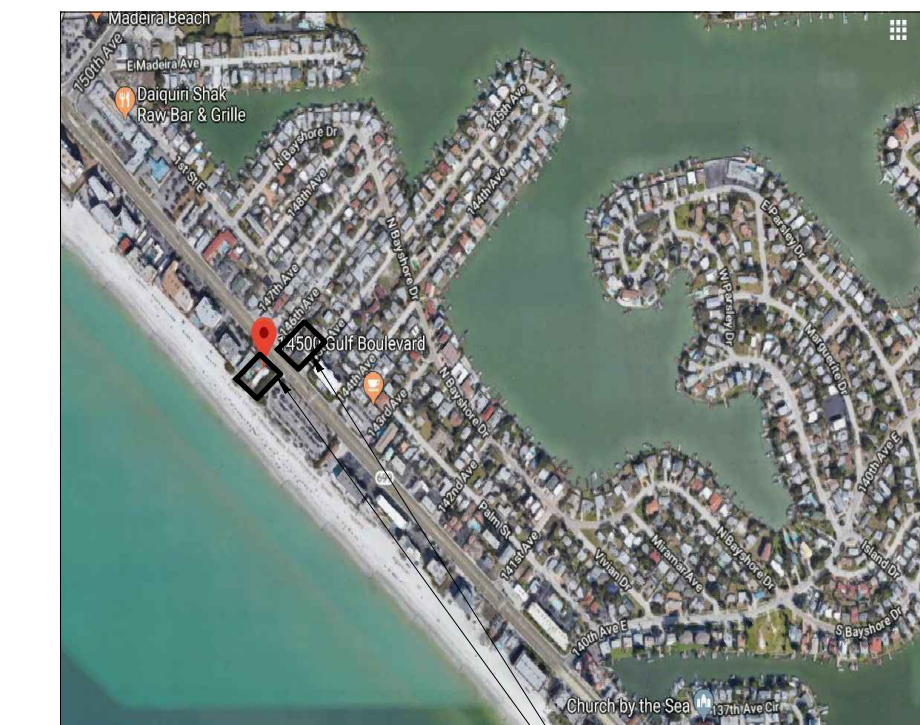


PROPOSED PROJECT FOR:
SCHOONER RESORT
 14500-14550 GULF BOULEVARD, MADEIRA BEACH, FLORIDA

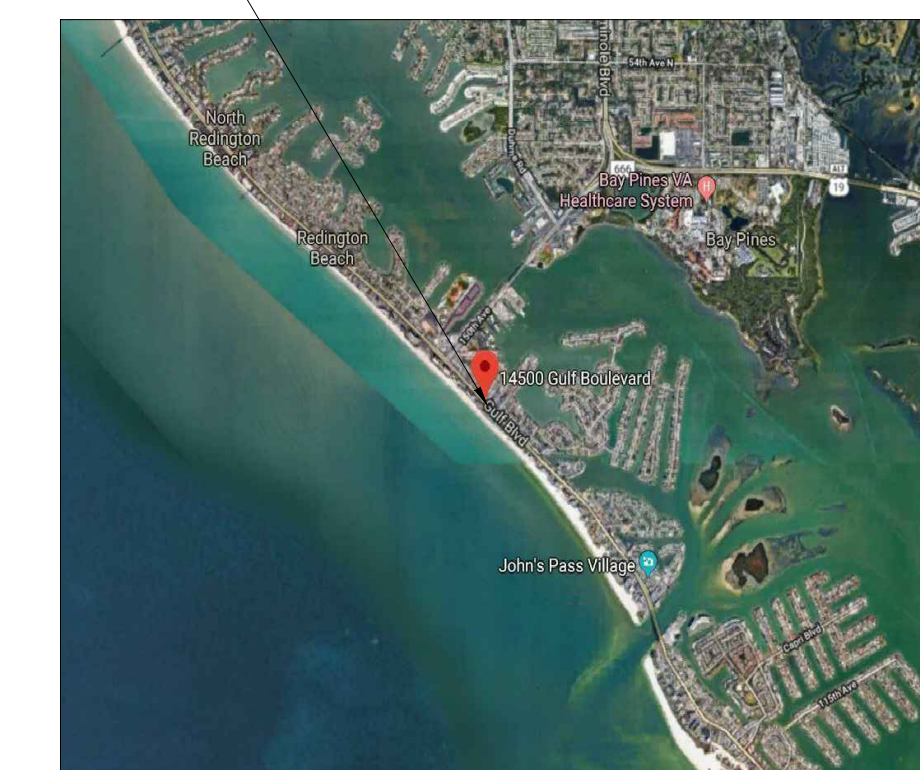


| INDEX OF DRAWINGS | |
|-------------------|--------------------------------|
| SHEET # | DESCRIPTION |
| CO | COVER SHEET |
| RE-1 | RENDERING |
| RE-2 | RENDERING |
| 1 OF 2 | SURVEY EAST SIDE |
| 2 OF 2 | SURVEY WEST SIDE |
| D-1.0 | DEMOLITION PLAN |
| ASP-1.0 | ARCHITECTURAL SITE PLAN |
| ASP-1.1 | LANDSCAPE PLAN |
| ASP-1.2 | IRRIGATION PLAN |
| ASP-1.3 | SIGN PLANS |
| A-1.0 | GROUND FLOOR PLAN (GULF FRONT) |
| A-1.1 | 2nd FLOOR PLAN (GULF FRONT) |
| A-1.2 | ROOF DECK PLAN (GULF FRONT) |
| A-1.3 | GROUND FLOOR PLAN (EAST SIDE) |
| A-1.4 | 2nd FLOOR PLAN (EAST SIDE) |
| A-1.5 | 3rd FLOOR PLAN (EAST SIDE) |
| A-5.0 | EAST ELEVATION (WEST BLDG.) |
| A-5.1 | NORTH ELEVATION (WEST BLDG.) |
| A-5.2 | SOUTH ELEVATION (WEST BLDG.) |
| A-5.3 | WEST ELEVATION (WEST BLDG.) |
| A-5.4 | WEST ELEVATION (EAST BLDG.) |
| C-0 | CIVIL - COVER SHEET |
| C-1 | CIVIL - PRELIMINARY SITE PLAN |



LOCATION MAP

LOCATION OF PROJECT



VICINITY MAP

JOHN A. BODZIAK
 AIA, ARCHITECT, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION
 MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 743 49th STREET NORTH
 SAINT PETERSBURG, FLORIDA 33710
 TEL: (727)327-1966 FAX: (727)826-0968
 EMAIL: JACK@JABODZIAK.COM

CIVIL ENGINEER:
 MONTECKI ASSOCIATES,
 PATRICIA P. MONTECKI

STRUCTURAL ENGINEER:
 STM ENGINEERING, P.A.
 Scott Martinez, PE
 727-421-1294
 stmengineering.scott@gmail.com

LEGAL DESCRIPTION

LOTS 1, 2, 71, 72, 73, AND 74, SUNNY SHORES, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
 BEACH PLAZA APARTMENT MOTEL CONDO UNITS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 & 14 INCLUSIVE BEACH PLAZA APARTMENT MOTEL CONDO, BEACH PLAZA APARTMENT MOTEL CONDO (COMMON ELEMENTS).
 LOT 3, TOGETHER WITH ALL LAND LYING BETWEEN THE SAID LOT 3 AND THE WATERS OF THE GULF OF MEXICO, SUNNY SHORES, ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
 AND LOTS 1, 2, 3, AND 4, MADEIRA SHORES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE 87, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND COMMENTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND COMMENTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 55S, LAWS OF FLORIDA.

JOHN A. BODZIAK, PE - AIA, ARCHITECT, PA
 743 49th STREET NORTH
 SAINT PETERSBURG, FLORIDA 33710
 TEL: (727)327-1966 FAX: (727)826-0968
 EMAIL: JACK@JABODZIAK.COM

ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@JABODZIAK.COM
 TEL: (727) 327-1966 FAX: (727) 826-0968

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------------|
| | 11/16/2021 | SUBMITTAL PER CITY COMMENTS |

PROJECT
SCHOONER RESORT
 14500 - 14550 GULF BOULEVARD
 MADEIRA BEACH, FLORIDA

COVER PAGE

DRAWN BY: TT-AT-JB-CS
 UPDATED ON: Nov. 16, 21
 DATE: OCT - 2018
 JOB PROJECT #: 2018-029
 SHEET #

CO



| | |
|---------------|-------------|
| DRAWN BY | TT-AT-JB-CS |
| UPDATED ON | Nov. 16, 21 |
| DATE | OCT - 2018 |
| JOB PROJECT # | 2018-029 |

JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@BODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

SEAL

PROJECT
SCHOONER RESORT
 14500 - 14550 GULF BOULEVARD
 MADEIRA BEACH, FLORIDA
 RENDERING

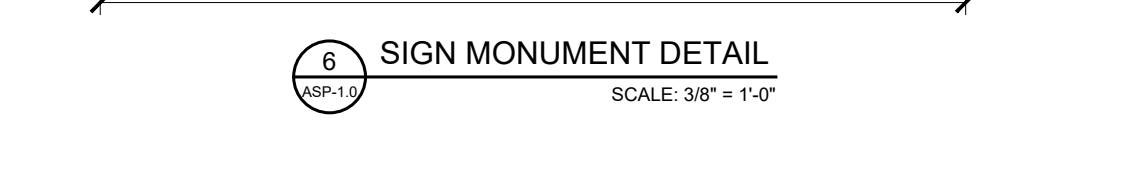
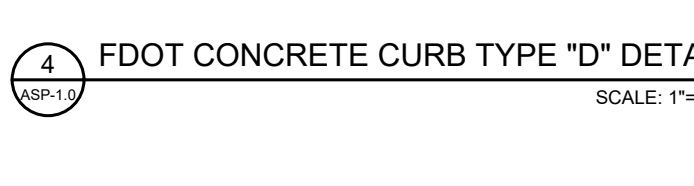
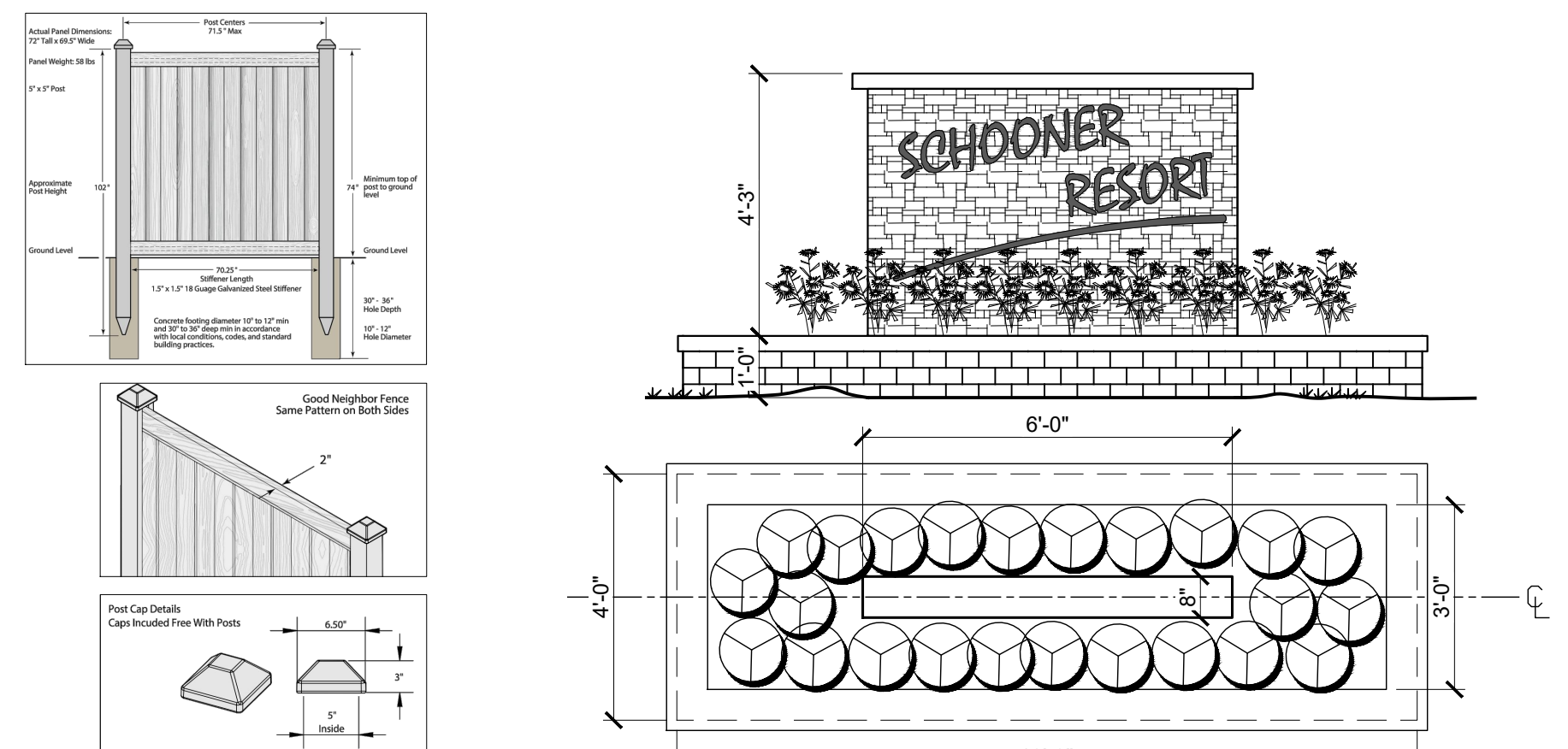
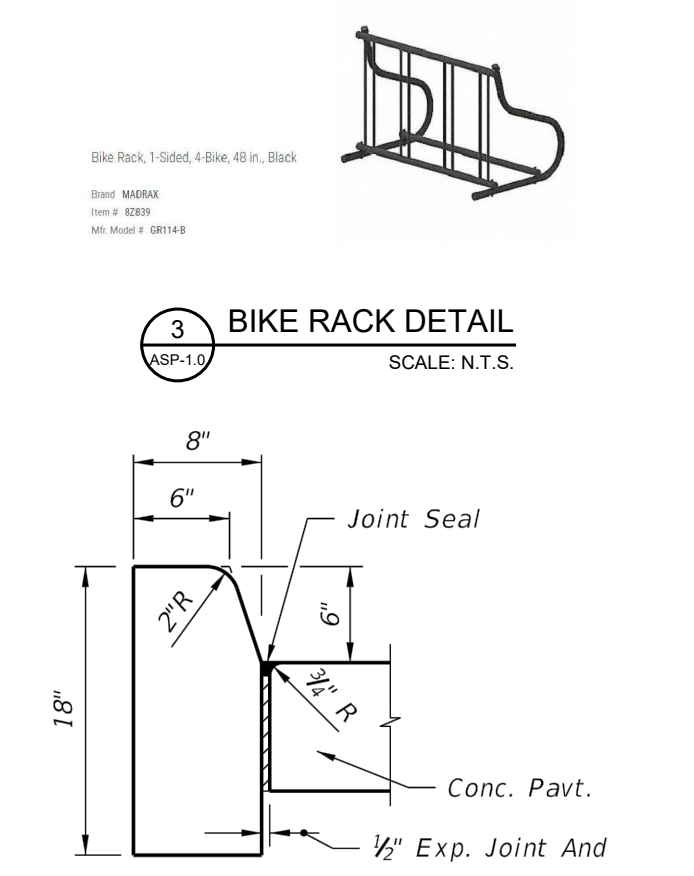
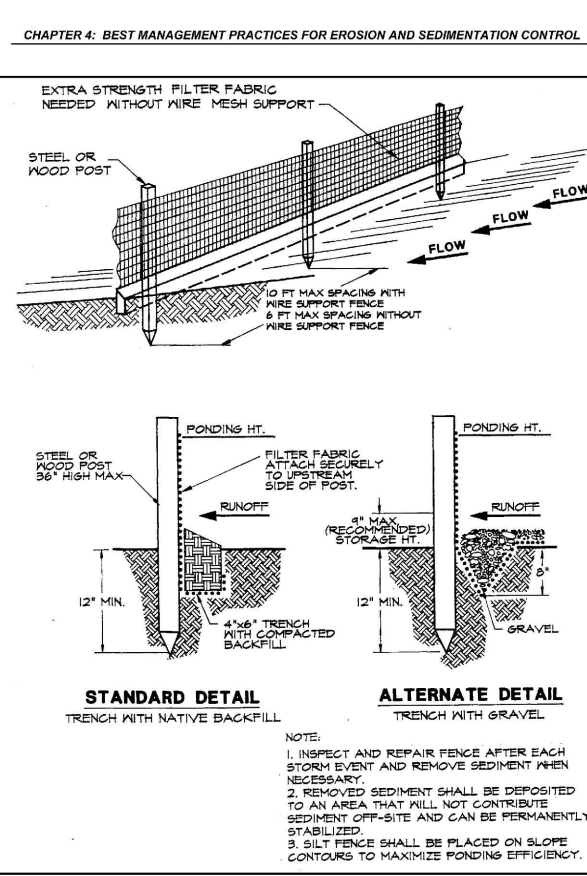
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| NO. | DATE | DESCRIPTION |
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| | 11/16/2021 | SUBMITTAL PER CITY COMMENTS |
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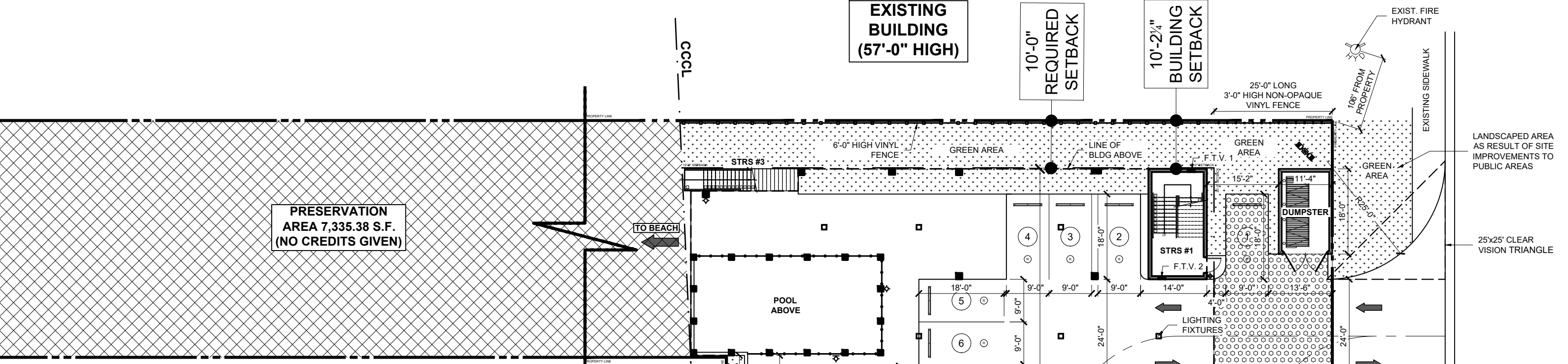
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENGINEERING AND SKILL, THIS ARCHITECTURE COMPLIES WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 63 AND 62, LAWS OF FLORIDA.

THIS ARCHITECTURE, INCLUDING ALL DIMENSIONS, SHALL BE CONSIDERED AS THE FINAL DESIGN AND SHALL NOT BE SUBJECT TO ANY FURTHER REVISIONS UNLESS SPECIFICALLY NOTED OTHERWISE. THIS ARCHITECTURE IS THE PROPERTY OF JOHN A. BODZIAK ARCHITECT AIA, PA AND SHALL REMAIN THE PROPERTY OF JOHN A. BODZIAK ARCHITECT AIA, PA. ANY REVISIONS TO THIS ARCHITECTURE SHALL BE MADE IN WRITING BY THE ARCHITECT AND SHALL BE SIGNED AND SEALED BY THE ARCHITECT.



| CATEGORY | ALLOWABLE | SITE DATA TABLE: | | | | TOTAL PROPOSED (WEST LOT + EAST LOT) |
|--------------------------------|---|--|---|---|--|--|
| | | EXISTING (WEST LOT) | EXISTING (EAST LOT) | PROPOSED (WEST LOT) | PROPOSED (EAST LOT) | |
| ZONING | R-2 (R) C-3 (R) | R-3 | R-2 | C-3 | PD | PD |
| FUTURE LAND USE DISTRICT | LOW & MEDIUM DENSITY MULTIFAMILY RESIDENTIAL, RETAIL, COMMERCIAL | RESORT FACILITIES MEDIUM | RESIDENTIAL MEDIUM | RESIDENTIAL / OFFICE / RETAIL | RFM / PRESERVATION | RFM / RFM / PRESERVATION |
| SETBACKS | FRONT: R-2: 20'-0" / R-3: 20'-0" / C-3: 30'-0" / REAR: R-2: 20'-0" / R-3: 20'-0" / C-3: 10'-0" / SIDE ONE: R-2: 20'-0" / BOTH SIDES: R-3: 10'-0" / C-3: 10'-0" / SIDE TWO: R-2: 20'-0" / BOTH SIDES: R-3: 10'-0" / C-3: 10'-0" | EAST: 7'-0" / WEST: 7'-0" / NORTH: 17'-0" / SOUTH: 8'-0" | EAST: 10'-0" / WEST: 10'-0" / NORTH: 17'-0" / SOUTH: 17'-0" | EAST: 10'-0" / WEST: 10'-0" / NORTH: 10'-0" / SOUTH: 10'-0" | EAST: 30'-0" / WEST: 30'-0" / NORTH: 10'-0" / SOUTH: 10'-0" | RFM: 30'-0" / RFM: 30'-0" / PRESERVATION: 30'-0" |
| B.F.E. | | CAZ AE-11, VE-12, RP-10A | AE-10 | AE-10 | AE-10 | AE-10 |
| FINISHED FLOOR ELEVATION | | 5.67, 5.68 & 5.71 NAVD | 4.51 & 4.52 NAVD | 4.51 & 4.52 NAVD | 4.51 & 4.52 NAVD | 4.51 & 4.52 NAVD |
| SITE AREA | 56,805 sq. ft. (including Preservation Area) | 25,170 sq. ft. | 4,625 sq. ft. | 24,930 sq. ft. | 29,300 sq. ft. | 49,030 sq. ft. |
| DENSITY | 0.48 UITS / AC | 0.48 UITS / AC | 0.48 UITS / AC | 0.48 UITS / AC | 0.48 UITS / AC | 0.48 UITS / AC |
| BUILDING FOOTPRINT COVERAGE | 48.52% | 48.52% | 20.53% | 20.53% | 20.53% | 20.53% |
| BUILDING HEIGHT/FLOORS | BUILDING #1 - 2-STORY (UP TO ROOF TOP) / BUILDING #2 - 2-STORY (UP TO ROOF TOP) / BUILDING #3 - 2-STORY (UP TO ROOF TOP) | 1-STORY (UP TO ROOF TOP) | 2-STORY (UP TO ROOF TOP) | 2-STORY (UP TO ROOF TOP) | 2-STORY (UP TO ROOF TOP) | 2-STORY (UP TO ROOF TOP) |
| FLOOR AREA RATIO (FAR) | SEE CHART BELOW | SEE CHART BELOW | SEE CHART BELOW | SEE CHART BELOW | SEE CHART BELOW | SEE CHART BELOW |
| IMPERVIOUS SURFACE RATIO (ISR) | 10.0% Max | 10.0% Max | 10.0% Max | 10.0% Max | 10.0% Max | 10.0% Max |
| PARKING SPACES (P.S.) | TEMPORARY LODGING + 1 PARKING SPACE PER UNIT - 1 PER 500 S.F. (11.8) / 64 P.S. / CONDOMINIUM UNITS - 3 UNITS / 1 P.S. PER 300 S.F. OF G.F.A. / RETAIL & SERVICE (400 S.F.) - 1 P.S. PER 300 S.F. OF G.F.A. / 12 P.S. / RESTAURANT + 1 P.S. / 4 SEATS + 50% EMPLOYEES (200 S.F.) / 20 P.S. / CONFERENCE ROOM + 1 P.S. / 6 SEATS + 50% EMPLOYEES (200 S.F.) / 20 P.S. / ROOF DECK + 1 P.S. / 4 SEAT + 50% EMPLOYEES (200 S.F.) / 20 P.S. / TOTAL OF 125 P.S. REQUIRED | 16 PARKING SPACES | N/A | 73 PARKING SPACES | 10 PARKING SPACES (STANDARD P.S. 9'x18') / 1 SERVICE PARKING (13'3" x 18'0") / 4 HOOP PARKING SPACES (STANDARD HOOP 17'x18') / 12 P.S. TOTAL / 6 BICYCLE PARKING SPACES (3 CREDITS) / 4 MOTORCYCLE SPACES (STANDARD P.S. 9'x18') | 111 PARKING SPACES (STANDARD P.S. 9' x 18') / 1 SERVICE PARKING (13'3" x 18'0") / 1 HOOP PARKING SPACE (STANDARD HOOP 17'x18') / 5 HOOP PARKING SPACES (STANDARD HOOP 17'x18') / 12 P.S. TOTAL / 6 BICYCLE PARKING SPACES + 3 CREDITS (P.S.) / 4 MOTORCYCLE SPACES (STANDARD P.S. 9'x18') + 4 CREDITS (P.S.) / TOTAL 125 P.S. PROVIDED (WITH 7 CREDITS) (REQ'D 125 P.S.) |



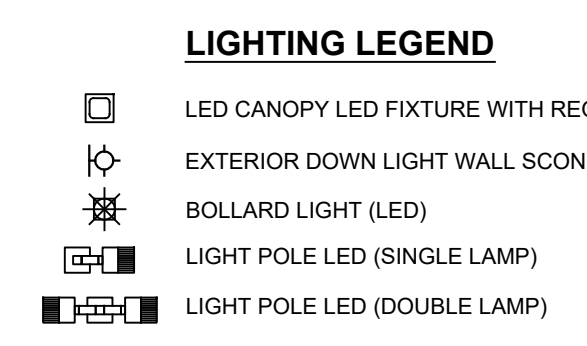
LEGAL DESCRIPTION:
LOTS 1, 2, 71, 72, 73, AND 74, SUNNY SHORES, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

AND

LOT 3, TOGETHER WITH ALL LAND LYING BETWEEN THE SAID LOT 3 AND THE WATERS OF THE GULF OF MEXICO, SUNNY SHORES, ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

AND

LOTS 1, 2, 3, AND 4, MADEIRA SHORES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE 87, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.



NOTES:

- ALL LIGHTING TO BE PROPERLY "TURTLE" SHIELDED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL STATUTES PER SECTION 110-506 - LIGHTING IN BEACH AREA.
- ALL LIGHTS TO BE LED TECHNOLOGY.

LEGEND

| | | |
|--|---|--|
| (C) = Calculated Data | F = FOUND | PLS = Professional Land Surveyor |
| (D) = Data per Description | FOR = FOUND IRON ROD & CAP | POB = Point of Beginning |
| (F) = Fields Determined | FCM = FOUND CONCRETE MONUMENT | POC = Point of Commencement |
| (M) = Measured Data | FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION | PRC = Point of Reversal Curvature |
| (P) = Data per Plat | FFE = FINISHED FLOOR ELEVATION | PRM = Permanent Reference Monument |
| +/- = Plus or Minus | FR = FOUND IRON PIPE | R = Radius |
| AC = Air Conditioner | FIR = FOUND IRON ROD NO CAP | RGE = Range |
| BWF = Barbed Wire Fence | FMN = FOUND MAG NAIL | R/W = Right-of-way |
| BFE = Base Flood Elevation | FND = FOUND NAIL & DISK | RCP = Reinforced Concrete Pipe |
| BFP = Backflow Preventer | FPP = FOUND PINCHED PIPE | SCM = Set Concrete Monument PLS #2865 |
| CB = Chord Bearing | FRD = FOUND RIVET & DISK | SI = Set Iron Rod & Cap 1/8" PLS #2865 |
| CH = Chord | FV = FLOOD THRU VENT | SMN = Set Mag Nail |
| C.A.B. = Condominium Plat Book | G.I. = GRATE INLET | SND = Set Nail & Disc PLS #2865 |
| C/C = Covered Concrete | GV = GATE VALVE | SP = Spot Elevation |
| C/S = Concrete Slab | HYD = FIRE HYDRANT | TBM = Temporary Benchmark |
| C/SW = Concrete Sidewalk | I.E. = INVERT ELEVATION | TOB = Top of Bank |
| CCCL = Coastal Construction Control Line | MC = MEASURED CERTIFICATE NUMBER | TOS = Top of Slope |
| CL = Centerline | LP = LIGHT POLE | TWP = Township |
| CLF = Chainlink Fence | LFE = LOWEST FLOOR ELEVATION | TYP = Typical |
| COV = Covered | M.O.L. = MORE OR LESS | UB = Utility Box |
| CLP = Concrete Light Pole | MTRCL = MOTORCYCLE | UP = Utility Pole |
| CMF = Corrugated Metal Pipe | MES = MITERED END SECTION | VF = Vinyl Fence |
| CONC = Concrete | NAL & DISK | WF = Wood Fence |
| Δ = Delta Angle | NFNS = NOT FOUND AND NOT SET | WM = Water Meter |
| D.B. = Dead Book | OCS = OUTFALL CONTROL STRUCTURE | WO = Work Order |
| D/W = Driveway | OHW = OVERHEAD WIRE | WV = Water Valve |
| DMH = Drainage Manhole | O.R. = OFFICIAL RECORDS BOOK | |
| EP = Edge of Pavement | PLB = PLAT BOOK | |
| EL = Elevation | PCP = PERMANENT CONTROL POINT | |
| EW = Edge of Water | PG(S) = PAGE(S) | |

SIGNAGE NOTES:

- ALL SIGNAGE TO BE CONFORMED WITH THE CODE OF ORDINANCES OF MADEIRA BEACH, PART II, CHAPTER 102 - SIGNS, SEC. 102-1 THRU 102-96.

SYMBOL LEGEND

| | |
|------------------------|--------------------------|
| ○ = Backflow Preventer | ○ = Boundary Lines |
| ○ = Centerline | ○ = Cable Box |
| ○ = Decorative Light | ○ = Water Line |
| ○ = Drainage Manhole | ○ = Telephone Line |
| ○ = Grease Trap | ○ = Gas Line |
| ○ = Guy Anchor | ○ = Sanitary Sewer Line |
| ○ = Handicap | ○ = Storm Sewer Line |
| ○ = Lightpole | ○ = Overhead Wire Lines |
| ○ = Mailbox | ○ = Fence - Wire |
| ○ = Power Box | ○ = Fence - Chain Link |
| ○ = Sanitary Manhole | ○ = Fence - Vinyl |
| ○ = Sign | ○ = Fence - Wood |
| ○ = Spot Elevation | ○ = Reclaimed Water Main |
| ○ = Telephone Box | |
| ○ = Utility Pole | |
| ○ = Water Meter | |
| ○ = Water Valve | |

TREE LEGEND

| |
|------------------|
| ○ = OAK |
| ○ = PALM |
| ○ = NORFOLK PINE |
| ○ = BANYON |

NOTE: ALL SIZES ARE IN INCHES

LINE LEGEND

| |
|--------------------------|
| — = Boundary Lines |
| — = Water Line |
| — = Telephone Line |
| — = Gas Line |
| — = Sanitary Sewer Line |
| — = Storm Sewer Line |
| — = Overhead Wire Lines |
| — = Fence - Wire |
| — = Fence - Chain Link |
| — = Fence - Vinyl |
| — = Fence - Wood |
| — = Reclaimed Water Main |

GENERAL NOTES:

- USE OF SPACE BELOW THE LOWEST HORIZONTAL STRUCTURAL MEMBER FOR PARKING, ACCESS, OR STORAGE ONLY.
- USE OF BREAKAWAY WALLS (WITH VENTS), OPEN LATTICE, OR INSECT SCREENING IF SPACE BELOW THE ELEVATED FLOOR IS ENCLOSED. ALLOW ONE ENCLOSURE. MAXIMUM ENCLOSURE SIZE IS 299 S.F. (NOT INCLUDING STAIRWELLS OR ELEVATED SHAFTS).
- ELEVATORS, ELEVATOR SHAFTS AND STAIRWELLS ARE NOT REQUIRED TO BREAKAWAY, BUT MUST MEET FLOOD DAMAGE-RESISTANT MATERIAL AND EQUIPMENT REQUIREMENTS.
- CITY AND FDEP STORMWATER REQUIREMENTS WILL BE MET.

FAR DATA SHEET

| SITE AREA | FAR EQUIVALENT |
|------------------------------|---------------------------------------|
| EAST LOT (R) (2) | 4,625.00 sq. ft. / 3,700.00 sq. ft. |
| EAST LOT (C3) (1.0 MAX) | 24,675.00 sq. ft. / 24,675.00 sq. ft. |
| WEST LOT (R3) (1.5 MAX) | 20,170.00 sq. ft. / 30,255.00 sq. ft. |
| PRESERVATION AREA (0.10 MAX) | 7,335.38 sq. ft. / 733.54 sq. ft. |
| TOTAL | 56,805.38 sq. ft. / 59,363.54 sq. ft. |

GROSS FLOOR AREA (WEST LOT)

| | |
|-------------|----------------|
| EXISTING | 6,650.00 S.F. |
| NORTH BLDG | 6,650.00 S.F. |
| MIDDLE BLDG | 5,250.00 S.F. |
| SOUTH BLDG | 3,250.00 S.F. |
| TOTAL | 16,650.00 S.F. |

GROSS FLOOR AREA (EAST LOT)

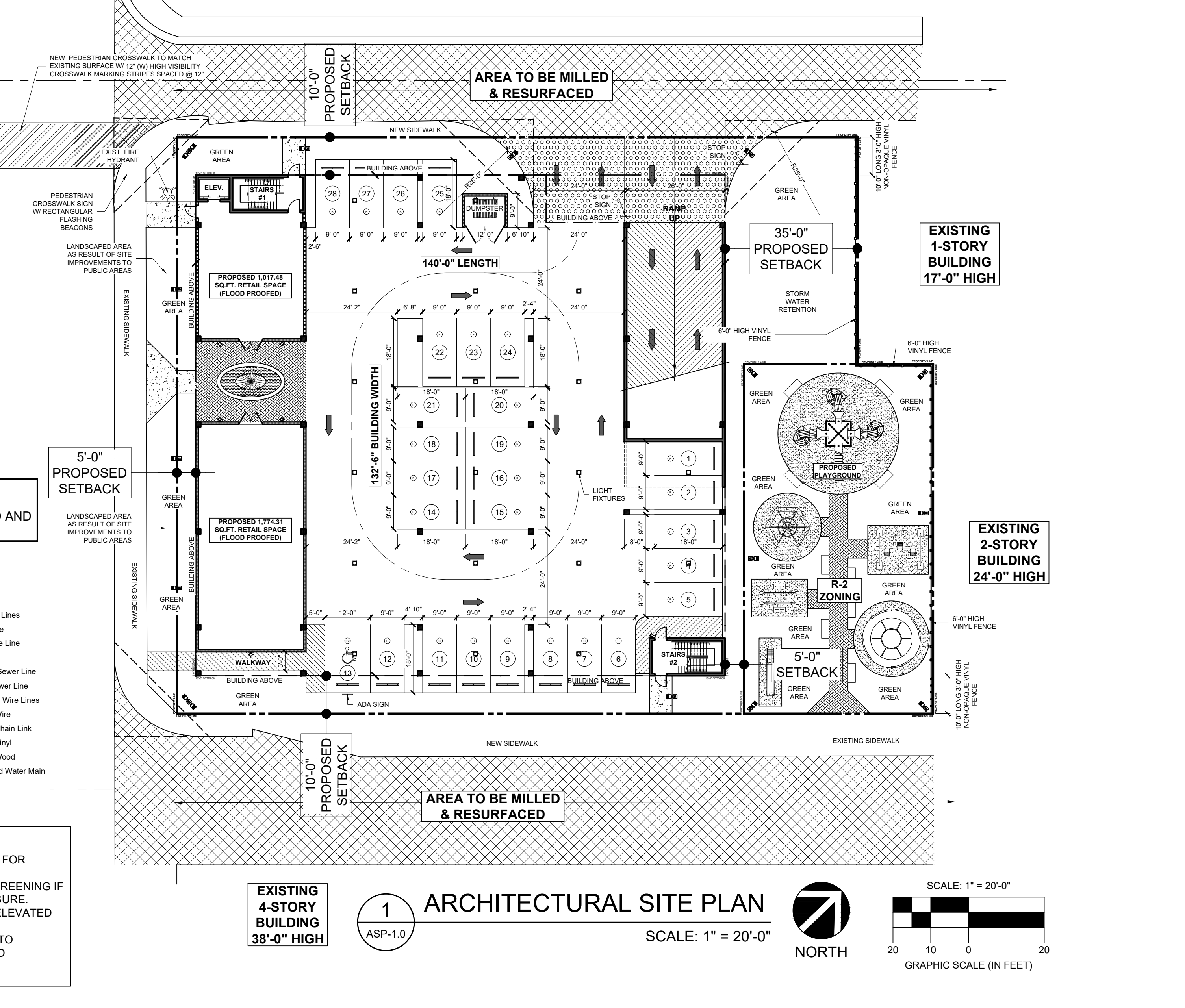
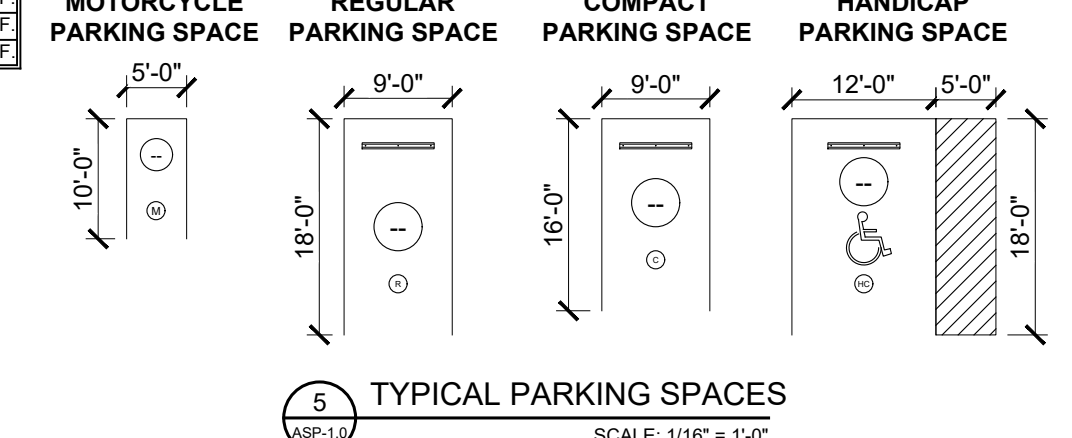
| | |
|-----------------|---------------|
| EXISTING | 4,928.00 S.F. |
| BLDG #1 (FRONT) | 4,928.00 S.F. |
| BLDG #2 (REAR) | 1,796.00 S.F. |
| TOTAL | 6,724.00 S.F. |

PROPOSED

| | |
|---------------|----------------|
| GROUND FLOOR | 807.88 S.F. |
| SECOND FLOOR | 7,500.00 S.F. |
| THIRD FLOOR | 9,100.00 S.F. |
| FOURTH FLOOR | 9,100.00 S.F. |
| FIFTH FLOOR | 9,100.00 S.F. |
| SIXTH FLOOR | 9,100.00 S.F. |
| SEVENTH FLOOR | 9,100.00 S.F. |
| ROOF DECK | 1,369.48 S.F. |
| TOTAL | 55,177.35 S.F. |

PAVING AREA

| LOCATION | EXISTING SQ. FT. | PROPOSED SQ. FT. |
|-----------|------------------|------------------|
| WEST SIDE | 964.25 S.F. | 9,907.42 S.F. |
| EAST SIDE | 1,947.10 S.F. | 13,610.76 S.F. |
| TOTAL | 2,911.35 S.F. | 23,518.18 S.F. |



REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------------|
| 1 | 11/16/2021 | SUBMITTAL PER CITY COMMENTS |

PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

ARCHITECTURAL SITE PLAN

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@BODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

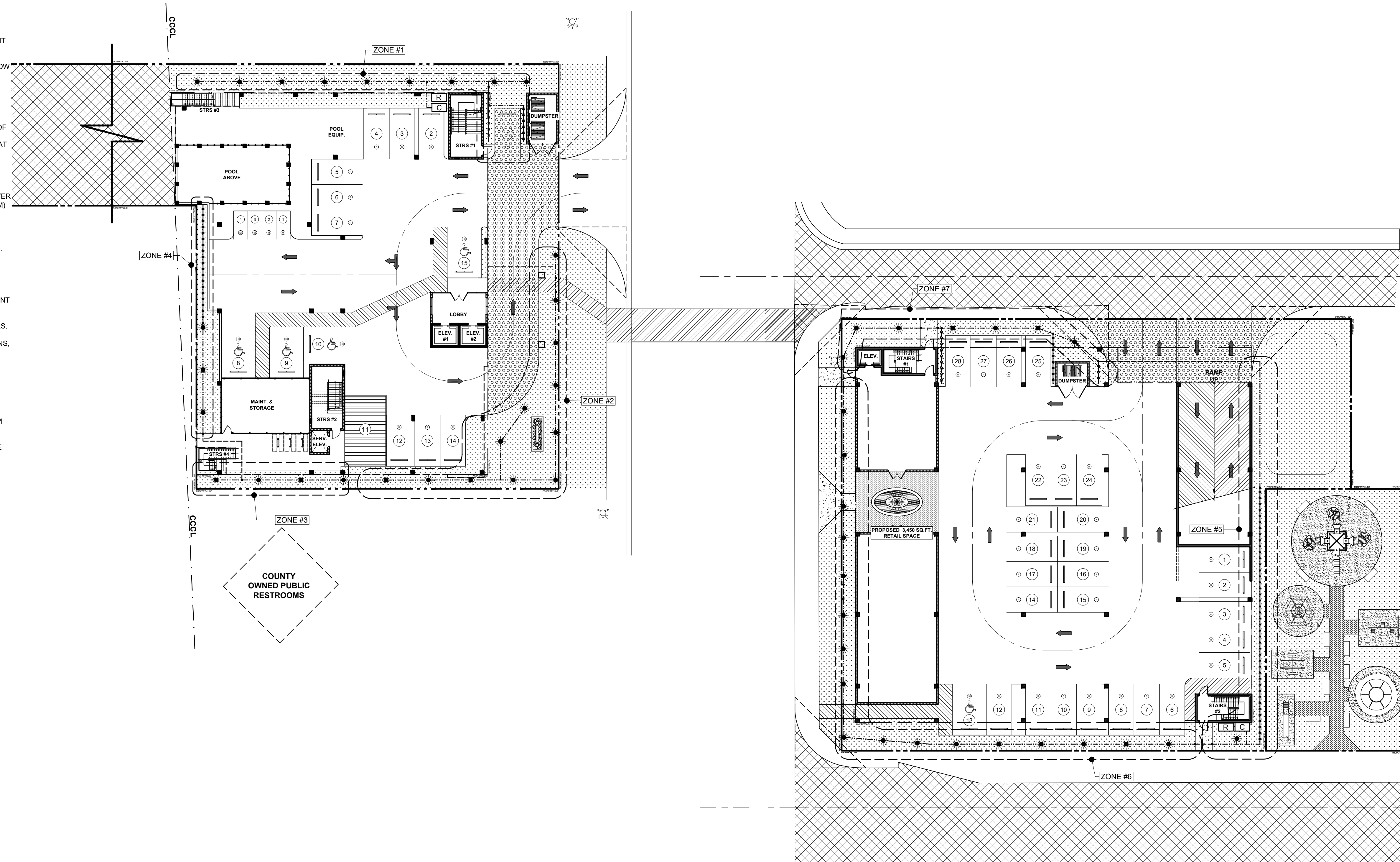
DRAWN BY: TT-AT-JB-CS
UPDATED ON: Nov 17, 21
DATE: OCT - 2018
JOB PROJECT #: 2018-029
SHEET #: ASP-1.0

GENERAL IRRIGATION NOTES:

- THE CONTRACTOR SHALL PROVIDE A 100% COVERAGE AUTOMATIC IRRIGATION SYSTEM ACCORDING TO THE IRRIGATION SPECIFICATIONS. IN ALL CASES COMPLY WITH THE WRITTEN IRRIGATION SPECIFICATIONS AND THE GENERAL IRRIGATION NOTES.
- ALL QUESTIONS CONCERNING SPECIFICATIONS ARE TO BE DIRECTED TO THE ARCHITECT.
- SHRUB RISERS SHALL ONLY BE INSTALLED IN HEDGES OR MASS PLANTINGS NOT TO EXTEND MORE THAN 3" ABOVE THE INSTALLED HEIGHT OF THE SHRUB. IN NO CASE SHALL SHRUB RISERS BE INSTALLED DIRECTLY ADJACENT TO CURBS, WALKS OR OTHER VEHICULAR ACCESS WAYS. IF RISERS ARE TO BE USED IN HEDGES ABUTTING PARKING AREAS, THEY MUST BE PLACED A MINIMUM OF 30" AWAY FROM BACK OF CURB AND EMBEDDED IN THE HEDGE SO AS NOT TO BE SEEN OR DAMAGED BY VEHICULAR OVERHANG. ALL SHRUB RISERS SHALL BE PAINTED BLACK OR DARK GREEN.
- ALL PLANTED GROUND COVER AREAS, INCLUDING MASS PLANTINGS OF DWARF SHRUBS NOT EXCEEDING 22", SHALL BE IRRIGATED WITH 12" POP-UP SPRAY HEADS (UNLESS OTHERWISE NOTED) AND EXTENDERS (IF REQUIRED).
- ALL SODDED AREAS SHALL BE IRRIGATED WITH 6" POP-UP SPRAYS (OR POP-UP ROTORS WHERE APPROPRIATE), UNLESS OTHERWISE NOTED.
- PIPE, VALVES AND OTHER IRRIGATION EQUIPMENT MAY BE SHOWN IN BUILDINGS, DRIVES AND WALKS FOR CLARITY ONLY. LOCATE ALL VALVES AND OTHER IRRIGATION EQUIPMENT IN PLANT BED AREAS FOR BEST CONCEALMENT AND ACCESSIBILITY.
- VALVES ARE TO BE INSTALLED IN VALVE BOXES LARGE ENOUGH TO ACCOMMODATE MAINTENANCE AND OPERATION OF VALVES. VALVE PIT SHALL BE FREE FROM MUD OR OTHER DEBRIS WHICH MAY COVER VALVE. PROVIDE 12" DIAMETER RIVER GRAVEL SUMP 3" THICK AT THE BOTTOM OF VALVE PIT.
- ALL IRRIGATION MATERIALS AND INSTALLATION SHALL MEET FEDERAL, STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES CONCERNING IRRIGATION CONSTRUCTION.
- FLEXIBLE POLYETHYLENE SWING JOINTS SHALL BE USED FOR ALL POP-UP SPRAY HEADS. ROTOR HEADS SHALL HAVE RIGID PVC SWING JOINTS. CONCRETE DONUTS SHALL BE INSTALLED AT ALL HEAD LOCATIONS ADJACENT TO OR IN VEHICULAR USE AREAS.
- ALL SLEEVES ARE TO BE SCHEDULE 40 PVC LOCATED A MINIMUM OF 14" BELOW FINISH GRADE.
- ADJUST ALL HEADS TO PROVIDE MAXIMUM COVERAGE AND MINIMUM OVERTHROW.
- CONTRACTOR SHALL ADJUST HEADS AS NEEDED IN VEHICULAR AREAS TO INSURE THAT PARKED VEHICLES DO NOT INTERFERE WITH THE OPERATION OF THE IRRIGATION SYSTEM. NOTIFY THE LANDSCAPE ARCHITECT AND OBTAIN WRITTEN APPROVAL PRIOR TO ADJUSTING IRRIGATION HEAD LAYOUT SO THAT 100% COVERAGE IS NOT COMPROMISED.
- EQUIPMENT AND HEADS SHALL BE MANUFACTURED BY "RAINBIRD" OR "HUNTER" OR AS OTHERWISE STATED ON THE PLANS.
- CONTRACTOR SHALL FIELD VERIFY CAPABILITY OF WATER SOURCE TO DELIVER PROPER PRESSURE PER SQUARE INCH (PSI) AND GALLONS PER MINUTE (GPM) AS REQUIRED BY THE IRRIGATION SYSTEM. NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONTRACT IF THERE IS ANY DISCREPANCY.
- IRRIGATION WATER SOURCE SHALL BE RECLAIMED WATER, IF AVAILABLE. COORDINATE NEW IRRIGATION WORK WITH EXISTING IRRIGATION TO REMAIN.
- ALL PERMITS NECESSARY ARE TO BE PROVIDED BY THE INSTALLING CONTRACTOR UNLESS OTHERWISE SPECIFICALLY STATED.
- REFER TO THE LANDSCAPE DRAWINGS WHEN LOCATING ALL IRRIGATION EQUIPMENT. ALLOW AMPLE ROOM NEAR PIPE, VALVES AND OTHER EQUIPMENT FOR THE PLANTING OF TREES AND HEDGES.
- ALL WIRES SHALL BE INSTALLED IN WIRE SLEEVES UNDER WALKS AND DRIVES.
- IF THERE IS A CONFLICT BETWEEN THE IRRIGATION PLAN AND SPECIFICATIONS, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
- CAREFULLY REVIEW THE IRRIGATION SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ITEMS CONTAINED THEREIN.
- CONTRACTOR SHALL FURNISH OWNER WITH 2 COPIES OF OPERATION MANUALS AND WATER SCHEDULING TIMES AS REQUIRED TO SUSTAIN THE PLANT MATERIAL. CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER OPERATION AND MAINTENANCE OF THE ENTIRE IRRIGATION SYSTEM PRIOR TO FINAL ACCEPTANCE.
- THE IRRIGATION SYSTEM SHALL INCLUDE A RAIN SENSOR / SHUT-OFF DEVICE TO AVOID IRRIGATION DURING PERIODS OF SUFFICIENT RAINFALL.

IRRIGATION LEGEND

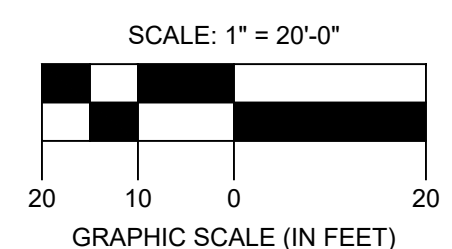
- RAINBIRD 6" POP-UP SPRAY HEADS (83) @ 15' O.C.
- IRRIGATION LINE INDICATION
- IRRIGATION LINE UNDER HARD SURFACE (SLEEVED 3")
- PERFORATED LINE INDICATION
- HUNTER RAIN SYNC DEVICE (2)
- HUNTER I-CORE CONTROLLER (2)



| IRRIGATIONS NOTES | | |
|------------------------|----------------------------------|------|
| ZONE | DESCRIPTION | QTY. |
| 1 | SPRAY ZONE WITH RAINBIRD POP-UPS | 9 |
| 2 | SPRAY ZONE WITH RAINBIRD POP-UPS | 12 |
| 3 | SPRAY ZONE WITH RAINBIRD POP-UPS | 4 |
| 4 | SPRAY ZONE WITH RAINBIRD POP-UPS | 3 |
| 5 | SPRAY ZONE WITH RAINBIRD POP-UPS | 1 |
| 6 | SPRAY ZONE WITH RAINBIRD POP-UPS | 17 |
| 7 | SPRAY ZONE WITH RAINBIRD POP-UPS | 7 |
| TOTAL RAINBIRD POP-UPS | | 53 |

1
ASP-1.2

IRRIGATION PLAN
SCALE: 1" = 20'-0"



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JOHN A. BODZIAK, INC. ARCHITECT REGISTERED PROFESSIONAL ARCHITECT STATE OF FLORIDA LICENSE NO. AR00005065
GENERAL USE CONTRACTS AND OTHER PROPERTY RIGHTS ARE RESERVED AND WILL REMAIN THE PROPERTY OF JOHN A. BODZIAK, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JOHN A. BODZIAK, INC. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROPRIATE COORDINATION TO ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROPRIATE COORDINATION TO ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROPRIATE COORDINATION TO ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROPRIATE COORDINATION TO ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.

| NO. | DATE | SUBMITTAL PER CITY COMMENTS |
|-----|------------|-----------------------------|
| | 11/16/2021 | |
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| | | |
| | | |

REVISIONS

DESCRIPTION

CLIENT

PROJECT

SCHOOLER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

IRRIGATION PLAN

DRAWN BY TT-AT-JB-CS
UPDATED ON Nov. 16, 21
DATE OCT - 2018
JOB PROJECT # 2018-029
SHEET #

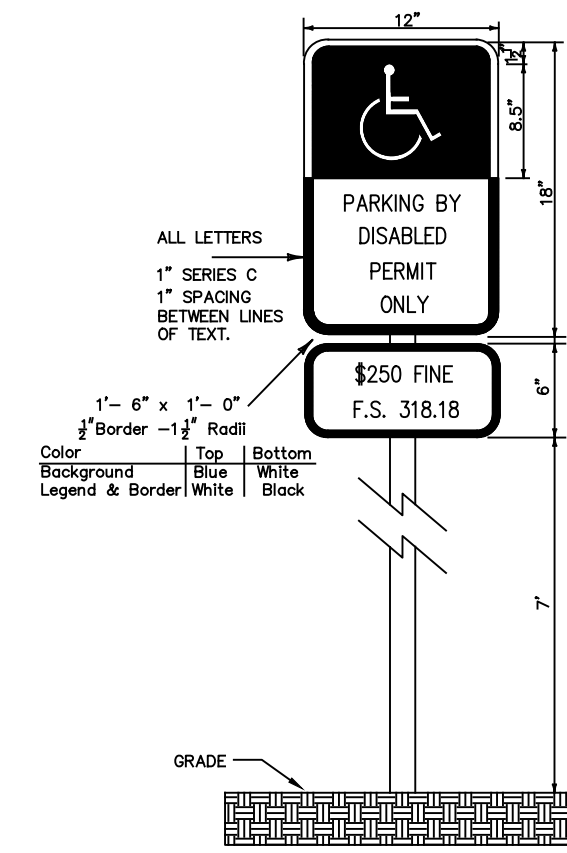
DRAWN BY TT-AT-JB-CS
UPDATED ON Nov. 16, 21
DATE OCT - 2018
JOB PROJECT # 2018-029
SHEET #

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR00005065
EMAIL: JACK@BODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

ASP-1.2

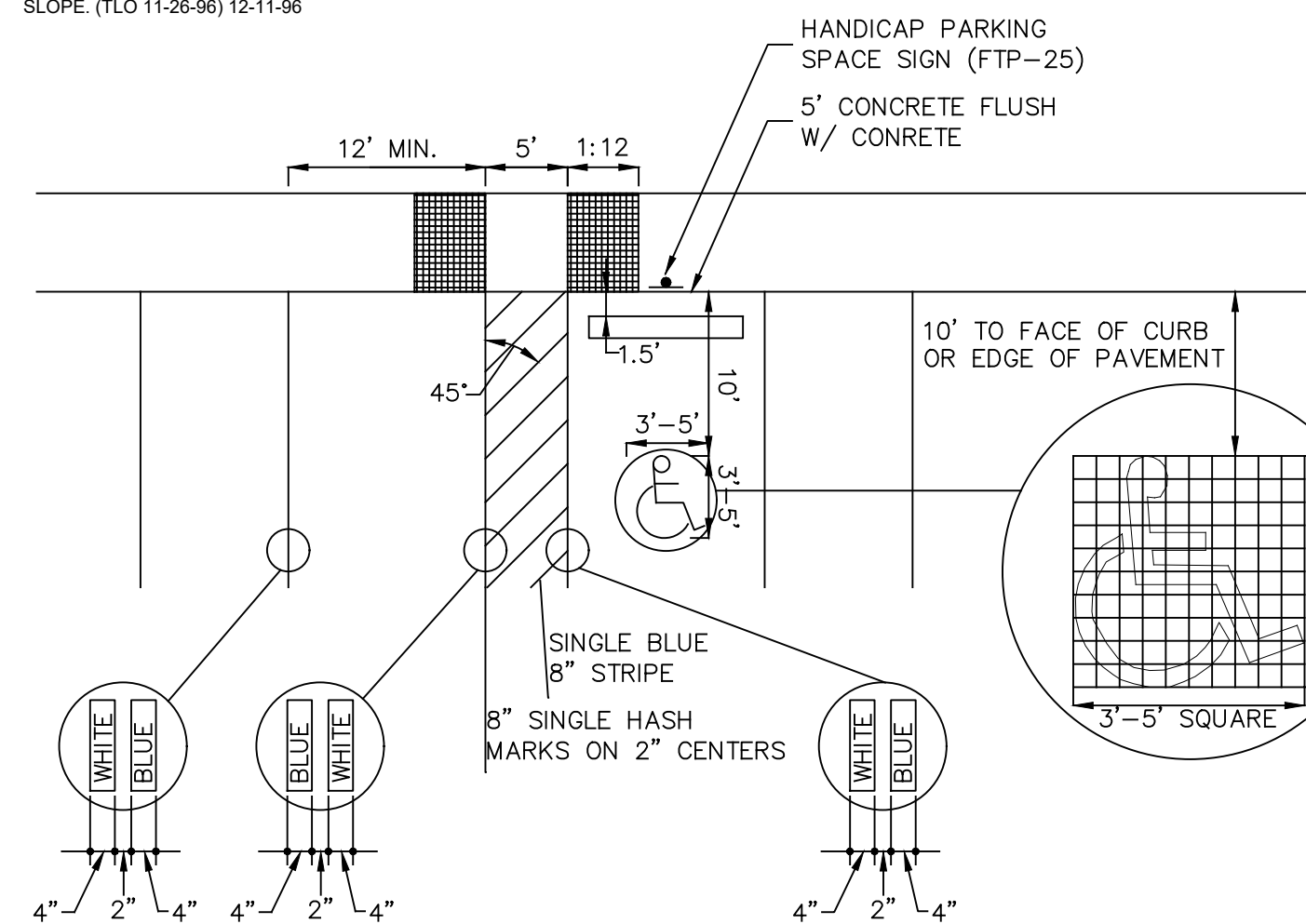
NOTE: (HANDICAP SIGN ONLY)

- ALL LETTERS TO BE 1" SERIES "C", BLACK AND SHALL CONFORM TO FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS" (LATEST EDITION)
- TOP PORTION OF SIGN TO HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
- BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND BORDER.
- ONE SIGN REQUIRED FOR EACH PARKING SPACE.
- HEIGHT OF SIGN BOTTOM SHALL BE 7" ABOVE GROUND IN ACCORDANCE WITH FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS" (LATEST EDITION)

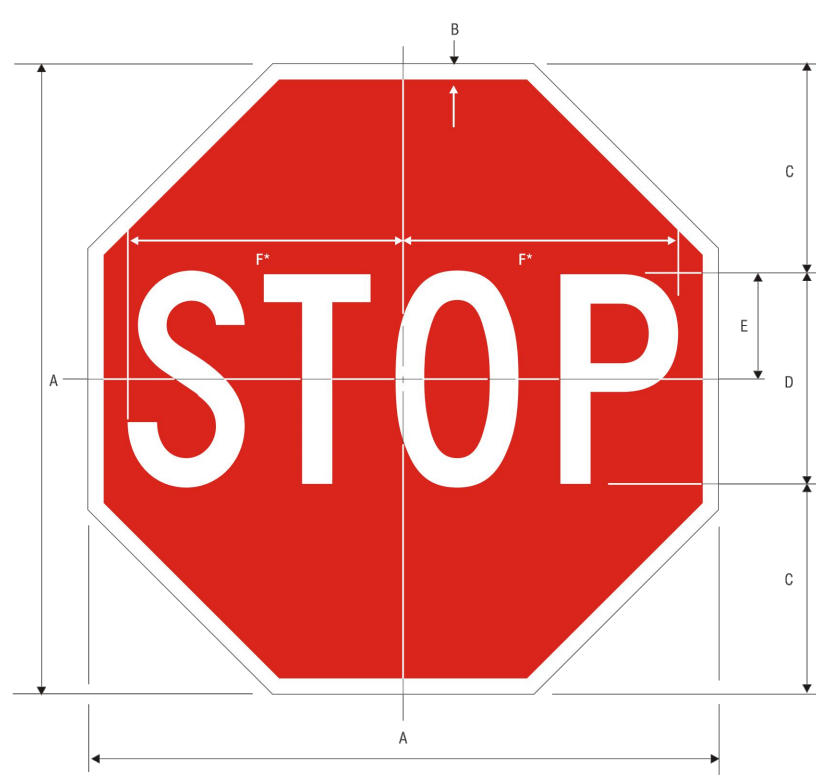


NOTE:

- ACCESSIBILITY**
- IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, 4.1.3 SECTION (1), DATED OCT. 1997, AT LEAST ONE ACCESSIBLE ROUTE COMPLYING WITH 4.1.3 SHALL CONNECT ACCESSIBLE BUILDING OR FACILITY ENTRANCES WITH ALL ACCESSIBLE SPACES AND ELEMENTS WITHIN THE BUILDING OR FACILITY. DOORS ACCESSING THE BUILDING MUST BE DEPICTED IN THE SITE PLAN. RAMP DETAILS WITH SLOPE INFORMATION SHALL BE DEPICTED ON SITE PLAN.
 - THE LOCATION OF HANDICAPPED PARKING STALLS, LOADING ZONES, SIDEWALKS AND RAMPS ON SITE SHALL MEET CHAPTER 316.1865 OF THE FLORIDA STATUTES AND SECTION 4.1.3 OF THE FLORIDA ACCESSIBILITY CODE. RAMPS SHALL NOT EXCEED 12:1 SLOPES. PARKING SPACE AND AISLE SHALL NOT EXCEED 50:1 CROSS SLOPE. (TLO 11-26-96) 12-11-96



1 HANDICAP PARKING SIGN
SCALE: N.T.S.
ASP-1.3

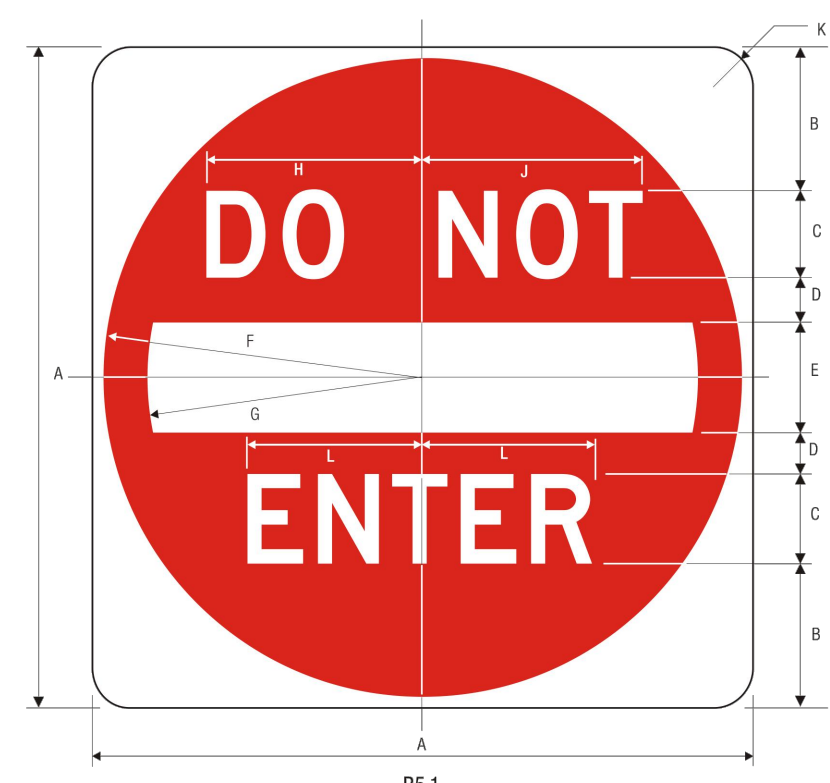


R1-1 STOP

| Letter | A | B | C | D | E | F |
|--------|-----|----|----|----|------|---|
| 18" | 375 | 6 | 8 | 3 | 775 | |
| 24" | 495 | 10 | 10 | 5 | 1020 | |
| 30" | 615 | 14 | 14 | 9 | 1275 | |
| 36" | 735 | 18 | 18 | 13 | 1530 | |
| 42" | 855 | 22 | 22 | 17 | 1785 | |
| 48" | 975 | 26 | 26 | 21 | 2040 | |

COLORS: LEGEND - WHITE (RETROREFLECTIVE)
BACKGROUND - RED (RETROREFLECTIVE)

2 STOP SIGN (30"x30")
SCALE: N.T.S.
ASP-1.3

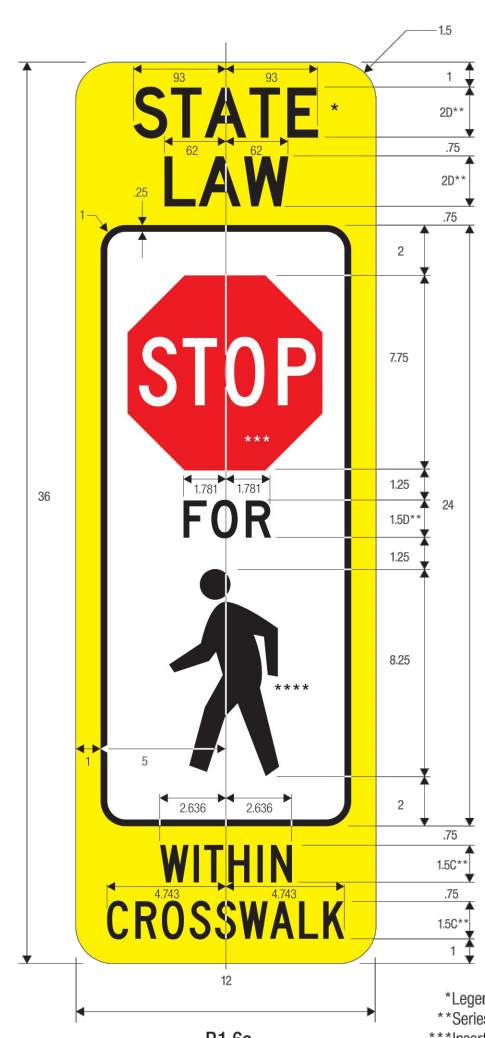


R5-1 DO NOT ENTER

| Letter | A | B | C | D | E | F | G | H | I | J | K |
|--------|-----|-----|-----|---|-----|-----|------|--------|-------|-------|---|
| 30" | 65 | 4.0 | 2 | 5 | 145 | 125 | 9.75 | 10 | 1.875 | 2.875 | |
| 36" | 75 | 5.0 | 2.5 | 6 | 175 | 150 | 12 | 12.375 | 2.25 | 3.375 | |
| 48" | 111 | 6.0 | 3 | 8 | 255 | 201 | 14.5 | 15 | 3 | 4.125 | |

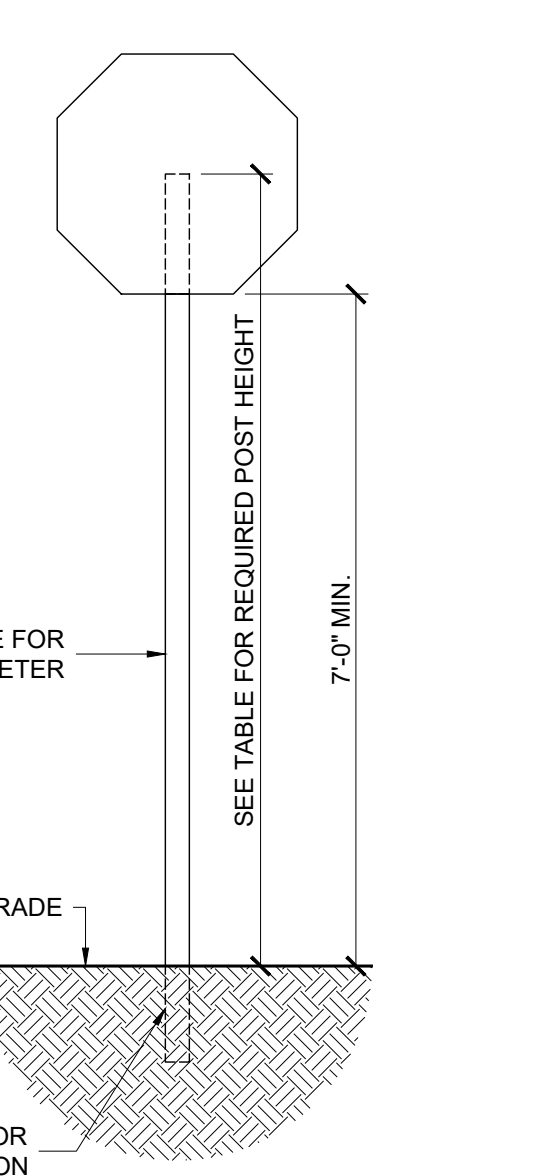
COLORS: SYMBOL - RED (RETROREFLECTIVE)
LEGEND & BACKGROUND - WHITE (RETROREFLECTIVE)

3 DO NOT ENTER SIGN (30"x30")
SCALE: N.T.S.
ASP-1.3

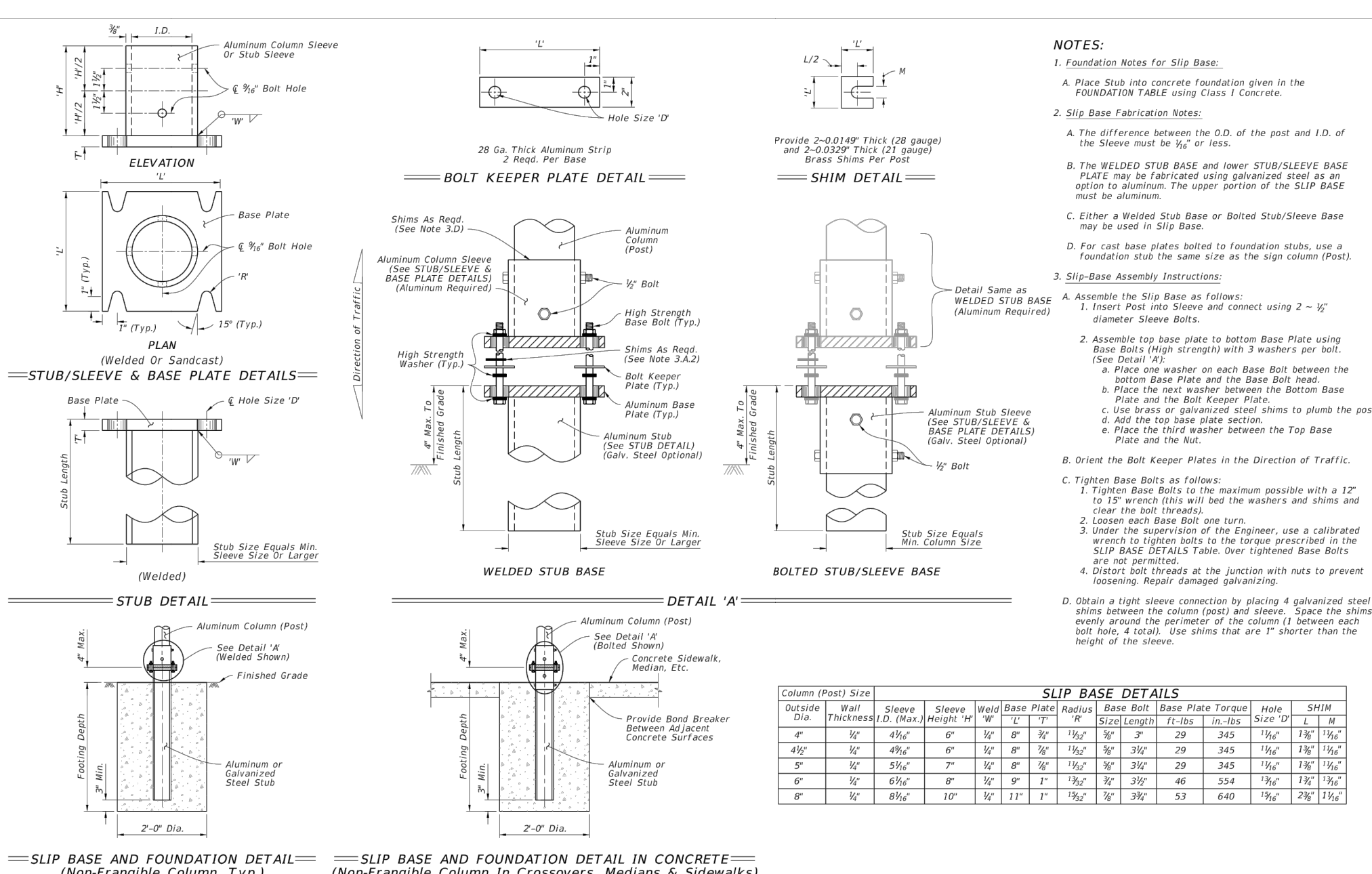


COLORS: LEGEND - BLACK
BACKGROUND - FLUORESCENT YELLOW-GREEN, OR YELLOW (RETROREFLECTIVE)
WALKING SYMBOL - RED (RETROREFLECTIVE) OR WHITE (RETROREFLECTIVE)
PED SYMBOL - BLACK ON WHITE (RETROREFLECTIVE)

4 CROSSWALK SIGN (36"x12")
SCALE: N.T.S.
ASP-1.3



5 SIGN HEIGHT (TYP.)
SCALE: 1/2" = 1'-0"
ASP-1.3

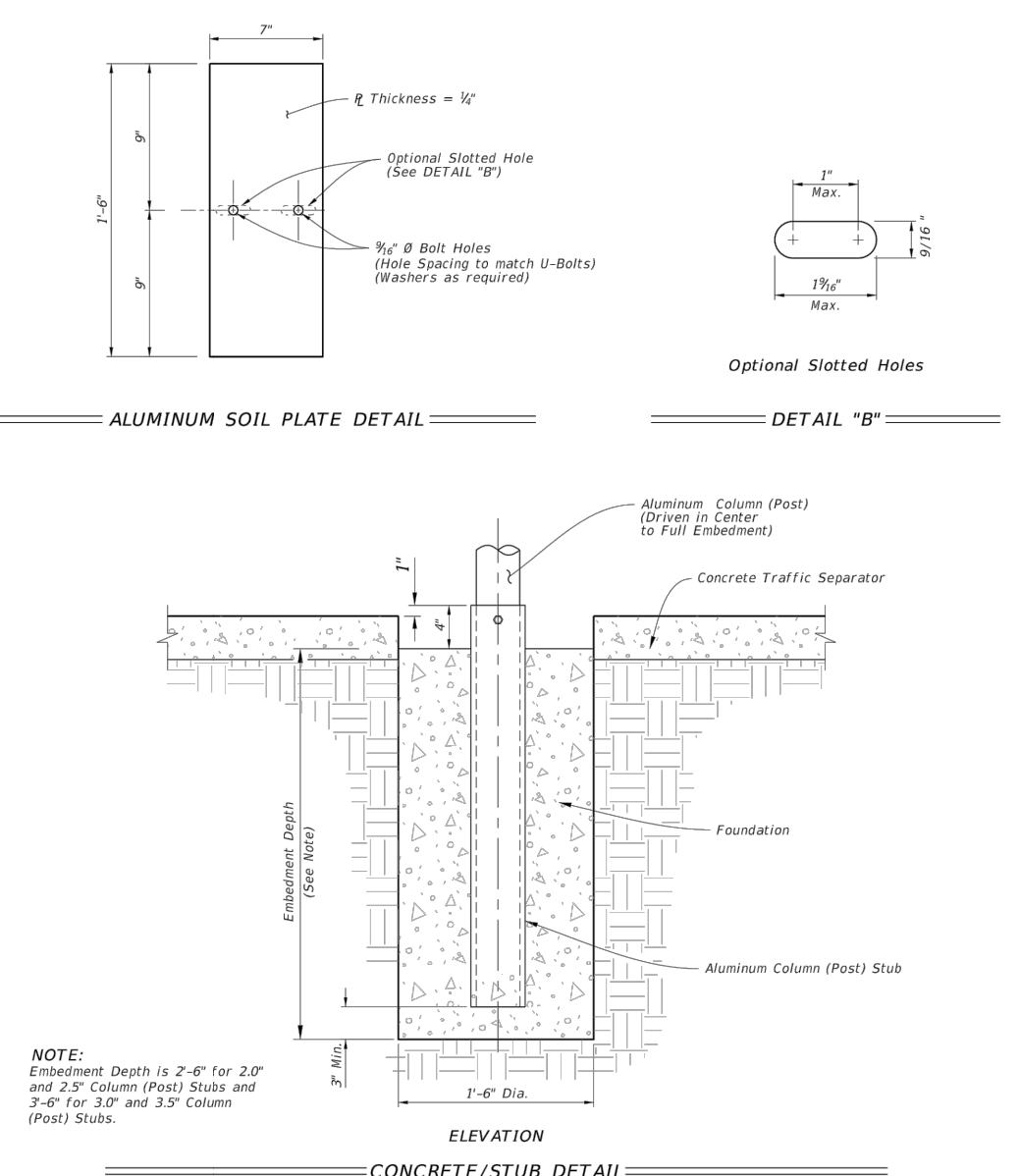


- NOTES:**
- Foundation Notes for Slip Base:
 - Place Stub into concrete foundation given in the FOUNDATION TABLE using Class 1 Concrete.
 - Slip Base Fabrication Notes:
 - The difference between the O.D. of the post and I.D. of the Sleeve must be 1/8" Min.
 - THE WELDED STUB BASE and lower STUB/SLEEVE BASE PLATE may be fabricated using galvanized steel as an option to aluminum. The upper portion of the SLIP BASE must be aluminum.
 - Either a welded Stub Base or Bolted Stub/Sleeve Base may be used in Slip Base.
 - For cast base plates bolted to foundation studs, use a foundation stub the same size as the sign column (Post).
 - Slip Base Assembly Instructions:
 - Insert Post into Sleeve and connect using 2 - 1/2" diameter Sleeve Bolts.
 - Assemble the Slip Base as follows:
 - Insert Post into Sleeve and connect using 2 - 1/2" diameter Sleeve Bolts.
 - Place one washer on each Base Bolt between the bottom Base Plate and the Base Bolt Head.
 - Place the nut washer between the bottom Base Plate and the Bolt Keeper Plate.
 - Use Washers or spacers between the Top Base Plate and the top base plate section.
 - Place the top washer between the Top Base Plate and the Nut.
 - Drain the Bolt Keeper Plates in the Direction of Traffic.
 - Tighten Base Bolts as follows:
 - Tighten Base Bolts to the maximum possible with a 12" to 15" wrench (Use and feel the washer and studs and loosen each Base Bolt one turn.
 - Under the supervision of the Engineer, use a calibrated wrench to tighten bolts to the torque specified in the SLIP BASE DETAILS Table. Over-tightened Base Bolts will damage the concrete.
 - Distort bolt threads at the junction with nuts to prevent loosening. Repair damaged galvanizing.
 - Drain a tight sleeve connection by placing 4 galvanized steel shims between the column (post) and sleeve. Space the shims equal around the perimeter of the column (1 shims each side must be used). Use shims that are 1/8" shorter than the height of the sleeve.

SLIP BASE DETAILS

| Outside Dia. (ft) | Wall Thickness (in) | Sleeve Height (ft) | Sleeve Height (in) | Post Height (ft) | Post Height (in) | Post Dia. (in) | Post Dia. (ft) | Shim Size (in) |
|-------------------|---------------------|--------------------|--------------------|------------------|------------------|----------------|----------------|----------------|
| 4" | 1/2" | 4 1/2" | 4 1/2" | 4" | 4" | 4" | 4" | 1/2" |
| 6" | 3/4" | 6 1/2" | 6 1/2" | 6" | 6" | 6" | 6" | 3/4" |
| 8" | 1" | 8 1/2" | 8 1/2" | 8" | 8" | 8" | 8" | 1" |
| 10" | 1 1/4" | 10 1/2" | 10 1/2" | 10" | 10" | 10" | 10" | 1 1/4" |
| 12" | 1 1/2" | 12 1/2" | 12 1/2" | 12" | 12" | 12" | 12" | 1 1/2" |
| 14" | 1 3/4" | 14 1/2" | 14 1/2" | 14" | 14" | 14" | 14" | 1 3/4" |
| 16" | 2" | 16 1/2" | 16 1/2" | 16" | 16" | 16" | 16" | 2" |
| 18" | 2 1/4" | 18 1/2" | 18 1/2" | 18" | 18" | 18" | 18" | 2 1/4" |
| 20" | 2 1/2" | 20 1/2" | 20 1/2" | 20" | 20" | 20" | 20" | 2 1/2" |
| 24" | 3" | 24 1/2" | 24 1/2" | 24" | 24" | 24" | 24" | 3" |
| 30" | 3 1/2" | 30 1/2" | 30 1/2" | 30" | 30" | 30" | 30" | 3 1/2" |
| 36" | 4" | 36 1/2" | 36 1/2" | 36" | 36" | 36" | 36" | 4" |
| 42" | 4 1/2" | 42 1/2" | 42 1/2" | 42" | 42" | 42" | 42" | 4 1/2" |
| 48" | 5" | 48 1/2" | 48 1/2" | 48" | 48" | 48" | 48" | 5" |

7 SLIP BASE & FOUNDATION DETAILS
SCALE: N.T.S.
ASP-1.3



NOTE: Embedment Depth is 2'-0" for 20" and 24" Column (Post) Slabs and 2'-0" for 12" and 18" Column (Post) Slabs.

8 DRIVEN POST, CONCRETE/STUB & SOIL PLATE DETAILS
SCALE: N.T.S.
ASP-1.3

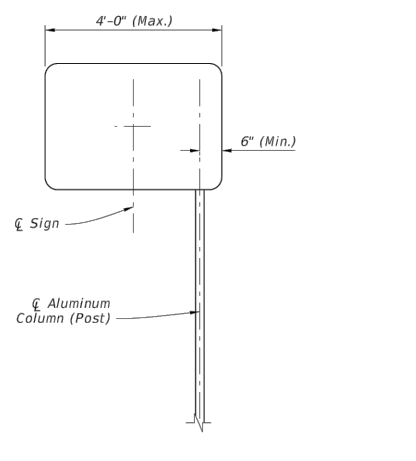
ALUMINUM COLUMN (POST) SELECTION TABLE (O.D. in.)

| Column (Post) Size | 9' (FT) | | | | | | | | | | | | |
|--------------------|---------|------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| | 8 ft | 9 ft | 10 ft | 11 ft | 12 ft | 13 ft | 14 ft | 15 ft | 16 ft | 17 ft | 18 ft | 19 ft | 20 ft |
| 2" | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 |
| 3" | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 |
| 4" | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 |
| 5" | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 |
| 6" | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 |
| 8" | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 |
| 10" | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 |
| 12" | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 |
| 14" | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 |
| 16" | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 |
| 18" | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 |
| 20" | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 |
| 24" | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 |
| 28" | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 |
| 30" | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 | 45 |

FOUNDATION TABLE

| Column (Post) Size | Foundation Alternative | |
|--------------------|----------------------------------|--------------------|
| | Driven Post - Concrete (Class 1) | Concrete (Class 1) |
| 2" | 4.5 | 2.5 |
| 3" | 5.0 | 3.0 |
| 4" | 5.0 | 3.5 |
| 5" | 6.0 | 4.5 |
| 6" | 6.0 | 4.5 |
| 8" | 7.0 | 5.5 |
| 10" | 7.0 | 5.5 |
| 12" | 8.0 | 6.5 |
| 14" | 8.0 | 6.5 |
| 16" | 9.0 | 7.5 |
| 18" | 9.0 | 7.5 |
| 20" | 10.0 | 8.5 |
| 24" | 10.0 | 8.5 |
| 28" | 11.0 | 9.5 |
| 30" | 11.0 | 9.5 |

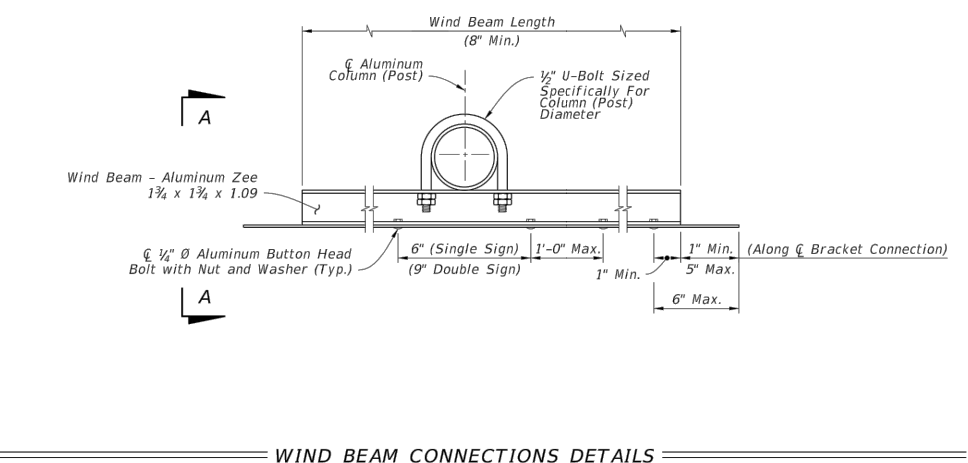
*** INSTALLING FRANGIBLE COLUMN SUPPORTS:**
Columns (posts) 3/8" O.D. and less are considered frangible and may be installed either by driving the post or setting the post in preformed holes. Basical preformed holes with suitable material tamped in layers not thicker than 6" (to provide adequate compaction or filled with flowable fill or bagged concrete).



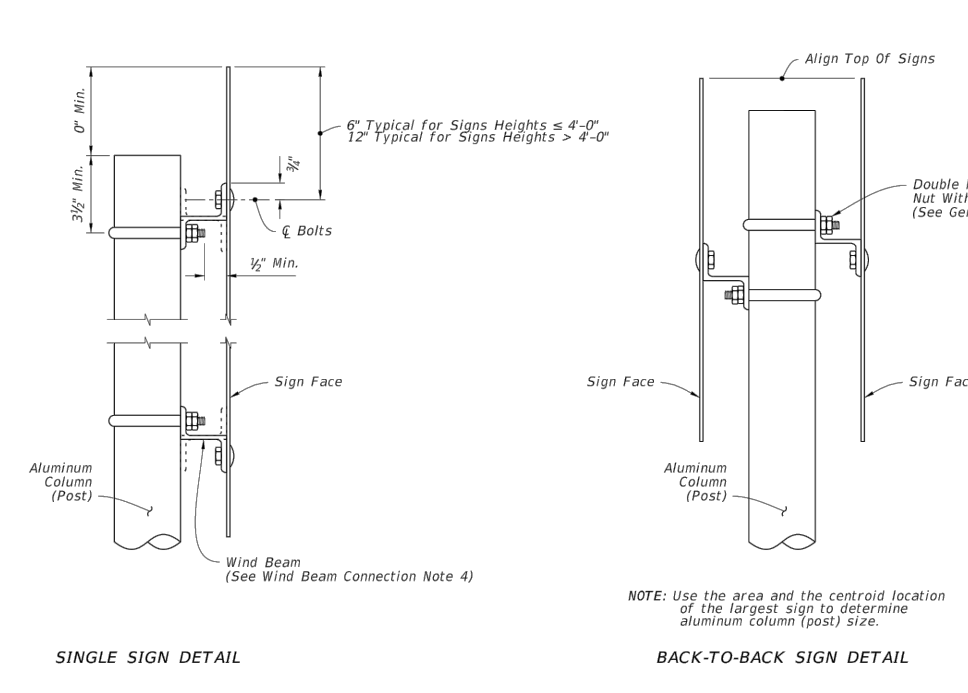
NOTE:

- For offset sign placement see Index 700-101.
- For signs with width greater than 4 see Index 700-011.
- Offset signs with driven posts require a soil plate.

6 COLUMN & FOUNDATION TABLES
SCALE: N.T.S.
ASP-1.3



- NOTES:**
- 3/8" stainless steel hex head bolts with nylon washers under head and washer under nut may be used in lieu of 1/2" aluminum bolts or flat head bolts.
 - Use nylon washers (provided by the sheeting supplier) under the bolt heads to protect sign sheathing.
 - Slots up to 2" deep are allowed in wind beams to accommodate bolts for carrying Column (Post) diameters.
 - Wind beams may be oriented in either direction.
 - For signs greater than 60" in height, install a third wind beam evenly spaced between the top and bottom wind beams. For signs up to 12" in height, use only one wind beam at 6" Sign. Install two wind beams on signs with height greater than 12" and use them or equal to top.

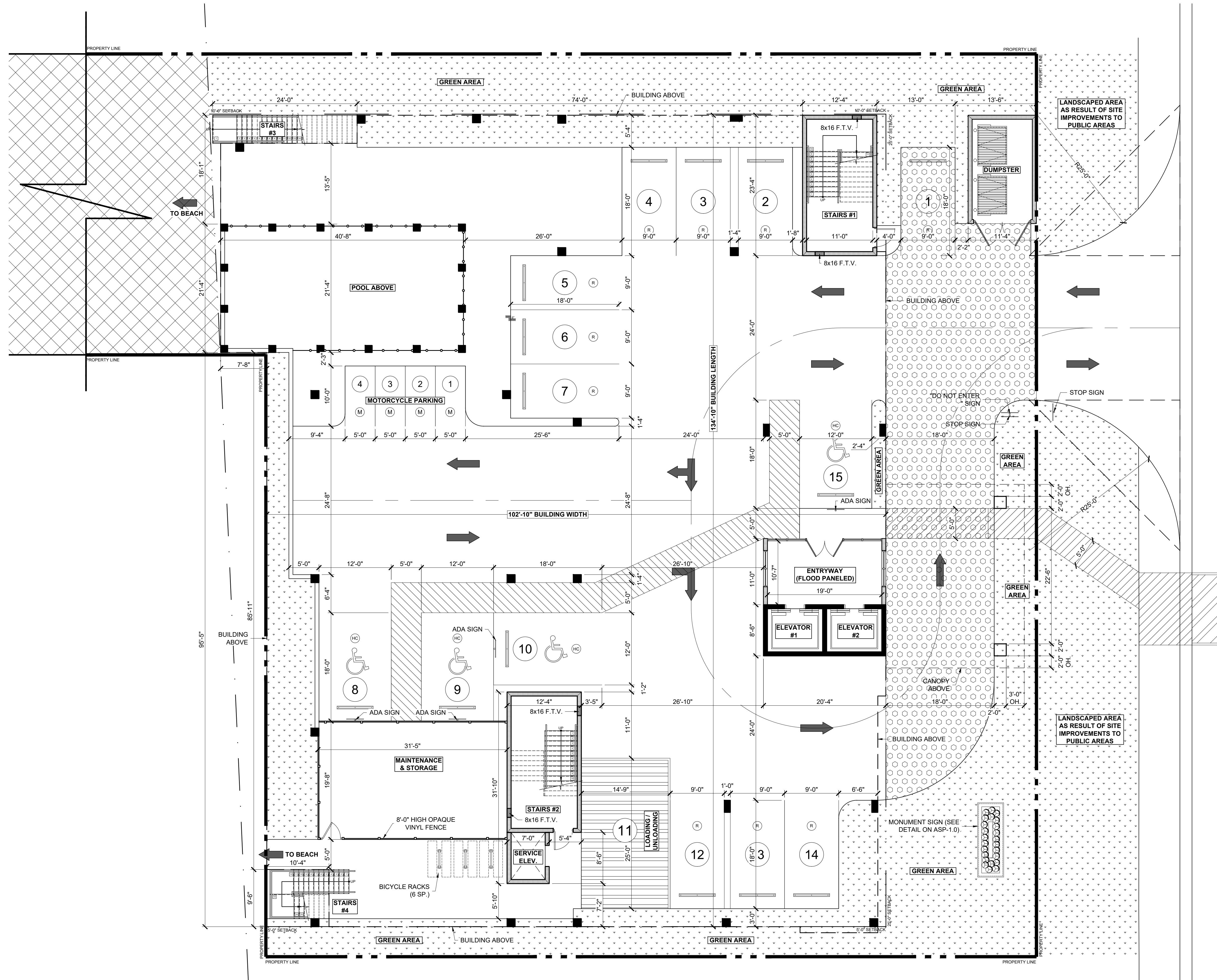


9 WIND BEAM CONNECTION
SCALE: N.T.S.
ASP-1.3

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 JOHN A. BODZIAK ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR00005065
 EMAIL: JACK@ABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968
 PROJECT: SCHOONER RESORT
 14500 - 14550 GULF BOULEVARD
 MADEIRA BEACH, FLORIDA
 SIGN PLANS
 DRAWN BY: TT-AT-JB-CS
 UPDATED ON: Nov. 16, 21
 DATE: OCT - 2018
 JOB PROJECT #: 2018-029
 SHEET #: ASP-1.3

| NO. | DATE | SUBMITTAL PER CITY COMMENTS |
|-----|------------|-----------------------------|
| | 11/16/2021 | |

| REVISIONS | DESCRIPTION |
|-----------|-------------|
| | |



1 GROUND FLOOR PLAN (GULF FRONT LOT)
 A-1.0 SCALE: 1/8" = 1'-0" NORTH

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

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JOHN A. BODZIAK ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@JABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

PROJECT: SCHOONER RESORT
 14500 - 14550 GULF BOULEVARD
 MADEIRA BEACH, FLORIDA
 GROUND FLOOR PLAN (GULF FRONT LOT)

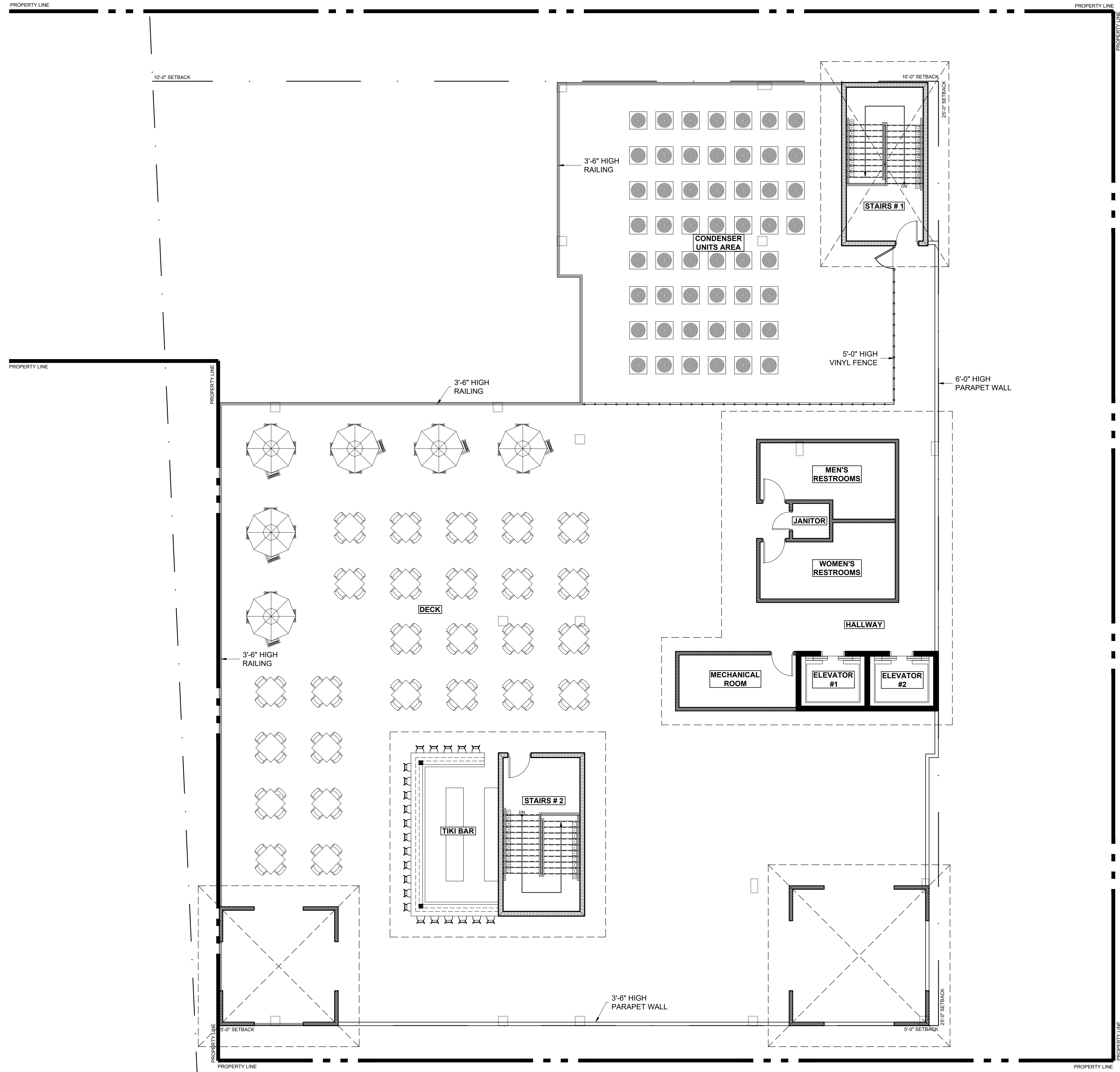
| NO. | DATE | REVISIONS | DESCRIPTION |
|-----|------------|-----------|-----------------------------|
| 1 | 11/16/2021 | | SUBMITTAL PER CITY COMMENTS |

REVISIONS

NO. DATE REVISIONS DESCRIPTION

1 11/16/2021 SUBMITTAL PER CITY COMMENTS

DRAWN BY: TT-AT-JB-CS
 UPDATED ON: Nov. 16, 21
 DATE: OCT - 2018
 JOB PROJECT #: 2018-029
 SHEET #: A-1.0



CCCL

1 ROOF DECK PLAN
A-1.2 SCALE: 1/8" = 1'-0" NORTH

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 635 AND 637, LAWS OF FLORIDA.

JOHN A. BODZIAK ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. ARO005065
 EMAIL: JACK@JABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

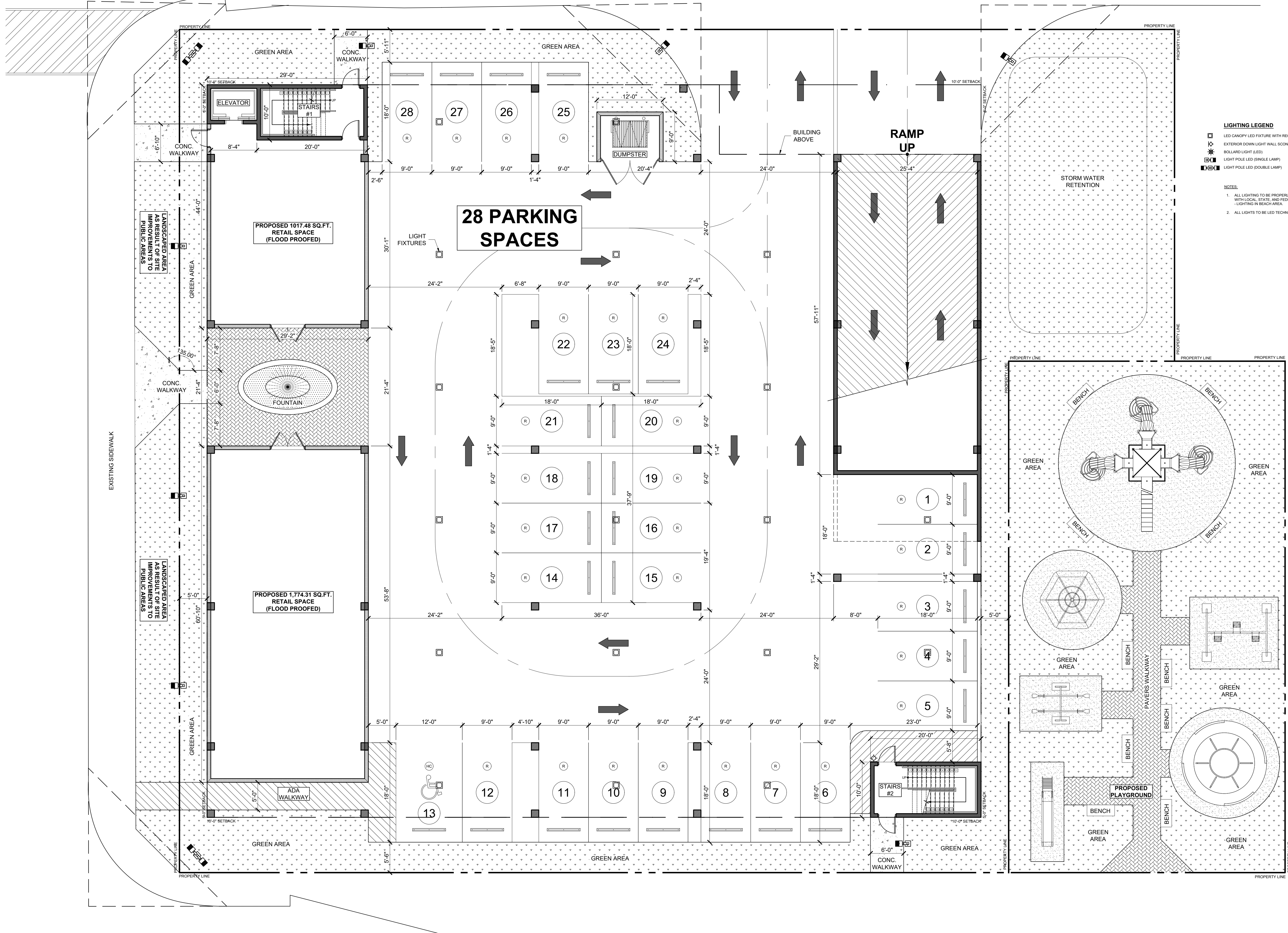
PROJECT: **SCHOONER RESORT**
 14500 - 14550 GULF BOULEVARD
 MADEIRA BEACH, FLORIDA

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------------|
| | 11/16/2021 | SUBMITTAL PER CITY COMMENTS |

CLIENT: ROOF DECK PLAN

DRAWN BY: TT-AT-JB-CS
 UPDATED ON: Nov. 16, 21
 DATE: OCT - 2018
 JOB PROJECT #: 2018-029
 SHEET #: A-1.2



LIGHTING LEGEND

- LED CANOPY LED FIXTURE WITH REQUIRED MOUNTING HARDWARE
- EXTERIOR DOWN LIGHT WALL SCONCE WITH REQUIRED MOUNTING HARDWARE
- BOLLARD LIGHT (LED)
- LIGHT POLE LED (SINGLE LAMP)
- LIGHT POLE LED (DOUBLE LAMP)

NOTES:

- ALL LIGHTING TO BE PROPERLY "TURTLE" SHIELDED IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL STATUTES PER SECTION 106-098 LIGHTING IN BEACH AREA.
- ALL LIGHTS TO BE LED TECHNOLOGY.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPERTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 63S AND 65S, LAWS OF FLORIDA.

DATE: 11/16/2021

NO. 1

REVISIONS

| NO. | DATE | SUBMITTAL PER CITY COMMENTS |
|-----|------------|-----------------------------|
| 1 | 11/16/2021 | |

DESCRIPTION

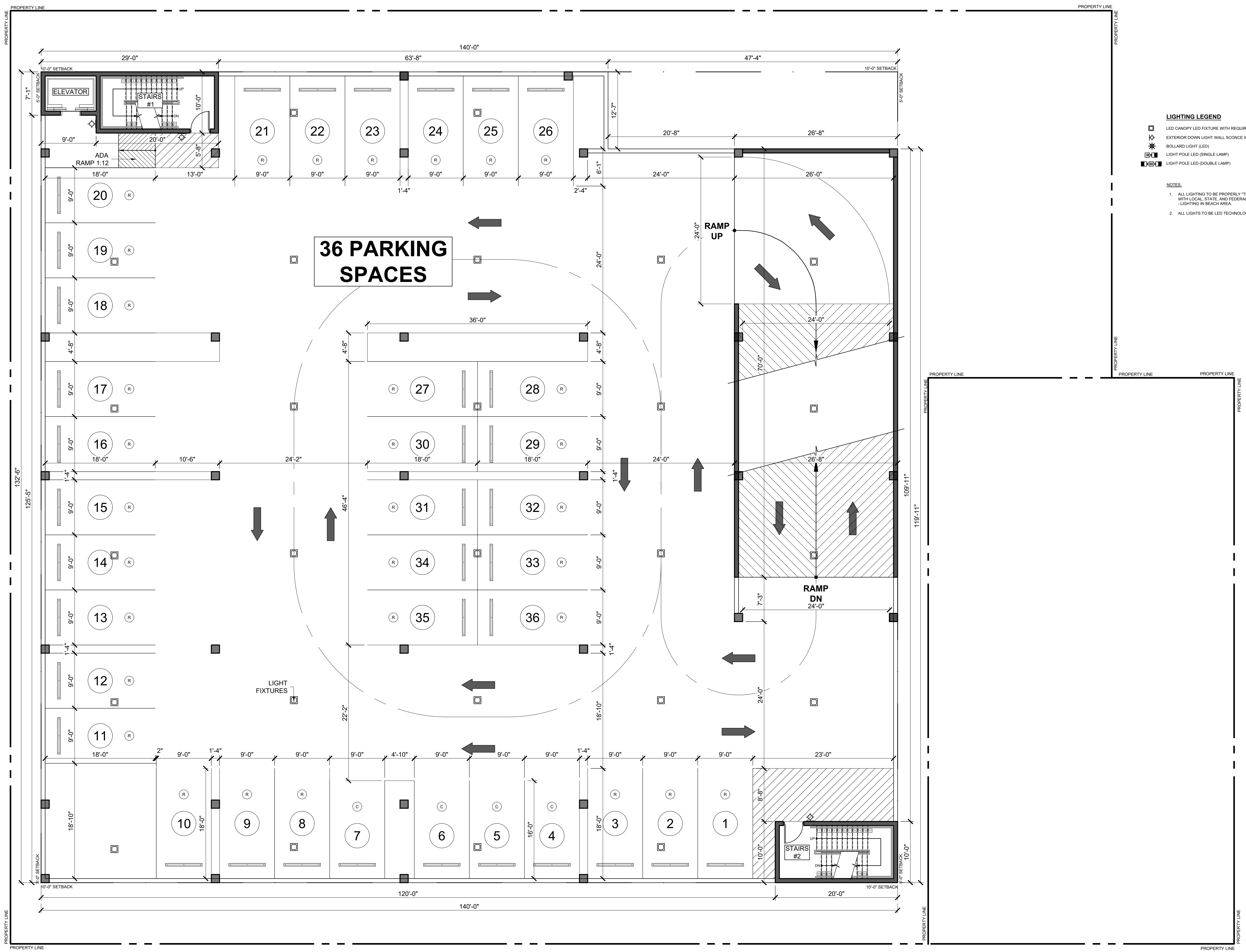
PROJECT: **SCHOONER RESORT**
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

GROUND FLOOR PARKING PLAN (EAST SIDE)

ARCHITECT: **JOHN A. BODZIAK**
ARCHITECT AIA, PA
ARCHITECTURE DESIGN AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@BODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY: TT-AT-JB-CS
UPDATED ON: Nov. 16, 21
DATE: OCT - 2018
JOB PROJECT #: 2018-029
SHEET #: A-1.3

1 GROUND FLOOR PARKING PLAN (EAST SIDE)
SCALE: 1/8" = 1'-0"
NORTH



LIGHTING LEGEND

- LED CANOPY LED FIXTURE WITH REQUIRED MOUNTING HARDWARE
- ⊞ EXTERIOR DOWN LIGHT WALL SCONCE WITH REQUIRED MOUNTING HARDWARE
- ⊞ BOLLARD LIGHT (LED)
- ⊞ LIGHT POLE LED (SINGLE LAMP)
- ⊞ LIGHT POLE LED (DOUBLE LAMP)

- NOTES:**
1. ALL LIGHTING TO BE PROPERLY "TURTLE" SHIELDED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL STATUTES PER SECTION 190-99 - LIGHTING IN BEACH AREA.
 2. ALL LIGHTS TO BE LED TECHNOLOGY.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

| NO. | DATE | DESCRIPTION | SUBMITTAL PER CITY COMMENTS |
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| | 11/16/2021 | | |

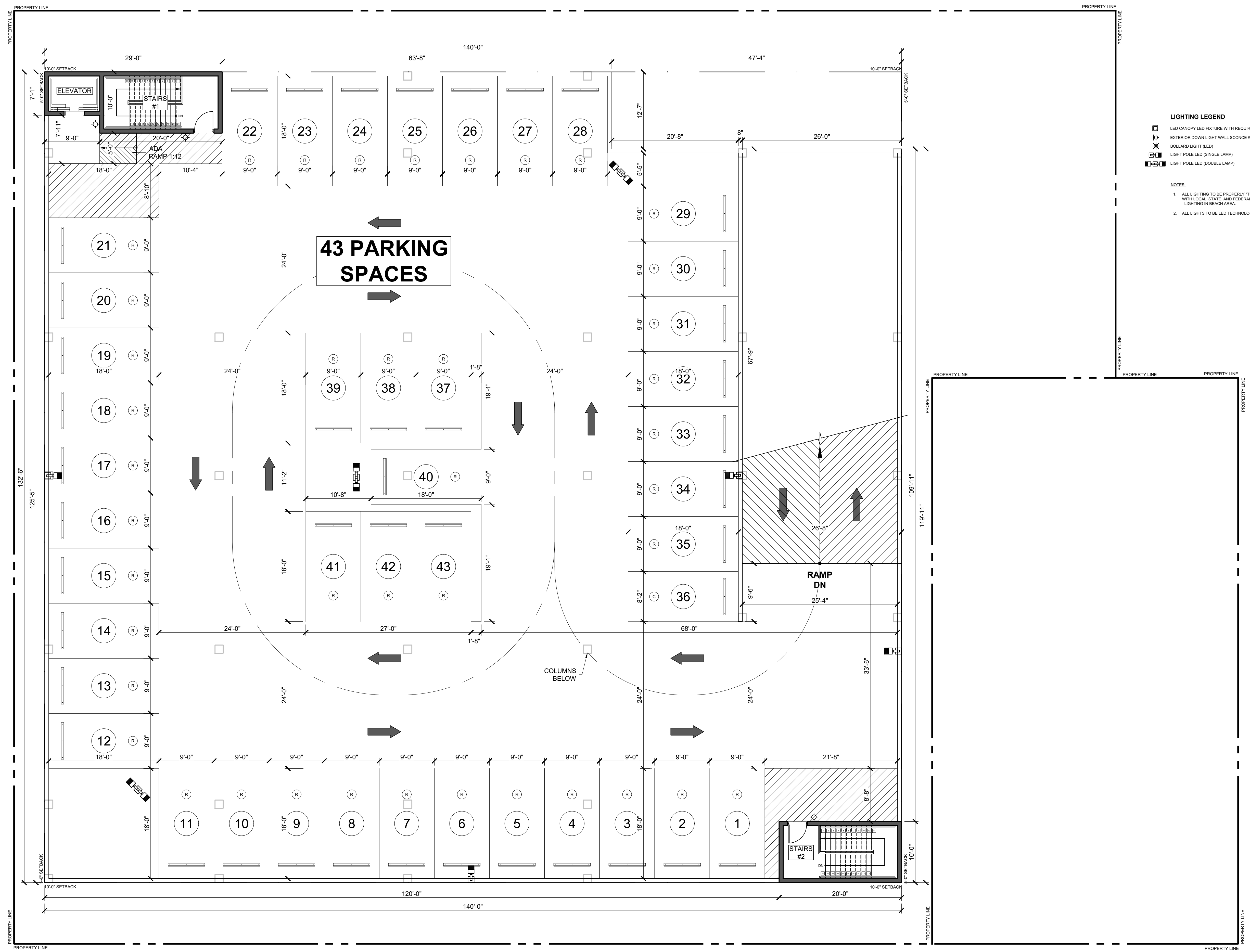
PROJECT
SCHOONER RESORT
 14550 - 14550 GULF BOULEVARD
 MADEIRA BEACH, FLORIDA

ARCHITECT AIA, PA
JOHN A. BODZIAK
 ARCHITECTURE DESIGN AND CONSTRUCTION MANAGEMENT
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DRAWN BY TT-AT-JB-CS
 UPDATED ON Nov. 16, 21
 DATE OCT - 2018
 JOB PROJECT # 2018-029
 SHEET #

A-1.4

1 SECOND FLOOR PARKING PLAN (EAST SIDE)
 A-1.4 SCALE: 1/8" = 1'-0"
 NORTH



LIGHTING LEGEND

- ☐ LED CANOPY LED FIXTURE WITH REQUIRED MOUNTING HARDWARE
- ☐ EXTERIOR DOWN LIGHT WALL SCONCE WITH REQUIRED MOUNTING HARDWARE
- ☐ BOLLARD LIGHT (LED)
- ☐ LIGHT POLE LED (SINGLE LAMP)
- ☐ LIGHT POLE LED (DOUBLE LAMP)

- NOTES:**
- ALL LIGHTING TO BE PROPERLY "TURTLE" SHIELDED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL STATUTES PER SECTION 106-098 - LIGHTING IN BEACH AREA.
 - ALL LIGHTS TO BE LED TECHNOLOGY.

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------------|
| 1 | 11/16/2021 | SUBMITTAL PER CITY COMMENTS |

PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE DESIGN AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
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TEL: (727) 327-1966 FAX: (727) 826-0968

PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

THIRD FLOOR PARKING PLAN (EAST SIDE)

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE DESIGN AND CONSTRUCTION MANAGEMENT
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TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY TT-AT-JB-CS
UPDATED ON Nov. 16, 21
DATE OCT - 2018
JOB PROJECT # 2018-029
SHEET #

1 THIRD FLOOR PARKING PLAN (EAST SIDE)
A-1.5
SCALE: 1/8" = 1'-0"
NORTH

A-1.5



1
 NORTH ELEVATION (RIGHT SIDE)
 SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

JOHN A. BODZIAK
 ARCHITECT AIA, PA
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 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

PROJECT
SCHOONER RESORT
 14550 - 14550 GULF BOULEVARD
 MADEIRA BEACH, FLORIDA
 NORTH ELEVATION (RIGHT SIDE)

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|-------------------------------|
| △ | 11/18/2020 | ADJUSTMENTS PER CITY COMMENTS |
| | 04/05/2021 | REVISIONS TO SITE DATA TABLE |
| | 07/02/2021 | REVISIONS PER CITY COMMENTS |
| | 11/04/2021 | CITY SUBMITTAL |

DRAWN BY TT-AT-JB-CS
 UPDATED ON Nov. 16, 21
 DATE OCT - 2018
 JOB PROJECT # 2018-029
 SHEET # **A-5.1**

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLINED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 63 AND 62, LAWS OF FLORIDA.

JOHN A. BODZIAK, ARCHITECT AIA, PA, HEREBY REPRESENTS THAT ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

I, JOHN A. BODZIAK, ARCHITECT AIA, PA, HEREBY CERTIFY THAT I AM A LICENSED ARCHITECT IN THE STATE OF FLORIDA AND THAT I AM THE DESIGNER OF THE ABOVE PROJECT. I HAVE REVIEWED THE ABOVE PROJECT AND I AM SURE THAT THE SAME COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 63 AND 62, LAWS OF FLORIDA.

I, JOHN A. BODZIAK, ARCHITECT AIA, PA, HEREBY CERTIFY THAT I AM A LICENSED ARCHITECT IN THE STATE OF FLORIDA AND THAT I AM THE DESIGNER OF THE ABOVE PROJECT. I HAVE REVIEWED THE ABOVE PROJECT AND I AM SURE THAT THE SAME COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 63 AND 62, LAWS OF FLORIDA.



1
A-5.2 SOUTH ELEVATION (LEFT SIDE)
 SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

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 ARCHITECT AIA, PA
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 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

PROJECT
SCHOONER RESORT
 14500 - 14550 GULF BOULEVARD
 MADEIRA BEACH, FLORIDA
 SOUTH ELEVATION (LEFT SIDE)

CLIENT

| NO. | DATE | DESCRIPTION |
|-----|------------|-------------------------------|
| △ | 11/18/2020 | ADJUSTMENTS PER CITY COMMENTS |
| | 04/05/2021 | REVISIONS TO SITE DATA TABLE |
| | 07/02/2021 | REVISIONS PER CITY COMMENTS |
| | 11/04/2021 | CITY SUBMITTAL |

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLINED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

JOHN A. BODZIAK, ARCHITECT AIA, PA, HEREBY CERTIFIES THAT ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

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DRAWN BY: TT-AT-JB-CS
 UPDATED ON: Nov. 16, 21
 DATE: OCT - 2018
 JOB PROJECT #: 2018-029
 SHEET #: **A-5.2**



1 WEST ELEVATION (REAR)
A-5.3 SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

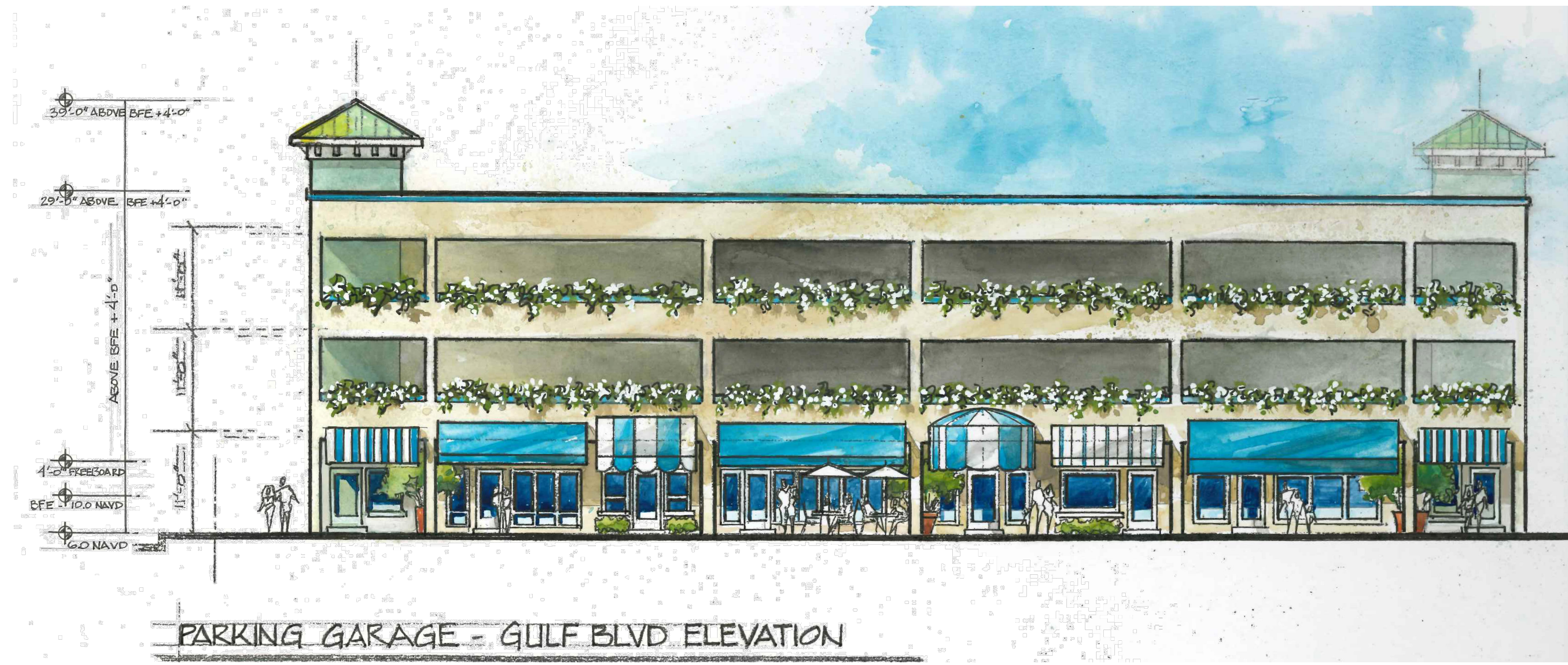
PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENGINEERING AND SKILLS, THE DESIGN AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 633 AND 634, LAWS OF FLORIDA.

JOHN A. BODZIAK ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@JABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

PROJECT
SCHOONER RESORT
14550 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA
WEST ELEVATION (REAR)

| NO. | DATE | DESCRIPTION |
|-----|------------|-------------------------------|
| △ | 11/18/2020 | ADJUSTMENTS PER CITY COMMENTS |
| | 04/05/2021 | REVISIONS TO SITE DATA TABLE |
| | 07/02/2021 | REVISIONS PER CITY COMMENTS |
| | 11/04/2021 | CITY SUBMITTAL |

DRAWN BY TT-AT-JB-CS
UPDATED ON Nov. 16, 21
DATE OCT - 2018
JOB PROJECT # 2018-029
SHEET # A-5.3



PARKING GARAGE - GULF BLVD ELEVATION

1 WEST ELEVATION (EAST BUILDING)
A-5.4 SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

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JOHN A. BODZIAK, INC. - ARCHITECT
 COMPLETE CONTRACTS AND OTHER PROPERTY RIGHTS ARE RESERVED AND WILL REMAIN THE PROPERTY OF JOHN A. BODZIAK, INC. AND SHALL NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JOHN A. BODZIAK, INC. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROPRIATE CONTRIBUTION TO THE PROJECT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND SERVICES AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROPRIATE CONTRIBUTION TO THE PROJECT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND SERVICES AT ALL TIMES.

| NO. | DATE | DESCRIPTION |
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| | 11/16/2021 | SUBMITTAL PER CITY COMMENTS |

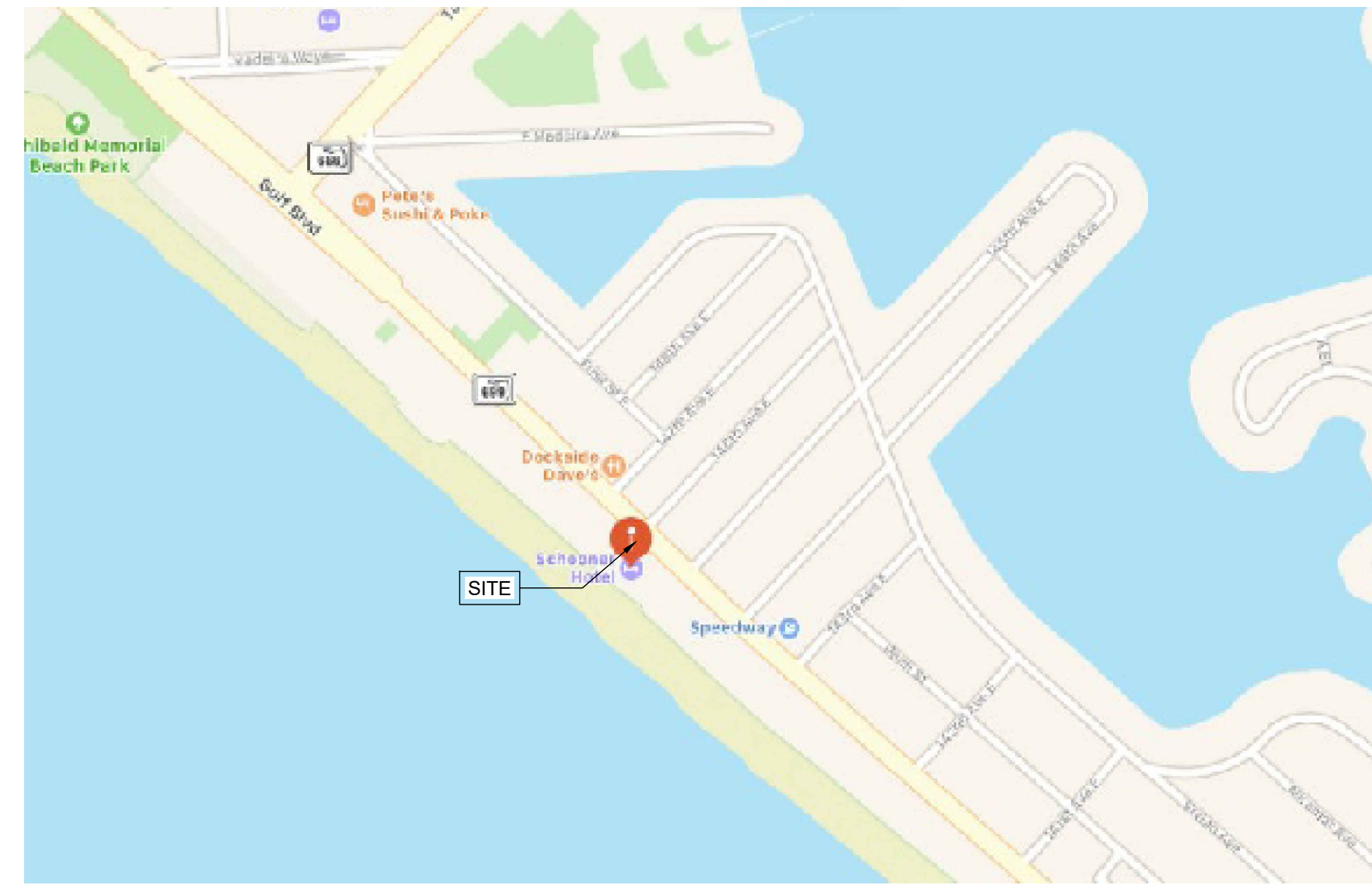
PROJECT
SCHOONER RESORT
 14500 - 14550 GULF BOULEVARD
 MADEIRA BEACH, FLORIDA
 WEST ELEVATION (EAST BUILDING)

JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005065
 EMAIL: JACK@JABODZIAK.COM
 743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
 TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY TT-AT-JB-CS
 UPDATED ON Nov. 16, 21
 DATE OCT - 2018
 JOB PROJECT # 2018-029
 SHEET # A-5.4

SCHOONER HOTEL

SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST
PINELLAS COUNTY, FLORIDA



LOCATION MAP

LEGAL DESCRIPTION:

LOTS 1, 2, 71, 72, 73, AND 74, SUNNY SHORES, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

AND

LOT 3, TOGETHER WITH ALL LAND LYING BETWEEN THE SAID LOT 3 AND THE WATERS OF THE GULF OF MEXICO, SUNNY SHORES, ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

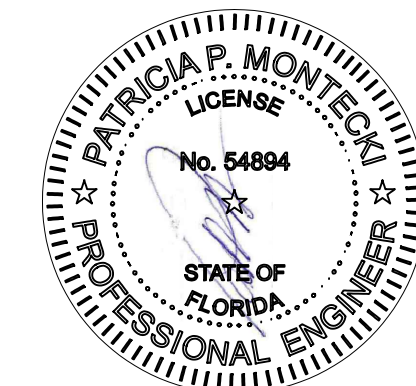
AND

LOTS 1, 2, 3, AND 4, MADEIRA SHORES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE 87, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

DRAWING LIST:

| INDEX | INDEX |
|-------|-----------------|
| C-0 | COVER SHEET |
| C-1 | CIVIL SITE PLAN |

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
PATRICIA P. MONTECKI, P.E. ON AUGUST 12, 2021.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.



PRELIMINARY/PERMIT DOCUMENTS

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

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JOHN A. BODZIAK ARCHITECT AIA, PA
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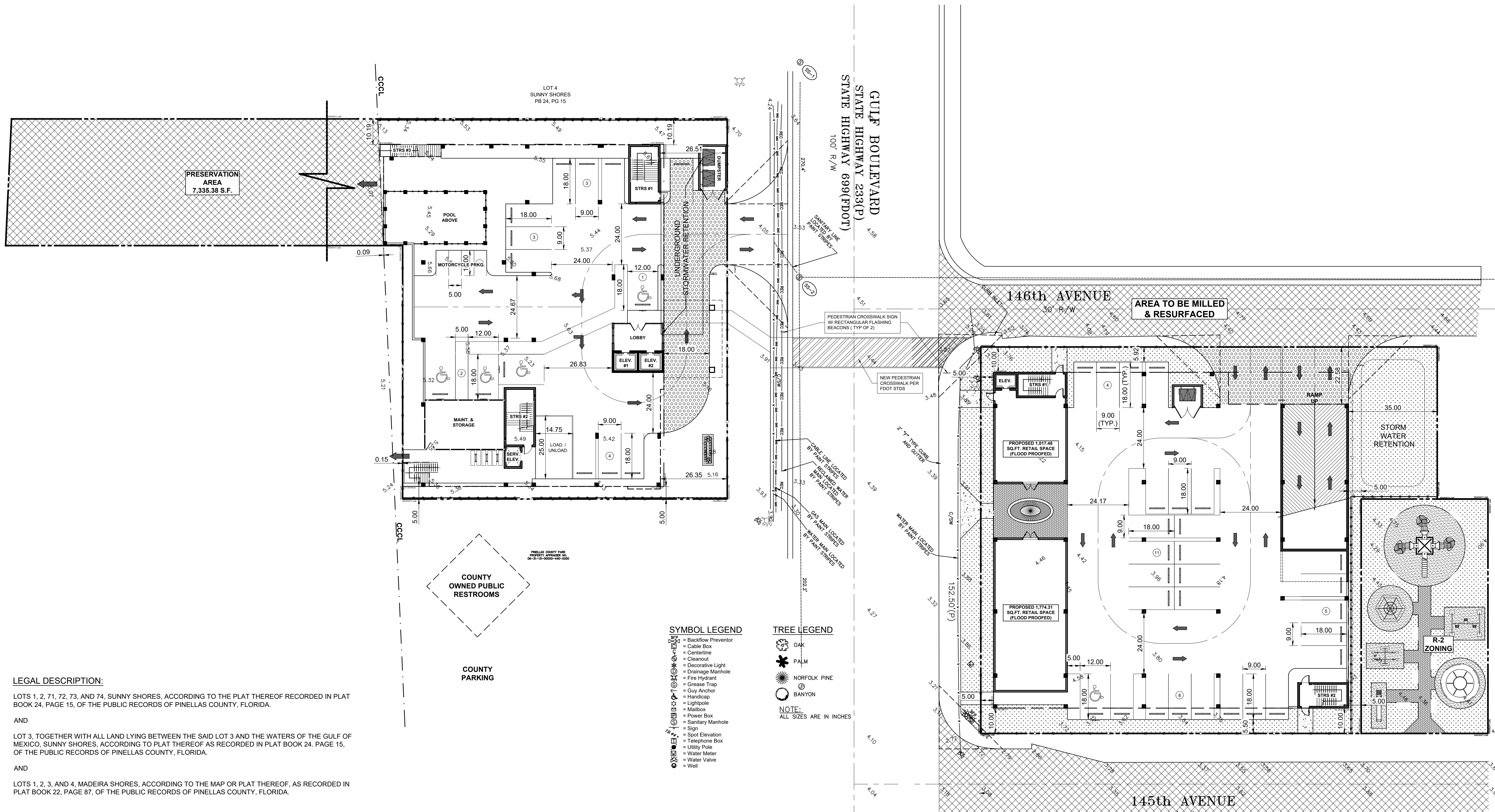
DATE: OCT - 2018
JOB PROJECT #: 2018-029
SHEET #: C-0

REVISIONS

| NO. | DATE | DESCRIPTION |
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| | | |

CLIENT

PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA
COVER SHEET



LEGAL DESCRIPTION:
 LOTS 1, 2, 71, 72, 73, AND 74, SUNNY SHORES, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
 AND
 LOT 3, TOGETHER WITH ALL LAND LYING BETWEEN THE SAID LOT 3 AND THE WATERS OF THE GULF OF MEXICO, SUNNY SHORES, ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
 AND
 LOTS 1, 2, 3, AND 4, MADEIRA SHORES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE 87, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

- SYMBOL LEGEND**
- ⊠ = Backflow Preventor
 - ⊞ = Cable Box
 - = Centerline
 - ⊞ = Cleanout
 - ⊞ = Decorative Light
 - ⊞ = Drainage Manhole
 - ⊞ = Fire Hydrant
 - ⊞ = Grease Trap
 - ⊞ = Guy Anchor
 - ⊞ = Handicap
 - ⊞ = Lightpole
 - ⊞ = Mailbox
 - ⊞ = Power Box
 - ⊞ = Sanitary Manhole
 - ⊞ = Sign
 - ⊞ = Spot Elevation
 - ⊞ = Telephone Box
 - ⊞ = Utility Pole
 - ⊞ = Water Meter
 - ⊞ = Water Valve
 - ⊞ = Well
- TREE LEGEND**
- ⊞ = OAK
 - ⊞ = PALM
 - ⊞ = NORFOLK PINE
 - ⊞ = BANYON
- NOTE:**
 ALL SIZES ARE IN INCHES



DRAINAGE REQUIREMENTS:

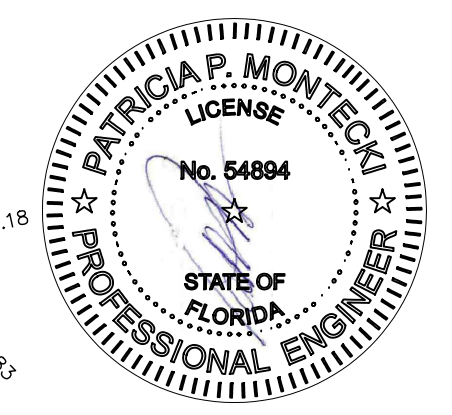
WEST (BLDG. 1):
 CITY REQ. 1" OVER IMPERVIOUS = 1/4" X 16,805 SF = 1,400 CF
 SWFWMD REQ. 3/4" OVER SITE = 75/12 X 19200 = 1,200 CF, USE 1,400 CF

EAST (BLDG. 2):
 CITY REQ. 1/2" X 27,049 SF = 2,254 CF
 SWFWMD REQ.: 75/12 X 29,300 SF = 1,831 CF, USE 2,254 CF

STORMWATER QUALITY VOLUME TO BE TREATED/STORED IN RETENTION POND AND/OR INFILTRATION SYSTEM LOCATED ON GRADE.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
 PATRICIA P. MONTECKI, P.E. ON AUGUST 12, 2021.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
 AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY
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PROJECT
SCHOONER RESORT
 14500 - 14550 GULF BOULEVARD
 MADEIRA BEACH, FLORIDA

CIVIL SITE PLAN

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

DRAWN BY
 UPDATED ON Nov. 16, 21

DATE
 OCT - 2018

JOB PROJECT #
 2018-029

SHEET #
 C-1

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSURE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 55 AND 62, LAWS OF FLORIDA.

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