



The City of Mebane is taking measures to mitigate the spread of the COVID-19 virus including banning physical attendance at public meetings, employing social distancing, and implementing remote participation. The following will allow the public to attend the meeting by remotely accessing it on the internet.

For those without internet service, you can listen to the meeting by calling 919-304-9210, password 158962.

For people who plan to view the meeting, but not comment or participate, the City is providing a YouTube live stream by searching the *City of Mebane* on YouTube or at the following link:

<https://www.youtube.com/channel/UCoL1RXdRDMzK98p53TMoqww>

For people who plan or think they may want to address the City Council during the Public Comment Period or a Public Hearing, see options below.

Option #1-

- Email comment to info@cityofmebane.com. Written comments may be submitted at any time between the notice of the Public Hearing and 24 hours after the Public Hearing.
- Messages must be labeled Public Comment or Public Hearing in the subject line and must contain the commenter's name and address.
- Comments received by **4 pm on Monday, February 1st** will be read aloud by the City Clerk.

Option #2

- Email info@cityofmebane.com by **Monday, February 1st, 2:00 pm** to speak during the Public Comment Period or Public Hearing. When an email is received, an email will be sent with instructions on how to register and speak during the Public Comment Period or Public Hearing.
- Messages must be labeled Public Comment or Public Hearing in the subject line and must contain the commenter's name and address.
- Registered participants will be given an access code to speak at the meeting via Zoom, a remote conferencing service.
- Callers will be held in a queue and asked to mute their phones or speakers until they are called on to speak.
- Speakers will be called in the order in which they are registered. Should time allow after all registered speakers have had a chance to speak, you may use the "raise hand" button on the Zoom interface to be recognized and staff will unmute you to comment.
- Per authority of NCGS 143-318.17, if a person participating remotely willfully disrupts the Council meeting, then upon direction by the Mayor, such person may be removed from electronic participation, or his or her e-mail may not be read.



Council Virtual Meeting Agenda
February 1, 2021
6:00 p.m.

1. Call to Order and Invocation Mayor Ed Hooks
2. Resolution of Recognition for David Cheek Mayor Hooks
Glendel Stephenson, Former Mayor
3. Public Comments Mayor
4. NCDOT Update Mike Fox, Chairman, NCDOT Board of Transportation
5. Consent Agenda Mayor
 - a. Approval of Minutes-
 - i. December 7, 2020 Regular Meeting
 - ii. December 9, 2020 Continued Public Hearings
 - iii. January 4, 2021 Regular Meeting
 - iv. January 6, 2021 Continued Public Hearings
 - b. Fire Protection Automatic Aid Agreement
 - c. Petition for Voluntary Non-Contiguous Satellite Annexation- Agape Baptist Church
 - d. Change in Late Fee Policy
6. Public Hearings- All Public Hearings will be voted upon at the CONTINUED meeting to be held on Wednesday, February 3, 2021 at 6:00pm
 - a. Ordinance to Extend the Corporate Limits-
6016 W. Ten Road Lawson Brown, City Attorney
(Continued from the January 4, 2021 meeting)
 - b. Rezoning- 6016 W. Ten Road Cy Stober Development Director
 - c. Street Closing Order- Burgess Drive Mr. Brown
 - d. Board of Adjustment- Variance- 306 Wilba Road- Countiss Mr. Stober
 - e. Board of Adjustment- Variance- Mebane Shopping Center Mr. Stober
 - f. Lowes Boulevard Corridor Plan Adoption Mr. Stober
7. Bicycle and Pedestrian Advisory Committee Appointments Mr. Stober
8. Recreation Advisory Committee
Appointments Aaron Davis, Recreation and Park Director
9. Purchase of Property near Community Park Mr. Brown
10. City Manager Compensation Mr. Brown
11. Adjournment Mayor



The Mebane City Council held its regular monthly meeting at 6:00 p.m., Monday, December 7, 2020. Due to public health concerns related to COVID-19, the meeting was held virtually via Zoom.

Council Present via Zoom:

Mayor Ed Hooks
Mayor Pro-Tem Jill Auditori
Councilmember Tim Bradley
Councilmember Patty Philipps
Councilmember Everette Greene
Councilmember Sean Ewing

City Staff Present at City Hall:

Assistant City Manager Chris Rollins
City Clerk Stephanie Shaw
IT Director Kirk Montgomery

Board of Adjustment Member Present:

Genice Akins

City Staff Present via Zoom:

City Manager David Cheek
Finance Director Jeanne Tate
City Attorney Lawson Brown
Development Director Cy Stober
Recreation and Parks Director Aaron Davis
Police Chief Terrence Caldwell

Mayor Hooks called the virtual meeting to order and gave the invocation. Mayor Hooks stated that the City received a letter from the North Carolina Department of Environmental Protection acknowledging and commending the Water Recovery Resources Facility Director Dennis Hodge and his staff, Amy Varinoski, Amanda Hill, Tony Bowes, Stephen Yarborough, along with former City Engineer Darrell Russell.

Mayor Hooks also commended Recreation and Parks Director Aaron Davis for all of the good work he and his staff have put in to offering special Christmas/Winter activities and events for the community. He then announced that the City recently entered into a contract for a billboard advertisement on the interstate promoting Mebane's Downtown.

Mr. Davis shared slides showing the winners of the Tennis Tournament that was held in October. He then announced that the Recreation Department is currently seeking 6 citizens to serve on the Recreation and Parks Advocacy Commission.

Mr. Stober followed Mr. Davis' announcement by announcing that the Bicycle and Pedestrian Advisory Committee has 3 openings to fill. They urged interested citizens to contact their departments for further details.

Mr. Stober announced that staff is now accepting comments regarding the Lowe's Boulevard Corridor Plan and an upcoming public meeting will be held on January 7, 2021. He stated that there is a dedicated website for this plan with interactive maps and a survey.

Mayor Hooks shared current COVID-19 statistics for Alamance and Orange Counties. He then shared information for no-cost COVID-19 testing opportunities in Mebane. He introduced Chief Caldwell who then spoke regarding the Police Department's protocol on how his department plans to handle enforcement of the Governors Executive Order mandating masks. He said that an officer will be assigned to handle any COVID matters. That officer will be observing and informing those that are non-compliant. He said responding and enforcement will be mainly complaint driven and the focus will be on big box institutions. He asked that the public direct any COVID related complaints to the local communications center by calling 911.

Mayor Hooks gave an overview of the Consent Agenda:

- a. Approval of Minutes – November 2, 2020
- b. Final Plat- Cambridge Park, Ph. 2A
- c. Final Plat- Havenstone, Ph. 1A (reapproval)
- d. Final Plat- Villas on Fifth, Ph. 2B (reapproval)
- e. Proposed 2021 Regular Meetings and FY 2021-2022 Budget Calendar

Ms. Philipps made a motion, seconded by Mr. Ewing, to approve the Consent Agenda as presented. The motion carried unanimously per a roll call vote.

Mark Reich, Engineer with Alley, Williams, Carmen & King, Inc., joined the meeting via Zoom and presented a request for approval to award a contract to the lowest bidder, Carolina Sunrock, LLC, in the amount of \$762,307.50 for the 2020-21 Street Repair and Resurfacing Contract. There was discussion regarding doubling the number of streets to be resurfaced due to the historically low price of asphalt. Mr. Bradley made a motion, seconded by Ms. Philipps, to award the current contract with the idea of a future change order in this current budget year to increase the number of streets to be resurfaced. The motion carried unanimously per a roll call vote.

Mayor Hooks stated that the first public hearing being a request for annexation of property located at 6019 W. Ten Road was requested per the applicant to be continued until the January 4, 2021 meeting. Mr. Greene made a motion, seconded by Mr. Ewing to continue the Public Hearing until the January 4, 2021 meeting. The motion carried unanimously per a roll call vote.

A virtual Public Hearing was held on a request from Chat Enterprises for adoption of an Ordinance to Extend the Corporate Limits as the next step in the annexation process. This is a voluntary non-contiguous annexation of 2.19 acres where Signature Flooring will be located on Mebane Oaks Road in Alamance County. Mr. Brown presented the request. No public comments were received. Mr. Ewing made a motion, seconded by Ms. Philipps, to continue the public hearing until December 9, 2020. The motion carried unanimously per a roll call vote.

A virtual Public Hearing was held on a request from Lebanon Partners for adoption of an Ordinance to Extend the Corporate Limits as the next step in the annexation process. This is a voluntary contiguous annexation of 34.283 acres where the Havenstone subdivision is located on Lebanon Road in Orange County. Mr. Brown presented the request. No public comments were received. Mr. Ewing made a motion, seconded by Mr. Greene, to continue the public hearing until December 9, 2020. The motion carried unanimously per a roll call vote.

Due to technical difficulties, Mayor Hooks moved to the next public hearing and stated Council would come back to the Public Hearing for the Board of Adjustment Quasi-Judicial Variance- Davis Setback Encroachment.

A virtual Public Hearing was held on a request from staff approval of the Buckhorn Area Plan (BAP) and amendment of the City's Comprehensive Land Plan (CLP), *Mebane by Design*, to include the BAP. Mr. Stober stated he would be covering the work completed over the last several months by consultants with the Piedmont Triad Regional Council (PTRC). Mr. Stober said that Anna Hawryluk with PTRC was the project manager for the plan and she would be joining the meeting later. He then began with the attached PowerPoint presentation. He said the first thing he would like to speak about is what this plan is and what it is not. He explained that in December 2019 Council annexed and zoned two properties to M-2 ("Light Manufacturing") that lay outside but adjacent to the CLP's geographic scope, with the rationale that the action was consistent with the goals and objections of the CLP. Per North Carolina General Statutes, the City has an obligation to revise its adopted plans to reflect Council actions. Staff then realized there was no guidance for this area and that there were other potential properties in this area that could be served by water and sewer services that were built with Orange County tax dollars and CDBG funds but are now managed and maintained by the City of Mebane. By not having a larger scope of study, staff would be unable to make further findings in the future if more proposals were to come before the City. He said this plan is intended to amend the City's CLP which is the foundational long-range document for the City's planning department and guides all of its recommendations. He said it is a guidance plan and is subject to amendment by the Council. The intention was to evaluate properties for their ability to be economic development centers. He said this plan is not a rezoning study. There is no analysis on how the City would zone these properties. It is not intended to force annexation upon anyone. It is a document to provide staff with guidance should property owners wish to develop their property within the boundaries of the area as shown on the map.

Anna Hawryluk joined the meeting via Zoom. She shared the attached PowerPoint. She began by mentioning the following list of people that worked with her on this project.

City of Mebane

Cy Stober, AICP
Development Director
City of Mebane

Orange County

Craig Benedict, AICP
Planning and Inspections Director

Tom Altieri, AICP
Comprehensive Planning Supervisor

Tom Ten Eyck
Transportation/Land Use Planner II

Piedmont Triad Regional

Anna Hawryluk
Regional Planner

Malinda Ford
GIS Manager

Jesse Day, AICP
Regional Planning Director

She stated that a website specific for this project was made available to the public and included a basic overview of the plan, an interactive map and a comment box. She shared a map depicting the full Buckhorn area for this plan. She said the area is just over 6 square miles or 3,938 acres. This study area is in the original Buckhorn Economic Development District (BEDD) and is included in the City's CLP. In the CLP, it is featured as G-2 Industrial (V) Primary Growth Area and recommended to *"Maximize non-residential use and discourage further single-family developments. Multi-family or workforce housing in close proximity to the current and future industrial land uses will be encouraged to minimize commuting concerns, especially traffic congestion. Encourage low water user and incentivize the employment of local residents at any new industries developed in this area."* She gave an overview of the selection criteria as shown on the table in the PowerPoint. Using that data, they developed a map showing most suitable parcels and the growth areas. She said the teal areas on the map are the most suitable economic development, if desired by parcel owners. The five dotted brown growth areas A-E have potential for growth based on their size, access and the need. They are almost ready to go but have a few elements that need to happen to encourage growth there. She overviewed each growth area and stated what elements are needed for those parcels to be ready for development. She then briefly overviewed the recommendations for the plan. She stated that Orange County will reevaluate related plan and agreements to determine the implementation program after full public input. She explained that changes have been made to the plan since the Planning Board meeting and the public input meeting as listed below.

- Public Input Chapter
- Description of Highly Suitable Parcels versus Potential Growth Areas
- Identify Small Lot Residential Areas (Map 20)
- Growth Area Development Order
- Removal of parcels from Growth Area B
- Removal of parcels from Growth Area D
- Addition of Development Standards
- Addition of Planned Urban Development
- Removal of Rural Residential District
- Orange County Planning Aspects

- Addition and Removal of Parcels from the Most Suitable Parcels

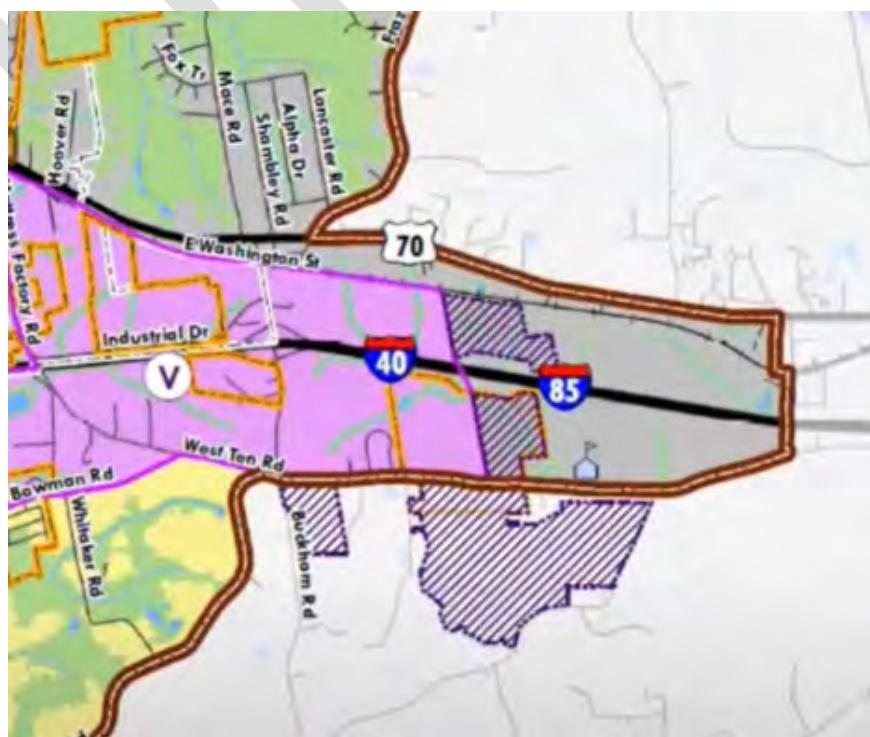
She concluded her portion of the presentation after giving a brief overview of the changes as shown in PowerPoint.

Mr. Stober then shared four categories of concerns, listed below, that were heard at the November 9th Planning Board meeting and the November 10th public input meeting. He said protections are in place as to what the State requires and what Mebane's Unified Development Ordinance (UDO) requires.

- Environmental Protections
- Perimeter Buffers
- Traffic Concerns
- Lighting Protection

Mr. Stober overviewed each category in detail as shown in the PowerPoint.

Mr. Stober reiterated the points of what this plan is and what this plan is not. He said if the plan is adopted, it would give staff guidance should any property owner wish to develop their property in a way that would require annexation into the City and what would require annexation is the use of City utilities. He said folks that are currently using City utilities and are not annexed into the City in this area are not required to be annexed. He shared a map stating they evaluated a large area to determine what properties may be most appropriate for economic development and the plan showed the focus areas which is what was recommended in the Council's packets, however, upon further deliberation and based upon comments received from the public, staff is now recommending to include all of focus area A and B, as well as, the top tier parcels to their west, essentially everything west of Gravely Hill Middle School that is not in focus area B, omitting everything to the east, areas C, D and E. Mr. Stober shared the map below, showing his current recommendation which includes a couple of properties not currently in the CLP area that would be added in. The hard brown boundaries are currently in the CLP but the hashed areas to the north and south of the interstate are not in the Industrial Primary Growth Area V. The recommended plan would change that. Also, there are parcels to the south of West Ten Road that would be brought into the CLP's future growth area as well as into the Industrial Primary Growth Area V and would-be shaded pink, should the plan be amended as he is recommending. Action is needed to bring those parcels into the CLP and into Industrial Primary Growth Area V.



Beth Bronson, 1222 Buckhorn Road, Mebane, NC, joined the meeting via Zoom. She stated she is new to the area and understands that the assigned development district precedes her moving to

the area but it seems that there are a lot of suitable locations to begin development that are already zoned for light industrial areas. She said her concerns also stems from the fact that there are also multiple plans regarding this district but none that cohesively align to give plans for traffic, infrastructure and stormwater management. She said improvements recommended in the 2017 traffic study should be put in place and a plan to address quality of life improvements for existing residents should be put in the new recommended plan. Her main concerns are waterway protections and the need for an updated traffic study. She also thinks that the City and County should be responsible to conduct a home value impact analysis. She commended the PTRC on the website and the detailed, transparent information provided, however, she still feels not enough information was included regarding open spaces and preservation. She also suggested that public input be considered when the City begins amending the UDO.

Mayor Hooks requested that public comments be kept to a five (5) minute limit.

Fiona Johann, 5016 Johann Lane, Mebane, NC, joined the meeting via Zoom. She began her comments by seconding everything Ms. Bronson said. She said she knows there are current plans underway to rezone property at 6016 West Ten Road, which as part of this plan, she feels the town should make sure BAP is finalized and then development standards are in place before any properties are rezoned in this area. She feels they should not be done simultaneously.

Mr. Bradley asked that Mr. Stober clarify that property is not being rezoned as part of this plan. Mr. Stober replied that is correct but that Ms. Johann is correct that there is a rezoning request for 6016 West Ten Road which was a request continued early in the meeting. Mr. Bradley said that rezoning request is independent of the BAP study and that the plan does not automatically rezone parcels, it is a guidance plan for staff for when parcel owners approach the City with interest in developing their property. Mr. Stober stated that is correct.

Ms. Johann said the property requesting rezoning lies within the BAP study area and the BAP includes development standards; it seems a little backwards to approve the rezoning before the standards are put into place.

Becky Wilson, 1108 Squires Road, joined the meeting via Zoom. She shared her concerns with the Medline development and the conditions on West Ten Road. She said that there has been a major increase in traffic and that the mud and muck being created as a result of the development is really bad. She added that the construction signs in the area are hindering cars from being able to see safely when entering onto West Ten Road. She said the construction noise has also become an issue. She asked if any of these are being addressed. Mr. Stober said he would be happy to have additional discussions with her but yes, any time complaints are reported to staff, such as soil or dirt issues on the road, those concerns are then passed onto Orange County's Soil and Erosion Control authorities. He encouraged Ms. Wilson to contact him or the City's Code Enforcement Officer Laura Crouch after the meeting so they can follow up further. Ms. Wilson also shared concerns regarding endangered mollusks in the area. She asked about a proposed park that is in discussions at the corner of Bushy Cook Road and West Ten Road and if that 38 acres would be affected by the BAP. Mr. Stober said no one has approached staff about a recreation dedication. He said the City would not want to include that acreage in their adopted plans and the BAP recommendation he is making does not include that area.

Mr. Rollins said he would like to remind everyone that NCDOT is also doing road widening work on West Ten Road. He said the City has received complaints about the mud coming from NCDOT's portion and they are not under Orange County's Soil erosion's jurisdiction. Also, the construction sign complaints will need to be addressed by NCDOT.

Patricia O'Connor, 1011 Squires Road, Mebane, NC, joined the meeting via Zoom. She said a year ago when Medline South was rezoned and annexed, she requested of the Council and was granted that a realtor review similar properties to determine the impact industrialization on a residential area. She said the report they got back meant nothing because they compared apples to oranges. They compared the property to an area adjacent to it that was zoned industrial but not developed industrial. She said she knows that the BAP is not currently rezoning property but it is happening

and it is coming. She said when people buy their homes and invest in them, the zoning is one thing, then someone comes along and changes it to suit their needs and it leaves the exiting home owners in a position of worrying about their homes being devalued because who really wants to buy a home in the middle of an industrial park. She said she would like to request again, that any developer that wants to develop in that area be required to hire a realtor to conduct a study to determine the impact on property values of the surrounding homes.

Janine Zanin, 4601 Timberwood Trail, Efland, NC, joined the meeting via Zoom. She thanked Cy for his amended recommendation as she agrees with him that future Growth Areas C and D should not be included; they should remain Orange County land. She also feels that future growth area B should be omitted from the plan. She spoke about the proposed park area that an earlier commentator mentioned. She said a recreation center and ball parks are planned for that 36 acres of land. She provided a link in the Zoom comments where additional information can be found. She said currently the land in Growth Areas C and D are zoned agricultural-residential under Orange County zoning on the 2030 Comprehensive Land Use Plan and Area B is zoned rural-residential and those zoning elements severely limit the amount of development that can happen on that land. So ultimately, by choosing to extend water and sewer to those areas and recommending zoning as light industrial for future planning purposes does significantly change the character, as well as, the uses on those lands. She continued by stating this would be a big amendment to the Orange County Future Land Use Map and the Comprehensive Land Use Plan if Council moved forward with approving growth areas B, C and D in the BAP. She said making a such an amendment would require a lot of public comment and input. She encouraged staff and Council to slow down the process. She stated that when going through similar plans with Orange County it took two years of public meeting and public input before a plan was approved. She added that with respect to Growth Area B, which was left in the recommended plan, she feels the middle school should be carefully considered because it is located directly across the street from Area B and questioned if light industrial/commercial is the correct type of use or zoning directly across from a school. She referenced statistics regarding schools and surrounding zoning. She concluded by extending a thank you to Mr. Stober, Mr. Day, Ms. Hawryluk and Councilmember Ewing for engaging in conversation with her. She said her biggest concerns and reasons for requesting that the process slow down is because she has not had the opportunity to address this with her own government yet, the elected officials that respond to her as a citizen of Orange County.

Aimee Tattersall, 1133 Squires Road, Mebane, NC, joined the meeting via Zoom. She stated she agrees with all previous comments. She said the main reason she would like for this plan to be delayed is to allow time to see how the traffic will be impacted after Medline opens. Ms. Tattersall asked if a traffic impact study has been done for the Neyer property and for Medline. Mr. Stober said a TIA study has been completed for the Neyer property which incorporates having Medline in the area and he is happy to share that information. Ms. Tattersall said her wish is for Council to hold off on any decisions until the traffic impact from the undergoing development can be determined.

Clerk Shaw read aloud public comments received via email as follows:

November 18, 2020

To Mebane City Council, Orange County Council and Planning Departments,

Growing up, my address was Route 2 Box 70. To most people that means nothing. To those who have lived in this area, it is the pretty aqua tract of land at the intersection of West Ten and Squires Road on your map. I have lived here all of my life.

The area from Squires Road up to 6016 West Ten Road is the remaining part of the Squires home place and to our family it is home. The Squires family has been here since 1804. For 216 years, the Squires' have farmed, cultivated, maintained, raised families and passed away on these particular parcels of land.

The generations who have lived on this land include my parents, David T Squires Jr and Linda, and our papa, David Squires Sr. and wife Ruby. Our great uncle Clarence Everett Squires Jr and his wife Louise, their children Deborah, Sharon, Mickey and Larry lived here with their spouses. My great grandparents Clarence and Eula Squires (who were married for more than 75 years) lived next door to his sisters, Annie, and Jennie. The store building where Ms. Jennie used to sell drinks, candy etc. to locals still stands in my front yard. Their parents were Thomas Richard and Emma. The point to all of this is there have been many families and generations who were raised and prospered on this land. This is our family history and it deserves to be preserved and protected for current and future family members.

We still have several generations living on this land. We live on this land, not just reside here. Ruby Squires who often walks though the acreage without fear of strangers. DT Squires Jr and Linda who ride their golf cart, walk, feed the fish and ducks in their pond. Tony & Dana Squires enjoy taking their nieces fishing in their pond. Thomas C Squires takes care of his chickens and ducks. Todd & Angie Cooper can be found in their garden in the summer and their son kayaking in the pond. Jeff & Becky Squires are often working in their yard and my husband, Jeremiah Terrell and I have an annual garden in our yard and plant a "community" corn field to feed the family in the summer.

One pastime has endured the generations and it is the front porch. After a long day's work, we gather on the front porch and talk about our day. My grandmother still does this everyday (when the weather permits). We all stop to see her and as we are visiting, people drive by, blow the horn and throw their hands up. These are the people of West Ten, Squires and Buckhorn Roads. These are our people. With the change of traffic, this too will be a thing of the past, due to the loud diesel tractor trailers and the outsiders on our road.

Now to my point, the potential growth area A is home to a diverse and lasting community. All of these Growth Areas have been ONE Community for hundreds of years. Some of us have been here our entire lives as well as the many generations that came before us. We come from Native American, African American, European American, & South American decent. What we all are, however, is ONE community. We are ALL part of the community of people of West Ten, Buckhorn, and Squires Rd.

I've attended, been present, remarked and listened in the past few meetings in regards to the West Ten and Buckhorn area, growth and rezoning over the past few years. Last year, Medline was granted authorization to build here we endure tractor trailer traffic daily and it has not yet opened. When they open their doors and Gravely Hill Middle School re-opens, there will be much more traffic. These trucks are dangerous for the residents as well as the school children. We can only hope that a service road access will become a reality in the near future.

Now, Mebane/ Orange County is looking to rezone the land on the southern side of West Ten Road. The new annexation or rezoning are major concerns for our family. We had hoped that our children would carry on our traditions and remain on our tracts of land. There is much history in this area for us and should be for their families, if they chose to remain here. Some of our children have already picked out the acres where they would like to build the home for their families. Now we are concerned that it would be an issue to even get a permit to build a single-family home on our current acreage due to these changes.

How safe will our gardens be with the run off from manufacturing facilities? How safe will my Granny, my family and my people be with big manufacturing facilities coming and bringing more manufacturing to our area? Will we, our neighbors and their livestock have safe drinking water? Can we still eat the vegetables grown in our annual gardens? We know the increased sounds and lights affect us but what about the wildlife in the area? And what about the constant noise pollution for our front porch sitting, fishing, gardening and rapidly diminishing country life?

This decision may be good for business but detrimental to our way of life. Look at the history of Burlington Manufacturing Outlet Center was a new and upcoming business draw for Alamance County. It opened in 1981. It is now in shambles and it's been that way for years. It was successful less than 30 years. To build this business, a driving range and beautiful wooded acreage rich in arrowheads was plowed up, graded, concrete and asphalt poured. It can never be reverted back to its original state – it's gone.

I've watched television over the years with stories like this. If you turn the TV on any channel. History Channel, Hallmark Channel and Peacock you see this same storyline. I've never thought that we would find ourselves in this situation. I heard this quote the other night and thought it was applicable. "The world you live in is slowly shrinking. There's a tiny group of men who are buying it and stripping it naked and selling you what they extract. They're raping your world and selling you what they take. I mean, they sell you the water you drink, the air you breathe, and you line up for it like sheep." - Monica

After the constant growth of Mebane and seeing it moving closer to us, I feel that what you are proposing is the next step in being pushed out and taking our land. I ask that you think about what we have. Please envision the government and big business moving in to take everything you and your family have worked for - for centuries.

*Kindest Regards,
Tara Squires Terrell*

My name is Gaura Humeck and I live at 1307 Bushy Cook Rd, Efland, NC 27243. The area that surrounds my home is in plan B. I have lived here for over 20 years and walk the woods behind my home daily, this area is wetlands and it is home to some endangered species including muskrats. I feel that if this area was to be developed in the way you are proposing than it would pollute the waterways which lead into 7-mile creek and the Eno River.

*ATTN: Mebane Planning Department
Mebane City Council*

RE: Proposed Meadowstone Development

To Whom it may concern,

Recently we have been made aware of pressure from Orange county insisting the city of Mebane to reject the proposed project on our land in favor of Orange county's desired industrial plan. We are asking for Mebane leadership to support and protect our interest as citizens and taxpayers against the unrealistic expectations of orange county. The proposed use for our property is much more in line with current zoning and is contiguous with adjoining properties as opposed to the much more invasive and environmentally damaging use proposed by orange county for industrial purposes. We are at a loss of understanding regarding this threat that has come against us as Mebane recently approved another residential subdivision further into Orange county in close vicinity to our land.

Our feelings are that the City of Mebane is being strong armed by Orange county to conform to their future wishes, therefore effecting our family and potentially putting us at the mercy of adjoining property owners as well. Our land encompasses a creek, numerous setbacks and easements and does not appear highly suitable for mass industrial usage unless tied to adjoining properties. Should adjoining property owners refuse to sell or have un-realistic pricing opinions, our financial wellbeing and income from our property then becomes totally reliant on that adjoining property owner's willingness to conform or to come to the terms of a potential end user. Some of us have already procured other properties based on the positive hopes and outlooks of this sale, deposits have been made and will be lost to us if the deal is denied on this basis.

Our sincere hopes are that we can rely on the leadership of the City of Mebane to uphold our best interest as citizens and protect us from these implications.

Regards,

Alan, Robin, Jay, Joannie and Sammy Wilson

Mr. Bradley stated it has been his understanding that the City has been working in conjunction with Orange County on this area plan and that Orange County had been looking at this area as a growth potential for industrial development. He said one speaker made it sound like that Orange County zoned it agricultural and residential and Mebane is stepping in and planning for it to be something else. He then questioned Orange County's involvement because if it is simply Mebane moving forward with the plan, he is totally supportive of just meeting the law as the areas come forward like Council did with Medline.

Mayor Hooks agreed with Mr. Bradley in thinking that Orange County had been looking at this area as future industrial development and that was their reason for spending \$15 million dollars in water and sewer extension to this area.

Mr. Stober said Orange County Planning staff was involved from day one on the project and have been a part of the staff review as well as giving significant input in all aspects including the boundaries of the study area, the perimeters of the recommendations, and finally, agreeing on the growth areas. He stated that their staff has not taken the plan to their elected or appointed officials at this time and his is unsure if they intend to do so. He said they have been involved in the entire process and are in agreement that there are more properties that could be served by the utility lines that extend along West Ten Road than currently evaluated in the City's CLP.

Mr. Cheek asked Mr. Stober who initiated plan. Mr. Stober stated he did after the annexation of the two Medline properties. Mr. Cheek asked who is paying for the plan. Mr. Stober replied the City and Orange County.

Council agreed that Orange County's elected officials should be involved and their input is definitely needed. Council has been under the impression that this plan was a joint venture.

Mr. Rollins said after the public meeting, he was very concerned due to a lot of comments he heard from Orange County residents. He explained that after that meeting, he told Mr. Stober he had no interest in including growth areas C and D. He said it is understanding that the Orange County Commissioners will be briefed on the study this month and will be on their agenda for January 2021 for discussion. Mr. Rollins said there are several active discussions going on involving properties in the study area. While pointing at a map in the PowerPoint, he shared staff recommendations on what areas to leave in the plan and what areas to omit as previously shared by Mr. Stober.

Mr. Stober said it is his understanding that the Orange County Commissioners will discuss the plan publicly on January 15th and at that time they will take action to determine next steps to move forward with the plan.

Mr. Brown made a historical comment, following up on the Mayor's previous comment regarding Orange County's \$12 million dollar investment on utilities running from Orange County to the City's utility system which the City now treats. He said there was a utility service agreement in 2004 that was adopted by the Orange County Commissioners and City of Mebane Council and then amended in 2012 and included a map. He said that particular agreement, adopted by both parties, designated a lot of this area as an industrial/commercial node.

Mr. Ewing stated he heard there were some positive responses about growth area A and requested that Mr. Stober share those. Mr. Stober said they have had no opposition regarding growth area A and Ms. Joyner requested to be added to that focus area to provide for road access and to open that area up as an economic node. Also, other adjoining property owners expressed support for the plan and asked that their properties be developed for non-residential purposes.

Mr. Bradley made a motion, seconded by Mr. Greene to amend the map to exclude those areas other than the Neyer property and the Medline property that are already currently considered and to continue the public hearing until the January 4, 2021 Council meeting. Mr. Stober asked Council if they would like for the dedicated project website with the interactive map and

comments box to be reinstated to allow comments between now and the January meeting. Council replied yes. The motion carried unanimously per a roll call vote.

Mayor Hooks called for a break at 8:42pm. He called the meeting back to order at 8:48pm.

A Board of Adjustment Quasi-Judicial Public Hearing was held on a setback encroachment variance request from Will Davis for property located at 212 W. Clay Street. Mr. Davis joined the meeting via Zoom. Clerk Shaw affirmed both Mr. Davis and Mr. Stober before they provided testimony. Mr. Stober presented the request. He stated that Mr. Davis is requesting a variance from the front setback requirements in order to extend a permanent awning/canopy 24' from the front of the building, placing it +/- 3' from the municipal right of way and sidewalk on West Clay Street. Doing so will enable outdoor dining year-round and is more pedestrian friendly than the current site. There were no comments from the public. After brief discussion and comments from Council supporting the request, Mr. Ewing made a motion, seconded by Mr. Greene, to continue the public hearing until December 9, 2020. The motion carried unanimously per a roll call vote.

Mr. Brown stated that pursuant to Council's request, he drafted a proposed Racial Equity Advisory Committee (REAC) Ordinance. Additionally, Traci Davenport drafted an application for committee membership which was just shared with Council earlier today. He stated that staff is recommending that the adoption of the ordinance be deferred until the appropriate level of racial equity education and training has occurred. Mr. Ewing asked if Council would entertain any comments from the public.

Tommy Jones, 307 E. Dogwood Drive, Mebane, NC, joined the meeting via Zoom and shared comments in support of the REAC. He expressed his desire to see the committee be put in place now without delay.

Ms. Philipps said she likes the draft ordinance and commended Mr. Brown on a job well done. She continued by saying she agrees with Mr. Jones, that Council should move forward now by adopting the ordinance, the application process and committee selection. She said that the committee could help with the education process. Mr. Ewing fully supported Ms. Philipps comments and would like to see Council move forward now. Mr. Bradley suggested adopting the ordinance tonight, have staff review the application and provide Council with a draft at the January 4, 2021 meeting and if the application is approved in January, move forward with advertising for committee membership and receive those applications. At the same time, Mr. Rollins and Mr. Cheek can propose any budgetary items or amendments that may need to be addressed regarding equity training. He stated he agrees with Mr. Jones, Ms. Philipps and Mr. Ewing, he would like to move forward with the process. Ms. Philipps said she would like for staff to check with the PTRC, School of Government and some other local organizations for training opportunities to meet Mebane's specific training needs instead of purchasing a huge package from a commercial enterprise when there may be something closer by that is a better fit for Mebane. Mr. Bradley said, speaking from 30 years of training in the fire service, while he doesn't think an expensive package needs to be purchased, he would like it to be a structured training program. Mr. Ewing made a motion, seconded by Ms. Philipps, to adopt the REAC ordinance as presented. The motion carried unanimously per a roll call vote.

Ms. Tate presented a FY 2020-21 Budget Update PowerPoint, attached. Ms. Tate explained that the 2020-21 Budget was adopted during uncertainty about the effect of the pandemic on City finances and operations. The Council requested a review mid-year to assess the budget and make adjustments as needed. Ms. Tate gave an overview of the budget, highlighting General Fund Revenues and Expenditures, Debt Service, New Debt, Fund Balance, and General Fund projections. With the City's revenues not as severely impacted as originally feared when the budget was adopted, there were additional funds available this budget year and the Council revisited a number of topics for appropriation of those funds, including a couple of new items such as the racial equity training and software/equipment for video production for Council Chambers.

Mr. Ewing asked about a prioritization of items that could be put back into the budget. Mr. Cheek said the position of the Public Information Officer (PIO) has probably been the most discussed. The lights at the Walker and Youth fields are in bad condition which poses a public safety issue. He said a lot of the positions that were originally cut are valid requests. He stated he does not have a "priority system" for the requests. Mr. Rollins added that the PIO position discussion has been going on for several years. He briefly reviewed the list of requests speaking to the importance of each.

Ms. Philipps asked if the Downtown Coordinator part-time position is a requirement for the Main Street program. Mr. Rollins said this will be the first year for that position and it was budgeted. Mr. Cheek said if Council would like, staff can create a “prioritization list” for review at the January meeting. Mr. Bradley suggested waiting until March when the City will go into a normal budget process in order to discuss all things on an equal basis. Ms. Auditori said she agrees with Mr. Bradley but the one thing Council may want to consider approving now would be funding for the racial equity training as she did not think Council would want to wait until July 2021 to get that started. Mr. Rollins reminded Council that earlier in the meeting they discussed doubling the street repair as well. After considerable discussion, Mr. Cheek stated what he is hearing from Council is to bring back a budget amendment at the January meeting to fund additional paving/street repair, equity training and the hiring of a Downtown Coordinator as a full-time position. Council agreed.

There being no further business, the meeting adjourned at 9:48pm.

Attest: _____
Stephanie W. Shaw, City Clerk

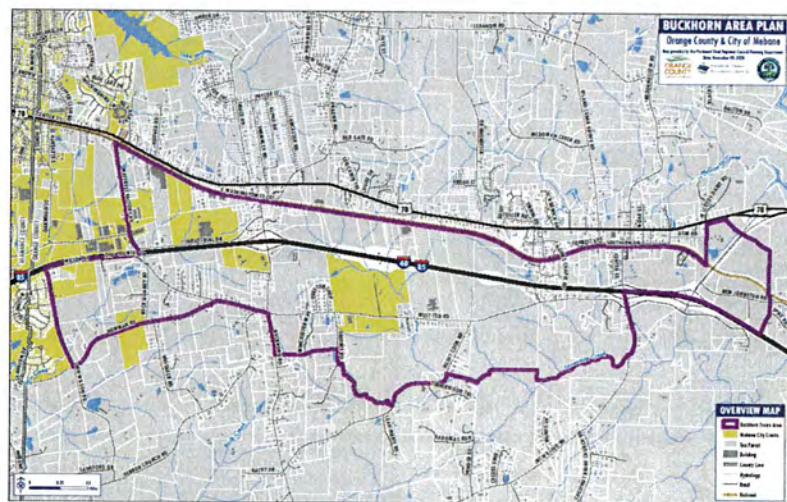
Ed Hooks, Mayor

DRAFT



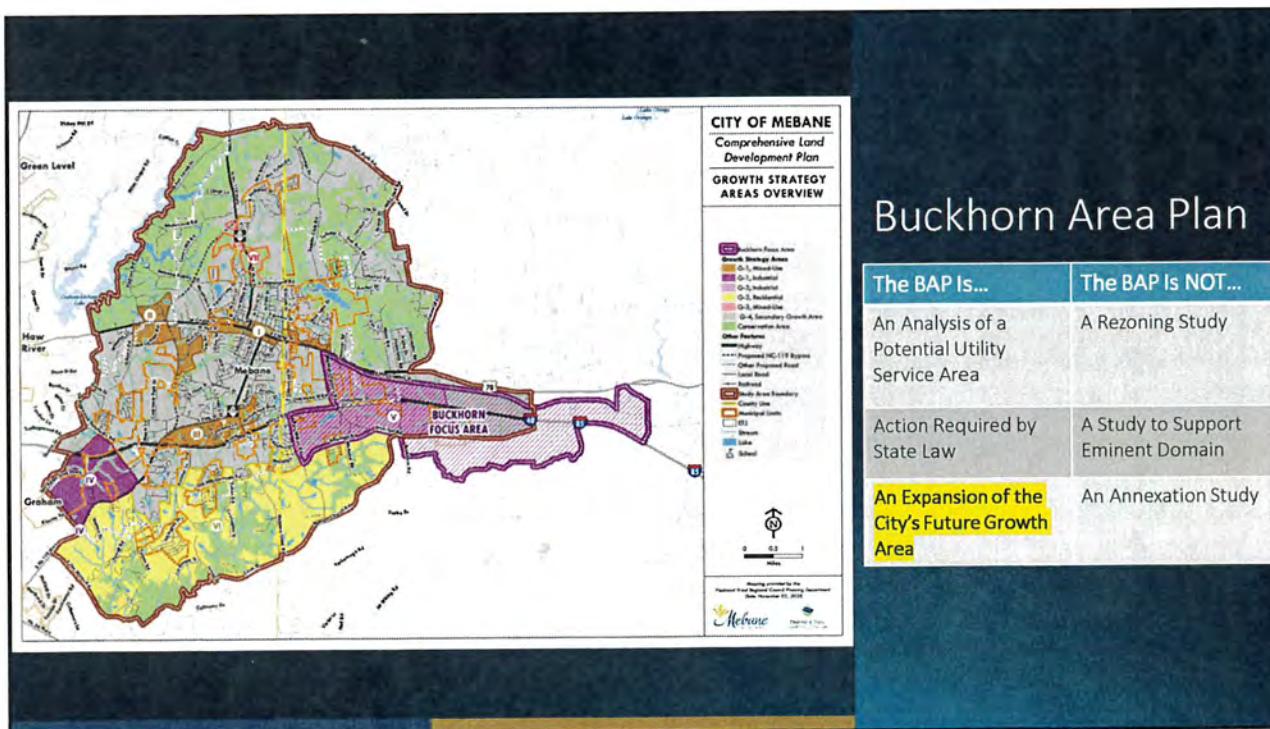
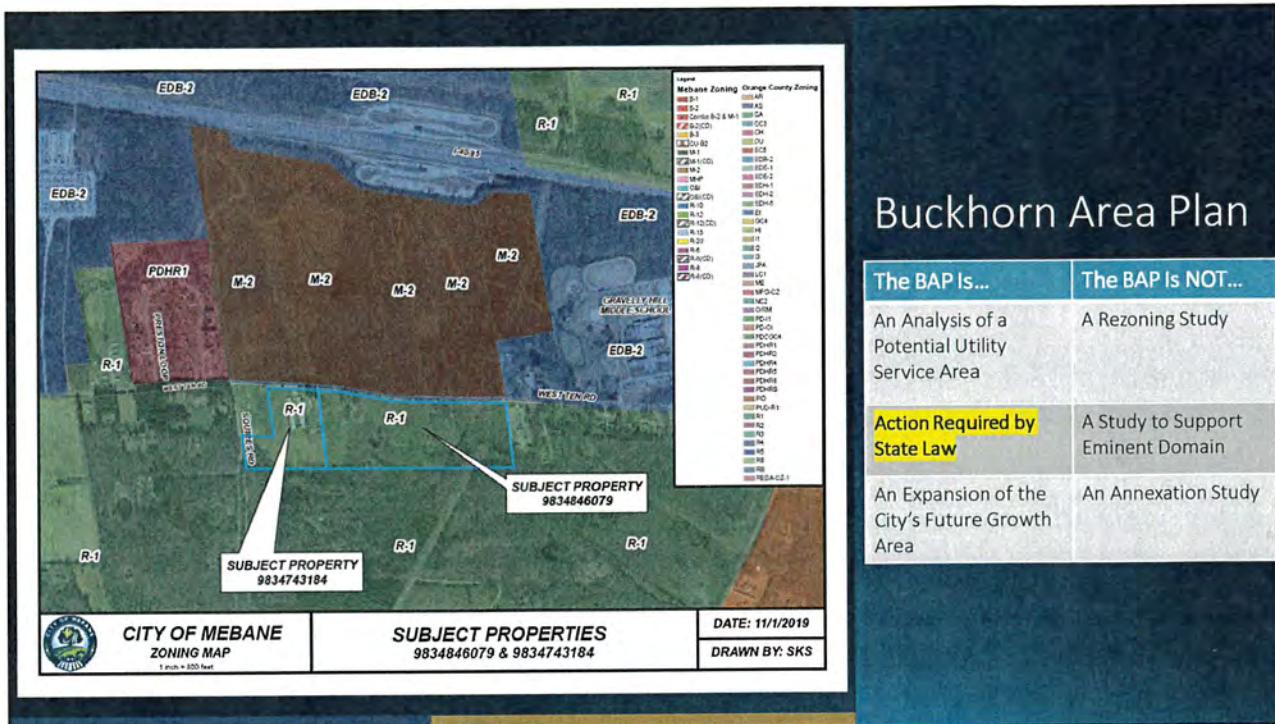
Development Director Cy Stober and Anna Hawryluk, PTRC

Request to Adopt Buckhorn Area Plan & Amend CLP



Buckhorn Area Plan

The BAP Is...	The BAP Is NOT...
An Analysis of a Potential Utility Service Area	A Rezoning Study
Action Required by State Law	A Study to Support Eminent Domain
An Expansion of the City's Future Growth Area	An Annexation Study



CITY OF MEBANE
Comprehensive Land Development Plan
GROWTH STRATEGY AREAS OVERVIEW

Post Adoption Amendment to Growth Area V

Growth Strategy Areas:

- 0-1: Mixed Use
- 0-2: Residential
- 0-3: Commercial
- 0-4: Residential Growth Area
- 0-5: Industrial
- 0-6: Conservation Area

Other Features:

- Fenced HC-119 Property
- One Lane Road
- Two Lane Road
- Railroad
- Piedmont Triad
- Mebane
- Lake
- Island

Scale: 0 0.2 0.4 Miles

Map is updated as of April 2018. © 2018 Mebane City Council. All rights reserved. Last updated 4/2018.

The BAP Is...

An Analysis of a Potential Utility Service Area

The BAP Is NOT...

A Rezoning Study

Action Required by State Law

A Study to Support Eminent Domain

An Expansion of the City's Future Growth Area

An Annexation Study

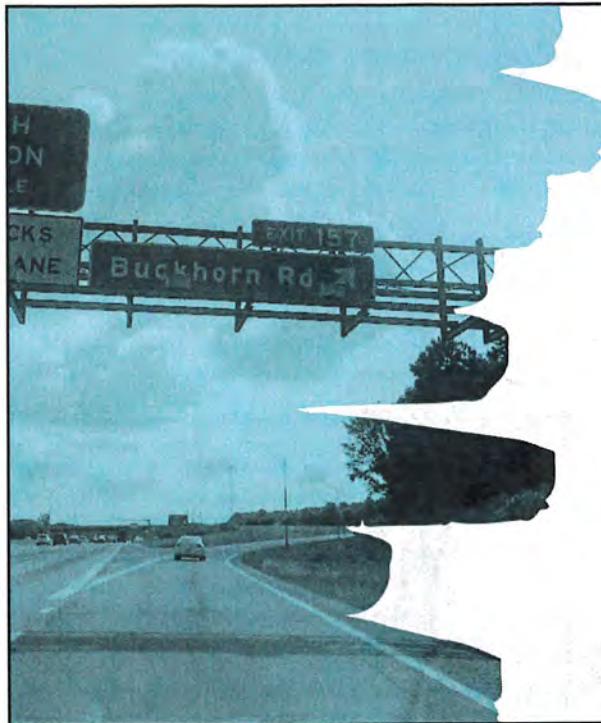
BUCKHORN AREA PLAN
Orange County & City of Mebane
Joint Plan for the Future Development of the Buckhorn Area

OVERVIEW MAP

- Advised Future Area
- Adjacent City Lands
- Adjacent County Lands
- Building
- County Line
- Padron
- Rail
- Railroad

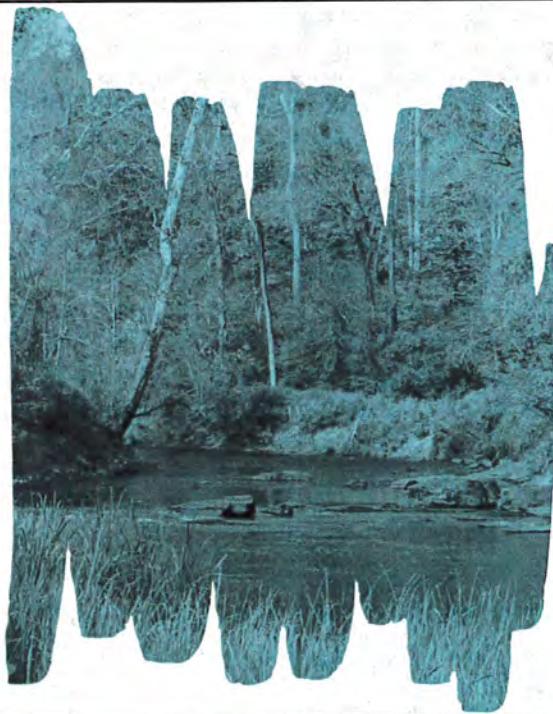
History

- Joint Planning Effort Between Mebane and Orange County
- Piedmont Triad Regional Council is consultant and project lead
- 11/09 Planning Board Meeting
- 11/10 Public Meeting
- 12/07 City Council Public Hearing



Buckhorn Area Plan

December 7, 2020
Mebane City Council Meeting



WELCOME!

City of Mebane
Cy Stober, AICP
Development Director
City of Mebane

Orange County
Craig Benedict, AICP
Planning and Inspections Director
Tom Altieri, AICP
Comprehensive Planning Supervisor
Tom Ten Eyck
Transportation/Land Use Planner II

Piedmont Triad Regional
Anna Hawryluk
Regional Planner
Malinda Ford
GIS Manager
Jesse Day, AICP
Regional Planning Director





6 PROJECT BACKGROUND
 6 PLAN NEED
 8 HISTORY ON SEWER/WATER AGREEMENT
 9 PREVIOUS RELEVANT PLANS
 9 RELEVANT PLANS

11 AREA DESCRIPTION
 11 STUDY AREA
 11 LAND USE
 11 ENVIRONMENT
 15 WATERSHEDS
 15 INFRASTRUCTURE

21 ECONOMIC DEVELOPMENT
 21 LOCATION
 21 INDUSTRIAL AND COMMERCIAL POTENTIAL
 23 PERFORMANCE BASED INCENTIVES
 24 SMALL BUSINESS GRANT PROGRAM

25 PUBLIC INPUT

27 PARCEL ANALYSIS
 27 METHODOLOGY
 27 PARCEL ANALYSIS LAYERS

50 RECOMMENDATIONS
 1. LAND USE
 64 2. WATER SEWER AGREEMENT EXTENSION
 64 3. FUTURE LAND USE DISTRICTS
 66 4. ORANGE COUNTY PLANNING ASPECTS

www.ptrc.org/Buckhorn



www.ptrc.org/Buckhorn

Overview Area Description Growth Areas Recommendations Comments

[Download the Plan | Draft 11/3/20](#)

Overview

The Buckhorn Area Plan is a technical study of future land use and potential utility services to identify properties that could be zoned for non-residential purposes and best support economic development, while balancing the cost of utility service extensions. Recommendations in this plan include the expansion of manufacturing, wholesale, distribution, and service uses in the Buckhorn Area. With this expansion of the Buckhorn Economic Development District, the plan also recommends additional land use districts to incorporate a new zoning district that encourages documented research, office and manufacturing facilities and also support walkability, mixing of uses and practical design that is compatible with the surrounding land uses. A primary factor in developing many sites rely on the availability of water and sewer systems. An extension of the Utility Service Agreement is needed to provide the necessary utilities. Finally, Orange County should use this plan to help inform possible future planning initiatives.

Area Description

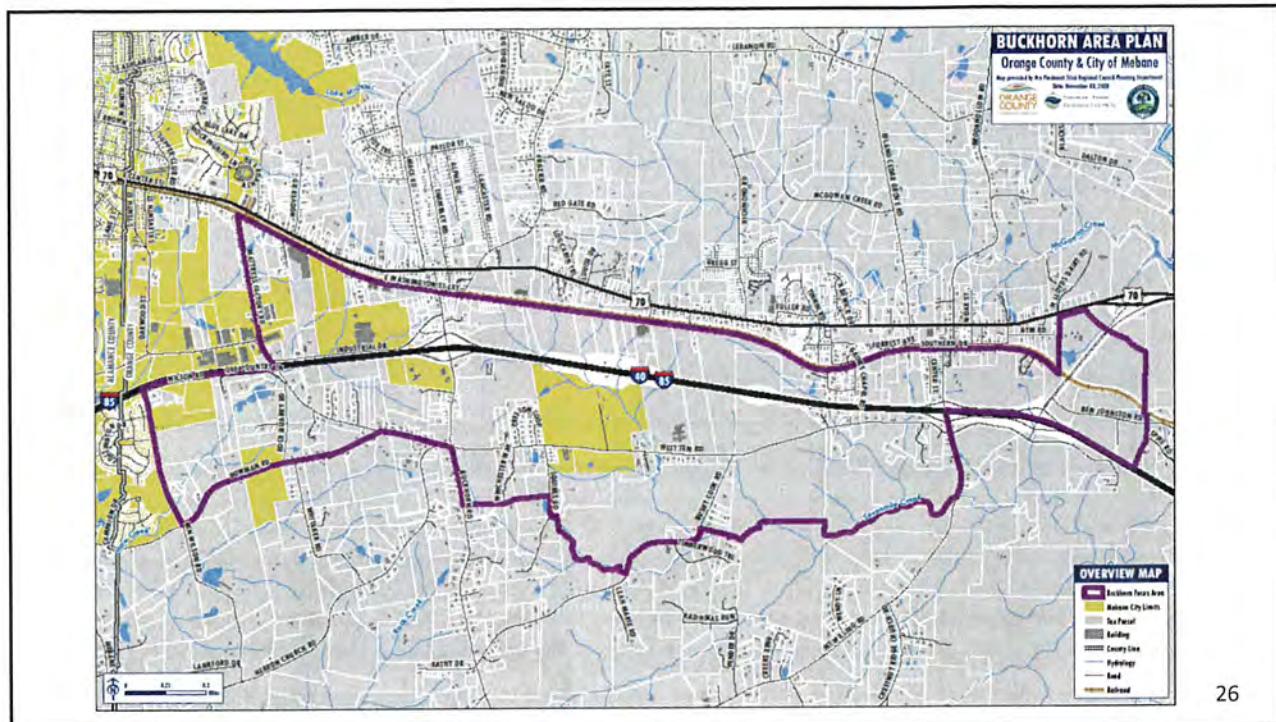
The study area for this plan was defined after significant consideration of existing land uses, environmental impacts, and economic potential. The City of Mebane and Orange County Planning, Administrative, Public Works, and Economic Development staff worked with PTRC to ensure parcels with the highest potential were included in the analysis. The boundaries for this plan focus area are the rail line to the North; Ben Wilson and Mattress Factory Road to the west, Mt Willing Road and parcels along the I-45 connector to the East; Bushy Creek Road and Seven Mile Creek to the South.



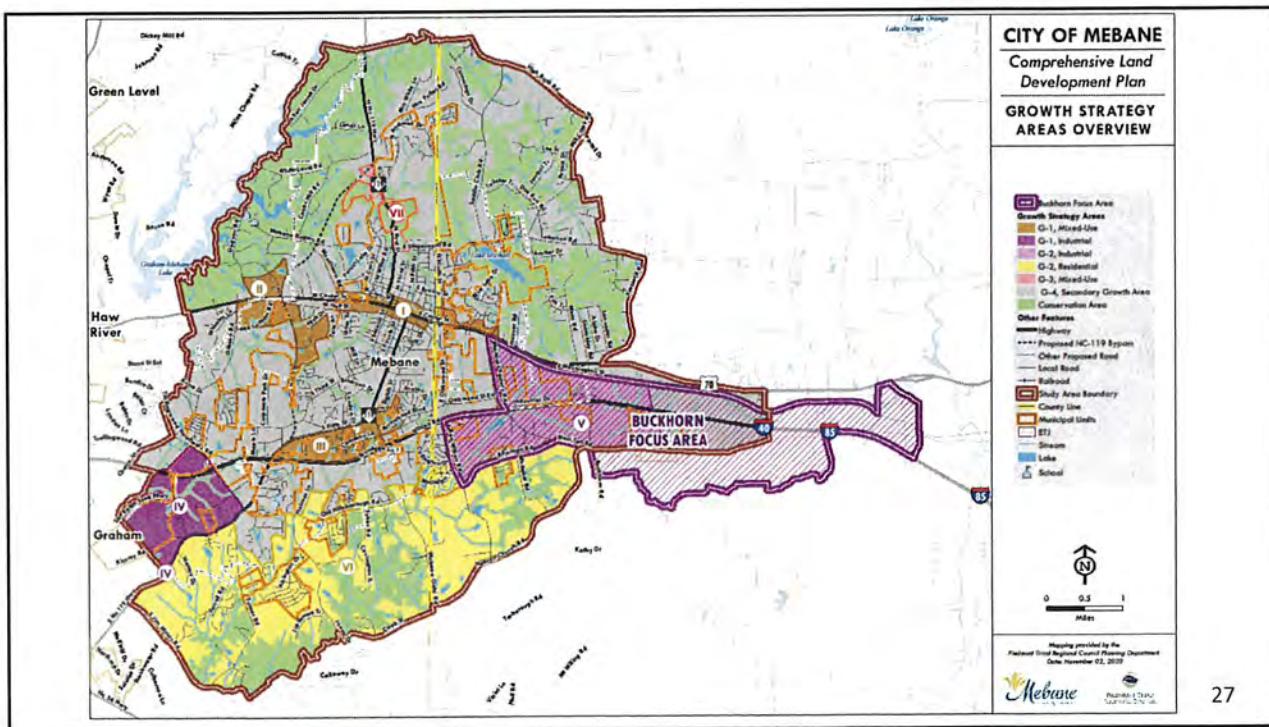
Buckhorn Story Map



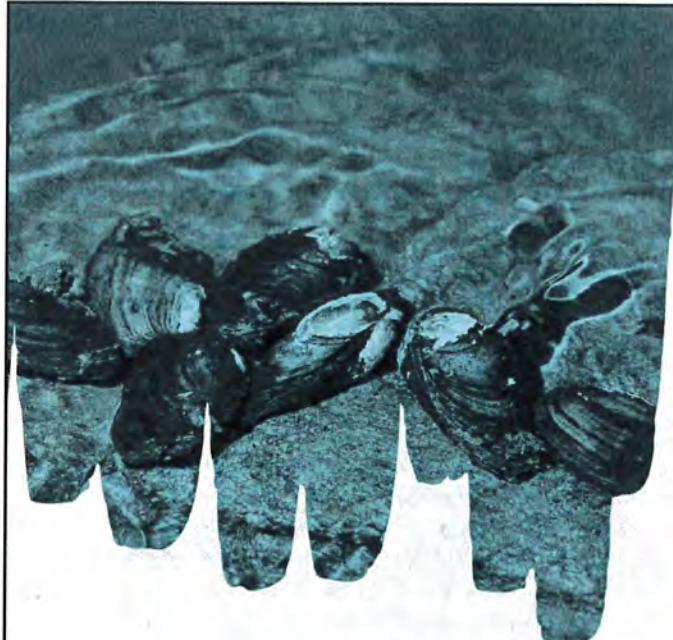
PIEDMONT TRIAD REGIONAL COUNCIL



26



27



Selection Criteria



Greater Buckhorn Economic Development District Proposed Analysis Layers

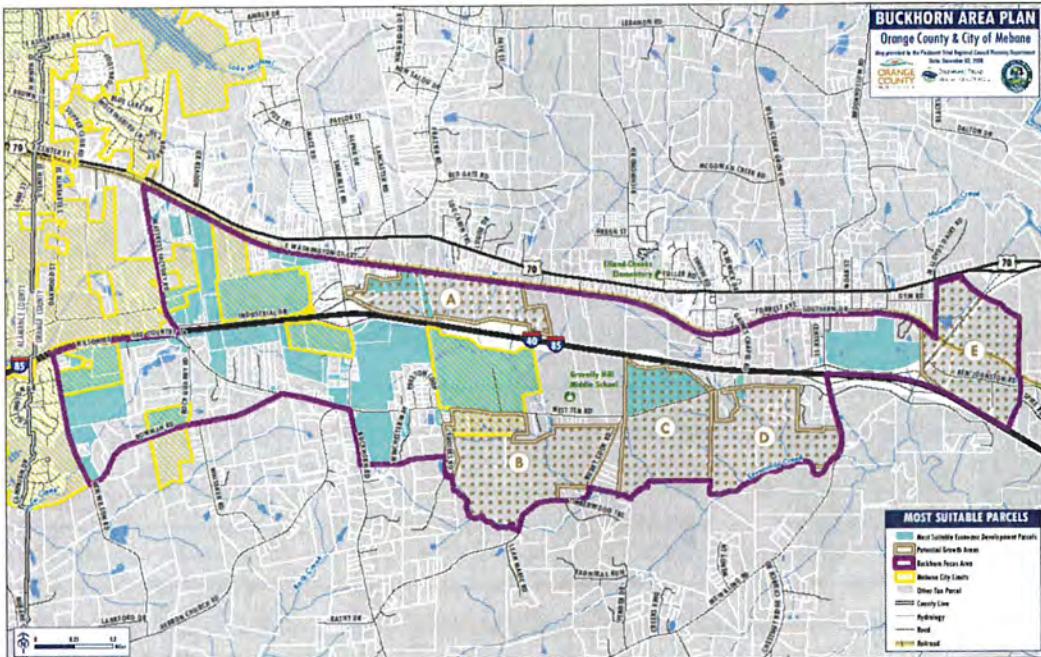
Constraint areas removed:
Floodzones
Wetlands

Layer	GIS	Criteria	Points
Developable Acres (Constraints removed, merged owners considered)	DevAcres	Under 2 Acres	-1
		2 to 19	1
		20 to 49	2
		50 to 99	3
		100 or More	4
Preservation Areas	VAD	Voluntary Ag District (entire parcel)	-1
	Conserv	Conservation Easement or Managed Area (partial)	-2
	NHEO	Natural Heritage Element Occurrence or Significant Natural Heritage Area (partial)	-1
Mean Slope (of parcels in study area, Mean = 5.71, SD=3.88)	Slope	< 6	1
		6 to 10	0
		> 10	-1
Watershed (critical areas already removed from study area)	WWSWS	NSW II-P	-1
Sewer Infrastructure	Sewer	Available	4
		Potential to serve	2
		Unlikely to serve	0
Water Infrastructure	Water	Available	2
		Potential to serve	1
		Unlikely to serve	0
Interstate Access (Using driving distance to Interchange)	Int_Access	Within 1.5 Miles Driving Distance	2
Interstate Visibility	Int_Vis	Yes (Adjacent)	1
Roadway Access	Road_Access	Access to 2+ public roadways	3
		Access to 1 public roadway	1
Access to Existing Rail	Rail_Access	Yes	1

Selection Criteria

- Developable Acres
- Preservation Areas
- Mean Slope
- Watershed
- Sewer Infrastructure
- Water Infrastructure
- Interstate Access
- Interstate Visibility
- Roadway Access
- Access to Existing Rail



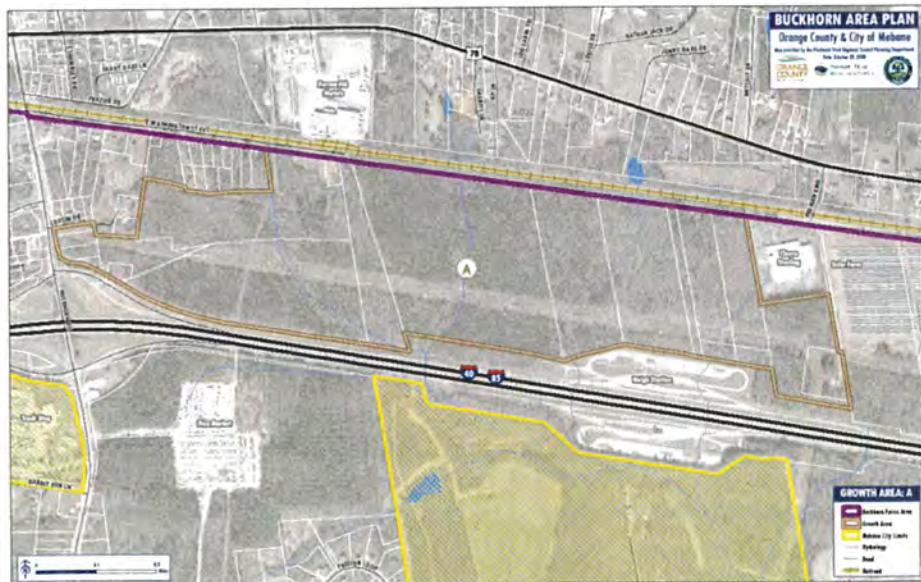


30

Growth Area A

Needs

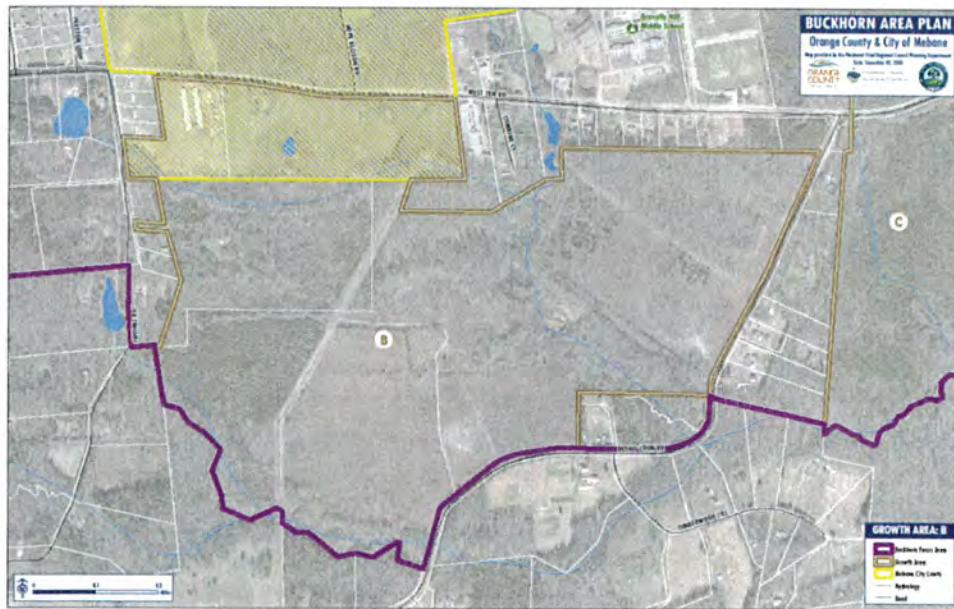
- Road Access
- Water Sewer available western parcels but not currently available east of Weigh Station



Growth Area B

Needs

- Water and sewer is needed. There is potential for water and sewer to be served in this area, but it is not currently available.
- Improved internal road network.

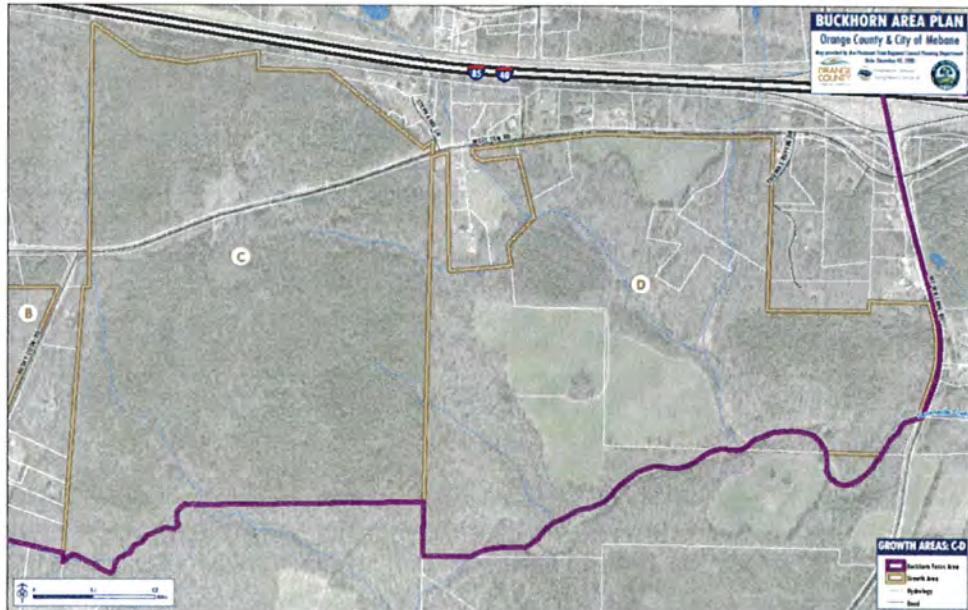


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REGIONAL COUNCIL 32

Growth Area C

Needs

- Sewer is currently available in the northern parcel (above W Ten Rd) and there is potential to serve the southern parcel.
- Water is not currently available, but there is potential to serve on both parcels.

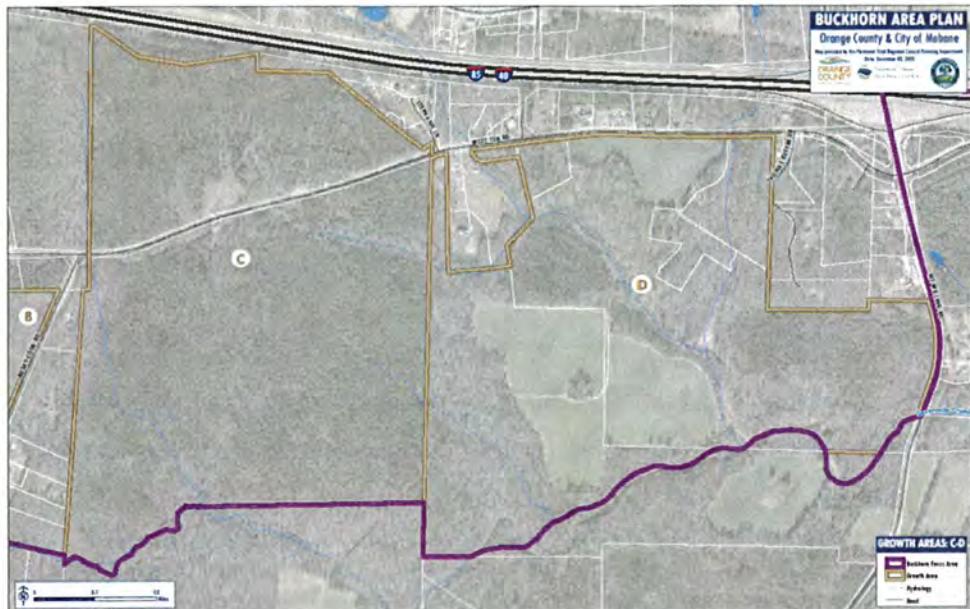


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Growth Area D

Needs

- National Heritage Element Occurrence
- This area does not currently have water or sewer available in the majority of parcels, but it has the potential to be served.



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REGIONAL COUNCIL

34

Growth Area E

Needs

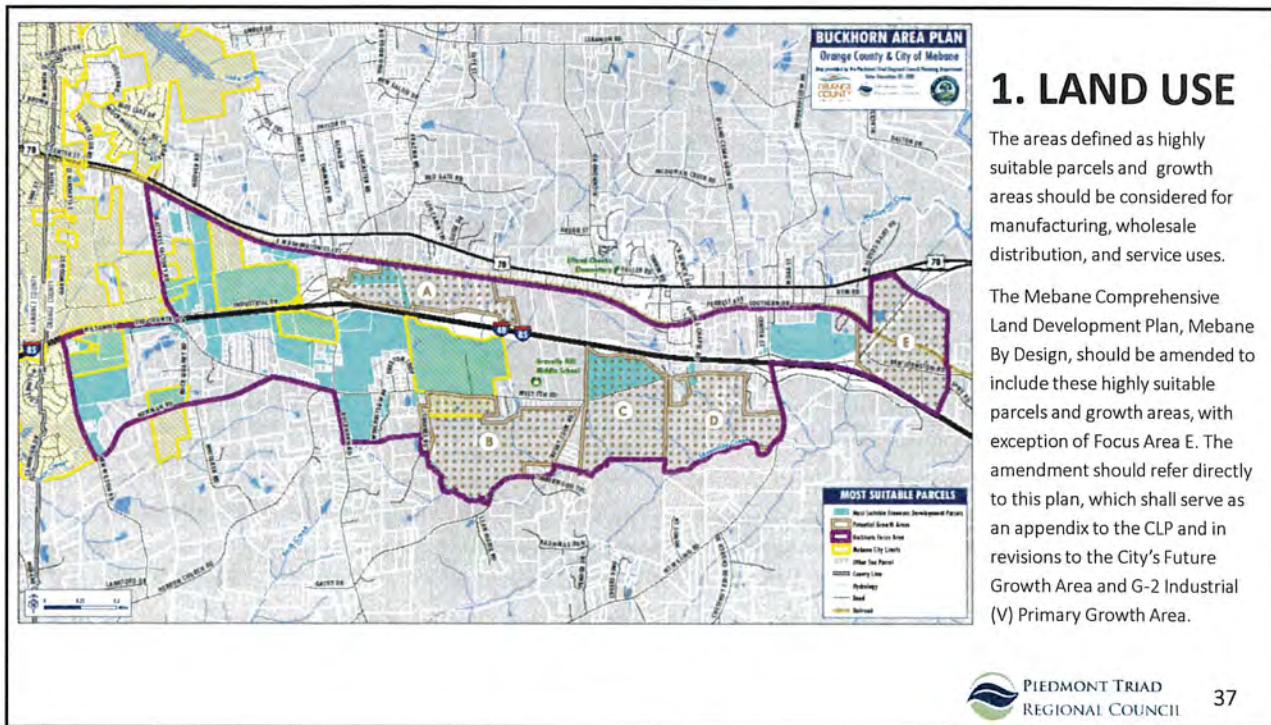
- Water and Sewer

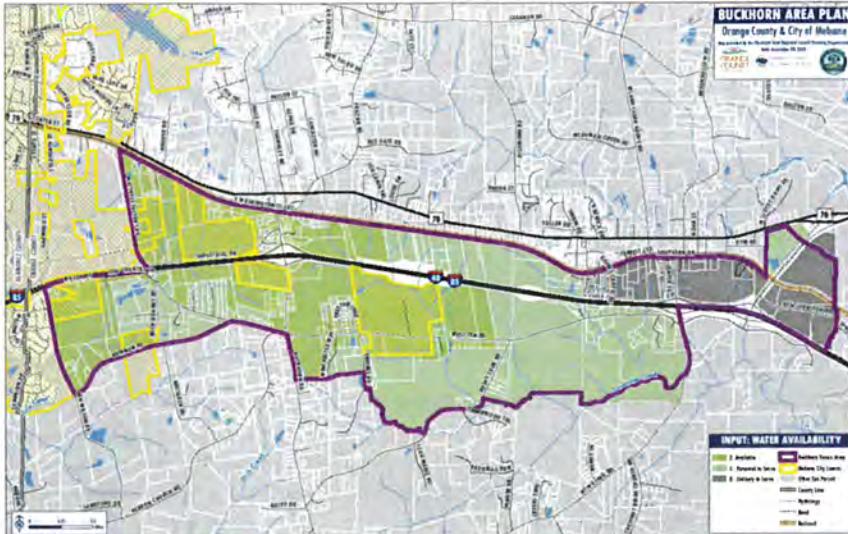
- Due to the distance from both the existing Mebane City limits and utility networks, it is unlikely that Mebane will provide water or sewer services to these properties.
- The Town Of Hillsborough will need to provide utility service to this area or they are unlikely to be developed in the near future.
- Due to the unlikelihood of service with City of Mebane utilities, Growth Area E should not be included in the City's Comprehensive Land Development Plan's scope, including its Future Growth Area.



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REGIONAL COUNCIL

35





2. WATER SEWER AGREEMENT EXTENSION

This area plan looks to update the Buckhorn Economic Development District (BEDD) plan, Efland Small Area plan, and the 2012 utility services agreement.



38

3. FUTURE LAND USE DISTRICTS

Zoning Districts

It is recommended that the City of Mebane provide a development ordinance update to incorporate two new zoning district that encourages documented research, office and manufacturing facilities and also support walkability, mixing of uses and practical design that is compatible with the surrounding land uses.

- OFFICE AND RESEARCH (O-R)
- EXISTING MEBANE ZONING DISTRICTS APPROPRIATE FOR GROWTH AREAS

New Recommended

- O-R
 - O-R USES: Allowable uses should include: Child Care Facilities, Schools, Libraries, Universities, Hotels, Motels, Offices and Personal Services, Warehouses, Wholesale Trade, Governmental Facilities, Winery, Light 65 Industrial (Assembly/Packaging), Parks, Botanical Gardens and Arboretums, Farmer's Markets, Hospitals, Health Services, Bus Shelter, Parcel Delivery Services, Clubs/Lodges, Community Center, Research and Manufacturing Facility, and Utilities.



39

3. FUTURE LAND USE DISTRICTS

Transportation Considerations

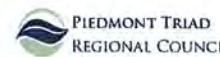
- Analysis of freight and automobile traffic and capacity
- Mountains-to-Sea Trail



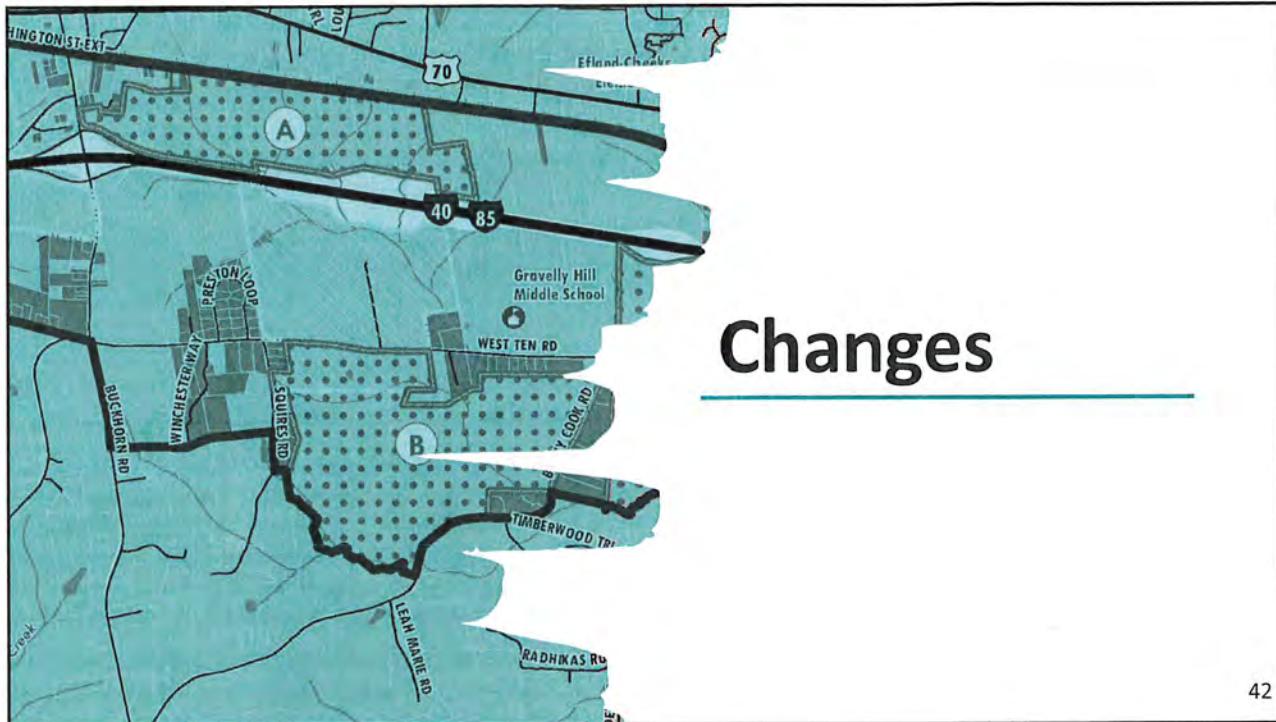
40

4. ORANGE COUNTY PLANNING ASPECTS

- Orange County will reevaluate related plans and agreements to determine the implementation program after full public input



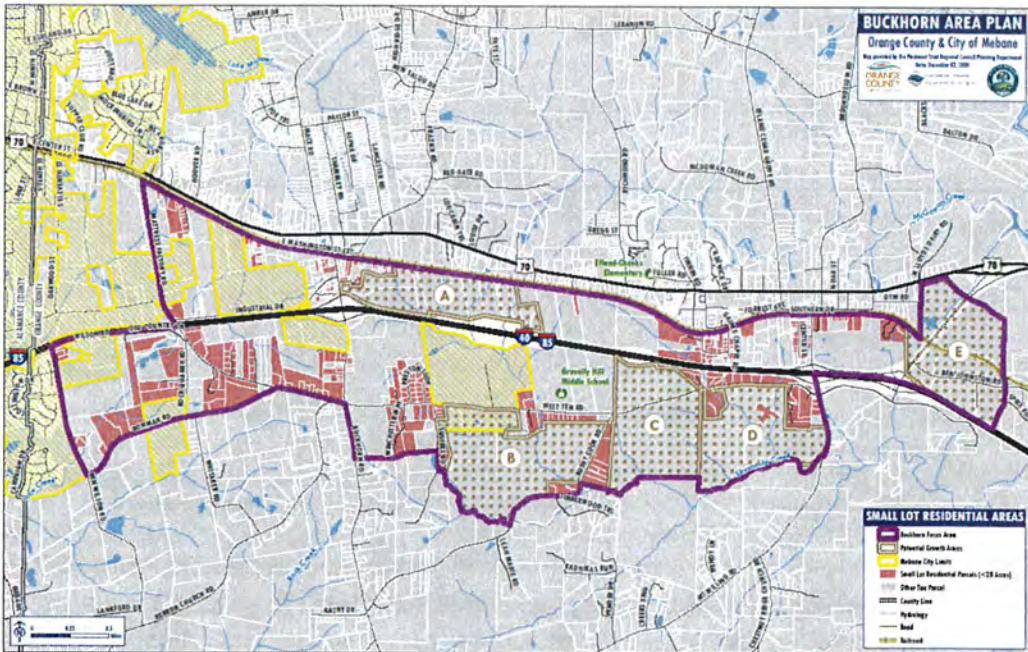
41



Plan Updates (Since 11/10)

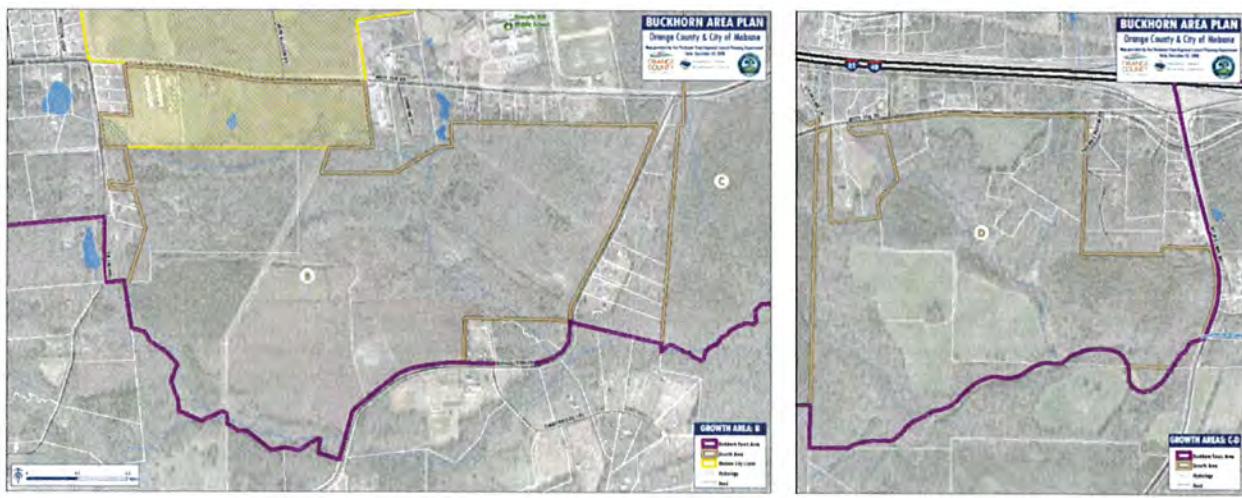
- Public Input Chapter
- Description of Highly Suitable Parcels versus Potential Growth Areas
- Identify Small Lot Residential Areas (Map 20)
- Growth Area Development Order
- Removal of parcels from Growth Area B
- Removal of parcels from Growth Area D
- Addition of Development Standards
- Addition of Planned Urban Development
- Removal of Rural Residential District
- Orange County Planning Aspects
- Addition and Removal of Parcels from the Most Suitable Parcels

Small Lot Residential Areas



44

Changes to Growth Areas



15

Development Standards

- **Lighting**

- All lighting should be located, angled, shielded, or limited in intensity so as to cast no direct light upon adjacent properties. Light pollution should be limited to preserve the nighttime environment.

- **Trails**

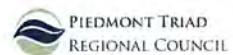
- The addition of trails and greenways should be encouraged where possible

- **Buffers**

- At least 100' should be accommodated for property developed adjacent to existing residential land use or residential zoning districts
- Appropriately protect residential areas from noise, light or other nuisances created by the new development for the residential district

- **Traffic**

- Should be minimized at Gravelly Hill Middle School, with attention to drop-off and pick-up hours
- Shared driveway requirement for contiguous non-residential land uses should be considered whenever feasible



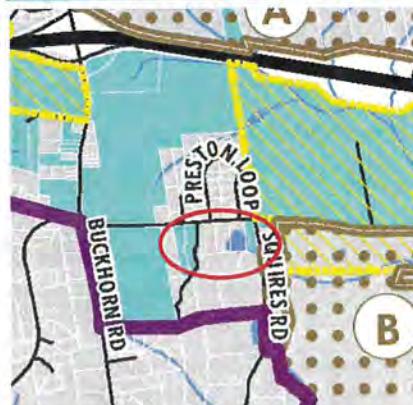
46

Property Owner Requests

Removal – Wilson, Bowman Village



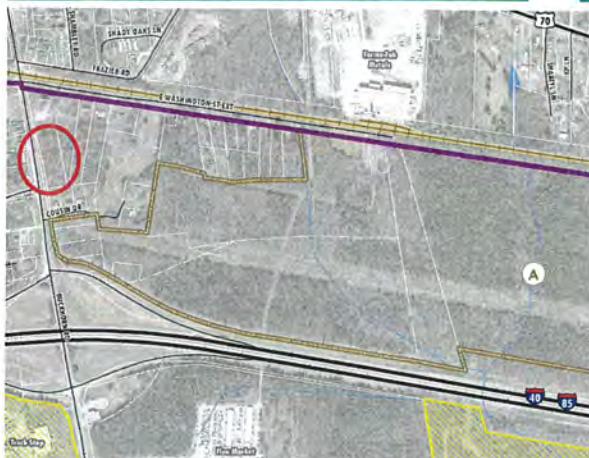
Removal – West Ten Residential



47

Property Owner Requests

Addition – Cedars Property



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REGIONAL COUNCIL 48

Thank You
www.ptrc.org/buckhorn

Contact Information:

Cy Stober, Development Director
919-563-9990

planning@cityofmebane.com

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REGIONAL COUNCIL 49

BUCKHORN AREA PLAN
Orange County & City of Mebane
An addendum to the Natural Resources Land Use Planning Document
Approved November 2008

MOST SUITABLE PARCELS

- Most Suitable Landuse
- Developed Parcels
- Orange City Land
- Orange County Land
- Wetland
- Impervious
- Soil
- Refined

FURTHER INFORMATION

- Environmental Protections
- Perimeter Buffers
- Traffic Concerns
- Lighting Protection

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MOST SUITABLE PARCELS

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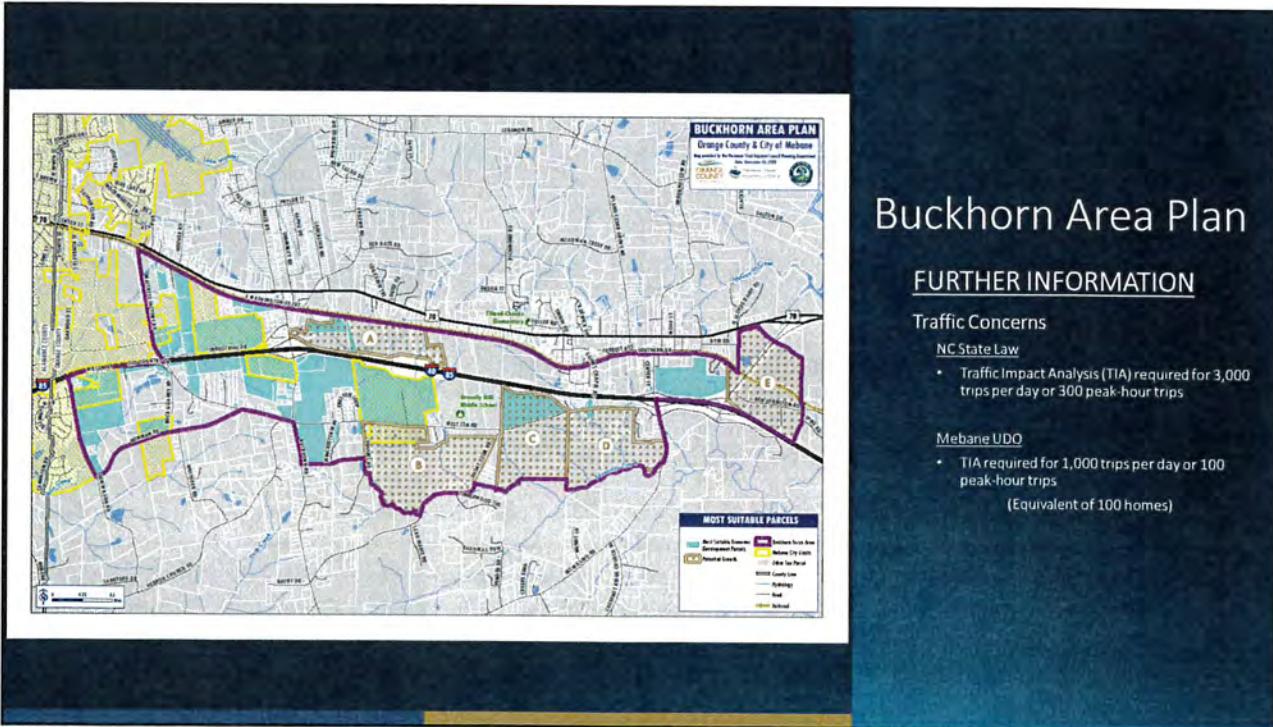
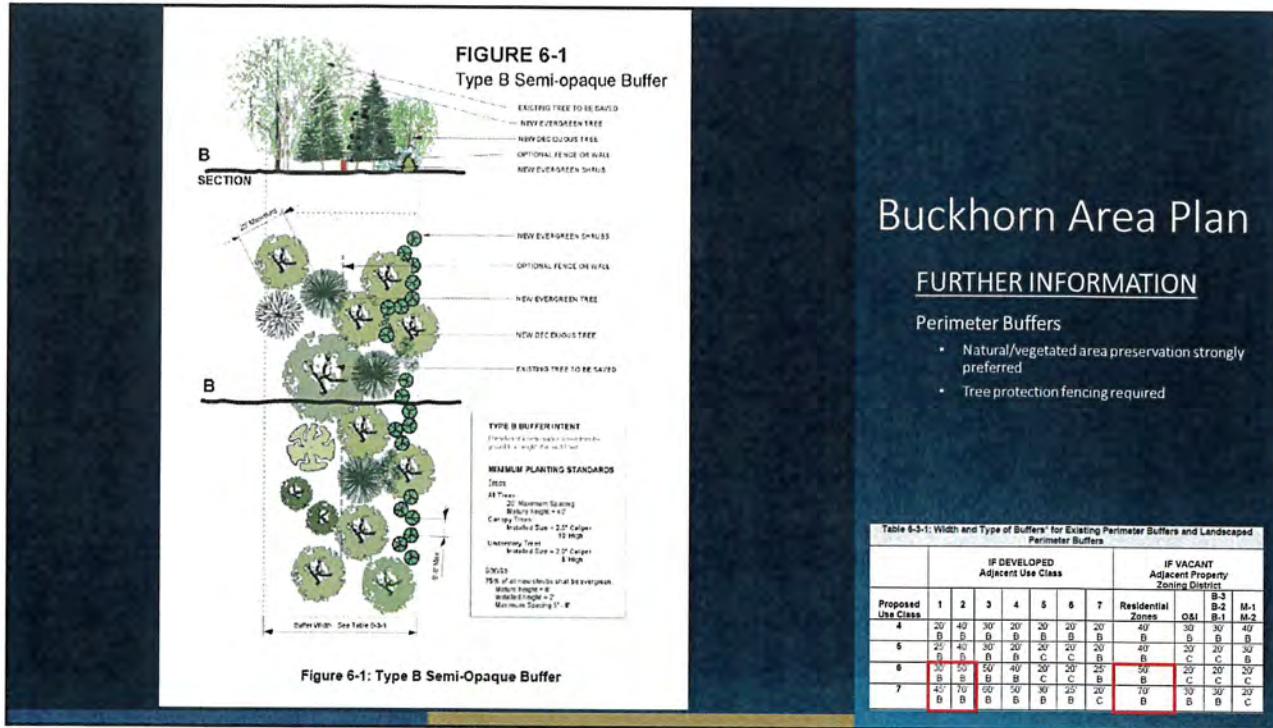
Environmental Protections

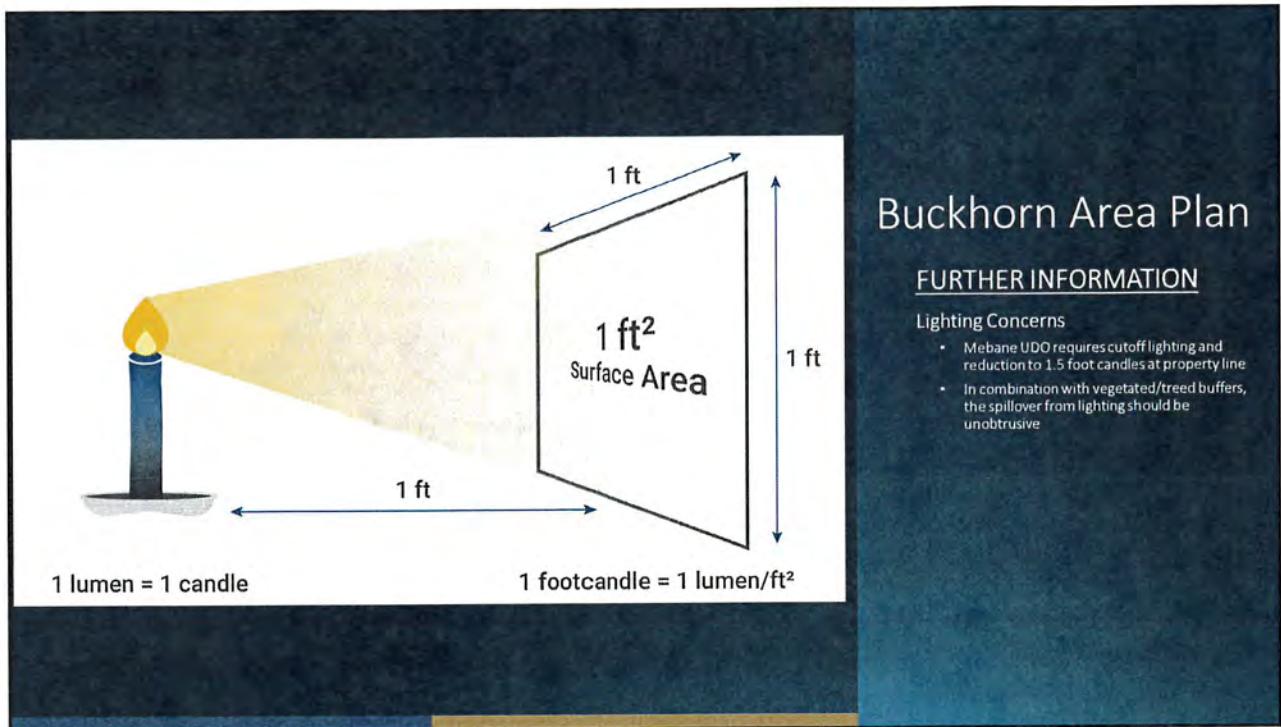
NC State Law

- 50' buffer protection for all Wetlands and Perennial & Intermittent streams
- Management of nitrogen, phosphorous, sediment, and runoff flow
- Impervious Cover limits & Stormwater Management
- Soil & Erosion Control (Orange Co.)

Mebane UDO

- Natural/vegetated area preservation strongly preferred
- Tree protection fencing required
- Preference to share open space among properties



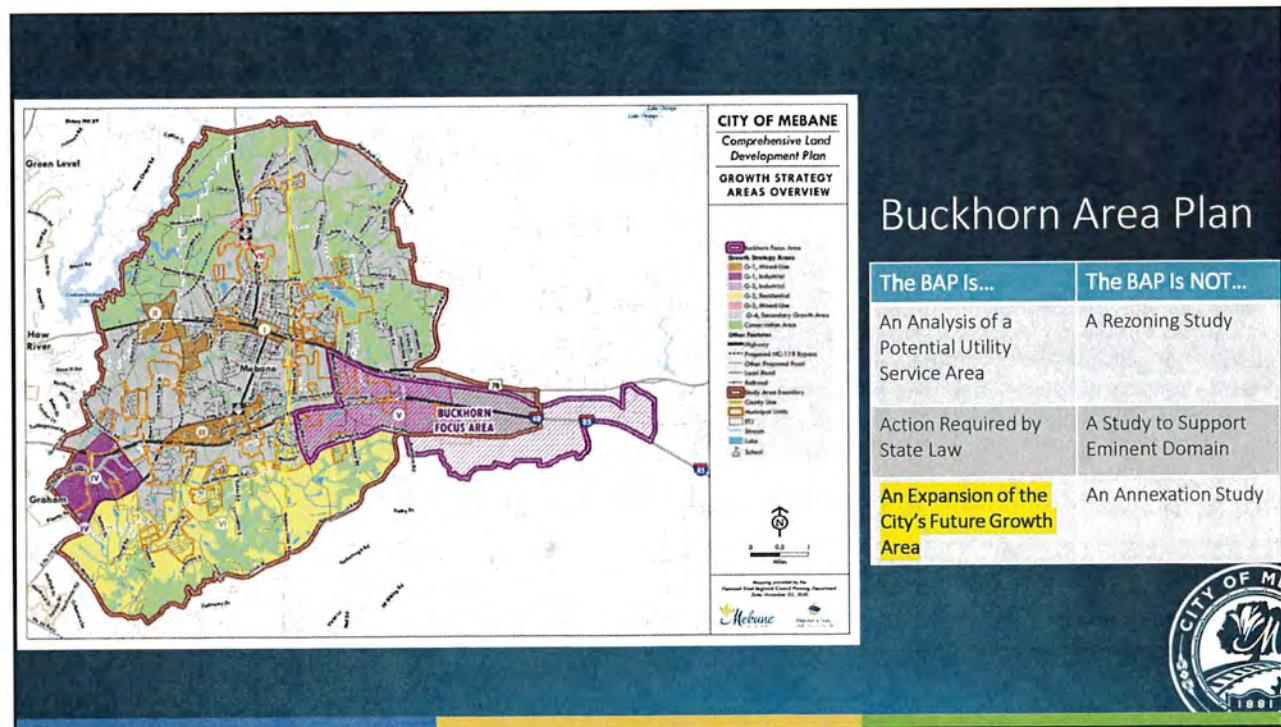


Buckhorn Area Plan

FURTHER INFORMATION

Lighting Concerns

- Mebane UDO requires cutoff lighting and reduction to 1.5 foot candles at property line
- In combination with vegetated/tree buffers, the spillover from lighting should be unobtrusive

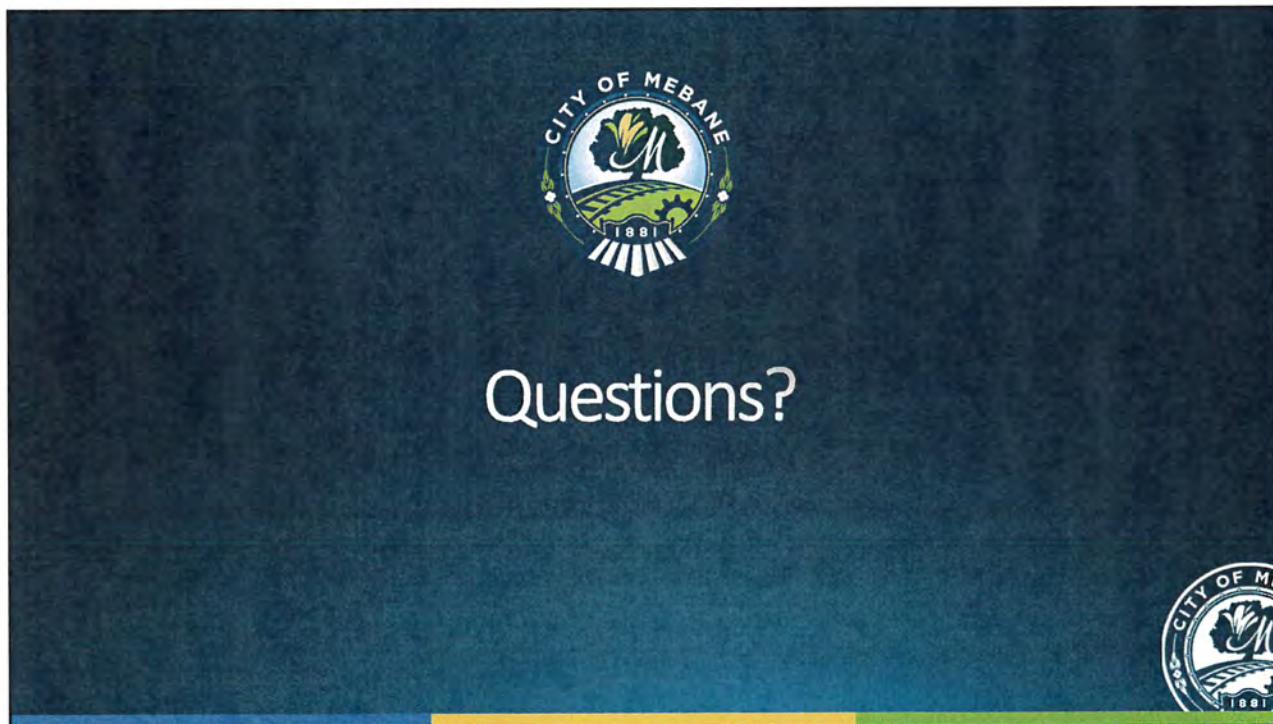
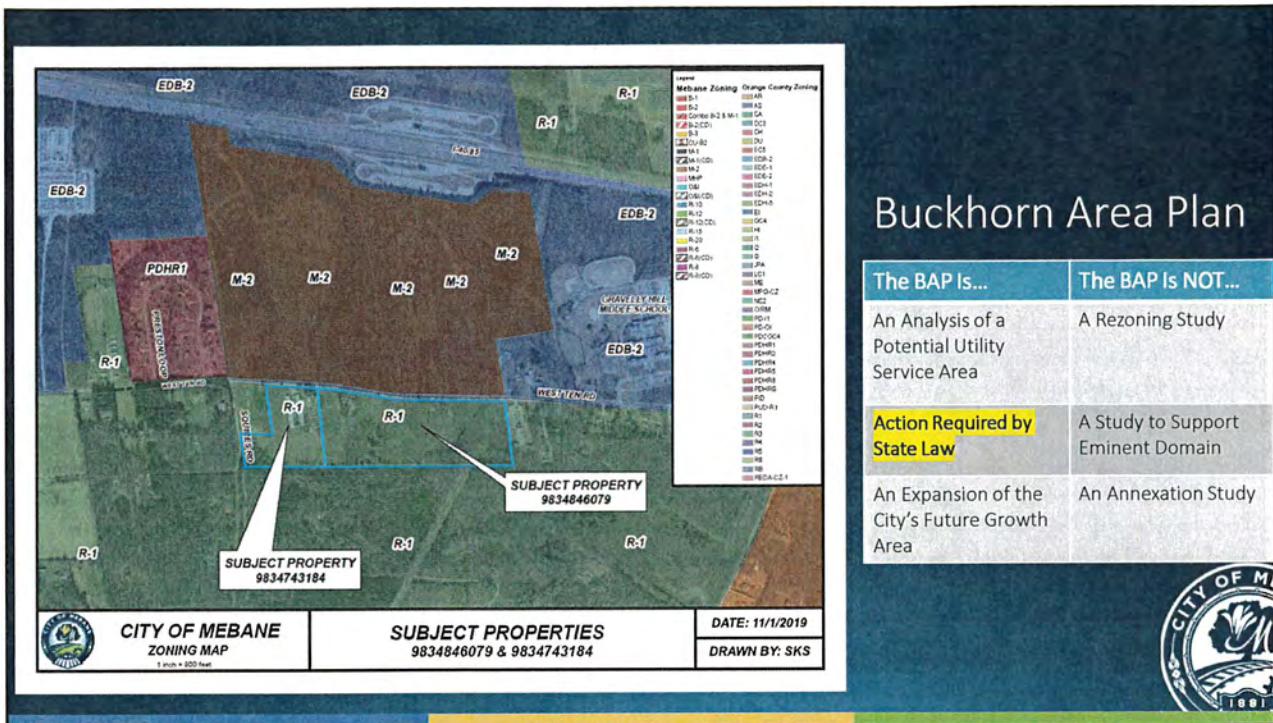


Buckhorn Area Plan

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Buckhorn Area Plan

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Update on Budget 2020-2021

(The Coronavirus Challenge)

General Fund

FY20 Unofficial Results

General Fund	
Revenues	\$ 20,766,487
Expenditures	<u>19,315,864</u>
Net To Fund Balance	\$ 1,450,623
Unassigned Fund Balance, Beginning of Year	<u>10,427,779</u>
Unassigned Fund Balance, June 30, 2020	<u><u>11,878,402</u></u>

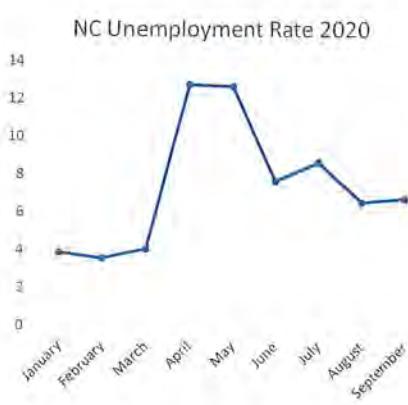
General Fund

Unofficial FY20 Results

Revenues	2019-20 Budget	2019-20 Actual	Variance
Property Taxes	\$ 10,659,750	\$ 10,897,067	\$ 237,317
Sales Taxes	3,515,300	3,574,012	58,712
Other Intergovernmental	2,913,240	3,121,763	208,523
Permits and Fees	809,000	811,186	2,186
Sales and Services	570,550	576,421	5,871
Other Revenues	344,528	663,916	319,388
Proceeds of Debt	784,070	-	(784,070)
Appropriated Fund Balance-Gen	3,555,790	-	(3,555,790)
Appropriated Fund Balance-Capital	1,122,122	1,122,122	-
Total	\$ 24,274,350	\$ 20,766,487	\$ (3,507,863)

Expenditures	2019-20 Budget	2019-20 Actual	Over (Under) Budget
Mayor & Council	\$ 82,660	\$ 82,195	\$ (465)
Administration	994,243	850,171	(144,072)
Finance	594,650	491,000	(103,650)
IT	302,763	269,855	(32,908)
Economic Development	1,037,973	696,446	(341,527)
Police	4,294,948	3,989,488	(305,460)
Fire	2,925,800	2,899,506	(26,294)
Planning	489,529	315,754	(173,775)
Inspections	588,036	437,426	(150,610)
Engineering	477,830	477,828	(2)
Public Works	1,801,571	1,113,553	(688,018)
Public Facilities	1,044,152	858,384	(185,768)
Sanitation	1,262,775	1,076,448	(186,327)
Recreation	1,844,519	1,343,057	(501,462)
Debt Service	1,708,225	1,536,937	(171,288)
Non-Departmental	782,896	571,837	(211,059)
Transfers Out	356,291	356,291	-
Capital Fund Expenses	3,685,488	1,949,688	(1,735,800)
Total	\$ 24,274,349	\$ 19,315,864	\$ (4,958,485)

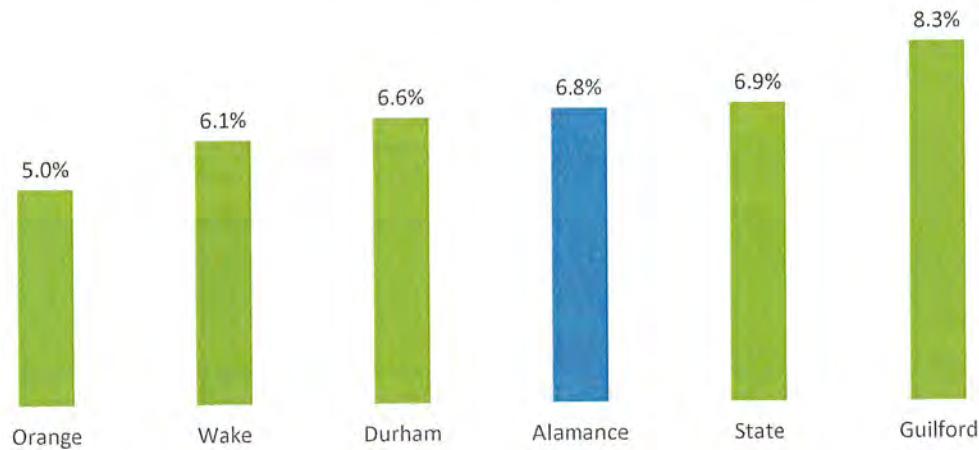
The 2020-21 Budget as Adopted



General Fund Highlights

- Property Taxes +3.3%
- Local Option Sales Tax -9.2%
- Unrestricted intergovernmental -10.2%
- Overall reduction of 1.6% in revenue
- Maintained service levels
- No layoffs or furloughs
- 2% COLA, no merit increases
- Increase in group insurance and retirement costs
- Continued ongoing capital projects

Unemployment Rates September 2020

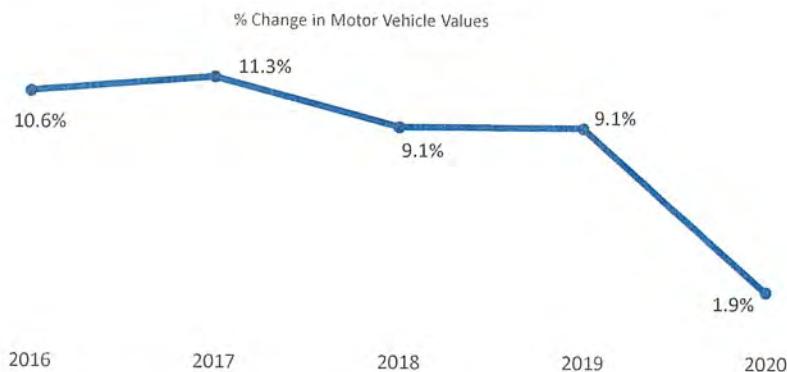


Assessed Values

	FY20-21	FY19-20	FY18-19	FY17-18
Real	\$1,696,199,667	\$1,617,798,090	\$1,569,708,892	\$1,512,984,835
Personal	501,400,245	495,093,966	442,601,000	436,315,148
Utility	23,094,845	19,264,439	19,041,041	21,265,042
Total	\$2,220,694,757	\$2,132,156,495	\$2,031,350,933	\$1,970,565,025

- FY20 collections were unaffected by Covid, and we exceeded budget by \$237,317.
- Tax collections year to date at October 31 total \$6,709,232, not unusual for this time of year.
- Many pay by December 31 for the federal deduction, but taxes are due January 5th to avoid a penalty, so the next two months will demonstrate if Covid is impacting property tax collections.

Property Tax Values – Motor Vehicles**



**Motor vehicles represent only 6% of Mebane's overall property taxes.

Sales Taxes



- Only 2 months received for this fiscal year
- 7.5% over prior year collections
- We budgeted a *decrease* of 9.2%, \$383,769 less than FY20 actual receipts

General Fund Revenues

Totals at October 31	2020-21 Actual	2019-20 Actual	Actual Over (Under) Prior Year
Property Taxes	\$ 6,709,232	\$ 6,667,440	\$ 41,792
Sales Taxes*	653,789	606,223	47,566
Utility Taxes	-	-	-
Other Intergovernmental	221,444	225,619	(4,175)
Permits and Fees	378,749	266,258	112,491
Sales and Services	200,435	224,114	(23,679)
Other Revenues	13,576	274,935	(261,359)
Proceeds of Debt	430,500	-	430,500
Appropriated Fund Balance-General Fund	-	-	-
Appropriated Fund Balance-Capital Fund	-	-	-
Total	\$ 8,607,725	\$ 8,264,589	\$ 343,136

*Sales tax received for two months only

General Fund Expenditures by Department

Totals at October 31	2020-21 Actual	2019-20 Actual	Actual Over (Under) Prior Year
Council	\$ 20,080	\$ 37,150	\$ (17,070)
Admin	350,925	336,095	14,830
Finance	213,009	223,675	(10,667)
IT	87,577	97,528	(9,951)
Non-Departmental	231,685	291,481	(59,796)
Police	1,427,896	1,371,083	56,813
Fire	894,413	845,739	48,674
Planning	93,723	100,190	(6,467)
Inspections	174,921	123,931	50,990
Engineering	65,213	135,257	(70,044)
Econ Dev't	5,000	86,611	(81,611)
Public Works	334,794	332,620	2,174
Public Facilities	177,235	199,148	(21,913)
Sanitation	330,007	290,520	39,487

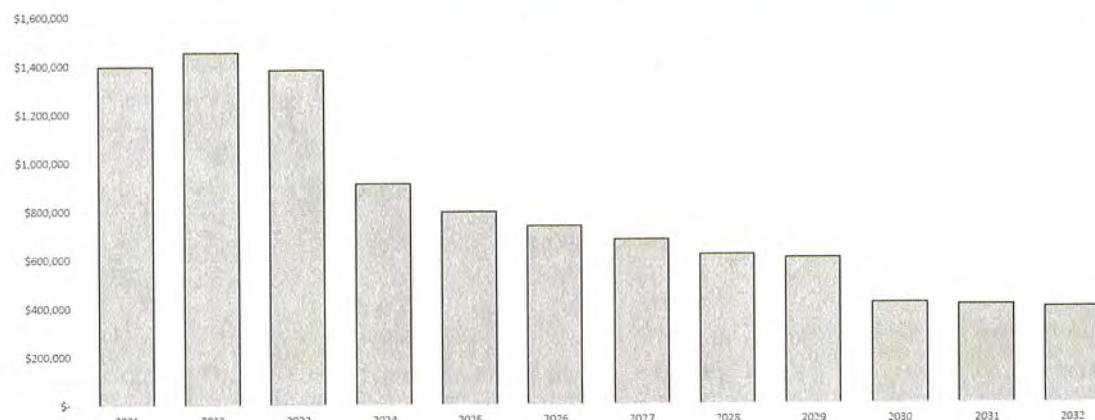
General Fund Expenditures by Department

Totals at October 31	2020-21 Actual	2019-20 Actual	Actual Over (Under) Prior Year
Recreation	395,466	426,285	(30,819)
Debt Service	495,613	589,105	(93,492)
Capital Fund Expenses:			
Greenway	-	-	-
Street Repaving	27,921	1,777	26,144
Foust Road Widening	-	-	-
Sidewalk Construction	-	121,740	(121,740)
Public Works Vehicles	-	-	-
Cates Farm Park	6,000	-	6,000
Lake Michael Dam	10,560	-	10,560
Total	\$ 5,342,038	\$ 5,609,936	\$ (267,898)
Revenue - Expenditures	\$ 3,265,687	\$ 2,654,653	\$ 611,034

General Fund Expenditures

- General Fund expenditures are at 22% of budget
- Possible retirement of 8-9 employees could require payout of vacation and other retirement benefits before the end of the fiscal year. Some were planned and accounted for in the budget, but some were not known at budget time.
- Capital expenses are lagging last year at this point, but are expected to be carried out as planned

Debt Service – October 2020



New Debt

Issued:

- Public Works Vehicles
\$430,500
- Interest rate of 1.363%
for 5 years

Planned Debt for FY21

Greenway Trail	\$ 784,070
Lake Michael Dam	350,000
Cates Farm Park	375,000
Total Recreation Projects	\$ 1,509,070

Fund Balance

General Fund Balance

Original Appropriated Fund Balance FY21	\$ 1,823,718
Purchase order carryforward - re-appropriated	276,871
Budget carried over - reappropriations	717,897
Additional appropriations	588,607
Fund Balance Appropriations Oct 31, 2020	<u>\$ 3,407,093</u>

General Fund Projections

- Permits and Fees are in line with budget, and development continues apace for approved projects
- Sales taxes appear unharmed by the effects of the pandemic and will likely exceed budget by \$300,000- \$500,000
- Property tax *values* are in line with the budget
- Property tax collections appear normal so far, and the next two months will see the bulk of collections come in
- Expenditures for salaries will see an unusual increase due to retirements
- We have requested additional CARES Act funding

Tax Collection History	
2016	99.46%
2017	99.49%
2018	99.68%
2019	99.49%
2020	99.67%

2021 = ?%

Budget cuts to reconsider

- Municode update \$50,000
- Industry appreciation \$10,878
- NCCP Signage \$45,000
- Fountain replacement \$25,000
- Walker & Youth Lighting \$459,000
- Tennis Court Renovation \$73,640
- Merit pay \$99,264

- Downtown Coordinator at PT

- Other positions requested:

Accounting Tech I
6 Firefighters
GIS Analyst
Downtown Coordinator
PIO
4 Police Officers
Criminal Investigator
Equipment Operator III
Equipment Operator I
Utilities Maintenance Crew Leader

New items to consider

- Software/equipment for video production for Council Chambers
- Racial equity training

Options for \$400,000

- Restore items cut from budget when adopted
- Reduce the budgeted appropriation of fund balance
- Add new items that have arisen since budget
- Pay cash for part of capital projects rather than borrow
- Do nothing



Virtual City Council Continued Regular Meeting
Wednesday, December 9, 2020

The Mebane City Council held a continued meeting at 6:00 p.m., Wednesday, December 9, 2020. The December 7, 2020 meeting was continued per G.S. 166A-19.24, which states that when a public body conducts a public hearing as a remote meeting, it must allow for written comments on the subject of the public hearing to be submitted between publication of any required notice and 24 hours after the public hearing. Due to public health concerns related to COVID-19, the meeting was held virtually via Zoom.

Council Present via Zoom:

Mayor Ed Hooks
Mayor Pro-Tem Jill Auditori
Councilmember Everette Greene
Councilmember Sean Ewing
Councilmember Tim Bradley
Councilmember Patty Philipps

City Staff Present via Zoom:

City Manager David Cheek
Assistant City Manager Chris Rollins
City Attorney Lawson Brown
City Clerk Stephanie Shaw
IT Director Kirk Montgomery

Mayor Hooks called the meeting to order. He then stated that tonight's meeting is a continuation of the public hearings held on Monday, December 7, 2020.

Mayor Hooks said the first item to be voted on is the request from Chat Enterprises- Signature Flooring to adopt an Ordinance to Extend the Corporate Limits. There were no comments from the Council nor from the public. Mr. Bradley made a motion, seconded by Mr. Greene, to close the public hearing. The motion carried unanimously per a roll call vote. Mr. Philipps made a motion, seconded by Ms. Philipps, to adopt an Ordinance to Extend the Corporate Limits of the City of Mebane, North Carolina to include the 2.19 acres. The motion carried unanimously per a roll call vote.

Mayor Hooks said the next item to be voted on is the request from Lebanon Road, LLC, Havenstone, Phase 1, to adopt an Ordinance to Extend the Corporate Limits. There were no comments from the Council nor from the public. Mr. Greene made a motion, seconded by Mr. Ewing, to close the public hearing. The motion carried unanimously per a roll call vote. Ms. Philipps made a motion, seconded by Mr. Bradley, to adopt an Ordinance to Extend the Corporate Limits of the City of Mebane, North Carolina to include the 34.283 acres. The motion carried unanimously per a roll call vote.

Mayor Hooks said the last item to be voted on is the Quasi-judicial Board of Adjustment front setback variance request from Will Davis, 212 West Clay Street. There were no comments from the Council nor the public. Mr. Bradley made a motion, seconded by Ms. Ewing, to close the public hearing. The motion carried unanimously per a roll call vote. Mr. Bradley made a motion, seconded by Ms. Auditori, to approve the variance as requested. The motion carried unanimously per a roll call vote.

There being no further business, the meeting was adjourned at 6:04pm.

ATTEST:

Ed Hooks, Mayor

Stephanie W. Shaw, City Clerk



The Mebane City Council held its regular monthly meeting at 6:00 p.m., Monday, January 4, 2021. Due to public health concerns related to COVID-19, the meeting was held virtually via Zoom.

Council Present via Zoom:

Mayor Ed Hooks
Mayor Pro-Tem Jill Auditori
Councilmember Tim Bradley
Councilmember Everette Greene
Councilmember Sean Ewing

City Staff Present at City Hall:

Assistant City Manager Chris Rollins
City Clerk Stephanie Shaw
IT Director Kirk Montgomery

Council Absent:

Councilmember Patty Philippss

City Staff Present via Zoom:

City Manager David Cheek
Finance Director Jeanne Tate
City Attorney Lawson Brown
Development Director Cy Stober
City Engineer Franz Holt
Utilities Director Kyle Smith
Human Resources Director Beatrice Hunter

Mayor Hooks called the virtual meeting to order and gave the invocation. He then announced that the City will be welcoming the new Assistant City Manager Preston Mitchell to Mebane on Monday, January 11, 2021. He shared that Mr. Mitchell has many years of local government experience, having served as the Manager of the following municipalities: City of Reidsville, Town of Nashville and Town of La Crosse, Virginia.

Mayor Hooks recognized Public Works Director Wayne Pore as he will be retiring January 31, 2021. Mayor Hooks read aloud the following resolution. Each member of the Council, along with Mr. Rollins and Mr. Cheek, expressed their gratitude for Mr. Pore's exemplarily service to the Mebane community over the last thirty years. Mr. Pore thanked them all for their comments and thanked them in return for the opportunity to serve the City of Mebane and its citizens.

**A RESOLUTION OF RECOGNITION AND APPRECIATION TO WAYNE PORE
FOR 30 YEARS OF OUTSTANDING PUBLIC SERVICE**

WHEREAS, Wayne Pore began his career with the City of Mebane in the Public Works Department as a Groundskeeper and member of the mowing crew on October 4, 1991, and

WHEREAS, Wayne served in several other capacities during his career, including Sanitation Equipment Operator and Utility Crew Leader, eventually working his way up to Assistant Public Works Director; and

WHEREAS, on January 1, 2013, Wayne was appointed as the City's Public Works Director overseeing operations for streets, sanitation, recycling, utilities, and public facilities; and

WHEREAS, the City experienced unprecedeted growth during Wayne's tenure as Director, yet with his leadership, the Public Works Department continued to maintain and even enhance the City's public infrastructure and facilities; and

WHEREAS, in the last eight years, the City has added 15 miles of streets, collected 32,000 tons of garbage, diverted 8,000 tons of recycled materials from the landfill, while seeing the number of homes served increase by 1,500, all under Wayne's steady supervision; and

Whereas, when ice, snow, or hazardous weather has come to Mebane, Wayne and his crew have fought the elements in the midst of the storm, and cleaned up afterwards, all the while keeping the residents of Mebane safe; and

WHEREAS, Wayne has delivered these services to the citizens with the utmost care and concern, calmly listening to citizen complaints, resolving differences among neighbors, and responding quickly to citizen requests for assistance; and

WHEREAS, Wayne, with his calm, kind, patient demeanor, has earned the respect of his colleagues and staff, the trust of the city residents, and the reputation of a dedicated public servant by the City Council; and

WHEREAS, throughout his three-decade career, Wayne has led by example, mentored his staff, instilled in them the values of commitment and teamwork, and provided excellent customer service to the citizens; and

WHEREAS, Wayne will be retiring on January 31, 2021.

NOW, THEREFORE, BE IT RESOLVED that the City Council does hereby commend Wayne Pore for his outstanding public service for the past three decades and expresses its deepest gratitude and appreciation for his dedication to the community.

Adopted this 4th day of January, 2021.

Ed Hooks, Mayor

During the public comment period, Clerk Shaw read aloud the following comments submitted via email.

Dear City of Mebane:

Due to COVID concerns I will be I am unable attend in person, and will therefore send my concerns to be read by the City clerk during the meeting.

Our names are Ronald and Barbara Morris and we live in Arbor Creek Subdivision at 1045 Sweet Gum Way, Mebane, NC 27302. We have been made aware of a proposed new development adjacent to our property. While we are supportive of growth in Mebane, Diamondback Investment Group has submitted plans which raise several concerns for existing homeowners and which propose several exceptions to rules that Mebane has put in place to maintain integrity of all development.

Key Concerns:

Home Value: *We have significant interest in protecting the value of our home which has continued to increase in value since purchasing. We have concern that townhomes will drive down the value of our home.*

Rezoning request: *Based on information received, the developer would like approval for a rezoning request for R-6 (high density). However, all the adjacent neighborhoods and those that will be connected to the new development are currently zoned R20 (low to moderate density) or B2 (Commercial). Since neighborhoods will be connected, I would request that the city stay in line with connected neighborhoods' current zoning and DENY the request to rezone to a R-6 development. We have a significant investment in our home/property and feel that re-zoning the adjacent property will impact the value of our home. Additionally, changing to an R6 have the potential to change the environment due to potential for high turnover of property. R6 construction tends to degrade quicker overtime due to the ownership is not for the long term and therefore the upkeep of the property/housing degrades due to lack of ownership.*

Saturated Market: *We request that the City hold off on continuing to approve new large developments until other neighborhoods currently under development are at least 90% complete. Mebane is rapidly growing and the fact that several neighborhoods are being built, means there is a risk of too many starting up at one time and then the inability to complete all of them due to a drop in demand. Also, development could take longer due to the market being saturated and therefore those of us adjacent to those developments have to tolerate the mess for extended periods. Case in point, Arbor Creek experienced an issue where development ceased for an extended period due to economic downturn. The existing neighbors had to tolerate a partially developed neighborhood for years.*

Respect to current homeowners: *Request that developers leave at least an ½ Acre of natural tree buffer between the new development and current property line. Many of the current owners including us, paid a premium (Additional \$5000) for their lots because of the view, privacy and increased natural area that they offered. Also, the increased natural area will assist with water*

drainage that is already a major issue in the area which frequently floods after a heavy rain.

Increased road traffic. With all the expansion around our area, the traffic continues to increase. Today, it is already difficult to turn onto Old Hillsborough road from our subdivision due to the increase in traffic and adding more neighborhoods is only going to make this issue worse. Additionally, we are concerned that making the road go all the way through will result in increased traffic in the neighborhood. We already have people that speed through the neighborhood and if you connect the new neighborhood to our existing one, it will cause more traffic to fly down our road.

Storm drainage: The developer is proposing to put an undesirable element of the development (storm drainage pond) directly behind current homeowners. This will increase insects and snakes and also present a potential danger to the many small children that live in those homes. In addition, there are already flooding and drainage issues in the proposed pond that backs up to Sweet Gum Way. I request that you require any new development to grade the property to direct waterflow away from existing neighborhood and locate the storm drainage ponds in the middle of their own development. It should not be placed on the edge which would require existing homes to have to tolerate the downside. The existing homes were purchased in their specific area because they chose not to select a cheaper lot which was located near one of Arbor Creek's storm drainage ponds. Therefore we request that you grandfather in the existing homeowners and maintain an area behind them that is free from undesirable retention ponds. They should not be forced to now have to live next to one.

Flooding issues: City engineers need to carefully assess all development and consider current flooding issues to ensure it is not exacerbated by new development. A city-sponsored drainage plan needs to be developed to ensure no additional drainage issues for existing neighborhoods. Today there is a drainage ditch 20 feet behind our house and it already gets very full with a downpour. Anytime we have major rain we are concerned and keep a close watch on the water level. I am concerned that changing the landscape behind our home could result in flooding that could reach our house. This is a HUGE concern.

Family Friendliness of neighborhood: Based on current plans, the new development has minimal year-round family friendly features like a playground. Considering the new development and current community will be connected, there is a high probability of increased use of the current neighborhood playground which is maintained and funded by the neighborhood HOA. We request the developer be required to add more family friendly features to the new development.

Sustainable growth & Infrastructure: There are currently multiple neighborhoods underdevelopment within a 5 miles radius of the purposed development but there has not been any new infrastructure to support all this growth. There has been no expansion of roadways, turning lanes, traffic lights or schools. The city keeps growing at an accelerated pace but has not invested as quickly to support all of the current or 1000s of new citizens. We respectfully request that the city to be measured in what they approve and when they approve it. The infrastructure needs to catch up with the development.

Thank you for your time and consideration of our concerns.

Ronald and Barbara Morris

Good Evening Mayor and City Council,

Let me start off by saying that I Love Mebane. It's true that it is "Positively Charming"! That's why I moved here and yes; I am part of the problem. As a resident of Mebane for almost six years, I feel more at home here than anyplace else I have lived. There is a perfect mixture of small-town shops and big corporate businesses and that gives the residents choices. However, the mixture is changing, and this Positively Charming town is becoming a big city with more apartments, condos and townhouses being built than single-family homes.

The stress this is putting on our infrastructure is horrible. The schools, the police and the fire department must be feeling the pressure to keep up. They only get a chance to react instead of acting and planning. When I first moved here, I would hear sirens at night maybe once a week. Now, I hear them almost every night!

The other problem that affects every Mebanite is traffic! The roads can't handle the amount of

people now. Can you imagine what the traffic will be like when every parcel of land has as many dwellings stuffed on it as possible? All areas of Mebane have this problem now, especially during the evening hours of 4 pm – 6 pm!

I feel a sense of closeness in this Mebane community – neighbors helping neighbors, walking downtown and talking to and buying from local shop owners. Saying hello to strangers and getting a hello back – and maybe a short conversation! I fear that Mebane is on the brink of becoming just another city with all the problems that come with it! I don't have a solution for these problems. The hope is community involvement and for the mayor and city council to find the right mixture of small-town charm and city living, and I truly hope and pray they can do that!

Thank You,
Charles Stancati
A proud Mebane resident!

In regards to the development proposed by Diamond back off of old Hillsboro Road.

I just wanted to reiterate these concerns that many of the community members have in our neighborhood.

This development as planned will connect to our neighborhood at longleaf pine place. This will cause a massive increase in the amount of traffic coming through our neighborhood. At some point old Hillsborough road was slated to be widened however that has not happened. Our concern is that this connection will cause people to cut through our neighborhood in order to avoid the congestion at the 4-way stop at Mebane oaks & old Hillsborough.

Amenities:

This development as proposed has zero amenities for their community. With this community being connected to ours he has concerns that this will add additional wear & tear as well as use of the amenities in our neighborhood hood. Our neighborhood is made up of 240 homes and while we have very little amenities (playground, gazebo & doggy stations) our community pays for them via our HOA dues.

People who are walking through are sure to use our playground, and doggie stations which will cause us to have to pay more for maintenance especially the bags at the doggy stations. We also often host neighborhood events at the gazebo and don't feel that it would be fair to have to fund people in a adjacent community partaking in these events.

The these could be avoided by not allowing them to connect to our neighborhood at long leaf pine.

While we know development will happen, we pile ask that this not be connected to our neighborhood.

Thank you for your time

*Ray Oliver
909 Sugar Tree Drive
Mebane NC*

Mayor Hooks gave an overview of the Consent Agenda:

- a. Final Plat- Bowman Village, Ph. N1
- b. Quarterly Financial Report Ending September 30, 2020
- c. Snow and Ice Removal Agreement
- d. PART (Go Triangle) Renewal Agreement

Mr. Bradley questioned if any of the streets are outside of the City limits. Mr. Pore said most of the streets are in the City or in the ETJ. Mr. Bradley made a motion, seconded by Mr. Greene, to approve the Consent Agenda as presented. Per a roll call vote, the motion carried unanimously.

Mayor Hooks said there have questions about why the Council waits to vote on Public Hearing items until the following Wednesday. Mayor Hooks explained that North Carolina General Statute 166A-19.24 states that when a public body conducts a public hearing as a remote meeting, it must allow for written comments on the subject of the public hearing to be submitted between publication of any required notice and 24 hours after the public hearing.

He continued by saying that all of tonight's Public Hearings will be voted upon at the continued meeting to be held on Wednesday, January 6, 2021 at 6:00pm.

Mayor Hooks stated that the first public hearing to be held on a request for annexation of property located at 6016 W. Ten Road (address was corrected by surveyor) was requested per the applicant to be continued until the February 1, 2021 meeting. Mayor Hooks said the vote to continue will be held on Wednesday, January 6, 2021.

A virtual Public Hearing was held on a request from staff for approval of the Buckhorn Area Amended Long Range Plan. Mr. Stober explained that he would be giving an abbreviated presentation tonight; all slides from the December meeting PowerPoint are on hand for reference if needed. He continued with a recap of the request sharing that In December 2019, the Mebane City Council, at the recommendation of the Planning Board, annexed and zoned two properties to M-2 ("Light Manufacturing") that lay outside but adjacent to the CLP's geographic scope, with the rationale that the action was consistent with the goals and objections of the CLP. Per North Carolina General Statutes, the City has an obligation to revise its adopted plans to reflect Council actions. At minimum, the Comprehensive Land Development Plan Mebane By Design must be amended to reflect the actions of Council, expanding the Plan's Future Growth Area and Primary Growth Areas to include these properties that are currently beyond its scope. This study expands the boundaries of the original BEDD in order to utilize the land most suitable for economic development, especially reasonable or potential access to infrastructure, including these two newly-annexed properties. If acted upon by the City, the study area and the plan's recommendations will be integrated into an amended CLP to revise its Future Growth Area and G 2 Industrial (V) Primary Growth Area, "Part of BEDD and North of US-70." He stated the BAP is not a rezoning study, not a study to support eminent domain, nor is it an annexation study. Any annexations would be voluntary and considered on a case-by-case basis. Any annexations or rezoning requests would require further public notification and public hearings to allow for public input. Per public comment and Council feedback at the December 7, 2020 meeting and due to the fact that the Orange County Commissioners have not considered this matter at all, staff is recommending acceptance of the BAP for guidance, not adoption. By not adopting the BAP, staff cannot legally include it in their finding of facts when preparing staff reports or when presenting an item to the Planning Board or City Council. At minimum, the Comprehensive Land Development Plan Mebane By Design must be amended to reflect the actions of Council, expanding the Plan's Future Growth Area and Primary Growth Areas to include properties that are currently beyond its scope, specifically the Medline properties, 6016 West Ten Road and properties north of the I-40/85 weigh station. Mr. Stober presented two (2) alternatives for consideration in adopting the "Buckhorn Area Plan".

- Buckhorn Area Plan Revision 1: "Medline South", 6016 West Ten Road, Focus Area A, & Focus Area B
- Buckhorn Area Plan Revision 2: "Medline South", 6016 West Ten Road, & Focus Area A.

Mr. Bradley asked what the advantage of approving the plan that includes Focus Area B would be with people contesting it due to the fact that they consider it traditional farm land or residential land. Mr. Stober said the advantage would be that staff can make a recommendation about whether or not a proposed project is consistent with the adopted plans. Mr. Bradley said he would prefer the map that does not include Focus Area B. Mr. Ewing agreed and stated he feels the map is still missing some updated information since the public input at the December meeting. Ms. Auditori said, along those lines, she is also questioning the inclusion of focus area A. She said if she recalls correctly, last month she asked about focus area A and someone noted that there had been no public concerns expressed about including area A which different than those property owners giving the City "a nod" saying that want to be included so she would like clarification on why focus area A is being left in if it follows the same logic as all of the other focus areas. Mr. Stober said during the preliminary stage, staff met with a property owner that owns several parcels in that area and there was stated interest in being included and having access to City utilities for

economic development purposes. Mr. Bradley said his understanding is the difference is focus area A has utilities currently available and focus area B does not. Mr. Stober said yes, the number one obstacle for focus area A is road frontage and rail access. Mr. Rollins said most of focus area A was in the current CLP but there was an addition of properties north of weigh station per property owner request. Mr. Stober stated over half of focus area A is in the currently adopted CLP and focus areas B, C, D and E are not.

Beth Bronson, 1222 Buckhorn Road, Mebane, NC, joined the meeting via Zoom. She began by thanking Council and City staff for the transparency and communication. She said she and several others realize that this plan is a future land use plan and that it is not a rezoning effort, not an annexation effort, this is a plan to proceed with how to address annexation proposals and commercial development. She said this area has been identified as a commercial and industrial transition activity node and has been so identified since the UDO was put in place and sometime after the Mebane-Efland Small Area Plan but before the 2012 Utilities Agreement. Her concern as a resident in this area and bordering this transitional node, is that there has not been a lot of transparency from Orange County in the way that it has been marketed in general. She said moving forward when discussing the BAP, let's not pretend that the area will stay rural residential if this plan is adopted and as development increases. This is basically a template to developers in the commercial industry to create a template on how to apply for the land purchases. She said she agrees that land owners should have the right to sell and developers should have a template to follow. She commended Mr. Stober for his approach in presenting to the public and to the Council. She requested that as the BAP and the technical study is looked at that a precedent be set now for what will be expected of the developers, for land conservation, NCDOT involvement, road maintenance, etc. as these things are all very important. She said there needs to be more information considered regarding the traffic impact and impact on the roadways. She said there are a lot of plans that address this area but none of them are cohesive and the BAP does not contribute to consolidating those plans. She expressed her displeasure with tax incentives. She said she would like to see the UDO updated and the CLP amended so that the BAP can be written in a way that follows those plans. She also requested that the PTRC maintain an accurate up-to-date website. She concluded her comments with a complaint regarding the development underway on Bowman Road.

Fiona Johann, 5016 Johann Lane, Mebane, NC, joined the meeting via Zoom. She echoed Ms. Bronson's comments thanking Council and City staff for the work they have been doing. She said she also understands that the BAP is not a rezoning anything but it does serve as an advertisement to any warehouse developer that Mebane is the place to come. She said her problem with the BAP is that it is recommendations vs. requirements. She does not like that the plan extends the areas that are outside of Orange County's 2030 Development Plan and the development is creeping closer and closer. She feels the BAP will allow for more of that.

Mr. Greene encouraged the residents also express their concerns to the Orange County Commissioners as well. Mr. Bradley thanked Mr. Stober and City staff for their effort in advertising and making this plan transparent as was recognized by the citizens. He requested that Mr. Stober keep Council apprised as to when the BAP is brought before the Orange County Commissioners. Mr. Stober stated he would do so. Ms. Auditori said if the BAP is accepted, it will be used for guidance, not a list of requirements but is there a way to integrate requirements for matters such as 100-foot buffers. Mr. Stober said he plans to bring an informational item before Council at the February meeting discussing the opportunity to amend the UDO in tandem with the statutorily required amendments of 106D.

Mr. Rollins said that a question was received via the Zoom chat, asking if the City Council would be adopting the BAP before the Orange County Commissioners review it and the answer is, they will not; staff is *recommending the minimum action of Council to amend the City's Comprehensive Land Development Plan Mebane By Design to expand its geographic scope and that of G-2 Industrial (V) Growth Area to include the properties shown in "Buckhorn Area Plan Revision 2."* The Buckhorn Area Plan is recommended to be accepted as guidance, but action delayed until it is formally presented to the Orange County Board of Commissioners for their discussion and an interjurisdictional dialogue.

Mr. Greene made a motion, seconded by Mr. Ewing to continue the hearing until Wednesday, January 6, 2021 at 6:00pm. The motion carried unanimously per a roll call vote.

Ms. Tate presented a request for acceptance of the FY 2019-20 Audit. She explained that at the December 7, 2020 meeting she presented a preliminary review of the City's financial statements and at that point in time they had been submitted to the State but had not yet received their approval, since then the City has received their approval. She said nothing that she presented at that meeting has changed therefore, she turned the presentation over to Patricia Rhodes, Auditor with Stout, Stuart, McGowen and King, LLP.

Ms. Rhodes joined the meeting via Zoom. She thanked Council for the opportunity to join the meeting to discuss the Audit Report for FY ending June 30, 2020 and for the opportunity to be the independent auditor for the City. Ms. Rhodes stated Mebane received an unmodified opinion. She reviewed highlights of the audit and shared a comparison of Mebane's fund balance to similar municipalities. Mr. Greene made a motion, seconded by Mr. Ewing, to accept the audit. The motion carried unanimously per a roll call vote.

Mr. Brown presented a request from Kenny and Elizabeth Knight, who are currently renovating the Burgess Building located at 104 S. Fourth Street. He stated that they are requesting the approval of the Deed of Easement and Party Wall Agreement for the relocation and expansion of the Duke Energy meter bases on City owned property at 101 W. Washington Street (Mebane Fire Station #1). Mr. Brown said staff recommends approval. Mr. Bradley made a motion, seconded by Mr. Greene, to approve the Deed of Easement and Party Wall Agreement as presented. The motion carried unanimously per a roll call vote.

Mr. Holt joined the meeting via Zoom and presented a request for approval of a proposal from Schnabel Engineering South, P.C for further evaluation of Lake Michael Dam. He said this proposal follows a condition assessment completed in October 2020. From their executive summary, it appears that the overall condition of the dam is fair considering its age and meets hydraulic capacity requirements. However, due to multiple structural deficiencies identified with the spillway, they recommend replacing the existing spillway with a new spillway. Other recommendations are as follows:

- Conduct a robust monitoring program
- Inspection of the intake tower, gates, and low-level conduit
- Installation of a means of lowering the lake level
- Complete topographic and bathymetric surveys of the site
- Installation of a toe drain and filter diaphragm around the low-level conduit
- Clear trees from the outlet channel and plunge pool area and along the upstream right abutment

After reviewing the condition assessment, staff asked for a proposal from Schnabel to provide recommended next steps which are as follows:

1. Further Investigations of the Intake Tower, Low-level Conduit, Spillway Subsurface, and Surveying.
2. Update the current Emergency Action Plan and include Inundation Mapping.
3. Provide an Alternative Analysis of new Spillway Design with opinion of probable construction cost.
4. Review possible Project Funding and Eligibility Assessment.

Staff recommends approval of Schnabel's proposal for Engineering Services for Lake Michael Dam. Mr. Bradley made a motion, seconded by Mr. Greene, to approve Schnabel's Engineering Proposal for Lake Michael Dam. The motion carried unanimously per a roll call vote.

Rachel Nilson, CPL Engineer and Project Manager, joined the meeting via Zoom. She presented an update for the Comprehensive Facilities Plan. She explained that their team is looking at departmental needs and facility needs reaching over the next 15 years; putting together capital planning reports and cost estimates so the Council and staff have a plan to move forward with. She said their scheduling is on tract and they hope to have a final report ready by February. She shared PowerPoint slides which broke down in detail work being done for building assessment and analysis and department assessment and analysis. She explained that they are developing a dashboard that will allow for digital organization of all the data they have gathered and it will be

searchable. Mr. Bradley asked if Council will receive a hard copy of the final report before the final presentation. Mr. Rollins said staff will be happy deliver hard copies of the draft final report. No action taken.

Mr. Smith joined the meeting via Zoom and presented a request for Council's adoption of a Cross-Connection Control Ordinance. He explained beginning January 1, 2020, water systems with five or more testable backflow prevention assemblies must start an inventory of existing backflow prevention devices. Records of the location, type, size, and field tests must be maintained for each device identified for a minimum of four years. The Utilities Department is nearly complete with the inventory of devices and is nearing the point where staff will need to reach out to all device owners requesting testing records. During a recent Distribution System Compliance Inspection, the State strongly recommended that the City adopt and implement a Cross-Connection Control Ordinance. The ordinance is supplemental to the North Carolina State Administrative Code Section 15A NCAC 18C.0406(b) of the Rules Governing Public Water Systems. The intent of this ordinance is to ensure a safe water distribution system by providing regulatory authority to the City of Mebane for cross-connection testing, inspection, reporting, and enforcement. When it is determined that a backflow prevention assembly is required, this ordinance will require the installation of an approved backflow prevention assembly and require that testing is done on each assembly. Mr. Smith shared that the downside will be that the owners of such devices will be required to pay for the testing. There was discussion regarding the financial hardship this could cause on some property owners. Mr. Rollins said the rules have been put in place by the State Environmental Protection Agency mandating compliance. Mr. Bradley made a motion, seconded by Mr. Greene, to adopt the Ordinance as presented with the understanding that should a situation arise the City will work with those property owners to get it resolved. The motion carried unanimously per a roll call vote.

Mr. Brown presented a request for approval of the Racial Equity Advisory Committee (REAC) application for the Committee membership and to set a timetable for receipt of applications, the screening of the same and the selection of Committee members.

Council discussed and clarified a section of the REAC Ordinance adopted at the December 7, 2020 meeting. Ms. Auditori made a motion, seconded by Mr. Greene, to amend the ordinance as follows:

The Committee shall be comprised of seven (7) members appointed by the City Council, for staggered two-year terms except that four (4) of the initial Committee shall be appointed for four (4) years. At least three (3) members must be residents of the City. Members may serve two full consecutive two-year terms. Except as to the three members living inside the City Limits, members may be residents of the City, the City extraterritorial district or may live within one mile of the primary (non-satellite) corporate limits of the City. Members can be removed at the discretion of the City Council for good cause.

The motion carried per a roll call vote. Mr. Bradley made a motion, seconded by Mr. Greene, to approve the REAC application as presented and to set the timetable as follows. The motion carried unanimously per a roll call vote.

- Applications should be received by March 10th
- Applications will be screened by staff for address eligibility, then sent to Council for review on March 18th
- Committee members should be selected at April 16th meeting

Ms. Hunter joined the meeting via Zoom and presented a request for Councils' consideration for approval of Mebane COVID Sick Leave as an extension of the federal provision of Emergency Paid Sick Leave (EPSL) under the Families First Coronavirus Response Act (FFCRA), which expires on December 31, 2020. She said the goal of approving Mebane COVID Sick Leave would help encourage employees with COVID symptoms to stay home and would further protect employees at work. The maximum entitlement of these special sick leave types (EPSL and Mebane COVID Sick Leave) is 80 hours. Employees who have used the federal leave entitlement (80 hours) will not receive an additional "bucket" of Mebane COVID Sick Leave. EPSL balances will be carried forward and employees will use no more than 80 hours of combined EPSL/Mebane COVID Sick Leave. Approval by the Council would make these benefits effective January 1, 2021 through June 30, 2021, only if the federal government does not pass a mandate for this extension. After

considerable discussion, Mr. Ewing made a motion, seconded by Ms. Auditori, to approve Mebane COVID Sick Leave as presented. The motion carried unanimously per a roll call vote.

Mr. Cheek commended Mr. Rollins, Mr. Brown, Ms. Shaw, Ms. Tate and Ms. Hunter for rising to the challenge during this unprecedented year of the COVID -19 pandemic. Mr. Rollins said that Mr. Montgomery and all of the department heads should be commended as well.

Ms. Tate presented a request for Council's consideration to approve a budget ordinance amendment- 2020-21 additional sales tax and appropriations. She explained at the December Council meeting, the financial update for the current fiscal year showed that revenues have been less severely impacted than was feared when the 2020-21 budget was adopted. The budget ordinance amendment would appropriate the sales taxes for projects as listed.

- Street Resurfacing
- Racial Equity Training
- Downtown Coordinator
- Public Works DOT Agreement

BE IT ORDAINED by the Council of the City of Mebane that the Budget Ordinance for the Fiscal Year Beginning July 1, 2020 as duly adopted on June 1, 2020, is hereby amended as follows:

APPROPRIATIONS	Current Budget	Change	ARTICLE I	
			Revised Budget	
GENERAL FUND				
Administration	\$ 1,138,700	\$ 20,000	\$ 1,158,700	
Public Works	1,877,322	290,600	2,167,922	

APPROPRIATIONS	Current Budget	Change	ARTICLE II	
			Revised Budget	
GENERAL FUND				
Local Option Sales Tax	\$ 3,190,243	\$ 270,600	\$ 3,460,843	
DOT Reimbursement	-	40,000	40,000	

This is the 4th day of January, 2021.

Ms. Auditori made a motion, seconded by Mr. Bradley, to adopt the budget ordinance amendment as presented. The motion carried unanimously per a roll call vote.

Mr. Stober announced that the City is currently seeking three (3) residents to serve on the Bicycle and Pedestrian Advisory Committee with application being due by January 19th. Interested parties should contact City Planner Ashley Ownbey. He also announced that the City will be hosting a virtual public meeting on January 7, 2021 to receive input regarding the Lowes Boulevard Corridor Plan. He stated there is a dedicated website with interactive maps and a survey. To participate during the virtual meeting, contact Ms. Ownbey.

Mr. Greene commented on how beautiful the Christmas lights around the City were this year. He thanked the Mendenhall family for placing the grapevine ball lights in the trees of the Fifth Street Pocket Park. Mr. Bradley suggested that money be placed in the budget for additional Christmas lights next year. Ms. Auditori commended Mr. Davis on the "Snowing in Mebane" Event.

There being no further business, the meeting adjourned at 8:35pm.

Attest: _____
Stephanie W. Shaw, City Clerk

Ed Hooks, Mayor



Virtual City Council Continued Regular Meeting
Wednesday, January 6, 2021

The Mebane City Council held a continued meeting at 6:00 p.m., Wednesday, January 6, 2021. The January 4, 2021 meeting was continued per G.S. 166A-19.24, which states that when a public body conducts a public hearing as a remote meeting, it must allow for written comments on the subject of the public hearing to be submitted between publication of any required notice and 24 hours after the public hearing. Due to public health concerns related to COVID-19, the meeting was held virtually via Zoom.

Council Present via Zoom:

Mayor Ed Hooks
Councilmember Everette Greene
Councilmember Sean Ewing
Councilmember Tim Bradley

Council Absent:

Mayor Pro-Tem Jill Auditori
Councilmember Patty Philipps

City Staff Present via Zoom:

City Manager David Cheek
Assistant City Manager Chris Rollins
City Attorney Lawson Brown
Development Director Cy Stober
City Clerk Stephanie Shaw
IT Director Kirk Montgomery

Mayor Hooks called the meeting to order. He then stated that tonight's meeting is a continuation of the public hearings held on Monday, January 4, 2021.

Mayor Hooks stated that the first item on the agenda for Council's vote is the request to continue the public hearing per the applicant's request for the adoption of an Ordinance to Extend the Corporate Limits- 6016 West Ten Road. Mr. Bradley made a motion, seconded by Mr. Greene, to continue the public hearing until February 1, 2021. The motion carried unanimously per a roll call vote.

Mayor Hooks stated the next item is the Buckhorn Amended Long Range Plan. Mr. Bradley made a motion, seconded by Mr. Ewing, to amend the Comprehensive Land Development Plan by including Focus Area A from the Buckhorn Area Plan and excluding Focus Area B which is referred to as Version 2 that includes 6016 West Ten Road the two (2) properties south of the Medline property on West Ten Road. The motion carried per a roll call vote.

Mayor Hooks shared that Council received a request to add an additional agenda item for consideration being a Resolution of Intent to Close a Portion of Burgess Drive. Mayor called for a vote to add the item to the agenda. Mr. Ewing made a motion, seconded by Mr. Greene, to add the additional item. The motion carried per a roll call vote.

Mr. Brown said staff received a Street Closing Petition from Desco Mebane Partners, LLC. requesting to close a portion of Burgess Drive. He said the request is consistent with the Cambridge Park development. It has always been shown on the site plan that a portion of Burgess Drive would be closed and the developer will extend Burgess Drive under their new plan. Mr. Greene made a motion, seconded by Mr. Bradley, adopt the Resolution of Intent and to set a date of Public Hearing for February 1, 2021 to consider the street closing order. The motion carried unanimously per a roll call vote.

There being no further business, the meeting was adjourned at 6:04pm.

ATTEST:

Ed Hooks, Mayor

Stephanie W. Shaw, City Clerk



AGENDA ITEM #5B

Fire Protection Automatic Aid Agreement

Meeting Date

February 1, 2021

Presenter

Bob Louis, Fire Chief

Public Hearing

Yes No

Summary

The City of Graham has requested a formal written mutual aid agreement for fire protection.

Background

The City's Fire Department has had multiple mutual aid agreements with surrounding fire departments, municipal and other. Graham requested this written mutual aid agreement.

Financial Impact

No direct budget item.

Recommendation

Staff recommends approval of the Agreement.

Suggested Motion

I move that the City approve the Mutual Aid Agreement with the City of Graham for fire protection.

Attachments

1. Fire Protection Automatic Aid Agreement

FIRE PROTECTION AUTOMATIC AID AGREEMENT

THIS FIRE PROTECTION AUTOMATIC AID AGREEMENT made and entered into this _____ day of _____, 2021, by and among the City of Graham, City of Mebane, Town of Haw River, Swepsonville Fire District, and E.M. Holt Fire District all of Alamance County, North Carolina:

WITNESSETH:

THAT, **WHEREAS**; the above Cities, Town, and Fire Districts desire their respective fire departments participate in this Automatic Aid agreement, and

WHEREAS, all above-named parties desire to provide the highest level of fire protection possible to their respective fire districts along with the lowest possible ISO public protection classification ratings, and

WHEREAS, all above-named parties desire to enter into an agreement whereby automatic aid assistance as described herein will be provided for all structure fire calls and alarms.

• **NOW THEREFORE**, in consideration of the mutual covenants contained herein by and among the parties hereto, in accordance with N.C.G.S. Section 58-83-1 which is hereby incorporated by reference and made a part hereof it is hereby agreed:

1. That automatic aid assistance will be provided in the following areas:
 - a. The automatic aid assistance will be provided in the areas within the City of Graham, City of Mebane (Mebane Fire District), Town of Haw River (Haw River Fire District), Swepsonville Fire District, and the E. M. Holt Fire District. The areas covered under this agreement will be reviewed annually by the Fire Chiefs and/or Governing bodies of each municipality or district.
2. This Automatic Aid Agreement shall be reciprocal between the City of Graham and the above-named City, Town, and fire districts that are signers of this agreement.
3. The Automatic Aid department shall be dispatched with the initial alarm to the area(s) for all structure fires and alarms, as agreed upon by the Fire Chiefs.
4. Automatic Aid assistance received from the above-named Fire Department will be comprised of:
 - a. One (1) Class A Pumper / Certified Engine
 - b. Additional specialized fire apparatus as agreed upon by the Fire Chiefs of each municipality/district (i.e. Tanker, Aerial, Brush Truck)

FIRE PROTECTION AUTOMATIC AID AGREEMENT

5. Each party to this agreement shall assume all costs of salaries, wages, bonuses, or other compensation for its own personnel that respond for duty under the terms of this agreement and shall also assume all costs involving the use of apparatus, equipment, tools used specifically in response to the request for aid and shall make no charge for such use to the party requesting assistance.
6. All parties will work with their respective Emergency Communications Center Directors to maintain accurate information pertaining to this automatic aid agreement.
7. Any party may, at any time, terminate this agreement upon a 90-day written notice to the other party.

THEREFORE, by actions of the undersigned officials, this Fire Protection Automatic Aid Agreement is duly authorized and the respective Cities, Town, and Fire Districts authorizes the Fire Chief to execute and maintain this agreement.

CITY OF GRAHAM FIRE DEPARTMENT (Primary)

Fire Chief Signature

City Manager

This instrument has been pre-audited in the manner required by the Local Government Budget and Fiscal Control Act.

City Finance Officer

Date

Approved as to Legal form and Sufficiency

Ward and Coleman, Attorney at Law
City of Graham Attorneys

FIRE PROTECTION AUTOMATIC AID AGREEMENT

CITY OF MEBANE FIRE DEPARTMENT (Auto Aid Dept.)

Fire Chief Signature

City Manager

This instrument has been pre-audited in the manner required by the Local Government Budget and Fiscal Control Act.

City Finance Officer

Date

Approved as to Legal form and Sufficiency

E. Lawson Brown, Jr.
City of Mebane Attorney

TOWN OF HAW RIVER FIRE DEPARTMENT (Auto Aid Dept.)

Fire Chief Signature

Town Manager

This instrument has been pre-audited in the manner required by the Local Government Budget and Fiscal Control Act.

Town Finance Officer

Date

Approved as to Legal form and Sufficiency

Charlie E. Davis
Town of Haw River Attorney

FIRE PROTECTION AUTOMATIC AID AGREEMENT

SWEPSONVILLE FIRE DEPARTMENT (Auto Aid Dept.)

Fire Chief Signature

Board President

E. M. HOLT DEPARTMENT (Auto Aid Dept.)

Fire Chief Signature

Board President



AGENDA ITEM #5C

Petition for Voluntary Non-Contiguous Satellite Annexation – Agape Baptist Church

Meeting Date

February 1, 2021

Presenter

Lawson Brown, City Attorney

Public Hearing

Yes No

Summary

Staff received a petition requesting voluntary non-contiguous satellite annexation from Agape Baptist Church.

Background

The applicant is requesting the described property to be annexed into Mebane's Corporate Limits. This is a non-contiguous satellite annexation containing approximately 5.24 acres.

Financial Impact

The property will be added to the ad valorem tax base for the City once the property is annexed.

Recommendation

Staff recommends Council's acceptance of the petition, the Clerk's Certificate of Sufficiency and adoption of a Resolution setting a date of public hearing for March 1, 2021.

Suggested Motion

I make a motion to accept the petition, the Clerk's Certificate of Sufficiency and to adopt the resolution setting a date of public hearing for March 1, 2021.

Attachments

1. Petition
2. Clerk's Certificate of Sufficiency
3. Map
4. Resolution



PETITION REQUESTING A NON-CONTIGUOUS ANNEXATION

Annexation Process – Approximately a 2 Month Process

1st Month- Submit a Petition for Annexation to the City Council, the Clerk reports to City Council the Sufficiency of the Annexation and the City Council adopts a Resolution to set a Public Hearing

2nd Month- A Public Hearing is held and normally that same night, the City Council will adopt an Ordinance to set the effective date as the same or the Council will deny the request

Date: 10-12-2020

To the City Council of the City of Mebane:

1. We the undersigned owners of real property respectfully request that the area described in Paragraph 2 below be annexed to the City of Mebane.
2. The area to be annexed is non-contiguous to the City of Mebane and the boundaries of such territory are as follows:

**Please include a Description of Boundaries (Metes and Bounds) on a separate paper.*

****3.** We acknowledge that any zoning vested rights acquired pursuant to G.S. 160A-385.1 or or G.S. 153A-344.1 must be declared and identified on this petition. We further acknowledge that failure to declare such rights on this petition shall result in a termination of vested rights previously acquired for the property. (If zoning vested rights are claimed, indicate below and attach proof.)

Name	Address	Do you declare vested rights (Yes or No)	Signature
1. Agape Baptist church	1451 Mebane Oaks Road Mebane NC	No	
2.			
3.			

**Municipality may wish to require metes and bounds description or map. (Provide 2 paper copies, an electronic copy and 3 mylars)*

***This is one possible format for zoning vested rights declaration. This language may require modification to reflect the requirements of the municipal zoning vested rights ordinance, if any.*

CERTIFICATE OF SUFFICIENCY

To the City Council of the City of Mebane, North Carolina:

I, Stephanie W. Shaw, City Clerk, do hereby certify that I have investigated the petition attached hereto and have found as a fact that said petition has been signed by all owners of real property lying in the area described therein, in accordance with G.S. 160A-58.2.

In witness whereof, I have hereunto set my hand and affixed the seal of the City of Mebane, this 1st day of February, 2021.



Stephanie W. Shaw
Stephanie W. Shaw, City Clerk

RESOLUTION FIXING DATE OF PUBLIC HEARING ON
QUESTION OF ANNEXATION PURSUANT TO G.S. 160A-58.2

WHEREAS, a petition requesting annexation of the non-contiguous area described herein has been received; and

WHEREAS, the Mebane City Council directed the City Clerk to investigate the sufficiency of the petition; and

WHEREAS, certification by the City Clerk as to the sufficiency of the petition has been made;

NOW, THEREFORE, BE IT RESOLVED, by the Mebane City Council of the City of Mebane, North Carolina that:

Section 1. A public hearing on the question of annexation of the non-contiguous area described herein will be held at the Mebane Municipal Building at 6:00 p.m. on March 1, 2021.

Section 2. The area proposed for annexation is described as follows:

Beginning At A POINT IN MEBANE OAKS ROAD; Thence S 88°13'51" W A Distance Of 35.78' TO AN EIP; Thence S 88°13'51" W A Distance Of 248.62' TO AN EIP; Thence S 88°13'51" W A Distance Of 486.75' TO AN EIP; Thence N 27°59'02" W A Distance Of 200.35' TO AN EIP; Thence N 71°51'58" E A Distance Of 766.82' TO A COMPUTED POINT IN MEBANE OAKS ROAD; Thence S 19°09'02" E A Distance Of 414.73' TO A COMPUTED POINT; Which Is The Point Of Beginning, CONTAINING 5.24 ACRES, 228,292.5 S.F.

Section 3. Notice of the public hearing shall be published once in the Mebane Enterprise, a newspaper having general circulation in the City of Mebane, at least ten (10) days prior to the date of the public hearing.

Ed Hooks, Mayor

ATTEST:

Stephanie W. Shaw, City Clerk



AGENDA ITEM #5D

Change in Late Fee Policy

Meeting Date

February 1, 2021

Presenter

Jeanne Tate, Finance Director

Public Hearing

Yes No

Summary

To encourage on-time payment of utility bills, the City's policy includes charging a late fee of \$10 each month on any unpaid balance over \$5. The proposed policy change would allow each customer account a one-time waiver of that fee.

Background

Of the City's 6,175 utility accounts, each month about 700-800 do not pay their bills by the due date and have historically been charged a \$10 fee. Even with Covid and the Governor's EO124 imposing a moratorium on such fees, we have not seen much change from the 700-800 accounts that were typically late before Covid. Most accounts that were impacted by EO124 have been restored to normal functioning this month, and all customers will once again be subject to late fees in February when they are past due. Most of our late customers are habitually late, and while this change will aid them once, it is intended to aid those who generally pay on time but experience postal delays or other issues that cause them to be late as a rare exception to the norm. The state's requirement is that the late fee be applied electronically to assure the fee is applied fairly to all customers.

The change in policy to grant a one-time waiver of the fee carries no implementation cost but will result in the one-month loss of the fee for any customers who are late. The policy is common among many of our neighboring communities' water systems.

Financial Impact

First-time late customers will benefit from the one-time fee waiver. An outside estimate of the cost would be around a single months' late fees or \$8,000, with no cost to implement.

Recommendation

Recommend that the Council approve the policy change.

Suggested Motion

Motion to approve the policy change to allow utility customers one late fee waiver.

Attachments

1. Late Fee Policy

POLICY STATEMENT	
SUBJECT: Change in Utility Late Fees	PAGE 1 OF 1
	EFFECTIVE DATE: February 1, 2021
	SUPERSEDES: Utility Billing Policy
	PREPARED BY: Jeanne D. Tate, Finance Director
	ADOPTED BY:
	DATE:

North Carolina General Statutes 160A-314 authorize the assessment of late fee penalties for delinquent utility accounts. NC Court of Appeals ruled that the late fee must be a “device by which customers are automatically classified to avoid discrimination...” *per State of North Carolina ex rel Utilities Commission v. North Carolina Consumers Council, Inc.*

Utility bills are due by the 20th of every month, and accounts that are not paid in full by that date are charged a fee of \$10.00 to be used in collection efforts. The accounting system for utility billing is designed to automatically generate the late fee for delinquent customers, and generates a listing based on payments posted through the 25th to allow for mail or other processing delays.

This revised policy will afford each customer one late payment waiver per rolling year, to be applied and maintained automatically by the utility billing system. No other waiver of penalties will be allowed except in the case of an error by the City or approval by the City Manager.

AGENDA ITEM #6A

Ordinance to Extend the Corporate Limits- ~~6019~~ 6016 West Ten Road

Same Property but address was corrected on plat by surveyor

Meeting Date

February 1, 2021

Presenter

Lawson Brown, City Attorney

Public Hearing

Yes No

Summary

The Council will consider the approval of an Ordinance to Extend the Corporate Limits as the next step in the annexation process. This is a non-contiguous satellite annexation containing approximately 47.502 acres located at ~~6019~~ 6016 West Ten Road in Orange County.

Background

At the November 2, 2020 Council Meeting, Council accepted the petition for annexation and the Clerk's certificate of sufficiency and adopted a Resolution setting a date of Public Hearing for December 7, 2020 to consider approval of extending Mebane's corporate limits. The Public Hearing Notice was properly advertised.

At the November 9, 2020, meeting, the Mebane Planning Board voted unanimously to continue the discussion on the conditional rezoning request for this property to allow for the completion of a Traffic Impact Analysis (TIA), as required by the Mebane Unified Development Ordinance. Upon completion of the TIA, staff findings can be completed for the project and the Planning Board is expected to recommend an action to the City Council at their December 14, 2020, meeting. The public hearings for both the annexation and rezoning requests were to be jointly considered at the January 4, 2020, City Council meeting, however the applicant has requested a continuance of the public hearing until the February 1, 2021 meeting.

Financial Impact

The property and improvements will be added to the ad valorem tax base for the City once the property is annexed as determined by the state statute.

Recommendation

Staff recommends adoption of an Ordinance to Extend the Corporate Limits of the City of Mebane, North Carolina.

Suggested Motion

I make a motion to adopt an Ordinance to Extend the Corporate Limits of the City of Mebane, North Carolina to include the 47.502 acres.

Attachments

1. Ordinance
2. Revised plat

AN ORDINANCE TO EXTEND THE CORPORATE LIMITS
OF THE CITY OF MEBANE, NORTH CAROLINA

Mail after recording to: City of Mebane, Attn: City Clerk, 106 E. Washington Street, Mebane, NC 27302

Ordinance No. 139

WHEREAS, the City Council has been petitioned under G.S. 160A-58.1 to annex the area described below; and

WHEREAS, the City Council has by resolution directed the City Clerk to investigate the sufficiency of the petition; and

WHEREAS, the City Clerk has certified the sufficiency of the petition and a public hearing on the question of this annexation was held at the Mebane Municipal Building at 6:00 p.m. on February 1, 2021 after due notice by the Mebane Enterprise on November 25, 2020; and

WHEREAS, the City Council finds that the area described therein meets the standards of G.S. 160A-58.1 (b), to wit:

- a. The nearest point on the proposed satellite corporate limits is not more than three (3) miles from the corporate limits of the City;
- b. No point on the proposed satellite corporate limits is closer to another municipality than to the City;
- c. The area described is so situated that the City will be able to provide the same services within the proposed satellite corporate limits that it provides within the primary corporate limits;
- d. No subdivision, as defined in G.S. 160A-376, will be fragmented by this proposed annexation;

WHEREAS, the City Council further finds that the petition has been signed by all the owners of real property in the area who are required by law to sign; and

WHEREAS, the City Council further finds that the petition is otherwise valid, and that the public health, safety and welfare of the City and of the area proposed for annexation will be best served by annexing the area described;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Mebane, North Carolina that:

Section 1. By virtue of the authority granted by G.S. 160A-58.2, the following described non-contiguous territory is hereby annexed and made part of the City of Mebane, as of February 1, 2021:

LYING AND BEING SITUATE IN CHEEKS TOWNSHIP, ORANGE COUNTY, NORTH CAROLINA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A COMPUTED POINT (POB) LOCATED IN THE CENTERLINE OF WEST TEN ROAD (SR 1144) HAVING NORTH CAROLINA GRID COORDINATES OF NORTH 844602.1913' EAST 1933898.4199' AND BEING LOCATED S77° 19' 40"E 200.01 FEET FROM THE CENTERLINE INTERSECTION WITH BUCKHORN ROAD (SR 1114); THENCE FROM THE POB ALONG THE CENTERLINE OF WEST TEN ROAD THE FOLLOWING SEVEN COURSES: (1) S80°43'47"E 119.69 FEET TO A COMPUTED POINT; (2) S84°05'37"E 120.08 FEET TO A COMPUTED POINT; (3) S87°41'03"E 119.99 FEET TO A COMPUTED POINT; (4) S89°50'33"E 119.99 FEET TO A COMPUTED POINT; (5) N89°29'03"E 413.49 FEET TO A COMPUTED POINT; (6) N89°19'05"E 200.00 FEET TO A COMPUTED POINT; (7) N87°39'25"E 105.78 FEET TO A COMPUTED POINT; THENCE LEAVING THE CENTERLINE OF THE ROAD S09°40'05"E 31.23 FEET TO A PINCHED IRON PIPE ON THE SOUTHERN 60' PUBLIC RIGHT OF WAY OF WEST TEN ROAD AND BEING THE COMMON CORNER WITH NOW OF FORMERLY DAVID THOMAS SR SQUIRES AND RUBY L SQUIRES DEED BOOK 1492, PAGE 366; THENCE ALONG THE COMMON LINE WITH SQUIRES S09° 40' 05"E 1,778.17 FEET TO A PINCHED IRON PIPE THE COMMON CORNER WITH THE HOLGER JOHANN SUBDIVISION AS SHOWN ON PLAT BOOK 106, PAGE 171; THENCE ALONG THE HOLGER COMMON LINE N89° 43' 20"W 977.08 FEET TO A 1/2" IRON PIPE THE COMMON CORNER WITH DORIS DOBY DEED BOOK 210, PG. 478 LOCATED IN THE COMMON LINE WITH MARY H HRS COPELAND; THENCE ALONG THE DORIS DOBY COMMON LINE N15° 56' 53"W 572.87 FEET TO A 1/2" IRON PIPE THE COMMON CORNER WITH ANNA DOBY DEED BOOK 210, PG. 479; THENCE ALONG THE ANNA DOBY COMMON LINE N29° 05' 43"W 692.92 FEET TO A 1/2" IRON PIPE; THENCE S73°40'10"W 36.02 FEET TO A 1/2" IRON PIPE A COMPUTED POINT ON THE EASTERN 60' PUBLIC RIGHT OF WAY OF BUCKHORN ROAD; THENCE S73°40'10"W 30.06 FEET TO A COMPUTED POINT LOCATED IN THE CENTERLINE OF BUCKHORN ROAD; THENCE ALONG THE CENTERLINE OF BUCKHORN ROAD N12° 47' 41"W 511.57 FEET TO A COMPUTED POINT; THENCE LEAVING THE CENTERLINE S77°20'44"E 33.22 FEET TO A 3/4" IRON PIPE LOCATED ON THE EASTERN RIGHT OF WAY OF BUCKHORN ROAD AND BEING THE COMMON CORNER WITH JOSE A BOCANEGRAS DEED BOOK 6117, PAGE 396; THENCE ALONG THE BOCANEGRAS COMMON LINE THE FOLLOWING TWO COURSES: (1) S77°20'44"E 166.92 FEET TO A COMPUTED POINT NEAR AN EXISTING 18" CEDAR TREE; (2) N12°37'38"W 185.45 FEET TO A BENT IRON PIPE LOCATED ON THE SOUTHERN RIGHT OF WAY WEST TEN ROAD; THENCE N12°37'38"W 32.43 FEET TO THE POB; CONTAINING 2,069,201 SQUARE FEET OR 47.502 ACRES.

Section 2. Upon and after February 1, 2021 the above-described territory and its citizens and property shall be subject to all debts, laws, ordinances and regulations in force in the City of Mebane and shall be entitled to the same privileges and benefits as other parts of the City of Mebane. Said territory shall be subject to municipal taxes according to G.S. 160A-58.10.

Section 3. The Mayor of the City of Mebane shall cause to be recorded in the office of the Register of Deeds of Orange County, and in the office of the Secretary of State at Raleigh, North Carolina, an accurate map of the annexed territory, described in Section 1 above, together with a duly certified copy of this ordinance. Such a map shall also be delivered to the Orange County Board of Elections, as required by G.S. 163-288.1.

Adopted this 1st day of February, 2021.

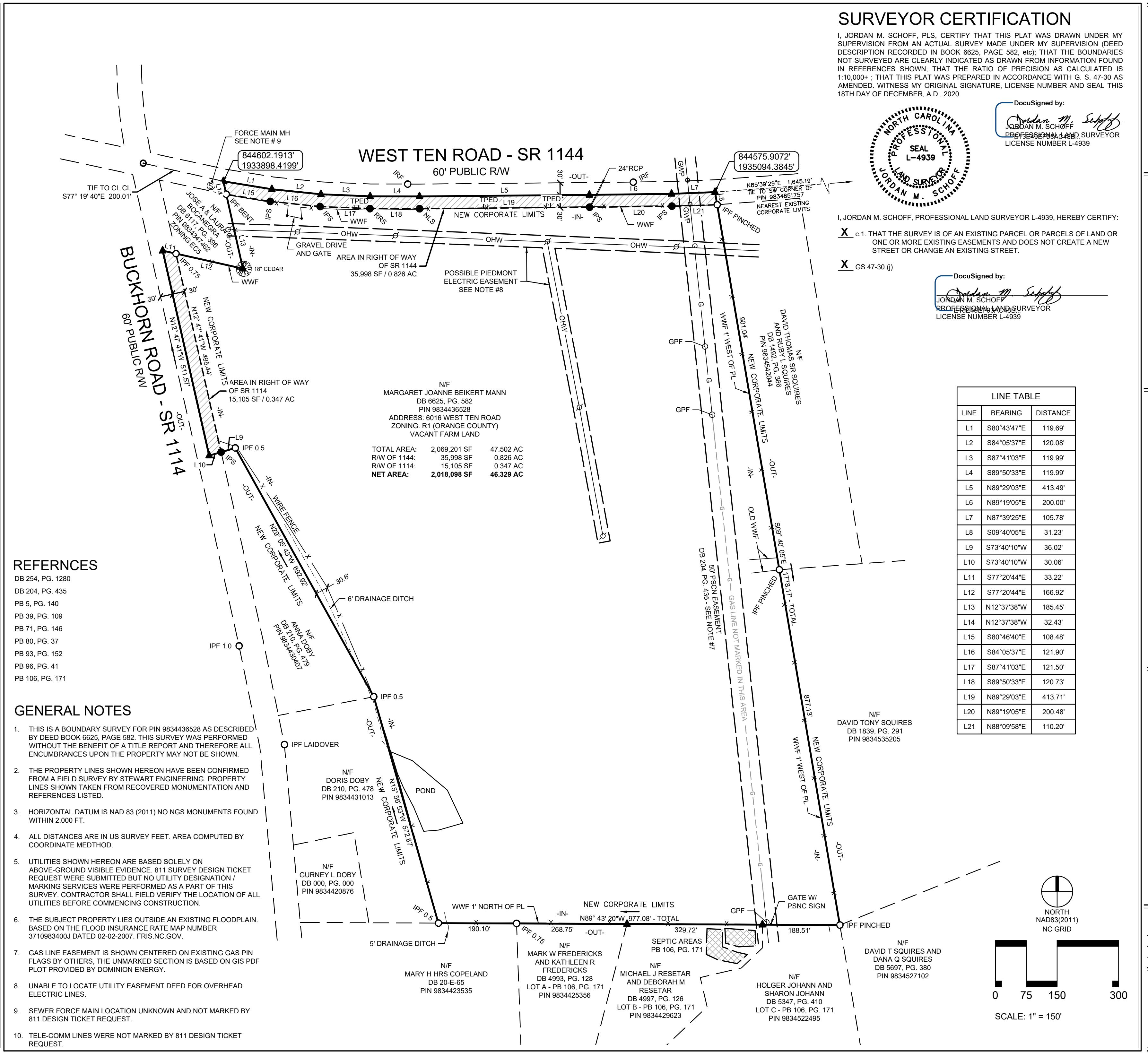
Ed Hooks, Mayor

ATTEST:

Stephanie W. Shaw, City Clerk

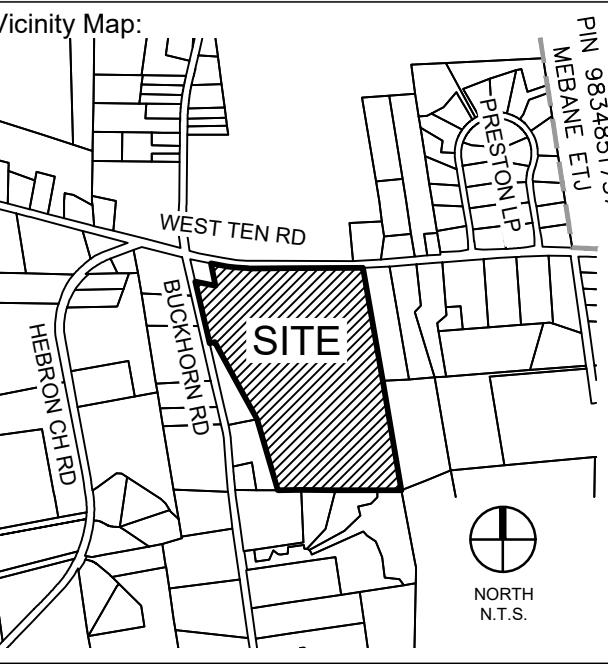
APPROVED AS TO FORM:

Lawson Brown, City Attorney



STEWART

5410 OLD POOLE RD
RALEIGH, NC 27610
T 919.380.8750
FIRM LICENSE # C-1051
www.stewartinc.com
PROJECT #: C20047



LEGEND

● IPF	IRON PIPE FOUND
● IPS	IRON PIPE SET
● RRS	RR SPIKE SET
● NLS	NAIL SET
▲ GWP	CALCULATED POINT
○ GPF	GAS MARKER
○ GPF	GAS PIN FLAG (BY OTHERS)
○ GPF	UTILITY POLE
□ TPED	TEL-COM PEDESTAL
◎	SEWER MANHOLE
— X —	WIRE FENCE
— OHW —	OVERHEAD WIRES
— G —	UNDERGROUND GAS LINE
WWF	WIRE FENCE

**NON-CONTIGUOUS
VOLUNTARY
ANNEXATION PLAT
(SATELLITE) FOR
CITY OF MEBANE:
MARGARET JOANNE
BEIKERT MANN
6016 WEST TEN ROAD**

CHEEKS TOWNSHIP, MEBANE
ORANGE COUNTY, NORTH CAROLINA

DATE: 09-08-2020 SCALE: 1" = 150'

Revisions:		
No.	Date	Description
01	10-23-2020	MEBANE COMMENTS
02	10-27-2020	MEBANE COMMENTS
03	12-18-2020	MEBANE COMMENTS

Project number: C20047 Sheet: 1
Date: 09-08-2020
Drawn by: JMS
Checked by: CRD



AGENDA ITEM #6B

RZ 20-12

Conditional Rezoning – 6016 West Ten Road

Presenter

Cy Stober, Development Director

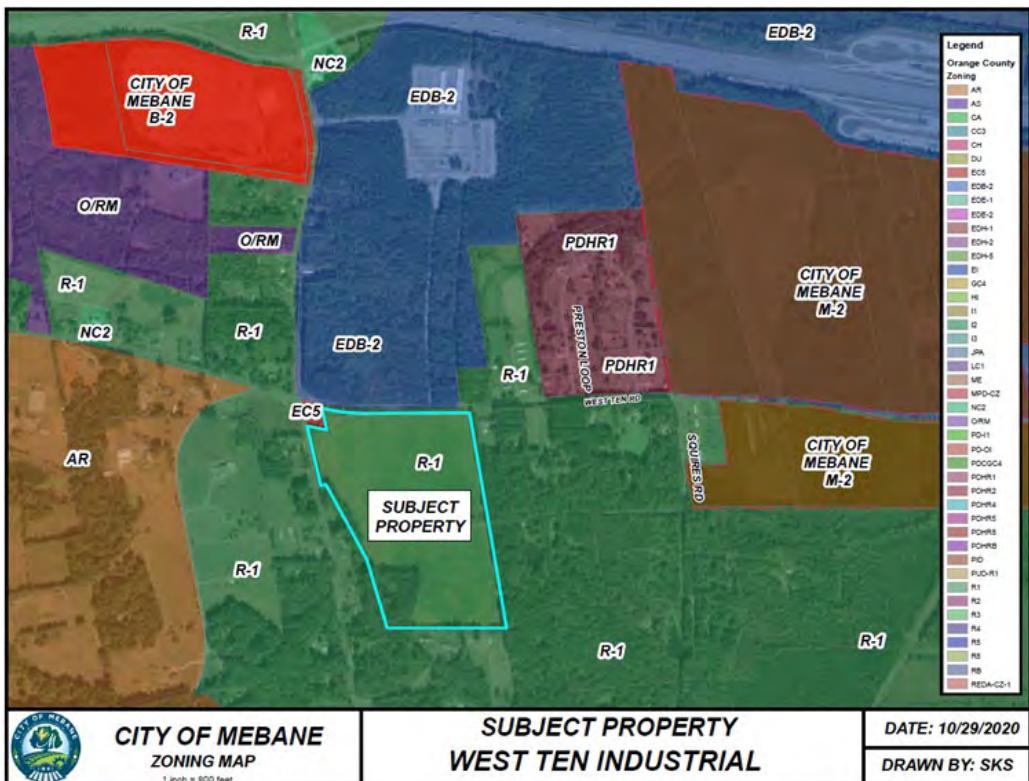
Applicant

Al. Neyer
4509 Creedmor Road
Suite 201
Raleigh, NC 27612

Public Hearing

Yes No

Zoning Map



Property
6016 West Ten Rd, Orange County
GPIN 9834436528
Proposed Zoning
M-2(CD)
Current Zoning
EDB-2
Size
+/-46.38 acres
Surrounding Zoning
R-1, PDHR1, EDB-2
Surrounding Land Uses
Residential, Economic Development, and Business
Utilities
Existing
Floodplain
No
Watershed
Yes
City Limits
No

Summary

Al. Neyer is requesting approval to request to establish M-2(CD) (Light Manufacturing, Conditional Zoning District) on a +/-46.38-ac parcel Located at 6016 West Ten Road, outside of the City's Extra-Territorial Jurisdiction (ETJ) in Orange County. The property is proposed for annexation and is also being subdivided as a property exempt from City or County standards. Al. Neyer has the property under contract to purchase, contingent upon approval of the conditional rezoning.

The applicant proposes to develop the property as a conditional zoning district with a limited menu of uses and a master plan that shall not be exceeded in intensity. The site plan shows the extent of this intensity, which may total as much as 675,000 s.f. of warehouse space and parking and stormwater controls to support this footprint. The property lies in both the Falls Lake nutrient-sensitive watershed and the Upper Eno River water supply watershed (II) and is subject the applicable stormwater management and stream buffering rules. Al. Neyer is also requesting the City's application of the 70% built upon area allowance for this site within the water supply watershed. The applicant provided a Traffic Impact Analysis (TIA) that did not recommend any offsite improvements for the project. The applicants is offering the following conditions for the project:

- Perimeter buffers of 100';
- Fence and 3' berm provided along the southern property line;
- Provision of a right-turn lane with 100' of storage on West Ten Road;
- Proposed future driveway on Buckhorn Road will be limited it to right-in/right-out, essentially diverting all freight traffic north to the I-4-/85 interchange;
- Changed the maximum height requirement to 56'

Furthermore, the applicant proposes limiting the Light Manufacturing uses on the property to the following (all development standards, including necessitating a special use, will persist):

- Accessory Uses and Structures
- Apparel and Finish Fabric Products
- Bakery Products
- Beverage Products
- Building Supplies
- Bulk Mail and Packaging
- Cabinet and Woodworking Shops
- Communication Tower Under 50' in Height
- Computer and Office Equipment
- Courier Service
- Dairy Products
- Distribution
- Drugs and Pharmaceuticals
- Equipment Leasing and Rental
- Farm Product Warehousing and Storage

- Farm Supplies and Equipment Sales
- Fence, Wall
- Food Preparation and Related Products, Miscellaneous
- Office Supplies and Equipment
- Outside Storage
- Public Works and Public Utility Facilities Essential to the Immediate Area
- Research, Development or Testing Services
- Signs
- Solar Farms
- Small Wireless Facility
- Temporary Portable Storage Containers
- Temporary Construction, Storage or Office
- Warehouse (General Storage, Enclosed)
- Warehouse (Self-Storage)
- Wholesale Trade

Financial Impact

N/A

Recommendation

The Mebane Planning Board voted unanimously (5-0) to recommend approval of the rezoning request, contingent upon annexation of the property into the City's jurisdiction.

Planning Staff recommends approval of the request. The rezoning request is consistent with the City's adopted Comprehensive Land Development Plan (CLP), *Mebane By Design*.

Suggested Motion

1. Motion to approve the M-2(CD) zoning as presented.
2. Motion to find that the application is consistent with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. The request:
 - Serves Mebane CLP Growth Management Goal 1.7 through the support [of] industrial development at existing industrial parks near I-40/85 (pp.17, 59 & 82); and
 - Is for a property wothin the City's G-2 Industrial Primary (V) Growth Area "Part of BEDD and North of US-70", an "...area [that] is intended for more robust growth, primarily for light industrial purposes... [with] areas immediately outside of these corridors, though, [that] are rural residential lots... (Mebane CLP, p.72).

3. Motion to deny the M-2(CD) zoning as presented due to a lack of
 - Harmony with the surrounding zoning or land use
OR
 - Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*.

Attachments

1. Zoning Amendment Applications
2. Zoning Map
3. Site Plan
4. Planning Project Report
5. Technical Memorandum on Utilities
6. Letter of Approval from City Engineer
7. Orange County Planning Department Memorandum
8. Traffic Impact Analysis
9. City of Mebane UDO Table of Permitted Uses with all M-2 Uses Highlighted



APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: Al Neyer

Address of Applicant: 4509 Creedmor Road, Suite 201 Raleigh, NC 27612

Address and brief description of property to be rezoned: 6016 West Ten Road

24.77 acre vacant parcel

Applicant's interest in property: (Owned, leased or otherwise) Under contract

to purchase

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes Explain: _____ No X

Type of re-zoning requested: Conditional M-2

Sketch attached: Yes X No _____

Reason for the requested re-zoning: Parcel is to be annexed into City limits

Signed: David E. Okun David E. Okun

Date: 11/2/2020

Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.



APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: Al Neyer

Address of Applicant: 4509 Creedmor Road, Suite 201 Raleigh, NC 27612

Address and brief description of property to be rezoned: 6016 West Ten Road

21.56 acre vacant parcel

Applicant's interest in property: (Owned, leased or otherwise) Under contract

to purchase

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes Explain: _____ No

Type of re-zoning requested: Conditional M-2

Sketch attached: Yes No _____

Reason for the requested re-zoning: Parcel is to be annexed into City limits

Signed: _____

Date: _____

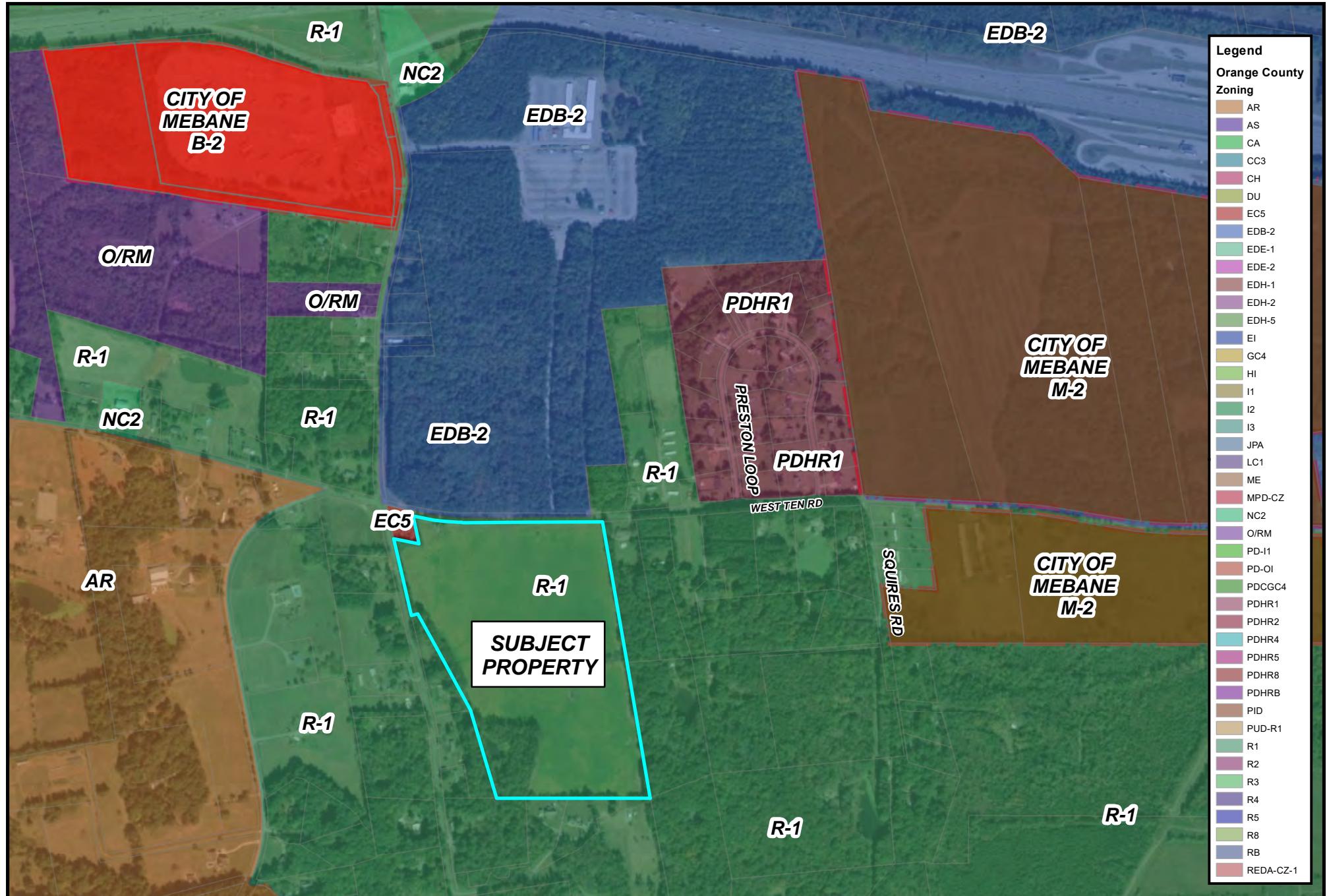
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Public Hearing Date: _____ Action: _____

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CITY OF MEBANE
ZONING MAP
1 inch = 800 feet

SUBJECT PROPERTY
WEST TEN INDUSTRIAL

DATE: 10/29/2020

DRAWN BY: SKS

WEST TEN INDUSTRIAL

CONSULTANT:



SITE PLAN

NOVEMBER 2, 2020
REVISED JANUARY 4, 2021
6016 West Ten Road
Mebane, North Carolina

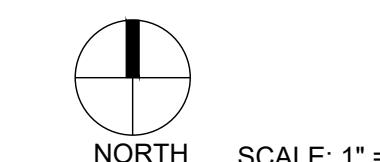
APPLICANT:



PARCEL INFORMATION:

PIN: 9834436528
DB 6625, PG 582
LOCATION: 6016 WEST TEN ROAD
OWNER: MARGARET JOANNE BEIKERT MANN
OWNER ADDRESS: 1965 NC 119 S
MEBANE, NC 27302

VICINITY MAP



INDEX OF DRAWINGS	
Sheet #	SHEET NAME
C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS PLAN
C3.00	SITE PLAN

ALLOWABLE USES:

- ACCESSORY USES AND STRUCTURES (CUSTOMARY)
- APPAREL AND FINISH FABRIC PRODUCTS
- BAKERY PRODUCTS
- BEVERAGE PRODUCTS
- BUILDING SUPPLIES
- BULK MAIL AND PACKAGING
- CABINET AND WOODWORKING SHOPS
- COMMUNICATION TOWER UNDER 50' IN HEIGHT
- COMPUTER AND OFFICE EQUIPMENT
- COURIER SERVICE
- DAIRY PRODUCTS
- DISTRIBUTION
- DRUGS AND PHARMACEUTICALS
- EQUIPMENT LEASING AND RENTAL
- FARM PRODUCT WAREHOUSING AND STORAGE
- FARM SUPPLIES AND EQUIPMENT SALES
- FENCE, WALL
- FOOD PREPARATION AND RELATED PRODUCTS, MISCELLANEOUS
- OFFICE SUPPLIES AND EQUIPMENT
- OUTSIDE STORAGE
- PUBLIC WORKS AND PUBLIC UTILITY FACILITIES ESSENTIAL TO THE IMMEDIATE AREA
- RESEARCH, DEVELOPMENT OR TESTING SERVICES
- SIGNS
- SOLAR FARMS
- SMALL WIRELESS FACILITY
- TEMPORARY PORTABLE STORAGE CONTAINERS
- TEMPORARY CONSTRUCTION, STORAGE OR OFFICE
- WAREHOUSE (GENERAL STORAGE, ENCLOSED)
- WAREHOUSE (SELF-STORAGE)
- WHOLESALE TRADE

AL NEYER
4509 CREEDMOOR RD., SUITE 201
RALEIGH, NC 27612
P: 919.816.6227

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S80°43'47"E	119.69'
L2	S84°05'37"E	120.08'
L3	S87°41'03"E	119.99'
L4	S89°50'33"E	119.99'
L5	N89°29'03"E	413.49'
L6	N89°19'05"E	200.00'
L7	N87°39'25"E	105.78'
L8	S09°40'05"E	31.23'
L9	S73°40'10"W	36.02'
L10	S73°40'10"W	30.06'
L11	S77°20'44"E	33.22'
L12	S77°20'44"E	166.92'
L13	N12°37'38"W	185.45'
L14	N12°37'38"W	32.43'
L15	S80°46'40"E	108.48'
L16	S84°05'37"E	121.90'
L17	S87°41'03"E	121.50'
L18	S89°50'33"E	120.73'
L19	N89°29'03"E	413.71'
L20	N89°19'05"E	200.48'
L21	N88°09'58"E	110.20'

Vicinity map:

Map showing the location of a proposed site (shaded area) relative to major roads (US-70, I-40, and West Ten Rd.), existing city limits, and surrounding areas (Mattress Factory Rd., Buckhorn Rd.). The map includes a north arrow and a scale bar.

Key features labeled in the map:

- MATTRESS FACTORY RD.
- EXISTING CITY LIMITS
- US-70
- I-40
- WEST TEN RD.
- EXISTING CITY LIMITS
- BUCKHORN RD.
- SITE

SCALE: 1" = 2,000

Seal:
**PRELIMINARY - DO NOT
USE FOR CONSTRUCTION**

SCALE: 1" = 100'

NORTH

WEST TEN INDUSTRIAL

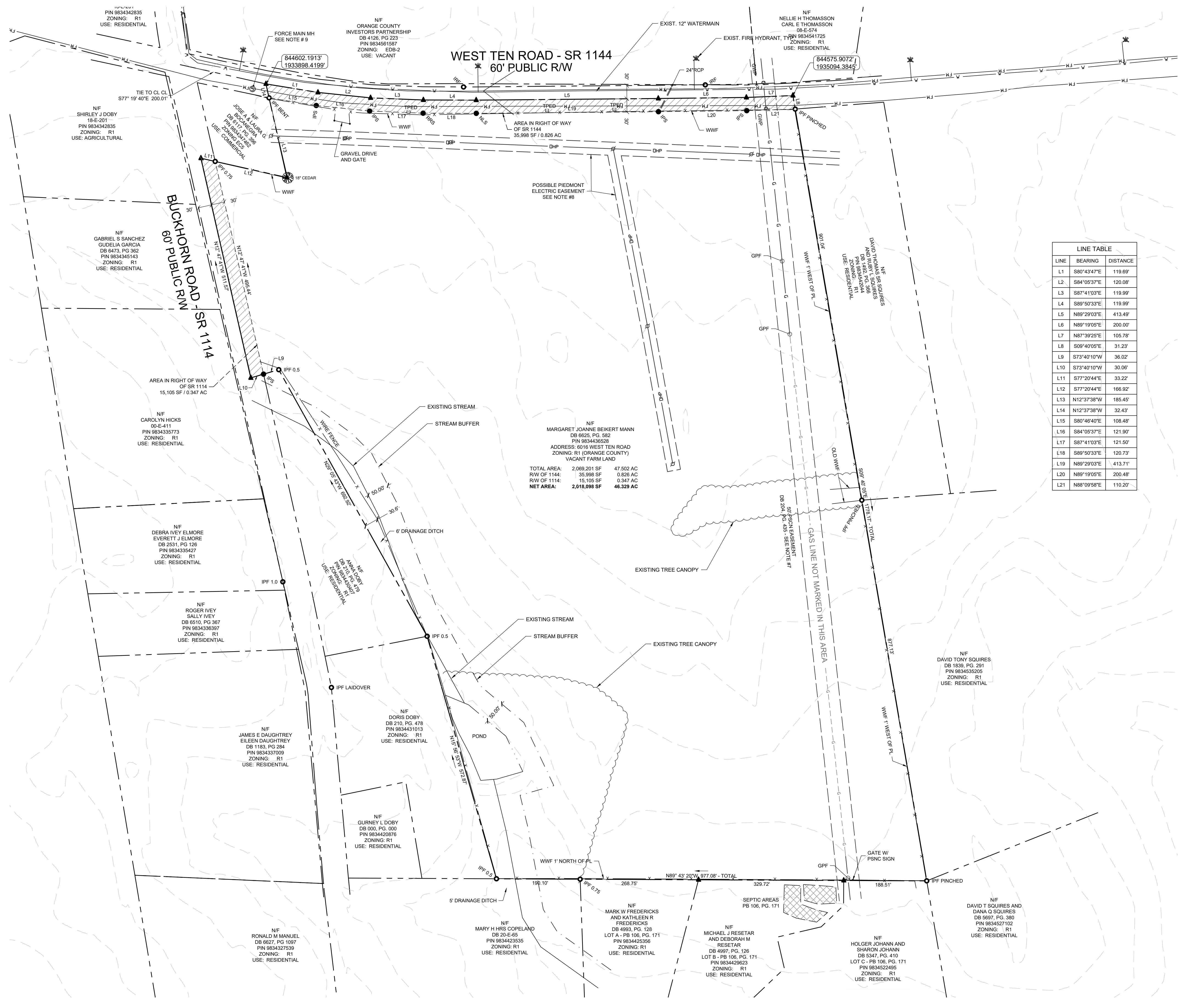
Issued for:

Title: **EXISTING CONDITIONS PLAN**

Project number: C20047 Sheet #:
Issued Date: 11.02.2020
Drawn by: TS C1.00
Approved by: TS

C1.00

L:\Projects\2020\2020\047 - West 10 Industrial\DWGS\Site Plan\C20047-C1.00 Existing Conditions Plan.dwg Jan 04, 2021 - 11:14am



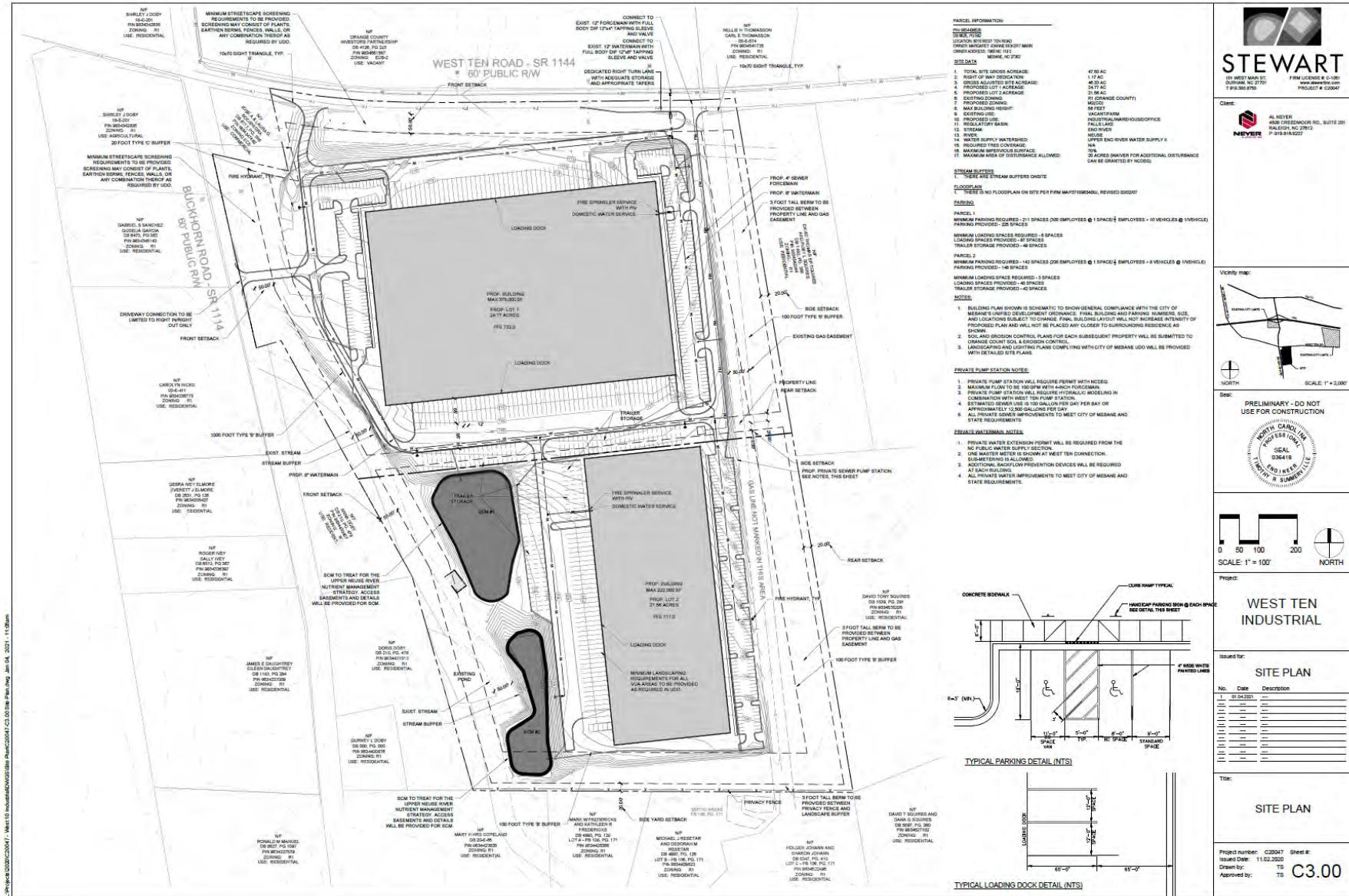


PLANNING PROJECT REPORT

DATE	01/25/21
PROJECT NAME	6016 West Ten Rezoning Request
PROJECT NUMBER	RZ 20-12
APPLICANT	Al Neyer 4509 Creedmor Road Suite 201 Raleigh, NC 27612

CONTENTS

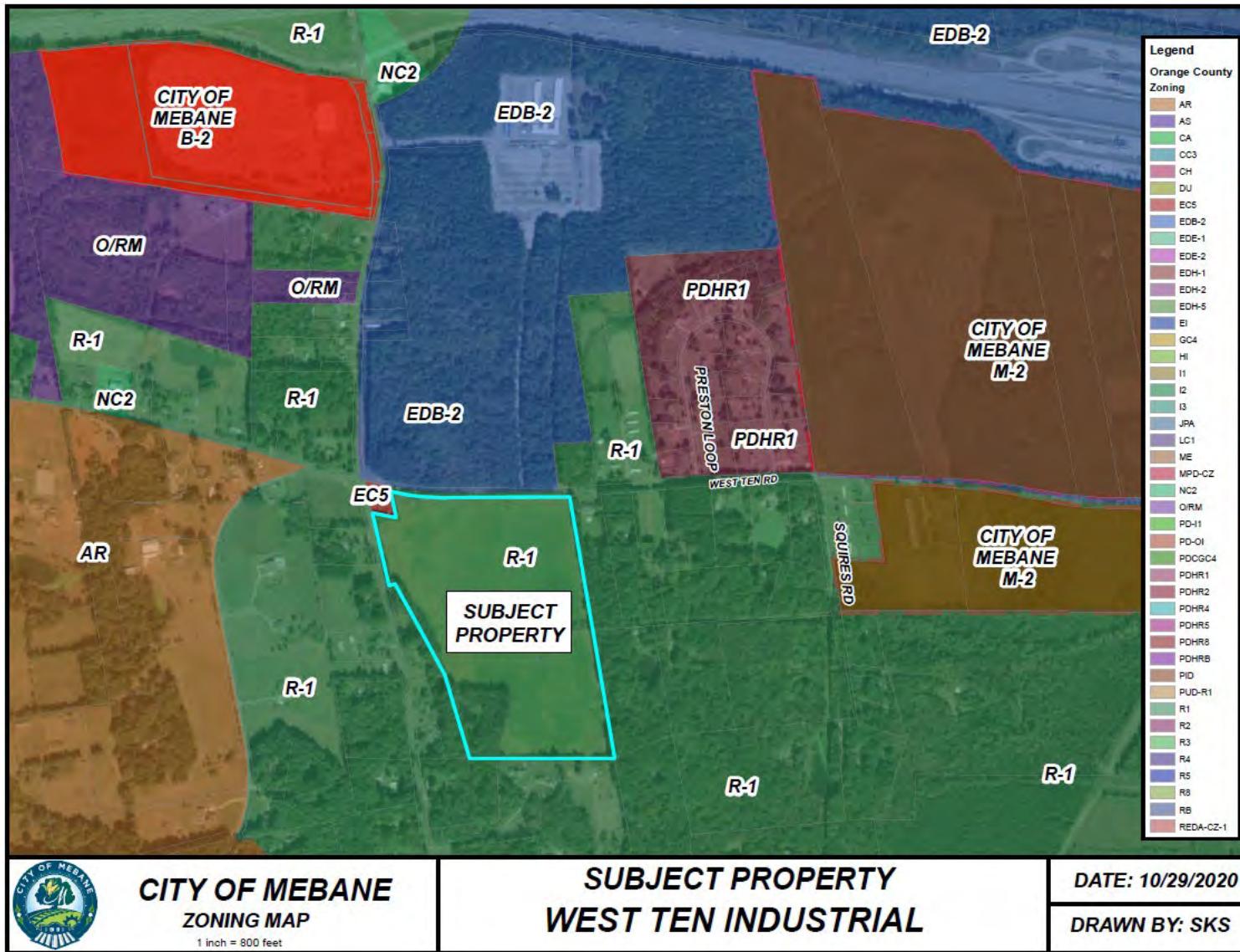
PROJECT NAME & APPLICANT	PAGE 1
ZONING REPORT	PAGE 3
LAND USE REPORT	PAGE 5
UTILITIES REPORT.....	PAGE 7
STAFF ZONING REQUEST RECOMMENDATION	PAGE 8





ZONING REPORT

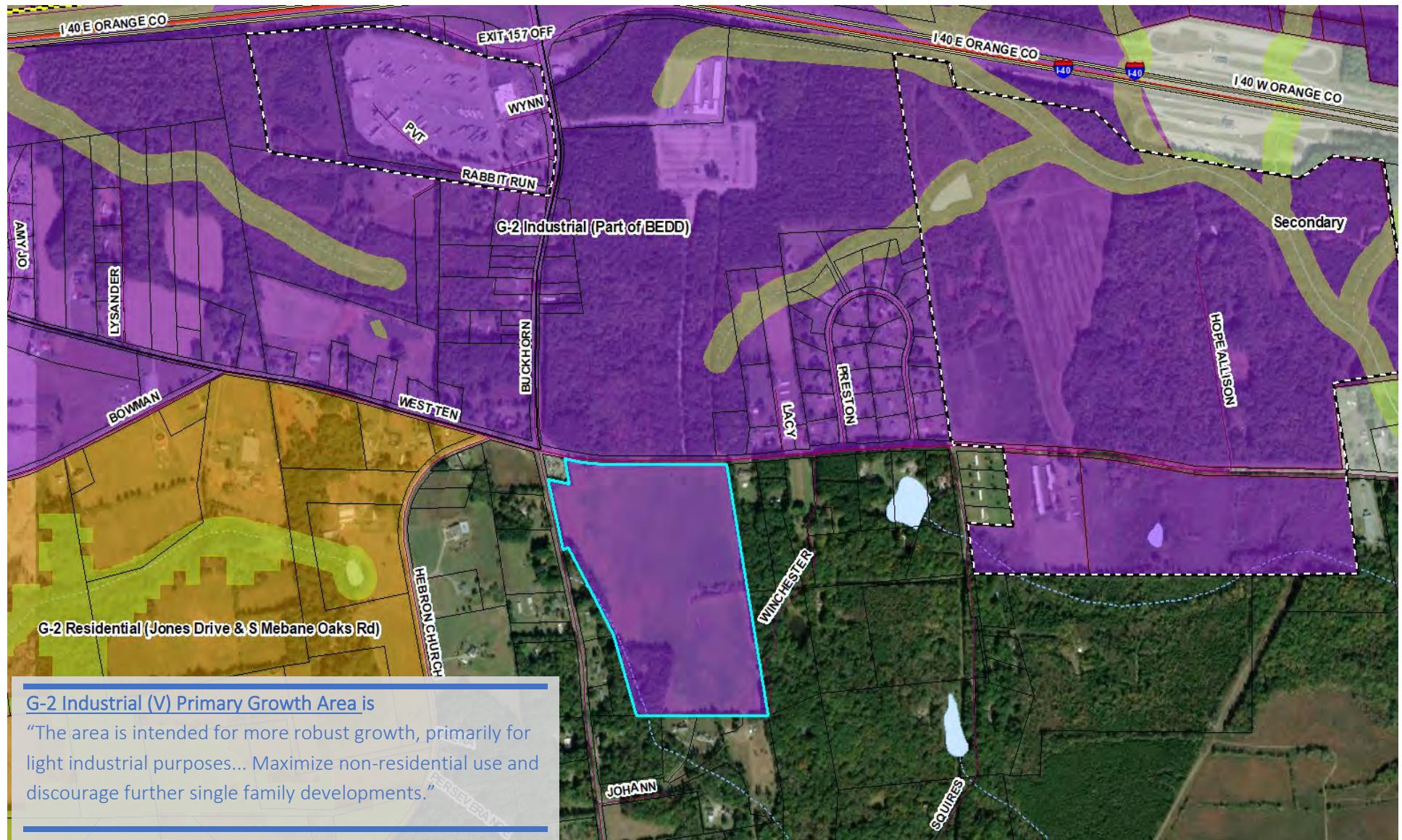
EXISTING ZONE	R-1 (Rural Residential – Orange County zoning)
REQUESTED ACTION	Zoning to M-2(CD)
CONDITIONAL ZONE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
CURRENT LAND USE	Vacant, Agriculture
PARCEL SIZE	+/-46.38 ac, being subdivided into +/-24.77-ac and +/-21.56-ac parcels
PROPERTY OWNERS	Margaret Mann 1965 NC 119 South Mebane, NC 27302 GPIN 9834436528
LEGAL DESCRIPTION	One +/-46.38-ac parcel at 6016 West Ten Road is petitioning the City of Mebane for annexation and rezoning from Orange County's R-1 (Rural Residential) district to the City's M-2(CD) (Light Manufacturing, Conditional) district, with a master plan that shows the highest potential intensity of use on the property, with a condition allowing for layout and design flexibility. The proposed uses will be restricted to those identified on the site plan submittal. The proposed property is actively being subdivided into a +/-24.77-ac and a +/-21.56-ac parcel through a process exempt from local standards, per NC General Statutes.
AREA ZONING & DISTRICTS	All surrounding zoning districts are within Orange County's planning and zoning jurisdiction. The properties to the north are zoned EDB-2 (Economic Development Buckhorn Higher Intensity). The property at the southeastern corner of Buckhorn and West Ten Roads is zoned as EC-5 (Existing Commercial-5). All other surrounding properties are zoned R-1 (Rural Residential). All properties north of West Ten Road are within the Buckhorn Economic Development District (BEDD), intended to "...create a district allowing a wide range of non-residential uses with limited higher density residential uses" (Orange County Unified Development Ordinance, p. 3-43)
SITE HISTORY	Property historically vacant or used for agriculture.
STAFF ANALYSIS	
CITY LIMITS?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO – Requires annexation for City action
PROPOSED USE BY-RIGHT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
SPECIAL USE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
EXISTING UTILITIES?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
POTENTIAL IMPACT OF PROPOSED ZONE	The property is within the G-2 Industrial (V) Primary Growth Area. The potential developer is requesting a M-2(CD) rezoning, consistent with both the City G-2 Industrial (V) primary growth area in <i>Mebane By Design</i> and guidance provided by the City's <i>Buckhorn Area Plan</i> . This will introduce a non-residential use to the surrounding residential properties but they will be buffered with 100' semi-opaque buffers.





LAND USE REPORT

EXISTING LAND USE	Vacant, Agriculture One +/-46.38-ac parcel at 1606 West Ten Road is petitioning the City of Mebane for annexation and rezoning from Orange County's R-1 (Rural Residential) district to the City's M-2(CD) (Light Manufacturing, Conditional) district, with a master plan that shows the highest potential intensity of use on the property, with a condition allowing for layout and design flexibility. The proposed uses will be restricted to those identified on the site plan submittal.
PROPOSED LAND USE & REQUESTED ACTION	
PROPOSED ZONING	M-2(CD)
PARCEL SIZE	+/-46.38, actively being subdivided into +/-24.77-ac and +/-21.56-ac parcels
AREA LAND USE	The property to the immediate north is a forested lot used by the Buckhorn Flea Market as a secondary entrance. The property at the corner of Buckhorn and West Ten Roads is a used car lot and business. All other surrounding properties are large-lot single-family residences on wells and septic systems.
ONSITE AMENITIES & DEDICATIONS	The owner will dedicate open space for stormwater management.
WAIVER REQUESTED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OF REQUESTED WAIVER(S)	
CONSISTENCY WITH <i>MEBANE BY DESIGN</i> STRATEGY	
LAND USE GROWTH STRATEGY DESIGNATION(S)	G-2 Industrial Primary (V) Growth Area "Part of BEDD and North of US-70"
OTHER LAND USE CONSIDERATIONS	Upper Eno River Protected Watershed II – Applicant requesting application of 10/70 Built Upon Area allowance Falls Lake Water Supply Nutrient Strategy
MEBANE BY DESIGN GOALS & OBJECTIVES SUPPORTED	GROWTH MANAGEMENT 1.7 Continue to support industrial development at existing industrial parks near I-40/85. COORDINATION 5.1 Document and share information related to land development that can be utilized across levels of government for better decision making.
MEBANE BY DESIGN GOALS & OBJECTIVES <u>NOT</u> SUPPORTED	





UTILITIES REPORT

AVAILABLE UTILITIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED UTILITY NEEDS	Per the memorandum from Franz Holt of AWCK, the project is estimated to require, 12,500 gallons per day of water and sewer services. The water and sewer utility lines are present at the properties. The applicant proposes to connect to a 12" watermain with a 8" looped line, and to a 12" forcemain with a 4" forcemain for water and sewer service, respectively. A 100 GPM private pump station will also be provided. Any improvements will be made and paid for by a developer.
UTILITIES PROVIDED BY APPLICANT	Applicant has pledged to provide all on-site utilities, as described in AWCK's Technical Memo.
MUNICIPAL CAPACITY TO ABSORB PROJECT	The City has adequate water & sewer supply to meet the domestic and fire flow demands of the project.
CONSISTENCY WITH MEBANE LONG RANGE UTILITY PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
ADEQUATE STORMWATER CONTROL?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
INNOVATIVE STORMWATER MANAGEMENT?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Nutrient management controls complying with the Falls Lake Nutrient Strategy will be required
TRANSPORTATION NETWORK STATUS	
CURRENT CONDITIONS	West Ten Road is a NCDOT major thoroughfare that hosts 1,700 average daily trips. It has a Level Of Service (LOS) C and a Safety Score of 88.9. Buckhorn Road, which has an interchange with Interstate 40/85 approximately 0.5 miles to the north, has a LOS C and a Safety Score of 100 at this location. There have been 11 crashes at the intersection of these two roads since 2015, including one serious, non-fatal crash in 2016, and another on the frontage of Buckhorn Road in 2017.
TRAFFIC IMPACT ANALYSIS REQUIRED?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO A TIA was completed for the applicant by Ramey, Kemp, and Associates. It makes recommendations of full-access driveways to West Ten Road and to provide a potential future driveway off Buckhorn Road. No offsite improvements are recommended.
DESCRIPTION OR RECOMMENDED IMPROVEMENTS	The Mebane UDO requires right-turn lanes for residential subdivisions generating 50+ units, which translates to 500 trips per day. Staff recommends that a similar standard apply to this non-residential site, with a right-turn lane provided at the western driveway on West Ten Road. Furthermore, staff recommends that a future driveway from Buckhorn Road be restricted to non-freight traffic.



CONSISTENCY WITH THE MEBANE

BICYCLE AND PEDESTRIAN

YES NO N/A

TRANSPORTATION PLAN?

MULTIMODAL IMPROVEMENTS

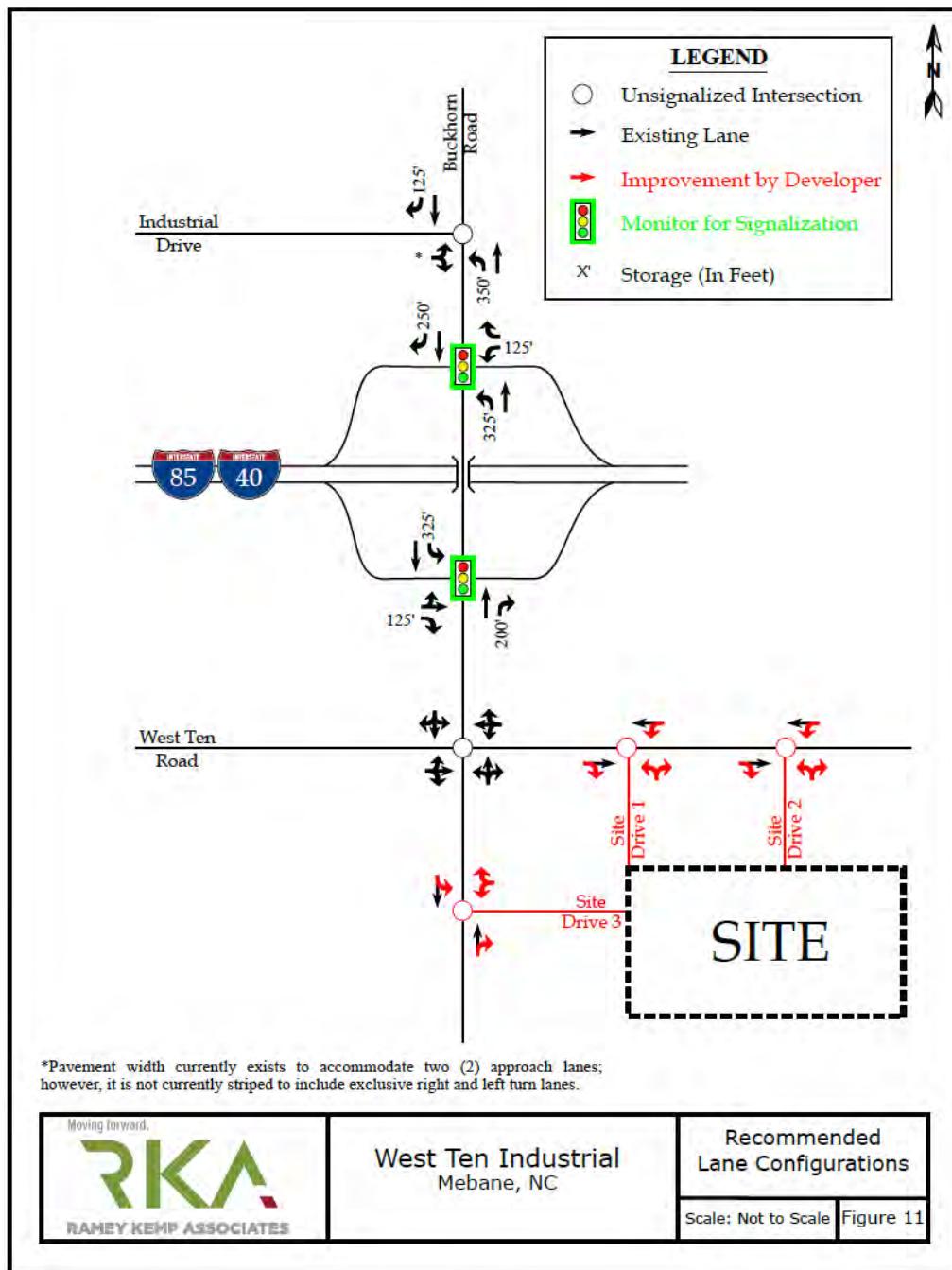
YES NO

PROVIDED BY APPLICANT?

DESCRIPTION OF MULTIMODAL

N/A

IMPROVEMENTS





STAFF RECOMMENDATION

STAFF ZONING RECOMMENDATION	<input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> DISAPPROVE
STAFF SPECIAL USE FINDING	<input type="checkbox"/> CONSISTENT <input type="checkbox"/> NOT CONSISTENT.....WITH <i>MEBANE BY DESIGN</i>
RATIONALE	<p>The proposed development RZ 20-12 is consistent with the guidance provided within <i>Mebane By Design</i>, the Mebane Comprehensive Land Development Plan, as amended. In particular, it is consistent with the description and goals for G-2 (V) Industrial Primary Growth Area for the BEDD and the goals for this area by the City and Orange County.</p> <p><input type="checkbox"/> The application is consistent with the objectives and policies for growth and development contained in the City of Mebane Comprehensive Land Development Plan, <i>Mebane By Design</i>, and, as such, has been recommended for approval.</p> <p><input type="checkbox"/> The application is not fully consistent with the objectives and policies for growth and development of the City of Mebane Comprehensive Land Development Plan, <i>Mebane By Design</i>, but is otherwise in the public interest and has been recommended for approval. The Comprehensive Land Development Plan must be amended to reflect this approval and ensure consistency for the City of Mebane's long-range planning objectives and policies.</p> <p><input type="checkbox"/> The application is not consistent with the objectives and policies for growth and development of the City of Mebane Comprehensive Land Development Plan, <i>Mebane By Design</i>, and, as such, has been recommended for denial.</p>
CONSISTENT WITH <i>MEBANE BY DESIGN</i> , THE MUNICIPAL COMPREHENSIVE LAND DEVELOPMENT PLAN?	



Technical Memorandum

Date: October 30, 2020
To: Ashley Ownbey, City Planner
From: Franz K. Holt, P.E.
Subject: West Ten Industrial Development – City Engineering review

Preliminary Site Plans for the Mebane Oaks Residential Development dated October 20, 2020 and prepared by Tim Summerville, P.E. with Stewart Engineering Durham, NC, have been reviewed by the Engineering Department as a part of the TRC process. Our technical memo comments are as follows:

A. General

The West Ten Industrial development is a 47.5 acre site on West Ten Road near Buckhorn Road and Interchange. It is proposed that the site be subdivided into two lots of similar size with two separate buildings totaling 675,000 square feet max. and being served by common entrances/driveways/private water and sewer systems.

Stormwater management controls will be required to treat and detain the stormwater runoff from the proposed impervious surfaces.

A Traffic Impact Analysis (TIA) will be required to determine the need of off-site roadway improvements.

NCDOT review and approval will be required for utility encroachments, the two proposed roadway connections, and any roadway improvements identified as a part of the TIA.

B. Availability of City Water and Sewer

In regards to the Preliminary Site Plan for the West Ten Industrial development and in accordance with paragraph 7-4.3 A.3.a. in the UDO, this memo is provided to indicate that I have reviewed the preliminary water and sewer system layout and find it acceptable and meets City standards based on the following:

1. Water system – The project is proposed to be served with from an 8-inch connection to the City's existing 12-inch water main in West Ten Road. The new internal water lines are shown as 8-inch looped being served from a master meter connection with backflow prevention. Beyond the master meter the system will be permitted as private (operated and maintained by the owner). The private system will include necessary gate valves, fire hydrants, and service connections to each building (fire and domestic). The estimated water usage is 12,500 GPD



(100 GPD per bay). The City currently has adequate water capacity available to meet the domestic demand and fire flow requirements of this project.

2. Sanitary Sewer system – The project is proposed to be permitted and served with a private sewer collection system with 100 GPM pump station and 4 inch force main connecting to the City's 12-inch force main in West Ten Road. Internal to the project site are proposed 8-inch private sewer lines with appropriate manhole spacing. All private sewer improvements will be operated and maintained by the owner. Each proposed building will have its own sewer service. The estimated sewer use for this project is 12,500 GPD (100 GPD per bay). The City currently has adequate sewer capacity available in downstream sewer facilities to meet this demand (South Regional Sewer Pump Station and Outfall and at the WRRF).

C. Watershed Overlay District and Phase II Stormwater Requirements

1. Watershed Overlay District requirements are provided under Sec. 5.2 of the UDO. This project is within the Upper Eno Water Supply Watershed and the project will be part of this expanded water supply watershed area for the Upper Eno Water Supply Watershed. Falls Lake Nutrient Strategy This project is in the Falls Lake Watershed and will comply with the NC DEQ nutrient rules for new development. The City of Mebane will administer these rules under a verbal agreement with NC DEQ.

The project proposes to construct two privately maintained stormwater management control devices (fenced wet ponds) meeting the City's requirements for treatment including nutrient removal.

2. Phase II Stormwater Post Construction Ordinance Sec. 5.4 in the UDO provides standards for Storm Water Management and 5.4.F requires compliance with the Mebane Post Construction Runoff Ordinance (which is a stand-alone ordinance titled the Phase II Stormwater Post Construction Ordinance (SPCO)). The standards in the UDO are general standards as the Ordinance itself provides detailed standards. The SPCO does apply to this project as it will disturb more than one acre of land and it is estimated that the new built upon will be more than 24% of the site.

The project proposes to construct two privately maintained stormwater management control devices (fenced wet ponds) meeting the City's requirements for stormwater treatment and detention.



D. Storm Drainage System

Sec. 5-4. D. in the UDO provides requirements for storm drainage systems. The preliminary site plans include a preliminary layout of storm drainage swales, piping, and inlets that collect stormwater runoff that is directed to stormwater management control devices where treatment and detention occurs before being discharged off-site.

E. Street Access and TIA

The industrial site proposes to access West Ten Road at two locations requiring NCDOT driveway permits. A TIA will be required for the site which will identify any off-site improvements required with the proposed development.

F. Construction Plan Submittal

Sec. 7-6.7. A. in the UDO indicates that construction plans for all street facilities, including water and sewer facilities, shall be submitted following preliminary plat or site plan approval; therefore, construction plans are not required as a part of the site plan review. A utility plan is provided which generally shows the proposed water lines, sewer lines, and storm drainage and stormwater management devices to indicate that the project is feasible for utility service and providing stormwater management. Appendix E which is included in the UDO is a Construction Document checklist which is to be provided at such time as construction plans are submitted after Preliminary Site Plan approval. Based on city engineering review of the referenced preliminary site plans, it is my opinion that said plans are in substantial compliance with the UDO.



October 30, 2020

Timothy Summerville, PE
Stewart Engineering
101 West Main St.
Durham, NC 27701

Subject: West Ten Industrial – Water and Sewer System

In regards to the subject Preliminary Site Plan and in accordance with paragraph 7-4.3 A.3.a. in the UDO, this letter is provided to indicate that I have reviewed the preliminary water and sewer system layout and find it acceptable and meets City standards based on the following:

1. Water system – The project is proposed to be served with from an 8-inch connection to the City's existing 12-inch water main in West Ten Road. The new internal water lines are shown as 8-inch looped being served from a master meter connection with backflow prevention. Beyond the master meter the system will be permitted as private (operated and maintained by the owner). The private system will include necessary gate valves, fire hydrants, and service connections to each building (fire and domestic). The estimated water usage is 12,500 GPD (100 GPD per bay). The City currently has adequate water capacity available to meet the domestic demand and fire flow requirements of this project.
2. Sanitary Sewer system – The project is proposed to be permitted and served with a private sewer collection system with 100 GPM pump station and 4 inch force main connecting to the City's 12-inch force main in West Ten Road. Internal to the project site are proposed 8-inch private sewer lines with appropriate manhole spacing. All private sewer improvements will be operated and maintained by the owner. Each proposed building will have its own sewer service. The estimated sewer use for this project is 12,500 GPD (100 GPD per bay). The City currently has adequate sewer capacity available at the downstream sewer facilities (Southeast Regional Pump Station and Outfall and at the WRRF to meet this demand).

If there are any questions, please let me know.

Sincerely,

A handwritten signature in black ink that reads "Franz K. Holt".

Franz K. Holt, P.E. City Engineer

CC: Ashley Ownbey, Planner
Cy Stober, Development Director
Kyle Smith, Utilities Director

PLANNING & INSPECTIONS DEPARTMENT
Craig N. Benedict, AICP, Director

Comprehensive Planning
(919) 245-2575
(919) 644-3002 (FAX)
www.orangecountync.gov



131 W. Margaret Lane
Suite 201
P. O. Box 8181
Hillsborough, NC 27278

MEMORANDUM

TO: Craig Benedict, Orange County Planning Director
FROM: Tom Ten Eyck, Transportation/Land Use Planner
CC: Tom Altieri, Comprehensive Planning Supervisor
DATE: Travis Myren, Deputy County Manager
October 9, 2020
SUBJECT: West Ten Industrial Development Proposal, Including Annexation, in Mebane, NC

Below is a brief summary and comments on the proposed West Ten Industrial development that is on the October 13, 2020 Mebane TRC meeting agenda. Some of the pertinent information from the preliminary plans is described below:

- West Ten Industrial is a development proposal comprised of one parcel (totaling 46.38 acres) in Orange County at the southeast corner of Buckhorn Road and West Ten Road (See Attached Location Map).
- The proposal indicates that Mebane would annex the development and convert zoning to Mebane's M-2 (CD) Light Manufacturing Conditional Zoning District
- The front and side setbacks facing the roadways are 50 feet at each of the roadways, but the side setbacks (to the adjacent parcels to the east and southwest of the parcel) and rear setback are 20 feet from adjacent properties.
- The parcel is currently in Orange County's planning jurisdiction, it is zoned Rural Residential (R1), and the land use classification is Rural Residential on the County's Future Land Use Map.

The North Carolina General Statutes (160A-58.1) provide municipalities with considerable power to annex properties upon receipt of property owner petition. This process is commonly referred to as voluntary annexation. State law, as of 2012, also makes it very difficult for municipalities to pursue involuntary annexation, which requires a referendum and a majority vote. Only registered voters of the proposed annexation area are allowed to vote on the referendum. It's also noteworthy that there's nothing in the County's Utility Service Agreement with Mebane that limits its ability to annex. The Agreement states that nothing contained therein, "shall be construed to limit or to expand any such regulatory or planning jurisdiction or to limit the power of the City to annex into its corporate limits properties within the service area."

Monies were made available in the FY 2019-2020 Orange County budget to coordinate with the City of Mebane and work together with a consultant to further analyze areas within Orange County, adjacent to and near Mebane, and develop recommendations for a growth strategy. In January, 2020, Orange County and Mebane began the search for a consultant to complete a land use study of the area. The Piedmont Triad Regional Council (PTRC) was selected as the consultant, and beginning on February 6, 2020, Orange County, Mebane and

PTRC have met monthly to discuss the geographic area of the study, the parcel suitability criteria and mechanisms for feedback on the analysis. Public input of the study area was tabled due to stay-at-home orders from COVID-19; as such, the public outreach is scheduled to take place in the late fall of 2020.

The intent of the Buckhorn Area Plan is to assess potential non-residential uses in the area of Orange County in which Mebane has grown and, ultimately, to inform the future land use for non-residential economic development in western Orange County. The parcel of the West Ten Industrial project is located within the study area; it is important to note, however, that the parcel is not currently reflected in the current (2012) City of Mebane Utility Service Agreement with Orange County or on the Orange County Future Land Use Map (FLUM) for light industrial development. As there is a discrepancy between what is already 'on the books' and what is intended to be updated in the not-too-distant future, it is advised that action should be taken on the study before this parcel can be recognized by Orange County as appropriate for light industrial development or economic development that is not rural in nature. As a function of this consideration, buffers of 100 feet should be considered to protect the rural surroundings from this industrial development, especially since there are residences adjacent to the subject parcel to the east, southwest and south of the project parcel.

An additional consideration should be the nature of the roadway in an area that transitions from rural to industrial very quickly. According to the Efland-Buckhorn-Mebane Access Management Plan, which was adopted by the Orange County BOCC on April 2, 2019, the future roadway cross section for West Ten Road (east of Ben Wilson Road) is a two-way road with a two-way left turn based on NCDOT cross section 3A (5-foot wide paved shoulder) or 3C (curb and gutter, bike lanes and sidewalks). Similarly, the future roadway cross section for Buckhorn Road in this area is a four-lane divided roadway and raised median based on NCDOT cross section 4F (curb and gutter, wide outside lanes and sidewalks) or 4G (curb and gutter, bike lane and sidewalks). Currently, both Buckhorn Road and West Ten Road are two-lane roads with a narrow shoulder, which is typical of rural roadways.

While you are in receipt of the materials provided by Mebane, if you have any questions regarding the information contained herein or require additional information, please let Tom Ten Eyck or Tom Altieri know.

Attachment – Location map of proposed parcels in West Ten Industrial Development Proposal

RAMEY KEMP ASSOCIATES

Moving forward.



**West Ten Industrial
Traffic Impact Analysis
Mebane, North Carolina**



rameykemp.com

Transportation
Consulting
that moves us
forward.

TRAFFIC IMPACT ANALYSIS

FOR

WEST TEN INDUSTRIAL

LOCATED

IN

Mebane, North Carolina

Prepared For:
Neyer
4509 Creedmoor Rd., Suite 201
Raleigh, NC 27612

Prepared By:
Ramey Kemp & Associates, Inc.
5808 Faringdon Place, Suite 100
Raleigh, NC 27609
License #C-0910



12/1/2020

December 2020

RKA Project No. 20427

Prepared By: MLS

Reviewed By: JTR

**TRAFFIC IMPACT ANALYSIS
WEST TEN INDUSTRIAL
MEBANE, NORTH CAROLINA**

EXECUTIVE SUMMARY

1. Development Overview

A Traffic Impact Analysis (TIA) was conducted for the proposed West Ten Industrial development in accordance with the Mebane (City) Unified Development Ordinance (UDO) and North Carolina Department of Transportation (NCDOT) capacity analysis guidelines. The proposed development is to be located in the southeast quadrant at the intersection of West Ten Road and Buckhorn Road in Mebane, North Carolina. The proposed development is expected to consist of a 675,000 sq. ft. warehouse and is expected to be built-out in 2023. Site access will be provided via two (2) full movement access points along West Ten Road and one (1) potential future full movement access point along Buckhorn Road.

2. Existing Traffic Conditions

The study area for the TIA was determined through coordination with the City and NCDOT and consists of the following existing intersections:

- Buckhorn Road and West Ten Road
- Buckhorn Road and I-40/I-85 Eastbound Ramps
- Buckhorn Road and I-40/I-85 Westbound Ramps
- Buckhorn Road and Industrial Drive

Typical weekday AM (7:00 – 9:00 AM) and PM (4:00 – 6:00 PM) peak hour turning movements counts were collected at the intersection of Buckhorn Road and West Ten Road in September of 2016, while local schools were in session, and were provided by the NCDOT. Counts at the remaining intersections were collected in September of 2019 by RKA during typical weekday AM and PM peak hours, while schools were in session. All count data was grown to 2020 utilizing a 2% annually compounded growth rate. Traffic volumes were balanced along Buckhorn Road between Industrial Drive and the I-40/I-85 ramps due to limited development between intersections. Imbalances between the I-40/I-85 ramps and West Ten Road along Buckhorn Road

were determined to be reasonable based on the existing Petro Shopping Center and gas stations. All count data was collected while schools were in session, and captured trips to/from Gravelly Hill Middle School. The school consists of 460 students in grades 6-8 with a current bell schedule of 8:30 AM to 3:35 PM. The weekday AM (7:00 – 9:00 AM) peak hour would capture the AM school trips. The weekday PM peak hour (occurring from 5:15 – 6:15pm based on count data) had significantly higher volumes at the intersection of West Ten Road and Buckhorn Road than the school PM peak period (2:00 – 4:00 PM based on the current bell schedule), so it is expected that the weekday PM (4:00 – 6:00 PM) peak hour would be more conservative for analysis purposes even though it is after the school lets out (3:35 PM).

3. Site Trip Generation

Average weekday daily, AM peak hour, and PM peak hour trips for the proposed development were estimated using methodology contained within the ITE Trip Generation Manual, 10th Edition. Table E-1 provides a summary of the trip generation potential for the site.

Table E-1: Site Trip Generation

LAND USE (ITE Code)	INTENSITY	DAILY TRIPS (VPD)	WEEKDAY AM PEAK HOUR (VPH)		WEEKDAY PM PEAK HOUR (VPH)	
			Enter	Exit	Enter	Exit
Warehousing (150)	675,000 sq. ft.	1,120	82	24	29	80

4. Future Traffic Conditions

Through coordination with the City and NCDOT, an annual growth rate of 2% was used to generate projected (2023) weekday AM and PM peak hour traffic volumes. Project Titanium and Medline were considered as adjacent developments under future conditions:

5. Capacity Analysis Summary

The analysis considered weekday AM and PM peak hour traffic for existing (2020), no-build (2023), and build (2023) conditions. Refer to Section 7 of the report for the capacity analysis summary performed at each study intersection.

6. Recommendations

Based on the findings of this study, specific geometric and traffic control improvements have been identified at study intersections. The improvements are summarized below and are illustrated in Figure E-1.

Recommended Improvements

Buckhorn Road and I-40/I-85 Eastbound Ramps

- Monitor intersection for signalization, and install traffic signal once warranted and approved by NCDOT and the City. *Based on anticipated no-build (2023) operations, this improvement should be considered regardless of if the proposed development is built.*

Buckhorn Road and I-40/I-85 Westbound Ramps

- Monitor intersection for signalization, and install traffic signal once warranted and approved by NCDOT and the City.

West Ten Road and Site Drive 1

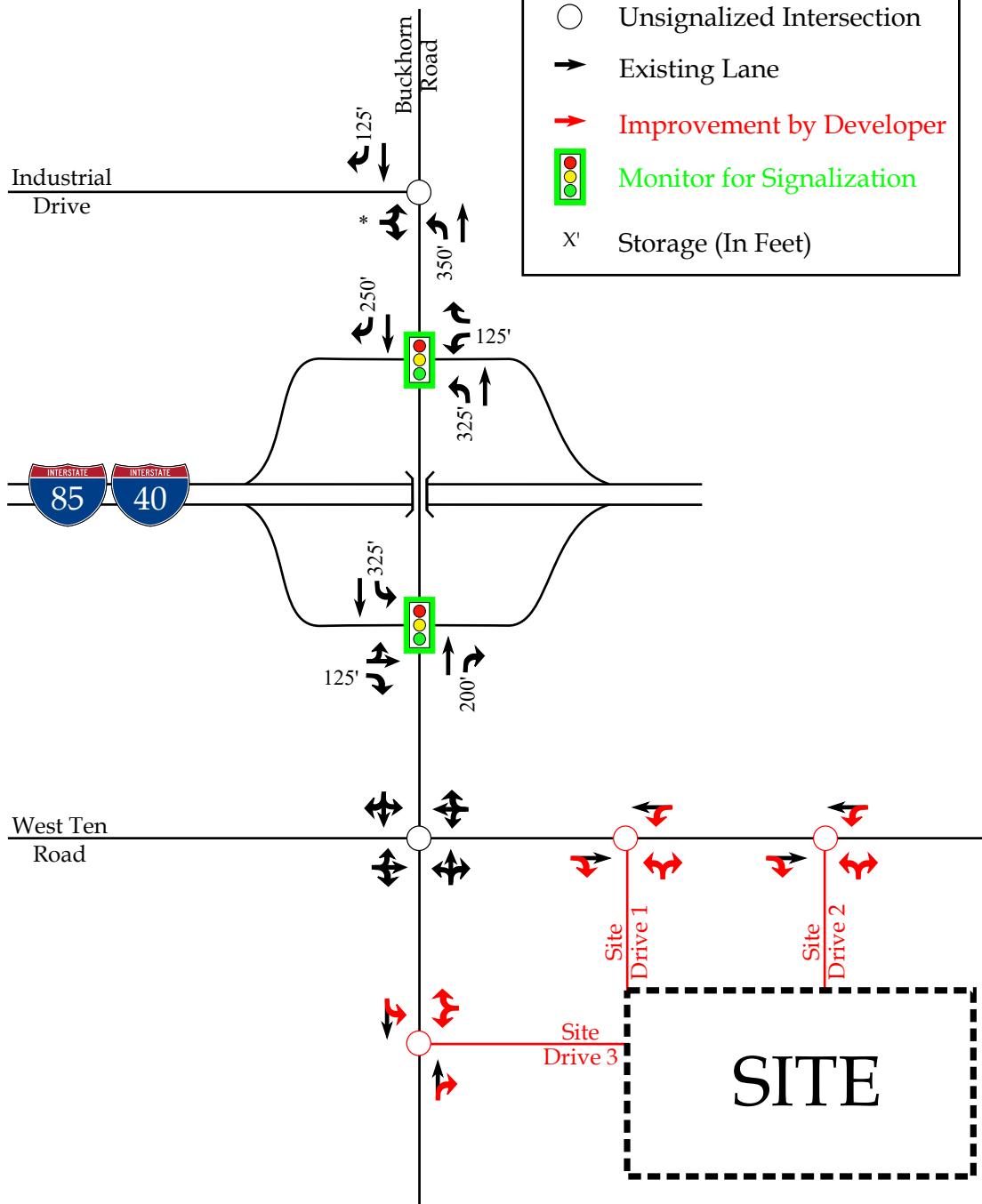
- Construct the northbound approach with one (1) ingress lane and one (1) egress lane.
- Provide stop control for the northbound approach.

West Ten Road and Site Drive 2

- Construct the northbound approach with one (1) ingress lane and one (1) egress lane.
- Provide stop control for the northbound approach.

Buckhorn Road and Site Drive 3

- Construct the westbound approach with one (1) ingress lane and one (1) egress lane.
- Provide stop control for the westbound approach.



*Pavement width currently exists to accommodate two (2) approach lanes; however, it is not currently striped to include exclusive right and left turn lanes.

Moving forward.



West Ten Industrial
Mebane, NC

Recommended
Lane Configurations

Scale: Not to Scale | Figure E-1

TABLE OF CONTENTS

1. INTRODUCTION.....	1
1.1. Site Location and Study Area	1
1.2. Proposed Land Use and Site Access	2
1.3. Adjacent Land Uses.....	2
1.4. Existing Roadways.....	2
2. EXISTING (2020) PEAK HOUR CONDITIONS.....	7
2.1. Existing (2020) Peak Hour Traffic	7
2.2. Analysis of Existing (2020) Peak Hour Traffic.....	8
3. NO-BUILD (2023) PEAK HOUR CONDITIONS.....	10
3.1. Ambient Traffic Growth	10
3.2. Adjacent Development Traffic.....	10
3.3. Future Roadway Improvements	11
3.4. No-Build (2023) Peak Hour Traffic Volumes.....	11
3.5. Analysis of No-Build (2023) Peak Hour Traffic Conditions	11
4. SITE TRIP GENERATION AND DISTRIBUTION	15
4.1. Trip Generation.....	15
4.2. Site Trip Distribution and Assignment	15
5. BUILD (2023) TRAFFIC CONDITIONS	19
5.1. Build (2023) Peak Hour Traffic Volumes	19
5.2. Analysis of Build (2023) Peak Hour Traffic	19
6. TRAFFIC ANALYSIS PROCEDURE.....	21
6.1. Adjustments to Analysis Guidelines	21
7. CAPACITY ANALYSIS	22
7.1. Buckhorn Road and West Ten Road.....	22
7.2. Buckhorn Road and I-40/I-85 Eastbound Ramps.....	23
7.3. Buckhorn Road and I-40/I-85 Westbound Ramps	25
7.4. Buckhorn Road and Industrial Drive	27
7.5. West Ten Road and Site Drive 1	29
7.6. West Ten Road and Site Drive 2.....	30
7.7. Buckhorn Road and Site Drive 3	31

8. CONCLUSIONS.....	32
9. RECOMMENDATIONS.....	35

LIST OF FIGURES

Figure 1 – Site Location Map.....	4
Figure 2 – Preliminary Site Plan	5
Figure 3 – Existing Lane Configurations.....	6
Figure 4 – Existing (2020) Peak Hour Traffic	9
Figure 5 – Projected (2023) Peak Hour Traffic.....	12
Figure 6 – Adjacent Development Trips.....	13
Figure 7 – No-Build (2023) Peak Hour Traffic.....	14
Figure 8 – Site Trip Distribution.....	17
Figure 9 – Site Trip Assignment	18
Figure 10 – Build (2023) Peak Hour Traffic.....	20
Figure 11 – Recommended Lane Configurations.....	36

LIST OF TABLES

Table 1: Existing Roadway Inventory.....	3
Table 2: Adjacent Development Information	11
Table 3: Trip Generation Summary.....	15
Table 4: Highway Capacity Manual – Levels-of-Service and Delay	21
Table 5: Analysis Summary of Buckhorn Road and West Ten Road	22
Table 6: Analysis Summary of Buckhorn Road and I-40/I-85 Eastbound Ramps	23
Table 7: Analysis Summary of Buckhorn Road and I-40/I-85 Westbound Ramps	25
Table 8: Analysis Summary of Buckhorn Road and Industrial Drive.....	27
Table 9: Analysis Summary of West Ten Road and Site Drive 1	29
Table 10: Analysis Summary of West Ten Road and Site Drive 2	30
Table 11: Analysis Summary of Buckhorn Road and Site Drive 3	31

TECHNICAL APPENDIX

- Appendix A: Scoping Documentation
- Appendix B: Traffic Counts
- Appendix C: Adjacent Development Information
- Appendix D: Capacity Calculations - Buckhorn Road and West Ten Road
- Appendix E: Capacity Calculations - Buckhorn Road and I-40/I-85 Eastbound Ramps
- Appendix F: Capacity Calculations - Buckhorn Road and I-40/I-85 Westbound Ramps
- Appendix G: Capacity Calculations - Buckhorn Road and Industrial Drive
- Appendix H: Capacity Calculations - West Ten Road and Site Drive 1
- Appendix I: Capacity Calculations - West Ten Road and Site Drive 2
- Appendix J: Capacity Calculations - Buckhorn Road and Site Drive 3

**TRAFFIC IMPACT ANALYSIS
WEST TEN INDUSTRIAL
MEBANE, NORTH CAROLINA**

1. INTRODUCTION

The contents of this report present the findings of the Traffic Impact Analysis (TIA) conducted for the proposed West Ten Industrial development to be located in the southeast quadrant at the intersection of West Ten Road and Buckhorn Road in Mebane, North Carolina. The purpose of this study is to determine the potential impacts to the surrounding transportation system created by traffic generated by the proposed development, as well as recommend improvements to mitigate the impacts.

The proposed development is expected to consist of a 675,000 sq. ft. warehouse and is expected to be built-out in 2023. It should be noted that the proposed development is anticipated to be below North Carolina Department of Transportation (NCDOT) threshold to require a TIA; however, a courtesy copy of the TIA will be provided to the NCDOT.

The study analyzes traffic conditions during the weekday AM and PM peak hours for the following scenarios:

- Existing (2020) Traffic Conditions
- No-Build (2023) Traffic Conditions
- Build (2023) Traffic Conditions

1.1. Site Location and Study Area

The development is proposed to be located in the southeast quadrant at the intersection of West Ten Road and Buckhorn Road in Mebane, North Carolina. Refer to Figure 1 for the site location map.

The study area for the TIA was determined through coordination with the NCDOT and the City of Mebane (City) and consists of the following existing intersections:

- Buckhorn Road and West Ten Road

- Buckhorn Road and I-40/I-85 Eastbound Ramps
- Buckhorn Road and I-40/I-85 Westbound Ramps
- Buckhorn Road and Industrial Drive

Refer to Appendix A for the approved scoping documentation.

1.2. Proposed Land Use and Site Access

The site is expected to be located in the southeast quadrant at the intersection of West Ten Road and Buckhorn Road. The proposed development, anticipated to be completed in 2023, is assumed to consist of a 675,000 sq. ft. warehouse.

Site access will be provided via two (2) full movement access points along West Ten Road and one (1) potential future full movement access point along Buckhorn Road. Refer to Figure 2 for a copy of the preliminary site plan.

1.3. Adjacent Land Uses

The proposed development is located in an area consisting primarily of farms, undeveloped land, and residential development. Along Buckhorn Road approximately 0.50 mile to the north of the proposed site are two (2) gas stations. Along West Ten Road approximately 1.25 miles to the east of the proposed site is Gravelly Hill Middle School. The school consists of 460 students in grades 6-8 with a current bell schedule of 8:30 AM to 3:35 PM. Refer to Section 2 of the report for more information on Gravelly Hill Middle School and how the school contributes to existing (2020) peak hour conditions.

1.4. Existing Roadways

Existing lane configurations (number of traffic lanes on each intersection approach), lane widths, speed limits, and other intersection and roadway information within the study area are shown in Figure 3. Table 1, on the following page, provides a summary of this information, as well.

Table 1: Existing Roadway Inventory

Road Name	Route Number	Typical Cross Section	Speed Limit	Maintained By	2019 AADT (vpd)
I-40/I-85	I-40/I-85	8-lane divided	65 mph	NCDOT	111,000
Buckhorn Road	SR 1114	2-lane undivided	35 mph / 45 mph	NCDOT	2,100*
West Ten Road	SR 1146	2-lane undivided	55 mph	NCDOT	2,300
Industrial Drive	SR 1374	2-lane undivided	45 mph	NCDOT	1,600**

*ADT from 2017

**ADT based on the traffic counts from 2019 grown to 2020 and assuming the weekday PM peak hour volume is 10% of the average daily traffic.



LEGEND

- Proposed Site Location
- Study Intersection
- Study Area

Moving forward.



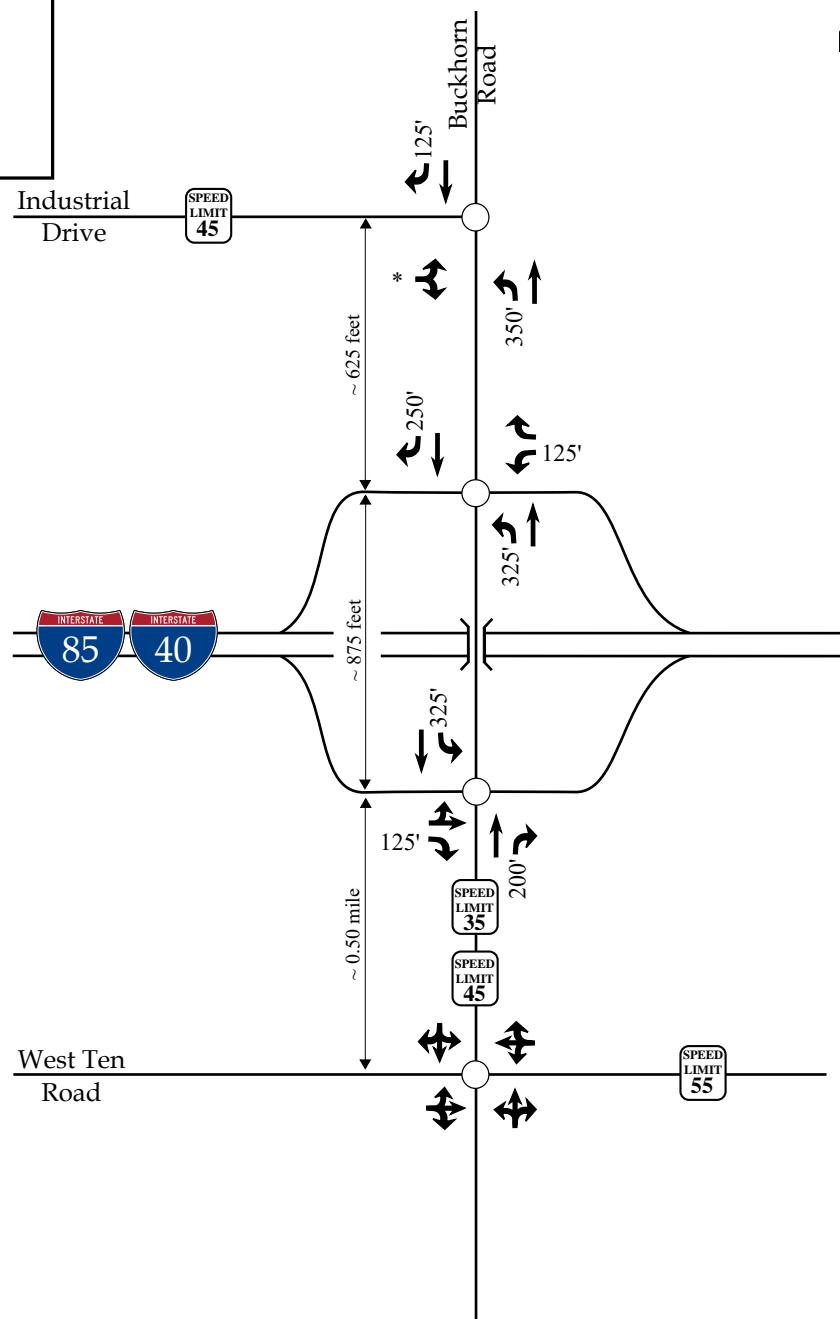
West Ten Industrial
Mebane, NC

Site Location Map

Scale: Not to Scale | Figure 1

LEGEND

- Unsignalized Intersection
- Existing Lane
- X' Storage (In Feet)
-  Posted Speed Limit



Moving forward.	West Ten Industrial Mebane, NC	Existing Lane Configurations
 RAMEY KEMP ASSOCIATES		Scale: Not to Scale Figure 3

2. EXISTING (2020) PEAK HOUR CONDITIONS

2.1. Existing (2020) Peak Hour Traffic

Typical weekday AM (7:00 – 9:00 AM) and PM (4:00 – 6:00 PM) peak hour turning movements counts were collected at the intersection of Buckhorn Road and West Ten Road in September of 2016, while local schools were in session, and were provided by the NCDOT. Counts at the following intersections were collected in September of 2019 by RKA during typical weekday AM and PM peak hours, while schools were in session:

- Buckhorn Road and I-40/I-85 Eastbound Ramps
- Buckhorn Road and I-40/I-85 Westbound Ramps
- Buckhorn Road and Industrial Drive

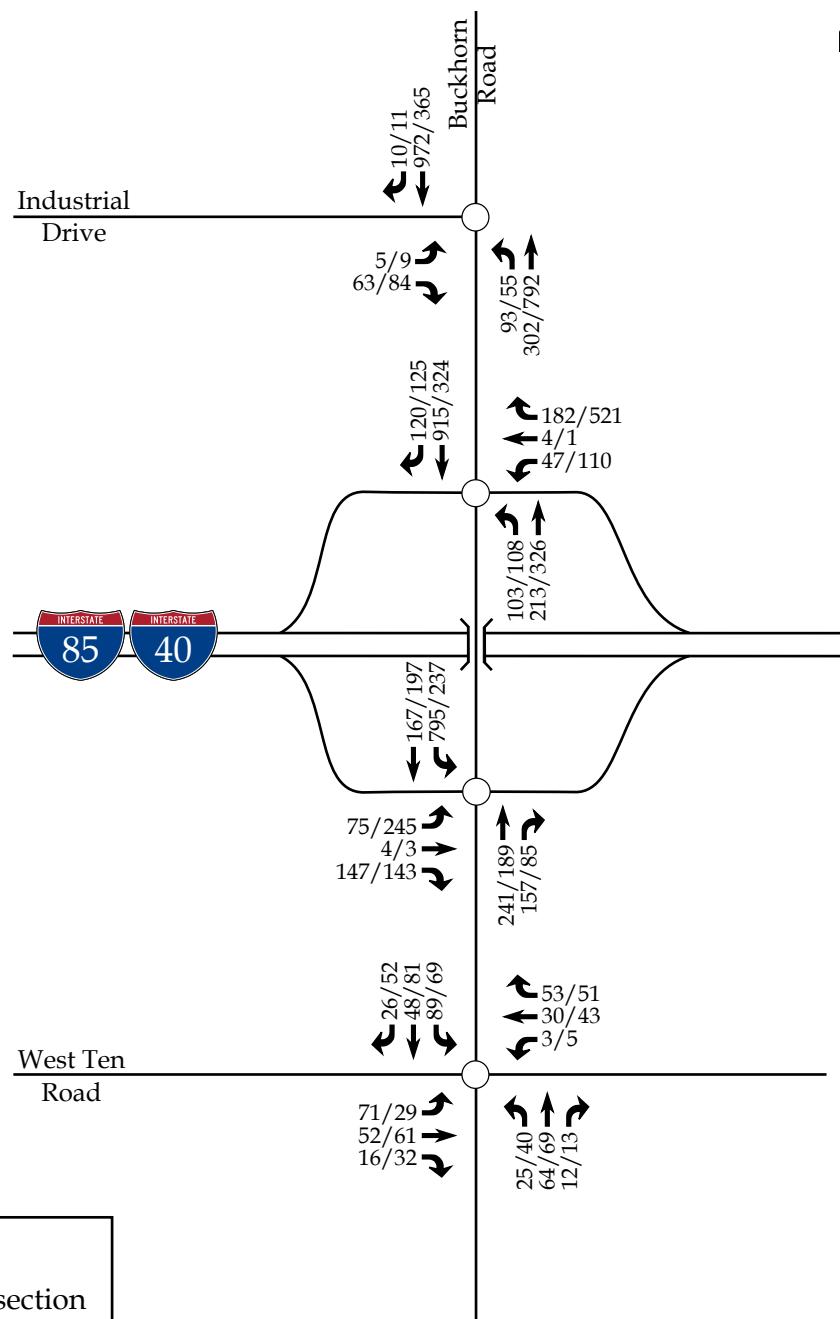
All count data was grown to 2020 utilizing a 2% annually compounded growth rate based on historical data within the vicinity of the site and based on recent TIAs for other developments in the area. Traffic volumes were balanced along Buckhorn Road between Industrial Drive and the I-40/I-85 ramps due to limited development between intersections. Imbalances between the I-40/I-85 ramps and West Ten Road along Buckhorn Road were determined to be reasonable based on the existing Petro Shopping Center and gas stations; therefore, volumes were not balanced along this segment of Buckhorn Road.

It should be noted that all count data was collected while schools were in session, and captured trips to/from Gravelly Hill Middle School. The school consists of 460 students in grades 6-8 with a current bell schedule of 8:30 AM to 3:35 PM. The weekday AM (7:00 – 9:00 AM) peak hour would capture the AM school trips. The weekday PM peak hour (occurring from 5:15 – 6:15pm based on count data) had significantly higher volumes at the intersection of West Ten Road and Buckhorn Road than the school PM peak period (2:00 – 4:00 PM based on the current bell schedule), so it is expected that the weekday PM (4:00 – 6:00 PM) peak hour would be more conservative for analysis purposes even though it is after the school lets out (3:35 PM). There may also be afterschool care or extracurriculars at the middle school that would contribute to the weekday PM peak hour and the proposed industrial site would be expected to generate more trips during the weekday PM peak hour than the school PM peak

hour. Refer to Figure 4 for existing (2020) weekday AM and PM peak hour traffic volumes. A copy of the count data is located in Appendix B of this report.

2.2. Analysis of Existing (2020) Peak Hour Traffic

The existing (2020) weekday AM and PM peak hour traffic volumes were analyzed to determine the current levels of service at the study intersections under existing roadway conditions. Signal information was obtained from NCDOT and is included in Appendix C. The results of the analysis are presented in Section 7 of this report.



LEGEND

- Unsignalized Intersection
- ↔ Weekday AM / PM Peak Hour Traffic

Moving forward.



West Ten Industrial
Mebane, NC

Existing (2020)
Peak Hour Traffic

Scale: Not to Scale

Figure 4

3. NO-BUILD (2023) PEAK HOUR CONDITIONS

In order to account for growth of traffic and subsequent traffic conditions at a future year, no-build traffic projections are needed. No-build traffic is the component of traffic due to the growth of the community and surrounding area that is anticipated to occur regardless of whether or not the proposed development is constructed. No-build traffic is comprised of existing traffic growth within the study area and additional traffic created as a result of adjacent approved developments.

3.1. Ambient Traffic Growth

Through coordination with the City and NCDOT, it was determined that an annual growth rate of 2% would be used to generate projected (2023) weekday AM and PM peak hour traffic volumes. Refer to Figure 5 for projected (2023) peak hour traffic.

3.2. Adjacent Development Traffic

Through coordination with the City and NCDOT, the following adjacent developments were identified to be included as an approved adjacent development in this study:

- Project Titanium
- Medline

Table 2 on the following page provides a summary of the adjacent developments. Additional adjacent development information can be found in Appendix D.

Table 2: Adjacent Development Information

Development Name	Location	Build-Out Year	Land Use / Intensity	TIA Performed
Project Titanium	West of Buckhorn Road along Industrial Drive	2021	203,400 sq. ft. manufacturing expansion onto the existing 345,225 sq. ft. industrial site	October 2019 by RKA
Medline	5511 West Ten Road	N/A <i>Expected prior to the build-out of the proposed development</i>	1,200,000 sq. ft. warehousing	N/A <i>Trips generated and applied to roadway network*</i>

*Refer to Appendix C for the approved Medline trip generation, distribution, and assignment.

The adjacent developments were approved, during scoping, by the City and NCDOT. Adjacent development trips are shown in Figure 6. Adjacent development information can be found in Appendix C.

3.3. Future Roadway Improvements

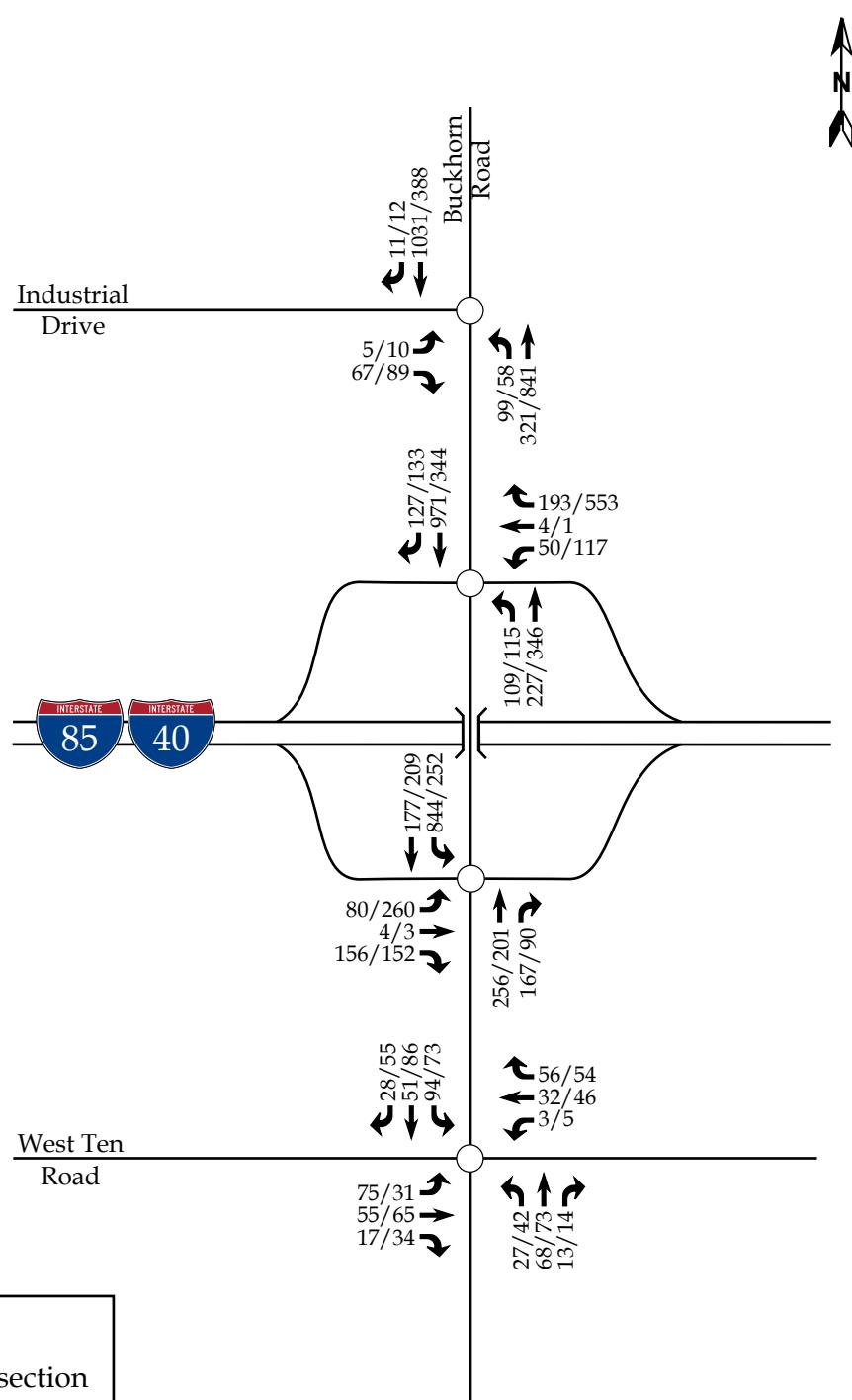
Based on coordination with the NCDOT and the City, it was determined there were no future roadway improvements to consider with this study.

3.4. No-Build (2023) Peak Hour Traffic Volumes

The no-build (2023) traffic volumes were determined by projecting the existing (2020) peak hour traffic to the year 2023, and adding the adjacent development trips. Refer to Figure 7 for an illustration of the no-build (2023) peak hour traffic volumes at the study intersections.

3.5. Analysis of No-Build (2023) Peak Hour Traffic Conditions

The no-build (2023) AM and PM peak hour traffic volumes at the study intersections were analyzed with future geometric roadway conditions and traffic control. The analysis results are presented in Section 7 of this report.



LEGEND

- Unsignalized Intersection
- Weekday AM / PM Peak Hour Traffic

Moving forward.

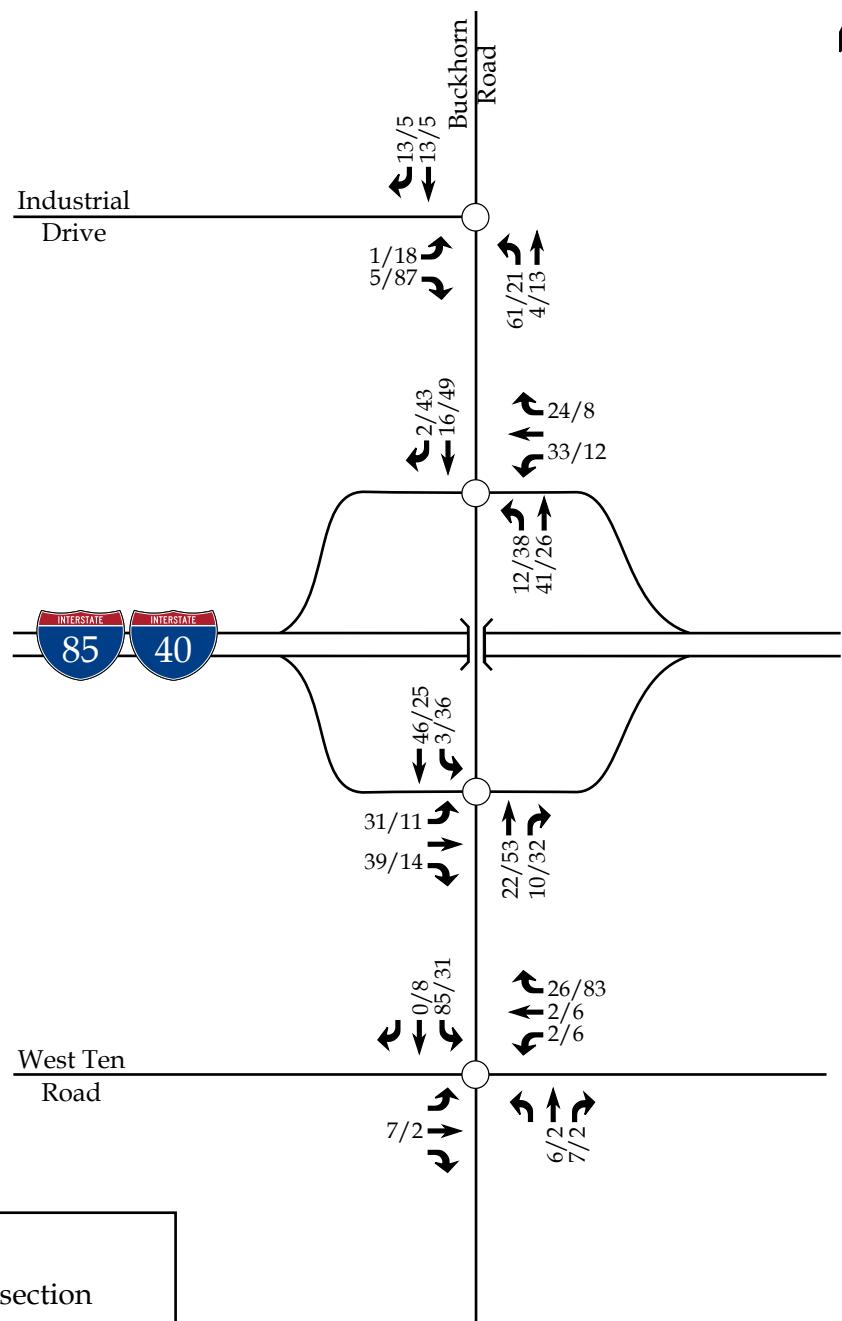


West Ten Industrial
Mebane, NC

Projected (2023)
Peak Hour Traffic

Scale: Not to Scale

Figure 5



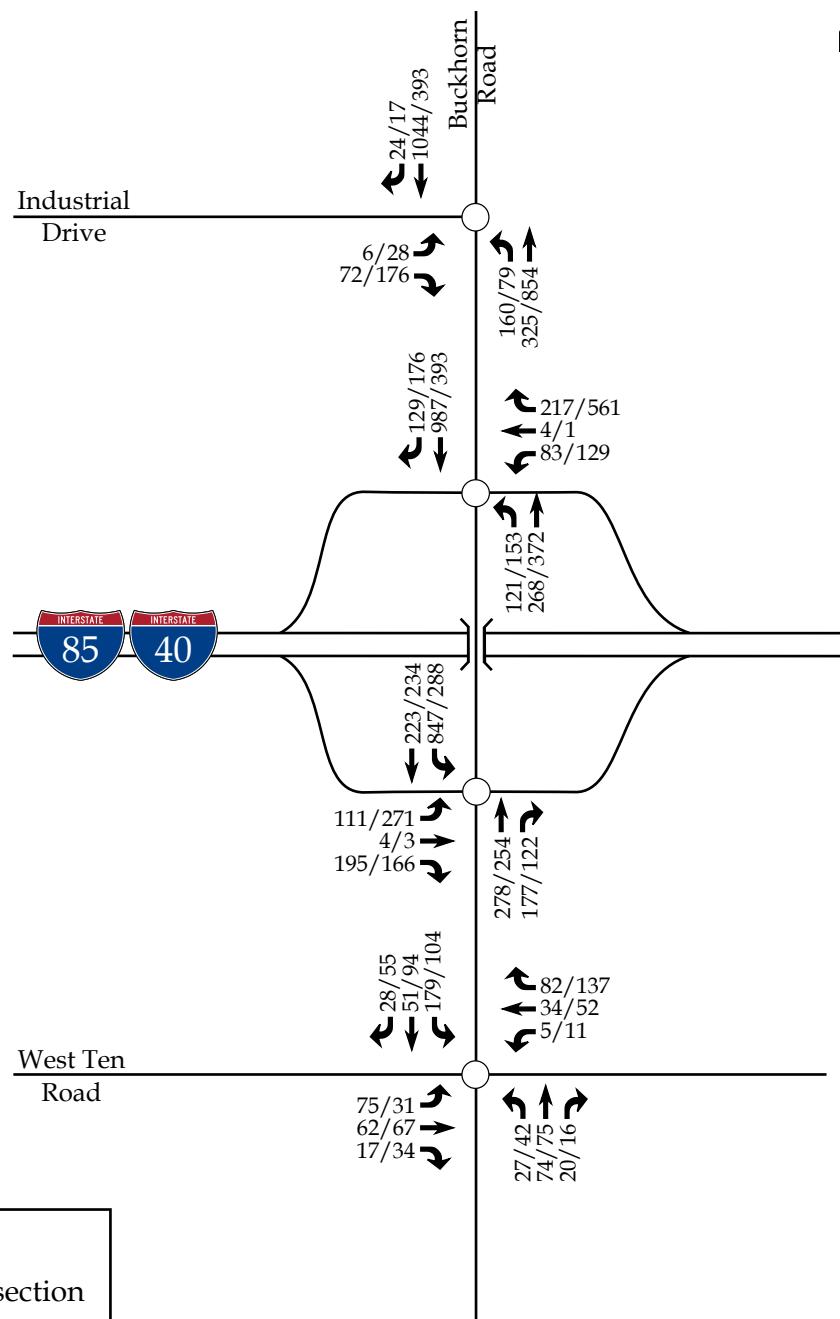
Moving forward.



West Ten Industrial
Mebane, NC

Peak Hour Adjacent
Development Trips

Scale: Not to Scale | Figure 6



LEGEND

- Unsignalized Intersection
- ✗ / ✓ Weekday AM / PM
- ✗ Peak Hour Traffic

Moving forward.



RAMEY KEMP ASSOCIATES

West Ten Industrial Mebane, NC

No-Build (2023) Peak Hour Traffic

Scale: Not to Scale

Figure 7

4. SITE TRIP GENERATION AND DISTRIBUTION

4.1. Trip Generation

The proposed development is expected to consist of a 675,000 sq. ft. warehouse. Average weekday daily, AM peak hour, and PM peak hour trips for the proposed development were estimated using methodology contained within the *ITE Trip Generation Manual*, 10th Edition. Table 3 provides a summary of the trip generation potential for the site.

Table 3: Trip Generation Summary

Land Use (ITE Code)	Intensity	Daily Traffic (vpd)	Weekday AM Peak Hour Trips (vph)		Weekday PM Peak Hour Trips (vph)	
			Enter	Exit	Enter	Exit
Warehousing (150)	675,000 sq. ft.	1,120	82	24	29	80

It is estimated that the proposed West Ten Industrial development will generate approximately 1,120 total site trips on the roadway network during a typical 24-hour weekday period. Of the daily traffic volume, it is anticipated that 106 trips (82 entering and 24 exiting) will occur during the weekday AM peak hour and 109 (29 entering and 80 exiting) will occur during the weekday PM peak hour.

4.2. Site Trip Distribution and Assignment

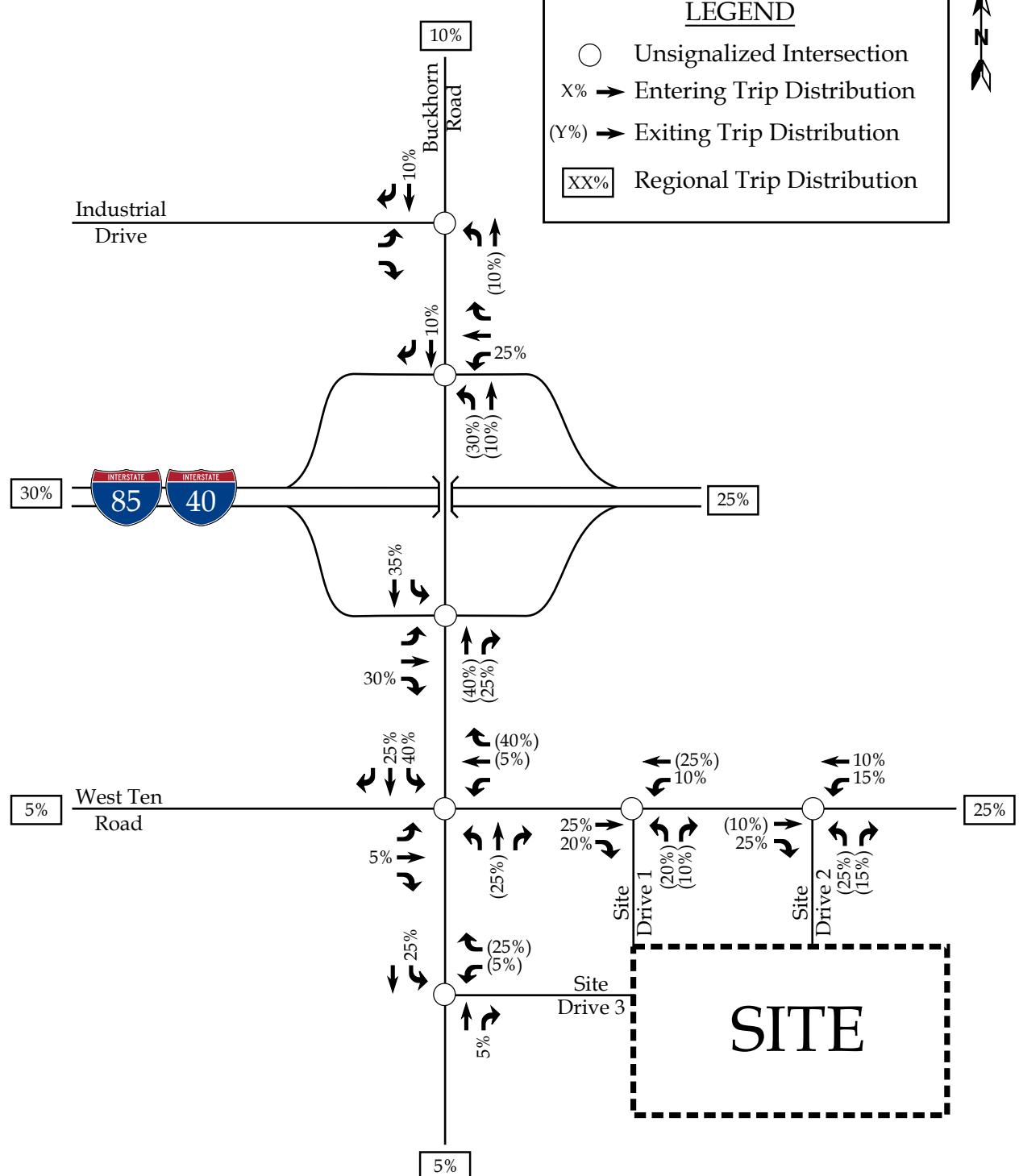
Trip distribution percentages used in assigning site traffic for this development were estimated based on a combination of existing traffic patterns, population centers adjacent to the study area, and engineering judgment.

It is estimated that the site trips will be regionally distributed as follows:

- 10% to/from the north via Buckhorn Road
- 5% to/from the south via Buckhorn Road
- 25% to/from the east via West Ten Road
- 5% to/from the west via West Ten Road
- 30% to/from the west via I-40/I-85

- 25% to/from the east via I-40/I-85

The site trip distribution is shown in Figure 8. Refer to Figure 9 for the site trip assignment,



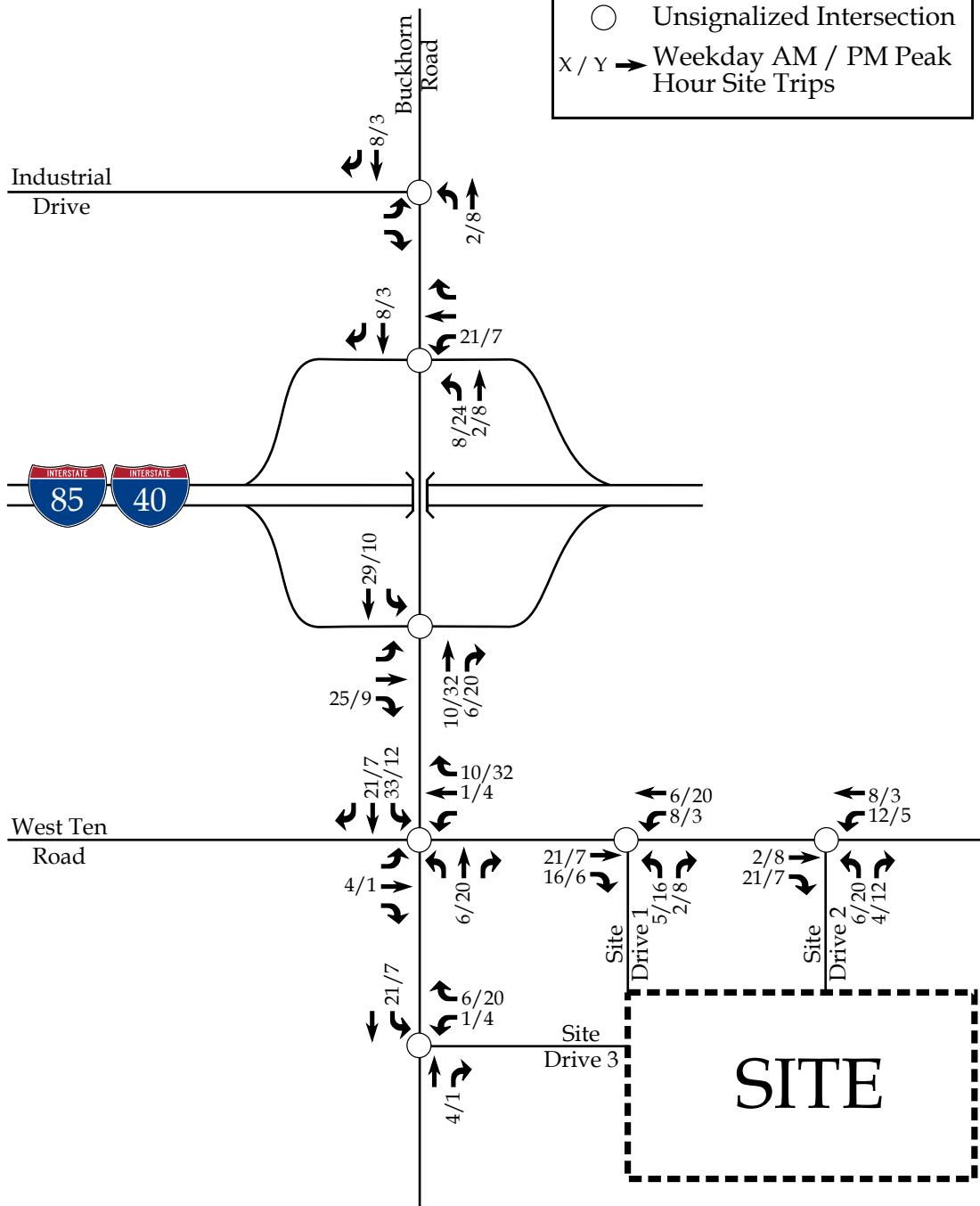
Moving forward.



West Ten Industrial
Mebane, NC

Site Trip Distribution

Scale: Not to Scale | Figure 8



Moving forward.



West Ten Industrial
Mebane, NC

Site Trip Assignment

Scale: Not to Scale | Figure 9

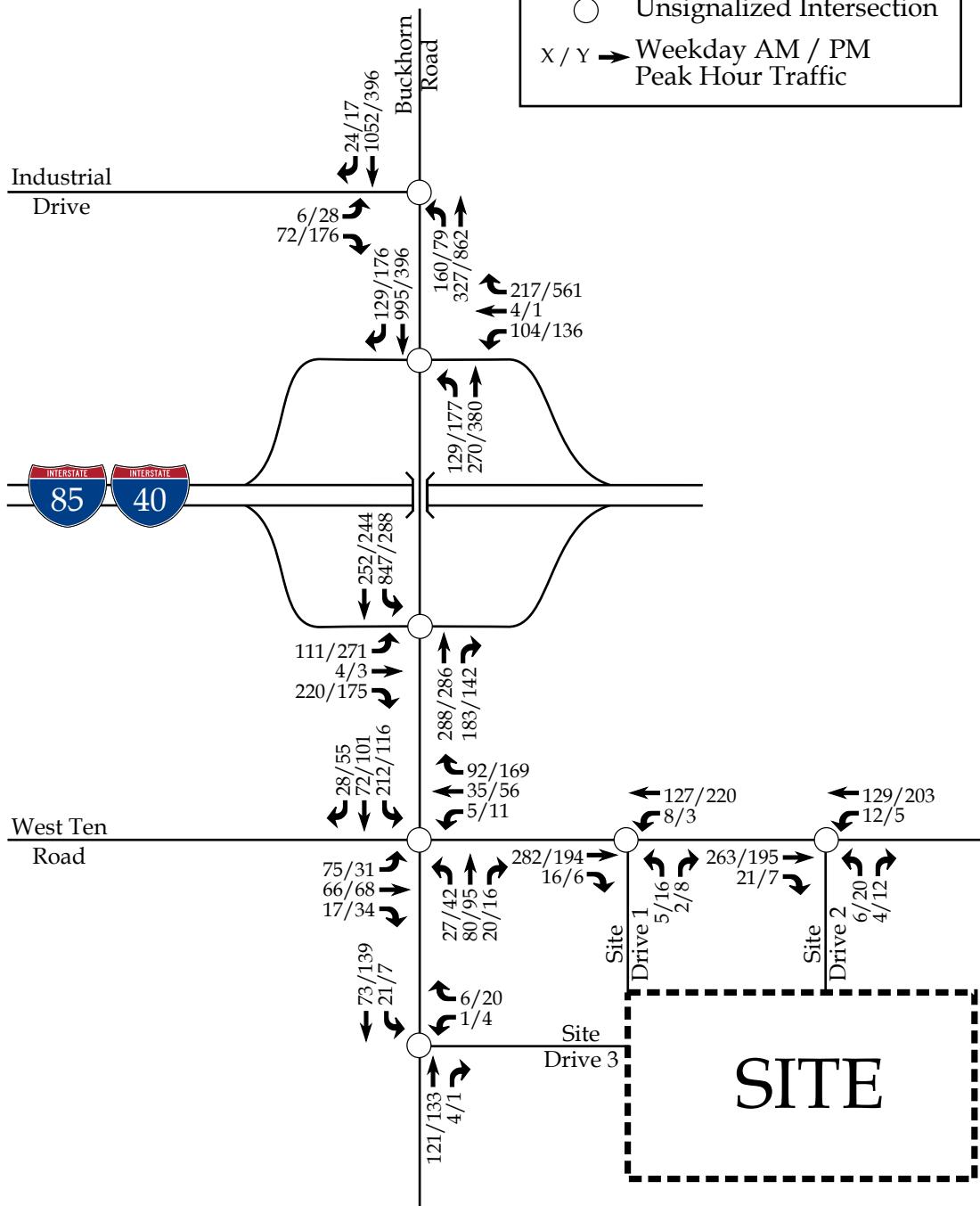
5. BUILD (2023) TRAFFIC CONDITIONS

5.1. Build (2023) Peak Hour Traffic Volumes

To estimate traffic conditions with the site fully built-out, the total site trips were added to the no-build (2023) traffic volumes to determine the build (2023) traffic volumes. Refer to Figure 10 for an illustration of the build (2023) peak hour traffic volumes with the proposed site fully developed.

5.2. Analysis of Build (2023) Peak Hour Traffic

Study intersections were analyzed with the build (2023) traffic volumes using the same methodology previously discussed for existing and no-build traffic conditions. Intersections were analyzed with improvements necessary to accommodate future traffic volumes. The results of the capacity analysis for each intersection are presented in Section 7 of this report.



Moving forward.



West Ten Industrial
Mebane, NC

Build (2023)
Peak Hour Traffic

Scale: Not to Scale | Figure 10

6. TRAFFIC ANALYSIS PROCEDURE

Study intersections were analyzed using the methodology outlined in the *Highway Capacity Manual* (HCM), 6th Edition published by the Transportation Research Board. Capacity and level of service are the design criteria for this traffic study. A computer software package, Synchro (Version 10.3), was used to complete the analyses for the study area intersections. Please note that the unsignalized capacity analysis does not provide an overall level of service for an intersection; only delay for an approach with a conflicting movement.

The HCM defines capacity as “the maximum hourly rate at which persons or vehicles can reasonably be expected to traverse a point or uniform section of a lane or roadway during a given time period under prevailing roadway, traffic, and control conditions.” Level of service (LOS) is a term used to represent different driving conditions, and is defined as a “qualitative measure describing operational conditions within a traffic stream, and their perception by motorists and/or passengers.” Level of service varies from Level “A” representing free flow, to Level “F” where breakdown conditions are evident. Refer to Table 4 for HCM levels of service and related average control delay per vehicle for both signalized and unsignalized intersections. Control delay as defined by the HCM includes “initial deceleration delay, queue move-up time, stopped delay, and final acceleration delay”. An average control delay of 50 seconds at a signalized intersection results in LOS “D” operation at the intersection.

Table 4: Highway Capacity Manual – Levels-of-Service and Delay

UNSIGNALIZED INTERSECTION		SIGNALIZED INTERSECTION	
LEVEL OF SERVICE	AVERAGE CONTROL DELAY PER VEHICLE (SECONDS)	LEVEL OF SERVICE	AVERAGE CONTROL DELAY PER VEHICLE (SECONDS)
A	0-10	A	0-10
B	10-15	B	10-20
C	15-25	C	20-35
D	25-35	D	35-55
E	35-50	E	55-80
F	>50	F	>80

6.1. Adjustments to Analysis Guidelines

Capacity analysis at all study intersections was completed according to the NCDOT Congestions Management Guidelines.

7. CAPACITY ANALYSIS

7.1. Buckhorn Road and West Ten Road

The existing unsignalized, all-way stop-controlled intersection of Buckhorn Road and West Ten Road was analyzed under existing (2020), no-build (2023), and build (2023) traffic conditions with lane configurations and traffic control shown in Table 5. Refer to Table 5 for a summary of the analysis results. Refer to Appendix D for the Synchro capacity analysis reports.

Table 5: Analysis Summary of Buckhorn Road and West Ten Road

ANALYSIS SCENARIO	A P P R O A C H	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
Existing (2020) Conditions	EB	1 LT-TH-RT	A ³	A (9)	A ³	A (9)
	WB	1 LT-TH-RT	A ³		A ³	
	NB	1 LT-TH-RT	A ³		A ³	
	SB	1 LT-TH-RT	A ³		A ³	
No-Build (2023) Conditions	EB	1 LT-TH-RT	A ³	B (10)	A ³	B (10)
	WB	1 LT-TH-RT	A ³		B ³	
	NB	1 LT-TH-RT	A ³		A ³	
	SB	1 LT-TH-RT	B ³		B ³	
Build (2023) Conditions	EB	1 LT-TH-RT	B ³	B (11)	B ³	B (11)
	WB	1 LT-TH-RT	A ³		B ³	
	NB	1 LT-TH-RT	A ³		B ³	
	SB	1 LT-TH-RT	B ³		B ³	

3. Level of service for all-way stop-controlled approach.

Capacity analysis of existing (2020), no-build (2023), and build (2023) traffic conditions indicates the approaches at the intersection of Buckhorn Road and West Ten Road are expected to operate at LOS B or better during the weekday AM and PM peak hours. Based on SimTraffic results, there is anticipated to be minimal queuing on the approaches. The site plan indicates that the site access points will be beyond the maximum queuing on the westbound and northbound approaches at this study intersection.

7.2. Buckhorn Road and I-40/I-85 Eastbound Ramps

The existing unsignalized intersection of Buckhorn Road and I-40/I-85 Eastbound Ramps was analyzed under existing (2020), no-build (2023), and build (2023) traffic conditions with existing lane configurations and traffic control. Refer to Table 6 for a summary of the analysis results. Refer to Appendix E for the Synchro capacity analysis reports.

Table 6: Analysis Summary of Buckhorn Road and I-40/I-85 Eastbound Ramps

ANALYSIS SCENARIO	A P P R O A C H	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
Existing (2020) Conditions	EB	1 LT-TH, 1 RT	F ²	N/A	F ²	N/A
	NB	1 TH, 1 RT	--		--	
	SB	1 LT, 1 TH	B ¹		A ¹	
No-Build (2023) Conditions	EB	1 LT-TH, 1 RT	F ²	N/A	F ²	N/A
	NB	1 TH, 1 RT	--		--	
	SB	1 LT, 1 TH	C ¹		A ¹	
Build (2023) Conditions	EB	1 LT-TH, 1 RT	F ²	N/A	F ²	N/A
	NB	1 TH, 1 RT	--		--	
	SB	1 LT, 1 TH	C ¹		A ¹	
Build (2023) Conditions – Signalized	EB	1 LT-TH, 1 RT	F	D (45)	D	C (24)
	NB	1 TH, 1 RT	D		C	
	SB	1 LT, 1 TH	C		B	

Improvements to lane configurations are shown in bold.

1. Level of service for major-street left-turn movement.
2. Level of service for minor-street approach.

Capacity analysis of existing (2020), no-build (2023), and build (2023) traffic conditions indicates the minor-street approach at the intersection of Buckhorn Road and I-40/I-85 Eastbound Ramps is expected to operate at LOS F during the weekday AM and PM peak hours. The major-street left-turn movement is expected to operate at LOS C or better under all analysis scenarios during the weekday AM and PM peak hours. Based on SimTraffic simulations, the eastbound approach queuing is anticipated to spillback onto I-40/I-85 under all analysis scenarios. It should be noted that the Project Titanium TIA identified a traffic signal at the study intersection, but ultimately did not recommend this improvement.

Geometric changes to the intersection were considered; however, due to the intersection's built-out nature, with turn lanes on all approaches, and due to the limited roadway width to the north because of the bridge, there were no reasonable geometric improvements that were expected to provide a significant improvement at the study intersection. Alternatively, a traffic signal was considered, and the existing (2020), no-build (2023), and build (2023) traffic volumes were analyzed utilizing the criteria contained in the *Manual on Uniform Traffic Control Devices* (MUTCD). A traffic signal was warranted during both the weekday AM and PM peak hours under all analysis scenarios. With a traffic signal, the intersection is anticipated to operate at an overall LOS D during the weekday AM peak hour and LOS C during the weekday PM peak hour. Based on SimTraffic simulations, queuing is anticipated to be improved and contained on the eastbound off-ramp with the provision of a traffic signal.

It should be noted that the proposed development is only expected to account for approximately 4% of the total traffic at this intersection and the adjacent development traffic growth is anticipated to account for more than double the proposed site traffic growth to this study intersection. Additionally, along the eastbound approach, the proposed development is only anticipated to contribute to the eastbound right-turn movement, which is expected to operate with less delay than the eastbound left-turn movement during the weekday AM and PM peak hours. It should be noted that queuing is anticipated to spillback onto I-40/I-85 under all analysis scenarios with or without the proposed development. It is recommended that the intersection be monitored for signalization and a traffic signal be installed once warranted and approved by NCDOT and the City regardless of if the proposed site is constructed or not. Based on the anticipated no-build traffic growth at this study intersection, a traffic signal should not be a requirement solely of the proposed development.

7.3. Buckhorn Road and I-40/I-85 Westbound Ramps

The existing unsignalized intersection of Buckhorn Road and I-40/I-85 Westbound Ramps was analyzed under existing (2020), no-build (2023), and build (2023) traffic conditions with the lane configurations and traffic control shown in Table 7. Refer to Table 7 for a summary of the analysis results. Refer to Appendix F for the Synchro capacity analysis reports.

Table 7: Analysis Summary of Buckhorn Road and I-40/I-85 Westbound Ramps

ANALYSIS SCENARIO	A P P R O A C H	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
Existing (2020) Conditions	WB NB SB	1 LT-TH, 1 RT 1 LT, 1 TH 1 TH, 1 RT	C ² B ¹ --	N/A	D ² A ¹ --	N/A
No-Build (2023) Conditions	WB NB SB	1 LT-TH, 1 RT 1 LT, 1 TH 1 TH, 1 RT	F ² B ¹ --	N/A	F ² A ¹ --	N/A
Build (2023) Conditions	WB NB SB	1 LT-TH, 1 RT 1 LT, 1 TH 1 TH, 1 RT	F ² B ¹ --	N/A	F ² A ¹ --	N/A
Build (2023) Conditions – Signalized	WB NB SB	1 LT-TH, 1 RT 1 LT, 1 TH 1 TH, 1 RT	F D C	D (42)	D C C	C (34)

Improvements to lane configurations are shown in bold.

1. Level of service for major-street left-turn movement.
2. Level of service for minor-street approach.

Capacity analysis of existing (2020) traffic conditions indicates that the minor-street approach at the intersection of Buckhorn Road and I-40/I-85 Westbound Ramps is expected to operate at LOS C during the weekday AM peak hour and LOS D during the weekday PM peak hour. Under no-build (2023) and build (2023) traffic conditions the minor-street approach is expected to operate at LOS F during the weekday AM and PM peak hours. The major-street left-turn movement is expected to operate at LOS B or better under all analysis scenarios during the weekday AM and PM peak hours. Based on SimTraffic simulations, the westbound approach queuing is anticipated to spillback onto I-40/I-85 under build (2023) conditions.

Geometric changes to the intersection were considered; however, due to the intersection's built-out nature, with turn lanes on all approaches, and due to the limited roadway width to the south because of the bridge, there were no reasonable geometric improvements that were expected to provide a significant improvement at the study intersection. Alternatively, a traffic signal was considered, and the existing (2020), no-build (2023), and build (2023) traffic volumes were analyzed utilizing the criteria contained in the *Manual on Uniform Traffic Control Devices* (MUTCD). A traffic signal was warranted during both the weekday AM and PM peak hours under all analysis scenarios. With a traffic signal, the intersection is anticipated to operate at an overall LOS D during the weekday AM peak hour and LOS C during the weekday PM peak hour. Based on SimTraffic simulations, queuing is anticipated to be improved and contained on the westbound off-ramp with the provision of a traffic signal.

It should be noted that the proposed development is only expected to account for approximately 2% of the total traffic at this intersection; however, due to the heavy queuing, it is recommended that this intersection be monitored for signalization. Based on the anticipated no-build traffic growth at this study intersection, a traffic signal should not be a requirement solely of the proposed development.

7.4. Buckhorn Road and Industrial Drive

The existing unsignalized intersection of Buckhorn Road and Industrial Drive was analyzed under existing (2020), no-build (2023), and build (2023) traffic conditions with the lane configurations and traffic control shown in Table 8. Refer to Table 8 for a summary of the analysis results. Refer to Appendix G for the Synchro capacity analysis reports.

Table 8: Analysis Summary of Buckhorn Road and Industrial Drive

ANALYSIS SCENARIO	A P P R O A C H	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
Existing (2020) Conditions	EB NB SB	1 LT-RT 1 LT, 1 TH 1 TH, 1 RT	D ² B ¹ --	N/A	B ² A ¹ --	N/A
No-Build (2023) Conditions	EB NB SB	1 LT-RT 1 LT, 1 TH 1 TH, 1 RT	E ² B ¹ --	N/A	D ² A ¹ --	N/A
Build (2023) Conditions	EB NB SB	1 LT-RT 1 LT, 1 TH 1 TH, 1 RT	E ² B ¹ --	N/A	D ² A ¹ --	N/A
Build (2023) Conditions - Field Operations*	EB NB SB	1 LT, 1 RT* 1 LT, 1 TH 1 TH, 1 RT	D ² B ¹ --	N/A	C ² A ¹ --	N/A

1. Level of service for major-street left-turn movement.

2. Level of service for minor-street approach.

*Based on existing pavement width, the eastbound approach is wide enough for a two-lane approach. This approach is currently unstriped; however, a 25-foot eastbound right-turn lane was analyzed to demonstrate anticipated field conditions.

Capacity analysis of existing (2020) conditions indicates that the minor-street approach and major-street left-turn movement at the intersection of Buckhorn Road and Industrial Drive are expected to operate at LOS D or better during the weekday AM and PM peak hours. Under no-build (2023) and build (2023) traffic conditions, the major-street left-turn movement is expected to operate at LOS B or better during the weekday AM and PM peak hours, while the minor-street approach is expected to operate at LOS E during the weekday AM peak hour and LOS D during the weekday PM peak hour. Poor levels-of-service are not uncommon at stop-controlled minor-street approaches opposing heavy mainline volumes.

Under existing (2020) conditions, the eastbound minor-street approach is unstriped; however, the eastbound approach pavement lane is wide enough for a two-lane approach. The intersection was analyzed under build (2023) traffic conditions with a 25-foot eastbound right-turn lane to demonstrate field conditions. With the addition of a 25-foot eastbound right-turn lane, the minor-street approach at this intersection is expected to operate at LOS D or better during the weekday AM and PM peak hours.

It should be noted that the proposed West Ten Industrial development is only anticipated to add trips to the mainline through movements at this intersection and is not anticipated to contribute to the minor-street approach. Overall, the proposed development is anticipated to add less than 1% of the total traffic at this study intersection under future conditions. Due to the low impact of the proposed development on the study intersection, no improvements are recommended by the developer.

7.5. West Ten Road and Site Drive 1

The proposed intersection of West Ten Road and Site Drive 1 was analyzed under build (2023) traffic conditions with the lane configurations and traffic control shown in Table 9. Refer to Table 9 for a summary of the analysis results. Refer to Appendix H for the Synchro capacity analysis reports.

Table 9: Analysis Summary of West Ten Road and Site Drive 1

ANALYSIS SCENARIO	A P P R O A C H	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
Build (2023) Conditions	EB WB NB	1 TH-RT 1 LT-TH 1 LT-RT	-- A ¹ B ²	N/A	-- A ¹ B ²	N/A

Improvements to lane configurations by the developer are shown in bold.

1. Level of service for major-street left-turn movement.
2. Level of service for minor-street approach.

Capacity analysis of build (2023) traffic conditions indicates the minor-street approach and major-street left-turn movement at the proposed intersection of West Ten Road and Site Drive 1 are expected to operate at LOS B or better during the weekday AM and PM peak hours. Based on SimTraffic simulations, no off-site queuing is anticipated to impact the proposed driveway.

Left- and right-turn lanes were considered based on the *NCDOT Policy on Street and Driveway Access to North Carolina Highways*; however, due to the low AADT volumes along the site frontage (1,700 vehicles per day in 2016 and estimated to be approximately 2,900 vehicles per day in 2023, assuming a 2% annually compounded growth rate and conservatively including all site traffic) and relatively low weekday AM and PM peak hour through volumes along West Ten Road, no turn lanes are recommended into the proposed site.

7.6. West Ten Road and Site Drive 2

The proposed intersection of West Ten Road and Site Drive 2 was analyzed under build (2023) traffic conditions with the lane configurations and traffic control shown in Table 10.

Refer to Table 10 for a summary of the analysis results. Refer to Appendix I for the Synchro capacity analysis reports.

Table 10: Analysis Summary of West Ten Road and Site Drive 2

ANALYSIS SCENARIO	A P P R O A C H	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
Build (2023) Conditions	EB WB NB	1 TH-RT 1 LT-TH 1 LT-RT	-- A ¹ B ²	N/A	-- A ¹ B ²	N/A

Improvements to lane configurations are shown in bold.

1. Level of service for major-street left-turn movement.
2. Level of service for minor-street approach.

Capacity analysis of build (2023) traffic conditions indicates the minor-street approach and major-street left-turn movement at the proposed intersection of West Ten Road and Site Drive 2 are expected to operate at LOS B or better during the weekday AM and PM peak hours. Based on SimTraffic simulations, no off-site queuing is anticipated to impact the proposed driveway.

Left- and right-turn lanes were considered; however, due to the low AADT volumes along the site frontage (1,700 vehicles per day in 2016 based on NCDOT AADT Maps and estimated to be approximately 2,900 vehicles per day in 2023 assuming a 2% annually compounded growth rate and conservatively including all site traffic) and relatively low weekday AM and PM peak hour through volumes along West Ten Road, no turn lanes are recommended into the proposed site.

7.7. Buckhorn Road and Site Drive 3

The proposed unsignalized intersection of Buckhorn Road and Site Drive 3 was analyzed under build (2023) traffic conditions with the lane configurations and traffic control shown in Table 11. Refer to Table 11 for a summary of the analysis results. Refer to Appendix J for the Synchro capacity analysis reports.

Table 11: Analysis Summary of Buckhorn Road and Site Drive 3

ANALYSIS SCENARIO	A P P R O A C H	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
Build (2023) Conditions	WB NB SB	1 LT-RT 1 TH-RT 1 LT-TH	A ² -- A ¹	N/A	A ² -- A ¹	N/A

Improvements to lane configurations are shown in bold.

1. Level of service for minor-street approach.
2. Level of service for major-street approach.

Capacity analysis of build (2023) traffic conditions indicates the minor-street approach and major-street left-turn movement at the proposed intersection of Buckhorn Road and Site Drive 3 are expected to operate at LOS A during the weekday AM and PM peak hours. Based on SimTraffic simulations, no off-site queuing is anticipated to impact the proposed driveway.

Left- and right-turn lanes were considered; however, due to the low AADT volumes along the site frontage (1,800 vehicles per day in 2019 and estimated to be approximately 3,000 vehicles per day in 2023 assuming a 2% annually compounded growth rate and conservatively including all site traffic) and relatively low weekday AM and PM peak hour through volumes along Buckhorn Road to the south of West Ten Road, no turn lanes are recommended into the proposed site.

8. CONCLUSIONS

This Traffic Impact Analysis was conducted to determine the potential traffic impacts of the proposed development, located in the southeast quadrant at the intersection of West Ten Road and Buckhorn Road in Mebane, North Carolina. The proposed development is expected to be built out in 2023. Site access will be provided via two (2) full movement access points along West Ten Road and one (1) potential future full movement access point along Buckhorn Road. The study analyzes traffic conditions during the weekday AM and PM peak hours for the following scenarios:

- Existing (2020) Traffic Conditions
- No-Build (2023) Traffic Conditions
- Build (2023) Traffic Conditions

Trip Generation

It is estimated that the proposed development will generate approximately 1,120 total site trips on the roadway network during a typical 24-hour weekday period. Of the daily traffic volume, it is anticipated that 106 trips (82 entering and 24 exiting) will occur during the weekday AM peak hour and 109 (29 entering and 80 exiting) will occur during the weekday PM peak hour.

Adjustments to Analysis Guidelines

Capacity analysis at all study intersections was completed according to NCDOT Congestion Management Guidelines. Refer to section 6.1 of this report for a detailed description of any adjustments to these guidelines made throughout the analysis.

Intersection Capacity Analysis Summary

All the study area intersections (including the proposed site driveways) are expected to operate at acceptable levels-of-service under existing and future year conditions with the exception of the intersections listed below. A summary of the study area intersections that are expected to need improvements are as follows:

Buckhorn Road and I-40/I-85 Eastbound Ramps

The minor-street approach is expected to operate at LOS F during the weekday AM and PM peak hours under all analysis scenarios. Based on SimTraffic simulations, the eastbound approach queuing is anticipated to spillback onto I-40/I-85 under all analysis scenarios. A traffic signal was considered, and traffic volumes were analyzed utilizing the criteria contained in the *Manual on Uniform Traffic Control Devices* (MUTCD). A traffic signal was warranted during both the weekday AM and PM peak hours under all analysis scenarios. With a traffic signal, the intersection is anticipated to operate at an overall acceptable level-of-service during the weekday AM and PM peak hours. Based on SimTraffic simulations, queuing is anticipated to be improved and contained on the eastbound off-ramp with the provision of a traffic signal.

It should be noted that the proposed development is only expected to account for approximately 4% of the total traffic at this intersection. Additionally, along the eastbound approach, the proposed development is only anticipated to contribute to the eastbound right-turn movement, which is expected to operate with less delay than the eastbound left-turn movement during the weekday AM and PM peak hours. It is recommended that the intersection be monitored for signalization and a traffic signal be installed once warranted and approved by NCDOT and the City.

Buckhorn Road and I-40/I-85 Westbound Ramps

Under no-build (2023) and build (2023) traffic conditions the minor-street approach is expected to operate at LOS F during the weekday AM and PM peak hours. Based on SimTraffic simulations, the westbound approach queuing is anticipated to spillback onto I-40/I-85 under build (2023) conditions. A traffic signal was considered, and traffic volumes were analyzed utilizing the criteria contained in the *Manual on Uniform Traffic Control Devices* (MUTCD). A traffic signal was warranted during both the weekday AM and PM peak hours under all analysis scenarios. With a traffic signal, the intersection is anticipated to operate at an overall LOS D during the weekday AM peak hour and LOS C during the weekday PM peak hour. Based on SimTraffic simulations, queuing is anticipated to be improved and contained on the westbound off-ramp with the provision of a traffic signal. It should be

noted that the proposed development is only expected to account for approximately 2% of the total traffic at this intersection.

Buckhorn Road and Industrial Drive

Under no-build (2023) and build (2023) traffic conditions, the minor-street approach is expected to operate at LOS E during the weekday AM peak hour. Poor levels-of-service are not uncommon at stop-controlled minor-street approaches opposing heavy mainline volumes. Under existing (2020) conditions, the eastbound minor-street approach is unstriped; however, the eastbound approach pavement lane is wide enough for a two-lane approach. The intersection was analyzed under build (2023) traffic conditions with a 25-foot eastbound right-turn lane to demonstrate field conditions. With the addition of a 25-foot eastbound right-turn lane, the minor-street approach at this intersection is expected to operate at LOS D or better during the weekday AM and PM peak hours.

9. RECOMMENDATIONS

Based on the findings of this study, specific geometric improvements have been identified and are recommended to accommodate future traffic conditions. See a more detailed description of the recommended improvements below. Refer to Figure 11 for an illustration of the recommended lane configuration for the proposed development.

Recommended Improvements

Buckhorn Road and I-40/I-85 Eastbound Ramps

- Monitor intersection for signalization, and install traffic signal once warranted and approved by NCDOT and the City. *Based on anticipated no-build (2023) operations, this improvement should be considered regardless of if the proposed development is built.*

Buckhorn Road and I-40/I-85 Westbound Ramps

- Monitor intersection for signalization, and install traffic signal once warranted and approved by NCDOT and the City.

West Ten Road and Site Drive 1

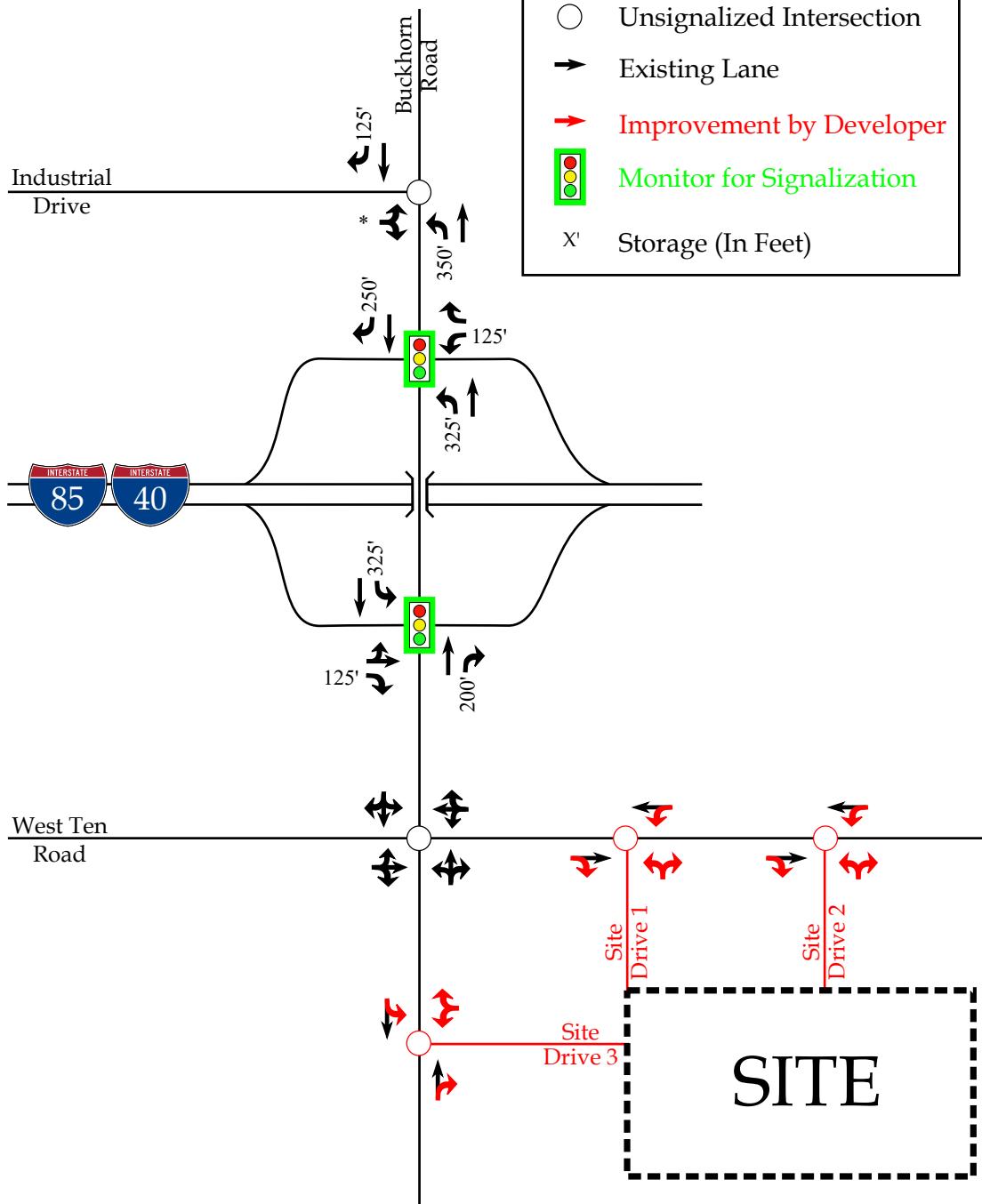
- Construct the northbound approach with one (1) ingress lane and one (1) egress lane.
- Provide stop control for the northbound approach.

West Ten Road and Site Drive 2

- Construct the northbound approach with one (1) ingress lane and one (1) egress lane.
- Provide stop control for the northbound approach.

Buckhorn Road and Site Drive 3

- Construct the westbound approach with one (1) ingress lane and one (1) egress lane.
- Provide stop control for the westbound approach.



*Pavement width currently exists to accommodate two (2) approach lanes; however, it is not currently striped to include exclusive right and left turn lanes.

Moving forward.



West Ten Industrial
Mebane, NC

Recommended
Lane Configurations

Scale: Not to Scale | Figure 11

4-1-1 Table of Permitted Uses

02/04/08; amended 04/07/08, 05/03/10, 07/11/11, 08/05/13 04/07/14, 10/06/14; 07/09/18; 11/05/18; 03/04/19; 10/17/19		Ref.	Development	Zoning Districts												
		SIC	Standards	RA20	R20	R15	R12	R10	R8	R6	OI	B1	B2	B3	M1	M2
RESIDENTIAL USES																
Single Unit Residential																
Single-Family Detached Dwelling	0000			Z	Z	Z	Z	Z	Z	Z						
Modular Home	0000			Z	Z	Z	Z	Z	Z	Z						
Manufactured Home, on individual lot (within MH Overlay District Only)	0000	Sec. 4-7.3 A						CC								
Patio Home Dwelling	0000	Sec. 4-7.3 B							D	D						
Multiple Unit Residential																
Condominium, less than 2 acres in area	0000	Sec. 4-7.3 C							D	D						
Condominium, 2 or more acres in area	0000	Sec. 4-7.3 C							D	D						
Manufactured Home Park (within MH Overlay District Only)	0000	Sec. 4-7.3 D						CC								
Multifamily Dwelling, less than 2 acres in area	0000	Sec. 4-7.3 E							D	D						
Multifamily Dwelling, 2 or more acres in area	0000	Sec. 4-7.3 E							D	D						
Townhouse Dwelling, less than 2 acres in area	0000	Sec. 4-7.3 F							D	D						
Townhouse Dwelling, 2 or more acres in area	0000	Sec. 4-7.3 F							D	D						
Two-Family Dwelling (duplex)	0000								Z	Z						
Group Residential																
Boarding and Rooming House	7021	Sec. 4-7.3 G									D	D				
Family Care Home	8361	Sec. 4-7.3 H	D	D	D	D	D	D	D	D						
Group Care Facility	8361	Sec. 4-7.3 I									D	D				
Temporary Emergency Shelter	0000	Sec. 4-7.3 L	D	D	D	D	D	D	D	D	D	D	D	D	D	D
Nontraditional Residential Developments																
Live/Work Combination Dwelling & Nonresidential Use	0000	Sec. 4-7.3 M							D	D	D	D	D	D		
Planned Unit Development	0000	Sec. 4-7.3 N		D	D	D	D	D	D	D	D	D	D			
Residential Cluster Development	0000	Sec. 4-7.3 O		D	D	D	D	D	D	D						
Traditional Neighborhood Development	0000	Sec. 4-7.3 P		D	D	D	D	D	D	D						
ACCESSORY USES AND STRUCTURES																
Accessory Dwelling Unit (on single-family lots)	0000	Sec. 4-7.4 A	D	D	D	D	D	D	D							
Accessory Dwelling Unit to an Office Use	0000	Sec. 4-7.4 B									BA	Z				
Accessory Uses and Structures (customary)	0000	Sec. 4-1 G	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z
Automatic Teller Machine	6099										Z	Z	Z	Z	Z	Z
Caretaker Dwelling	0000	Sec. 4-7.4 C	D	D	D	D	D	D	D	D	D	D	D	D	D	D
Communication Tower Under 50' in Height	0000	Sec. 4-7.4 D	D	D	D	D	D	D	D	D	Z	Z	Z	Z	Z	Z
Fence, Wall	0000	Sec. 4-2 C	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z
Home Occupation	0000	Sec. 4-7.4 E	D	D	D	D	D	D	D	D						
Satellite Dish Antenna	0000	Sec. 4-7.4 F	D	D	D	D	D	D	D	D	Z	Z	Z	Z	Z	Z

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	SIC	Standards	RA20	R20	R15	R12	R10	R8	R6	OI	B1	B2	B3	M1	M2
Signs	0000	Sec. 6-6	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z
Swimming Pool	0000	Sec. 4-2 B	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z
RECREATIONAL USES															
Amusement or Water Parks, Fairgrounds	7996														
Athletic Fields	0000	Sec. 4-7.5 A	CC	CC	CC	CC	CC	CC	CC			CC		CC	CC
Auditorium, Coliseum or Stadium	0000	Sec. 4-7.5 B									CC	CC			
Batting Cages, Outdoor	7999	Sec. 4-7.5 C	D								D			D	
Batting Cages, Indoor	7999										Z				
Billiard Parlor, Pool Hall	7999										Z	Z			
Bingo Parlor	7999										Z	Z			
Bowling Center	7933											Z		Z	Z
Campground/RV Park	7033	Sec. 4-7.5 D			BA								BA	BA	BA
Civic, Social and Fraternal Clubs and Lodges	8641	Sec. 4-7.5 E	BA	BA	BA	BA	BA	BA	BA	BA	D	D			
Coin-Operated Amusement, except Adult Arcade & Video Gaming Arcade	7993										Z	Z	Z		
Community Center	7999	Sec. 4-7.5 F	BA	BA	BA	BA	BA	BA	BA	BA					
Country Club with Golf Course	7997	Sec. 4-7.5 G	BA	BA	BA	BA	BA	BA	BA	BA		BA	BA		
Dance School, Music Instruction	7911										Z	Z	Z		
Fishing Lake	7999													Z	Z
Fortune Tellers, Astrologers	7999										Z				
Go-Cart Raceway	7999													Z	
Golf Course	7992	Sec. 4-7.5 H	BA	BA	BA	BA	BA	BA	BA			BA	BA		
Golf Course, Miniature	7999											Z		Z	Z
Golf Driving Range	7999											Z		Z	Z
Physical Fitness Center, Training Center	7991										Z	Z	Z	Z	Z
Private Club or Recreational Facility, Other	7997	Sec. 4-7.5 I	D	D	D	D	D	D	D	Z	Z	Z	Z	Z	Z
Public Park or Recreational Facility, Other	7990	Sec. 4-7.5 I	D	D	D	D	D	D	D	Z	Z	Z	Z	Z	Z
Race Track Operation	7948	Sec. 4-7.5 J												CC	
Riding Academy, Riding Stables, Equestrian Facility	7999	Sec. 4-7.5 H	CC												
Shooting Range, Indoor	7999	Sec. 4-7.5 L												D	D
Skating Rink	7999										Z			Z	
Sports and Recreation Club, Indoor	7997										Z	Z	Z		
Swim and Tennis Club	7997	Sec. 4-7.5 N	BA	BA	BA	BA	BA	BA	BA	Z	Z	Z	Z	Z	Z
EDUCATIONAL AND INSTITUTIONAL USES															
Ambulance Service	4119										Z	Z	Z		
Cemetery, Columbarium or Mausoleum (Principal Use)	0000	Sec. 4-7.6 A	CC	CC	CC	CC	CC							Z	Z

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Ref.		Development	Zoning Districts												
SIC		Standards	RA20	R20	R15	R12	R10	R8	R6	OI	B1	B2	B3	M1	M2
Cemetery, Columbarium or Mausoleum on Same Property as															
Church or Other Place of Worship	0000	Sec. 4-7.6 B	D	D	D	D	D	D	D	D	D	D	D	Z	Z
Church Or Other Place of Worship	8661	Sec. 4-7.6 C	D	D	D	D	D	D	D	Z	CC	CC			
College, University, Technical Institute	8220	Sec. 4-7.6 D								CC					
Day Care Center, Adult and Child, 5 or Less Clients (accessory use)	8322	Sec. 4-7.6 F	D	D	D	D	D	D	D	Z	Z	Z	Z	Z	Z
Day Care Center, Adult and Child, 6 -12 Clients (principal use)	8322	Sec. 4-7.6 G	CC	CC	CC	CC	CC	CC	CC	Z	Z	Z	Z	Z	Z
Day Care Center, Adult and Child, 13 or More Clients (principal use)	8322	Sec. 4-7.6 G.1	CC							Z	Z	Z	Z		
Elementary or Secondary School	8211	Sec. 4-7.6 H	BA	BA	BA	BA	BA	BA	BA	BA	BA	BA	BA		
Fire Station/Emergency Medical Service	9224	Sec. 4-7.6 I	D	D	D	D	D	D	D	Z	Z	Z	Z	Z	Z
Government Office	9000									Z	Z	Z	Z	Z	Z
Hospital	8062									Z					
Library	8231	Sec. 4-7.6 J	D	D	D	D	D	D	D	Z	Z	Z	Z		
Museum or Art Gallery	8412									Z	Z	Z			
National Guard /Military Reserve Center	0000									Z				Z	Z
Nursing and Convalescent Home, Rest Home	8050	Sec. 4-7.6 K	D	D	D	D	D	D	D	Z	Z	Z	Z		
Orphanage	8361	Sec. 4-7.6 L	D	D	D	D	D	D	D	Z	Z				
Police Station	9221									Z	Z	Z	Z	Z	Z
Post Office	0000									Z	Z	Z	Z	Z	Z
Retreat/Conference Center	0000	Sec. 4-7.6 M	D							Z		Z			
School Administration Facility	9411									Z	Z			Z	Z
BUSINESS, PROFESSIONAL and PERSONAL SERVICES															
Advertising, Outdoor Services	7312									Z				Z	Z
Automobile Parking (Commercial)	7521									Z	Z	Z	Z	Z	Z
Automobile Rental or Leasing	7510									Z	Z			Z	Z
Automobile Repair Services	0000	Sec. 4-7.7 A								CC	Z	CC	Z	Z	Z
Automobile Towing and Storage Services	7549									Z	Z			Z	Z
Bank, Savings and Loan, or Credit Union	6000									Z	Z	Z	Z		
Barber Shop, Beauty Shop, Cosmetic Tattoos	7241	Sec. 4-1.G								Z	Z	Z	Z		
Bed and Breakfast or Tourist Home	7011	Sec. 4-7.7 B	D	D	D	D	D	D		Z		Z	Z		
Bicycle, Motorcycle Repair	3751									Z	Z				
Blacksmith	7699									Z				Z	Z
Boat Repair	3730													Z	Z
Car Wash, Auto Detailing	7542													Z	Z
Clothing Alteration or Repair	0000									Z	Z	Z	Z		

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			SIC	Standards	RA20	R20	R15	R12	R10	R8	R6	OI	B1	B2	B3	M1	M2
Contractor Office with Outside Storage Yard	0000	Sec. 4-7.7 C														D	
Computer Maintenance and Repair	7378												Z	Z	Z		Z
Equipment Rental and Leasing (no outside storage)	7350												Z			Z	Z
Equipment Rental and Leasing (with outside storage)	7350	Sec. 4-7.7 D														D	
Equipment Repair	7690												Z				Z
Funeral Home, Crematorium	7261												Z	Z	Z		
Furniture Refinishing and Repair, Upholstery Shops	7641															Z	Z
Furniture Display and Showrooms	0000													Z			
Hotel or Motel, except Adult Motel**	7011												Z	Z			
Insurance Agency, no On-site Claims Inspections	6411												Z	Z	Z	Z	
Insurance Agency, with On-site Claims Inspections	6411												Z				Z
Kennels, with Outside Runs	0752															CC	
Kennels, with No Outside Runs	0752	Sec. 4-7.7 E											Z			Z	Z
Landscape and Horticultural Services	0780												Z			Z	Z
Laundromat, Coin-Operated	7215												Z	Z	Z		
Laundry or Dry Cleaning Plant	7211															Z	
Laundry or Dry Cleaning, Retail Facility	7212												Z	Z	Z	Z	
Locksmiths, Gunsmiths	7699												Z	Z	Z		
Martial Arts Instructional School	7999												Z	Z	Z		
Medical or Dental Laboratory	8071												Z	Z	Z		
Offices, General	0000												Z	Z	Z	Z	
Office Uses Not Listed Elsewhere	0000												Z	Z	Z		
Pest or Termite Control Services	7342												Z			Z	Z
Photocopying and Duplicating Services	7334												Z	Z	Z	Z	Z
Photofinishing Laboratory	7384												Z			Z	Z
Photography, Commercial Studio	7335												Z	Z	Z	Z	
Refrigerator or Large Appliance Repair	7623															Z	Z
Research, Development or Testing Services	8730															Z	Z
Roofing Shop	1761															Z	
Services, Miscellaneous Not Listed Elsewhere	7699												Z			Z	Z
Shoe Repair or Shoeshine Shop	7251												Z	Z	Z		
Stock, Security, and Commodity Brokers	62												Z	Z	Z	Z	
Television, Radio or Electronics Repair	7620												Z	Z		Z	Z
Theater (indoor), except Adult Theater**	7832												Z	Z			
Theater (outdoor)	7833												Z				
Tire Recapping	7534															Z	Z

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			SIC	Standards	RA20	R20	R15	R12	R10	R8	R6	OI	B1	B2	B3	M1	M2			
Truck Driving School	8249															Z	Z			
Truck and Utility Trailer Rental and Leasing	0000															Z				
Truck Washing	7542															CC				
Veterinary Clinic	0742															Z	Z			
Vocational, Business or Secretarial School	8240															Z	Z			
Watch, Clock, and Jewelry Repair	7631															Z	Z			
Welding Shop	0000																Z			
RETAIL TRADE																				
ABC Store (packaged liquor)	5921															Z	Z			
Antique Store	5932															Z	Z			
Apparel and Accessory Store	5600															Z	Z			
Appliance Store	5722															Z	Z			
Arts and Crafts	0000															Z	Z			
Auto Supply Sales	5531															Z	Z			
Bakery	5461															Z	Z			
Bar, Night Club, Tavern, Brewpub	5813	Sec. 4-7.8 A														Z	Z			
Bicycle, Motorcycle Sales	5571															Z	Z			
Boat Sales	5551															Z	Z			
Bookstore, except Adult Bookstore**	5942															Z	Z			
Building Supply Sales	5211	Sec. 4-7.8 B														D	D			
Convenience Store, no Gas Pumps	5411															Z	Z			
Convenience Store, with Gas Pumps	5411	Sec. 4-7.8 C														BA	Z	BA	Z	Z
Department, Variety or General Merchandise	5300															Z	Z			
Drugstore or Pharmacy	5912															Z	Z	Z		
Farm Supplies and Equipment	0000																		Z	Z
Floor Covering, Drapery or Upholstery	5710															Z	Z			Z
Florist	5992															Z	Z	Z	Z	
Food Stores	54	Sec. 4-7.8 D														Z	Z	Z		Z
Fuel Oil Sales	5980															Z				Z
Furniture Sales	5712															Z	Z			
Garden Center or Retail Nursery	5261															Z	Z			Z
Hardware Store	5251															Z	Z	Z		
Home Furnishings, Miscellaneous	5719															Z	Z			
Manufactured Home Sales	5271	Sec. 4-7.8 E														CC			CC	
Miscellaneous Shopping Goods Stores, not listed elsewhere	594															Z	Z	Z		
Motor Vehicle Sales (new and used)	5511															Z	Z		Z	Z

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			RA20	R20	R15	R12	R10	R8	R6	OI	B1	B2	B3	M1	M2
Newsstand	5994										Z	Z	Z		
Office Supplies and Equipment	5999										Z	Z			Z
Optical Goods Sales	5995										Z	Z	Z		
Paint and Wallpaper Sales	5231										Z	Z	Z		
Pawnshop or Used Merchandise Store	5932										Z	Z	Z		
Pet Store	5999										Z	Z	Z		
Radio, Television, Consumer Electronics, and Music Stores	5731										Z	Z	Z		
Retail Sales, Miscellaneous not listed elsewhere	5999										Z	Z			
Recreational Vehicle Sales	5561										Z		Z	Z	
Restaurant (drive-in or take out window only)	5812	Sec. 4-7.8 F									D	D	Z	Z	
Restaurant (with drive-through)	5812	Sec. 4-7.8 G									D	D	D	Z	Z
Restaurant (without drive-through)	5812										Z	Z	Z	Z	Z
Service Station, Gasoline Sales	5541	Sec. 4-7.8 H									BA	Z	BA	Z	Z
Shopping Center	0000	Sec. 4-7.8 I									D				
Superstore	0000	Sec. 4-7.8 J									D				
Tire Sales	5531										Z		Z	Z	
Truck Stop, Travel Plazas	5541	Sec. 4-7.8 K												CC	
Video Tape Rental and Sales, except Adult Video Store**	7841										Z	Z	Z		
WHOLESALE TRADE															
Farm Product Raw Materials	515													Z	
Hardware	5072													Z	Z
Petroleum and Petroleum Products, Bulk Storage	517	Sec. 4-7.9 B												BA	BA
Wholesale Trade, not listed elsewhere	0000													Z	Z
TRANSPORTATION, WAREHOUSING AND UTILITIES															
Airport or Air Transportation Facility	4500	Sec. 4-7.9 A												CC	CC
Bulk Mail and Packaging	4212													Z	Z
Bus Terminal	4100													Z	Z
Communication or Broadcasting Facility	4800													Z	Z
Communications Tower, Public Safety	0000	Sec. 4-7.9 C	D	D	D	D	D	D	D	D	D	D	D	D	D
Communications Tower and All Other Radio, Television Towers			CC												
Over 50' In Height	0000	Sec. 4-7.9 D												CC	CC
Courier Service	4215													Z	Z
Farm Product Warehousing and Storage	4221													Z	Z
Moving and Storage Service	4214													Z	Z
Outside Storage	0000													Z	

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	SIC	Standards	RA20	R20	R15	R12	R10	R8	R6	OI	B1	B2	B3	M1	M2
Public Works and Public Utility Facilities Essential to the Immediate Area	0000	Sec. 4-7.9 H	CC	CC	CC	CC	CC	CC	CC	CC	CC	CC	CC	CC	CC
Railroad Station	4010									Z				Z	Z
Recycling Collection Station or Point	0000													Z	Z
Sewage Treatment Plant	4952	Sec. 4-7.9 I												CC	CC
Small Wireless Facility	23713	Sec. 4-7.9 F	D	D	D	D	D	D	D	D	D	D	D	D	D
Solar Farms		Sec. 4-7.9 G	CC											CC	CC
Taxi Terminal	4121										Z	Z			
Telephone Exchange	0000	Sec. 4-7.9 K	BA	BA	BA	BA	BA	BA	BA	BA	BA	BA	BA	BA	BA
Transformer Stations	0000	Sec. 4-7.9 K	BA	BA	BA	BA	BA	BA	BA	BA	BA	BA	BA	BA	BA
Trucking or Freight Terminal	4213													Z	
Warehouse (general storage, enclosed)	4220													Z	Z
Warehouse (self-storage)	4225													Z	Z
Water Treatment Plant	0000	Sec. 4-7.9 L												CC	CC
Wireless Communications Facility	23713	Sec. 4-7.9 E	D	D	D	D	D	D	D	D	D	D	D	D	D
MANUFACTURING and INDUSTRIAL USES															
Apparel and Finished Fabric Products	2300													Z	Z
Bakery Products	2050													Z	Z
Batteries	3691													Z	
Beverage Products	2086													Z	Z
Cabinet and Woodworking Shops	2434													Z	Z
Carpets, Bedding	0000													Z	
Chemicals, Paints and Allied Products	2800													Z	
Computer and Office Equipment	3570													Z	Z
Concrete, Cut Stone and Clay Products	3200													Z	
Dairy Products	2020													Z	Z
Drugs and Pharmaceuticals	283													Z	Z
Electronic and Other Electrical Equipment	36													Z	
Food Preparation and Related Products, Miscellaneous	209													Z	Z
Furniture and Fixtures	2500													Z	
Glass	3200													Z	
Hardware and Housewares	0000													Z	
Heating, Equipment and Plumbing Fixtures	3430													Z	
Ice	2097													Z	Z
Industrial and Commercial Machinery	3500													Z	
Jewelry and Silverware Fabrication, No Plating	3915													Z	Z

Z=Allowed by right

D=Allowed if development standards are met

E=Exempt

BA=Special use permit required from Board of Adjustment

CC=Special use permit required from City Council

4-1-1 Table of Permitted Uses																	
02/04/08; amended 04/07/08, 05/03/10, 07/11/11, 08/05/13 04/07/14, 10/06/14; 07/09/18; 11/05/18; 03/04/19; 10/17/19	Ref.	Development	Zoning Districts														
			SIC	Standards	RA20	R20	R15	R12	R10	R8	R6	OI	B1	B2	B3	M1	M2
Machine Shop	3599														Z	Z	
Manufactured Housing and Wood Buildings	2450														Z	Z	
Metal Fabricating	0000														Z		
Millwork, Plywood and Veneer	2430														Z		
Paper Products	2670														Z		
Printing and Publishing	2700														Z	Z	
Printing and Publishing, Incidental to a Newspaper Office	2700											Z	Z				
Rubber and Plastics, Miscellaneous	3000														Z		
Sheet Metal Shop	0000														Z	Z	
Signs	3993														Z	Z	
Soaps and Cosmetics	2840														Z		
Sporting Goods and Toys	3940														Z	Z	
Textiles	2200														Z		
Tobacco Products	2110														Z		
Manufacturing or Industrial, not listed elsewhere	0000														Z		
AGRICULTURAL USES																	
Bona fide farm operation except commercial feeder/breeder operation	0000	Sec. 1-5	E	E	E	E	E	E	E	E	E	E	E	E	E	E	
Commercial Feeder/Breeder Operation*	0000	Sec. 4-7.11 A	CC														
MINING USES																	
Mining, Quarrying, Sand Pits, and Mineral Extraction	1000	Sec. 4-7.12 A													CC		
TEMPORARY USES																	
Arts and Crafts Show	0000											Z	Z	Z	Z		
Carnivals and Fairs	7999	Sec. 4-7.13 A	CC									CC	CC	CC		CC	CC
Christmas Tree, Pumpkin, and Similar Seasonal Sales	0000											Z	Z	Z	Z	Z	Z
Concerts, Stage Show	7920	Sec. 4-7.13 B													CC		
Convention, Trade Show	0000											Z	Z	Z	Z	Z	Z
Corn Maze, Hay Rides, and Similar Temporay Uses Associated with a Bona Fide Farm Operation	0000	Sec. 4-7.13 C	D														
Fireworks Stand	0000	Sec. 4-7.13 D												D			
Horse Show, Rodeo	7999															Z	Z
Outdoor Fruit and Vegetable Market, Seasonal	5431	Sec. 4-7.13 F	D											D	D		
Outdoor Religious Event	0000	Sec. 4-7.13 G										CC	CC	CC			
Temporary Construction, Storage or Office; Real Estate Sales or Rental Office (with concurrent building permit for permanent building)	0000		Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	

Z=Allowed by right

D=Allowed if development standards are met

E=Exempt

BA=Special use permit required from Board of Adjustment

CC=Special use permit required from City Council

4-1-1 Table of Permitted Uses																
02/04/08; amended 04/07/08, 05/03/10, 07/11/11, 08/05/13 04/07/14, 10/06/14; 07/09/18; 11/05/18; 03/04/19; 10/17/19		Ref.	Development	Zoning Districts												
		SIC	Standards	RA20	R20	R15	R12	R10	R8	R6	OI	B1	B2	B3	M1	M2
Temporary Construction Office or Security Residence		0000	Sec. 4-7.13 H	D	D	D	D	D	D	D						
Temporary Portable Storage Containers		0000	Sec. 4-7.13 K	D	D	D	D	D	D	D	D	D	D	D	D	
Temporary and Special Events not Listed Elsewhere		0000	Sec. 4-7.13 I								D	D	D	D	D	
Turkey Shoot		0000	Sec. 4-7.13 J												D D	
Yard Sale		0000		Z	Z	Z	Z	Z	Z	Z						
MISCELLANEOUS USES																
Adult Establishment**		0000	Sec. 4-7.14 B											CC		
Animal Shelter		0752												Z Z		
Billboard, Outdoor Advertising Sign		0000	Sec. 4-7.14 A											D D		
Planned Multiple Occupancy Group (Commercial, Office or Industrial)		0000	Sec. 4-7.14 C								CC	CC	CC	CC	CC CC	
Video Gaming Arcade		0000	Sec. 4-7.14 D										CC			
* Chapter 4 of the City of Mebane Ordinances regulates the keeping of certain animals within the corporate limits of the City of Mebane. Consequently, some animal operations may not be permissible within zoning districts that are located within the corporate limits.																
** Adult Establishment includes adult arcade, adult bookstore, adult video store, adult cabaret, adult motel, massage parlor, adult motion picture theater, adult theater, escort agency, sexual encounter studio, or any combination of the foregoing. See Definition in Article 12																

Z=Allowed by right

D=Allowed if development standards are met

E= Exempt

BA=Special use permit required from Board of Adjustment

CC=Special use permit required from City Council



AGENDA ITEM #6C

Street Closing Order- Portion of Burgess Drive

Meeting Date

February 1, 2021

Presenter

Lawson Brown, City Attorney

Public Hearing

Yes No

Summary

At last month's meeting the City Council adopted a Resolution of Intent and set a date of Public Hearing for February 1, 2021 after receiving a Street Closing Petition from Desco Mebane Partners, LLC. to close a portion of Burgess Drive.

Background

In 2018 the Council, pursuant to the developer's request, requested that NCDOT relinquish maintenance of this portion as to accomplish the planned development. NCDOT has relinquished maintenance of this portion, meaning the same passed to the City. The short portion which is the subject of the request, is surrounded by property owned exclusively by Desco. The short portion which is the subject of the request, is surrounded by property owned exclusively by Desco. Upon adoption of the Resolution last month, all requirements per G.S 160A-299 have been completed.

Financial Impact

None.

Recommendation

Staff recommends that Council approve the Street Closing Order That Portion of Burgess Drive as shown as that certain .993 acres "Area to Be Annexed Burgess Drive" in Plat Book 79, Page 161, Alamance County.

Suggested Motion

I move to approve the Street Closing order for That Portion of Burgess Drive as shown as that certain .993 acres "Area to Be Annexed Burgess Drive" in Plat Book 79, Page 161, Alamance County.

Attachments

1. Street Closing Order

Street Closing Order

A RESOLUTION ORDERING THE CLOSING OF THAT PORTION OF BURGESS DRIVE AS SHOWN AS THAT CERTAIN .993 ACRES "AREA TO BE ANNEXED BURGESS DRIVE" IN PLAT BOOK 79, PAGE 161, ALAMANCE COUNTY

WHEREAS, on the 6th day of January, 2021, the City Council of the City of Mebane directed the City Clerk to publish the Resolution of Intent of the City Council to consider closing that portion of Burgess Drive as shown as that certain .993 Acre Area to Be Annexed Burgess Drive in Plat Book 79, Page 161, Alamance County Registry in the Mebane Enterprise Newspaper once each week for four successive weeks, such resolution advising the public that a meeting would be conducted virtually via a Zoom meeting, on February 1, 2021 at 6:00 o'clock p.m.; and

WHEREAS, the City Council of the City of Mebane on the 6th day of January, 2021, ordered the City Clerk to notify all persons owning property abutting on That portion of Burgess Drive as shown as that certain .993 Acre Area to Be Annexed Burgess Drive in Plat Book 79, Page 161, Alamance County Registry, by registered or certified mail, enclosing with such notification a copy of the Resolution of Intent; and

WHEREAS, the City Clerk has advised the City Council that she sent a letter to each of the abutting property owners advising them of the day, time and place of the meeting, enclosing a copy of the Resolution of Intent, and advising the abutting property owners that the question as to closing That portion of Burgess Drive as shown as that certain .993 Acre Area To Be Annexed Burgess Drive in Plat Book 79, Page 161, Alamance County Registry would be acted upon, said letters having been sent by registered or certified mail; and

WHEREAS, the City Clerk has advised the City Council that adequate notices were posted on the applicable street(s) as required by NCGS § 160A-299; and

WHEREAS, after full and complete consideration of the matter and after having granted full and complete opportunity for all interested persons to appear and register any objections that they might have with respect to the closing of said street in the public hearing held on February 1, 2021 at 6:00 p.m.; and

WHEREAS, it now appears to the satisfaction of the City Council that the closing of said street is not contrary to the public interest, and that no individual owning property, either abutting the street or in the vicinity of the street or in the subdivision in which the street is located, will as a result of the closing be thereby deprived of a reasonable means of ingress and egress to his or her property;

NOW, THEREFORE, that portion of Burgess Drive as shown as that certain .993 Acre "Area to Be Annexed Burgess Drive" in Plat Book 79, Page 161, Alamance County Registry, is hereby ordered closed, and all right, title, and interest that may be vested in the public to said area for street purposes is hereby released and quitclaimed to the abutting property owners in accordance with the provisions of NCGS § 160A-299. The Mayor and the City Clerk are hereby authorized to execute quitclaim deeds or other necessary documents in order to evidence vesting of all right, title and interest in those persons owning lots or parcels of land adjacent to the street, such title, for the width of the abutting land owned by them, to extend to the centerline of the herein closed street with provision for reservation of easements to the City of Mebane as necessary for utility purposes in accordance with the provisions of G.S. 160A -299).

The City Clerk is hereby ordered and directed to file in the Office of the Register of Deeds of Alamance County a certified copy of this resolution and order. Upon Motion duly made by Councilmember _____ and duly seconded by Councilmember _____, the above resolution was duly adopted by the City Council during a virtual meeting held via Zoom on the 1st day of February, 2021, in the City Hall. Upon a vote the following Council member voted in the affirmative:

This the 1st day of February, 2021, at 6:00 p.m.

Ed Hooks, Mayor

ATTEST:

Stephanie W. Shaw, City Clerk

NORTH CAROLINA
ALAMANCE COUNTY

I hereby certify that the foregoing is a true and accurate copy of a resolution duly adopted by the City Council of the City of Mebane, North Carolina, at a virtual meeting held on February 1, 2021, at 6 o'clock p.m. via Zoom meeting. IN WITNESS WHEREOF, I have hereunto set my hand and have caused the official corporate seal of said City to be affixed, this the day 1st day of February, 2021.

City Clerk

NORTH CAROLINA
ALAMANCE COUNTY

I, _____, a Notary Public, do hereby certify that Stephanie W. Shaw, City Clerk, personally appeared before me this day and acknowledged the due execution of the foregoing certification, for the purposes therein expressed. WITNESS my hand and notarial seal this _____ day of _____, 2021.

Notary Signature

Notary Public My Commission Expires:



AGENDA ITEM #6D

VAR 21-02

Variance –
Accessory Dwelling Unit
306 N. Wilba Road

Presenter

Cy Stober, Development Director

Applicant

Robert A. & Marlo W. Countiss
306 N. Wilba Rd
Mebane, NC 27302

Public Hearing

Yes No

Exhibit Map



Property

306 N. Wilba
Road Alamance
County GPIN
9815956207

Proposed Zoning

N/A

Current Zoning

R-12

Size

+/-15,754 SF

Surrounding Zoning

R-12

Surrounding Land Uses

Residential

Utilities

Present

Floodplain

No

Watershed

Yes

City Limits

Yes

Summary

Robert & Marlo Countiss are requesting a variance for the property at 306 N. Wilba Rd., from

- 1) the minimum building separation, and
- 2) lot size requirements to allow for an accessory dwelling unit

in an existing, second-level space above a detached two-car garage on the property. The existing conditions on the lot meet all other accessory dwelling unit development standards in the Mebane Unified Development Ordinance (UDO).

Section 4-7.4.A(3) of the Mebane UDO requires a minimum lot area of 18,000 ft² for R-12 lots that contain a principal dwelling and a detached accessory dwelling. The lot area of 306 N. Wilba Rd. is 15,754 ft².

The Mebane UDO Section 4-7.4.A(3) also requires detached accessory dwelling units to be located a minimum of 20 feet from the principal dwelling. The existing detached garage structure is located 18 feet from the principal dwelling.

The City Attorney and Development Director may grant *de minimis* variances for requests that are less than a 5% deviation from a development standard set in the Mebane UDO but both requests fail to meet this threshold.

Financial Impact

N/A, though the proposed improvement will likely enhance the property's tax assessed value

Recommendation

N/A

Variance requests are at the discretion of the Board of Adjustment (BOA), as they represent a request for relief from the Mebane UDO due to a hardship with the properties. The undue burden placed by the hardship is the responsibility of the applicant to prove and the BOA to judge.

Suggested Motion

1. Motion to approve the variance request as presented due to the hardships present on this property.

OR

2. Motion to deny the variance request as presented.

Attachments

1. Variance Request Application & Surveyed Plot



Application for Zoning Variance/Appeal City of Mebane

VARIANCE/APPEAL

A variance from the Mebane Zoning Ordinance or an appeal from the decisions of the Zoning Enforcement Officer may be taken to the Board of Adjustment by any person aggrieved, or by an officer, department, board or bureau of the City affected by such decision. Such appeal shall be taken within a reasonable time as provided by the rules of the board of Adjustment by filing with the Zoning Enforcement Officer a notice of appeal specifying the grounds thereof.

NOTICE

At least one week prior to the date of the hearing the City of Mebane shall mail a written notice of the bearing to all adjoining property owners and a suitable notice will be published in the local paper. Hearings are scheduled at the appropriate Mebane City Council meeting. The Mebane City Council meets the first Monday of each month.

A variance petition is hereby made to the Mebane Board of Adjustment as follows:

Name of Applicant: Robert A. Countiss & Marlo W. Countiss

Address of Applicant: 306 N. Wilba Rd Mebane, NC 27302

Phone Number(s): (336) 269-3166-RAC (336) 269-5292-MWC

Address and brief description of the property involved in the request: 306 N Wilba Rd

Existing single family one level home with detached 2-gar garage with finished space on second level.

The survey of the lot shows that the lot size is 15754 SF

Applicant's interest in the property (Owned, Leased, etc.): Owned

Type of Variance or Appeal and reason: Accessory Dwelling Unit is required to

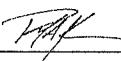
be 20' from the main residence. The existing garage is located approximately 18.75' from the

main residence. Request variance for the distance requirement and lot size requirement.

(150% of zoning for lot zoned R12 is 18000 SF) The lot is approx 12% short of conforming.

All applications should include:

1. A sketch or map of the property clearly illustrating the request
2. The current names and mailing addresses of anyone owning property within 300 feet of the subject property.
3. A fee of \$200 to cover administrative costs.

Signed: 

Date: December 30, 2020

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 3661 PAGE 515 OR OTHER REFERENCE SOURCE ; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK , PAGE OR OTHER REFERENCE SOURCE ; THAT THE RATION OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600)."

THIS 18th DAY OF DECEMBER 2020

Robert S. Jones
PROFESSIONAL LAND SURVEYOR



LEGEND

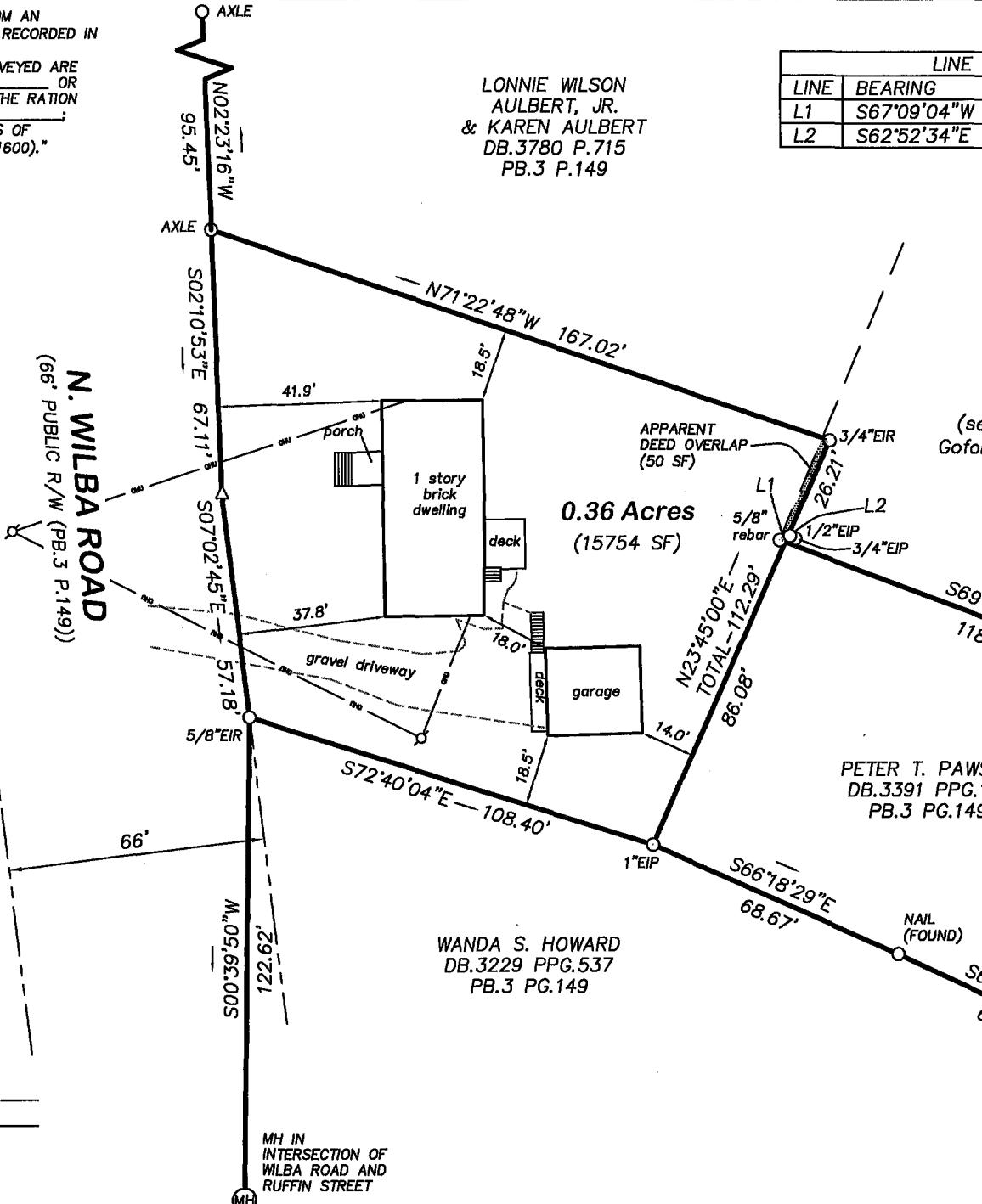
These standard symbols will be found in the drawing.

- UTILITY POLE.....
- EXISTING IRON ROD.....
- PK NAIL.....
- EXISTING IRON PIPE.....
- 1/2" IRON PIPE SET.....
- STONE FOUND.....
- CONCRETE MONUMENT.....
- COMPUTED POINT.....
- OVERHEAD ELECTRIC.....
- RIGHT OF WAY.....

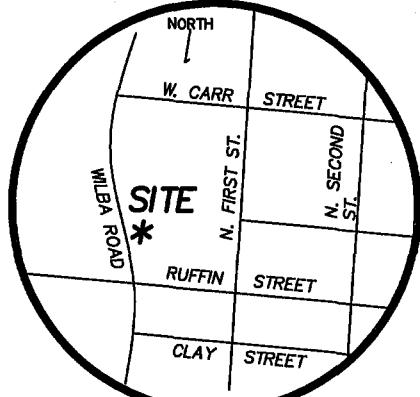
0 40 80 120



GRAPHIC SCALE



LINE TABLE		
LINE	BEARING	DISTANCE
L1	S67°09'04"W	2.84'
L2	S62°52'34"E	1.48'



VICINITY MAP (NOT TO SCALE)

REFERENCES
DB.3661 P.815
PB.3 P.149
GPN: 9815956207
PID: 207-819-27

CURRENT OWNER:
DAWN S. TALLEY
306 N. WILBA ROAD
MEBANE, NC 27302

SURVEY FOR:
**ROBERT A. COUNTISS
AND
MARLOW W. COUNTISS**

SCALE: 1" = 40'
MELVILLE TWP - ALAMANCE CO., N.C.
DATE: DECEMBER 11, 2020

R.S. JONES & ASSOCIATES, INC.
LAND SURVEYORS
LICENSE NO.: C-2565
201 WEST CLAY STREET
MEBANE, N.C. 27302
PH: (919)563-3623 FAX: (919)563-0086



AGENDA ITEM #6E

VAR 21-01

Variance – restricted uses,
Mebane 5th Street Shopping
Center, S NC Hwy 119

Presenter

Cy Stober, Development Director

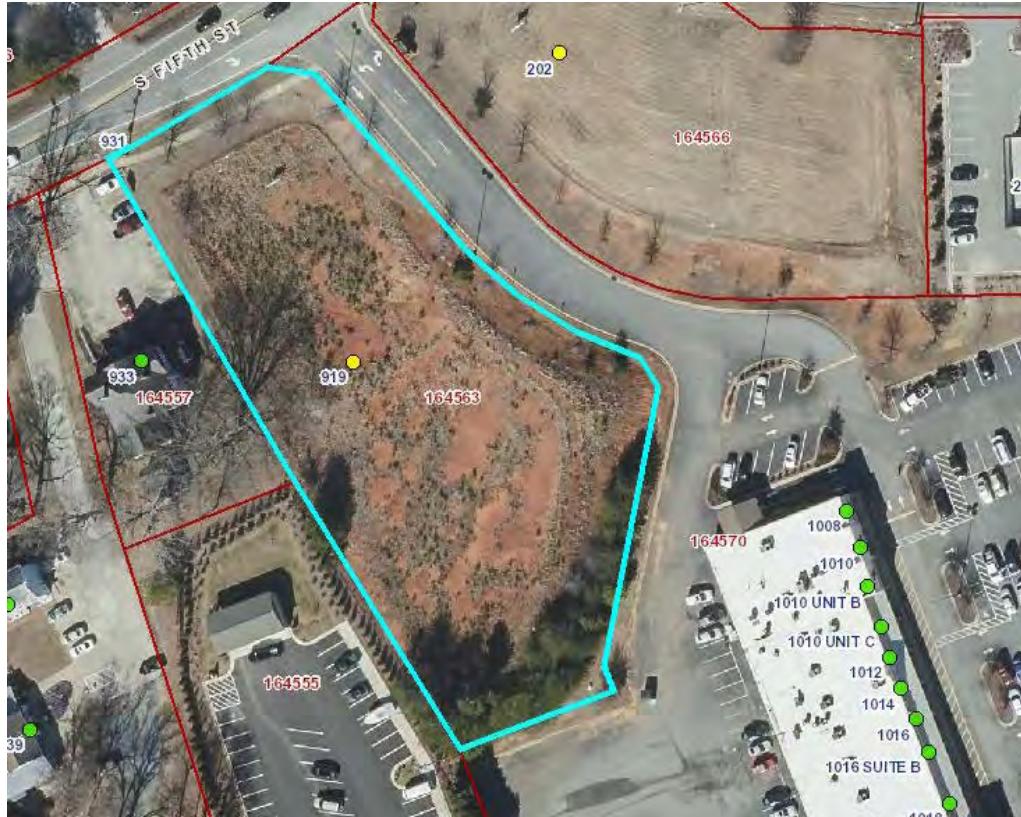
Applicant

PT Greenland LLC
1648 Memorial Drive
Burlington, NC 27215

Public Hearing

Yes No

Exhibit Map



Property

S NC Hwy 119
Road Alamance
County GPIN
9814861392

Proposed Zoning

N/A

Current Zoning

B-2

Size

+/ 1.54 Acres

Surrounding Zoning

R-8, R-6, B-2, B-2
w/ SUP, B-2(CD)

Surrounding Land Uses

Multifamily
Residential,
Office, Shopping
Center

Utilities

Present

Floodplain

No

Watershed

No

City Limits

Yes

Summary

PT Greenland, LLC, requests a variance to allow for four (4) uses otherwise prohibited for the proposed Mebane 5th Street Shopping Center development. The proposed shopping center is less than 15,000 ft² and is classified as a Multi-tenant Building or Neighborhood Shopping Center per the Mebane UDO. Per section 4-7.8.1 of the Mebane UDO, the development standards for Multi-tenant Buildings/Neighborhood Shopping Centers prohibit 36 building uses. The applicant is seeking relief from the following prohibited uses:

- Laundromat, Coin-Operated or Card
- Restaurant (drive-in or take-out window only)
- Restaurant (with drive-through)
- Physical Fitness Center, Training Center

The site plan for the proposed shopping center has otherwise been reviewed and approved by the City of Mebane Technical Review Committee for conforming with the City's development standards.

Financial Impact

N/A

Recommendation

N/A

Variance requests are at the discretion of the Board of Adjustment (BOA), as they represent a request for relief from the Mebane UDO due to a hardship with the properties. The undue burden placed by the hardship is the responsibility of the applicant to prove and the BOA to judge.

Suggested Motion

1. Motion to approve the variance request as presented due to the hardships present on this property.

OR

2. Motion to deny the variance request as presented.

Attachments

1. Variance Request Application
2. Mebane 5th Street Shopping Center Site Plan



Application for Zoning Variance/Appeal City of Mebane

VARIANCE/APPEAL

A variance from the Mebane Zoning Ordinance or an appeal from the decisions of the Zoning Enforcement Officer may be taken to the Board of Adjustment by any person aggrieved, or by an officer, department, board or bureau of the City affected by such decision. Such appeal shall be taken within a reasonable time as provided by the rules of the board of Adjustment by filing with the Zoning Enforcement Officer a notice of appeal specifying the grounds thereof.

NOTICE

At least one week prior to the date of the hearing the City of Mebane shall mail a written notice of the hearing to all adjoining property owners and a suitable notice will be published in the local paper. Hearings are scheduled at the appropriate Mebane City Council meeting. The Mebane City Council meets the first Monday of each month.

A variance petition is hereby made to the Mebane Board of Adjustment as follows:

Name of Applicant: PT GREENLAND, LLC

Address of Applicant: 1648 Memorial Drive
BURLINION NC 27215

Phone Number(s): _____

Address and brief description of the property involved in the request: _____

South 5th Street Shopping Center

Applicant's interest in the property (Owned, Leased, etc.): Owner

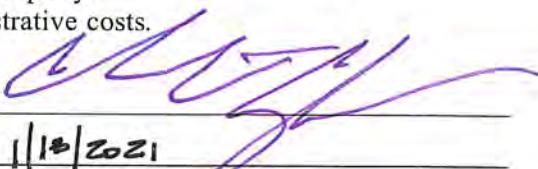
Type of Variance or Appeal and reason: SEE ATTACHED

VARIANCE FOR CITY OF MEbane

MDO, ARTICLE 4.7-8-I-2.a.1 (pp 100-101)

All applications should include:

1. A sketch or map of the property clearly illustrating the request
2. The current names and mailing addresses of anyone owning property within 300 feet of the subject property.
3. A fee of \$200 to cover administrative costs.

Signed: 

Date: 1/18/2021

Mebane South 5th Street Shopping Center Variance Items 1-12-2021:

Seeking relief from the prohibited uses listing for multi-tenant building neighborhood shopping center less than 15,000 sf. as found in Mebane UDO, Article 4-7-8- I-2-a.1 (pages 100 and 101

Allowing the following uses as well as those permitted uses for the underlying City of Mebane Zoning District B-2 for Parcel ID 164563:

Restaurant (drive-in or take-out window only)

Restaurant (with drive-through)

Physical Fitness Center, Training Center

Laundromat (coin or card operated)

GPIN	AKPAR_	PID	OWNAM1	OWNAM2	OWADR1	OWCITY	OWSTA	OWZIPA	AKPARP
8857399302	9814755966	164339 10-22-49AO	KEystone GROUP INC		3708 ALLIANCE DRIVE	GREENSBORO	NC	27407	
98147553261	164358 10-22-49AI	KEystone GROUP INC			3708 ALLIANCE DRIVE	GREENSBORO	NC	27407	
9814755428	164365 10-19A202	HEWETT JACQUELINE			954 S FIFTH ST	MEBANE	NC	27302	
9814756448	164366 10-19A203	SPEAS RUBY G LIFE ESTATE			546 ANNA DRIVE	MEBANE	NC	27302	
9814756479	164367 10-19A204	CARTER BONNIE SUE			950 SOUTH FIFTH ST	MEBANE	NC	27302-322	
9814766634	164368 10-19A-82	PORTERFIELD STEPHEN KEITH & ST			104 EDINBOROUGH DR	MEBANE	NC	27302	
9814766793	164369 10-19A-83	ANATRA ELISA W			106 EDINBOROUGH DR	MEBANE	NC	27302	
98147688201	164370 10/22/1962	TARHEEL BLUE LLC			943 S FIFTH ST	MEBANE	NC	27302	
98147688519	164371 10-19A143	LLOYD ALIN KATHY			940 S FIFTH ST	MEBANE	NC	27302	
98147688525	164372 10-19A145	NOWICKI MICHAEL J JR			1014 COLLINS MOUNTAIN RD	CHAPEL HILL	NC	27516-855	
98147688527	164373 10-19A144	BRADY KEVIN E			4975 SNOW CAMP RD	GRAHAM	NC	27253	
98147688532	164374 10-19A147	JACOBS JOHN			948 S FIFTH ST	MEBANE	NC	27302	
98147688534	164375 10-19A146	PICKETT PERRY M			2276 ROCK BRIDGE DR	MEBANE	NC	27302-888	
98147688588	164376 10-19A-79	BROOKHOLLOW TOWNHOUSES HOA INC			940 S FIFTH ST	MEBANE	NC	27302	
98147688666	164377 10-19A142	WATTS SCOTT K			938 S FIFTH ST	MEBANE	NC	27302	
98147688687	164378 10-19A141	MANNING CLAUDIA VINCENT			4888 N NC HIGHWAY 49	BURLINGTON	NC	27217-859	
98147688729	164379 10-19A-84	PHEIRIM ERNEST			108 EDINBOROUGH DRIVE	MEBANE	NC	27302	
9814768903	164380 10-19A187	SANTOS ANIBAL A & MARIA E			110 EDINBOROUGH DR	MEBANE	NC	27302	
9814769185	164381 10/22/1963	BUCKNER LYNN A & ANN H			PO BOX 609	CHICKAMAUGA	GA	30707	
9814769313	164382 10/22/1961	FAIRPORT LLC			2616 LONDON DR	RALEIGH	NC	27608-111	
9814769608	164383 10-19A140	MCGHEE KAREMA			934 S FIFTH ST	MEBANE	NC	27302	
9814769618	164384 10-19A139	JAHOO JULIAN			237 AIRLIE DRIVE	CHAPEL HILL	NC	27516	
9814769639	164385 10-19A138	VINCENT WILLIAM MURRAY			5452 NC 49 N	MEBANE	NC	27302	
9814769985	164386 10-19-23B	ITAC 347 LLC			PO BOX 428	ELON	NC	27244	
9814831716	164555 10/22/1949	KEYSTONE AT MEBANE OAKS LLC			3708 ALLIANCE DRIVE	BURLINGTON	NC	27407	
9814860345	164557 10/22/1960	PARKER SAMUEL J !!!			2209 TEAL COURT	MEBANE	NC	27215	
9814860628	164558 10-19A136	PHILLIPS CYNTHIA LANE			926 S FIFTH ST	MEBANE	NC	27302	
9814860637	164559 10-19A135	SINGLEY KENNETH CARL TR			924 S FIFTH ST	MEBANE	NC	27302	
9814860646	164560 10-19A134	FORTNER TANYA C			922 S FIFTH ST	MEBANE	NC	27302	
9814860654	164561 10-19A133	FAUCETTE TYLER S			508 EDGEWOOD COURT	BURLINGTON	NC	27215	
9814860700	164562 10-19A137	FAUCETTE TYLER S			928 S FIFTH STREET	MEBANE	NC	27302	
9814861392	164563 10/22/1970	PT GREENLAND LLC			1648 MEMORIAL DR	BURLINGTON	NC	27215	
9814862907	164565 10-19-23A	DOGWOOD SWIMMING & REC CLUB			PO BOX 942	MEBANE	NC	27302	
9814864426	164566 10/22/1936	SEA INVESTMENTS LLC			202 FIELDALE ROAD	MEBANE	NC	27302	
9814864607	164567 10/22/1947	BARTS DANNYL			915 S FIFTH ST	MEBANE	NC	27302-937	
9814864692	164568 10/22/1938	WRENN REAL ESTATE LLC			2741 N NC HWY 119	MEBANE	NC	27302	
9814864795	164569 10-22-47B	HUNTLEY CLIFFORD WILLIAM			911 S FIFTH ST	CHARLOTTE	NC	28217	
9814865075	164570 10/22/2022	MEBANE FEE OWNER LLC			3735-B BEAM ROAD	MEBANE	NC	27502	
9814866477	164573 10/22/1935	MEBANITE LLC			206 FIELDALE ROAD	RALEIGH	NC	27615	
9814866696	164574 10/22/1939	4 POINTS OF NC 2 INC			120 WIND CHIME COURT				

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timelines	
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7
(b) High Quality Water (HQW) Zones	7
(c) Slopes steeper than 3:1	7
(d) Slopes 3:1 to 4:1	14
(e) Areas with slopes flatter than 4:1	14

Timeframe variations

(a) Perimeter dikes, swales, ditches, and perimeter slopes

(b) High Quality Water (HQW) Zones

(c) Slopes steeper than 3:1

(d) Slopes 3:1 to 4:1

(e) Areas with slopes flatter than 4:1

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization

Permanent Stabilization

- Temporary grass seed covered with straw or other mulches and tackifiers
- Hydroseeding
- Rolled erosion control products with or without temporary grass seed
- Appropriately applied straw or other mulch
- Plastic sheeting

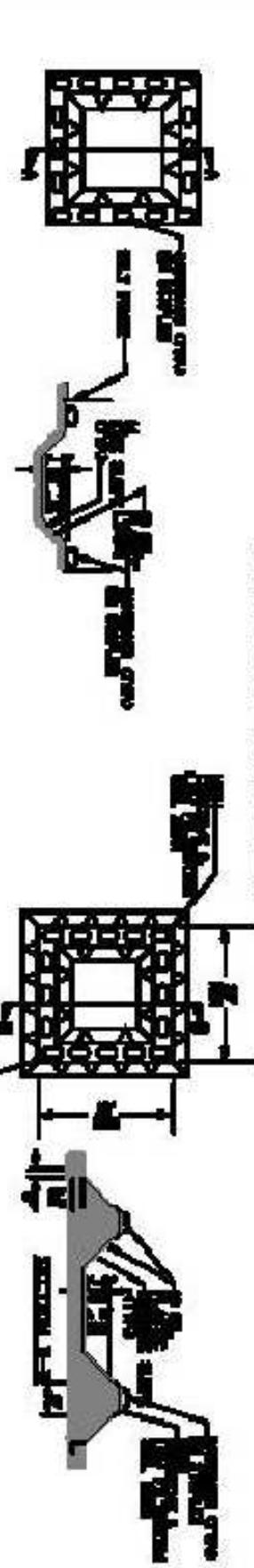
POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWRR List of Approved PAM/Flocculants*.
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3. Apply flocculants at the concentrations specified in the *NC DWRR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
4. Provide ponding area for containment of treated Stormwater before discharging offsite.
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

DESIGN CONCRETE WASHOUT STRUCTURE WITH LINER



PORTABLE TOILETS

1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands, unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material.
4. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from containers over-flow.
6. Do not use concrete washouts for de-watering or storing defective curb or sidewalk sections. Storm water accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

EARTHEN STOCKPILE MANAGEMENT

1. Show stockpile locations on plans. Locate earthen-mate trial stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

HERBICIDES, PESTICIDES AND RODENTICIDES

1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
4. Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NC G01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

Charlotte
2024
PROJECT
2024
DRAFT

2024
PROJECT NUMBER
PROPOSAL NUMBER
Erosion Control
Stormwater
State Required
Sheets
1/2
2024
NORTH
CAROLINA
DEPARTMENT OF
ENVIRONMENTAL
QUALITY
2024
PROJECT
2024
DRAFT

THE L.E.A.D.S. GROUP, P.A.
505 EAST DAVIS STREET
BURLINGTON, NC 27215
Phone: (336) 222-9917
Fax: (336) 222-9917
CRA 1939
Land Engineering And Development Services

PROJECT
MEBANE 5TH STREET
SHOPPING CENTER
City of Mebane
Alamance County, North Carolina

8-20-2020
N.C.
DEQ
DOE/DOE USA
4a
8

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days [ancc t will determine if a site inspection is needed]. Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDCs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the discharge, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands on site or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division.
(6) Ground stabilization measures	After each phase of grading 24 hours	1. The phase of grading, installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover, 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART II, SECTION G, ITEM (4)

DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items.
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit.
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above.
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance.
(b) Oil spills and releases of hazardous substances per item	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses of 40 CFR 122.41(m)(3)	<ul style="list-style-type: none"> • A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses of 40 CFR 122.41(m)(3)	<ul style="list-style-type: none"> • Within 2 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment[40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the noncompliance and its causes, the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6), • Division staff may waive the requirement for a written report on a case-by-case basis.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOL and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

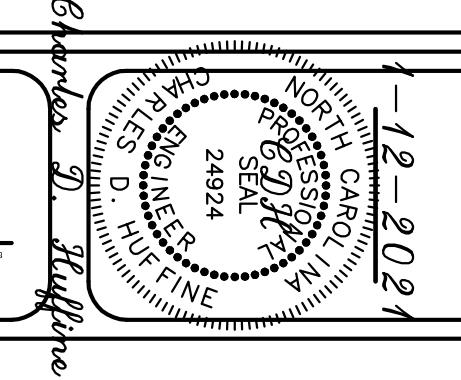
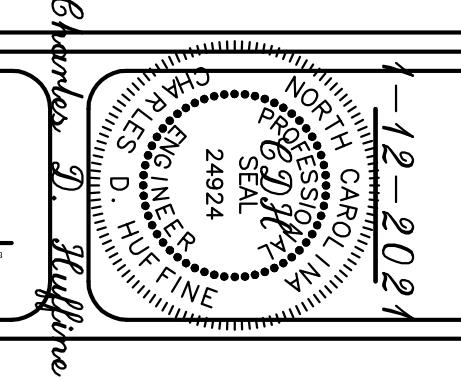
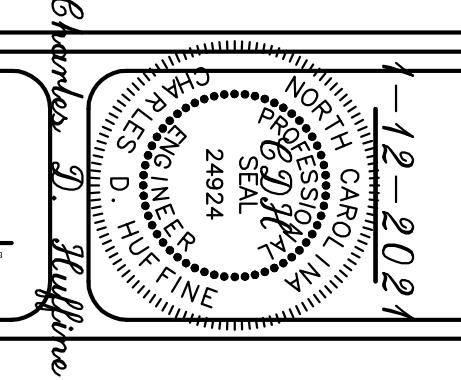
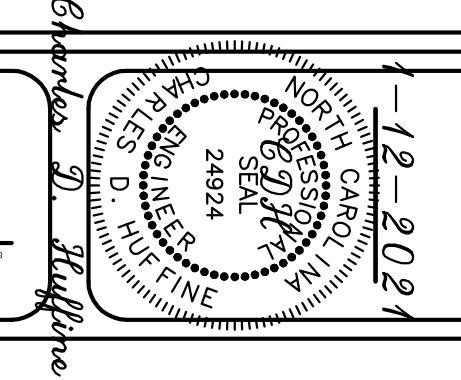
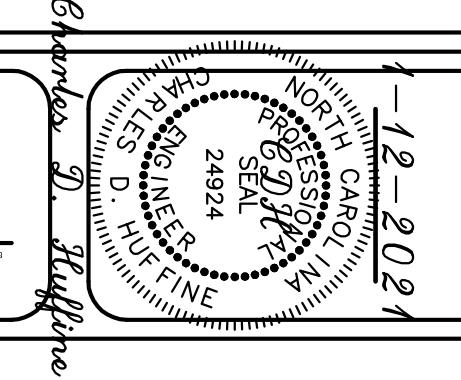
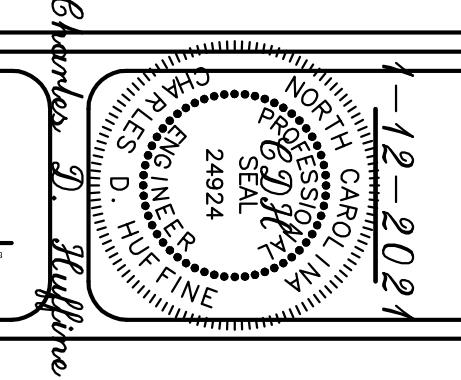
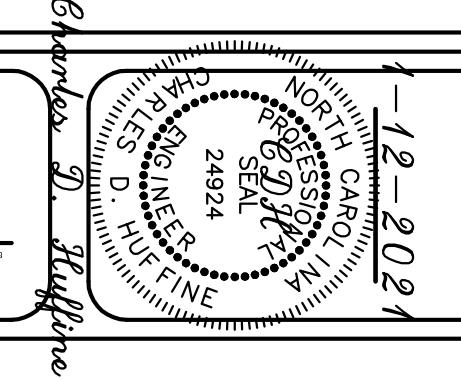
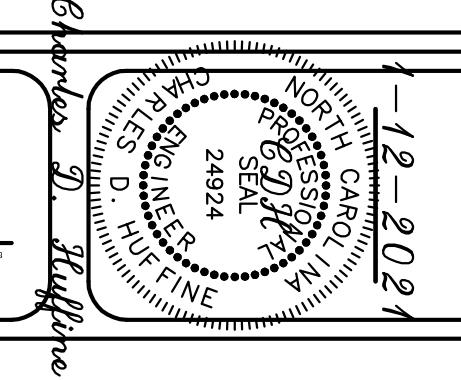
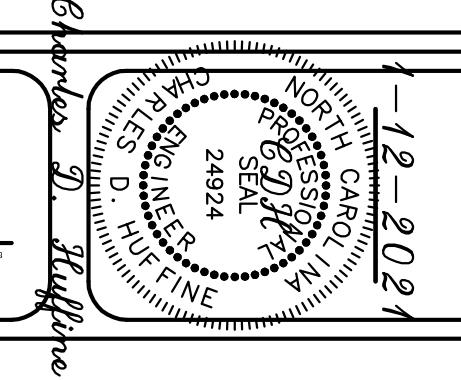
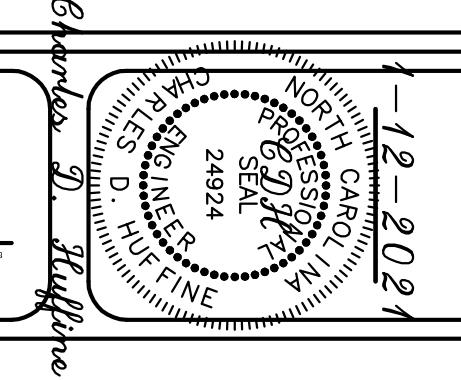
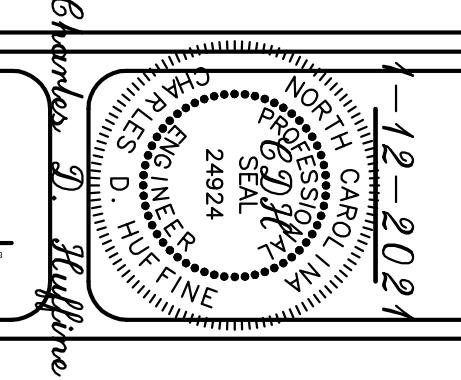
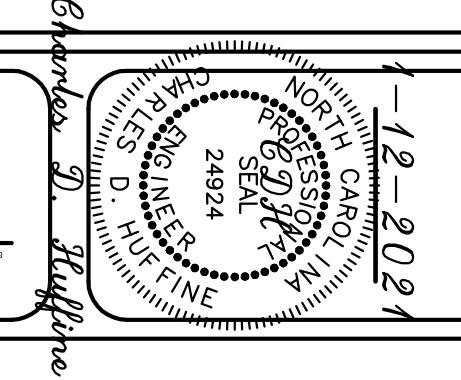
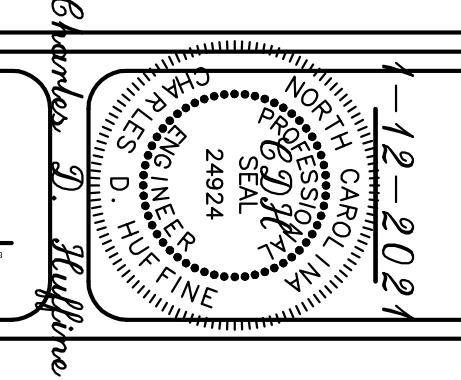
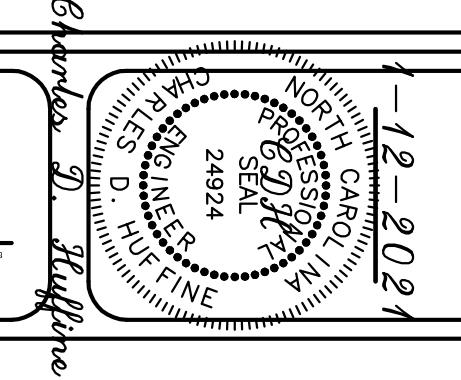
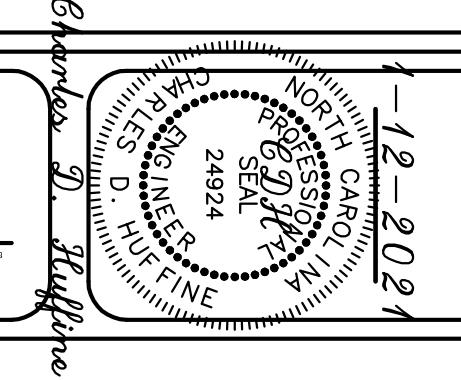
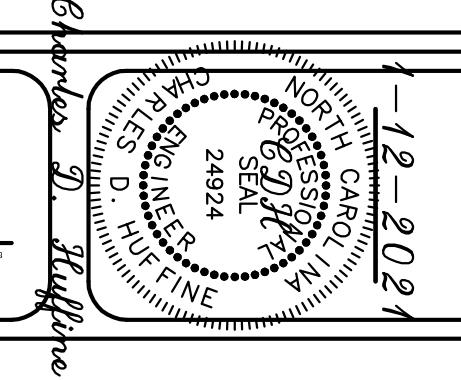
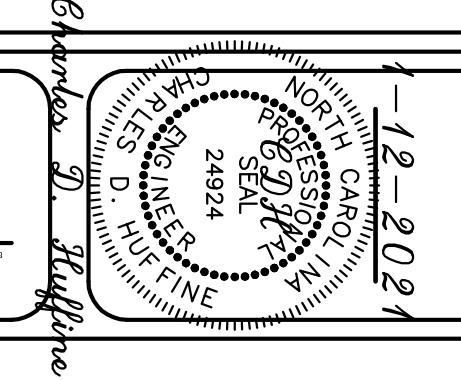
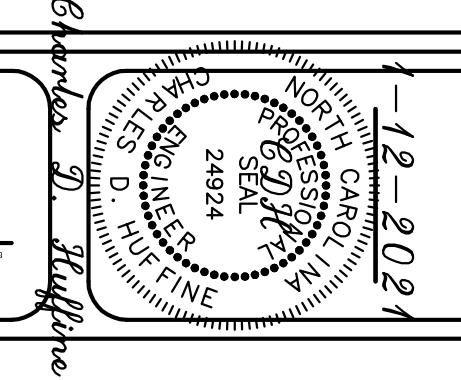
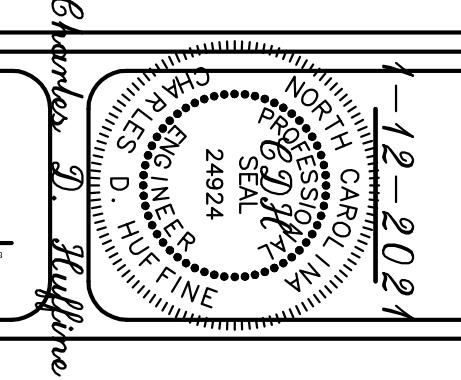
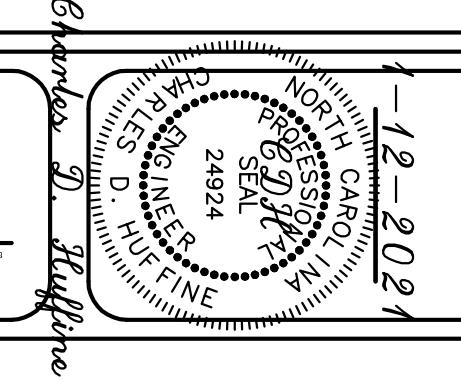
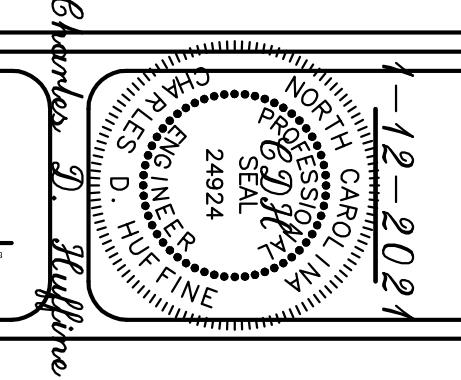
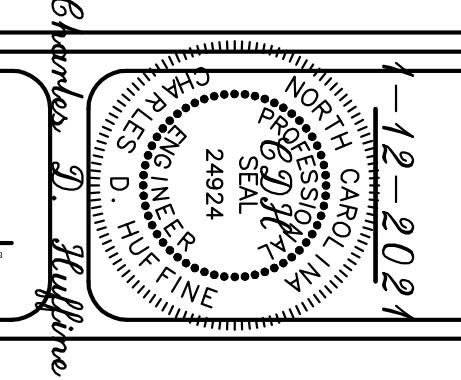
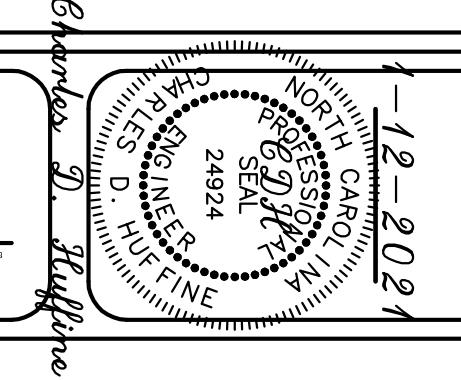
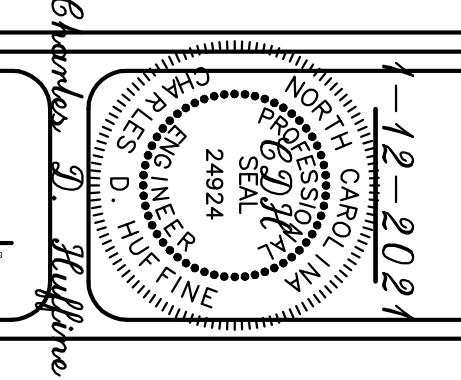
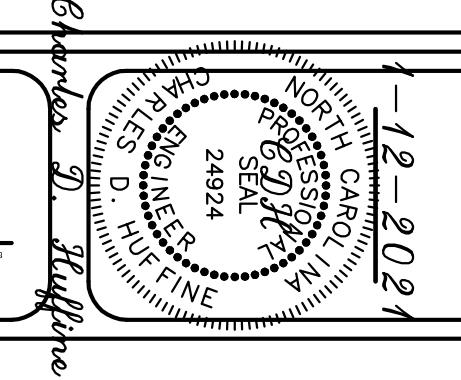
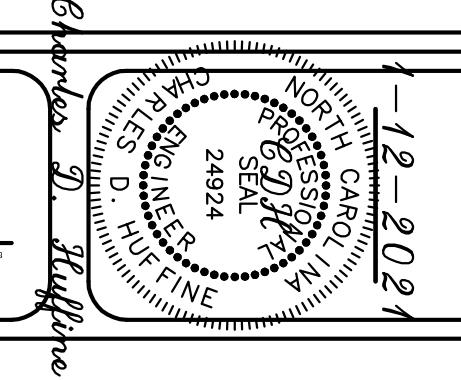
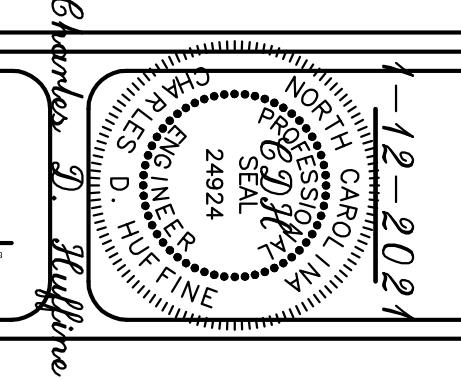
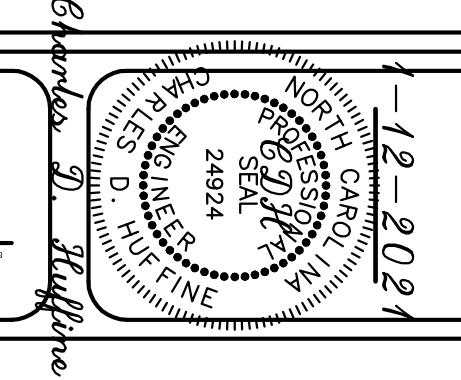
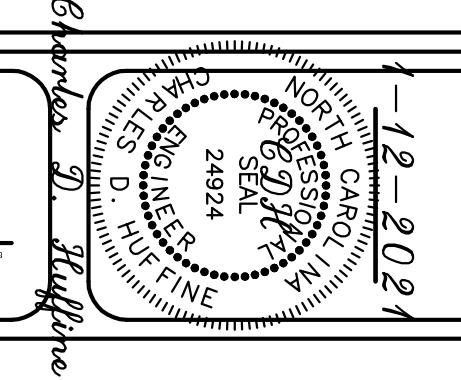
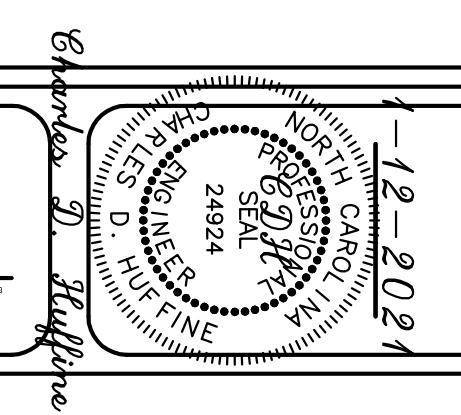
SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).

8-2-2020
N.C.
DEQ
Division of Water Quality

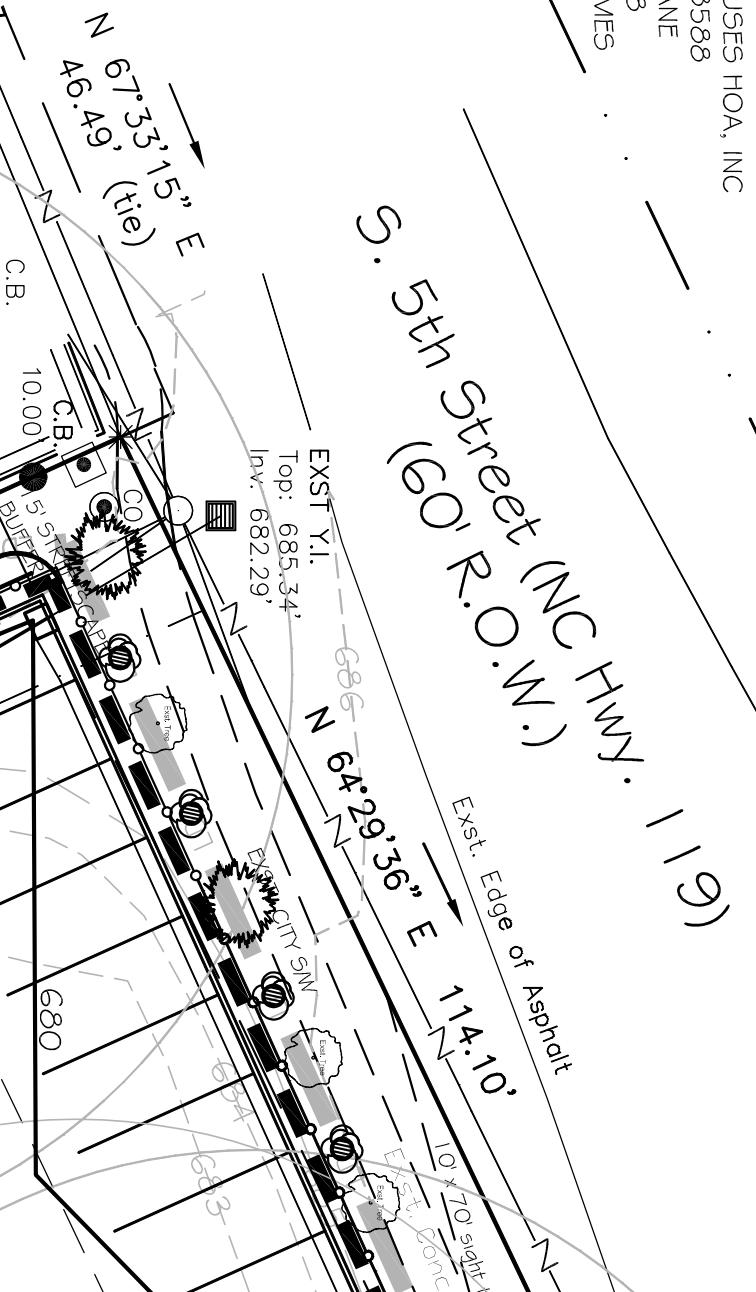


MINIMUM BUILDING SETBACKS
Per City of Mebane UDO, Article 4:
Front Setback - 40'
Side Setback - 0' or 5'
Rear Setback - 30'

City of Mebane Zoning: B-2 General Business
Plat Reference: Book 61, Page 17

BROOKHOLLOW TOWNHOUSES HOA, INC
GPN: 981476588
CITY OF MEBANE
ZONING: R-8
USE: TOWNHOMES

5. 5th Street (NC Hwy. 119)
(O.R.O.W.)



PARCEL DATA
Alamance County Tax Information
PIN Information: 9814861392
Parcel ID: 164563
City of Mebane Zoning: B-2
Parcel Address: 5 NC Hwy 119, Mebane, NC
(Unaddressed)
Township: Melville
Parcel Owner: PT Greenland, LLC
Deed Reference: Book 3174, Page 296
Plat Reference: Book 61, Page 17

Landscaping Vegetation Site Notes:
All proposed landscaping shall meet requirements in The City of Mebane
UDO Section 6-3 Landscaping, Buffers, and Screening.
Canopy Trees Minimum Size 2.5' Diameter and 10' tall at time of planting.
Undersize Trees Minimum Size 2.0' Diameter and 8' tall at time of planting.
All Shrubs 3' gallon size and 24" height at time of planting.
Note: Shrubs shall be evergreen.
Canopy Tree / Sidewalk Dimensional Constraint:
Node Street Trees shall be planted not less than 5' from the back of the
proposed sidewalk.

Landscaping Notes: VUA (Vehicular Use Area) on plan, to be planted
within 60' of parking stalls.

Landscaping Table:
Category (Required/Provided) Understory (Required/Provided)
Shrubs (Required/Provided)
Category (Required/Provided) Understory (Required/Provided)
Shrubs (Required/Provided)
Category (Required/Provided) Understory (Required/Provided)
Shrubs (Required/Provided)

LANDSCAPING TABLE:
Category (Required/Provided) Understory (Required/Provided)
Shrubs (Required/Provided)
Category (Required/Provided) Understory (Required/Provided)
Shrubs (Required/Provided)
Category (Required/Provided) Understory (Required/Provided)
Shrubs (Required/Provided)

LANDSCAPING SPECIES SELECTION:
The contractor shall supply the City with the proposed plant list for approval prior to planting, as applicable. Plantings may
change due to the season and time of planting.

CONTRACTORS NOTES:
1. The contractor shall verify the location of all existing utilities prior to beginning
construction. Locations of existing utilities shown on the plan are based on best
available information, but can only be considered approximate.
2. The City of Mebane shall review and approve construction drawings prior to
construction. Any conflicts should be reported to the project engineer immediately for
review prior to beginning construction. It shall be the owner's responsibility to obtain all
required approvals and permits from agencies governing this work prior to any
construction.
3. Construction and location of sidewalk, slopes, landings, approaches, ramps, and
accessible routes shall be in accordance with the ANSI 2009 Handicap Code or latest
Accessibility Code revision or applicable PROWAG standards.
4. Contractor shall contact project engineer to observe formwork for site curb,
concrete sidewalks, and other items as well as string lines or other controls prior to the
placement of concrete, setting base course stone, or the placement of asphalt.

Landscaping Vegetation Site Notes:
The contractor shall supply the City with the proposed plant list for approval prior to planting, as applicable. Plantings may
change due to the season and time of planting.

LANDSCAPING SPECIES SELECTION:
The contractor shall supply the City with the proposed plant list for approval prior to planting, as applicable. Plantings may
change due to the season and time of planting.

CONTRACTORS NOTES:
1. The contractor shall verify the location of all existing utilities prior to beginning
construction. Locations of existing utilities shown on the plan are based on best
available information, but can only be considered approximate.

2. The City of Mebane shall review and approve construction drawings prior to
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review prior to beginning construction. It shall be the owner's responsibility to obtain all
required approvals and permits from agencies governing this work prior to any
construction.
3. Construction and location of sidewalk, slopes, landings, approaches, ramps, and
accessible routes shall be in accordance with the ANSI 2009 Handicap Code or latest
Accessibility Code revision or applicable PROWAG standards.

4. Contractor shall contact project engineer to observe formwork for site curb,
concrete sidewalks, and other items as well as string lines or other controls prior to the
placement of concrete, setting base course stone, or the placement of asphalt.

General Notes:

1. All construction methods and materials shall conform to the NCDOT, NC DENR Erosion
Control, City of Mebane Standard Specifications & Details, and the NC Plumbing Code.
2. Boundary, topographic data, and existing feature information obtained from a survey
prepared by Boswell Surveyors, Inc. Burlington, North Carolina (Job Number:
20-21-10-300).

3. Water service is proposed via a 2" tie to existing water main as shown on the plan.
4. Sanitary sewer service is proposed via a 4" tie to existing sanitary sewer sewer service
sub as shown on the plan.

5. New connections to the City water and/or City sanitary sewer system shall be done by
licensed contractors with public utility licenses.

6. The contractor shall meet with the public works department prior to making any
connections to the City water and/or City sanitary sewer systems to review installation
procedures.

7. Exact size and location of all applicable utilities and easements to be field verified
to construction.

8. Contact the project engineer immediately with any conflicts regarding the design or
construction of the project. All field adjustments shall be verified by the project
engineer prior to construction.

9. Construction and location of sidewalk, slopes, landings, approaches, ramps, and
accessible routes shall be in accordance with the ANSI 2009 Handicap Code or latest
Accessibility Code revision or applicable PROWAG standards.

10. Contractor shall contact project engineer to observe formwork for site curb, concrete
sidewalks, and other items as well as string lines or other controls prior to the
placement of concrete, setting base course stone, or the placement of asphalt.

11. Compaction of fill materials, approval of residual subgrade, soil proof rolls, stone
placement, and/or other materials testing functions shall be in accordance with the
project geotechnical engineer's guidance, specifications, recommendations, and testing
standards.

KEYSTONE AT MEBANE OAKS LLC
GPN: 9814851716
CITY OF MEBANE
ZONING: R-6
USE: APARTMENTS

SEA INVESTMENTS, LLC
202 FIELDFARE ROAD
MEBANE, NC 27302
GPN: 9814864426
CITY OF MEBANE
ZONING: B-2W/SUP
USE: OFFICE

SEA INVESTMENTS, LLC
18,700 sf open space
67,083 sf, parcel area
27.8% Open Space

LANDSCAPE LEGEND

CANOPY TREE

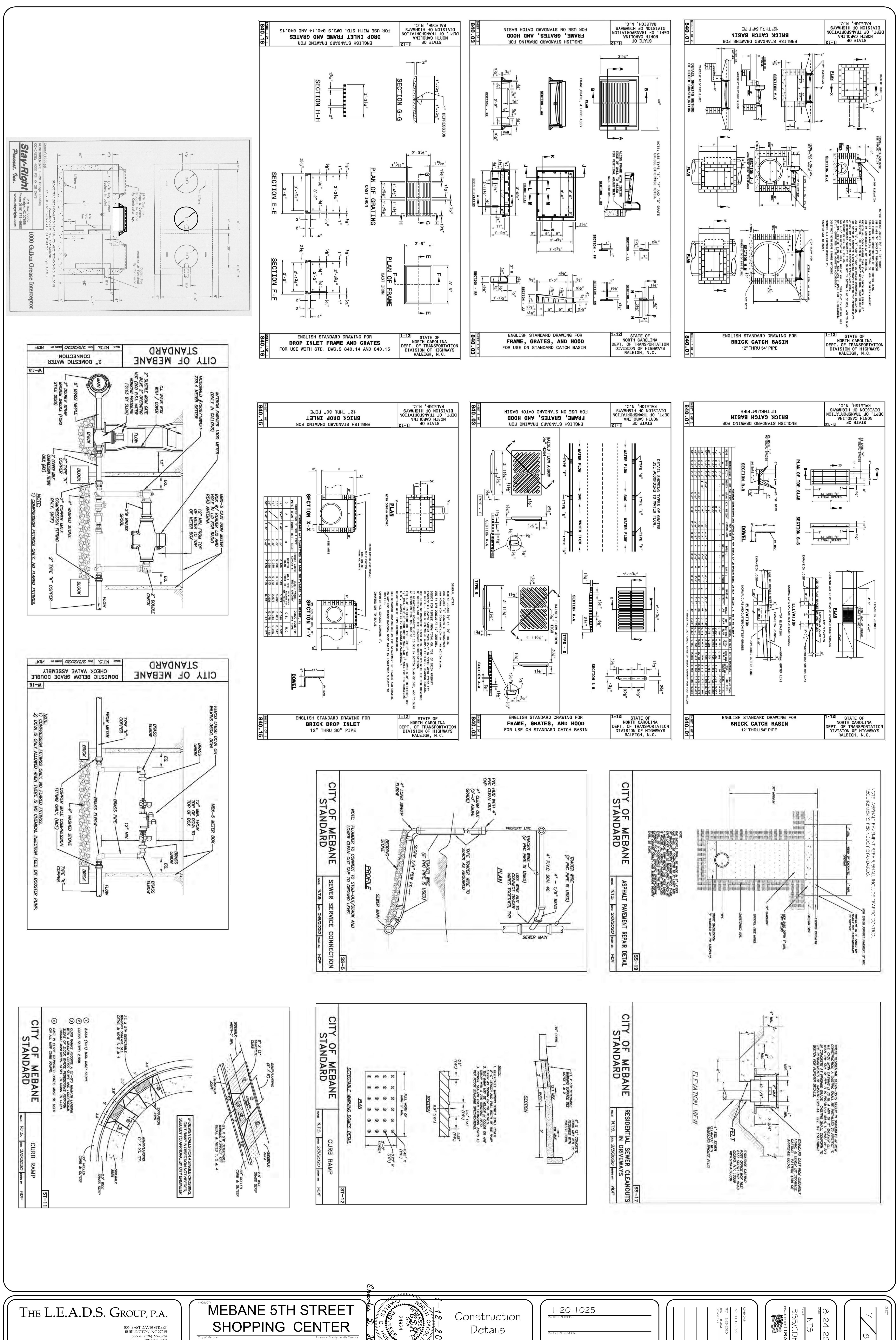
SHRUB

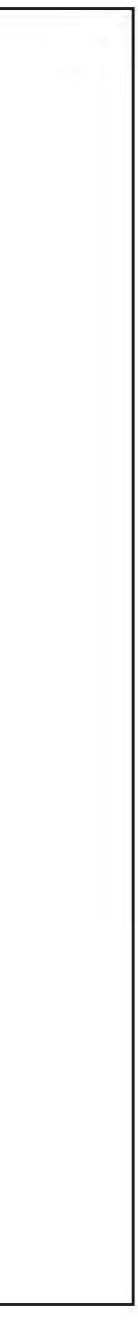
UNDERSTORY TREE

LANDSCAPE LEGEND

CANOPY TREE

SHRUB

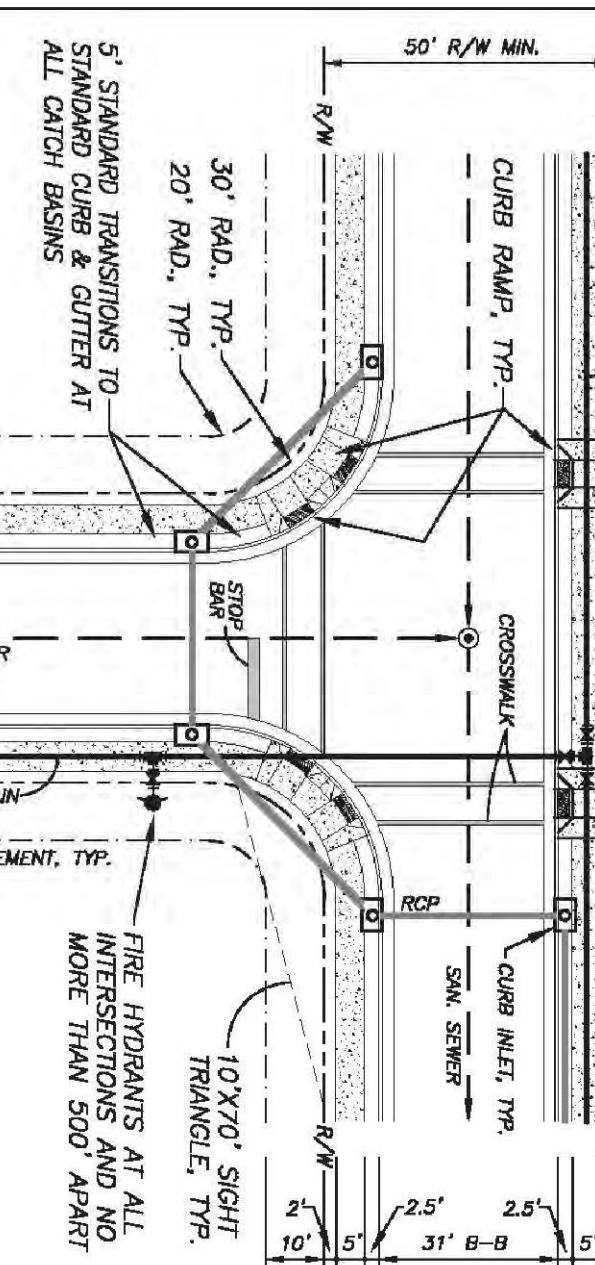




NOTES :

- WATER LINE UNDER THE SIDEWALK
- SEWER LINE MADE OF STREET
- NATURAL GAS IN 10" UTILITY EASEMENT ADJACENT TO STREET R/W
- ELECTRIC UNDERGROUND IN 10" UTILITY EASEMENT ADJACENT TO STREET R/W
- TELEPHONE IN 10" UTILITY EASEMENT ADJACENT TO STREET R/W
- CABLE IN 10" UTILITY EASEMENT ADJACENT TO STREET R/W

2. WATER AND SEWER IMPROVEMENTS



3. STORM DRAINAGE

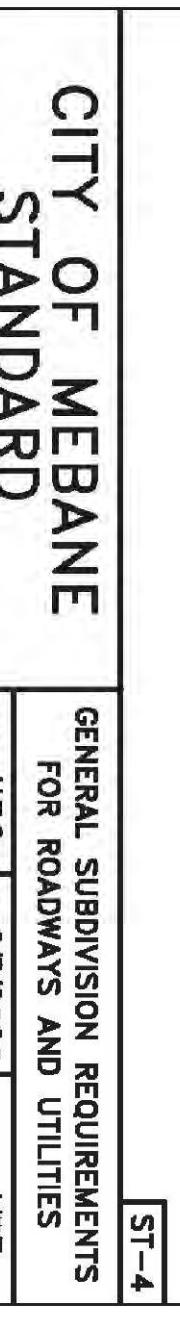
- ALL STORM DRAINS ARE TO BE A MIN. OF 8" IN SIZE, EXCEPT FOR GUTTER DRAINS WHICH ARE ALLOWED WHEN LESS THAN 600 FT. AND 4" IS ALLOWED WHEN LESS THAN 600 FT.
- 72" HIGH ALTERNATIVE PIPE MATERIAL MAY BE USED AS APPROVED BY THE PUBLIC WORKS DIRECTOR
- CURB INLETS TO BE LOCATED WHERE NO MORE THAN 10' OF DRAINS ARE CONNECTED TO ANY DRAIN
- SEWER MANS ARE TO BE MIN. OF 8" IN SIZE
- NO BURNING ALLOWED INSIDE THE CITY OF MEBANE
- THE CITY HAS THE RIGHT TO REQUEST RELOCATION OF ANY UTILITY LINES OR CABLES NOT INSTALLED IN ACCORDANCE WITH THESE REQUIREMENTS, UNLESS PRIOR APPROVAL IS MADE FOR A VARIANCE.

4. CONCRETE SIDEWALKS

- 3,000 P.S.I.
- 5" WIDE AND 5" THICK
- SEE CURRENT CITY REQUIREMENTS

5. OTHER

- ANY CHANGES TO THE GENERAL REQUIREMENTS SHALL BE PRE-APPROVED BY THE PUBLIC WORKS DIRECTOR
- CITY OF MEBANE SPECIFICATIONS AND DETAILS ARE TO BE USED
- NO BURNING ALLOWED INSIDE THE CITY OF MEBANE
- THE CITY HAS THE RIGHT TO REQUEST RELOCATION OF ANY UTILITY LINES OR CABLES NOT INSTALLED IN ACCORDANCE WITH THESE REQUIREMENTS, UNLESS PRIOR APPROVAL IS MADE FOR A VARIANCE.



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AGENDA ITEM #6F

Lowes Boulevard Corridor Plan

Presenter

Cy Stober, Development Director

Public Hearing

Yes No

Summary

The *City of Mebane 2040 Comprehensive Transportation Plan* (CTP) was adopted by the City Council in May 2018 and recommends “Roadway Project #7” (p. 78), an extension of Lowes Boulevard to connect Trollingwood-Hawfields Road with NC 119. As identified in the CTP, construction of a new roadway is expected to improve connectivity and relieve congestion, especially at the intersection of Trollingwood-Hawfields Road and NC 119, which currently has a Level Of Service (LOS) F, as rated by the NC Department of Transportation. Furthermore, both NC 119 and Trollingwood-Hawfields Road have LOS D at this location that could be addressed through congestion relief and safety improvement and are forecast to continue to have substandard LOS without new remedies to redirect traffic flows, even after both roads are widened by NCDOT with State funds.

The Lowes Boulevard Corridor Plan proposes four concepts for extending Lowes Boulevard. The proposed extension of Lowes Boulevard is intended to decrease the number of vehicles traveling through the intersection of Trollingwood-Hawfields Road and NC 119. Three of the concepts include variations, with one variation showing standard “T” stop-controlled intersections and the other variation considering roundabouts. Additionally, the proposed concepts include a multi-use path to improve bicycle and pedestrian access in the area, particularly to Hawfields Middle School and Garrett Elementary School.

A [virtual public engagement website](#) went live Monday, December 7, 2020. Since the survey closed on January 22, 2021, the website has been visited more than 1,300 times and 35 surveys have been submitted. A month after the website’s release, the City hosted a virtual public input session. Thirteen individuals attended and the YouTube video has been viewed thirty times. Based on input received before and during the January 7 meeting, staff requested the drafting of a fourth concept. Concept 4 was first presented to the public at the January 11 meeting of the Mebane Planning Board and was ultimately recommended by the Planning Board, with the addition of roundabouts. Since the meeting, staff has met with property owners most impacted by the extension of Lowes Boulevard to Trollingwood-Hawfields Road. Concept 4 has been further modified to reflect input received from the property owners.

Financial Impact

N/A

The proposed roadway is expected to be constructed by private development and/or considered for funding through the NC Department of Transportation’s Strategic Transportation Prioritization (STIP)

process. Staff time is required to review construction of the roadway by private development or to shepherd the highway project through the STIP process, as managed by the Burlington-Graham Metropolitan Planning Organization.

Recommendation

Staff recommends that the City Council approve one of the presented concepts.

The Mebane Planning Board voted unanimously (5-0) to support the approval of the Lowes Boulevard Corridor Plan.

In a 4-1 vote, the Mebane Planning Board recommended Concept 4 with roundabouts. The one dissenting vote was supportive of the Lowes Boulevard Corridor Plan but preferred Concept 3 with roundabouts.

Suggested Motion

1. Motion to approve Concept(s) _____ of the Lowes Boulevard Corridor Plan.

The plan reasonable and in the public interest, and is consistent with the goals and objectives of the City's adopted plans, specifically:

- Roadway Project #7 of the City of Mebane 2040 Comprehensive Transportation Plan (p. 78);
- The City's Comprehensive Land Development Plan Public Facilities and Infrastructure Goal 2.1: "*Improve safety and confidence of pedestrian access across major streets, including I-40/85, US-70, NC-119, Mebane-Oaks Road and other highly-traveled roadways.*" and
- The City's CLP Community Appearance Goal 3.2: "*Improve efforts to identify entrance corridors, streetscapes, wayfinding, and signage that consistently reflects the City's "Positively Charming" brand.*"

2. Motion to deny all concepts of the Lowes Boulevard Corridor Plan.

Attachments

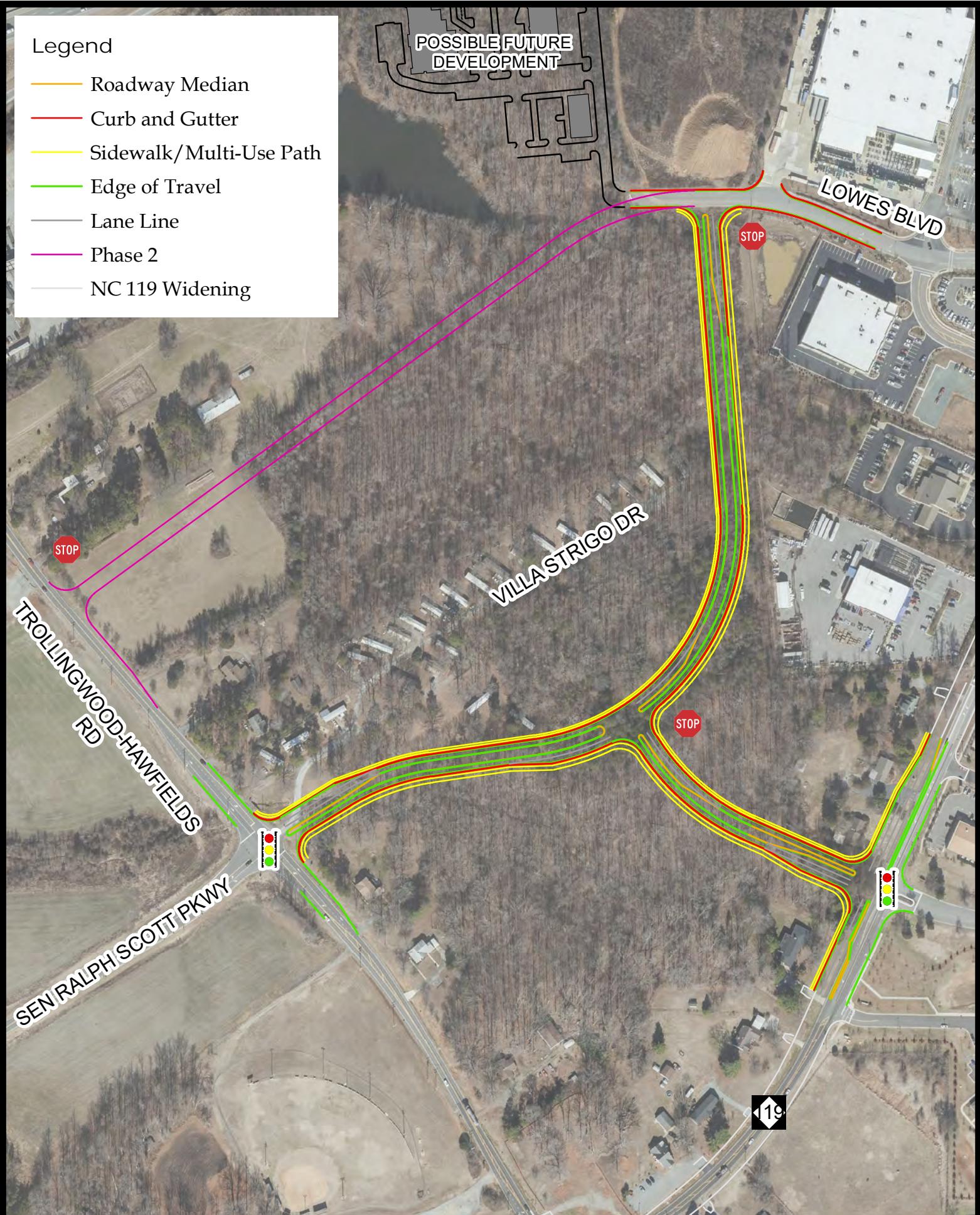
1. Concept Maps
2. Survey & Public Input Report
3. Lowes Boulevard Corridor Plan – Virtual Engagement Print Version

CONCEPT 1A
Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Curb and Gutter
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- Phase 2
- NC 119 Widening

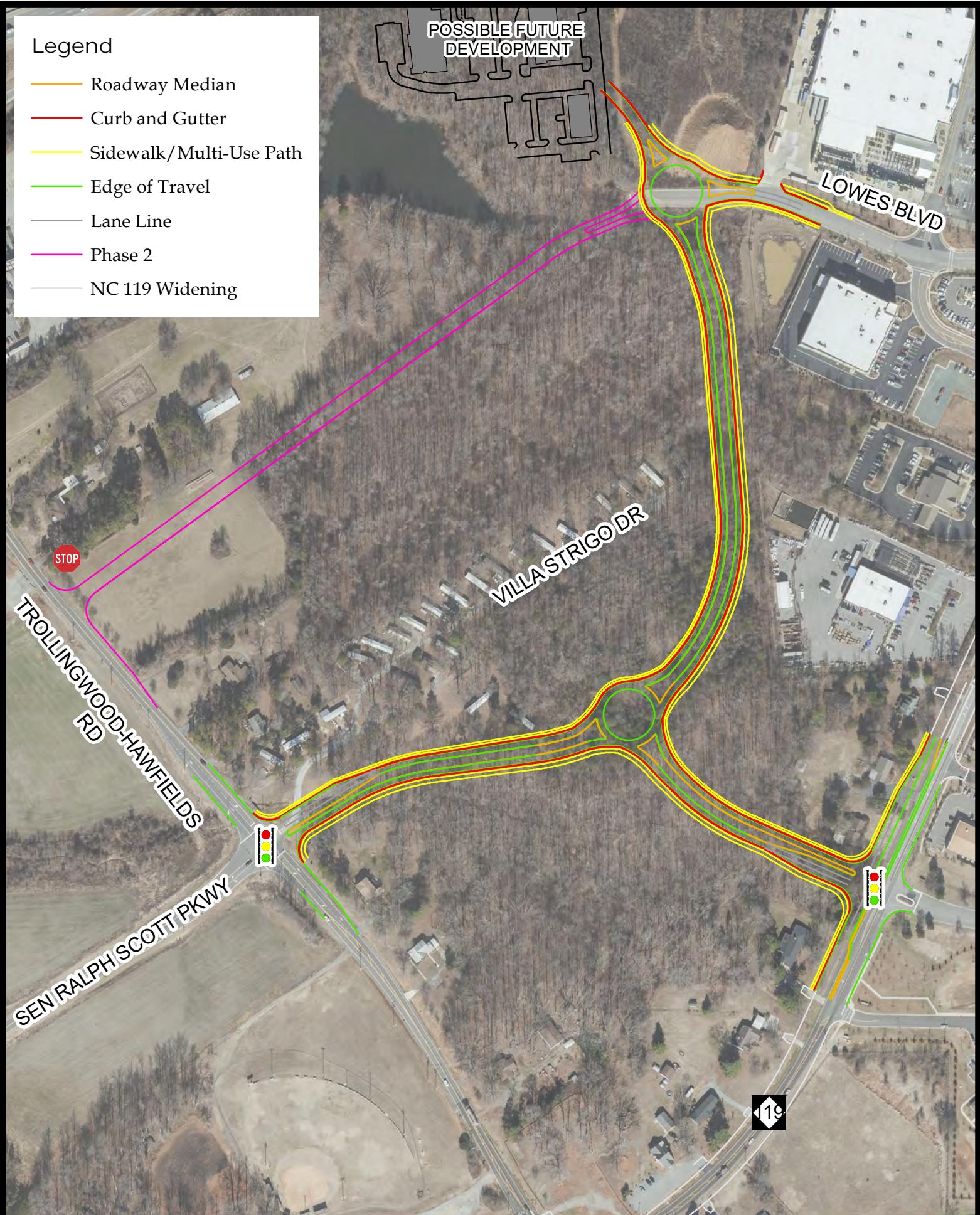


CONCEPT 1B
Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Curb and Gutter
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- Phase 2
- NC 119 Widening

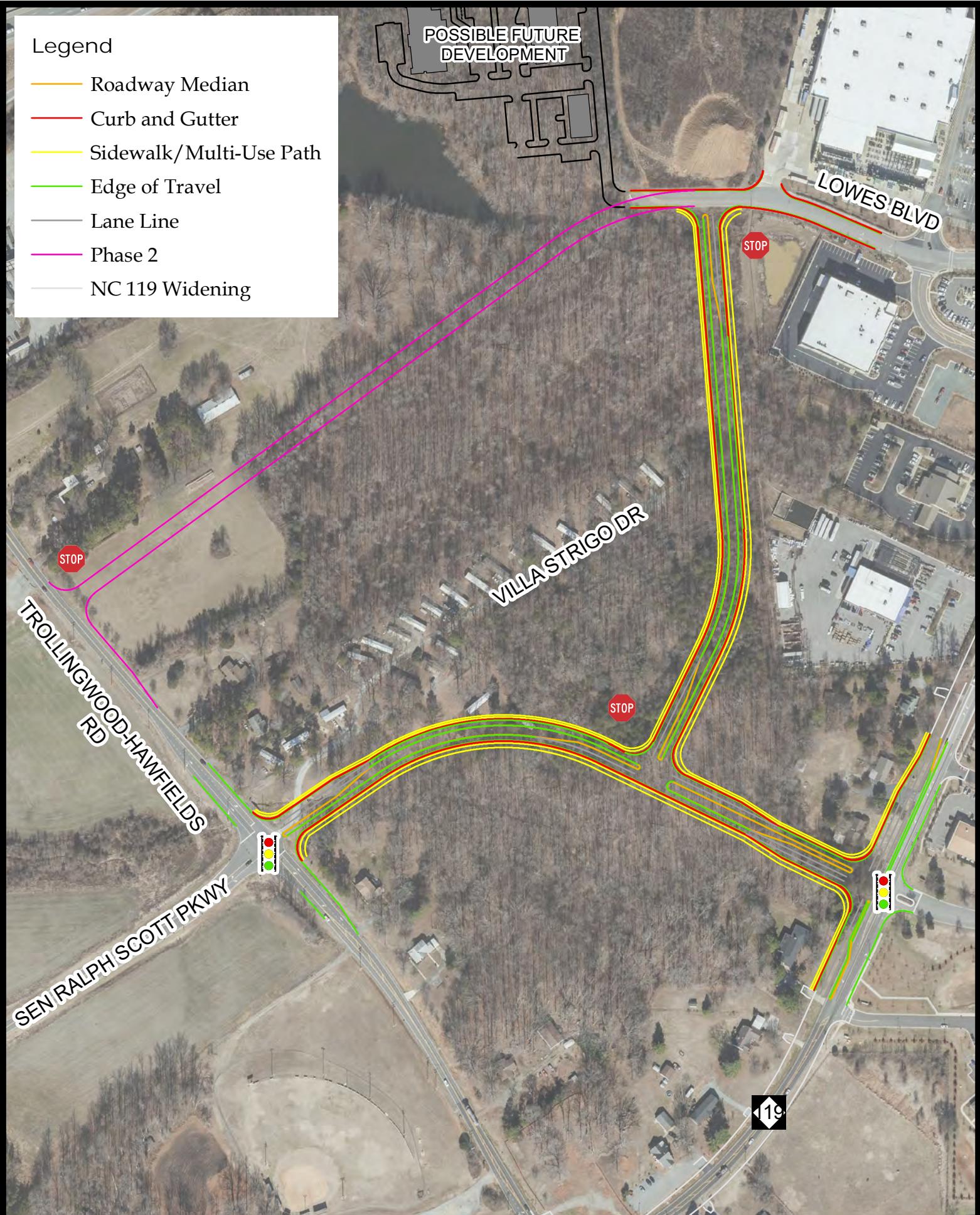


CONCEPT 2A
Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Curb and Gutter
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- Phase 2
- NC 119 Widening

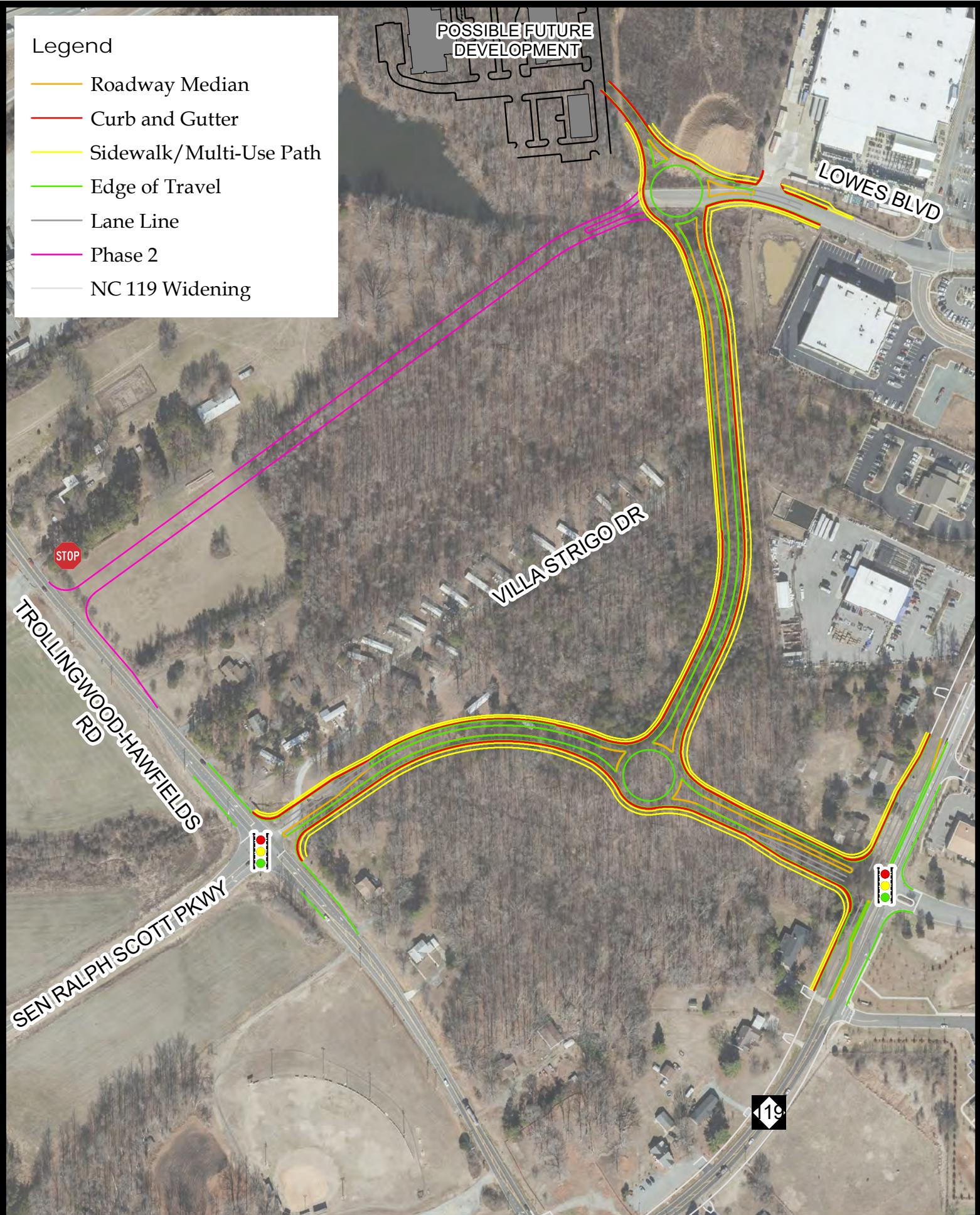


CONCEPT 2B
Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Curb and Gutter
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- Phase 2
- NC 119 Widening



CONCEPT 3
Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Curb and Gutter
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- NC 119 Widening

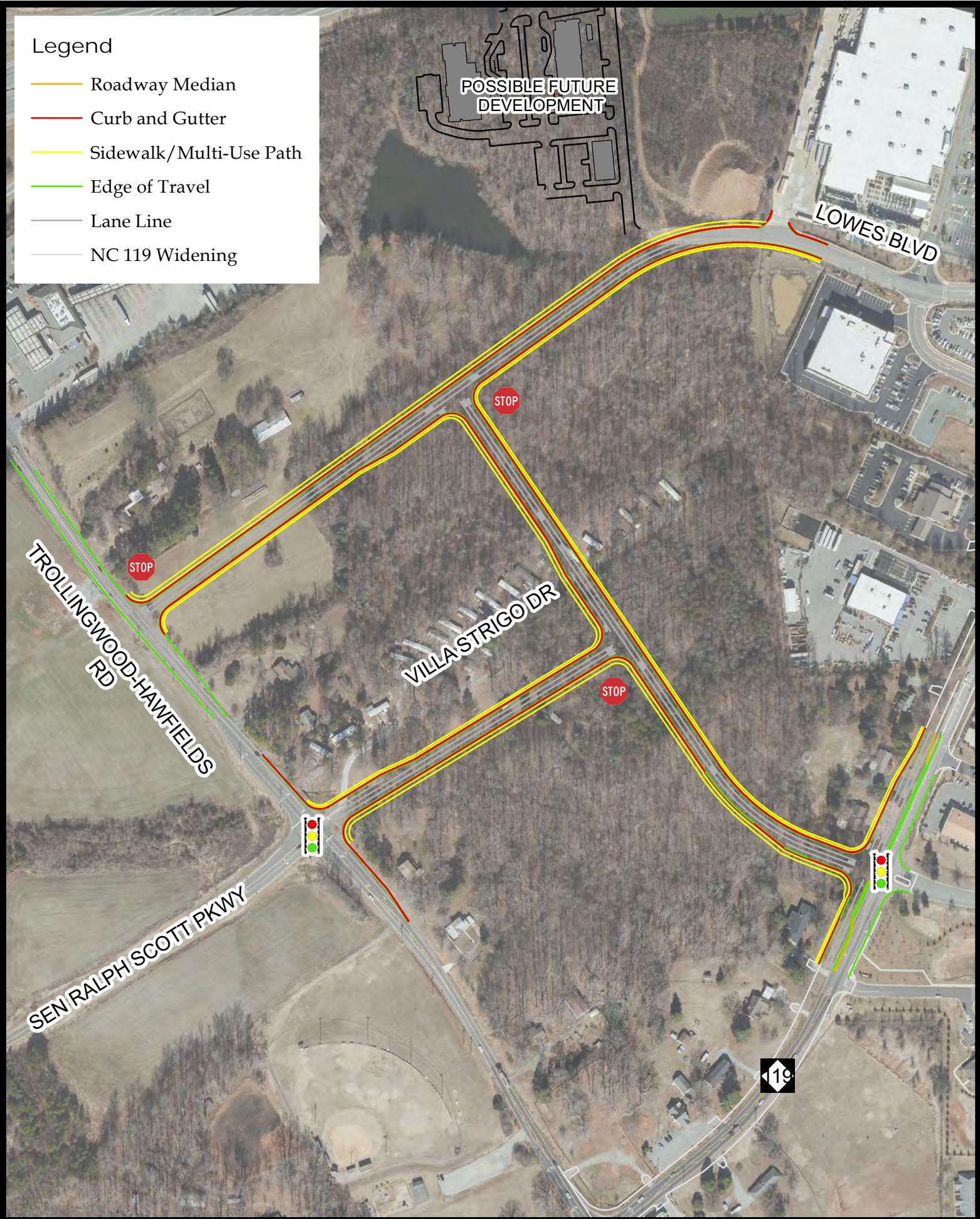


CONCEPT 4A
Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Curb and Gutter
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- NC 119 Widening

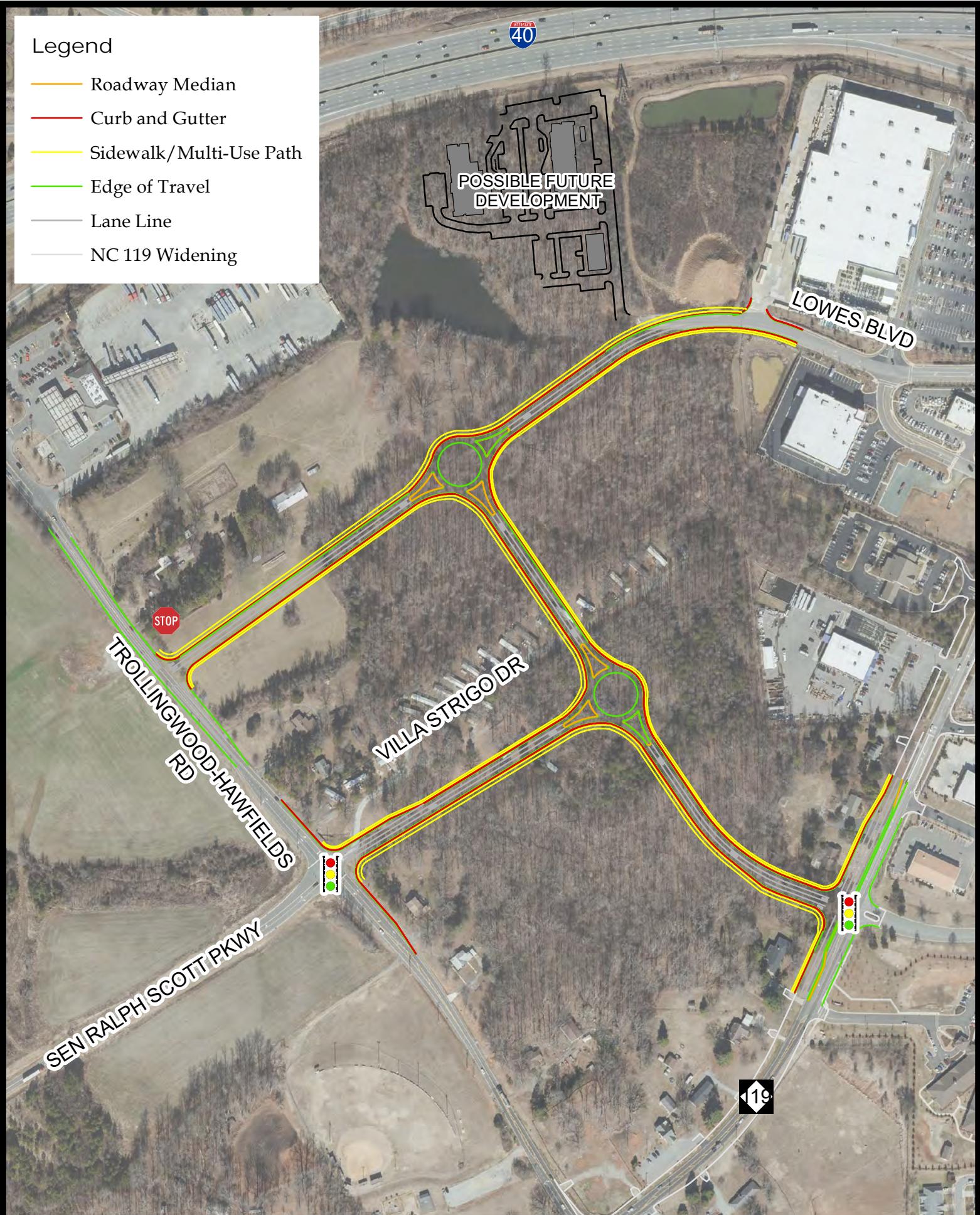


CONCEPT 4B
Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Curb and Gutter
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- NC 119 Widening

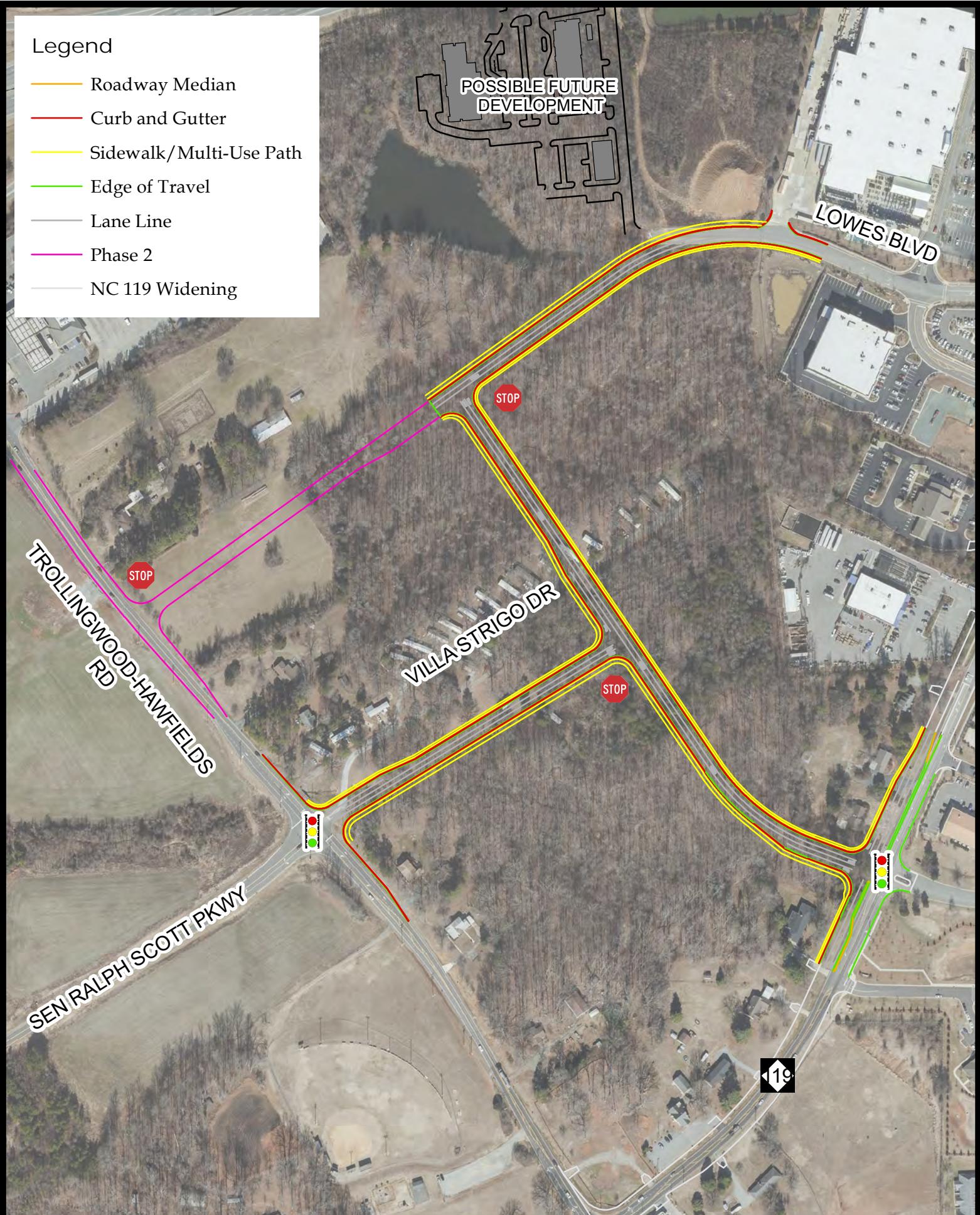


CONCEPT 4A - PHASED Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Curb and Gutter
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- Phase 2
- NC 119 Widening

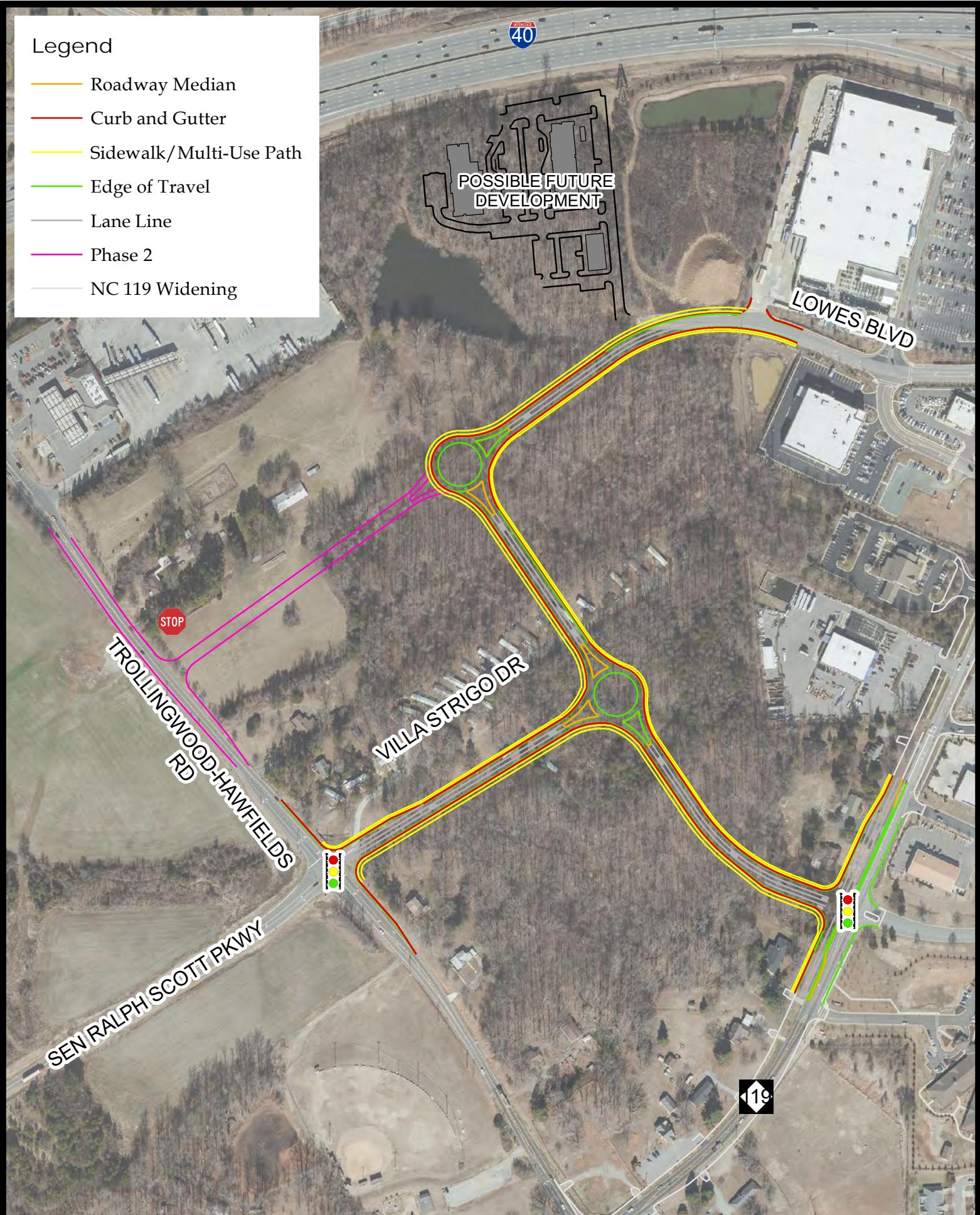


CONCEPT 4B - PHASED Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Curb and Gutter
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- Phase 2
- NC 119 Widening



January 25, 2021

5808 Faringdon Place
Raleigh, NC 27609

TO: Ashley Ownbey
City of Mebane

FROM: Devyn Lozzi, PE
Ramey Kemp Associates *Devyn B. Lozzi*

SUBJECT: Lowes Boulevard Corridor Plan
Recommendations

This letter provides a summary of the public engagement conducted for the Lowes Boulevard Corridor Plan. As part of the public engagement, an ESRI StoryMap was created to provide a project overview and interactive maps of the various conceptual designs. Included with the StoryMap was an online survey for participants to answer questions about the study area and their preferences for the proposed designs. The public survey was open from December 7, 2020 through January 22, 2021. At the end of the survey period, a total of 34 online responses and one paper response were received.

The City of Mebane staff marketed the project website and survey to the City residents, with a focus on residents living within and nearby the project study area. Paper copies of the project website and survey were made available to residents upon request.

In addition to the public website and survey, a virtual public meeting was held on January 7, 2021, via Zoom Meetings. The meeting included a formal presentation providing a project overview and discussions of the conceptual alternatives and how they differed from each other. The meeting also included a question and answer period, where attendees were provided an opportunity to ask any outstanding questions and voice their concerns.

Survey results and comments received during the public engagement period are listed within this letter. For applicable questions, the results include open-ended comments from survey participants. Comments are shown in blue text and are direct quotes of the participant surveys. The following results only represent participants who completed the online survey or completed and turned in a paper copy of the survey during the public engagement period.

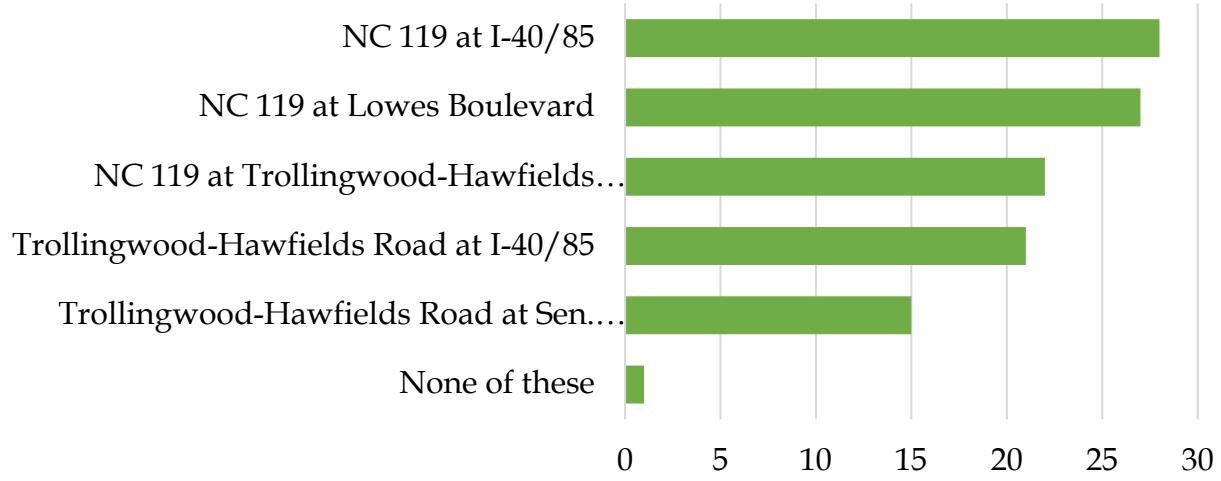
A few public comments were received via email and are attached to the end of this letter.

1. What Intersections do you regularly travel through? Select all that apply.

Participants: 32

The NC 119 corridor has been noted as the more traveled corridor among survey participants, when compared to Trollingwood-Hawfields Road.

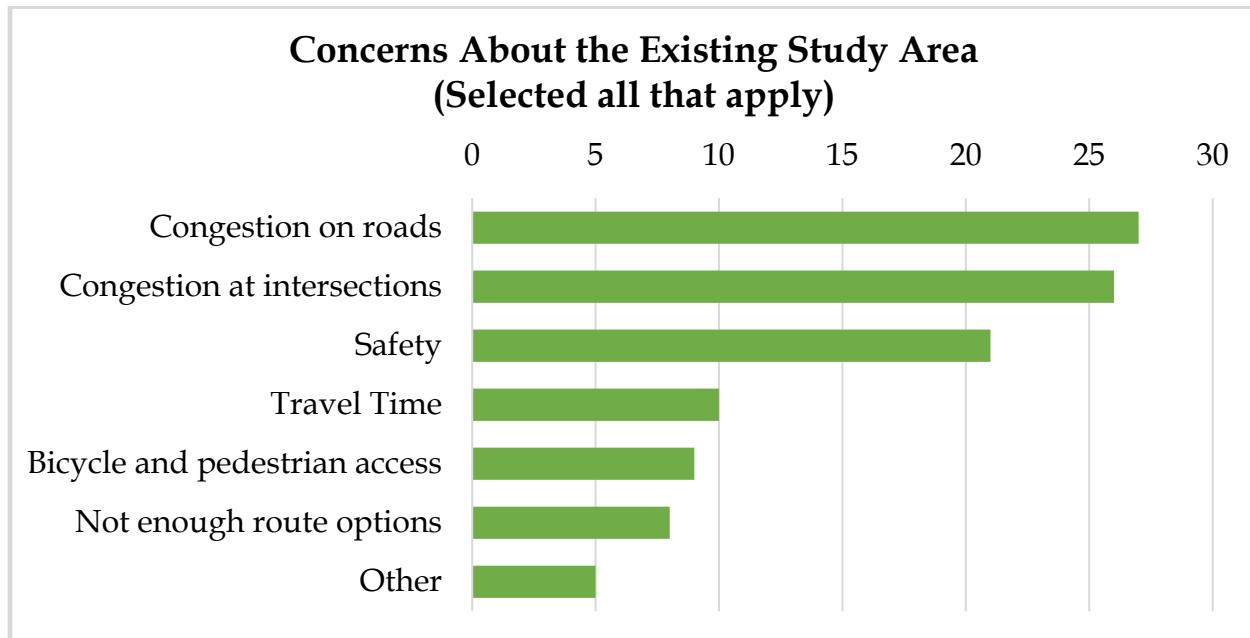
**Intersections that Participants Regularly Travel Through
(Selected all that apply)**



2. What concerns do you have, if any, about the existing study area surrounding Lowes Boulevard, NC 119, and Trollingwood-Hawfields Road. *Select all that apply.*

Participants: 31

The main participant concerns are the existing congestion within the study area, both on the main corridors (NC 119 and Trollingwood-Hawfields Road) and at intersections within the study area. Safety was also a highly noted participant concern with the existing conditions in the study area.



"Other" Comments:

- Driveway access, cross street placement, alment of extensions for future dev.
- My parents currently live at 1436 Trollingwood Hawfields Road and option 3 would be on their property. I'm hoping the other 2 options would be chosen for them to live the last few years at home.
- Congestion around the elementary and middle schools
- Routing trucks into traffic @ 119 By-Pass terminus and "confusing bridges"

3. In a few words, what is your current experience traveling through the project a study area surrounding Lowes Boulevard, NC 119, and Trollingwood-Hawfields Road?

Participants: 26

Generally, participants have a negative view of traveling through the study area, with a lot of noted concerns about traveling on NC 119 and getting to/from the businesses along that corridor. Participants have noted congestion along NC 119 and difficulty making turns on this corridor into the adjacent businesses. Some participants have noted that the traffic congestion is only bad during peak hours or school drop-off and pick-up.

Comments:

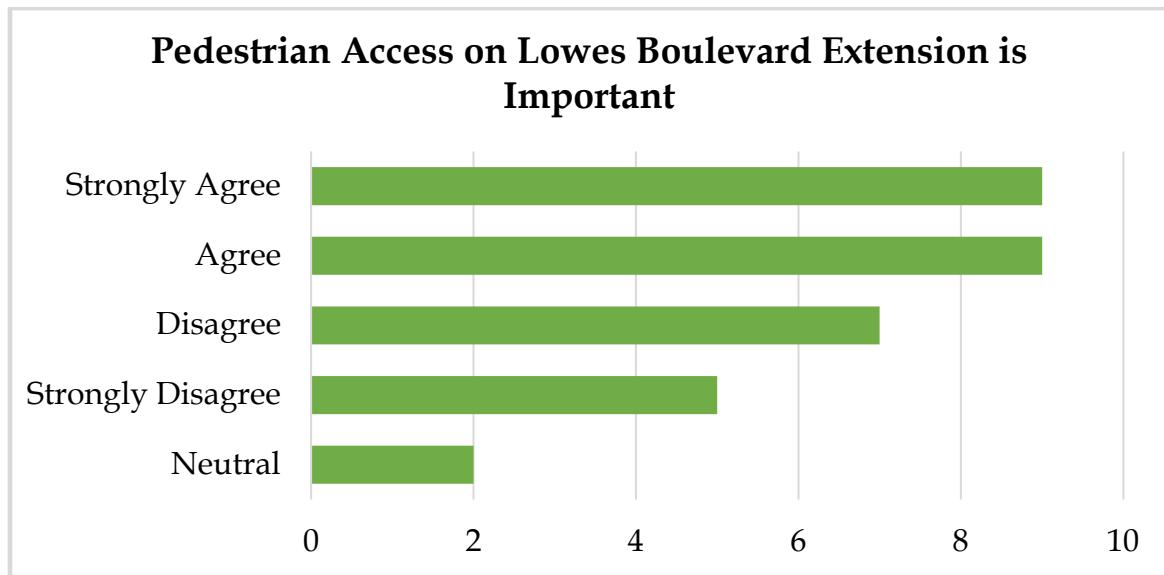
- It sucks
- 119 should be a two lane road. Also the design of 119 below and above food lion is terrible so far. There is no real need for sidewalks down Lowe's blvd.
- Unpleasant. Lowes Blvd at NC119 currently does not allow for any traffic control making it next to impossible for pedestrian traffic to safely use it. The lanes as they are allow little navigation through that intersection without using the Lowes parking lot as a turnaround. This area needs updating
- a LOT of traffic, with more to come as subdivisions are approved
- Very dangerous
- Intersection at 119 and Troll-Haw Rd is over crowded and will become more crowded when Cambridge development is complete. I think whichever option relieves the most traffic at this intersection would be best. I feel like this would be option 3.
- Congestion, noise from the unnecessary use of Tractor/Trailer Jake Brakes on T-H Rd. -- especially after 5:00PM, the lack of easy flow of traffic and need to pop on the Interstate from time to time for a short hop local back and forth between Hwy 119 and T-H.
- I find the congestion in front of my parents house pretty bad. I'm hoping that option 1 or option 2 could help with congestion. I'm also hoping that in the future the potential new roads would benefit their property (27 acres) for future development once they are not living in their home.
- At wrong time of day, can be difficult especially at 119-Lowe's blvd.
- I travel this area daily. I cant believe this area is even being looked at before Mebane Oaks. That road is a nightmare. From Tanger to Wal Mart is terrible. I will travel this area in order to avoid Mebane Oaks. This area is only bad when school is in person.
- I've heard a lot of people complain about the Lowes Blvd intersection - maybe I'm going through it at the wrong times, but at worst I just find it annoying that there's no protected left coming out of the Lowe's parking lot.
- Living south of the study area I have noticed an increase in traffic. I travel this area on a regular basis. Drivers are getting very reckless and taking unnecessary chances.

- I don't have a problem unless it's 5 - 6 pm
- I travel through this area to and from work daily and several times weekly outside of regular "business hours". I plan my travel around specific times of days, vary my route, making all stops on the same side of the road so as I don't have to cross lanes of traffic when leaving businesses.
- Busy. Concern with making turning movements safely, esp. left turns onto 119.
- All of 119 from interstate to past road. Traffic is horrible especially when school is in session. The light at Lowes is really slow to allow traffic crossing 119 to change, no turning light on opposite from each other to allow them to clear before crossing traffic.
- The standard level of congestion now in this area is fairly high, and future growth will only make it worse. More alternatives that support free-flowing traffic will help alleviate future pain.
- Congestion is only during school drop off/ pickup times (pre-COVID) and people getting off work in evenings.
- Increased congestion and lack of flow of traffic at peak times. Difficulty moving about during school hours and as people are returning from work.
- Traffic congestion on NC 119 and Lowes Boulevard is increasing and is really bad during certain days and times. Safety for any pedestrians or bicyclists is a top concern. Near accidents occur (if not actual accidents) on a regular basis at this intersection.
- There is poor visibility when exiting Lowes Home Improvement. there should be a light there or a roundabout.
- it is weird coming off the divergent diamond at 119 and having the road suddenly narrowing. glad that it will be widened. **I could NOT see a difference between concepts 1 and 2!
- stoplight at NC 119 & Lowes Blvd is unsafe. If you are on Lowes Blvd at the stoplight to turn left on 119 or straight on Deerfield Tr. The oncoming traffic is very hard to see due to the position of the traffic lane and the median when cars are present.
- The Lowe's Blvd and 119 intersection is slow and difficult to get through, especially trying to make a left turn.
- I currently have no issues traveling through the area. And for any reason other than opening land for development behind Lowe's and Compass Pointe there is no justifiable reason for extending this road through where it is proposed.
- There are two factors that have influenced traffic in the study area 1. School has not had a lot of traffic with virtual learning and 2. I am retired and I usually avoid travel during peak times, just because of the congestion. I live close to the intersection of 119 and 54 in Autumn Trace.
- Currently there is a lot of traffic on Trollingwood-Hawfields road where I live.

4. Providing pedestrian access, via sidewalks, on the Lowes Boulevard Extension is important to me.

Participants: 32

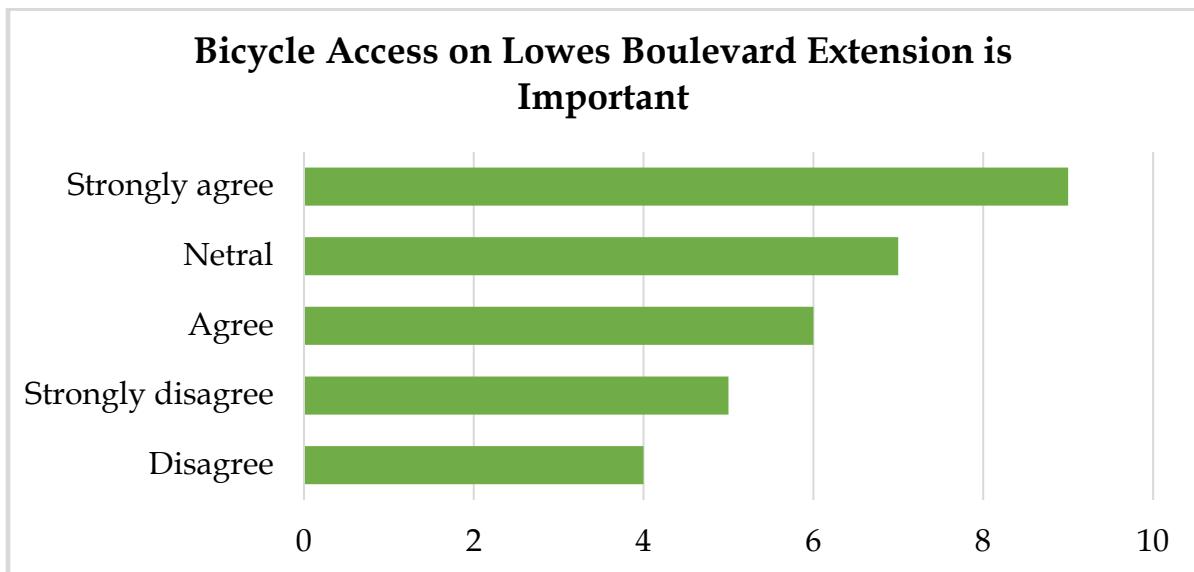
A majority of participants would agree that pedestrian access is important on Lowes Boulevard Extension. 56% of participants agree while 38% disagree.



5. Providing bicyclist access, via a shared use path or bike lanes, on the Lowes Boulevard Extension is important to me.

Participants: 31

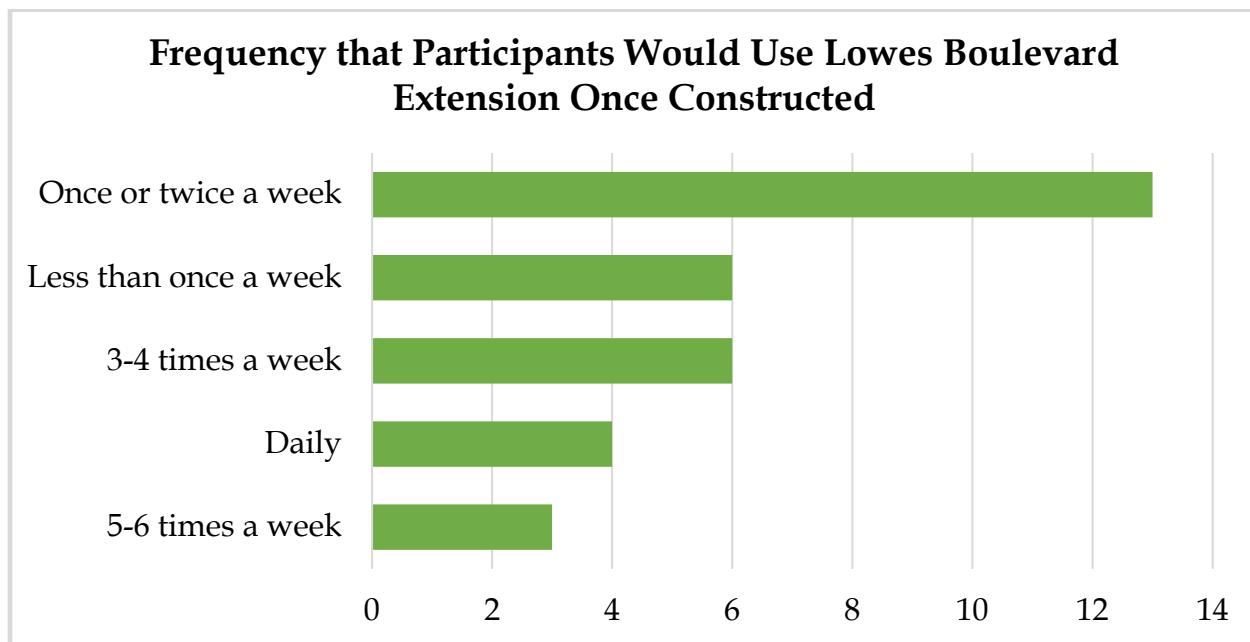
A majority of participants would agree that bicycle access is important on Lowes Boulevard Extension. 48% of participants agree while 29% disagree.



6. If the Lowes Boulevard Extension was constructed, how often would you use it?

Participants: 32

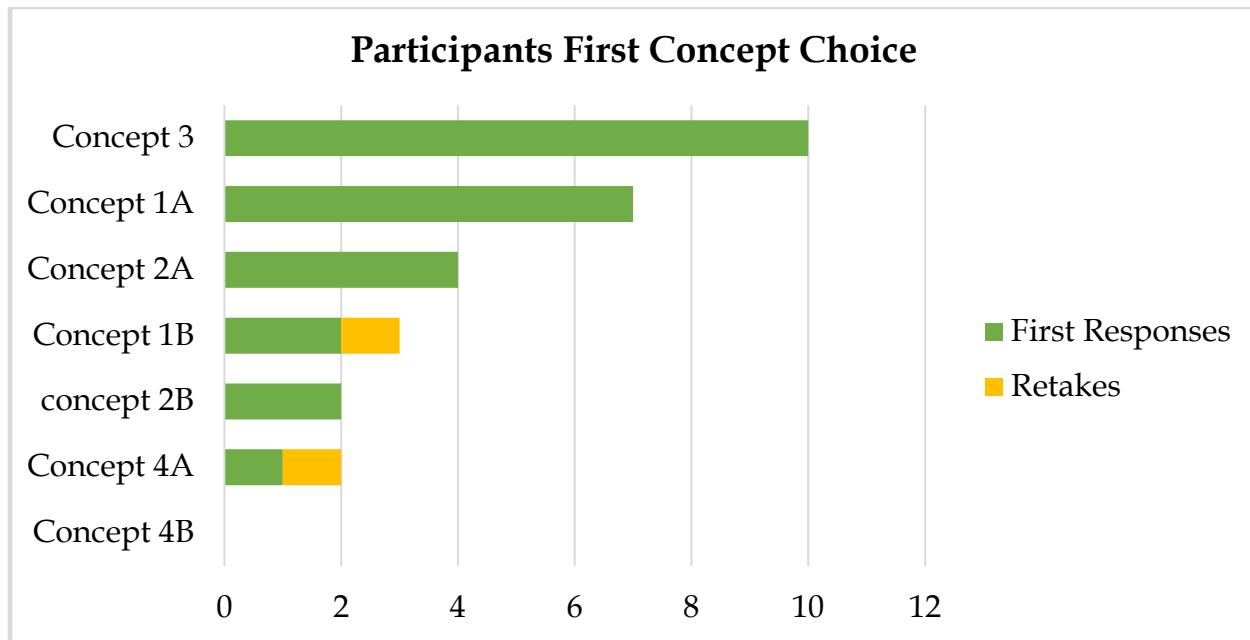
A majority of participants, approximately 41%, noted they would use Lowes Boulevard Extension once or twice a week.



7. What design option would be your first choice?

Participants: 26 first responses, 2 retakes

A majority of participants noted that Concept 3 would be their first design choice.

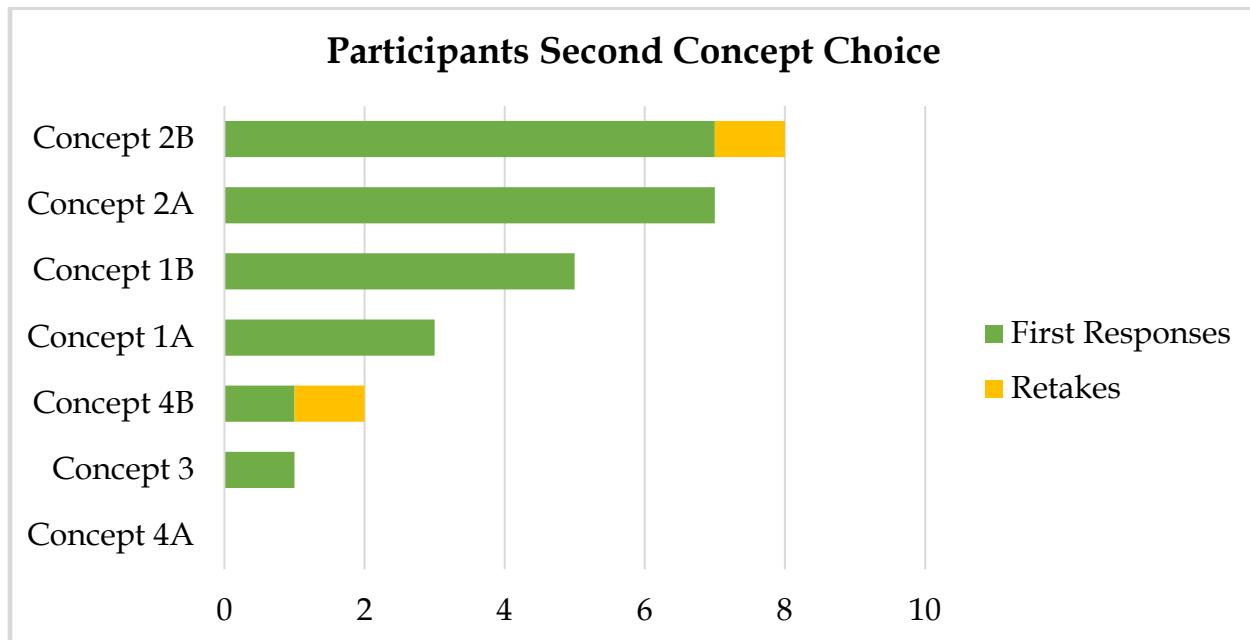


NOTE: Only two participants took this survey with Concepts 4A and 4B available as options. Concept 4A (presented as Concept 4 to the Planning Board) was included after one of the most impacted landowners provided comments on Concepts 1-3. Concept 4A was presented to the City of Mebane Planning Board, noted as a resurrected concept based on landowner input. The Planning Board voted on a preference of Concept 4A, but with roundabouts included. With the Planning Board vote, Concepts 4A (presented to the Planning Board as Concept 4) and Concept 4B (with roundabouts) were added to the public survey. Survey participants had an option to re-take the survey and only comment on the preferred design. Two survey participants did so, and their results are shown above as "Retakes".

8. What design option would be your second choice?

Participants: 24 first responses, 2 retakes

A majority of participants noted that Concept 2B would be their second design choice, although concept 2A closely followed.

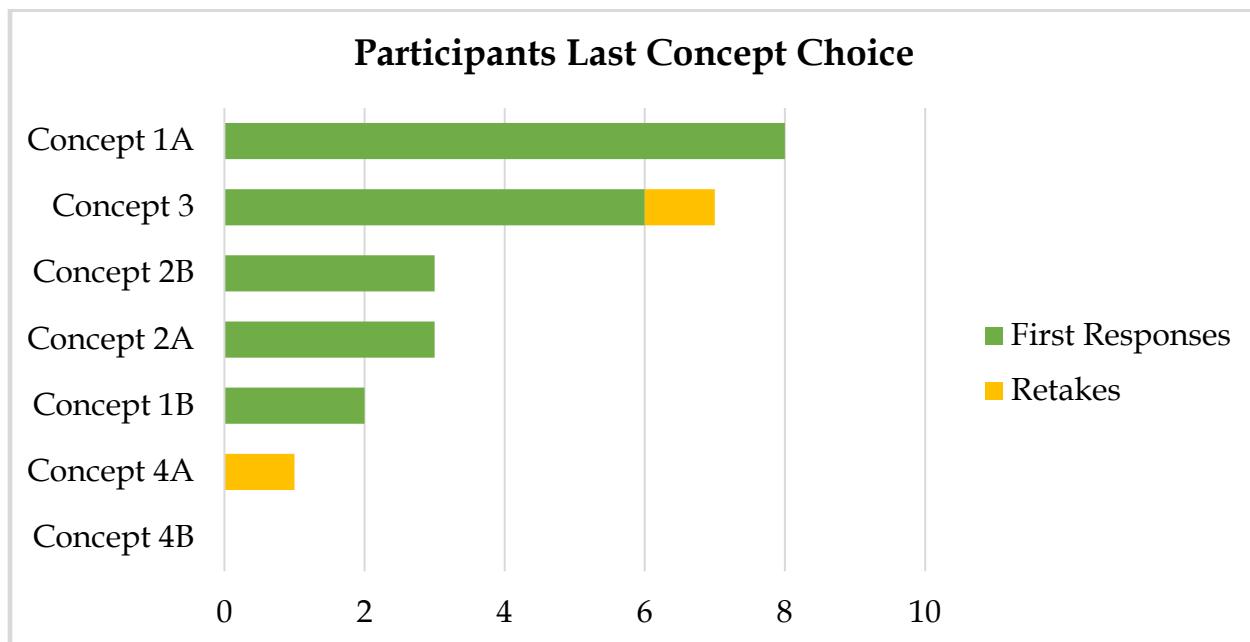


NOTE: Only two participants took this survey with Concepts 4A and 4B available as options. Concept 4A (presented as Concept 4 to the Planning Board) was included after one of the most impacted landowners provided comments on Concepts 1-3. Concept 4A was presented to the City of Mebane Planning Board, noted as a resurrected concept based on landowner input. The Planning Board voted on a preference of Concept 4A, but with roundabouts included. With the Planning Board vote, Concepts 4A (presented to the Planning Board as Concept 4) and Concept 4B (with roundabouts) were added to the public survey. Survey participants had an option to re-take the survey and only comment on the preferred design. Two survey participants did so, and their results are shown above as "Retakes".

9. What design option would be your LAST choice?

Participants: 22 first responses, 2 retakes

A majority of participants noted that Concept 1A would be their last design choice, although concept 3 closely followed.

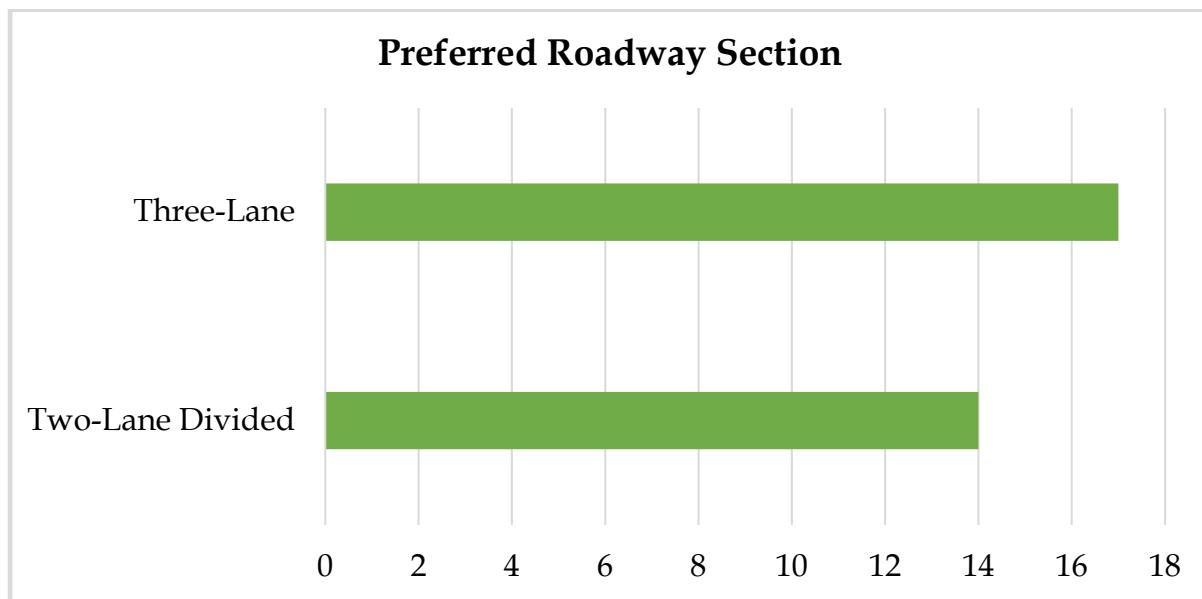


NOTE: Only two participants took this survey with Concepts 4A and 4B available as options. Concept 4A (presented as Concept 4 to the Planning Board) was included after one of the most impacted landowners provided comments on Concepts 1-3. Concept 4A was presented to the City of Mebane Planning Board, noted as a resurrected concept based on landowner input. The Planning Board voted on a preference of Concept 4A, but with roundabouts included. With the Planning Board vote, Concepts 4A (presented to the Planning Board as Concept 4) and Concept 4B (with roundabouts) were added to the public survey. Survey participants had an option to re-take the survey and only comment on the preferred design. Two survey participants did so, and their results are shown above as "Retakes".

10. Which roadway section would you prefer?

Participants: 31

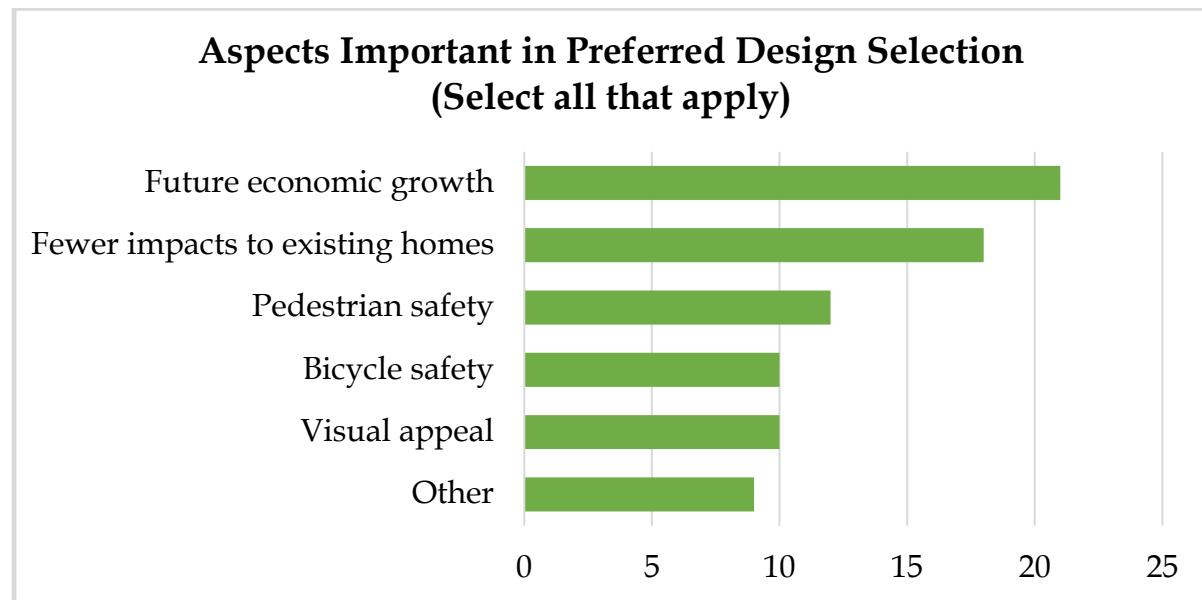
A majority of participants, approximately 55%, noted they would prefer a three-lane roadway section.



11. Which of the following are important in your preferred design selection?

Participants: 32

A majority of participants noted that future economic growth was an important aspect in the preferred design selection, with fewer impacts to existing homes following closely.



“Other” Comments:

- Traffic congestion
- I did not check use of any of the 3 plans as they do not allow for lots on east side.
- Vehicle passenger safety (in turning movements)
- My preferred design is a design chosen by the developer of the property to minimize the impact on the landholders and optimize their benefit from the land sale.
- More comprehensive solution to the problems.
- Ease of Navigation
- Historic property impact

12. Do you have any additional comments that were not covered in the questions above?

Participants: 17

One trend in the participant comments is to consider future economic growth around the proposed design, and to allow for flexibility of the future developers. Another trend in the comments is the preference to construct roundabouts for intersection control.

Many participants noted not being able to tell the difference between Concepts 1 and 2, so this was discussed in more detail at the project virtual public meeting held on January 7, 2021, via Zoom Meetings.

It should be noted that multiple comments seem to reference improvements to NC 119, which is outside of the scope of this project.

Comments:

- Hawfuekds neda a bike and ied oath frim 119 to Mebane oaks-all those new homes go to the schools and there is zero bike/ped connectivity and the traffic is awful when schools are in session-the schools also need much longer turning lanes
- Plans show the street adjacent to the rear east property line adjacent to CubeSmart Self Storage property and doesn't allow for any he 3 property owners on T-H to develop lots with 200' depth on the east side of new road on their property. This should not be not be done this way unless the City uses eminent domain and buys the right of way and builds as was done for the Sen. Ralph Scott PwK. and then allow for design, build and zoning by owners within reason for what is marketable.
- I am hoping that you will reach out more to people that currently live in the study area.
- As an affected property owner, build option 3. This way you don't have to go back again in five years and mess the area up again. Zoning will likely move ever more to commercial much as Mebane Oaks did 30+ years ago. Put in the roads and utilities, including sewer and be done.

- My first concern is how many people will use these changes. I don't see parents with children at Garrett Elementary using them. What about the truck traffic coming in from the south and there more than you can imagine. What is the possibility of extending the by pass to NC119 coming back in near Kimery Rd.
- Why add another housing subdivision behind Lowes..that will just increase traffic. For those of us living on this side of 40 Mebane is just adding and adding congestion...add Bucces to this and we won't be able to go anywhere! Please no more round abouts! Other cities are doing away with them!
- Difficult to tell the differences between options 1 and 2.
- Question 10 does not make sense. Its already 3 lane section with a shared center lane. It should be 5 lanes. 2 each direction and center turning lane. Whoever decided to allow another apartment complex to be build with single entrance and exit off 119 should never be allowed to decide traffic patterns ever again.
- I'm not completely clear on what the differences are between 1B and 2B, likewise 1A vs. 2A. The default position for this project, and all future growth in Mebane should be roundabouts as opposed to bottleneck and collision-inducing all-way stops and/or traffic signals. We should put in roundabouts for every future project, and work to retrofit as many existing intersections as possible, as finances allow. Bike/ped overpasses and underpasses should also become the norm. Future-proof Mebane!
- Have you considered rain runoff?
- Please consider leaving the layout of the roadway to the developer with considerations given for minimizing cost, minimizing environmental impact, and optimizing outparcels as needed to make development feasible. Need maximum flexibility to ensure best and highest use of land. Prefer not to have medians that limit left turns into outparcels.
- what is the difference between concept 1 and 2? they look exactly the same to me on the webpage. I would like concept 3 that builds the pink road from the beginning, but I like to have the roundabout at each intersection. is there a light at the elementary school? not clear in the maps.
- I think a stoplight intersection just past Lowes and Compass Dr could make backups happen in rush hour times that would block the entrance to Lowes or the Compass Point shopping center.
- I was unable to detect any difference in concepts 1 and 2 in the maps. I wish some text had been provided to help me distinguish between the two. Also, I do like roundabouts, as in my experience they allow traffic to flow much more freely than traditional intersections with traffic lights or stop signs.
- I feel that any impact to the "historic Hawfield's Church" should not happen. The Lowe's Blvd could and should be used as a "By-Pass" so any interference with the church or cemetery would not be impacted. And the road completely go around without changing current set-up.

- I didn't study all options because I wanted to concentrate on the Planning Board approval. My idea is to re-route Hwy 119 South similar to the way 119 North has been re-routed - away from the "old 119." I suggest that 119 be routed to the Scott Parkway. It was designed primarily for heavy trucks that need less congestion and better interstate access. The congestion around the Middle School is going to happen at the new high school to be built on 119 South very close to my home.
- I would prefer a concept that would benefit more the landowners but would also help with economic growth development.

Retake Comments:

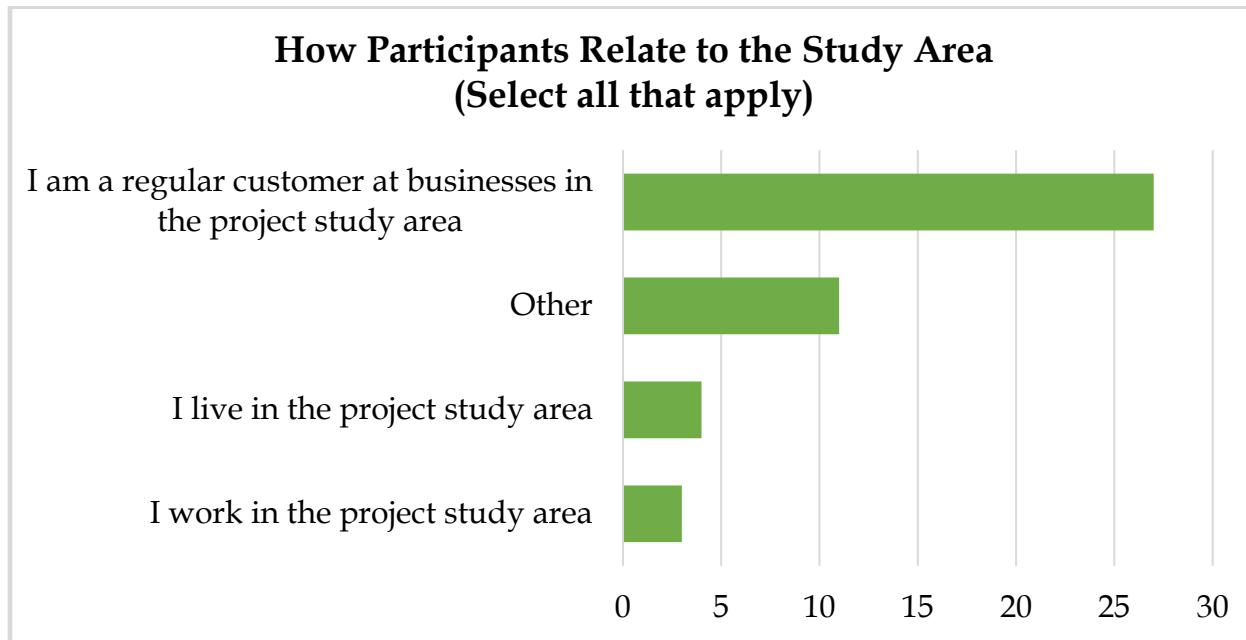
- We were very disappointed in the way the Mebane City Planning committee voted for Concept 4B before the 1/22nd deadline for the survey. My parents have lived on the proposed site for 58 years and held onto the land hoping to pass it to their heirs. The pandemic coupled with the City of Mebane not communicating their intent on using most of their property has been stressful. We believe more input from other owners who do not currently live on their property were given more weight.

Demographics:

The following section provides a summary of the demographics of participants who chose to answer the questions in this section. This information was submitted anonymously.

13. Please select how you relate to the project study area.

Participants: 32



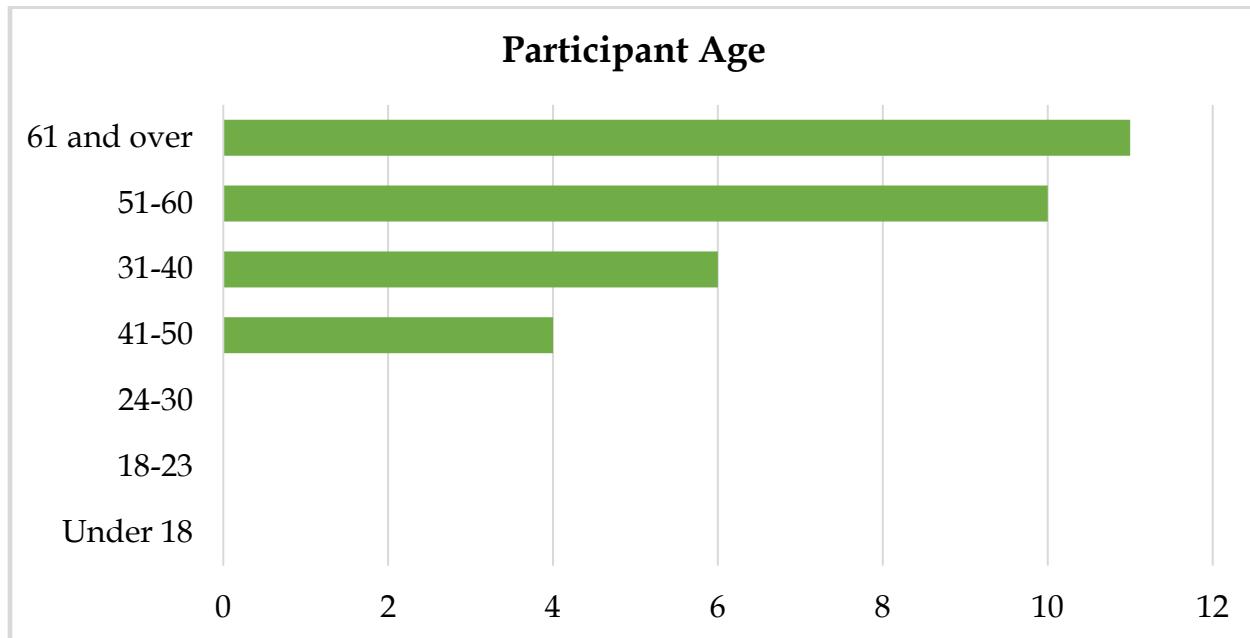
Some of the responses noted as “other” could be used to identify survey participants. Any open-ended responses typed into the “other” box that identify the participant have been removed from the comments below. Please note that the chart above reflects the total number of participants who marked “other”.

“Other” Comments:

- I live very close to project study area and travel through there daily.
- Live south of the study area.

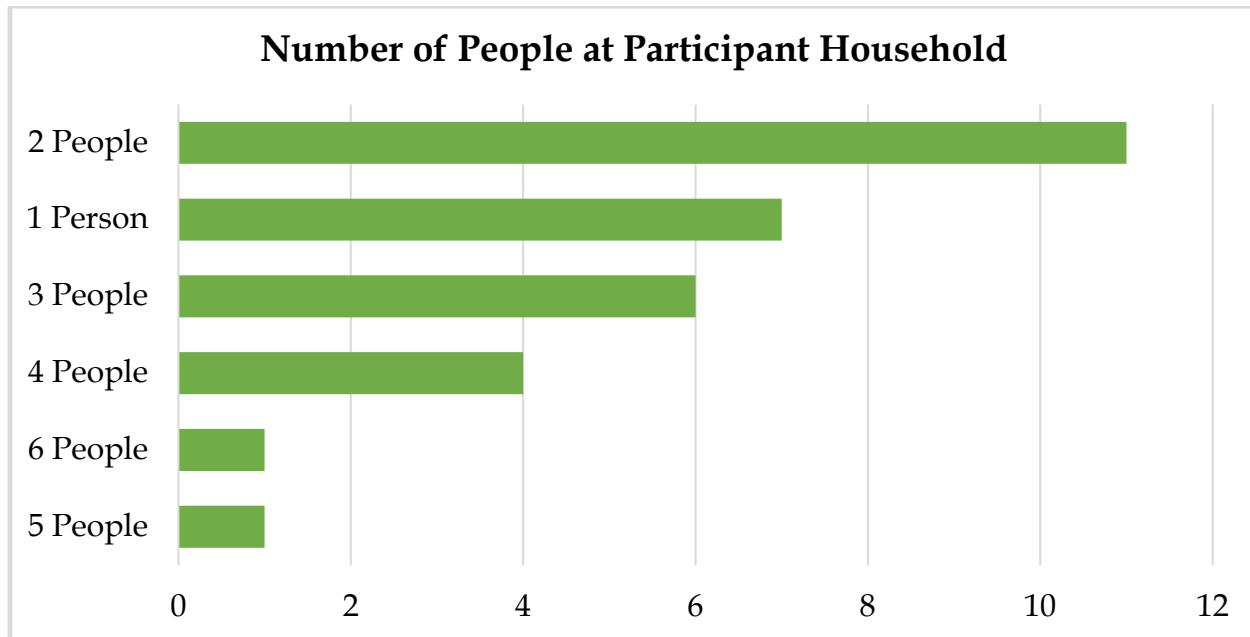
14. What is your age range?

Participants: 31



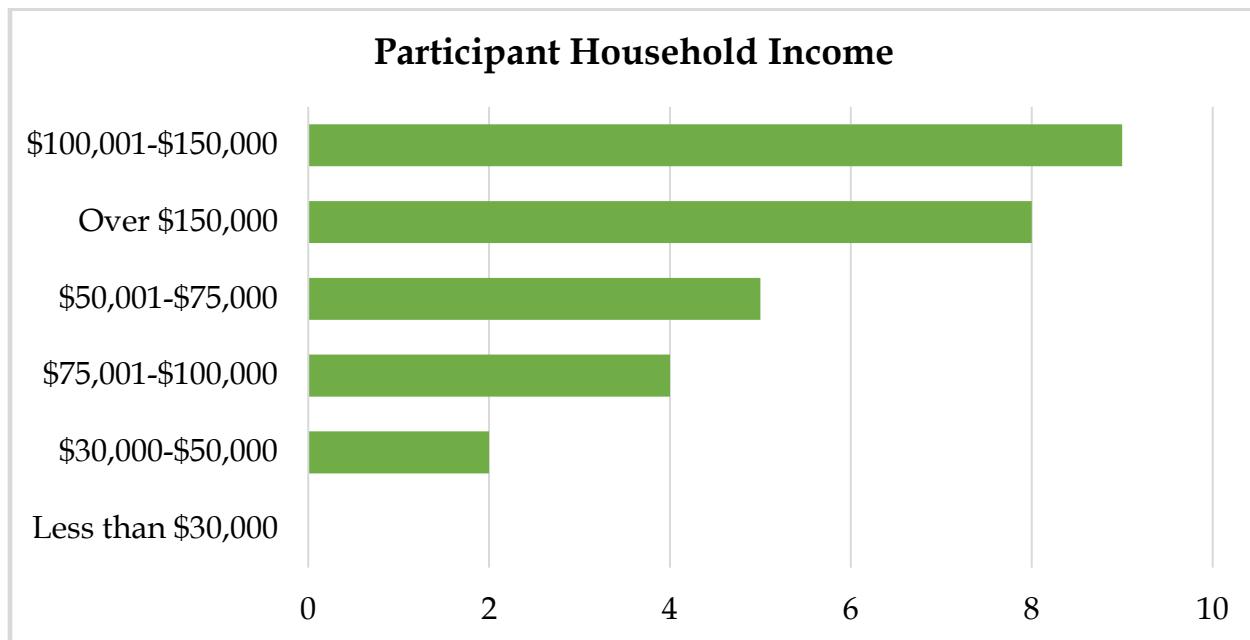
15. How many people live at your primary residence (including yourself)?

Participants: 30



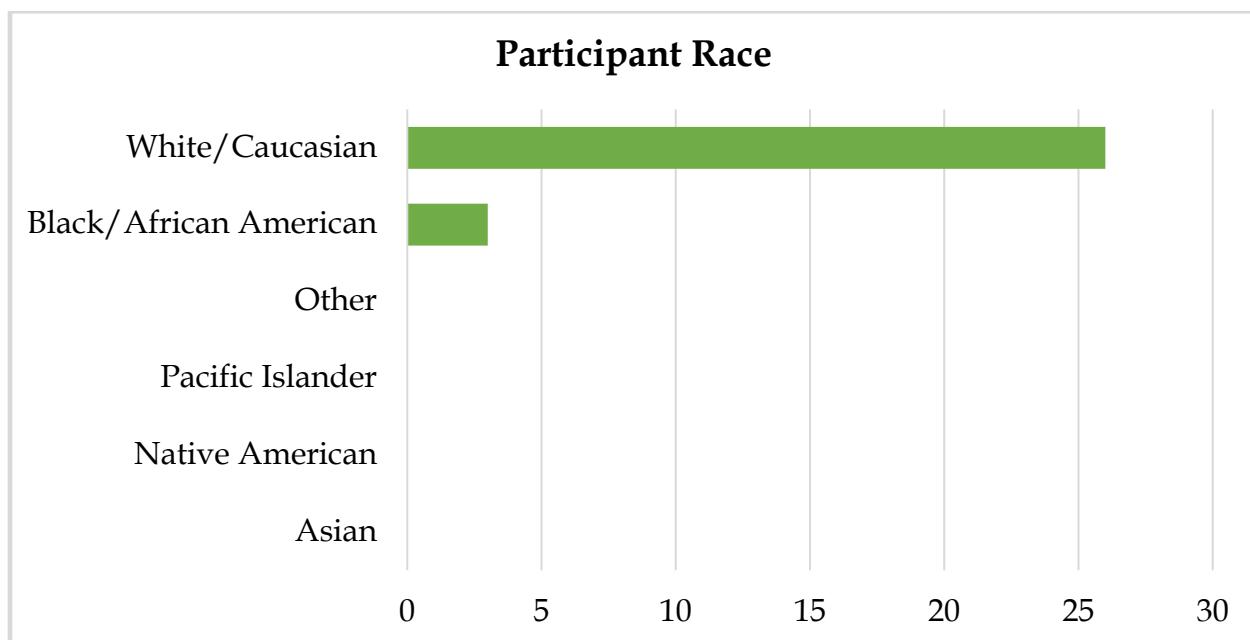
16. What is your household income?

Participants: 28



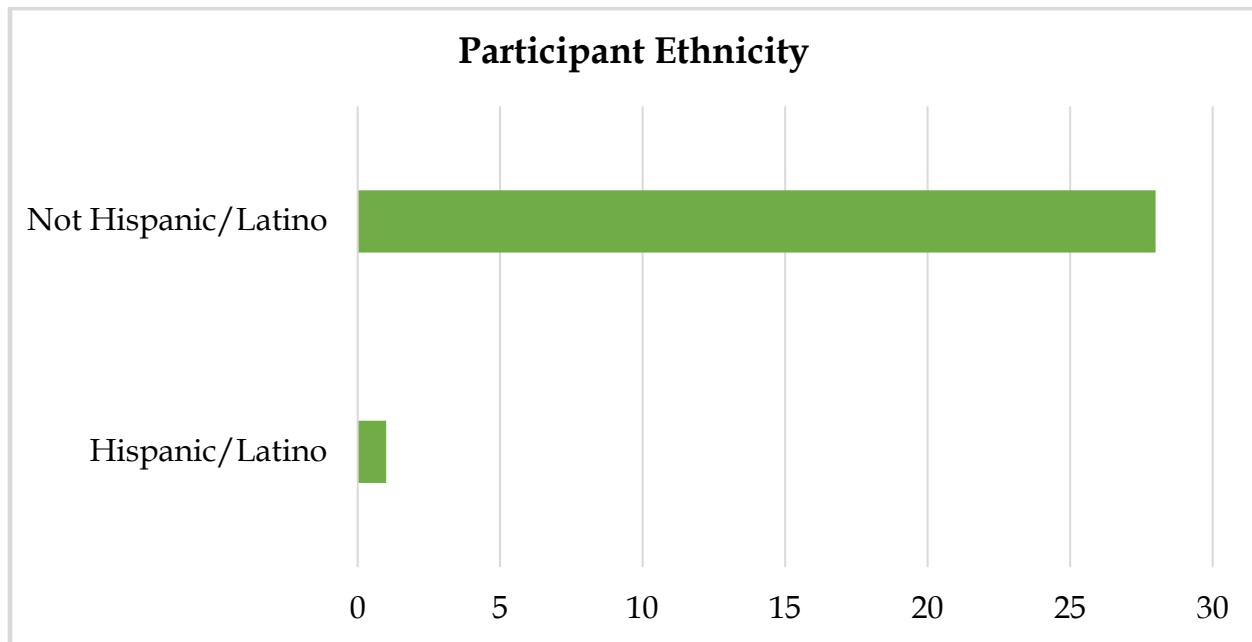
17. What is your race?

Participants: 29



18. What is your ethnicity?

Participants: 29



Attachments: *Email Comments*

Ashley Ownbey

From: alamanceproperties@gmail.com
Sent: Wednesday, January 6, 2021 11:31 AM
To: Ashley Ownbey
Subject: RE: Lowes Blvd Corridor Plan - Squires & Shambley Meeting

Ashley,

Per out meeting this morning, Morris and I would like to reiterate a couple of the key points of our discussion.

-With the likely use of this land moving away from industrial and towards Commercial/Restaurants/ or Residential we would like for the future developers to have as much flexibility with the placement of the road as possible to best utility the tract. This includes positioning the road to optimizing the number of outparcels, minimizing road cost, and in general making the development financially feasible for a developer.

-We also prefer a roadway that does not limit left turns into outparcels as the proposed "median" design would likely force. A simple 2-way roadway or a 3-lane with a center turn lane consumes less cost and land. (Again flexibility to Developer)

Thanks for the opportunity to discuss. I would like an invite to tonight's meeting with an opportunity to speak if I see the need. Thanks

David "Tony" Squires
Owner, Alamance Properties Inc.

Cell: 336-260-4250
Office: 919-270-5046
E-mail: alamanceproperties@gmail.com

From: Ashley Ownbey <aownbey@cityofmebane.com>
Sent: Tuesday, January 5, 2021 1:44 PM
To: Cy Stober <cstober@cityofmebane.com>; Chris Rollins <crollins@cityofmebane.com>; alamanceproperties@gmail.com
Cc: shambleyfarm@mebtel.net
Subject: RE: Lowes Blvd Corridor Plan - Squires & Shambley Meeting

Tomorrow morning's meeting will be Zoom only. Please follow the information below to join.

Ashley Ownbey is inviting you to a scheduled Zoom meeting.

Topic: Lowes Blvd Corridor Plan Meeting
Time: Jan 6, 2021 09:00 AM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/89977436217?pwd=blIQV2RVUWV0ZkRmZXVtNG1NV1g1dz09>

Meeting ID: 899 7743 6217
Passcode: 751498
One tap mobile
+13017158592,,89977436217#,,,*751498# US (Washington D.C)
+13126266799,,89977436217#,,,*751498# US (Chicago)

Devyn Lozzi

From: Cy Stober <cstober@cityofmebane.com>
Sent: Wednesday, January 13, 2021 8:47 AM
To: Ashley Ownbey; Devyn Lozzi
Subject: FW: Lowe's Blvd project

From: Cy Stober
Sent: Tuesday, January 12, 2021 2:08 PM
To: Mike Blankenship <mike@blankenshipdentalcare.com>
Subject: RE: Lowe's Blvd project

Thank you very much, Dr. Blankenship,

Thank you so much for your thoughtful comments. We will add your comments to those submitted on the website and share their content with Council when we recommend a design at their February 1 public hearing. You will be invited to that meeting on Zoom as well so please look for your letter in the mail.

If you have any further comments or concerns, please be sure to share them with the project manager, City Planner Ashley Ownbey, cc'd here.

Thank you,

Cy Stober, AICP
Development Director



106 East Washington Street

Mebane, NC 27302

 919 563-9990

www.cityofmebane.com

From: Mike Blankenship <mike@blankenshipdentalcare.com>
Sent: Tuesday, January 12, 2021 10:17 AM
To: Cy Stober <cstober@cityofmebane.com>
Subject: Lowe's Blvd project

Morning Cy,

Sorry I crashed the party last night. My bad. If I'd read for detail it would help me a lot! Regarding the project and the newish option 4. To me, 25 yrs from now, the trailer park won't be viable, will be gone, and the land developed in some fashion. It is still my opinion that I would not compromise the Option3 for that property, then have to live with it in the years to come. I think we should build Option 3 and be done with it. I know traffic circles are quaint and very

European, but just as DOT people can tell you, many times they are removed later and replaced with traffic lights. I especially agreed with Kevin's remarks about the intersection with the school drive. With a circle, there's no legitimate way to cross 119 E to W as traffic never stops. If the town wants pedestrian and bike access, that just won't work to me.

One other thing. If Trollingwood-Hawfields is reworked someday, I do not support a divided highway. I would rather see a nice, 3 lane, with two flow lanes and a turn lane. The divided road would look nice, but limits access from businesses that will arise on the E side especially, forcing U turns where you can do so.

Thanks for your work,

Mike Blankenship

Notice: The information contained in this message (including attachments) is covered by the Electronic Communications Privacy Act, 18 U.S.C. 2510-2521, is confidential and may be legally protected from disclosure. If you are not the intended recipient, or an employee or agent responsible for delivering this message to the intended recipient, you are hereby notified that any retention, dissemination, distribution or copying of this communication is strictly prohibited. Any statements made in emails are not to be considered as guarantees of any kind. Our company accepts no liability for the content of this email, or for the consequences of any actions taken on the basis of the information provided, unless that information is subsequently confirmed in writing. Any views or opinions presented in this email are solely those of the author and do not necessarily represent those of the company. Computer viruses can be transmitted via email. The recipient should check this email and any attachments for the presence of viruses. The company accepts no liability for any damage caused by any virus transmitted by this email. If you have received this communication in error, please notify the Sender immediately by replying to the message and deleting it from your computer.

Devyn Lozzi

From: Ashley Ownbey <AOwnbey@cityofmebane.com>
Sent: Monday, January 11, 2021 4:21 PM
To: Devyn Lozzi
Cc: Jay McInnis; Cy Stober
Subject: FW: Lowes Blvd Corridor Plan - Mebane Planning Board Meeting Info
Attachments: Alternative Path for Lowes Blvd and Hawf School extensions (2) (2).pdf

Devyn,

I wanted to make you aware of this comment and drawing.

Ashley Ownbey

Planner



106 East Washington Street
Mebane, NC 27302

 919 563-9990

www.cityofmebane.com

From: Martin Shoffner <martin.shoffner@gmail.com>
Sent: Monday, January 11, 2021 4:03 PM
To: Ashley Ownbey <AOwnbey@cityofmebane.com>
Cc: Cy Stober <cstober@cityofmebane.com>; Audrey Vogel <AVogel@cityofmebane.com>; Chris Rollins <crollins@cityofmebane.com>
Subject: Re: Lowes Blvd Corridor Plan - Mebane Planning Board Meeting Info

Cy

It is my hope that you will make copies and pass on an alternative version attached below for open discussion with the Planning Board meeting this evening. It is not professionally done, but it is an example of what I would be looking for if I were to develop my property and I would also ask for input from the adjacent property owners. I would of course hire an engineering firm to develop a proposed plan for this area and submit it to the City of Mebane with my application for subdivision approval if I should I decide to move forward.

Thank you,
Martin

On Mon, Jan 11, 2021 at 3:15 PM Ashley Ownbey <AOwnbey@cityofmebane.com> wrote:

Martin,

I have attached a fourth concept that will be presented at tonight's Planning Board meeting. The inclusion of this concept comes after consideration of the input we have received thus far from property owners in the study area and individuals who have completed the online survey.

Please let us know if you have any questions.

Thank you,

Ashley

Ashley Ownbey

Planner

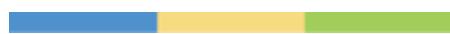


106 East Washington Street

Mebane, NC 27302

 919 563-9990

www.cityofmebane.com



From: Martin Shoffner <martin.shoffner@gmail.com>

Sent: Saturday, January 9, 2021 2:09 PM

To: Cy Stober <cstober@cityofmebane.com>

Cc: Audrey Vogel <AVogel@cityofmebane.com>; Ashley Ownbey <AOwnbey@cityofmebane.com>

Subject: Re: Lowes Blvd Corridor Plan - Mebane Planning Board Meeting Info

Cy,

I am hoping you can share any other preliminary proposals you have for the Lowes Blvd. extension. I would like to work with Mebane on getting something that is viable for the City

and the property owners that this directly impacts. The Blvd. extension will impact the adjacent properties and the community as a whole, but it is the people with property that this Blvd transverses across that will be most affected. I believe what has been presented will adversely impact several owners unless it can be modified.

Thank you,

Martin

On Fri, Jan 8, 2021 at 9:05 AM Ashley Ownbey <aownbey@cityofmebane.com> wrote:

Good morning,

Thank you for attending last night's meeting to discuss the Lowes Boulevard Corridor Plan. As mentioned during the meeting, this item will be presented to the Mebane Planning Board on Monday. The meeting begins at 6:30 p.m. and the Lowes Boulevard Corridor Plan is Agenda Item #5. The meeting's agenda and virtual guidelines are attached.

As described in the virtual guidelines, two options exist for participating during the meeting:

1. Email written comments to avogel@cityofmebane.com by 4:00 p.m. on Monday. Written comments will be read aloud by staff.
2. Register at the following link to participate during the meeting:
https://us02web.zoom.us/webinar/register/WN_xo0POdDnQseXXEi4KPSZFA

If you only wish to view the meeting, the meeting will be livestreamed on the [City's YouTube Channel](#).

Please let us know of any questions.

Thank you,

Ashley

Ashley Ownbey



106 East Washington Street

Mebane, NC 27302

 919 563-9990

www.cityofmebane.com



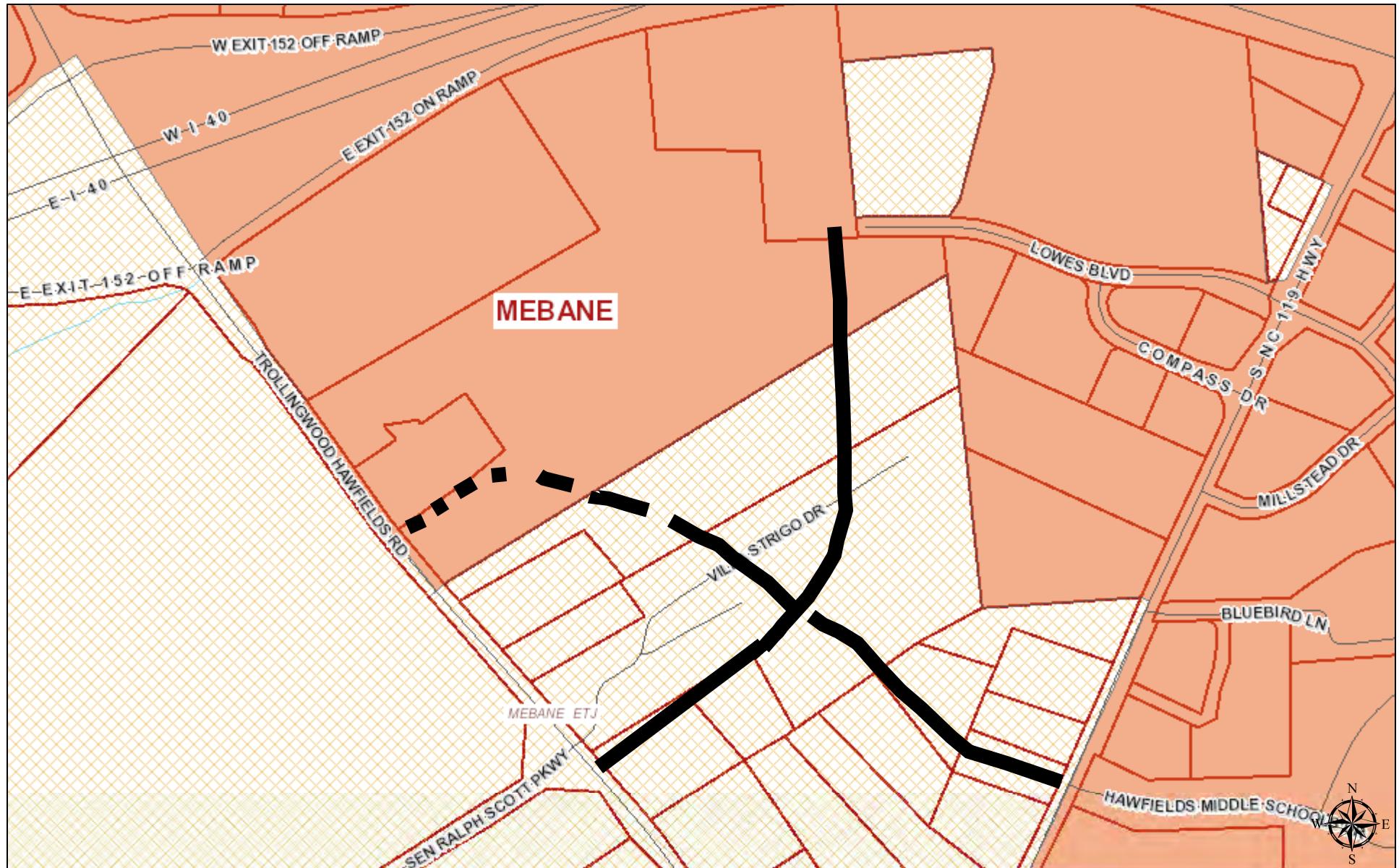
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Martin L Shoffner

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Martin L Shoffner

Alamance County



January 11, 2021

Streets

Roads

Preliminary Roads

Private Roads

390 - TRAIL

391 - TRAIL

392 - TRAIL

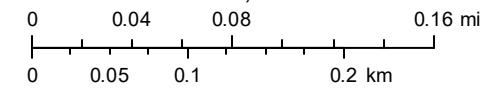
393 - TRAIL

394 - TRAIL

395 - TRAIL

County Line

1:4,848



Alamance County GIS

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan,

Ashley Ownbey

From: Patty Dischinger <pattydischinger@hotmail.com>
Sent: Thursday, January 14, 2021 3:56 PM
To: Ashley Ownbey; dad
Cc: Cy Stober; Dean Williams
Subject: Re: Meeting to discuss Lowes Boulevard Corridor Plan
Attachments: LowesBlvd_Concept4A_PropertyLines.pdf; LowesBlvd_Concept4B_PropertyLines.pdf

Hello Ashley,

Next Friday Jan. 22nd at 9:00 am will work for us at my parents' home. As you can imagine, if either you or Cy owned this land you would not be thrilled with option 4. I am hoping we can work out something that is more advantageous for my parents. When we filled out the survey, we listed option 1 or 2 as preferences. Option 3 which is like option 4 was our least favorite. We are disappointed that our survey was not taken into consideration when you developed option 4. We filled out a paper copy with our names on it. Unless there is a very high price for the use of their land, we believe option 4 would depreciate their land. Thank you for your quick response. I have copied my brother Dean as well in case it works out for him to attend.

Sincerely,
Patty

From: Ashley Ownbey <AOwnbey@cityofmebane.com>
Sent: Thursday, January 14, 2021 2:19 PM
To: Patty Dischinger <pattydischinger@hotmail.com>; dad <johnammedwilliams@yahoo.com>
Cc: Cy Stober <cstober@cityofmebane.com>
Subject: Meeting to discuss Lowes Boulevard Corridor Plan

Patty,

Are you all available for a meeting next Friday, January 22 at 9:00 a.m.? As we discussed on the phone, we are happy to meet at your parents' home.

I have attached two variations of Concept 4. The [website](#) has also been updated to include this concept and letters will be mailed by the end of this week.

Thank you,
Ashley

Ashley Ownbey

Planner



106 East Washington Street
Mebane, NC 27302

Planning Department

From: Tom Gamble <rtgamble122@aol.com>
Sent: Sunday, January 24, 2021 10:29 PM
To: Planning Department
Subject: INPUT: Lowe's Boulevard Extension Plans

For Ashley Ownby:

Hi Ashley: Thank you so much for giving me an extension beyond what the survey required for completion of the Survey.

I did get it submitted on Friday, I hope, so what I owe you is an extension of my comments. The following doesn't really add, or maybe complete what my recent experience has been in the study area. If you need me to answer that I will be glad to by the Council meeting. I am out of time now so I am sending what follows.

Please let me first, introduce myself to you and the Council of Mebane, who may not know me. I am Tom Gamble, actually of Swepsonville, even though the Post Office considers my mailing address as Haw River. I moved at least 5 miles from North of the Interstate to South of the Interstate but I am still in Haw River. (I currently live in the Autumn Trace subdivision, of course, very close to the Honda plant at the end of Hwy 119.) At least I am closer to many relatives that I have in South Carolina!

I moved to Alamance County, now 32 years ago, after my family and I moved around the country in chase of the American Corporate dream/career. That career took me from Georgia, back to SC and eventually to Indiana. We moved to NC for me to join Alamance Community College as the founding director of the Small Business Center. Yes, I had learned from my corporate experience that given my desire to live in the Carolinas but not work in textiles, since it was no longer thriving, I needed to shift my focus from manufacturing, or "punt."

I decided to shift to government support of entrepreneurship. I searched for and found a job opening at ACC for Director of the SBC. Needless to say, the rest is history and in late 1988 my family and I found ourselves in Alamance County. As residents of the Mebane area, my kids all graduated from Eastern Alamance High School. We also became members of Hawfields Presbyterian Church and remain so today.

So, as I remained an advocate for entrepreneurship and small business development, I attended a hearing held by NCDOT at Hawfields Church for a proposed widening of Highway 119 from Lowe's Boulevard to the existing intersection at the church. I pointed out that the widening and limited access to left turns back onto 119 would severely limit customers to the businesses in the commercial developments and might cause some business failures. I pointed out that the residential developments that were occurring in the area are what had attracted first commercial developers, and then the customers to the businesses that had moved into those sites. I do not now know the status of that proposal at the current time, sorry to say.

I soon became aware that NCDOT had developed another proposal for expansion of 119 to Turner Road which would require the removal of graves from Hawfields Cemetery and the traffic being approximately 20 feet from the doorway of the church. I hope that we can all agree that removal of graves, regardless of the decedent, should be considered only as the very last alternative to any other need. At the same time as this later proposal, I learned that NCDOT was considering the need to widen 119 all the way to Hwy 54. As a result, and as an Elder of Hawfields, I began to think about what alternatives might there be to this latter proposal to widen 119.

I realized that the church had used a "No, But" strategy with the City of Mebane in regards to a sewer line project from Turner Road to the back of the Hawfields property. The initial proposal of the city was directly across the church property in a "straight line," I think. The church said "We would be open to taking the line along the 119 right of way and then along our property line." And that is what has been accomplished. And so, I began to think of "No, But" in relation to the 119 increased level of traffic, that has obviously materialized, and the Hawfields Church property.

It was also known in the area that a proposal had existed to extend Lowe's Blvd to intersect with Hawfields-Trollingwood Rd. My recollection of the exact sequence of events are fuzzy, but a development of two hotels along that route was also announced. (I also heard that residents of the Strigo Trailer Park had been told that they were going to have to move for the extension of Lowe's Blvd. to Sen. Ralph Scott Parkway.)

Anyway, I began thinking that alternatives existed for 119 to be routed, either along H-T Rd or along the Lowe's Blvd extension to H-T intersection. In any event I do not want 119 to be widened in front of the historic property that is Hawfields Church and certainly not to have graves removed from the cemetery. But, again, I do think that at least some alternative exists to avoid the current area along the existing 119 but connect to the Scott Parkway and eventually to Hwy 54 either using Jim Minor Rd or somewhere between the current Jim Minor connection or the 119 connection.

I hope that the City of Mebane (and NCDOT) can consider other alternatives for routing of Hwy 119 South, maybe eventually to connect to Hwy 54.

Lowes Boulevard Corridor Plan

Public Engagement

About

This virtual public engagement has been created with the intent to provide the City of Mebane residents with a safe way to provide input and comments on the Lowes Boulevard Corridor Plan.

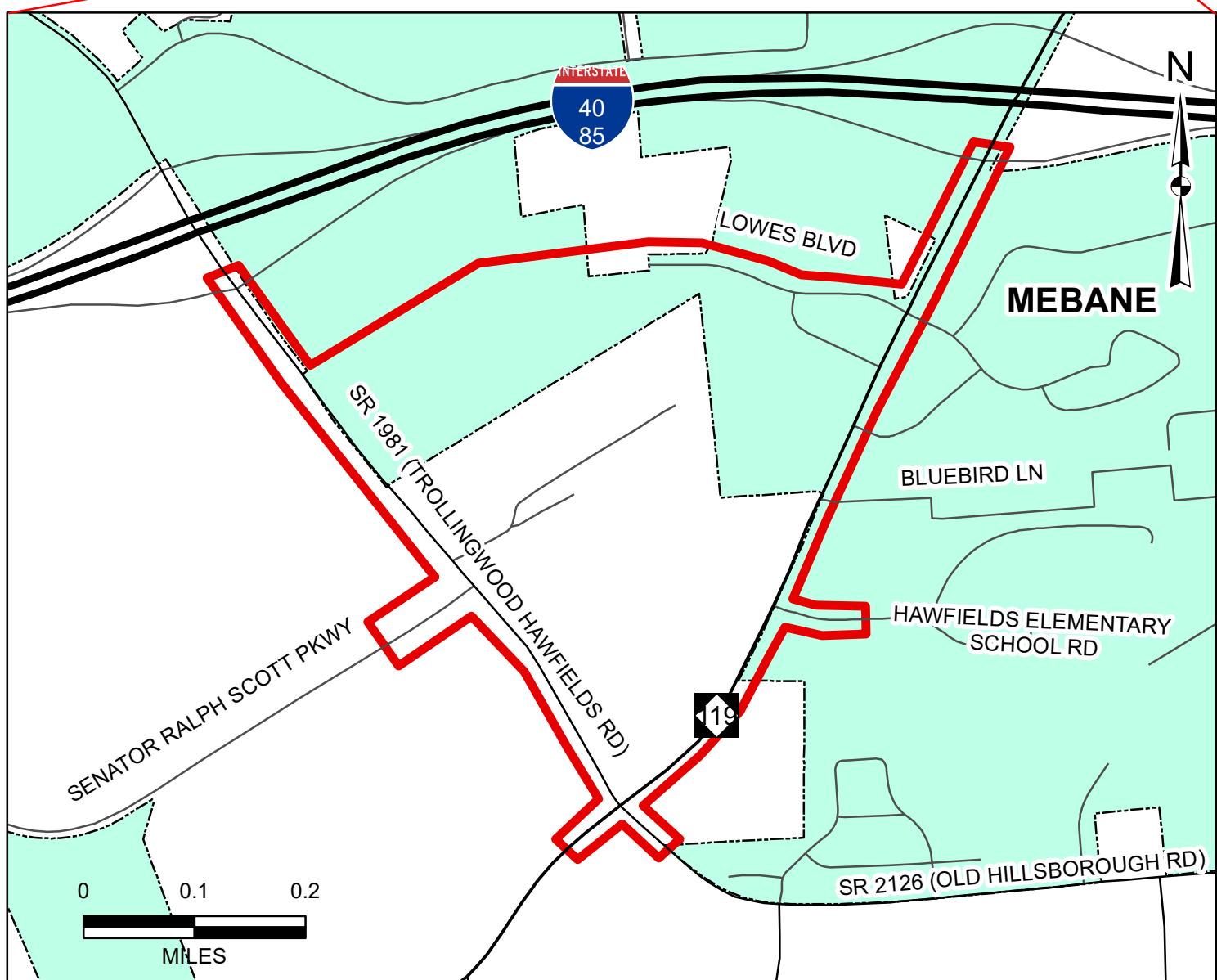
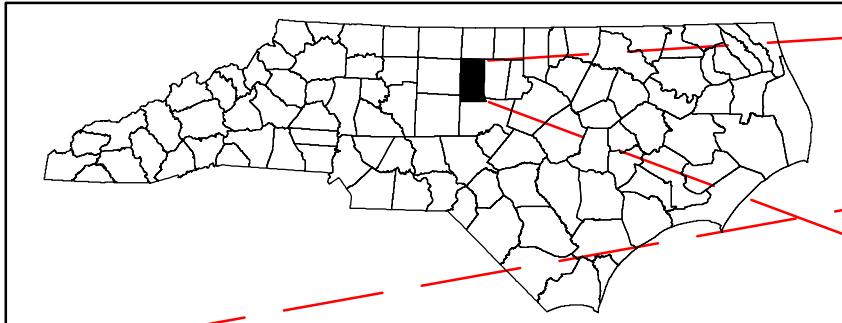
The project website provides general information on the project, design details, and maps of the conceptual alternatives of the Lowes Boulevard Extension. At the bottom of the project webpage, under the "Public Survey" section is a link to a public survey. Your participation is crucial to the success of the project and any comments or insights would be appreciated.

The public survey is open for comment from December 7, 2020 through January 22, 2021.

ACCESS TO INFORMATION: ALL DOCUMENTS AND DATA CAN BE PROVIDED IN ALTERNATIVE FORMAT UPON REQUEST PLEASE CONTACT FOR ADDITIONAL ASSISTANCE AND INFORMATION 336-513-5418

ACCESO A INFORMACION TODOS LOS DOCUMENTOS Y DATOS DE MPO SE PUEDEN PROPORCIONAR EN FORMATOS ALTERNOS A PETICION POR FAVOR COMUNIQUESE CON LA OFICINA DE MPO PARA INFORMACION E ASISTENCIA ADICIONAL 336-513-5418

No person shall, on the ground of race, color, or national origin, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity as provided by Title VI of the Civil Rights Act of 1964, the Civil Rights Restoration Act of 1987, and any other related non-discrimination Civil Rights laws and authorities with use of federal funds.



STUDY AREA



CITY OF MEBANE

RAMEY KEMP ASSOCIATES

PROPOSED LOWES BOULEVARD
EXTENSION
FROM LOWES BOULEVARD
TO SR 1981 (TROLLINGWOOD-HAWFIELDS
ROAD)
ALAMANCE COUNTY

VICINITY MAP

Project Overview

The purpose of the proposed extension of Lowes Boulevard is to address existing and future congestion at the intersection of NC 119 and Trollingwood-Hawfields Road (SR 1981) as well as establish multi-modal connectivity within the study area. The project study area is shown, outlined in red, with the Mebane city limits highlighted in green.

The Lowes Boulevard Corridor Plan addresses existing concerns, which include traffic congestion within the study area and absence of bicycle and pedestrian accommodations. Currently, the intersection of NC 119 and Trollingwood-Hawfields Road operates at failing levels of service during peak hours, which cause significant queuing and delay, ultimately increasing travel times throughout the study area. The Lowes Boulevard extension provides an alternative route that will likely decrease the number of vehicles traveling through the intersection of NC 119 and Trollingwood-Hawfields Road. Future transit connectivity along the extension will further aid in reducing the number of vehicles on study area roadways.

Additionally, Hawfields Middle School and Garrett Elementary School are located within the study area and currently lack bicycle and pedestrian access. The improvements included with the Lowes Boulevard extension provide dedicated bicycle and pedestrian access to the two schools via a multi-use path.

The Lowes Boulevard Extension and bicycle and pedestrian facilities have been included in the following transportation plans adopted by the City of Mebane:

The City of Mebane's 2040 Comprehensive Transportation Plan (CTP) is multi-modal, covering roadway, public transportation, and bicycle and pedestrian travel. The CTP serves as an official guide to providing a well-coordinated, efficient, and economical transportation system for the future of Mebane.

The City of Mebane's Bicycle and Pedestrian Transportation Plan communicates the blueprint for making bicycling and walking an integral part of daily life in Mebane. The purpose of this plan is to expand the existing network, complete network gaps, provide greater connectivity, educate and encourage the public, and maximize funding sources.

In December 2018, the Mebane City Council adopted a Complete Streets Resolution. Complete Streets are designed and implemented to enable safe access for all users of all ages and abilities. The Mebane City Council and City staff assess street standards, transportation plans, policies, and programs using principles of the Complete Streets concept.

Alternative Designs

Four alternatives were developed for the Lowes Boulevard Extension. Below, you will find Concepts 1, 2, 3, and 4. Concepts 1, 2, and 4 have two variations (Concept 1a and 1b, Concept 2a and 2b, Concept 4a and 4b). Concepts 1a, 2a, and 4a include standard "T" stop-controlled intersections, and concepts 1b, 2b, and 4b include roundabouts.

Each alternative design considers:

1. NC 119 widened to a four-lane roadway, per a funded NCDOT project. The lines shown on the map is the proposed edge of pavement.
2. A known proposed development, next to the Lowe's Home Improvement, that is expected to be approved by the City of Mebane in the near future, and would be constructed prior to the Lowes Boulevard Extension.
3. Sidewalk on one side of the roadway and a multi-use path on the other.

The following maps show the proposed alternative designs:

Concept 1: Lowes Boulevard Extension to Trollingwood-Hawfields Road

- 1a: Stop-control intersections
- 1b: Roundabouts

Concept 2: Lowes Boulevard Extension to Hawfields Middle School Road Extension

- 2a: Stop-control intersections
- 2b: Roundabouts

Concept 3: Lowes Boulevard to Trollingwood-Hawfields Road

Concept 4: Lowes Boulevard Extension to Trollingwood-Hawfields Road through Villa Strigo Drive

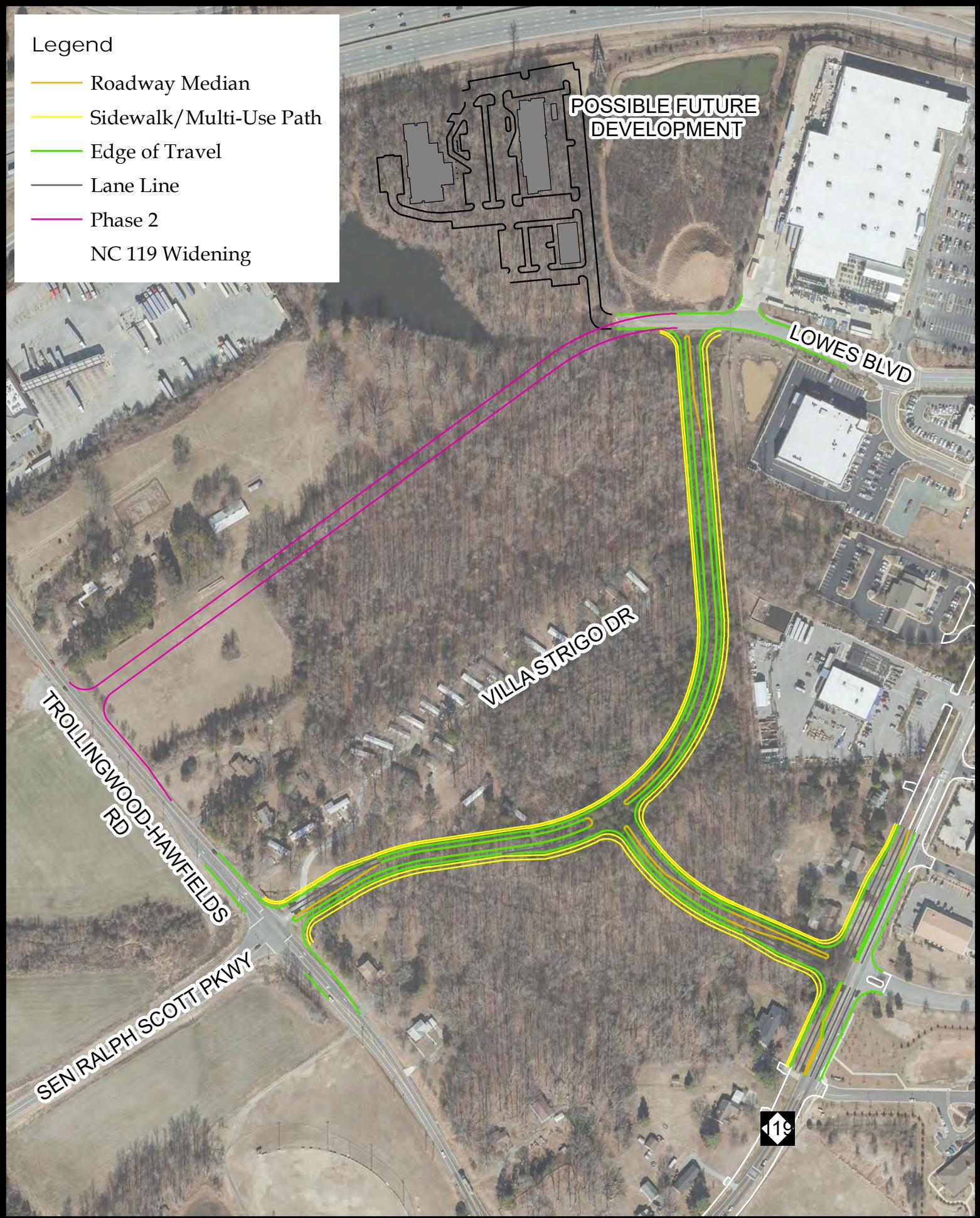
- 4a: Stop-control intersections
- 4b: Roundabouts

CONCEPT 1A
Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- Phase 2
- NC 119 Widening



CONCEPT 1B
Lowes Boulevard Corridor Plan

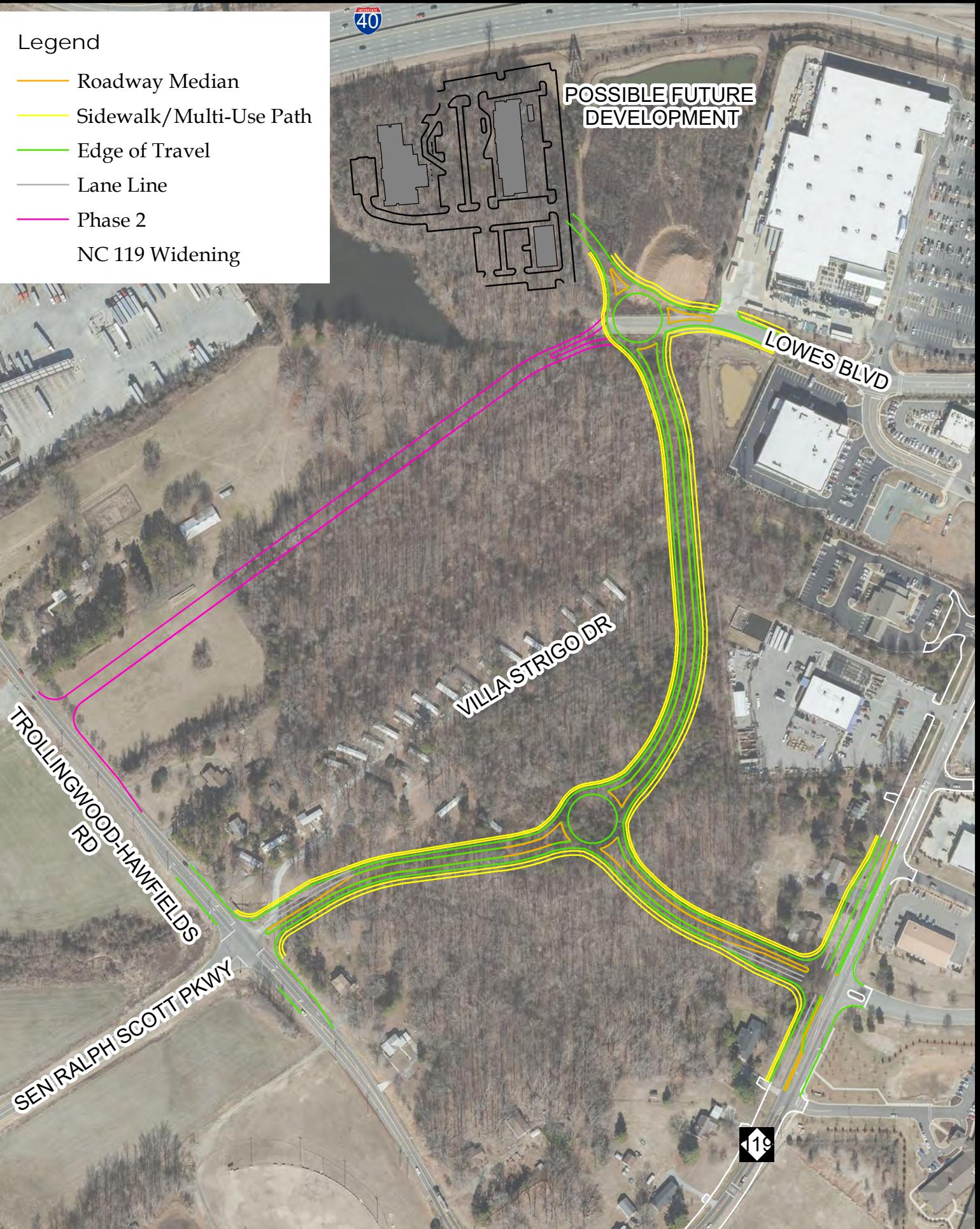


Legend

- Roadway Median
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- Phase 2
- NC 119 Widening

INTERSTATE
40

POSSIBLE FUTURE
DEVELOPMENT



CONCEPT 2A
Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- Phase 2
- NC 119 Widening

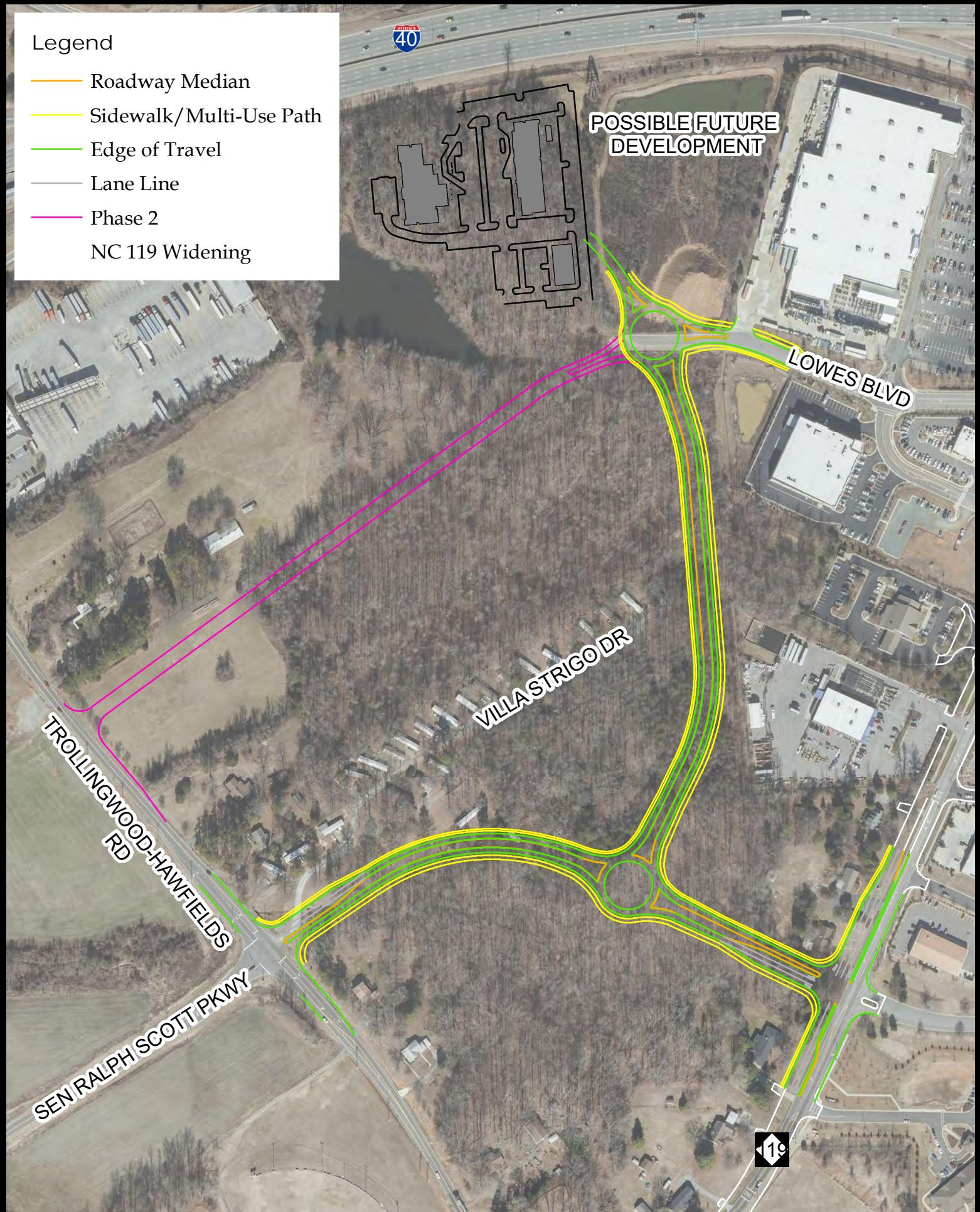


CONCEPT 2B
Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- Phase 2
- NC 119 Widening



CONCEPT 3
Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- NC 119 Widening



CONCEPT 4A
Lowes Boulevard Corridor Plan



Legend

- Roadway Median
- Curb and Gutter
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- NC 119 Widening



CONCEPT 4 B
Lowes Boulevard Corridor Plan



Legend

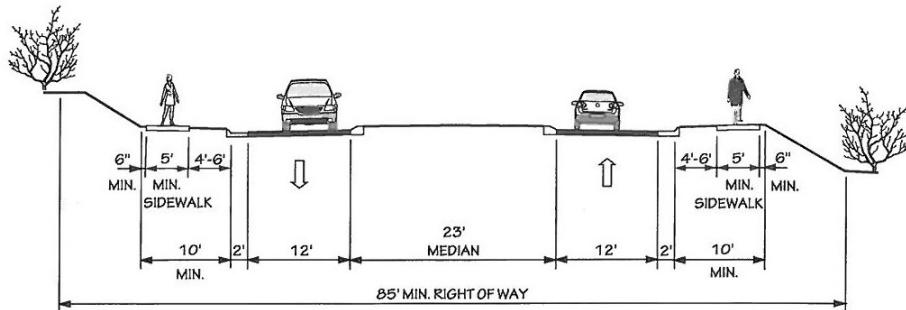
- Roadway Median
- Curb and Gutter
- Sidewalk/Multi-Use Path
- Edge of Travel
- Lane Line
- NC 119 Widening



Design Considerations

The following items were taken into consideration when developing alternatives:

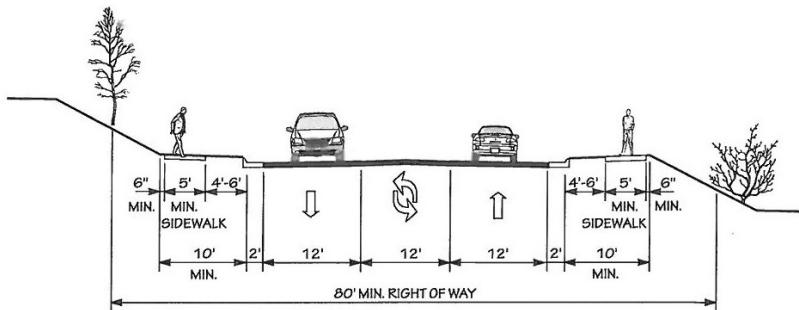
- Posted speed limit of 35 miles per hour (MPH)
- Provide direct access to Hawfields Elementary School Road
- Reduce impacts to existing buildings
- Reduce impacts to known historic sites
- Reduce impacts to known water features (streams, ponds, etc)
- Consider future development and growth of the North Carolina Commerce Park



**2 LANE DIVIDED (23' RAISED MEDIAN)
WITH CURB & GUTTER AND SIDEWALKS
POSTED SPEED 25-45 MPH**

Source: North Carolina Department of Transportation

Both a two-lane median divided roadway and a three-lane roadway with a center turn lane are being considered for the proposed Lowes Boulevard Extension.



**2 LANE WITH TWO WAY LEFT TURN LANE, CURB & GUTTER,
AND SIDEWALKS
POSTED SPEED 25-45 MPH**

Source: North Carolina Department of Transportation

Study Area

The study area was set to include the major roadways that would provide access to the future Lowes Boulevard Extension, as well as the major nearby intersections. This included NC 119 from Trollingwood-Hawfields Road to I-40/85 and Trollingwood-Hawfields Road from NC 119 to I-40/85. Conceptual alternatives for the proposed Lowes Boulevard Extension have been developed within this area.

The information below provides a summary of the demographics within the study area. Note that the demographics below were gathered based on the 2010 Census Block Group that the study area is located in. The Block Group is larger than the study area, as shown in the map below. Although the infographic provides information about the entire Block Group, this data may not be fully representative of the smaller study area.



Source: 2018 American Community Survey 5-year Estimates. North Carolina, Alamance County Census Block 212.05, Block Group 3

STUDY AREA
Lowes Boulevard Corridor Plan



Existing Conditions

Lowes Boulevard

Lowes Boulevard is a three-lane road with no control of access within the study area, with a traffic signal at its terminal with NC 119. Currently, Lowes Boulevard ends just after the truck entrance for Lowe's Home Improvement. The existing roadway is a three-lane section with curb and gutter and sidewalk on the north side.

NC 119

NC 119 is a two-lane road with no control of access and two traffic signals within the study area. Signals are located at Lowes Boulevard and Trollingwood-Hawfields Road. Gaps in the sidewalk network exist along NC 119.

The 2020-2029 State Transportation Improvement Program (STIP) includes a funded project (STIP Project U-6013) to widen NC 119 in the study area from Trollingwood-Hawfields Road/Old Hillsborough Road to Lowes Boulevard. Right of way acquisition is scheduled for 2021 and construction is scheduled for 2023. If you are interested in finding out more information regarding the NC 119 widening project, please go to the web address below to be directed to the NCDOT project page.

<https://www.ncdot.gov/news/public-meetings/Pages/U-6013-2019-04-04.aspx>

Trollingwood-Hawfields Road

Trollingwood–Hawfields Road is a two-lane road with no control of access and two traffic signals within the study area. Signals are located at NC 119 and Senator Ralph Scott Parkway. No sidewalks exist along Trollingwood-Hawfields Road within the study area. Trollingwood-Hawfields Road provides access to the North Carolina Commerce Park, which generates automobile and truck traffic.

The 2020-2029 STIP includes a funded project (STIP Project I-6059) to improve the I-40/85 interchange with Trollingwood-Hawfields Road. Improvements include widening Trollingwood-Hawfields Road, improving the interchange, and providing bicycle and pedestrian accessibility. Right of way acquisition is scheduled for 2027 with construction scheduled beyond 2029.

Public Survey

The City of Mebane staff would like to obtain input from the public regarding the Lowes Boulevard Corridor Plan. Your input is very important and will help with further concept development and the selection of a preferred alternative. Please fill out the attached survey and return to the City of Mebane Planning & Zoning Department to provide your thoughts.

The survey will be open from December 7, 2020 to January 22, 2021.

Contact

City of Mebane Planning & Zoning Department

Ashley Ownbey, Planner

Phone: 919-563-9990

Email: planning@cityofmebane.com

Glossary of Terms

"On a new location" - The roadway will be constructed in an area with no existing roadway; this will be a brand new road.

"Bicycle facility" - A dedicated area for bicyclist. Examples include a paved shoulder, a dedicated bike lane, or a separated bike lane.

"Pedestrian facility" - A dedicated area for pedestrians (foot traffic). Examples include sidewalks or paved trails.

"Control of access" - The term used to describe whether NCDOT will allow private driveways to connect to the roadway. For example, interstates, like I-40, have control of access because there are no intersections, only interchanges. NC 119, for example, has no control of access because businesses and private properties are able to have driveways connect to the road.

"Gaps in sidewalk" - The sidewalk is not continuous in a certain area.

"Stop-control" - An intersection with stop signs.

"Multi-use path" - A paved trail that is wider than a sidewalk, typically 10 feet wide, that allows for both pedestrians and bicyclists to comfortably use the path at the same time.

Lowes Boulevard Corridor Plan

Public Engagement Survey

This public engagement survey is for the design considerations and alternative development of the Lowes Boulevard Extension. Please fill out the survey and return your completed form to the City of Mebane Planning & Zoning Department no later than January 22, 2021.

City of Mebane Planning & Zoning Department
ATTN: Ashley Ownbey
106 E. Washington St.
Mebane, NC 27302

ACCESS TO INFORMATION: ALL DOCUMENTS AND DATA CAN BE PROVIDED IN ALTERNATIVE FORMAT UPON REQUEST PLEASE CONTACT FOR ADDITIONAL ASSISTANCE AND INFORMATION 336-513-5418

ACCESO A INFORMACION TODOS LOS DOCUMENTOS Y DATOS DE MPO SE PUEDEN PROPORCIONAR EN FORMATOS ALTERNOS A PETICION POR FAVOR COMUNIQUESE CON LA OFICINA DE MPO PARA INFORMACION E ASISTENCIA ADICIONAL 336-513-5418

No person shall, on the ground of race, color, or national origin, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity as provided by Title VI of the Civil Rights Act of 1964, the Civil Rights Restoration Act of 1987, and any other related non-discrimination Civil Rights laws and authorities with use of federal funds.

Existing Conditions

1. What intersections do you regularly travel through? *Select all that apply.*
 - . NC 119 at Lowes Boulevard
 - NC 119 at I-40/85
 - NC 119 at Trollingwood-Hawfields Road
 - Trollingwood-Hawfields Road at Sen. Ralph Scott Pkwy
 - Trollingwood-Hawfields Road at I-40/85
 - None of these

2. What concerns do you have, if any, about the existing study area surrounding Lowes Boulevard, NC 119, and Trollingwood-Hawfields Road. *Select all that apply.*

- Congestion on roads
- Safety
- Bicycle and pedestrian access
- Congestion at intersections
- Not enough route options
- Travel time
- Other: _____

3. In a few words, what is your current experience traveling through the project study area surrounding Lowes Boulevard, NC 119, and Trollingwood-Hawfields Road?

Future Use

4. Providing pedestrian access, via sidewalks, on the Lowes Boulevard Extension is important to me.

Please tell us if you agree or disagree with this statement.

- Strongly disagree
- Disagree
- Neutral
- Agree
- Strongly Agree

5. Providing bicyclist access, via a shared use path or bike lanes, on the Lowes Boulevard Extension is important to me.

Please tell us if you agree or disagree with this statement.

- Strongly disagree
- Disagree
- Neutral
- Agree
- Strongly Agree

6. If the Lowes Boulevard Extension was constructed, how often would you use it?

- Daily
- 5-6 times a week
- 3-4 times a week
- Once or twice a week
- Less than once a week

Preferred Alternatives

7. What design option would be your first choice? *Please select your favorite design.*

- Concept 1a
- Concept 1b
- Concept 2a
- Concept 2b
- Concept 3

This portion of the survey was updated after
the Mebane Planning Board meeting to
include Concept 4.

8. What design option would be your second choice? *Please select your second favorite design.*

- Concept 1a
- Concept 1b
- Concept 2a
- Concept 2b
- Concept 3

9. What design option would be your LAST choice? *Please select your least favorite design.*

- Concept 1a
- Concept 1b
- Concept 2a
- Concept 2b
- Concept 3

10. Which roadway section would you prefer?

A two-lane divided section would have a center median that would limit when drivers can turn left. A three-lane section will allow for drivers to turn left from a shared center lane anywhere along the roadway.

- Two-Lane Divided
- Three-Lane

11. Which of the following are important in your preferred design selection? *Select all that apply.*

- Fewer impacts to existing homes
- Visual appeal
- Future economic growth
- Bicycle safety
- Pedestrian safety
- Other: _____

12. Do you have any additional comments that were not covered in the questions above?

Demographics

Please note that this section is voluntary and will remain private.

13. Please select how you relate to the project study area. *Check all that apply. See the Project Study Area, included in the public information packet, for reference.*

- I live in the project study area
- I work in the project study area
- I am a regular customer at businesses in the project study area
- Other: _____

14. What is your age range?

- Under 18
- 18-23
- 24-30
- 31-40
- 41-50
- 51-60
- 61 and over

15. How many people live at your primary residence (include yourself)? _____

16. What is your household income?

- Less than \$30,000
- \$30,000-\$50,000
- \$50,001-\$75,000
- \$75,001-\$100,000
- \$100,001-\$150,000
- Over \$150,000

17. What is your race?

- White/Caucasian
- Black/African American
- Asian
- Native American
- Pacific Islander
- Other: _____

18. What is your ethnicity?

- Not Hispanic/Latino
- Hispanic/Latino



AGENDA ITEM #7

Bicycle and Pedestrian Advisory Commission (BPAC) Appointments

Presenter

Cy Stober, Development Director

Public Hearing

Yes No

Summary

Per Article 25 of the City of Mebane Code of Ordinances, the City Council has the authority to appoint up to seven (7) community members to its Bicycle and Pedestrian Advisory Commission (BPAC). The BPAC should include one member of each of the City's two extraterritorial jurisdictions (ETJs) in its neighboring counties whenever possible. There are currently three (3) City openings on the BPAC, including one that is reserved for an Alamance County ETJ representative, should they apply.

Background

The City Council adopted the *City of Mebane Bicycle and Pedestrian Transportation Plan* in January 2015. The first recommendation for implementing this Plan is the creation of a Bicycle and Pedestrian Advisory Commission (page 7-1), which advises City Council on all matters regarding pedestrian and bicycle needs within the City of Mebane. Commission members "...should be chosen based on representation of key partner groups and community leaders who value biking, walking, and greenways facilities. Members should expect to contribute time, expertise, and resources towards accomplishing the tasks that lie ahead."

At its September 11, 2017, meeting, the City Council adopted a City ordinance (Article 25) that granted them the authority to appoint this Commission. There is a need to appoint three (3) City positions on the BPAC. Including one that should represent the Alamance County ETJ, should a qualified resident apply. The members shall serve three-year terms.

Financial Impact

N/A.

Commission members serve without monetary compensation. Members shall be reimbursed for travel to professional meetings, conferences and workshops, with such reimbursement being made in compliance with budgeted amounts under the general policies of the City.

Recommendation

Staff recommends current BPAC member Rebecca Brouwer, who is requesting reappointment to her position.

Staff recommends the appointment of Jason Smith to represent the Alamance County extraterritorial jurisdiction.

Staff has no recommendation regarding the five qualified individuals who applied for the remaining position: Matthew Cummings, Kiah Gaskin, Hank Igoe, Katy Jones, and Davia Silberman .

Suggested Motion

Motion to appoint Rebecca Brouwer, Jason Smith, and _____ to serve on the City of Mebane Bicycle and Pedestrian Advisory Commission and provide guidance to the Mebane City Council on the implementation of the *Bicycle and Pedestrian Transportation Plan* and related matters.

Attachments

1. City of Mebane Code of Ordinances, Article 25
2. Applications

ARTICLE 25. – BICYCLE AND PEDESTRIAN ADVISORY COMMISSION [\[2\]](#)

Cross reference— Board, commissions and committees, § 2-131 et seq.

Sec. 25-01. - Definitions.

The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Commission means the advisory bicycle and pedestrian body to the Planning Department, Public Works Department, City Manager and the City Council.

Structures and areas mean the outdoor and indoor areas and structures on or in which people derive opportunities for the pursuit of happiness through recreation, whether or not these areas and structures are owned, leased, borrowed, controlled or operated within or outside of the corporate limits or boundary of the City.

City means the City of Mebane.

Cross reference— Definitions generally, § 1-2.

Sec. 25-02. - Membership; terms; vacancies.

- (a) The Bicycle and Pedestrian Advisory Committee shall be composed of four (4) members who reside within the City of Mebane; one member who resides in the Alamance County part of the city, preferably from the extraterritorial jurisdiction (ETJ); one member who resides in the Orange County part of the city, preferably from the; and one member representing the City and its ETJ at-large. The members shall be appointed by the City Council;
- (b) For the initial term, members of the Bicycle and Pedestrian Advisory Commission shall serve staggered terms of one (1), two (2), and three (3) years as designated by the City Council. Thereafter members appointed shall serve for a term of three years and until their successors are appointed and qualify.
- (c) Vacancies in the Bicycle and Pedestrian Advisory Commission shall be filled for the unexpired term by the City Council. The members of the Bicycle and Pedestrian Advisory Commission shall serve without compensation.
- (d) A member of the Commission may be removed by the City Council for any of the following reasons:
 1. Violation of the attendance, ethics, or conflict of interest provisions found herein;
 2. Moving out of the City of Mebane's zoning and taxing jurisdiction; or
 3. Non-payment of obligations to the City, including, without limitation, municipal taxes; or
 4. Contribution of a felony or a misdemeanor which entails moral turpitude.

Sec. 25-03. - Powers and duties.

- (a) The Commission shall serve as an advisory body for the Planning Department, Public Works Department, City Manager and the City Council. The Commission shall make recommendations and suggest policies to the department, the manager and the city council in matters affecting bicycle and pedestrian needs in the city. Input shall be guided, but not defined by, the City of Mebane *Bicycle and Pedestrian Transportation Plan*, originally adopted by the Mebane City Council in January 2015, as the *Plan* shall change with time and needs.

(b) The Commission shall assume duties for the City's bicycle and pedestrian needs. The Commission shall make recommendations:

- (1) That advise the public and the City on matters affecting the relationship between bicycle and pedestrian transportation and parks, schools, recreation sites, and other major facilities;
- (2) That ensure that the City's *Bicycle and Pedestrian Transportation Plan* as well as other City plans and ordinances are maintained as relevant and informed planning document for bicycle and pedestrian applications, with amendments to ensure their use;
- (3) That engage and educate the public to advocate for implementing bicycle and pedestrian options throughout the City;
- (4) That facilitate cooperation among governmental agencies and nonprofit partners for the development of networks that serve bicycle and pedestrian needs;
- (5) That assist in the acceptance by the City and, with the approval of the City Council, grant, gift, bequest or donation, any personal or real property offered or made available for bicycle and pedestrian purposes and which is deemed to be of relevant present or possible future use. (Any gift, bequest of money or other property, any grant, devise of real or personal property so acquired shall be held by the City, used and finally disposed of in accordance with the terms under which such grant, gift or devise is made and accepted.); and
- (6) That plan, design, construct, and/or operate and maintain infrastructure serving a bicycle and pedestrian need.

(c) It is the basic function of the City Commission to promote bicycling and pedestrian activities for citizens. In so doing, the Planning Department and Public Works Department and their Commissions are authorized to aid and assist agencies (in line with reasonable and legally correct policies recommended by the Bicycle and Pedestrian Advisory Commission and accepted by the City Council, which assistance may include public; private, commercial; those which are quasipublic in character, and which, although public in nature, are not under the City's direct jurisdiction (such as schools, churches, hospitals, military installations, orphanages, commercial recreation, business and industrial agencies); as well as civic, neighborhood and service groups in their recreation interests and needs.

Sec. 25-04. - Meetings.

Commission meetings shall be held on a quarterly basis unless when determined otherwise by the Commission. All meetings of the Committee shall be conducted in an informal manner unless otherwise specified herein. The Chair of the Commission or, in his absence, the Vice-Chair, may call a special meeting of the Commission at any time by giving each member 24 hours' notice. Special meetings will be scheduled upon request by four or more Commission members. A quorum of the Commission shall be in attendance before action of an official nature can be taken. A quorum is a majority of the appointed members of the Commission.

Sec. 25-05. - Attendance of members.

An appointed Commission member with unapproved absences from more than three (3) regular meetings loses his or her status as a member of the Commission until reappointed or replaced by the City Council. Notification of absence at least twenty-four (24) hours prior to the meeting shall be considered approved. Absences due to sickness, death or other emergencies of like nature shall be regarded as approved absences and shall not affect the member's status on the Commission except that in the event of a long illness, or other such cause for prolonged absence, the member may be replaced.

Sec. 25-06. – Conflicts of Interest

Commission members hold their positions for the benefit of the public. Pursuant to the requirements of NCGS 160A-388 (e1), a member of the City Council shall not participate in or vote on a matter in which a Commission member's duty to act in the public interest conflicts with a potential desire to advance his or her own personal interest. Impermissible conflicts include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change; undisclosed *ex parte* communications; a close familial, business, or other associational relationship with an affected person; or a financial interest in the outcome of the matter. If an objection is raised to a member's participation and that member does not recuse himself or herself, the remaining members shall by majority vote rule on the objection.

Sec. 25-07. - Compensation.

Commission members shall serve without monetary compensation. Members shall be reimbursed for travel and subsistence to professional recreation meetings, conferences and workshops, with such reimbursement being made in compliance with budgeted amounts under the general policies of the City.

Sec. 25-08. - Officers.

There shall be a Chair, Vice-Chair and Secretary of the Commission. An annual election of the Chair and Vice-Chair shall be held by the Commission members and shall occur at the regular monthly meeting in June. Officers shall serve for one year from election with eligibility for reelection. New officers shall take office at the subsequent regular meeting in July. In the event an officer's appointment to the Commission is terminated, a replacement to this office shall be elected by the Commission, from its membership, at the meeting following the termination. The Secretary position will be fulfilled by staff from the City Planning Department.

Cross reference— Officers and employees, § 2-71 et seq.

Sec. 25-09. - Duties of officers.

The Commission Chair shall preside at all meetings and sign all documents relative to action taken by the Commission. The Chair shall appoint all subcommittees and designate their chairmen. When the chair is absent the Vice-Chair shall perform the duties of the Chair. When both the Chair and Vice-Chair are absent a Temporary Chair shall be selected by those members who are present. All meeting minutes shall be recorded and maintained by the Secretary, and shall available for review with the City. The Secretary shall mail to all members copies of official reports and the official minutes of all regular and special meetings prior to the next scheduled meeting.

Secs. 25-10 — 25-25. - Reserved.





City of Mebane

Boards and Commissions Application

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely. Return this application either in person, by mail, or by fax to the Mebane Municipal Building, 106 East Washington Street, Mebane, NC 27302, Fax (919) 563-9506.

Personal Information

Name: Rebecca Brouwer

Home Address: 103 West Lee St.

Mailing Address (if different): _____

Home Phone: 919-309-5316 Business Phone: _____

Do you live inside the Mebane City Limits? Yes No

Board Preference

Are you currently serving on a board or commission of the City of Mebane? Yes No
If so, which one(s)? Bicycle and Pedestrian Advisory Commission

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Bicycle and Pedestrian Advisory Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I have been involved with the City and community over the past 15 years, helping ensure that Mebane is a community with opportunities that promote health, wellness, and quality of life. With my continued connection to Mebane on the Move, I hope to ensure that initiatives speak to the needs of our citizens. In my first 3 years on the BPAC, I served as chair, where we were able to instantiate our new Complete Streets policy, build the foundations for our upcoming greenway, and help our commission think through the best ways to serve as advisors to the City. I hope to continue serving in this capacity for the next 3 years, as we help the city consider bike and ped issues, during Mebane's rapid growth.

Education

Please list your educational background. Include name of all schools attended:

Masters of Science, Eastern Michigan University; Bachelors of Science, College of William & Mary

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Duke University

Address: 2200 Erwin Road, Durham

Title and Duties:

Director of Research Initiatives - oversee support office for researchers across the institution.
more info: <https://www.linkedin.com/in/rebeccabrouwer/>

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

Mebane Woman's Club (member since 2004)

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.

Received 1/19/2021



City of Mebane Boards and Commissions Application

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely. Return this application either in person, by mail, or by fax to the Mebane Municipal Building, 106 East Washington Street, Mebane, NC 27302, Fax (919) 563-9506.

Personal Information

Name: Matthew Cummings

Home Address: 1403 Birkdale Circle, Mebane, NC 27302

Mailing Address (if different): _____

Home Phone: 919 433 7514 Business Phone: _____

Do you live inside the Mebane City Limits? Yes No _____

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? Yes No
If so, which one(s)? _____

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Bicycle + Pedestrian Advisory Committee

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

First of all, I want to be a positive movement in Mebane. Mebane is my home for the last three years and my wife + I love it.

Second, I used to cycle a lot, and have been disappointed with the opportunities in the area.

Third, I used to live in a community in Michigan that encouraged pedestrians + cycling, and I saw what good it did for the city.

Education

Please list your educational background. Include name of all schools attended:

Black Hills State University (Spearfish, SD) - MS in Strategic Leadership

Villanova Online - Applied Master's in Project Management

Oakland Community College (Oakland County, Michigan) -

classes in Economics, Alternative Energies, Anatomy & Physiology
Eastern Michigan University (Ypsilanti, MI) - BA in Technical Writing

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: ZI Air, LLC

Address: 101 Centreport Dr. Suite 315, Greensboro, NC 27409

Title and Duties:

Manager, Technical Publications

Manage all aspects of flight manuals, operation & maintenance
manuals & associated forms & operational specifications

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

None, currently.

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.



Mebane, NC

106 E. Washington St.
Mebane, NC 27302

919-563-3629
info@cityofmebane.com
www.cityofmebane.com

Registration/Payment Receipt 24872350

01/17/2021 02:16 PM

Account Information

Kiah Gaskin
6403 Amber Drive
Mebane, NC 27302

Current address:
304 Wentworth Circle
Mebane, NC 27302

Item	Amount Paid
Kiah Gaskin for Bicycle & Pedestrian Advisory Commission Application BPAC (Bicycle & Pedestrian Advi)	\$0.00
EXPIRATION DATE: N/A	
Total Payment	\$0.00

Prompt(s)

Do you live inside the Mebane City Limits? (Kiah Gaskin) Yes

Do you live in Alamance or Orange County? (Kiah Gaskin) Alamance

Are you currently serving on a board or commission of the City of Mebane? (Kiah Gaskin) No

If you are serving on a board or commission, please list which one(s) (Kiah Gaskin) n/a

Why do you wish to serve the City in this capacity? (Kiah Gaskin) My family and I just moved into a house on the Alamance side/within city, but for the past 7 years have lived just outside the city limits off Lebanon road, just past all the new construction. In my personal experience and also in much of the work I've done in my role at Duke around health equity and built environment research, I think I could contribute to the BPAC. Additionally, my husband Jason Gaskin is the pastor of a new church in Mebane (<https://www.storiedchurch.org/>) and we have been building relationships with Omega Wilson (WERA), Tommy Jones, and others to support the work of the new city council racial equity committee. I am excited to see and contribute to the overlap of the work of these two advisory groups.

Please list your educational background. Include the name of all schools attended: (Kiah Gaskin) Masters in Public Health: UNC Gillings School of Global Public Health; Masters in Social Work: UNC School of Social Work; AB, Public Policy Studies and Religion: Duke University

Please list the name of your employer (Kiah Gaskin) Duke Clinical and Translational Science Institute (School of Medicine)

Please list the address of your employer (Kiah Gaskin) 701 W Main Street Durham NC 27701

Please list your job title and duties at your current job (Kiah Gaskin) Research Program Leader- manage programs and projects that build capacity between academic researchers and community stakeholders to conduct community-based participatory research- have done project management in health equity research, grantmaking, etc.

Please list the names of all civic organizations in which you currently hold membership: (Kiah Gaskin) Storied United Methodist Church (Mebane)

Activity Notes

Bicycle & Pedestrian Advisory Commission Application BPAC

Thank you for your interest in an appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed. The Bicycle and Pedestrian Advisory Commission will be selected at the February 2021 City Council Meeting. If you have any questions, please email planning@cityofmebane.com.



Mebane, NC

106 E. Washington St.
Mebane, NC 27302

919-563-3629
info@cityofmebane.com
www.cityofmebane.com

Registration/Payment Receipt 24817914

01/13/2021 10:18 AM

Account Information

Hank Igoe
801 Holt St
Mebane, NC 27302

Item	Amount Paid
Hank Igoe for Bicycle & Pedestrian Advisory Commission Application BPAC (Bicycle & Pedestrian Advi)	\$0.00
EXPIRATION DATE: N/A	
	Total Payment \$0.00

Prompt(s)

Do you live inside the Mebane City Limits? (Hank Igoe) Yes

Do you live in Alamance or Orange County? (Hank Igoe) Alamance

Are you currently serving on a board or commission of the City of Mebane? (Hank Igoe) No

If you are serving on a board or commission, please list which one(s) (Hank Igoe) n/a

Why do you wish to serve the City in this capacity? (Hank Igoe) I've jogged/biked regularly in Mebane since moving here in 2016.

Please list your educational background. Include the name of all schools attended: (Hank Igoe) NCSU, B.S. in Mathematics

Please list the name of your employer (Hank Igoe) self-employed

Please list the address of your employer (Hank Igoe) 706 N. Wilba Road, Mebane, NC 27302

Please list your job title and duties at your current job (Hank Igoe) self-employed

Please list the names of all civic organizations in which you currently hold membership: (Hank Igoe) n/a

Activity Notes

Bicycle & Pedestrian Advisory Commission Application BPAC

Thank you for your interest in an appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed. The Bicycle and Pedestrian Advisory Commission will be selected at the February 2021 City Council Meeting. If you have any questions, please email planning@cityofmebane.com.



City of Mebane

Boards and Commissions Application

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely. Return this application either in person, by mail, or by fax to the Mebane Municipal Building, 106 East Washington Street, Mebane, NC 27302, Fax (919) 563-9506.

Personal Information

Name: Katy Jones

Home Address: 500 South Fifth Street Mebane, NC

Mailing Address (if different): _____

Home Phone: (919) 883-7848 Business Phone: _____

Do you live inside the Mebane City Limits? Yes No _____

In Alamance or Orange County? Alamance _____

Board Preference

Are you currently serving on a board or commission of the City of Mebane? Yes _____ No
If so, which one(s)? _____

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Ped & Bike, Parks & Rec

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

Please see attached letter.

Education

Please list your educational background. Include name of all schools attended:

Please see attached resume.

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Food Logi Q

Address: 2655 Meridian Rkwy

Title and Duties:

Chief Marketing and Strategy Officer ;
communications, investor relations,
strategy, internal comms

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

Please see attached resume.

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.

Katy A. Jones

500 South 5th Street Mebane, NC 27302 | 919.883.7848 | katyjones123@gmail.com

Board Candidate & Marketing Executive

Seek to apply my communications and growth marketing expertise to the City of Mebane with a strong focus on strategy, planning, communications, and program execution.

Board, Committee and Membership Experience

GS1 US RETAIL GROCERY INITIATIVE EXECUTIVE LEADERSHIP COMMITTEE | 2019-ONGOING

- Elected member of ELC for retail grocery that helps stakeholders focus on the most important industry problems, streamline resources, and drive adoption and implementation of the industry-defined solutions leveraging GS1 Standards

THE ALLIANCE OF WOMEN IN TECH LEADERSHIP | 2018-ONGOING | DURHAM, NC

- Premier networking organization for female executives in the Triangle committed to the advancement of women in tech.

THE NATIONAL CANCER INSTITUTE | 2015 | WASHINGTON, DC

- Served as a member of the NCI Public Affairs and Marketing Network, a cooperative venture of academically based cancer centers as designated by the National Cancer Institute (NCI)
- Responsibilities included securing speakers and organizing sessions/tracks for annual conference

TRANSPORTATION RESEARCH BOARD | 2012-2015 | WASHINGTON, DC

- Served as Board Secretary for the TRB Task Force on Road Safety Workforce Development
- Built strategy for incorporating virtual and web-based learning practices into transportation workforce development

Board Skills & Abilities

EXECUTIVE MANAGEMENT

- Serve on FoodLogiQ's executive team to drive the corporate strategy including go-to-market, positioning and branding. Close coordination with CEO and executives representing Product, Engineering, Sales and Customer Success to ensure alignment across the organization towards our business objectives.

COMMUNICATION

- Helped navigate a successful but difficult CEO transition at FoodLogiQ including the development and execution of the internal and external communication strategies. Developed a customer communications strategy that contributed to near zero customer churn.

LEADERSHIP

- Established and lead the FoodLogiQ Employee Improvement Committee to increase internal recognition and drive core values of the company while establishing new policies and procedures as we grow.

Professional Experience

CHIEF MARKETING AND STRATEGY OFFICER | FoodLogiQ | 2015 - ONGOING

- Develop and lead marketing strategy for food safety SaaS startup, including branding, demand generation, content marketing, inbound, SEO, product marketing and public relations with the goal to attract, convert and delight customers. Contributed to the doubling of ARR for three years in a row. Led messaging, branding and outreach strategy for oversubscribed Series B round of growth capital funding. Manage a team of eight including sales development.

MARKETING DIRECTOR | UNC LINEBERGER COMPREHENSIVE CANCER CENTER | 2013-2015

- Led internal and external communications for North Carolina's only public comprehensive cancer center. Managed a team of five. Led rebranding efforts, national media placement and the complete overhaul of web, social and email channels.

MARKETING MANAGER | CLARKSTON CONSULTING | 2011-2013

- Developed and executed consulting firm's thought leadership program, including corporate blog, research briefs, whitepapers, and case studies. Led messaging for analyst briefings.

MARKETING MANAGER | PEDESTRIAN AND BICYCLE INFORMATION CENTER | 2004-2011

- Developed and executed consulting firm's thought leadership program, including corporate blog, research briefs, whitepapers, and case studies. Led messaging for analyst briefings.

Education & Certifications

WEST VIRGINIA UNIVERSITY | 2017 | ONLINE

M.S., Data Marketing Communications. Coursework in Customer Experience, Data Visualization, CRM Strategy, Campaign Metrics

WESTERN CAROLINA UNIVERSITY | 2012 | ONLINE

Graduate Certificate in Project Management

UNIVERSITY OF NORTH CAROLINA AT CHAPEL HILL | 1998-2002 | CHAPEL HILL, NC

B.A., Journalism and Mass Communication

Graduated with Distinction, Concentration in Public Relations

Katy A. Jones

500 South 5th Street Mebane, NC 27302 | 919.883.7848 | katyjones123@gmail.com

November 22, 2020

City of Mebane
106 East Washington Street
Mebane, NC 27302
Attn: Selection Committee

To whom it may concern:

Please find my enclosed application for a position on one of the City of Mebane's advisory boards and commissions.

I have been a resident of Mebane for over 13 years and have a passion for seeing our town grow while also advancing equitable access to active lifestyles for the residents of Mebane. I currently live in downtown Mebane with my husband and two sons who are active in the Mebane Youth Soccer Association.

I have strong experience in communications, marketing, social media and grant writing. A few highlights of my experience relevant to both the Ped/Bike and Parks and Recreation Committees include:

- Helping launch the website www.walkbiketoschool.org to support schools and community organizations in hosting International Walk to School Days.
- Supporting grantees across the country with media and marketing support during my time at the Robert Wood Johnson Foundation-funded Active Living By Design (now Healthy Places by Design).
- Assisting in writing and submitting Federal and state grant applications during my 8+ years at the UNC Highway Safety Research Center, the organization overseeing the Pedestrian and Bicycle Information Center and the National Center for Safe Routes to School.
- Developing marketing and media strategies for the Pedestrian and Bicycle Information Center, including writing press releases, hosting webinars, distributing e-newsletters, etc.

I hope to combine my passion for this wonderful town with my professional experience in marketing and communications to serve the City of Mebane.

Thank you for your consideration.


Katy A. Jones



Mebane, NC

106 E. Washington St.
Mebane, NC 27302

919-563-3629
info@cityofmebane.com
www.cityofmebane.com

Registration/Payment Receipt 24710852

01/05/2021 08:17 AM

Account Information

Katy Jones
500 South 5th Street
Mebane, NC 27302

Item	Amount Paid
Katy Jones for Bicycle & Pedestrian Advisory Commission Application BPAC (Bicycle & Pedestrian Advi)	\$0.00
EXPIRATION DATE: N/A	
Total Payment	\$0.00

Prompt(s)

Do you live inside the Mebane City Limits? (Katy Jones) Yes

Do you live in Alamance or Orange County? (Katy Jones) Alamance

Are you currently serving on a board or commission of the City of Mebane? (Katy Jones) No

If you are serving on a board or commission, please list which one(s) (Katy Jones) N/A

Why do you wish to serve the City in this capacity? (Katy Jones) Please find my enclosed application for a position on one of the City of Mebane's advisory boards and commissions. I have been a resident of Mebane for over 13 years and have a passion for seeing our town grow while also advancing equitable access to active lifestyles for the residents of Mebane. I currently live in downtown Mebane with my husband and two sons who are active in the Mebane Youth Soccer Association. I have strong experience in communications, marketing, social media and grant writing. A few highlights of my experience relevant to both the Ped/Bike and Parks and Recreation Committees include: Helping launch the website www.walkbiketoschool.org to support schools and community organizations in hosting International Walk to School Days. Supporting grantees across the country with media and marketing support during my time at the Robert Wood Johnson Foundation-funded Active Living By Design (now Healthy Places by Design). Assisting in writing and submitting

Please list your educational background. Include the name of all schools attended: (Katy Jones) UNC-Chapel Hill (Undergraduate) WVU School of Media (Graduate) Western Carolina (Graduate Certificate)

Please list the name of your employer (Katy Jones) FoodLogiQ

Please list the address of your employer (Katy Jones) 2655 Meridian Pkwy

Please list your job title and duties at your current job (Katy Jones) Chief Marketing and Strategy Officer

Please list the names of all civic organizations in which you currently hold membership: (Katy Jones) Please See Attached Doc

Activity Notes

Bicycle & Pedestrian Advisory Commission Application BPAC

Thank you for your interest in an appointment to the City of Mebane's Advisory Boards and Commissions.

Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed. The Bicycle and Pedestrian Advisory Commission will be selected at the February 2021 City Council Meeting. If you have any questions, please email planning@cityofmebane.com.



Mebane, NC

106 E. Washington St.
Mebane, NC 27302

919-563-3629
info@cityofmebane.com
www.cityofmebane.com

Registration/Payment Receipt 24900903

01/19/2021 06:33 PM

Account Information

Davia Silberman
1402 Saint Andrews Drive
mebane, NC 27302

Item	Amount Paid
Davia Silberman for Bicycle & Pedestrian Advisory Commission Application BPAC (Bicycle & Pedestrian Advi)	\$0.00
EXPIRATION DATE: N/A	
Total Payment	\$0.00

Prompt(s)

Do you live inside the Mebane City Limits? (Davia Silberman) Yes

Do you live in Alamance or Orange County? (Davia Silberman) Alamance

Are you currently serving on a board or commission of the City of Mebane? (Davia Silberman) No

If you are serving on a board or commission, please list which one(s) (Davia Silberman) n/a

Why do you wish to serve the City in this capacity? (Davia Silberman) We love to ride our bikes as a family. We feel strongly that all residents of Mebane should have safe places to walk and ride.

Please list your educational background. Include the name of all schools attended: (Davia Silberman) I have a BS in Radiologic Science

Please list the name of your employer (Davia Silberman) UNC HealthCare

Please list the address of your employer (Davia Silberman) 101 Manning Drive, Chapel Hill NC 27514

Please list your job title and duties at your current job (Davia Silberman) Imaging Supervisor- responsible for Compliance, accreditation, regulatory matters, education and safety. I conduct safety surveys in all of our imaging areas, chair the safety committee (25 members), provide and create annual education modules, meet with new employees- take care of new employee orientation, update and review policies, stay current on accreditation and regulatory updates.

Please list the names of all civic organizations in which you currently hold membership: (Davia Silberman)
None at this time.

Activity Notes

Bicycle & Pedestrian Advisory Commission Application BPAC

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City of Mebane

Boards and Commissions Application

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Personal Information

Name: Jason Smith

Home Address: 411 Forest Lake Ct, Mebane, NC 27302

Mailing Address (if different): _____

Email Address: jason.w.smith1@gmail.com

Home Phone: 919-622-6607

Business Phone: _____

Do you live inside the Mebane City Limits? Yes No

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? Yes No If so, which one(s)? _____

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Bicycle and Pedestrian Advisory Committee

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I'm interested in helping to improve the bicycle and pedestrian infrastructure available in Mebane. My family appreciates that the city already has a Bike and Ped plan, and the work that has already been done in implementing that plan. We love the fact that we can walk and ride for exercise, entertainment, and even to run errands around town. By joining the BPAC I hope to support the ongoing efforts to make Mebane bicycle and pedestrian friendly. I hope to be able to add the perspective of an avid cyclist and hiker, as well as a parent trying to raise active kids.

Education

Please list your educational background. Include name of all schools attended:

North Carolina State University, Bachelor of Science in Business Administration

Rockingham Community College - Sustainable Trail Design and Layout, Construction, and Maintenance

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Kodak Alaris

Address: 4020 Stirrup Creek Dr, Durham, NC 27703

Title and Duties:

Customer Support Manager

Lead a call center providing technical support and customer service for digital printing and scanning equipment in the United States and Canada

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

Triangle Land Conservancy Member/Volunteer

Triangle Off-Road Cyclist Member/Volunteer

Friends of the Mountains to Sea Trail Member

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.



AGENDA ITEM #8

Recreation and Parks Advocacy Commission Selection

Presenter

Aaron Davis, Recreation and Parks Director

Public Hearing

Yes No

Summary

City Council will select six individuals to serve on the Recreation and Parks Advocacy Commission. The six chosen applicants will serve staggered terms; therefore, the Council will select two individuals to serve term lengths of 1, 2, and 3 years each. The first Recreation and Parks Advocacy Commission meeting of 2021 will occur on February 15th and will take place through a zoom meeting.

Background

City Council approved to reinstate the Recreation and Parks Advocacy Commission in 2020. This agenda item will allow City Council to select the six members of the commission.

The Recreation and Parks Department held applicant registration on-line and in-person for two months and amassed 28 applications.

Please see attached documents for more information regarding the Recreation and Parks Advocacy Commission.

Financial Impact

The City will potentially offer the Recreation and Parks Advocacy Commission members the opportunity to attend various city functions that could have a minuscule financial impact.

Recommendation

Staff recommends that City Council select the six most worthy candidates for a seat on the Recreation and Parks Advocacy Commission.

Suggested Motion

To select the following six applicants to the Recreation and Parks Advocacy Commission

Attachments

1. Recreation and Parks Advocacy Commission Information
2. Applications



City of Mebane

Recreation and Parks Advocacy Commission

Application Information



The City of Mebane is recruiting members for the Recreation and Parks Advocacy Commission to provide direction to the City Council and the Recreation and Parks Department regarding matters related to Recreation and Parks programs, facilities, policies, and its long-range plan. These members also must be a "Champion" of Recreation and Parks by promoting parks, programs, and events to other citizens, legislators, and others to understand, first hand, the essential value that Recreation and Parks has to our positively charming community.

Advocacy Commission Purpose

- Serve as a liaison between City officials and the citizens on Recreation and Parks matters;
- Provide guidance and feedback to the Recreation and Parks Department and City Council in matters affecting programs, facilities, policies, and long-range plans for Recreation and Parks;
- Inform and educate the general public about the importance and need for Recreation and Parks programs, facilities and services;
- Volunteer to work with leaders in Recreation and Parks facilities, programs and activities;
- Assist in developing an updated master plan to meet the present and future needs for programs, services, park facilities, open spaces and to advise in establishing priorities for each of these;
- Recommend changes, updates, and the approval of rules, policy and procedures pertaining to the use of public parks and facilities, including fees and charges.

Applications are Accepted

Annually from September 1 – October 31 and/or when any vacancies occur.
Full-term appointments are for three-years
Official terms begin on January 1 the following year.
Applications will be accepted on-line only using the Recreation and Parks Registration Software "Civic Rec"
www.tinyurl.com/cityofmebanerec

For more information or questions,
please e-mail the Recreation and Parks Director
adavis@cityofmebane.com

Appointment Process

Applicants must reside in Mebane City Limits or the Extraterritorial Jurisdiction (ETJ) of Mebane and must submit an application to the Recreation and Parks Director online using the Recreation and Parks Software by the deadline date for consideration. The Mebane City Council will make appointments for three-year terms each November and partial terms when vacancies occur. The Mebane City Council will initially select six Commission members along with a seventh member, from a local school. Members will vote on a Commission Chair, Vice-Chair and Secretary at the first meeting each year. Positions will be held for one year. Following the one-year term, the Vice-Chair will assume the role of Commission Chair and a Vice-Chair and Secretary will be voted in.

Meeting Information

The Advocacy Commission meets every other month on the 3rd Monday of those months at 6:00 pm, for approximately 2 hours, at The Mebane Arts and Community Center. Special meetings may be called at any time as needed.

Attendance Requirements

Faithful attendance at the meetings of the Recreation and Parks Advocacy Commission is a requirement for membership on the Commission to maintain continuity and cohesion in the deliberation and recommendations. This attendance policy is intended to encourage the regular attendance of its members. The City Council may remove a member with a pattern of absenteeism or partial participation in regular or special meetings.



City of Mebane

Boards and Commissions Application

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Personal Information

Name: Melissa E Bracey

[Mebane](#) Hom

Address: 602 Hastings Road, Mebane, NC, 27302

Phone 1: 919-260-8912

Phone 2:

E-Mail Address: melissab100284@gmail.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No
If so, which one(s)? not applicable

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I have lived in Mebane for 14 years. I moved here right after college and have lived in a few locations before buying a home 9 years ago. I love living here and would like to help participate in shaping how Mebane evolves! I have been active on my community HOA board for 4 years, so I have experience in collaboration with a team to enrich a community while keeping the needs of the community members in mind.

In my professional career, I have acted as a communication liaison between multiple parties in several capacities and as a brand ambassador, so I am very skilled at negotiating and promoting why something is of value- I'd love to use that skill to share how the Recreation and Parks department could bring joy to our sweet town!

I'm great working with a team and I would love to be a part of this group!

Education

Please list your educational background. Include name of all schools attended:

Bachelor's Degree- University of North Carolina -Chapel Hill

High School- Flora Macdonald Academy

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Highmark Companies

Title and Duties: Vendor Relations Analyst-

Obtain pricing for interfaces, Managing backlogs, Acting as a general liaison between the company and vendors, maintaining communication logs, supporting internal stakeholders for any project priority, vendor system upgrades, etc.

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

Cosmetics Executive Women, Collington Farms HOA Board

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointment.



City of Mebane

Boards and Commissions Application

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Personal Information

Name: Jay Davison Bissette, III

[Mebane](#) Hom

Address: 103 Harbour Town Ct, Mebane, NC, 27302

Phone 1: 9196128241x0000

Phone 2: 704-577-2663

E-Mail Address: jdb0312@gmail.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? [Alamance](#)

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? [None](#)

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

Sports and Recreation are my passion. I have a strong background in Athletics and feel the need to give back all the great lessons I have learned through sports and recreation.

Education

Please list your educational background. Include name of all schools attended:

B.S. degree in Recreation and Leisure Studies from East Carolina University, 2007

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Duke University

Title and Duties: I serve as the equipment manager for the Men's Lacrosse, Women's Soccer and Men's Golf team. I am responsible for the purchasing and upkeep of all their soft goods and the hard goods for Men's Lacrosse and Women's Soccer. I am also the equipment manager for the

USA Men's Lacrosse Senior National Team. I do a lot of work with packing and preparation for all trips, events and games. I help with clinics and camps.

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

None

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointment.



City of Mebane

Boards and Commissions Application

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Personal Information

Name: Justin Brawley

[Mebane Home](#)

Address: 118 Peppertree Dr, Mebane, NC, 27302

Phone 1: 336-534-5677

Phone 2:

E-Mail Address: brawleyje@gmail.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? [Alamance](#)

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? [None](#)

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

As someone who is using all Mebane has to offer to have lost and continue to lose weight. I would love to help be a liaison between the community and the council on all parks and recs things. I would love to promote everything Mebane has for everyone to stay active and healthy.

Education

Please list your educational background. Include name of all schools attended:

Associate in Avionics Technology

Community College of the Air Force

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Magerks

Title and Duties: As manager I am in charge of overseeing all operations to keep costs in line, achieve profitability, and ensure the best customer service.

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

None

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointment.



City of Mebane

Boards and Commissions Application

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Personal Information

Name: Precious Churchill

Mebane Hom

Address: 3000 Bermuda Bay Lane
Apt 208, Mebane, NC, 27302

Phone 1: 336-508-1105

Phone 2:

E-Mail Address: pmchurchill@live.com

Do you live inside the Mebane City Limits? Yes, Yes

In Alamance or Orange County? Alamance, Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No,
No

If so, which one(s)? None, None

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

Leaving in Mebane for 4 years and always wanted to serve my community in any role. My background in Recreational Therapy (license and certified) and currently enroll in the masterâ€™s healthcare administration program at University of North Carolina Wi, Leaving in Mebane for 4 years and always wanted to serve my community in any role. My background in Recreational Therapy (license and certified) and currently enroll in the masterâ€™s healthcare administration program at University of North Carolina Wi

Education

Please list your educational background. Include name of all schools attended:

Winston Salem State University: Bachelor of Science in Recreational Therapist, Graduated Fall 2012

University of North Carolina Wilmington: Master of Healthcare administration, Currently enrolled, Winston Salem State University: Bachelor of Science in Recreational Therapist, Graduated Fall 2012

University of North Carolina Wilmington: Master of Healthcare administration, Currently enrolled

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Murdoch Development Center, Murdoch Development Center

Title and Duties: -Articulate the philosophy, goals, and strategies of recreational therapy

- Assessing an individual's needs through assessment, writing goals and objectives
- Implementing RT interventions to address active treatment mobility or social skills n, -Articulate the philosophy, goals, and strategies of recreational therapy
- Assessing an individual's needs through assessment, writing goals and objectives
- Implementing RT interventions to address active treatment mobility or social skills n

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

Murdoch Development Center Advisory Committee member, Murdoch Development Center Advisory Committee member

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Personal Information

Name: Shayla Clemons-Armas

[Mebane Home](#)

Address: 1005 Longleaf Pine Pl, Mebane, NC, 27302

Phone 1: 919-616-2796

Phone 2: 919-616-2796

E-Mail Address: shaylanc@mac.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No
If so, which one(s)? none

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I love feeling apart of the community. It gives a great feeling of warmth and home. I want my children to grow up in a community feeling like they belong and take pride in where they are from. I want to help everyone living here be aware of the ongoings of the community and that they will feel the same warmth and connections with their neighbors. I want a strong community that will stand in tough times and support one another.

Education

Please list your educational background. Include name of all schools attended:

Methodist University and UNC-Chapel Hill

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Labcorp

Title and Duties: Cytology Supervisor. Help Oversee the laboratory operations with direct supervision of 18 employees.

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

Mebane Womenâ€™s Club- Mebfit Zumba Instructor

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Personal Information

Name: Tanner Deisch

Mebane Hom

Address: 119 E Center Street, Mebane, NC, 27302

Phone 1: 765-432-7586

Phone 2:

E-Mail Address: tanner.deisch25@gmail.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? no

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

Having worked in other municipalities for over 4 years I understand the importance of an advisory board. I have fallen in love with Mebane and am excited to see its growth.

Education

Please list your educational background. Include name of all schools attended:

BS - Aquatics / Exercise Science, Ball State University

MS - Recreation Administration, Western Kentucky University

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Town of Chapel Hill

Title and Duties: Aquatics Supervisor, responsible for organizing, planning, and coordinating

aquatic recreational, competitive, and community activities. Supervise 4 full time and over 85 part time employees. (full resume sent to Aaron over the summer)

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

n/a

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointment.

PROFESSIONAL ASSOCIATIONS

- National Intramural Recreational Sports Association (NIRSA)
- National Recreation and Parks Association (NRPA)
Chair – Aquatics Network – NRPA

COMMITTEES

- Former Risk Management Committee
Campus Recreation & Intramurals
- Former Recreation Program Advisory Board
Georgia Southern University
- Former Chair - Aquatics Network
National Recreation & Parks Association
- Review Faculty – National Aquatic Management School
National Recreation & Parks Association

CERTIFICATIONS

- Lifeguard Instructor Trainer
American Red Cross
- Lifeguard Instructor
American Red Cross
- Water Safety Instructor Trainer
American Red Cross
- Water Safety Instructor
American Red Cross
- Lifeguard
American Red Cross
- CPR / AED / First Aid for the professional
American Red Cross
- Aqua Fitness Instructor
- Certified Aquatics Director
- Open Water Scuba
- Certified Pool Operator – NSPF

CONFERENCES

- National Intramural Recreational Sports Association (NIRSA)
2014, 2015, 2016
- National Recreation and Parks Association (NRPA)
2014, 2015, 2016, 2017

TANNER DEISCH

Certified Parks and Recreation Professional

📞 765.432.7586 📩 tedeisch@gmail.com

EXPERIENCE

Recreation Supervisor - Aquatics

Town of Chapel Hill: Parks & Recreation Department / 2019-Current

Responsible for organizing, planning and coordinating aquatic recreational, competitive, and community activities for the Town of Chapel Hill. Supervises and directs the operations of two indoor, year-round aquatics facilities, and one seasonal facility

Charged with developing and enacting policies and procedures and working collaboratively with departmental staff to plan, implement, market, and evaluate a comprehensive program schedule.

Senior Aquatics Specialist

City of Durham: Parks & Recreation Department / 2019-2019

Day-to-day operations include assisting in the implementation of diverse, comprehensive aquatic programs by helping with the management and operations of an indoor aquatic center facility and outdoor seasonal pools.

Providing part-time staff supervision and development by overseeing tasks; responding to questions or concerns. Conducting, scheduling, and supervising instructional and recreational programs, including water exercise, learn-to-swim, and certification training courses while overseeing facility maintenance and operations.

Aquatics / Facilities Coordinator

City of Greensboro: Parks & Recreation Department / 2016-2019

Day-to-day operations include overseeing four direct reports and the community centers they direct, as well as all aspects of the operation, staffing and training for four outdoor pools, while coordinating purchases and staffing costs to stay in budget.

Assist with RecTrac data management and P.O.S. operations.

Aquatics Program Director

Instructor RECR 4430 Financial & Legal Dimensions of Recreation CRI, Georgia Southern University / 2015-2016

Oversaw the daily operations and scheduling of the Aquatic Center, and coordinated maintenance and repairs with university facilities staff and outside contractors, while maintaining all pump room operations and repairs.

Taught students the foundations of budgeting in recreation departments as well as foundations of negligence law and how to implement a risk management plan, while ensuring that NRPA/COART standards of teaching were met.

EDUCATION

Master of Science, Recreation & Sport Administration

Western Kentucky University / 2013-2015

Bachelor of Science: Aquatics / Exercise Science

Ball State University / 2010-2013



City of Mebane

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Personal Information

Name: Courtney Doi

[Mebane Home](#)

Address: 204 Redberry Ct., Mebane, NC, 27302

Phone 1: 919-423-9186

Phone 2:

E-Mail Address: courtneydoi@yahoo.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? [Alamance](#)

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? [No Mebane boards](#)

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I love serving on the Alamance County Library Board, and am eager to serve my own local community as well. My advocacy work as former Library chair was my favorite part of the position. I enjoy speaking on behalf of organizations to raise awareness and advocate for funding. In addition, I have two kids who are active in local sports and love our parks and the events put on by the rec department. I walk in town at least three times a week for exercise and am so thankful for our facilities. I would like to give back.

Education

Please list your educational background. Include name of all schools attended:

BA UNC Chapel Hill

MA NC State University

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Aviso Retention

Title and Duties: Director of Professional Services, I provide project management, training, and consulting for colleges adopting our student retention software while managing my department.

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

Alamance County Library Board, former chair, current board member.

Speaker, Holocaust Speakers Bureau of North Carolina.

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Personal Information

Name: Erin E Hardin

Mebane Hom

Address: 627 E Stagecoach Rd, Mebane, NC, 27302

Phone 1: 336-588-8381

Phone 2: 336-624-6506

E-Mail Address: rarinhardin@gmail.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Orange

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? NA

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

My family and I make great use out of the parks and recreation facilities local to us. I would like to be involved in planning the direction of the future of the offerings of the city in that regard.

Education

Please list your educational background. Include name of all schools attended:

BA in Physical Education at UNCW

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Stay at home mom

Title and Duties: NA

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

NA

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Personal Information

Name: Kelly Harer

[Mebane Home](#)

Address: 201 E Center St
#338, Mebane, NC, 27302

Phone 1: 336-213-8493

Phone 2:

E-Mail Address: kellyharer1@gmail.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? [Alamance](#)

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No
If so, which one(s)? [N/A](#)

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I am passionate about the outdoors and understand the physical and mental health benefits of a thriving recreation and parks system within a community. I am a subject matter expert in sustainability, including the incredible value of all community

Education

Please list your educational background. Include name of all schools attended:

Western Kentucky University- Master of Arts in Social Responsibility and Sustainable Communities

Coastal Carolina University- Bachelor of Science in Business Administration (Management)

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Elon University

Title and Duties: Assistant Director of Sustainability for Education and Outreach

- Develops, implements, and manages behavior modification programs to reduce student, staff, and faculty environmental impacts associated with resource consumption in student living q

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

Sierra Club, North Carolina Climate Change Committee

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Personal Information

Name: Brianne Noelle Hauser

[Mebane](#) Hom

Address: 301 Wallington Ct, Mebane, NC, 27302

Phone 1: 919-628-8296

Phone 2:

E-Mail Address: briannehauser@gmail.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Orange

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No
If so, which one(s)? N/A

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I am passionate about Mebane and would enjoy serving to help others understand all the programs and beauty the city has to offer.

Education

Please list your educational background. Include name of all schools attended:

Diploma: Robert B Glenn High School, Bachelor of Arts: Campbell University

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: LabCorp

Title and Duties: Assist new and existing EHR and EMR vendors in certification process to ensure governing body compliance. Assist in training new employees.

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

Architectural Committee, Collington Farms

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Personal Information

Name: LaShonda Brower Hester

MEBANE H

Address: 1621 SAINT ANDREWS DR, MEBANE, NC, 27302

Phone 1: 919-824-5117

Phone 2: 919-568-0254

E-Mail Address: lashondahester@gmail.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? n/a

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I love the city of Mebane, am a mom to two children who participate and will participate in activities provided by the city. I want to ensure that Mebane is a place that is inviting to all inclusive of all.

In addition, I am a long time educator and value extra curricular opportunities for youth and adults.

Education

Please list your educational background. Include name of all schools attended:

Chatham County Schools-High School

NC Central University- Bachelors of Arts

UNC Greensboro-Master of Educational Leadership

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Charter Schools USA

Title and Duties: School Principal of a K-8 school

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

North Carolina Central University School of Education Partnership Advisory Board;

Previous Roles:

CCS AIG Needs Determination; Chatham County Raising Achievement, Closing the Gap Community Group; CCS District Equity Team; CCS Bullying Task Force; GT

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Personal Information

Name: Hank Igoe

Mebane Hom

Address: 801 Holt St, Mebane, NC, 27302

Phone 1: 336-417-3425

Phone 2:

E-Mail Address: vujade42@gmail.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? n/a

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I've enjoyed the programs offered and would like to give back.

Education

Please list your educational background. Include name of all schools attended:

NCSU, B.S. in Mathematics

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: self-employed

Title and Duties: self-employed

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

n/a

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Personal Information

Name: **Katy A Jones**

Mebane Hom

Address: **500 South 5th Street, Mebane, NC, 27302**

Phone 1: **919-883-7848**

Phone 2:

E-Mail Address: **katyjones123@gmail.com**

Do you live inside the Mebane City Limits? **Yes**

In Alamance or Orange County? **Alamance**

Board Preference

Are you currently serving on a board or commission of the City of Mebane? **No**

If so, which one(s)? **N/A**

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): **Recreation and Parks Advocacy Commission**

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

See Attached Paper Doc

Education

Please list your educational background. Include name of all schools attended:

See Attached Paper Doc

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: **Food LogiQ**

Title and Duties: **Chief Marketing and Strategy Officer**

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

Please See Attached Doc

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointment.

Katy A. Jones

500 South 5th Street Mebane, NC 27302 | 919.883.7848 | katyjones123@gmail.com

Board Candidate & Marketing Executive

Seek to apply my communications and growth marketing expertise to the City of Mebane with a strong focus on strategy, planning, communications, and program execution.

Board, Committee and Membership Experience

GS1 US RETAIL GROCERY INITIATIVE EXECUTIVE LEADERSHIP COMMITTEE | 2019-ONGOING

- Elected member of ELC for retail grocery that helps stakeholders focus on the most important industry problems, streamline resources, and drive adoption and implementation of the industry-defined solutions leveraging GS1 Standards

THE ALLIANCE OF WOMEN IN TECH LEADERSHIP | 2018-ONGOING | DURHAM, NC

- Premier networking organization for female executives in the Triangle committed to the advancement of women in tech.

THE NATIONAL CANCER INSTITUTE | 2015 | WASHINGTON, DC

- Served as a member of the NCI Public Affairs and Marketing Network, a cooperative venture of academically based cancer centers as designated by the National Cancer Institute (NCI)
- Responsibilities included securing speakers and organizing sessions/tracks for annual conference

TRANSPORTATION RESEARCH BOARD | 2012-2015 | WASHINGTON, DC

- Served as Board Secretary for the TRB Task Force on Road Safety Workforce Development
- Built strategy for incorporating virtual and web-based learning practices into transportation workforce development

Board Skills & Abilities

EXECUTIVE MANAGEMENT

- Serve on FoodLogiQ's executive team to drive the corporate strategy including go-to-market, positioning and branding. Close coordination with CEO and executives representing Product, Engineering, Sales and Customer Success to ensure alignment across the organization towards our business objectives.

COMMUNICATION

- Helped navigate a successful but difficult CEO transition at FoodLogiQ including the development and execution of the internal and external communication strategies. Developed a customer communications strategy that contributed to near zero customer churn.

LEADERSHIP

- Established and lead the FoodLogiQ Employee Improvement Committee to increase internal recognition and drive core values of the company while establishing new policies and procedures as we grow.

Professional Experience

CHIEF MARKETING AND STRATEGY OFFICER | FoodLogiQ | 2015 - ONGOING

- Develop and lead marketing strategy for food safety SaaS startup, including branding, demand generation, content marketing, inbound, SEO, product marketing and public relations with the goal to attract, convert and delight customers. Contributed to the doubling of ARR for three years in a row. Led messaging, branding and outreach strategy for oversubscribed Series B round of growth capital funding. Manage a team of eight including sales development.

MARKETING DIRECTOR | UNC LINEBERGER COMPREHENSIVE CANCER CENTER | 2013-2015

- Led internal and external communications for North Carolina's only public comprehensive cancer center. Managed a team of five. Led rebranding efforts, national media placement and the complete overhaul of web, social and email channels.

MARKETING MANAGER | CLARKSTON CONSULTING | 2011-2013

- Developed and executed consulting firm's thought leadership program, including corporate blog, research briefs, whitepapers, and case studies. Led messaging for analyst briefings.

MARKETING MANAGER | PEDESTRIAN AND BICYCLE INFORMATION CENTER | 2004-2011

- Developed and executed consulting firm's thought leadership program, including corporate blog, research briefs, whitepapers, and case studies. Led messaging for analyst briefings.

Education & Certifications

WEST VIRGINIA UNIVERSITY | 2017 | ONLINE

M.S., Data Marketing Communications. Coursework in Customer Experience, Data Visualization, CRM Strategy, Campaign Metrics

WESTERN CAROLINA UNIVERSITY | 2012 | ONLINE

Graduate Certificate in Project Management

UNIVERSITY OF NORTH CAROLINA AT CHAPEL HILL | 1998-2002 | CHAPEL HILL, NC

B.A., Journalism and Mass Communication

Graduated with Distinction, Concentration in Public Relations

Katy A. Jones

500 South 5th Street Mebane, NC 27302 | 919.883.7848 | katyjones123@gmail.com

November 22, 2020

City of Mebane
106 East Washington Street
Mebane, NC 27302
Attn: Selection Committee

To whom it may concern:

Please find my enclosed application for a position on one of the City of Mebane's advisory boards and commissions.

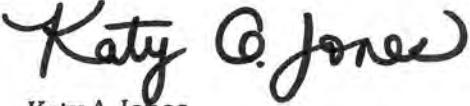
I have been a resident of Mebane for over 13 years and have a passion for seeing our town grow while also advancing equitable access to active lifestyles for the residents of Mebane. I currently live in downtown Mebane with my husband and two sons who are active in the Mebane Youth Soccer Association.

I have strong experience in communications, marketing, social media and grant writing. A few highlights of my experience relevant to both the Ped/Bike and Parks and Recreation Committees include:

- Helping launch the website www.walkbiketoschool.org to support schools and community organizations in hosting International Walk to School Days.
- Supporting grantees across the country with media and marketing support during my time at the Robert Wood Johnson Foundation-funded Active Living By Design (now Healthy Places by Design).
- Assisting in writing and submitting Federal and state grant applications during my 8+ years at the UNC Highway Safety Research Center, the organization overseeing the Pedestrian and Bicycle Information Center and the National Center for Safe Routes to School.
- Developing marketing and media strategies for the Pedestrian and Bicycle Information Center, including writing press releases, hosting webinars, distributing e-newsletters, etc.

I hope to combine my passion for this wonderful town with my professional experience in marketing and communications to serve the City of Mebane.

Thank you for your consideration.


Katy A. Jones



City of Mebane

Boards and Commissions Application

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Personal Information

Name: virginia gail MILLER

mebane Hom

Address: 225 Woodlawn Road, Mebane, mebane, NC, 27302

Phone 1: 336-263-7799

Phone 2:

E-Mail Address: gmiller20@triad.rr.com

Do you live inside the Mebane City Limits? No

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? N/A

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

1. I live on Woodlawn Rd and have taken full advantage of the new city park. I have seen how the folks of Mebane use this and other recreational areas and the benefits of recreation Mebane provides. As our city grows I wild like to see our facilit

Education

Please list your educational background. Include name of all schools attended:

AS Degree in Science Lees- McRae College 1972

University of North Carolina at Greensboro 2010

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: RETIRED: Laboratory Corporstion of America

Title and Duties: N/A

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

North Carolina Senior Tarheel Legislature

Alamance County Senior Services Committee

Alamance Community Nursing Home Advisory Committee

Lees-McRae College Alumni Board of Directors

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointment.



City of Mebane Boards and Commissions Application

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Personal Information

Name: Molly O'Dwyer

[Mebane](#) Hom

Address: 205 Esteban Ct, Mebane, NC, 27302

Phone 1: 970-424-2331

Phone 2:

E-Mail Address: historymaiden@gmail.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? NA

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I use many of the parks and recreation facilities and think they are critical to a growing community. I have also had a desire recently to get more involved in my community. I served on a community board in Arizona when I first started college and th

Education

Please list your educational background. Include name of all schools attended:

UNC Chapel Hill - MS Information Science

UNM Albuquerque - BA History

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Blue Cross Blue Shield of North Carolina

Title and Duties: Data Integration Analyst - add new data to our warehouse; make small, iterative changes to improve data quality; identify resources to work on requests, present weekly reporting to managers. I work with business users, IT colleagues and managers to c

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

I am a member of a local congregation and currently president of their young women youth program. Currently no other civic memberships.

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointment.



City of Mebane Boards and Commissions Application

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Personal Information

Name: Laurie Ann Sawyer

[Mebane](#) Hom

Address: 1132 Fieldstone Dr, Mebane, NC, 27302

Phone 1: 336-567-8295

Phone 2:

E-Mail Address: LASAWYER2@GMAIL.COM

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? N/A

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I love the City of Mebane and have really enjoyed watching the parks and rec department "come alive" over the past few years. I have utilized the parks alongside my children. I think I have an interesting perspective to offer to the commi

Education

Please list your educational background. Include name of all schools attended:

Wake Forest University - 1997 - BS Health and Exercise Science

UNCG - 2002 - MPH with a concentration in Community Health Education

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: currently unemployed

Title and Duties: N/A

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

N/A

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Personal Information

Name: roy wayne Schoolfield

mebane Hom

Address: 1221 south fifth street, mebane, NC, 27302

Phone 1: 336-417-9558

Phone 2: 336-417-9558

E-Mail Address: royschoolfield@gmail.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? N/A

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I Love Mebane and I believe in the values of our city

Education

Please list your educational background. Include name of all schools attended:

High school NE Guilford

College GTCC

College UNCG

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: R W Schoolfield Electrical Contractors Inc

Title and Duties: President

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

Coach for mebane Recreation

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointment.



City of Mebane Boards and Commissions Application

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Personal Information

Name: Sherri Seagroves

Mebane Hom

Address: 221 Beauregard Lane, Mebane, NC, 27302

Phone 1: 336-684-2058

Phone 2:

E-Mail Address: sherrib@roxboro.net

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? NA

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I believe our parks connect our community and serve as a reflection of quality of life. They serve as a safe gathering place for ALL residents and promote our city's livability. I've taught free fitness classes in Mebane for over a decade from Spi

Education

Please list your educational background. Include name of all schools attended:

Master's from UNC, Bachelor's from ECU, High School diploma from Eastern Alamance

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Carolina Plastics Recruiters

Title and Duties: Owner of company ; executive recruiting firm in plastics manufacturing in the US and Germany

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

Mebane Woman's Club, Africa Yoga Project

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointment.



City of Mebane

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Personal Information

Name: Kristin M. Smith

Mebane Hom

Address: 3200 Jim Lowe Dr, Mebane, NC, 27302

Phone 1: 917-902-0284

Phone 2:

E-Mail Address: smitron74@gmail.com

Do you live inside the Mebane City Limits? No

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? none

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I am an art educator that has been a part of community arts program development for the past 10 years, primarily at the North Carolina Museum of Art. I would LOVE to see more arts programming in our community and would be motivated to plan, facilitate

Education

Please list your educational background. Include name of all schools attended:

Masters in Art Education - Teachers College, Columbia University, New York

BA/BFA Art History/Metalsmithing - Colorado State University

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: North Carolina Museum of Art

Title and Duties: Program Manager - NCMA Connects

Develop and facilitate virtual PD and resources for educators across the State (prior to CoVid this included face to face programs)

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

National Art Education Association

American Alliance of Museum

Mebane Urban Sketching Group

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointment.



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Personal Information

Name: Margo L Ward

Mebane Hom

Address: 812 East Stagecoach Rd, Mebane, AL, 27302

Phone 1: 919-536-9007

Phone 2: 919-748-2213

E-Mail Address: windwardspirit@icloud.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Orange

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? NA

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I love nature and wish and appreciate the opportunity to give back to the community. Given COVID and community growth, outdoors parks and recreation will be more active. I wish to see them stay beautiful and accessible.

Education

Please list your educational background. Include name of all schools attended:

I am a registered Nurse, graduate of SUNY Canton NY

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Retired

Title and Duties: NA

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

NA, applying for volunteer opportunity as Advocate for Parks and Recreation

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointment.



City of Mebane

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Personal Information

Name: Jesse Whitaker

[Mebane](#) Hom

Address: 812 S Third St, Mebane, NC, 27302

Phone 1: 919-943-8419

Phone 2:

E-Mail Address: jessewhitaker@gmail.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? None

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I am interested in serving on the Recreation and Parks Advocacy Commission because I am extremely passionate about our parks and recreation (and Mebane overall!) and I want to be a part of sustaining and driving forward what Mebane has to offer. My w

Education

Please list your educational background. Include name of all schools attended:

Bachelor of Science in Business Administration from Appalachian State University

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Credit Suisse

Title and Duties: Assistant Vice President - Regulatory Affairs Strategy and Reporting. Duties involve supporting the firm's interactions with our US regulators, particularly through Board and

Executive level reporting.

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

None

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointment.



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Personal Information

Name: Angela Willoughby

[Mebane](#) Hom

Address: 606 S Fourth St, Mebane, AL, 27302

Phone 1: 919-593-5320

Phone 2:

E-Mail Address: a.willoughby@yahoo.com

Do you live inside the Mebane City Limits? Yes

In Alamance or Orange County? Alamance

Board Preference

Are you currently serving on a board or commission of the City of Mebane? No

If so, which one(s)? none

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Recreation and Parks Advocacy Commission

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I appreciate the parks and recreation program and feel it adds much value to our town. I would like to contribute my time and experience to our community.

Education

Please list your educational background. Include name of all schools attended:

Western Kentucky University - Business Administration

Employment

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Orange County ABC Board

Title and Duties: Assistant General Manager - job duties mostly consist of human resources and operations for all Orange County ABC stores. Develop policies, hiring staff, project management including construction, report and advise board members and ensure all ABC rules and regulations

are met.

Civic Involvement

Please list the names of all civic organizations in which you currently hold membership:

Mebane Women's Club

Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointment.



AGENDA ITEM #9

Purchase of Property near Community Park

Meeting Date

February 1, 2021

Presenter

Lawson Brown, City Attorney

Public Hearing

Yes No

Summary

The McLeod family, owners of the 7.8 acres contiguous to the new Community Park, have agreed to sell the 7.8 acres to the City.

Background

The City purchased the Community Park property from the McLeod family several years ago. Since that time the family has indicated its desire to sell the balance of the property along West Center Street to the City. The gross acreage is 7.8 acres, with the net acreage outside the rights of way of NC HWY 70 and the NCRR, being approximately 5.9 acres. The price for the same is \$535,000, which represents a discount from the prior asking price. If the Council agrees, then the City would have 45 days to conduct due diligence, such as title examination, environmental evaluations, survey and soil borings. An agreement with these terms has been signed by the sellers. It includes a provision for a termination if the known recorded NOTICE OF RESIDUAL PETROLEUM cannot be addressed to the City's satisfaction.

Financial Impact

The City would spend \$535,000 for the purchase.

Recommendation

Staff recommends the purchase of the property at the offered price.

Suggested Motion

I move that the City purchase the 7.8 acres, known as 627 West Center Street, for the price of \$535,000, after standard due diligence, and that a budget amendment be made to accommodate the purchase.

Attachments

1. Agreement for Purchase and Sale of Real Property w/Exhibit B



AGREEMENT FOR PURCHASE AND SALE OF REAL PROPERTY

REALTOR® North Carolina Association
of REALTORS®

THIS AGREEMENT, including any and all addenda attached hereto ("Agreement"), is by and between
The City of Mebane or Assignee

a(n) _____ ("Buyer"), and
(individual or State of formation and type of entity)

Peggy Ann James, Linda Gail Amick & David J. McLeod, Jr., Trustees of the Hilda S. McLeod
a(n) _____ Revocable Trust ("Seller").

(individual or State of formation and type of entity)

FOR AND IN CONSIDERATION OF THE MUTUAL PROMISES SET FORTH HEREIN AND OTHER GOOD AND VALUABLE
CONSIDERATION, THE RECEIPT AND SUFFICIENCY OF WHICH ARE HEREBY ACKNOWLEDGED, THE PARTIES
HERETO AGREE AS FOLLOWS:

Section 1. Terms and Definitions: The terms listed below shall have the respective meaning given them as set forth adjacent to each term.

(a) **"Property":** (Address) 627 W. Center Street

Plat Reference: Lot(s) 1, Block or Section _____, as shown on Plat Book or Slide
077 at Page(s) 0054, _____ Alamance County, consisting of 7.8 acres.

If this box is checked, "Property" shall mean that property described on **Exhibit A** attached hereto and incorporated
herewith by reference.

(For information purposes: (i) the tax parcel number of the Property is: 165657 ;
and, (ii) some or all of the Property, consisting of approximately 7.8 acres, is described in Deed Book
0478 , Page No. 0712 , _____ Alamance County.)

together with all buildings and improvements thereon and all fixtures and appurtenances thereto and all personal property, if any,
itemized on **Exhibit A**.

\$ 535,000.00 (b) **"Purchase Price"** shall mean the sum of Five Hundred Thirty-Five Thousand
Dollars,
payable on the following terms:

\$ 5,000.00 (i) **"Earnest Money"** shall mean Five Thousand Dollars
or terms as follows: payable within 14 days of contract acceptance

Upon this Agreement becoming a contract in accordance with Section 14, the Earnest Money shall be
promptly deposited in escrow with Re/Max Diamond Realty (name of
person/entity with whom deposited), to be applied as part payment of the Purchase Price of the Property at
Closing, or disbursed as agreed upon under the provisions of Section 10 herein.

Page 1 of 8



This form jointly approved by:
North Carolina Bar Association
North Carolina Association of REALTORS®, Inc.

Buyer Initials _____ Seller Initials DS PM

Remax Diamond Realty, 1239-A S. Fifth St. Mebane, NC 27302
Marlo Countiss

Produced with zipForm® by zipLogix 18070 Fifteen Mile Road, Fraser, Michigan 48026

STANDARD FORM 580-T

Revised 7/2013

© 7/2016

627 W. Center

Phone: (919)304-9388
Fax: (919)563-9191
www.zipLogix.com

ANY EARNEST MONEY DEPOSITED BY BUYER IN A TRUST ACCOUNT MAY BE PLACED IN AN INTEREST BEARING TRUST ACCOUNT, AND: (check only ONE box)

ANY INTEREST EARNED THEREON SHALL BE APPLIED AS PART PAYMENT OF THE PURCHASE PRICE OF THE PROPERTY AT CLOSING, OR DISBURSED AS AGREED UPON UNDER THE PROVISIONS OF SECTION 10 HEREIN. (Buyer's Taxpayer Identification Number is: _____)

ANY INTEREST EARNED THEREON SHALL BELONG TO THE ACCOUNT HOLDER IN CONSIDERATION OF THE EXPENSES INCURRED BY MAINTAINING SUCH ACCOUNT AND RECORDS ASSOCIATED THEREWITH.

\$ _____ n/a. (ii) Proceeds of a new loan in the amount of _____ Dollars for a term of _____ years, with an amortization period not to exceed _____ years, at an interest rate not to exceed _____ % per annum with mortgage loan discount points not to exceed _____ % of the loan amount, or such other terms as may be set forth on **Exhibit B**. Buyer shall pay all costs associated with any such loan.

\$ _____ n/a. (iii) Delivery of a promissory note secured by a deed of trust, said promissory note in the amount of _____ Dollars being payable over a term of _____ years, with an amortization period of _____ years, payable in monthly installments of principal, together with accrued interest on the outstanding principal balance at the rate of _____ percent (_____ %) per annum in the amount of \$ _____, with the first principal payment beginning on the first day of the month next succeeding the date of Closing, or such other terms as may be set forth on **Exhibit B**. At any time, the promissory note may be prepaid in whole or in part without penalty and without further interest on the amounts prepaid from the date of such prepayment. (NOTE: In the event of Buyer's subsequent default upon a promissory note and deed of trust given hereunder, Seller's remedies may be limited to foreclosure of the Property. If the deed of trust given hereunder is subordinated to senior financing, the material terms of such financing must be set forth on **Exhibit B**. If such senior financing is subsequently foreclosed, the Seller may have no remedy to recover under the note.)

\$ _____ n/a. (iv) Assumption of that unpaid obligation of Seller secured by a deed of trust on the Property, such obligation having an outstanding principal balance of \$ _____ and evidenced by a note bearing interest at the rate of _____ percent (_____ %) per annum, and a current payment amount of \$ _____. The obligations of Buyer under this Agreement are conditioned upon Buyer being able to assume the existing loan described above. If such assumption requires the lender's approval, Buyer agrees to use its best efforts to secure such approval and to advise Seller immediately upon receipt of the lender's decision. Approval must be granted on or before _____. On or before this date, Buyer has the right to terminate this Agreement for failure to be able to assume the loan described above by delivering to Seller written notice of termination by the above date, *time being of the essence*. If Buyer delivers such notice, this Agreement shall be null and void and Earnest Money shall be refunded to Buyer. If Buyer fails to deliver such notice, then Buyer will be deemed to have waived the loan condition. Unless provided otherwise in Section 3 hereof, Buyer shall pay all fees and costs associated with any such assumption, including any assumption fee charged by the lender. At or before Closing, Seller shall assign to Buyer all interest of Seller in any current reserves or escrows held by the lender, any property management company and/or Seller, including but not limited to any tenant improvement reserves, leasing commission reserves, security deposits and operating or capital reserves for which Seller shall be credited said amounts at Closing.

\$ 530,000.00 (v) Cash, balance of Purchase Price, at Closing in the amount of Five Hundred Thirty Thousand _____ Dollars.

Buyer Initials _____

Seller Initials sen PMJ

Page 2 of 8

STANDARD FORM 580-T

Revised 7/2013

© 7/2016

627 W. Center

(c) **"Closing"** shall mean the date and time of recording of the deed. Closing shall occur on or before _____ or within 45 days of the completion of the examination period.

(d) **"Contract Date"** means the date this Agreement has been fully executed by both Buyer and Seller.

(e) **"Examination Period"** shall mean the period beginning on the first day after the Contract Date and extending through 11:59pm (based upon time at the locale of the Property) on
45 days after the contract is signed by both buyer and seller

TIME IS OF THE ESSENCE AS TO THE EXAMINATION PERIOD.

(f) **"Broker(s)"** shall mean:

Re/Max Diamond Realty ("Listing Agency"),
Marlo W. Countiss ("Listing Agent" - License # 250457)
 Acting as: Seller's Agent; Dual Agent
 and N/a. ("Selling Agency"),
n/a. ("Selling Agent" - License #)
 Acting as: Buyer's Agent; Seller's (Sub) Agent; Dual Agent

(g) **"Seller's Notice Address"** shall be as follows:

405 34th Ave N, Myrtle Beach SC 29577-2915

except as same may be changed pursuant to Section 12.

(h) **"Buyer's Notice Address"** shall be as follows:

106 E. Washington St, Mebane NC 27302

except as same may be changed pursuant to Section 12.

(i) If this block is marked, additional terms of this Agreement are set forth on **Exhibit B** attached hereto and incorporated herein by reference. (Note: Under North Carolina law, real estate agents are not permitted to draft conditions or contingencies to this Agreement.)

Section 2. Sale of Property and Payment of Purchase Price: Seller agrees to sell and Buyer agrees to buy the Property for the Purchase Price.

Section 3. Proration of Expenses and Payment of Costs: Seller and Buyer agree that all property taxes (on a calendar year basis), leases, rents, mortgage payments and utilities or any other assumed liabilities as detailed on attached **Exhibit B**, if any, shall be prorated as of the date of Closing. Seller shall pay for preparation of a deed and all other documents necessary to perform Seller's obligations under this Agreement, excise tax (revenue stamps), any deferred or rollback taxes, and other conveyance fees or taxes required by law, and the following:

none

Buyer shall pay recording costs, costs of any title search, title insurance, survey, the cost of any inspections or investigations undertaken by Buyer under this Agreement and the following:

n/a.

Each party shall pay its own attorney's fees.

Section 4. Deliveries: Seller agrees to use best efforts to deliver to Buyer as soon as reasonably possible after the Contract Date copies of all information relating to the Property in possession of or available to Seller, including but not limited to: title insurance policies (and copies of any documents referenced therein), surveys, soil test reports, environmental surveys or reports, site plans, civil drawings, building plans, maintenance records and copies of all presently effective warranties or service contracts related to the Property. Seller authorizes (1) any attorney presently or previously representing Seller to release and disclose any title insurance policy in such attorney's file to Buyer and both Buyer's and Seller's agents and attorneys; and (2) the Property's title insurer or its agent to release and disclose all materials in the Property's title insurer's (or title insurer's agent's) file to Buyer and both Buyer's and Seller's agents and attorneys. If Buyer does not consummate the Closing for any reason other than Seller default, then Buyer shall return to Seller all materials delivered by Seller to Buyer pursuant to this Section 4 (or Section 7, if applicable), if any, and shall, upon Seller's request, provide to Seller copies of (subject to the ownership and copyright interests of the preparer thereof) any and all studies, reports, surveys and other information relating directly to the Property prepared by or at the request of Buyer, its employees and agents, and shall deliver to Seller, upon the release of the Earnest Money, copies of all of the foregoing without any warranty or representation by Buyer as to the contents, accuracy or correctness thereof.

Section 5. Evidence of Title: Seller agrees to convey fee simple marketable and insurable title to the Property without exception for mechanics' liens, free and clear of all liens, encumbrances and defects of title other than: (a) zoning ordinances affecting the Property, (b) Leases (if applicable) and (c) matters of record existing at the Contract Date that are not objected to by Buyer prior to the end of the Examination Period ("Permitted Exceptions"); provided that Seller shall be required to satisfy, at or prior to Closing, any encumbrances that may be satisfied by the payment of a fixed sum of money, such as deeds of trust, mortgages or statutory liens. Seller shall not enter into or record any instrument that affects the Property (or any personal property listed on **Exhibit A**) after the Contract Date without the prior written consent of Buyer, which consent shall not be unreasonably withheld, conditioned or delayed.

Section 6. Conditions: This Agreement and the rights and obligations of the parties under this Agreement are hereby made expressly conditioned upon fulfillment (or waiver by Buyer, whether explicit or implied) of the following conditions:

(a) **New Loan:** The Buyer must be able to obtain the loan, if any, referenced in Section 1(b)(ii). Buyer must be able to obtain a firm commitment for this loan on or before n/a., effective through the date of Closing. Buyer agrees to use its best efforts to secure such commitment and to advise Seller immediately upon receipt of lender's decision. On or before the above date, Buyer has the right to terminate this Agreement for failure to obtain the loan referenced in Section 1(b)(ii) by delivering to Seller written notice of termination by the above date, *time being of the essence*. If Buyer delivers such notice, this Agreement shall be null and void and Earnest Money shall be refunded to Buyer. If Buyer fails to deliver such notice, then Buyer will be deemed to have waived the loan condition. Notwithstanding the foregoing, after the above date, Seller may request in writing from Buyer a copy of the commitment letter. If Buyer fails to provide Seller a copy of the commitment letter within five (5) days of receipt of Seller's request, then Seller may terminate this Agreement by written notice to Buyer at any time thereafter, provided Seller has not then received a copy of the commitment letter, and Buyer shall receive a return of Earnest Money.

(b) **Qualification for Financing:** If Buyer is to assume any indebtedness in connection with payment of the Purchase Price, Buyer agrees to use its best efforts to qualify for the assumption. Should Buyer fail to qualify, Buyer shall notify Seller in writing immediately upon lender's decision, whereupon this Agreement shall terminate, and Buyer shall receive a return of Earnest Money.

(c) **Title Examination:** After the Contract Date, Buyer shall, at Buyer's expense, cause a title examination to be made of the Property before the end of the Examination Period. In the event that such title examination shall show that Seller's title is not fee simple marketable and insurable, subject only to Permitted Exceptions, then Buyer shall promptly notify Seller in writing of all such title defects and exceptions, in no case later than the end of the Examination Period, and Seller shall have thirty (30) days to cure said noticed defects. If Seller does not cure the defects or objections within thirty (30) days of notice thereof, then Buyer may terminate this Agreement and receive a return of Earnest Money (notwithstanding that the Examination Period may have expired). If Buyer is to purchase title insurance, the insuring company must be licensed to do business in the state in which the Property is located. Title to the Property must be insurable at regular rates, subject only to standard exceptions and Permitted Exceptions.

(d) **Same Condition:** If the Property is not in substantially the same condition at Closing as of the date of the offer, reasonable wear and tear excepted, then the Buyer may (i) terminate this Agreement and receive a return of the Earnest Money or (ii) proceed to Closing whereupon Buyer shall be entitled to receive, in addition to the Property, any of the Seller's insurance proceeds payable on account of the damage or destruction applicable to the Property.

(e) **Inspections:** Buyer, its agents or representatives, at Buyer's expense and at reasonable times during normal business hours, shall have the right to enter upon the Property for the purpose of inspecting, examining, performing soil boring and other testing, conducting timber cruises, and surveying the Property. Buyer shall conduct all such on-site inspections, examinations, soil boring and other testing, timber cruises and surveying of the Property in a good and workmanlike manner, shall repair any damage to the Property caused by Buyer's entry and on-site inspections and shall conduct same in a manner that does not unreasonably interfere with Seller's or any tenant's use and enjoyment of the Property. In that respect, Buyer shall make reasonable efforts to undertake on-site inspections outside of the hours any tenant's business is open to the public and shall give prior notice to any tenants of any entry onto any tenant's portion of the Property for the purpose of conducting inspections. Upon Seller's request, Buyer shall provide to Seller evidence of general liability insurance. Buyer shall also have a right to review and inspect all contracts or other agreements affecting or related directly to the Property and shall be entitled to review such books and records of Seller that relate directly to the operation and maintenance of the Property, provided, however, that Buyer shall not disclose any information regarding this Property (or any tenant therein) unless required by law and the same shall be regarded as confidential, to any person, except to its attorneys, accountants, lenders and other professional advisors, in which case Buyer shall obtain their agreement to maintain such confidentiality. Buyer assumes all responsibility for the acts of itself, its agents or representatives in exercising its rights under this Section 6(e) and agrees to indemnify and hold Seller harmless from any damages resulting therefrom. This indemnification obligation of Buyer shall survive the Closing or earlier termination of this Agreement. Buyer shall, at Buyer's expense, promptly repair any damage to the Property caused by Buyer's entry and on-site inspections. Except as provided in Section 6(c) above, Buyer shall have from the Contract Date through the end of the Examination Period to perform the above inspections, examinations and testing. **IF BUYER CHOOSES NOT TO PURCHASE THE PROPERTY, FOR ANY REASON OR NO REASON, AND PROVIDES WRITTEN NOTICE TO SELLER THEREOF PRIOR TO THE EXPIRATION OF THE EXAMINATION PERIOD, THEN THIS AGREEMENT SHALL TERMINATE, AND BUYER SHALL RECEIVE A RETURN OF THE EARNEST MONEY.**

Section 7. Leases (Check one of the following, as applicable):

If this box is checked, Seller affirmatively represents and warrants that there are no Leases (as hereinafter defined) affecting the Property.

If this box is checked, Seller discloses that there are one or more leases affecting the Property (oral or written, recorded or not - "Leases") and the following provisions are hereby made a part of this Agreement.

(a) A list of all Leases shall be set forth on **Exhibit B**;

(b) Seller shall deliver copies of any Leases to Buyer pursuant to Section 4 as if the Leases were listed therein;

(c) Seller represents and warrants that as of the Contract Date there are no current defaults (or any existing situation which, with the passage of time, or the giving of notice, or both, or at the election of either landlord or tenant could constitute a default) either by Seller, as landlord, or by any tenant under any Lease ("Lease Default"). In the event there is any Lease Default as of the Contract Date, Seller agrees to provide Buyer with a detailed description of the situation in accordance with Section 4. Seller agrees not to commit a Lease Default as Landlord after the Contract Date, and agrees further to notify Buyer immediately in the event a Lease Default arises or is claimed, asserted or threatened to be asserted by either Seller or a tenant under the Lease.

(d) In addition to the conditions provided in Section 6 of this Agreement, this Agreement and the rights and obligations of the parties under this Agreement are hereby made expressly conditioned upon the assignment of Seller's interest in any Lease to Buyer in form and content acceptable to Buyer (with tenant's written consent and acknowledgement, if required under the Lease), and Seller agrees to use its best efforts to effect such assignment. Any assignment required under this Section 7 shall be required to be delivered at or before Closing by Seller in addition to those deliveries required under Section 11 of this Agreement.

(e) Seller agrees to deliver an assignment of any Lease at or before Closing, with any security deposits held by Seller under any Leases to be transferred or credited to Buyer at or before Closing. Seller also agrees to execute and deliver (and work diligently to obtain any tenant signatures necessary for same) any estoppel certificates and subordination, nondisturbance and attornment agreements in such form as Buyer may reasonably request.

Section 8. Environmental: Seller represents and warrants that it has no actual knowledge of the presence or disposal, except as in accordance with applicable law, within the buildings or on the Property of hazardous or toxic waste or substances, which are defined as those substances, materials, and wastes, including, but not limited to, those substances, materials and wastes listed in the United States Department of Transportation Hazardous Materials Table (49 CFR Part 172.101) or by the Environmental Protection Agency as hazardous substances (40 CFR Part 302.4) and amendments thereto, or such substances, materials and wastes, which are or become regulated under any applicable local, state or federal law, including, without limitation, any material, waste or substance which is (i) petroleum, (ii) asbestos, (iii) polychlorinated biphenyls, (iv) designated as a Hazardous Substance pursuant to Section 311 of the

Clean Water Act of 1977 (33 U.S.C. §1321) or listed pursuant to Section 307 of the Clean Water Act of 1977 (33 U.S.C. §1317), (v) defined as a hazardous waste pursuant to Section 1004 of the Resource Conservation and Recovery Act of 1976 (42 U.S.C. §6903) or (vi) defined as a hazardous substance pursuant to Section 101 of the Comprehensive Environmental Response, Compensation and Liability Act of 1980 (42 U.S.C. §9601). Seller has no actual knowledge of any contamination of the Property from such substances as may have been disposed of or stored on neighboring tracts.

Section 9. Risk of Loss/Damage/Repair: Until Closing, the risk of loss or damage to the Property, except as otherwise provided herein, shall be borne by Seller. Except as to maintaining the Property in its same condition, Seller shall have no responsibility for the repair of the Property, including any improvements, unless the parties hereto agree in writing.

Section 10. Earnest Money Disbursement: In the event that any of the conditions hereto are not satisfied, or in the event of a breach of this Agreement by Seller, then the Earnest Money shall be returned to Buyer, but such return shall not affect any other remedies available to Buyer for such breach. In the event this offer is accepted and Buyer breaches this Agreement, then the Earnest Money shall be forfeited, but such forfeiture shall not affect any other remedies available to Seller for such breach. NOTE: In the event of a dispute between Seller and Buyer over the return or forfeiture of Earnest Money held in escrow by a licensed real estate broker, the broker is required by state law to retain said Earnest Money in its trust or escrow account until it has obtained a written release from the parties consenting to its disposition or until disbursement is ordered by a court of competent jurisdiction, or alternatively, the party holding the Earnest Money may deposit the disputed monies with the appropriate clerk of court in accordance with the provisions of N.C.G.S. §93A-12.

Section 11. Closing: At or before Closing, Seller shall deliver to Buyer a general warranty deed unless otherwise specified on Exhibit B and other documents customarily executed or delivered by a seller in similar transactions, including without limitation, a bill of sale for any personality listed on Exhibit A, an owner's affidavit, lien waiver forms (and such other lien related documentation as shall permit the Property to be conveyed free and clear of any claim for mechanics' liens) and a non-foreign status affidavit (pursuant to the Foreign Investment in Real Property Tax Act), and Buyer shall pay to Seller the Purchase Price. At Closing, the Earnest Money shall be applied as part of the Purchase Price. The Closing shall be conducted by Buyer's attorney or handled in such other manner as the parties hereto may mutually agree in writing. Possession shall be delivered at Closing, unless otherwise agreed herein. The Purchase Price and other funds to be disbursed pursuant to this Agreement shall not be disbursed until Closing has taken place.

Section 12. Notices: Unless otherwise provided herein, all notices and other communications which may be or are required to be given or made by any party to the other in connection herewith shall be in writing and shall be deemed to have been properly given and received on the date delivered in person or deposited in the United States mail, registered or certified, return receipt requested, to the addresses set out in Section 1(g) as to Seller and in Section 1(h) as to Buyer, or at such other addresses as specified by written notice delivered in accordance herewith.

Section 13. Entire Agreement: This Agreement constitutes the sole and entire agreement among the parties hereto and no modification of this Agreement shall be binding unless in writing and signed by all parties hereto. The invalidity of one or more provisions of this Agreement shall not affect the validity of any other provisions hereof and this Agreement shall be construed and enforced as if such invalid provisions were not included.

Section 14. Enforceability: This Agreement shall become a contract when signed by both Buyer and Seller and such signing is communicated to both parties; it being expressly agreed that the notice described in Section 12 is not required for effective communication for the purposes of this Section 14. The parties acknowledge and agree that: (i) the initials lines at the bottom of each page of this Agreement are merely evidence of their having reviewed the terms of each page, and (ii) the complete execution of such initials lines shall not be a condition of the effectiveness of this Agreement. This Agreement shall be binding upon and inure to the benefit of the parties, their heirs, successors and assigns and their personal representatives.

Section 15. Adverse Information and Compliance with Laws:

(a) **Seller Knowledge:** Seller has no actual knowledge of (i) condemnation(s) affecting or contemplated with respect to the Property; (ii) actions, suits or proceedings pending or threatened against the Property; (iii) changes contemplated in any applicable laws, ordinances or restrictions affecting the Property; or (iv) governmental special assessments, either pending or confirmed, for sidewalk, paving, water, sewer, or other improvements on or adjoining the Property, and no pending or confirmed owners' association special assessments, except as follows (Insert "None" or the identification of any matters relating to (i) through (iv) above, if any):

Section 8: Seller acknowledges the presence of residual petroleum in 2017. Seller will, at the sellers expense pay for additional sampling. See Exhibit B.

Buyer Initials _____

Seller Initials _____

Page 6 of 8

PML

STANDARD FORM 580-T

Revised 7/2013

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Note: For purposes of this Agreement, a "confirmed" special assessment is defined as an assessment that has been approved by a governmental agency or an owners' association for the purpose(s) stated, whether or not it is fully payable at time of closing. A "pending" special assessment is defined as an assessment that is under formal consideration by a governing body. Seller shall pay all owners' association assessments and all governmental assessments confirmed as of the date of Closing, if any, and Buyer shall take title subject to all pending assessments disclosed by Seller herein, if any.

Seller represents that the regular owners' association dues, if any, are \$ n/a _____ per _____.

(b) **Compliance:** To Seller's actual knowledge, (i) Seller has complied with all applicable laws, ordinances, regulations, statutes, rules and restrictions pertaining to or affecting the Property; (ii) performance of the Agreement will not result in the breach of, constitute any default under or result in the imposition of any lien or encumbrance upon the Property under any agreement or other instrument to which Seller is a party or by which Seller or the Property is bound; and (iii) there are no legal actions, suits or other legal or administrative proceedings pending or threatened against the Property, and Seller is not aware of any facts which might result in any such action, suit or other proceeding.

Section 16. Survival of Representations and Warranties: All representations, warranties, covenants and agreements made by the parties hereto shall survive the Closing and delivery of the deed. Seller shall, at or within six (6) months after the Closing, and without further consideration, execute, acknowledge and deliver to Buyer such other documents and instruments, and take such other action as Buyer may reasonably request or as may be necessary to more effectively transfer to Buyer the Property described herein in accordance with this Agreement.

Section 17. Applicable Law: This Agreement shall be construed under the laws of the state in which the Property is located. This form has only been approved for use in North Carolina.

Section 18. Assignment: This Agreement is freely assignable unless otherwise expressly provided on Exhibit B.

Section 19. Tax-Deferred Exchange: In the event Buyer or Seller desires to effect a tax-deferred exchange in connection with the conveyance of the Property, Buyer and Seller agree to cooperate in effecting such exchange; provided, however, that the exchanging party shall be responsible for all additional costs associated with such exchange, and provided further, that a non-exchanging party shall not assume any additional liability with respect to such tax-deferred exchange. Seller and Buyer shall execute such additional documents, at no cost to the non-exchanging party, as shall be required to give effect to this provision.

Section 20. Memorandum of Contract: Upon request by either party, the parties hereto shall execute a memorandum of contract in recordable form setting forth such provisions hereof (other than the Purchase Price and other sums due) as either party may wish to incorporate. Such memorandum of contract shall contain a statement that it automatically terminates and the Property is released from any effect thereby as of a specific date to be stated in the memorandum (which specific date shall be no later than the date of Closing). The cost of recording such memorandum of contract shall be borne by the party requesting execution of same.

Section 21. Authority: Each signatory to this Agreement represents and warrants that he or she has full authority to sign this Agreement and such instruments as may be necessary to effectuate any transaction contemplated by this Agreement on behalf of the party for whom he or she signs and that his or her signature binds such party.

Section 22. Brokers: Except as expressly provided herein, Buyer and Seller agree to indemnify and hold each other harmless from any and all claims of brokers, consultants or real estate agents by, through or under the indemnifying party for fees or commissions arising out of the sale of the Property to Buyer. Buyer and Seller represent and warrant to each other that: (i) except as to the Brokers designated under Section 1(f) of this Agreement, they have not employed nor engaged any brokers, consultants or real estate agents to be involved in this transaction and (ii) that the compensation of the Brokers is established by and shall be governed by separate agreements entered into as amongst the Brokers, the Buyer and/or the Seller.

Section 23. Attorneys Fees: If legal proceedings are instituted to enforce any provision of this Agreement, the prevailing party in the proceeding shall be entitled to recover from the non-prevailing party reasonable attorneys fees and court costs incurred in connection with the proceeding.

EIFS/SYNTHETIC STUCCO: If the adjacent box is checked, Seller discloses that the Property has been clad previously (either in whole or in part) with an "exterior insulating and finishing system" commonly known as "EIFS" or "synthetic stucco". Seller makes no representations or warranties regarding such system and Buyer is advised to make its own independent determinations with respect to conditions related to or occasioned by the existence of such materials at the Property.

Buyer Initials _____ Seller Initials DS PM

Page 7 of 8

DS
D
M

STANDARD FORM 580-T
Revised 7/2013

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THE NORTH CAROLINA ASSOCIATION OF REALTORS®, INC. AND THE NORTH CAROLINA BAR ASSOCIATION MAKE NO REPRESENTATION AS TO THE LEGAL VALIDITY OR ADEQUACY OF ANY PROVISION OF THIS FORM IN ANY SPECIFIC TRANSACTION. IF YOU DO NOT UNDERSTAND THIS FORM OR FEEL THAT IT DOES NOT PROVIDE FOR YOUR LEGAL NEEDS, YOU SHOULD CONSULT A NORTH CAROLINA REAL ESTATE ATTORNEY BEFORE YOU SIGN IT.

BUYER:

Individual

Date: _____

Date: _____

Business Entity

(Name of Entity)

By: _____

Name: _____

Title: _____

Date: _____

SELLER:

Individual

DocuSigned by:

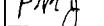


Hilda S. McLeod Marital Trust

1/19/2021

Date: _____

DocuSigned by:



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1/19/2021

Date: _____

Business Entity

The Hilda McLeod Heirs

DocuSigned by:



A337C9F74092443...

Name: _____

Title: _____

1/19/2021

Date: _____

The undersigned hereby acknowledges receipt of the Earnest Money set forth herein and agrees to hold said Earnest Money in accordance with the terms hereof.

(Name of Firm)

Date: _____

By: _____

Exhibit B

1. Environmental Issues:

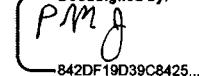
The parties acknowledge that a Notice of Residential Petroleum appears of record in the Alamance County Registry. Purchaser desires for the real estate described in the Notice to be eliminated. Seller shall pay for an environmental test to determine if the same can be eliminated. If the Notice cannot be limited, the parties will use their best efforts to decrease the affected area noted in the Notice. If the Notice area is not eliminated or reduced to a size acceptable by Purchaser, the Purchaser shall have two (2) options: 1) To purchase property at a reduction in the price of ten thousand dollars (\$10,000.00) or 2) if the area described in the Notice is not acceptable to Purchaser as determined in its sole discretion, then Purchaser may terminate the Agreement and receive its deposit in full.

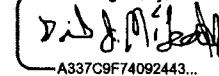
2. City Council Approval:

This Agreement for the Purchase is contingent upon the approval of the City of Mebane Council as required by law.

DocuSigned by:

4F8E608D7E3A472...

DocuSigned by:

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AGENDA ITEM #10

City Manager Compensation

Meeting Date

February 1, 2021

Presenter

Lawson Brown, City Attorney

Public Hearing

Yes No

Summary

The Council voted on August 3, 2020 to defer the new City Manager's compensation until the retirement of the then City Manager.

Background

On August 3, 2020, the Council named Chris Rollins as the City Manager, effective upon the retirement of David Cheek, City Manager, who retired on January 31, 2021. At that time, the Council elected to defer the annual compensation of the new manager until Mr. Rollins assumed his new role. Mr. Rollins is currently receiving an annual salary of \$191,000 and benefits from the merit pay plan and the cost-of-living increases approved by Council. David Cheek was receiving an annual salary of \$199,000.

Financial Impact

There will be no financial impact provided the Council does not exceed an annual salary of \$199,000.

Recommendation

The Mayor recommends that the Council set the annual salary at \$199,000, with entitlement to future cost-of-living increases and benefits as approved by Council.

Suggested Motion

I move that the annual compensation of Chris Rollins, City Manager, be set at \$199,000 with entitlement to future cost-of-living increases and benefits as approved by Council.

Attachments

None

Mebane Fire Dept. Monthly Report

		December	Year to Date	% Change from 2019
Structural Response				
Totals	25	252		-4%
Average Personnel Per Response	11	12		
Average Volunteer Response	3	4		
Non Structural Responses				
Totals	51	662		-1%
Total Fire Response	76	914		-1%
Location (Year to Date)	North	South		
Total Number/Precentage	455/50%	459/50%		
	North	South		
Average Fire Response Time	5:14	5:53		
Percentage of Calls Inside City	64%	53%		
Percentage of Calls Outside City	21%	33%		
Percentage of Calls for Mutual Aid	15%	14%		
EMT Response	134	1605		-21%
Location (Year to Date)	North	South		
Total Number/ Precentage	825/51%	780/49%		
CPS Seats Checked	7	111		
Views on Fire Safety Facebook Posts	271	5906		
Smoke Alarms Checked/Installed	3	51		
Station Tours/Programs	0	4		
# of Participants	3	274		
Events Conducted/Attended	1	23		



Planning Board Minutes to the Meeting

January 11, 2021
6:30 p.m.

The Planning Board meeting was held virtually and livestreamed via YouTube. The video can be accessed through the following link: <https://www.youtube.com/watch?v=ci2UakUtAD8>

Members Present Via Zoom: Keith Hoover, Lori Oakley, Kurt Pearson, Vice Chairman Judy Taylor, Chairman Edward Tulauskas

Also Present: Ashley Ownbey, Planner; Audrey Vogel, Planner; Cy Stober, Development Director; Kirk Montgomery, IT Director

1. Call to Order

At 6:30 p.m. Chairman Edward Tulauskas called the meeting to order.

2. Approval of December 14, 2020 Minutes

Judy Taylor made a motion to approve the minutes from the December 14, 2020 meeting Keith Hoover seconded the motion, which passed unanimously.

3. City Council Actions Update

Cy Stober, Development Director, Provided an update on the City Council's recent action on the Buckhorn Area Plan. City Council did not adopt the plan; however, Council did approve an amendment to the *Mebane by Design* Comprehensive Land Use Plan (CLP) to include a portion of the recommended area expansion in the Future Growth Area and Industrial Primary Growth Area (V). Cy indicated that Focus Area A of the plan along with the Medline Properties and 6016 West Ten Road were included in the City Council Action. He added that the Council discussed intent to meet with Orange County elected official to discuss the Buckhorn Area Plan further.

Judy Taylor asked Cy about any further meetings in Orange County regarding the Buckhorn Area Plan. Cy specified that a hearing before the Orange County Board of Commissioners would likely occur in February at the earliest.

Cy noted that all maps in the *Mebane by Design* CLP require updates to reflect the Council Action. Cy clarified, per request by Kurt Pearson, that the property in question per agenda item 4 was included in this Council Action.

4. Request to Establish M-2 (CD) Zoning on a +/-47.5-Acre Parcel (PIN 9834436528) at 6016 West Ten Road Located Outside of the Extra-Territorial Jurisdiction (ETJ) in Orange County by Al Neyer – *Continued from December 14th Planning Board Meeting*



At the start of the agenda item, Chairman Tulauskas indicated that he would request that all members of the public keep their comments to a 5-minute maximum. The members of the Planning Board agreed unanimously per a roll call vote.

Cy Stober provided presented a PowerPoint of the request, providing a review of project history and the information presented at the prior two meetings. Cy noted that per the City Council action on January 4, 2021, the property is now located within the *Mebane by Design* CLP Future Growth Area and Primary Growth Area V, although it is located outside of the ETJ and will require annexation before formal zoning action can be taken.

In addition, Cy reviewed the NC statutory requirements for Planning Board review and recommendation. Per NC General Statutes, the applicant can revise a rezoning request based upon feedback from the Planning Board. Planning Board has 30 days to make a recommendation of approval or denial of the request to the governing body. After 30 days, the applicant has a right to seek action from the governing body. A lack of action by the Planning Board shall result in a Planning Board recommendation with no vote.

Justin Parker, representing the applicant Al Neyer, spoke to the Planning Board and meeting attendees. He indicated that the revisions to the master site plan over the last couple of months have culminated from comments and feedback received from the Board and the public and proceeded to highlight the various revisions. He elaborated on the findings from the traffic impact analysis (TIA) that indicated that the traffic counts for the proposed use are relatively low for an industrial use and are lower than the traffic that would be generated if the site were developed for single family use. He also emphasized that the use of the property would create jobs and generate tax revenue and noted that Neyer is excited to be a good development partner and a good neighbor in Mebane.

At the conclusion of the Applicant presentation, Chairman Tulauskas asked for any public comments to be shared.

Audrey Vogel read aloud the following written comment received Patricia O'Connor, 1011 Squires Rd:

January 11, 2021
Dear Planning Board Members,

I am writing to express my concerns about the plan to change zoning on the property at 6016 West Ten Road. I bought my home on Squires Road, just off West Ten Road, eleven years ago. After hearing of plans to industrialize on the road, but before purchase, I researched the zoning on West Ten Road and learned that the north side of the road was zoned for light industrial and that the south side was zoned Residential/Ag. While I wasn't thrilled about the prospect of living across from an industrial



property, I figured it was a price I was willing to pay for living in this lovely semi-rural setting, and began investing in my home as I was able.

Last year, the Mebane City Council approved changing the zoning of the property on the south side of West Ten Road directly across from (and purchased by) the Medline Company. Medline agreed to limit the development on the south side to one of approximately 25 projects that THEY felt would not be disruptive to nearby neighbors. (Those projects can be found in a December 2019 communication from Medline Industries to the City Council.) I can assure you that most of those projects would clearly be disruptive to adjacent neighbors.

Now Mebane is again looking to change zoning on the south side of West Ten Road. If this is allowed, then the residential wooded community on Winchester and Squires Roads, could be surrounded on 3 sides by industrial developments, and the residents in Preston Loop, nearly engulfed. It would clearly impact the quality of life for surrounding residents and likely impact home values in a negative way. Would any of you choose to live surrounded by noise and light pollution, diesel fumes and severely impeded traffic flow in an industrialized neighborhood? The Medline warehouse alone is slated to have 600 employees and could have as many as 200 truck trips, in or out, daily. I can assure you that if you proceed with rezoning this additional property, where yet another fairly large warehouse is proposed, having coffee on my back porch in the morning will no longer be calming or enjoyable.

Another potential problem could be a decrease in the water flow to nearby Winchester Way and Squires Road properties where residents are dependent on wells and aquifer recharge since the current development plan directs most storm water runoff to retention ponds on the west edge of the property.

This property in question is in Orange County and subject to the Orange County UDO. Are you familiar with the guiding principles? Some of them are: Natural Area Resource preservation; Preservation of rural land use pattern; Water resources preservation; Preservation of community character. Have the Orange County Board members been consulted regarding this plan?

I would ask two things before recommendation for a zoning change is voted on. 1) That you make a sight visit to the area to look at the lay of the land and current development and 2) that you request a real estate impact study to determine the potential effects that all actual and proposed development will have on the surrounding properties. Like many, my home is my most valuable asset and the thought of having my property value decline is both discouraging and frightening.

The phrase “by design” has 2 different meanings: it can mean a plan with a specific purpose OR it can mean to obtain something desired, typically in a secret and dishonest way. I truly hope that Mebane by Design operates on the first premise and that more creativity and imagination is used in planning in and around established and beautiful rural residential communities.



Respectfully,
Patty O'Connor

Aimee Tattersall, 1133 Squires Road, was called upon to speak. Ms. Tattersall commented on the TIA findings and the impact of traffic on West Ten Road. Ms. Tattersall also commented on the project in relation to the Buckhorn Area Plan, asking what authority enables the Buckhorn Area Plan and annexation of properties outside of its Jurisdiction. Cy Stober answered that NC General Statues, Article 160A, allows municipalities to annex property up to 3 miles from their contiguous city limits so long as they can extend and provide utilities.

Ms. Tattersall asked about the traffic study and the property in relation to the Medline Project. Justin Parker responded that he is unable to comment on Medline but offered that their traffic consultant, Josh Reinke, could answer questions about the subject property. Mr. Reinke confirmed the estimated number of daily trips to be generated from the site. In addition, he confirmed that the level of service for the West Ten Road and Buckhorn Road intersection is acceptable. Ms. Tattersall expressed sadness about the project.

Fiona Johan, 5016 Johan Lane, commented that she agreed with the statements and sentiments expressed in Patricia O'Connor's letter. Ms. Johan also expressed concern that this project will set a precedent for the area and frustration about the role and relationship between county planning and city planning.

Kurt Pearson asked the applicant to confirm that the build condition of the proposed project performed at a "B level of service." Mr. Reinke elaborated on the level of service and that the project does not come close to meeting the national MUTC thresholds to require a traffic signal.

Kurt Pearson asked about the potential of future development to "trigger" the need for a traffic signal, and what that process would look like. Cy Stober elaborated on the City's TIA requirements and review process, indicating that the city requires a TIA for developments that produce 100 peak hour trips, 100 trips per day, or for another reason that the City deems appropriate. Cy also pointed out that COVID-19 has disrupted the traffic counting process and these analyses have had to use best available data from 2019. He noted that the scope of work for project may include a "signal warrant analysis" to make a determination of whether a traffic signal would be necessary for the intersection. Mr. Reinke elaborated on the technical processes for signal warrant analyses.

Kurt Pearson expressed that it is important for the public to understand that the traffic analysis process in Mebane is effective and reasonable. Mr. Pearson then asked the applicant about the outdoor storage use shown on the master site plan. Justin Parker responded that it was intended for a potential minor tenant driven use, such as a storage pod.



Lori asked the applicant about plantings within the gas line easement on the property. Tim Summerville, confirmed that planting is not allowed in the easement and it does overlap with the 100 foot buffer, so in that area they may only plant within the easement line and the property line. He indicated that they included 3-foot berms to provide additional screening and noise buffering. Ms. Oakley noted that on the northside of the property the buffer is significantly reduced because of this. Mr. Summerville indicated that the landscaping would meet the requirements.

Kurt Pearson indicated that he was prepared to make a motion and ask if there were any more public comments.

David Squires was called upon to speak at this time. Mr. Squires expressed concerns about trucks turning in and out of the site, and potential safety issues for passenger vehicles on the same road. Josh Reinke responded, indicating that those concerns were taken into consideration in the design of the site, including turn radii, site distance, turn lanes, and right-in right-out driveway design. Justin Parker indicated that the site was designed with Mr. Squires' concerns in mind to promote safety.

Fiona Johan asked about the potential tax revenue from the proposed site as compared to the loss of the real estate value of the surrounding homes the area. Ms. Johan also indicated that the project is not "positively charming."

Kurt Pearson thanked the public for their input and the Al Neyer team for incorporating the concerns of the board and the public. Mr. Pearson then made a motion to recommend the approval of the M-2(CD) zoning request as presented, finding that it is consistent with the objectives and goals in the *Mebane By Design CLP*. Mr. Pearson noted that the plan serves CLP growth management goal 1.7 through the support of industrial development near I-40 and I-85, and aligns with the Industrial Primary Growth Area. He also cited that pending approval by the Mebane City Council, the site is a top tier property within the Buckhorn Area Plan. Kevin Brouwer seconded the motion. The motion passed unanimously per a roll call vote.

Chairman Tulauskas indicated that the request will go before the Mebane City Council on Monday, February 1st. Cy Stober added that the property will be posted, letters will be mailed to property owners within 300 feet of the site and the hearing will be advertised in the local paper.

5. Lowes Boulevard Corridor Plan

The City of Mebane 2040 Comprehensive Transportation Plan (CTP), which was adopted in May 2018, recommends "Roadway Project #7" (p. 78), the planning and construction of a roadway to connect Lowes Boulevard with Trollingwood-Hawfields Road and NC 119. As identified in the CTP, construction of a new roadway is expected to improve connectivity and relieve congestion in a well-traveled area that includes a congested, high-crash intersection at Trollingwood-Hawfields Road and



NC 119 that currently has a Level of Service (LOS) F, as rated by the NC Department of Transportation. Both NC 119 and Trollingwood- Hawfields Road have LOS D at this location that could be addressed through congestion relief and safety improvement. The Lowes Boulevard Corridor Plan proposes several concepts for extending Lowes Boulevard. The proposed extension of Lowes Boulevard is intended to decrease the number of vehicles traveling through the intersection of Trollingwood- Hawfields Road and NC 119. Additionally, the proposed concepts include a multi-use path to improve bicycle and pedestrian access in the area, particularly to Hawfields Middle School and Garrett Elementary School.

A virtual public engagement website went live Monday, December 7, 2020. Since then, residents, businesses, and property owners in the area as well as the general public have been invited by letters, postcards, and social media posts to attend a virtual public input session on January 7 and complete a survey by January 22.

Ashley Ownbey shared a brief PowerPoint introducing the Lowes Boulevard Corridor Plan. Ms. Ownbey emphasized this planning effort is not a construction project, and that it will serve as a long-range plan to provide guidance for potential development pursuits in the study area.

Devyn Lozzi, Project Manager at Ramey Kemp, presented the plan in greater detail by explaining the technical design process and describing each development of the 4 development concepts. Ms. Lozzi noted that concept 4 is a new design that was developed as a product of public input is therefore not yet shown on the public engagement website. In addition, Ms. Lozzi provided an update on the preliminary public data collected from the online survey.

Ed Tulauskas asked if design concept #4 would be available for the public to provide input online. Ms. Lozzi indicated that the design would be shared online, but they are working on a solution to address the public survey as many people have already completed the survey without option 4 included.

Kurt Pearson asked if any of the three-lane design section concepts included roundabouts? Devyn Lozzi responded that any of the concepts could be made to accommodate a three-lane section, including a roundabout.

Kurt Pearson strongly encouraged the use of roundabouts and elaborated on their ability to improve the flow of traffic.

Lori Oakley commented that she also prefers roundabouts as well. Ms. Oakley asked about the mobile home park shown in the study area. Cy Stober indicated that staff planned to avoid impacts to the mobile home park, but the owner of the property indicated a preference for the design as shown on concept 4.



Devin Lozzi clarified at concept 4 could accommodate a roundabout.

Kevin Brouwer asked about considerations for school traffic and any potential back up during peak hours, adding that a traffic circle may make it difficult to traverse the area during these peak hours. Devin Lozzi responded that they did include a traffic analysis in the development of each concept, noting that COVID19 conditions do not allow for real time school traffic counts. She noted that queuing for pick up would likely not back up on to Lowes Blvd. Judy Taylor added in that the Middle School has a very long driveway that is set up to accommodate for queuing within the school property. Ms. Lozzi added that roundabouts can be designed with “slip lanes” to allow for even greater traffic flow.

Judy Taylor commented that the concept 4 design opens up to allow for more area to developed as a potential commercial area. Cy Clarified that this is the reason for the property owners’ preferences for Concept 4.

Cy Stober clarified that a Lowes Boulevard design concept would be submitted as a single project in the even that the City moves forward to pursue state funding, but if it is to be built by developers it would be a more “piecemeal” approach.

Kurt Pearson asked about the cost of concept. Cy Stober clarified that the cost for concept 4 presented on the PowerPoint, 4.7 million, does not include roundabouts. Judy Taylor commented that the cost estimate is inclusive the costs associated as “Phase 2” on concepts 1 and 2. Kurt Pearson indicated that a roundabout is critically important and in terms of cost he would rather see a plan that includes roundabouts with the northern phase to be built by developers, as opposed to an option without roundabouts.

Mr. Pearson then asked Cy Stober to clarify the suggested motion for the Board. Cy Stober explained that the Board’s recommendation is intended to provide guidance to council on the Board’s preferred concept alignment and preference for median or turn lane.

Judy Taylor commented that concept 4 with the inclusion of roundabouts would be a preferred and cost-effective measure as it includes the cost for the northern portion that is identified as “phase 2” in other concepts. Kevin Brouwer added that while business development is a positive aspect of option 4, it may produce more traffic. Judy Taylor noted that the “quadrants” in option 4 appear as though they would pull traffic away from NC 119.

Kurt Pearson asked if the Board could vote on the preference for roundabouts. Cy Stober clarified that the board could make a “non-action” vote for this matter. Kurt Pearson expressed support for roundabouts and the members of the Board shared the same sentiment.



Ed Tulauskas welcomed input from the Public.

Harry Isley, a property owner within the study area, commented on his family's role in developing the south side of Mebane and that they have an interest in the future of the area. Mr. Isley added that he liked roundabouts, but option 1B would not work because a roundabout near Lowes would inhibit trucks from being able to back into the truck bays. He also indicated that it would encroach on their 4 acres of property. He noted that his initial preference was for concept 1A, but that option 4 would be even better by providing additional frontage for development.

Carolyn Isley commented to reiterate Mr. Isley's points and added that Harry and Mack Isley have had a very long-term vested interest in the City of Mebane. She noted that her family is supportive of the plan, traffic circles, and encouraging improved traffic flow, but wanted to emphasize the importance of taking the property owners and the age of the existing properties into consideration.

Ginny Flint, 2000 Old Hillsborough Rd, commented on the traffic that backs up from student drop off at the middle school in the mornings. She requested that this be taken into consideration so that people are still able to turn left when the road is backed up to turn right towards the school. Cy Stober noted that this concern is a comment to be considered for the NC 119 DOT widening project that is in its early stages.

Chairman Tulauskas asked for any additional questions or comments.

Lori asked to look at concept 4 again. Kurt Pearson indicated that option 4 would not have the roundabout issue that Mr. Harry Isley expressed concern about. Mr. Isley commented in agreement.

Kurt Pearson commented that he preferred concept 4 with the three-lane section and a roundabout in the middle. Keith Hoover, Judy Taylor, and Kevin Brouwer agreed. Lori Oakley commented that she liked the layout but had a reservation about displacing the mobile home park, with those tenants in mind.

David Squires, the owner of the mobile home park, noted that the property owners did not explicitly pick option number four, but asked for an option that allowed for maximum flexibility for the development of the properties involved as opposed to a pre-set route.

Cy Stober responded that per the City's adopted plans, Staff is flexible about the location of the road provided that no new property owners are affected by realignment of a proposed road and that it serves its purpose for the development as well as for the city. However, the City is inflexible on what has to go back to a public hearing would be a proposed road that would affect additional property owners not identified in the plans.



Mr. Squires indicated that he understood the project would take 5-7 years through the City and may happen sooner should a developer take on the project and in that case the property owner would like flexibility in that development process. Cy Stober confirmed that his understanding was correct, and they are on the same page.

Martin Shoffner, 1468 Trollingwood Hawfields Rd, attempted to speak but experienced technical difficulties. He noted in the chat box that most of his concerns were addressed.

Judy Taylor made a motion to recommend Concept 4 to council with an addition of roundabouts. Keith Hoover, Kurt Pearson, and Kevin Brouwer voted in favor. Lori voted in favor of recommending plan, but not in favor of Concept 4, with a preference for option 3.

Chairman Tulauskas indicated that the request will go before the Mebane City Council on Monday, February 1st. Cy Stober added that planning staff has treated the project as a public hearing and has made a diligent effort to notify property owners and tenants.

6. New Business

Audrey Vogel shared information about the open position on the City of Mebane Bicycle and Pedestrian Advisory Committee.

Cy Stober also provided an update to the Board on the City's effort to update the Unified Development Ordinance.

7. Adjournment

There being no further business, the meeting was adjourned at 8:30 p.m.