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# Ground Floor @ Build-Out MADEIRA BEACH CITY HALL COMPLEX

## 300 MUNICIPAL DRIVE MADEIRA BEACH FL.

**NOTES:**

- ALL CONCRETE SLABS BELOW BFE MUST BE FRANGIBLE.
- LOWEST HORIZONTAL STRUCTURAL MEMBER MUST BE ABOVE + 10'-0" BFE + FREEBOARD OF 2'-0".
- UTILITIES IN VE ZONE MUST BE ABOVE BFE.
- ALL UTILITIES AND DUCTWORK MUST BE ABOVE BFE OF 10 FEET +2'-0" FREEBOARD
- CONTRACTOR WILL PROCURE FIRE SPRINKLER AND FIRE ALARM DRAWINGS FROM LICENSED SUB-CONTRACTOR PER APPLICABLE CODES AS A PART OF HIS BID PACKAGE.

**SITE DATA**

SECTION 9, TOWNSHIP 31, SOUTH, RANGE 15, EAST  
FLOOD ZONE: "A" COMMUNITY PANEL  
BASE FLOOR ELEV.

125108-0214G, SEPTEMBER, 03 2003

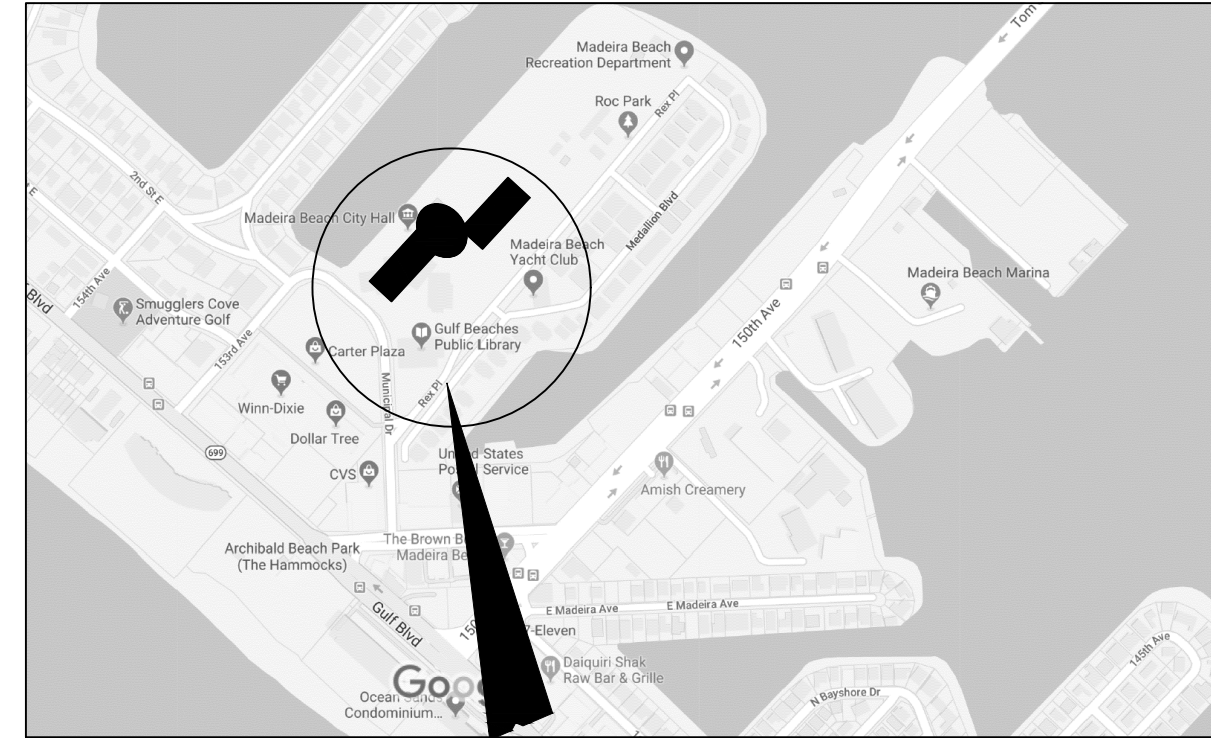
P. I. (9-31-15-00000-130-0100

**LEGAL DESCRIPTION**

CITY HALL COMPLEX DESC AS PT GOVT LOT 1, FROM SW COR OF MADEIRA BCH YACHT CLUB CONDO & E R/W OF MUNICIPAL DR TH N 118.45FT FOR POB TH CONT N 310FT (S) TH NWLY ALG CURVE 112FT (S) TH NWLY 200FT (S) TH WLY 170FT (S) TO E R/W OF SECOND ST TH NELY 100FT TH SELY ALG SEAWALL 110FT TH NELY ALG SEAWALL 1710 FT(S) TO N COR OF CONDO TH SWLY ALG CONDO 1671.13FT TO POB & ADJ SUBM LAND ON NW CONT 19.87 AC (C) RECORDED IN THE PUBLIC RECORDS OF OF PINELLAS COUNTY, FLORIDA

**PRODUCT APPROVALS**

EXTERIOR SWINGING DOOR	FL 11109.1
STOREFRONT ENTRY DOOR	FL 14218.1
HORIZONTAL SLIDER WINDOW	FL 15907.1
SCHLAGE SIDE DOOR	FL 4031.1
FLOOD PLANK BARRIER	FL 45378



Vicinity map (NTS)



Location map (NTS)

**STRUCTURAL DESIGN CRITERIA**

**FLORIDA BUILDING CODE:**

FLORIDA ACCESSIBILITY CODE, 6th EDITION (2017)  
THE PROPOSED ELECTRICAL, MECHANICAL, AND PLUMBING IS DESIGNED AND TO BE INSTALLED IN ACCORDANCE WITH PLANS AND COMPLY TO:  
FBC 6th EDITION (2017)  
FBC - PLUMBING 6th EDITION (2017)  
FBC - MECHANICAL 6th EDITION (2017)  
NFPA 2015- NEC 2014  
FLORIDA FIRE PREVENTION CODE 6th EDITION (2017)  
CONSTRUCTION TYPE: V-B  
OCCUPANCY: CITY HALL COMPLEX  
B-BUSINESS / A-3 ASSEMBLY  
NUMBER OF FLOORS: TWO  
FOUNDATION: MONOLITHIC SLAB ON GRADE  
FLORIDA FIRE PREVENTION CODE 6th EDITION.

BFE = 10'-0" NAVD  
+ 2'-0" FREEBOARD

**COMPONENT AND CLADDING**

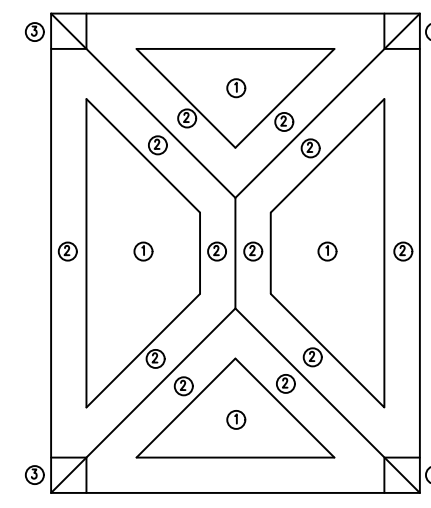
WIND SPEED	150 MPH
WIND EXPOSURE CATEGORY	C
DESIGN PRESSURE	52.2 PSF
WIND IMPORTANCE FACTOR	1.0
BUILDING RISK CATEGORY	2
APPLICABLE INTERNAL PRESSURE COEFFICIENT	+/- 0.18
SOIL BEARING PRESSURE IF REQ. qq	=3000 psf

ROOF WIND PRESSURE					
ZONE	UPLIFT PRESSURE	UPLIFT PRESSURE	UPLIFT PRESSURE	UPLIFT PRESSURE	
	< 100 SQ. FT.	< 50 SQ. FT.	< 20 SQ. FT.	< 10 SQ. FT.	
Roof Angle >0-10 degrees	1	56.0	58.0	60.0	62.0
	2	67.0	78.0	92.0	103.0
	3	67.0	78.0	92.0	103.0
Roof Angle >10-30 degrees	1	51.0	53.0	55.0	56.0
	2	72.0	80.0	90.0	98.0
	3	72.0	80.0	90.0	90.0
Roof Angle >30-45 degrees	1	51.0	54.0	58.0	62.0
	2	62.0	65.0	69.0	72.0
	3	62.0	65.0	69.0	72.0

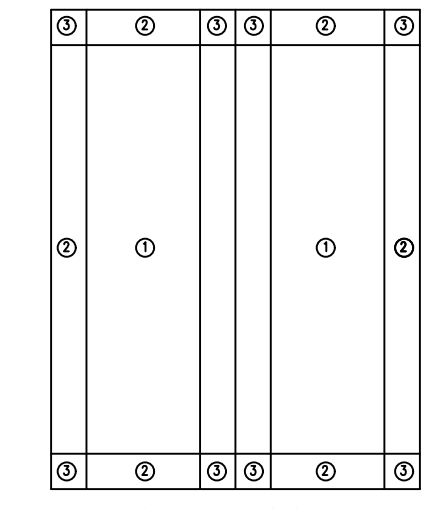
NEGATIVE WIND PRESSURE ON DOORS / WINDOWS / WALLS				
Location of Building - Zone	NEGATIVE PRESS.	NEGATIVE PRESS.	NEGATIVE PRESS.	NEGATIVE PRESS.
	< 100 SQ. FT.	< 50 SQ. FT.	< 20 SQ. FT.	< 10 SQ. FT.
FIELD AREA - 4	58.0	55.0	64.0	67.0
CORNER AREA - 5	64.0	59.0	77.0	83.0

ROOF OVERHANG			
ZONE	UPLIFT PRESSURE	UPLIFT PRESSURE	UPLIFT PRESSURE
	< 100 SQ. FT.	< 20 SQ. FT.	< 10 SQ. FT.
Roof Angle >0-10 degrees	84	87	89
	2 & 3		
Roof Angle >10-30 degrees	115	115	115
	2 & 3		
Roof Angle >30-45 degrees	94	101	104
	2 & 3		

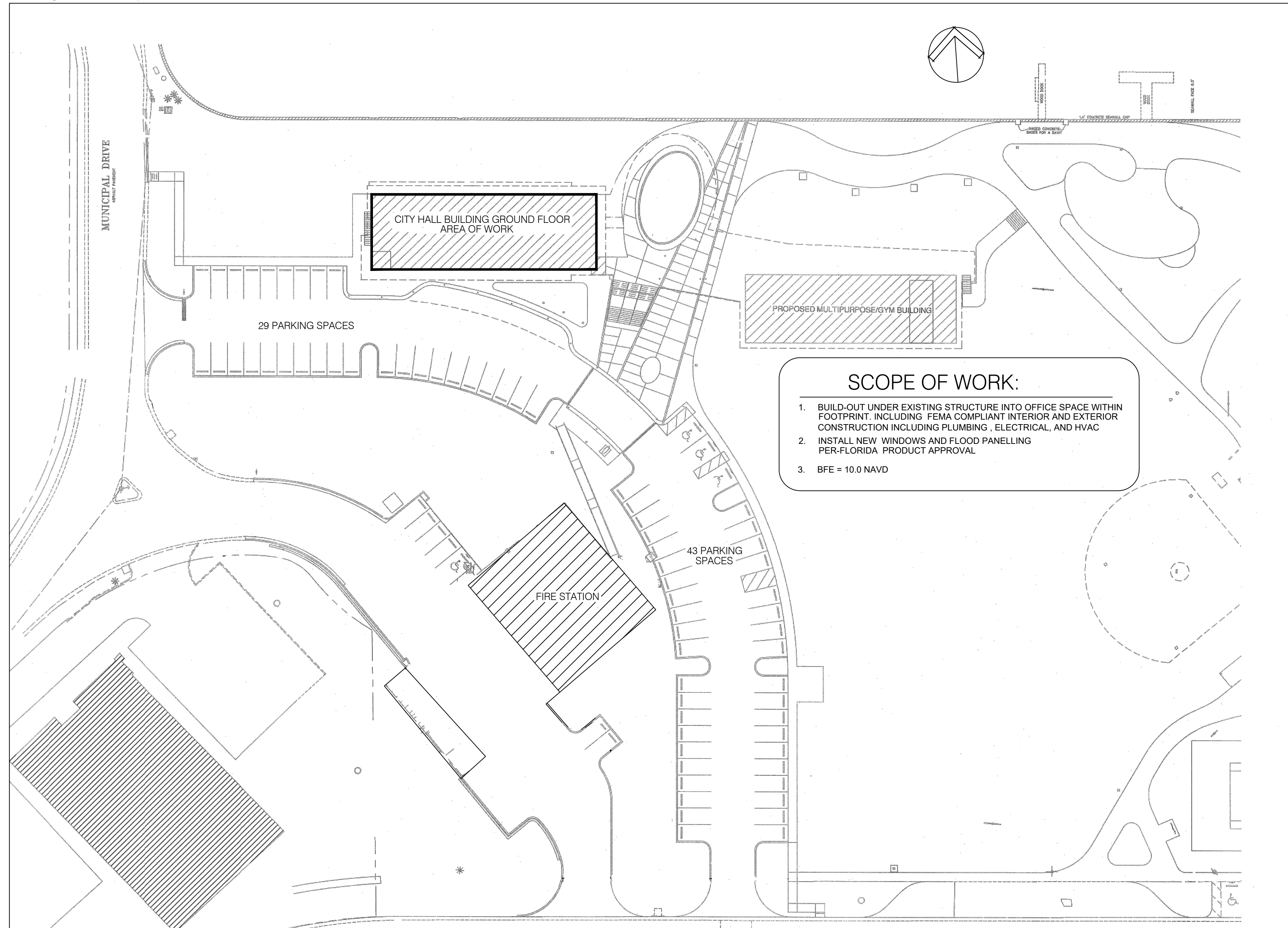
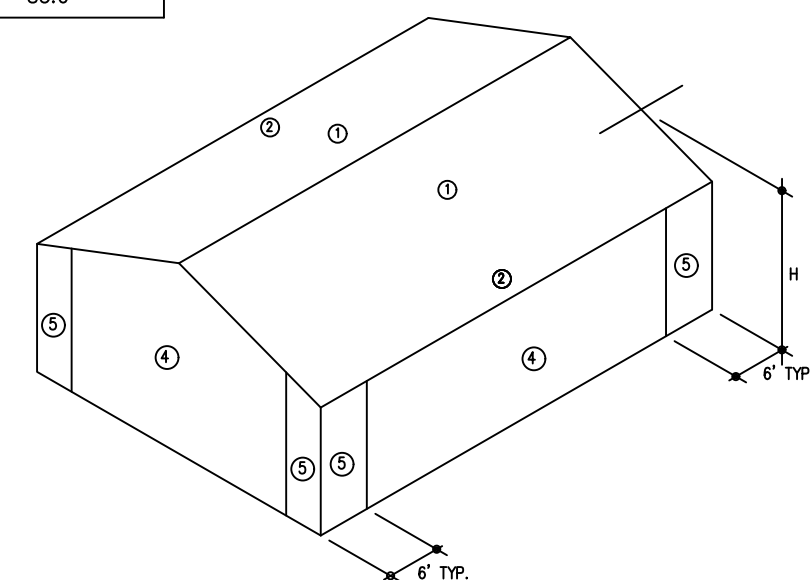
NEGATIVE WIND PRESSURE AS SHOWN IN CHART BASED ON TRIBUTARY AREA INDICATED.



HIP ROOF



CABLE ROOF



**SCOPE OF WORK:**

1. BUILD-OUT UNDER EXISTING STRUCTURE INTO OFFICE SPACE WITHIN FOOTPRINT INCLUDING FEMA COMPLIANT INTERIOR AND EXTERIOR CONSTRUCTION INCLUDING PLUMBING, ELECTRICAL, AND HVAC
2. INSTALL NEW WINDOWS AND FLOOD PANNELLING PER-FLORIDA PRODUCT APPROVAL
3. BFE = 10.0 NAVD

**SITE PLAN**

SCALE: 1" = 20'-0"

PROFESSIONAL STATEMENT TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS ESTABLISHED IN ACCORDANCE WITH CHAPTERS 55 AND 55S, LAWS OF FLORIDA.

JOHN A. BODZIAK, ARCHITECT AIA, PA, ARCHITECT REGISTRATION NO. AR00050865, 743 46th STREET N, SUITE 200, ST. PETERSBURG, FLORIDA 33710, TEL: (727) 327-1866 FAX: (727) 826-6988

DRAWN BY: MT / CS  
UPDATED ON: Sep. 8, 20  
DATE: 11-22-2019  
JOB PROJECT #: 2018-031  
SHEET #

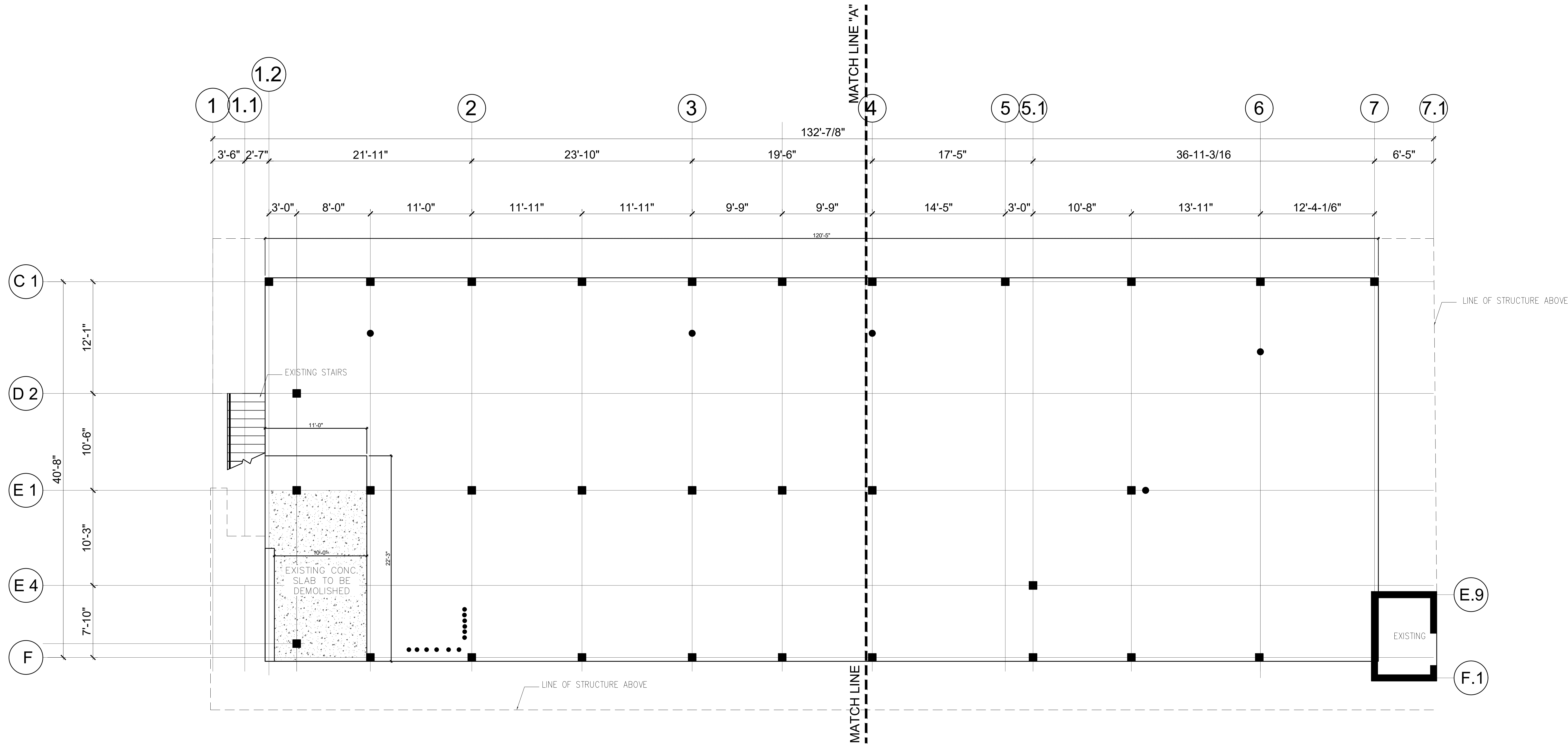
REVISIONS

NO.	DATE	DESCRIPTION
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CLIENT

SEAL

Remodel & Build-out  
**MADEIRA BEACH CITY  
HALL COMPLEX**  
300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
**SITE PLAN & SHEET INDEX**



**EXISTING BUILDING PLAN**  
SCALE: 3/16"=1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

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JOHN A. BODZIAK, INC. - FLS 16785  
 JOHN A. BODZIAK, ARCHITECT AIA, PA  
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT  
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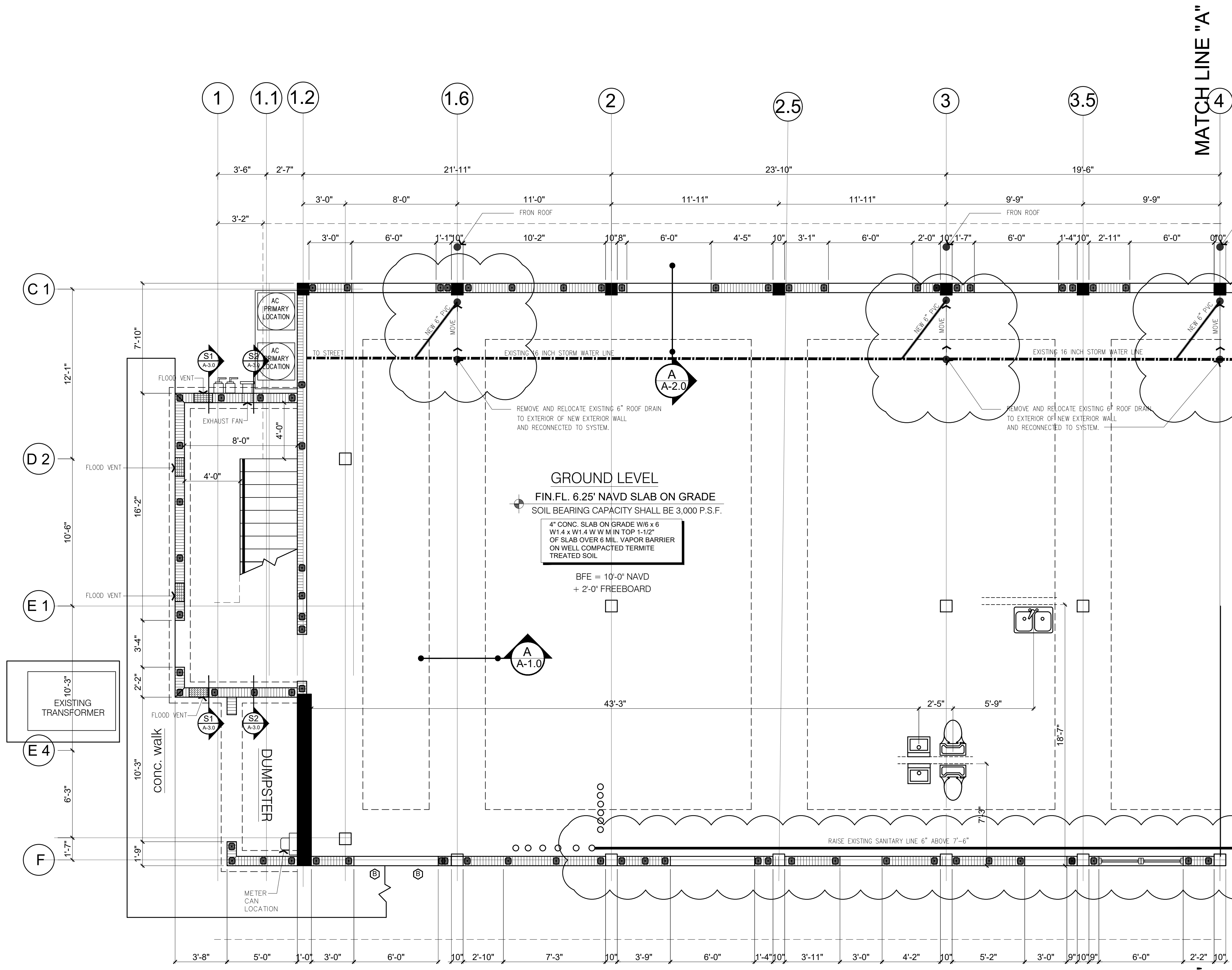
REMODEL & BUILD-OUT  
**MADEIRA BEACH CITY HALL COMPLEX**  
 300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
 EXISTING FLOOR PLAN

CLIENT

SEAL

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 SHEET #

A-0.1



**FOUNDATION PLAN PART "A"**  
SCALE: 1/4"=1'-0"

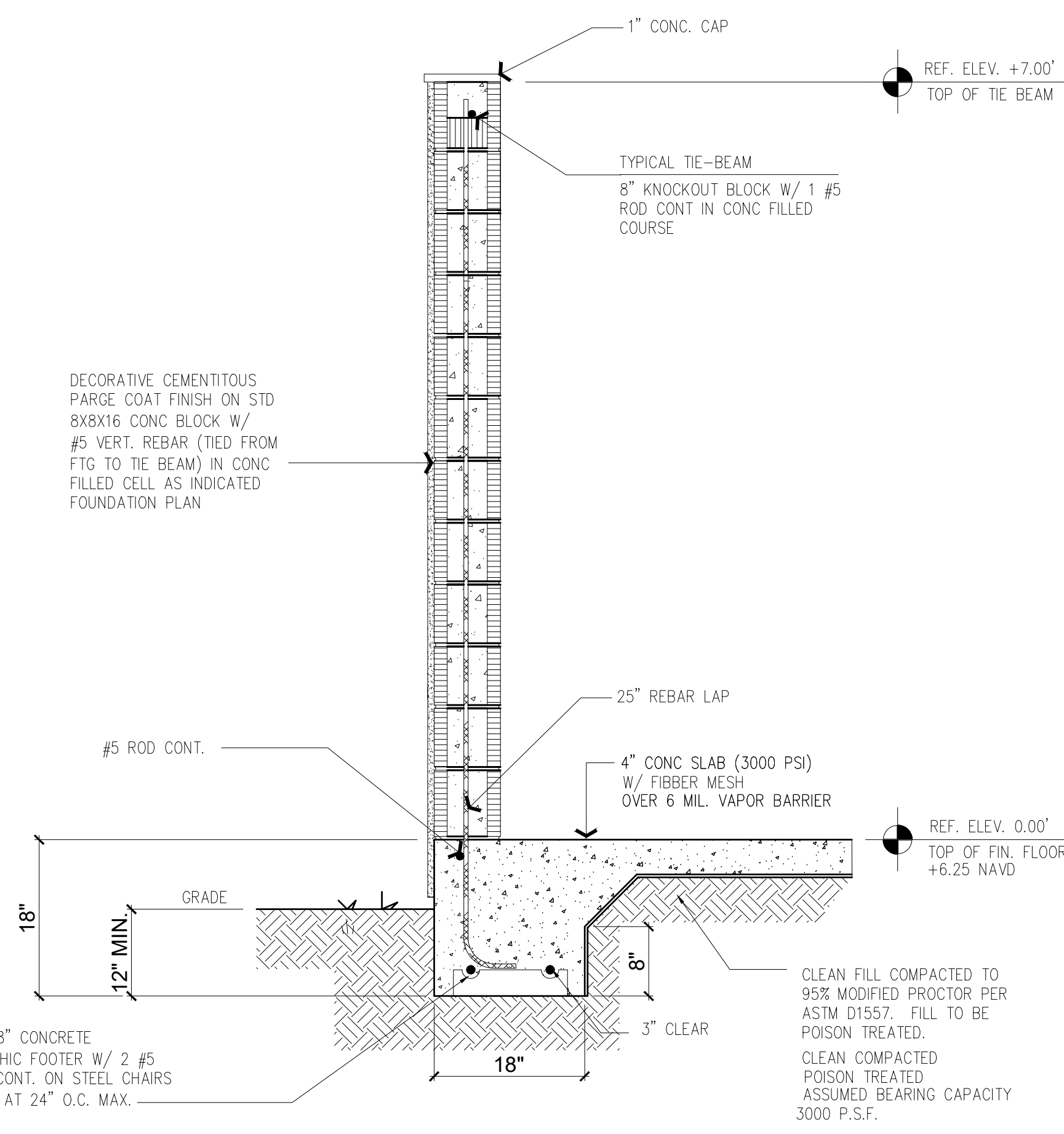
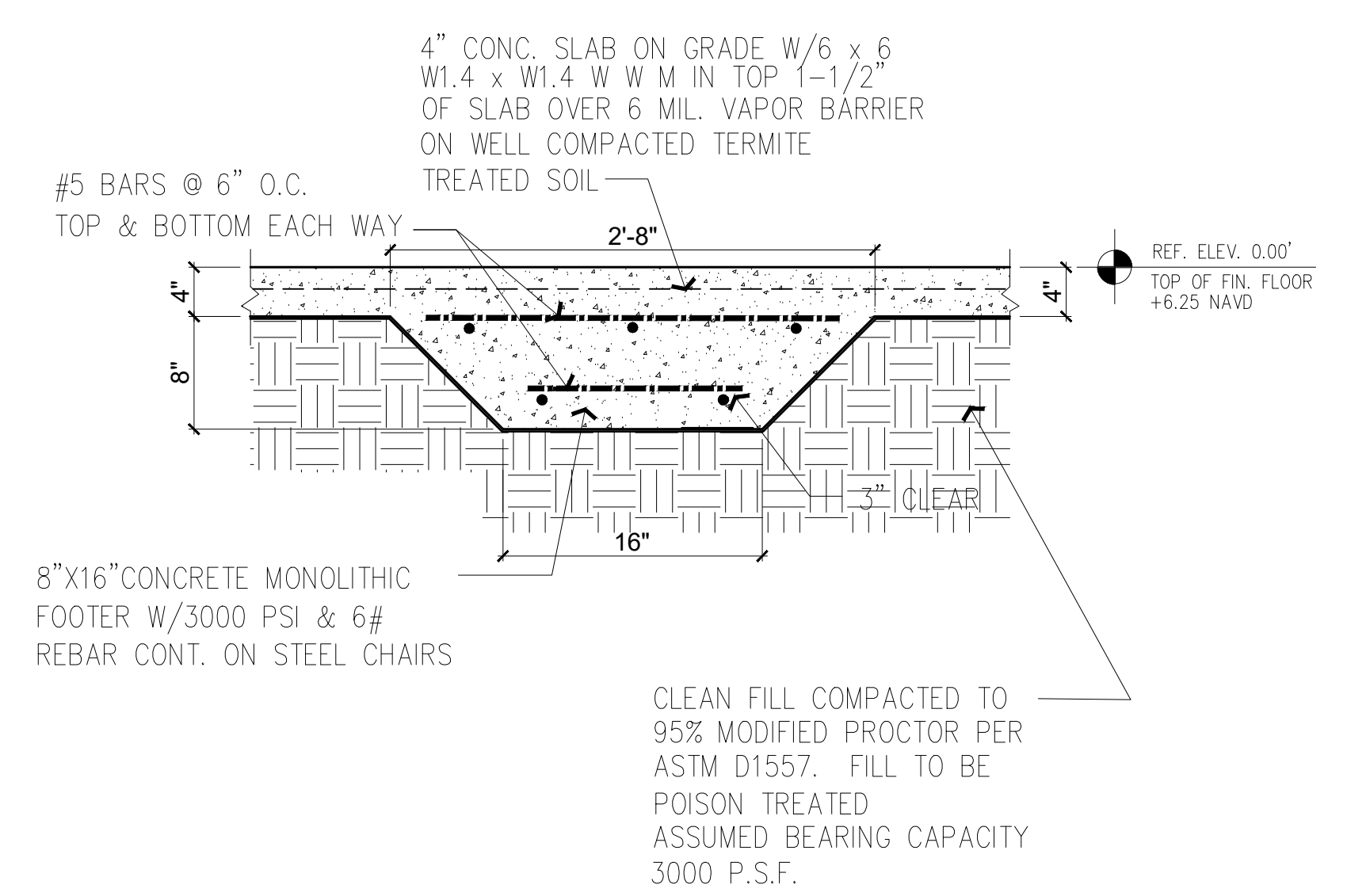
- GENERAL NOTES:**
- DO NOT SCALE THE DRAWINGS. ACTUAL CONDITIONS ARE TO BE FIELD VERIFIED BY THE GENERAL CONTRACTOR.
  - ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND STANDARDS, TO INCLUDE ALL STATE LAWS, AND LOCAL ORDINANCES.
  - REPAIR, PATCH, AND REFINISH ALL EXISTING STRUCTURES AFFECTED BY THIS CONSTRUCTION.
  - ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTORS TO EXPOSE ALL AFFECTED EXISTING CONDITIONS AND RELOCATE, ADJUST, CHANGE OR ABANDON EXISTING CONDITIONS ACCORDING TO ALL APPLICABLE CODES AND LOCAL ORDINANCES.

- VERTICAL REINF.**
- #5 VERTICAL ROD TIED FROM FOOTING TO THE BEAM IN CONCRETE FILLED CELL @ 48" O.C. MAX.
  - EXISTING CONC. 10"x10" COLUMNS TO ABOVE STRUCTURE
  - EXISTING OR RETROFIT #5 VERTICAL FROM FOOTING TO THE BEAM

- WALL LEGEND**
- NEW MASONRY 8x8x16 BLOCK WALL, TOP SLAB ABOVE
  - PATCH TO MATCH EXIST ADJACENT MAT'L'S
  - 1-LAYERS 5/8" DRYWALL BOTH SIDES, ON 3-5/8" METAL STUD FRAMING AT 16" O.C.

**SQ. FT. AREA**

BUILDING AREA	4,992 SQ.FT.
A/C AREA	4,772 SQ.FT.



PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 63, LAWS OF FLORIDA.

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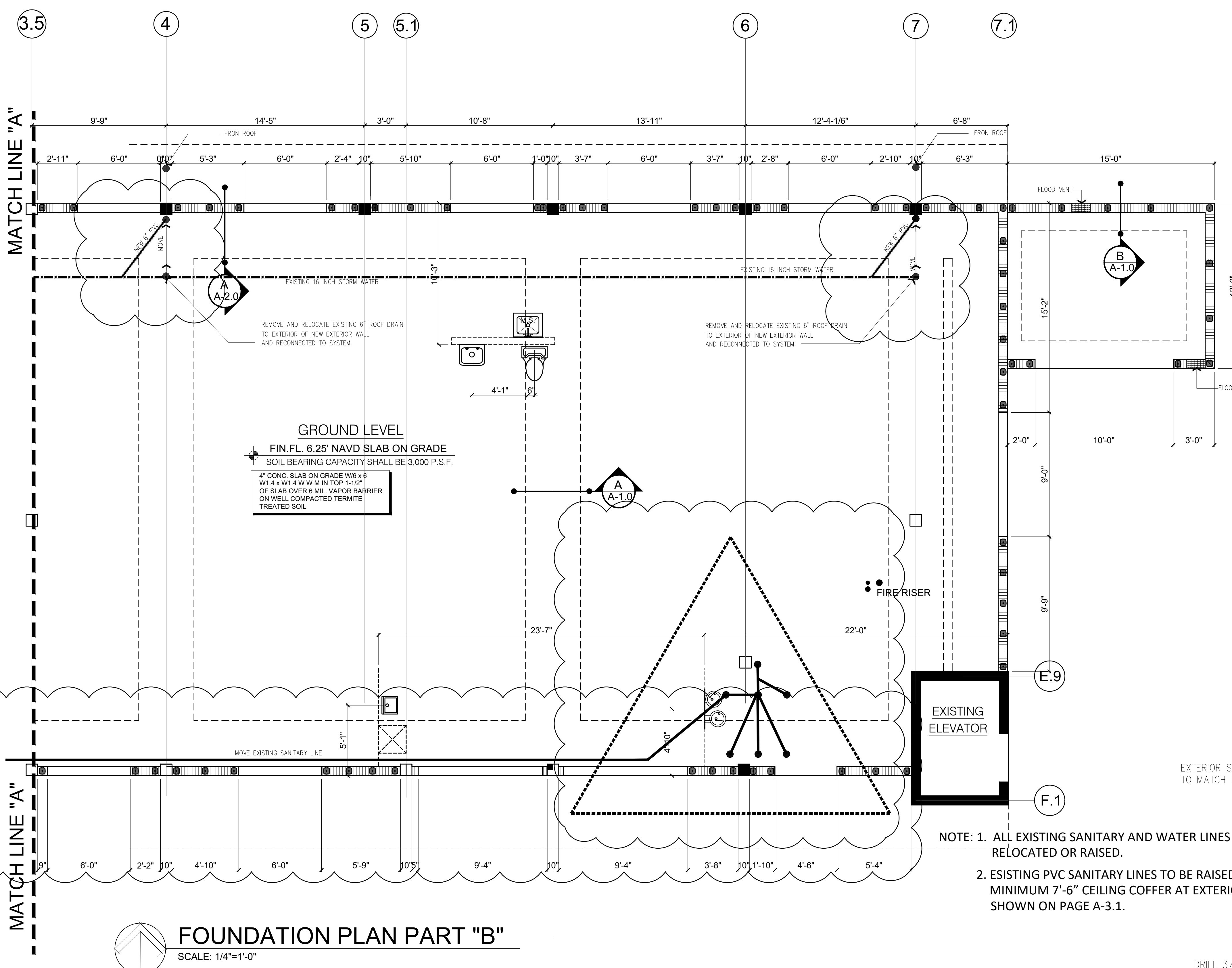
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**Remodel & Build-out  
MADEIRA BEACH CITY  
HALL COMPLEX**  
300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
FOUNDATION PLAN PART "A"

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**A-1.0**



**GROUND LEVEL**  
 FIN.FL. 6.25' NAVD SLAB ON GRADE  
 SOIL BEARING CAPACITY SHALL BE 3,000 P.S.F.  
 4" CONC. SLAB ON GRADE W/6 x 6  
 W/1.4 x W/1.4 W/W M IN TOP 1-1/2"  
 OF SLAB OVER 6 MIL VAPOR BARRIER  
 ON WELL COMPACTED TERMITE  
 TREATED SOIL

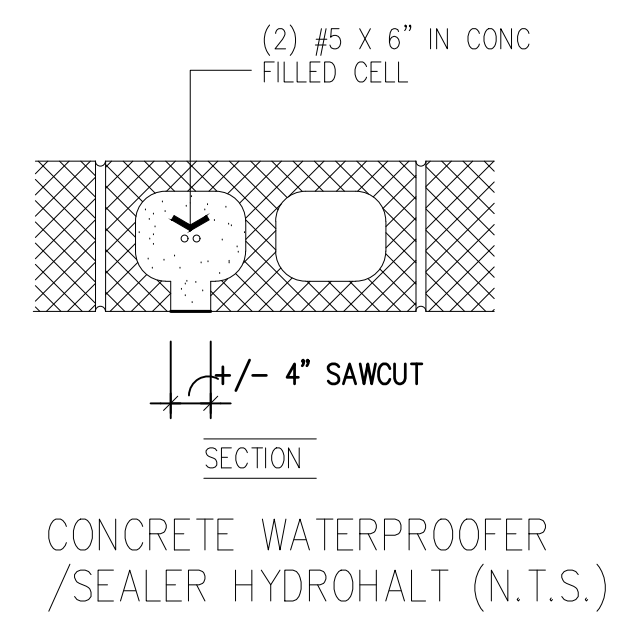
**FOUNDATION PLAN PART "B"**  
 SCALE: 1/4"=1'-0"

**VERTICAL REINF.**

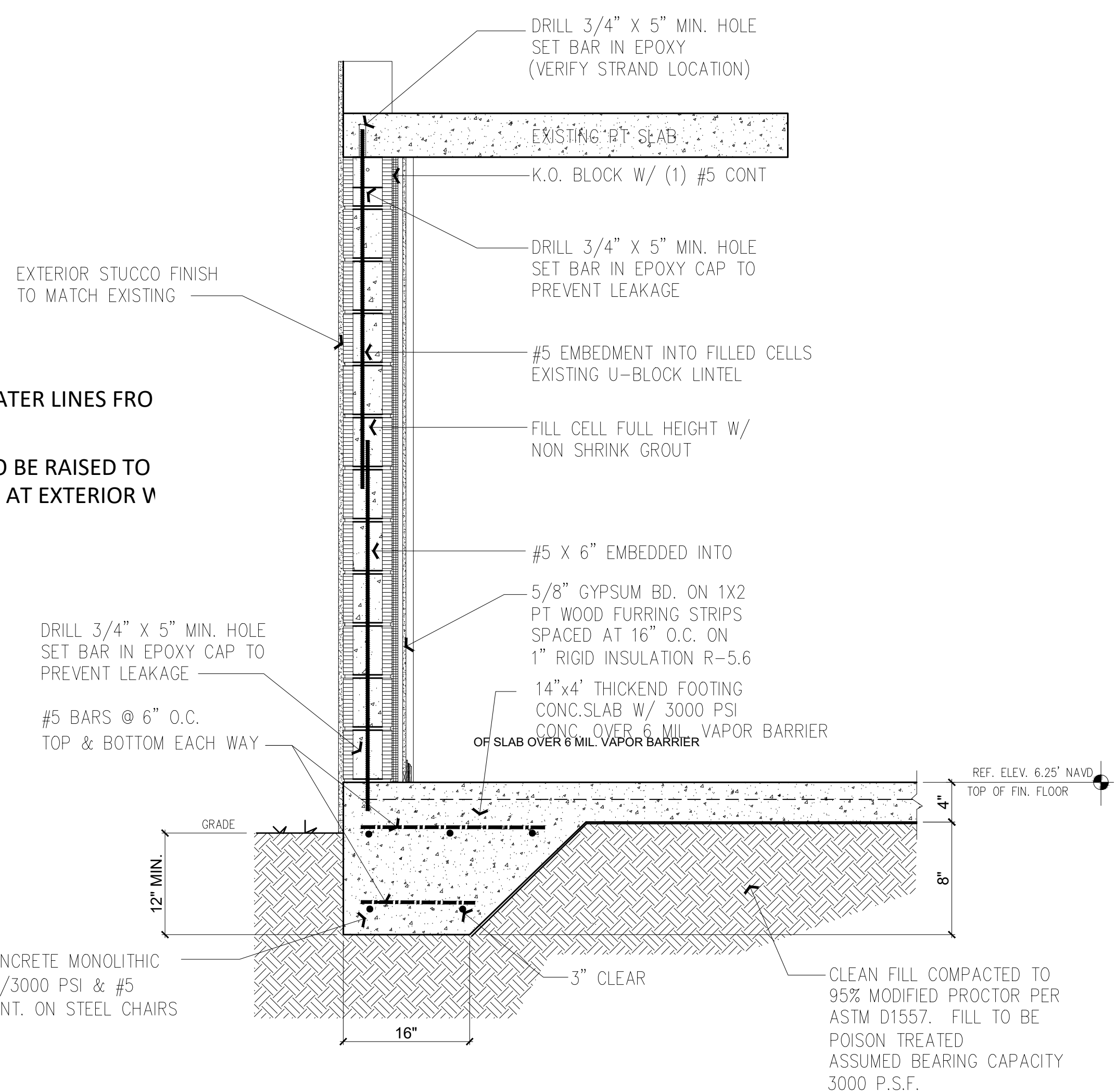
- #5 VERTICAL ROD TIED FROM FOOTING TO THE BEAM IN CONCRETE FILLED CELL @ 48" O.C. MAX.
- EXISTING CONC. 10"x10" COLUMNS TO ABOVE STRUCTURE
- EXISTING OR RETROFIT #5 VERTICAL FROM FOOTING TO THE BEAM

**WALL LEGEND**

- ▨ NEW MASONRY 8x8x16 BLOCK WALL, TOP SLAB ABOVE
- ▨ PATCH TO MATCH EXIST ADJACENT MAT'L'S
- ▨ 1-LAYERS 5/8" DRYWALL BOTH SIDES, ON 3-5/8" METAL STUD FRAMING AT 16" O.C.



- NOTE: 1.** ALL EXISTING SANITARY AND WATER LINES FRO RELOCATED OR RAISED.  
**2.** ESISTING PVC SANITARY LINES TO BE RAISED TO MINIMUM 7'-6" CEILING COFFER AT EXTERIOR V SHOWN ON PAGE A-3.1.



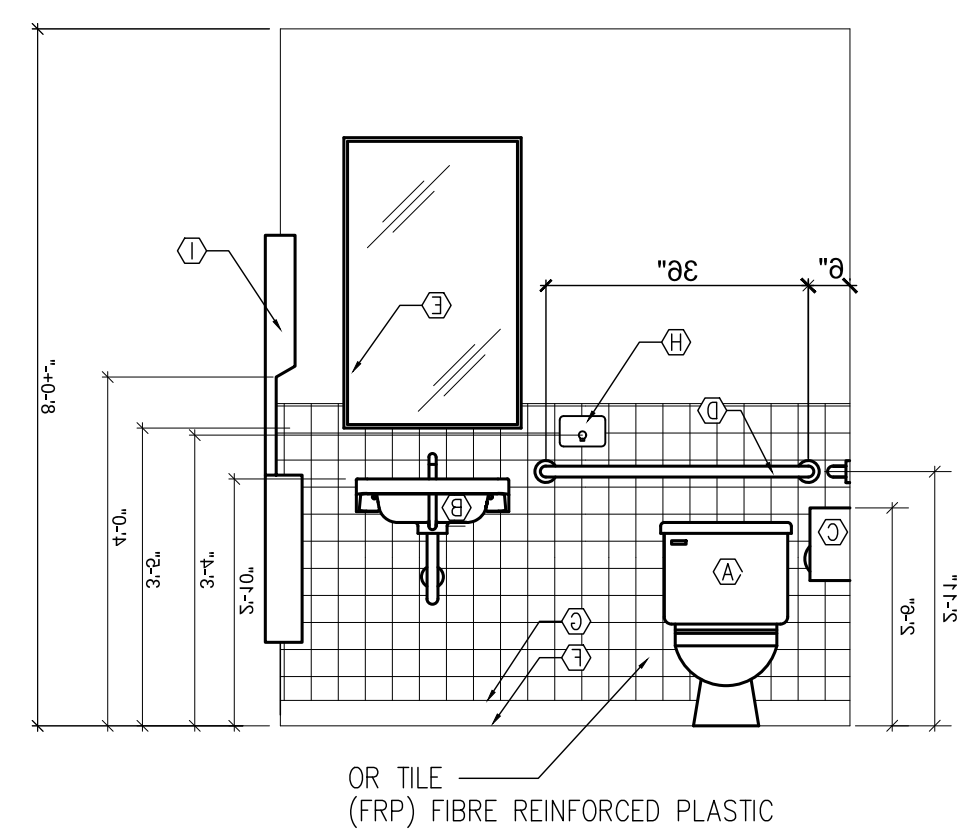
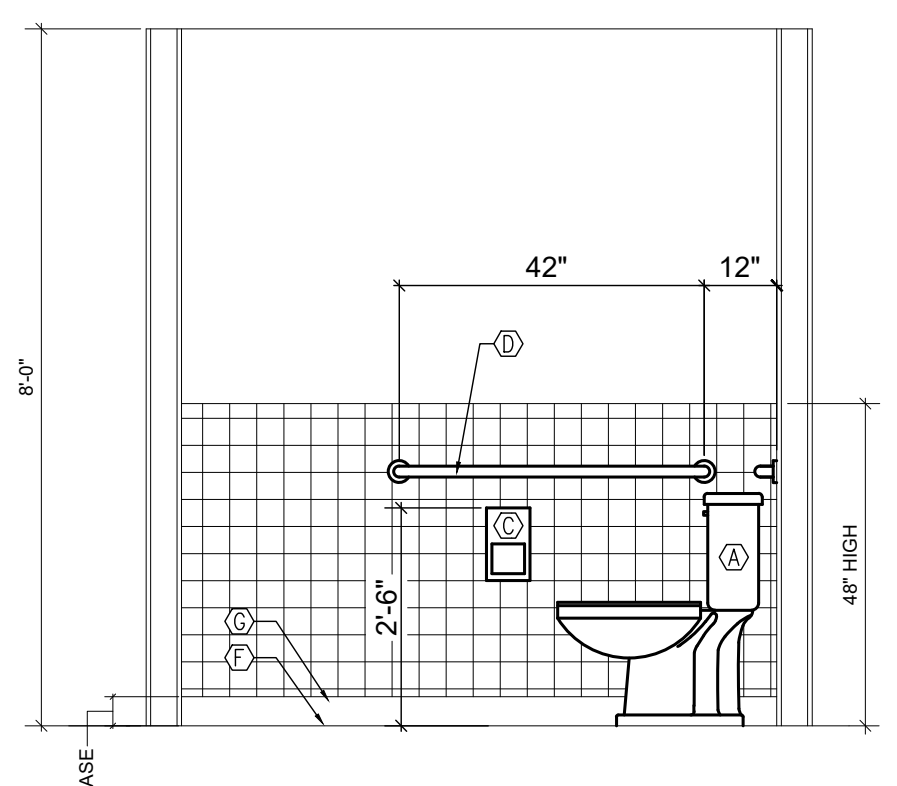
**PLUMBING FIXTURE SCHEDULE**

MARK	ITEM	MODEL	MOUNTING HEIGHT
ⓐ	FLOOR MOUNTED TOILET	SEE PLUMBING PLANS	Eco Drake? Close Coupled Toilet, ADA, 1.28GPF ADA.
ⓑ	WALL MOUNTED LAVATORY	SEE PLUMBING PLANS	ADA.
ⓒ	TOILET TISSUE DISPENSER	"BRADLEY" MODEL # 5402	TOP OF UNIT = 2'-6" A.F.F.
ⓓ	GRAB BARS	"BRADLEY" MODEL # 817	CENTER OF GRAB BAR = 2'-11" A.F.F.
ⓔ	WALL MIRROR	(TOP OF MIRROR ANGLE FROM WALL PER ADA)	BOTTOM OF MIRROR = 3'-2" A.F.F.
ⓕ	TILE ON FLOOR	(BY FUTURE TENANT)	
ⓖ	VINYL BASE	(BY FUTURE TENANT)	BOTTOM OF MIRROR = 3'-2" A.F.F.
ⓗ	SOAP DISPENSER	GOJO LTX 1200mL MODEL # 1919-04	DISPENSER AT = 3'-4" A.F.F.
ⓘ	PAPER TOWEL DISPENSER	BOBRICK MODEL # B-3944	DISPENSER AT = 4'-0" A.F.F.

**ADA RESTROOM**

**PLUMBING FIXTURE SCHEDULE**

MARK	ITEM	MODEL	MOUNTING HEIGHT
ⓐ	MOP SINK	SE1818M mop Sink 1 Compartment Stainless	Steel 18 x 18 x 13 Bow/AA-710 10in Spout Faucet
ⓑ	DRINKING FOUNTAIN	Elkay EZSTLDDSC Stainless Steel ADA Wall Mount	Bi-Level Barrier Free Drinking Fountain
ⓒ	WATER HEATER	Reliance? (6 20 SQM S K)	Compact Electric/Water Heater



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Remodel & Build-out  
**MADEIRA BEACH CITY HALL COMPLEX**  
 300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
 FOUNDATION PLAN PART "B"

REVISIONS

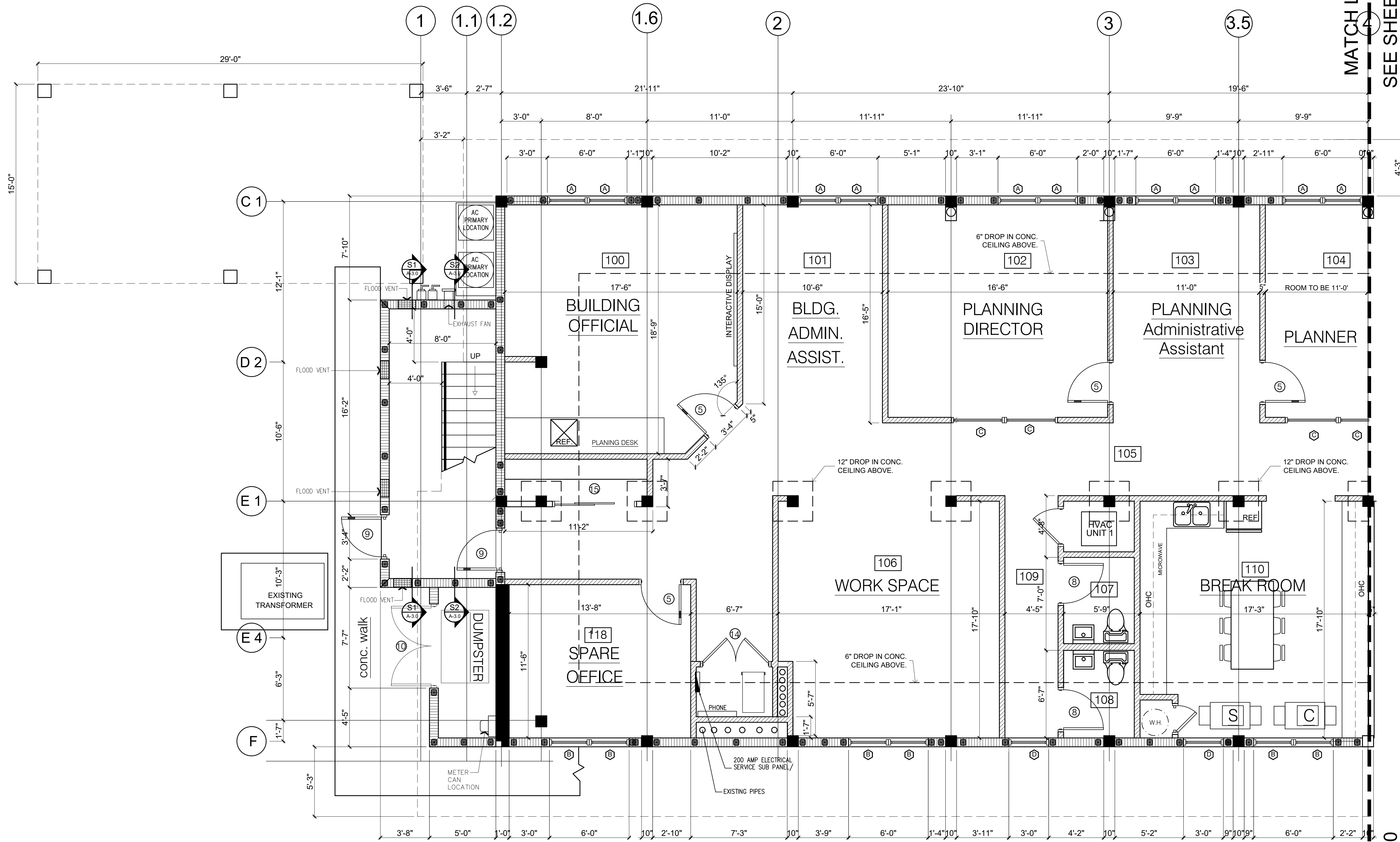
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**A-2.0**



**NEW FLOOR PLAN PART "A"**  
SCALE: 1/4"=1'-0"

**GENERAL NOTES:**

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**VERTICAL REINF.**

- #5 VERTICAL ROD TIED FROM FOOTING TO THE BEAM IN CONCRETE FILLED CELL @ 48" O.C. MAX.
- 2-#5 VERT TIED FROM FTG INTO THE BEAM IN CONC FILLED CELL
- EXISTING OR RETROFIT #5 VERTICAL FROM FOOTING TO THE BEAM

**WALL LEGEND**

- NEW MASONRY BLOCK WALL, TO SLAB ABOVE
- PATCH TO MATCH EXIST ADJACENT MATL'S
- 1-LAYERS 5/8" DRYWALL BOTH SIDES, ON 3-5/8" METAL STUD FRAMING AT 16" O.C. W/ SOUND INSULATION

**SQ. FT. AREA**

BUILDING AREA	4992 SQ.FT.
A/C AREA	4,772 SQ.FT.

**NOTES:**

- ALL CONCRETE SLABS BELOW BFE MUST BE FRANGIBLE.
- LOWEST HORIZONTAL STRUCTURAL MEMBER MUST BE ABOVE +10'-0" BFE + FREEBOARD OF 2'-0".
- UTILITIES IN VE ZONE MUST BE ABOVE BFE.
- ALL UTILITIES AND DUCTWORK MUST BE ABOVE BFE OF 10 FEET +2'-0" FREEBOARD
- CONTRACTOR WILL PROCURE FIRE SPRINKLER AND FIRE ALARM DRAWINGS FROM LICENSED SUB-CONTRACTOR PER APPLICABLE CODES AS A PART OF HIS BID PACKAGE.

MATCH LINE "A"  
SEE SHEET A-4.0

PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 63, LAWS OF FLORIDA.

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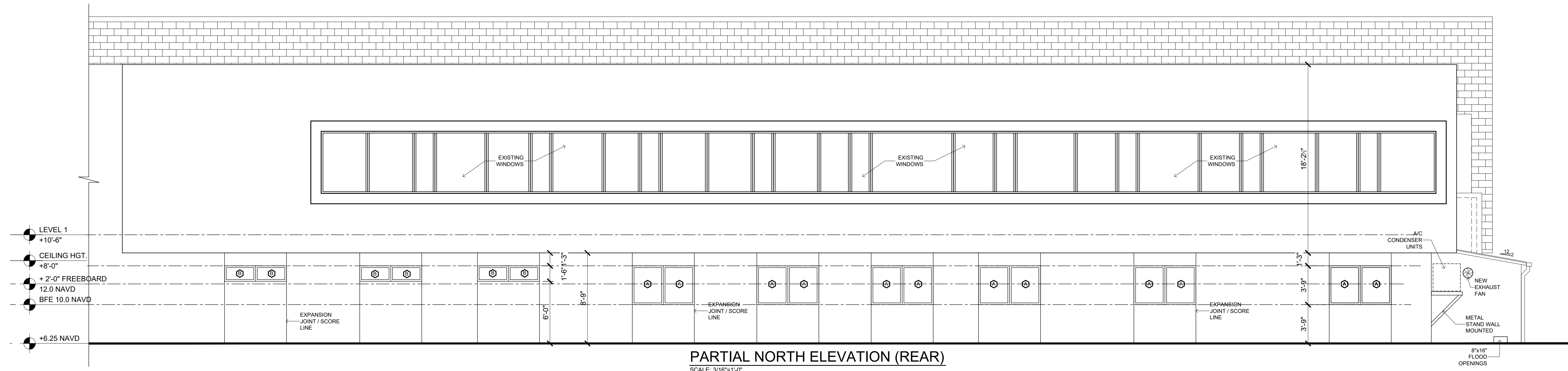
Remodel & Build-out  
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300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
NEW FLOOR PLAN PART "A"

CLIENT

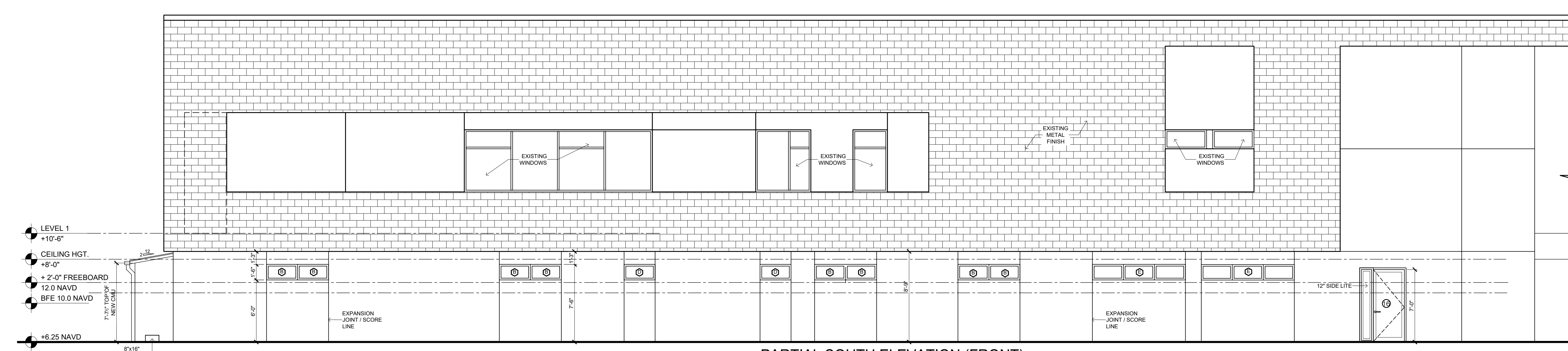
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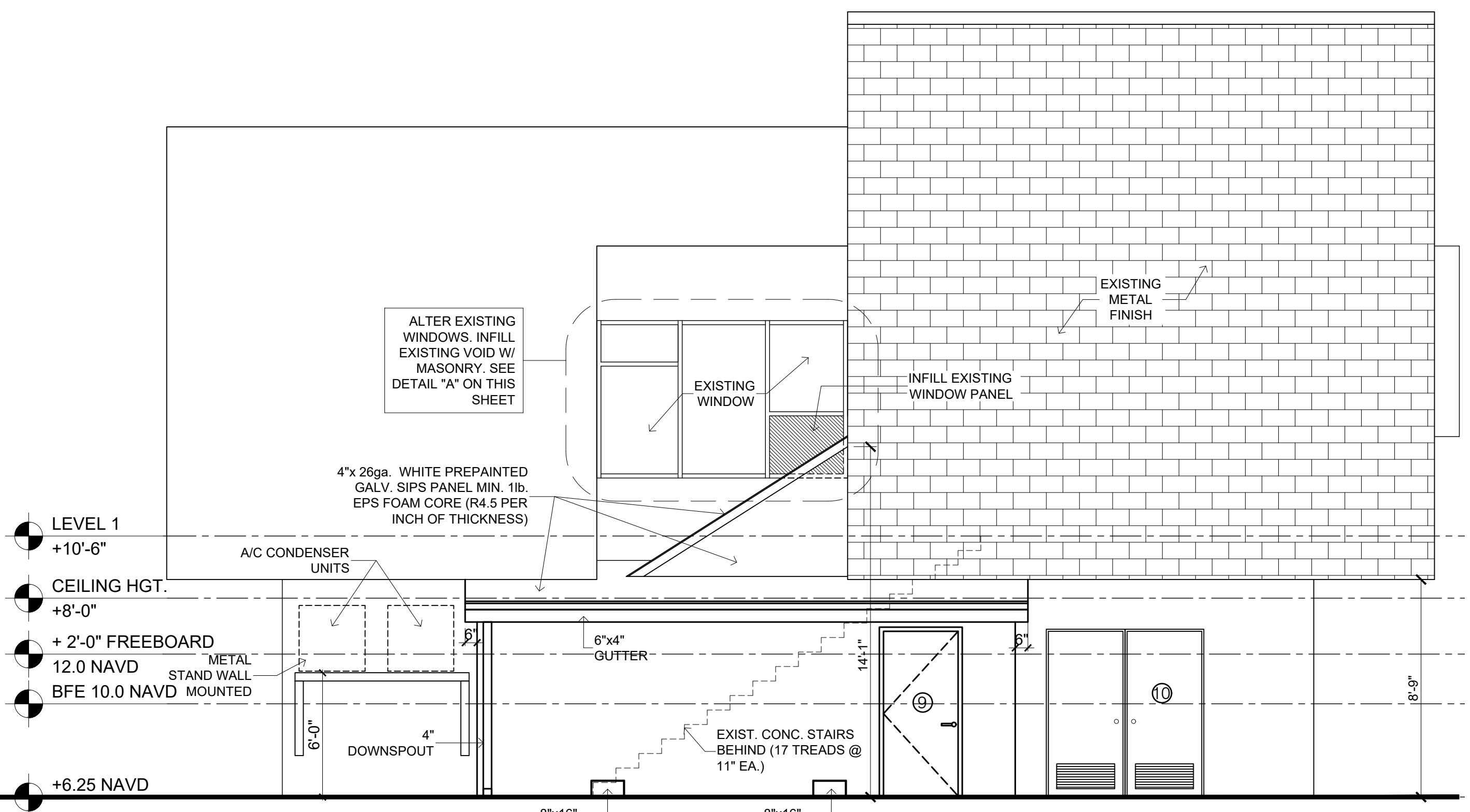
**A-3.0**



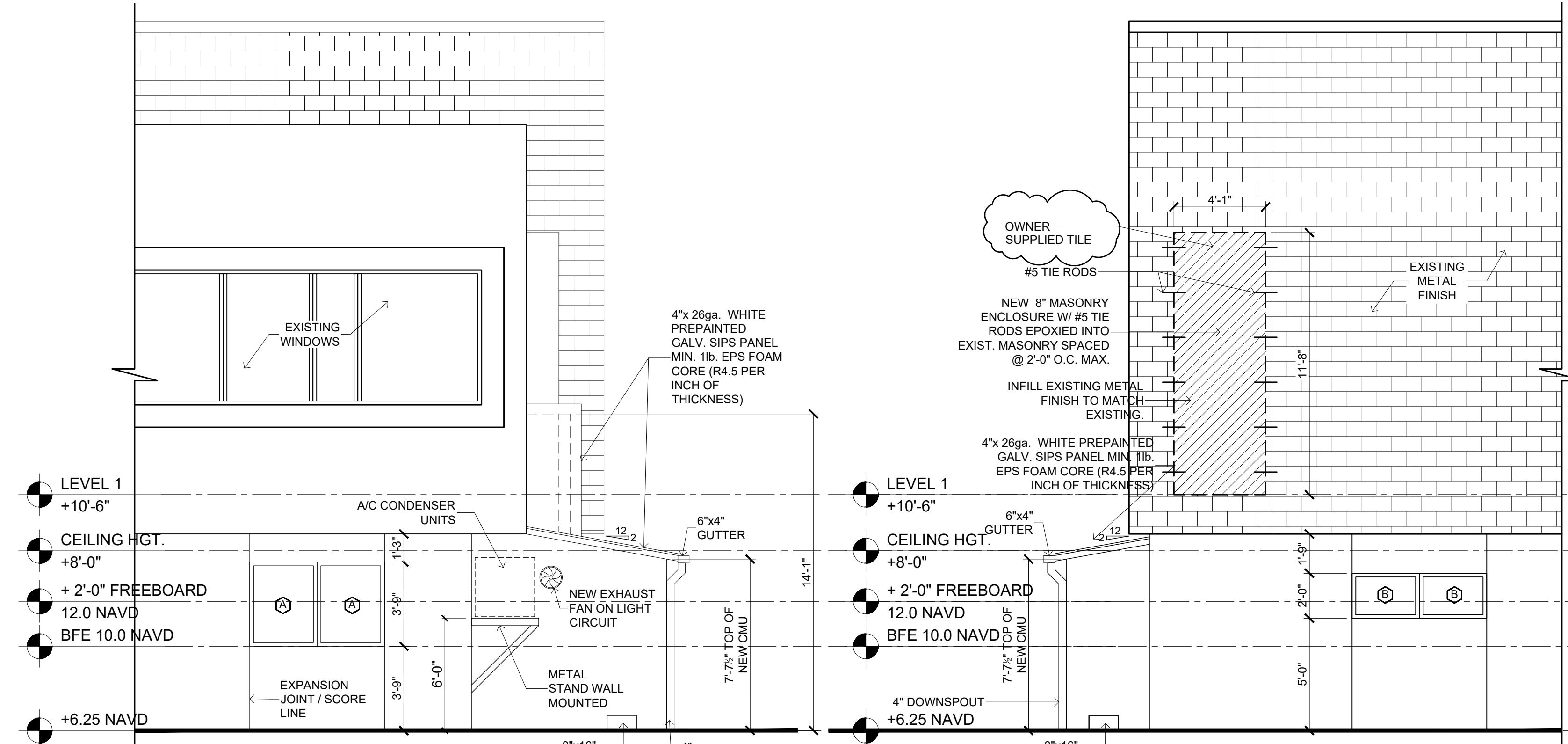
**PARTIAL NORTH ELEVATION (REAR)**  
SCALE: 3/16"=1'-0"



**PARTIAL SOUTH ELEVATION (FRONT)**  
SCALE: 3/16"=1'-0"



**WEST ELEVATION**  
SCALE: 1/4"=1'-0"



**NORTH ELEVATION DETAIL**  
SCALE: 1/4"=1'-0"

**SOUTH ELEVATION DETAIL**  
SCALE: 1/4"=1'-0"

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1	SEPT. 1, 2020	REVISIONS

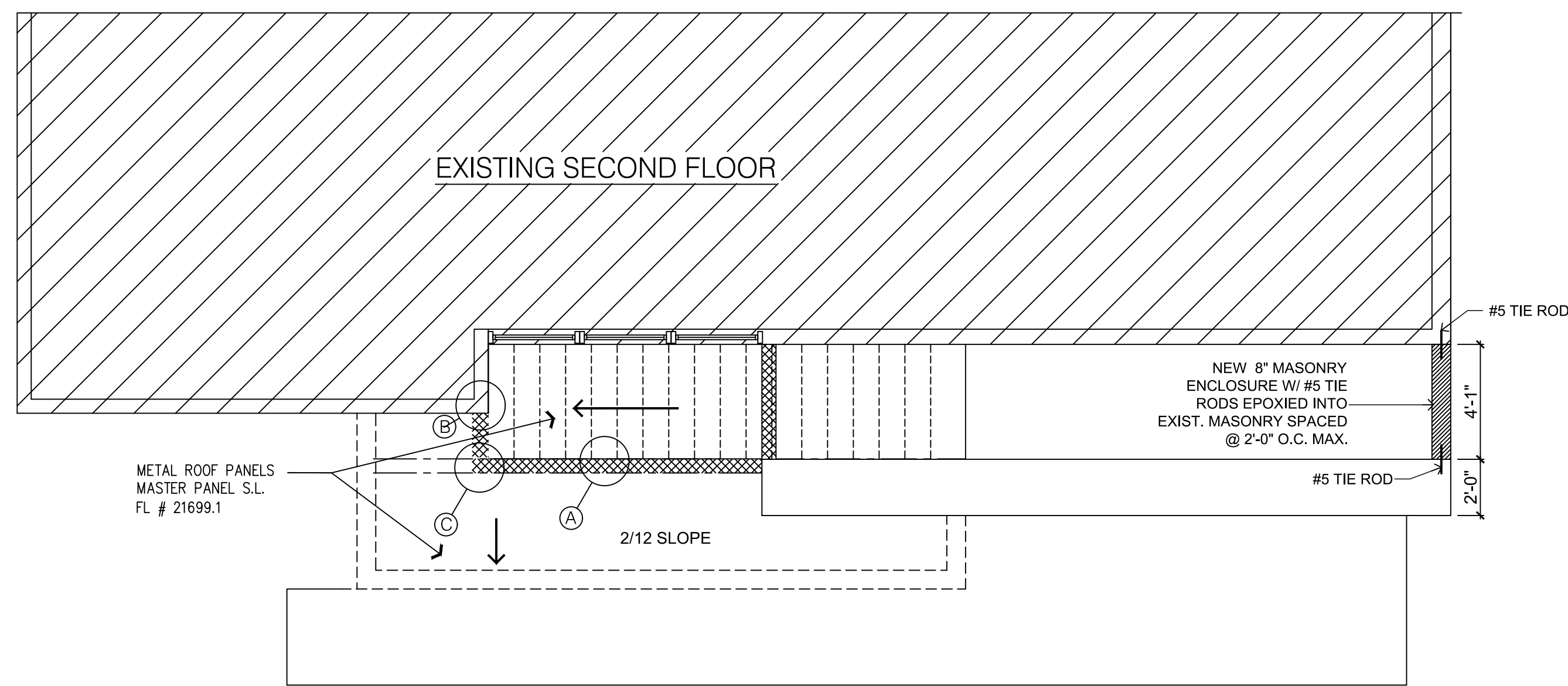
REMODEL & BUILD-OUT  
**MADEIRA BEACH CITY HALL COMPLEX**  
300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
EXTERIOR ELEVATIONS

CLIENT

SEAL

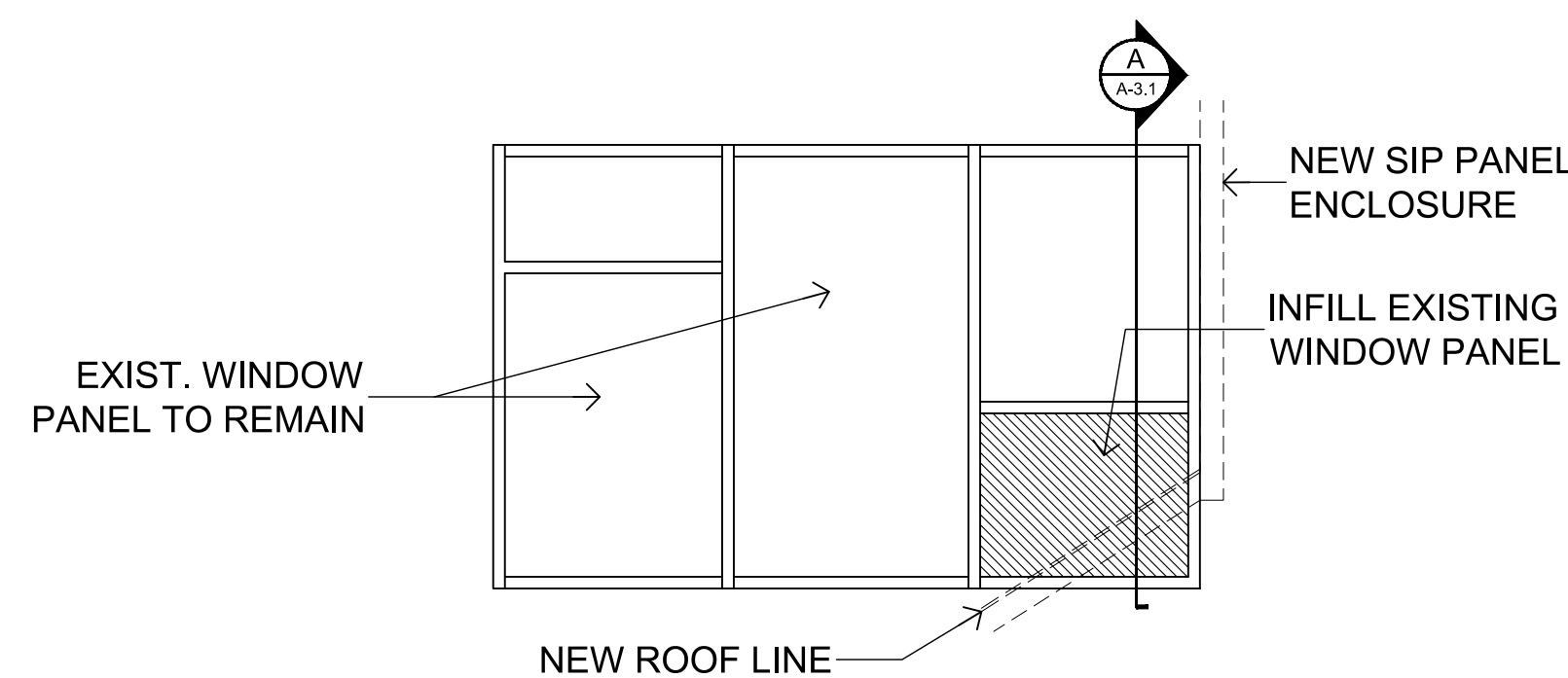
DRAWN BY: MT / CS  
UPDATED ON: Oct. 4, 20  
DATE: 11-22-2019  
JOB PROJECT #: 2018-031  
SHEET #

**A-3.2**



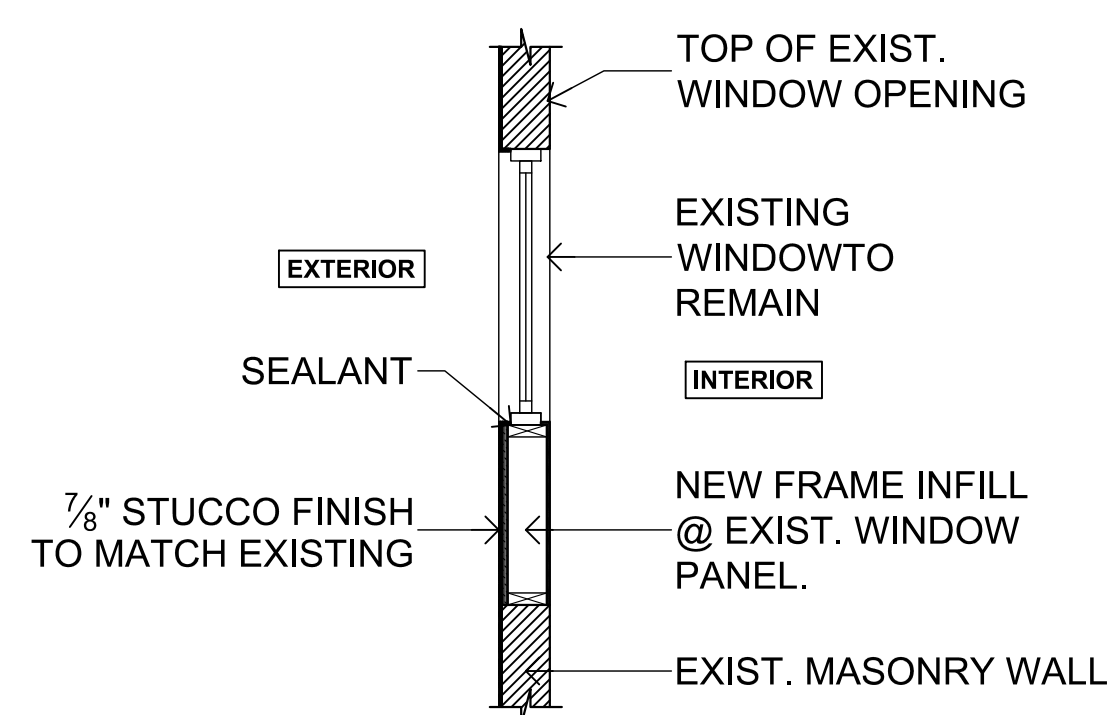
**ROOF FRAMING PLAN**

SCALE: 1/4"=1'-0"



**WINDOW ALTERATION DETAIL**

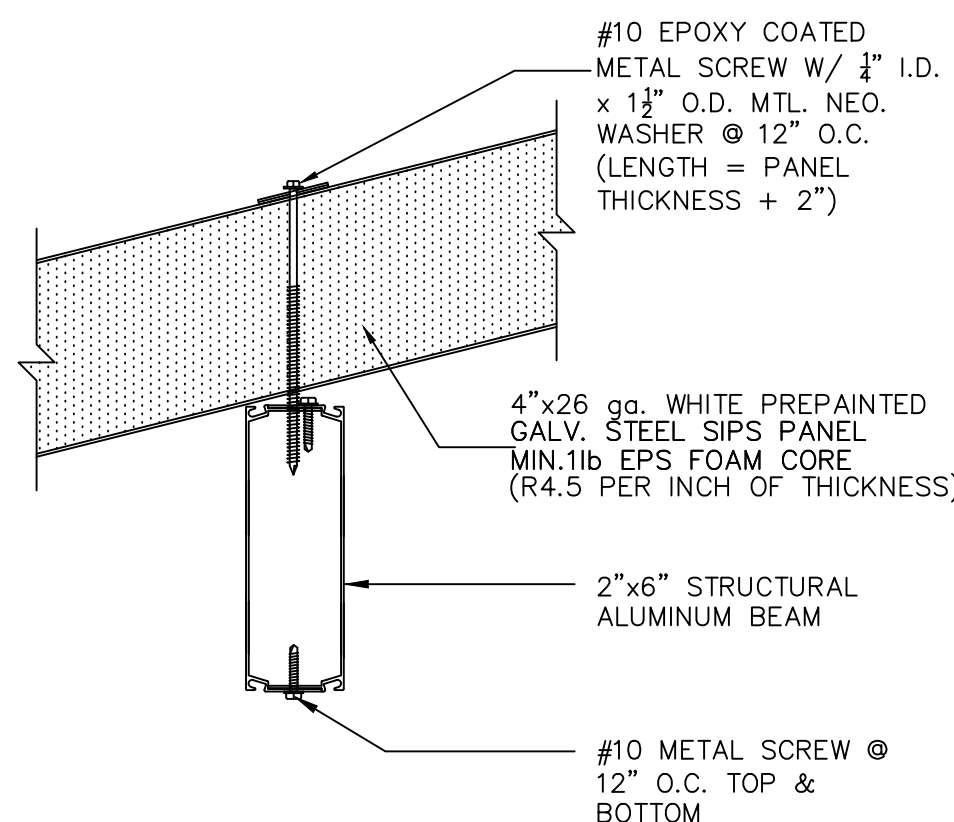
SCALE: 3/8" = 1'-0"



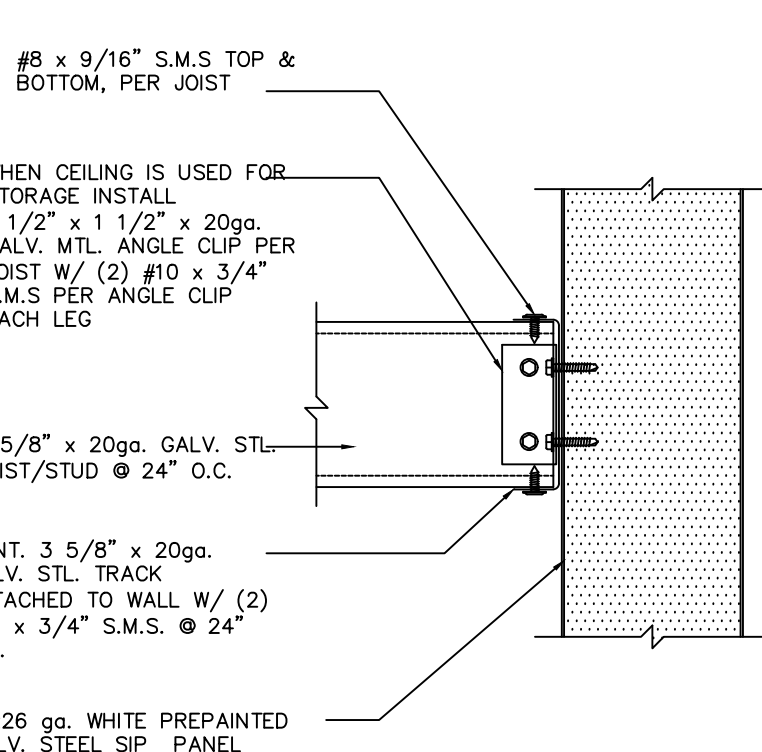
**WINDOW ALTERATION (SECTION)**

SCALE: 3/8" = 1'-0"

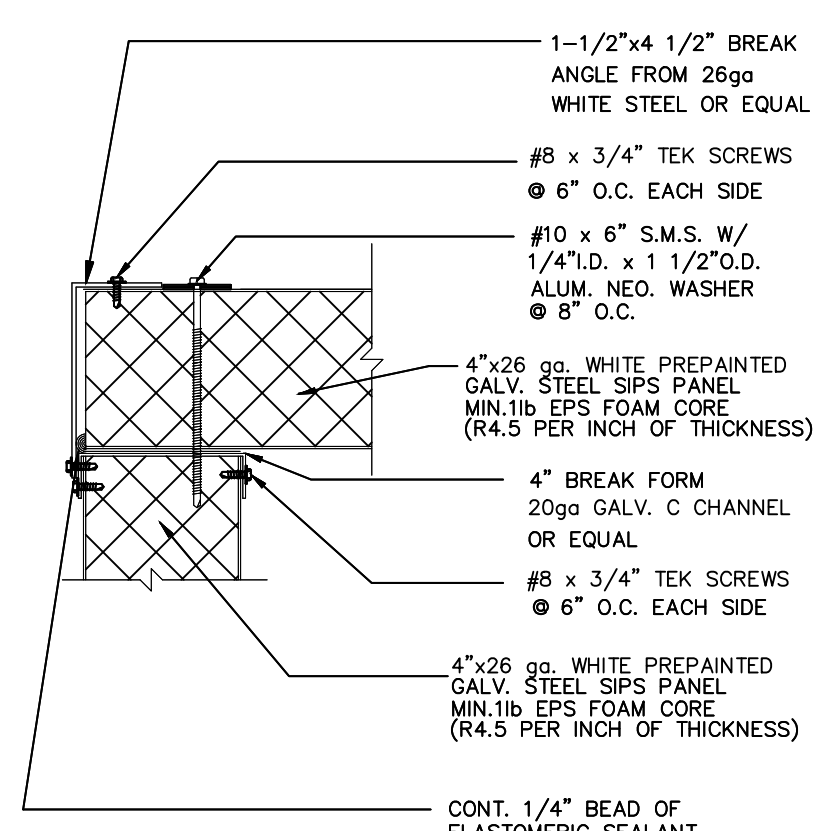
**NOTE:**  
SIP WALL AND ROOF PANELS MAY VARY REGARDING THICKNESS. THE TYPICAL THICKNESS IS 4" AND 6" AS SHOWN, BUT MAY BE GREATER. ALL CONNECTION DETAILS REMAIN THE SAME REGARDLESS OF PANEL THICKNESS, WITH TRACK FASTENERS, AND ACCESSORIES CORRESPONDING TO PANEL THICKNESS AS SHOWN ON PLANS.



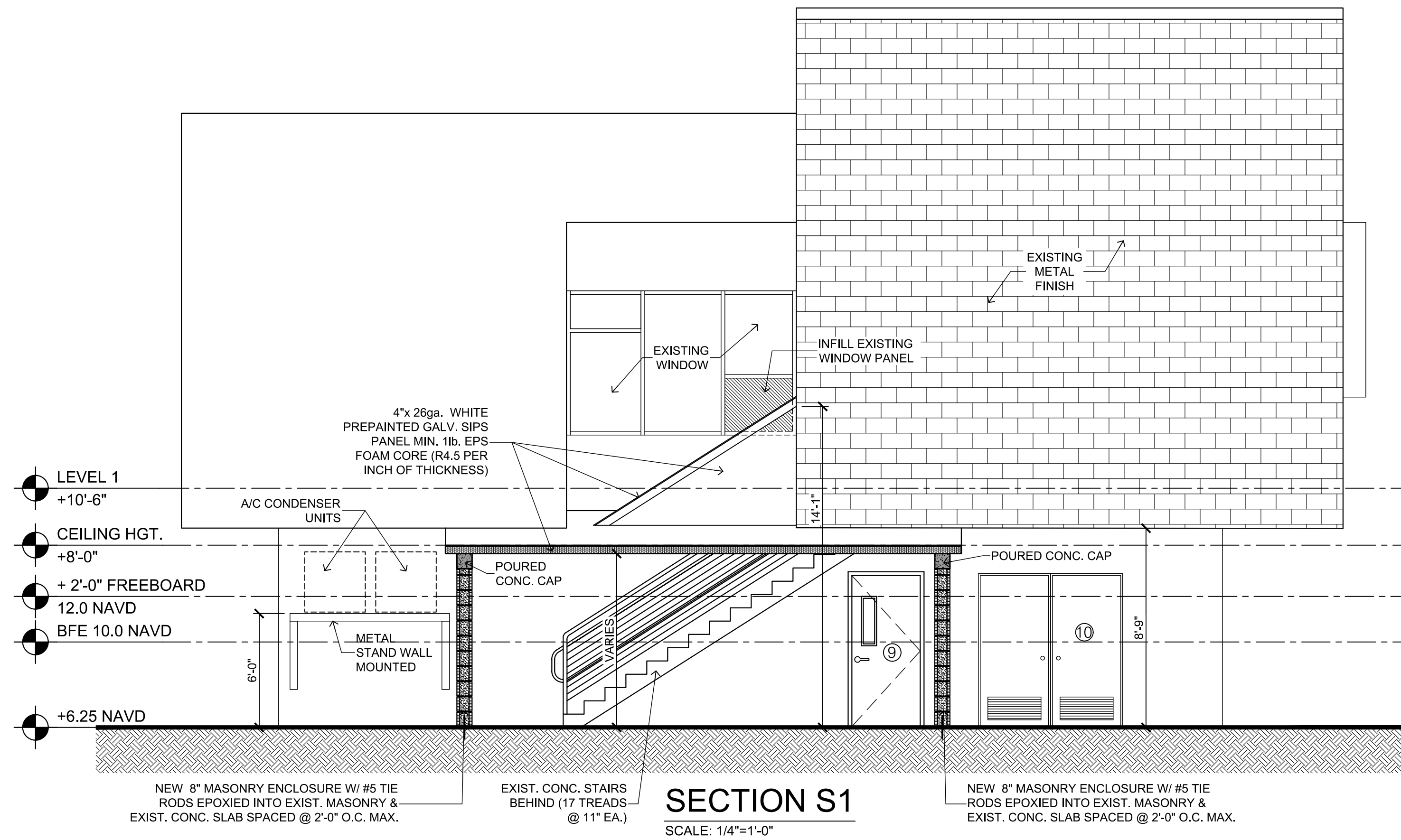
**(A) BEAM SUPPORTING PANEL ROOF**



**(B) CEILING @ PANEL WALL**

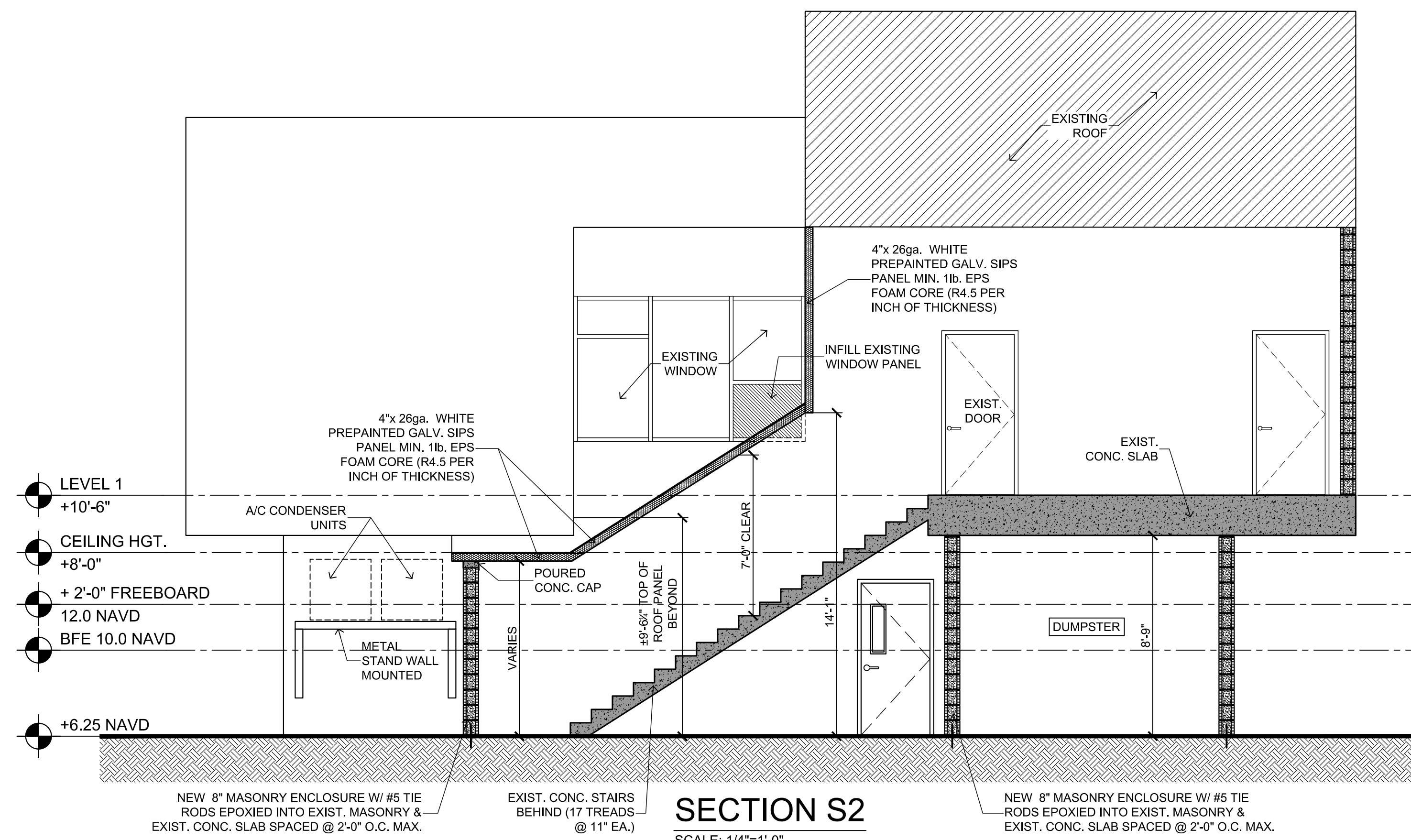


**(C) SIPS COMPOSITE PANEL WALL BUTT CORNER**



**SECTION S1**

SCALE: 1/4"=1'-0"



**SECTION S2**

SCALE: 1/4"=1'-0"

NO.	DATE	DESCRIPTION
	SEPT. 1, 2020	REVISIONS

**Remodel & Build-out**  
**MADEIRA BEACH CITY HALL COMPLEX**  
300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
NEW ROOF PLAN PART "A" & EXTERIOR ELEVATIONS

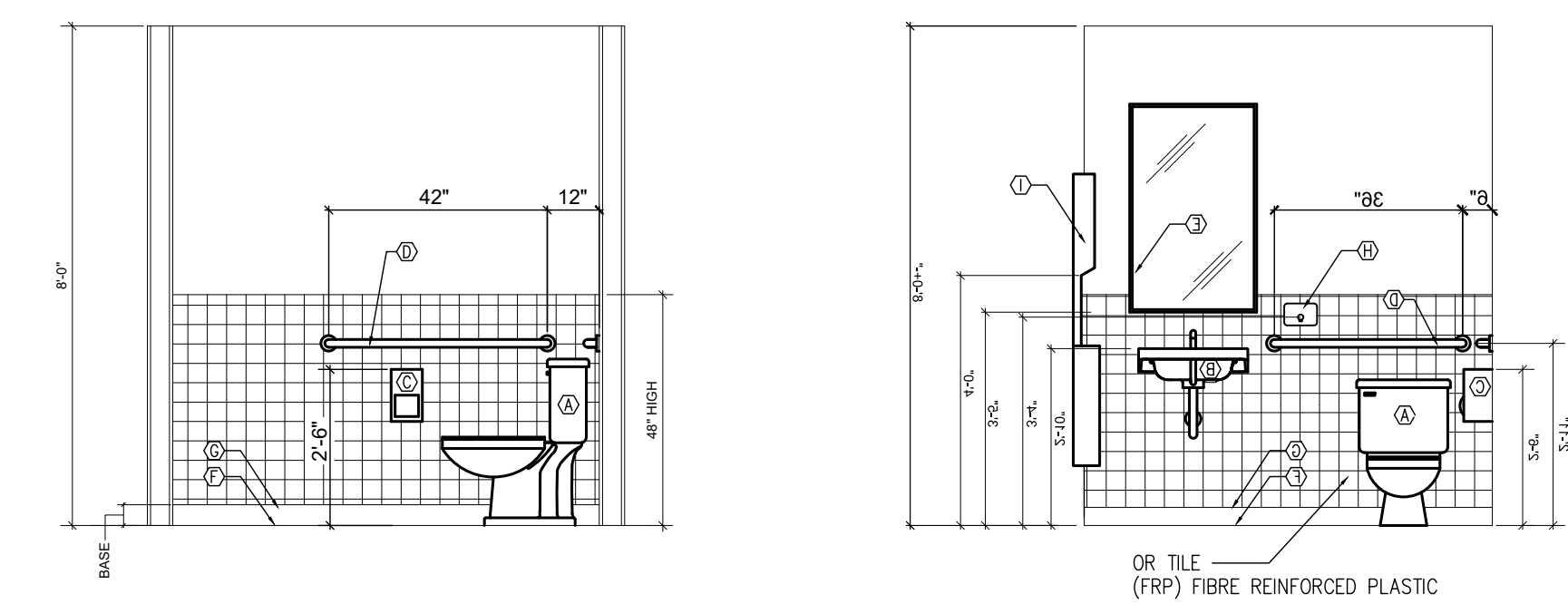
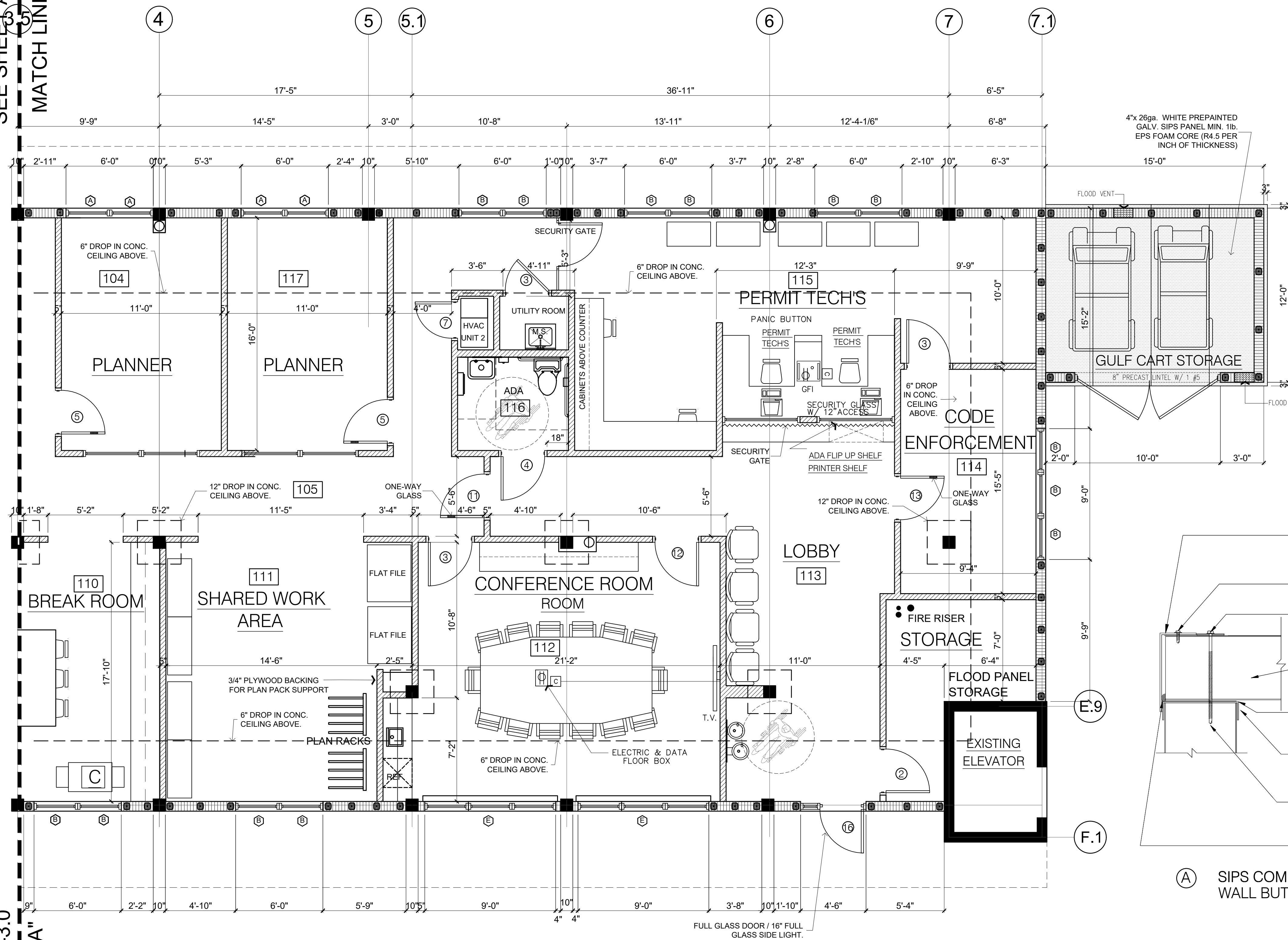
**JOHN A. BODZIAK**  
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DRAWN BY: MT / CS  
UPDATED ON: Sep. 8, 20  
DATE: 11-22-2019  
JOB PROJECT #: 2018-031  
SHEET #: **A-3.3**

PROFESSIONAL STATEMENT TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 55.02, LAWS OF FLORIDA.

SEE SHEET A-3.0  
MATCH LINE "A"

SEE SHEET A-3.0  
MATCH LINE "A"



**PLUMBING FIXTURE SCHEDULE**

MARK	ITEM	MODEL	MOUNTING HEIGHT
Ⓐ	FLOOR MOUNTED TOILET	SEE PLUMBING PLANS	Eco Drake? Close Coupled Toilet, ADA, 1.28GPF
Ⓑ	WALL MOUNTED LAVATORY	SEE PLUMBING PLANS	ADA,
Ⓒ	TOILET TISSUE DISPENSER	"BRADLEY" MODEL # 5402	TOP OF UNIT = 2'-6" A.F.F.
Ⓓ	GRAB BARS	"BRADLEY" MODEL # 817	CENTER OF GRAB BAR = 2'-11" A.F.F.
Ⓔ	WALL MIRROR	(TOP OF MIRROR ANGLE FROM WALL PER ADA)	BOTTOM OF MIRROR = 3'-2" A.F.F.
Ⓕ	TILE ON FLOOR	(BY FUTURE TENANT)	
Ⓖ	VINYL BASE	(BY FUTURE TENANT)	BOTTOM OF MIRROR = 3'-2" A.F.F.
Ⓗ	SOAP DISPENSER	GOJO LTX 1200mL MODEL # 1919-04	DISPENSER AT = 3'-4" A.F.F.
Ⓘ	PAPER TOWEL DISPENSER	BOBRICK MODEL # B-3944	DISPENSER AT = 4'-0" A.F.F.

**ADA RESTROOM**

**PLUMBING FIXTURE SCHEDULE**

MARK	ITEM	MODEL	MOUNTING HEIGHT
Ⓐ	MOP SINK	SE18181M Map Sink 1 Compartment Stainless	Steel 18 x 18 x 13 Bow/AA-710 10m Spout Faucet
Ⓑ	DRINKING FOUNTAIN	Elkay EZSTLDSSC Stainless Steel ADA Wall Mount	BI-Level Barrier Free Drinking Fountain
Ⓒ	WATER HEATER	Reliance? (6 20 SOM S K)	Compact Electric Water Heater



**Window Lintels**

ID	Description	Unfilled	Filled
L-1	2'-10" (34") U Lintels	2025 lbs.	5314 lbs.
L-2	3'-6" (42") U Lintels	1950 lbs.	5120 lbs.
L-3	4'-0" (48") U Lintels	1875 lbs.	5408 lbs.
L-4	4'-6" (54") U Lintels	1860 lbs.	4815 lbs.
L-5	5'-4" (64") U Lintels	1575 lbs.	3744 lbs.
L-6	5'-10" (70") U Lintels	1575 lbs.	3744 lbs.
L-7	6'-6" (78") U Lintels	1565 lbs.	3260 lbs.
L-8	7'-6" (90") U Lintels	1550 lbs.	2887 lbs.
L-9	9'-4" (112") U Lintels	1025 lbs.	1747 lbs.
L-10	10'-6" (126") U Lintels	922 lbs.	1333 lbs.

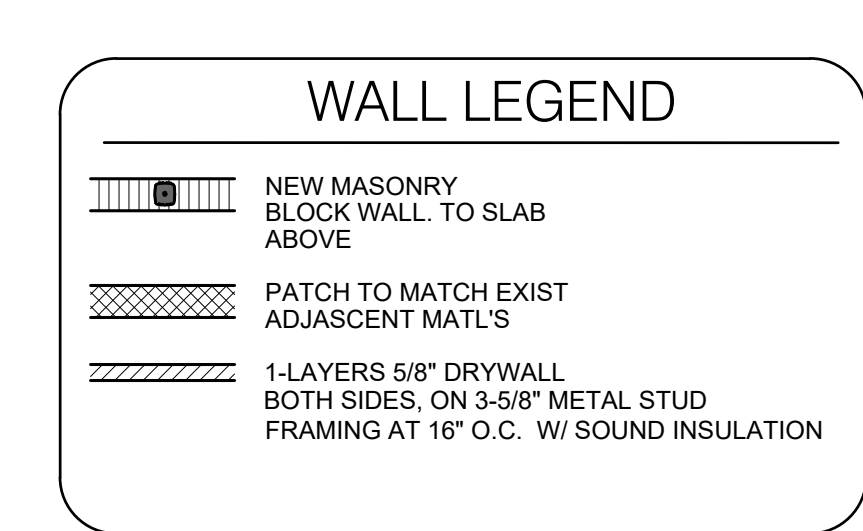
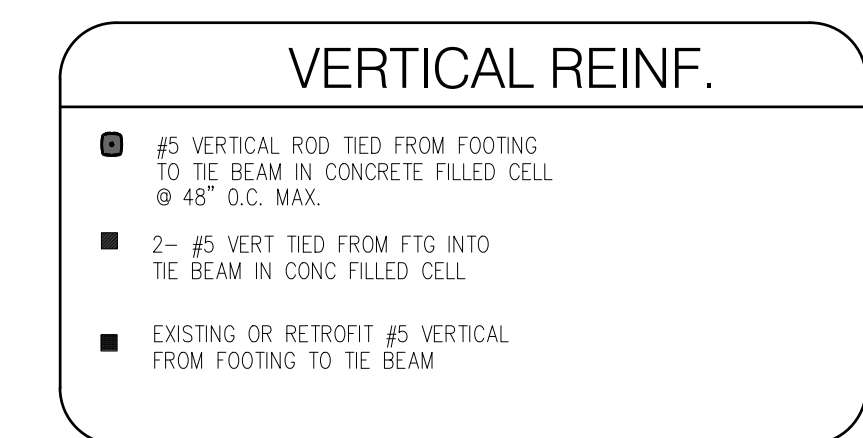
  

**Door Lintels and Extra Wide Openings**

ID	Description	Unfilled	Filled
L-11	4'-0" (48") Recessed 2'-6" or 2'-8" Door	1875 lbs.	6408 lbs.
L-12	4'-6" (54") Recessed 3'-0" Door	1860 lbs.	4815 lbs.
L-13	5'-4" (64") Recessed 4'-0" Door	1575 lbs.	3744 lbs.
L-14	6'-6" (78") Recessed 5'-0" Door	1565 lbs.	3260 lbs.
L-15	7'-6" (90") Recessed 6'-0" Door	1550 lbs.	2887 lbs.
L-16	9'-4" (112") Recessed 8'-0" Garage Door	1025 lbs.	1747 lbs.
L-17	11'-4" (138") Recessed	800 lbs.	1483 lbs.
L-18	12'-0" (144") Prestressed	750 lbs.	1304 lbs.
L-19	13'-4" (160") Prestressed	585 lbs.	909 lbs.
L-20	14'-0" (168") Prestressed	585 lbs.	909 lbs.
L-21	14'-8" (176") Prestressed	387 lbs.	911 lbs.
L-22	15'-4" (184") Prestressed	387 lbs.	911 lbs.
L-23	17'-4" (208") Prestressed	387 lbs.	911 lbs.
L-24	19'-4" (232") Prestressed	289 lbs.	823 lbs.
L-25	21'-4" (256") Prestressed	233 lbs.	879 lbs.
L-26	22'-0" (264") Prestressed	279 lbs.	857 lbs.
L-27	24'-0" (288") Prestressed	226 lbs.	716 lbs.

Uniform safe loads based on tests by independent testing laboratories without additional steel or concrete added to lintels.  
Acting as a composite beam with an 8" perimeter beam—one #5 bar in the lintel, one #5 bar in the beam.  
All the above lintels exceed the requirements of all applicable building codes.

**LINTEL SCHEDULE**  
NOT TO SCALE



**NOTES:**

- ALL CONCRETE SLABS BELOW BFE MUST BE FRANGIBLE.
- LOWEST HORIZONTAL STRUCTURAL MEMBER MUST BE ABOVE +10'-0" BFE + FREEBOARD OF 2'-0".
- UTILITIES IN VE ZONE MUST BE ABOVE BFE.
- ALL UTILITIES AND DUCTWORK MUST BE ABOVE BFE OF 10 FEET +2'-0" FREEBOARD
- CONTRACTOR WILL PROCURE FIRE SPRINKLER AND FIRE ALARM DRAWINGS FROM LICENSED SUB-CONTRACTOR PER APPLICABLE CODES AS A PART OF HIS BID PACKAGE.

**NEW FLOOR PLAN PART "B"**  
SCALE: 1/4"=1'-0"

PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENCLINED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 5 AND 62, LAWS OF FLORIDA.

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REVISIONS

NO.	DATE	REVISIONS
1	SEPT. 1, 2020	

Remodel & Build-out  
**MADEIRA BEACH CITY HALL COMPLEX**  
300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
NEW FLOOR PLAN PART "B"

DRAWN BY: MT / CS  
UPDATED ON: Oct. 1, 2019  
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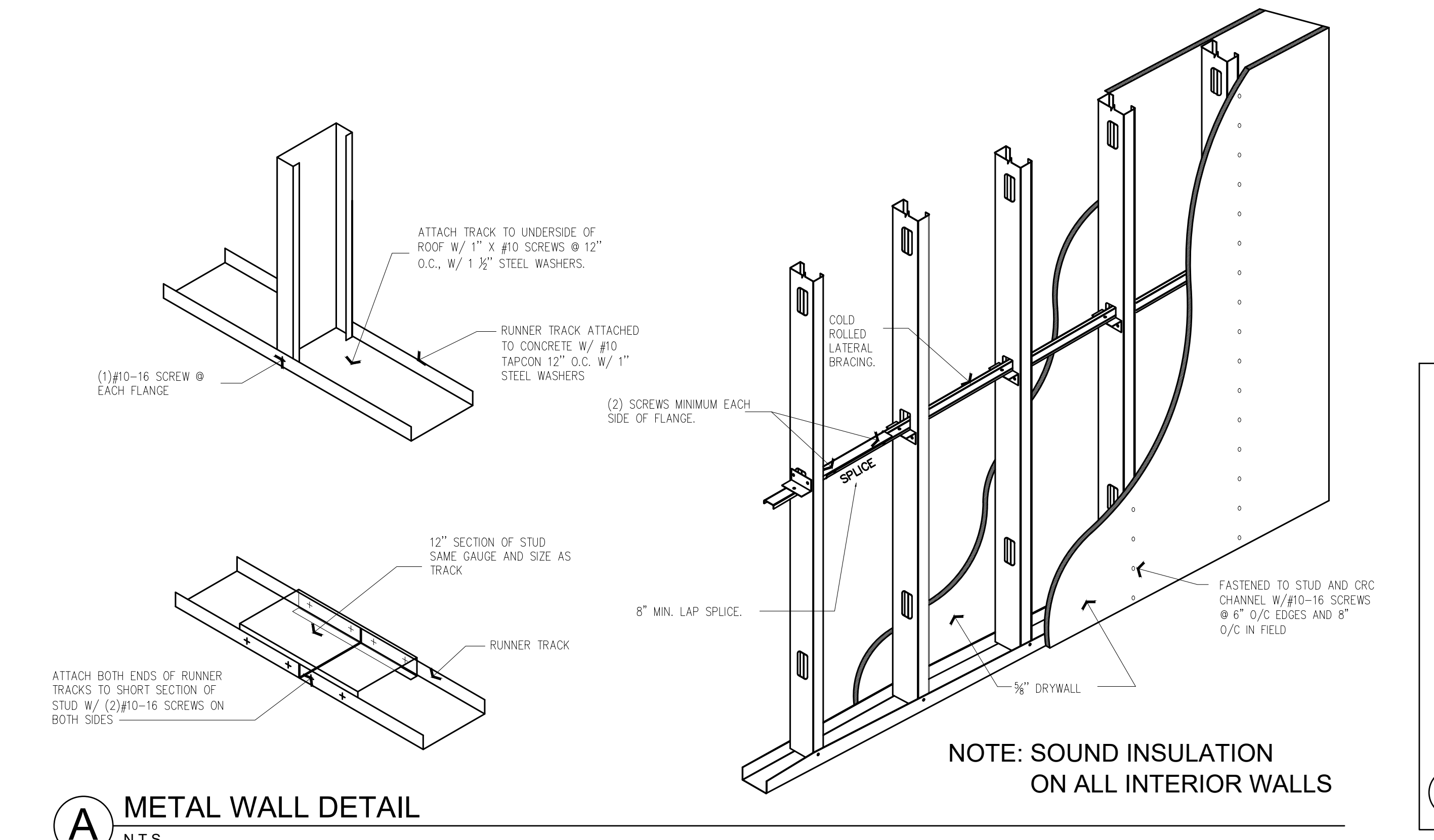
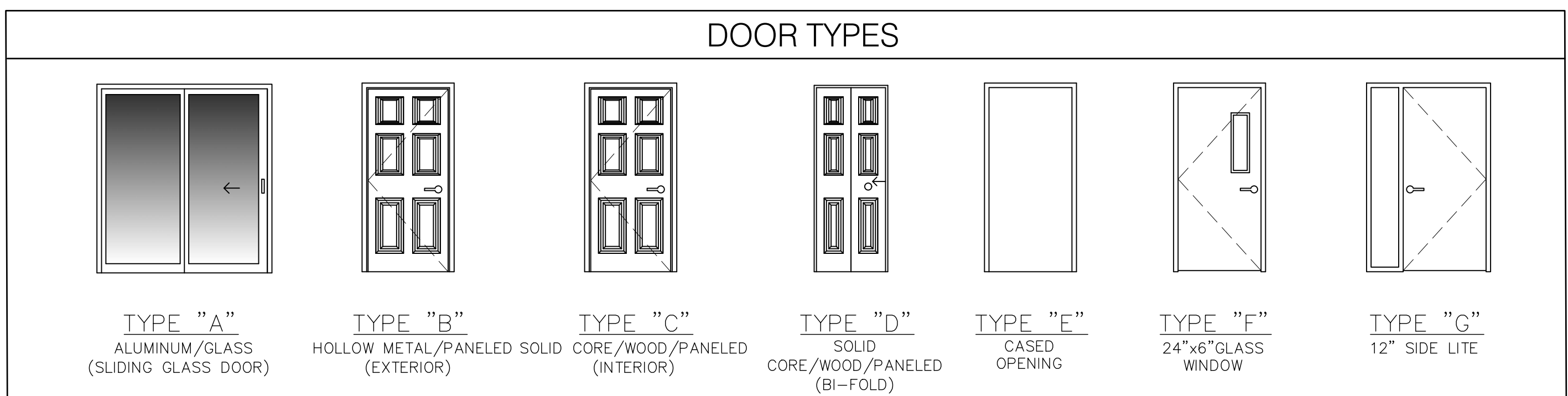
**A-3.1**



DOOR SCHEDULE										ALL EXTERIOR DOORS TO BE IMPACT / FLOOD PANELS	
#	DOOR NUMBER	SIZE W X H X 1-3/4"	DOOR TYPE	MATERIAL	FRAME TYPE	MANUFACTURER & FLORIDA APPROVAL	DESIGN PRESSURE	REMARKS ALL			
1	3'-0" X 7'-0"	-	METAL	METAL	STOREFRONT DOOR FL # 14218	+45 -56	CYL LOCK AUTOMATIC COOP DOOR OPENER				
2	3'-0" X 6'-8"	A	S.C. WOOD	WOOD	INTERIOR		SEALED & PAINTED				
3	3'-0" X 6'-8"	A	S.C. WOOD	WOOD	INTERIOR		SEALED & PAINTED				
4	3'-0" X 6'-8"	A	S.C. WOOD	WOOD	INTERIOR		SEALED & PAINTED				
5	3'-0" X 6'-8"	F	S.C. WOOD	WOOD	INTERIOR		SEALED & PAINTED				
6	3'-0" X 6'-8"	A	S.C. WOOD	WOOD	INTERIOR		SEALED & PAINTED				
7	3'-0" X 6'-8"	A	S.C. WOOD	WOOD	INTERIOR		SEALED & PAINTED				
8	3'-0" X 6'-8"	A	S.C. WOOD	WOOD	INTERIOR		SEALED & PAINTED				
9	2'-8" X 6'-8"	F	METAL	METAL	SCHLAGE SIDE DOOR FL # 4031.1	+70 -70	SEALED & PAINTED W/ Panic Hardware CARD ACCESS W/ CLOSER & 24"x6" GLASS WINDOW				
10	6'-0" X 6'-8"	1	METAL	METAL	DLB. DOOR W/ 24"x24" LOUVERS	+65 FL #65	SEALED & PAINTED MECH. LOCK W/ CLOSER				
11	3'-0" X 6'-8"	A	S.C. WOOD	WOOD	INTERIOR		SEALED & PAINTED & MECH. LOCK W/ CLOSER, CARD ACCESS READER & 24"x6" GLASS WINDOW				
12	3'-0" X 6'-8"	A	S.C. WOOD	WOOD	INTERIOR		SEALED & PAINTED MECH. LOCK W/ CLOSER				
13	3'-0" X 6'-8"	F	S.C. WOOD	WOOD	INTERIOR		SEALED & PAINTED KEY PAD & GLASS WINDOW MECH. LOCK W/ CLOSER				
14	5'-0" X 6'-8"	A	S.C. WOOD	WOOD	INTERIOR LOUVER DOORS		SEALED & PAINTED, 1/2 GLASS				
15	5'-0" X 6'-8"	A	BY-PASS	WOOD	INTERIOR		SEALED & PAINTED				
16	3'-0" X 6'-8"	G	METAL / GLASS	METAL	STOREFRONT DOOR FL # 14218	+45 -56	SEALED & PAINTED FULL GLASS DOOR / 16" FULL GLASS SIDE LIGHT				

WINDOW SCHEDULE										ALL WINDOWS TO BE IMPACT FLOOD PANELS	
A	No.	SIZE SEE MANF.	MANF. DSGNTN.	TYPE	GLAZING	MANUFACTURER	NOA FLORIDA APPROVAL	DESIGN PRESSURE	REMARKS		
A	72" x 48"	ALUM.	FX	YES	STOREFRONT WINDOW FL # 14218	+70 -90	FIXED GLASS				
B	72" x 24"	ALUM.	FX	YES	STOREFRONT WINDOW FL # 14218	+70 -90	FIXED GLASS				
C	48" x 48"	ALUM.	FX	YES	STOREFRONT INTERIOR		FIXED GLASS				
D	36" x 24"	ALUM.	FX	YES	STOREFRONT WINDOW FL # 14218	+70 -90	FIXED GLASS				
E	108" x 24"	ALUM.	FX	YES	STOREFRONT WINDOW FL # 14218	+70 -90	FIXED GLASS				

NOTE:  
 1. ALL DOORS SHALL HAVE LEVER HANDLES OR PUSH PULLS IN ACCORDANCE WITH A.D.A. AND STATE OF FLORIDA ACCESSIBILITY CODES.  
 2. EXTERIOR DOOR THRESHOLD TO BE SET IN FULL BED OF MASTIC.

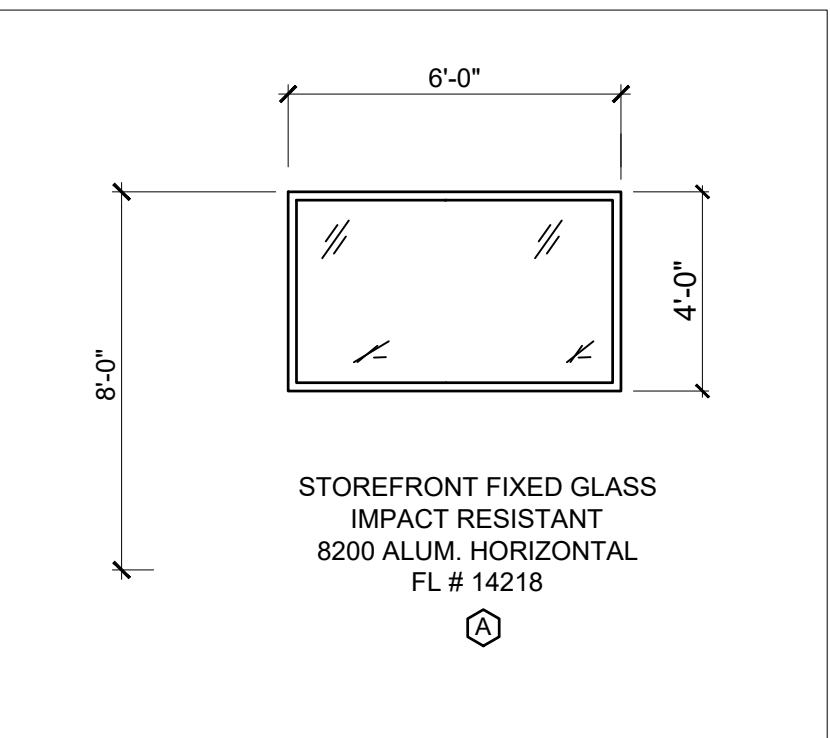
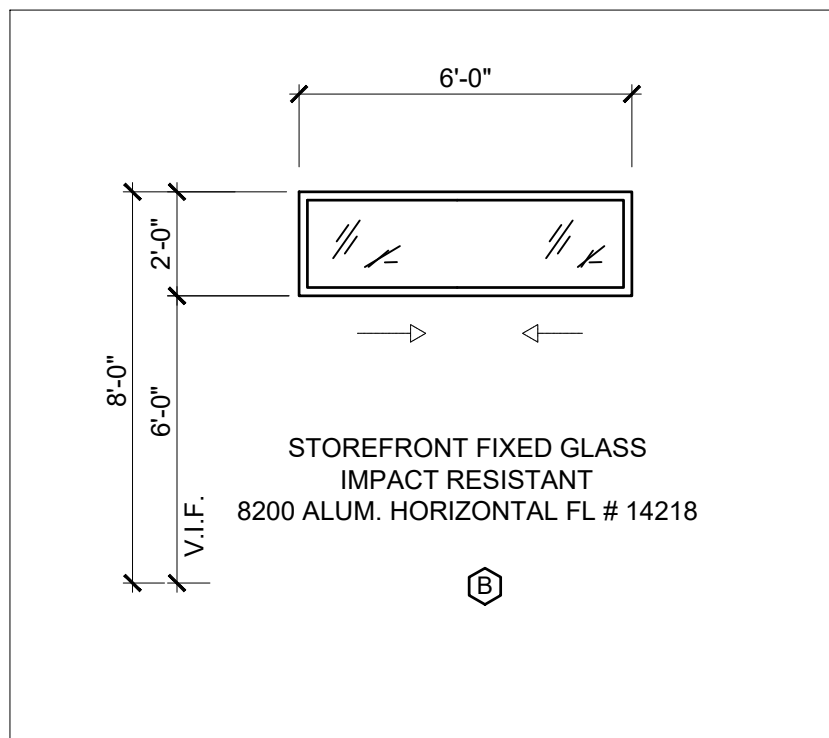


**A METAL WALL DETAIL**  
N.T.S.

### HARDWARE

HARDWARE SET #1	HARDWARE SET #3
EACH TO HAVE: • 3 - EACH BUTTS • 1 - EXIT DEVICE • 1 - EXIT TRIM • 1 - CLOSER • 1 - THRESHOLD • 1 - WEATHER STRIP • 1 - RAIN GUARD	EACH TO HAVE: • 3 - EACH BUTTS • 1 - LOCK • 3 - SILENCER • 1 - CLOSER
HARDWARE SET #2	HARDWARE SET #4
EACH TO HAVE: • 1 - CYLINDER LOCK • BALANCE BY DOOR MFR.	EACH TO HAVE: • 6 - EACH BUTTS • 1 - LOCK • 2 - FLUSH BOLTS • 1 - CLOSER • 6 - SILENCER

NOTE: CITY TO SUPPLY LOCKSET TO MATCH EXISTING LOCKETS & KEYS

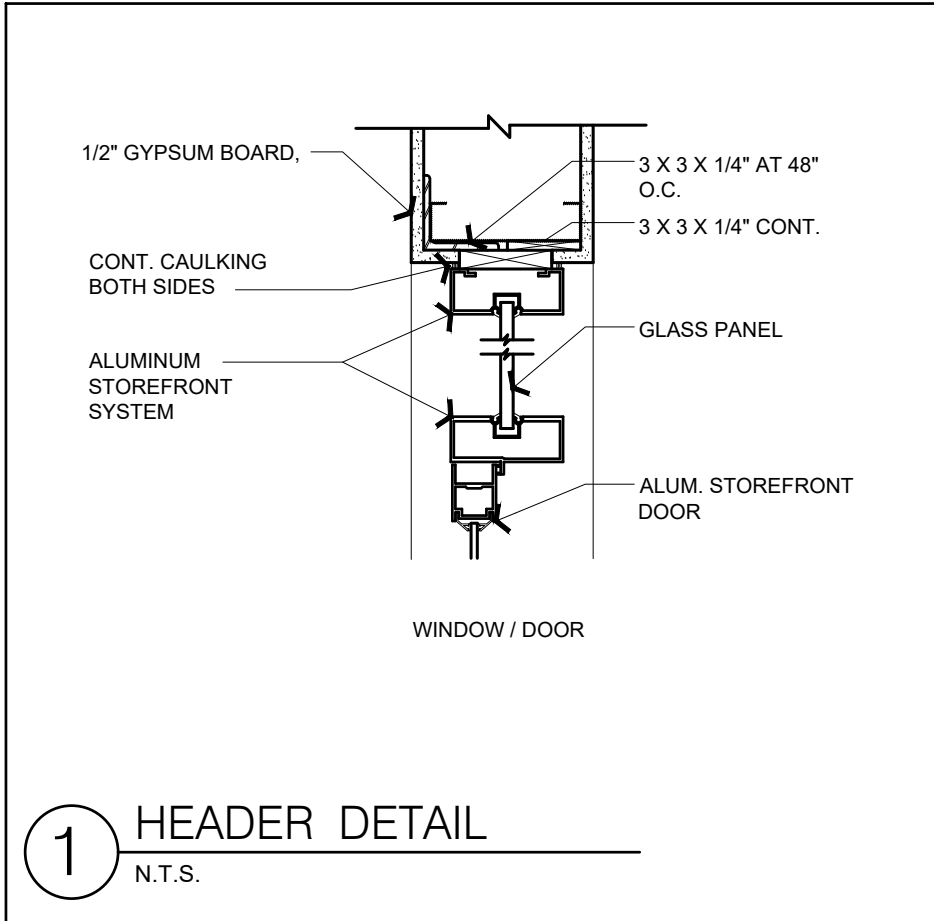


## ROOM FINISH SCHEDULE - UNIT A & UNIT B

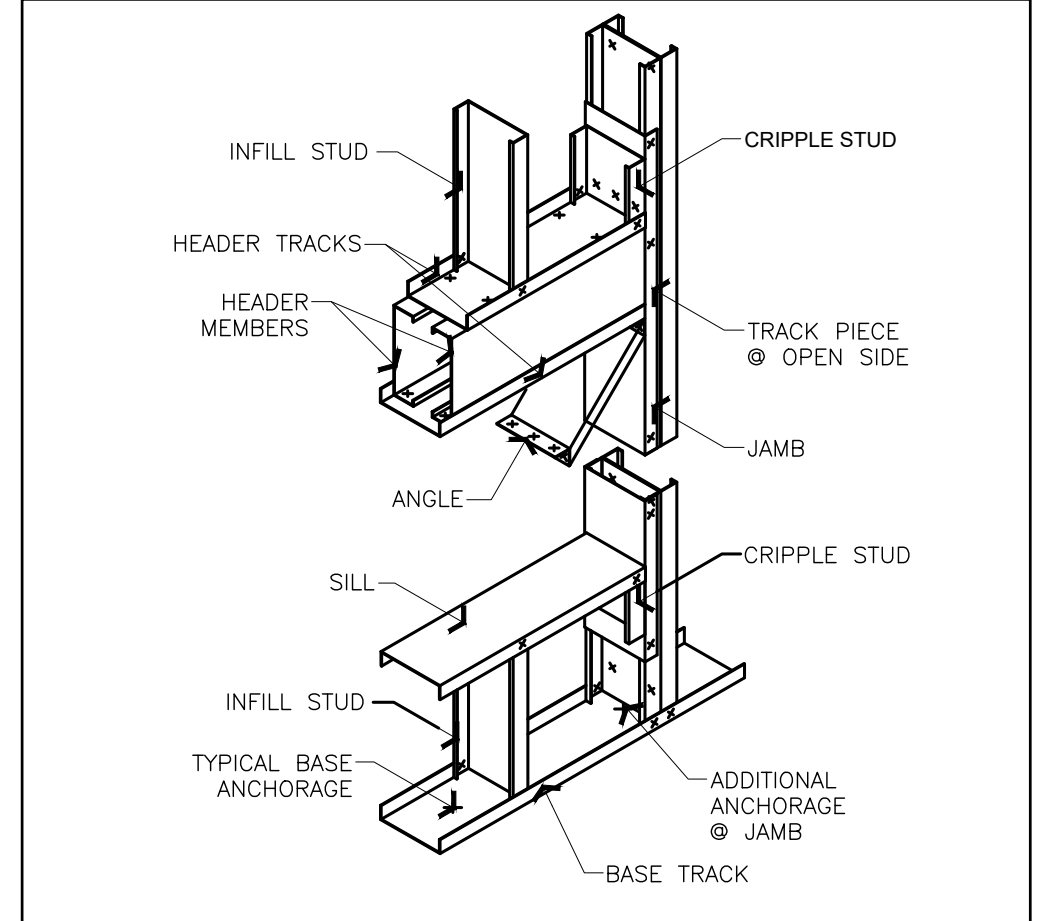
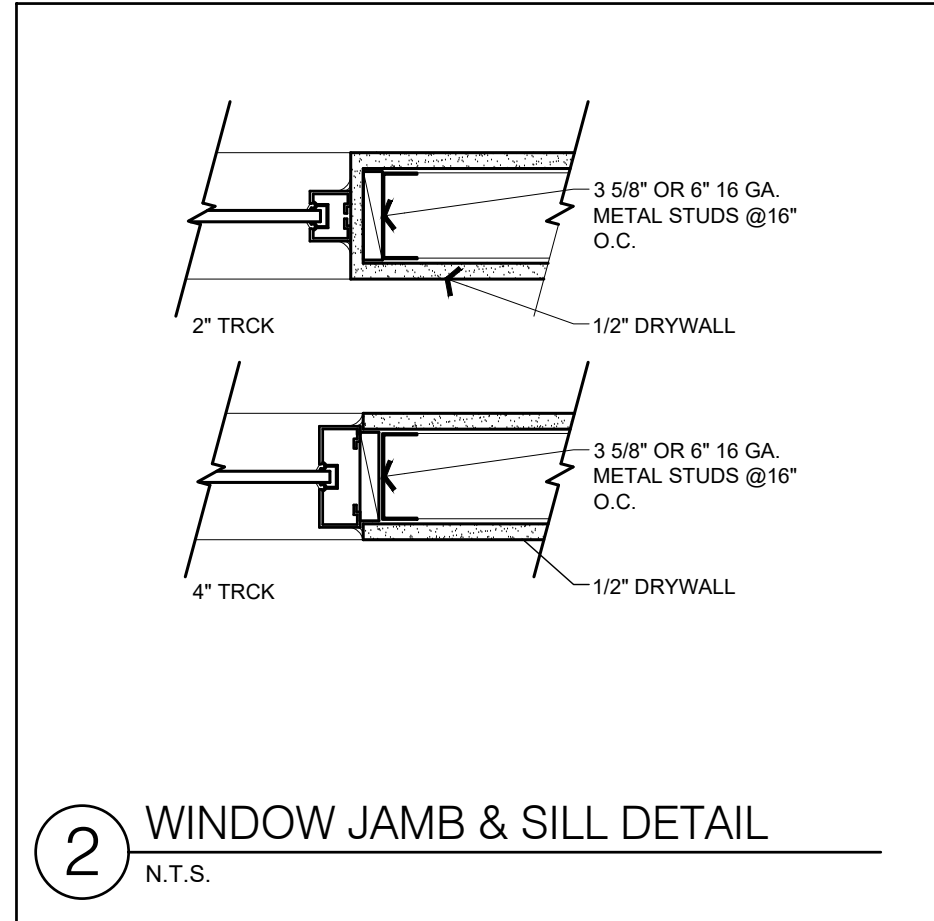
ROOM NO.	ROOM NAME	CLG. HGT.	FLOOR		BASE		NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING		REMARKS / NOTES
			MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH	
100	BUILDING OFFICIAL	8'-0"	CPT	CPT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
101	BUILDING OFFICIAL ASSISTANT	8'-0"	CPT	CPT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
102	SPARE OFFICE	8'-0"	CPT	CPT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
103	ASSISTANT PLANNER	8'-0"	CPT	CPT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
104	SPARE OFFICE	8'-0"	CPT	CPT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
105	HALL	8'-0"	CPT	CPT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
106	BOOKKEEPING AREA	8'-0"	VNL	VNL	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
107	BATHROOM 1	8'-0"	VNL	VNL	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	WAINSCOT TILE @ 48", ALL WALL
108	BATHROOM 2	8'-0"	VNL	VNL	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	WAINSCOT TILE @ 48", ALL WALL
109	BATHROOM HALL	8'-0"	CPT	CPT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
110	BREAK ROOM	8'-0"	CT	CT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
111	SHARED WORK AREA	8'-0"	CPT	CPT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
112	CONFERENCE ROOM	8'-0"	CPT	CPT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
113	LOBBY	8'-0"	CT	CT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
114	CODE ENFORCEMENT	8'-0"	CPT	CPT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
115	PERMIT TECH	8'-0"	CPT	CPT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
116	ADA BATHROOM	8'-0"	CT	CT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
117	PLANNING ASSISTANT	8'-0"	CPT	CPT	WD	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	

### FINISH SCHEDULE ABBREV. & NOTES

CONC = CONCRETE	WD = WOOD	1. VERIFY ALL FLOORING, WALL FINISHES, TRIM, ETC. WITH OWNER. ALL FLOORING TO HAVE SLIP RESISTANT FINISH. ALL WALL FINISHES TO BE CLASS "C" FLAMESPREAD.
COVE = CERAMIC TILE COVE BASE	VAR = VARNISH	2. ALL FIXTURES, APPLIANCES & EQUIPMENT TO BE SELECTED BY OWNER.
CT = CERAMIC TILE	VNL = VINYL LOCKING PLANK FLOORING	3. PLUMBING FIXTURES TO BE SELECTED BY OWNER.
GWB = GYPSUM WALL BOARD		4. USE MOISTURE RESISTANT GYPSUM WALL BOARD IN ALL WET AREAS
CPT = CARPET		
PNT = PAINT		
SC = SEALED CONCRETE		
ST = STUCCO		



**METAL WALL FRAMING DETAIL**  
N.T.S.



**3 HEADER BEAM CONNECTIONS DOORS & WINDOWS DETAIL**  
N.T.S.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

NO.	DATE	REVISIONS
	SEPT. 1, 2020	

**Remodel & Build-out**  
**MADEIRA BEACH CITY HALL COMPLEX**  
 300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
**DOORS, WINDOWS & FINISH SCHEDULE**

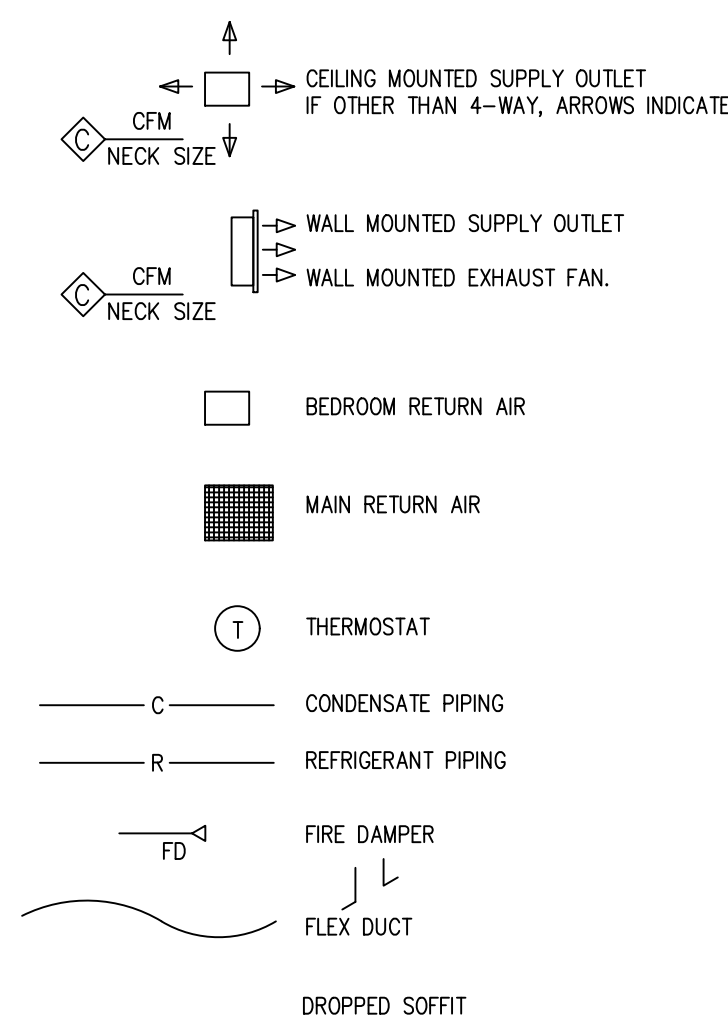
**JOHN A. BODZIAK**  
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DRAWN BY: MT / CS  
 UPDATED ON: Sep. 30, 20  
 DATE: 11-22-2019  
 JOB PROJECT #: 2018-031  
 SHEET #:

# A-5.0



### HVAC LEGEND



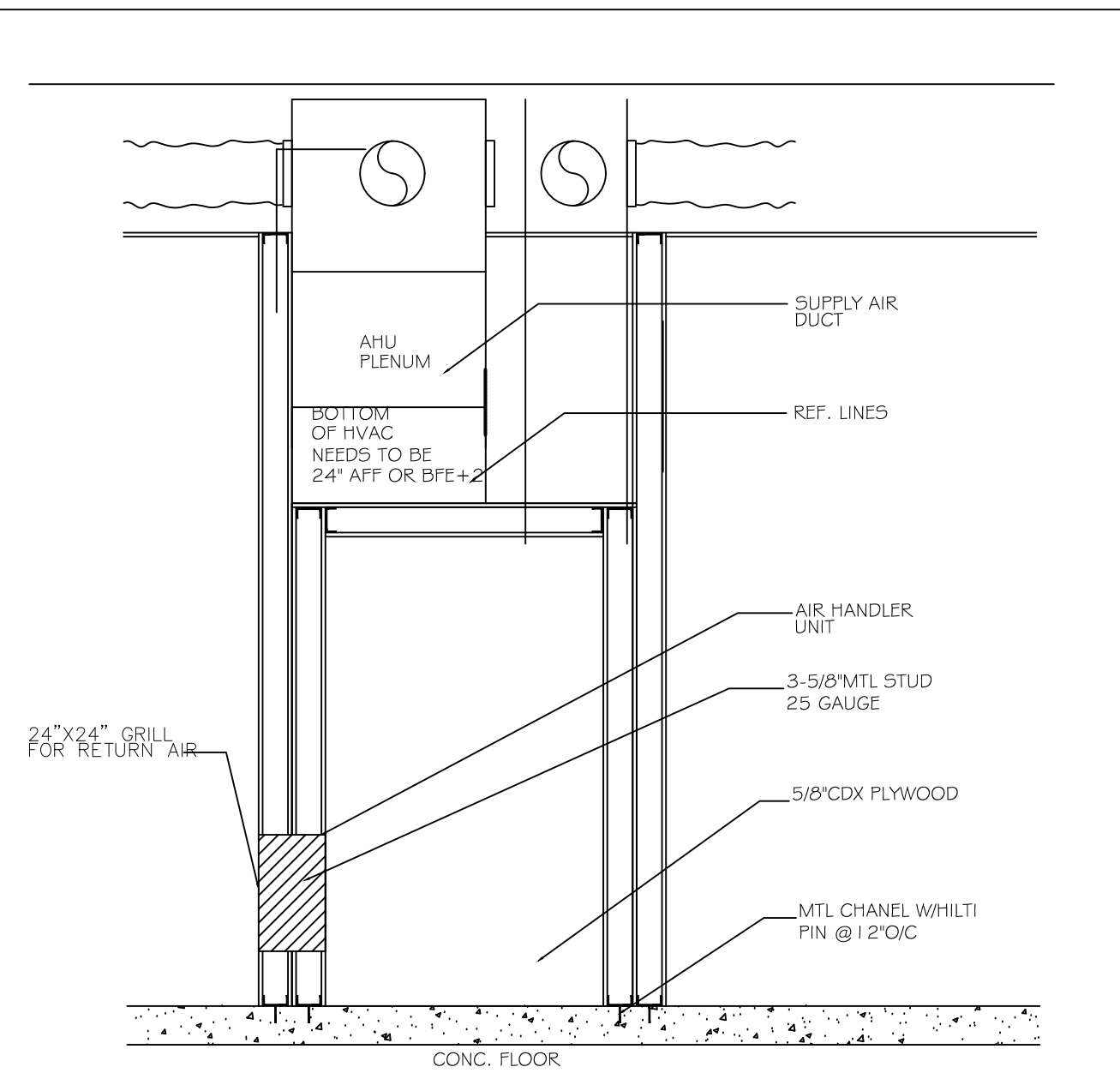
### PLAN KEY NOTES

1. WALL MOUNTED AIR HANDLER AS DETAILED ON SHEET M-5
2. DEYER WALL CAP.
3. ROUTE REFRIGERANT LINES ABOVE 1ST FLOOR CEILING TO CONDENSING UNIT ON GROUND. INSULATE SUCTION LINES ENTIRE LENGTH.
4. WALL MOUNTED EXHAUST FAN. ROUTE 3" Ø GALVANIZED STEEL DUCT IN CEILING ASSEMBLY TO WALL CAP. SEE WALL VENT DETAIL.
5. PROVIDE MAIN SUPPLY AIR RISER TO THE MINIMUM SIZE BELOW FOR AIRFLOW AND BRANCH DUCT CONNECTION REQUIREMENTS. AHU-C+ 18x12

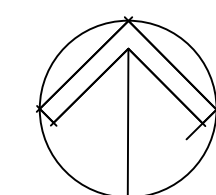
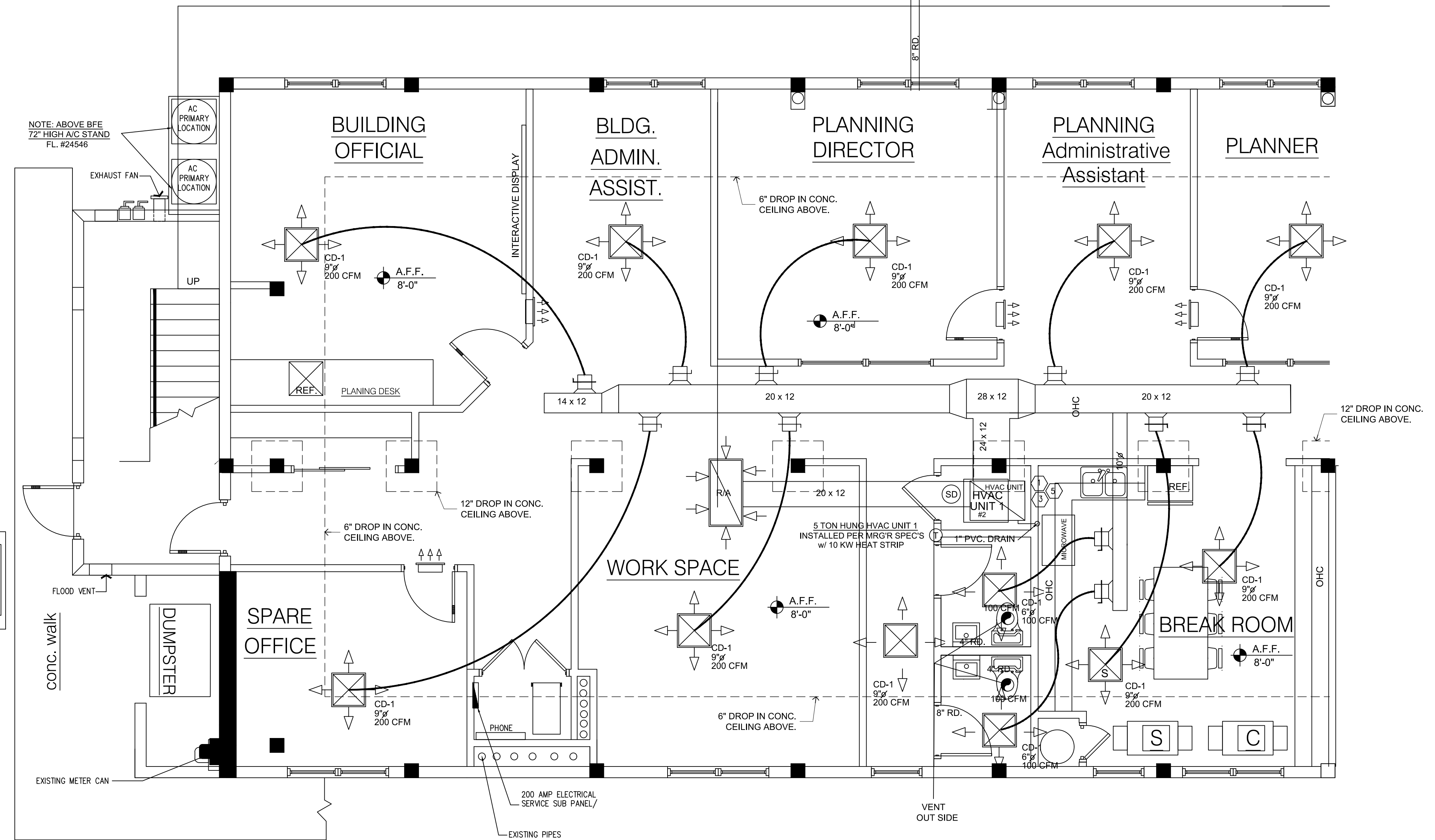
DRYER EXHAUST DUCT. ROUTE 4" Ø GALVANIZED STEEL DUCT IN CEILING ASSEMBLY. EXTEND DUCT FULL LENGTH TO WALL CAP. ASSEMBLE DUCTWORK SO AS TO NOT ALLOW ANY SHEET METAL SEAMS PROTRUDING INTO THE AIRSTREAM. SEE WALL CAP DETAIL ON SHEET M-5

UNDERCUT DOOR 3/4" ABOVE CARPET FOR

NEW VENTILATION SPACE TYPE	MERCANTILE
USABLE AREA	2,475 SQ. FT.
# OF PEOPLE MERCANTILE @ 7.5 CFM / 1 PERSON	= 532.5
MERCANTILE SQ. FT. 1975 AREA X .12 CFM	= 237
TOTAL CFM REQ.	= 770 CFM
EXISTING A/C UNITS. 200 CFM	x2 = 400 CFM
NEW CFM REQ.	= 370 CFM



**A** HVAC INSTALL DETAIL  
SCALE: N.T.S.



### MECHANICAL PLAN PART "A"

SCALE: 1/4"=1'-0"

NO.	DATE	DESCRIPTION
	SEPT. 1, 2020	REVISIONS

Remodel & Build-out  
**MADEIRA BEACH CITY HALL COMPLEX**  
300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
MECHANICAL PLAN PART "A"

**JOHN A. BODZIAK**  
ARCHITECT AIA, PA  
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT  
FLORIDA REGISTRATION NO. AR00050065  
E. W. BAKER BLVD., SUITE 200, DEERBEECH, FLORIDA 33710  
TEL: (727) 327-1866 FAX: (727) 826-0968

DRAWN BY: MT / CS  
UPDATED ON: Sep. 8, 20  
DATE: 11-22-2019  
JOB PROJECT #: 2018-031  
SHEET #

**M-1.0**

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 52 AND 53, LAWS OF FLORIDA.



**ELECTRICAL KEY**



**ELECTRICAL NOTES**

**ELECTRICAL DEVICES**

- SWITCHES AND WALL OUTLETS OVER COUNTERS
- REMAINING SWITCHES
- WALL OUTLETS (1" ABOVE TOP OF MIRROR)
- WATER SOFTENER AND SUMP OUTLETS
- TELEPHONE OUTLETS
- TELEVISION OUTLETS
- EXTERIOR GFIS
- GARAGE FG'S (ABOVE GARAGE FLOOR)
- BASEMENT WALL OUTLETS
- FRONT DOOR COACH LIGHT
- GARAGE DOOR COACH LIGHT (ABOVE GARAGE FLOOR)
- DINING AND BREAKFAST FIXTURE HEIGHT
- FOYER AND STAIRWAY FIXTURE HEIGHT
- THERMOSTAT
- DOOR BELL CHIMES
- DOOR BELL BUTTON
- KITCHEN HOOD FAN "WHIP"
- KITCHEN WALL HUNG MICROWAVE RECEPTACLE
- KITCHEN DISHWASHER RECEPTACLE
- KITCHEN RANGE
- KITCHEN REFRIGERATOR
- WASHER/DRYER OUTLET
- C.L. = CENTER LINE

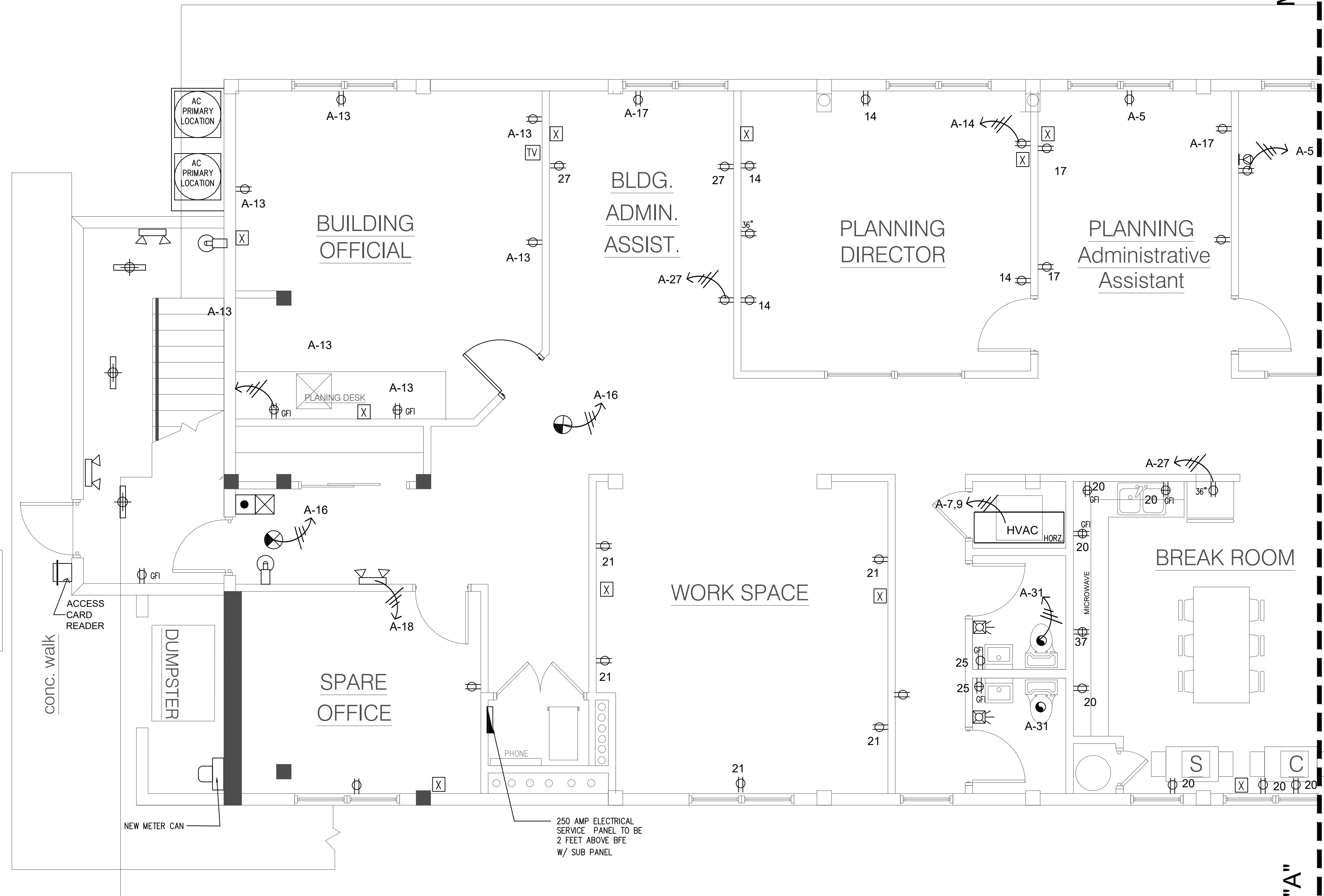
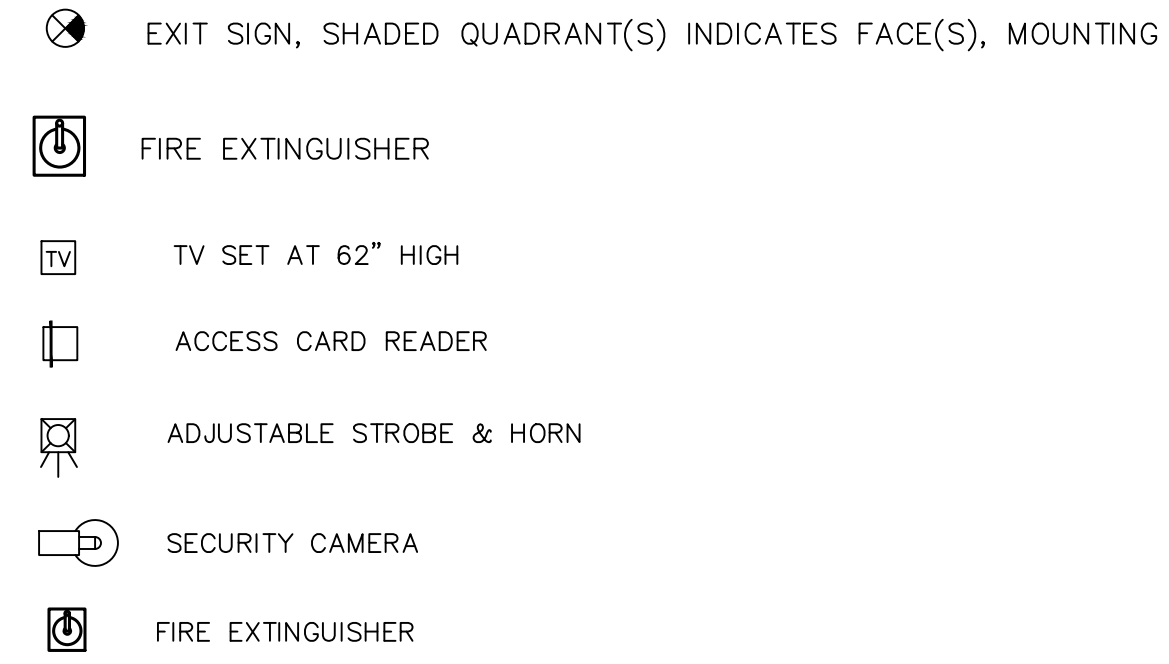
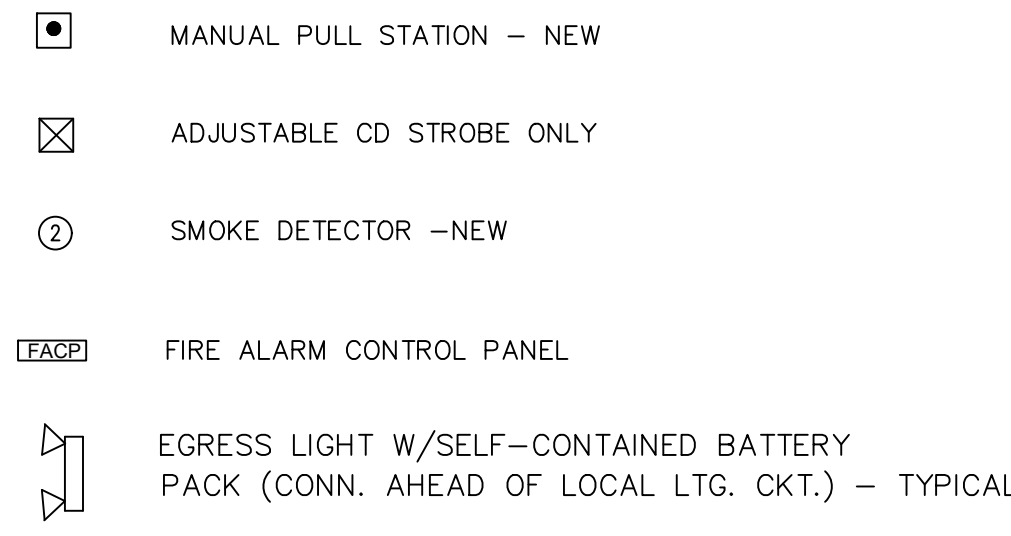
**ABOVE FINISHED FLOOR**

- 48" TO C.L. - 44" TO C.L.
- 48" TO C.L. - 44" TO C.L.
- 18" TO C.L.
- 80" TO C.L.
- 48" TO C.L.
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- 66" TO C.L.
- 76" TO C.L.
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- 24" TO C.L.
- 48" TO C.L.
- 36" TO C.L.

**GENERAL NOTES**

- FIELD VERIFY PRIOR TO START OF WORK
- MASTER BATH STANDARD 30" HIGH VANITY TO BE 4" ABOVE VANITY
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
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- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- ALL SMOKE DETECTORS SHALL BE UL CERTIFIED 110V INTERCONNECTED, AND MEET NEC 2014
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.

**SYMBOL SCHEDULE**



MATCH LINE "A"

MATCH LINE "A"

**ELECTRICAL PLAN PART "A"**  
SCALE: 1/4"=1'-0"

**JOHN A. BODZIAK**  
 ARCHITECT AIA, PA  
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT  
 FLORIDA REGISTRATION NO. AR0005065  
 EMAIL: JACK@JABODZIAK.COM  
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MADEIRA BEACH CITY HALL COMPLEX  
 300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
 ELECTRICAL PLAN PART "A"

NO.	DATE	REVISIONS
1	SEPT. 1, 2020	REVISIONS

DRAWN BY: MT / CS  
 UPDATED ON: Oct. 1, 20  
 DATE: 11-22-2019  
 JOB PROJECT #: 2018-031  
 SHEET #: E-1.0

**ELECTRICAL KEY**

- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- EMERGENCY POWER
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- RHEOSTAT SWITCH
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- LIGHT FIXTURE WITH PULL CHAIN
- REINFORCED JUNCTION BOX
- HOLLYWOOD STRIP LIGHT
- UNDER COUNTER MOUNT FLUORESCENT LIGHT FIXTURE
- FLUORESCENT LIGHT FIXTURE
- EXHAUST FAN
- EXHAUST FAN/LIGHT COMBINATION
- OUTLET FOR GARAGE DOOR OPENER (OPTIONAL)
- CHIMES (OPTIONAL)
- SMOKE DETECTOR HARD WIRED & BATT BACK-UP
- TELEPHONE (OPTIONAL)
- TELEVISION (OPTIONAL)
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SPEAKERS
- DLB NETWORK CABLE

**SYMBOL SCHEDULE**

- MANUAL PULL STATION - NEW
- ADJUSTABLE CD STROBE ONLY
- SMOKE DETECTOR -NEW
- FIRE ALARM CONTROL PANEL
- EGRESS LIGHT W/SELF-CONTAINED BATTERY PACK (CONN. AHEAD OF LOCAL LTG. CKT.) - TYPICAL
- EXIT SIGN, SHADED QUADRANT(S) INDICATES FACE(S), MOUNTING
- FIRE EXTINGUISHER
- TV SET AT 62" HIGH
- ACCESS CARD READER
- ADJUSTABLE STROBE & HORN
- SECURITY CAMERA
- FIRE EXTINGUISHER

**MAIN ELECTRICAL LOAD CALCULATIONS**  
NEC OPTIONAL METHOD (NEC 220-13)

PHASES A, B, AND C

AREA OF BUILDING BUILDING	4,772 SQ.FT.	
GENERAL LIGHTING x 3 x 125%	=	20,042 VA
DEMAND FACTORS - N/A/		
RECEPTACLE LOAD : (NON CONTINUOUS)		
80DUPLEX REC. x 180 VA =14,400 + 2 QUAD +360 =720		15,120 VA
AIR CONDITIONING HVAC (NAMEPLATE)		
= 240V 3ø 5 TON PACKAGE UNITS x2		10,000 VA
EMERGENCY LIGHTING		
2 CIR. 16A x120V x125% =		1,200 VA
<b>TOTAL CONNECTED LOAD</b>		<b>46,362 VA</b>

CONNECTED LOAD: 46,362 / 240 x = 193 AMP  
LINE VOLTAGE 240  
PHASE 1  
FEEDER OR SERVICE AMPERES 250 AMPS OVER HEAD W/ 2/0 COPPER RISER WIRE

**PANEL "A" MAIN**

NO.	TRIP	BOB	WIRE	COND	SERVES	LOAD VA	NO.	TRIP	BOB	WIRE	COND	SERVES	LOAD VA
1	20	1	2#12	1#2	3/4"	1	2	20	1	2#12	1#2	3/4"	2
2	20	1	2#12	1#2	3/4"	1	3	20	1	2#12	1#2	3/4"	3
3	20	1	2#12	1#2	3/4"	1	4	20	1	2#12	1#2	3/4"	4
4	20	1	2#12	1#2	3/4"	1	5	20	1	2#12	1#2	3/4"	5
5	20	1	2#12	1#2	3/4"	1	6	20	1	2#12	1#2	3/4"	6
6	20	1	2#12	1#2	3/4"	1	7	20	1	2#12	1#2	3/4"	7
7	40	2	3#6	1#0	3/4"	1	8	40	2	3#6	1#0	3/4"	8
8	20	1	2#12	1#2	3/4"	1	9	20	1	2#12	1#2	3/4"	9
9	20	1	2#12	1#2	3/4"	1	10	20	1	2#12	1#2	3/4"	10
10	20	1	2#12	1#2	3/4"	1	11	20	1	2#12	1#2	3/4"	11
11	20	1	2#12	1#2	3/4"	1	12	20	1	2#12	1#2	3/4"	12
12	20	1	2#12	1#2	3/4"	1	13	20	1	2#12	1#2	3/4"	13
13	20	1	2#12	1#2	3/4"	1	14	20	1	2#12	1#2	3/4"	14
14	20	1	2#12	1#2	3/4"	1	15	20	1	2#12	1#2	3/4"	15
15	20	1	2#12	1#2	3/4"	1	16	20	1	2#12	1#2	3/4"	16
16	20	1	2#12	1#2	3/4"	1	17	20	1	2#12	1#2	3/4"	17
17	20	1	2#12	1#2	3/4"	1	18	20	1	2#12	1#2	3/4"	18
18	20	1	2#12	1#2	3/4"	1	19	20	1	2#12	1#2	3/4"	19
19	20	1	2#12	1#2	3/4"	1	20	20	1	2#12	1#2	3/4"	20
20	20	1	2#12	1#2	3/4"	1	21	20	1	2#12	1#2	3/4"	21
21	20	1	2#12	1#2	3/4"	1	22	20	1	2#12	1#2	3/4"	22
22	20	1	2#12	1#2	3/4"	1	23	20	1	2#12	1#2	3/4"	23
23	20	1	2#12	1#2	3/4"	1	24	20	1	2#12	1#2	3/4"	24
24	20	1	2#12	1#2	3/4"	1	25	20	1	2#12	1#2	3/4"	25
25	20	1	2#12	1#2	3/4"	1	26	20	1	2#12	1#2	3/4"	26
26	20	1	2#12	1#2	3/4"	1	27	20	1	2#12	1#2	3/4"	27
27	20	1	2#12	1#2	3/4"	1	28	20	1	2#12	1#2	3/4"	28
28	20	1	2#12	1#2	3/4"	1	29	20	1	2#12	1#2	3/4"	29
29	20	1	2#12	1#2	3/4"	1	30	20	1	2#12	1#2	3/4"	30
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31	20	1	2#12	1#2	3/4"	1	32	20	1	2#12	1#2	3/4"	32
32	20	1	2#12	1#2	3/4"	1	33	20	1	2#12	1#2	3/4"	33
33	20	1	2#12	1#2	3/4"	1	34	20	1	2#12	1#2	3/4"	34
34	20	1	2#12	1#2	3/4"	1	35	20	1	2#12	1#2	3/4"	35
35	20	1	2#12	1#2	3/4"	1	36	20	1	2#12	1#2	3/4"	36
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37	20	1	2#12	1#2	3/4"	1	38	20	1	2#12	1#2	3/4"	38
38	20	1	2#12	1#2	3/4"	1	39	20	1	2#12	1#2	3/4"	39
39	20	1	2#12	1#2	3/4"	1	40	20	1	2#12	1#2	3/4"	40
40	20	1	2#12	1#2	3/4"	1	41	20	1	2#12	1#2	3/4"	41
41	20	1	2#12	1#2	3/4"	1	42	20	1	2#12	1#2	3/4"	42
42	20	1	2#12	1#2	3/4"	1	43	20	1	2#12	1#2	3/4"	43
43	20	1	2#12	1#2	3/4"	1	44	20	1	2#12	1#2	3/4"	44
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46	20	1	2#12	1#2	3/4"	1	47	20	1	2#12	1#2	3/4"	47
47	20	1	2#12	1#2	3/4"	1	48	20	1	2#12	1#2	3/4"	48
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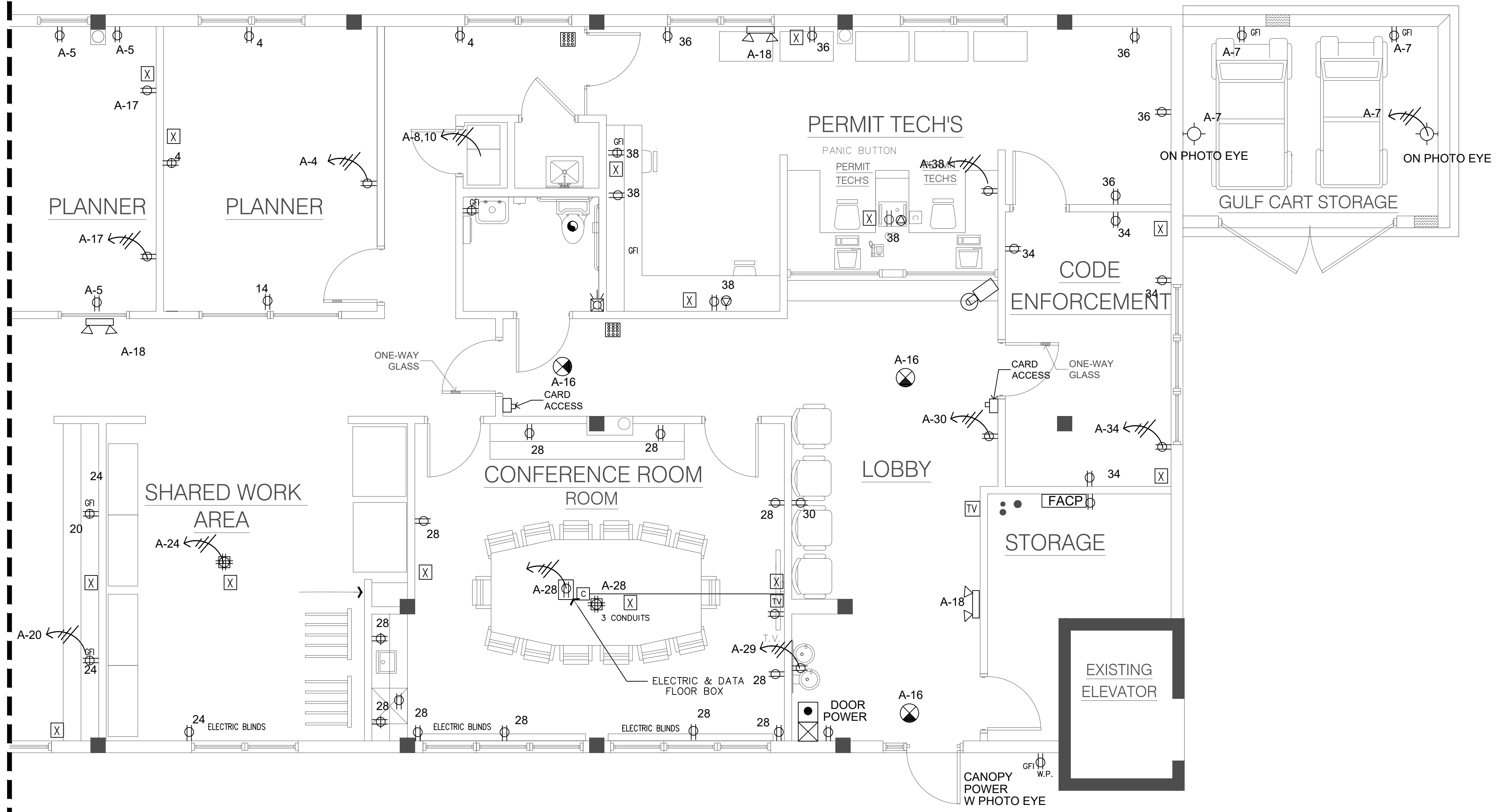
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- ELECTRICAL DEVICES**
- SWITCHES AND WALL OUTLETS OVER COUNTERS
  - REMAINING SWITCHES
  - WALL OUTLETS
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4. HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
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MATCH LINE "A"



**ELECTRICAL PLAN PART "B"**  
SCALE: 1/4"=1'-0"

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NO.	DATE	REVISIONS	DESCRIPTION

Remodel & Build-out  
**MADEIRA BEACH CITY  
HALL COMPLEX**  
300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
**ELECTRICAL PLAN PART "B"**

JOHN A. BODZIAK

ARCHITECT AIA, PA

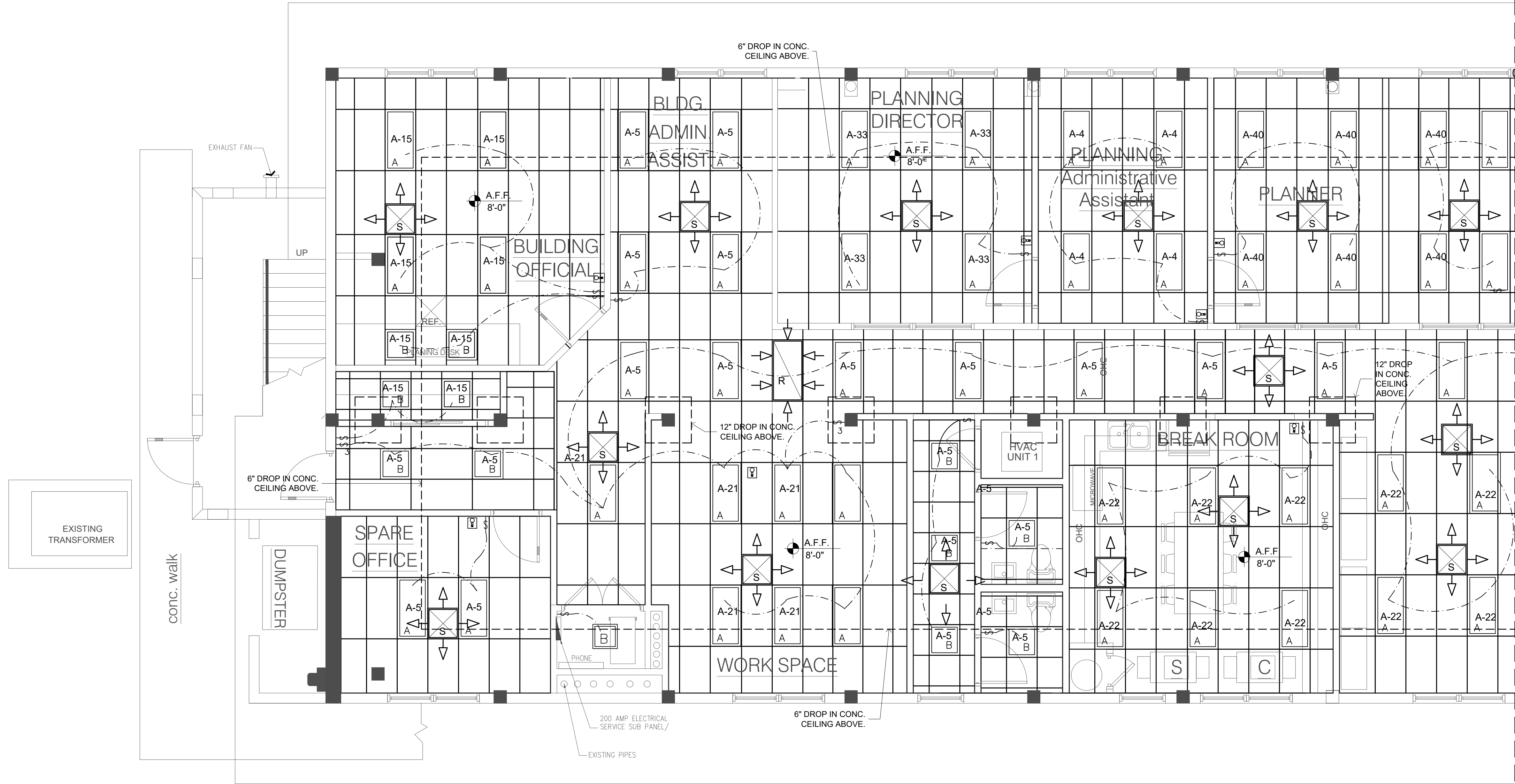
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT  
FLORIDA REGISTRATION NO. AR0005065  
EMAIL: JACK@JABODZIAK.COM  
745 49th STREET N. SAINT PETERSBURG, FLORIDA 33710  
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DRAWN BY	MT / CS
UPDATED ON	Oct. 1, 20
DATE	11-22-2019
JOB PROJECT #	2018-031
SHEET #	E-2.0

**A** A= FIXTURE -2 LAMP LED 2X4 REPLACING EXISTING FIXTURE USING SAME CIRCUITS ON PANEL "A" SHENZEN WISDOM LIGHT CO MODEL #WL-TRS2442D (4000K)

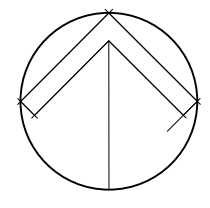
**B** B= FIXTURE -2 LAMP LED 2X2 REPLACING EXISTING FIXTURE USING SAME CIRCUITS ON PANEL "B" SHENZEN WISDOM LIGHT CO MODEL #WL-TRRS2236D (4000K)

**NOTE:** WALL MOUNTED MOTION SENSOR LIGHT SWITCHES



MATCH LINE "A"

MATCH LINE "A"



**REFLECTED CEILING PLAN PART "A"**  
SCALE: 1/4"=1'-0"

PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENCLINED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 63, LAWS OF FLORIDA.

JOHN A. BODZIAK, INC. IS HEREBY RELEASED FROM LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS AND SPECIFICATIONS THAT MAY BE CAUSED BY ANY THIRD PARTY INFORMATION PROVIDED TO THE ARCHITECT BY ANY OTHER PARTY. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE INFORMATION PROVIDED TO HIM BY THE CLIENT AND HAS FOUND IT TO BE ACCURATE AND COMPLETE. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE INFORMATION PROVIDED TO HIM BY THE CLIENT AND HAS FOUND IT TO BE ACCURATE AND COMPLETE. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE INFORMATION PROVIDED TO HIM BY THE CLIENT AND HAS FOUND IT TO BE ACCURATE AND COMPLETE. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE INFORMATION PROVIDED TO HIM BY THE CLIENT AND HAS FOUND IT TO BE ACCURATE AND COMPLETE.

NO.	DATE	REVISIONS
	SEPT. 1, 2020	

Remodel & Build-out  
**MADEIRA BEACH CITY HALL COMPLEX**  
300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
REFLECTED CEILING PLAN PART "A"

**JOHN A. BODZIAK**  
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**E-3.0**

LIGHTING LEGEND

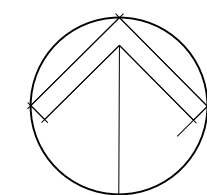
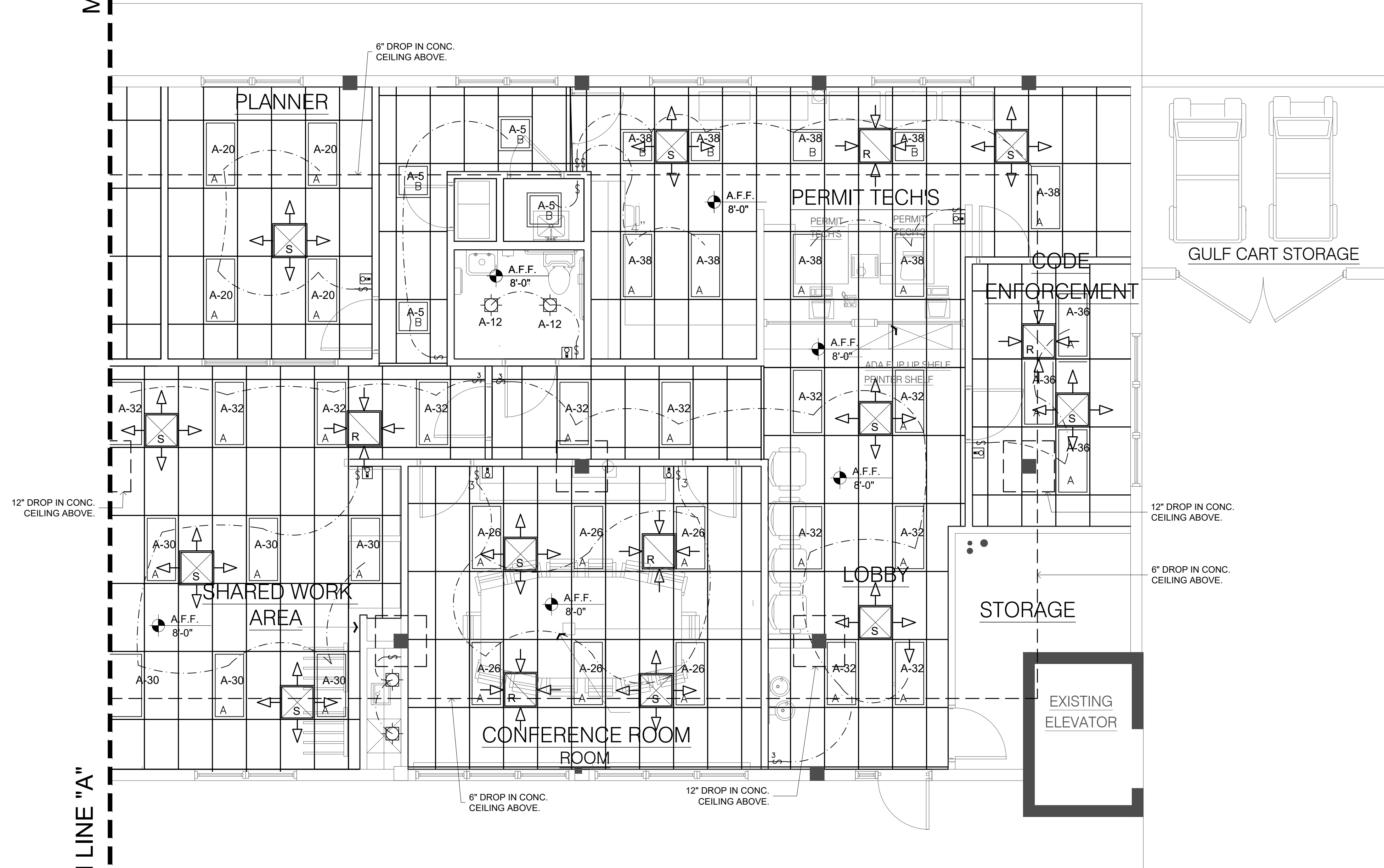
**A** = FIXTURE -2 LAMP LED 2X4 REPLACING EXISTING FIXTURE USING SAME CIRCUITS ON PANEL "A" SHENZHEN WISDOM LIGHT CO MODEL #WL-TRS2442D (4000K)

**B** = FIXTURE -2 LAMP LED 2X2 REPLACING EXISTING FIXTURE USING SAME CIRCUITS ON PANEL "B" SHENZHEN WISDOM LIGHT CO MODEL #WL-TRRS2236D (4000K)

**W** NOTE: WALL MOUNTED MOTION SENSOR LIGHT SWITCHES

MATCH LINE "A"

MATCH LINE "A"



REFLECTED CEILING PLAN PART "B"

SCALE: 1/4"=1'-0"

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PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLINED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 5 AND 63, LAWS OF FLORIDA.

JOHN A. BODZIAK, INC. - LEAD REGISTERED ARCHITECT AND CONTRACTOR AND OTHER PROFESSIONAL ENGINEERS AND ARCHITECTS ARE NOT TO BE HELD RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT.

NO.	DATE	REVISIONS
	SEPT. 1, 2020	

REVISIONS

DESCRIPTION

CLIENT

Remodel & Build-out  
**MADEIRA BEACH CITY HALL COMPLEX**  
 300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
 REFLECTED CEILING PLAN PART "B"

SEAL

**JOHN A. BODZIAK**  
 ARCHITECT AIA, PA  
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT  
 FLORIDA REGISTRATION NO. AR0005065  
 EMAIL: JACK@JABODZIAK.COM  
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710  
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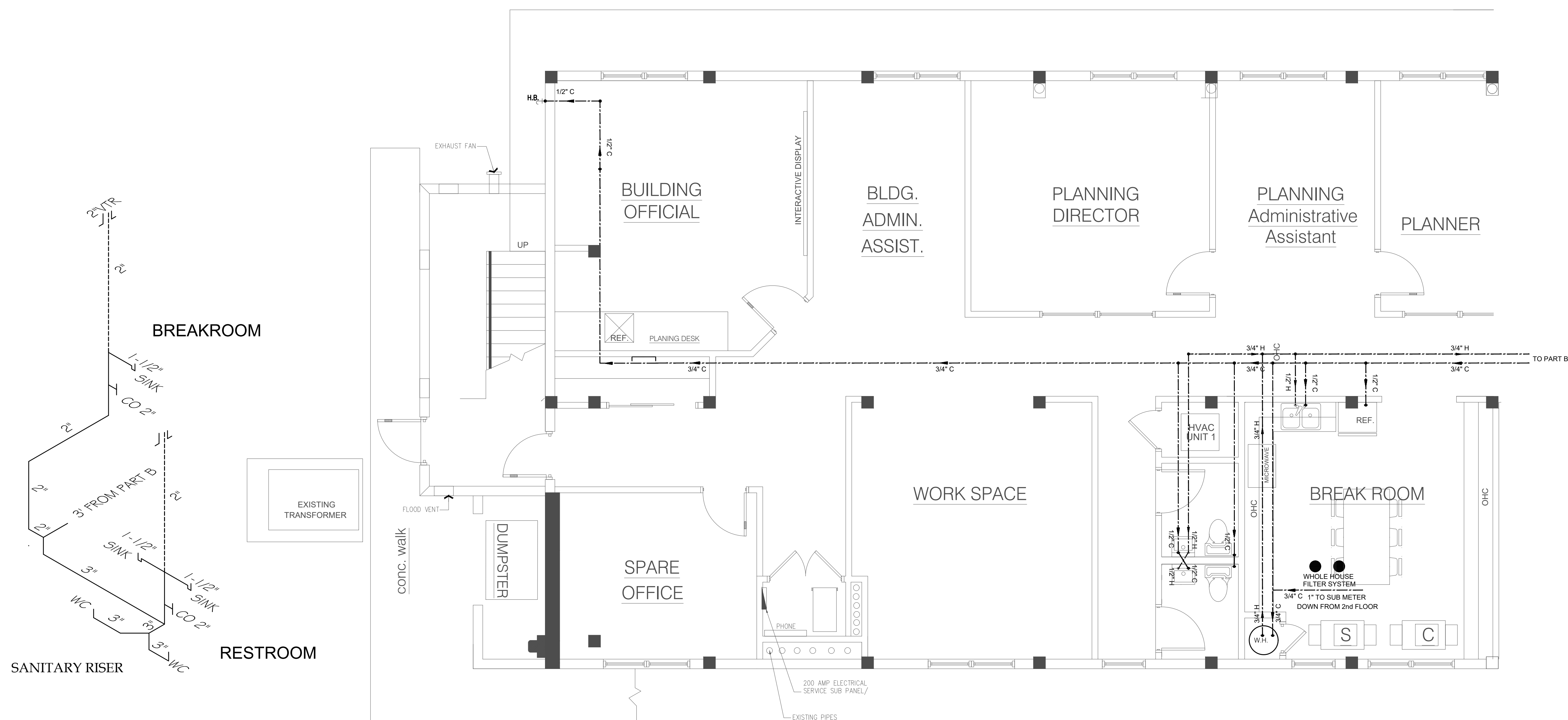
DRAWN BY: MT / CS  
 UPDATED ON: Sep. 30, 20  
 DATE: 11-22-2019  
 JOB PROJECT #: 2018-031  
 SHEET #

E-4.0



# PLUMBING SPECIFICATIONS

1. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL COMPLETE SANITARY AND DOMESTIC WATER PIPING SYSTEMS, INCLUDING ALL ASSOCIATED DEVICES, EQUIPMENT, CONTROLS, AND CONNECTIONS TO EXISTING SERVICES, SUPPORTS, AND HARDWARE REQUIRED FOR THE SATISFACTORY OPERATION OF THE SYSTEMS, WHETHER SPECIFICALLY SHOWN OR NOT. PLUMBING CONTRACTOR SHALL PROVIDE ROUTING AND OFFSETS NECESSARY TO AVOID CONFLICT WITH STRUCTURE, FINISHES, AND WORK OF OTHER TRADES; THE DRAWINGS INDICATE IN GENERAL THE ROUTING, AND DO NOT SHOW ALL REQUIRED PIPING, FITTINGS, OFFSETS, ETC.
2. SANITARY DRAIN, WASTE AND VENT PIPING IS TO BE SCHED. 40 PVC, NO-HUB CAST IRON OR TYPE L HARD COPPER TUBE ABOVE AND BELOW GROUND. ALL EXPOSED PIPING IN FINISHED SPACES IS TO BE CAST IRON SUITABLE FOR PAINTING.
3. DOMESTIC WATER PIPING IS TO BE SCHEDULE 40 CPVC OR TYPE L COPPER TUBING WITH LEAD-FREE SOLDER JOINTS ABOVE GROUND AND SILVER SOLDERED JOINTS BELOW GROUND. ALL EXPOSED PIPING IN FINISHED SPACES IS TO BE SUITABLE FOR PAINTING. PLUMBING CONTRACTOR IS TO PROVIDE WATER HAMMER ARRESTORS, OR AIR CHAMBER AS REQUIRED TO ELIMINATE WATER HAMMER AND TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
4. ALL HOT WATER PIPING TO BE INSULATED WITH 1" PIPE INSULATION PER THE FLORIDA STATE ENERGY CODE.
5. VERIFY LOCATIONS, SIZES, AND INVERT ELEVATIONS OF SANITARY DRAIN, VENT, AND DOMESTIC WATER PIPING CONNECTIONS PRIOR TO PROCEEDING WITH THE INSTALLATION OF ANY NEW WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED CONTRACTOR SHALL OBTAIN DIRECTION FROM THE ENGINEER BEFORE PROCEEDING.
6. ALL PLUMBING WORK SHALL CONFORM TO ALL STATE AND LOCAL CODES, RULES, AND REGULATIONS.
7. PLUMBING CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AT HIS EXPENSE.
8. COORDINATE PLUMBING WORK WITH THE WORK OF OTHER TRADES.
9. PROVIDE LISTED FIRESTOPPING PIPE PENETRATION ASSEMBLIES AT ALL PIPING THROUGH RATED WALLS AND ASSEMBLIES.
10. INSTALL ALL WORK TO COMPLY WITH ADA REQUIREMENTS IF APPLICABLE.
11. COORDINATE ALL CLEANOUTS WITH ARCHITECTURAL PRIOR TO INSTALLATION.



**PLUMBING PLAN PART "A"**  
SCALE: 1/4"=1'-0"

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PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 63, LAWS OF FLORIDA.

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NO.	DATE	DESCRIPTION
1	SEPT. 1, 2020	REVISIONS

REVISIONS

CLIENT

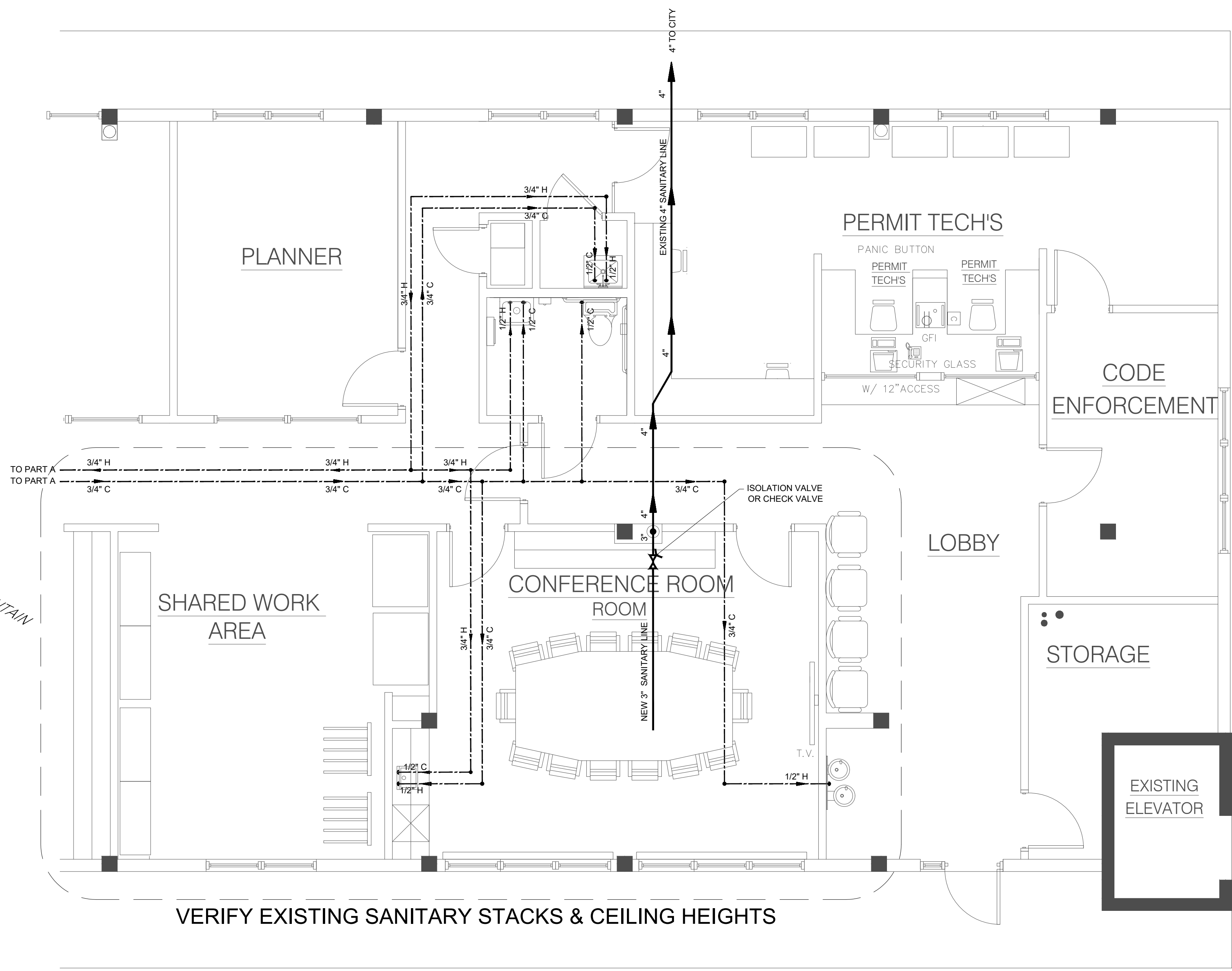
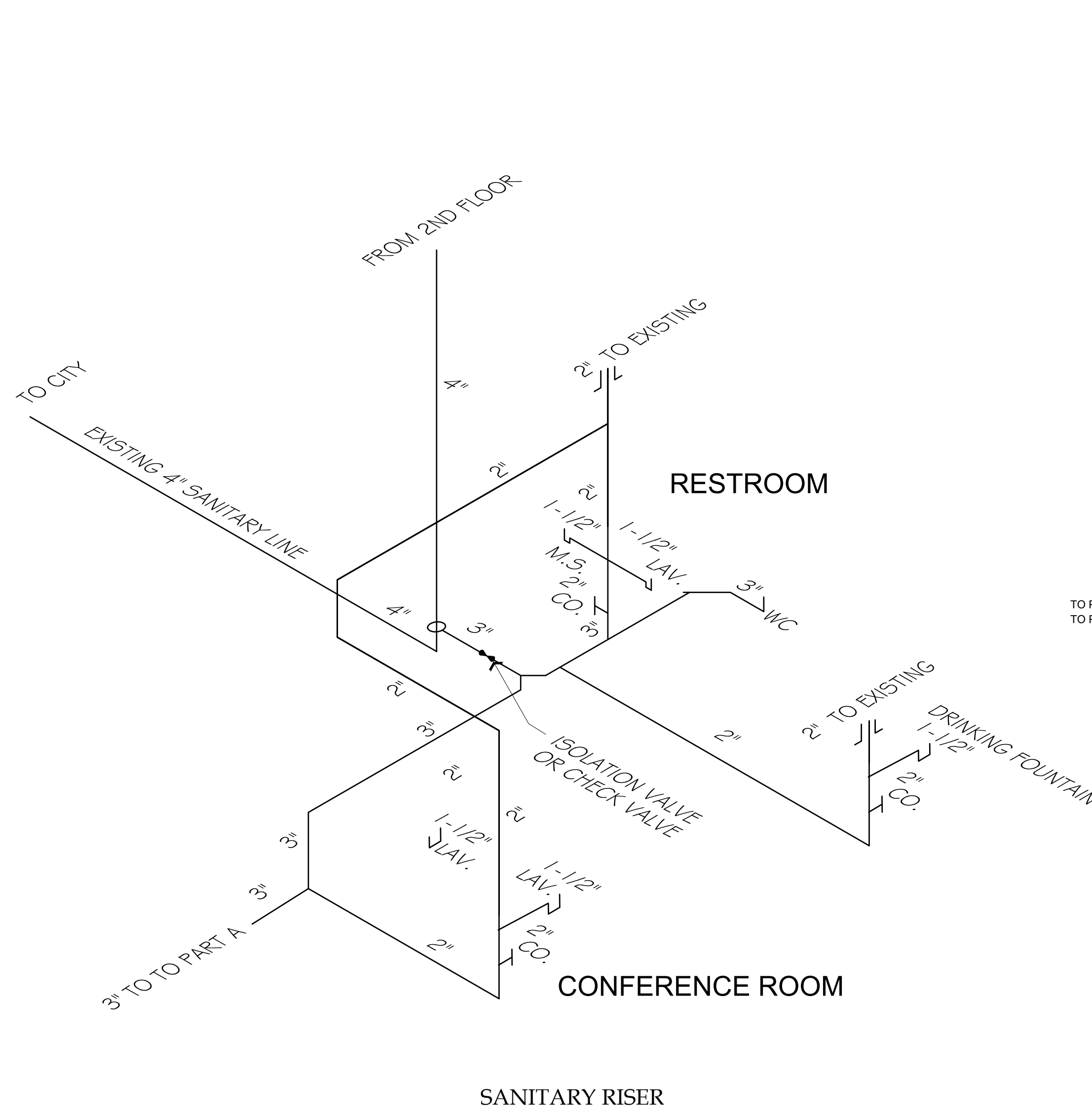
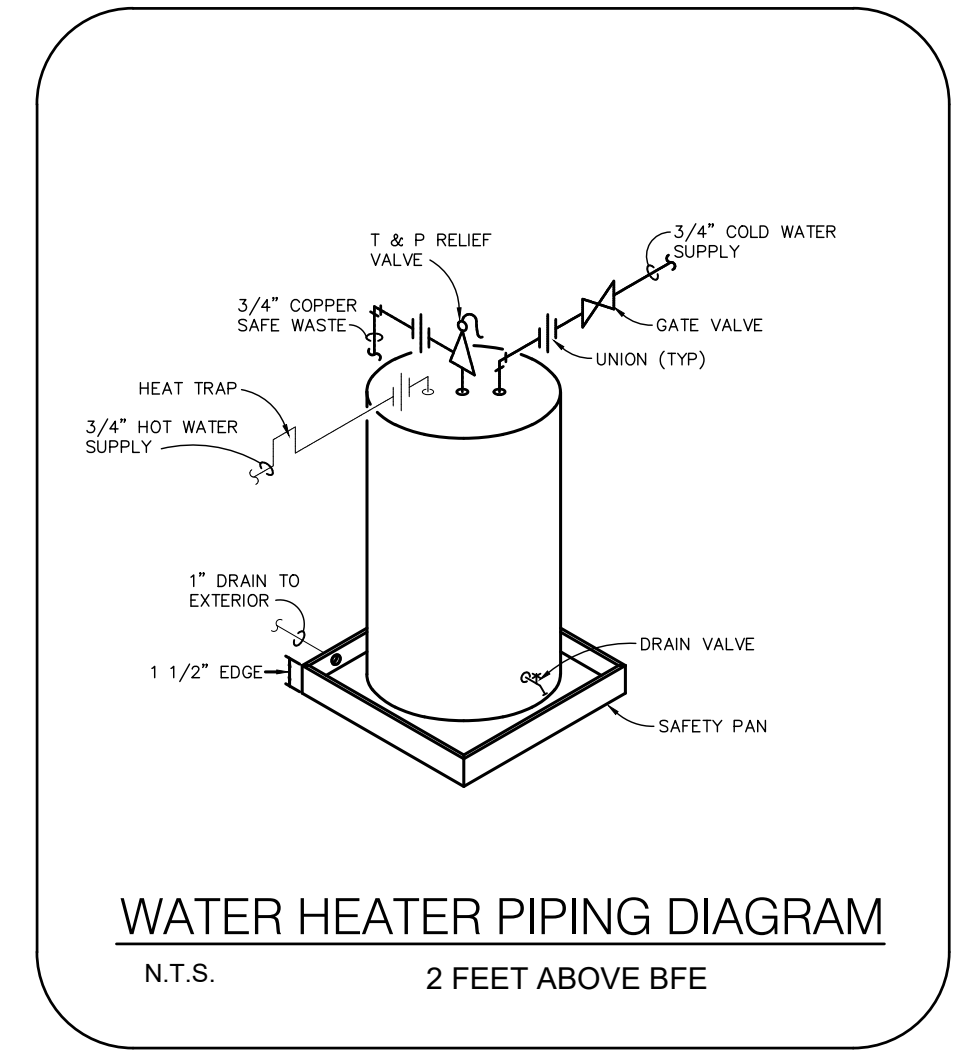
Remodel & Build-out  
**MADEIRA BEACH CITY HALL COMPLEX**  
 300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
**PLUMBING PLAN PART "A"**

SEAL

DRAWN BY: MT / CS  
 UPDATED ON: Oct. 4, 20  
 DATE: 11-22-2019  
 JOB PROJECT #: 2018-031  
 SHEET # **P-1.0**

# PLUMBING SPECIFICATIONS

1. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL COMPLETE SANITARY AND DOMESTIC WATER PIPING SYSTEMS, INCLUDING ALL ASSOCIATED DEVICES, EQUIPMENT, CONTROLS, AND CONNECTIONS TO EXISTING SERVICES, SUPPORTS, AND HARDWARE REQUIRED FOR THE SATISFACTORY OPERATION OF THE SYSTEMS, WHETHER SPECIFICALLY SHOWN OR NOT. PLUMBING CONTRACTOR SHALL PROVIDE ROUTING AND OFFSETS NECESSARY TO AVOID CONFLICT WITH STRUCTURE, FINISHES, AND WORK OF OTHER TRADES; THE DRAWINGS INDICATE IN GENERAL THE ROUTING, AND DO NOT SHOW ALL REQUIRED PIPING, FITTINGS, OFFSETS, ETC.
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10. INSTALL ALL WORK TO COMPLY WITH ADA REQUIREMENTS IF APPLICABLE.
11. COORDINATE ALL CLEANOUTS WITH ARCHITECTURAL PRIOR TO INSTALLATION.



**PLUMBING PLAN PART "B"**  
SCALE: 1/4"=1'-0"

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JOHN A. BODZIAK, INC. - KEY WEST REGISTERED PROFESSIONAL ARCHITECT AND CONSTRUCTION MANAGEMENT CONSULTANT  
3000 S. GULF BLVD., SUITE 100, KEY WEST, FL 34622  
TEL: (305) 857-1111  
FAX: (305) 857-1112  
WWW.JABODZIAK.COM

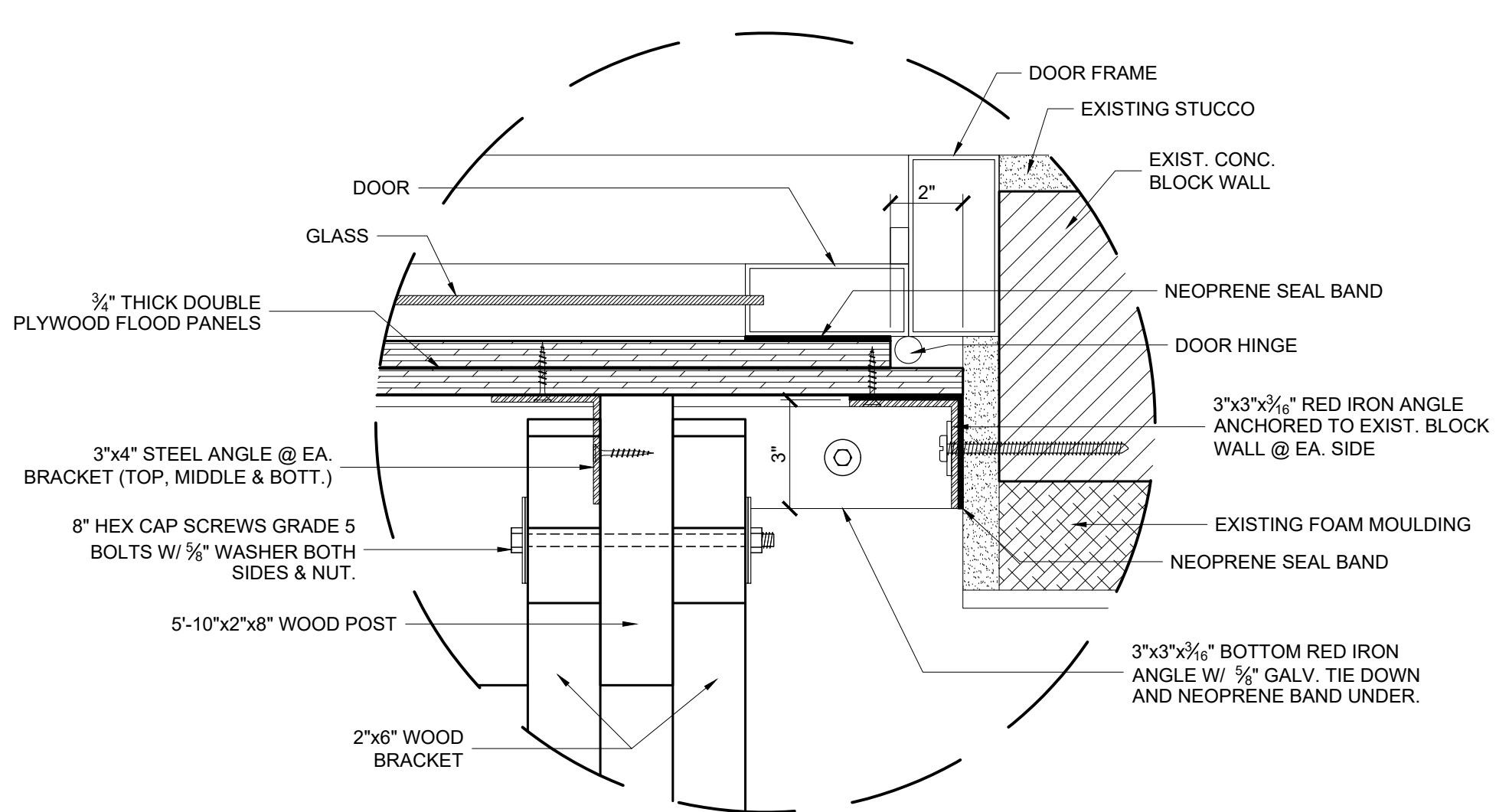
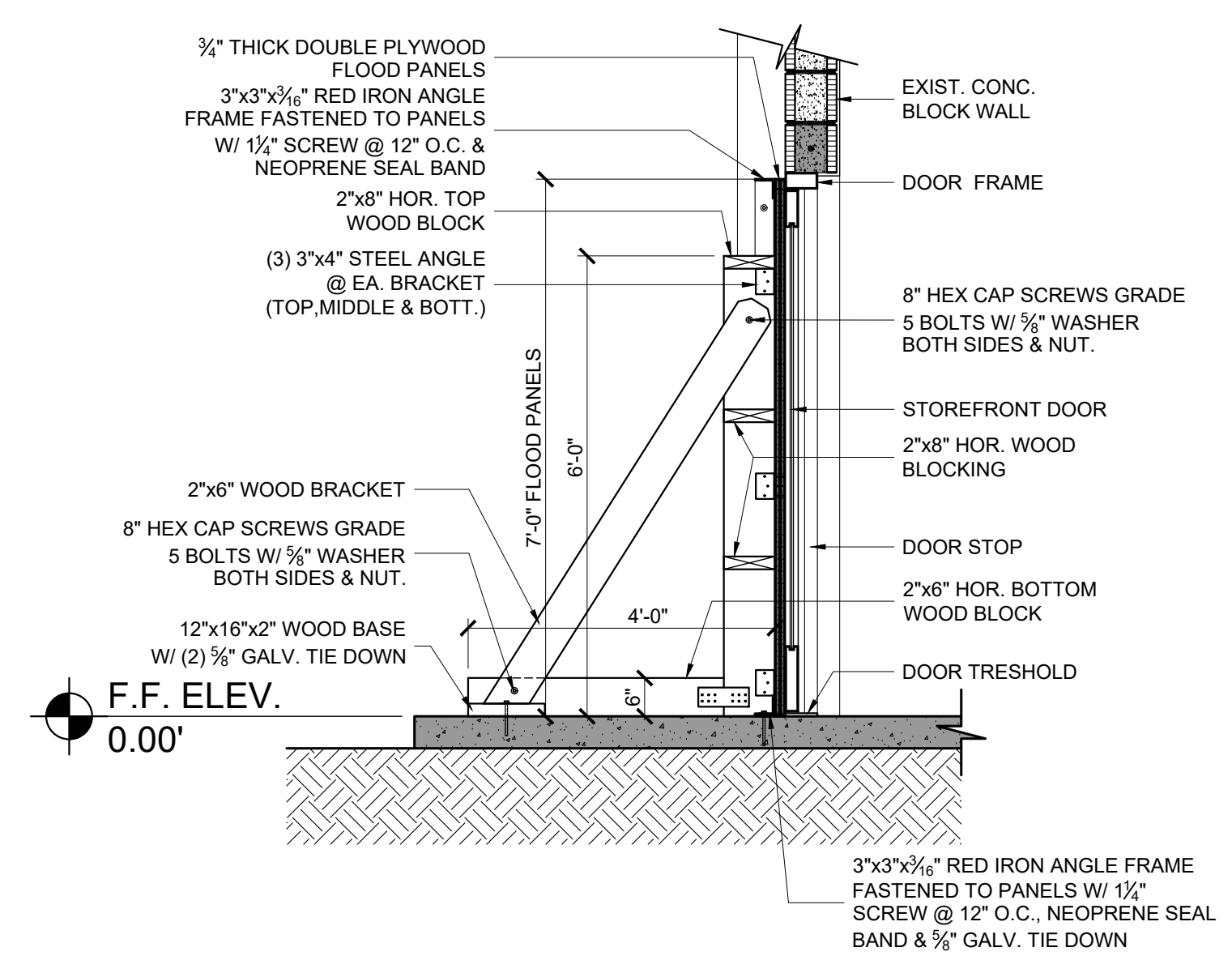
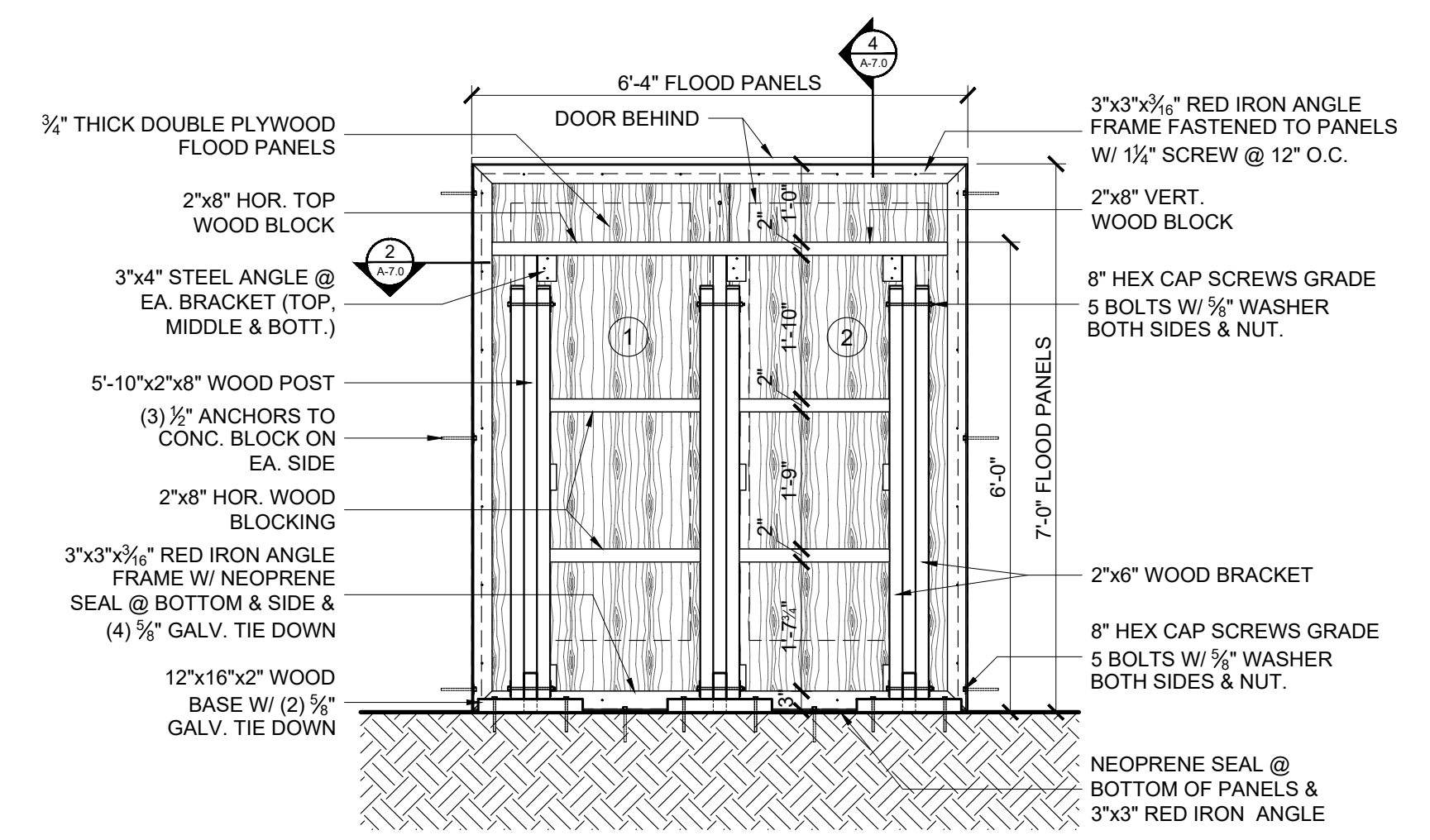
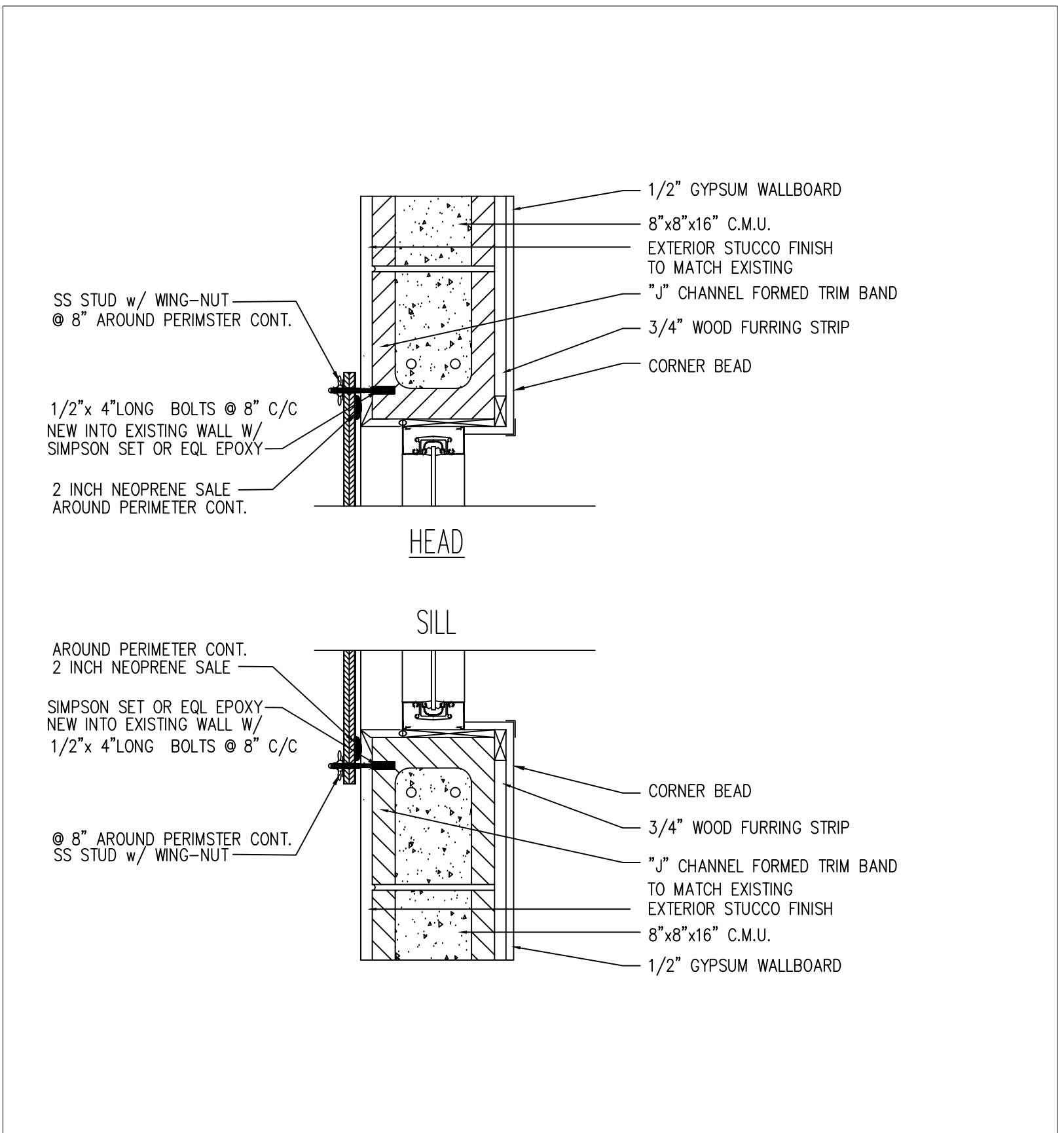
NO.	DATE	DESCRIPTION
1	SEPT. 1, 2020	REVISIONS

Remodel & Build-out  
**MADEIRA BEACH CITY HALL COMPLEX**  
300 MUNICIPAL DRIVE MADEIRA BEACH FL.  
PLUMBING PLAN PART "B"

**JOHN A. BODZIAK**  
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TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY: MT / CS  
UPDATED ON: Oct. 4, 20  
DATE: 11-22-2019  
JOB PROJECT #: 2018-031  
SHEET #: P-2.0





**NOTE:**  
 REMOVE DOOR HANDLES BEFORE FLOOD PANEL INSTALLATION

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 550 AND 551, LAWS OF FLORIDA.

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 TEL: (727) 327-1966 FAX: (727) 626-0686

REVISIONS

NO.	DATE	DESCRIPTION
1	SEPT. 1, 2020	REVISIONS

CLIENT: Remodel & Build-out MADEIRA BEACH CITY HALL COMPLEX 300 MUNICIPAL DRIVE MADEIRA BEACH FL. FLOOD PANELS

DRAWN BY: MT / CS  
 UPDATED ON: Sep. 8, 20  
 DATE: 11-22-2019  
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 SHEET #: FP-1.0