

**From:** [John Crane](#)  
**To:** [Flood Inquiry](#); [Frank Egger](#); [Christopher Martin](#); [gpaulson@cityoflarkspur.org](#); [Peter Hogg](#); [richardgumbiner@yahoo.com](#); [dhcnic@comcast.net](#); [Sean Condry](#); [BOS](#); [Derek Johnson](#); [Christa Johnson - Town Manager](#); [towncouncil@townofsananselmo.org](#); [towncouncil@townofross.org](#)  
**Subject:** FLOOD ZONE 9 ADVISORY BOARD MEETING AGENDA ITEM #5  
**Date:** Thursday, February 27, 2025 1:45:07 PM  
**Attachments:** [BB2 Sent Letters .pdf](#)

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**FLOOD ZONE 9 ADVISORY BOARD MEETING AGENDA ITEM #5  
RE: BB2 REMOVAL & IMPACTS TO SELECT PROPERTY OWNERS LETTERS**

**February 27, 2025**

Attached are letters sent by the County to select property owners regarding the removal of BB2 and impacts to their properties. Their representation that they have contacted all property owners is simply not true. This is further proof that the County is manipulating information shared with the Flood Zone 9 Advisory Board and public.

It is a simple fact that the County has not met with “*every single property owner*” as they contend. It has also been clearly established that removal of BB2 has the vast potential to harm downstream property owners - including those the County is intentionally overlooking.

**Is the Flood Zone 9 Advisory Board willing to overlook falsehoods and misrepresentations made by the County as they urgently try to remove BB2 to advance the SAFRR project?**

**Does the Flood Zone 9 Advisory Board know what FEMA’s position is regarding the SAFRR project causing an increase to the flood risk of some NFIP policy holders?**

I hope the Flood Zone 9 Advisory Board will not be party to the County’s malfeasance and flawed flood control plans.

Respectfully

John Crane  
86 Sir Francis Drake Boulevard  
Ross, CA

Attachment: BB2 Sent Letters



## DEPARTMENT OF PUBLIC WORKS

Quality. Excellence. Innovation.

Rosemarie R. Gaglione  
DIRECTOR

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Neil E. Mason  
84 Sir Francis Drake BLVD  
Ross, CA 94957

Dear Neil,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

During our meeting, we will cover the details of the removal of BB2 and what that means for your parcel. We have conducted land surveys and hydraulic assessments to understand the changes in Base Flood Elevations. We will provide you with clear information and guidance tailored to your specific parcel.

Additionally, we will provide an update on the expected timeline for removal of BB2.

To schedule a meeting please contact Justin Newsome:  
Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works

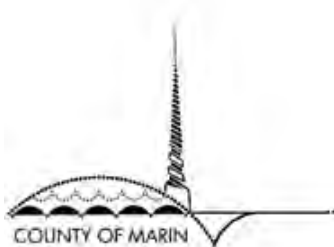
John Crane Films

415.847.5054

email: [johncranefilms@gmail.com](mailto:johncranefilms@gmail.com)







## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
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Shannon London - 560 San Anselmo Ave LLC  
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Dear Shannon,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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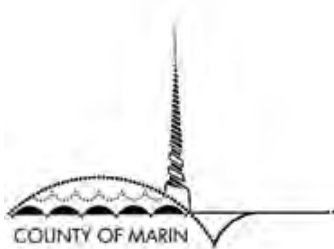
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Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

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Rosemarie R. Gaglione  
DIRECTOR

Basil Group LLC  
554-558 San Anselmo Ave  
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Dear Basil Group LLC,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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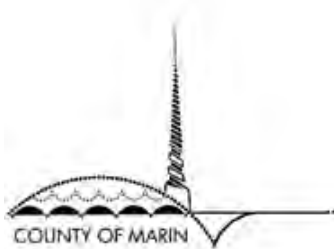
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Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

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Rosemarie R. Gaglione  
DIRECTOR

Bridge Place Limited Partnership  
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San Rafael, CA 94913-4186  
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Dear Bridge Place Limited Partnership,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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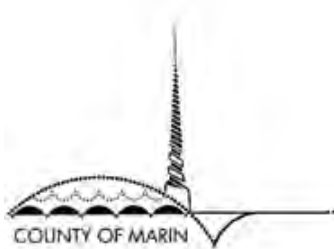
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

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Rosemarie R. Gaglione  
DIRECTOR

Teri Montz and Ralph Merlo  
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Dear Teri and Ralph,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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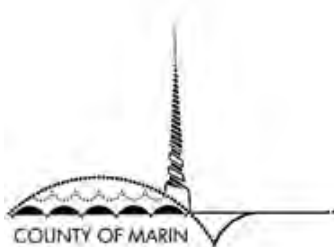
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

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Rosemarie R. Gaglione  
DIRECTOR

Michael and Kathleen Kluse  
190 Sir Francis Drake BLVD  
San Anselmo, CA 94960

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Dear Michael and Kathleen,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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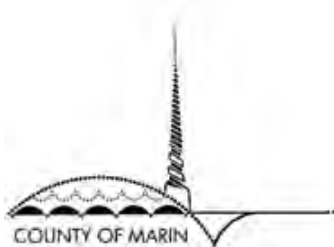
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

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Rosemarie R. Gaglione  
DIRECTOR

James and Julie Graziani Property Trust  
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San Anselmo, CA 94960

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Dear James and Julie,

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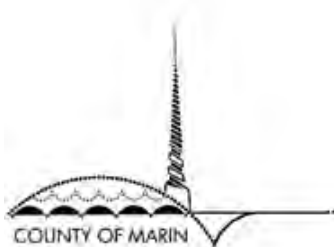
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We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

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Rosemarie R. Gaglione  
DIRECTOR

K&M Company  
90 Sir Francis Drake BLVD  
Ross, CA 94957

Administration  
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San Rafael, CA 94913-4186  
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Dear K&M Company,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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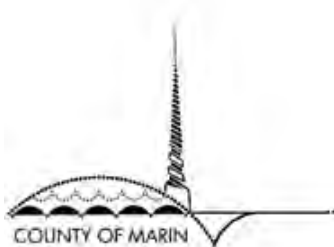
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Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works





## DEPARTMENT OF PUBLIC WORKS

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Rosemarie R. Gaglione  
DIRECTOR

Thomas Perry - 130 SFD LLC  
130 Sir Francis Drake BLVD (#140 on plan)  
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San Rafael, CA 94913-4186  
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Dear Thomas,

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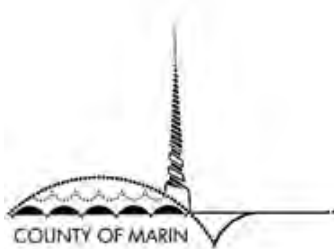
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Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works





## DEPARTMENT OF PUBLIC WORKS

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Rosemarie R. Gaglione  
DIRECTOR

Muir Residential Investments  
10 Lincoln Court  
San Anselmo, CA 94960

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Dear Muir Residential Investments,

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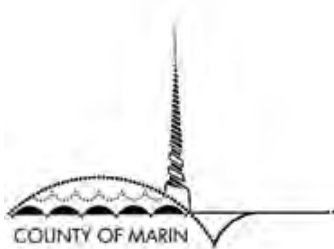
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Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

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Rosemarie R. Gaglione  
DIRECTOR

Warren Perry  
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Dear Warren,

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Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

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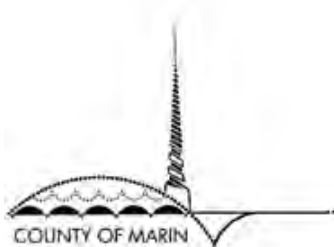
Additionally, we will provide an update on the expected timeline for removal of BB2.

To schedule a meeting please contact Justin Newsome:  
Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

Warren Perry  
100 Sir Francis Drake BLVD  
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Dear Warren,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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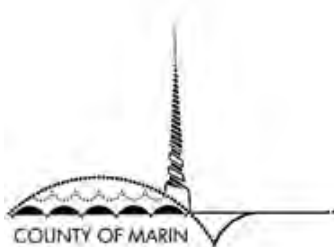
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

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Dear Jerome,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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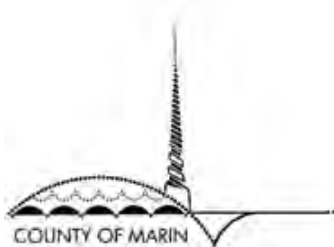
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

Donielle Borgo  
14 Barber Ave  
San Anselmo, CA 94960

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Dear Donielle,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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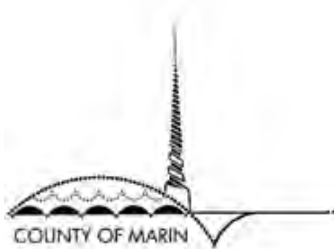
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To schedule a meeting please contact Justin Newsome:  
Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

Colin Kelly  
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Dear Colin,

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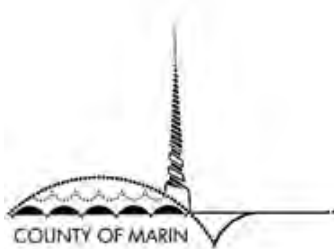
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works





## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

Property Owner  
64 Barber Ave  
San Anselmo, CA 94960

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Dear Resident,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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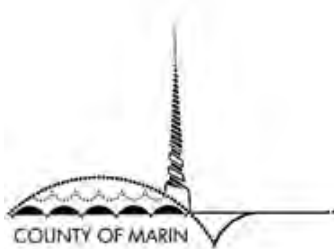
To schedule a meeting please contact Justin Newsome:  
Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works





## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

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Dear Vu,

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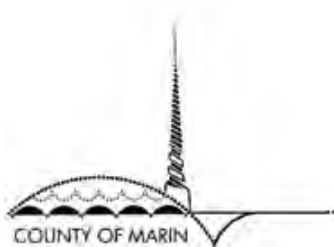
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

William Maly  
70 Barber Ave  
San Anselmo, CA 94960

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CRS Dial 711  
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Dear William,

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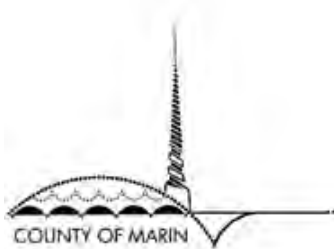
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

Cyril Eager  
36 Sir Francis Drake BLVD  
San Anselmo, CA 94960

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San Rafael, CA 94913-4186  
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Dear Cyril,

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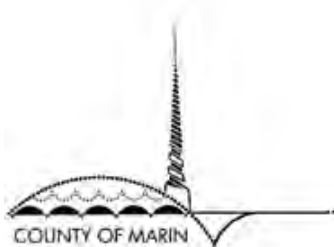
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

Kevin and Radhika Ahern  
130 Barber Ave  
San Anselmo, CA 94960

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Dear Kevin and Radhika,

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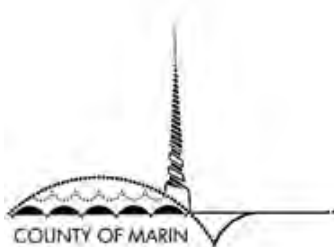
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

Hans Christian Lind  
34 Sir Francis Drake BLVD  
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Dear Hans,

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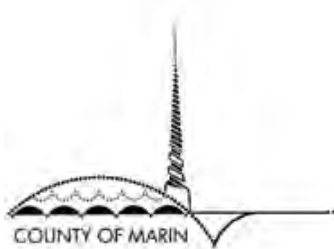
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

Joseph and Patricia Burke  
142 Barber Ave  
San Anselmo, CA 94960

Administration  
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Dear Joseph and Patricia,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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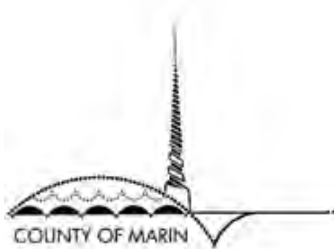
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

Keith and Helena Marsh  
32 Sir Francis Drake BLVD  
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Dear Keith and Helena,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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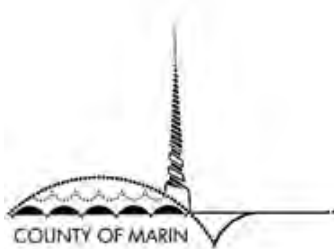
To schedule a meeting please contact Justin Newsome:  
Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works





## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

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Dear Thomas and Susan,

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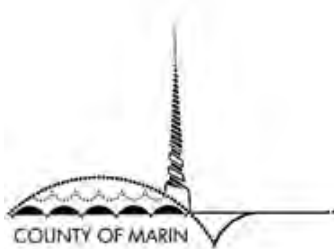
To schedule a meeting please contact Justin Newsome:  
Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works





## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
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Dear Alexandra,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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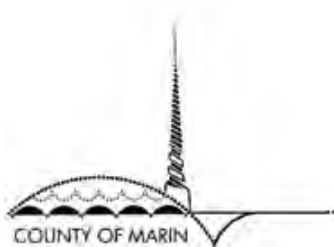
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
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Dear Kevin,

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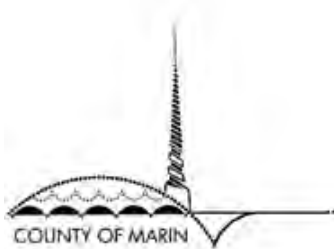
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To schedule a meeting please contact Justin Newsome:  
Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

Joseph and Bettina Moore  
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Dear Joseph and Bettina,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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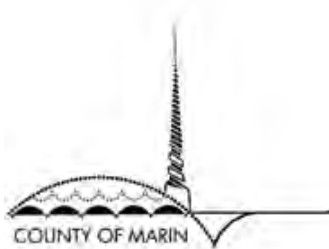
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To schedule a meeting please contact Justin Newsome:  
Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
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William and Marcia Solomon  
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Dear William and Marcia,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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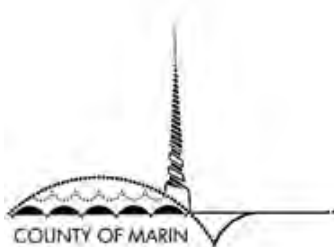
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
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Dear Randa,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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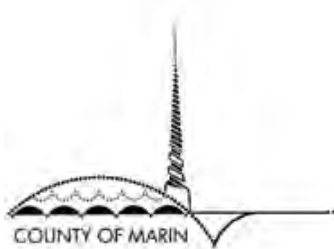
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To schedule a meeting please contact Justin Newsome:  
Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
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Dear Jeff and Emily,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

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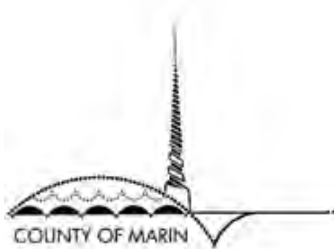
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Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

K&M Company  
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Dear K&M Company,

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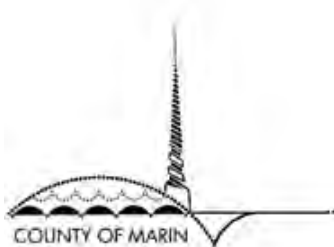
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Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works





## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
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84 Sir Francis Drake BLVD  
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Dear Neil,

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Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

Berenice Davidson, P.E.  
Assistant Director, Public Works



**From:** [Jennifer Mota](#)  
**To:** [Flood Inquiry](#)  
**Cc:** [John Crane](#); [Samantha Hobart](#); [Doug Ryan](#); [Garrit Page](#); [Charles Goodman](#)  
**Subject:** [Sent to .org] Public Comment for Flood Board Advisory Meeting Feb 27th, 2025 regarding removal of BB2 and negative impacts to downstream parcels  
**Date:** Thursday, February 27, 2025 12:49:13 PM  
**Attachments:** [Attachment D.pdf](#)  
[Attachment A.pdf](#)

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You don't often get email from jrosemota@gmail.com. [Learn why this is important](#)

Hello,

I am writing to express concerns about the SAFRRP.

Attached are 4 documents to reference:

- Site inspection Memo, San Anselmo Flood Risk Reduction Project— Residential Scale Flood Risk Mitigation, Stetson Engineers Inc. December 3,2019 (Attachment A)
- Paragraph from 2018 Flood District FAQ sheet (Attachment B)
- Image of signage posted that was posted in creek just two homes downstream from my property (Attachment C)
- The most current modeled results and survey data given to me on 11/28/2023 in a meeting I had with Tracy Clay and Berenice Davidson (Attachment D)

I have concerns over the information which has been presented to me. The signage in the creek (attachment C) clearly states that when BB2 is removed **and the Winship Bridge remains intact** Base Flood Elevation **will rise** 1.2 inches for a 100 year storm. Survey results from 2019 (see attachment A) support this statement and show there will be an increase in BFE for 25 and 100 year events at my property. **NOW** the new data presented to me for my parcel states there will be a decrease in BFE creekside of my home and streetside during a 100 year event and will only see an increase in BFE during a 25 year event on the street side of my home (see attachment D). The Flood District's signage says BFE for a 100 year event will increase at my home, but decrease on the most recent survey results they gave me. What am I to believe? They have been misinforming me and my neighbors for years? I have no faith in their work and what they are currently presenting. This project should not be permitted to continue.

The fact remains WSE (water surface elevation) will rise at my property as a result of removing BB2 and it needs to be mitigated BEFORE any more work is completed for this project. The Flood District has broke the law once, by removing the restaurant without

performing necessary mitigation, which was promised in the FEIR, before demolition. In the FEIR it was stated there were 13 homes identified (see attachment A) as having a rise in BFE at their parcels downstream of the BB2, that list has now grown to 50. Because there are now new impacts due to changing parameters and addendums made for this project a new Environmental Impact Report must be completed, and it is not. This is another reason a CLOMR is not necessary at this time.

So much time and money has been wasted on this project. There have been at least 3 surveys done on my specific parcel to take elevation measurements to run them through their ever changing models. Why the need for so many surveys? Why did they need to get a different surveying company to come and collect the same information they already had? Seems like a waste of money and as though they were trying to get specific results.

Lastly, it is of **GREAT** concern they have not made results of their surveying public on their website. I have asked multiple times where this information could be found for public viewing and have been given no answer. In the last Flood Zone 9 Advisory Board Meeting on November 7th, 2024, I asked this question again, also informing the Board I did not have a complete list of the now 50 homes stated to see negative impacts, which I had previously asked Tracy Clay and Berenice Davidson to provide to me. I still do not have a complete, accurate list of all the parcels seeing rises in BFE. I am also **EXTREMELY** concerned that Tracy Clay claimed in the last Advisory Board meeting she has met with **ALL** negatively impacted homeowners. This is a lie and there are other public comments to support my position as true.

Do the right thing. Stop the CLOMR and work with homeowners to complete promised and necessary mitigation before moving forward.

### **Questions about CLOMR for Tracy Clay and Berenice Davidson:**

What items need to be included in the CLOMR application?

Do you need to submit information stating there are 50 homes being negatively impacted that will not receive mitigation? Or will this be omitted from the application? Are you going to include in this application you are using FFF elevations as your threshold? Are you going to tell FEMA increasing BFE's at parcels that already have BFE above the LAG and/or FFF classifies as "no impact" therefore needing no mitigation?

Who gets to see this application before it is filed with FEMA? Does the public get to see the CLOMR before it is sent in? **Here, in this letter, I am officially requesting to see the CLOMR before it is submitted.**

Are Public Works officials in Ross and San Anselmo needed to sign the CLOMR before it is submitted? Have you spoken with Sean Condry and Richard Simonitch about the parcels

being negatively impacted in San Anselmo and Ross?

Why would FEMA approve this CLOMR if this project clearly is in violation of their "No Rise" Requirements? What happens if the CLOMR is rejected? What happens if the CLOMR is accepted by FEMA?

Do the right thing and stop this mismanaged and dangerous project from continuing.

With Much Concern,  
Jennifer and Lucas Mota  
82 Sir Francis Drake Blvd.  
San Anselmo, CA 94957

## Site Inspection Summary Memo

### San Anselmo Flood Risk Reduction Project – Residential Scale Flood Risk Mitigation

Stetson Engineers Inc.

December 3, 2019

#### Purpose

The purpose of this memo is to document a site inspection performed by Stetson Engineers of properties that were determined to be potentially impacted by the Project and, as appropriate, describe reasonable and effective mitigation measures for those impacted structures, if any, consistent with the Final Environmental Impact Report (FEIR) for the San Anselmo Flood Risk Reduction Project (SAFRR).

#### Background

The Marin County Flood Control and Water Conservation District (District) Board certified the FEIR for the SAFRR Project (Project) on September 18, 2018, and a Notice of Determination was filed with the Marin County Clerk's office. The FEIR identifies several project impacts and describes mitigation measures to address those impacts. The FEIR also describes the benefits realized by the project with 635 properties in the watershed seeing reduced flood risk during the 25-year flood event.

This memo pertains to Impact 4.9-4 and Mitigation Measure 4.9-4 which relate to small, project induced increases in flooding downstream of downtown San Anselmo Avenue in the vicinity of the Winship Bridge as follows:

**Impact 4.9-4:** (FEIR Vol. 1, p. 2-7) Removal of the building at 634-636 San Anselmo Avenue in downtown San Anselmo would lead to small increases in inundation depths and/or small increases in the extent of flooding from San Anselmo Creek in the 25-year event and the 100-year event.

**Mitigation Measure 4.9-4: Provide Flood Protection to Substantially Affected Areas:** (FEIR Vol. 2, p. 2-25) For areas upstream and downstream of the Winship Bridge (between Barber Avenue and the Sir Francis Drake Bridge): The Flood Control District shall develop and implement flood barriers on properties where existing habitable structures would experience new inundation in a 25-year event. The flood barriers shall be designed based on hydraulic modeling demonstrating that the flood barriers would protect existing habitable structures on any properties upstream of the Sir Francis Drake Bridge from new inundation during the 25-year event or to any higher degree of protection required for that particular type of measure by applicable building codes. Flood barriers include but are not limited to the following measures:

- Elevation of structures above the 100-year flood elevations
- Basement removal and construction of an addition to contain utilities removed from the basement
- Wet flood proofing of structures, in which, with use of water resistant materials, floodwaters are allowed to enter a structure during a flood event
- Dry flood proofing of structures

- Berms or flood walls

The flood barriers would ensure that existing habitable structures would not be inundated by the 25-year event. Upon confirmation of permission by the property owners, the Flood Control District shall implement this measure, including implementing any measures identified in permits required from the California Department of Fish and Wildlife, Regional Water Quality Control Board, or other regulatory agencies. However, the potentially adversely affected parcels are privately owned, and the Flood Control District is not proposing to require the installation or implementation of flood barriers without the consent of the property owner(s), who may request that such measures not be implemented. In that case, this Mitigation Measure would not be implemented, and the affected parcels may experience an increased level of flood inundation in a 25-year event or larger.

The degree of flood protection provided to an individual property will vary depending on the specifics of the flood barrier selected. For most of the flood barriers, the Flood Control District shall provide protection from the 25-year event. However, pursuant to Marin County building code and associated permitting requirements, any increase in structure elevation must be to an elevation sufficient to raise the finished first floor above the elevation of the 100-year flood event. Therefore, property owners who accept that form of flood barrier would receive assistance to implement 100-year protection.

The FEIR defines the terms “increased depth” and “new inundation” as follows:

(FEIR Vol. 2, p. 2-20) “Increased Depth” means that the model results indicate that a portion of the property would flood during a 25-year flood event under existing conditions, but that it would experience a greater depth of inundation after the project is implemented. “New Inundation” means that modeling shows the property would not be affected by flooding during a 25-year flood event under existing conditions but that it would be affected if the Project were implemented.

#### Methods

This memo identifies properties where existing habitable structures would experience new inundation in a 25-year event or 100-year event and, where appropriate, describes reasonable and effective mitigation measures for those impacted structures, if any, consistent with Mitigation Measure 4.9-4. Stetson used the National Flood Insurance Program (NFIP) regulations to identify the impacted properties as required by the FEIR, as follows:

(FEIR, Vol. 2, p. 2-25) For purposes of the Draft EIR, the NFIP regulations were used to select the appropriate threshold defining where the impacts of increased flood risk would be significant (that is, to identify which types of existing structures should be protected from project-related increased flood risk). To clarify, the Flood Control District intends for the “first finished floor” identified in Draft EIR Impact 4.9-4 (page 4.9-56) to be the same as the “lowest floor” as defined in the NFIP.

To determine whether a particular property's existing habitable structure(s) was impacted, Stetson evaluated the structure at its first finished floor. Applying first finished floor to determining new inundation and applying that determination to an entire structure is consistent with the FEIR (Vol. 1, Section 4.9.3.2, Approach to Analysis; and Impact 4.9-4).

Prior to the site inspection, Stetson ran the model to preliminarily identify potentially impacted properties in the vicinity of Winship Bridge. Stetson ran the model for the 25-year flood event and the 100-year flood event for existing conditions and conditions with the Project and other foreseeable flood projects in place. Stetson used the most updated designs for the Project and other foreseeable projects in the modeling. Stetson examined the model results to preliminarily identify properties with structures that would be potentially impacted by new inundation. Stetson preliminarily identified potentially impacted structures as those where the new inundation appeared to occur within footprint of the structure based on visual examination of spatial model results overlaid on an aerial photo/structure footprint map obtained from the Marin County Assessor's Office. Stetson preliminarily identified thirteen potentially impacted properties where examination of model results revealed a potential for new inundation within the footprint of a structure. Those thirteen properties are shown in Figure 1A and 1B and are listed below:

<b>Preliminarily Identified Properties in the Vicinity of Winship Bridge Subject to New Inundation by the SAFRR Project</b>
<b>Address, Town</b>
190 SFD, S.A.
160 SFD, S.A.
56 Lincoln Park, S.A.
130 SFD, S.A.
98 SFD, S.A.
15 Barber, S.A.
86 SFD, Ross
84 SFD, Ross
20 Winship, Ross
82 SFD, Ross
42 Winship, Ross
78 SFD, Ross
74 SFD, Ross

The thirteen preliminarily identified potentially impacted properties were then surveyed. Professional licensed surveyors from Oberkamper and Associates performed the survey during September 23 and 24, 2019. Surveyors located and staked key features and elevations to identify properties where existing habitable structures would experience new inundation in a 25-year event or 100-year event:

- Top of the first finished floor (FFF)
- Water surface elevation of the 25-year flood event, existing conditions (Q25E)
- Water surface elevation of the 25-year flood event, Project and foreseeable conditions (Q25P)
- Water surface elevation of the 100-year flood event, existing conditions (Q100E)

- Water surface elevation of the 100-year flood event, Project and other foreseeable conditions (Q100P)

Stetson performed the site inspection on October 1, 2019 accompanied by District staff. During the site inspection, Stetson examined each structure to determine classification as to meeting the habitability requirement and to observe the locations and elevations of the staked Q25Es, Q25Ps, and FFFs.

Consistent with the FEIR (Vol. 1, Section 4.9.3.2, Approach to Analysis; and Impact 4.9-4), Stetson applied the following criteria to identify those properties where the project's impact would be significant, and require mitigation (habitable structures only):

1) If Q25E, Q25P, Q100E, and Q100P are all below the first finished floor, there would be no impact, since the project would not result in an increased risk of damage to property or loss of life.

2) If Q25E and/or Q100E are already above the first finished floor and either Q25P and/or Q100P would not increase the depth of flooding

**OR**

Q25P and/or Q100P would increase the depth of flooding but the increase would not be significant;

there would be no impact, since the project would not result in an increased risk of damage to property or loss of life.

3) If Q25E and/or Q100E are below the first finished floor and Q25P and/or Q100P increased the depth of flooding, but the increased flood elevation did not reach the first finished floor, the impact would be less than significant, since the project would not result in a substantial increase in the risk of damage to property or loss of life.

4) If Q25E and/or Q100E are below the first finished floor and Q25P and/or Q100P increased the depth of flooding such that the increased flood elevation was above the elevation of the first finished floor, the project would be considered to result in a substantial increase in the risk of damage to property or loss of life. The project's impact would be significant, and mitigation would be required.

### Results

The table below summarizes the results of the survey and site inspection. The table describes the types of impacts determined in terms defined in the FEIR as described in criteria 1 – 4 listed above and provides the survey data used to support those determinations. The water surface elevations shown for the Q25E, Q25P, Q100E, and Q100P are model output for the locations of the surveyed FFFs. For properties where the modeled water surface was not high enough to reach the location of the surveyed FFF (as indicated by a "+" symbol) the water surface elevations shown are for the model output water surface nearest the location of the surveyed FFF. At these locations there was no impact because the elevations of the Q25P and/or the Q100P were lower than the elevation of the FFF. The figure on the following page shows illustrative building type diagrams depicting the structures for the properties and the general relationship between the first finished floor and the water surface elevations of the Q25E, Q25P, Q100E, and Q100P.



### Residential Survey and Site Inspection Results and Preliminary Mitigation Measures

Property		Elevations (Feet# NAVD88)							
Address, Town		First Finished Floor	Q25E	Q25P	Q100E	Q100P	Applicable Impact Criterion		Preliminary Mitigation Measure(s)
							No Impact	Impact	
190 SFD, S.A.		46.26	44.60	44.91	45.40	45.83	1		
160 SFD, S.A.		47.88	44.27 <sup>+</sup>	44.55 <sup>+</sup>	45.11	45.49	1		
56 Lincoln Park, S.A.	Main	49.62	44.45 <sup>+</sup>	44.75 <sup>+</sup>	45.28 <sup>+</sup>	45.69 <sup>+</sup>	1		
	Office	<b>45.44</b>	44.28 <sup>+</sup>	44.57 <sup>+</sup>	<b>45.13</b>	<b>45.51</b>		4 Q100 New Inundation	Floodproof to Q100P (~0.1') – install floodgate on office door OR raise door threshold
130 SFD, S.A.		47.65	46.81 <sup>+</sup>	46.09 <sup>+</sup>	47.42 <sup>+</sup>	47.12 <sup>+</sup>	1		
98 SFD, S.A.		44.59	44.44	42.88 <sup>+</sup>	44.79	44.58	2		
15 Barber, S.A.		48.24	43.27 <sup>+</sup>	43.44 <sup>+</sup>	44.15 <sup>+</sup>	44.40 <sup>+</sup>	1		
86 SFD, Ross		39.21	37.36 <sup>+</sup>	37.75 <sup>+</sup>	38.64	38.87	1		
84 SFD, Ross		39.71	37.07	37.27	38.32	38.56	1		
20 Winship, Ross		<b>37.57*</b>	<b>37.37</b>	<b>37.63</b>	38.49	38.80		4 Q25 New Inundation	Floodproof to Q100P (~2') – Replace or overlay bottom 2' of garage perimeter with floodproof material (e.g. concrete, stucco, marine plywood) AND Install floodgate in front of garage door.
82 SFD, Ross		40.58	37.01 <sup>+</sup>	37.24 <sup>+</sup>	38.35 <sup>+</sup>	38.52 <sup>+</sup>	1		
42 Winship, Ross		38.92	37.02 <sup>+</sup>	37.25 <sup>+</sup>	38.23	38.51	1		

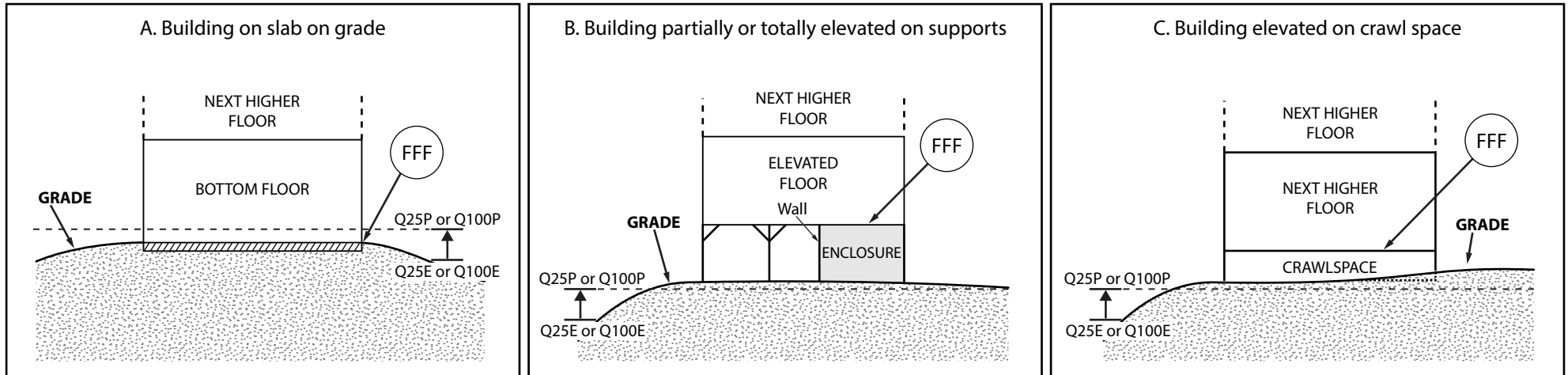
Property		Elevations (Feet <sup>#</sup> NAVD88)							
Address, Town		First Finished Floor	Q25E	Q25P	Q100E	Q100P	Applicable Impact Criterion		Preliminary Mitigation Measure(s)
78 SFD, Ross	Main	39.60	37.12	36.97	38.52	38.43	1		
	Office	<b>36.63</b>	<b>36.55</b>	<b>36.70</b>	38.09	38.22		4 Q25 New Inundation	Floodproof to Q100P (~1.6') - Replace or overlay bottom 1.6' of office perimeter with floodproof material (e.g. concrete, stucco, marine plywood). Shorten two front windows to be above Q100P AND Install floodgate in front of front door. OR Raise Structure above Q100P (~1.6') – Detach office from slab, jack-up structure, install new perimeter foundation wall.
74 SFD, Ross		41.38	36.59	36.60	37.99	38.05	1		

\* Garage is considered a “habitable structure” because it is finished and structurally integral to the main residential house.

+ Water surface does not reach the FFF elevation, so water surface elevation was taken at a location nearest the surveyed location of the FFF.

# 0.08 feet equals one inch

**Figure 1 : Building Type Diagrams and Corresponding Applicable Properties**



56 Lincoln Park (Office), San Anselmo  
20 Winship (Garage), Ross  
78 Sir Francis Drake (Office), Ross

190 Sir Francis Drake, San Anselmo  
160 Sir Francis Drake, San Anselmo  
130 Sir Francis Drake, San Anselmo  
98 Sir Francis Drake, San Anselmo  
86 Sir Francis Drake, Ross  
84 Sir Francis Drake, Ross

82 Sir Francis Drake, Ross  
42 Winship, Ross  
78 Sir Francis Drake (Main), Ross  
74 Sir Francis Drake, Ross  
15 Barber, San Anselmo

From 2018 FAQ's

**Q: Is there a way to see what the possible flood level changes look like in person?**

**A:** Yes, informational signs were installed on the existing Winship Ave. Bridge and the Sir Francis Drake Blvd. Bridge to show the anticipated 100-Year Flow water level for the existing condition, after the building in downtown San Anselmo is removed, and after the Winship Ave. Bridge is replaced. Once the Winship Ave. Bridge is replaced, the combined projects will reduce the water surface for parcels immediately upstream of the Winship Bridge by about one foot in a 100-year flow event. View the WSE with finished floor elevations plotted on the H&H Modeling webpage.



# How will water levels change at Sir Francis Drake Bridge during 100-year flow events?



**After Winship Bridge Replaced (late 2020)**  
37.7 ft. above sea level

**After 634 S.A. Ave Removed (mid 2020)**  
37.5 ft. above sea level

2.4 in.  
1.2 in.

**Existing Water Level**

For information, visit [www.sfdwater.org](http://www.sfdwater.org)

(sea level)





# Mitigation: None

**Property Address:**  
82 Sir Francis Drake Blvd, Ross

**Property Owner:**  
Jennifer Mota

## CREEKSIDE

Base Flood  
Elevation Before  
Bridge Removal:  
37.13'

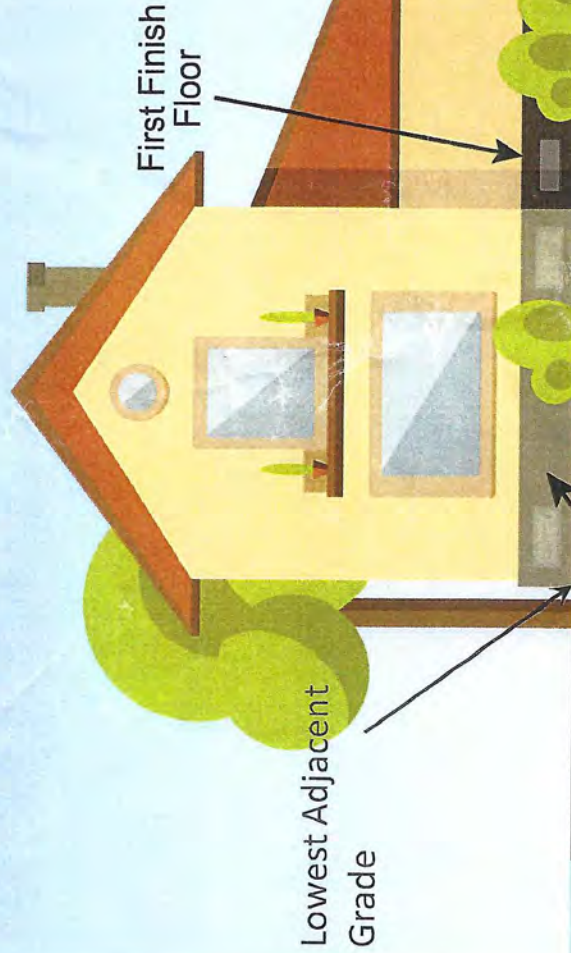
Base Flood  
Elevation After  
Bridge Removal:  
37.10'

First Finish Floor:  
Not Surveyed

Lowest  
Adjacent Grade:  
38.44'

## 25 -Year-Flood

Base Flood Elevation  
Before Bridge Removal  
Base Flood Elevation  
After Bridge Removal



## STREETSIDE

Base Flood  
Elevation Before  
Bridge Removal:  
37.83'

Base Flood  
Elevation After  
Bridge Removal:  
37.85'

First Finish Floor:  
40.55'

Lowest  
Adjacent Grade:  
37.69'





# Mitigation: None

**Property Address:**  
82 Sir Francis Drake Blvd, Ross

**Property Owner:**  
Jennifer Mota

## CREEKSIDE

Base Flood  
Elevation Before  
Bridge Removal:  
39.12'

Base Flood  
Elevation After  
Bridge Removal:  
39.05'

First Finish Floor:  
Not Surveyed

Lowest  
Adjacent Grade:  
38.44'

## 100-Year-Flood

Base Flood Elevation  
Before Bridge Removal  
Base Flood Elevation  
After Bridge Removal

## STREETSIDE

Base Flood  
Elevation Before  
Bridge Removal:  
39.53'

Base Flood  
Elevation After  
Bridge Removal:  
39.45'

First Finish Floor:  
40.55'

Lowest  
Adjacent Grade:  
37.69'





82 Sir Francis Drake, Ross

Staff Notes:

The field survey did not collect points on the creek side of the home except for the upstream building corner @deck which was 38.44 shown on the exhibit. There was not a separate creek side finish floor elevation collected, so the exhibit shows not surveyed (on the creek side only).  
The field survey did have a finish floor elevation on the street side of 40.55'

**From:** [Anthony Sperling](#)  
**To:** [Flood Inquiry](#)  
**Subject:** San Anselmo flood control  
**Date:** Thursday, February 27, 2025 10:34:44 AM

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[You don't often get email from aesperling@gmail.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification> ]

As a homeowner that is directly impacted through the flood control plans, I'd like to state my utter dissatisfaction with the lack of transparency and practical sense nature of just about everything that's been associated with this project.

The lack of leadership demonstrated through this process has led to a tremendous amount of taxpayer waste, lack of any tangible progress, and results & a significant lack of confidence in our local government.

It is time to find true leadership that can communicate and speak with utter transparency and align the community, homeowners affected, and related agencies that need to have a practical plan that delivers effective results. it is clear, that this has not existed, and this whole process.

There exists an opportunity, starting at tonight's meeting, to clear the deck and lead a process that has integrity to it.

Anthony Sperling  
35 Entrata Ave, San Anselmo

**From:** [Ann Politzer](#)  
**To:** [Flood Inquiry](#)  
**Cc:** [Frank Egger](#); [rosscitizen@gmail.com](mailto:rosscitizen@gmail.com); [gpaulson@cityoflarkspur.org](mailto:gpaulson@cityoflarkspur.org); [system2020@msn.com](mailto:system2020@msn.com); [richardgumbiner@yahoo.com](mailto:richardgumbiner@yahoo.com); [dhcnic@comcast.net](mailto:dhcnic@comcast.net); [Sean Condry](#); [BOS](#); [Derek Johnson](#)  
**Subject:** 2/27 FZ9 AB meeting--County appears to be using wrong mitigation metric for WSE impact on structures. Pls clarify.  
**Date:** Wednesday, February 26, 2025 3:21:40 PM

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Dear Members of the Flood Zone 9 Advisory Board,

What Water Surface Elevation (WSE) measurement, First Finished Floor or Lowest Adjacent Level Grade, has the County Flood District used to determine WSE impacts and downstream mitigation requirements occasioned by the SAFRR project and the removal on Building Bridge 2?

According to multiple statements by Department of Public Works Assistant Director Berenice Davidson, the County Flood District has calculated downstream mitigation requirements stemming from the SAFRR project by using the First Finished Floor as the metric. The First Finished Floor is the **WRONG METRIC**. Wrong metric = wrong calculation = wrong mitigation numbers.

FEMA makes it clear that the required metric to measure downstream WSE impacts on structures is the lowest level grade adjacent to the structure. In your March 2021 AB meeting, FEMA engineer Nancy Steinberger translated this rubric into plain English: "*no structures can be impacted more than 0.00 foot – not even an inch.*"(2) Ms. Steinberger states that the structure itself is the metric for mitigation.

And yet:

Berenice Davidson, to the Ross Town Council on 3/9/23: *It's going to be the elevation of the First Floor, basically the bottom of the door where you step into your house.* (3) and

Berenice Davidson, to the San Anselmo Town Council on 3/28/23: *Mitigation measures are based on where your First Finished Floor of the house is...*"(4) Berenice Davidson, in a 8/25/22 draft letter to FEMA's Michael Nakagaki states, *Note only three of the parcels have a situation where the BFE is below the FF (First Floor) and with the project BFE is modeled to be above the FF.*

When it comes to work in a creek, 44 CFR 65.12 requires that the Community certify that there are no unmitigated impacts at insurable structures. The County has persistently used the measurement of the First Finished Floor to calculate downstream mitigation requirements, instead of the required metric of the lowest adjacent level grade. This means that every mitigation calculation provided by the County is probably **WRONG**—by about two feet.

So which is it, First Finished Floor or Lowest Adjacent Level Grade? There is a huge difference between the two in terms of the extent of required mitigation. Huge.

An excerpt from a memo summarizing the 11/2/24 Flood District meeting on BB2

removal confuses things even more. Below, from the memo item on Section 65.12 and the CLOMR process:

- "If FEMA CLOMR review shows that there is an increase in the floodway, then certification is needed that no structures are impacted from the project based on the lowest adjacent grade. Property owners will be notified if there is 1 foot increase in the base flood elevation regardless of whether the rise goes into the finished floor. If there are impacts, then mitigation is required."
- This is followed by:
- "FEMA could not certify in cases where there is an increase **above** the existing impact of the finished floor of the structure."

What does that mean? Is the County providing correct mitigation data or are they fudging it? Please, insist that the County clarify. Many folks have repeatedly asked for an explanation of this bifurcation in calculation and have received none. We could simply be missing the point, but it sure doesn't feel like it.

Don't be party to dreadful incompetence—or worse, intentional subterfuge. Ask for clarification and transparency from the County on this matter.

Thank you.

Sincerely,

Ann Politzer  
San Anselmo

(2) Nancy Steinberger on structure metric to Marin Flood Zone 9 Advisory Board: <https://vimeo.com/manage/videos/523276843>

(3) March 9, 2023 Town Council Meeting in the Town of Ross, at 0:49:47 <https://www.youtube.com/watch?v=uc4LHekgoU4>

(4) March 28, 2023 Town Council Meeting in the Town of San Anselmo, at 1:41:10 [https://sananselmo-ca.granicus.com/MediaPlayer.php?view\\_id=1&clip\\_id=916](https://sananselmo-ca.granicus.com/MediaPlayer.php?view_id=1&clip_id=916) Flood presentation begins at 1:22:22)

**From:** [Garril Page](#)  
**To:** [Flood Inquiry](#)  
**Cc:** [Derek Johnson](#); [towncouncil@townofross.org](mailto:towncouncil@townofross.org)  
**Subject:** AB Agenda Feb 27, 2025  
**Date:** Tuesday, February 25, 2025 4:07:17 PM

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I appreciate the opportunity to submit written Comment to this meeting. I hope to attend in person as well.  
Thank you.

### **Item 3:**

I hope Tony Swan is able to ensure preserved video recording of this meeting as well as ZOOM access. The truncated Action Minutes posted in Item 3 are incomplete and misleading: substantive questions and concerns raised by attendees at this Ross Meeting were unaddressed on Nov 7, 2024 and remain so due to truncated Minutes. This is grossly unfair to the public whose taxes and flood fees enable District projects and expect accountability and transparency from county representatives.

### **Item 5:**

#### Questions about claimed 500 properties helped by reduced flood risk:

- 1.) Were these properties identified using the 1D model that has been adopted for current projects' assessment or by the 2D HEC RAS?
- 2.) Were the impacts from anticipated and proposed bridge replacements included in the study data and models used to arrive at the figure of 500? None of the bridges have been funded nor replaced so associated improvements or impacts cannot and should not be assumed now.
- 3.) In calculating 500 properties' benefit, how many of those gain benefits from the performance of the as-yet unused, untested Sunnyside FDS Basin? I note a primary purpose of the project still identifies as reducing flood risk by attenuating peak flows through the Sunnyside FDS Basin. Where is the clarification of how this goal's modified as the basin capacity has gone for 88 Acre Feet to as-built 13.5 AF?
- 4.) What is the demarkation line of benefitting *versus* impacted properties— i.e., where are those supposed 500 properties?
- 5.) Claimed benefits lack specificity and equivalency: potential flow decrease of one inch or less is equated with **all** other claimed and undefined benefits while downstream properties that receiving new, increased, induced detrimental impacts are not mentioned. Is this honest?
- 6.) The piecemealing of SAFRR saddles downstream properties facing induced flooding to accept unaddressed mitigation and unremedied harm by either SAFRR or CMC FRMP. Does this align with District and towns' Agreements and Resolutions promising flood projects that shift flood burden from one area to burden other areas would not be built? The Do No Harm Agreements?

## Questions about Removal of BB2:

1.) This process began with poor decisions and abject performance in ‘relocation’ of established businesses and overly hasty demolition of the buildings atop the concrete platform called BB2. Controversy flared when District staff falsely declaring BB2 an imminent hazard after cherry-picking structural engineers’ reports. Those reports have been debunked by independent engineers and even the firm on which District staff relied has affirmed BB2 can be repaired and returned to public use and enjoyment. Installation of the county’s Spite Fence was an ill-conceived misadventure: justification for the Spite Fence never was established and rancor over loss of the BB2 plaza remains. Costs to repair are under \$500k whereas removal has escalated to \$3,790,000. The fence hid the toxin-filled tank discovered by residents in 2023 that was ignored by District staff until the outcry became impossible to quash. Are these actions defensible, or better off de-fence-able?

More professional District staff behavior might have avoided discontent caused by failure to respond to public inquiries, failure of forthright answers to expressed concerns, zero information shared when questions were raised. However, District staff chose an adversarial path. In consequence, many concerns and unanswered questions remain, including Comments to Addendum Two from December 11, 2023, an especially galling omission since ESA’s paid contract included assistance preparing Responses to Comments received. Why have those Comments and Responses not been published on the District website?

2.) Where are the plans for SAFRR in the downtown area of San Anselmo, which includes BB2? Requests to view these plans have been numerous and unceasing, yet nothing is divulged, access to public inquiries is denied. Why?

3.) When will this failure to disclose end?

4.) Where is information for the protection of downtown commercial buildings, particularly those with in-creek foundations and piers? This need was identified in the Board of Supervisors’ hearings, yet no information, plans or cost figures have been revealed.

5.) Without plans, issues such as insertion of new local drainage and sewer conduits through new flood walls remain a mystery. To leave substantive issues to be resolved during construction is not adequate response to public concerns over impacts of increased, incurred, added flood flows. Likely, 2D HEC-RAS provided data for calculating these additional flows, confirming more water in the streets. If 1D models are substituted, what happens to conveying these overland and sewer increases?

6.) Adequate freeboard is an essential element of successful performance. What is proposed to mitigate the consequences of the twenty inches (20.7”) rise above BB2’s existing platform floor for the new flood wall on the right bank bordering San Anselmo Avenue?

Aside from the grade change immediately adjacent to San Anselmo avenue’s pedestrian traffic, the chute provides easy access for flood water to flow into the commercial area.

7.) When will the public be able to review the design of the lower elevation town-installed flood wall on San Anselmo Avenue? When will the public be able to review how the town-designed and installed flood gates will prevent water from escaping into central San Anselmo and the amount of added costs from these District-created challenges ?

8.) Demolition of BB2 and project construction threaten the survival the Creek Park redwoods. Root damages from soil compaction to cutting, abrading, nutrient restriction and other deprivations caused by this project are ignored despite questions about the trees to the District since Addendum One. The trees act as drainage regulators and slope stabilizers for the park and for the creek banks. The district has been advised by a consultant engineer that the proposed boulders specified for the new creek bank stabilization are overly large. These are overkill for the trees. Any decline of thr redwoods opens the cherished tranquil park area to traffic on three sides, especially the major arterial Sir Francis Drake Boulevard. More than loss of amenity, any redwoods lost will cost the town gravely in liability, money, and loss of creek bank stability. Why are concerns about the redwoods not addressed?

9.) The District proposes substituting a “finalized” Second Addendum instead of the required Supplemental EIR. Since the 2018 SAFRR EIR is out-dated and the Second Addendum also has been found inadequate, why not face facts with preparation of a CEQA Supplemental Environmental Review?

#### Questions about CMC FRMP:

Even the most ardent supporter of flood projects has a difficult time defending the USACE construction planned for the 250 year event Design Storm that currently delivers 6 year event performance. We do not need another folly. We have one.

Unfortunately, CMC FRMP suffers the same failed concepts and unmitigated fatal flaws as the original USACE , leaving unproven whether the proposed project will provide greater benefit or cause longterm harm through increased risks, incurred liability, costly future modifications, repairs and maintenance to the towns.

Question: where in these projects is the orphaned area between the end of SAFRR and “upstream at Lagunitas Road”? Where are the studies in that include the neighborhoods below Winship Bridge to Sir Francis Drake Bridge to Lagunitas Bridge? How many flood impacted parcels lacking surveys and uninformed residents live in these areas?

USACE EIR/EIS documents identify areas subject to increased flooding downstream of Ross as a result of proposed projects as areas needing protection. Because of SAFRR, this is equally true of areas immediately upstream. The need is current because the risk in those areas remains active. 'Piecemealing' of projects can conceal the extent to which lessened flooding in one project area will increase flood risk in neighboring communities. Why is the District still using piecemeal techniques that hide important impacts of proposed projects?

#### Questions about Natural Channel transition and Raised Floodwalls:

Since Draft 100% plans and specs are completed and under review, why are these not available for public review? Errors and omissions have been identified and remedied in broader review processes, for example, the 3 foot error in channel width and misplaced sewer conduit. Why does the District continue to hide the ball? The transition from natural stream bed to concrete channel is an intransigent challenge, one that bears extra scrutiny lest unmet issues raise liability for Ross and jeopardize channel function.



Lowering the creekbed elevations assumes channel greater depth yet this area has been heavily impacted by sediment, sediment transport and sedimentation throughout the history of CMC projects. Where is the information on how these impacts will be resolved to retain peak channel function ? Are there costs to Ross for maintenance or other requirements requirements?

Because there are large sections of the concrete channel in which as-built design errors remain such as inadequate freeboard, curves, elevation changes, varying channel bottom, incorrect data, and more, why are retention of these built-in flaws and the consequences thereof not disclosed and discussed? These affect channel function as surely as inaccurate models and climate changes, and they remain without proposed remediation to this day.

Upstream channel capacity is restricted by downstream capability. Until downstream dysfunction is eliminated, upstream improvements are impaired. This wisdom historically guided project development in the Fairfax, San Anselmo and Corte Madera Creeks. Unfortunately, common sense was surrendered when the flood district prioritized potential DWR grants for upstream projects ahead of its ability to improve downstream flood flow capacity. Are we allowing upstream channel improvements to increase flooding in downstream areas with inadequate carrying capacity? If overtopping results, has mitigation for these impacts been addressed? District insistence that flows remain in channel must be grounded in fact.

At the November 7, 2024, AB Meeting in Ross, District staff was very clear, definitive, in statements to the AB that new downstream flood walls would be no greater than 24". Such comment omitted the need for 6 foot high walls mentioned in numerous documents. The need is based on assumptions, calculations, and technical complications that posited the flood peak flow in the channel would exceed existing channel walls by nearly six feet. Obviously, the higher the new walls, the greater the stresses on existing substructures. Expressed public concern over stability of new walls atop existing 1970s era walls remains unanswered. This omission is especially concerning given the county's documented identification of seismic instability in the concrete channel. (see FEIR **Geology and Soils**, high liquefaction and risk of lateral spread discussion Section 3.6-20 et seq.; County Grant Agreement #4600012423). Why are these concerns and identified needs not addressed?

There has been general agreement among engineers involved in Ross Valley projects that the 1982-83 flood exceeded channel walls by up to 4.7- 4.8' feet. Engineers stated floodwalls of 4-6 feet were necessary. In those days, the storms of 1982-83 were below the USACE's 250 CFS Design Flood, but 1982-83 was adopted as the 100 year event. The storm of 2005 lowered the 100 year event threshold once again. Thus, the 100 year figure while being a regulatory guideline, does not reflect future events in the Ross Valley and is not a safe benchmark on which to rely when calculating effective freeboard, especially for the unprecedented storms we see today. Why does the District accept continually lowered 100 year event requirements without clarifying these new 100 year storm definitions come with lessened flood protection?

#### Questions about Fish Resting Pool improvements:

Even when clean, the proposed larger fish resting pools will add greater resistance to flow. This is in addition to more extensive roughness in deteriorating concrete channel walls, increasing tidal effects, and evolving weather patterns. Redefinition of flow impediments can assure greater accuracy in performance projections, preventing improvements from one area from burdening another. Where are acknowledgement and discussion of these issues?

The excavation of 1970s concrete creek bed for larger pools may jeopardize stability and performance of creek bed and creek walls. Additionally, larger pools have greater sediment holding capacity. These are impediments to flow as well as requiring more extensive

maintenance and costs. Where are these impacts documented and quantified?

Questions about Granton Park Pump Station:

Like College of Marin, Granton Park is an area identified early on as needing added protection from the proposed project's incurred flooding. The 1985 USACE CMC Flood Wall Plan indicated there would be potential increases in local ponding from 1 to 4.5 feet. Obviously, this figure is an under-estimation of 2025 conditions. The risk of ponding from drainage and flood flows trapped behind flood walls has been omitted; this is a dangerous oversight. Failure of the pump station added to new flooding could be disastrous for Granton Park.

Questions about Lower COM Restoration:

This concept dates from a USACE recommendation made public in January 1989. The Corps suggested the right wall of the concrete channel below the College Avenue Bridge be removed and the channel widened in order to lessen the height of floodwalls in the vicinity of the College of Marin. Has the District now assumed lower flood walls may be adequate? If so, are the newly revealed inadequacies of weather predictions and limited experience with ARs and climate change events validating these assumptions? How reliable are the calculations of benefit from project elements when compared to today's challenges, thirty-five years later?

Where are all the answers?

Ultimate benefit to be derived from these projects is TBD and your action can negatively impact Marin's NFIP and CSR costs for County residents.

The Zone 9 Flood District Advisory Board can neither understand nor advise the Supervisors on proposals that are based on inadequate information. This Board should not consent by enabling votes.

Yours sincerely,  
Garril Page  
Unincorporated San Anselmo

**From:** [Justin Allamano](#)  
**To:** [Flood Inquiry](#)  
**Cc:** [Cara Brennan Allamano](#)  
**Subject:** [Sent to .org] Public Comment for FZ9 Flood Advisory Board – Feb. 27, 2025 – Removal of BB2 and Impacts  
**Date:** Wednesday, February 26, 2025 9:24:11 AM

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You don't often get email from jallamano@gmail.com. [Learn why this is important](#)

To Whom It May Concern,

I am submitting this public comment regarding the **removal of Building Bridge 2 (BB2)** as part of the **San Anselmo Flood Risk Reduction Project (SAFRR)** and its direct impact on my property at **42 Sir Francis Drake Blvd, San Anselmo**.

### **Concerns About Increased Flood Risk and Property Impact**

We were informed that **no mitigation measures** are required for our home based on an analysis of **25-year and 100-year flood levels**. However, this conclusion is unclear and raises serious concerns. The removal of BB2 is expected to **raise the Base Flood Elevation (BFE) at our property**, yet no mitigation or compensation is being provided for the increased risk we will face.

- 

#### **Base Flood Elevation (BFE) Changes:**

- The proposed removal of the bridge will **increase** the BFE at our home.
- While this change may appear minimal on paper, in **real-world flood scenarios**, our home will now be vulnerable to flooding situations that would **not have occurred if the bridge remained**.

- 

#### **Increased Flood Risk Without Compensation:**

- We are being asked to **“take one for the team”** without consideration of our financial burden.
- The increase in creek capacity and higher BFE creates **multiple flood scenarios** where our home and garage **will now flood post-removal, when they would not have previously**.

- The **25-year and 100-year flood models do not fully capture** the potential risks to our home. Floods occur outside of these exact scenarios, and any **increase in BFE inherently raises flood vulnerability** in many smaller but still damaging events.
- The County has acknowledged in its own documentation that **flood mitigation measures such as elevating homes or relocating mechanical equipment are necessary in certain cases**—yet our property has been **excluded from this consideration without explanation**.

## **Proposed Mitigation Measures**

Given the increased risk to our property, I strongly urge the County to **implement the necessary flood mitigation**, including:

1.  
**Elevating Our Home & Garage** – If BB2 removal increases our flood risk, **elevating our structures** should be part of the project scope.
2.  
**Alternative Compensation** – If elevation is not feasible, **financial compensation** should be provided to offset the long-term increased flood risk.
3.  
**Reevaluation of Flood Modeling** – The County should conduct **a more detailed hydrological impact study** to determine whether additional properties, including ours, require protection.

## **Conclusion**

While we fully support efforts to **reduce flooding in downtown San Anselmo**, it is unacceptable for individual homeowners to **bear the burden of unintended consequences** without any mitigation. If the County is investing in solutions to improve conditions for hundreds of properties, it must also take **responsibility for the increased flood risk to homes like ours**.

I appreciate your time and consideration and look forward to a **formal response** regarding potential mitigation options.

Sincerely,

Justin Allamano, Esq.  
42 Sir Francis Drake Blvd

San Anselmo, CA

**From:** [keithmarsh@earthlink.net](mailto:keithmarsh@earthlink.net)  
**To:** [Flood Inquiry](#)  
**Subject:** [Sent to .org] Public Comment for FZ9 Flood Advisory Board Meeting February 27th, 2025  
**Date:** Wednesday, February 26, 2025 11:06:02 AM

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## FZ9 Flood Board:

I have lived at my home at 32 Sir Francis Drake for nearly 49 years. I suffered significant damage during the 1982 flood. (See photos).

We are very concerned that the Flood Board is ignoring the concerns of the homes down stream from downtown if the BB2 structure that will increase flows at our homes before the removal if the Winship Bridge. We have been promised by County Officials going back to Liz Lewis that BB2 would not be removed until Winship Bridge is removed. We keep hearing the same old story that this will happen soon, but have been waiting many years with no action by Ross.

We have also not been contacted by anyone from the County for over a year. We find this lack of direct communication unacceptable. Please have someone contact us immediately on the status of BB2 and Winship Bridge.

Keith & Helena Marsh

415-254-3732  
415-457-6644









**From:** [Radhi Ahern](#)  
**To:** [Tracy Clay](#); [Flood Inquiry](#); [Berenice Davidson](#); [Kevin Ahern](#); [Justin Newsome](#)  
**Subject:** [Sent to .org] Re: Flood Plan affecting 130 Barber Avenue and surrounding neighbors  
**Date:** Tuesday, February 25, 2025 7:11:28 PM

---

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I am surprised not one of you have responded to my email.

Radhi Ahern  
Founder | Real Estate Advisor  
OUTPOST

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On Mon, Feb 24, 2025 at 10:19 PM Radhi Ahern <[radhi@outpostrealestate.com](mailto:radhi@outpostrealestate.com)> wrote:

Hi there

It has come to my attention that flood mitigation plans are going to be affecting our property at 130 Barber. I was NEVER notified that the county's plans would directly impact my home even though it has been disclosed that all property owners have been contacted and met with.

I have enclosed a letter that was supposedly mailed to me by certified mail. Please note I do not have a PO Box in Missouri nor have I ever. I have lived at and received mail at my home address at 130 Barber Avenue for the last 15 years. I question the process for notifying affected homeowners, given that no information would lead anyone to think my mailing address was in Missouri. I wonder how many homeowners are in the same position.

I find the lack of transparency of this project and how it affects homeowners to be deeply concerning and I would like to request a meeting to understand how you will protect my home from flood damage in the event of this plan moving forward.

thanks Radhi and Kevin Ahern  
415.531.2981

--



**Radhi Ahern**

Founder | Real Estate Advisor

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## DEPARTMENT OF PUBLIC WORKS

Quality, Excellence, Innovation

Rosemarie R. Gaglione  
DIRECTOR

Kevin and Radhika Ahern  
130 Barber Ave  
San Anselmo, CA 94960

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415 473 3799 F  
415 473 3232 TTY  
CRS Dial 711  
[www.marincounty.org/pw](http://www.marincounty.org/pw)

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Dear Kevin and Radhika,

I hope this email finds you well. The Marin County Flood Control District would like to schedule a meeting with you to discuss the removal of Building Bridge 2 (BB2) and how it may affect your property. As you are aware, BB2 is a major obstruction to the flow of the creek and its removal will have benefits as the Base Flood Elevation (BFE) is reduced for hundreds of properties. For other properties there is a slight rise in the BFE and there will be specific points we wish to discuss. The Base Flood Elevation is the elevation of surface water resulting from a flood that has a 1% chance of occurring in any given year.

During our meeting, we will cover the details of the removal of BB2 and what that means for your parcel. We have conducted land surveys and hydraulic assessments to understand the changes in Base Flood Elevations. We will provide you with clear information and guidance tailored to your specific parcel.

Additionally, we will provide an update on the expected timeline for removal of BB2.

To schedule a meeting please contact Justin Newsome:  
Phone: 415-473-7107  
Email: [jnewsome@marincounty.org](mailto:jnewsome@marincounty.org)

We thank you in advance for your time.

Sincerely,

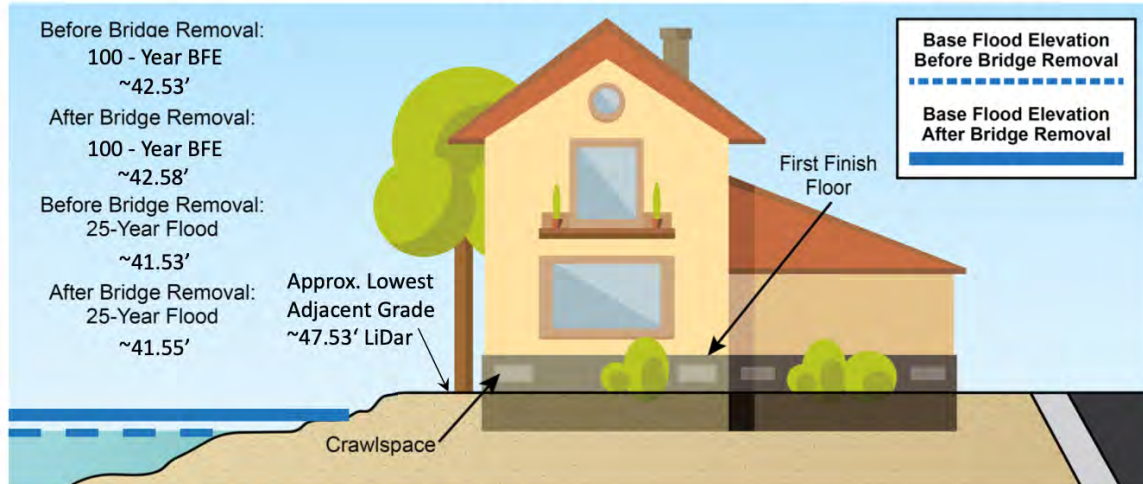
Berenice Davidson, P.E.  
Assistant Director, Public Works



## Mitigation: None

Property Address:  
130 Barber Ave, San Anselmo

Property Owner:  
Kevin P & Radhika Ahern



## DEPARTMENT OF PUBLIC WORKS

✓ PO Box 4186  
San Rafael, CA 94913-4186  
[www.marincounty.org](http://www.marincounty.org)

Not Our Address!

Kevin and Radhika Ahern  
PO Box 1277  
Washington, MO 63090

## Hannah Lee

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**From:** Samantha Hobart <samanthahobart@gmail.com>  
**Sent:** Tuesday, February 25, 2025 11:21 PM  
**To:** Flood Inquiry  
**Cc:** Jenny Mota; Doug Ryan; John Crane; town council@townofross.org; Richard Simonitch  
**Subject:** [Sent to .org] Public comment for flood zone & advisory board meeting Feb 27, 2025

[You don't often get email from samanthahobart@gmail.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification> ]

My address is 78 Sir Francis Drake and I have NOT been contacted regarding San Anselmo Flood Risk Reduction Project and the removal of BB2 negatively affecting my home. I have not been contacted by anyone since August 2023 where Hugh Davis wanted access to my backyard and promised me he would get back to me within a month and keep communication open. This was 18 months ago! Everyone at the Flood District avoids and fails to communicate in any way. We have begged for transparency with any news both positive or negative. Did Hugh die? Did he get fired? Was his job terminated due to DOGE? Or did he retire living on a pension that I am paying for? I am tired of the dishonesty and disrespect coming from an organization that is supposed to protect our homes. My home is as built over 100 years ago in the early 1900's and it has NEVER flooded more has there been water in the crawl space under my home.

Please do the right thing and start contacting the property owners and work with us for mitigation prior to work on the creek.

Samantha

**From:** [Robin Furner](#)  
**To:** [Flood Inquiry](#)  
**Subject:** Fwd: Flood Control Zone 9 - Advisory Board Meeting Notice for February 27  
**Date:** Monday, February 24, 2025 4:03:16 PM

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Hello,

I wanted to submit a comment for the public comment portion of this meeting. Unfortunately, I don't think I will be able to attend in person. However, I recently read about research from the NASA Jet Propulsion Laboratory that indicates land in Corte Madera is sinking at a higher rate than has been realized before. I am very concerned about this since I live in Mariner Cove in east Corte Madera. My grandfather purchased the house we live in right after it was first built. He had the house raised when I was a kid. I am now 49 and live in the house and it is back to slanting a lot in one direction. Lots of property owners in the area seem to raise their houses, but I am not sure how much this helps if it has to be redone every 30-40 years and the roads and yards remain increasingly flooded at high tide.

[Land Is Sinking Fast Around the Bay Area, Worsening the Effects of Sea Level Rise | KQED](#)

I would like to know how the city and/or county is responding to this new research report indicating even higher flood risk than before.

Thanks,  
Robin Furner  
37 Key Largo Course, Corte Madera

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Forwarded message -----

**From:** **Marin County Subscriptions** <[camarin@public.govdelivery.com](mailto:camarin@public.govdelivery.com)>  
**Date:** Fri, Feb 21, 2025 at 3:31 PM  
**Subject:** Flood Control Zone 9 - Advisory Board Meeting Notice for February 27  
**To:** <[robinfurner@gmail.com](mailto:robinfurner@gmail.com)>

Please be aware that the **Flood Control Zone 9 Advisory Board Meeting** will be held on **Thursday, February 27, 2025**, from **6:30 PM – 8:00 PM** at the *Marin County Civic Center, Room 143D, 3501 Civic Center Drive*, in San Rafael, 94903. You can find all meeting documents as they become available on the [District website's meeting webpage](#).

Note: You have received this email because of your previous request to receive electronic notifications about meetings for the advisory board to Flood Zone 9 or events of the Marin County Flood Control and Water Conservation District.



Marin sponsored events are required to be accessible. Not all events are sponsored by the County of Marin. County of Marin sponsored events are required to be accessible. If you are a person with a disability and require an accommodation to participate in a County program, service, or activity, requests may be made by calling (415) 473-4381 (Voice), Dial 711 for CA Relay, or by [email](#) at least five business days in advance of the event. We will do our best to fulfill requests received with less than five business days' notice. Copies of documents are available in alternative formats upon request.



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**From:** [Doug Ryan](#)  
**To:** [Flood Inquiry](#)  
**Cc:** [BOS](#); [towncouncil@townofross.org](mailto:towncouncil@townofross.org); [Town Council](#); [Richard Simonitch](#); [Jenny Mota](#); [John Crane](#); [Samantha Hobart](#)  
**Subject:** My comments for the flood control advisory meeting Feb 27 2025  
**Date:** Tuesday, February 25, 2025 6:16:59 PM

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My name is Doug Ryan.

I reside at 74 sir Francis drake blvd in Ross. A falsehood is being spread that I, as a homeowner who will be negatively impacted by safer, has been contacted regarding mitigation. That has not happened.

I am also asking, for the thousandth time, how many members (current or past) of the flood advisory committee live in an affected area (such as shady land in Ross). If so, what will this project do to their house? Will the water level go up or down? If the water go down, have such persons voted in any matters which would benefit them?

What authority does this August body have to ensure fema no rise rules are goin g to be followed? If not, are they prepared to also be named in the lawsuits when our homes flood? This project is an embarrassment and all county employees involved should resign and forfeit their pensions.

Please feel free to reach out to me for specifics. I have a binder of documentation for when the need arises.

You should all hang your heads in shame at the way you are allowing your neighbors to be treated.

Doug Ryan

**From:** [Alexandra Cowley](#)  
**To:** [Flood Inquiry](#)  
**Subject:** Public comment for FZ9 Advisory Board meeting on 2/27/2025  
**Date:** Tuesday, February 25, 2025 11:30:43 AM

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You don't often get email from alexandra.cowley@gmail.com. [Learn why this is important](#)

I was JUST made aware how the San Anselmo Flood Risk Reduction Project , and more specifically the removal of BB2 will negatively impact my property at 172 Barber Avenue. While this project will help other homes this will impact 50 others, mine included.

It is unacceptable that I have never received any information or had any communication with the committee who is in charge of this project! How is that possible or acceptable?

I guess someone will help pay for the negative impact this will have when I go to sell my house. Do I now need a flood insurance policy? Don't I pay your salaries to protect me, look out for the community and do what is best for EVERYONE?

What does FEMA think about this? FEMA has a no rise rule...are you just ignoring this and thus breaking the law?

I have owned my house for 31 years and have felt that my tax dollars, for the most part, were being wisely managed and spent. What a disappointment this is...this is actually the definition of inept management. Don't emulate a corrupt government...adhere to the law and protect everyone. If not...go get a job in the private sector where your actions don't impact constituents.

Alexandra Cowley

**From:** [Tery Nelson](#)  
**To:** [Flood Inquiry](#)  
**Cc:** [jrosemota@gmail.com](mailto:jrosemota@gmail.com)  
**Subject:** Public Comment for FZ9 Flood Advisory Board Meeting 2/27/2025  
**Date:** Tuesday, February 25, 2025 4:36:53 PM

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We bought our home at 10 Lincoln Court, San Anselmo in December 2023. We have NEVER been contacted by the County in regards to the San Anselmo Flood Risk Reduction Project, removal of Building Bridge 2 and how there will be negative impacts at our home which has NEVER flooded since it was been built in the 1960s. We have never received survey data for our home or any information about mitigation strategies. It is extremely concerning that at the last Advisory Board meeting, officials in charge of the project stated they had met with us to discuss impacts at our property. This is unacceptable and worrisome. If our home does flood after the bridge is removed we will take legal action against the County for all damages.  
Don and Tery Nelson  
10 Lincoln Court  
San Anselmo

**From:** [Neil Cowperthwaite](#)  
**To:** [Flood Inquiry](#)  
**Subject:** Public Comment for FZ9 Flood Advisory Board Meeting February 27th, 2025  
**Date:** Tuesday, February 25, 2025 6:38:57 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[image006.png](#)  
[image007.png](#)  
[image008.png](#)  
[image009.png](#)  
[image010.png](#)

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You don't often get email from ncowperthwaite@lee-associates.com. [Learn why this is important](#)

Hello,

My name is Neil Cowperthwaite and I am the property owner at 126 Barber Ave. San Anselmo CA.

We purchased our home in October of 2023 and I have had no correspondence with anyone from the county or city regarding the future impacts of the Flood Risk Reduction Project in downtown San Anselmo. When we purchased the home there was no disclosure regarding the downtown flood project or any future consequences.

Since living at 126 Barber Ave I have had my own concerns about the project and how it could negatively impact my property. This rainy season (2024/2025) I have seen the San Anselmo Creek water rise close to the top of the bank. If this project were to move forward my property would be negatively impacted by flooding, bank erosion, and damage due to increased water volume passing through the narrow creek. The potential damage to downstream property owners would be burdensome, costly, increase already skyrocketing insurance costs, and decrease the value of our homes.

I have three kids (ages 5, 2, and 3 months old) and to have to deal with increased flooding every winter and unstable creek banks would make our home dangerous for my family.

Is there a plan in place for increased water flow downstream and bank erosion to impacted properties?

When the banks erode downstream is that on the property owners to fix? Does the county have any plan for this?

Does this project include installing retaining walls for downstream property owners?

How would this impact future projects on my property?

This project is short sighted and not fully thought through. There needs to be open conversations with property owners downstream, in the almost year and a half that I have lived here I have not heard anything from the County regarding future water rise or any communication about this project.

Thank You,

## Neil Cowperthwaite

Principal

Lee & Associates | Oakland

C [415.302.6940](tel:415.302.6940)

D [510.903.7603](tel:510.903.7603)

O [510.903.7600](tel:510.903.7600)

[ncowperthwaite@lee-associates.com](mailto:ncowperthwaite@lee-associates.com)



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**From:** [John Crane](#)  
**To:** [Flood Inquiry](#)  
**Subject:** Fwd: PUBLIC COMMENT 2.27.25 FLOOD ZONE 9 ADVISORY BOARD MEETING AGENDA ITEM #5  
**Date:** Wednesday, February 26, 2025 12:10:55 PM  
**Attachments:** [FZ9AB-2.27.25 - Crane Final .pdf](#)  
[Certified Letters and Flood Presentation Slides.pdf](#)  
[Meridian Survey.pdf](#)  
[Fwd- Flood Plan affecting 130 Barber Avenue and surrounding neighbors.pdf](#)  
[Fwd- Public comment for FZ9 Advisory Board meeting on 2272025.pdf](#)  
[Gmail - Public comment for flood zone & advisory board meeting Feb 27, 2025.pdf](#)  
[Fwd- Public Comment for FZ9 Flood Advisory Board – Feb. 27, 2025 – Removal of BB2 and Impacts.pdf](#)  
[Fwd- Public Comment for FZ9 Flood Advisory Board Meeting 2272025.pdf](#)

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ATTN: Please include the PDF version of my Public Comment letter and all attachments for the public record.  
Thank you.

----- Forwarded message -----

**From:** John Crane <[johncranefilms@gmail.com](mailto:johncranefilms@gmail.com)>  
**Date:** Wed, Feb 26, 2025 at 12:01 PM  
**Subject:** PUBLIC COMMENT 2.27.25 FLOOD ZONE 9 ADVISORY BOARD MEETING AGENDA ITEM #5  
**To:** <[backerman@townoffairfax.org](mailto:backerman@townoffairfax.org)>, Christopher Martin <[rosscitizen@gmail.com](mailto:rosscitizen@gmail.com)>, Inquiry, Flood <[FloodInquiry@marincounty.gov](mailto:FloodInquiry@marincounty.gov)>, <[gpaulson@cityoflarkspur.org](mailto:gpaulson@cityoflarkspur.org)>, Peter Hogg <[system2020@msn.com](mailto:system2020@msn.com)>, <[richardgumbiner@yahoo.com](mailto:richardgumbiner@yahoo.com)>, <[dhcnic@comcast.net](mailto:dhcnic@comcast.net)>, Christa Johnson - Town Manager <[cjohnson@townofross.org](mailto:cjohnson@townofross.org)>, Bill Kircher Jr. <[cwkmisc@gmail.com](mailto:cwkmisc@gmail.com)>, Elizabeth Robbins <[eliz.robbs@gmail.com](mailto:eliz.robbs@gmail.com)>, Julie McMillan <[juliemcmillan@comcast.net](mailto:juliemcmillan@comcast.net)>, <[tdowlingtor@gmail.com](mailto:tdowlingtor@gmail.com)>, <[salter4ross@gmail.com](mailto:salter4ross@gmail.com)>, [towncouncil@townofross.org](mailto:towncouncil@townofross.org) <[towncouncil@townofross.org](mailto:towncouncil@townofross.org)>, [towncouncil@townofsananselmo.org](mailto:towncouncil@townofsananselmo.org) <[towncouncil@townofsananselmo.org](mailto:towncouncil@townofsananselmo.org)>, BOS <[BOS@marincounty.org](mailto:BOS@marincounty.org)>

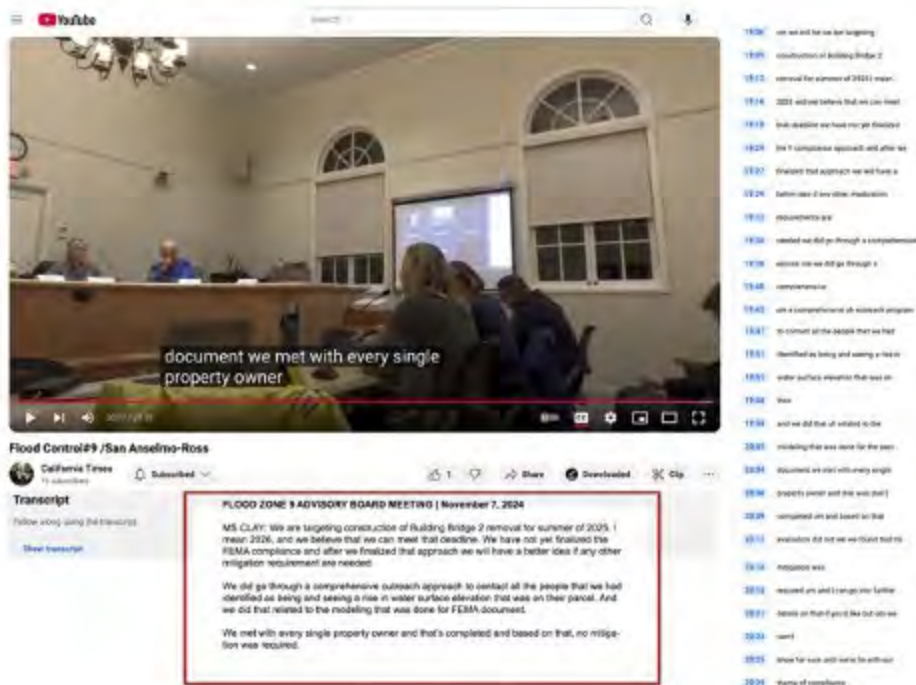
**FLOOD ZONE 9 ADVISORY BOARD MEETING AGENDA ITEM #5  
RE: INCOMPLETE COUNTY SAFRR SURVEY RESULTS  
AND MISINFORMATION**

**February 27, 2025**

At the last Flood Zone 9 Advisory Board meeting, held on November 7, 2024, Ms. Clay made the following statement to the Flood Zone 9 Advisory Board: *"We met with every single property owner and that's completed and based on that, no mitigation was required."*

At that meeting, I put the Zone 9 Advisory Board on notice that the County has never met and provided me with specific survey information and mitigation measures for my home at 86 Sir Francis Drake Boulevard. Not surprisingly, that is true for many other property owners as well.





Here is a Video link to Ms. Clay's statements made to FZ9 AB on November 7, 2025:  
[https://www.youtube.com/watch?v=ke\\_f4UcFs8A](https://www.youtube.com/watch?v=ke_f4UcFs8A)

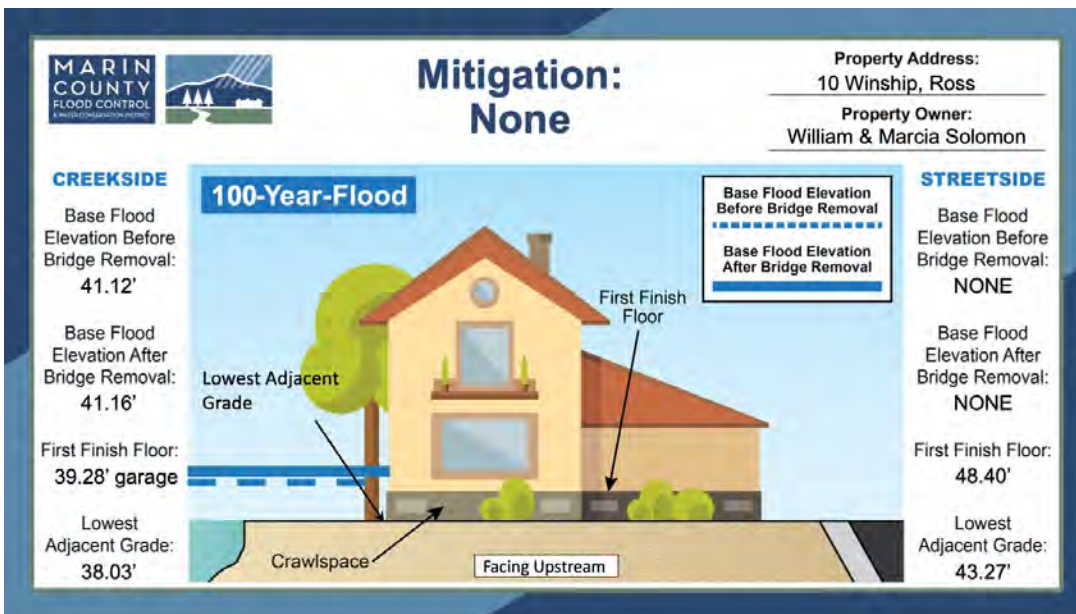
MS CLAY: *"We are targeting construction of Building Bridge 2 removal for summer of 2025, I mean 2026, and we believe that we can meet that deadline. We have not yet finalized the FEMA compliance and after we finalized that approach, we will have a better idea if any other mitigation requirement are needed.*

*We did go through a comprehensive outreach approach to contact all the people that we had identified as being and seeing a rise in water surface elevation that was on their parcel. And we did that related to the modeling that was done for FEMA document.*

*We met with every single property owner and that's completed and based on that, no mitigation was required."*

Video link: [https://www.youtube.com/watch?v=ke\\_f4UcFs8A](https://www.youtube.com/watch?v=ke_f4UcFs8A)

I filed Record Request #24-754 requesting survey information from the County by individual property addresses, and in response, I received a packet of **Certified Letters and Presentation Slides** (see attached) detailing BFE (before and after – BB2 Bridge Removal) Lowest Adjacent Grade, and First Finished.



This information was provided to 30 homes including some outside the scope of the San Anselmo Flood Risk Reduction. Of concern, is the fact that there are *at least* 23 properties identified as at potential risk that did not receive this information. They include:

572-574 San Anselmo Ave  
566-570 San Anselmo Ave  
550-552 San Anselmo Ave  
538-540 San Anselmo Ave  
241-245 Sir Francis Drake Blvd  
526-536 San Anselmo Ave  
130 Sir Francis Drake Blvd  
35 Entrata Ave  
25 Entrata Ave  
98 Sir Francis Drake Blvd  
18 Barber Ave  
126 Barber Ave  
36 Sir Francis Drake Blvd  
34 Sir Francis Drake Blvd  
32 Sir Francis Drake Blvd  
4 Winship  
98 Sir Francis Drake Blvd  
96 Sir Francis Drake  
94 Sir Francis Drake  
86 Sir Francis Drake Blvd.  
82 Sir Francis Drake  
78 Sir Francis Drake  
74 Sir Francis Drake

There are additional properties identified in 2023 Meridian Survey prepared by Stetson Engineers, Inc. (attached) that are not included in the list above. The County's Legal Counsel informed me that if **Certified Letters and Presentation Slides** were not provided to a

property owner, it is because they do not exist. It appears that survey work is far from complete.

It is clear that Ms. Clay's statement to the Flood Zone 9 Advisory Board: "*We met with every single property owner and that's completed and based on that, no mitigation was required*" is not supported by the public record and flies in the face of first-hand experiences and testimony by residents, as well.

Here are recent letters that underscore that the County has not done the work it claims. Many people are unaware that they are at risk; and they have never been contacted by the County:

**Fwd: Flood Plan affecting 130 Barber Avenue and surrounding neighbors**

Hi there

It has come to my attention that flood mitigation plans are going to be affecting our property at 130 Barber. I was NEVER notified that the county's plans would directly impact my home even though it has been disclosed that all property owners have been contacted and met with.

I have enclosed a letter that was supposedly mailed to me by certified mail. Please note I do not have a PO Box in Missouri nor have I ever. I have lived at and received mail at my home address at 130 Barber Avenue for the last 15 years. I question the process for notifying affected homeowners, given that no information would lead anyone to think my mailing address was in Missouri. I wonder how many homeowners are in the same position.

I find the lack of transparency of this project and how it affects homeowners to be deeply concerning and I would like to request a meeting to understand how you will protect my home from flood damage in the event of this plan moving forward.

thanks Radhi and Kevin Ahern  
415.531.2981

**Fwd: Public comment for FZ9 Advisory Board meeting on 2/27/2025**

I was JUST made aware how the San Anselmo Flood Risk Reduction Project , and more specifically the removal of BB2 will negatively impact my property at 172 Barber Avenue. While this project will help other homes this will impact 50 others, mine included.

It is unacceptable that I have never received any information or had any communication with the committee who is in charge of this project! How is that possible or acceptable?

I guess someone will help pay for the negative impact this will have when I go to sell my house. Do I now need a flood insurance policy? Don't I pay your salaries to protect me, look out for the community and do what is best for EVERYONE?

What does FEMA think about this? FEMA has a no rise rule...are you just ignoring this and thus breaking the law?

I have owned my house for 31 years and have felt that my tax dollars, for the most part, were being wisely managed and spent. What a disappointment this is...this is actually the definition of inept management. Don't emulate a corrupt government...adhere to the law and protect everyone. If not...go get a job in the private sector where your actions don't impact constituents.  
Alexandra Cowley

**Fwd: Public Comment for FZ9 Flood Advisory Board Meeting 2/27/2025**

We bought our home at 10 Lincoln Court, San Anselmo in December 2023. We have NEVER been contacted by the County in regards to the San Anselmo Flood Risk Reduction Project, removal of Building Bridge 2 and how there will be negative impacts at our home which has NEVER flooded since it was built in the 1960s. We have never received survey data for our home or any information about mitigation strategies. It is extremely concerning that at the last Advisory Board meeting, officials in charge of the project stated they had met with us to discuss impacts at our property. This is unacceptable and worrisome. If our home does flood after the bridge is removed we will take legal action against the County for all damages.

Don and Tery Nelson  
10 Lincoln Court  
San Anselmo

**Fwd: Public Comment for FZ9 Flood Advisory Board Meeting February 27th, 2025**

Hello,

My name is Neil Cowperthwaite and I am the property owner at 126 Barber Ave. San Anselmo CA.

We purchased our home in October of 2023 and I have had no correspondence with anyone from the county or city regarding the future impacts of the Flood Risk Reduction Project in downtown San Anselmo. When we purchased the home there was no disclosure regarding the downtown flood project or any future consequences.

Since living at 126 Barber Ave I have had my own concerns about the project and how it could negatively impact my property. This rainy season (2024/2025) I have seen the San Anselmo Creek water rise close to the top of the bank. If this project were to move forward my property would be negatively impacted by flooding, bank erosion, and damage due to increased water volume passing through the narrow creek. The potential damage to downstream property owners would be burdensome, costly, increase already skyrocketing insurance costs, and decrease the value of our homes.

I have three kids (ages 5, 2, and 3 months old) and to have to deal with increased flooding every winter and unstable creek banks would make our home dangerous for my family.

Is there a plan in place for increased water flow downstream and bank erosion to impacted properties?

When the banks erode downstream is that on the property owners to fix? Does the county have any plan for this?

Does this project include installing retaining walls for downstream property owners?  
How would this impact future projects on my property?

This project is short sighted and not fully thought through. There needs to be open conversations with property owners downstream, in the almost year and a half that I have lived here I have not heard anything from the County regarding future water rise or any communication about this project.

Thank You,  
Neil Cowperthwaite

**Public comment for flood zone & advisory board meeting Feb 27, 2025**

My address is 78 Sir Francis Drake and I have NOT been contacted regarding San Anselmo Flood Risk

Reduction Project and the removal of BB2 negatively affecting my home. I have not been contacted by anyone since August 2023 where Hugh Davis wanted access to my backyard and promised me he would get back to me within a month and keep communication open. This was 18 months ago! Everyone at the Flood District avoids and fails to communicate in any way. We have begged for transparency with any news both positive or negative. Did Hugh die? Did he get fired? Was his job terminated due to DOGE? Or did he retire living on a pension that I am paying for? I am tired of the dishonesty and disrespect coming from an organization that is supposed to protect our homes. My home is as built over 100 years ago in the early 1900's and it has NEVER flooded more than it has been water in the crawl space under my home.

Please do the right thing and start contacting the property owners and work with us for mitigation prior to work on the creek.  
Samantha

#### **Fwd: Public Comment for FZ9 Flood Advisory Board – Feb. 27, 2025 – Removal of BB2 and Impacts**

To Whom It May Concern,

I am submitting this public comment regarding the **removal of Building Bridge 2 (BB2)** as part of the **San Anselmo Flood Risk Reduction Project (SAFRR)** and its direct impact on my property at [42 Sir Francis Drake Blvd, San Anselmo](#).

#### **Concerns About Increased Flood Risk and Property Impact**

We were informed that **no mitigation measures** are required for our home based on an analysis of **25-year and 100-year flood levels**. However, this conclusion is unclear and raises serious concerns. The removal of BB2 is expected to **raise the Base Flood Elevation (BFE) at our property**, yet no mitigation or compensation is being provided for the increased risk we will face.

- **Base Flood Elevation (BFE) Changes:**

- The proposed removal of the bridge will **increase** the BFE at our home.
- While this change may appear minimal on paper, in **real-world flood scenarios**, our home will now be vulnerable to flooding situations that would **not have occurred if the bridge remained**.

- **Increased Flood Risk Without Compensation:**

- We are being asked to **"take one for the team"** without consideration of our financial burden.
- The increase in creek capacity and higher BFE creates **multiple flood scenarios** where our home and garage **will now flood post-removal, when they would not have previously**.
- The **25-year and 100-year flood models do not fully capture** the potential risks to our home. Floods occur outside of these exact scenarios, and any **increase in BFE inherently raises flood vulnerability** in many smaller but still damaging events.
- The County has acknowledged in its own documentation that **flood mitigation measures such as elevating homes or relocating mechanical equipment are necessary in certain cases**—yet our property has been **excluded from this consideration without explanation**.

#### **Proposed Mitigation Measures**

Given the increased risk to our property, I strongly urge the County to **implement the necessary flood mitigation**, including:

1. **Elevating Our Home & Garage** – If BB2 removal increases our flood risk, **elevating our**

**structures** should be part of the project scope.

2. **Alternative Compensation** – If elevation is not feasible, **financial compensation** should be provided to offset the long-term increased flood risk.

3. **Reevaluation of Flood Modeling** – The County should conduct **a more detailed hydrological impact study** to determine whether additional properties, including ours, require protection.

## **Conclusion**

While we fully support efforts to **reduce flooding in downtown San Anselmo**, it is unacceptable for individual homeowners to **bear the burden of unintended consequences** without any mitigation. If the County is investing in solutions to improve conditions for hundreds of properties, it must also take **responsibility for the increased flood risk to homes like ours**.

I appreciate your time and consideration and look forward to a **formal response** regarding potential mitigation options.

Sincerely,

Justin Allamano, Esq.  
[42 Sir Francis Drake Blvd](#)  
[San Anselmo, CA](#)

## **IN SUMMARY**

In summary, the County has made many misleading and erroneous statements that are not supported by the Public Record, public testimony, and letters written by concerned residents.

The Flood Zone 9 Advisory Board should not “advise” the Board of Supervisors to proceed with the county's ill-advised plan, which is tainted by misleading statements and misinformation.

Respectfully,

John Crane

86 Sir Francis Drake Boulevard  
Ross, CA

Attachment: Certified Letters and Flood Presentation Slides, Meridian Survey

John Crane Films  
415.847.5054  
email: [johncranefilms@gmail.com](mailto:johncranefilms@gmail.com)






## FLOOD ZONE 9 ADVISORY BOARD MEETING AGENDA ITEM #5 RE: INCOMPLETE COUNTY SAFRR SURVEY RESULTS AND MISINFORMATION

February 27, 2025

At the last Flood Zone 9 Advisory Board meeting, held on November 7, 2024, Ms. Clay made the following statement to the Flood Zone 9 Advisory Board: *“We met with every single property owner and that’s completed and based on that, no mitigation was required.”*

At that meeting, I put the Zone 9 Advisory Board on notice that the County has never met and provided me with specific survey and mitigation measures for my home at 86 Sir Francis Drake Boulevard. Not surprisingly, that is true for many other property owners as well.



The image shows a YouTube video player interface. The video frame displays a meeting in progress, with several people seated around a long table. A large screen in the background shows a presentation. A text overlay on the video reads: "document we met with every single property owner". Below the video frame, the YouTube channel name "Flood Control#9 / San Anselmo-Ross" is visible, along with a "Transcript" section. The transcript is titled "FLOOD ZONE 9 ADVISORY BOARD MEETING | November 7, 2024" and contains the following text:

MS CLAY: We are targeting construction of Building Bridge 2 removal for summer of 2025, I mean 2026, and we believe that we can meet that deadline. We have not yet finalized the FEMA compliance and after we finalized that approach we will have a better idea if any other mitigation requirement are needed.

We did go through a comprehensive outreach approach to contact all the people that we had identified as being and seeing a rise in water surface elevation that was on their parcel. And we did that related to the modeling that was done for FEMA document.

We met with every single property owner and that's completed and based on that, no mitigation was required.

On the right side of the video player, a vertical list of timestamps and corresponding text snippets is visible, starting from 19:06 and ending at 20:29.

Here is a Video link to Ms. Clay’s statements made to FZ9 AB on November 7, 2025:  
[https://www.youtube.com/watch?v=ke\\_f4UcFs8A](https://www.youtube.com/watch?v=ke_f4UcFs8A)

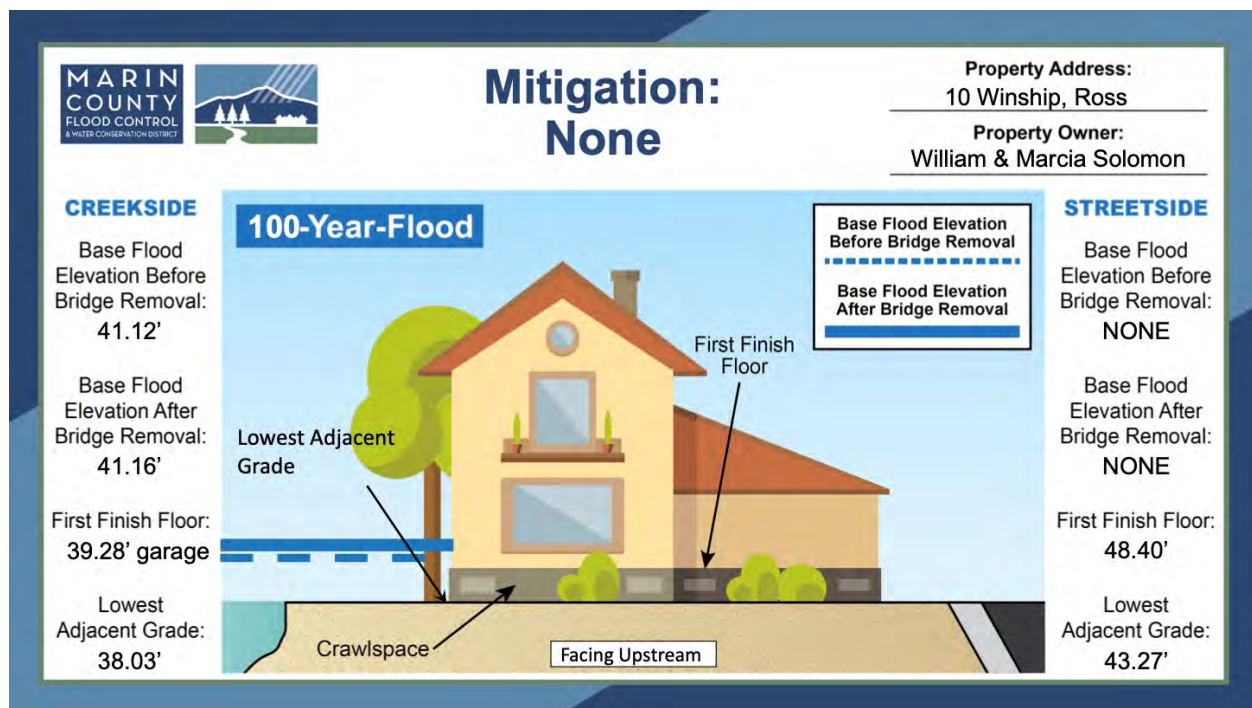
MS CLAY: *"We are targeting construction of Building Bridge 2 removal for summer of 2025, I mean 2026, and we believe that we can meet that deadline. We have not yet finalized the FEMA compliance and after we finalized that approach, we will have a better idea if any other mitigation requirement are needed."*

*We did go through a comprehensive outreach approach to contact all the people that we had identified as being and seeing a rise in water surface elevation that was on their parcel. And we did that related to the modeling that was done for FEMA document.*

*We met with every single property owner and that's completed and based on that, no mitigation was required."*

Video link: [https://www.youtube.com/watch?v=ke\\_f4UcFs8A](https://www.youtube.com/watch?v=ke_f4UcFs8A)

I filed Record Request #24-754 requesting survey information from the County by individual property addresses, and in response, I received a packet of **Certified Letters and Presentation Slides** (see attached) detailing surveying results including BFE (before and after – BB2 Bridge Removal) Lowest Adjacent Grade, and First Finished. Below is a sample of the presentation slide.



This information was provided to 30 homes including some outside the scope of the San Anselmo Flood Risk Reduction. Of concern, is the fact that there are *at least* 23 properties identified as at potential risk that did not receive this information.

They include:

572-574 San Anselmo Ave  
566-570 San Anselmo Ave  
550-552 San Anselmo Ave  
538-540 San Anselmo Ave  
241-245 Sir Francis Drake Blvd  
526-536 San Anselmo Ave  
130 Sir Francis Drake Blvd  
35 Entrata Ave  
25 Entrata Ave  
98 Sir Francis Drake Blvd  
18 Barber Ave  
126 Barber Ave  
36 Sir Francis Drake Blvd  
34 Sir Francis Drake Blvd  
32 Sir Francis Drake Blvd  
4 Winship  
98 Sir Francis Drake Blvd  
96 Sir Francis Drake  
94 Sir Francis Drake  
86 Sir Francis Drake Blvd.  
82 Sir Francis Drake  
78 Sir Francis Drake  
74 Sir Francis Drake

There are additional properties identified in 2023 Meridian Survey prepared by Stetson Engineers, Inc. (attached) that are not included in the list above. The County's Legal Counsel informed me that if **Certified Letters and Presentation Slides** were not provided to a property owner, it is because they do not exist. It appears that survey work is far from complete.

It is clear that Ms. Clay's statement to the Flood Zone 9 Advisory Board: *"We met with every single property owner and that's completed and based on that, no mitigation was required"* is not supported by the public record and flies in the face of first-hand experiences and testimony by residents, as well as the public record.

Here are recent letters that underscore that the County has not done the work it claims. Many people are unaware that they are at risk; and that they have never been contacted by the County:

**Fwd: Flood Plan affecting 130 Barber Avenue and surrounding neighbors**

Hi there

It has come to my attention that flood mitigation plans are going to be affecting our property at 130 Barber. I was NEVER notified that the county's plans would directly impact my home even though it has been disclosed that all property owners have been contacted and met with.

I have enclosed a letter that was supposedly mailed to me by certified mail. Please note I do not have a PO Box in Missouri nor have I ever. I have lived at and received mail at my home address at 130 Barber Avenue for the last 15 years. I question the process for notifying affected homeowners, given that no information would lead anyone to think my mailing address was in Missouri. I wonder how many homeowners are in the same position.

I find the lack of transparency of this project and how it affects homeowners to be deeply concerning and I would like to request a meeting to understand how you will protect my home from flood damage in the event of this plan moving forward.

thanks Radhi and Kevin Ahern  
415.531.2981

**Fwd: Public comment for FZ9 Advisory Board meeting on 2/27/2025**

I was JUST made aware how the San Anselmo Flood Risk Reduction Project, and more specifically the removal of BB2 will negatively impact my property at 172 Barber Avenue. While this project will help other homes this will impact 50 others, mine included.

It is unacceptable that I have never received any information or had any communication with the committee who is in charge of this project! How is that possible or acceptable?

I guess someone will help pay for the negative impact this will have when I go to sell my house. Do I now need a flood insurance policy? Don't I pay your salaries to protect me, look out for the community and do what is best for EVERYONE?

What does FEMA think about this? FEMA has a no rise rule...are you just ignoring this and thus breaking the law?

I have owned my house for 31 years and have felt that my tax dollars, for the most part, were being wisely managed and spent. What a disappointment this is...this is actually the definition of inept management. Don't emulate a corrupt government...adhere to the law and protect everyone. If not...go get a job in the private sector where your actions don't impact constituents.  
Alexandra Cowley

**Fwd: Public Comment for FZ9 Flood Advisory Board Meeting 2/27/2025**

We bought our home at 10 Lincoln Court, San Anselmo in December 2023. We have NEVER been contacted by the County in regards to the San Anselmo Flood Risk Reduction Project, removal of Building Bridge 2 and how there will be negative impacts at our home which has NEVER flooded since it was built in the 1960s. We have never received survey data for our home or any information about mitigation strategies. It is extremely concerning that at the last Advisory Board meeting, officials in charge of the project stated they had met with us to discuss impacts at our property. This is unacceptable and worrisome. If our home does flood after the bridge is removed we will take legal action against the County for all damages.

Don and Tery Nelson  
10 Lincoln Court  
San Anselmo

**Fwd: Public Comment for FZ9 Flood Advisory Board Meeting February 27th, 2025**

Hello,

My name is Neil Cowperthwaite and I am the property owner at 126 Barber Ave. San Anselmo CA.

We purchased our home in October of 2023 and I have had no correspondence with anyone from the county or city regarding the future impacts of the Flood Risk Reduction Project in downtown San Anselmo. When we purchased the home there was no disclosure regarding the downtown flood project or any future consequences.

Since living at 126 Barber Ave I have had my own concerns about the project and how it could negatively impact my property. This rainy season (2024/2025) I have seen the San Anselmo Creek water rise close to the top of the bank. If this project were to move forward my property would be negatively impacted by flooding, bank erosion, and damage due to increased water volume passing through the narrow creek. The potential damage to downstream property owners would be burdensome, costly, increase already skyrocketing insurance costs, and decrease the value of our homes.

I have three kids (ages 5, 2, and 3 months old) and to have to deal with increased flooding every winter and unstable creek banks would make our home dangerous for my family.

Is there a plan in place for increased water flow downstream and bank erosion to impacted properties?

When the banks erode downstream is that on the property owners to fix? Does the county have any plan for this?

Does this project include installing retaining walls for downstream property owners?  
How would this impact future projects on my property?

This project is short sighted and not fully thought through. There needs to be open conversations with property owners downstream, in the almost year and a half that I have lived here I have not heard anything from the County regarding future water rise or any communication about this project.

Thank You,  
Neil Cowperthwaite

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My address is 78 Sir Francis Drake and I have NOT been contacted regarding San Anselmo Flood Risk Reduction Project and the removal of BB2 negatively affecting my home. I have not been contacted by anyone since August 2023 where Hugh Davis wanted access to my backyard and promised me he would get back to me within a month and keep communication open. This was 18 months ago! Everyone at the Flood District avoids and fails to communicate in any way. We have begged for transparency with any news both positive or negative. Did Hugh die? Did he get fired? Was his job terminated due to DOGE? Or did he retire living on a pension that I am paying for? I am tired of the dishonesty and disrespect coming from an organization that is supposed to protect our homes. My home is as built over 100 years ago in the early 1900's and it has NEVER flooded more has there been water in the crawl space under my home.

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Samantha

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To Whom It May Concern,

I am submitting this public comment regarding the **removal of Building Bridge 2 (BB2)** as part of the **San Anselmo Flood Risk Reduction Project (SAFRR)** and its direct impact on my property at [42 Sir Francis Drake Blvd, San Anselmo](#).

### Concerns About Increased Flood Risk and Property Impact

We were informed that **no mitigation measures** are required for our home based on an analysis of **25-year and 100-year flood levels**. However, this conclusion is unclear and raises serious concerns. The removal of BB2 is expected to **raise the Base Flood Elevation (BFE) at our property**, yet no mitigation or compensation is being provided for the increased risk we will face.

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Given the increased risk to our property, I strongly urge the County to **implement the necessary flood mitigation**, including:

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### Conclusion

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I appreciate your time and consideration and look forward to a **formal response** regarding potential mitigation options.

Sincerely,

Justin Allamano, Esq.  
[42 Sir Francis Drake Blvd](#)  
[San Anselmo, CA](#)

## **IN SUMMARY**

In summary, the County has made many misleading and erroneous statements that are not supported by the Public Record, public testimony, and letters written by concerned residents.

The Flood Zone 9 Advisory Board should not “advise” the Board of Supervisors to proceed with the county's ill-advised plan, which is tainted by misleading statements and misinformation.

Respectfully,

John Crane

86 Sir Francis Drake Boulevard  
Ross, CA

Attachment: Certified Letters and Flood Presentation Slides, Meridian Survey





John Crane <johncranefilms@gmail.com>

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## Fwd: Flood Plan affecting 130 Barber Avenue and surrounding neighbors

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Jennifer Mota <jrosemota@gmail.com>  
To: John Crane <johncranefilms@gmail.com>

Tue, Feb 25, 2025 at 11:42 PM

----- Forwarded message -----

From: **Radhi Ahern** <[radhi@outpostrealestate.com](mailto:radhi@outpostrealestate.com)>  
Date: Mon, Feb 24, 2025 at 10:20 PM  
Subject: Flood Plan affecting 130 Barber Avenue and surrounding neighbors  
To: <[tracy.clay@marincounty.gov](mailto:tracy.clay@marincounty.gov)>, <[floodinquiry@marincounty.org](mailto:floodinquiry@marincounty.org)>, [berenice.davidson@marincounty.gov](mailto:berenice.davidson@marincounty.gov) <[berenice.davidson@marincounty.gov](mailto:berenice.davidson@marincounty.gov)>, <[jnewsome@marincounty.gov](mailto:jnewsome@marincounty.gov)>, Kevin Ahern <[kahern@aherncapital.com](mailto:kahern@aherncapital.com)>

Hi there

It has come to my attention that flood mitigation plans are going to be affecting our property at 130 Barber. I was NEVER notified that the county's plans would directly impact my home even though it has been disclosed that all property owners have been contacted and met with.

I have enclosed a letter that was supposedly mailed to me by certified mail. Please note I do not have a PO Box in Missouri nor have I ever. I have lived at and received mail at my home address at 130 Barber Avenue for the last 15 years. I question the process for notifying affected homeowners, given that no information would lead anyone to think my mailing address was in Missouri. I wonder how many homeowners are in the same position.

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thanks Radhi and Kevin Ahern  
415.531.2981

--

Radhi Ahern

Founder | Real Estate Advisor

## **OUTPOST**

[outpostrealestate.com](https://outpostrealestate.com) | [@outpost.homes](https://www.instagram.com/outpost.homes)

415.531.2981

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Note: I have not and will not verify or investigate the information supplied by third parties. You will never receive wire instructions from our team. Always verify wire instructions verbally by calling the escrow officer from the phone number previously provided.



**Certified Mail to Wrong Address.pdf**

651K



John Crane <johncranefilms@gmail.com>

---

## Fwd: Public comment for FZ9 Advisory Board meeting on 2/27/2025

1 message

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**Jennifer Mota** <jrosemota@gmail.com>  
To: John Crane <johncranefilms@gmail.com>

Tue, Feb 25, 2025 at 11:43 PM

----- Forwarded message -----

From: **Alexandra Cowley** <[alexandra.cowley@gmail.com](mailto:alexandra.cowley@gmail.com)>  
Date: Tue, Feb 25, 2025 at 11:30 AM  
Subject: Public comment for FZ9 Advisory Board meeting on 2/27/2025  
To: FloodInquiry@MarinCounty.gov <[FloodInquiry@marincounty.gov](mailto:FloodInquiry@marincounty.gov)>

I was JUST made aware how the San Anselmo Flood Risk Reduction Project , and more specifically the removal of BB2 will negatively impact my property at 172 Barber Avenue. While this project will help other homes this will impact 50 others, mine included.

It is unacceptable that I have never received any information or had any communication with the committee who is in charge of this project! How is that possible or acceptable?

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Alexandra Cowley



John Crane <johncranefilms@gmail.com>

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## Fwd: Public Comment for FZ9 Flood Advisory Board Meeting 2/27/2025

1 message

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**Jennifer Mota** <jrosemota@gmail.com>  
To: John Crane <johncranefilms@gmail.com>

Tue, Feb 25, 2025 at 11:43 PM

----- Forwarded message -----

From: **Tery Nelson** <terynelson151@gmail.com>

Date: Tue, Feb 25, 2025 at 4:36 PM

Subject: Public Comment for FZ9 Flood Advisory Board Meeting 2/27/2025

To: <[FloodInquiry@marincounty.gov](mailto:FloodInquiry@marincounty.gov)>

Cc: <[jrosemota@gmail.com](mailto:jrosemota@gmail.com)>

We bought our home at [10 Lincoln Court, San Anselmo](#) in December 2023. We have NEVER been contacted by the County in regards to the San Anselmo Flood Risk Reduction Project, removal of Building Bridge 2 and how there will be negative impacts at our home which has NEVER flooded since it was been built in the 1960s. We have never received survey data for our home or any information about mitigation strategies. It is extremely concerning that at the last Advisory Board meeting, officials in charge of the project stated they had met with us to discuss impacts at our property. This is unacceptable and worrisome. If our home does flood after the bridge is removed we will take legal action against the County for all damages.

Don and Tery Nelson

[10 Lincoln Court](#)

San Anselmo



John Crane <johncranefilms@gmail.com>

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## Fwd: Public Comment for FZ9 Flood Advisory Board – Feb. 27, 2025 – Removal of BB2 and Impacts

1 message

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**Jennifer Mota** <jrosemota@gmail.com>  
To: John Crane <johncranefilms@gmail.com>

Wed, Feb 26, 2025 at 9:58 AM

One more in the books

----- Forwarded message -----

From: **Justin Allamano** <jallamano@gmail.com>  
Date: Wed, Feb 26, 2025 at 9:53 AM  
Subject: Fwd: Public Comment for FZ9 Flood Advisory Board – Feb. 27, 2025 – Removal of BB2 and Impacts  
To: <jrosemota@gmail.com>

Justin Allamano

----- Forwarded message -----

From: **Justin Allamano** <jallamano@gmail.com>  
Date: Wed, Feb 26, 2025 at 9:23 AM  
Subject: Public Comment for FZ9 Flood Advisory Board – Feb. 27, 2025 – Removal of BB2 and Impacts  
To: Inquiry, Flood <floodinquiry@marincounty.org>  
CC: Cara Brennan Allamano <carabrennan@gmail.com>

To Whom It May Concern,

I am submitting this public comment regarding the **removal of Building Bridge 2 (BB2)** as part of the **San Anselmo Flood Risk Reduction Project (SAFRR)** and its direct impact on my property at **42 Sir Francis Drake Blvd, San Anselmo**.

**Concerns About Increased Flood Risk and Property Impact**

We were informed that **no mitigation measures** are required for our home based on an analysis of **25-year and 100-year flood levels**. However, this conclusion is unclear and raises serious concerns. The removal of BB2 is expected to **raise the Base Flood Elevation (BFE) at our property**, yet no mitigation or compensation is being provided for the increased risk we will face.

- **Base Flood Elevation (BFE) Changes:**
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  - While this change may appear minimal on paper, in **real-world flood scenarios**, our home will now be vulnerable to flooding situations that would **not have occurred if the bridge remained**.
- **Increased Flood Risk Without Compensation:**
  - We are being asked to **“take one for the team”** without consideration of our financial burden.
  - The increase in creek capacity and higher BFE creates **multiple flood scenarios** where our home and garage **will now flood post-removal, when they would not have previously**.
  - The **25-year and 100-year flood models do not fully capture** the potential risks to our home. Floods occur outside of these exact scenarios, and any **increase in BFE inherently raises flood vulnerability** in many smaller but still damaging events.
  - The County has acknowledged in its own documentation that **flood mitigation measures such as elevating homes or relocating mechanical equipment are necessary in certain cases**—yet our property has been **excluded from this consideration without explanation**.

## Proposed Mitigation Measures

Given the increased risk to our property, I strongly urge the County to **implement the necessary flood mitigation**, including:

1. **Elevating Our Home & Garage** – If BB2 removal increases our flood risk, **elevating our structures** should be part of the project scope.
2. **Alternative Compensation** – If elevation is not feasible, **financial compensation** should be provided to offset the long-term increased flood risk.
3. **Reevaluation of Flood Modeling** – The County should conduct **a more detailed hydrological impact study** to determine whether additional properties, including ours, require protection.

## Conclusion

While we fully support efforts to **reduce flooding in downtown San Anselmo**, it is unacceptable for individual homeowners to **bear the burden of unintended consequences** without any mitigation. If the County is investing in solutions to improve conditions for hundreds of properties, it must also take **responsibility for the increased flood risk to homes like ours**.

I appreciate your time and consideration and look forward to a **formal response** regarding potential mitigation options.

Sincerely,

Justin Allamano, Esq.  
42 Sir Francis Drake Blvd  
San Anselmo, CA



**From:** [John Crane](#)  
**To:** [Flood Inquiry](#)  
**Subject:** Fwd: PUBLIC COMMENT 2.27.25 FLOOD ZONE 9 ADVISORY BOARD MEETING AGENDA ITEM #5  
**Date:** Wednesday, February 26, 2025 12:10:55 PM  
**Attachments:** [FZ9AB-2.27.25 - Crane Final .pdf](#)  
[Certified Letters and Flood Presentation Slides.pdf](#)  
[Meridian Survey.pdf](#)  
[Fwd- Flood Plan affecting 130 Barber Avenue and surrounding neighbors.pdf](#)  
[Fwd- Public comment for FZ9 Advisory Board meeting on 2272025.pdf](#)  
[Gmail - Public comment for flood zone & advisory board meeting Feb 27, 2025.pdf](#)  
[Fwd- Public Comment for FZ9 Flood Advisory Board – Feb. 27, 2025 – Removal of BB2 and Impacts.pdf](#)  
[Fwd- Public Comment for FZ9 Flood Advisory Board Meeting 2272025.pdf](#)

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ATTN: Please include the PDF version of my Public Comment letter and all attachments for the public record.  
Thank you.

----- Forwarded message -----

**From:** John Crane <[johncranefilms@gmail.com](mailto:johncranefilms@gmail.com)>  
**Date:** Wed, Feb 26, 2025 at 12:01 PM  
**Subject:** PUBLIC COMMENT 2.27.25 FLOOD ZONE 9 ADVISORY BOARD MEETING AGENDA ITEM #5  
**To:** <[backerman@townoffairfax.org](mailto:backerman@townoffairfax.org)>, Christopher Martin <[rosscitizen@gmail.com](mailto:rosscitizen@gmail.com)>, Inquiry, Flood <[FloodInquiry@marincounty.gov](mailto:FloodInquiry@marincounty.gov)>, <[gpaulson@cityoflarkspur.org](mailto:gpaulson@cityoflarkspur.org)>, Peter Hogg <[system2020@msn.com](mailto:system2020@msn.com)>, <[richardgumbiner@yahoo.com](mailto:richardgumbiner@yahoo.com)>, <[dhcnic@comcast.net](mailto:dhcnic@comcast.net)>, Christa Johnson - Town Manager <[cjohnson@townofross.org](mailto:cjohnson@townofross.org)>, Bill Kircher Jr. <[cwkmisc@gmail.com](mailto:cwkmisc@gmail.com)>, Elizabeth Robbins <[eliz.robbs@gmail.com](mailto:eliz.robbs@gmail.com)>, Julie McMillan <[juliemcmillan@comcast.net](mailto:juliemcmillan@comcast.net)>, <[tdowlingtor@gmail.com](mailto:tdowlingtor@gmail.com)>, <[salter4ross@gmail.com](mailto:salter4ross@gmail.com)>, [towncouncil@townofross.org](mailto:towncouncil@townofross.org) <[towncouncil@townofross.org](mailto:towncouncil@townofross.org)>, [towncouncil@townofsananselmo.org](mailto:towncouncil@townofsananselmo.org) <[towncouncil@townofsananselmo.org](mailto:towncouncil@townofsananselmo.org)>, BOS <[BOS@marincounty.org](mailto:BOS@marincounty.org)>

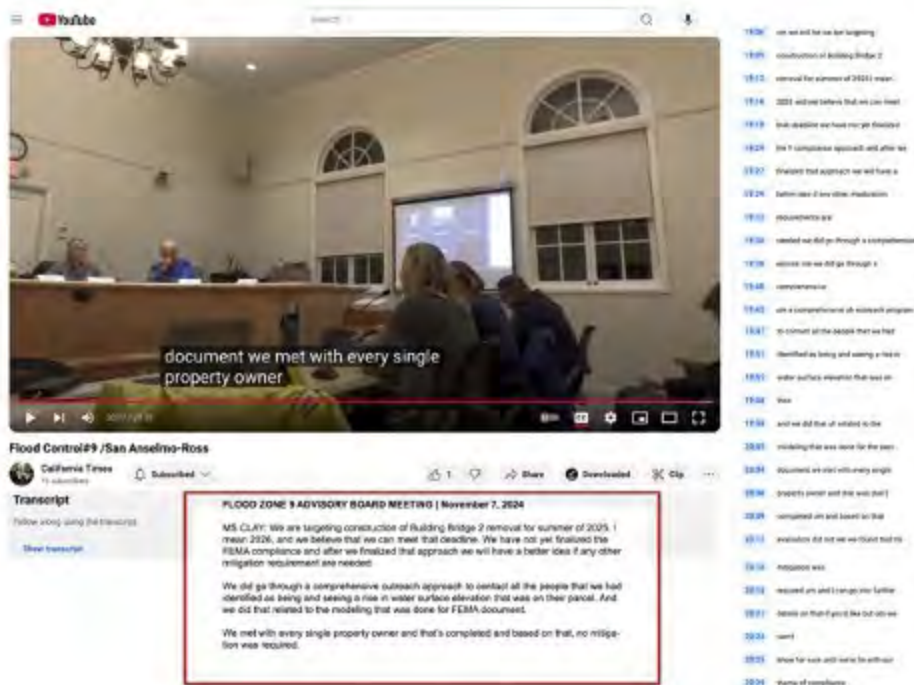
**FLOOD ZONE 9 ADVISORY BOARD MEETING AGENDA ITEM #5  
RE: INCOMPLETE COUNTY SAFRR SURVEY RESULTS  
AND MISINFORMATION**

**February 27, 2025**

At the last Flood Zone 9 Advisory Board meeting, held on November 7, 2024, Ms. Clay made the following statement to the Flood Zone 9 Advisory Board: *"We met with every single property owner and that's completed and based on that, no mitigation was required."*

At that meeting, I put the Zone 9 Advisory Board on notice that the County has never met and provided me with specific survey information and mitigation measures for my home at 86 Sir Francis Drake Boulevard. Not surprisingly, that is true for many other property owners as well.





Here is a Video link to Ms. Clay's statements made to FZ9 AB on November 7, 2025:  
[https://www.youtube.com/watch?v=ke\\_f4UcFs8A](https://www.youtube.com/watch?v=ke_f4UcFs8A)

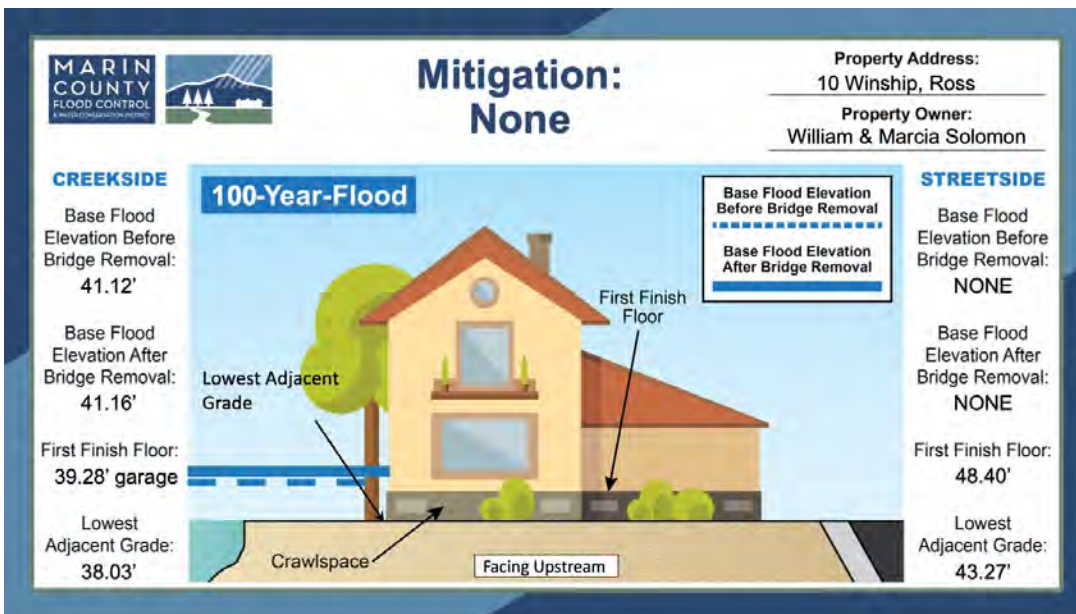
MS CLAY: *"We are targeting construction of Building Bridge 2 removal for summer of 2025, I mean 2026, and we believe that we can meet that deadline. We have not yet finalized the FEMA compliance and after we finalized that approach, we will have a better idea if any other mitigation requirement are needed.*

*We did go through a comprehensive outreach approach to contact all the people that we had identified as being and seeing a rise in water surface elevation that was on their parcel. And we did that related to the modeling that was done for FEMA document.*

*We met with every single property owner and that's completed and based on that, no mitigation was required."*

Video link: [https://www.youtube.com/watch?v=ke\\_f4UcFs8A](https://www.youtube.com/watch?v=ke_f4UcFs8A)

I filed Record Request #24-754 requesting survey information from the County by individual property addresses, and in response, I received a packet of **Certified Letters and Presentation Slides** (see attached) detailing BFE (before and after – BB2 Bridge Removal) Lowest Adjacent Grade, and First Finished.



This information was provided to 30 homes including some outside the scope of the San Anselmo Flood Risk Reduction. Of concern, is the fact that there are *at least* 23 properties identified as at potential risk that did not receive this information. They include:

572-574 San Anselmo Ave  
 566-570 San Anselmo Ave  
 550-552 San Anselmo Ave  
 538-540 San Anselmo Ave  
 241-245 Sir Francis Drake Blvd  
 526-536 San Anselmo Ave  
 130 Sir Francis Drake Blvd  
 35 Entrata Ave  
 25 Entrata Ave  
 98 Sir Francis Drake Blvd  
 18 Barber Ave  
 126 Barber Ave  
 36 Sir Francis Drake Blvd  
 34 Sir Francis Drake Blvd  
 32 Sir Francis Drake Blvd  
 4 Winship  
 98 Sir Francis Drake Blvd  
 96 Sir Francis Drake  
 94 Sir Francis Drake  
 86 Sir Francis Drake Blvd.  
 82 Sir Francis Drake  
 78 Sir Francis Drake  
 74 Sir Francis Drake

There are additional properties identified in 2023 Meridian Survey prepared by Stetson Engineers, Inc. (attached) that are not included in the list above. The County's Legal Counsel informed me that if **Certified Letters and Presentation Slides** were not provided to a

property owner, it is because they do not exist. It appears that survey work is far from complete.

It is clear that Ms. Clay's statement to the Flood Zone 9 Advisory Board: "*We met with every single property owner and that's completed and based on that, no mitigation was required*" is not supported by the public record and flies in the face of first-hand experiences and testimony by residents, as well.

Here are recent letters that underscore that the County has not done the work it claims. Many people are unaware that they are at risk; and they have never been contacted by the County:

**Fwd: Flood Plan affecting 130 Barber Avenue and surrounding neighbors**

Hi there

It has come to my attention that flood mitigation plans are going to be affecting our property at 130 Barber. I was NEVER notified that the county's plans would directly impact my home even though it has been disclosed that all property owners have been contacted and met with.

I have enclosed a letter that was supposedly mailed to me by certified mail. Please note I do not have a PO Box in Missouri nor have I ever. I have lived at and received mail at my home address at 130 Barber Avenue for the last 15 years. I question the process for notifying affected homeowners, given that no information would lead anyone to think my mailing address was in Missouri. I wonder how many homeowners are in the same position.

I find the lack of transparency of this project and how it affects homeowners to be deeply concerning and I would like to request a meeting to understand how you will protect my home from flood damage in the event of this plan moving forward.

thanks Radhi and Kevin Ahern  
415.531.2981

**Fwd: Public comment for FZ9 Advisory Board meeting on 2/27/2025**

I was JUST made aware how the San Anselmo Flood Risk Reduction Project , and more specifically the removal of BB2 will negatively impact my property at 172 Barber Avenue. While this project will help other homes this will impact 50 others, mine included.

It is unacceptable that I have never received any information or had any communication with the committee who is in charge of this project! How is that possible or acceptable?

I guess someone will help pay for the negative impact this will have when I go to sell my house. Do I now need a flood insurance policy? Don't I pay your salaries to protect me, look out for the community and do what is best for EVERYONE?

What does FEMA think about this? FEMA has a no rise rule...are you just ignoring this and thus breaking the law?

I have owned my house for 31 years and have felt that my tax dollars, for the most part, were being wisely managed and spent. What a disappointment this is...this is actually the definition of inept management. Don't emulate a corrupt government...adhere to the law and protect everyone. If not...go get a job in the private sector where your actions don't impact constituents.  
Alexandra Cowley

**Fwd: Public Comment for FZ9 Flood Advisory Board Meeting 2/27/2025**

We bought our home at 10 Lincoln Court, San Anselmo in December 2023. We have NEVER been contacted by the County in regards to the San Anselmo Flood Risk Reduction Project, removal of Building Bridge 2 and how there will be negative impacts at our home which has NEVER flooded since it was built in the 1960s. We have never received survey data for our home or any information about mitigation strategies. It is extremely concerning that at the last Advisory Board meeting, officials in charge of the project stated they had met with us to discuss impacts at our property. This is unacceptable and worrisome. If our home does flood after the bridge is removed we will take legal action against the County for all damages.

Don and Tery Nelson  
10 Lincoln Court  
San Anselmo

**Fwd: Public Comment for FZ9 Flood Advisory Board Meeting February 27th, 2025**

Hello,

My name is Neil Cowperthwaite and I am the property owner at 126 Barber Ave. San Anselmo CA.

We purchased our home in October of 2023 and I have had no correspondence with anyone from the county or city regarding the future impacts of the Flood Risk Reduction Project in downtown San Anselmo. When we purchased the home there was no disclosure regarding the downtown flood project or any future consequences.

Since living at 126 Barber Ave I have had my own concerns about the project and how it could negatively impact my property. This rainy season (2024/2025) I have seen the San Anselmo Creek water rise close to the top of the bank. If this project were to move forward my property would be negatively impacted by flooding, bank erosion, and damage due to increased water volume passing through the narrow creek. The potential damage to downstream property owners would be burdensome, costly, increase already skyrocketing insurance costs, and decrease the value of our homes.

I have three kids (ages 5, 2, and 3 months old) and to have to deal with increased flooding every winter and unstable creek banks would make our home dangerous for my family.

Is there a plan in place for increased water flow downstream and bank erosion to impacted properties?

When the banks erode downstream is that on the property owners to fix? Does the county have any plan for this?

Does this project include installing retaining walls for downstream property owners?  
How would this impact future projects on my property?

This project is short sighted and not fully thought through. There needs to be open conversations with property owners downstream, in the almost year and a half that I have lived here I have not heard anything from the County regarding future water rise or any communication about this project.

Thank You,  
Neil Cowperthwaite

**Public comment for flood zone & advisory board meeting Feb 27, 2025**

My address is 78 Sir Francis Drake and I have NOT been contacted regarding San Anselmo Flood Risk

Reduction Project and the removal of BB2 negatively affecting my home. I have not been contacted by anyone since August 2023 where Hugh Davis wanted access to my backyard and promised me he would get back to me within a month and keep communication open. This was 18 months ago! Everyone at the Flood District avoids and fails to communicate in any way. We have begged for transparency with any news both positive or negative. Did Hugh die? Did he get fired? Was his job terminated due to DOGE? Or did he retire living on a pension that I am paying for? I am tired of the dishonesty and disrespect coming from an organization that is supposed to protect our homes. My home is as built over 100 years ago in the early 1900's and it has NEVER flooded more than it has been water in the crawl space under my home.

Please do the right thing and start contacting the property owners and work with us for mitigation prior to work on the creek.  
Samantha

#### **Fwd: Public Comment for FZ9 Flood Advisory Board – Feb. 27, 2025 – Removal of BB2 and Impacts**

To Whom It May Concern,

I am submitting this public comment regarding the **removal of Building Bridge 2 (BB2)** as part of the **San Anselmo Flood Risk Reduction Project (SAFRR)** and its direct impact on my property at [42 Sir Francis Drake Blvd, San Anselmo](#).

#### **Concerns About Increased Flood Risk and Property Impact**

We were informed that **no mitigation measures** are required for our home based on an analysis of **25-year and 100-year flood levels**. However, this conclusion is unclear and raises serious concerns. The removal of BB2 is expected to **raise the Base Flood Elevation (BFE) at our property**, yet no mitigation or compensation is being provided for the increased risk we will face.

- **Base Flood Elevation (BFE) Changes:**

- The proposed removal of the bridge will **increase** the BFE at our home.
- While this change may appear minimal on paper, in **real-world flood scenarios**, our home will now be vulnerable to flooding situations that would **not have occurred if the bridge remained**.

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- The County has acknowledged in its own documentation that **flood mitigation measures such as elevating homes or relocating mechanical equipment are necessary in certain cases**—yet our property has been **excluded from this consideration without explanation**.

#### **Proposed Mitigation Measures**

Given the increased risk to our property, I strongly urge the County to **implement the necessary flood mitigation**, including:

1. **Elevating Our Home & Garage** – If BB2 removal increases our flood risk, **elevating our**

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3. **Reevaluation of Flood Modeling** – The County should conduct **a more detailed hydrological impact study** to determine whether additional properties, including ours, require protection.

## **Conclusion**

While we fully support efforts to **reduce flooding in downtown San Anselmo**, it is unacceptable for individual homeowners to **bear the burden of unintended consequences** without any mitigation. If the County is investing in solutions to improve conditions for hundreds of properties, it must also take **responsibility for the increased flood risk to homes like ours**.

I appreciate your time and consideration and look forward to a **formal response** regarding potential mitigation options.

Sincerely,

Justin Allamano, Esq.  
[42 Sir Francis Drake Blvd](#)  
[San Anselmo, CA](#)

## **IN SUMMARY**

In summary, the County has made many misleading and erroneous statements that are not supported by the Public Record, public testimony, and letters written by concerned residents.

The Flood Zone 9 Advisory Board should not “advise” the Board of Supervisors to proceed with the county's ill-advised plan, which is tainted by misleading statements and misinformation.

Respectfully,

John Crane

86 Sir Francis Drake Boulevard  
Ross, CA

Attachment: Certified Letters and Flood Presentation Slides, Meridian Survey

John Crane Films  
415.847.5054  
email: [johncranefilms@gmail.com](mailto:johncranefilms@gmail.com)





John Crane <johncranefilms@gmail.com>

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## Public comment for flood zone & advisory board meeting Feb 27, 2025

1 message

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**Samantha Hobart** <samanthahobart@gmail.com>

Tue, Feb 25, 2025 at  
11:21 PM

To: Inquiry Flood <floodinquiry@marincounty.org>

Cc: Jenny Mota <Jrosemota@gmail.com>, Doug Ryan <dougryan999@gmail.com>, John Crane <johncranefilms@gmail.com>, town council@townofross.org, Richard Simonitch <rsimonitch@townofross.org>

My address is 78 Sir Francis Drake and I have NOT been contacted regarding San Anselmo Flood Risk Reduction Project and the removal of BB2 negatively affecting my home. I have not been contacted by anyone since August 2023 where Hugh Davis wanted access to my backyard and promised me he would get back to me within a month and keep communication open. This was 18 months ago! Everyone at the Flood District avoids and fails to communicate in any way. We have begged for transparency with any news both positive or negative. Did Hugh die? Did he get fired? Was his job terminated due to DOGE? Or did he retire living on a pension that I am paying for? I am tired of the dishonesty and disrespect coming from an organization that is supposed to protect our homes. My home is as built over 100 years ago in the early 1900's and it has NEVER flooded more has there been water in the crawl space under my home.

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Samantha



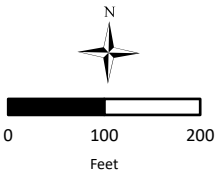


- Received First Floor Elevation Points (12/2023)
- Selected FFE for Impact Evaluation
- Separation Line between Main Channel and Overland Flow Path in the FEMA Model
- San Anselmo Creek Centerline
- Parcel Boundary



SURVEYED FFE BY MERIDIAN IN 2023  
SAN ANSELMO, CA

DRAFT  
11/4/2024









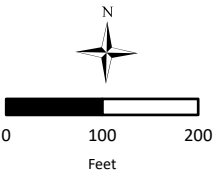


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**SURVEYED FFE BY MERIDIAN IN 2023  
SAN ANSELMO, CA**

DRAFT  
11/4/2024



Note:





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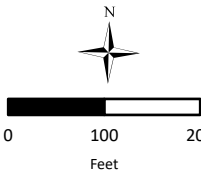
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Note:

**SURVEYED FFE BY MERIDIAN IN 2023  
SAN ANSELMO, CA**

DRAFT  
11/4/2024







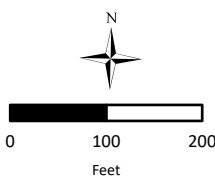
Path: J:\p2431\B82\_2023\Survey\aprx Layout: Received FF Survey Data 202312



Note:

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SAN ANSELMO, CA**

**DRAFT  
11/4/2024**





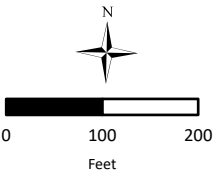


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SAN ANSELMO, CA

DRAFT  
11/4/2024



Note: