



PLEASE TAKE NOTICE that the Mebane Planning Board's regular meeting will be held **virtually** on Monday, April 12, 2021, at 6:30 p.m.

The City of Mebane is taking measures to mitigate the spread of the COVID-19 virus including banning physical attendance at public meetings, employing social distancing, and implementing remote participation. The following will allow the public to attend the meeting by remotely accessing it on the internet.

For people who plan to view the meeting, but not comment or participate, the City is providing a YouTube live stream by searching the City of Mebane on YouTube or at the following link:

<https://www.youtube.com/channel/UCoL1RXdRDMzK98p53TMoqww>

For people who plan or think they may want to address the Planning Board for public comment, see options below.

Option #1-

- Email written comment to avogel@cityofmebane.com. Written comments must be received by **4:00 pm on Monday, April 12th**. Written comments will be read aloud by staff.
- Messages must be labeled "Planning Board Comment" in the subject line and must contain commenter's name and address in the email.

Option #2

- Email avogel@cityofmebane.com by **2:00 pm Monday, April 12th** to participate. When email is received, an email will be sent with instructions on how to register and speak during the meeting.
- Messages must be labeled "Planning Board Participation" in the subject line and must contain commenter's name and address in the email.
- Registered participants will be given an access code to speak at the meeting via Zoom, a remote conferencing service
- Callers will be held in queue and asked to mute their phones or speakers until they are called on to speak
- Speakers will be called in the order in which they are registered. Should time allow after all registered speakers have had a chance to speak, you may use the "raise hand" button on the Zoom interface to be recognized and staff will unmute you to give comment.
- Per authority of NCGS 143-318.17, if a person participating remotely willfully disrupts the Planning Board, then upon direction by the Chair, such person may be removed from electronic participation, or his or her e-mail may not be read



Planning Board

Regular Meeting Agenda
April 12, 2021, 6:30 p.m.

1. Call to Order
2. Approval of March 8, 2021, Meeting Minutes
3. City Council Actions Update
4. Request to rezone the +/- 1.32-acre property located at 7713 US 70 (GPIN 9825532037) from B-3 to B-2 (CD) to allow for redevelopment and improvement of an existing nonconforming use by the Orange County Alcoholic Beverage Control Board c/o Tony DuBois
5. Request to rezone the +/- 1.48-acre property located at S NC 119 Hwy and Millstead Drive (GPIN 9814121597) from B-2 to B-2 (CD) to allow for a multi-tenant, neighborhood shopping center with drive-through restaurant by Evans Street Four, LLC, c/o Meda Williams
6. Comprehensive text amendments to the Mebane Unified Development Ordinance per North Carolina General Statute 160D and State environmental regulations.
7. New Business
 - a. Applications for open Planning Board positions
8. Adjournment



**Planning Board
Minutes to the Meeting**

March 8, 2021
6:30 p.m.

The Planning Board meeting was held virtually and livestreamed via YouTube. The video can be accessed through the following link: <https://www.youtube.com/watch?v=-KXH7MHFnPw>

Members Present Via Zoom: Keith Hoover, Lori Oakley, Kurt Pearson, Vice Chairman Judy Taylor, Gale Pettiford, Larry Teague, Kevin Brouwer, and Chairman Edward Tulauskas

Also Present: Audrey Vogel, Planner; Cy Stober, Development Director; Ashley Ownbey, Planner; Kirk Montgomery, IT Director

1. Call to Order

At 6:30 p.m. Chairman Edward Tulauskas called the meeting to order.

2. Approval of Feb 8, 2021 Minutes

Gale Pettiford made a motion to approve the minutes from the February 8, 2021 meeting. Kevin Brouwer seconded the motion, which passed unanimously.

3. City Council Actions Update

Cy Stober, Development Director, provided an update on the City Council's recent action regarding the rezoning request for the Mebane 5th Street Shopping Center by PT Greenland. He also provided an update on the City Council's action regarding the Lowes Blvd Corridor.

4. Request to rezone six parcels totaling +/- 133.9-Acres located on Oakwood Street Extension, with frontages on E Washington Street and Mattress Factory Road (PINs 9825404628, 9825502531, 9825601982, 9825529420, 9825614053, 9825604799), from R-20 and M-1 to R-8 (CD) and R-10 (CD) for a Townhouse and Single Family, respectively, Residential Cluster Development, by Meritage Homes of the Carolinas

Staff presented an application from Meritage Homes of the Carolinas to rezone six (6) properties totaling +/- 133.9 acres located on Oakwood St Ext with frontages on E Washington St Ext and Mattress Factory Rd from M-1 (Heavy Manufacturing District) and R-20 (Residential District) to R-8(CD) and R-10 (CD) (Residential Conditional Zoning Districts) to allow for a residential cluster development of 134 townhomes 275 single-family homes, 409 dwellings total. The property is located in Orange County, with two parcels within City limits and 4 parcels in the ETJ. Meritage Homes of The Carolinas has the property under contract to purchase, contingent upon approval of the conditional rezoning.



The proposed onsite amenities & dedications include the following:

- The construction of all internal roads with 5' sidewalks.
- The construction of a clubhouse, pool, dog park, tot lot and turf play area to exclusively serve development residents to be maintained by the HOA.
- 5,360' of a 10'-wide asphalt multiuse path through the development, running from Oakwood Street Extension to E. Washington St. This includes the path along E Oakwood St Ext required by the City's adopted Bicycle and Pedestrian Transportation Plan.

Requested Waivers:

- Townhome R-8 Lots:
 - A 20' front setback rather than the required 30'
 - A minimum lot width of 21' rather than the required 85'
 - A minimum lot size of 2,600 s.f.
- Single-Family, Detached R-10 Lots:
 - A 25' front setback rather than the required 30'
 - A 5' side setback rather than the required 10'
 - A 20' rear setback rather than the required 25'
 - A minimum lot width of 51' rather than the required 70'
- Multi-use path dedication as an alternate to the payment-in-lieu for public recreation area

Audrey Vogel, Planner, provided a brief overview and PowerPoint of the request.

Mike Owens, Vice President of Land Acquisition at Meritage Homes, provided some background information about the company Meritage Homes, their experience building energy efficient quality homes, and their work in North Carolina.

Tim Smith, Senior Project Manager at Summit Design and Engineering Services, 320 Executive Court, Hillsborough, NC 27278 provided a presentation of the rezoning request and site plan. During his presentation, Mr. Smith described a series of building commitments for the amenity center and home products.

Judy Taylor asked if they were planning on having a variety of home sizes intermixed. Mike Owens responded that the townhomes would range from about 1,500 to 1,800 sf to include an interior, 1-car garage home and an exterior, 2-car garage home. The single family detached homes range from about 1800 sf to just over 3,000 sf.

Judy Taylor asked if the proposed multi-use path public recreation dedication only included what is required by the Bike and Ped Plan or if any additional path beyond the requirement was being provided. Tim Smith explained that the path extends through the proposed development from



Oakwood Ext to E Washington St. Tim Smith noted that the existing sidewalk on the frontage of Oakwood St Ext would be improved to a multi-use path per the Bike and Ped Plan. Cy Stober clarified that the portion of the path along Oakwood St Ext is required by the Bike and Ped Plan, but portion of the path extending though the development is a new feature that is not required/addressed in the Bike Ped Plan.

Kurt Pearson commented on the TIA that the E Washington Street / Center Street intersection is known to have a lot of traffic issues. He asked if the recommended proposed restriping is sufficient to address any increased traffic at an already problematic intersection. Tim Smith commented that the proposed restriping was recommended by NCDOT. Cy Stober explained that the traffic problems at the intersection are a known existing traffic condition and that the addition of traffic from the proposed Oakwood Subdivision was included in the TIA scope because of this concern. However, the City's traffic consultant and NCDOT found the striping to be the only responsibility of the developer, acknowledging that there is a larger public obligation for the intersection's improvement based on existing conditions.

Ed Tulauskas asked if the home energy efficiency features will meet any IECC standards or certifications. Lisa Acklin with Meritage responded that she would research the exact standards and year that their homes would meet and get back to them.

At this time, Chairman Tulauskas asked for any public participation or comments.

Audrey Vogel read the following written comment received via email from Laura Pearson at 7616 E. Washington Street Ext:

Below are my concerns that I would like to be addressed at this virtual meeting:

1. THIS REQUEST IS WHAT I CONSIDER TO BE MANDATORY ON MY BEHALF: To have the owners of the development to build an 8-9 foot privacy fence around my property. My husband and I would like to keep our privacy for when we are hanging out in our backyard. We like our privacy and for many people to have access to our backyard (our "personal lives") would be devastating and extremely uncomfortable! Backyard privacy was one of the main reasons we chose to purchase this property in 2003. Not to mention that we have old buildings on our property and we certainly don't want any children to wander onto our property and accidentally get hurt by being curious and entering these buildings.

2. East Washington Street is a high traffic road, partially due to surrounding businesses/industries, and on a lot of evenings the traffic has been backed up at the nearby railroad crossing. IF the entrance and/or exit to the development will be located beside my house I want to be sure that there are NO plans to have a turning lane installed in front of my house, that will take away ANY portion of my front or side yard. With this road already extremely heavily traveled, I predict that there are



going to be traffic accidents (because people fly up and down this road), that there will be traffic backups in this spot, unless a turning lane IS installed.

3. I might be asking too much with this request but here goes: with the potential for auto accidents at this location (because the traffic is going to get MUCH heavier), I would like to request that a partial stone/brick wall be installed at the entrance/exit to this development to help protect vehicles from potentially ending up in my yard or even in the side of my house. I've seen (and even heard) auto accidents that occurred at the entrance/exit to the Ashbury housing development so I am pretty certain that this is going to happen at this location.

Thank you!

*Laura Pearson
7616 E. Washington Street Ext
Mebane, NC 27302*

Tim Smith asked Audrey Vogel to repeat the address for the abovementioned comment. Kurt Pearson noted that it is the property labeled "A1" on the project site plan. Chairman Tulauskas noted that Ms. Laura Pearson was also present as a registered participant.

Brian Shoffner spoke on behalf of the Wiles Family at 701 E Oakwood St. Mr. Shoffner noted that his family participated in the developer's neighborhood meeting. Mr. Shoffner asked if the existing sidewalk that ends at the Wiles' southern property line would be extended northward through their property at 701 E Oakwood St. Cy Stober answered that the sidewalk/multiuse path would not be extended outside of the boundaries of the project's subject properties. Tim Smith asked Cy if the extension of the path was part of the long-range Bike and Ped Plan. Cy Stober clarified that the City's adopted Bike and Ped Plan does call for a multi-use path along Oakwood Street, including the frontage of 701 E Oakwood St. Extension of the path would be done by future development/owners, or as a City public project that would be subject to review and approval at a public hearing as part of the City's budgeting process. He noted that it is not included in this year's budget and there is no active intent to design or construct the path by the City.

Brian Shoffner, 701 E Oakwood St, also commented that the previous development of the site left an abrupt dramatic grade at the south property line, an area within the buffer, and requested that it be corrected/addressed by the proposed development. Tim Smith commented that the slope will be addressed in their final grading plan and that the slope will be corrected so that it is in a condition that can be planted for the buffer and it not so abrupt.

Brian Shoffner, 701 E Oakwood St, commented that their adjacent property should be correctly denoted on sheets 7, 8, and 11 and the label should be "Edna Wiles Estate." Mr. Shoffner also asked if there were any areas on the site plan with proposed fencing, as requested by Ms. Pearson. Tim



Smith responded that they currently are not providing any fencing, but they are listening to the neighbors concerns and will discuss it with Meritage. Mr. Shoffner requested that no chain link fence be used at the property line adjoining their property.

Tim Smith noted that they hosted two neighborhood meetings the week prior to allow neighbors to ask questions about the project prior to the planning board meeting and that they intended to host neighborhood meetings prior to the City Council hearing as well.

Larry Teague asked the applicant why they requested eight waivers. Tim Smith responded that the waivers were not intentional by design and they were a result of Meritage's desired townhome and single-family home layouts,

Kurt Pearson asked if there were any approved subdivisions at this time in Mebane with a 5-foot setback. Cy Stober responded that he would need to confirm, but he believed that the Villages at Copperstone and the Villages at Lake Michael had 5-foot side setbacks with 10 aggregates. Kurt asked Cy Stober if there were any concerns or persistent discussion topics during TRC (Technical Review Committee). Cy Stober indicated that the bulk of the discussion was about the density which has informed the setbacks and lot sizes, and that the setbacks for each respective home product was largely informed by the density that the developer wished to achieve.

Kurt Pearson asked if it would be correct to assume that that the lot layouts are a result of trying to get in a desired number of units. CY responded that was correct and the layouts/setbacks for an R-8 request or conversely an R-12 request would look different. Cy also noted that front setbacks came up in TRC, as it is a priority to prevent cars hanging out of driveways for public works, more so than any discussion over rear or side setbacks.

Kurt Pearson indicated that he does not have much concern over the density and was satisfied with the open space and buffers shown on the plans. He noted that TRC has done a good job considering the restrictions of the site.

Mr. Pearson made a motion to approve the R-8(CD) and R-10(CD) zoning as presented. The motion finds that the application is consistent with the objectives and goals in the City's 2017 Comprehensive Land Development Plan Mebane By Design as it:

- Provides a multi-use path along its Oakwood Street frontage, as required by the City's adopted Bicycle and Pedestrian Transportation Plan;
- Is for a property within the City's G-4 Secondary Growth Area and is generally residential in nature (Mebane CLP, p.66);
- Provides a greenway connection to a different land use, consistent with Open Space and Natural Resource Protection Goal 4.2 (p. 17 & 89);



- Provides a greenway and open space in a developing area, connecting to other locations, consistent with Open Space and Natural Resource Protection Goal 4.3 (p. 17, 89, & 90);

Lori Oakley seconded the motion. Per a roll call vote the motion passed (7-1). Chariman Tulauskas confirmed that the motion passed and will go before City Council at public hearing on April 5th. Larry Teague's rationale to vote against the request was concern for the number of waivers being requested.

5. New Business

Cy Stober provided an update on the Buckhorn Area Plan, noting that the Mebane City Council will participate in a joint work session with the Orange County Board of Commissioners on Tuesday, March 9th at 7 p.m. to discuss the plan.

Cy Stober announced that the City Council will also hold the first budget work session at the Arts and Community Center on March 23rd.

Cy Stober noted that at the April Planning Board meeting will include a rpesentation of the required UDO revisions.

Cy Stober also noted that the terms for 4 members of the planning board are soon to expire should they want to apply to be reappointed at the July City Council meeting.

6. Adjournment

There being no further business, the meeting was adjourned at 7:35 p.m.



AGENDA ITEM #4

RZ 21-03

Conditional Rezoning –
ABC - Mebane

Presenter

Ashley Ownbey, Planner

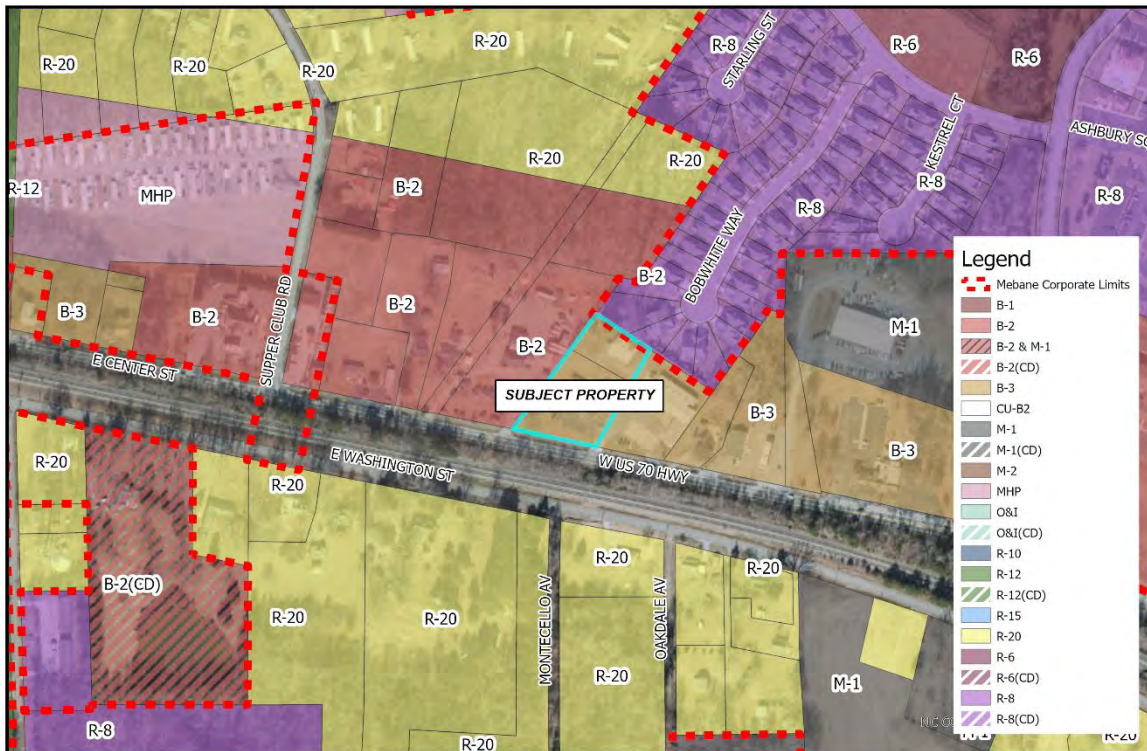
Applicant

Orange County Alcoholic Beverage Control Board
c/o Tony DuBois
601 Valley Forge Road
Hillsborough, NC 27278

Public Hearing

Yes No

Zoning Map



Property

7713 US 70 W
Orange County
GPIN
9825532037

Proposed Zoning

B-2(CD)

Current Zoning

B-3

Size

+/- 1.32 Acres

Surrounding Zoning

B-3, B-2, R-8,
R-20, M-1

Surrounding Land Uses

Commercial,
Residential

Utilities

Present

Floodplain

No

Watershed

No

City Limits

No



CITY OF MEBANE
ZONING MAP

SUBJECT PROPERTY
ABC - MEBANE

1 inch = 300 feet

DATE: 03/30/2021

DRAWN BY: AO

Summary

The Orange County Alcoholic Beverage Control Board, c/o Tony DuBois, is requesting a rezoning from B-3 (Neighborhood Business) to B-2(CD) (General Business, Conditional District) to allow for redevelopment, expansion, and improvement of an existing, nonconforming use.

Financial Impact

N/A, though development of the property will enhance its assessed tax value.

Recommendation

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval.

Requested waivers:

- The City's adopted plans recommend a 10' shared-use path along the property's road frontage, and the applicant is requesting to construct a 5' public sidewalk along the US 70 road frontage. A 14' public easement adjacent to the existing right-of-way will be provided if existing right-of-way cannot accommodate the proposed sidewalk.
- The UDO requires a parking stall length of 19', and the applicant is requesting a parking stall length of 18.5'.

The Technical Review Committee (TRC) has reviewed the site plan and the applicant has revised the plan to reflect the comments.

Suggested Motion

1. Motion to approve the B-2(CD) zoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. The request:
 - Is for a property within the City's G-1 Downtown Mixed-Use Primary Growth Area, which is intended to "...support this central business district containing a mix of stores, restaurants, old industrial, institutional and residential land uses ..." (Mebane CLP, p.72); and
 - Satisfies Growth Management Goal 1.1: "Encourage a variety of uses in growth strategy areas and in the downtown, promote/encourage a village concept that supports compact and walkable environments." (pp.17, 82)
 - Satisfies Growth Management Goal 1.6: "Require that commercial development be pedestrian-friendly, supporting walking between differing land uses while also reducing parking requirements." (pp.17, 84)

3. Motion to **deny** the B-2(CD) rezoning as presented due to a lack of
 - a. Harmony with the surrounding zoning

OR

 - b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design* or any of the City's other adopted plans.

Attachments

1. Zoning Amendment Application
2. Zoning Map
3. Site Plan
4. Planning Project Report
5. Technical Memorandum – City Engineering Review



APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: ABC of Orange County, NC attn: Tony DuBois

Address of Applicant: 601 Valley Forge Road, Hillsborough, NC 27278

Address and brief description of property to be rezoned: ABC Store of Mebane
7713 US-70, Mebane, NC 27302

Applicant's interest in property: (Owned, leased or otherwise) Owner

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes ___ Explain: _____ No X

Type of re-zoning requested: Conditional rezoning B-3 to B-2(CD)

Sketch attached: Yes X No _____

Reason for the requested re-zoning: Replacement of existing ABC store with new,
ABC store on same lot.

Allowed uses
proposed:

- ABC Store
(packaged liquor)
- All uses allowed
in B-3 zoning
district

Signed: Tony DuBois

Date: 3-25-2021

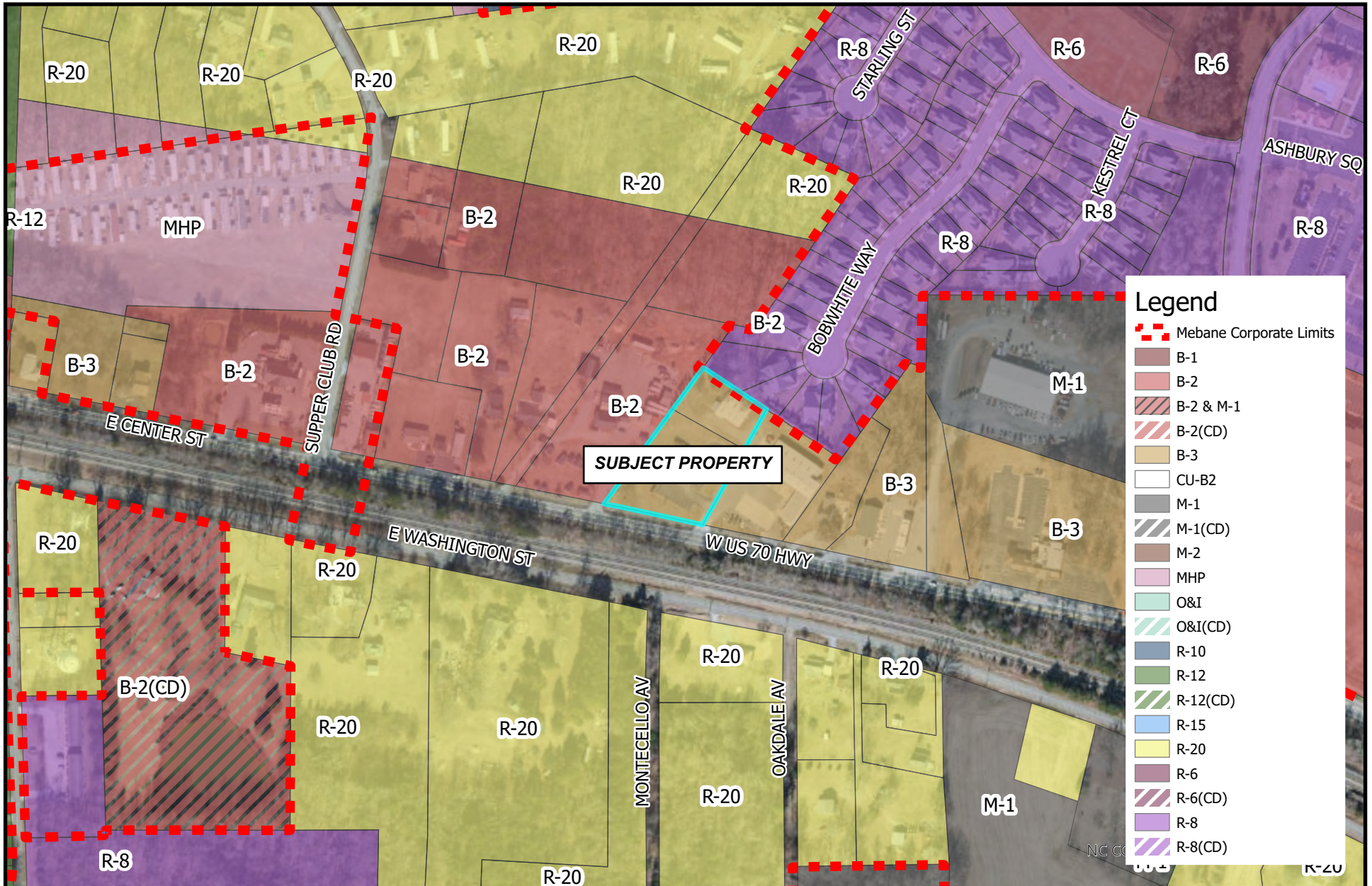
Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$200.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.



Legend

- Mebane Corporate Limits
- B-1
- B-2
- B-2 & M-1
- B-2(CD)
- B-3
- CU-B2
- M-1
- M-1(CD)
- M-2
- MHP
- O&I
- O&I(CD)
- R-10
- R-12
- R-12(CD)
- R-15
- R-20
- R-6
- R-6(CD)
- R-8
- R-8(CD)

SUBJECT PROPERTY



**CITY OF MEBANE
ZONING MAP**

**SUBJECT PROPERTY
ABC - MEBANE**

1 inch = 300 feet

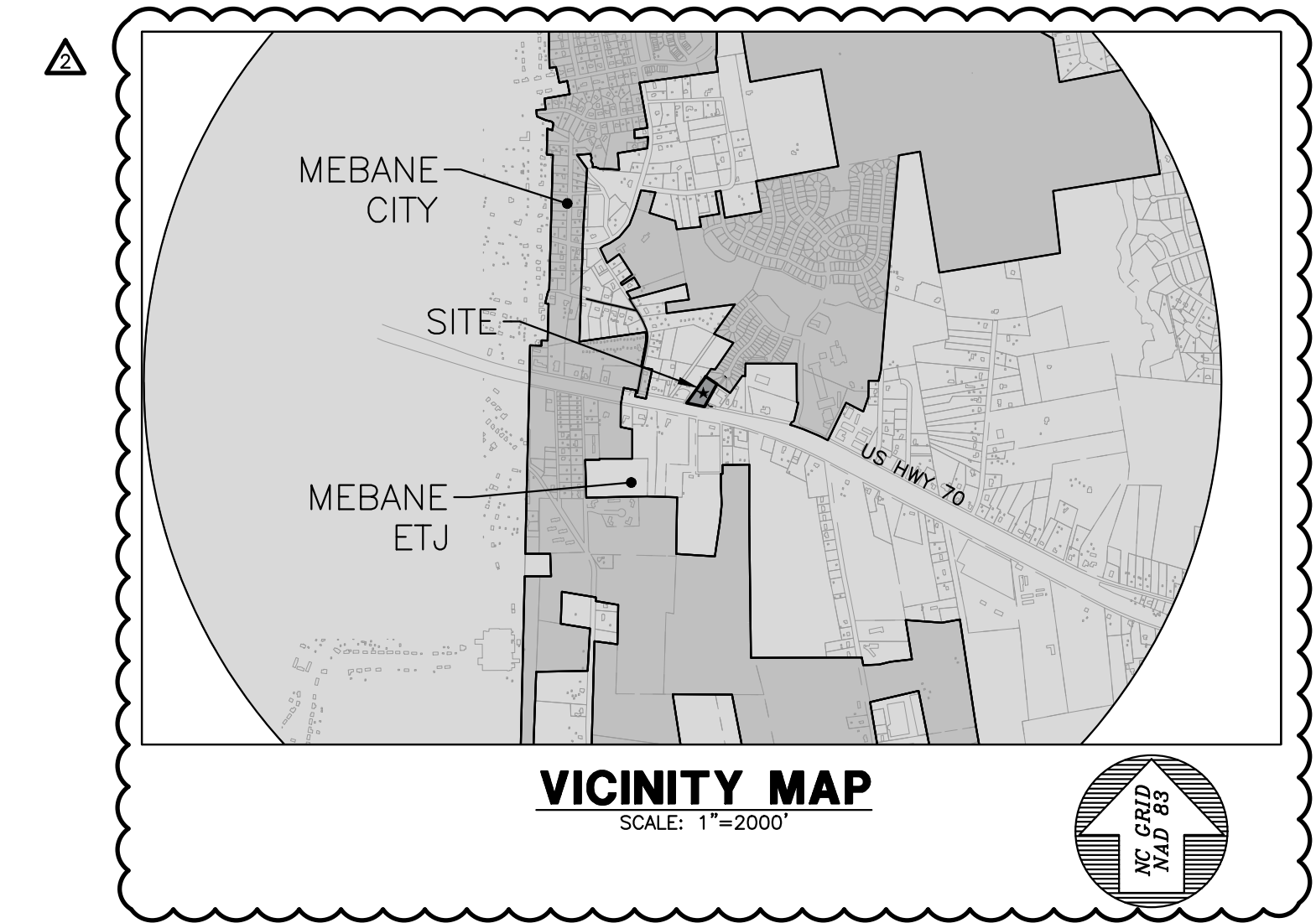
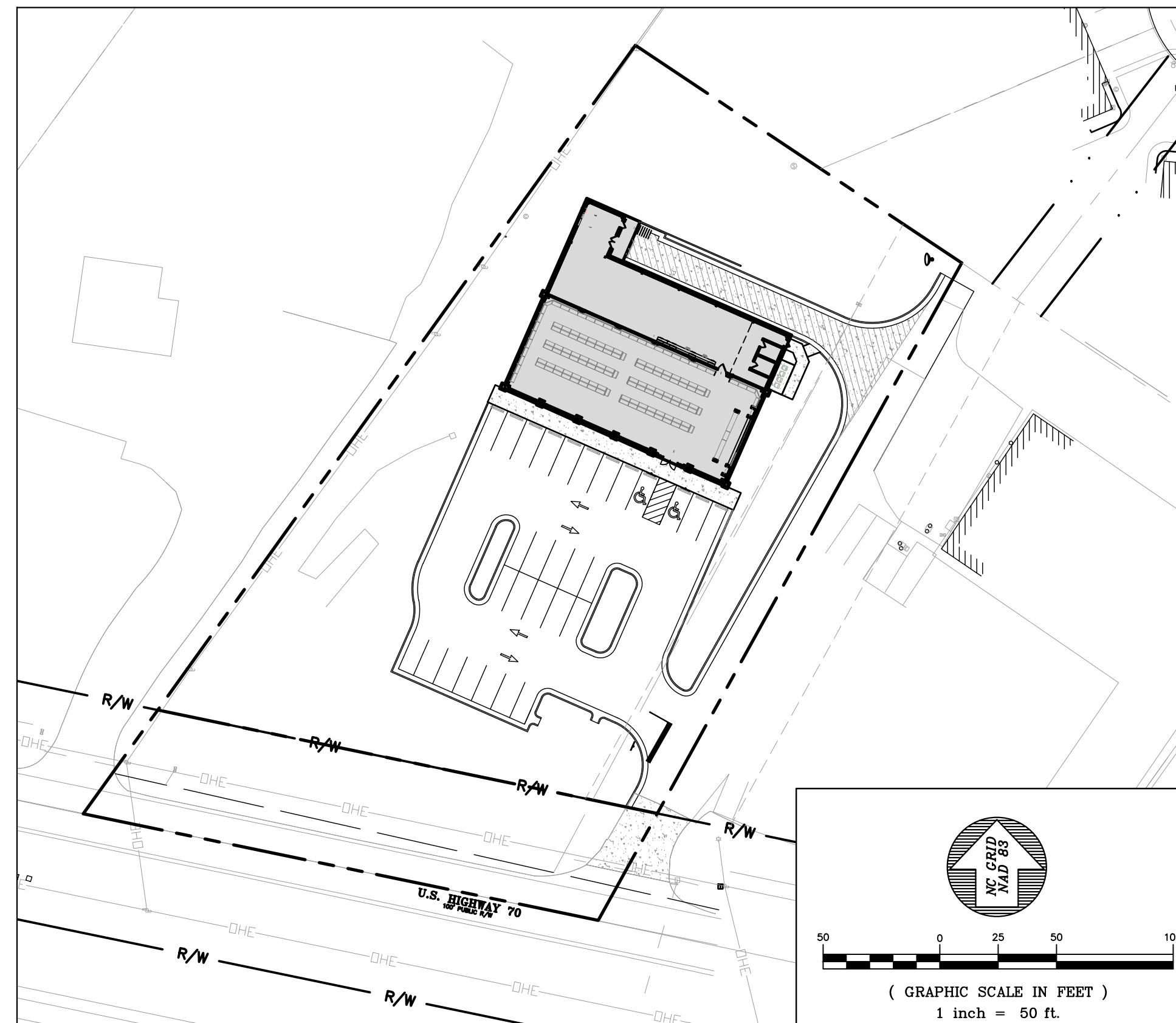
DATE: 03/30/2021

DRAWN BY: AO

PRELIMINARY SITE PLAN DRAWINGS

FOR ABC-MEBANE

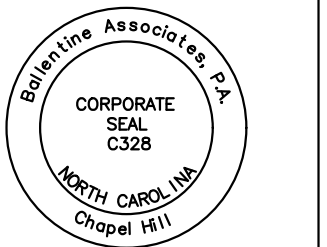
7713 US-70 W
MEBANE, NORTH CAROLINA



DRAWING LIST

SHEET	DRAWING TITLE	LATEST ISSUE DATE
G0001	COVER	02 APR 21
C0101	PRELIMINARY EXISTING CONDITIONS/DEMOLITION PLAN	02 APR 21
C1001	PRELIMINARY SITE PLAN	02 APR 21
C1101	PRELIMINARY UTILITY PLAN	02 APR 21
C1201	PRELIMINARY GRADING & DRAINAGE PLAN	02 APR 21
C1301	PRELIMINARY EROSION CONTROL PLAN	02 APR 21
C5001	PRELIMINARY SITE DETAILS	02 APR 21
L-100	LANDSCAPE PLAN & DETAILS	02 APR 21
A-101	FLOOR PLAN	02 APR 21
A-201	EXTERIOR ELEVATIONS	02 APR 21
A-701	PERSPECTIVES	02 APR 21

BALLENTINE ASSOCIATES, P.A.
1019 9th St. S.W., Chapel Hill, NC 27514
919.929.0481



NOT FOR CONSTRUCTION
029127
ENGINEER
GEORGE J. REYNOLDS

DATE	REVISIONS
03/25/21	MISC. PARKING REVISIONS
04/02/21	TRC REVIEW COMMENTS

OWNER INFORMATION
TONY DUBOIS
601 VALLEY FORGE ROAD
HILLSBOROUGH, NC 27278
OWNERS REPRESENTATIVE:
TONY DUBOIS
PH: (919) 732-3432
FAX: N/A
EMAIL: tdubois@tonygobc.com

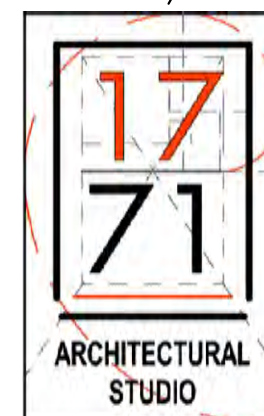
DATE	ISSUED
03/19/21	SITE PLAN TO MEBANE TRC
03/25/21	SITE PLAN TO MEBANE TRC
04/02/21	SITE PLAN TO MEBANE TRC

ABC-MEBANE
MEBANE, NORTH CAROLINA
SITE PLAN DRAWINGS

SITE PLANNING / CIVIL ENGINEERING:



MASTER PLANNING / ARCHITECTURE:



LANDSCAPE ARCHITECTURE / APPROVAL COORDINATION:

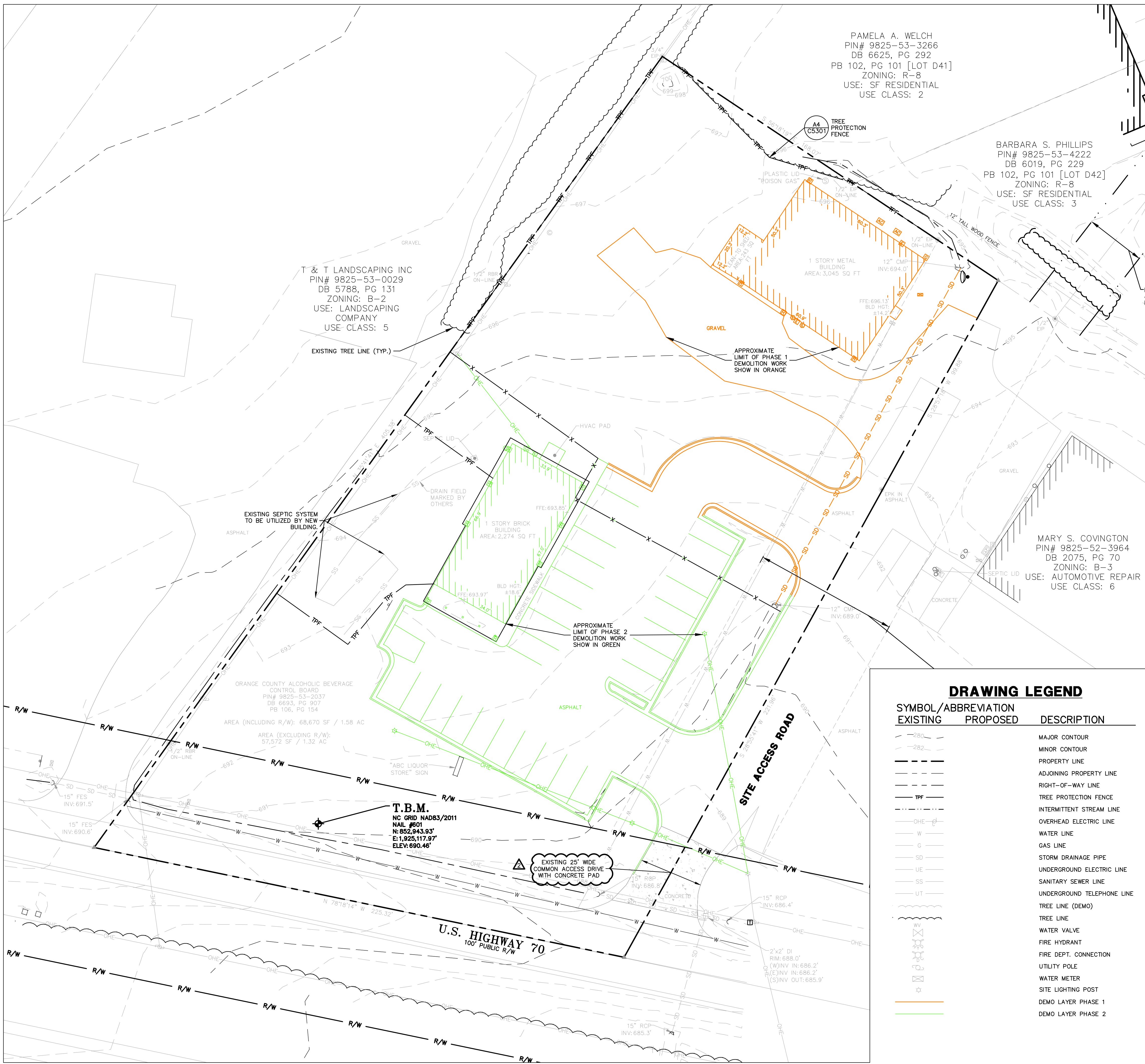


1149 EXECUTIVE CIRCLE
CARY, NC 27511
P:919.624.4468

**REVIEW DRAWING
NOT FOR CONSTRUCTION**

**SHEET
G0001**

JOB NUMBER: 120016.00
DATE: 11 MAR 21
SCALE: AS NOTED
DRAWN BY: SRH/AA
REVIEWED BY: GJR



PAMELA A. WELCH
 PIN# 9825-53-3266
 DB 6625, PG 292
 PB 102, PG 101 [LOT D41]
 ZONING: R-8
 USE: SF RESIDENTIAL
 USE CLASS: 2

BARBARA S. PHILLIPS
 PIN# 9825-53-4222
 DB 6019, PG 229
 PB 102, PG 101 [LOT D42]
 ZONING: R-8
 USE: SF RESIDENTIAL
 USE CLASS: 3

MARY S. COVINGTON
 PIN# 9825-52-3964
 DB 2075, PG 70
 ZONING: B-3
 USE: AUTOMOTIVE REPAIR
 USE CLASS: 6

T & T LANDSCAPING INC
 PIN# 9825-53-0029
 DB 5788, PG 131
 ZONING: B-2
 USE: LANDSCAPING
 COMPANY
 USE CLASS: 5

ORANGE COUNTY ALCOHOLIC BEVERAGE
 CONTROL BOARD
 PIN# 9825-53-2037
 DB 6693, PG 907
 FB 106, PG 154
 AREA (INCLUDING R/W): 68,670 SF / 1.58 AC
 AREA (EXCLUDING R/W): 57,572 SF / 1.32 AC

T.B.M.
 NC GRID NAD83/2011
 NAIL #601
 N: 855,943.93'
 E: 1,925,117.93'
 ELEV: 690.46'

EXISTING 25' WIDE
 COMMON ACCESS DRIVE
 WITH CONCRETE PAD

U.S. HIGHWAY 70
 100' PUBLIC R/W

DRAWING LEGEND		
SYMBOL/ABBREVIATION		
EXISTING	PROPOSED	DESCRIPTION
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	PROPERTY LINE
---	---	ADJOINING PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	TREE PROTECTION FENCE
---	---	INTERMITTENT STREAM LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	STORM DRAINAGE PIPE
---	---	UNDERGROUND ELECTRIC LINE
---	---	SANITARY SEWER LINE
---	---	UNDERGROUND TELEPHONE LINE
---	---	TREE LINE (DEMO)
---	---	TREE LINE
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	FIRE DEPT. CONNECTION
---	---	UTILITY POLE
---	---	WATER METER
---	---	SITE LIGHTING POST
---	---	DEMO LAYER PHASE 1
---	---	DEMO LAYER PHASE 2

- ### NOTES
- EXISTING CONDITIONS SHOWN ARE BASED UPON SITE SURVEYS PERFORMED BY BALLENTINE ASSOCIATES AND GIS INFORMATION FROM ORANGE COUNTY.
 - THE PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAPS 3710982500L.
 - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 - THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
 - ALL DEBRIS GENERATED BY DEMOLITION ACTIVITIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.

- ### DEMOLITION NOTES
- PRIOR TO DEMOLITION, THE CONTRACTOR SHALL VISIT THE SITE TO INSPECT ALL AREAS OF DEMOLITION TO OBSERVE ALL DEBRIS LOCATED ON SITE. ALL EXISTING TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE.
 - PRIOR TO DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF ASBESTOS REMEDIATION IS REQUIRED, AND IF SO, CONTRACTOR SHALL PROVIDE ASBESTOS REMEDIATION IN ACCORDANCE WITH FEDERAL, STATE & LOCAL REGULATIONS. ASBESTOS TESTING AND ANY SUBSEQUENT REMOVAL TO BE PERFORMED BY AN NC ACCREDITED ASBESTOS PROFESSIONAL. DEMOLITION NOTIFICATION MUST BE SUBMITTED TO THE HHCU OF THE NC DEPARTMENT OF HEALTH AND HUMAN SERVICES AND DIVISION OF PUBLIC HEALTH, EVEN IF NO ASBESTOS IS PRESENT. PROOF OF INSPECTION, NOTIFICATION AND ANY REMOVAL IS REQUIRED PRIOR TO ISSUANCE OF DEMOLITION PERMIT.
 - PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE CONTRACTOR SHALL COORDINATE AND HOLD A PRE-DEMOLITION / PRE-CONSTRUCTION CONFERENCE WITH:
 - CIVIL ENGINEER AND OWNER'S REPRESENTATIVE
 - ORANGE COUNTY SOLID WASTE STAFF: (919) 968-2788
 - ORANGE COUNTY EROSION CONTROL OFFICER: (919) 245-2587
 - OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS IN ASSOCIATION WITH THIS DEVELOPMENT IS PROHIBITED.
 - ANY EXISTING GAS, ELECTRIC, FIBER AND ANY OTHER UTILITIES SERVING THE PROPERTY SHALL BE FIELD LOCATED AND TERMINATED IN ACCORDANCE WITH STATE & LOCAL REGULATIONS, AND IN ACCORDANCE WITH THE RESPECTIVE PROVIDER'S STANDARDS & SPECIFICATIONS.
 - ABANDONMENT OF EXISTING WELLS: ANY WELLS ON THE SITE ARE TO BE LOCATED AND ABANDONED IN ACCORDANCE WITH THE LATEST ORANGE COUNTY HEALTH DEPARTMENT REQUIREMENTS BY A WELL CONTRACTOR PROPERLY LICENSED IN NC.
 - ABANDONMENT OF EXISTING SEPTIC TANKS: UNLESS OTHERWISE NOTED, ANY EXISTING SEPTIC TANKS ON THE SITE SHALL BE LOCATED AND ABANDONED PER ORANGE COUNTY HEALTH DEPARTMENT REQUIREMENTS BY A SEPTIC CONTRACTOR PROPERLY LICENSED IN NC. AFTER ABANDONMENT, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FROM ORANGE COUNTY VERIFYING THE NUMBER OF TANKS ABANDONED AND THAT THE TANKS WERE ABANDONED PROPERLY.
 - IN ALL AREAS WHERE IMPERVIOUS COVER IS SHOWN TO BE REMOVED AND RESTORED WITH PERVIOUS COVER, THE FOLLOWING STEPS SHALL BE TAKEN:
 - REMOVE ALL ASPHALT CONCRETE, BEDDING MATERIALS, GRAVEL, DEBRIS, BUILDING MATERIALS, ETC.
 - RIP AND AERATE TO A DEPTH OF 18 INCHES BELOW ORIGINAL GRADE, UNLESS WITHIN THE CRITICAL ROOT ZONE OF A TREE TO BE PRESERVED.
 - PLACE 4-6 INCHES OF TOPSOIL (TO FINISHED GRADE) AND INSTALL PLANTINGS AND/OR SEED DISTURBED AREA ACCORDING TO LANDSCAPE PLAN. DO NOT COMPACT TOPSOIL.

- ### CONSTRUCTION WASTE NOTES
- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
 - BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
 - BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
 - PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
 - THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

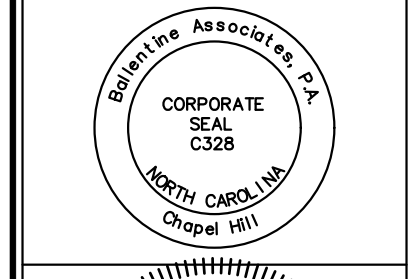
- ### LANDSCAPE PROTECTION NOTES
- PRIOR TO ANY LAND-DISTURBING ACTIVITY ON SITE, TREE PROTECTION FENCING MUST BE INSTALLED AND A PRE-CONSTRUCTION CONFERENCE HELD WITH THE ORANGE COUNTY EROSION CONTROL OFFICER (FOR APPROVAL OF TREE PROTECTION FENCING LOCATIONS). CONTACT PATRICK MALLETT AT 919-245-2577 FOR INSPECTION.
 - ANY TREE ROOTS EXPOSED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
 - THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES TO REMAIN WILL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING CONSTRUCTION.

PRELIMINARY EXISTING CONDITIONS & DEMOLITION PLAN

(GRAPHIC SCALE IN FEET)
 1 inch = 20 ft.

**REVIEW DRAWING
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BALLENTINE ASSOCIATES, P.A.
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 (919) 998-0044 FAX (919) 998-4780
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NOT FOR CONSTRUCTION
 GEORGE J. REBECK
 ENGINEER
 029127

DATE	REVISIONS
03/25/21	MISC. PARKING REVISIONS
04/02/21	TRC REVIEW COMMENTS

OWNER INFORMATION
 TONY DUBOIS
 601 VALLEY FORGE ROAD
 HILLSBOROUGH, NC 27278
OWNERS REPRESENTATIVE:
 TONY DUBOIS
 PH: (919) 732-3432
 FAX: N/A
 EMAIL: tony@orangebc.com

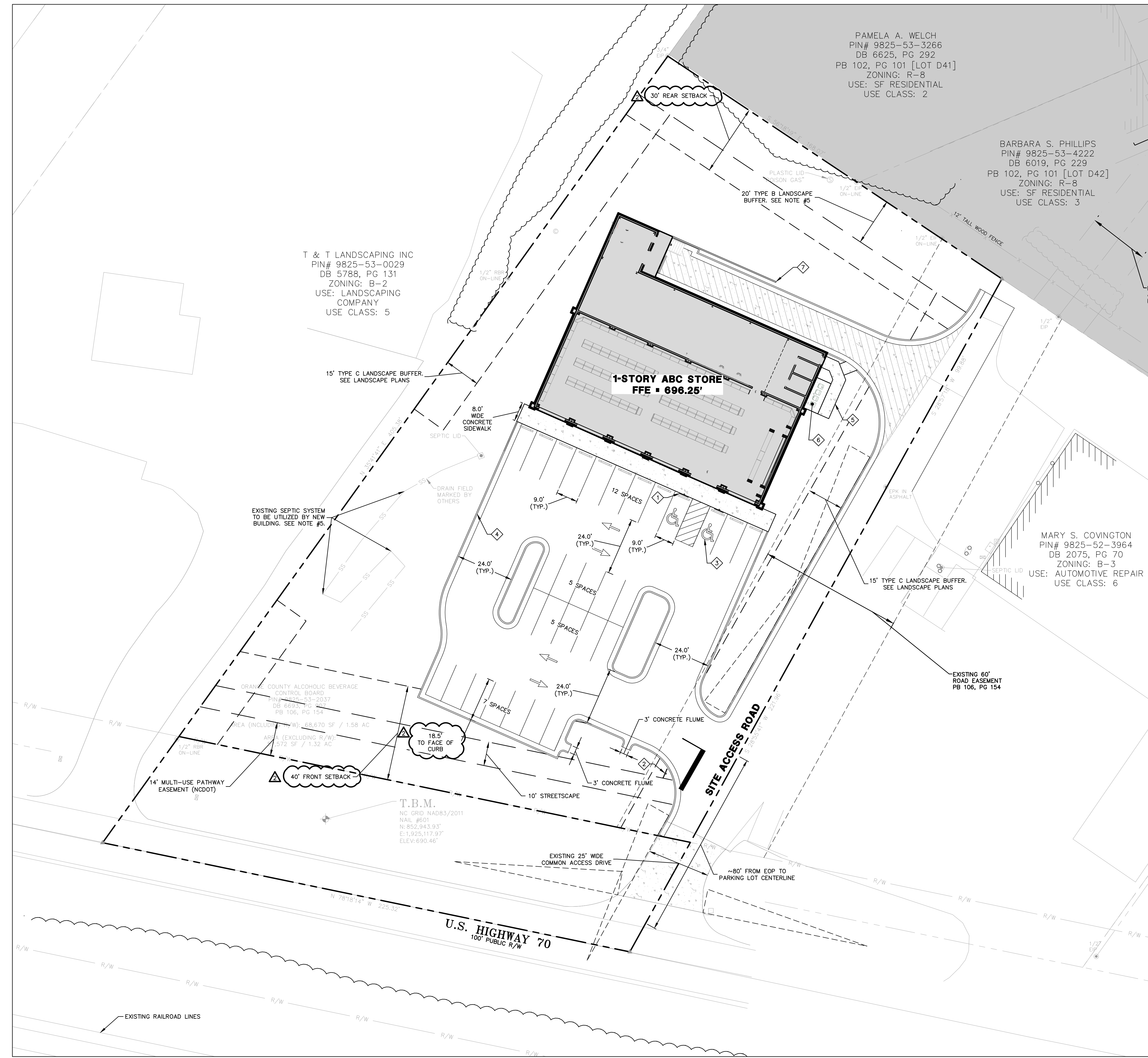
DATE	ISSUED
03/19/21	SITE PLAN TO MEBANE TRC
03/25/21	SITE PLAN TO MEBANE TRC
04/02/21	SITE PLAN TO MEBANE TRC

ABC-MEBANE
 MEBANE, NORTH CAROLINA

SITE PLAN DRAWINGS

JOB NUMBER: 120016.00
 DATE: 11 MAR 21
 SCALE: AS NOTED
 DRAWN BY: SRH/AA
 REVIEWED BY: GJR

**SHEET
 C0101**



- ### NOTES
- ALL WORK SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE CITY OF MEBANE UDO AND WITH CONDITIONS OF REZONING APPROVAL.
 - SITE ACCESS SHALL BE FROM A COMMON ACCESS DRIVE, WHICH CONNECTS TO US 70 AT AN EXISTING DRIVEWAY CONNECTION.
 - ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB.
 - ALL SIDEWALK IS 5' WIDE UNLESS OTHERWISE NOTED.
 - BUFFER CANNOT BE PLANTED IN AREA OF EXISTING SEPTIC SYSTEM.
 - LIGHTING PLAN WILL BE SUBMITTED WITH CONSTRUCTION DRAWINGS AND BE IN COMPLIANCE WITH SECTION 6-5 OF THE MEBANE UDO.

SITE DATA TABLE

PROJECT NAME:	ABC MEBANE
PROPERTY ADDRESS:	7713 US-70, MEBANE, NC 27302
CURRENT LAND OWNER:	TONY DUBOIS
PIN NUMBER:	9825 53 2037
DEED REFERENCE:	D.B. 6693, PG. 0907
CURRENT USE:	COMMERCIAL
PROPOSED USE:	COMMERCIAL
EXISTING ZONING:	B-3
PROPOSED ZONING:	B-2 (CD)
WATERSHED OVERLAY:	HAW CREEK UNPROTECTED AREA
TOTAL AREA OF TRACT:	1.576 AC. (68,669 SF) REDUCED: 1.322 AC. (57,572 SF)
LANDSCAPE BUFFERS:	SIDE BUFFER = 15 FT. REAR BUFFER = 20 FT.
BUILDING SETBACKS:	FRONT OF LOT = 40 FT. BACK OF LOT = 30 FT.
NEW BUILDING SF:	APPROXIMATELY 6,659 S.F. STORE: 4,319 S.F. WAREHOUSE: 2,340 S.F.
VEHICULAR PARKING SUMMARY:	REQUIRED: 22 SPACES PROVIDED: 29 SPACES** **INCLUDING ACCESSIBLE PARKING SPACES
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 2 SPACES PROVIDED: 2 SPACES
IMPERVIOUS COVER:	EXISTING: 31,139 SF PROPOSED: 30,917 SF NET REDUCTION: 222 SF

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
—O—	—O—	—O—	OVERHEAD ELECTRIC LINE
—SIG—	—SIG—	—SIG—	OVERHEAD TRAFFIC SIGNAL LINE
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	NC DOT R/W
---	---	---	SETBACK LINE
---	---	---	BUFFER LINE
---	---	---	TREE LINE
---	---	---	MEBANE CORPORATE LIMITS

- ### PLAN KEY NOTES
- A1 (C5001) HS-1 STANDARD ACCESSIBLE PARKING SIGN
 - B2 (C5001) STOP SIGN
 - C2 (C5001) HANDICAP PARKING SPACE STRIPING (TYP.)
 - A5 (C5001) 30" CONCRETE CURB AND GUTTER (TYP.)
 - B3 (C5001) 5' WIDE CONCRETE SIDEWALK (TYP. UNLESS OTHERWISE NOTED)
 - B3 (C5001) ROLL CART CONCRETE PAD & ENCLOSURE (SEE ARCH PLANS FOR ENCLOSURE DETAILS)
 - B3 (C5001) CAST-IN-PLACE RETAINING WALL

PAVING LEGEND

A3 (C5001)	STANDARD-DUTY ASPHALT
A3 (C5001)	HEAVY-DUTY CONCRETE

PRELIMINARY SITE PLAN

(GRAPHIC SCALE IN FEET)
1 inch = 20 ft.

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BALLENTINE ASSOCIATES, P.A.
CORPORATE SEAL
C328
SOUTH CAROLINA
Chapel Hill

NOT FOR CONSTRUCTION
ENGINEER
G. GEORGE J. REYNOLDS

DATE	REVISIONS
03/25/21	MISC. PARKING REVISIONS
04/02/21	TRC REVIEW COMMENTS

OWNER INFORMATION
TONY DUBOIS
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HILLSBOROUGH, NC 27278
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TONY DUBOIS
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FAX: N/A
EMAIL: tony@duboisinc.com

DATE	ISSUED
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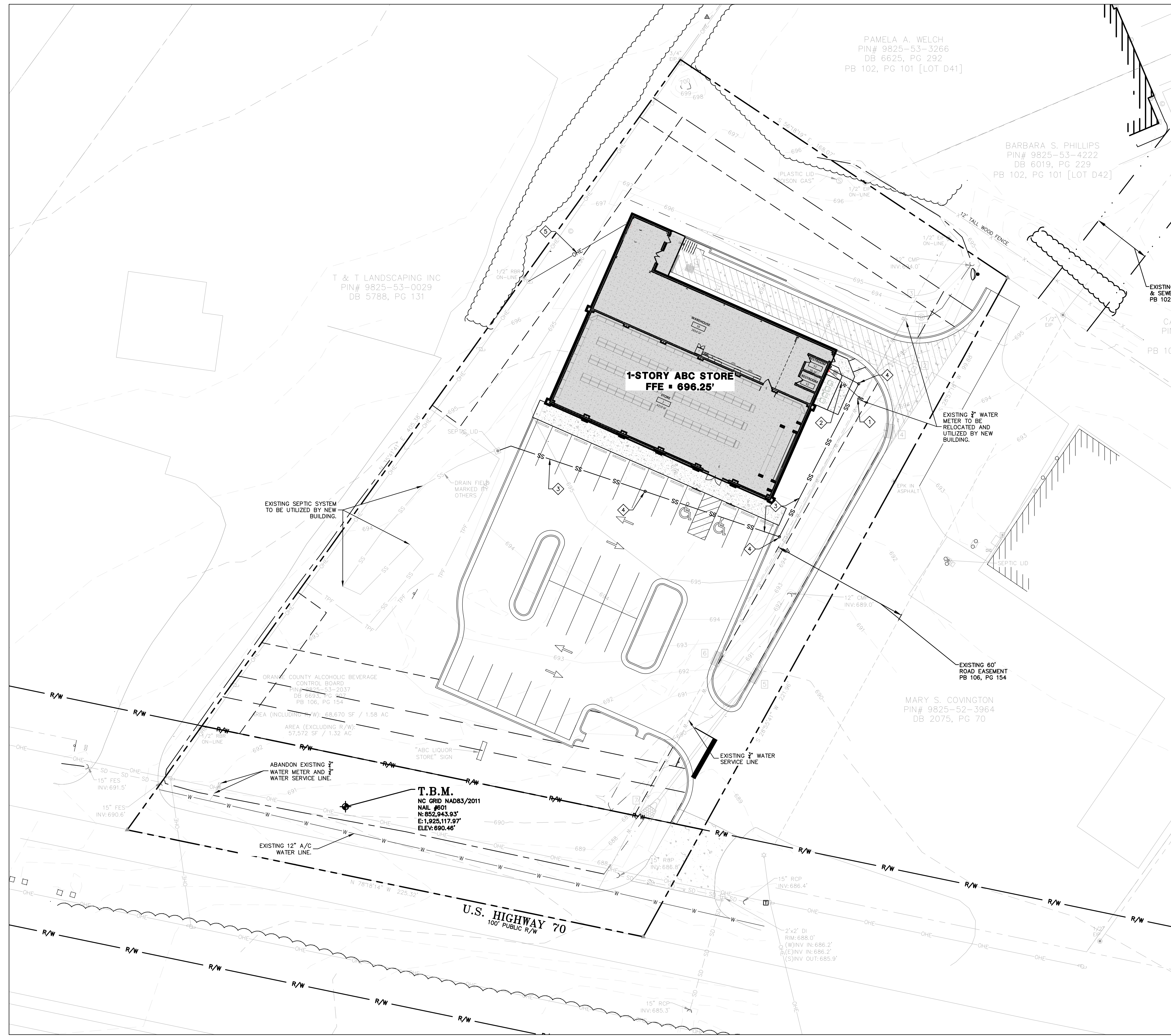
ABC-MEBANE
MEBANE, NORTH CAROLINA

SITE PLAN DRAWINGS

JOB NUMBER: 120016.00
DATE: 11 MAR 21
SCALE: AS NOTED
DRAWN BY: SRH/AA
REVIEWED BY: GJR

SHEET C1001

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- ### UTILITY NOTES
- THE PROPOSED BUILDING WILL UTILIZE THE EXISTING SEPTIC SYSTEM, PERMIT NUMBER XS20-0453.
 - WATER SERVICES SHOWN ARE PRELIMINARY. SIZING TO BE FINALIZED WITH CONSTRUCTION DRAWINGS.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH OAW'S STANDARDS AND SPECIFICATIONS, TOWN OF MEBANE DESIGN GUIDELINES, AND OTHER APPLICABLE UTILITY PROVIDER STANDARDS AND SPECIFICATIONS.
 - ALL NEW UTILITY LINES SHALL BE PLACED UNDERGROUND.
 - THE LOCATION OF THE EXISTING UTILITIES SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION (PRIVATE AND PUBLIC) AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 - WATER (OAW'S):
 - CONTACT: FAYE METCALF - (919) 563-6212
 - MINIMUM UTILITY VERTICAL SEPARATION DISTANCES:
 - SANITARY SEWER MAINS AND STORM SEWER - 24"
 - SANITARY SEWER MAINS AND WATER - 18"
 - STORM SEWER AND WATER - 18"
 - ALL SANITARY SEWER SERVICE LINE SHALL BE SCH. 40 PVC.
 - OTHER UTILITY PROVIDER CONTACTS:
 - DUKE ENERGY: SHANE SMITH - (919) 678-3385
 - PSNC ENERGY: BRIAN SMITH - (919) 598-7454
 - SPECTRUM: GEORGE STOTLER - (919) 427-5506
 - AT&T: GRANT SMITH - (919) 788-2768

DRAWING LEGEND

EXISTING	PROPOSED	DESCRIPTION
		WATER METER VAULT
		WATER LINE
		GAS LINE
		SANITARY SEWER LINE
		TELECOMMUNICATIONS LINE
		OVERHEAD ELECTRIC LINE
		UNDERGROUND ELECTRIC LINE
		STORM DRAIN PIPE/STRUCTURE
		SEWER CLEANOUT

- ### PLAN KEY NOTES
- 3/4" DOMESTIC WATER METER
 - 3/4" DOMESTIC WATER WATER SERVICE
 - 4" SCH. 40 PVC SANITARY SEWER SERVICE LINE
 - SANITARY SEWER CLEANOUT (TYP.)
 - OVERHEAD ELECTRIC

DATE	ISSUED	REVISIONS
03/25/21	SITE PLAN TO MEBANE TRC	MISC. PARKING REVISIONS
03/25/21	SITE PLAN TO MEBANE TRC	TRC REVIEW COMMENTS
04/02/21	SITE PLAN TO MEBANE TRC	

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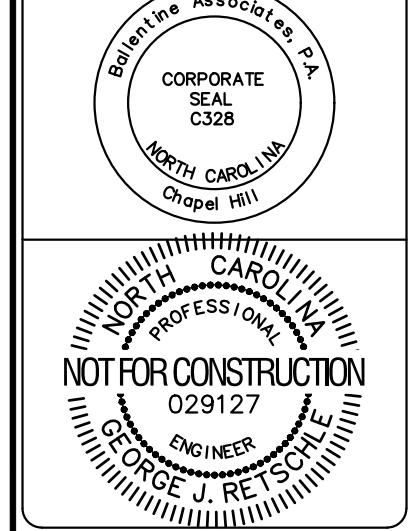
PRELIMINARY UTILITY PLAN

(GRAPHIC SCALE IN FEET)
 1 inch = 20 ft.

REVIEW DRAWING NOT FOR CONSTRUCTION

JOB NUMBER: 120016.00
 DATE: 11 MAR 21
 SCALE: AS NOTED
 DRAWN BY: SRH/AA
 REVIEWED BY: GJR

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DATE	REVISIONS
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04/02/21	TRC REVIEW COMMENTS

DATE	ISSUED
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03/25/21	SITE PLAN TO MEBANE TRC
04/02/21	SITE PLAN TO MEBANE TRC

ABC-MEBANE
 MEBANE, NORTH CAROLINA

SITE PLAN DRAWINGS

SHEET C1101

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STORMWATER MANAGEMENT NOTES

1. THIS PROJECT WILL MEET THE CITY OF MEBANE'S STORMWATER MANAGEMENT REQUIREMENTS BY REDUCING THE TOTAL AMOUNT OF IMPERVIOUS COVER ON THE SITE.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE NCEM, NCDOT AND TOWN OF MEBANE STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949). LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. ALL STORM DRAINAGE PIPING WITH INSIDE DIAMETER OF 15 INCHES AND LARGER SHALL BE CLASS III RCP.
5. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
6. ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE LONGITUDINAL SLOPE DOES NOT EXCEED 5% AND THE CROSS-SLOPE DOES NOT EXCEED 2%. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
7. NO PART OF ANY ACCESSIBLE PARKING SPACE OR ADJACENT ACCESSIBLE AISLE SHALL SLOPE GREATER THAN 2% IN ANY DIRECTION. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
8. THESE NOTES APPLY TO ALL GRADING AND DRAINAGE SHEETS.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
			CATCH BASIN / CURB INLET
			DROP INLET
			STORM DRAINAGE MANHOLE
			OVERHEAD ELECTRIC
			RAISED TOP YARD INLET
			STORM DRAINAGE LINE
			MINOR CONTOUR
			MAJOR CONTOUR
			SPOT ELEVATION
			TOP OF CURB
			BOTTOM OF CURB
			RIPRAP APRON
			FLARED END SECTION
			DITCH CENTER LINE
			STREAM BUFFER
			LIMITS OF DISTURBANCE
			TREE LINE
			TREE PROTECTION

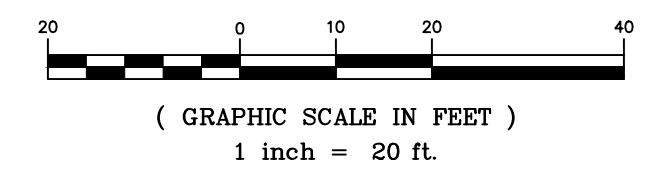
PIPE TABLE

US STR	DS STR	DIAMETER (IN)	MATERIAL	US INV. ELEV. (FT)	DS INV. ELEV. (FT)	LENGTH (FT)	SLOPE (FT/FT)
1	2	15	RCP	690.75	689.90	105	0.0081
2	4	15	RCP	689.70	689.40	29	0.0105
3	2	15	RCP	690.10	689.90	22	0.0092
4	5	15	RCP	689.20	688.20	119	0.0084
5	7	15	RCP	688.00	687.50	67	0.0075
6	5	15	RCP	689.00	688.40	16	0.0367

STRUCTURE TABLE

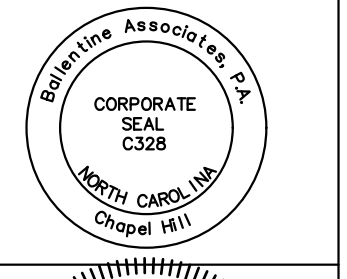
STR. ID	RIM ELEV. (FT)	STRUCTURE TYPE
1	692.69	DI
2	692.24	JB
3	693.00	RTM
4	693.50	CB
5	692.00	CB
6	692.40	CB
7	689.44	FES

PRELIMINARY GRADING & DRAINAGE PLAN



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 CHAPEL HILL, NC 27514
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 029127
 ENGINEER
 GEORGE J. REYNOLDS

DATE	REVISIONS
03/19/21	MISC. PARKING REVISIONS
04/02/21	TRC REVIEW COMMENTS

OWNER INFORMATION
 TONY DUBOIS
 601 VALLEY FORGE ROAD
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OWNERS REPRESENTATIVE:
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 EMAIL: tony@duboisnc.com

DATE	ISSUED
03/19/21	SITE PLAN TO MEBANE TRC
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ABC-MEBANE
 MEBANE, NORTH CAROLINA

SITE PLAN DRAWINGS

JOB NUMBER: 120016.00
 DATE: 11 MAR 21
 SCALE: AS NOTED
 DRAWN BY: SRH/AA
 REVIEWED BY: GJR

SHEET C1201

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PAMELA A. WELCH
 PIN# 9825-53-3266
 DB 6625, PG 292
 PB 102, PG 101 [LOT D41]

BARBARA S. PHILLIPS
 PIN# 9825-53-4222
 DB 6019, PG 229
 PB 102, PG 101 [LOT D42]

T & T LANDSCAPING INC
 PIN# 9825-53-0029
 DB 5788, PG 131

ORANGE COUNTY ALCOHOLIC BEVERAGE
 CONTROL BOARD
 PIN# 9825-53-2037
 DB 6693, PG 907
 PB 106, PG 154
 AREA (INCLUDING R/W): 68,670 SF / 1.58 AC
 AREA (EXCLUDING R/W):
 57,572 SF / 1.32 AC

MARY S. COVINGTON
 PIN# 9825-52-3964
 DB 2075, PG 70

EROSION CONTROL NOTES

1. PRELIMINARY EROSION CONTROL PLAN SHOWN. FINAL EROSION CONTROL PLAN TO BE SUBMITTED WITH CONSTRUCTION DRAWINGS.

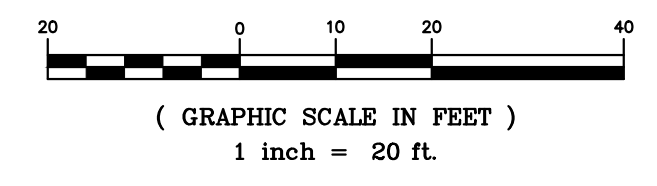
DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
-570-	-570-	-570-	MAJOR CONTOUR
-572-	-572-	-572-	MINOR CONTOUR
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	FENCE LINE
X	X	X	OVERHEAD ELECTRIC LINE
W	W	W	WATER LINE
SS	SS	SS	SANITARY SEWER LINE
SD	SD	SD	STORM SEWER LINE/STRUCTURE
G	G	G	GAS LINE
TC	TC	TC	TELECOMMUNICATIONS LINE
TOB	TOB	TOB	TOP OF BANK
---	---	---	LIMITS OF DISTURBANCE
---	---	---	TEMPORARY SILT FENCE OUTLET
SF	SF	SF	TEMPORARY SILT FENCE
TPF	TPF	TPF	TEMPORARY TREE PROTECTION FENCE
X	X	X	TEMPORARY CONSTRUCTION FENCE
---	---	---	TEMPORARY CONSTRUCTION ENTRANCE
---	---	---	TREELINE

PLAN KEY NOTES

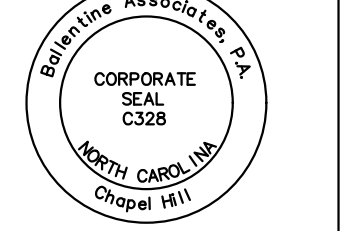
- | DETAIL REFERENCE | # | PLAN KEY NOTES |
|------------------|---|--|
| A5
C5301 | 1 | TEMPORARY SILT FENCE (TYP.) |
| C5
C5301 | 2 | TEMPORARY SILT FENCE STONE OUTLET (TYP.) |
| A3
C5301 | 3 | TEMPORARY TREE PROTECTION FENCE (TYP.) |
| C2
C5301 | 4 | TEMPORARY STOCKPILE AREA |
| A2
C5301 | 5 | CONCRETE WASHOUT AREA |
| C3
C5301 | 6 | TEMPORARY CONSTRUCTION ENTRANCE |

PRELIMINARY EROSION CONTROL PLAN



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 029127
 GEORGE J. REYNOLDS
 ENGINEER

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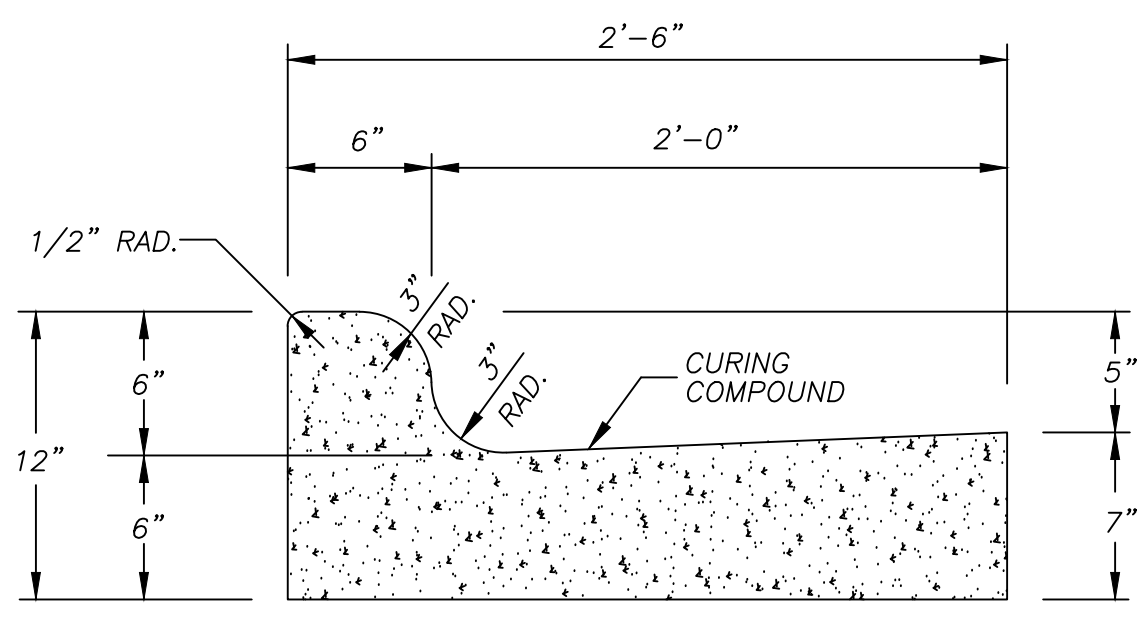
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ABC-MEBANE
 MEBANE, NORTH CAROLINA
SITE PLAN DRAWINGS

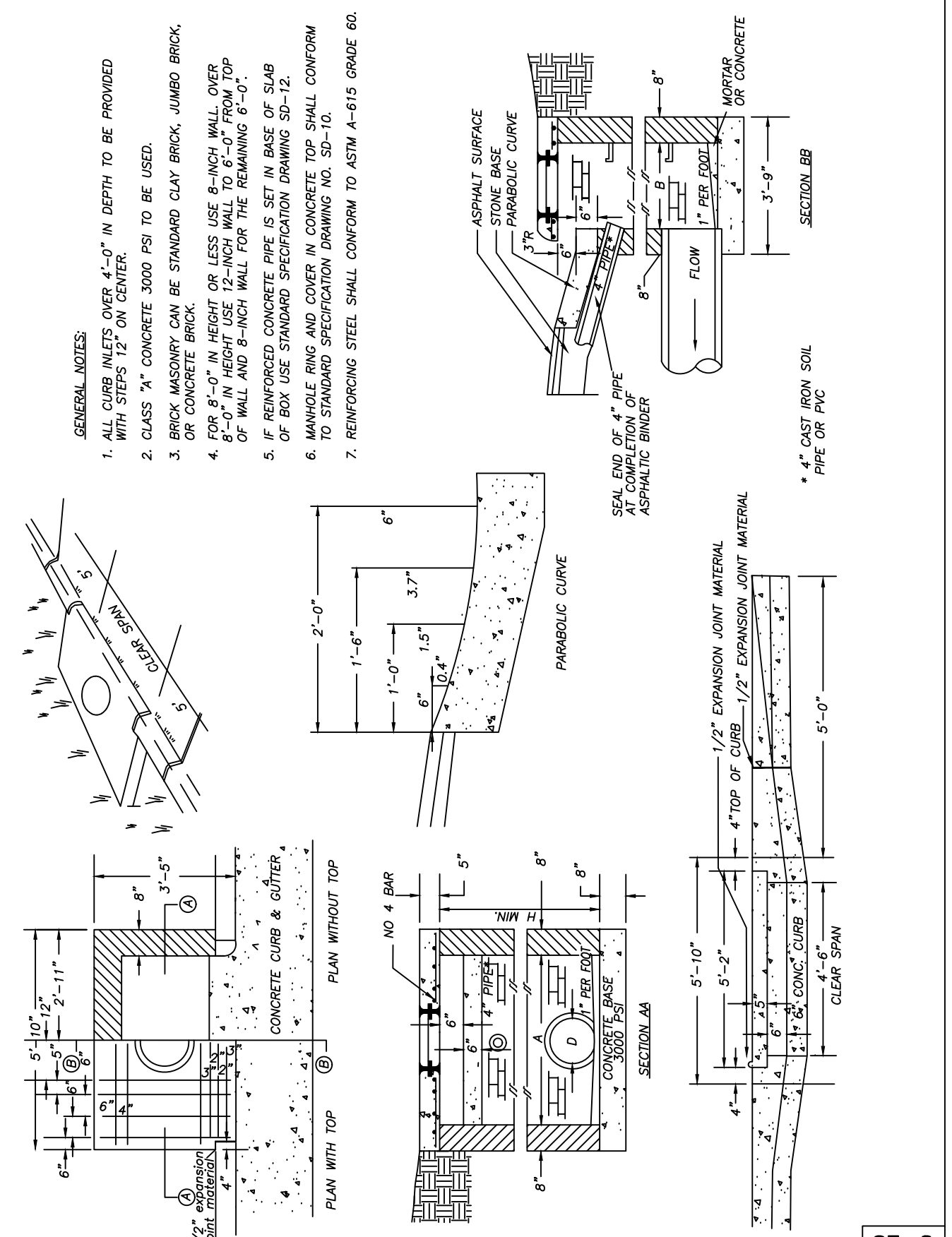
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 REVIEWED BY: GJR

**SHEET
 C1301**

N:\Projects\120016.00 ABC-Mebane\1_Dwg\Baldwin\Final\C1301-Erosion-ABC-Mebane.dwg, 4/2/2021, 12:25:59 PM, shaman



- NOTES:**
- 3,000 PSI CONCRETE CURB.
 - EXPANSION JOINT EVERY 90' AND CONTRACTION JOINT EVERY 10'.
 - PROVIDE SEALANT OVER EXPANSION JOINTS AS PER NCDOT STANDARD SPECIFICATIONS.

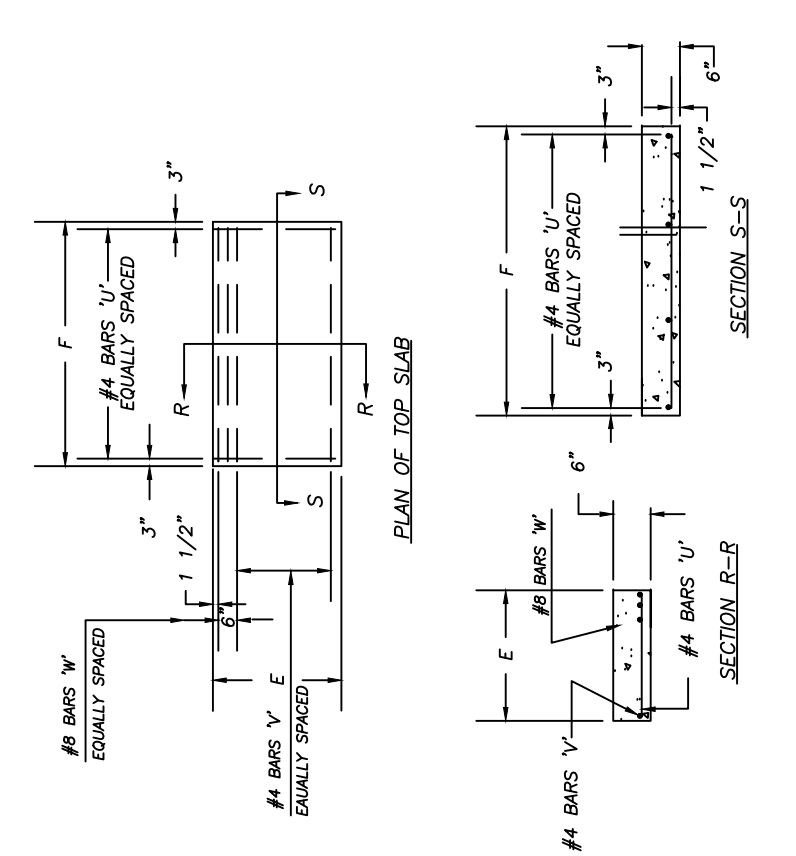


CITY OF MEBANE STANDARD

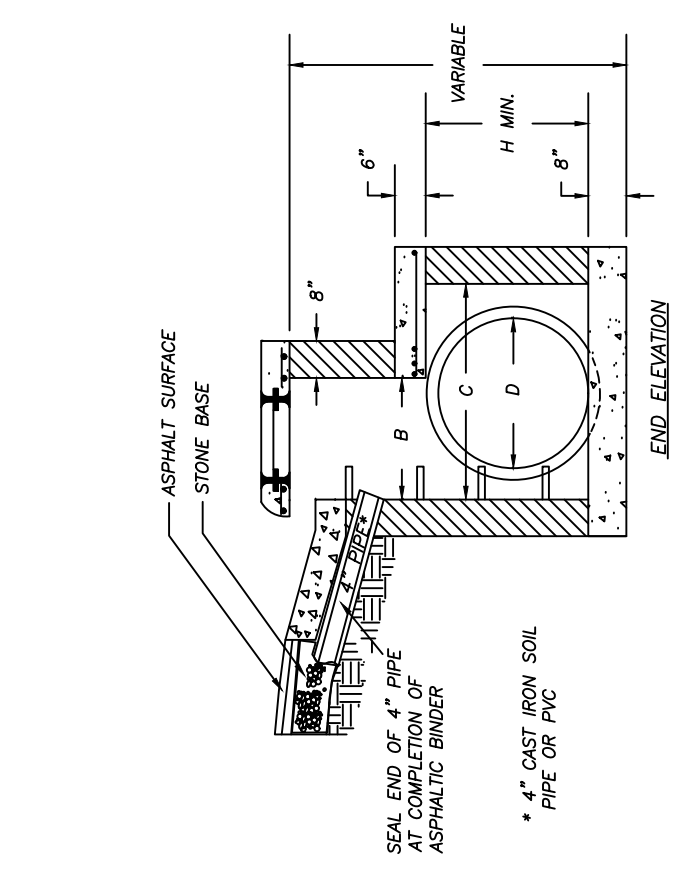
30" STANDARD CURB
SCALE: N.T.S. DATE: 2/3/2020 DRAWN BY: WDF

CITY OF MEBANE STANDARD

CURB INLET DETAILS
SCALE: N.T.S. DATE: 2/3/2020 DRAWN BY: WDF



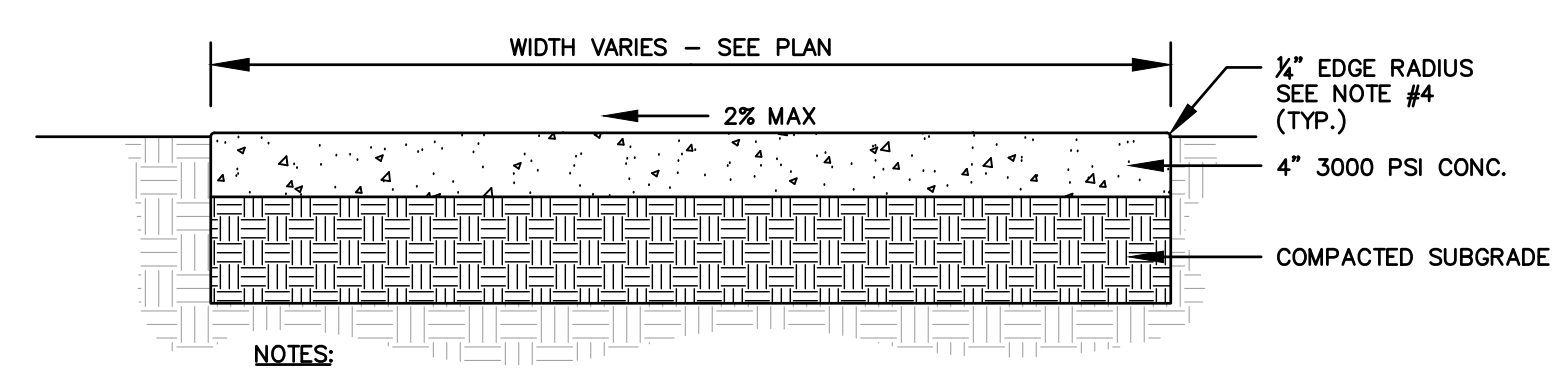
MINIMUM DIMENSIONS FOR BRICK CURB INLET		REINFORCING	
PIPE DIAMETER	SLAB DIMENSION	BARS U	BARS W
12"	12" x 12"	3	3
15"	15" x 15"	3	3
18"	18" x 18"	3	3
24"	24" x 24"	3	3
30"	30" x 30"	3	3
36"	36" x 36"	3	3
42"	42" x 42"	3	3
48"	48" x 48"	3	3
54"	54" x 54"	3	3



CITY OF MEBANE STANDARD

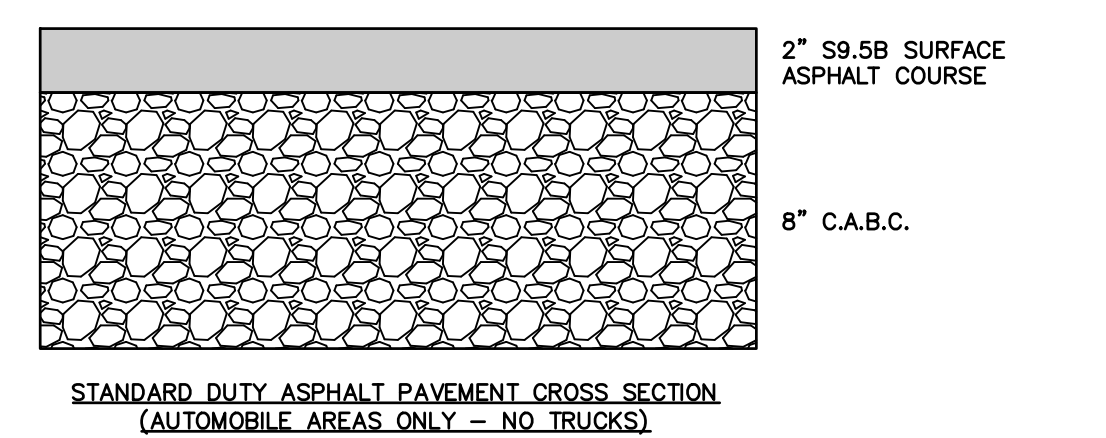
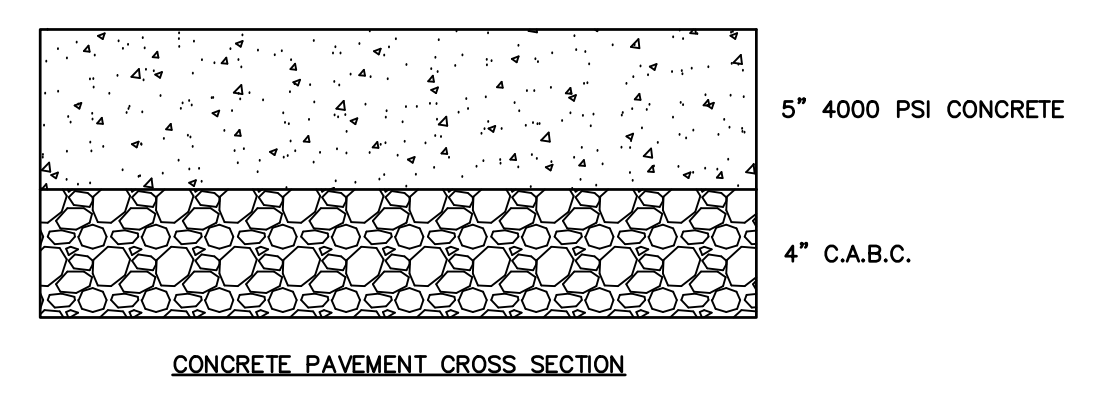
CURB INLET DETAILS
SCALE: N.T.S. DATE: 2/3/2020 DRAWN BY: WDF

A5 NCDOT CONCRETE CURB & GUTTER
C5001 SCALE: N.T.S.



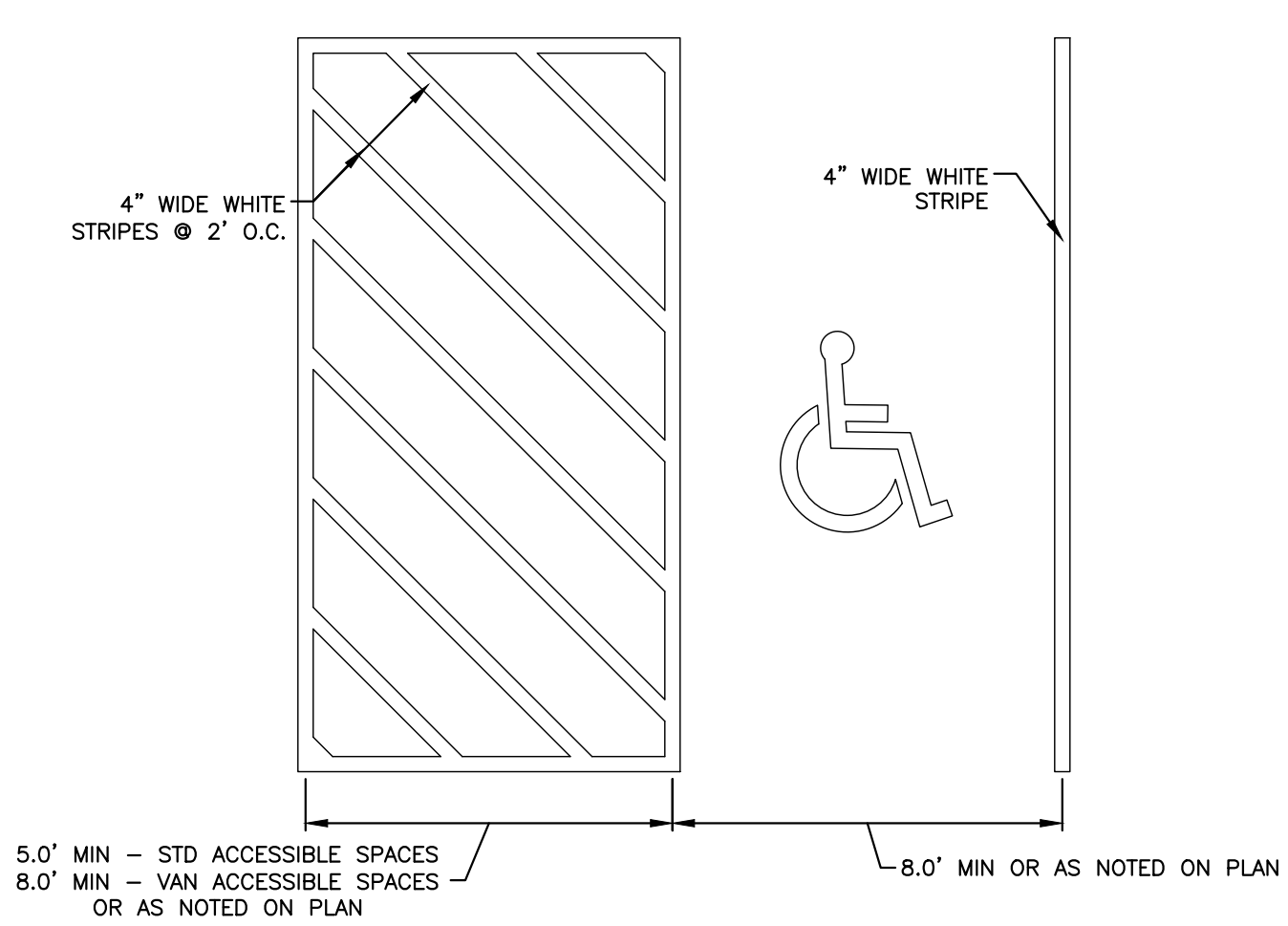
- NOTES:**
- ALL CONCRETE MIN. 3000 PSI.
 - EXPANSION JOINTS 50' APART MAX.
 - CONTROL JOINT EVERY 5 FEET.
 - ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/2" EDGE RADIUS.

B3 CONCRETE SIDEWALK
C5001 SCALE: N.T.S.

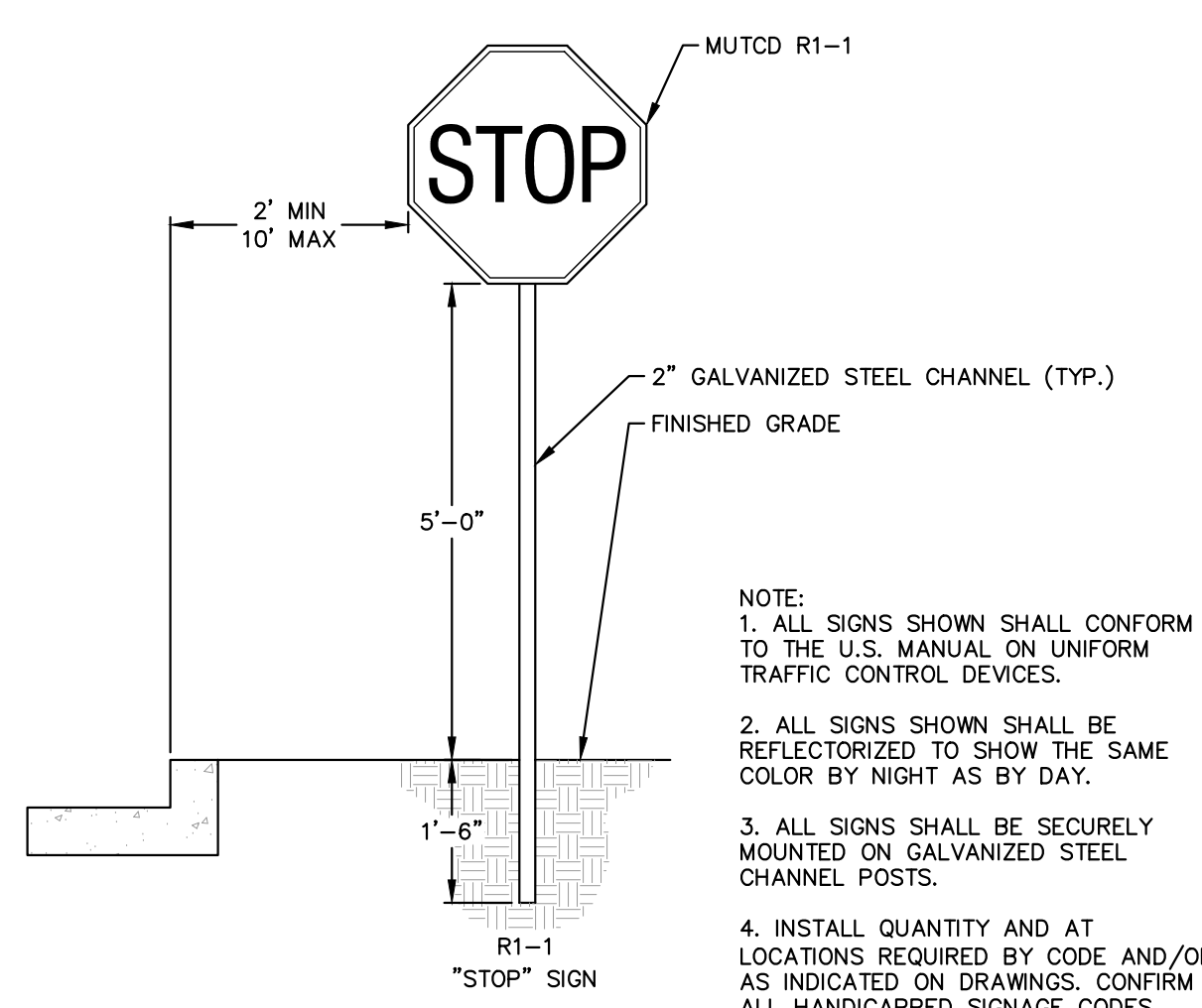


- NOTES:** ASPHALT PAVEMENT SECTIONS AND ARE BASED UPON RECOMMENDATIONS PROVIDED IN A SUBSURFACE INVESTIGATION AND REPORT PROVIDED BY GEOTECHNOLOGIES, INC., DATED 2 DEC 2020

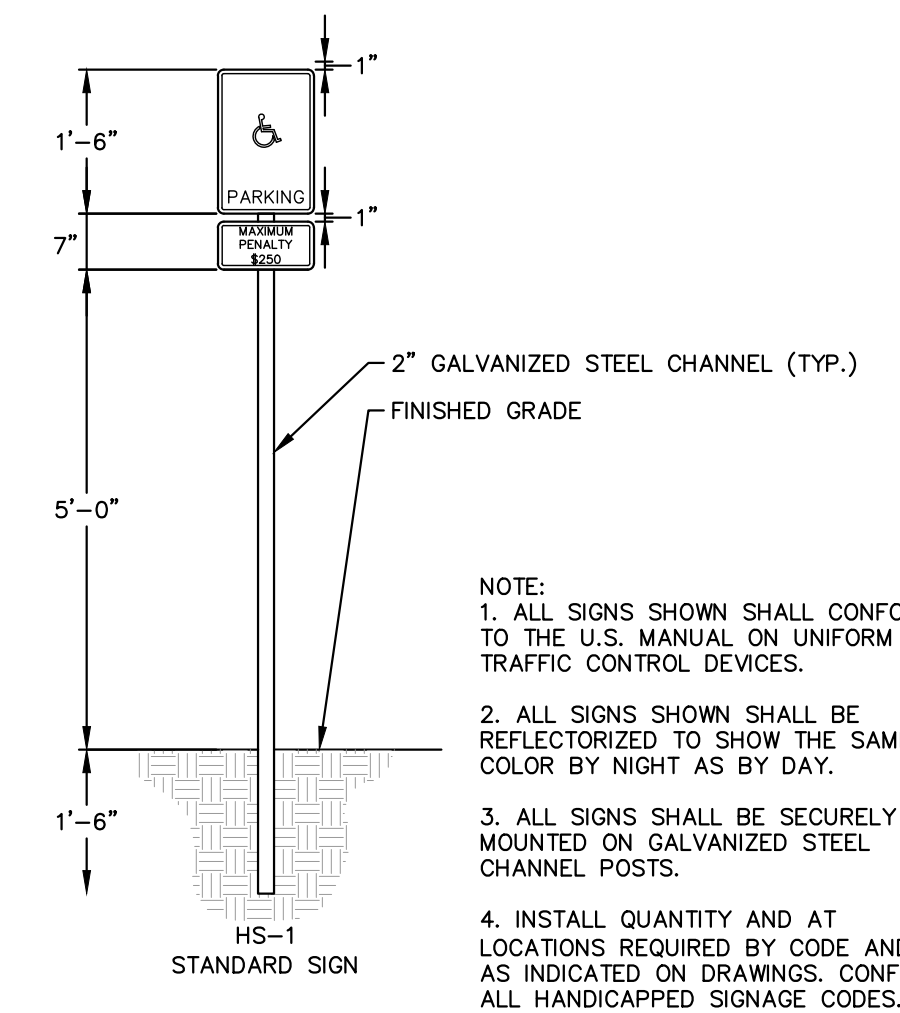
A3 PAVEMENT SECTIONS
C5001 SCALE: N.T.S.



C2 HANDICAP PARKING SPACE STRIPING
C5001 SCALE: N.T.S.



B2 STOP SIGN
C5001 SCALE: N.T.S.



A2 HANDICAP SIGN
C5001 SCALE: N.T.S.

PRELIMINARY SITE DETAILS
REVIEW DRAWING
NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
CORPORATE SEA 0328
SHERIDAN ASSOCIATES, P.A.
CORPORATE SEA 0328

NOT FOR CONSTRUCTION
029127
ENGINEER
GEOFFREY J. REYNOLDS

DATE	REVISIONS
03/25/21	MISC. PARKING REVISIONS
04/02/21	TRC REVIEW COMMENTS

OWNER INFORMATION
TONY DUBOIS
601 VALLEY FORGE ROAD
HILLSBOROUGH, NC 27278
OWNER'S REPRESENTATIVE:
TONY DUBOIS
PH: (919) 732-3432
FAX: N/A
EMAIL: tony@duboisinc.com

DATE	ISSUED
03/19/21	SITE PLAN TO MEBANE TRC
03/25/21	SITE PLAN TO MEBANE TRC
04/02/21	SITE PLAN TO MEBANE TRC

ABC-MEBANE
MEBANE, NORTH CAROLINA
SITE PLAN DRAWINGS

JOB NUMBER: 120016.00
DATE: 11 MAR 21
SCALE: AS NOTED
DRAWN BY: SRH/AA
REVIEWED BY: GJR

SHEET
C5001

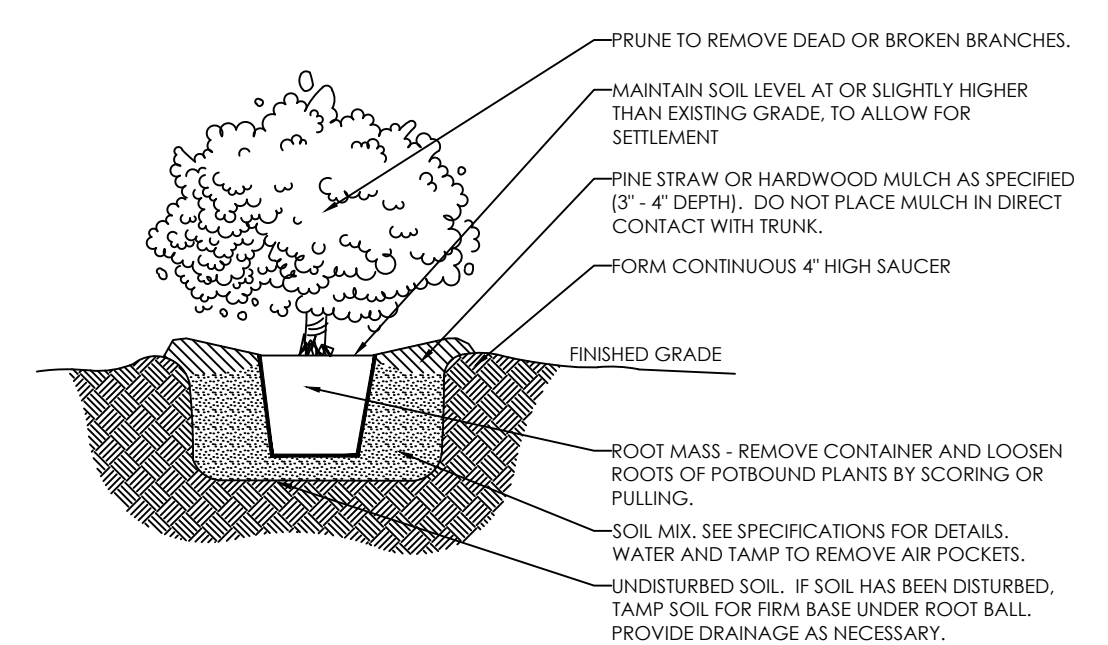
BARBARA S
PIN# 9825-
DB 6019,
PB 102, PG 11

T & T LANDSCAPING INC
PIN# 9825-53-0029
DB 5788, PG 131

1-STORY ABC STORE
FFE = 696.25'

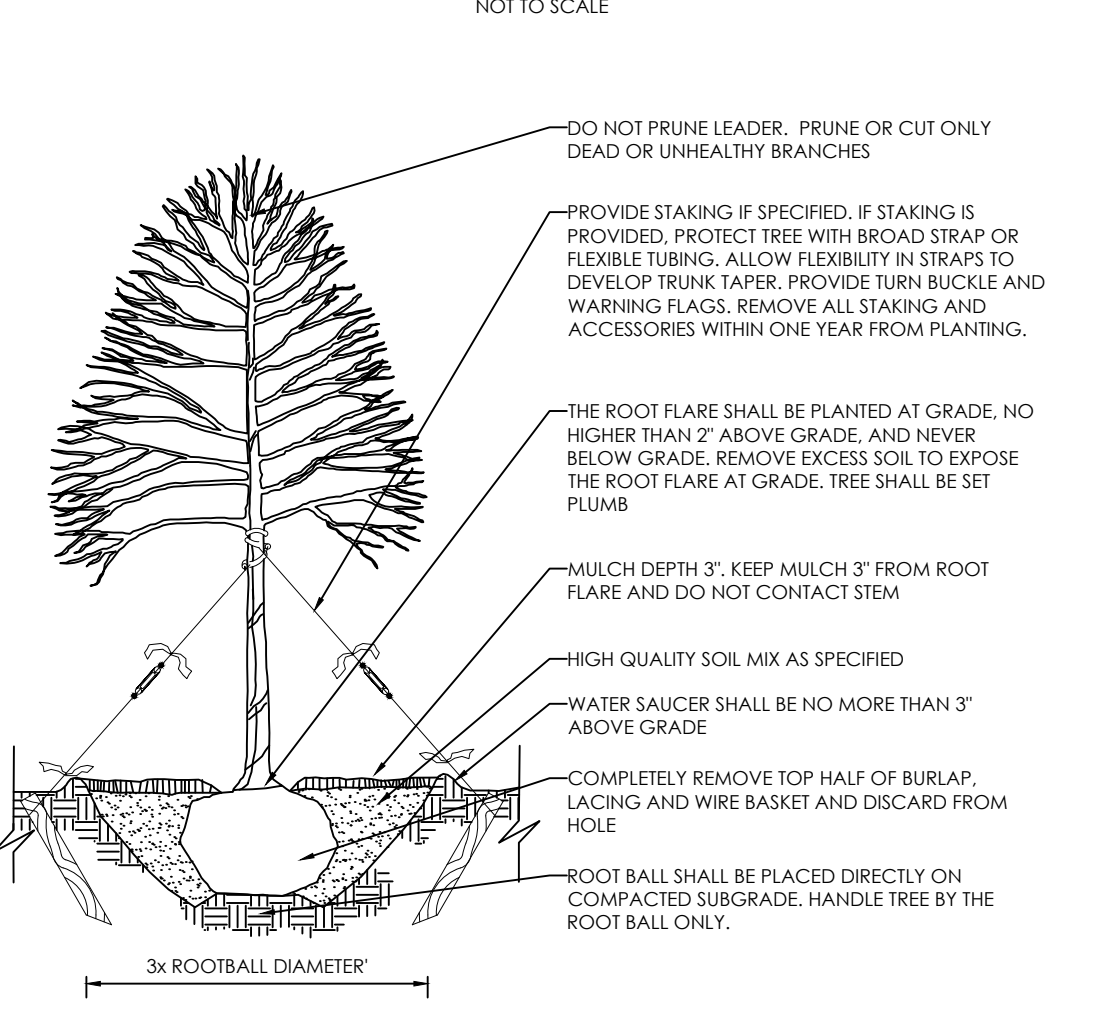
NOTE: CONTRACTOR SHALL FIELD LOCATE AND MARK LOCATIONS OF EXISTING WATER AND SEWER SERVICE LINES, STORM DRAINAGE PIPE AND ANY 'DRY' UTILITIES NOT PREVIOUSLY LOCATED THAT ARE TO REMAIN AND SERVE THE NEW BUILDING. PROPOSED TREES AND SHRUBS IN EAST BUFFER AND PARKING LOT SHALL BE PLANTED A MINIMUM OF 4' FROM THESE EXISTING SERVICES.

MARY S. COVINGTON
PIN# 9825-52-3964
DB 2075, PG 70

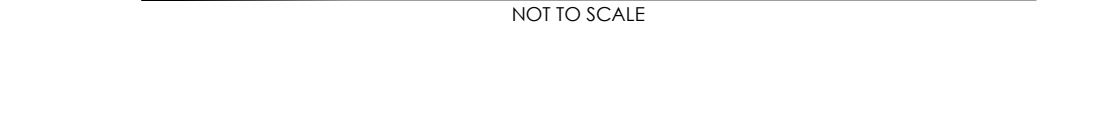


- NOTES:
1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY.
 2. REMOVE ALL TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.

SHRUB PLANTING



DECIDUOUS TREE PLANTING



LANDSCAPE PLANTING NOTES

1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY. ALL GENERAL NOTES AND GENERAL CONSTRUCTION NOTES APPLY.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITY TAKE-OFFS AND VERIFICATION OF MATERIALS AS SHOWN ON THESE PLANS AND IN WRITTEN SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING OR INSTALLATION.
3. THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING AND PROPOSED UNDERGROUND UTILITIES PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
4. ALL LANDSCAPE MATERIALS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INCLUDING THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
5. PRIOR TO THE END OF EACH WORKING DAY, THE CONTRACTOR SHALL PROPERLY BACKFILL ALL PLANT MATERIAL THAT HAS BEEN PLACED IN PREPARED HOLES; AND PROPERLY WATER AND MULCH ALL PREPARED GROUNDCOVER, PERENNIAL AND ANNUAL BEDS.
6. ALL TREES AND SHRUBS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
7. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED BY HAND PRIOR TO PLACEMENT AND BACK FILLING WITH PREPARED SOILS. HAND TOOLS ARE NOT TO BE USED TO SCARIFY ROOT BALLS.
8. ALL ROPE AND WRAPPING TWINE SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PARTS OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM PLANT BALLS PRIOR TO BACKFILLING.
9. ALL PLANTING AREAS SHALL BE EDGED WITH SMOOTH, CONTINUOUS CURVES. PINE STRAW MULCH, IF SPECIFIED, SHALL BE ROLLED AND TUCKED ALONG PLANT BED EDGE.
10. ALL PLANT BEDS ALONG BUILDING FOUNDATION SHALL BE 30\"/>

PLANTING CALCULATIONS

- PROJECT BOUNDARY BUFFER REQUIREMENTS
- NORTH - 20' TYPE B SEMI-OPAQUE LANDSCAPE BUFFER (CLASS 6 RETAIL STORE VS CLASS 2 SINGLE FAMILY RESIDENTIAL). REQUIRED 50' BUFFER CAN BE REDUCED TO 15' WIDTH DUE TO SMALL LOT (LESS THAN 2 ACRES). 20' WIDTH PROVIDED.
- WEST - 15' TYPE C AESTHETIC LANDSCAPE BUFFER (CLASS 6 RETAIL STORE VS CLASS 5 LANDSCAPE SUPPLY). REQUIRED 20' BUFFER CAN BE REDUCED TO 15' WIDTH DUE TO SMALL LOT (LESS THAN 2 ACRES). 15' WIDTH PROVIDED.
- EAST - 15' TYPE C AESTHETIC LANDSCAPE BUFFER (CLASS 6 RETAIL STORE VS CLASS 6 RETAIL STORE). REQUIRED 20' BUFFER CAN BE REDUCED TO 15' WIDTH DUE TO SMALL LOT (LESS THAN 2 ACRES). 15' WIDTH PROVIDED.
- PROJECT FRONTAGE ALONG US 70 TO STREETScape REQUIRED PER PRE-APPLICATION MEETING WITH PLANNING STAFF
- CANOPY TREES SHALL BE 2.5\"/>

LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	CONT.	SIZE	REMARKS
CANOPY TREES							
ACBU	5	Acer buergerianum 'ABIR'	Streetwise Trident Maple	2.5\"/>			

PLAN REVISIONS

#	DATE	REVISION	BY



KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

PROJECT:

SITE PLAN DRAWINGS

ORANGE COUNTY
ABC BOARD
7713 US-70,
MEBANE, NC 27302

PROJECT #: 120016.00
DRAWN BY: TMB
REVIEWED BY: TMB
1ST SUBMITTAL: MARCH 19, 2021
SCALE: AS NOTED

PRELIMINARY NOT FOR CONSTRUCTION

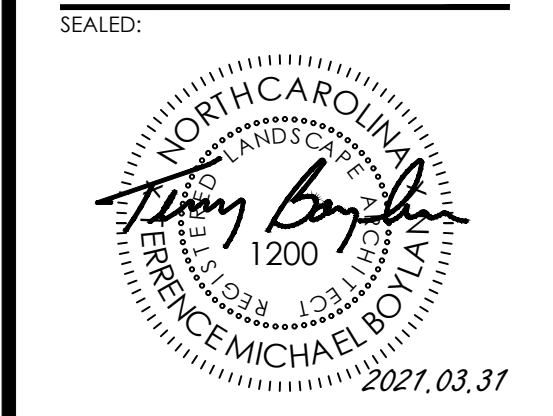
PREPARED FOR:

MEBANE ABC STORE
MEBANE, NC

PREPARED BY:

Village Green Land Design

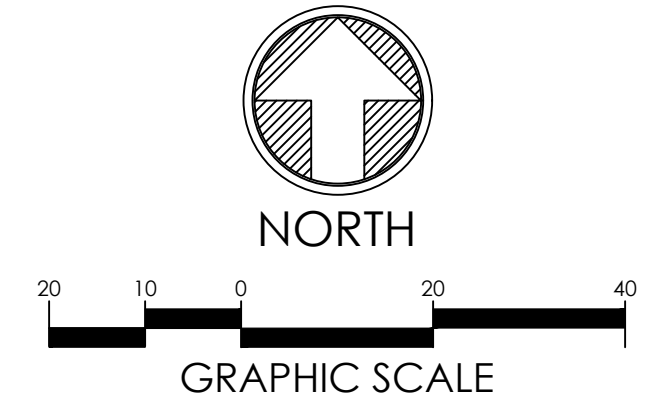
1149 EXECUTIVE CIRCLE
CARY, NC 27511
P:919.624.4468

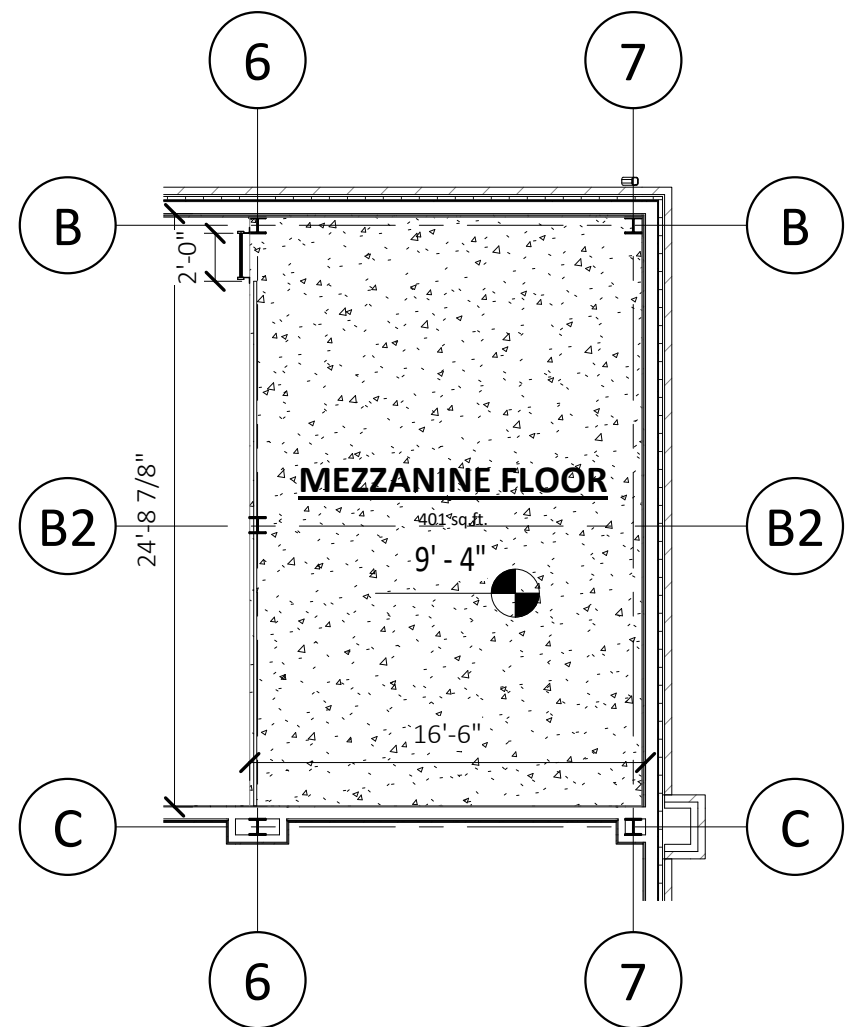


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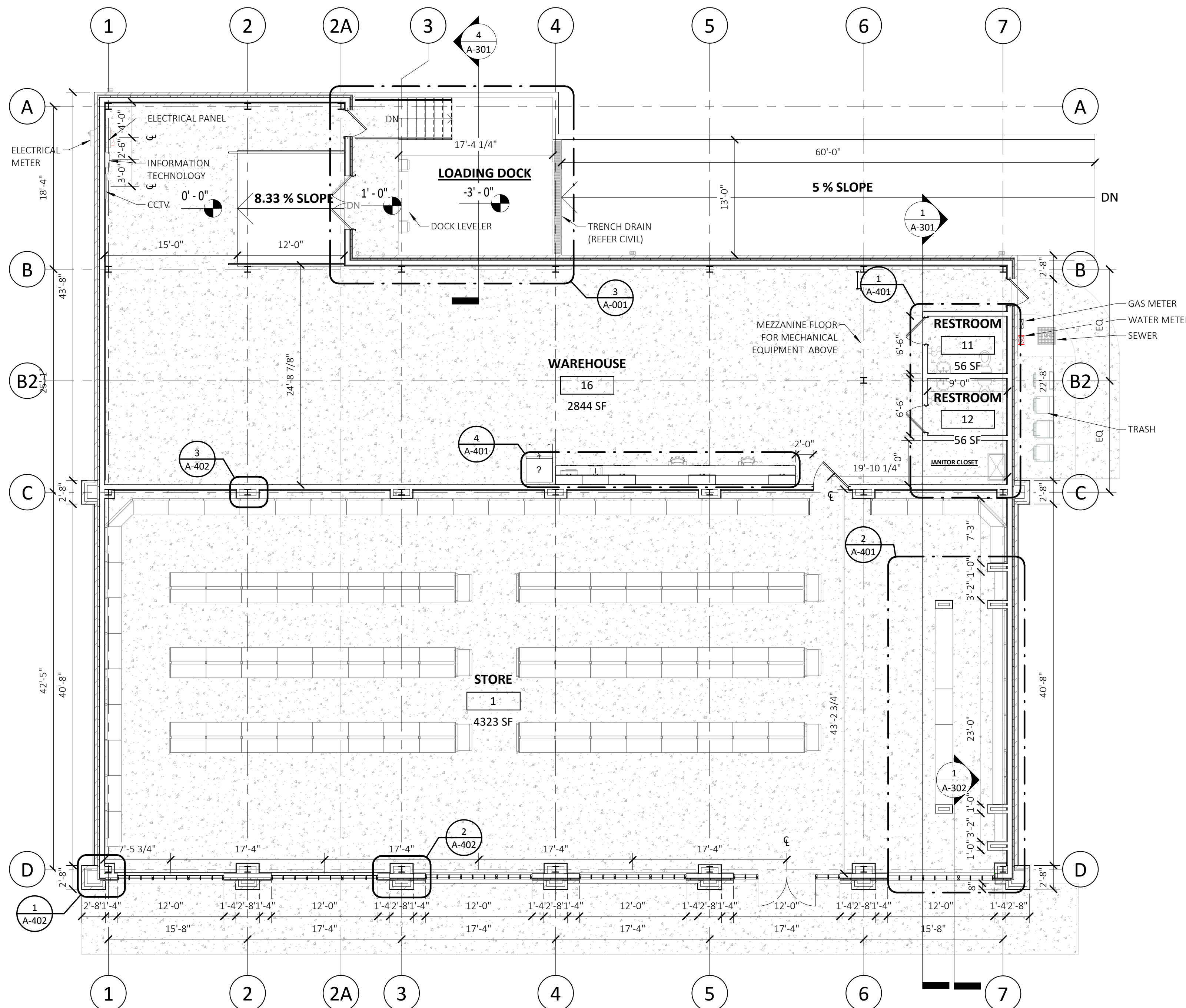
LANDSCAPE PLAN

L-100





1 MEZZANINE FLOOR
1/8" = 1'-0"



2 1ST FLOOR
1/8" = 1'-0"

GENERAL PARTITION NOTES:

- UNLESS OTHERWISE NOTED PROVIDE THE FOLLOWING GYPSUM BOARD PRODUCTS:
 - PROVIDE TYPE-X RATED PRODUCTS WHERE FIRE RATED WALLS ARE INDICATED.
 - ENTRIES AND CORRIDORS TO RECEIVE ABUSE & IMPACT RESISTANT GYPSUM WALL BOARD, UNBO.
 - PROVIDE FIBERGLASS REINFORCED MOISTURE RESISTANT GYPSUM WALL BOARD IN ALL EQUIPMENT ROOMS, RESTROOMS, KITCHENS AND OTHER WET AREAS PROVIDE FIBERGLASS REINFORCED MOISTURE RESISTANT WALL BOARD IN ALL OTHER AREAS WITHIN 8'-0" OF WATER SOURCE.
- G.C. TO PROVIDE WATERPROOFING ON ALL KITCHEN, RESTROOM AND BAR AREA WALLS PROVIDE LATCRETE 9235 WATER-PROOFING ASSEMBLY AT ALL WALLS TO 3'-0" AFF AND EXTEND A MIN OF 1'-0" ON TO SLAB.
- ALL INTERIOR METAL STUDS ARE 20 GA, (30 MILS) MINIMUM WITH MAXIMUM SPACING OF 16" O.C. UNLESS NOTED OTHERWISE.
- G.C. TO PROVIDE BLOCKING IN WALLS FOR FOOD SERVICE EQUIPMENT, GRAB BARS, TV'S, CABINETS, ETC. COORDINATE WITH FOOD SERVICE DRAWINGS FOR EQUIPMENT/SHELVING LOCATIONS. SEE CONCEALED BLOCKING DETAILS SHEET.
- ALL GYPSUM BOARD SURFACES IN THE FRONT OF HOUSE AREAS TO HAVE A LEVEL-4 FINISH PER GYPSUM ASSOCIATION STANDARD GA-214 UNLESS OTHERWISE NOTED IN THE DRAWINGS, ALL OTHER GYPSUM BOARD SURFACES TO HAVE LEVEL-3 FINISH.
- WHERE SOUND ATTENUATION (ACOUSTIC) BATTS ARE INDICATED, PROVIDE OWENS CORNING, ECO-TOUCH SOUND ATTENUATION BATTS @ 3.5" THICKNESS.
- SEE DETAILS 2 & 3 FOR TYPICAL PARTITION DETAILS EXTEND GYPSUM BOARD AND/OR WALL SHEATHING TO A MINIMUM OF 6" ABOVE CEILING HEIGHTS FOR ALL INTERIOR PARTITIONS UNLESS PARTITION IS INDICATED TO EXTEND TO THE UNDERSIDE OF STRUCTURE.
- WHERE THE INTERIOR DESIGN SET CALLS FOR A WOOD FINISH ON THE WALL, SUBSTITUTE 5/8" FRP PLYWOOD FOR GYPSUM BOARD.
- PROVIDE GALVANIZED METAL CORNER-BEADS AT ALL OUTSIDE CORNERS OF PARTITIONS WHERE GYPSUM BOARD WALLS ARE PAINTED OR COVERED WITH A VINYL OR FABRIC WALL COVERING.
- PROVIDE GALVANIZED METAL J-BEADS AT ALL GYPSUM WALL BOARD TERMINATIONS TO A DIFFERENT MATERIAL.
- ALL CORRIDOR AND FIRE RATED PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF THE STRUCTURE ABOVE, UNO.
- PROVIDE DEFLECTION TRACKS AT TOP OF ALL NON-LOADED BEARING STUD WALLS EXTENDING TO THE UNDERSIDE OF STRUCTURE ABOVE, UNO.
- PROVIDE CONCRETE BACKER BOARD IN LIEU OF GYPSUM WALL BOARD WHERE TILE FINISH IS INDICATED.
- ALL FIRE WALLS SHALL BE PLACARD OR STENCILED ON BOTH SIDES WITH THE PHRASE "FIRE WALL" PER IBC SECTION 703.7.1 THE LETTERS SHALL BE RED IN COLOR LOCATED IN THE CONCEALED SPACE ABOVE A CEILING.
- SEE METAL STUD FRAMING SCHEDULE FOR INTERIOR PARTITION REQUIREMENTS.
- MOISTURE RESISTANT GYPSUM WALL BOARD SHALL BE UTILIZED IN ALL AREAS WHERE GYPSUM WALL BOARD IS TO BE DIRECTLY ADHERED TO CONCRETE OR MASONRY SURFACES IN INTERIOR APPLICATIONS. SUBSTRATE SHALL BE CLEANED AS REQUIRED AND FREE OF DUST AND MOISTURE PRIOR TO ADHESION AND FINISHING.

PARTITION INSTALLATION NOTES:

- PROVIDE WATER-PROOFING AS INDICATED IN THE GENERAL PARTITION NOTES, ITEM #2. PROVIDE 5/8" CEMENT BOARD TO 24" ABOVE SLAB.
- FULL HEIGHT PARTITION, EXTEND TO THE UNDERSIDE OF DECK.
- SEE FOOD SERVICE SET FOR CONCEALED WALL BACKING AND BLOCKING.

LAYOUT AND DIMENSIONING CONVENTIONS:

'LIGHT FIXTURE' OR 'FIXTURE' IS USED GENERICALLY BELOW. WHILE THE DESCRIPTIONS BELOW SPECIFICALLY REFER TO LIGHT FIXTURES THEY ARE ALSO APPLICABLE TO HVAC GRILLES, SPEAKERS, SPRINKLER HEADS, OR OTHER CEILING MOUNTED ITEMS.

1ST RULE OF LIGHT FIXTURE LAYOUT: IF IT 'LOOKS LIKE' THE LIGHT FIXTURE IS CENTERED BETWEEN SOMETHING (INCLUDING OTHER DIMENSIONED FIXTURES) OR OVER SOMETHING, AND NO OTHER DIMENSIONAL INFORMATION IS PROVIDED, IT IS.

2ND RULE OF LIGHT FIXTURE LAYOUT (AND SOFFITS TOO!): OFTEN IN A SYMMETRICAL ROOM, CEILING INFORMATION WILL BE SPLIT-UP BETWEEN THE TWO SIDES OF A ROOM ALONG ITS AXIS. TYPICALLY THIS SPLIT WILL MEAN THAT HALF THE ROOM WILL HAVE VERTICAL DIMENSIONS AND THE OTHER HALF WILL HAVE HORIZONTAL DIMENSIONS. USE EACH SIDE OF THE ROOM'S DIMENSIONS FOR THE OTHER SIDE OF THE ROOM. OCCASIONALLY DUPLICATE INFORMATION IS ON BOTH SIDES OF THE ROOM TO PROVIDE CLARITY.

3RD RULE OF LIGHT FIXTURE LAYOUT: IF THERE ARE A SERIES OF LIGHT FIXTURES LOCATED ALONG THE SAME CENTERLINE BUT DO NOT HAVE AN 'ON-CENTER' SPACING DIMENSION, THESE FIXTURES ARE EQUALLY SPACED.
IF THE END FIXTURES ARE LOCATED (TYPICALLY OFF WALL OR SOFFIT) THE REMAINING FIXTURES WILL BE SPACED EQUALLY BETWEEN THEM. BE AWARE: OFTEN THE MIDDLE FIXTURE IS LOCATED CENTERED WITHIN THE ROOM, CENTERED WITHIN A RAISED PORTION OF THE CEILING, IN SUCH CASES, LOCATE THE REMAINING FIXTURES EQUALLY BETWEEN THE FIXED END AND MIDDLE FIXTURES.

IF A TYPICAL DIMENSION IS PROVIDED, U.N.O. THE REMAINING FIXTURES ALONG THE CENTERLINE ARE SPACED THE SAME AS THE TYPICAL.

IN CASES WHERE THE LIGHT FIXTURES ARE LOCATED TYPICALLY BUT THERE ARE ADDITIONAL ITEMS THAT 'LOOK' CENTERED BETWEEN THE MAIN LAYOUT PATTERN, THAT ITEM IS CENTERED BETWEEN TYPICALLY DIMENSIONED FIXTURES.

4TH RULE OF LIGHT FIXTURE LAYOUT: DIMENSIONED FIXTURES WITHIN A ROOM THAT ARE NOT LOCATED 'WITHIN' THE ROOM ARE CENTERED WITHIN THE ROOM AS A GROUP, OR A PARTIAL GROUP, DEPENDING ON WHAT DIMENSIONS ARE GIVEN AND OMITTED.

5TH RULE OF LIGHT FIXTURE LAYOUT: WALL SCONES WILL BE LOCATED IN ELEVATIONS, BOTH MOUNTING HEIGHTS AND PLAN LOCATION, OR WILL BE LOCATED WITH THE INTERIOR DESIGN DOCUMENT SET.

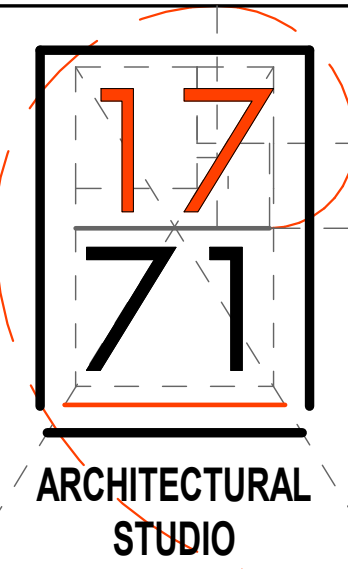
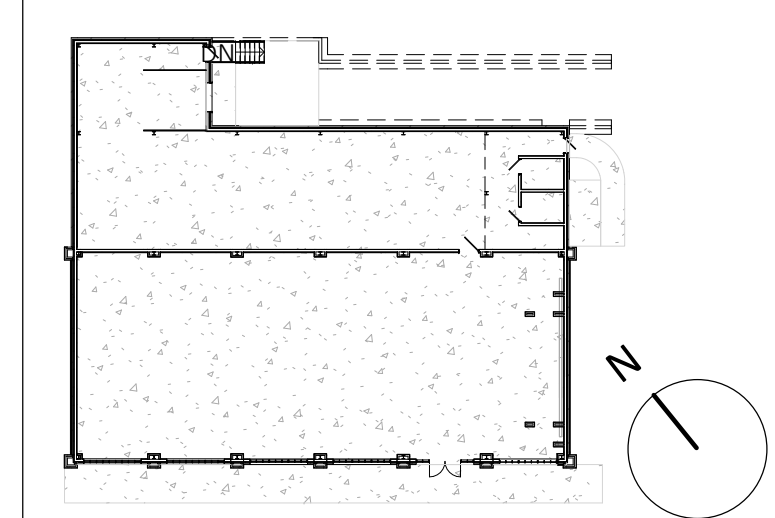
GENERAL NOTES:

- ALL TRADES SHALL REVIEW ALL SHEETS IN CONSTRUCTION DOCUMENT SET FOR COORDINATION PURPOSES.
- DO NOT SCALE DRAWINGS. IF QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT. IF DIMENSION SHOWN DIFFERS FROM FIELD, G.C. TO NOTIFY ARCHITECT FOR RESOLUTION PRIOR TO ANY WORK IN THE AREA. IF ARCHITECT IS NOT NOTIFIED, THE G.C. ASSUMES RESPONSIBILITY FOR ANY PROBLEMS RELATED TO INCORRECT DIMENSIONS.
- DIMENSIONS ARE FROM FACE OF EXISTING WALL TO FACE OF STUD UNLESS NOTED OTHERWISE. ALIGNMENT INDICATIONS SHALL BE FINISHED SURFACE TO FINISHED SURFACE. FACE OF STUD DIMENSIONS SHALL BE MEASURED FROM THE FACE OF STUD OF ASSEMBLY, FIXTURE, OR DEVICE. ALL DIMENSIONS MARKED CLEAR SHALL BE MAINTAINED CLEAR BETWEEN FINISHED SURFACES.
- PENETRATION OF PARTITIONS FOR MECHANICAL SYSTEMS SHALL BE PROPERLY SEALED PER UL REQUIREMENTS. PENETRATIONS WITHIN RATED PARTITION ASSEMBLIES SHALL PROVIDE FOR REQUIRED DAMPENING DEVICES, SLEEVES, AND FIRE PROOFING TO MAINTAIN APPROVED RATING.
- TO START CONSTRUCTION, G.C. TO FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- PENETRATION OF FIRE RATED PARTITIONS AND HORIZONTAL ASSEMBLIES SHALL COMPLY WITH UL TESTED ASSEMBLIES. G.C. TO ENSURE FIRE RATED ASSEMBLIES TO RETAIN FIRE RATING INTEGRITY DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS IN WALL & CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO MECHANICAL FIRE SPRINKLER, PLUMBING, AND ELECTRICAL WORK. CONTRACTOR TO SUBMIT A PLAN OF ALL PROPOSED ACCESS PANEL LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE BLOCKING, AND NAILERS AS REQUIRED TO SUPPORT ALL NEW WORK, INCLUDING ITEMS TO BE PROVIDED AND INSTALLED BY OWNER.
- ALL CORRIDOR AND FIRE RATED PARTITIONS SHALL EXTEND TO UNDERSIDE OF STRUCTURE ABOVE, U.N.O.
- PROVIDE DEFLECTION TRACKS AT THE TOP OF ALL NON LOADING BEARING STUD WALLS EXTENDING TO UNDERSIDE OF STRUCTURE ABOVE, U.N.O.
- ALL EQUIPMENT LISTED IN SCHEDULE ON THIS SHEET ARE APPROVED AND INSTALLED BY CLIENT/OWNER. G.C. TO PROVIDE SYSTEM REQUIREMENTS FOR EQUIPMENT TO FUNCTION ACCORDING TO MANUFACTURE GUIDELINES.

CONSTRUCTION KEY NOTES:

- INFILL OPENING WITH CONSTRUCTION TO MATCH PARTITION COMPOSITION TO MATCH FIRE RATED QUALITY AND UL DESIGN OF ASSEMBLY.
- EXISTING DOORS ARE NOT MEANT FOR EGRESS AND TO BE PUT IN PERMANENT LOCK POSITION. REMOVE HANDLES ON INTERIOR AND EXTERIOR SO NOT TO INDICATE AND EXIT. IF HANDSET IS INTEGRATED TO FRAME AND CANNOT BE REMOVED THEN A SIGN MUST BE PLACED VISIBLE TO OCCUPANTS/PUBLIC TO DESCRIBE AS SUCH.
- MEZZANINE TO BE USED FOR MECHANICAL EQUIPMENT WITH SPIRAL DUCTING.
- ELECTRICAL TO RUN INSIDE METAL CONDUITS EXPOSED ON THE INTERIOR OF THE BUILDING.

KEY PLAN:



1771 ARCHITECTURAL STUDIO, LLC
25484 Point Lookout Rd - Unit 303
Leonardtown, MD 20659
240-309-4119
1771arch.com

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1771 ARCHITECTURAL STUDIO
DRAWING ALTERATION
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT DIRECTORY
CLIENT
Orange County ABC
c/o Tony DuBois
601 Valley Forge Road
Hillsborough, NC 27278

GENERAL CONTRACTOR
N/A

STRUCTURAL ENGINEER
(919) 957-5100
FDR Engineers
2012 T.W. Alexander Drive, Suite 11C,
Durham, NC 27703

CIVIL ENGINEER (919) 929-0481
Ballantine Associates, PA
221 Providence Rd, Chapel Hill, NC
27514

MEP (919) 771-1916
Ben Burke Design Group
3305-109 Durham Drive
Raleigh, NC 27603
Ben Burke (919) 618-0717

NO	DATE	REVISIONS
A		

ABC - Mebane
7713 US Hwy 70
Mebane, NC 27302

ARCHITECT OF RECORD
BRIAN T. SHEPARD, AIA, NCARB, LEED
PROJECT MANAGER
JACLYN L. VALINO, ASSOC. AIA
DRAWN BY VV FIRST ISSUE DATE 02/26/2021

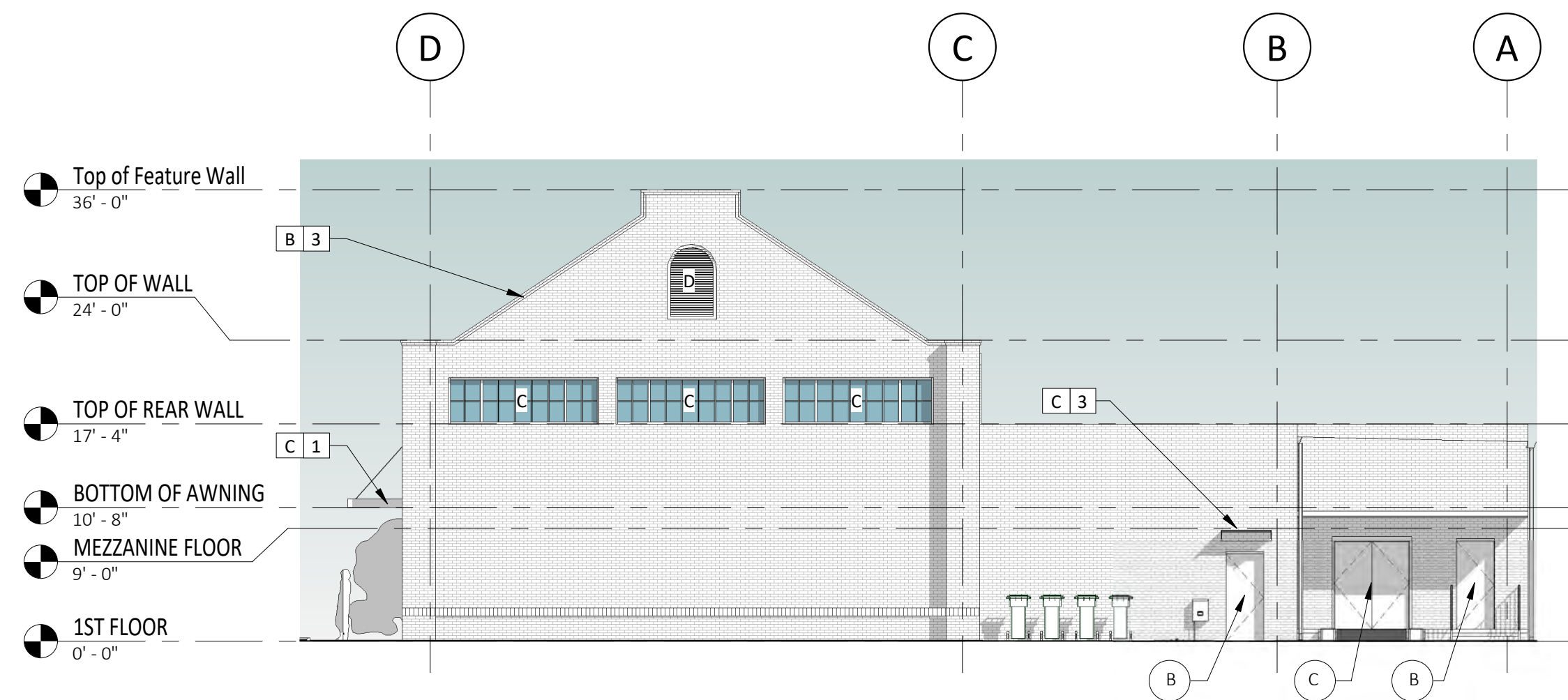
FLOOR PLAN

PROJECT NO.
20-2220.001

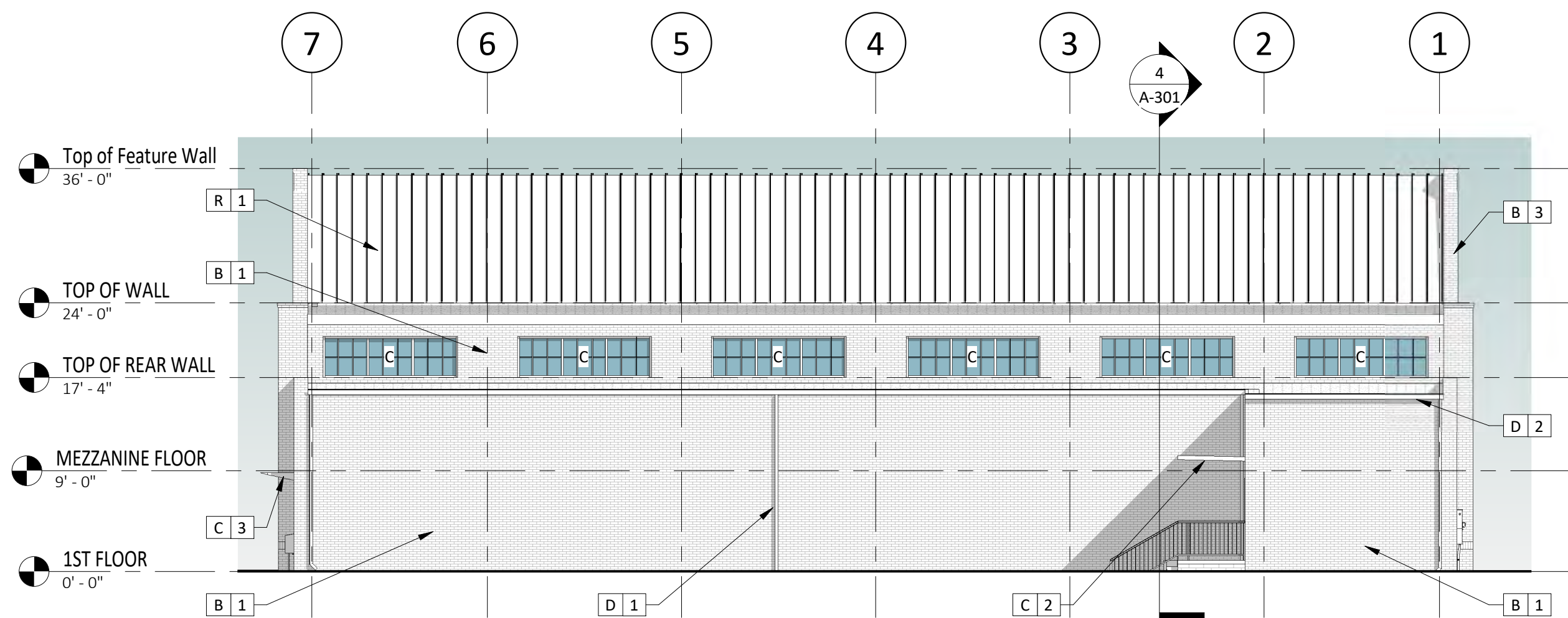
SHEET NO.
A-101



1 FRONT ELEVATION
3/16" = 1'-0"



2 RIGHT ELEVATION
3/32" = 1'-0"



4 REAR ELEVATION
3/32" = 1'-0"

GENERAL NOTES:

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- DIMENSIONS ARE FROM FACE OF EXISTING WALL TO FACE OF STUD UNLESS NOTED OTHERWISE. ALIGNMENT INDICATIONS SHALL BE FINISHED SURFACE TO FINISHED SURFACE. FACE OF STUD DIMENSIONS SHALL BE MEASURED FROM THE FACE OF STUD OF ASSEMBLY, FIXTURE, OR DEVICE. ALL DIMENSIONS MARKED CLEAR SHALL BE MAINTAINED CLEAR BETWEEN FINISHED SURFACES.
- PENETRATION OF PARTITIONS FOR MECHANICAL SYSTEMS SHALL BE PROPERLY SEALED PER UL REQUIREMENTS. PENETRATIONS WITHIN RATED PARTITION ASSEMBLIES SHALL PROVIDE FOR REQUIRED DAMPENING DEVICES, SLEEVES, AND FIRE PROOFING TO MAINTAIN APPROVED RATING.
- TO START CONSTRUCTION, G.C. TO FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- PENETRATION OF FIRE RATED PARTITIONS AND HORIZONTAL ASSEMBLIES SHALL COMPLY WITH UL TESTED ASSEMBLIES, G.C. TO ENSURE FIRE RATED ASSEMBLIES TO RETAIN FIRE RATING INTEGRITY DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS IN WALL & CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO MECHANICAL FIRE SPRINKLER, PLUMBING, AND ELECTRICAL WORK. CONTRACTOR TO SUBMIT A PLAN OF ALL PROPOSED ACCESS PANEL LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE BLOCKING, AND NAILERS AS REQUIRED TO SUPPORT ALL NEW WORK, INCLUDING ITEMS TO BE PROVIDED AND INSTALLED BY OWNER.
- ALL CORRIDOR AND FIRE RATED PARTITIONS SHALL EXTEND TO UNDERSIDE OF STRUCTURE ABOVE, U.N.O.
- PROVIDE DEFLECTION TRACKS AT THE TOP OF ALL NON LOAD BEARING STUD WALLS EXTENDING TO UNDERSIDE OF STRUCTURE ABOVE, U.N.O.
- ALL EQUIPMENT LISTED IN SCHEDULE ON THIS SHEET ARE APPROVED AND INSTALLED BY CLIENT/OWNER. G.C. TO PROVIDE SYSTEM REQUIREMENTS FOR EQUIPMENT TO FUNCTION ACCORDING TO MANUFACTURE GUIDELINES.

FINISH KEY

B 1	RECLAIMED BRICKS STANDARD SIZE RUNNING BOND
B 2	RECLAIMED BRICKS STANDARD SIZE HEADER COURSE
B 3	RECLAIMED BRICKS STANDARD SIZE HEADER COURSE
C 1	STEEL PAINTED SOLAR SHADE CANOPIES FINISH - BLACK
C 2	STEEL PAINTED CANOPY - LOADING DOCK FINISH - BLACK
C 3	STEEL PAINTED CANOPY - WAREHOUSE ENTRY FINISH - BLACK
D 1	DOWNTAPE SPOUTS FINISH - BLACK
D 2	GUTTER FINISH - BLACK
G 1	STOREFRONT GLASS FINISH - BLACK MULLIONS
R 1	STANDING SEAM METAL ROOF FINISH - BLACK

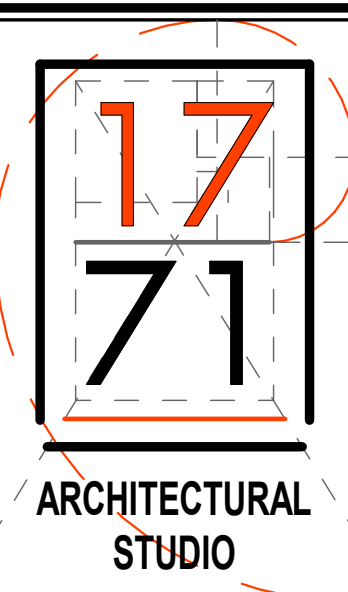
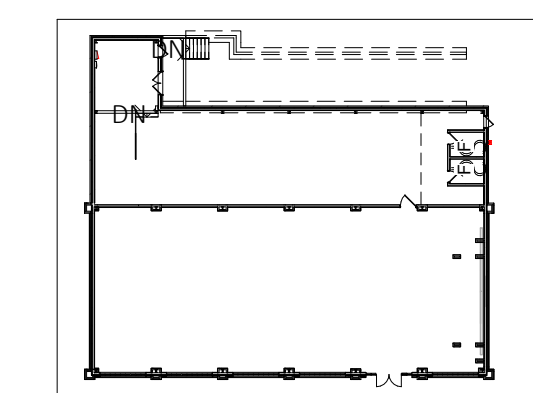
DOOR TYPES

UNIT	SIZE	LOCATION	DESCRIPTION
A	72" x 96"	MAIN ENTRY	DOUBLE DOOR STOREFRONT, BLACK
B	36" x 84"	WAREHOUSE ENTRY	SINGLE DOOR, METAL CLAD, BLACK
C	72" x 84"	LOADING DOCK DOUBLE DOORS	DOUBLE DOOR, METAL CLAD, BLACK

WINDOW TYPES

UNIT	SIZE	LOCATION	DESCRIPTION
A	12'-0" X 8'-0"	FRONT ELEVATION	36-LITE STOREFRONT
B	12'-0" X 4'-0"	FRONT ELEVATION	18-LITE STOREFRONT
C	12'-0" X 3'-8"	FRONT, RIGHT, BACK ELEVATION	18-LITE STOREFRONT
D	4'-0" X 6'-0"	RIGHT, LEFT ELEVATION	GABLE VENT

KEY PLAN:



1771 ARCHITECTURAL STUDIO, LLC
25484 Point Lookout Rd - Unit 303
Leonardtown, MD 20659
240-309-4119
1771arch.com

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1771 ARCHITECTURAL
STUDIO

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ALTERATIONS.

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT DIRECTORY

CLIENT
Orange County ABC
c/o Tony DuBois
601 Valley Forge Road
Hillsborough, NC 27278

GENERAL CONTRACTOR
N/A

STRUCTURAL ENGINEER
(919) 957-5100
FDR Engineers
2012 TW Alexander Drive, Suite 11C,
Durham, NC 27703

CIVIL ENGINEER (919) 929-0481
Ballantine Associates, PA
221 Providence Rd, Chapel Hill, NC
27514

MEP (919) 771-1916
Ben Burke Design Group
3305-109 Durham Drive
Raleigh, NC 27603
Ben Burke (919) 618-0717

BY

DATE

NO

REVISIONS

A

NO

REVISIONS

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REVISIONS

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A

ABC - Mebane
7713 US Hwy 70
Mebane, NC 27302

ARCHITECT OF RECORD
BRIAN T. SHEPARD, AIA, NCARB, LEED

PROJECT MANAGER
JACLYN L. VALINO, ASSOC. AIA

DRAWN BY VV FIRST ISSUE DATE mm/dd/yyyy

EXTERIOR ELEVATIONS

PROJECT NO.
20-2220.001

SHEET NO.
A-201

FRONT RIGHT VIEW



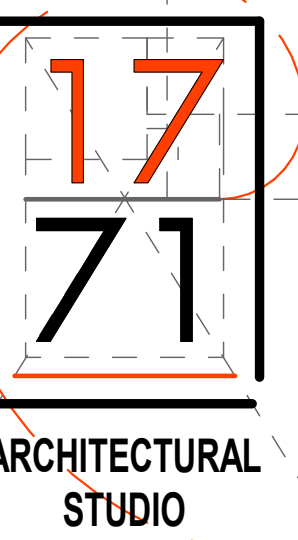
REAR RIGHT VIEW



FRONT LEFT VIEW



REAR LEFT VIEW



ARCHITECTURAL STUDIO

1771 ARCHITECTURAL STUDIO, LLC
 25484 Point Lookout Rd - Unit 303
 Leonardtown, MD 20659
 240-309-4119
 1771arch.com

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**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

PROJECT DIRECTORY

CLIENT
 Orange County ABC
 c/o Tony DuBois
 601 Valley Forge Road
 Hillsborough, NC 27278

GENERAL CONTRACTOR
 N/A

STRUCTURAL ENGINEER
 (919) 957-5100
 FDR Engineers
 2012 TW Alexander Drive, Suite 1C,
 Durham, NC 27703

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MEP (919) 771-1916
 Ben Burke Design Group
 3305-109 Durham Drive
 Raleigh, NC 27603
 Ben Burke (919) 618-0717

NO	REVISIONS	DATE	BY

ABC - Mebane
 7713 US Hwy 70
 Mebane, NC 27302

ARCHITECT OF RECORD
 BRIAN T. SHEPARD, AIA, NCARB, LEED

PROJECT MANAGER
 JACLYN L. VALINO, ASSOC. AIA

DRAWN BY FIRST ISSUE DATE
 VV 02/27/21

PERSPECTIVES

PROJECT NO.
 20-2220.001

SHEET NO.
 A-701

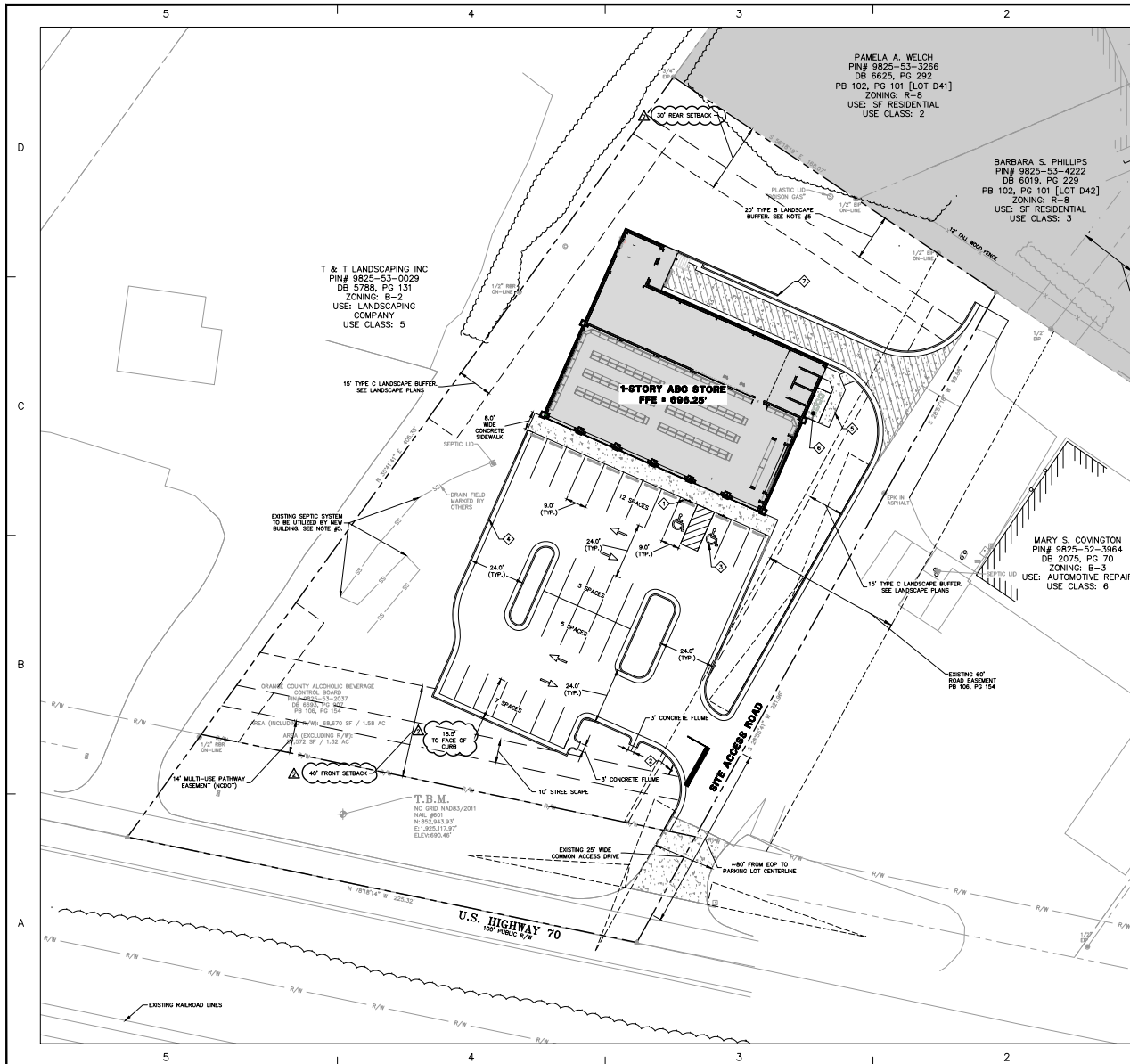


PLANNING PROJECT REPORT

DATE	03/30/2021
PROJECT NAME	ABC - Mebane
PROJECT NUMBER	RZ 21-03
	Orange County Alcoholic Beverage Control Board
APPLICANT	c/o Tony DuBois 601 Valley Forge Road Hillsborough, NC 27278

CONTENTS

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LAND USE REPORT	PAGE 5
UTILITIES REPORT	PAGE 8
STAFF ZONING REQUEST RECOMMENDATION	PAGE 9



- NOTES**
1. ALL WORK SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE CITY OF MEBANE UDO AND WITH CONDITIONS OF ZONING APPROVAL.
 2. SITE ACCESS SHALL BE FROM A COMMON ACCESS DRIVE, WHICH CONNECTS TO US 70 AT AN EXISTING DRIVEWAY CONNECTION.
 3. ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB.
 4. ALL SIDEWALK IS 5' WIDE UNLESS OTHERWISE NOTED.
 5. BUFFER CANNOT BE PLANTED IN AREA OF EXISTING SEPTIC SYSTEM.
 6. LIGHTING PLAN WILL BE SUBMITTED WITH CONSTRUCTION DRAWINGS AND IN COMPLIANCE WITH SECTION 6-5 OF THE MEBANE UDO.

SITE DATA TABLE

PROJECT NAME:	ABC MEBANE
PROPERTY ADDRESS:	7713 US-70, MEBANE, NC 27302
CURRENT LAND OWNER:	TONY DABROS
PIN NUMBER:	9825 53 2037
DEED REFERENCE:	D.A. 6683, PG. 0907
CURRENT USE:	COMMERCIAL
PROPOSED USE:	COMMERCIAL
EXISTING ZONING:	B-3
PROPOSED ZONING:	B-2 (CO)
WATERSHED OVERLAY:	HAW CREEK UNPROTECTED AREA
TOTAL AREA OF TRACT:	1.576 AC. (68,669 SF) REDUCED: 1.322 AC. (57,572 SF)
LANDSCAPE BUFFERS:	SIDE BUFFER = 15 FT. REAR BUFFER = 20 FT.
BUILDING SETBACKS:	FRONT OF LOT = 40 FT. BACK OF LOT = 30 FT.
NEW BUILDING SF:	APPROXIMATELY 6,829 SF, STORE: 4,293 SF
VEHICULAR PARKING SUMMARY:	REQUIRED: 29 SPACES PROVIDED: 29 SPACES** **INCLUDING ACCESSIBLE PARKING SPACES
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 2 SPACES PROVIDED: 2 SPACES
IMPERVIOUS COVER:	EXISTING: 31,138 SF PROPOSED: 30,879 SF NET REDUCTION: 222 SF

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
—O—	---	---	OVERHEAD ELECTRIC LINE
—S—	---	---	OVERHEAD TRAFFIC SIGNAL LINE
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJACENT PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	NCDOT R/W
---	---	---	SETBACK LINE
---	---	---	BUFFER LINE
---	---	---	TREE LINE
---	---	---	MEBANE CORPORATE LIMITS

- PLAN KEY NOTES**
- HS-1 STANDARD ACCESSIBLE PARKING SIGN
 - STOP SIGN
 - HANDICAP PARKING SPACE STRIP (TYP.)
 - 30" CONCRETE CURB AND GUTTER (TYP.)
 - 5' WIDE CONCRETE SIDEWALK (TYP. UNLESS OTHERWISE NOTED)
 - WELL GART CONCRETE PAD & ENCLOSURE (SEE ARCH PLANS FOR ENCLOSURE DETAILS)
 - CAST-IN-PLACE RETAINING WALL
- PAVING LEGEND**
- STANDARD-DUTY ASPHALT
 - HEAVY-DUTY CONCRETE

PRELIMINARY SITE PLAN

1" = 50 FT.

REVIEW DRAWING NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
1000 W. MARKET STREET, SUITE 200, MEBANE, NC 27302
TEL: 336-339-1111 FAX: 336-339-1112

DATE: 03/27/21
DATE: 04/27/21

OWNER INFORMATION:
ZONING JURISDICTION: 601 VALLEY FORGE ROAD, HILLSBOROUGH, NC 27278
OWNER REPRESENTATIVE: TONY DABROS
TEL: (919) 732-3432

DATE: 03/27/21
DATE: 04/27/21

MEBANE:
SITE PLAN TO MEBANE INC. 03/27/21
SITE PLAN TO MEBANE INC. 04/27/21

ABC-MEBANE
MEBANE, NORTH CAROLINA
SITE PLAN DRAWINGS

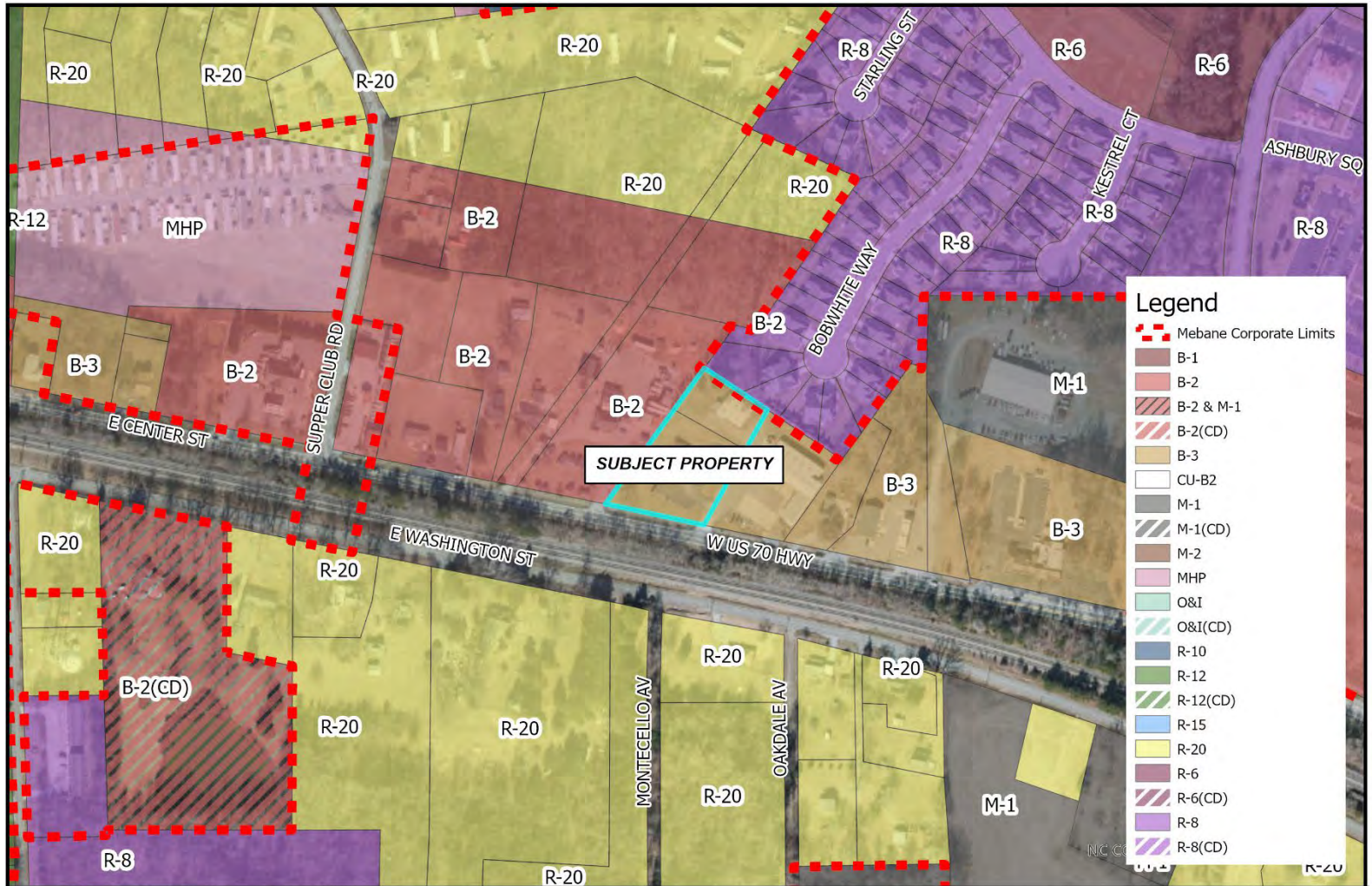
JOB NUMBER: 120016.00
DATE: 11 MAR 21
SCALE: AS NOTED
DRAWN BY: SPH/JAA
REVIEWED BY: GJR

SHEET C1001



ZONING REPORT

EXISTING ZONE	B-3 (Neighborhood Business District)
REQUESTED ACTION	Rezoning to B-2(CD) (General Business, Conditional District)
CONDITIONAL ZONE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
CURRENT LAND USE	ABC Store, Vacant Building
PARCEL SIZE	+/- 1.32 ac
PROPERTY OWNERS	Orange County Alcoholic Beverage Control Board c/o Tony DuBois 601 Valley Forge Road Hillsborough, NC 27278 PIN 9825532037
LEGAL DESCRIPTION	The applicant proposes to rezone +/- 1.32 acres from B-3 (Neighborhood Business District) to B-2 (CD) (General Business, Conditional District) to allow for redevelopment, expansion, and improvement of an existing nonconforming use. Properties east of the site are zoned B-3 (Neighborhood Business District). Properties west of the site are zoned B-2 (General Business District). North of the site is a portion of the Ashbury subdivision, which is zoned R-8 (Residential District) and has a Special Use Permit for a Planned Unit Development. Properties to the south and across the railroad tracks are zoned R-20 (Residential District).
AREA ZONING & DISTRICTS	Two structures currently exist – the one-story ABC Store with paved parking lot fronting US 70 to its rear and a one-story metal building with gravel access. In December 2020, the Orange County ABC Board purchased the +/- 0.43 ac. property with metal building. The two lots were recombined in January 2021.
SITE HISTORY	A recent rezoning request for the northern part of the property was denied. On February 3, 2020, the Mebane City Council denied a request to rezone the +/- 0.43 ac. property with metal building from B-3 (Neighborhood Business District) to M-1 (Heavy Manufacturing, Conditional District). The request was denied because of disharmony with the surrounding area and property size limitations for the proposed use, which was Equipment Rental and Leasing.
STAFF ANALYSIS	
CITY LIMITS?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
PROPOSED USE BY-RIGHT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
SPECIAL USE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
EXISTING UTILITIES?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
POTENTIAL IMPACT OF PROPOSED ZONE	The proposed redevelopment will be an improvement to the existing site conditions, including the demolition of an unused building. The applicant is proposing to restrict uses in the conditional district to align with those currently expected in the B-3 zoning district.



**CITY OF MEBANE
ZONING MAP**

**SUBJECT PROPERTY
ABC - MEBANE**

1 inch = 300 feet

DATE: 03/30/2021

DRAWN BY: AO



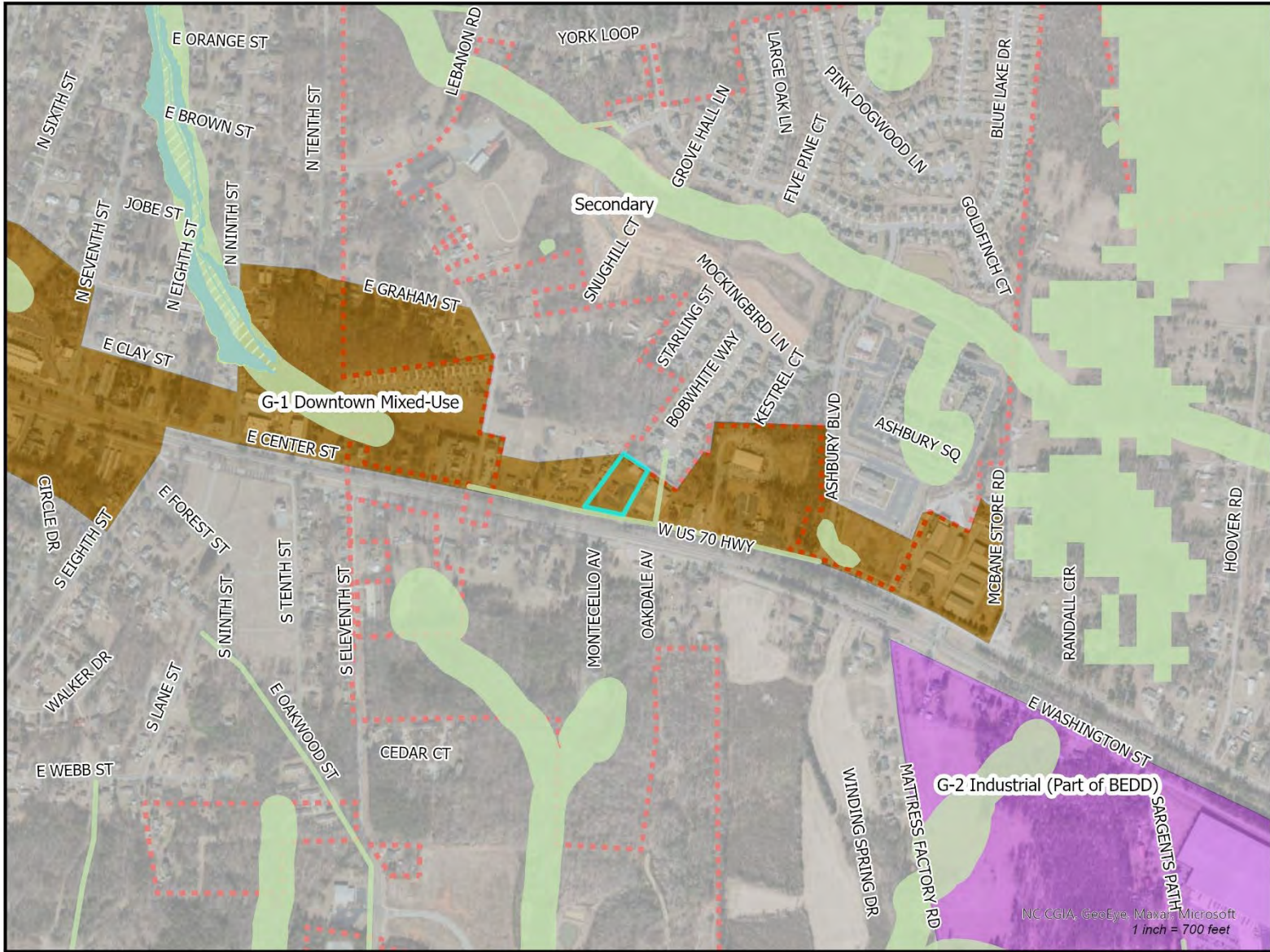
LAND USE REPORT

EXISTING LAND USE	ABC Store, Vacant Building
PROPOSED LAND USE & REQUESTED ACTION	The applicant proposes to rezone +/- 1.32 acres from B-3 (Neighborhood Business District) to B-2 (CD) (General Business, Conditional District) to allow for redevelopment, expansion, and improvement of the existing ABC Store, which is a nonconforming use in the current B-3 zoning district. The conditional district would restrict uses to ABC Store (packaged liquor) and those allowed in the B-3 zoning district. The site plan and architectural drawings provided in the packet will be required for any development of this site.
PROPOSED ZONING	B-2(CD)
PARCEL SIZE	+/- 1.32 ac
AREA LAND USE	Surrounding properties that front US 70 support various businesses, including convenience stores, gas companies, landscaping services, and a tire shop. Single-family residential is located behind the property and across the railroad tracks.
ONSITE AMENITIES & DEDICATIONS	N/A
WAIVER REQUESTED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF REQUESTED WAIVER(S)	<p>The City's <i>Bicycle and Pedestrian Transportation Plan</i> and <i>2040 Comprehensive Transportation Plan</i> both recommend realization of a shared-use path on the northern side of US 70 at this location. The developer is proposing to construct a 5' public sidewalk along the US 70 road frontage. A 14' public easement adjacent to the existing right-of-way will be provided if existing right-of-way cannot accommodate the proposed sidewalk.</p> <p>The Mebane UDO requires a parking stall length of 19'. The applicant is requesting a parking stall length of 18.5' (measured from the end-of-stall to face-of-curb).</p>



CONSISTENCY WITH *MEBANE BY DESIGN* STRATEGY

LAND USE GROWTH STRATEGY DESIGNATION(S)	G-1 Downtown Mixed-Use Primary Growth Area
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES SUPPORTED	<p>GROWTH MANAGEMENT 1.1 Encourage a variety of uses in growth strategy areas and in the downtown, promote/encourage a village concept that supports compact and walkable environments.</p>
	<p>GROWTH MANAGEMENT 1.6 Require that commercial development be pedestrian-friendly, supporting walking between differing land uses while also reducing parking requirements.</p>
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES <u>NOT</u> SUPPORTED	





UTILITIES REPORT

AVAILABLE UTILITIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED UTILITY NEEDS	Water service will be provided by Orange-Alamance Water System, Inc. Septic system authorization has been issued by the Orange County Health Department, Environmental Health Division.
UTILITIES PROVIDED BY APPLICANT	N/A
MUNICIPAL CAPACITY TO ABSORB PROJECT	N/A
CONSISTENCY WITH MEBANE LONG RANGE UTILITY PLAN?	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
ADEQUATE STORMWATER CONTROL?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Stormwater controls are not needed due to no increase in the onsite impervious surface. A net reduction of 222 s.f. of impervious cover is proposed.
INNOVATIVE STORMWATER MANAGEMENT?	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A

TRANSPORTATION NETWORK STATUS

CURRENT CONDITIONS	<p>US 70 is a two-lane minor arterial with an average daily traffic volume of 9,600 trips between Supper Club Road and Hoover Road. This section of US 70 operates at a Level of Service D and has a moderate safety score.</p> <p>A US 70 shared-use path from N Ninth Street to Ashbury Road is recommended in the City's <i>Bicycle and Pedestrian Transportation Plan</i> and <i>2040 Comprehensive Transportation Plan</i>, including at this location. The project was submitted by the City to the Burlington Graham Metropolitan Planning Organization for prioritization and funding by the NCDOT Strategic Prioritization Office in its sixth round of awards (SPOT 6.0). Award of funds is estimated to be determined in 2022.</p>
TRAFFIC IMPACT ANALYSIS REQUIRED?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OR RECOMMENDED IMPROVEMENTS	The driveway to the parking lot does not meet NCDOT's recommended distance of 100' from the intersection of the Site Access Road and US 70. NCDOT has accepted the proposed 80' driveway due to grading and stormwater concerns associated with shifting the driveway and the amount of internal stacking allowed by the parking lot design.
CONSISTENCY WITH THE MEBANE BICYCLE AND PEDESTRIAN TRANSPORTATION PLAN?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
MULTIMODAL IMPROVEMENTS PROVIDED BY APPLICANT?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF MULTIMODAL IMPROVEMENTS	The applicant is proposing to construct a 5' public sidewalk along the US 70 road frontage.



STAFF RECOMMENDATION

STAFF ZONING RECOMMENDATION APPROVE DISAPPROVE

STAFF SPECIAL USE FINDING CONSISTENT NOT CONSISTENT.....WITH *MEBANE BY DESIGN*

RATIONALE

The proposed development “ABC - Mebane” is consistent with the guidance provided within *Mebane By Design*, the Mebane Comprehensive Land Development Plan. In particular, it meets the description and goals of the G-1 Downtown Mixed-Use Primary Growth Area and is consistent with Growth Management Goal 1.1. The applicant is proposing to construct a 5’ concrete sidewalk along the US 70 road frontage, which is inconsistent with the shared-use path recommended in the City’s *Bicycle and Pedestrian Transportation Plan* and *2040 Comprehensive Transportation Plan*. The project will provide an improved ABC Store in harmony with surrounding commercial uses.



Technical Memorandum

To: Ashley Ownbey, Planner

From: Franz Holt, P.E. City Engineer

Cc: George Retschle, P.E. Project Engineer

Subject: ABC Mebane

Date: April 7, 2021

The City Engineering Dept. has reviewed the Preliminary Site plans for ABC Mebane located on Hwy. 70 in Orange County dated April 2, 2021 as submitted by Ballentine Associates, P.A. and comments are as follows:

A. General

The project is sited on approximately 1.576 acres and includes the demolition of the existing ABC store and adjacent Metal Building to allow for the construction of a new 6,659 square foot ABC store with storage.

A 5' public sidewalk is to be constructed along Hwy. 70 road frontage. A 14' public easement adjacent to the existing right-of-way will be provided if existing right-of-way cannot accommodate the proposed sidewalk.

As the project proposes to have a net reduction in impervious surface no engineered storm water controls are required for the new ABC store.

B. Availability of city water and sewer

In regard to the Preliminary Site plans and in accordance with paragraph 7-4.3 A.3.a. in the UDO, this memo is provided to indicate that the preliminary water and sewer system layout has been reviewed and found acceptable meeting City standards based on the following:

1. Water system- Water service will be provided by Orange-Alamance Water System, Inc. through a relocated service which currently serves the existing facility.
2. Sanitary Sewer system – Existing septic system authorization has been authorized by the Orange County Health Department Environmental Health Division.

C. Watershed Overlay District and Phase II Storm water Requirements

1. Watershed Overlay District requirements are provided under Sec. 5.2 of the UDO. These requirements in the UDO are for the Back-Creek Watershed, which includes the Graham-Mebane Lake. The propose site is tributary to Haw Creek, a Class V watershed and the Watershed Overlay District requirements do not apply to this project. This type of watershed classification (Class V) does not have density restrictions or built upon restrictions as required for the Graham-Mebane Lake watershed.



2. Phase II Stormwater Post Construction Ordinance

Sec. 5.4 in the UDO provides standards for Stormwater Management and 5.4.F requires compliance with the Mebane Post Construction Runoff Ordinance (which is a stand-alone ordinance titled the Phase II Stormwater Post Construction Ordinance (SPCO)). The standards in the UDO are general standards as the Ordinance itself provides detailed standards.

The SPCO does apply to this project as more than one acre of land will be disturbed. However, the low density option will apply due to a reduction in net impervious surface. As such, no new engineered stormwater controls will be required.

D. Storm Drainage System

Sec. 5-4. D. in the UDO provides requirements for storm drainage systems. The preliminary site plans include a preliminary piping layout that indicates certain pipe locations, inlets, and discharge points.

E. Driveway Connections and Traffic Impact Analysis

1. Driveway Connections.

Site access will be from the existing access drive that connects to Hwy. 70. The location of the parking lot drive connection has been reduced to one ingress/egress point instead of two for customers. All customers will now turn left into the site closer to Hwy. 70. However, there is limited traffic on the access drive which makes this less likely to be an issue than if the access drive were a thru street. In addition, the proposed changes are acceptable to NCDOT.

2. Traffic Impact Analysis – A TIA was not required for this project.

F. Construction Plan Submittal

Sec. 7-6.7.A. in the UDO indicates that construction plans for all street facilities, including water and sewer facilities, shall be submitted following preliminary plat or site plan approval; therefore, construction plans are not required as a part of the site plan review. Appendix E which is included in the UDO is a Construction Document checklist which is to be provided at such time as construction plans are submitted after Site Plan approval.

Based on city engineering review of the referenced site plans, it is my opinion they are in substantial compliance with the UDO except as indicated herein.



AGENDA ITEM #5

RZ 21-04

Conditional Rezoning –
Lot 8A Deerfield Crossing

Presenter

Ashley Ownbey, Planner

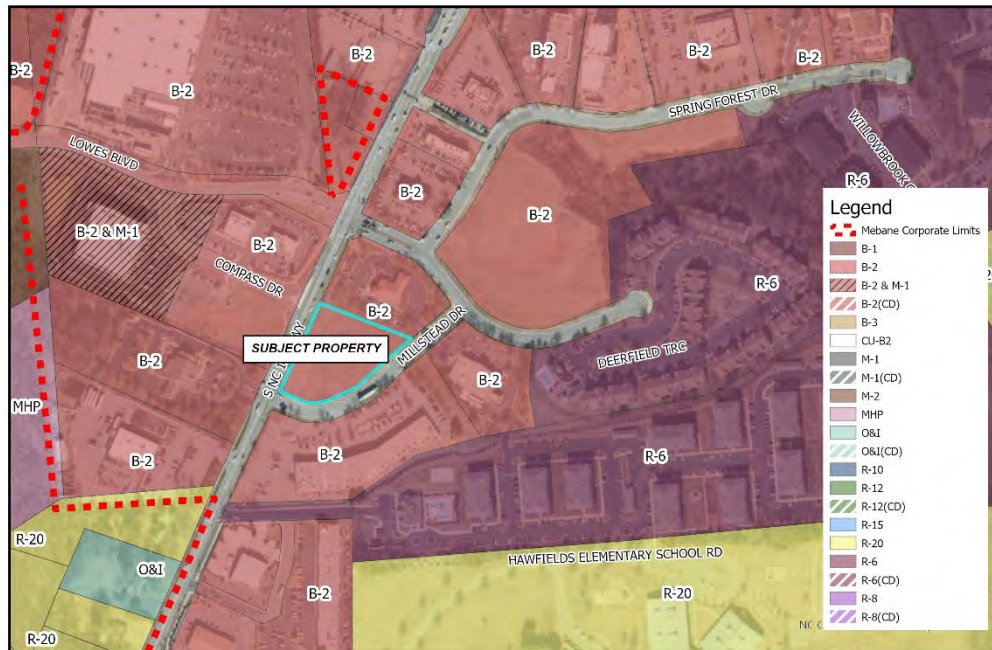
Applicant

Evans Street Four, LLC
c/o Meda Williams
27 Annette Drive
Suite 107
Benson, NC 27504

Public Hearing

Yes No

Zoning Map



Property

S NC Hwy 119 and
Millstead Drive

Alamance County
GPIN 9814121597

Proposed Zoning

B-2(CD)

Current Zoning

B-2

Size

+/- 1.48 Acres

Surrounding Zoning

B-2, R-6, R-20,
O&I, B-2 & M-1
(CD)

Surrounding Land Uses

Commercial
Residential, Office,
Shopping Center

Utilities

Present

Floodplain

No

Watershed

No

City Limits

Yes



CITY OF MEBANE
ZONING MAP

SUBJECT PROPERTY
LOT 8A DEERFIELD CROSSING

DATE: 03/29/2021

DRAWN BY: AO

1 Inch = 300 feet

Summary

Evans Street Four, LLC, is requesting a rezoning from B-2 (General Business) to B-2(CD) (General Business, Conditional District) to allow for a multi-tenant, neighborhood shopping center complying with development standards identified in the Mebane UDO 4-7.8.1 and allowing for the following otherwise restricted use: restaurant (with drive-through).

Financial Impact

N/A, though development of the property will enhance its assessed tax value.

Recommendation

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval.

The Technical Review Committee (TRC) has reviewed the site plan and the applicant has revised the plan to reflect the comments.

Suggested Motion

1. Motion to approve the B-2(CD) zoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. The request:
 - Is for a property within the City's G-4 Secondary Growth Area and is "...generally residential and commercial in nature..." (Mebane CLP, p.66); and
 - Satisfies Growth Management Goal 1.6: "Require that commercial development be pedestrian-friendly, supporting walking between differing land uses while also reducing parking requirements." (pp.17, 84)
3. Motion to **deny** the B-2(CD) rezoning as presented due to a lack of
 - a. Harmony with the surrounding zoning

OR

 - b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design* or any of the City's other adopted plans.

Attachments

1. Zoning Amendment Application
2. Zoning Map
3. Site Plan
4. Planning Project Report
5. Technical Memorandum – City Engineering Review



APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: Evans Street Four, LLC c/o Meda Williams

Address of Applicant: 27 Annette Drive, Suite 107, Benson NC 27504

Address and brief description of property to be rezoned: Lot 8A, Deerfield Crossing

Millstead Drive at the corner of Millstead and Hwy 119

Applicant's interest in property: (Owned, leased or otherwise) Property Owner

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes Explain: _____ No

Type of re-zoning requested: B-2 (CD)

Sketch attached: Yes No

Reason for the requested re-zoning: To allow for the use of a Neighborhood Shopping Center

with drive-thru and variance for building signs as shown on plans.

Signed: Meda Williams

Date: 3/23/21

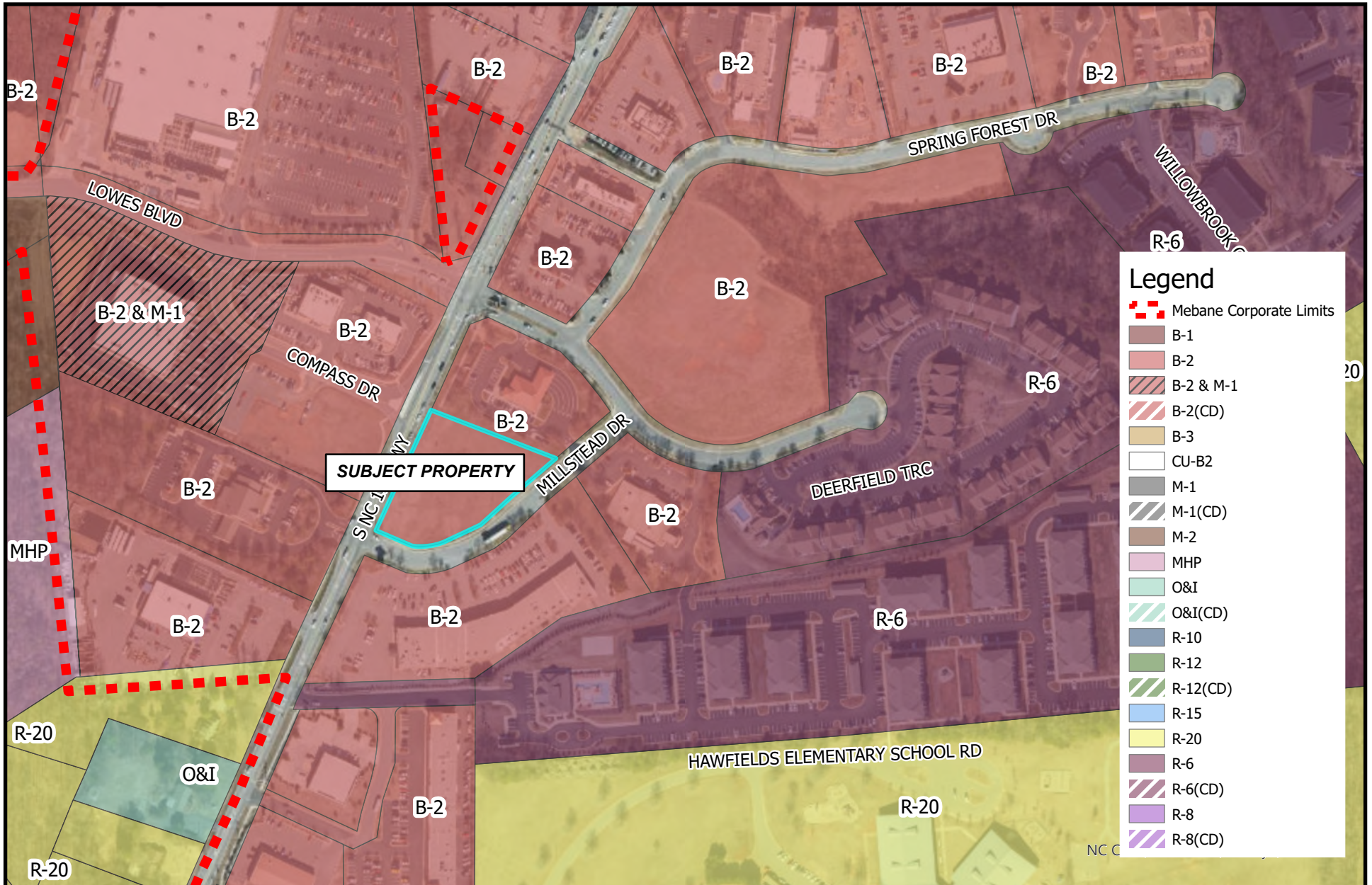
Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.



Legend	
	Mebane Corporate Limits
	B-1
	B-2
	B-2 & M-1
	B-2(CD)
	B-3
	CU-B2
	M-1
	M-1(CD)
	M-2
	MHP
	O&I
	O&I(CD)
	R-10
	R-12
	R-12(CD)
	R-15
	R-20
	R-6
	R-6(CD)
	R-8
	R-8(CD)



**CITY OF MEBANE
ZONING MAP**

**SUBJECT PROPERTY
LOT 8A DEERFIELD CROSSING**

1 inch = 300 feet

DATE: 03/29/2021

DRAWN BY: AO

SITE PLAN & CONDITIONAL REZONING PLAN FOR

LOT 8A DEERFIELD CROSSING

MILLSTEAD DR., MEBANE NORTH CAROLINA

ECE LEGEND	
NEW	EXISTING
PROPERTY LINE (P/L)	---
ADJACENT PROPERTY LINE	---
EASEMENT (ESMT)	---
SETBACK (S/B)	---
RIGHT-OF-WAY (R/W)	---
CENTERLINES (C/L)	---
CURB & GUTTER	---
EDGE OF PAVEMENT (EOP)	---
SIDEWALK	---
CREEK	---
CATCH BASIN (CB)	OR
YARD INLET (YI)	OR
STORM DRAINAGE JUNCTION BOX (JB)	OR
CURB INLET (CI)	OR
SANITARY SEWER MANHOLE (MH)	OR
SANITARY SEWER CLEANOUT (CO)	OR
METER BOX	OR
VALVE	OR
FIRE HYDRANT (FH)	OR
FIRE DEPARTMENT CONNECTION (FDC)	OR
LIGHT POLE (LP)	OR
UTILITY POLE (PP) & GUY WIRE	OR
CABLE TV LINE	OR
ELECTRIC LINE & TRANSFORMER	OR
FIBER OPTIC CABLE	OR
GAS LINE	OR
OVERHEAD UTILITY LINE	OR
SANITARY SEWER (SS)	OR
STORM DRAIN PIPE (SD)	OR
TELEPHONE	OR
WATER LINE (WL)	OR
GRADE CONTOUR	OR
FINISHED GRADE SPOT ELEVATION	OR
CLEARING LIMIT/TREE LINE	OR
LIMITS OF DISTURBANCE	OR
DITCH OR SWALE FLOWLINE	OR
TREE PROTECTION FENCE (TPF)	OR
SILT FENCE (SF)	OR
FENCE	OR
RIP RAP APRON	OR
CHECK DAM	OR
SEDIMENT FENCE OUTLET	OR
INLET PROTECTION	OR
CONCRETE MONUMENT / STONE FOUND	OR
	EXISTING IRON PIPE (EIP)
	EXISTING IRON ROD (EIR)
	IRON PIPE SET (IPS)
	PK NAIL SET (PKS)
	COMPUTED POINT (CP)



INDEX OF DRAWINGS:

- C1.0 COVER SHEET
- C2.0 EXISTING CONDITIONS & DEMOLITION PLAN
- C3.0 SITE PLAN
- C4.0 GRADING & STORM DRAINAGE PLAN
- C5.0 UTILITY PLAN
- C6.0 LIGHTING PLAN
- C7.0 LANDSCAPE PLAN
- ELEVATIONS WITH SIGN DETAILS
- COLOR ELEVATIONS

PROJECT INFORMATION & NOTES:

SITE ADDRESS: LOT 8A, DEERFIELD CROSSING, MILLSTEAD DRIVE, MEBANE, NC 27302

COUNTY: ALAMANCE
TOWNSHIP: MELVILLE
PIN#: 9814-12-1597
PARCEL ID#: 163546
OLD TAX ID#: 10-170-B
DEED REF: BK: 4003, PG: 0641
PLAT REF: BK: 068, PG: 0197

ZONING CODE: B-2 EXISTING, B-2 (CD) PROPOSED
ADJACENT ZONES: B-2 (ALL ADJACENT PROPERTIES)
SIZE: 1.53 ACRES (67,766 SF) BY SURVEY
 1.48 ACRES (64,486 SF) AFTER R/W DEDICATION

RIVER BASIN: CAPE FEAR RIVER BASIN
WATERSHED: NO OVERLAY
SOILS: CUB2 - CULLEN-URBAN LAND COMPLEX - GROUP B
FEMA: MAP PANEL #3710981-000K, EFFECTIVE 11/17/17
 NO FLOOD HAZARDS PRESENT

CURRENT USE: VACANT COMMERCIAL LAND
PROPOSED USE: NEIGHBORHOOD SHOPPING CENTER WITH DRIVE-THRU
PROPOSED FOOTPRINT: 6,900 SF MEASURED TO OUTSIDE WALL

FRONT YARD SETBACK: 40' MINIMUM
SIDE YARD SETBACK: 0' MINIMUM
REAR YARD SETBACK: 30' MINIMUM
BUILDING HEIGHT: 70' MAXIMUM

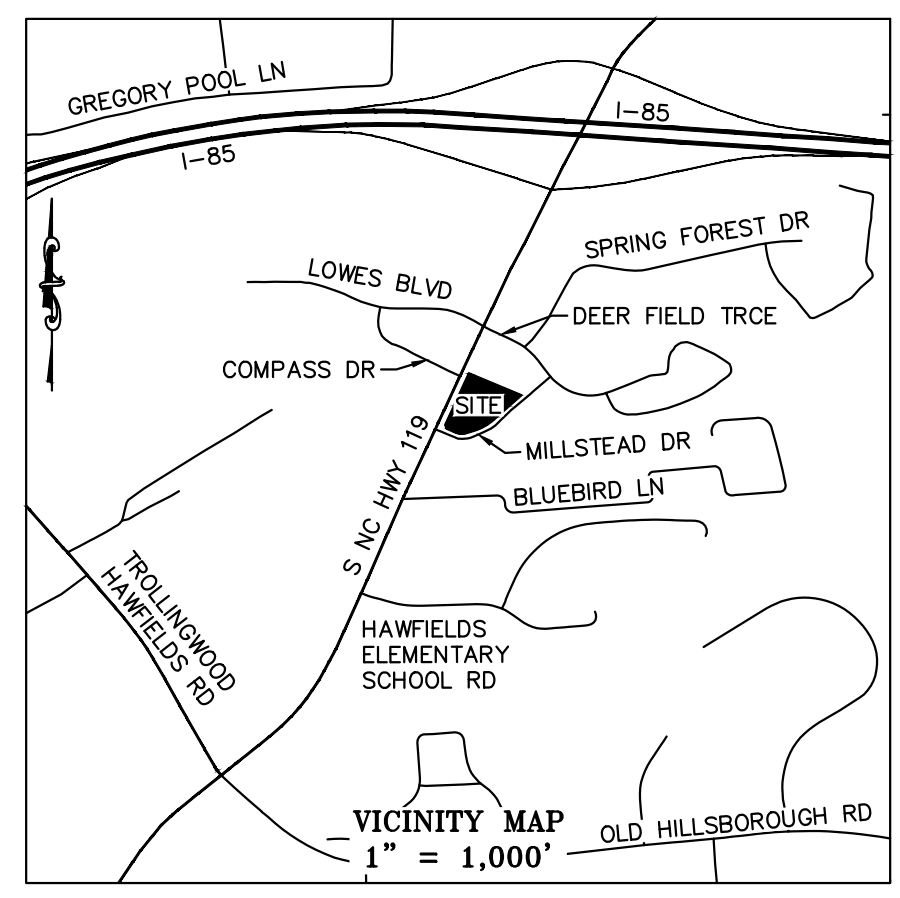
OPEN SPACE & FLOOR AREA RATIO:
MAXIMUM FAR: 0.30 (19,346 SF BASED ON LOT AREA OF 64,486 SF)
PROPOSED FAR: 0.11 (6,900 SF BUILDING)
REQUIRED OPEN SPACE: 12,897 SF (20% OF 64,486 SF)
PROPOSED OPEN SPACE: 28,950 SF OR 41.79%
 (ALL AREAS VEGETATIVE NON-IMPERVIOUS SURFACES)

LANDSCAPE & BUFFERING:
NORTH BUFFER: 20' TYPE "C" (PROPOSED)
STREETSCAPE: 10' STREETSCAPE, STARTS AFTER EASEMENTS (PROPOSED)

PARKING CALCULATIONS:
RESTAURANT (2,100 SF) 1/4 SEATS (56 SEATS ASSUMED) + 2/3 EMPLOYEES (9 EMPLOYEES ASSUMED) = 20
OFFICE OR RETAIL (4,800 SF) 1/225 SF (AVERAGE OF OFFICE REQUIREMENT AND RETAIL REQUIREMENT) = 21 SPACES
TOTAL HANDICAP SPACES REQUIRED = 2
HANDICAP VAN SPACES REQUIRED = 1

PARKING PROVIDED:
STANDARD 9'X19' PARKING SPACE = 45
9'X19' HANDICAP VAN SPACE = 2
TOTAL ALL PARKING SPACES = 47

AREA OF DISTURBANCE: TO BE DETERMINED WITH EROSION CONTROL PLAN SUBMITTAL
NCDEQ EROSION CONTROL PLAN REVIEW AND PERMIT REQUIRED PRIOR TO LAND DISTURBANCE.



CIVIL ENGINEER:
 CHARLES P. KOCH P.E.
 EARTHCENTRIC ENGINEERING, INC.
 204 WEST CLAY STREET
 MEBANE, NC 27302
 PHONE: 919-563-9041
 FAX: 919-304-3234
 PHIL.KOCH@EARTHCENTRIC.COM

SURVEYOR:
 ROBERT S. JONES (L-3939)
 R.S. JONES & ASSOCIATES INC. (C-2565)
 201 WEST CLAY STREET
 MEBANE, NC 27302
 PHONE: 919-563-3623
 FAX: 919-563-0086
 BOBBYJ@RSJONESANDASSOCIATES.COM

ARCHITECT:
 PLAGEMAN ARCHITECTURE
 408 SOUTH SPRING STREET
 BURLINGTON, NC 27215
 PHONE: 336-226-3933

OWNER/DEVELOPER:
 MEDA T. WILLIAMS
 EVANS STREET FOUR, LLC
 27 ANNETTE DRIVE
 SUITE 107
 BENSON, NC 27504
 MEDA@TILGHMANANDCO.COM

CALL BEFORE YOU DIG... IT'S THE LAW.
 CALL N.C. ONE-CALL(1-800-632-4949)
 FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST
 2 WORKING DAYS PRIOR TO BEGINNING GRADING OR TRENCHING.
 NORTH CAROLINA GENERAL STATUTE 87-102

APPROVAL STAMP

REV.	DATE	DESCRIPTION
1	05/01/21	PER CITY COMMENTS
2	03/25/21	PER CITY COMMENTS

DATE: DECEMBER 23, 2020

HORIZONTAL SCALE: 1"=150'
 VERTICAL SCALE: N/A

PROJECT MANAGER: CPK
 DRAWN BY: CPK
 PROJECT NO: 19-054
 DRAWING NAME: 19-054 WORKING

THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF EarthCentric Engineering, Inc. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF EarthCentric Engineering, Inc. IS PROHIBITED.

SHEET NO.
C1.0
 PRELIMINARY SITE PLAN

EarthCentric Engineering, Inc.
 License # C-2638

204 W. Clay Street
 Mebane, NC 27302
 Phone: (919) 563-9041
 Fax: (919) 304-3234
 E-Mail: Phil.Koch@EarthCentric.com

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

PRINCIPAL ENGINEER
 PHIL KOCH - NCPE #22634

LOT 8A DEERFIELD CROSSING
 MILLSTEAD DR., MEBANE NORTH CAROLINA

COVER SHEET

	NEW	EXISTING
PROPERTY LINE (P/L)	-----	-----
ADJACENT PROPERTY LINE	-----	-----
EASEMENT (ESMT)	-----	-----
SETBACK (S/B)	-----	-----
RIGHT-OF-WAY (R/W)	-----	-----
CENTERLINES (C/L)	-----	-----
CURB & GUTTER	-----	-----
EDGE OF PAVEMENT (EOP)	-----	-----
SIDEWALK	-----	-----
CREEK	-----	-----
CATCH BASIN (CB)	OR	OR
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STORM DRAINAGE JUNCTION BOX (JB)	OR	OR
CURB INLET (CI)	OR	OR
SANITARY SEWER MANHOLE (MH)	OR	OR
SANITARY SEWER CLEANOUT (CO)	OR	OR
METER BOX	OR	OR
VALVE	OR	OR
FIRE HYDRANT (FH)	OR	OR
FIRE DEPARTMENT CONNECTION (FDC)	OR	OR
LIGHT POLE (LP)	OR	OR
UTILITY POLE (PP) & GUY WIRE	OR	OR
CABLE TV LINE	OR	OR
ELECTRIC LINE & TRANSFORMER	OR	OR
FIBER OPTIC CABLE	OR	OR
GAS LINE	OR	OR
OVERHEAD UTILITY LINE	OR	OR
SANITARY SEWER (SS)	OR	OR
STORM DRAIN PIPE (SD)	OR	OR
TELEPHONE	OR	OR
WATER LINE (WL)	OR	OR
GRADE CONTOUR	400	400
FINISHED GRADE SPOT ELEVATION	356.44	356.44
CLEARING LIMIT/TREE LINE	-----	-----
LIMITS OF DISTURBANCE	-----	-----
DITCH OR SWALE FLOWLINE	-----	-----
TREE PROTECTION FENCE (TPF)	-----	-----
SILT FENCE (SF)	-----	-----
FENCE	-----	-----
RIP RAP APRON	OR	OR
CHECK DAM	OR	OR
SEDIMENT FENCE OUTLET	OR	OR
INLET PROTECTION	OR	OR
CONCRETE MONUMENT / STONE FOUND	OR	OR
	EXISTING IRON PIPE (EIP)	EXISTING IRON ROD (EIR)
	IRON PIPE SET (IPS)	PK NAIL SET (PKS)
	COMPUTED POINT (CP)	

CITY OF MEBANE GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS, CITY OF MEBANE STANDARD DETAILS AND CONSTRUCTION STANDARDS, STATE CONSTRUCTION STANDARDS, OSHA REGULATIONS AND OTHER APPLICABLE CONTRACT DOCUMENTS.
- A COPY OF THE CONSTRUCTION DRAWINGS BEARING THE APPROVAL STAMP FROM THE CITY OF MEBANE SHALL ALWAYS BE ON SITE AND AVAILABLE.
- MATERIAL SUBMITTALS TO BE APPROVED BY THE CITY OF MEBANE PRIOR TO ORDERING MATERIAL.
- MODIFICATION TO THE APPROVED DRAWINGS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER AND THE CITY OF MEBANE.
- PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS TO COMPLETE THE CONSTRUCTION SHOULD BE ACQUIRED AND FOLLOWED.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF MEBANE, OWNER/REP, PLANNING, EROSION CONTROL, GEOTECHNICAL ENGINEER, ALL SUB-CONTRACTORS, AND ENGINEER/REP.
- GEOTECHNICAL SPREADSHEET TO BE PROVIDED TO THE CITY PRIOR TO PRE-CONSTRUCTION MEETING FOR REVIEW. SPREADSHEET TO ACCOMPANY GEOTECHNICAL REPORTS.
- ALL SOIL WITHIN THE RIGHT OF WAY AND PUBLIC EASEMENTS SHALL BE COMPACTED TO CITY OF MEBANE SPECIFICATIONS. CITY REPRESENTATIVE TO BE NOTIFIED 24 HOURS IN ADVANCE AND GIVEN THE OPPORTUNITY TO BE PRESENT DURING GEOTECH TESTING.
- ALL UTILITY SEPARATIONS SHALL MEET THE REQUIREMENTS AS STATED IN THE CITY OF MEBANE CONSTRUCTION DOCUMENTS CHECKLIST. ALL UTILITY SEPARATIONS TO BE FIELD VERIFIED DURING INSTALLATION AND AS-INSTALLED SEPARATION LABELED ON AS-BUILT DRAWINGS. CONTRACTOR SHALL PROVIDE DESIGN ENGINEER VERIFICATION OF AS-INSTALLED SEPARATIONS TO BE INCLUDED ON AS-BUILT DRAWINGS SUBMITTED TO STATE.
- ALL WATER MAIN TO INCLUDE TWO FORMS OF RESTRAINT (MEGA-LUGS AND BLOCKING) AND CONFORM TO THE DISTANCES STATED IN DETAIL W-26.
- TESTING PROCEDURES PER CITY OF MEBANE STANDARDS AS FOLLOWS: WATER LINE - PRESSURE TEST, CHLORINATE, BAC-T. SANITARY SEWER - PRESSURE TEST, VACUUM TEST MANHOLES, MANDREL VIDEO. STORM SEWER - VIDEO. CONCRETE CYLINDERS EVERY 30 YARDS. ROADWAY - DENSITY AND PROOF ROLL. ASPHALT - CORES FOR BINDER, NUCLEAR DENSITY GAUGE TESTS ON FINAL LIFT.
- FOR ALL PROJECTS WHERE THE FINAL LIFT OF ASPHALT IS NOT ANTICIPATED PRIOR TO THE ONSET OF WINTER, ALL MANHOLES AND VALVE BOXES ARE TO BE ADJUSTED FLUSH WITH THE BINDER COURSE. THE FINAL ADJUSTMENT TO FINISH GRADE WILL NOT BE DONE UNTIL IMMEDIATELY PRIOR TO THE PLACEMENT OF THE FINAL LIFT OF SURFACE COURSE.
- CLASS III RCP SHALL HAVE A MINIMUM OF 3' OF COVER WITHIN THE ROW PER NCDOT REQUIREMENTS, WHERE 3' OF COVER IS NOT PROVIDED, CLASS IV RCP.
- ALL DRAINAGE SWALES SHALL HAVE A MINIMUM OF 1% SLOPE.
- ALL THIRD-PARTY UTILITIES TO ACQUIRE AN ENCROACHMENT AGREEMENT WITH THE CITY OF MEBANE PRIOR TO STARTING INSTALLATION.
- BORROW PIT LOCATIONS TO BE SURVEYED FOR IN FIELD VERIFICATION AND BE IDENTIFIED ON THE PLAN.
- UNDER ABSOLUTELY NO CIRCUMSTANCES SHALL ANY UNMANNED EXCAVATION BE LEFT OPEN OR UNPROTECTED DURING NON-WORKING HOURS. UTILIZE SIGNS, BARRICADES, ETC. TO ENSURE THE SAFETY OF THE GENERAL PUBLIC.
- WHEN STAKING WATER LINE, CURB RADIUS POINTS SHOULD ALSO BE STAKED TO ENSURE VALVES ARE PLACED OUTSIDE OF CURB LINE AND HANDICAP RAMP TRUNCATED DOMES.
- CONTRACTOR RESPONSIBLE FOR NOTIFYING THE CITY OF MEBANE AND THE DESIGN ENGINEER PRIOR TO TESTING WATER AND SEWER LINES TO COORDINATE SCHEDULING SINCE DESIGN ENGINEER WILL BE CERTIFYING AND MAY WANT TO WITNESS TESTING.
- CONTRACTOR TO SCHEDULE PUNCH LIST WALK THROUGH AFTER BINDER LIFT OF ASPHALT HAS BEEN INSTALLED.

ECE GENERAL NOTES:

- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY DATA SUPPLIED BY R. S. JONES AND ASSOCIATES, INC.
 - WORK WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS, NOTIFICATIONS, STANDARDS AND POLICIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL MEASURES FOR ALL WORK W/IN PUBLIC R/W PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND THE N.C. SUPPLEMENT TO THE MUTCD, AND LOCAL INSPECTORS DIRECTION.
 - ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS, LOCAL STANDARD DETAILS AND CONSTRUCTION STANDARDS, STATE CONSTRUCTION STANDARDS, AND OTHER APPLICABLE CONTRACT DOCUMENTS.
 - CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING ALL APPROPRIATE PARTIES AND ASSURING THAT UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CALL NC ONE CALL (PREVIOUSLY ULOCO) AT 1-800-632-4949 FOR UTILITY LOCATING SERVICES 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - UNDERGROUND UTILITIES SHOWN USING BEST AVAILABLE INFORMATION. ALL LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE MORE UNDERGROUND UTILITIES THAN ARE SHOWN HEREON. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES TO REMAIN DURING ALL DEMOLITION AND CONSTRUCTION ACTIVITIES.
 - ALL CLEARING, GRUBBING AND UNSUITABLE FILL MATERIAL SHALL BE DISPOSED OF LEGALLY.
 - ALL PAVEMENT, CURB, STORM DRAINAGE PIPE, AND STRUCTURES TO BE REMOVED SHALL BE HAULED OFFSITE AND DISPOSED OF LEGALLY.
 - SIGNAGE SHALL BE LOCATED AS SHOWN. SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL STANDARDS.
 - SITE LIGHTING SHALL AS SHOWN, AND SHALL BE SUFFICIENT TO PROPERLY ILLUMINATE THE SITE IN ACCORDANCE WITH LOCAL STANDARDS.
 - LANDSCAPING SHALL BE INSTALLED IN THE PROVIDED YARDS, IN ACCORDANCE WITH LOCAL STANDARDS.
 - NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERING, PARKED VEHICLES OR SIGNS BEHIND THE HEIGHT OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
- CONTRACTOR SHALL NOT MAKE ANY MODIFICATIONS TO THE APPROVED DRAWINGS WITHOUT PRIOR APPROVAL OF BOTH THE DESIGN ENGINEER AND LOCAL INSPECTOR.**

ECE GRADING & STORM DRAINAGE NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL CONSTRUCTION STANDARDS, SPECIFICATIONS, AND PROCEDURES AND THE NC DENR'S SEDIMENTATION AND EROSION CONTROL STANDARDS, SPECS., AND PROCEDURES.
- CONTRACTOR SHALL VERIFY THAT ALL APPLICABLE STATE AND LOCAL PERMITS REQUIRED FOR THE COMMENCEMENT OF GRADING OPERATIONS HAVE BEEN OBTAINED PRIOR TO START OF GRADING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING UTILITIES PRIOR TO THE BEGINNING OF DEMOLITION AND/OR CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES TO REMAIN DURING ALL CONSTRUCTION ACTIVITIES.
- ALL STORMWATER MANAGEMENT FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO MEET ALL STATE AND LOCAL REQUIREMENTS, INCLUDING THE STATE STANDARDS FOR WATER QUALITY AND DETENTION FACILITIES (CURRENT EDITION).
- EROSION CONTROL MEASURES ARE PERFORMANCE BASED AND SHALL BE PROVIDED PER THE EROSION CONTROL PLANS AND AS NEEDED TO PROTECT ADJACENT PROPERTIES.
- CONTRACTOR SHALL PROVIDE ALL STAKING, FLAGGING AND/OR FENCING NECESSARY TO PROVIDE PROPER PROTECTION OF ANY STREAM BUFFERS & OTHER WATER FEATURES.

PROJECT INFORMATION & NOTES:

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COUNTY: ALAMANCE
TOWNSHIP: MELVILLE
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PARCEL ID#: 163546
OLD TAX ID#: 10-170-8
DEED REF#: BK: 4003, PG: 0641
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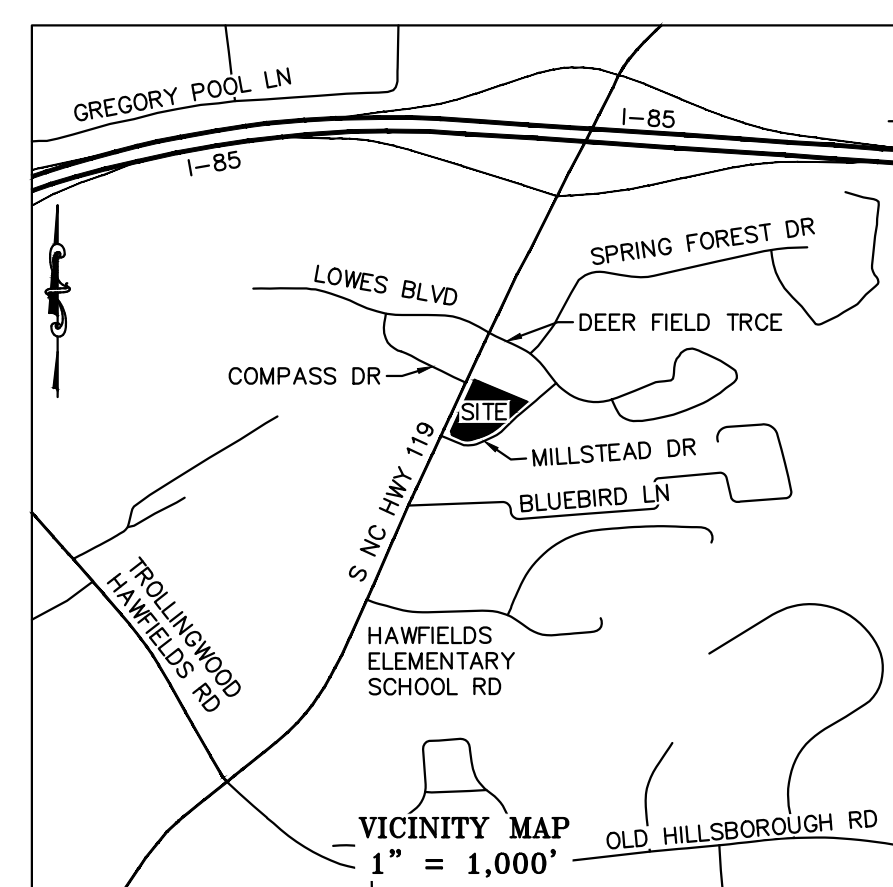
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PARKING PROVIDED:
STANDARD 9'X19' PARKING SPACE = 45
9'X19' HANDICAP VAN SPACE = 2
TOTAL ALL PARKING SPACES = 47

AREA OF DISTURBANCE: TO BE DETERMINED WITH EROSION CONTROL PLAN SUBMITTAL
NCDOT EROSION CONTROL PLAN REVIEW AND PERMIT REQUIRED PRIOR TO LAND DISTURBANCE.

PROPOSED IMPERVIOUS SURFACE		
LOT AREA AFTER R/W DEDICATION	64,486	SF
ROOF	7,000	SF
PARKING	26,859	SF
SIDEWALK	6,318	SF
TOTAL IMPERVIOUS AREA	40,177	SF
	62.30	%



CIVIL ENGINEER:
 CHARLES P. KOCH P.E.
 EARTHCENTRIC ENGINEERING, INC.
 204 WEST CLAY STREET
 MEBANE, NC 27302
 PHONE: 919-563-9041
 FAX: 919-304-3234
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SURVEYOR:
 ROBERT S. JONES (L-3939)
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**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

PRINCIPAL ENGINEER
 PHIL KOCH - NCPPE #22634

LOT 8A DEERFIELD CROSSING
 MILLSTEAD DR., MEBANE NORTH CAROLINA

COVER SHEET

REV.	DATE	DESCRIPTION
1	05/07/21	PER CITY COMMENTS
2	03/25/21	PER CITY COMMENTS

DATE: DECEMBER 23, 2020

HORIZONTAL SCALE:	1"=20'
VERTICAL SCALE:	NA
PROJECT MANAGER:	CPK
DRAWN BY:	CPK
PROJECT NO.:	19-254
DRAWING NAME:	19-054 WORKING

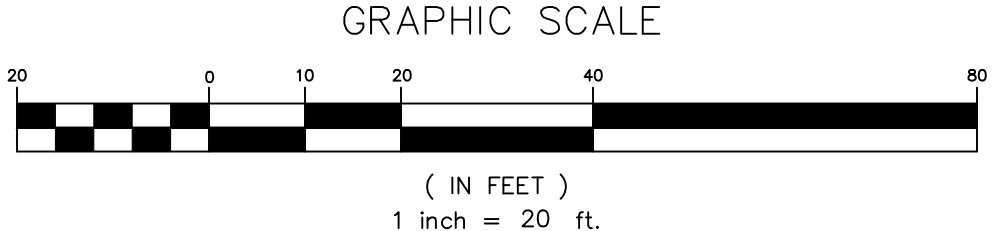
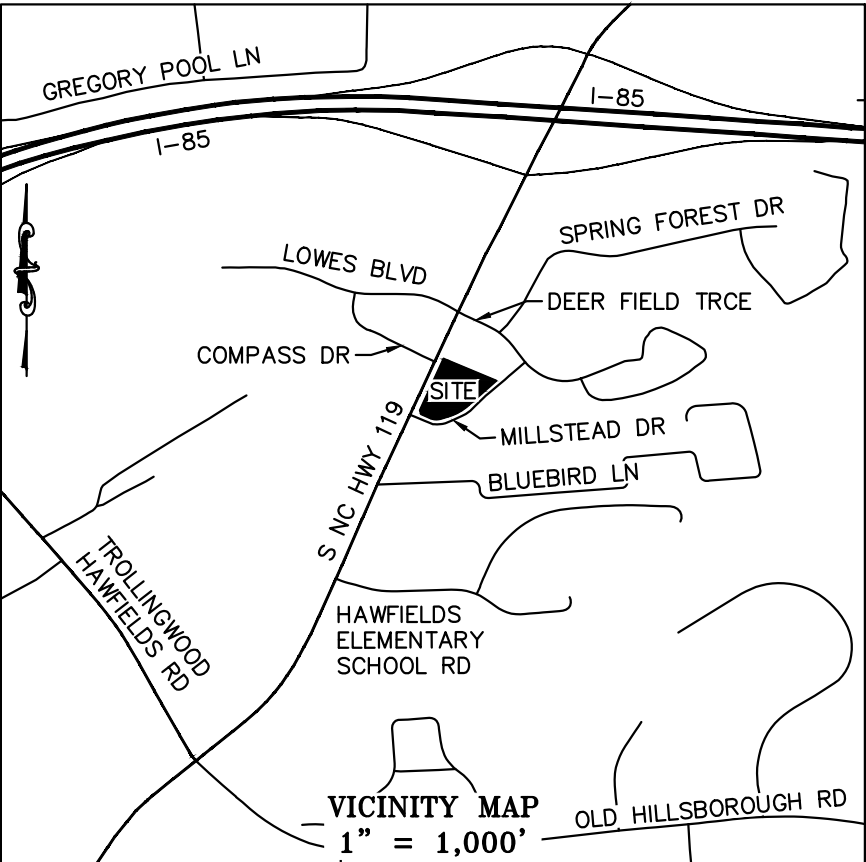
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CALL BEFORE YOU DIG... IT'S THE LAW.
 CALL N.C. ONE-CALL(1-800-632-4949)
 FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING GRADING OR TRENCHING.
 NORTH CAROLINA GENERAL STATUTE 87-102

SHEET NO.
C1.1
 PRELIMINARY SITE PLAN

CALL BEFORE YOU DIG... IT'S THE LAW. CALL N.C. ONE-CALL 811 (1-800-632-4949) FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING GRADING OR TRENCHING. NORTH CAROLINA GENERAL STATUTE ARTICLE 8A, 87-122



EarthCentric Engineering, Inc.
License # C-2638
204 W. Clay Street
Mebane, NC 27302
Phone: (919) 563-9041
Fax: (919) 304-9234
E-Mail: Phil.Koehn@EarthCentric.com

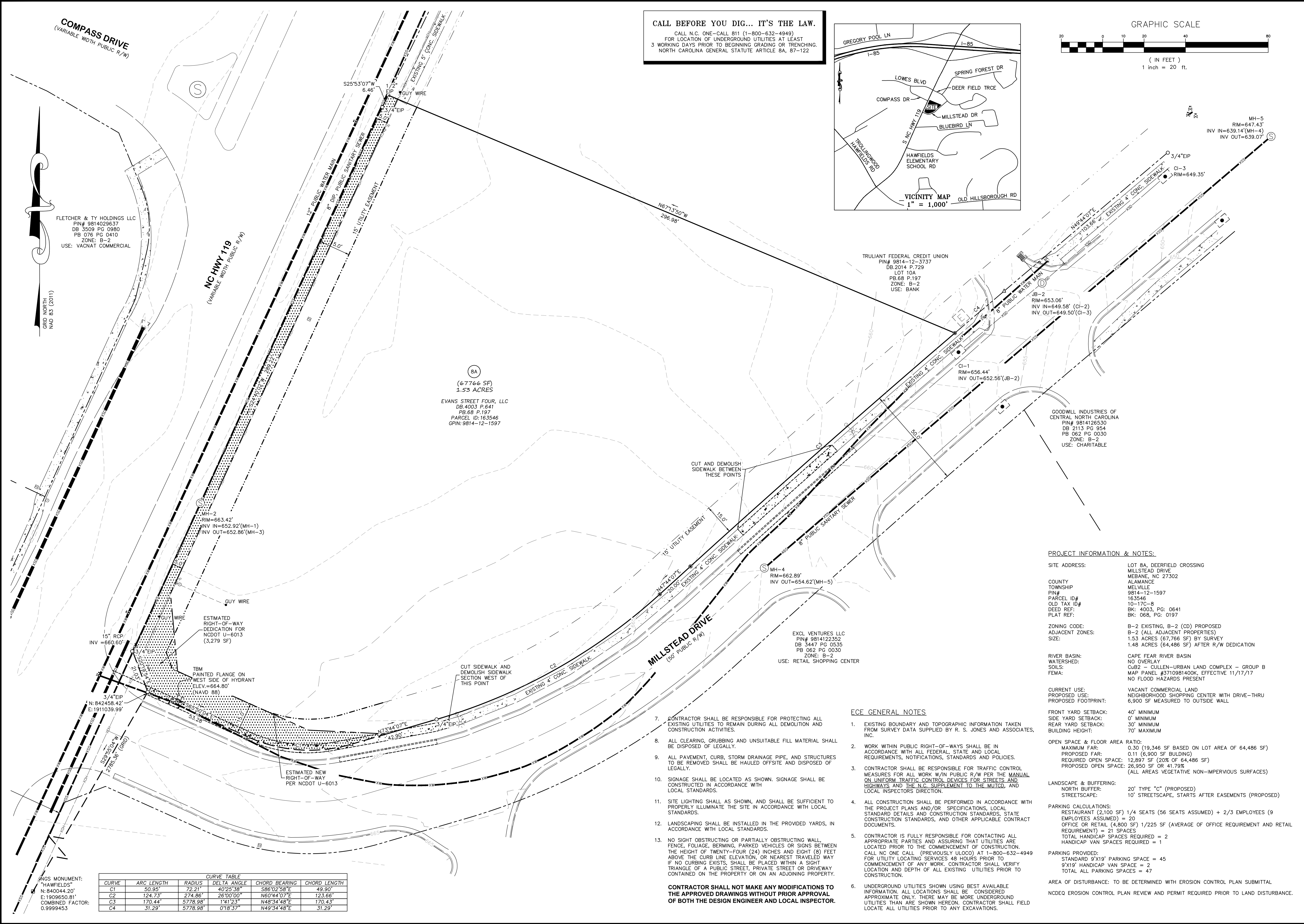
PRELIMINARY NOT FOR CONSTRUCTION
PRINCIPAL ENGINEER
PHIL KOECH - NCPE #22634

LOT 8A DEERFIELD CROSSING
MILLSTEAD DR., MEBANE NORTH CAROLINA
EXISTING CONDITIONS & DEMOLITION PLAN

REV.	DATE	DESCRIPTION	BY	SCS
1	03/01/21	PER CITY COMMENTS		SCS
2	03/25/21	PER CITY COMMENTS		SCS

DATE: DECEMBER 23, 2020
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: N/A
PROJECT MANAGER: CPK
DRAWN BY: CPK
PROJECT NO: 19-054
DRAWING NAME: 19-054 WORKING

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SHEET NO. C2.0
PRELIMINARY SITE PLAN



COMPASS DRIVE
(VARIABLE WIDTH PUBLIC R/W)

FLETCHER & TY HOLDINGS LLC
PIN# 9814029637
DB 3509 PG 0960
PB 076 PG 0410
ZONE: B-2
USE: VACNAT COMMERCIAL

NC HWY 119
(VARIABLE WIDTH PUBLIC R/W)

(67766 SF)
1.53 ACRES
EVANS STREET FOUR, LLC
DB 4003 P 641
PB 68 P 197
PARCEL ID: 163546
GPN: 9814-12-1597

TRULIANT FEDERAL CREDIT UNION
PIN# 9814-12-3737
DB 2014 P 729
LOT 10A
PB 68 P 197
ZONE: B-2
USE: BANK

GOODWILL INDUSTRIES OF
CENTRAL NORTH CAROLINA
PIN# 9814126530
DB 2113 PG 954
PB 062 PG 0030
ZONE: B-2
USE: CHARITABLE

EXL VENTURES LLC
PIN# 9814122352
DB 3447 PG 0535
PB 062 PG 0030
ZONE: B-2
USE: RETAIL SHOPPING CENTER

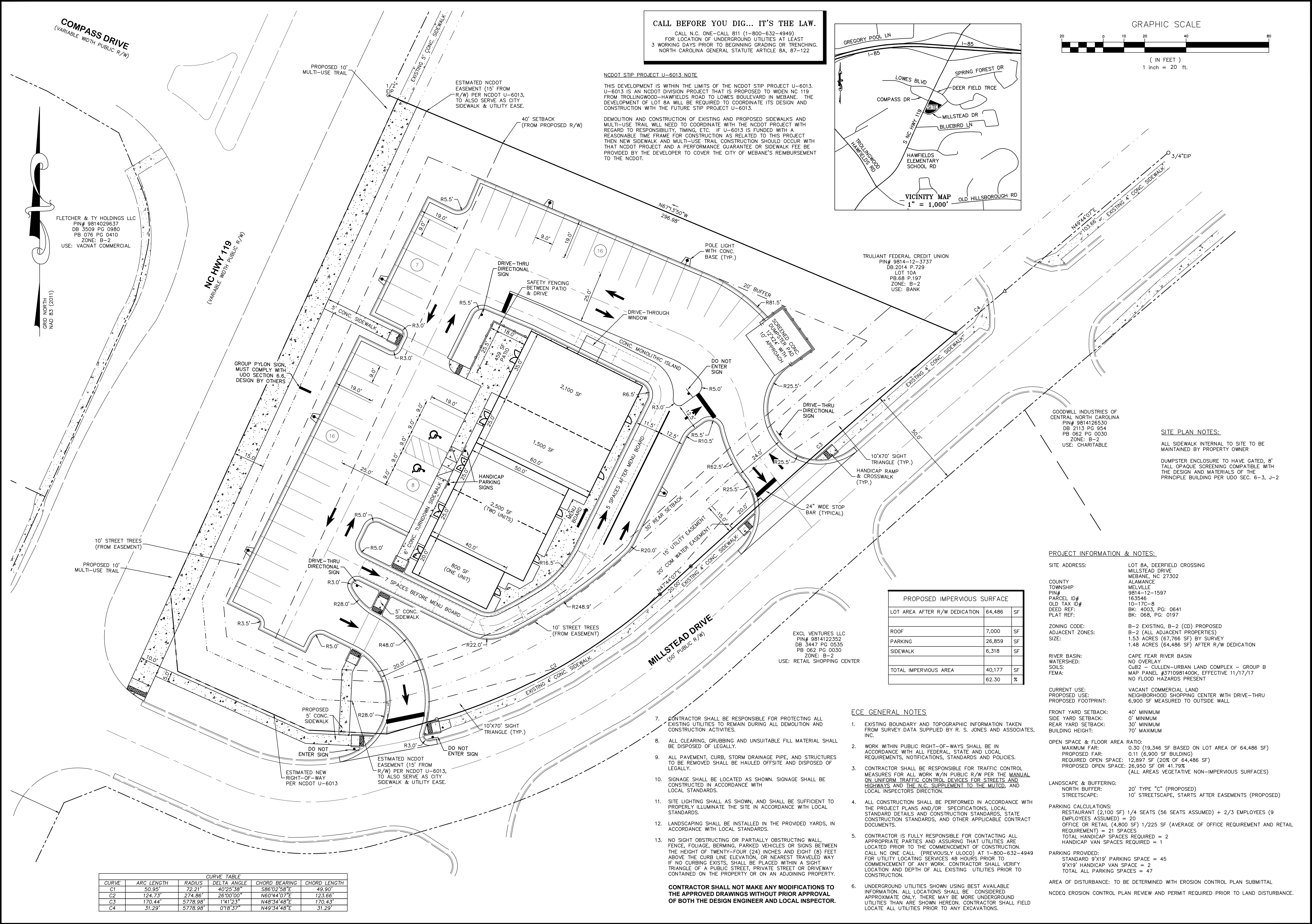
PROJECT INFORMATION & NOTES:

SITE ADDRESS: LOT 8A, DEERFIELD CROSSING
MILLSTEAD DRIVE
MEBANE, NC 27302
COUNTY: ALAMANCE
TOWNSHIP: MELVILLE
PIN#: 9814-12-1597
PARCEL ID#: 163546
OLD TAX ID#: 10-17C-8
DEED REF.: BK: 4003, PG: 0641
PLAT REF.: BK: 068, PG: 0197
ZONING CODE: B-2 EXISTING, B-2 (CD) PROPOSED
ADJACENT ZONES: B-2 (ALL ADJACENT PROPERTIES)
SIZE: 1.53 ACRES (67,766 SF) BY SURVEY
1.48 ACRES (64,486 SF) AFTER R/W DEDICATION
RIVER BASIN: CAPE FEAR RIVER BASIN
WATERSHED: NO OVERLAY
SOILS: CuB2 - CULLEN-URBAN LAND COMPLEX - GROUP B
MAP PANEL #3710981400K, EFFECTIVE 11/17/17
FEMA: NO FLOOD HAZARDS PRESENT
CURRENT USE: VACANT COMMERCIAL LAND
PROPOSED USE: NEIGHBORHOOD SHOPPING CENTER WITH DRIVE-THRU
PROPOSED FOOTPRINT: 6,900 SF MEASURED TO OUTSIDE WALL
FRONT YARD SETBACK: 40' MINIMUM
SIDE YARD SETBACK: 0' MINIMUM
REAR YARD SETBACK: 30' MINIMUM
BUILDING HEIGHT: 70' MAXIMUM
OPEN SPACE & FLOOR AREA RATIO:
MAXIMUM FAR: 0.30 (19,346 SF BASED ON LOT AREA OF 64,486 SF)
PROPOSED FAR: 0.11 (6,900 SF BUILDING)
REQUIRED OPEN SPACE: 12,897 SF (20% OF 64,486 SF)
PROPOSED OPEN SPACE: 26,950 SF OR 41.79%
(ALL AREAS VEGETATIVE NON-IMPERVIOUS SURFACES)
LANDSCAPE & BUFFERING:
NORTH BUFFER: 20' TYPE "C" (PROPOSED)
STREETSCAPE: 10' STREETSCAPE, STARTS AFTER EASEMENTS (PROPOSED)
PARKING CALCULATIONS:
RESTAURANT (2,100 SF) 1/4 SEATS (56 SEATS ASSUMED) + 2/3 EMPLOYEES (9 EMPLOYEES ASSUMED) = 20
OFFICE OR RETAIL (4,800 SF) 1/225 SF (AVERAGE OF OFFICE REQUIREMENT AND RETAIL REQUIREMENT) = 21 SPACES
TOTAL HANDICAP SPACES REQUIRED = 2
HANDICAP VAN SPACES REQUIRED = 1
PARKING PROVIDED:
STANDARD 8'X19' PARKING SPACE = 45
8'X19' HANDICAP VAN SPACE = 2
TOTAL ALL PARKING SPACES = 47
AREA OF DISTURBANCE: TO BE DETERMINED WITH EROSION CONTROL PLAN SUBMITTAL
NCDEQ EROSION CONTROL PLAN REVIEW AND PERMIT REQUIRED PRIOR TO LAND DISTURBANCE.

ECE GENERAL NOTES

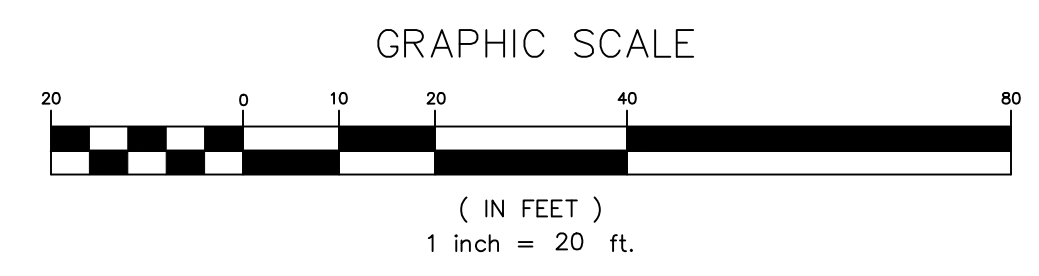
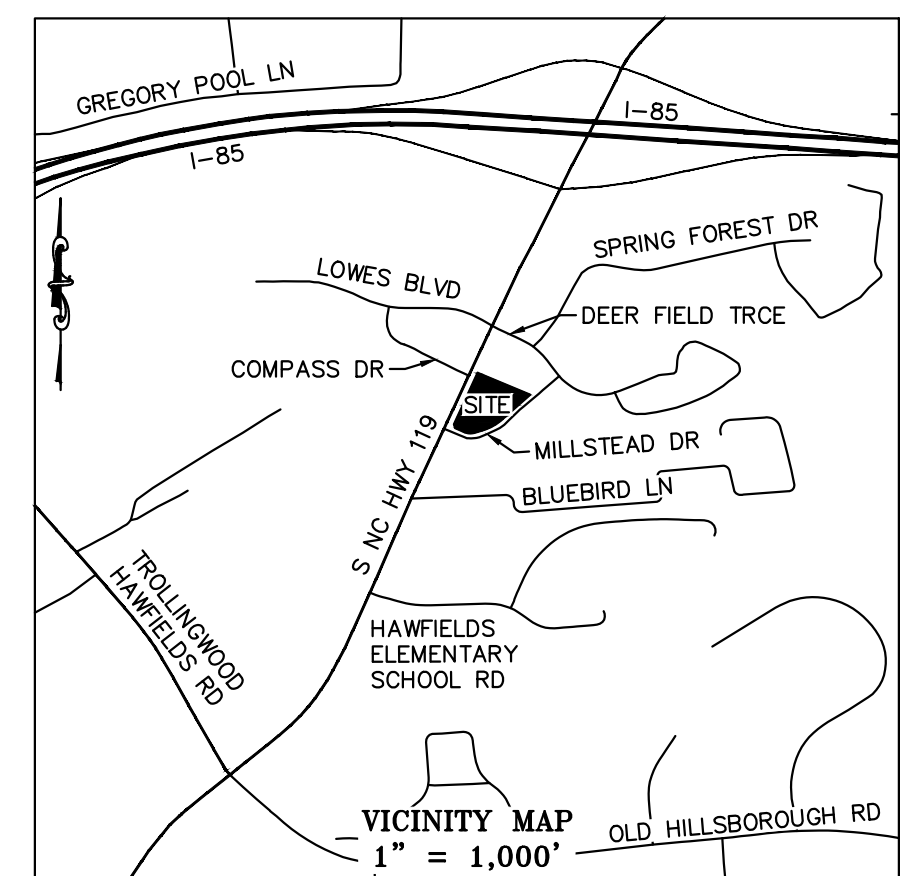
- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY DATA SUPPLIED BY R. S. JONES AND ASSOCIATES, INC.
 - WORK WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS, NOTIFICATIONS, STANDARDS AND POLICIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL MEASURES FOR ALL WORK W/IN PUBLIC R/W PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND THE N.C. SUPPLEMENT TO THE MUTCD, AND LOCAL INSPECTORS DIRECTION.
 - ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS, LOCAL STANDARD DETAILS AND CONSTRUCTION STANDARDS, STATE CONSTRUCTION STANDARDS, AND OTHER APPLICABLE CONTRACT DOCUMENTS.
 - CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING ALL APPROPRIATE PARTIES AND ASSURING THAT UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CALL NC ONE CALL (PREVIOUSLY ULOCO) AT 1-800-632-4949 FOR UTILITY LOCATING SERVICES 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
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- CONTRACTOR SHALL NOT MAKE ANY MODIFICATIONS TO THE APPROVED DRAWINGS WITHOUT PRIOR APPROVAL OF BOTH THE DESIGN ENGINEER AND LOCAL INSPECTOR.**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	50.95'	72.21'	40°23'38"	S86°02'58"E	49.90'
C2	124.73'	274.86'	26°00'00"	N60°44'07"E	123.66'
C3	170.44'	5778.98'	1°41'23"	N48°34'48"E	170.43'
C4	31.29'	5778.98'	0°18'37"	N49°34'48"E	31.29'



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 3 WORKING DAYS PRIOR TO BEGINNING GRADING OR TRENCHING.
 NORTH CAROLINA GENERAL STATUTE ARTICLE 8A, 87-122

NCDOT STIP PROJECT U-6013 NOTE
 THIS DEVELOPMENT IS WITHIN THE LIMITS OF THE NCDOT STIP PROJECT U-6013. U-6013 IS AN NCDOT DIVISION PROJECT THAT IS PROPOSED TO WIDEN NC 119 FROM TROLLINGWOOD-HAWFIELDS ROAD TO LOWES BOULEVARD IN MEBANE. THE DEVELOPMENT OF LOT 8A WILL BE REQUIRED TO COORDINATE ITS DESIGN AND CONSTRUCTION WITH THE FUTURE STIP PROJECT U-6013.
 DEMOLITION AND CONSTRUCTION OF EXISTING AND PROPOSED SIDEWALKS AND MULTI-USE TRAIL WILL NEED TO COORDINATE WITH THE NCDOT PROJECT WITH REGARD TO RESPONSIBILITY, TIMING, ETC. IF U-6013 IS FUNDED WITH A REASONABLE TIME FRAME FOR CONSTRUCTION AS RELATED TO THIS PROJECT THEN NEW SIDEWALK AND MULTI-USE TRAIL CONSTRUCTION SHOULD OCCUR WITH THAT NCDOT PROJECT AND A PERFORMANCE GUARANTEE OR SIDEWALK FEE BE PROVIDED BY THE DEVELOPER TO COVER THE CITY OF MEBANE'S REIMBURSEMENT TO THE NCDOT.



FLETCHER & TY HOLDINGS LLC
 PIN# 9814029637
 DB 3509 PG 0960
 PB 076 PG 0410
 ZONE: B-2
 USE: VACNAT COMMERCIAL

NC HWY 119
 (VARIABLE WIDTH PUBLIC R/W)

TRULIANT FEDERAL CREDIT UNION
 PIN# 9814-12-3737
 DB 2014 P.729
 LOT 10A
 PB.68 P.197
 ZONE: B-2
 USE: BANK

GOODWILL INDUSTRIES OF
 CENTRAL NORTH CAROLINA
 PIN# 9814126530
 DB 2113 PG 954
 PB 062 PG 0030
 ZONE: B-2
 USE: CHARITABLE

SITE PLAN NOTES:
 ALL SIDEWALK INTERNAL TO SITE TO BE MAINTAINED BY PROPERTY OWNER
 DUMPSTER ENCLOSURE TO HAVE GATED, 8' TALL OPAQUE SCREENING COMPATIBLE WITH THE DESIGN AND MATERIALS OF THE PRINCIPLE BUILDING PER UDO SEC. 6-3, J-2

PROPOSED IMPERVIOUS SURFACE	
LOT AREA AFTER R/W DEDICATION	64,486 SF
ROOF	7,000 SF
PARKING	26,859 SF
SIDEWALK	6,318 SF
TOTAL IMPERVIOUS AREA	40,177 SF
	62.30 %

PROJECT INFORMATION & NOTES:

SITE ADDRESS: LOT 8A, DEERFIELD CROSSING
 MILLSTEAD DRIVE
 MEBANE, NC 27302
COUNTY: ALAMANCE
TOWNSHIP: MELVILLE
PIN#: 9814-12-1597
PARCEL ID#: 163546
OLD TAX ID#: 10-17C-8
DEED REF.: BK: 4003, PG: 0641
PLAT REF.: BK: 068, PG: 0197
ZONING CODE: B-2 EXISTING, B-2 (CD) PROPOSED
ADJACENT ZONES: B-2 (ALL ADJACENT PROPERTIES)
SIZE: 1.53 ACRES (67,766 SF) BY SURVEY
 1.48 ACRES (64,486 SF) AFTER R/W DEDICATION
RIVER BASIN: CAPE FEAR RIVER BASIN
WATERSHED: NO OVERLAY
SOILS: CuB2 - CULLEN-URBAN LAND COMPLEX - GROUP B
MAP PANEL: #3710981400K, EFFECTIVE 11/17/17
FEMA: NO FLOOD HAZARDS PRESENT
CURRENT USE: VACANT COMMERCIAL LAND
PROPOSED USE: NEIGHBORHOOD SHOPPING CENTER WITH DRIVE-THRU
PROPOSED FOOTPRINT: 6,900 SF MEASURED TO OUTSIDE WALL
FRONT YARD SETBACK: 40' MINIMUM
SIDE YARD SETBACK: 0' MINIMUM
REAR YARD SETBACK: 30' MINIMUM
BUILDING HEIGHT: 70' MAXIMUM
OPEN SPACE & FLOOR AREA RATIO:
 MAXIMUM FAR: 0.30 (19,346 SF BASED ON LOT AREA OF 64,486 SF)
 PROPOSED FAR: 0.11 (6,900 SF BUILDING)
 REQUIRED OPEN SPACE: 12,897 SF (20% OF 64,486 SF)
 PROPOSED OPEN SPACE: 26,950 SF OR 41.79%
 (ALL AREAS VEGETATIVE NON-IMPERVIOUS SURFACES)
LANDSCAPE & BUFFERING:
NORTH BUFFER: 20' TYPE "C" (PROPOSED)
STREETSCAPE: 10' STREETSCAPE, STARTS AFTER EASEMENTS (PROPOSED)
PARKING CALCULATIONS:
 RESTAURANT (2,100 SF) = 1/4 SEATS (56 SEATS ASSUMED) + 2/3 EMPLOYEES (9 EMPLOYEES ASSUMED) = 20
 OFFICE OR RETAIL (4,800 SF) 1/225 SF (AVERAGE OF OFFICE REQUIREMENT AND RETAIL REQUIREMENT) = 21 SPACES
 TOTAL HANDICAP SPACES REQUIRED = 2
 HANDICAP VAN SPACES REQUIRED = 1
PARKING PROVIDED:
 STANDARD 8'X19' PARKING SPACE = 45
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AREA OF DISTURBANCE: TO BE DETERMINED WITH EROSION CONTROL PLAN SUBMITTAL
NCDOT EROSION CONTROL PLAN REVIEW AND PERMIT REQUIRED PRIOR TO LAND DISTURBANCE.

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CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	50.95'	72.21'	40°23'38"	S86°02'58"E	49.90'
C2	124.73'	274.86'	26°00'00"	N60°44'07"E	123.66'
C3	170.44'	5778.98'	1°41'23"	N48°34'48"E	170.43'
C4	31.29'	5778.98'	0°18'37"	N49°34'48"E	31.29'

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PRELIMINARY NOT FOR CONSTRUCTION
 PRINCIPAL ENGINEER
 PHIL KOCH - NCPE #22634

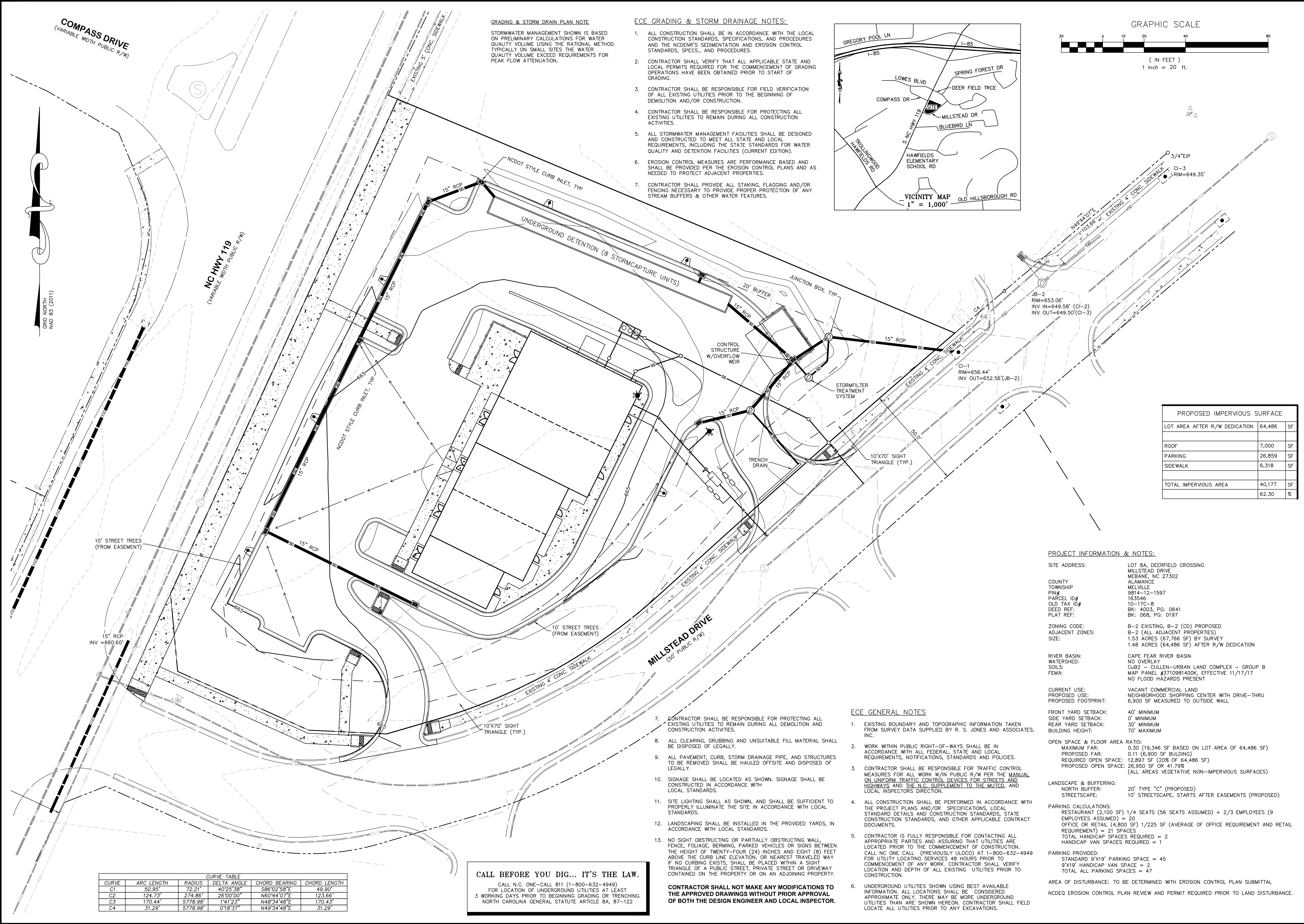
LOT 8A DEERFIELD CROSSING
 MILLSTEAD DR., MEBANE NORTH CAROLINA
SITE PLAN

REV.	DATE	DESCRIPTION	BY	CS
1	05/01/21	PER CITY COMMENTS	SCS	SCS
2	03/25/21	PER CITY COMMENTS	SCS	SCS

DATE: DECEMBER 23, 2020
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: NA
 PROJECT MANAGER: CPK
 DRAWN BY: CPK
 PROJECT NO: 19-254
 DRAWING NAME: 19-054 WORKING

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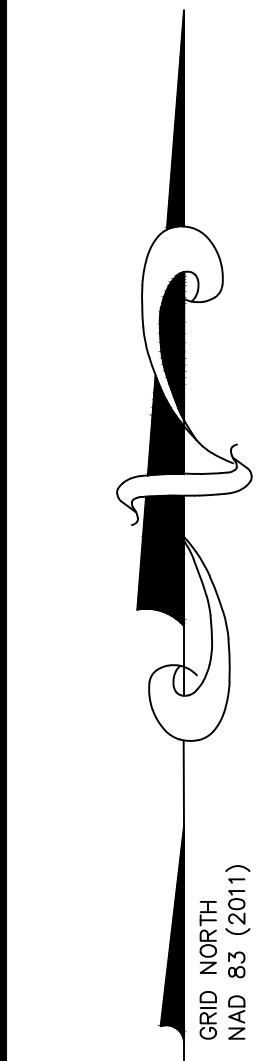
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SHEET NO. C3.0
 PRELIMINARY SITE PLAN



COMPASS DRIVE
(VARIABLE WIDTH PUBLIC R/W)

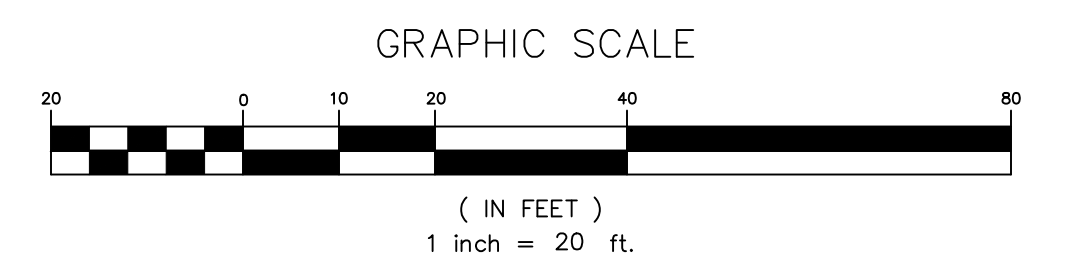
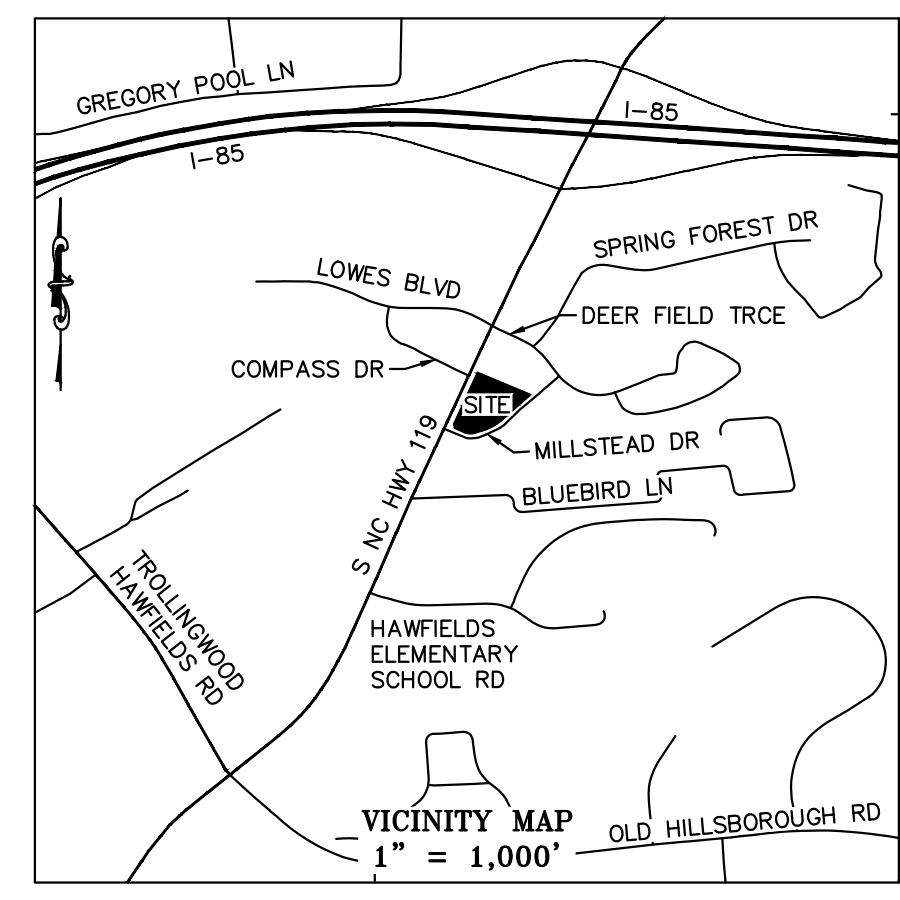
NC HWY 119
(VARIABLE WIDTH PUBLIC R/W)

MILLSTEAD DRIVE
(50' PUBLIC R/W)



GRADING & STORM DRAIN PLAN NOTE
STORMWATER MANAGEMENT SHOWN IS BASED ON PRELIMINARY CALCULATIONS FOR WATER QUALITY VOLUME USING THE RATIONAL METHOD. TYPICALLY ON SMALL SITES THE WATER QUALITY VOLUME EXCEED REQUIREMENTS FOR PEAK FLOW ATTENUATION.

- ECE GRADING & STORM DRAINAGE NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL CONSTRUCTION STANDARDS, SPECIFICATIONS, AND PROCEDURES AND THE NCDENR'S SEDIMENTATION AND EROSION CONTROL STANDARDS, SPECS., AND PROCEDURES.
 2. CONTRACTOR SHALL VERIFY THAT ALL APPLICABLE STATE AND LOCAL PERMITS REQUIRED FOR THE COMMENCEMENT OF GRADING OPERATIONS HAVE BEEN OBTAINED PRIOR TO START OF GRADING.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING UTILITIES PRIOR TO THE BEGINNING OF DEMOLITION AND/OR CONSTRUCTION.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES TO REMAIN DURING ALL CONSTRUCTION ACTIVITIES.
 5. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO MEET ALL STATE AND LOCAL REQUIREMENTS, INCLUDING THE STATE STANDARDS FOR WATER QUALITY AND DETENTION FACILITIES (CURRENT EDITION).
 6. EROSION CONTROL MEASURES ARE PERFORMANCE BASED AND SHALL BE PROVIDED PER THE EROSION CONTROL PLANS AND AS NEEDED TO PROTECT ADJACENT PROPERTIES.
 7. CONTRACTOR SHALL PROVIDE ALL STAKING, FLAGGING AND/OR FENCING NECESSARY TO PROVIDE PROPER PROTECTION OF ANY STREAM BUFFERS & OTHER WATER FEATURES.



PROPOSED IMPERVIOUS SURFACE	
LOT AREA AFTER R/W DEDICATION	64,486 SF
ROOF	7,000 SF
PARKING	26,859 SF
SIDEWALK	6,318 SF
TOTAL IMPERVIOUS AREA	40,177 SF
	62.30 %

PROJECT INFORMATION & NOTES:

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MILLSTEAD DRIVE
MEBANE, NC 27302

COUNTY: ALAMANCE
TOWNSHIP: MELVILLE
PIN#: 9814-12-1597
PARCEL ID#: 163546
OLD TAX ID#: 10-17C-8
DEED REF.: BK: 4003, PG: 0641
PLAT REF.: BK: 068, PG: 0197

ZONING CODE: B-2 EXISTING, B-2 (CD) PROPOSED
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SOILS: CuB2 - CULLEN-URBAN LAND COMPLEX - GROUP B
FEMA: MAP PANEL #3710981400K, EFFECTIVE 11/17/17
NO FLOOD HAZARDS PRESENT

CURRENT USE: VACANT COMMERCIAL LAND
PROPOSED USE: NEIGHBORHOOD SHOPPING CENTER WITH DRIVE-THRU
PROPOSED FOOTPRINT: 6,900 SF MEASURED TO OUTSIDE WALL

FRONT YARD SETBACK: 40' MINIMUM
SIDE YARD SETBACK: 0' MINIMUM
REAR YARD SETBACK: 30' MINIMUM
BUILDING HEIGHT: 70' MAXIMUM

OPEN SPACE & FLOOR AREA RATIO:
MAXIMUM FAR: 0.30 (19,346 SF BASED ON LOT AREA OF 64,486 SF)
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(ALL AREAS VEGETATIVE NON-IMPERVIOUS SURFACES)

LANDSCAPE & BUFFERING:
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STREETSCAPE: 10' STREETSCAPE, STARTS AFTER EASEMENTS (PROPOSED)

PARKING CALCULATIONS:
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OFFICE OR RETAIL (4,800 SF) 1/225 SF (AVERAGE OF OFFICE REQUIREMENT AND RETAIL REQUIREMENT) = 21 SPACES
TOTAL HANDICAP SPACES REQUIRED = 2
HANDICAP VAN SPACES REQUIRED = 1

PARKING PROVIDED:
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5'X18' HANDICAP VAN SPACE = 2
TOTAL ALL PARKING SPACES = 47

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CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	50.95'	72.21'	40°23'38"	S86°02'58"E	49.30'
C2	124.73'	274.86'	26°00'00"	N60°44'07"E	123.66'
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FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING GRADING OR TRENCHING.
NORTH CAROLINA GENERAL STATUTE ARTICLE 8A, 87-122

7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES TO REMAIN DURING ALL DEMOLITION AND CONSTRUCTION ACTIVITIES.
 8. ALL CLEARING, GRUBBING AND UNSUITABLE FILL MATERIAL SHALL BE DISPOSED OF LEGALLY.
 9. ALL PAVEMENT, CURB, STORM DRAINAGE PIPE, AND STRUCTURES TO BE REMOVED SHALL BE HAULED OFFSITE AND DISPOSED OF LEGALLY.
 10. SIGNAGE SHALL BE LOCATED AS SHOWN. SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL STANDARDS.
 11. SITE LIGHTING SHALL AS SHOWN, AND SHALL BE SUFFICIENT TO PROPERLY ILLUMINATE THE SITE IN ACCORDANCE WITH LOCAL STANDARDS.
 12. LANDSCAPING SHALL BE INSTALLED IN THE PROVIDED YARDS, IN ACCORDANCE WITH LOCAL STANDARDS.
 13. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGNS BETWEEN THE HEIGHT OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR NEAREST TRAVELED WAY, IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
- CONTRACTOR SHALL NOT MAKE ANY MODIFICATIONS TO THE APPROVED DRAWINGS WITHOUT PRIOR APPROVAL OF BOTH THE DESIGN ENGINEER AND LOCAL INSPECTOR.**

ECE GENERAL NOTES

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5. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING ALL APPROPRIATE PARTIES AND ASSURING THAT UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CALL NC ONE CALL (PREVIOUSLY ULOCO) AT 1-800-632-4949 FOR UTILITY LOCATING SERVICES 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
6. UNDERGROUND UTILITIES SHOWN USING BEST AVAILABLE INFORMATION. ALL LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE MORE UNDERGROUND UTILITIES THAN ARE SHOWN HEREON. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATIONS.

EarthCentric Engineering, Inc.
License # C-2638



204 W. Clay Street
Mebane, NC 27302
Phone: (919) 563-9041
Fax: (919) 304-9234
E-Mail: Phil.Koehn@EarthCentric.com

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PRINCIPAL ENGINEER
PHIL KOECH - NCPPE #22634

LOT 8A DEERFIELD CROSSING
MILLSTEAD DR., MEBANE NORTH CAROLINA

**GRADING & STORM
DRAINAGE PLAN**

REV.	DATE	DESCRIPTION	BY	CS
1	05/01/21	PER CITY COMMENTS	SCS	SCS
2	03/25/21	PER CITY COMMENTS	SCS	SCS

DATE: DECEMBER 23, 2020
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: N/A
PROJECT MANAGER: CPK
DRAWN BY: CPK
PROJECT NO: 19-254
DRAWING NAME: 19-054 WORKING

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SHEET NO.
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PRELIMINARY SITE PLAN



EarthCentric Engineering, Inc.
License # C-2638

204 W. Clay Street
Mebane, NC 27302
Phone: (919) 563-9041
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E-Mail: Phil.Koch@EarthCentric.com

PRELIMINARY
NOT FOR
CONSTRUCTION

PRINCIPAL ENGINEER
PHIL KOCH - NCPE #22634

LOT 8A DEERFIELD CROSSING

MILLSTEAD DR., MEBANE NORTH CAROLINA

UTILITY PLAN

REV.	DATE	DESCRIPTION	BY	SCS
1	03/01/21	PER CITY COMMENTS		SCS
2	03/25/21	PER CITY COMMENTS		SCS

DATE: DECEMBER 23, 2020
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: N/A
 PROJECT MANAGER: CPK
 DRAWN BY: CPK
 PROJECT NO: 19-054
 DRAWING NAME: 19-054 WORKING

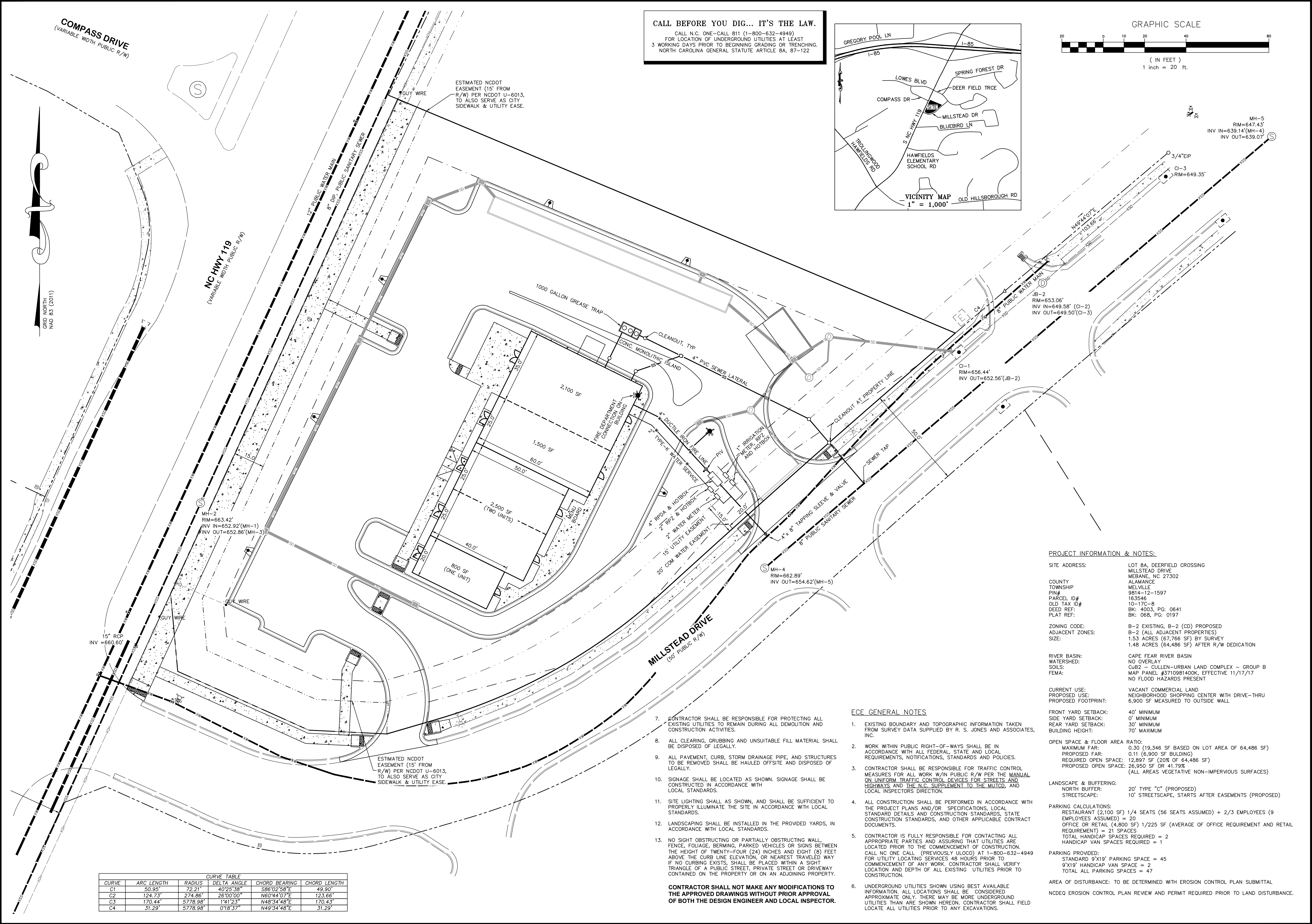
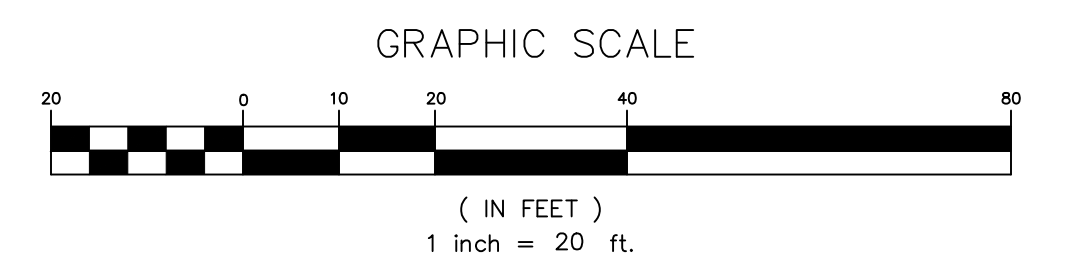
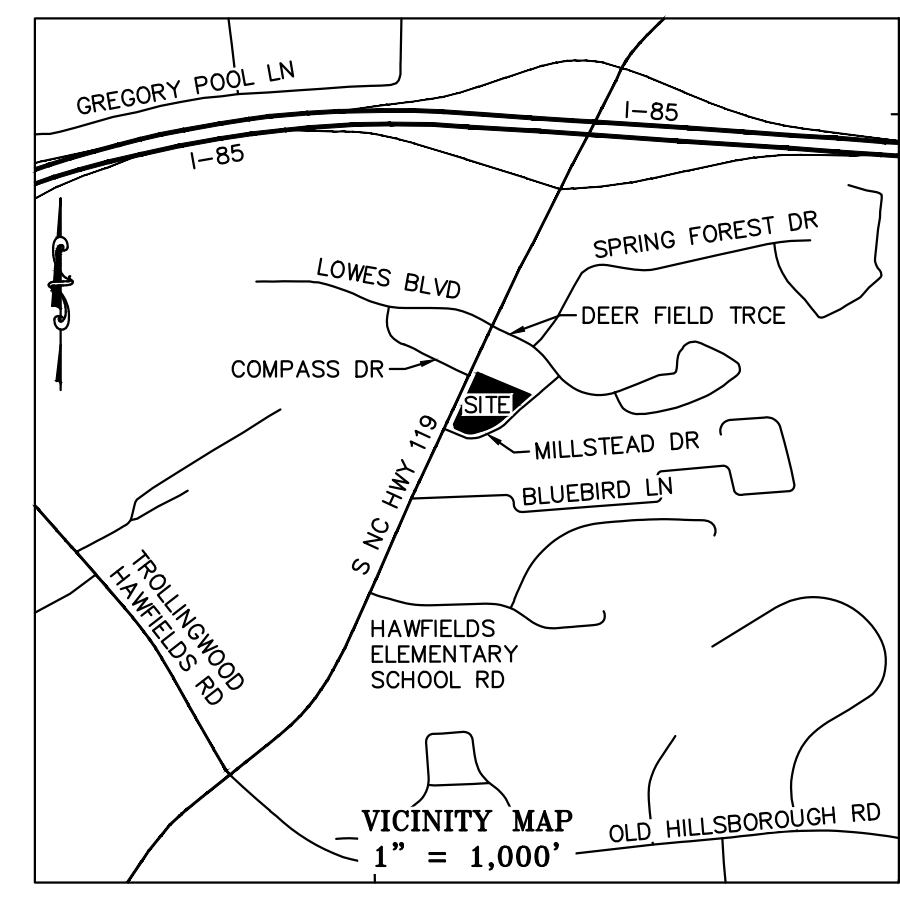
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PRELIMINARY SITE PLAN

CALL BEFORE YOU DIG... IT'S THE LAW.
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 FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST
 3 WORKING DAYS PRIOR TO BEGINNING GRADING OR TRENCHING.
 NORTH CAROLINA GENERAL STATUTE ARTICLE 8A, 87-122



- ECE GENERAL NOTES**
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- CONTRACTOR SHALL NOT MAKE ANY MODIFICATIONS TO THE APPROVED DRAWINGS WITHOUT PRIOR APPROVAL OF BOTH THE DESIGN ENGINEER AND LOCAL INSPECTOR.**

PROJECT INFORMATION & NOTES:

SITE ADDRESS: LOT 8A, DEERFIELD CROSSING
 MILLSTEAD DRIVE
 MEBANE, NC 27302

COUNTY: ALAMANCE
TOWNSHIP: MELVILLE
PARCEL ID#: 9814-12-1597
DEED REF.: BK: 4003, PG: 0641
PLAT REF.: BK: 068, PG: 0197

ZONING CODE: B-2 EXISTING, B-2 (CD) PROPOSED
ADJACENT ZONES: B-2 (ALL ADJACENT PROPERTIES)
SIZE: 1.53 ACRES (67,766 SF) BY SURVEY
 1.48 ACRES (64,486 SF) AFTER R/W DEDICATION

RIVER BASIN: CAPE FEAR RIVER BASIN
WATERSHED: NO OVERLAY
SOILS: CuB2 - CULLEN-URBAN LAND COMPLEX - GROUP B
FEMA: MAP PANEL #3710981400K, EFFECTIVE 11/17/17
 NO FLOOD HAZARDS PRESENT

CURRENT USE: VACANT COMMERCIAL LAND
PROPOSED USE: NEIGHBORHOOD SHOPPING CENTER WITH DRIVE-THRU
PROPOSED FOOTPRINT: 6,900 SF MEASURED TO OUTSIDE WALL

FRONT YARD SETBACK: 40' MINIMUM
SIDE YARD SETBACK: 0' MINIMUM
REAR YARD SETBACK: 30' MINIMUM
BUILDING HEIGHT: 70' MAXIMUM

OPEN SPACE & FLOOR AREA RATIO:
MAXIMUM FAR: 0.30 (19,346 SF BASED ON LOT AREA OF 64,486 SF)
PROPOSED FAR: 0.11 (6,900 SF BUILDING)
REQUIRED OPEN SPACE: 12,897 SF (20% OF 64,486 SF)
PROPOSED OPEN SPACE: 26,950 SF OR 41.79%
 (ALL AREAS VEGETATIVE NON-IMPERVIOUS SURFACES)

LANDSCAPE & BUFFERING:
NORTH BUFFER: 20' TYPE "C" (PROPOSED)
STREETSCAPE: 10' STREETSCAPE, STARTS AFTER EASEMENTS (PROPOSED)

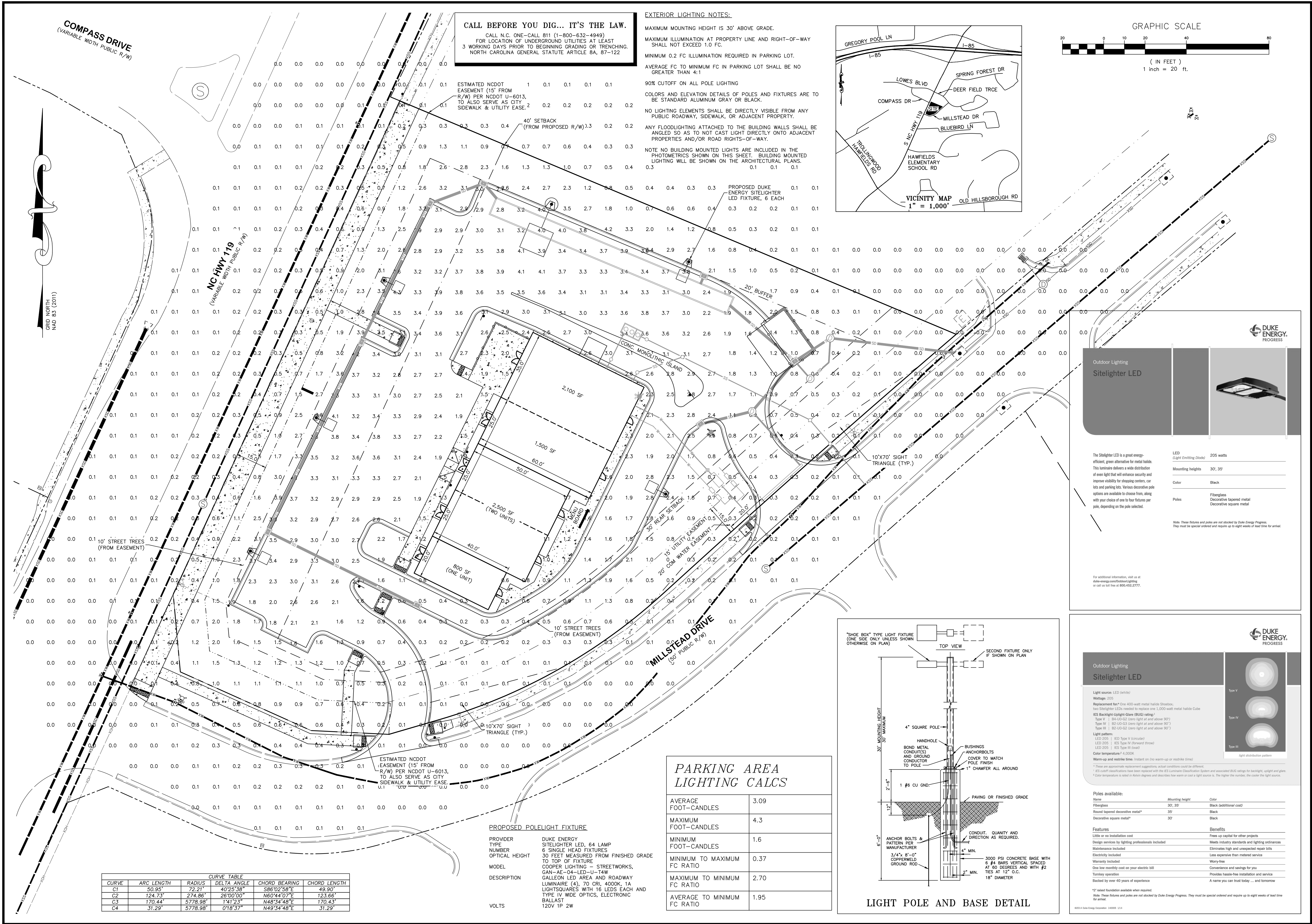
PARKING CALCULATIONS:
 RESTAURANT (2,100 SF) 1/4 SEATS (56 SEATS ASSUMED) + 2/3 EMPLOYEES (9 EMPLOYEES ASSUMED) = 20
 OFFICE OR RETAIL (4,800 SF) 1/225 SF (AVERAGE OF OFFICE REQUIREMENT AND RETAIL REQUIREMENT) = 21 SPACES
 TOTAL HANDICAP SPACES REQUIRED = 2
 HANDICAP VAN SPACES REQUIRED = 1

PARKING PROVIDED:
 STANDARD 9'X19' PARKING SPACE = 45
 8'X19' HANDICAP VAN SPACE = 2
 TOTAL ALL PARKING SPACES = 47

AREA OF DISTURBANCE: TO BE DETERMINED WITH EROSION CONTROL PLAN SUBMITTAL
NCDEQ EROSION CONTROL PLAN REVIEW AND PERMIT REQUIRED PRIOR TO LAND DISTURBANCE.

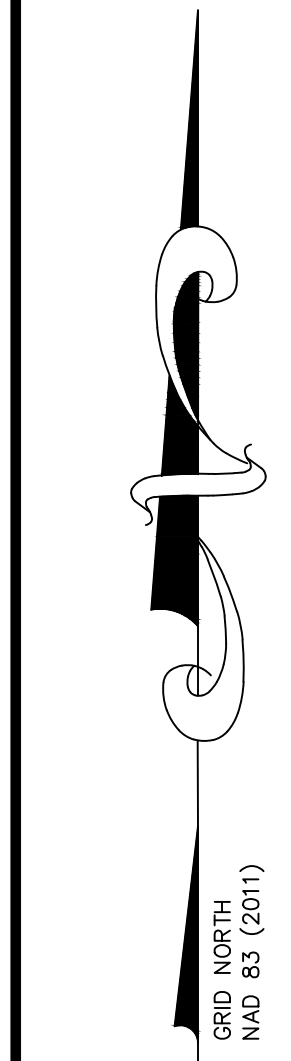
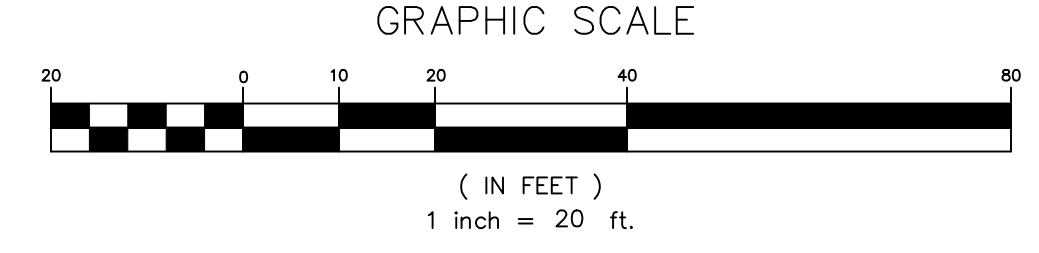
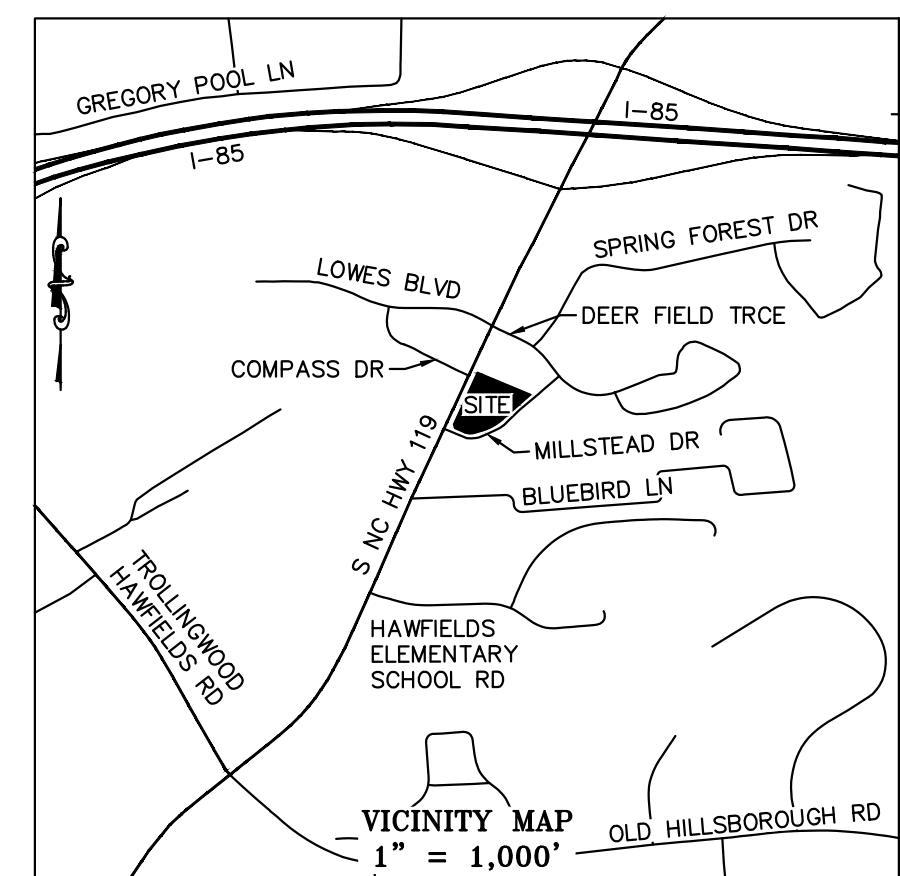
CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	50.95'	72.21'	40°23'38"	S86°02'58"E	49.30'
C2	124.73'	274.86'	26°00'00"	N60°44'07"E	123.66'
C3	170.44'	5778.98'	1°41'23"	N48°34'48"E	170.43'
C4	31.29'	5778.98'	0°18'37"	N49°34'48"E	31.29'



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 NORTH CAROLINA GENERAL STATUTE ARTICLE 84, 87-122

EXTERIOR LIGHTING NOTES:
 MAXIMUM MOUNTING HEIGHT IS 30' ABOVE GRADE.
 MAXIMUM ILLUMINATION AT PROPERTY LINE AND RIGHT-OF-WAY SHALL NOT EXCEED 1.0 FC.
 MINIMUM 0.2 FC ILLUMINATION REQUIRED IN PARKING LOT.
 AVERAGE FC TO MINIMUM FC IN PARKING LOT SHALL BE NO GREATER THAN 4:1
 90% CUTOFF ON ALL POLE LIGHTING
 COLORS AND ELEVATION DETAILS OF POLES AND FIXTURES ARE TO BE STANDARD ALUMINUM GRAY OR BLACK.
 NO LIGHTING ELEMENTS SHALL BE DIRECTLY VISIBLE FROM ANY PUBLIC ROADWAY, SIDEWALK, OR ADJACENT PROPERTY.
 ANY FLOODLIGHTING ATTACHED TO THE BUILDING WALLS SHALL BE ANGLED SO AS TO NOT CAST LIGHT DIRECTLY ONTO ADJACENT PROPERTIES AND/OR ROAD RIGHTS-OF-WAY.
 NOTE: NO BUILDING MOUNTED LIGHTS ARE INCLUDED IN THE PHOTOMETRICS SHOWN ON THIS SHEET. BUILDING MOUNTED LIGHTING WILL BE SHOWN ON THE ARCHITECTURAL PLANS.
 0.3 0.1 0.1 0.1



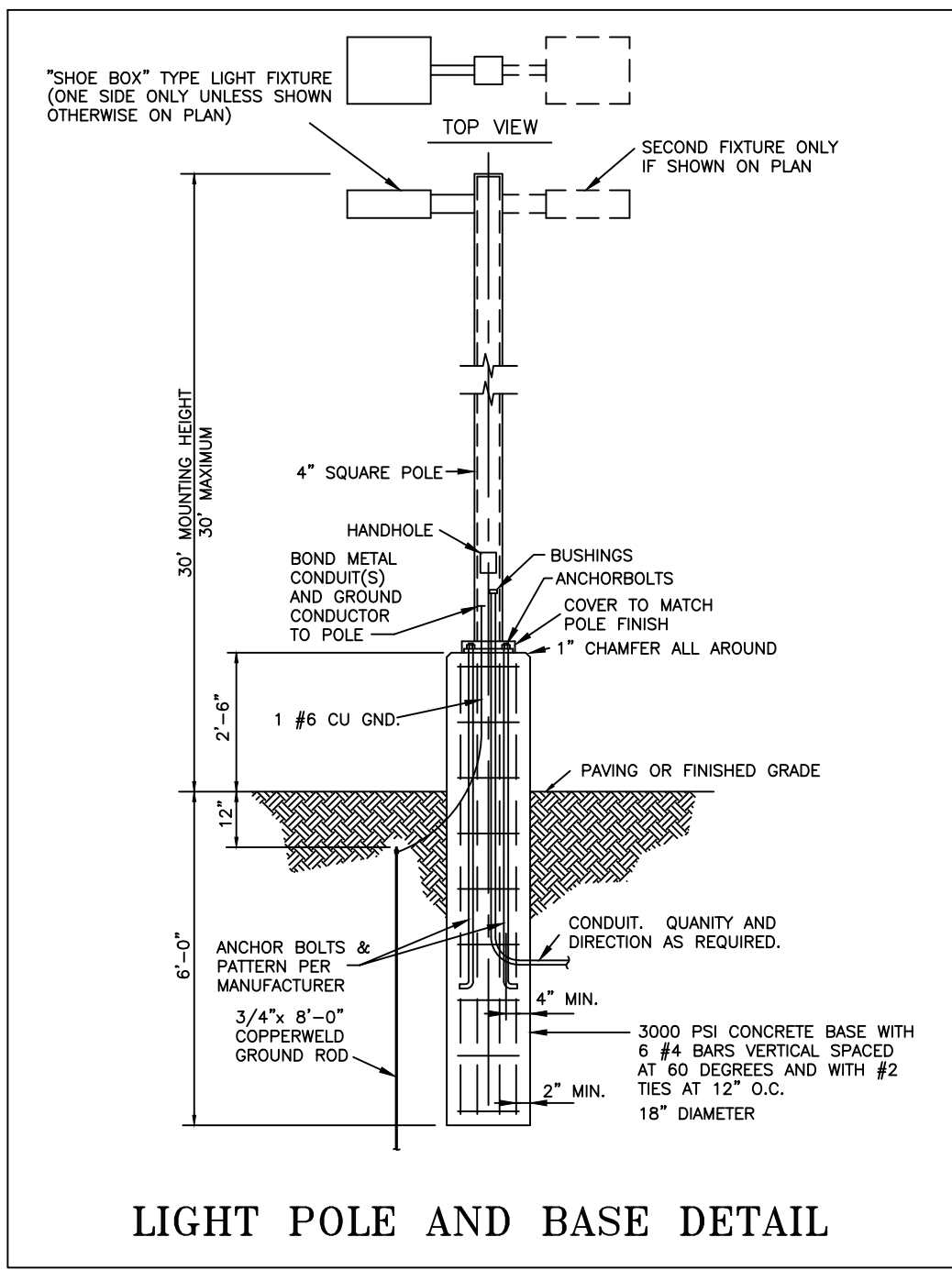
ESTIMATED NCDOT EASEMENT (15' FROM R/W) PER NCDOT U-6013, TO ALSO SERVE AS CITY SIDEWALK & UTILITY EASE.
 40' SETBACK (FROM PROPOSED R/W)
 20' BUFFER
 CONC. MONOLITHIC ISLAND
 10' STREET TREES (FROM EASEMENT)
 15' UTILITY EASEMENT
 20' COM WATER EASEMENT

Outdoor Lighting Sitelighter LED

The Sitelighter LED is a great energy-efficient, green alternative for metal halide. This luminaire delivers a wide distribution of even light that will enhance security and improve visibility for shopping centers, car lots and parking lots. Various decorative pole options are available to choose from, along with your choice of one to four fixtures per pole, depending on the pole selected.

LED (Light Emitting Diode)	205 watts
Mounting heights	30', 35'
Color	Black
Poles	Filinglass Decorative tapered metal Decorative square metal

Note: These fixtures and poles are not stocked by Duke Energy Progress. They must be special ordered and require up to eight weeks of lead time for arrival.



PARKING AREA LIGHTING CALCS

AVERAGE FOOT-CANDLES	3.09
MAXIMUM FOOT-CANDLES	4.3
MINIMUM FOOT-CANDLES	1.6
MINIMUM TO MAXIMUM FC RATIO	0.37
MAXIMUM TO MINIMUM FC RATIO	2.70
AVERAGE TO MINIMUM FC RATIO	1.95

PROPOSED POLELIGHT FIXTURE

PROVIDER: DUKE ENERGY
 TYPE: SITELIGHTER LED, 64 LAMP
 NUMBER: 6 SINGLE HEAD FIXTURES
 OPTICAL HEIGHT: 30 FEET MEASURED FROM FINISHED GRADE TO TOP OF FIXTURE
 MODEL: COOPER LIGHTING - STREETWORKS, GAN-AS-04-LED-U-14W
 DESCRIPTION: GALLEON LED AREA AND ROADWAY LUMINAIRE (4), 70 CRI, 4000K, 1A LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV WIDE OPTICS, ELECTRONIC BALLAST
 VOLTS: 120V 1P 2W

CURVE TABLE

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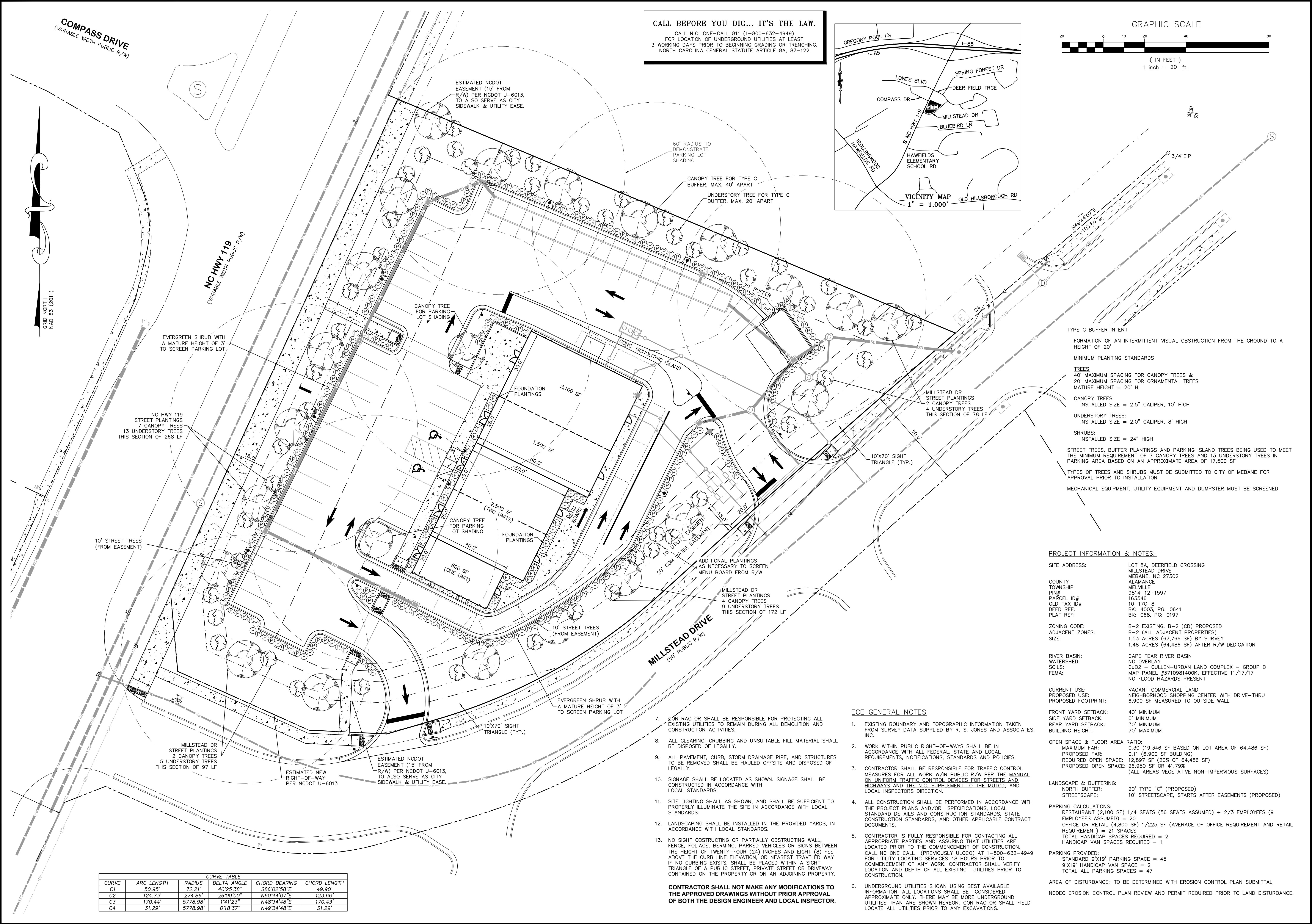
LOT 8A DEERFIELD CROSSING
 MILLSTEAD DR., MEBANE NORTH CAROLINA
LIGHTING PLAN

REV.	DATE	DESCRIPTION	BY	SCS
1	03/01/21	PER CITY COMMENTS	SCS	
2	02/25/21	PER CITY COMMENTS	SCS	

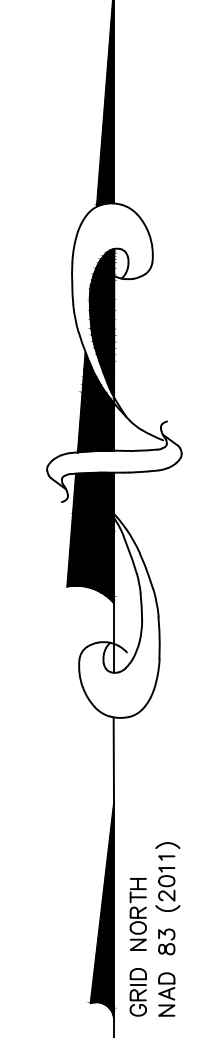
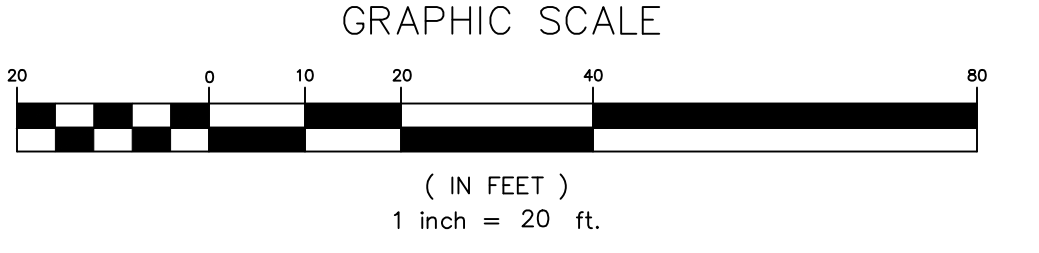
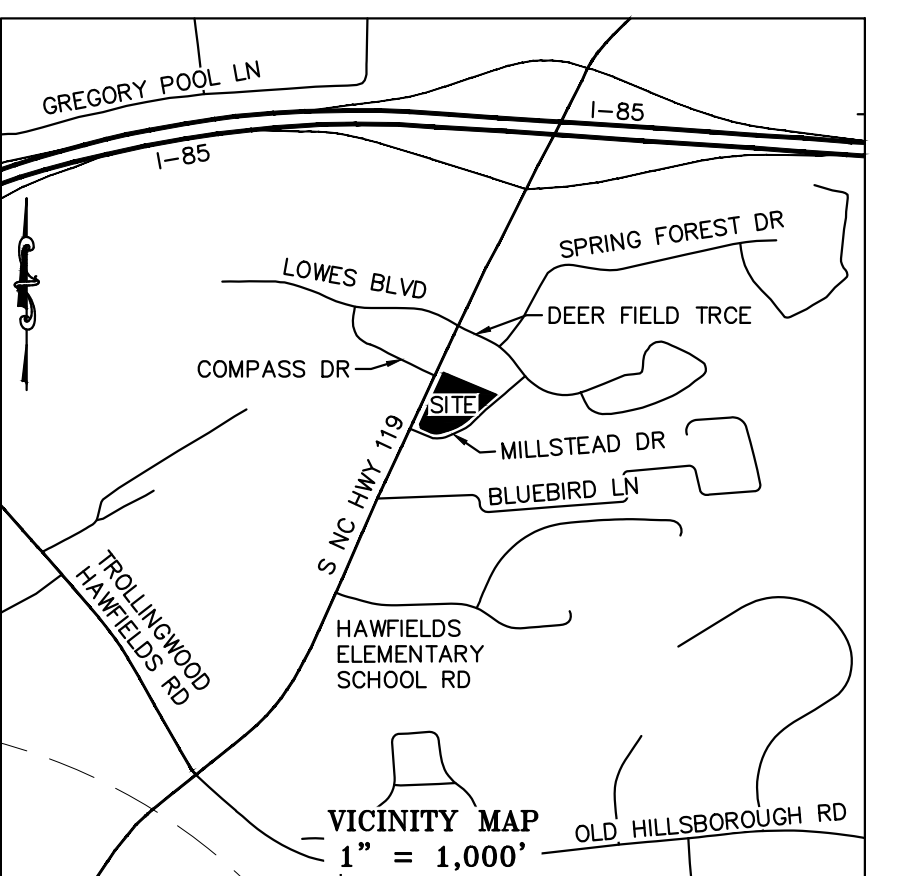
DATE: DECEMBER 23, 2020
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: N/A
 PROJECT MANAGER: CPK
 DRAWN BY: CPK
 PROJECT NO: 19-054
 DRAWING NAME: 19-054 WORKING

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CURVE TABLE					
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C3	170.44'	5778.98'	1°41'23"	N48°34'48"E	170.43'
C4	31.29'	5778.98'	0°18'37"	N49°34'48"E	31.29'

TYPE C BUFFER INTENT
 FORMATION OF AN INTERMITTENT VISUAL OBSTRUCTION FROM THE GROUND TO A HEIGHT OF 20'
 MINIMUM PLANTING STANDARDS
TREES
 40' MAXIMUM SPACING FOR CANOPY TREES & 20' MAXIMUM SPACING FOR ORNAMENTAL TREES
 MATURE HEIGHT = 20' H
CANOPY TREES:
 INSTALLED SIZE = 2.5" CALIPER, 10' HIGH
UNDERSTORY TREES:
 INSTALLED SIZE = 2.0" CALIPER, 8' HIGH
SHRUBS:
 INSTALLED SIZE = 24" HIGH
 STREET TREES, BUFFER PLANTINGS AND PARKING ISLAND TREES BEING USED TO MEET THE MINIMUM REQUIREMENT OF 7 CANOPY TREES AND 13 UNDERSTORY TREES IN PARKING AREA BASED ON AN APPROXIMATE AREA OF 17,500 SF
 TYPES OF TREES AND SHRUBS MUST BE SUBMITTED TO CITY OF MEBANE FOR APPROVAL PRIOR TO INSTALLATION
 MECHANICAL EQUIPMENT, UTILITY EQUIPMENT AND DUMPSTER MUST BE SCREENED

PROJECT INFORMATION & NOTES:
 SITE ADDRESS: LOT 8A, DEERFIELD CROSSING
 COUNTY: ALAMANCE
 TOWNSHIP: MELVILLE
 PARCEL ID#: 163546
 ZONING CODE: B-2 EXISTING, B-2 (CD) PROPOSED
 ADJACENT ZONES: B-2 (ALL ADJACENT PROPERTIES)
 SIZE: 1.53 ACRES (67,766 SF) BY SURVEY
 1.48 ACRES (64,486 SF) AFTER R/W DEDICATION
 RIVER BASIN: CAPE FEAR RIVER BASIN
 WATERSHED: NO OVERLAY
 SOILS: CuB2 - CULLEN-URBAN LAND COMPLEX - GROUP B
 FEMA: MAP PANEL #3710981400K, EFFECTIVE 11/17/17
 NO FLOOD HAZARDS PRESENT
 CURRENT USE: VACANT COMMERCIAL LAND
 PROPOSED USE: NEIGHBORHOOD SHOPPING CENTER WITH DRIVE-THRU
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LANDSCAPE & BUFFERING:
 NORTH BUFFER: 20' TYPE "C" (PROPOSED)
 STREETScape: 10' STREETScape, STARTS AFTER EASEMENTS (PROPOSED)
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PARKING PROVIDED:
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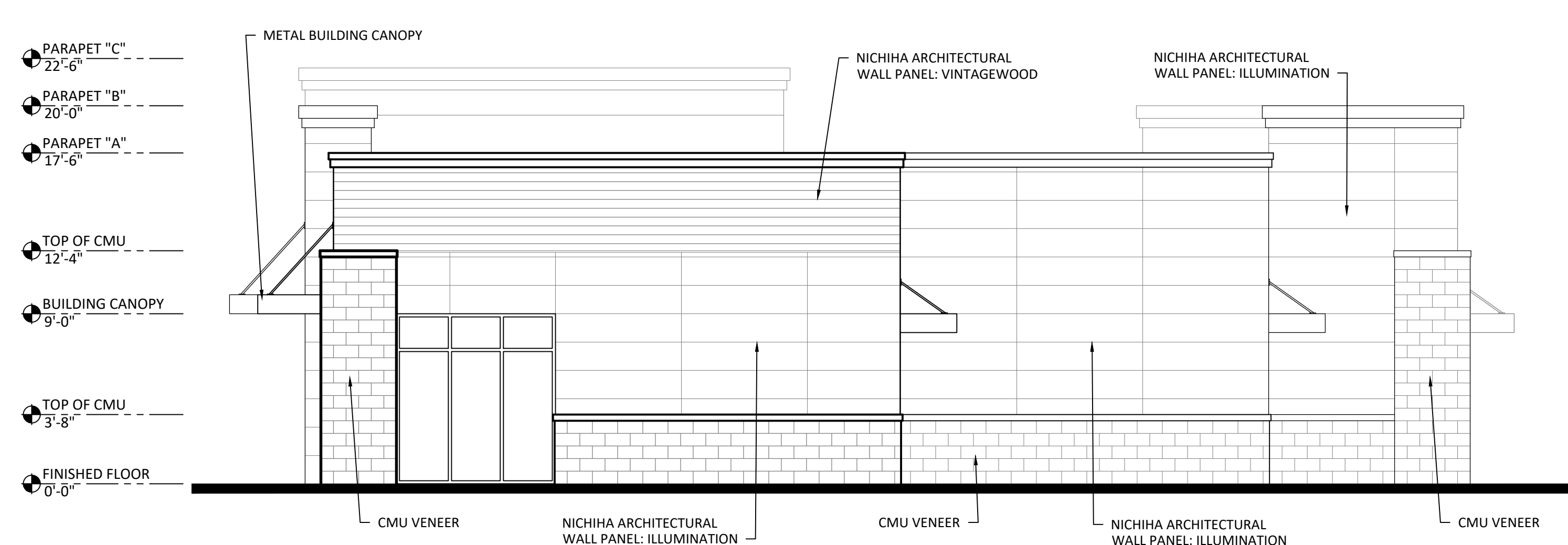
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LOT 8A DEERFIELD CROSSING
 MILLSTEAD DR., MEBANE NORTH CAROLINA
LANDSCAPE PLAN

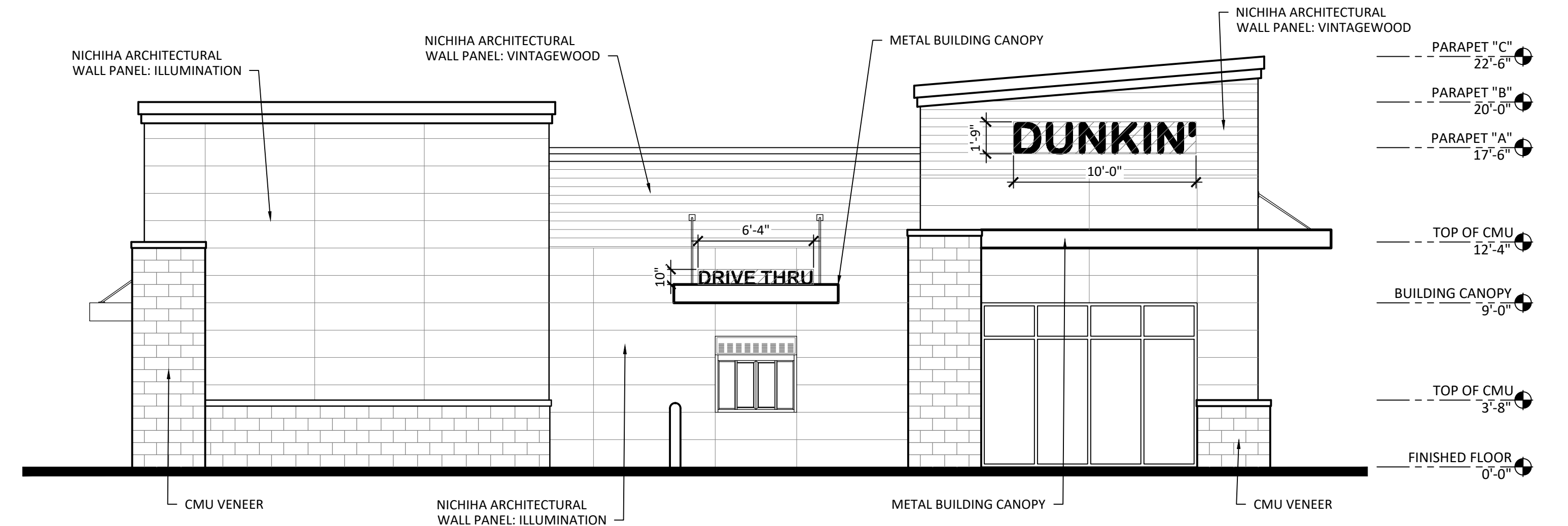
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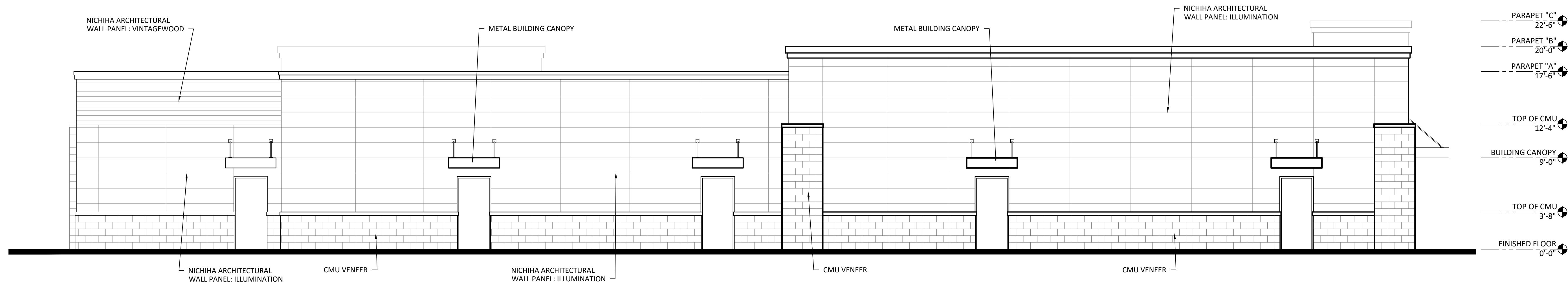
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 PRELIMINARY SITE PLAN



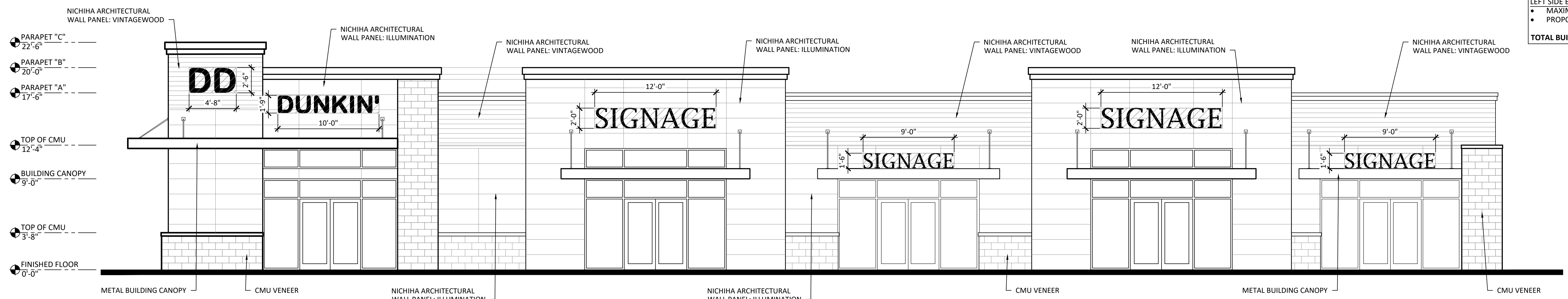
RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION

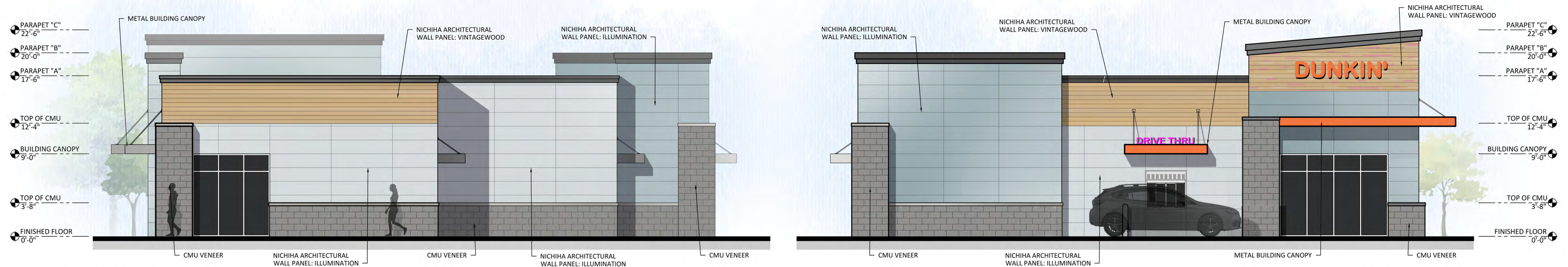
BUILDING WALL SIGNAGE	
FRONT ELEVATION:	
• MAXIMUM ALLOWABLE SIGN AREA:	160 SQ.FT.
• PROPOSED BUILDING SIGNAGE:	104.2 SQ.FT.
LEFT SIDE ELEVATION:	
• MAXIMUM ALLOWABLE SIGN AREA:	62 SQ.FT.
• PROPOSED BUILDING SIGNAGE:	22.8 SQ.FT.
TOTAL BUILDING WALL SIGNAGE:	127 SQ.FT.

MEBANE RETAIL CENTER
HWY 119 DEVELOPMENT, MEBANE, NC

DATE: 02/26/2021
PA2038



Plageman Architecture
plagemanarchitecture.com

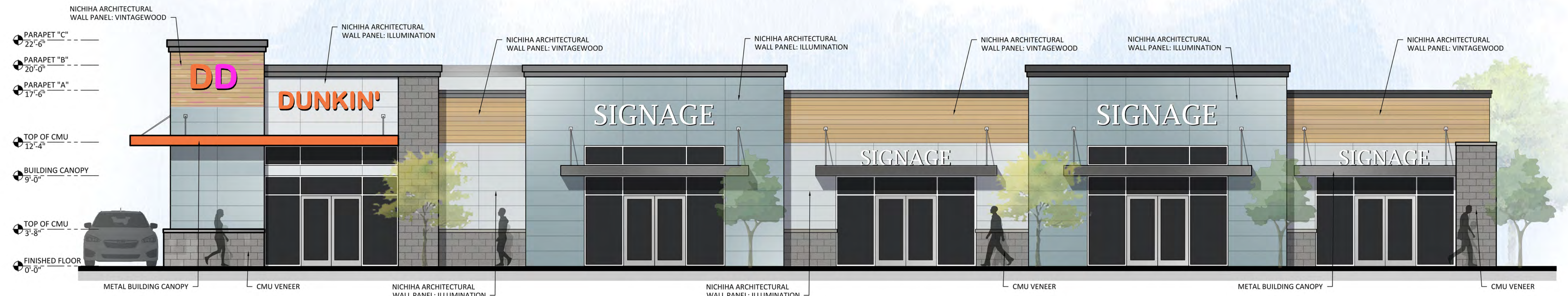


RIGHT SIDE ELEVATION

LEFT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION

MEBANE RETAIL CENTER
HWY 119 DEVELOPMENT, MEBANE, NC

DATE: 02/26/2021
PA2038



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PLANNING PROJECT REPORT

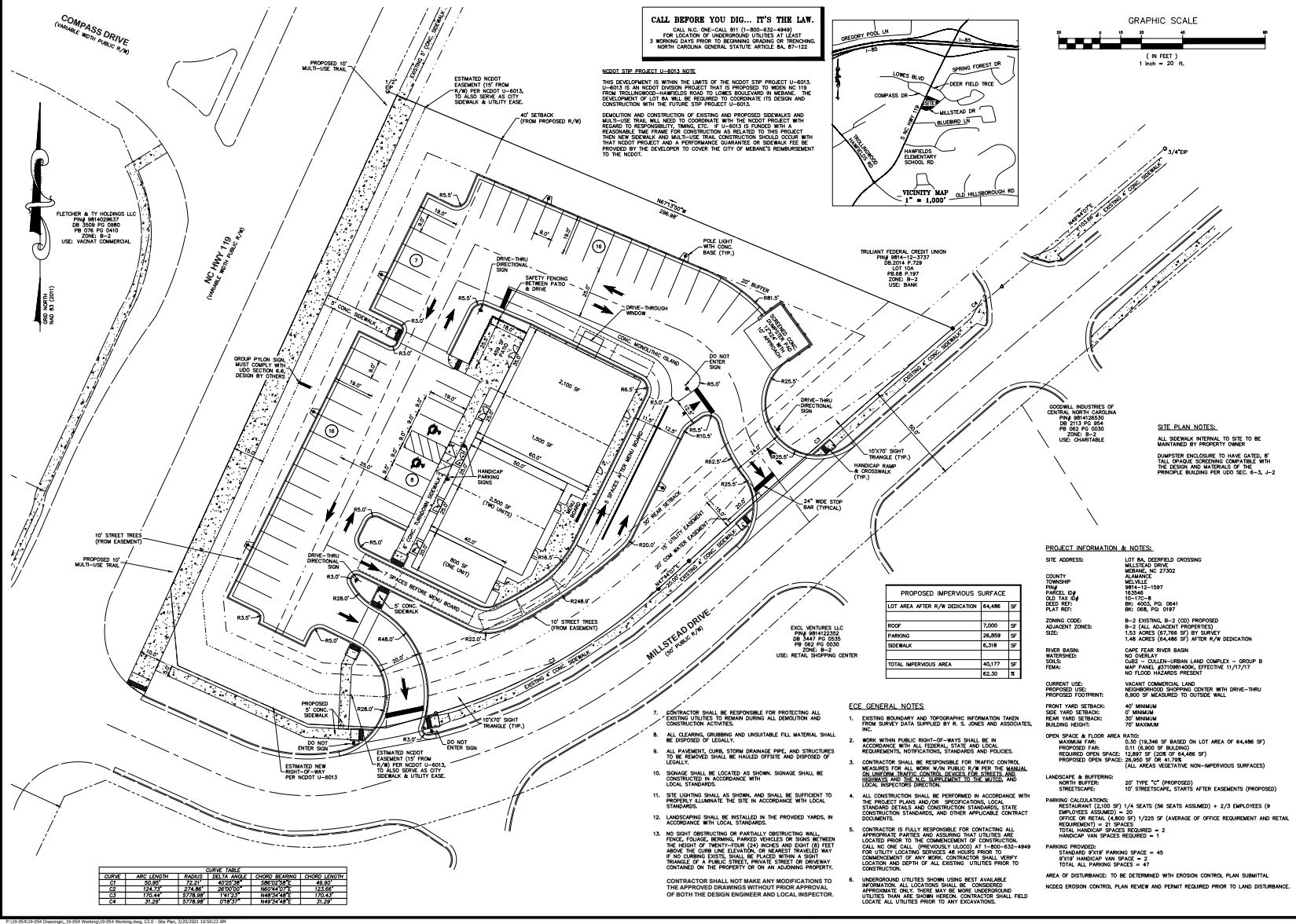
DATE	03/30/2021
PROJECT NAME	Lot 8A Deerfield Crossing
PROJECT NUMBER	RZ 21-04
APPLICANT	Evans Street Four, LLC c/o Meda Williams 27 Annette Drive Suite 107 Benson, NC 27504

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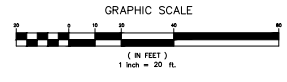
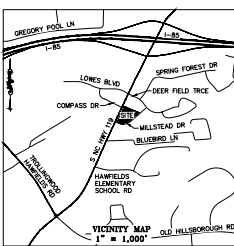
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UTILITIES REPORT	PAGE 7
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PNP 9814-12-1597



CALL BEFORE YOU DIG... IT'S THE LAW.
 CALL N.C. ONE-CALL 811 (1-800-832-4349)
 FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST
 3 WORKING DAYS BEFORE ANY SHIELDING OR TRENCHING.
 NORTH CAROLINA GENERAL STATUTE ARTICLE 8A, 87-122



NCDOT STOP PROJECT U-6013 NOTE
 THIS DEVELOPMENT IS WITHIN THE LIMITS OF THE NCDOT STOP PROJECT U-6013. U-6013 IS AN NCDOT DIVISION PROJECT THAT IS PROPOSED TO MOVE NC 118 FROM TROLLINGWOOD-HAMPELLE ROAD TO LOWES BOULEVARD IN MEBANE. THE DEVELOPMENT OF LOT 8A WILL BE REQUIRED TO COORDINATE ITS DESIGN AND CONSTRUCTION WITH THE FUTURE STOP PROJECT U-6013.

CONDITION AND CONSTRUCTION OF EXISTING AND PROPOSED SIDEWALKS AND MULTI-USE TRAIL WILL NEED TO COORDINATE WITH THE NCDOT PROJECT WITH REGARD TO RESPONSIBILITY, TRAIL, ETC. IF U-6013 IS FUNDED WITH A REASONABLE TIME FRAME FOR CONSTRUCTION AS RELATED TO THIS PROJECT THEN NEW SIDEWALK AND MULTI-USE TRAIL CONSTRUCTION SHOULD OCCUR WITH THAT NCDOT PROJECT AND A PERFORMANCE GUARANTEE OR SIDEWALK FEE BE PROVIDED BY THE DEVELOPER TO COVER THE CITY OF MEBANE'S REIMBURSEMENT TO THE NCDOT.

TRULANT FEDERAL CREDIT UNION
 PNM 9814-12-3737
 BR 0204 0730
 PLS 8-1197
 ZONE B-2
 USE: BANK

SITE PLAN NOTES:
 ALL SIDEWALK INTERNAL TO SITE TO BE MAINTAINED BY PROPERTY OWNER
 COMPUTER ENCLOSURE TO HAVE GATED, 4' TALL SPRADE SCREENING COMPATIBLE WITH THE DESIGN AND MATERIALS OF THE PRINCIPLE BUILDING PER UDO SEC. 6-3, J-2

PROJECT INFORMATION & NOTES:
 SITE ADDRESS: LOT 8A, DEERFIELD CROSSING, MEBANE, NC 27302
 COUNTY: ALAMANCE
 TOWNSHIP: MEBANE
 PNM: 9814-12-1597
 PARCEL ID#: 103546
 OLD TAX ID #: 10-172-8
 DEED REF: BK: 0008, PG: 0641
 PLAT REF: BK: 068, PG: 0197

ZONING CODE: B-2 EXISTING, B-2 (OO) PROPOSED
ADJACENT ZONES: B-2 (ALL ADJACENT PROPERTIES)
SIZE: 1.53 ACRES (67,766 SF) BY SURVEY
DEED REF: 148 ACRES (64,486 SF) AFTER R/W DEDICATION

RIVER BASIN: CAPE FEAR RIVER BASIN
NO DISCHARGE
SOILS: CUE2 = COLLEN-URBAN LAND COMPLEX - GROUP B
 MAP PANEL: RST09000K, EFFECTIVE 11/17/17
NO FLOOD HAZARD PRESENT

CURRENT USE: VACANT COMMERCIAL LAND
PROPOSED USE: NEIGHBORHOOD SHOPPING CENTER WITH DRIVE-THRU
PROPOSED FOOTPRINT: 0.30' (13,346 SF BASED ON LOT AREA OF 64,486 SF)
MAXIMUM FLOOR AREA: 0.11' (6,900 SF BUILDING)
REQUIRED OPEN SPACE: 12,887 SF (20% OF 64,486 SF)
PROPOSED OPEN SPACE: 26,859 SF OR 41.78%
DEED REF: 26,859 SF OR 41.78%
 (ALL AREAS EXCEPTIVE NON-IMPERVIOUS SURFACES)

LANDSCAPE & BUFFERING: 40' MINIMUM FRONT YARD SETBACK; 30' MINIMUM SIDE YARD SETBACK; 30' MINIMUM REAR YARD SETBACK; BUILDING HEIGHT: 70' MAXIMUM

OPEN SPACE & FLOOR AREA RATIO: 0.30' (13,346 SF BASED ON LOT AREA OF 64,486 SF)
MAXIMUM FLOOR AREA: 0.11' (6,900 SF BUILDING)
REQUIRED OPEN SPACE: 12,887 SF (20% OF 64,486 SF)
PROPOSED OPEN SPACE: 26,859 SF OR 41.78%
 (ALL AREAS EXCEPTIVE NON-IMPERVIOUS SURFACES)

LANDSCAPE & BUFFERING: 40' MINIMUM FRONT YARD SETBACK; 30' MINIMUM SIDE YARD SETBACK; 30' MINIMUM REAR YARD SETBACK; BUILDING HEIGHT: 70' MAXIMUM

PARKING CALCULATIONS: RESTAURANT (2,000 SF) 1/4 SEATS (26 SEATS ASSUMED) + 2/3 EMPLOYEES (9 EMPLOYEES ASSUMED) + 20 (EMPLOYEES ASSUMED) = 20 SPACES
 TOTAL HANDICAP SPACES REQUIRED = 2 SPACES
 TOTAL HANDICAP SPACES REQUIRED = 2
 HANDICAP VAN SPACES REQUIRED = 1

PARKING PROVIDED: STANDARD 30'X60' PARKING SPACE = 45 SPACES
 TOTAL HANDICAP VAN SPACE = 2 SPACES
 TOTAL ALL PARKING SPACES = 47

AREA OF DISTURBANCE: TO BE DETERMINED WITH EROSION CONTROL PLAN SUBMITTAL
NCDOT EROSION CONTROL PLAN REVIEW AND PERMIT REQUIRED PRIOR TO LAND DISTURBANCE.

EGC GENERAL NOTES

- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY DATA SUPPLIED BY R. S. JONES AND ASSOCIATES, INC.
- WORK WITH PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS, NOTIFICATIONS, STANDARDS AND POLICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL MEASURES FOR ALL WORK R/W PUBLIC R/W PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND IN ACCORDANCE TO THE MUTCD AND LOCAL INSPECTORS DIRECTION.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS, LOCAL, STATE AND FEDERAL CONSTRUCTION STANDARDS, STATE CONSTRUCTION STANDARDS, AND OTHER APPLICABLE CONTRACT DOCUMENTS.
- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING ALL APPROPRIATE PARTIES AND ASSURING THAT UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CALL 811 OR ONE-CALL (1-800-832-4349) FOR UTILITY LOCATING SERVICES 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UNDERGROUND UTILITIES SHOWN USING BEST AVAILABLE INFORMATION. ALL LOCATIONS SHALL BE CONSIDERED APPROXIMATE. ALL DEPTHS MAY BE MORE. UNDERGROUND UTILITIES SHALL BE SHOWN HEREIN. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATIONS.

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
CS	61.97	172.91	87.84°	S89°04'06" E	133.65
CD	124.93	274.86	36.50°	N25°42'07" E	133.65
CS	176.94	376.88	11.73°	N12°54'06" E	133.65
CD	31.97	87.98	07.83°	N83°54'06" E	31.97

EarthCentric Engineering, Inc.
 License # C-2633

 204 W. Clay Street
 Mebane, NC 27302-9411
 Phone: (919) 304-3224
 Fax: (919) 304-3224
 E-Mail: Phil.Koort@EarthCentric.com

PRELIMINARY NOT FOR CONSTRUCTION
 PRINCIPAL ENGINEER: PHIL KOORT, NCRE #28334

LOT 8A DEERFIELD CROSSING
 MILLSTEAD DR., MEBANE NORTH CAROLINA
SITE PLAN

DATE	BY	DESCRIPTION

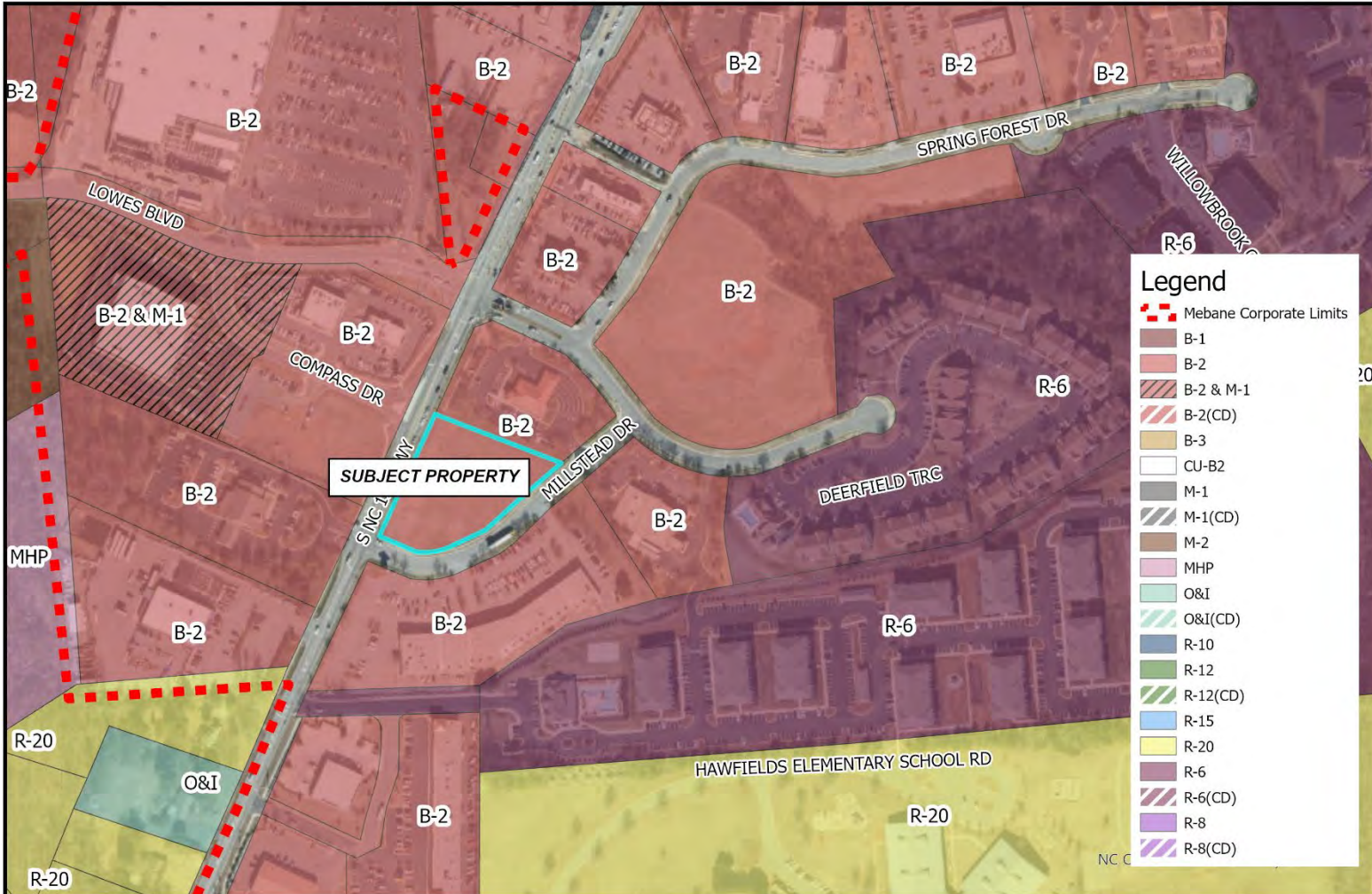
DATE	BY	DESCRIPTION


SHEET NO. C3.0
 PRELIMINARY SITE PLAN



ZONING REPORT

EXISTING ZONE	B-2 (General Business)
REQUESTED ACTION	Rezoning to B-2(CD)
CONDITIONAL ZONE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
CURRENT LAND USE	Vacant
PARCEL SIZE	+/-1.48 ac, after right-of-way dedication per NCDOT U-6013
PROPERTY OWNERS	Northeast Properties, LLC P.O. Box 1685 Jacksonville, NC 28541 GPIN 9814121597
LEGAL DESCRIPTION	The applicant proposes to rezone +/- 1.48 acres from B-2 (General Business District) to B-2 (CD) (General Business, Conditional District) to allow for a multi-tenant, neighborhood shopping center complying with development standards identified in the Mebane UDO, Section 4-7.8.1 and allowing for the following otherwise restricted use: restaurant (with drive-through).
AREA ZONING & DISTRICTS	Surrounding properties are primarily zoned B-2 (General Business District) and R-6 (Residential District). Traveling south on NC 119, the zoning diversifies and includes R-20 (Residential District) and O&I (Office and Institutional District).
SITE HISTORY	The lot is part of the Deerfield Crossing development, which was originally platted in 1996. Lot 8A resulted from a 2003 recombination of original lots 8, 9, and 10. The lot is currently vacant.
STAFF ANALYSIS	
CITY LIMITS?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED USE BY-RIGHT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
SPECIAL USE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
EXISTING UTILITIES?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
POTENTIAL IMPACT OF PROPOSED ZONE	The property is already zoned B-2. The site-specific zoning and restriction of uses on the property is to allow for a use otherwise prohibited in the development standards for a neighborhood shopping center. The use – a restaurant with drive-through – is allowed by-right in the B-2 zoning district. The impact is not anticipated to be more significant than the restaurant with drive-through use being the primary use of the site.

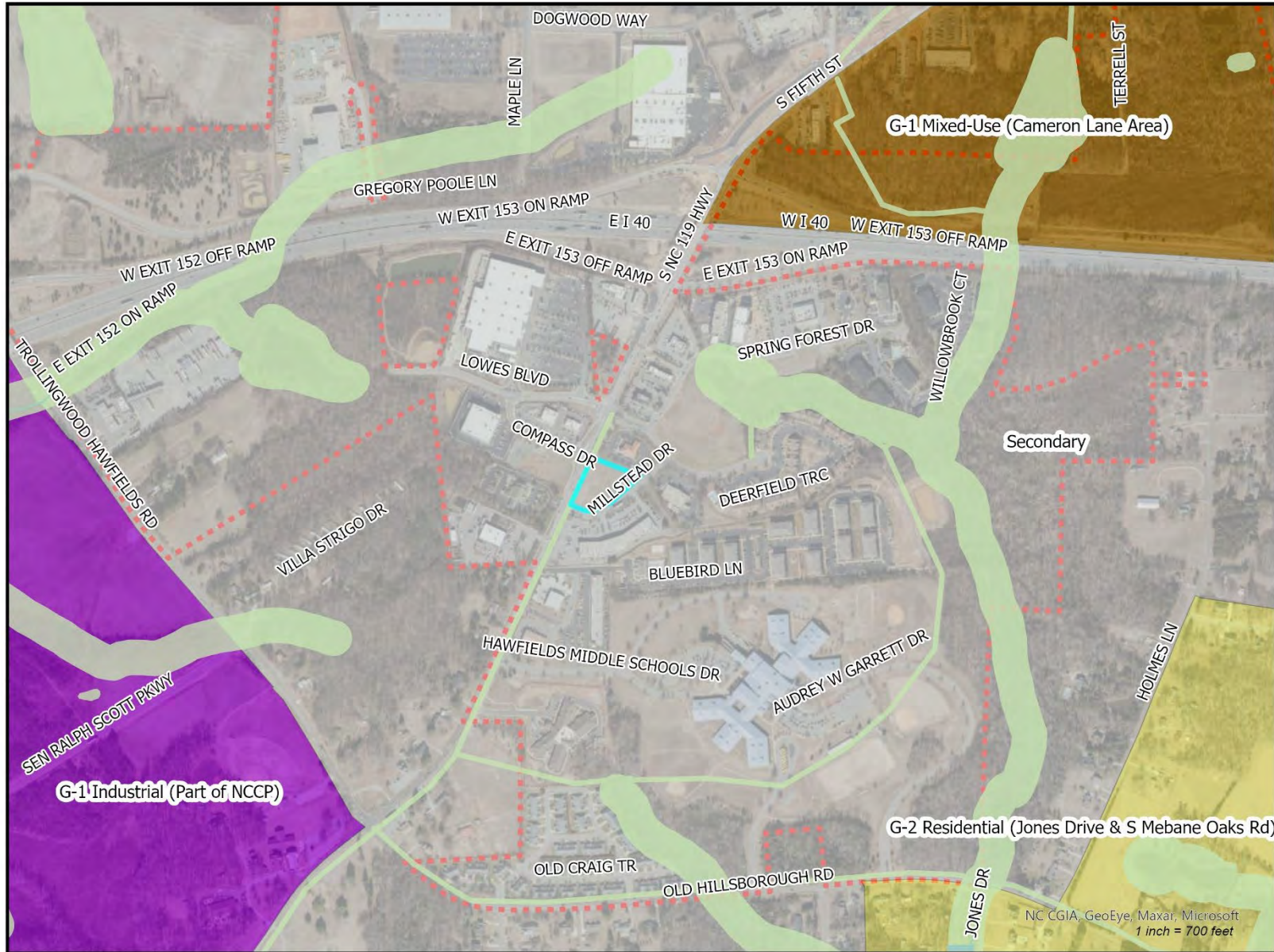


	<p>CITY OF MEBANE ZONING MAP</p>	<p>SUBJECT PROPERTY LOT 8A DEERFIELD CROSSING</p> <p>1 inch = 300 feet</p>	<p>DATE: 03/29/2021</p>
			<p>DRAWN BY: AO</p>



LAND USE REPORT

EXISTING LAND USE	Vacant
PROPOSED LAND USE & REQUESTED ACTION	The applicant is requesting a conditional rezoning to allow for a multi-tenant, neighborhood shopping center complying with development standards identified in the Mebane UDO, Section 4-7.8.1 and allowing for the following otherwise restricted use: restaurant (with drive-through). The other uses prohibited for a neighborhood shopping center would be restricted from use on this property. The submitted site plan and architectural drawings will apply to the property.
PROPOSED ZONING	B-2(CD)
PARCEL SIZE	+/-1.48 ac
AREA LAND USE	Most of the immediately surrounding properties have commercial uses. One bank neighbors the property and another is across NC 119. Millstead Drive, which is proposed to provide access to the site, also provides access to Kingsdown Common shopping center, the Goodwill Store, and the Deerfield Crossing Apartment Homes. The area is more mixed in its uses. Two other apartment complexes are in the area – Spring Forest at Deerfield and 119 South Apartments. Several restaurants are north of the subject property. Properties south of the site include an assisted living facility, Hawfields Middle School, and Audrey W. Garrett Elementary School.
ONSITE AMENITIES & DEDICATIONS	The applicant will construct a 10’ multi-use path, consistent with recommendations of the City’s <i>Bicycle and Pedestrian Transportation Plan</i> .
WAIVER REQUESTED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OF REQUESTED WAIVER(S)	The applicant is requesting to have multiple wall signs per façade. All proposed signs otherwise meet the City’s UDO standards. The applicant is seeking acceptance of sign dimensions as presented, which appear to conform to current standards.
CONSISTENCY WITH <i>MEBANE BY DESIGN</i> STRATEGY	
LAND USE GROWTH STRATEGY DESIGNATION(S)	G-4 Secondary Growth Area
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES SUPPORTED	GROWTH MANAGEMENT 1.6 Require that commercial development be pedestrian-friendly, supporting walking between differing land uses while also reducing parking requirements.
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES <u>NOT</u> SUPPORTED	





UTILITIES REPORT

AVAILABLE UTILITIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED UTILITY NEEDS	Per the memorandum from City Engineer Franz Holt, the project is estimated to require 2,720 gallons per day of water and sewer service. Water and sewer will be supplied from existing 8" public water and sewer mains along Millstead Drive. A grease trap will intercept the site's restaurant waste.
UTILITIES PROVIDED BY APPLICANT	Applicant has pledged to provide all on-site utilities, as described in the Technical Memorandum.
MUNICIPAL CAPACITY TO ABSORB PROJECT	The City has adequate water & sewer supply to meet the domestic and fire flow demands of the project.
CONSISTENCY WITH MEBANE LONG RANGE UTILITY PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
ADEQUATE STORMWATER CONTROL?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
INNOVATIVE STORMWATER MANAGEMENT?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

TRANSPORTATION NETWORK STATUS

CURRENT CONDITIONS	NC 119 is a two-lane minor arterial with an average daily traffic volume of 22,000 trips between the I-40/I-85 Interchange and the intersection at Trollingwood-Hawfields Road. This section of NC 119 operates at a Level of Service F and has a poor safety score. Between 2015 and 2019, 12 crashes occurred at the intersection of NC 119 and Millstead Drive, with one resulting in serious injury. Millstead Drive is a City-maintained street with no active traffic counts. STIP Project U-6013 proposes to widen NC 119 from Trollingwood-Hawfields Road to Lowes Boulevard. The City recently adopted the Lowes Boulevard Corridor Plan to improve future traffic flow in the area.
TRAFFIC IMPACT ANALYSIS REQUIRED?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OR RECOMMENDED IMPROVEMENTS	A driveway and vehicular use area complying with the City's UDO standards for drive-through restaurants has been provided.
CONSISTENCY WITH THE MEBANE BICYCLE AND PEDESTRIAN TRANSPORTATION PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
MULTIMODAL IMPROVEMENTS PROVIDED BY APPLICANT?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

DESCRIPTION OF MULTIMODAL IMPROVEMENTS	The applicant will construct a 10' multi-use path, consistent with recommendations of the <i>Bicycle and Pedestrian Transportation Plan</i> . Additionally, the applicant will provide sidewalk connections to the site from existing and proposed sidewalk and paths.
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STAFF RECOMMENDATION

STAFF ZONING RECOMMENDATION APPROVE DISAPPROVE

STAFF SPECIAL USE FINDING CONSISTENT NOT CONSISTENT.....WITH *MEBANE BY DESIGN*

RATIONALE

The proposed development “Lot 8A Deerfield Crossing” is consistent with the guidance provided within *Mebane By Design*, the Mebane Comprehensive Land Development Plan. In particular, it meets the description and goals of the Secondary Growth Area and is consistent with Growth Management Goal 1.6. The project will provide a multi-tenant, neighborhood shopping center in harmony with surrounding general business uses.



Technical Memorandum

To: Ashley Ownbey, Planner

From: Franz Holt, P.E. City Engineer

Cc: Phil Koch, P.E. Project Engineer

Subject: Lot 8A Deerfield Crossing

Date: April 6, 2021

The City Engineering Dept. has reviewed the Preliminary Site plans for Lot 8A Deerfield Crossing on Millstead Drive dated March 25, 2021 as submitted by EarthCentric Engineering, Inc. and comments are as follows:

A. General

The project is sited on previously recorded Lot 8A, Deerfield Crossing – 1.53 acres. One building is proposed which includes a 2,100 square feet restaurant with drive through and 4,800 square feet of Office/Retail.

Site access will be from Millstead Drive, a City of Mebane Street. Two connections are proposed the first being exit only near NC Hwy. 119 South and the second being full access directly across from the shopping center driveway across Millstead Drive.

A 10' multi-use path is planned to be constructed along the NC Hwy. 119 frontage. The path will be installed by either the developer or NCDOT Depending on the timing of NCDOT STIP Project U-6103. Regardless, the developer will be responsible for the cost to construct or reimburse the City's costs if a NCDOT project.

B. Availability of city water and sewer

In regard to the Preliminary Site plans and in accordance with paragraph 7-4.3 A.3.a. in the UDO, this memo is provided to indicate that the preliminary water and sewer system layout has been reviewed and found acceptable meeting City standards based on the following:

1. Water system- Water service will be provided from an existing City of Mebane 8-inch water main in Millstead Drive. Proposed are a 4-inch fire service and 2-inch domestic service to serve the building and an additional 1" irrigation service. The estimated daily water use for this project is 2,720 gallons (100 gallons/day per 1,000 sq. ft. x 4,800 sq. ft. = 480 gallons/day and 56 seat restaurant at 40 gallons/day per seat = 2,240 gallons/day). The City has adequate water capacity available to meet the site fire demand and domestic use.
2. Sanitary Sewer system- Sewer service is provided from an existing 8-inch public sewer main along Millstead Drive. One sewer tap is proposed to serve the restaurant with grease trap and office/retail. The estimated daily sewer use for this project is 2,720 gallons (100 gallons/day per 1,000 sq. ft. x 4,800 sq. ft. = 480 gallons/day and 56 seat restaurant at 40 gallons/day per seat = 2,240 gallons/day). The City has adequate sewer capacity available in downstream pump stations and at the Water Resource and Recovery Facility to meet this use.



C. Watershed Overlay District and Phase II Storm water Requirements

1. Watershed Overlay District requirements are provided under Sec. 5.2 of the UDO. These requirements in the UDO are for the Back-Creek Watershed, which includes the Graham-Mebane Lake. The propose site is tributary to Haw Creek, a Class V watershed and the Watershed Overlay District requirements do not apply to this project. This type of watershed classification (Class V) does not have density restrictions or built upon restrictions as required for the Graham-Mebane Lake watershed.
2. Phase II Stormwater Post Construction Ordinance
Sec. 5.4 in the UDO provides standards for Stormwater Management and 5.4.F requires compliance with the Mebane Post Construction Runoff Ordinance (which is a stand-alone ordinance titled the Phase II Stormwater Post Construction Ordinance (SPCO). The standards in the UDO are general standards as the Ordinance itself provides detailed standards.

The SPCO does apply to this project as more than one acre of land will be disturbed and the new built upon area will be more than 24% of the site. The proposed engineered storm water management plan includes an under pavement device which will capture a majority of the site for treatment and 10 year detention.

D. Storm Drainage System

Sec. 5-4. D. in the UDO provides requirements for storm drainage systems. The preliminary site plans include a preliminary piping layout that indicates certain pipe locations, inlets, and discharge points. Stormwater flows from these pipes will be transported to stormwater management device and then discharge to the drainage system in Millstead Drive.

E. Driveway Connections and Traffic Impact Analysis

1. Driveway Connections.
The project proposes two driveway connections to Millstead Drive. One connection is egress only with the other being ingress/egress. Driveway spacing from intersections with NC Hwy. 119 South and Deerfield Trace appears appropriate. In addition, the connections are directly across from driveways serving the adjacent shopping center (Kingsdown Commons).



2. Traffic Impact – A TIA was not required for this project.

F. Construction Plan Submittal

Sec. 7-6.7.A. in the UDO indicates that construction plans for all street facilities, including water and sewer facilities, shall be submitted following preliminary plat or site plan approval; therefore, construction plans are not required as a part of the site plan review. A utility plan is provided which shows the proposed water and sewer services, storm drainage piping, and stormwater management devices indicating that the project is feasible for utility service and providing stormwater management. Appendix E which is included in the UDO is a Construction Document checklist which is to be provided at such time as construction plans are submitted after Site Plan approval.

Based on city engineering review of the referenced site plans, it is my opinion they are in substantial compliance with the UDO except as indicated herein.



AGENDA ITEM #6

Comprehensive Amendments to the Unified Development Ordinance

Presenter

Cy Stober, Development Director

Public Hearing

Yes No

Summary

The Planning Board shall advise and comment on the request to amend portions of Articles 2, 3, 5, 7, 8, 9, 10, and 12 of the Unified Development Ordinance (UDO). Proposed amendments include the 160D statutory amendments, adopted into law by the NC General Assembly in 2019, and environmental amendments to Article 5 that reflect statutory requirements for stormwater management of development in the Falls Lake watershed and the Upper Eno River Water Supply (II) Watershed.

The updates to Articles 2, 3, 7, 8, 9, 10, and 12 to the UDO are necessary for the City's development regulations and procedures to continue operating in compliance with State law. These updates are technical in nature.

The amendments to Article 5 "Overlay, Environmental, and Special Purpose Regulations" feature the Falls Lake Nutrient Management Strategy, the Upper Eno River Water Supply (II) Watershed and import the City's Stormwater and Stream Buffer regulations from the City Ordinance, in order to comply with NC General Statutes and Rules.

Background

In July 2019, the North Carolina General Assembly adopted the new Chapter 160D of the North Carolina General Statutes, established under [Session Law 2019-111](#)¹. 160D consolidates current city- and county-enabling statutes for development regulations into a single, unified chapter and organizes these statutes into a more logical, coherent structure. The new legislation does not make major policy changes or shift the scope of authority granted to local governments, but it provides several clarifying amendments and consensus reforms that must be incorporated into local development regulations. Local governments shall adopt the necessary ordinance amendments to comply with Chapter 160D have by July 1, 2021. At that date, the rules and procedures of Chapter 160D will apply regardless of if the local ordinance has been updated.²

The State's objectives for creating Chapter 160D include consolidating and improving the organization rules for all local jurisdictions under one chapter heading (previously Chapters 153A and 160A), clarifying specific areas of authority for local governments where uncertainty has existed, and modernizing the tools for

¹ Session Law 2019-111, <https://www.ncleg.gov/BillLookup/2019/S355>

² Chapter 160D: A New Land Use Law for North Carolina, Adam Lovelady, David W. Owens, Ben Hitchings. UNC School of Government. <https://www.sog.unc.edu/resources/microsites/planning-and-development-regulation/ch-160d-2019>

development regulation based on newer best practices. Further information is available through the UNC School government, including a checklist of changes, which is provided as an attachment and a series of free online modules available [at this link](#).

The City of Mebane has required stormwater management since it was designated a Phase 2 community under the US Environmental Protection Agency's National Pollutant Discharge Elimination System. As such, it requires onsite management of stormwater flows during and after new development projects. The City has had an adopted ordinance reflecting these criteria but it was not integrated into the City's UDO. The proposed language in Section 2 and 3 of Article 5 achieves this integration with no alterations to the adopted municipal language. The situation is the same for the integration of the Jordan Lake Buffer Rules featured in Article 5, Section 6, which was already adopted by the City following the adoption of the Jordan Lake Rules into law in 2009.

Section 5 and the proposed changes to Section 4 of Article 5 are necessary updates to the City's UDO to address State regulations applying to the Falls Lake watershed and the Upper Eno River Water Supply (II) Watershed. In 2020, the City annexed and zoned property in these co-located watersheds, applying the appropriate State requirements for nutrient management and impervious cover. The language in the proposed amendments integrates the State's model ordinance language into the City's UDO to ensure that all development in this area is reflected in our local standards as well as in general statute.

Finally, several edits to the subdivision standards in Article 7 have been proposed to include language addressing the needs of modes of transportation than automobiles.

A summary is provided that describes the proposed changes in each Article and Section of the UDO. Detailed text amendment changes to the UDO are available upon request.

Financial Impact

N/A

Staff Recommendation

Staff advises an in-favor recommendation of the proposed amendments as presented to be reviewed by the Mebane City Council at the May 3, 2021, Public Hearing.

Suggested Motion

Motion to approve the amendments to the City of Mebane Unified Development Ordinance as presented. The amendments are consistent with the objectives and policies for growth and development in the Comprehensive Land Development Plan *Mebane By Design*, and are mostly required by State law.

Attachments

1. **Summary of proposed text amendments to the Unified Development Ordinance**
2. **G.S. Chapter 160D Checklist of Changes to Local Ordinances, Policies, and Practices.** *David W. Owens and Adam S. Lovelady, August 2020, School of Government. The University of North Carolina at Chapel Hill.*
<https://www.sog.unc.edu/sites/www.sog.unc.edu/files/160D%20Checklist%20Aug%202020%20update.pdf>



**SUMMARY OF PROPOSED
MEBANE UNIFIED DEVELOPMENT ORDINANCE AMENDMENTS
APRIL/MAY 2021**

[LINK TO FULL UDO TEXT WITH INLINE CHANGES HERE](#)

ARTICLE 2

- Update all statutory references to be current with 160D
- Revision to conflict of interest/impartial decisionmaker language
- Clarification to parliamentary procedures
- Clarification of required public notification policies for public evidentiary hearings
- Simplification and clarification of special use criteria and review procedures
- Update of Vested Rights law
- Update of Development Agreement law

ARTICLE 3

- Explicit exemption of *bona fide* farms, per general statute
- Elimination of the printed map maintenance and damage language

ARTICLE 5

- Update to all internal formatting and references to reflect amendment impacts on organization
- Integration of City's adopted Stormwater Management ordinance (Section 2; relocated from Section 4)
- Integration of City's adopted Phase 2 Stormwater New Development Regulations (Section 3)
- Integration of the Upper Eno River Water Supply (II) Watershed into the City's Watershed Overlay District Regulations (Section 4)
- Adoption of the Falls Lake Watershed Stormwater Regulations For New Development (Section 5)
- Integration of City's adopted Jordan Lake Riparian Buffer Regulations (Section 6)

ARTICLE 7

- Inclusion of multimodal language to accommodate non-automotive transportation considerations
- Update all statutory references to be current with 160D
- Provide clarity regarding sureties/performance guarantees





ARTICLE 8

- Update all statutory references to be current with 160D
- Update to Variance section to recognize ADA accommodations as a hardship

ARTICLE 9

- Cleaning up internal references and grammatical errors

ARTICLE 10

- Update all statutory references to be current with 160D
- Clarity regarding sign conformity needs following government condemnations

ARTICLE 12

- Update all statutory references to be current with 160D
- Update definitions to be current with 160D and statutory environmental regulations
- Staff inclusion of several terms that definitions are needed for (“Place of Worship”, “Right Of Way”, “School”)



G.S. Chapter 160D Checklist of Changes to Local Ordinances, Policies, and Practices

August 2020 Update

This checklist outlines provisions in the new Chapter 160D of the North Carolina General Statutes (hereinafter G.S.) as well as related statutory changes that will be incorporated into Chapter 160D. The changes to the statutes affect the language of local ordinances, the options for local decision processes, and the administrative practices related to development regulations.

This checklist is one piece of a larger set of resources and training materials, including an explanatory book, *Chapter 160D: A New Land Use Law for North Carolina*. Each item on this checklist is described more thoroughly in those additional resources. Section headers in this checklist note the corresponding chapter and section of the Chapter 160D book [in brackets]. Check nc160D.sog.unc.edu for additional resources and training.

The checklist has specific notations, which are accompanied by specific icons, as follows:

- Denotes legislative changes for which local governments **must** take action (statutory citations are in parentheses) (Many changes may already be reflected in the local ordinance. If so, no additional change is necessary for the ordinance.)
- Denotes permissive legislative changes for which local governments **may** take action
- △ Denotes notable legislative changes that do not require local action but of which local governments must **be aware**

Session Law 2020-25 (S.B. 720) amended Chapter 160D to incorporate other legislative changes from 2019 and make technical corrections. Those changes are noted in this updated checklist with new language underlined and cut language shown with strikethrough. Notably, S.L. 2020-25 altered the effective date of Chapter 160D. All powers and actions authorized under Chapter 160D are available as of June 19, 2020 (local ordinances may be updated and made effective immediately), but local governments have until July 1, 2021, to update local ordinances and policies to comply with the requirements of Chapter 160D. For that reason, the asterisks from the original checklist are removed. For the time before a local government amends its ordinances to comply with Chapter 160D, the rules and requirements of Chapter 160A (for municipalities) or Chapter 153A (for counties) will effectively remain controlling for that local government.

~~*For items noted with an asterisk, local governments do not have authority for the change until January 1, 2021, unless legislation authorizes earlier effectiveness. Noted changes may be incorporated into ordinances and policies, but they must not be effective until 2021. All other changes may be adopted and effective immediately.~~

I. Terminology and Citations [Chapter 1, Section III]

- Must** update any references to provisions in G.S. Chapter 160A or 153A to indicate relevant provisions in Chapter 160D. (See appendixes B and C in the Chapter 160D book.)
- Must** align ordinance terminology with Chapter 160D terminology for *conditional zoning* and *special use permits*; must delete use of the terms *conditional use permit*, *special exception*, *conditional use district zoning*, and *special use district zoning*. (See G.S. 160D-102.)
- Must** ensure that ordinance definitions for the following terms are not inconsistent with definitions provided in state law and regulation: *building*, *dwelling*, *dwelling unit*, *bedroom*, and *sleeping unit*. (G.S. 160D-706; S.L. 2019-111, § 1.17.)
- May** align ordinance terminology with Chapter 160D terminology, including for the following terms: *administrative decision*, *administrative hearing*, *determination*, *developer*, *development*, *development approval*, *development regulation*, *dwelling*, *evidentiary hearing*, *legislative decision*, *legislative hearing*, *planning and development regulation jurisdiction*, and *quasi-judicial decision*. (G.S. 160D-102.)

II. Geographic Jurisdiction [Chapter 2, Section I]

- For extension of extraterritorial jurisdiction (ETJ), a municipality **must** provide mailed notice thirty days prior to ETJ hearing; municipality **may** hold one hearing (with single mailed notice) regarding ETJ and initial zoning amendment. (G.S. 160D-202(d).)
- Municipality **may** hold hearings in anticipation of change in jurisdiction. (G.S. 160D-204.)
- For a parcel in two jurisdictions, the owner and the jurisdictions **may** agree for development regulations from one jurisdiction to apply to the entire parcel. (G.S. 160D-203.)
- In ETJ, the county **may** elect to exercise development regulations that the municipality is not exercising. (G.S. 160D-202(b).)
- For counties, the county **may** apply zoning and subdivision regulations to all or part of the county's planning and development regulation jurisdiction. Cities with zoning must apply zoning jurisdiction-wide. (G.S. 160D-201; S.L. 2020-25.)

III. Boards [Chapter 2, Section II]

A. In General

- Must** adopt broadened conflict-of-interest standards for governing and advisory boards. (G.S. 160D-109.)
- Must** keep minutes of proceedings of each board. (G.S. 160D-308.)
- Must** have each board member take an oath of office before starting his or her duties. (G.S. 160D-309.)

- Must** update ETJ population estimate, at least with each decennial census (also calculation for proportional representation is simplified and process for appointment is clarified). (G.S. 160D-307.)
- Must** provide proportional representation for ETJ on preservation commission if any districts or landmarks are designated in the ETJ. (G.S. 160D-307.)
- May** have detailed rules of procedure for each board; **may** be adopted by governing board; if not, then **may** be adopted by individual board; if adopted, **must** maintain board rules of procedure (by clerk or other officer as set by ordinance) and **must** post board rules of procedure to website, if the jurisdiction has a website. (G.S. 160D-308.)
- May** establish reasonable procedures to solicit, review, and make appointments; governing board typically makes appointments but may delegate that appointment-making authority. (G.S. 160D-310.)
- May** establish additional advisory boards related to development regulations. (G.S. 160D-306.)

B. Planning Board

- May** assign to planning board the coordination of citizen engagement for planning. (G.S. 160D-301.)
- May** assign planning board to serve as preliminary forum for review and comment on quasi-judicial decisions, provided that no part of the preliminary forum or recommendation may be used as a basis for the deciding board. (G.S. 160D-301.)

C. Board of Adjustment

- May** assign board of adjustment to hear and decide matters under any development regulation, not just zoning. (G.S. 160D-302.)
- May** assign duties of housing appeals board to board of adjustment. (G.S. 160D-305.)

IV. Land Use Administration [Chapter 2, Section III]

A. In General

- Must** incorporate new staff conflict-of-interest standards into ordinance or policy. (G.S. 160D-109.)
- Must** maintain in paper or digital format current and prior zoning maps for public inspection. (G.S. 160D-105.)
- Must** maintain in paper or digital format any state or federal agency maps incorporated by reference into the zoning map. (G.S. 160D-105.)

- **May** enact ordinances, procedures, and fee schedules relating to administration and enforcement of development regulations. (G.S. 160D-402(b).)
- **May** charge reasonable fees for support, administration, and implementation of development regulation; **must** use any such fees for that purpose, not for other purposes. (G.S. 160D-402(d).)

B. Enforcement

- **Must** issue notices of violation (NOVs) in conformance with statutory procedures (must deliver to permittee and landowner if different; may deliver to occupant or person undertaking the activity; delivery by hand, email, or first-class mail; may be posted onsite; administrator to certify NOV for the file.) (G.S. 160D-404(a).)
- If inspecting, **must** enter the premises during reasonable hours and upon presenting credentials; **must** have consent of premises owner or an administrative search warrant to inspect areas not open to the public. (G.S. 160D-403(e).)
- For revocation of development approval, **must** follow the same process as was used for the approval. (G.S. 160D-403(f).)
- **May** perform inspections for other development approvals to ensure compliance with state law, local law, and the terms of the approval; **must** perform (or contract for) inspections for building permits. (G.S. 160D-1113; -403(e).)
- **May** perform inspections for general code compliance and enforcement (inspections unrelated to a development approval). (G.S. 160D-402(b).)
- **May** require a certificate of compliance or occupancy to confirm that permitted work complies with applicable laws and terms of the permit; still **must** require certificate of occupancy for work requiring a building permit. (G.S. 160D-403(g).)
- **May** issue stop-work orders for illegal or dangerous work or activity, whether related to a permit or not. (G.S. 160D-404(b).)
- **May** continue to use general enforcement methods, including civil penalties, fines, court ordered actions, and criminal prosecution. (G.S. 160D-404(c).)
- △ **Be aware** that a local government must bring a court action in advance of the applicable five- and seven-year statutes of limitation. (G.S. 1-51 and -49; established prior to Chapter 160D.)
- △ **Be aware** that a local government must comply with existing rules for uses that were previously nonconforming situations. If a use loses its nonconforming status, by amortization or change of use or otherwise, the local government must bring an enforcement action within ten years of the loss of nonconforming status. (160D-1405(c1); established prior to Chapter 160D.)

V. Substance of Zoning Ordinance [Chapter 3, Section I]

- Must** maintain current and prior zoning maps for public inspection (local government clerk or other office may be the responsible office); **may** adopt and maintain in paper or digital format. (G.S. 160D-105.)
- Must** eliminate conditional use district zoning; existing conditional use district zoning converts to conditional district ~~on January 1, 2021~~ upon adoption of updated local ordinances or July 1, 2021. (G.S. 160D-703; S.L. 2020-25; S.L. 2019-111, § 2.9(b).)
- Must not set a minimum square footage for structures subject to the One- and Two-Family Residential Building Code.** (G.S. 160D-703; S.L. 2019-174.)
- May** incorporate maps officially adopted by state or federal agencies (such as flood-insurance rate maps (FIRMs)) into the zoning map; **may** incorporate *the most recent officially adopted version* of such maps so that there is no need for ordinance amendment for subsequent map updates; **must** maintain current effective map for public inspection; **may** maintain in paper or digital format. (G.S. 160D-105.)
- May** require certain dedications and performance guarantees for zoning approvals to the same extent as for subdivision approvals. (G.S. 160D-702.)
- May** use form-based codes. (G.S. 160D-703(a)(3).)
- May** allow administrative minor modification of conditional zoning, special use permits, and other development approvals; if allowed, **must** define “minor modification” by ordinance, **must** not include modification of use or density, and major modifications **must** follow standard approval process. (G.S. 160D-403(d), -703(b), -705(c).)
- May** apply zoning standards jurisdiction-wide, not just on a zoning district by zoning district basis. (G.S. 160D-703(d).)
- May** regulate development over navigable waters, including floating homes. (G.S. 160D-702(a).)

VI. Substance of Other Development Ordinances [Chapter 3, Section II]

- Must** conform subdivision performance guarantee requirements with statutory standards. (G.S. 160D-804.1; S.L. 2020-25; S.L. 2019-79 (S.B. 313), ~~to be incorporated into G.S. Chapter 160D-~~)
- Must** conform subdivision procedures for expedited review of certain minor subdivisions. (G.S. 160D-802, established prior to G.S. Chapter 160D.)
- Must not require a developer, as a condition to subdivision approval, to bury a power line existing above ground and outside of property to be subdivided.** (G.S. 160D-804; S.L. 2019-174.)

- Must** exempt farm use on bona fide farm in ETJ from city zoning to the same extent it would be exempt from county zoning; Chapter 160D clarifies that other municipal development regulations may still apply. (G.S. 160D-903(c).)
- Must** not exclude manufactured homes based on the age of the home. (G.S. 160D-910.)
- Must** follow standardized process for housing code enforcement to determine owner’s abandonment of intent to repair and need for demolition. (G.S. 160D-1203(6).)
- May** adopt moratoria for development regulations (subject to limitation on residential uses); moratoria do not affect rights established by permit choice rule. (G.S. 160D-107.)
- Municipalities may petition court to appoint a receiver for vacant structures. (160D-1130.)

A. Historic Preservation

- Must** follow standard quasi-judicial procedures for preservation certificates of appropriateness. (G.S. 160D-947(c).)
- Must** frame preservation district provisions as “standards” rather than “guidelines.” (G.S. 160D-947(c).)
- May** choose for appeals of preservation commission decisions to go to board of adjustment. Default rule is that preservation appeals go directly to superior court rather than to board of adjustment. (G.S. 160D-947(e).)

B. Development Agreements

- Must** process a development agreement as a legislative decision. (G.S. 160D-105.)
- Must** have a local government as a party to a development agreement (a water and sewer authority may enter an agreement as a party, but not independently). (G.S. 160D-1001(b).)
- May** consider a development agreement concurrently with a rezoning, subdivision, or site plan; **may** consider a development agreement in conjunction with a conditional zoning that incorporates the development agreement. (G.S. 160D-1001(d).)
- May** address fewer topics in development agreement content (list of mandated topics is shortened). (G.S. 160D-1006.)
- May** mutually agree with a developer for the developer to provide public improvements beyond what could have been required, provided such conditions are included in the development agreement. (G.S. 160D-1006(d).)
- May** include penalties for breach of a development agreement in the agreement or in the ordinance setting the procedures for development agreements; either party may bring legal action seeking an

injunction to enforce a development agreement. (G.S. 160D-1008.)

VII. Comprehensive Plan [Chapter 4, Section I]

- Must** adopt a comprehensive plan or land-use plan by July 1, 2022, to maintain zoning (no need to re-adopt a reasonably recent plan). (G.S. 160D-501(a).)
- Must** adopt a plan or a plan update following the procedures used for a legislative decision. (G.S. 160D-501(c).)
- Must** reasonably maintain a plan. (G.S. 160D-501(a).)
- May** coordinate a comprehensive plan with other required plans, such as Coastal Area Management Act (CAMA) plans. (G.S. 160D-501(a).)
- May** coordinate with other local governments, state agencies, or regional agencies on planning processes. (G.S. 160D-503(a).)

VIII. Legislative Decisions [Chapter 4, Section II]

A. Notice

- Must** follow applicable procedures for legislative decisions under any development regulation authorized under Chapter 160D, not just zoning; **must** adopt any development regulation by ordinance, not by resolution. (G.S. 160D-601.)
- For zoning map amendments, **must** provide notice not only to immediate neighbors but also to properties separated from the subject property by street, railroad, or other transportation corridor. (G.S. 160D-602.)
- For zoning map amendments, **must** provide posted notice during the time period running from twenty-five days prior to the hearing until ten days prior to the hearing. (G.S. 160D-602(c).)
- For extension of ETJ, **may** use single mailed notice for ETJ and zoning-map amendment pursuant to statutory procedures. (G.S. 160D-202.)
- For zoning map amendments, **may** require applicant to notify neighbors and hold a community meeting and **may** require report on the neighborhood communication as part of the application materials. (G.S. 160D-602(e).)

B. Planning Board Comment

- Must** refer zoning amendments to the planning board for review and comment; **must** not have governing board handle planning board duty to review and comment on zoning amendments. (G.S. 160D-604(c), (e).)

- Must** have planning board consider any plan adopted according to G.S. 160D-501 when making a comment on plan consistency. (G.S. 160D-604(d).)
- May** refer development regulation amendments (other than zoning) to the planning board for review and comment. (G.S. 160D-604(c).)

C. Plan Consistency

- When adopting an amendment to the zoning ordinance, **must** adopt a brief statement describing whether the action is consistent or inconsistent with approved plans. (G.S. 160D-605(a).) (*This eliminates the 2017 requirement that statements take one of three particular forms.*)
 - May** adopt plan consistency statement when acting upon the zoning amendment or as a separate motion. (G.S. 160D-605(a).)
 - May** meet the requirement for plan consistency even without formal adoption of a written statement if the minutes of the governing board meeting reflect that the board was fully aware of and considered the plan. (G.S. 160D-605(a).)
 - May** concurrently consider a comprehensive plan amendment and a zoning amendment; must not require a separate application or fee for plan amendment. (G.S. 160D-605(a).)
- Must** note on the applicable future land use map when a zoning map amendment is approved that is not consistent with the map; the future land use map is deemed amended when an inconsistent rezoning is approved. (G.S. 160D-605(a).) (*This clarifies that a rezoning inconsistent with a plan does not amend the text of the plan, but it does amend the future land use map.*)
- For a future land use map that is deemed amended, if it is a CAMA plan, then such amendment is not effective until it goes through the CAMA plan-amendment process. (G.S. 160D-501.)
- Must** adopt a statement of reasonableness for zoning *map* amendments; for such statements, **may** consider factors noted in the statutes; **may** adopt a statement of reasonableness for zoning *text* amendments. (G.S. 160D-605(b).)
 - May** consider and approve a statement of reasonableness and a plan consistency statement as a single, combined statement. (G.S. 160D-605(c).)

D. Voting

- Must** permit adoption of a legislative decision for development regulation on first reading by simple majority; no need for two-thirds majority on first reading, as was required for cities under prior law. (G.S. 160A-75; S.L. 2019-111, § 2.5(n).)

E. Certain Legislative Decisions

- Must** prohibit third-party down-zonings; **may** process down-zonings initiated by the local government or landowner (G.S. 160D-601; S.L. 2019-111, Pt. I.)
- Must** obtain applicant's/landowner's written consent to conditions related to a conditional zoning approval to ensure enforceability. (G.S. 160D-703(b); S.L. 2019-111, Pt. I.)
- May** use purely legislative conditional zoning and/or quasi-judicial special use permitting; **must** not use combined legislative and quasi-judicial process, such as conditional use district zoning. (G.S. 160D-102.)
- With applicant's written consent, **may** agree to conditional zoning conditions that go beyond the basic zoning authority to address additional fees, design requirements, and other development considerations. (G.S. 160D-703(b); S.L. 2019-111, Pt. I.)
- May** allow administrative minor modification of conditional zoning, special use permits, and other development approvals; if allowed, **must** define "minor modification: by ordinance, **must** not include modification of use or density, and major modifications **must** follow standard approval process. (G.S. 160D-403(d), -703(b), -705(c).)

IX. Quasi-Judicial Decisions [Chapter 4, Section III]

A. Procedures

- Must** follow statutory procedures for all quasi-judicial development decisions, including variances, special use permits, certificates of appropriateness, and appeals of administrative determinations. (G.S. 160D-102(28).)
- Must** hold an evidentiary hearing to gather competent, material, and substantial evidence to establish the facts of the case; the evidentiary hearing **must** have testimony under oath; **must** establish written findings of fact and conclusions of law. (G.S. 160D-406.)
- Board chair **must** rule at the evidentiary hearing on objections to inclusion or exclusion of administrative material; such ruling **may** be appealed to the full board. (G.S. 160D-406(d).)
- Must** allow parties with standing to participate fully in the evidentiary hearing, including presenting evidence, cross-examining witnesses, objecting to evidence, and making legal arguments; **may** allow non-parties to present competent, material, and substantial evidence that is not repetitive. (G.S. 160D-406(d).)
- May** continue an evidentiary hearing without additional notice if the time, date, and place of the continued hearing is announced at a duly noticed hearing that has been convened; if quorum is not present at a meeting, the evidentiary hearing is automatically continued to the next regular meeting of the board with no notice. (G.S. 160D-406(b).)

- **May** distribute meeting packet to board members in advance of the evidentiary hearing; if this is done, then **must** distribute the same materials to the applicant and landowner at the same time; **must** present such administrative materials at the hearing and make them part of the hearing record. (G.S. 160D-406(c).)
- **May** have the planning board serve as a preliminary forum for review in quasi-judicial decisions; if this is done, the planning board must not conduct a formal evidentiary hearing, but must conduct an informal preliminary discussion of the application; the forum and recommendation must not be used as the basis for the decision by the board—the decision must still be based on evidence presented at the evidentiary hearing. (G.S. 160D-301.)
- **May** require recordation of special use permits with the register of deeds. (G.S. 160D-705(c).)
- △ **Be aware** that the definition of *close family relationship* as used for conflicts of interest includes spouse, parent, child, brother, sister, grandparent, or grandchild (including step, half, and in-law relationships). (G.S. 160D-109(f).)
- △ **Be aware** that even if there is no objection before the board, opinion testimony from a lay witness shall not be considered competent evidence for technical matters such as property value and traffic impacts. (S.L. 2019-111, § 1.9.)

B. Certain Quasi-Judicial Decisions

- **Must** not impose conditions on special use permits that the local government does not otherwise have statutory authority to impose. (G.S. 160D-705(c); S.L. 2019-111, Pt. I.)
- **Must** obtain applicant's/landowner's written consent to conditions related to a special use permit to ensure enforceability. (G.S. 160D-1402(k); G.S. 160D-1403.2; S.L. 2019-111, Pt. I.)
- **Must** set a thirty-day period to file an appeal of any administrative determination under a development regulation; **must** presume that if notice of determination is sent by mail, it is received on the third business day after it is sent. (G.S. 160D-405(c).)
- **May** adjust variance standards to provide for reasonable accommodation under the federal Fair Housing Act. (G.S. 160D-705(c).)
- **May** use purely legislative conditional zoning and/or quasi-judicial special use permitting; **must** not use combined legislative and quasi-judicial process, such as conditional use district zoning. (G.S. 160D-102.)
- **May** allow administrative minor modification of conditional zoning, special use permits, and other development approvals; if allowed, **must** define "minor modification" by ordinance, **must** not include modification of use or density, and major modifications **must** follow standard approval process. (G.S. 160D-403(d), -703(b), -705(c).)

X. Administrative Decisions [Chapter 4, Section IV]

A. Development Approvals

- Must** provide development approvals in writing; **may** provide in print or electronic form; if electronic form is used, then it **must** be protected from further editing. (G.S. 160D-403(a).)
- Must** provide that applications for development approvals must be made by a person with a property interest in the property or a contract to purchase the property. (G.S. 160D-403(a).)
- Must** provide that development approvals run with the land. (G.S. 160D-104.)
- For revocation of development approval, **must** follow the same process as was used for the approval. (G.S. 160D-403(f).)
- May** require community notice or informational meetings as part of the decision-making process for administrative development approvals (quasi-judicial and legislative decisions already had notice and hearing requirements). (G.S. 160D-403(h).)
- May** set expiration of development approvals if work is not substantially commenced; default rule is twelve months, unless altered by state or local rule. (G.S. 160D-403(c).) Building permits expire after six months, as under prior law (no change to building permits). (G.S. 160D-1111.)
- May** extend expiration for development approvals for which construction is commenced and then is discontinued; default rule is that such approvals are valid for 24 months after discontinuation. (G.S. 160D-108(d).) Building permits for which work has been discontinued expire after twelve months, as under prior law (no change to building permits). (G.S. 160D-1111.) ~~**May** set expiration of development approvals if work is discontinued; default rule is twelve months, unless altered by state or local rule. (G.S. 160D-403(c).) **Be aware** that legislation will clarify the provisions on duration of development approvals. (G.S. 160D-403(c); S.L. 2019-111, § 1.3.)~~
- May** authorize administrative staff to approve minor modifications of development approvals and conditional-zoning approvals; if this is done, then **must** define “minor modifications” by ordinance and **must** not include modification of permitted use or density of development; major modifications **must** go through full applicable approval process. (G.S. 160D-403(d); -703(b); -705(c).)

B. Determinations

- Must** provide written notice of determination by personal delivery, electronic mail, or first-class mail to the property owner and party seeking determination, if different from the owner. (G.S. 160D-403(b).)
- May** designate an official to make determinations for a particular development regulation. (G.S. 160D-403(b).)

- **May** require owner to post notice of determination on the site for ten days; if such is not required, then owner has option to post on the site to establish constructive notice. (G.S. 160D-403(b).)

C. Appeals of Administrative Decisions

- **Must** allow administrative decisions of any development regulations (not just zoning) to be appealed to the board of adjustment, unless provided otherwise by statute or ordinance. (Appeals relating to erosion and sedimentation control, stormwater control, or building code and housing code violations are not made to the board of adjustment unless specified by local ordinance.) (G.S. 160D-405.)
- **Must** set a thirty-day period to file an appeal of any administrative determination under a development regulation; must presume that if notice of determination is sent by mail, it is received on the third business day after it is sent. (G.S. 160D-405(c).)
- **Must** require the official who made the decision (or his or her successor if the official is no longer employed) to appear as a witness in the appeal. (G.S. 160D-406.)
- **Must** pause enforcement actions, including fines, during the appeal. (G.S. 160D-405.)
- **May** assign the duty of hearing appeals to another board (other than the board of adjustment); if this is done, such board must follow quasi-judicial procedures. (G.S. 160D-405.)
- **May** designate that appeals be filed with the local government clerk *or* another official. (G.S. 160D-405.)

XI. Vested Rights and Permit Choice [Chapter 5, Section I]

A. Vested Rights

- **Must** recognize that building permits are valid for six months, as under prior law. (G.S. 160D-1111 ~~G.S. 160D-108(d)(1).~~)
- **Must** recognize the default rule that development approvals/permits are valid for twelve months, unless altered by statute or extended by local rule ~~adjusted by statute or local rule.~~ (G.S. 160D-108(d)(2).)
- **Must** identify site-specific vesting plans (formerly site-specific development plans) with vesting for two to five years, as under prior law, except for specified exceptions. (G.S. 160D-108.1 ~~G.S. 160D-108(d)(3); 108(f).~~)
- **Must** recognize multi-phase developments—long-term projects of at least 25 acres—with vesting up to seven years, except for specified exceptions (160D-108(c)(~~d~~)(4); -108(f).) (The previously authorized phased-development plan is obsolete and should be deleted from ordinance.)
- **May** provide for administrative determination of vested rights and for appeal to the board of adjustment. (G.S. 160D-108(h)(~~e~~), -405.)

- △ **Be aware** that a person claiming vested rights may bring an original civil action in court, skipping administrative determination and board of adjustment consideration. (G.S. 160D-108(h); 160D-405(c).)
- △ **Be aware** that vested rights run with the land, except for state-permitted outdoor advertising permits that run with the owner of the permit. (G.S. 160D-108(i)(g); S.L. 2019-111, Pt. I.)

B. Permit Choice

- **Must** not make an applicant wait for final action on the proposed change before proceeding if the applicant elected determination under prior rules. (G.S. 143-755; G.S. 160D-108(b).)
- △ **Be aware** that if a local development regulation changes after an application is submitted, the applicant may choose the version of the rule that applies; but **may** require the applicant to comply with new rules if the applicant delays the application for six months. (G.S. 143-755; G.S. 160D-108(b); S.L. 2019-111, Pt. I.)
- △ **Be aware** that an application for one development permit triggers permit choice for permits under any development regulation; such permit choice is valid for eighteen months after approval of the initial application. (G.S. 143-755; G.S. 160D-108(b); S.L. 2019-111, Pt. I.)

XII. Judicial Review [Chapter 5., Section II]

A. Declaratory Judgments

- △ **Be aware** that an individual may bring a declaratory judgment action to challenge legislative zoning decisions, vested rights claims, and challenges to land use authority related to administrative decisions, subject to specified procedures. (G.S. 160D-1401; G.S. 160D-1403.1)
- △ **Be aware** that other civil actions may be authorized—G.S. Chapter 160D does not limit availability of other actions. (G.S. 160D-1404.)

B. Appeals of Quasi-Judicial Decisions

- **Must** update ordinance to address appeals of certificates of appropriateness for historic landmarks and historic districts; default rule is that such appeals go straight to court; local government may opt for such appeals to go to the board of adjustment, as under prior statutes. (G.S. 160D-947.)
- **Must** provide that appeals of certificates of appropriateness must be filed within thirty days after the decision is effective or written notice is provided, the same as for appeals of other quasi-judicial decisions. (G.S. 160D-947; -1405.)
- △ **Be aware** that on appeal a party may request a stay of the approval or enforcement action. (G.S. 160D-1402(e).)

- △ **Be aware** that a local government may seek a stay in favor of itself (to prevent development under an approval). (G.S. 160D-1402(e).)
- △ **Be aware** that if, in the absence of a stay, an applicant proceeds with development, the person does so at his or her own risk. (G.S. 160D-1402(l).)
- △ **Be aware** that on appeal, the superior court now must allow for supplementing the record on questions of standing, conflicts of interest, constitutional violations, or actions in excess of statutory authority. (G.S. 160D-1402; S.L. 2019-111, § 1.9.)
- △ **Be aware** that even if there is no objection before the board, opinion testimony from a lay witness shall not be considered competent evidence for technical matters such as property value and traffic impacts. (G.S. 160D-1402; S.L. 2019-111, § 1.9.)
- △ **Be aware** of specific judicial instructions for decisions of appeals of quasi-judicial decisions. (G.S. 160D-1402(k); S.L. 2019-111, § 1.9.)

C. Subdivision Decisions

- **May** establish a rule that administrative subdivision decisions are appealed to the board of adjustment. (G.S. 160D-1405.)
- △ **Be aware** that appeals of administrative subdivision decisions may be appealed directly to superior court. (G.S. 160D-1403.)
- △ **Be aware** that quasi-judicial subdivision decisions are appealed to superior court in the nature of certiorari. (G.S. 160D-1402.)

D. Attorneys' Fees

- △ **Be aware** that a court *shall* award attorneys' fees if the court finds that a city or county violated a statute or case law setting forth unambiguous limits on its authority. (G.S. 6-21.7; S.L. 2019-111, Pt. I.)
- △ **Be aware** that a court *shall* award attorneys' fees if the court finds that a local government took action inconsistent with, or in violation of, the permit choice ~~and vested rights~~ statutes. (G.S. 6-21.7; S.L. 2019-111, Pt. I.)
- △ **Be aware** that a court *may* award attorneys' fees in other matters of local government litigation. (G.S. 6-21.7; S.L. 2019-111, Pt. I.)

E. Additional Judicial Rules

- △ **Be aware** that a court may join a civil action challenging an ordinance with an appeal in the nature of certiorari. (G.S. 160D-1402(m).)

- △ **Be aware** that a local government **must** not assert the defense of estoppel to enforce conditions to which an applicant did not consent in writing. (G.S. 160D-1403.2; S.L. 2020-25; S.L. 2019-111, Pt. I.)

- △ **Be aware** that an action is not rendered moot if the party loses the relevant property interest as a result of the local government action being appealed, subject to applicable case law limits. (G.S. 160D-1402(j1); S.L. 2019-111, Pt. I.)