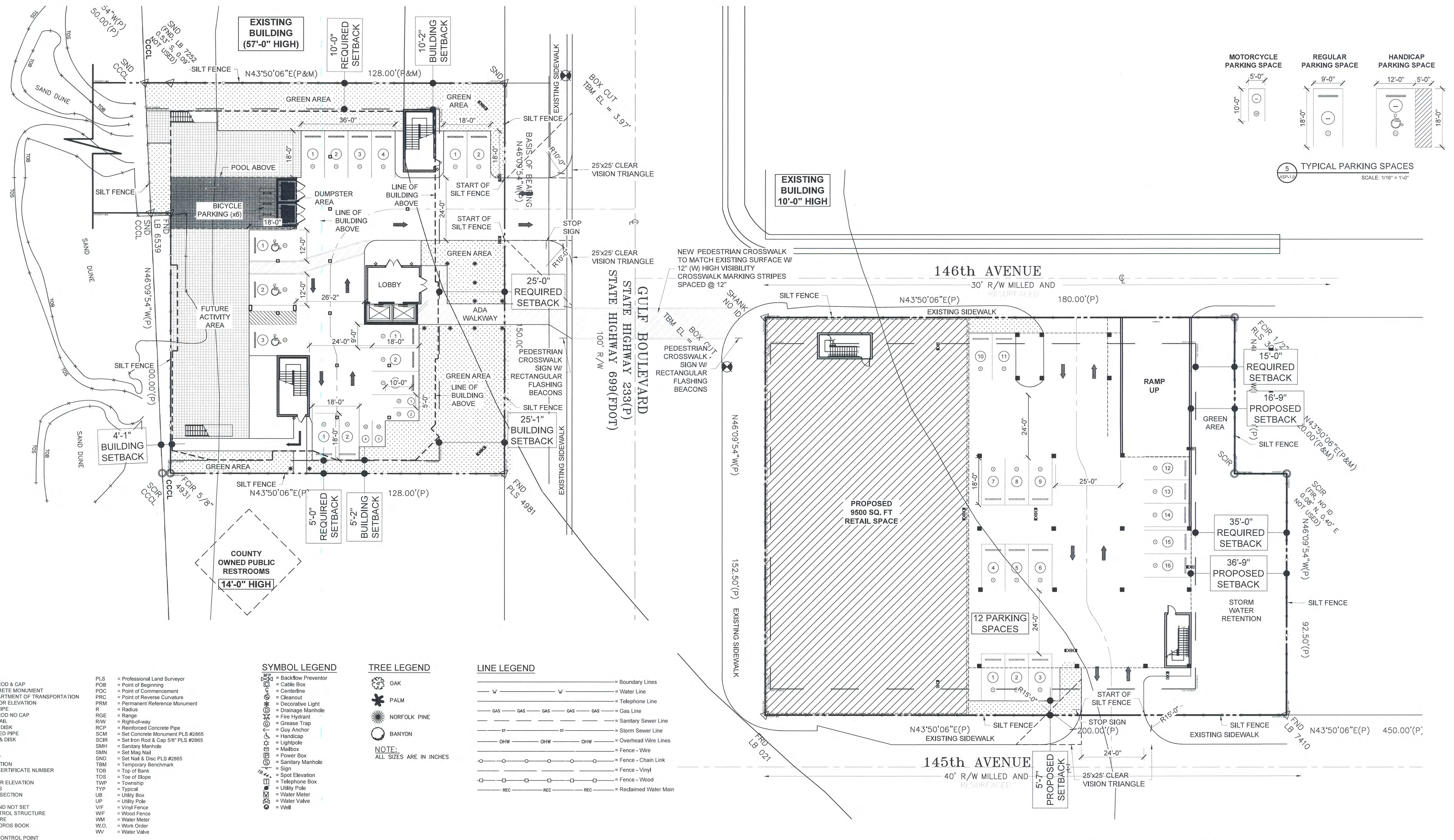
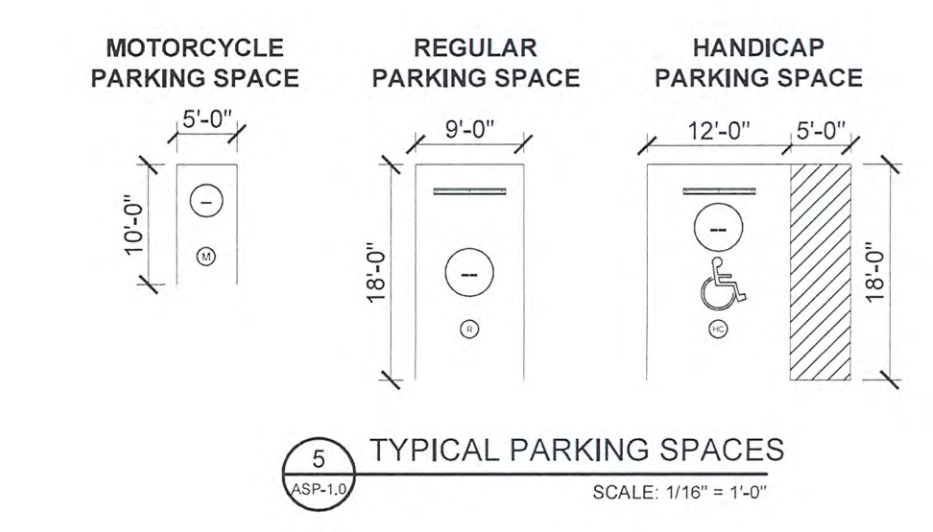


**LEGAL DESCRIPTION:**  
 LOTS 1, 2, 71, 72, 73, AND 74, SUNNY SHORES, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.  
 AND  
 LOT 3, TOGETHER WITH ALL LAND LYING BETWEEN THE SAID LOT 3 AND THE WATERS OF THE GULF OF MEXICO, SUNNY SHORES, ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.  
 AND  
 LOTS 1, 2, 3, AND 4, MADEIRA SHORES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE 87, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

- LIGHTING LEGEND**
- LED CANOPY LED FIXTURE WITH REQUIRED MOUNTING HARDWARE
  - EXTERIOR DOWN LIGHT WALL SCONCE WITH REQUIRED MOUNTING HARDWARE
  - BOLLARD LIGHT (LED)
  - LIGHT POLE LED (SINGLE LAMP)
  - LIGHT POLE LED (DOUBLE LAMP)
- NOTES:**
- ALL LIGHTING TO BE PROPERLY "TURTLE" SHIELDED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL STATUTES PER SECTION 110-506 - LIGHTING IN BEACH AREA.
  - ALL LIGHTS TO BE LED TECHNOLOGY.

- SIGNAGE NOTES:**
- ALL SIGNAGE TO BE CONFORMED WITH THE CODE OF ORDINANCES OF MADEIRA BEACH, PART II, CHAPTER 102 - SIGNS, SEC. 102-1 THRU 102-96.

CATEGORY	ALLOWABLE	SITE DATA TABLE:			
		EXISTING (WEST LOT)	EXISTING (EAST LOT)	PROPOSED (WEST LOT)	PROPOSED (EAST LOT)
<b>ZONING</b>	RS-37.5	RS-3	RS-3	RS-3	RS-3
<b>LAND USE DISTRICT</b>	RESORT - FACILITIES MEDIUM	LAND USE DISTRICT	RESORT - FACILITIES MEDIUM	RESORT - FACILITIES MEDIUM	RESORT - FACILITIES MEDIUM
<b>SETBACKS</b>	FRONT: 15'-0" & 35'-0" REAR: 10'-0" SIDE: 10'-0" SIDE: 10'-0"	EAST: 7'-0" WEST FROM COUL: 20'-0" NORTH: 17'-0" SOUTH: 8'-0" AE-12, VE-13, VE-14	EAST: 7'-0" WEST: 5'-0" NORTH: 67'-0" SOUTH: 1'-0" AE-11, AE-12	FRONT (EAST): 29'-0" WEST: 4'-0" SIDE (NORTH): 10'-0" SIDE (SOUTH): 9'-0" AE-11, AE-12	FRONT: 36'-0" WEST: 5'-0" NORTH: 10'-0" SOUTH: 12'-0" VE-14-2' OF FREEBOARD
<b>B.F.E.</b>	-	5.67, 5.66 & 5.76 NAVD	4.51 & 4.52 NAVD	17.0 NAVD	4.5 NAVD (GROUND FLOOR)
<b>FINISHED FLOOR ELEVATION</b>	-	20,170.00 sq. ft. 0.46 acres	29,300.00 sq. ft. 0.67 acres	20,170.00 sq. ft. 0.46 acres	29,300.00 sq. ft. 0.67 acres
<b>SITE AREA</b>	-	48,470.00 sq. ft. 1.11 acres	48,470.00 sq. ft. 1.11 acres	48,470.00 sq. ft. 1.11 acres	48,470.00 sq. ft. 1.11 acres
<b>DENSITY</b>	-	48.52%	17.33%	48.52%	48.52%
<b>BUILDING FOOTPRINT COVERAGE</b>	-	9,261.69 sq. ft. 19.11%	5,076.46 sq. ft. 10.49%	56 sqm @ 40 units / acre 13,403.38 sq. ft. 27.65%	0.00%
<b>BUILDING HEIGHT/ FLOORS</b>	-	BUILDING #1 = 2-STORY (21' TO ROOF TOP) BUILDING #2 = 2-STORY (28' TO ROOF TOP) BUILDING #3 = 2-STORY (21' TO ROOF TOP)	BUILDING #1 = 3-STORY (31' TO ROOF TOP) BUILDING #2 = 1-STORY (14' TO ROOF TOP)	54'-0" ABOVE FREEBOARD TO ROOF DECK 63'-0" ABOVE GRADE TO ROOF DECK	54'-0" ABOVE FREEBOARD TO ROOF DECK 63'-0" ABOVE GRADE TO ROOF DECK
<b>FLOOR AREA RATIO (FAR)</b>	59,364.00 Max. 1.20 Max.	34,628.00 Max. 0.70 Max.	-	58,668.00 sq. ft. 0.34	58,668.00 sq. ft. 0.34
<b>IMPERVIOUS SURFACE RATIO (ISR)</b>	34.628.00 Max. 100.00% Max. 70.00% Max.	72.40%	72.40%	72.40%	65.92%
<b>LANDSCAPE &amp; GREEN SPACE</b>	SECTION 46.11 LANDSCAPING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF DIVISION 22	5,994.31 sq. ft. 12.35%	9,985.47 sq. ft. 20.62%	14,779.89 sq. ft. 30.52%	19,314.83 sq. ft. 39.86%
<b>VEHICULAR &amp; PEDESTRIAN USE</b>	TEMPORARY LODGING = 1 PARKING SPACE PER UNIT 96 P.S. REQUIRED BICYCLE CREDIT +1 PER 1 UP TO 3 1 HOOP PARKING SPACE REQUIRED PER 25 PARKING SPACES	16 PARKING SPACES	73 PARKING SPACES	11 PARKING SPACES (STANDARD P.S. 9x18) 3 HOOP PARKING SPACES (STANDARD HOOP 11x18) 6 BICYCLE PARKING SPACES (3 CREDITS)	70 PARKING SPACES (STANDARD P.S. 9x18) 3 HOOP PARKING SPACES (STANDARD HOOP 11x18) TOTAL P.S. 79 P.S. 6 BICYCLE PARKING SPACES (3 CREDITS) 4 MOTORCYCLE SPACES (STANDARD P.S. 6x10)
<b>PARKING SPACES (P.S.)</b>	-	16 PARKING SPACES	73 PARKING SPACES	11 PARKING SPACES (STANDARD P.S. 9x18) 3 HOOP PARKING SPACES (STANDARD HOOP 11x18) 6 BICYCLE PARKING SPACES (3 CREDITS) 4 MOTORCYCLE SPACES (STANDARD P.S. 6x10)	70 PARKING SPACES (STANDARD P.S. 9x18) 3 HOOP PARKING SPACES (STANDARD HOOP 11x18) TOTAL P.S. 79 P.S. 6 BICYCLE PARKING SPACES (3 CREDITS) 4 MOTORCYCLE SPACES (STANDARD P.S. 6x10)



- LEGEND**
- (C) = Calculated Data
  - (D) = Data per Description
  - (F) = Field Determined
  - (M) = Measured Data
  - (P) = Data per Plan
  - (T) = Data per Title
  - (V) = Data per View
  - (W) = Data per Wall
  - (X) = Data per X-Section
  - (Y) = Data per Y-Section
  - (Z) = Data per Z-Section
  - (A) = Air Conditioner
  - (B) = Barbed Fence
  - (BFE) = Base Flood Elevation
  - (BPP) = Backflow Preventer
  - (BWF) = Barbed Fence
  - (CB) = Chord Bearing
  - (CH) = Chord
  - (C.A.B.) = Condominium Plat Book
  - (C) = Concrete
  - (CIS) = Concrete Sidewalk
  - (CCCL) = Coastal Construction Control Line
  - (CL) = Centerline
  - (CLF) = Chainlink Fence
  - (COV) = Covered
  - (CLP) = Concrete Light Pole
  - (CMP) = Corrugated Metal Pipe
  - (CONC.) = Concrete
  - (A) = Delta Angle
  - (D.B.) = Deed Book
  - (DW) = Driveway
  - (DMH) = Drainage Manhole
  - (EIP) = Edge of Pavement
  - (EL) = Elevation
  - (EOW) = Edge of Water
  - (F) = FOUND
  - (FCIR) = FOUND IRON ROD & CAP
  - (FCM) = FOUND CONCRETE MONUMENT
  - (FDT) = FLORIDA DEPARTMENT OF TRANSPORTATION
  - (FFE) = FINISHED FLOOR ELEVATION
  - (FP) = FOUND FROM FIRE
  - (FIR) = FOUND IRON ROD NO CAP
  - (FBN) = FOUND MAG NAIL
  - (FND) = FOUND NAIL & DISK
  - (FRD) = FOUND FINCHED PIPE
  - (FRD) = FOUND RIVET & DISK
  - (GL) = GRATE INLET
  - (GV) = GATE VALVE
  - (HFD) = FIRE HYDRANT
  - (I.E.) = INVERT ELEVATION
  - (CISW) = CONCRETE SIDEWALK
  - (CCCL) = COASTAL CONSTRUCTION CONTROL LINE
  - (CL) = CENTERLINE
  - (M.O.L.) = MOORE OR LESS
  - (MES) = MITERED END SECTION
  - (NAD) = NAIL & DISK
  - (NFS) = NOT FOUND AND NOT SET
  - (OCS) = OUTFALL CONTROL STRUCTURE
  - (OHV) = OVERHEAD WIRE
  - (O.R.) = OFFICIAL RECORDS BOOK
  - (P.B.) = PLAT BOOK
  - (PCP) = PERMANENT CONTROL POINT
  - (PG(S)) = PAGE(S)
  - (PLS) = PROFESSIONAL LAND SURVEYOR
  - (POB) = POINT OF BEGINNING
  - (POC) = POINT OF COMMENCEMENT
  - (PRC) = POINT OF REVERSE CURVATURE
  - (PRM) = PERMANENT REFERENCE MONUMENT
  - (R) = RADIAL
  - (RGE) = RANGE
  - (RW) = RIGHT-OF-WAY
  - (RCP) = REINFORCED CONCRETE PIPE
  - (SCM) = SET CONCRETE MONUMENT PLS #2865
  - (SCR) = SET IRON ROD & CAP 5/8" PLS #2865
  - (SMH) = SANITARY MANHOLE
  - (SMN) = SET MAG NAIL
  - (SND) = SET NAIL & DISK PLS #2865
  - (TBM) = TEMPORARY BENCHMARK
  - (TOB) = TOP OF BANK
  - (TOS) = TOE OF SLOPE
  - (TWP) = TOWNSHIP
  - (TYP) = TYPICAL
  - (UB) = UTILITY BOX
  - (UP) = UTILITY POLE
  - (VP) = VINYL FENCE
  - (WF) = WOOD FENCE
  - (WM) = WATER METER
  - (W.O.) = WORK ORDER
  - (WV) = WATER VALVE
  - (B) = BACKFLOW PREVENTOR
  - (CB) = CABLE BOX
  - (CO) = CENTERLINE
  - (CL) = CLEANOUT
  - (DL) = DECORATIVE LIGHT
  - (DM) = DRAINAGE MANHOLE
  - (GT) = GREASE TRAP
  - (GA) = GUY ANCHOR
  - (H) = HANDICAP
  - (L) = LIGHTPOLE
  - (M) = MAILBOX
  - (PB) = POWER BOX
  - (SM) = SANITARY MANHOLE
  - (S) = SIGN
  - (SE) = SPOT ELEVATION
  - (TB) = TELEPHONE BOX
  - (U) = UTILITY POLE
  - (V) = VINYL FENCE
  - (W) = WATER METER
  - (WV) = WATER VALVE
  - (W) = WALL
  - (B) = BOUNDARY LINES
  - (W) = WATER LINE
  - (T) = TELEPHONE LINE
  - (G) = GAS LINE
  - (S) = SANITARY SEWER LINE
  - (SS) = STORM SEWER LINE
  - (O) = OVERHEAD WIRE LINES
  - (W) = FENCE - WIRE
  - (C) = FENCE - CHAIN LINK
  - (V) = FENCE - VINYL
  - (W) = FENCE - WOOD
  - (R) = RECLAIMED WATER MAIN

- SYMBOL LEGEND**
- (B) = Backflow Preventor
  - (CB) = Cable Box
  - (CO) = Centerline
  - (CL) = Cleanout
  - (DL) = Decorative Light
  - (DM) = Drainage Manhole
  - (GT) = Grease Trap
  - (GA) = Guy Anchor
  - (H) = Handicap
  - (L) = Lightpole
  - (M) = Mailbox
  - (PB) = Power Box
  - (SM) = Sanitary Manhole
  - (S) = Sign
  - (SE) = Spot Elevation
  - (TB) = Telephone Box
  - (U) = Utility Pole
  - (V) = Vinyl Fence
  - (W) = Water Meter
  - (WV) = Water Valve
  - (W) = Wall

- TREE LEGEND**
- OAK
  - PALM
  - NORFOLK PINE
  - BANYON
- NOTE: ALL SIZES ARE IN INCHES

- LINE LEGEND**
- Boundary Lines
  - Water Line
  - Telephone Line
  - Gas Line
  - Sanitary Sewer Line
  - Storm Sewer Line
  - Overhead Wire Lines
  - Fence - Wire
  - Fence - Chain Link
  - Fence - Vinyl
  - Fence - Wood
  - Reclaimed Water Main

PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 63 AND 65, LAWS OF FLORIDA.

NO. DATE DESCRIPTION ADJUSTMENTS PER CITY COMMENTS

1 11/18/2020

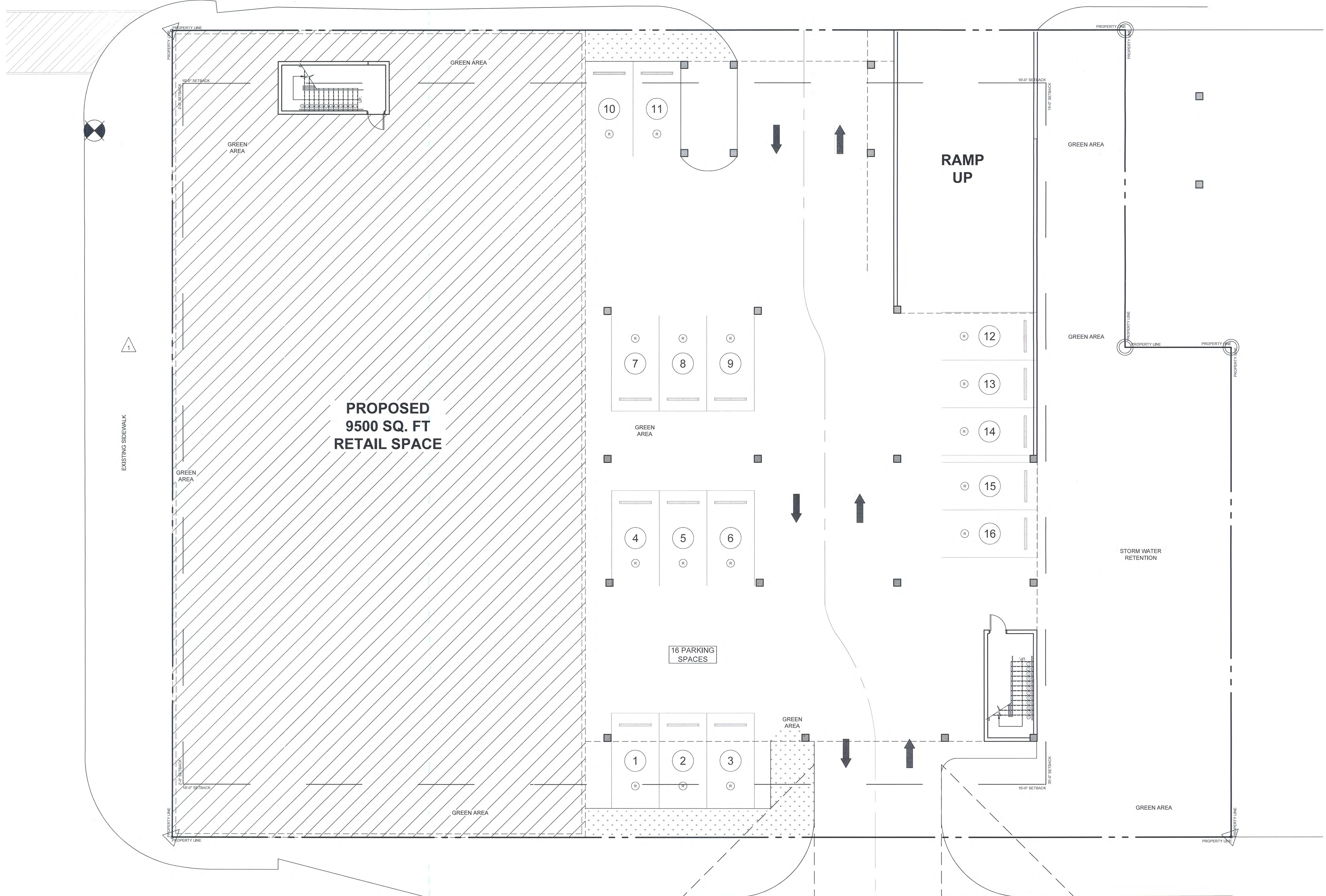
**PROJECT**  
 SCHOONER RESORT  
 14500 - 14550 GULF BOULEVARD  
 MADEIRA BEACH, FLORIDA  
 ARCHITECTURAL SITE PLAN

**ARCHITECT**  
 JOHN A. BODZIAK  
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 UPDATED ON: Feb. 10, 21  
 DATE: OCT - 2018  
 JOB PROJECT #: 2018-029  
 SHEET #

ASP-1.0B





1  
A-1.0

ALTERNATE GROUND FLOOR PLAN (PARKING LOT)

SCALE: 1/8" = 1'-0"



NORTH

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNPERMITTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLINED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

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 745 48th ST. SUITE 100, MADEIRA BEACH, FLORIDA 33710  
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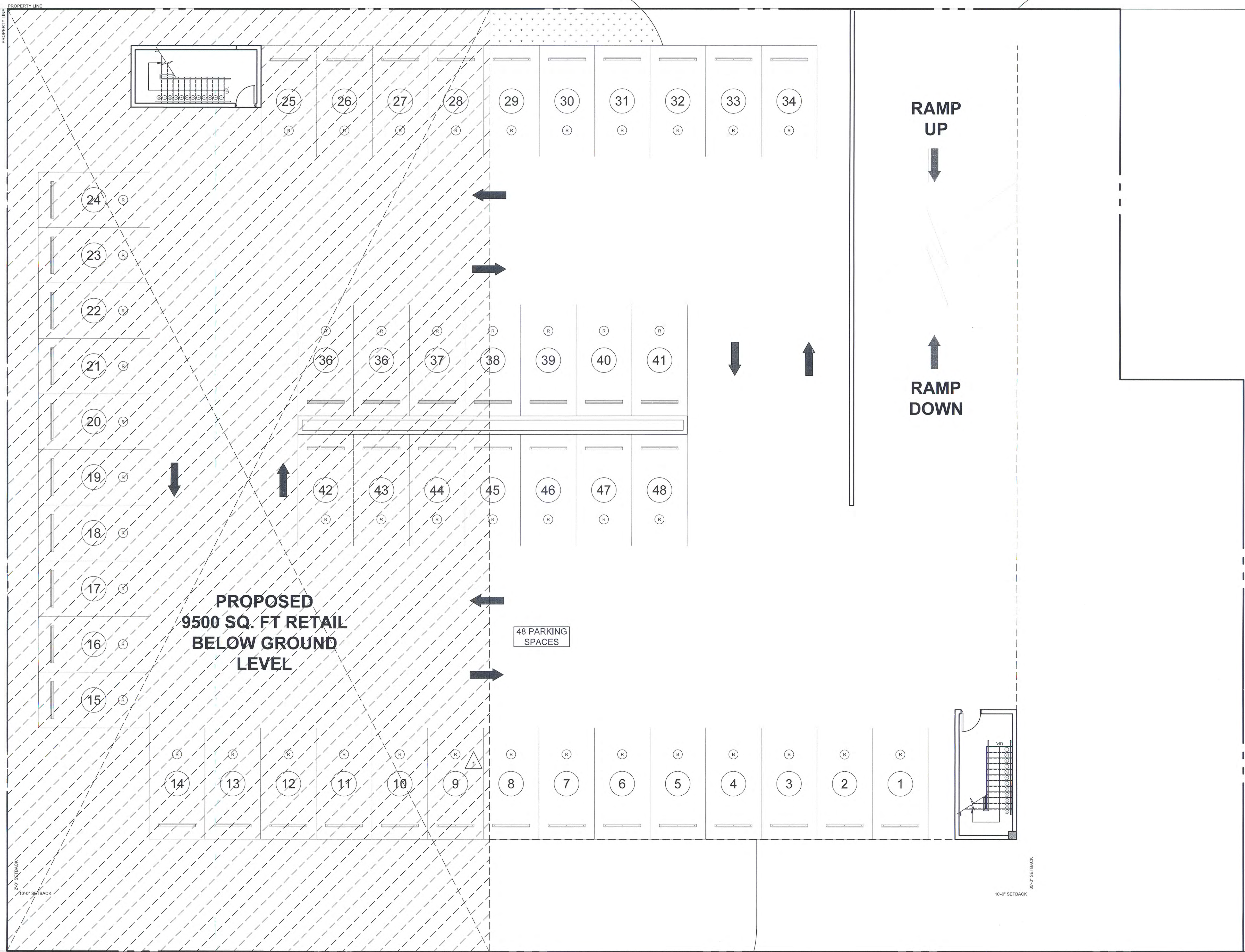
PROJECT  
**SCHOONER RESORT**  
 14500 - 14550 GULF BOULEVARD  
 MADEIRA BEACH, FLORIDA  
 GROUND FLOOR PLAN (PARKING LOT)

REVISES  
 NO. DATE DESCRIPTION  
 1 11/18/2020 ADJUSTMENTS PER CITY COMMENTS

DESIGNED BY: TT-AT-JB-CS  
 DRAWN BY: TT-AT-JB-CS  
 UPDATED ON: Feb. 10, 21  
 DATE: OCT - 2018  
 JOB PROJECT #: 2018-029  
 SHEET #

**A-1.0B**





1  
A-1.1 ALTERNATE SECOND FLOOR PLAN (GARAGE)  
SCALE: 1/8" = 1'-0"  
NORTH

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

**JOHN A. BODZIAK**  
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PROJECT  
**SCHOONER RESORT**  
14500 - 14550 GULF BOULEVARD  
MADEIRA BEACH, FLORIDA  
GROUND FLOOR PLAN (GULF FRONT LOT)

REVISIONS

NO.	DATE	DESCRIPTION
1	11/18/2020	ADJUSTMENTS PER CITY COMMENTS

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLINED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 633, LAWS OF FLORIDA.

JOHN A. BODZIAK, INC. HEREBY RESERVES THE RIGHT TO MAKE CHANGES TO THESE PLANS WITHOUT NOTICE AND WITHOUT LIABILITY TO THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT AND DOES NOT INCLUDE THE LIABILITY OF THE ARCHITECT FOR THE PERFORMANCE OF THE WORK OR THE WORK OF OTHER PROFESSIONALS OR THE PERFORMANCE OF THE WORK OR THE WORK OF OTHER PROFESSIONALS UNDER THE ARCHITECT'S SUPERVISION AND CONTROL. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT AND DOES NOT INCLUDE THE LIABILITY OF THE ARCHITECT FOR THE PERFORMANCE OF THE WORK OR THE WORK OF OTHER PROFESSIONALS UNDER THE ARCHITECT'S SUPERVISION AND CONTROL.

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DATE: OCT - 2018  
JOB PROJECT #: 2018-029  
SHEET #

**A-1.1B**





1  
A-1.2

SECOND FLOOR PLAN (GULF FRONT LOT)

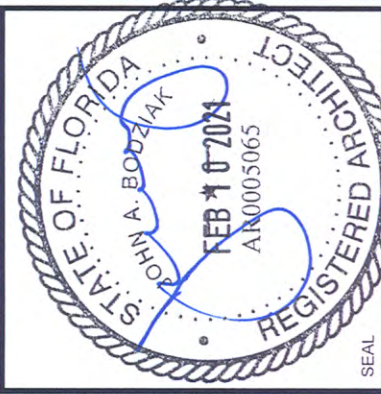
SCALE: 1/8" = 1'-0"



NORTH

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

**JOHN A. BODZIAK**  
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PROJECT  
**SCHOONER RESORT**  
 14500 - 14550 GULF BOULEVARD  
 MADEIRA BEACH, FLORIDA  
 SECOND FLOOR PLAN (GULF FRONT LOT)

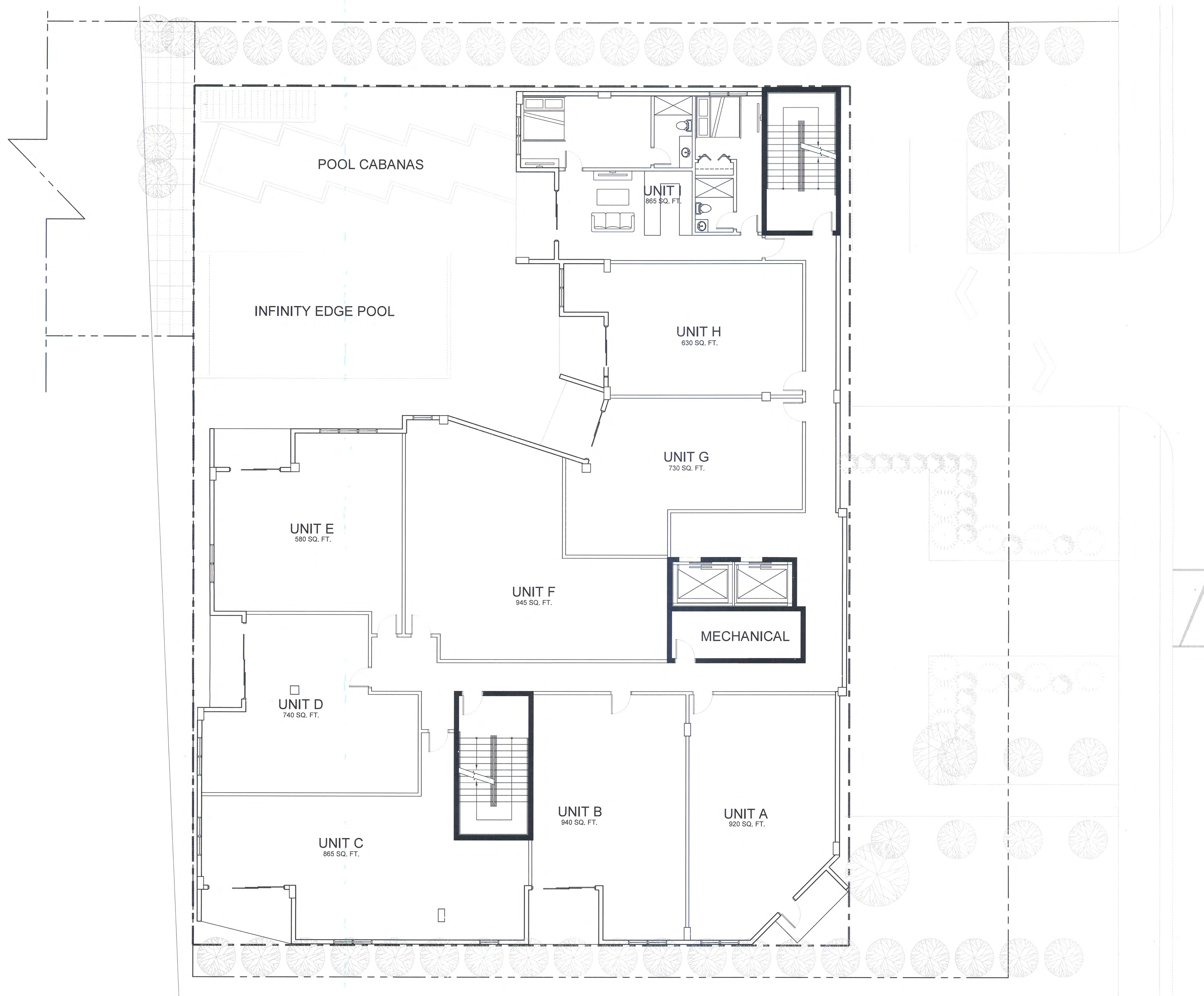
CLIENT

NO.	DATE	DESCRIPTION
Δ	11/18/2020	ADJUSTMENTS PER CITY COMMENTS

PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 63, LAWS OF FLORIDA.  
 JOHN A. BODZIAK, INC. HEREBY REPRESENTS THAT THE ARCHITECT HAS REVIEWED THE PLANS AND SPECIFICATIONS AND IS NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE THE CONSTRUCTION OF THE PROJECT OR THE PERFORMANCE THEREOF. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE THE CONSTRUCTION OF THE PROJECT OR THE PERFORMANCE THEREOF.

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 UPDATED ON Feb. 10, 21  
 DATE OCT - 2018  
 JOB PROJECT # 2018-029  
 SHEET #  
**A-1.2**





1 3rd TO 8th FLOOR PLAN  
A-1.3 SCALE: 1/8" = 1'-0" NORTH

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 631, LAWS OF FLORIDA.

JOHN A. BODZIAK, INC. - HENRY RESERVES ITS RIGHTS IN THESE PLANS, SPECIFICATIONS, THESE REVISED SPECIFICATIONS, AND ANY OTHER DOCUMENTS OR INFORMATION THAT MAY BE PROVIDED TO YOU FOR THIS PROJECT. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY THE ARCHITECT'S OFFICE. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

NO.	DATE	DESCRIPTION	ADJUSTMENTS PER CITY COMMENTS
1	11/18/2020		

CLIENT

PROJECT  
**SCHOONER RESORT**  
14500 - 14550 GULF BOULEVARD  
MADEIRA BEACH, FLORIDA  
3rd TO 8th FLOOR PLAN

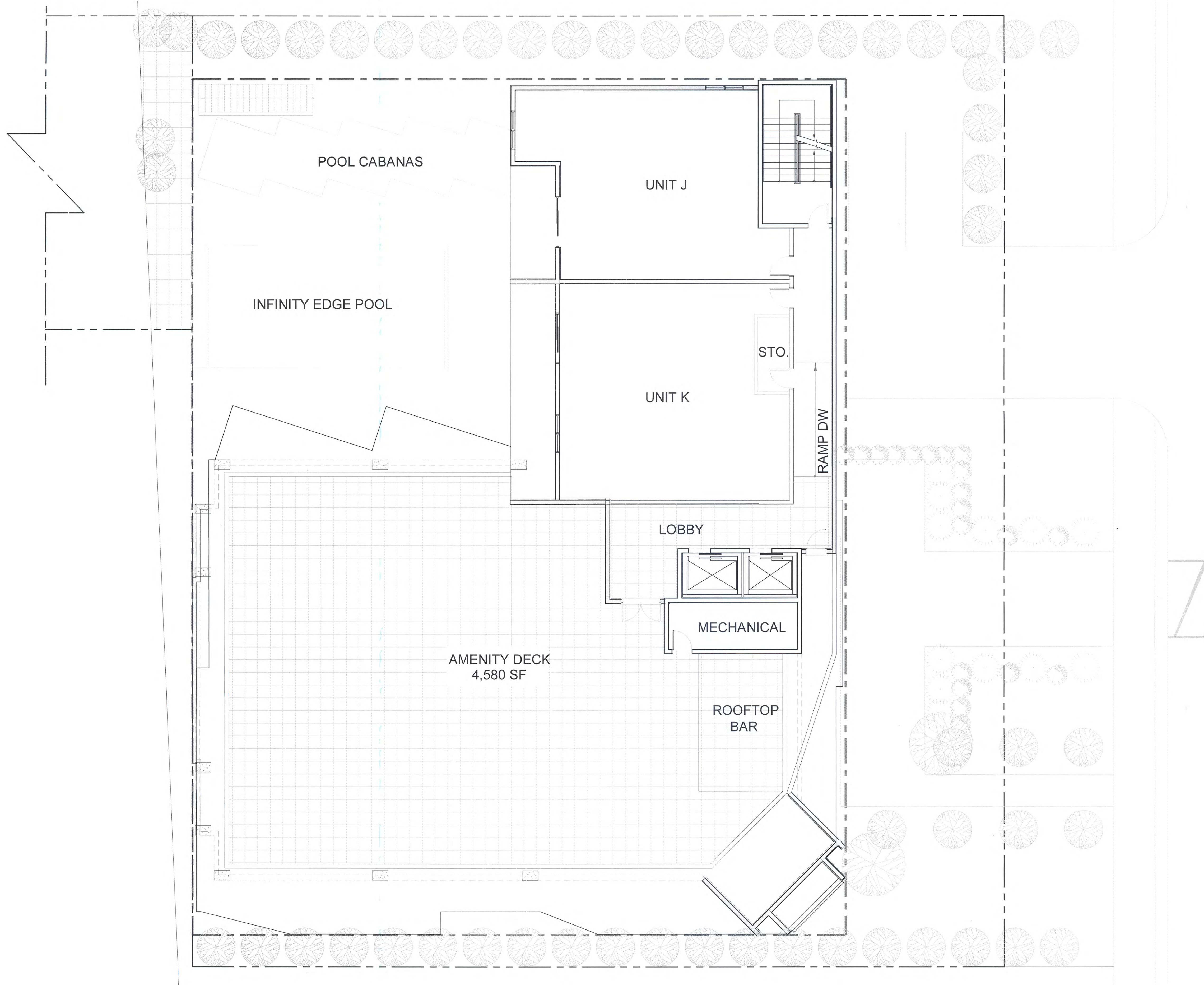
STATE OF FLORIDA  
ARCHITECT  
FEB 11 2018  
REGISTERED

**JOHN A. BODZIAK**  
ARCHITECT AIA, PA  
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT  
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TEL: (727) 321-1966 FAX: (727) 825-0966

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UPDATED ON: Feb. 10, 21  
DATE: OCT - 2018  
JOB PROJECT #: 2018-029  
SHEET #

**A-1.3**





1 TOP FLOOR PLAN  
 A-1.4 SCALE: 1/8" = 1'-0"  
 NORTH

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNRECORDED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

**JOHN A. BODZIAK**  
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PROJECT  
**SCHOONER RESORT**  
 14500 - 14550 GULF BOULEVARD  
 MADEIRA BEACH, FLORIDA  
 TOP FLOOR PLAN

NO.	DATE	DESCRIPTION	ADJUSTMENTS PER CITY COMMENTS
Δ	11/18/2020		

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FREE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 653, LAWS OF FLORIDA.

JOHN A. BODZIAK, AIA, INC. HEREBY RESERVES ITS RIGHTS AND OBLIGATIONS AND UNDERSTANDS THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND COORDINATING ALL FIELD CONDITIONS. UNRECORDED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

I, JOHN A. BODZIAK, AIA, INC., HEREBY CERTIFY THAT I AM A LICENSED ARCHITECT IN THE STATE OF FLORIDA AND I AM THE DESIGNER OF THE ABOVE PROJECT. I HAVE REVIEWED THE ABOVE PLANS AND SPECIFICATIONS AND I HAVE PREPARED OR CAUSED TO BE PREPARED THE ABOVE PLANS AND SPECIFICATIONS IN ACCORDANCE WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FREE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 653, LAWS OF FLORIDA.

I HAVE REVIEWED THE ABOVE PLANS AND SPECIFICATIONS AND I HAVE PREPARED OR CAUSED TO BE PREPARED THE ABOVE PLANS AND SPECIFICATIONS IN ACCORDANCE WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FREE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 653, LAWS OF FLORIDA.





TOP OF ROOF +88'-0" ABOVE B.F.E. + Z-0'  
 +165.2 NAVD  
 12'-0"  
 LEVEL 9 - ROOF DECK +86'-6"  
 +163.02 NAVD  
 10'-6"  
 LEVEL 8 +75'-10"  
 +152.35 NAVD  
 10'-6"  
 LEVEL 7 +65'-2"  
 +141.68 NAVD  
 10'-6"  
 LEVEL 6 +54'-6"  
 +131.01 NAVD  
 10'-6"  
 LEVEL 5 +43'-10"  
 +120.34 NAVD  
 10'-6"  
 LEVEL 4 +33'-2"  
 +109.67 NAVD  
 10'-6"  
 LEVEL 3 +22'-6"  
 +99.00 NAVD  
 12'-0"  
 B.F.E. + Z-0' FREEBOARD  
 14.0 NAVD B.F.E.  
 LEVEL 2 - AMENITIES/BOH +10'-6"  
 +87.41 NAVD  
 8'-6"  
 LEVEL 1 - PARKING +0'-0"  
 +85.82 NAVD

88'-0"  
BUILDING HEIGHT ABOVE B.F.E. + Z-0' FREEBOARD

**1 EAST ELEVATION (FRONT)**  
 A-5.0 SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

**JOHN A. BODZIAK**  
 ARCHITECT AIA, PA  
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT  
 FLORIDA REGISTRATION NO. AR0005065  
 EMAIL: JACK@JABODZIAK.COM  
 743 49th STREET N. SUITE 100 PETERSBURGH, FLORIDA 33710  
 TEL: (727) 327-1865 FAX: (727) 926-0988

PROJECT  
**SCHOONER RESORT**  
 14500 - 14550 GULF BOULEVARD  
 MADEIRA BEACH, FLORIDA  
 EAST ELEVATION (FRONT)

REVISIONS  

NO.	DATE	DESCRIPTION
1	11/18/2020	ADJUSTMENTS PER CITY COMMENTS

DRAWN BY TT-AT-JB-CS  
 UPDATED ON Feb. 10, 21  
 DATE OCT - 2018  
 JOB PROJECT # 2018-029  
 SHEET # **A-5.0**

JOHN A. BODZIAK, INC. HEREBY CERTIFIES THAT THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FREE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 553.1 LAWS OF FLORIDA.





1  
A-5.1

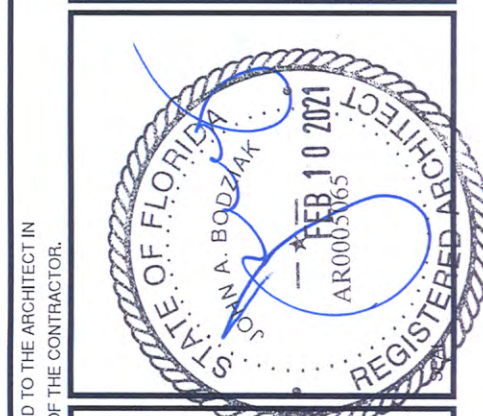
**1 NORTH ELEVATION (RIGHT SIDE)**  
SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CORRECTIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CORRECTIONS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

NO.	DATE	DESCRIPTION	ADJUSTMENTS PER CITY COMMENTS
Δ	11/18/2020		

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM THE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 625, LAWS OF FLORIDA.

PROJECT  
**SCHOONER RESORT**  
14500 - 14550 GULF BOULEVARD  
MADEIRA BEACH, FLORIDA  
NORTH ELEVATION (RIGHT SIDE)



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DATE OCT - 2018  
JOB PROJECT # 2018-029

SHEET #  
**A-5.1**





1 SOUTH ELEVATION (LEFT SIDE)  
 A-5.2 SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNRECORDED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENGAGED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 633, LAWS OF FLORIDA.

JOHN A. BODZIAK & ASSOC., INC. HEREBY RESERVES THE RIGHT TO MAKE CHANGES TO THESE PLANS WITHOUT NOTICE AND WITHOUT LIABILITY TO THE CLIENT. THE CLIENT'S USE OF THESE PLANS IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY OTHER USE OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF JOHN A. BODZIAK & ASSOC., INC. IS PROHIBITED. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE CONSTRUCTION ADMINISTRATION OR SUPERVISION. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE CONSTRUCTION ADMINISTRATION OR SUPERVISION. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE CONSTRUCTION ADMINISTRATION OR SUPERVISION.

NO.	DATE	DESCRIPTION
Δ	11/18/2020	ADJUSTMENTS PER CITY COMMENTS

PROJECT: **SCHOONER RESORT**  
 14500 - 14550 GULF BOULEVARD  
 MADEIRA BEACH, FLORIDA  
 SOUTH ELEVATION (LEFT SIDE)

ARCHITECT: **JOHN A. BODZIAK & ASSOC., INC.**  
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT  
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DRAWN BY: TT-AT-JB-CS  
 UPDATED ON: Feb. 10, 21  
 DATE: OCT - 2018  
 JOB PROJECT #: 2018-029  
 SHEET #

**A-5.2**





1 WEST ELEVATION (REAR)  
A-5.3 SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 631, LAWS OF FLORIDA.

JOHN A. BODZIAK, INC. HEREBY RESERVES ITS RIGHTS IN THESE PLANS, SPECIFICATIONS, NOTES, SCHEDULES AND ANY OTHER DOCUMENTS, WHETHER OR NOT THEY ARE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JOHN A. BODZIAK, INC. ANY REPRODUCTION OR TRANSMISSION OF THESE PLANS, SPECIFICATIONS, NOTES, SCHEDULES, OR ANY OTHER DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF JOHN A. BODZIAK, INC. IS PROHIBITED.

NO.	DATE	DESCRIPTION
△	11/18/2020	ADJUSTMENTS PER CITY COMMENTS

CLIENT

PROJECT  
**SCHOONER RESORT**  
14550 - 14550 GULF BOULEVARD  
MADEIRA BEACH, FLORIDA  
WEST ELEVATION (REAR)

STATE OF FLORIDA  
JOHN A. BODZIAK, ARCHITECT  
FEB 14 2017  
140085065  
REGISTERED ARCHITECT

**JOHN A. BODZIAK**  
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DRAWN BY TT-AT-JB-CS  
UPDATED ON Feb. 10, 21  
DATE OCT - 2018  
JOB PROJECT # 2018-029  
SHEET #

**A-5.3**