PROPOSED PROJECT FOR:

SCHOONER RESORT

14500-14550 GULF BOULEVARD, MADEIRA BEACH, FLORIDA

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RE-2	RENDERING
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2 OF 2	SURVEY WEST SIDE
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ASP-1.0	ARCHITECTURAL SITE PLAN
ASP-1.1	LANDSCAPE PLAN
ASP-1.2	IRRIGATION PLAN
ASP-1.3	SIGN PLANS
A-1.0	GROUND FLOOR PLAN (GULF FRONT)
A-1.1	2nd FLOOR PLAN (GULF FRONT)
A-1.2	ROOF DECK PLAN (GULF FRONT)
A-1.3	GROUND FLOOR PLAN (EAST SIDE)
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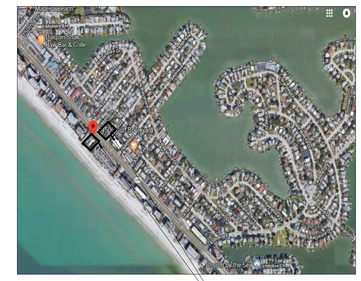
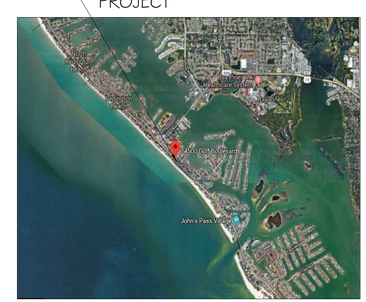
A-5.1	NORTH ELEVATION (WEST BLDG.)
A-5.2	SOUTH ELEVATION (WEST BLDG.)
A-5.3	WEST ELEVATION (WEST BLDG.)
A-5.4	WEST ELEVATION (EAST BLDG.)
C-0	CIVIL - COVER SHEET
C-1	CIVIL - PRELIMINARY SITE PLAN



LOCATION MAP

LOCATION OF PROJECT

NORTH



VICINITY MAP

JOHN A. BODZIAK
AIA, ARCHITECT, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
743 49th STREET NORTH
SAINT PETERSBURG, FLORIDA 33710
TEL: (727)327-1966 FAX: (727)826-0968
EMAIL: JACK@JABODZIAK.COM

CIVIL ENGINEER:
MONTECKI ASSOCIATES,
PATRICIA P. MONTECKI

STRUCTURAL ENGINEER:
STM ENGINEERING, P.A.
Scott Martinez, PE
727.421.1294
stmengineering.scott@gmail.com

LEGAL DESCRIPTION:

LOTS 1, 2, 71, 72, 73, AND 74, SUNNY SHORES, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

AND

LOT 3, SUNNY SHORES, AS RECORDED IN PLAT BOOK 24, PAGE 15 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, ALSO KNOWN AS BEACH PLAZA APARTMENT MOTEL CONDO UNITS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 and 14 INCLUSIVE BEACH PLAZA APARTMENT MOTEL CONDO, BEACH PLAZA APARTMENT MOTEL CONDO (COMMON ELEMENTS). ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 86, PAGE 93, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

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LOTS 1, 2, 3, AND 4, MADEIRA SHORES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE 87, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

JOHN A. BODZIAK & ASSOC. INC., HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGN. THESE PLANS AND SPECIFICATIONS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JOHN A. BODZIAK & ASSOC. INC. IN ADDITION, JOHN A. BODZIAK & ASSOC. INC. PRETTIES DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS. DETAILED DRAWINGS SHALL TAKE PRECEDENCE OVER LARGER SCALE DRAWINGS. JOHN A. BODZIAK & ASSOC. INC. SHALL BE RESPONSIBLE FOR DIMENSIONS SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS ON THE JOB SITE AND REPORT ANY VARIATION FROM THE DIMENSIONS, CONDITIONS AND SPECI- FICATIONS SHOWN ON THESE PLANS.

REVISIONS		
NO.	DATE	DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

CLIENT

PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA
COVER PAGE

SEAL

JOHN A. BODZIAK
ARCHITECT AIA, PA
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TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY	TT-AT-JB-CS
UPDATED ON	Dec. 16, 21
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	CO

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

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SHEET # RE-1

JAB PROJECT # 2018-029

DATE OCT - 2018

UPDATED ON Dec. 16, 21

DRAWN BY TT-AT-JB-CS

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SEAL

PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

RENDERING

CLIENT

REVISIONS

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SHEET # RE-2

JAB PROJECT # 2018-029

DATE OCT - 2018

UPDATED ON Dec. 16, 21

DRAWN BY TT-AT-JB-CS

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SEAL

PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

RENDERING

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NOTE THAT THIS DRAWING MAY HAVE BEEN ALTERED IN SCALE BY REPRODUCTION

W.O. 5686

BOUNDARY AND TOPOGRAPHIC SURVEY

SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST
PINELLAS COUNTY, FLORIDA

LEGAL DESCRIPTION:

LOTS 1, 2, 71, 72, 73, AND 74, SUNNY SHORES, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

AND

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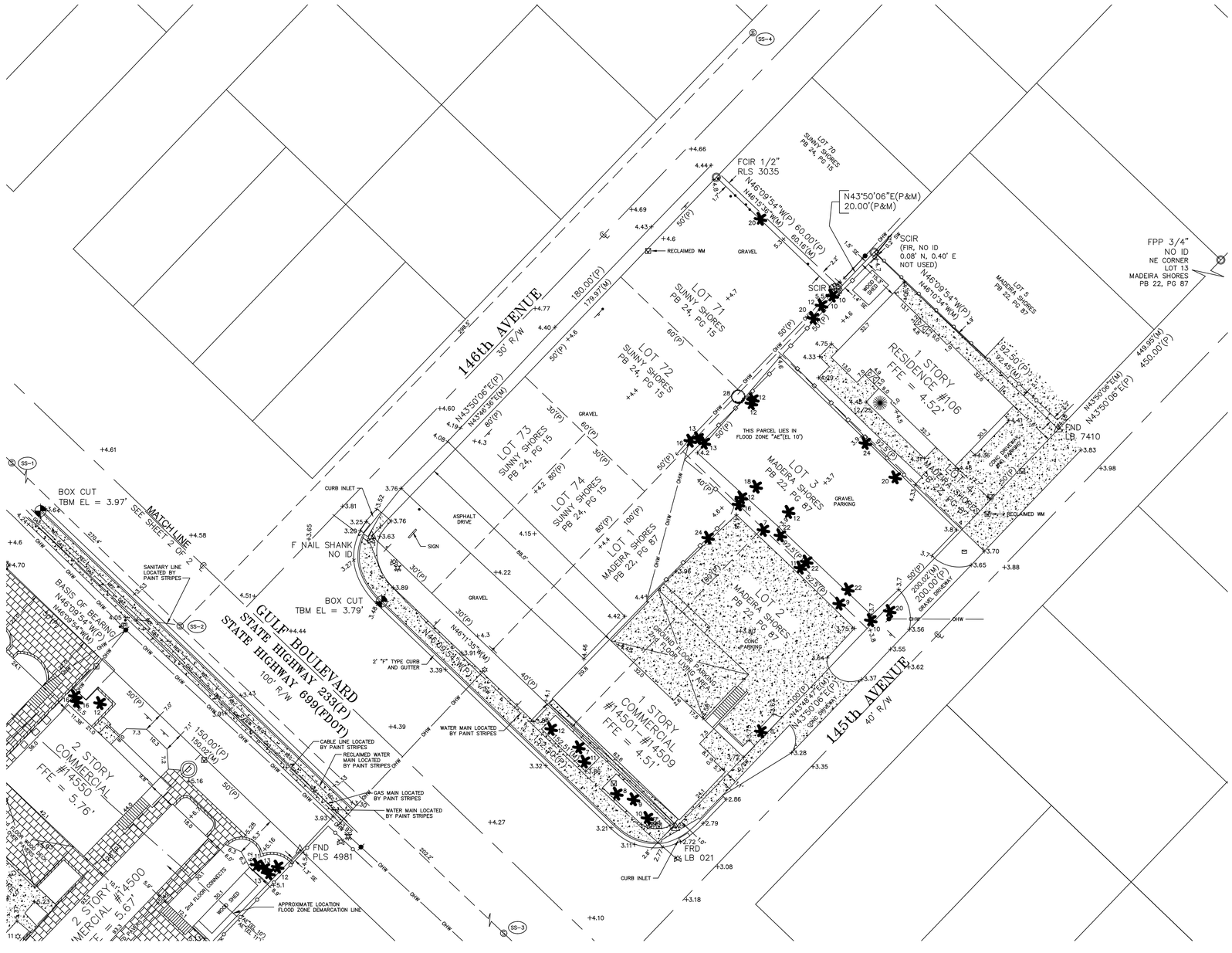

SURVEY NOTES:

1. THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF:

A TITLE COMMITMENT ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. FTPA15-16038, EFFECTIVE DATE: SEPTEMBER 1, 2015 AT 11:00 PM. PERTAINS TO LOT 4, MADEIRA SHORES ONLY.

AND

A TITLE COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FILE REFERENCE: 019673-00000B, EFFECTIVE DATE: 03/14/14 11:00 PM. PERTAINS TO LOTS 1, 2, 71, 72, 73, AND 74, SUNNY SHORES ONLY.

NO DOCUMENTS REFERENCED BY THESE COMMITMENTS WERE PROVIDED TO THIS SURVEYOR.

2. PLANIMETRIC FEATURES SHOWN HEREON WERE DETERMINED BY STANDARD FIELD SURVEYING METHODS.

3. BEARING BASIS IS THE SOUTHWESTERLY RIGHT-OF-WAY OF GULF BOULEVARD BEING N46°09'54"W PER PLAT.

4. ALL INSTRUMENTS SHOWN HEREON ARE OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, UNLESS OTHERWISE SPECIFIED.

5. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SURFACE MARKINGS AND OR STRUCTURES. NO EXCAVATION WAS PERFORMED FOR THE LOCATION OF SUCH UTILITIES.

6. ADDITIONS OR DELETIONS TO THIS SURVEY MAP AND/OR REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

7. THIS PARCEL APPEARS TO BE IN FLOOD ZONES "AE"(EL 10 FEET), "AE"(EL 11 FEET), "VE"(EL 12 FEET) AND "VE"(EL 13 FEET) ACCORDING TO THE FLOOD INSURANCE RATE MAP, MAP NUMBER: 12103C0191H, MAP EFFECTIVE DATE: 08/24/2021, AS PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

THIS MAP'S NOTES STATE THAT THE BASE FLOOD ELEVATIONS SHOWN REPRESENT ROUNDED WHOLE-FOOT ELEVATIONS AND THEREFORE MAY NOT EXACTLY REFLECT THE FLOOD ELEVATION DATA PRESENTED IN THE FLOOD INSURANCE STUDY (FIS) REPORT. THE FIS REPORT WAS NOT CONSULTED FOR THIS SURVEY.

FLOOD ZONE LINES SHOWN HEREON WERE TRANSFERRED BY GRAPHIC METHODS FROM THE FLOOD ZONE MAP, AND ARE SUBJECT TO THE INHERENT INACCURACIES OF SUCH TRANSFERS. THESE FLOOD ZONE LINES ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY, AND ANY PROPOSED FINISHED FLOOR ELEVATIONS ARE TO BE DETERMINED BY THE PERMITTING AGENCY HAVING JURISDICTION.

8. AS THE FLOOD ZONE "AE" (EL 11') SHOWN HEREON IS LANDWARD OF A COASTAL HIGH HAZARD AREA (V ZONE), IT IS CONSIDERED A COASTAL A ZONE.

9. LOCATIONS OF TREES SHOWN HEREON WERE LIMITED TO TREES 4" DIAMETER AT BREAST HEIGHT (DBH) OR LARGER.

10. GEODATA SERVICES INC. CAN ACCEPT NO RESPONSIBILITY FOR THE IDENTIFICATION OF THE TREE SPECIES SHOWN HEREON. ALTHOUGH EVERY EFFORT HAS BEEN MADE TO PROPERLY IDENTIFY THE TREES SHOWN HEREON, TREE IDENTIFICATION IS OUTSIDE THE EXPERTISE OF A PROFESSIONAL LAND SURVEYOR. THE TREE TYPES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE USED AFTER CONFIRMATION BY A CERTIFIED ARBORIST OR OTHER SUCH PROFESSIONAL.

11. THE MEAN HIGH WATER LINE ELEVATION SHOWN HEREON IS BASED UPON TIDE INTERPOLATION POINTS ID:100112, AND ID:100113, AS PUBLISHED BY THE LAND BOUNDARY INFORMATION SYSTEM OF THE STATE OF FLORIDA.

12. ELEVATION BASIS: NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88). BENCHMARK UTILIZED: DNR "15-90-DA-25A", WITH AN ELEVATION OF 4.28 FEET.

SYMBOL LEGEND

- = Backflow Preventor
- = Cable Box
- = Centerline
- = Cleanout
- = Decorative Light
- = Drainage Manhole
- = Fire Hydrant
- = Grease Trap
- = Guy Anchor
- = Handicap
- = Lightpole
- = Mailbox
- = Power Box
- = Sanitary Manhole
- = Sign
- = Spot Elevation
- = Telephone Box
- = Utility Pole
- = Water Meter
- = Water Valve
- = Well

TREE LEGEND

- OAK
- PALM
- NORFOLK PINE
- BANYON

NOTE:
ALL SIZES ARE IN INCHES

LEGEND

(C)	= Calculated Data
(D)	= Data per Description
(F)	= Field Determined
(M)	= Measured Data
(P)	= Data per Plat
+ / -	= Plus or Minus
A/C	= Air Conditioner
BW/F	= Barbwire Fence
BFE	= Base Flood Elevation
BFP	= Backflow Preventor
CB	= Chord Bearing
CH	= Chord
C.A.B.	= Condominium Plat Book
C/C	= Covered Concrete
C/S	= Concrete Slab
C/SW	= Concrete Sidewalk
CCCL	= Coastal Construction Control Line
CL	= Centerline
CLF	= Chainlink Fence
COV.	= Covered
CLP	= Concrete Light Pole
CMP	= Corrugated Metal Pipe
CONC.	= Concrete
Δ	= Delta Angle
D.B.	= Deed Book
D/W	= Driveway
DMH	= Drainage Manhole
E/P	= Edge of Pavement
EL	= Elevation
EOW	= Edge of Water
F	= Found
FCIR	= Found Iron Rod & Cap
FCM	= Found Concrete Monument
FDOT	= Florida Department of Transportation
FFE	= Finished Floor Elevation
FIP	= Found Iron Pipe
FIR	= Found Iron Rod No Cap
FMN	= Found Mag Nail
FND	= Found Nail & Disk
FPP	= Found Pinched Pipe
FRD	= Found Rivet & Disk
G.I.	= Grate Inlet
GV	= Gate Valve
HYD	= Fire Hydrant
I.E.	= Invert Elevation
LB	= Corporate Certificate Number
LP	= Light Pole
LFE	= Lowest Floor Elevation
M.O.L.	= More or Less
MES	= Mitered End Section
N&D	= Nail & Disk
NFNS	= Not Found and Not Set
OCS	= Outfall Control Structure
OHW	= Overhead Wire
O.R.	= Official Records Book
P.B.	= Plat Book
PCP	= Permanent Control Point
PG(s)	= Page(s)
PLS	= Professional Land Surveyor
POB	= Point of Beginning
POC	= Point of Commencement
PRC	= Point of Reverse Curvature
PRM	= Permanent Reference Monument
R	= Radius
RGE	= Range
R/W	= Right-of-way
RCP	= Reinforced Concrete Pipe
SCM	= Set Concrete Monument PLS #2865
SCIR	= Set Iron Rod & Cap 5/8" PLS #2865
SMH	= Sanitary Manhole
SMN	= Set Mag Nail
SND	= Set Nail & Disc PLS #2865
TBM	= Temporary Benchmark
TOB	= Top of Bank
TOS	= Toe of Slope
TWP	= Township
TYP	= Typical
UB	= Utility Box
UP	= Utility Pole
V/F	= Vinyl Fence
W/F	= Wood Fence
WM	= Water Meter
W.O.	= Work Order
WV	= Water Valve

LINE LEGEND

- = Boundary Lines
- = Water Line
- = Telephone Line
- = Gas Line
- = Sanitary Sewer Line
- = Storm Sewer Line
- = Overhead Wire Lines
- = Fence - Wire
- = Fence - Chain Link
- = Fence - Vinyl
- = Fence - Wood
- = Reclaimed Water Main

SURVEYOR'S CERTIFICATION:

I, DENNIS J. EYRE, THE SURVEYOR IN RESPONSIBLE CHARGE, HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON AND THAT SAID ABOVE GROUND SURVEY AND SKETCH ARE ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. SURVEY NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, OR ELECTRONIC DIGITAL SIGNATURE IN ACCORDANCE WITH STATE OF FLORIDA ADMINISTRATIVE CODE RULE 5J-17.062.

DENNIS J. EYRE, P.L.S. FLA. REG. No. 2865
DATE: NOVEMBER 1, 2021

THIS SURVEY CONSISTS OF 2 SHEETS, IT IS NOT FULL, OR COMPLETE, WITHOUT BOTH SHEETS.
AN UNSIGNED SURVEY DRAWING IS FOR INFORMATIONAL PURPOSES ONLY.

W.O. # 5686	FIELD DATE: OCTOBER 3, 2018
DRAWN BY: E.J., P.T.	REVISED FLOOD ZONE DATE: NOVEMBER 1, 2021
CHECKED BY: D.J.E.	
SCALE: 1"= 20'	
FIELD BOOK / PAGE(S): 7-17/72-76	
SHEET 1 OF 2	

GEODATA SERVICES INC.
1166 KAPP DRIVE
CLEARWATER, FL 33765
PHONE: (727) 447-1763
LB 7466

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SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST
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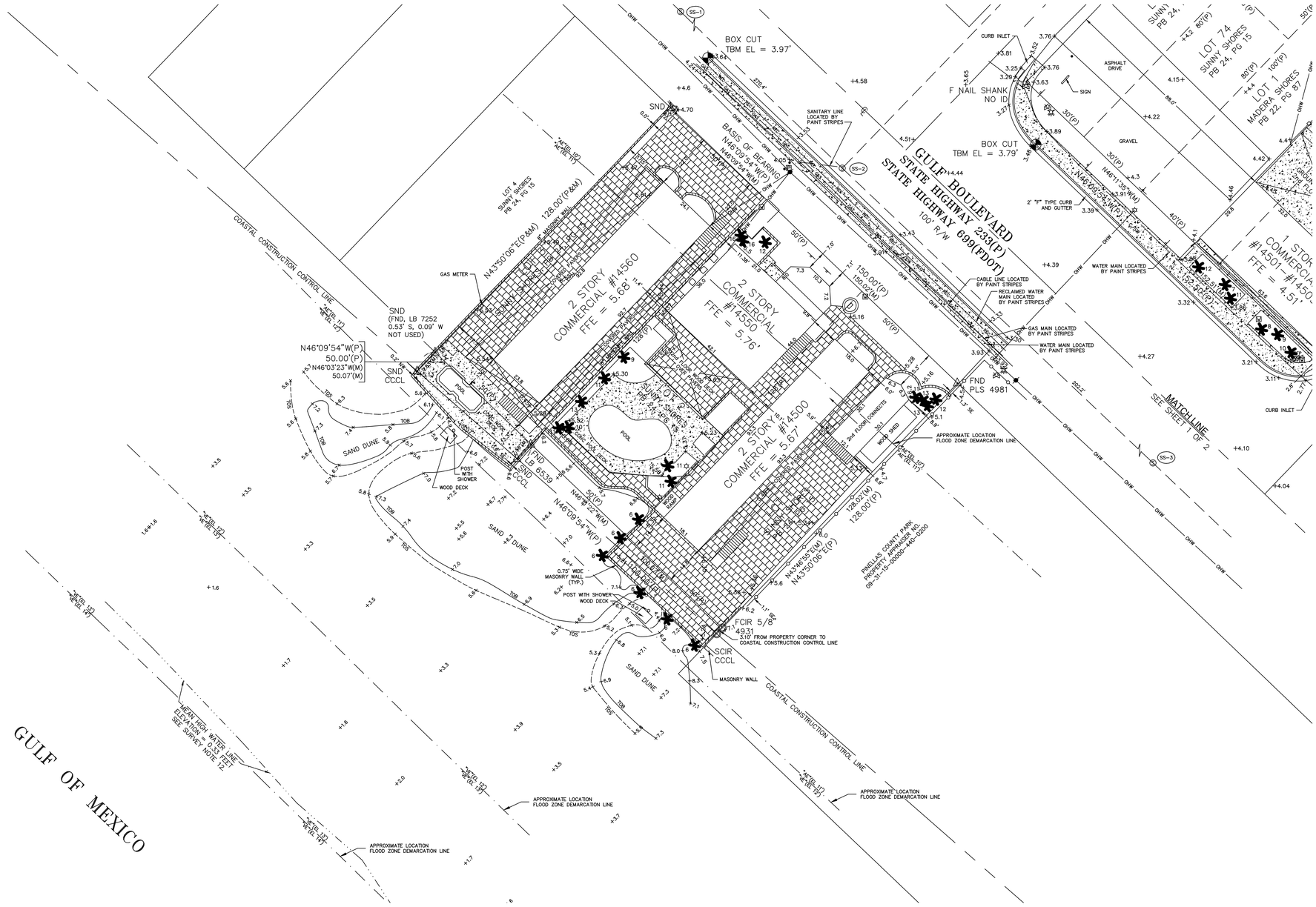

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SHEET 2 OF 2	

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LB 7466

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NOTE THAT THIS DRAWING MAY HAVE BEEN ALTERED IN SIZE BY REPRODUCTION.

DEMOLITION NOTES:

1. IN COMPANY WITH THE OWNER, VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED.

   1.1) CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.

   1.2) MARK INTERFACE SURFACES AS REQUIRED TO ENABLE WORKMEN ALSO TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE.

2. SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING PUBLIC UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC AGENCY OR UTILITY HAVING JURISDICTION.

3. COMPLETELY REMOVE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.

4. IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.

5. ALL DEMOLISHED MATERIAL SHALL BE CONSIDERED TO BE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE. (CLEAN AND REUSE EXISTING SPEAKERS AND REMOTE)

6. IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.

7. ASBESTOS AND HAZARDOUS MATERIALS DEMOLITION OR REMOVAL WORK IS NOT PART OF THIS CONTRACT.

8. THE DEMOLITION WORK IS NOT LIMITED TO DEMOLITION ITEMS LISTED OR SPECIFICALLY IDENTIFIED ON THE CONSTRUCTION DOCUMENTS, BUT SHALL INCLUDE THOSE ITEMS NECESSARY FOR A FINISHED AND COMPLETE PROJECT.

9. GENERAL CONTRACTOR TO INCLUDE ALL INTERIOR AND EXTERIOR PATCHING, REPAIRING AND PAINTING TO PROVIDE A PROFESSIONAL AND COMPLETELY FINISHED PROJECT ACCEPTABLE TO THE OWNER

TREE TO BE REMOVED

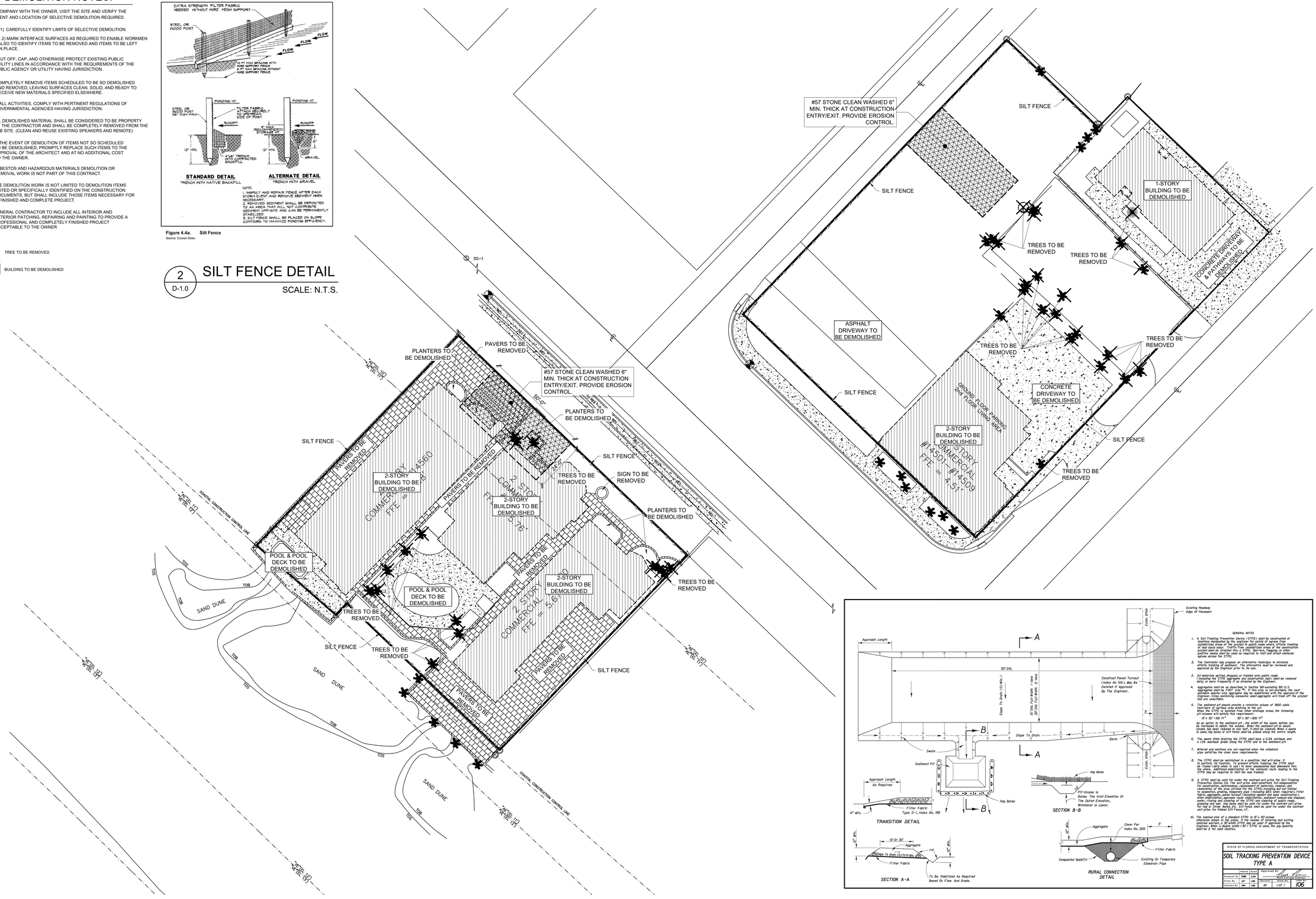
BUILDING TO BE DEMOLISHED

CHAPTER 4: BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENTATION CONTROL

Figure 4.4a. Silt Fence
Source: Erosion Draw

2 / D-1.0 SILT FENCE DETAIL

SCALE: N.T.S.



1 / D-1.0 DEMOLITION PLAN

SCALE: 1" = 20'-0"

2 / D-1.0 SOIL TRACKING PREVENTION DEVICE TYPE A

SCALE: N.T.S.

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

NO.	DATE	REVISIONS DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

JOHN A. BODZIAK AIC, INC., HERBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS, IDEAS AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JOHN A. BODZIAK AIC, INC. ADDITIONALLY, JOHN A. BODZIAK AIC, INC. PERMITTED DIMENSIONS SHALL PREVAIL OVER SCALED DIMENSIONS. DETAILED DIMENSIONS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO JOHN A. BODZIAK AIC, INC. WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALED DIMENSIONS. DETAILED DIMENSIONS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO JOHN A. BODZIAK AIC, INC. AS NOTED IN ABSENCE OF ANY VARIATION FROM THE DIMENSIONS, CONDITIONS AND SPECI-FICATIONS SHOWN ON THESE PLANS.

PROJECT

SCHOONER RESORT

14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

DEMOLITION PLAN

CLIENT

SEAL

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@JABODZIAK.COM
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CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

DRAWN BY	TT-AT-JB-CS
UPDATED ON	Dec. 16, 21
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	D-1.0

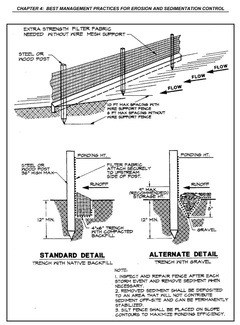
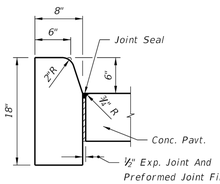


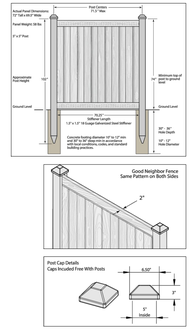
Figure 4.4a. Silt Fence
Source: Erosion Draw

2 ASP-1.0 SILT FENCE DETAIL
SCALE: N.T.S.

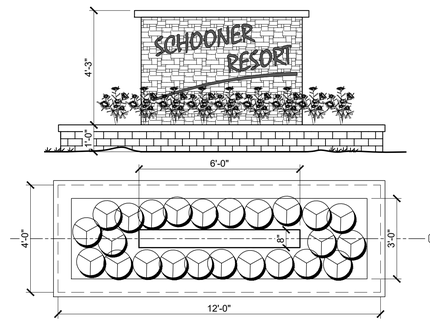
3 ASP-1.0 BIKE RACK DETAIL
SCALE: N.T.S.



4 ASP-1.0 FDOT CONCRETE CURB TYPE "D" DETAIL
SCALE: 1"=1'-0"



5 ASP-1.0 6'-0" HIGH VINYL FENCE DETAIL
SCALE: N.T.S.



6 ASP-1.0 SIGN MONUMENT DETAIL
SCALE: 3/8" = 1'-0"

SITE DATA TABLE:								
CATEGORY	ALLOWABLE	EXISTING (WEST LOT)	EXISTING (EAST LOT)	EXISTING (EAST LOT)	PROPOSED (WEST LOT)	PROPOSED (EAST LOT)	TOTAL PROPOSED (WEST LOT + EAST LOT)
ZONING	R-2 / R-3 / C-3 / PD	R-3 OR PD	R-2 OR PD	C-3 OR PD	PD	PD	PD
FUTURE LAND USE DISTRICT	LOW & MEDIUM DENSITY MULTI/FAMILY RESIDENTIAL / RETAIL COMMERCIAL	RESORT FACILITIES MEDIUM	RESIDENTIAL MEDIUM	RESIDENTIAL / OFFICE / RETAIL	RFM	ROR / RM	RFM / ROR / RM
SETBACKS	FRONT: R-2 = 20'-0" / R-3 = 25'-0" / C-3 = 25'-0" REAR: R-2 = 25'-0" / R-3 = 25'-0" / C-3 = 18'-0" SIDE ONE: R-2 = 20'-0" BOTH SIDES / R-3 =10'-0" / C-3 = 10'-0" SIDE TWO: R-2 = 20'-0" BOTH SIDES / R-3 =8'-0" / C-3 = 10'-0"	EAST: 7'-0" WEST FROM COCL: 18.7' NORTH: 17.5' SOUTH: 8.9'	EAST: Total = 20'-0 (with a minimum of 9'-0" on each side) WEST: Total = 20'-0 (with a minimum of 9'-0" on each side) NORTH: 26'-0" SOUTH: 20'-0"	EAST: 164.6' WEST: 2.2' NORTH: 88.0' SOUTH: 1.1'	FRONT (EAST): 26'-4" REAR FROM COCL (WEST): 1" SIDE (NORTH): 10'-2" SIDE (SOUTH): 10'-0"	EAST: 32'-0" WEST: 5'-0" NORTH: 10'-0" SOUTH: 10'-0"	-
B.F.E.	-	CAZ, AE-11, VE-12	AE-10	AE-10	CAZ, AE-11, VE-12	AE-10	WEST LOT = AE 11.0 + 4'-0" OF FREEBOARD EAST LOT = AE 10.0 + 4'-0" OF FREEBOARD CAZ
FINISHED FLOOR ELEVATION	-	5.67', 5.68' & 5.76' NAVD	4.51' & 4.52' NAVD	4.51' & 4.52' NAVD	ENTRY LEVEL = 6'-6" NAVD 1ST HABITABLE FLOOR LEVEL - 17'-0" NAVD	6.0' NAVD (GROUND FLOOR)	-
SITE AREA	49,470 sq. ft.	20,170.00 sq. ft.	4,625.00 sq. ft.	24,675.00 sq. ft.	20,170.00 sq. ft.	29,300.00 sq. ft.	49,470.00 sq. ft.
DENSITY	1.14 acres	0.46 acres	0.11 acres	0.57 acres	0.46 acres	0.67 acres	1.14 acres
BUILDING FOOTPRINT/ COVERAGE	-	31 TEMP UNITS 8,261.68 sq. ft. 45.93%	TRIPLEX N/A N/A	11 UNITS 14,091.36 sq. ft. 20.57%	31 REDEVELOPMENT 14,091.36 sq. ft. 69.86%	3 RES. + 45 UPA (22 UNITS) 17,664.39 sq. ft. 61.28%	53 Units @ 45 UPA + 3 Residential Units = Re-development 32,045.75 sq. ft. 64.76%
BUILDING HEIGHT/ FLOORS	-	BUILDING #1 = 2-STORY (21' TO ROOF TOP) BUILDING #2 = 2-STORY (28' TO ROOF TOP) BUILDING #3 = 2-STORY (21' TO ROOF TOP)	1-STORY (14' TO ROOF TOP)	2-STORY (28' TO ROOF TOP)	95'-6" ABOVE B.F.E. = 4'-0" OF FREEBOARD TO PEAK OF ROOF 71'-4" ABOVE B.F.E. = 4'-0" OF FREEBOARD TO ROOF DECK	PD = 39'-0" ABOVE B.F.E = 4'-0" OF FREEBOARD TO PEAK OF ROOF R-2 = 0'-0"	95'-6" ABOVE B.F.E. = 4'-0" OF FREEBOARD TO PEAK OF ROOF 71'-4" ABOVE B.F.E. = 4'-0" OF FREEBOARD TO ROOF DECK
FLOOR AREA RATIO (FAR)	119% max.	1.19 Max. **58,630.00 sq. ft. Maximum Allowable**	- - -	- - -	- - -	- - -	117% 1.17 58,005.05 sq. ft.
IMPERVIOUS SURFACE RATIO (ISR)	0.70 Max. 70.00% Max.	0.70 Max. - -	- - -	- - -	SEE FAR DATA SHEET 0.74 73.65% 14,854.53 sq. ft.	SEE FAR DATA SHEET 0.59 58.87% 17,248.54 sq. ft.	0.65 64.89% 32,103.07 sq. ft.
PARKING SPACES (P.S.)	TEMPORARY LODGING = 1 PARKING SPACE PER UNIT + 1 PER 5 SJ.F.S. = 11 P.S. **64 P.S.** CONDOMINIUM UNITS = 3 UNITS / 2 P.S. PER UNIT **6 P.S.** RETAIL & SERVICE (2,791.79 S.F.) = 1 P.S. PER 300 S.F. OF G.F.A **10 P.S.** RESTAURANT = 1 P.S. / 4 SEATS x 50% 8 EMPLOYEES x 50% **20 P.S.** CONFERENCE ROOM = 1 P.S. / 6 SEATS x 50% **6 P.S.** ROOF DECK = 1 P.S. / 4 SEAT x 50% 4 EMPLOYEES x 50% **20 P.S.** **TOTAL OF 126 P.S. REQUIRED** BICYCLE CREDIT = UP TO 3 MOTORCYCLE CREDIT = UP TO 4 1 HDCP PARKING SPACE REQUIRED PER 25 PARKING SPACES	16 PARKING SPACES	N/A	73 PARKING SPACES	10 PARKING SPACES (STANDARD P.S. 9'x18') 1 SERVICE PARKING (13'-3" x 18'-0") 4 HDCP PARKING SPACES (STANDARD HDCP: 17'x18') **15 P.S. TOTAL** 6 BICYCLE PARKING SPACES (3 CREDITS) 4 MOTORCYCLE SPACES (STANDARD P.S. 5'x10')	(INCLUDES R-2 LOT) 3 LEVELS OF PARKING 101 PARKING SPACES (STANDARD P.S. 9'x18') 5 PARKING SPACES (COMPACT 9'X16') 5 HDCP PARKING SPACES (STANDARD HDCP: 17'x18') **107 P.S. TOTAL** 1 MOTORCYCLE SPACE (STANDARD P.S. 5'x10') 5 BICYCLE PARKING SPACES (STANDARD P.S. 5'x10') 1 HDCP PARKING SPACES (STANDARD HDCP: 17'x18')	111 PARKING SPACES (STANDARD P.S. 9' x 18') 1 SERVICE PARKING (13'-3" x 18'-0") 5 PARKING SPACES (COMPACT 9'X16') 5 HDCP PARKING SPACES (STANDARD HDCP: 17'x18') **TOTAL OF 122 P.S.** 11 BICYCLE PARKING SPACES = **3 CREDITS (3 P.S.)** 5 MOTORCYCLE SPACES (STANDARD P.S. 5'x10') = **4 CREDITS (4 P.S.)** **129 TOTAL P.S PROVIDED (WITH 7 CREDITS)** (REQ'D 126 P.S.)

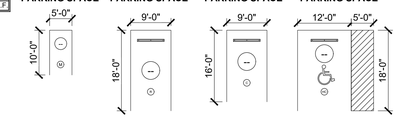
NOTE: REDEVELOPMENT REGULATIONS PRESERVE SIDE & REAR YARD SETBACKS AND DENSITY FRONT YARD NOTED ABOVE.

FAR DATA SHEET				
LOCATION	SITE AREA	MAXIMUM FAR EQUIVALENT	PROPOSED FAR	
EAST LOT / R2 (0.8)	4,625.00 sq. ft.	3,700.00 sq. ft. max.	4,183.04 sq. ft.	
EAST LOT / C3 (1.0 MAX.)	24,675.00 sq. ft.	24,675.00 sq. ft. max.		
WEST LOT / R3 (1.5 MAX.)	20,170.00 sq. ft.	30,255.00 sq. ft. max.	53,822.01 sq. ft.	
TOTAL	**49,470.00 sq. ft.**	**58,630.00 sq. ft. max.**	**58,005.05 sq. ft.**	
		1.19 max.	1.17	

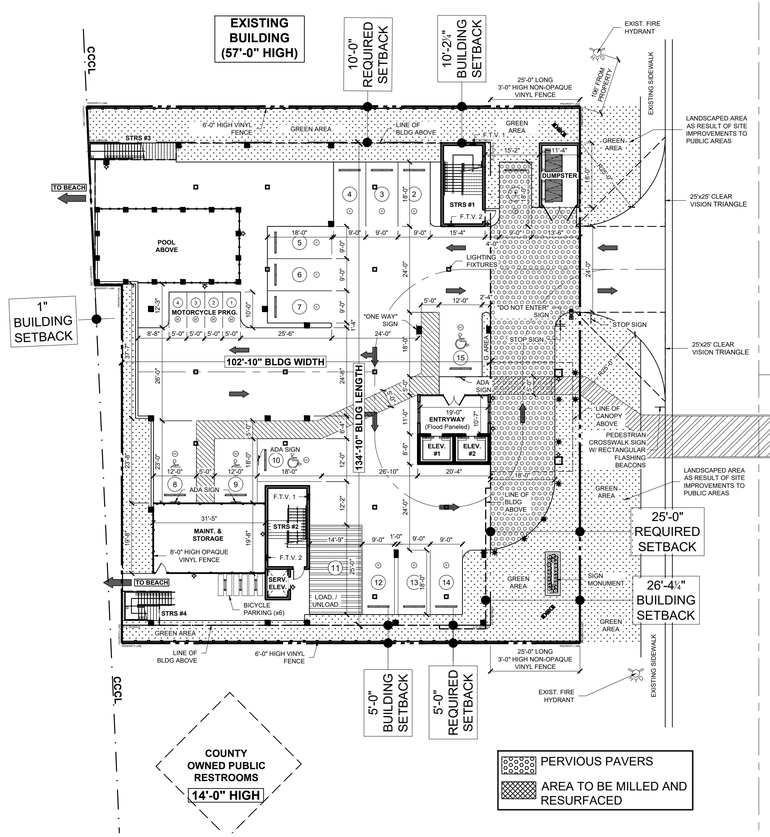
GROSS FLOOR AREA (WEST LOT)	
EXISTING	
NORTH BLDG	6,050.00 S.F.
MIDDLE BLDG	5,259.00 S.F.
SOUTH BLDG	5,296.00 S.F.
TOTAL	16,605.00 S.F.
PROPOSED	
GROUND FLOOR	807.89 S.F.
SECOND FLOOR	7,500.00 S.F.
THIRD FLOOR	9,100.00 S.F.
FOURTH FLOOR	9,100.00 S.F.
FIFTH FLOOR	9,100.00 S.F.
SIXTH FLOOR	9,100.00 S.F.
SEVENTH FLOOR	9,100.00 S.F.
ROOF DECK	1,369.46 S.F.
TOTAL	55,177.35 S.F.

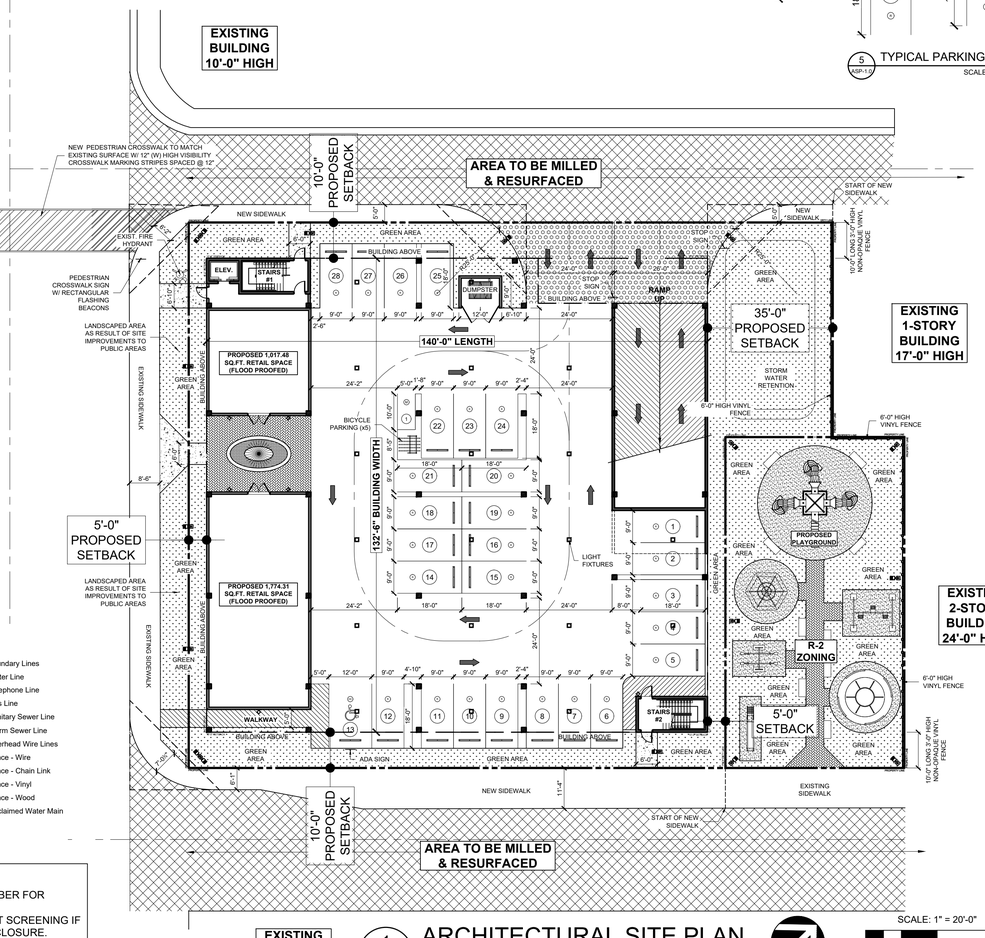
GROSS FLOOR AREA (EAST LOT)	
EXISTING	
BLDG #1 (FRONT)	4,928.00 S.F.
BLDG #2 (REAR)	1,796.00 S.F.
TOTAL	6,724.00 S.F.
PROPOSED	
GROUND FLOOR	3,255.54 S.F.
SECOND FLOOR	463.75 S.F.
THIRD FLOOR	463.75 S.F.
TOTAL	4,183.04 S.F.

PAVING AREA		
LOCATION	EXISTING SQ. FT.	PROPOSED SQ.FT.
WEST SIDE	964.25 S.F.	9,907.42 S.F.
EAST SIDE	1,947.10 S.F.	13,610.76 S.F.
TOTAL	**2,911.35 S.F.**	**23,518.18 S.F.**



5 ASP-1.0 TYPICAL PARKING SPACES
SCALE: 1/16" = 1'-0"





1 ASP-1.0 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

NORTH

SCALE: 1" = 20'-0"
20 10 0 20
GRAPHIC SCALE (IN FEET)

LEGAL DESCRIPTION:

LOTS 1, 2, 71, 72, 73, AND 74, SUNNY SHORES, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

AND

LOT 3, SUNNY SHORES, AS RECORDED IN PLAT BOOK 24, PAGE 15 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, ALSO KNOWN AS BEACH PLAZA APARTMENT MOTEL CONDO UNITS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 and 14 INCLUSIVE BEACH PLAZA APARTMENT MOTEL CONDO, BEACH PLAZA APARTMENT MOTEL CONDO (COMMON ELEMENTS), ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 86, PAGE 93, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

AND

LOTS 1, 2, 3, AND 4, MADEIRA SHORES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE 87, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

LIGHTING LEGEND

- LED CANOPY LED FIXTURE WITH REQUIRED MOUNTING HARDWARE
- EXTERIOR DOWN LIGHT WALL SCONCE WITH REQUIRED MOUNTING HARDWARE
- BOLLARD LIGHT (LED)
- LIGHT POLE LED (SINGLE LAMP)
- LIGHT POLE LED (DOUBLE LAMP)

NOTES:

1. ALL LIGHTING TO BE PROPERLY "TURTLE" SHIELDED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL STATUTES PER SECTION 110-506 - LIGHTING IN BEACH AREA.
2. ALL LIGHTS TO BE LED TECHNOLOGY.

SIGNAGE NOTES:

1. ALL SIGNAGE TO BE CONFORMED WITH THE CODE OF ORDINANCES OF MADEIRA BEACH, PART II, CHAPTER 102 - SIGNS, SEC. 102-1 THRU 102-96.

LEGEND

(C)	= Calculated Data	F	= FOUND	PLS	= Professional Land Surveyor
(D)	= Data per Description	FCIR	= FOUND IRON ROD & CAP	POB	= Point of Beginning
(F)	= Field Determined	FCM	= FOUND CONCRETE MONUMENT	POC	= Point of Commencement
(M)	= Measured Data	FDOT	= FLORIDA DEPARTMENT OF TRANSPORTATION	PRC	= Point of Reverse Curvature
(P)	= Data per Plat	FFE	= FINISHED FLOOR ELEVATION	PRM	= Permanent Reference Monument
+ / -	= Plus or Minus	FIP	= FOUND IRON PIPE	R	= Radius
A/C	= Air Conditioner	FIR	= FOUND IRON ROD NO CAP	RGE	= Range
BWF	= Barbwire Fence	FMN	= FOUND MAG NAIL	R/W	= Right-of-way
BFE	= Base Flood Elevation	FND	= FOUND NAIL & DISK	RCP	= Reinforced Concrete Pipe
BFP	= Backflow Preventor	FPP	= FOUND PINCHED PIPE	SCM	= Set Concrete Monument PLS #2865
CB	= Chord Bearing	FRD	= FOUND RIVET & DISK	SCIR	= Set Iron Rod & Cap 5/8" PLS #2865
CH	= Chord	F.T.V.	= FLOOD THRU VENT	SMH	= Sanitary Manhole
C.A.B.	= Condominium Plat Book	G.I.	= GRATE INLET	SMN	= Set Mag Nail
C/C	= Covered Concrete	GV	= GATE VALVE	SND	= Set Nail & Disc PLS #2865
C/S	= Concrete Slab	HYD	= FIRE HYDRANT	TBM	= Temporary Benchmark
C/SW	= Concrete Sidewalk	I.E.	= INVERT ELEVATION	TOB	= Top of Bank
CCCL	= Coastal Construction Control Line	LB	= CORPORATE CERTIFICATE NUMBER	TOS	= Toe of Slope
CL	= Centerline	LP	= LIGHT POLE	TWP	= Township
CLF	= Chainlink Fence	LFE	= LOWEST FLOOR ELEVATION	TYP	= Typical
COV.	= Covered	M.O.L.	= MORE OR LESS	UB	= Utility Box
CLP	= Concrete Light Pole	MTRCL	= MOTORCYCLE	UP	= Utility Pole
CMP	= Corrugated Metal Pipe	MES	= MITERED END SECTION	V/F	= Vinyl Fence
CONC.	= Concrete	N&D	= NAIL & DISK	W/F	= Wood Fence
Δ	= Delta Angle	NFNS	= NOT FOUND AND NOT SET	WM	= Water Meter
D.B.	= Deed Book	OCS	= OUTFALL CONTROL STRUCTURE	W.O.	= Work Order
D/W	= Driveway	OHW	= OVERHEAD WIRE	WV	= Water Valve
DMH	= Drainage Manhole	O.R.	= OFFICIAL RECORDS BOOK		
E/P	= Edge of Pavement	P.B.	= PLAT BOOK		
EL	= Elevation	PCP	= PERMANENT CONTROL POINT		
EOW	= Edge of Water	PG(S)	= PAGE(S)		

SYMBOL LEGEND

- = Backflow Preventor
- = Cable Box
- = Centerline
- = Cleanout
- = Decorative Light
- = Drainage Manhole
- = Fire Hydrant
- = Grease Trap
- = Guy Anchor
- = Handicap
- = Lightpole
- = Mailbox
- = Power Box
- = Sanitary Manhole
- = Sign
- = Spot Elevation
- = Telephone Box
- = Utility Pole
- = Water Meter
- = Water Valve
- = Well

TREE LEGEND

- OAK
- PALM
- NORFOLK PINE
- BANYON

NOTE:
ALL SIZES ARE IN INCHES

LINE LEGEND

- = Boundary Lines
- = Water Line
- = Telephone Line
- = Gas Line
- = Sanitary Sewer Line
- = Storm Sewer Line
- = Overhead Wire Lines
- = Fence - Wire
- = Fence - Chain Link
- = Fence - Vinyl
- = Fence - Wood
- = Reclaimed Water Main

GENERAL NOTES:

1. USE OF SPACE BELOW THE LOWEST HORIZONTAL STRUCTURAL MEMBER FOR PARKING, ACCESS, OR STORAGE ONLY.
2. USE OF BREAKAWAY WALLS (WITH VENTS), OPEN LATTICE, OR INSECT SCREENING IF SPACE BELOW THE ELEVATED FLOOR IS ENCLOSED. ALLOW ONE ENCLOSURE. MAXIMUM ENCLOSURE SIZE IS 299 S.F.(NOT INCLUDING STAIRWELLS OR ELEVATED SHAFTS).
3. ELEVATORS, ELEVATORS SHAFTS AND STAIRWELLS ARE NOT REQUIRED TO BREAKAWAY, BUT MUST MEET FLOOD DAMAGE-RESISTANT MATERIAL AND EQUIPMENT REQUIREMENTS.
4. CITY AND FDEP STORMWATER REQUIREMENTS WILL BE MET.

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

JOHN A. BODZIAK & ASSOC. INC., HEREBY RESERVES ITS RIGHTS TO THE USE OF THESE PLANS, IDEAS AND DESIGN THEREIN IN THESE PLANS, IDEAS AND DESIGN. THESE PLANS, IDEAS AND DESIGN SHALL NOT BE USED OR REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JOHN A. BODZIAK & ASSOC. INC. PERMISSION GRANTED TO OBTAIN CONSTRUCTION PERMITS FOR USE ON THE PROJECT BY JOHN A. BODZIAK & ASSOC. INC. WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALED DIMENSIONS. WORK MUST CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.

REVISIONS		
NO.	DATE	DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

CLIENT

PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA
ARCHITECTURAL SITE PLAN

SEAL

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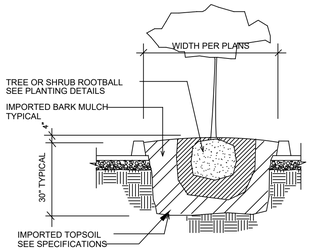
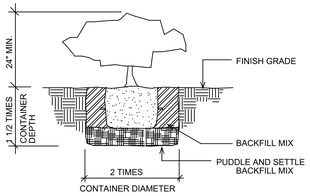
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH CONSTRUCTION. UNIFORM STATE STANDARDS AND CODE SPECIFICATIONS SHALL PREVAIL THE RESPONSIBILITY OF THE CONTRACTOR.

DRAWN BY	TT-AT-JB-CS
UPDATED ON	Jan. 11, 22
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	ASP-1.0



1 ASP-1.1 PLANTER ISLAND (TYP. DETAIL)
SCALE: N.T.S.



2 ASP-1.1 SHRUB PLANTING (TYP. DETAIL)
SCALE: N.T.S.

GUY WIRE SIZES:

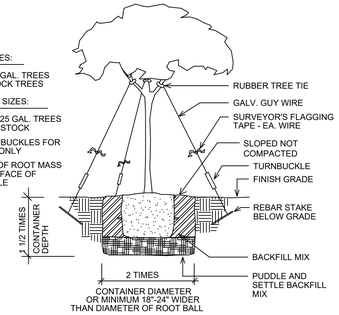
#12 - 15 TO 25 GAL. TREES
#9 - FIELD STOCK TREES

REBAR STAKE SIZES:

#4 X 2' - 15 TO 25 GAL. TREES
#7 X 3' - FIELD STOCK

INSTALL TURNBUCKLES FOR FIELD STOCK ONLY

INSTALL TOP OF ROOT MASS LEVEL W/ SURFACE OF PLANTING HOLE



3 ASP-1.1 TREE GUYING (TYP. DETAIL)
SCALE: N.T.S.

EXSITING TREE LEGEND:

- OAK
- PALM
- NORFOLK PINE
- BANYON

TREE LEGEND:

- "VM" CHRISTMAS PALM
- "CE" - SILVER BUTTONWOOD
- "LT" - CRAPE MYRTLE NATIVE FL
- "QV" - LIVE OAK
- "DT" - BLUEBERRY FLAX LILY
- "BC" - DWARF BURFORD HOLLY
- "SR" - BIRD OF PARADISE
- "IH" - INDIAN HAWTHORN BUSH
- "HS" - HIBISCUS
- "VA" LANTANA GROUND COVER
- "SOD" ST. AUGUSTINE
- TREE TO BE REMOVED

GENERAL LANDSCAPE NOTES:

1. ALL PLANT MATERIALS TO BE FLORIDA #1 OR BETTER QUALITY, INSTALLED TO HIGHEST NURSERY STANDARDS.
2. MULCH TO BE "FLORAMULCH" AVAILABLE AT GOMULCH.COM OR 866.466.8524 / 866.GO.MULCH. MULCH SHALL BE INSTALLED TO A MINIMUM OF 3" THICK IN ALL PLANTING AREAS.
3. SOD TO BE 95% WEED FREE: ST. AUGUSTINE FLORATAM.
   SOD TO BE INSTALLED WITH TIGHT JOINTS, ROLLED AND FERTILIZED AT TIME OF INSTALLATION. ALL AREAS OF THE PROJECT SITE DISTURBED DURING CONSTRUCTION SHALL BE SODDED UNLESS SPECIFICALLY LABELED OTHERWISE. ALL AREAS WITHIN THE PROJECT LIMITS SHALL BE PROVIDED WITH SOD OR OTHER SPECIFIED GROUNDCOVER.
4. ALL DIMENSIONS TO BE FIELD CHECKED BY THE LANDSCAPE CONTRACTOR PRIOR TO CONSTRUCTION, WITH ANY DISCREPANCIES REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
5. ALL MATERIALS MUST BE AS SPECIFIED ON THE LANDSCAPE PLAN. IF MATERIALS OR LABOR DO NOT ADHERE TO SPECIFICATIONS, THEY WILL BE REJECTED BY THE LANDSCAPE ARCHITECT WITH PROPER INSTALLATION CARRIED OUT BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST.
6. NO SUBSTITUTIONS OR CHANGES OF ANY KIND WILL BE MADE AT TIME OF BIDDING, SO AS TO PROVIDE FOR EQUAL AND FAIR COMPARISONS.
7. ALL PERMITS NECESSARY ARE TO BE PROVIDED BY THE INSTALLING CONTRACTOR UNLESS OTHERWISE SPECIFICALLY STATED IN THE SPECIFICATIONS.
8. NO CONTRACTOR IDENTIFICATION SIGNS SHALL BE PERMITTED ON THE PROJECT.
9. ALL QUESTIONS CONCERNING THE PLANS AND SPECIFICATIONS ARE TO BE DIRECTED TO THE ARCHITECT.
10. CAREFULLY REVIEW THE LANDSCAPE SPECIFICATIONS. THE INSTALLING CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL ITEMS CONTAINED THEREIN.
11. ALL PLANT MATERIAL SHALL BE PLANTED WITH "TERRA-SORB AG", IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE RATE OF APPLICATION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE STORM WATER POLLUTION PREVENTION PLANS AND APPROPRIATE CONSTRUCTION SITE RUNOFF CONTROLS TO MEET EPA'S NATURAL POLLUTANT DISCHARGE ELIMINATION SYSTEM RULE ON CONSTRUCTION SITES WHERE MORE THAN ONE ACRE OF LAND IS DISTURBED.
13. SEC. 106-36. - XERISCAPE REQUIREMENTS.
    THE XERISCAPE DESIGN PRINCIPLE OF PLANT SELECTION AND PLACEMENT BASED UPON FUNCTION, WATER REQUIREMENTS AND SUITABLE ENVIRONMENTAL EXPOSURE OF PLANT MATERIALS SHALL BE USED IN ALL VEHICULAR-USE AREAS. IN ADDITION, THE FOLLOWING XERISCAPE TECHNIQUES SHALL BE REQUIRED:
    1. FIFTY PERCENT OF THE PLANTS USED IN ALL VEHICULAR-USE AREAS LANDSCAPE DESIGNS SHALL BE DROUGHT TOLERANT AND LOCATED IN GROUPINGS ACCORDING TO WATER REQUIREMENTS.
    2. SEVENTY-FIVE PERCENT OF THE PLANTS USED IN ALL VEHICULAR-USE AREA LANDSCAPE DESIGNS SHALL BE A COMBINATION OF NATIVE AND DROUGHT TOLERANT.
    3. ALL PLANTINGS SHALL BE GROUPED IN ZONES ACCORDING TO WATER REQUIREMENTS AND SHALL BE IRRIGATED IN ZONES SEPARATING HIGH WATER USE LAWN AREA FROM DROUGHT TOLERANT ZONES.
    4. ALL IRRIGATION SYSTEMS SHALL BE AUTOMATIC WITH CYCLING CAPACITY AND SHALL BE DESIGNED TO AVOID IRRIGATION OF UNPLANTED SURFACES.
14. SEC. 106-40. - SCREENING OF BACKFLOW PREVENTERS.
    BACKFLOW PREVENTERS SHALL BE SCREENED BY DENSE EVERGREEN SHRUBBERY A MINIMUM OF 30 INCHES IN HEIGHT, PLANTED TWO FEET ON CENTER. SUCH SHRUBBERY SHALL BE PLANTED FAR ENOUGH AWAY FROM THE UNIT SO AS TO PROVIDE A MINIMUM OF A THREE-FOOT CLEARED AREA ON THE TWO SIDES OF THE UNIT FOR MAINTENANCE PURPOSES.
15. SEC. 106-42. - SEA OATS / SAND DUNES.
    THE REMOVAL OR RELOCATION OF SEA OATS OR SAND DUNES ON ANY PROPERTY LANDWARD OF THE COUNTY COASTAL CONSTRUCTION CONTROL LINE WILL BE COORDINATED WITH THE BUILDING AND ZONING DIRECTOR PRIOR TO THE START OF WORK.
16. SECTION 110-670 - LANDSCAPING / GREEN AREA

(A) ONE OF THE PURPOSES OF THE DEVELOPMENT CONTROLS IS TO ENCOURAGE THE PROVISION OF ADEQUATE LANDSCAPING/GREEN AREA IN R-3 ZONES WEST OF GULF BOULEVARD. A MINIMUM OF TEN PERCENT OF THAT PORTION OF THE LOT LOCATED EAST OF THE COUNTY COASTAL CONSTRUCTION CONTROL LINE AS ESTABLISHED BY THE STATE SHALL BE DESIGNATED FOR AND MAINTAINED AS LANDSCAPED GREEN AREA IN SIDE AND FRONT YARDS.

(B) IN R-3 ZONES WEST OF GULF BOULEVARD, THE GREEN AREA IN SIDE YARDS SHALL PROVIDE A CLEAR "VIEW AREA" BETWEEN THREE FEET AND TEN FEET IN HEIGHT; I.E. BUSHES OR SHRUBS SHALL NOT EXCEED THREE FEET IN HEIGHT AND TREES SHALL BE TRIMMED BELOW TEN FEET IN HEIGHT. SUCH LANDSCAPED AREAS MAY INCLUDE PASSIVE RECREATION FACILITIES PROVIDED, HOWEVER, THAT THE "VIEW AREA" IS NOT OBSTRUCTED.

(C) IN ALL ZONES EXCEPT R-1, ALL OFF-STREET PARKING AREAS NOT CONTAINED WITHIN THE BUILDING STRUCTURE SHALL HAVE A MINIMUM OF TEN PERCENT LANDSCAPED GREEN AREA.

(D) ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN ADEQUATE WATER SUPPLY.

17. ADD THE FOLLOWING NOTE TO THE LANDSCAPE PLANS, "WHEN AN ACCESS WAY INTERSECTS A PUBLIC RIGHT-OF-WAY OR OTHER ACCESS WAY, OR WHEN THE SUBJECT PROPERTY ABUTS THE INTERSECTION OF TWO OR MORE PUBLIC RIGHT-OF-WAYS, ALL LANDSCAPING WITHIN THE TRIANGULAR AREAS DESCRIBED AS [OR] REFERRED TO AS THE "CROSS-VISIBILITY AREA," SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A LEVEL BETWEEN 36 INCHES AND EIGHT FEET. TREES AND PLANT MATERIAL TRIMMED IN SUCH A MANNER THAT CROSS VISIBILITY IS NOT HINDERED WILL BE ALLOWED, PROVIDED THEY ARE LOCATED SO AS NOT TO CREATE A TRAFFIC HAZARD, AS DETERMINED BY THE CITY.

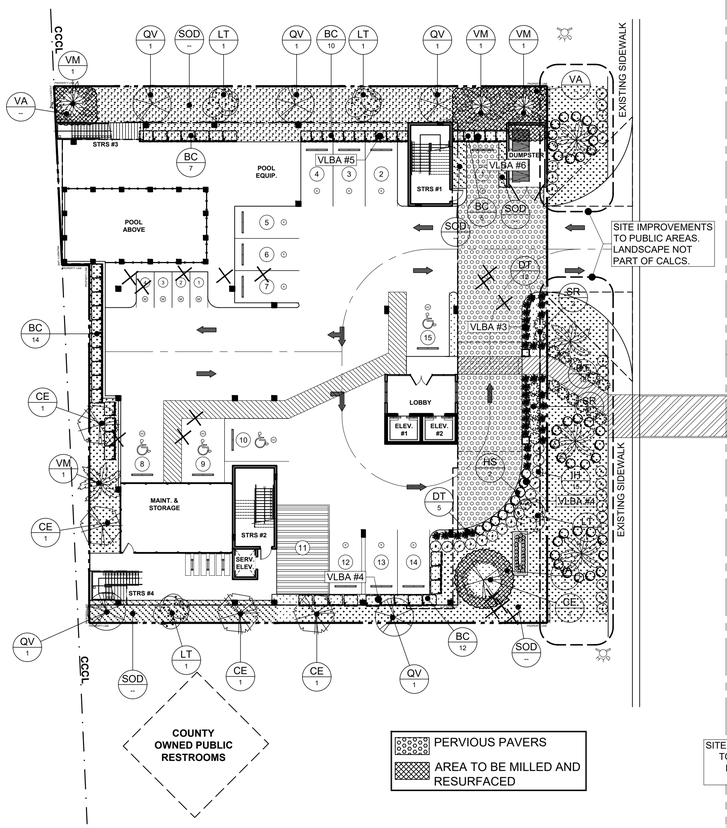
PLANT MATERIAL SCHEDULE (BOTH LOTS):

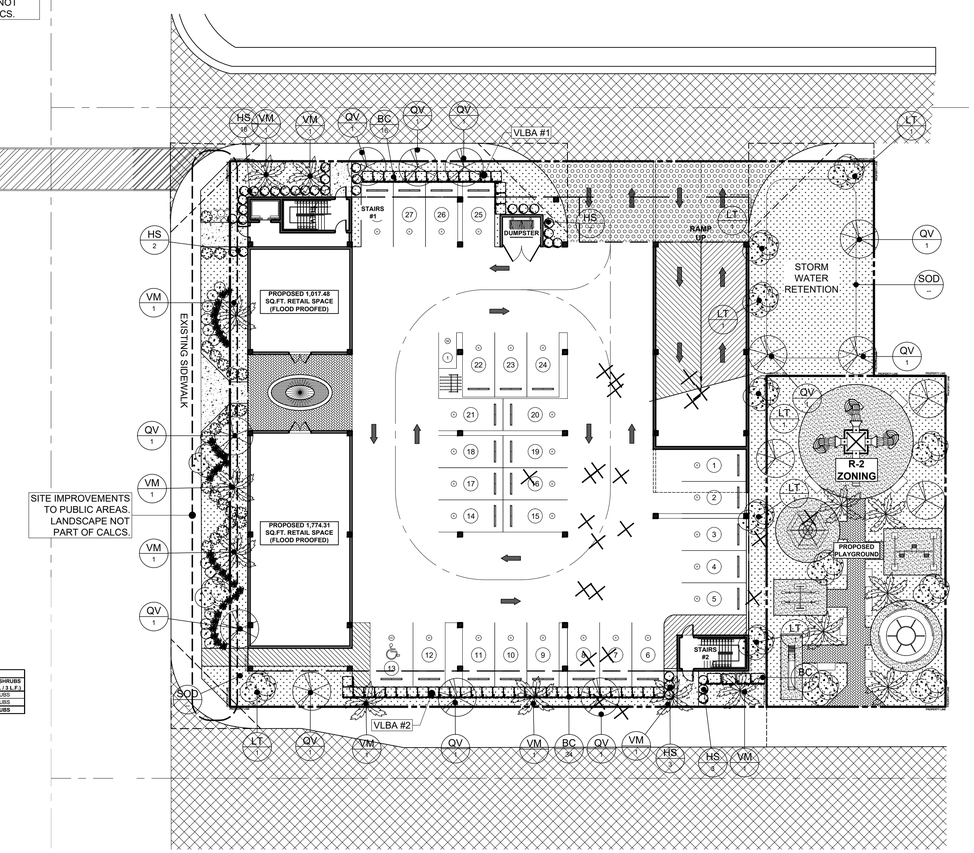
		QTY.	CODE	BOTANICAL NAME	COMMON NAME	SPECS.
PALM		13	VM	VEITCHIA MERRILLI	CHRISTMAS PALM [E]	15' HGT.
SHADE / ORNAMENTAL TREES		11	LT	LAGERSTROEMIA	CRAPE MYRTLE NATIVE FL [F,N]	8'-10' HGT. X 4" DBH
		16	QV	QUERCUS VIRGINIANA	LIVE OAK [E]	8'-10' HGT. X 4" DBH
		8	CE	CONOCARPUS ERECTUS	SILVER BUTTONWOOD [F,D]	8'-10' HGT. X 4" DBH
SHRUBS		35	DT	DIANELLA TASMANICA	BLUEBERRY FLAX LILY [F]	3 GAL., 16" HGT. X 36" O.C.
		85	BC	BURFORDII COMPACTA	DWARF BURFORD HOLLY [E]	4 GAL., 24"-26" HGT. X 36" O.C.
		7	SR	STRELITZIA REGINAE	BIRD OF PARADISE [F,E]	3 GAL., 24"-26" HGT. X 24" SPR, DENSE
		15	IH	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN BUSH [F,E]	2'-6' HGT. x 3' WIDE
		44	HS	HIBISCUS SPP. (NATIVES & THEIR HYBRIDS ONLY)	HIBISCUS [F,E]	3 GAL., 24"-26" HGT. X 24" SPR, DENSE
GROUND COVER		641 S.F.	VA	TRACHELOSPERUM ASIATICUM VARIEGATED	VARIEGATED ASIAN JASMINE	1 GAL. 10"-12" SPR. DENSE
		15,438 S.F.	SOD	ST. AUGUSTINE FLORATUM	ST. AUGUSTINE SOD	--

CHARACTERISTICS:

N-NATIVE, F-FLOWERING, E-EVERGREEN, D-DECIDUOUS

NOTE:
1. A LAYER OF ORGANIC MULCH TO A MINIMUM DEPTH OF 2" SHALL BE INSTALLED AROUND ALL EXISTING AND PROPOSED TREES AND PLANT BEDS. CYPRESS MULCH SHALL NOT BE USED.
2. ALL TREES (NEW AND EXISTING) ARE TO HAVE A 3' DIAMETER MINIMUM MULCHED CIRCLE AROUND THE BASE UNLESS IT IS IN A PLANTING BED. MULCH SHALL BE NATURAL WOOD. NO CYPRESS MULCH ALLOWED.
3. ALL TREES MUST HAVE A 5' DIA. MULCHED AREA AROUND THEM WITH 6" CLEAR AROUND TRUNK.
4. ALL TREE DIAMETERS TO BE AT CHEST HEIGHT OF 4'-0" DBH





PERVIOUS PAVERS
AREA TO BE MILLED AND RESURFACED

LANDSCAPING CALCULATIONS (WEST LOT)		
TOTAL SITE AREA	20,170.00 sq. ft.	
PRINCIPAL STRUCTURE ENVELOPE (BUILDING FOOTPRINT)	14,091.36 sq. ft.	69.86%
VEHICULAR USE AREAS (EXCLUDES THE AREA COVERED BY THE PRINCIPAL STRUCTURE)	1,903.40 sq. ft.	9.44%
VEHICULAR LANDSCAPE BUFFER AREAS (VLBA)	531.79 sq. ft.	2.64%
REMAINING LANDSCAPE AREAS (EXCLUDES VEHICULAR LANDSCAPE BUFFER AREAS)	3,978.99 sq. ft.	19.73%

VEHICULAR LANDSCAPE BUFFERS				
ITEM	#	LINEAR FEET (L.F.)	REQUIRED TREES (TOTAL L.F. / 30 L.F.)	REQUIRED SHRUBS (TOTAL L.F. / 3 L.F.)
VEHICULAR LANDSCAPE BUFFER AREA (VLBA)	3	15.00 L.F.	0 TREES	5 SHRUBS
VEHICULAR LANDSCAPE BUFFER AREA (VLBA)	4	111.00 L.F.	3 TREES	37 SHRUBS
VEHICULAR LANDSCAPE BUFFER AREA (VLBA)	5	31.00 L.F.	1 TREES	10 SHRUBS
VEHICULAR LANDSCAPE BUFFER AREA (VLBA)	6	13.00 L.F.	0 TREES	4 SHRUBS
TOTAL REQUIRED FOR VEHICULAR BUFFER AREAS			5 TREES	57 SHRUBS

REMAINING LANDSCAPE AREAS		
	AREA	AREA / 400 sq. ft.
TOTAL REQUIRED FOR ALL REMAINING AREA	3,978.99 sq. ft.	10 TREES

TOTAL OF LANDSCAPING REQUIRED	15 TREES	57 SHRUBS
Total of Maximum of Palm Trees allowed (50%)	7 Palm Trees Max.	

TOTAL OF LANDSCAPING PROVIDED	
TREES (INCLUDES 8 PALM TREES)	18
SHRUBS (VEHICULAR BUFFER LANDSCAPE AREA)	60

LANDSCAPING CALCULATIONS (EAST LOT)		
TOTAL SITE AREA	29,300.00 sq. ft.	
PRINCIPAL STRUCTURE ENVELOPE (BUILDING FOOTPRINT)	17,954.39 sq. ft.	61.28%
VEHICULAR USE AREAS (EXCLUDES THE AREA COVERED BY THE PRINCIPAL STRUCTURE)	1,278.10 sq. ft.	4.36%
VEHICULAR BUFFER AREAS	450.79 sq. ft.	1.54%
REMAINING LANDSCAPE AREAS (EXCLUDES VEHICULAR LANDSCAPE BUFFER AREAS)	4,555.30 sq. ft.	15.55%

VEHICULAR LANDSCAPE BUFFERS				
ITEM	#	LINEAR FEET (L.F.)	REQUIRED TREES (TOTAL L.F. / 30 L.F.)	REQUIRED SHRUBS (TOTAL L.F. / 3 L.F.)
VEHICULAR LANDSCAPE BUFFER AREA (VLBA)	1	49.00 L.F.	1 TREES	16 SHRUBS
VEHICULAR LANDSCAPE BUFFER AREA (VLBA)	2	102.00 L.F.	3 TREES	34 SHRUBS
TOTAL REQUIRED FOR VEHICULAR BUFFER AREAS			4 TREES	50 SHRUBS

REMAINING LANDSCAPE AREAS		
	AREA	AREA / 400 sq. ft.
TOTAL REQUIRED FOR ALL REMAINING AREA	4,555.30 sq. ft.	11 TREES

TOTAL OF LANDSCAPING REQUIRED	16 TREES	50 SHRUBS
Total of Maximum of Palm Trees allowed (50%)	9 Palm Trees Max.	

TOTAL OF LANDSCAPING PROVIDED	
TREES (INCLUDES 9 PALM TREES)	23
SHRUBS (VEHICULAR BUFFER LANDSCAPE AREA)	50

1 ASP-1.1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

NORTH

SCALE: 1" = 20'-0"
20 10 0 20
GRAPHIC SCALE (IN FEET)

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

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NO.	DATE	REVISIONS DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

CLIENT

PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

LANDSCAPE PLAN

SEAL

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ARCHITECT AIA, PA
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DRAWN BY	TT-AT-JB-CS
UPDATED ON	Jan. 11, 22
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	ASP-1.1

GENERAL IRRIGATION NOTES:

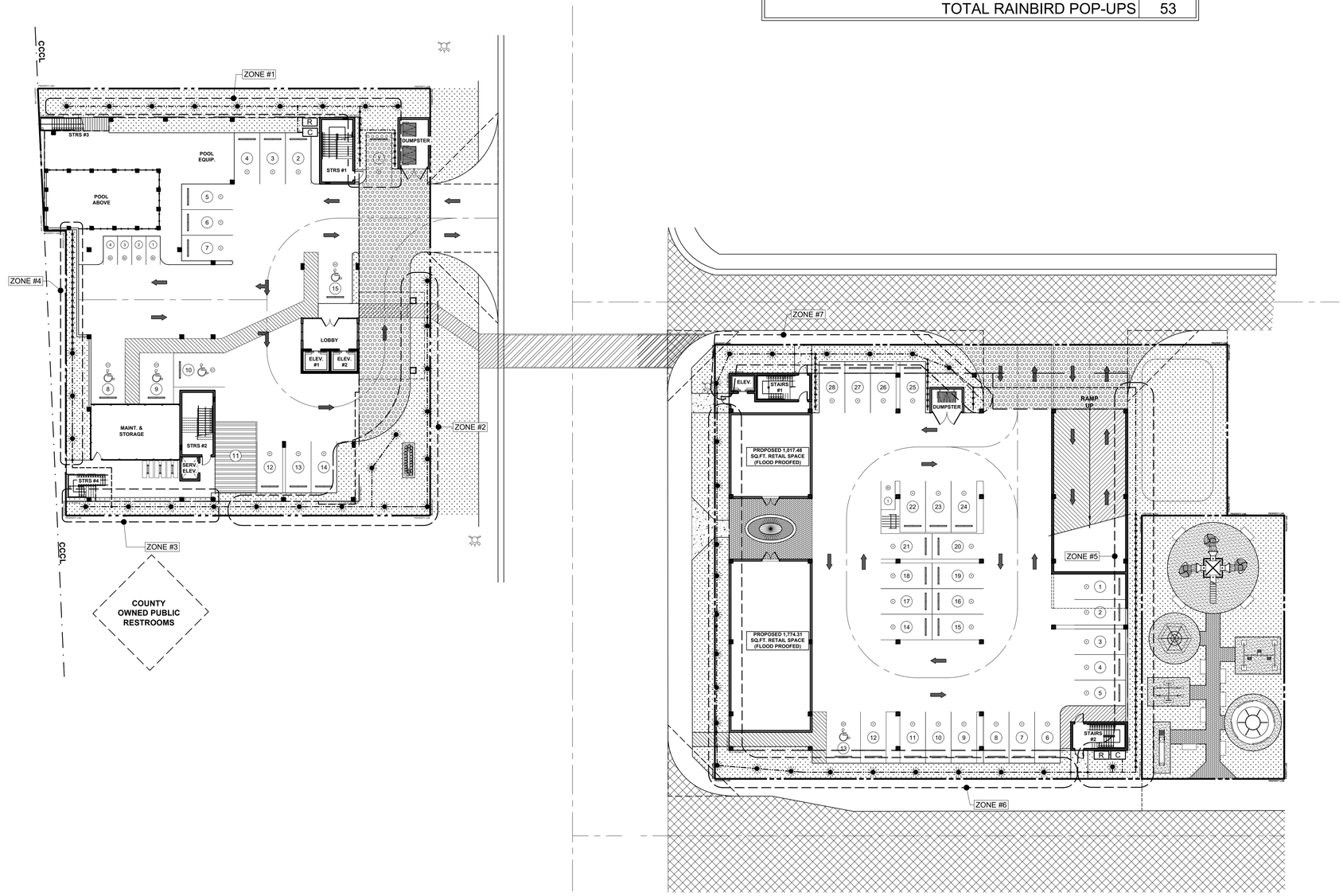
1. THE CONTRACTOR SHALL PROVIDE A 100% COVERAGE AUTOMATIC IRRIGATION SYSTEM ACCORDING TO THE IRRIGATION SPECIFICATIONS. IN ALL CASES COMPLY WITH THE WRITTEN IRRIGATION SPECIFICATIONS AND THE GENERAL IRRIGATION NOTES.
2. ALL QUESTIONS CONCERNING SPECIFICATIONS ARE TO BE DIRECTED TO THE ARCHITECT.
3. SHRUB RISERS SHALL ONLY BE INSTALLED IN HEDGES OR MASS PLANTINGS NOT TO EXTEND MORE THAN 3" ABOVE THE INSTALLED HEIGHT OF THE SHRUB. IN NO CASE SHALL SHRUB RISERS BE INSTALLED DIRECTLY ADJACENT TO CURBS, WALKS OR OTHER VEHICULAR ACCESS WAYS. IF RISERS ARE TO BE USED IN HEDGES ABUTTING PARKING AREAS, THEY MUST BE PLACED A MINIMUM OF 30" AWAY FROM BACK OF CURB AND EMBEDDED IN THE HEDGE SO AS NOT TO BE SEEN OR DAMAGED BY VEHICULAR OVERHANG. ALL SHRUB RISERS SHALL BE PAINTED BLACK OR DARK GREEN.
4. ALL PLANTED GROUNDCOVER AREAS, INCLUDING MASS PLANTINGS OF DWARF SHRUBS NOT EXCEEDING 22", SHALL BE IRRIGATED WITH 12" POP-UP SPRAY HEADS (UNLESS OTHERWISE NOTED) AND EXTENDERS (IF REQUIRED).
5. ALL SODDED AREAS SHALL BE IRRIGATED WITH 6" POP-UP SPRAYS (OR POP-UP ROTORS WHERE APPROPRIATE), UNLESS OTHERWISE NOTED.
6. PIPE, VALVES AND OTHER IRRIGATION EQUIPMENT MAY BE SHOWN IN BUILDINGS, DRIVES AND WALKS FOR CLARITY ONLY. LOCATE ALL VALVES AND OTHER IRRIGATION EQUIPMENT IN PLANT BED AREAS FOR BEST CONCEALMENT AND ACCESSIBILITY.
7. VALVES ARE TO BE INSTALLED IN VALVE BOXES LARGE ENOUGH TO ACCOMODATE MAINTENANCE AND OPERATION OF VALVES. VALVE PIT SHALL BE FREE FROM MUD OR OTHER DEBRIS WHICH MAY COVER VALVE. PROVIDE 1/2" DIAMETER RIVER GRAVEL SUMP 3" THICK AT THE BOTTOM OF VALVE PIT.
8. ALL IRRIGATION MATERIALS AND INSTALLATION SHALL MEET FEDERAL, STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES CONCERNING IRRIGATION CONSTURCTION.
9. FLEXIBLE POLYETHYLENE SWING JOINTS SHALL BE USED FOR ALL POP-UP SPRAY HEADS. ROTOR HEADS SHALL HAVE RIGID PVC SWING JOINTS. CONCRETE DONUTS SHALL BE INSTALLED AT ALL HEAD LOCATIONS ADJACENT TO OR IN VEHICULAR USE AREAS.
10. ALL SLEEVES ARE TO BE SCHEDULE 40 PVC LOCATED A MINIMUM OF 14" BELOW FINISH GRADE.
11. ADJUST ALL HEADS TO PROVIDE MAXIMUM COVERAGE AND MINIMUM OVERTHROW.
12. CONTRACTOR SHALL ADJUST HEADS AS NEEDED IN VEHICULAR AREAS TO INSURE THAT PARKED VEHICLES DO NOT INTERFERE WITH THE OPERATION OF THE IRRIGATION SYSTEM. NOTIFY THE LANDSCAPE ARCHITECT AND OBTAIN WRITTEN APPROVAL PRIOR TO ADJUSTING IRRIGATION HEAD LAYOUT SO THAT 100% COVERAGE IS NOT COMPROMISED.
13. EQUIPMENT AND HEADS SHALL BE MANUFACTURED BY "RAINBIRD" OR "HUNTER" OR AS OTHERWISE STATED ON THE PLANS.
14. CONTRACTOR SHALL FIELD VERIFY CAPABILITY OF WATER SOURCE TO DELIVER PROPER PRESSURE PER SQUARE INCH (PSI) AND GALLONS PER MINUTE (GPM) AS REQUIRED BY THE IRRIGATION SYSTEM. NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONTRACT IF THERE IS ANY DISCREPANCY.
15. IRRIGATION WATER SOURCE SHALL BE RECLAIMED WATER, IF AVAILABLE. COORDINATE NEW IRRIGATION WORK WITH EXISTING IRRIGATION TO REMAIN.
16. ALL PERMITS NECESSARY ARE TO BE PROVIDED BY THE INSTALLING CONTRACTOR UNLESS OTHERWISE SPECIFICALLY STATED.
17. REFER TO THE LANDSCAPE DRAWINGS WHEN LOCATING ALL IRRIGATION EQUIPMENT. ALLOW AMPLE ROOM NEAR PIPE, VALVES AND OTHER EQUIPMENT FOR THE PLANTING OF TREES AND HEDGES.
18. ALL WIRES SHALL BE INSTALLED IN WIRE SLEEVES UNDER WALKS AND DRIVES.
19. IF THERE IS A CONFLICT BETWEEN THE IRRIGATION PLAN AND SPECIFICATIONS, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
20. CAREFULLY REVIEW THE IRRIGATION SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ITEMS CONTAINED THEREIN.
21. CONTRACTOR SHALL FURNISH OWNER WITH 2 COPIES OF OPERATION MANUALS AND WATER SCHEDULING TIMES AS REQUIRED TO SUSTAIN THE PLANT MATERIAL. CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER OPERATION AND MAINTENANCE OF THE ENTIRE IRRIGATION SYSTEM PRIOR TO FINAL ACCEPTANCE.
22. THE IRRIGATION SYSTEM SHALL INCLUDE A RAIN SENSOR / SHUT-OFF DEVICE TO AVOID IRRIGATION DURING PERIODS OF SUFFICIENT RAINFALL.

IRRIGATION LEGEND

- RAINBIRD 6" POP-UP SPRAY HEADS (83) @ 15' O.C.
- IRRIGATION LINE INDICATION
- IRRIGATION LINE UNDER HARD SURFACE (SLEEVED 3")
- PERFORATED LINE INDICATION
- R — HUNTER RAIN SYNC DEVICE (2)
- C — HUNTER I-CORE CONTROLLER (2)

IRRIGATIONS NOTES

ZONE	DESCRIPTION	QTY.
1	SPRAY ZONE WITH RAINBIRD POP-UPS	9
2	SPRAY ZONE WITH RAINBIRD POP-UPS	12
3	SPRAY ZONE WITH RAINBIRD POP-UPS	4
4	SPRAY ZONE WITH RAINBIRD POP-UPS	3
5	SPRAY ZONE WITH RAINBIRD POP-UPS	1
6	SPRAY ZONE WITH RAINBIRD POP-UPS	17
7	SPRAY ZONE WITH RAINBIRD POP-UPS	7
	TOTAL RAINBIRD POP-UPS	53



1 ASP-1.2 IRRIGATION PLAN

SCALE: 1" = 20'-0"

NORTH

SCALE: 1" = 20'-0"

20 10 0 20

GRAPHIC SCALE (IN FEET)

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NO.	DATE	REVISIONS DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

CLIENT

PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

IRRIGATION PLAN

SEAL

JOHN A. BODZIAK
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ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005905
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CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING ON CONSTRUCTION. UNSUPPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

DRAWN BY	TT-AT-JB-CS
UPDATED ON	Jan. 11, 22
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	ASP-1.2

NOTE: (HANDICAP SIGN ONLY)

1. ALL LETTERS TO BE 1" SERIES "C", BLACK AND SHALL CONFORM TO FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS". (LATEST EDITION)

2. TOP PORTION OF SIGN TO HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.

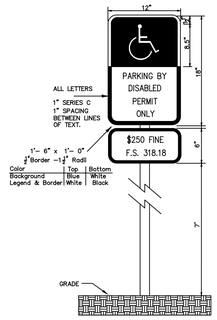
3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND BORDER.

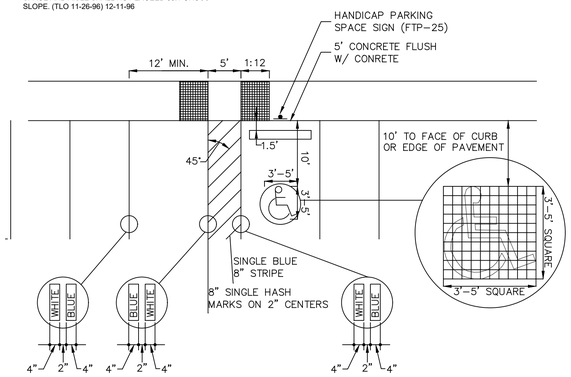
4. ONE SIGN REQUIRED FOR EACH PARKING SPACE.

5. HEIGHT OF SIGN BOTTOM SHALL BE 7' ABOVE GROUND IN ACCORDANCE WITH FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS" (LATEST EDITION)

NOTE:

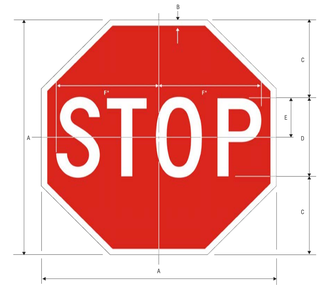
ACCESSIBILITY:
A) IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, 4.1.3 SECTION (1), DATED OCT. 1997, AT LEAST ONE ACCESSIBLE ROUTE COMPLYING WITH 4.1.3 SHALL CONNECT ACCESSIBLE BUILDING OR FACILITY ENTRANCES WITH ALL ACCESSIBLE SPACES AND ELEMENTS WITHIN THE BUILDING OR FACILITY. DOORS ACCESSING THE BUILDING MUST BE DEPICTED N THE SITE PLAN. RAMP DETAILS WITH SLOPE INFORMATION SHALL BE DEPICTED ON SITE PLAN.
B) THE LOCATION OF HANDICAPPED PARKING STALLS, LOADING ZONES, SIDEWALKS AND RAMPS ON SITE SHALL MEET CHAPTER 316.1955 OF THE FLORIDA STATUTES AND SECTION 4.1.3 OF THE FLORIDA ACCESSIBILITY CODE. RAMPS SHALL NOT EXCEED 12:1 SLOPES. PARKING SPACE AND AISLE SHALL NOT EXCEED 50:1 CROSS SLOPE. (TLO 11-26-96) 12-11-96





1 ASP-1.3 HANDICAP PARKING SIGN

SCALE: N.T.S.



R1-1
STOP

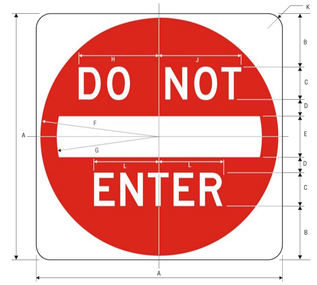
*Reduce spacing 40%

	A	B	C	D	E	F
	18	.375	6	6 C	3	7.75
	24	.625	8	8 C	4	10
C	30	.75	10	10 C	5	12.5
	36	30.0	12	12 C	6	15
	48	1.25	16	16 C	8	20

COLORS: LEGEND – WHITE (RETROREFLECTIVE)
BACKGROUND – RED (RETROREFLECTIVE)

2 ASP-1.3 STOP SIGN (30"x30")

SCALE: N.T.S.



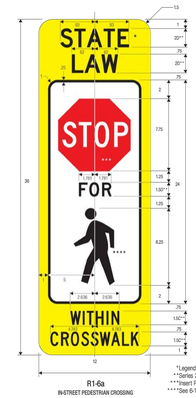
R5-1
DO NOT ENTER

	A	B	C	D	E	F	G	H	J	K	L
	24	6.5	4 C	2	5	14.5	12.5	9.75	10	1.875	7.875
C	30	7.5	5 C	2	6	18.25	15.5	12	12.5	2.25	9.63
	48	11	6 D	3	8	23.5	20	14.5	15	3	11.75

COLORS: SYMBOL – RED (RETROREFLECTIVE)
LEGEND & BACKGROUND – WHITE (RETROREFLECTIVE)

3 ASP-1.3 DO NOT ENTER SIGN (30"x30")

SCALE: N.T.S.



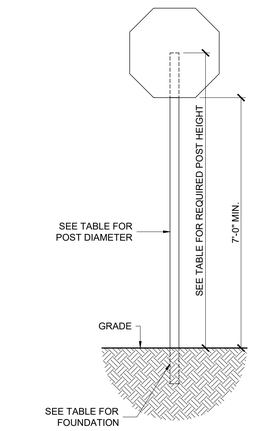
R1-6a
IN-STREET PEDESTRIAN CROSSING

*Legend is optional.
**Series 2000 Standard Alphabets.
***Insert R1-1 and size to fit.
****See 5-10 for design detail.

COLORS: LEGEND – BLACK
BACKGROUND – FLUORESCENT YELLOW-GREEN, OR YELLOW (RETROREFLECTIVE)
YIELD SYMBOL – RED (RETROREFLECTIVE) ON WHITE (RETROREFLECTIVE)
FED SYMBOL – BLACK ON WHITE (RETROREFLECTIVE)

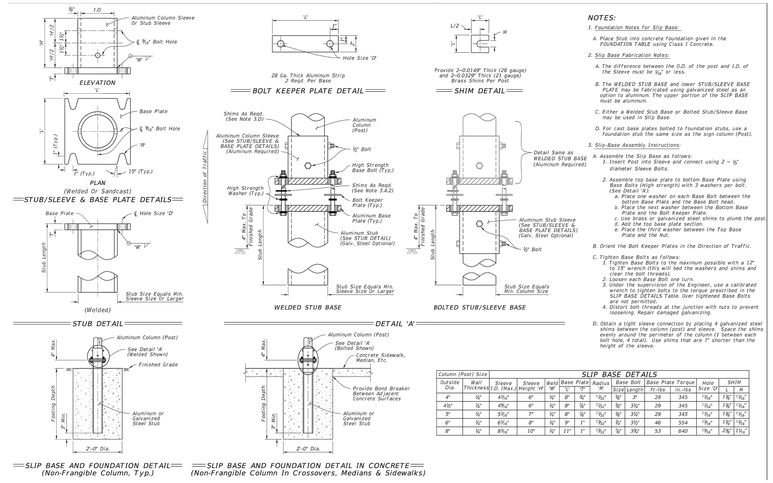
4 ASP-1.3 CROSSWALK SIGN (36"x12")

SCALE: N.T.S.



5 ASP-1.3 SIGN HEIGHT (TYP.)

SCALE: 1/2" = 1'-0"



NOTES:

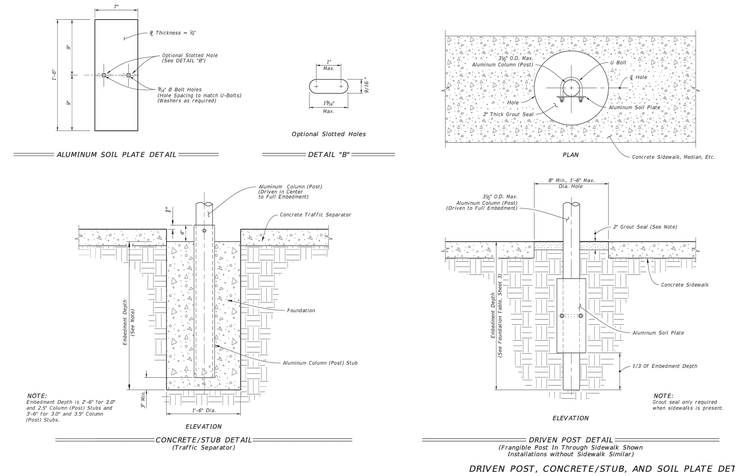
1. Foundation Notes for Slip Base:
   A. Place Stub into concrete foundation given in the FOUNDATION TABLE using Class I Concrete.
2. Slip Base Fabrication Notes:
   A. The difference between the O.D. of the post and I.D. of the Sleeve must be ¼" or less.
   B. The WELDED STUB BASE and lower STUB/SLEEVE BASE PLATE may be fabricated using galvanized steel as an option to aluminum. The upper portion of the SLIP BASE must be aluminum.
   C. Either a Welded Stub Base or Bolted Stub/Sleeve Base may be used in Slip Base.
   D. For cast base plates bolted to foundation stubs, use a foundation stub the same size as the sign column (Post).
3. Slip-Base Assembly Instructions:
   A. Assemble the Slip Base as follows:
      1. Insert Post into Sleeve and connect using 2 – ½" diameter Sleeve Bolts.
      2. Assemble top base plate to bottom Base Plate using Base Bolts (high strength) with 3 washers per bolt. See Note 3.C.
         a. Place one washer on each Base Bolt between the bottom Base Plate and the Base Bolt head.
         b. Place one washer between the Bottom Base Plate and the Bolt Keeper Plate.
         c. Use brass or galvanized steel shims to plumb the post.
         d. Add the top base plate section.
         e. Place the third washer between the Top Base Plate and the Nut.
   B. Orient the Bolt Keeper Plates in the Direction of Traffic.
   C. Tighten Base Bolts as follow:
      1. Tighten Base Bolts to the maximum possible with a 12" to 18" wrench (this will bed the washers and shims and clear the bolt threads).
      2. Loosen each Base Bolt one turn.
      3. Under the supervision of the Engineer, use a calibrated torque wrench to tighten the Base Bolts according to the SLIP BASE DETAILS Table. Over tightened Base Bolts are not permitted.
      4. Distort bolt threads at the junction with nuts to prevent loosening. Repair damaged galvanizing.
   D. Obtain a tight sleeve connection by placing 4 galvanized steel shims between the column (post) and sleeve. Space the shims evenly around the perimeter of the column (1 between each bolt hole, 4 total). Use shims that are 1" shorter than the height of the sleeve.

SLIP BASE DETAILS

Column (Post) Size Outside Dia.	Wall Thickness	Sleeve I.D. (Max.)	Sleeve Height 'H'	Wall 'W'	Base Plate 'L'	Base Plate 'B'	Base Plate 'M'	Base Bolt Size	Base Bolt Length	Base Plate Torque ft-lbs	Base Plate Torque in-lbs	Hole Size 'O'	SHIM L	SHIM M
4"	¼"	4¼"	6"	¼"	8"	5¼"	7¼"	½"	2"	29	345	13/16"	1¾"	1¾"
4½"	¼"	4¾"	6"	¼"	8"	5¾"	7¾"	½"	2½"	29	345	13/16"	1¾"	1¾"
5"	¼"	5½"	7"	¼"	8"	5¾"	7¾"	½"	2½"	29	345	13/16"	1¾"	1¾"
6"	¼"	6¼"	8"	¼"	9"	7"	8"	½"	2½"	40	554	13/16"	1¾"	1¾"
8"	¼"	8¼"	10"	¼"	11"	1"	10"	½"	3½"	53	640	13/16"	2¼"	1¾"

7 ASP-1.3 SLIP BASE & FOUNDATION DETAILS

SCALE: N.T.S.



NOTE:
Embedment Depth is 2'-6" for 2.0" and 2.5" Column (Post) Stubs and 3'-0" for 3.0" and 3.5" Column (Post) Stubs

NOTE:
Grout seal only required when sidewalks is present.

8 ASP-1.3 DRIVEN POST, CONCRETE/STUB & SOIL PLATE DETAILS

SCALE: N.T.S.

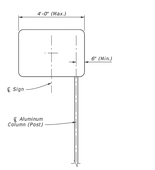
ALUMINUM COLUMN (POST) SELECTION TABLE (O.D. in.)

TOTAL PANEL AREA (SF)	'H' (FT) 8 ft	9 ft	10 ft	11 ft	12 ft	13 ft	14 ft	15 ft	16 ft	17 ft	18 ft	19 ft	20 ft
3 sf	2	2.5	2.5	2.5	3	3	3	3	3.5	3.5	3.5	3.5	3.5
4 sf	2.5	2.5	3	3	3	3	3.5	3.5	3.5	3.5	3.5	3.5	3.5
5 sf	2.5	3	3	3	3.5	3.5	3.5	3.5	3.5	3.5	3.5	4	4
6 sf	3	3	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5	4	4	4
7 sf	3	3.5	3.5	3.5	3.5	3.5	3.5	3.5	4	4	4	4	4
8 sf	3.5	3.5	3.5	3.5	3.5	3.5	3.5	4	4	4	4	4	4
9 sf	3.5	3.5	3.5	3.5	3.5	3.5	4	4	4	4	4	4	4
10 sf	3.5	3.5	3.5	3.5	3.5	4	4	4	4	4	4	4.5	4.5
11 sf	3.5	3.5	3.5	3.5	4	4	4	4	4	4	4.5	4.5	4.5
12 sf	3.5	3.5	3.5	4	4	4	4	4	4	4	4.5	4.5	4.5
13 sf	3.5	3.5	4	4	4	4	4	4	4	4.5	4.5	4.5	5
14 sf	3.5	3.5	4	4	4	4	4	4	4.5	4.5	4.5	5	5
15 sf	3.5	4	4	4	4	4	4	4.5	4.5	4.5	5	5	5
16 sf	3.5	4	4	4	4	4	4	4.5	4.5	5	5	5	6
17 sf	4	4	4	4	4	4	4.5	4.5	4.5	5	5	6	6
18 sf	4	4	4	4	4	4.5	4.5	4.5	5	5	5	6	6
19 sf	4	4	4	4	4	4.5	4.5	4.5	5	5	6	6	6
20 sf	4	4	4	4	4.5	4.5	4.5	5	5	5	6	6	6
21 sf	4	4	4	4	4.5	4.5	5	5	5	6	6	6	6
22 sf	4	4	4	4.5	4.5	4.5	5	5	6	6	6	6	6
23 sf	4	4	4	4.5	4.5	5	5	5	6	6	6	6	6
24 sf	4	4	4.5	4.5	4.5	5	5	6	6	6	6	6	6
25 sf	4	4	4.5	4.5	5	5	5	6	6	6	6	6	8
26 sf	4	4.5	4.5	4.5	5	5	5	6	6	6	6	8	8
27 sf	4	4.5	4.5	4.5	5	5	6	6	6	6	6	8	8
28 sf	4	4.5	4.5	5	5	5	6	6	6	6	6	8	8
29 sf	4.5	4.5	4.5	5	5	6	6	6	6	6	8	8	8
30 sf	4.5	4.5	5	5	5	6	6	6	6	6	8	8	8

FOUNDATION TABLE

Column (Post) Size Outside Diameter (in)	Wall Thk. (in)	Foundation Alternatives: Driven Post * Embedment Depth (ft) without Soil Plate	Driven Post * Embedment Depth (ft) with Soil Plate	Concrete (Class I) Diameter (ft)	Concrete (Class I) Embedment Depth (ft)	Concrete (Class I) Stub Length (ft)
2.0	⅛	4.5	2.5	---	---	---
2.5	⅛	5.0	3.0	---	---	---
3.0	⅛	5.0	3.5	---	---	---
3.5	3/16	6.0	4.5	---	---	---
4.0	¼	---	---	2.0	3.5	3.0
4.5	¼	---	---	2.0	4.0	3.0
5.0	¼	---	---	2.0	4.5	3.0
6.0	¼	---	---	2.0	5.0	3.0
8.0	¼	---	---	2.0	5.5	3.0

* INSTALLING FRANGIBLE COLUMN SUPPORTS:
Columns (posts) 2½" O.D. and less are considered frangible and may be installed either by driving the post or setting the posts in preformed holes. Backfill preformed holes with suitable material tamped in layers not thicker than 6" (to provide adequate compaction) or filled with flowable fill or bagged concrete.

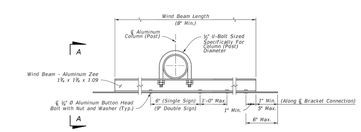


OFFSET SIGN

NOTE:
1. For offset sign placement see Index 700-101.
2. For signs with widths greater than 4' see Index 700-011.
3. Offset signs with driven posts require a soil plate.

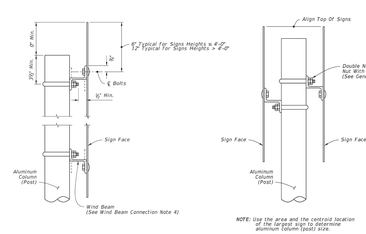
6 ASP-1.3 COLUMN & FOUNDATION TABLES

SCALE: N.T.S.



WIND BEAM CONNECTIONS DETAILS

NOTES:
1. ⅜" Ø stainless steel hex head bolts with nylon washer under head and washer under nut may be used in lieu of ¼" Ø aluminum button or flat head bolts.
2. Use nylon washers (provided by the sheeting supplier) under the bolt heads to protect sign sheeting.
3. Slots up to 2" long are allowed in wind beams to accommodate U-Bolts for varying Column (Post) diameters.
4. Wind beams may be oriented in either direction.
5. For signs greater than 66" in height, install a third wind beam evenly spaced between the top and bottom wind beams. For signs up to 12' in height, use only one wind beam at ℄ Sign. Install two wind beams on signs with heights greater than 12' and less than or equal to 66'.



VIEW A-A

9 ASP-1.3 WIND BEAM CONNECTION

SCALE: N.T.S.

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

JOHN A. BODZIAK & ASSOC. INC., HEREBY RESERVES ITS ARCHITECTURAL WORK, AS AN INSTRUMENT OF SERVICE, REGARDLESS OF THE FORM OF THE WORK, AS THE SOLE PROPERTY OF THE ARCHITECT. THE RIGHTS IN THESE PLANS, IDEAS AND DESIGNS THEREIN ARE FOR THE USE ON THIS PROJECT AND SHALL NOT BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JOHN A. BODZIAK & ASSOC. INC. IN ADDITION, JOHN A. BODZIAK & ASSOC. INC. PRETITLES OMENSIONS SHALL GOVERN OVER DRAWN DIMENSIONS. DO NOT SCALE DRAWINGS. ANY QUESTIONS SHALL BE REFERRED TO THE ARCHITECT OF RECORD.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR COMPLETING WITH CONSTRUCTION. UNSUPPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

NO.	DATE	REVISIONS DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

CLIENT

PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

SIGN PLANS

SEAL

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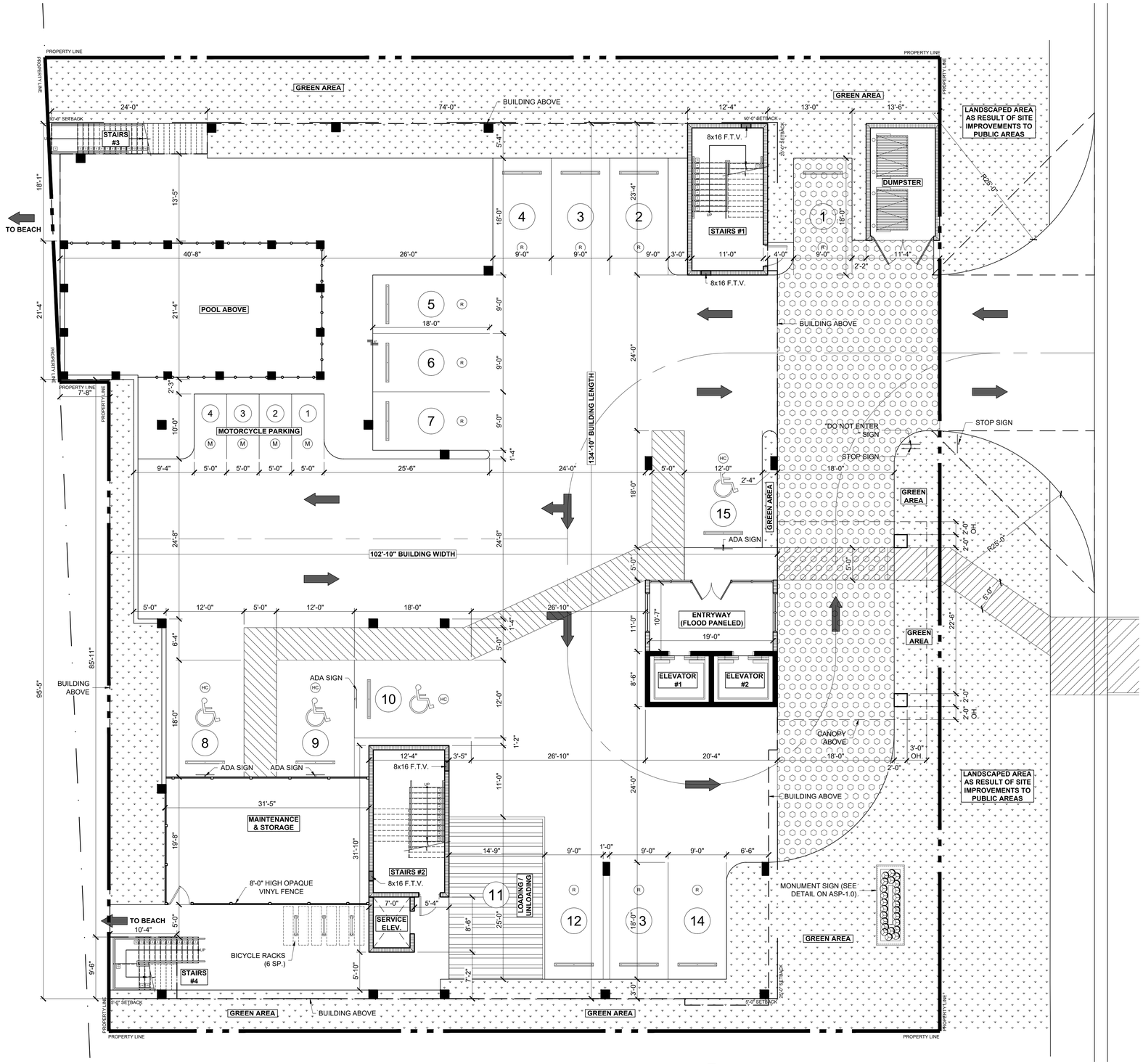
DRAWN BY	TT-AT-JB-CS
UPDATED ON	Dec. 16, 21
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	ASP-1.3



1 A-1.0 GROUND FLOOR PLAN (GULF FRONT LOT)

SCALE: 1/8" = 1'-0"

NORTH

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

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	12/14/2021	SUBMITTAL PER CITY COMMENTS

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PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

GROUND FLOOR PLAN (GULF FRONT LOT)

CLIENT

SEAL

JOHN A. BODZIAK
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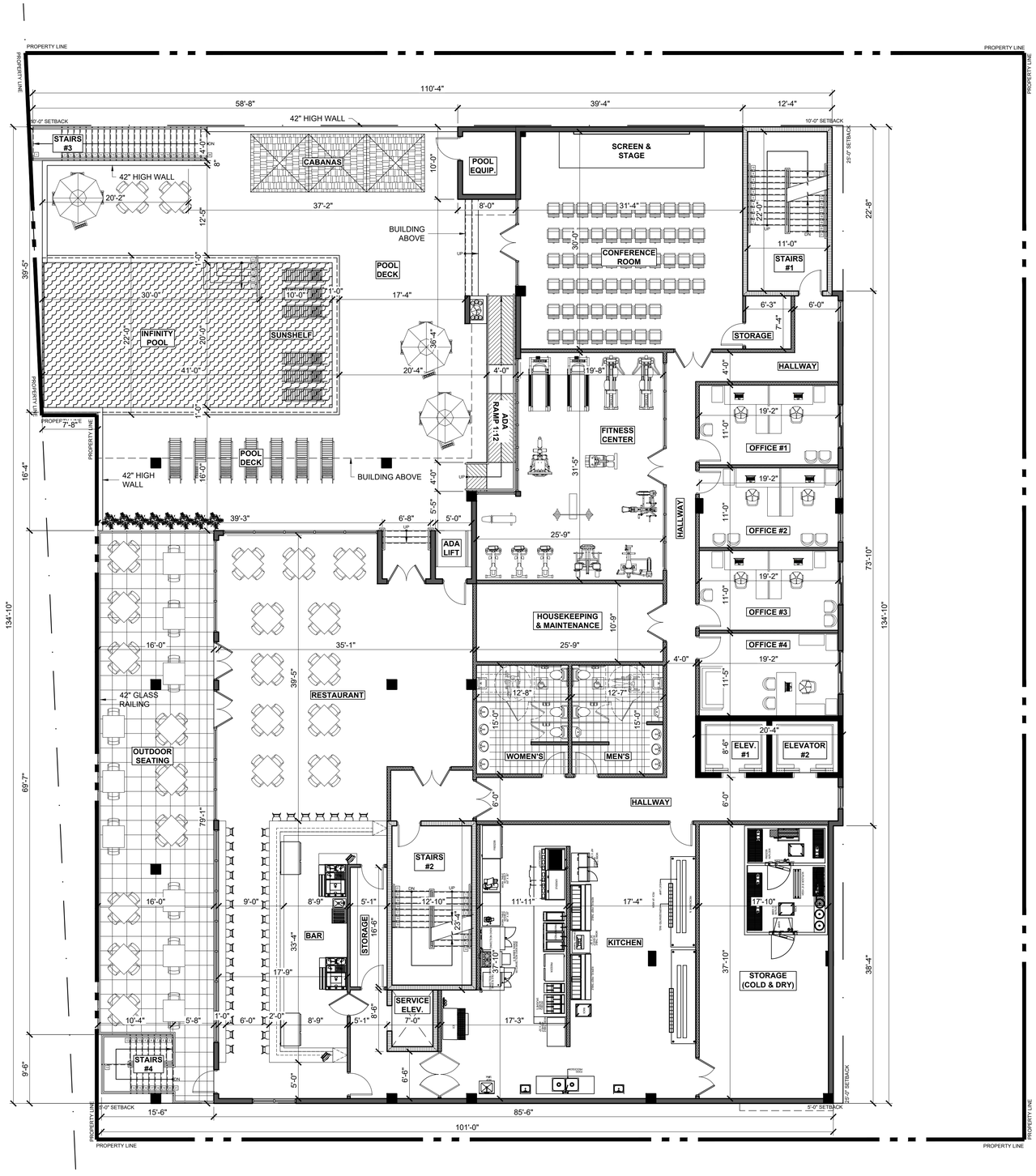
UPDATED ON	Dec. 16, 21
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	A-1.0



1
A-1.1

SECOND FLOOR PLAN (GULF FRONT LOT)

SCALE: 1/8" = 1'-0"

NORTH

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

JOHN A. BODZIAK & ASSOC. INC., HEREIN RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPRIETARY RIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS, IDEAS AND DESIGNS ARE NOT TO BE CHANGED OR REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JOHN A. BODZIAK & ASSOC. INC. IN ADDITION, JOHN A. BODZIAK & ASSOC. INC. PERFORMS DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS. DRAWINGS NOT TO BE SCALED. ANY VARIATION FROM THE DIMENSIONS, CONDITIONS AND SPECI-FICATIONS SHALL BE REPORTED TO JOHN A. BODZIAK, INC. AS SOON AS DISCOVERED.

NO.	DATE	REVISIONS DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

CLIENT

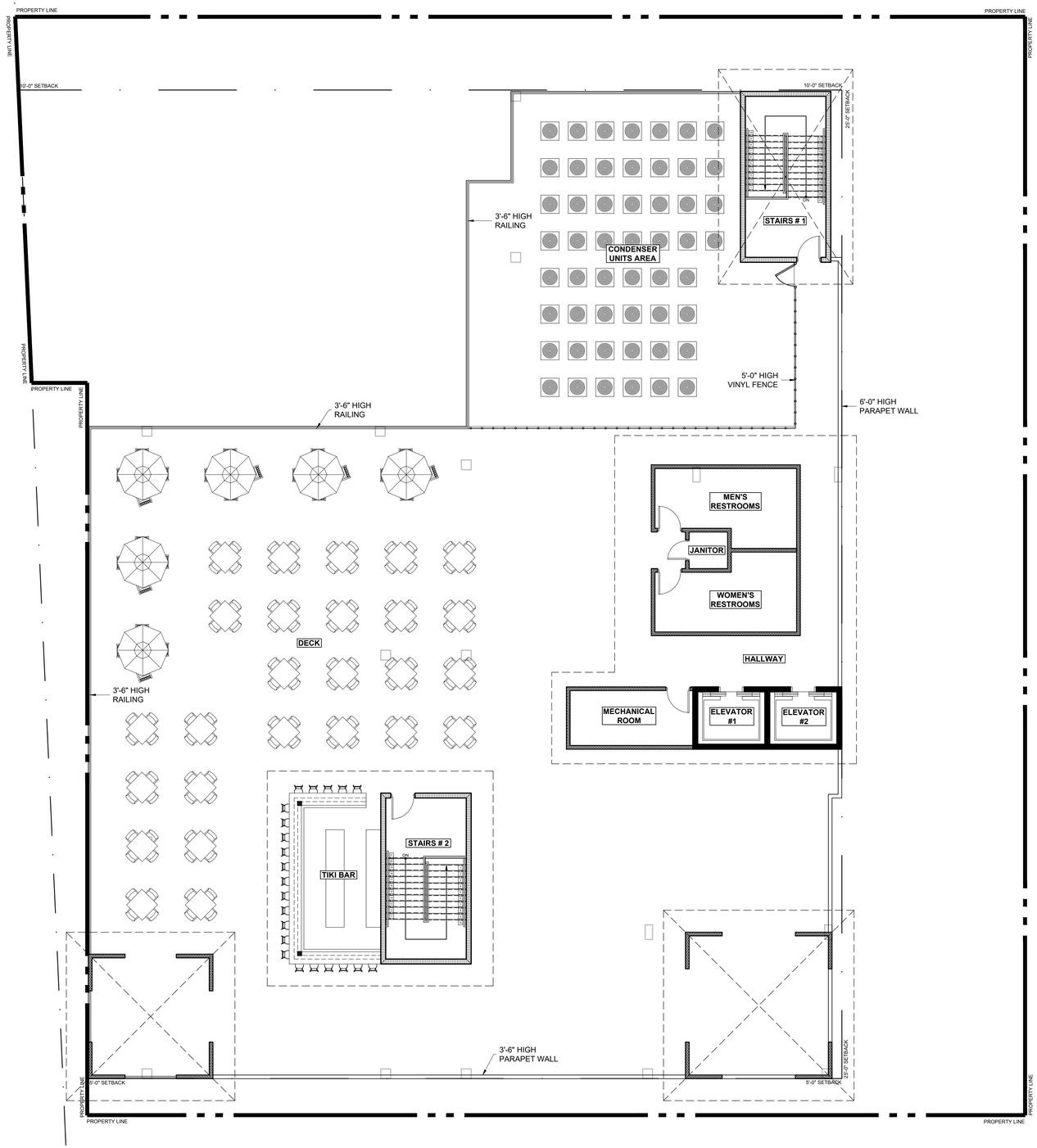
PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA
SECOND FLOOR PLAN (GULF FRONT LOT)

SEAL

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
EMAIL: JACK@JABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

DRAWN BY	TT-AT-JB-CS
UPDATED ON	Dec. 16, 21
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	A-1.1



1 / A-1.2 ROOF DECK PLAN

SCALE: 1/8" = 1'-0"

NORTH

CCCL

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

NO.	DATE	DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

REVISIONS

JOHN A. BODZIAK AND ASSOCIATES, INC., HEREBY RESERVES ITS RIGHTS TO THE PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS, IDEAS AND DESIGNS ARE NOT TO BE COPIED OR REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JOHN A. BODZIAK AND ASSOCIATES, INC.
JOHN A. BODZIAK & ASSOC. INC., WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL PLANS, FIELD CONDITIONS AND DIMENSIONS ON SITE BEFORE ISSUE OF ANY FABRICATION OR WORK. JOHN A. BODZIAK & ASSOC. INC. IS NOT RESPONSIBLE FOR DIMENSIONS OBTAINED FROM THE DRAWINGS. CONDITIONS AND SPECIFICATIONS MAY VARY FROM STATE TO STATE.

SCHOONER RESORT

PROJECT

14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

ROOF DECK PLAN

CLIENT

SEAL

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN AND CONSTRUCTION MANAGEMENT
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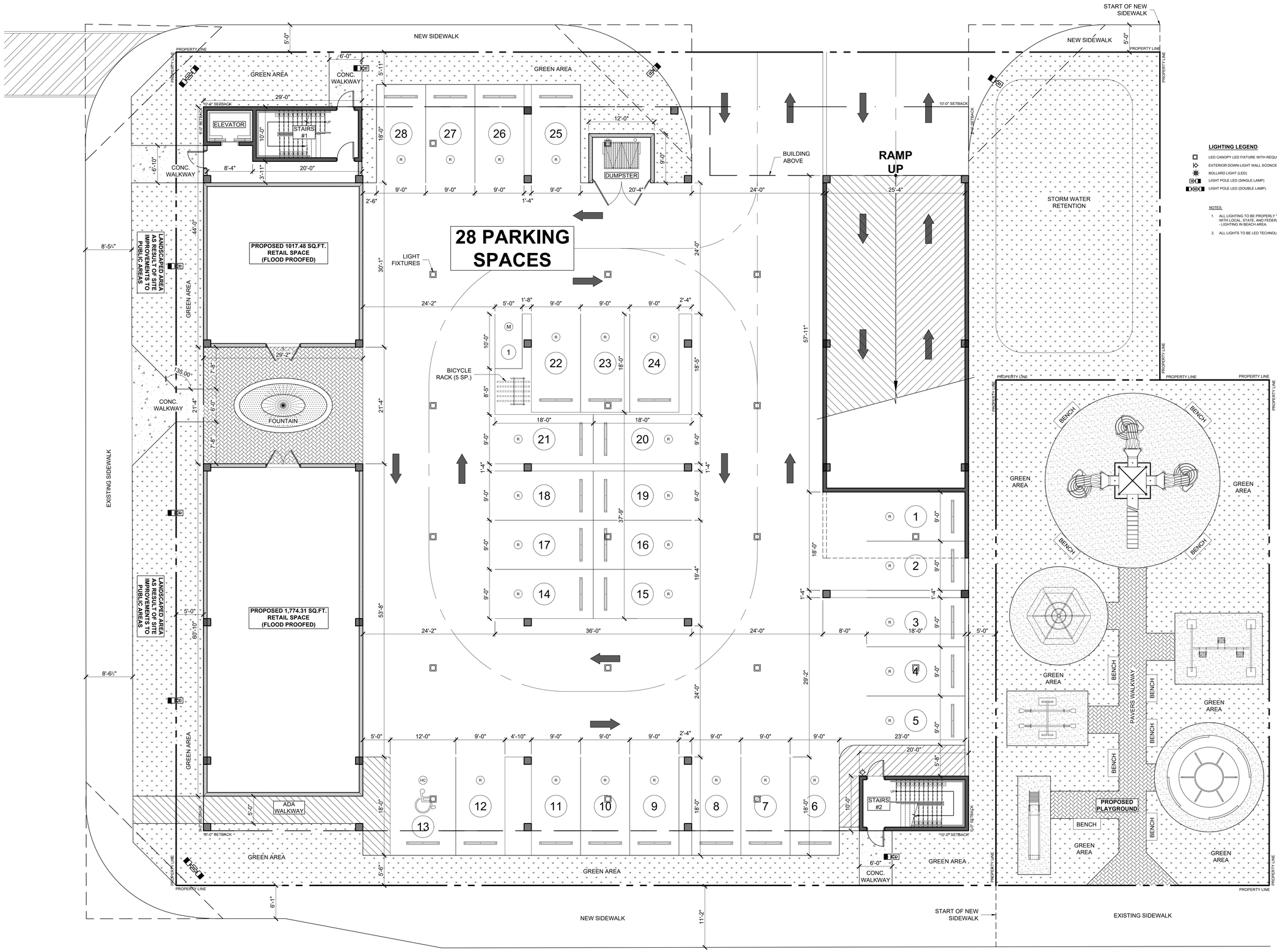
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. WHEN REPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

DRAWN BY	TT-AT-JB-CS
UPDATED ON	Dec. 16, 21
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	A-1.2



1 A-1.3 GROUND FLOOR PARKING PLAN (EAST SIDE)

SCALE: 1/8" = 1'-0"

LIGHTING LEGEND

- LED CANOPY LED FIXTURE WITH REQUIRED MOUNTING HARDWARE
- EXTERIOR DOWN LIGHT WALL SCONCE WITH REQUIRED MOUNTING HARDWARE
- BOLLARD LIGHT (LED)
- LIGHT POLE LED (SINGLE LAMP)
- LIGHT POLE LED (DOUBLE LAMP)

NOTES:

1. ALL LIGHTING TO BE PROPERLY "TURTLE" SHIELDED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL STATUTES PER SECTION 110-506 - LIGHTING IN BEACH AREA
2. ALL LIGHTS TO BE LED TECHNOLOGY.

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

JOHN A. BODZIAK & ASSOC. INC., HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGN. THESE PLANS, IDEAS AND DESIGN SHALL NOT BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JOHN A. BODZIAK & ASSOC. INC. IN ADDITION, JOHN A. BODZIAK & ASSOC. INC. WRITTEN DIMENSIONS SHALL PREVAIL. DRAWINGS NOT TO BE SCALED. ALL CLAIMS, RIGHTS, LIABILITY AND RE RESPONSIBILITIES ARISING FROM THE USE OF THESE DOCUMENTS OTHER THAN THE RECOGNIZED INTENDED PURPOSE FOR WHICH JOHN A. BODZIAK & ASSOC. INC. WAS RETAINED IS A VIOLATION OF THE LAW AND MAY BE PROSECUTED. ALL RIGHTS ARE RESERVED.

NO.	DATE	REVISIONS DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

CLIENT

PROJECT

SCHOONER RESORT

14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

GROUND FLOOR PARKING PLAN (EAST SIDE)

SEAL

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
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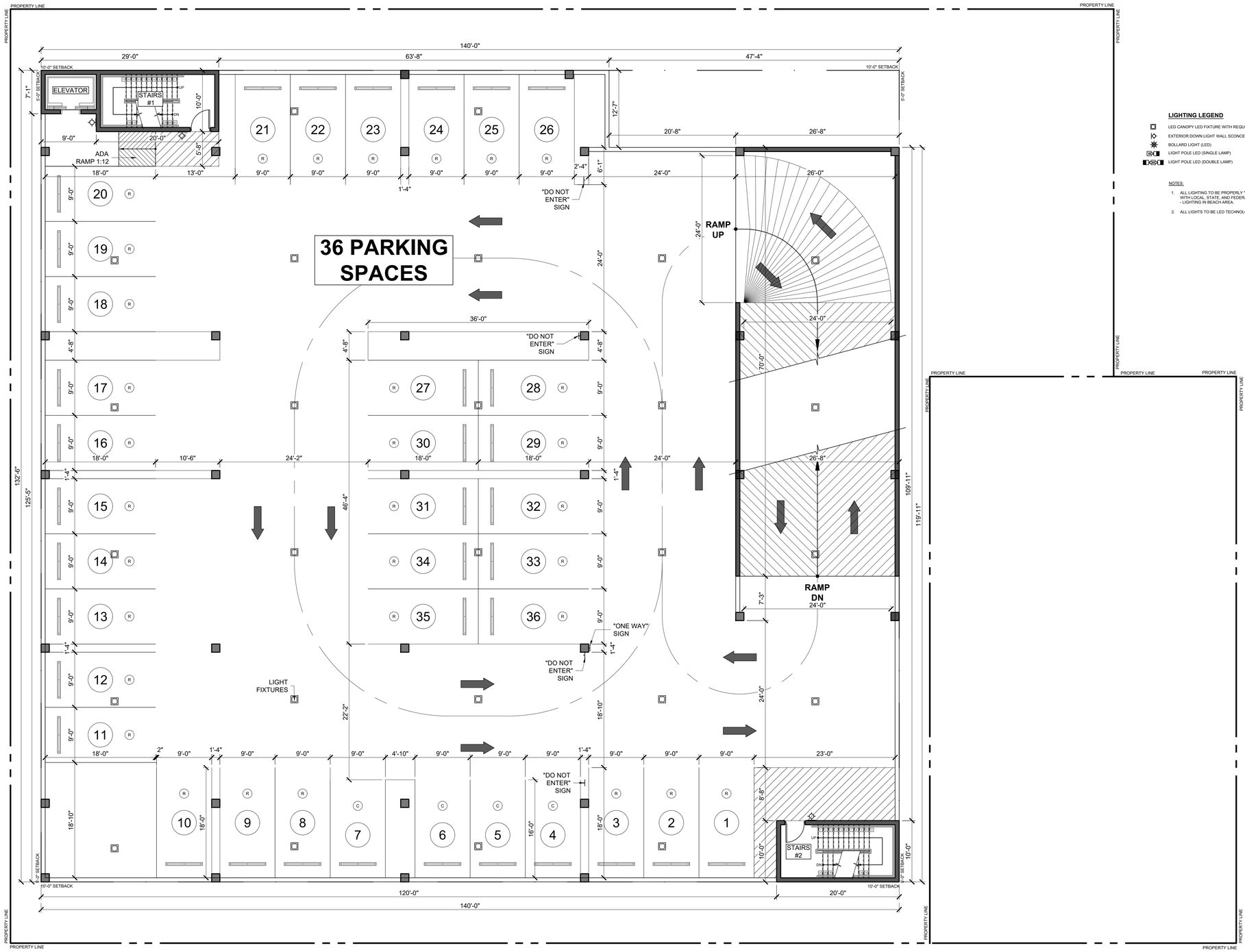
EMAIL: JACK@JABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

DRAWN BY	TT-AT-JB-CS
UPDATED ON	Jan. 11, 22
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	A-1.3



1 / A-1.4 SECOND FLOOR PARKING PLAN (EAST SIDE)

SCALE: 1/8" = 1'-0"

NORTH

LIGHTING LEGEND

- LED CANOPY LED FIXTURE WITH REQUIRED MOUNTING HARDWARE
- EXTERIOR DOWN LIGHT WALL SCONCE WITH REQUIRED MOUNTING HARDWARE
- BOLLARD LIGHT (LED)
- LIGHT POLE LED (SINGLE LAMP)
- LIGHT POLE LED (DOUBLE LAMP)

NOTES:

1. ALL LIGHTING TO BE PROPERLY "TURTLE" SHIELDED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL STATUTES PER SECTION 110-506 - LIGHTING IN BEACH AREA
2. ALL LIGHTS TO BE LED TECHNOLOGY.

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECTS KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

JOHN A. BODZIAK & ASSOC. INC., HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGN. THESE PLANS, IDEAS AND DESIGN SHALL NOT BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JOHN A. BODZIAK & ASSOC. INC. ANY REUSE BY THE OWNER OR ASSIGNEE FOR ANY OTHER PROJECT, WITHOUT THE EXPRESS WRITTEN CONSENT OF JOHN A. BODZIAK & ASSOC. INC., WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. ALL VERIFICATIONS TO BE MADE BY CONTRACTOR FROM THE DIMENSIONS, CONDITIONS AND SPECS. FOR PERMITS, BID AND CONSTRUCTION.

NO.	DATE	DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

CLIENT

PROJECT

SCHOONER RESORT

14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

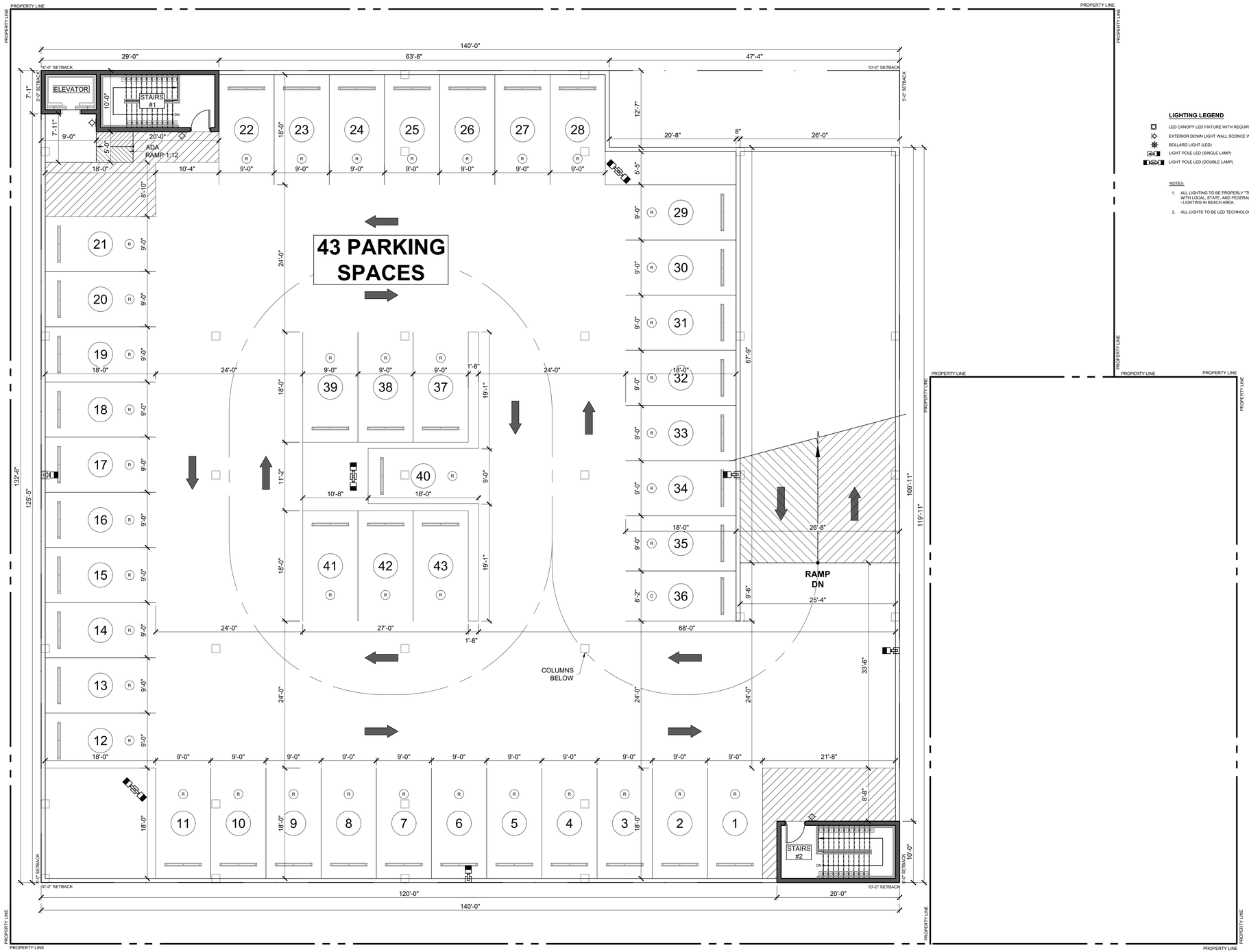
SECOND FLOOR PARKING PLAN (EAST SIDE)

SEAL

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0006065
EMAIL: JACK@JABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH WORK. ANY WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS. ANY DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

DRAWN BY	TT-AT-JB-CS
UPDATED ON	Jan. 12, 22
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	A-1.4



1 A-1.5 ROOF FLOOR PARKING PLAN (EAST SIDE)

SCALE: 1/8" = 1'-0"

NORTH

LIGHTING LEGEND

- LED CANOPY LED FIXTURE WITH REQUIRED MOUNTING HARDWARE
- EXTERIOR DOWN LIGHT WALL SCONCE WITH REQUIRED MOUNTING HARDWARE
- BOLLARD LIGHT (LED)
- LIGHT POLE LED (SINGLE LAMP)
- LIGHT POLE LED (DOUBLE LAMP)

NOTES:

1. ALL LIGHTING TO BE PROPERLY "TURTLE" SHIELDED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL STATUTES PER SECTION 110-506 - LIGHTING IN BEACH AREA
2. ALL LIGHTS TO BE LED TECHNOLOGY.

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

JOHN A. BODZIAK & ASSOC. INC., HEREBY RESERVES ITS ARCHITECTURAL RIGHTS AND STATUTORY AND COMMON LAW RIGHTS IN THESE PLANS, IDEAS AND DESIGN. THESE PLANS, IDEAS AND DESIGN MAY NOT BE USED OR REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JOHN A. BODZIAK & ASSOC. INC. ANY REUSE BY THE OWNER OR OTHERS ON ANY OTHER PROJECT OR EXTENSION OF THIS PROJECT, WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOHN A. BODZIAK & ASSOC. INC., WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL DEMAND THE RESPONSIBILITY OF THE CONTRACTOR.

NO.	DATE	REVISIONS DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

CLIENT

SCHOOONER RESORT

14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

ROOF FLOOR PARKING PLAN (EAST SIDE)

SEAL

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005005
EMAIL: JACK@JABODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

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DRAWN BY	TT-AT-JB-CS
UPDATED ON	Jan. 11, 22
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	A-1.5

1
A-5.0

EAST ELEVATION (FRONT)

SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

NO.	DATE	REVISIONS DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

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CLIENT

SCHOONER RESORT

14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

EAST ELEVATION (FRONT)

SEAL

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0006065
EMAIL: JACK@ARBODZIAK.COM
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING TO COMPLETE SUBJECT WORK OR CONSTRUCTION. ANY REPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

DRAWN BY	TT-AT-JB-CS
UPDATED ON	Dec. 16, 21
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	A-5.0

1 / A-5.1 NORTH ELEVATION (RIGHT SIDE)

SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

NO.	DATE	DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

REVISIONS

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PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

NORTH ELEVATION (RIGHT SIDE)

CLIENT

SEAL

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005065
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TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY	TT-AT-JB-CS
UPDATED ON	Dec. 16, 21
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SHEET #	A-5.1

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

1
A-5.2

SOUTH ELEVATION (LEFT SIDE)

SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

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NO.	DATE	REVISIONS DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

CLIENT

PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

SOUTH ELEVATION (LEFT SIDE)

SEAL

JOHN A. BODZIAK
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DRAWN BY	TT-AT-JB-CS
UPDATED ON	Dec. 16, 21
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	A-5.2

1
A-5.3

WEST ELEVATION (REAR)

SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE GRPL EARGS MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH DESCRIPTIVE BS 9999 BS L LAWS OF FLORIDA.

REVISIONS		
NO.	DATE	DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

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JOHN A. BODZIAK & ASSOC. INC. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS. ALL ERRORS AND OMISSIONS SHALL BE REPORTED TO THE ARCHITECT OF RECORD. NO ALTERATIONS TO BE MADE IN DIMENSIONS OR SPECIFICATIONS WITHOUT WRITTEN CONSENT FROM THE ARCHITECT OF RECORD.

CLIENT

PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA
WEST ELEVATION (REAR)

SEAL

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN AND CONSTRUCTION MANAGEMENT
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DRAWN BY	TT-AT-JB-CS
UPDATED ON	Dec. 16, 21
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	A-5.3

1
A-5.4

WEST ELEVATION (EAST BUILDING)

SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

NO.	DATE	DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

REVISIONS

JOHN A. BODZIAK & ASSOC. INC., HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS, IDEAS AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JOHN A. BODZIAK & ASSOC. INC.

JOHN A. BODZIAK & ASSOC. INC. WRITTEN DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL WORK SHALL CONFORM TO THE ARCHITECT'S SEAL, LIBERTY AND HE RESPONDED FOR DIMENSIONS AND DESIGN IN THESE PLANS. ANY DISCREPANCIES FOUND BY JOHN A. BODZIAK & ASSOC. INC. WRITTEN DIMENSIONS SHALL BE NOTIFIED IN WRITTEN OF ANY VARIATION FROM THE DIMENSIONS, CONDITIONS AND SPECS. OR ANY DISCREPANCIES FOUND.

PROJECT

SCHOONER RESORT

14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

WEST ELEVATION (EAST BUILDING)

CLIENT

SEAL

JOHN A. BODZIAK
ARCHITECT AIA, PA
ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
FLORIDA REGISTRATION NO. AR0005005
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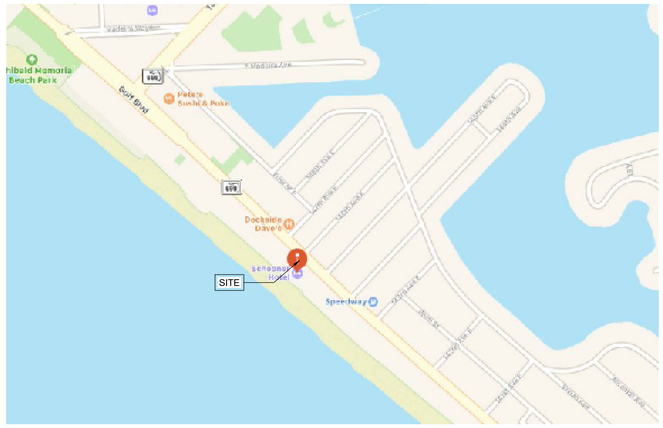
743 49th STREET N. SAINT PETERSBURG, FLORIDA 33710
TEL: (727) 327-1966 FAX: (727) 826-0968

DRAWN BY	TT-AT-JB-CS
UPDATED ON	Jan. 11, 22
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	A-5.4

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

SCHOONER HOTEL

SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST
PINELLAS COUNTY, FLORIDA



LOCATION MAP

LEGAL DESCRIPTION:

LOTS 1, 2, 71, 72, 73, AND 74, SUNNY SHORES, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

AND

LOT 3, SUNNY SHORES, AS RECORDED IN PLAT BOOK 24, PAGE 15 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, ALSO KNOWN AS BEACH PLAZA APARTMENT MOTEL CONDO UNITS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 and 14 INCLUSIVE BEACH PLAZA APARTMENT MOTEL CONDO, BEACH PLAZA APARTMENT MOTEL CONDO (COMMON ELEMENTS). ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 86, PAGE 93, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

AND

LOTS 1, 2, 3, AND 4, MADEIRA SHORES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE 87, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

DRAWING LIST:

INDEX	INDEX
C-0	COVER SHEET
C-1	CIVIL SITE PLAN

PRELIMINARY/PERMIT DOCUMENTS

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY PATRICIA P. MONTECKI, P.E. ON AUGUST 12, 2021.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PATRICIA P. MONTECKI LICENSE No. 54894 STATE OF FLORIDA PROFESSIONAL ENGINEER

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTER 553 AND 633, LAWS OF FLORIDA.

NO.	DATE	DESCRIPTION
	11/16/2021	SUBMITTAL PER CITY COMMENTS
	12/14/2021	SUBMITTAL PER CITY COMMENTS

JOHN A. BODZIAK & ASSOC. INC., HEREIN REFERRED TO AS "THE ARCHITECT" HAS ALL RIGHTS, INCLUDING BUT NOT LIMITED TO COPYRIGHTS, TO ALL THE INFORMATION CONTAINED IN THESE PLANS, IDEAS AND DESIGN. THESE PLANS, IDEAS AND DESIGN MAY NOT BE USED, REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JOHN A. BODZIAK & ASSOC. INC. IN ADDITION, JOHN A. BODZIAK & ASSOC. INC. WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALED DIMENSIONS. WORK MUST ALSO COMPLY WITH ALL LOCAL, STATE AND FEDERAL BUILDING CODES, LAWS, STATUTES, ORDINANCES, REGULATIONS AND LIFE SAFETY STANDARDS. ANY DISCREPANCIES FOUND IN THE DRAWINGS, CONDITIONS AND SPECS. MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.

CLIENT

PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA
COVER SHEET

SEAL

JOHN A. BODZIAK
ARCHITECT AIA, PA
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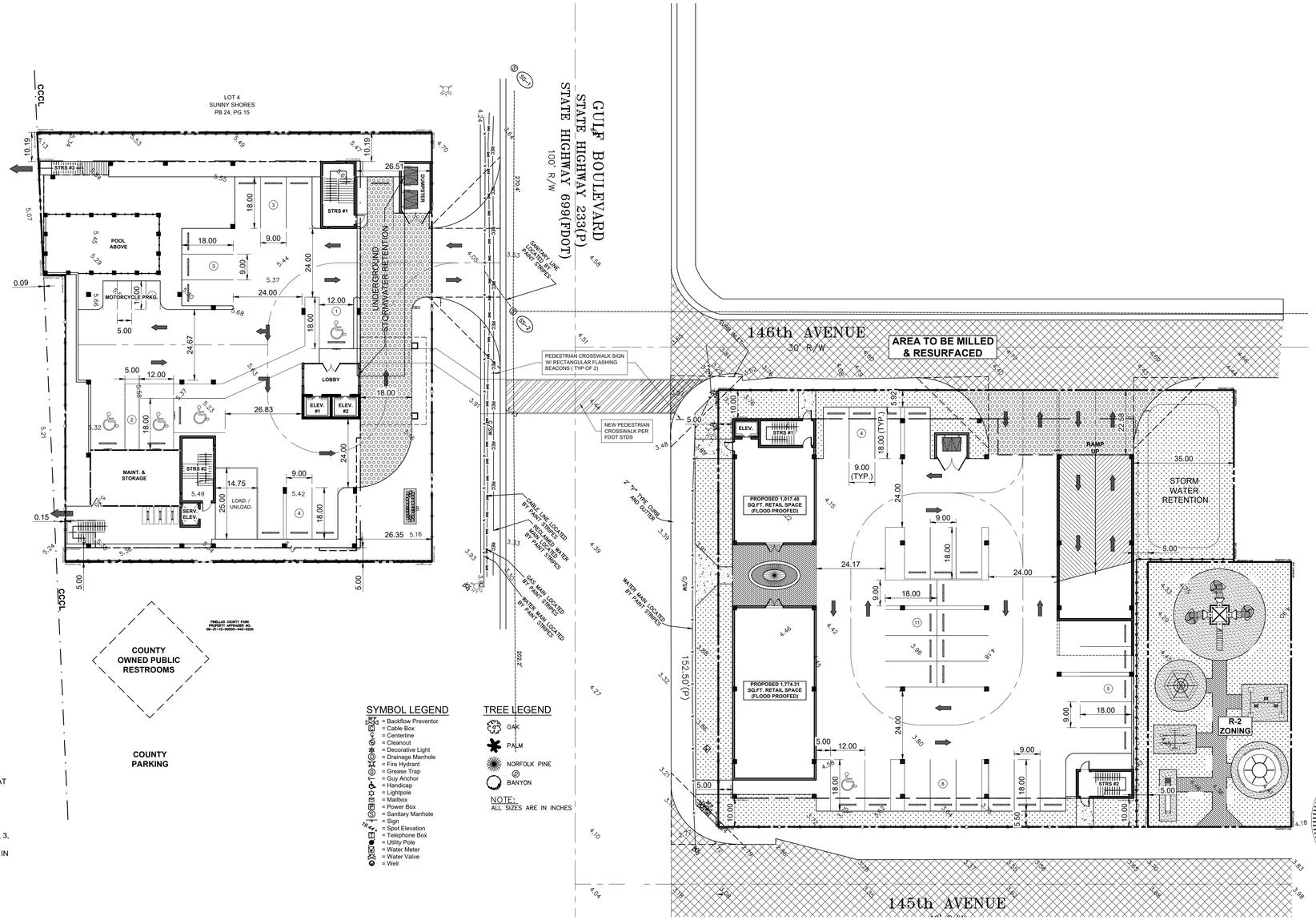
DRAWN BY	
UPDATED ON	Dec. 16, 21
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	C-0



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1 / C-1 CIVIL SITE PLAN

SCALE: 1" = 20'-0"

NORTH

SCALE: 1" = 20'-0"

20 10 0 20

GRAPHIC SCALE (IN FEET)

DRAINAGE REQUIREMENTS:

WEST (BLDG 1):
CITY REQ. 1" OVER IMPERVIOUS = $\frac{1}{12}$ X 16,805 SF = 1,400 CF

SWFWMD REQ. $\frac{3}{4}$" OVER SITE = .75/12 X 19200 = 1,200 CF, USE 1,400 CF

EAST (BLDG. 2):
CITY REQ.: $\frac{1}{12}$ X 27,049 SF = 2,254 CF

SWFWMD REQ.: .75/12 X 29,300 SF = 1,831 CF, USE 2,254 CF

STORMWATER QUALITY VOLUME TO BE TREATED/STORED IN RETENTION POND AND/OR EXFILTRATION SYSTEM LOCATED ON GRADE.

PATRICIA P. MONTECKI
LICENSE
No. 54894
STATE OF FLORIDA
PROFESSIONAL ENGINEER

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY PATRICIA P. MONTECKI, P.E. ON AUGUST 12, 2021.

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PROJECT
SCHOONER RESORT
14500 - 14550 GULF BOULEVARD
MADEIRA BEACH, FLORIDA

CIVIL SITE PLAN

CLIENT

SEAL

JOHN A. BODZIAK
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UPDATED ON	Dec. 16, 21
DATE	OCT - 2018
JAB PROJECT #	2018-029
SHEET #	C-1