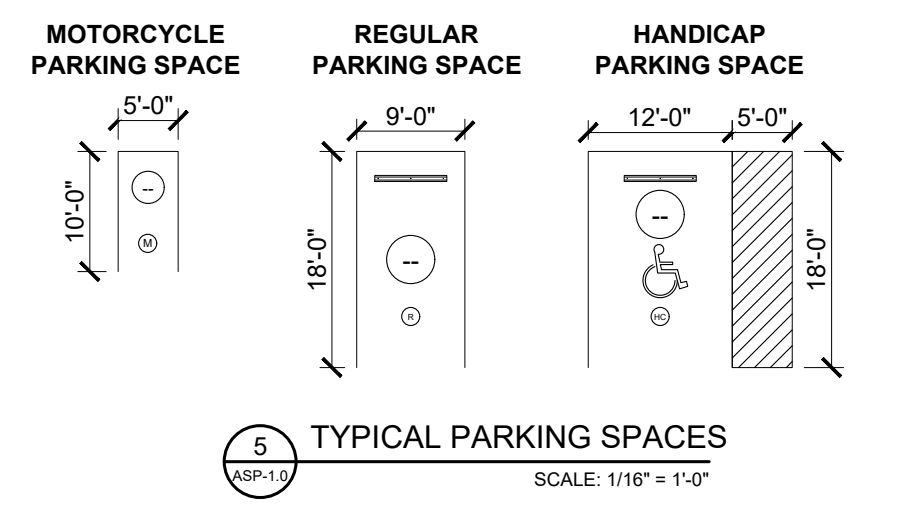
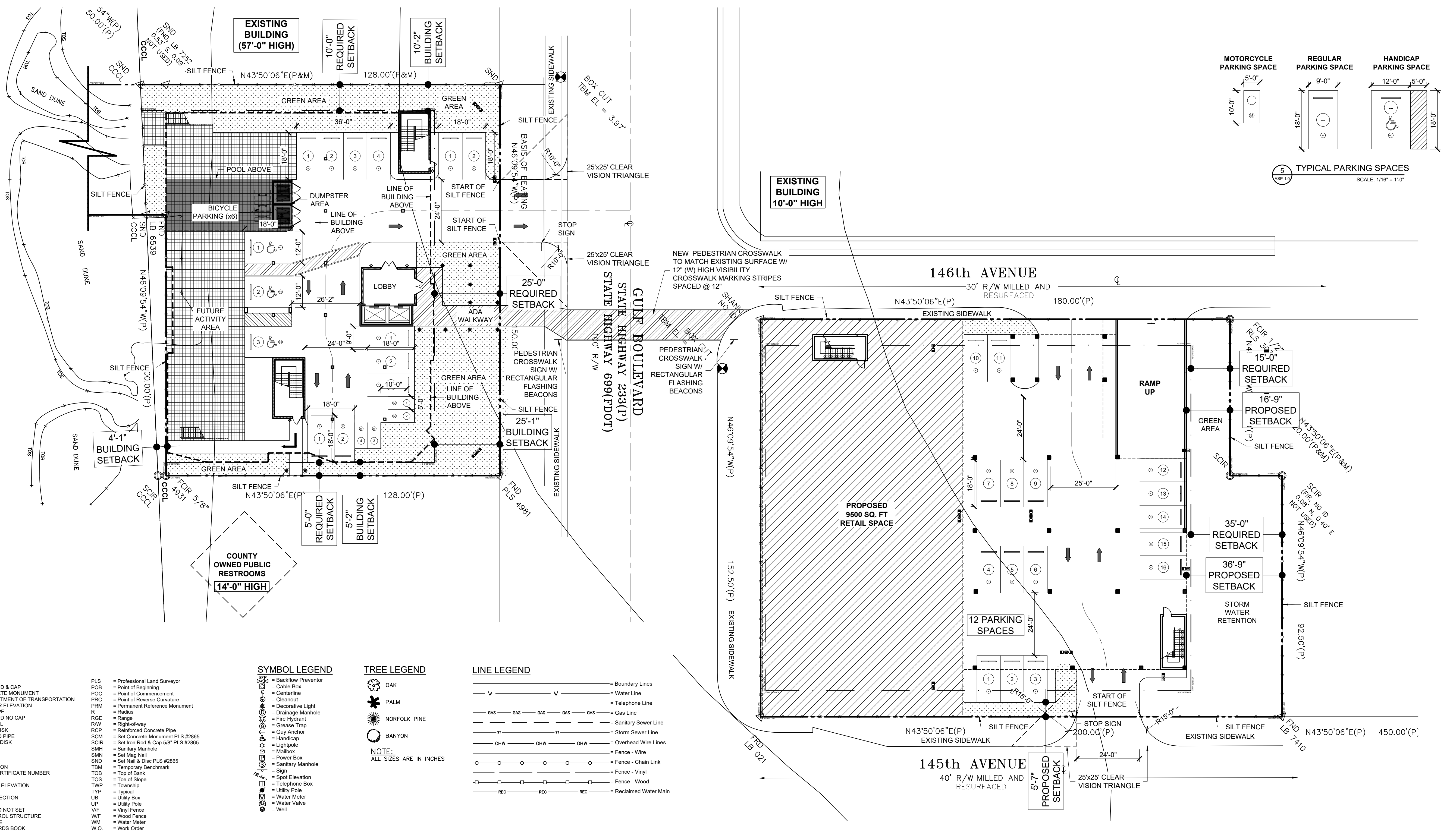


LEGAL DESCRIPTION:
 LOTS 1, 2, 71, 72, 73, AND 74, SUNNY SHORES, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
 AND
 LOT 3, TOGETHER WITH ALL LAND LYING BETWEEN THE SAID LOT 3 AND THE WATERS OF THE GULF OF MEXICO, SUNNY SHORES, ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
 AND
 LOTS 1, 2, 3, AND 4, MADEIRA SHORES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE 87, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

- LIGHTING LEGEND**
- ☐ EXTERIOR DOWN LIGHT WALL SCONCE WITH REQUIRED MOUNTING HARDWARE
 - ☐ BOLLARD LIGHT (LED)
 - ☐ LIGHT POLE LED (SINGLE LAMP)
 - ☐ LIGHT POLE LED (DOUBLE LAMP)
- NOTES:**
- ALL LIGHTING TO BE PROPERLY "TURTLE" SHIELDED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL STATUTES PER SECTION 110-506 - LIGHTING IN BEACH AREA.
 - ALL LIGHTS TO BE LED TECHNOLOGY.

- SIGNAGE NOTES:**
- ALL SIGNAGE TO BE CONFORMED WITH THE CODE OF ORDINANCES OF MADEIRA BEACH, PART II, CHAPTER 102 - SIGNS, SEC. 102-1 THRU 102-96.

CATEGORY	ALLOWABLE	SITE DATA TABLE:			
		EXISTING (WEST LOT)	EXISTING (EAST LOT)	PROPOSED (WEST LOT)	PROPOSED (EAST LOT)
ZONING	R3.1-C3	R3	R3	FD	FD
LAND USE DISTRICT	RESORT - FACILITIES MEDIUM	LAND USE DISTRICT	RESORT - FACILITIES MEDIUM	RESORT - FACILITIES MEDIUM	RESORT - FACILITIES MEDIUM
SETBACKS	FRONT	EAST 7'-0"	EAST 7'-0"	FRONT (EAST) 25'-11"	EAST 30'-0"
	REAR	15'-0" & 35'-0"	WEST 22'-2"	REAR FROM COCL (WEST) 4'-11"	WEST 5'-2"
	SIDE	10'-0"	NORTH 17'-0"	SIDE (NORTH) 10'-2"	NORTH 10'-11"
	SIDE	10'-0"	SOUTH 8'-0"	SIDE (SOUTH) 9'-2"	SOUTH 12'-0"
B.F.E.	-	AE-12, VE-13, VE-14	AE-11, AE-12	AE-12, VE-13, VE-14	AE-11, AE-12
FINISHED FLOOR ELEVATION	-	5.67, 5.68 & 5.78 NAVD	4.51 & 4.52 NAVD	17'-0" NAVD	4.5' NAVD (GROUND FLOOR)
SITE AREA	49,470.00 sq. ft.	20,170.00 sq. ft.	20,300.00 sq. ft.	20,170.00 sq. ft.	49,470.00 sq. ft.
DENSITY	-	0.48 units/acre	0.87 units/acre	0.87 units/acre	1.14 units/acre
BUILDING FOOTPRINT COVERAGE	-	9,291.69 sq. ft.	5,076.46 sq. ft.	13,463.36 sq. ft.	13,463.36 sq. ft.
BUILDING HEIGHT/FLOORS	-	4.92% BUILDING #1 - 2-STORY (21' TO ROOF TOP) BUILDING #2 - 2-STORY (21' TO ROOF TOP)	3.73% BUILDING #1 - 2-STORY (21' TO ROOF TOP) BUILDING #2 - 1-STORY (14' TO ROOF TOP)	54'-0" ABOVE FREEBOARD TO ROOF DECK 63'-0" ABOVE GRADE TO ROOF DECK	54'-0" ABOVE FREEBOARD TO ROOF DECK 63'-0" ABOVE GRADE TO ROOF DECK
FLOOR AREA RATIO (FAR)	59,384.00 Max 131.00% Max	1.20 Max 59,666.00 sq. ft.	-	0.34 59,666.00 sq. ft.	0.34 59,666.00 sq. ft.
IMPERVIOUS SURFACE RATIO (ISR)	34,629.00 Max 70.00% Max	0.70 Max 14,602.91 sq. ft.	-	0.72 14,602.91 sq. ft.	0.68 13,914.53 sq. ft.
LANDSCAPE & GREEN SPACE	SECTION 46.11 LANDSCAPING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF DIVISION 22	-	-	0.30 5,994.31 sq. ft.	0.32 6,985.47 sq. ft.
VEHICULAR & PEDESTRIAN USE	-	-	-	70.28% 14,175.69 sq. ft.	65.92% 13,314.53 sq. ft.
PARKING SPACES (P.S.)	TEMPORARY LODGING - 1 PARKING SPACE PER UNIT 98 P.S. REQUIRED BICYCLE CREDIT = 1 PER 1 UP TO 3 1 HOCP PARKING SPACE REQUIRED PER 25 PARKING SPACES	16 PARKING SPACES	73 PARKING SPACES	11 PARKING SPACES (STANDARD P.S. 9x18) 3 HOCP PARKING SPACES (STANDARD HOCP 17x18) 6 BICYCLE PARKING SPACES (3 CREDITS)	78 PARKING SPACES (STANDARD P.S. 9x18) 3 HOCP PARKING SPACES (STANDARD HOCP 17x18) 6 BICYCLE PARKING SPACES (3 CREDITS)



- LEGEND**
- (C) = Calculated Data
 - (D) = Data per Description
 - (F) = Field Determined
 - (M) = Measured Data
 - (P) = Data per Plat
 - +/- = Plus or Minus
 - A/C = Air Conditioner
 - BWF = Barbed Wire Fence
 - BFE = Base Flood Elevation
 - BFP = Backflow Preventer
 - CB = Chord Bearing
 - CH = Chord
 - C.A.B. = Condominium Plat Book
 - C/C = Covered Concrete
 - C/S = Concrete Slab
 - C/SW = Concrete Sidewalk
 - CCCL = Coastal Construction Control Line
 - CL = Centerline
 - CLF = Chain Link Fence
 - COV = Covered
 - CLP = Concrete Light Pole
 - CMP = Corrugated Metal Pipe
 - CONC = Concrete
 - D.A. = Delta Angle
 - D.B. = Deed Book
 - D/W = Driveway
 - DMH = Drainage Manhole
 - E/P = Edge of Pavement
 - EL = Elevation
 - EW = Edge of Water
 - F = FOUND
 - FCR = FOUND IRON ROD & CAP
 - FCM = FOUND CONCRETE MONUMENT
 - FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION
 - FFE = FINISHED FLOOR ELEVATION
 - FIP = FOUND IRON PIPE
 - FIR = FOUND IRON ROD NO CAP
 - FRN = FOUND REINFORCING NAIL
 - FND = FOUND NAIL & DISK
 - FPP = FOUND PINCHED PIPE
 - FRI = FOUND RIVET & DISK
 - G.I. = GATE INLET
 - GV = GATE VALVE
 - C.A.C. = Condominium Plat Book
 - C/S = Concrete Slab
 - C/SW = Concrete Sidewalk
 - CCCL = Coastal Construction Control Line
 - CL = Centerline
 - CLF = Chain Link Fence
 - COV = Covered
 - CLP = Concrete Light Pole
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 - FRN = FOUND REINFORCING NAIL
 - FND = FOUND NAIL & DISK
 - FPP = FOUND PINCHED PIPE
 - FRI = FOUND RIVET & DISK
 - G.I. = GATE INLET
 - GV = GATE VALVE
 - HVD = FIRE HYDRANT
 - I.E. = INVERT ELEVATION
 - I.C. = INTERIOR CONTROL STRUCTURE
 - LP = LIGHT POLE
 - LFE = LOWEST FLOOR ELEVATION
 - M.O.L. = MORE OR LESS
 - MES = MITERED END SECTION
 - N&D = NAIL & DISK
 - NFS = NOT FOUND AND NOT SET
 - OCS = OUTFALL CONTROL STRUCTURE
 - ORW = OVERHEAD WIRE
 - O.R. = OFFICIAL RECORDS BOOK
 - P.B. = PLAT BOOK
 - PCP = PERMANENT CONTROL POINT
 - PG(S) = PAGE(S)
 - PLS = Professional Land Surveyor
 - POB = Point of Beginning
 - POC = Point of Commencement
 - PRC = Point of Reverse Curvature
 - PRM = Permanent Reference Monument
 - R = Radius
 - RGE = Range
 - R/W = Right-of-way
 - RCP = Reinforced Concrete Pipe
 - SCM = Set Concrete Monument PLS #2865
 - SCR = Set Iron Rod & Cap 5/8" PLS #2865
 - SMH = Sanitary Manhole
 - SMN = Set Nail & Disc PLS #2865
 - TBM = Temporary Benchmark
 - TOB = Top of Bank
 - TOS = Top of Slope
 - TWP = Township
 - TYP = Typical
 - UB = Utility Box
 - UP = Utility Pole
 - V.F. = Vinyl Fence
 - W/F = Wood Fence
 - WM = Water Meter
 - W.O. = Work Order
 - WV = Water Valve

- SYMBOL LEGEND**
- ☐ Backflow Preventer
 - ☐ Cable Box
 - ☐ Centerline
 - ☐ Cleanout
 - ☐ Decorative Light
 - ☐ Fire Hydrant
 - ☐ Fire Hydrant
 - ☐ Handicap
 - ☐ Grease Trap
 - ☐ Guy Anchor
 - ☐ Lightpole
 - ☐ Mailbox
 - ☐ Power Box
 - ☐ Sanitary Manhole
 - ☐ Sign
 - ☐ Spot Elevation
 - ☐ Telephone Box
 - ☐ Utility Pole
 - ☐ Water Meter
 - ☐ Water Valve
- TREE LEGEND**
- ☐ OAK
 - ☐ PALM
 - ☐ NORFOLK PINE
 - ☐ BANYON
- NOTE:**
 ALL SIZES ARE IN INCHES

- LINE LEGEND**
- Boundary Lines
 - Water Line
 - Telephone Line
 - Gas Line
 - Sanitary Sewer Line
 - Storm Sewer Line
 - Overhead Wire Lines
 - Fence - Wire
 - Fence - Chain Link
 - Fence - Vinyl
 - Fence - Wood
 - Reclaimed Water Main

1 ALTERNATE ARCHITECTURAL SITE PLAN
 SCALE: 1" = 20'-0"

GRAPHIC SCALE (IN FEET)

SCALE: 1" = 20'-0"

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SCHOONER RESORT
 14500 - 14550 GULF BOULEVARD
 MADEIRA BEACH, FLORIDA
 ARCHITECTURAL SITE PLAN

DRAWN BY: TT-AT-JB-CS
 UPDATED ON: Mar. 5, 21
 DATE: OCT - 2018
 JOB PROJECT #: 2018-029
 SHEET #: ASP-1.0B

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DIMENSIONS AND COORDINATES SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNEXPECTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE AND BELIEFS, THE ARCHITECT HAS PREPARED THIS ARCHITECTURAL SITE PLAN IN ACCORDANCE WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 63 AND 65, LAWS OF FLORIDA.

NO. DATE 11/18/2020

REVISIONS

DESCRIPTION

ADJUSTMENTS PER CITY COMMENTS

CLIENT