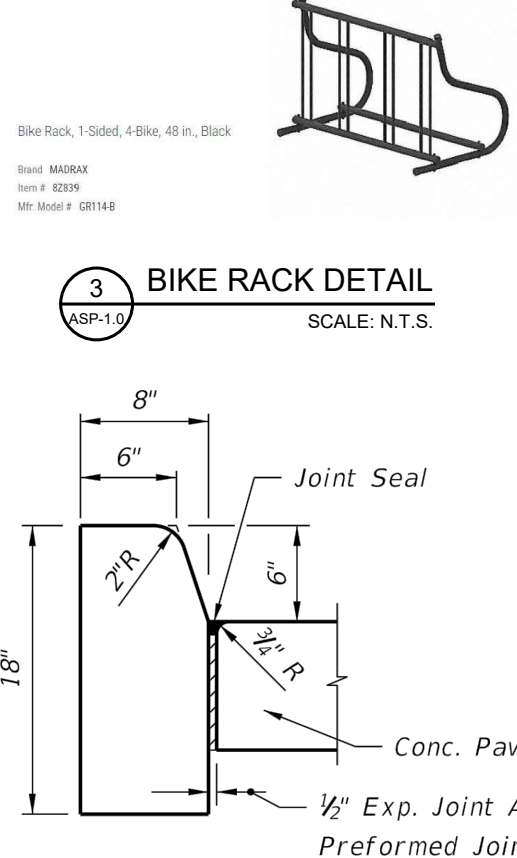
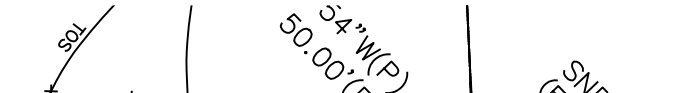


2 SILT FENCE DETAIL  
SCALE: N.T.S.



3 BIKE RACK DETAIL  
SCALE: N.T.S.



4 FDOT CONCRETE CURB TYPE 'D' DETAIL  
SCALE: 1"=1'-0"

**LEGAL DESCRIPTION:**  
LOTS 1, 2, 71, 72, 73, AND 74, SUNNY SHORES, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.  
AND  
LOT 3, TOGETHER WITH ALL LAND LYING BETWEEN THE SAID LOT 3 AND THE WATERS OF THE GULF OF MEXICO, SUNNY SHORES, ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.  
AND  
LOTS 1, 2, 3, AND 4, MADEIRA SHORES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE 87, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

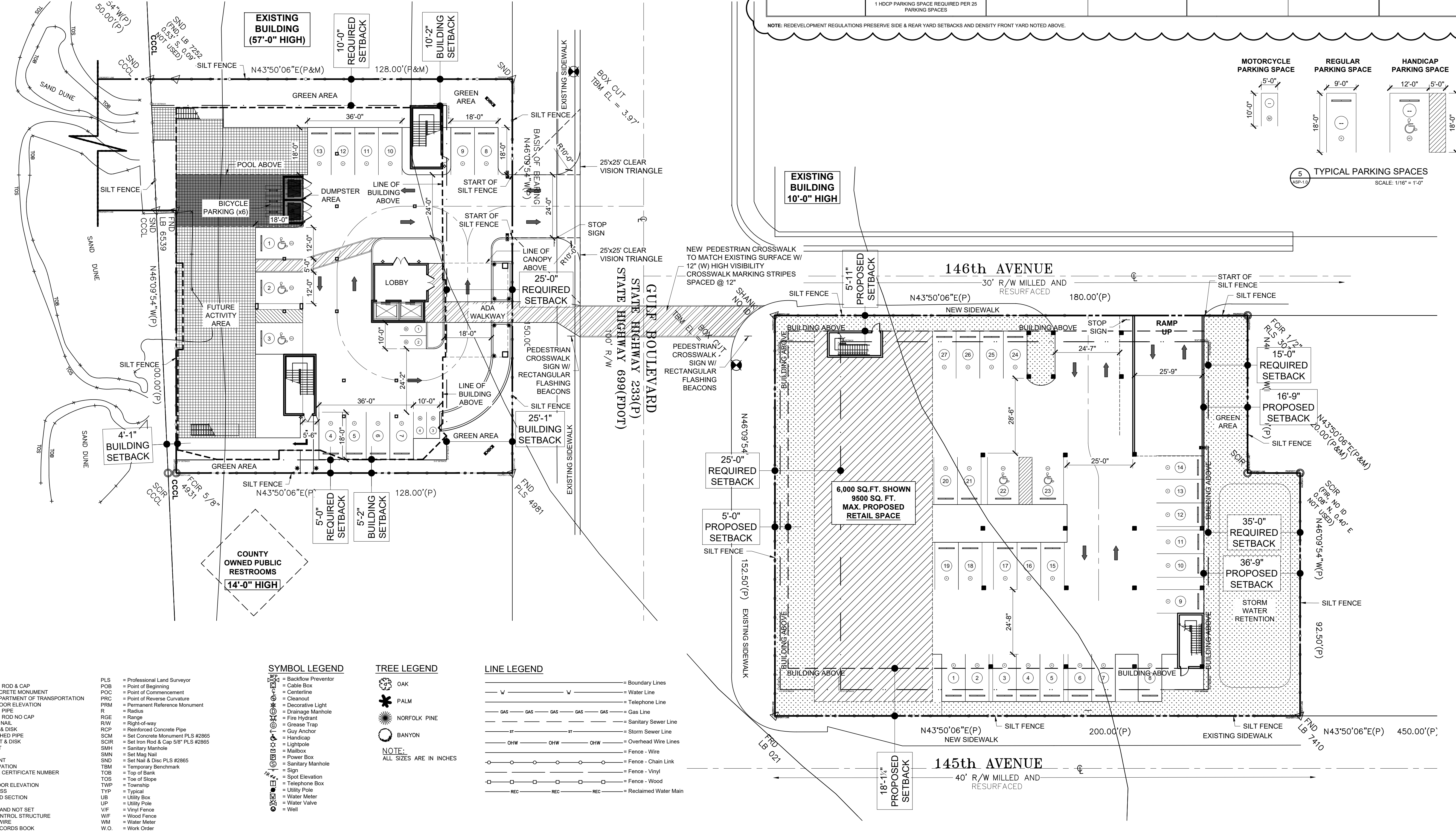
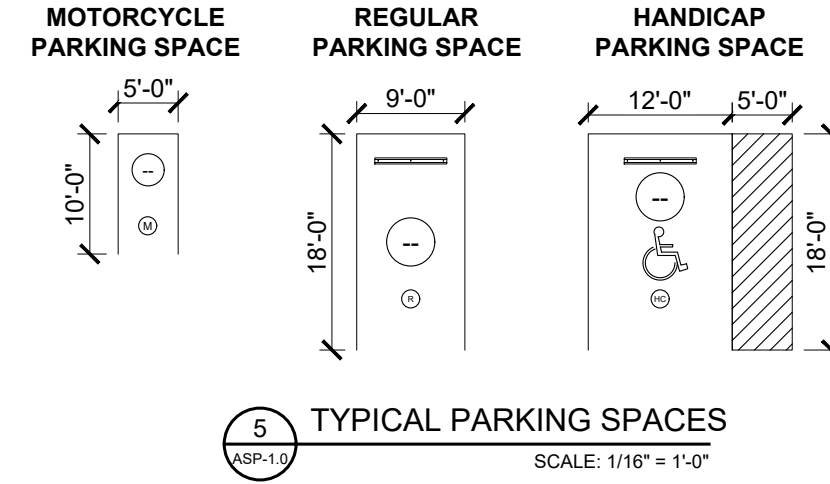
**LIGHTING FIXTURE**  
LED CANOPY LED FIXTURE WITH REQUIRED MOUNTING HARDWARE  
EXTERIOR DOWN LIGHT WALL SCONCE WITH REQUIRED MOUNTING HARDWARE  
BOLLARD LIGHT (LED)  
LIGHT POLE LED (SINGLE LAMP)  
LIGHT POLE LED (DOUBLE LAMP)

**NOTES:**  
1. ALL LIGHTING TO BE PROPERLY 'TURTLE' SHIELDED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL STATUTES PER SECTION 110-506 - LIGHTING IN BEACH AREA.  
2. ALL LIGHTS TO BE LED TECHNOLOGY.

**SIGNAGE NOTES:**  
1. ALL SIGNAGE TO BE CONFORMED WITH THE CODE OF ORDINANCES OF MADEIRA BEACH, PART II, CHAPTER 102 - SIGNS, SEC. 102-1 THRU 102-96.

| CATEGORY                       | SITE DATA TABLE  |   |   |  |   |  |
|--------------------------------|--|---|---|--|---|--|
|                                | ALLOWABLE  | EXISTING (WEST LOT)   | EXISTING (EAST LOT)   | PROPOSED (WEST LOT)  | PROPOSED (EAST LOT)   | TOTAL PROPOSED (WEST LOT + EAST LOT)   |
| ZONING                         | R2/R3/C-3  | R-3   | R2/C-3  | PD   | PD/R2   | PD/R2  |
| LAND USE DISTRICT              | LOW & MEDIUM DENSITY MULTIFAMILY RESIDENTIAL / RETAIL COMMERCIAL   | MEDIUM DENSITY MULTIFAMILY RESIDENTIAL  | RETAIL COMMERCIAL / LOW DENSITY MULTIFAMILY RESIDENTIAL                           | PLANNED DEVELOPMENT / PLANNED DEVELOPMENT /  | PLANNED DEVELOPMENT /   | PLANNED DEVELOPMENT /  |
| SETBACKS                       | FRONT: 8'-2" @ 25'-0" / 18'-3" @ 25'-0" / C-3 @ 25'-0" / REAR: 15'-0" @ 35'-0" / SIDE: 10'-0"  | EAST: 7'-0" / WEST FROM COCL: 22'-2" / NORTH: 11'-2" / SOUTH: 8'-9"   | EAST: 7'-0" / WEST: 8'-1" / NORTH: 9'-7" / SOUTH: 1'-0"                           | FRONT (EAST): 25'-1" / REAR FROM COCL (WEST): 4'-1" / WEST: 10'-2" / SIDE (NORTH): 10'-2" / SIDE (SOUTH): 2'-2"  | FRONT (EAST): 25'-1" / WEST: 4'-1" / NORTH: 10'-2" / SOUTH: 18'-1"                      | FRONT (EAST): 25'-1" / WEST: 4'-1" / NORTH: 10'-2" / SOUTH: 18'-1"   |
| B.F.E.                         | -  | AE-12, VE-13, VE-14   | AE-11, AE-12  | AE-12, VE-13, VE-14  | AE-11, AE-12  | VE-14 @ 2'-0" OF FREEBOARD   |
| FINISHED FLOOR ELEVATION       | -  | 5.67', 5.68' & 5.76' NAVD   | 4.51' & 4.52' NAVD  | 17.2' NAVD   | 4.5' NAVD (GROUND FLOOR)  | VE-14 @ 2'-0" OF FREEBOARD   |
| SITE AREA                      | 49,470.00 sq. ft.  | 20,170.00 sq. ft.   | 29,300.00 sq. ft.   | 20,170.00 sq. ft.  | 29,300.00 sq. ft.   | 49,470.00 sq. ft.  |
| DENSITY                        | -  | 0.46 acres  | 0.67 acres  | 0.46 acres   | 0.67 acres  | 1.14 acres   |
| BUILDING FOOTPRINT COVERAGE    | -  | 9,261.69 sq. ft.  | 5,076.46 sq. ft.  | 66.45%   | 66.45%  | 66.45%   |
| BUILDING HEIGHT / FLOORS       | -  | BUILDING #1 = 2-STORY (21' TO ROOF TOP) / BUILDING #2 = 2-STORY (21' TO ROOF TOP) / BUILDING #3 = 2-STORY (21' TO ROOF TOP) | BUILDING #1 = 2-STORY (21' TO ROOF TOP) / BUILDING #2 = 1-STORY (14' TO ROOF TOP) | 54'-0" ABOVE FREEBOARD TO ROOF DECK / 63'-0" ABOVE GRADE TO ROOF DECK  | PD = 28'-0" / R = 2 = 9'-0"   | 88'-0" ABOVE FREEBOARD TO ROOF / 76'-0" ABOVE FREEBOARD TO ROOF DECK   |
| FLOOR AREA RATIO (FAR)         | 74,205.00 Max / 150.00% Max  | 1.50 Max  | -   | -  | -   | 1.19   |
| IMPERVIOUS SURFACE RATIO (ISR) | 34,829.00 Max / 70.00% Max   | 0.70 Max  | -   | -  | -   | 0.70   |
| LANDSCAPE & GREEN SPACE        | LANDSCAPE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 106 ARTICLE II   | -   | -   | 5,994.31 sq. ft.   | 9,885.47 sq. ft.  | 15,879.78 sq. ft.  |
| VEHICULAR & PEDESTRIAN USE     | TEMPORARY LODGING = 1 PARKING SPACE PER UNIT + 1 PER 5 56 P.S. + 1 P.S. = 11 P.S. 66 P.S. ANCIILLARY USE = 50% OF REQUIRED PRNG = 34 P.S. RETAIL & SERVICE (6,000 SF) = 1 P.S. PER 300 SF OF G.E.A. 20 P.S. TOTAL OF 122 P.S. REQUIRED BICYCLE CREDIT +1 PER 1 UP TO 3 1 HDCP PARKING SPACE REQUIRED PER 25 PARKING SPACES | 16 PARKING SPACES   | 73 PARKING SPACES   | 10 PARKING SPACES (STANDARD P.S. 9'x18') 3 HDCP PARKING SPACES (STANDARD HOCP 17'x18') 6 BICYCLE PARKING SPACES (3 CREDITS) 4 MOTORCYCLE SPACES (STANDARD P.S. 9'x10') | 110 PARKING SPACES (STANDARD P.S. 9'x18') 2 HDCP PARKING SPACES (STANDARD HOCP 17'x18') | 120 PARKING SPACES (STANDARD P.S. 9'x18') 6 HDCP PARKING SPACES (STANDARD HOCP 17'x18') TOTAL OF 126 P.S. 3 CREDITS (3 P.S.) 4 MOTORCYCLE SPACES (STANDARD P.S. 9'x10') = 2 CREDITS (2 P.S.) 130 TOTAL P.S. PROVIDED |

NOTE: REDEVELOPMENT REGULATIONS PRESERVE SIDE & REAR YARD SETBACKS AND DENSITY FRONT YARD NOTED ABOVE.



**LEGEND**  
(C) = Calculated Data  
(D) = Data per Description  
(F) = Field Determined  
(M) = Measured Data  
(P) = Data per Plat  
+/- = Plus or Minus  
A/C = Air Conditioner  
B/W/F = Barbed Wire Fence  
BFE = Base Flood Elevation  
BFP = Backflow Preventor  
CB = Chord Bearing  
CH = Chord  
C.A.B. = Condominium Plat Book  
CAC = Covered Concrete  
CIS = Concrete Slab  
C/SW = Concrete Sidewalk  
CCCL = Coastal Construction Control Line  
CL = Centerline  
CLF = Chain Link Fence  
COV = Covered  
CLP = Concrete Light Pole  
CMP = Corrugated Metal Pipe  
CONC = Concrete  
D.B. = Delta Angle  
D/W = Driveway  
DMH = Drainage Manhole  
E/P = Edge of Pavement  
EL = Elevation  
E/W = Edge of Water

**F** = FOUND  
FCR = FOUND IRON ROD & CAP  
FCM = FOUND CONCRETE MONUMENT  
FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION  
FFE = FINISHED FLOOR ELEVATION  
FIP = FOUND IRON PIPE  
FIR = FOUND IRON ROD NO CAP  
FIRW = FOUND IRON ROD WITH WELDED END  
FND = FOUND NAIL & DISK  
FNP = FOUND PINCHED PIPE  
FRD = FOUND RIVET & DISK  
G.I. = GRATE INLET  
GV = GATE VALVE  
HVD = FIRE HYDRANT  
I.E. = INVERT ELEVATION  
IC = INTERIOR CONSTRUCTION  
L.P. = LIGHT POLE  
LFE = LOWEST FLOOR ELEVATION  
M.O.L. = MORE OR LESS  
MES = MITERED END SECTION  
CLP = CONCRETE LIGHT POLE  
CMP = CORRUGATED METAL PIPE  
CONC = CONCRETE  
D.B. = DELTA ANGLE  
D/W = DRIVEWAY  
DMH = DRAINAGE MANHOLE  
E/P = EDGE OF PAVEMENT  
EL = ELEVATION  
E/W = EDGE OF WATER

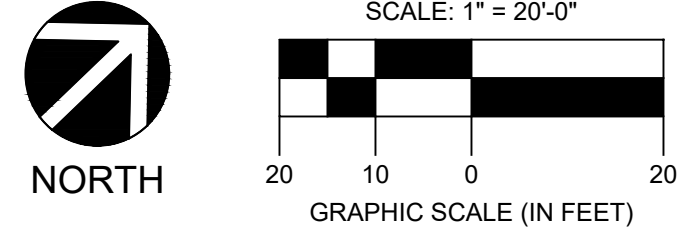
**PLS** = Professional Land Surveyor  
POB = Point of Beginning  
PC = Point of Commencement  
PRC = Point of Reverse Curvature  
PRM = Permanent Reference Monument  
R = Radius  
RGE = Range  
R/W = Right-of-Way  
RCP = Reinforced Concrete Pipe  
SCM = Set Concrete Monument PLS #2865  
SCR = Set Iron Rod & Cap 50' PLS #2865  
SMH = Sanitary Manhole  
SMN = Set Nail & Disc PLS #2865  
TBM = Temporary Benchmark  
TOB = Top of Bank  
TOS = Top of Slope  
TWP = Township  
TYP = Typical  
UB = Utility Box  
UP = Utility Pole  
V.F. = Vinyl Fence  
W/F = Wood Fence  
WM = Water Meter  
W.O. = Work Order  
WV = Water Valve

**SYMBOL LEGEND**  
Backflow Preventor  
Cable Box  
Centerline  
Cleanout  
Decorative Light  
Drainage Manhole  
Fire Hydrant  
Grease Trap  
Guy Anchor  
Handicap  
Lightpole  
Mailbox  
Power Box  
Sanitary Manhole  
Sign  
Spot Elevation  
Telephone Box  
Utility Pole  
Water Meter  
Water Valve

**TREE LEGEND**  
OAK  
PALM  
NORFOLK PINE  
BANYON

**LINE LEGEND**  
Boundary Lines  
Water Line  
Telephone Line  
Gas Line  
Sanitary Sewer Line  
Storm Sewer Line  
Overhead Wire Lines  
Fence - Wire  
Fence - Chain Link  
Fence - Vinyl  
Fence - Wood  
Reclaimed Water Main

1 ARCHITECTURAL SITE PLAN  
SCALE: 1" = 20'-0"



**PROJECT**  
**SCHOONER RESORT**  
14500 - 14550 GULF BOULEVARD  
MADEIRA BEACH, FLORIDA  
ARCHITECTURAL SITE PLAN

**CLIENT**

**DATE**  
11/18/2020  
04/5/2021  
07/02/2021

**ADJUSTMENTS PER CITY COMMENTS**  
**REVISIONS TO SITE DATA TABLE**  
**REVISIONS PER CITY COMMENTS**

**DESIGNER**  
TT-AT-JB-CS

**DATE**  
Jul. 1, 21

**DATE**  
OCT - 2018

**JOB PROJECT #**  
2018-029

**SHEET #**  
ASP-1.0

**DRIVEN BY**  
TT-AT-JB-CS

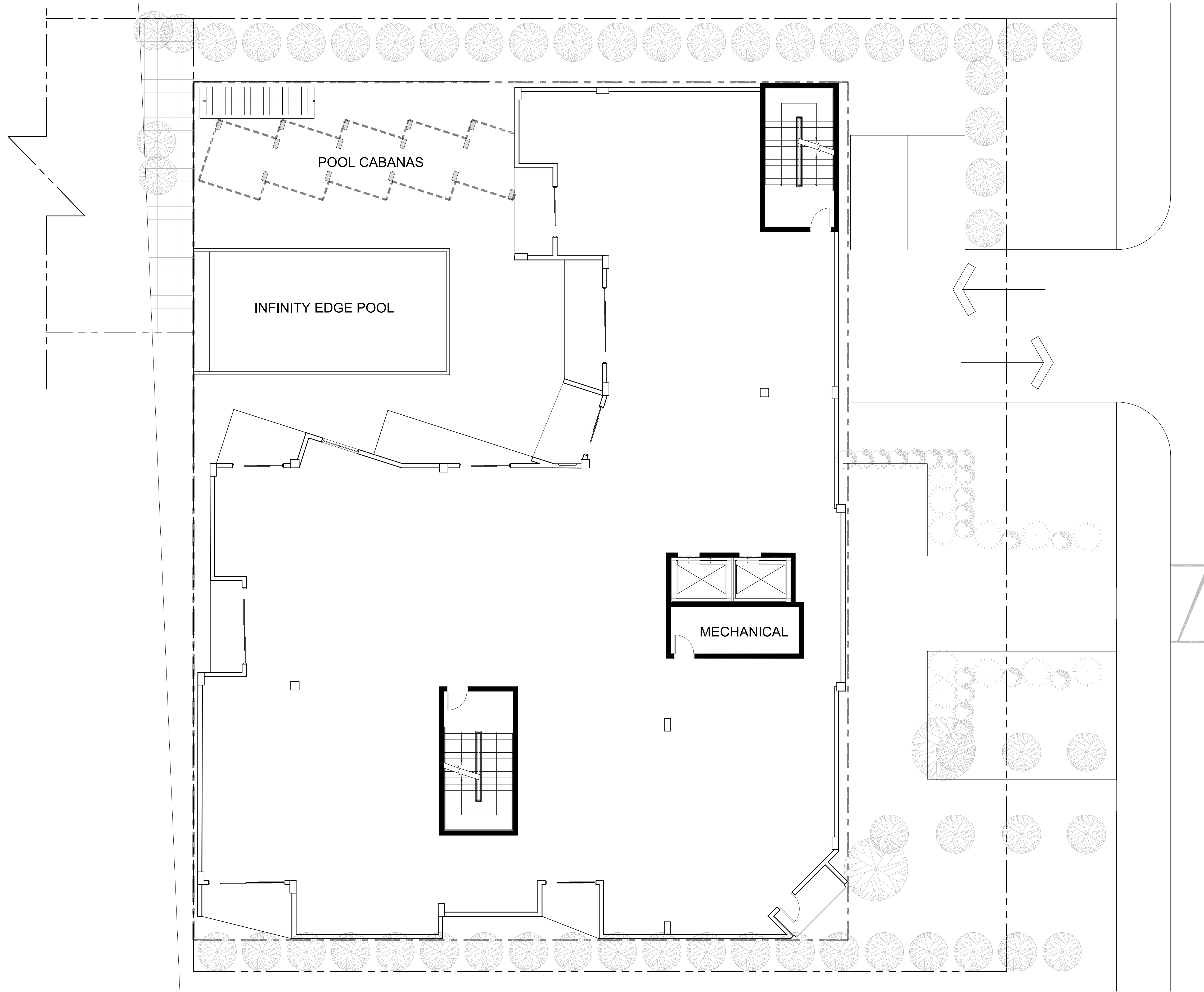
**UPDATED ON**  
Jul. 1, 21

**DATE**  
OCT - 2018

**JOB PROJECT #**  
2018-029

**SHEET #**  
ASP-1.0

**CONTRACTOR**  
JOHN A. BODZIAK  
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EMAIL: JACK@BODZIAK.COM  
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TEL: (727) 327-1966 FAX: (727) 826-0968



1 SECOND FLOOR PLAN (GULF FRONT LOT)  
A-1.2

SCALE: 1/8" = 1'-0"



NORTH

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 63 AND 65, LAWS OF FLORIDA.

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PROJECT  
**SCHOONER RESORT**  
 14550 - 14550 GULF BOULEVARD  
 MADEIRA BEACH, FLORIDA

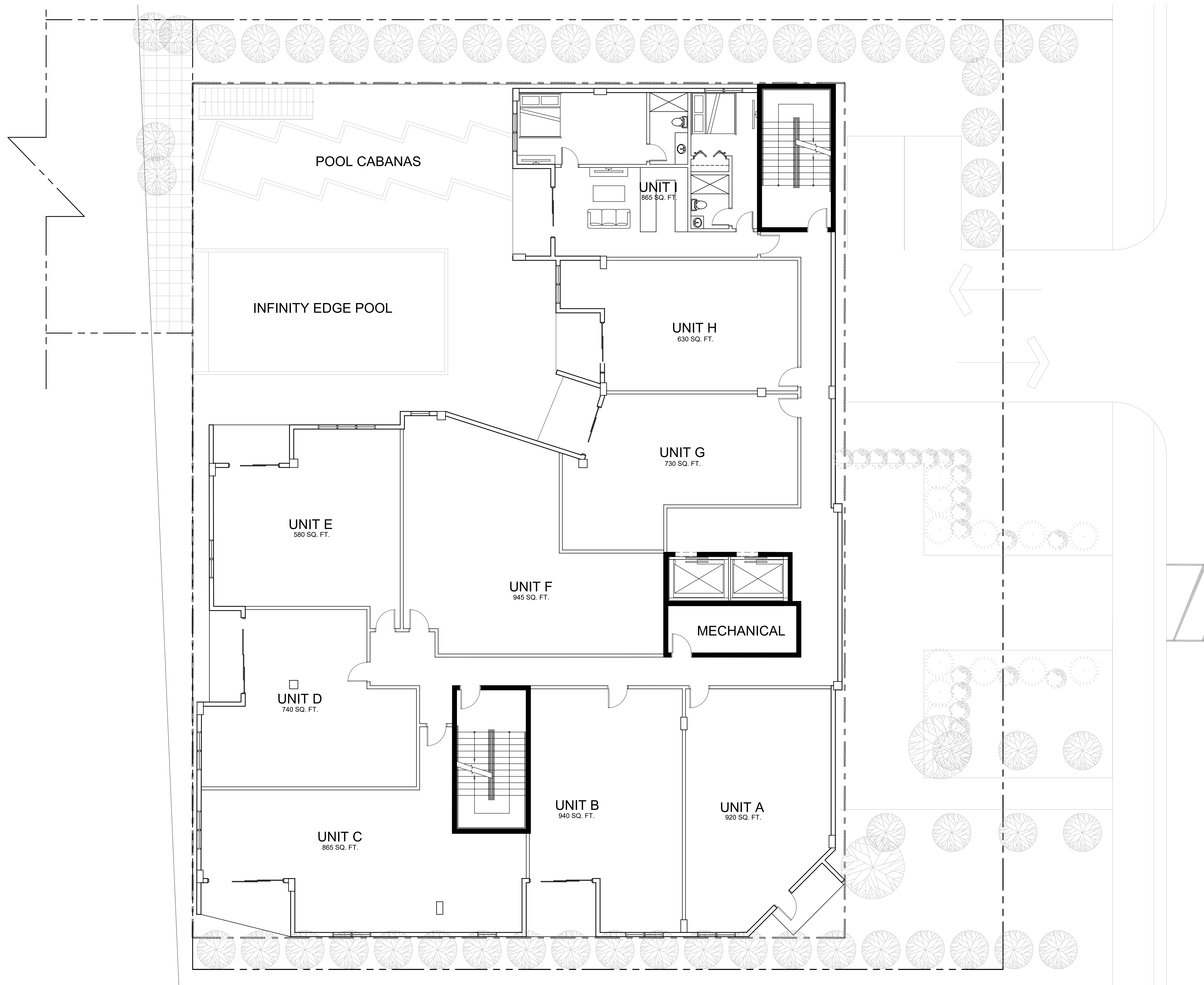
REVISIONS

| NO. | DATE       | DESCRIPTION                   |
|-----|------------|-------------------------------|
| △   | 11/18/2020 | ADJUSTMENTS PER CITY COMMENTS |
|     | 04/05/2021 | REVISIONS TO SITE DATA TABLE  |
|     | 07/02/2021 | REVISIONS PER CITY COMMENTS   |

CLIENT

SEAL

DRAWN BY TT-AT-JB-CS  
 UPDATED ON Jul. 2, 21  
 DATE OCT - 2018  
 JOB PROJECT # 2018-029  
 SHEET # A-1.2



1 3rd TO 8th FLOOR PLAN  
 A-1.3 SCALE: 1/8" = 1'-0" NORTH

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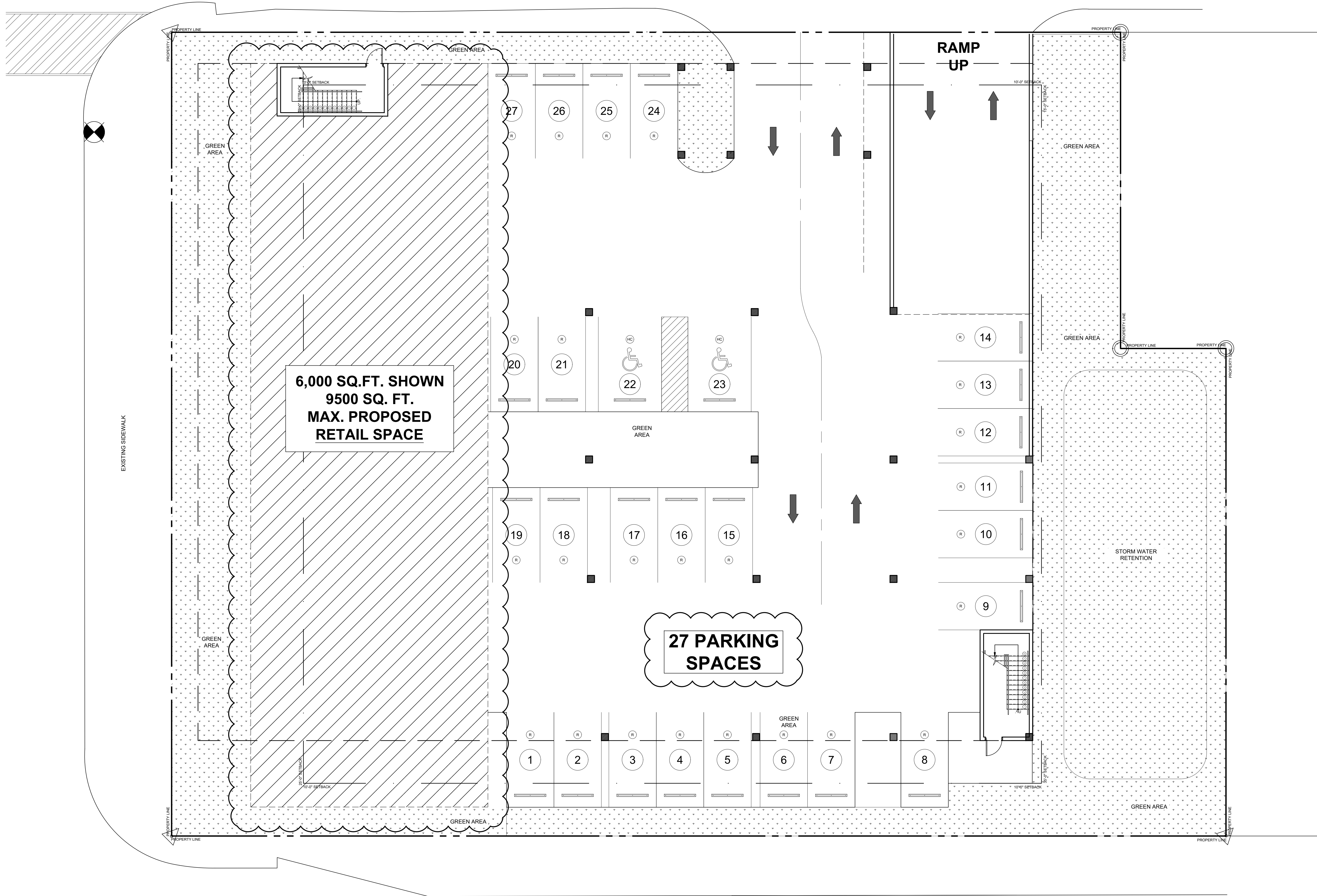
PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 633 AND 635, LAWS OF FLORIDA.

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PROJECT: **SCHOONER RESORT**  
 14500 - 14550 GULF BOULEVARD  
 MADEIRA BEACH, FLORIDA  
 CLIENT: 3rd TO 8th FLOOR PLAN

| REVISIONS |            | ADJUSTMENTS PER CITY COMMENTS |                             |
|-----------|------------|-------------------------------|-----------------------------|
| NO.       | DATE       | DESCRIPTION                   | REVISIONS PER CITY COMMENTS |
| △         | 11/18/2020 |                               |                             |
|           | 04/15/2021 |                               |                             |
|           | 07/02/2021 |                               |                             |

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 UPDATED ON: Jul. 2, 21  
 DATE: OCT - 2018  
 JOB PROJECT #: 2018-029  
 SHEET #: A-1.3



6,000 SQ.FT. SHOWN  
9500 SQ. FT.  
MAX. PROPOSED  
RETAIL SPACE

27 PARKING  
SPACES

RAMP  
UP

EXISTING SIDEWALK

1  
A-1.0B

GROUND FLOOR PARKING PLAN (GARAGE)

SCALE: 1/8" = 1'-0"



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND COMMENTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND COMMENTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

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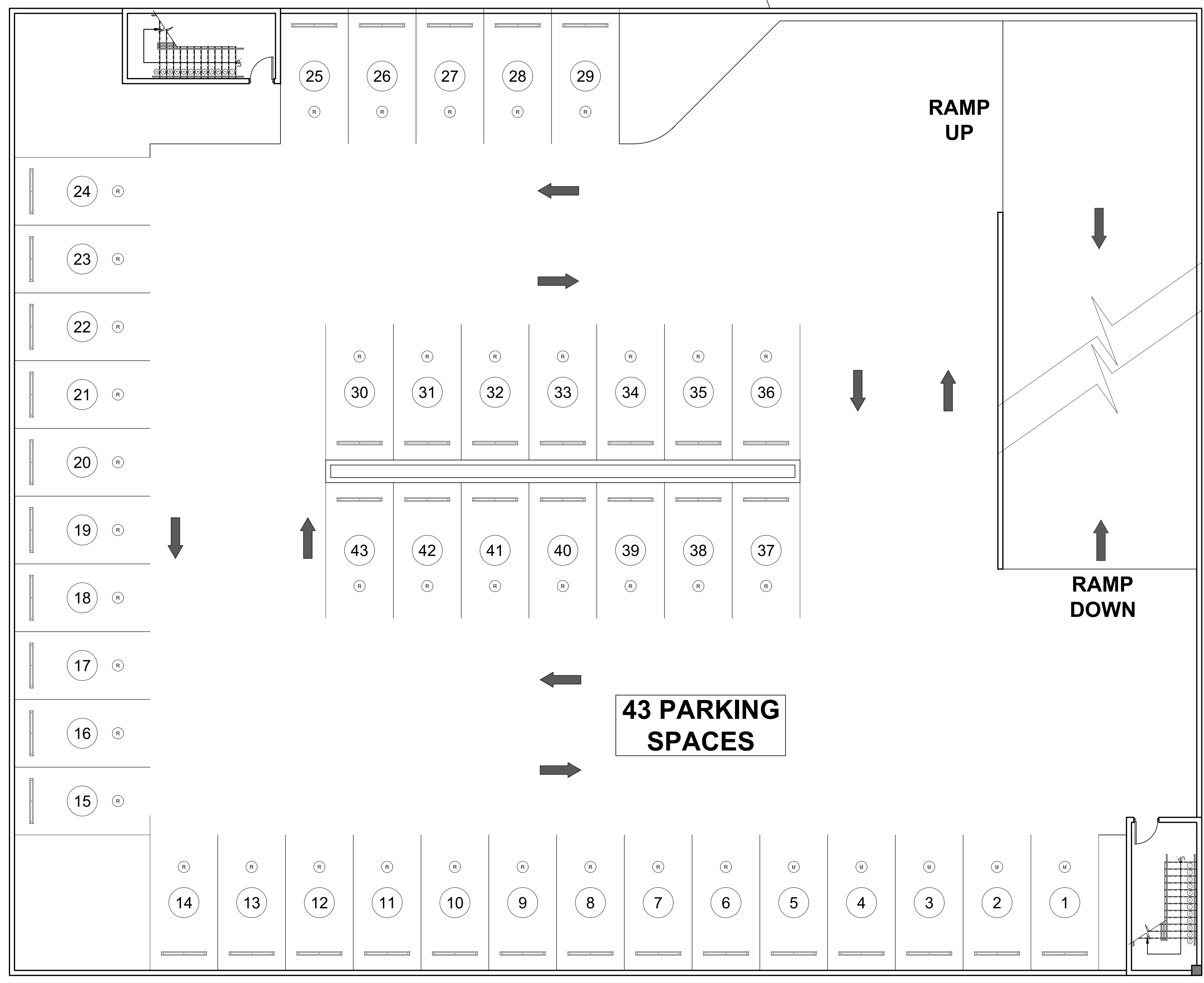
PROJECT  
**SCHOONER RESORT**  
14500 - 14550 GULF BOULEVARD  
MADEIRA BEACH, FLORIDA  
GROUND FLOOR PARKING PLAN (GARAGE)

| NO. | DATE       | DESCRIPTION                   |
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REVISIONS

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JOB PROJECT # 2018-029  
SHEET # A-1.0B

PROPERTY LINE



1  
A-1.1B

SECOND FLOOR PARKING PLAN (GARAGE)

SCALE: 1/8" = 1'-0"



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PROJECT  
**SCHOONER RESORT**  
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MADEIRA BEACH, FLORIDA

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CLIENT  
SECOND FLOOR PARKING PLAN (GARAGE)

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SHEET # A-1.1B

PROPERTY LINE



42 PARKING SPACES

RAMP DOWN

1  
A-1.2B

THIRD FLOOR PARKING PLAN (GARAGE)

SCALE: 1/8" = 1'-0"



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PROJECT: **SCHOONER RESORT**  
 14500 - 14550 GULF BOULEVARD  
 MADEIRA BEACH, FLORIDA

THIRD FLOOR PARKING PLAN (GARAGE)

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REVISIONS

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A-1.2B