



**PLEASE TAKE NOTICE** that the Mebane City Council's Regular Meeting is scheduled for Monday, July 12, 2021 at 6 p.m. in the Council Chambers of the Glendel Stephenson Municipal Building located at 106 E. Washington Street, Mebane, NC 27302.

For those without internet service, you can listen to the meeting by calling 919-304-9210, password 158962.

For people who plan to view the meeting, but not comment or participate, the City is providing a YouTube live stream by searching *City of Mebane* on YouTube or at the following link:

<https://www.youtube.com/channel/UCoL1RXdRDMzK98p53TMoqww>

Access to the meeting is also available by the following three (3) options:

**Option #1- Attend In Person**

- While masks are not required, if one wants to wear a mask to the meeting, it is permissible.

For people that do not plan to attend in person but would like to address the City Council during the Public Comment Period or the Public Hearing, see options below.

**Option #2- Written Comments to be read aloud by Clerk**

- Written comments can be hand delivered to the Clerk at the above referenced address or emailed to [info@cityofmebane.com](mailto:info@cityofmebane.com). Written and emailed comments must be received by **4pm Monday, July 12th**.
- **Please note that due to Quasi-judicial Public Hearing requirements, written or emailed comments are not allowable for *Agenda Item 5a- Quasi-judicial- Special Use Permit- Cell Tower or Landi Ln.***
- Emailed comments must be labeled Public Comment or Public Hearing in the subject line and must contain commenter's name and address.

**Option #3- Zoom Conferencing**

- Email [info@cityofmebane.com](mailto:info@cityofmebane.com), request must be received by **Monday, July 12<sup>th</sup>, 2:00pm** to speak during the Public Comment Period or Public Hearing. When email is received, an email will be sent with instructions on how to register and speak during the Public Comment Period or Public Hearing.
- Messages must be labeled Public Comment or Public Hearing in the subject line and must contain commenter's name and address.
- Registered participants will be given an access code to speak at the meeting via Zoom, a remote conferencing service.
- Callers will be held in queue and asked to mute their phones or speakers until they are called on to speak.
- Speakers will be called in the order in which they are registered.
- Per authority of NCGS 143-318.17, if a person participating remotely willfully disrupts the Council meeting, then upon direction by the Mayor, such person may be removed from electronic participation, or his or her e-mail may not be read.



In Person and Remote  
Council Meeting Agenda  
July 12, 2021  
6:00 p.m.

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1. Call to Order and Invocation ..... Mayor Ed Hooks
2. Recognition of Coach John Kirby- NCHSAA Toby Webb Outstanding Coach Award
3. Public Comments ..... Mayor
4. Consent Agenda ..... Mayor
  - a. Approval of Minutes- June 7, 2021 Regular Meeting
  - b. Recreation Program Scholarship Policy
  - c. Recreation Trails Grant Application
  - d. Records Retention Policy
  - e. Purchase Police Capital with Federal Equitable Funds
  - f. Final Plat Reapproval- Bowman Village N1
  - g. Resolution Financing Proposal for Vehicles and Apparatus
  - h. New Job Descriptions
5. Public Hearings-
  - a. Quasi-judicial- Board of Adjustment- Special Use Permit-  
Cell Tower on Landi Lane ..... Cy Stober, Development Director
  - b. Ordinance to Extend the Corporate Limits-  
Lebanon Road 3, LLC- Tupelo Junction..... Lawson Brown, City Attorney
  - c. Ordinance to Extend the Corporate Limits- Mebane Investors, LLC-  
Magnolia Glen ..... Mr. Brown
6. BPAC Better Block Requests ..... Katy Jones, BPAC Member  
Chelsey Morrison, BPAC Member
7. Presentation of Wastewater Treatment Capacity- Part 2 ..... Franz Holt, City Engineer
8. Contract Award for the WRRF Renovation Improvements ..... Mr. Holt
9. Planning Board Appointments..... Mr. Stober
10. Planning Board Extraterritorial Jurisdiction (ETJ) Recommendation..... Mr. Stober
11. Adjournment ..... Mayor





The Mebane City Council met for its regular monthly meeting at 6:00 p.m., Monday, June 7, 2021 in the Council Chambers of the Glendel Stephenson Municipal Building located at 106 East Washington Street.

Council Present:

Mayor Ed Hooks  
Mayor Pro-Tem Jill Auditori  
Councilmember Tim Bradley  
Councilmember Patty Philipps  
Councilmember Everette Greene  
Councilmember Sean Ewing

City Staff Present:

City Manager Chris Rollins  
Assistant City Manager Preston Mitchell  
City Attorney Lawson Brown  
Development Director Cy Stober  
City Engineer Franz Holt  
City Clerk Stephanie Shaw

The meeting was livestreamed via YouTube. The video can be accessed through the following link: <https://www.youtube.com/watch?v=I0sLYgnn6bE>

Mayor Hooks called the meeting to order and requested a moment of silence to remember and honor former Mayor Glendel Stephenson who passed on Friday, May 28, 2021. Mr. Bradley gave the invocation after the moment of silence.

During the Public Comment Period, Carl Bradley, 4610 Mebane Rogers Road, Mebane, stated all is well at the City's community dog park and requested again that the City install a water spigot inside the fenced area.

Mayor Hooks gave a brief overview of the Consent Agenda as follows:

- a. Approval of Minutes-
  - i. April 13, 2021 Budget Work Session
  - ii. May 3, 2021 In Person Regular Meeting
- b. Petition for Voluntary Contiguous Annexation- Wilson Heirs- Meadowstone
- c. Petition for Voluntary Contiguous Annexation- Lebanon Road 3, LLC- Tupelo Junction
- d. Petition for Voluntary Non-Contiguous Annexation- Mebane Investors, LLC- Magnolia Glen
- e. Final Plat- Havenstone, Ph. 1B
- f. Juneteenth Proclamation
- g. Electronic Records Policy
- h. Resolution- Recovery Act
- i. Resolution- American Rescue Plan Act Special Revenue Fund

Mr. Bradley made a motion, seconded by Mr. Ewing, to approve the Consent Agenda as presented. The motion carried unanimously.

**Item b.**

RESOLUTION SETTING DATE OF PUBLIC HEARING ON  
QUESTION OF ANNEXATION PURSUANT TO G.S. 160A-31

Annexation No. 147

WHEREAS, a petition requesting annexation of the area described herein has been received;  
and

WHEREAS, certification by the City Clerk as to the sufficiency of the petition has been made;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Mebane, North Carolina that:

Section 1. A public hearing on the question of annexation of the area described herein will be held at the Mebane Municipal Building at 6:00 p.m. on July 12, 2021.

Section 2. The area proposed for annexation is described as follows:

PIN 9824434841 Nadine R. Wilson Heirs

PIN 9824435147 J. A. Wilson, Jr., Alan R. Wilson

PIN 9824435349 J. A. Wilson, Jr., Alan R. Wilson

BEGINNING at an existing railroad spike in the centerline of Ben Wilson Road (SR 1140) (NC Grid Coordinates N. 842163.26', E. 1,924,920.27' (NAD 83/11) as determined by a current GPS survey (Combined Grid Factor 0.99994815)), located S. 38°12'10" E. 10.43' from an existing Mag Nail found at the intersection of the centerline of Bowman Road (SR 1142) and the centerline of Ben Wilson Road and said existing railroad spike being the northwest corner of Kathryn A. Coombs (see Deed Book 6239, Page 374 and Tract 2, Plat Book 117, Page 67, Orange County Registry) and said existing railroad spike being the southeast corner of Nadine R. Wilson Heirs (see Lot 1 Plat Book 79, Page 194 and remainder area shown on Plat Book 115, Page 86 Orange County Registry) and said existing railroad spike being in the existing Mebane Corporate Limits line; thence proceeding along the existing Mebane Corporate Limits line and the centerline of Ben Wilson Road along five (5) courses as follows: (1) N. 26°46'29" W. 690.18' to a point, (2) N. 26°46'29" W. 118.24' to a point, (3) a curve to the right having a radius of 3640.46, an arc length of 548.64', chord bearing and distance N. 22°26'57" W. 548.12' to a point, (4) N. 18°07'55" W. 387.09' to a point and (5) a curve to the right having a radius of 2645.15', an arc length of 337.71', chord bearing and distance N. 14°33'46" W. 337.48' to a point; thence leaving the centerline of Ben Wilson Road and continuing along the existing Mebane Corporate Limits line N. 82°17'18" E. 29.77' to an existing iron pin in the east right of way line of Ben Wilson Road at the southwest corner of Jane & Ben Wilson, Jr. Family LLC (see Deed Book 5334, Page 171 and Tract Two Plat Book 71, Page 32, Orange County Registry); thence leaving the east right of way line of Ben Wilson Road and the existing Mebane Corporate Limits line and proceeding along the new Mebane Corporate Limits line with the south line of Jane & Ben Wilson, Jr. Family LLC along two (2) courses as follows: (1) N. 81°52'11" E. 748.12' to an existing iron pin and (2) N. 81°52'11" E. 50.00' to a 41" diameter poplar tree at the northwest corner of Wendy Louise Heath (see Deed Book 3877, Page 39 and Tract 1 Plat Book 85, Page 104 Orange County Registry); thence continuing along the new Mebane Corporate Limits line with the west line of Heath S. 27°41'59" E. 522.36' to a point in the centerline of Haw Creek at the northeast corner of Dalton J. Holland and Dillon C. Holland (see Deed Book 6076, Page 413 and Tract One, Plat Book 115, Page 86, Orange County Registry); thence continuing along the new Mebane Corporate Limits line and the centerline of Haw Creek along seven (7) courses with the north line of Holland as follows: (1) S. 79°29'24" W. 33.08' to a point, (2) S. 33°56'34" W. 45.71' to a point, (3) S. 70°22'53" W. 33.09' to a point, (4) S. 52°10'51" W. 77.56' to a point, (5) S. 33°05'54" W. 38.42' to a point, (6) S. 27°12'01" W. 54.23' to a point and (7) S. 38°22'58" W. 62.11' to a point; thence leaving the centerline of Haw Creek and continuing along the new Mebane Corporate Limits line along six (6) courses with the west lines of Holland as follows: (1) S. 01°43'09" E. 27.58' to an existing iron pin, (2) S. 01°43'09" E. 305.84' to an existing iron pin, (3) S. 08°11'43" W. 201.91' to an existing iron pin, (4) S. 29°57'50" E. 271.44' to an existing iron pin, (5) S. 29°55'50" E. 166.11' to an existing iron pin and (6) S. 29°56'41" E. 203.78' to an existing iron pin in the north right of way line of Bowman Road; thence leaving the north right of way line of Bowman Road and continuing along the new Mebane Corporate Limits line S. 29°56'41" E. 30.75' to a point in the centerline of Bowman Road; thence continuing along the new Mebane Corporate Limits line and the centerline of Bowman Road along a curve to the left having a radius of 918.00' an arc length of 153.67', chord bearing and distance N. 42°42'39" E. 153.50' to a point in the north line of Daniel J. Wilson; thence leaving the centerline of Bowman Road and continuing along the new Mebane Corporate Limits line with the north line of Wilson S. 29°37'29" W. 212.09' to an existing iron pin in the north line of Kathryn A. Coombs (see Deed Book 6239, Page 374 and Tract 2, Plat Book 117, Page 67, Orange County Registry); thence continuing along the new Mebane Corporate Limits line with the north line of Coombs S. 66°31'20" W. 397.72' to the point and place of BEGINNING, and

being all of a contiguous City of Mebane Annexation area, containing 27.5213 acres, or 0.0430 square miles, more or less, as shown on a plat of survey entitled "Final Plat of Contiguous Voluntary Annexation for City of Mebane Corporate Limits Extension" as prepared by Brantley W. Wells., NC PLS #4544, dated April 30th, 2021, Summit Design and Engineering Services Project No. 20-0089 to which plat reference is hereby made for a more particular description of same.

Section 3. Notice of the public hearing shall be published once in the Mebane Enterprise, a newspaper having general circulation in the City of Mebane, at least ten (10) days prior to the date of the public hearing.

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Ed Hooks, Mayor

ATTEST:

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Stephanie W. Shaw, City Clerk

**Item c.**

RESOLUTION SETTING DATE OF PUBLIC HEARING ON  
QUESTION OF ANNEXATION PURSUANT TO G.S. 160A-31

Annexation No. 146

WHEREAS, a petition requesting annexation of the area described herein has been received; and

WHEREAS, certification by the City Clerk as to the sufficiency of the petition has been made;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Mebane, North Carolina that:

Section 1. A public hearing on the question of annexation of the area described herein will be held at the Mebane Municipal Building at 6:00 p.m. on July 12, 2021.

Section 2. The area proposed for annexation is described as follows:

City of Mebane Corporate Limits Extension: Contiguous Annexation  
Cheeks Township, Orange County, NC PIN 9825498941

**Annexation Area 2A1**

BEGINNING at an existing iron pin (NC Grid Coordinates N. 858,159.59', E. 1,924,661.55' (NAD 83/11) as determined by a current GPS survey (Combined Grid Factor 0.9999661453)), in the north right of way line of Lebanon Road, SR1306, in the west line of Lebanon Road 3, LLC (see Deed Book 67404, Page 442 and Tract 2A Plat Book 123, Page 1 Orange County Registry, also being in the east line of Teresa T. Dallas ( see Deed Book 537, Page 487 and Plat Book 40, Page 93 Orange County Registry) also being in the west line of Lee's Bees Incorporated (see Tract 2A Plat Book 123, Page 1 Orange County Registry) and also being in the existing Mebane ETJ Limits line and the existing Mebane Corporate Limits line; thence leaving the north right of way line of Lebanon Road and the existing Mebane Corporate Limits line and proceeding along the existing Mebane ETJ Limits line with Dallas N. 33°45'17" W. 63.68' to an existing iron pin in the south right of way line of East Stagecoach Road, SR 1376; thence leaving the existing Mebane ETJ Limits line and proceeding along the New Mebane Corporate Limits Line with the south right of way line of East Stagecoach Road along two (2) courses as follows: (1) S. 89°12'04" E. 79.70' to a point and (2) a curve to the right having a radius of 137.83', an arc length of 27.07' ( chord bearing and distance S. 83°29'06" E. 27.03' to a point at the intersection of the south right of way line of East Stagecoach Road and the north right of way line of Lebanon Road; thence continuing along the New Mebane Corporate Limits Line with the north right of way line of Lebanon Road S. 55°34'34" W. 86.27' to the POINT AND PLACE OF BEGINNING, being all of Annexation Area 2A1, being a

portion of Tract 2A, Plat Book 123, Page 1 Orange County Registry, and being all of a contiguous City of Mebane Annexation area, containing 0.0658 acres, or 0.00010 square miles, more or less, as shown on a plat of survey entitled "Final Plat of Contiguous Voluntary Annexation for City of Mebane Corporate Limits Extension" as prepared by Brantley W. Wells., NC PLS #4544, dated April 18th, 2021, Summit Design and Engineering Services Project No. 19-0185.

## **Annexation Area 2A2**

COMMENCING at an existing iron pin (NC Grid Coordinates N. 858,159.59', E. 1,924,661.55' (NAD 83/11) as determined by a current GPS survey (Combined Grid Factor 0.9999661453)), in the north right of way line of Lebanon Road, SR1306, in the west line of Lebanon Road 3, LLC (see Deed Book 67404, Page 442 and Tract 2A Plat Book 123, Page 1 Orange County Registry, also being in the east line of Teresa T. Dallas ( see Deed Book 537, Page 487 and Plat Book 40, Page 93 Orange County Registry) and also being in in the existing Mebane ETJ Limits line and the existing Mebane Corporate Limits line; thence leaving the existing Mebane ETJ Limits line and proceeding along the existing Mebane Corporate Limits line and the north right of way line of Lebanon Road along two (2) courses as follows: (1) N. 55°34'34" E. 86.27' to a point at the intersection of the south right of way line of East Stagecoach Road and the north right of way line of Lebanon Road and (2) a tie line N. 55°34'34" E. 73.60' to a point ( NC Grid Coordinates N. 858,249.97', E. 1,924,793.42" (NAD 83/11) at the intersection of the north right of way line of East Stagecoach Road and the north right of way line of Lebanon Road, the point of BEGINNING; thence leaving north right of way line of Lebanon Road and the existing Mebane Corporate Limits line and proceeding along the new Mebane Corporate limits line and the north right of way line of East Stagecoach Road along two (2) courses as follows: (1) a curve to the left having a radius of 197.86' an arc length of 90.03', chord bearing and distance N. 76°04'33" W. 89.26' to a point and (2) N. 89°12'04" W. 310.38' to a point at the southeast corner of Harmony Homesteads LLC (see Deed Book 6511, Page 160 and Plat Book 72, Page 74 Orange County Registry), also being in the west line of Lee's Bees Incorporated (see Tract 2A Plat Book 123, Page 1 Orange County Registry) and also being in the existing Mebane ETJ Limits line; thence leaving the north right of way line of East Stagecoach Road and proceeding along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with the east line of Harmony Homesteads LLC along two (2) courses as follows: (1) N. 11°11'59" W. 1.03' to an existing iron pin and (2) N. 10°54'49" W. 574.62' to an existing iron pin at the southeast corner of Mill Creek Development Company (see Deed Book 2086, Page 255 Orange County Registry); thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with the east line of Mill Creek Development Company N. 10°53'56" W. 366.73' to a point where the existing Mebane ETJ Limits line meets the existing Mebane Corporate Limits line ( see Plat Book, 20, Page 25 Orange County Registry); thence proceeding along the existing Mebane Corporate Limits line with the east line of Mill Creek Development N. 10°53'56" W. 1900.14' to an iron pin set at the northwest corner of Lee's Bees Incorporated (see Tract 2A Plat Book 123, Page 1 Orange County Registry), also being the southwest corner of Lee's Bees Incorporated (see Tract 2B Plat Book 123, Page 1 Orange County Registry), and also being in the existing Mebane ETJ Limits line; thence leaving the existing Mebane Corporate Limits line and proceeding along the existing Mebane ETJ Limits line and the New Mebane Corporate Limits line with the south line of Lee's Bees Incorporated (see Tract 2B Plat Book 123, Page 1 Orange County Registry), N. 79°53'07" E. 1259.96' to an existing iron pin at the southwest corner of Rebecca and Raymond Wicker (see Deed Book 3884, Page 514 and Lot 1A Plat Book 90, Page 139 Orange County Registry); thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with Wicker along three (3) courses as follows: (1) N. 79°53'17" E. 227.53' to an existing iron pin, (2) S. 40°07'22" E. 328.11' to an existing iron pin and (3) N. 81°06'28" E. 324.77' to an iron pin set in the west right of way line of Saddle Club Road (SR 1346); thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with the west right of way line of Saddle Club Road along two (2) courses as follows: (1) a curve to the left having a radius of 980.00', an arc length of 133.77', chord bearing and distance S. 07°49'40" E. 133.67' to a point and (2) a curve to the left having a radius of 6081.81', an arc length of 109.35', chord bearing and distance S. 11°18'33" E. 109.34' to a point in the north line of Steven R. Cannada (see Deed Book 6349, Page 227 and Lot 4 Plat Book 60, Page 45 Orange County Registry); thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with Cannada along two (2) courses as follows: (1) S. 78°51'52" W. 707.57'

to an existing iron pin and (2) S. 10°39'35" E. 183.69' to an existing iron pin at the northwest corner of Anthony and Amanda Hendrickson (see Deed Book 6629, Page 2364 and Lot 5 Plat Book 60, Page 45 Orange County Registry; thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with Hendrickson along two courses as follows: (1) S. 10°47'13" E. 182.24' to an existing iron pin and (2) N. 76°33'09" E. 719.34' to point in the west right of way line of Saddle Club Road; thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with the west right of way line of Saddle Club Road S. 12°42'51" E. 240.99' to a point in the north line of Marshall & Kristi Ronningen (see Deed Book 6420, Page 324 and Plat Book 118, Page 34 Orange County Registry); thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with Ronningen along five (5) courses as follows: (1) N. 88°57'24" W. 255.18' to an existing iron pin, (2) S. 83°49'36" W. 137.83' to an existing iron pin, (3) S. 47°42'16" W. 73.14' to an existing iron pin, (4) S. 08°10'30" E. 119.59' to an existing iron pin and (5) N. 85°50'17" E. 164.07' to an existing iron pin at the northwest corner of Peggy E. Hines (see Deed Book 394, Page 317 Orange County Registry); thence continuing along the existing Mebane ETJ Limits line and the New Mebane Corporate Limits line with the west line of Hines S. 00°24'04" W. 410.04' to an existing iron pin in the north line of Gary & Cindy Linz (see Deed Book 1603, Page 515, Deed Book 1707, Page 107, Deed Book 6654, Page 1986, Plat Book 55, Page 138, Plat Book 75, Page 94 and Lot 3 Remainder Plat Book 96, Page 2, Orange County Registry); thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with Linz along five (5) courses as follows: (1) S. 86°03'17" W. 356.16' to an existing iron pin, (2) S. 86°02'55" W. 7.10' to a point, (3) S. 09°01'17" E. 202.18' to a point, (4) S. 11°28'59" E. 808.93' to a point and (5) S. 10°42'21" E. 0.51' to a point in the north right of way line of Lebanon Road and the existing Mebane Corporate Limits line; thence leaving the existing Mebane ETJ Limits line the new Mebane Corporate Limits line and proceeding along the existing Mebane Corporate Limits line and the north right of way line of Lebanon Road along three (3) courses as follows: (1) a curve to the left having a radius of 1513.21' an arc length of 187.89', chord bearing and distance S. 67°50'38" W. 187.77' to a point, (2) a curve to the left having a radius of 1513.21' an arc length of 223.90', chord bearing and distance S. 60°02'52" W. 223.70' to a point and (3) S. 54°50'09" W. 516.77' to the POINT AND PLACE OF BEGINNING, being all of Annexation Area 2A2 Area, being a portion of Tract 2A, Plat Book 123, Page 1 Orange County Registry, and being all of a contiguous City of Mebane Annexation area, containing 93.9380 acres, or 0.1468 square miles, more or less, as shown on a plat of survey entitled "Final Plat of Contiguous Voluntary Annexation for City of Mebane Corporate Limits Extension" as prepared by Brantley W. Wells., NC PLS #4544, dated April 18th, 2021, Summit Design and Engineering Services Project No. 19-0185.

Section 3. Notice of the public hearing shall be published once in the Mebane Enterprise, a newspaper having general circulation in the City of Mebane, at least ten (10) days prior to the date of the public hearing.

\_\_\_\_\_  
Ed Hooks, Mayor

ATTEST:

\_\_\_\_\_  
Stephanie W. Shaw, City Clerk

**Item d.**

RESOLUTION FIXING DATE OF PUBLIC HEARING ON  
QUESTION OF ANNEXATION PURSUANT TO G.S. 160A-58.2

Annexation No. 145

WHEREAS, a petition requesting annexation of the non-contiguous area described herein has been received; and

WHEREAS, the Mebane City Council directed the City Clerk to investigate the sufficiency of the petition; and

WHEREAS, certification by the City Clerk as to the sufficiency of the petition has been made;

NOW, THEREFORE, BE IT RESOLVED, by the Mebane City Council of the City of Mebane, North Carolina that:

Section 1. A public hearing on the question of annexation of the non-contiguous area described herein will be held at 6:00 p.m. on July 12, 2021.

Section 2. The area proposed for annexation is described as follows:

Beginning At An EIP in the E.C. Sykes line;

Thence S 00°56'55" E A Distance Of 97.31' to an EIP; Thence S 00°03'20" E A Distance Of 163.15' to an EIP; Thence S 52°59'45" W A Distance Of 1361.97' to an EIP; Thence N 11°59'56" W A Distance Of 636.47' to an EIP; Thence N 12°01'48" W A Distance Of 580.59' to an EIP; Thence N 78°29'37" E A Distance Of 180.40' to a computed point; Thence S 11°59'52" E A Distance Of 23.54' to a computed point; Thence N 78°00'08" E A Distance Of 359.69' to a computed point; Thence S 08°10'12" E A Distance Of 14.97' to a computed point; Thence N 81°49'48" E A Distance Of 358.69' to a computed point; Thence N 89°14'43" E A Distance Of 44.69' to a computed point; Thence S 00°45'17" E A Distance Of 42.04' to a computed point; Thence S 07°18'56" E A Distance Of 51.44' to a computed point; Thence S 28°34'09" E A Distance Of 78.81' to a computed point; Thence S 49°49'23" E A Distance Of 78.81' to a computed point; Thence S 71°04'37" E A Distance Of 75.82' to a computed point; Thence N 89°14'43" E A Distance Of 227.15' to an EIP; Which Is The Point Of Beginning, Having An Area Of 1024900.04 Square Feet, 23.53 Acres

Section 3. Notice of the public hearing shall be published once in the Mebane Enterprise, a newspaper having general circulation in the City of Mebane, at least ten (10) days prior to the date of the public hearing.

\_\_\_\_\_  
Ed Hooks, Mayor

ATTEST:

\_\_\_\_\_  
Stephanie W. Shaw, City Clerk

**Item h.**

**RESOLUTION REGARDING FUNDS FROM THE FEDERAL  
CORONAVIRUS STATE AND LOCAL FISCAL RECOVERY ACT**

**WHEREAS**, the U.S. Congress passed legislation to provide Coronavirus State and Local Recovery Funds to states and municipalities, including the City of Mebane (American Rescue Plan of 2021-ARPA, Section 9901, Pub. L. No. 117-2, codified at 42 U.S.C. Section 802 et seq.—herein, THE ACT); and

**WHEREAS**, The ACT allows the use of municipal funds to be employed for a myriad of stimulus recovery including but not limited to water and sewer infrastructure, replacement of public sector revenue loss, broadband infrastructure, support of public health response, addressing negative economic impacts and premium pay for essential workers; and

**WHEREAS**, the infiltration and inflow in the City's waste water (sewer) system is significant, adversely affecting the City's ability to provide high quality infrastructure and to efficiently provide needed services and impacting the capacity of the City to serve future growth; and

**WHEREAS**, the City desires to seek all funds which become available by virtue of THE ACT;

**NOW THEREFORE, BE IT RESOLVED** as follows: The City shall seek the maximum amount of funds available to the City under THE ACT; City staff is directed to take all appropriate actions to secure such funding; and that upon receipt of such funds, City staff is directed and authorized to expend the funds for any lawful purpose with primary focus to address the infiltration and inflow in the City's waste water (sewer) system and/or any other wastewater infrastructure projects.

Adopted this 7<sup>th</sup> day of June, 2021.

\_\_\_\_\_  
Ed Hooks, Mayor

ATTEST: \_\_\_\_\_  
Stephanie W. Shaw, City Clerk

Item i.

### SPECIAL REVENUE FUND RESOLUTION

**WHEREAS**, the U.S. Congress passed legislation to provide Coronavirus State and Local Recovery Funds to states and municipalities, including the City of Mebane (American Rescue Plan of 2021-ARPA, Section 9901, Pub. L. No. 117-2, codified at 42 U.S.C. Section 802 et seq.—herein, THE ACT); and

**WHEREAS**, funds received through THE ACT may only be used for certain purposes and the revenues and expenditures of these funds must be accounted for separately from any other revenues received or expenditures made by the City and,

**WHEREAS**, NCGS 159-26(b)(2) authorizes the creation of a special revenue fund.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MEBANE THAT:**

**Section 1.** The City Council hereby creates a Special Revenue Fund with an initial budget of \$2,380,000 for the purpose of funding infiltration and inflow projects in the City's wastewater (sewer) system and/or any other wastewater infrastructure projects.

**Section 2.** The City expects to receive approximately \$4,760,000 in two tranches. The first tranche is expected to be received in June 2021 in the amount of \$2,380,000 and the second is expected to be received in June 2022 in the amount of \$2,380,000.

**Section 3.** This Special Revenue Fund shall remain effective until all THE ACT funds are spent. The deadline for spending THE ACT funds is December 31, 2024. The Special Revenue Fund may be amended by the governing board as needed.

**Section 4.** This Resolution shall become effective and binding upon its adoption.

Adopted this 7<sup>th</sup> day of June 2021.

\_\_\_\_\_  
Ed Hooks, Mayor

ATTEST:

\_\_\_\_\_  
Stephanie W. Shaw, City Clerk

A public hearing was held on a request for acceptance of the water engineering report for the Water and Wastewater System Development Fee Analysis and to adopt a resolution for new system development fees for water and wastewater improvements attributable to new development. Mr. Holt presented the request. He explained that the preliminary analysis was presented to Council at the regularly scheduled meeting held on April 5, 2021 and was subsequently made available for public review and comment online for the mandatory 45-day review period which concluded on May 24, 2021. During that time no additional comment or feedback was received. As such, no revisions were made to the preliminary analysis. The System Development Fees are a one-time charge to new customers at the time of service. Based on the analysis conducted, the maximum water and sewer system development fee the City can charge for an equivalent residential user (ERU) is \$3,830. This is an increase of \$959 above the current fee of \$2,871. All other non-residential uses are a factor of the ERU fee based on meter size. Additionally, this analysis considers the impact of the number of bedrooms on water and sewer system capacity with recommended equitable fee charges (multipliers of the typical 3-bedroom unit fee) as well as the wastewater flow being tributary to either the WRRF or Graham WWTP.

Ms. Auditori asked if this one-time fee for new customers that only applies to new residential developments. Mr. Holt said it applies to new residential and non-residential development, anybody with a new meter/new connection.

No one from the public spoke.

Ms. Philipps made a motion, seconded by Mr. Greene, to close the public hearing. The motion carried unanimously. Ms. Philipps made a motion, seconded by Mr. Bradley to accept the AWCK engineering report for the Water and Wastewater System Development Fee Analysis as presented and to adopt a resolution adopting new system development fees for water and wastewater improvements attributable to new development. The motion carried unanimously.

**RESOLUTION ADOPTING NEW SYSTEM DEVELOPMENT FEES FOR WATER AND  
WASTEWATER IMPROVEMENTS ATTRIBUTABLE TO NEW DEVELOPMENT**

**WHEREAS**, North Carolina Session Law 2017-138 (the “Public Water and Sewer System Development Fee Act”) states that to impose water and sewer System Development Fees the City Council may, after commissioning preparation of a written analysis, receiving public comment on said analysis for a period of not less than 45 calendar days, and holding one (1) public hearing regarding said analysis, adopt a System Development Fee schedule and incorporate it into the City’s fee schedule; and

**WHEREAS**, Alley, Williams, Carmen & King, Inc. prepared for the City a professional engineering report (the “Water and Wastewater System Development Fee Analysis”) on the implementation of System Development Fees attributable to new development within the City’s service areas; and

**WHEREAS**, the City Council finds and determines the City has complied with the requirements of the Public Water and Sewer System Development Fee Act for publishing the written System Development Fee Analysis prior to holding any public hearing; and

**WHEREAS**, pursuant to the Public Water and Sewer System Development Fee Act the City Clerk of the City of Mebane timely published on the 26<sup>th</sup> day of May 2021, the notice of public hearing (on file with City Clerk as Exhibit “A”) in the City of Mebane’s official newspaper of general circulation concerning a public hearing to consider approval of the written System Development Fee Analysis and adoption of a System Development Fee schedule.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MEBANE, NORTH CAROLINA:**

**SECTION 1.** The facts and recitations found in the preamble of this Resolution are true and correct and incorporated herein for all purposes.

**SECTION 2. Approval of System Development Fees.** The System Development Fees identified in the final Water and Wastewater System Development Fee Analysis dated 1 June 2021 (a copy of which on file with City Clerk as Exhibit “B” and incorporated into this Resolution for all purposes) are approved, levied, and imposed.

**SECTION 3. Collection of System Development Fees.** The City may collect the System Development Fees herein imposed or as may be later amended beginning upon the effective date of this Resolution. The System Development Fees herein imposed or as may be later amended shall be collected as directed by and in accordance with the Public Water and Sewer System Development Fee Act.

**SECTION 4. Accounting for System Development Fee Revenue.** The City shall deposit all funds collected for the System Development Fees herein imposed or as may be later amended as directed by and in accordance with the Public Water and Sewer System Development Fee Act.

**SECTION 5. Appropriation of System Development Fee Revenue.** The City shall appropriate all funds collected for the System Development Fees herein imposed or as may be later amended as directed by and in accordance with the Public Water and Sewer System Development Fee Act.

**SECTION 6. Recurring Review and Update of System Development Fees.** The City shall update the Water and Wastewater System Development Fee Analysis and the System Development Fees herein imposed or as may be later amended as directed by and in accordance with the Public Water and Sewer System Development Fee Act.

**SECTION 7. Waiver of System Development Fees.** The City may at any time elect to waive collection the System Development Fees herein imposed or as may be later amended.

**SECTION 8. Severability.** In the event any clause, phrase, provision, sentence, or part of this Resolution or the application of the same to any person or circumstances shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair, or invalidate



this Resolution as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Mebane, North Carolina declares that it would have passed each and every part of the same notwithstanding the omission of any part thus declared to be invalid or unconstitutional, or whether there be one or more parts.

**SECTION 8. Effective Date.** This Resolution shall be in full force and effect on the 1<sup>st</sup> day July 2021.

**PASSED, APPROVED, AND ADOPTED** on this the 7<sup>th</sup> day of June 2021. The motion to adopt this Resolution was made by, Councilmember Philipps, seconded by Councilmember Bradley and passed by a vote of 5 to 0.

\_\_\_\_\_  
Ed Hooks, Mayor

ATTEST: \_\_\_\_\_  
Stephanie W. Shaw, City Clerk

A public hearing was held on a request for adoption of the 2021-2022 Budget Ordinance and 2022-2026 Capital Improvement Plan. Mr. Rollins presented the budget and capital improvement plan via the following PowerPoint presentation.

**Agenda**

- 2022 Budget Quick Facts
- The Stress of Growth
- Catching Up with Growth
- Financial Impact on Residents
- Necessary Utility Fee Increase
- Care of Employees
- Fee Schedule Changes
- Capital Improvement Plan

**2022 Budget Quick Facts**

Fund	Total Budget	Tax Rate	Tax Base	Collection Rate
General Fund	Up 1.7% – \$25,445,340	Same – 47 Cents	Up 8.6% – \$2,606,317,598	Up 1.7% – 99.7%
Utility Fund	Up 12.2% – \$10,378,152			

Utility Fund Details:

- Water Rate Up 10% – \$6.72 (inside), \$13.44 (outside)
- Sewer Rate Up 10% – \$7.22 (inside), \$14.43 (outside)

## Department Budget Requests: The Stress of Growth

- Department head requests - \$30.9 million
- 21 new positions, 4 reclassifications
- Significant capital outlay requests
- Requires 6.2-cent tax rate to 53.2 cents

## Catching Up with Growth

- Major FY 21-22 purchases:
  - Fire Engine
  - Sanitation Truck
  - Meter replacement project
  - 8 Police Vehicles (3 replacement, 5 additional)
  - Oversize reimbursements
  - Water line replacement
  - Graham Water Plant
  - 4 Pick-up trucks (3 replacement, 1 additional)
  - IT hardware
  - Lake Michael Connector
  - Field Lighting
  - Sidewalks
  - Council Chambers video upgrades
- Position additions:
  - Public Information Officer
  - Human Resources Consultant
  - Accountant
  - Police Investigator
  - Police Patrol (as of 1/1/22)
  - Fire Inspector I
  - Maintenance Worker II
  - Equipment Operator I
  - Maintenance Crew Leader
- Restructured positions:
  - Accounting Supervisor
  - Streets Supervisor
  - Sanitation Operations Supervisor

Mr. Rollins paused after his slide to give comments regarding sidewalk construction. He said the City takes on sidewalk projects each budget year and one of the projects proposed for the year is sidewalks on S. Fourth Street down to Roosevelt Street as management had heard from staff that there was strong support for a sidewalk in that neighborhood, however, it turns out that the exact opposite was true, therefore he recommends not funding that sidewalk project and to reallocation those funds to another project in the city.

## Financial Impacts on Residents

**NO CHANGES IN THE PROPERTY TAX**

**10% WATER AND SEWER RATE INCREASE STARTING JULY 1, 2021**

## Necessary Utility Fee Increase Declining Financial Position



## Care for Employees



2% COLA

2% merit pay

No change in health  
benefits

## Fee Schedule Changes

- The following areas of the fee schedule includes changes:
  - Table of Contents
  - Public Works
  - Development Fees
  - Planning
  - Recreation
  - Water Resource Recovery Facility

## Capital Improvement Plan - 2022



## Current Capital Project Ordinances



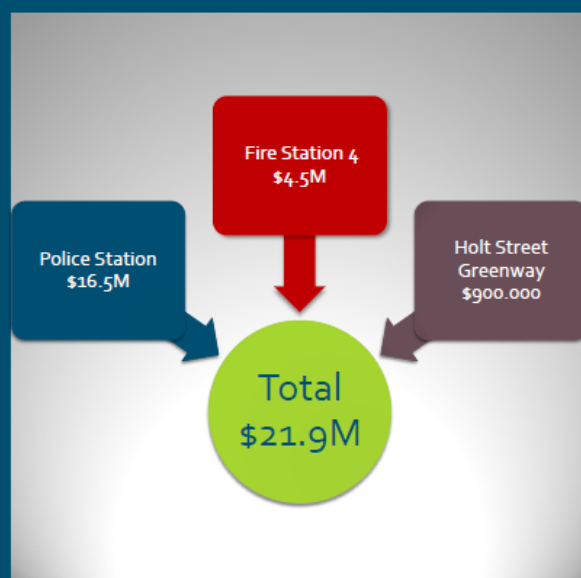
WRRF - Renovation

WRRF - Expansion

Cates Farm Park

## Future Capital Project Ordinances in FY 22

1. Land for New Police Department/Possible Design - \$1,750,000; \$14,750,000 construction
2. Land for New West Fire Department - \$500,000; \$4,000,000 design & construction
3. Holt Street Greenway



Linda Wright, 501 S. Fourth Street, Mebane, spoke on behalf of herself and several residents of the 500 block of S. Fourth Street. She read aloud a letter in opposition of the city installing sidewalks on either side of the street. She also presented a petition regarding the same. She

concluded her comments thanking city staff for the many meetings and discussions and requested that Council take under consideration the wishes of their neighborhood, along with Mr. Rollins' recommendation to remove the S. Fourth Street sidewalk from the project list and to allocation those funds elsewhere.

No one else spoke.

Mr. Greene made a motion, seconded by Mr. Ewing, to close the public hearing. The motion carried unanimously. Mr. Bradley made a motion, seconded by Mr. Greene, to approve the Budget Ordinance for the Fiscal Year Ending June 30, 2022, the Fee Schedule with the new system development fees, and the Capital Improvement Plan for 2022-2026 as presented with the removal of the sidewalk project on S. Fourth Street as recommended by Mr. Rollins and to allocated those funds to another project. The motion carried unanimously. Mr. Rollins thanked the Finance Department and Department Heads for their hard work during the budget season. Ms. Philipps commended City staff as well and thanked Mr. Rollins for his good leadership.

A public hearing was held on a request for approval of Comprehensive Unified Development Ordinance (UDO) amendments per State requirements. Mr. Stober presented the request. He explained that in In July 2019, the North Carolina General Assembly adopted the new Chapter 160D of the North Carolina General Statutes which consolidates current city and county enabling statutes for development regulations into a single, unified chapter and organizes these statutes into a more logical, coherent structure. Local governments shall adopt the necessary ordinance amendments to comply with Chapter 160D by July 1, 2021. Mr. Stober highlighted the following:

#### UDO 160D Updates:

- Requirement of Sworn Officers for All Appointed Bodies (Article 2)
- Clarifies Conflicts of Interests (Article 2)
- Provides Formula for Determining ETJ Representation on Planning Board & Board of Adjustment (Article 2)
- Clarifies Enforcement Powers (Articles 8 & 10)
- Specifies Key Word Definitions (Article 12)
- Clearly Allows the Use of Form-Based Codes
- Requires Establishment of a Maintained Comprehensive Plan to Allow for Zoning
- Establishes Boundaries of City's Subdivision Standards for Farms, Mobile Homes, Minor Subdivisions (Articles 2, 3, 5)
- Requires Developer Agreements (aka "SIA's") (Article 2 & 7)
- Eliminates Conditional Use Permits (Article 3)
  - Will Require Updating of Mebane Zoning Map
- Details & Updates Vested Rights for Active Developments (Article 2)
- Establishes Clear Notification Requirements for Staff (Articles 2 & 8)
- Establishes Rules for ETJ Extension Public Hearing
- Establishes Requirements for Consistency Statements
- Clarifies Abilities of Staff to Make Minor Modifications to Council-Approved Plans & Permits

#### Environmental Updates to Article 5:

- Already adopted by City but only in City Ordinance
  - Stormwater (Proposed to be Sections 2 & 3)
  - Stream Buffers (Proposed to be Section 6)
- Water Supply Watershed
  - Addition of Upper Eno River watershed to Section 4

- Language same as that applying to Graham-Mebane Reservoir watershed
- Falls Lake Stormwater Management
  - Affects most development east of Buckhorn Road
  - Requires nutrient filtration in addition to runoff and sediment management
  - Water Supply Watershed
    - Features both the Graham-Mebane and Upper Eno River watersheds
  - Falls Lake Nutrient Management
    - Affects most development east of Buckhorn Road

Mr. Stober concluded by stating that in error he included some voluntary amendments to Article 7 to expand goals and to serve bicycle and pedestrian modes of transportation. He requested that any amendments in Article 7 that are voluntary in nature not be included in the Council's motion, only those amendments that are required by General Statute.

No one from the public spoke. After some discussion among Council and staff, Ms. Philipps made a motion, seconded by Mr. Ewing, to close the public hearing. The motion carried unanimously. Mr. Bradley made a motion, seconded by Ms. Philipps, to approve the amendments as presented, complying with NC General Statutes and to remove voluntary amendments that were not required by General Statutes. The motion carried unanimously.

A public hearing was held on a request from RSolution Mebane, LLC for adoption of an Ordinance to Extend the Corporate Limits. Mr. Brown spoke concerning the request. He stated that the property is a voluntary contiguous annexation containing approximately .837 acres located in the in Alamance County.

Tom Boney, Editor of the Alamance News, questioned if this property currently has a "future shopping center site" sign on it. Mr. Brown replied that is correct.

No one else spoke.

Ms. Philipps made a motion, seconded by Mr. Bradley, to close the public hearing. The motion carried unanimously. Ms. Philipps made a motion, seconded by Mr. Bradley, to adopt an Ordinance to Extend the Corporate Limits of the City of Mebane, North Carolina to include the .837 acres. The motion carried unanimously.

A public hearing was held on a request for adoption of an Ordinance Directing the Building Inspector to demolish the building located at 402 W. Clay Street, Mebane, NC. Mr. Brown presented the request. He stated that staff had received several complaints regarding the property and the Inspections Department-Code Enforcement has determined by Order, dated February 17, 2021, that the premises located at the above address are unfit for human habitation, the continuation of the dwelling in its vacated and closed status would be inimical to the health, safety, morals and welfare of the City in that the dwelling will continue to deteriorate, would create a fire and safety hazard, would be a threat to children and vagrants, would attract persons intent on criminal activities, would cause or contribute to blight and deterioration of property values in the area and would render unavailable the property and the dwelling which would otherwise been available to the public for housing. The property owner has not performed any work on the dwelling in months, if not years since its purchase. A prior hearing was held on August 4, 2020, at which time a Ms. Cheryl Sampson had requested an extension of time to submit construction drawings, permit applications and the like. As of this date, no submittals of such material have been submitted to the City for consideration. The City utility billings show no water or sewer service to the dwelling since December, 2015. Mr. Brown referenced photos of the

property and stated that, based on his and the Building Inspectors education and training, it is their opinion that the repair, alteration and/or improvement of the premises, would cost an amount equal to or more than fifty percent (50%) of the present value of the building. He shared that the following items were sent to Ms. Sampson via certified mail:

- Order of Building Inspector, dated February 17, 2021
- Return receipts for Cheryl Manger Sampson, at two addresses
- Notice of Hearing dated August 4, 2020
- Ordinance for the Condemnation of 402 West Clay Street
- Letter notice to Cheryl Manger Sampson, at two addresses, dated April 19, 2021 for the May 3, 2021 Hearing
- Email notice To Cheryl Manger Sampson Re: Hearing postponement
- Photographs of premises

Mr. Brown went on to explain that under the new chapter 160D which will become effective on July 1<sup>st</sup>, the property owner is generally afforded ninety (90) days from the date of Council's action declaring the property as a nuisance.

Cheryl Sampson, 209 N. Wilba Road, Mebane, NC came forward to speak. She stated that the overview given by Mr. Brown included many misrepresentations. She stated prior to moving to Mebane, she lived in Hillsborough. She then shared several self-proclaimed accolades. She said when she bought the property at 406 W. Clay Street, she thought she had purchased a triplex and she had intentions to improve the property. Ms. Sampson became overly excited talking about the matter using expletives. Mayor Hooks requested that she refrain from using profanity. Ms. Sampson then became emotional as she stated she had been going through a personal health crisis, along with some financial strains. She shared that she had a new roof installed on the building, had it treated for termites, had the inside gutted and paid the property taxes and maintained builder's insurance. She began to increasingly raise her voice and became extremely agitated when citing several hardships which she feels have kept her from being able to move forward with the renovations, coronavirus, lumber prices, no one to perform labor and misinformation from city staff. She requested that Council have compassion as she is willing to invest her money and vision in Mebane. Mayor Hooks interceded and requested that she calm down. He stated that she will have ninety days from tonight to bring the property into compliance with the Minimum Housing Standards. Ms. Sampson was unwilling to calm down, therefore she was escorted out of the Council Chambers by a Mebane Police Officer.

Mr. Bradley questioned if any improvements have been made to the building since Ms. Sampson has owned it. Mr. Brown stated there have been no building permit applications or any plans submitted to the city for this property. Mr. Bradley said so any work having been done would be unpermitted. Mr. Brown said that is correct.

Ms. Auditori questioned how long Ms. Sampson has owned the property. Mr. Brown said he did not have that exact information but his relocation is three (3) years. He said she attended the hearing that held in August 2020 and she said she was working on plans. Staff asked how long she needed to get those turned in and she replied a few weeks but no plans have been received.

Mr. Rollins stated based on information he pulled up on the Alamance County GIS, Ms. Sampson has owned the property since May 2019. She also owns an additional property adjacent to the property under consideration.

Carl Bradley spoke and offered a suggestion of sending Ms. Sampson the information she needs

vis certified mail. Ms. Philipps assured Mr. Bradley that those steps had already been taken.

After some discussion, Ms. Philipps said she feels that everyone would love to see the house repaired. She said Ms. Sampson is correct, finding contractors to work right now and materials are extraordinarily expensive now as well. She said if Ms. Sampson can get the plans in, permits applied for and provide proof that the renovation project is moving forward, then adopting the ordinance to be effective on the ninety-first (91<sup>st</sup>) day is she does not do those things is a move in the right direction.

Mr. Boney said, from his understanding of what Mr. Brown said earlier, that the new 106D law goes into effect on July 1<sup>st</sup>, would the ninety days need to start after that date. Mr. Brown said based on the current law of 160A, Council could act to have the property condemned tomorrow, so the ninety days is sufficient.

Ms. Philipps made a motion, seconded by Mr. Ewing, to close the public hearing. The motion carried unanimously. Mr. Bradley made a motion, seconded by Mr. Ewing, for the Building Inspector as Code Enforcer demolish the building on the property with the address of 402 West Clay Street, Mebane, NC after ninety (90) days, however should the owner make any improvements or submit plans that are sufficient, the plan to demolish can be halted. Council would then look at the matter for further consideration. The motion carried unanimously.

Mayor Hooks stated that at the June 7<sup>th</sup> Council meeting he requested that Council send to the Clerk three (3) preferences for the seventh (7<sup>th</sup>) member appointment to REAC. Preferences were to be selected from the remaining six applicants that received two nominations each during the initial selection. Mayor Hooks stated there was a tie between two (2), he then requested Council nominate one of those two to fill the 7<sup>th</sup> member spot. Ms. Philipps said she once again wanted to reiterate how impressive all of the applications were, a really great, highly qualified group of people. She then made a motion, seconded by Mr. Greene, to appoint Daniel Velasquez as the 7<sup>th</sup> member. The motion carried unanimously.

There being no further business the meeting adjourned at 7:07p.m.

\_\_\_\_\_  
Ed Hooks Mayor

ATTEST: \_\_\_\_\_  
Stephanie W. Shaw, City Clerk





## AGENDA ITEM # 4B

### Recreation Scholarship Program Policy

#### Presenter

Aaron Davis, Recreation and Parks Director  
Lawson Brown, City Attorney

#### Public Hearing

Yes  No

#### Summary

The Recreation and Parks Department gives the option for anyone registering for a program or renting a facility to be eligible to donate \$5 to help those that need financial assistance when registering for programs. This policy outlines the process for which those who are asking for assistance will be selected to receive a scholarship. Scholarships will be issued to all those who meet the free or reduced lunch distinction based on USDA guidelines.

#### Background

In an effort to be equitable and provide as many children participation in City youth programs, the City would like to offer scholarships to those in need. The scholarships will be available based on the guidelines identified in the policy for any youth program. Currently, the City of Mebane does not offer, non-athletic programs for its youth, but the goal is to have programs in the future for those who are not interested in athletics. Since the inception of the Civic Rec software, the citizens have donated over \$1000 for this cause. The Recreation and Parks Department would like to begin allocating these funds to those in need starting in the Fall of 2021.

#### Financial Impact

Based on the suggested policy, the City will only issue donations to participants registering for a program (not camp) based on the amount of money in the scholarship fund. There will be no adverse financial impact to the City. Scholarships will be given on a first come, first serve basis until funds run out and are replenished.

#### Recommendation

Staff recommends that City Council adopts the Scholarship Program Policy

#### Suggested Motion

To adopt the City of Mebane Scholarship Program Policy

#### Attachments

1. Recreation and Parks Scholarship Program Policy
2. USDA Income Eligibility Chart

## **Mebane Recreation & Parks Department Youth Athletics Scholarship Policy**

### **Purpose**

The Mebane Recreation and Parks Department strives to provide access to athletic programming for all children who reside in Mebane. One of the most prevalent barriers to accessing athletic programming for children is the cost of the program. Providing athletic scholarships will diminish the financial barrier; allowing more children the opportunity to participate in recreation athletic programs in Mebane.

### **Eligibility**

To be eligible for a scholarship, participants must reside within the city limits of Mebane and provide documentation that children in the household are eligible for free or reduced lunch through the USDA Free/Reduce lunch program that all NC public schools and some NC private schools use when determining eligibility. Families will submit their total gross income and amount of people living in their home during the application process. No documentation will be necessary when applying, however, if a family is asked to verify their income, they must provide the most recent paystub from each member of their family that receives a paycheck.

### **Scholarship Terms**

Any individual approved for an athletic scholarship will receive full credit to participate in one athletic program per registration season excluding summer sport camps. Failure to attend a program or follow program and facility rules and regulations may result in the loss of future financial assistance.

### **Funding Source**

Funds for the athletic scholarship program will be secured through donations. The primary donation source is through individual contribution included in athletic registrations and facility rentals through Civic Rec.

Scholarships will only be awarded when funds are available. Scholarships will be awarded on a first-come, first-serve basis upon completion of the scholarship application.

### **Application Process**

Applications may be submitted online via Civic Rec or in-person at the Mebane Arts and Community Center. Applications must be received prior to or during the registration period for the sport for which participant is requesting a scholarship. Applications must include proof of residence and free or reduced lunch letter from the school system or proof of income. All application submissions will be reviewed by the athletic director. Applicants will be notified of approval within three business days of application submission. If approved, a scholarship credit will be added to the applicant's Civic Rec account. Applicants may then register online via Civic Rec or in-person at the Mebane Arts and Community Center.

**Questions**

Questions regarding the scholarship process may be directed to athletic director Kris Kloepping by email, [kkloepping@cityofmebane.com](mailto:kkloepping@cityofmebane.com) or phone, (919) 563-3629.

INCOME ELIGIBILITY GUIDELINES												
Effective from July 1, 2021 to June 30, 2022												
HOUSEHOLD SIZE	FEDERAL POVERTY GUIDELINES	REDUCED PRICE MEALS - 185 %					FREE MEALS - 130 %					
	ANNUAL	ANNUAL	MONTHLY	TWICE PER MONTH	EVERY TWO WEEKS	WEEKLY	ANNUAL	MONTHLY	TWICE PER MONTH	EVERY TWO WEEKS	WEEKLY	
<b>48 CONTIGUOUS STATES, DISTRICT OF COLUMBIA, GUAM, AND TERRITORIES</b>												
1 .....	12,880	23,828	1,986	993	917	459	16,744	1,396	698	644	322	
2 .....	17,420	32,227	2,686	1,343	1,240	620	22,646	1,888	944	871	436	
3 .....	21,960	40,626	3,386	1,693	1,563	782	28,548	2,379	1,190	1,098	549	
4 .....	26,500	49,025	4,086	2,043	1,886	943	34,450	2,871	1,436	1,325	663	
5 .....	31,040	57,424	4,786	2,393	2,209	1,105	40,352	3,363	1,682	1,552	776	
6 .....	35,580	65,823	5,486	2,743	2,532	1,266	46,254	3,855	1,928	1,779	890	
7 .....	40,120	74,222	6,186	3,093	2,855	1,428	52,156	4,347	2,174	2,006	1,003	
8 .....	44,660	82,621	6,886	3,443	3,178	1,589	58,058	4,839	2,420	2,233	1,117	
For each add'l family member, add	4,540	8,399	700	350	324	162	5,902	492	246	227	114	
<b>ALASKA</b>												
1 .....	16,090	29,767	2,481	1,241	1,145	573	20,917	1,744	872	805	403	
2 .....	21,770	40,275	3,357	1,679	1,550	775	28,301	2,359	1,180	1,089	545	
3 .....	27,450	50,783	4,232	2,116	1,954	977	35,685	2,974	1,487	1,373	687	
4 .....	33,130	61,291	5,108	2,554	2,358	1,179	43,069	3,590	1,795	1,657	829	
5 .....	38,810	71,799	5,984	2,992	2,762	1,381	50,453	4,205	2,103	1,941	971	
6 .....	44,490	82,307	6,859	3,430	3,166	1,583	57,837	4,820	2,410	2,225	1,113	
7 .....	50,170	92,815	7,735	3,868	3,570	1,785	65,221	5,436	2,718	2,509	1,255	
8 .....	55,850	103,323	8,611	4,306	3,974	1,987	72,605	6,051	3,026	2,793	1,397	
For each add'l family member, add	5,680	10,508	876	438	405	203	7,384	616	308	284	142	
<b>HAWAII</b>												
1 .....	14,820	27,417	2,285	1,143	1,055	528	19,266	1,606	803	741	371	
2 .....	20,040	37,074	3,090	1,545	1,426	713	26,052	2,171	1,086	1,002	501	
3 .....	25,260	46,731	3,895	1,948	1,798	899	32,838	2,737	1,369	1,263	632	
4 .....	30,480	56,388	4,699	2,350	2,169	1,085	39,624	3,302	1,651	1,524	762	
5 .....	35,700	66,045	5,504	2,752	2,541	1,271	46,410	3,868	1,934	1,785	893	
6 .....	40,920	75,702	6,309	3,155	2,912	1,456	53,196	4,433	2,217	2,046	1,023	
7 .....	46,140	85,359	7,114	3,557	3,284	1,642	59,982	4,999	2,500	2,307	1,154	
8 .....	51,360	95,016	7,918	3,959	3,655	1,828	66,768	5,564	2,782	2,568	1,284	
For each add'l family member, add	5,220	9,657	805	403	372	186	6,786	566	283	261	131	



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## AGENDA ITEM #4C

### Recreation Trails Program Grant

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#### Meeting Date

July 12, 2021

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#### Presenter

Aaron Davis – Recreation and Parks Director

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#### Public Hearing

Yes  No

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#### Summary

The City of Mebane is seeking funding sources to help complete the trail loop around Lake Michael. The North Carolina Division Parks & Recreation Trails Program Grant offers a 25% matching \$100K grant that staff is interested in applying for. Staff is requesting Council's support to submit the grant application. If the grant is awarded to the City of Mebane, City Council would need to allocate at \$25K to match the \$100K grant funds to help complete the trail loop at Lake Michael.

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#### Background

It was discussed during the 2019 budget meeting that the City was interested in extending the trail system at Lake Michael to complete a full loop around the lake. Within the 2021-2022 budget, Council approved funds to complete a portion of the loop that will be constructed to connect residents to the lake entrance.

If approved by Council and the grant is awarded to the City of Mebane, these grant funds will be used to help create a portion of the dedicated route around the lake and the necessary bridges, boardwalks, and other items needed to complete construction. Staff is seeking Council's approval to fund the 25% (\$25K) match to the grant funds. Other grants for this project are being pursued along with letters of recommendation from various trail user groups including Mountain to Sea Trails, the City of Mebane's BPAC/RPAC, and the Triangle Off-Road Cyclists group.

The City has also hosted two public impact meetings, one via Zoom and the other in person at Lake Michael with a majority of the attendees being in favor of applying for the grant.

#### Financial Impact

\$25,000

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#### Recommendation

Staff recommends Council's approval to apply for the RTP Grant and the matching \$25K funds associated with the match, if the grant is awarded to the City of Mebane.

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#### Suggested Motion

Motion to approve the application for the RTP Grant and \$25K matching funds if the grant is awarded to the City of Mebane.

### **Attachments**

1. Recreation Trail Program General Information and Guidelines
2. Lake Michael Trail proposed site map
3. Trail financial estimates

# NORTH CAROLINA'S RECREATIONAL TRAILS PROGRAM GRANT APPLICATION:

## *GENERAL INFORMATION & GUIDELINES*



Division of Parks and Recreation  
North Carolina Trails Program

*\*Disclaimer: RTP Grant Information produced by the NC Trails Program is guidance. This document can be updated/changed at any time pending review/ comment from the Federal Highway Administration.*

**QUICK FACTS ABOUT NORTH CAROLINA’S RECREATIONAL TRAILS PROGRAM**

**Pre-App -- APPLICATION DEADLINE: March 15, 2019**

**Final App -- APPLICATION DEADLINE: August 2, 2019**

**Source of Funds:** 'Moving Ahead for Progress in the 21st Century Act' (MAP-21)  
'Fixing America’s Surface Transportation Act' (FAST)

**Acronym:** RTP - Recreational Trail Program

**RTP Funding Allocation for North Carolina:** 2019-2020 – Approximately \$1.49 Million

- Permissible Uses:**
- New Trail/Greenway Construction
  - Trail/Greenway Renovation
  - Approved Trail/Greenway Facilities & Trail Head/Trail Markers
  - Purchase of Tools to Construct &/or Renovate Trail/ Greenway
  - Land Acquisition for Trail Purposes
  - Planning, Legal, Environmental, and Permitting Costs - up to 10% of grant amount
  - Combination of the Above

**Grants Available to:** Governmental Agencies & Non-profit Organizations

**Minimum Grant Amount:** \$10,000

**Maximum Grant Amount:** \$100,000

**Match Requirement:** 25% Match of RTP Funds Received



## **CONSULTATION AND TECHNICAL ASSISTANCE**

**Your NC Trails Program staff is ready to assist you in the development and/or review of your RTP Application. Please contact our [Trails Program Staff](#) for assistance.**

### **GENERAL GUIDELINES**

The Division of Parks & Recreation ([DPR](#)), the [North Carolina Trails Program](#), and the North Carolina Trails Committee ([NCTC](#)) value trail projects that are legal, safe, managed and provide connectivity, reasonable public access and parking. The North Carolina Trails Program Staff are ready, willing, and available to assist in all phases of the application process of projects that are *construction ready* for grant funding. These sustainable, "shovel-ready" projects leverage local funds to meet recreational trail and trail-needs, in an effort to provide low infrastructure economic development opportunities through natural resource tourism. The NC Trails Program Staff are also available to assist applicants with conceptual projects, in order to meet the technical requirements of an RTP Grant before applying.

The application, a 2-stage process: Form A & Form B, evaluates projects for RTP Grant funding. Any qualifying agency may submit one application per project, prior to the application deadline. The first stage - Form A, is made available to applicants for submission and review by the NC Trails Program Staff and the NCTC before the second stage - Form B, is made available. Form A requests general information and scope of the project. Form B is later made available by invitation to selected applicants for submission and review by the NC Trails Program Staff and the NCTC, in conjunction with Form A. Form B requires more technical and in depth verification of the projects status. Before a project is considered for an RTP Grant, both Forms A and B must be submitted for review. This document is designed to assist applicants through the Federal and State RTP Grant requirements.

It is strongly recommended that applicants carefully review the information provided in this Guide Booklet before and during completion of the application form and gathering of supplemental materials. The specific information provided on the application will be used to generate a State Grant Contract, if the project is awarded – to which the applicant is contractually bound. If there are specific questions regarding RTP legislation that are not answered in this packet; please reference [Federal Highway Administration – Recreational Trails Program](#).

Completed Applications are due no later than **11:59 pm on the Application Deadline date as stated on page 2**. Applications received after the due date will not be considered for funding. Applications missing **ANY** required documents, documents in a non-working state, or incomplete documents will not be considered during NCTC review.

***We look forward to working with you on your project!*** - [North Carolina Trails Program Staff](#)

## **FEDERAL ENABLING LEGISLATION - RECREATIONAL TRAILS PROGRAM**

The RTP is a federal grant program authorized by Congress in 2010 as the Moving Ahead for Progress in the 21st Century Act (MAP-21) and Fixing America's Surface Transportation Act (FAST). This authorization provided funding for the RTP through the 2020 fiscal year.

The intent of the RTP is to help fund trails and trail-related recreational needs at the State level. Funding for the RTP comes from federal gas taxes paid on non-highway fuel used in off-highway vehicles. The program is administered at the Federal level by the Federal Highway Administration (FHWA). At the State level, the Secretary of Department of Natural & Cultural Resources (DNCR) has assigned that responsibility to the NC Trails Program. The NCTC is a seven-member advisory committee who reviews all applications and makes recommendations for funding to the Secretary of DNCR. The Secretary of DNCR has the final approval authority for North Carolina.

## **FEDERAL HIGHWAY ADMINISTRATION/RECREATIONAL TRAILS PROGRAM WEBSITE AND PROGRAM INFORMATION**

For more information about RTP, please visit [FHWA](#). This site includes information about enabling legislation, program guidelines, and funding authorization.

## **FEDERAL DEFINITION OF A TRAIL**

***Section 206 of the RTP Legislation provides the following definitions for Motorized Recreation and Recreational Trail:***

**MOTORIZED RECREATION** -- The term "motorized recreation" means off-road recreation using any motor-powered vehicle, except for a motorized wheelchair.

**RECREATIONAL TRAIL** -- The term "recreational trail" means a thoroughfare or track across land, water, or snow, used for recreational purposes such as:

- Pedestrian activities, including wheelchair use
- Skating or skateboarding
- Equestrian activities, including carriage driving
- Non-motorized snow trail activities, including skiing
- Bicycling or use of other human powered vehicles
- Aquatic or water activities
- Motorized vehicular activities, including all-terrain vehicle riding, motorcycling, snowmobiling, use of off-road light trucks, or use of other off-road motorized vehicles

## **FUNDING & BUDGETING GUIDELINES**

The RTP Grant Program is a reimbursement and matching grant program. A grantee must first pay for approved deliverables and then will be reimbursed by the State for approved costs. The RTP's matching requirement is a 25% minimum for every RTP dollar received by a grantee. The match may be made in cash, in-kind contributions, or force labor, as explained further in this Guideline Booklet. All listed matches, in the application, will be noted in the State Grant Contract and a grantee will be expected to account for all listed matches in the application. All match funding must be expended during the contract period of an awarded RTP grant. **Grant recipients must be able to initially finance the project while periodically requesting reimbursement.**

## **PROJECT DESCRIPTION REQUIREMENTS**

The project description section requires a project description that will determine the overall sustainability of the trail project as compared to peer applications. The NC Trails Program, DPR, & the NCTC feel that the definitions listed below best define each level of sustainability required for a quality trail project.

Sustainability is defined as: a project that is economically feasible, environmentally appropriate, structurally sound, with demonstrated, quantifiable social and fiscal support from the sponsoring community, which ultimately provides the greatest return on the investment of public funds.

It is highly recommended that you read these definitions carefully to ensure you are covering each level in your project description.

*Note: Include applicable documents with application submission.*

### **Definitions for Components of Sustainability:**

- Physically Possible: Any potential use must be physically possible given the size, shape, topography, and other characteristics of the site.
  - Is the project just in a concept phase? Are the plans developed and approved?
  - Is the project ready to build? If the project is funded; how soon will the project be completed or can construction start? (*Note: Projects must be completed within 3 years of receiving a contract.*)
  - Are all the necessary permits obtained?
- Legally Permissible: Only those uses that are, or may be legally allowed and fall within environmental regulation will be considered for trail projects.
  - What is the public usage and rights of the land status?
  - Is the project ADA compliant, where required?

- *Economically Feasible:* The trail project must have adequate funding sources to justify the costs of construction and long-term maintenance.
  - What kinds of commitment: financial, letters of support, or other types?
  - What sources of additional funding, other than the Grant and Match?
  - Can the initial costs of construction be funded in order to be reimbursed?
  
- *Maximally Productive:* The trail project must indicate all potential opportunities have been leveraged, not a duplicate of other efforts of the same scale and location, and shows a defined public need for the use of public funds.
  - What is the public need for the project?
  - Does the project complete a critical gap in an existing trail system?
  - Does the project provide a linkage to a larger existing trail system?
  - Does the project connect neighborhoods to schools, parks, or business districts?
  - How has the public been informed about the trail project?

## **PERMITTED USES OF RTP GRANT FUNDS**

- Construction of new trails on state, county, municipal, or conveyed easements across private lands, where a recreational need for such construction is shown
- Construction of new trails crossing federal lands, where such construction is approved by the administering agency charged with management of all impacted lands
- Development of urban trail linkages
- Maintenance of existing recreational trails
- Restoration of areas damaged by usage of recreational trails and back country terrain.
- Development of trail-side and trail-head facilities with preference for trail-head and trail information signs and parking areas; and consideration given to restrooms, drinking fountains, and other trail side facilities
- Development of a canoe/kayak access facilities and camping platforms
- Provision of features which facilitate the access and use of trails by persons with disabilities
- Acquisition of easements for trails
- Acquisition of fee-simple title to property from a willing seller for trail use, when the objective of the acquisition cannot be accomplished by acquisition of an easement or by other means

**Note:** *RTP guidance prohibits condemnation of any kind of interest in property and you must follow the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 – 49 CFR Part 24*

- Planning, design, engineering, permitting, and environmental compliance study costs of not to exceed 10% of any RTP grant award
- Acquisition of trail construction and maintenance tools and/or equipment
- Rental of trail construction and maintenance tools and equipment

## **NON-PERMITTED USES OF RTP GRANT FUNDS**

- Trail brochures and maps
- Condemnation of any kind of interest in property
- Construction of any recreational trail on National Forest System lands for motorized uses, unless such lands (other than wilderness areas) are otherwise consistent with the management direction in such approved land and resource management plan and are permitted
- Upgrading, expanding or otherwise facilitating motorized use or access to trails predominantly used by non-motorized trail users, and on which, as of May 1, 1991, motorized use is either prohibited or has not occurred
- Feasibility Studies
- Law Enforcement
- Railroads
- Roads
- Sidewalks
- Wilderness areas
- Construction of any recreational trail on Bureau of Land Management land for any motorized use unless the land has been designated for uses other than wilderness by an approved BLM resource management plan or has been released to uses other than wilderness by an Act of Congress; and the construction is otherwise consistent with the management direction in the approved management plan.

## **FEDERAL RTP ALLOCATION REQUIREMENTS**

- 30% Reserved for Motorized Trails -  
Not less than 30% of the State's allocation must be reserved for uses relating to motorized recreation. This includes motorized single use projects and motorized diverse use projects.
- 30% Reserved for Non-Motorized Trails -  
Not less than 30% of the State's allocation will be reserved for uses relating to non-motorized recreation. This includes non-motorized projects for a single use and non-motorized diverse use projects.
- 40% Diverse Use Projects -  
40% of the State's allocation is discretionary funding, but preference will be given to projects with the greatest number of compatible recreational purposes or that provide for innovative recreational trail corridor sharing to accommodate motorized and non-motorized recreational trail use.

## **FEDERAL MATCH REQUIREMENTS**

The Federal RTP is a reimbursement grant program requiring match. For every RTP dollar received, the grantee must provide the required 25% match. This 25% match must come from a non-FHWA source in the form of cash, force labor services, in-kind services, donated materials, or the value of acquired or donated land for this specific trail project.

### **APPROVED IN-KIND ACCOUNT LABOR MATCH ALLOWANCES**

RTP applicants are allowed to use *In-Kind* and *Force Account Labor* services as all or some portion of their required 25% match. The services provided must be performed to assist with or support the project that will be accomplished with approved RTP grant funds. Each listed *In-Kind* and/or *Force Labor* match must reference a specific deliverable. Proof of donation/gift must be provided and value of the donation documented on official letterhead with the date of donation.

*Allowable services are:*

#### **General Volunteer Labor:**

- 17 years and up – labor valued at \$24.69 per hour as noted by the [Independentsector.org](http://Independentsector.org) in North Carolina. (as of Feb 2019)
- 16 years and under – labor valued at \$7.25 per hour, North Carolina's Minimum Wage

#### **Skilled Volunteer Labor and/or Services:**

- Valued at the fair market rate, equal to what the individual is normally paid for such service; documentation of labor and value of labor is required.

#### **Donated Equipment and Operator:**

- Equipment and labor valued at the fair market rate, equal to what the individual is normally paid for such service, documentation of gift and value required.

#### **Donated Materials:**

- Valued at the fair market value of any materials from the person or persons donating the materials, documentation of gift and value required.

#### **Project Planning and Environmental Compliance Costs:**

- The donation of professional or accredited planning and environmental compliance services will be valued at the fair market value, documentation of gift and value required. These services are limited to costs incurred less than 18 months prior to or after the RTP grant contract document is fully executed. This service must apply specifically to guidance or support of the project that will be accomplished with approved RTP funds.

### **Land Donated for this Trail Project:**

- Land donated to a governmental agency or a non-profit organization for public trail – valued at the appraised value of the donation. The donation of land must have taken place less than 18 months prior to or after the RTP grant contract document is fully executed.

**Note:** *The donation of land or interest in land must be for a minimum of 10 years with no cancelation clauses.*

### **APPROVED FORCE ACCOUNT LABOR MATCH ALLOWANCES**

*Allowable services are:*

#### **Agency or Organization's Paid Labor:**

- Valued at the current hourly rate of pay for employee labor per hours worked for the associated deliverable.

#### **Agency or Organization Owned or Leased Equipment:**

- Valued according to the federally approved Federal Emergency Management Agencies (FEMA) equipment rates  
– Information provided on the following [website](#).

#### **Value of Land Acquired by an Agency or Organization:**

- Valued at the price paid by the agency or organization for the land. This acquisition of land must have taken place less than 18 months prior to or after the RTP grant contract document is fully executed.

**Note:** *The acquisition of land or interest in land must be for a minimum of 10 years with no cancellation clauses.*



## **GUIDANCE FOR DELIVERABLES (Final Application/Form B Only)**

Applicants will be required to submit a Deliverable Form to describe the budget for the project listed in *the Final Application*. The deliverables will define what is to be accomplished. Care must be taken in defining deliverables as they will be included in the contract and serve as the basis for reimbursement.

NOTE: Deliverables should be phased or scaled so that some deliverables are completed and submitted for reimbursement **within 6 months** of the contract start date. This timeline is why it is paramount that the project is planned and budgeted properly.

Please refer to the sample Deliverable Form (Figure 1 and Figure 2) on the following pages for examples of how to create your deliverables.

Each deliverable should list one of the following Item Types:

### **Item Type:**

New Trail – Unpaved (boardwalk, natural surface trail, gravel, compacted screenings)

New Trail – Paved (greenway, multi-use paths)

New Trail – Paddle Trail (blueways)

Materials (ex. Lumber, decking, hardware, stone, etc.)

Equipment (ex. Chainsaw, bush hog, motorized trail equipment)

Tools (ex. Pulaski, pry bars, hand tools, hammer drill, etc.)

Design/Planning\*

Engineering\*

Permitting\*

\*Total reimbursable amounts cannot exceed 10% of requested RTP funds. Any amount over 10% can be used for match.

Trail Renovation

Existing Trail Routine Maintenance

New Trail Facility

Trail Facility Renovation

New Trail Parking Lot

Trail Parking Lot Renovation

Trail Information – Website

Trail Information – Signs/Markers (Small informational kiosks, signage, blazes)

Fees for Land Acquisition for Trail Purposes (appraisals, closing costs, etc.)

Land Acquisition for Trail Purposes (actual value of land, donated or purchased)

**Description:** Applicant describes details relating to the Item Type.

**Accomplished by:** select how the deliverable will be completed

**Unit(s):** select appropriate unit quantity for item type

**Of Measure:** select appropriate measurement for your item type

**Rate:** enter appropriate dollar amount per unit

Total is calculated automatically and put into the Match Column.

Applicant then selects the amount of funds they are requesting be paid with RTP Funds.

Match value will change accordingly.

**Match:**

- ALL Match items (*In-Kind & Force Account*) must reference a specific *Deliverable #*.
- It is recommended to only list match contributions totaling 25% of the requested grant amount in the Deliverables – Match section.
- Match in excess of the 25% required contribution can also be listed in the Match section, however, documentation of proof of all match must be provided at the time of request for reimbursement. **Excess match, if listed, will be required to fulfill the terms of the grant contract.** Contact your Regional Trails Specialist if you have questions about how to structure your deliverables & match.

## **ENVIRONMENTAL REVIEW**

A requirement of MAP-21 and FHWA is compliance with the National Environmental Policy Act, the Historic Preservation Act (Section 106), the Endangered Species Act, and other Federal, State, and Local Environmental Laws, regulations, and Executive Orders. Projects awarded funding are required to comply with applicable Local, State, and Federal regulations. **Completion of the Environmental Review section is required for the final application. For a final application to be reviewed by the NC Trails Program Staff and the NCTC, comments must be received from all applicable agencies.** This section enables applicants to coordinate with agencies regarding the applicable permits for the project.

Any project found not in compliance with environmental regulations will be disqualified from the grant cycle.

All applicants are asked to provide documentation from the corresponding regulatory agency for the project's impact on the environment with the final application of the grant application process. All documentation must be submitted on official letterhead or email correspondence from the agency. Please follow the instructions as detailed below in submitting your correspondence.

**“Yes” responses to questions on the Pre-application (Form A):** Environmental Review section will require documentation from the corresponding regulatory agency with the Final Application.

**“No” responses to questions in the Pre-application (Form A):** Environmental Review section of the application will require documentation stating: the regulatory agency and the point of contact at the regulatory agency has determined there will be “No” environmental impact from the project, with submission of Final Application

If your agency is invited to submit a final application (Form B), do not procrastinate in submitting your project information to regulatory agencies. Some have a 4-6 week turn around and may not be able to review your project if you do not submit it in a timely manner.

## Environmental Review Guide

Every applicant recommended for RTP funding must fill out an Environmental Review Checklist (ERC). The checklist is part of the National Environmental Policy Act (NEPA) process and is required by federal law for projects utilizing federal funds. This requires the applicant to contact all the agencies listed below to obtain the necessary permits or authorizations. Applicants must have obtained any required permits, determinations, and authorizations from all the agencies identified within the ERC prior to any construction activities taking place. The checklist will also need to be completed before the North Carolina Trails Program can generate a contract for the applicants grant award.

Projects occurring on federally administered lands or with federal funds must comply with the NEPA requirements imposed by that federal agency.

**What to include in your submissions to environmental regulatory agencies:**  
*Additional or alternate information may be required by an agency depending on the impacts they are evaluating. Please consider any potential environmental impacts and contact the relevant agency prior to submission.*

- **Cover letter:** includes a brief description of the project, contact information and request to provide comments.
- **A complete project description:** You can submit a printed copy of your application that should contain all the project details required. This will serve as the main source of information to the regulatory agencies in their review. Please be as detailed as possible in the description of your project including the length and width of the proposed trail footprint. This should contain purpose of the project, construction methods, all permanent and/or temporary impacts and their locations. Specifically note impacts to natural resources such as water resources or vegetation.
- **Clear and concise maps.** Please include the following from your application:
  - Overview map.** This is a general location reference map. Please include applicable cities and towns surrounding the project area, NCDOT roads, rivers and streams.
  - Project specific AND topographic map.** These are more detailed maps of your project area. Please note all project disturbances on this map.
  - Floodplain map.** If your project is located in or near a floodplain please make sure to note it using the mapping service below. You can also include floodplain layers on your project specific map. Floodplain Mapping Services are offered here: <http://www.ncfloodmaps.com/>

- **Construction Drawings:** drawings of structures pertaining to impacts to natural resources such as bridges or boardwalks.

### **Agency Contacts**

- Due to frequent employee turnover, we ask that you contact the agency directly with the numbers/links listed below to determine the optimal person for project submission and review.

### **Cultural Resources:**

- All projects should consider potential impacts to cultural resources including historical and archaeological. Please visit the [State Historic Preservation Office](#) webpage for a GIS mapping service that provides locations of potential impacts.
- If impacts are listed, please consider alternative or avoidance plans to comply with the listed structures or sites.
- All project must be submitted to the State Historic Preservation Office for review even if the GIS mapper doesn't present listed impacts.
- Applicants must allow 30 days for review once project is submitted.

Projects can be submitted to the State Historic Preservation Office for review here:  
[http://www.hpo.ncdcr.gov/er/er\\_email\\_submittal.html](http://www.hpo.ncdcr.gov/er/er_email_submittal.html)

### **Threatened and Endangered Species:**

- Determine if projects will impact federally threatened and endangered species by contacting your regional U.S. Fish and Wildlife Service Office. There are two regional offices serving North Carolina, please visit their [website](#) to determine which office serves your county. ***Please allow at least 30 days for review.***

#### ***U.S. Fish and Wildlife Asheville Regional Office:***

**160 Zillicoa St.  
Asheville, NC 28801  
(828) 258-3939**

#### ***U.S. Fish and Wildlife Raleigh Regional Office:***

**P.O. Box 33726  
Raleigh, NC 27636-3726  
(919) 856-4520**

**Wetland and Jurisdictional Waters of the United States:**

- The United States Army Corps of Engineers (USACE) determines the permitting requirements for impacts to wetlands and jurisdictional waters of the United States.
- Please contact your county USACE permitting specialist. County contacts can be found here:  
<http://www.saw.usace.army.mil/Missions/RegulatoryPermitProgram/Contact/CountyLocator.aspx>
- All projects must be submitted to the appropriate USACE representative for review. **USACE review times can extend upwards of 45 days.**

**Department of Environmental Quality Review:**

- The North Carolina Department of Environmental Quality (DEQ) provides a clearinghouse review for several divisions including:
  - Division of Air Quality
  - Division of Coastal Management
  - Division of Waste Management
    - Underground Storage Tanks Section
    - Solid Waste Section
    - Superfund Section
  - Division of Energy, Mineral and Land Resources
    - Erosion and Sediment Control Section
    - Stormwater Section
    - Dam Safety Section
  - Division of Water Resources
    - Water Quality Permitting Section
    - Public Water Supply Section
  - Wildlife Resources Commission
  - Division of Marine Fisheries

\*Please Note: There may be additional sections that will provide comments not listed above.

**You do not need to contact the DEQ offices individually for the requirements of this environmental review - one project review may be submitted to Lyn Hardison in the Washington Regional Office to be distributed to all DEQ Divisions. Please allow at least 60 days for review.**

**Lyn Hardison  
 DEQ Environmental Assistance and Customer Service  
 Washington Regional Office  
 943 Washington Square Mall  
 Washington, NC 27889  
[Lyn.Hardison@ncdenr.gov](mailto:Lyn.Hardison@ncdenr.gov) (252) 948-3842**

**When all necessary permits, authorizations, and/or additional environmental review documentation are obtained, please make copies and submit all documents electronically to the Grant Management System. Refer to the [GMS Quick Start Guide](#) for further guidance on proper bundling and uploading of attachments.**

**If your grant is awarded, you will be required to submit documentation of all environmental permits prior to construction activities. Please contact your regional trail specialist for details and guidance.**

**Environmental Review Checklist**

*Please attach this page to your final application along with agency comments, even if comments state that no permit is required.*

Name of Project: \_\_\_\_\_

The following programs have reviewed the proposed RTP Project:

\_\_\_\_\_ North Carolina State Historic Preservation Office

\_\_\_\_\_ U.S. Fish and Wildlife Service

\_\_\_\_\_ U.S. Army Corps of Engineers

\_\_\_\_\_ North Carolina Department of Environmental Quality (Clearinghouse)



## **GUIDANCE FOR REQUIRED DOCUMENTS & MAPS**

Maps and documents are a vital part of the application process. These are used to evaluate the project and are utilized during the environmental review process. All documents & maps should be sized to an 8½" × 11" page, in .pdf format. Checked boxes indicate an understanding of what attachments are required for the application and inclusion with the application submission.

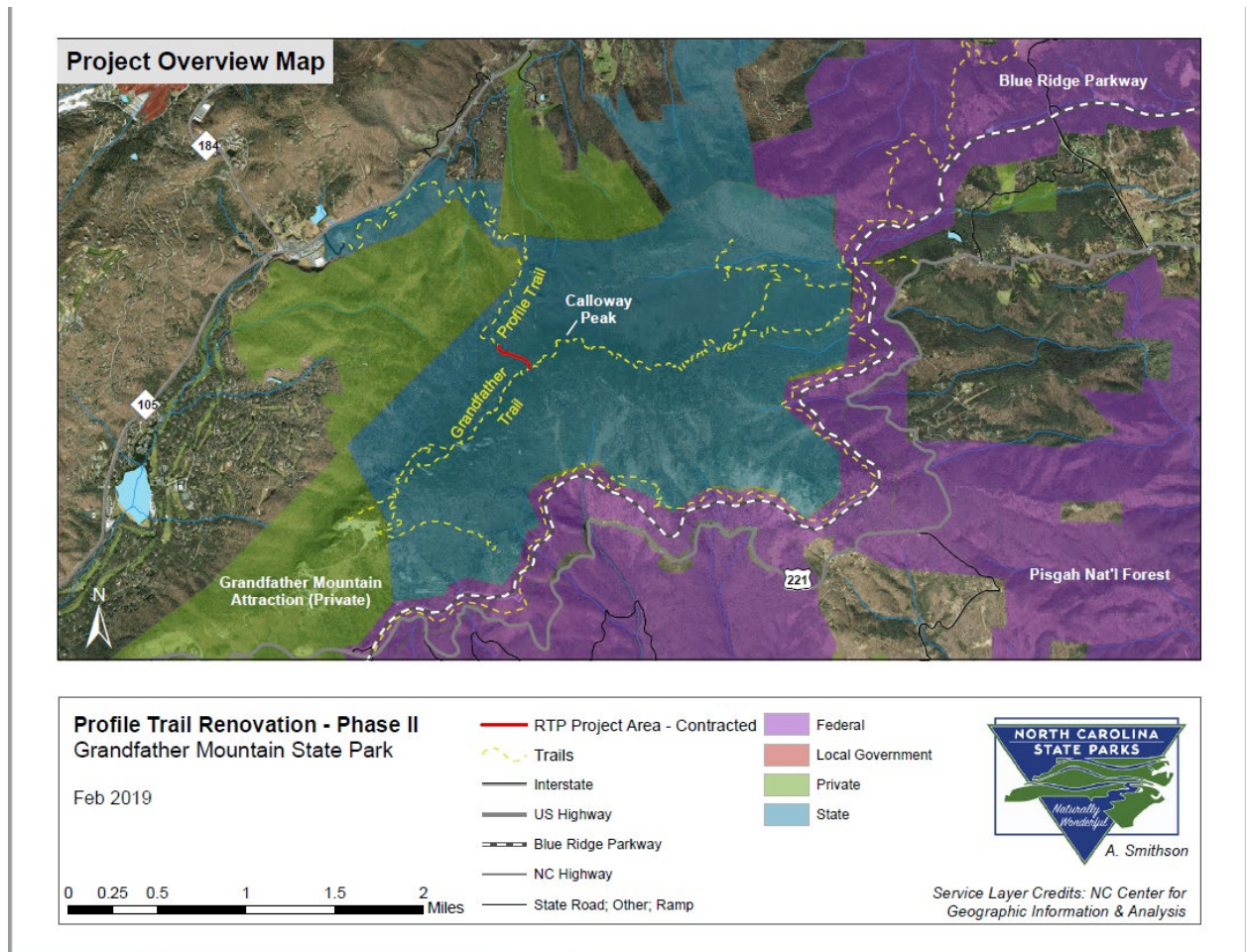
All projects are required to have corresponding maps and documents that reflect the scope of the trail project. For large plans, include counties adjacent to the project area with existing and planned segments clearly identified on the map. All documents should be on official letterhead. We want to understand how the project fits into the greater trail or greenway plan.

**Maps Packet**

**(all maps should be scanned and uploaded as one packet)**

**Overview Maps:**

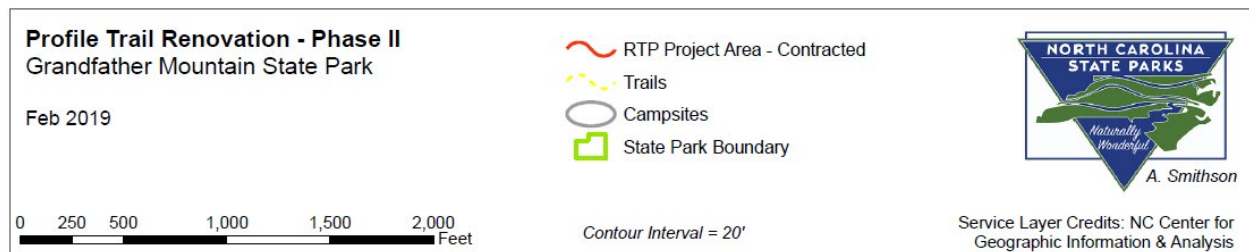
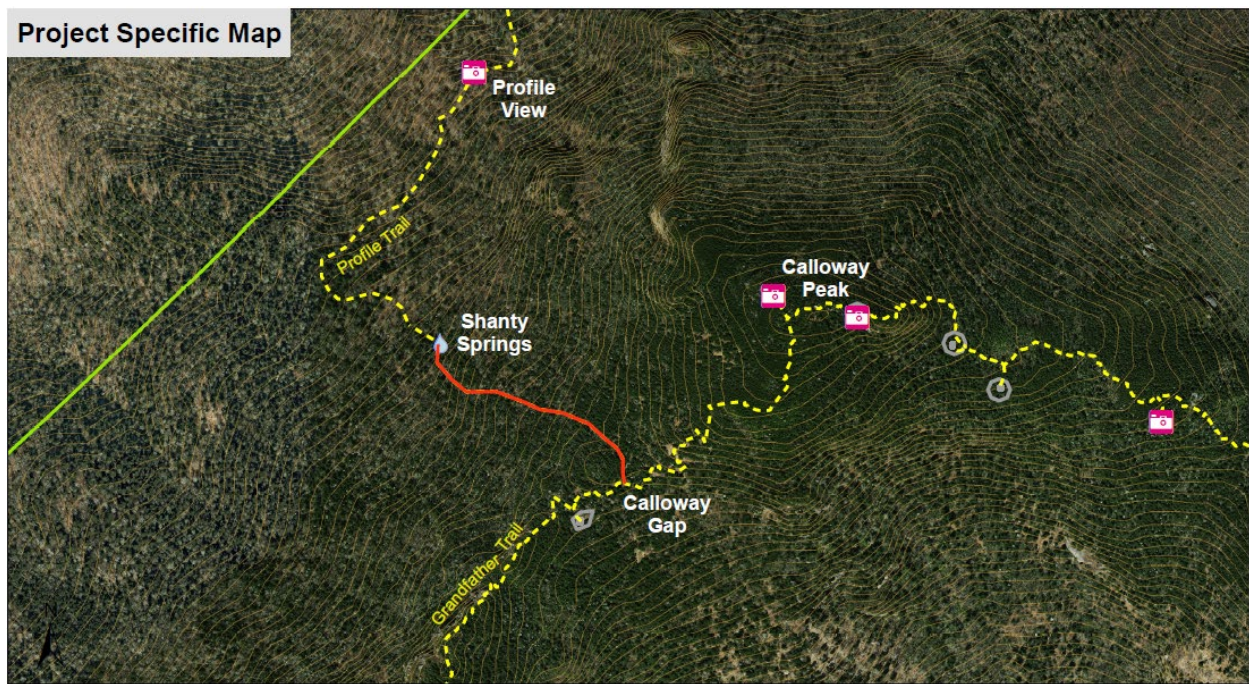
All projects must include an overview map that clearly shows how the project fits into any larger trail/greenway system of planned and/or existing trails and facilities. If the project is a segment or phase of a larger trail/greenway project or plan, include an additional map showing the entire planned trail project. A project that is submitted for consideration should be clearly delineated and defined.



**Project Specific Maps:**

All projects must include a project specific map that clearly shows the location of the trail project. This map focuses on the location of the project to be accomplished and any connections to existing and planned trail systems. It should include both existing and planned trails/greenways/sidewalks, parking areas, roads, accesses, facilities, and points of interest. All map components - aforementioned items and property lines - should also be clearly indicated.

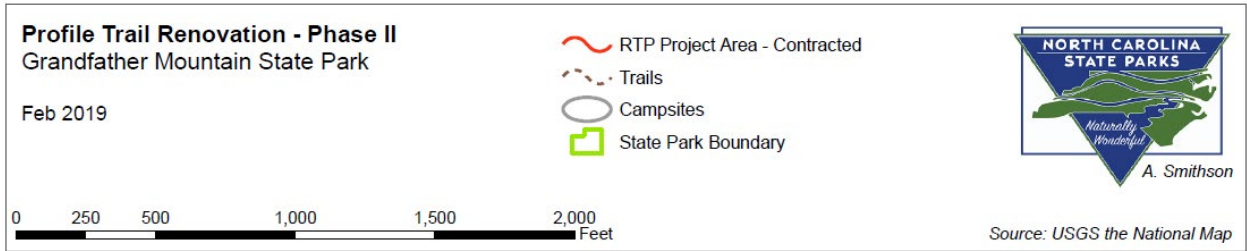
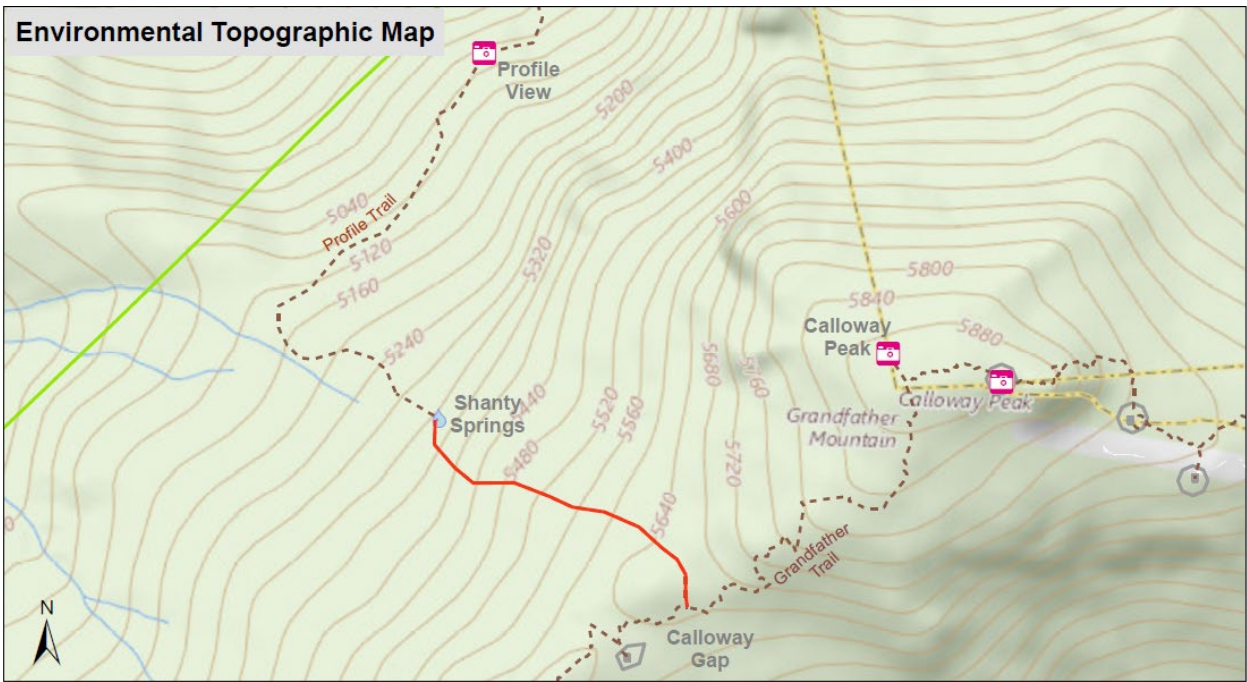
Project Specific Map(s) shall also show the deliverables to completed during the project. Maps should include locations for bridges, trail, facilities, trailheads, parking lots, and any other deliverables or features referenced in the project description. Map shall note which deliverables will be contracted out. Map shall note which deliverables will be completed in-house. Map shall note which deliverables will be accomplished with requested tools, materials, and/or equipment rental.





**Environmental Topographic Map:**

All projects must also include a topographic map showing the project area. The map excerpt must delineate how the project site falls on the land. This includes indication of all bridges or water crossings, known locations of waterbodies (streams, ponds, lakes, etc.) and wetlands in relation to all project development. Documents and Maps must be submitted as a PDF packet to minimize difficulty in located documents and maps on the Grant Management System. Please only upload attachments using the instructions provided here and in the GMS Quick Start Guide.



## **Support Documents Packet**

**(Scan all documents in order and submit as one packet)**

### **Project Timeline:**

Includes project start date, major milestones, and completion date. Use deliverable budget as guidance regarding milestones.

### **Private Land Stipulation Documents:**

Official documents with property owner's stipulations granting easements, leases (*minimum of 10 years of public use*), licenses, MOA, MOU, or other permissions. (\* Required if "Yes", to question referencing "current status of land.")

### **Letters of Commitment:**

Official letters of commitment or intent for donations listed in *Project Deliverables, Budget, and/or Non-Contract Contributions*.

### **Governing Body Commitment:**

Official letters of commitment or resolution supporting at least 25% match and completion of the project within a 3-year time frame.

### **Public Comment Documents:**

Official documentation of event(s): list of date(s), location(s), and type of public meeting(s) where the project was presented to the public (*electronically or physically*) and given the opportunity to comment regarding the project. Also, include a copy of official documents of summary/overview of any public comment(s) received.

(\* Required if "Yes", to question referencing "public comment".)

### **Acquired Land Documents:**

Official documentation of land acquired or donated and its appraised value, as noted in the *Project Deliverables and Budgeting* sections. (\* Required if noted in the project Deliverables and Budgeting sections.)

Be sure that all documents are in working order and included with your application submission. **Applications missing any required documents will not be reviewed for funding.** Checking a box indicates an understanding of required application attachments and the documents inclusion with the application submission. All attachments should be sized to an 8.5" x 11" and in a *.pdf* format. **All documents should be on official letterhead.**

## **NORTH CAROLINA - STATE RTP REQUIREMENTS**

### **RTP Project Lands:**

North Carolina Trails Program will award RTP grants to projects that are:

- On lands owned in fee simple or easements that are held in perpetuity by a governmental agency, provided that the public is allowed use of the trail or facilities.
- On lands owned in fee simple or easements that are held in perpetuity by a non-profit organization, provided that the public is allowed use of the trail or facilities.
- On lands that are leased by a governmental agency or non-profit organization for a minimum of 10 years, provided that the public is allowed use of the trail or facilities.

**Note:** *These are listed in priority order for evaluation and funding recommendations.*

### **Minimum Timeframe for Public Use:**

[FHWA](#) states, “The RTP legislation does not require a minimum timeframe for a trail project to remain open to the public. Each State should establish a minimum timeframe appropriate for the type of trail use.”

DPR, after consulting with the NCTC, has established the following minimum timeframe for public use:

*Any trail project funded in part with RTP grant funds shall remain open to the public for a minimum period of 10 years. Should a RTP trail project be closed prior to 10 years of public use, without sufficient reason, the State reserves the right to seek repayment of RTP funds based on a 10% per year depreciation schedule; and, the grantee’s grant performance will be used when evaluating future grant applications submitted.*

## **REIMBURSEMENT GRANT PROGRAM**

*The GRANTEE must finance 100% of the project costs. All eligible, incurred and documented expenditures will be refunded to the grantee, up to 90% of the total RTP award amount. The last 10% will be withheld until the project is complete, all records submitted, and a final site inspection has been completed. When all requirements have been met, the final 10% will be reimbursed.*

**Note:** *You must complete at least one of your defined project deliverables in order to request any reimbursement.*

## **RTP GRANTS MANAGEMENT GUIDANCE**

Guidance is provided in the following categories, *Recommendations* and *Requirements*.

*Recommendations* are processes tested by time that help to alleviate clerical errors and facilitate the processing of grant contracts. Recommendations are strong suggestions, but are not requirements.

*Requirements* are mandates from internal and external divisions that describe the process for contract execution, funding reimbursements, timelines and other grant contract terms and activities. Requirements are non-negotiable and must be followed. Please do not hesitate to contact your Trails Specialists with any questions or concerns.

### **RECOMMENDATIONS**

#### **Managing Funds:**

RTP grants are structured on a reimbursement basis. Through the years we have found that the applicant's attention to the funding streams (cash outlay and reimbursement) prior to contract, results in a more organized project. Plotting out timelines, ensuring cash is available when needed and that reimbursements are available within expected parameters is the responsibility of the applicant.

Staff is available to offer suggestions prior to contract. Ultimately though, the applicant will need to structure the contract deliverables and reimbursement requests to run in concert with applicant's financial needs. Generally, applicants fare better to structure their deliverables and the corresponding reimbursements in blocks. Ten (10) percent of all contracts must be reserved until the completion of the project. Therefore, a 30% - 30% -30% -10% draw structure, or something similar is recommended. This keeps cash flowing in blocks and facilitates processing. Note, this is a recommendation. Other formats can be constructed due to the applicant's needs

## **REQUIREMENTS**

### **Legally Binding Contract:**

Your application becomes part of your contract, and all Grant Contracts issued by DNCR are legally binding. Failure to meet terms results in breach of contract.

### **Revisions to Application/Budget Amendments; Pre-Contract:**

In the guidance section *Managing Funds*, it was recommended that the applicant structure their deliverables to coincide with the needs for reimbursements. Special attention should be given to the structure of deliverables in the application before a contract is issued. The contract is a legally binding document. Therefore, once the terms are contracted, it is the applicant's responsibility to perform the terms as they are stipulated in the contract. The following information regarding requirements should be considered prior to contract.

### **Pre-contract Requirements:**

1. Any application requiring changes prior to contract will have to be revised and resubmitted. This is a requirement of DNCR to ensure uniformity of contract deliverables and terms.
2. Contracts will not be issued until a final approved grant application package has been received by the NC Trails Program.

### **Reimbursements:**

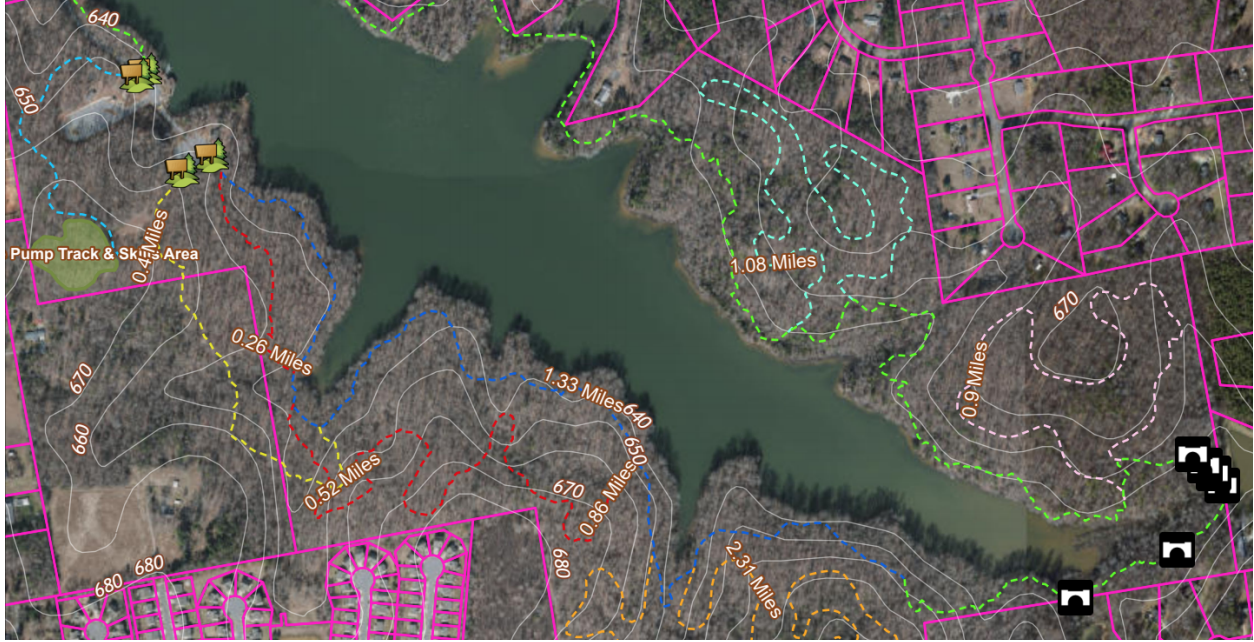
1. Deliverables must be structured in the application so that reimbursement requests relate to a completed deliverable and requisite (25%) match.
2. The entire deliverable must be completed prior to request for the deliverable reimbursement.
3. The match for the deliverable request for reimbursement must be documented.
4. Reimbursements for partially completed deliverables will not be processed.
5. Reimbursements for actions before contract execution and after the contract expiration date will not be processed.
6. Any deviation to the above Reimbursement Requirements *must* be submitted in writing to, and be approved by, the NC Trails Program Head prior to the completion of the deliverable.

### **Contract Amendments:**

Contract amendments and/or contract extensions may be requested no less than 30 days prior to expiration of the contract. Note that all amendments or requests for extensions must be fully executed prior to the expiration of the grant contract.

**We look forward to working with you on your project! Please contact the [NC Trails program](#) with any questions.**





# Lake Michael Trail Plan



Prepared for the City of Mebane

04.9.2019



NC Contractor License #80199  
 NASCLA Contractor License #9880

CONTACT INFO:  
 Nature Trails NC, LLC.  
[matt@naturetrailsnc.com](mailto:matt@naturetrailsnc.com)  
 214-263-7780

11312 US 15-501 North, Suite 107185  
 Chapel Hill, NC 12345

## Introduction

This trail plan outlines the assessment of existing conditions and conceptual design of a stacked loop, multi-use trail system at the Lake Michael Park property in cooperation with the City of Mebane. The plan has been developed based on an original master plan concept by Site Solutions and through GIS studies and onsite assessment taking into consideration immediate and future land uses. Nature Trails believes this plan represents the best use of the property to provide an enhanced user experience for hiking, mountain biking, trail running, birding, and general exploration.

## Goals

1. To develop as stacked loop trail system that allows users to 'choose their adventure'.
2. Provide users with access to explore the property while allowing for future expansion while making best use of some existing 'bandit' trails.
3. Construct a trail system that engages multiple user groups, such as hikers, bikers, runners, and naturalists, to maximize daily usage and volunteer base for future maintenance of trails.
4. Provide an accessible, safe, and welcoming natural area for users of all ages to enjoy and increase their appreciation for nature.

## Contractor Requirements

### Licensing & Insurance

The selected contractor shall have an active license with the North Carolina Licensing Board for General Contractors and provide a Certificate of Insurance (COA) naming the City of Mebane as additionally insured as well as meeting any and all necessary criteria specified under municipal contractor requirements.

### Experience

The selected contractor shall demonstrate prior experience in the construction of singletrack trail systems that are consistent with modern sustainable trail building as referenced by IMBA Trail Solutions Guide to Sweet Singletrack, the AMC's Guide to Trail Building, and Wetland Trail Design and Construction.

### Equipment

The selected contractor shall use equipment appropriately sized to minimize disturbance in relation to the final tread width. No machine may exceed the maximum dimension of the final tread by more than 24".

## Trail Plan Documents and Files

### ArcGIS Interactive Map

<https://nature-trails.maps.arcgis.com/apps/webappviewer/index.html?id=3d38bd60fca6474fbbf75c4a5d08640c>

### KML Files

<https://drive.google.com/file/d/1nb-F58qPsg3fScslqpqdf5iZeFXeQRAZ/view?usp=sharing>

*All of the above documents are copyright Nature Trails NC, LLC. and solely for the purpose of development of the Cates Farm Park trails in Mebane, NC. Any other use, commercial or personal, is strictly prohibited without the express written consent of Nature Trails NC, LLC.*



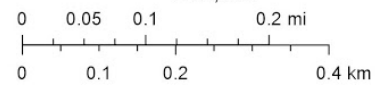
# Site Map



4/9/2019, 6:02:46 PM

1:10,500

- Lake Michael Park - Trails
- Sundown
- Mason Hall Trail
- JJ Knox Trail
- Bike Trail
- Flying Fox
- Sunrise
- Lake Loop
- Tot Walk
- Parcels (Polygons) - Parcels



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

## Existing and Future Trail Log

Color	Name	Mileage	Status	Notes
Royal Blue	Mason Hall Trail	1.33	Existing	Mix of Double-Track and Single-Track
Red 1	Bike Trail	0.26	Existing	Single-Track
Red 2	Bike Trail	0.86	Existing	Single-Track, revised color coding recommended to aid in wayfinding
Yellow	JJ Knox Trail	0.52	Existing	Single-Track, extends off property... consider closing if not sanctioned
Green	Lake Loop	2.74	Concept	Single-Track, priority for looping lake, partially reclaimed ATV Trail
Orange	Flying Fox	2.31	Concept	Flow Trail, priority for mtb experience, highest elevation of property
Pink	Sundown	0.9	Concept	Single-Track, old ATV trails require closure
Teal	Sunrise	1.08	Concept	Single-Track, old ATV trails require closure
Light Blue	Tot Walk	0.4	Concept	Single-Track, kids trail near parking lot to access pump track / family area.
<b>Totals</b>				
Existing		2.97		No loop options exist to utilize entire network.
Concept		7.43		Stacked loop concept allows users to add on to their
<b>Combined</b>		<b>10.40</b>		10 miles suggested minimum distance for 'destination' users. 5k, 10k, 15k event options

*While all efforts have been made to document specific guidelines, for the best user experience, some decisions are best made in the field during construction.*

## Existing Trail Assessments & Rehab Recommendations

### Mason Hall / Blue Trail (1.33 miles)

The Mason Hall trail is an out and back indicated with Blue Blazes on signage and trees. It starts from the East corner of the farthest parking lot near the playground equipment. There is signage in the park indicating 'Nature Trails', but no map kiosk or clear entrance location other than a void in the treeline with worn tread surface. Immediately upon entering the trail, the surface is double-track approximately 6ft wide with some light gravel from past tread armoring. The trail stays close to the shore line and is used for access to several park amenities such as the fishing pier, picnic tables, and covered group event area. Upon passing the constructed park amenities, the trail narrows into single track 3-4ft wide that has been created by frequent use over time and often is subject to cupping and ponding in the tread due to compaction and erosion from foot traffic. Along the trail, there are 3 wooden bridges / boardwalks that are in various states of failure and in desperate need of replacement for user safety and experience as well as potential liability concerns. In order of occurrence, the bridge sizes are as follows: 40ft puncheon (mud sills), 15ft clear span, and 10ft clear span. Other than replacing bridges, repairing / armoring muddy areas and removing some fallen trees, this trail can continue to be used as the basis of future expansions, but should receive some needed maintenance in the near future.

Of note, while the Mason Hall trail is indicated with Blue Blazes for wayfinding, the Red and Yellow trails spur off and rejoin this trail at various locations. Where the user is expected to follow the blue trail to access others, two or three blaze colors are used simultaneously. For instance, there are locations where a single tree is blazed with red, yellow, and blue as shown in the following photos. While the intent is good, our experience suggests that each trail should only indicate a single color and clear signage at intersections to assist the user in understanding where decision points exist.

Finally, there are two old fishing piers / boardwalks ranging between 40-50ft each that have detached from the bank at some point and are now sinking / rotting along the shoreline. It is recommended to remove these as they are aesthetically an eye sore and as the trail system is expanded and traffic increases, may pose a liability of users attempting to walk or climb on them.

(photos on following page...)



Mason Hall / Blue Trail (pictures)





## “Bike” / Red Trail (1.12 miles)

The “Bike” trail roughly parallels the Mason Hall (blue) trail and is marked with Red Blazes on signage and trees. The red trail Y’s to the right from the blue trail within the first hundred yards of entering the treeline and provides a single-track option for bypassing the double-track portion of the blue trail near the fishing and picnic areas. At the 0.26-mile mark, the red trail temporarily rejoins the blue trail and Y’s to the right a few hundred yards later where it extends for an additional 0.86-miles before connecting / dead ending into the blue trail. Along the second section of red trail, there is one location where it crosses the JJ Knox (yellow) trail perpendicular with no clear signage other than color blazes further down the trail.

Along the red trail, there is one 10ft bridge that is washed out and in need of replacement as soon as possible. Other needed maintenance items include clearing fallen trees and making some minor drainage corrections. See images.





## James H. "JJ" Knox / Yellow Trail (0.52 miles)

The "JJ" Knox Trail is a single-track trail that connects the South end of the farthest parking lot to the blue trail approximately ½-mile out to create a semi loop option for users. The entrance to the trail from the parking lot is not immediately obvious as it is behind a chain with a sign that reads "Authorized Vehicles Only". To the average user, this would indicate that this area was for Parks and Rec employees only whether on foot, bike, or otherwise. Shortly upon entering the trail, there is an open field section for group activities as well as a sand volleyball court. Continuing a couple hundred yards, you come upon another semi-clearing where benches, fire pits, and trash cans are located and appear to be used as a group camp facility, but no clear signage is present.

Extending further along the yellow trail, several fallen trees need to be removed and minor drainage corrected in addition to one 10ft bridge and one 20ft puncheon bridge (mud sills) that are aging significantly in addition to being over-spanned and not complying or exceeding deck code (minimum recommended standard). While these bridges are not in immediate risk of failure, it is recommended to replace them with more substantial structures.

Finally, while the yellow trail is clearly signed and blazed as a Lake Michael Park amenity it extends off property and crosses the corner of Parcel No. 9825661392 belonging to Dale C. Howard. We recommend either 1.) Closing all or a portion of this trail, or 2.) Negotiating a Memorandum of Understanding (MOU) with the owner to ensure no conflicts or liability concerns arise in the future.



## New Trail Assessments & Planning

### Lake Loop / Green Trail (2.74 miles)

Beginning where the Mason Hall (blue) trail terminates, the Lake Loop (green on map) begins, possibly as an extension of the blue trail and using the same name / blaze color for ease of navigation. This trail corridor has been flagged in the field with pink survey tape. Near the beginning of the trail at the far East end of the lake a series of large bridges / boardwalks becomes necessary to traverse several large bogs, drainage flows, and creeks. Among the

As an additional challenge, beginning in this same area, neighboring landowners have been trespassing with ATV's, creating large ruts and building temporary bridge structures out of deadfall, pallets, and scrap lumber. All non-native materials should be removed as part of the construction process and new bridge boardwalks should be constructed at no more than 3ft to mitigate ATV's attempting to trespass on the trails in the future. In order of occurrence, the following elevated tread / bridge structures are necessary to successfully circumnavigate the entire lake on the green trail extension: 135ft boardwalk w/ piers, 125ft puncheon w/ mud sills, 40ft clear span bridge at East spillway, 20ft clear span bridge over creek, 30ft clear span bridge over creek, two 10ft clear span bridges over creeks, and finally, a 40ft clear span bridge at the West lake spillway (FRP recommended).

Finally, on the North side of the lake, the property is laden with ATV trails of which some are possible to repurpose as hike and bike trail, while others must be re-routed. The recommended route is flagged with pink survey tape for, but some decisions are best made in the field at the time of construction. In addition, it is estimated that 3+ miles of ATV trail will need to be closed / re-naturalized in order to aid in wayfinding for park users and mitigate future trespassing by ATV users.





Lake Loop / Green Trail (photos continued...)





## Lake Loop / Green Trail (example photos)



*Examples of puncheon boardwalk with mud sills and 20ft clear span bridge from Nature Trails previous projects.*



*Example of Fiber Reinforced Plastic (FRP) bridge as recommended for any clear span over 30ft.*



## Flying Fox Loop / Orange Trail (2.31 miles)

Branching off of the Mason Hall (blue) trail as a stacked loop in the Southernmost edge of the park, a rectangular parcel of land extends to the highest elevation of the entire property at 690ft with over 50ft of elevation change from the lake. This location is ideal for a bike optimized flow trail with berms, rollers, and tabletop jumps. Current recreation trends are showing significant demand for 'destination worthy' mountain bike trail that provides the user with an enhanced and 'thrilling' experience. For this reason, it is recommended to construct the orange loop specifically for bike users to create a remarkable experience that is not readily available in the surrounding areas.

A flow trail is a mountain bike-specific trail design for riders of all abilities. It features earthen structures to limit the need to pedal or brake by creating a unique, progressive landscape. Unlike flat walking trail, flow trails are between 36-60" wide and frequently compared to a rollercoaster, having repetitive rise and falls in the tread surface as well as banked turns to help riders carry momentum. See photo examples below.

Due to the unique construction requirements of a flow trail this loop is not field flagged to allow the contractor flexibility to develop their ideal layout for a ~2.31 mile loop. The orange trail on the provided map is conceptual only.



## Sunrise and Sundown Loops / Teal and Pink Trails (1.98 miles)

Branching off of the Mason Hall (blue) trail as stacked loops on the Northern side of the lake, these trails are both traditional single-track loops with an 18-24" final tread width catered to beginner and intermediate riders. The primary purpose of these loops is to allow users to extend the duration of their adventure by adding on an additional loop that will return them to the lake loop near the previous intersection in order to not skip a large portion of the lake trail.

Due to extensive ATV damage and bandit trails having been developed in this area, these loops have not been flagged in the field. It is recommended to close and renaturalize as much of the old ATV trails as possible prior to layout in order for more sustainable trail alignments to be developed. Failure to re-naturalize the ATV trails may result in wayfinding trouble and poor user experience.



*Example of bench cut and flat single-track trail from Nature Trails previous projects.*



## Tot Walk / Light Blue Trail (0.4 miles)

Wrapping around both parking lots and connecting the Lake Loop and JJ Knox Trails, the Tot Walk is designed to be a single-track connector specifically tailored to young children with strider / scoot bikes. The tread surface should be 24-36" wide and be void of substantial roots or rocks in order to provide a safe learning area for kids to get experience on dirt trails. The loop intentionally starts and stops on each end of the parking lot to provide easy access for parents to walk alongside without venturing far into the woods.

This loop is not currently flagged in the field due to several higher priority projects that will dictate placement, such as re-route / closure of the yellow trail and trailhead / kiosk location of the lake loop trail.





## Asphalt Pump Track and Bicycle Skills Area (2 Acres)

Slightly South of the farthest parking lot and behind the sand volleyball court, there is a corner of the property comprising of approximately 2-acres. To create added draw for destination users, it is recommended that an asphalt pump track and bicycle skills park be installed. These amenities serve as major attractions that are not readily available in the region and would draw a crowd from larger urban centers and provide positive economic impact for local businesses.

The pump track is recommended to be asphalt as the cost add is approximately 50%, but will save maintenance costs of up to 30% annually for a comparable dirt surface track. In addition, by using an asphalt surface, the user group of this feature is expanded to include skateboards, scooters, and other wheeled sports.

The skills park should be comprised of obstacles of graduated difficulty that will specifically provide users a safe learning environment to develop skills necessary for common mountain bike trails.





## Wayfinding & Signage

### Map Kiosk

A minimum of one kiosk should be provided with a printed map of the property and clear mileage and trail color coding. This station should be protected from the weather with an asphalt shingle or steel roof and have locking lexan covers to mitigate vandalism by non-authorized personnel.



### Signage

Basic, durable wayfinding mechanisms should be added to the trail at all intersections and at major decision points to ease navigation, define user groups, and provide emergency access reference locations for first responders.



## Trail Construction Specifications

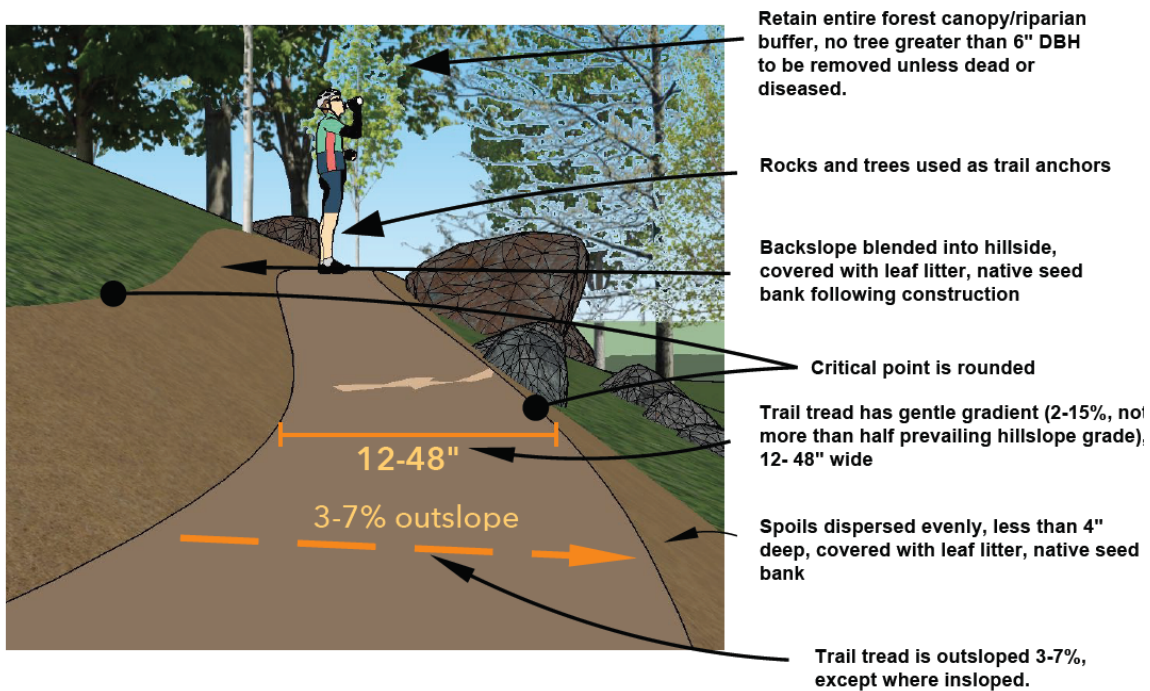
1. Construction of trail tread and attendant features (i.e. puncheon, bridge, rock armored segments, etc.) will be in accordance with the general specifications presented within this document and fundamentally based on sustainable trail design principles promulgated by credible, recognized printed source material, including the International Mountain Bicycling Association's handbooks, *Trail Solutions* and *Managing Mountain Biking*, and the USDA Forest Service's *Trail Construction and Maintenance Notebook*.
2. Trail corridor will be cleared to a width in accordance with the specifications. Stems larger than 6" dbh will not be removed until approved by the construction manager. All materials longer than 5' in length will be bucked to less than 5' and utilized with nearby native materials to stabilize excavated spoils. All vegetative materials will be removed from the corridor. Any stumps developed in the corridor development will be excavated and removed from the corridor.
3. Trail tread development will consist of full bench trail construction, devoid of fill material for use in the tread surface (berms and roller features excepted), and mechanically compacted following construction. Acceptable protrusion height above the trail tread for natural features such as rocks or roots will be in accordance with the specifications of the particular trail type (i.e. least difficult, more difficult, most difficult) being constructed. Tread will be constructed with a 3-7% cross slope, except where features are constructed for the purpose of keeping riders on the trail (i.e. berms, in-sloped corners, and constructed features).
4. Grade reversals will be located at less than 100' intervals and should have broad drains (6-10') with cross slopes of 10-15%. Subsequent reversals in grade should also be broad (10-25') and compacted with leading face and transition field-fit to match the desired trail experience (i.e. low and rolling on least difficult trails, rollable with the ability to jump on more difficult trails, and jump-optimized on most difficult trails).
5. Back-slopes should blend with surrounding hillslope gradient and finished to tread specifications. In the case of inside turns, backslope should be optimized for utility as a riding/tread surface and blended with trail tread to provide smooth transitions.
6. Excavated spoil piles shall be distributed such that no berm is present on the downslope edge of the trail tread unless it is created for the purpose of a trail feature, in which case it will be preceded upslope by a grade reversal and compacted as trail tread.

7. Downslope spoil will be sufficiently distributed downslope a.) with a depth not greater than 4" and b.) shall not be deposited in active drainages (i.e. stream bed and bank structure or incised linear flow pattern) or locations demonstrating characteristics of standing water (i.e. presence of standing water during construction, darkened leaves or water lines on trees indicating standing water for significant portions of time). In these cases cannot be attained, spoil materials will be bucketed and dispersed in a nearby location that meets these conditions.
8. Following spoils dispersal, downslope and backslope areas will be immediately covered with native seed and mulch materials, created during trail corridor clearing activities.
9. Any borrow pits developed during the course of construction must be created within 50' of the trail centerline. After utilizing borrow pit areas, they are to be graded to a natural contour, with roots trimmed, and soils stabilized. The entire pit will be "naturalized" with nearby materials, preferably vegetative materials removed during trail corridor development.
10. Turns in the trail tread that result in crossing the fall-line of the hillslope will be constructed according to the trail tread specifications with the addition of a grade reversal upslope and prior to the turn, all fill and/or retaining walls necessary to stabilize the turn, drainage features necessary to remove water from the turn area (i.e. in-sloped drain or crowned turn platform), and a grade reversal downslope/ following the turn. Insloped and/or super-elevated turns shall be field-fit and constructed, where necessary to assist riders in remaining in the center of the trail tread and maintaining momentum.
11. Alternative riding lines and/or technical trail features, if developed, will be designed in a collaborative manner with approval necessary from the construction manager and client representative(s), and will be developed based on available time and funds. All features will adhere to standard construction best practices for dry stack masonry. Approaches to and exits from features will be field-fit to minimize vegetation and hydrologic impacts. Fall zones for features higher than 12" above the surrounding topography will be cleared of loose, sharp rocks or other materials that could focus rider impacts for a lateral distance of 10' from the feature.



## Trail Specifications (visualized)

### Bench Cut Trail Construction



**Rolling Contour - Outsloped Tread with frequent grade reversals to force water to drain off the trail, maintaining natural hydrologic flow patterns and watersheds.**



**Rolling Contour - Insloped Turn with Outsloped Grade Reversal to keep riders on trail and reduce lateral displacement of soil.**



Grade Reversal      Drain      Insloped Trail

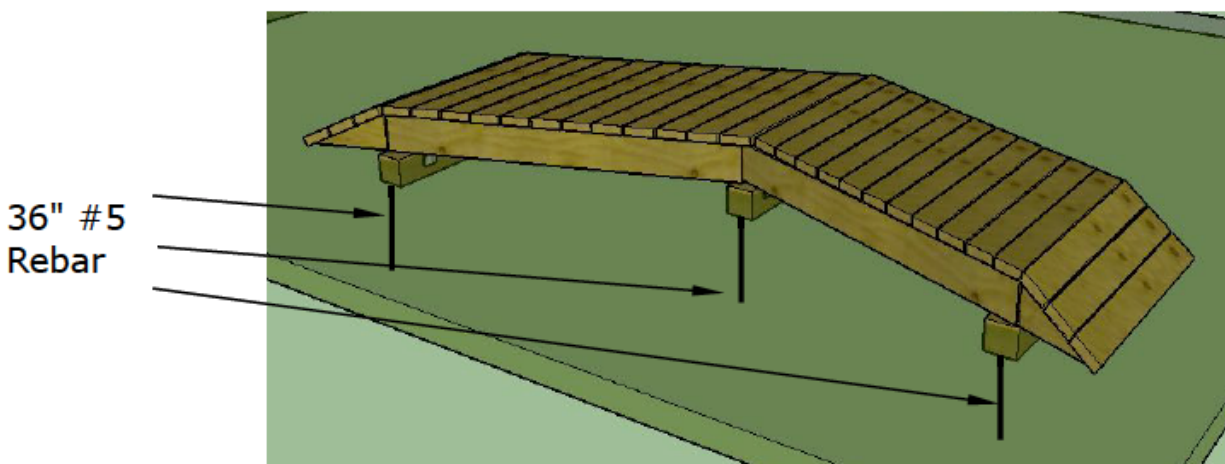
## Trail Specifications (visualized)

### Puncheon & Bridges

#### Notes:

1. 6X6 ground contact or railroad tie sills, flush with surrounding grade.
2. Mud sills secured with 36" #4 rebar (~6" in from outside edge)
3. Stringers will be 2x8, pressure treated for puncheon.
4. Stringers will be 2X10 for bridges less than 12'; 2X12 for bridges 12'-17'; Utility Poles with a minimum diameter of 8" for bridges 18'-23'. All pressure treated. For bridges, cross-bracing on 6' centers.
5. Hardware to connect stringers to mud sills: Simpson Strong Tie Hurricane Clips (H2.5 AZ) (Figure 1.), Tie Plates (TP47), and #9 1.5" hex drive screws (SD9112MB) (Figure 2).
6. Decking is 2x6 rough cut durable hardwood or marine grade pressure treated, fastened with 3.5" decking screws and 30-degree 3" ring shank framing nails.
7. Edges of deck materials should not extend more than 6" from edge of stringers
8. Fall zones cleared of woody and sharp debris 8' to all lateral surfaces of bridge.
9. Curvilinear construction of puncheon to blend with surrounding topography when possible

#### Iso View

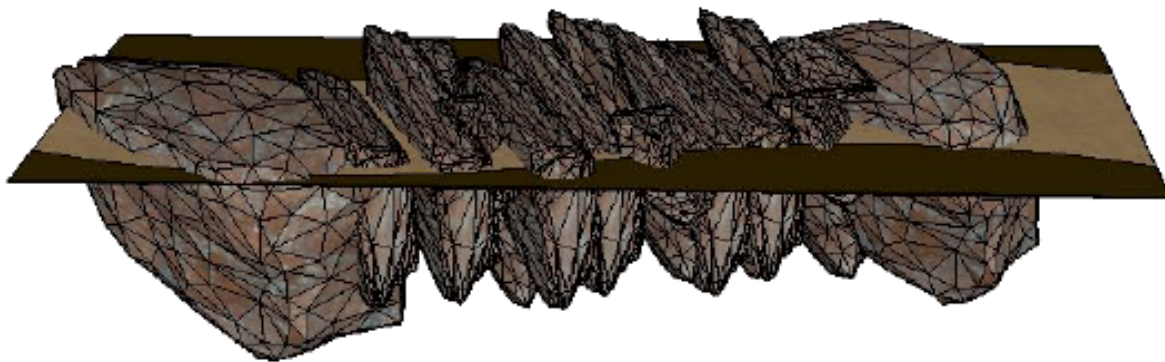


## Trail Specifications (visualized)

### Native Stone Armoring

**Notes:**

1. Remove all organic matter from area of armoring to a depth of thickest rocks.
2. Armoring should extend to a minimum of 6' past each edge normal high water surface or to extent of saturated soils.
3. Anchor Stones are placed at each terminus, span the entire trail tread and extend deep into the mineral soil ( $\frac{2}{3}$  of rock must be buried).
3. Stones are placed at grade to eliminate any potential obstruction to normal water flow.
4. Stones pitched on end with majority of stone underground, placed directly on mineral soil (or an aggregate foundation).
7. Each stone must have three points of contact with other rocks to "lock" into place.
8. Chock Stones added last to increase structural stability. Pore spaces between stones will be filled with smaller chock stones or crushed rock.
9. When complete, structure should not move in any direction when significant pressure is applied.



Majority of Rock  
Underground

## Financial Impact of Completing the Trail Loop at Lake Michael

### Overall Estimated Costs (Option #1)

- Trail Connector - \$165,000 (Funded in 21/22 Budget)
- Complete Loop - \$220,000
  - \$100,000 – Paid by NC Trails Grant
  - \$120,000 – Paid by City of Mebane (maximum)

### Overall Estimated Costs to complete loop (Option #2)

#### Natural Trail Construction Volunteer Option Costs

- \$0 - Triangle Off Road Cyclists could route and build the natural trails needed to complete the loop and close off rogue trails. (Volunteers)

#### Bridge/Boardwalk Cost Estimates (Contractor)

- \$40,000 – RFP Bridge on western portion of the bridge
- \$65,000 – Other Puncheon Bridges and Boardwalks

#### Signage Package (Contractor)

- \$1500

#### Kiosk (Contractor)

- \$3000

#### Material Transport (Contractor)

- \$15,000

#### Total Costs w/ volunteer assistance

- **\$125,000**
  - \$25,000 – City of Mebane
  - \$100,000 – NC Trail Grant



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## AGENDA ITEM #4D

### New Retention Schedule Model for North Carolina Local Governments

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#### Meeting Date

July 12, 2021

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#### Presenter

Lawson Brown, City Attorney

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#### Public Hearing

Yes  No

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#### Summary

Adoption of a new schedule for records retention as required by the Government Records Section of the State Archives of North Carolina Department of Natural and Cultural Resources.

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#### Background

Per the above-mentioned agency, all local City records retention schedules will update on an annual basis. Updating the schedules in this fashion will create greater consistency among government agencies and will allow agencies with older schedules to use the most current retention periods for their general office records, even if their program records standards are not updated simultaneously. The first update was on March 1, 2019. All subsequent updates are issued on January 1st of each year.

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#### Financial Impact

There is no new financial impact.

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#### Recommendation

Staff recommends the adoption of the 2019 Local Government Agencies General Records Retention and Disposition Schedule.

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#### Suggested Motion

I hereby move that the City adopt the recommended 2019 Local Government Agencies General Records Retention and Disposition Schedule.

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#### Attachments

1. Memorandum from State Archives of N.C. Dept. of Natural and Cultural Resources, dated January 17, 2019.
2. Link to new schedule: [https://files.nc.gov/dncr-archives/documents/files/2019\\_local\\_standards.pdf](https://files.nc.gov/dncr-archives/documents/files/2019_local_standards.pdf)





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## AGENDA ITEM #4E

### Purchase Police Capital with Federal Equitable Funds

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#### Meeting Date

July 12, 2021

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#### Presenter

Terrence E. Caldwell, Chief of Police

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#### Public Hearing

Yes  No

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#### Summary

Police Department request Council to appropriate Federal Equitable Sharing Funds.

Item 1: Dodge Ram 1500 – We are looking to replace (1) Special Service Vehicle that is currently assigned within the Support Services Division that has exceeded 100,000 miles.

Item 2: Evidence Barcoding System – We are looking to implement a new Property and Evidence Barcoding Intake and Tracking System to align with best practices and become more efficient within the Property and Evidence Division.

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#### Background

The US Department of Justice shares the proceeds of asset forfeiture with local police departments that aide in their efforts. The Police Department would like to use some of the collected funds, and Council approval is required to appropriate the amount from fund balance

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#### Financial Impact

None - All monies received were from drug related seizures and no type of match is required for the purchase.

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#### Recommendation

Staff recommends approval of the use of federal equitable funds, and approval of the attached budget ordinance amendment.

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#### Suggested Motion

I make a motion to approve the allocation of funds for purchasing the items listed below with Federal Equitable Sharing Funds and the necessary budget amendment.

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#### Attachments

##### 1. Quotes

Item(s) to be purchased –

1) Dodge Ram 1500 – \$29,681.00 (Replacing 2010 Honda Civic – 138,755 miles)

2) Evidence Barcoding System - \$18,454.07



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FILEONQ SOLUTIONS

# PROPOSAL FOR

## Mebane Police Department

*You have an important job to do and we want to  
help you do it with excellence.*

**PREPARED BY**  
Ramona Malyon

---

[RamonaM@FileOnQ.com](mailto:RamonaM@FileOnQ.com)  
<http://fileonq.com>

# FileOnQ Solutions

EvidenceOnQ

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## **JEREMIAH AND KRISTEN,**

Thank you for the opportunity to submit this proposal for EvidenceOnQ for Mebane Police Department. The investment requirement for EvidenceOnQ Including software, configuration, installation and training is **\$18,454.07**.

Our first priority is to provide solutions that effectively meet the unique needs of our customers today, while providing them with a strategy and a path to meet their changing needs of tomorrow. Another priority of equal importance is to provide these solutions with the greatest possible economy. **We will do all we can to make sure that price is not the reason someone would chose not to buy the proposed solution.**

**Please read and consider our proposal and bring to our attention any ways in which you feel we can more adequately satisfy your needs.** Finally, when you are prepared to allow us to implement the the solutions proposed, your Customer Success Team is committed to doing everything necessary to ensure your complete satisfaction and help you to perform your job with excellence. *Excellence worth talking about.*

Thank you again for partnering with FileOnQ. We greatly value the opportunity that you have already given us in serving the Mebane Police Department and we look forward to doing so long into the future.

Sincerely, Ramona Malyon

## EVIDENCEONQ

# Features & Functionality

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### *EvidenceOnQ Application Software License*

EvidenceOnQ is built on Microsoft Operating System platform, utilizing proven methods and technologies. The multi-tier nature allows for single server implementations in smaller environments, reducing cost and administrative effort. It also provides the ability to be distributed onto several servers that share the load to improve performance in larger environments. This architecture provides a solution that can scale to different environments. EvidenceOnQ runs on Microsoft SQL Server 2012 and 2016 provided by the customer. FileOnQ can provide MSDE for smaller databases for up to 3 concurrent users. License upgrades for increased records/items may be purchased at any time the need arises. All of the data stored within the EvidenceOnQ application can be backed-up, restored, or extracted using standard SQL tools and routines. This ensures that your data can be backed up for disaster recovery or archival purposes.

### *Administrative Desk Top Client*

The EvidenceOnQ administrative desktop client is a full-featured Windows applications that allow users to access the system from the server. It provides all the functionality and tools to fully manage evidence and make administrative changes to the database. It is primarily used by evidence management personnel who need full administrative privileges that are above and beyond the web browser users. It includes the same type of functionality outlined in WebView but also includes the ability to:

- Transfer evidence to other locations individually and in groups by either scanning the barcode(s) or transferring them manually.
- Obtain a signature when transferring or releasing evidence
- Manage the lookup values, locations, users, and reports.
- Assign permissions in user groups, including record security and field security
- Designing barcode labels and location barcodes
- Build and saving custom queries
- Perform batch update edits to groups of records
- Create, perform, and store inventory projects

## Customized Profile

EvidenceOnQ provides complete flexibility by allowing you to dictate the design of the data entry screen, known as the profile. Fields can be added, deleted, or modified to fit the type of data that a department wishes to capture. The profile is designed so that the data entry is as simple as possible by following your existing workflow, using your terminology and codes. This customizable profile feature is one of the most appealing features of the system. It is designed by each agency to meet its own needs and comply with their specific policies and procedures. Not only is it flexible when it is initially configured, but the profile screen can be changed as your needs change. You can make changes to the profile at any time without permission from FileOnQ or incurring additional cost.

The following field types are available when creating or modifying the profile screen:

- Text
- Check Box
- Calculated
- Formatted Text
- Currency
- Date
- Time
- Coded Lookup
- Multi-line
- Simple Lookup
- Decimal

All transactions are performed from just one screen: data entry, searches, scanning, etc. eliminating the need to work through multiple levels of screens. Searches can be made from any field or combination of fields; For example, you can search for all Smith & Wesson guns recovered by a specific officer in the year 2006 where a juvenile was involved. Or you may search for all recovered electronic items that have 355 in the serial number. There is virtually no limit to the combination of searches that can be performed. The screen examples below show some of the common data fields you may choose to include on your home screen.



## Profile Example

Your Profile will be tailored to your specifications

**Details**

Evidence Info | Notes | History | Retention | Documents

Case Number	<input type="text"/> - <input type="text"/> Item # <input type="text"/>	Case Officer	<input type="text"/>	County Case No	<input type="text"/>
Incident Type	<input type="text"/>	Collected By	<input type="text"/>	<input type="checkbox"/> Search Warrant	
Incident Date	<input type="text"/>	Collected Date	<input type="text"/> Collected Time <input type="text"/>	<input type="checkbox"/> Asset Seizure	
Offense	<input type="text"/>	Collected Address	<input type="text"/>	<input type="checkbox"/> Juvenile Suspect	
Category	<input type="text"/>	Collected Location	<input type="text"/>	<input type="checkbox"/> Additional Suspects in Notes	
Court Division	<input type="text"/>	<input type="checkbox"/> Suspect is Owner			
Owner Last	<input type="text"/>	Suspect 1 Last	<input type="text"/>	Suspect 2 Last	<input type="text"/>
Owner First	<input type="text"/>	Suspect 1 First	<input type="text"/>	Suspect 2 First	<input type="text"/>
Owner Address	<input type="text"/>	Suspect 1 MI	<input type="text"/>	Suspect 2 MI	<input type="text"/>
City St Zip	<input type="text"/>	Suspect 1 DOB	<input type="text"/>	Suspect 2 DOB	<input type="text"/>
Owner Phone	<input type="text"/> ( ) - <input type="text"/> DOB <input type="text"/>	Suspect 1 Sex	<input type="text"/> Race <input type="text"/>	Suspect 2 Sex	<input type="text"/> Race <input type="text"/>
<input type="checkbox"/> Owner Unknown		Suspect 1 SSN	<input type="text"/>	Suspect 2 SSN	<input type="text"/>
<input type="checkbox"/> Owner is Victim					
Property Type	<input type="text"/>	Gun Type	<input type="text"/>	Money Total	<input type="text"/>
Item Type	<input type="text"/>	Caliber	<input type="text"/>	Evidence Hazard	<input type="text"/>
Make	<input type="text"/>	Drug Type	<input type="text"/>	Owner Notified	<input type="text"/>
Model	<input type="text"/>	Quantity	<input type="text"/> Measure <input type="text"/>	Locker #	<input type="text"/>
Serial #	<input type="text"/>	Color	<input type="text"/>		
Description	<input type="text"/>				
Lab Exam Requested	<input type="text"/>	Container Description	<input type="text"/>		
Additional Lab Details	<input type="text"/>	Summary of Incident	<input type="text"/>		

Query | None | Worklist

## Control Fields

The partial screenshots below show the control field selections that enable (or disable) the dependent fields. The examples portray a selection of currency, narcotics, and guns. The applicable fields are enabled. Fields that do not apply to the selected description are disabled, making entry easier and more accurate.

**Drugs**

Property Type	Evidence	Gun Type		100 s		5 s	
Item Type	DRUGS	Brand		50 s		2 s	
Drug Type	Marijuana	Model		20 s		1 s	
Quantity		SN		10 s			
Weight	23.5	Caliber		Coin Total			
Measure	Grams	Recovered Stolen		Money Total		0	
Color		NCIC Info					
Additional Desc: Purple crown royal bag with green leafy substance							

**Firearms**

Property Type	Evidence	Gun Type	Semi-automatic	100 s		5 s	
Item Type	FIREARMS	Brand	GLOCK	50 s		2 s	
Drug Type		Model	17	20 s		1 s	
Quantity		SN	32151288	10 s			
Weight		Caliber	9 MM	Coin Total			
Measure		Recovered Stolen	NO	Money Total		0	
Color		NCIC Info					
Additional Desc: Gun with broken grip							

**Money**

Property Type	Evidence	Gun Type		100 s	0	5 s	8
Item Type	CURRENCY - U.S.	Brand		50 s	8	2 s	12
Drug Type		Model		20 s	10	1 s	
Quantity		SN		10 s	0	Coin Total 4.23	
Measure		Caliber		Money Total		668.23	
Color		Recovered Stolen					
Additional Desc: Cash found with address book							
<input type="checkbox"/> Bio Hazard							

## Barcode Tracking

EvidenceOnQ makes a chain of custody an automated process through the use of barcode technology. It is faster and more accurate than any other form of tracking. Using a barcode will dramatically decrease the time it takes to retrieve a record from the database and to record the transfer of that item to another location or status. In addition to barcodes that represent evidence, EvidenceOnQ assigned barcodes to locations. This may include **people, places, a status, or a disposition** (as shown below). With this feature, transactions can be performed without having to enter any hand typed data from your keyboard. This allows the user to scan an item and then scan the location where it is to be transferred. It gives you fast, accurate, completely keyless transactions.

**CRIME LAB**



**DESTROYED**



**DRUG LOCKER**



**GUN ROOM**



**KIRK NEWMAN**



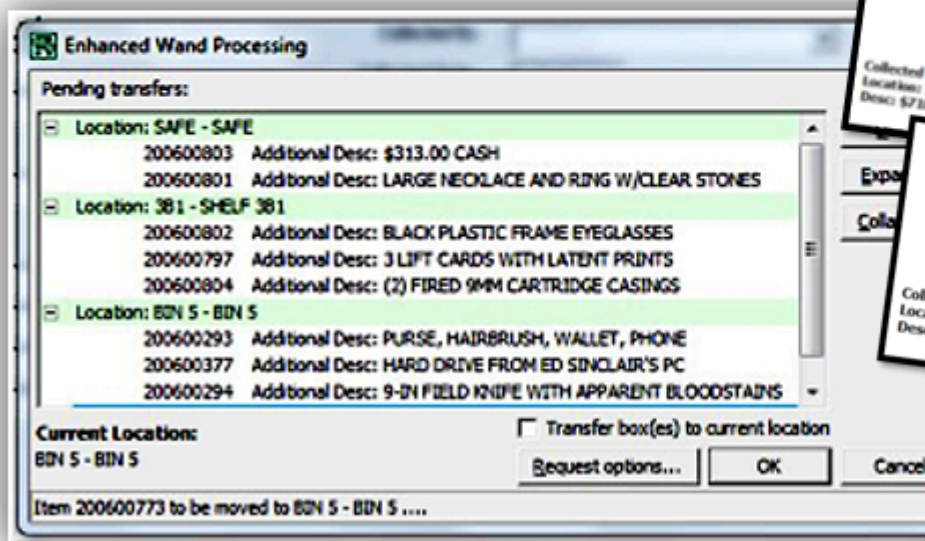
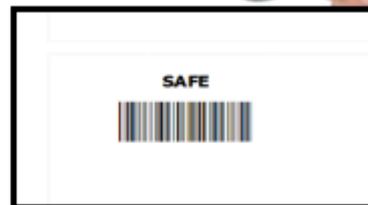
**PENDING DESTRUCTION**



Locations may also be assigned categories to filter and sort items. For example, by creating a location category such as FINAL, you can see all locations that represent evidence that will not return, such as Destroyed, Returned to Owner, Auctioned, etc. You might want to group all people as locations into one category, offsite locations, or temporary and transit locations into a category. Any group of locations can be placed in a category to make searching and sorting much faster.

# SCAN LOCATION BARCODE SCAN BARCODES ON THE EVIDENCE

REPEAT FOR EACH LOCATION

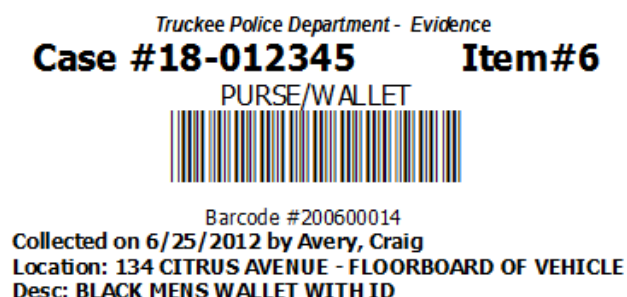


As evidence is moved to various locations, EvidenceOnQ automatically assigns the date and time in the unalterable audit trail. The audit trail provides a complete record of every action taken to the record from the time it was created. The User Login and User Name is also recorded with the name of the PC, the IP address, and the name of the person who logged in as the Windows user.

## Barcode Label and Design and Print

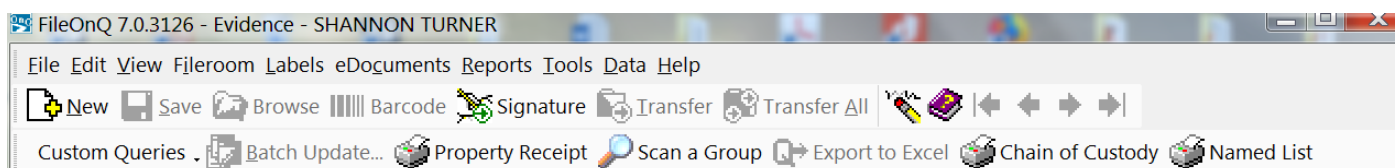
Barcode technology is one of the most beneficial features of EvidenceOnQ. It is faster and more accurate than any other form of tracking. Using barcodes will dramatically decrease the time it takes to retrieve a record from the database and transfer that item to another location or status. EvidenceOnQ takes barcode technology to another level. Barcodes also represent locations, individual people, a status, and final dispositions. This allows the user to scan an item and then scan the location where it is to be transferred. It gives you fast, accurate, completely keyless transactions.

EvidenceOnQ provides the user with complete flexibility to design and print customized bar code labels within the system. Any combination of fields from the customized profile screen can be printed on the label. This printed information eliminates the need for officers to hand-write information on the evidence bag. Customized location labels and location control sheets can also be easily designed and printed.



## Customized Toolbar

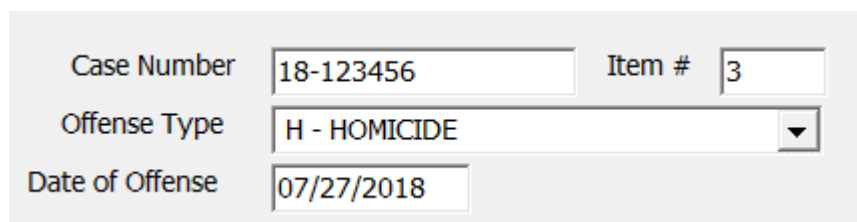
In the desktop client application, users can customize the standard toolbar by adding or removing icons. Users can also create additional “personal” toolbars containing shortcuts for functions they perform regularly. These toolbars themselves can be “dragged and dropped” anywhere on the EvidenceOnQ Profile. A “global” toolbar can be set for desktop, so the toolbar is standardized.





## Auto-assign Item Number

EvidenceOnQ provides agencies the ability to have item numbers within a case automatically assigned, eliminating duplicated item numbers in the same case. The FileOnQ ProFiler allows agencies to choose if they want to utilize this automatic item count feature.



The screenshot shows a form with four fields: Case Number (18-123456), Item # (3), Offense Type (H - HOMICIDE), and Date of Offense (07/27/2018).

Case Number	18-123456	Item #	3
Offense Type	H - HOMICIDE		
Date of Offense	07/27/2018		

## Searching and Queries

EvidenceOnQ provides users with many options to perform queries.

**Query-by-Example:** Allows users to conveniently search directly from the customized profile screen. Any field or combination of fields can be searched using known information, unknown information, or partial information.

**Query-by-Current Location:** Allows users to perform searches by current location.

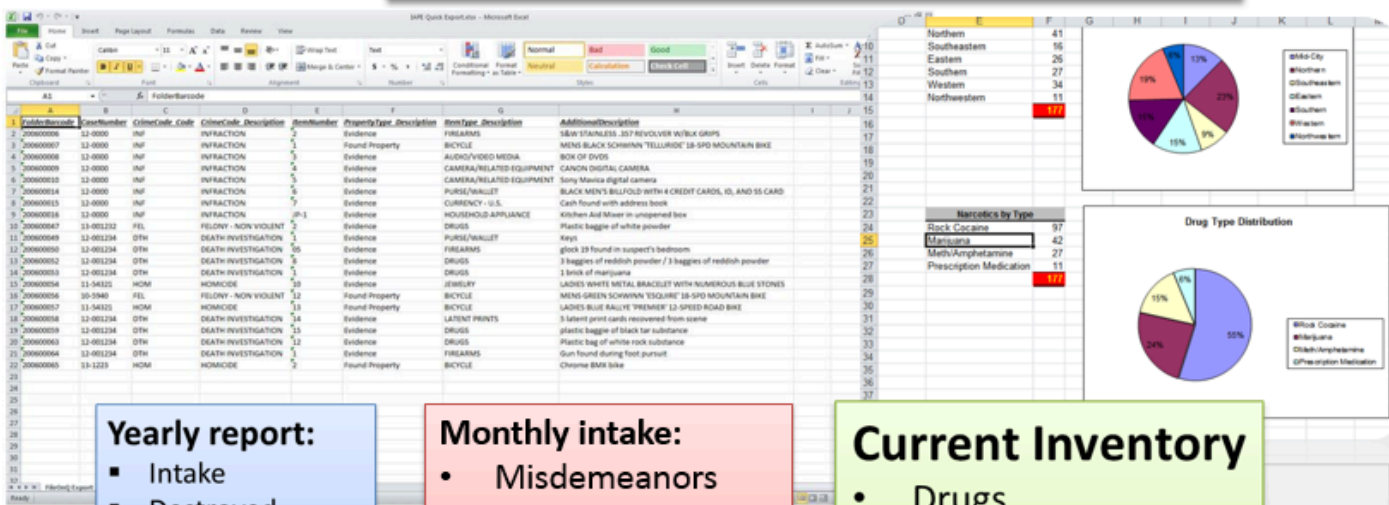
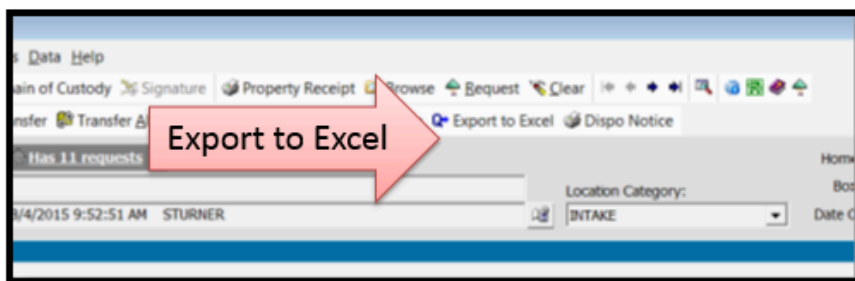
**Query by date:** Query by date includes all date fields on the profile screen as well as date created, last edit date, and last transfer date.

**Query-by-Scan:** Allows users to create a group of records by scanning the barcodes on the evidence to put them into a group. The user can choose any number of actions with that group, such as transferring them all to another location, creating letters to the owners, generating a list for a court order, printing a report, etc.

**Query-by-text:** Performs system-wide queries rather than field-specific searches. The user is prompted select a search for all data fields on the profile, all text in the free-form notes tab, all information in the check-out comments and names, and document keywords in the eDocs module. The results of the query show how many times the value was found, the field(s) where they were located, and enable the results to be put into a query set.

**Custom Query Manager:** EvidenceOnQ provides a convenient way to create, organize, update, and run queries. Custom queries are virtually unlimited with variable criteria and can be categorized for the organization. For example, queries can be set up for statistics such as the number of items received, destroyed, returned to owner, or auctioned during a specific period. Agencies can also create categories for queries such as **current inventory**, **items for review**, and **purge projects**, as shown in the screenshot below. Unique queries for special circumstances can be created such as all the drugs that were collected by a specific officer with a juvenile suspect.

When the results of a query are displayed, the user has many options such as viewing the data in browse, producing it in a custom report (form), transferring the records to another location, or exporting the data to Excel.



**Yearly report:**

- Intake
- Destroyed
- Auctioned
- Released to Owner
- Department Use

**Monthly intake:**

- Misdemeanors
- Felonies
- Sexual Assaults
- Homicides
- Found Property

**Current Inventory**

- Drugs
- Guns
- Money
- DNA


## Custom Reports

These Reports are produced after performing any type of query, making them dynamic and versatile. With the unlimited field/data selection options for queries, there is no limitation to the reports that can be run. The following examples show the query that can be performed and the custom report that is generated with the information

Before your EvidenceOnQ system installation is complete FileOnQ will work with your agency to design your custom reports to meet your needs.

### Disposition Request

Itemizes property that has come up for review or destruction by case number and case officer. The officer can complete the form by hand and return to the property unit, or use the Request Module to authorization the disposition of the property.

Retention Status Request For Dispo		
Print Date: Wednesday, November 10, 2010	Page 1 of 1	
Case Officer: Avery, Craig (422)	Case number: 10-654321	
The following items, related to Case Number <b>10-654321</b> are currently being held in the Evidence Room. Please review the items and indicate the proper disposition of each one.		
Item Description		
 200600047	Evidence Altoids container with rock substance	<input type="checkbox"/> Dispose <input type="checkbox"/> Hold Until ____/____/____
Reviewed and Approved by		Date

### Property Report

Will list the property associated with a case, the corresponding unique barcode, and pertinent information for each item. This report is often attached to the case report.


## Billings Police Department Property Report

Case Number: **12-001234**                      Suspect 1: **PLEASANT, timothy W**  
Case Officer: **SanAgustin, John**              Suspect 2: **GUNNISON, ROBERT W**  
Offense: **HOM - HOMICIDE**

BarCode	Item #	Item Type	Description
---------	--------	-----------	-------------


Recovered by Officer: Avery, Craig (422)      Recovery Address:  
Location of Recovery: INVESTIGATIONS OFFICE

---

 200600606	6	BEDDING	Blanket that victim was wrapped in on the couch
--	---	---------	---


Recovered by Officer: Avery, Craig (422)      Recovery Address: 326 W. BONNEVILLE  
Location of Recovery: COUCH WHERE VICTIM WAS SLEEPING

---

 200600607	7	CURRENCY	Blue water jug containing coins
--	---	----------	---------------------------------

Recovered by Officer: Avery, Craig (422)      Recovery Address: 326 W. BONNEVILLE  
Location of Recovery: FLOOR OF BEDROOM

---

 200600608	8	TRACE EVIDENCE	Clump of hair
--	---	----------------	---------------

Recovered by Officer: Avery, Craig (422)      Recovery Address: 326 W. BONNEVILLE  
Location of Recovery: FLOOR OF BEDROOM

## Owner Notification Letter

Will generate to the owner listing the property available to be released. The text of this letter is supplied by the agency. When the owner brings the letter to claim the property, scanning the barcode printed on the letter ensures the correct item will be returned.



### San Diego Police Department

1401 Broadway  
San Diego, CA 92101-5729

March 31, 2017

Case # 18-2681

ELSA ROGERS  
2700 CHASE CT  
EDGEWATER, CO 80214

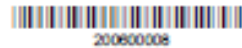
The property listed below is now available for release:

ItemDescription

---

AUDIO/VIDEO MEDIA

BOX OF DVD MOVIES

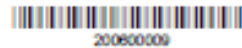


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CAMERA/RELATED EQUIPMENT

CANON ASL70

CANON DIGITAL CAMERA IN BLACK CARRY CASE



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CAMERA/RELATED EQUIPMENT

NIKON COOLPIX L1200

BLUE NIKON COOLPIX L1200 DIGITAL CAMERA



If you wish to claim this property, please refer to the above case number and make an appointment with the Property Room by calling (619) 531-2846. Property will not be released without an appointment. You must have this letter and valid identification with you when you arrive to claim your property.

If the property listed is a firearm and you have a criminal record, you may not be eligible to possess a firearm. If you have a criminal record, call first so that this issue can be addressed before you come to pick up your property.

Sincerely,

Property Technician






### Chain of Custody

Will produce for one or multiple items in a case. Each item is listed separately with a complete, unalterable history of every location for that item. Included in the chain of custody are all dates, times, users, and any associated signatures for each transaction.

#### CHAIN OF CUSTODY

CASE #: 14-005213	EVENT DATE/TIME:
CASE TYPE: FELONY - VIOLENT	EVENT ADDRESS: 40 JADWIN
CASE OFFICER: Ansari, Afsoon (0414)	

	ITEM #: 1 FIREARMS
200600741	
RECOVERY LOCATION: GLOVE COMPARTMENT OF VEHICLE	RECOVERED BY:
Aguirre, Rich (35)	

Date/Time	Logged in User	Item moved to this Location
3/20/2014 11:38:35AM	SHANNON TURNER	TEMP EVIDENCE LOCKERS
3/20/2014 11:40:48AM	SHANNON TURNER	Removed from Temp Lockers
3/20/2014 11:40:55AM	SHANNON TURNER	HANDGUN VAULT
3/20/2014 11:42:34AM	SHANNON TURNER	JODY BETRY
Follow Up - Released to detective for witness interview		
3/20/2014 11:44:46AM	SHANNON TURNER	RECEIVED NEW PORT RICHEY EVIDENCE
3/20/2014 11:45:00AM	SHANNON TURNER	HANDGUN VAULT
3/20/2014 11:45:32AM	SHANNON TURNER	Released to Owner
Case Closed - Okay to release per DA's office		 Lance Monterose

End Chain of Custody for Item #: 1 related to Case # 14-005213

### Checkout Receipt

Will be generated by the system when evidence is released or transferred with a signature. A check-out receipt is an option at the time of the signature transaction. Regardless of whether the receipt is printed or not, the signature is made a part of the permanent, unalterable chain of custody and can be printed out at any time in the future if the need arises.



### San Diego Police Department

1401 Broadway  
San Diego, CA 92101-5729  
(619) 531-2846

### Property / Evidence Transfer Receipt

The following items were transferred to the undersigned by:  
SHANNON TURNER on August 22, 2012

Item Count	Item Barcode	Item Description	Case #
1	 200600035	Found Property BLUE ROADSTER 12 SPEED BIKE	12-001234

Reason: Case Closed

Comment: Showed WA DL TURNESG367KL

Signed by: Shannon Turner

8/22/12 8:59 am

## Notes Tab

The Notes tab has two options available. The first is an unlimited, free form text field used for notes or additional information about the item being viewed. The contents of this field are searchable via Query by Example, Query by Text, or when included in a query written by the Custom Query Manager. The field is unlimited. However, modifications to the field do not show the old and new values. They do show the date, time, user, and that the field was modified. This field can be disabled for agencies that prefer not to use it.

The Notes Log enables agencies to create specific categories for entries. The entries are date and time stamped and show the user login. Users can choose to have the entries displayed vertically or horizontally. Notes Log entries cannot be edited or deleted by anyone and are fully searchable using the Query by Notes Log feature under the file menu.

Barcode: 200601191 Has 1 requests Home Location: ...  
 Gun with broken grip Location Category: Box Location: ...  
 Current Location: RPDFV - FIREARMS VAULT 8/16/2018 4:45:25 PM STURNER Date Completed: / /

**Details**

Evidence Info | Notes | History | Retention | Documents

NotesLog

Add Entry Refresh  Split tab vertically

Date	Subject	Entry	Login
8/16/2018 8:15:18 PM	OPENED FOR VIEWING	DA and defense attorney were present to view the evidence	SYSTEM
8/16/2018 8:12:21 PM	E-MAIL	Email received from DA's office regarding case status.	SYSTEM
8/16/2018 8:11:22 PM	CHANGE NOTE	The case number was changed per request of the officer	SYSTEM

## Audit Trail

EvidenceOnQ automatically documents the date, time, and user in the unalterable audit trail for each record. The Audit Trail begins when the item is created. It shows any transfer, edit, or request made to that record. In addition to the function performed, it also contains the User Login and User Name of the user along with the hostname, IP address, and Windows user login.

Record History

Print Report...

Barcode: 200601191  
 Additional Desc: Gun with broken grip

Action Type	ActionTimestamp	SysTimestamp	User Login	User Name	Location Code	Location Name	Host Name	Host IP	Windows User
Request	8/16/2018 4:51:24 PM	8/16/2018 4:51:24 PM	SYSTEM	SYSTEM	09	LATENT PRIN	:::1	:::1	WebServer
Transfer	8/16/2018 4:45:25 PM	8/16/2018 4:45:26 PM	STURNER	SHANNON TURNER	RPDFV	FIREARMS VA	SHANNON-DELL	192.168.1.134	Shannon
Edit	8/16/2018 4:45:18 PM	8/16/2018 4:45:18 PM	STURNER	SHANNON TURNER			SHANNON-DELL	192.168.1.134	Shannon
Transfer	8/16/2018 4:45:08 PM	8/16/2018 4:45:09 PM	STURNER	SHANNON TURNER	Rem Temp Lock	REMOVED FF	SHANNON-DELL	192.168.1.134	Shannon
Create	8/16/2018 4:42:21 PM	8/16/2018 4:44:28 PM	STURNER	SHANNON TURNER	Temp Locker	Temporary L	SHANNON-DELL	192.168.1.134	Shannon

## History

The History tab displays a list of all the **changes** that have been made for a record. These fields are non-editable and view-only. For example, if a user changed the weight of the narcotics from 52.4 grams to 5.24 grams, it would show the person who made the changes, the date and time, the IP address, and the old and new values.

**Details**

Evidence Info | Notes | History | Retention | Documents

Record Created	Last Edited	Last Transferred	Initial Box
On: <b>07/01/2003</b> By: <b>SYSTEM</b>	On: <b>10/13/2011</b> By: <b>STURNER</b>	On: <b>09/21/2007</b> By: <b>SYSTEM</b> To: <b>Destroyed</b>	On: <b>__/__/__</b> By: To:

Double-click a EDIT history record to view details of the modifications

Computer Time	System Time	UserLogin	UserName	Method	Host Name	Host IP	Windows User
10/13/2011 10:03:16	10/13/2011 10:03:16	STURNER	SHANNON TURNER	Manual	SHANNON-W7	192.168.0.192	Shannon
10/13/2011 10:01:54	10/13/2011 10:01:54	SYSTEM	SYSTEM	Manual	SHANNON-W7	192.168.0.192	Shannon
06/20/2005 09:47:05	06/20/2005 09:47:05	SYS					
12/23/2003 10:36:57	12/23/2003 10:36:57	SYS					
09/08/2003 16:30:16	09/08/2003 16:30:16	SYS					

**Folder History Details**

**Barcode:** 9843347-A

**Casenumber** 11-123456

Modified Field	Old Value	New Value
Casenumber	6456456	11-123456
Caliber	.357 Magnum	.44
DefendantLast	JACOBSON	JEFFERSON
DefendantFirstName	JESSIE	JAMES

## Work List Management

The Worklist feature allows users to create and save a group of items with a common task. This may include evidence to be pulled for destruction, evidence waiting to go to the lab, items pending officer review, narcotics to be put into a court order, etc. This allows a user to work on a large project as time permits, continue to add to the ongoing work list. The list is recovered when the project is ready to be finished. This collection is associated with a user's login and is preserved even if the user logs off.

Worklist

Actions | New items

FolderBarcode	CaseNumber
103434	2019101
103435	2019101
103436	2019101
103437	20190224


## Unalterable Chain of Custody

Maintaining a solid chain of custody is one of the most important requirements in evidence management. EvidenceOnQ makes the chain of custody automated and unalterable. The system also generates a customized chain of custody report that makes trial preparation automated, accurate, and efficient.



### CHAIN OF CUSTODY

CASE #: 14-005213		EVENT DATE/TIME:
CASE TYPE: FELONY - VIOLENT		EVENT ADDRESS: 40 JADWIN
CASE OFFICER: Ansari, Afsoon (0414)		

 200600741	ITEM #: 1	FIREARMS
RECOVERY LOCATION: GLOVE COMPARTMENT OF VEHICLE		RECOVERED BY:
Aguirre, Rich (35)		

Date/Time	Logged in User	Item moved to this Location
3/20/2014 11:38:35AM	SHANNON TURNER	TEMP EVIDENCE LOCKERS
3/20/2014 11:40:48AM	SHANNON TURNER	Removed from Temp Lockers
3/20/2014 11:40:55AM	SHANNON TURNER	HANDGUN VAULT
3/20/2014 11:42:34AM	SHANNON TURNER	JODY BETRY
Follow Up - Released to detective for witness interview		
3/20/2014 11:44:46AM	SHANNON TURNER	RECEIVED NEW PORT RICHEY EVIDENCE
3/20/2014 11:45:00AM	SHANNON TURNER	HANDGUN VAULT
3/20/2014 11:45:32AM	SHANNON TURNER	Released to Owner
Case Closed - Okay to release per DA's office		 Lance Monterose

End Chain of Custody for Item #: 1	related to Case # 14-005213
------------------------------------	-----------------------------

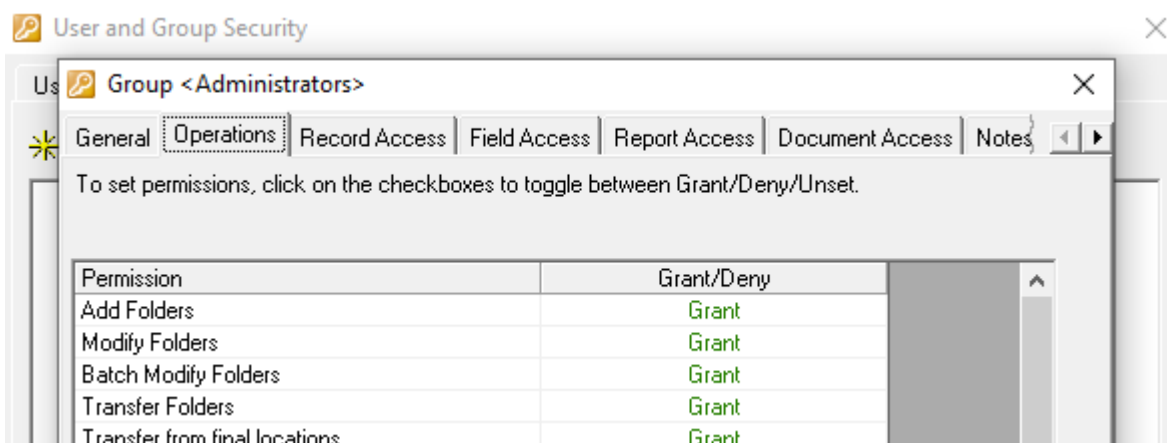


## Security and Policy Management

The EvidenceOnQ system requires a User ID and password to log in. A system administrator can create groups and to grant or deny permission to certain functionality to members of that group such as add, edit, transfer, etc. System policies can also be set for password expiration (or non-expiration), minimum password length, failed log-in attempts, strong passwords, and session control logout for inactivity.

Additional options for user groups include:

- Record Access – Agencies may choose to limit user groups from viewing records. Evidence in specific cases can be restricted if they are highly sensitive or confidential. Large agencies often create groups to restrict the view of evidence by the type of crime such as homicide, sexual assaults, etc.
- Field Access – Fields on the customized profile screen can be disabled for user groups. For example, the property and evidence room personnel may have fields they use for their purposes, but do not apply to patrol officers. If a field is restricted, the user group does not see the field.
- Report Access – Each user group is given access to specific reports. For example, officers may need access to the Property Report and Chain of Custody, where evidence personnel need to also access the Owner Letter and Auction Manifest.
- Notes Log Subjects – Agencies can determine what Notes Log subjects can be used and viewed by members of a group.
- Document Access – For agencies that have the eDocs module, user groups are given specific permission to view, upload, or download specific document types.



## Request Module

The Request Module gives officers the ability to submit a request to the evidence personnel for a variety of reasons. For example, a request may be submitted to pick up evidence for court, check out for viewing, or to authorize the release. Many agencies use this feature for their officers to authorize the disposition of property, eliminating the need for paper authorization to be maintained. The requests are permanently documented in the audit trail of each item.

Requests are immediately displayed on the Request Monitor. This provides the property room personnel the ability to view, sort and print “pull lists” to fill incoming requests. The Request Monitor can be configured to automatically refresh at set intervals and filter requests by certain criteria. The Request Monitor can be left running in a separate window while working in EvidenceOnQ or other applications.

The screenshot shows the 'Request Monitor' application window. At the top, there are window control buttons and a title bar. Below the title bar, there are buttons for 'Select All', 'Select', and 'Deselect'. The main area contains a table with the following columns: Select, Requestor Code, Requestor, Item Barcode, Current Location, Reason, Date, Required Date, Image Copy, Case Number, and Item #. The table lists five requests, all with a 'Date' of 04/26/2019 and a 'Required Date' of 04/26/2019. Below the table, there are several filter options: 'User Name', 'Current Location', 'Requestor' (with a dropdown menu showing 'COURT - Court', 'RTD - Ready to Dispose', and 'RTDDRUGS - Drugs Rea'), 'Required Date Range' (with 'From' and 'To' date pickers), 'Wait Date Range' (with 'From' and 'To' date pickers), and an 'Image Copy' checkbox. A yellow box highlights the 'Date Fields' section, which includes: F2: Clear value, F3: Today's date, and F4: Show calendar. On the right side, there are buttons for 'Print Setup', 'Preview', 'Print', 'Query', 'Delete', 'Reset', 'Apply', and 'Close'. At the bottom, there is a status bar that reads 'Monitoring Requests | Select options for filtering displayed requests | 28 requests currently displayed'.

Select	Requestor Code	Requestor	Item Barcode	Current Location	Reason	Date	Required Date	Image Copy	Case Number	Item #
<input type="checkbox"/>	COURT	Court	103415	Temporary Lockers (PD)	Court	04/26/2019	04/26/2019	<input type="checkbox"/>	20191113	1
<input type="checkbox"/>	COURT	Court	103416	Temporary Lockers (PD)	Court	04/26/2019	04/26/2019	<input type="checkbox"/>	20191113	2
<input type="checkbox"/>	COURT	Court	103417	BIN 05	Court	04/26/2019	04/26/2019	<input type="checkbox"/>	20190224	1
<input type="checkbox"/>	COURT	Court	103418	BIN 05	Court	04/26/2019	04/26/2019	<input type="checkbox"/>	20190224	2
<input type="checkbox"/>	COURT	Court	103419	BIN 05	Court	04/26/2019	04/26/2019	<input type="checkbox"/>	20190224	3

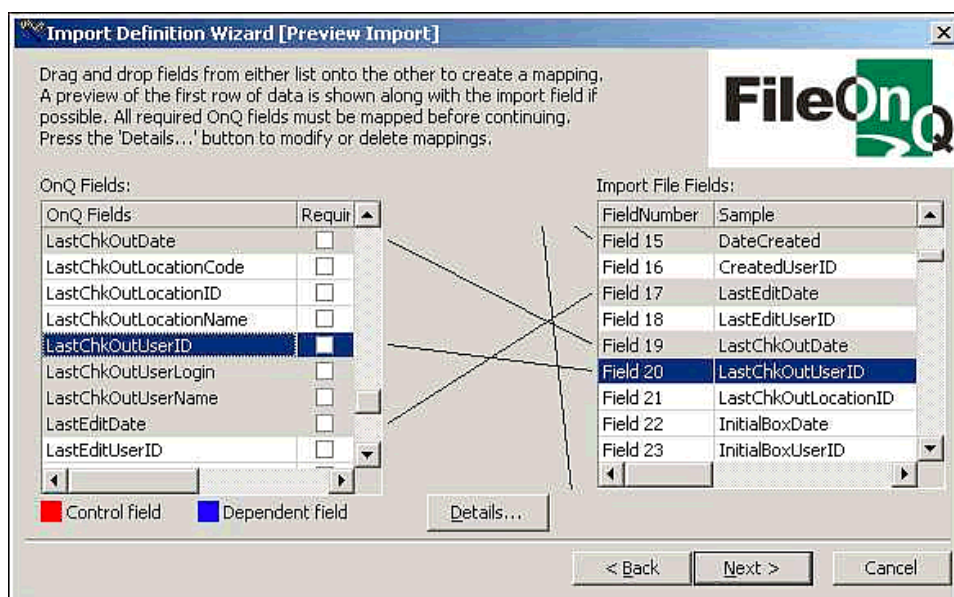
## Data Import, Export, Mapping and Validation

The FileOnQ import utility allows records to be imported from one or more different outside data sources. This greatly reduces the amount of manual entry required. EvidenceOnQ comes standard with a fully configurable import utility that can match field for field from any ASCII delimited data file, which is then imported into the EvidenceOnQ system. This can be done as an automated, scheduled import or an import on demand. The export utility allows users to create, save, and run any number of export routines. Any data can be exported from the FileOnQ database.

Imports can be for a one-time conversion, such as converting the data from an existing database or spreadsheet. Imports can also be for an on-going daily process for adding new or updating existing records within EvidenceOnQ from another third-party application. The import utility also provides field data type validation, duplicated record validation, and data validation.

If a customer chooses to set up an import process between FileOnQ and another third-party application, they would be responsible for providing an ASCII delimited file(s) containing the fields they wish to import into EvidenceOnQ. FileOnQ, Inc. will set up a mapping between EvidenceOnQ output file(s) utilizing the Import Definitions Wizard. All imports that are run, whether manual or unattended, produce a log file. Any records that fail the import validation process will be listed in the log. All import logs are stored with a date and time stamp and can be viewed through the Import Log View.

FileOnQ will assist your agency in setting up the import of your old data. It is the responsibility of the agency's IT division to perform the actual import and clean up the records. FileOnQ can perform this task if the agency does not have sufficient IT support or resources. An estimate for this data import can be provided and incorporated into your proposal.



## Retention Module

One of the biggest challenges in evidence management is to establish a system for reviewing when an item is available for destruction, return to owner, auction, etc. Purging items from the evidence room is a lengthy, laborious process. In most cases, evidence is held much longer than required because there is no system in place for routinely reviewing and purging evidence. The retention module enables agencies to set a review or disposal date on evidence by their policies or statutes. When the appropriate retention type is selected, EvidenceOnQ will assign the correct review date. The review date can be modified throughout the process if certain cases are delayed in court or are pending appeal.



The screenshot shows a software window titled "Retention Code Maintenance". Below the title bar, there is a text prompt: "Select a retention code and set its properties in the detail section:". Below this prompt is a table with the following data:

Code	Date	Category	Years	Months	Days	Description
Non Violent	Creation	Felony	1	6	0	Felony crimes
Found	Creation	Found Property	0	0	90	Found Property
Misd.	Creation	Misdemeanor	1	0	00	Misdemeanor Offenses
Safekeeping	Creation	Safekeeping	0	0	30	Property for Safekeeping
Sex Offense	Creation	Sexual Offenses	3	0	0	Approval by supervisor or

## Batch Update

EvidenceOnQ allows for data to be changed or updated in a group. For example, if evidence is logged under the wrong case number, the items can be queried into a group, and the case number changed all at once. Any field or combination of fields on the profile screen can be changed using the Batch Update feature. Additionally, the retention code, review date, or retention comments can also be changed using this feature.

## Inventory Module

The inventory feature will allow inventory projects to be started, paused, and started again, leaving the project open until you have time to finish it. You can also inventory multiple locations in one project. It also enables any number of separate inventory projects to be open and conducted at the same time. An inventory history will be maintained for each item that will document how many times it was inventoried and the status of the item at the time of the inventory.

EvidenceOnQ will maintain a complete history of how many inventories were completed when they were completed and the disposition of each item in each inventory. Notes and comments may be added to the inventory, allowing users to document any corrections or clarifications needed. All comments are date and time stamped to preserve the integrity of the inventory and the comments themselves. Comments may also be added in batch to items within an inventory. The detailed inventory report shows all specific details about the report, the items missing, all items accounted for in the inventory, and the items that were found in the inventory that do not belong in that location.

Detailed Inventory Report

Job Name: Kern County Sheriff Shelf 3  
Created by S TURNER on 4/16/2014 4:10:39PM  
Closed by S TURNER on 4/16/2014 4:12:18PM  
Comments for the job (if any):  
(04/16/2014 04:10:57 PM) S TURNER: Assisted by Julia and George

---

**The following items were not scanned during the inventory**

What is missing

Item 200600142 was transferred to S3 at 4/16/2014 4:08:39PM	Case#: 14-0001	Item Type: DRUGS	Desc: PLASTIC BAGGIE OF WHITE POWDER SUBSTA
Item 200600144 was transferred to S3 at 4/16/2014 4:08:39PM	Case#: 14-0001	Item Type: DRUGS	Desc: PLASTIC BAGGIE OF WHITE POWDER

Exceptions: 2

---

**Location: S3**

The following items were present at this location during the inventory:

Item 200600112 - 4/16/2014 4:11:31PM
Item 200600115 - 4/16/2014 4:11:32PM
Item 200600117 - 4/16/2014 4:11:33PM
Item 200600123 - 4/16/2014 4:11:34PM
Item 200600125 - 4/16/2014 4:11:34PM
Item 200600128 - 4/16/2014 4:11:36PM
Item 200600133 - 4/16/2014 4:11:37PM
Item 200600134 - 4/16/2014 4:11:37PM
Item 200600138 - 4/16/2014 4:11:37PM
Item 200600140 - 4/16/2014 4:11:38PM

Items accounted for: 10

All items accounted for

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The following items were scanned at this location but are exceptions which are supposed to be at the indicated locations:

Item 200600099 was transferred to AUCTIONED at 4/15/2014 6:43:54PM	Case#: 14-003321	Item Type: DRUGS	Desc: plastic baggie of green vegetable matter
Item 200600100 was transferred to S4 at 4/15/2014 3:42:04PM	Case#: 14-1234567	Item Type: DRUGS	
Item 200600101 was transferred to S4 at 4/15/2014 3:42:04PM	Case#: 14-1234567	Item Type: DRUGS	

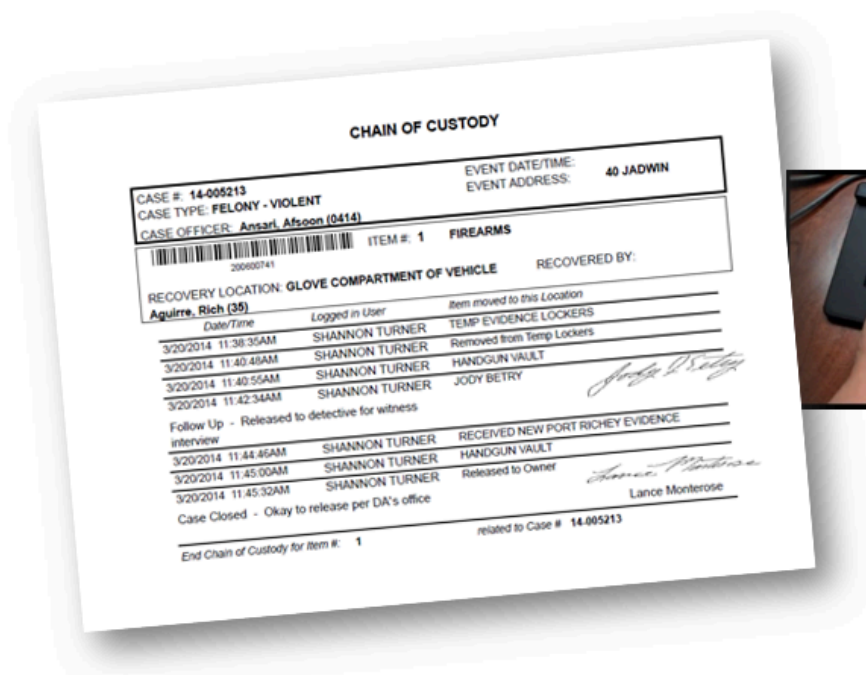
Exceptions: 3

What should not be there



## ELECTRONIC SIGNATURE CAPTURE

# FEATURES



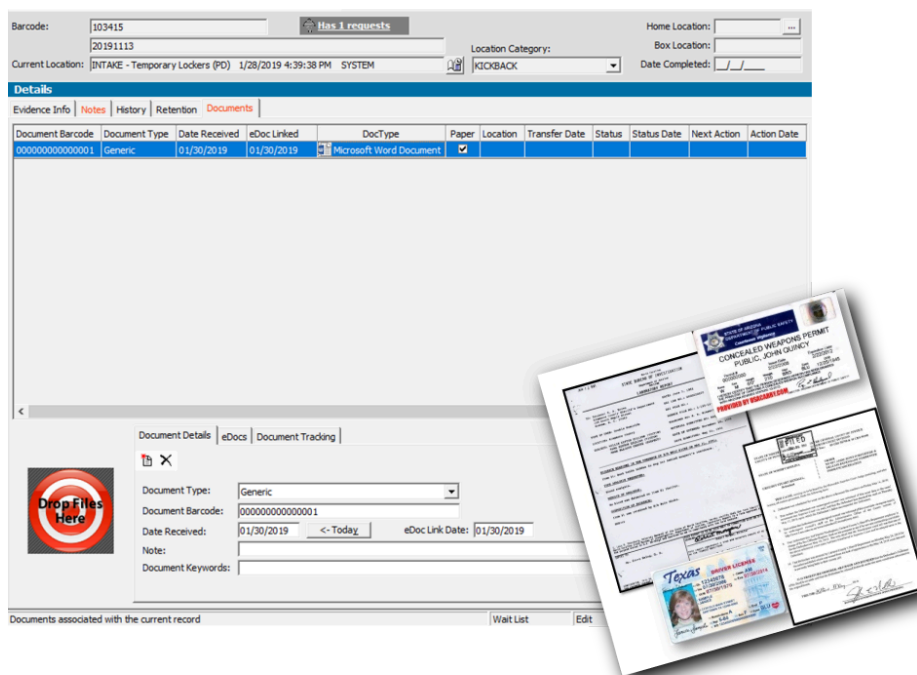
The EvidenceOnQ Signature Capture Module provides the ability to obtain digital signatures when transferring evidence. This allows a department to eliminate the need to hand-write receipts or maintain signatures on paper for the chain of custody. When using the signature capture module, only one signature is required regardless of how many items are being released. The system captures the digital signature and stores it as part of the unalterable chain of custody. A customized checkout receipt may be printed out at the end of each transaction if required.

# eDocs Module

eDocs eliminates the need to make copies and store documents related to evidence.

- Owner documentation
- Crime lab reports
- Owner's driver's license or ID
- Court orders
- Existing chain of custody paper documentation

eDocs utilizes a designated, shared folder or SQL database on the user's network to store these electronic documents. The user can view the documents by either double-clicking a document icon or the View button. The eDocs system communicates with the Windows OS telling it which application to open to view that document, such as Word, Adobe, Media Player, etc. Any type of document can be opened if the user has the proper application and permission. Document types and keywords are fully searchable in combination with data on the profile page.



## OPTIONAL - EVIDENCEONQ WEBVIEW

# Features & Functionality

The screenshot shows the 'New Item' page in the FileOnQ WebView. At the top, there is a navigation bar with 'MyWebView', 'New Evidence', 'Find', 'Worklist', 'Reports', 'Options', and 'Logout'. Below the navigation bar, there are buttons for 'Save Item', 'Add Item to Incident', a dropdown menu for 'Evidence', and 'Print BARCODE label for this item'. The main form area contains fields for 'Barcode', 'Case Number', 'Current Location' (with a value of 'Temporary Lockers (PD) 4/22/2019 9:02:31 AM SYSTEM'), and 'Home Location'. Below these fields are tabs for 'Evidence Info' and 'Notes'. The 'Evidence Info' tab is active and contains several input fields: 'Case Number' (with an 'Item #' field), 'Incident Type', 'Incident Date' (with a date picker), 'Offense', 'Category', 'Court Division', 'Case Officer', 'Collected By', 'Collected Date' (with a date picker and 'Collected Time' field), 'Collected Address', 'Collected Location', 'County Case No', and checkboxes for 'Suspect is Owner', 'Search Warrant', 'Asset Seizure', 'Juvenile Suspect', and 'Additional Suspects in Notes'.

WebView is built for the end-user to manage evidence quickly and easily in a dashboard type atmosphere. Data can be entered in one location and then print the barcode labels at a later time and location. The system will automatically keep new items in a worklist cue for ease of printing labels and reports without having to go back and query individual cases and items. Edits may be made to records based on user permissions. Users can also generate forms and reports such as an Evidence Report or Chain of Custody to eliminate hand-written documentation. These forms and reports may be printed or saved as a Word or PDF document. Permissions to access specific forms and reports may be limited per user group through the administrative tools in the desktop client.

Users can submit requests associated with evidence. This may include an authorization, an action request, or any other communication that would have been submitted through a phone call, email, or request form. When a user logs in to WebView, their pending requests are listed. When the request is fulfilled, it will be eliminated from the pending requests list. WebView also works in conjunction with the optional eDocs modules to allow users to upload and view electronic files. This feature is especially useful at crime scenes, search warrants, or from the officers' vehicles and remote locations.

## OPTIONAL - ACTIVE DIRECTORY PORTAL

# FEATURES

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FileOnQ Active Directory Portal allows end-users to sign-in to EvidenceOnQ with their existing Active Directory (AD) passwords which they use every day to log in to Windows. Each EvidenceOnQ application can specify whether the user can simply sign-in by launching the desktop application (single sign-on) or whether they need to re-enter their AD credentials for additional security.

Security and permissions for functionality are configured using AD groups in the FileOnQ Portal Administrator tool.

The key benefits of AD integration include lower end-user frustration with passwords; fewer password reset requests and centralized management of EvidenceOnQ privileges which makes it easy to handle new employees or officers who leave the department.

# FILEONQ SOLUTIONS'

## PRICING & COSTS

FileOnQ Solution for Mebane Police Department	Your Price	Subtotal
<b>EvidenceOnQ Evidence Management System</b>	\$37,051.33	\$37,051.33
EvidenceOnQ Server Database		\$18,454.07
<a href="#">Customized Profile</a>		Discount(-
<a href="#">Barcode Tracking</a>		\$18,597.26)
<a href="#">Searching &amp; Queries</a>		
<a href="#">Custom Reports</a>		
<a href="#">Unalterable Chain of Custody</a>		
<a href="#">Retention Module</a>		
<a href="#">Inventory Module</a>		
<a href="#">Electronic Signature Capture</a>		
<a href="#">eDocs (Gifted)</a>		
(8) Customizable Crystal Reports		
(1) Customized Audit Compliance Report (Gifted)		
(3) EvidenceOnQ Concurrent Client Seat Licenses		

### Professional Services

- 1 - Application Profiling and Configuration
- 1 Day - Software Installation
- 2 Day - On-site Training & Business Process Re-Engineering /Consulting

### Equipment

- (1) Symbol LS4278 Bluetooth Barcode Scanner
- (2) Topaz Signature Pads
- (2) Zebra Barcode Label Printers ZD420 TT
- (1) Zebra 4.33" Ribbon Cartridges - 6 Cartridges per case
- (1) 4"x2" Polypro 1000 Labels - 4 rolls per case

### Annual Maintenance and Support

The first 12 months of maintenance and support and training are all provided with the purchase of your FileOnQ system. After the first 12 months maintenance and support will be billed at **\$3,234.33** annually.

<b>Total</b>		<b>\$18,454.07</b>
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Your proposed investment for the solutions and products selected and outlined above is:

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**\$18,454.07**

*This quote does not include sales tax and is valid until December 31, 2021. A 50% down-payment is due at the time of order - the remaining will be due after installation and training is complete.*

## MAINTENANCE AND SUPPORT

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At FileOnQ we are committed to doing everything necessary to ensure you are completely satisfied with our product and support. The first 12 months of unlimited maintenance, support, and training are provided with the purchase of your EvidenceOnQ System. This includes:

- **Free in-version upgrades**
- **Unlimited telephone and online support**
- **Unlimited training via telephone and web-conference**
- **Bug fixes or new build patches**
- **Loaner hardware if needed**
- **Assistance with developing new policies and procedures**
- **Access to the EvidenceOnQ website with training videos and tools**

With annual maintenance and support, our customers receive in-version improvements and enhancements free of charge.

When a support need arises, you will appreciate our direct line via our 800 number as well as our live On-Line Web Support Meeting Center.

Email: [Support@fileonq.com](mailto:Support@fileonq.com)

Phone: 1-800-603-6802 select 4 from the menu

Agencies that maintain annual maintenance and support contracts are routinely provided with deep discounts for new products being introduced.

**EvidenceOnQ customers overwhelmingly agree that the ongoing maintenance, support, and training improve their system use and departmental productivity to the extent that the investment pays for itself several times over.**

## SYSTEM REQUIREMENTS

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### Hardware

Pentium 4 or higher (Xeon [Core i3/i5/i7] recommended)  
2 GB RAM (8 GB recommended)  
2 GB disk space  
SVGA display (1024x768 or higher)

### SQL Server

SQL Server 2012  
SQL Server 2014  
SQL Server 2016  
SQL Server 2017  
Either Express, Standard or higher editions

### Operating System

The following editions of Windows Server are supported:  
Windows Server 2012  
Windows Server 2012 R2  
Windows Server 2016

### Network

Windows Networking using TCP/IP, UNC  
Name resolution (DNS)  
Shared UNC path for shared settings

### Other

PDF viewer software (such as Adobe Reader)

### If adding WebView or MobileOnQ

Internet Information Services (IIS) 7 or higher  
.NET Framework 4.0  
Windows Networking using TCP/IP

### If adding eDocs

Disc Space dependent on the number and content of documents stored

### If adding DigitalOnQ

8 GB RAM (12 GB recommended)  
Disc Space dependent on the number and content of documents stored  
SQL 2008R2 or above Required

## DESKTOP

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### Software

The following versions of Microsoft Windows are supported:  
Windows 7  
Windows 8.0  
Windows 8.1  
Windows 10  
.NET Framework 4.0  
Internet Explorer 8.0 or higher  
PDF viewer software (such as Adobe Reader)

### Hardware

Pentium 4 or higher  
1 GB RAM (4 GB recommended)  
400 MB disk space  
SVGA display (1024x768 or higher)  
**If adding MobileOnQ**  
Windows Mobile Device Center (on PC with docking station)  
**If adding DigitalOnQ**  
4 GB RAM (8 GB recommended)  
.NET Framework 4.5


# GET STARTED WITH YOUR IMPLEMENTATION

# YOUR NEXT STEPS

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1. Please REVIEW this Proposal.
2. On the PRICING & COSTS pages check any additional options you may be interested in.
3. If you have any questions at all, please let us know. We are happy to clarify, sort things out, and find the best way to work together.
4. Once you are ready to move forward, please click the 'initial' button below to express your interest in this offer. **SIGNING WITH YOUR INITIALS BELOW IS NOT AN AGREEMENT TO PURCHASE.**
5. Once we receive notification of your interest, we'll contact you shortly to talk about next steps to getting your Implementation rolling.
6. If you'd like to speak to us by phone, don't hesitate to call.

## I AM INTERESTED IN THIS EVIDENCEONQ PROPOSAL. ENTER INITIALS BELOW.

 INITIAL  
\_\_\_\_\_  
Jeremiah Richardson

Jeremiah Richardson  
Mebane Police Department

**ENTERING INITIALS ABOVE IS NOT AN AGREEMENT TO PURCHASE. IT ONLY EXPRESSES YOUR INTEREST IN THIS DigitalOnQ proposal DISCOUNT OFFER AND NOTIFIES YOUR CUSTOMER SUCCESS TEAM OF YOUR INTEREST.**

**PREPARED BY**  
Ramona Malyon

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[RamonaM@FileOnQ.com](mailto:RamonaM@FileOnQ.com)  
<http://fileonq.com>



# AGENDA ITEM #4F

SUB 21-01

*Reapproval* Final Subdivision Plat

Bowman Village, Phase N1

*Original Approvals 01/04/21 & 04/05.21*

Meeting Date July 12, 2021

Presenter Cy Stober, Development Director

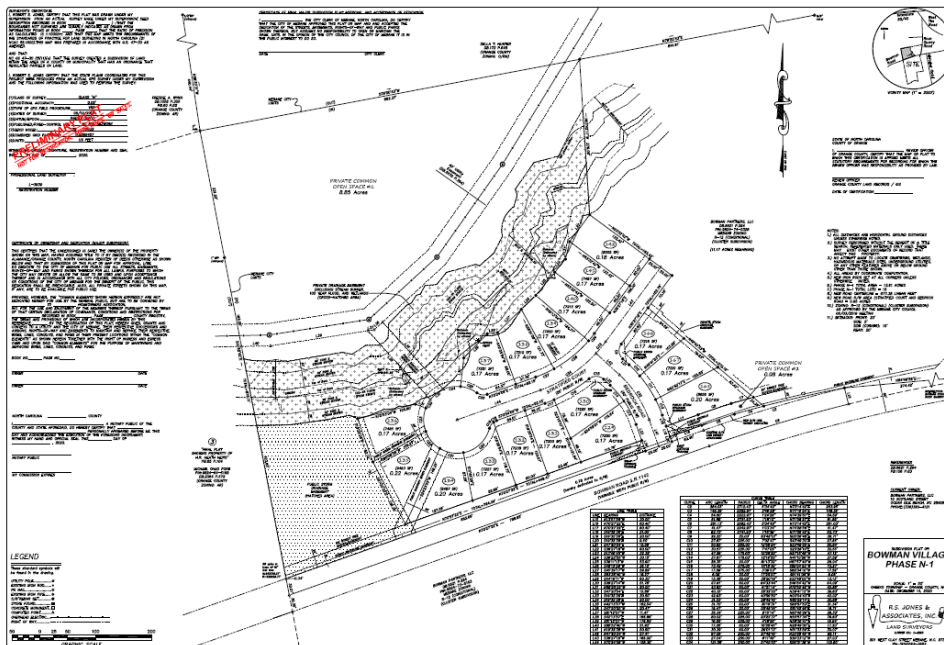
### Applicant

Bowman Partners, LLC  
15 Scotland Street  
Ocean Isle Beach, NC  
28469

### Public Hearing

Yes  No

## Final Plat



### Property

Bowman Village,  
Orange County

GPINs  
9824745328

### Proposed Zoning

N/A

### Current Zoning

R-12 (CD)

### Size

+/-13.61 ac

### Surrounding Zoning

R-12(CD) and  
O/RM & AR  
(Orange County)

### Surrounding Land Uses

Single-Family  
Residential, Vacant

### Utilities

Extended at  
developer's  
expense.

### Floodplain

Yes

### Watershed

No

### City Limits

Yes

## Summary



Bowman Partners, LLC, is requesting approval of the Final Plat for Phase N1 of the Bowman Village Subdivision (approved for conditional rezoning as a cluster subdivision by City Council 06/03/19). The Final Plat will include a total area of +/-13.61 acres featuring 15 single-family lots of +/- 3.01 acres, +/- 9.65 acres of open space (inc. a stormwater pond), and +/- 0.95 acres and +/- 677.38 linear feet of dedicated right of way.

The Technical Review Committee (TRC) has reviewed the Final Plat and the applicant has revised the plan to reflect comments. All infrastructure must be completed and approved to meet the City of Mebane specifications. All infrastructure not completed shall be bonded or a letter of credit provided prior to recordation.

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### **Financial Impact**

The developer has extended utilities at his own expense.

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### **Recommendation**

This plat was originally approved by the City Council January 4, 2021. It was reapproved at the April 5, 2021, City Council meeting. Site development is delayed due to significant wet weather.

Staff recommends approval of the Final Plat.

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### **Suggested Motion**

Motion to approve the final plat as presented.

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### **Attachments**

1. Final Plat



**SURVEYOR'S CERTIFICATE**  
 I, ROBERT S. JONES, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

AND THAT:  
 NC GS 47-30 (f)(1)(c) THAT THE SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

I, ROBERT S. JONES CERTIFY THAT THE STATE PLANE COORDINATES FOR THIS PROJECT WERE PRODUCED FROM AN ACTUAL GPS SURVEY UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

(1) CLASS OF SURVEY: CLASS "A"  
 (2) POSITIONAL ACCURACY: 0.08'  
 (3) TYPE OF GPS FIELD PROCEDURE: VRS  
 (4) DATE OF SURVEY: 06/12/2020  
 (5) DATUM/EPOCH: NAD 83 / 2011  
 (6) PUBLISHED/FIXED-CONTROL: NC STATE NETWORK  
 (7) GEIOD MODEL: 28 CONUS  
 (8) COMBINED GRID: 09999427  
 (9) UNITS: US FEET

WITH ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL OF THE SURVEYOR ON 06/12/2020.

PROFESSIONAL LAND SURVEYOR  
 L-3939  
 REGISTRATION NUMBER

**CERTIFICATE OF OWNERSHIP AND DEDICATION (MAJOR SUBDIVISION)**  
 THIS CERTIFIES THAT THE UNDERSIGNED IS (ARE) THE OWNER(S) OF THE PROPERTY SHOWN ON THIS MAP, HAVING ACQUIRED TITLE TO IT BY DEED(S) RECORDED IN THE ALAMANCE/ORANGE COUNTY, NORTH CAROLINA REGISTER OF DEEDS OTHERWISE AS SHOWN BELOW AND THAT BY SUBMISSION OF THIS PLAT OR MAP FOR APPROVAL, I/WE DO DEDICATE TO THE CITY OF MEBANE FOR PUBLIC USE ALL STREETS, EASEMENTS, RIGHTS-OF-WAY AND PARKS SHOWN THEREON FOR ALL LAWFUL PURPOSES TO WHICH THE CITY MAY DEVOTE OR ALLOW THE SAME TO BE USED AND UPON ACCEPTANCE THEREOF AND IN ACCORDANCE WITH ALL CITY POLICIES, ORDINANCES AND REGULATIONS OR CONDITIONS OF THE CITY OF MEBANE FOR THE BENEFIT OF THE PUBLIC, THIS DEDICATION SHALL BE IRREVOCABLE. ALSO, ALL PRIVATE STREETS SHOWN ON THIS MAP, IF ANY, ARE TO BE AVAILABLE FOR PUBLIC USE.

PROVIDED, HOWEVER, THE "COMMON ELEMENTS" SHOWN HEREON EXPRESSLY ARE NOT DEDICATED HEREBY FOR USE BY THE GENERAL PUBLIC, BUT ARE TO BE CONVEYED BY TO HOMEOWNERS ASSOCIATION, INC. FOR THE USE AND ENJOYMENT OF THE MEMBERS THEREOF PURSUANT TO THE TERMS OF THAT CERTAIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR \_\_\_\_\_ RECORDED IN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_ COUNTY REGISTRY, THE TERMS AND PROVISIONS OF WHICH ARE INCORPORATED HEREIN BY THIS REFERENCE. BY THE RECORDATION OF THIS PLAT, HEREBY GIVES, GRANTS AND CONVEYS TO A UTILITY AND THE CITY OF MEBANE, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, RIGHTS-OF-WAY AND EASEMENTS TO MAINTAIN AND SERVICE THEIR RESPECTIVE WIRES, LINES, CONDUITS, AND PIPES IN THEIR PRESENT LOCATIONS WITHIN THE "COMMON ELEMENTS" AS SHOWN HEREON TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER AND UPON SAID "COMMON ELEMENTS" FOR THE PURPOSE OF MAINTAINING AND SERVICING WIRES, LINES, CONDUITS, AND PIPES.

BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

OWNER \_\_\_\_\_ DATE \_\_\_\_\_  
 OWNER \_\_\_\_\_ DATE \_\_\_\_\_

NORTH CAROLINA \_\_\_\_\_ COUNTY \_\_\_\_\_

I, \_\_\_\_\_ A NOTARY PUBLIC OF THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT I PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT. WITNESS MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

NOTARY PUBLIC  
 MICHAEL CHAD POPE  
 PIN: 9824-64-5162  
 DB.2064 P.572  
 (ORANGE COUNTY ZONING: AR)

**CERTIFICATE OF FINAL MAJOR SUBDIVISION PLAT APPROVAL AND ACCEPTANCE OF DEDICATION**  
 I, \_\_\_\_\_ THE CITY CLERK OF MEBANE, NORTH CAROLINA, DO CERTIFY THAT THE CITY OF MEBANE APPROVED THIS PLAT OR MAP AND ACCEPTED THE DEDICATION OF THE STREETS, EASEMENTS, RIGHTS-OF-WAY AND PUBLIC PARKS SHOWN THEREON, BUT ASSUMES NO RESPONSIBILITY TO OPEN OR MAINTAIN THE SAME, UNTIL IN THE OPINION OF THE CITY COUNCIL OF THE CITY OF MEBANE IT IS IN THE PUBLIC INTEREST TO DO SO.

DATE \_\_\_\_\_ CITY CLERK  
 DELLA T. HUNTER  
 DB.172 P.645  
 (ORANGE COUNTY ZONING: O/RM)

**LEGEND**  
 These standard symbols will be found in the drawing.  
 UTILITY POLE.....  
 EXISTING IRON ROD.....  
 PK NAIL.....  
 EXISTING IRON PIPE.....  
 5/8" REBAR SET.....  
 STONE FOUND.....  
 CONCRETE MONUMENT.....  
 COMPUTED POINT.....  
 OVERHEAD ELECTRIC.....  
 RIGHT OF WAY.....

**GRAPHIC SCALE**  
 0 25 50 100 200

**REFERENCES**  
 DB.6621 P.294  
 PB.106 P.83

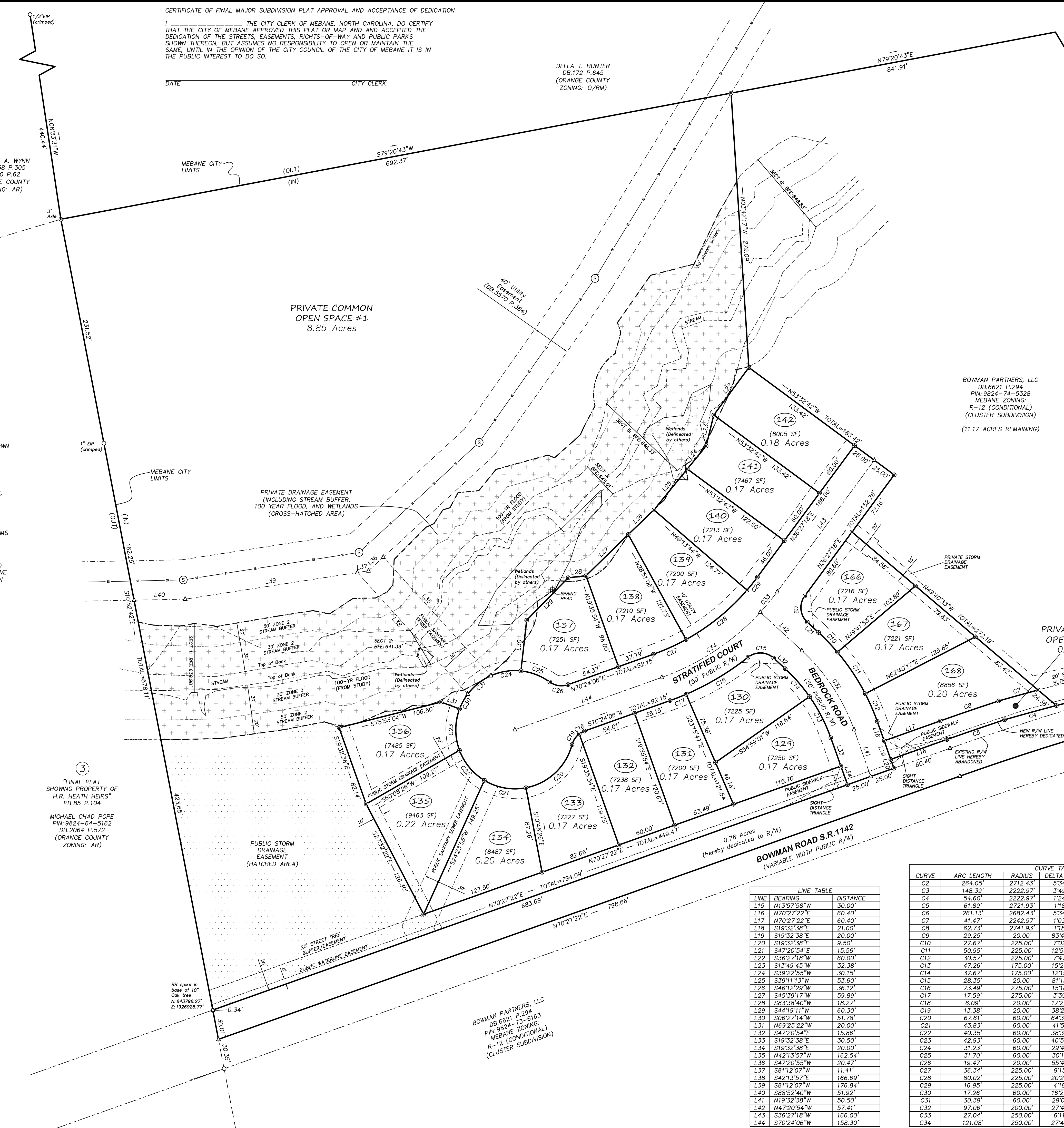
**CURRENT OWNER:**  
 BOWMAN PARTNERS, LLC  
 15 SCOTLAND STREET  
 OCEAN ISLE BEACH, NC 28469  
 PHONE: (336)380-4121

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**LINE TABLE**

LINE	BEARING	DISTANCE
L15	N135°58'W	30.00'
L16	N70°27'22"E	60.40'
L17	N70°27'22"E	60.40'
L18	S19°32'38"E	21.00'
L19	S19°32'38"E	20.00'
L20	S19°32'38"E	9.50'
L21	S47°20'54"E	15.56'
L22	S36°27'18"W	60.00'
L23	S13°49'45"W	32.38'
L24	S39°22'55"W	30.15'
L25	S39°11'13"W	53.60'
L26	S46°12'29"W	36.12'
L27	S45°39'17"W	59.89'
L28	S8°38'40"W	18.27'
L29	S44°19'11"W	60.30'
L30	S06°27'14"W	51.78'
L31	N69°25'22"W	20.00'
L32	S47°20'54"E	15.86'
L33	S19°32'38"E	30.50'
L34	S19°32'38"E	20.00'
L35	N42°13'57"W	162.54'
L36	S47°20'55"W	20.47'
L37	S81°12'07"W	11.41'
L38	S42°13'57"E	166.69'
L39	S81°12'07"W	176.84'
L40	S88°32'40"W	51.92'
L41	N19°32'38"W	50.50'
L42	N47°20'54"W	57.41'
L43	S36°27'18"W	166.00'
L44	S70°24'06"W	158.30'

**CURVE TABLE**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C2	264.05'	2712.43'	534.40°	N73°14'42"E	263.95'
C3	148.39'	2228.97'	349.28°	N7°16'54"E	148.36'
C4	54.60'	2222.97'	124.28°	N74°39'57"E	54.59'
C5	61.89'	2721.93'	178.10°	N71°06'27"E	61.89'
C6	261.13'	2682.43'	534.40°	N73°14'42"E	261.03'
C7	41.47'	2242.97'	103.34°	N74°28'56"E	41.47'
C8	62.73'	2741.93'	178.39°	N71°06'27"E	62.73'
C9	29.25'	20.00'	12°19'56"	S05°26'40"E	26.71'
C10	27.67'	225.00'	7°02'42"	S43°49'30"E	27.65'
C11	50.95'	225.00'	12°58'24"	S33°48'55"E	50.84'
C12	30.57'	225.00'	7°47'05"	S23°26'10"E	30.55'
C13	47.26'	175.00'	15°28'22"	N27°16'48"W	47.12'
C14	37.67'	175.00'	12°19'56"	N41°10'56"W	37.59'
C15	28.35'	20.00'	8°13'32"	N87°57'40"W	26.04'
C16	73.49'	275.00'	15°18'39"	S59°04'53"W	73.27'
C17	17.59'	275.00'	3°39'53"	S68°34'10"W	17.59'
C18	6.09'	20.00'	17°25'57"	S61°41'08"W	6.06'
C19	13.38'	20.00'	39°20'19"	S33°48'00"W	13.13'
C20	67.61'	60.00'	64°33'44"	S46°54'42"W	64.09'
C21	43.83'	60.00'	41°51'14"	N79°52'49"W	42.86'
C22	40.35'	60.00'	38°32'00"	N39°41'12"W	39.60'
C23	42.93'	60.00'	40°59'50"	N00°04'43"E	42.02'
C24	31.23'	60.00'	29°49'16"	N80°59'14"E	30.88'
C25	31.70'	60.00'	30°18'57"	S68°57'53"E	31.34'
C26	19.47'	20.00'	55°46'16"	S81°42'46"W	18.71'
C27	36.34'	225.00'	9°15'14"	N65°46'29"E	36.30'
C28	80.02'	225.00'	20°22'37"	N50°57'34"E	79.60'
C29	16.95'	225.00'	4°18'58"	N38°36'47"E	16.94'
C30	17.26'	60.00'	16°28'45"	N28°49'00"E	17.20'
C31	30.39'	60.00'	29°01'13"	N51°33'59"E	30.07'
C32	97.06'	200.00'	27°48'16"	N33°26'46"W	96.11'
C33	27.04'	250.00'	6°11'48"	S39°33'12"W	27.03'
C34	121.08'	250.00'	27°45'00"	S56°31'36"W	119.90'

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 STONE FOUND.....  
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 COMPUTED POINT.....  
 OVERHEAD ELECTRIC.....  
 RIGHT OF WAY.....

**STATE OF NORTH CAROLINA**  
 COUNTY OF ORANGE

REVIEW OFFICER  
 ORANGE COUNTY LAND RECORDS / GIS  
 DATE OF CERTIFICATION: \_\_\_\_\_

**NOTES:**  
 1.) ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.  
 2.) SURVEY PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH. REFERENCED MATERIALS ONLY USED. THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT AFFECT THIS PROPERTY.  
 3.) NO ATTEMPT MADE TO LOCATE CEMETERIES, WETLANDS, HAZARDOUS MATERIALS SITES, UNDERGROUND UTILITIES, OR ANY OTHER FEATURES ABOVE OR BELOW GROUND OTHER THAN THOSE SHOWN.  
 4.) ALL AREAS BY COORDINATE COMPUTATION.  
 5.) NEW IRON RODS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.  
 6.) PHASE N-1 TOTAL AREA = 13.61 ACRES  
 7.) PHASE N-1 TOTAL LOTS = 15  
 8.) NEW ROAD CENTERLINE = 677.38 LINEAR FEET  
 9.) NEW ROAD R/W AREA (STRATIFIED COURT AND BEDROCK ROAD) = 0.95 ACRES  
 10.) ZONING: R-12 (CONDITIONAL) (CLUSTER SUBDIVISION) AS APPROVED BY THE MEBANE CITY COUNCIL 06/03/2019 MEETING  
 11.) SETBACKS: FRONT: 20' SIDE: 5' REAR: 20'

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## AGENDA ITEM #4G

### Financing proposal for Vehicles and Apparatus

#### Meeting Date

July 12, 2021

#### Presenter

Daphna Schwartz, Finance Director

#### Public Hearing

Yes  No

#### Summary

In response to a request for proposals, the City has received bids for financing the purchase of a fire engine, side-arm garbage truck, eight police vehicles and four pickup trucks for the utilities department. Staff is making a recommendation based on these proposals, and the attached resolution approving the financing terms requires City Council approval.

#### Background

On June 8, 2021, the City issued a request for proposals for installment financing for the purchase of the vehicles and apparatus. We received proposals from three institutions as shown below. The rates presented are representative of the current rate environment, and the staff recommends approval. The financing will result in planned annual debt payments, and no tax rate increase is expected.

#### Financial Impact

Proposals requested were for 5-year or 10-year bank qualified (BQ) and non-bank qualified (NBQ) terms with level principal payments. Truist (formerly BB&T) offered the lowest non-bank qualified rate with no additional fees. Due to the uncertainty of the total borrowing for the revenue bonds it is best to go with a non-bank qualified rate. The bank qualified rate is only available to organizations that plan to issue less than \$10,000,000 in debt during the calendar year. Therefore, the recommendation is to go with Truist's 5-year non-bank qualified proposal. The Truist proposal includes no prepayment penalty for the 5-year term.

Financing Amount		\$148,800,000						
Financial Institution	5-year BQ	Total Principal and Interest	5-year NBQ	Total Principal and Interest	10-year BQ	Total Principal and Interest	10-year NBQ	Total Principal and Interest
Truist (BB&T)	1.02%	\$ 1,530,056.87	1.07%	\$ 1,532,134.80	1.65%	\$ 1,620,250.13	1.75%	\$ 1,628,479.60
Bank Funding, LLC	1.29%	\$ 1,541,295.84	N/A		N/A		N/A	
Signature Public Funding	1.305%	\$ 1,541,921.52	N/A		1.615%	\$ 1,617,375.57	N/A	

Debt payments would begin in February 2022, with one payment (\$153,213.48) occurring during the current FY21-22 budget. Future payments for FY23-26 will be \$306,426.96 with the final payment of \$153,213.48 in FY26-27. No tax or rate increase is expected to result from the debt.

#### Recommendation

Staff recommends adoption of the resolution approving the issuance and terms of the financing agreement.

---

**Suggested Motion**

Motion to adopt the attached resolution approving the issuance and financing agreement with Truist (BB&T).

---

**Attachments**

1. Resolution approving financing terms

## **Resolution**

### **Resolution Authorizing Installment Purchasing Contract with Truist Bank for the Purchase of a Fire Truck, Sanitation Truck, Eight Police Vehicles and Four Pickup Trucks**

**WHEREAS:** The City of Mebane (the “City”) has previously determined to purchase a fire truck, sanitation truck, eight police vehicles and four pickup trucks, (the “Purchase”), and the Finance Officer has now presented a proposal for the financing of such Purchase.

#### **BE IT THEREFORE RESOLVED, as follows:**

1. The City hereby determines to finance the Purchase through Truist Bank (“Truist”), in accordance with the proposal dated June 25, 2021. The amount financed shall not exceed \$1,488,000, the annual interest rate shall not exceed 1.07%, and the financing term shall not exceed five (5) years from closing.

2. All financing contracts and all related documents for the closing of the financing (the “Financing Documents”) shall be consistent with the foregoing terms. All officers and employees of the City are hereby authorized and directed to execute and deliver any Financing Documents, and to take all such further action as they may consider necessary or desirable, to carry out the financing of the Purchase as contemplated by the proposal and this resolution. The Financing Documents shall include a Financing Agreement and a Project Fund Agreement as Truist may request.

3. The Finance Officer is hereby authorized and directed to hold executed copies of the Financing Documents until the conditions for the delivery of the Financing Documents have been completed to such officer's satisfaction. The Finance Officer is authorized to approve changes to any Financing Documents previously signed by City officers or employees, provided that such changes shall not substantially alter the intent of such documents or certificates from the intent expressed in the forms executed by such officers. The Financing Documents shall be in such final forms as the Finance Officer shall approve, with the Finance Officer’s release of any Financing Document for delivery constituting conclusive evidence of such officer's final approval of the Document’s final form.

4. The City hereby designates its obligations to make principal and interest payments under the Financing Documents as taxable obligations for the purpose of Internal Revenue Code Section 265(b)(3).



6. All prior actions of City officers in furtherance of the purposes of this resolution are hereby ratified, approved and confirmed. All other resolutions (or parts thereof) in conflict with this resolution are hereby repealed, to the extent of the conflict. This resolution shall take effect immediately.

This the 12<sup>th</sup> day of July 2021.

Motion by: \_\_\_\_\_

Second by: \_\_\_\_\_

Mayor: \_\_\_\_\_

ATTEST:

\_\_\_\_\_  
City Clerk



## AGENDA ITEM #4H

### Approval of Job Descriptions

**Meeting Date**

July 12, 2021

**Presenter**

Beatrice Hunter, Human Resources Director

**Public Hearing**

Yes  No

**Summary**

Approval of job descriptions corresponding to approved classifications for new positions in FY 21-22 budget.

**Background**

The Council approved six new classifications and grades in the FY 21-22 budget at the June 7, 2021 Council Meeting for the following positions:

Accounting Supervisor	Grade 17
Human Resources Consultant	Grade 14
Public Information Officer	Grade 19
Fire Inspector I	Grade 14
Recreation Program Coordinator	Grade 8
Streets Supervisor	Grade 9
Sanitation Operations Supervisor	Grade 9

The job descriptions for these classifications are submitted for approval.

**Financial Impact**

No additional financial impact to the City; these positions have been approved in the budget.

**Recommendation**

Staff recommends approval.

**Suggested Motion**

I make a motion to approve the job descriptions for the positions as presented.

**Attachment**

1. Job Descriptions

## Accounting Supervisor

### **Job Summary**

Performs responsible technical and professional accounting work related to the maintenance of a complex system of accounts and records. Supervises the accounts payable process and employees.

### **General Statement of Duties**

Incumbents in this classification are responsible for overseeing and supervising accounts payable operations and activities. Duties include checking accuracy of technicians and ensuring timeliness of payments. Ensures compliance with state and local purchasing laws concerning expenditure limits, requirements to bid; ensures proper documentation for payments. Work requires limited supervision and the use of independent judgment and discretion. Additionally, accounting work, specifically payroll activities, are carried out by this position. The incumbent may supervise or serve as lead worker over other accounting and clerical personnel in addition to accounts payable staff.

### **Illustrative Examples of Work**

- Supervises accounts payable staff to include prioritizing and assigning work; conducting performance evaluations; ensuring staff are trained; ensuring that employees follow policies and procedures; maintaining a healthy and safe working environment and making hiring, termination and disciplinary recommendations.
- Supervises the accounts payable activities and operations, ensuring applicable departmental goals, practices and policies are achieved.
- Reviews weekly accounts payable check run to verify proper signatures and account codes are being used as well as purchasing policies followed.
- Monitors the accuracy and timeliness of payments to ensure compliance with applicable administration guidelines.
- Reviews, records and oversees a variety of reports, vouchers, receivables, payables, deposits and documents.
- Sets up vendor numbers and maintains related vendor information and files.
- Issues check cancellations, including payment stops and re-issues.
- Performs weekly check run processing; forwards data and information to appropriate internal departments and/or external organizations.
- Serves as a liaison between Finance and internal departments for purchase card activities, including setting up accounts for internal staff.
- Prepares, updates and maintains a variety of correspondence, billings, records and files.
- Assists customers and employees with requests for information over the phone and in person.
- Assists external auditors by providing information for applicable reviews.
- Participates in/on a variety of meetings, committees, task forces and/or other related groups in order to receive and/or convey information.
- Compiles and prepares statistical and accounting reports; reviews and reconciles general

ledger account balances.

- Researches and resolves issues dealing with complaints, questions, records and requests for information.
- Manages the City's surplus property and the disposition of said property.
- Responsible for ensuring all City debt payments are made on time.
- Prepares payroll or acts as lead over payroll activities. Balances hours on time records and enters information into the computer for bi-weekly payrolls; enters manual payroll checks when necessary.
- Makes journal entries for state, federal, and FICA taxes, retirement withholding, and UnitedWay; prepares and submits federal and state tax deposits and related payroll tax reports as required reconciles payroll-related withholding accounts on a bi-weekly basis as needed
- Performs other duties as assigned.

### **Knowledge, Skills & Abilities**

- Knowledge of supervisory principles; procurement principles and practices; mathematical principles; electronic data processing principles; state and local purchasing laws.
- Skill in monitoring and evaluating the work of subordinate staff; prioritizing and assigning work.
- Knowledge of the principles, methods and practices of general and governmental accounting.
- Knowledge of data/information processing applications and procedures including software and database programs
- Knowledge of GAAFR (Governmental Accounting, Auditing and Financial Reporting) published by the National Committee on Governmental Accounting
- Knowledge of the principles underlying the laws, ordinances, and regulations governing financial operations
- Knowledge of modern business management practices
- Knowledge of the various uses of personal computer software, including commonly utilized spreadsheet and statistical packages, and skill in their use and applications
- Ability to understand and apply laws and policies including state and federal regulations
- Ability to analyze data and produce customized financial, statistical, and narrative reports; ability to make oral and visual presentations to management in a private or public setting
- Ability to devise and apply accounting procedures and systems
- Ability to establish and maintain effective and harmonious team relationships with coworkers and exercise professional judgment

### **Physical Requirements**

Work is generally sedentary and performed in office settings. Employee must have visual acuity to be able to prepare and analyze data and figures for accounting, read a computer terminal, and perform extensive reading. Employee must be able to talk and hear normally, and have sufficient mobility to file, make copies, and pick up mail from other locations.

**Working Conditions**

Work is generally sedentary and is performed in an office with a controlled environment.

**Education and Experience**

A Bachelor's degree in accounting and two (2) years of related professional level accounting experience, preferably with prior supervisory experience; CPA is preferred but not required; OR any equivalent combination of education and experience.

**FLSA Status:** Nonexempt

**Disclaimer**

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## HUMAN RESOURCES CONSULTANT

### **General Statement of Duties**

Performs responsible technical and professional human resources generalist work.

### **Distinguishing Features of the Class**

An employee in this class is responsible for functioning as an HR Generalist in the functional areas of human resources, to include recruitment and selection, worker's compensation, training and development, employee relations, compensation, pay, leave administration and benefits administration. Supervision is received from the Human Resources Director, who reviews work through analysis of work accomplished and through periodic conferences.

### **Illustrative Examples of Work**

Manages City recruitment, to include advertisement, referral, selection, and recommendation of compensation of candidates.

Supervises the records, forms processing and policy administration using knowledge of personnel policies and procedures and uses precedents to interpret and establish new policies.

Maintains and manages a group of classes within an existing classification structure and studies new and existing positions based on action requests.

Evaluates training needs and conducts training sessions accordingly, in designated skills or program areas where content and methodology are standardized.

Maintains a specific license such as a driver's license in good standing, without a lapse or loss of a privilege to drive in compliance with North Carolina law, and in compliance with applicable DOT standards for commercial motor vehicle drivers if required to perform the duties assigned to the position.

Maintains employee and medical files according to City, local, state, and federal policies, and regulations to include a system to ensure file security and confidentiality.

Ensures standard bulletin board postings required by law are current and distributed/posted in all City locations.

Coordinates administration of Leaves of Absence, to include ensuring proper documentation/notice is sent to eligible employees, dates of eligibility are accurately tracked and return to work requirements are met.

Assists Risk Manager in reporting and processing Worker's Compensation, Auto, Property, and General Liability claims.

Coordinates random drug tests according to established City/DOT guidelines.

Assists with administration of 401(k) plan according to the plan design to include new enrollment meetings, loan administration and withdrawals for hardship, in-service or termination situations.

Ensures employee data is input into HRIS timely and accurately.

Coordinates filing of unemployment claims to include responding to unemployment inquiries.

Responds to requests for verification of employment for current and former employees.

Assists with planning and coordinating annual employee meetings.

Serves as a contact for City employees for inquiries pertaining to insurance, benefits, and retirement programs.

Performs other duties as required by manager.

### **Knowledge, Skills, and Abilities**

Demonstrated effective communications both written and oral in English.

Demonstrated proficiency with personal computer to include experience working with MS Office Software.

Demonstrated ability to maintain confidentiality of information.

Demonstrated ability to work independently.

Excellent organizational skills and attention to detail.

Excellent analytical and problem-solving skills.

Demonstrated ability to handle and prioritize multiple tasks.

Ability to establish and maintain effective and harmonious team relationships with coworkers and exercise professional judgement.

Ability to follow established policies and procedures.

Knowledge of city policies and procedures.

Working knowledge of public personnel administration and practices.

### **Physical Requirements**

Work is described as sedentary work: lifting to 10 lbs. occasionally or sitting most of the time. Employee must have visual acuity to be able to prepare and analyze data and figures for accounting, read a computer terminal, and perform extensive reading. Employee must be able to talk and hear normally, and have sufficient mobility to file, make copies, and pick-up mail from other locations. Visits to field sites or driving a vehicle an automobile may be required.

**Working Conditions**

Work is generally performed in an office with a controlled environment.

**Education and Experience**

Graduation from a four-year college or university with a degree in Human Resources, Public Administration, Business, or related field and considerable HR experience or equivalent combination of education and experience. SHRM-CP or PHR certification preferred.

**Special Requirements**

Valid NC Driver's License

**Fair Labor Standards Act (FLSA) Status:** Exempt

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May 2021

## **PUBLIC INFORMATION OFFICER**

### **General Statement of Duties**

Performs professional and administrative work directing, coordinating, and implementing communications, marketing, and public education efforts to support City initiatives, events, programs, and services, and manages media relations.

### **Distinguishing Features of the Class**

An employee in this class is responsible for planning, organizing, and implementing various activities designed to increase public awareness and understanding of City projects, programs, events, services, and policies. In working with City staff and officials, the employee creates and implements communications, strategic marketing, and public education campaigns. Work includes media relations and preparation and distribution of press releases; maintaining the content of the City's website and sharing information through various social media resources; writing speeches and "talking points" for City Council and officials; and making presentations to organizations to promote awareness of City initiatives. Responsibilities include managing the City's brand, creating transparency, and engaging the community through outreach and education. Work requires considerable planning and initiative and timely execution of work. Skill in oral and written communication is important in performance of work. The employee must exercise independent judgment and discretion in conducting work activities. There is extensive public contact with City Council, City staff, business owners, local and regional partners, and the general public. Work is performed under the direction of the City Manager or designee and is evaluated through conferences, reports, results, and feedback from various public groups.

### **Illustrative Examples of Work**

Creates and implements communications, strategic marketing and public education campaigns to support City initiatives, events and programs; meets and collaborates with City staff to plan, promote and implement community events and special projects in the City.

Writes and distributes press releases, newspaper articles, and other print collateral content; researches and prepares presentations, speeches, "talking points" for City Council and City officials.

Implements approved recommendations of City branding including wayfinding, logo usage, signage, public building and space design, and other aspects to promote and communicate specific messages about the City.

Maintains content of City website; designs and edits web content; writes and posts text on various topics to the City's website; trains departmental employees on routine departmental web page maintenance and serves as resource.

Manages a variety of social media resources, such as and including Facebook and Twitter.

Manages media relations and press events; handles the media effectively in compliance with applicable rules, policies, and procedures.

Develops and manages communications, marketing, and public relations budgets; receives input from departments on marketing and communications needs.

Photographs City events and programs; responsible for editing photos.

Makes presentations to organizations to cultivate support and awareness for City initiatives.

Develops and maintains community partnerships to support City Council goals.

Represents City Manager's office on boards, committees, and at regional and community events.

Manages various external vendors including website design, graphics and printing, photography, and wayfinding and branding implementation.

Attends Council meetings and other meetings as assigned that may occur after normal working hours.

Performs other duties as required by manager.

### **Knowledge, Skills, and Abilities**

Considerable knowledge of the principles and practices of marketing, public information dissemination and communications.

Considerable knowledge of methods, practices, and trends associated with development and implementation of marketing plans, marketing strategies, and branding.

Considerable knowledge of the laws, ordinances, standards, and regulations pertaining to the specific duties of the role.

Considerable knowledge of City organization and operational policies and procedures.

Considerable knowledge of the application of information technology and social media resources to the work.

Knowledge of the principles, practices and processes involved in budgeting.

Skill in persuasive and informative communications in both oral and written forms to make presentations, write public information articles.

Knowledge of digital SLR camera operation and photo editing software.



Knowledge of AP style and principles of grammar and usage.

Ability to analyze situations accurately, make appropriate recommendations, and handle with tact and diplomacy.

Ability to communicate effectively in oral and written forms and to make effective presentations.

Ability to write, edit and communicate clearly and create a positive and professional image of the City.

Ability to establish and maintain effective working relationships with business executives and owners, community, and civic leaders, appointed and elected officials, media representatives, supervisor, coworkers, and the general public.

### **Physical Requirements**

Must be able to physically perform the basic life functions of stooping, standing, walking, grasping, handling/fingering, talking, and hearing.

Must be able to perform sedentary work exerting up to 10 pounds of force frequently or constantly to move objects.

Must possess the visual acuity to prepare and analyze data, operate a computer, inspect sites, and to read extensively.

### **Working Conditions**

Work is generally performed in an office with a controlled environment.

### **Education and Experience**

Graduation from a four-year college or university with a degree in communications, journalism, public relations, or related field and considerable related professional experience in public relations, or an equivalent combination of education and experience.

### **Special Requirements**

Valid NC Driver's License

**Fair Labor Standards Act (FLSA) Status:** Exempt

### **Disclaimer:**

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May 2021

## **Fire Inspector I**

### **General Statement of Duties**

Performs technical work in the field of fire prevention and public fire education duties. Inspects and provides informative interpretations to commercial, industrial and residential occupancies in accordance with the North Carolina State Fire Code and the City of Mebane while providing responsible staff support to the Fire Department.

### **Distinguishing Features of the Class**

An employee in this class is responsible for completing fire prevention inspections to ensure compliance with city and state building codes. Work is generally performed independently and includes frequent field checks, inspecting work at various stages of completion, preparing and issuing inspection reports. This employee exercises technical judgment to interpret provisions of the NC State Fire Code to specific situations. Work is performed under the general supervision of the Deputy Fire Marshal and is evaluated based on compliance with established policies and procedures and attainment of individual performance objectives. The employee is also assigned fire suppression and fire investigation duties as needed. This is a nonsupervisory classification.

### **Illustrative Examples of Work**

- Conducts routine inspections of businesses, educational institutions and commercial and industrial facilities and determines compliance with the NC Fire Code; determines quality compliance with NC Fire Code and NC Building Code for businesses storing hazardous chemicals or other hazardous products including height of stored product, cubic footage of product and whether current fire protection systems are sufficient.
- Conducts fire safety and prevention education programs for schools, churches, businesses, and community groups and applies varied teaching methods to groups served.
- Makes recommendations for planning and implementing occupancy emergency evacuations.
- Establishes and maintains an effective working relationship with other department personnel, other employees in the Town, the public and other public officials; exercises discretion and judgment when interacting with inebriated and/or confrontational individuals.
- Performs preventative basic care and maintenance of all fire prevention equipment and vehicles.
- Responds to questions from citizens, contractors, and builders regarding codes and compliance processes.
- Makes accurate and prompt reports of inspections, investigations, and other duties as required by procedure and as directed by supervisor; makes reports of daily productivity and false alarm activity.
- Perform other tasks as required by the Supervisor.

### **Knowledge, Skills, and Abilities**

- Basic knowledge of the inspection resources such as the NC State Building Code and NC State Fire Prevention Code, National Fire Protection Association (NFPA) Codes, and NC General Statues.
- Basic knowledge of the NFPA codes and the city codes and ordinances.
- Basic knowledge of investigation resources such as NFPA 92 and the Kirk's Fire Investigation Textbook.
- Knowledge of effective oral and written communications techniques when interacting with the public, contractors, and others.
- Knowledge of the purpose and use of common office-based technology such as programs for work processing, printing, and database management.
- Ability to identify problems and errors in construction and procedures for corrections.
- Knowledge of fire behavior, building construction, and fire suppression and alarm systems.
- Ability to prepare detailed inspections reports.
- Ability to communicate firmly, effectively, and tactfully with contractors, property owners and the public about the purpose of the city's inspections program.

### **Physical Requirements**

Work in this position is characteristically administrative and technical in nature. However, depending upon the circumstances of any fire related call the employee may be exposed to some of the same physical requirements of other fire employees which is heavy work requiring exertion of more than 100 pounds of force occasionally, and/or in excess of 50 pounds of force frequently, and/or in excess of 20 pounds of force constantly to move objects. Walking for long distances and standing for an extended amount of time will be required.

### **Working Conditions**

Employee is subject to inside and outside working conditions. Employee is subject to noise which may cause the employee to shout to be heard above the ambient noise level and is subject to hazards including proximity to electrical current. Employee is subject to atmospheric conditions such as fumes, odors, dusts, mists, gases, or poor ventilation and may be required to work in close quarters, attics, crawl spaces, or small enclosed rooms which could cause claustrophobia. Employee is required to function in narrow aisles or passageways. During fire related activities the employee may be exposed to IDLH environments.

### **Education and Experience**

Graduation from high school or GED equivalency and 3-5 years of experience in a fire service, building inspection or construction related field. An Associate's degree in a related field is preferred.

### **Special Requirements**

- Standard Level I NC Fire Inspector Certification
- Standard Level II NC Fire Inspector, within one year of employment
- Valid North Carolina Driver License
- NC EMT Basic Preferred
- NC Firefighter Certification Preferred
- NC Fire Investigator Technician Certification

**FLSA Status:** Nonexempt

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## **Recreation Program Coordinator**

### **General Statement of Duties**

Designs, plans, and oversees all programs and special events for the Mebane Recreation and Parks Department.

### **General Statement of Duties**

An employee in this class is responsible for designing, planning and overseeing all aspects of programs and special events for the department. Work is generally performed independently and includes managing multiple events in various stages of completion simultaneously. Work is performed under the general supervision of the Recreation and Parks Director and is evaluated on ability effectively develop, implement and execute program offerings.

### **Illustrative Examples of Work**

- Plans, implements, coordinates, and supervises City programs, activities, and special events
- Assists the Recreation and Parks Director on maintenance and upkeep of the recreation software and the Recreation and Park's webpages
- Assists the Recreation and Parks Director with the creation of a Department sponsorship packet
- Attends various workshops, conferences, and training to ensure the Mebane Recreation & Parks Department is on the front end of new and exciting recreational programs and activities.
- Recruits, coordinates, and supervises the activities of regular, temporary, and volunteer staff
- Prepares program budgets and monitors expenditures

### **Knowledge, Skills and Abilities**

- Development, implementation, and supervision of programs and special events
- Website maintenance and development
- Tabulation and presentation of statistical data for publication
- Ability to manage online registration software
- Ability to collaborate effectively with others and establish and maintain good working relationships
- Experience creating reports
- Ability to listen and communicate effectively with diverse groups
- Familiarity with fundraising and grant writing
- Ability to coordinate and organize numerous projects simultaneously
- Ability to supervise the work of others and work with others in a team atmosphere
- Ability to work with autonomy and complete tasks
- Ability to maintain a sense of humor, positive attitude, patience, and enthusiasm
- Knowledge and ability to operate a variety of standard office equipment. Previous experience with Microsoft Office, email, internet.

### **Physical Requirements and Working Conditions**

Work in this position is medium work (exerting up to 50 pounds of force occasionally, and/or up-to 20 pounds of force frequently, and/or up to 10 pounds of force constantly to move objects). Physical activities include climbing, balancing, stooping, kneeling, crouching, crawling, reaching, standing, walking, pushing, pulling, lifting, talking, hearing, and repetitive motions. The employee must have the visual acuity to prepare and analyze data and figures, operate a computer terminal, read extensively, make visual inspections, and use measurement devices. The employee is subject to both indoor and outdoor environmental conditions, noise, and contact with potentially infectious bodily fluids.



### **Education and Experience**

Bachelor's degree in Recreation and Parks or related field and experience in recreation, or an equivalent combination of education and experience.

### **Special Requirements**

- Certified Parks and Recreation Professional (CPRP) or the ability to obtain within one (1) year.
- CPR/AED/First Aid certification or ability to obtain within one (1) year.

**FLSA Statuts:** Nonexempt

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June 2021

## Streets Supervisor

### **General Statement of Duties**

Performs routine heavy equipment operation as a supervisor in the City's public works department.

### **Distinguishing Features of the Class**

An employee in this class provides assistance to the Director by performing operational and administrative work in managing and monitoring the City's public street system. This position leads, oversees and participates in a variety of skilled and semiskilled labor duties in the maintenance, operation, and repair of City streets, curbs, sidewalks, and flood control systems; and operates and maintains a wide variety of maintenance tools and equipment. The employee operates large, equipment such as tracked loader, backhoe, tracked hydraulic excavator to perform operations such as excavating and backfilling, places heavy pipes and similar operations associated with construction and maintenance. Work involves overseeing and participating in constructing forms and pouring and finishing concrete on curbs, gutters, sidewalks, and waterways, snow and ice control/removal when required by using equipment to maintain streets, and sidewalks, and preparing, installing, and replacing City signs, and installing and maintaining street banners, as necessary. The employee performs moderate to heavy physical activity in digging ditch, moving dirt and grading.

Work is performed as a supervisor of the street maintenance crew and equipment which includes supervising personnel of the street maintenance division, safely operating and controlling department equipment, overseeing the daily inspections and maintenance coordination of equipment, and resolving public concerns and complaints. Work is performed under the supervision of the Public Works Director and is evaluated for efficient and effective completion of work assignments, resolution and responsiveness to public concerns and complaints, proper coordination and execution of division fleet maintenance, and visual inspection of the work performed by division staff.

### **Illustrative Examples of Work**

- Provide supervision and training to assigned staff responsible for the maintenance, operation, and repair of City streets, curbs, sidewalks, and flood control systems.
- Verify attendance and provide initial review for leave requests.
- Operate and maintain a wide variety of maintenance tools and equipment. Fills in for operators when needed.
- Provide supervision to assigned staff on proper safety procedures related to all work performed.
- Establishes daily work schedules and ensures work is performed in a safe and efficient manner; encourages and motivates crew members to complete tasks; resolves conflicts and administers disciplinary action when necessary.
- Notifies customers or citizens of City policies and procedures.
- Checks vital working parts of the trucks; creates vehicles maintenance or repair work orders and reports any maintenance needs to the Fleet Supervisor.
- Coordinates and assigns work, equipment, and routes. Investigates field problems and complaints.
- Creates, maintains, and ensures proper completion of work orders for the division.
- Operates various trucks and equipment including side loading garbage truck (one-arm bandit) to grab, lift, and dump garbage containers; rear loading garbage truck which compresses garbage; boom loader trucks (knuckle boom) to pick up piles of brush and large white goods and other bulky items onto truck; leaf vacuum trucks to suck up leaves and supervises maintenance workers who operate the vacuum boom suction pipe; mechanical street sweeper to sweep along street curbing; other heavy equipment such as back hoes to excavate trenches or dig holes.
- Estimates time, materials, and equipment required for jobs assigned; track and maintain inventory;

## Streets Supervisor

schedule and account for maintenance equipment; and requisition materials as required.

- Prepare, install, repair, and replace City signs and posts; install and maintain street banners, as necessary.
- Lead and participate in mixing, raking, and spreading asphalt; seal cracks and patch streets; participate in street overlays.
- Breaks up pavements, digs holes, cuts trenches, excavates and fills in holes in streets and other paved surfaces, using sledgehammer, shovel, pick, spade, rake, hoe, hand tools or jackhammer, patches and paves streets and other paved surfaces.
- Builds forms and prepares surfaces for paving, patching, or repair/reconstruction of streets, curbs, and similar public works facilities.
- Installs, repairs, and replaces stormwater pipe, street signs, and traffic markers.
- Participates in the construction and repair of stormwater and driveway pipe.
- Paints traffic markings on streets, crosswalks, parking lots, curbs, using stencils, legends, striping and taping equipment.
- Maintains a variety of records relating to inspections, and maintenance activity for state inspections.
- Performs related duties as required.
- Investigates citizens' inquiries and complaints with responses provided in person, via phone, or by email.
- Addresses complaints in a timely manner, determine acceptable solutions and completes work orders.
- Responds to personnel conflicts and provides solutions.
- Participates in interviewing applicants for employment; completes and conducts employee performance evaluations; and reviews requests for leave.
- Assists in preparing the budget of the division.
- Oversees vehicles and equipment of the division to maintain good working condition.
- Employment is subject to emergency call-in.
- Performs related duties as required.

### **Knowledge, Skills, and Abilities**

- Considerable knowledge of and ability to make practical application of issues, principles, and terminology in the field of street maintenance and right-of-way management, safety, and environmental management.
- General knowledge of the current trends and development related to municipal street maintenance and operations.
- General knowledge of budget preparation and administration.
- Thorough knowledge of OSHA standards and guidelines.
- General knowledge of safe working practices.
- General knowledge of principles and practices of supervision.
- Ability to plan, organize, prioritize, and delegate work. Willingness to learn and adapt to changing laws and regulations.
- Ability and desire to be tactful, responsive, and courteous to customers and citizens.
- Ability to establish and maintain effective working relationships with other employees and the public.
- Ability to work any shift, holidays, and weekends.
- Communicate very effectively, both written and verbally, with supervisors, peers, and subordinates to convey information.
- Establish and maintain effective working relationships with supervisor, peers, subordinates, and various groups and individuals.

## Streets Supervisor

- Plan and develop daily, short, and long-term goals; handle multiple tasks simultaneously.
- Produce quality work, which requires constant attention to detail.
- Analyze and recognize problems, and potential problems, and recommend and/or implement appropriate solutions.
- Assemble and analyze information and make written reports and documents in a clear, concise, and effective manner.
- Apply principles of logic to define problems, collect and analyze data and draw valid conclusions.
- Knowledge of geographical location of city streets.
- Considerable knowledge of practices and procedures of traffic control.
- Thorough knowledge in storm drainage construction, concrete installation, and pavement maintenance.
- Considerable knowledge of practices, methods, materials, tools, and equipment used in public streets and traffic marking field construction, repair, and maintenance work.
- Considerable knowledge of procedures and techniques of concrete and asphalt work.
- hazards associated with the work and proper safety precautions.
- Ability to independently perform the most complex activities related to the area of work assigned.
- Knowledge of traffic laws and regulations pertaining to heavy equipment operations.
- Knowledge of effective communication techniques sufficient to explain City policies and procedures.
- Ability to operate and perform preventive maintenance on various types of heavy equipment.
- Ability to perform duties in heavy traffic and under adverse weather conditions.

### **Physical Requirements**

Work in this position is heavy work exerting up to 100 pounds of force occasionally, and/or up to 50 pounds of force frequently, and/or up to 20 pounds of force constantly to move objects. Employee is required to have close visual acuity to perform visual inspection of small defects or parts, operation or inspection of machines, use measurement devices, and assembly of parts at distances close to eyes. An employee must be able to physically perform the basic life operational functions of climbing, balancing, stooping, kneeling, crouching, crawling, reaching, walking, standing, pushing, pulling, fingering, grasping, feeling, talking, hearing, and repetitive motions. Employee must have the visual acuity to be the operator of a truck, forklift, cranes, or other heavy equipment and determine the accuracy, neatness, and thoroughness of the work assigned. The employee is subject to hazards, occasionally works near moving mechanical parts and in high, precarious places, and is occasionally exposed to wet and/or humid conditions, fumes or airborne particles (including silica), toxic or caustic chemicals, risks of electrical shock, oils and vibration.

### **Working conditions**

An employee in this class is subject to outside environmental conditions including extreme cold and heat sufficient to take precautions. Employee is subject to a level of noise requiring workers to shout in order to be heard above the ambient noise level. Employee is subject to hazards including a variety of physical conditions such as proximity to moving mechanical parts, electrical current, working on scaffolding and high places, or exposure to chemicals and potentially infectious bodily fluids. Employee is subject to variations in atmospheric conditions including fumes, odors, dusts, mists, gases, or poor ventilation. Employee is subject to variation in weather conditions including working in temperatures below 32 degrees or above 100 degrees for more than one hour with protective clothing.

### **Education and Experience**

Graduation from High School or GED equivalency and 2-4 years' experience operating heavy equipment, or graduation from a technical college in asphalt maintenance. Candidates must also be capable of working regular hours, be available to work weekends or holidays, and available for call-in duty in case of emergencies.

Streets Supervisor

**Special Requirement**

NC Commercial Driver's License (CDL-A) with ability to transport heavy equipment.

**FLSA Status:** Nonexempt

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May 2021

# Sanitation Operations Supervisor

## General Statement of Duties

Performs routine heavy equipment operation as a supervisor in the City's public works department.

## Distinguishing Features of the Class

An employee in this class provides assistance to the Director by performing operational and administrative work in managing and monitoring the City's waste collection, vendor and city recyclable material collection, and other special programs. This employee is responsible for coordinating and operating a variety of heavy equipment for garbage and refuse or debris collection. Emphasis of the work is on serving as a supervisor, instructing crews on daily tasks, and ensuring completion of assignments according to instructions, while potentially also operating large vehicles to collect garbage in the city's residential and business districts. Work is performed as a manager of the sanitation collection crew and equipment which includes supervising personnel of the sanitation division, safely operating and controlling department equipment, overseeing the daily inspections and maintenance coordination of sanitation equipment, and resolving public concerns and complaints. Work is performed under the supervision of the Public Works Director and is evaluated for efficient and effective completion of work assignments, resolution and responsiveness to public concerns and complaints, proper coordination and execution of division fleet maintenance, and visual inspection of the employee's assigned routes.

## Illustrative Examples of Work

- Provide supervision and training to assigned staff responsible for the sanitation operations of the City.
- Verifies attendance and provided initial review for leave requests.
- Establishes daily work schedules; assigns crew members to routes and participates to ensure proper collection of city's solid waste, completion and work is performed in a safe and efficient manner; encourages and motivates crew members to complete tasks; resolves conflicts and administers disciplinary action when necessary.
- Operates and manages the City's composting program.
- Drives a sanitation truck along an assigned route for curbside collection of waste from residences and businesses.
- Compiles reports of collected items for annual solid waste report.
- Notifies customers or citizens of collection City policies and procedures.
- Checks vital working parts of the trucks; creates vehicles maintenance or repair work orders and reports any maintenance needs to the Fleet Supervisor.
- Coordinates and assigns work, equipment, and routes. Investigates field problems and complaints.
- Creates, maintains, and ensures proper completion of work orders for the division.
- Monitors collections of items for proper disposal.
- Monitors transportation of recyclables, monitors collections and equipment operations daily.
- Determines work procedures and expedites workflow.
- Ensures the daily and weekly collection schedule is performed.
- Fills in for operators when needed.
- Operates various trucks and equipment including side loading garbage truck (one-arm bandit) to grab, lift, and dump garbage containers; rear loading garbage truck which compresses garbage; boom loader trucks (knuckle boom) to pick up piles of brush and large white goods and other bulky items onto truck; leaf vacuum trucks to suck up leaves and supervises maintenance workers who operate the vacuum boom suction pipe; mechanical street sweeper to sweep along street curbing; other heavy equipment such as back hoes to excavate trenches or dig holes.
- Investigates citizens' inquiries and complaints with responses provided in person, via phone, or by email.
- Addresses complaints in a timely manner, determine acceptable solutions and completes work orders.



## Sanitation Operations Supervisor

- Responds to personnel conflicts and provides solutions.
- Participates in interviewing applicants for employment; completes and conducts employee performance evaluations; and reviews requests for leave.
- Assists in preparing the budget of the division.
- Oversees vehicles and equipment of the division to maintain good working condition.
- Employment is subject to emergency call-in.
- Performs related duties as required.

### **Knowledge, Skills, and Abilities**

- Considerable knowledge of and ability to make practical application of issues, principles, and terminology in the field of solid waste management, safety, and environmental management.
- General knowledge of the current trends and development related to municipal solid waste management and operations.
- General knowledge of budget preparation and administration.
- Thorough knowledge of OSHA standards and guidelines.
- General knowledge of safe working practices.
- General knowledge of principles and practices of supervision.
- Ability to plan, organize, prioritize, and delegate work. Willingness to learn and adapt to changing laws and regulations pertaining to solid waste management and disposal.
- Ability and desire to be tactful, responsive, and courteous to customers and citizens.
- Ability to establish and maintain effective working relationships with other employees and the public.
- Ability to work any shift, holidays, and weekends.
- Communicate very effectively, both written and verbally, with supervisors, peers, and subordinates to convey information.
- Establish and maintain effective working relationships with supervisor, peers, subordinates, and various groups and individuals.
- Plan and develop daily, short, and long-term goals; handle multiple tasks simultaneously.
- Produce quality work, which requires constant attention to detail.
- Analyze and recognize problems, and potential problems, and recommend and/or implement appropriate solutions.
- Assemble and analyze information and make written reports and documents in a clear, concise, and effective manner.
- Apply principles of logic to define problems, collect and analyze data and draw valid conclusions.
- Knowledge of garbage truck operation characteristics and other related special heavyequipment.
- Knowledge of geographical location of city streets.
- Knowledge of traffic laws and regulations pertaining to heavy equipment operations.
- Knowledge of effective communication techniques sufficient to explain City policies and procedures.
- Ability to operate and perform preventive maintenance on various types of heavy equipment.
- Ability to perform duties in heavy traffic and under adverse weather conditions.

## Sanitation Operations Supervisor

### **Physical Requirements**

Work in this position is heavy work exerting up to 100 pounds of force occasionally, and/or up to 50 pounds of force frequently, and/or up to 20 pounds of force constantly to move objects. Employee is required to have close visual acuity to perform visual inspection of small defects or parts, operation or inspection of machines, use measurement devices, and assembly of parts at distances close to eyes. Employee must have the visual acuity to be the operator of a truck, forklift, cranes, or other heavy equipment and determine the accuracy, neatness, and thoroughness of the work assigned.

### **Working conditions**

An employee in this class is subject to outside environmental conditions including extreme cold and heat sufficient to take precautions. Employee is subject to a level of noise requiring workers to shout in order to be heard above the ambient noise level. Employee is subject to hazards including a variety of physical conditions such as proximity to moving mechanical parts, electrical current, working on scaffolding and high places, or exposure to chemicals and potentially infectious bodily fluids. Employee is subject to variations in atmospheric conditions including fumes, odors, dusts, mists, gases, or poor ventilation. Employee is subject to variation in weather conditions including working in temperatures below 32 degrees or above 100 degrees for more than one hour with protective clothing.

### **Education and Experience**

Graduation from High School or GED equivalency and 2 - 4 years of experience operating heavy equipment such as a sanitation truck (rear packer), dump truck, boom truck, or equivalent. Candidates must also be capable of working regular hours, be available to work weekends or holidays, and available for call-in duty in case of emergencies.

### **Special Requirement**

NC Commercial Driver's License (CDL-B); some positions may be designated to have a NC CDL-A license to transport heavy equipment.

**FLSA Status:** Nonexempt

### **Disclaimer**

This classification specification has been designed to indicate the general nature and level of work performed by employees within this classification. It is not designed to contain or be interpreted as a comprehensive inventory of all duties, responsibilities, and qualifications required of employees to perform the job. The Physical Requirements and Working Conditions section of this classification may vary from position to position, and a more thorough description of these elements can be found in the employee's Position Description Questionnaire (PDQ). The City reserves the right to assign or otherwise modify the duties assigned to this classification.

May 2021



# AGENDA ITEM #5A

SUP 21-01

Special Use Permit –  
Mill Creek Towercom

### Presenter

Cy Stober, Development Director

### Applicant

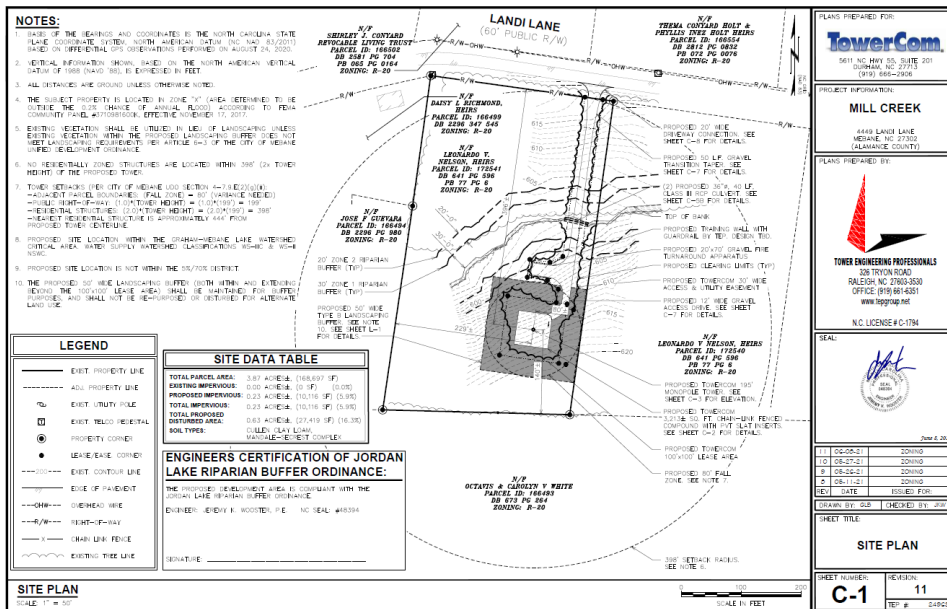
Towercom IV-B, LLC  
5611 NC Hwy 55  
Suite 201  
Durham, NC  
27713

### Public Hearing

Yes  No

Quasi-Judicial - BOA

### Site Plan



### Property

4449 Landi Lane,  
Mebane, NC  
27302  
GPIN  
9816764270

### Proposed Zoning

N/A

### Current Zoning

R-20

### Size

+/-3.87

### Surrounding Zoning

R-20

### Surrounding Land Uses

Single-Family Residential,  
Vacant

### Utilities

None

### Floodplain

No

### Watershed

Yes – Critical Area

### City Limits

No

---

### Summary

Towercom IV-B, LLC, c/o Thomas Johnson, is requesting approval of a special use request for a 199' wireless communication facility (aka "5G tower") at 4449 Landi Lane. The Mebane Unified Development Ordinance, Article 4, Section 7.9.E(2)(f.1). The applicant is also seeking a waiver relieving them of the use-specific setback of 199' from southern and eastern property lines.

The Technical Review Committee (TRC) has reviewed the site plan and the applicant has revised the plan to reflect the comments. The applicant has an agreement to lease the property for this special use, pending approval of the City Council.

---

### Financial Impact

N/A. The site will be privately maintained and not require City services beyond emergency response.

---

### Recommendation

At their June 12, 2021, meeting the Mebane Planning Board voted 4-1 to recommend approval of the special use request.

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval. Details regarding the sufficiency of these matters is detailed in the Project Report.

---

### Suggested Motion

1. Motion to approve special use request for 199'-tall non-stealth wireless communication facility as presented  
**and**
2. Motion to find that the request is both reasonable and in the public interest because it finds that it:
  - a. Will not materially endanger the public health or safety;
  - b. Will not substantially injure the value of adjoining or abutting property;
  - c. Will be in harmony with the area in which it is located; and
  - d. Will be consistent with the objectives and goals in the City's adopted plans,
3. Motion to deny the special use permit as presented due to a failure to satisfy any one of the four criteria required for approval (**NOTE: criterion for failure must be specified**)

---

### Attachments

1. Special Use Permit Application
2. Zoning Map
3. Site Plan
4. Planning Project Report
5. Technical Memorandum – City Engineering Review
6. Wireless Service Coverage Map
7. Determination of No Hazard to Air Navigation

8. Fall Zone Analysis
9. Real Estate Impact Analysis
10. Photo Simulation of Tower Construction from Surrounding Public ROWs
11. Stormwater Acknowledgment Letter Between Towercom & Property Owner



## APPLICATION FOR A SPECIAL USE PERMIT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: Towercom IV-B, LLC

Address of Applicant: 5611 NC Hwy 55, Suite 201, Durham, NC 27713

Address and brief description of property: 4282 Landi, Lane, Mebane, NC 27302

Parcel ID: 172541; Lot 4, Final Plat for the Purpose of Settling the Estate of Leonardo V.

Nelson, recorded in Plat Book 77, Page 6, Alamance County Registry

Applicant's interest in property: (Owned, leased or otherwise) Leased

\*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes \_\_\_ Explain: \_\_\_\_\_ No X

Type of request: Special Use Permit for a Telecommunications Facility

Sketch attached: Yes \_\_\_\_\_ X \_\_\_\_\_ No \_\_\_\_\_

Reason for the request: To construct a 195 foot monopole telecommunications tower

Signed: *D. H. Pop. atty*  
Date: 5/19/2021

Action by Planning Board: \_\_\_\_\_

Public Hearing Date: \_\_\_\_\_ Action: \_\_\_\_\_

Zoning Map Corrected: \_\_\_\_\_

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$400.00 Fee to cover administrative costs.





## APPLICATION FOR A SPECIAL USE PERMIT

4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2<sup>nd</sup> Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1<sup>st</sup> Monday of each month at 6:00 p.m.



**SUBJECT  
PROPERTY  
4449 Landi Ln**



**CITY OF MEBANE  
ZONING MAP**

**SUBJECT PROPERTY  
MILL CREEK TOWERCOM**

1 inch = 200 feet

**DATE: 6/08/2021**

**DRAWN BY: AV**

TOWERCOM SITE NAME: MILL CREEK

PROJECT DESCRIPTION: PROPOSED TELECOMMUNICATIONS FACILITY

TOWER TYPE: 195' MONOPOLE (199' OVERALL)

JURISDICTION: CITY OF MEBANE ETJ

DISTURBED AREA: 27,419± S.F. (0.63 AC.)

PRESENT LAND USE: 501-VACANT LAND

PROPOSED LAND USE: COMMERCIAL

CURRENT ZONING: R-20 (RESIDENTIAL)

PARCEL ID: 172541

WATERSHED: GRAHAM-MEBANE LAKE

WATER SUPPLY WATERSHED: WS-IIC, WS-II NSWC

RECEIVING WATER BODY: STAG CREEK

NUMBER OF DWELLING UNITS: 0

SITE OWNER:



**5611 HIGHWAY 55, SUITE 201  
DURHAM, NC 27713  
(919) 666-2906**

**TOWERCOM SITE NAME:  
MILL CREEK**

**4449 LANDI LANE  
MEBANE, NC 27302  
(ALAMANCE COUNTY)**

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

N.C. LICENSE # C-1794

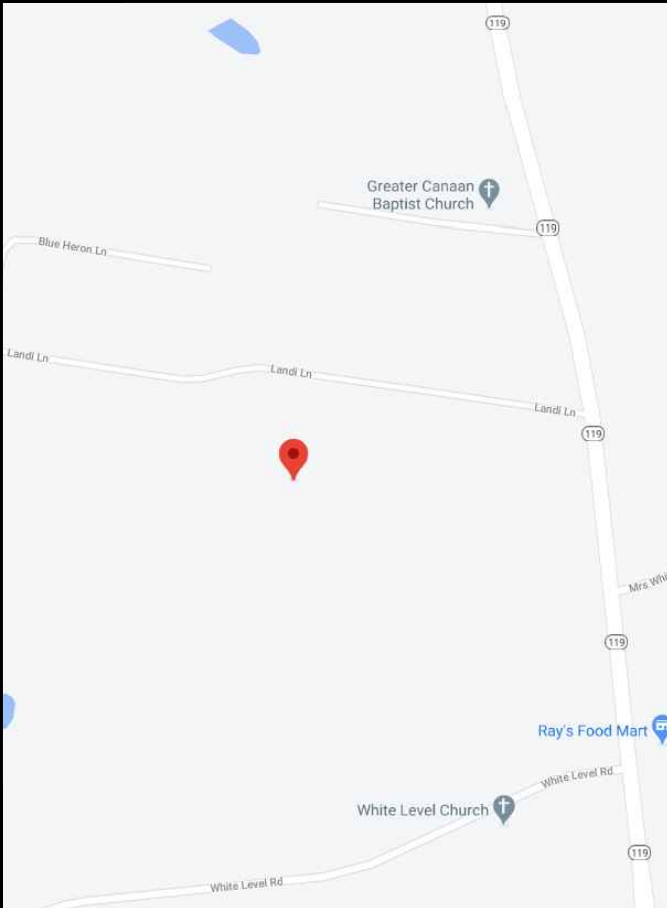
**PROJECT INFORMATION**

LATITUDE N 36° 07' 45.268" (NAD '83)  
LONGITUDE W 79° 16' 45.444" (NAD '83)

EXISTING GROUND ELEV. (AMSL) = 617.74± (AMSL)  
PROPOSED GROUND ELEV. (AMSL) = 618.10± (AMSL)

**1A CERTIFICATION**

11	06-08-21	ZONING
10	05-27-21	ZONING
9	05-26-21	ZONING
8	05-11-21	ZONING
7	05-05-21	ZONING
6	05-03-21	ZONING
5	04-29-21	ZONING
4	03-31-21	ZONING
REV	DATE	ISSUED FOR:



**TOWER OWNER:**  
NAME: TOWERCOM  
ADDRESS: 5611 NC HWY 55, SUITE 201  
CITY, STATE, ZIP: DURHAM, NC 27713  
CONTACT: GEORGE DAVIS  
PHONE: (919) 666-2906

**CIVIL ENGINEER:**  
NAME: TOWER ENGINEERING PROFESSIONALS  
ADDRESS: 326 TRYON ROAD  
CITY, STATE, ZIP: RALEIGH, NC 27603  
CONTACT: JEREMY K. WOOSTER, P.E.  
PHONE: (919) 661-6351

**ELECTRICAL ENGINEER:**  
NAME: TOWER ENGINEERING PROFESSIONALS  
ADDRESS: 326 TRYON ROAD  
CITY, STATE, ZIP: RALEIGH, NC 27603  
CONTACT: MARK S. QUAKENBUSH, P.E.  
PHONE: (919) 661-6351

**PROPERTY OWNER**  
NAME: ADELANA AMORITA NELSON  
ADDRESS: 200 HOLT AVENUE, #B  
CITY, STATE, ZIP: GREENSBORO, NC 27405  
CONTACT: ADELANA AMORITA NELSON  
PHONE: (336) 717-5046

**SURVEYOR:**  
NAME: TOWER ENGINEERING PROFESSIONALS  
ADDRESS: 326 TRYON ROAD  
CITY, STATE, ZIP: RALEIGH, NC 27603  
CONTACT: ALAN H. ALLBERT, P.L.S.  
PHONE: (919) 661-6351

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

1. NORTH CAROLINA BUILDING CODE (2018 EDITION)	4. 2017 NCEC (W/ 2017 NC AMENDMENTS)
2. NORTH CAROLINA CODE COUNCIL	5. LOCAL BUILDING CODE
3. ANSITIA-222-H	6. CITY/COUNTY ORDINANCES

**CODE COMPLIANCE**

DRAWINGS TO BE PRINTED AT A 200% SCALE

**DRAWING SCALE**


**UTILITIES:**  
POWER COMPANY: DUKE ENERGY  
CONTACT: CUSTOMER SERVICE  
PHONE: (800) 544-6900  
METER # NEAR SITE: UNKNOWN

TELEPHONE COMPANY: VERIFY  
CONTACT: VERIFY  
PHONE: VERIFY  
PHONE # NEAR SITE: (919) 563-2837  
PEDESTAL # NEAR SITE: 4

SHEET	DESCRIPTION	REV
T-1	TITLE SHEET	11
-	SITE SURVEY	-
T2-T6	APPENDIX B	11
N1-N2	GENERAL NOTES	11
C-1	SITE PLAN	11
C-1A	VICINITY MAP	11
C-2	COMPOUND DETAIL	11
C-3	TOWER ELEVATION	11
C-4	COMPOUND FENCE DETAILS	11
C-5AB	GRADING & EROSION CONTROL PLAN I & II	11
C-5C	CLEAN WATER DIVERSION PLAN	11
C-5D	STREAM WATER CROSSING DETAILS	11
C-6A	SILT FENCE & TREE PROTECTION DETAILS	11
C-6B	CULVERT DETAILS	11
C-6C	SCOUR HOLE DETAILS	11
C-6D	EROSION CONTROL MATTING DETAILS	11
C-7	ACCESS ROAD DETAILS	11
C-8	DRIVEWAY DETAILS	11
C-9	SIGHT TRIANGLES	11
L-1	LANDSCAPING PLAN	11
L-2	LANDSCAPING DETAILS	11
	APPENDIX:	
	-STREAM CROSSING CULVERT CALCULATIONS	
	-STORMWATER NITROGEN & PHOSPHOROUS DATA	

DRAWN BY: GLB CHECKED BY: JKW

SEAL:



June 8, 2021

SEAL:

SHEET NUMBER: **T-1** REVISION: **11**

TEP #: 249639

**LOCATION MAP**

**CONTACT INFORMATION**

**INDEX OF SHEETS**



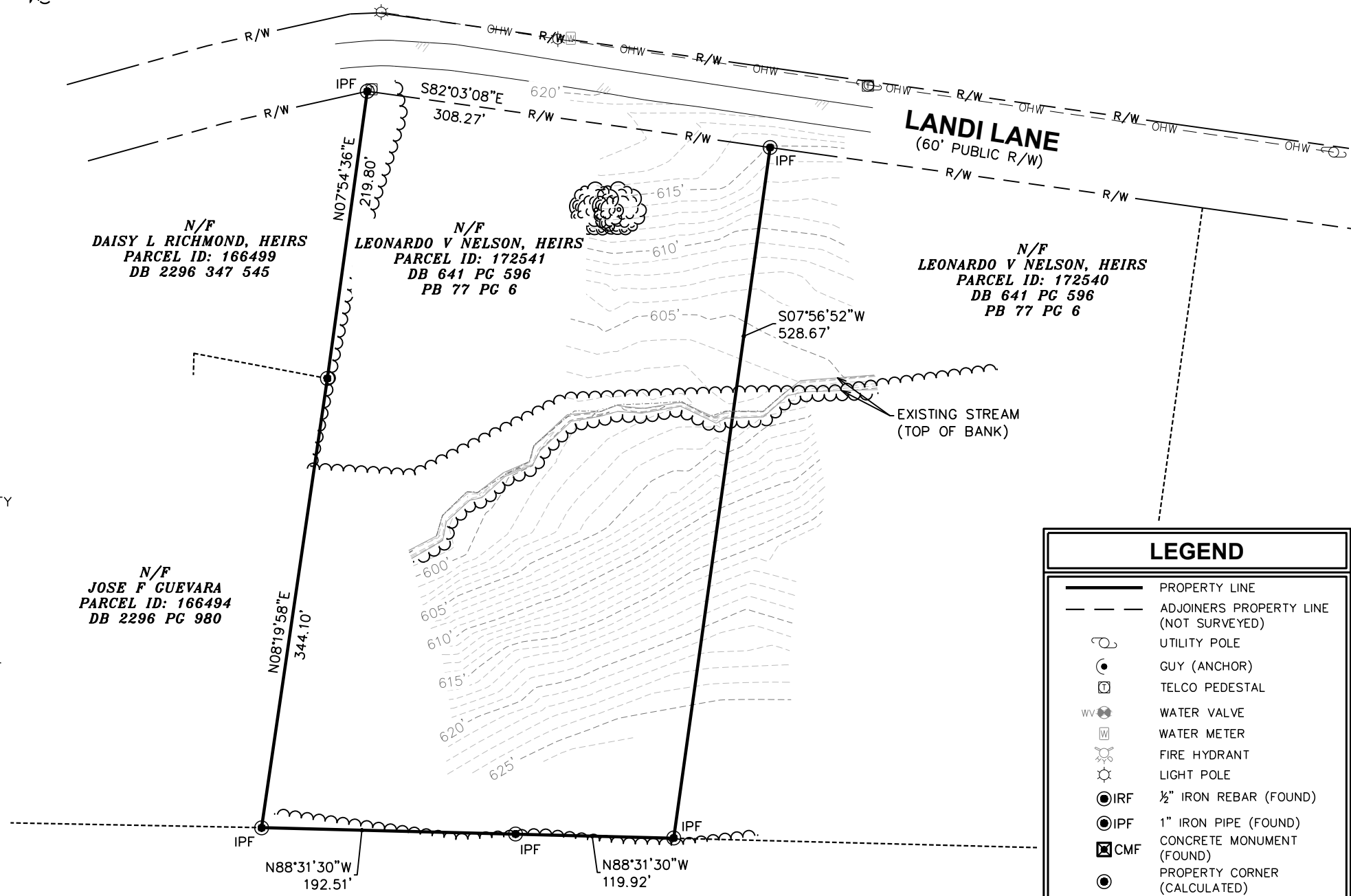


VICINITY MAP n.t.s.



**NOTES:**

1. PLAN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
2. PLAN DOES NOT REPRESENT AN ALTA/NSPS LAND TITLE SURVEY.
3. BASIS OF THE BEARINGS AND COORDINATES IS THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (NAD 83/2011) BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON AUGUST 24, 2020; TIED TO THE NATIONAL SPATIAL REFERENCE SYSTEM VIA CORS STATIONS AND OPUS; AND EXPRESSED IN US SURVEY FEET.
4. VERTICAL INFORMATION BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88) AND EXPRESSED IN US SURVEY FEET.
5. THIS PLAN DOES NOT REPRESENT AN ACTUAL BOUNDARY SURVEY OF THE PARENT PARCEL. PROPERTY LINES ARE DRAWN FROM FIELD LOCATIONS OF MONUMENTATION, GIS, TAX MAPS, AND INFORMATION FOUND IN DEED BOOK 641, PAGE 596, OF THE ALAMANCE COUNTY REGISTER OF DEEDS.
6. DISTANCES ARE HORIZONTAL GROUND UNLESS OTHERWISE NOTED.
7. PROPERTY LOCATED IN FLOOD ZONE "X", AREA DETERMINED TO BE OUTSIDE 0.2% CHANCE OF ANNUAL FLOOD BASED UPON FEMA COMMUNITY PANEL# 3710981600K, EFFECTIVE NOVEMBER 17, 2017.
8. LESSEE INFORMATION:  
TOWERCOM  
5611 NC HIGHWAY 55, SUITE 201  
DURHAM, NC 27713
9. PROPERTY OWNER INFORMATION:  
LEONARDO V NELSON, HEIRS  
C/O ADELENA NELSON  
4718 MRS WHITE LANE  
MEBANE, NC 27302



N/F  
DAISY L RICHMOND, HEIRS  
PARCEL ID: 166499  
DB 2296 347 545

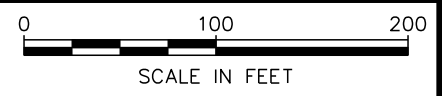
N/F  
LEONARDO V NELSON, HEIRS  
PARCEL ID: 172541  
DB 641 PG 596  
PB 77 PG 6

N/F  
LEONARDO V NELSON, HEIRS  
PARCEL ID: 172540  
DB 641 PG 596  
PB 77 PG 6

N/F  
JOSE F GUEVARA  
PARCEL ID: 166494  
DB 2296 PG 980

N/F  
OCTAVIS & CAROLYN V WHITE  
PARCEL ID: 166493  
DB 673 PG 264

LEGEND	
	PROPERTY LINE
	ADJOINERS PROPERTY LINE (NOT SURVEYED)
	UTILITY POLE
	GUY (ANCHOR)
	TELCO PEDESTAL
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	LIGHT POLE
	1/2" IRON REBAR (FOUND)
	1" IRON PIPE (FOUND)
	CONCRETE MONUMENT (FOUND)
	PROPERTY CORNER (CALCULATED)
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	RIGHT-OF-WAY
	CHAIN LINK FENCE
	EXISTING TREE LINE



PREPARED FOR:  
**TowerCom**  
5611 NC HIGHWAY 55, SUITE 201  
DURHAM, NC 27713

PROJECT INFORMATION:  
**MILL CREEK**  
4282 LANDI LANE  
MEBANE, NC 27302  
(ALAMANCE COUNTY)

PREPARED BY:  
**TEP ENGINEERING, PLLC**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
(919) 661-6351  
COA # P-1403

**SURVEYOR CERTIFICATE**  
"I, ALAN H. ALBERT, CERTIFY THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, (DEED DESCRIPTION RECORDED IN BOOK 641 AT PAGE 596) THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS BROKEN LINES, DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS REFERENCED HEREIN; THAT RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1: 10,000 OR GREATER; THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600)."  
THIS 24TH DAY OF AUGUST, 2020.

ALAN H. ALBERT  
NORTH CAROLINA PLS # 3738



SHEET TITLE:  
**SITE SURVEY**

DATE: 08/24/2020 REVISION: 0  
SHEET #: 1 OF 1 TEP #: 249639

**SITE SURVEY**  
SCALE: 1" = 100'

**2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)**

(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: MILL CREEK  
 Address: 4449 LANDI LANE, MEBANE, NC Zip Code 27302  
 Owner/Authorized Agent: GEORGE DAVIS Phone # (919) 666 - 2906 E-Mail gdavis@towercomenterprises.com  
 Owned By:  City/County  Private  State  
 Code Enforcement Jurisdiction:  City MEBANE  County  State

**CONTACT:** Tower Engineering Professionals

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	Tower Engineering Professionals	Jeremy K. Wooster	048394	(919) 661-6351	jkwooster@tepgroup.net
Civil	Tower Engineering Professionals	Mark S. Quakenbush	042109	(919) 661-6351	mquakenbush@tepgroup.net
Electrical					
Fire Alarm					
Plumbing					
Mechanical					
Sprinkler-Standpipe					
Structural					
Retaining Walls >5' High					
Other					

(\*Other\* should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

**2018 NC BUILDING CODE:**  New Building  Addition  Renovation  
 1<sup>st</sup> Time Interior Completion  
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements  
 Phased Construction - Shell/Core- Contact the local inspection jurisdiction for possible additional procedures and requirements

**2018 NC EXISTING BUILDING CODE: EXISTING:**  Prescriptive  Repair  Chapter 14  
 Alteration:  Level I  Level II  Level III  
 Historic Property  Change of Use

**CONSTRUCTED:** (date) \_\_\_\_\_ **CURRENT OCCUPANCY(S)** (Ch. 3): \_\_\_\_\_  
**RENOVATED:** (date) \_\_\_\_\_ **PROPOSED OCCUPANCY(S)** (Ch. 3): \_\_\_\_\_

**OCCUPANCY CATEGORY** (Table 1604.5): **Current:**  I  II  III  IV  
**Proposed:**  I  II  III  IV

**BASIC BUILDING DATA**  
**Construction Type:**  I-A  II-A  III-A  IV  V-A  
 (check all that apply)  I-B  II-B  III-B  V-B  
**Sprinklers:**  No  Partial  Yes  NFPA 13  NFPA 13R  NFPA 13D  
**Standpipes:**  No  Yes Class  I  II  III  Wet  Dry  
**Fire District:**  No  Yes **Flood Hazard Area:**  No  Yes  
**Special Inspections Required:**  No  Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

Gross Building Area Table			
FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
3 <sup>rd</sup> Floor		N/A	
2 <sup>nd</sup> Floor		N/A	
Mezzanine		N/A	
1 <sup>st</sup> Floor		N/A	
Basement		N/A	
TOTAL		N/A	

**ALLOWABLE AREA**

**Primary Occupancy Classification(s):** Select one Select one Select one Select one Select one Select one

Assembly  A-1  A-2  A-3  A-4  A-5  
 Business   
 Educational   
 Factory  F-1 Moderate  F-2 Low  
 Hazardous  H-1 Detonate  H-2 Deflagrate  H-3 Combust  H-4 Health  H-5 HPM  
 Institutional  I-1 Condition  1  2  
 I-2 Condition  1  2  
 I-3 Condition  1  2  3  4  5  
 I-4  
 Mercantile   
 Residential  R-1  R-2  R-3  R-4  
 Storage  S-1 Moderate  S-2 Low  High-piled  
 Parking Garage  Open  Enclosed  Repair Garage  
 Utility and Miscellaneous

**Accessory Occupancy Classification(s):** N/A  
**Incidental Uses** (Table 509): N/A

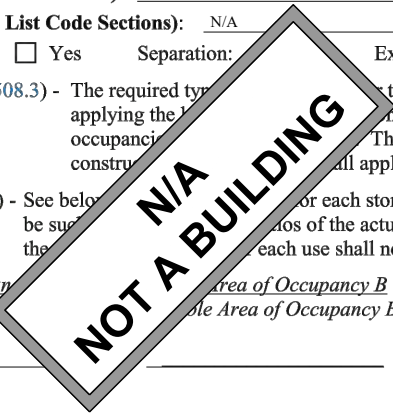
**Special Uses** (Chapter 4 – List Code Sections): N/A  
**Special Provisions:** (Chapter 5 – List Code Sections): N/A

**Mixed Occupancy:**  No  Yes Separation: \_\_\_\_\_ Exception: \_\_\_\_\_

Non-Separated Use (508.3) - The required type of occupancy for the building shall be determined by applying the most restrictive type of occupancy classification for each of the applicable occupancies. The most restrictive type of construction shall apply to the entire building.

Separated Use (508.4) - See below. For each story, the area of the occupancy shall be subdivided into areas of the actual floor area of each use divided by the area of the occupancy. Each use shall not exceed 1.

$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1.00$



PLANS PREPARED FOR:

**TowerCom**  
 5611 NC HWY 55, SUITE 201  
 DURHAM, NC 27713  
 (919) 666-2906

PROJECT INFORMATION:

**MILL CREEK**

4449 LANDI LANE  
 MEBANE, NC 27302  
 (ALAMANCE COUNTY)


PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 OFFICE: (919) 661-6351  
 www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:



June 8, 2021

11	06-08-21	ZONING
10	05-27-21	ZONING
9	05-26-21	ZONING
8	05-11-21	ZONING
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

**APPENDIX B**

SHEET NUMBER: **T-2** REVISION: **11**  
 TEP #: 249639

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 <sup>4</sup> AREA	(C) AREA FOR FRONTAGE INCREASE <sup>1,5</sup>	(D) ALLOWABLE AREA PER STORY OR UNLIMITED <sup>2,3</sup>

- <sup>1</sup> Frontage area increases from Section 506.2 are:
- a. Perimeter which fronts a public way
  - b. Total Building Perimeter
  - c. Ratio (F/P) = \_\_\_\_\_ (F/P)
  - d. W = Minimum width of public way
  - e. Percent of frontage increase =  $\frac{F}{P} \times W/30 = \text{_____} (\%)$
- <sup>2</sup> Unlimited area applicable under conditions of Section 507.
- <sup>3</sup> Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
- <sup>4</sup> The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
- <sup>5</sup> Frontage increase is based on the unsprinklered area value in Table 506.2.

NOT A BUILDING

NOT A BUILDING

ALLOWABLE HEIGHT			
	ALLOWABLE	ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)			
Building Height in Stories (Table 504.4)			

<sup>1</sup> Provide code reference if the "Shown on Plans" quantity is not by code.

**FIRE PROTECTION REQUIREMENTS**

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING		DETAIL # AND SHEET	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
		REQ'D	PROVIDED (W/REDUCTION)*				
Structural Frame, including columns, girders, trusses							
Bearing Walls							
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing Walls and Partitions							
Exterior walls							
North							
East							
West							
South							
Interior walls and partitions							
Floor Construction							
Including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Floors							
Roof Construction, including supporting beams and joists							
Roof Ceiling Assembly							
Columns Supporting Roof							
Shaft Enclosures - Exit							
Shaft Enclosures - Other							
Corridor Separation							
Occupancy/Fire Barrier Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
Tenant/Dwelling Unit/Sleeping Unit Separation							
Incidental Use Separation							

NOT A BUILDING

NOT A BUILDING

\* Indicate section number permitting reduction

PLANS PREPARED FOR:



5611 NC HWY 55, SUITE 201  
DURHAM, NC 27713  
(919) 666-2906

PROJECT INFORMATION:

**MILL CREEK**

4449 LANDI LANE  
MEBANE, NC 27302  
(ALAMANCE COUNTY)


PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:



June 8, 2021

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SHEET TITLE:

**APPENDIX B**

SHEET NUMBER: <b>T-3</b>	REVISION: <b>11</b>
	TEP #: 249639



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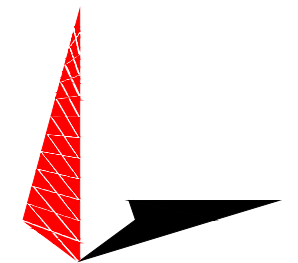
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## APPENDIX B

SHEET NUMBER:	REVISION:
<b>T-4</b>	<b>11</b>
TEP #:	249639

### PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

### LIFE SAFETY PLAN REQUIREMENTS

- Emergency Lighting:  Yes  No
- Exit Signs:  Yes  No
- Fire Alarm:  Yes  No
- Smoke Detection Systems:  Yes  Partial  No
- Panic Hardware:  Yes  No

### LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: \_\_\_\_\_

- Fire and/or smoke rated wall locations (Chapter 7)
- Assumed and real property line locations (if not on the site plan)
- Exterior wall opening area with respect to distance to assumed property lines (705.8)
- Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
- Occupant loads for each area
- Exit access travel distances (1017)
- Common path of travel distances (Tables 1006)
- Dead end lengths (1020.4)
- Clear exit widths for each exit door
- Maximum calculated occupant load that can be accommodated based on egress width (1005.3)
- Actual occupant load for each exit
- A separate schematic plan indicating floor/ceiling and/or roof structure is provided for purposes of occupancy separation (1010.1.9.1)
- Location of doors with panic hardware (1010.1.9.10)
- Location of doors with delayed egress and the amount of delay (1010.1.9.7)
- Location of doors with electromagnetic egress locks (1010.1.9.9)
- Location of doors equipped with hold-open devices
- Location of emergency escape windows (1030)
- The square footage of each fire area (202)
- The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
- Note any code exceptions or table notes that may have been utilized regarding the items above

### ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

### ACCESSIBLE

LOT OR PARKING AREA	TOTAL # OF PARKING REQUIRED	ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
		WITH AISLE	132" ACCESS AISLE	8' ACCESS AISLE	
TOTAL					

### PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE	SPACE	WATERCLOSETS			URINALS	LAVATORIES			SHOWERS /TUBS	DRINKING FOUNTAINS	
		MALE	FEMALE	UNISEX		MALE	FEM	UNISEX		REGULAR	ACCESSIBLE
EXIST'G											
NEW											
REQ'D											

### SPECIAL

Special approval: (Local Jurisdiction, Department of Health, Fire Department, etc., describe below)

**ENERGY SUMMARY**

**ENERGY REQUIREMENTS:**  
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code:  No  Yes (Provide code or reference here) \_\_\_\_\_  
(If "No", remainder of this section is not applicable)

Exempt Building:  No  Yes (Provide code or reference here) \_\_\_\_\_

Climate Zone:  3A  4A  5A  6A  7A  8A \_\_\_\_\_

Method of Compliance: Energy Code  Prescriptive  
 ASHRAE 90.1-2010  Prescriptive  
 ASHRAE 90.1-2013  Prescriptive  
 (Provide code or reference here) \_\_\_\_\_

**THERMAL ENVELOPE** (Prescriptive)

**Roof/ceiling Assembly** (each assembly)  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_  
 Skylights in each assembly:  
 U-Value of skylight: \_\_\_\_\_  
 total square footage of skylights in each assembly: \_\_\_\_\_

**Exterior Walls** (each assembly)  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_  
 Openings (windows or doors with glazing)  
 U-Value of assembly: \_\_\_\_\_  
 Solar heat gain coefficient: \_\_\_\_\_  
 projection factor: \_\_\_\_\_  
 Door R-Values: \_\_\_\_\_

**Walls below grade** (each assembly)  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_

**Floors over unconditioned space** (each assembly)  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_

**Floors slab on grade**  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_  
 Horizontal/vertical requirement: \_\_\_\_\_  
 slab heated: \_\_\_\_\_

**2018 APPENDIX B  
 BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
 STRUCTURAL DESIGN  
 (PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)**

**DESIGN LOADS:**

**Importance Factors:** Snow (I<sub>s</sub>) \_\_\_\_\_  
 Seismic (I<sub>E</sub>) \_\_\_\_\_

**Live Loads:** Roof \_\_\_\_\_ psf  
 Mezzanine \_\_\_\_\_ psf  
 Floor \_\_\_\_\_ psf

**Ground Snow Load:** \_\_\_\_\_ psf

**Wind Load:** Basic Wind Speed \_\_\_\_\_ (ASCE-7)  
 Exposure Category \_\_\_\_\_

**SEISMIC DESIGN CATEGORY:**  I  II  III  IV  D

Provide the following Seismic Design Risk Category (Table 1601-ASCE 7-16):  I  II  III  IV

**Spectral Response Acceleration Coefficient** (S<sub>1</sub>) \_\_\_\_\_ %g

**Site Classification** (ASCE 7-16):  A  B  C  D  E  F

Data Source:  Field Test  Presumptive  Historical Data

**Basic structural system:**  Bearing Wall  Dual w/Special Moment Frame  
 Building Frame  Dual w/Intermediate R/C or Special Steel  
 Moment Frame  Inverted Pendulum

**Analysis Procedure:**  Simplified  Equivalent Lateral Force  Dynamic

**Architectural, Mechanical, Components anchored?**  Yes  No

**LATERAL DESIGN CONTROL:** Earthquake  Wind

**SOIL BEARING CAPACITIES:**  
 Field Test (provide copy of test report) \_\_\_\_\_ psf  
 Presumptive Bearing capacity \_\_\_\_\_ psf  
 Pile size, type, and capacity \_\_\_\_\_

PLANS PREPARED FOR:



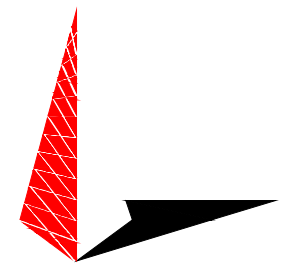
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	TEP #: 249639

**2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
MECHANICAL DESIGN  
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)**

**MECHANICAL SUMMARY**

**MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT**

**Thermal Zone**

winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_

**Interior design conditions**

winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_  
relative humidity: \_\_\_\_\_

**Building heating load:** \_\_\_\_\_

**Building cooling load:** \_\_\_\_\_

**Mechanical Spacing Conditioning System**

**Unitary**

description of unit: \_\_\_\_\_  
heating efficiency: \_\_\_\_\_  
cooling efficiency: \_\_\_\_\_  
size category of unit: \_\_\_\_\_

**Boiler**

Size category. If oversized, state reason.: \_\_\_\_\_

**Chiller**

Size category. If oversized, state reason.: \_\_\_\_\_

**List equipment efficiencies:** \_\_\_\_\_

**2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
ELECTRICAL DESIGN  
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)**

**ELECTRICAL SUMMARY**

**ELECTRICAL SYSTEM AND EQUIPMENT**

**Method of Compliance:** Energy Code  Performance ASHRAE 90.1  Prescriptive  
ASHRAE 90.1  Performance  Prescriptive

**Lighting schedule** (each fixture type)

lamp type required in fixture \_\_\_\_\_  
number of lamps in fixture \_\_\_\_\_  
ballast type used in fixture \_\_\_\_\_  
number of ballasts \_\_\_\_\_  
total wattage per fixture \_\_\_\_\_  
total interior wattage allowed (whole building or space by space) \_\_\_\_\_  
total exterior wattage allowed \_\_\_\_\_

**Additional Efficiency Package Options  
(When using the 2018 NCECC; not required for ASHRAE 90.1)**

- C406.2 More Efficient HVAC Equipment Performance
- C406.3 Reduced Lighting Power Density
- C406.4 Enhanced Digital Lighting Controls
- C406.5 On-Site Renewable Energy
- C406.6 Dedicated Outdoor Air System
- C406.7 Reduced Energy Use in Service Water Heating

PLANS PREPARED FOR:



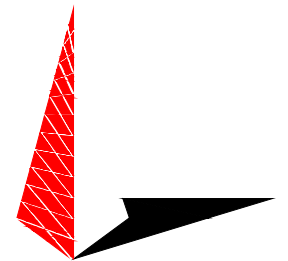
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**APPENDIX B**

SHEET NUMBER: <b>T-6</b>	REVISION: <b>11</b>
	TEP #: 249639



**GENERAL NOTES:**

- ALL REFERENCES MADE TO OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED TOWERCOM OR ITS DESIGNATED REPRESENTATIVE. ALL REFERENCES MADE TO LESSEE (TOWERCOM) IN THESE DOCUMENTS SHALL BE CONSIDERED T-MOBILE WIRELESS OR ITS DESIGNATED REPRESENTATIVE.
- ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING TO HAVE SUFFICIENT EXPERIENCE AND ABILITY, IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF NORTH CAROLINA.
- WORK SHALL BE COMPLETED IN ACCORDANCE WITH ANSI/TIA 222-H STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES, ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES AND THE 2018 NORTH CAROLINA BUILDING CODE.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
- ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
- THE LESSEE SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING THE PROPOSAL. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS (LATEST REVISION) SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LESSEE AND THE LESSEE'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE LESSEE AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE LESSEE (TOWERCOM) AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES, AND COMPLIANCE WITH LOCAL, PROVINCIAL AND FEDERAL REGULATIONS REGARDING SAFETY, SHALL BE THE CONTRACTOR'S RESPONSIBILITY, AND THIS, PER THE INTERNATIONAL CODE - REGULATORS RESPECTING OCCUPATIONAL SAFETY & HEALTH THE SUCCESSFUL CONTRACTOR WILL SUBMIT HIS SAFETY MANUAL AT THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE LESSEE (TOWERCOM)'S PROJECT MANAGER.
- BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR/LESSEE (TOWERCOM). CONTRACTOR/LESSEE (TOWERCOM) SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
- THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOF-ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE LESSEE. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
- ANY BUILDINGS ON THIS SITE ARE INTENDED TO SHELTER EQUIPMENT WHICH WILL ONLY BE PERIODICALLY MAINTAINED, AND ARE NOT INTENDED FOR HUMAN OCCUPANCY.
- TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- RENTAL CHARGES, SAFETY, PROTECTION AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO PRIOR TO THE START OF THE WORK ON THE PROJECT.

- THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY SERVICES TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REQUIREMENTS FOR NEW UTILITY CONNECTIONS PRIOR TO EXCAVATING. CONTRACTOR WILL BE RESPONSIBLE TO ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION BEFORE PROJECT COMPLETION. (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY, ETC...)
- THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR A FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF HOLDBACK.
- AWARDED CONTRACTOR WILL BE REQUIRED TO SIGN AND RETURN A COPY OF AN AWARD LETTER FOR THE LESSEE (TOWERCOM)'S FILE.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN JURISDICTION AT TIME OF BID AWARD.
- CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION STARTING AND WILL PROVIDE UPDATE/CHANGES (WITH EXPLANATIONS) TO THAT SCHEDULE WHEN/IF ITEMS ARE DELAYED OR PUSHED OUT.
- CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE PROJECT MANAGERS WITH PHOTOS OF THE MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
- CONTRACTOR SHOULD BE PREPARED FOR RANDOM SAFETY INSPECTIONS AT ALL TIMES.
- CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER LOCAL AND FEDERAL STANDARDS AT ALL TIMES.
- CONTRACTOR WILL BE REQUIRED TO OBTAIN THE NECESSARY ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY JURISDICTION.
- CONTRACTOR IS RESPONSIBLE FOR CONCRETE COMPRESSION TESTING.
- CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTING AND PROVIDING PROOF OF RESULT.
- WHEN REQUESTED, PROVIDE 3 COPIES OF FABRICATION AND ERECTION DRAWINGS PRIOR TO FABRICATION. ALLOW UP TO 1 WEEK FOR REVIEW BY CONSULTANT.
- IN ADDITION TO CONTRACTOR'S QUALITY CONTROL PROGRAM, INDEPENDENT TESTING AND INSPECTION MAY BE PERFORMED BY LESSEE (TOWERCOM) OR LESSEE (TOWERCOM)'S REPRESENTATIVE.
- SUBMIT RED-LINES COPY OF CONSTRUCTION DRAWINGS UPON COMPLETION OF CONSTRUCTION HIGHLIGHTING CHANGES IN THE STAMPED AND SIGNED AS-BUILT CONDITION FROM SHOWN ON THE DRAWINGS.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL GRADING AND FILL COMPACTION TESTING REQUIRED AS SET FORTH IN THE GEO TECHNOLOGICAL REPORT PROVIDED BY LESSEE (TOWERCOM).

**CONCRETE:**

- ALL CONCRETE AND CONCRETE MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 NORTH CAROLINA BUILDING CODE.
- THE CONTRACTOR SHALL TAKE SAMPLES OF THE CONCRETE POURED UNDER THE CONDITIONS OUTLINED IN THE 2018 NORTH CAROLINA BUILDING CODE.
- ANY FAILURE OF A CONCRETE TEST CYLINDER TO MEET THE SPECIFIED STRENGTH REQUIREMENTS MUST BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY. CORRECTIVE ACTION MUST BE APPROVED BY THE ENGINEER AND ALL RELATED COSTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- THE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF THE CONCRETE SHALL BE A MINIMUM OF 3,000 PSI (21 MPA), EXCEPT AS NOTED OR DIRECTED IN THE SOIL REPORT. THE CONCRETE, WHEN POURED, SHALL CONTAIN 7% AIR ENTRAINMENT WITH AN ALLOWABLE VARIATION OF +2%.
- CONTRACTOR MUST TAKE SLUMP TEST AT LEAST ONCE FROM EACH TRANSIT MIXER AFTER A MINIMUM OF 5% CONCRETE LOAD HAD BEEN DISCHARGED. SLUMP, UNLESS NOTED OTHERWISE ON THE DRAWINGS, SHALL BE 75 MM (2.95 INCHES).
- MIXED CONCRETE ON SITE (REMOTE AREAS) WITH THE CORRECT PROPORTION OF CEMENT, SAND, GRAVEL, AND AIR-ENTRAINING AGENT ALREADY ADDED, THE DRY PREMIX IS TO BE MIXED IN A CONCRETE BATCHER IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- BEFORE POURING CONCRETE, THE TRANSPORTING EQUIPMENT AND FORMS SHALL BE CLEANED AND ALL DEBRIS AND ICE SHALL BE REMOVED FROM PLACES TO BE OCCUPIED BY THE CONCRETE. ANY WATER THAT HAS ACCUMALATED IN THE FORMS SHALL BE REMOVED.
- ALL CONCRETE SHALL BE VIBRATED AND WORKED AROUND THE REINFORCEMENTS, EMBEDDED FIXTURES AND INTO THE CORNERS OF THE FORMS. ANY EXCESS WATER THAT ACCUMULATES WHILE THE CONCRETE IS BEING POURED SHALL BE REMOVED.

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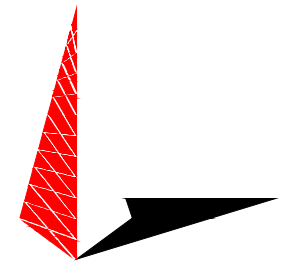
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**GENERAL NOTES I**

SHEET NUMBER:

**N-1**

REVISION:

**11**

TEP #: 249639

**CONCRETE (CONTINUED):**

9. THE DESIGN ENGINEER SHALL RECEIVE A MINIMUM OF 24 HOURS NOTICE OF EVERY POUR.
10. THE CONCRETE IN FOUNDATIONS MUST BE POURED IN CONTINUOUS POURS BETWEEN CONSTRUCTION JOINTS. NO CONSTRUCTION JOINTS OTHER THAN THOSE SHOWN ON SITE SPECIFIC DRAWINGS WILL BE PERMITTED. THE CONTRACTOR SHALL PROVIDE EFFICIENT EQUIPMENT TO COMPLETE THE POURING OF EACH SECTION IN ONE CONTINUOUS POUR.
11. ALL FRAMEWORK SHALL BE BUILT IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE SHALL BE THOROUGHLY BRACED AND PLUMBED SO THAT THE FINISHED CONCRETE WILL CONFORM TO THE SHAPES, LINES, GRADES, AND DIMENSIONS INDICATED ON THE SITE DRAWINGS.
12. FORMS AND SHORING SHALL NOT BE REMOVED UNTIL THE CONCRETE IS ADEQUATELY SET. THEIR REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO ENSURE THE COMPLETE SAFETY OF THE STRUCTURE.
13. FORMS WHICH SUPPORT THE WEIGHT OF THE CONCRETE, OR OF SUPERIMPOSED LOADS, SHALL NOT BE REMOVED UNTIL THE CONCRETE IS STRONG ENOUGH TO CARRY ITS OWN WEIGHT, AND SUCH SUPERIMPOSED LOADS AS MAY BE PLACED UPON IT.
14. THE CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR AT LEAST 5 DAYS AFTER IT HAS BEEN POURED.
15. ALL SURFACES WHICH ARE NOT PROTECTED BY FORMS OR A SEALED WATERPROOF COATING SHALL BE KEPT MOIST BY CONTINUOUS SPRINKLING, OR OTHER MEANS SUCH AS COVERING WITH MOIST SAND, SAWDUST, OR BURLAP.
16. WHERE NECESSARY, THE CONCRETE SHALL BE PROTECTED AGAINST THE WEATHER BY A FRAMED HOUSING, TARPULINS, OR OTHER SUITABLE COVERING.

**REINFORCING STEEL (REBAR):**

1. REINFORCING STEEL SHALL MEET CODE AND BE PLACED ACCORDING TO THE APPLICABLE DRAWINGS. THE MINIMUM THICKNESS OF CONCRETE OVER THE STEEL SHALL BE AT LEAST 3".
2. ALL REINFORCEMENTS THAT ARE REQUIRED FOR A DAYS POUR ON CONCRETE SHALL BE SECURELY FIXED IN PLACE IN SUFFICIENT TIME TO PERMIT INSPECTION BEFORE CONCRETING BEGINS.
3. THE DESIGN ENGINEER SHALL BE GIVEN 24 HOURS NOTICE BEFORE THE CONCRETE IS TO BE POURED. FAILURE TO COMPLY MAY NECESSITATE, BUT NOT BE LIMITED TO, THE REMOVAL OF THE POURED CONCRETE AT THE CONTRACTOR'S EXPENSE.

**GROUTING:**

1. WHERE GROUT IS INDICATED ON THE DRAWINGS UNDER STRUCTURAL BASE PLATES, THIS SHALL BE A NON-SHRINK, NON-FERROUS TYPE. METHODS OF MIXING AND PLACING MUST BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

**COLD WEATHER CONCRETING:**

1. THE CONTRACTOR SHALL PROVIDE AND HAVE ON THE SITE READY FOR USE, ADEQUATE EQUIPMENT FOR HEATING CONCRETE MATERIALS AND PROTECTING FRESH CONCRETE DURING FREEZING OR NEAR FREEZING WEATHER CONDITIONS, ACCORDING TO THE NORTH CAROLINA UNIFORM STATEWIDE BUILDING CODE.
2. ALL CONCRETE MATERIALS, REBAR, FORMS, FILLERS, AND THE EARTH WITH WHICH THE CONCRETE IS TO COME INTO CONTACT WITH, SHALL BE FREE FROM FROST AND ICE.
3. WHENEVER THE SURROUNDING TEMPERATURE IS BELOW 39°F, ALL CONCRETE POURED IN THE FORMS SHALL HAVE A TEMPERATURE OF 68°F FOR 4 DAYS.
4. THE HOUSING, COVERING, OR OTHER PROTECTION USED FOR THE CURING SHALL REMAIN IN PLACE AND INTACT FOR AT LEAST 24 HOURS AFTER THE ARTIFICIAL HEATING IS DISCONTINUED.
5. SALT, CALCIUM CHLORIDE, OR OTHER CHEMICALS SHALL NOT BE USED IN THE CONCRETE MIX TO PREVENT THE WATER CONTENT FROM FREEZING.

**UTILITIES:**

1. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. LOCATION OF EXISTING SEWER, WATER LINES, GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATELY CORRECT. CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OF ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, OR IF THERE APPEARS TO BE A CONFLICT.
2. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY LESSEES AND CONSTRUCTION MANAGER.
3. DAMAGE BY THE CONTRACTOR TO UTILITIES OR PROPERTY OF OTHERS, INCLUDING EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE LESSEE (TOWERCOM). FOR GRASSES AREAS, SEED AND MULCH SHALL BE ACCEPTABLE.
4. THE CONTRACTOR SHALL COORDINATE WITH THE LESSEE (TOWERCOM) THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
5. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF NEW UNDERGROUND TELEPHONE SERVICE WITH THE TELEPHONE UTILITY AND THE LESSEE (TOWERCOM)'S REQUIREMENTS.
6. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORY PRIOR TO COMMENCING ANY PAVING OPERATIONS WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.

PLANS PREPARED FOR:



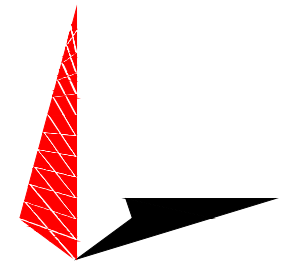
5611 NC HWY 55, SUITE 201  
DURHAM, NC 27713  
(919) 666-2906

PROJECT INFORMATION:

**MILL CREEK**

4449 LANDI LANE  
MEBANE, NC 27302  
(ALAMANCE COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**

326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:



June 8, 2021

11	06-08-21	ZONING
10	05-27-21	ZONING
9	05-26-21	ZONING
8	05-11-21	ZONING
REV	DATE	ISSUED FOR:

DRAWN BY: GLB      CHECKED BY: JKW

SHEET TITLE:

**GENERAL NOTES II**

SHEET NUMBER:

**N-2**

REVISION:

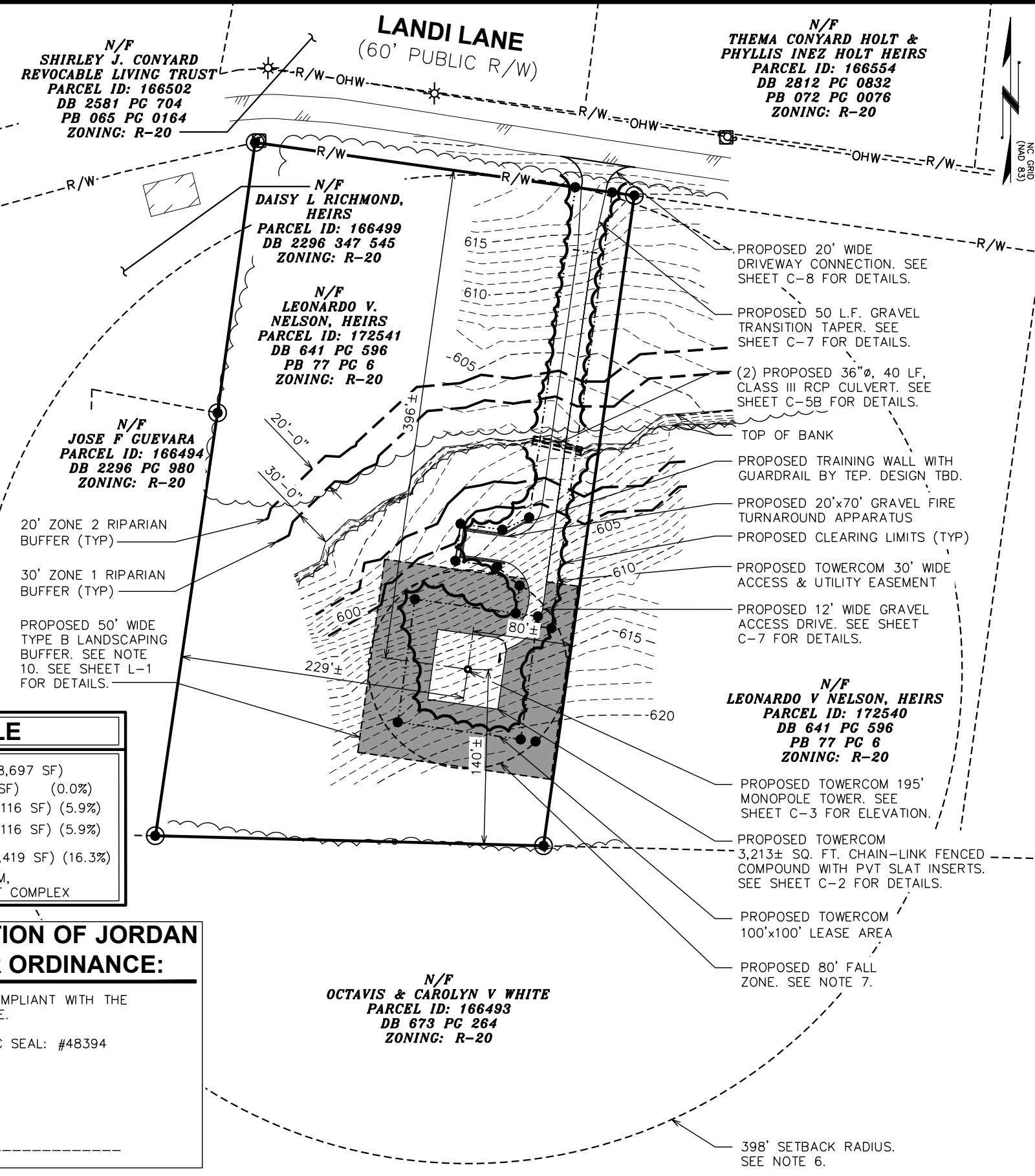
**11**

TEP #: 249639



**NOTES:**

1. BASIS OF THE BEARINGS AND COORDINATES IS THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (NC NAD 83/2011) BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON AUGUST 24, 2020.
2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88), IS EXPRESSED IN FEET.
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" (AREA DETERMINED TO BE OUTSIDE THE 0.2% CHANCE OF ANNUAL FLOOD) ACCORDING TO FEMA COMMUNITY PANEL #3710981600K, EFFECTIVE NOVEMBER 17, 2017.
5. EXISTING VEGETATION SHALL BE UTILIZED IN LIEU OF LANDSCAPING UNLESS EXISTING VEGETATION WITHIN THE PROPOSED LANDSCAPING BUFFER DOES NOT MEET LANDSCAPING REQUIREMENTS PER ARTICLE 6-3 OF THE CITY OF MEBANE UNIFIED DEVELOPMENT ORDINANCE.
6. NO RESIDENTIALLY ZONED STRUCTURES ARE LOCATED WITHIN 398' (2x TOWER HEIGHT) OF THE PROPOSED TOWER.
7. TOWER SETBACKS (PER CITY OF MEBANE UDO SECTION 4-7.9.E(2)(g)(ii):  
 -ADJACENT PARCEL BOUNDARIES: (FALL ZONE) = 80' (VARIANCE NEEDED)  
 -PUBLIC RIGHT-OF-WAY: (1.0)\*(TOWER HEIGHT) = (1.0)\*(199') = 199'  
 -RESIDENTIAL STRUCTURES: (2.0)\*(TOWER HEIGHT) = (2.0)\*(199') = 398'  
 -NEAREST RESIDENTIAL STRUCTURE IS APPROXIMATELY 444' FROM PROPOSED TOWER CENTERLINE.
8. PROPOSED SITE LOCATION WITHIN THE GRAHAM-MEBANE LAKE WATERSHED CRITICAL AREA. WATER SUPPLY WATERSHED CLASSIFICATIONS WS-IIC & WS-II NSWC.
9. PROPOSED SITE LOCATION IS NOT WITHIN THE 5%/70% DISTRICT.
10. THE PROPOSED 50' WIDE LANDSCAPING BUFFER (BOTH WITHIN AND EXTENDING BEYOND THE 100'x100' LEASE AREA) SHALL BE MAINTAINED FOR BUFFER PURPOSES, AND SHALL NOT BE RE-PURPOSED OR DISTURBED FOR ALTERNATE LAND USE.



PLANS PREPARED FOR:

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PROJECT INFORMATION:

**MILL CREEK**

4449 LANDI LANE  
 MEBANE, NC 27302  
 (ALAMANCE COUNTY)

PLANS PREPARED BY:

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 326 TRYON ROAD  
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 OFFICE: (919) 661-6351  
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 N.C. LICENSE # C-1794

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8	05-11-21	ZONING

DRAWN BY: GLB      CHECKED BY: JKW

SHEET TITLE:

**SITE PLAN**

SHEET NUMBER: **C-1**      REVISION: **11**

TEP #: 249639

**LEGEND**

- EXIST. PROPERTY LINE
- - - ADJ. PROPERTY LINE
- ⊕ EXIST. UTILITY POLE
- Ⓣ EXIST. TELCO PEDESTAL
- PROPERTY CORNER
- LEASE/EASE. CORNER
- - - 200 - - - EXIST. CONTOUR LINE
- /// EDGE OF PAVEMENT
- - - OHW - - - OVERHEAD WIRE
- - - R/W - - - RIGHT-OF-WAY
- X - CHAIN LINK FENCE
- ~ ~ ~ EXISTING TREE LINE

**SITE DATA TABLE**

TOTAL PARCEL AREA:	3.87 ACRES±, (168,697 SF)
EXISTING IMPERVIOUS:	0.00 ACRES±, (0 SF) (0.0%)
PROPOSED IMPERVIOUS:	0.23 ACRES±, (10,116 SF) (5.9%)
TOTAL IMPERVIOUS:	0.23 ACRES±, (10,116 SF) (5.9%)
TOTAL PROPOSED DISTURBED AREA:	0.63 ACRES±, (27,419 SF) (16.3%)
SOIL TYPES:	CULLEN CLAY LOAM, MANDALE-SECRET COMPLEX

**ENGINEERS CERTIFICATION OF JORDAN LAKE RIPARIAN BUFFER ORDINANCE:**

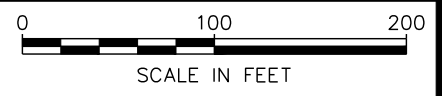
THE PROPOSED DEVELOPMENT AREA IS COMPLIANT WITH THE JORDAN LAKE RIPARIAN BUFFER ORDINANCE.

ENGINEER: JEREMY K. WOOSTER, P.E.      NC SEAL: #48394

SIGNATURE: \_\_\_\_\_

**SITE PLAN**

SCALE: 1" = 50'



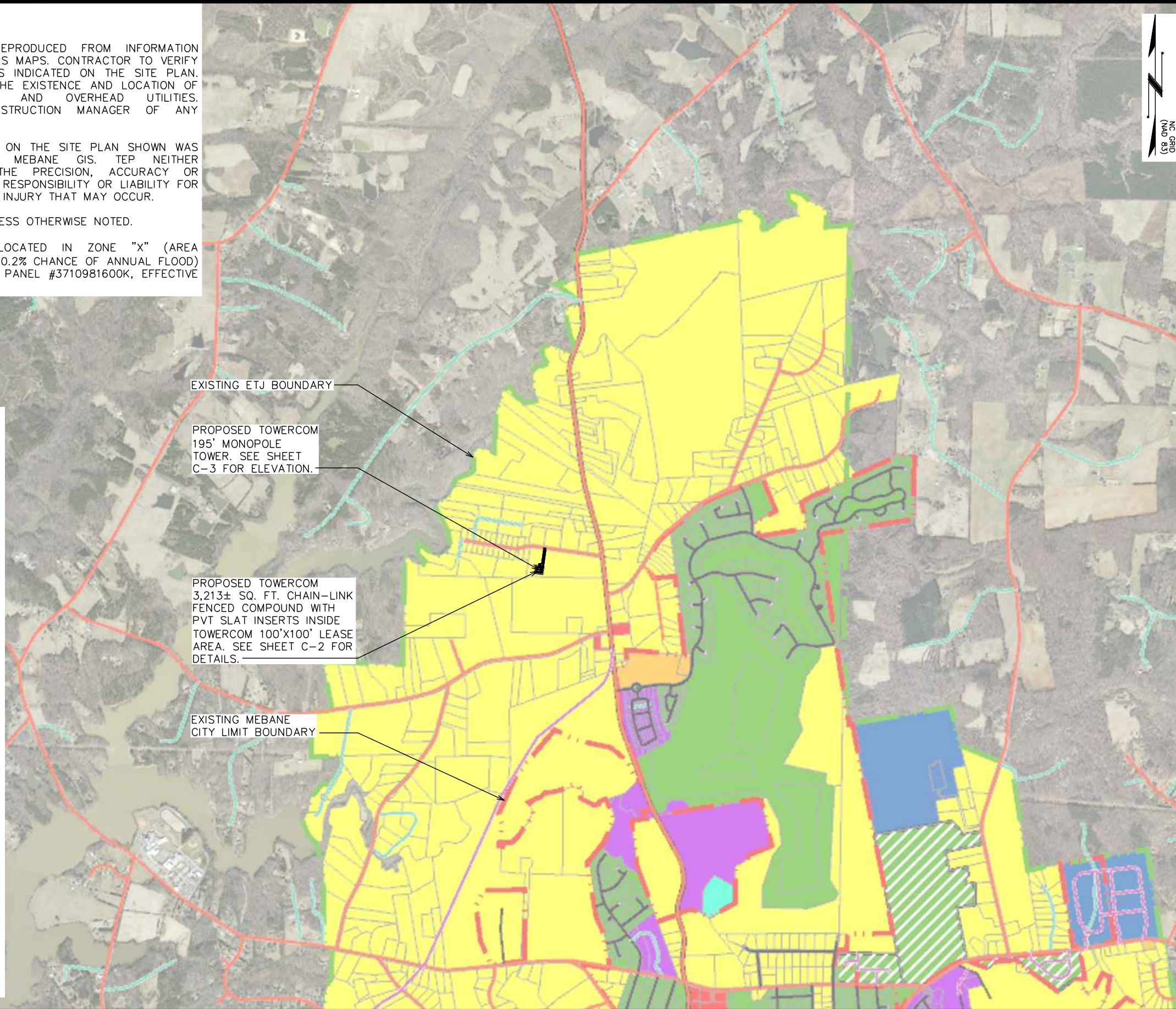


**NOTES:**

1. THE SITE PLAN BELOW IS REPRODUCED FROM INFORMATION PROVIDED BY CITY OF MEBANE GIS MAPS. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IS AS INDICATED ON THE SITE PLAN. CONTRACTOR IS TO ESTABLISH THE EXISTENCE AND LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES. IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
2. EXISTING INFORMATION INDICATED ON THE SITE PLAN SHOWN WAS REPRODUCED FROM CITY OF MEBANE GIS. TEP NEITHER GUARANTEES, NOR ENSURES THE PRECISION, ACCURACY OR CORRECTNESS AND ASSUMES NO RESPONSIBILITY OR LIABILITY FOR DAMAGES, LOSS OF REVENUE, OR INJURY THAT MAY OCCUR.
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" (AREA DETERMINED TO BE OUTSIDE THE 0.2% CHANCE OF ANNUAL FLOOD) ACCORDING TO FEMA COMMUNITY PANEL #3710981600K, EFFECTIVE NOVEMBER 17, 2017.

**ZONING**

	B-1
	B-2
	Combo B-2 & M-1
	B-2(CD)
	B-3
	CU-B2
	M-1
	M-1(CD)
	M-2
	MHP
	O&I
	O&I(CD)
	R-10
	R-12
	R-12(CD)
	R-15
	R-20
	R-6
	R-6(CD)
	R-8
	R-8(CD)



PLANS PREPARED FOR:



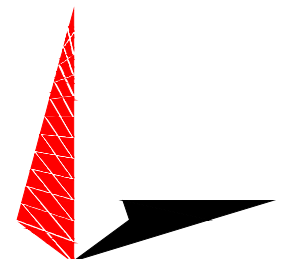
5611 NC HWY 55, SUITE 201  
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(919) 666-2906

PROJECT INFORMATION:

**MILL CREEK**

4449 LANDI LANE  
MEBANE, NC 27302  
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PLANS PREPARED BY:



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DRAWN BY: GLB      CHECKED BY: JKW

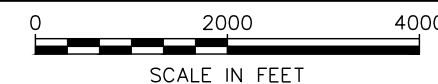
SHEET TITLE:

**VICINITY MAP**

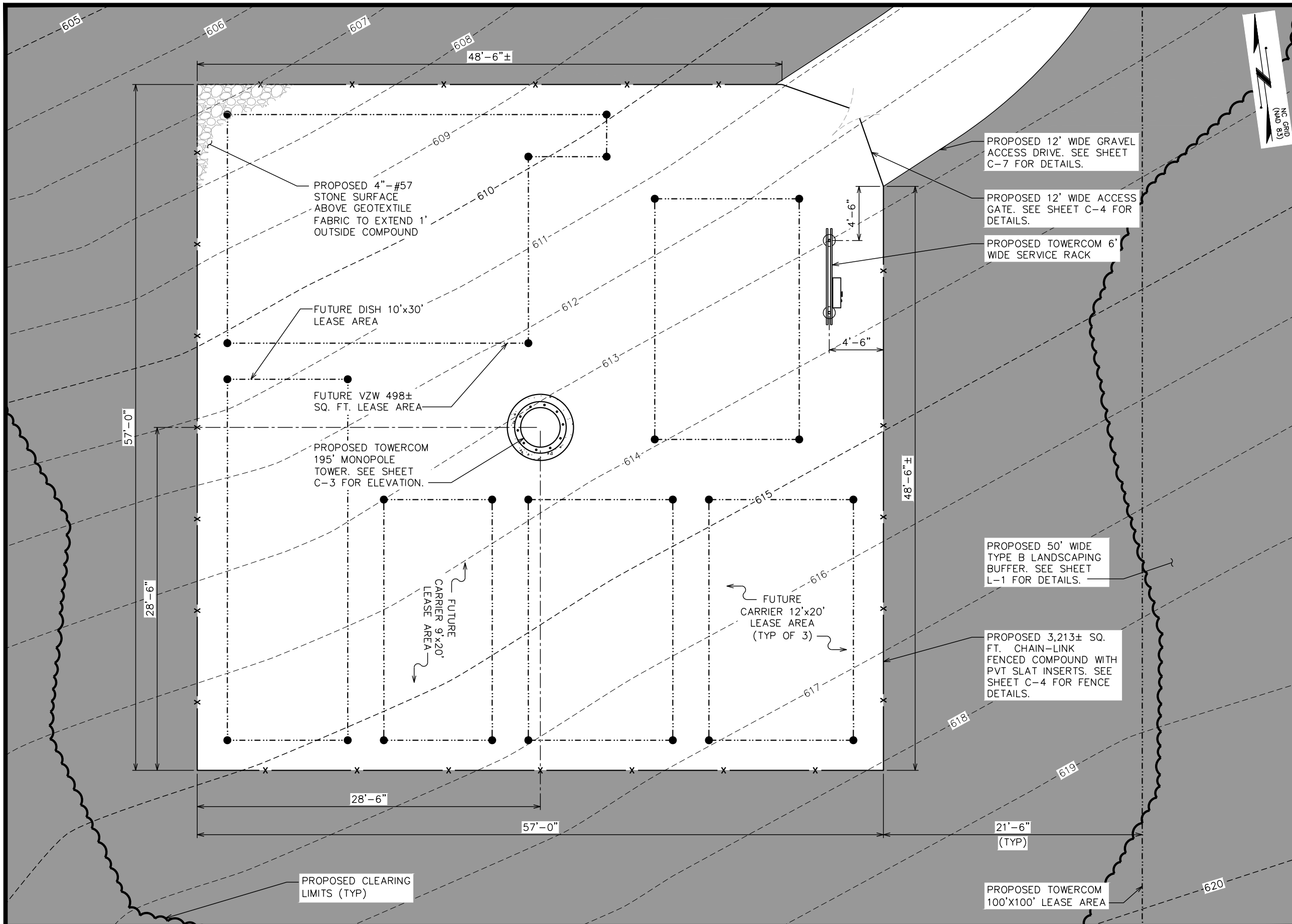
SHEET NUMBER:	REVISION:
<b>C-1A</b>	<b>11</b>
TEP #:	249639

**VICINITY MAP**

SCALE: 1" = 1000'








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PROJECT INFORMATION:  
**MILL CREEK**  
 4449 LANDI LANE  
 MEBANE, NC 27302  
 (ALAMANCE COUNTY)

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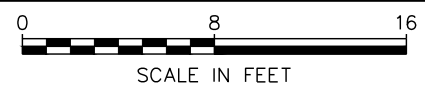
REV	DATE	ISSUED FOR:
11	06-08-21	ZONING
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8	05-11-21	ZONING

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SHEET TITLE:  
**COMPOUND DETAIL**

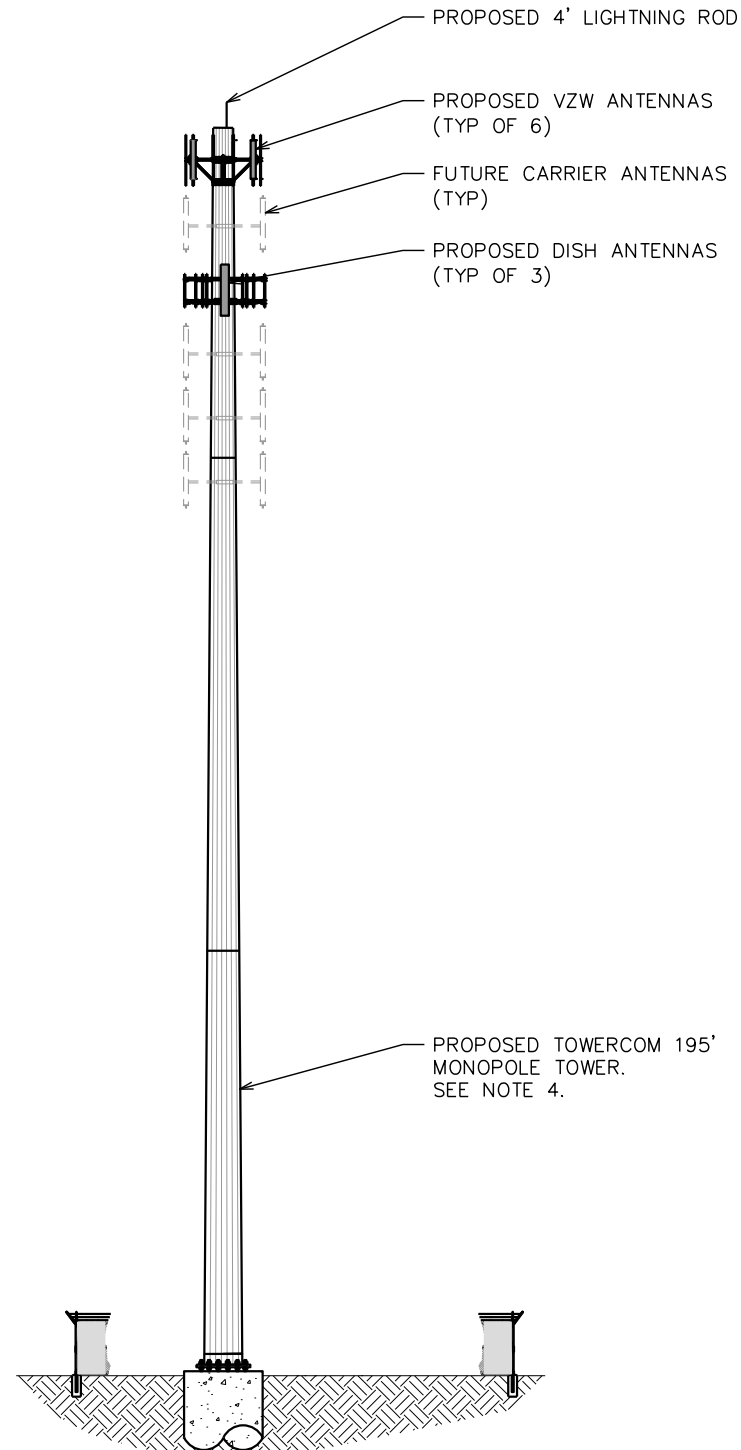
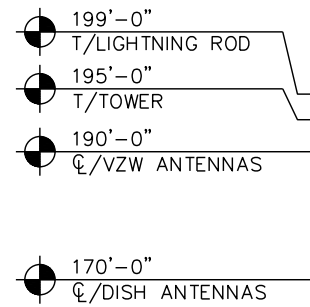
SHEET NUMBER:  
**C-2**  
 REVISION:  
**11**  
 TEP #: 249639

**COMPOUND DETAIL**  
 SCALE: 1/4" = 1'-0"



**NOTES:**

1. PROPOSED CABLES TO BE RUN AS PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS. IF PROPOSED CABLE TO BE RUN INSIDE TOWER USING HOISTING GRIPS (AS DIRECTED BY TOWER MANUFACTURER).
2. TOWER ELEVATION SHOWN FOR REFERENCE ONLY. VERIFY ACTUAL TOWER DESIGN & LOADING WITH TOWER DRAWINGS FROM MANUFACTURER AND/OR PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY PROPOSED LOADING WITH PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION. CONTACT USCC IN THE EVENT OF ANY DISCREPANCIES.
4. PROPOSED TOWER TO BE DESIGNED TO ACCOMMODATE AT LEAST (6) ANTENNA ARRAYS PER SECTION 4-7.9(2)(I)(VI) OF THE CITY OF MEBANE WIRELESS COMMUNICATION FACILITIES ORDINANCE.



PLANS PREPARED FOR:



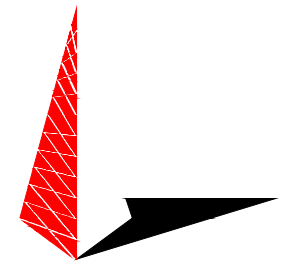
5611 NC HWY 55, SUITE 201  
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(919) 666-2906

PROJECT INFORMATION:

**MILL CREEK**

4449 LANDI LANE  
MEBANE, NC 27302  
(ALAMANCE COUNTY)

PLANS PREPARED BY:



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REV	DATE	ISSUED FOR:

DRAWN BY: GLB      CHECKED BY: JKW

SHEET TITLE:

**TOWER ELEVATION**

SHEET NUMBER:

**C-3**

REVISION:

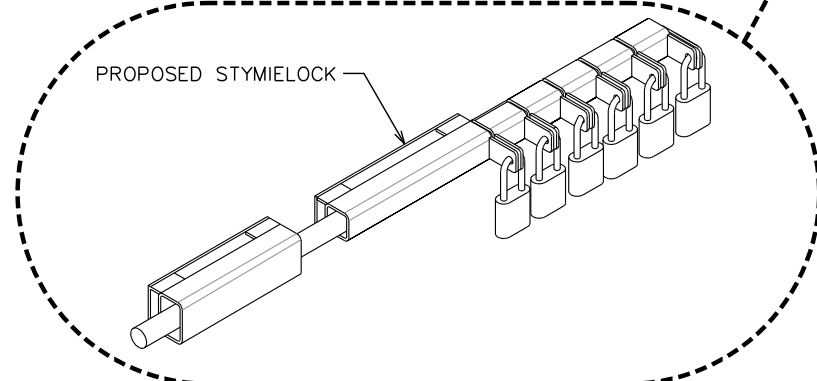
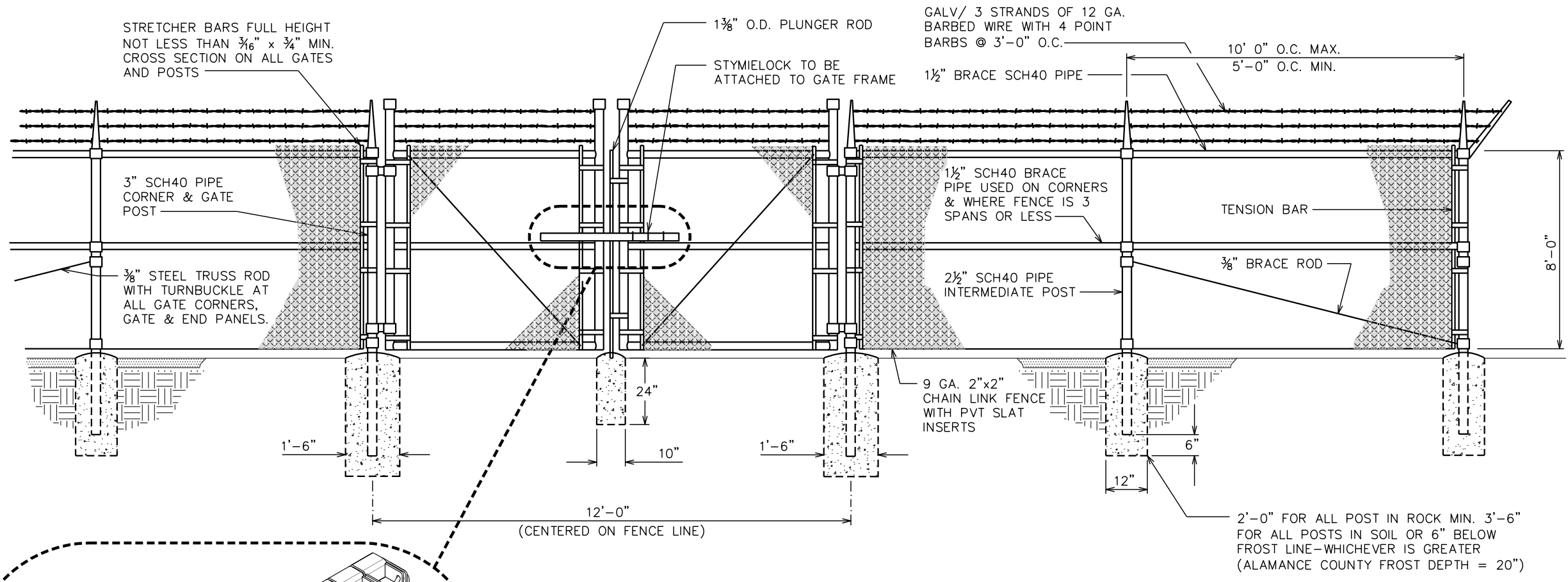
**11**

TEP #: 249639

**TOWER ELEVATION**

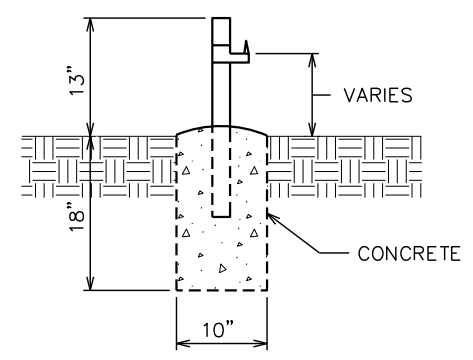
SCALE: 1" = 15'





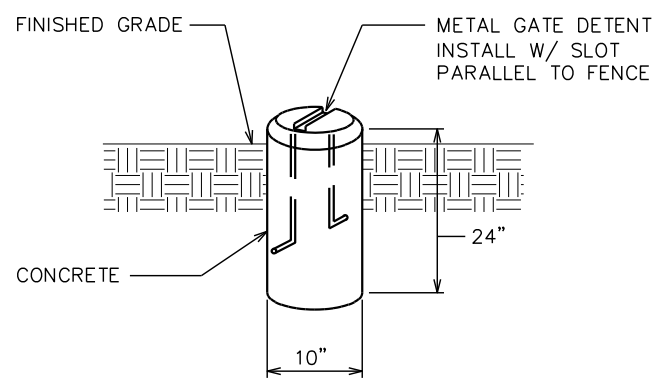
**TYPICAL FENCE ELEVATION**

SCALE: N.T.S.



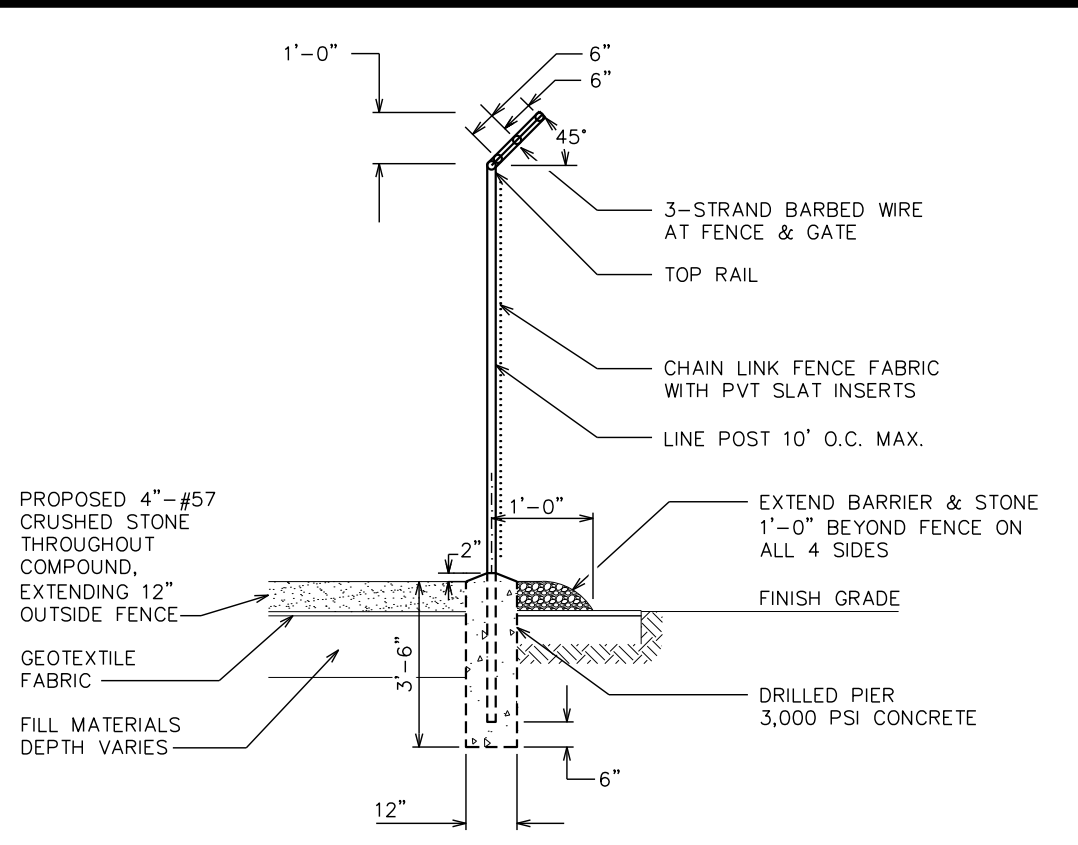
**GATE STOP / KEEPER DETAIL**

SCALE: N.T.S.



**GATE DETENT DETAIL**

SCALE: N.T.S.



**FENCE / BARBED WIRE ARM DETAIL**

SCALE: N.T.S.

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REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

**FENCE DETAILS**

SHEET NUMBER: **C-4** REVISION: **11**

TEP #: 249639

**NOTES:**

1. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS COMPOUND.
2. TOWERCOM IS THE PARTY RESPONSIBLE FOR OPERATION & MAINTENANCE OF THE DISTURBANCE.

**LEGEND**

SILT FENCE	
LODA	
TREE PROTECTION FENCE	

TOP OF BANK

30' ZONE 1 RIPARIAN BUFFER (TYP)

20' ZONE 2 RIPARIAN BUFFER (TYP)

PROPOSED SILT FENCE OUTLET (TYP). SEE SHEET C-6A FOR DETAILS.

PROPOSED SILT FENCE (TYP), SEE SHEET C-6A FOR DETAILS.

PROPOSED TREE PROTECTION FENCE (TYP). SEE SHEET C-6A FOR DETAILS.

PROPOSED CLEARING LIMITS (TYP)

T/WALL = 609.0'±  
B/WALL = 603.4'±

T/WALL = 609.9'±  
B/WALL = 604.2'±

T/WALL = 609.9'±  
B/WALL = 609.0'±

613.3'±

617.5'±

618.1'±

619.9'±

618.7'±

T/WALL = 607.9'±  
B/WALL = 607.4'±

T/WALL = 609.1'±  
B/WALL = 605.0'±

PROPOSED DITCH 1.  
BOTTOM WIDTH = 0'  
SIDE SLOPE = 2:1  
DEPTH = 1'-0"  
AVG. LONG. SLOPE = 10.0%

APPROXIMATE LIMITS OF DISTURBED AREA  
(0.63 AC, ±27,419 SQ. FT.)

MATCH LINE "A"



PLANS PREPARED FOR:



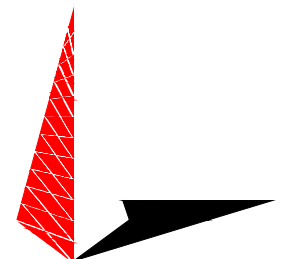
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SHEET TITLE:

**GRADING & EROSION CONTROL PLAN I**

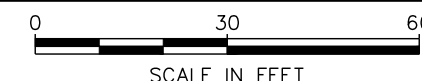
SHEET NUMBER:	REVISION:
<b>C-5A</b>	<b>11</b>
	TEP #: 249639

**SITE DATA TABLE**

TOTAL PARCEL AREA:	3.87 ACRES±, (168,697 SF)
EXISTING IMPERVIOUS:	0.00 ACRES±, (0 SF) (0.0%)
PROPOSED IMPERVIOUS:	0.23 ACRES±, (10,116 SF) (5.9%)
TOTAL IMPERVIOUS:	0.23 ACRES±, (10,116 SF) (5.9%)
TOTAL PROPOSED DISTURBED AREA:	0.63 ACRES±, (27,419 SF) (16.3%)
SOIL TYPES:	CULLEN CLAY LOAM, MANDALE-SECRET COMPLEX

**GRADING & EROSION CONTROL PLAN**

SCALE: 1" = 15'



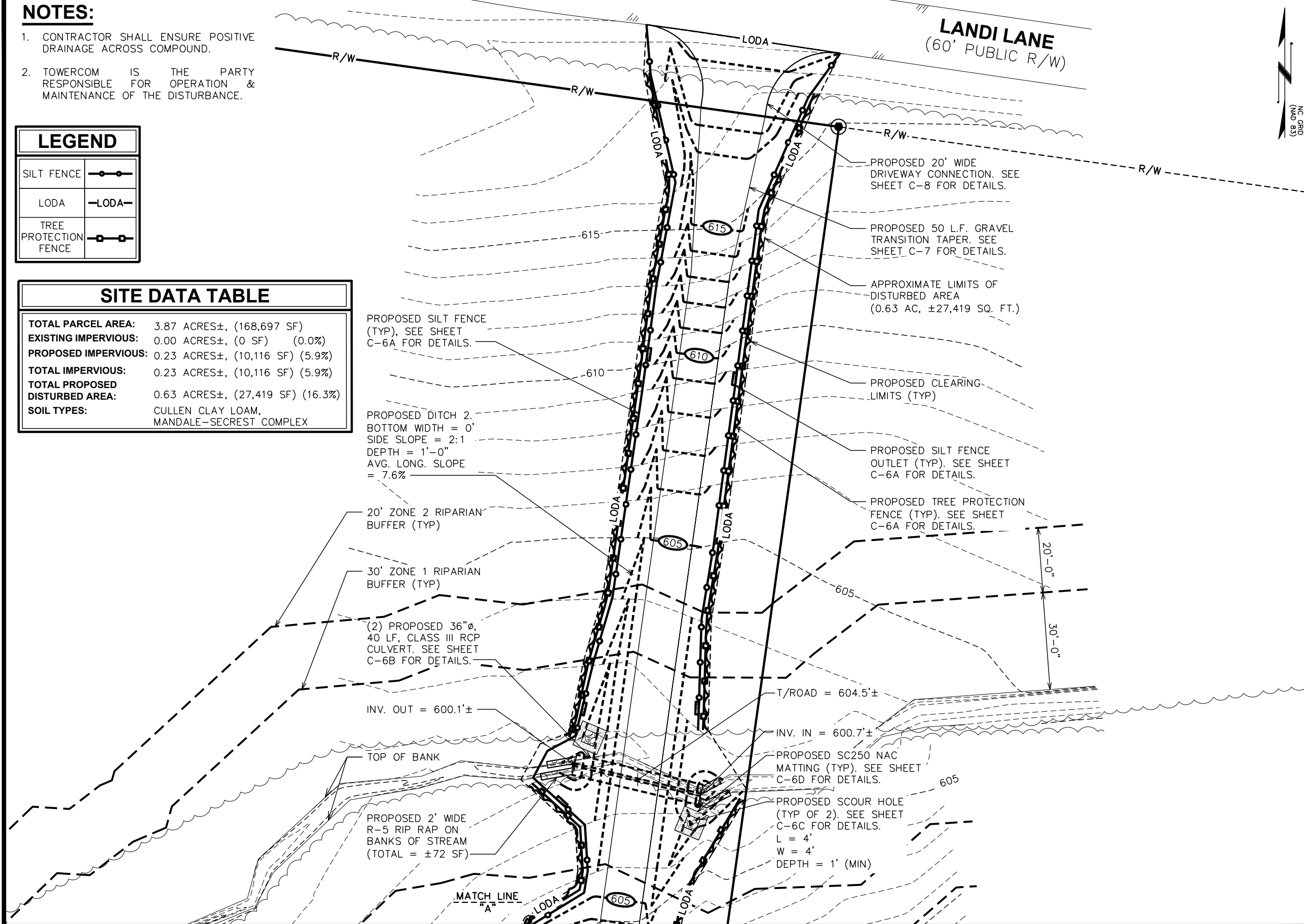


**NOTES:**

1. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS COMPOUND.
2. TOWERCOM IS THE PARTY RESPONSIBLE FOR OPERATION & MAINTENANCE OF THE DISTURBANCE.

LEGEND	
SILT FENCE	
LODA	
TREE PROTECTION FENCE	

SITE DATA TABLE	
TOTAL PARCEL AREA:	3.87 ACRES±, (168,697 SF)
EXISTING IMPERVIOUS:	0.00 ACRES±, (0 SF) (0.0%)
PROPOSED IMPERVIOUS:	0.23 ACRES±, (10,116 SF) (5.9%)
TOTAL IMPERVIOUS:	0.23 ACRES±, (10,116 SF) (5.9%)
TOTAL PROPOSED DISTURBED AREA:	0.63 ACRES±, (27,419 SF) (16.3%)
SOIL TYPES:	CULLEN CLAY LOAM, MANDALE-SECRET COMPLEX



**GRADING & EROSION CONTROL PLAN**

SCALE: 1" = 15'



PLANS PREPARED FOR:



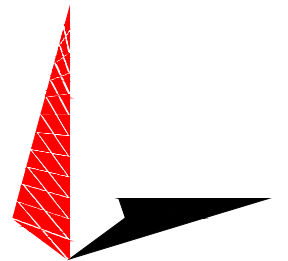
5611 NC HWY 55, SUITE 201  
DURHAM, NC 27713  
(919) 666-2906

PROJECT INFORMATION:

**MILL CREEK**

4449 LANDI LANE  
MEBANE, NC 27302  
(ALAMANCE COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**

326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:



June 8, 2021

REV	DATE	ISSUED FOR:
11	06-08-21	ZONING
10	05-27-21	ZONING
9	05-26-21	ZONING
8	05-11-21	ZONING

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

**GRADING & EROSION CONTROL PLAN II**

SHEET NUMBER: REVISION:

**C-5B**

**11**

TEP #: 249639



### CONSTRUCTION SEQUENCE:

1. REQUEST PRECONSTRUCTION MEETING.
2. OBTAIN GRADING PERMIT.
3. INSTALL ALL EROSION CONTROL MEASURES AS SHOWN.
4. OBTAIN CERTIFICATE OF COMPLIANCE THROUGH ON-SITE INSPECTION BY EROSION CONTROL OFFICER.
5. PROCEED WITH CLEARING AND GRADING UP TO EXISTING CREEK.
6. SET UP DIVERSION PUMP AT THE CREEK. INSTALL THE CULVERT DURING 24 HOURS OF DRY WEATHER WHILE PUMPING THE WATER FROM THE CREEK BED UPSTREAM AROUND THE CONSTRUCTION AREA TO THE CREEK BED DOWNSTREAM. IF THIS PROCESS CANNOT BE COMPLETED IN LESS THAN 24 HOURS, A DIVERSION DITCH MUST BE USED WHILE INSTALLING THE CULVERT.
7. PROCEED WITH THE REMAINDER OF CLEARING AND GRADING.
8. CLEAN SEDIMENT BASINS WHEN ONE-HALF FULL.
9. SEED AND MULCH DENUDED AREA WITHIN 15 DAYS AFTER ANY PHASE OF GRADING.
10. MAINTAIN SOIL EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
11. REQUEST FINAL APPROVAL BY EROSION CONTROL OFFICER.
12. REMOVE SOIL EROSION CONTROL MEASURES AND STABILIZE THESE AREAS.

### SEEDBED PREPARATION & SOIL AMENDMENTS:

1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2. RIP THE ENTIRE AREA TO 6 INCHES DEPTH.
3. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
4. PER ONE TIME ONLY, APPLY THE FOLLOWING UNIFORMLY AND MIX WITH SOIL:  
 AGRICULTURAL LIMESTONE – 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)  
 FERTILIZER – 1,000 LB/ACRE – 10-10-10  
 SUPERPHOSPHATE – 500 LB/ACRE – 20% ANALYSIS  
 MULCH – 2 TONS/ACRE – SMALL GRAIN STRAW  
 ANCHOR – ASPHALT EMULSION AT 300 GAL/ACRE
5. CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
6. SEED ON A FRESHLY PREPARED SEEDBED AND COVER.
7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME FERTILIZER AND SEEDING RATES.
9. CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

PLANS PREPARED FOR:



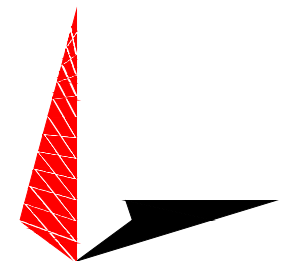
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 DURHAM, NC 27713  
 (919) 666-2906

PROJECT INFORMATION:

### MILL CREEK

4449 LANDI LANE  
 MEBANE, NC 27302  
 (ALAMANCE COUNTY)

PLANS PREPARED BY:



### TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD  
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 www.tepgroup.net

N.C. LICENSE # C-1794

### CONSTRUCTION SEQUENCE

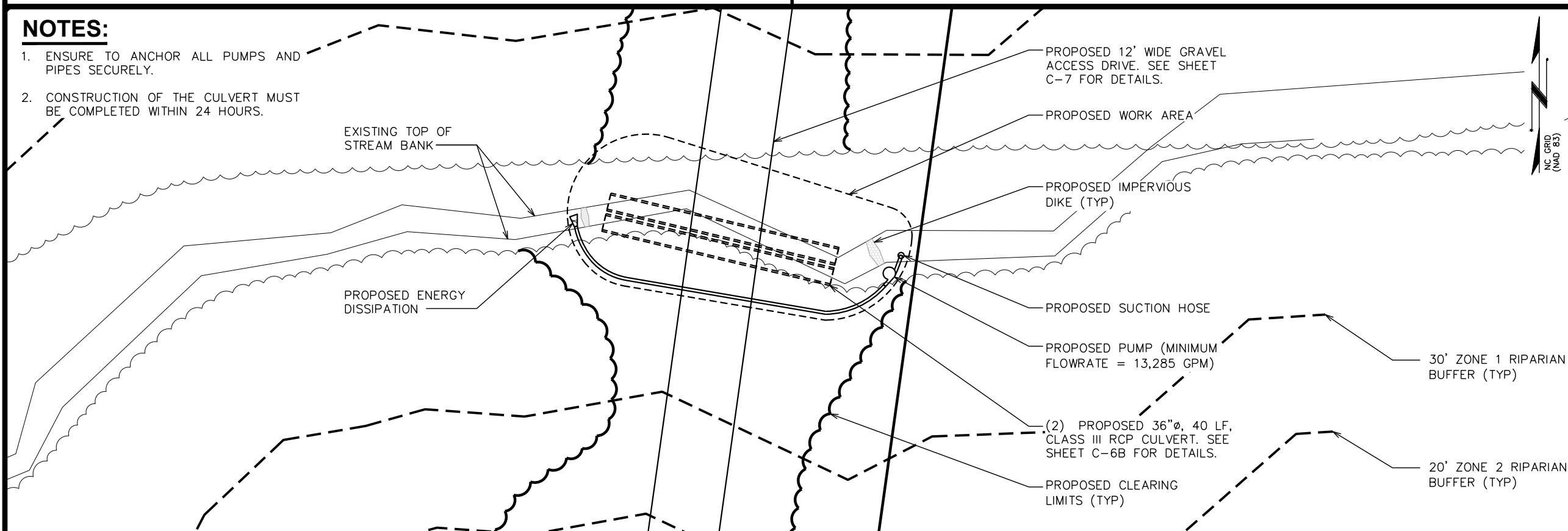
SCALE: N.T.S.

### SEEDBED PREPARATION & SOIL AMENDMENTS

SCALE: N.T.S.

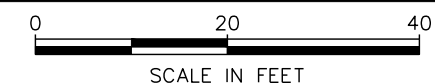
### NOTES:

1. ENSURE TO ANCHOR ALL PUMPS AND PIPES SECURELY.
2. CONSTRUCTION OF THE CULVERT MUST BE COMPLETED WITHIN 24 HOURS.



### CLEAN WATER DIVERSION PLAN

SCALE: 1" = 10'



SEAL:



June 8, 2021

11	06-08-21	ZONING
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8	05-11-21	ZONING
REV	DATE	ISSUED FOR:

DRAWN BY: GLB      CHECKED BY: JKW

SHEET TITLE:

### CLEAN WATER DIVERSION PLAN

SHEET NUMBER:	REVISION:
<b>C-5C</b>	<b>11</b>
TEP #:	249639

PLANS PREPARED FOR:



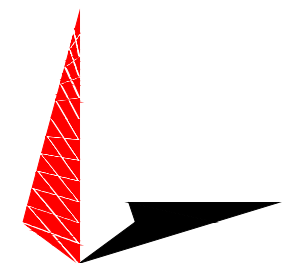
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(919) 666-2906

PROJECT INFORMATION:

**MILL CREEK**

4449 LANDI LANE  
MEBANE, NC 27302  
(ALAMANCE COUNTY)

PLANS PREPARED BY:



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326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
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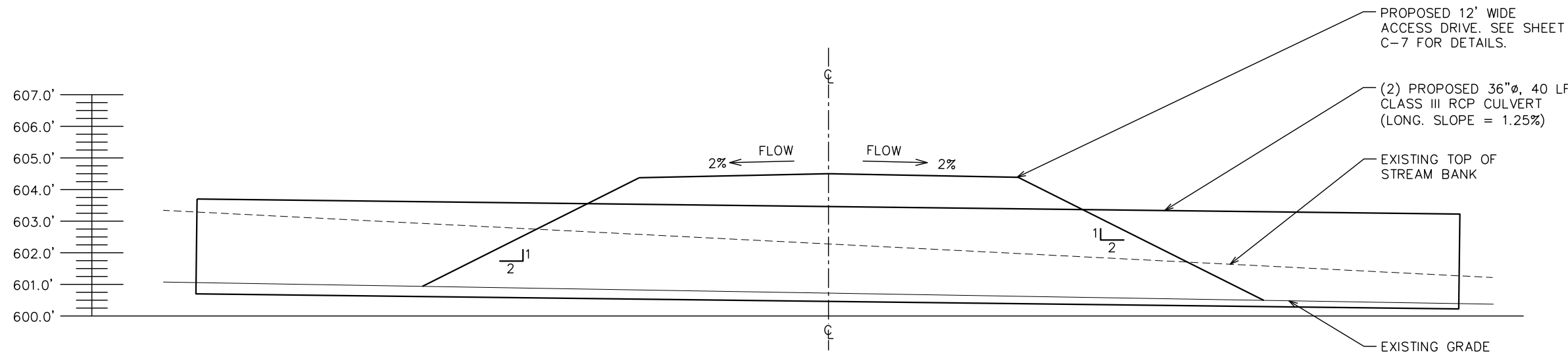
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9	05-26-21	ZONING
8	05-11-21	ZONING
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

**STREAM WATER CROSSING DETAILS**

SHEET NUMBER: <b>C-5D</b>	REVISION: <b>11</b>
	TEP #: 249639



**STREAM WATER CROSSING PROFILE**

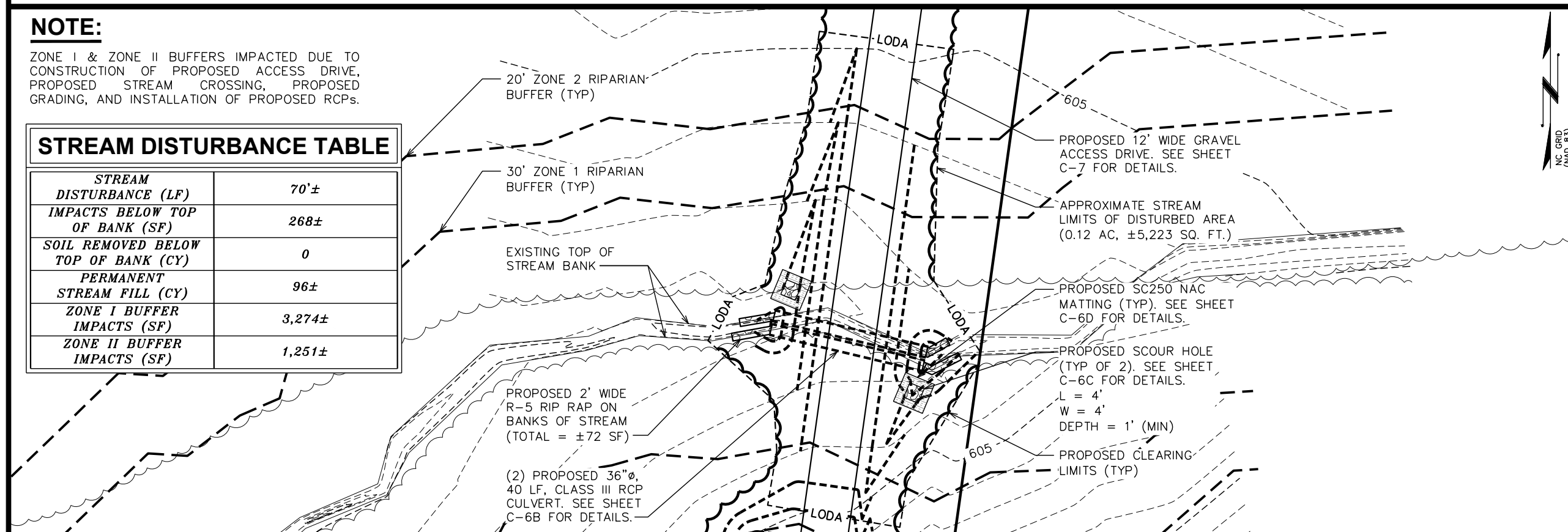
SCALE: N.T.S.

**NOTE:**

ZONE I & ZONE II BUFFERS IMPACTED DUE TO CONSTRUCTION OF PROPOSED ACCESS DRIVE, PROPOSED STREAM CROSSING, PROPOSED GRADING, AND INSTALLATION OF PROPOSED RCPs.

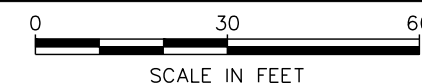
**STREAM DISTURBANCE TABLE**

STREAM DISTURBANCE (LF)	70'±
IMPACTS BELOW TOP OF BANK (SF)	268±
SOIL REMOVED BELOW TOP OF BANK (CY)	0
PERMANENT STREAM FILL (CY)	96±
ZONE I BUFFER IMPACTS (SF)	3,274±
ZONE II BUFFER IMPACTS (SF)	1,251±



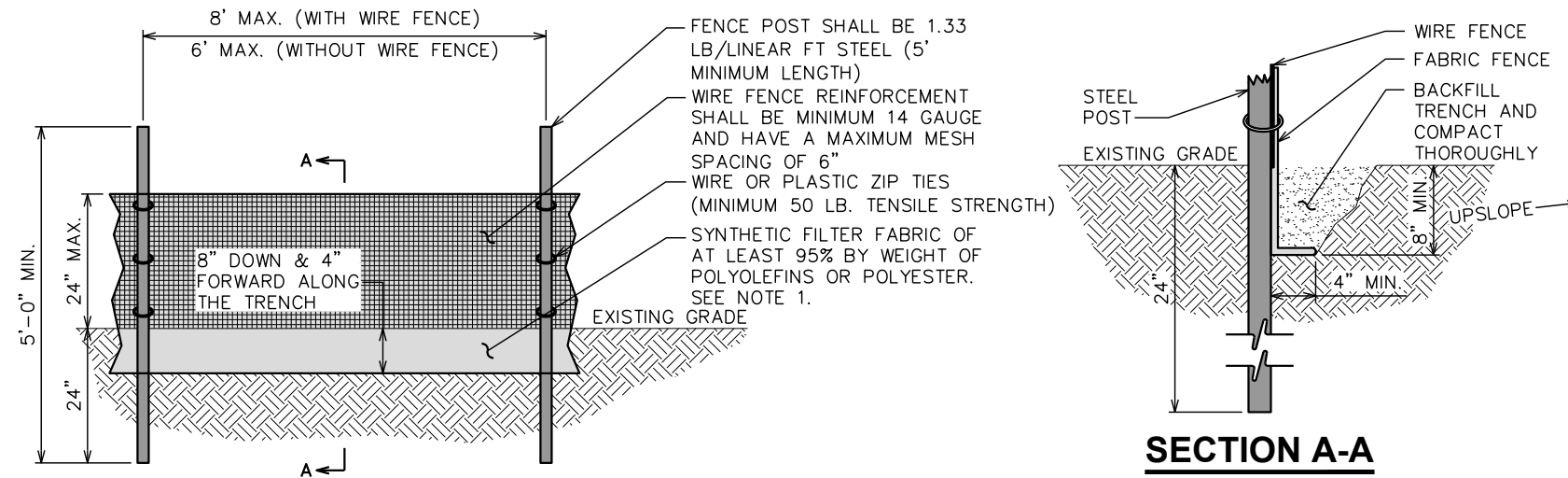
**STREAM WATER CROSSING PLAN**

SCALE: 1" = 15'



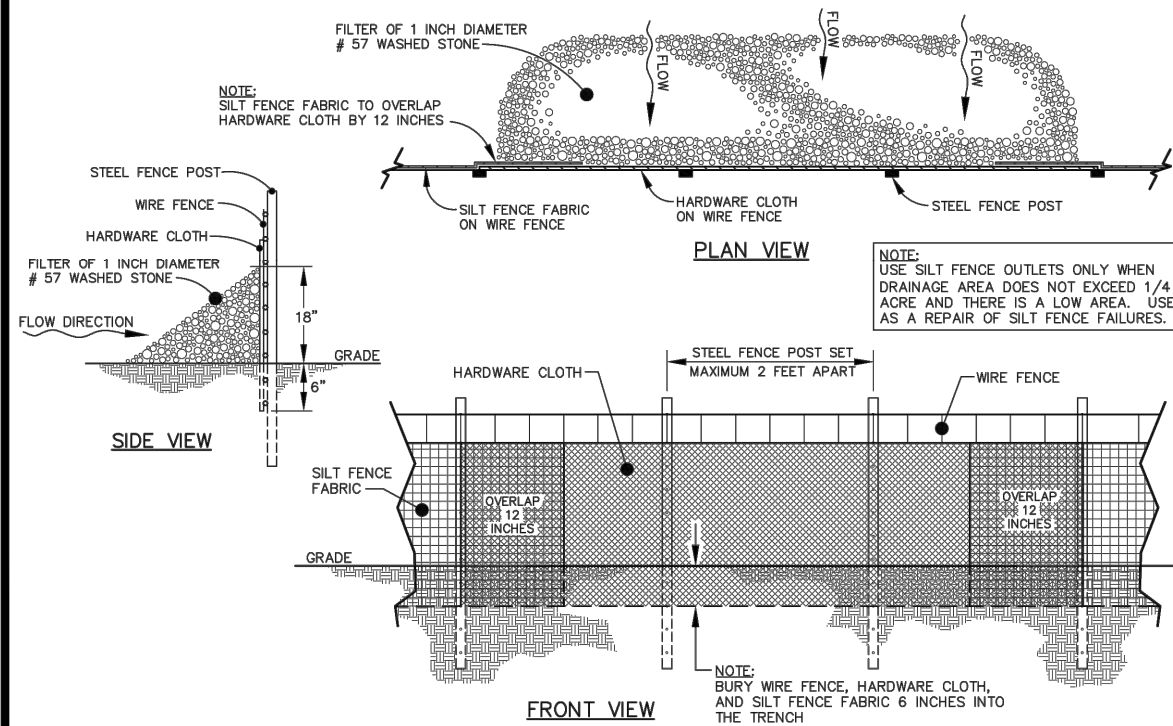
**NOTES:**

1. FILTER FABRIC SHALL CONFORM TO THE REQUIREMENTS LISTED IN ASTM D 6461.
2. ENDS OF INDIVIDUAL FILTER FABRIC SHALL BE SECURELY FASTENED AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST.
3. PLACE 12 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
4. INSPECT SEDIMENT FENCE(S) AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL.
5. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
6. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND PROPERLY STABILIZE THE SITE.



**SILT FENCE DETAIL**

SCALE: N.T.S.



**STANDARD SILT FENCE OUTLET DETAIL**

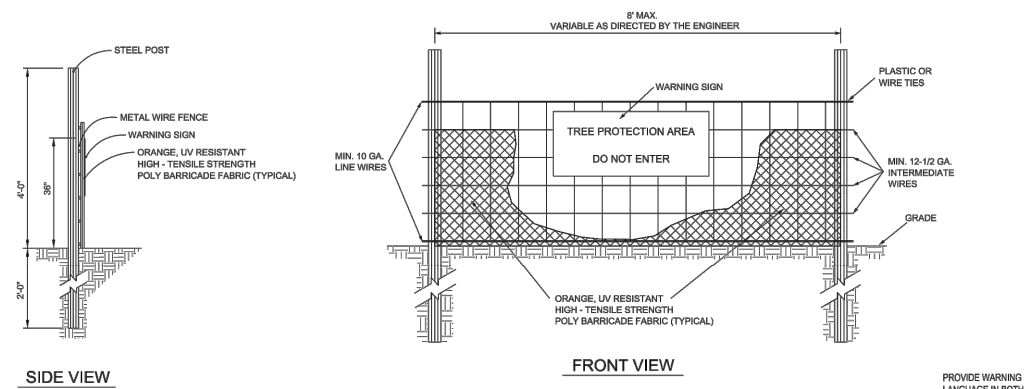
SCALE: N.T.S.

**NOTE:**

TREE PROTECTION FENCING TO BE INSTALLED AT DRIP LINE OF EXISTING VEGETATION TO REMAIN PRIOR TO GRADING.

**STANDARD TREE PROTECTION FENCE DETAIL**

SCALE: N.T.S.



**NOTES:**

1. TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (SEE DETAIL TPP-02 FOR EXAMPLES)
2. THE TREE PROTECTION FENCING MUST REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE APPROVED BY URBAN FORESTRY STAFF
3. APPROVED IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION WHEN APPLICABLE.
4. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER FOR THE REMAINDER
5. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
7. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.
8. SIGNS ARE TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL WITH LETTERS A MINIMUM OF 2 1/2" HIGH, CLEARLY LEGIBLE AND SPACED AS SHOWN.

PLANS PREPARED FOR:



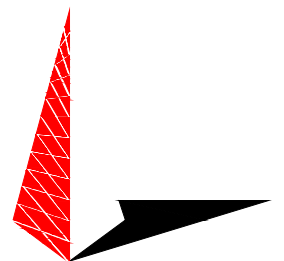
5611 NC HWY 55, SUITE 201  
DURHAM, NC 27713  
(919) 666-2906

PROJECT INFORMATION:

**MILL CREEK**

4449 LANDI LANE  
MEBANE, NC 27302  
(ALAMANCE COUNTY)

PLANS PREPARED BY:



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326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:



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9	05-26-21	ZONING
8	05-11-21	ZONING
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

**SILT FENCE & TREE PROTECTION FENCE DETAILS**

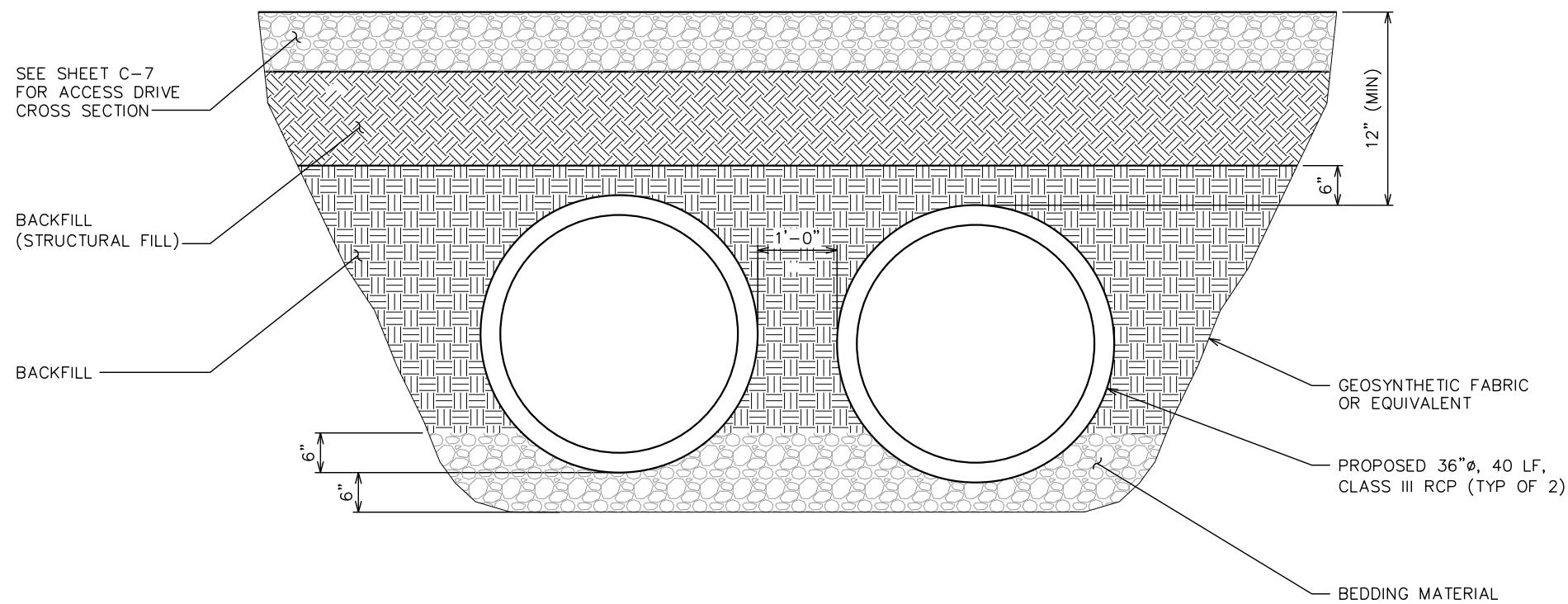
SHEET NUMBER:

**C-6A**

REVISION:

**11**

TEP #: 249639



PLANS PREPARED FOR:



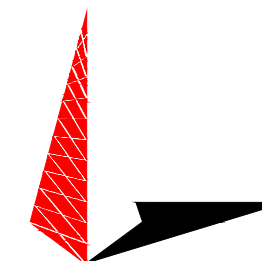
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(919) 666-2906

PROJECT INFORMATION:

**MILL CREEK**

4449 LANDI LANE  
MEBANE, NC 27302  
(ALAMANCE COUNTY)

PLANS PREPARED BY:



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11	06-08-21	ZONING
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9	05-26-21	ZONING
8	05-11-21	ZONING
REV	DATE	ISSUED FOR:

DRAWN BY: GLB | CHECKED BY: JKW

SHEET TITLE:

**CULVERT  
DETAILS**

SHEET NUMBER:	REVISION:
<b>C-6B</b>	<b>11</b>
TEP #:	249639

**36"Ø CULVERT DETAIL**

SCALE: N.T.S.



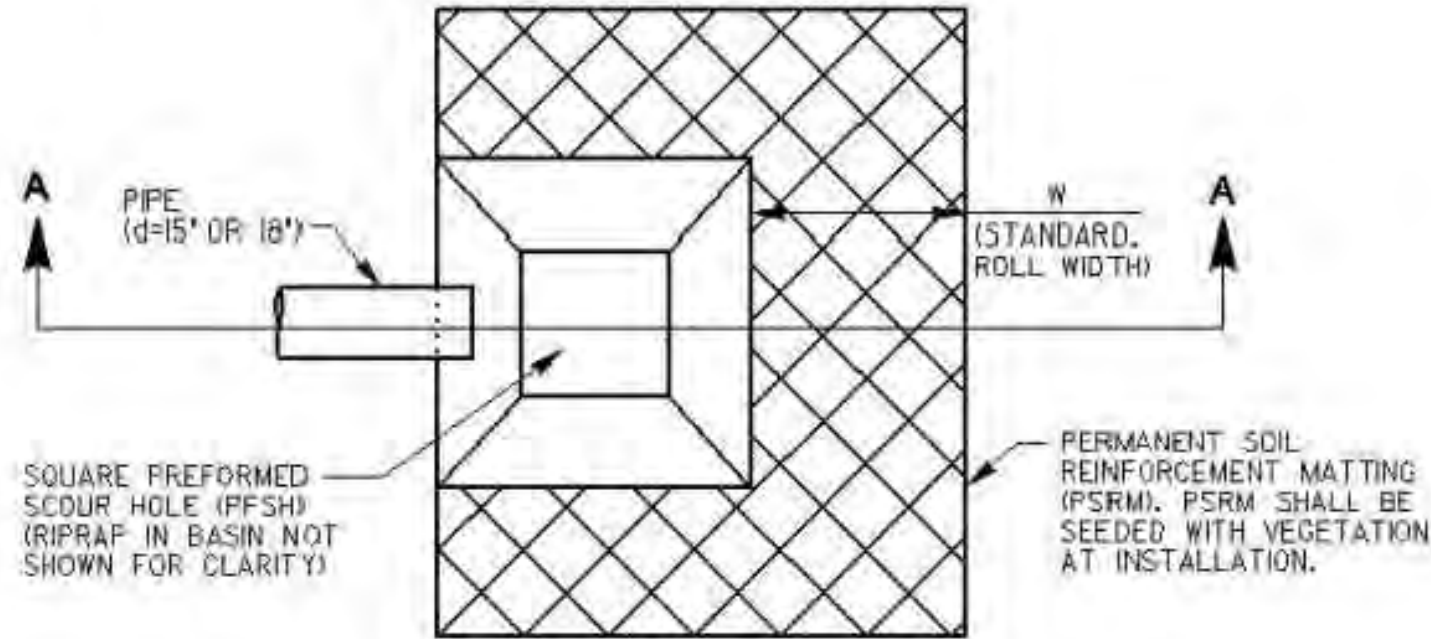


Figure 15-4. Plan view of Prefomed Scour Holes

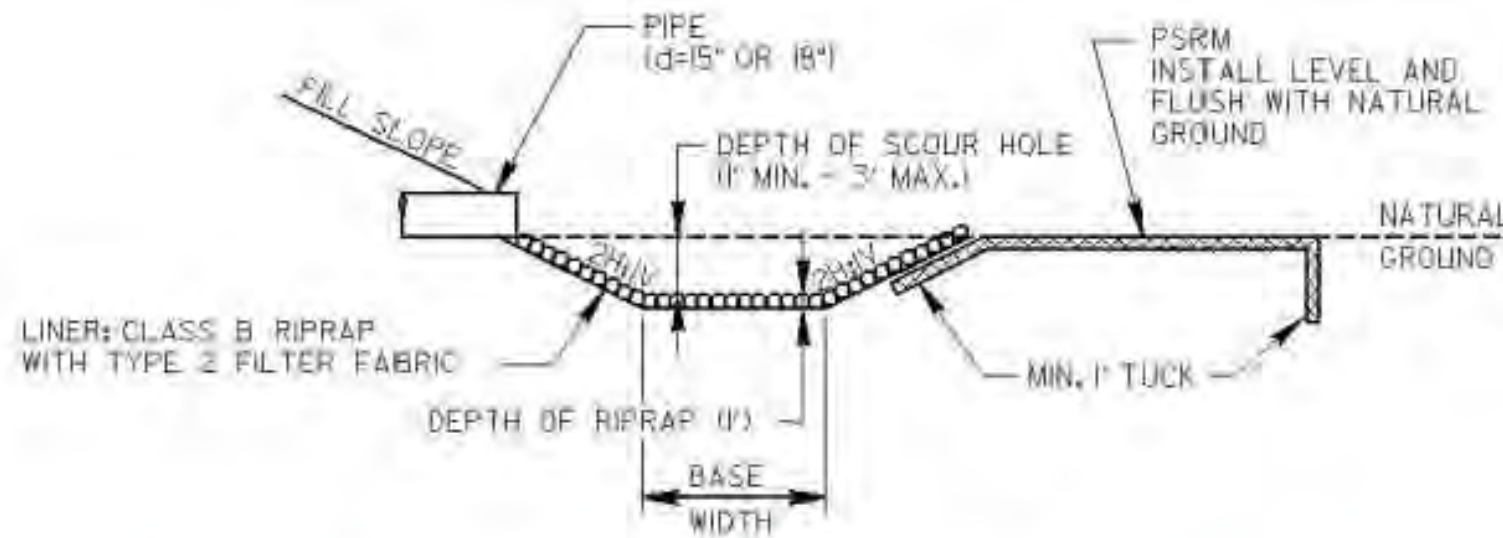


Figure 15-5. Profile view of Prefomed Scour Holes

PLANS PREPARED FOR:

**TowerCom**

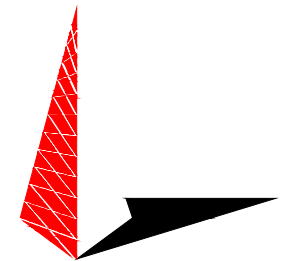
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(919) 666-2906

PROJECT INFORMATION:

**MILL CREEK**

4449 LANDI LANE  
MEBANE, NC 27302  
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8	05-11-21	ZONING
REV	DATE	ISSUED FOR:

DRAWN BY: GLB | CHECKED BY: JKW

SHEET TITLE:

**SCOUR HOLE  
DETAILS**

SHEET NUMBER:	REVISION:
<b>C-6C</b>	<b>11</b>
TEP #:	249639

**SCOUR HOLE DETAILS**

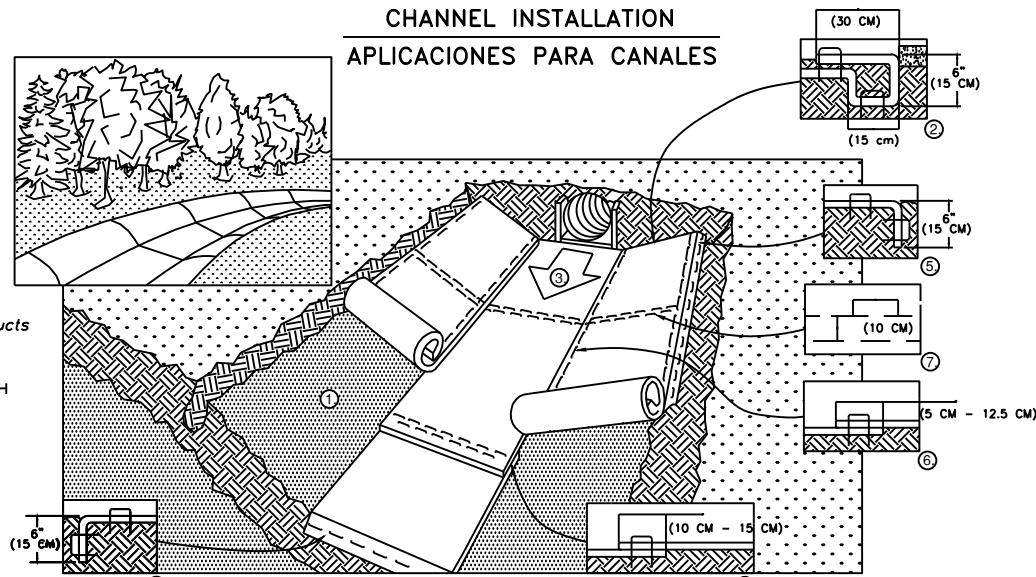
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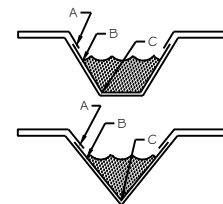
14649 HIGHWAY 41 NORTH  
EVANSVILLE, IN 47725  
800-772-2040  
www.nogreen.com



1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPs), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE RECPs IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 1 1/2" (30 CM) OF RECPs EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPs WITH A ROW OF STAPLES/STAKES APPROXIMATELY 1 1/2" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 1 1/2" (30 CM) PORTION OF RECPs BACK OVER SEED AND COMPACTED SOIL. SECURE RECPs OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 1 1/2" (30 CM) ACROSS THE WIDTH OF THE RECPs.
3. ROLL CENTER RECPs IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. RECPs WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPs MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. PLACE CONSECUTIVE RECPs END OVER END (SHINGLE STYLE) WITH A 4" - 6" (10 CM - 15 CM) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER TO SECURE RECPs.
5. FULL LENGTH EDGE OF RECPs AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 1 1/2" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. ADJACENT RECPs MUST BE OVERLAPPED APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) (DEPENDING ON RECPs TYPE) AND STAPLED.
7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9 M - 12 M) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
8. THE TERMINAL END OF THE RECPs MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 1 1/2" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

NOTE:

\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE RECPs.



CRITICAL POINTS

- A. OVERLAPS AND SEAMS
- B. PROJECTED WATER LINE
- C. CHANNEL BOTTOM/SIDE SLOPE VERTICES

PUNTOS CRITICOS

- A. TRASLAPES Y JUNTAS
- B. LINEAS DE AGUA PROYECTADA
- C. FONDO DEL CANAL/VERTICES DE LAS PENDIENTES LATERALES

NOTE:

\* HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.

\*\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE RECPs.

NOTA:

\* LA SEPARACION HORIZONTAL DE LAS GRAPAS SE DEBE ALTERAR SI SE NECESITA, PARA PERMITIR QUE LAS GRAPAS ASEGUEN LOS PUNTOS CRITICOS A LO LARGO DE LA SUPERFICIE DEL CANAL.

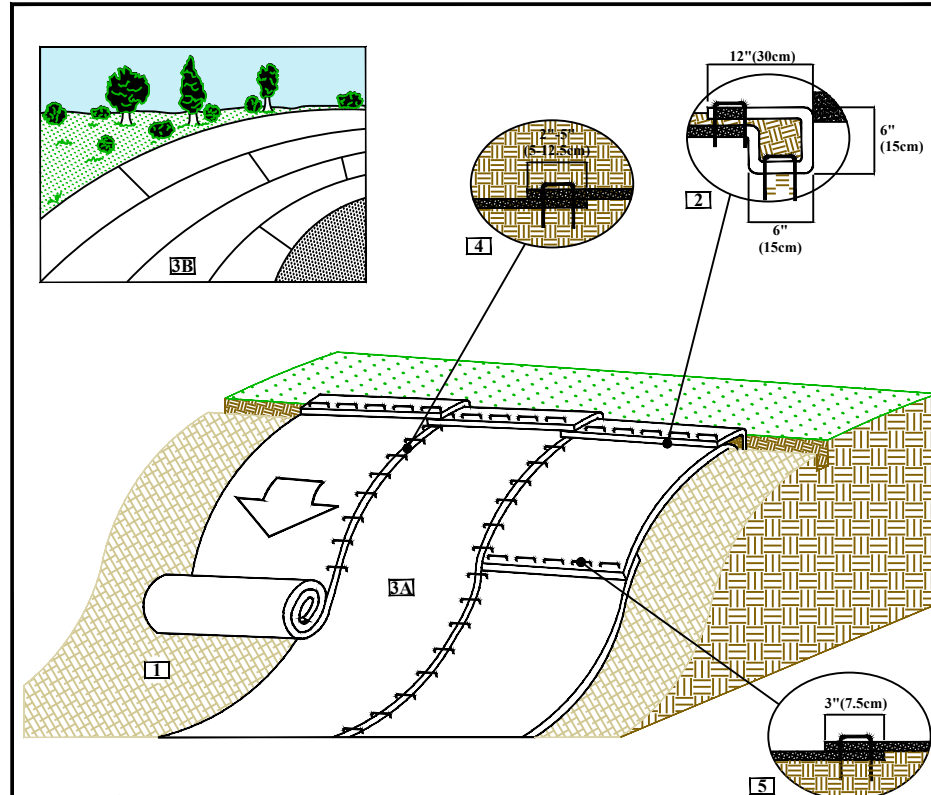
\*\* EN CONDICIONES DE SUELO SUELTO, PUEDE QUE SE NECESITEN GRAPAS O ESTACAS DE MAS DE 6" (15 CM) DE LARGO PARA ASEGURAR LAS MANTAS CORRECTAMENTE.

1. PREPARE EL SUELO DE COLOCAR LAS MANTAS, INCLUYENDO LA APLICACION DE CAL, FERTILIZANTE SEMILLA. NOTA: CUANDO ESTE USANDO CELL-O-SEED NO SIEMPRE EL AREA PREPARADA. CELL-O-SEED TIENE QUE INSTALARSE CON EL LADO DE PAPEL HACIA ABAJO.
2. COMIENCE EN LA CABECERA DEL CANAL SUJETANDO LA MANTA EN UNA ZANJA DE 6" (15 CM) DE PROFUNDIDAD POR 6" (15 CM). DE ANCHO CON APROXIMADAMENTE 1 1/2" (30 CM) DE LA MANTA EXTENDIDA MAS ALLA DE LA PENDIENTE ALTA DE LA ZANJA. SUJETE RELLENE Y COMPACTE LA ZANJA DESPUES DEL ENGRAPE. RIEGUE LA SEMILLA EN EL SUELO COMPACTADO Y DOBLE LAS 1 1/2" (30 CM) REMANENTES DE MANTA SOBRE LA SEMILLA Y EL SUELO COMPACTADO. ASEGURE LA MANTA SOBRE EL SUELO CON UNA LINEA DE GRAPAS O ESTACAS APROXIMADAMENTE 1 1/2" (30 CM) UNA DE LA OTRA A TRAVES DEL ANCHO DE LA MANTA.
3. DESENLROLLE LA MANTA DEL MEDIO EN EL FONDO DEL CANAL Y EN LA DIRECCION DEL FLUJO DE AGUA CON EL LADO APROPIADO HACIA LA SUPERFICIE DEL SUELO. TODAS LAS MANTAS DEBERAN ASEGURARSE A LA SUPERFICIE DEL SUELO POR MEDIO DE GRAPAS O ESTACAS EN LUGARES APROPIADOS TAL Y COMO SE INDICA EN EL PATRON GUIA DE ENGRAFADO. CUANDO ESTE USANDO EL DOT SYSTEM, LAS GRAPAS O ESTACAS DEBEN COLOCARSE A TRAVES DE CADA UNO DE LOS PUNTOS CON COLOR CORRESPONDIENTES AL PATRON DE ENGRAFADO APROPIADO.
4. COLOQUE LAS MANTAS CONSECUTIVAS BORDE SOBRE BORDE (TIPO ESCALONADO) CON UN TRASLAPSE DE 4" - 6" (10 CM - 15 CM). USE UNA LINEA DOBLE DE GRAPAS ESCALONADAS, SEPARADAS POR 4" (10 CM) Y CADA 4" (10 CM) SOBRE EL CENTRO PARA ASEGURAR LAS MANTAS.
5. EN EL TOPE DE LAS DOS PENDIENTES LATERALES DEL CANAL, SE DEBE SUJETAR TODO EL LARGO DE LA ORILLA DE LAS MANTAS CON UNA LINEA DE GRAPAS O ESTACAS APROXIMADAMENTE CADA 1 1/2" (30 CM) UNA DE LA OTRA EN UNA ZANJA DE 6" (15 CM) DE PROFUNDIDAD POR 6" (15 CM) DE ANCHO. RELLENE Y COMPACTE LA ZANJA DESPUES DEL ENGRAPE.
6. LAS MANTAS ADYACENTES DEBEN TRASLAPARSE APROXIMADAMENTE DE 2" - 5" (5 CM - 12.5 CM) (DEPENDIENDO DEL TIPO DE MANTA) Y ENGRAPPARSE.
7. EN APLICACIONES PARA CANALES DE FLUJO ALTO, SE RECOMIENDA DEJAR UNA RANURA PARA EL CHEQUEO DE LAS GRAPAS A INTERVALOS DE 30 A 40 PIES (9 M - 12 M). USE UNA LINEA DOBLE DE PRAPAS ESCALONADAS, SEPARADAS POR 4" (10 CM) Y CADA 4" (10 CM) SOBRE EL CENTRO A TRAVES DE TODO EL ANCHO DEL CANAL.
8. LOS BORDES FINALES DE LAS MANTAS DEBEN SUJETARSE CON UNA LINEA DE GRAPAS O ESTACAS APROXIMADAMENTE CADA 1 1/2" (30 CM) UNA DE LA OTRA EN UNA ZANJA DE 6" (15 CM) DE PROFUNDIDAD POR 6" (15 CM) DE ANCHO. RELLENE Y COMPACTE DESPUES DEL ENGRAFADO.

NOTA:

\* EN CONDICIONES DE SUELTO, PUEDE QUE SE NECESITEN GRAPAS O ESTACAS DE MAS DE 6" (15 CM) DE LARGO PARA ASEGURAR LAS MANTAS CORRECTAMENTE.

REV. 01/05



**SLOPE INSTALLATION DETAIL**

1. Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
2. Begin at the top of the slope by anchoring the RECPs in a 6" (15cm) deep X 6" (15cm) wide trench with approximately 12" (30cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/stakes approximately 12" (30cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12"(30cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12"(30cm) apart across the width of the RECPs.
3. Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
4. The edges of parallel RECPs must be stapled with approximately 2" - 5" (5-12.5cm) overlap depending on the RECPs type.
5. Consecutive RECPs spliced down the slope must be end over end (Shingle style) with an approximate 3"(7.5cm) overlap. Staple through overlapped area, approximately 12"(30cm) apart across entire RECPs width.

NOTE:

In loose soil conditions, the use of staple or stake lengths greater than 6"(15cm) may be necessary to properly secure the RECPs.

Drawing Not To Scale

**NORTH AMERICAN GREEN**  
5401 St. Wendel - Cynthiana Rd.  
Poseyville, IN 47633  
PH: 800-772-2040  
www.nogreen.com

Disclaimer:

The information presented herein is general design information only. For specific applications, consult an independent professional for further design guidance.

Drawn on: 5-4-17

PLANS PREPARED FOR:



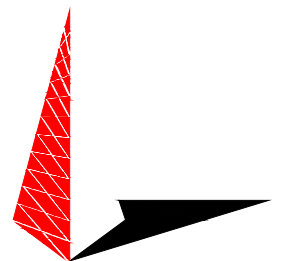
5611 NC HWY 55, SUITE 201  
DURHAM, NC 27713  
(919) 666-2906

PROJECT INFORMATION:

**MILL CREEK**

4449 LANDI LANE  
MEBANE, NC 27302  
(ALAMANCE COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**

326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:



June 8, 2021

11	06-08-21	ZONING
10	05-27-21	ZONING
9	05-26-21	ZONING
8	05-11-21	ZONING
REV	DATE	ISSUED FOR:

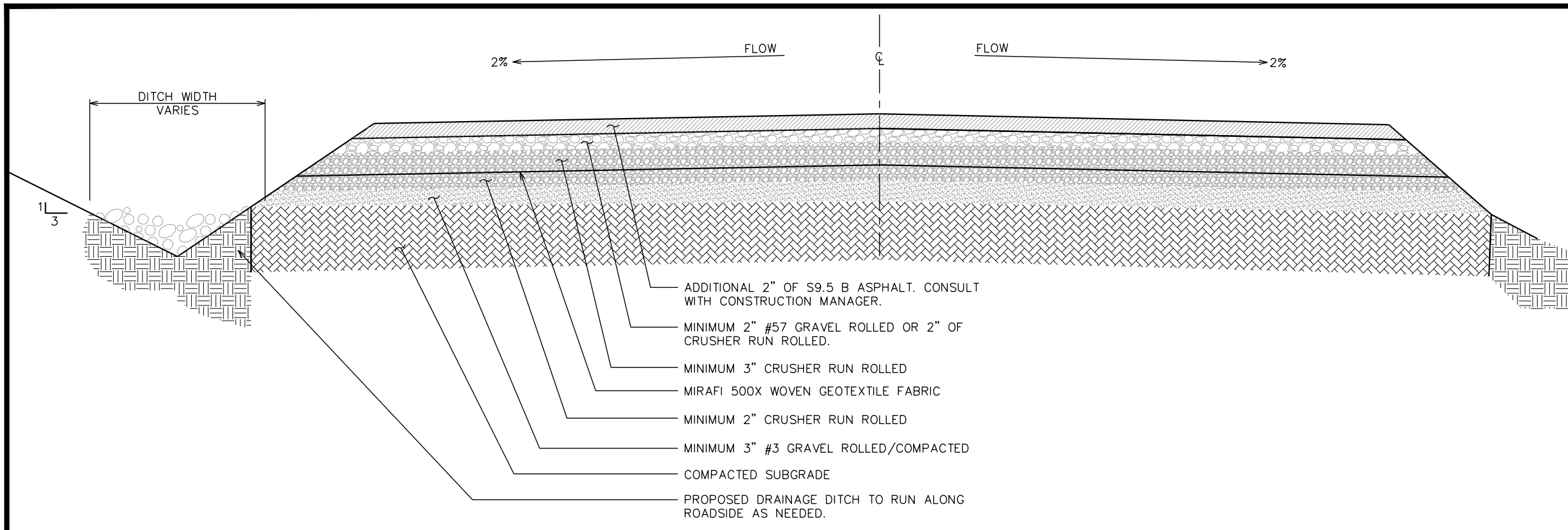
DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:  
**EROSION CONTROL MATTING DETAILS**

SHEET NUMBER: **C-6D** REVISION: **11**  
TEP #: 249639

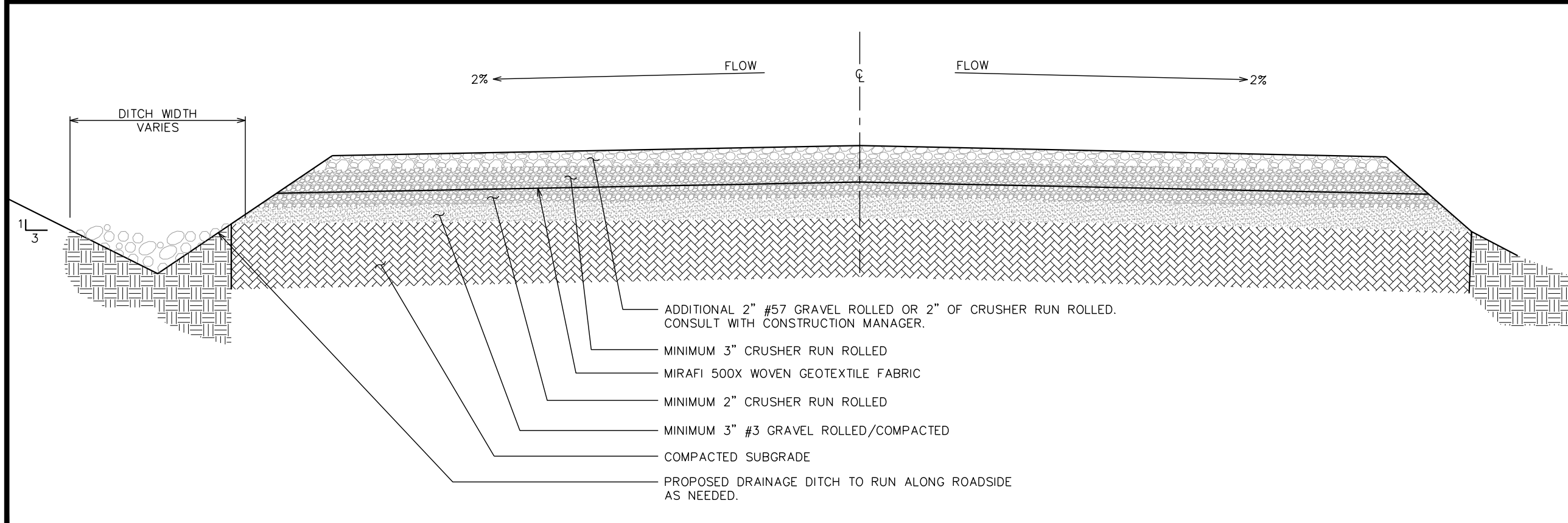
**EROSION CONTROL MATTING DETAILS**

SCALE: N.T.S.



### ASPHALT ROAD SECTION

SCALE: N.T.S.



### STANDARD ROAD SECTION

SCALE: N.T.S.

PLANS PREPARED FOR:

**TowerCom**

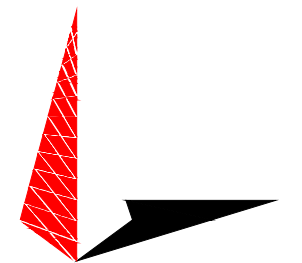
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REV	DATE	ISSUED FOR:

DRAWN BY: GLB | CHECKED BY: JKW

SHEET TITLE:

**ACCESS ROAD  
DETAILS**

SHEET NUMBER:

**C-7**

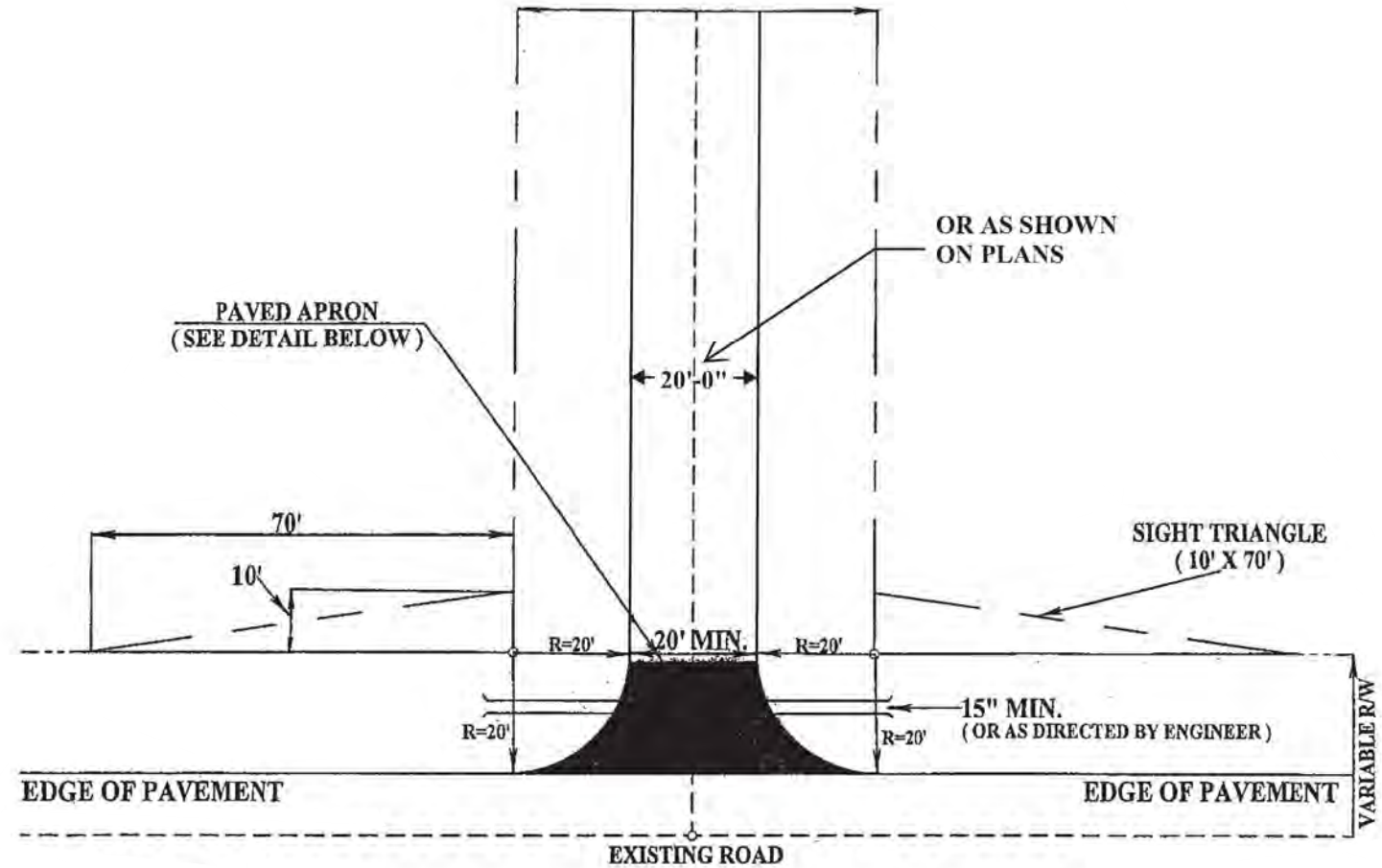
REVISION:

**11**

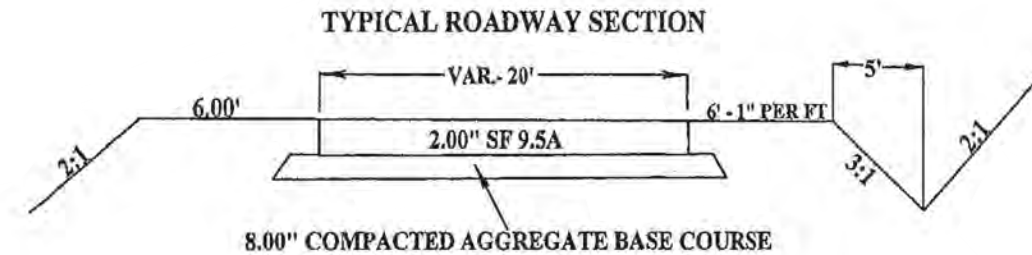
TEP #: 249639

COMMERCIAL DRIVEWAY CONNECTION

NOTE:  
 ADDITIONAL R/W MAY BE REQUIRED TO ACCOMMODATE TAPERS, TURN LANES, AND MEDIAN ISLANDS. SCALE: 1" = 30'



NOTE: PERMANENT DRAINAGE EASEMENTS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE BEYOND THE RIGHT-OF WAY.



PLANS PREPARED FOR:

**TowerCom**

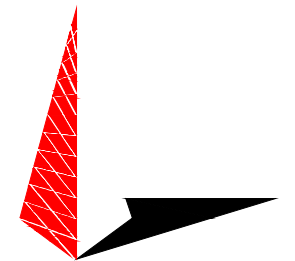
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8	05-11-21	ZONING

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

**DRIVEWAY  
 CONNECTION  
 DETAILS**

SHEET NUMBER:

**C-8**

REVISION:

**11**

TEP #: 249639

**DRIVEWAY CONNECTION DETAILS**

SCALE: N.T.S.



**NOTE:**

THE DRAWING BELOW SHOWS SIGHT DISTANCE REQUIREMENTS FOR PASSENGER CARS AT A DESIGN SPEED OF 45 MPH, PROVIDED BY NCDOT.

PLANS PREPARED FOR:



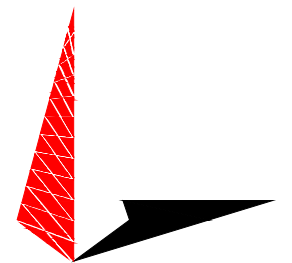
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DRAWN BY: GLB | CHECKED BY: JKW

SHEET TITLE:

**SIGHT TRIANGLES**

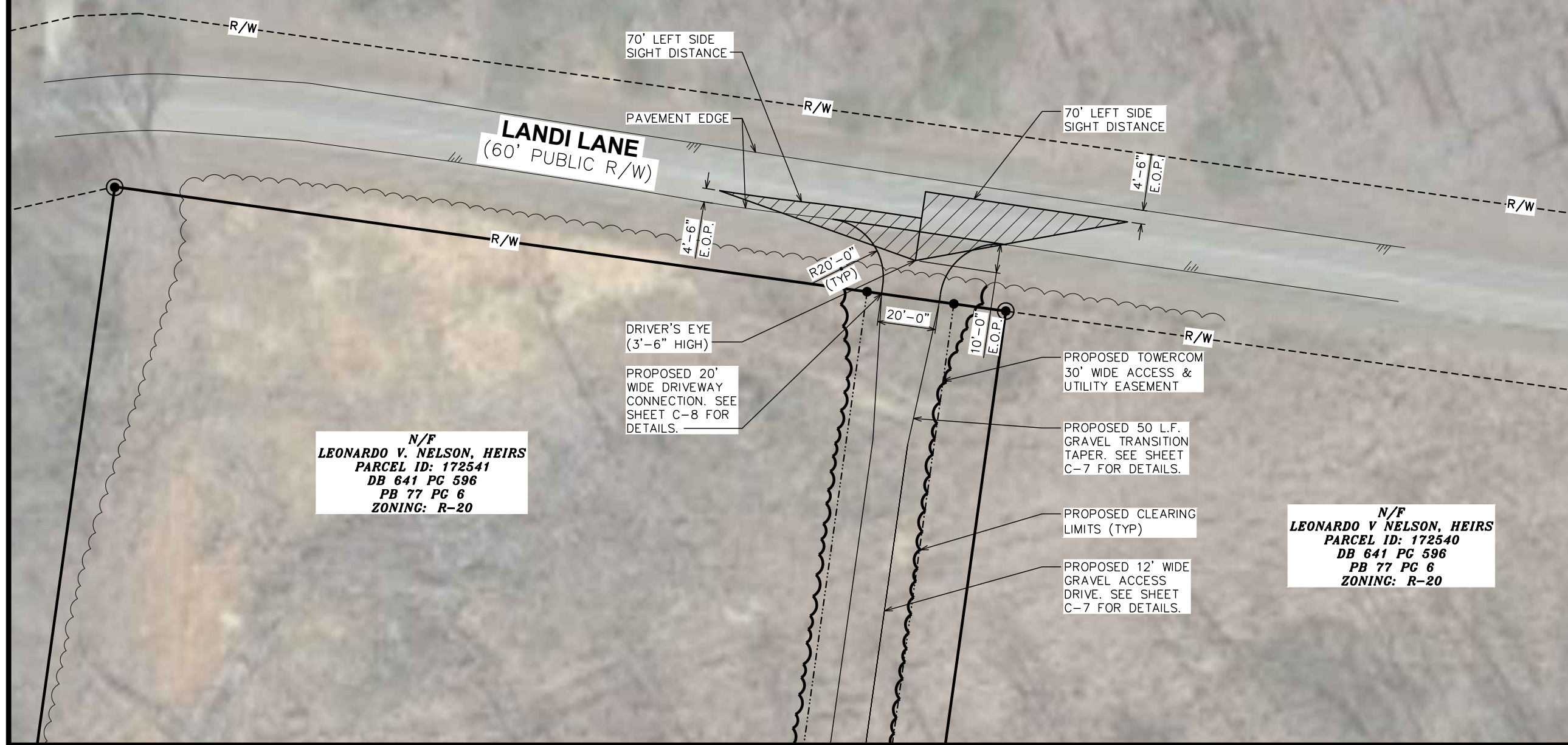
SHEET NUMBER:

**C-9**

REVISION:

**11**

TEP #: 249639

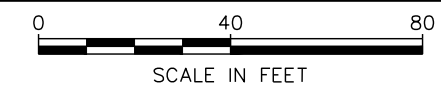


N/F  
**LEONARDO V. NELSON, HEIRS**  
PARCEL ID: 172541  
DB 641 PG 596  
PB 77 PG 6  
ZONING: R-20

N/F  
**LEONARDO V NELSON, HEIRS**  
PARCEL ID: 172540  
DB 641 PG 596  
PB 77 PG 6  
ZONING: R-20

**SIGHT TRIANGLES**

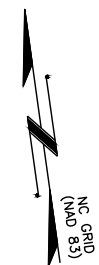
SCALE: 1" = 20'



SCALE IN FEET

## PLANTING SCHEDULE

ITEM	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT @ PLANTING	HEIGHT @ MATURITY	CALIPER/ SPREAD	SPACING	REMARKS
<b>CANOPY TREES</b>								
①	19	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	10'-0" (MIN)	40'-0" (MIN)	2.5"	20'-0"	SHOWN AS
<b>UNDERSTORY TREES</b>								
②	21	ILEX OPACA	AMERICAN HOLLY	8'-0" (MIN)	40'-0" (MIN)	2.0"	20'-0"	SHOWN AS
<b>SHRUBS</b>								
③	89	ILEX GLABRA	INKBERRY HOLLY	36"	4'-0" (MIN)	(3) GALLON	8'-0"	SHOWN AS
<b>MULCH</b>								
④	-	-	-	-	-	-	-	APPLY 3"-4" DEEP FROM THE TRUNKLINE TO THE DRIPLINE. FOR GROUND COVER - APPLY 1"-2" DEEP.



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TowerCom

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PROJECT INFORMATION:

MILL CREEK

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MEBANE, NC 27302  
(ALAMANCE COUNTY)

PLANS PREPARED BY:

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RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
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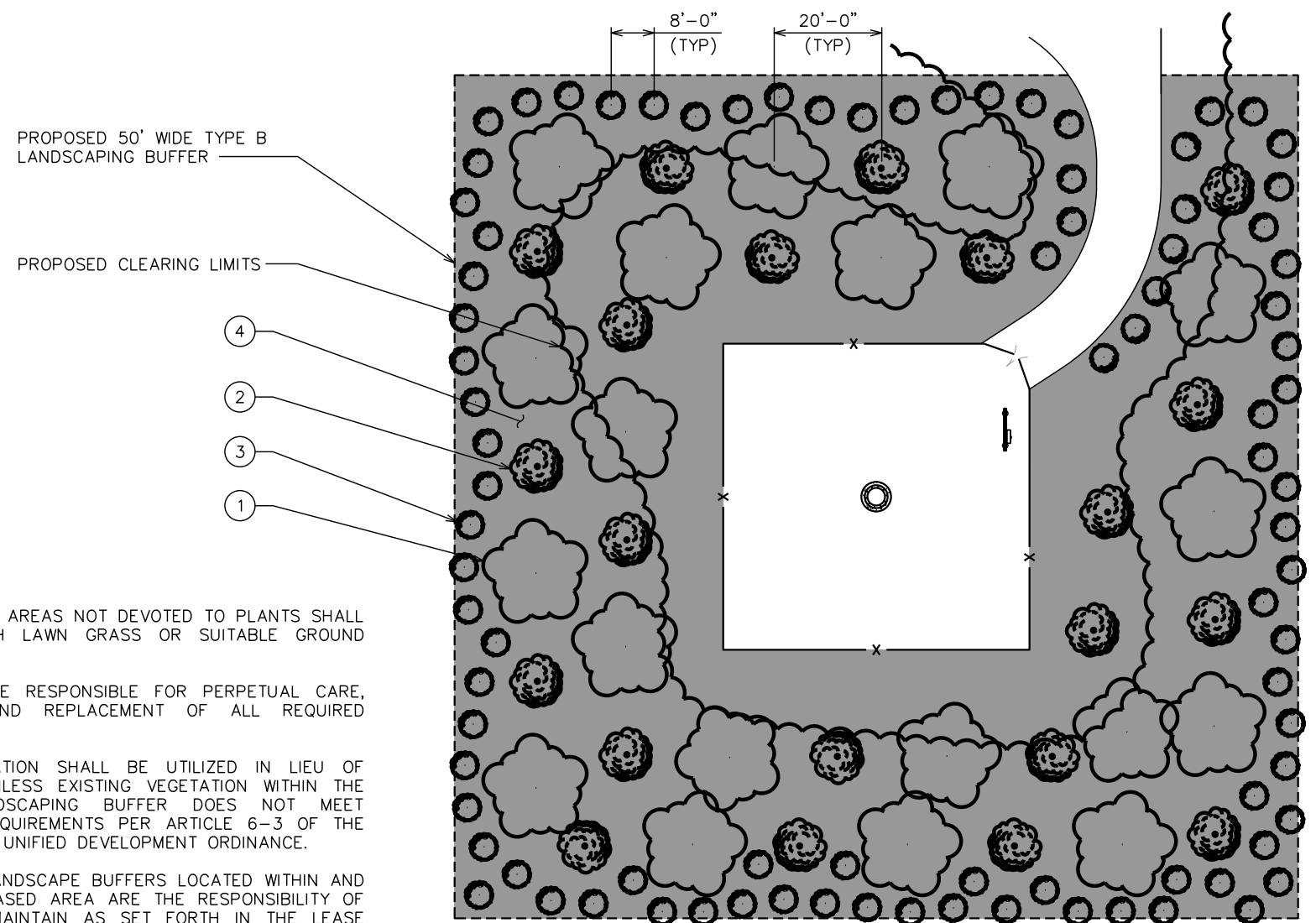
SHEET TITLE:

LANDSCAPING PLAN

SHEET NUMBER: L-1

REVISION: 11

TEP #: 249639



**NOTES:**

1. ALL BUFFERYARD AREAS NOT DEVOTED TO PLANTS SHALL BE SEEDED WITH LAWN GRASS OR SUITABLE GROUND COVER.
2. OWNER SHALL BE RESPONSIBLE FOR PERPETUAL CARE, MAINTENANCE AND REPLACEMENT OF ALL REQUIRED PLANT MATERIAL.
3. EXISTING VEGETATION SHALL BE UTILIZED IN LIEU OF LANDSCAPING UNLESS EXISTING VEGETATION WITHIN THE PROPOSED LANDSCAPING BUFFER DOES NOT MEET LANDSCAPING REQUIREMENTS PER ARTICLE 6-3 OF THE CITY OF MEBANE UNIFIED DEVELOPMENT ORDINANCE.
4. ALL REQUIRED LANDSCAPE BUFFERS LOCATED WITHIN AND OUTSIDE THE LEASED AREA ARE THE RESPONSIBILITY OF TOWERCOM TO MAINTAIN AS SET FORTH IN THE LEASE AGREEMENT.
5. THE PROPOSED 50' WIDE LANDSCAPING BUFFER (BOTH WITHIN AND EXTENDING BEYOND THE 100'x100' LEASE AREA) SHALL BE MAINTAINED FOR BUFFER PURPOSES, AND SHALL NOT BE RE-PURPOSED OR DISTURBED FOR ALTERNATE LAND USE.

**LANDSCAPING PLAN**

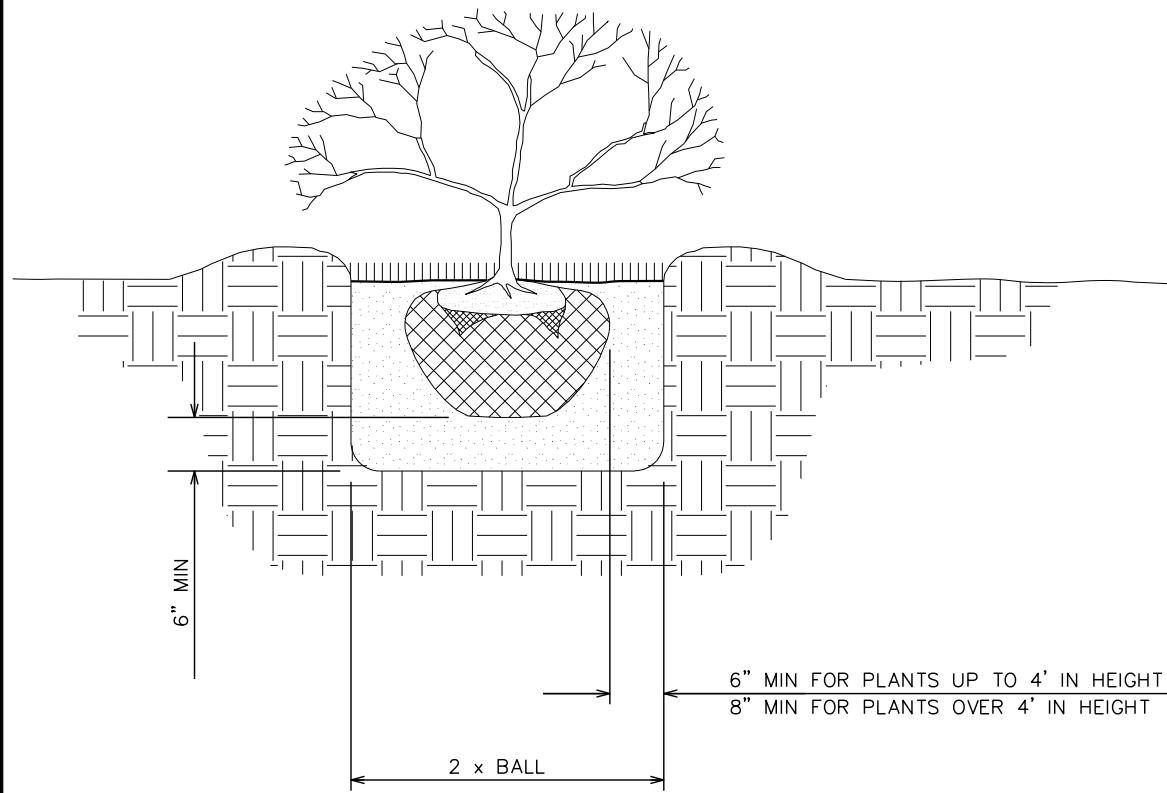
SCALE: 1" = 15'



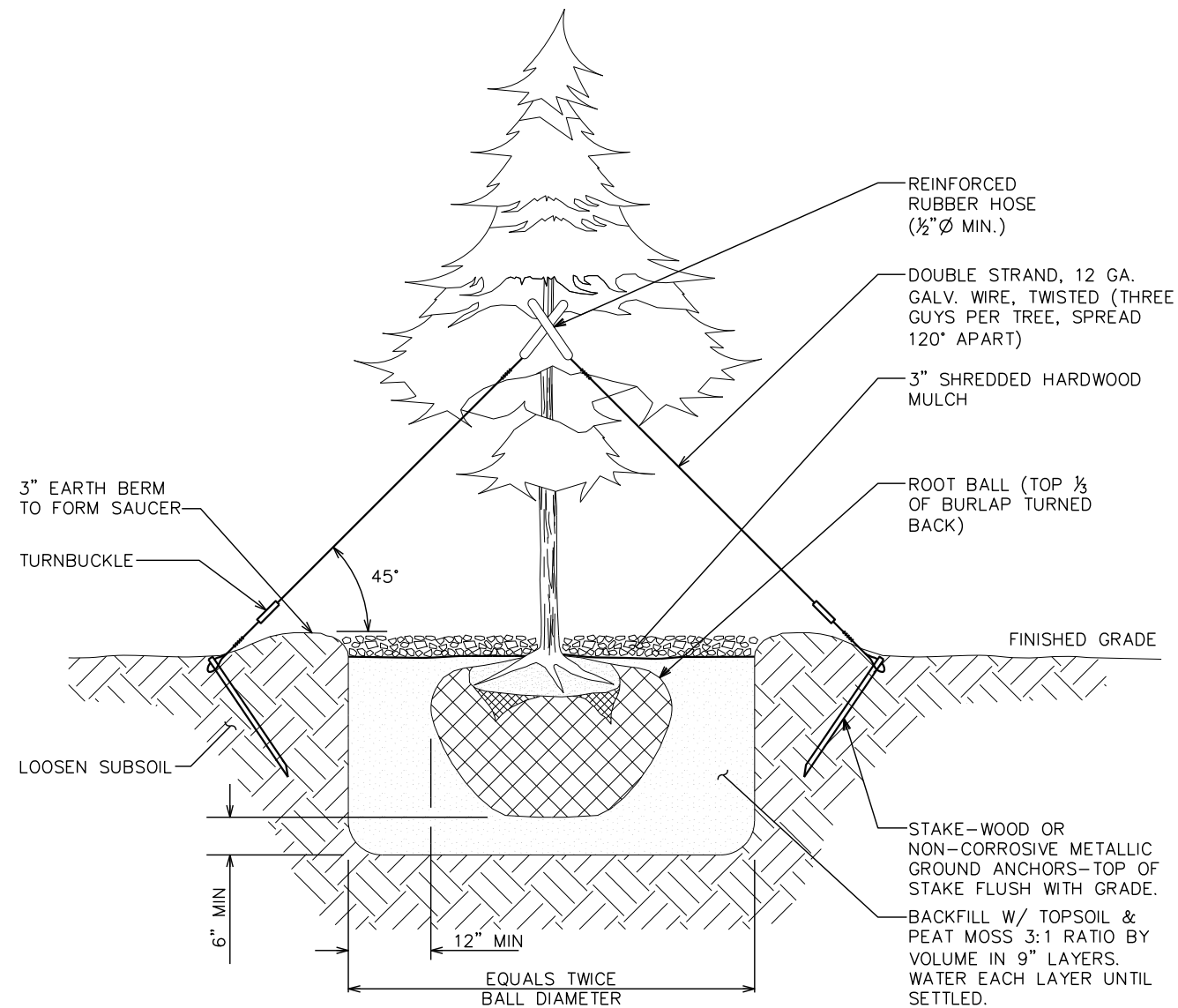


**LANDSCAPE NOTES:**

1. TOPSOIL TO BE PROVIDED BY SITE CONTRACTOR IN ROUGH GRADE TO WITHIN 1" OF FINISH GRADE.
2. EACH PLANT TO BE IN GOOD CONDITION AFTER SHEARING AND PRUNING.
3. EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, AND MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR FIELD PLANTING.
4. ALL PLANTS TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM DATE OF INSTALLATION.
5. ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK. ANSI Z60.1-1973 IN REGARD TO SIZING, GROWING, AND B&B SPECIFICATIONS.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND SHRUBS WITHIN THE CONSTRUCTION AREA IDENTIFIED AS "TO REMAIN" FROM DAMAGE BY EQUIPMENT AND CONSTRUCTION ACTIVITIES.



**SHRUB PLANTING DETAIL**



**TREE PLANTING DETAIL**

PLANS PREPARED FOR:



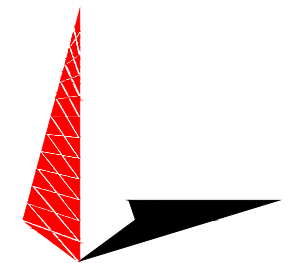
5611 NC HWY 55, SUITE 201  
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(919) 666-2906

PROJECT INFORMATION:

**MILL CREEK**

4449 LANDI LANE  
MEBANE, NC 27302  
(ALAMANCE COUNTY)

PLANS PREPARED BY:



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8	05-11-21	ZONING
REV	DATE	ISSUED FOR:

DRAWN BY: GLB | CHECKED BY: JKW

SHEET TITLE:

**LANDSCAPING DETAILS**

SHEET NUMBER: | REVISION:

**L-2**

**11**

TEP #: 249639

**LANDSCAPING DETAILS**

SCALE: N.T.S.



TEP #: 249639  
 Analysis: JKW 5/11/2021  
 Check: JKW 5/11/2021

**TR-55 Stormwater Calculations - Post-Development Curve Number**

Drainage Area: 57.41 AC  
 Existing Impervious Area: 3.54 AC  
 Proposed Impervious Area: 0.00 AC  
 Total Impervious Area: 3.54 AC

# of Land Cover Entries:  (max 20)

#	Hydraulic Soil Group	Land Cover Description	Hydraulic Condition	Area (SF)	Area (AC)	Curve Number	CN-Area
1	C	Impervious (existing)	Good	154190	3.540	98	346.89
2	B	Open Space	Good	956441	21.957	61	1339.37
3	C	Woods	Good	1345549	30.890	70	2162.27
4	C	Other	Good	44469	1.021	100	102.09

**Total: 57.41 3950.62**

$$\text{Weighted Curve Number} = \frac{\text{Total Product}}{\text{Total Area}} = \frac{3950.62}{57.41} = \boxed{69}$$



TR-55 Stormwater Calculations - Post-Development T<sub>c</sub>

Sheet Flow Segments: **1** (max 5)

$$T_t(hr) = \frac{0.007(n \cdot L)^{0.8}}{(P_2)^{0.5} \cdot S^{0.4}}$$

Segment ID	Surface Description	Manning's Roughness Coefficient, n	Flow Len, L (ft)	Two-Year 24 Hour Rainfall, P <sub>2</sub> (in)	Land Slope, s (ft/ft)	T <sub>T</sub> (hr)
AB	Woods (Light Underbrush)	0.400	50.00	3.53	0.01	0.267

Shallow Conc. Flow Segments: **2** (max 20)

$$T_t(hr) = \frac{L}{3600 \cdot V}$$

Segment ID	Surface Description	Flow Length, L (ft)	Watercourse Slope (ft/ft)	Average Velocity, V (ft/s)	T <sub>T</sub> (hr)
BC	Unpaved	1805.500	0.009	1.54	0.325
CD	Paved	43.000	0.050	4.55	0.003

Open Channel Flow Segments: **1** (max 5)

$$V = \frac{1.486}{n} \cdot R^{2/3} \cdot S^{1/2} \quad T_t(hr) = \frac{L}{3600 \cdot V}$$

Segment ID	Surface Description	Manning's Roughness Coefficient, n	Flow Len, L (ft)	Area (ft <sup>2</sup> )	P <sub>wetted</sub> (ft)	Slope (ft/ft)	V (ft/s)	T <sub>T</sub> (hr)
DE	Unpaved	0.045	1178.000	8.911	7.865	0.020	5.05	0.065

Total T<sub>c</sub> = 0.660 hr



TR-55 Stormwater Calculations - Post-Development Peak Discharge

Drainage Area (sq. mi): 0.090  
 Curve Number: 69  
 Tim of Concentration, T<sub>c</sub> (hr): 0.660  
 Rainfall Distribution: II

# of Storms: 4 (max 5)

$$S = \frac{1000}{CN} - 10$$

$$Q = \frac{(P - 0.2 \cdot S)^2}{(P + 0.8 \cdot S)} \quad q_p = q_u \cdot A_m$$

Storm #	Frequency	Rainfall, P (24 hr)	Initial Abstraction, I <sub>A</sub>	I <sub>A</sub> /P	Unit Peak Discharge, q <sub>u</sub> (csm/in)	Runoff, Q (in)	Peak Discharge, q <sub>p</sub> (cfs)
1	2	3.46	0.9062	0.2622	359.29	0.918	29.6
2	10	4.97	0.9062	0.1824	415.78	1.920	71.6
3	25	5.86	0.9062	0.1548	429.69	2.584	99.6
4	100	7.27	0.9062	0.1246	440.62	3.719	147.0

**Project Information**

Project Name:	Mill Creek
Submission Date:	05/11/2021
Project Area (ft <sup>2</sup> ):	168,697 ft <sup>2</sup>
Disturbed Area (ft <sup>2</sup> ):	27,419 ft <sup>2</sup>
Development Land Use Type:	Commercial
Development Activity Type:	Development - New
Designated Downtown Area?	no
Project Location/Address:	4449 Landi Lane, Mebane, NC 27302
County:	Alamance
Local Jurisdiction:	Mebane
Project Latitude Coordinates:	36.129241 N
Project Longitude Coordinates:	79.279290 W
Precipitation Station:	Burlington
Physiographic Region:	Piedmont
Nutrient Management Watershed:	Jordan Lake
Subwatershed:	Jordan - Haw
Phosphorus Delivery Zone:	Jordan - 030070
Nitrogen Delivery Zone:	Jordan - 030070
Project Designer and Contact Phone Number / Email:	Jeremy Wooster, P.E. jkwooster@tepgroup.net (919) 808-9454
Part of Common Development Plan?	no
Project Owner Type:	Private
Project Description:	Proposed telecommunications facility

*Yellow cells require data for PROJECT AREA RUNOFF and NUTRIENT TREATMENT calculations*

*Green cells require data for NUTRIENT TARGETS, BUYDOWN, & CREDIT/DEBIT calculations*



PROJECT AREA LAND COVERS	TN EMC (mg/L)	TP EMC (mg/L)	Pre- Project Area (ft <sup>2</sup> )	Post- Project Area (ft <sup>2</sup> )
Roof	1.18	0.11	0	0
Roadway	1.64	0.34	0	6,905
Parking/Driveway/Sidewalk	1.42	0.18	0	3,213
Protected Forest	0.97	0.03	0	0
Other Pervious/Landscaping	2.48	1.07	168,697	158,579

# Project Summary

Project Name:		Mill Creek			
Project Area (ft <sup>2</sup> ):	168,697	ft <sup>2</sup>	3.8728	acres	Submission Date: May 11, 2021
Disturbed Area (ft <sup>2</sup> ):	27,419	ft <sup>2</sup>	0.6295	acres	
County:	Alamance		Local Jurisdiction:	Mebane	
Development Land Use Type:	Commercial		Owner Type:	Private	
Development Activity Type:	Development - New		Designated Downtown Area?	no	
Nutrient Management Watershed:	Jordan Lake		Subwatershed:	Jordan - Haw	
Phosphorus Delivery Zone:	Jordan - 030070		Nitrogen Delivery Zone:	Jordan - 030070	
Phosphorus Delivery Factor (%):	18%		Nitrogen Delivery Factor (%):	36%	
Phosphorus Loading Rate Target (lb/ac/yr):	1.43		Nitrogen Loading Rate Target (lb/ac/yr):	3.80	
Phosphorus Load Target at Site (lb/yr):	5.54		Nitrogen Load Target at Site (lb/yr):	14.72	
Phosphorus Load Leaving Site w/SCMs (lb/yr):	2.36		Nitrogen Load Leaving Site w/SCMs (lb/yr):	7.27	
P Offsite Buy-Down Threshold Loading Rate (lb/ac/yr):	0.61		N Offsite Buy-Down Threshold Loading Rate	10.00	
Total P Load Reduction Needed (lb/yr):	-3.18		Total N Load Reduction Needed (lb/yr):	-7.44	
P Load Treatment Balance at Site (lb/yr):	-3.18		N Load Treatment Balance at Site (lb/yr):	-7.45	
P Load Treatment Balance at Lake (lb/yr):	-0.57		N Load Treatment Balance at Lake (lb/yr):	-2.68	

## Nutrient Export Summary

	Pre-Project Whole Site Conditions	Post-Project Whole Site without SCMs	Post-Project Whole Site with SCMs	Post-Project SCM-Treated Area	Post-Project Untreated Area
Percent Impervious (for runoff calculation) (%)	0.0%	6.0%	6.0%	0.0%	6.0%
Percent Built-Up Area (BUA) (%)	0.0%	6.0%	6.0%	0.0%	6.0%
Annual Runoff Volume (ft <sup>3</sup> /yr)	28,265	58,780	58,780	0	58,780
Annual Runoff % Change (relative to pre-D)	0%	108%	108%		
Total Nitrogen EMC (mg/L)	2.48	1.98	1.98	0.00	1.98
Total Nitrogen Load Leaving Site (lb/yr)	4.38	7.27	7.27	0.00	7.27
Total Nitrogen Loading Rate (lb/ac/yr)	1.13	1.88	1.88	0.00	1.88
Total Nitrogen % Change (relative to pre-D)	0%	66%	66%		
Total Phosphorus EMC (mg/L)	1.07	0.64	0.64	0.00	0.64
Total Phosphorus Load Leaving Site (lb/yr)	1.89	2.36	2.36	0.00	2.36
Total Phosphorus Loading Rate (lb/ac/yr)	0.49	0.61	0.61	0.00	0.61
Total Phosphorus % Change (relative to pre-D)	0%	25%	25%		

## SCM/Catchment Summary

SCM ID and Type	Volume Reduction (%)	TN Out (mg/L)	TP Out (mg/L)	TN Out (lbs/ac/yr)	TP Out (lbs/ac/yr)	TN Reduction (%)	TP Reduction (%)
<b>Catchment 1</b>	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
101: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
102: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
103: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
<b>Catchment 2</b>	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
201: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
202: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
203: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
<b>Catchment 3</b>	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
301: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
302: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
303: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
<b>Catchment 4</b>	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
401: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
402: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
403: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
<b>Catchment 5</b>	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
501: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
502: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
503: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
<b>Catchment 6</b>	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
601: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
602: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%
603: NA	0.00%	0.00	0.00	0.00	0.00	0.00%	0.00%

SCM rows in red have a data entry error for the SCM that makes an error in the calculation.

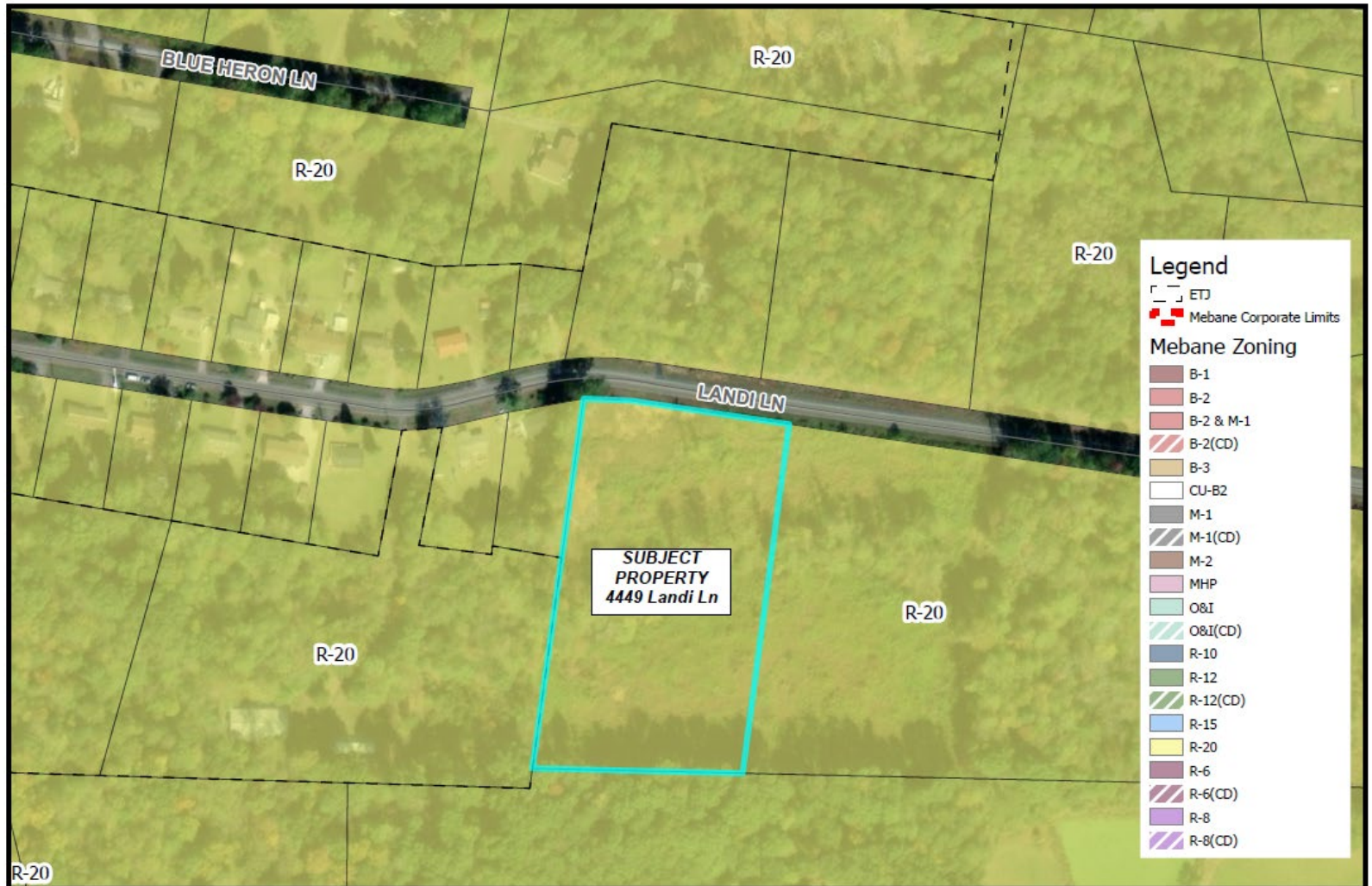
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# PLANNING PROJECT REPORT

DATE	06/08/21
PROJECT NUMBER	SUP 21-01
PROJECT NAME	Mill Creek TowerCom
	Towercom IV-B, LLC
	5611 NC Hwy 55
APPLICANT	Suite 201
	Durham, NC
	27713

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**CITY OF MEBANE  
ZONING MAP**

**SUBJECT PROPERTY  
MILL CREEK TOWERCOM**

1 inch = 200 feet

DATE: 6/08/2021

DRAWN BY: AV

---

## ZONING REPORT

EXISTING ZONE	R-20 (Single-Family Residential)
REQUESTED ACTION	Special Use Permit to allow for Wireless Communication Facility > 75'
CONDITIONAL ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
CURRENT LAND USE	Vacant
PARCEL SIZE	+/-3.87 ac
PROPERTY OWNERS	Adelana Amortia Nelson 200 Holt Ave., #B Greensboro, NC 27603 GPIN 9816764270
LEGAL DESCRIPTION	The applicant is requesting a special use permit be granted for a wireless communication facility (aka "5G Tower"). All such facilities >75' in height require a special use permit to be allowed.
AREA ZONING & DISTRICTS	All properties surrounding the subject property are zoned R-20. The property is within the Critical Area of the Graham-Mebane Water Supply (II) Watershed.
SITE HISTORY	The property was subdivided in 2015 into four properties. The properties have historically been vacant.
<b>STAFF ANALYSIS</b>	
CITY LIMITS?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
PROPOSED USE BY-RIGHT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
SPECIAL USE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
EXISTING UTILITIES?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
POTENTIAL IMPACT OF PROPOSED ZONE	There is no rezoning request, only a special use request to allow for the 5G Tower.





**G-4 Secondary Growth Area is**

“...generally residential and commercial in nature, and adequately serve the needs of those land owners... residents can expect the high level of service and quality of life they have come to expect living in Mebane

**G-4 Secondary Growth Area**

1 inch = 275 feet

## LAND USE REPORT

EXISTING LAND USE	Vacant
PROPOSED LAND USE & REQUESTED ACTION	The applicant is requesting a special use permit be granted for a wireless communication facility (aka "5G Tower"). All such facilities >75' in height require a special use permit to be allowed.
PROPOSED ZONING	N/A
PARCEL SIZE	+/-3.87 ac
AREA LAND USE	All of the surrounding land uses are rural single-family residences not using municipal utilities or vacant.
ONSITE AMENITIES & DEDICATIONS	N/A
WAIVER REQUESTED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF REQUESTED WAIVER(S)	

CONSISTENCY WITH <i>MEBANE BY DESIGN</i> STRATEGY	
LAND USE GROWTH STRATEGY DESIGNATION(S)	G-4 Secondary Growth Area Graham-Mebane Water Supply (II) Watershed Conservation Area
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES SUPPORTED	
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES <u>NOT</u> SUPPORTED	

---

## UTILITIES REPORT

AVAILABLE UTILITIES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
PROPOSED UTILITY NEEDS	The applicant is not proposing to use any public utilities.
UTILITIES PROVIDED BY APPLICANT	Compliance with the NC Water Supply Watershed development requirements requires minimizing the building footprint to 6% of the site, as reviewed and approved by the Mebane Engineering staff.
MUNICIPAL CAPACITY TO ABSORB PROJECT	N/A
CONSISTENCY WITH MEBANE LONG RANGE UTILITY PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
ADEQUATE STORMWATER CONTROL?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
INNOVATIVE STORMWATER MANAGEMENT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

### TRANSPORTATION NETWORK STATUS

CURRENT CONDITIONS	Landi Lane is a local, dead-end road maintained by NCDOT, that largely serves the needs of its residents. At its intersection with Landi Lane, NC 119 has a safety score of 100, with 10 incidents, including one fatality. NC 119 has an average of 4,400 trips per day at this location, though this increases to 7,400 trips per day at the entrance to the Mill Creek community.
TRAFFIC IMPACT ANALYSIS REQUIRED?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OR RECOMMENDED IMPROVEMENTS	N/A
CONSISTENCY WITH THE MEBANE BICYCLE AND PEDESTRIAN TRANSPORTATION PLAN?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
MULTIMODAL IMPROVEMENTS PROVIDED BY APPLICANT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OF MULTIMODAL IMPROVEMENTS	The applicant does not propose to make any multimodal improvements, as they are not required by the City's adopted plans and the site will not fully employ any individuals.

**STAFF RECOMMENDATION**

<p><b>STAFF ZONING RECOMMENDATION</b></p>	<p><input type="checkbox"/> APPROVE   <input type="checkbox"/> DISAPPROVE</p>
<p><b>STAFF SPECIAL USE FINDING</b></p>	<p><input checked="" type="checkbox"/> CONSISTENT   <input type="checkbox"/> NOT CONSISTENT.....WITH <i>MEBANE BY DESIGN</i></p>
<p><b>RATIONALE</b></p>	<p>The proposed development “Mill Creek Towercom” is consistent with the guidance provided within <i>Mebane By Design</i>, the Mebane Comprehensive Land Development Plan and, as shown by the applicant’s fall zone analysis and buffering commitments, is in harmony with the surrounding zoning of the area.</p>
<p><b>PUBLIC INTEREST CONFORMANCE?</b></p>	
<p><b>ENDANGER PUBLIC HEALTH OR SAFETY?</b></p>	<p><input type="checkbox"/> YES   <input type="checkbox"/> NO</p>
<p><b>SUBSTANTIALLY INJURE THE VALUE OF ADJOINING OR ABUTTING PROPERTY?</b></p>	<p><input type="checkbox"/> YES   <input type="checkbox"/> NO</p>
<p><b>HARMONIOUS WITH THE AREA IN WHICH IT IS LOCATED?</b></p>	<p><input type="checkbox"/> YES   <input type="checkbox"/> NO</p>
<p><b>CONSISTENT WITH <i>MEBANE BY DESIGN</i>, THE MUNICIPAL COMPREHENSIVE LAND DEVELOPMENT PLAN?</b></p>	<p><input type="checkbox"/> The application is consistent with the objectives and policies for growth and development contained in the City of Mebane Comprehensive Land Development Plan, <i>Mebane By Design</i>, and, as such, has been recommended for approval.</p> <p><input type="checkbox"/> The application is not fully consistent with the objectives and policies for growth and development of the City of Mebane Comprehensive Land Development Plan, <i>Mebane By Design</i>, but is otherwise in the public interest and has been recommended for approval. The Comprehensive Land Development Plan must be amended to reflect this approval and ensure consistency for the City of Mebane’s long-range planning objectives and policies.</p> <p><input type="checkbox"/> The application is not consistent with the objectives and policies for growth and development of the City of Mebane Comprehensive Land Development Plan, <i>Mebane By Design</i>, and, as such, has been recommended for denial.</p>



## Technical Memorandum

Date: June 10, 2021

To: Cy Stober, Development Director

From: Franz K. Holt, P.E.

Subject: Proposed Telecommunications Facility at Mill Creek – City Engineering review

The site plans for the subject facility dated May 11, 2021 and prepared by Jeremy Wooster with Tower Engineering Professionals and Engineering Services in Raleigh, NC, have been reviewed by the Engineering Department as a part of the TRC plan review process. Our technical review comments are as follows:

- A. General - Towercom plans to construct a telecommunications tower at 4449 Landi Lane. The parcel area is 3.87 acres of which a portion is being leased for the proposed use. Regardless, the total lot acreage is restricted to the 6% built upon area limitation.
- B. Watershed Overlay District and Phase II Stormwater Requirements
  - 1. Watershed Overlay District requirements are provided under Sec. 5.2 of the UDO. These requirements in the UDO are for the Back-Creek Watershed, which includes the Graham-Mebane Lake. This proposed developed is within the WCA with limitations on built upon area of 6%. The proposed project proposes to meet this requirement at 5.9% built upon area.
  - 2. Phase II Stormwater Post Construction Ordinance  
Sec. 5.4 in the UDO provides standards for Storm Water Management and 5.4.F requires compliance with the Mebane Post Construction Runoff Ordinance (which is a stand-alone ordinance titled the Phase II Stormwater Post Construction Ordinance (SPCO)). The standards in the UDO are general standards as the Ordinance itself provides detailed standards. The SPCO does not apply to this project as it will disturb less than one acre of land.
- C. Access - The Towercom Structure will be accessed from Landi Lane with a newly constructed gravel access drive with a 20-foot paved driveway apron within the existing road right of way. The gravel drive width is proposed at 12-feet with 12-inches of compacted stone.
- D. Permits – (not limited to but including the following)
  - 1) Stream buffer authorization permit is required from the City of Mebane for the proposed stream crossing.
  - 2) Driveway permit from NCDOT will be required for the access connection to Landi Lane (S.R. 2005).
  - 3) Corps and NCDEQ permit will be required for the stream crossing.



# MILL\_CREEK\_GOLF SERVICE GAP FILL IN Site

**Feb 2021**

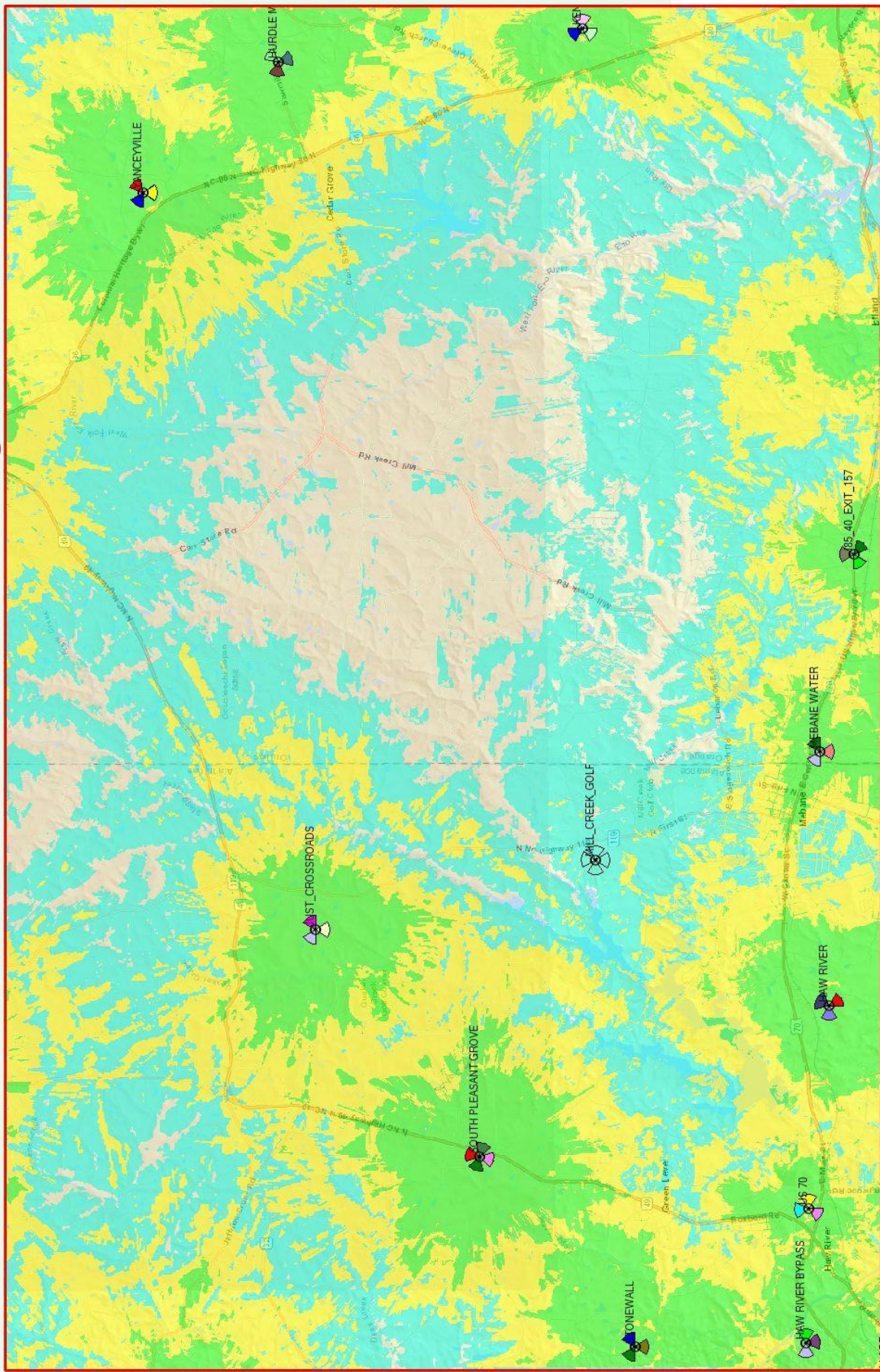
**Sam Patel**

**RF Engineer**



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# Current VZW 4G LTE Coverage



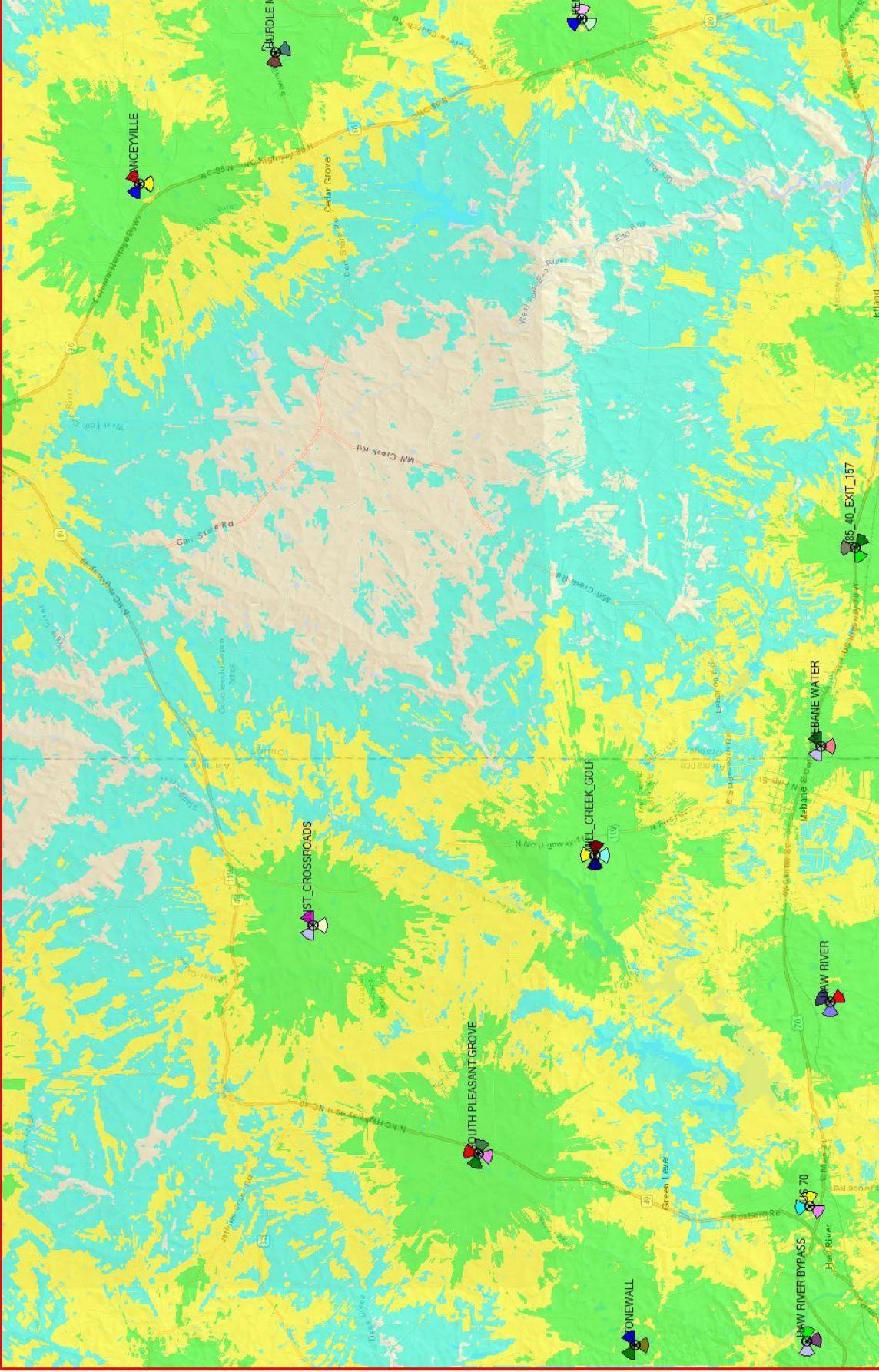
Coverage Level
In-Building
In-Vehicle
On-Street



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# Proposed VZW 4G LTE Coverage @ 190' ACL



Coverage Level
In-Building
In-Vehicle
On-Street



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## **MILL\_CREEK\_GOLF – Site Objective**

- **The coverage objective of the new build site MILL\_CREEK\_GOLF @ 190 ft is to provide reliable, contiguous coverage to the north of town Mebane, HWY 119 and surrounding areas. Thus improving the drop call performance.**
- **Currently there is an unreliable coverage and excessive drop calls to the north of town Mebane, HWY 119 and surrounding areas.**
- **MILL\_CREEK\_GOLF @ 190 ft and the existing location will integrate well into the wireless network to provide reliable, contiguous wireless coverage and it will improve the drop calls and overall experience for the customers.**



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**Thank You**



Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.





Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2021-ASO-11150-OE  
 Prior Study No.  
 2021-ASO-4770-OE

Issued Date: 05/12/2021

John Moody  
 TowerCom (JM)  
 5611 NC Hwy 55  
 Suite 201  
 Durham, NC 27713

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower Mill Creek  
 Location: Mebane, NC  
 Latitude: 36-07-45.26N NAD 83  
 Longitude: 79-16-45.44W  
 Heights: 618 feet site elevation (SE)  
 199 feet above ground level (AGL)  
 817 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 11/12/2022 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (202) 267-0105, or [j.garver@faa.gov](mailto:j.garver@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2021-ASO-11150-OE.

**Signature Control No: 476084508-480494915**

( DNE )

Jay Garver  
Specialist

Attachment(s)  
Frequency Data  
Map(s)

cc: FCC

**Frequency Data for ASN 2021-ASO-11150-OE**

<b>LOW FREQUENCY</b>	<b>HIGH FREQUENCY</b>	<b>FREQUENCY UNIT</b>	<b>ERP</b>	<b>ERP UNIT</b>
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W





N E L L O

1201 S Sheridan St  
South Bend, IN 46619

Phone: 574-288-3632  
Fax: 574-288-5860  
www.nelloinc.com

May 5, 2021

*TowerCom IV, LLC  
5611 NC Hwy, Suite 201  
Durham, NC 27713*

Re: Proposed 195' Nello Monopole Tower  
Nello Quote #: RFQ 77544  
Site: Mill Creek

To Whom It May Concern:

This letter is regarding your inquiry about the expected performance of your proposed tower that will be quoted by Nello based on site-specific criteria.

Our towers are designed to meet or exceed industry standards defined by TIA-222-H, "Structural Standards for Antenna Supporting Structures and Antennas" (TIA Standard). It is our opinion that the possibility of a tower collapse is very unlikely. The tower is designed using extreme wind and ice conditions. In fact, wind speeds specified by the TIA Standard are 50-year wind speeds. That is, they have only a 2% statistical chance of occurring in any given year.

This tower will be designed using the following wind conditions as a minimum: a 112 mph ultimate wind speed with no ice, and a 30 mph 3-second gust wind with 1.5" ice. The TIA Standard specifies 112 mph as the ultimate wind speed required for this site in Alamance County, NC. The "3-second gust wind speed" refers to a wind measured at 33 feet above the ground. Equations in the TIA Standard take into account that wind speed escalates with increasing height of the tower.

Although we cannot guarantee exactly how a tower would fall if it were to fail, the most likely mode of failure would be a buckling failure of one of the tower sections due to excessive wind loading. Nello will design the tower to stay within a fall radius of 80 feet based on design stress levels in accordance with the TIA-222-H Standard and the currently adopted IBC.

The fall radius statement above assumes proper foundation construction and tower installation. The foundation design should be reviewed to ensure that no foundation limit state governs the entire structural system and negates the fall radius design. The fall radius expectancy requires that the foundation be designed with a capacity greater than that of the tower capacity. If the foundation design used in association with this tower is performed by a third party then Nello must be provided the opportunity to review the design in order to confirm that the fall radius remains satisfactory. If for some reason Nello does not provide the tower design or is not given the opportunity to design or review the foundation for this specific project then the content of this letter becomes void.

We hope this has given you a greater degree of comfort regarding the design of your structure. If you have any other questions or concerns regarding the design of your site-specific tower, please contact our engineering or sales department.

Sincerely,

Jason M. Lambert, PE  
Vice President of Engineering  
Nello



***IMPACT STUDY***

***Impact Study - Cell Tower  
4449 Landi Lane  
Mebane, Alamance County,  
North Carolina 27302***

***Type Report: Impact Study***

***Effective Date  
May 30, 2021***

***Project ID MAD-001***



June 6, 2021

Ms. Kathe Post  
Project Manager  
TowerCom IV B, LLC  
5611 NC Highway 55  
Suite 201  
Durham, NC 27713

**RE: Impact Study for Proposed Telecommunications Facility located at 4449 Landi Lane, Mebane, Alamance County, North Carolina.**

Dear Ms. Post:

I have completed a study of the proposed tower. The scope of the assignment is to provide an analysis and conclusions addressing whether the proposed development will adversely impact the value of surrounding properties. The study will be included in an application for an amendment to the Mebane Zoning Ordinance for a special use permit.

The impact study is intended to conform to the Uniform Standards of Professional Appraisal Practice (USPAP), the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute. The impact study is not an appraisal as it does not report a value of any property or provide a numerical reference; however, the study employs appraisal methodology to reach our conclusions of the impact of the proposed development.

The proposed tower will be located on a vacant lot located at 4449 Landi Lane in the extraterritorial jurisdiction of the City of Mebane. The property is located along the NC Highway 119 corridor. NC Highway 119 serves as the northern radial growth pattern emanating from the interchange with US Highway 70 south of the proposed development. The location is a factor in the selection of data for comparison and the conclusions of this analysis.

The conclusions of this study are supported by the data and reasoning set forth in the attached narrative. Your attention is invited to the Assumptions and Limiting Conditions section of this report. The analysts certify that we have no present or contemplated future interest in the proposed development, and that our fee for this assignment is in no way contingent upon the conclusions of this study.

**EXTRAORDINARY ASSUMPTIONS AND HYPOTHETICAL CONDITIONS:**

*Kathe Post*  
*June 6, 2021*  
*Page 2*

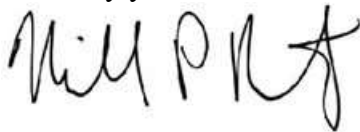
It is an extraordinary assumption of this report that the proposed development will be constructed as detailed in the report. Further, it is an assumption of the study that the existing access will be used to access the proposed wireless facility.

The content and conclusions of this report are intended for our client and for the specified intended uses only. They are also subject to the assumptions and limiting conditions as well as the specific extraordinary assumption set forth in this report.

It is our opinion that the proposed development will enhance or maintain the value of contiguous properties and that it is in an area where it does not substantially detract from the aesthetics and neighborhood character.

Thank you for the opportunity to be of service. If you have any questions or comments, please contact our office.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Michael P. Berkowitz". The signature is fluid and cursive, with the first name "Michael" and last name "Berkowitz" clearly legible.

**MICHAEL P. BERKOWITZ**  
**MPB REAL ESTATE, LLC**

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## **SCOPE OF THE ASSIGNMENT**

In accordance with our agreement with the client, this impact study is specific to the needs of our client as part of an application for a special use permit to be considered by Mebane City Officials. Our study and the reporting of our study is in agreement with our client as follows:

The proposed development requires a Special Use Permit. The report is intended to address some of the items to be considered for approval or denial of the permit. The following was extracted from Chapter 2.18.I of the Mebane Unified Development Ordinance regarding the findings of fact associated with a special use permit.

1. Will materially endanger the public health or safety; or
2. Will substantially injure the value of adjoining or abutting property; or
3. Will not be in harmony with the area in which it is to be located; or
4. Will not be in general conformity with the land use plan or other plans and policies officially adopted by the City Council.

The scope of the assignment includes research of existing towers in the neighborhood. The neighborhoods and their surrounding developments are researched to determine whether the proposed development, referred to as the “Mill Creek Site”, is consistent with the location of other towers in Mebane and their impact, if any, on neighborhood development patterns and property values.

The impact study provides an analysis of the surrounding properties. The analysis includes existing improvements, zoning designations and likely development patterns. The existing uses as of the effective date of this report in concert with the market data provided are contributing factors to the conclusions of this study.



## PREMISES OF THE STUDY

### Identification of Subject

Mill Creek Site

4449 Landi Lane  
Mebane, Alamance County, NC 27302  
Tax Parcel ID: 172541

### Client, Purpose, and Intended Use and Intended Users

Ms. Kathe Post  
Project Manager  
TowerCom IV B, LLC  
5611 NC Highway 55  
Suite 201  
Durham, NC 27713

The client and intended user is Ms. Kathe Post. The intended use is as an aid to assist Mebane officials in rendering a decision regarding the issuance of a special use permit for the proposed development. The study is not intended for any other use or users.

### Analyst

Michael P. Berkowitz

MPB Real Estate, LLC  
1100 Sundance Drive  
Concord, NC 28027

### Property Inspection

Michael Berkowitz inspected the property and neighborhood surrounding the proposed development. Details of surrounding land uses, and observations are provided throughout the report. I also performed off site visual inspections of several towers located in Mebane and the surrounding area. I consider my observations in the context of the market data. They are a contributing factor to my conclusions. Photographs of the property were taken during Mr. Berkowitz's inspection.

### Extraordinary Assumptions of Report

It is an extraordinary assumption of this report that the improvements as described within this report are compliant with the appropriate ordinance regarding items including but not necessarily limited to setbacks, landscaping, access and other items outside our field of expertise for this assignment.

These items will be addressed as part of the application by others with expertise within the respective fields.

Should the extraordinary assumptions not exist, we reserve the right to amend this study.

**Effective Date of Study** May 30, 2021

**Date of Report** June 6, 2021

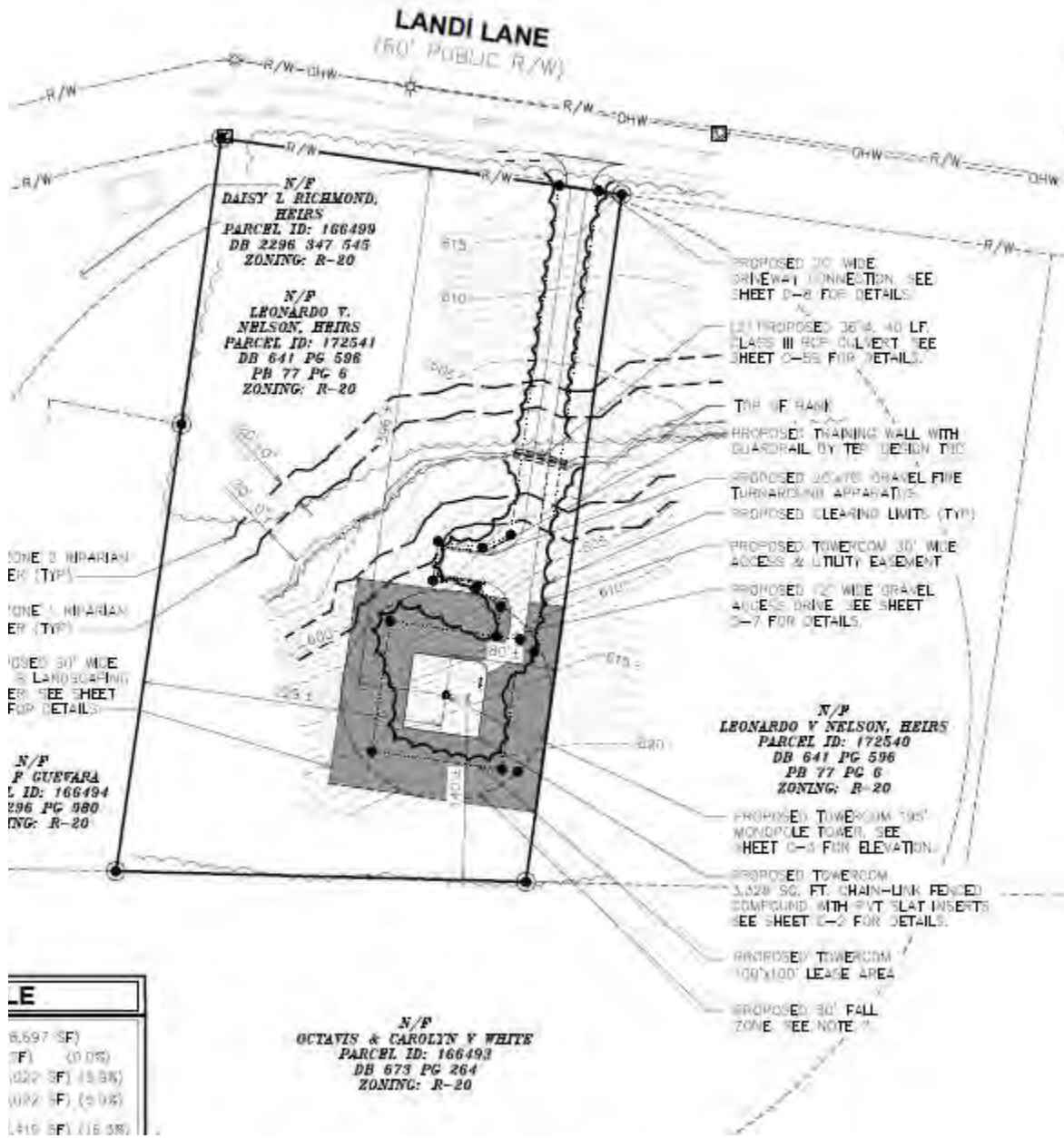
**Type Report** Impact Study Report

**Study Development and Reporting Process** In preparing this study, the analyst:

- Analyzes physical affects, if any, of the proposed construction on properties in the immediate area as well as the neighborhood;
- Reviews plans for the proposed development to determine whether it is in compliance with the Mebane Unified Development Ordinance (UDO) with respect to items within my field of expertise;
- Reviews site plan provided by our client with respect to the physical characteristics of the proposed development;
- Reviews Section 8.7 of the Mebane UDO regarding permitted uses with conditions for essential services;
- Researches market data around existing cell towers in Mebane and the surrounding area to determine whether the proposed development is in accordance with the other similar developments in the area.

## PROPOSED FACILITY

**Tower** Based on information provided to the analyst, the proposed tower will consist of a 195-foot “monopole” communications tower. The following site plan shows the proposed site.



SITE PLAN



**Site Improvements**

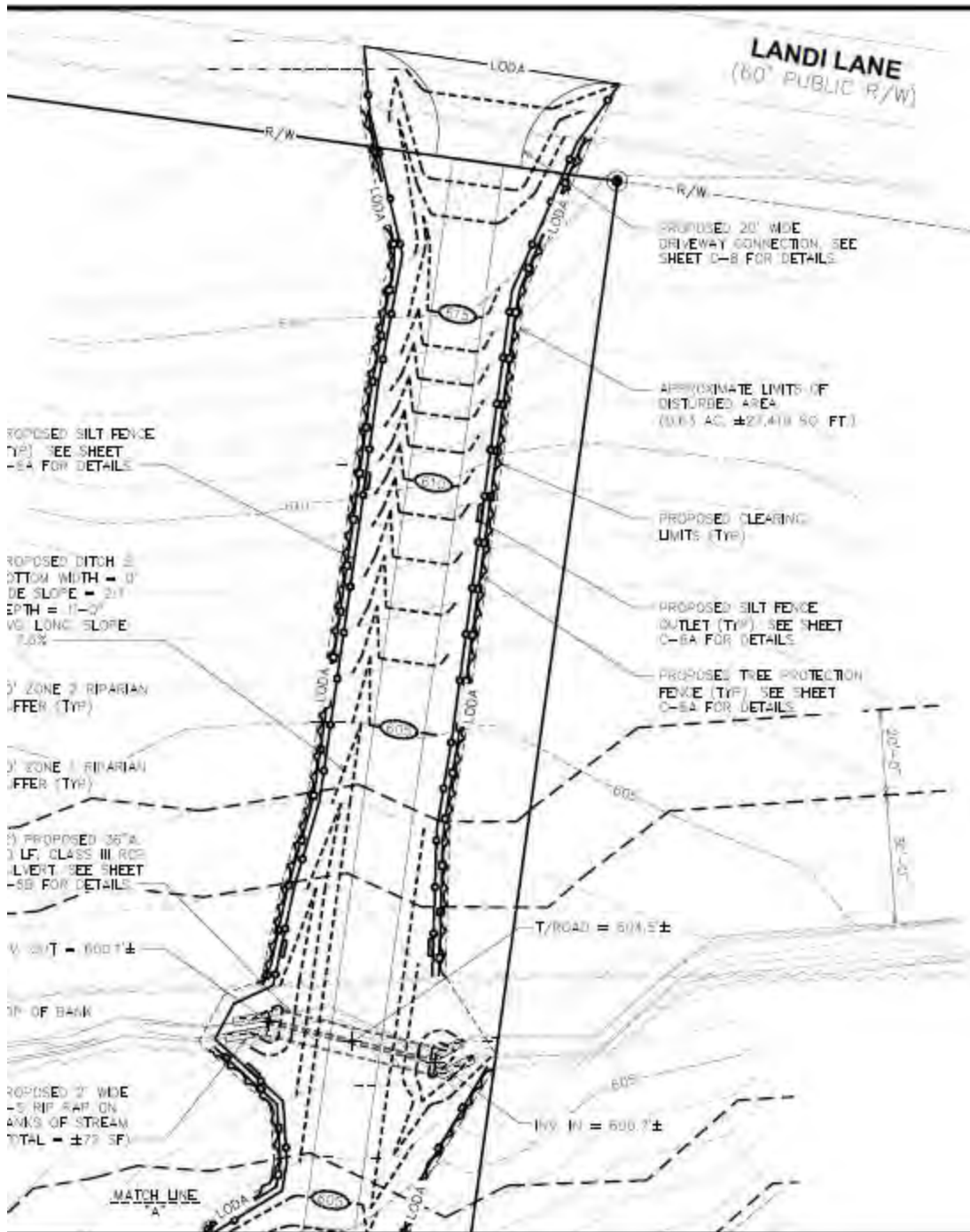
The site improvements will include an eight-foot-high chain link fence with three strands of barbed wire. The site improvements will include the construction of a gravel driveway that will cross the existing stream on the parcel to the site of the proposed development. The site improvements are consistent with other cell towers observed.

**Access**

The access to the tower will be via a 20-foot-wide access/utility easement stemming from Landi Lane. The driveway appears consistent with other access points in the



neighborhood. The following exhibit was extracted from the site plans provided for this assignment.





**Location**

The proposed location is in the southeast corner of the site. Based on the analysis of the site plan and the UDO, the siting of the tower appears to be in the area furthest from the street and closest to the adjacent property to the east, which is under the same ownership.

**SURROUNDING LAND USES**

The proposed development is located on a 3.78-acre tract of land located at 4449 Landi Lane. Landi Lane connects to NC Highway 119 to the east, which is the primary north/south transportation corridor in the neighborhood.

To the west of the subject are single family residential properties that were primarily constructed in the 1970's. The existing trees will obscure most if not all the tower from the majority of these properties. To the east and north are larger residential lots some of which have been developed with single family dwellings.

To the north of the proposed site are residential lots some of which have been developed with single family dwellings. As with significant portions of the neighborhood all the properties to the north are heavily wooded and will have little to no visual impact from the tower.

To the south is a single-family dwelling situated on a larger parcel used for agricultural purposes. The site consists of 39.63 acres and as with all of the adjacent or abutting properties includes a significant vegetative buffer between the site of the proposed tower and the existing improvements.

For the assignment, we were provided with simulated photographs. The photographs in concert with observations made during the inspection are contributing factors in the analysis. The following are the photographs provided simulating the landscape with and without the tower. Please note that the tower will not be visible from some of the

locations. We note the presence of above ground infrastructure that also has a visual impact on most of the surrounding residential properties.



As we will discuss in the following section, the scope of the assignment is to determine whether the proposed development is in accordance with the Mebane UDO regarding the issuance of a special use permit. The items within our field of expertise are detailed in the following section.

## MEBANE UNIFIED DEVELOPMENT ORDINANCE

The Mebane UDO provides four criteria for the approval of a special use permit. The following was extracted from the Mebane UDO.

1. Will materially endanger the public health or safety; or
2. Will substantially injure the value of adjoining or abutting property; or
3. Will not be in harmony with the area in which it is to be located; or
4. Will not be in general conformity with the land use plan or other plans and policies officially adopted by the City Council.

The potential impact on property values of adjacent or abutting properties considers several Physical characteristics associated with the visual impact of the tower in concert with the nature of the adjacent or abutting properties.

*Height* – The height of the proposed tower is 195 feet. The height of the tower will not require a light. Based on research of the market, the height of the tower is consistent with other towers in the general area. The height of the tower is considered in the potential visual impact on nearby properties.

*Residential Proximity* – The subject has an R-20 zoning designation. The zoning is consistent with other properties with residential developments in the ETJ of Mebane.

*Uses* – As noted earlier, the adjacent or abutting properties include a combination of vacant land, low-density and medium density residential properties.

*Trees and Vegetation* – There is a vegetative buffer around the perimeter of the site between the residential properties and the site. The trees and vegetation on the subject and contiguous properties will reduce the visual impact of the tower.

*Design of the Tower* – The design of the tower is a monopole construction. The visual footprint is smaller than most towers prevalent in the area. The location and significant tree cover will reduce or eliminate the visual impact of the proposed tower.

*Ingress/Egress* – The ingress and egress for the tower will be through a driveway to be constructed for the project. It is an assumption of this study that the access will meet all local and state requirements.

## Summary

The ordinance intends to protect residential areas and land uses from potential adverse characteristics and to locate the towers in areas to the extent possible to minimize impact on the neighborhood. As part of the scope of the assignment, I have been asked to determine whether the tower as proposed would adversely impact the value of adjacent or abutting properties.

## MARKET RESEARCH

A potential issue associated with the impact of the proposed development is on property values. My expertise is in property valuation; therefore, we provide a test as to whether the market provides evidence of a diminution in value based on proximity of a cell tower.

We researched towers in and around Mebane and identify the development patterns around these towers. After analyzing the market data, we compare this information to the proposed site and the physical characteristics and development patterns surrounding the proposed development.

## Mebane Area Towers

During our research, we observed several towers in and around Mebane. The cell towers analyzed for direct comparison were chosen for a variety of reasons including but not necessarily limited to:

- *Location* – The proposed location is in an emerging market in the ETJ of Mebane and includes a mixture of residential uses.
- *Adjacent or Abutting Properties* – The adjacent or abutting properties include vacant land, low and medium density residential uses.
- *Construction Type/Height* – The proposed tower is a monopole with a height of 195 feet.

For the research of towers, we rely on information from antennasearch.com, which we consider a reliable source of information. We excluded towers in commercial and industrial areas as there are too many factors present to isolate the impact, if any, of the tower. Some towers were not visible from the public right-of-way or aerial photos and were excluded.

Consistent with the ordinance for UDO, most of the towers in the area are either located on or adjacent to commercial and industrial areas. Influence from major transportation corridors was also considered in the selection of towers. In many cases there are several factors that contributed to the development patterns and values around the towers. The following provides a summary of the three towers found in the most comparable locations to the proposed site.

The first tower is located off Dickey Mill Road approximately two miles from the proposed development. This lattice communication tower has a height of 253 feet and poses a significantly higher visual footprint than the proposed development. A review of market activity for properties adjacent to this tower did not provide empirical evidence adequate in quality or quantity to perform a credible quantitative analysis.

The second tower researched is located at 205 Edgwood Church Road. This tower was constructed in 2001 and has a



height of 250 feet. This tower is also a lattice tower that has a higher level of visual influence on the surrounding properties. Again, the market does not provide data to perform a credible analysis.

The other towers found had other external factors that would not result in a credible analysis. Commercial or industrial properties are not consistent with the location of the proposed development. The relevant information extracted from this analysis is that towers are developed in residential areas. The development of towers in the area has been limited.

Given the absence of local towers and/or market data to develop a quantitative analysis, we provide examples from other markets with residential developments with a visual impact from the tower.

### Additional Market Data

As the immediate area provided inadequate information for a quantitative analysis of the visual influence on residential properties, we provide the following examples that include residential developments adjacent to a cell tower.



19950 Burton Lane



This tower was selected as it has visual impact on residential properties without other external factors. The tower is located within the Victoria Bay development in Cornelius, North Carolina. Cornelius is a small town north of Charlotte with influence from Lake Norman. This subdivision includes some homes with frontage on the water. We have excluded these

sales to assist in isolating the influence of the tower if any. The following chart provides a summary of the sales. The sales highlighted in yellow have visual influence from the tower. The sales highlighted in green are for a resale of the same property.

Victoria Bay					
Parcel #	Street Address	Sales Date	Size (SF)	\$/SF	Sales Price
003-381-44	19911 Marina Village Dr.	April 13, 2018	1,620	\$ 138.27	\$ 224,000
003-381-40	18505 Victoria Bay Dr.	November 13, 2018	1,620	\$ 155.86	\$ 252,500
003-381-30	18526 Victoria Bay Dr.	July 1, 2020	2,219	\$ 145.11	\$ 322,000
003-381-62	18611 Victoria Bay Dr.	November 16, 2018	1,620	\$ 146.91	\$ 238,000
003-381-65	18623 Victoria Bay Dr.	February 28, 2018	1,620	\$ 139.51	\$ 226,000
003-381-66	18627 Victoria Bay Dr.	October 18, 2018	1,620	\$ 151.23	\$ 245,000
003-381-25	18624 Victoria Bay Dr.	November 20, 2018	2,052	\$ 119.40	\$ 245,000
003-381-14	20030 Coral Cove Ct.	January 11, 2018	1,620	\$ 134.57	\$ 218,000
003-382-02	18122 Bluff Inlet Rd.	June 19, 2020	2,071	\$ 153.31	\$ 317,500
003-195-09	18111 Bluff Inlet Rd.	May 18, 2018	2,052	\$ 121.83	\$ 250,000
003-195-06	18021 Bluff Inlet Rd.	July 16, 2018	2,012	\$ 136.68	\$ 275,000
003-195-01	18001 Bluff Inlet Rd.	April 17, 2020	1,645	\$ 151.98	\$ 250,000
003-196-23	20815 Brinkley St.	June 17, 2020	2,610	\$ 128.35	\$ 335,000
003-196-12	18208 Harbor Mist Rd.	February 23, 2018	2,709	\$ 108.90	\$ 295,000
003-196-12	18208 Harbor Mist Rd.	August 3, 2018	2,709	\$ 124.03	\$ 336,000
003-196-36	20933 Brinkley St.	September 7, 2018	2,528	\$ 128.56	\$ 325,000
003-194-57	20102 Beard St.	August 21, 2020	2,386	\$ 155.07	\$ 370,000
003-195-59	20115 Beard St.	September 4, 2018	2,263	\$ 124.61	\$ 282,000
003-194-51	20914 Brinkley St.	December 27, 2018	2,609	\$ 109.62	\$ 286,000
003-194-25	18307 Victoria Bay Dr.	February 21, 2018	2,332	\$ 125.21	\$ 292,000
003-194-26	18311 Victoria Bay Dr.	September 21, 2018	2,582	\$ 114.25	\$ 295,000
003-194-25	18327 Victoria Bay Dr.	January 24, 2018	2,609	\$ 105.40	\$ 275,000
003-194-34	18409 Victoria Bay Dr.	August 13, 2018	2,655	\$ 119.77	\$ 318,000

The sales shown have an average price per square foot of \$132.11. Three of the four sales with visual influence from the tower are above the average. Six of the sales in the data set were of the same model of three of the sale with visual influence from the tower. The prices paid per square foot are comparable. The indication from the market is that the visual impact from the tower does not adversely impact property values in Victoria Bay.



10300 Poplar Tent Road



This tower was researched because of its similar location and the ability to isolate the potential impact of the visual influence of the tower. The development is in the ETJ of the Town of Davidson north of Charlotte. The lattice construction poses a larger visual footprint than the proposed monopole tower. The following chart provide sales data for the adjacent development with the most significant characteristics of the comparison listed in the chart. The sales in yellow are for the houses with the highest level of visual influence from the tower as shown in the photograph. The sales highlighted in green are for sales of the same property.

Fullerton @ Skybrook											
Parcel #	Street Address	Sales Date	Size (SF)	\$/SF	Sales Price	Parcel #	Street Address	Sales Date	Size (SF)	\$/SF	Sales Price
4671-72-9757	575 MARTHAS VIEW DR NW	Apr 20 2017	3,033	\$ 93.97	\$ 285,000	4671-83-8097	10375 RUTLEDGE RIDGE DR NW	Feb 15 2017	2,846	\$ 99.79	\$ 284,000
4671-72-9757	575 MARTHAS VIEW DR NW	Mar 25 2019	3,033	\$ 104.85	\$ 318,000	4671-83-8390	10392 RUTLEDGE RIDGE DR NW	Dec 14 2016	2,246	\$ 111.31	\$ 250,000
4671-73-7074	595 MARTHAS VIEW DR NW	Jul 31 2017	2,870	\$ 91.99	\$ 264,000	4671-83-8390	10392 RUTLEDGE RIDGE DR NW	Apr 12 2019	2,246	\$ 119.32	\$ 268,000
4671-73-7074	595 MARTHAS VIEW DR NW	Aug 7 2018	2,870	\$ 77.00	\$ 221,000	4671-83-8706	10415 RUTLEDGE RIDGE DR NW	Feb 16 2018	2,545	\$ 104.13	\$ 265,000
4671-73-7074	595 MARTHAS VIEW DR NW	Mar 7 2019	2,870	\$ 95.12	\$ 273,000	4671-83-8786	10416 RUTLEDGE RIDGE DR NW	Jul 1 2019	2,697	\$ 112.16	\$ 302,500
4671-73-7090	591 MARTHAS VIEW DR NW	Oct 11 2017	3,313	\$ 87.23	\$ 289,000	4671-83-9283	10378 RUTLEDGE RIDGE DR NW	Dec 6 2016	2,696	\$ 111.28	\$ 300,000
4671-73-7090	591 MARTHAS VIEW DR NW	Jun 15 2018	3,313	\$ 90.55	\$ 300,000	4671-83-9388	1314 BRIDGEFORD DR NW	Jan 13 2020	3,315	\$ 95.32	\$ 316,000
4671-73-8245	1223 BRIDGEFORD DR NW	Oct 12 2016	2,563	\$ 95.59	\$ 245,000	4671-83-9388	1314 BRIDGEFORD DR NW	Mar 23 2020	3,315	\$ 96.83	\$ 321,000
4671-73-8297	1227 BRIDGEFORD DR NW	Jul 17 2018	2,835	\$ 105.82	\$ 300,000	4671-83-9536	10404 RUTLEDGE RIDGE DR NW	May 18 2018	3,071	\$ 97.69	\$ 300,000
4671-73-9130	1224 BRIDGEFORD DR NW	Dec 4 2017	2,493	\$ 89.85	\$ 224,000	4671-83-9536	10404 RUTLEDGE RIDGE DR NW	Oct 4 2019	3,071	\$ 105.83	\$ 325,000
4671-82-0649	567 MARTHAS VIEW DR NW	Feb 8 2018	2,870	\$ 98.61	\$ 283,000	4671-92-3547	10327 RUTLEDGE RIDGE DR NW	May 20 2019	3,312	\$ 95.41	\$ 316,000
4671-82-0685	563 MARTHAS VIEW DR NW	Apr 9 2020	2,697	\$ 114.20	\$ 308,000	4671-92-3827	1303 MCDERMOTT WAY NW	Jul 8 2020	2,983	\$ 117.35	\$ 350,000
4671-82-1809	574 MARTHAS VIEW DR NW	Jul 13 2017	2,907	\$ 89.44	\$ 260,000	4671-92-4746	10334 RUTLEDGE RIDGE DR NW	Jul 31 2019	2,675	\$ 108.41	\$ 290,000
4671-82-1842	10345 WESSON HUNT RD NW	Mar 29 2018	2,020	\$ 131.19	\$ 265,000	4671-92-5493	10348 HILLSBOROUGH ST NW	Apr 12 2019	2,567	\$ 108.69	\$ 279,000
4671-82-1895	10349 WESSON HUNT RD NW	Apr 23 2018	2,226	\$ 116.80	\$ 260,000	4671-92-5844	1312 MCDERMOTT WAY NW	Aug 16 2018	3,006	\$ 106.47	\$ 320,000
4671-82-2548	555 MARTHAS VIEW DR NW	Feb 28 2018	2,759	\$ 103.30	\$ 285,000	4671-92-5879	1316 MCDERMOTT WAY NW	Apr 3 2018	2,999	\$ 100.72	\$ 302,000
4671-82-2963	10357 WESSON HUNT RD NW	May 15 2018	2,706	\$ 104.95	\$ 284,000	4671-92-7998	10391 HILLSBOROUGH ST NW	Jul 25 2018	2,545	\$ 115.13	\$ 293,000
4671-82-3618	10346 WESSON HUNT RD NW	Oct 17 2018	3,027	\$ 100.76	\$ 305,000	4671-92-8871	10384 HILLSBOROUGH ST NW	May 29 2019	2,545	\$ 109.23	\$ 278,000
4671-82-4872	10362 WESSON HUNT RD NW	Jun 8 2017	2,251	\$ 114.62	\$ 258,000	4671-93-0526	1311 BRIDGEFORD DR NW	Jan 17 2019	2,723	\$ 101.54	\$ 276,500
4671-82-5817	10366 WESSON HUNT RD NW	Apr 18 2019	2,421	\$ 104.50	\$ 253,000	4671-93-1449	1319 BRIDGEFORD DR NW	Aug 27 2019	2,723	\$ 128.53	\$ 350,000
4671-83-0135	1232 BRIDGEFORD DR NW	Jul 16 2019	2,835	\$ 100.53	\$ 285,000	4671-93-2070	1308 MALDEN ST NW	Jun 18 2020	2,684	\$ 116.24	\$ 312,000
4671-83-1024	10391 DOWLING ST NW	Aug 19 2020	3,204	\$ 109.24	\$ 350,000	4671-93-3227	10404 PORTERS POND LN NW	Jul 17 2018	2,927	\$ 104.54	\$ 306,000
4671-83-1329	1247 BRIDGEFORD DR NW	Feb 12 2018	2,563	\$ 97.93	\$ 251,000	4671-93-3567	10419 PORTERS POND LN NW	Nov 14 2018	3,341	\$ 102.07	\$ 341,000
4671-83-2147	10396 DOWLING ST NW	Apr 16 2018	2,274	\$ 105.54	\$ 240,000	4671-93-4352	10412 PORTERS POND LN NW	Feb 6 2019	2,691	\$ 127.83	\$ 344,000
4671-83-2147	10396 DOWLING ST NW	Oct 12 2018	2,274	\$ 110.38	\$ 251,000	4671-93-4535	10423 PORTERS POND LN NW	Mar 21 2018	2,846	\$ 105.41	\$ 300,000
4671-83-2414	1255 BRIDGEFORD DR NW	May 30 2019	3,235	\$ 82.69	\$ 267,500	4671-93-6127	1361 BRIDGEFORD DR NW	May 11 2018	2,545	\$ 111.98	\$ 285,000
4671-83-2414	1255 BRIDGEFORD DR NW	Sep 20 2019	3,235	\$ 94.59	\$ 306,000	4671-93-6176	1365 BRIDGEFORD DR NW	Apr 25 2018	2,246	\$ 124.44	\$ 279,500
4671-83-3051	10367 WESSON HUNT RD NW	Oct 5 2018	2,441	\$ 103.24	\$ 252,000	4671-93-7187	1373 BRIDGEFORD DR NW	Jul 1 2020	2,739	\$ 125.96	\$ 345,000
4671-83-6383	10395 RUTLEDGE RIDGE DR NW	Nov 2 2017	3,313	\$ 91.31	\$ 302,500	4681-03-0044	10408 HILLSBOROUGH ST NW	Nov 29 2018	2,869	\$ 106.66	\$ 306,000
4671-83-6413	1284 BRIDGEFORD DR NW	Feb 28 2017	2,622	\$ 96.11	\$ 252,000	4681-03-1406	10437 HILLSBOROUGH ST NW	Nov 12 2019	2,545	\$ 117.88	\$ 300,000
4671-83-6464	1290 BRIDGEFORD DR NW	Jun 28 2018	2,551	\$ 116.03	\$ 296,000	4681-03-2205	10428 HILLSBOROUGH ST NW	Sep 1 2017	3,526	\$ 89.34	\$ 315,000
4671-83-7606	10407 RUTLEDGE RIDGE DR NW	Aug 18 2020	2,784	\$ 123.92	\$ 345,000	4681-03-2205	10428 HILLSBOROUGH ST NW	Jun 17 2019	3,526	\$ 98.41	\$ 347,000



The sales have an average price of \$104.96 per square foot or \$291,320. The range of the sales is from \$77.00 to \$131.19 per square foot. The highest price paid per square foot is for a home with visual influence of the tower. After adjusting the sales for a variety of physical and legal characteristics, the conclusion is that the visibility of the tower has no impact on the prices paid.



2735 Odell School Road



This tower was researched because of its similar location and the ability to isolate the potential impact of the visual influence of the tower. The property is in Concord, North Carolina, a suburban City within the Charlotte MSA. The lattice construction poses a larger visual footprint than the proposed monopole tower, but the distance to the properties provides a similar visual impact to the proposed tower. The following chart provide sales data for the adjacent development with the most significant characteristics of the comparison listed in the chart. The sales in yellow are for the houses with the highest level of visual influence from the tower as shown in the photograph.

Wellington Chase											
Parcel Number	Street Address	Sales Date	Size (SF)	\$ per SF	Sales Price	Parcel Number	Street Address	Sales Date	Size (SF)	\$ per SF	Sales Price
4682-02-9341	2673 TREELINE DR	Apr 18 2018	3,270	\$ 119.27	\$ 390,000	4682-22-8895	2560 TREELINE DR	Feb 24 2020	3,525	\$ 103.55	\$ 365,000
4682-11-1574	9658 ESTRIDGE LN	Oct 30 2018	3,968	\$ 87.58	\$ 347,500	4682-22-9436	2477 WELLINGTON CHASE DR	Aug 31 2018	3,376	\$ 139.96	\$ 472,500
4682-11-1748	9711 LOCKWOOD RD	Jul 17 2020	3,925	\$ 115.92	\$ 455,000	4682-22-9533	2483 WELLINGTON CHASE DR	Jul 14 2020	3,269	\$ 118.38	\$ 387,000
4682-11-3479	9650 ESTRIDGE LN	Jul 17 2018	3,875	\$ 103.74	\$ 402,000	4682-22-9865	2556 TREELINE DR	Aug 30 2018	3,038	\$ 130.68	\$ 397,000
4682-11-3479	9650 ESTRIDGE LN	May 13 2019	3,875	\$ 100.13	\$ 388,000	4682-30-0929	2240 WELLINGTON CHASE DR	Apr 19 2018	4,127	\$ 97.65	\$ 403,000
4682-11-3616	9639 LOCKWOOD RD	Jan 6 2020	2,591	\$ 138.94	\$ 360,000	4682-30-4876	2119 PRAIRIE RD	Jun 19 2020	3,017	\$ 142.53	\$ 430,000
4682-11-5205	9643 ESTRIDGE LN	Aug 10 2017	3,741	\$ 126.19	\$ 472,000	4682-30-5975	9564 HORSEBIT LN	Mar 1 2019	2,197	\$ 145.65	\$ 320,000
4682-11-5936	2421 SATCHEL LN	May 16 2018	3,521	\$ 115.02	\$ 405,000	4682-30-7697	2146 PRAIRIE RD	Apr 12 2019	2,223	\$ 137.23	\$ 305,000
4682-11-7717	9622 LOCKWOOD RD	Apr 30 2018	3,470	\$ 112.68	\$ 391,000	4682-30-7948	9565 HORSEBIT LN	Dec 8 2017	3,044	\$ 105.45	\$ 321,000
4682-11-8328	9632 ESTRIDGE LN	Nov 7 2017	3,203	\$ 120.82	\$ 387,000	4682-30-7948	9565 HORSEBIT LN	Nov 20 2018	2,816	\$ 119.85	\$ 337,500
4682-11-8828	2424 SATCHEL LN	Jun 12 2019	3,692	\$ 113.22	\$ 418,000	4682-30-7948	9565 HORSEBIT LN	Sep 25 2019	2,816	\$ 126.07	\$ 355,000
4682-11-9327	9628 ESTRIDGE LN	May 25 2018	3,751	\$ 106.37	\$ 399,000	4682-30-7971	9575 HORSEBIT LN	Aug 14 2018	3,162	\$ 115.43	\$ 365,000
4682-11-9582	9611 LOCKWOOD RD	Sep 19 2019	3,568	\$ 114.63	\$ 409,000	4682-30-8986	2193 PRAIRIE RD	Oct 11 2017	3,134	\$ 106.41	\$ 333,500
4682-12-0539	2670 TREELINE DR	Sep 15 2017	3,099	\$ 117.46	\$ 364,000	4682-30-9638	2158 PRAIRIE RD	Aug 26 2020	2,197	\$ 156.58	\$ 344,000
4682-12-2972	9724 COLTS NECK LN	Jun 14 2019	3,350	\$ 111.94	\$ 375,000	4682-30-9807	2175 PRAIRIE RD	Sep 29 2017	3,098	\$ 115.24	\$ 357,000
4682-12-5916	2568 SHOAL PARK RD	May 15 2019	3,307	\$ 116.42	\$ 385,000	4682-31-1943	2454 WELLINGTON CHASE DR	Jul 27 2020	3,488	\$ 105.50	\$ 368,000
4682-12-8597	2622 TREELINE DR	Sep 28 2018	2,969	\$ 116.20	\$ 345,000	4682-31-4938	9177 MARASOL LN	Dec 29 2017	2,758	\$ 111.31	\$ 307,000
4682-13-3225	2589 SHOAL PARK RD	Feb 10 2020	3,286	\$ 119.60	\$ 393,000	4682-31-5051	9558 HORSEBIT LN	May 14 2018	2,971	\$ 114.44	\$ 340,000
4682-13-3430	2603 SHOAL PARK RD	May 20 2019	3,350	\$ 119.40	\$ 400,000	4682-31-5305	9528 HORSEBIT LN	Apr 26 2018	2,980	\$ 124.83	\$ 372,000
4682-13-3430	2603 SHOAL PARK RD	Sep 17 2019	3,350	\$ 119.40	\$ 400,000	4682-31-5462	9522 HORSEBIT LN	Oct 11 2017	2,991	\$ 123.37	\$ 369,000
4682-13-3438	2609 SHOAL PARK RD	Mar 15 2018	3,304	\$ 116.22	\$ 384,000	4682-31-5781	2265 PRAIRIE RD	Jan 19 2018	3,002	\$ 118.25	\$ 355,000
4682-13-6477	9700 JAMESTOWN RD	May 21 2020	2,948	\$ 118.72	\$ 350,000	4682-31-6552	2247 PRAIRIE RD	Sep 27 2017	2,192	\$ 156.71	\$ 343,500
4682-13-7447	9694 JAMESTOWN RD	Jan 26 2018	3,341	\$ 122.27	\$ 408,500	4682-31-7268	2225 PRAIRIE RD	Nov 3 2017	2,429	\$ 123.10	\$ 299,000
4682-13-8488	9682 JAMESTOWN RD	Nov 27 2017	2,948	\$ 118.72	\$ 350,000	4682-31-7281	2219 PRAIRIE RD	Jun 10 2020	3,157	\$ 121.95	\$ 385,000
4682-13-9457	9676 JAMESTOWN RD	Oct 3 2019	3,443	\$ 114.73	\$ 395,000	4682-31-7334	2231 PRAIRIE RD	Oct 25 2017	2,773	\$ 110.53	\$ 306,500
4682-21-2694	2416 SPUR LN	Apr 16 2020	3,977	\$ 90.52	\$ 360,000	4682-31-7747	2258 PRAIRIE RD	Aug 23 2017	2,975	\$ 122.52	\$ 364,500
4682-21-3463	2408 SPUR LN	Sep 5 2019	3,862	\$ 103.57	\$ 400,000	4682-31-7747	2258 PRAIRIE RD	May 28 2020	2,975	\$ 132.77	\$ 395,000
4682-21-3533	2412 SPUR LN	Oct 3 2019	3,363	\$ 113.29	\$ 381,000	4682-31-7760	2252 PRAIRIE RD	Sep 29 2017	1,699	\$ 161.57	\$ 274,500
4682-21-7415	2404 CLARIDGE RD	Jun 24 2020	4,189	\$ 107.42	\$ 450,000	4682-31-7760	2252 PRAIRIE RD	May 14 2018	1,699	\$ 152.44	\$ 259,000
4682-21-8804	9450 LOCKWOOD RD	Apr 4 2019	3,650	\$ 106.85	\$ 390,000	4682-31-7903	9270 LOCKWOOD RD	Oct 30 2018	3,318	\$ 111.51	\$ 370,000
4682-22-2743	2504 MILL WRIGHT RD	Feb 16 2018	3,465	\$ 112.55	\$ 390,000	4682-31-8115	2213 PRAIRIE RD	Mar 16 2018	2,381	\$ 123.48	\$ 294,000
4682-22-2820	2508 MILL WRIGHT RD	Dec 27 2018	2,948	\$ 118.72	\$ 350,000	4682-31-8476	2236 PRAIRIE RD	Nov 9 2017	2,137	\$ 140.38	\$ 300,000
4682-22-3540	2595 TREELINE DR	Aug 24 2017	3,311	\$ 117.79	\$ 390,000	4682-32-3825	2540 TREELINE DR	Jun 28 2018	2,764	\$ 117.58	\$ 325,000
4682-22-4099	2421 CLARIDGE RD	Oct 25 2018	3,506	\$ 109.67	\$ 384,500	4682-32-5093	9163 MARASOL LN	Jun 5 2018	3,822	\$ 91.18	\$ 348,500
4682-22-4574	2587 TREELINE DR	Jun 15 2018	2,744	\$ 116.62	\$ 320,000	4682-32-5093	9163 MARASOL LN	Aug 28 2019	3,822	\$ 99.03	\$ 378,500
4682-22-4574	2587 TREELINE DR	May 2 2019	2,744	\$ 111.70	\$ 306,500	4682-32-5221	9166 MARASOL LN	Jan 4 2019	3,345	\$ 98.65	\$ 330,000
4682-22-4777	2584 TREELINE DR	Jul 30 2019	3,358	\$ 116.14	\$ 390,000	4682-32-6066	9159 MARASOL LN	Jul 30 2018	2,633	\$ 117.74	\$ 310,000
4682-22-5537	2583 TREELINE DR	Jun 15 2018	3,374	\$ 117.07	\$ 395,000	4682-32-6066	9159 MARASOL LN	Apr 4 2019	2,633	\$ 115.08	\$ 303,000
4682-22-5830	2580 TREELINE DR	Nov 20 2018	2,988	\$ 123.83	\$ 370,000	4682-32-8101	9151 MARASOL LN	Mar 16 2018	3,860	\$ 94.82	\$ 366,000
4682-22-6802	2576 TREELINE DR	May 21 2018	2,823	\$ 121.15	\$ 342,000	4682-32-8653	2516 TREELINE DR	Jun 12 2018	3,384	\$ 110.82	\$ 375,000
4682-22-6864	2572 TREELINE DR	Dec 21 2017	2,732	\$ 119.88	\$ 327,500	4682-40-0970	2182 PRAIRIE RD	May 14 2019	3,069	\$ 128.71	\$ 395,000
4682-22-7854	2568 TREELINE DR	Mar 28 2019	2,812	\$ 120.02	\$ 337,500	4682-41-1696	2437 BENSALAM LN	Jul 16 2018	3,201	\$ 105.59	\$ 338,000
4682-22-7854	2568 TREELINE DR	Jul 3 2019	2,812	\$ 120.91	\$ 340,000	4682-42-0091	2456 TREELINE DR	May 15 2018	3,424	\$ 107.48	\$ 368,000

The sales have an average price of \$117.85 per square foot or \$365,488. The range of the sales is from \$87.58 to \$161.57 per square foot. The quantity of data allows for a credible analysis of the other statistical variances. The standard deviation is \$13.96 per square foot. All the sales with visual influence lie within one standard deviation of the mean. After adjusting the sales for a variety of physical and legal characteristics, the conclusion is that the visibility of the tower has no impact on the prices paid.





**Wyndham Estates Sales Summary**

Address	Acres	Year Built	Size (SF)	Sale Date	Sale Price	Price/SF
348 ROYAL WINDSOR DR	0.9	2018	2,399	July-18	\$ 260,000	\$ 108.38
344 ROYAL WINDSOR DR	0.73	2016	2,508	November-16	\$ 252,500	\$ 100.68
340 ROYAL WINDSOR DR	0.55	2016	2,708	September-17	\$ 267,500	\$ 98.78
336 ROYAL WINDSOR DR	0.57	2015	2,748	June-15	\$ 230,000	\$ 83.70
345 ROYAL WINDSOR DR	0.8	2017	2,403	April-18	\$ 255,000	\$ 106.12
332 ROYAL WINDSOR DR	0.57	2014	2,772	May-19	\$ 285,000	\$ 102.81
328 ROYAL WINDSOR DR	0.56	2014	2,467	March-15	\$ 219,500	\$ 88.97
339 ROYAL WINDSOR DR	0.89	2017	2,745	December-17	\$ 280,000	\$ 102.00
324 ROYAL WINDSOR DR	0.55	2014	3,117	March-15	\$ 256,500	\$ 82.29
335 ROYAL WINDSOR DR	0.57	2015	2,201	November-15	\$ 240,000	\$ 109.04
320 ROYAL WINDSOR DR	0.54	2014	3,127	October-18	\$ 284,000	\$ 90.82
331 ROYAL WINDSOR DR	0.56	2016	2,274	August-16	\$ 244,000	\$ 107.30
327 ROYAL WINDSOR DR	0.55	2015	2,810	April-16	\$ 239,000	\$ 85.05
312 ROYAL WINDSOR DR	0.77	2013	2,464	March-18	\$ 260,000	\$ 105.52
323 ROYAL WINDSOR DR	0.54	2015	3,139	August-15	\$ 260,500	\$ 82.99
313 ROYAL WINDSOR DR	0.68	2010	2,298	June-15	\$ 212,000	\$ 92.25
309 ROYAL WINDSOR DR	0.73	2010	2,928	September-15	\$ 205,000	\$ 70.01
304 ROYAL WINDSOR DR	0.69	2014	3,103	May-15	\$ 250,000	\$ 80.57
304 ROYAL WINDSOR DR	0.69	2014	3,103	October-18	\$ 285,000	\$ 91.85
305 ROYAL WINDSOR DR	0.8	2015	2,484	June-15	\$ 233,000	\$ 93.80

13935 Old Camden Road

This tower was researched because it provides an additional example of a tower with a high visual influence on residential properties. The monopole construction is more comparable to the proposed tower than the lattice towers from the previous examples. The previous chart provides sales data for the adjacent development with the most significant characteristics of the comparison listed in the chart. The sales in yellow are for the houses with the highest level of visual influence from

the tower as shown in the photograph. The sales highlighted in green are for the properties located furthest from the tower and the lowest level of visual impact.

The sale of the house pictured earlier sold in 2015 and resold last year showing an appreciation of 14%. Further, the resale price of \$285,000 is the highest price point for the neighborhood. After analysis of the factors listed in the chart and other less influential items, the visual impact of the tower is concluded not to adversely impact the value of properties within Wyndham Estates.

**Summary**

Based on the analysis of the data provided and development patterns around towers, we conclude that the presence of a tower does not impede the orderly development of the area. Further, the market does not recognize an adverse impact to property values for contiguous properties.

**Other Considerations**

Other potential impacts to the surrounding area include noise, traffic, and lighting. The operation of a cell tower is essentially silent and would not influence the surrounding developments. The additional traffic caused by the proposed development is nominal and would likely occur for routine maintenance. Any increases in traffic are considered nominal and does not impact contiguous properties. The fact that there is an existing tower indicates there will be no variance created by the new tower for these items.

**Conclusions**

Mebane has experienced growth and this activity is likely to continue. The commercial development at intersections along transportation corridors will provide the necessary services to support the increasing population. These uses are not impeded by the development of a cell tower. The results of studies including those included in this report show consistency between prices paid for single family dwellings in where cell towers are visible. Therefore, I conclude that the proposed development of a cell tower will not substantially injure the value of adjacent or abutting properties.

## Subject Neighborhood

In addition to the market activity for existing towers, we also consider the surrounding developments for the subject. The question posed for this study is “would the development of the telecommunications support structure warrant a downward adjustment to adjacent properties?”

When considering an adjustment in an appraisal, the appraiser must consider all factors that could contribute to an adjustment. The aesthetics and location of the proposed development as well as the existing developments are a factor in developing our opinion. The factors considered in developing our opinion include but are not necessarily limited to:

- The market has not shown a detrimental impact on development patterns in areas with visual influence from a tower.
- The proposed tower is in an area with above ground infrastructure
- The existing vegetative buffer will screen most of the tower.
- The proposed tower is shorter than most towers found in the area.

All these factors would contribute to the aesthetic appeal and a hypothetical valuation of properties in the neighborhood. The multitude of factors would indicate that multicollinearity for aesthetics exists along Landi Lane. Multicollinearity arises when multiple items correlate with each other. The multiple factors can cause a distortion of the impact of any of the factors individually without consideration for all the factors that contribute to the common issue.

In the case of the proposed development, the Improved properties along Landi Lane have visual influence from the electrical lines. To attribute any adjustment to the proposed development would be misleading and not result in a credible

adjustment. In other words, any adjustment for the development of a tower in a wooded area without consideration of the numerous other external influences would not be credible.

Therefore, it is our opinion that the proposed development in accordance with the proposed conditions will not have an adverse impact on values of adjacent or abutting properties. We recognize that the aesthetics of the area certainly contribute to the overall appeal, the proposed development has siting and existing buffers to minimize to the extent possible the visual impact of the proposed tower. It is my opinion that the proposed development will not substantially detract from the aesthetics or character of the neighborhood because of its location and existing above ground infrastructure, and proximity to the NC Highway 119 transportation corridor.



**Michael P. Berkowitz**

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**ADDENDA**



**Certifications**

**CERTIFICATION OF THE APPRAISER**

I, Michael P. Berkowitz, certify that, to the best of my knowledge and belief,

1. The statements of fact contained in this report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
3. I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
4. I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
5. I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
6. My engagement in this assignment was not contingent upon developing or reporting predetermined results.
7. My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
8. The reported analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the *Uniform Standards of Professional Appraisal Practice*.
9. I have made a personal inspection of the property that is the subject of this report.
10. No one provided significant real property appraisal assistance to the person(s) signing this certification other than those individuals having signed the attached report.



A handwritten signature in black ink that reads "Michael P. Berkowitz".

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Michael P. Berkowitz  
 (NC State Certified General Real Estate Appraiser #A6169)  
 (SC State Certified General Real Estate Appraiser #CG6277)

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June 6, 2021

Date

(Rev: 06/18/12)

**ASSUMPTIONS AND LIMITING CONDITIONS**

## ASSUMPTIONS AND LIMITING CONDITIONS

### Limit of Liability

The liability of MPB REAL ESTATE, LLC and employees is limited to the client only **and to the fee actually received by our firm**. Further, there is no accountability, obligation, or liability to any third party. If this report is placed in the hands of anyone other than client, the client shall make such party aware of all limiting conditions and assumptions of the assignment and related discussions. Further, client will forever indemnify and hold MPB REAL ESTATE, LLC, its officers, and employees harmless from any claims by third parties related in any way to the appraisal or study which is the subject of the report. Third parties shall include limited partners of client if client is a partnership and stockholders of client if client is a corporation, and all lenders, tenants, past owners, successors, assigns, transferees, and spouses of client. MPB REAL ESTATE, LLC will not be responsible for any costs incurred to discover or correct any deficiencies of any type present in the property, physically, financially, and/or legally.

### Copies, Distribution, Use of Report

Possession of this report or any copy of this report does not carry with it the right of publication, nor may it be used for other than its intended use; the physical report remains the property of MPB REAL ESTATE, LLC for the use of the client, the fee being for the analytical services only.

The bylaws and regulations of the Appraisal Institute require each member and candidate to control the use and distribution of each report signed by such member or candidate; except, however, the client may distribute copies of this report in its entirety to such third parties as he may select; however, selected portions of this report shall not be given to third parties without the prior written consent of the signatories of this report. Neither all nor any part of this report shall be disseminated to the general public by the use of advertising media, public relations, news, sales or other media for public communication without the prior written consent of MPB REAL ESTATE, LLC.

### Confidentiality

This report is to be used only in its entirety and no part is to be used without the whole report. All conclusions and opinions concerning the analysis as set forth in the report were prepared by MPB REAL ESTATE, LLC whose signatures appear on the report. No change of any item in the report shall be made by anyone other than MPB REAL ESTATE, LLC. MPB REAL ESTATE, LLC shall have no responsibility if any such unauthorized change is made.

MPB REAL ESTATE, LLC may not divulge the material contents of the report, analytical findings or conclusions, or give a copy of the report to anyone other than the client or his designee as specified in writing except as may be required by the Appraisal Institute as they may request in confidence for ethics enforcement, or by a court of law or body with the power of subpoena.

### Trade Secrets

This report was obtained from MPB REAL ESTATE, LLC and consists of "trade secrets and commercial or financial information" which is privileged and confidential and exempted from disclosure under 5 U.S.C. 552 (b) (4) of the Uniform Commercial Code. MPB REAL ESTATE, LLC shall be notified of any request to reproduce this report in whole or in part.

**Information Used**

No responsibility is assumed for accuracy of information furnished by or work of others, the client, his designee, or public records. We are not liable for such information or the work of subcontractors. The comparable data relied upon in this report has been confirmed with one or more parties familiar with the transaction or from affidavit or other sources thought reasonable; all are considered appropriate for inclusion to the best of our factual judgment and knowledge. An impractical and uneconomic expenditure of time would be required in attempting to furnish unimpeachable verification in all instances, particularly as to engineering and market-related information. It is suggested that the client consider independent verification as a prerequisite to any transaction involving sale, lease, or other significant commitment of funds for the subject property.

**Financial Information**

Our value opinion(s) have been based on unaudited financials, and other data provided to us by management and/or owners. If these reports are found to be inaccurate, we reserve the right to revise our value opinion(s). It is noted we are depending on these accounting statements as being accurate and our interpretation of these statements as being accurate as well. If these assumptions later prove to be false, we reserve the right to amend our opinions of value.

**Testimony, Consultation, Completion of Contract for Report Services**

The contract for report, consultation, or analytical service is fulfilled and the total fee payable upon completion of the report, unless otherwise specified. MPB REAL ESTATE, LLC or those assisting in preparation of the report will not be asked or required to give testimony in court or hearing because of having made the report, in full or in part, nor engage in post report consultation with client or third parties except under separate and special arrangement and at an additional fee. If testimony or deposition is required because of any subpoena, the client shall be responsible for any additional time, fees, and charges, regardless of issuing party.

**Exhibits**

The illustrations and maps in this report are included to assist the reader in visualizing the property and are not necessarily to scale. Various photographs, if any, are included for the same purpose as of the date of the photographs. Site plans are not surveys unless so designated.

**Legal, Engineering, Financial, Structural or Mechanical Nature, Hidden Components, Soil**

No responsibility is assumed for matters legal in character or nature, nor matters of survey, nor of any architectural, structural, mechanical, or engineering nature. No opinion is rendered as to the title, which is presumed to be good and marketable. The property is appraised as if free and clear, unless otherwise stated in particular parts of the report. The legal description is assumed to be correct as used in this report as furnished by the client, his designee, or as derived by MPB REAL ESTATE, LLC.

MPB REAL ESTATE, LLC has inspected as far as possible, by observation, the land and the improvements; however, it was not possible to personally observe conditions beneath the soil, or hidden structural, mechanical or other components, and MPB REAL ESTATE, LLC shall not be responsible for defects in the property which may be related.

The report is based on there being no hidden, unapparent, or apparent conditions of the property site, subsoil or structures or toxic materials which would render it more or less valuable. No



responsibility is assumed for any such conditions or for any expertise or engineering to discover them. All mechanical components are assumed to be in operable condition and status standard for properties of the subject type. Conditions of heating, cooling, ventilation, electrical, and plumbing equipment are considered to be commensurate with the condition of the balance of the improvements unless otherwise stated. We are not experts in this area, and it is recommended, if appropriate, the client obtain an inspection of this equipment by a qualified professional.

If MPB REAL ESTATE, LLC has not been supplied with a termite inspection, survey or occupancy permit, no responsibility or representation is assumed or made for any costs associated with obtaining same or for any deficiencies discovered before or after they are obtained. No representation or warranties are made concerning obtaining the above mentioned items.

MPB REAL ESTATE, LLC assumes no responsibility for any costs or consequences arising due to the need, or the lack of need, for flood hazard insurance. An agent for The Federal Flood Insurance Program should be contacted to determine the actual need for Flood Hazard Insurance.

### **Legality of Use**

The report is based on the premise that there is full compliance with all applicable federal, state and local environmental regulations and laws unless otherwise stated in the report; further, that all applicable zoning, building and use regulations, and restrictions of all types have been complied with unless otherwise stated in the report. Further, it is assumed that all required licenses, consents, permits, or other legislative or administrative authority, local, state, federal and/or private entity or organization have been or may be obtained or renewed for any use considered in the value estimate.

### **Component Values**

The distribution of the total valuation in this report between land and improvements applies only under the existing program of utilization. The separate valuations for land and building must not be used in conjunction with any other report and are invalid if so used.

### **Auxiliary and Related Studies**

No environmental or impact studies, special market study or analysis, highest and best use analysis, study or feasibility study has been required or made unless otherwise specified in an agreement for services or in the report.

### **Dollar Values, Purchasing Power**

The market value estimated and the costs used are as of the date of the estimate of value, unless otherwise indicated. All dollar amounts are based on the purchasing power and price of the dollar as of the date of the value estimate.

### **Inclusions**

Furnishings and equipment or personal property or business operations, except as specifically indicated and typically considered as a part of real estate, have been disregarded with only the real estate being considered in the value estimate, unless otherwise stated. In some property types, business and real estate interests and values are combined.

**Proposed Improvements, Conditional Value**

Improvements proposed, if any, onsite or offsite, as well as any repairs required, are considered for purposes of this report to be completed in a timely, good and workmanlike manner, according to information submitted and/or considered by MPB REAL ESTATE, LLC. In cases of proposed construction, the report is subject to change upon inspection of property after construction is completed.

**Value Change, Dynamic Market, Influences, Alteration of Estimate**

The estimated value, which is defined in the report, is subject to change with market changes over time. Value is highly related to exposure, time, promotional effort, terms, motivation, and conditions surrounding the offering. The value estimate considers the productivity and relative attractiveness of the property physically and economically in the marketplace.

In cases of reports involving the capitalization of income benefits, the estimate of market value or investment value or value in use is a reflection of such benefits and MPB REAL ESTATE, LLC' interpretation of income and yields and other factors derived from general and specific client and market information. Such estimates are as of the date of the estimate of value; thus, they are subject to change as the market and value is naturally dynamic.

The “estimate of market value” in the report is not based in whole or in part upon the race, color, or national origin of the present owners or occupants of the properties in the vicinity of the property appraised.

**Report and Value Estimate**

Report and value estimate are subject to change if physical or legal entity or financing differ from that envisioned in this report.

**Management of the Property**

It is assumed that the property which is the subject of this report will be under prudent and competent ownership and management.

**Hazardous Materials**

Unless otherwise stated in this report, the existence of hazardous substances, including without limitation, asbestos, polychlorinated biphenyls, petroleum leakage, or agricultural chemicals, which may or may not be present on the property, or other environmental conditions, were not called to the attention of nor did MPB REAL ESTATE, LLC become aware of such during their inspection. MPB REAL ESTATE, LLC had no knowledge of the existence of such materials on or in the property unless otherwise stated. MPB REAL ESTATE, LLC, however, is not qualified to test such substances or conditions. If the presence of such substances such as asbestos, urea formaldehyde foam insulation, or other hazardous substances or environmental conditions, may affect the value of the property, the value estimate is predicated on the assumption that there is no such condition on or in the property or in the proximity that it would cause a loss in value. No responsibility is assumed for any such conditions, nor for any expertise or engineering knowledge required to discover them.

**Soil and Subsoil Conditions**

Unless otherwise stated in this report, MPB REAL ESTATE, LLC does not warrant the soil or subsoil conditions for toxic or hazardous waste materials. Where any suspected materials might

be present, we have indicated in the report; however, MPB REAL ESTATE, LLC are not experts in this field and recommend appropriate engineering studies to monitor the presence or absence of these materials.

**Americans with Disabilities Act (ADA)**

“MPB REAL ESTATE, LLC has not made a specific compliance survey and analysis of this property to determine whether or not it is in conformity with the various detailed requirements of the Americans with Disabilities Act (ADA), which became effective January 26, 1992. It is possible that a compliance survey of the property together with a detailed analysis of the requirements of the ADA could reveal that the property is not in compliance with one or more of the requirements of the Act. If so, this fact could have a negative effect upon the value of the property. Since MPB REAL ESTATE, LLC has no direct evidence relating to this issue, we did not consider possible non-compliance with the requirements of ADA in estimating the value of the property.”

## **Qualifications of the Analyst**

## QUALIFICATIONS OF THE ANALYST

***Michael P. Berkowitz***  
 MPB Real Estate, LLC, Inc.  
 1430 South Mint Street, Suite 102  
 Charlotte, North Carolina 28203  
 (704) 334-4686  
 FAX (704) 334-2759

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### EDUCATION AND CREDENTIALS

- **Duke University**  
Major: Economics 1985-1989
- **Central Piedmont Community College**
  - R-1 - Introduction to Real Estate Appraisal, 2002
  - R-2 - Valuation Principles and Procedures, 2002
  - R-3 - Applied Residential Property Valuation, 2002
  - G-1 - Introduction to Income Property Appraisal, 2003
- **Bob Ipock and Associates**
  - G-2 - Advanced Income Capitalization Procedures, 2003
  - G-3 - Applied Property Income Valuation 2004
- **Appraisal Institute**
  - 520 Highest and Best Use and Market Analysis, 2004
  - Seminar Rates, Multipliers and Ratios 2005
  - 530 Advanced Sales Comparison and Cost Approaches 2006
  - Seminar Apartment Appraisal, Concepts & Applications 2009
  - Seminar Appraising Distresses Commercial Real Estate 2009
  - Seminar Appraising Convenience Stores 2011
  - Seminar Analyzing Operating Expenses 2011

### AFFILIATIONS AND ACTIVITIES

- **Association Memberships**  
North Carolina State Certified General Real Estate Appraiser, October 2006, Certificate No. A6169

### RELATED EXPERIENCE

- Provided real estate consulting services for a variety of clients including real estate brokers, property owners and financial planners
- Performed financial feasibility studies for multiple property types including golf communities, and renovation projects.
- Developed plan for self-contained communities.
- Race Track expertise



## **APPRAISAL EXPERIENCE**

A partial list of types of properties appraised include:  
Retail Properties, Single and Multi-Tenant, Proposed and Existing  
Office Single and Multi-Tenant Proposed and Existing  
Mixed-Use Properties, Proposed and Existing  
Industrial Properties, Warehouse, Flex and Manufacturing  
Vacant Land  
Condemnation  
C-Stores  
Race Tracks

## **CLIENTELE**

Bank of America  
Transylvania County  
Cabarrus County  
Mecklenburg County  
City of Statesville  
NC Department of Transportation  
Henry County, GA  
Town of Loudon, NH  
First Citizens Bank  
RBC Centura Bank  
City of Charlotte  
City of Concord  
Union County  
BB & T  
Aegon USA Realty Advisors  
Sun Trust Bank  
First Charter Bank  
Regions Bank  
Charlotte Housing Authority  
Alliance Bank and Trust  
Broadway Bank  
Duke Energy Corporation  
Jim R. Funderburk, PLLC  
Hamilton, Fay, Moon, Stephens, Steele & Martin  
Senator Marshall A. Rauch  
Perry, Bundy, Plyler & Long, LLP  
Robinson, Bradshaw & Hinson  
CSX Real Property  
Baucom, Clayton, Burton, Morgan & Wood, PA  
City of Mount Holly  
Our Towns Habitat for Humanity  
Parker, Poe, Adams & Bernstein, LLP  
Central Carolina Bank

**Southern Community Bank and Trust**





**TOWERCOM**  
**MILL CREEK**  
Landi Lane, Mebane, NC 27302  
**195ft. MONOPOLE**  
**SIMULATION**  
View A from Mill Creek entrance  
approx. 2,750ft. south-southeast of site







Existing View



**TOWERCOM**  
**MILL CREEK**  
Landi Lane, Mebane, NC 27302  
**195ft. MONOPOLE  
SIMULATION**  
View B from Mill Creek entrance  
approximately 1,775ft. southeast of site





**TOWERCOM**

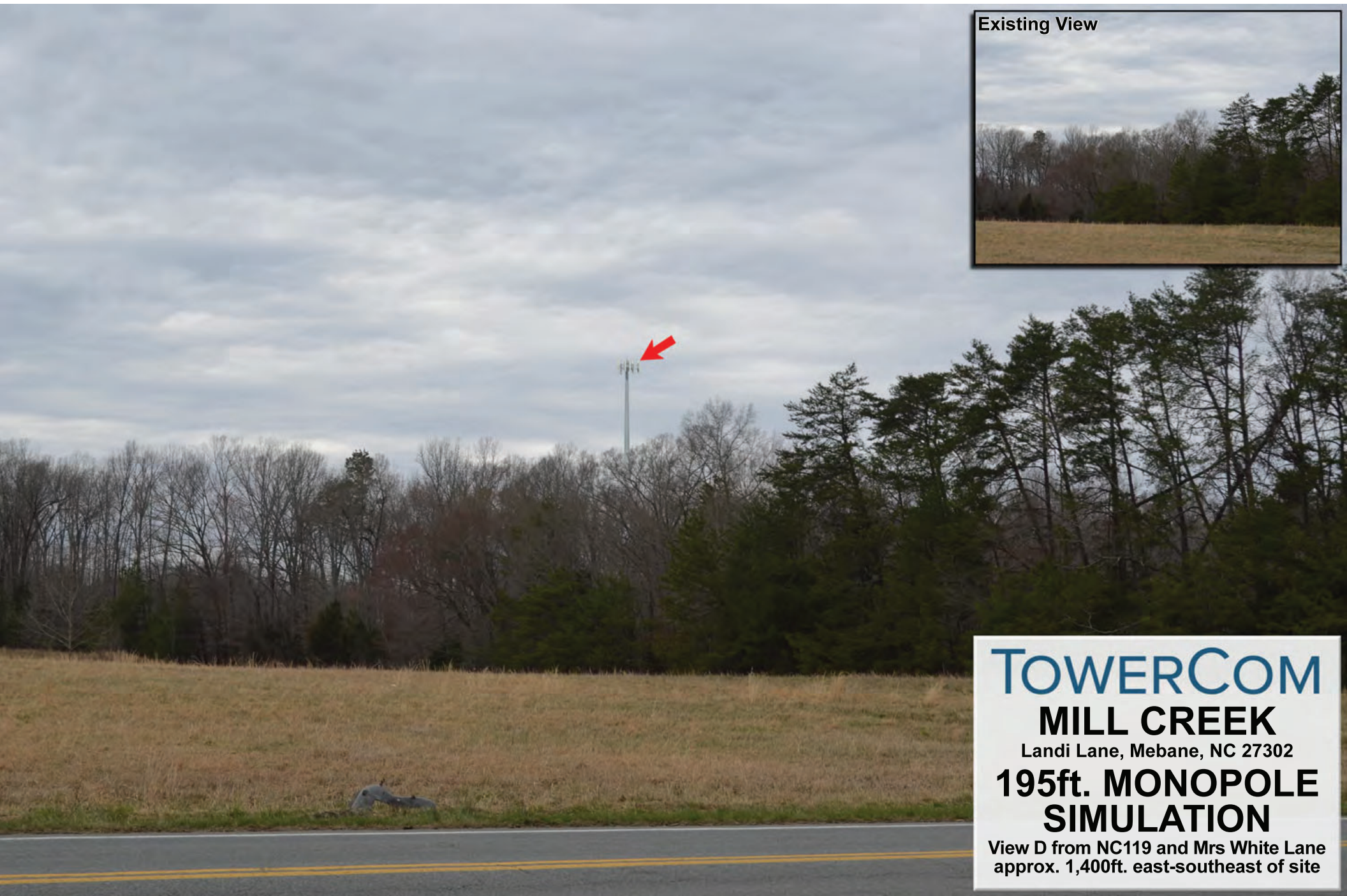
**MILL CREEK**

Landi Lane, Mebane, NC 27302

**195ft. MONOPOLE  
NOT VISIBLE**

View C from White Level Road  
approx. 1,800ft. south-southwest of site





Existing View



**TOWERCOM**  
**MILL CREEK**  
Landi Lane, Mebane, NC 27302  
**195ft. MONOPOLE**  
**SIMULATION**  
View D from NC119 and Mrs White Lane  
approx. 1,400ft. east-southeast of site





**TOWERCOM**  
**MILL CREEK**  
Landi Lane, Mebane, NC 27302  
**195ft. MONOPOLE**  
**SIMULATION**  
View E from Landi Lane  
approx. 1,330ft. west-northwest of site



EXISTING view



**TOWERCOM**

**MILL CREEK**

Landi Lane, Mebane, NC 27302

**195ft. MONOPOLE  
SIMULATION**

View F from NC119  
approximately 1,425ft. northeast of site

Prepared by and return to:  
Thomas H. Johnson, Jr., Williams Mullen, 301 Fayetteville Street, Suite 1700, Raleigh, NC 27601

**ACKNOWLEDGEMENT OF WATERSHED CRITICAL OVERLAY  
(Graham-Mebane Lake Watershed Critical Area)**

This **ACKNOWLEDGEMENT OF WATERSHED CRITICAL OVERLAY** (“Acknowledgment”) dated May \_\_\_\_, 2021 by **ADELANA AMORITA NELSON**, unmarried, of 200 Holt Avenue, #B, Greensboro, NC 27405 (“Owner”) and **TOWERCOM IV-B, LLC**, a Delaware limited liability company (“Towercom”) (together the “Parties”).

**W I T N E S S E T H:**

WHEREAS, the Parties entered into an Option and Ground Lease Agreement (“Lease”) dated June 22, 2020, in which Owner leased to Towercom a 100’ by 100’ parcel of land for a wireless communications tower (“Tower”) and compound together with non-exclusive easements for access, utilities, construction, installation, maintenance and operation of the Tower and associated facilities (the Tower, compound, easements and associated facilities being referred to as the “Tower Facilities”); and

WHEREAS, the property of the Owner on which the Tower Facilities will be located is all of that certain lot or parcel of land in Alamance County, North Carolina and being more particularly described as Lot 4 as shown on that certain plat of record in Plat Book 77, Page 6, in the Alamance County Registry (the “Property”); and

WHEREAS, properties located within the City of Mebane are subject to development standards as set forth in the Mebane Unified Development Ordinance (“UDO”); and

WHEREAS, the Property is located in the Graham-Mebane Lake Watershed Critical Area and, as a result, is in a Watershed Critical Overlay District (“WCA”) as set forth in Section 5-2C. of the UDO; and

WHEREAS, the Density-Built Upon Limitations set forth in Section 5-2C.2. of the UDO limit non-residential development to six percent (6%) built-upon area without the issuance of a Permit to Exceed that includes implementation of stormwater controls and other requirements per Section 5-2E. of the UDO which built upon area is at the maximum allowed under the UDO; and



WHEREAS, the Lease grants a non-exclusive easement to Towercom to use as much of the Property as necessary to complete the Tower Facilities including, without limitation, meeting the requirements of the UDO; and

WHEREAS, the Tower Facilities will not exceed the six percent (6%) built-upon area but if any part of the remainder of the Property is developed, a Permit to Exceed will be required if approved by the City of Mebane, which approval may not be granted, along with the requirements for the issuance of a Permit to Exceed, including, without limitation, stormwater controls; and

WHEREAS, the City of Mebane has requested that the Owner and Towercom sign this Acknowledgement, acknowledging that the Property is located in a WCA and that any future development on the Property in addition to the Tower Facilities will require a Permit to Exceed under Section 5-2E. along with the associated requirements and the Parties acknowledge that any future development or construction of improvements may not be permissible.

NOW, THEREFORE, in consideration of the recitals above and other good and valuable consideration, the Parties acknowledge and agree as follows:

1. The Property is in a WCA under the UDO.
2. Under the Lease, Towercom has a non-exclusive easement to use the entire Property in calculating its built-upon area.
3. The built-upon area for the Tower Facilities is 5.9%.
4. As a result, any future development will require a Permit to Exceed under Section 5-2E. of the UDO along with the associated requirements including, without limitation, stormwater controls, which Permit to Exceed may not be allowed.
5. If Owner decides to develop any additional portion of the Property which requires a Permit to Exceed under Section 5-2E., that Owner will have to meet the Permit to Exceed requirements under the UDO then in effect including without limitation, stormwater controls.
6. Towercom agrees that if a Permit to Exceed is required for any future development on the Property that it will participate in the cost of construction and maintenance of any requirements of the Permit to Exceed on an equitable basis.

IN WITNESS WHEREOF, Owner and Towercom have executed this Acknowledgement as of the date and year first above written.

[SIGNATURE PAGES FOLLOW]

**OWNER:**

\_\_\_\_\_  
**ADELANA AMORITA NELSON**

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that s/he signed the foregoing document in the capacity indicated: ADELANA AMORITA NELSON.

Date: \_\_\_\_\_, 2021

\_\_\_\_\_  
Signature of Notary Public

\_\_\_\_\_  
Notary Printed Name

My Commission Expires: \_\_\_\_\_

(Official Seal)

**TOWERCOM:**

**TOWERCOM IV-B, LLC,**  
a Delaware limited liability company

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that s/he signed the foregoing document in the capacity indicated: \_\_\_\_\_ as

\_\_\_\_\_  
Date: \_\_\_\_\_, 2021

\_\_\_\_\_  
Signature of Notary Public

\_\_\_\_\_  
Notary Printed Name

My Commission Expires: \_\_\_\_\_

(Official Seal)

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## AGENDA ITEM #5B

Ordinance to Extend the Corporate Limits-  
Lebanon Road 3, LLC- Tupelo Junction

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### Meeting Date

July 12, 2021

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### Presenter

Lawson Brown, City Attorney

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### Public Hearing

Yes  No

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### Summary

The Council will consider the approval of an Ordinance to Extend the Corporate Limits as the next step in the annexation process. This is a contiguous satellite annexation containing approximately +/-94.00 acres located on Lebanon Road in Orange County.

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### Background

At the June 7, 2021 Council Meeting, Council accepted the petition for annexation and the Clerk's certificate of sufficiency and adopted a Resolution setting a date of Public Hearing for July 12, 2021 to consider approval of extending Mebane's corporate limits. The Public Hearing Notice was properly advertised.

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### Financial Impact

The property and improvements will be added to the ad valorem tax base for the City once the property is annexed as determined by the state statute.

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### Recommendation

Staff recommends adoption of an Ordinance to Extend the Corporate Limits of the City of Mebane, North Carolina.

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### Suggested Motion

I make a motion to adopt of an Ordinance to Extend the Corporate Limits of the City of Mebane, North Carolina to include the 94.00 acres.

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### Attachments

1. Ordinance
2. Map

AN ORDINANCE TO EXTEND THE CORPORATE LIMITS  
OF THE CITY OF MEBANE, NORTH CAROLINA

*Mail after recording to: City of Mebane, Attn: City Clerk, 106 E. Washington Street, Mebane, NC 27302*

Ordinance No. 146

WHEREAS, the City Council has been petitioned under G.S. 160A-31 to annex the area described below; and

WHEREAS, the City Council has by resolution directed the City Clerk to investigate the sufficiency of the petition; and

WHEREAS, the City Clerk has certified the sufficiency of the petition and a public hearing on the question of this annexation was held at the Glendel Stephenson Municipal Building at 6:00 p.m. on July 12, 2020, after due notice by the Mebane Enterprise on June 30, 2021; and

WHEREAS, the City Council finds that the petition meets the requirements of G.S. 160A-31;

NOW THEREFORE, BE IT ORDAINED by the City Council of the City of Mebane, North Carolina that:

Section 1. By virtue of the authority granted by G.S. 160A-31, the following described territory is hereby annexed and made part of the City of Mebane as of July 12, 2021:

**Annexation Area 2A1**

BEGINNING at an existing iron pin (NC Grid Coordinates N. 858,159.59', E. 1,924,661.55' (NAD 83/11) as determined by a current GPS survey (Combined Grid Factor 0.9999661453)), in the north right of way line of Lebanon Road, SR1306, in the west line of Lebanon Road 3, LLC (see Deed Book 67404, Page 442 and Tract 2A Plat Book 123, Page 1 Orange County Registry, also being in the east line of Teresa T. Dallas ( see Deed Book 537, Page 487 and Plat Book 40, Page 93 Orange County Registry) also being in the west line of Lee's Bees Incorporated (see Tract 2A Plat Book 123, Page 1 Orange County Registry) and also being in the existing Mebane ETJ Limits line and the existing Mebane Corporate Limits line; thence leaving the north right of way line of Lebanon Road and the existing Mebane Corporate Limits line and proceeding along the existing Mebane ETJ Limits line with Dallas N. 33°45'17" W. 63.68' to an existing iron pin in the south right of way line of East Stagecoach Road, SR 1376; thence leaving the existing Mebane ETJ Limits line and proceeding along the New Mebane Corporate Limits Line with the south right of way line of East Stagecoach Road along two (2) courses as follows: (1) S. 89°12'04" E. 79.70' to a point and (2) a curve to the right having a radius of 137.83', an arc length of 27.07' ( chord bearing and distance S. 83°29'06" E. 27.03' to a point at the intersection of the south right of way line of East Stagecoach Road and the north right of way line of Lebanon Road; thence continuing along the New Mebane Corporate Limits Line with the north right of way line of Lebanon Road S. 55°34'34" W. 86.27' to the POINT AND PLACE OF BEGINNING, being all of Annexation Area 2A1, being a portion of Tract 2A, Plat Book 123, Page 1 Orange County Registry, and being all of a contiguous City of Mebane Annexation area, containing



0.0658 acres, or 0.00010 square miles, more or less, as shown on a plat of survey entitled "Final Plat of Contiguous Voluntary Annexation for City of Mebane Corporate Limits Extension" as prepared by Brantley W. Wells., NC PLS #4544, dated April 18th, 2021, Summit Design and Engineering Services Project No. 19-0185.

## Annexation Area 2A2

COMMENCING at an existing iron pin (NC Grid Coordinates N. 858,159.59', E. 1,924,661.55' (NAD 83/11) as determined by a current GPS survey (Combined Grid Factor 0.9999661453)), in the north right of way line of Lebanon Road, SR1306, in the west line of Lebanon Road 3, LLC (see Deed Book 67404, Page 442 and Tract 2A Plat Book 123, Page 1 Orange County Registry, also being in the east line of Teresa T. Dallas ( see Deed Book 537, Page 487 and Plat Book 40, Page 93 Orange County Registry) and also being in in the existing Mebane ETJ Limits line and the existing Mebane Corporate Limits line; thence leaving the existing Mebane ETJ Limits line and proceeding along the existing Mebane Corporate Limits line and the north right of way line of Lebanon Road along two (2) courses as follows: (1) N. 55°34'34" E. 86.27' to a point at the intersection of the south right of way line of East Stagecoach Road and the north right of way line of Lebanon Road and (2) a tie line N. 55°34'34" E. 73.60' to a point ( NC Grid Coordinates N. 858,249.97', E. 1,924,793.42" (NAD 83/11) at the intersection of the north right of way line of East Stagecoach Road and the north right of way line of Lebanon Road, the point of BEGINNING; thence leaving north right of way line of Lebanon Road and the existing Mebane Corporate Limits line and proceeding along the new Mebane Corporate limits line and the north right of way line of East Stagecoach Road along two (2) courses as follows: (1) a curve to the left having a radius of 197.86' an arc length of 90.03', chord bearing and distance N. 76°04'33" W. 89.26' to a point and (2) N. 89°12'04" W. 310.38' to a point at the southeast corner of Harmony Homesteads LLC (see Deed Book 6511, Page 160 and Plat Book 72, Page 74 Orange County Registry), also being in the west line of Lee's Bees Incorporated (see Tract 2A Plat Book 123, Page 1 Orange County Registry) and also being in the existing Mebane ETJ Limits line; thence leaving the north right of way line of East Stagecoach Road and proceeding along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with the east line of Harmony Homesteads LLC along two (2) courses as follows: (1) N. 11°11'59" W. 1.03' to an existing iron pin and (2) N. 10°54'49" W. 574.62' to an existing iron pin at the southeast corner of Mill Creek Development Company (see Deed Book 2086, Page 255 Orange County Registry); thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with the east line of Mill Creek Development Company N. 10°53'56" W. 366.73' to a point where the existing Mebane ETJ Limits line meets the existing Mebane Corporate Limits line ( see Plat Book, 20, Page 25 Orange County Registry); thence proceeding along the existing Mebane Corporate Limits line with the east line of Mill Creek Development N. 10°53'56" W. 1900.14' to an iron pin set at the northwest corner of Lee's Bees Incorporated (see Tract 2A Plat Book 123, Page 1 Orange County Registry), also being the southwest corner of Lee's Bees Incorporated (see Tract 2B Plat Book 123, Page 1 Orange County Registry), and also being in the existing Mebane ETJ Limits line; thence leaving the existing Mebane Corporate Limits line and proceeding along the existing Mebane ETJ Limits line and the New Mebane Corporate Limits line with the south line of Lee's Bees Incorporated (see Tract 2B Plat Book 123, Page 1 Orange County Registry), N. 79°53'07" E. 1259.96' to an existing iron pin at the southwest corner of Rebecca and Raymond Wicker (see Deed Book 3884, Page 514 and Lot 1A Plat Book 90, Page 139 Orange County Registry); thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with Wicker along three (3) courses as follows: (1) N. 79°53'17" E. 227.53' to an existing iron pin, (2) S. 40°07'22" E. 328.11' to an existing iron pin and (3) N. 81°06'28" E. 324.77' to an iron pin set in the west right of way line of Saddle Club Road (SR 1346); thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with the west right of way line of Saddle Club Road along two (2) courses as follows: (1) a curve to the left having a radius of 980.00', an arc length of 133.77', chord bearing and distance S. 07°49'40" E. 133.67' to a point and (2) a curve to the left having a radius of 6081.81', an arc length of 109.35', chord bearing and distance S.

11°18'33" E. 109.34' to a point in the north line of Steven R. Cannada (see Deed Book 6349, Page 227 and Lot 4 Plat Book 60, Page 45 Orange County Registry); thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with Cannada along two (2) courses as follows: (1) S. 78°51'52" W. 707.57' to an existing iron pin and (2) S. 10°39'35" E. 183.69' to an existing iron pin at the northwest corner of Anthony and Amanda Hendrickson (see Deed Book 6629, Page 2364 and Lot 5 Plat Book 60, Page 45 Orange County Registry); thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with Hendrickson along two courses as follows: (1) S. 10°47'13" E. 182.24' to an existing iron pin and (2) N. 76°33'09" E. 719.34' to point in the west right of way line of Saddle Club Road; thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with the west right of way line of Saddle Club Road S. 12°42'51" E. 240.99' to a point in the north line of Marshall & Kristi Ronningen (see Deed Book 6420, Page 324 and Plat Book 118, Page 34 Orange County Registry); thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with Ronningen along five (5) courses as follows: (1) N. 88°57'24" W. 255.18' to an existing iron pin, (2) S. 83°49'36" W. 137.83' to an existing iron pin, (3) S. 47°42'16" W. 73.14' to an existing iron pin, (4) S. 08°10'30" E. 119.59' to an existing iron pin and (5) N. 85°50'17" E. 164.07' to an existing iron pin at the northwest corner of Peggy E. Hines (see Deed Book 394, Page 317 Orange County Registry); thence continuing along the existing Mebane ETJ Limits line and the New Mebane Corporate Limits line with the west line of Hines S. 00°24'04" W. 410.04' to an existing iron pin in the north line of Gary & Cindy Linz (see Deed Book 1603, Page 515, Deed Book 1707, Page 107, Deed Book 6654, Page 1986, Plat Book 55, Page 138, Plat Book 75, Page 94 and Lot 3 Remainder Plat Book 96, Page 2, Orange County Registry); thence continuing along the existing Mebane ETJ Limits line and the new Mebane Corporate Limits line with Linz along five (5) courses as follows: (1) S. 86°03'17" W. 356.16' to an existing iron pin, (2) S. 86°02'55" W. 7.10' to a point, (3) S. 09°01'17" E. 202.18' to a point, (4) S. 11°28'59" E. 808.93' to a point and (5) S. 10°42'21" E. 0.51' to a point in the north right of way line of Lebanon Road and the existing Mebane Corporate Limits line; thence leaving the existing Mebane ETJ Limits line the new Mebane Corporate Limits line and proceeding along the existing Mebane Corporate Limits line and the north right of way line of Lebanon Road along three (3) courses as follows: (1) a curve to the left having a radius of 1513.21' an arc length of 187.89', chord bearing and distance S. 67°50'38" W. 187.77' to a point, (2) a curve to the left having a radius of 1513.21' an arc length of 223.90', chord bearing and distance S. 60°02'52" W. 223.70' to a point and (3) S. 54°50'09" W. 516.77' to the POINT AND PLACE OF BEGINNING, being all of Annexation Area 2A2 Area, being a portion of Tract 2A, Plat Book 123, Page 1 Orange County Registry, and being all of a contiguous City of Mebane Annexation area, containing 93.9380 acres, or 0.1468 square miles, more or less, as shown on a plat of survey entitled "Final Plat of Contiguous Voluntary Annexation for City of Mebane Corporate Limits Extension" as prepared by Brantley W. Wells., NC PLS #4544, dated April 18th, 2021, Summit Design and Engineering Services Project No. 19-0185.

Section 2. Upon and after July 12, 2021 the above-described territory and its citizens and property shall be subject to all debts, laws, ordinances and regulations in force in the City of Mebane and shall be entitled to the same privileges and benefits as other parts of the City of Mebane. Said territory shall be subject to municipal taxes according to G.S. 160A-58.10.

Section 3. The Mayor of the City of Mebane shall cause to be recorded in the office of the Register of Deeds of Orange County, and in the office of the Secretary of State at Raleigh, North Carolina, an accurate map of the annexed territory, described in Section 1 above, together with duly certified copy of this ordinance. Such a map shall also be delivered to the Orange County Board of Elections, as required by G.S. 163-288.1.

Adopted this 12th day of July, 2021.

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Ed Hooks, Mayor

ATTEST:

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Stephanie W. Shaw, City Clerk

Approved as to form:

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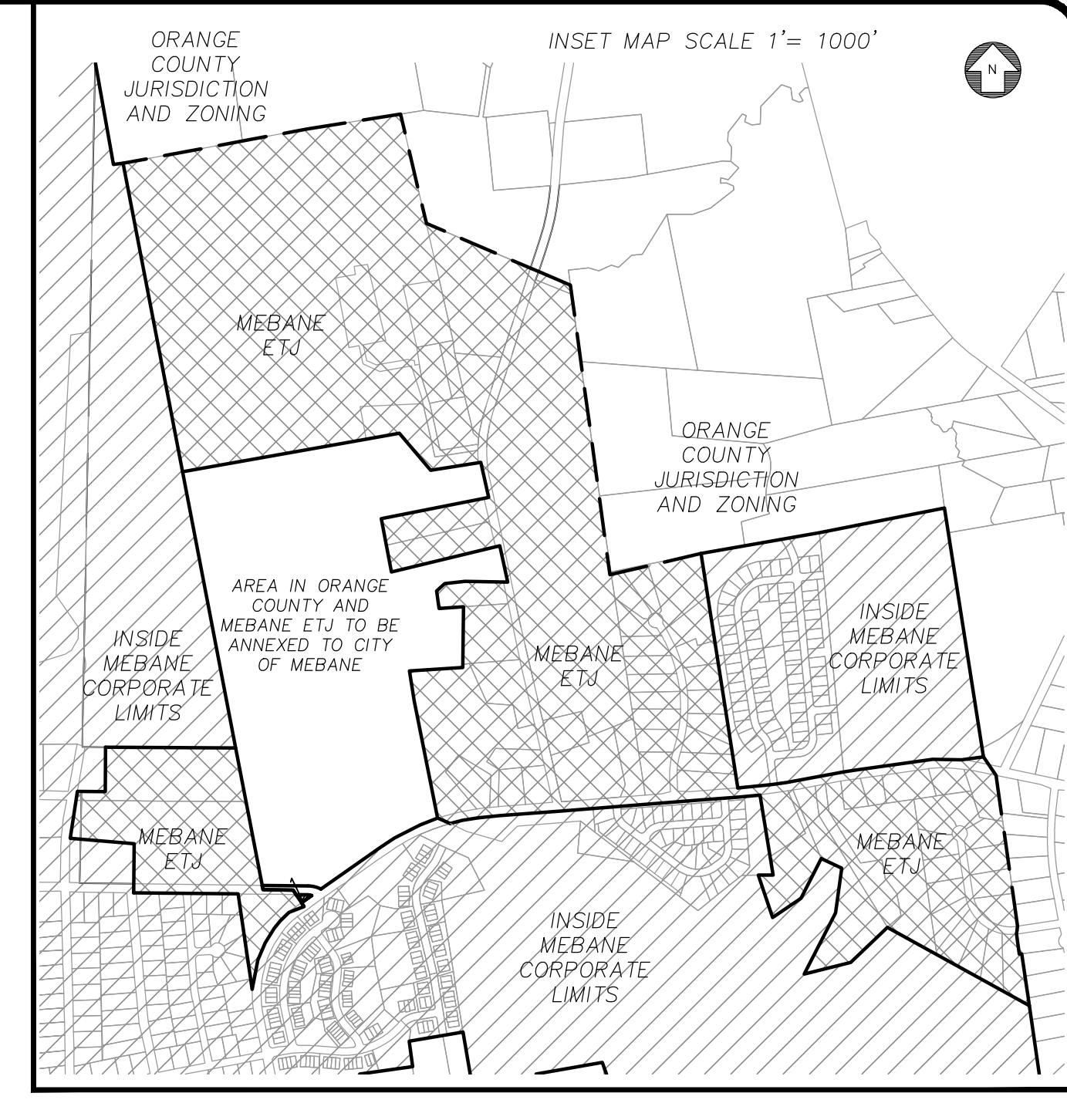
Lawson Brown, City Attorney

CITY OF MEBANE CORPORATE LIMITS EXTENSION; CONTIGUOUS ANNEXATION  
CHEEKS TOWNSHIP, ORANGE COUNTY, NC PIN 9825498941  
ANNEXATION AREA 2A1

BEGINNING AT AN EXISTING IRON PIN (NC GRID COORDINATES N. 858,159.59', E. 1,924,661.55' (NAD 83/11) AS DETERMINED BY A CURRENT GPS SURVEY (COMBINED GRID FACTOR 0.9999661453), IN THE NORTH RIGHT OF WAY LINE OF LEBANON ROAD, SR1306, IN THE WEST LINE OF LEBANON ROAD 3, LLC (SEE DEED BOOK 6740, PAGE 442 AND TRACT 2A PLAT BOOK 123, PAGE 1 ORANGE COUNTY REGISTRY), ALSO BEING IN THE EAST LINE OF TERESA T. DALLAS (SEE DEED BOOK 537, PAGE 487 AND PLAT BOOK 40, PAGE 93 ORANGE COUNTY REGISTRY) ALSO BEING IN THE WEST LINE OF LEE'S BEES INCORPORATED (SEE TRACT 2A PLAT BOOK 123, PAGE 1 ORANGE COUNTY REGISTRY) AND ALSO BEING IN THE EXISTING MEBANE ETJ LIMITS LINE AND THE EXISTING MEBANE CORPORATE LIMITS LINE, THENCE LEAVING THE NORTH RIGHT OF WAY LINE OF LEBANON ROAD AND THE EXISTING MEBANE CORPORATE LIMITS LINE AND PROCEEDING ALONG THE EXISTING MEBANE ETJ LIMITS LINE WITH DALLAS N. 33'45"17" W. 63.88' TO AN EXISTING IRON PIN IN THE SOUTH RIGHT OF WAY LINE OF EAST STAGECOACH ROAD, SR 1376; THENCE LEAVING THE EXISTING MEBANE ETJ LIMITS LINE AND PROCEEDING ALONG THE NEW MEBANE CORPORATE LIMITS LINE WITH THE SOUTH RIGHT OF WAY LINE OF EAST STAGECOACH ROAD ALONG TWO (2) COURSES AS FOLLOWS: (1) S. 89°12'04" E. 79.70' TO A POINT AND (2) A CURVE TO THE RIGHT HAVING A RADIUS OF 137.83', AN ARC LENGTH OF 27.07' (CHORD BEARING AND DISTANCE S. 83°29'06" E. 27.03' TO A POINT AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY LINE OF EAST STAGECOACH ROAD AND THE NORTH RIGHT OF WAY LINE OF LEBANON ROAD; THENCE CONTINUING ALONG THE NEW MEBANE CORPORATE LIMITS LINE WITH THE NORTH RIGHT OF WAY LINE OF LEBANON ROAD S. 55°34'34" W. 86.27' TO THE POINT AND PLACE OF BEGINNING, BEING ALL OF ANNEXATION AREA 2A1, BEING A PORTION OF TRACT 2A, PLAT BOOK 123, PAGE 1 ORANGE COUNTY REGISTRY, AND BEING ALL OF A CONTIGUOUS CITY OF MEBANE ANNEXATION AREA, CONTAINING 0.0658 ACRES, OR 0.00010 SQUARE MILES, MORE OR LESS, AS SHOWN ON A PLAT OF SURVEY ENTITLED "FINAL PLAT OF CONTIGUOUS VOLUNTARY ANNEXATION FOR CITY OF MEBANE CORPORATE LIMITS EXTENSION" AS PREPARED BY BRANTLEY W. WELLS, NC PLS #4544, DATED APRIL 18TH, 2021, SUMMIT DESIGN AND ENGINEERING SERVICES PROJECT NO. 19-0185.

ANNEXATION AREA 2A2

COMMENCING AT AN EXISTING IRON PIN (NC GRID COORDINATES N. 858,159.59', E. 1,924,661.55' (NAD 83/11) AS DETERMINED BY A CURRENT GPS SURVEY (COMBINED GRID FACTOR 0.9999661453), IN THE NORTH RIGHT OF WAY LINE OF LEBANON ROAD, SR1306, IN THE WEST LINE OF LEBANON ROAD 3, LLC (SEE DEED BOOK 6740, PAGE 442 AND TRACT 2A PLAT BOOK 123, PAGE 1 ORANGE COUNTY REGISTRY), ALSO BEING IN THE EAST LINE OF TERESA T. DALLAS (SEE DEED BOOK 537, PAGE 487 AND PLAT BOOK 40, PAGE 93 ORANGE COUNTY REGISTRY) AND ALSO BEING IN THE WEST LINE OF LEE'S BEES INCORPORATED (SEE TRACT 2A PLAT BOOK 123, PAGE 1 ORANGE COUNTY REGISTRY) AND ALSO BEING IN THE EXISTING MEBANE ETJ LIMITS LINE AND THE EXISTING MEBANE CORPORATE LIMITS LINE, THENCE LEAVING THE NORTH RIGHT OF WAY LINE OF LEBANON ROAD AND THE EXISTING MEBANE CORPORATE LIMITS LINE AND PROCEEDING ALONG THE EXISTING MEBANE ETJ LIMITS LINE WITH DALLAS N. 33'45"17" W. 63.88' TO AN EXISTING IRON PIN IN THE SOUTH RIGHT OF WAY LINE OF EAST STAGECOACH ROAD, SR 1376; THENCE LEAVING THE EXISTING MEBANE ETJ LIMITS LINE AND PROCEEDING ALONG THE NEW MEBANE CORPORATE LIMITS LINE WITH THE SOUTH RIGHT OF WAY LINE OF EAST STAGECOACH ROAD ALONG TWO (2) COURSES AS FOLLOWS: (1) A CURVE TO THE LEFT HAVING A RADIUS OF 197.86', AN ARC LENGTH OF 90.03', CHORD BEARING AND DISTANCE N. 76°04'33" W. 89.26' TO A POINT AND (2) N. 89°12'04" W. 310.38' TO A POINT AT THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF EAST STAGECOACH ROAD AND THE NORTH RIGHT OF WAY LINE OF LEBANON ROAD; THENCE CONTINUING ALONG THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE WITH THE EAST LINE OF HARMONY HOMESTEADS LLC (SEE DEED BOOK 6511, PAGE 74 AND PLAT BOOK 72, PAGE 74 ORANGE COUNTY REGISTRY), ALSO BEING IN THE WEST LINE OF LEE'S BEES INCORPORATED (SEE TRACT 2A PLAT BOOK 123, PAGE 1 ORANGE COUNTY REGISTRY) AND ALSO BEING IN THE EXISTING MEBANE ETJ LIMITS LINE, THENCE LEAVING THE NORTH RIGHT OF WAY LINE OF EAST STAGECOACH ROAD AND PROCEEDING ALONG THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE WITH THE EAST LINE OF HARMONY HOMESTEADS LLC ALONG TWO (2) COURSES AS FOLLOWS: (1) N. 1°11'59" W. 1.03' TO AN EXISTING IRON PIN AND (2) N. 105°44'49" W. 574.62' TO AN EXISTING IRON PIN AT THE SOUTHWEST CORNER OF MILL CREEK DEVELOPMENT COMPANY (SEE DEED BOOK 2086, PAGE 255 ORANGE COUNTY REGISTRY); THENCE CONTINUING ALONG THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE WITH THE EAST LINE OF MILL CREEK DEVELOPMENT COMPANY N. 105°35'56" W. 366.73' TO A POINT WHERE THE EXISTING MEBANE ETJ LIMITS LINE MEETS THE EXISTING MEBANE CORPORATE LIMITS LINE (SEE PLAT BOOK 20, PAGE 25 ORANGE COUNTY REGISTRY); THENCE PROCEEDING ALONG THE EXISTING MEBANE ETJ LIMITS LINE WITH THE EAST LINE OF MILL CREEK DEVELOPMENT N. 103°35'06" W. 1900.14' TO AN IRON PIN SET AT THE NORTHWEST CORNER OF LEE'S BEES INCORPORATED (SEE TRACT 2A PLAT BOOK 123, PAGE 1 ORANGE COUNTY REGISTRY); THENCE CONTINUING ALONG THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE WITH THE WEST LINE OF LEE'S BEES INCORPORATED (SEE TRACT 2A PLAT BOOK 123, PAGE 1 ORANGE COUNTY REGISTRY), THENCE LEAVING THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE WITH THE WEST LINE OF LEE'S BEES INCORPORATED (SEE TRACT 2A PLAT BOOK 123, PAGE 1 ORANGE COUNTY REGISTRY), THENCE CONTINUING ALONG THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE WITH WICKER ALONG THREE (3) COURSES AS FOLLOWS: (1) N. 79°53'17" E. 227.53' TO AN EXISTING IRON PIN, (2) S. 40°07'22" E. 328.11' TO AN EXISTING IRON PIN AND (3) N. 81°06'28" E. 324.77' TO AN IRON PIN SET IN THE WEST RIGHT OF WAY LINE OF SADDLE CLUB ROAD (SR 1346); THENCE CONTINUING ALONG THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE WITH THE WEST RIGHT OF WAY LINE OF SADDLE CLUB ROAD ALONG TWO (2) COURSES AS FOLLOWS: (1) A CURVE TO THE LEFT HAVING A RADIUS OF 980.00', AN ARC LENGTH OF 133.77', CHORD BEARING AND DISTANCE S. 07°49'40" E. 133.67' TO A POINT AND (2) A CURVE TO THE LEFT HAVING A RADIUS OF 6081.81', AN ARC LENGTH OF 109.35', CHORD BEARING AND DISTANCE S. 11°18'33" E. 109.34' TO A POINT IN THE NORTH LINE OF STEVEN R. CANNADA (SEE DEED BOOK 6349, PAGE 227 AND LOT 4 PLAT BOOK 60, PAGE 45 ORANGE COUNTY REGISTRY); THENCE CONTINUING ALONG THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE WITH THE NORTH LINE OF STEVEN R. CANNADA ALONG TWO (2) COURSES AS FOLLOWS: (1) S. 78°51'52" W. 707.57' TO AN EXISTING IRON PIN AND (2) S. 10°39'35" E. 183.69' TO AN EXISTING IRON PIN AT THE SOUTHWEST CORNER OF ANTHONY AND AMANDA HENDRICKSON (SEE DEED BOOK 6629, PAGE 2364 AND LOT 5 PLAT BOOK 60, PAGE 45 ORANGE COUNTY REGISTRY); THENCE CONTINUING ALONG THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE WITH HENDRICKSON ALONG TWO COURSES AS FOLLOWS: (1) S. 10°47'13" E. 182.24' TO AN EXISTING IRON PIN AND (2) N. 76°33'09" E. 719.34' TO A POINT IN THE WEST LINE OF SADDLE CLUB ROAD; THENCE CONTINUING ALONG THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE WITH THE WEST RIGHT OF WAY LINE OF SADDLE CLUB ROAD S. 12°42'51" E. 240.99' TO A POINT IN THE NORTH LINE OF MARSHALL & KRISTI RONNINGEN (SEE DEED BOOK 6420, PAGE 118, PAGE 14 ORANGE COUNTY REGISTRY); THENCE CONTINUING ALONG THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE WITH RONNINGEN ALONG FIVE (5) COURSES AS FOLLOWS: (1) N. 88°57'24" W. 255.18' TO AN EXISTING IRON PIN, (2) S. 83°49'36" W. 137.83' TO AN EXISTING IRON PIN, (3) S. 47°42'16" W. 73.14' TO AN EXISTING IRON PIN, (4) S. 08°10'30" E. 119.59' TO AN EXISTING IRON PIN AT THE NORTHWEST CORNER OF PEGGY E. HINES (SEE DEED BOOK 394, PAGE 317 ORANGE COUNTY REGISTRY); THENCE CONTINUING ALONG THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE WITH HINES S. 02°02'04" W. 410.04' TO AN EXISTING IRON PIN IN THE NORTH LINE OF GARY & CINDY LINZ (SEE DEED BOOK 1603, PAGE 515, DEED BOOK 1707, PAGE 107, DEED BOOK 6654, PAGE 1986, PLAT BOOK 55, PAGE 138, PLAT BOOK 75, PAGE 94 AND LOT 3 REMAINDER PLAT BOOK 96, PAGE 2, ORANGE COUNTY REGISTRY); THENCE CONTINUING ALONG THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE WITH LINZ ALONG FIVE (5) COURSES AS FOLLOWS: (1) S. 80°33'17" W. 356.16' TO AN EXISTING IRON PIN, (2) S. 86°20'55" W. 187.77' TO A POINT, (3) S. 09°01'17" E. 202.18' TO A POINT, (4) S. 11°28'59" E. 808.93' TO A POINT AND (5) E. 104°21'17" E. 51' TO A POINT IN THE NORTH RIGHT OF WAY LINE OF LEBANON ROAD AND THE EXISTING MEBANE CORPORATE LIMITS LINE; THENCE LEAVING THE EXISTING MEBANE ETJ LIMITS LINE AND THE NEW MEBANE CORPORATE LIMITS LINE AND PROCEEDING ALONG THE EXISTING MEBANE ETJ LIMITS LINE AND THE NORTH RIGHT OF WAY LINE OF LEBANON ROAD ALONG THREE (3) COURSES AS FOLLOWS: (1) A CURVE TO THE LEFT HAVING A RADIUS OF 1513.21' AN ARC LENGTH OF 187.89', CHORD BEARING AND DISTANCE S. 67°50'38" W. 187.77' TO A POINT, (2) A CURVE TO THE LEFT HAVING A RADIUS OF 223.90', CHORD BEARING AND DISTANCE S. 60°02'52" W. 223.70' TO A POINT AND (3) S. 54°50'09" W. 516.77' TO THE POINT AND PLACE OF BEGINNING, BEING ALL OF ANNEXATION AREA 2A2 AREA, BEING A PORTION OF TRACT 2A, PLAT BOOK 123, PAGE 1 ORANGE COUNTY REGISTRY, AND BEING ALL OF A CONTIGUOUS CITY OF MEBANE ANNEXATION AREA, CONTAINING 93.9380 ACRES, OR 0.1468 SQUARE MILES, MORE OR LESS, AS SHOWN ON A PLAT OF SURVEY ENTITLED "FINAL PLAT OF CONTIGUOUS VOLUNTARY ANNEXATION FOR CITY OF MEBANE CORPORATE LIMITS EXTENSION" AS PREPARED BY BRANTLEY W. WELLS, NC PLS #4544, DATED APRIL 18TH, 2021, SUMMIT DESIGN AND ENGINEERING SERVICES PROJECT NO. 19-0185.



**SYMBOL LEGEND**

- IRON PIN SET
- IRON PIN FOUND
- △ MATHEMATICAL POINT
- SIGN
- IPS IRON PIN SET
- EIP EXISTING IRON PIPE
- ECM EXISTING CONCRETE MONUMENT
- R/W RIGHT OF WAY
- TR. TRACT
- DB DEED BOOK
- PB PLAT BOOK
- NMCL NEW MEBANE CORPORATE LIMITS
- (PROPERTY LINE)
- (NOT SURVEYED)
- RIGHT OF WAY LINE
- FIBER OPTIC LINE
- OVERHEAD ELECTRIC LINE

**LINE TABLE**

LINE #	LENGTH	DIRECTION
L1	516.77'	S54°50'09"W
L2	310.38'	N89°12'04"W
L3	79.70'	S89°12'04"E
L4	86.27'	S55°34'34"W
L5	3.30'	N88°57'24"W
L6	28.94'	N87°54'34"W
L7	240.99'	S12°42'51"E
L8	3.18'	S76°33'09"W
L9	30.15'	S76°09'59"W
L10	2.19'	S78°51'52"W
L11	29.52'	S78°51'52"W
L12	17.06'	N81°06'28"E
L13	1.03'	S11°11'59"E
L14	63.68'	N33°45'17"W

**CURVE TABLE**

CURVE #	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD
C1	1513.21'	187.89'	7°06'51"	94.07'	S67°50'38"W	187.77'
C2	1513.21'	223.90'	8°28'40"	112.16'	S60°02'52"W	223.70'
C3	197.86'	90.03'	26°04'18"	45.81'	N76°04'33"W	89.26'
C4	137.83'	27.07'	11°15'12"	13.58'	S83°29'06"E	27.03'
C5	980.00'	133.77'	7°49'15"	66.99'	S07°49'40"E	133.67'
C6	6081.81'	32.29'	0°18'15"	16.15'	S10°56'46"E	32.29'
C7	6081.81'	50.00'	0°28'16"	25.00'	S11°20'02"E	50.00'
C8	6081.81'	27.05'	0°15'17"	13.53'	S11°41'48"E	27.05'

I, BRANTLEY W. WELLS, PLS NO. 4544, CERTIFY THAT NO GRID DATA IS SHOWN ON THIS PLAT WAS OBTAINED FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- (1) CLASS OF SURVEY: "A"
- (2) POSITIONAL ACCURACY: 0.07"
- (3) TYPE OF GPS FIELD PROCEDURE: VRS
- (4) DATES OF SURVEY: 1/24/2020
- (5) DATUM/EPOCH: NAD 83/2011
- (6) HELD VRS
- (7) GEOID MODEL: 2012B
- (8) COMBINED GRID FACTOR: 0.999966143
- (9) UNITS: US SURVEY FEET

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE:

- G.S. 47-30 (f)(1)(c)(1). THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.
- G.S. 47-30 (j). THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO BOUNDARY PLATS OF STATE LINES, COUNTY LINES, AREA ANNEXED BY MUNICIPALITIES, NOR TO PLATS OF MUNICIPAL BOUNDARIES, WHETHER OR NOT REQUIRED BY LAW TO BE RECORDED.

I, BRANTLEY W. WELLS, PLS NO. 4544, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK/PAGE (AS NOTED HEREON) OR OTHER REFERENCE SOURCE (AS NOTED HEREON)), THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED IN A BROKEN LINES TYPE AS DRAWN FROM INFORMATION IN BOOK/PAGE (AS NOTED HEREON) OR OTHER REFERENCE SOURCE (AS NOTED HEREON); THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 N.C.S. 56-600). THIS MAP WAS DRAWN IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 18TH DAY OF MARCH 2021.

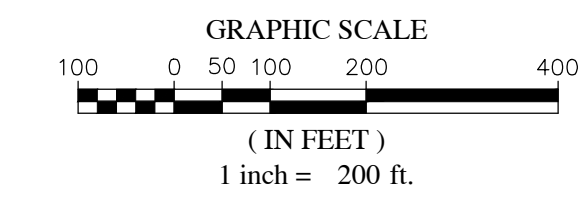
**PRELIMINARY PLAT**

PROFESSIONAL LAND SURVEYOR REG. NUMBER L-4544  
SUMMIT DESIGN & ENGINEERING, SERVICES, PLLC. REG. NUMBER P-0339

AUTHORIZED CITY OFFICIAL

DATE

**PLANNING DIRECTOR CERTIFICATION**  
THIS TRACT OF LAND IS WITHIN THE CITY OF MEBANE'S JURISDICTION, NO APPROVAL IS REQUIRED OF THE PLANNING BOARD OR CITY COUNCIL.



**FINAL PLAT OF CONTIGUOUS VOLUNTARY ANNEXATION FOR CITY OF MEBANE CORPORATE LIMITS EXTENSION**

CHEEKS TWP., ORANGE CO., NORTH CAROLINA  
CITY OF MEBANE  
PROPERTY AS DESCRIBED IN DEED BOOK 6704 PAGE 442  
STANDING IN THE NAME OF  
LEBANON ROAD 3 LLC



Creatively Inspired - Technically Executed  
License #: P-0339  
320 Executive Court  
Hillsborough, NC 27278-8551  
Phone: (919) 732-3883 Fax: (919) 732-6676  
www.summitde.net

CLIENTS ADDRESS  
c/o JAMES PARKER  
320 EXECUTIVE CT.  
HILLSBOROUGH, NC 27278  
(919) 732-3883

PROJECT MANAGER

DRAWN BY

RAH

SCALE

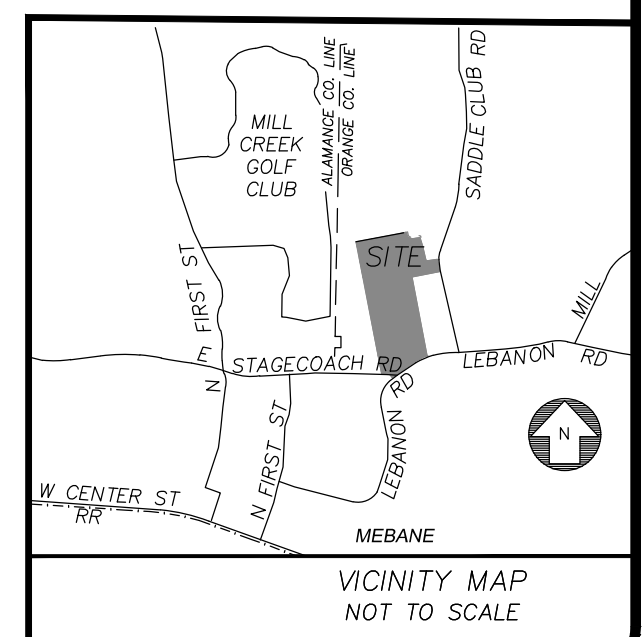
1"=200'

COPYRIGHT © 2021  
SUMMIT  
DESIGN AND ENGINEERING

DRAWING ALTERATION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY MANNER. ANYONE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO PRINT HIS OR HER REAL AND THE NOTATION ALTERED BY FOLLOWED BY HIS OR HER SIGNATURE AND DIRECTION OF DESCRIPTION OF ALTERATIONS.

NO.	REVISIONS	DATE	BY
6			
5			
4			
3			
2			
1			
0			



PROJECT NO.  
**19-0185**

DRAWING NO.  
19-0185\_2A\_ANNEX

---

## AGENDA ITEM #5C

Ordinance to Extend the Corporate Limits-  
Mebane Investors, LLC- Magnolia Glen (Final  
Phase)

---

### Meeting Date

July 12, 2021

---

### Presenter

Lawson Brown, City Attorney

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### Public Hearing

Yes  No

---

### Summary

The Council will consider the approval of an Ordinance to Extend the Corporate Limits as the next step in the annexation process. This is a non-contiguous satellite annexation containing approximately 23.53 acres located in Alamance County on Old Hillsborough Road being the final phase of the Magnolia Glen development.

---

### Background

At the June 7, 2021 Council Meeting, Council accepted the petition for annexation and the Clerk's certificate of sufficiency and adopted a Resolution setting a date of Public Hearing for July 12, 2021 to consider approval of extending Mebane's corporate limits. The Public Hearing Notice was properly advertised.

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### Financial Impact

The property and improvements will be added to the ad valorem tax base for the City once the property is annexed as determined by the state statute.

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### Recommendation

Staff recommends adoption of an Ordinance to Extend the Corporate Limits of the City of Mebane, North Carolina.

---

### Suggested Motion

I make a motion to adopt an Ordinance to Extend the Corporate Limits of the City of Mebane, North Carolina to include the 23.53 acres.

---

### Attachments

1. Ordinance
2. Map



AN ORDINANCE TO EXTEND THE CORPORATE LIMITS  
OF THE CITY OF MEBANE, NORTH CAROLINA

*Mail after recording to: City of Mebane, Attn: City Clerk, 106 E. Washington Street, Mebane, NC 27302*

Ordinance No. 145

WHEREAS, the City Council has been petitioned under G.S. 160A-58.1 to annex the area described below; and

WHEREAS, the City Council has by resolution directed the City Clerk to investigate the sufficiency of the petition; and

WHEREAS, the City Clerk has certified the sufficiency of the petition and a public hearing on the question of this annexation was held at the Glendel Stephenson Municipal Building at 6:00 p.m. on July 12, 2021 at 6:00 p.m. after due notice by the Mebane Enterprise on June 30, 2021; and

WHEREAS, the City Council finds that the area described therein meets the standards of G.S. 160A-58.1 (b), to wit:

- a. The nearest point on the proposed satellite corporate limits is not more than three (3) miles from the corporate limits of the City;
- b. No point on the proposed satellite corporate limits is closer to another municipality than to the City;
- c. The area described is so situated that the City will be able to provide the same services within the proposed satellite corporate limits that it provides within the primary corporate limits;
- d. No subdivision, as defined in G.S. 160A-376, will be fragmented by this proposed annexation;

WHEREAS, the City Council further finds that the petition has been signed by all the owners of real property in the area who are required by law to sign; and

WHEREAS, the City Council further finds that the petition is otherwise valid, and that the public health, safety and welfare of the City and of the area proposed for annexation will be best served by annexing the area described;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Mebane, North Carolina that:

Section 1. By virtue of the authority granted by G.S. 160A-58.2, the following described non-contiguous territory is hereby annexed and made part of the City of Mebane, as of July 12, 2021:

Beginning At An EIP in the E.C. Sykes line; Thence S 00°56'55" E A Distance Of 97.31' to an EIP; Thence S 00°03'20" E A Distance Of 163.15' to an EIP; Thence S 52°59'45" W A Distance Of 1361.97' to an EIP; Thence N 11°59'56" W A Distance Of 636.47' to an EIP; Thence N 12°01'48" W A Distance Of 580.59' to an EIP; Thence N 78°29'37" E A Distance Of 180.40' to a computed point; Thence S 11°59'52" E A Distance Of 23.54' to a computed point; Thence N 78°00'08" E A Distance Of 359.69' to a computed point; Thence S 08°10'12" E A Distance Of 14.97' to a computed point; Thence N 81°49'48" E A Distance Of 358.69' to a computed point; Thence N 89°14'43" E A Distance Of 44.69' to a computed point; Thence S 00°45'17" E A Distance Of 42.04' to a computed point; Thence S 07°18'56" E A Distance Of 51.44' to a computed point; Thence S 28°34'09" E A Distance Of 78.81' to a computed point; Thence S 49°49'23" E A Distance Of 78.81' to a computed point; Thence S 71°04'37" E A Distance Of 75.82' to a computed point; Thence N 89°14'43" E A Distance Of 227.15' to an EIP; Which Is The Point Of Beginning, Having An Area Of 1024900.04 Square Feet, 23.53 Acres

Section 2. Upon and after July 12, 2021 the above-described territory and its citizens and property shall be subject to all debts, laws, ordinances and regulations in force in the City of Mebane and shall be entitled to the same privileges and benefits as other parts of the City of Mebane. Said territory shall be subject to municipal taxes according to G.S. 160A-58.10.

Section 3. The Mayor of the City of Mebane shall cause to be recorded in the office of the Register of Deeds of Alamance County, and in the office of the Secretary of State at Raleigh, North Carolina, an accurate map of the annexed territory, described in Section 1 above, together with a duly certified copy of this ordinance. Such a map shall also be delivered to the Alamance County Board of Elections, as required by G.S. 163-288.1.

Adopted this 12th day of July, 2021.

\_\_\_\_\_  
Ed Hooks, Mayor

ATTEST:

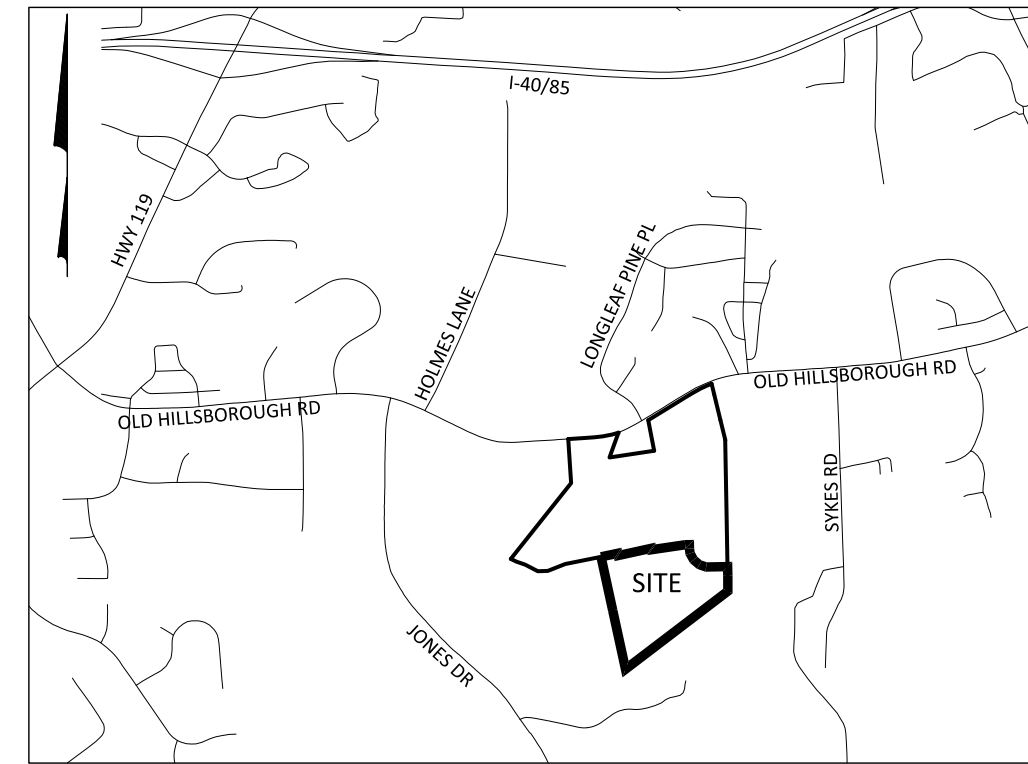
APPROVED AS TO FORM:

\_\_\_\_\_  
Stephanie W. Shaw, City Clerk

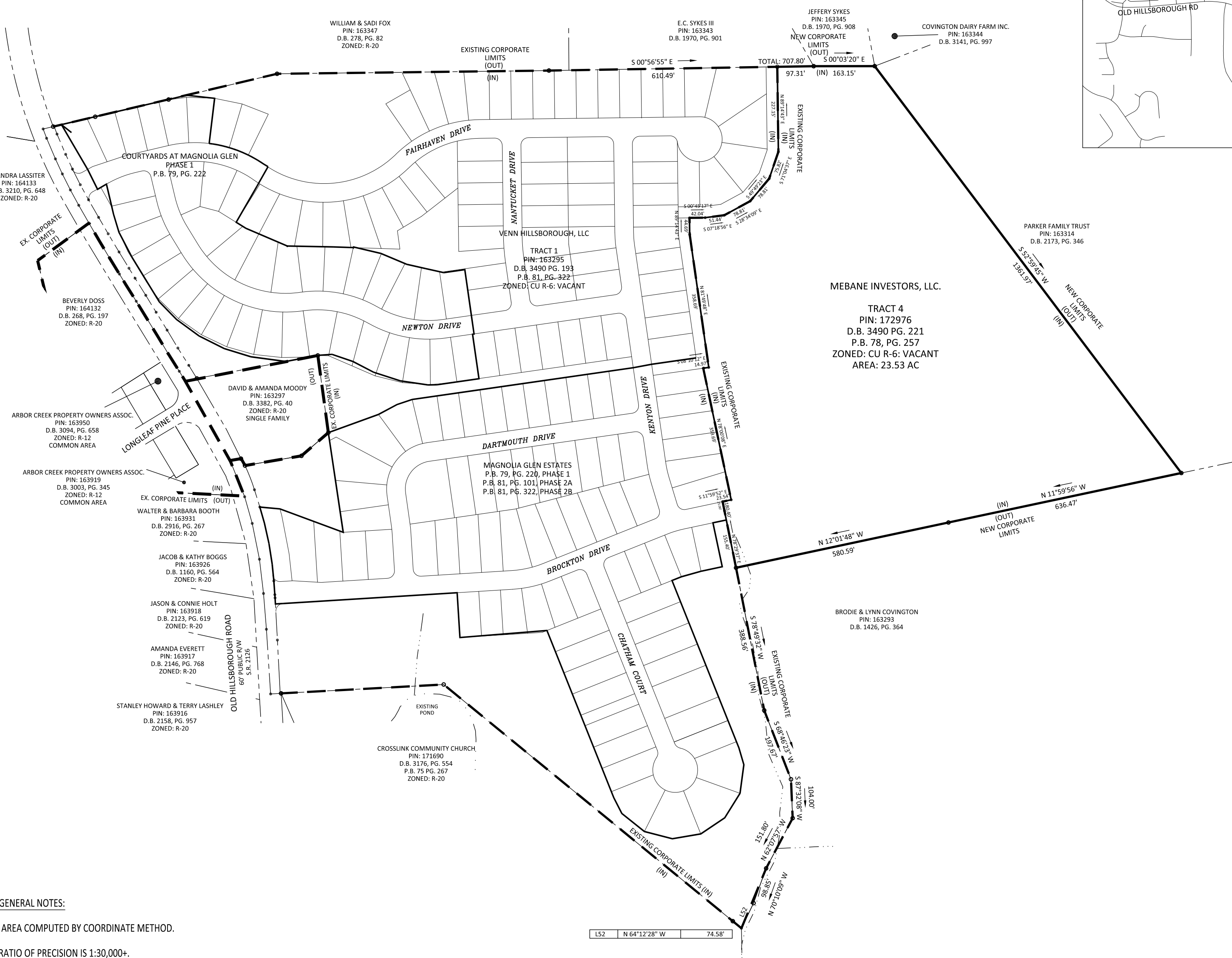
\_\_\_\_\_  
Lawson Brown, City Attorney



LINETYPE TABLE	
---	NEW CORPORATE LIMITS
- - -	EXISTING CORPORATE LIMITS
---	ADJOINERS PROPERTY LINE
---	RIGHT OF WAY LINE



VICINITY MAP  
1" = 2000'



GENERAL NOTES:

AREA COMPUTED BY COORDINATE METHOD.

RATIO OF PRECISION IS 1:30,000+.

THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE INVESTIGATION, THEREFORE, THIS MAP IS SUBJECT TO ANY AND ALL FACTS AN ACCURATE TITLE INVESTIGATION MAY DISCLOSE.

THIS MAP IS SUBJECT TO ANY AND ALL EASEMENTS, AGREEMENTS AND RIGHTS OF WAY OF RECORD BUT NOT VISIBLE OR APPARENT AT THE TIME OF INSPECTION.

NO N.C.G.S. MONUMENT RECOVERED WITHIN 2,000 FEET OF THIS PROPERTY.

152 N 64°12'28" W 74.58'

CERTIFICATE OF SURVEY ACCURACY

I, JEFFREY T. ALLRED, PLS., CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK \_\_\_\_\_ PAGE SHOWN, ETC.); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK (AS SHOWN) PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:30,000; THIS PLAT WAS PREPARED IN ACCORDANCE WITH N.C.G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 17th DAY OF MAY, 2021 A.D.

This survey is of an existing parcel or parcels of land or one or more existing easements and does not create a new street or change an existing street.

The provisions of this section shall not apply to boundary plats of State lines, county lines, areas annexed by municipalities, nor to plats of municipal boundaries, whether or not required by law to be recorded.

PLANNING DIRECTOR CERTIFICATION

THIS TRACT OF LAND IS WITHIN THE CITY OF MEBAE'S JURISDICTION, NO APPROVAL IS REQUIRED OF THE PLANNING BOARD OR CITY COUNCIL.

SIGNED: \_\_\_\_\_ PLANNING DIRECTOR

DATE: \_\_\_\_\_

*Jeffrey T. Allred*  
JEFFREY T. ALLRED  
PROFESSIONAL LAND SURVEYOR  
L-4500  
REGISTRATION NUMBER

ALLRED LAND SURVEYING, PLLC

JEFF ALLRED, PLS ~ L-4500  
8065 COBLE MILL ROAD  
SNOW CAMP, NC 27349  
PHONE: 336-684-8202

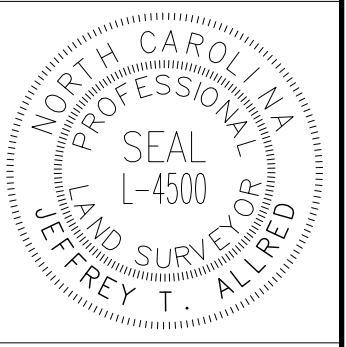
FINAL PLAT  
CITY OF MEBAE-NON-CONTIGUOUS VOLUNTARY  
CORPORATE LIMITS EXTENSION

DEVELOPER INFORMATION:  
MEBAE INVESTORS, LLC  
3041 S. CHURCH STREET  
BURLINGTON, NC 27215

PROJECT LOCATION:  
STATE: NC  
COUNTY: ALAMANCE  
TOWNSHIP: MELVILLE

NO.	DATE	REVISION NOTE

DRAWN BY: JTA  
CHECKED BY: JTA  
DATE: 20210517  
PROJECT NO.: 2015-57  
REF. NO.:  
SCALE: 1" = 200'



SHEET  
1 OF 1

DRAWING FILE PATH: E:\Carlson Projects\2015-57.dwg



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## AGENDA ITEM #6

### BPAC Better Block Requests

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#### Presenter

Katy Jones, Mebane BPAC

Chelsey Morrison, Mebane BPAC

---

#### Public Hearing

Yes  No

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#### Summary

The Mebane Bicycle and Pedestrian Advisory Commission (BPAC) is requesting approval of two temporary projects using materials from the Better Block Trailer. The Better Block Trailer is a shared resource for Alamance County communities to reimagine the built environment by test-driving ideas through temporary treatments. The trailer features traffic cones, rubber curb stops, and other durable but temporary equipment that can be placed in streets, sidewalks, and other areas to change how they are used and experiment with ideas that could be beneficial to determine if they are good candidates as capital projects. The City of Mebane is a partner with the Better Block Trailer, which is maintained by the City of Graham.

---

#### Background

The BPAC is requesting approval of the following two projects, which would be active during the months of August, September, and October. Prior to the Better Block events, the projects will be marketed using social media and a brief video. Community input on the projects will be gathered during and after the events, primarily through online survey tools.

#### Project 1: Traffic Calming in Ashbury Subdivision

Currently, the three major roads in Ashbury – Blue Lake Drive, Mockingbird Lane, and Ashbury Boulevard – lack crosswalks and have few stop conditions. This contributes to speeding vehicles and unsafe conditions for pedestrians and cyclists. The BPAC proposes to use temporary stop signs at six intersections and temporary crosswalks in eight locations. The Ashbury HOA approved the project in May 2021 and neighbors have expressed support in the subdivision’s Facebook group.

#### Project 2: Downtown Parklet

Using one to two on-street parking spaces, the Downtown parklet will feature an outdoor seating area and a nearby bike rack. The area will be defined and protected from traffic. The BPAC has explored creating a parklet using barriers and picnic tables, and also reserving the mobile parklet available through the City of Graham. Destination Downtown discussed the idea during its June 2021 meeting, and the idea received a positive response. Additionally, the owners of Solgarden and Impulsive Creativity have expressed support and offered use of the spaces on West Clay Street in front of their businesses. An alternative location in front of an inactive North Fourth Street location is also a potential location.

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**Financial Impact**

No cost is associated with use of the Better Block Trailer. The City may need to purchase temporary stop signs and a bike rack, which are not available in the trailer. The total cost of acquiring these materials will be under \$500.

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**Recommendation**

The BPAC recommends approval of the two projects.

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**Suggested Motion**

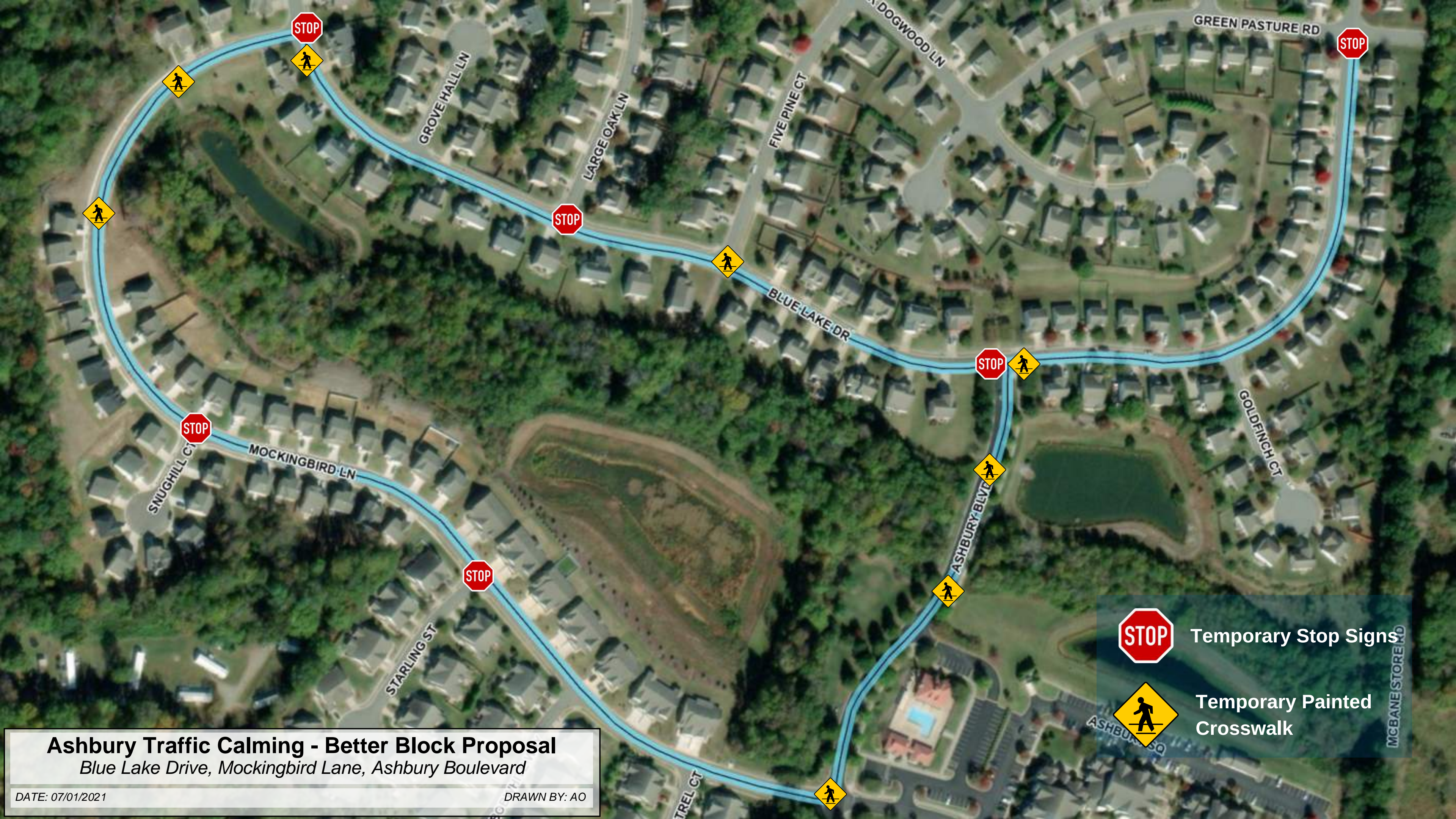
Motion to support the use of the Better Block Trailer and mobile parklet to realize the two temporary better block projects in Ashbury and at select on street parking spaces on West Clay and North Fourth Streets, as proposed by the City's Bicycle and Pedestrian Commission.

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**Attachments**

1. Ashbury Traffic Calming Map & Downtown Parklet Renderings





**Ashbury Traffic Calming - Better Block Proposal**  
*Blue Lake Drive, Mockingbird Lane, Ashbury Boulevard*

DATE: 07/01/2021

DRAWN BY: AO

 Temporary Stop Signs

 Temporary Painted Crosswalk

MCBANE STORE RD





**Ashbury Traffic Calming - Better Block Proposal**  
*Crossing of Blue Lake Drive*

DATE: 07/01/2021

DRAWN BY: AV

**RENDERING**  
Location & dimensions not exact





**Clay St. Parklet - Better Block Proposal**  
*Picnic Tables & Bike Rack*

DATE: 07/01/2021

DRAWN BY: AV

**RENDERING**  
Location & dimensions not exact



**Fourth St. Parklet - Better Block Proposal**  
*Picnic Tables & Bike Rack*

DATE: 07/01/2021

DRAWN BY: AV

**RENDERING**  
Location & dimensions not exact





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## AGENDA ITEM #7

### Wastewater Treatment Capacity (Part 2)

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#### Presenter

Franz Holt, City Engineer

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#### Public Hearing

Yes  No

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#### Summary

This presentation is a follow-up to our previous (March 2021 budget work session) review with Council on Mebane's Wastewater Treatment Capacity (see Background). Attached is a pdf of the presentation which focuses on developing effective strategies related to wastewater (flow) as follows:

- Limiting Accumulation of Paper Flow (on paper at a higher amount than when tributary)
- Encouraging Blended Flow (residential and non-residential)
- Limit/Reducing Inflow and Infiltration
- Making developers aware of new wastewater permitting strategies
- Other items related to treatment capacity

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#### Background

The current treatment capacity at the WRRF is 2.5 MGD with current wastewater flows of 1.775 MGD leaving 0.725 MGD available for treatment of approved projects not yet tributary (in the system), Orange County reserved flow for Economic Development, and new development not yet approved.

In addition, Mebane has purchased capacity in the Graham WWTP to treat 0.75 MGD of which we currently send approximately 15,000 gpd (the NCCP wastewater flow does not count against this available capacity). This leaves approximately 0.735 MGD to handle approved projects (Cambridge Park), Pump Station reroutes (GKN and Arbor Creek), and new development not yet approved.

Plans for WRRF expansions include 0.5 MGD which is currently in the planning/design stages and a future 1.0 MGD expansion which is being studied conceptually.

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#### Financial Impact

None

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#### Recommendation

Approve the implementation of strategies related to wastewater flow as presented by staff.

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#### Suggested Motion

Move to allow staff to implement strategies presented on addressing wastewater flow.

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#### Attachments

1. Power Point Presentation





# Wastewater Treatment Capacity – Part 2

## Developing Effective Strategies related to wastewater (flow)

- Limit Accumulation of **Paper** Flow (*on paper at a higher amount than when tributary or in the system*)
- Encourage **Blended** Flow (*residential/non-residential current ratio historically at 60%*)
- Limit/Reduce **I/I** Flow (*added to the system from groundwater infiltration and inflow 0.2 to 0.3 MGD*)
- Developer **Awareness** of permitting strategies
- **Other** items/studies – System Development Fee/Update of LRUP/Inter-local agreements/WRRF Expansions

# Wastewater Treatment Capacity *(Part 2 Continued)*

## Strategies to limit the Accumulation **Blended** Flow

### 1 – For Approved Residential Development Prior to July 15, 2021

- Permitting Wastewater Flow for a Multiple Phased Project at one time will no longer be done.
- Additional Phases of Development may be permitted once a final plat has been recorded for the current phase.
- Sub-phasing of larger phases once the flow is permitted will no longer be allowed. **Permit only what you intend to plat.**

### 2 – For Approved Residential Development After July 15, 2021

- Single Family same as item 1 except 50% of the units must be started prior to permitting the next phase.
- For Multi-family the City may elect to have large projects permitted in phases at no more than 72 units (three 24-unit buildings) in a calendar year.
- Goal is to limit new permitted units to the number receiving certificates of occupancy in FY 20-21 (**approx. 400**)

### 3 – Plan Review and Approval Process

- TRC meetings for residential projects will occur once a month.
- Non-residential projects will be reviewed at either of the two scheduled monthly meetings.
- Pre-development and pre-construction conferences will be held at anytime (no change).
- Major multi-phased projects in excess of 300 units will require management consent prior to moving forward through the TRC process.

# Wastewater Treatment Capacity *(Part 2 Continued)*

Strategies to encourage **Blended** Flow with **GKN** and **Arbor Creek** Pump Station reroutes at **0.275 MGD** and **0.5 MGD WRRF** expansion

## 1 - Wastewater Service Prioritization – Potential Reserved Flow

- Orange County Buckhorn Economic Development District – 130,000 gallons per day to the WRRF.
- NCIC and CCIC – 70,000 gpd to WRRF.
- Commercial/Office/Institutional – 100,000 gallons per day to WRRF & Graham WWTP.
- Infill development not requiring a permit – 100,000 gallons per day.

## 2 - Wastewater Service Prioritization – Type of Development

- Addressing a general public health need or underserved area.
- Industrial, Institutional, Commercial, and Unique Residential Projects in & nearby to Historic Downtown Mebane.
- Residential development not requiring new pump stations or oversized facilities.
- Residential development requiring oversized facilities where the developer agrees to not to request oversizing reimbursement.

# Wastewater Treatment Capacity *(Part 2 Continued)*

## Strategies to limit/reduce **Inflow/Infiltration** Flow

### 1 – Capital Projects

- Make recommended repairs in completed study to 3<sup>rd</sup> Street and 5<sup>th</sup> Street Pump Station Collection Systems.
- WRRF outfall manhole and line rehabilitation.
- Establish annual sewer manhole rehabilitation and pipe lining/replacement/point repair program.

### 2 – Study additional areas identified from Desktop Analysis of City Pump Station Sewersheds

# Wastewater Treatment Capacity *(Part 2 Continued)*

## Permitting Policy and Prioritization Awareness for New Development

- Those intending to develop in Mebane will be made aware of City permitting strategies/priorities and approved tentative plans for creating additional sewer capacity.
- The development community will need to understand that fast paced residential growth requires that new policies and strategies be implemented to allow for orderly blended growth (residential and non-residential).
- Permitting of certain projects or phases may require commitments of new municipal or privately funded projects. Any commitments made by the City will be on its time frame and as funds are made available.



# Wastewater Treatment Capacity *(Part 2 Continued)*

## Other Items

- Continue system development fee schedule studies to help fund capacity driven wastewater projects with regular review every 2 years.
- Revisit feasibility of 0.5 MGD Inter-local agreement with Haw River and Burlington that could provide for the reroute of wastewater flow from Governor Green Pump Station sewershed.
- Update Long Range Utility Plan in FY 21-22 that encourages development in areas currently served, prioritizes areas of service to non-residential growth, considers impacts to existing wastewater facilities, and limits the need to participate in oversizing costs.
- Study future WRRF expansion alternatives.



## AGENDA ITEM #8

### Contract Award for the WRRF Renovation Improvements

#### Presenter

Franz Holt, City Engineer

#### Public Hearing

Yes  No

#### Summary

Bids for the WRRF renovation improvements were opened at 3:00 p.m. Thursday, July 6<sup>th</sup>, 2021. Three bids were received ranging from \$6,927,000 to \$7,590,974 with the low bidder being Haren Construction Company, Inc. Jacobs Engineering (project engineer) has provided a technical memorandum of recommendation for tentative contract award to the low bidder (attached). While the low bid is 24% higher than the project estimate we consider this to be a reflection of the current bidding environment. Subject to Council approval construction would start this fall with completion in spring 2023.

#### Background

The improvements proposed as part of the Water Resource Recovery Facility renovation project are part of the City's plan to replace aging equipment and improve unit process operation while ensuring that the proposed upgrades conform with the future desire to increase permitted capacity from 2.5 to 3.0 million gallons per day (MGD). The elements of the renovation project are:

- *Headworks Expansion.* Addition of a single, parallel channel with a capacity of 8 MGD to function as the primary influent channel. The headworks channel will include a mechanical screen and vortex grit removal.
- *Aerobic Stabilization.* The aging mixer/aerators will be replaced with coarse bubble diffused aeration and mixers. Air will be provided by three outdoor blowers.
- *Solids Thickening.* A second, 200 gpm rotary drum thickener will be installed in parallel to the existing unit.
- *Polymer Upgrade.* A second polymer feed system will be installed parallel to the existing unit.
- *Secondary Clarifier Improvements.* To enhance performance of the clarifiers, energy dissipating inlets, flocculating feed-wells and density current baffles will be installed in each secondary clarifier.
- *Electrical Upgrades.* A new electrical building will be included to support the new treatment equipment.

#### Financial Impact

In May 2021 Council amended the previous WRRF Capital Project Ordinance which only covered minimal professional services, design, and minor contingency at the time to the current revised budget as shown below. Based on the bids received and if approved the proposed project budget would need to be adjusted as follows:

WRRF Renovation Capital Project Fund	May Revised Budget	Proposed Budget w/ low Bid
Professional Services	\$ 200,000	\$ 200,000
Construction Administration	530,000	530,000
Construction including MOB purchase (\$523,750)	5,560,426	<b>6,927,000</b>
MOB System purchase	523,750	523,750
Design and Engineering	530,000	530,000
Recommended Project Contingency approx. 4% of const.	-	289,250
<b>Total</b>	<b>\$7,344,176</b>	<b>\$9,000,000</b>

Later this month bank bid proposals will be received for the financing of the project and provided to Council at the August meeting for consideration and approval. We anticipate providing a debt service schedule and further amended CPO at that same meeting. Application to the LGC is expected to follow Council action in August with consideration for approval of debt financing at their September, 2021 meeting.

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**Recommendation**

Based on good past experience with Haren Construction and their being the low responsible bidder we along with Jacobs Engineering recommend Council make tentative contract award to them for the WRRF renovation project in the amount of \$6,927,000 subject to subsequent project financing approvals.

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**Suggested Motion**

Motion to approve a tentative contract award for the WRRF renovation project to the low bidder Haren Construction Company, Inc. in the amount of \$6,927,000 subject to subsequent project financing approvals.

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**Attachments**

1. Technical memorandum of Contract Award from Jacobs Engineering (project engineer) with bid tabulations.

# City of Mebane Water Resource Recovery Facility Improvements - Analysis of Bids and Award Recommendation

PREPARED FOR: City of Mebane  
PREPARED BY: Jacobs Engineering Group, Inc.  
DATE: July 7, 2021  
PROJECT NUMBER: D3239800

## Purpose and Background

The purpose of this technical memorandum (TM) is to provide Jacobs Engineering Group, Inc's analysis of the bids received for the City of Mebane Water Resources Recovery Facility (WRRF) Improvements project. Bids were received, opened, and read publicly after 3:00 P.M. Tuesday, July 6, 2021 in the Council Chambers of the Glendel Stephenson Municipal Building located at 106 E. Washington Street, Mebane, NC 27302.

The goal of the project is to upgrade the existing 2.5 mgd WRRF.

Specific Work items include but are not limited to:

1. New headworks facility with one mechanical screens, grit chamber, grit pump, grit cyclone and classifier.
2. One rotating drum thickener (RDT) located in existing solids building.
3. One polymer system for use with the new RDT.
4. Sludge aerobic digesters modifications for two digesters. Provide aeration diffusers, and two mixers in each digester.
5. Three blowers for aeration of both tanks.
6. Modification to three secondary clarifiers consisting of new Stamford effluent baffles, and energy dissipating inlets for each clarifier.
7. Influent flowmeter monitoring flow from the headworks in a vault.
8. New electrical building to support new equipment.

## Evaluation of Bids

Three (3) licensed contractors submitted responsive and responsible bids on this project. No discrepancies between bid totals read during the bid opening and actual tabulated bid totals were noted.

A summary of the bids that were received is provided in Attachment 1. A detailed breakdown by line item for the submitted bids is provided in Attachment 2.

The construction estimate for this project, exclusive of Bid Alternates, was \$5,600,000. It was found that the original estimate is within 21% of the low bid and the low bid appears to adequately reflect

the scope of work. The increase from the construction estimate is considered to reflect the current bidding environment. With the two Bid Alternates included the low bid is 24% higher than the construction estimate.

The apparent low bidder for this project is Haren Construction Company, Inc. The home office for this company is located in Etowah, Tennessee.

## Evaluation of Apparent Low Bidder

The following bid items were evaluated:

- **Bid Form:** Bid was submitted on the appropriate, completed bid form, signed and sealed.
- **Addenda Acknowledgement:** Three addenda were issued for the bid. Bidder acknowledged receipt of the Addenda in the appropriate place on the Bid Form.
- **General Contractors License:** Neither Bidder included an North Carolina General Contractors License number on the bid form.
- **Submission of Required Documents with the Bid Form to include:**
  - Bid Bond (Section 00 43 13-1). 5% Bid Bond was submitted.
  - Proposed Supplier Information was included in the appropriate place on the Bid Form.
  - List of Subcontractors was submitted.
  - Bidder's Qualifications were submitted.
  - Bidder's Experience information was submitted.
  - Identification of HUB Certified/Minority Business Participation. Form (Section 00 48 00 Supplement 1) was submitted.
  - MWBE AFFIDAVIT A - Listing of Good Faith Efforts. (Section 00 48 00 Supplement 2) was submitted.
  - Non-Collusion Affidavit and Debarment Certification (Section 00 45 19-1). Certification was submitted.
  - Iran Divestment Act Certification. Certification was submitted.
  - E-Verify Affidavit was submitted.

The apparent low bidder was contacted on July 7, 2021 and provided the opportunity to review their bid for errors. Confirmation was received that Haren Construction Company, Inc. had reviewed their bid and found no errors.

## Recommendation

It is recommended that this Project be tentatively awarded, pending funding approval, to Haren Construction Company, Inc., the lowest responsive and responsible bidder.





## Attachment 1

### \*\*\*\*\*BID TABULATION\*\*\*\*\*

CITY OF MEBANE WATER RESOURCES RECOVERY FACILITY IMPROVEMENTS

Mebane, North Carolina

BID DATE: July 6, 2021, AT 3:00 P.M.

Table 1. Bids Tabulation

Contractor	Base Bid	Bid Alternate No.1	Bid Alternate No.2	Total Bid
Haren Construction Company, Inc.	\$6,792,000.00	\$156,000.00	\$9,000.00	\$6,927,000.00
State Utility Contractors, Inc.	\$6,965,000.00	\$170,000.00	\$10,000.00	\$7,145,000.00
Wharton-Smith, Inc.	\$7,400,974.00	\$180,000.00	\$0	\$7,580,974.00

I certify that this is a true and correct tabulation of the bids received for this project.

---

Philip Ogden P.E.  
North Carolina PE Registration # 033797



Attachment 2  
Water Resources Recovery Facility Improvements

Bid Tab

Item No	Description	Estimated Quantity	Unit	Haren		State Utility Contractors		Wharton-Smith	
				Bid Unit Price	Extended Bid Price	Bid Unit Price	Extended Bid Price	Bid Unit Price	Extended Bid Price
1	Mobilization (2%)	LS	1	\$ 130,000.00	\$ 130,000.00	\$ 139,000.00	\$ 139,000.00	\$ 140,000.00	\$ 140,000.00
2	Supplemental Geotechnical Investigation	LS	1	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 25,000.00	\$ 25,000.00
3	Headworks	LS	1	\$ 3,149,026.00	\$ 3,149,026.00	\$ 3,158,026.00	\$ 3,158,026.00	\$ 2,948,000.00	\$ 2,948,000.00
4	Splitter Box Improvements	LS	1	\$ 30,000.00	\$ 30,000.00	\$ 40,000.00	\$ 40,000.00	\$ 100,000.00	\$ 100,000.00
5	Secondary Clarifier Improvements	LS	1	\$ 450,000.00	\$ 450,000.00	\$ 600,000.00	\$ 600,000.00	\$ 500,000.00	\$ 500,000.00
6	Rotary Drum Thickener	LS	1	\$ 550,000.00	\$ 550,000.00	\$ 350,000.00	\$ 350,000.00	\$ 500,000.00	\$ 500,000.00
7	Aerobic Digester Improvements	LS	1	\$ 400,000.00	\$ 400,000.00	\$ 850,000.00	\$ 850,000.00	\$ 900,000.00	\$ 900,000.00
8	Electrical Building	LS	1	\$ 350,000.00	\$ 350,000.00	\$ 415,000.00	\$ 415,000.00	\$ 1,000,000.00	\$ 1,000,000.00
9	Civil works including all earthwork, paving, fencing	LS	1	\$ 800,000.00	\$ 800,000.00	\$ 250,000.00	\$ 250,000.00	\$ 300,000.00	\$ 300,000.00
10	All Underground Piping	LS	1	\$ 300,000.00	\$ 300,000.00	\$ 375,000.00	\$ 375,000.00	\$ 500,000.00	\$ 500,000.00
11	Demolition	LS	1	\$ 300,000.00	\$ 300,000.00	\$ 500,000.00	\$ 500,000.00	\$ 200,000.00	\$ 200,000.00
12	Blowers	LS	1	\$ 252,974.00	\$ 252,974.00	\$ 252,974.00	\$ 252,974.00	\$ 252,974.00	\$ 252,974.00
13	Repair of vertical or overhead concrete surfaces	SF	100	\$ 200.00	\$ 20,000.00	\$ 150.00	\$ 15,000.00	\$ 175.00	\$ 17,500.00
14	Repair of horizontal concrete surfaces	SF	100	\$ 200.00	\$ 20,000.00	\$ 100.00	\$ 10,000.00	\$ 175.00	\$ 17,500.00
<b>Total Base Bid (Total Of Above)</b>					<b>\$ 6,762,000.00</b>		<b>\$ 6,965,000.00</b>		<b>\$ 7,400,974.00</b>
Bid Alternate No.1					\$ 156,000.00		\$ 170,000.00		\$ 180,000.00
Bid Alternate No.2					\$ 9,000.00		\$ 10,000.00		\$ -
<b>Total Base Bid &amp; Bid Alternate No.1 &amp; Bid Alternate No.2</b>					<b>\$ 6,927,000.00</b>		<b>\$ 7,145,000.00</b>		<b>\$ 7,580,974.00</b>



## AGENDA ITEM #9

### Planning Board Appointments

#### Presenter

Cy Stober, Development Director

#### Applicant

N/A

#### Public Hearing

Yes  No

#### Summary

The City of Mebane Planning Board has three (3) openings for appointments beginning July 1, 2021. Mr. Thomas Vinson's seat is also available, as he resigned earlier this year. All appointment terms last four (4) years.

The three incumbents – Kurt Pearson (99 New Castle Road), Judy Taylor (305 North Wilba Road), and Edward Tulauskas (203 Oak Forest Court) – are all requesting reappointment. No other applications were received for these four openings. The qualifications of all Planning Board nominees are detailed in the attached applications. The City Council may appoint these Planning Board members directly.

#### Financial Impact

N/A

#### Recommendation

Staff recommends that the Council make appointments for the three City positions at its discretion. Staff recommends that it resolve to Mr. Pearson, Ms. Taylor, and Mr. Tulauskas to be reappointed to his City seat on the Planning Board.

#### Suggested Motion

A motion to reappoint Kurt Pearson, Judy Taylor, and Edward Tulauskas to the City of Mebane Planning Board, recognizing their qualifications, experience, and dedication to serving the planning and land use needs of the City of Mebane.

#### Attachments

1. Applications from all candidates for the Planning Board positions.



**City of Mebane**  
Boards and Commissions Application

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely. Return this application either in person, by mail, or by fax to the Mebane Municipal Building, 106 East Washington Street, Mebane, NC 27302, Fax (919) 563-9506.

**Personal Information**

Name: Kurt Pearson  
Home Address: 99 New Castle Rd Mebane NC 27302  
Mailing Address (if different): N/A  
Home Phone: 919-568-8234 Business Phone: 336-214-3427  
Do you live inside the Mebane City Limits? Yes X No \_\_\_\_\_  
In Alamance or Orange County? Alamance

**Board Preference**

Are you currently serving on a board or commission of the City of Mebane? Yes X No \_\_\_\_\_  
If so, which one(s)? Planning Board

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Planning Board

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I feel that I bring a lot of planning experience (and education) to the table. I have enjoyed being on the board and volunteering my time to try to get better plans that end up in front of the City Council for consideration.

**Education**

Please list your educational background. Include name of all schools attended:

B.A. UNC Chapel Hill : Geography  
M.A. UNC Greensboro : Geography w/ concentration on Planning

**Employment**

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Self employed. Own Real estate firm

Address: "Keep the Green Realty"  
99 New Castle Rd.

Title and Duties:  
Owner, Realtor  
I also co-own Pearson Appraisals with my  
wife (Christina) who is NC Certified Residential  
Appraiser.

**Civic Involvement**

Please list the names of all civic organizations in which you currently hold membership:

- Member of First Baptist Church Mebane
- Guardian ad-Litem - Alamance County
- School Volunteer

**Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.**

*Thanks!*  
*Kent E. Pearson*





## City of Mebane Boards and Commissions Application

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### **Personal Information**

Name: Judy Taylor

Home Address: 305 N Wilba Road Mebane

Mailing Address (if different): \_\_\_\_\_

Email Address: judy@taylorharriscpa.com

Home Phone: 336-269-1019 Business Phone: \_\_\_\_\_

Do you live inside the Mebane City Limits? Yes  No

In Alamance or Orange County? Alamance

### **Board Preference**

Are you currently serving on a board or commission of the City of Mebane? Yes  No  If so, which one(s)? Planning

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Planning

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

Serving on the Planning Board gives me the opportunity to help shape my community. As Mebane grows I feel it is important to do my part to keep our small town atmosphere but allow for economic and quality of life improvements. I believe this is a pivotal time for Mebane as we look to making changes to our Development Ordinance and I would like to continue having a voice in decision making around this process. I feel my 15+ years of experience with the Board will allow me to add valuable input.

**Education**

Please list your educational background. Include name of all schools attended:

UNC-Chapel Hill Bachelor of Science 1992

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UNC-Chapel Hill Master of Accounting 1995

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**Employment**

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Taylor & Harris, PLLC

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Address: PO Box 677 Mebane NC

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Title and Duties:

Managing Member, CPA

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**Civic Involvement**

Please list the names of all civic organizations in which you currently hold membership:

Mebane Woman's Club

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Mebane on the Move planning committee

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NC Assoc of CPAs

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**Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.**



## City of Mebane Boards and Commissions Application

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely. Return this application either in person, by mail, or by fax to the Mebane Municipal Building, 106 East Washington Street, Mebane, NC 27302, Fax (919) 563-9506.

### Personal Information

Name: ED TULAUSIKAS

Home Address: 203 OAK FOREST CT, MEBANE NC

Mailing Address (if different): \_\_\_\_\_

Home Phone: 336-684-8085 Business Phone: 336-684-8085

Do you live inside the Mebane City Limits? Yes  No

In Alamance or Orange County? ALAMANCE

### Board Preference

Are you currently serving on a board or commission of the City of Mebane? Yes  No

If so, which one(s)? PLANNING BOARD

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): PLANNING BOARD

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

MAKE AN IMPACT IN THE COMMUNITY

### Education

Please list your educational background. Include name of all schools attended:

COMPUTER ENGINEERING, BS (CLEMSON UNIV)

ELECTRICAL ENGINEERING, BS (CLEMSON UNIV)

**Employment**

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: LAG CORP

Address: 5450 MILLSTREAM BLVD, MC LEANSVILLE, NC 27301

Title and Duties:  
ANALYTICS MANAGER

**Civic Involvement**

Please list the names of all civic organizations in which you currently hold membership:

YMCA (BOARD OF DIRECTORS)

**Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.**



## AGENDA ITEM #10

### Planning Board Extraterritorial Jurisdiction (ETJ) Recommendation

#### Presenter

Cy Stober, Development Director

#### Applicant

N/A

#### Public Hearing

Yes  No

#### Summary

The City of Mebane Planning Board has one (1) opening for representation of the Alamance County extraterritorial jurisdiction (ETJ) appointments beginning July 1, 2021. Any representative of the City's ETJ must be formally appointed by the county in which they reside. The City Council may resolve to request the appointment of these positions. All appointment terms last four (4) years.

The two positions currently representing the Alamance County ETJ are currently held by Gale Pettiford (2070 NC Hwy 119 North) and Larry Teague (4026 Forest Oaks Lane). Mr. Teague's position expired July 1, and he is requesting reappointment. The City also received eligible applications from Roger A. James (363 Gibson Road) and Jonathan Mark Webster (1603 Meadowood Lane) for this recommendation of appointment by the Alamance County Board of Commissioners.

#### Financial Impact

N/A

#### Recommendation

Staff recommends that the Council make the recommendation for Alamance County ETJ appointments by the Board of Commissioners at its discretion. Staff recommends that it resolve to recommend the appointment of Mr. Teague to represent the Alamance County ETJ.

#### Suggested Motion

A motion of resolution requesting the at the Orange County Commissioners appoint Larry Teague of 4026 Forest Oaks Lane to the City of Mebane Planning Board representing the Alamance County extraterritorial jurisdictional area of the City of Mebane.

#### Attachments

1. Applications from all candidates for the Alamance County ETJ Planning Board position.





## City of Mebane Boards and Commissions Application

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely. Return this application either in person, by mail, or by fax to the Mebane Municipal Building, 106 East Washington Street, Mebane, NC 27302, Fax (919) 563-9506.

### **Personal Information**

Name: Roger A James

Home Address: 363 Gibson Road Mebane, NC 27302

Mailing Address (if different): PO Box 212 Mebane, NC 27302

Home Phone: (919) 422-6486 Business Phone: (919) 422-6486

Do you live inside the Mebane City Limits? Yes \_\_\_\_\_ No X \_\_\_\_\_

In Alamance or Orange County? Alamance

### **Board Preference**

Are you currently serving on a board or commission of the City of Mebane? Yes \_\_\_\_\_ No X \_\_\_\_\_  
If so, which one(s)? \_\_\_\_\_

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): I would like to apply for the planning board.

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

~~I have lived in and around this community all of my life and my family has been in this area for many years. I understand that growth is required and positive. But growth has to be guided carefully. And the planning are a great place to help guide that path. I understand the development process and the business aspect of growth and would love to be a part of Mebane's future.~~

### **Education**

Please list your educational background. Include name of all schools attended:

UNC-Chapel Hill 1990-1993 Business & Psychology

**Employment**

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Con-Mech Contractors, Inc

Address: 822 East Hanover Road Graham, NC 27253

Title and Duties:  
Senior Project Manager, Estimation Review, President

**Civic Involvement**

Please list the names of all civic organizations in which you currently hold membership:

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**Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.**



# City of Mebane

## Boards and Commissions Application

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely. Return this application either in person, by mail, or by fax to the Mebane Municipal Building, 106 East Washington Street, Mebane, NC 27302, Fax (919) 563-9506.

### Personal Information

Name: Larry Teague

Home Address: 4026 Forest Oaks Lane, Mebane NC 27302

Mailing Address (if different): \_\_\_\_\_

Email Address: lteague445@gmail.com

Home Phone: 336-263-1122 Business Phone: \_\_\_\_\_

Do you live inside the Mebane City Limits? Yes  No

In Alamance or Orange County? Alamance

### Board Preference

Are you currently serving on a board or commission of the City of Mebane? Yes  No  If so, which one(s)? Planning; Volunteer - Mebane Train Group

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Planning Board

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

Consider it an honor to represent the ETJ residents of Mebane.

Having just completed my first four year appointment, would appreciate continuing to advise City council about planning for Mebane's future.

Found the experience very satisfying and enlightening.

Proud of the accomplishment that the Planning Board and City Council have made in the last four years.

**Education**

Please list your educational background. Include name of all schools attended:  
Walter Williams High School, Elon University, East Carolina University - B.S. ; MAED.

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**Employment**

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Retired

Address: \_\_\_\_\_

Title and Duties:  
\_\_\_\_\_  
\_\_\_\_\_

**Civic Involvement**

Please list the names of all civic organizations in which you currently hold membership:

None at this time  
Planning Board Member  
Mebane TRADITION Member  
Georgetown Presbyterian Church Elder

**Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.**



## City of Mebane Boards and Commissions Application

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely. Return this application either in person, by mail, or by fax to the Mebane Municipal Building, 106 East Washington Street, Mebane, NC 27302, Fax (919) 563-9506.

### **Personal Information**

Name: Jonathan Mark Webster

Home Address: 1603 Meadowood Lane

Mailing Address (if different): \_\_\_\_\_

Email Address: jwebster@jonwebsterinsurance.com

Home Phone: 919-563-1800 Business Phone: 336-214-4631

Do you live inside the Mebane City Limits? Yes  No

In Alamance or Orange County? Alamance

### **Board Preference**

Are you currently serving on a board or commission of the City of Mebane? Yes  No  If so, which one(s)? Hall of Fame Committee for Mebane Rec.

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Mebane Planning Board

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

See attached

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**Education**

Please list your educational background. Include name of all schools attended:  
Alamance Christian School - '81 Graduate

Bob Jones University - '85 Graduate with BA in Church Administration

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**Employment**

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Self Employed & Sports Endeavors

Address: 1410 Corporate Pkwy Mebane

Title and Duties:

Customer fulfillment in various depts.

Lawn care business & owner of Insurance agency

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**Civic Involvement**

Please list the names of all civic organizations in which you currently hold membership:

Elder in my church

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**Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.**

Having lived all but 8 of my 58 years in Mebane I have experienced my town as a typical small blue collar (Kingsdown, Craftique, GE, White Furniture, etc) town where you knew most of the families via church, school, sports, neighborhoods, etc. Over the last couple of decades my experience has changed a bit as Mebane has become a magnet for a more diverse group of people seeking small town ethics and pace of life, yet possessing some amenities of a larger city (Chick-fil-A, Tanger, luxury apartments, parks, etc.). Therein, I think, lies the challenge of the Mebane City Council with the advisory council of the Planning Board. Listening to diverse peoples, whether residents or entrepreneurs, to grow our town in a way that is in keeping with our culture and our resources. Managing the resources of our town to best meet primary needs (utility services, taxes, jobs, police/fire, land utilization, etc.), and meet as many secondary needs as resources allow. With the Planning Board on the front lines of Mebane's evolution the stakes are high and the responsibilities even higher. That is why I think it is important to know where Mebane has evolved from in order to preserve the bedrock principles of the Golden Rule that has guided Mebane to becoming the premier community between the Triad and the Triangle. To serve my town in this capacity would be a highlight in my life-long love of the town of Mebane. A love passed on to my children as 3 of my 5 live in Mebane, as well as 10 of my 11 grandchildren reside here too. All of which gives me a broader vested interest in where Mebane goes in the next generation.

## Mebane Fire Dept. Monthly Report

	May	Year to Date	% Change from 2020
<b>Structural Response</b>			
<b>Totals</b>	<b>27</b>	<b>151</b>	<b>74%</b>
<b>Average Personnel Per Response</b>	<b>11</b>	<b>11</b>	
<b>Average Volunteer Response</b>	<b>3</b>	<b>3</b>	
<b>Non Structural Responses</b>			
<b>Totals</b>	<b>72</b>	<b>302</b>	<b>13%</b>
<b>Total Fire Response</b>	<b>99</b>	<b>453</b>	<b>28%</b>
<b>Location (Year to Date)</b>	<b>North</b>	<b>South</b>	
<b>Total Number/Percentage</b>	<b>213/47%</b>	<b>240/53%</b>	
<b>Average Fire Response Time</b>	<b>North 4:49</b>	<b>South 5:31</b>	
<b>Percentage of Calls Inside City</b>	<b>60%</b>	<b>57%</b>	
<b>Percentage of Calls Outside City</b>	<b>27%</b>	<b>29%</b>	
<b>Percentage of Calls for Mutual Aid</b>	<b>13%</b>	<b>14%</b>	
<b>EMT Response</b>	<b>142</b>	<b>695</b>	<b>2%</b>
<b>Location (Year to Date)</b>	<b>North</b>	<b>South</b>	
<b>Total Number/ Percentage</b>	<b>328/47%</b>	<b>367/53%</b>	
<b>CPS Seats Checked</b>	<b>16</b>	<b>53</b>	
<b>Views on Fire Safety Facebook Posts</b>	<b>132</b>	<b>1371</b>	
<b>Smoke Alarms Checked/Installed</b>	<b>1</b>	<b>27</b>	
<b>Station Tours/Programs</b>	<b>0</b>	<b>1</b>	
<b># of Participants</b>	<b>250</b>	<b>332</b>	
<b>Events Conducted/Attended</b>	<b>3</b>	<b>5</b>	



**Planning Board  
Minutes to the Meeting**

June 14, 2021  
6:30 p.m.

The Planning Board meeting was held at the Glendel Stephenson Municipal Building located at 106 E. Washington Street, Mebane, NC 27302 and livestreamed via YouTube. The video can be accessed through the following link: <https://www.youtube.com/watch?v=Ol4qLH0bahM>

**Members Present:** Chairman Edward Tulauskas, Vice Chair Judy Taylor, Lori Oakley, Gale Pettiford, and Larry Teague.

**Also Present:** Audrey Vogel, Planner; Cy Stober, Development Director; Kirk Montgomery, IT Director

**1. Call to Order**

At 6:30 p.m. Chairman Edward Tulauskas called the meeting to order.

**2. Approval of April 12, 2021 Minutes**

Judy Taylor made a motion to approve the minutes from the April 12, 2021 meeting. Lori Oakley seconded the motion, which passed unanimously.

**3. City Council Actions Update**

Cy Stober, Development Director, provided an update on the City Council’s recent action at the May and June City Council meetings.

**4. Request for a Special Use Permit to allow a 195-foot monopole non-stealth telecommunications facility on a +/- 3.87-acre property zoned R-20 located at 4449 Landi Lane (PIN 9816764270) by Towercom IV-B, LLC, c/o George Davis, 5611 NC Hwy 55, Suite 201, Durham, NC 27713.**

Staff presented the above application from Towercom IV-B, LLC. Special Use Permit granted by City Council is required for this wireless support structure for the following reasons:

- Setbacks required by the underlying zoning must be reduced to accommodate the proposed wireless support structure
- it is a non-stealth wireless support structure proposed within 200 feet of a property line for any residential property.

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City’s adopted plans and recommends approval. The Technical Review Committee (TRC) has reviewed the site plan and the applicant has revised the plan to reflect the



comments. The applicant has an agreement to lease the property for this special use, pending approval of the City Council.

Cy Stober provided a brief overview and PowerPoint of the request.

Thomas Johnson of Williams Mullen, 301 Fayetteville Street, Raleigh, NC 27601 presented on the behalf of the applicant. He noted at the end of his presentation:

- the Tower would not injure surrounding property values, based on the analysis submitted with the application.
- the Tower would improve the welfare of the area by providing cell service; and
- The Tower is presumed to be in harmony with the surrounding zoning because it is a permitted use, by special use permit, in the Table of Permitted use Mebane Unified Development Ordinance

Following the presentation, Mr. Johnson answered questions from the Planning Board and community members in attendance.

Judy Taylor asked if the Tower or equipment generated any noise. Mr. Johnson answered that “there really isn’t any noise” and noted that a generator may be necessary in the event of a power outage.

Lori Oakley asked if the Tower would have a red light at the top. Mr. Johnson responded that the Tower will not have any lighting, as the FAA approval letter indicated it is not required for anything under 200’ tall.

Larry Teague asked about the potential for flooding in the area, noting the floodplain on the subject property, and how the design of the stream culverts shown on the drawings may impact the properties downstream of the site. Mr. Johnson responded that the Tower is not in the floodplain, and the engineer designed the site with the current flows in mind, with culverts big enough to take them into account. Larry Teague expressed concerns about future flows and the potential to force water onto the surrounding properties. Mr. Johnson responded that to his knowledge the engineer’s design will function appropriately to accommodate stormwater, and that the engineer has experience with designing tower sites across the country. Cy Stober noted that as in Engineer’s Memo provided in the packet, the stormwater has been reviewed by City Staff. Mr. Johnson noted that the Tower design does not exceed the maximum impervious surface coverage, and should the property be developed further, Towercom would be willing to help implement the required stormwater control measures for additional impervious surface coverage.

Chairman Ed Tulauskas asked if the Tower would have the technology to provide 5G service. Mr. Johnson confirmed that it would have 4G and eventually 5G service.





Chairman Ed Tulauskas indicated that at this time the Board would hear any written comments submitted to Staff to be read aloud.

Audrey Vogel read aloud the following written comment received via email from Patricia O'Connor, 1011 Squires 4416 Landi Lane:

*I have concerns about potential radiation exposure and health risks including cancer that may be associated with this tower. I have read up on it, but there are mixed reviews.*

*Will there be a fence or barrier around this tower?*

*I read that the chances of falling is very slim, but not guaranteed. So if the tower happens to fall, are there any buildings in the vicinity that would be hit or damaged? What about damage to any surrounding trees if they fall and need to be moved?*

*Who would be responsible for any and all damages?*

*Another concern is when there are storms in the area, how will it handle the storms and the lightning? Are there any concerns with it drawing more lightning to the area?*

*Another concern is how will having this tower affect selling property around it?*

*How will this affect the wildlife and their natural habitat? Some trees were cleared out several years ago, and the wildlife was forced to move and now they are more in the residential areas.*

*If this tower is for the Mill Creek area, then shouldn't the proposed area be in Mill Creek somewhere away from the homes so that it would not be a potential threat to them?*

*As you can see, I have concerns with having this tower in the area. If we were to put it to a vote, my vote would be no.*

Mr. Johnson responded to Ms. Paylor's questions, noting the following:

- The Tower will have fencing around the compound area
- If any damage were to occur, Towercom would be total responsible. In the event that there was a failure, it would be a bending of the Tower and it would stay within 80 ft on the Tower property itself.
- The Tower will have a lightning rod and a grounding system
- Michael Berkowitz, appraiser, performed an analysis and found that the Tower will not adversely affect the adjoining property values
- The State, Federal, and Local (Mebane Ordinance) specifically acknowledge that radiation emissions from the site are regulated by the Federal Communications Commission and have



to be very low, and as such cannot be a consideration for this Board. They are deemed safe because they operate within those FCC guidelines

- The Tower compound takes up very little space, and the site has been designed with landscaping and buffering that should minimize any impact on wildlife habitat.
- The Tower is for everyone in the area to have reliable service as shown on the coverage map, not just the residents of Mill Creek, although named after the subdivision.

Chairman Ed Tulauskas indicated that at this time the Board would hear any questions or comments from the public.

Curtis Bryant, 4356 Landi Lane, commented that Ms. Paylor covered most of his questions, and asked how far the Tower would be from the street. Mr. Johnson responded that the Tower would be located in the back corner of the property and 396 feet from the right of way. Mr. Bryant also asked about impacts on the stream. Mr. Johnson responded that the site would meet all of the stringent requirements in the Watershed. Mr. Bryant asked why they chose the location on Landi Ln, noting that the Cates Farm area by the 119 Bypass would be better. Mr. Johnson responded that they chose an area that would provide optimum coverage, placing a tower too close to another tower area does not provide optimum coverage and that much of the area surrounding the bypass is owned by NCDOT.

Arthur Holt, 1714 Landi Lane, asked about the distance of the Tower to the nearest home. Mr. Johnson responded that the Ordinance requires the distance to be double the tower height. Mr. Holt responded that he wanted to know the actual distance from the nearest home, not the ordinance requirement. Mr. Johnson responded that it is greater than 398 feet but did not have the exact distance. Mr. Holt expressed concerns about radio waves from the Tower being so close to his home and family. Mr. Holt commented that if the Tower meets the minimum requirements, then those requirements are not sufficient, and the Applicant and Planning board would not want a tower like this in their backyards. Mr. Holt added that despite the real estate appraisal analysis, people will not want to move to an area within such close vicinity to a tower.

Mr. Bryant asked the Board if Ms. Lydia Paylor's and Mr. Arthur Holt's concerns would be considered. Chairman Ed Tulauskas responded that their concerns are being recorded and will be shared with the Mebane City Council that will ultimately vote on the request.

Gale Pettiford expressed concern over stormwater, noting that as a resident of the area, it is already an issue. She asked to hear more about how the stormwater on the Tower site will be routed and how it will impact surrounding property owners. Mr. Johnson responded that the site has been engineered to handle the water flow at the location of the tower – two 36' pipes – to allow the water to flow naturally without restriction. He noted that he cannot speak directly on water flow in locations beyond the site. Cy Stober added that City Staff does look downstream, and concerns regarding offsite



stormwater were accounted for in TRC comments. He explained the stormwater calculation and reporting process and noted that staff is required to look at the 1-year storm, and often looks at the 10- or 100-year storm as well to try and accommodate for higher intensity. Mr. Johnson added that the project has to meet the same stormwater requirements as any other development project and is designed so that it does not change the stormwater.

Ms. Pettiford asked if the surrounding neighbors would be able to contact Towercom if an issue arises. Mr. Johnson noted that the contact information would be posted on site. Robin Clement, a representative of Towercom, added that calls would come straight to her at her office in Durham, NC. Ms. Pettiford asked who will be maintain the property and landscaping. Mr. Johnson responded that it will be maintained by Towercom, and residents with any concerns about landscaping or maintenance in general can call the number provided on site.

Mr. Bryant asked why Cates Farm was not considered for the Tower instead of Landi Lane, a Black neighborhood. Mr. Johnson explained the factors considered in selecting the site, including a willing property owner, coverage area, and topography, noting that the residents in the area were not considered as a factor.

Lori Oakley addressed the public in attendance, commenting that during her career as a planner, telecommunications towers have consistently been topics of passionate discussion. Ms. Oakley acknowledged the neighbors' concerns about the Tower but noted that towers are carefully regulated by the FCC, Telecommunications Act and Mebane UDO and the request meets these requirements.

Lori Oakley made a motion to approve special use request for 199'-tall non-stealth wireless communication facility as presented and motioned to find that the request is both reasonable and in the public interest because it meets the following four findings:

- a. Will not materially endanger the public health or safety;
- b. Will not substantially injure the value of adjoining or abutting property;
- c. Will be in harmony with the area in which it is located; and
- d. Will be consistent with the objectives and goals in the City's adopted plans.

Judy Taylor seconded the motion, and the motion passed (4-1). Chairman Tulauskas confirmed that the request will go before the Mebane City Council in July. Cy added that the July City Council meeting will be delayed one week due to the July 4<sup>th</sup> Holiday, and that the hearing would be on July 12<sup>th</sup> at 6 p.m.. Mr. Stober added that it would be a quasi-judicial hearing requiring sworn testimony.



- 5. Request to Request to establish R-8(CD) zoning on three (3) properties totaling +/- 25.58 acres located at 900, 1002 & 1010 Ben Wilson Road (PINs 9824434841, 9824435349 & 9824435147) outside of the Extra-Territorial Jurisdiction (ETJ) in Orange County for a residential townhome development of 162 homes by Ben Wilson Rd, LLC, c/o James Parker, Jr., 320 Executive Court, Hillsborough, NC 27278**

Staff presented the above application from Ben Wilson Rd, LLC. The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval. The Technical Review Committee (TRC) has reviewed the site plan and the applicant has revised the plan to reflect the comments.

The proposed onsite amenities & dedications include the following:

- The construction of all internal roads with 5' sidewalks.
- The construction of an amenity center, dog park, playground, and greenspace to exclusively serve development residents to be maintained by the HOA. In total, the site plan features 1.7 acres of active recreation space and 10.44 acres of passive HOA owned open space.
- +/- 3,446 linear feet of a variable 8'-10'-wide asphalt multiuse path through the development and along the frontage of the northern portion of the site on Ben Wilson Road.

Requested waivers:

- 20' front setback, UDO requires 30'
- 15' rear setback, UDO requires 20'
- 8' side setback, UDO requires 15'
- 2 parking spaces per 3-bedroom home, UDO 2.5 parking spaces per 3-bedroom home
- Lot area and width as presented

Audrey Vogel provided a brief overview and PowerPoint of the request.

Tim Smith, Senior Project Manager at Summit Design and Engineering Services, 320 Executive Court, Hillsborough, NC 27278 provided a presentation of the request and site plan. During his presentation, Mr. Smith described a series of building commitments and proposed elevations for the home products.

Larry Teague asked about the garage sizes and street parking. Mr. Smith replied that there could be one or two car garages, and they are not proposing any street parking per the street design on the plans. Cy Stober added clarification that the city does not regulate on street parking unless petitioned through the parking restriction policy, so unless otherwise noted, on street parking is allowed.



Lori Oakley asked Tim to elaborate how the plans could accommodate two-car garages, noting that the driveways shown could only accommodate a one-car garage with one driveway parking space. Tim Smith replied that it may be something they need to address with the final elevations for the units, and in order to accommodate a two-car garage, the driveway would need flare out, but as currently shown the plans only allow two spaces per unit.

Larry Teague asked about the number of entrances to site, turn lanes and the flow of traffic south from the subdivision towards Bowman Road. Tim Smith responded that per the Traffic Impact Analysis (TIA), a southbound left turn lane on Ben Wilson Road would be provided as shown on the plans. Mr. Smith added that the TIA indicated that the majority of trips would be coming south from the interstate along Ben Wilson Rd. Mr. Teague responded that he did not agree with the traffic study, noting that the traffic in that area is terrible and folks are likely to take Bowman Rd to avoid traffic on Mebane Oaks Road.

Larry Teague commented that he liked the layout of the site plan but was not pleased with the waivers being requested. Mr. Teague asked Tim Smith to elaborate on why waivers were required for townhomes as he noted in his presentation. Tim Smith responded that the lot width and dimensions in the ordinance do not accommodate typical townhome unit layouts. Lori Oakley chimed in that she would like this to be addressed in future UDO revisions. Cy Stober clarified that the UDO essentially treats townhomes the same as single-family homes, and acknowledged the conflict it creates (for setbacks, etc.).

Larry Teague asked Tim Smooth about stormwater controls on site, noting a history of flooding from Haw Creek in the area. Mr. Smith responded that they worked with City Staff to ensure that the ponds meet stormwater requirements, noting that the City has extensive requirements and review procedures for stormwater.

Lori Oakley asked if any consideration was given to R-12 CD zoning to align with the developments across the street. Tim Smith responded that it had been considered, but that R-8 CD better aligned with the developer's project needs.

Lori Oakley expressed concern about the waiver being requested for parking spaces, noting the project has a deficit of 62 spaces and the layout does not provide any parking for guests. Lori added that is apparent the developer wants to get as many homes as possible on the site with the R-8 CD zoning. Ms. Oakley recalled townhome developments in Hillsborough that provide sufficient on street parking pockets for guests, commenting that the Meadowstone site plan is lacking that kind of parking – for friends, guests, in-laws, visitors, teenagers, etc. Ms. Oakley added that she did not take issue with any of the lot dimension/setback waivers but was concerned about parking.





Judy Taylor asked about the market price point for the townhomes. Mr. Smith responded that he was not clear on the price point and would need to ask the developer. Cy Stober added that the townhomes at the Meadows across the street are priced between \$225,000 and \$250,00 by Capitol City Homes. Cy added that the elevation shown in Tim Smith's presentation is identical to one of the Capitol City Homes townhome elevations at the Meadows.

Tom Boney of Alamance News asked why the zoning requested for the Meadowstone Townhomes was different from the Zoning at the Meadows Townhomes across the street if the same home products are being proposed. Cy Stober clarified that the Meadows was approved as a planned unit development with mixed housing types – primarily single detached family residential, with 55 townhomes.

Lori Oakley made a motion to deny the request to establish R-8 CD zoning as presented, for the reason that the R-8 zoning is a more intense density which is less appropriate on the periphery of the City and secondly does not meet the parking requirements of the UDO and does not provide adequate parking for each lot. Judy Taylor seconded the motion. Chairman Tulauskas confirmed that the motion to deny passed unanimously (5-0) and the request would go before the Mebane City Council on July 12 at 6 p.m.

## **6. New Business**

- (a) Cy Stober shared that Staff will be having the revised copies of the UDO, per the adopted 160-d amendments, printed and distributed to Planning Board upon request.
- (b) Cy Stober informed the Board that the application deadline for the five open Planning Board positions, including Mr. Vinson's vacant seat, will be Friday June 18<sup>th</sup>. Positions will be appointed at the July 12 City Council meeting. He noted that there is one ETJ position open that will require appointment from the Alamance County Board of Commissioners on July 19<sup>th</sup>.
- (c) Cy Stober reminded the Board that the July Planning Board meeting would be held on the 19<sup>th</sup> due to the July 4<sup>th</sup> Holiday.
- (d) Cy Stober noted that the City has been working on a new website, which is currently under internal review.

## **7. Adjournment**

There being no further business, the meeting was adjourned at 8:10 p.m.