure.


Owner Signature

10-30-25

Date

BRANDON NARZADKO

Owner Name

Co-Owner Signature

Date

Co-Owner Name

LICENSED CONTRACTOR
IMPROVEMENT/RECONSTRUCTION AFFIDAVIT

Parcel ID#: 09-31-15-87048-000-0070
Owner's Name: Brandon Nazzario
Project Address: 14701 Gulf Blvd. Madeira Beach, FL 33708
Contractor's Name: Robert Cornetta License #: CGC1529429
Contractor Company name: Rob C. Services, LLC
Contractor Company address: 3084 Hillsdale Ave, Largo FL 33774

I hereby attest to the fact that I, or a member of my staff, personally inspected the above-mentioned property and produced the attached itemized list of repairs/reconstructions and/or remodeling which is hereby submitted for the **SUBSTANTIAL IMPROVEMENT/DAMAGE REVIEW**. These listed damages/improvements are **ALL of the improvements/damages** sustained by this structure and all additions, improvements, or repairs proposed on the subject building are included in this estimate.

I understand that I am subject to enforcement action and/or fines if inspection of the property reveals that I have made repairs **NOT included on the attached list of improvements/repairs**, or improvements or illegal structures/additions to the existing structure without having present plans for such additions. I understand that any permit issued by the City of Madeira Beach pursuant to this affidavit does not authorize the reconstruction, repair or maintenance of any illegal additions, fences, sheds or non-conforming uses or structures on the subject property.

R. Cornetta TOTAL COST \$ 291,211.69

Contractor Signature

STATE OF Florida

COUNTY OF Pineellas

Before me this day personally appeared Robert Cornetta who, being duly sworn disposes and says that s/he has read, understands, and agrees to comply with all the aforementioned conditions.

Sworn and subscribed before me this 30 day of October, 2025. Personally known or produced as identification.

(Notary Public Stamp)



Cynthia D. Armsden
Notary Public
Commission #: _____
Date Commission Expires: _____



APPRAISAL DEVELOPMENT INTERNATIONAL, INC

PO Box 1212, Tampa FL 33601
Tel: Pinellas (727) 726-8811 Hillsborough (813) 258-5827
Toll Free 1-888-683-7538 Fax: (813) 258-5902

www.appraisaldevelopment.com

**APPRAISAL REPORT
Of
ACTUAL CASH VALUE
BUILDING ONLY
14701 GULF BLVD
MADEIRA BEACH, FL 33708
PINELLAS COUNTY**



FOR:

CITY OF MADEIRA BEACH

Madeira Beach, FL

EFFECTIVE DATE
RETROSPECTIVELY

October 1st, 2024

Our File # 25078



APPRAISAL DEVELOPMENT INTERNATIONAL, INC

PO Box 1212, Tampa FL 33601
Tel: Pinellas (727) 726-8811 Hillsborough (813) 258-5827
Toll Free 1-888-683-7538 Fax: (813) 258-5902

www.appraisaldevelopment.com

August 21st, 2025

Mr. Brandon Nazzario
Dockside Daves Real Estate LLC
14701 Gulf Blvd
Madeira Beach, FL 33708

RE: ACTUAL CASH VALUE – BUILDING ONLY- 14701 GULF BLVD, MADEIRA BEACH, FL 33708

OUR FILE # 25078

Dear Mr. Nazzario,

Thank you for the opportunity to provide appraisal services for the above-referenced property. It is my understanding that I am appraising the subject real estate in a **Appraisal Report (Concise Summary format)** for establishing the Actual Cash Value (ACV) of the “As Is” of the Building Only as a threshold for FEMA non substantial improvements for renovation purposes retrospectively as of October 1st, 2024.

A statement of Scope, Limiting Conditions and Certification can be found in the addenda.

This appraisal was made in accordance with Standard 2-2(a) of the Uniform Standards of Professional Practice (USPAP) 2024-2025 edition adopted by the Appraisal Standards Board of the Appraisal Foundation, the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute, and all applicable state appraisal regulations. It is further defined as a Concise Appraisal Report for 50% FEMA Substantial Improvement Rule as presented by Appraisal Development International, Inc.

Sincerely,

A handwritten signature in blue ink, appearing to read "Paul T. Willies", with a stylized flourish extending to the right.

Paul T. Willies,
State-Certified General Real Estate Appraiser # RZ2762

Client/Intended users: City of Madeira Beach Building Department
300 Municipal Dr
Madeira Beach, FL 33708

Dockside Daves Real Estate LLC
1701 Gulf Blvd
Madeira Beach, FL 33708

Intended use: For the sole use by the client in establishing the Actual Cash Value (ACV) of the "As Is" Building Only as a threshold for FEMA non substantial improvements for renovation purposes as of October 1st, 2024. This report is not intended for any other use. The appraiser is not responsible for unauthorized use of this report.

Competency of the Appraiser: The Appraisers' specific qualifications are included within this report. These qualifications serve as evidence of competence for the completion of this appraisal assignment in compliance with the competency provision in USPAP. The appraisers' knowledge and experience, combined with his professional qualifications, are commensurate with the complexity of the assignment. The appraiser has previously provided consultation and value estimates for similar properties in Brevard, Miami-Dade, Collier, Monroe, Manatee, Sarasota, Hillsborough, Pinellas, and Pasco Counties.

Disclosure of previous interest (if any) in the prior three years:

I previously appraised the subject September 5th, 2023. I have had no other interest in the property in the prior three years or been involved in any aspect of marketing, consultancy, or any position of ownership or management regarding the subject of this appraisal.

Type of Appraisal: This report is an Appraisal Report in accordance with Standard Rule 2-2 (a) of the Uniform Standards of Professional Appraisal Practice 2024-2025 edition and further defined as a Concise Appraisal Report for 50% FEMA Substantial Improvement Rule as presented by Appraisal Development International, Inc.

Objective of the Assignment: To develop an opinion of the Actual Cash Value (ACV) of the "As Is" of the Building Only as a threshold for FEMA non substantial improvements as of October 1st, 2024, as set forth in this appraisal report.

Improvements:

The following is a brief description of the property, please also see the county records and photographs in the addenda for more detail.



The property is improved with a two-story concrete block building built in 1947 on a raised concrete slab foundation with a composite shingle roof. The first floor has 1,000 sq. ft. of dining/bar space, 504 sq. ft. of kitchen space (total heated space is 1,504 sq. ft.), 270 sq. ft. of covered patio space. The second floor has 1,056 sq. ft. apartment. The subject building has two patron bathrooms, central heat and air, and commercial grade finishes and equipment on the first floor.

The building, as of the effective date, was considered in above average condition and the kitchen had new hood and stove with an effective age of 20 years of a 55-year economic life.

Neighborhood:

Located in an incorporated commercial district of the City of Madeira Beach near the intersection of Gulf Blvd and the Tom Stuart Causeway.

Utilities:

Electric, cable, telephone readily available. Water/sewer/garbage and emergency services by City of Maderia Beach, Pinellas County.

Zoning/Land Use:

C-3 – Retail Commercial District – City of Madeira Beach.

Census Tract:

Tract 278.01 Block 2008

Flood Zone:

Zone AE (EL 10 Feet), City of Madeira Beach, FIRM Map Number 12103C0191H Effective Date August 24, 2021.

Legal Description:

See full legal in the addenda.

Easements and restrictions:

Beyond standard utility easements, there are no known recorded easements or restrictions.

Tax Assessment:

	2025	%	2024	%	2023	%	2022	%	2021
Market Value:	\$900,000	-6.74%	\$965,000	56.91%	\$615,000	12.84%	\$545,000	9.00%	\$500,000
Assessed Value:	\$655,787	-0.56%	\$659,450	10.00%	\$599,500	10.00%	\$545,000	9.00%	\$500,000
Millage Rate:	15.6550	-1.00%	15.8131	-2.03%	16.1412	-0.71%	16.2571	-5.02%	17.1166
Ad Valorem:	\$11,954.34	-2.07%	\$12,206.87	24.96%	\$9,768.70	10.25%	\$8,860.14	3.53%	\$8,558.30
Non Ad Valorem:	\$0.00	0.00%	\$0.00	0.00%	\$0.00	0.00%	\$0.00	0.00%	\$0.00
Total:	\$11,954.34	-2.07%	\$12,206.87	24.96%	\$9,768.70	10.25%	\$8,860.14	3.53%	\$8,558.30
Paid/Due:	NA		Paid		Paid		Paid		Paid

Sales History:

The property was purchased by Dockside Daves Real Estate LLC from Gerald Amyot for \$1,300,000 in an unqualified sale as recorded November 30th, 2023 in Pinellas County Public Records Book 22642 Page 1639

Extraordinary assumption:

We are not building inspectors and assume that all mechanical and structural elements of the property are in average condition, unless otherwise noted.

Hypothetical condition:

None.

Real property interest valued:

Actual Cash Value (ACV)

Highest and Best Use:

Tourist/Business

Estimated Exposure Time

And Marketing Period:

6-9 months.

Opinion of Value

Based on Actual Cash Value (ACV), it is my opinion that the "As Is" value of the building as of October 1st, 2024, was:

Final depreciated value of the structure:

**SIX HUNDRED & THIRTY THOUSAND, ONE HUNDRED & SEVENTY-TWO DOLLARS
(\$630,172)**

Which would allow for a renovation budget of up to:

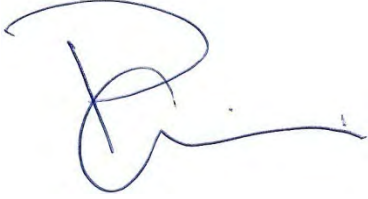
**THREE HUNDRED & FIFTEEN THOUSAND, & EIGHTY-SIX DOLLARS
(\$315,086)**

This Appraisal Report is to be used as basis for the 50% FEMA Rule regarding renovation of the subject property. It cannot be used for any other purpose. This report will not be fully understood by users other than the client and the local building department.

I am a Florida State-Certified General Real Estate Appraiser RZ 2762; I have complied with all the rules and regulations of the Florida Real Estate Appraisal Board, USPAP and Codes and Ethics of the Appraisal Institute.

Thank you for the opportunity of providing this service to you; please do not hesitate to call with any questions or comments.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'P. Willies', with a stylized flourish extending to the right.

Paul T. Willies,
State-Certified General Real Estate Appraiser #RZ2762

Addenda

- Scope of Work
- Limiting Conditions
- Certification
- Definitions
- Subject Photos
- County Records
- Zoning
- CoreLogic Worksheet
- Census Data
- Flood Map
- Comparison of Appraisal Formats
- Qualifications of Appraiser

Scope of the Appraisal

The scope of work applied to this specific appraisal assignment is summarized below.

In the preparation of this report, the appraisal problem was identified; that being the client, intended use, intended users, type and definition of value opinion, effective date of the opinion and conclusion, subject of the assignment and relevant characteristics about that subject, and the assignment conditions. A solution to the appraisal problem (scope of work) was planned, and then implemented so as to arrive at a credible result.

This report utilizes the Cost Approach (Actual Cash Value) to valuation.

I have been engaged by Dockside Daves Restaurant LLC to prepare a Restricted Appraisal Report for City of Madeira Beach to estimate the "Actual Cash Value" as a threshold for FEMA non substantial improvements of the subject building "As Is" as of October 1, 2025

- I reviewed my previous appraisal of September 5, 2023.
- We re-inspected the property August 18th, 2025
- We have reviewed county records in Pinellas County.
- We have taken extensive photographs (prior to the storm) to illustrate the overall condition of the property, a selection of which is presented in the addenda.
- We have researched sales and listings of similar commercial property to develop the Sales Approach to valuation.
- We have researched 5-year tax history, legal description, zoning, census information, and flood boundaries.
- Neither the Sales Approach nor Income Approach to value would be appropriate to ascertain the ACV value of the buildings only and are not developed for this style of report.

The final estimate and reconciliation of the approaches used, has been produced for my client to estimate the "Actual Cash Value" of the subject building "As Is" retrospectively as of October 1, 2024, for renovation purposes.

General Assumptions and Limiting Conditions

This report has been prepared under the following general assumptions and limiting conditions:

1. Information furnished by others is assumed to be true, factually correct and reliable. No effort has been made to verify such information and I assume no responsibility for its accuracy. Should there be any material error in the information provided to me, the results of this report are subject to review and revision.
2. All mortgages, liens and encumbrances have been disregarded unless specified within this report. The subject property is analyzed as though under responsible ownership and competent management. It is assumed in this analysis that there were no hidden or unapparent conditions of the property, subsoil or structures, including hazardous waste conditions, which would render it more or less valuable. No responsibility is assumed for such conditions or for engineering that may be required to discover them. No responsibility is assumed for legal matters existing or pending, nor is opinion rendered as to title, which is assumed to be good.
3. I have assumed that no hazardous waste exists on or in the subject property unless otherwise stated in this report. I did not observe the existence of hazardous material, which may or may not be present on the property. I have no knowledge of the existence of such materials on or in the subject property. I however, am not qualified to detect such substance or detrimental environmental conditions. The value estimate rendered in this report is predicated upon the assumption that there is no such material on or affecting the property that would cause a diminution in value. I assume no responsibility or environmental engineering knowledge required to discover it. You are urged to retain an expert in the field if so desired.
4. It is assumed that there is full compliance with all applicable federal, state and local environmental regulation and laws unless non-compliance is noted.
5. The Americans with Disabilities Act (ADA) became effective January 26, 1992. I have not made a specific compliance survey and or analysis of this property to determine whether or not it is in conformity with the various detailed requirements of the ADA. It is possible that a compliance survey of the property together with a detailed analysis of the requirements of the ADA could reveal that the property is not in compliance with one or more elements of the ADA. If so, this fact could have a negative effect upon the value of the property. Since I have no direct evidence relating to this issue, I did not consider possible noncompliance with the requirements of the ADA in estimating the value of the subject property.
6. It is assumed that all applicable zoning and use regulations and restrictions have been complied with, unless nonconformity has been stated, defined and considered in the analysis.
7. It is assumed that all required licenses, consents or other legislative or administrative authority from any local, state or national governmental or private entity or organization have been or can be obtained or renewed for any use on which the value estimated contained in this report is based.

8. Possession of this report, or a copy thereof, does not carry with it the right of publication. Neither all nor any part of the contents of this report (especially on conclusions as to value, my identity or the identity of the firm with which I am connected) shall be disseminated to the public through advertising, public relations, news, sales or other media without my prior written consent and approval. This appraisal report is intended for use in its entirety. Individual pages or sections or the report should not be used separately from the rest of the report.
9. Unless prior arrangements have been made, I, by reason of this report, are not required to give further consultation or testimony, or to be in attendance in court with reference to the property that is the subject of this report without prior financial arrangements.
10. This report constitutes a Complete Appraisal for FEMA 50% RULE and is limited to the Cost Approach of the improvements only and presented in a Concise Appraisal Report format.
11. We have made no legal survey nor have we commissioned one to be prepared. Therefore, reference to a sketch, plat, diagram or previous survey appearing in the report is only for the purpose of assisting the reader to visualize the property.
12. The authentic copies of this report are signed in ink and are printed on white paper. Electronic signatures may also be utilized in this report. The Uniform Standards Board state that electronically affixing a signature to a report carries the same level of authenticity and responsibility as an ink signature on a paper report (the term "Written Records" includes information stored on electronic, magnetic or other media). Any copy that does not have the above is unauthorized and may have been altered.
13. No responsibility is assumed for the legal description provided or for matters pertaining to legal or title considerations. Title to the property is assumed to be good and marketable unless otherwise noted.
14. The property is appraised as if free and clear of any or all liens or encumbrances unless otherwise stated.
15. Responsible ownership and competent property management are assumed.
16. It is assumed that the use of the land and improvements are confined within the boundaries or property lines of the property described and that there is no encroachment or trespass unless noted in the report.
17. The global outbreak of a "novel coronavirus" known as COVID-19 was officially declared a pandemic by the World Health Organization (WHO). The reader is cautioned and reminded that the conclusions presented in this appraisal report apply only as of the effective date(s) indicated. The appraiser makes no representation as to the effect on the subject property of any unforeseen event, subsequent to the effective date.
18. By the receipt and implied acceptance of this report, the addressee recognizes the obligation for timely remittance of associated professional fees in full. Furthermore, any claims against me, for whatever reason, are limited to the amount of said fees. My responsibility is limited to our client Dockside Daves Real Estate LLC and does not extend to any third party.

Certification

I certify, to the best of my knowledge and belief that:

- the statements of fact contained in this report are true and correct.
- the reported analysis, opinions and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial unbiased professional analyses, opinions and conclusions.
- I have no present or prospective interest in the property that is the subject of this report and I have no personal interest or bias with respect to the parties involved.
- I previously appraised the subject September 5th, 2023. I have performed no other service, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
- I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- my engagement in this assignment was not contingent upon developing or reporting predetermined results.
- my compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- my analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute and the *Uniform Standards of Professional Appraisal Practice*.
- Blair Johnson, Registered Trainee RI25336, assisted in the inspection of the property, no others provided significant appraisal, appraisal review, or appraising consulting assistance to the person.



Paul T. Willies
Florida State-Certified General Real Estate Appraiser #RZ2762

Dated: August 21st, 2025

Definitions

ACTUAL CASH VALUE (ACV)

The cost to replace a building on the same parcel with a new building of like-kind and quality, minus depreciation due to age, use, and neglect. ⁽¹⁾

REPLACEMENT COST

Replacement cost is the estimated cost to construct, as of the effective appraisal date, a building with utility equivalent to the building being appraised, using contemporary materials, standards, design, and layout. When this cost basis is used some existing obsolescence in the property is assumed to be cured.

REPRODUCTION COST

Reproduction cost is the estimated cost to construct, as of the effective appraisal date, an exact duplicate or replica of the building being appraised, insofar as possible using the same materials, construction standards, design, layout, and quality of workmanship and embodying all the deficiencies, super adequacies, and obsolescence of the subject building.

EXTRAORDINARY ASSUMPTION

An assignment-specific assumption as of the effective date regarding uncertain information used in an analysis which, if found to be false, could alter the appraiser's opinions or conclusions. ⁽¹⁾

Uncertain information might include physical, legal, or economic characteristics of the subject property; or conditions external to the property, such as market conditions or trends; or the integrity of data used in an analysis.

HYPOTHETICAL CONDITION

A condition, directly related to a specific assignment, which is contrary to what is known by the appraiser to exist on the effective date of the assignment results but is used for the purpose of analysis. ⁽²⁾

Hypothetical conditions are contrary to known facts about physical, legal, or economic characteristics of the subject property; or about conditions external to the property, such as market conditions or trends; or about the integrity of data used in an analysis.

(1) FEMA, Substantial Improvement/Substantial Damage Desk Reference, 4.5.3.

(2-3) USPAP 2024-2025 Definition

Photographs



Looking NW from the SE corner of the building



Looking SE from the NW corner of the building



Covered Patio



Covered Patio *alternate view



Patio Ceiling /Fixtures



Storage/Garbage paddock



Patio Covered *bar in background



Patio Covered *alternate view



Cross-view of Dining Area



Cross-view of Bar



Kitchen cooking line/Hoods



Dry Storage



Men's Restroom



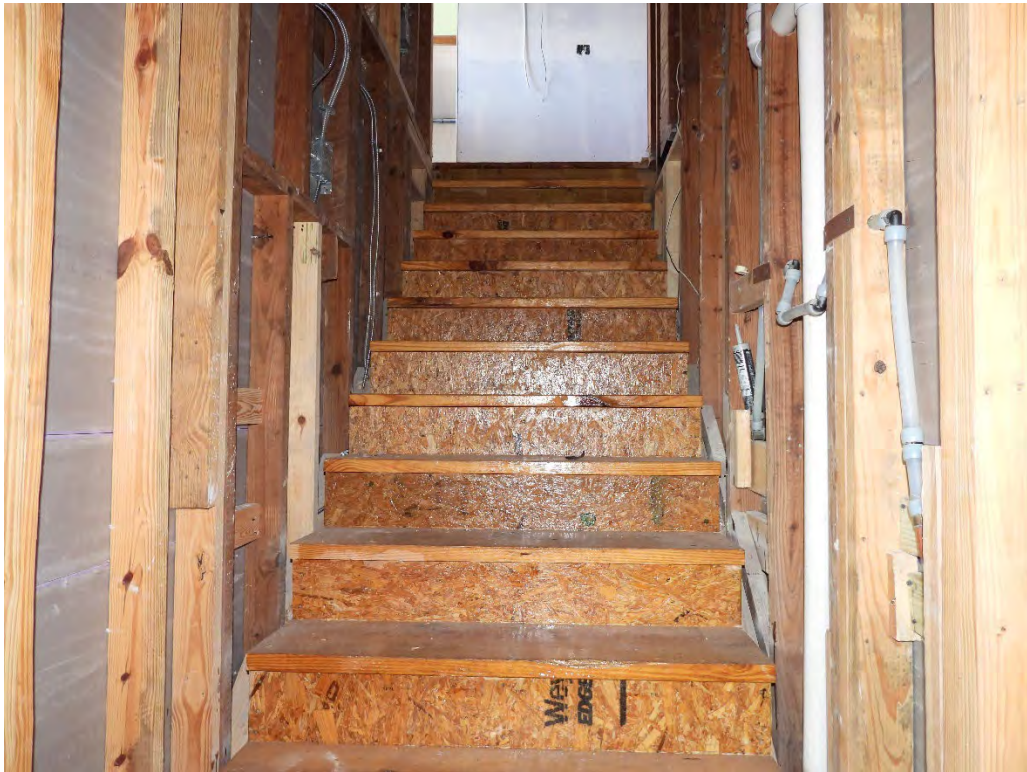
Women's Restroom



Handicap Restroom



Electrical Panel



Stairwell to 2nd Floor



Upstairs' Bar



Common Area



Common Area



Dry Storage



Balcony/Deck



Balcony/Deck *bar in background



Restroom



Restroom



Air Handler



Exhaust Fan



Close-Up Roof (installed 2020)

Before Photographs



Front



Business marquee



Rear



Rear



Cross-view of bar area



Bar *exterior



Bar *exterior



Cross-view kitchen cooking line



Cross-view kitchen serving/prep line



Fire-retardant station



Air Curtain



Dishwashing station



Men's Restroom



Women's Restroom



Typical Thermostat



Cross-view covered patio



Cross-view open patio *pic 1 of 2



Cross-view open patio *pic 2 of 2

County Records




Pinellas County Property Appraiser - www.pcpao.gov

Generated on 08/15/2025 14:25 PM

Parcel Summary (as of 15-Aug-2025)					Parcel Map		
Parcel Number 09-31-15-87048-000-0070							
Owner Name DOCKSIDE DAVES REAL ESTATE LLC							
Property Use 2125 Restaurant, Cafeteria							
Site Address 14701 GULF BLVD MADEIRA BEACH, FL 33708							
Mailing Address 14701 GULF BLVD MADEIRA BEACH, FL 33708-2151							
Legal Description SUNNY SHORES LOTS 7 THRU 9 LESS THAT PART OF LOT 8 DESC BEG S'LY MOST COR OF SD LOT 8 TH N43D40'57"E 45FT TH S63D15'12"W 47.765FT TH S46D20'18"E 16FT							
Current Tax District MADEIRA BEACH (MB)							
Year Built 1947							
Heated SF	Gross SF	Living Units	Buildings				
2,560	2,830	0	1				
Exemptions							
Year	Homestead	Use %	Status		Property Exemptions & Classifications		
2026	No	0%			No Property Exemptions or Classifications found. Please note that Ownership Exemptions (Homestead, Senior, Widow/Widower, Veterans, First Responder, etc... will not display here).		
2025	No	0%					
2024	No	0%					
Miscellaneous Parcel Info							
Last Recorded Deed	Sales Comparison	Census Tract	Evacuation Zone	Flood Zone	Elevation Certificate	Zoning	Plat Blk/Pg
22642/1639	Find Comps	278.01	A	Current FEMA Maps	Check for EC	Zoning Map	24/15
2025 Preliminary Values							
Year	Just/Market Value	Assessed Value/SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value		
2025	\$900,000	\$655,787	\$655,787	\$900,000	\$655,787		
Value History (yellow indicates corrected value)							
Year	Homestead Exemption	Just/Market Value	Assessed Value/SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value	
2024	N	\$965,000	\$659,450	\$659,450	\$965,000	\$659,450	
2023	N	\$615,000	\$599,500	\$599,500	\$615,000	\$599,500	
2022	N	\$545,000	\$545,000	\$545,000	\$545,000	\$545,000	
2021	N	\$500,000	\$500,000	\$500,000	\$500,000	\$500,000	

2020	N	\$528,000	\$528,000	\$528,000	\$528,000	\$528,000
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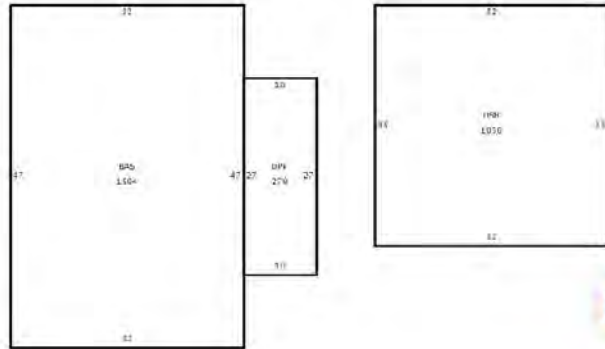
2024 Tax Information		
 <p>Do not rely on current taxes as an estimate following a change in ownership. A significant change in taxable value may occur after a transfer due to a loss of exemptions, reset of the Save Our Homes or 10% Cap, and/or market conditions. Please use our Tax Estimator to estimate taxes under new ownership.</p>	Tax Bill	2024 Millage Rate
	View 2024 Tax Bill	15.8131
		Tax District
		(MB)

Sales History						
Sale Date	Price	Qualified / Unqualified	Vacant / Improved	Grantor	Grantee	Book / Page
30-Nov-2023	\$1,300,000	<u>U</u>	I	AMYOT GERALD E	DOCKSIDE DAVES REAL ESTATE LLC	22642/1639
31-Jul-1983	\$210,000	<u>M</u>				05567/0418
31-Dec-1980	\$145,000	<u>U</u>				05086/1742
31-Dec-1974	\$65,000	<u>U</u>				04126/0825

2025 Land Information		
Land Area: \cong 7,440 sf \cong 0.17 acres	Frontage and/or View: None	Seawall: No

Property Use	Land Dimensions	Unit Value	Units	Method	Total Adjustments	Adjusted Value
Restaurants/Cafe	60x130	\$75	7,440	SF	1.0000	\$558,000

2025 Building 1 Structural Elements and Sub Area Information			
Structural Elements		Sub Area	Heated Area SF
Foundation	Spread/Mono Footing	Base (BAS)	1,504
Floor System	Slab On Grade	Upper Story (USB)	1,056
Exterior Walls	Concrete Blk/Stucco	Open Porch (OPF)	0
Unit Stories	2	Total Area SF	2,560
Roof Frame	Gable Or Hip		
Living Units	0		
Roof Cover	Composition Shingle		
Year Built	1947		
Building Type	Restaurant / Lounge/Drive-In Rest.		
Quality	Average		
Floor Finish	Carpet Combination		
Interior Finish	Dry Wall		
Cooling	Heat & Cooling Pkg		
Fixtures	8		
Effective Age	36		



2025 Extra Features					
Description	Value/Unit	Units	Total Value as New	Depreciated Value	Year
ASPHALT	\$4.00	4,600.0	\$18,400	\$18,400	0
PATIO/DECK	\$29.00	576.0	\$16,704	\$9,020	2007

Permit Data			
Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non-permitted improvements, should be directed to the permitting jurisdiction in which the structure is located.			
Permit Number	Description	Issue Date	Estimated Value
2024-2123-RINT	ADDITION/REMODEL/RENOVATION	10/01/2024	\$257,763
M9ECH20210307	HEAT/AIR	04/07/2021	\$6,675
R5079	ROOF	10/15/2020	\$2,300
M1770	HEAT/AIR	07/21/2017	\$9,000
PER-H-CB07-08813	ADDITION/REMODEL/RENOVATION	06/20/2007	\$8,500
PER-H-CB286289	MISCELLANEOUS	11/24/2003	\$12,000
PER-H-CB267064	ROOF	01/08/2003	\$4,120
PER-H-CB242187	ROOF	09/17/2001	\$2,400

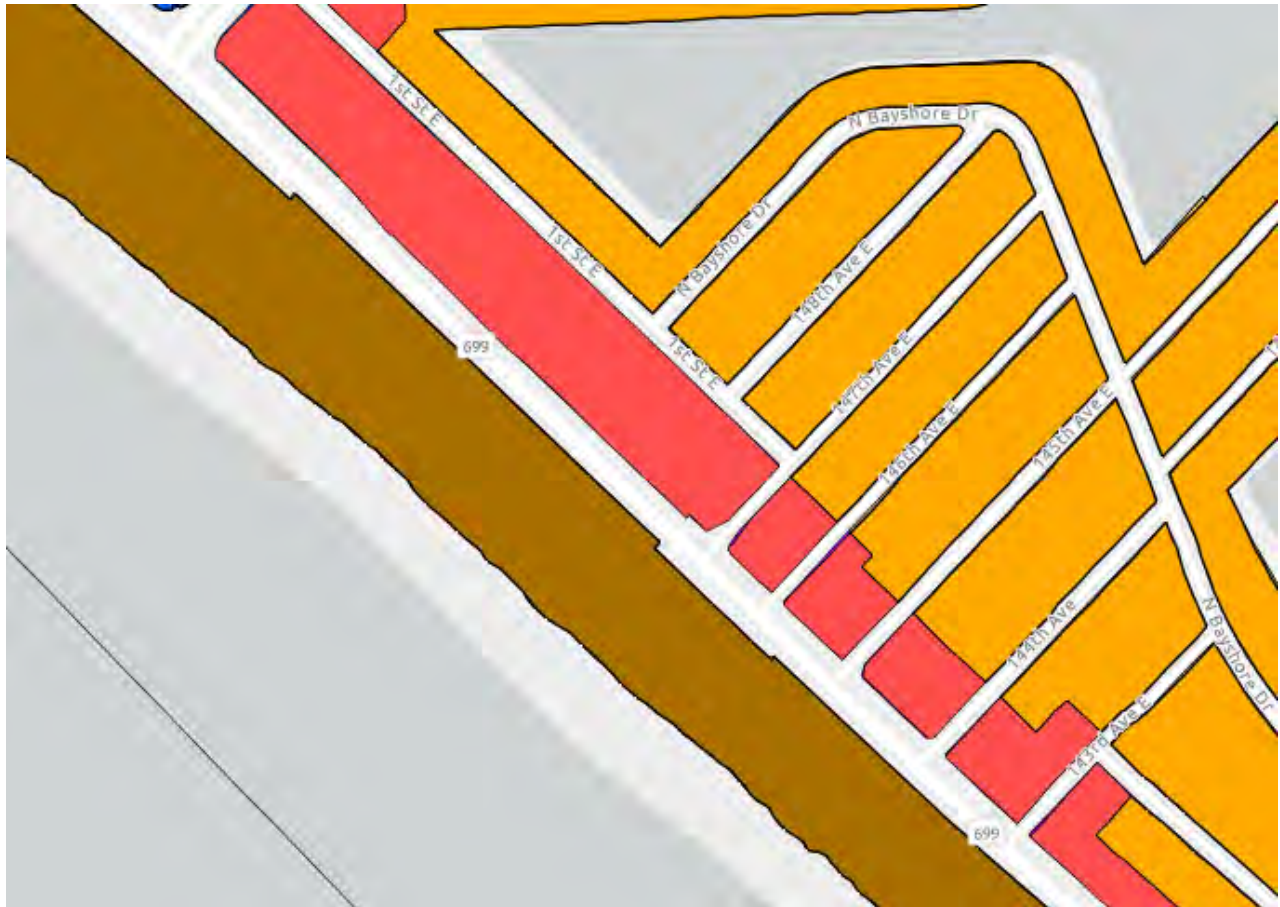


Legal Description

Parcel #09-31-15-87048-000-0070

Lots 7 and 9 and Lot 8 less Road right-of-way as described
in O.R. Book 4775, Page 129, SUNNY SHORES,
according to plat thereof as recorded in Plat Book 24,
Page 15, of the Public Records of Pinellas County, Florida.

Zoning



C-3 – Retail Commercial District

The C-3, retail commercial district provides service to both permanent and transient residents where a full range of urban services and a high degree of accessibility is required. The C-3, retail commercial district correlates with the commercial general (CG) category and the residential office retail (R/O/R) category of the City of Madeira Beach Comprehensive Plan.

50% FEMA Substantial Improvement Rule

Appraisal Methodology:

Based on the FEMA “Substantial Improvement and Substantial Damage Desk Reference” FEMA P-758, there are four different ways to determine the depreciated value of a property for the 50% FEMA Rule appraisal:

1. Market Value Appraisal
2. Adjusted Assessed Value
3. Qualified Estimates
4. Actual Cash Value (ACV)

1 The Professional Property Appraisal refers to the “every-day” market valuation based on sales comparables, while deducting the land and every site improvement, such as pools, detached structures, etc. There are disadvantages when using market valuation:

- In built-out coastal areas, it might be difficult to find appropriate land sales to establish land value for the subject property to deduct the land from the market value.
- Market value can range significantly depending on the economy. For example, during the recession, a property could have a much lower market value, allowing for much less construction based on the 50% FEMA rule when compared to the upper end of the economic cycle, when property values are soaring. Construction costs do not increase or decrease proportionally to the market value of real estate, and it is our opinion that market value is the wrong method of valuation for the 50% FEMA Rule appraisal.

2. The Adjusted Assessed Value is based on the property appraiser or assessor’s value and has the same limitations as the market value with the added disadvantage that it lags one year behind the market development. Furthermore, the assessed value is usually much lower than the market value because property appraisers have a 10-15% leeway in assessing property.

3. Qualified Estimates are developed by a “qualified official” of the building department, which are usually not being used to ensure impartiality between the property owner and the building department.

4. Actual Cash Value (ACV) is the fourth method for the 50% FEMA rule appraisal, and in our opinion, the only valid valuation, because this method:

- Estimates the cost of construction “as-built”
- Allows for proper application of depreciation
- Does not consider land value
- Does not include any site improvements
- Is easy to understand by construction professionals, building contractors and building officials alike

Especially for commercial, income producing properties, the ACV is the only correct valuation approach for FEMA purposes. The income approach completely falls out of the equation because it is not permissible based on FEMA regulations. The sales approach, even though derived by sales comparison, includes to some extent income considerations, and thus, is also not suitable for FEMA valuations.

To develop the actual cash value (depreciated value of the structure) the following steps are taken:

- Determination of replacement value new (RCV)
- Calculation of depreciation
 - o Useful life
 - o Historical age/effective age
- RCV minus depreciation to arrive at ACV

Substantial Improvement/ Substantial Damage Desk Reference

FEMA P-758 / May 2010



MAKING SUBSTANTIAL IMPROVEMENT AND SUBSTANTIAL DAMAGE DETERMINATIONS

4

4.5.3 Actual Cash Value

Actual cash value (ACV) is the cost to replace a building on the same parcel with a new building of like-kind and quality, minus depreciation due to age, use, and neglect. ACV does not consider loss in value simply due to outmoded design or location factors. The concept of ACV is used in both the insurance industry and the construction industry. In most situations, ACV is a reasonable approximation of market value.

A number of commercial sources of construction cost information are available to support estimating the replacement cost of a building, including industry-accepted guides available from companies such as RSMeans (<http://www.rsmeans.com>) and the Craftsman Book Company (<http://www.craftsman-book.com>), among others. These sources allow computation of construction costs based on occupancy, square footage, quality, and regional cost variations.

Depreciation accounts for the physical condition of a structure. Depreciation does not take into account functional obsolescence (e.g., outmoded design or construction that pre-dates current codes) or factors that are external to the structure (e.g., reputation of schools or distance to shopping and parks). Commercially available references provide tables and formulas to calculate physical depreciation. These tables and formulas are objective and are used by most professionals in the fields of property appraisal and building inspection. Local officials may consult with a qualified appraiser regarding depreciation, or additional guidance for applying depreciation rates over time is found in FEMA P-784 CD, *Substantial Damage Estimator* (Section 7.5).

11

Marshall & Swift Worksheet

CoreLogic - SwiftEstimator Commercial Estimator - Detailed Report

General Information

Estimate ID:	25078	Date Created:	10-03-2025
Property Owner:	Dockside Daves Real Estate LLC	Date Updated:	10-03-2025
Property Address:	14701 Gulf Blvd Maderia Beach, FL 33708	Date Calculated:	10-03-2025
Local Multiplier:	1.15	Cost Data As Of:	using report date
Architects Fee:		Report Date:	10-2024

Dockside Dave's

Area	2830	Overall Depreciation %
Stories in Section	2	Physical Depreciation %
Stories in Building	2	Functional Depreciation %
Shape	rectangular	External Depreciation %
Perimeter	(auto-calc)	
Effective Age	20	

Occupancy Details

Occupancy	%	Class	Height	Quality
350 Restaurant	63	C	9	3.5
352 Multiple Res (Low Rise)	37	C	9	2.0
Occupancy Total Percentage	100			

System : Mezzanines

	%/Units	Quality	Depr %	Other
762 Mezzanines : Mezzanines-Open	480	2.0		

	Units	Unit Cost	Total Cost New	Less Depreciation	Total Cost Depreciated
Basic Structure					
Base Cost	2,830	\$231.09	\$653,985	\$192,141	\$461,844
Exterior Walls	2,830	\$49.43	\$139,887	\$41,099	\$98,788
Heating & Cooling	2,830	\$26.24	\$74,259	\$21,817	\$52,442
Mezzanine	480	\$50.44	\$24,211	\$7,113	\$17,098
Basic Structure Cost	2,830	\$315.32	\$892,342	\$262,170	\$630,172

Less Depreciation

Physical & Functional	29.4%		\$262,170	\$630,172
Depreciated Cost	2,830	\$222.68	\$262,170	\$630,172

Cost data by CoreLogic, Inc.

Except for items and costs listed under "Addition Details," this SwiftEstimator report has been produced utilizing current cost data and is in compliance with the Marshall & Swift Licensed User Certificate. This report authenticates the user as a current Marshall & Swift user.



CoreLogic Definitions

350 Restaurant

These buildings are constructed for the preparation and service of food and beverages. They include a combination of the following areas: Consumption, production, serving, receiving and storage, sanitation, non-dining and employee, and restrooms. Good restaurants include the typical chain operation and suburban neighborhood restaurants catering to regional trade. Average quality includes neighborhood restaurants or coffee shops or a lower priced franchise operation. They include suitable office areas and all necessary plumbing and electrical connections for kitchen equipment.

Since restaurants have higher requirements for heating, cooling and ventilation, use component [617 \(Complete HVAC\)](#) for HVAC costs.

The following are not included in the costs: Kitchen equipment, restaurant fixtures, furnishings and signs.

For cafeterias, use occupancy [530 \(Cafeteria\)](#).

Availability of [Elevators by Area](#) for this occupancy: No

Marshall Valuation Service sections: 13 and 43.

Typical Lives:

	Class								
Quality	A	B	C	D	H	M	P	S	W
Low	35	35	30	30	--	--	30	30	--
Average	40	40	35	35	--	--	35	35	--
Good	40	40	35	35	--	--	35	35	--
Excellent	45	45	40	40	--	--	40	40	--

Quality Selection Guide:

Class C (Masonry Bearing Walls):

Quality	Exterior Walls	Interior Finish	Mechanicals	HVAC
Low	Cheap brick or block, very plain, low-cost front	Low-cost short order cafe, minimum finish, asphalt tile	Minimum lighting and outlets, minimum plumbing	Forced air and ventilation
Average	Brick, block, tilt-up, plain building, stock plans	Typical neighborhood restaurant, vinyl composition, small kitchen	Adequate lighting and outlets, small restrooms	Complete HVAC.
Good	Brick, concrete or metal and glass panels, ornamentation	Typical chain restaurant or coffee shop, vinyl and ceramic floors	Good lighting and service outlets, tiled restrooms	Complete HVAC.
Very Good	Individual design, brick, good metal and glass, ornamentation	Typically best chain restaurants, carpeted lounge and dining room	Good lighting/restrooms with good-quality fixtures and tile	Complete HVAC.
Excellent	Individual design, highly ornamental exterior	High-quality detail, best acoustics, carpeted, deluxe quality	Special lighting effects, tiled restrooms, good fixtures	Complete HVAC.

352 Residence (Low Rise)

These are three stories or less with each unit within the building having a kitchen and at least one bath. They are designed for other than transient occupancy (permanent or semi-permanent). The best qualities have combined heating and cooling systems. They also have plaster, paneling, good detailing in molding and trim and high cost floor finishes.

The structures commonly are solid masonry or wood frame walls (Class C and D). Some of the special refinements found in the better qualities include intercoms, television jacks and antennas, and at least one bath per bedroom.

The lower qualities typically have one bath or a bath and one-half for each unit, regardless of the number of bedrooms. The typical story height for these structures is nine feet.

The following are not included in the costs: Fireplaces, built-in appliances, balconies, furnishings, pools and equipment.

Availability of [Elevators by Area](#) for this occupancy: No

Marshall Valuation Service sections: 12 and 42.

Occupancy Availability: Commercial Estimator only.

Typical Lives:

Quality	Class								
	A	B	C	D	H	M	P	S	W
Low	--	--	50	45	--	--	--	45	--
Average	--	--	55	50	--	--	--	50	--
Good	--	--	55	50	--	--	--	50	--
Excellent	--	--	60	55	--	--	--	55	--

Quality Selection Guide:

Class C (Masonry Bearing Walls):

Quality	Exterior Walls	Interior Finish	Mechanicals	HVAC
Low	Low-cost brick or block, very plain, minimum fenestration	Painted block, drywall partitions, low-cost carpet or asphalt tile	Minimum lighting & plumbing per code	Wall furnace
Fair	Block/brick, standard sash, little trim, shingle or built-up roof	Drywall or plaster, carpet, vinyl composition tile	Adequate standard lighting & plumbing per good codes	Electric baseboard
Average	Brick or block, some trim, asphalt shingle or built-up roof	Plaster/drywall, paint, hardwood, carpet, vinyl composition	Adequate lighting & plumbing, phone and TV jacks	Forced air
Good	Good brick/stucco on block, good trim, roof structure and roofing	Good plaster or drywall, hardwood, carpet, vinyl composition	Good lighting, one bath per bedroom, TV antenna	Package A.C.
Excellent	Face brick, concrete/metal panels, best roof structure and roofing	Good plaster and paint, paneling, fine detail, hardwood, carpet	Good fixtures, many outlets, central TV antenna, intercoms	Warm and cool air

Census Data

2020 Census Blocks:

STATE CODE: 12

GEOID: 121030278012008

CENTLAT: +27.7991957

COUNTY CODE: 103

OID_1:

AREAWATER: 0

NAME: Block 2008

CENTLON: -082.7968822

AREA: 16356.045247785001

LEN: 735.18762865324004

TRACT CODE: 027801

AREALAND: 12750

BLOCK CODE: 2008

UR: U

Census Tracts:

STATE CODE: 12

CENTLON: -082.7998303

GEOID: 12103027801

CENTLAT: +27.8025027

COUNTY CODE: 103

TRACT CODE: 027801

AREAWATER: 1214359

AREALAND: 836008

NAME: Census Tract 278.01



Comparison of Appraisal Report Formats

Reporting Options in 2024-2025 Edition of USPAP	ADI Reporting Formats Effective January 1 st , 2014	Corresponding Reporting Options In 2012-2013 Edition of USPAP
Appraisal Report	Appraisal Report – Comprehensive Format	Self-Contained Appraisal Report
	Appraisal Report – Standard Format	Summary Appraisal Report
	Appraisal Report – Concise Summary Format	Minimum Requirements of Summary Appraisal Report
Restricted Appraisal Report	Restricted Appraisal Report	Restricted Use Appraisal

Qualifications of Paul T. Willies

APPRAISAL AND RELATED EXPERIENCE

1998-2025 Director and CEO Appraisal Development International, Inc – Appraisal Alliance, Inc
2024: FEMA 50% Rule: Making & Understanding An Actual Cash Value Appraisal Training
2024: USPAP Update / Law Update
2024: Seminar: Appraisal Bias Awareness, Regulatory Requirements, and Current Equity Assurance
2024: Seminar: Solving Practical Valuation Problems
2022: Seminar: Appraisal Techniques for the Current Market
2022: Seminar: Case Study Course 101
2022: USPAP Update / Law Update
2020: Supervisor-Trainee Course for Florida
2020: Seminar: Cool Tools II
2020: USPAP Update / Law Update
2018: Seminar: Appraisal Workfile Compliance
2018: Seminar: Cool Tools: Regression Remodeling
2018: Seminar: USPAP Update / Law Update
2017: Guest panelist for GTAR (Greater Tampa Assoc. Realtors) seminar commercial property
2016 Seminar: Better Safe Than Sorry
2016 Seminar: FHA Property Analysis
2016 Seminar: USPAP Update / Law Update
2016 Instructor GTAR Seminar “Risk Management & Due Diligence”
2015 Group Leader GTAR Seminar “Commercial Due Diligence”
2015 Guest panelist for GTAR (Greater Tampa Assoc. Realtors) seminar “State of Tampa Bay”
2014 Seminar: Unique & Complex Properties
2014 Seminar: USPAP Update / Law Update
2013 Guest panelist for GTAR (Greater Tampa Assoc. Realtors) seminar acquiring commercial property
2012 Seminar: The Florida Roles & Rules of the Supervisor & Trainee Appraisers
2012 Seminar: FREAB Complaints and Your License
2012 Seminar: CIA Mortgage Fraud Report
2012 Seminar: Investigative Review Course
2012 Seminar: Ethics in The Appraisal Business
2012 Seminar: USPAP Update / State of Florida Law
2010 Webinar: Navigate The Gulf Oil Crisis
2010 Florida Appraisal Law and Regulations
2010 Florida Supervisor/Trainee Roles and Relationships
2009 AI: Commercial Appraisal Engagement and Review Sem for Bankers and Appraisers
2009 AI Seminar: Condemnation Appraising: Principles and Applications
2008 AI Seminar: USPAP Update / Law Update
2008 AI Seminar: Supervisor/Trainee Roles & Rules
2007 AI Seminar: Analyzing Distressed Real Estate & Condos, Co-ops, and PUDSs
2007 Marshal & Swift Webinar - Mastering Swiftestimator - Commercial
2006 AI Seminar: 2006 USPAP review / State of Florida Law
2006 AI Seminar: 2006 Scope of Work & the New USPAP Requirements
2006 AI Seminar: 2006 New Technology for the Real Estate Appraiser
2006 AI Seminar: What Clients Would Like Their Appraisers To Know
2005 Hillsborough Planning Commission “Comprehensive Planning for Tomorrow’s Markets”
2005 AI Briefing: How New Appraisal Requirements Impact Bankers & Appraisers
2005 AI Seminar: Cost Studies in Commercial Highest and Best Use
2004 State-Certified General Real Estate Appraiser #RZ2762

SCOPE OF APPRAISAL ASSIGNMENTS

Acreage, Farms, Medical/office Leasehold Estates, Industrial, Restaurants, Multi-family, Mobile Home Parks, RV Parks, Marinas, Hotels/Motels, Historic Properties, Churches, Condo-Hotels, Condominiums, Time Share, Nursing Homes, Life Care Facilities, Institutional properties, Community & Neighborhood Shopping Centers, Office Centers, Automobile Dealerships, Apartment complexes, Low income and subsidized housing, Special Purpose Single Family Homes, IRS 501(c)3 property donations, Eminent Domain, Insurance, and Machinery & Equipment.

MEMBERSHIPS

Board Member AREAA – Asian Real Estate Association of America - Greater Tampa Bay Chapter
Chief Executive Officer (Voluntary), Dana Jones Foundation, Inc
Past Board Member & Chairman, British-American Business Council of Tampa Bay
Past Associate Member, Appraisal Institute of West Florida
Past Member BNI Referral Masters, Clearwater Chapter
Past Board Member, British-American Business Council New York
Past Member, Greater Tampa Chamber of Commerce Committee of One Hundred

PROFESSIONAL LICENSES

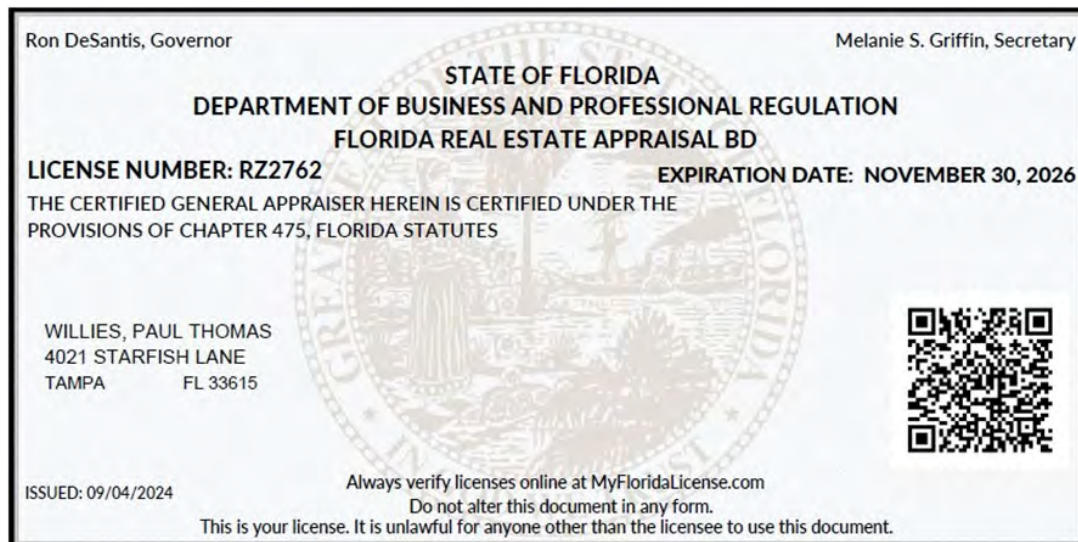
Florida State-Certified General Real Estate Appraiser #RZ2762

PROFESSIONAL AFFILIATIONS

Platinum Sponsor CCIM – West Coast Chapter, City of St. Petersburg/ Real Estate & Property Management, Tampa Housing Authority, Homeowners Choice Insurance / Greenleaf Capital, Wilshire Finance Partners, Centennial Bank, ServisFirst Bank, Hometown National Bank, Bank Five Nine, Grow Financial Federal Credit Union, Bank OZK, DCFU Financial, INB – Inland Northwest Bank

EXPERT WITNESS

Circuit Court of the 13th Judicial Circuit Hillsborough County
Circuit Court of the 6th Judicial Circuit Pinellas County
U.S. Bankruptcy Court Middle District of Florida



REMODEL/REPAIR COST ESTIMATE/BREAKDOWN PACKET
THIS MUST BE COMPLETED



CITY OF MADEIRA BEACH

PLANNING & ZONING DEPARTMENT

300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708

(727) 391-9951 EXT. 244 ♦ FAX (727) 399-1131

planning@madeirabeachfl.gov



SUBSTANTIAL IMPROVEMENT/DAMAGE PACKET

Parcel ID#: 09-31-15-00000-410-0100

Property Address: 14703 Gulf Blvd, Madeira Beach, FL 33708-2151

Permit number(s): _____

Contractor or Owner Builder's Name: Robert Cornetta, Rob C Services, LLC

Contractor or Owner Builder's Phone Number: 727-598-1763

Existing and Proposed Lowest Floor Elevation if changing (excluding garage): _____

Contractor Type: ☒ Licensed Contractor (Page 9 can be left blank) ☐ Owner Builder (Page 8 can be left blank)

☒ I provided an ACV appraisal of my property in accordance with FEMA P-758 (Value: \$ 226,337)

-OR-

☐ I accept Pinellas County's Approximate Market Value (Value: \$ _____)

☐ I have provided a complete line-item cost breakdown on company letterhead to support this document as a fair cost of repair or improvement for my structure (pages 4-6 can be left blank; not applicable for owner/builder projects)

-OR-

☒ This form will serve as the line-item cost breakdown for the complete estimated cost of construction as a fair cost of repair or improvement for my structure

Signature of Contractor or Owner-Builder

10/6/2025

Date

FLOODPLAIN BUILDING SHELL COST BREAKDOWN WORKSHEET

Item	N/A	Area/Quantity	New Contractor	Prev. Contractor	Labor	Total
Site Preparation						
Exterior Demolition & Debris Removal						
Footings						
Floor Slabs						
Termite Treatment						
Exterior Frame Walls						
Exterior Masonry & Concrete Walls						
Floor Framing						
Floor Sheathing						
Roof & Ceiling Framing						
Roof Sheathing						
Roof Covering						
Gutters & Downspouts						
Fascia & Soffits						
Exterior Stairs/Handrails/Landings						
Exterior Decks & Balconies						
Exterior Guardrails						
Exterior Wall Covering (Stucco)						
Exterior Wall Covering (Vinyl Siding)						
Exterior Wall Covering (Aluminum Siding)						
Exterior Wall Covering (Hardie Material)						
Exterior Wall Covering (Wood Products)						
Exterior Wall Covering (Paint)						
Exterior Wall Covering (Other)						
Windows						
Exterior Doors						
Glass Block						
Garage Doors & Openers						
Skylights & Solar Tubes						
Glazing Protection						
Plumbing Piping						
Potable (Drinking) Water Plumbing						
Potable (Drinking) Water Filtration/ Conditioning/Recirculation System						
A/C Compressor/Condenser Unit & Wiring						
A/C Air Handler Unit & Wiring						
Solar Panels & Equipment						
Installed Generator						
Exterior Beams & Columns						
Decorative Moldings						
Ceiling Insulation						
Wall Insulation						
Floor Insulation						
Flood Vents						
Fire Suppression System						
Fire Escape						

Total Building Shell Cost: \$ _____

FLOODPLAIN ENCLOSURE COST BREAKDOWN WORKSHEET

Item	N/A	Area/Quantity	New Contractor	Prev. Contractor	Labor	Total
Interior Demolition & Debris Removal						
Wall Framing / Joists, Trusses, Beams						
Drywall – Walls						
Drywall – Ceiling						
Wall Finish/Painting/Covering						
Ceiling Finish/Painting/Covering						
Baseboard/Crown Molding/Trim Boards						
Floor Covering						
Electrical Service Panel						
Electrical Sub Panel						
Electrical Receptacles (120 VAC)						
Electrical Receptacles (240 VAC)						
Electrical Light Fixtures & Switches						
Ceiling Fans & Exhaust Fans						
Electrical Wiring						
Central Vacuum System						
Security System & Intercom System						
A/C Ducting						
Sinks						
Toilets						
Bathtubs & Jacuzzis						
Showers						
Water Heater						
Washing Machine & Dryer Hookup						
Sump Pumps						
Built-in Appliances						
Built-in Furniture						
Closet Shelving / Built in Cabinets						
Cabinets & Vanities						
Counter Tops						
Interior Doors						
Fireplace/Hearth/Mantel						
Chimney / Chimney Cap						
Elevator & Equipment						
Interior Stairs/Handrails/Landings						
Interior Guardrails						

Total Enclosure Cost: \$ _____

Total Other Cost: \$ _____

TOTALS	
BUILDING SHELL TOTAL	\$ 23,620.00
ENCLOSURE TOTAL	\$ 40,650.00
OTHER COSTS TOTAL	\$ 24,068.20
SUBTOTAL	\$ 88,338.20
CONTRACTOR OVERHEAD & PROFIT (owner/builder minimum 15% overhead required)	\$ 13,250.73
GRAND TOTAL	\$ 101,588.93

Total cost of all other related Permits:

\$ _____

If the total on the contract does not match the subtotal or grand total above, please explain below (i.e. "contract is x dollars more because of debris haul away costs" or "contract is x dollars less because of items purchased by homeowner not being included in contract")

This disclosure is to comply with substantial improvement as defined in Madeira Beach Code of Ordinances Chapter 94 - FLOODPLAIN MANAGEMENT

I fully understand that phasing improvements to the building is not permitted. I hereby attest that the description in the permit application for the work on the existing building that is located at the property identified above is all the work that will be done, including all improvements, rehabilitation, remodeling, repairs, additions, and any other form of improvement. I fully understand all additional defects, reconstruction costs, damage, and/or unforeseen repairs (i.e., termite damage, deteriorated wood, or storm damage) may trigger the requirement for total compliance with flood regulations of this structure. Owner and contractor agree that the total scope and cost of this project shall not be increased in any manner without the express written consent of the Madeira Beach Building Department and Community Development Department. Further acknowledgment is made that any increase may require the entire structure to comply with current FEMA and applicable building code regulations. If the structure has sustained substantial damage, any repairs are considered substantial improvement regardless of the actual repair work performed. Violating the FEMA improvement threshold may result in removal of improvement work, revocation of the Certificate of Occupancy for the building, and/or an order to remove the structure.


Owner Signature

10-30-25
Date

BRANDON NAZZARI
Owner Name

Co-Owner Signature

Date

Co-Owner Name

LICENSED CONTRACTOR
IMPROVEMENT/RECONSTRUCTION AFFIDAVIT

Parcel ID#: 09-31-15-00000-410-0100
Owner's Name: Brandon Nazzario
Project Address: 14703 Gulf Blvd. Madeira Beach, FL 33708
Contractor's Name: Robert Cornetta License #: CGC1529429
Contractor Company name: Rob C. Services, LLC
Contractor Company address: 3084 Hillsdale Ave, Largo, FL 33774

I hereby attest to the fact that I, or a member of my staff, personally inspected the above-mentioned property and produced the attached itemized list of repairs/reconstructions and/or remodeling which is hereby submitted for the **SUBSTANTIAL IMPROVEMENT/DAMAGE REVIEW**. These listed damages/improvements are **ALL of the improvements/damages** sustained by this structure and all additions, improvements, or repairs proposed on the subject building are included in this estimate.

I understand that I am subject to enforcement action and/or fines if inspection of the property reveals that I have made repairs **NOT included on the attached list of improvements/repairs**, or improvements or illegal structures/additions to the existing structure without having present plans for such additions. I understand that any permit issued by the City of Madeira Beach pursuant to this affidavit does not authorize the reconstruction, repair or maintenance of any illegal additions, fences, sheds or non-conforming uses or structures on the subject property.

R. Cornetta
Contractor Signature

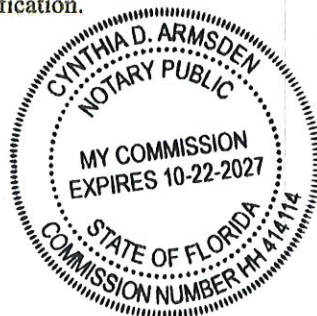
TOTAL COST \$ 101,588.93

STATE OF Florida
COUNTY OF Pinellas

Before me this day personally appeared Robert Cornetta who, being duly sworn disposes and says that s/he has read, understands, and agrees to comply with all the aforementioned conditions.

Sworn and subscribed before me this 30 day of October, 20 25. Personally known or produced as identification.

(Notary Public Stamp)



Cynthia D. Armsden
Notary Public
Commission #: _____
Date Commission Expires: _____



APPRAISAL DEVELOPMENT INTERNATIONAL, INC

PO Box 1212, Tampa FL 33601
Tel: Pinellas (727) 726-8811 Hillsborough (813) 258-5827
Toll Free 1-888-683-7538 Fax: (813) 258-5902

www.appraisaldevelopment.com

**APPRAISAL REPORT
Of
ACTUAL CASH VALUE
BUILDING ONLY
14703 GULF BLVD
MADEIRA BEACH, FL 33708
PINELLAS COUNTY**



FOR:

CITY OF MADEIRA BEACH

Madeira Beach, FL

EFFECTIVE DATE
RETROSPECTIVELY

October 1, 2024

Our File # 25078-B



APPRAISAL DEVELOPMENT INTERNATIONAL, INC

PO Box 1212, Tampa FL 33601
Tel: Pinellas (727) 726-8811 Hillsborough (813) 258-5827
Toll Free 1-888-683-7538 Fax: (813) 258-5902

www.appraisaldevelopment.com

October 3rd, 2025

Mr. Brandon Nazzario
Dockside Daves Restaurant LLC
14701 Gulf Blvd
Madeira Beach, FL 33708

RE: ACTUAL CASH VALUE – BUILDING ONLY- 14703 GULF BLVD, MADEIRA BEACH, FL 33708

OUR FILE # 25078-B

Dear Mr. Nazzario,

Thank you for the opportunity to provide appraisal services for the above-referenced property. It is my understanding that I am appraising the subject real estate in a **Appraisal Report (Concise Summary format)** for establishing the Actual Cash Value (ACV) of the “As Is” of the Building Only as a threshold for FEMA non substantial improvements for renovation purposes retrospectively as of October 1st, 2024.

A statement of Scope, Limiting Conditions and Certification can be found in the addenda.

This appraisal was made in accordance with Standard 2-2(a) of the Uniform Standards of Professional Practice (USPAP) 2024-2025 edition adopted by the Appraisal Standards Board of the Appraisal Foundation, the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute, and all applicable state appraisal regulations. It is further defined as a **Concise Appraisal Report** for **50% FEMA Substantial Improvement Rule** as presented by Appraisal Development International, Inc.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Paul T. Willies', with a stylized flourish at the end.

Paul T. Willies,
State-Certified General Real Estate Appraiser # RZ2762

Client/Intended users: City of Madeira Beach Building Department
300 Municipal Dr
Madeira Beach, FL 33708

Dockside Daves Real Estate LLC
1701 Gulf Blvd
Madeira Beach, FL 33708

Intended use: For the sole use by the client in establishing the Actual Cash Value (ACV) of the "As Is" Building Only as a threshold for FEMA non substantial improvements for renovation purposes as of October 1st, 2024. This report is not intended for any other use. The appraiser is not responsible for unauthorized use of this report.

Competency of the Appraiser: The Appraisers' specific qualifications are included within this report. These qualifications serve as evidence of competence for the completion of this appraisal assignment in compliance with the competency provision in USPAP. The appraisers' knowledge and experience, combined with his professional qualifications, are commensurate with the complexity of the assignment. The appraiser has previously provided consultation and value estimates for similar properties in Brevard, Miami-Dade, Collier, Monroe, Hillsborough, Manatee, Sarasota, Hillsborough, Pinellas, and Pasco Counties.

Disclosure of previous interest (if any) in the prior three years:

I previously appraised the subject September 5th, 2023. I have had no other interest in the property in the prior three years or been involved in any aspect of marketing, consultancy, or any position of ownership or management regarding the subject of this appraisal.

Type of Appraisal: This report is an Appraisal Report in accordance with Standard Rule 2-2 (a) of the Uniform Standards of Professional Appraisal Practice 2024-2025 edition and further defined as a Concise Appraisal Report for 50% FEMA Substantial Improvement Rule as presented by Appraisal Development International, Inc.

Objective of the Assignment: To develop an opinion of the Actual Cash Value (ACV) of the "As Is" Building Only as a threshold for FEMA non substantial improvements for the subject building as of October 1st, 2024, as set forth in this appraisal report.

Effective date: October 1st, 2024

Inspection Date: August 18th, 2025

Date of report: October 3rd, 2025

Scope of work: Refer to the attached Scope and Limiting Conditions.

Improvements:

The following is a brief description of the property, please also see the county records and photographs in the addenda for more detail.



This property is improved with a one story, concrete block building built in 1986 with 520 sq. ft. of retail space, 500 sq. ft. of storage space (total heated space is 1,020 sq. ft.), and a 260 sq. ft. attached carport. The subject building has one patron bathroom, central heat and air, and commercial grade finishes.

The building, as of the effective date, was considered in good condition with an effective age of 19 years of a 55-year economic life.

Neighborhood:

Located in an incorporated commercial district of the City of Madeira Beach near the intersection of Gulf Blvd and the Tom Stuart Causeway.

Utilities:

Electric, cable, telephone readily available. Water/sewer/garbage and emergency services by City of Maderia Beach, Pinellas County.

Zoning/Land Use:

C-3 – Retail Commercial District – City of Madeira Beach.

Census Tract:

Tract 278.01 Block 2008

Flood Zone:

Zone AE (EL 10 Feet), City of Madeira Beach, FIRM Map Number 12103C0191H Effective Date August 24, 2021.

Legal Description:

See full legal in the addenda.

Easements and restrictions:

Beyond standard utility easements, there are no known recorded easements or restrictions.

Tax Assessment:

	2025	%	2024	%	2023	%	2022	%	2021
Market Value:	\$732,000	-1.40%	\$742,400	0.53%	\$738,500	4.06%	\$709,700	25.86%	\$563,900
Assessed Value:	\$732,000	-1.40%	\$742,400	8.81%	\$682,319	10.00%	\$620,290	10.00%	\$563,900
Millage Rate:	15.6550	-1.00%	15.8131	-2.03%	16.1412	-0.71%	16.2571	-5.02%	17.1166
Ad Valorem:	\$11,459.46	-2.39%	\$11,739.65	3.46%	\$11,347.07	6.87%	\$10,617.28	10.00%	\$9,652.07
Non Ad Valorem:	\$0.00	0.00%	\$0.00	0.00%	\$0.00	0.00%	\$0.00	0.00%	\$0.00
Total:	\$11,459.46	-2.39%	\$11,739.65	3.46%	\$11,347.07	6.87%	\$10,617.28	10.00%	\$9,652.07
Paid/Due:	NA		Paid		Paid		Paid		Paid

Sales History:

There have been no recorded sales in the past five years. The property is not currently listed for sale.

Extraordinary assumption:

We are not building inspectors and assume that all mechanical and structural elements of the property are in average condition, unless otherwise noted.

Hypothetical condition:

None.

Real property interest valued:

Fee Simple.

Highest and Best Use:

Tourist/Business

Estimated Exposure Time

And Marketing Period:

6-9 months.

Opinion of Value

Based on Actual Cash Value (ACV), it is my opinion that the "As Is" value of the building as of October 1st, 2024, was:

Final depreciated value of the structure:

**TWO HUNDRED & TWENTY-SIX THOUSAND, THREE HUNDRED & THIRTY-SEVEN DOLLARS
(\$226,337)**

Which would allow for a renovation budget of up to:

**ONE HUNDRED & THIRTEEN THOUSAND, ONE HUNDRED & SIXTY-NINE DOLLARS
(\$113,169)**

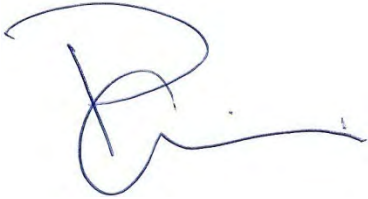
This Appraisal Report is to be used as basis for the 50% FEMA Rule regarding renovation of the subject property. It cannot be used for any other purpose. This report will not be fully understood by users other than the client and the local building department.

I am a Florida State-Certified General Real Estate Appraiser RZ 2762; I have complied with all the rules and regulations of the Florida Real Estate Appraisal Board, USPAP and Codes and Ethics of the Appraisal Institute.

Thank you for the opportunity of providing this service to you; please do not hesitate to call with any questions or comments.

Respectfully submitted,

Respectfully submitted,

A handwritten signature in blue ink, appearing to be 'P. Willies', with a stylized, flowing script.

Paul T. Willies,
State-Certified General Real Estate Appraiser #RZ2762

Addenda

- Scope of Work
- Limiting Conditions
- Certification
- Definitions
- Subject Photos
- County Records
- Zoning
- CoreLogic Worksheet
- Census Data
- Flood Map
- Comparison of Appraisal Formats
- Qualifications of Appraiser

Scope of the Appraisal

The scope of work applied to this specific appraisal assignment is summarized below.

In the preparation of this report, the appraisal problem was identified; that being the client, intended use, intended users, type and definition of value opinion, effective date of the opinion and conclusion, subject of the assignment and relevant characteristics about that subject, and the assignment conditions. A solution to the appraisal problem (scope of work) was planned, and then implemented so as to arrive at a credible result.

This report utilizes the Cost Approach (Actual Cash Value) to valuation.

I have been engaged by Dockside Daves Restaurant LLC to prepare a Restricted Appraisal Report for the City of Madeira Beach to estimate the "Actual Cash Value" as a threshold for FEMA non substantial improvements of the subject building "As Is" as of October 1, 2025.

We inspected the property on August 18th, 2025 for condition and location.

- I reviewed my previous appraisal of September 5, 2023.
- We re-inspected the property August 18th, 2025
- We have reviewed county records in Pinellas County.
- We have taken extensive photographs (prior to the storm) to illustrate the overall condition of the property, a selection of which is presented in the addenda.
- We have researched sales and listings of similar commercial property to develop the Sales Approach to valuation.
- We have researched 5-year tax history, legal description, zoning, census information, and flood boundaries.
- Neither the Sales Approach nor Income Approach to value would be appropriate to ascertain the ACV value of the buildings only and are not developed for this style of report.

The final estimate and reconciliation of the approaches used, has been produced for my client to estimate the "Actual Cash Value" of the subject building "As Is" retrospectively as of October 1, 2024, for renovation purposes.

General Assumptions and Limiting Conditions

This report has been prepared under the following general assumptions and limiting conditions:


1. Information furnished by others is assumed to be true, factually correct and reliable. No effort has been made to verify such information and I assume no responsibility for its accuracy. Should there be any material error in the information provided to me, the results of this report are subject to review and revision.
2. All mortgages, liens and encumbrances have been disregarded unless specified within this report. The subject property is analyzed as though under responsible ownership and competent management. It is assumed in this analysis that there were no hidden or unapparent conditions of the property, subsoil or structures, including hazardous waste conditions, which would render it more or less valuable. No responsibility is assumed for such conditions or for engineering that may be required to discover them. No responsibility is assumed for legal matters existing or pending, nor is opinion rendered as to title, which is assumed to be good.
3. I have assumed that no hazardous waste exists on or in the subject property unless otherwise stated in this report. I did not observe the existence of hazardous material, which may or may not be present on the property. I have no knowledge of the existence of such materials on or in the subject property. I however, am not qualified to detect such substance or detrimental environmental conditions. The value estimate rendered in this report is predicated upon the assumption that there is no such material on or affecting the property that would cause a diminution in value. I assume no responsibility or environmental engineering knowledge required to discover it. You are urged to retain an expert in the field if so desired.
4. It is assumed that there is full compliance with all applicable federal, state and local environmental regulation and laws unless non-compliance is noted.
5. The Americans with Disabilities Act (ADA) became effective January 26, 1992. I have not made a specific compliance survey and or analysis of this property to determine whether or not it is in conformity with the various detailed requirements of the ADA. It is possible that a compliance survey of the property together with a detailed analysis of the requirements of the ADA could reveal that the property is not in compliance with one or more elements of the ADA. If so, this fact could have a negative effect upon the value of the property. Since I have no direct evidence relating to this issue, I did not consider possible noncompliance with the requirements of the ADA in estimating the value of the subject property.
6. It is assumed that all applicable zoning and use regulations and restrictions have been complied with, unless nonconformity has been stated, defined and considered in the analysis.
7. It is assumed that all required licenses, consents or other legislative or administrative authority from any local, state or national governmental or private entity or organization have been or can be obtained or renewed for any use on which the value estimated contained in this report is based.

8. Possession of this report, or a copy thereof, does not carry with it the right of publication. Neither all nor any part of the contents of this report (especially on conclusions as to value, my identity or the identity of the firm with which I am connected) shall be disseminated to the public through advertising, public relations, news, sales or other media without my prior written consent and approval. This appraisal report is intended for use in its entirety. Individual pages or sections or the report should not be used separately from the rest of the report.
9. Unless prior arrangements have been made, I, by reason of this report, are not required to give further consultation or testimony, or to be in attendance in court with reference to the property that is the subject of this report without prior financial arrangements.
10. This report constitutes a Complete Appraisal for FEMA 50% RULE and is limited to the Cost Approach of the improvements only and presented in a Concise Appraisal Report format.
11. We have made no legal survey nor have we commissioned one to be prepared. Therefore, reference to a sketch, plat, diagram or previous survey appearing in the report is only for the purpose of assisting the reader to visualize the property.
12. The authentic copies of this report are signed in ink and are printed on white paper. Electronic signatures may also be utilized in this report. The Uniform Standards Board state that electronically affixing a signature to a report carries the same level of authenticity and responsibility as an ink signature on a paper report (the term "Written Records" includes information stored on electronic, magnetic or other media). Any copy that does not have the above is unauthorized and may have been altered.
13. No responsibility is assumed for the legal description provided or for matters pertaining to legal or title considerations. Title to the property is assumed to be good and marketable unless otherwise noted.
14. The property is appraised as if free and clear of any or all liens or encumbrances unless otherwise stated.
15. Responsible ownership and competent property management are assumed.
16. It is assumed that the use of the land and improvements are confined within the boundaries or property lines of the property described and that there is no encroachment or trespass unless noted in the report.
17. The global outbreak of a "novel coronavirus" known as COVID-19 was officially declared a pandemic by the World Health Organization (WHO). The reader is cautioned and reminded that the conclusions presented in this appraisal report apply only as of the effective date(s) indicated. The appraiser makes no representation as to the effect on the subject property of any unforeseen event, subsequent to the effective date.
18. By the receipt and implied acceptance of this report, the addressee recognizes the obligation for timely remittance of associated professional fees in full. Furthermore, any claims against me, for whatever reason, are limited to the amount of said fees. My responsibility is limited to our client Dockside Daves Restaurant LLC and does not extend to any third party.

Certification

I certify, to the best of my knowledge and belief that:

- the statements of fact contained in this report are true and correct.
- the reported analysis, opinions and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial unbiased professional analyses, opinions and conclusions.
- I have no present or prospective interest in the property that is the subject of this report and I have no personal interest or bias with respect to the parties involved.
- I previously appraised the subject September 5th, 2023. I have performed no other service, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
- I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- my engagement in this assignment was not contingent upon developing or reporting predetermined results.
- my compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- my analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute and the *Uniform Standards of Professional Appraisal Practice*.
- Blair Johnson, Registered Trainee RI25336, assisted in the inspection of the property, no others provided significant appraisal, appraisal review, or appraising consulting assistance to the person.



Paul T. Willies
Florida State-Certified General Real Estate Appraiser #RZ2762

Dated: October 3rd, 2025

Definitions

ACTUAL CASH VALUE (ACV)

The cost to replace a building on the same parcel with a new building of like-kind and quality, minus depreciation due to age, use, and neglect. ⁽¹⁾

REPLACEMENT COST

Replacement cost is the estimated cost to construct, as of the effective appraisal date, a building with utility equivalent to the building being appraised, using contemporary materials, standards, design, and layout. When this cost basis is used some existing obsolescence in the property is assumed to be cured.

REPRODUCTION COST

Reproduction cost is the estimated cost to construct, as of the effective appraisal date, an exact duplicate or replica of the building being appraised, insofar as possible using the same materials, construction standards, design, layout, and quality of workmanship and embodying all the deficiencies, super adequacies, and obsolescence of the subject building.

EXTRAORDINARY ASSUMPTION

An assignment-specific assumption as of the effective date regarding uncertain information used in an analysis which, if found to be false, could alter the appraiser's opinions or conclusions. ⁽¹⁾

Uncertain information might include physical, legal, or economic characteristics of the subject property; or conditions external to the property, such as market conditions or trends; or the integrity of data used in an analysis.

HYPOTHETICAL CONDITION

A condition, directly related to a specific assignment, which is contrary to what is known by the appraiser to exist on the effective date of the assignment results but is used for the purpose of analysis. ⁽²⁾

Hypothetical conditions are contrary to known facts about physical, legal, or economic characteristics of the subject property; or about conditions external to the property, such as market conditions or trends; or about the integrity of data used in an analysis.

(1) FEMA, Substantial Improvement/Substantial Damage Desk Reference, 4.5.3.

(2-3) USPAP 2020-2021 Defini

Photographs



Subject building looking NE from the SW corner



Subject building looking SE from the NW corner



Subject building looking SW from the NE corner



Subject building looking NW from the SE corner



Entrance



Cross-view of gallery floor space



Cross-view of gallery floor space



Patron / employee bathroom



Cross-view of storage space



Electrical panel



Thermostat



Air handler


County Records



Pinellas County Property Appraiser - www.pcpao.gov

Generated on 10/03/2025 12:10 PM


Parcel Summary (as of 03-Oct-2025)				Parcel Map			
Parcel Number 09-31-15-00000-410-0100							
Owner Name DOCKSIDE DAVES RESTAURANT LLC							
Property Use 1120 Single Building Store							
Site Address 14703 GULF BLVD MADEIRA BEACH, FL 33708							
Mailing Address 14701 GULF BLVD MADEIRA BEACH, FL 33708-2151							
Legal Description PART OF SEC 09-31-15 DESC BEG MOST S'LY COR OF LOT 30 TRACT 2 OF MADEIRA BEACH VISTA SUB TH N43D50'06"E 200FT TH S46D09'54"E 57.77FT TH S43D50'06"W 20							
Current Tax District MADEIRA BEACH (MB)							
Year Built 1986							
Heated SF	Gross SF	Living Units	Buildings				
1,020	1,280	0	1				
Exemptions							
Year	Homestead	Use %	Status		Property Exemptions & Classifications		
2027	No	0%			No Property Exemptions or Classifications found. Please note that Ownership Exemptions (Homestead, Senior, Widow/Widower, Veterans, First Responder, etc... will not display here).		
2026	No	0%					
2025	No	0%					
Miscellaneous Parcel Info							
Last Recorded Deed	Sales Comparison	Census Tract	Evacuation Zone	Flood Zone	Elevation Certificate	Zoning	Plat Blk/Pg
22616/2275	Find Comps	278.01	A	Current FEMA Maps	Check for EC	Zoning Map	/
2025 Final Values							
Year	Just/Market Value	Assessed Value/SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value		
2025	\$732,000	\$732,000	\$732,000	\$732,000	\$732,000		
Value History (yellow indicates corrected value)							
Year	Homestead Exemption	Just/Market Value	Assessed Value/SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value	
2024	N	\$742,400	\$742,400	\$742,400	\$742,400	\$742,400	
2023	N	\$738,500	\$682,319	\$682,319	\$738,500	\$682,319	
2022	N	\$709,700	\$620,290	\$620,290	\$709,700	\$620,290	
2021	N	\$563,900	\$563,900	\$563,900	\$563,900	\$563,900	

2020	N	\$517,000	\$517,000	\$517,000	\$517,000	\$517,000
2024 Tax Information						
		Do not rely on current taxes as an estimate following a change in ownership. A significant change in taxable value may occur after a transfer due to a loss of exemptions, reset of the Save Our Homes or 10% Cap, and/or market conditions. Please use our Tax Estimator to estimate taxes under new ownership.				
		Tax Bill		2024 Millage Rate	Tax District	
		View 2024 Tax Bill		16.2172	(MB)	
Sales History						
Sale Date	Price	Qualified / Unqualified	Vacant / Improved	Grantor	Grantee	Book / Page
02-Nov-2023	\$825,000	U	I	JCJ VENTURES OF PINELLAS COUNTY INC	DOCKSIDE DAVES RESTAURANT LLC	22616/2275
11-Feb-2019	\$500,000	Q	I	VENEZIO FRANK W REV TRUST	J C J VENTURES OF PINELLAS COUNTY INC	20427/1177
14-Jul-2004	\$100	U	I	VENEZIO FRANK W	VENEZIO, FRANK W	13704/0931
31-Jul-1986	\$116,000	Q				06277/0070
2025 Land Information						
Land Area: \cong 11,038 sf \cong 0.25 acres			Frontage and/or View: None		Seawall: No	
Property Use		Land Dimensions	Unit Value	Units	Method	Adjusted Value
Stores, 1 Story		57.77x191	\$75	11,034	SF	\$827,550

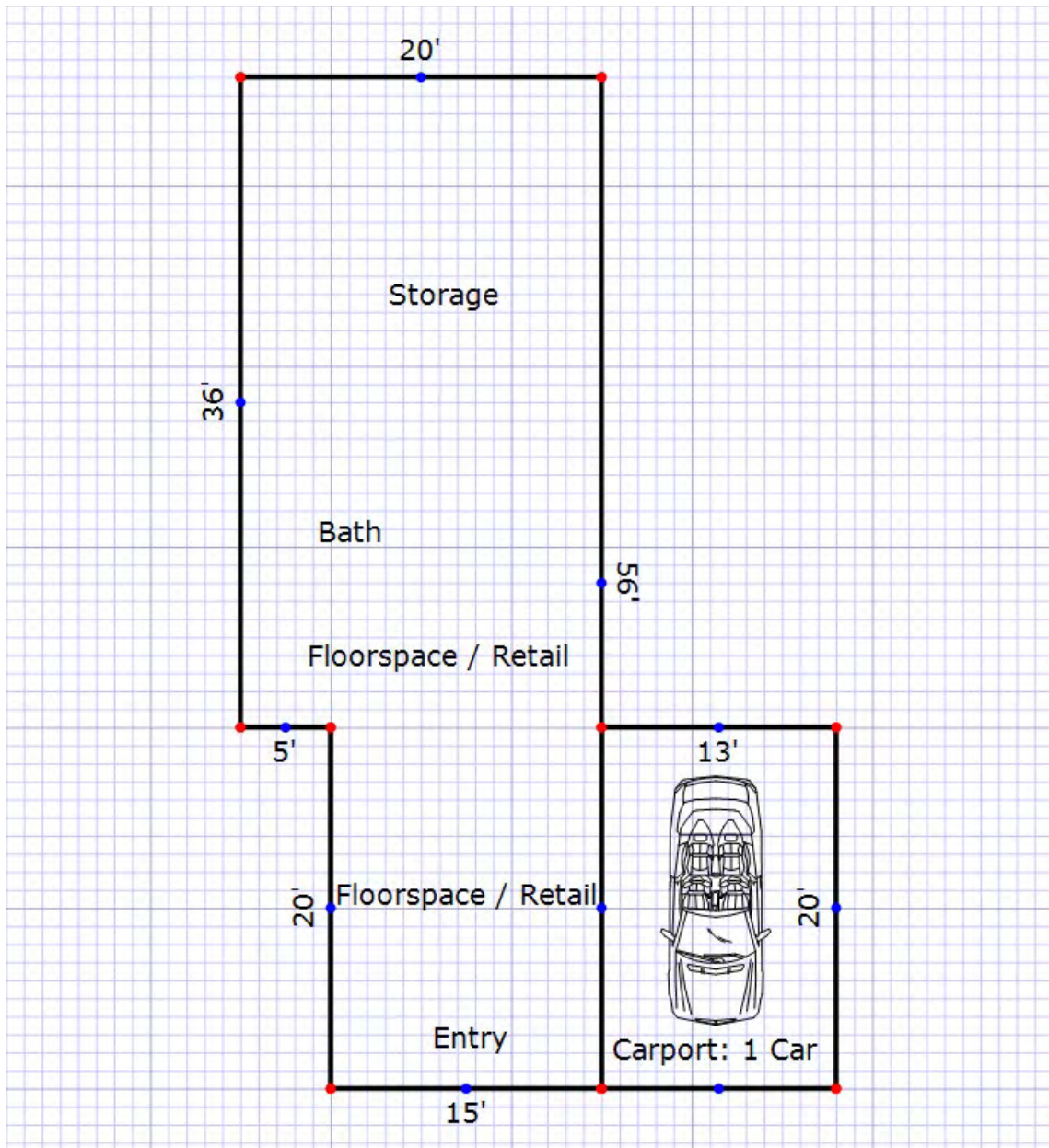


2025 Building 1 Structural Elements and Sub Area Information					
Structural Elements		Sub Area	Heated Area SF	Gross Area SF	
Foundation	Continuous Footing	Base (BAS)	520	520	
Floor System	Slab On Grade	Base Semi-finished (BSF)	500	500	
Exterior Walls	Concrete Blk/Stucco	Carport (CPF)	0	260	
Unit Stories	1	Total Area SF	1,020	1,280	
Roof Frame	Bar Joint/Rigid Frame				
Living Units	0				
Roof Cover	Built Up/Composition				
Year Built	1986				
Building Type	Retail Stores				
Quality	Average				
Floor Finish	Vinyl Asb Tile				
Interior Finish	Dry Wall				
Cooling	Heat & Cooling Pkg				
Fixtures	5				
Effective Age	40				
Functional Obsolescence	.15				

2025 Extra Features					
Description	Value/Unit	Units	Total Value as New	Depreciated Value	Year
ASPHALT	\$4.00	7,100.0	\$28,400	\$28,400	0

Permit Data			
Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non-permitted improvements, should be directed to 			
Permit Number	Description	Issue Date	Estimated Value
9700246	ROOF	05/08/1997	\$2,700

Floor Plan

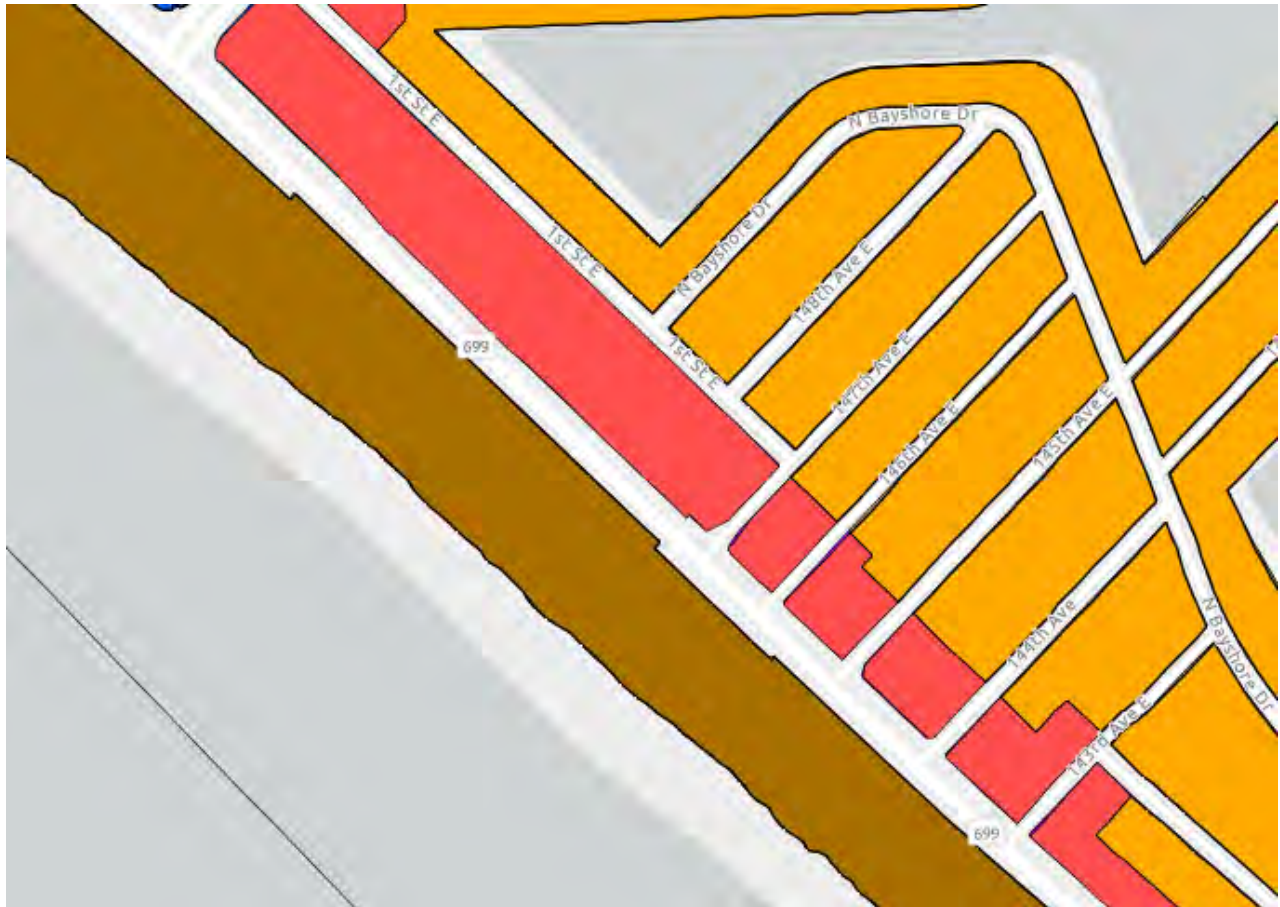


Legal Description

Parcel #09-31-15-00000-410-0100

Beginning at the most Southerly corner of Lot 30 of Tract 2, MADEIRA BEACH VISTA in Government Lot 2, Section 9, Township 31 South, Range 15 East, according to the plat thereof recorded in Plat Book 16, Page 104, Public Records of Pinellas County, Florida, run N. $43^{\circ}50'06''$ E., 200 feet; thence S. $46^{\circ}09'54''$ E. 57.77 feet; thence S. $43^{\circ}50'06''$ W., 200 feet to the Easterly boundary of Gulf Boulevard, thence in a Northwesterly direction along the Easterly boundary of Gulf Boulevard 57.77 feet to the Point of Beginning. LESS AND EXCEPT that portion as described in O.R. Book 4340, Pages 1490 - 1493 for right of way purposes.

Zoning



C-3 – Retail Commercial District

The C-3, retail commercial district provides service to both permanent and transient residents where a full range of urban services and a high degree of accessibility is required. The C-3, retail commercial district correlates with the commercial general (CG) category and the residential office retail (R/O/R) category of the City of Madeira Beach Comprehensive Plan.

50% FEMA Substantial Improvement Rule

Appraisal Methodology:

Based on the FEMA “Substantial Improvement and Substantial Damage Desk Reference” FEMA P-758, there are four different ways to determine the depreciated value of a property for the 50% FEMA Rule appraisal:

1. Market Value Appraisal
2. Adjusted Assessed Value
3. Qualified Estimates
4. Actual Cash Value (ACV)

1 The Professional Property Appraisal refers to the “every-day” market valuation based on sales comparables, while deducting the land and every site improvement, such as pools, detached structures, etc. There are disadvantages when using market valuation:

- In built-out coastal areas, it might be difficult to find appropriate land sales to establish land value for the subject property to deduct the land from the market value.
- Market value can range significantly depending on the economy. For example, during the recession, a property could have a much lower market value, allowing for much less construction based on the 50% FEMA rule when compared to the upper end of the economic cycle, when property values are soaring. Construction costs do not increase or decrease proportionally to the market value of real estate, and it is our opinion that market value is the wrong method of valuation for the 50% FEMA Rule appraisal.

2. The Adjusted Assessed Value is based on the property appraiser or assessor’s value and has the same limitations as the market value with the added disadvantage that it lags one year behind the market development. Furthermore, the assessed value is usually much lower than the market value because property appraisers have a 10-15% leeway in assessing property.

3. Qualified Estimates are developed by a “qualified official” of the building department, which are usually not being used to ensure impartiality between the property owner and the building department.

4. Actual Cash Value (ACV) is the fourth method for the 50% FEMA rule appraisal, and in our opinion, the only valid valuation, because this method:

- Estimates the cost of construction “as-built”
- Allows for proper application of depreciation
- Does not consider land value
- Does not include any site improvements
- Is easy to understand by construction professionals, building contractors and building officials alike

Especially for commercial, income producing properties, the ACV is the only correct valuation approach for FEMA purposes. The income approach completely falls out of the equation because it is not permissible based on FEMA regulations. The sales approach, even though derived by sales comparison, includes to some extent income considerations, and thus, is also not suitable for FEMA valuations.

To develop the actual cash value (depreciated value of the structure) the following steps are taken:

- Determination of replacement value new (RCV)
- Calculation of depreciation
 - o Useful life
 - o Historical age/effective age
- RCV minus depreciation to arrive at ACV

Substantial Improvement/ Substantial Damage Desk Reference

FEMA P-758 / May 2010



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MAKING SUBSTANTIAL IMPROVEMENT AND SUBSTANTIAL DAMAGE DETERMINATIONS

4

4.5.3 Actual Cash Value

Actual cash value (ACV) is the cost to replace a building on the same parcel with a new building of like-kind and quality, minus depreciation due to age, use, and neglect. ACV does not consider loss in value simply due to outmoded design or location factors. The concept of ACV is used in both the insurance industry and the construction industry. In most situations, ACV is a reasonable approximation of market value.

A number of commercial sources of construction cost information are available to support estimating the replacement cost of a building, including industry-accepted guides available from companies such as RSMeans (<http://www.rsmeans.com>) and the Craftsman Book Company (<http://www.craftsman-book.com>), among others. These sources allow computation of construction costs based on occupancy, square footage, quality, and regional cost variations.

Depreciation accounts for the physical condition of a structure. Depreciation does not take into account functional obsolescence (e.g., outmoded design or construction that pre-dates current codes) or factors that are external to the structure (e.g., reputation of schools or distance to shopping and parks). Commercially available references provide tables and formulas to calculate physical depreciation. These tables and formulas are objective and are used by most professionals in the fields of property appraisal and building inspection. Local officials may consult with a qualified appraiser regarding depreciation, or additional guidance for applying depreciation rates over time is found in FEMA P-784 CD, *Substantial Damage Estimator* (Section 7.5).

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Marshall & Swift Worksheet

CoreLogic - SwiftEstimator Commercial Estimator - Summary Report

General Information

Estimate ID:	25078-B	Date Created:	10-03-2025
Property Owner:	Dockside Daves Real Estate LLC	Date Updated:	
Property Address:	14703 Gulf Blvd Madeira Beach, FL 33708	Date Calculated:	10-03-2025
Local Multiplier:	1.15	Cost Data As Of:	using report date
Architects Fee:		Report Date:	10-2024

Retail Store

Area	1280	Overall Depreciation %	
Stories in Section	1	Physical Depreciation %	
Stories in Building	1	Functional Depreciation %	
Shape	rectangular	External Depreciation %	
Perimeter	(auto-calc)		
Effective Age	19		

Occupancy Details

Occupancy	%	Class	Height	Quality
353 Retail Store	100	C	10	2.0
Occupancy Total Percentage	100			

System : Exterior Walls

	%/Units	Quality	Depr %	Other
804 Exterior Walls : Block with Stucco	100	2.0		
Total Percent for Exterior Walls:	100			

System : HVAC (Heating)

	%/Units	Quality	Depr %	Other
617 HVAC (Heating) : Complete HVAC	100	2.0		3
Total Percent for HVAC (Heating):	100			

System : Malls

	%/Units	Quality	Depr %	Other
756 Malls : Malls-Covered	260	2.0		

Addition Details

Addition	Units	Cost	Depr %	LM	Base Date
Basic Mansard Roof 48 x 4	196	\$10		N	01-2003

Calculation Information (All Sections)

	Units	Unit Cost	Total Cost New	Less Depreciation	Total Cost Depreciated
Basic Structure					
Base Cost	1,280	\$111.99	\$143,347	\$30,103	\$113,244
Exterior Walls	1,280	\$41.22	\$52,762	\$11,080	\$41,682
Heating & Cooling	1,280	\$53.16	\$68,045	\$14,289	\$53,756
Malls	260	\$69.00	\$17,940	\$3,767	\$14,173
Mansard Roof 48 x 4	196	\$22.49	\$4,408	\$926	\$3,482
Basic Structure Cost	1,280	\$223.83	\$286,502	\$60,165	\$226,337
Less Depreciation					
Physical & Functional	21.0%			\$60,165	\$226,337
Depreciated Cost	1,280	\$176.83		\$60,165	\$226,337

Cost data by CoreLogic, Inc.

Except for items and costs listed under "Addition Details," this SwiftEstimator report has been produced utilizing current cost data and is in compliance with the Marshall & Swift Licensed User Certificate. This report authenticates the user as a current Marshall & Swift user.



Marshall & Swift Definitions

353 Retail Store

These are one- or two-story buildings designed for retail sales and display. They usually have display and/or decorative fronts. This occupancy includes stores occupied by secondary department stores with limited merchandise lines, specialty shops and commercial buildings designed for a general occupancy.

The stores are usually designed with designated areas for servicing customers, employee operations, merchandise storage, display areas, office and restroom facilities. The higher quality stores have expensive exterior and interior finishes, large display areas, attractive storefronts and special lighting. Lower quality structures have small displays, minimum finish and mechanical items.

The following are not included in the costs: Furnishings, signs, trade fixtures and equipment.

Availability of [Elevators by Area](#) for this occupancy: No

Marshall Valuation Service sections: 13 and 43.

Typical Lives:

Quality	Class								
	A	B	C	D	H	M	P	S	W
Low	45	45	40	40	--	--	40	40	--
Average	50	50	45	40	--	--	40	40	--
Good	55	55	50	45	--	--	45	45	--
Excellent	55	55	50	45	--	--	45	45	--

Quality Selection Guide:

Class C (Masonry Bearing Walls):

Quality	Exterior Walls	Interior Finish	Mechanicals	HVAC
Low	Low-cost brick, block, tilt-up, low-cost front	Painted walls, drywall or acoustic tile, asphalt tile	Minimum lighting and employees' restroom	Forced air
Average	Brick, block, tilt-up, plain front, some ornamentation	Drywall/plaster, exposed masonry, acoustic tile, vinyl composition	Adequate lighting and outlets, small employees' restrooms	Package A.C.
Good	Brick, stucco on block, best tilt-up, good display front	Plaster, acoustic plaster or tile ceilings, carpet, vinyl tile	Good lighting and outlets, Package A.C. adequate restrooms	
Excellent	Face brick, metal, fine ornamentation and displays	Best plaster, ornamental ceilings, paneling, terrazzo, carpet	Special lighting effects, good restrooms and fixtures	Warm and cool air (zoned)

Census Data

2020 Census Blocks:

STATE CODE: 12

GEOID: 121030278012008

CENTLAT: +27.7991957

COUNTY CODE: 103

OID_1:

AREAWATER: 0

NAME: Block 2008

CENTLON: -082.7968822

AREA: 16356.045247785001

LEN: 735.18762865324004

TRACT CODE: 027801

AREALAND: 12750

BLOCK CODE: 2008

UR: U

Census Tracts:

STATE CODE: 12

CENTLON: -082.7998303

GEOID: 12103027801

CENTLAT: +27.8025027

COUNTY CODE: 103

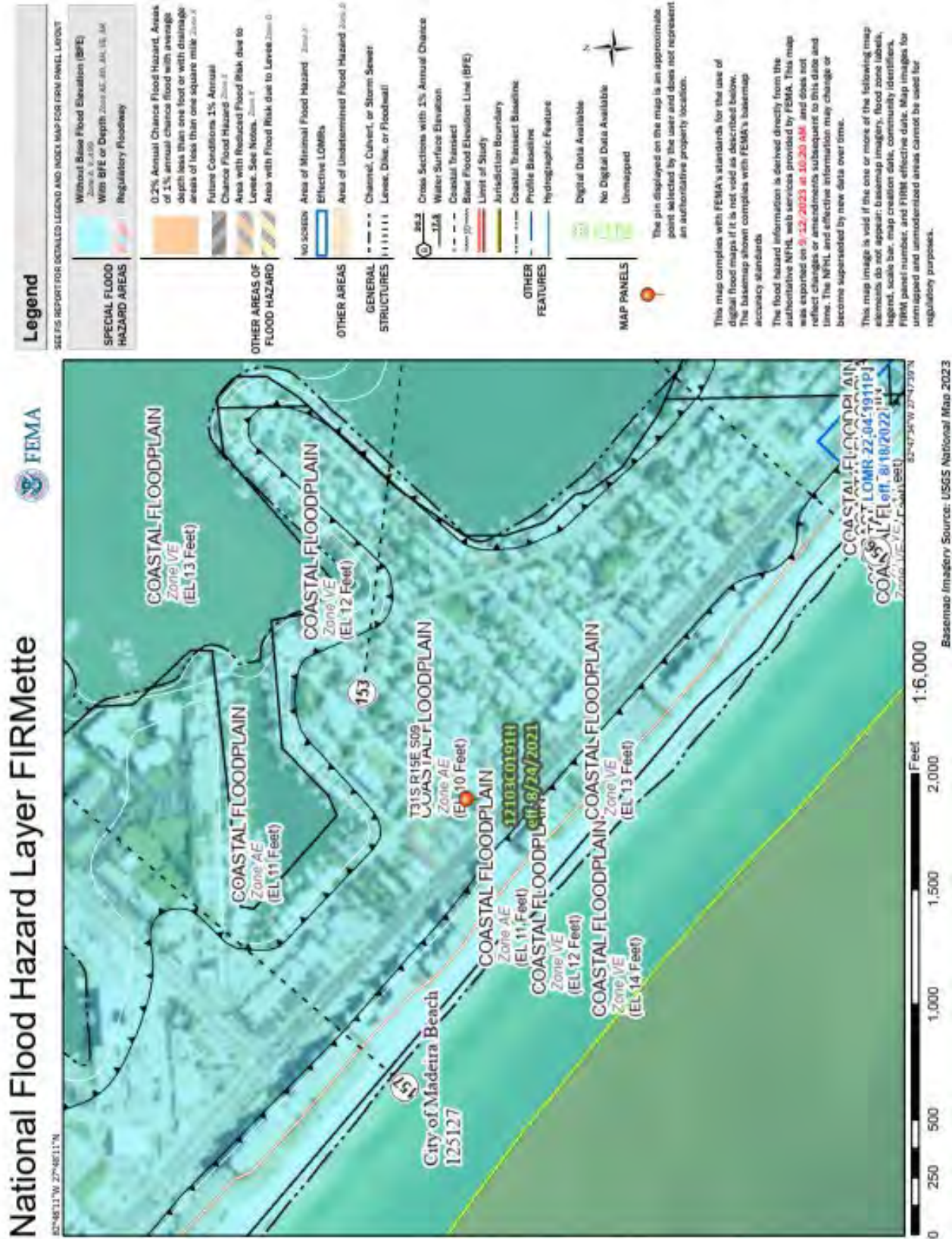
TRACT CODE: 027801

AREAWATER: 1214359

AREALAND: 836008

NAME: Census Tract 278.01

Flood Map





Comparison of Appraisal Report Formats

Reporting Options in 2020-2021 (2023 extended) Edition of USPAP	ADI Reporting Formats Effective January 1 st , 2014	Corresponding Reporting Options In 2012-2013 Edition of USPAP
Appraisal Report	Appraisal Report – Comprehensive Format	Self-Contained Appraisal Report
	Appraisal Report – Standard Format	Summary Appraisal Report
	Appraisal Report – Concise Summary Format	Minimum Requirements of Summary Appraisal Report
Restricted Appraisal Report	Restricted Appraisal Report	Restricted Use Appraisal

Qualifications of Paul T. Willies

APPRAISAL AND RELATED EXPERIENCE

1998-2025 Director and CEO Appraisal Development International, Inc – Appraisal Alliance, Inc
2024: FEMA 50% Rule: Making & Understanding An Actual Cash Value Appraisal Training
2024: USPAP Update / Law Update
2024: Seminar: Appraisal Bias Awareness, Regulatory Requirements, and Current Equity Assurance
2024: Seminar: Solving Practical Valuation Problems
2022: Seminar: Appraisal Techniques for the Current Market
2022: Seminar: Case Study Course 101
2022: USPAP Update / Law Update
2020: Supervisor-Trainee Course for Florida
2020: Seminar: Cool Tools II
2020: USPAP Update / Law Update
2018: Seminar: Appraisal Workfile Compliance
2018: Seminar: Cool Tools: Regression Remodeling
2018: Seminar: USPAP Update / Law Update
2017: Guest panelist for GTAR (Greater Tampa Assoc. Realtors) seminar commercial property
2016 Seminar: Better Safe Than Sorry
2016 Seminar: FHA Property Analysis
2016 Seminar: USPAP Update / Law Update
2016 Instructor GTAR Seminar “Risk Management & Due Diligence”
2015 Group Leader GTAR Seminar “Commercial Due Diligence”
2015 Guest panelist for GTAR (Greater Tampa Assoc. Realtors) seminar “State of Tampa Bay”
2014 Seminar: Unique & Complex Properties
2014 Seminar: USPAP Update / Law Update
2013 Guest panelist for GTAR (Greater Tampa Assoc. Realtors) seminar acquiring commercial property
2012 Seminar: The Florida Roles & Rules of the Supervisor & Trainee Appraisers
2012 Seminar: FREAB Complaints and Your License
2012 Seminar: CIA Mortgage Fraud Report
2012 Seminar: Investigative Review Course
2012 Seminar: Ethics in The Appraisal Business
2012 Seminar: USPAP Update / State of Florida Law
2010 Webinar: Navigate The Gulf Oil Crisis
2010 Florida Appraisal Law and Regulations
2010 Florida Supervisor/Trainee Roles and Relationships
2009 AI: Commercial Appraisal Engagement and Review Sem for Bankers and Appraisers
2009 AI Seminar: Condemnation Appraising: Principles and Applications
2008 AI Seminar: USPAP Update / Law Update
2008 AI Seminar: Supervisor/Trainee Roles & Rules
2007 AI Seminar: Analyzing Distressed Real Estate & Condos, Co-ops, and PUDSs
2007 Marshal & Swift Webinar - Mastering Swiftestimator - Commercial
2006 AI Seminar: 2006 USPAP review / State of Florida Law
2006 AI Seminar: 2006 Scope of Work & the New USPAP Requirements
2006 AI Seminar: 2006 New Technology for the Real Estate Appraiser
2006 AI Seminar: What Clients Would Like Their Appraisers To Know
2005 Hillsborough Planning Commission “Comprehensive Planning for Tomorrow’s Markets”
2005 AI Briefing: How New Appraisal Requirements Impact Bankers & Appraisers
2005 AI Seminar: Cost Studies in Commercial Highest and Best Use
2004 State-Certified General Real Estate Appraiser #RZ2762

SCOPE OF APPRAISAL ASSIGNMENTS

Acreage, Farms, Medical/office Leasehold Estates, Industrial, Restaurants, Multi-family, Mobile Home Parks, RV Parks, Marinas, Hotels/Motels, Historic Properties, Churches, Condo-Hotels, Condominiums, Time Share, Nursing Homes, Life Care Facilities, Institutional properties, Community & Neighborhood Shopping Centers, Office Centers, Automobile Dealerships, Apartment complexes, Low income and subsidized housing, Special Purpose Single Family Homes, IRS 501(c)3 property donations, Eminent Domain, Insurance, and Machinery & Equipment.

MEMBERSHIPS

Board Member AREAA – Asian Real Estate Association of America - Greater Tampa Bay Chapter
Chief Executive Officer (Voluntary), Dana Jones Foundation, Inc
Past Board Member & Chairman, British-American Business Council of Tampa Bay
Past Associate Member, Appraisal Institute of West Florida
Past Member BNI Referral Masters, Clearwater Chapter
Past Board Member, British-American Business Council New York
Past Member, Greater Tampa Chamber of Commerce Committee of One Hundred

PROFESSIONAL LICENSES

Florida State-Certified General Real Estate Appraiser #RZ2762

PROFESSIONAL AFFILIATIONS

Platinum Sponsor CCIM – West Coast Chapter, City of St. Petersburg/ Real Estate & Property Management, Tampa Housing Authority, Homeowners Choice Insurance / Greenleaf Capital, Wilshire Finance Partners, Centennial Bank, ServisFirst Bank, Hometown National Bank, Bank Five Nine, Grow Financial Federal Credit Union, Bank OZK, DCFU Financial, INB – Inland Northwest Bank

EXPERT WITNESS

Circuit Court of the 13th Judicial Circuit Hillsborough County
Circuit Court of the 6th Judicial Circuit Pinellas County
U.S. Bankruptcy Court Middle District of Florida

