



Council Meeting Agenda
July 11, 2022
6:00PM

1. Call to Order.....Mayor Ed Hooks
2. InvocationPastor Jeremy Pollard, Summit Church
3. Public CommentsMayor
4. Consent Agenda.....Mayor
 - a. Approval of Minutes- June 6, 2022- Regular Meeting
 - b. Final Plat Reapproval- Cambridge Park, Ph. 2C
 - c. Petition for Voluntary Contiguous Annexation- Stagecoach Corner
 - d. Financing Proposal for Rolling Stock
 - e. Micro-purchase Resolution
5. Code of Ordinance Amendment- Backyard Hens
(continued from June 6, 2022 meeting)Lawson Brown, City Attorney
6. Public Hearings-
 - a. *Quasi-Judicial* - Special Use Permit-
Trollingwood-Hawfields 5G Tower Ashley Ownbey, Interim Development Director
 - b. Conditional Rezoning- Summit Church Audrey Vogel, Planner
 - c. Conditional Rezoning- Potters Mill Townhomes..... Ms. Ownbey
 - d. Conditional Rezoning- N. First Street Townhomes Ms. Ownbey
 - e. Text Amendment to the Unified Development Ordinance (UDO)
Articles 3 and 4 *(continued from June 6, 2022 meeting)* Ms. Ownbey
7. Mebane Main Street Program Board of Directors
Ex officio Appointments
(continued from June 6, 2022 meeting) Preston Mitchell, Assistant City Manager
Lawson Brown, City Attorney
8. Volunteer Firefighter Pay Increase Chris Rollins, City Manager
9. Adjournment.....Mayor



AGENDA ITEM #4B

SUB 22-07

Final Subdivision Plat
Cambridge Park, Phase 2C

REAPPROVAL

Presenter

Ashley Ownbey, Interim Development Director

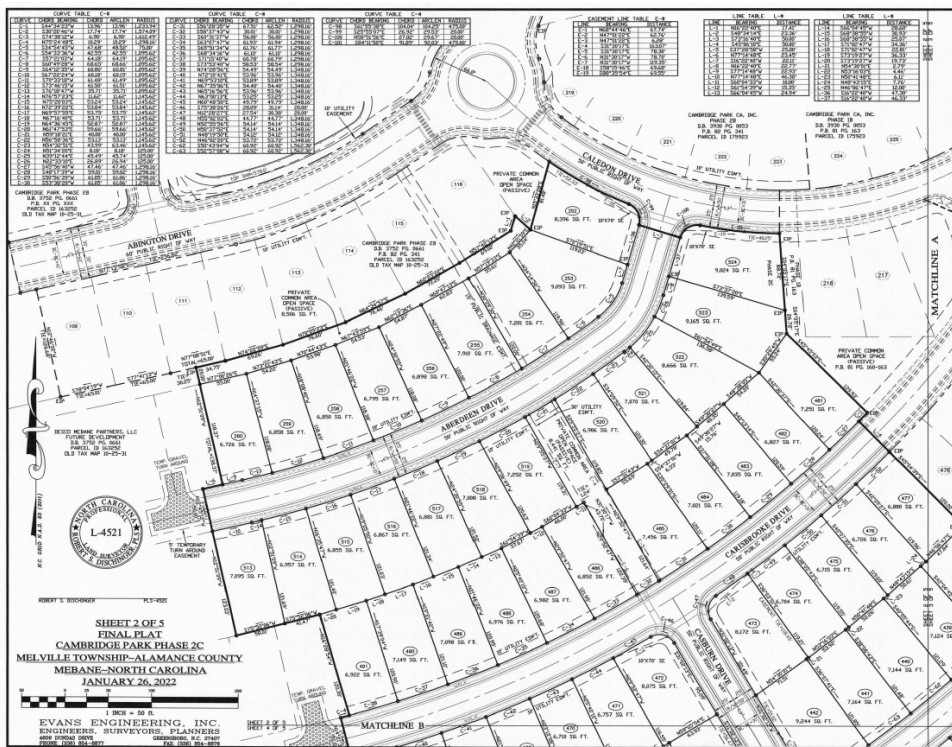
Applicant

Desco Mebane Partners, LLC
600 Market Street
Suite 206
Chapel Hill, NC 27516

Public Hearing

Yes No

Final Plat



Property

Cambridge Park,
Alamance County

GPIN
9813351154

Proposed Zoning

N/A

Current Zoning

R-12

Size

+/-17.133 acres

Surrounding Zoning

R-12 & not zoned
(Alamance County)

Surrounding Land Uses

Residential, Mobile
Home Park, Vacant

Utilities

Extended at
developer's expense.

Floodplain

No

Watershed

No

City Limits

Yes

Summary

Desco Mebane Partners, LLC, is requesting approval of the Final Plat for Phase 2C of the Cambridge Park Subdivision (approved for rezoning and special use as a cluster subdivision by City Council 01/08/18). The Final Plat will include a total area of +/-17.133 acres featuring 81 single-family lots of +/-13.170 acres, +/-0.583 acres of open space, and +/-3.380 acres and +/-2,962.12 linear feet of dedicated right of way.

The Technical Review Committee (TRC) has reviewed the Final Plat and the applicant has revised the plan to reflect comments. All infrastructure must be completed and approved to meet the City of Mebane specifications. All infrastructure not completed shall be bonded or a letter of credit provided prior to recordation. This includes the pond to be built in the future, as shown on the final sheet, and is a City requirement on the approved construction documents. The Jones Drive turn lane is bonded with the NC Department of Transportation and shall be required to be constructed prior to approval of the subdivision plat for the Phase 3 lots.

This major subdivision plat was originally approved by the City Council at its April 4, 2022, meeting.

Financial Impact

The developer has extended utilities at his own expense.

Recommendation

Staff recommends approval of the Final Plat.

Suggested Motion

Motion to approve the final plat as presented.

Attachments

1. Final Plat

B. Certificate of Ownership and Dedication (For Use with Major Subdivision Plats Only)

This certifies that the undersigned is (are) the owner(s) of the property shown on this map, having acquired title to it by deed(s) recorded in the Alamance/Orange County, North Carolina Register of Deeds otherwise as shown below and that by submission of this plat or map for approval, I/we do dedicate to the City of Mebane for public use all streets, easements, rights-of-way and parks shown thereon for all lawful purposes to which the City may devote or allow the same to be used and upon acceptance thereof and in accordance with all city policies, ordinances and regulations or conditions of the City of Mebane for the benefit of the public, this dedication shall be irrevocable. Also, all private streets shown on this map, if any, are to be available for public use.

Provided, however, the 'Common Elements' shown hereon expressly are not dedicated hereby for use by the general public, but are to be conveyed by Desco Mebane Partners, LLC to Cambridge Park Homeowners Association, Inc. for the use and enjoyment of the members thereof pursuant to the terms of that certain Declaration of Covenants, Conditions and Restrictions for Cambridge Park recorded in Book 3927, Page(s) 0656-0718, ALAMANCE County Registry, the terms and provisions of which are incorporated herein by this reference.

Desco Mebane Partners, LLC by the recardation of this Plat, hereby gives, grants and conveys to a Utility and the City of Mebane, their respective successors and assigns, rights-of-way and easements to maintain and service their respective wires, lines, conduits, and pipes in their present locations within the 'Common Elements' as shown hereon together with the right of ingress and egress over and upon said 'Common Elements' for the purpose of maintaining and servicing wires, lines, conduits, and pipes.

Owner _____ Date _____

G.S. 10B-41 NOTARIAL CERTIFICATE FOR ACKNOWLEDGMENT

_____ County, North Carolina

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that he or she signed the foregoing document:

Name(s) of principal(s) _____

Date: _____
(Official Seal)

Official Signature of Notary _____

Notary's printed name _____ Notary public

My commission expires: _____

REVIEW OFFICER CERTIFICATION

I, _____ Review Officer of Alamance County, certify that this map or plat to which the certification is affixed meets all statutory requirements for recording.

Review Officer _____ Date _____

I, _____ the City Clerk of Mebane, North Carolina, do certify that the City of Mebane approved this plat or map and accepted the dedication of the streets, easements, rights-of-way and public parks shown thereon, but assumes no responsibility to open or maintain the same, until in the opinion of the City Council of the City of Mebane it is in the public interest to do so.

City Clerk _____ Date _____

Certificate of Survey Accuracy

I, Robert S. Dischinger, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book 3252, Page 661) that the boundaries not surveyed are clearly indicated as drawn from information found in Book SEE PAGE MAP that the ratio of precision as calculated is 1/21,995; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration number and seal this 26 day of JANUARY, 2022.

(1) a. this survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land.

ROBERT S. DISCHINGER PLS-4521



SURVEYORS NOTES:

1. AREA IS DETERMINED BY LEAST SQUARES METHOD.
2. BOUNDARY LINES NOT SURVEYED ARE SHOWN DASHED.
3. THIS SURVEY IS OF AN ACTUAL FIELD SURVEY HAVING AN ERROR OF LESS THAN 1/21,995' D.M., D.Y., P.M.
4. ALL DISTANCES SHOWN HEREON ARE IN US SURVEY FEET UNLESS INDICATED OTHERWISE.
5. CITY OF MEBANE ZONING PUD-R-12 WITH ANNEXATION, PROPERTY ANNEXED 11-20-2017 PER PLAT BOOK 79 PAGE 41.
6. EVANS ENGINEERING HAS NOT PERFORMED ANY TITLE SEARCH.
7. TOTAL AREA= 238.424 ACRES MORE OR LESS.
8. THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, MAP 3710981300K PANEL 9813. PROPERTY IS IN ZONE AE AND ZONE X DATED NOVEMBER 17, 2017.
9. MAIL PICK-UP WILL BE PROVIDED AT THE PARKING AREA ADJACENT TO LOT 231.

DEVELOPMENT STANDARDS:

FRONT SETBACK.....20'(MIN. 25' TO GARAGE)
SIDE SETBACK.....15' AGGREGATE
REAR SETBACK.....15'
MAXIMUM BUILDING HEIGHT.....35'
CORNER LOT SIDE SETBACK.....13'

OVERALL SITE DATA:

PARCELS: PIN: 163252 & 163107
ADDRESS: CALEDON DRIVE
TOTAL ACREAGE= 238± ACRES
ZONING: PUD-R-12 WITH ANNEXATION
EXISTING USE: VACANT AND RESIDENTIAL
PROPOSED USE: RESIDENTIAL
ADJACENT ZONING: ALAMANCE COUNTY
DEED REFERENCES:
#175922 - DB 3752, PG 661-663

FLOOD INFORMATION

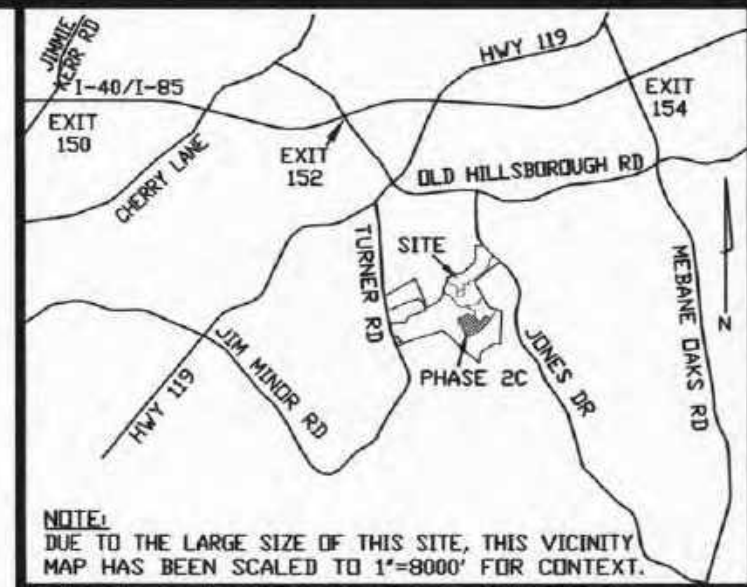
FLOOD PLAIN PER FIRM MAP #3710981300K PANEL #9813, DATED 11-17-2017

WATERSHED INFORMATION

WATERSHED: NONE (NPDES PHASE II RULES APPLY)
RIVER BASIN: CAPE FEAR (HAW CREEK, CLASS WS-V,NSW)
COORDINATES: LAT. 36.050746
LONG. -79.29087
SOILS: CnB2, CnC2, CnD2, IsB2, RvA, VtB, WtC
SEWER: PUBLIC
WATER: PUBLIC

PHASE 2C SITE DATA:

AREA = 17.133 ACRES
NUMBER OF LOTS = 81 LOTS
AREA IN LOTS=13.170 ACRES
LF OF STREETS = 2,962.12± LF
RIGHT OF WAY AREA=3,380 ACRES
PRIVATE COMMON AREA OPEN SPACE= 0.583 TOTAL ACRES



NOTE:
DUE TO THE LARGE SIZE OF THIS SITE, THIS VICINITY MAP HAS BEEN SCALED TO 1"=8000' FOR CONTEXT.

NOTE:

LINE TYPES AND LEGENDS ON THIS SHEET APPLY FOR SHEETS 1 OF 5 THROUGH 5 OF 5.

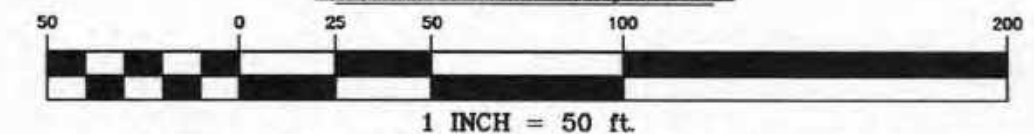
LEGEND:

- EXISTING LOT OF RECORD
- EXISTING RIGHT OF WAY
- PROPERTY LINE (NOT SURVEYED)
- EASEMENT
- PROPERTY LINE
- CENTERLINE
- CREEK

LEGEND:

- D.B. DEED BOOK
- P.B. PLAT BOOK
- PG. PAGE
- STONE
- NIP NEW IRON PIPE
- EIP EXISTING IRON PIPE
- △ ESM.T. EASEMENT
- SE. SIGHT EASEMENT
- B.C. BACK OF CURB
- BFE. BASE FLOOD ELEVATION

**SHEET 1 OF 5
FINAL PLAT
CAMBRIDGE PARK PHASE 2C
MELVILLE TOWNSHIP~ALAMANCE COUNTY
MEBANE~NORTH CAROLINA
JANUARY 26, 2022**



**EVANS ENGINEERING, INC.
ENGINEERS, SURVEYORS, PLANNERS**
4609 DUNDAS DRIVE GREENSBORO, N.C. 27407
PHONE: (336) 854-8877 FAX: (336) 854-8876
FIRM LICENSE C-0168

CURVE	CHORD BEARING	CHORD	ARCLN	RADIUS
C-1	S44°34'23"W	13.96'	13.96'	1,233.94'
C-2	S30°20'46"W	17.74'	17.74'	1,574.09'
C-3	S74°38'12"W	6.90'	6.90'	1,612.49'
C-4	N75°24'48"E	10.29'	10.29'	1,298.16'
C-5	S34°54'45"W	47.68'	48.52'	75.00'
C-6	S54°33'36"W	42.55'	42.55'	1,095.62'
C-7	S57°21'03"W	64.18'	64.19'	1,095.62'
C-8	S60°49'28"W	68.65'	68.66'	1,095.62'
C-9	S64°12'35"W	60.80'	60.81'	1,095.62'
C-10	S67°22'24"W	60.18'	60.19'	1,095.62'
C-11	S70°32'18"W	61.48'	61.49'	1,095.62'
C-12	S73°46'15"W	61.50'	61.51'	1,095.62'
C-13	S76°18'47"W	35.71'	35.71'	1,095.62'
C-14	N76°57'23"E	11.62'	11.62'	1,145.62'
C-15	N75°20'03"E	53.24'	53.24'	1,145.62'
C-16	N72°39'22"E	53.84'	53.84'	1,145.62'
C-17	N69°57'55"E	53.75'	53.75'	1,145.62'
C-18	N67°16'40"E	53.71'	53.71'	1,145.62'
C-19	N64°36'45"E	52.87'	52.87'	1,145.62'
C-20	N61°47'53"E	59.66'	59.66'	1,145.62'
C-21	N59°18'21"E	40.00'	40.00'	1,145.62'
C-22	N56°58'36"E	53.13'	53.13'	1,145.62'
C-23	N54°32'31"E	43.99'	43.99'	1,145.62'
C-24	N51°34'20"E	8.18'	8.18'	125.00'
C-25	N39°12'44"E	45.49'	45.74'	125.00'
C-26	N22°33'10"E	26.89'	26.94'	125.00'
C-27	S45°56'40"W	47.46'	47.46'	1,298.16'
C-28	S48°17'39"W	59.01'	59.02'	1,298.16'
C-29	S50°56'39"W	61.05'	61.06'	1,298.16'
C-30	S53°38'20"W	61.05'	61.06'	1,298.16'

CURVE	CHORD BEARING	CHORD	ARCLN	RADIUS
C-31	S56°28'35"W	67.51'	62.52'	1,298.16'
C-32	S58°37'43"W	30.01'	30.01'	1,298.16'
C-33	S60°31'37"W	56.00'	56.00'	1,298.16'
C-34	S63°07'47"W	61.93'	61.94'	1,298.16'
C-35	S65°51'34"W	61.76'	61.77'	1,298.16'
C-36	S68°34'16"W	61.10'	61.10'	1,298.16'
C-37	S71°15'40"W	60.78'	60.79'	1,298.16'
C-38	S73°53'40"W	58.53'	58.54'	1,298.16'
C-39	N74°28'56"E	54.49'	54.49'	1,348.16'
C-40	N72°10'41"E	53.96'	53.96'	1,348.16'
C-41	N69°53'10"E	53.89'	53.89'	1,348.16'
C-42	N67°35'06"E	54.40'	54.40'	1,348.16'
C-43	N65°16'56"E	53.96'	53.96'	1,348.16'
C-44	N63°00'13"E	53.25'	53.25'	1,348.16'
C-45	N60°48'50"E	49.79'	49.79'	1,348.16'
C-46	S75°38'26"E	28.09'	31.14'	20.00'
C-47	N12°28'27"E	27.54'	30.38'	20.00'
C-48	N55°02'03"E	44.77'	44.77'	1,348.16'
C-49	N52°55'56"E	54.14'	54.14'	1,348.16'
C-50	N50°37'52"E	54.14'	54.14'	1,348.16'
C-51	N48°19'50"E	54.12'	54.12'	1,348.16'
C-52	N46°02'20"E	53.72'	53.72'	1,348.16'
C-53	S50°43'04"W	60.92'	60.92'	1,562.30'
C-54	S52°57'08"W	60.92'	60.92'	1,562.30'

CURVE	CHORD BEARING	CHORD	ARCLN	RADIUS
C-98	S61°55'38"E	104.04'	104.25'	475.00'
C-99	S25°55'07"E	26.92'	29.53'	20.00'
C-100	N58°51'56"E	27.02'	29.67'	20.00'
C-101	S84°11'50"E	91.89'	92.03'	475.00'

EASEMENT LINE TABLE E-#	LINE	BEARING	DISTANCE
E-1	N68°44'46"E	67.74'	
E-2	N47°01'22"E	62.76'	
E-3	N47°01'22"E	6.28'	
E-4	S31°30'17"E	163.07'	
E-5	S31°30'17"E	78.30'	
E-6	N31°30'17"W	78.70'	
E-7	N31°30'17"W	119.35'	
E-18	S58°15'46"E	69.68'	
E-19	S88°35'54"E	69.55'	

LINE TABLE L-#	LINE	BEARING	DISTANCE
L-1	N16°22'40"E	17.41'	
L-2	S48°34'14"E	23.36'	
L-3	S73°16'40"E	50.00'	
L-4	S45°06'10"E	50.00'	
L-5	S37°28'58"W	25.00'	
L-6	N77°14'48"E	23.45'	
L-7	S16°22'40"W	22.11'	
L-8	N16°22'40"E	22.77'	
L-9	S77°14'48"W	22.93'	
L-10	N77°14'48"E	46.38'	
L-11	S60°04'33"W	10.00'	
L-12	S61°54'39"W	15.35'	
L-13	S66°04'45"W	24.94'	

LINE TABLE L-#	LINE	BEARING	DISTANCE
L-14	S66°04'45"W	29.60'	
L-15	S68°38'55"W	30.93'	
L-16	S68°38'55"W	25.07'	
L-17	S71°02'47"W	34.36'	
L-18	S71°02'47"W	22.81'	
L-19	S73°19'27"W	36.33'	
L-20	S73°19'27"W	19.73'	
L-21	N54°30'01"E	22.79'	
L-22	N53°16'03"E	4.46'	
L-23	N50°41'48"E	6.11'	
L-24	N48°43'15"E	7.76'	
L-25	N46°06'47"E	12.00'	
L-26	S16°22'40"W	47.30'	
L-27	S16°22'40"W	46.33'	



CAMBRIDGE PARK PHASE 2B
D.B. 3752 PG. 0661
P.B. XX PG. XXX
PARCEL ID 163252
OLD TAX MAP 10-25-31

DESCO MEBANE PARTNERS, LLC
FUTURE DEVELOPMENT
D.B. 3752 PG. 0661
PARCEL ID 163252
OLD TAX MAP 10-25-31



ROBERT S. DISCHINGER PLS-4521

SHEET 2 OF 5
FINAL PLAT
CAMBRIDGE PARK PHASE 2C
MELVILLE TOWNSHIP~ALAMANCE COUNTY
MEBANE~NORTH CAROLINA
JANUARY 26, 2022

1 INCH = 50 FT.

EVANS ENGINEERING, INC.
ENGINEERS, SURVEYORS, PLANNERS
4809 DUNDAS DRIVE GREENSBORO, N.C. 27407
PHONE: (336) 854-8877 FAX: (336) 854-8876

SHEET 2 OF 5
SHEET 3 OF 5
MATCHLINE A
MATCHLINE B

SHEET 3 OF 5
SHEET 3 OF 5

N.C.G.S. MONUMENT
"HAWFIELD"
N.A.D. 83 (2011)
GRID COORDINATES
AS PUBLISHED.
N=840,044.20'
E=1,909,650.81'

LINE TABLE L-#

LINE	BEARING	DISTANCE
L-5	S37°28'58"W	25.00'
L-24	N48°43'15"E	7.76'
L-25	N46°06'47"E	12.00'

PATRICIA Z. KENYON REVOCABLE TRUST
D.B. 3547 PG. 744
P.B. 77 PG. 336
SEE ALSO P.B. 62 PG. 198
SEE ALSO P.B. 45 PG. 163 LOT 1
PARCEL ID 173246
OLD TAX MAP 10-25-209

CAMBRIDGE PARK PHASE 1B
D.B. 3752 PG. 0661
P.B. 81 PG. 160
PARCEL ID 163252
OLD TAX MAP 10-25-31

DESCO MEBANE PARTNERS, LLC
FUTURE DEVELOPMENT
D.B. 3752 PG. 0661
PARCEL ID 163252
OLD TAX MAP 10-25-31

AXLE
N.A.D. 83 (2011)
GRID COORDINATES
N=835,311.3154'
E=1,914,395.9860'

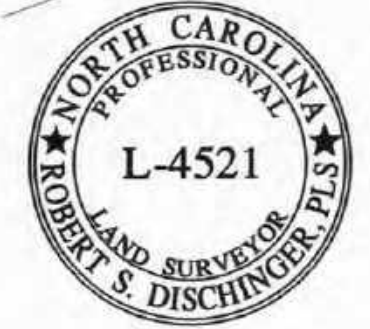
CURVE TABLE C-#

CURVE	CHORD BEARING	CHORD	ARCLEN	RADIUS
C-2	S30°20'46"W	17.74'	17.74'	1,574.09'
C-53	S31°27'58"W	43.24'	43.24'	1,562.30'
C-54	S33°22'38"W	60.98'	60.98'	1,562.30'
C-55	S36°14'51"W	61.64'	61.64'	1,562.30'
C-56	S37°34'46"W	45.38'	45.38'	1,562.30'
C-57	S39°31'49"W	60.99'	60.99'	1,562.30'
C-58	S41°46'01"W	60.99'	60.99'	1,562.30'
C-59	S44°00'15"W	61.00'	61.00'	1,562.30'
C-60	S46°14'42"W	61.19'	61.19'	1,562.30'
C-61	S48°29'02"W	60.91'	60.91'	1,562.30'
C-62	S50°43'04"W	60.92'	60.92'	1,562.30'
C-63	S52°57'08"W	60.92'	60.92'	1,562.30'
C-64	S55°11'37"W	61.31'	61.31'	1,562.30'
C-65	N77°21'37"E	28.93'	32.34'	20.00'
C-66	S14°18'42"W	28.46'	31.67'	20.00'
C-67	S75°42'27"E	28.12'	31.18'	20.00'
C-68	N12°42'46"E	27.66'	30.54'	20.00'
C-69	N55°45'07"E	40.07'	40.07'	1,612.30'
C-70	N54°04'40"E	54.14'	54.14'	1,612.30'
C-71	N52°09'07"E	54.24'	54.24'	1,612.30'
C-72	N50°13'28"E	54.23'	54.23'	1,612.30'
C-73	N48°17'50"E	54.22'	54.22'	1,612.30'
C-74	N46°22'24"E	54.05'	54.05'	1,612.30'
C-75	N44°27'01"E	54.17'	54.17'	1,612.30'
C-76	N42°31'32"E	54.16'	54.16'	1,612.30'
C-77	N40°33'13"E	56.82'	56.82'	1,612.30'
C-78	N38°28'50"E	59.84'	59.84'	1,612.30'
C-79	N36°58'22"E	25.00'	25.00'	1,612.30'
C-80	N35°34'24"E	53.77'	53.77'	1,612.30'
C-81	N33°37'22"E	56.00'	56.00'	1,612.30'
C-82	N31°39'02"E	55.00'	55.00'	1,612.30'

BRODIE CHARLES COVINGTON A/V
LYNN HARRIETT COVINGTON
D.B. 1426 PG. 364
PARCEL ID 163270
OLD TAX MAP 10-25-28A

BRODIE CHARLES COVINGTON A/V
LYNN HARRIETT COVINGTON
D.B. 1426 PG. 364
PARCEL ID 163270
OLD TAX MAP 10-25-28A

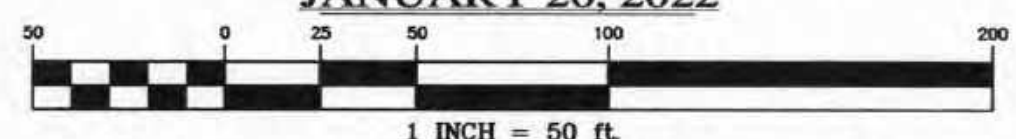
BY ACTION OF THE CITY OF MEBANE CITY COUNCIL ON 02/03/2021,
BURGESS DRIVE, S.R.#2205, 60' RIGHT OF WAY, D.B. 368 PG. 97
PROJECT 6.472098 HAS BEEN CLOSED FROM PROPERTY LINE TO
WESTERN TERMINUS OF ROAD AS SHOWN ON P.B. 79 PG. 41 AND 161.



DESCO MEBANE PARTNERS, LLC
FUTURE DEVELOPMENT
D.B. 3752 PG. 0661
PARCEL ID 163252
OLD TAX MAP 10-25-31

ROBERT S. DISCHINGER PLS-4521

SHEET 3 OF 5
FINAL PLAT
CAMBRIDGE PARK PHASE 2C
MELVILLE TOWNSHIP~ALAMANCE COUNTY
MEBANE~NORTH CAROLINA
JANUARY 26, 2022

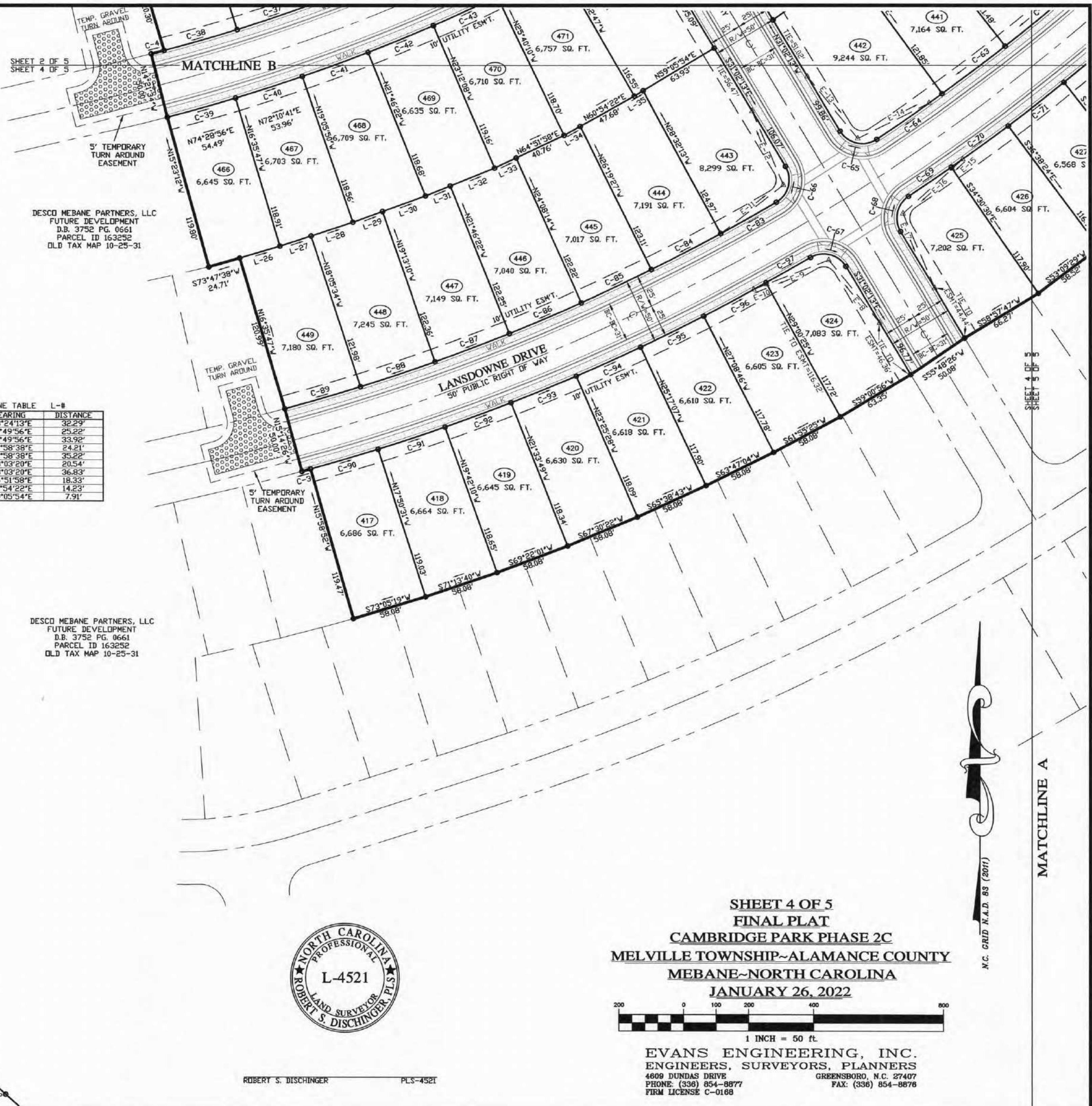


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PHONE: (336) 854-8877 FAX: (336) 854-8878
FIRM LICENSE C-0168

SHEET 3 OF 5
SHEET 5 OF 5

MATCHLINE B

SHEET 3 OF 5
SHEET 5 OF 5



CURVE TABLE C-#

CURVE	CHORD BEARING	CHORD	ARCLEN	RADIUS
C-3	S74°38'12"W	6.90'	6.90'	1,612.49'
C-39	N74°28'56"E	54.49'	54.49'	1,348.16'
C-40	N72°10'41"E	53.96'	53.96'	1,348.16'
C-41	N69°53'10"E	53.89'	53.89'	1,348.16'
C-42	N67°35'06"E	54.40'	54.40'	1,348.16'
C-43	N65°16'56"E	53.96'	53.96'	1,348.16'
C-63	S52°57'08"W	60.92'	60.92'	1,562.30'
C-64	S55°11'37"W	61.31'	61.31'	1,562.30'
C-65	N77°21'37"W	28.93'	32.34'	20.00'
C-66	S14°18'42"W	28.46'	31.67'	20.00'
C-67	S75°42'27"E	28.12'	31.18'	20.00'
C-68	N12°42'46"E	27.66'	30.54'	20.00'
C-69	N55°45'07"E	40.07'	40.07'	1,612.30'
C-70	N54°04'40"E	54.14'	54.14'	1,612.30'
C-71	N52°09'07"E	54.24'	54.24'	1,612.30'
C-83	S60°33'42"W	49.16'	49.16'	1,562.49'
C-84	S62°34'10"W	60.34'	60.34'	1,562.49'
C-85	S64°46'10"W	59.63'	59.63'	1,562.49'
C-86	S66°57'59"W	60.19'	60.19'	1,562.49'
C-87	S69°11'31"W	61.20'	61.20'	1,562.49'
C-88	S71°25'26"W	60.52'	60.52'	1,562.49'
C-89	S73°38'48"W	60.69'	60.69'	1,562.49'
C-90	N73°33'04"E	54.21'	54.21'	1,612.49'
C-91	N71°37'28"E	54.22'	54.22'	1,612.49'
C-92	N69°41'31"E	54.23'	54.23'	1,612.49'
C-93	N67°46'13"E	54.24'	54.24'	1,612.49'
C-94	N65°50'33"E	54.25'	54.25'	1,612.49'
C-95	N63°54'53"E	54.26'	54.26'	1,612.49'
C-96	N61°59'12"E	54.26'	54.26'	1,612.49'
C-97	N60°19'20"E	39.42'	39.42'	1,612.49'

EASEMENT LINE TABLE E-#

LINE	BEARING	DISTANCE
E-8	N39°08'30"W	62.01'
E-9	S68°34'59"W	51.21'
E-10	S68°34'59"W	10.90'
E-11	N52°12'27"E	61.07'
E-12	N22°53'09"W	61.67'
E-13	S39°13'10"E	61.35'
E-14	N63°41'35"E	61.35'
E-15	S47°36'59"W	10.88'
E-16	S47°36'59"W	51.48'
E-17	S22°58'39"E	62.37'

LINE TABLE L-#

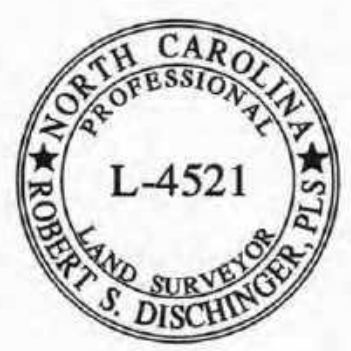
LINE	BEARING	DISTANCE
L-26	N73°24'13"E	32.29'
L-27	N71°49'56"E	25.22'
L-28	N71°49'56"E	33.92'
L-29	N69°58'38"E	24.21'
L-30	N69°58'38"E	35.22'
L-31	N68°03'20"E	20.54'
L-32	N68°03'20"E	36.83'
L-33	N64°51'58"E	18.33'
L-34	N60°54'22"E	14.23'
L-35	N59°05'54"E	7.91'

DESCO MEBANE PARTNERS, LLC
 FUTURE DEVELOPMENT
 D.B. 3752 PG. 0661
 PARCEL ID 163252
 OLD TAX MAP 10-25-31

DESCO MEBANE PARTNERS, LLC
 FUTURE DEVELOPMENT
 D.B. 3752 PG. 0661
 PARCEL ID 163252
 OLD TAX MAP 10-25-31

FORMERLY, BURGESS
 SIOATLIFE
 TR-205525
 FORMERLY HURTEAU
 DESCO MEBANE PARTNERS, LLC
 FUTURE DEVELOPMENT
 D.B. 3752 PG. 0650
 PARCEL ID 163107
 OLD TAX MAP 10-26-5

NOT TO SCALE
 EIP
 S83°55'50"E
 12668.83'
 OBSERVED=12,668.83'
 C.F.=0.99994529
 GRID=12,668.14'
 N.C.G.S. MONUMENT
 "KIMREY"
 N.A.D. 83 (2011)
 GRID COORDINATES
 AS PUBLISHED.
 N=835,325.53'
 E=1,899,857.18'



ROBERT S. DISCHINGER PLS-4521

SHEET 4 OF 5
FINAL PLAT
CAMBRIDGE PARK PHASE 2C
MELVILLE TOWNSHIP~ALAMANCE COUNTY
MEBANE~NORTH CAROLINA
JANUARY 26, 2022

1 INCH = 50 FT.

EVANS ENGINEERING, INC.
 ENGINEERS, SURVEYORS, PLANNERS
 4609 DUNDAS DRIVE GREENSBORO, N.C. 27407
 PHONE: (336) 854-8877 FAX: (336) 854-8878
 FIRM LICENSE C-0188

MATCHLINE B

CURVE TABLE C-#

CURVE	CHORD BEARING	CHORD	ARCLEN	RADIUS
C-71	N52°09'07"E	54.24'	54.24'	1,612.30'
C-72	N50°13'28"E	54.23'	54.23'	1,612.30'
C-73	N48°17'50"E	54.22'	54.22'	1,612.30'

EASEMENT CURVE TABLE EC-#

CURVE	CHORD BEARING	CHORD	ARCLEN	RADIUS
EC-1	S73°35'16"E	20.21'	20.24'	111.95'
EC-2	S45°27'13"E	87.32'	89.70'	111.95'
EC-3	S35°35'36"E	96.13'	97.14'	193.90'
EC-4	S02°08'27"E	156.82'	176.74'	105.59'
EC-5	S70°29'20"W	61.94'	63.72'	77.44'
EC-6	S75°32'39"W	48.25'	49.10'	75.95'
EC-7	N70°22'57"W	178.65'	206.90'	111.87'
EC-8	N08°52'38"E	67.71'	70.46'	72.42'
EC-9	N11°51'47"E	79.32'	81.70'	97.24'
EC-10	N44°30'44"E	187.18'	221.65'	111.95'

N.C.G.S. MONUMENT
"HAWFIELD"
N.A.D. 83 (2011)
GRID COORDINATES
AS PUBLISHED.
N=840,044.20'
E=1,909,650.81'

DESCO MEBANE PARTNERS, LLC
FUTURE DEVELOPMENT
D.B. 3752 PG. 0661
PARCEL ID 163252
OLD TAX MAP 10-25-31

BRODIE CHARLES COVINGTON A/W
LYNN HARRIETT COVINGTON
D.B. 1426 PG. 364
PARCEL ID 163270
OLD TAX MAP 10-25-28A

FUTURE WET DETENTION POND

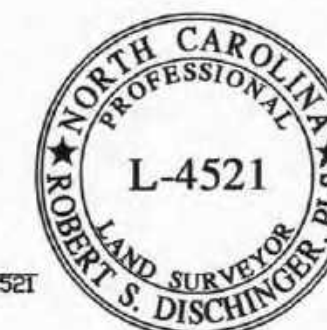
NOT TO SCALE
DBSRV (V.D. 17, 2011)
CF # 10, 999, 945, 523
GRID # 7, 558, 152

STONE
N.A.D. 83 (2011)
GRID COORDINATES
N=833,946.4262'
E=1,914,103.7820'

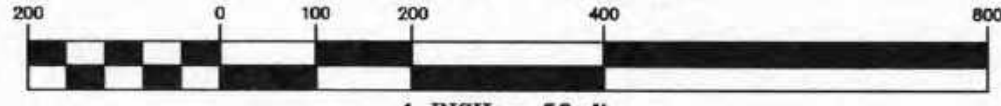
ALVIS EUGENE MANN AND
RANDALL EUGENE MANN
D.B. 525 PG. 570
P.B. 32 PG. 179
PARCEL ID 163268
OLD TAX MAP 9-38-67

ROBERT S. DISCHINGER

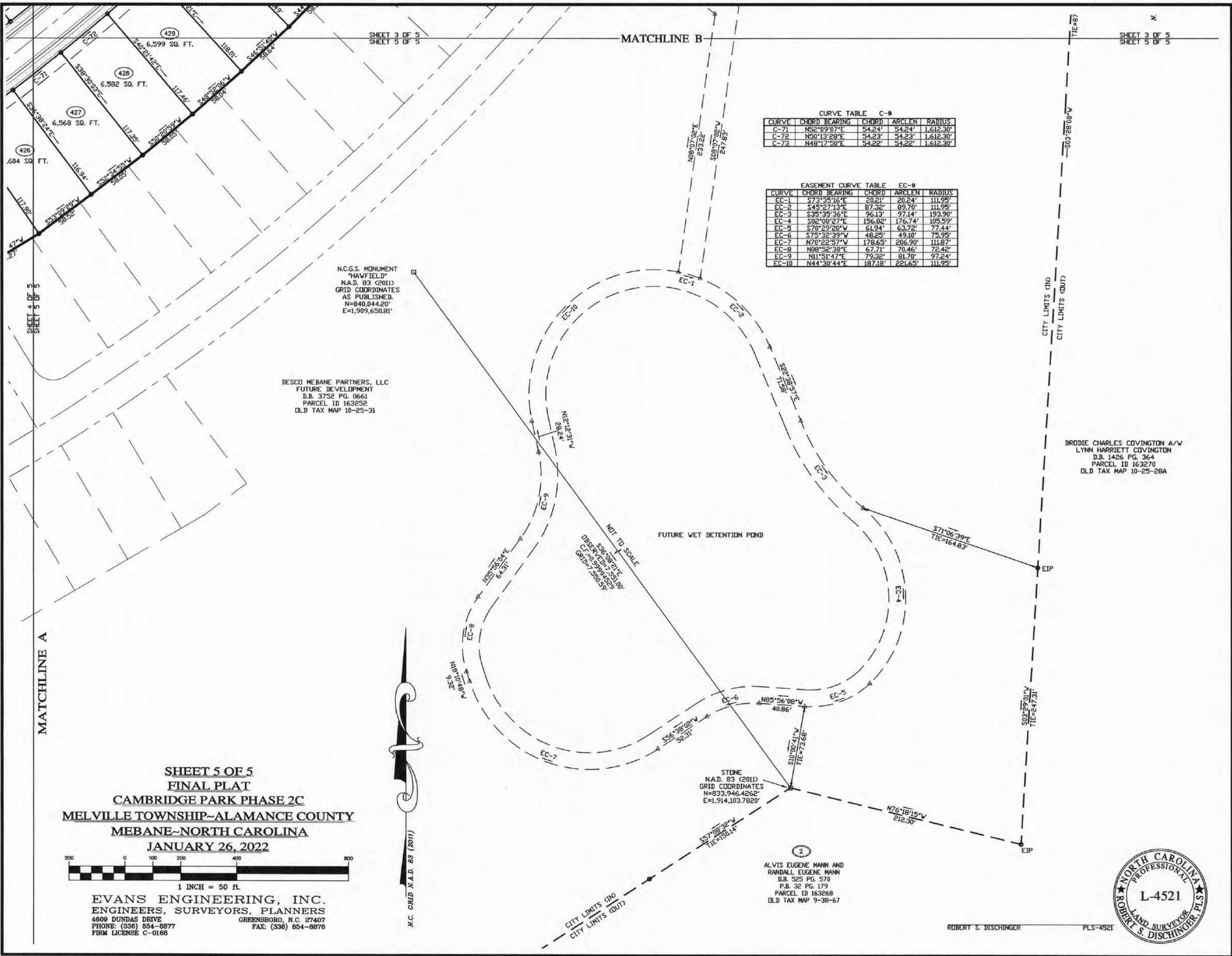
PLS-4521



SHEET 5 OF 5
FINAL PLAT
CAMBRIDGE PARK PHASE 2C
MELVILLE TOWNSHIP~ALAMANCE COUNTY
MEBANE~NORTH CAROLINA
JANUARY 26, 2022



EVANS ENGINEERING, INC.
ENGINEERS, SURVEYORS, PLANNERS
4609 DUNDAS DRIVE GREENSBORO, N.C. 27407
PHONE: (336) 854-8877 FAX: (336) 854-8878
FIRM LICENSE C-0168





AGENDA ITEM #4C

Petition for Voluntary Contiguous Annexation- Stagecoach Corner

Meeting Date

July 11, 2022

Presenter

Lawson Brown, City Attorney

Public Hearing

Yes No

Summary

Staff received a petition requesting voluntary contiguous annexation from BC Stagecoach, LLC.

Background

The applicant is requesting that the described property be annexed into Mebane's Corporate Limits. This is a contiguous annexation containing approximately +/- 14.48 acres located in Orange County on Stagecoach Road.

Financial Impact

The property will be added to the ad valorem tax base of the City once the property is annexed.

Recommendation

Staff recommends the Council's acceptance of the petition, the Clerk's Certificate of Sufficiency and to adopt a Resolution setting a date of public hearing for August 1, 2022.

Suggested Motion

I make a motion to accept the petition, the Clerk's Certificate of Sufficiency and to adopt a Resolution setting a date of public hearing for August 1, 2022.

Attachments

1. Petition
2. Clerk's Certificate of Sufficiency
3. Map
4. Resolution



PETITION REQUESTING A CONTIGUOUS ANNEXATION

Annexation Process – Approximately a 2 Month Process

1st Month- Submit a Petition for Annexation to the City Council, the Clerk reports to City Council the Sufficiency of the Annexation and the City Council adopts a Resolution to set a Public Hearing

2nd Month- A Public Hearing is held and normally that same night, the City Council will adopt an Ordinance to set the effective date as the same or the Council will deny the request

Date: 6/28/22

To the City Council of the City of Mebane:

1. We the undersigned owners of real property respectfully request that the area described in Paragraph 2 below be annexed to the City of Mebane.
2. The area to be annexed is contiguous to the City of Mebane and the boundaries of such territory are as follows:

**Please include a Description of Boundaries (Metes and Bounds) on a separate paper.*

- **3.** We acknowledge that any zoning vested rights acquired pursuant to G.S. 160A-385.1 or or G.S. 153A-344.1 must be declared and identified on this petition. We further acknowledge that failure to declare such rights on this petition shall result in a termination of vested rights previously acquired for the property. (If zoning vested rights are claimed, indicate below and attach proof.)

Name	Address	Do you declare vested rights (Yes or No)	Signature
1. BC Stagecoach LLC	336 James Road Rd SW Huntsville, AL 35824	Yes	
2.			
3.			

*Municipality may wish to require metes and bounds description or map. (Provide 2 paper copies, an electronic copy and 3 mylars)

**This is one possible format for zoning vested rights declaration. This language may require modification to reflect the requirements of the municipal zoning vested rights ordinance, if any.

CERTIFICATE OF SUFFICIENCY

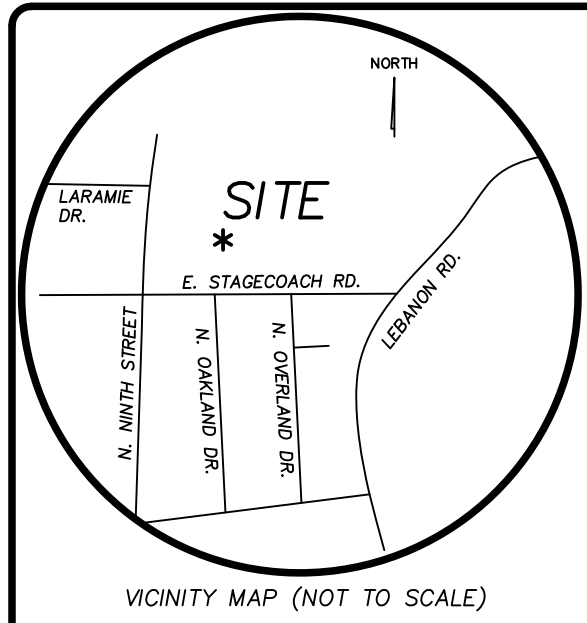
To the City Council of the City of Mebane, North Carolina:

I, Stephanie W. Shaw, City Clerk, do hereby certify that I have investigated the petition attached hereto and have found as a fact that said petition is signed by all owners of real property lying in the area described therein, in accordance with G.S. 160A-31.

In witness whereof, I have hereunto set my hand and affixed the seal of the City of Mebane, this 11th day of July, 2022.



Stephanie W. Shaw
Stephanie W. Shaw, City Clerk



LEGAL DESCRIPTION:

BEGINNING AT A COMPUTED POINT IN THE SOUTHERN R/W LINE OF S.R. 1996, A CORNER WITH TERESA DALLAS, THENCE WITH TERESA DALLAS' N04°33'12"W A DISTANCE OF 30.15 TO A COMPUTED POINT IN THE CENTERLINE OF S.R. 1996; THENCE WITH CENTERLINE OF S.R. 1996 S89°06'42"E A DISTANCE OF 343.74' TO A COMPUTED POINT; THENCE S33°45'17"E A DISTANCE OF 36.65' TO A COMPUTED POINT IN THE SOUTHERN R/W OF SAID S.R. 1996; THENCE WITH SAID R/W S89°12'04"E A DISTANCE OF 79.70' TO A COMPUTED POINT; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 27.03', WITH A RADIUS OF 137.61', WITH A CHORD BEARING OF S83°29'06"E, WITH A CHORD LENGTH OF 27.03', TO A COMPUTED POINT THE INTERSECTION OF THE SOUTHERN R/W OF S.R. 1996 AND THE WESTERN R/W OF S.R. 1306; THENCE WITH THE WESTERN R/W OF S.R. 1306 N55°34'25" E A DISTANCE OF 73.60' TO A COMPUTED POINT THE INTERSECTION WITH NORTHERN R/W OF S.R. 1996; THENCE WITH SAID NORTHERN R/W OF S.R. 1996 A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 90.03', WITH A RADIUS OF 197.86', WITH A CHORD BEARING OF N 76°04'33" W, WITH A CHORD LENGTH OF 89.26' TO A COMPUTED POINT; THENCE N89°12'04"W A DISTANCE OF 310.38' TO A COMPUTED POINT; THENCE N10°54'14"W 635.90' TO A 1/2" EIP IN THE WESTERN LINE OF LEBANON ROAD 3, LLC, THE SOUTHEAST CORNER OF MILL CREEK DEVELOPMENT PROPERTY (1/2" EIP ON THIS LINE 1.02' FROM POINT IN THE NORTHERN R/W LINE OF SAID S.R. 1996); THENCE WITH SAID MILL CREEK DEVELOPMENT N89°32'30"W A DISTANCE OF 1149.33' TO A 1/2" EIP IN THE EASTERN R/W OF S.R. 2016 (N. NINTH STREET); THENCE ALONG SAID R/W S09°53'21"W A DISTANCE OF 109.79' TO A 1/2" EIP; THENCE CONTINUING WITH SAID R/W A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 148.23', WITH A RADIUS OF 1648.39', WITH A CHORD BEARING OF S 07°18'47" W, WITH A CHORD LENGTH OF 148.18' TO A 1/2" EIP THE NORTHWEST CORNER OF LOT 1 PB. 72 P. 74; THENCE WITH SAID LOT 1 S85°14'09"E A DISTANCE OF 437.18' TO A 1/2" EIP; THENCE CONTINUING WITH SAID LOT 1 AND CROSSING R/W OF S.R. 1996 S00°38'41"W A TOTAL DISTANCE OF 332.20' TO A COMPUTED POINT IN THE SOUTHERN R/W OF S.R. 1996 (A 1/2" EIP 80.00' FROM THIS CORNER IN THE NORTHERN R/W LINE OF SAID S.R. 1996); THENCE WITH SOUTHERN R/W OF S.R. 1996 S89°20'47"E A DISTANCE OF 675.43' TO A COMPUTED POINT, WHICH IS THE PLACE POINT OF BEGINNING, HAVING AN AREA OF 14.48 ACRES 0.023 SQ. MILES AND BEING ALL OF TOTAL ANNEXATION AREA AS SHOWN ON PLAT OF SURVEY ENTITLED "FINAL PLAT: CITY OF MEBANE CORPORATE LIMITS EXTENSION CONTIGUOUS VOLUNTARY ANNEXATION" PREPARED BY R.S. JONES & ASSOCIATES, INC. DATED APRIL 14TH 2022

SURVEYOR'S CERTIFICATE

I, ROBERT S. JONES, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK _____, PAGE _____); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK _____, PAGE _____; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

AND THAT:
PER NC GS 47-30 (f)(11)(J) THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO BOUNDARY PLATS OF STATE LINES, COUNTY LINES, COUNTY ANNEALED BY MUNICIPALITIES, NOR TO PLATS OF MUNICIPAL BOUNDARIES, WHETHER OR NOT REQUIRED BY LAW TO BE RECORDED.

I, ROBERT S. JONES CERTIFY THAT THE STATE PLANE COORDINATES FOR THIS PROJECT WERE PRODUCED FROM AN ACTUAL GPS SURVEY UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- (1) CLASS OF SURVEY: _____ CLASS "A"
- (2) POSITIONAL ACCURACY: _____ 0.06'
- (3) TYPE OF GPS FIELD PROCEDURE: _____ VRS
- (4) DATES OF SURVEY: _____ 12/21/2018
- (5) DATUM/EPOCH: _____ NAD83 (2011)
- (6) PUBLISHED/FIXED-CONTROL USE: _____ NC RTK NETWORK
- (7) GEOID MODEL: _____ 12B
- (8) COMBINED GRID FACTOR(S): _____ 0.99970
- (9) UNITS: _____ US FEET

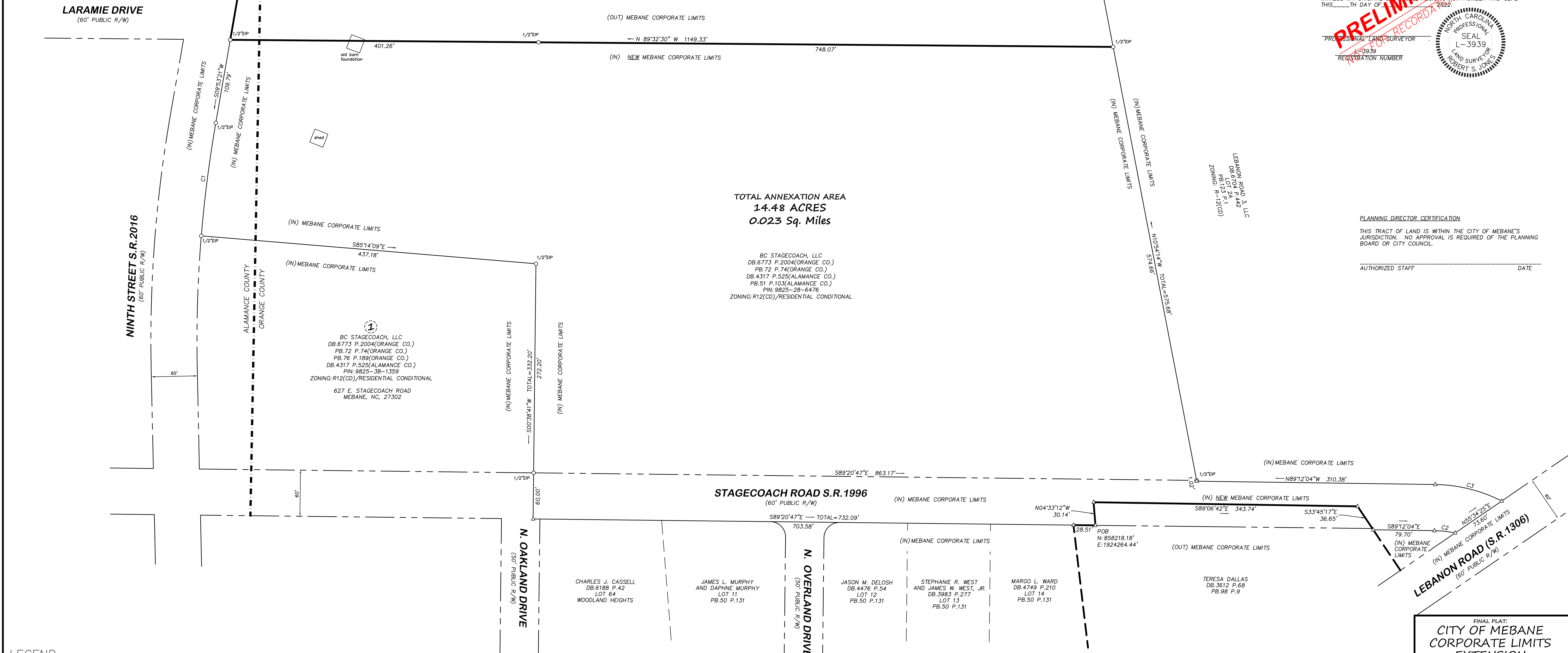
WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS _____ TH DAY OF _____, 2022.

PROFESSIONAL LAND SURVEYOR
 REGISTRATION NUMBER
 SEAL
 NORTH CAROLINA
 PROFESSIONAL
 SEAL
 L-3939
 LAND SURVEYOR
 ROBERT S. JONES

PLANNING DIRECTOR CERTIFICATION

THIS TRACT OF LAND IS WITHIN THE CITY OF MEBANE'S JURISDICTION. NO APPROVAL IS REQUIRED OF THE PLANNING BOARD OR CITY COUNCIL.

AUTHORIZED STAFF _____ DATE _____



LEGEND

These standard symbols will be found in the drawing.

- UTILITY POLE.....
- EXISTING IRON ROD.....
- PK NAIL.....
- EXISTING IRON PIPE.....
- 1/2" IRON PIPE SET.....
- STONE FOUND.....
- CONCRETE MONUMENT.....
- COMPUTED POINT.....
- OVERHEAD UTILITIES.....
- RIGHT OF WAY.....

NOTES:

- 1.) ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- 2.) SURVEY PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH. REFERENCED MATERIALS ONLY USED. THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT AFFECT THIS PROPERTY.
- 3.) NO ATTEMPT MADE TO LOCATE CEMETERIES, WETLANDS, HAZARDOUS MATERIALS SITES, UNDERGROUND UTILITIES, OR ANY OTHER FEATURES ABOVE OR BELOW GROUND OTHER THAN THOSE SHOWN.
- 4.) ALL AREAS BY COORDINATE COMPUTATION.
- 5.) NEW IRON RODS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.

GRAPHIC SCALE

0 30 60 120 240

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	148.23'	1648.39'	5.09°08'	S07°18'47"W	148.18'
C2	27.48'	137.83'	11°25'23"	S83°34'28"E	27.43'
C3	90.03'	197.86'	26°04'19"	N76°04'33"W	89.26'

REFERENCES

DB.6509 P.291 (OC)
 PB.72 P.74 (OC)
 PB.76 P.189(OC)

CURRENT OWNER:

BC STAGECOACH, LLC
 336 JAMES RECORD ROAD
 HUNTSVILLE, AL 35824

FINAL PLAT:
CITY OF MEBANE CORPORATE LIMITS EXTENSION CONTIGUOUS VOLUNTARY ANNEXATION

SCALE: 1" = 100'
 CHEEKS TOWNSHIP - ORANGE COUNTY, NC
 MELVILLE TOWNSHIP - ALAMANCE COUNTY, NC
 DATE: APRIL 14, 2022

R.S. JONES & ASSOCIATES, INC.

LAND SURVEYORS
 LICENSE NO.: C-2565
 201 WEST CLAY STREET MEBANE, N.C. 27302
 PH.: (919)563-3623

RESOLUTION FIXING DATE OF PUBLIC HEARING ON
QUESTION OF ANNEXATION PURSUANT TO G.S. 160A-31

WHEREAS, a petition requesting annexation of the area described herein has been received; and

WHEREAS, certification by the City Clerk as to the sufficiency of the petition has been made;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Mebane, North Carolina that:

Section 1. A public hearing on the question of annexation of the area described herein will be held at the Glendel Stephenson Municipal Building at 6:00 p.m. on August 1, 2022.

Section 2. The area proposed for annexation is described as follows:

BEGINNING AT A COMPUTED POINT IN THE SOUTHERN R/W LINE OF S.R. 1996, A CORNER WITH TERESA DALLAS, THENCE WITH TERESA DALLAS N04°33'12"W A DISTANCE OF 30.15' TO A COMPUTED POINT IN THE CENTERLINE OF S.R. 1996; THENCE WITH CENTERLINE OF S.R. 1996 S89°06'42"E A DISTANCE OF 343.74' TO A COMPUTED POINT; THENCE S33°45'17"E A DISTANCE OF 36.65' TO A COMPUTED POINT IN THE SOUTHERN R/W OF SAID S.R. 1996; THENCE WITH SAID R/W S89°12'04"E A DISTANCE OF 79.70' TO A COMPUTED POINT; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 27.07', WITH A RADIUS OF 137.61', WITH A CHORD BEARING OF S83°29'06"E, WITH A CHORD LENGTH OF 27.03', TO A COMPUTED POINT THE INTERSECTION OF THE SOUTHERN R/W OF S.R. 1996 AND THE WESTERN R/W OF S.R. 1306; THENCE WITH THE WESTERN R/W OF S.R. 1306 N55°34'25" E A DISTANCE OF 73.60' TO A COMPUTED POINT THE INTERSECTION WITH NORTHERN R/W OF S.R. 1996; THENCE WITH SAID NORTHERN R/W OF S.R. 1996 A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 90.03', WITH A RADIUS OF 197.86', WITH A CHORD BEARING OF N 76°04'33" W, WITH A CHORD LENGTH OF 89.26' TO A COMPUTED POINT; THENCE N89°12'04"W A DISTANCE OF 310.38' TO A COMPUTED POINT; THENCE N10°54'14"W 635.90' TO A 1/2"EIP IN THE WESTERN LINE OF LEBANON ROAD 3, LLC, THE SOUTHEAST CORNER OF MILL CREEK DEVELOPMENT PROPERTY (1/2"EIP ON THIS LINE 1.02' FROM POINT IN THE NORTHERN R/W LINE OF SAID S.R. 1996); THENCE WITH SAID MILL CREEK DEVELOPMENT N89°32'30"W A DISTANCE OF 1149.33' TO A 1/2"EIP IN THE EASTERN R/W OF S.R. 2016 (N. NINTH STREET); THENCE ALONG SAID R/W S09°53'21"W A DISTANCE OF 109.79' TO A 1/2"EIP; THENCE CONTINUING WITH SAID R/W A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 148.23', WITH A RADIUS OF 1648.39', WITH A CHORD BEARING OF S 07°18'47" W, WITH A CHORD LENGTH OF 148.18', TO A 1/2"EIP THE NORTHWEST CORNER OF LOT 1 PB.72 P.74; THENCE WITH SAID LOT 1 S85°14'09"E A DISTANCE OF 437.18' TO A 1/2"EIP; THENCE CONTINUING WITH SAID LOT 1 AND CROSSING R/W OF S.R. 1996 S00°38'41"W A TOTAL DISTANCE OF 332.20' TO A COMPUTED POINT IN THE SOUTHERN R/W OF S.R. 1996 (A 1/2"EIP 60.00' FROM THIS

CORNER IN THE NORTHERN R/W LINE OF SAID S.R.1996; THENCE WITH SOUTHERN R/W OF S.R.1996 S89°20'47"E A DISTANCE OF 875.43' TO A COMPUTED POINT; WHICH IS THE PLACE POINT OF BEGINNING, HAVING AN AREA OF 14.48 ACRES 0.023 SQ. MILES AND BEING ALL OF TOTAL ANNEXATION AREA AS SHOWN ON PLAT OF SURVEY ENTITLED "FINAL PLAT: CITY OF MEBANE CORPORATE LIMITS EXTENSION CONTIGUOUS VOLUNTARY ANNEXATION" PREPARED BY R.S. JONES & ASSOCIATES, INC. DATED APRIL 14TH 2022

Section 3. Notice of the public hearing shall be published once in the Mebane Enterprise, a newspaper having general circulation in the City of Mebane, at least ten (10) days prior to the date of the public hearing.

Ed Hooks, Mayor

ATTEST:

Stephanie W. Shaw, City Clerk



AGENDA ITEM #4D

Financing proposal for Rolling Stock

Meeting Date

July 11, 2022

Presenter

Daphna Schwartz, Finance Director

Public Hearing

Yes No

Summary

In response to a request for proposals, the City has received bids for financing the purchase of rolling stock. Staff is making a recommendation based on these proposals, and the attached resolution approving the financing terms requires City Council approval.

Background

The Council approved the FY22-23 Budget Ordinance on June 6, which included debt financing for rolling stock in the amount of \$916,006. The Finance Director issued a request for proposals for installment financing for the purchase of the rolling stock. Four institutions responded as shown below. The rates presented are representative of the current rate environment, and the staff recommends approval. The financing will result in annual debt payments, and no tax rate increase is expected.

Financial Impact

Proposals requested were for 5-year bank qualified (BQ) terms with level principal payments. Truist offered the lowest rate with no additional fees and therefore is the recommended financing institution.

Lending Institution	Term	Rate	Prepayment Penalty
Truist	5 years	3.04%	no penalty
Signature Public Funding	5 years	3.27%	101%
Fidelity Bank	5 years	3.59%	N/A
US Bank	5 years	3.68%	Permitted after 13 months at 103%

Debt payments would begin in February 2023, with one payment (\$100,121) occurring during the current FY22-23 budget. Future payments will be \$200,243 per fiscal year, except for the final payment in FY27-28 of \$100,121. No tax or rate increase is expected to result from the debt.

Recommendation

Staff recommends adoption of the resolution approving the issuance and terms of the financing agreement.

Suggested Motion

Motion to adopt the attached resolution approving the issuance and financing agreement with Truist.

Attachments

1. Resolution approving financing terms

Resolution Authorizing Financing Terms for the Installment Purchasing Contract with Truist Bank for the Purchase of Rolling Stock

WHEREAS: The City of Mebane (“Borrower”) has previously determined to undertake a project for the financing of vehicles and equipment (the “Project”), and the Finance Officer has now presented a proposal for the financing of such Project.

BE IT THEREFORE RESOLVED, as follows:

1. The Borrower hereby determines to finance the Project through Truist Bank (“Lender”) in accordance with the proposal dated July 1, 2022. The amount financed shall not exceed \$916,006.00, the annual interest rate (in the absence of default or change in tax status) shall not exceed 3.04%, and the financing term shall not exceed five (5) years from closing.
2. All financing contracts and all related documents for the closing of the financing (the “Financing Documents”) shall be consistent with the foregoing terms. All officers and employees of the Borrower are hereby authorized and directed to execute and deliver any Financing Documents, and to take all such further action as they may consider necessary or desirable, to carry out the financing of the Project as contemplated by the proposal and this resolution.
3. The Finance Officer is hereby authorized and directed to hold executed copies of the Financing Documents until the conditions for the delivery of the Financing Documents have been completed to such officer's satisfaction. The Finance Officer is authorized to approve changes to any Financing Documents previously signed by Borrower officers or employees, provided that such changes shall not substantially alter the intent of such documents or certificates from the intent expressed in the forms executed by such officers. The Financing Documents shall be in such final forms as the Finance Officer shall approve, with the Finance Officer’s release of any Financing Document for delivery constituting conclusive evidence of such officer's final approval of the Document’s final form.
4. The Borrower shall not take or omit to take any action the taking or omission of which shall cause its interest payments on this financing to be includable in the gross income for federal income tax purposes of the registered owners of the interest payment obligations. The Borrower hereby designates its obligations to make principal and interest payments under the Financing Documents as "qualified tax-exempt obligations" for the purpose of Internal Revenue Code Section 265(b)(3).
5. The Borrower intends that the adoption of this resolution will be a declaration of the Borrower’s official intent to reimburse expenditures for the Project that are to be financed from the proceeds of the Lender financing described above. The Borrower intends that funds that have been advanced, or that may be advanced, from the Borrower’s general fund or any other Borrower fund related to the Project, for project costs may be reimbursed from the financing proceeds.
6. All prior actions of Borrower officers in furtherance of the purposes of this resolution are hereby ratified, approved and confirmed. All other resolutions (or parts thereof) in conflict with this resolution are hereby repealed, to the extent of the conflict. This resolution shall take effect immediately.

Approved this _____ day of _____, 20__

By: _____

By: _____

Title: _____

Title: _____

SEAL



AGENDA ITEM #4E

Micro-purchase Resolution

Meeting Date

July 11, 2022

Presenter

Daphna Schwartz, Finance Director

Public Hearing

Yes No

Summary

At the May 2, 2022 meeting, Council approved the federal micro-purchase resolution for the FY21-22. This resolution must be approved every fiscal year to stay in effect. Therefore, it is on the agenda to be approved for the FY22-23.

Background

The micro-purchase resolution is an option for all municipalities that allows the City to raise Federal purchasing levels to match those of the State of North Carolina, with the exception of services which the Federal Government requires bidding for contract over \$50,000. The micro-purchase resolution must be adopted annually.

Financial Impact

None.

Recommendation

Staff recommends that City Council approve the attached resolution.

Suggested Motion

Move to approve the resolution authorizing an increase in the micro-purchase threshold.

Attachments

1. Micro-purchase resolution



**RESOLUTION
OF
CITY COUNCIL
OF CITY OF MEBANE
AUTHORIZING INCREASE IN MICRO-PURCHASE THRESHOLD**

* * * * *

WHEREAS, from time to time, the City of Mebane purchases goods and services using federal funding subject to the procurement standards in 2 C.F.R. Part 200, Subpart D; and

WHEREAS, the City’s procurement of such goods and services is subject to The City of Mebane Purchasing & Requisitions Policy, and the Uniform Guidance Purchasing Policy as most recently amended in December 2013 and October 4, 2021 respectively; and

WHEREAS, the City is a non-Federal entity under the definition set forth in 2 C.F.R. § 200.1; and

WHEREAS, pursuant to 2 C.F.R. 200.320(a)(1)(ii), a non-Federal entity may award micro-purchases without soliciting competitive price or rate quotations if the non-Federal entity considers the price to be reasonable based on research, experience, purchase history or other information and documents that the non-Federal entity files accordingly; and

WHEREAS, pursuant to 2 C.F.R. 200.320(a)(1)(iii), a non-Federal entity is responsible for determining and documenting an appropriate micro-purchase threshold based on internal controls, an evaluation of risk, and its documented procurement procedures; and

WHEREAS, pursuant to 2 C.F.R. § 200.320(a)(1)(iv), a non-Federal entity may self-certify on an annual basis a micro-purchase threshold not to exceed \$50,000 and maintain documentation to be made available to a Federal awarding agency and auditors in accordance with 2 C.F.R. § 200.334; and

WHEREAS, pursuant to 2 C.F.R. § 200.320(a)(1)(iv), such self-certification must include (1) a justification for the threshold, (2) a clear identification of the threshold, and (3) supporting documentation, which, for public institutions, may be a “higher threshold consistent with State law”; and

WHEREAS, G.S. 143-129(a) and G.S. 143-131(a) require the City of Mebane to conduct a competitive bidding process for the purchase of (1) “apparatus, supplies, materials, or equipment” where the cost of such purchase is equal to or greater than \$30,000, and (2) “construction or repair work” where the cost of such purchase is greater than or equal to \$30,000; and

WHEREAS, North Carolina law does not require a unit of local government to competitively bid for purchase of services other than services subject to the qualifications-based selection process set forth in Article 3D of Chapter 143 of the North Carolina General Statutes (the “Mini-Brooks Act”); and

WHEREAS, G.S. 143-64.32 permits units of local government to exercise, in writing, an exemption to the qualifications-based selection process for services subject to the Mini-Brooks Act for particular projects where the aggregate cost of such services do not exceed \$50,000; and

WHEREAS, pursuant to 2 C.F.R. 200.320(a)(1)(iv), the City Council of the City of Mebane now desires to adopt higher micro-purchase thresholds than those identified in 48 C.F.R. § 2.101.

NOW THEREFORE, BE IT RESOLVED BY CITY COUNCIL OF THE CITY OF MEBANE:

1. In accordance with 2 C.F.R. § 200.320(a)(1)(iv) and the applicable provisions of North Carolina law, the City of Mebane hereby self-certifies the following micro-purchase thresholds, each of which is a “higher threshold consistent with State law” under 2 C.F.R. § 200.320(a)(1)(iv)(C) for the reasons set forth in the recitals to this resolution:

- A. \$30,000, for the purchase of “apparatus, supplies, materials, or equipment”; and
- B. \$30,000, for the purchase of “construction or repair work”; and
- C. \$50,000, for the purchase of services not subject to competitive bidding under North Carolina law; and
- D. \$50,000, for the purchase of services subject to the qualifications-based selection process in the Mini-Brooks Act; provided that such threshold shall apply to a contract only if the Unit has exercised an exemption to the Mini-Brooks Act, in writing, for a particular project pursuant to G.S. 143-64.32. If the exemption is not authorized, the micro-purchase threshold shall be \$0.]

2. The self-certification made herein shall be effective as of the date hereof and shall be applicable until June 30, 2023, the end of the fiscal year of the City, but shall not be applicable to Federal financial assistance awards issued prior to November 12, 2020, including financial assistance awards issued prior to that date under the Coronavirus Aid, Relief, and Economic Support (CARES) Act of 2020 (Pub. L. 116-136).

3. In the event that the City of Mebane receives funding from a federal grantor agency that adopts a threshold more restrictive than those contained herein, the Unit shall comply with the more restrictive threshold when expending such funds.

The Unit shall maintain documentation to be made available to a Federal awarding agency, any pass-through entity, and auditors in accordance with 2 C.F.R. § 200.334.

5. The Finance Director of the City of Mebane is hereby authorized, individually and collectively, to revise the purchasing policies of the City to reflect the increased micro-purchase thresholds specified herein, and to take all such actions, individually and collectively, to carry into effect the purpose and intent of the foregoing resolution.

* * * * *

Adopted this the 11th day of July 2022



AGENDA ITEM #5

Code of Ordinance Amendment-
Backyard Hens

(Continued from the June 6, 2022 meeting to allow for
public comment at the July 11, meeting)

Meeting Date

July 11, 2022

Presenter

Lawson Brown, City Attorney

Public Hearing

Yes No

Summary

This ordinance limits the number of chickens and bans roosters.

Background

The City has no ordinance addressing chickens and roosters other than its nuisance abatement. There have been a number of recent complaints from residents about chickens. Attached is an amended ordinance covering some of items being discussed.

Financial Impact

Code Enforcement will be impacted but estimated to be minimal.

Recommendation

Staff recommends an ordinance limiting the number of chickens per property and banning roosters. Staff recommends the Council advise of any changes needed after public comment.

Suggested Motion

The City has a public duty and statutory police authority to foster and improve by ordinance the health, safety and general welfare of its citizens by limiting the number of backyard hens and prohibiting roosters because of the noise, odors, property value diminution, property damage, and marauding animals. Maintenance of roosters and more than eight backyard hens, is inimical to the health, safety and general welfare of the citizens of the City.

Attachments

1. Originally Proposed Ordinance
2. Amended Ordinance

Section 4-37- Backyard Hens

(a) **Legal Parameters-** It shall be unlawful for the owner or occupant of any lot or parcel of land in the city to keep backyard hens in violation of the terms of this ordinance

(b) **Allowable Backyard Hens** - Backyard hens are allowable, regardless of zoning, on lots that contain single-family dwelling units, excluding apartment complexes, condominiums, townhouses and patio homes.

(c) **Number Allowed-** No more than eight (8) hens are allowed per lot regardless of size and number of dwelling units except in those areas zoned for agricultural uses. It shall be unlawful to keep or maintain any rooster.

(d) **Uses-** All aspects of the keeping of hens, including keeping chicks, eggs, manure, compost and other related attributes and activities, must be only personal and noncommercial.

(e) Coop and Run Standards

- 1) A coop is a roofed-housing structure where hens are kept. The coop has an indoor area where chickens sleep, perch, nest and lay eggs. The coop also provides shelter from weather and predators.
- 2) A run is an enclosed pen located outside of the coop structure.
- 3) An enclosed run is completely bounded on all sides, including overhead, by a fence, cage, or wire.
- 4) An open run is bounded on all sides by a fence, cage, or wire but is open overhead.
- 5) A coop, combination coop and run of sufficient size should be provided for the hens to include a minimum coop area of four (4) square feet per chicken if a run is provided. A minimum of ten (10) square feet coop area is required if no run is provided or chickens are to be contained in the coop.
- 6) Chickens shall be secured in the chicken coop during non-daylight hours. During daylight hours, chickens may be located in the run if provided. The coop and run shall be properly designed and constructed to provide adequate security from rodents, wild birds, and predators and provide sufficient ventilation
- 7) The maximum area for all coop and run structures is 300 square feet.
- 8) The maximum height for a coop and run is seven (7) feet measured from the ground to the top of the structure.
- 9) The minimum height for an open run is four (4) feet.

(f) Location

- 1) All hens, coop structures and runs must be located in the rear yard.
- 2) Coop structures and runs must be located at least 25 feet from any rear or interior side lot line. For corner lots the corner-side yard setbacks shall be the same as the principal building.

(g) **Maintenance**- All areas within the coop and run shall be kept in a neat and sanitary condition, including removal of droppings, uneaten feed, feather and other waste, in order to preclude odors and other nuisance violations.

(h) **Slaughter**

- 1) On– premise slaughter shall be prohibited.
- 2) Dead hens shall be removed according to the provisions of Section 4-35 of the City Code.

(i) **Enforcement**- Enforcement shall be as provided in Section 6-149 et seq. of the Code of Ordinances.

(j) **Existing Coops and Chickens**- This Ordinance shall apply to all backyard hens in the City, whether now existing or those in the future.

(k) Any person, firm, corporation or other legal entity violating the provisions of this article shall be subject to punishment in accordance with section 1-6.

(l) **Effective Date**- This Ordinance shall be effective as of the date of adoption.

Section 4-37- Backyard Hens & Fowl

(a) **Legal Parameters-** It shall be unlawful for the owner or occupant of any lot or parcel of land in the city to keep backyard hens or other fowl in violation of the terms of this ordinance. The term hens is interchangeable with fowl in this Section 4-37 and includes without limitation turkeys, ducks and geese.

(b) **Allowable Backyard Hens** - Backyard hens are allowable, regardless of zoning, on lots that contain single-family dwelling units, excluding apartment complexes, condominiums, townhouses and patio homes.

(c) **Number Allowed-** No more than eight (8) hens are allowed per residence, whether each residence is on one (1) lot or parcel or connected to multiple lots or parcels. If the residence is located on a lot or lots greater than one (1) acre then the residence shall not exceed sixteen (16) hens regardless of size and number of dwelling units. It shall be unlawful to keep or maintain any rooster.

(d) **Uses-** All aspects of the keeping of hens, including keeping chicks, eggs, manure, compost and other related attributes and activities, may be for personal or commercial use.

(e) Coop and Run Standards

- 1) A coop is a roofed-housing structure where hens are kept. The coop has an indoor area where chickens sleep, perch, nest and lay eggs. The coop also provides shelter from weather and predators.
- 2) A run is an enclosed pen located outside of the coop structure.
- 3) An enclosed run is completely bounded on all sides, including overhead, by a fence, cage, or wire.
- 4) An open run is bounded on all sides by a fence, cage, or wire but is open overhead.
- 5) A coop, combination coop and run of sufficient size should be provided for the hens to include a minimum coop area of four (4) square feet per chicken if a run is provided. A minimum of ten (10) square feet coop area is required if no run is provided or chickens are to be contained in the coop.
- 6) Chickens shall be secured in the chicken coop during non-daylight hours. During daylight hours, chickens may be located in the run if provided. The coop and run shall be properly designed and constructed to provide adequate security from rodents, wild birds, and predators and provide sufficient ventilation
- 7) The maximum area for all coop and run structures is 300 square feet.
- 8) The maximum height for a coop and run is seven (7) feet measured from the ground to the top of the structure.
- 9) The minimum height for an open run is four (4) feet.

(f) Location

- 1) All hens, coop structures and runs must be located in the rear yard.
- 2) Coop structures and runs must be located at least twenty five (25) feet from any rear or interior side lot line. For corner lots the corner-side yard setbacks shall be the same as the principal building.

(g) **Maintenance**- All areas within the coop and run shall be kept in a neat and sanitary condition, including removal of droppings, uneaten feed, feather and other waste, in order to preclude odors and other nuisance violations.

(h) **Slaughter**

- 1) On– premise slaughter shall be prohibited.
- 2) Dead hens shall be removed according to the provisions of Section 4-35 of the City Code.

(i) **Enforcement**- Enforcement shall be as provided in Section 6-149 et seq. of the Code of Ordinances.

(j) **Existing Coops and Chickens**- This Ordinance shall apply to all backyard hens in the City, whether now existing or those in the future.

(k) Any person, firm, corporation or other legal entity violating the provisions of this article shall be subject to punishment in accordance with section 1-6.

(l) **Effective Date**- This Ordinance shall be effective sixty (60) calendar days after the date of adoption.



AGENDA ITEM #6A

SU 22-04

Special Use Permit –
Trollingwood Hawfields 5G Tower

Presenter

Ashley Ownbey, Interim Development Director

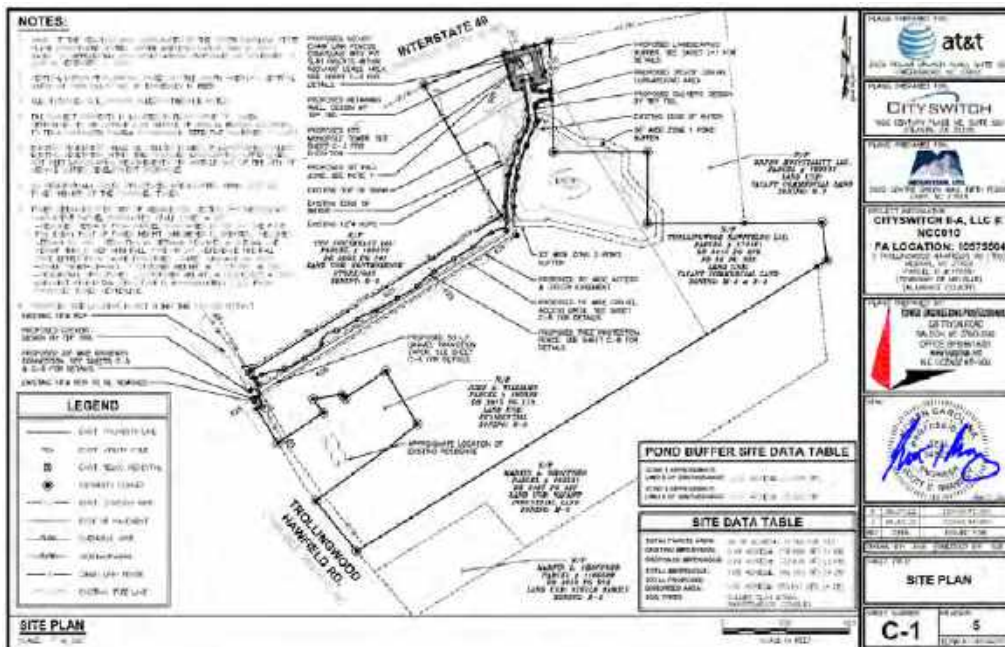
Applicant

CitySwitch II-A, LLC
c/o Jason Groseclose
1900 Century Place, NE
Suite 320
Atlanta, GA 30345

Public Hearing

Yes No **Quasi-Judicial**

Site Plan



Property

1436 Trollingwood
Hawfields Road

GPIN 9804922987

Proposed Zoning

N/A

Current Zoning

B-2 & M-2

Size

+/- 1.16 acre area
of a +/-24.96-acre
property

Surrounding

Zoning

B-2 & M-2

Surrounding Land

Uses

Truck Stop, Single-
Family Residential,
Vacant

Utilities

None

Floodplain

No

Watershed

No

City Limits

Yes

Summary

CitySwitch II-A, LLC, c/o Jason Groseclose, is requesting approval of a special use permit for a 175' wireless communication facility (aka "5G tower") with nonconforming setbacks at 1436 Trollingwood Hawfields Road, as shown on the attached site plan. The Mebane Unified Development Ordinance (UDO) Article 4, Section 4-7.9.E.2(g)(ii)c states that "The setback distance from existing property lines in all zoning districts for all towers shall be 100 feet, or one foot for every one foot of tower height, whichever is greater." The applicant is requesting a 50' setback from Interstate 40/85 to the north and a +/- 84' setback from the eastern property line. Article 4, Section 4-7.9.E.3(k)(i) requires a special use permit for deviation from established setbacks.

The Technical Review Committee (TRC) has reviewed the site plan three (3) times and the applicant has revised the plan to reflect the comments. The applicant has an agreement to lease the property for this special use, pending approval of the City Council.

Financial Impact

N/A. The site will be privately maintained and not require City services beyond emergency response.

Recommendation

At their June 13 meeting, the Planning Board voted 5 – 0 to recommend approval of the special use request.

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval.

Suggested Motion

1. Motion to approve the special use request for a 175' non-stealth wireless communication facility as presented, including the setback deviation to allow for a 50' setback to the north and 84' setback to the east.

and

2. Motion to find that the request is both reasonable and in the public interest because it finds that it:
- Will not materially endanger the public health or safety;
 - Will not substantially injure the value of adjoining or abutting property;
 - Will be in harmony with the area in which it is located; and
 - Will be consistent with the objectives and goals in the City's adopted plans,

OR

3. Motion to deny the special use permit as presented due to a failure to satisfy any one of the four criteria required for approval (**NOTE: criterion for failure must be specified**)

Attachments

1. Special Use Permit Application
2. Zoning Map - [click here](#)

3. Site Plan
4. Planning Project Report
5. Non-Stealth Tower Options Analysis (as required by Mebane UDO 4-7.9.E.2(f)v)
6. Building Code Compliance Statement
7. Real Estate Impact Analysis
8. Fall Zone Letter



APPLICATION FOR A SPECIAL USE PERMIT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: CitySwitch II-A, LLC

Address of Applicant: 1900 Century Place, NE, Suite 320, Atlanta, GA 30345

Address and brief description of property: 0 Trollingwood Hawfields Road, (TBD) Mebane, NC 27302; Present Land Use Vacant Commercial; Split Zoned B-2 and M-2

Parcel I.D. 170381
Applicant's interest in property: (Owned, leased or otherwise) Applicant is leasing a 100' X 100' area of the full parcel in the area zoned M-2 for the purpose of construct-

ing a proposed 175-foot monopole telecommunications tower and facility within.
*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes Explain: _____ No

Type of request: Special Use Permit Request to construct a 175-foot monopole and wireless telecommunications facility

Sketch attached: Yes No

Reason for the request: To construct a 175-foot monopole (185-foot including the 10-foot lightning rod) telecommunications tower and facility. See Project Narrative for additional detail.

Signed: Karen M. Kemmerich
Date: Feb. 17, 2022

Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$400.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.

AT&T SITE #: 062-041
CITYSWITCH II-A, LLC SITE #: NCC010
CITYSWITCH II-A, LLC SITE NAME: MEBANE
PROJECT DESCRIPTION: PROPOSED TELECOMMUNICATIONS FACILITY
TOWER TYPE: 175' MONOPOLE (185' OVERALL)
SITE ADDRESS: 0 TROLLINGWOOD HAWFIELDS RD (TBD) MEBANE, NC 27302
PARCEL ID #: 170381 (TOWNSHIP OF MELVILLE) (ALAMANCE COUNTY)
JURISDICTION: CITY OF MEBANE
AREA OF CONSTRUCTION: 50,617 ± SQ. FT. (1.16± AC.)
PRESENT LAND USE: VACANT COMMERCIAL
RECEIVING WATER BODY: LITTLE HAW CREEK
CURRENT ZONING: B-2 & M-2
PARCEL ID#: 170381
NUMBER OF DWELLING UNITS: 1

PROJECT INFORMATION

LATITUDE: N 36° 04' 03.42" (36.067616)
LONGITUDE: W 79° 18' 24.53" (-79.306814)
GROUND ELEVATION: ±606.6' (AMSL)

TOWER COORDINATES



LOCATION MAP

PROJECT INFORMATION:



0 TROLLINGWOOD HAWFIELDS RD (TBD)
MEBANE, NC 27302
PARCEL ID #: 170381
(TOWNSHIP OF MELVILLE)
(ALAMANCE COUNTY)

CITYSWITCH II-A, LLC SITE #: NCC010
CITYSWITCH II-A, LLC NAME: MEBANE
AT&T SITE #: 062-041
FA LOCATION CODE: 10575504

TOWER OWNER:
NAME: CITYSWITCH II-A, LLC
ADDRESS: 1900 CENTURY PLACE NE, SUITE 320
CITY, STATE, ZIP: ATLANTA, GA 30345
CONTACT: JASON GROSECLOSE
PHONE: (404) 857-0858

APPLICANT/LESSEE:
NAME: CITYSWITCH II-A, LLC
ADDRESS: 1900 CENTURY PL NE, SUITE 320
CITY, STATE, ZIP: ATLANTA, GA 30345
CONTACT: JASON GROSECLOSE
PHONE: (404) 857-0858

CO-APPLICANT/LESSEE:
NAME: AT&T MOBILITY
ADDRESS: 2002 PISGAH CHURCH RD, STE 300
CITY, STATE, ZIP: GREENSBORO, NC 27455
CONTACT: KEN WELKER
PHONE: (336) 549-9987

SITE PROJECT MANAGER:
NAME: MOUNTAIN, LTD
ADDRESS: 5000 CENTRE GREEN WAY, FIFTH FLOOR
CITY, STATE, ZIP: CARY, NC 27513
CONTACT: TANIA ROGERS, PMP
PHONE: (919) 760-7923

CIVIL ENGINEER:
NAME: TOWER ENGINEERING PROFESSIONALS
ADDRESS: 326 TRYON ROAD
CITY, STATE, ZIP: RALEIGH, NC 27603
CONTACT: SCOTT C. BRANTLEY, P.E.
PHONE: (919) 661-6351

ELECTRICAL ENGINEER:
NAME: TOWER ENGINEERING PROFESSIONALS
ADDRESS: 326 TRYON ROAD
CITY, STATE, ZIP: RALEIGH, NC 27603
CONTACT: MARK S. QUAKENBUSH, P.E.
PHONE: (919) 661-6351

CONTACT INFORMATION

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:
 1. NORTH CAROLINA BUILDING CODE (2018 EDITION)
 2. NORTH CAROLINA CODE COUNCIL
 3. ANSI/TIA-222-H
 4. 2017 NCEC (2017 NEC & NC ADDENDUM)
 5. LOCAL BUILDING CODE
 6. CITY/COUNTY ORDINANCES

CODE COMPLIANCE

UTILITIES:
POWER COMPANY: DUKE ENERGY
CONTACT: CUSTOMER SERVICE
PHONE: (800) 544-6900
METER # NEAR SITE: UNKNOWN

TELEPHONE COMPANY: AT&T
CONTACT: CUSTOMER SERVICE
PHONE: (800) 288-2020
PHONE # NEAR SITE: (919) 563-4999
PEDESTAL # NEAR SITE: UNKNOWN

PROPERTY OWNER:
NAME: TROLLINGWOOD HAWFIELDS LLC
ADDRESS: 0 TROLLINGWOOD HAWFIELDS RD (TBD) MEBANE, NC 27302
CITY, STATE, ZIP: MEBANE, NC 27302
PARCEL ID #: 170381 (TOWNSHIP OF MELVILLE) (ALAMANCE COUNTY)
CONTACT: JOHN WILLIAMS
PHONE: (919) 563-1762

CO-APPLICANT/LESSEE:

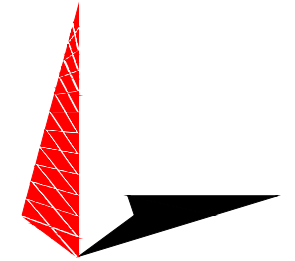


2002 PISGAH CHURCH ROAD, SUITE 300
 GREENSBORO, NC 27455
 OFFICE: (336) 286-6163
 NOC #: (800) 638-2822

SHEET	DESCRIPTION	REV
T1	TITLE SHEET	5
T2-T6	APPENDIX B	4
N1-N2	GENERAL NOTES	4
-	SITE SURVEY	-
C1	SITE PLAN	5
C1A	VICINITY MAP	4
C2	COMPOUND DETAIL	5
C3	TOWER ELEVATION	4
C4	FENCE DETAILS	4
C5	ACCESS ROAD DETAILS	4
C6	DRIVEWAY CONSTRUCTION DETAILS	4
C7	SIGHT TRIANGLES	4
C8	TREE PROTECTION FENCE DETAIL	4
L1	LANDSCAPING PLAN	4
L2	LANDSCAPE DETAILS	4

INDEX OF SHEETS

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 OFFICE: (919) 661-6351
 www.tepgroup.net
 N.C. LICENSE # P-1403

REV	DATE	ISSUED FOR:
5	05-27-22	ZONING REVIEW
4	03-30-22	ZONING REVIEW
3	02-28-22	ZONING REVIEW
2	02-10-22	ZONING REVIEW
1	02-07-22	ZONING REVIEW
0	02-02-22	ZONING

DRAWN BY: AMS **CHECKED BY:** GLB

SEAL:



May 27, 2022

SHEET NUMBER: T-1 **REVISION:** 5

TEP#: 151153.468707

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)**
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: MEBANE
 Address: 0 TROLLINGWOOD HAWFIELDS RD (TBD), MEBANE, NC, PARCEL ID #: 170381 (TOWNSHIP OF MELVILLE) (ALAMANCE COUNTY) Zip Code 27302
 Owner/Authorized Agent: JASON GROSECLOSE Phone # (404) 857 - 0858 E-Mail JASON.GROSECLOSE@CITYSWITCH.COM
 Owned By: City/County Private State
 Code Enforcement Jurisdiction: City MEBANE County State

CONTACT: Tower Engineering Professionals

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural				()	
Civil	Tower Engineering Professionals	Scott C. Brantley	048226	(919) 661-6351	sbrantley@tepgroup.net
Electrical	Tower Engineering Professionals	Mark S. Quakenbush	042109	(919) 661-6351	mquakenbush@tepgroup.net
Fire Alarm				()	
Plumbing				()	
Mechanical				()	
Sprinkler-Standpipe				()	
Structural				()	
Retaining Walls >5' High				()	
Other				()	

(*Other* should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: New Building Addition Renovation
 1st Time Interior Completion
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
 Phased Construction - Shell/Core- Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: EXISTING: Prescriptive Repair Chapter 14
 Alteration: Level I Level II Level III
 Historic Property Change of Use

CONSTRUCTED: (date) _____ **CURRENT OCCUPANCY(S) (Ch. 3):** _____
RENOVATED: (date) _____ **PROPOSED OCCUPANCY(S) (Ch. 3):** _____

OCCUPANCY CATEGORY (Table 1604.5): Current: I II III IV
 Proposed: I II III IV

BASIC BUILDING DATA
Construction Type: I-A II-A III-A IV V-A
 (check all that apply) I-B II-B III-B V-B
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II III Wet Dry
Fire District: No Yes **Flood Hazard Area:** No Yes
Special Inspections Required: No Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

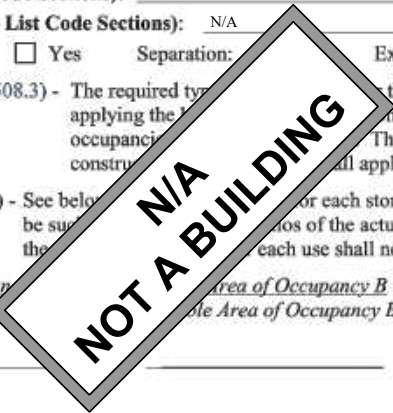
Gross Building Area Table		
FLOOR	EXISTING (SQ FT)	NEW (SQ FT)
3 rd Floor		N/A
2 nd Floor		N/A
Mezzanine		N/A
1 st Floor		N/A
Basement		N/A
TOTAL		N/A

ALLOWABLE AREA

Primary Occupancy Classification(s): Select one Select one Select one Select one Select one Select one
 Assembly A-1 A-2 A-3 A-4 A-5
 Business
 Educational
 Factory F-1 Moderate F-2 Low
 Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional I-1 Condition 1 2
 I-2 Condition 1 2
 I-3 Condition 1 2 3 4 5
 I-4
 Mercantile
 Residential R-1 R-2 R-3 R-4
 Storage S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous

Accessory Occupancy Classification(s): N/A
Incidental Uses (Table 509): N/A
Special Uses (Chapter 4 – List Code Sections): N/A
Special Provisions: (Chapter 5 – List Code Sections): N/A
Mixed Occupancy: No Yes Separation: _____ Exception: _____
 Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the requirements for each of the applicable occupancy classifications. The most restrictive type of construction shall apply to the entire building.
 Separated Use (508.4) - See below. For each story, the area of the occupancy shall be the sum of the ratios of the actual floor area of each use divided by the allowable area of each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$



PLANS PREPARED FOR:

 2002 PISGAH CHURCH ROAD, SUITE 300
 GREENSBORO, NC 27455

PLANS PREPARED FOR:

 1900 CENTURY PLACE NE, SUITE 320
 ATLANTA, GA 30345

PLANS PREPARED FOR:

 5000 CENTRE GREEN WAY, FIFTH FLOOR
 CARY, NC 27513

PROJECT INFORMATION:
CITYSWITCH II-A, LLC #:
NCC010
FA LOCATION: 10575504
 0 TROLLINGWOOD HAWFIELDS RD (TBD)
 MEBANE, NC 27302
 PARCEL ID #: 170381
 (TOWNSHIP OF MELVILLE)
 (ALAMANCE COUNTY)

PLANS PREPARED BY:
TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 OFFICE: (919) 661-6351
 www.tepgroup.net
 N.C. LICENSE # P-1403

SEAL:

 March 30, 2022

4	03-30-22	ZONING REVIEW
3	02-28-22	ZONING REVIEW
REV	DATE	ISSUED FOR:

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SHEET TITLE:
APPENDIX B

SHEET NUMBER: **T-2** REVISION: **4**
 TEP#: 51153.468707

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 ⁴ AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}

- ¹ Frontage area increases from Section 506.2 are:
- Perimeter which fronts a public way
 - Total Building Perimeter
 - Ratio (F/P) = _____ (F/P)
 - W = Minimum width of public way
 - Percent of frontage increase = _____ (%)
- ² Unlimited area applicable under conditions of Section 507.
- ³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
- ⁴ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.2.1.
- ⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE	PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)			
Building Height in Stories (Table 504.4)			

¹ Provide code reference if the "Shown on Plans" quantity is not shown.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING		DETAIL # AND SHEET	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
		REQ'D	PROVIDED (w/REDUCTION)*				
Structural Frame, including columns, girders, trusses							
Bearing Walls							
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing Walls and Partitions							
Exterior walls							
North							
East							
West							
South							
Interior walls and partitions							
Floor Construction							
Including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Floors							
Roof Construction, including supporting beams and joists							
Roof Ceiling Assembly							
Columns Supporting Roof							
Shaft Enclosures - Exit							
Shaft Enclosures - Other							
Corridor Separation							
Occupancy/Fire Barrier Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
Tenant/Dwelling Unit/Sleeping Unit Separation							
Incidental Use Separation							

* Indicate section number permitting reduction

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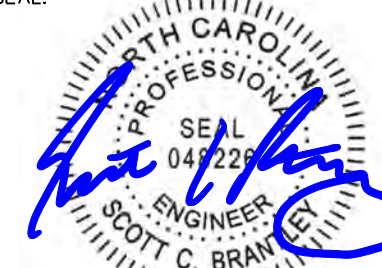
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PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY PLAN REQUIREMENTS

Emergency Lighting: Yes Partial No

Exit Signs: Yes Partial No

Fire Alarm: Yes Partial No

Smoke Detection Systems: Yes Partial No

Panic Hardware: Yes Partial No

- LIFE SAFETY PLAN REQUIREMENTS**
- Life Safety Plan Sheet #: _____
- Fire and/or smoke rated wall locations (Chapter 7)
 - Assumed and real property line locations (if not on the site plan)
 - Exterior wall opening area with respect to distance to assumed property lines (705.8)
 - Occupancy Use for each area as it relates to occupant load (Table 1004.1.2)
 - Occupant loads for each area
 - Exit access travel distances (1017)
 - Common path of travel distances (Tables 1006)
 - Dead end lengths (1020.4)
 - Clear exit widths for each exit door
 - Maximum calculated occupant load that can accommodate based on egress width (1005.3)
 - Actual occupant load for each exit
 - A separate schematic plan indicating floor/ceiling and/or roof structure is provided for purposes of occupancy separation (1010.1.9.1)
 - Location of doors with panic hardware (1010.1.9.2)
 - Location of doors with delayed egress and the amount of delay (1010.1.9.7)
 - Location of doors with electromagnetic egress locks (1010.1.9.9)
 - Location of doors equipped with hold-open devices
 - Location of emergency escape windows (1030)
 - The square footage of each fire area (202)
 - The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
 - Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (TABLE 1106.1)

LOT OR PARKING AREA	TOTAL # OF PARKING REQUIRED	ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE PROVIDED
		WITH AISLE	VAN SPACES WITH 132" ACCESS AISLE / 8' ACCESS AISLE	
TOTAL				

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE	SPACE	WATERCLOSETS			URINALS	LAVATORIES			SHOWERS / TUBS	DRINKING FOUNTAINS	
		MALE	FEMALE	UNISEX		MALE	FEM	UNISEX		REGULAR	ACCESSIBLE
EXIST'G											
NEW											
REQ'D											

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Health, Fire Department, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: No Yes (Provide code of _____ remainder of this section is not applicable)

Exempt Building: No Yes (Provide code of _____)

Climate Zone: 3A 4A _____

Method of Compliance: Energy Prescriptive
AS Prescriptive
(Provide code of _____ here) Prescriptive

THERMAL ENVELOPE (Prescriptive)

Roof/ceiling Assembly (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights in each assembly:
U-Value of skylight: _____
total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Openings (windows or doors with glazing)
U-Value of assembly: _____
Solar heat gain coefficient: _____
projection factor: _____
Door R-Values: _____

Walls below grade (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors slab on grade
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/vertical requirement: _____
slab heated: _____

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)**

DESIGN LOADS:

Importance Factors: Snow (I_s) _____
Seismic (I_e) _____

Live Loads: Roof _____ psf
Mezzanine _____ psf
Floor _____ psf

Ground Snow Load: _____ psf

Wind Load: Basic Wind Speed _____ (ASCE-7)
Exposure Category _____

SEISMIC DESIGN CATEGORY: I II III IV

Provide the following Seismic Design Risk Category (Table 1601.2.2): I II III IV

Spectral Response Acceleration Coefficient (S_a): _____ %g
Site Classification (ASCE 7.9.1): B C D E F
Data Source: Test Presumptive Historical Data

Basic structural system: Bearing Wall Dual w/Special Moment Frame
 Building Frame Dual w/Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum

Analysis Procedure: Simplified Equivalent Lateral Force Dynamic

Architectural, Mechanical, Components anchored? Yes No

LATERAL DESIGN CONTROL: Earthquake Wind

SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) _____ psf
Presumptive Bearing capacity _____ psf
Pile size, type, and capacity _____

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PROJECT INFORMATION:
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NCC010
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RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
N.C. LICENSE # P-1403

SEAL:

SEAL
048228
SCOTT C. BRANTLEY
March 30, 2022

4	03-30-22	ZONING REVIEW
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TEP#: 51153.468707

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)**

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone

winter dry bulb: _____
summer dry bulb: _____

Interior design conditions

winter dry bulb: _____
summer dry bulb: _____
relative humidity: _____

Building heating load: _____

Building cooling load: _____

Mechanical Spacing Conditioning System

Unitary

description of unit: _____
heating efficiency: _____
cooling efficiency: _____
size category of unit: _____

Boiler

Size category. If oversized, state reason.: _____

Chiller

Size category. If oversized, state reason.: _____

List equipment efficiencies: _____

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
ELECTRICAL DESIGN
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)**

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code Performance Prescriptive
ASHRAE 90.1 Performance Prescriptive

Lighting schedule (each fixture type)

lamp type required in fixture _____
number of lamps in fixture _____
ballast type used in fixture _____
number of ballasts _____
total wattage per fixture _____
total interior wattage allowed (whole building or space by space) _____
total exterior wattage allowed _____

**Additional Efficiency Package Options
(When using the 2018 NCECC; not required for ASHRAE 90.1)**

- C406.2 More Efficient HVAC Equipment Performance
- C406.3 Reduced Lighting Power Density
- C406.4 Enhanced Digital Lighting Controls
- C406.5 On-Site Renewable Energy
- C406.6 Dedicated Outdoor Air System
- C406.7 Reduced Energy Use in Service Water Heating

NOT A BUILDING

NOT A BUILDING

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SHEET NUMBER: T-6	REVISION: 4
TEP #: 51153.468707	

GENERAL NOTES:

- ALL REFERENCES MADE TO OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED CITYSWITCH OR ITS DESIGNATED REPRESENTATIVE. ALL REFERENCES MADE TO LESSEE (CITYSWITCH II-A, LLC) IN THESE DOCUMENTS SHALL BE CONSIDERED CITYSWITCH II-A, LLC OR ITS DESIGNATED REPRESENTATIVE.
- ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING TO HAVE SUFFICIENT EXPERIENCE AND ABILITY, IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF NORTH CAROLINA.
- WORK SHALL BE COMPLETED IN ACCORDANCE WITH ANSI/TIA 222-H STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES, ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES AND THE 2018 NORTH CAROLINA BUILDING CODE.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
- ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
- THE LESSEE SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING THE PROPOSAL. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS (LATEST REVISION) SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LESSEE AND THE LESSEE'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE LESSEE AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE LESSEE (CITYSWITCH II-A, LLC) AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES, AND COMPLIANCE WITH LOCAL, PROVINCIAL AND FEDERAL REGULATIONS REGARDING SAFETY, SHALL BE THE CONTRACTOR'S RESPONSIBILITY, AND THIS, PER THE INTERNATIONAL CODE - REGULATORS RESPECTING OCCUPATIONAL SAFETY & HEALTH THE SUCCESSFUL CONTRACTOR WILL SUBMIT HIS SAFETY MANUAL AT THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE LESSEE (CITYSWITCH II-A, LLC)'S PROJECT MANAGER.
- BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR/LESSEE (CITYSWITCH II-A, LLC). CONTRACTOR/LESSEE (CITYSWITCH II-A, LLC) SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
- THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOF-ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE LESSEE. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
- ANY BUILDINGS ON THIS SITE ARE INTENDED TO SHELTER EQUIPMENT WHICH WILL ONLY BE PERIODICALLY MAINTAINED, AND ARE NOT INTENDED FOR HUMAN OCCUPANCY.
- TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- RENTAL CHARGES, SAFETY, PROTECTION AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO PRIOR TO THE START OF THE WORK ON THE PROJECT.

- THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY SERVICES TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REQUIREMENTS FOR NEW UTILITY CONNECTIONS PRIOR TO EXCAVATING. CONTRACTOR WILL BE RESPONSIBLE TO ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION BEFORE PROJECT COMPLETION. (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY, ETC...)
- THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR A FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF HOLDBACK.
- AWARDED CONTRACTOR WILL BE REQUIRED TO SIGN AND RETURN A COPY OF AN AWARD LETTER FOR THE LESSEE (CITYSWITCH II-A)'S FILE.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN JURISDICTION AT TIME OF BID AWARD.
- CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION STARTING AND WILL PROVIDE UPDATE/CHANGES (WITH EXPLANATIONS) TO THAT SCHEDULE WHEN/IF ITEMS ARE DELAYED OR PUSHED OUT.
- CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE PROJECT MANAGERS WITH PHOTOS OF THE MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
- CONTRACTOR SHOULD BE PREPARED FOR RANDOM SAFETY INSPECTIONS AT ALL TIMES.
- CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER LOCAL AND FEDERAL STANDARDS AT ALL TIMES.
- CONTRACTOR WILL BE REQUIRED TO OBTAIN THE NECESSARY ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY JURISDICTION.
- CONTRACTOR IS RESPONSIBLE FOR CONCRETE COMPRESSION TESTING.
- CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTING AND PROVIDING PROOF OF RESULT.
- WHEN REQUESTED, PROVIDE 3 COPIES OF FABRICATION AND ERECTION DRAWINGS PRIOR TO FABRICATION. ALLOW UP TO 1 WEEK FOR REVIEW BY CONSULTANT.
- IN ADDITION TO CONTRACTOR'S QUALITY CONTROL PROGRAM, INDEPENDENT TESTING AND INSPECTION MAY BE PERFORMED BY LESSEE (CITYSWITCH II-A, LLC) OR LESSEE (CITYSWITCH II-A, LLC)'S REPRESENTATIVE.
- SUBMIT RED-LINES COPY OF CONSTRUCTION DRAWINGS UPON COMPLETION OF CONSTRUCTION HIGHLIGHTING CHANGES IN THE STAMPED AND SIGNED AS-BUILT CONDITION FROM SHOWN ON THE DRAWINGS.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL GRADING AND FILL COMPACTION TESTING REQUIRED AS SET FORTH IN THE GEO TECHNOLOGICAL REPORT PROVIDED BY LESSEE (CITYSWITCH II-A, LLC).

CONCRETE:

- ALL CONCRETE AND CONCRETE MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 NORTH CAROLINA BUILDING CODE.
- THE CONTRACTOR SHALL TAKE SAMPLES OF THE CONCRETE POURED UNDER THE CONDITIONS OUTLINED IN THE 2018 NORTH CAROLINA BUILDING CODE.
- ANY FAILURE OF A CONCRETE TEST CYLINDER TO MEET THE SPECIFIED STRENGTH REQUIREMENTS MUST BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY. CORRECTIVE ACTION MUST BE APPROVED BY THE ENGINEER AND ALL RELATED COSTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- THE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF THE CONCRETE SHALL BE A MINIMUM OF 3,000 PSI (21 MPA), EXCEPT AS NOTED OR DIRECTED IN THE SOIL REPORT. THE CONCRETE, WHEN POURED, SHALL CONTAIN 7% AIR ENTRAINMENT WITH AN ALLOWABLE VARIATION OF +2%.
- CONTRACTOR MUST TAKE SLUMP TEST AT LEAST ONCE FROM EACH TRANSIT MIXER AFTER A MINIMUM OF 5% CONCRETE LOAD HAD BEEN DISCHARGED. SLUMP, UNLESS NOTED OTHERWISE ON THE DRAWINGS, SHALL BE 75 MM (2.95 INCHES).
- MIXED CONCRETE ON SITE (REMOTE AREAS) WITH THE CORRECT PROPORTION OF CEMENT, SAND, GRAVEL, AND AIR-ENTRAINING AGENT ALREADY ADDED, THE DRY PREMIX IS TO BE MIXED IN A CONCRETE BATCHER IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- BEFORE POURING CONCRETE, THE TRANSPORTING EQUIPMENT AND FORMS SHALL BE CLEANED AND ALL DEBRIS AND ICE SHALL BE REMOVED FROM PLACES TO BE OCCUPIED BY THE CONCRETE. ANY WATER THAT HAS ACCUMALATED IN THE FORMS SHALL BE REMOVED.
- ALL CONCRETE SHALL BE VIBRATED AND WORKED AROUND THE REINFORCEMENTS, EMBEDDED FIXTURES AND INTO THE CORNERS OF THE FORMS. ANY EXCESS WATER THAT ACCUMULATES WHILE THE CONCRETE IS BEING POURED SHALL BE REMOVED.

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300
GREENSBORO, NC 27455

PLANS PREPARED FOR:



1900 CENTURY PLACE NE, SUITE 320
ATLANTA, GA 30345

PLANS PREPARED FOR:



5000 CENTRE GREEN WAY, FIFTH FLOOR
CARY, NC 27513

PROJECT INFORMATION:

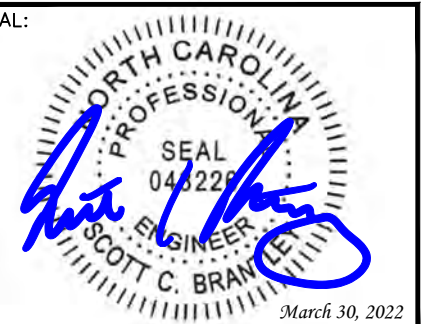
CITYSWITCH II-A, LLC #:
NCC010

FA LOCATION: 10575504
0 TROLLINGWOOD HAWFIELDS RD (TBD)
MEBANE, NC 27302
PARCEL ID #:170381
(TOWNSHIP OF MELVILLE)
(ALAMANCE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
N.C. LICENSE # P-1403

SEAL:



4	03-30-22	ZONING REVIEW
3	02-28-22	ZONING REVIEW
REV	DATE	ISSUED FOR:

DRAWN BY: AMS | CHECKED BY: GLB

SHEET TITLE:

GENERAL NOTES I

SHEET NUMBER: | REVISION:

N-1

4

TEP #: 51153.468707

CONCRETE (CONTINUED):

9. THE DESIGN ENGINEER SHALL RECEIVE A MINIMUM OF 24 HOURS NOTICE OF EVERY POUR.
10. THE CONCRETE IN FOUNDATIONS MUST BE POURED IN CONTINUOUS POURS BETWEEN CONSTRUCTION JOINTS. NO CONSTRUCTION JOINTS OTHER THAN THOSE SHOWN ON SITE SPECIFIC DRAWINGS WILL BE PERMITTED. THE CONTRACTOR SHALL PROVIDE EFFICIENT EQUIPMENT TO COMPLETE THE POURING OF EACH SECTION IN ONE CONTINUOUS POUR.
11. ALL FRAMEWORK SHALL BE BUILT IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE SHALL BE THOROUGHLY BRACED AND PLUMBED SO THAT THE FINISHED CONCRETE WILL CONFORM TO THE SHAPES, LINES, GRADES, AND DIMENSIONS INDICATED ON THE SITE DRAWINGS.
12. FORMS AND SHORING SHALL NOT BE REMOVED UNTIL THE CONCRETE IS ADEQUATELY SET. THEIR REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO ENSURE THE COMPLETE SAFETY OF THE STRUCTURE.
13. FORMS WHICH SUPPORT THE WEIGHT OF THE CONCRETE, OR OF SUPERIMPOSED LOADS, SHALL NOT BE REMOVED UNTIL THE CONCRETE IS STRONG ENOUGH TO CARRY ITS OWN WEIGHT, AND SUCH SUPERIMPOSED LOADS AS MAY BE PLACED UPON IT.
14. THE CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR AT LEAST 5 DAYS AFTER IT HAS BEEN POURED.
15. ALL SURFACES WHICH ARE NOT PROTECTED BY FORMS OR A SEALED WATERPROOF COATING SHALL BE KEPT MOIST BY CONTINUOUS SPRINKLING, OR OTHER MEANS SUCH AS COVERING WITH MOIST SAND, SAWDUST, OR BURLAP.
16. WHERE NECESSARY, THE CONCRETE SHALL BE PROTECTED AGAINST THE WEATHER BY A FRAMED HOUSING, TARPAULINS, OR OTHER SUITABLE COVERING.

REINFORCING STEEL (REBAR):

1. REINFORCING STEEL SHALL MEET CODE AND BE PLACED ACCORDING TO THE APPLICABLE DRAWINGS. THE MINIMUM THICKNESS OF CONCRETE OVER THE STEEL SHALL BE AT LEAST 3".
2. ALL REINFORCEMENTS THAT ARE REQUIRED FOR A DAYS POUR ON CONCRETE SHALL BE SECURELY FIXED IN PLACE IN SUFFICIENT TIME TO PERMIT INSPECTION BEFORE CONCRETING BEGINS.
3. THE DESIGN ENGINEER SHALL BE GIVEN 24 HOURS NOTICE BEFORE THE CONCRETE IS TO BE POURED. FAILURE TO COMPLY MAY NECESSITATE, BUT NOT BE LIMITED TO, THE REMOVAL OF THE POURED CONCRETE AT THE CONTRACTOR'S EXPENSE.

GROUTING:

1. WHERE GROUT IS INDICATED ON THE DRAWINGS UNDER STRUCTURAL BASE PLATES, THIS SHALL BE A NON-SHRINK, NON-FERROUS TYPE. METHODS OF MIXING AND PLACING MUST BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

COLD WEATHER CONCRETING:

1. THE CONTRACTOR SHALL PROVIDE AND HAVE ON THE SITE READY FOR USE, ADEQUATE EQUIPMENT FOR HEATING CONCRETE MATERIALS AND PROTECTING FRESH CONCRETE DURING FREEZING OR NEAR FREEZING WEATHER CONDITIONS, ACCORDING TO THE NORTH CAROLINA BUILDING CODE 2018 EDITION.
2. ALL CONCRETE MATERIALS, REBAR, FORMS, FILLERS, AND THE EARTH WITH WHICH THE CONCRETE IS TO COME INTO CONTACT WITH, SHALL BE FREE FROM FROST AND ICE.
3. WHENEVER THE SURROUNDING TEMPERATURE IS BELOW 39°F, ALL CONCRETE POURED IN THE FORMS SHALL HAVE A TEMPERATURE OF 68°F FOR 4 DAYS.
4. THE HOUSING, COVERING, OR OTHER PROTECTION USED FOR THE CURING SHALL REMAIN IN PLACE AND INTACT FOR AT LEAST 24 HOURS AFTER THE ARTIFICIAL HEATING IS DISCONTINUED.
5. SALT, CALCIUM CHLORIDE, OR OTHER CHEMICALS SHALL NOT BE USED IN THE CONCRETE MIX TO PREVENT THE WATER CONTENT FROM FREEZING.

UTILITIES:

1. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. LOCATION OF EXISTING SEWER, WATER LINES, GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATELY CORRECT. CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OF ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, OR IF THERE APPEARS TO BE A CONFLICT.
2. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY LESSEES AND CONSTRUCTION MANAGER.
3. DAMAGE BY THE CONTRACTOR TO UTILITIES OR PROPERTY OF OTHERS, INCLUDING EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE LESSEE (CITYSWITCH II-A, LLC). FOR GRASSES AREAS, SEED AND MULCH SHALL BE ACCEPTABLE.
4. THE CONTRACTOR SHALL COORDINATE WITH THE LESSEE (CITYSWITCH II-A, LLC) THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
5. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF NEW UNDERGROUND TELEPHONE SERVICE WITH THE TELEPHONE UTILITY AND THE LESSEE (CITYSWITCH II-A, LLC)'S REQUIREMENTS.
6. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORY PRIOR TO COMMENCING ANY PAVING OPERATIONS WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300
GREENSBORO, NC 27455

PLANS PREPARED FOR:



1900 CENTURY PLACE NE, SUITE 320
ATLANTA, GA 30345

PLANS PREPARED FOR:



5000 CENTRE GREEN WAY, FIFTH FLOOR
CARY, NC 27513

PROJECT INFORMATION:

CITYSWITCH II-A, LLC #:

NCC010

FA LOCATION: 10575504

0 TROLLINGWOOD HAWFIELDS RD (TBD)
MEBANE, NC 27302
PARCEL ID #: 170381
(TOWNSHIP OF MELVILLE)
(ALAMANCE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
N.C. LICENSE # P-1403

SEAL:



4	03-30-22	ZONING REVIEW
3	02-28-22	ZONING REVIEW
REV	DATE	ISSUED FOR:

DRAWN BY: AMS | CHECKED BY: GLB

SHEET TITLE:

**GENERAL
NOTES II**

SHEET NUMBER: | REVISION:

N-2

4

TEP #: 51153.468707



VICINITY MAP n.t.s.

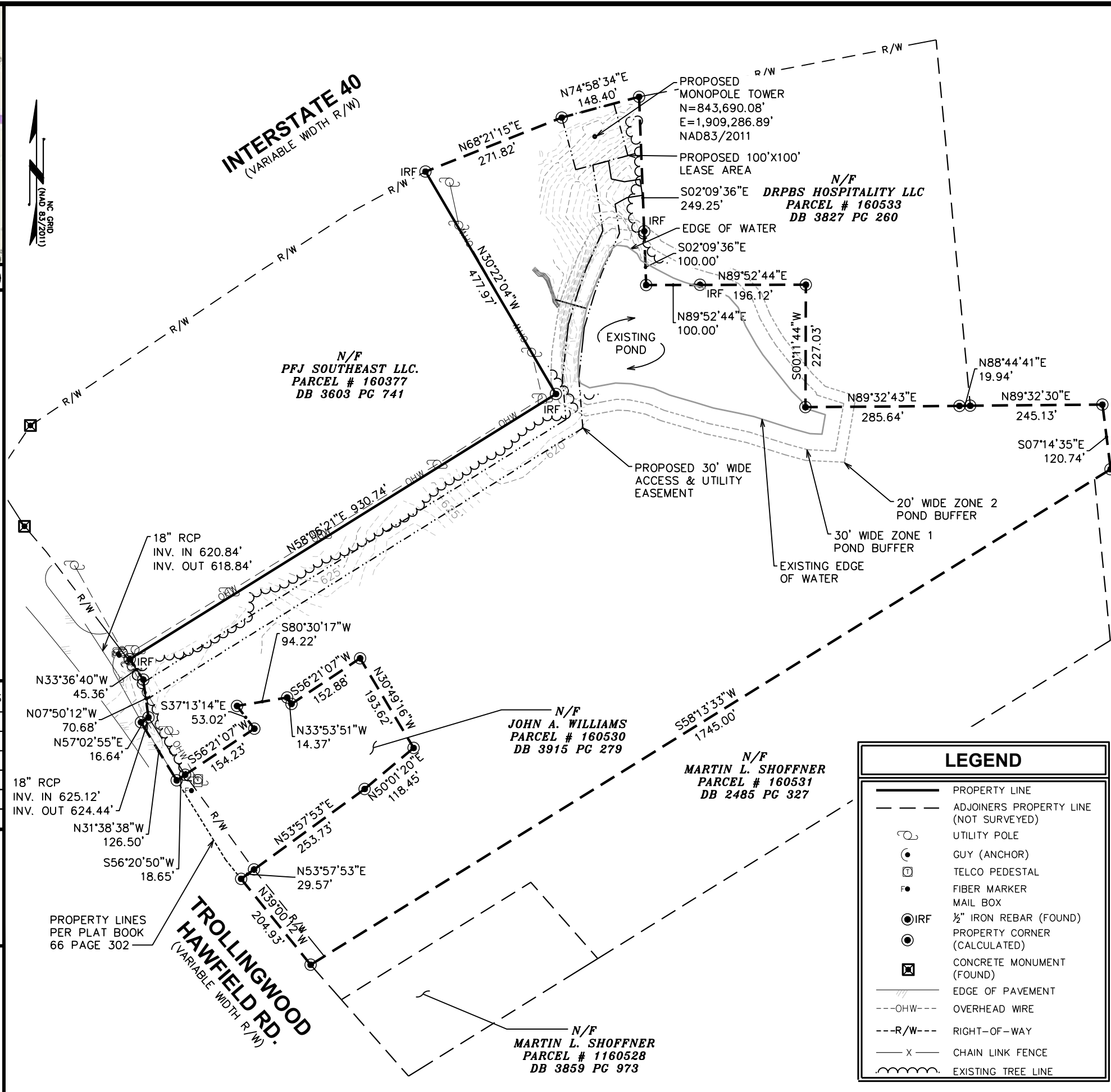
- NOTES:**
1. BASIS OF THE BEARINGS AND COORDINATES IS THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (NAD 83/2011) BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON DECEMBER 17, 2021; TIED TO THE NATIONAL SPATIAL REFERENCE SYSTEM VIA CORS STATIONS; AND EXPRESSED IN US SURVEY FEET. ALL DISTANCES ARE NC GRID DISTANCES.
 2. AREA COMPUTED BY COORDINATE GEOMETRY
 3. DEED REFERENCE: DEED BOOK 3915, PAGE 279
 4. (PLAT REFERENCE: PLAT BOOK 73, PAGE 102)
 5. PID # 170381
 6. THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS, RIGHTS-OF-WAY, ABANDONMENTS, OR RESTRICTIONS NOT SHOWN AND IS NOT AN ALTA/NSPS LAND TITLE SURVEY.
 7. ALL PROPERTY OWNERSHIPS WERE TAKEN FROM CURRENT COUNTY TAX MAP RECORDS AND/OR RECORDED PLATS ONLY
 8. BY GRAPHIC DETERMINATION THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X", AREA DETERMINED TO BE OUTSIDE 0.2% CHANCE OF ANNUAL FLOOD BASED UPON FEMA COMMUNITY PANEL# 3710980400K, EFFECTIVE NOVEMBER 17, 2017.
 9. LESSEE INFORMATION:
MOUNTAIN, LTD.
5000 CENTRE GREEN WAY, FIFTH FLOOR
CARY, NC 27511
 10. PROPERTY OWNER INFORMATION:
TROLLINGWOOD-HAWFIELDS LLC
1436 TROLLINGWOOD HAWFIELDS RD.
MEBANE, NC 27302

REV	DATE	ISSUED FOR	INITIALS
0	01/07/2022	PRELIMINARY	DDS
1	01/20/2022	FINAL	DDS
2	03/25/2022	REVISIONS	DDS

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS (G.S. 47-30(n))

1A CERTIFICATE

LATITUDE: N 36° 04' 03.79" (NAD '83/2011)
 LONGITUDE: W 79° 18' 24.94" (NAD '83/2011)
 GROUND ELEV. (AMSL): 606.58± (NAVD '88)



LEGEND

	PROPERTY LINE
	ADJOINERS PROPERTY LINE (NOT SURVEYED)
	UTILITY POLE
	GUY (ANCHOR)
	TELCO PEDESTAL
	FIBER MARKER
	MAIL BOX
	IRF 1/2" IRON REBAR (FOUND)
	PROPERTY CORNER (CALCULATED)
	CONCRETE MONUMENT (FOUND)
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	RIGHT-OF-WAY
	CHAIN LINK FENCE
	EXISTING TREE LINE

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 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 (919) 661-6351
 COA # P-1403

SHEET #: 1 OF 3 | TEP #: 151153

TOPOGRAPHIC SURVEY

I, Alan H. Allbert, certify that this plat was drawn under my supervision from an actual survey performed under my supervision (deed description recorded in Book 3915, page 2719, etc.) (other); that the boundaries not surveyed are clearly indicated as drawn from information found in Plat Book 73, page 102; that the ratio of precision as calculated is 1:10,000; that the Global Positioning System (GPS) survey and the following information was used to perform the GPS (GNSS if dual constellations are used) survey:
 Class of survey: Class A
 Positional accuracy: 0.06
 Type of GPS field procedure: Real-Time Kinematic
 Dates of survey: December 17, 2021
 Datum/Epoch: Horizontal Datum is NAD 83/2011
 Vertical Datum is NAVD 88
 Published/Fixed-control use: VRS
 Geoid model: GEOID18
 Combined grid factor(s): 0.999949
 Units: U.S. Survey Feet
 That this map meets the requirements of the standards of practice for land surveying in North Carolina (21 NCAC 56.1600).
 Witness my original signature and seal this the 20th day of January, 2022.



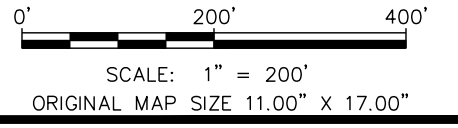
Alan H. Allbert
ALAN H. ALLBERT
 NORTH CAROLINA PLS # L-3738

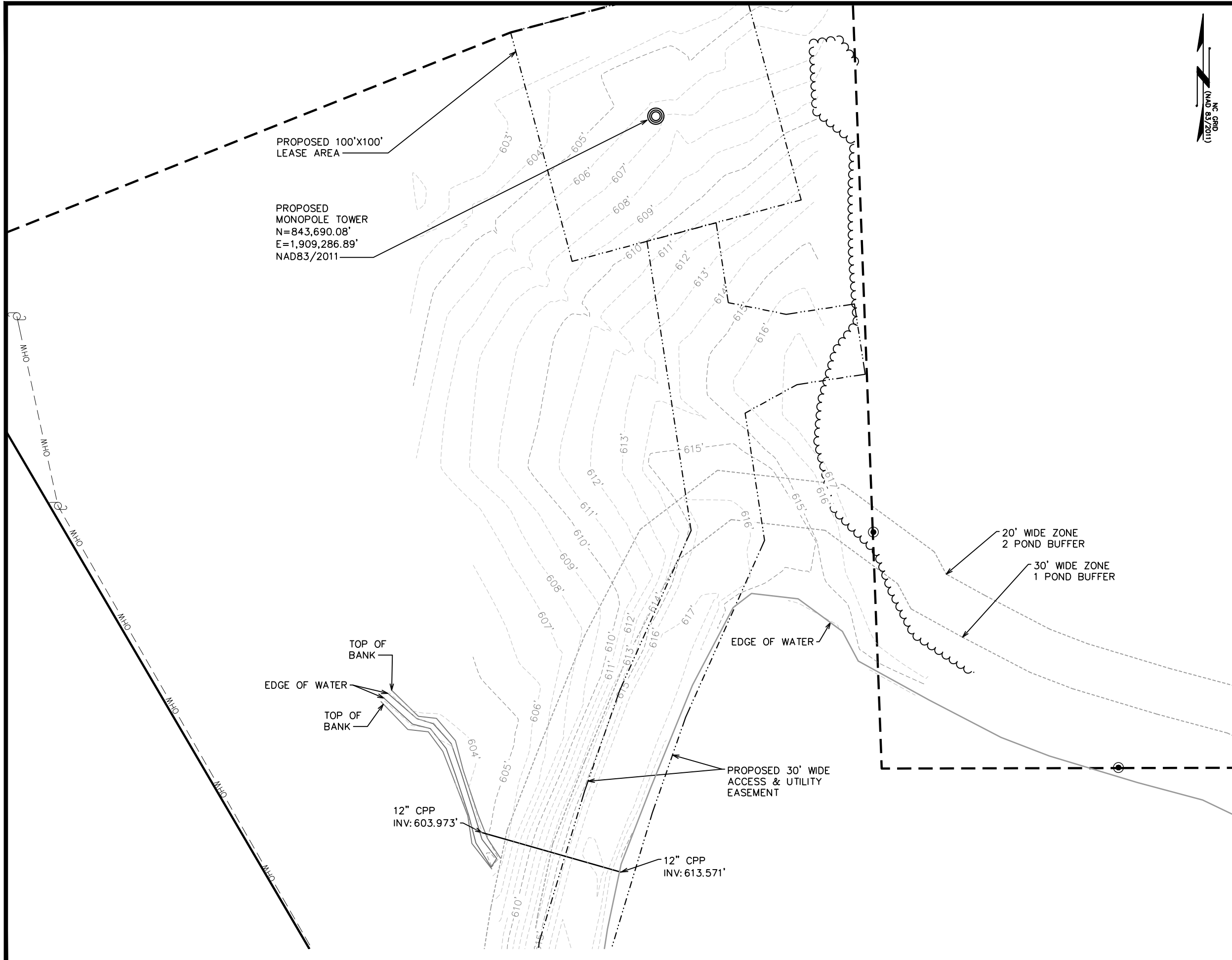
PROJECT INFORMATION:
CITYSWITCH II-A, LLC #:
NC010
FA LOCATION: 10575504
 0 TROLLINGWOOD HAWFIELDS RD (TBD)
 MEBANE, NC 27302
 PARCEL ID #: 170381
 (TOWNSHIP OF MELVILLE)
 (ALAMANCE COUNTY)

PRELIMINARY TELECOMMUNICATIONS SURVEY PREPARED FOR:



5000 CENTRE GREEN WAY
 FIFTH FLOOR
 CARY, NC 27511
 FIELD WORK PERFORMED ON: 12/17/21





TEP ENGINEERING, PLLC
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 (919) 661-6351
 COA # P-1403

SHEET #: 2 OF 3 | TEP #: 151153

ENLARGED SITE DETAIL

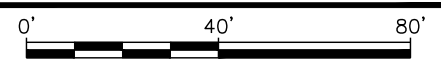


Alan H. Allbert
 ALAN H. ALLBERT
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 MEBANE, NC 27302
 PARCEL ID #: 170381
 (TOWNSHIP OF MELVILLE)
 (ALAMANCE COUNTY)

PRELIMINARY TELECOMMUNICATIONS SURVEY
 PREPARED FOR:

MOUNTAIN, LTD.
 5000 CENTRE GREEN WAY
 FIFTH FLOOR
 CARY, NC 27511
 FIELD WORK PERFORMED ON: 12/17/21



SCALE: 1" = 40'
 ORIGINAL MAP SIZE 11.00" X 17.00"

REV	DATE	ISSUED FOR	INITIALS
0	01/07/2022	PRELIMINARY	DDS
1	01/20/2022	FINAL	DDS
2	03/25/2022	REVISIONS	DDS

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N74°58'34"E	100.00'
L2	S15°01'26"E	100.00'
L3	S74°58'34"W	100.00'
L4	N15°01'26"W	100.00'
L5	N58°06'21"E	922.33'
L6	N04°39'33"W	77.17'
L7	N06°10'48"E	75.59'
L8	N16°43'34"E	66.60'
L9	N19°12'34"E	44.66'
L10	N24°02'42"E	74.17'
L11	N08°40'25"W	123.43'
L12	N74°58'34"E	30.19'
L13	S08°40'25"E	34.09'
L14	S78°32'35"E	24.93'
L15	N81°19'35"E	29.09'
L16	S08°40'25"E	30.00'
L17	S81°19'35"W	29.09'
L18	S61°11'44"W	24.93'
L19	S08°40'25"E	54.33'
L20	S24°02'42"W	81.71'
L21	S19°12'34"W	42.75'
L22	S16°43'34"W	63.12'
L23	S06°10'48"W	72.80'
L24	S04°39'33"E	92.63'
L25	S58°06'21"W	954.02'
L26	N07°50'12"W	32.85'

POINT OF BEGINNING
PROPOSED 30' WIDE ACCESS
& UTILITY EASEMENT
N=842,678.16'
E=1,908,450.19'
NAD 83/2011

POINT OF BEGINNING
PROPOSED 100'X100'
LEASE AREA
N=843,725.41'
E=1,909,225.63'
NAD 83/2011

PROPOSED MONOPOLE
TOWER
N=843,690.08'
E=1,909,286.89'
NAD83/2011

INTERSTATE 40
(PUBLIC R/W VARIES)

POINT OF COMMENCEMENT
N=843,625.21'
E=1,908,972.81'
NAD 83/2011

LEGAL DESCRIPTION OF 100' X 100' LEASE AREA

ALL THAT CERTAIN LEASE AREA, SITUATED, LYING AND BEING IN MELVILLE TOWNSHIP, ALAMANCE COUNTY, NORTH CAROLINA, BEING A PORTION OF THE LANDS DESCRIBED IN DEED BOOK 3915 AT PAGE 279 OF THE ALAMANCE COUNTY REGISTER OF DEEDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN EXISTING IRON REBAR BEING A NORTHWESTERLY CORNER OF THE PARCEL DESCRIBED IN DEED BOOK 3915, PAGE 279, HAVING NORTH CAROLINA STATE PLANE COORDINATES OF NORTHING = 843,625.21', AND EASTING = 1,908,972.81'; THENCE, FROM THE POINT OF COMMENCEMENT, NORTH 68°21'15" EAST A DISTANCE OF 271.82 FEET TO A POINT ON THE NORTHWEST CORNER OF THE HEREIN DESCRIBED 100' X 100' LEASE AREA, SAID POINT BEING THE TRUE POINT OF BEGINNING, HAVING NORTH CAROLINA STATE PLANE COORDINATES OF NORTHING = 843,725.41', AND EASTING = 1,909,225.63'; THENCE, FROM THE POINT OF BEGINNING, NORTH 74°58'34" EAST A DISTANCE OF 100.00 FEET TO A POINT; THENCE SOUTH 15°01'26" EAST A DISTANCE OF 100.00 FEET TO A POINT; THENCE SOUTH 74°58'34" WEST A DISTANCE OF 100.00 FEET TO A POINT; THENCE NORTH 15°01'26" WEST A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING.

SAID LEASE AREA CONTAINING 10,000 SQUARE FEET OR 0.23 ACRES MORE OR LESS.

LEGAL DESCRIPTION OF 30' ACCESS & UTILITY EASEMENT

ALL THAT CERTAIN EASEMENT AREA, SITUATED, LYING AND BEING IN MELVILLE TOWNSHIP, ALAMANCE COUNTY, NORTH CAROLINA, BEING A PORTION OF THE LANDS DESCRIBED IN DEED BOOK 3915 AT PAGE 279 OF THE ALAMANCE COUNTY REGISTER OF DEEDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN EXISTING IRON REBAR BEING A NORTHWESTERLY CORNER OF THE PARCEL DESCRIBED IN DEED BOOK 3915, PAGE 279, HAVING NORTH CAROLINA STATE PLANE COORDINATES OF NORTHING = 843,625.21', AND EASTING = 1,908,972.81'; THENCE, FROM THE POINT OF COMMENCEMENT, SOUTH 28°54'04" WEST A DISTANCE OF 1081.71 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF TROLLINGWOOD HAWFIELD ROAD, ALSO BEING A SOUTHWESTERLY CORNER OF THE HEREIN DESCRIBED 30' ACCESS AND UTILITY EASEMENT, SAID POINT BEING THE TRUE POINT OF BEGINNING HAVING NORTH CAROLINA STATE PLANE COORDINATES OF: NORTHING = 842,678.16'; AND EASTING = 1,908,450.19'; THENCE, FROM THE POINT OF BEGINNING AND LEAVING SAID EASTERLY RIGHT OF WAY, NORTH 58°06'21" EAST A DISTANCE OF 922.33 FEET TO A POINT; THENCE NORTH 04°39'33" WEST A DISTANCE OF 77.17 FEET TO A POINT; THENCE NORTH 06°10'48" EAST A DISTANCE OF 75.59 FEET TO A POINT; THENCE NORTH 16°43'34" EAST A DISTANCE OF 66.60 FEET TO A POINT; THENCE NORTH 19°12'34" EAST A DISTANCE OF 44.66 FEET TO A POINT; THENCE NORTH 24°02'42" EAST A DISTANCE OF 74.17 FEET TO A POINT; THENCE NORTH 08°40'25" WEST A DISTANCE OF 123.43 FEET TO A POINT; THENCE NORTH 74°58'34" EAST A DISTANCE OF 30.19 FEET TO A POINT; THENCE SOUTH 08°40'25" EAST A DISTANCE OF 34.09 FEET TO A POINT; THENCE SOUTH 78°32'35" EAST A DISTANCE OF 24.93 FEET TO A POINT; THENCE NORTH 81°19'35" EAST A DISTANCE OF 29.09 FEET TO A POINT; THENCE SOUTH 08°40'25" EAST A DISTANCE OF 30.00 FEET TO A POINT; THENCE SOUTH 81°19'35" WEST A DISTANCE OF 29.09 FEET TO A POINT; THENCE SOUTH 61°11'44" WEST A DISTANCE OF 24.93 FEET TO A POINT; THENCE SOUTH 08°40'25" EAST A DISTANCE OF 54.33 FEET TO A POINT; THENCE SOUTH 24°02'42" WEST A DISTANCE OF 81.71 FEET TO A POINT; THENCE SOUTH 19°12'34" WEST A DISTANCE OF 42.75 FEET TO A POINT; THENCE SOUTH 16°43'34" WEST A DISTANCE OF 63.12 FEET TO A POINT; THENCE SOUTH 06°10'48" WEST A DISTANCE OF 72.80 FEET TO A POINT; THENCE SOUTH 04°39'33" WEST A DISTANCE OF 92.63 FEET TO A POINT; THENCE SOUTH 58°06'21" WEST A DISTANCE OF 954.02 FEET TO A POINT ON SAID EASTERLY RIGHT OF WAY; THENCE, WITH SAID EASTERLY RIGHT OF WAY, NORTH 07°50'12" WEST A DISTANCE OF 32.85 FEET TO THE TRUE POINT OF BEGINNING.

SAID EASEMENT AREA CONTAINING 44,858.16 SQUARE FEET OR 1.03 ACRES MORE OR LESS.

TEP ENGINEERING, PLLC
326 TRYON ROAD
RALEIGH, NC 27603-3530
(919) 661-6351
COA # P-1403

SHEET #: 3 OF 3 | TEP #: 151153

LEGAL DESCRIPTIONS



Alan H. Allbert
ALAN H. ALLBERT
NORTH CAROLINA PLS # L-3738

PROJECT INFORMATION:

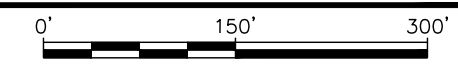
CITYSWITCH II-A, LLC #:
NC010
FA LOCATION: 10575504
0 TROLLINGWOOD HAWFIELDS RD (TBD)
MEBANE, NC 27302
PARCEL ID #: 170381
(TOWNSHIP OF MELVILLE)
(ALAMANCE COUNTY)

PRELIMINARY TELECOMMUNICATIONS SURVEY
PREPARED FOR:



MOUNTAIN, LTD.
5000 CENTRE GREEN WAY
FIFTH FLOOR
CARY, NC 27511

FIELD WORK PERFORMED ON: 12/17/21



SCALE: 1" = 150'
ORIGINAL MAP SIZE 11.00" X 17.00"

REV	DATE	ISSUED FOR	INITIALS
0	01/07/2022	PRELIMINARY	DDS
1	01/20/2022	FINAL	DDS
2	03/25/2022	REVISIONS	DDS

**TROLLINGWOOD
HAWFIELD RD.**
(PUBLIC R/W VARIES)

NOTES:

1. BASIS OF THE BEARINGS AND COORDINATES IS THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (NAD 83/2011) BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON NOVEMBER 19, 2020 & DECEMBER 17, 2021.
2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88), IS EXPRESSED IN FEET.
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X", (AREA DETERMINED TO BE OUTSIDE 0.2% CHANCE OF ANNUAL FLOOD) ACCORDING TO FEMA COMMUNITY PANEL# 3710980400K, EFFECTIVE NOVEMBER 17, 2017.
5. EXISTING VEGETATION SHALL BE UTILIZED IN LIEU OF LANDSCAPING UNLESS EXISTING VEGETATION WITHIN THE PROPOSED LANDSCAPING BUFFER DOES NOT MEET LANDSCAPING REQUIREMENTS PER ARTICLE 6-3 OF THE CITY OF MEBANE UNIFIED DEVELOPMENT ORDINANCE.
6. NO RESIDENTIALLY ZONED STRUCTURES ARE LOCATED WITHIN 370' (2x TOWER HEIGHT) OF THE PROPOSED TOWER.
7. TOWER SETBACKS (PER CITY OF MEBANE UDO SECTION 4-7.9.E(2)(g)(ii):
 - ADJACENT PARCEL BOUNDARIES: (FALL ZONE) = 50'
 - REQUIRED SETBACK FROM PARCEL BOUNDARIES IS 100' OR ONE FOOT FOR EVERY FOOT OF TOWER HEIGHT (WHICHEVER IS GREATER). REQUIRED SETBACK IS 185'. REDUCTION IN SETBACK REQUIRES A SPECIAL USE PERMIT. THIS IS MET WITH FALL ZONE OF 50'. REFERENCE THE FALL ZONE LETTER FROM SABRE INDUSTRIES, DATED JANUARY 24, 2022.
 - PUBLIC RIGHT-OF-WAY: $(1.0) * (\text{TOWER HEIGHT}) = (1.0) * (185') = 185'$
 - RESIDENTIAL STRUCTURES: $(2.0) * (\text{TOWER HEIGHT}) = (2.0) * (185') = 370'$
 - NEAREST RESIDENTIAL STRUCTURE IS APPROXIMATELY 1,309' FROM PROPOSED TOWER CENTERLINE.
8. PROPOSED SITE LOCATION IS NOT WITHIN THE 5%/70% DISTRICT.

PROPOSED 60'x60' CHAIN LINK FENCED COMPOUND WITH PVT SLAT INSERTS WITHIN 100'x100' LEASE AREA. SEE SHEET C-2 FOR DETAILS.

PROPOSED RETAINING WALL. DESIGN BY TEP TBD.

PROPOSED 175' MONOPOLE TOWER. SEE SHEET C-3 FOR ELEVATION.

PROPOSED 50' FALL ZONE. SEE NOTE 7.

EXISTING TOP OF BANK

EXISTING EDGE OF WATER

EXISTING 12"Ø HDPE

N/F
PFJ SOUTHEAST LLC.
PARCEL # 160377
DB 3603 PG 741
LAND USE: CONVENIENCE STORE/GAS
ZONING: B-2

INTERSTATE 40
(VARIABLE WIDTH R/W)

PROPOSED LANDSCAPING BUFFER. SEE SHEET L-1 FOR DETAILS.

PROPOSED 20'x70' GRAVEL TURNAROUND AREA

PROPOSED CULVERT. DESIGN BY TEP TBD.

EXISTING EDGE OF WATER

30' WIDE ZONE 1 POND BUFFER

N/F
DRPBS HOSPITALITY LLC.
PARCEL # 160533
LAND USE: VACANT COMMERCIAL LAND
ZONING: B-2

N/F
TROLLINGWOOD HAWFIELDS LLC.
PARCEL # 170381
DB 3915 PG 279
PB 66 PG 302
LAND USE: VACANT COMMERCIAL LAND
ZONING: M-2 & B-2

N/F
JOHN A. WILLIAMS
PARCEL # 160530
DB 3915 PG 279
LAND USE: RESIDENTIAL
ZONING: B-2

PROPOSED 50 L.F. GRAVEL TRANSITION TAPER. SEE SHEET C-5 FOR DETAILS.

N/F
MARTIN L. SHOFFNER
PARCEL # 160531
DB 2485 PG 327
LAND USE: VACANT INDUSTRIAL LAND
ZONING: M-2

N/F
MARTIN L. SHOFFNER
PARCEL # 1160528
DB 3859 PG 973
LAND USE: SINGLE FAMILY
ZONING: R-2

EXISTING 18"Ø RCP

PROPOSED CULVERT. DESIGN BY TEP TBD.

PROPOSED 20' WIDE DRIVEWAY CONNECTION. SEE SHEETS C-5 & C-6 FOR DETAILS.

EXISTING 18"Ø RCP TO BE REMOVED

LEGEND	
	EXIST. PROPERTY LINE
	EXIST. UTILITY POLE
	EXIST. TELCO PEDESTAL
	PROPERTY CORNER
	EXIST. CONTOUR LINE
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	RIGHT-OF-WAY
	CHAIN LINK FENCE
	EXISTING TREE LINE

TROLLINGWOOD HAWFIELD RD.
(VARIABLE WIDTH R/W)

POND BUFFER SITE DATA TABLE	
ZONE 1 APPROXIMATE LIMITS OF DISTURBANCE:	0.05 ACRES±, (2,348 SF)
ZONE 2 APPROXIMATE LIMITS OF DISTURBANCE:	0.07 ACRES±, (3,160 SF)

SITE DATA TABLE	
TOTAL PARCEL AREA:	26.76 ACRES±, (1,165,778 SF)
EXISTING IMPERVIOUS:	0.44 ACRES±, (18,966 SF) (1.6%)
PROPOSED IMPERVIOUS:	0.64 ACRES±, (27,816 SF) (2.4%)
TOTAL IMPERVIOUS:	1.08 ACRES±, (46,782 SF) (4.0%)
TOTAL PROPOSED DISTURBED AREA:	1.16 ACRES±, (50,617 SF) (4.3%)
SOIL TYPES:	CULLEN CLAY LOAM, WYNOTT-ENON COMPLEX

PLANS PREPARED FOR:

2002 PISGAH CHURCH ROAD, SUITE 300
GREENSBORO, NC 27455

PLANS PREPARED FOR:

1900 CENTURY PLACE NE, SUITE 320
ATLANTA, GA 30345

PLANS PREPARED FOR:

5000 CENTRE GREEN WAY, FIFTH FLOOR
CARY, NC 27513

PROJECT INFORMATION:

CITYSWITCH II-A, LLC #:
NCC010

FA LOCATION: 10575504
0 TROLLINGWOOD HAWFIELDS RD (TBD)
MEBANE, NC 27302
PARCEL ID #: 170381
(TOWNSHIP OF MELVILLE)
(ALAMANCE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
N.C. LICENSE # P-1403

SEAL:

May 27, 2022

REV	DATE	ISSUED FOR:
5	05-27-22	ZONING REVIEW
4	03-30-22	ZONING REVIEW

DRAWN BY: AMS | CHECKED BY: GLB

SHEET TITLE:

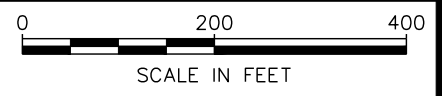
SITE PLAN

SHEET NUMBER: **C-1** | REVISION: **5**

TEP#: 151153.468707

SITE PLAN

SCALE: 1" = 200'



NOTES:

1. THE SITE PLAN BELOW IS REPRODUCED FROM INFORMATION PROVIDED BY CITY OF MEBANE GIS MAPS. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IS AS INDICATED ON THE SITE PLAN. CONTRACTOR IS TO ESTABLISH THE EXISTENCE AND LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES. IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
2. EXISTING INFORMATION INDICATED ON THE SITE PLAN SHOWN WAS REPRODUCED FROM CITY OF MEBANE GIS. TEP NEITHER GUARANTEES, NOR ENSURES THE PRECISION, ACCURACY OR CORRECTNESS AND ASSUMES NO RESPONSIBILITY OR LIABILITY FOR DAMAGES, LOSS OF REVENUE, OR INJURY THAT MAY OCCUR.
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" (AREA DETERMINED TO BE OUTSIDE THE 0.2% CHANCE OF ANNUAL FLOOD) ACCORDING TO FEMA COMMUNITY PANEL #3710980400K, EFFECTIVE NOVEMBER 17, 2017.

EXISTING ETJ BOUNDARY

EXISTING MEBANE CITY LIMIT BOUNDARY

PROPOSED 175' MONOPOLE TOWER. SEE SHEET C-3 FOR ELEVATION.

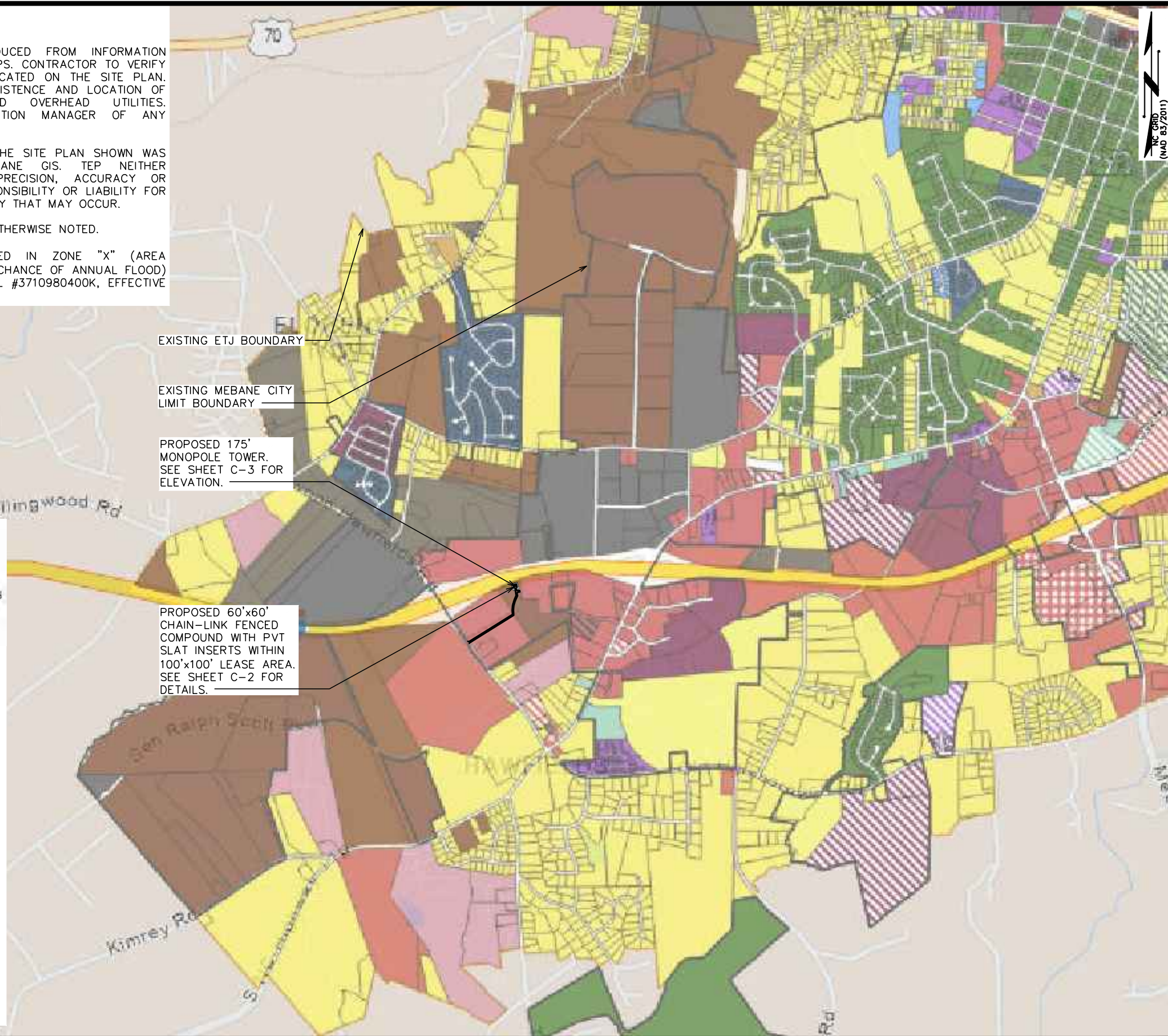
PROPOSED 60'x60' CHAIN-LINK FENCED COMPOUND WITH PVT SLAT INSERTS WITHIN 100'x100' LEASE AREA. SEE SHEET C-2 FOR DETAILS.

Current Zoning

- B-1 | Central Business
- B-2 | General Business
- B-2 & M-1 | Gen. Business & Heavy Manufacturing
- B-2 (CD) | General Business Conditional
- B-3 | Neighborhood Business
- cU-B2
- M-1 | Heavy Manufacturing
- M-1 (CD) | Heavy Manufacturing Conditional
- M-2 | Light Manufacturing
- M-2 (CD)
- MHP
- O&I | Office & Institutional
- O&I (CD) | Office & Institutional Conditional
- R-10 | Residential
- R-10 (CD) | Residential
- R-12 | Residential
- R-12 (CD) | Residential Conditional
- R-15 | Residential
- R-20 | Residential
- R-6 | Residential
- R-6 (CD) | Residential Conditional
- R-8 | Residential
- R-8 (CD) | Residential Conditional

VICINITY MAP

SCALE: 1" = 2000'



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PLANS PREPARED FOR:

5000 CENTRE GREEN WAY, FIFTH FLOOR
CARY, NC 27513

PROJECT INFORMATION:

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FA LOCATION: 10575504
0 TROLLINGWOOD HAWFIELDS RD (TBD)
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SEAL:

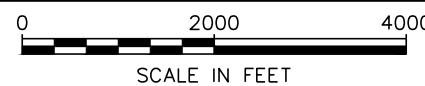
March 30, 2022

REV	DATE	ISSUED FOR:
4	03-30-22	ZONING REVIEW
3	02-28-22	ZONING REVIEW

DRAWN BY: AMS | CHECKED BY: GLB

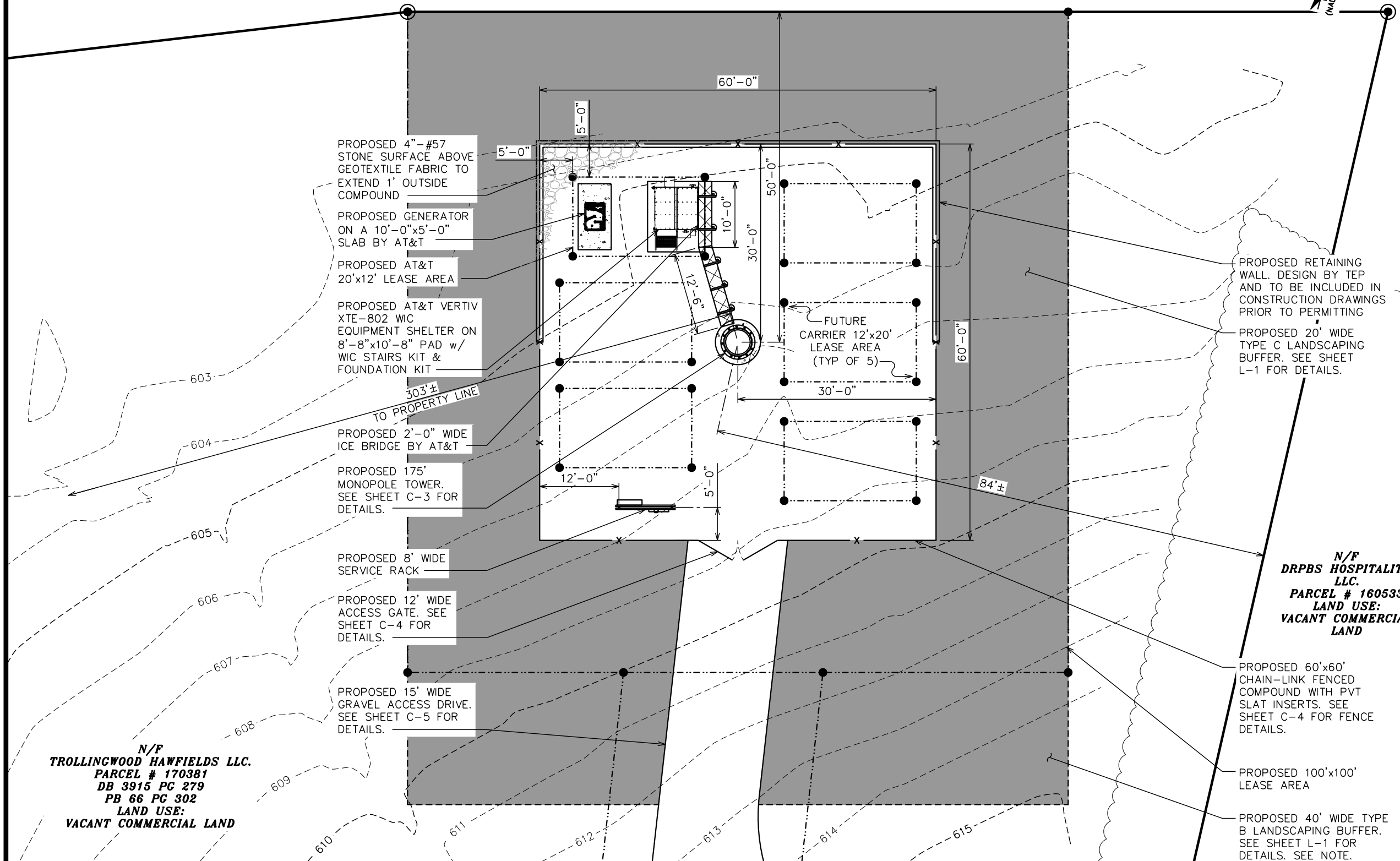
SHEET TITLE:
VICINITY MAP

SHEET NUMBER: **C-1A** | REVISION: **4**
TEP#: 51153.468707



NOTE:

CITYSWITCH II-A, LLC IS RESPONSIBLE FOR MAINTAINING AND UPKEEP OF THE LANDSCAPING & LANDSCAPING BUFFER THAT EXTENDS BEYOND THE PROPOSED LEASE AREA.



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PLANS PREPARED FOR:

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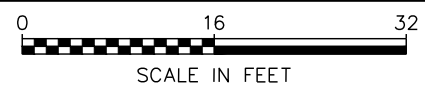
DRAWN BY: AMS | CHECKED BY: GLB

SHEET TITLE:
COMPOUND DETAIL

SHEET NUMBER: **C-2** | REVISION: **5**
 TEP#: 51153.468707

COMPOUND DETAIL

SCALE: 1/16" = 1'-0"

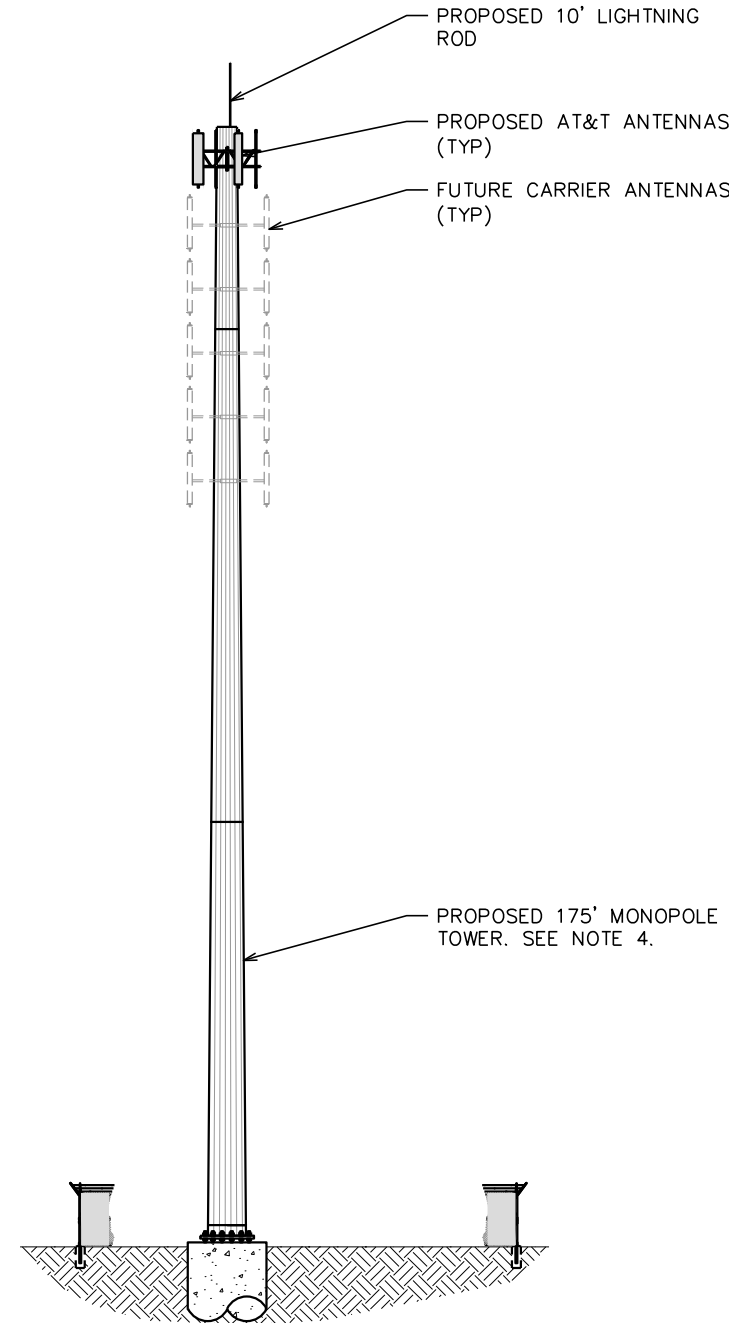
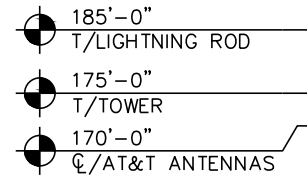


N/F
 DRPBS HOSPITALITY
 LLC.
 PARCEL # 160533
 LAND USE:
 VACANT COMMERCIAL
 LAND

N/F
 TROLLINGWOOD HAWFIELDS LLC.
 PARCEL # 170381
 DB 3915 PG 279
 PB 66 PG 302
 LAND USE:
 VACANT COMMERCIAL LAND

NOTES:

1. PROPOSED CABLES TO BE RUN AS PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS. IF PROPOSED CABLE TO BE RUN INSIDE TOWER USING HOISTING GRIPS (AS DIRECTED BY TOWER MANUFACTURER).
2. TOWER ELEVATION SHOWN FOR REFERENCE ONLY. VERIFY ACTUAL TOWER DESIGN & LOADING WITH TOWER DRAWINGS FROM MANUFACTURER AND/OR PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY PROPOSED LOADING WITH PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION. CONTACT CITYSWITCH II-A, LLC IN THE EVENT OF ANY DISCREPANCIES.
4. PROPOSED TOWER TO BE DESIGNED TO ACCOMMODATE AT LEAST (6) ANTENNA ARRAYS PER SECTION 4-7.9(2)(I)(VI) OF THE CITY OF MEBANE WIRELESS COMMUNICATION FACILITIES ORDINANCE.



PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300
GREENSBORO, NC 27455

PLANS PREPARED FOR:



1900 CENTURY PLACE NE, SUITE 320
ATLANTA, GA 30345

PLANS PREPARED FOR:



5000 CENTRE GREEN WAY, FIFTH FLOOR
CARY, NC 27513

PROJECT INFORMATION:

CITYSWITCH II-A, LLC #:

NCC010

FA LOCATION: 10575504

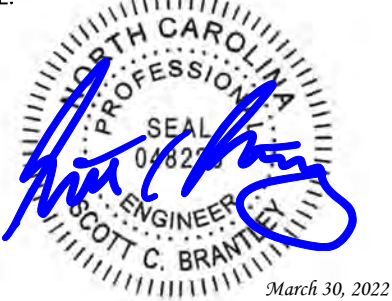
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RALEIGH, NC 27603-3530
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N.C. LICENSE # P-1403

SEAL:



4	03-30-22	ZONING REVIEW
3	02-28-22	ZONING REVIEW
REV	DATE	ISSUED FOR:

DRAWN BY: AMS CHECKED BY: GLB

SHEET TITLE:

TOWER ELEVATION

SHEET NUMBER: REVISION:

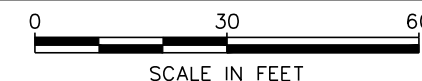
C-3

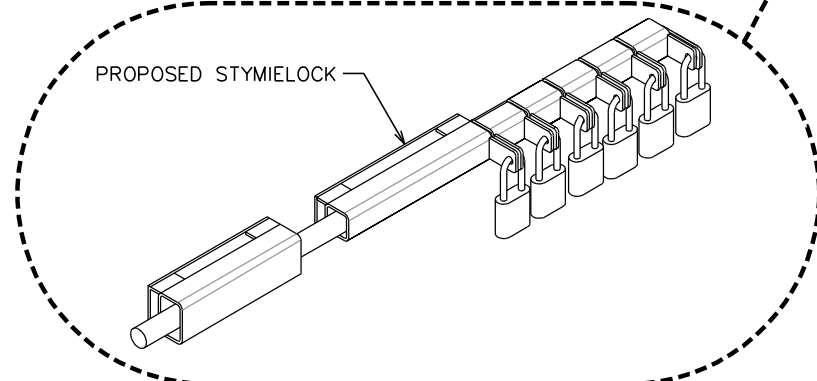
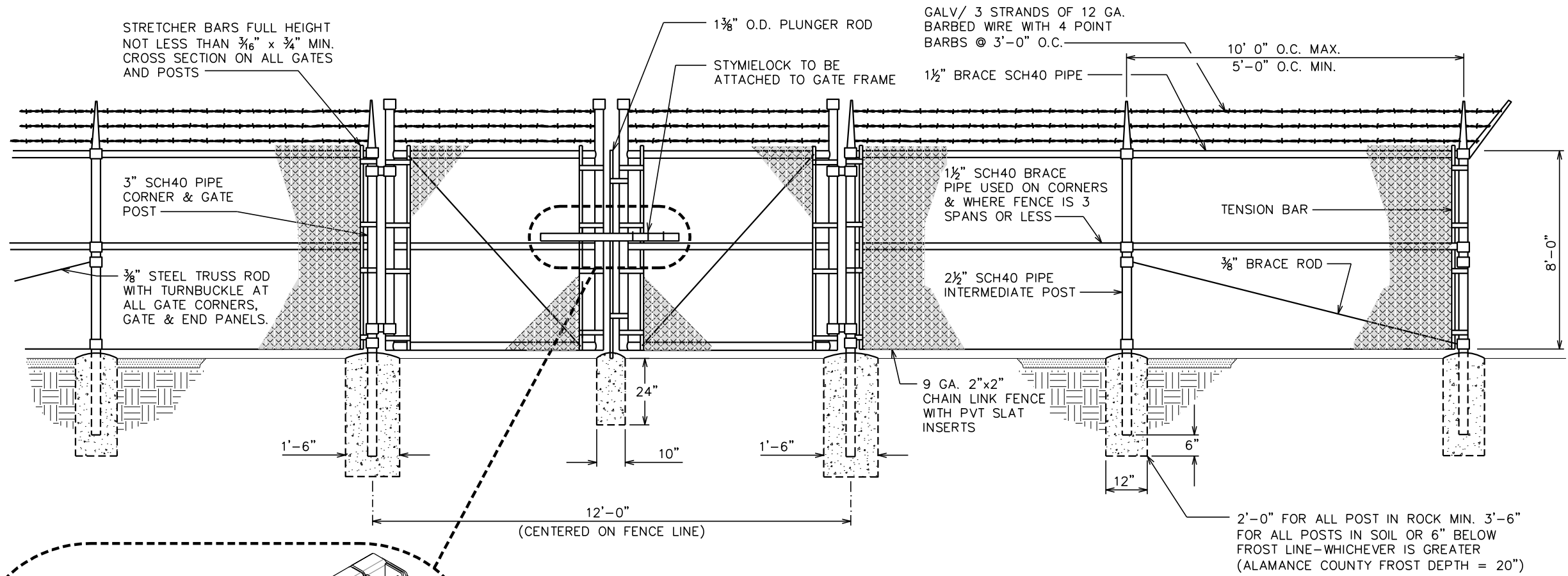
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TWP#: 51153.468707

TOWER ELEVATION

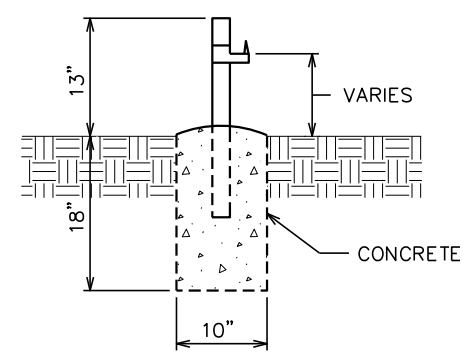
SCALE: 1" = 30'





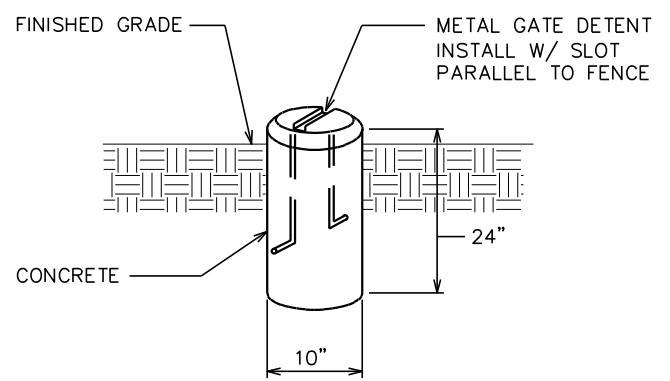
TYPICAL FENCE ELEVATION

SCALE: N.T.S.



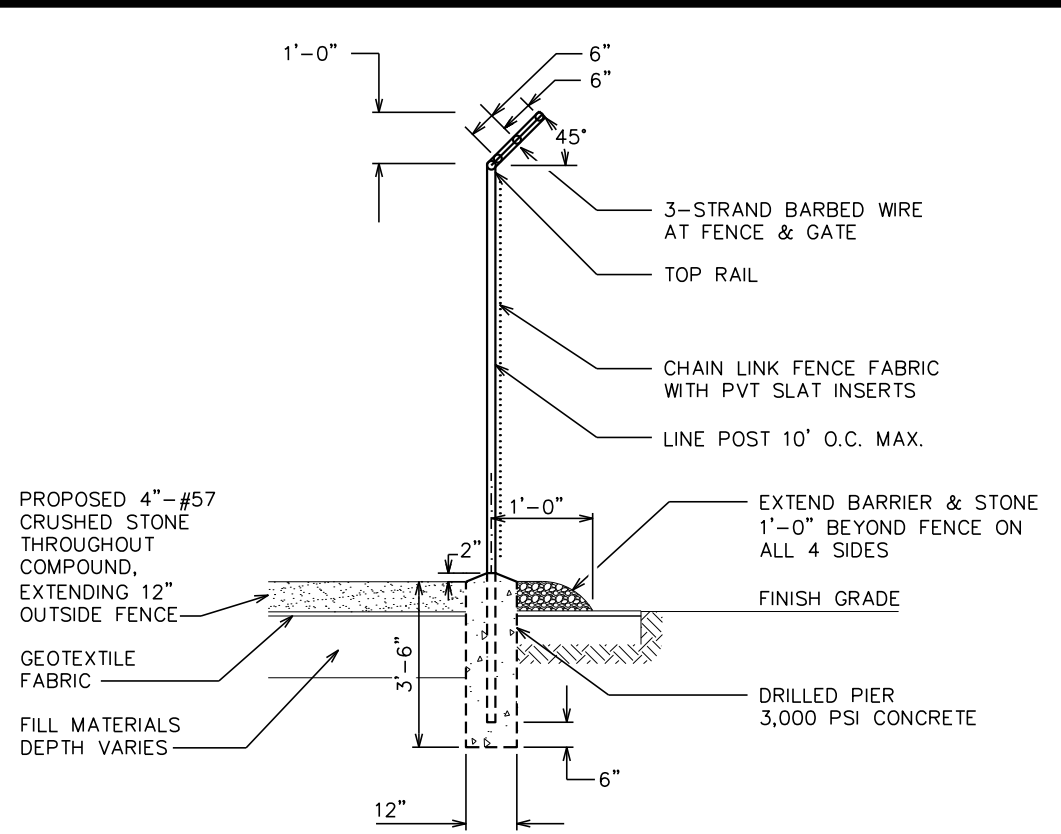
GATE STOP / KEEPER DETAIL

SCALE: N.T.S.



GATE DETENT DETAIL

SCALE: N.T.S.



FENCE / BARBED WIRE ARM DETAIL

SCALE: N.T.S.

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 GREENSBORO, NC 27455

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SEAL:

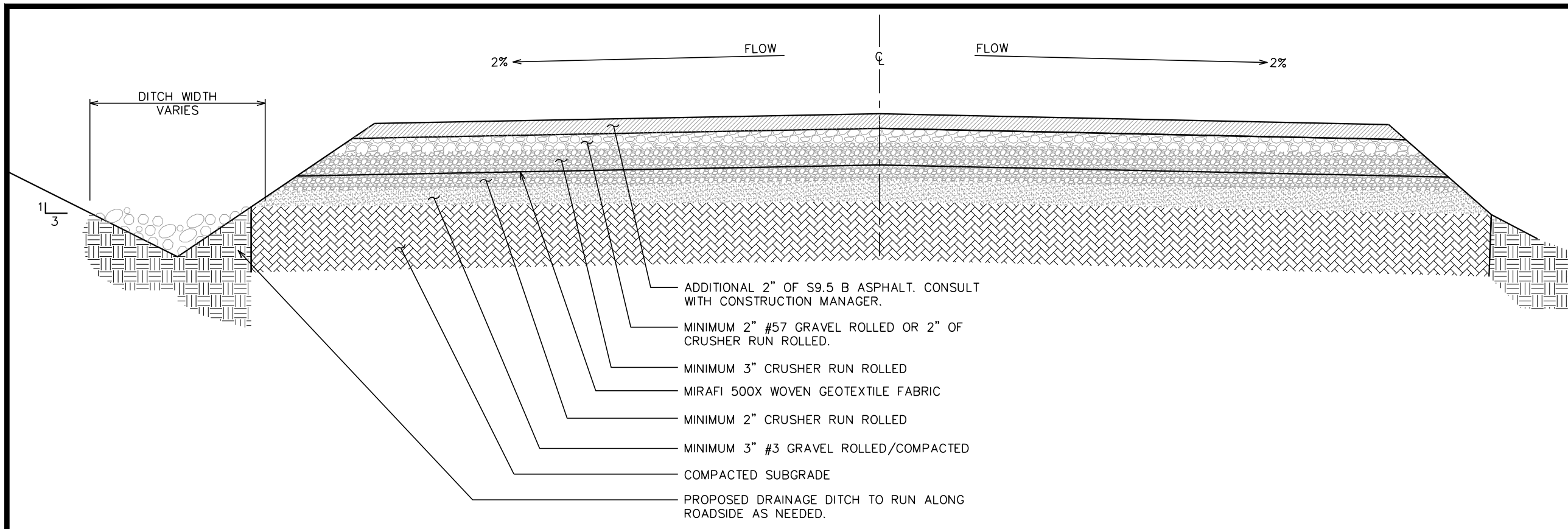
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3	02-28-22	ZONING REVIEW

DRAWN BY: AMS | CHECKED BY: GLB

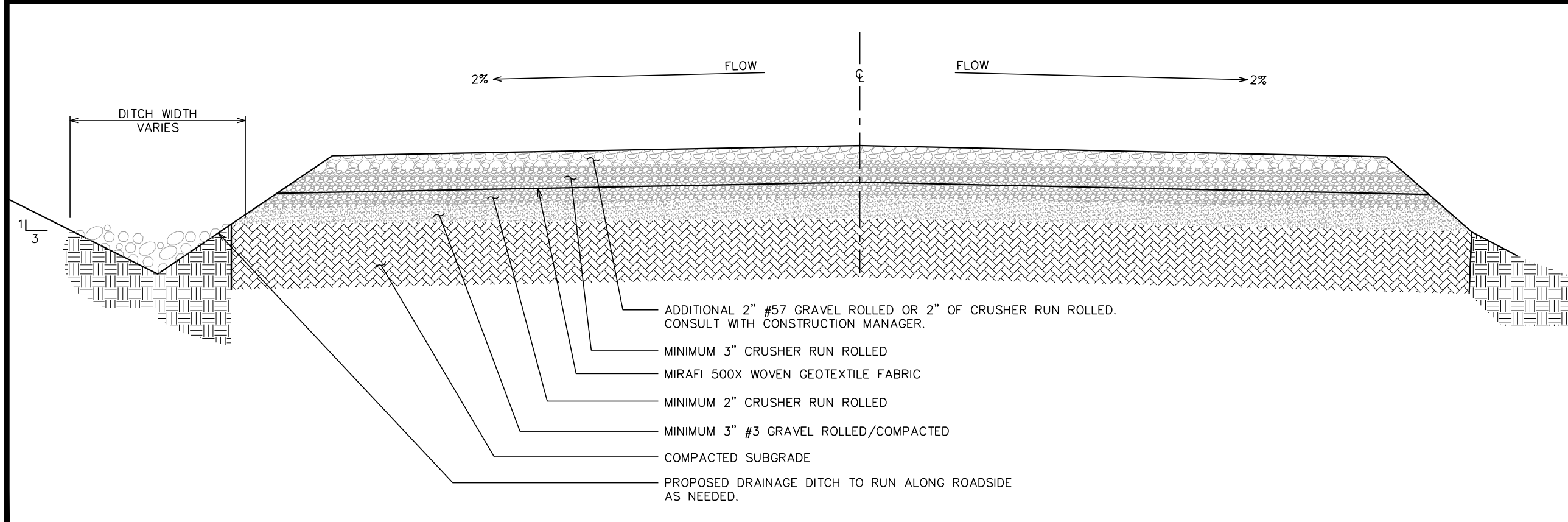
SHEET TITLE:
FENCE DETAILS

SHEET NUMBER: **C-4** | REVISION: **4**
 TEP#: 51153.468707



ASPHALT ROAD SECTION

SCALE: N.T.S.



STANDARD ROAD SECTION

SCALE: N.T.S.

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 GREENSBORO, NC 27455

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3	02-28-22	ZONING REVIEW
REV	DATE	ISSUED FOR:

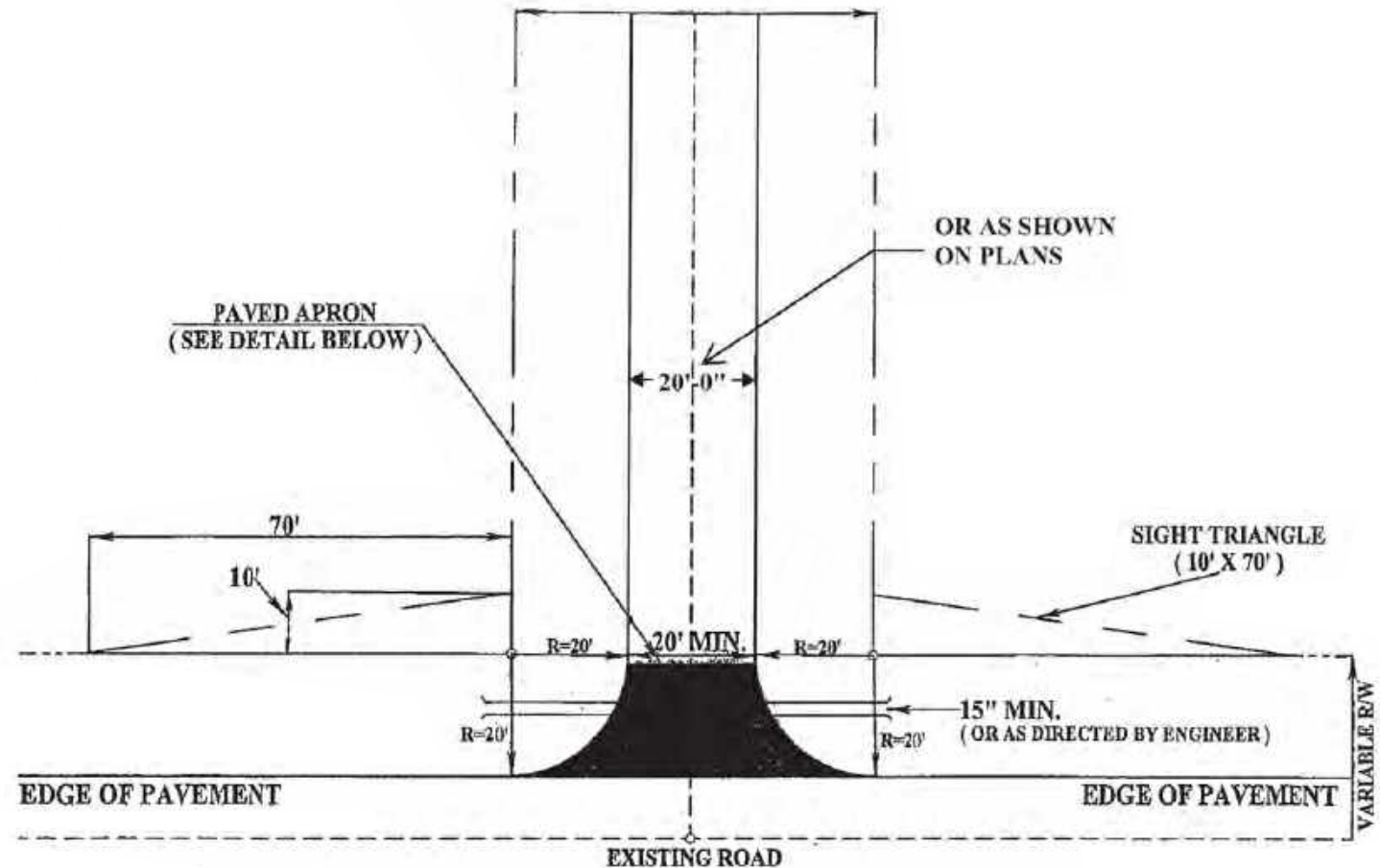
DRAWN BY: AMS CHECKED BY: GLB

SHEET TITLE:
**ACCESS ROAD
 DETAILS**

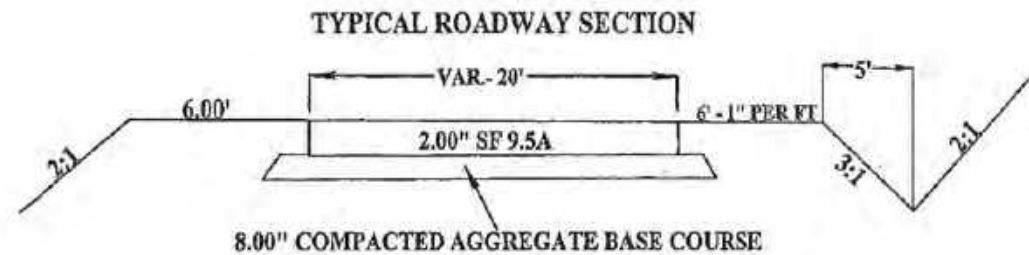
SHEET NUMBER: **C-5** REVISION: **4**
 TEP #: 51153.468707

COMMERCIAL DRIVEWAY CONNECTION

NOTE:
 ADDITIONAL R/W MAY BE REQUIRED TO ACCOMMODATE
 TAPERS, TURN LANES, AND
 MEDIAN ISLANDS. SCALE: 1" = 30'



NOTE: PERMANENT DRAINAGE EASEMENTS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE BEYOND THE RIGHT-OF WAY.



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 GREENSBORO, NC 27455

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REV	DATE	ISSUED FOR:
4	03-30-22	ZONING REVIEW
3	02-28-22	ZONING REVIEW

DRAWN BY: AMS CHECKED BY: GLB

SHEET TITLE:
**DRIVEWAY
 CONNECTION DETAILS**

SHEET NUMBER:
C-6

REVISION:
4

TWP #: 51153.468707

DRIVEWAY CONNECTION DETAILS

SCALE: N.T.S.

NOTES:

1. THE DRAWING BELOW SHOWS SIGHT DISTANCE REQUIREMENTS FOR PASSENGER CARS AT A DESIGN SPEED OF 45 MPH, PROVIDED BY NCDOT.
2. IF SUBJECT PARCEL IS FURTHER DEVELOPED, IT IS SUBJECT TO NCDOT REVIEW AND PERMITTING WHICH MAY RESULT IN RELOCATION OF THE PROPOSED ACCESS DRIVE.

N/F
PFJ SOUTHEAST LLC.
PARCEL # 160377
DB 3603 PG 741
LAND USE:
CONVENIENCE
STORE/GAS

N/F
TROLLINGWOOD HAWFIELDS LLC.
PARCEL # 170381
DB 3915 PG 279
PB 66 PG 302
LAND USE:
VACANT COMMERCIAL LAND

N/F
JOHN A. WILLIAMS
PARCEL # 160530
DB 3915 PG 279
LAND USE:
RESIDENTIAL
ZONING: B-2

PROPOSED TREE PROTECTION FENCE. SEE SHEET C-8 FOR DETAILS.

PROPOSED 15' WIDE GRAVEL ACCESS DRIVE. SEE SHEET C-5 FOR DETAILS.

PROPOSED 30' WIDE ACCESS & UTILITY EASEMENT

PROPOSED 50 L.F. GRAVEL TRANSITION TAPER. SEE SHEET C-5 FOR DETAILS.

DRIVER'S EYE (3'-6" HIGH)

PROPOSED 20' WIDE DRIVEWAY CONNECTION. SEE SHEETS C-5 & C-6 FOR DETAILS.

PROPOSED 10'x70' SIGHT DISTANCE TRIANGLES (TYP OF 2)

EXISTING 18"Ø RCP

PROPOSED CULVERT. DESIGN BY TEP TBD.

90' LEFT SIDE SIGHT DISTANCE

90' LEFT SIDE SIGHT DISTANCE

EXISTING 18"Ø RCP TO BE REMOVED

LEGEND

- EXIST. PROPERTY LINE
- ⊕ EXIST. UTILITY POLE
- PROPERTY CORNER
- /// EDGE OF PAVEMENT
- OHW--- OVERHEAD WIRE
- R/W--- RIGHT-OF-WAY
- ~~~~~ EXISTING TREE LINE

SIGHT TRIANGLES

SCALE: 1" = 20'



PLANS PREPARED FOR:

2002 PISGAH CHURCH ROAD, SUITE 300
 GREENSBORO, NC 27455

PLANS PREPARED FOR:

1900 CENTURY PLACE NE, SUITE 320
 ATLANTA, GA 30345

PLANS PREPARED FOR:

5000 CENTRE GREEN WAY, FIFTH FLOOR
 CARY, NC 27513

PROJECT INFORMATION:

CITYSWITCH II-A, LLC #:
NCC010

FA LOCATION: 10575504
 0 TROLLINGWOOD HAWFIELDS RD (TBD)
 MEBANE, NC 27302
 PARCEL ID #: 170381
 (TOWNSHIP OF MELVILLE)
 (ALAMANCE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 OFFICE: (919) 661-6351
 www.tepgroup.net
 N.C. LICENSE # P-1403

SEAL:

March 30, 2022

REV	DATE	ISSUED FOR:
4	03-30-22	ZONING REVIEW
3	02-28-22	ZONING REVIEW

DRAWN BY: AMS | CHECKED BY: GLB

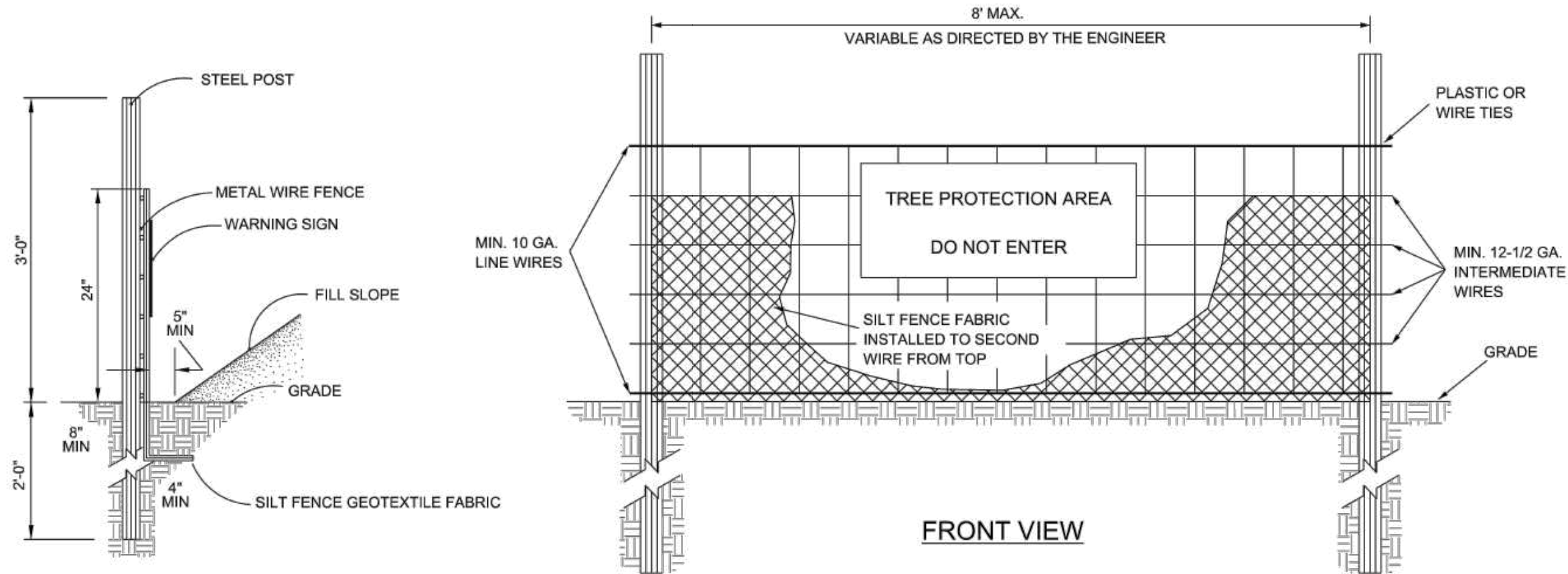
SHEET TITLE:

SIGHT TRIANGLES

SHEET NUMBER: **C-7**

REVISION: **4**

TEP #: 51 | 53.468707



SIDE VIEW

FRONT VIEW

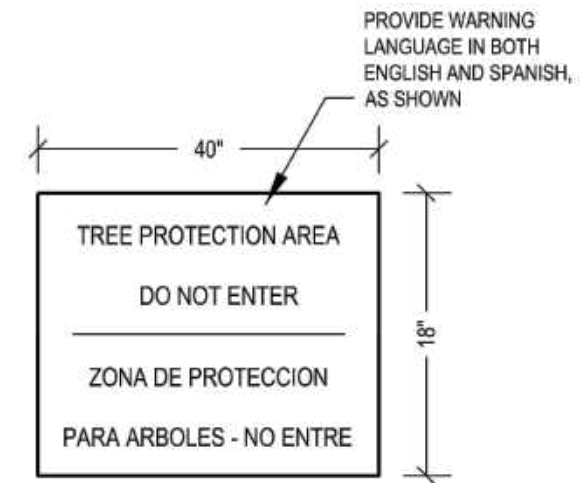
NOTE:

TREE PROTECTION FENCING TO BE INSTALLED AT DIP LINE OF EXISTING VEGETATION TO REMAIN PRIOR TO GRADING

MAINTENANCE: CLEAN OUT AT 50% CAPACITY
 LIFE OF FENCING: 6-9 MONTHS
 DO NOT DISTURB TREE CONSERVATION AREAS
 SILT FENCE SHOULD NOT BE USED ALONE BELOW GRADED SLOPES GREATER THAN 10' IN HEIGHT.

NOTES:

1. TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (SEE DETAIL TPP-02 FOR EXAMPLES)
2. THE TREE PROTECTION FENCING MUST REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE APPROVED BY URBAN FORESTRY STAFF.
3. APPROVED IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION WHEN APPLICABLE.
4. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER FOR THE REMAINDER
5. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
7. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.
8. SIGNS ARE TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL WITH LETTERS A MINIMUM OF 2 1/2" HIGH, CLEARLY LEGIBLE AND SPACED AS SHOWN.
9. FLOW SHALL NOT RUN PARALLEL WITH THE FENCE. END OF SILT FENCE NEEDS TO BE TURNED UPHILL.
10. SEE NC STATE DEQ PRACTICE STANDARDS & SPECIFICATIONS SEDIMENT FENCE SET FOR CONDITIONS WHERE APPLIES; PLANNING CONSIDERATIONS & DESIGN CRITERIA. (HOWEVER, FLOW SHALL NOT RUN PARALLEL WITH THE TOE OF THE FENCE.)



WARNING SIGN DETAIL

PLANS PREPARED FOR:

 2002 PISGAH CHURCH ROAD, SUITE 300
 GREENSBORO, NC 27455

PLANS PREPARED FOR:

 1900 CENTURY PLACE NE, SUITE 320
 ATLANTA, GA 30345

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PROJECT INFORMATION:
CITYSWITCH II-A, LLC #:
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FA LOCATION: 10575504
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SEAL:

 March 30, 2022

4	03-30-22	ZONING REVIEW
3	02-28-22	ZONING REVIEW
REV	DATE	ISSUED FOR:

DRAWN BY: AMS | CHECKED BY: GLB

SHEET TITLE:
TREE PROTECTION FENCE DETAIL

SHEET NUMBER: **C-8** | REVISION: **4**
 TEP #: 51153.468707

STANDARD TREE PROTECTION FENCE DETAIL

SCALE: N.T.S.

PLANTING SCHEDULE

ITEM	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT @ PLANTING	HEIGHT @ MATURITY	CALIPER/ SPREAD	SPACING	REMARKS
CANOPY TREES								
①	9	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	10'-0" (MIN)	40'-0" (MIN)	2.5"	20'-0"	SHOWN AS
UNDERSTORY TREES								
②	10	ILEX OPACA	AMERICAN HOLLY	8'-0" (MIN)	40'-0" (MIN)	2.0"	20'-0"	SHOWN AS
SHRUBS								
③	26	ILEX GLABRA	INKBERRY HOLLY	36"	4'-0" (MIN)	(3) GALLON	8'-0"	SHOWN AS
MULCH								
④	-	-	-	-	-	-	-	APPLY 3"-4" DEEP FROM THE TRUNKLINE TO THE DRIPLINE. FOR GROUND COVER - APPLY 1"-2" DEEP.



PLANS PREPARED FOR:

 2002 PISGAH CHURCH ROAD, SUITE 300
 GREENSBORO, NC 27455

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 1900 CENTURY PLACE NE, SUITE 320
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PLANS PREPARED FOR:

 5000 CENTRE GREEN WAY, FIFTH FLOOR
 CARY, NC 27513

PROJECT INFORMATION:
CITYSWITCH II-A, LLC #:
NCC010
FA LOCATION: 10575504
 0 TROLLINGWOOD HAWFIELDS RD (TBD)
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 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 OFFICE: (919) 661-6351
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SEAL:

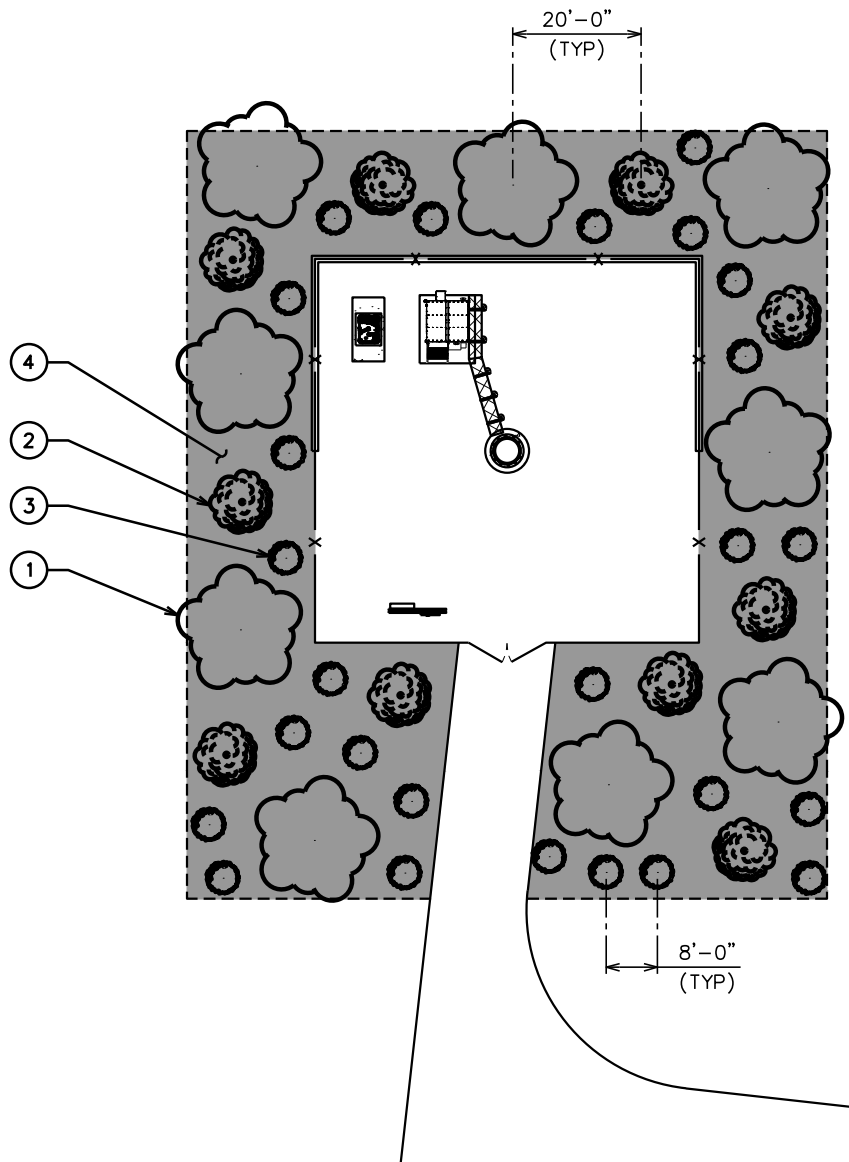
REV	DATE	ISSUED FOR:
4	03-30-22	ZONING REVIEW
3	02-28-22	ZONING REVIEW

DRAWN BY: AMS CHECKED BY: GLB

SHEET TITLE:

LANDSCAPING PLAN

SHEET NUMBER: **L-1** REVISION: **4**
 TEP #: 51153.468707

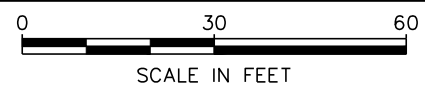


NOTES:

1. ALL BUFFERYARD AREAS NOT DEVOTED TO PLANTS SHALL BE SEEDED WITH LAWN GRASS OR SUITABLE GROUND COVER.
2. OWNER SHALL BE RESPONSIBLE FOR PERPETUAL CARE, MAINTENANCE AND REPLACEMENT OF ALL REQUIRED PLANT MATERIAL.
3. EXISTING VEGETATION SHALL BE UTILIZED IN LIEU OF LANDSCAPING UNLESS EXISTING VEGETATION WITHIN THE PROPOSED LANDSCAPING BUFFER DOES NOT MEET LANDSCAPING REQUIREMENTS PER ARTICLE 6-3 OF THE CITY OF MEBANE UNIFIED DEVELOPMENT ORDINANCE.
4. ALL REQUIRED LANDSCAPE BUFFERS LOCATED WITHIN AND OUTSIDE THE LEASED AREA ARE THE RESPONSIBILITY OF CITYSWITCH II-A, LLC TO MAINTAIN AS SET FORTH IN THE LEASE AGREEMENT.

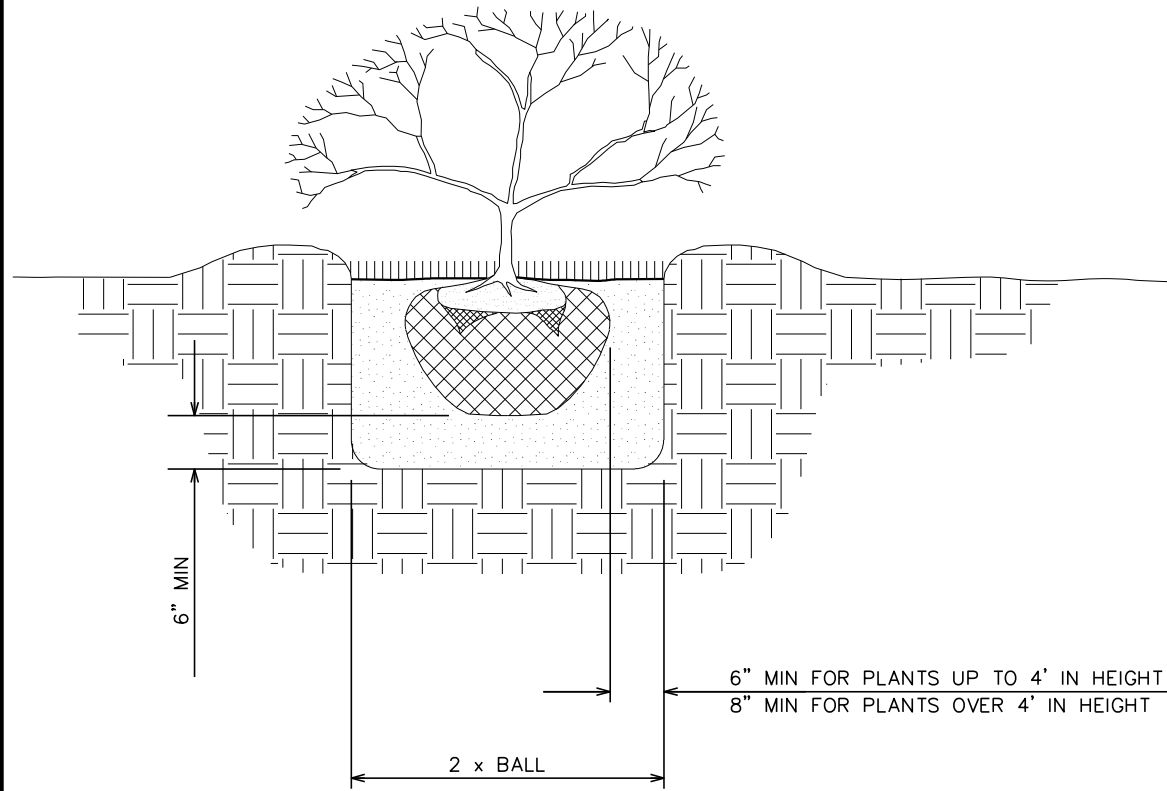
LANDSCAPING PLAN

SCALE: 1" = 30'

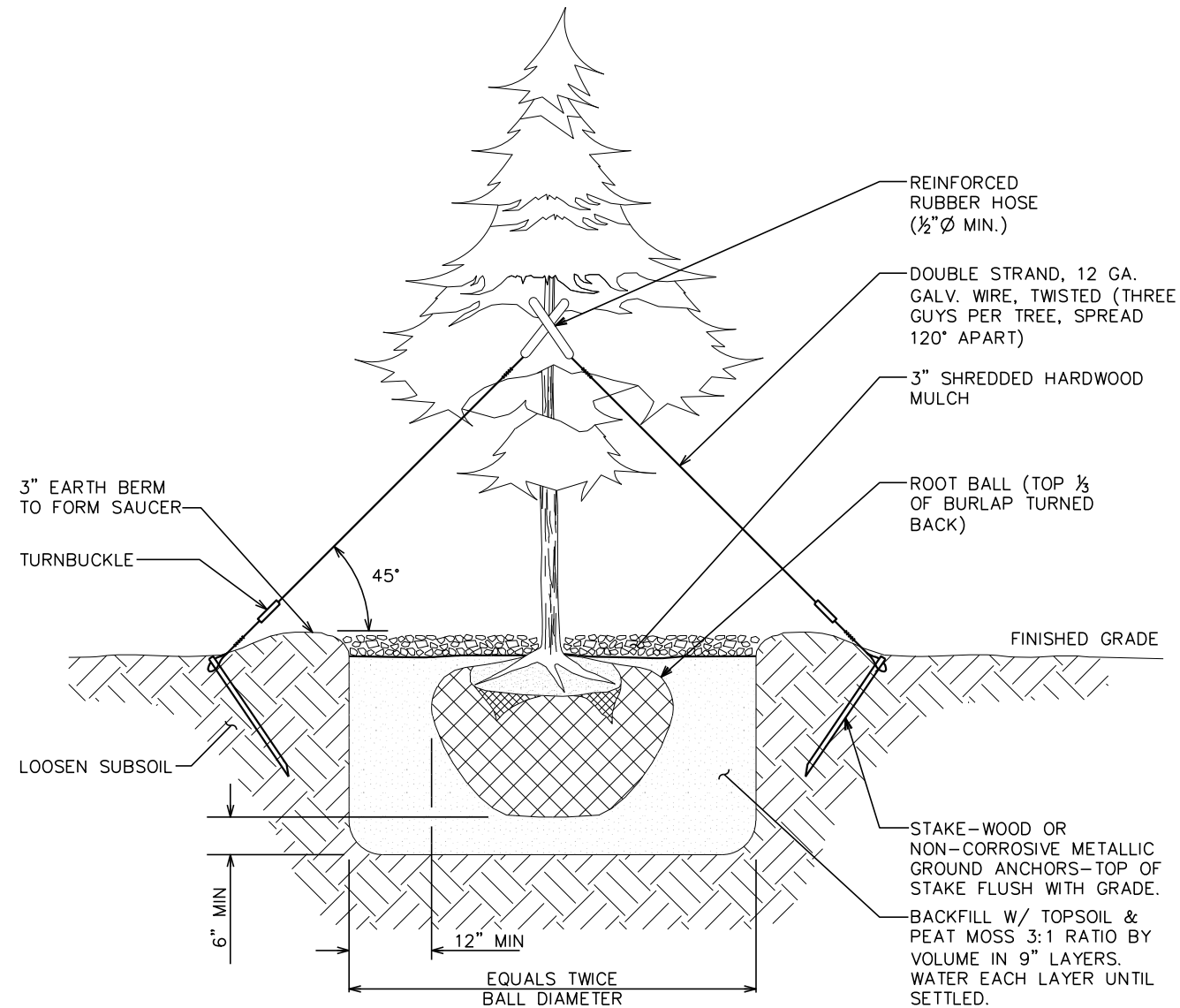


LANDSCAPE NOTES:

1. TOPSOIL TO BE PROVIDED BY SITE CONTRACTOR IN ROUGH GRADE TO WITHIN 1" OF FINISH GRADE.
2. EACH PLANT TO BE IN GOOD CONDITION AFTER SHEARING AND PRUNING.
3. EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, AND MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR FIELD PLANTING.
4. ALL PLANTS TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM DATE OF INSTALLATION.
5. ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-1973 IN REGARD TO SIZING, GROWING, AND B&B SPECIFICATIONS.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND SHRUBS WITHIN THE CONSTRUCTION AREA IDENTIFIED AS "TO REMAIN" FROM DAMAGE BY EQUIPMENT AND CONSTRUCTION ACTIVITIES.



SHRUB PLANTING DETAIL



TREE PLANTING DETAIL

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300
GREENSBORO, NC 27455

PLANS PREPARED FOR:



1900 CENTURY PLACE NE, SUITE 320
ATLANTA, GA 30345

PLANS PREPARED FOR:



5000 CENTRE GREEN WAY, FIFTH FLOOR
CARY, NC 27513

PROJECT INFORMATION:

CITYSWITCH II-A, LLC #:
NCC010

FA LOCATION: 10575504
0 TROLLINGWOOD HAWFIELDS RD (TBD)
MEBANE, NC 27302
PARCEL ID #: 170381
(TOWNSHIP OF MELVILLE)
(ALAMANCE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
N.C. LICENSE # P-1403

SEAL:



4	03-30-22	ZONING REVIEW
3	02-28-22	ZONING REVIEW
REV	DATE	ISSUED FOR:

DRAWN BY: AMS | CHECKED BY: GLB

SHEET TITLE:
**LANDSCAPING
DETAILS**

SHEET NUMBER: L-2	REVISION: 4
TEP #: 51153.468707	

LANDSCAPING DETAILS

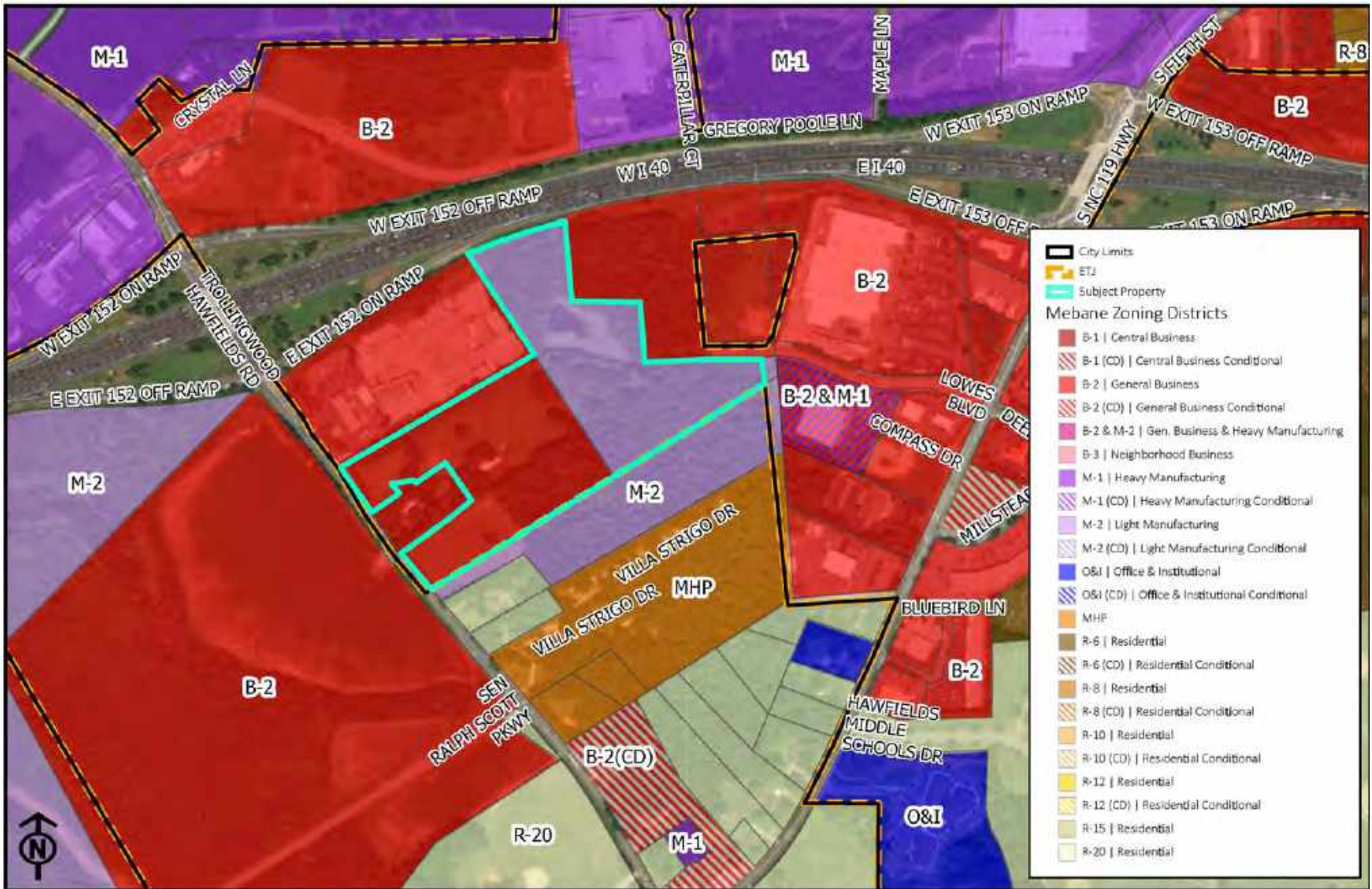
SCALE: N.T.S.

PLANNING PROJECT REPORT

DATE	06/06/22
PROJECT NUMBER	SU 22-04
PROJECT NAME	Trollingwood Hawfields 5G Tower
	CitySwitch II-A, LLC
	c/o Jason Groseclose
APPLICANT	1900 Century Place, NE
	Suite 320
	Atlanta, GA 30345

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STAFF SPECIAL USE CONSISTENCY FINDING.....	PAGE 7



**CITY OF MEBANE
ZONING MAP**

**Special Use Permit Request
Trollingwood Hawfields Monopole Tower**
1 inch = 600 feet

DATE: 07/05/2022

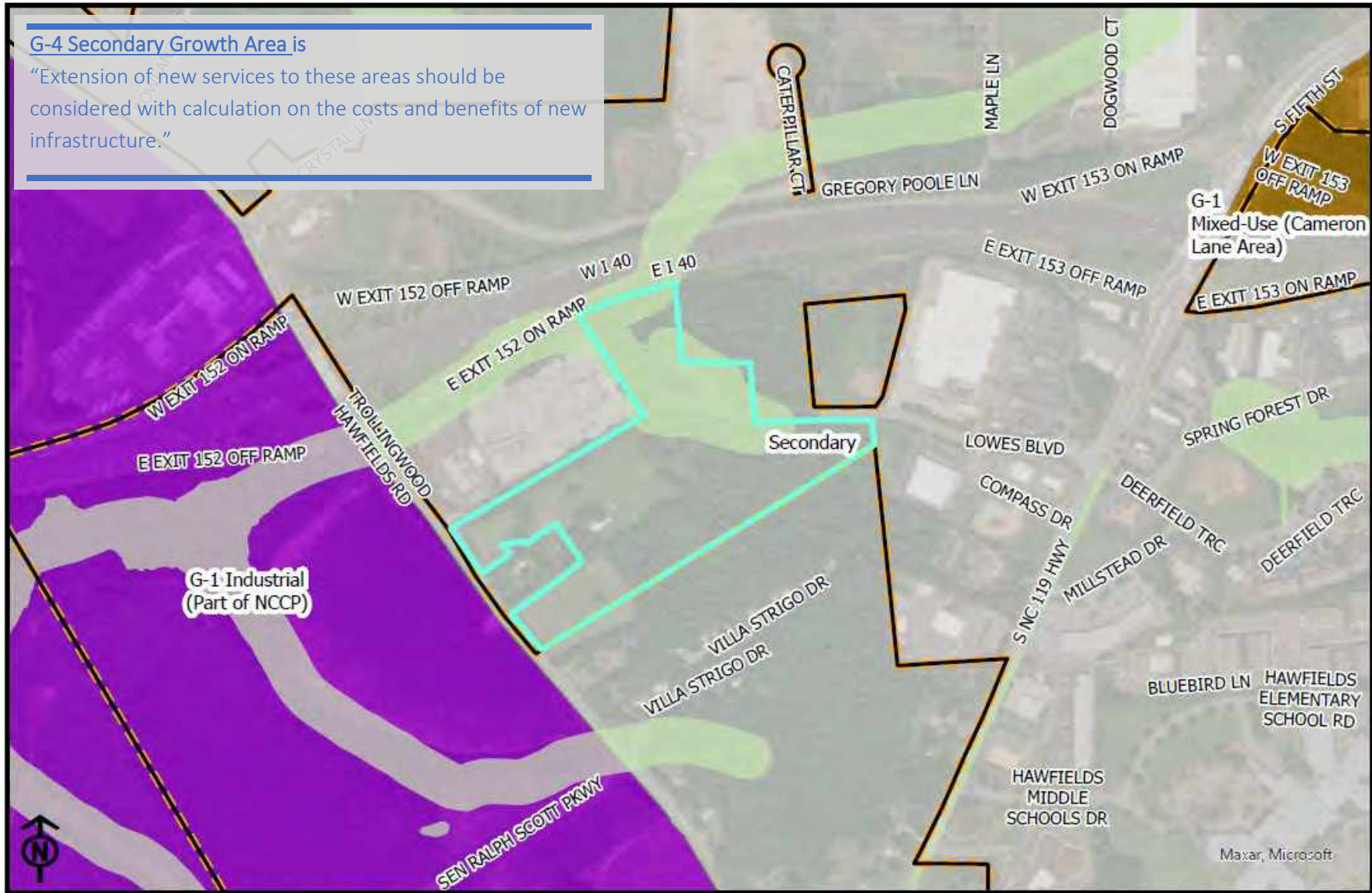
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ZONING REPORT

EXISTING ZONE	B-2 (General Business) & M-2 (Light Manufacturing)
REQUESTED ACTION	Special Use Permit to allow for Wireless Communication Facility with nonconforming setbacks
CONDITIONAL ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
CURRENT LAND USE	Vacant
PARCEL SIZE	+/-24.96 ac
PROPERTY OWNERS	Trollingwood-Hawfields, LLC 1436 Trollingwood Hawfields Road Mebane, NC 27302 GPIN 9804922987
LEGAL DESCRIPTION	The applicant is requesting a special use permit on +/-1.16 area of the subject parcel be granted for a wireless communication facility (aka "5G Tower") that does not meet the required setbacks. Article 4, Section 4-7.9.E.3(k)(i) requires a special use permit for deviation from established setbacks.
AREA ZONING & DISTRICTS	All properties surrounding the subject property are zoned B-2, with the exception of the property to the south, which is zoned M-2.
SITE HISTORY	This property and the adjacent residentially-used property (GPIN 9804922954) were historically a single property used for agricultural purposes. The present-day subject property was created in 2008 through an exempt recombination with an adjacent property to the south and subdivision of the 2-acre parcel featuring the established residence. This property has been vacant in recent years.
STAFF ANALYSIS	
CITY LIMITS?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED USE BY-RIGHT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
SPECIAL USE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
EXISTING UTILITIES?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
POTENTIAL IMPACT OF PROPOSED ZONE	There is no rezoning request, only a special use request to allow for the 5G Tower with nonconforming setbacks.

G-4 Secondary Growth Area is

“Extension of new services to these areas should be considered with calculation on the costs and benefits of new infrastructure.”



CITY OF MEBANE
Future Growth Area Map

Special Use Permit Request
Trollingwood Hawfields Monopole Tower
1 inch = 600 feet

DATE: 06/06/2021

DRAWN BY: AV

LAND USE REPORT

EXISTING LAND USE	Vacant
PROPOSED LAND USE & REQUESTED ACTION	The applicant is requesting a special use permit be granted for a 5G Tower on +/-1.16 acres that does not meet the required setback to the north: Article 4, Section 4-7.9.E.2(g)(ii)c states that “The setback distance from existing property lines in all zoning districts for all towers shall be 100 feet, or one foot for every one foot of tower height, whichever is greater.” The applicant is requesting a 50’ setback from Interstate 40/85 to the north and a +/- 84’ setback from the eastern property line. Article 4, Section 4-7.9.E.3(k)(i) requires a special use permit for deviation from established setbacks.
PROPOSED ZONING	N/A
PARCEL SIZE	+/-1.16 acre area of a +/-24.96 parcel
AREA LAND USE	The property to the west is the Pilot Truck Stop. The property to the east was approved by the City Council for a special use permit for the “Lowe’s Boulevard Hotel” project, which will host two hotels with 183 rooms and a 10,000-square foot office/retail building. The interstate is immediately north of the site, with the vacant Gregory Poole Lane properties across the interstate. All other properties – including the nearby residence – are owned and controlled by the property owner of the subject property.
ONSITE AMENITIES & DEDICATIONS	N/A
WAIVER REQUESTED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF REQUESTED WAIVER(S)	The applicant is requesting reduced setbacks from northern and eastern property lines.
CONSISTENCY WITH <i>MEBANE BY DESIGN</i> STRATEGY	
LAND USE GROWTH STRATEGY DESIGNATION(S)	G-4 Secondary Growth Area Conservation Area
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES SUPPORTED	Growth Management Goal 1.7: Continue to support industrial development at existing industrial parks near I-40/85.
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES <u>NOT</u> SUPPORTED	

UTILITIES REPORT

AVAILABLE UTILITIES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
PROPOSED UTILITY NEEDS	The applicant is not proposing to use any public utilities.
UTILITIES PROVIDED BY APPLICANT	N/A
MUNICIPAL CAPACITY TO ABSORB PROJECT	N/A
CONSISTENCY WITH MEBANE LONG RANGE UTILITY PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
ADEQUATE STORMWATER CONTROL?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
INNOVATIVE STORMWATER MANAGEMENT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

TRANSPORTATION NETWORK STATUS

CURRENT CONDITIONS	The site will be served by a private, unpaved access maintenance road from Trollingwood Hawfields Road. The property is outside the scope of the Lowes Boulevard Corridor Plan, though that corridor is proposed south of the town location.
TRAFFIC IMPACT ANALYSIS REQUIRED?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OR RECOMMENDED IMPROVEMENTS	N/A
CONSISTENCY WITH THE MEBANE BICYCLE AND PEDESTRIAN TRANSPORTATION PLAN?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
MULTIMODAL IMPROVEMENTS PROVIDED BY APPLICANT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OF MULTIMODAL IMPROVEMENTS	The applicant does not propose to make any multimodal improvements, as they are not required by the City's adopted plans and the site will not fully employ any individuals.

STAFF SPECIAL USE CONSISTENCY FINDING

STAFF ZONING RECOMMENDATION	<input type="checkbox"/> APPROVE <input type="checkbox"/> DISAPPROVE
STAFF SPECIAL USE FINDING	<input checked="" type="checkbox"/> CONSISTENT <input type="checkbox"/> NOT CONSISTENT.....WITH <i>MEBANE BY DESIGN</i>
RATIONALE	The proposed development “Trollingwood Hawfields 5G Tower” is consistent with the guidance provided within <i>Mebane By Design</i> , the Mebane Comprehensive Land Development Plan and, as shown by the applicant’s analyses, is in harmony with the surrounding zoning of the area.
PUBLIC INTEREST CONFORMANCE?	
ENDANGER PUBLIC HEALTH OR SAFETY?	<input type="checkbox"/> YES <input type="checkbox"/> NO
SUBSTANTIALLY INJURE THE VALUE OF ADJOINING OR ABUTTING PROPERTY?	<input type="checkbox"/> YES <input type="checkbox"/> NO
HARMONIOUS WITH THE AREA IN WHICH IT IS LOCATED?	<input type="checkbox"/> YES <input type="checkbox"/> NO
CONSISTENT WITH <i>MEBANE BY DESIGN</i> , THE MUNICIPAL COMPREHENSIVE LAND DEVELOPMENT PLAN?	<input type="checkbox"/> The application is consistent with the objectives and policies for growth and development contained in the City of Mebane Comprehensive Land Development Plan, <i>Mebane By Design</i> , and, as such, has been recommended for approval. <input type="checkbox"/> The application is not fully consistent with the objectives and policies for growth and development of the City of Mebane Comprehensive Land Development Plan, <i>Mebane By Design</i> , but is otherwise in the public interest and has been recommended for approval. The Comprehensive Land Development Plan must be amended to reflect this approval and ensure consistency for the City of Mebane’s long-range planning objectives and policies. <input type="checkbox"/> The application is not consistent with the objectives and policies for growth and development of the City of Mebane Comprehensive Land Development Plan, <i>Mebane By Design</i> , and, as such, has been recommended for denial.

CitySwitch II-A, LLC
1900 Century Place, NE
Suite 320
Atlanta, GA 30345

April 5, 2022

Cy Stober, AICP
Development Director
Town of Mebane
Mebane Municipal Building
106 East Washington Street
Mebane, NC 27302

Re: **Compliance with UDO Siting Requirements**
CitySwitch II-A, LLC Special Use Permit Application
Construction of Proposed Wireless Telecommunications Tower and Facility
To be located at 0 Trollingwood Hawfields Road (TBD), Mebane, NC 27302
Melville Township; Alamance County; Parcel I.D. No. 170381

Dear Mr. Stober,

The Applicant, CitySwitch II-A, LLC, has reviewed the Town of Mebane's preferred priority siting requirements as follows:

- 1) Co-location on existing towers;
- 2) Concealed facilities on existing buildings or structures;
- 3) New concealed tower;
- 4) Non-stealth telecommunications facilities on existing buildings / structures;
- 5) New towers.

Priorities 1, 2, and 4 above could not be utilized as there are no existing towers or structures of sufficient height within search area that could be utilized. We have obtained leasing on a split zoned M-2 / B-2 parcel, and the 100' X 100' leased area for the proposed tower and facility is in the M-2 zoned portion of the parcel. With regard to siting priority number 3, the proposed location is in the midst of a large property, and the proposed monopole tower will provide the necessary coverage for AT&T. The proposed monopole tower will have no adverse impact in this M-2 / B-2 district.

Sincerely,



Jason Groseclose
Director of Development

CitySwitch II-A, LLC
1900 Century Place, NE
Suite 320
Atlanta, GA 30345

April 5, 2022

Cy Stober, AICP
Development Director
Town of Mebane
Mebane Municipal Building
106 East Washington Street
Mebane, NC 27302

Re: **Compliance with UDO Provision regarding Building Code Standards**
CitySwitch II-A, LLC Special Use Permit Application
Construction of Proposed Wireless Telecommunications Tower and Facility
To be located at 0 Trollingwood Hawfields Road (TBD), Mebane, NC 27302
Melville Township; Alamance County; Parcel I.D. Number: 170381

Dear Mr. Stober,

The Applicant, CitySwitch II-A, LLC (“CitySwitch”), has reviewed the Town of Mebane’s ordinance provisions with regard to meeting all federal, state, and local laws, regulations, and ordinance provisions governing wireless telecommunications facilities and support structures.

The proposed 175-foot monopole antenna support structure and wireless telecommunications facility will meet and comply with all current building code standards and requirements in addition to all applicable federal, state, and local laws, regulations, and ordinance provisions. CitySwitch will at all times maintain the tower and facility to ensure continued compliance therewith.

CitySwitch and its agents and representatives will continue to work with the City and all governing entities to make sure the tower complies with all laws, regulations, and ordinance provisions.

Sincerely,



Jason Groseclose
Director of Development

IMPACT ANALYSIS OF
A PROPOSED TELECOMMUNICATIONS TOWER ON
THE VALUE OF ADJOINING OR ABUTTING PROPERTIES

LOCATED AT

0 TROLLINGWOOD HAWFIELDS ROAD
TAX PARCEL 170381
MEBANE, NORTH CAROLINA
MELVILLE TOWNSHIP, ALAMANCE COUNTY

AS OF

FEBRUARY 8, 2022

FOR

KAREN KEMERAIT, PARTNER
FOX ROTHSCHILD LLP
434 FAYETTEVILLE ST.
SUITE 2800
RALEIGH, NC 27601-2943

BY

DAVID A SMITH, MAI, SRA
2007 FRONT STREET
DURHAM, NORTH CAROLINA 27705

PART ONE - INTRODUCTION



DAVID A. SMITH, MAI, SRA

2007 FRONT STREET
DURHAM, NORTH CAROLINA 27705
PHONE (919) 493-1534
smithappraiser@verizon.net



February 9, 2022

Karen Kemerait, Partner
Fox Rothschild LLP
434 Fayetteville St.
Suite 2800
Raleigh, NC 27601-2943

As requested, I have inspected the site of a proposed telecommunications tower and the adjoining or abutting properties. The proposed tower would be located at 0 Trollingwood Hawfields Road, Tax Parcel 170381, Mebane, Melville Township, Alamance County, North Carolina.

The purpose of this assignment is to determine if the proposed tower will substantially injure the value of adjoining or abutting property. The intended use of this assignment is to assist the approving body in determining if the proposed tower should be approved. The intended users of this report are officers and employees of Fox Rothchild, LLP and anyone they designate.

As requested, a summary report has been prepared. This is not an appraisal, but is a consulting assignment.

The properties were inspected on February 8, 2022 which is the effective date of this analysis. I made all necessary investigations and analyses. Based on a set of plans of the proposed tower, an inspection of the proposed tower site and adjoining or abutting properties, an analysis of data gathered and facts and conclusions as contained in the following report of 21 pages and addenda, and subject to the assumptions and limiting conditions as stated, it is my opinion that the proposed tower will not substantially injure the value of adjoining or abutting property.

I certify that I have personally inspected the site of the proposed tower and those properties adjoining or abutting the tower site. I further certify that I have no interest either present or contemplated in the property and that neither the employment to make this analysis nor the compensation is contingent upon the result of the analysis.

Respectfully submitted,

David A. Smith

David A. Smith, MAI, SRA
NC State-Certified General Real Estate Appraiser #A281



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CERTIFICATION

I certify that, to the best of my knowledge and belief,...

The statements of fact contained in this report are true and correct.

The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.

I have no present or prospective interest in the property that is the subject of this report, and no personal interest with respect to the parties involved.

I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.

My engagement in this assignment was not contingent upon developing or reporting predetermined results.

My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this report.

My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the *Uniform Standards of Professional Appraisal Practice*.

I have made a personal inspection of the property that is the subject of this report.

No one provided significant real property assistance to the person signing this certification.

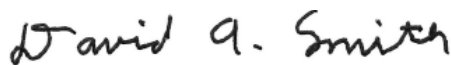
The reported analysis, opinions, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and the Standards of Professional Appraisal Practice of the Appraisal Institute.

The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.

As of the date of the report, I have completed the requirements of the continuing education program of the Appraisal Institute.

This assignment was not made, nor was the report rendered on the basis of a requested minimum valuation, specific valuation, or an amount, which would result in approval of a credit transaction.

Unless otherwise stated in this report, I have not performed any services regarding the subject property within the three year period immediately preceding acceptance of this assignment as an appraiser or in any other capacity.



David A. Smith, MAI, SRA

PART TWO – PREMISES OF THE REPORT

STATEMENT OF COMPETENCE

I have completed all of the requirements to become a state certified general appraiser for the State of North Carolina and all of the requirements for the MAI designation. In addition I have successfully completed USPAP courses and continuing education seminars for forty years as well as preparing real estate appraisal reports over the same period. More detailed information about the courses and seminars are in the qualifications section of this report. I have prepared similar analyses and feel competent to perform this analysis.

EXTRAORDINARY ASSUMPTIONS AND HYPOTHETICAL CONDITIONS

An extraordinary assumption is an assumption, directly related to a specific assignment, which if found to be false, could alter the appraiser's opinions or conclusions. A hypothetical condition is something that is contrary to what exists but is supposed for the purpose of the analysis. This analysis assumes that the proposed tower has been constructed as planned.

No other extraordinary assumptions or hypothetical conditions are made.

GENERAL ASSUMPTIONS AND LIMITING CONDITIONS

The report has been made with the following general assumptions:

1. Possession of this report, or a copy thereof, does not carry with it the right of publication.
2. The appraiser by reason of this report is not required to give further consultation or testimony or to be in attendance in court with reference to the property in question unless arrangements have been previously made.
3. Neither all nor any part of the contents of this report (especially any conclusions, the identity of the appraiser, or the firm with which the appraiser is connected) shall be disseminated to the

public through advertising, public relations, news, sales or other media without the prior written consent and approval of the appraiser.

4. Definitions used in this report have been taken from *The Dictionary of Real Estate Appraisal*, 5th ed., published by the Appraisal Institute, copyright 2010, unless otherwise stated.

5. I relied on a set of plans identified as “Cityswitch, 1436 Trollingwood Hawfields Rd, Mebane, NC 27302” prepared by Tower Engineering Professionals and last dated February 2, 2022. For purposes of this report this information is assumed to be correct. Copies of pages from these plans are in the addenda. These plans were supplied by Trisha Butler of Fox Rothchild, LLP.

6. I relied on public records from the Alamance County GIS and the Triangle Multiple Listing Service for information regarding properties analyzed in this report. For purposes of this report, this information is assumed to be correct.

PURPOSE, INTENDED USE AND USERS OF THE REPORT

The purpose of this assignment is to determine if the proposed tower would substantially injure the value of adjoining or abutting property. The intended use of this assignment is to assist the approving body in determining if the proposed tower should be approved. The intended users of this report are officers and employees of Fox Rothchild, LLP and anyone they designate.

DEFINITION OF VALUE

The opinions of value in this analysis are the market values. The definition of market value is that used by federally regulated financial institutions. This definition is as follows:

The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

1. buyer and seller are typically motivated;
2. both parties are well informed or well advised, and acting in what they consider their best interests;
3. a reasonable time is allowed for exposure in the open market;
4. payment is made in terms of cash in United States dollars or in terms of financial arrangements comparable thereto; and
5. the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

DATE OF ANALYSIS AND DATE OF REPORT

The effective date of the analysis is February 8, 2022. The date of the report is February 9, 2022.

PROPERTY RIGHTS

The ownership interest considered in this analysis is the fee simple interest. The adjoining or abutting properties may be leased or have other property rights transferred, but the effect is for the fee simple value of the properties. The definition of fee simple as used in this report is:

Absolute ownership unencumbered by any other interest or estate, subject only to the limitations imposed by the governmental powers of taxation, eminent domain, police power, and escheat.

SCOPE OF WORK

The scope of the report involves collection and confirmation of data relative to the property with the proposed tower and the adjoining or abutting properties. I made an inspection of the proposed tower site and referred to a set of plans for the tower. I also made an exterior inspection, from the street right-of-way of the adjoining or abutting properties. I researched the Mebane area for properties near existing cell towers and located a property with a tower at 520 Ben Wilson Road in Mebane, North Carolina. I compared properties close to this tower in a matched pair analysis to judge the effect of the proposed tower.

PART THREE – PRESENTATION OF DATA

DESCRIPTION OF TOWER SITE PROPERTY

Since the purpose of this report is to estimate if the proposed tower will substantially injure the value of adjoining or abutting property and not the value of the property the tower is on, only a brief description of the site where the tower is proposed will be given. More detail of the site is in the addenda.

The property where the tower would be located is 0 Trollingwood Hawfields Road, Tax Parcel 170381, Mebane, Melville Township, Alamance County, North Carolina. The property is irregular in shape. It fronts the west side of Trollingwood Hawfield Road in two places that are separated by a 2.01 acre outparcel. It also fronts the south side of I-40/85 and Lowes Boulevard. I-40/85 is an interstate highway, Trollingwood Hawfields Road is a two lane asphalt surface public road and Lowes Boulevard is a two lane asphalt surface private road.

According to public records the property is owned by Trollingwood-Hawfields, LLC. The Parcel ID number for the property is 170381. The property is located in a B-2 (General Business District) and an M-2 (Light Manufacturing District) for the Town of Mebane.

There are several old buildings on the property and a pond near the northern portion of the site. The area near Trollingwood Hawfield Road is mostly cleared. The north area of the site is wooded except the pond and there are woods along the southern property line in from Trollingwood Hawfield Road.

The land contains a reported area of 24.89 acres. The topography slopes downward from east to west to the pond. None is low or in the floodplain.

A tax card, GIS map, aerial photograph, flood/topography map and zoning map are in the addenda.

DESCRIPTION OF THE PROPOSED TOWER AND LEASED AREA

The tower will be located near the northeast corner of the property adjacent to the right-of-way of I-40/85. The leased area will be 100' x 100' with a fenced area 60' x 60' within the leased area. There will be a 30 foot wide ingress/egress and utility easement with 15 foot wide gravel drive from Trollingwood Hawfields Road.

The tower will be 175 feet in height with a 10 foot lightning rod for a total of 185 feet. It will be of monopole design, have places for six antenna arrays and will not be illuminated. The fenced area will have gravel and be enclosed with an eight foot high fence with fabric and topped with three strand barbed wire. The equipment structures for the tower will be below the level of the chain link fence. The site will be landscaped as required by the zoning ordinance and partially screened by existing trees.

ADJOINING OR ABUTTING PROPERTIES

There are six adjoining or abutting properties. Information about these properties from the tax records is on a chart as follows.

PIN	Address	Owner	Land Size	Use
160377	1342 Trollingwood Hawfields Rd	PFJ Southeast LLC	11.68222	Convenience Store/Gas
160530	1436 Trollingwood Hawfields Rd	Williams John A	1.971063	Single Family Dwelling (Vacant Commercial Land)
160531	Trollingwood Hawfields Rd	Shoffner Martin L	8.483761	Vacant Industrial Land
160533	NC 119 Hwy	DRPBS Hospitality LLC	6.77	Vacant Commercial Land
163481	Lowes Blvd	Compass Pointe Center Owners Association Inc	3.463386	Commercial Common Area
163484	Lowes Blvd	Lowes Home Centers Inc	1.816413	Vacant Commercial Land

One of the properties is improved with a convenience store. The rest are listed as vacant commercial or industrial but one has a dwelling. This dwelling has a low tax value and the property is zoned commercial. Another property, PIN 163484, is a private road. 163481 is a common area for a commercial park and has a storm retention pond.

PART FOUR – ANALYSIS OF DATA AND CONCLUSIONS

EFFECT OF THE PROPOSED TELECOMMUNICATIONS TOWER

The potential adverse effects from any proposed improvement are: environmental hazards, noise, odor, lighting, traffic and visual impact. Based on the plans of the proposed tower and conversations with those associated with it, there will be no environmental hazards associated with the proposed use. Also after construction there should be no significant adverse noise since the site is unmanned and none of the proposed items produce any significant noise. The improvement should also not produce any adverse odors. Traffic should not cause any significant adverse impact since the facility requires only periodic maintenance. If the tower is visible this has the potential to cause adverse impacts to other properties.

The tower site will be fenced and landscaped as required. All of the non-tower improvements will be screened by the fencing and landscaping. The only potential adverse effect is the visual impact of the tower itself. The tower will be much shorter than most cell towers, 175 feet in height (with a 10 foot lightning rod) and unlit. The adjoining and abutting properties are all zoned commercial or industrial and all but two are vacant. One of these is a commercial use and the other is a residence that is not the highest and best use of its property.

To determine any potential adverse effects of the proposed tower I researched the Mebane area and found a cellular tower located at 520 Ben Wilson Road. This tower is an unlit monopole tower similar to the proposed tower and was built in 1997. It is 199.1 feet in height compared to the proposed tower's 185 feet. Like the proposed tower it is located near I-40/85. A photo of the tower and further information is in the addenda.

I prepared a matched paired analysis type analysis. In this analysis properties that are similar in most respects are adjusted for all significant differences except one to determine the effect of that one difference. Across Ben Wilson Road is a subdivision, Collington Farms. The tower is visible from dwellings in the 200 block of Collington Drive and partially visible from those in the 300 block of Collington Drive. It is not visible from the dwellings in the 600 block of Collington Drive. I compared those properties that sold using the Multiple Listing Service from 2008 to 2019. I adjusted the properties for differences. Charts of these properties are on the following pages.

CLOSEST TO TOWER														
Address	Sold Price	Closing Date	Year Built	Garage	Porch	Patio	Storage	FP	Full Baths	Half Baths	Total Adjust.	Adjusted Improve	Living Area	Price Per SF
207 Collington	\$170,000	4/11/2011	2010	19.10x18.6		10x10	9.3x6	1	3	0	-\$29,142	113426	2,340	\$48.47
210 Collington	\$146,500	4/26/2011	2011	19.8x19.8		10x10	6.2x6	1	2	1	-\$27,678	89318	1,625	\$54.96
205 Collington	\$170,900	5/27/2011	2011	19.10x18.6		10x10	8x8	1	3	0	-\$29,419	110443	1,930	\$57.22
208 Collington	\$145,815	8/10/2012	2012					1	2	1	-\$12,362	100604	1,810	\$55.58
203 Collington	\$150,550	9/14/2012	2012	18X19				1	3	0	-\$26,120	90698	1,930	\$46.99
204 Collington	\$152,770	10/26/2012	2012					0	2	1	-\$10,393	108567	1,634	\$66.44
201 Collington	\$172,425	4/24/2013	2012					1	2	0	-\$10,293	129074	1,855	\$69.58
210 Collington	\$177,000	7/11/2017	2010					1	2	1	-\$12,362	138824	1,650	\$84.14
202 Collington	\$195,000	8/1/2017	2012	18.6x19.10		10x8		1	2	1	-\$25,032	137908	2,043	\$67.50
202 Collington	\$206,000	7/25/2018	2012	18.6x19.10		10x8		0	2	1	-\$23,063	148510	2,043	\$72.69
200 Collington	\$220,000	11/20/2018	2011	19.8x19.8		3x3	9.3x6	1	2	1	-\$27,676	160745	2,350	\$68.40
210 Collington	\$200,000	12/21/2018	2010	19.3x19.3	6x9.3	10x10	6x6	1	2	1	-\$26,970	145328	1,707	\$85.14
211 Collington	\$203,000	5/6/2019	2009	20 x 19	13.6x9.5	10x10	7.2x5.5	1	2	1	-\$27,348	149997	1,856	\$80.82
208 Collington	\$190,000	11/19/2019	2012	20' x 19'		28x10	10x5	1	2	1	-\$28,940	126128	1,810	\$69.68
													Average	\$66.26

NEXT CLOSEST														
Address	Sold Price	Closing Date	Year Built	Garage	Porch	Patio	Storage	FP	Full Baths	Half Baths	Total Adjust.	Adjusted Improve	Living Area	Price Per SF
308 Collington	\$159,300	9/5/2008	2009	20x19.8		10x10	10.8x5.8	0	2	1	-\$19,947	116443	2,043	\$57.00
309 Collington	\$190,050	5/16/2009	2009	19X19		10x10	9x6	1	3	0	-\$29,278	139447	2,340	\$59.59
313 Collington	\$157,000	9/3/2009	2009	20x19.8		10x10	9.8x5.10	1	2	1	-\$28,243	105222	1,810	\$58.13
307 Collington	\$151,000	2/18/2010	2010	20x19.8		10x10	9.8x5.10	1	2	1	-\$28,243	98625	1,810	\$54.49
303 Collington	\$147,900	6/15/2010	2010	19.8x19.8		10x10	6.2x6	0	2	1	-\$25,709	97314	1,625	\$59.89
315 Collington	\$173,000	5/8/2013	2009					1	3	0	-\$14,454	133381	2,340	\$57.00
316 Collington	\$169,900	2/10/2014	2009	20x20		10x10		1	2	1	-\$26,696	119331	2,340	\$51.00
311 Collington	\$159,000	3/7/2016	2008	20x19				0	2	1	-\$23,355	116484	1,650	\$70.60
307 Collington	\$179,639	2/23/2017	2010	20x20			9.8x5.10	1	2	1	-\$27,690	127062	1,844	\$68.91
301 Collington	\$192,000	10/20/2017	2009	20x19		10x10		0	3	0	-\$26,138	141691	2,128	\$66.58
313 Collington	\$194,000	12/14/2017	2009	20x19.8		10x10	9.8x5.10	1	2	1	-\$28,243	141748	1,810	\$78.31
318 Collington	\$199,000	12/20/2017	2008					1	2	1	-\$12,362	165778	1,930	\$85.90
311 Collington	\$189,000	12/21/2018	2008	20x19	6x93	29x10		0	2	1	-\$25,356	141431	1,651	\$85.66
													Average	\$65.62

FURTHEST FROM TOWER

Address	Sold Price	Closing Date	Year Built	Garage	Porch	Patio	Storage	FP	Full Baths	Half Baths	Total Adjust.	Adjusted Improve	Living Area	Price Per SF
600 Collington	\$176,000	6/20/2008	2008	19x18		10x10		1	2	1	-\$25,366	124960	2,297	\$54.40
616 Collington	\$175,650	6/28/2011	2011	19.10x19.4		10x10	9x7	1	2	0	-\$25,809	118825	1,700	\$69.90
620 Collington	\$203,325	9/16/2011	2011	20.1x19.1		10x10	10.2x6	1	2	1	-\$28,277	142067	2,723	\$52.17
619 Collington	\$200,350	10/14/2011	2011	20x19.8		10x10	7.7x6.2	1	2	1	-\$28,236	139651	2,566	\$54.42
615 Collington	\$156,954	9/20/2012	2012					1	2	0	-\$10,293	112558	1,698	\$66.29
630 Collington	\$182,025	9/26/2012	2012					1	3	0	-\$14,454	132013	1,855	\$71.17
634 Collington	\$194,520	10/9/2012	2012					1	2	1	-\$12,362	145941	2,599	\$56.15
640 Collington	\$199,345	6/24/2013	2013					1	3	0	-\$14,454	146634	2,566	\$57.15
628 Collington	\$202,980	6/26/2013	2013					1	3	0	-\$14,454	150027	2,599	\$57.73
637 Collington	\$162,150	8/6/2014	2014					1	2	1	-\$12,362	111249	1,633	\$68.13
643 Collington	\$172,000	12/18/2014	2013					0	2	1	-\$10,393	126974	2,025	\$62.70
639 Collington	\$167,555	12/31/2014	2013					1	2	1	-\$12,362	120796	1,761	\$68.60
645 Collington	\$189,900	2/9/2015	2013					0	2	1	-\$10,393	147015	2,260	\$65.05
641 Collington	\$153,900	2/23/2015	2013					0	2	1	-\$10,393	112246	1,633	\$68.74
625 Collington	\$175,000	4/2/2015	2012	20.5X20				0	2	1	-\$25,078	119330	2,095	\$56.96
600 Collington	\$183,000	6/4/2015	2008	19x19			5x4	0	2	1	-\$23,381	138676	2,297	\$60.37
611 Collington	\$174,000	6/19/2015	2008	19x20			9.8x5.10	1	2	1	-\$27,007	125678	1,866	\$67.35
613 Collington	\$169,000	9/7/2015	2008	20x20		16x28	6x9.3	1	2	1	-\$31,659	116334	2,340	\$49.72
626 Collington	\$172,000	3/24/2016	2013	19.3 x 19.3				1	2	1	-\$25,133	115265	1,633	\$70.59
610 Collington	\$210,800	3/29/2016	2008			10x10	6x8.5	1	2	1	-\$15,359	179486	2,640	\$67.99
629 Collington	\$205,000	6/5/2016	2012			10x10	5.8x8.3	1	2	1	-\$14,673	158565	2,732	\$58.04
632 Collington	\$189,000	6/28/2016	2012	19x19				1	2	1	-\$25,324	132286	1,632	\$81.06
643 Collington	\$192,000	8/4/2016	2013					0	2	1	-\$10,393	147310	2,025	\$72.75
633 Collington	\$190,000	8/30/2016	2013					1	2	0	-\$10,293	145491	1,900	\$76.57
615 Collington	\$180,420	4/17/2017	2012			20x26.6	5.8x11.6	1	2	0	-\$16,216	133213	1,698	\$78.45
641 Collington	\$178,000	6/19/2017	2013					0	2	1	-\$10,393	133685	1,683	\$79.43
638 Collington	\$225,000	1/22/2019	2013			- 14 -		0	2	1	-\$10,393	179839	2,630	\$68.38
													Average	\$65.19

The properties in the 200 block of Collington Drive, closest to the tower gave an average adjusted selling price of \$66.26 per square foot. The properties in the 300 block of Collington Drive gave an average adjusted selling price of \$65.62 and the properties furthest from the tower, 600 block of Collington Drive, gave an average adjusted per square foot selling price of \$65.19. The per square foot prices are very close and the properties closest to the tower had slightly higher per square foot values.

CONCLUSION

To consider the effect of a proposed cellular tower, I inspected the property where the tower is proposed, the plans for the tower and the adjoining or abutting properties. I researched the Mebane area and located a cell tower near a residential development and using matched pair analysis compared properties near the tower with those away from a tower. After adjusting, the per square foot prices were similar indicating that a property adjoining or abutting to a cellular tower is not adversely affected by the tower.

Based on this it is my opinion that the proposed tower will not substantially injure the value of adjoining or abutting property.

Cellular telephones have become a necessary and desired item in today's world. Many potential buyers of real estate expect cellular communications just as they expect electric service and lack of this service or poor service could adversely affect value. In order to meet this need, telecommunications towers have become a common part of the landscape in much the same way that overhead power and telephone lines and other utilities have. Like these utilities, telecommunications towers are needed in locations throughout the country. As such they are in harmony with the area in the same way that other utilities are.

There have been surveys that show that visibility of cell towers are undesirable. However, they do not ask the right question. The real question is: "Does the presence of a cell tower adversely affect property values?" I have not found that to be the case. View of a cell tower is only one of many factors that a prospective buyer would consider. Factors such as proximity to work, schools, floor plan, condition, size, etc. are much more important and tend to completely negate the impact of a cell tower. Many residents did not even realize that a tower was visible for several months and others forget they are there in a short period.



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QUALIFICATIONS OF DAVID A. SMITH, MAI, SRA

The appraiser, David A. Smith, has been involved in the appraisal of real estate for over thirty years. He worked with his father, Charles W. Smith, from 1976 to 2003. After the retirement of Charles W. Smith in 2003 he formed Smith & Whitfield, Inc. and later David A. Smith & Associates. In 1988 he was awarded the RM designation. With the merger of the American Institute of Real Estate Appraisers and the Society of Real Estate Appraisers in January of 1991, the RM designation was changed to the SRA designation. In 1991 he was awarded the MAI designation of the Appraisal Institute. He became a state-certified real estate appraiser in 1991 the year the state first began licensing real estate appraisers and his certification number is A281.

He has also trained and supervised several appraisers and has prepared all types of appraisal reports. His primary focus is Durham County and the adjoining counties of Orange, Person, Granville and Chatham.

EDUCATION: Graduate Episcopal High School, Alexandria, VA, 1976
A.B., Duke University, Durham, NC, 1981

APPRAISAL INSTITUTE COURSES:

Real Estate Appraisal Principles (Exam 1A-1/8-1), University of North Carolina, 1981
Residential Valuation (Exam 8-2), University of North Carolina, 1981
Basic Valuation Procedures (Exam 1A-2), University of North Carolina, 1983
Standards of Professional Practice (Exam SPP), University of North Carolina, 1983
Capitalization Theory & Techniques, A (Exam 1B-A), University of Colorado, 1984
Capitalization Theory & Techniques, B (Exam 1B-B), University of Colorado, 1984
Valuation Analysis and Report Writing (Exam 2-2), University of North Carolina, 1987
Case Studies in Real Estate Valuation (Exam 2-1), University of North Carolina, 1987
Advanced Sales Comparison & Cost Approaches, Atlanta, Georgia, 2002
General Appraiser Market Analysis and Highest and Best Use, Atlanta, Georgia, 2007
Online Business Practices and Ethics, Chicago, Illinois, 2007
Appraisal Curriculum Overview, 2009
Condemnation Appraising: Principles & Applications, Greensboro, NC, 2011

APPRAISAL INSTITUTE SEMINARS:

Highest and Best Use, 1988
Industrial Valuation, 1988
Rates, Ratios and Reasonableness, 1988
Valuation of Leased Fee Interests, 1989
Current Problems in Industrial Valuation, 1989
Methods of Subdivision Analysis, 1989
Expert Witness in Litigation, 1989
Discounted Cash Flow, 1990
RTC Appraisal Standards, 1990
Preparation and Use of the UCIAR Form, 1990
Standards of Professional Practice Update, 1990
Commercial Construction Overview, 1991
Appraising Troubled Properties, 1991
Appraisal Regulations of the Federal Banking Agency, 1992
Real Estate Law for Appraisals, 1992
Appraising Apartments, 1993
Discounted Cash Flow Analysis, 1994
Appraiser's Legal Liabilities, 1994
Understanding Limited Appraisals, 1994
Analysis Operating Expenses, 1995
Future of Appraisals, 1996
Highest and Best Use Applications, 1996
Standards of Professional Practice, Parts A & B, 1997
Litigation Skills for the Appraiser, 1997
Eminent Domain & Condemnation Appraising, 1998
Matched Pairs/Highest & Best Use/Revisiting Report Options, 1998
Valuation of Detrimental Conditions, 1998
Appraisal of Nonconforming Uses, 2000
How GIS Can Help Appraisers Keep Pace with Changes in R E Industry, 2001
Feasibility Analysis, Market Value and Investment Timing, 2002
Analyzing Commercial Lease Clauses, 2002
Standards of Professional Appraisal Practice, 2002
Effective Appraisal Writing, 2003
Supporting Capitalization Rates, 2004
National USPAP Update, 2004
Rates and Ratios: Making Sense of GIMs, OARs, and DCFs, 2005
The Road Less Traveled: Special Purpose Properties, 2005
National USPAP Update, 2006
Appraisal Consulting: A Solutions Approach for Professionals, 2006
What Clients Would Like Their Appraisers to Know, 2007
Valuation of Detrimental Conditions, 2007
Business Practice and Ethics, 2007
Office Building Valuation: A Contemporary Perspective, 2008
Subdivision Valuation, 2008
National USPAP Update, 2009
Effective Appraisal Writing, 2009

Appraisal Curriculum Overview, 2009
Discounted Cash Flow Model: Concepts, Issues and Apps, 2010
National USPAP Update, 2010
Rates and Ratios: Making sense of GIMs, OARs and DCFs, 2011
National USPAP Update, 2012
Business Practices and Ethics, 2012
Marketability Studies: Advanced Considerations & Applications, 2013
Real Estate Valuation Conference, 2013
2014 Real Estate Valuation Conference, 2014
7-Hour National USPAP Update Course, 2014
2014 Real Estate Valuation Conference, 2014
Analyzing the Effects of Environmental, 2015
7-Hour National USPAP Update Course, 2016
Online Business Practices and Ethics, 2017
Commercial Real Estate Finance, 2017
Spring 2017 Real Estate Valuation, 2017
7-Hour National USPAP Update Course, 2018
The End of Experts: Mission Battleground and the Intelligent Layperson, 2018
Ignorance Isn't Bliss: Understanding and Investigation by a State Appraiser
Regulatory Board or Agency, 2018
Advanced Land Valuation: Sound Solutions to Perplexing Problems, 2019
Uniform Appraisal Standards for Federal Land Acquisitions, 2019
7-Hour National USPAP Update Course, 2020
2020 Real Estate Valuation Conference, 2020
Business Practices and Ethics, 2020
Advanced Land Valuation: Sound Solutions to Perplexing Problems, 2020
Solving Land Valuation Puzzles, 2021

OTHER SEMINARS AND COURSES:

Commercial Segregated Cost Seminar, Marshall & Swift, 1988
Appraisal Guide and Legal Principles, Department of Transportation, 1993
The Grammar Game, Career Track, 1994
Property Tax Listing and Assessing in NC, 2014

MEMBERSHIPS:

Appraisal Institute, MAI #09090
Appraisal Institute, SRA/RM #2248
Durham Board of Realtors
North Carolina Association of Realtors
National Association of Realtors

CERTIFICATION:

State Certified General Real Estate Appraiser for North Carolina, #A281

OTHER:

Durham Sheriff's Community Advisory Board 2019 - Present
Durham County Board of Equalization and Review, 2013 – Present, Current Chair
Durham Citizens Police Review Board 2010- Present, Past Chair.
Durham Public Schools Budget Advisory Committee, 2013 - 2018
NC Property Tax Commission, 2013 – 2017
City of Durham Audit Oversight Committee, 2002 – 2006
Durham Board of Adjustment, 1994 - 2002
Durham Planning Commission, 1990 – 1995
John Avery Boys and Girls Club, 1994-2002
Historical Preservation Society, 1992 - 1995
Vice President of the Candidates, 1989, NC Chapter 40
President of the Candidates, 1990, NC Chapter 40
Candidate of the Year, 1990, NC Chapter 40

RECENT CLIENTS:

LENDING INSTITUTIONS

American National Bank & Trust Company
AMEX Financial
BB&T
Citizens National Bank
CommunityOne Bank NA
Fidelity Bank
Live Oak Banking Company
Mechanics & Farmers Bank
PNC Bank
RBC Bank
Self-Help
State Farm Bank
SunTrust Bank
Wells Fargo Bank

MUNICIPALITIES AND OTHER GOVERNMENT AGENCIES

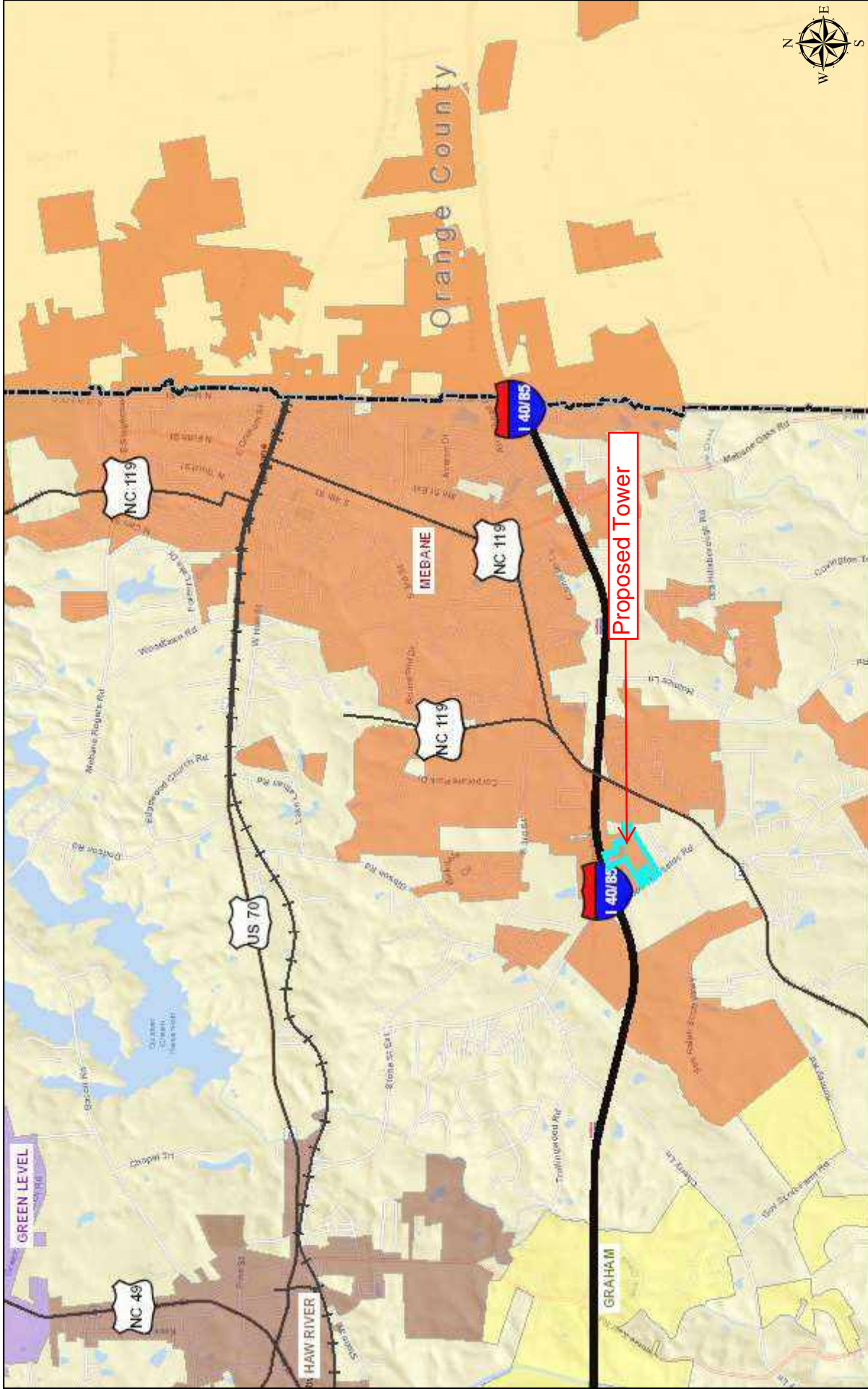
City of Durham
Town of Chapel Hill
Town of Hillsborough
NC Department of Administration
Durham County
Orange County
Durham Public Schools
Durham Technical Community College
Housing Authority of the City of Durham
NCDOT
Orange Water and Sewer Authority
Person County

OTHER

Allenton Management
Builders of Hope
BCG Properties
Blanchard, Miller, Lewis & Styers Attorneys at Law
Blue Cross & Blue Shield of NC
Boulevard Properties
Carolina Land Acquisitions
CRC Health Corporation
Development Ventures Inc.
Duke Energy
Durham Academy
Durham Rescue Mission
Durham Technical Community College
Edward Jones Trust Company
Farrington Road Baptist Church
Forest History Society
GBS Properties of Durham, LLC
Hayden Stanziale
Georgia Towers, LLC
Hawthorne Retail Partners
Integral
Investors Title Insurance
IUKA Development
Joelepa Associates LP
LCFCU Financial Partners
McDonald's USA
Mt. Gilead Baptist Church
Northgate Realty, LLC
Property Advisory Services, Inc.
Research Triangle Foundation
Sehed Development Corporation
Simba Management
Stirling Bridge Group, LLC
Styers, Kemerait & Mitchell, PLLC
Talbert & Bright Attorneys at Law
Teer Associates
Thalle Construction
The Bogey Group
TKTK Accountants
Treyburn Corporate Park, LLC
Trinity Properties
UNC Hospitals
Voyager Academy
Wilhekan Associates

ADDENDA

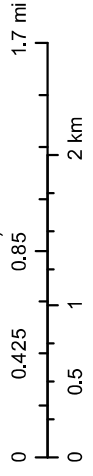
Location Map of Proposed Tower



February 8, 2022

- + Railroads
- Major Roads
- HWY; HWY
- County Line
- <all other values>

1:50,004



Alamance County GIS
Alamance County Tax Department

Aerial

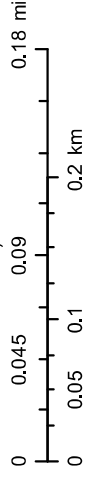


February 3, 2022

Streets

- Roads
- Preliminary Roads
- Private Roads
- 390 - TRAIL
- 391 - TRAIL
- 392 - TRAIL
- 393 - TRAIL
- 394 - TRAIL
- 395 - TRAIL
- + Railroads
- County Line

1:5,316



Alamance County GIS
Alamance County Tax Department

Flood Topo Map

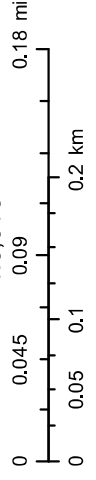


February 3, 2022

Streets

- Roads
- Preliminary Roads
- Private Roads
- 390 - TRAIL
- 391 - TRAIL
- 392 - TRAIL
- 393 - TRAIL
- 394 - TRAIL
- 395 - TRAIL
- + Railroads
- County Line

1:5,316



Alamance County GIS
Alamance County Tax Department

Zoning Map





Alamance County Government

TAX ADMINISTRATION RECORD SEARCH

Property Owner TROLLINGWOOD-HAWFIELDS LLC	Owner's Mailing Address 1436 TROLLINGWOOD HAWFIELDS RD MEBANE , NC 27302	Property Location Address TROLLINGWOOD HAWFIELDS RD
Administrative Data Parcel ID No. 170381 OLD Tax ID 10-17-370 GPIN 9804922987 Owner ID 583134 Tax District 14 - CITY OF MEBANE Land Use Code 400 Land Use Desc VACANT COMMERCIAL LAND Neighborhood MBI07	Administrative Data Legal Desc TROLLINGWOOD HAWFIELDS RD LOT 2 Plat Bk/Pg 73 / 102	Valuation Information Tax Value \$ 671,562 Tax Value - Land and all permanent improvements, if any, effective January 1, 2017, date of County's most recent General Reappraisal Assessed Value \$ 671,562 If Assessed Value does not equal Market Value, then the parcel may be in a tax deferral program, be split by the county line, or be overridden to match an alternative valuation approach.
Improvement Detail (1st Major Improvement on Subject Parcel) Year Built 0 Built Use/Style Current Use / Grade / * Percent Complete 0 Heated Area (S/F) 0 Fireplace (Y/N) N Basement (Y/N) N ** Bedroom(s) 0 ** Bathroom(s) 0 Full Bath(s) 0 Half Bath(s) *** Multiple Improvements 0 <small>* Note - As of January 1 ** Note - Bathroom(s), Bedroom(s), shown for description only *** Note - If multiple improvements equal "MLT" then parcel includes additional major improvements</small>		
Sales History		




Doc ID: 010112620003 Type: CRP
 Recorded: 07/22/2009 at 01:58:12 PM
 Fee Amt: \$20.00 Page 1 of 3
 Alamance, NC
 DAVID J.P. BARBER REGISTER OF DEEDS

BK **2835** PG **293-295**

SPECIAL WARRANTY DEED

Revenue Stamps: \$-0-

THIS INSTRUMENT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE EXAMINATION.

Prepared By: Dorn C. Pittman, Jr.
 Return To:  Wishart, Norris, Henninger & Pittman, P.A.
 Post Office Box 1998, Burlington, NC 27216

NORTH CAROLINA
 ALAMANCE COUNTY

THIS DEED made this 10 day of June, 2009, by and between JOHN A. WILLIAMS and wife, AVIS E. WILLIAMS, Grantor and TROLLINGWOOD-HAWFIELDS, LLC, a limited liability company of 1436 Trollingwood-Hawfields Road, Mebane, North Carolina 27302, Grantee. The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH:

That the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all of that certain tract or parcel of land more particularly described as follows:

Tract 1:

That certain tract or parcel of land lying and being in Melville Township, Alamance County, North Carolina adjoining the lands of Trollingwood Road (SR #1981), John A. Williams, the J.I. White Estate, other lands of the Grantors and bounded and described as follows:

BEGINNING at a point in the centerline of Trollingwood Road (SR #1981), corner with other lands of John A. Williams; thence with the line of said Williams, North 63 deg. 15' East 1600 feet to an old iron stake in the line of the J.I. White Estate, a corner with said Williams; thence with the line of the J.I. White Estate, South 84 deg. 21' East 265.16 feet to a white flint rock; thence another line with said White Estate, South 02 deg. 11' East 120.95 feet to an old iron stake in the line of said White Estate and corner with John J. Dunn; thence with the line of said Dunn, South 63 deg. 17' West 1745.00 feet to a point in the centerline of Trollingwood Road (iron stake set in this line 34.10 feet from point in center of road); thence with the centerline of Trollingwood Road (SR #1981), North 33 deg. 16' West 252.50 feet to the point of BEGINNING and containing 10.02 acres, more or less.

The above description was taken from a survey by William L. Bolden, Registered Surveyor, Haw River, North Carolina, dated May 9, 1981.

3/20

The above described property was acquired by the Grantors by deed recorded in Deed Book 463 at Page 564 of the Alamance County Registry.

Tract 2:

Those certain tracts or parcels of land in Melville Township, Alamance County, North Carolina, adjoining the lands of Highway No. 70, Velnor Graves and others and more particularly described as follows:

BEGINNING at an iron stake, corner with James I. White and Joe Dunn; running thence with the line of the said Dunn, S. 63 deg. 15' W. 1600 feet to a point in a public road (iron stake set in this line 95.15 feet from said point in the road); thence running with and across said road, N. 26 deg. 43' W. 410 feet to an iron stake, corner with Velnor Graves; thence with the line of the said Graves, N. 63 deg. 04' E. 974.35 feet to an iron stake; thence again with the said Graves, N. 25 deg. 15' W. 533 feet to an iron stake in the southerly line of Highway No. 70, corner with said Graves' northeast corner; running thence with the southern line of said Highway, N. 79 deg. 25' E. 438.1 feet to an iron stake, corner with James I. White; running thence with the said White, the following courses and distances: S. 2 deg. 49' W. 376 feet to a rock, S. 85 deg. 11' E. 296.8 feet to an iron stake, S. 5 deg. 15' W. 227.5 feet to a rock and S. 85 deg. 25' E. 285.5 feet to the BEGINNING, containing 17.17 acres, more or less, according to survey made by J. Mark McAdams, Surveyor, October 4, 1957, and Robert M. Buhler, Surveyor, August 16, 1961.

For chain of title, see Deed Book 256, page 341; Deed Book 256, Page 342; Deed Book 294, Page 8 and Book 301, Page 245 in Alamance County Public Registry.

The above described Tract 2 is the same property conveyed by C.H. Riddle and wife, Ava L. Riddle to John A. Williams and wife, Avis E. Williams, by deed dated June 7, 1962, which deed is duly recorded in Deed Book 301, at Page 245 of the Alamance County Registry.

SAVE AND EXCEPT AND EXCLUDED FROM THE FOREGOING conveyance is Lot 1 as shown on the Final Plat Recombination of Property for John A. Williams and wife, Avis E. Williams consisting of 2.01 acres, more or less, said plat being recorded in Book 73 at Page 102 of the Alamance County Registry.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

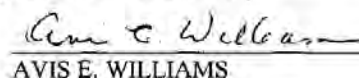
And the Grantor covenants with the Grantee, that Grantor has done nothing to impair such title as Grantor received, and Grantor will warrant and defend the title against the lawful claims of all persons claiming by, under or through Grantor, except for the exceptions hereinafter stated.

Title to the property hereinabove described is subject to the following exceptions:

This conveyance is subject to easements, rights of way, restrictive covenants and leases, if any, appearing of record in the Alamance County Registry and that certain conveyance recorded in Book 686 at Page 216, Alamance County Registry.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, the day and year first above written.

 (SEAL)
JOHN A. WILLIAMS

 (SEAL)
AVIS E. WILLIAMS

NORTH CAROLINA
ALAMANCE COUNTY

I certify that the following person personally appeared before me this day, each acknowledging to me that he or she voluntarily signed the foregoing document for the purpose stated therein and in the capacity indicated: JOHN A. WILLIAMS, *individually*

Date: 6-10-09

Lori K. Beal

(Official Seal)



Lori K. Beal, Notary Public
(Print Name)

My Commission Expires: 11-10-2012

NORTH CAROLINA
ALAMANCE COUNTY

I certify that the following person personally appeared before me this day, each acknowledging to me that he or she voluntarily signed the foregoing document for the purpose stated therein and in the capacity indicated: AVIS E. WILLIAMS, *individually*

Date: 6-10-09

Lori K. Beal

(Official Seal)



Lori K. Beal, Notary Public
(Print Name)

My Commission Expires: 11-10-2012

Ep clients/williams.john/swd - LLC

PHOTOGRAPHS OF SUBJECT
Take By David Smith February 8, 2022



Subject Northern Frontage on Trollingwood Hawfields Road



Subject Southern Frontage on Trollingwood Hawfields Road

PHOTOGRAPHS OF SUBJECT
Take By David Smith February 8, 2022



Subject Frontage on Lowes Boulevard

AT&T SITE #: 062-041
 CITY SWITCH SITE #: NCC010
 CITY SWITCH SITE NAME: MEBANE
 PROJECT DESCRIPTION: PROPOSED TELECOMMUNICATIONS FACILITY
 TOWER TYPE: 175' MONOPOLE (185' OVERALL)
 SITE ADDRESS: 1436 TROLLINGWOOD HAWFIELDS RD MEBANE, NC 27302 (ALAMANCE COUNTY)
 JURISDICTION: CITY OF MEBANE
 AREA OF CONSTRUCTION: 50,617 ± SQ. FT. (1.16± AC.)
 PRESENT LAND USE: VACANT COMMERCIAL
 WATER SUPPLY WATERSHED: WS-11 NSW
 RECEIVING WATER BODY: LITTLE HAW CREEK
 CURRENT ZONING: B-2 & M-2
 PARCEL ID: 170381
 NUMBER OF DWELLING UNITS: 1

PROJECT INFORMATION
 LATITUDE: N 36° 04' 03.42" (36.067616)
 LONGITUDE: W 79° 18' 24.53" (-79.306814)
 GROUND ELEVATION: ±806.6' (AMSL)



LOCATION MAP

CITY SWITCH
 1436 TROLLINGWOOD HAWFIELDS RD
 MEBANE, NC 27302
 (ALAMANCE COUNTY)

CITY SWITCH SITE #: NCC010
 CITY SWITCH NAME: MEBANE
 AT&T SITE #: 062-041
 FA LOCATION CODE: 10575504

TOWER OWNER:
 NAME: CITY SWITCH, LLC
 ADDRESS: 1900 CENTURY PLACE NE, SUITE 320 ATLANTA, GA 30345
 CITY, STATE, ZIP: ATLANTA, GA 30345
 CONTACT: JASON GOSSEL
 PHONE: (404) 857-0858

APPLICANT/LESSEE:
 NAME: CITY SWITCH, LLC
 ADDRESS: 1900 CENTURY PL NE, SUITE 320 ATLANTA, GA 30345
 CITY, STATE, ZIP: ATLANTA, GA 30345
 CONTACT: JASON GOSSEL
 PHONE: (404) 857-0858

CO-APPLICANT/LESSEE:
 NAME: AT&T MOBILITY
 ADDRESS: PISCATAWAY CHURCH RD, STE 300 GREENSBORO, NC 27455
 CITY, STATE, ZIP: GREENSBORO, NC 27455
 CONTACT: KEN WELKER
 PHONE: (336) 548-9987

SITE PROJECT MANAGER:
 NAME: MOUNTAIN TO ADDRESS: 52 FARMVIEW DRIVE STE 201 CITY, STATE, ZIP: NEW GLOUCESTER, ME 04260 CONTACT: JESSICA RYAL PHONE: (800) 322-8627

CIVIL ENGINEER:
 NAME: TOWER ENGINEERING PROFESSIONALS ADDRESS: 326 TRYON ROAD RALEIGH, NC 27603 CITY, STATE, ZIP: RALEIGH, NC 27603 CONTACT: JEREMY K. WOOSTER, P.E. PHONE: (919) 861-6351

ELECTRICAL ENGINEER:
 NAME: TOWER ENGINEERING PROFESSIONALS ADDRESS: 326 TRYON ROAD RALEIGH, NC 27603 CITY, STATE, ZIP: RALEIGH, NC 27603 CONTACT: MARK S. QUAKENBUSH, P.E. PHONE: (919) 861-6351

CONTACT INFORMATION

at&t

2002 PISCATAWAY CHURCH ROAD, SUITE 300 GREENSBORO, NC 27455
 OFFICE: (336) 286-6163
 NOC #: (800) 638-2822

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE LOCAL GOVERNING AUTHORITIES, NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

1. 2018 INTERNATIONAL RESIDENTIAL BUILDING CODE
2. 2018 INTERNATIONAL MECHANICAL AND PLUMBING CODE
3. ANSII/A119.1-2014
4. 2017 NEC
5. LOCAL BUILDING CODE
6. CITY/COUNTY ORDINANCES

UTILITIES:
 POWER COMPANY: DUKE ENERGY
 CONTACT: CUSTOMER SERVICE
 PHONE: (800) 544-6900
 METER # NEAR SITE: UNKNOWN

TELEPHONE COMPANY: AT&T
 CONTACT: CUSTOMER SERVICE
 PHONE: (800) 288-2020
 NEAR SITE: UNKNOWN
 PEDESTAL # NEAR SITE: UNKNOWN

PROPERTY OWNER:
 NAME: TROLLINGWOOD HAWFIELDS LLC
 ADDRESS: TROLLINGWOOD HAWFIELDS RD MEBANE, NC 27302
 CITY, STATE, ZIP: MEBANE, NC 27302
 CONTACT: UNKNOWN
 PHONE: UNKNOWN

INDEX OF SHEETS

SHEET	DESCRIPTION	REV
T1	TITLE SHEET	1
TZ-76	APPENDIX B	1
N1-N2	GENERAL NOTES	1
-	SITE SURVEY	-
C1	SITE PLAN	1
C2	VICINITY MAP	1
C3	COMPOUND DETAIL	1
C4	TOWER ELEVATION	1
C5	FENCE DETAILS	1
C6	ACCESS ROAD DETAILS	1
C7	DRIVEWAY CONSTRUCTION DETAILS	1
L1	SIGHT TRIANGLES	1
L2	LANDSCAPING PLAN	1
L3	LANDSCAPE DETAILS	1

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3630
 OFFICE: (919) 861-6351
 www.tepgroup.net
 N.C. LICENSE # P-1403

DRAWN BY: AMS | CHECKED BY: GJB

SEAL:

February 7, 2022

SHEET NUMBER: **T-1**

REVISION: 1

FILE # 15153-468707



TEP ENGINEERING, PLLC
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 (919) 681-6351
 COA # P-1403

SHEET # 1 OF 3 TEP # 151183

TOPOGRAPHIC SURVEY

I, Alan H. Allbert, certify that this plat was drawn under my supervision from an actual survey performed under my supervision (detailed description recorded in Book 3915, page 279, etc.) (hereby, that the boundaries not surveyed are shown as shown on the map and that the bearings and distances are as shown on the map and that the ratio of precision as calculated is 1:73,999.102 that the ratio of precision as calculated is 1:73,999.102 that the Global Positioning System (GPS) survey and the following information was used to perform the GPS (GNSS) if dual constellations are used) survey:
 Class of survey, Class A
 Positional accuracy, 0.06
 Type of GPS field procedure, Real-Time Kinematic
 Dates of survey, December 17, 2021
 Datum/EPOCH, Horizontal Datum is NAD 83/2011
 Datum/EPOCH, Vertical Datum is NAVD 88
 Details/Remarks, Vertical Datum use: VRS
 Control/Reference, Combined GCP/DIP
 Combined grid factor(s), 0.999949
 Units: U.S. Survey Feet
 That this map meets the requirements of the standards of practice for land surveying in North Carolina (21 NCAC 56.1600).
 Witness my original signature and seal this the 20th day of January, 2022.



Alan H. Allbert
 ALAN H. ALLBERT
 NORTH CAROLINA PLS # L-3738

MEBANE NC010

1436 TROLLINGWOOD HAWFIELDS RD.
 MEBALE, NC 27505
 MELVILLE TOWNSHIP
 (ALAMANCE COUNTY)

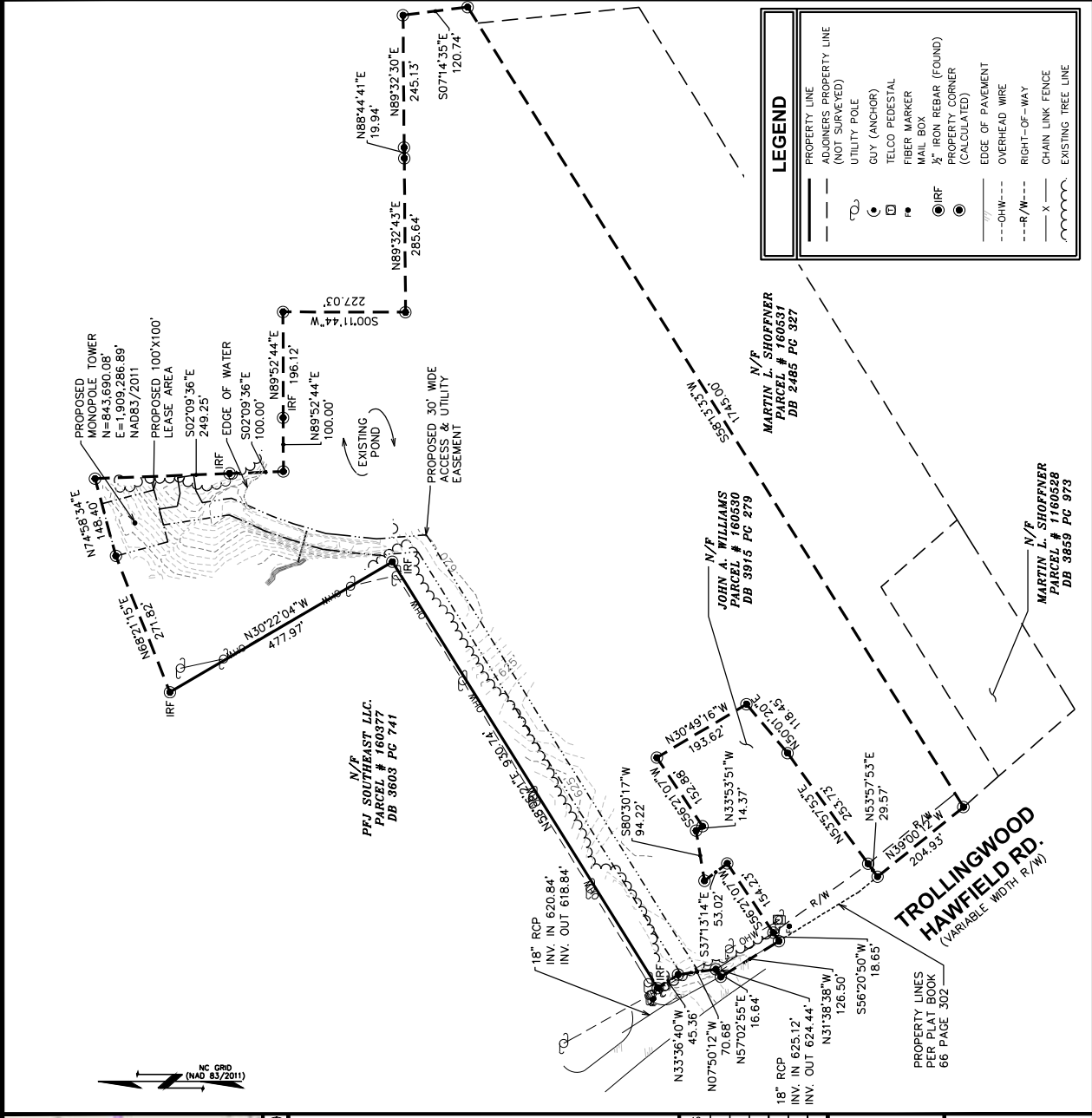
PRELIMINARY TELECOMMUNICATIONS SURVEY
 PREPARED FOR:



5000 CENTRE GREEN WAY
 FIFTH FLOOR
 CARY, NC 27511

FIELD WORK PERFORMED ON: 12/17/21

SCALE: 1" = 200'
 ORIGINAL MAP SIZE 11.00" X 17.00"



VICINITY MAP n.t.s.





1. BASIS OF THE BEARINGS AND COORDINATES IS THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD 83/2011). ALL DISTANCES ARE IN US SURVEY FEET. ALL DISTANCES ARE IN US SURVEY FEET. ALL DISTANCES ARE IN US SURVEY FEET.
 2. AREA COMPUTED BY COORDINATE GEOMETRY
 3. DEED REFERENCE: DEED BOOK 3915, PAGE 279
 4. (PLAT REFERENCE: PLAT BOOK 73, PAGE 102)
 5. PID # 170381
 6. THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, WHICH MAY REVEAL ADDITIONAL CONVEYANCES, ENCUMBRANCES, EASEMENTS, OR OTHER INTERESTS THAT ARE NOT SHOWN AND IS NOT AN ALTA/MSPS LAND TITLE SURVEY.
 7. ALL PROPERTY OWNERSHIPS WERE TAKEN FROM CURRENT COUNTY TAX MAP RECORDS AND/OR RECORDED PLATS ONLY.
 8. BY GRAPHIC DETERMINATION, THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X", AREA DETERMINED TO BE OUTSIDE 0.2% CHANCE OF ANNUAL FLOOD BASED UPON FEMA COMMUNITY PANEL# 370986004, EFFECTIVE NOVEMBER 17, 2017.
 9. LESSEE INFORMATION:
 5000 CENTRE GREEN WAY, FIFTH FLOOR
 CARY, NC 27511
 10. PROPERTY OWNER INFORMATION:
 MOUNTAIN LTD.
 1436 TROLLINGWOOD HAWFIELDS RD.
 MEBALE, NC 27502

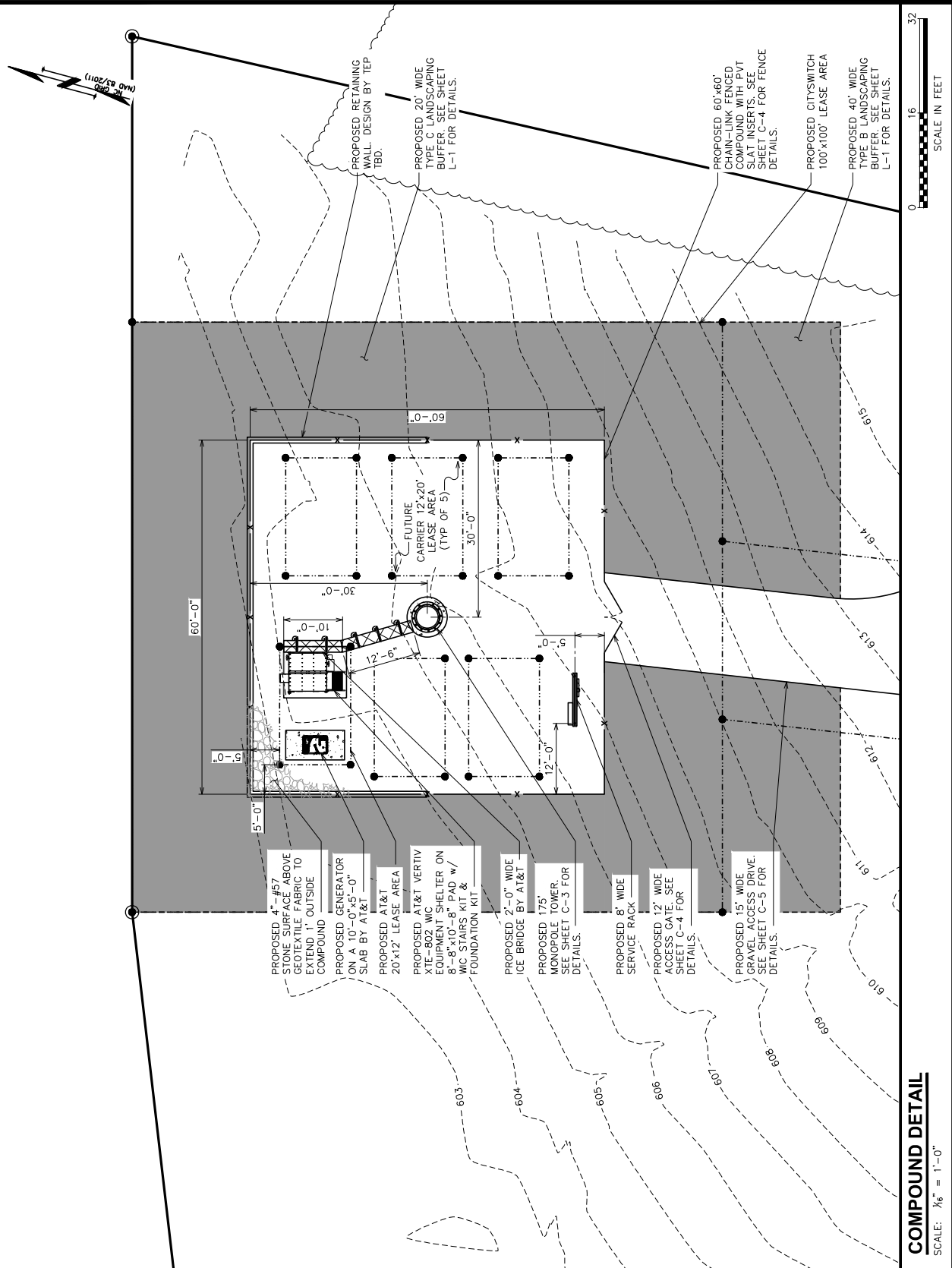
REV	DATE	ISSUED FOR	INITIALS
0	01/07/2022	PRELIMINARY	DDS
1	01/20/2022	FINAL	DDS

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS (G.S. 47-300(f))

1A CERTIFICATE

LATITUDE: N 36° 04' 03.79" (NAD 83/2011)
 LONGITUDE: W 79° 18' 24.94" (NAD 83/2011)
 GROUND ELEV. (AMSL): 606.58± (NAVD 88)

PLANS PREPARED FOR:  2002 PISGAH CHURCH ROAD, SUITE 300 GREENSBORO, NC 27455	
PLANS PREPARED FOR:  1900 CENTURY PLACE NE, SUITE 320 ATLANTA, GA 30345	
PLANS PREPARED FOR:  52 FARM VIEW DRIVE, STE 201 NEW GLOUCESTER, ME 04260	
PROJECT INFORMATION: CITY SWITCH #: NCC010 FA LOCATION: 10575504 1436 TROLLINGWOOD HAWFIELDS RD (ALAMANCE COUNTY)	
PLANS PREPARED BY: TOWER ENGINEERING PROFESSIONALS 326 TRYON ROAD RALEIGH, NC 27603-3530 OFFICE: (919) 861-6331 www.tegroup.net N.C. LICENSE # P-1403	
SEAL: 	
February 7, 2022 ZONING REVIEW 02-07-22 ZONING 02-02-22 ISSUED FOR: DRAWN BY: AMS CHECKED BY: GJB	
SHEET TITLE: COMPOUND DETAIL	
SHEET NUMBER: C-2	
REVISION: 1	
TEP # 51153.468707	



SCALE IN FEET

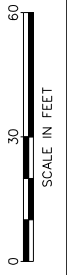
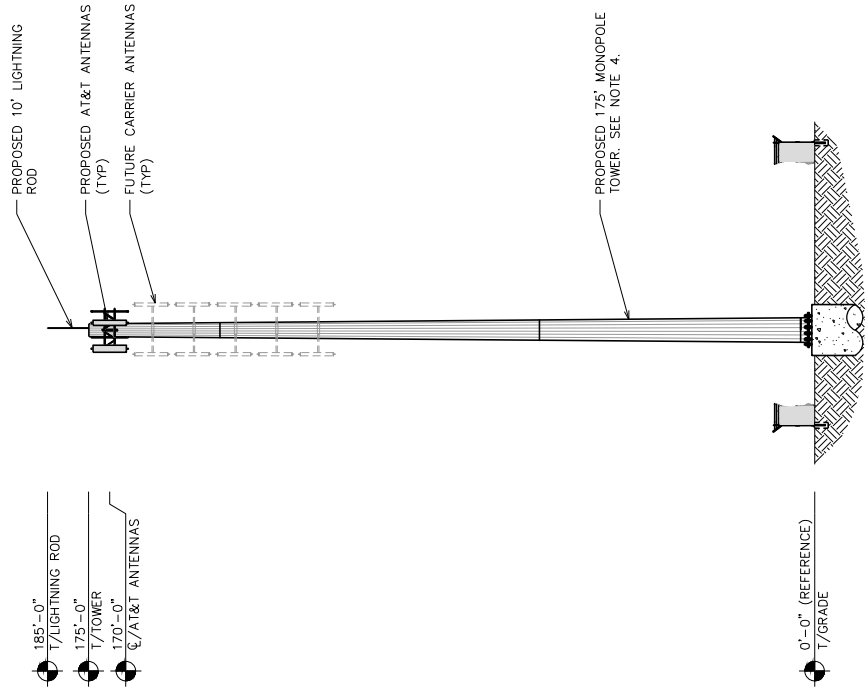
0 16 32

COMPOUND DETAIL

SCALE: 1/8" = 1'-0"

NOTES:

1. PROPOSED CABLES TO BE RUN AS PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS. IF PROPOSED CABLE TO BE RUN INSIDE TOWER USING HOISTING GRIPS (AS DIRECTED BY TOWER MANUFACTURER).
2. TOWER ELEVATION SHOWN FOR REFERENCE ONLY. VERIFY ACTUAL TOWER DESIGN & LOADING WITH TOWER DRAWINGS FROM MANUFACTURER AND/OR PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY PROPOSED LOADING WITH PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION. CONTACT CITYSWITCH IN THE EVENT OF ANY DISCREPANCIES.
4. PROPOSED TOWER TO BE DESIGNED TO ACCOMMODATE AT LEAST (6) ANTENNA ARRAYS PER SECTION 4-7.9(2)(I)(V) OF THE CITY OF MEBANE WIRELESS COMMUNICATION FACILITIES ORDINANCE.



PLANS PREPARED FOR: 2002 FISGAH CHURCH ROAD, SUITE 300 GREENSBORO, NC 27455	PLANS PREPARED FOR: 1900 CENTURY PLACE NE, SUITE 320 ATLANTA, GA 30345	PLANS PREPARED FOR: 52 FARM VIEW DRIVE, SITE 201 NEW GLOUCESTER, ME 04260	PROJECT INFORMATION: CITY SWITCH #: NCC010 FA LOCATION: 10575504 1436 TROLLINGWOOD HAWFIELDS RD MEBANE, NC 27302 (ALAMANCE COUNTY)	PLANS PREPARED BY: TOWER ENGINEERING PROFESSIONALS 326 TRYON ROAD RALEIGH, NC 27603-5630 OFFICE: (919) 861-6361 www.tegroup.net N.C. LICENSE # P-1403	SEAL:
February 7, 2022					
I	02-07-22	ZONING REVIEW			
O	02-02-22	ZONING			
REV	DATE	ISSUED FOR:			
DRAWN BY:	AMS	CHECKED BY:	GLB		
SHEET TITLE: TOWER ELEVATION					
SHEET NUMBER: C-3	REVISION: 1				
TEP #151153.468707					

TOWER ELEVATION
SCALE: 1" = 30'

PHOTOGRAPHS OF ADJOINING OR ABUTTING PROPERTIES
Take By David Smith February 8, 2022



Convenience Store (Parcel 160533) from Trollingwood Hawfields Road



Rear Building on Convenience Store Parcel (160533)

PHOTOGRAPHS OF ADJOINING OR ABUTTING PROPERTIES
Take By David Smith February 8, 2022



View of Convenience Store Parcel near Subject Tower Parcel (160533)



Dwelling on Trollingwood Hawfields Road (Parcel 160530) between two Subject Frontages

PHOTOGRAPHS OF ADJOINING OR ABUTTING PROPERTIES
Take By David Smith February 8, 2022



Vacant Parcel (160531) Frontage on Trollingwood Hawfields Road



Vacant Parcel (160533) on Lowes Boulevard

PHOTOGRAPHS OF ADJOINING OR ABUTTING PROPERTIES
Take By David Smith February 8, 2022



Common Area Parcel (163481) on Lowes Boulevard

PHOTOGRAPH OF 520 BEN WILSON TOWER
Take By David Smith February 8, 2022



Tower near Collington

PRICE DROP

PRICE DROP

520 Ben Wilson Tower Data



Ownership Info

Company	At&t Wireless Service
Contact	NA
Phone	NA
Email	NA
Attn	NA
Address	Mebane Nc

Tower Characteristics

Filing #	98-aso-5386-oe
Latitude	36.0751
Longitude	-79.2556
Structure Type	NA
Status	Constructed
Date Constructed	12/05/1997
Ground Elev	674.9 feet

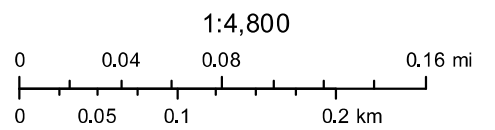
Height of Structure	199.1 feet
Overall Height	874 feet
Structure Address	Mebane Nc

--	--	--	--	--

Collington



February 8, 2022



PHOTOGRAPHS OF COLLINGTON FARMS
Take By David Smith February 8, 2022



200 Block of Collington Drive



300 Block of Collington Drive

PHOTOGRAPHS OF COLLINGTON FARMS
Take By David Smith February 8, 2022



600 Block of Collington Drive

January 24, 2022

Tim Cook
CitySwitch, LLC
1900 Century Place NE, Suite 320
Atlanta, GA 30345

RE: Proposed 175' Monopole + 10' lightning rod for NCC010, NC

Dear Mr. Cook,

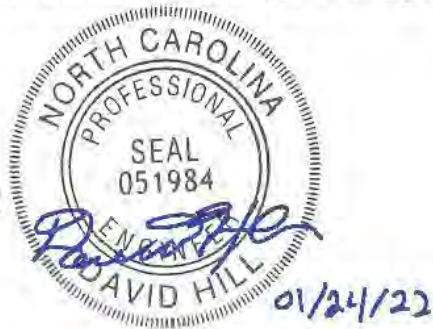
Upon receipt of order, we propose to design and supply the above referenced Sabre monopole for a Basic Wind Speed of 112 mph without ice and 30 mph with 1.5" ice, Risk Category II, Exposure Category C, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA 222-G "Structural Standards for Steel Antenna Towers and Antenna-Supporting Structures".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors. In addition, it is unlikely that loading effects due to extreme atmospheric icing would cause a structural failure, because monopoles are not ice-sensitive structures.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. This would effectively result in a fall radius of 50' at ground level. *Please note that this letter only applies to the above referenced monopole designed and manufactured by Sabre Industries.*

Sincerely,

David Hill, P.E.
Design Engineer II





AGENDA ITEM #6B

RZ 22-04

Conditional Rezoning –
The Summit Church

Presenter

Audrey Vogel, City Planner

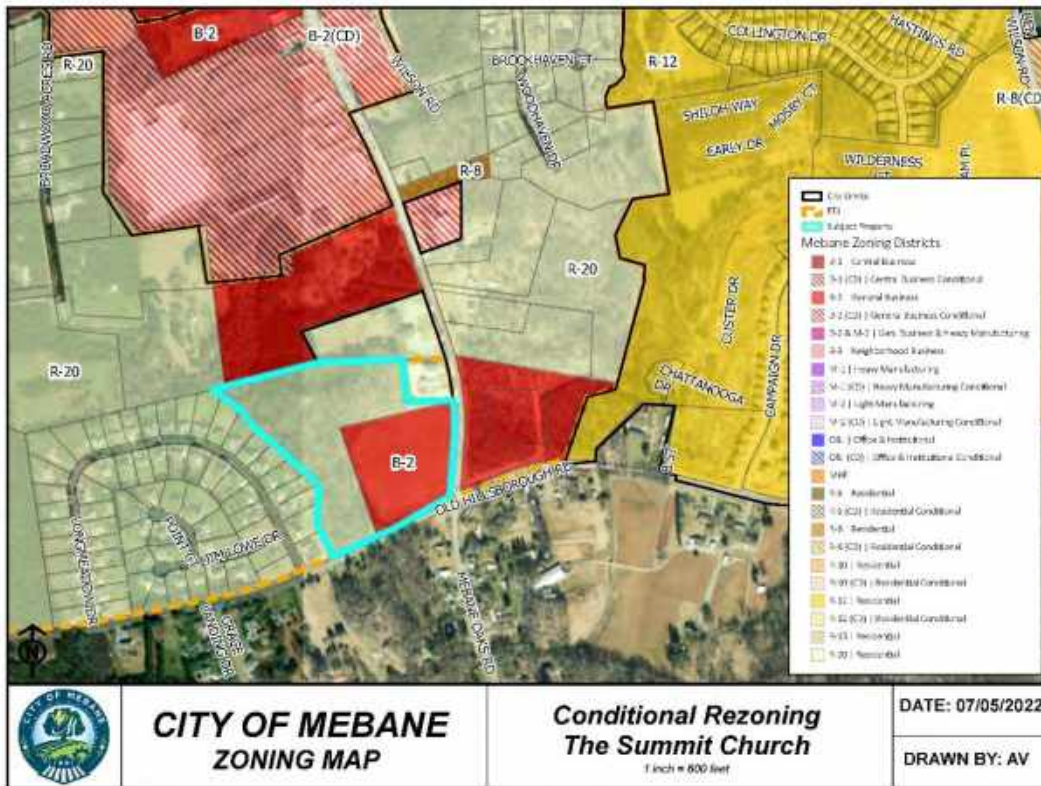
Applicant

The Summit Church
2335 Presidential Drive, Suite 114
Durham, NC 27703

Public Hearing

Yes No

Zoning Map



Property

9824013830

Proposed Zoning

B-2 (CD)

Current Zoning

R-20 and B-2

Size

+/-21.33 acres

Surrounding Zoning

R-20, B-2

Surrounding Land Uses

Residential, Institutional & Vacant

Utilities

To be extended at developer's expense

Floodplain

Yes

Watershed

No

City Limits

No

Summary

The Summit Church is requesting approval to conditionally rezone the +/-21.33 property located at the northwest corner of Mebane Oaks Road and Old Hillsborough Road from R-20 and B-2 to B-2 (CD) to allow for a 60,000-s.f. place of worship with a site-specific plan. The property is located in the Mebane ETJ in Alamance County.

The applicant previously received approval in April 2022 from the City of Mebane Technical Review Committee for the same use as a by-right development on the B-2 portion of the property. The applicant has since revised the site plan, expanding the parking lot into the northeast portion of the property that is currently zoned R-20, which necessitates rezoning the property. Per Section 6-5.E of the Mebane UDO, nonresidential parking in residential districts shall be used only during daylight hours. The proposed parking lot in this area would require evening parking and illumination and thus must be rezoned to a non-residential zoning district. In addition, there is a 6.2-acre conservation easement along the creek and floodplain on the western portion of the property. This area is to remain undisturbed in perpetuity per the requirements of the easement.

The site-specific plan proposes the following onsite amenities & dedications:

- 5' sidewalk along the property's frontage on Mebane Oaks Road
- 10' public multi-use path extending along the property's frontage on Old Hillsborough Road to the maximum extent practicable. Should environmental or right of way constraints present constructability obstacles for a part of the path, including the stream crossing, the applicant will provide a payment in lieu at 125% of the outstanding costs.
- The proposed architecture/building elevations shown in the provided plan set are part of the site-specific plan subject to rezoning approval.

The TIA includes a recommendation for an exclusive southbound right turn lane with a minimum of 75' of full storage and appropriate deceleration taper at the site access on Mebane Oaks Road. However, in consideration of right-of-way constraints and impacts to the existing fire station driveway, construction of the turn lane does not appear to be feasible. This access was evaluated without the right turn lane and is expected to operate acceptably without construction of the right turn lane. Accordingly, this improvement will not be required as a condition of the pending driveway permit.

The Technical Review Committee (TRC) has reviewed the site plan and proposed building elevations four (4) times and the applicant has revised the plan to reflect the comments.

Financial Impact

The developer will be required to make all of the onsite improvements at their own expense.

Recommendation

At their June 13 meeting, the Planning Board voted 5 – 0 to recommend approval of the rezoning request.

The Planning Staff recommends approval of the request.

Suggested Motion

1. Motion to approve the B-2 (CD) zoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. Specifically, the request:
 - Is for a property within the City's G-2 Residential Growth Area;
 - Provides a sidewalk and multi-use path, supporting walking between differing land uses while also reducing parking requirements consistent with Growth Management Goal 1.6 (pp. 17, 84);
 - Supports greenway and open space expansion and connectivity consistent with Open Space and Natural Resource Protection Goals 4.2 and 4.3 (pp. 17, 89-90);
 - Provides a greenway, as required in the City's *Bicycle and Pedestrian Transportation Plan*.

OR

3. Motion to **deny** the B-2(CD) rezoning as presented due to a lack of
 - a. Harmony with the surrounding zoning or land use

OR

 - b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*.

Attachments

1. Zoning Amendment Application
2. Zoning Map - [click here](#)
3. Site Plan
4. Planning Project Report
5. Preliminary Water and Sewer System Approval Letter
6. Technical Memorandum – City Engineering Review
7. TIA - The Summit Church Mebane Campus by NV5
8. NCDOT Review of TIA



APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: The Summit Church

Address of Applicant: 2335 Presidential Drive, Suite 114, Durham, NC 27703

Address and brief description of property to be rezoned: Property is at the intersection of Mebane Oaks Rd and Old Hillsborough Rd (northwest quadrant). Property is 21.33 acres.

Applicant's interest in property: (Owned, leased or otherwise) Owned

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes ___ Explain: _____ No X

Type of re-zoning requested: B2-CD

Sketch attached: Yes X No _____

Reason for the requested re-zoning: Rezoning is requested to allow for parking lot and associated lighting to be allowed on northern part of property that is currently zoned residential

Signed: [Signature] The Summit Church

Date: 2/7/22

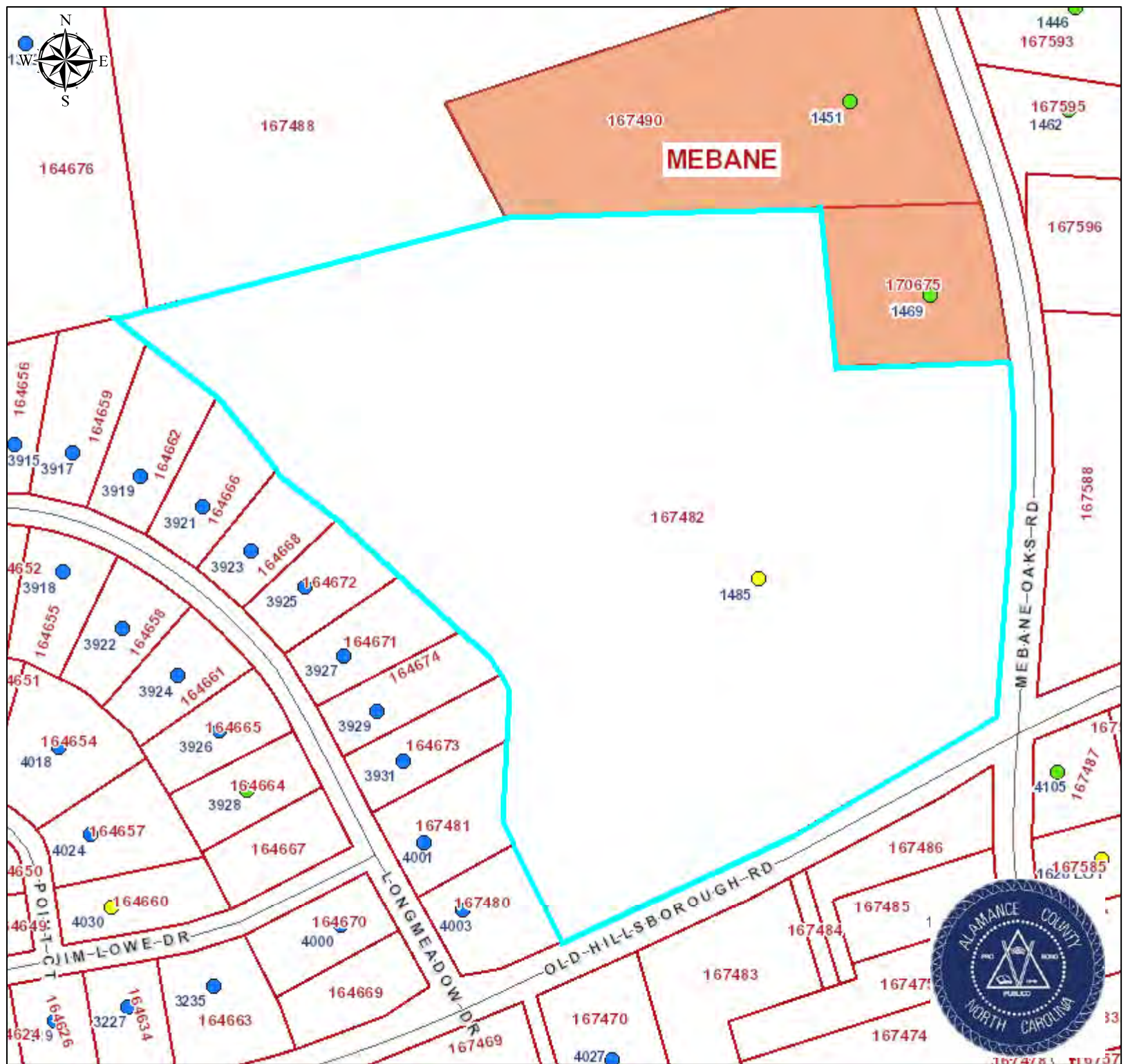
Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.

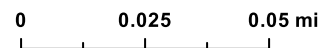


Owner Name: THE SUMMIT CHURCH HOMESTEAD HEIGHTS BAPTIST CHURCH INC

GPIN: 9824013830
PID: 10-23-46

February 7, 2022

1:2,460



Address Points

- Address
- Tax Address
- Preliminary Address

Heavy Industrial Development Applicants

- APPLIED FOR PERMIT

DISCLAIMER:
The datasets and maps available are not survey grade or a legal document. They are a best approximation of what is on the ground, but do contain errors. The data comes from various sources nationally, the state of North Carolina, and here in Alamance County. Alamance County will not be held responsible for the misuse, misrepresentation, or misinterpretation of the data or maps. These maps and data are a service provided for the benefit of Alamance County citizens. We constantly strive to improve the quality and expand the amount of data and maps available. Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENTAL, Navteq, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community. We accept no liability for any errors, omissions, or inaccuracies in the information provided regardless of how caused; or any decision made or action taken or not taken by user in reliance upon any information or data furnished hereunder. The user knowingly waives any and all claims for damages against any and all of the entities comprising the Alamance County GIS System that may arise from the mapping data. Date: 2/7/2022

Alamance County GIS
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENTAL, Navteq, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

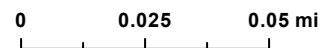


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February 7, 2022

1:2,460



Address Points

-  Address
-  Tax Address
-  Preliminary Address

Heavy Industrial Development Applicants

-  APPLIED FOR PERMIT

Alamance County GIS
Alamance County Tax Department
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Swire, GeoInformation International, NGCC, (c) OpenStreetMap contributors and the GIS User Community

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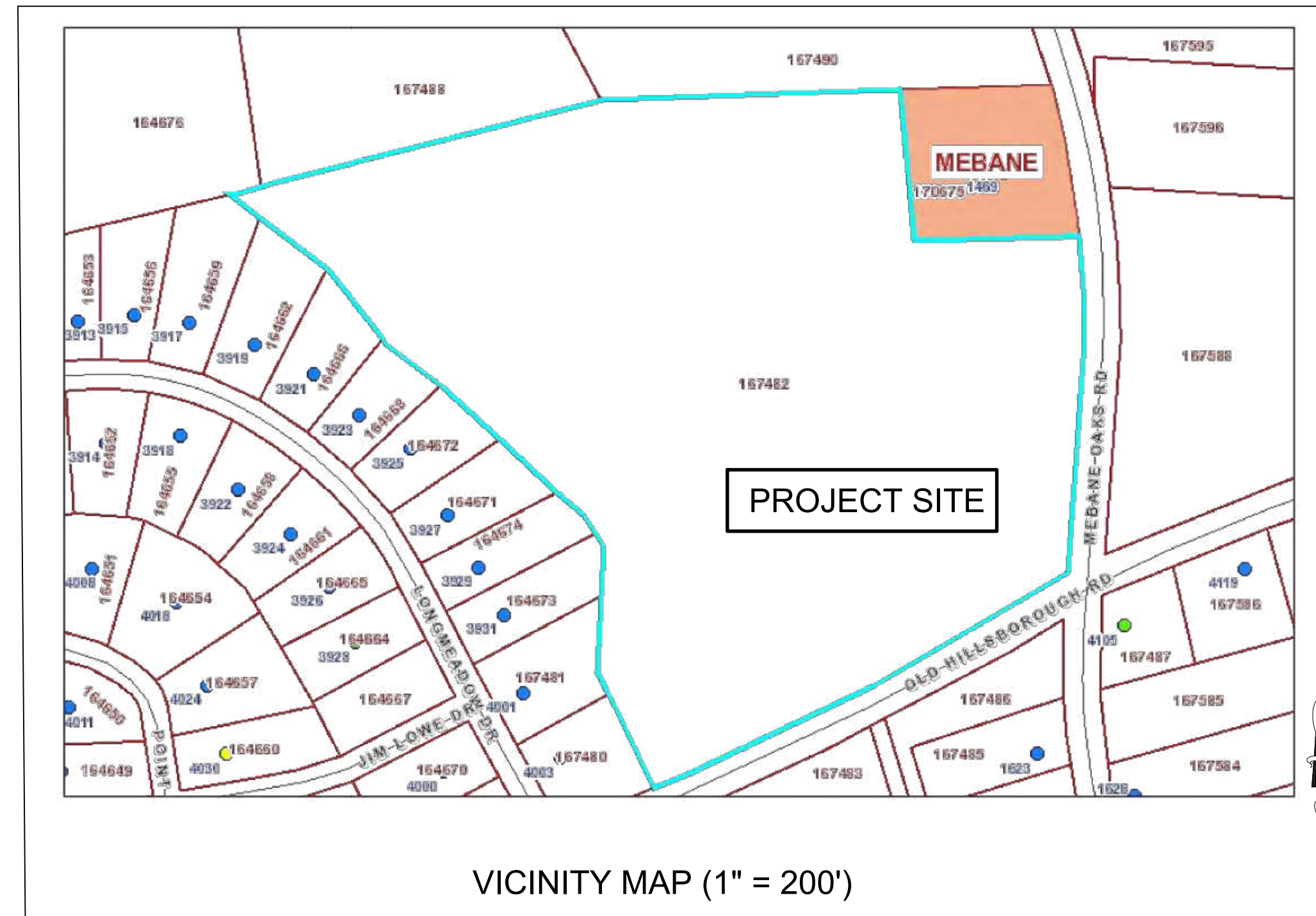
SITE PLAN

THE SUMMIT CHURCH

MEBANE OAKS ROAD, MEBANE, NORTH CAROLINA

General Notes:

1. All construction shall be in accordance with applicable municipality standards, specifications, and details. Work in this project shall also conform to these plans, the North Carolina Erosion and Sediment Control Handbook, the North Carolina Erosion and Sediment Control Regulations, the final geotechnical report, and General Design Standard. In the event of conflict between any of these standards, specifications, or plans, the most stringent shall govern.
2. The contractor shall be solely responsible for trench safety during all phases of construction.
3. The location and size of existing utilities as shown is approximate only. The contractor is responsible for horizontally and vertically locating and protecting all public or private utilities that lie in or adjacent to the construction site. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.
4. The contractor shall salvage and protect all existing power poles, signs, manholes, telephone risers, water valves, etc. during all construction phases. The contractor shall repair, at his own expense, any existing utilities damaged during construction.
5. Traffic control on public streets shall be in conformance with the traffic control plan, the "Manual of Uniform Traffic Control Devices," and as further directed by City Inspectors.
6. Any discrepancies found between the drawings and specifications and site conditions or any inconsistencies or ambiguities in drawings or specifications shall be immediately reported to the engineer, in writing, who shall promptly address such inconsistencies or ambiguities. Work done by the Contractor after his discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the contractor's risk.
7. Contractor is responsible for verifying all required permits and approvals prior to commencing construction.
8. All areas shall be graded for positive drainage, and as shown on these plans. The contractor shall maintain adequate site drainage during all phases of construction. The contractor shall use silt fences (or other methods approved by the engineer and applicable municipality) as required to prevent silt and construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, or local erosion, conservation, and siltation ordinances. Contractor shall remove all temporary erosion control devices upon completion of permanent drainage facilities and the establishment of a stand of grass or other growth to prevent erosion and with approval of the erosion control inspector.
9. The Contractor shall clear and grub the site and place, compact, and moisture condition all fill per the project geotechnical engineer's specifications. The fill material to be used shall be approved by the Geotechnical Engineer prior to placement.
10. Materials used to construct embankments for any purpose, backfill around drainage structures, or in utility trenches for any other depression requiring fill or backfill shall be compacted to 95% of maximum density as determined by the modified proctor test as set out in ASTM Standard D-968. The contractor shall, prior to any operations involving filling or backfilling, submit the results of the proctor test together with a certification that the soil tested is representative of the materials to be used on the project. Tests shall be conducted by a certified materials' testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.
11. Proposed contours and gutter gradients are approximate. Proposed spot elevations are to be used in case of discrepancy.
12. The contractor shall verify and coordinate all dimensions shown, including the horizontal and vertical location of curb inlets and grate inlets and all utilities crossing the storm sewer.
13. All distances shown represent horizontal ground distances.
14. Rim elevations are given as top of grate for Catch Basins, top of grate for Drop Inlets, and top of cover for Junction Boxes.
15. Storm Sewer (RCP) shall be constructed to the following classes (unless otherwise noted):
 Cover less than 10 feet - Class C or D bedding, Class III walls
 Cover 10 feet to 15 feet - Class B bedding, Class III walls
 Cover greater than 15 feet - Class B bedding, Class IV walls
16. All curb joints shall extend through the curb. Minimum length of offset joints at radius points is 1.5 feet. All joints shall be sealed with joint sealant.
17. All handicap ramping, striping, and pavement markings shall conform to ADA requirements and the "North Carolina State Building Code, Vol. 1-C Accessibility Code."
18. Existing Water and sewer main/service sizes adjacent to the property are to be verified by the contractor prior to the start of construction. The project engineer has shown sizes based on owner-provided survey, however, exact size/dimension can only be determined from field exposure of the relevant line.



DEVELOPER/OWNER:	DAVID WAGNER THE SUMMIT CHURCH HOMESTEAD 2335 PRESIDENTIAL DRIVE, SUITE 114 DURHAM, NC 27703
PARCEL ID:	167482
GPIN (STATE ID):	9824013830
DEED REF:	4002 0676
PLAT REF:	074 0106
ADDRESS:	OLD HILLSBOROUGH ROAD
TOTAL TRACT ACREAGE:	21.33 ACRES
EXISTING ZONING:	B-2, R-20
PROPOSED ZONING:	B-2 CD
JURISDICTION:	MEBANE ETJ
COUNTY:	ALAMANCE
EXISTING USE:	VACANT
PROPOSED USE:	PLACE OF WORSHIP

INDEX OF SHEETS

C-000	COVER
C-100	EXISTING CONDITIONS
C-200	SITE PLAN
C-300	GRADING AND STORM DRAINAGE PLAN
C-400	(NOT USED)
C-500	SITE UTILITY PLAN
C-501	SANITARY SEWER PLAN & PROFILE
C-502	SEWER OUTFALL PLAN & PROFILE
C-503	SEWER OUTFALL PLAN & PROFILE
C-600	STORMWATER MANAGEMENT DETAILS
C-601	WET POND PLANTING PLAN
C-700	DETAILS
C-701	DETAILS
C-702	DETAILS
C-703	DETAILS
C-704	DETAILS
ESC-100	EROSION CONTROL PLAN - PHASE 1
ESC-101	EROSION CONTROL PLAN - PHASE 2
L-100	LANDSCAPE PLAN
L-101	LANDSCAPE DETAILS
A-102	UTILITY BUILDING PLAN AND ELEVATION
A-201	EXTERIOR ELEVATIONS
1	LIGHTING PLAN
2	LIGHTING DETAILS

CLIENT
THE SUMMIT CHURCH
 2335 PRESIDENTIAL DRIVE, SUITE 114
 DURHAM, NORTH CAROLINA
 CONTACT: TODD ERVIN
 919-275-5582
 TERVIN@SUMMITRDU.COM

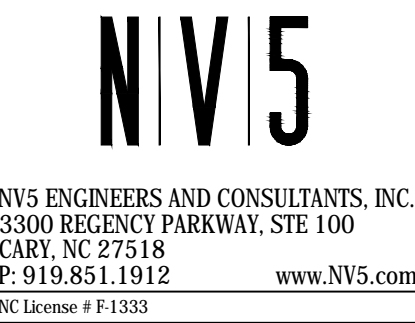
ARCHITECT
LS3P ASSOCIATES, LTD
 434 FAYETTEVILLE STREET, SUITE 1700
 RALEIGH, NORTH CAROLINA
 CONTACT: MEGAN BOWLES
 919-829-2700
 MEGANBOWLES@LS3P.COM

ENGINEER
NV5 ENGINEERS & CONSULTANTS, INC.
 3300 REGENCY PARKWAY, SUITE 100
 CARY, NORTH CAROLINA 27518
 CONTACT: JONATHAN ALLEN, PE
 JONATHAN.ALLEN@NV5.COM
 (919) 858-1831

ENGINEERING CONSTRUCTION PLAN REVIEW AND INSPECTION FEES			
DRIVEWAY INSPECTION: \$100 / DRIVEWAY	2 DRIVEWAYS @ \$100	=	\$200
SIDEWALK INSPECTION: \$1 / LF	505 LF @ \$1 / LF	=	\$505
WATER LINE: \$2.50 / LF	2,313 LF @ \$2.50 / LF	=	\$5,783
SEWER LINE: \$2.50 / LF	213 LF @ \$2.50 / LF	=	\$533
STORMWATER MANAGEMENT: \$2,500 OVERALL PLAN REVIEW		=	\$2,500
\$1,500 REVIEW / INSPECTION PER DEVICE		=	\$1,500
WATER SERVICE:		=	\$500
SEWER SERVICE:		=	\$500
TOTAL:		=	\$12,021

THIS NOTE SHALL APPLY TO EACH AND EVERY SHEET IN THIS SET:

THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING FACILITIES SUCH AS PIPELINES, ELECTRICAL LINES, CONDUIT, TELEPHONE CABLE, SERVICE CONNECTIONS, OR OTHER FACILITIES ARE SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UTILITIES LOCATED BY THEIR RESPECTIVE OWNERS, FIELD MARK THE UTILITY LOCATIONS, AND PROTECT ALL SUCH EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS IN ACCORDANCE WITH NC GENERAL STATUTE - CHAPTER 87, ARTICLE 8, THE UNDERGROUND DAMAGE PREVENTION ACT.



THE SUMMIT CHURCH
SITE PLAN
 MEBANE OAKS ROAD AND OLD HILLSBOROUGH ROAD
 MEBANE, ALAMANCE COUNTY, NORTH CAROLINA

NO.	DATE	REVISIONS
1.	01/10/2020	SITE PLAN RESUBMITTAL
2.	03/11/2020	SITE PLAN RESUBMITTAL
3.	04/14/2020	SITE PLAN RESUBMITTAL
4.	12/06/2021	REVISED SITE PLAN SUBMITTAL
5.	01/25/2022	REVISED SITE PLAN SUBMITTAL
6.	03/31/2022	REVISED SITE PLAN SUBMITTAL
7.	05/20/2022	SITE PLAN FOR APPROVAL
8.		

PROJECT NO: 2019099.00
 DRAWN BY: FM
 DWG. CHECKED BY: JAA
 SCALE: SEE PLAN
 DATE: 11-4-2019

COVER

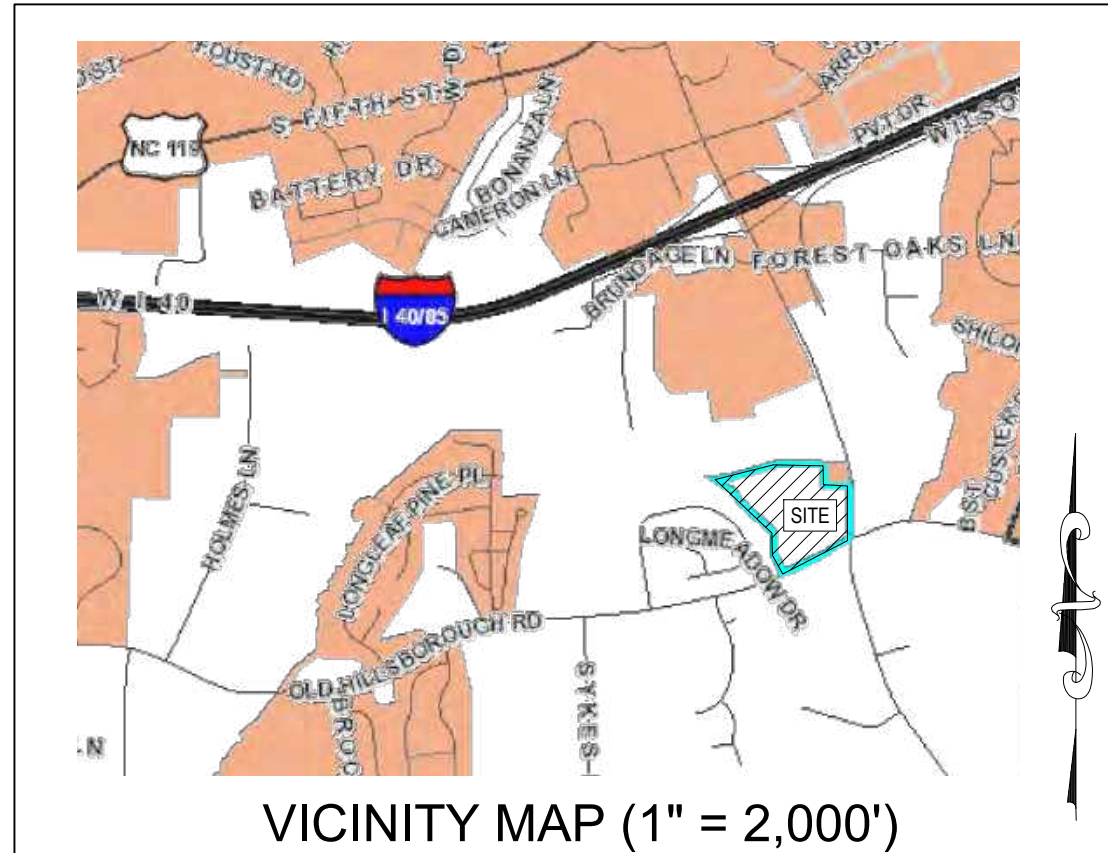
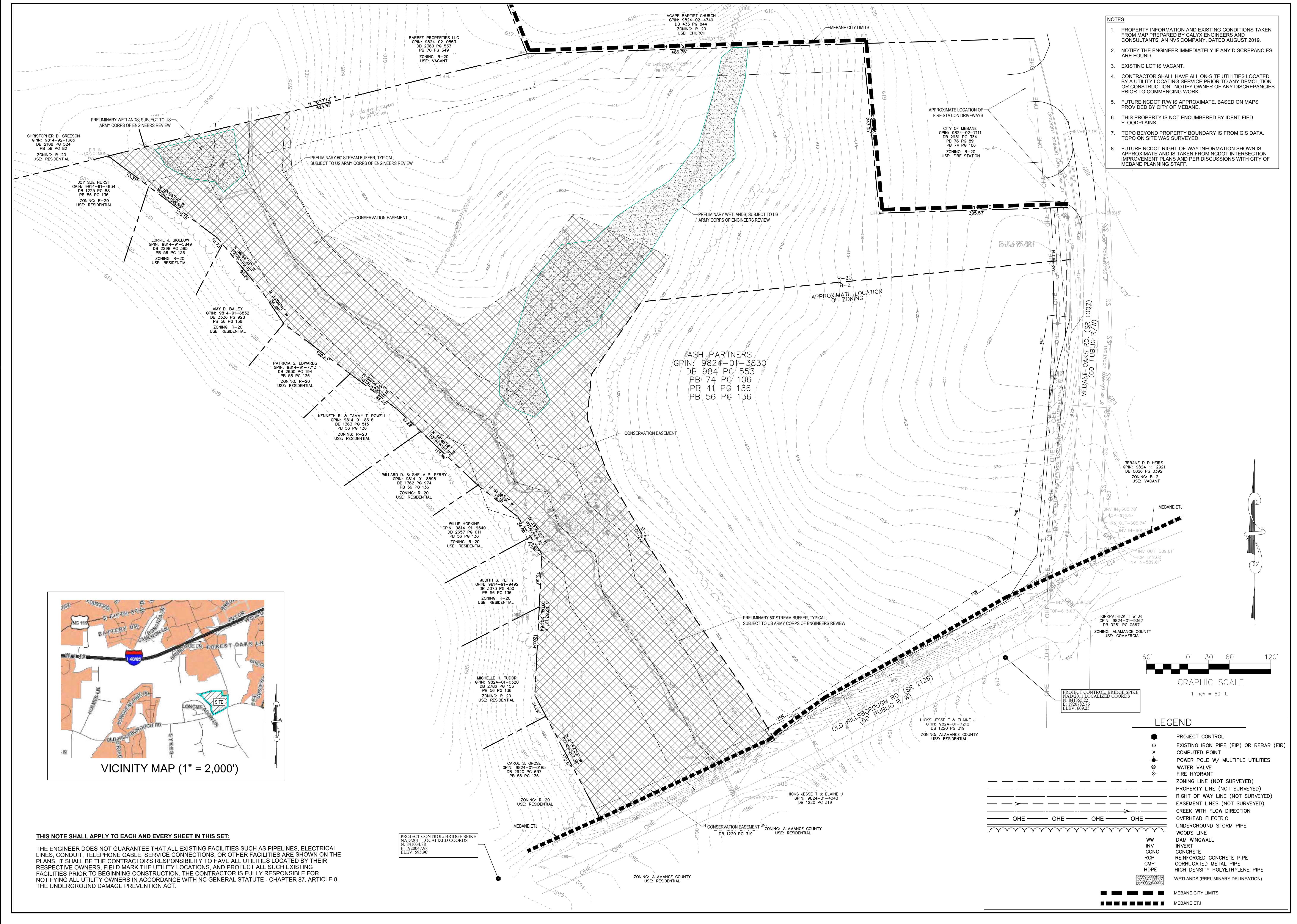
C-000



**THE SUMMIT CHURCH
SITE PLAN**

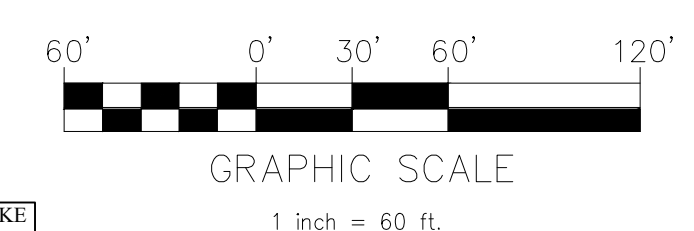
MEBANE OAKS ROAD AND OLD HILLSBOROUGH ROAD
MEBANE, ALAMANCE COUNTY, NORTH CAROLINA

- NOTES**
- PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY CALYX ENGINEERS AND CONSULTANTS, AN NV5 COMPANY, DATED AUGUST 2019.
 - NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 - EXISTING LOT IS VACANT.
 - CONTRACTOR SHALL HAVE ALL ON-SITE UTILITIES LOCATED BY A UTILITY LOCATING SERVICE PRIOR TO ANY DEMOLITION OR CONSTRUCTION. NOTIFY OWNER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
 - FUTURE NCDOT RW IS APPROXIMATE, BASED ON MAPS PROVIDED BY CITY OF MEBANE.
 - THIS PROPERTY IS NOT ENCUMBERED BY IDENTIFIED FLOODPLAINS.
 - TOPO BEYOND PROPERTY BOUNDARY IS FROM GIS DATA. TOPO ON SITE WAS SURVEYED.
 - FUTURE NCDOT RIGHT-OF-WAY INFORMATION SHOWN IS APPROXIMATE AND IS TAKEN FROM NCDOT INTERSECTION IMPROVEMENT PLANS AND PER DISCUSSIONS WITH CITY OF MEBANE PLANNING STAFF.



THIS NOTE SHALL APPLY TO EACH AND EVERY SHEET IN THIS SET:

THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING FACILITIES SUCH AS PIPELINES, ELECTRICAL LINES, CONDUIT, TELEPHONE CABLE, SERVICE CONNECTIONS, OR OTHER FACILITIES ARE SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UTILITIES LOCATED BY THEIR RESPECTIVE OWNERS, FIELD MARK THE UTILITY LOCATIONS, AND PROTECT ALL SUCH EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS IN ACCORDANCE WITH NC GENERAL STATUTE - CHAPTER 87, ARTICLE 8, THE UNDERGROUND DAMAGE PREVENTION ACT.



LEGEND

●	PROJECT CONTROL
○	EXISTING IRON PIPE (EIP) OR REBAR (EIR)
×	COMPUTED POINT
+	POWER POLE W/ MULTIPLE UTILITIES
⊕	WATER VALVE
⊙	FIRE HYDRANT
- - -	ZONING LINE (NOT SURVEYED)
- - -	PROPERTY LINE (NOT SURVEYED)
- - -	RIGHT OF WAY LINE (NOT SURVEYED)
- - -	EASEMENT LINES (NOT SURVEYED)
→	CREEK WITH FLOW DIRECTION
—	OVERHEAD ELECTRIC
—	UNDERGROUND STORM PIPE
—	WOODS LINE
—	DAM WINGWALL
—	INVERT
—	CONCRETE
—	REINFORCED CONCRETE PIPE
—	CORRUGATED METAL PIPE
—	HIGH DENSITY POLYETHYLENE PIPE
—	WETLANDS (PRELIMINARY DELINEATION)
—	MEBANE CITY LIMITS
—	MEBANE ETJ

REVISIONS

NO.	DATE	REMARKS
1.	01/10/2020	SITE PLAN RESUBMITTAL
2.	03/11/2020	SITE PLAN RESUBMITTAL
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6.	02/31/2022	REVISED SITE PLAN SUBMITTAL
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PROJECT NO: 2019099.00
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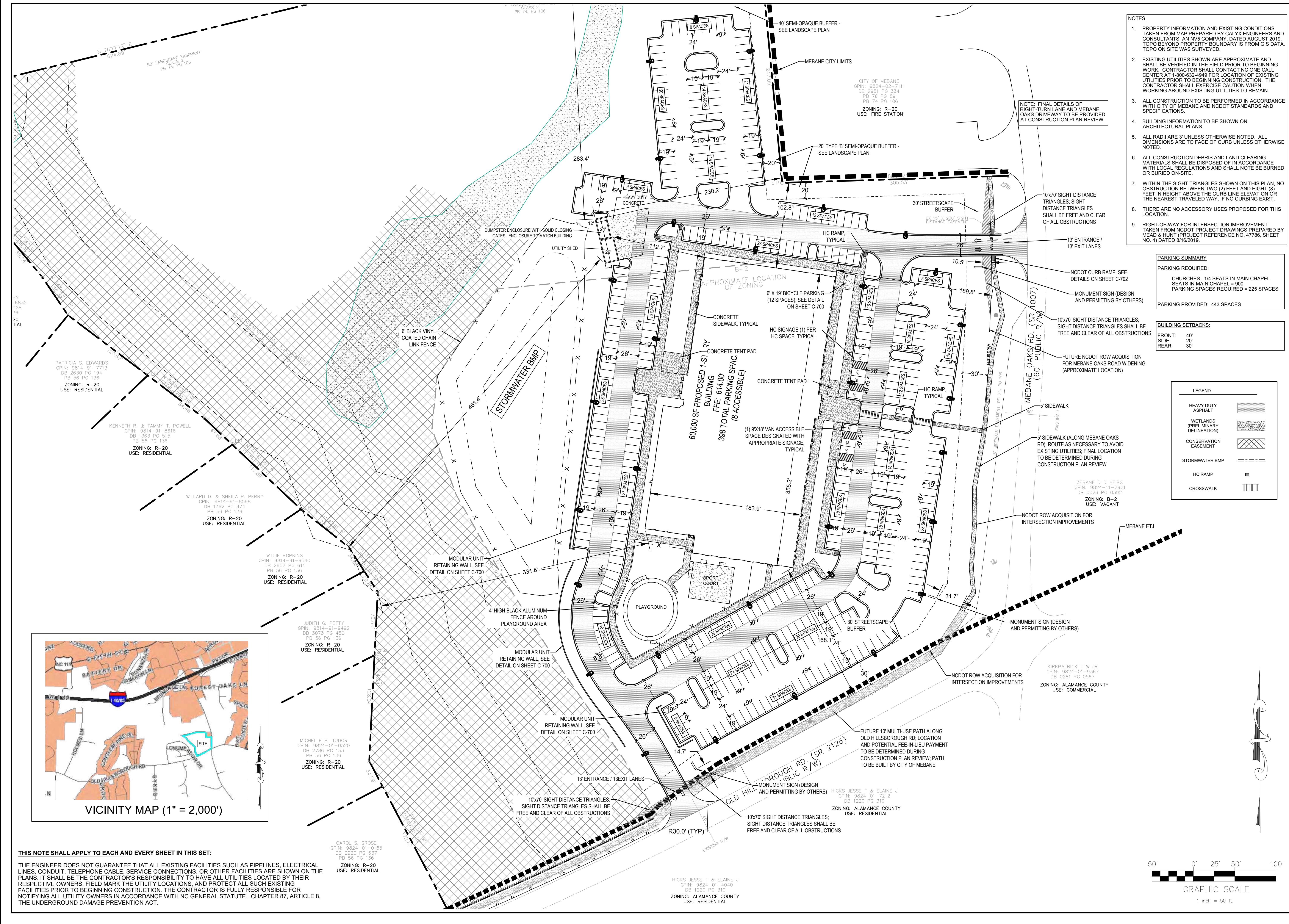
EXISTING CONDITIONS

C-100



THE SUMMIT CHURCH
SITE PLAN

MEBANE OAKS ROAD AND OLD HILLSBOROUGH ROAD
MEBANE, ALAMANCE COUNTY, NORTH CAROLINA



- NOTES**
- PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY CALYX ENGINEERS AND CONSULTANTS, AN NV5 COMPANY, DATED AUGUST 2019. TOPO BEYOND PROPERTY BOUNDARY IS FROM GIS DATA. TOPO ON SITE WAS SURVEYED.
 - EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4849 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
 - ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH CITY OF MEBANE AND NCDOT STANDARDS AND SPECIFICATIONS.
 - BUILDING INFORMATION TO BE SHOWN ON ARCHITECTURAL PLANS.
 - ALL RADII ARE 3' UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CONSTRUCTION DEBRIS AND LAND CLEARING MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS AND SHALL NOT BE BURNED OR BURIED ON-SITE.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.
 - THERE ARE NO ACCESSORY USES PROPOSED FOR THIS LOCATION.
 - RIGHT-OF-WAY FOR INTERSECTION IMPROVEMENT TAKEN FROM NCDOT PROJECT DRAWINGS PREPARED BY MEAD & HUNT (PROJECT REFERENCE NO. 47786, SHEET NO. 4) DATED 8/16/2019.

PARKING SUMMARY

PARKING REQUIRED:

CHURCHES: 14 SEATS IN MAIN CHAPEL
SEATS IN MAIN CHAPEL = 500
PARKING SPACES REQUIRED = 225 SPACES

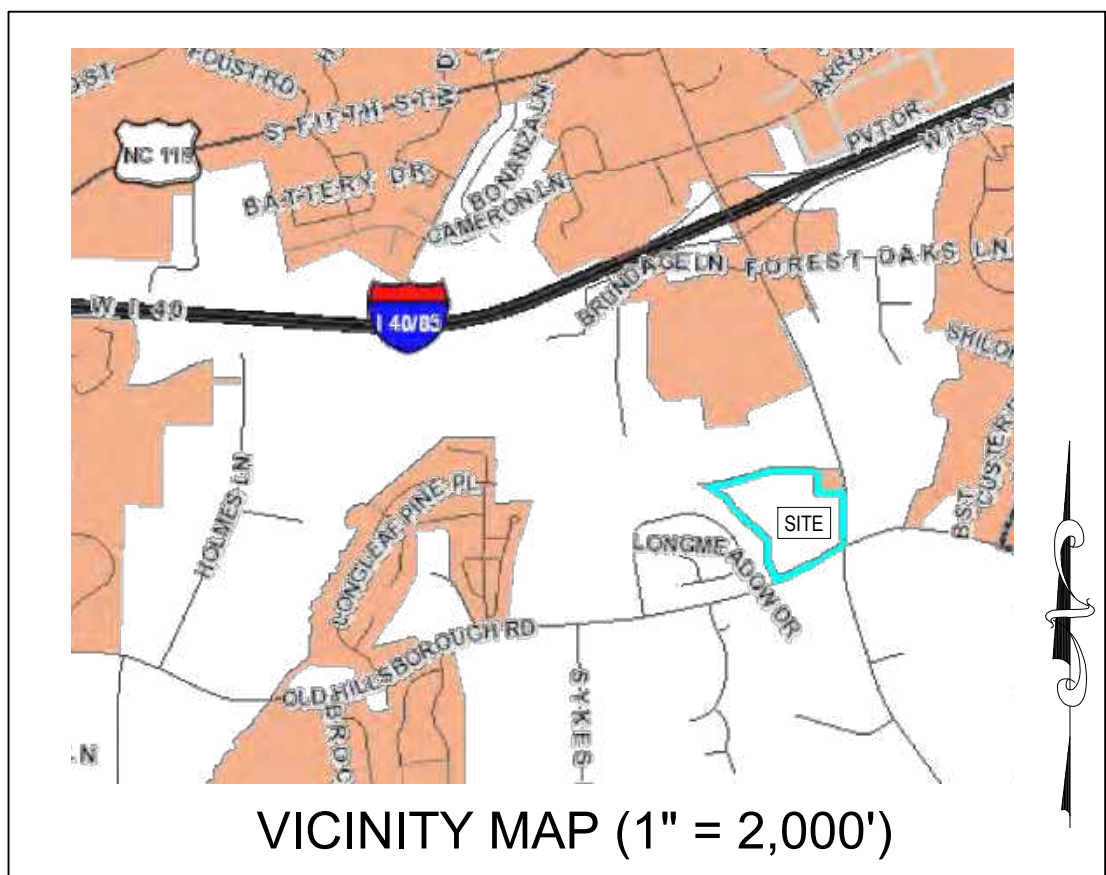
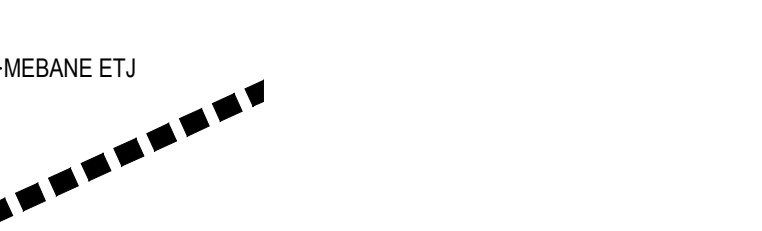
PARKING PROVIDED: 443 SPACES

BUILDING SETBACKS:

FRONT: 40'
SIDE: 20'
REAR: 30'

LEGEND

- HEAVY DUTY ASPHALT
- WETLANDS (PRELIMINARY DELINEATION)
- CONSERVATION EASEMENT
- STORMWATER BMP
- HC RAMP
- CROSSWALK



THIS NOTE SHALL APPLY TO EACH AND EVERY SHEET IN THIS SET:

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REVISIONS

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7.	05/20/2022	SITE PLAN FOR APPROVAL
8.		
9.		

PROJECT NO: 2019099.00
DRAWN BY: FM
DWG. CHECKED BY: JAA
SCALE: SEE PLAN
DATE: 11-4-2019

SITE PLAN
C-200

NV5

NV5 ENGINEERS AND CONSULTANTS, INC.
3300 REGENCY PARKWAY, STE 100
CARY, NC 27518
P: 919.851.1912 www.NV5.com
NC License # F1333

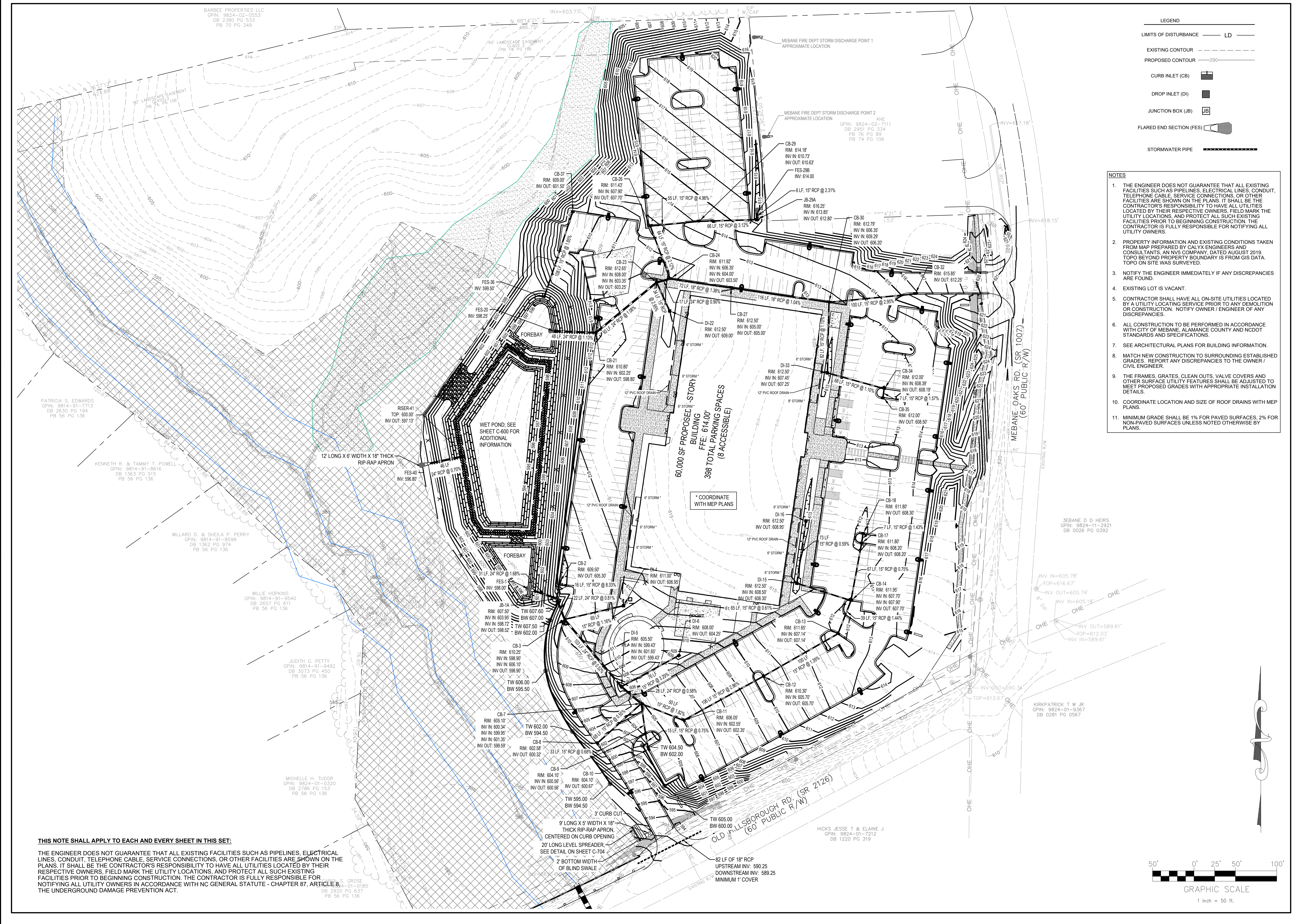


2335 PRESIDENTIAL DRIVE, SUITE 114
DURHAM, NORTH CAROLINA
CONTACT: TODD ERVIN
919-275-5582
TERVING@SUMMITRDU.COM



**THE SUMMIT CHURCH
SITE PLAN**

MEBANE OAKS ROAD AND OLD HILLSBOROUGH ROAD
MEBANE, ALAMANCE COUNTY, NORTH CAROLINA



LEGEND

- LIMITS OF DISTURBANCE — LD —
- EXISTING CONTOUR - - - - -
- PROPOSED CONTOUR — 2.00 —
- CURB INLET (CB) [Symbol]
- DROP INLET (DI) [Symbol]
- JUNCTION BOX (JB) [Symbol]
- FLARED END SECTION (FES) [Symbol]
- STORMWATER PIPE [Symbol]

- NOTES**
- THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING FACILITIES SUCH AS PIPELINES, ELECTRICAL LINES, CONDUIT, TELEPHONE CABLE, SERVICE CONNECTIONS, OR OTHER FACILITIES ARE SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UTILITIES LOCATED BY THEIR RESPECTIVE OWNERS. FIELD MARK THE UTILITY LOCATIONS, AND PROTECT ALL SUCH EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS.
 - PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY CALYX ENGINEERS AND CONSULTANTS, AN NV5 COMPANY, DATED AUGUST 2019. TOPO BEYOND PROPERTY BOUNDARY IS FROM GIS DATA. TOPO ON SITE WAS SURVEYED.
 - NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 - EXISTING LOT IS VACANT.
 - CONTRACTOR SHALL HAVE ALL ON-SITE UTILITIES LOCATED BY A UTILITY LOCATING SERVICE PRIOR TO ANY DEMOLITION OR CONSTRUCTION. NOTIFY OWNER / ENGINEER OF ANY DISCREPANCIES.
 - ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH CITY OF MEBANE, ALAMANCE COUNTY AND NCDOT STANDARDS AND SPECIFICATIONS.
 - SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
 - MATCH NEW CONSTRUCTION TO SURROUNDING ESTABLISHED GRADES. REPORT ANY DISCREPANCIES TO THE OWNER / CIVIL ENGINEER.
 - THE FRAMES, GRATES, CLEAN OUTS, VALVE COVERS AND OTHER SURFACE UTILITY FEATURES SHALL BE ADJUSTED TO MEET PROPOSED GRADES WITH APPROPRIATE INSTALLATION DETAILS.
 - COORDINATE LOCATION AND SIZE OF ROOF DRAINS WITH MEP PLANS.
 - MINIMUM GRADE SHALL BE: 1% FOR PAVED SURFACES, 2% FOR NON-PAVED SURFACES UNLESS NOTED OTHERWISE BY PLANS.

THIS NOTE SHALL APPLY TO EACH AND EVERY SHEET IN THIS SET:

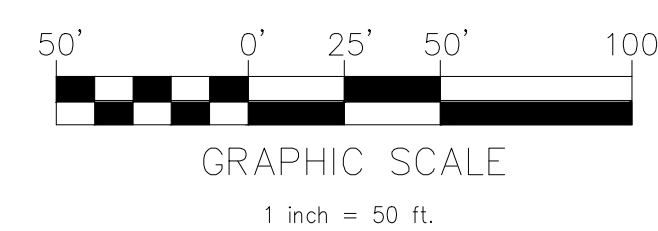
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8.			
9.			

PROJECT NO: 2019099.00
DRAWN BY: FM
DWG. CHECKED BY: JAA
SCALE: SEE PLAN
DATE: 11-4-2019

GRADING AND STORM DRAINAGE PLAN

C-300





THE SUMMIT CHURCH
SITE PLAN

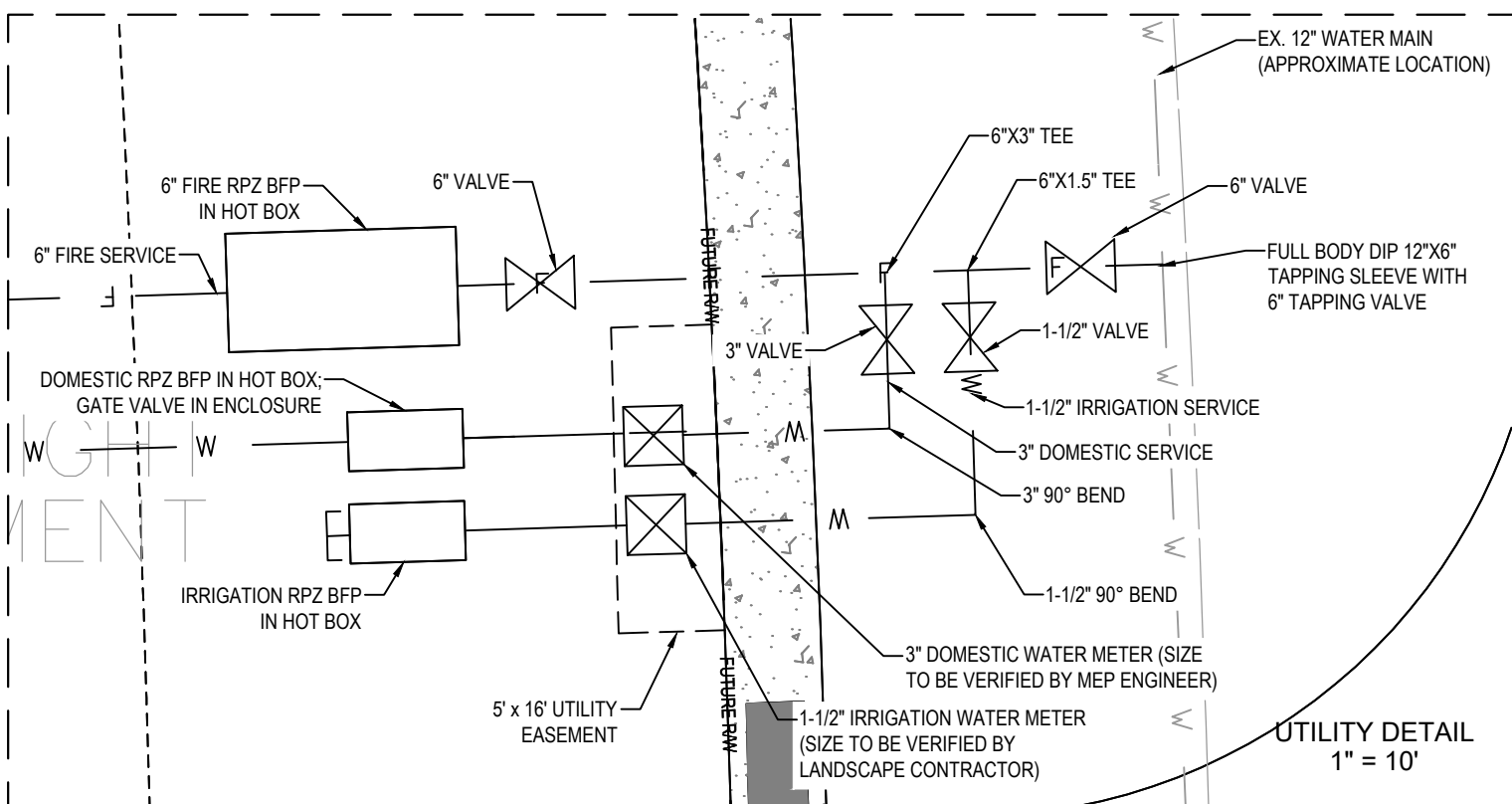
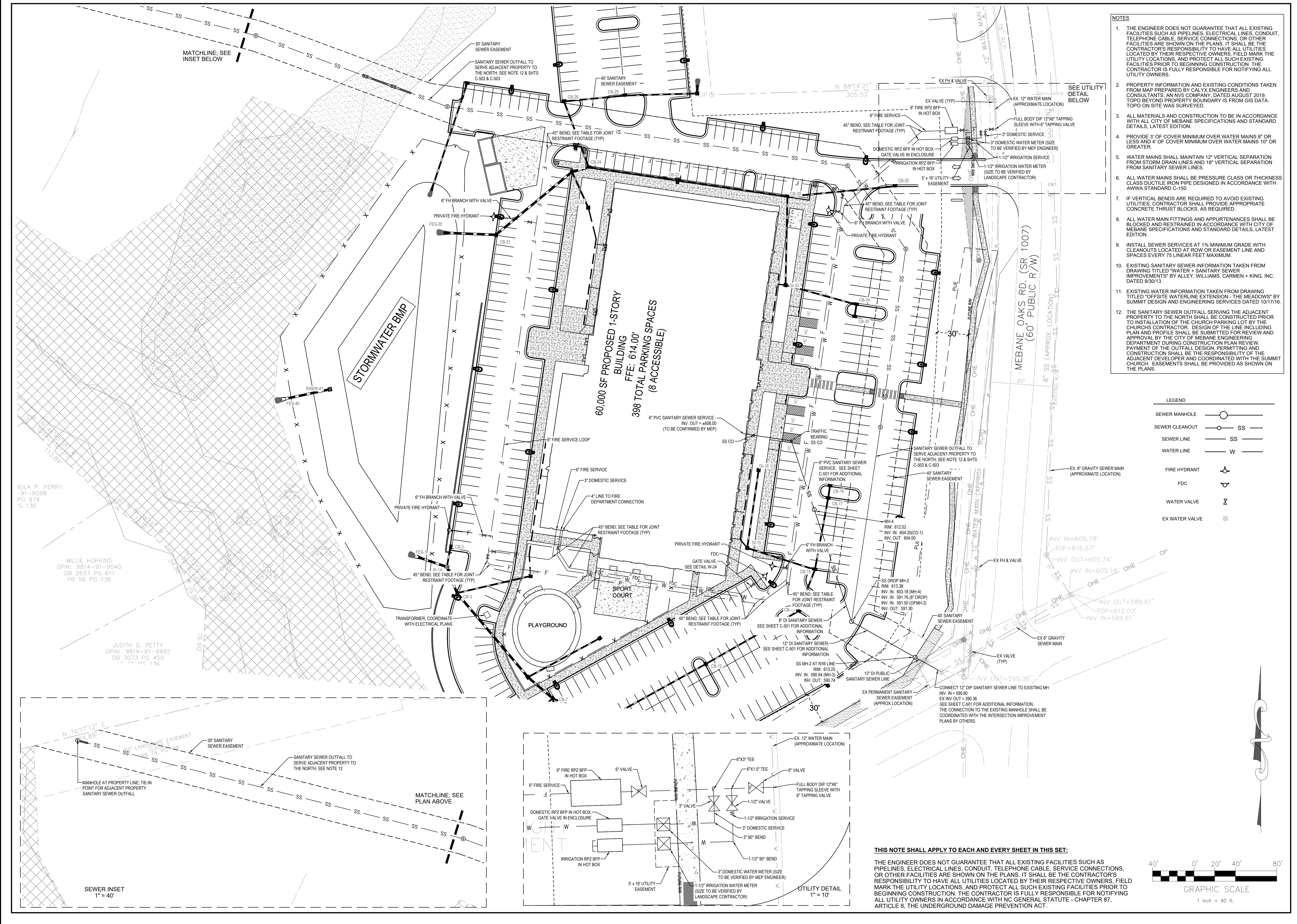
MEBANE OAKS ROAD AND OLD HILLSBOROUGH ROAD
MEBANE, ALAMANCE COUNTY, NORTH CAROLINA

NOTES

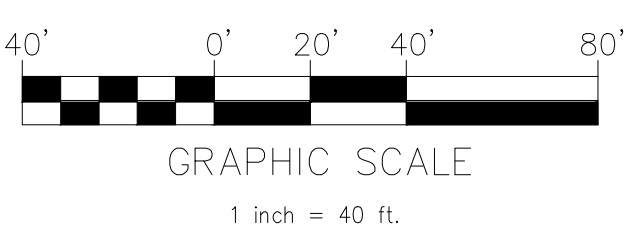
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- ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF MEBANE SPECIFICATIONS AND STANDARD DETAILS, LATEST EDITION.
- PROVIDE 3" OF COVER MINIMUM OVER WATER MAINS 8" OR LESS AND 4" OF COVER MINIMUM OVER WATER MAINS 10" OR GREATER.
- WATER MAINS SHALL MAINTAIN 12" VERTICAL SEPARATION FROM STORM DRAIN LINES AND 18" VERTICAL SEPARATION FROM SANITARY SEWER LINES.
- ALL WATER MAINS SHALL BE PRESSURE CLASS OR THICKNESS CLASS DUCTILE IRON PIPE DESIGNED IN ACCORDANCE WITH AWWA STANDARD C-150.
- IF VERTICAL BENDS ARE REQUIRED TO AVOID EXISTING UTILITIES, CONTRACTOR SHALL PROVIDE APPROPRIATE CONCRETE THRUST BLOCKS, AS REQUIRED.
- ALL WATER MAIN FITTINGS AND APPURTENANCES SHALL BE BLOCKED AND RESTRAINED IN ACCORDANCE WITH CITY OF MEBANE SPECIFICATIONS AND STANDARD DETAILS, LATEST EDITION.
- INSTALL SEWER SERVICES AT 1% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE AND SPACES EVERY 75 LINEAR FEET MAXIMUM.
- EXISTING SANITARY SEWER INFORMATION TAKEN FROM DRAWING TITLED "WATER + SANITARY SEWER IMPROVEMENTS" BY ALLEY, WILLIAMS, CARMEN + KING, INC. DATED 9/30/13.
- EXISTING WATER INFORMATION TAKEN FROM DRAWING TITLED "OFFSITE WATERLINE EXTENSION - THE MEADOWS" BY SUMMIT DESIGN AND ENGINEERING SERVICES DATED 10/17/16.
- THE SANITARY SEWER OUTFALL SERVING THE ADJACENT PROPERTY TO THE NORTH SHALL BE CONSTRUCTED PRIOR TO INSTALLATION OF THE CHURCH PARKING LOT BY THE CHURCH CONTRACTOR. DESIGN OF THE LINE INCLUDING PLAN AND PROFILE SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY OF MEBANE ENGINEERING DEPARTMENT DURING CONSTRUCTION PLAN REVIEW. PAYMENT OF THE OUTFALL DESIGN, PERMITTING AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE ADJACENT DEVELOPER AND COORDINATED WITH THE SUMMIT CHURCH. EASEMENTS SHALL BE PROVIDED AS SHOWN ON THE PLANS.

LEGEND

- SEWER MANHOLE
- SEWER CLEANOUT
- SEWER LINE
- WATER LINE
- FIRE HYDRANT
- FDC
- WATER VALVE
- EX WATER VALVE



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PROJECT NO: 2019099.00
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DWG. CHECKED BY: JAA
SCALE: SEE PLAN
DATE: 11-4-2019

SITE UTILITY PLAN
C-500

ILELA P. PERRY
91-8598
PG. 974
G. 136

WILLIE HOPKINS
GPIN: 9814-91-9540
DB 2657 PG 611
PB 56 PG 136

JUDITH G. PETTY
GPIN: 9814-91-9492
DB 3073 PG 450
PB 56 PG 136

MATCHLINE: SEE
INSET BELOW

MATCHLINE: SEE
PLAN ABOVE

SEWER INSET
1" = 40'

60,000 SF PROPOSED 1-STORY
BUILDING
FFE: 614.00'
398 TOTAL PARKING SPACES
(8 ACCESSIBLE)

MEBANE OAKS RD. (SR 1007)
(60' PUBLIC R/W)

NV5

NV5 ENGINEERS AND CONSULTANTS, INC.
3300 REGENCY PARKWAY, STE 100
CARY, NC 27518
P: 919.851.1912 www.NV5.com
NC License # F1333



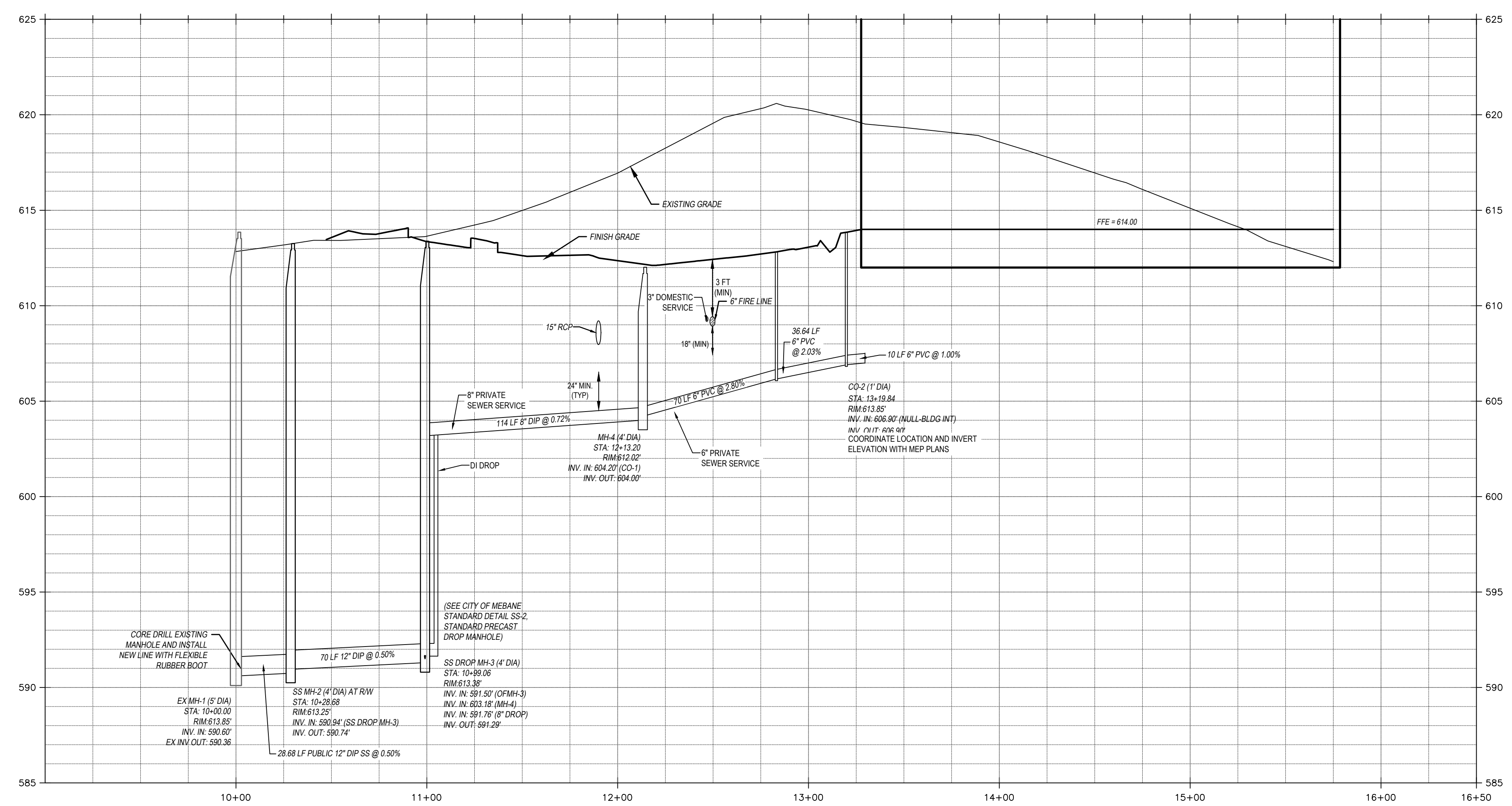
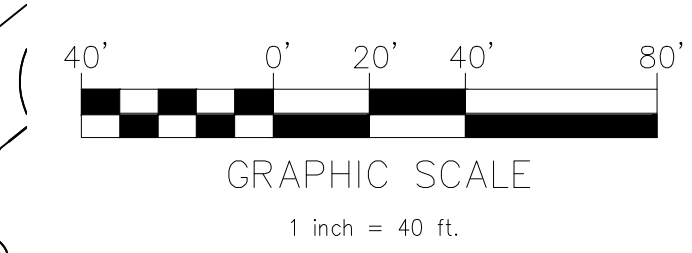
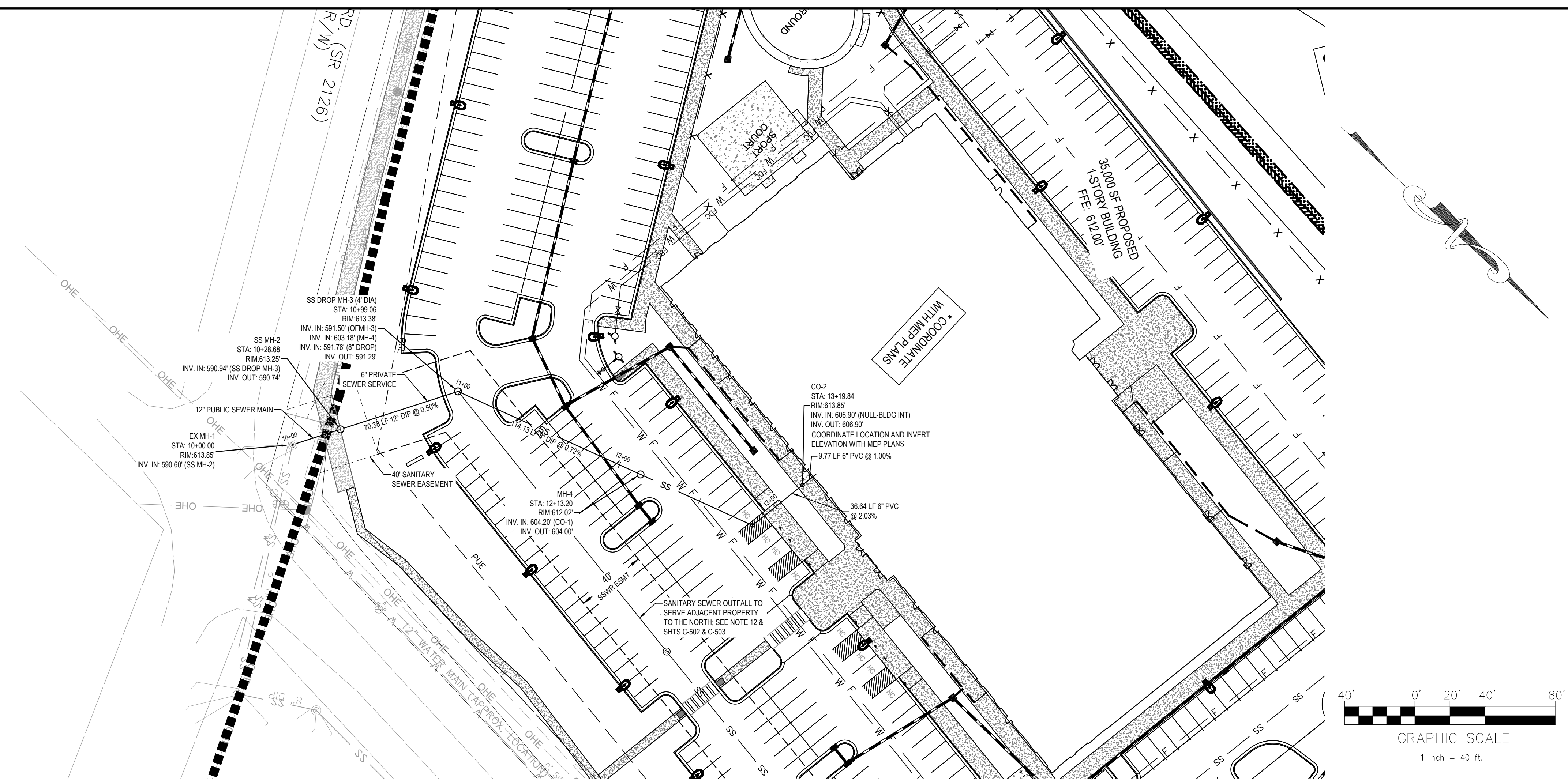
2335 PRESIDENTIAL DRIVE, SUITE 114
DURHAM, NORTH CAROLINA
CONTACT: TODD ERVIN
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TERVIN@SUMMITRDU.COM



**THE SUMMIT CHURCH
SITE PLAN**

MEBANE OAKS ROAD AND OLD HILLSBOROUGH ROAD
MEBANE, ALAMANCE COUNTY, NORTH CAROLINA

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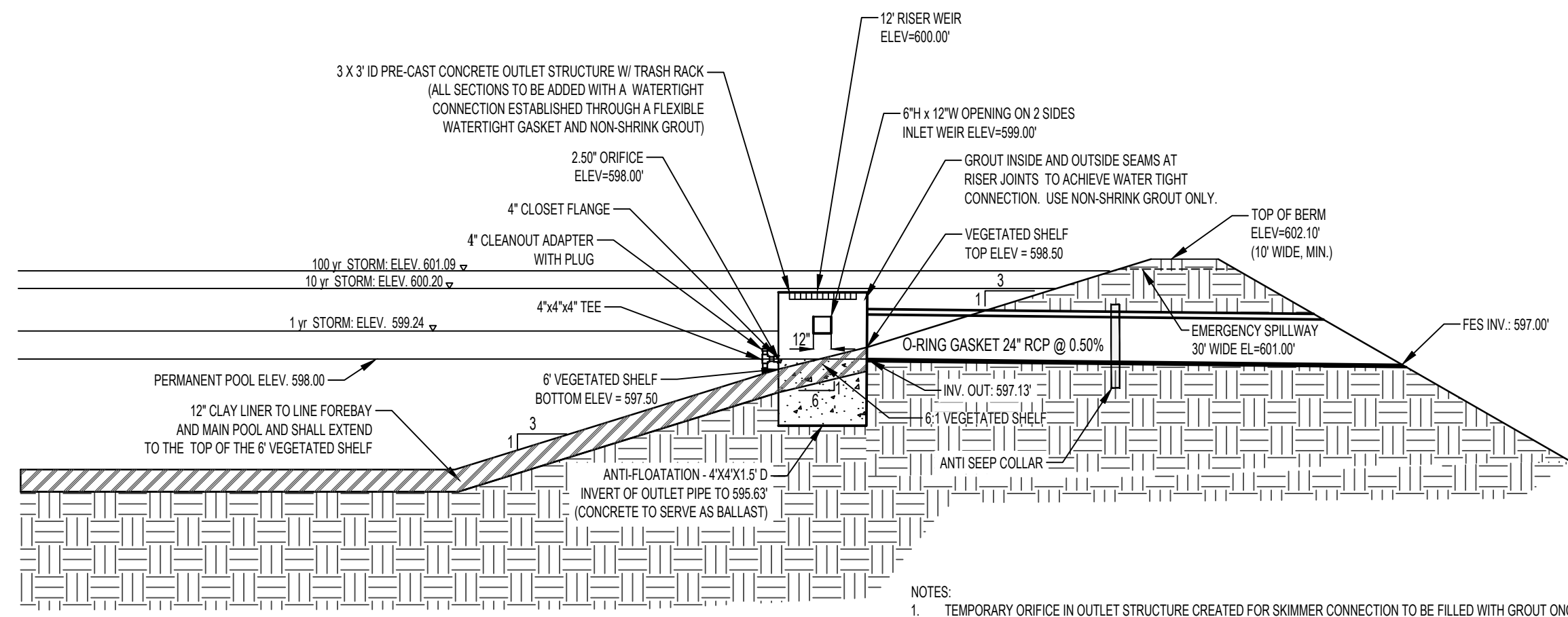
PROFILE SCALE:
VER 1" = 4'
HORZ 1" = 40'

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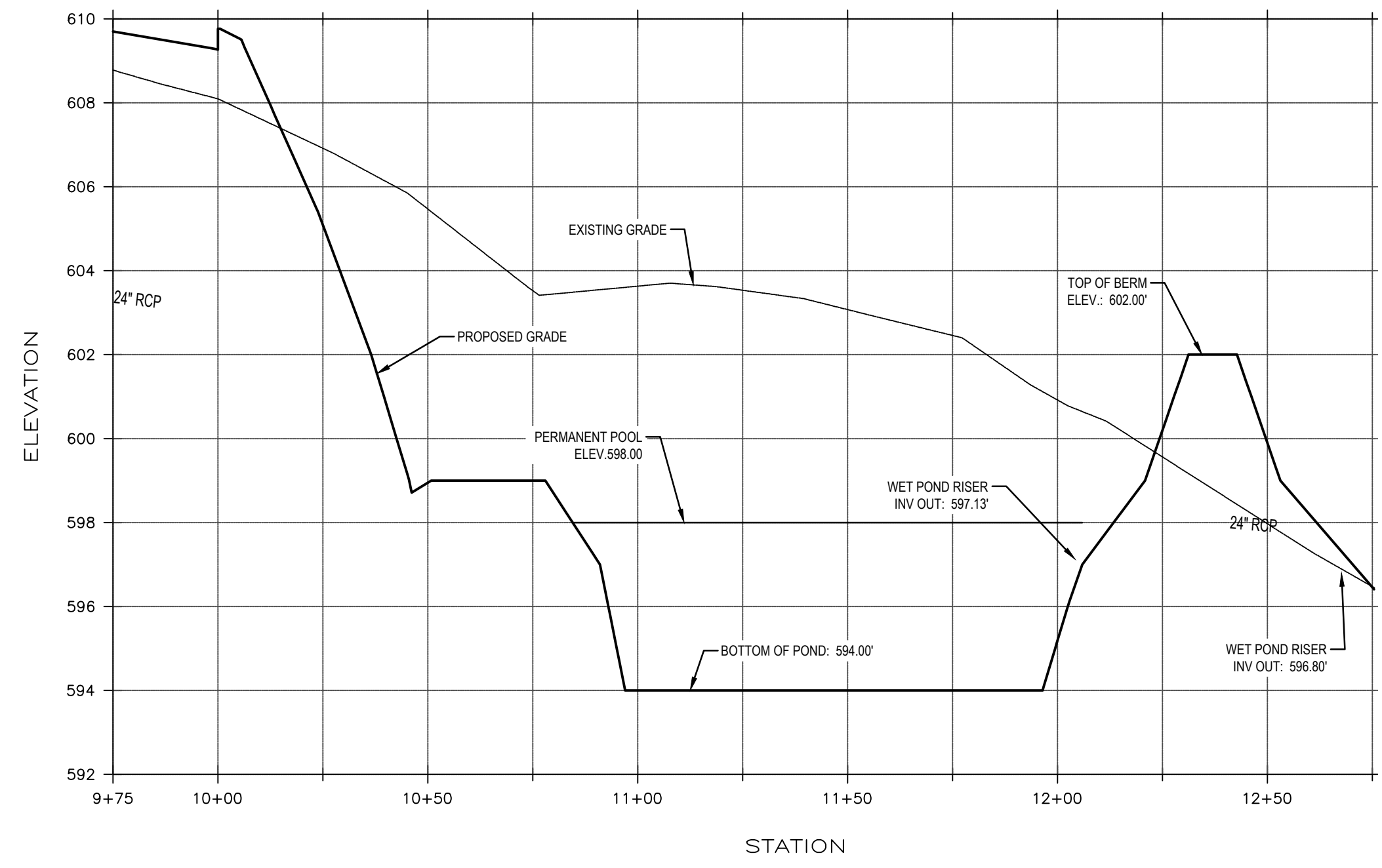
PROJECT NO: 2019099.00
DRAWN BY: FM
DWG. CHECKED BY: JAA
SCALE: SEE PLAN
DATE: 11-4-2019

**SANITARY SEWER
PLAN & PROFILE**

C-501

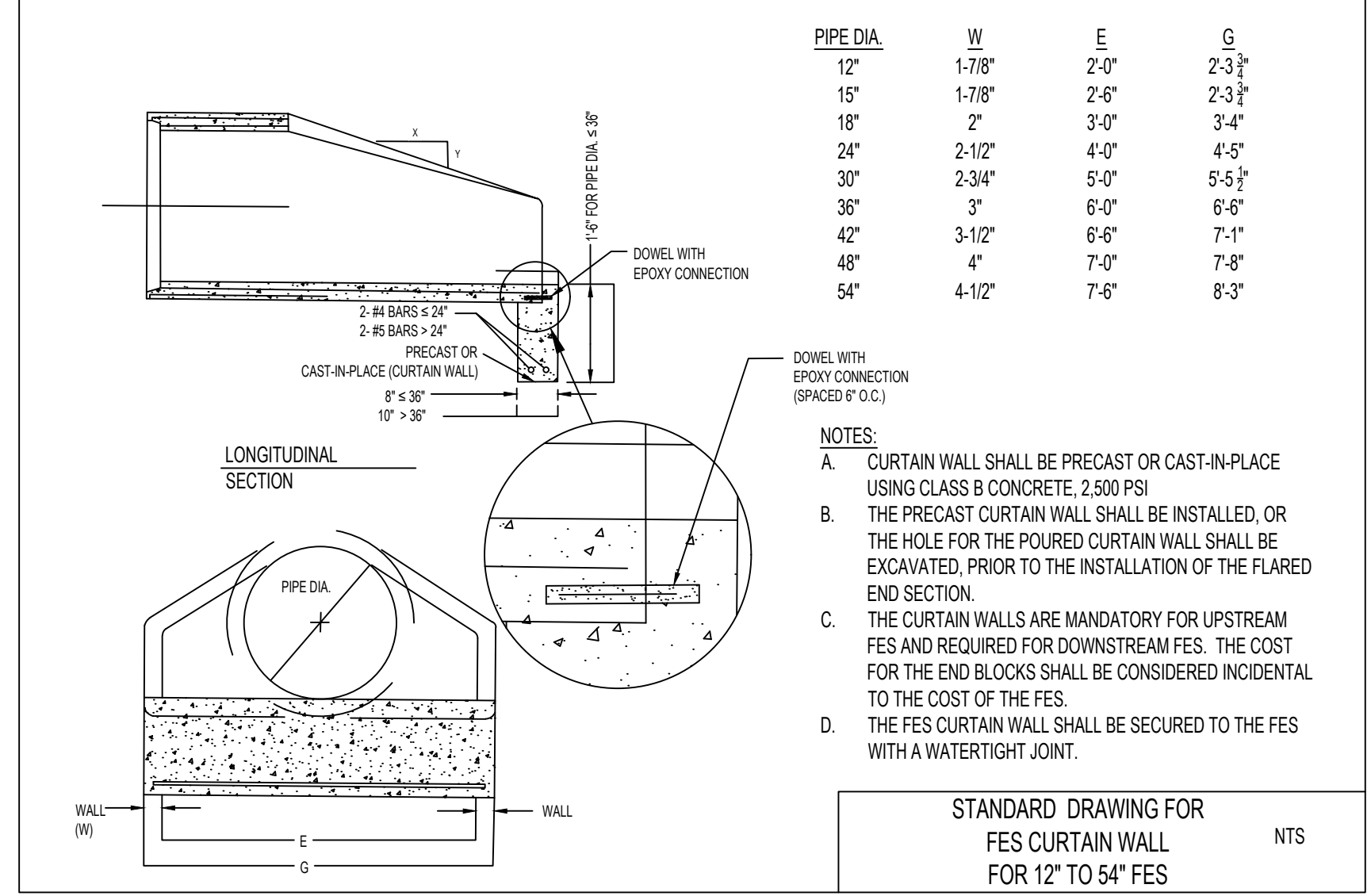
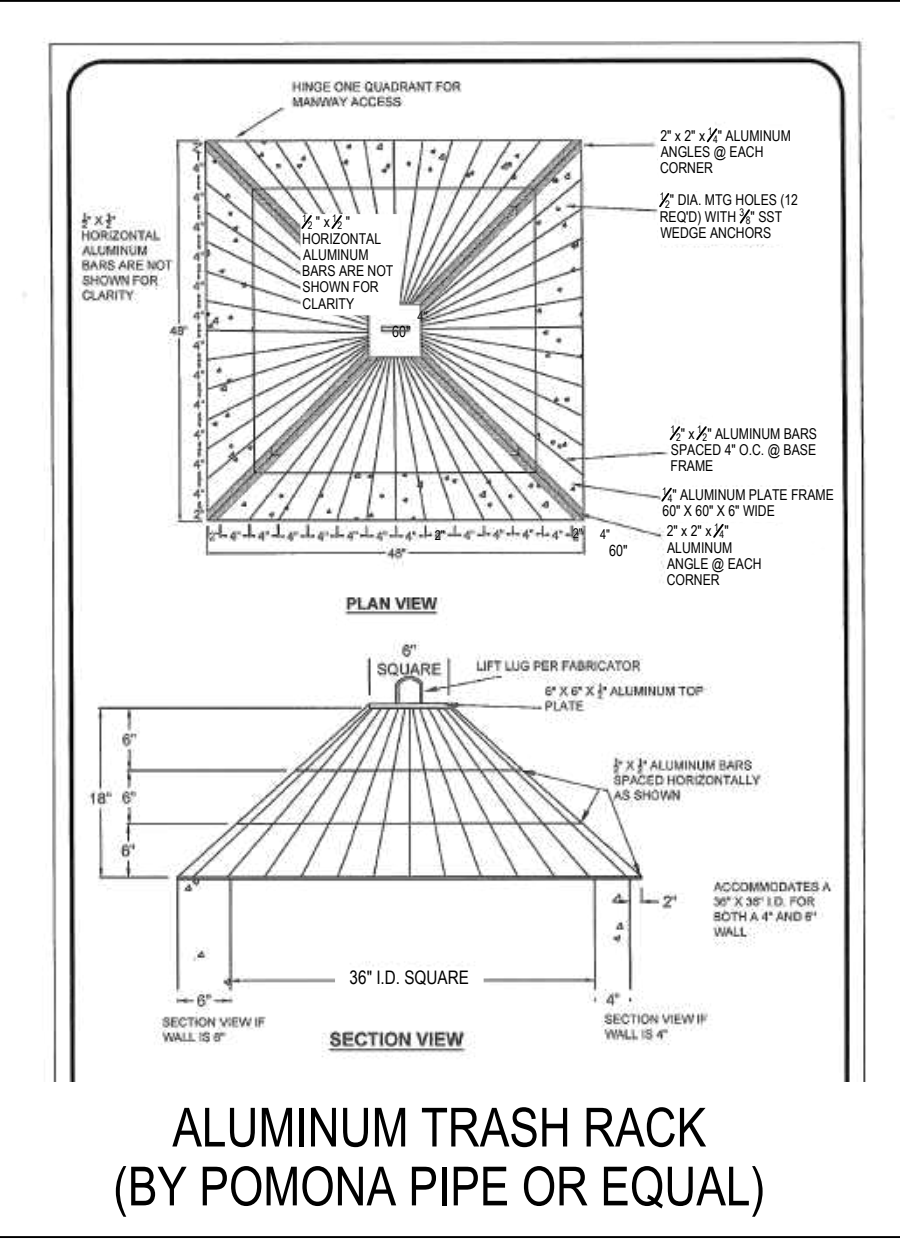
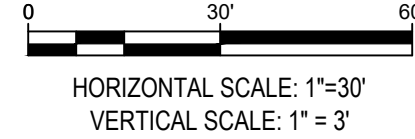


- NOTES:
1. TEMPORARY ORIFICE IN OUTLET STRUCTURE CREATED FOR SKIMMER CONNECTION TO BE FILLED WITH GROUT ONCE SKIMMER IS REMOVED.
 2. 2.5" ORIFICE TO BE INSTALLED AFTER ALL UPSTREAM AREA HAS BEEN STABILIZED.
 3. ALL ORIFICE PIPE AND FITTINGS ARE TO BE 4" SCHEDULE 40 PVC.
 4. ATTACH THE CLOSET FLANGE TO THE OUTLET STRUCTURE WITH STAINLESS STEEL BOLTS EMBEDDED IN A WATERPROOF EPOXY GROUT.
 5. 24" RCP DISCHARGE PIPE TO HAVE ORINGS FOR A WATER TIGHT SEAL.
 6. THE CLAY LINER MUST EXTEND FROM THE POND BOTTOM TO THE TOP OF THE VEGETATED SHELF ELEVATION AND MUST COMPLETELY COVER THE SPILLWAY FROM THE FOREBAY TO THE MAIN POOL.
 7. TESTING IS REQUIRED FOR ALL CLAY LINERS TO ENSURE THAT THE INFILTRATION RATE IS NOT MORE THAN 0.01 INHR.
 8. TOPSOIL FOR VEGETATION MUST BE PLACED ON TOP OF THE CLAY LINER.
 9. ALL MATERIALS USED WITHIN THE RISER MUST BE ANTI CORROSIIVE.
 10. PROVIDE AN ANTISEEP COLLAR AND WATER TIGHT JOINTS FOR THE DISCHARGE BARREL.
 11. PROVIDE A WATER TIGHT CONNECTION BETWEEN THE DISCHARGE BARREL AND THE OUTLET STRUCTURE.

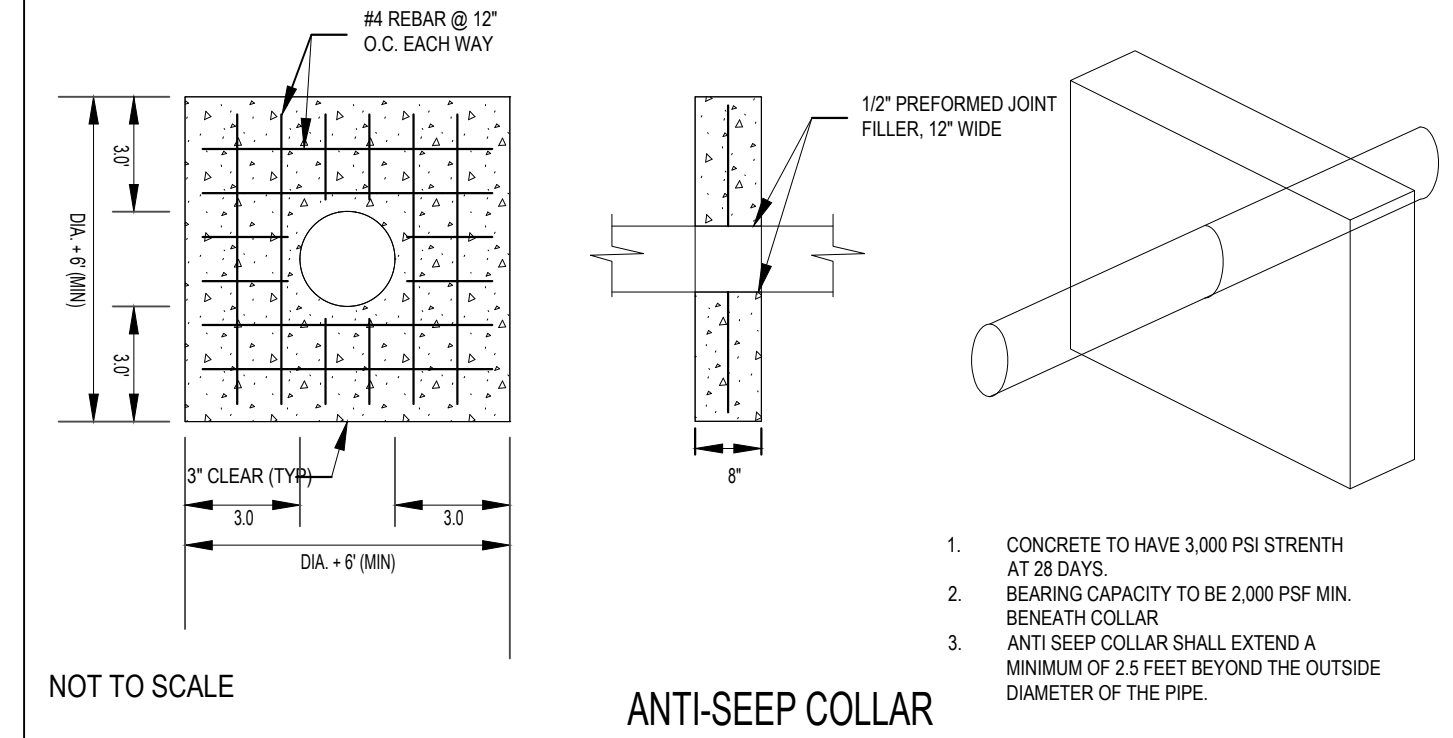
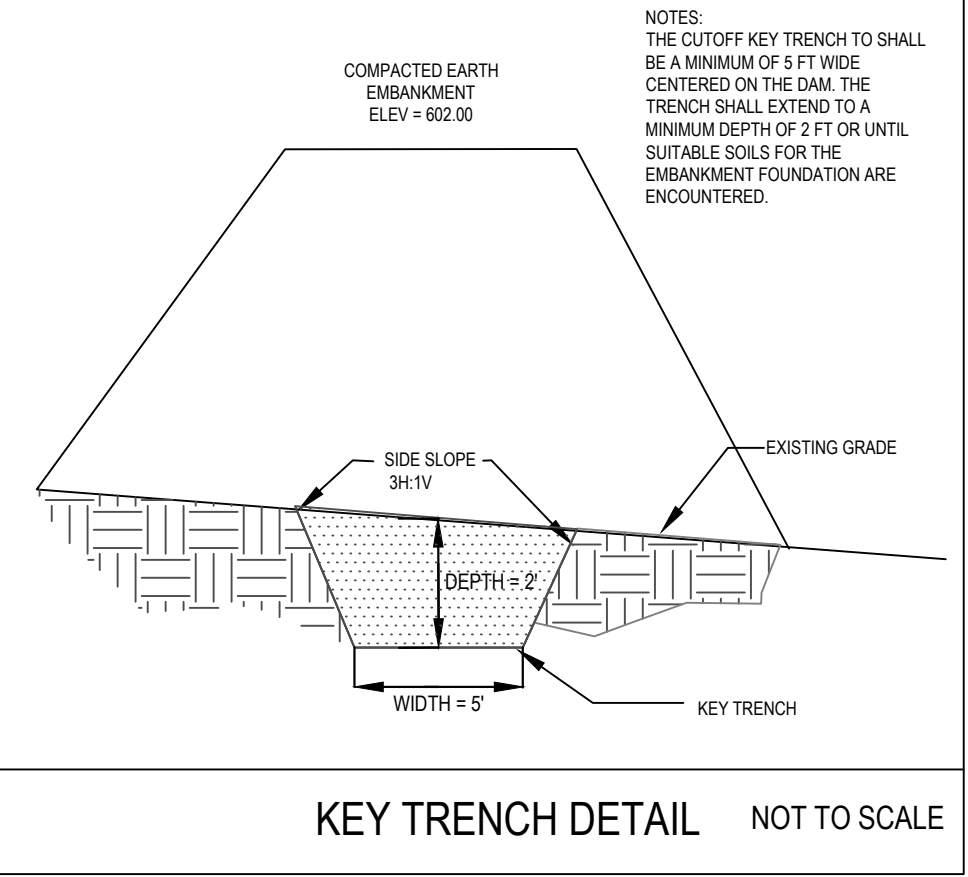


I certify that, pursuant to generally accepted engineering standards in the community, it is my professional opinion that runoff from this project is controlled and treated for water quality and water quantity in accordance with the City of Mebane's Stormwater Manual and that this project complies with the City of Mebane's Stormwater Ordinances.

WET POND PROFILE



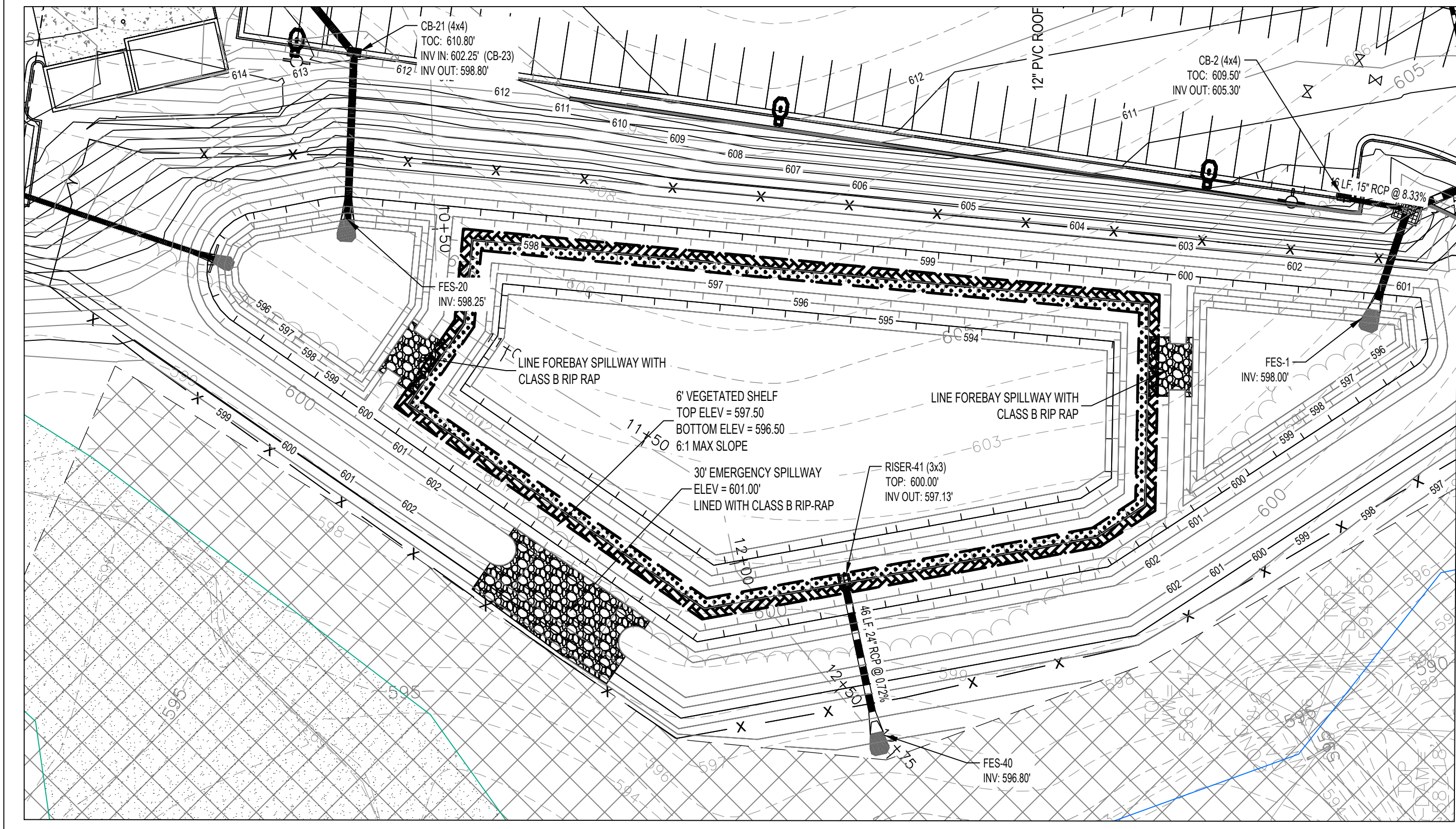
- NOTES:
- A. CURTAIN WALL SHALL BE PRECAST OR CAST-IN-PLACE USING CLASS B CONCRETE, 2500 PSI
 - B. THE PRECAST CURTAIN WALL SHALL BE INSTALLED, OR THE HOLE FOR THE POURED CURTAIN WALL SHALL BE EXCAVATED, PRIOR TO THE INSTALLATION OF THE FLARED END SECTION.
 - C. THE CURTAIN WALLS ARE MANDATORY FOR UPSTREAM FES AND REQUIRED FOR DOWNSTREAM FES. THE COST FOR THE END BLOCKS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE FES.
 - D. THE FES CURTAIN WALL SHALL BE SECURED TO THE FES WITH A WATER TIGHT JOINT.



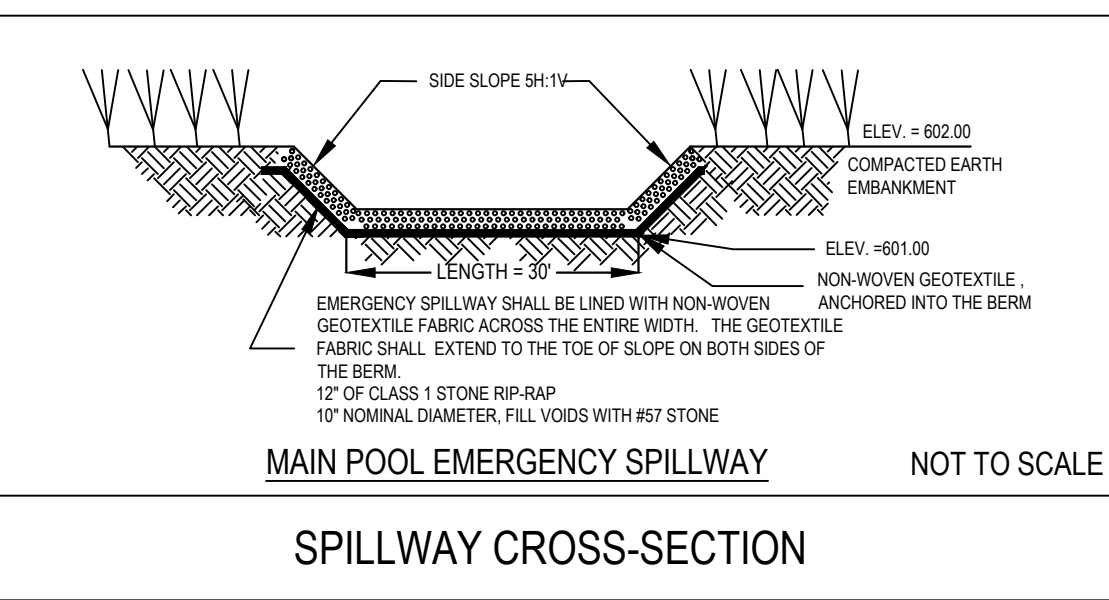
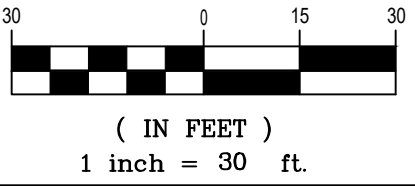
1. CONCRETE TO HAVE 3,000 PSI STRENGTH AT 28 DAYS.
2. BEARING CAPACITY TO BE 2,000 PSF MIN. BENEATH COLLAR.
3. ANTI SEEP COLLAR SHALL EXTEND A MINIMUM OF 2.5 FEET BEYOND THE OUTSIDE DIAMETER OF THE PIPE.

- WET POND OUTLET CONSTRUCTION SPECIFICATIONS
1. PRE-CAST CONCRETE RISER STRUCTURE CONFORMING TO ASTM C-913
 2. BASE SECTION: 6-INCH MINIMUM THICKNESS FOR FLOOR SLAB AND 6-INCH MINIMUM THICKNESS FOR WALLS AND BASE RISER SECTIONS, AND HAVING SEPARATE BASE SLAB OR BASE SECTION WITH INTEGRAL FLOOR.
 3. THE ANTI-FLOTATION BLOCK SHALL BE PRE-CAST AS AN EXTENDED BASE OF THE RISER.
 4. JOINT SEALANT: THE RISER JOINTS SHALL BE SEALED USING A BUTYL RUBBER SEALANT CONFORMING TO ASTM 990.
 5. RISER SECTIONS SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS AND HARDWARE.
 6. RISER STEPS: ASTM A 618 (54) DEFORMED, 1/2 INCH MIN. STEEL REINFORCING RODS ENCASED IN ASTM D 4101, PP, WIDE ENOUGH TO ALLOW WORKER TO PLACE BOTH FEET ON 1 STEP AND DESIGNED TO PREVENT LATERAL SLIPPAGE OFF OF STEP. CAST OR ANCHOR STEPS INTO SIDEWALLS AT 12-INCH TO 16-INCH INTERVALS.
 7. THE 24" RCP OUTLET PIPE SHALL BE CLASS B AND CONFORM TO ASTM C-443. STANDARD TONGUE AND GROOVE ENDS. THE PIPE SHALL HAVE GASKETED JOINTS CONFORMING TO ASTM C-443 RUBBER GASKETS. THE RUBBER GASKETED JOINT PIPE SHALL BE WRAPPED WITH A LAYER OF NON-WOVEN GEOTEXTILE FABRIC ON THE OUTSIDE AT EACH PIPE JOINT. AND SHALL COVER A MINIMUM OF ONE FOOT LENGTH OF EACH PIPE SEGMENT.
 8. GEOTEXTILE FABRIC FOR THE OUTLET BARREL JOINTS AND UNDER RIP RAP: NONWOVEN NEEDLE-PUNCHED, MADE FROM POLYPROPYLENE FIBERS WITH ELONGATION GREATER THAN 50 PERCENT, COMPLYING WITH AASHTO M 288 AND THE FOLLOWING, MEASURED PER TEST METHOD REFERENCE:
 - 8.1. GRAB STRENGTH: 205 LBS; ASTM D4532
 - 8.2. TEAR STRENGTH: 80 LBS; ASTM D4533
 - 8.3. PUNCTURE STRENGTH: 440 LBS; ASTM D6241
 - 8.4. PERMITTIVITY: 1.20 SEC/IN
 - 8.5. APPARENT OPENING SIZE: NO. 60 SIEVE; MAXIMUM; ASTM D4751
 - 8.6. UV STABILITY: 50% AFTER 500 HOURS OF EXPOSURE; ASTM D4355
 9. TRASH RACK: ACCESS HATCH SHALL BE PROVIDED WITHIN THE TRASH RACK THAT WILL ALLOW FOR FUTURE MAINTENANCE ACCESS. THE ACCESS HATCH MUST LINE UP WITH THE STEPS AFTER INSTALLATION. TRASH RACK GRID SPACING SHALL BE NO MORE THAN 5.5" INCHES. THE ACCESS HATCH MUST BE LOCKING, WITH A MINIMUM CLEAR SPACE OF 2X3 FOR ACCESS. CONTRACTOR SHALL PROVIDE A CHAIN AND LOCK FOR SECURING. TRASH RACK SHALL BE CONSTRUCTED OF ALUMINUM. MINIMUM LIFE SPAN OF TRASH RACK SHALL BE 75 YEARS.

- WET POND EARTHWORK CONSTRUCTION SPECIFICATIONS
1. ALL FILL MATERIALS USED FOR THE DAM EMBANKMENT SHALL BE TAKEN FROM BORROW AREAS APPROVED BY THE GEOTECHNICAL ENGINEER. FILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, WOOD AND STONES LARGER THAN 6".
 2. PRIOR TO PLACEMENT OF FILL MATERIAL FOR THE BERM SECTION, ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND THE SURFACE PROPERLY PREPARED FOR FILL PLACEMENT.
 3. ALL EARTHEN FILLS SHALL BE CLEARED, GRUBBED AND STRIPPED OF ALL VEGETATIVE MATERIAL, TOPSOIL, AND ORGANIC MATTER PRIOR TO CONSTRUCTION.
 4. PLACE BACKFILL AND FILL SOIL MATERIALS IN LIFTS NOT MORE THAN 8 INCHES IN LOOSE DEPTH. EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE EMBANKMENT.
 5. FILL PLACEMENT ADJACENT TO THE OUTLET STRUCTURE AND SPILLWAY PIPE SHALL BE PLACED IN LIFTS NOT MORE THAN 4 INCHES IN LOOSE DEPTH. FILL PLACEMENT IN THIS AREA SHALL MATCH THE COMPACTION LEVELS OF THE REMAINDER OF THE EMBANKMENT. HEAVY EQUIPMENT SHALL NOT BE OPERATED WITHIN 4 FEET OF THE SPILLWAY PIPE.
 6. THE SURFACE OF EACH LAYER SHALL BE SCARIFIED PRIOR TO PLACEMENT OF THE NEXT LAYER.
 7. COMPACT SOIL MATERIALS TO NOT LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) AT MOISTURE CONTENTS VARYING FROM 2 PERCENT BELOW OPTIMUM MOISTURE CONTENT TO 3 PERCENT ABOVE OPTIMUM MOISTURE WITH HAND TAMPS OR LIGHT SELF PROPELLED WALK BEHIND EQUIPMENT.
 8. COMPACTION TESTING OF THE FILL MATERIAL SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER TO VERIFY THAT THE PROPER COMPACTION LEVEL HAS BEEN REACHED. AT LEAST 1 TEST FOR EVERY 2000 SQ FT OF EMBANKMENT SHALL BE PERFORMED, BUT NO FEWER THAN 3 TESTS. AT LEAST 1 TEST FOR EVERY 150 FT OR LESS OF TRENCH LENGTH SHALL BE PERFORMED ALONG THE SPILLWAY PIPE, BUT NO FEWER THAN 2 TESTS.
 9. THE WET POND MUST BE STABILIZED WITHIN 14 DAYS OF CONSTRUCTION.
 10. ALL EMBANKMENTS SHALL BE METHODOICALLY BACK FILLED WITH HIGHLY IMPERMEABLE MATERIAL AND COMPACTED TO AT LEAST 95% OF STANDARD PROCTOR DENSITY.
 11. SOIL MATERIALS USED FOR EARTH FILL WHICH ARE CONSIDERED PERMEABLE OR WHICH EXHIBIT SIGNIFICANT SHRINK/SWELL, SHALL NOT BE USED IN THE EMBANKMENT.
 12. A CUTOFF KEY TRENCH SHALL BE INSTALLED ALONG THE CENTERLINE OF THE DAM. THE TRENCH SHALL EXTEND A MINIMUM DEPTH OF TWO FEET OR UNTIL SUITABLE SOILS FOR THE EMBANKMENT FOUNDATION ARE REACHED.



WET POND PLAN



SPILLWAY CROSS-SECTION

THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING FACILITIES SUCH AS PIPELINES, ELECTRICAL LINES, CONDUIT, TELEPHONE CABLE, SERVICE CONNECTIONS, OR OTHER FACILITIES ARE SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UTILITIES LOCATED BY THEIR RESPECTIVE OWNERS, FIELD MARK THE UTILITY LOCATIONS, AND PROTECT ALL SUCH EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS IN ACCORDANCE WITH NC GENERAL STATUTE - CHAPTER 87, ARTICLE 8, THE UNDERGROUND DAMAGE PREVENTION ACT.

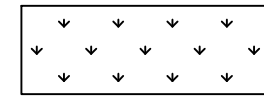
NO.	DATE	REVISIONS	REMARKS
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6.	03/31/2022	REVISED SITE PLAN SUBMITTAL	
7.	05/20/2022	SITE PLAN FOR APPROVAL	
8.			

PROJECT NO: 2019099.00
DRAWN BY: FM
DWG. CHECKED BY: JAA
SCALE: SEE PLAN
DATE: 11-4-2019

STORMWATER
MANAGEMENT DETAILS

SHALLOW WATER PLANTING REQUIREMENTS

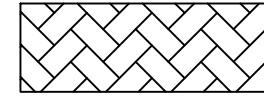
SURFACE AREA = 1,683 SF
 MINIMUM 50 PLANTS PER 200 SF
 1683 SF * (50 PLANTS / 200 SF) = 421 PLANTS



	QTY.	SIZE	SPACING
SHALLOW WATER (1683 SF, ELEV 597.50-598.00)			
33% IRIS VIRGINIA - BLUE FLAG IRIS	140	4 CU. IN. CONT	24" O.C.
33% ACORUS SUBCARDATUM - SWEETFLAG	140	4 CU. IN. CONT	24" O.C.
33% PONTEDERIA CORDATA - PICKERELWEED	141	4 CU. IN. CONT	24" O.C.

SHALLOW LAND PLANTING REQUIREMENTS

SURFACE AREA = 1,752 SF
 MINIMUM 50 PLANTS PER 200 SF
 1752 SF * (50 PLANTS / 200 SF) = 438 PLANTS



	QTY.	SIZE	SPACING
SHALLOW LAND (1752 SF, ELEV 598.00-598.50)			
33% EUTROCHILUM FISTULOSUM - JOE-PYE WEED	146	4 CU. IN. CONT	24" O.C.
33% ASCLEPIAS INCARNATA - SWAMP MILKWEED	146	4 CU. IN. CONT	24" O.C.
33% LOBELIA CARDINALIS - CARDINAL FLOWER	146	4 CU. IN. CONT	24" O.C.

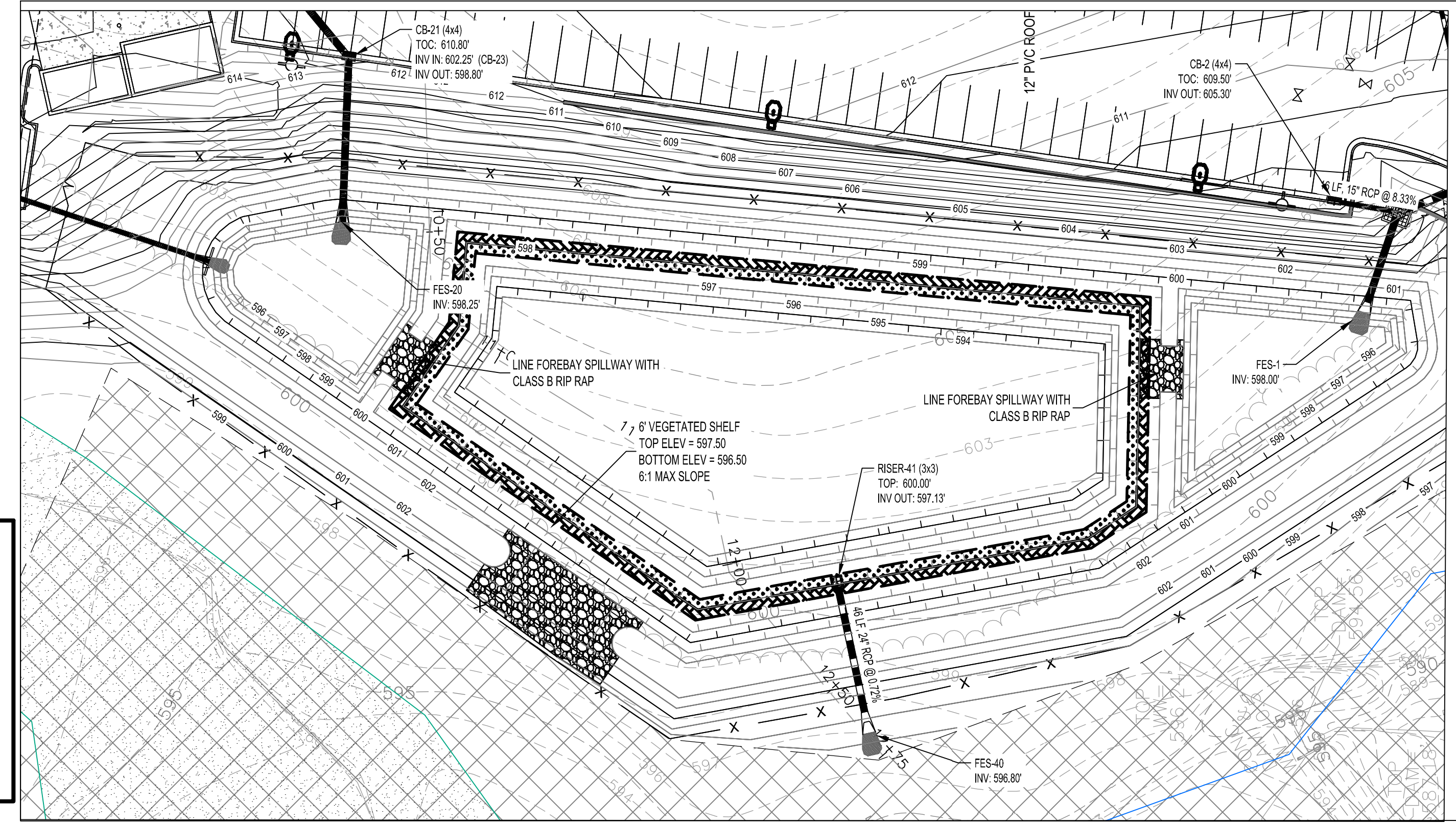
SCM PLANTING NOTES:

- SCM MAY NOT BE PLANTED UNTIL THE ENTIRE SITE IS STABILIZED WITH PERMANENT GROUND COVER AND THE NCDOT INSPECTOR APPROVES CONVERSION OF TEMPORARY SKIMMER TO WET POND. ALL CONSTRUCTION SEDIMENT MUST BE REMOVED AND THE WET POND MUST BE FINE GRADED PER THE SCM DETAILS PRIOR TO INSTALLATION OF LITTORAL SHELF PLANTS.
- SCM MUST BE STABILIZED WITHIN 14 DAYS OF CONSTRUCTION.
- IF A MINIMUM COVERAGE OF 70% IS NOT ACHIEVED IN THE LITTORAL SHELF AFTER THE SECOND GROWING SEASON, SUPPLEMENTAL PLANTING SHOULD BE COMPLETED. COVERAGE OF 90-95% IS DESIRABLE. ON YEAR (1 YR.) WARRANTY PERIOD IS CUSTOMARY AND ACCEPTABLE. THIS WARRANTY SHALL BE FULLY TRANSFERABLE TO ANY SUBSEQUENT OWNER UPON CONVEYANCE OF THE PROPERTY PRIOR TO ITS EXPIRATION.
- BASIN SIDE SLOPES SHALL BE STABILIZED WITH VEGETATION ABOVE THE PERMANENT POOL ELEVATION.
- A MINIMUM OF 4" OF TOPSOIL IS REQUIRED FOR THE PLANTS ON THE AQUATIC SHELF AND FOR GRASS AROUND THE DEVICE.
- ALL DISTURBED GROUND AREAS AND EMBANKMENTS SURROUNDING THE POND SHALL HAVE PERMANENT GROUND COVER ESTABLISHED IN ACCORDANCE WITH DURHAM AND NC DEQ GUIDELINES PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR PREVENTING GEESE FROM EATING THE YOUNG AQUATIC PLANTS UNTIL THEY ARE WELL ESTABLISHED.

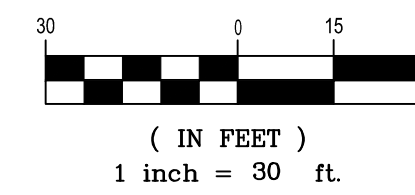
WET POND TURFGRASS SEEDING SCHEDULE

NOTE:
 TEMPORARY SEED MIX SHALL BE USED FOR ALL AREAS EXPOSED GREATER THAN ONE WEEK AND SUBJECT TO FURTHER DISTURBANCE. PERMANENT SEED MIX SHALL BE CHECKED FOR ADEQUACY ON JULY 15. AN ADEQUATE COVER SHALL HAVE 50 SPRIGS OF GRASS TYPE PER ONE SQUARE FOOT.

PERMANENT SPRING/SUMMER SEED MIX MAR. 1 - AUG. 31 SPECIES: GERMAN, BROWN TOP, OR FOX TAIL MILLET RATE (LB/ACRE): 50 SPECIES: COMMON BERMUDA, HULLED RATE (LB/ACRE): 50	PERMANENT FALL/WINTER SEED MIX SEPT. 1 - FEB. 28 SPECIES: SOFT RED WINTER WHEAT RATE (LB/ACRE): 65 SPECIES: COMMON BERMUDA, HULLED RATE (LB/ACRE): 25 SPECIES: COMMON BERMUDA, UNHULLED RATE (LB/ACRE): 25
TEMPORARY SPRING/SUMMER SEED MIX MAR. 1 - AUG. 31 SPECIES: GERMAN, BROWN TOP, OR FOX TAIL MILLET RATE (LB/ACRE): 65	TEMPORARY FALL/WINTER SEED MIX SEP. 1 - FEB. 28 SPECIES: SOFT RED WINTER WHEAT RATE (LB/ACRE): 120



WET POND PLAN



DAM EMBANKMENT / EMERGENCY SPILLWAY MAINTENANCE (INFORMATION FROM 'OWNER'S MAINTENANCE GUIDE FOR STORMWATER BMPS CONSTRUCTED IN THE CITY OF DURHAM'):

STORMWATER POND TURF MAINTENANCE:

- AREAS WITHIN THE SCM SHOULD BE RAKED VIGOROUSLY AND COVERED WITH 4" OF TOPSOIL. THESE AREAS SHOULD THEN BE SEEDDED WITH A TURF GRASS SEED MIX AND MULCHED WITH STRAW. DEPENDING ON THE TIME OF YEAR AND RAINFALL AMOUNTS, ADDITIONAL WATERING OF THE SEEDDED AREAS MAY BE REQUIRED. WHEN A POTABLE WATER SOURCE IS NOT READILY AVAILABLE (OR EVEN IF IT IS) AND THE POND CONTAINS A PERMANENT POOL OF WATER, IT IS RECOMMENDED THAT A SUMP PUMP WATERING SYSTEM BE IMPLEMENTED, WHERE WATER IS DRAWN FROM THE POND TO IRRIGATE THE NEWLY SEEDDED AREAS. DURING EXTREME DROUGHTS, IT MAY BE NECESSARY TO CONTRACT OUT THE TRUCKING IN OF RECLAIMED WASTEWATER FROM A NEARBY WASTEWATER TREATMENT FACILITY.
- DEPENDING UPON RAINFALL AMOUNTS, THE GRASS ON THE DAM SHOULD BE MOWED AT LEAST THREE- TO FOUR-TIMES DURING BOTH GROWING SEASONS (E.G. THE SPRING AND FALL) AND AT LEAST ONCE DURING THE SUMMER. THE GRASS SHOULD NEVER EXCEED A HEIGHT OF 18" AND, WHEN CUT, SHOULD BE CUT TO A HEIGHT OF APPROXIMATELY SIX-INCHES. IF A SHORTER CUT HEIGHT IS DESIRED, MORE FREQUENT MOWING WILL BE REQUIRED (10 TO 15 TIMES PER YEAR) TO AVOID CUTTING TOO MUCH OF THE PLANT WITH EACH MOWING CYCLE. SPECIAL CARE AGAINST "SCALPING" SHOULD BE EXERCISED ALONG ALL SLOPED AREAS AND IN AREAS WHERE TERRAIN GRADES CHANGE ABRUPTLY.
- GRASS SEED SHOULD BE APPLIED DURING THE BEGINNING MONTHS OF BOTH GROWING SEASONS.
- LIME SHOULD BE APPLIED AT ANY TIME FROM MARCH THROUGH NOVEMBER. LIMING RATES SHOULD BE BASED ON SOIL TEST RESULTS. IT IS RECOMMENDED THAT THE SOILS ON THE DAM BE TESTED ON A BIENNIAL BASIS. SOIL TEST KITS CAN BE OBTAINED FROM THE NORTH CAROLINA COOPERATIVE EXTENSION SERVICE, WHICH IS LOCATED AT 721 FOSTER STREET, DURHAM, NC (919-860-0525). THE SOIL TESTS ARE PERFORMED BY THE NC STATE UNIVERSITY SOIL TESTING LAB AND ARE OFFERED FREE OF CHARGE. TEST RESULTS ARE PROVIDED IN THE MAIL.
- FERTILIZER, IF ITS USE IS APPROVED, SHOULD BE APPLIED SPARINGLY IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS. TYPICALLY, FERTILIZER SHOULD BE APPLIED IN OCTOBER OR NOVEMBER, IN MOST INSTANCES, ONCE A TURF GRASS HAS BEEN ESTABLISHED ON A DAM, THE APPLICATION OF FERTILIZER SHOULD NO LONGER BE NECESSARY AND, IN FACT, SHOULD NOT BE USED WITHOUT SPECIFIC APPROVAL OF THE STORMWATER SERVICES DIVISION.

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**THE SUMMIT CHURCH
 SITE PLAN**

MEBANE OAKS ROAD AND OLD HILLSBOROUGH ROAD
 MEBANE, ALAMANCE COUNTY, NORTH CAROLINA

NO.	DATE	REVISIONS / REMARKS
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8.		
9.		

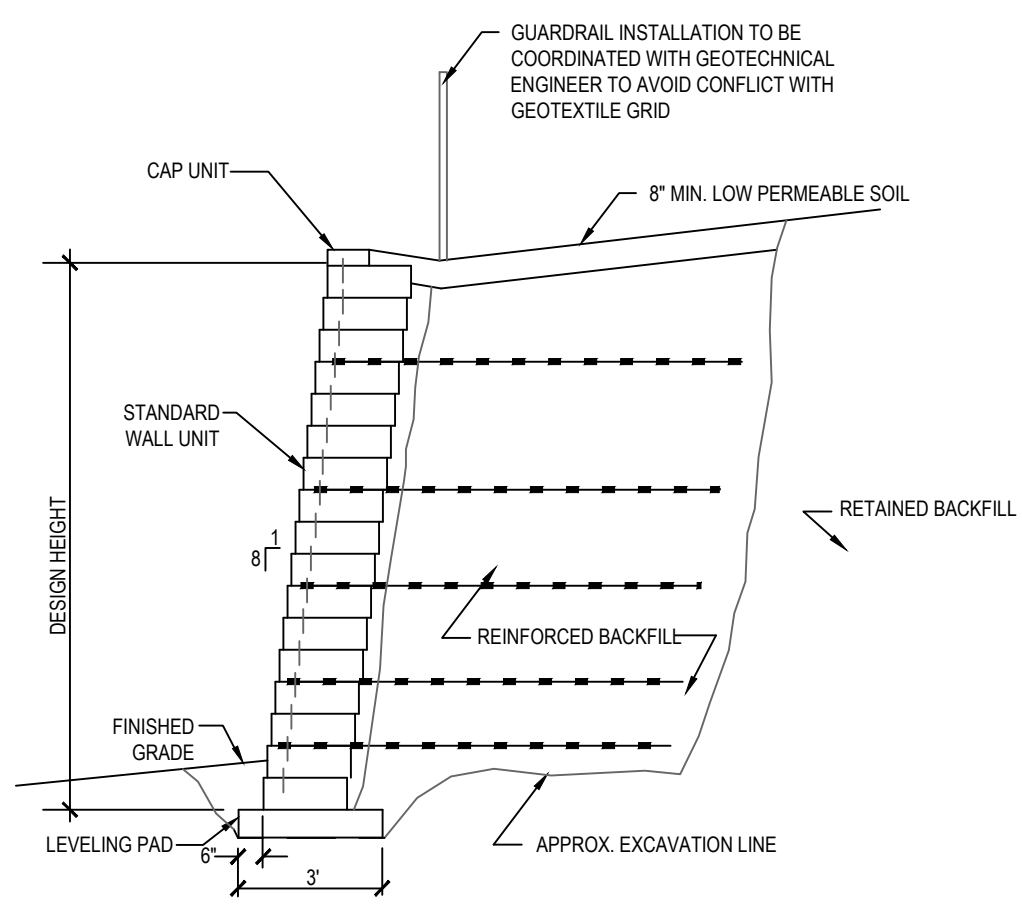
PROJECT NO: 2019099.00

DRAWN BY: FM
 DWG. CHECKED BY: JAA
 SCALE: SEE PLAN
 DATE: 11-4-2019

**WET POND
 PLANTING PLAN**

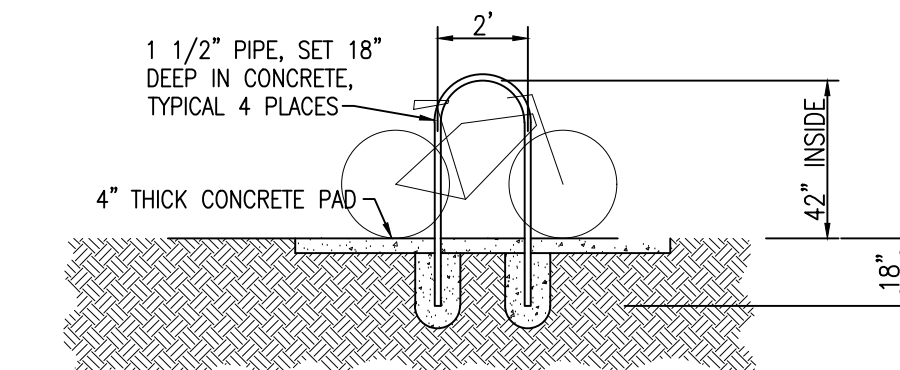
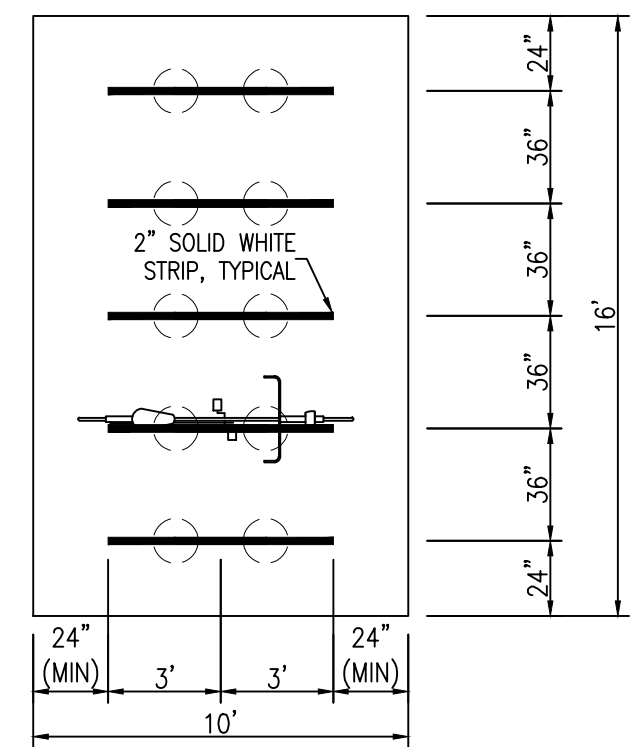
C-601

THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING FACILITIES SUCH AS PIPELINES, ELECTRICAL LINES, CONDUIT, TELEPHONE CABLE, SERVICE CONNECTIONS, OR OTHER FACILITIES ARE SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UTILITIES LOCATED BY THEIR RESPECTIVE OWNERS, FIELD MARK THE UTILITY LOCATIONS, AND PROTECT ALL SUCH EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS IN ACCORDANCE WITH NC GENERAL STATUTE - CHAPTER 87, ARTICLE 8, THE UNDERGROUND DAMAGE PREVENTION ACT.

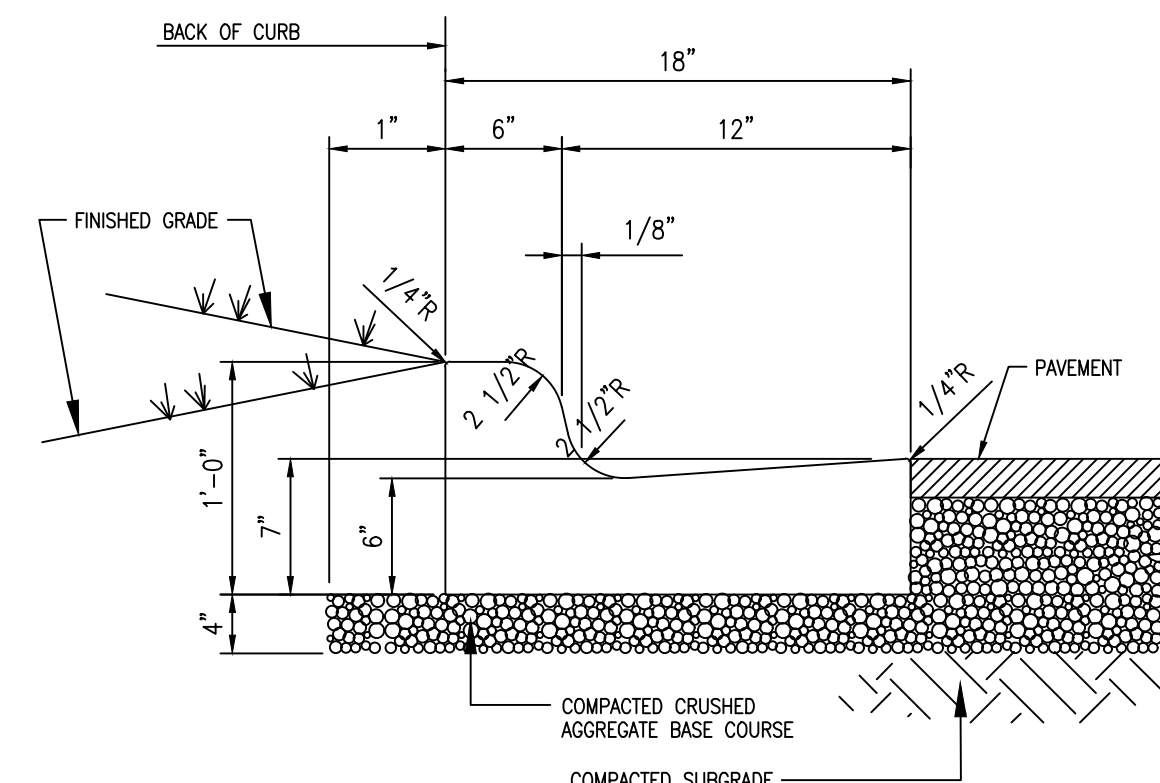


NOTES
 1. FINAL DESIGN AND PERMITTING OF RETAINING WALLS WILL BE BY A GEOTECHNICAL ENGINEER.
 2. WHERE RET. WALLS ARE GREATER THAN 30' PROVIDE HANDRAIL.
 3. COLOR TO BE CHOSEN BY ARCHITECT/OWNER.

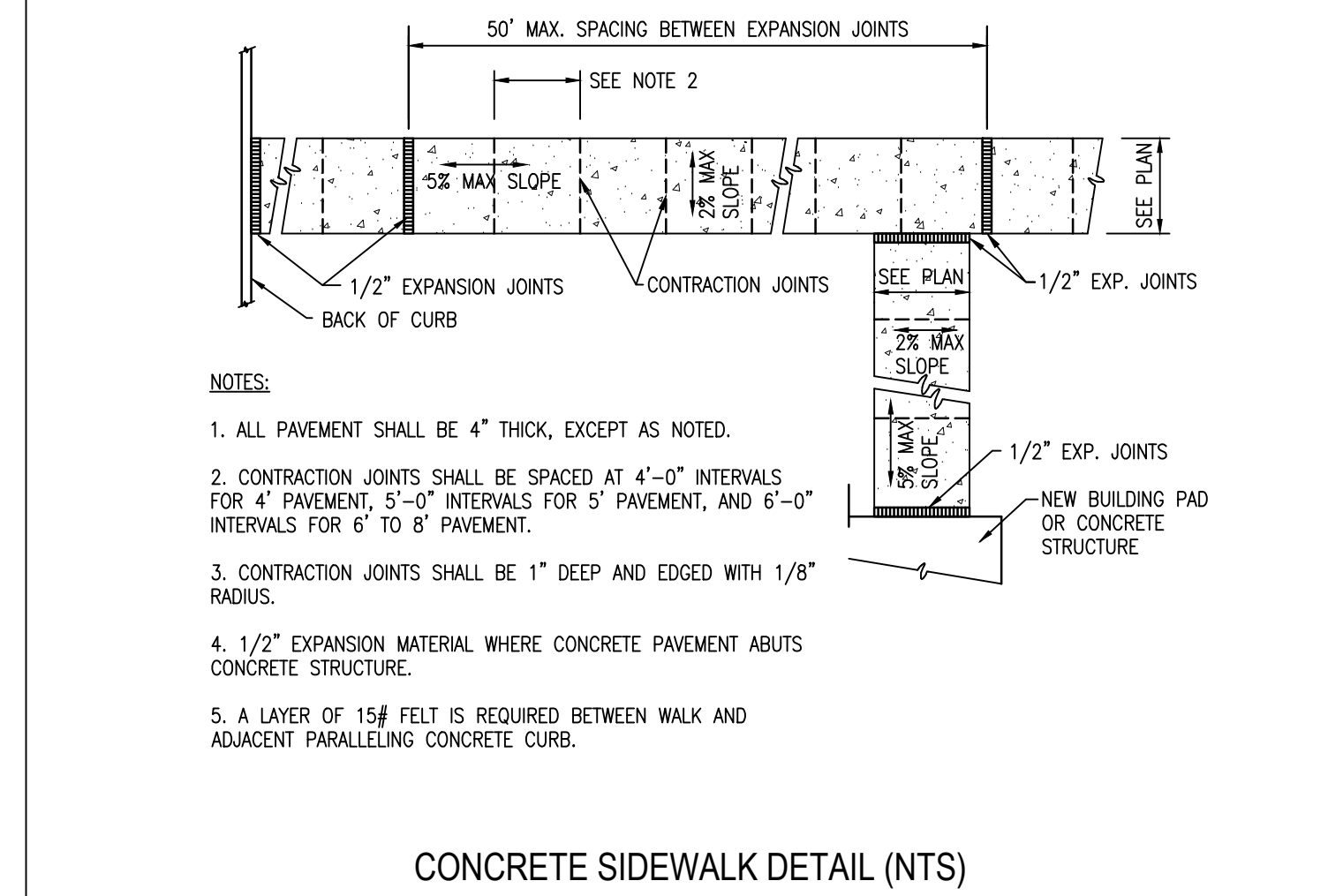
SEGMENTAL UNIT WALL DETAIL



BIKE PARKING DETAIL

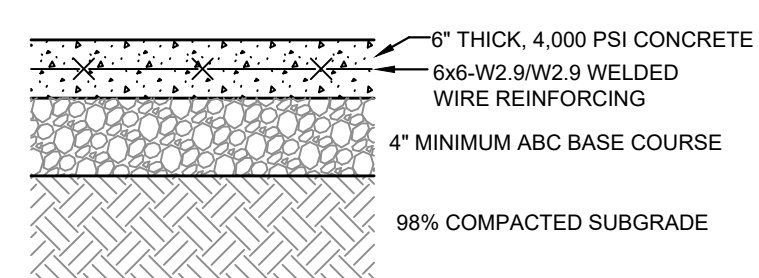


18" CURB & GUTTER
NO SCALE



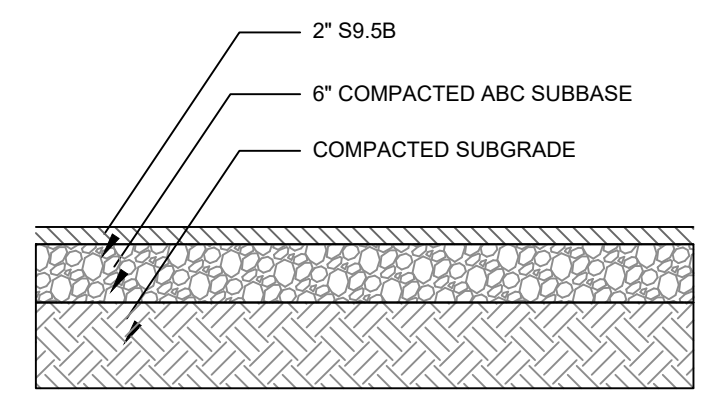
NOTES:
 1. ALL PAVEMENT SHALL BE 4" THICK, EXCEPT AS NOTED.
 2. CONTRACTION JOINTS SHALL BE SPACED AT 4'-0" INTERVALS FOR 4' PAVEMENT, 5'-0" INTERVALS FOR 5' PAVEMENT, AND 6'-0" INTERVALS FOR 6' TO 8' PAVEMENT.
 3. CONTRACTION JOINTS SHALL BE 1" DEEP AND EDGED WITH 1/8" RADIUS.
 4. 1/2" EXPANSION MATERIAL WHERE CONCRETE PAVEMENT ABUTS CONCRETE STRUCTURE.
 5. A LAYER OF 15# FELT IS REQUIRED BETWEEN WALK AND ADJACENT PARALLELING CONCRETE CURB.

CONCRETE SIDEWALK DETAIL (NTS)



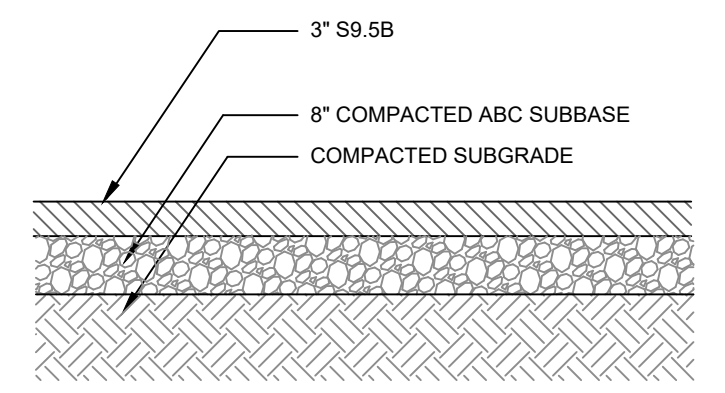
NOTE:
 CONFIRM PAVEMENT SECTIONS WITH GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION.

HEAVY DUTY CONCRETE



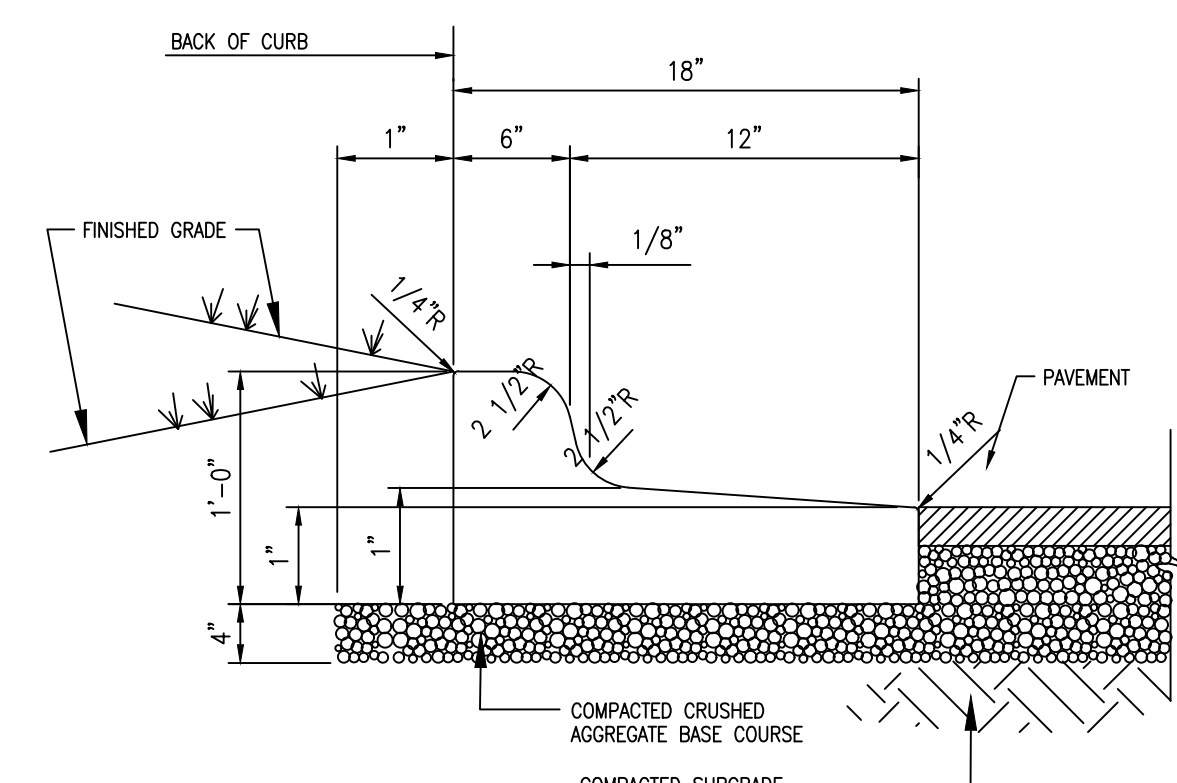
NOTE:
 CONFIRM PAVEMENT SECTIONS WITH GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION.

LIGHT DUTY ASPHALT

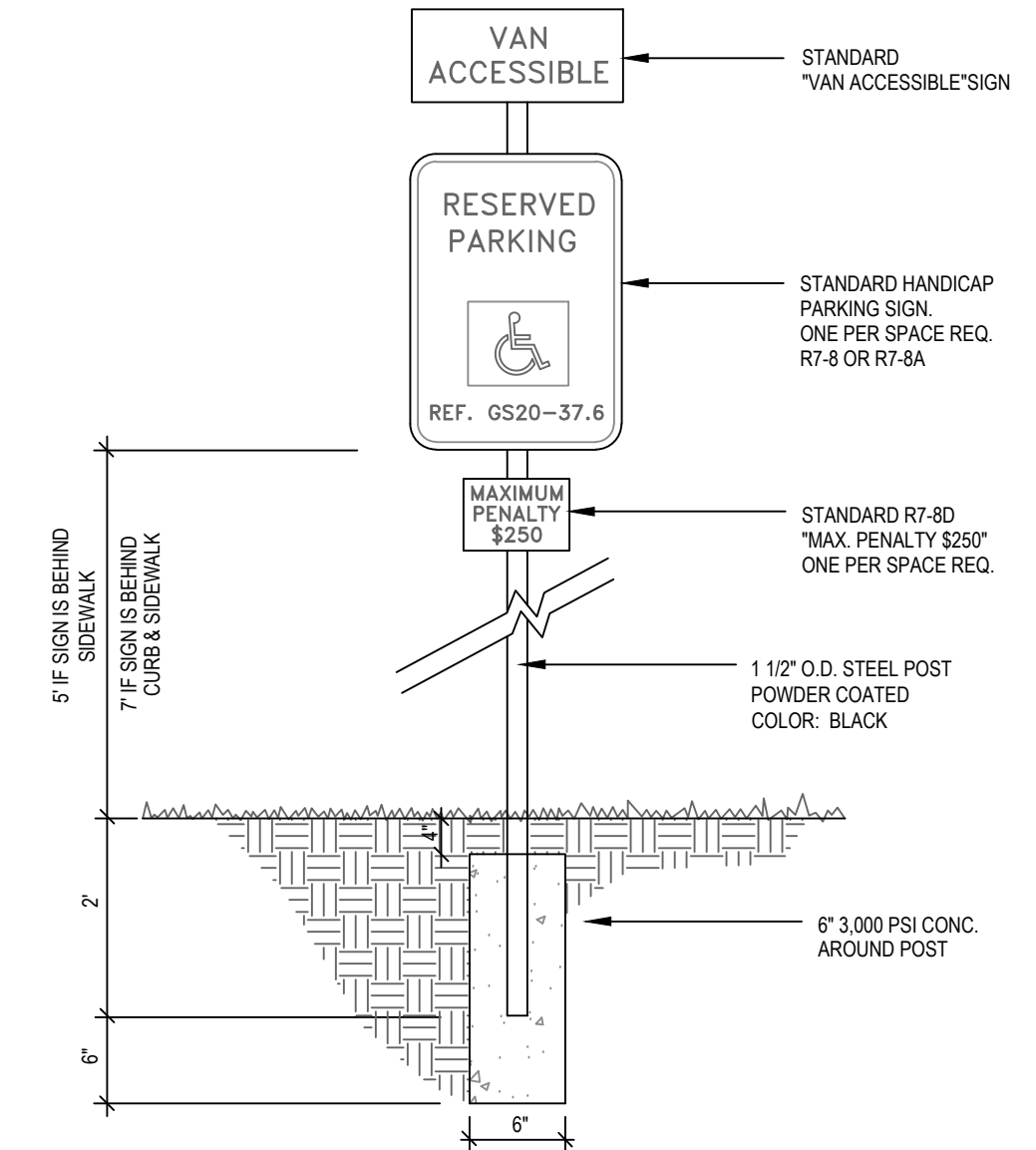


NOTE:
 CONFIRM PAVEMENT SECTIONS WITH GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION.

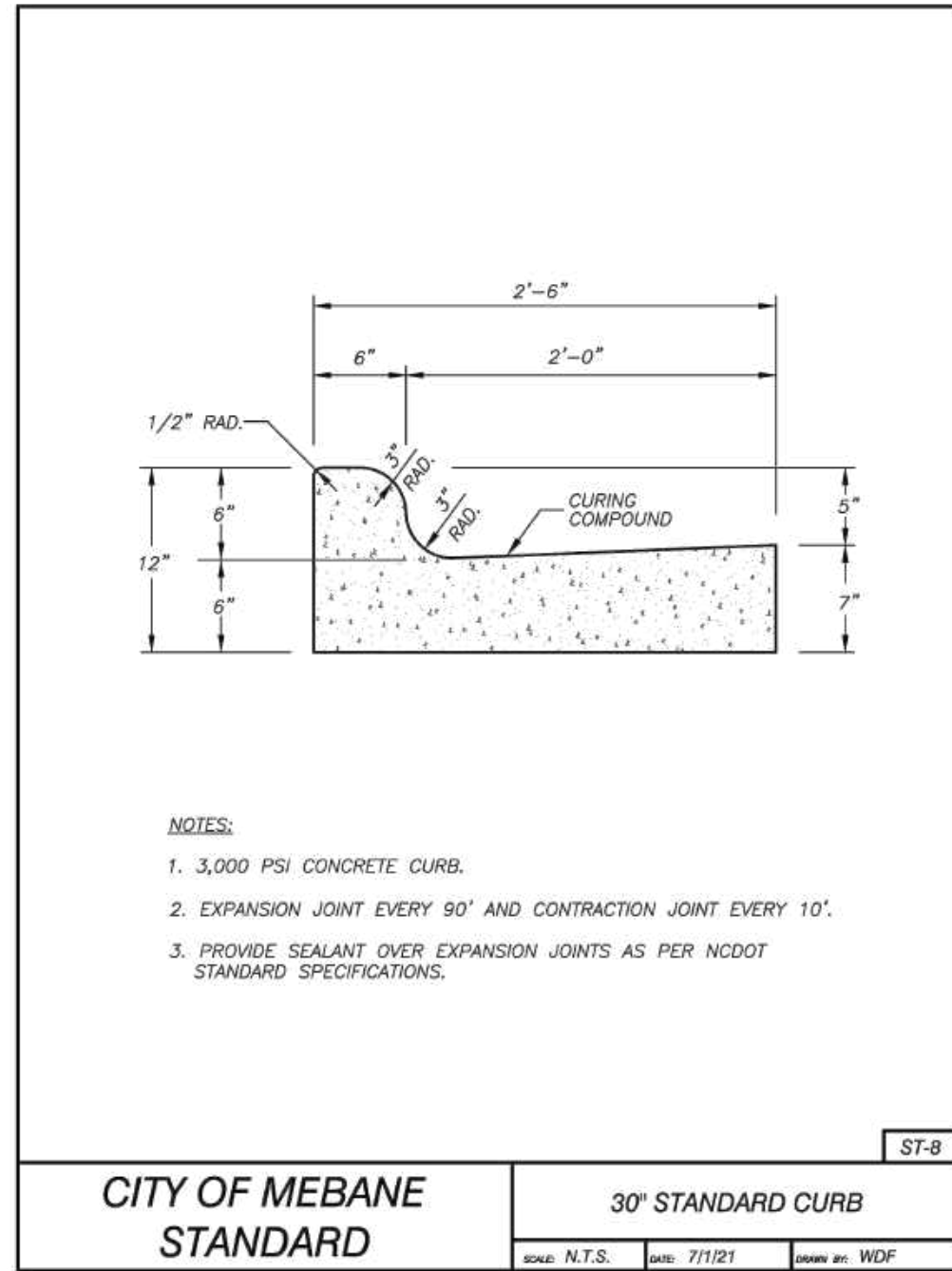
HEAVY DUTY ASPHALT



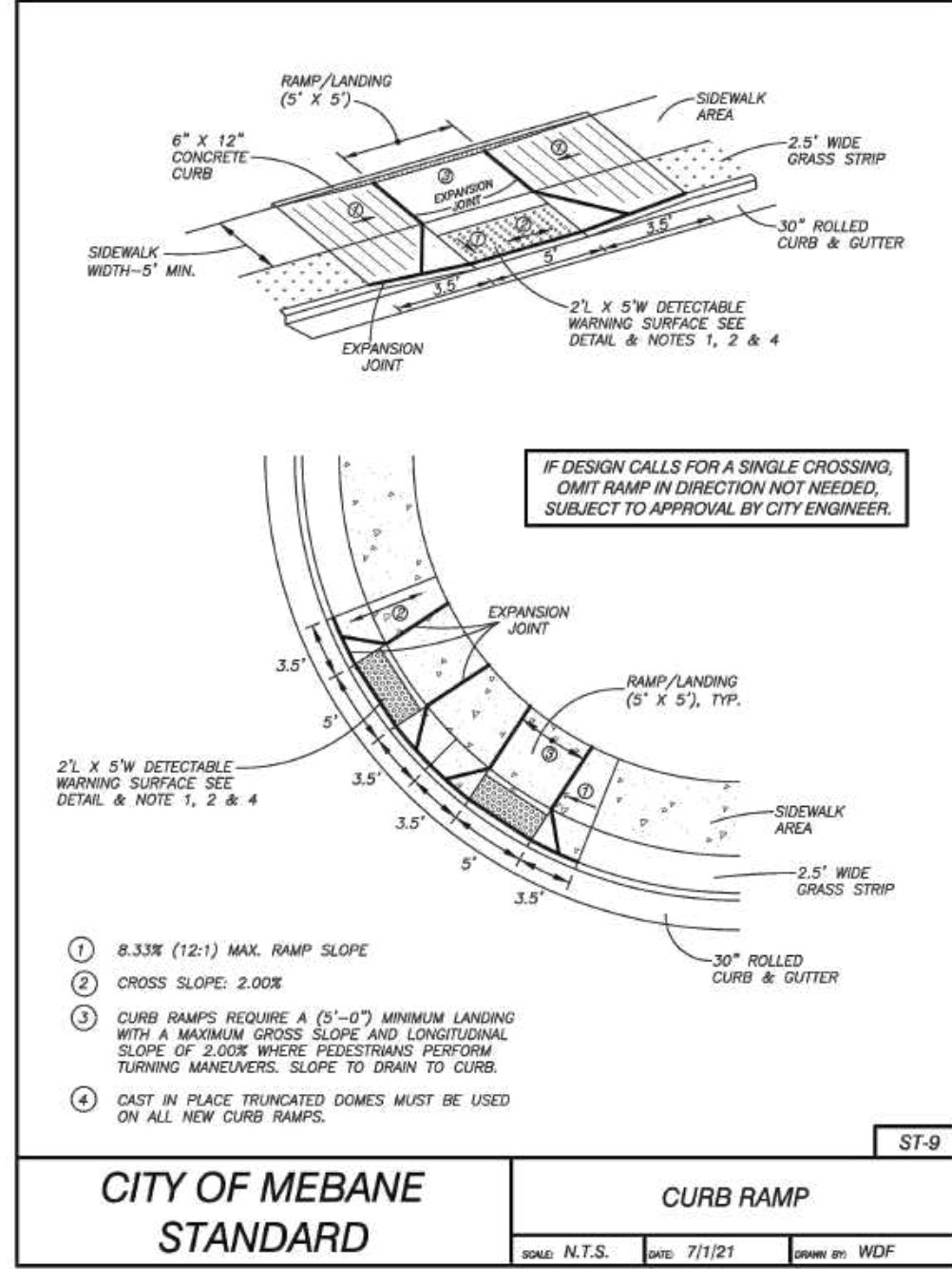
18" CURB & GUTTER SPILLOUT
NO SCALE



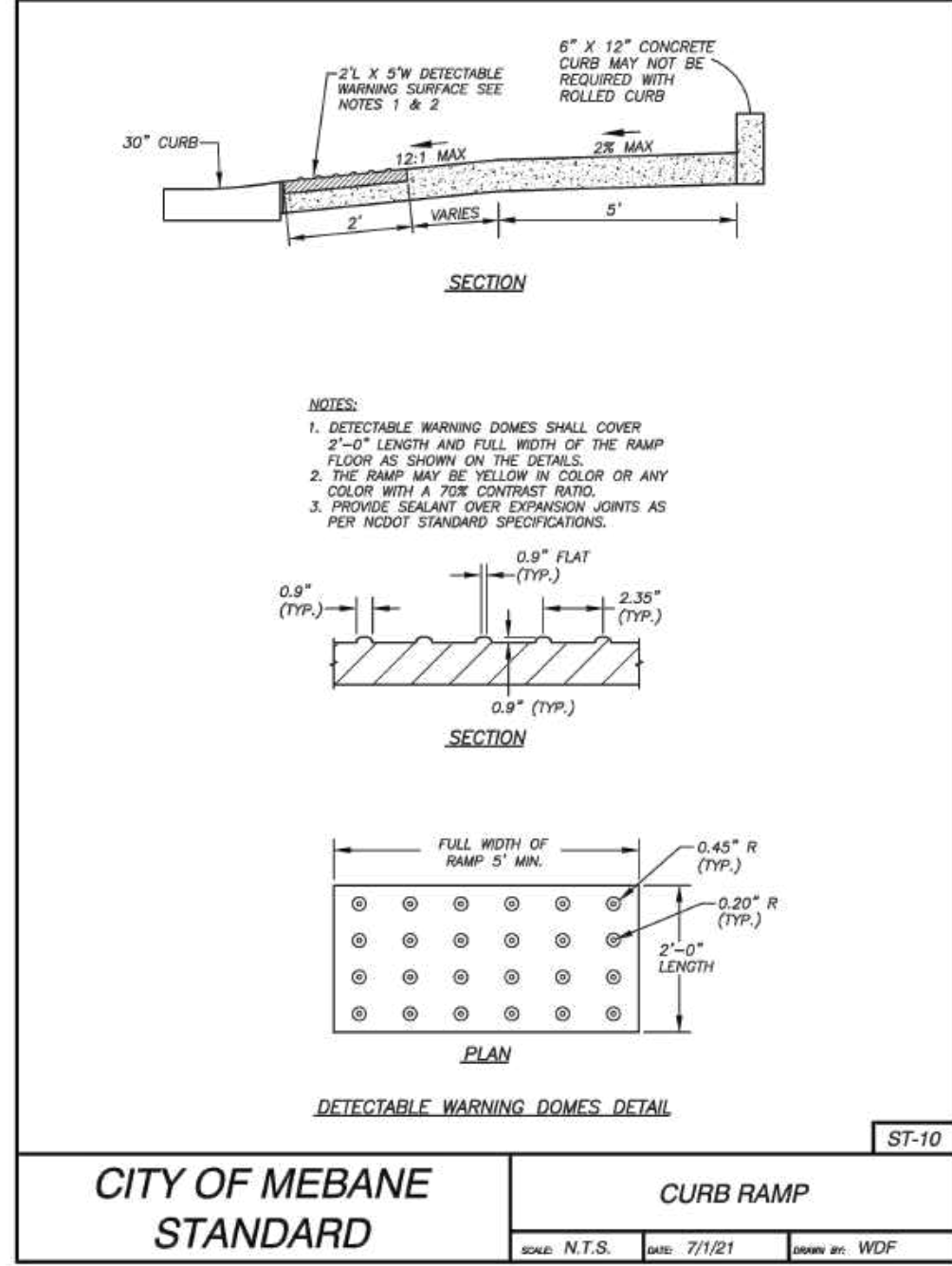
HC PARKING SIGNAGE (NTS)



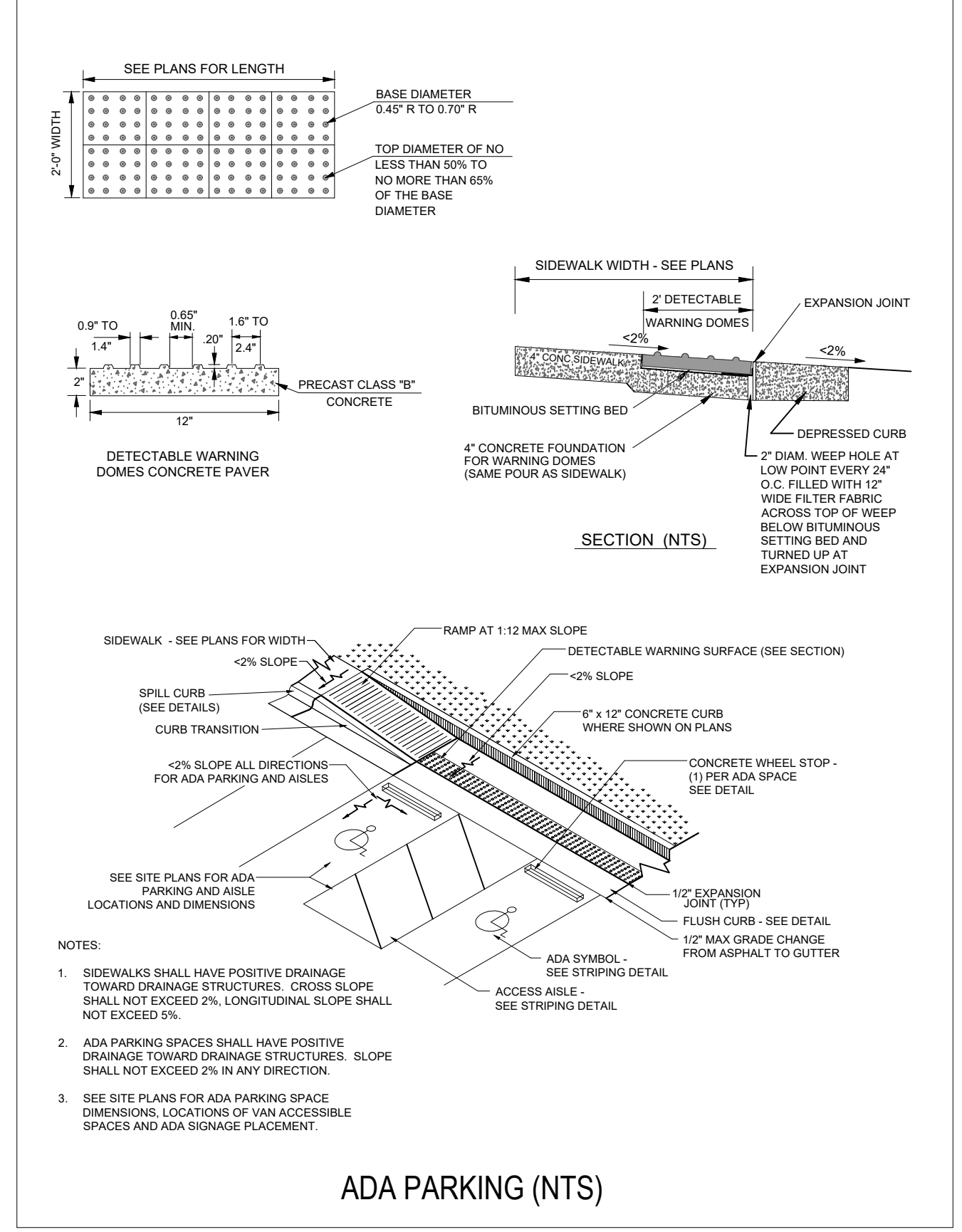
CITY OF MEBANE STANDARD 30" STANDARD CURB



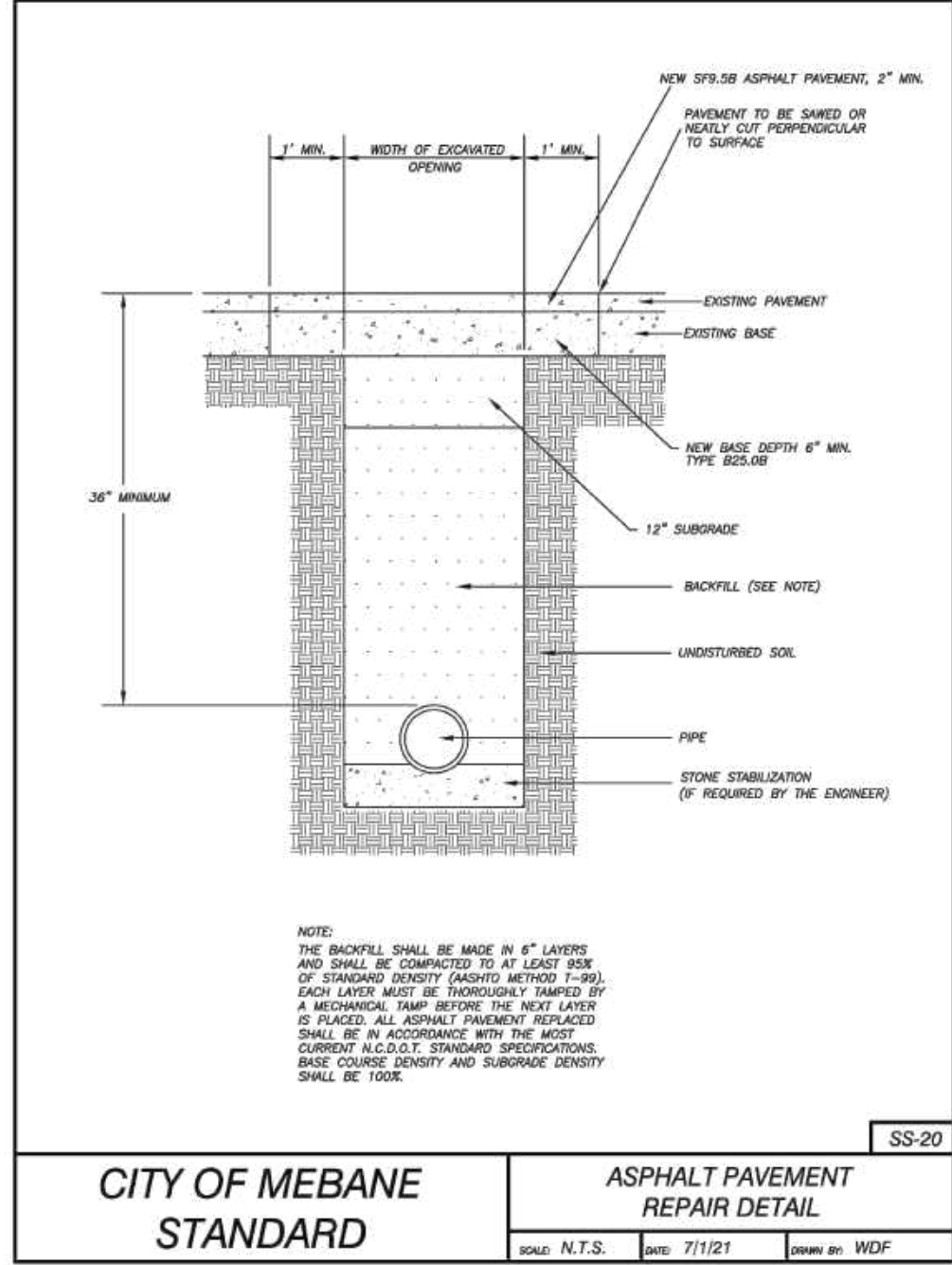
CITY OF MEBANE STANDARD CURB RAMP



CITY OF MEBANE STANDARD CURB RAMP



ADA PARKING (NTS)



CITY OF MEBANE STANDARD ASPHALT PAVEMENT REPAIR DETAIL

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SEAL 25497
 5/29/22
 NATHAN A. ALLEN
 ENGINEER

THE SUMMIT CHURCH SITE PLAN
 MEBANE OAKS ROAD AND OLD HILLSBOROUGH ROAD
 MEBANE, ALAMANCE COUNTY, NORTH CAROLINA

NO	DATE	REVISIONS	REMARKS
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8			

PROJECT NO: 2019099.00
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SITE DETAILS
C-700

RELATION OF WATER MAINS TO SEWERS

(a) Lateral Separation of Sewer and Water Mains. Water Mains shall be laid at least 10 feet laterally from existing or proposed sewer, unless local conditions or barriers prevent a 10 foot lateral separation in which case:

- The water main is laid in a separate trench, with the elevation of the bottom of the water main at least 18 inches above the top of the sewer;
- The water main is laid in the same trench as the sewer with the water main located at one side of a bench of undisturbed earth, and with the elevation of the bottom of the water main at least 18 inches above the top of the sewer.

(b) Crossing a Water Main over a Sewer. Whenever it is necessary for a water main to cross over a sewer, the water main shall be laid at such an elevation that the bottom of the water main is at least 18 inches above the top of the sewer, unless local conditions or barriers prevent an 18 inch vertical separation -- in which case both the water main and sewer shall be constructed of ferrous materials and joints that are equivalent to water main standards for a distance of 10 feet on each side of the point of crossing.

(c) Crossing a Water Main Under a Sewer. Whenever it is necessary for a water main to cross under a sewer, both the water main and the sewer shall be constructed of ferrous materials and with joints equivalent to water main standards for a distance of 10 feet on each side of the point of crossing. A section of water main pipe shall be centered at the point of crossing.

History Note: Statutory Authority G.S. 130-157 to 161; Eff. January 1, 1977

CITY OF MEBANE STANDARD **RELATION OF WATER MAINS TO SEWER**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **FIRE HYDRANT INSTALLATION**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **ABOVE GRADE BACKFLOW PREVENTER, 3" AND GREATER**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **THRUST BLOCKS - BENDS**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **THRUST BLOCK - TEES**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **ALUMINUM ACCESS HATCH**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **3' x 8' METER ASSEMBLY WITH PRECAST METER VAULT**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **3' x 8' METER ASSEMBLY WITH PRECAST METER VAULT**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **4' FIRE DEPARTMENT CONNECTION WITH CHECK VALVE ASSEMBLY**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **JOINT RESTRAINT FOR DUCTILE IRON PIPE**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **STANDARD PRECAST MANHOLE**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **STANDARD PRECAST DROP MANHOLE**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **MANHOLE RING & COVER**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **SANITARY SEWER BEDDING**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD **SEWER CLEANOUT IN TRAFFIC AREA**
SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

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SEAL
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 5/20/22
 NATHAN A. ALLEN
 ENGINEER

THE SUMMIT CHURCH
SITE PLAN

MEBANE OAKS ROAD AND OLD HILLSBOROUGH ROAD
 MEBANE, ALAMANCE COUNTY, NORTH CAROLINA

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DETAILS
C-701

CITY OF MEBANE STANDARD
STANDARD CONCRETE BASE PAD FOR DRAINAGE STRUCTURES

SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD
CURB INLET DETAILS

SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD
CURB INLET DETAILS

SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD
STD. PRECAST CONCRETE CURB INLET TOP FOR STD. 402 CURB INLET

SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD
STD. PRECAST CONCRETE CURB INLET TOP FOR STD. 403 CURB INLET

SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR PROPOSED CURB RAMP AND GUTTER

848.05

CITY OF MEBANE STANDARD
CURB RAMP AND GUTTER

SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD
INLET RING & COVER DETAIL

SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD
STANDARD BRICK YARD INLET 12" THRU 48" PIPE

SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

CITY OF MEBANE STANDARD
STD. PRECAST CONCRETE CURB INLET

SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR PROPOSED CURB RAMP AND GUTTER

848.05

CITY OF MEBANE STANDARD
CURB RAMP AND GUTTER

SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR CURB RAMPS

NOTES:

- CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
- LOCATE CURB RAMPS AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMPS OR MARKINGS AS SHOWN, CONTACT THE SIGNING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.
- COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4'x4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
- SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
- REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
- TERMINATE PARKING A MINIMUM OF 20' BACK OF A PEDESTRIAN CROSSWALK.
- CONSTRUCT CURB RAMPS A MINIMUM OF 4' WIDE.
- CONSTRUCT THE RUNNING SLOPE OF THE RAMP 0.33% MAXIMUM.
- ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMPS WILL BE 2% MAXIMUM.
- CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
- CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
- CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT LANDINGS FOR MEDIAN ISLANDS A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
- SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 5'x5' LANDING AT THE TOP OF A RAMP, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
- CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
- PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AS SHOWN IN ROADWAY STANDARD DRAWING 848.01
- PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE PLANS OR AS SHOWN IN THE MUTCD.
- CURB RAMPS THROUGH MEDIAN ISLANDS, SINGLE RAMPS AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR THE DETAILS OR FOR A SPECIAL DESIGN.

SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR CURB RAMPS

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SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

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SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF

NV5
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CARY, NC 27518
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2335 PRESIDENTIAL DRIVE, SUITE 114
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CONTACT: TODD ERVIN
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TERVIN@SUMMITRDU.COM

SEAL 25497
NATHAN A. ALLEN
REGISTERED PROFESSIONAL ENGINEER
STATE OF NORTH CAROLINA

THE SUMMIT CHURCH
SITE PLAN

MEBANE OAKS ROAD AND OLD HILLSBOROUGH ROAD
MEBANE, ALAMANCE COUNTY, NORTH CAROLINA

NO.	DATE	REVISIONS	REMARKS
1.	01/10/2020		SITE PLAN RESUBMITTAL
2.	03/11/2020		SITE PLAN RESUBMITTAL
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5.	01/25/2022		REVISED SITE PLAN SUBMITTAL
6.	03/31/2022		REVISED SITE PLAN SUBMITTAL
7.	05/20/2022		SITE PLAN FOR APPROVAL

PROJECT NO: 2019099.00

DRAWN BY: FM
DWG. CHECKED BY: JAA
SCALE: SEE PLAN
DATE: 11-4-2019

DETAILS
C-702

MAINTENANCE SCHEDULE FOR EROSION CONTROL DEVICES

SEDIMENT BASINS/TRAPS
ALL SEDIMENT BASINS/TRAPS SHALL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL IN EXCESS OF 1" BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL MEASURES AS DESIGNED. SEDIMENT BASINS/TRAPS SHALL BE CLEANED OF SEDIMENT WHEN THE LEVEL OF SEDIMENT REACHES 2.0 FT BELOW THE SPILLWAY ELEVATION. ANY STONE SHALL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS PROPERLY.

EMERGENCY SPILLWAY
THE EMERGENCY SPILLWAYS SHALL BE INSPECTED ONCE A WEEK AND AFTER EACH RAINFALL IN EXCESS OF 1" IN THE EVENT THAT THE RIP RAP BECOMES CLOGGED WITH SEDIMENT. THE RIP RAP AND FILTER FABRIC SHALL BE REPLACED. ANY TEARS OR PUNCTURES IN THE FILTER FABRIC WILL REQUIRE REPLACEMENT OF THE FABRIC AND ASSOCIATED RIP RAP.

BAFFLES
INSPECT AT LEAST ONCE A WEEK AND FOLLOWING EVERY RUNOFF PRODUCING RAINFALL IN EXCESS OF 1". MAKE ANY REPAIRS IMMEDIATELY. REPAIR OR REPLACE ANY BAFFLE COLLAPSE (POROUS FABRIC, POST) OR TEAR PROMPTLY.

SKIMMER
THE SKIMMER SHALL BE MAINTAINED FREE FROM MUD AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

INLET PROTECTION
INSPECT INLET PROTECTION AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL IN EXCESS OF 1". SEDIMENT SHALL BE REMOVED FROM THE INLET PROTECTION DEVICES WHEN STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. STONE SHALL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS PROPERLY. ANY DAMAGED POSTS, SILT FENCE OR WIRE MESH FABRIC SHALL BE REPAIRED OR REPLACED IMMEDIATELY.

DISPATER PAD
THE DISPATER PADS SHALL BE INSPECTED ONCE A WEEK AND AFTER EACH RAINFALL IN EXCESS OF 1". IN THE EVENT THAT THE RIP RAP BECOMES CLOGGED WITH SEDIMENT, BOTH THE RIP RAP AND FILTER FABRIC SHALL BE REPLACED. ANY TEARS OR PUNCTURES IN THE FILTER FABRIC WILL REQUIRE REPLACEMENT OF THE FABRIC AND ASSOCIATED RIP RAP.

SILT FENCE
INSPECT SILT FENCE AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL IN EXCESS OF 1". MAKE ANY REPAIRS IMMEDIATELY. REPAIR OR REPLACE ANY FENCE COLLAPSE (WOVEN WIRE FABRIC, SILT FENCE FABRIC, POST) OR TEAR PROMPTLY. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT REACHES A DEPTH OF 1.0 FT. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN EVENT.

SILT FENCE OUTLETS
SEDIMENT SHALL BE REMOVED FROM SILT FENCE OUTLETS AND STONE SHALL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS PROPERLY.

TEMPORARY DIVERSION DITCHES
SHALL BE INSPECTED ONCE A WEEK AND AFTER EVERY RAINFALL EVENT IN EXCESS OF 1". IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED.

CHECK DAMS
SHALL BE INSPECTED ONCE A WEEK AND AFTER EACH RAINFALL IN EXCESS OF 1". REMOVE SEDIMENT AND RESTORE ORIGINAL VOLUME WHEN SEDIMENT ACCULATES TO 1/2 OF THE DESIGN VOLUME.

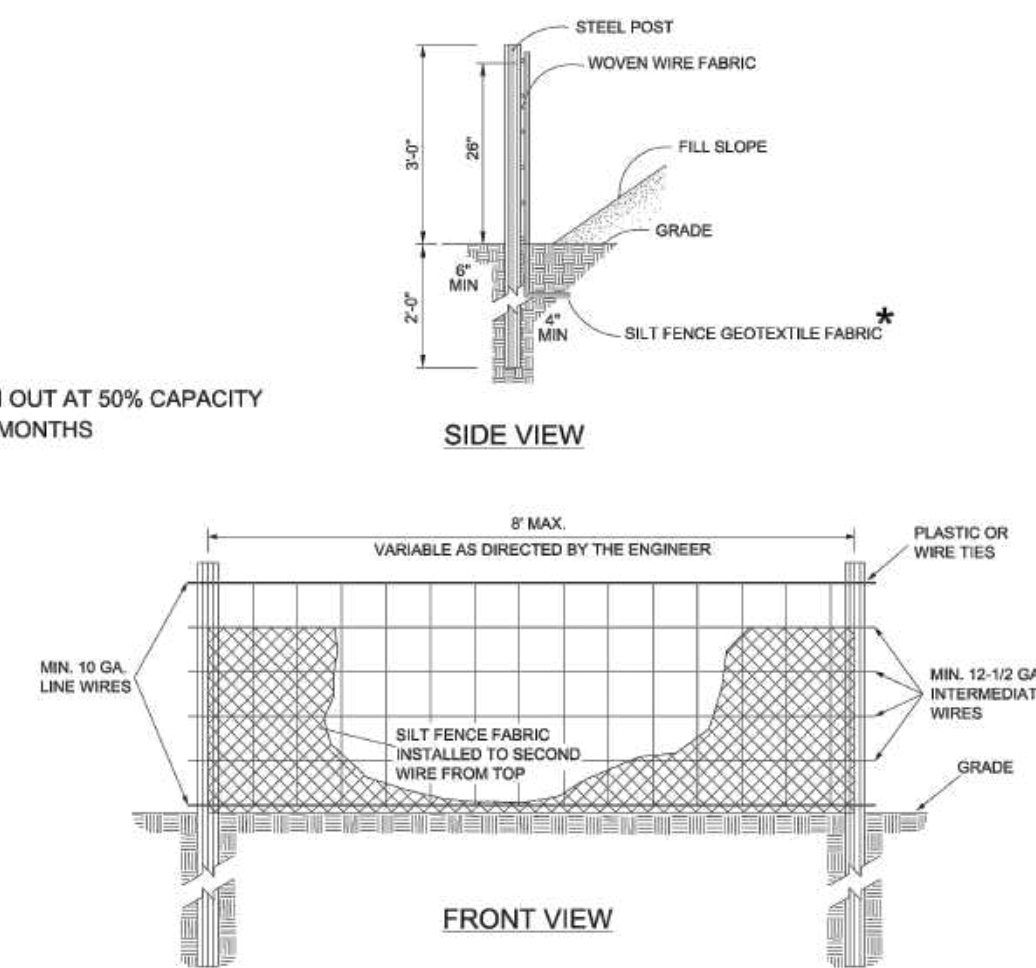
EROSION CONTROL MAT
REPAIR AREAS OF DAMAGE OR FAILURE OF GRASS STAND ESTABLISHMENT. ANY TEARS SHALL BE REPAIRED IMMEDIATELY AND/OR THAT SECTION OF THE LINER SHALL BE REPLACED AND RE-ANCHORED. EROSION CONTROL MAT SHALL BE MAINTAINED UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.

CONSTRUCTION ENTRANCE
INSPECT DAILY AND AFTER EVERY RAINFALL EVENT. IN THE EVENT THAT THE RIP RAP BECOMES CLOGGED WITH SEDIMENT, THE RIP RAP AND FILTER FABRIC SHALL BE REPLACED. ANY TEARS OR PUNCTURES IN THE FILTER FABRIC WILL REQUIRE REPLACEMENT OF THE FABRIC AND ASSOCIATED RIP RAP. UNDER NO CIRCUMSTANCES SHALL CONSTRUCTION TRAFFIC ENTER/EXIT THE PROJECT SITE WITHOUT A PROPERLY FUNCTIONING CONSTRUCTION ENTRANCE. THE CONTRACTOR SHALL MAKE IMMEDIATE REPAIRS TO ENSURE THAT NO SEDIMENT IS TRACKED OFF OF THE PROJECT SITE AND INTO THE PUBLIC ROADWAY.

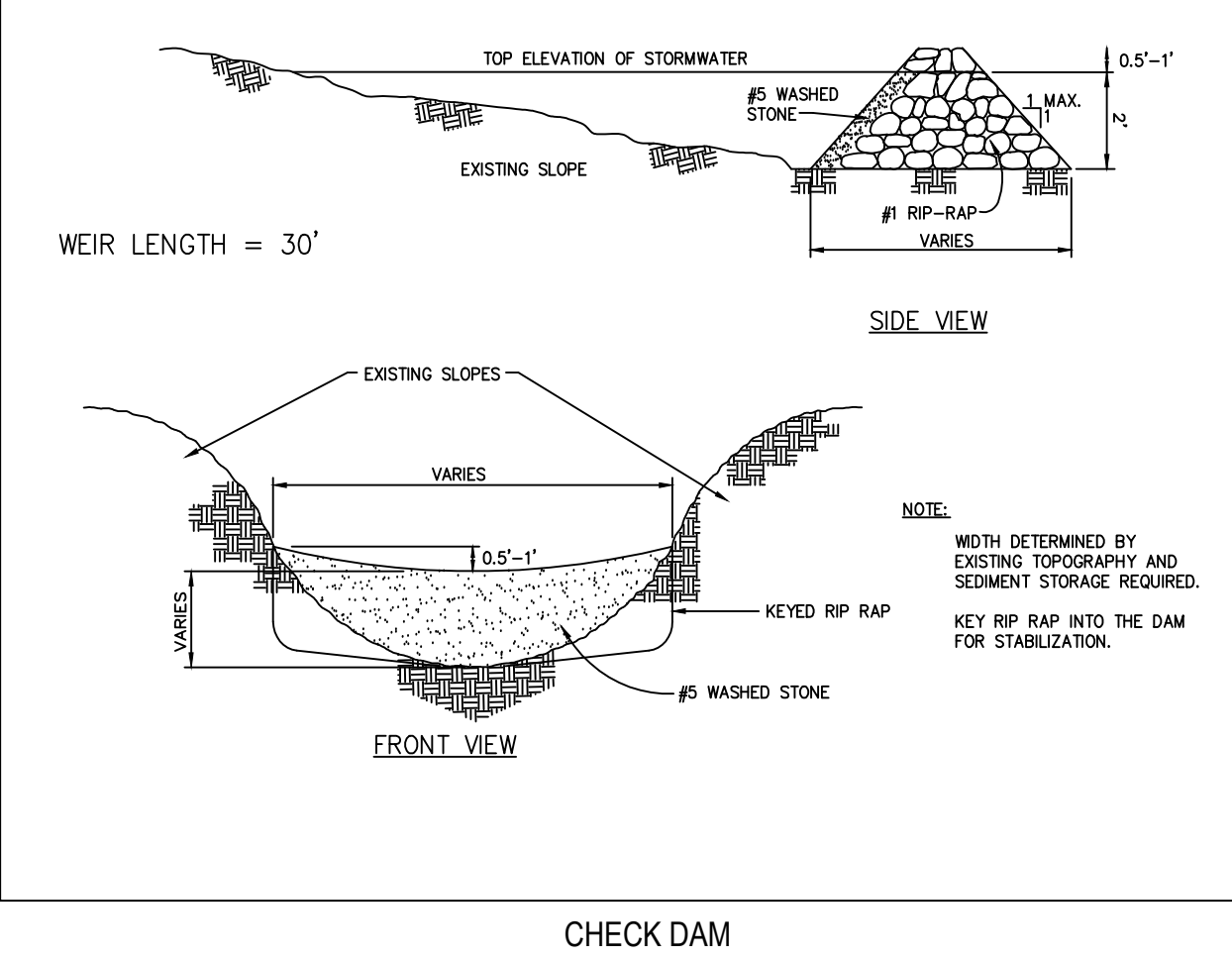
STABILIZATION
ALL SEEDING AREAS SHALL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE TEMPORARY AND PERMANENT SEEDING SCHEDULES TO MAINTAIN VEGETATIVE COVER.

MAINTENANCE: CLEAN OUT AT 50% CAPACITY
LIFE OF FENCING: 6-9 MONTHS

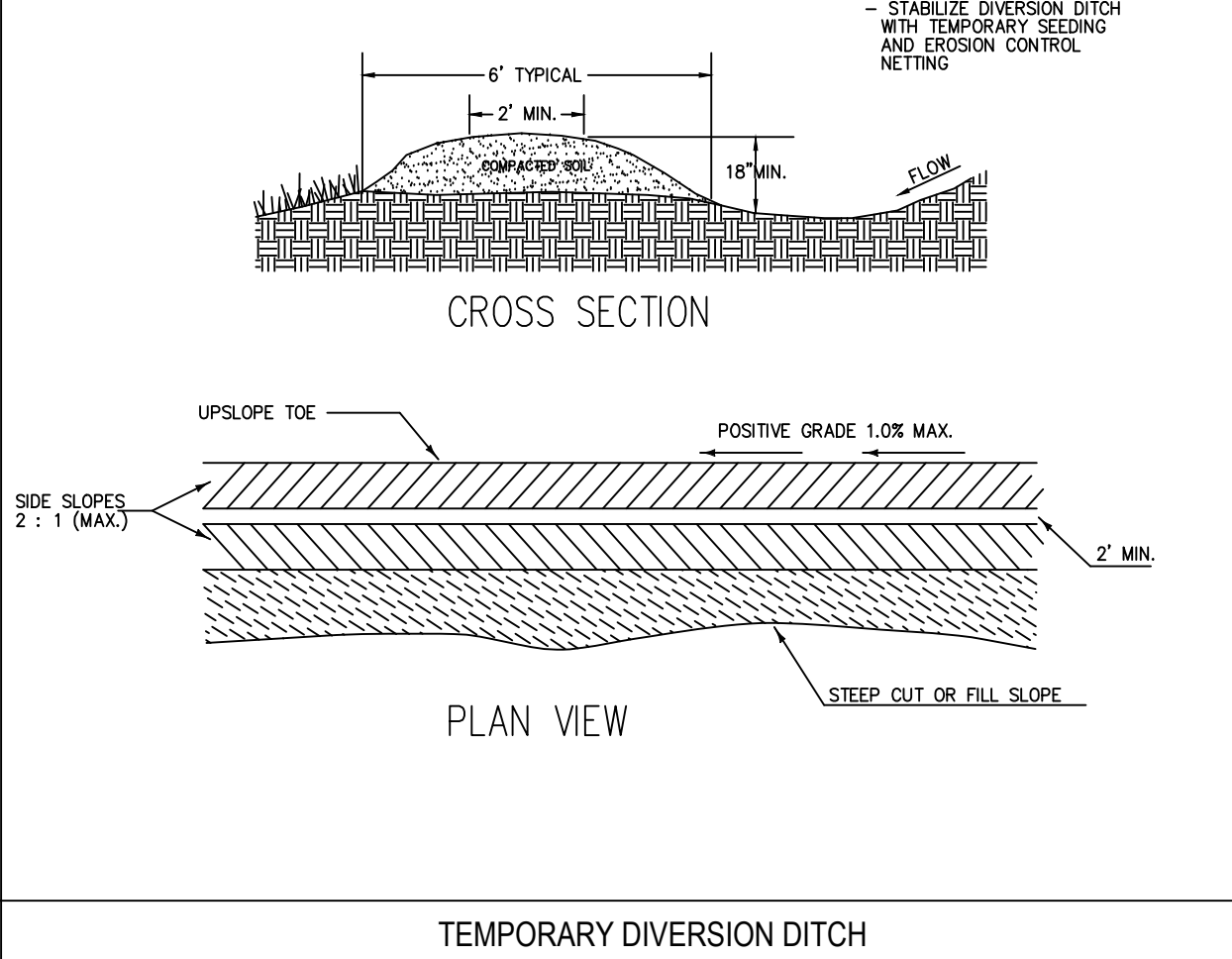
**STANDARD
TEMPORARY
(SEDIMENT/SILT)
FENCE**
NTS



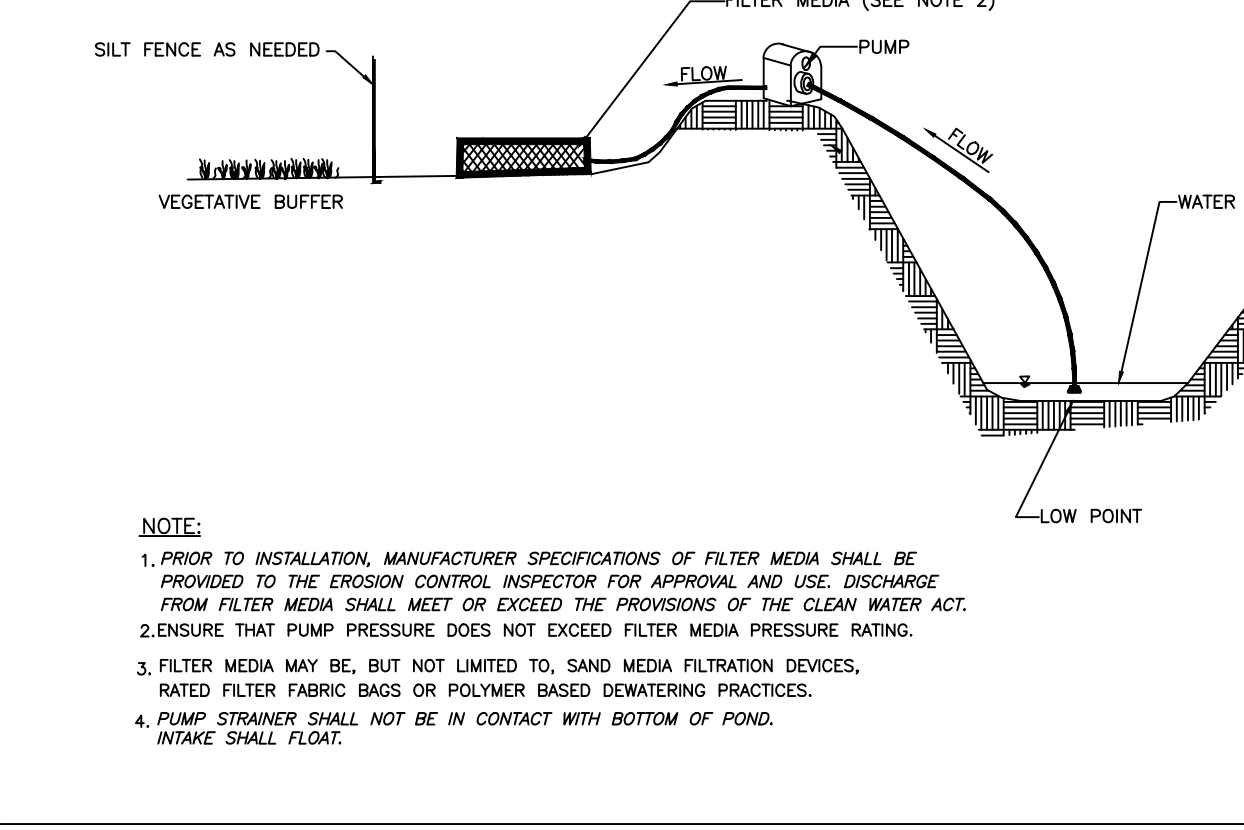
- NOTES:**
1. FLOW SHALL NOT RUN PARALLEL WITH THE FENCE.
 2. END OF SILT FENCE NEEDS TO BE TURNED UPHILL.
 3. SEE N.C. STATE DEPT. PRACTICE STANDARDS & SPECIFICATIONS, SEDIMENT FENCE SET FOR CONDITIONS WHERE PRACTICE APPLIES, PLANNING CONSIDERATIONS & DESIGN CRITERIA.



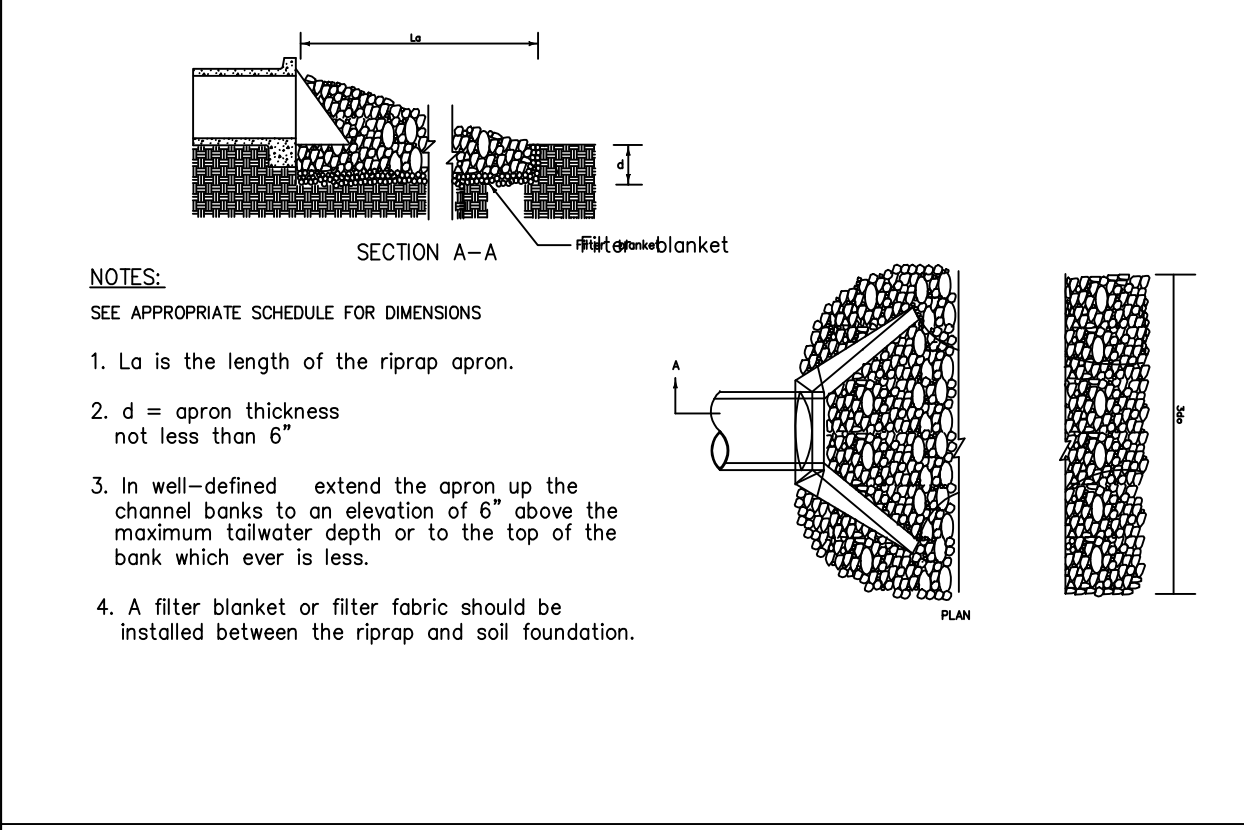
- NOTE:**
- WIDTH DETERMINED BY EXISTING TOPOGRAPHY AND SEDIMENT STORAGE REQUIRED.
KEY RIP RAP INTO THE DAM FOR STABILIZATION.



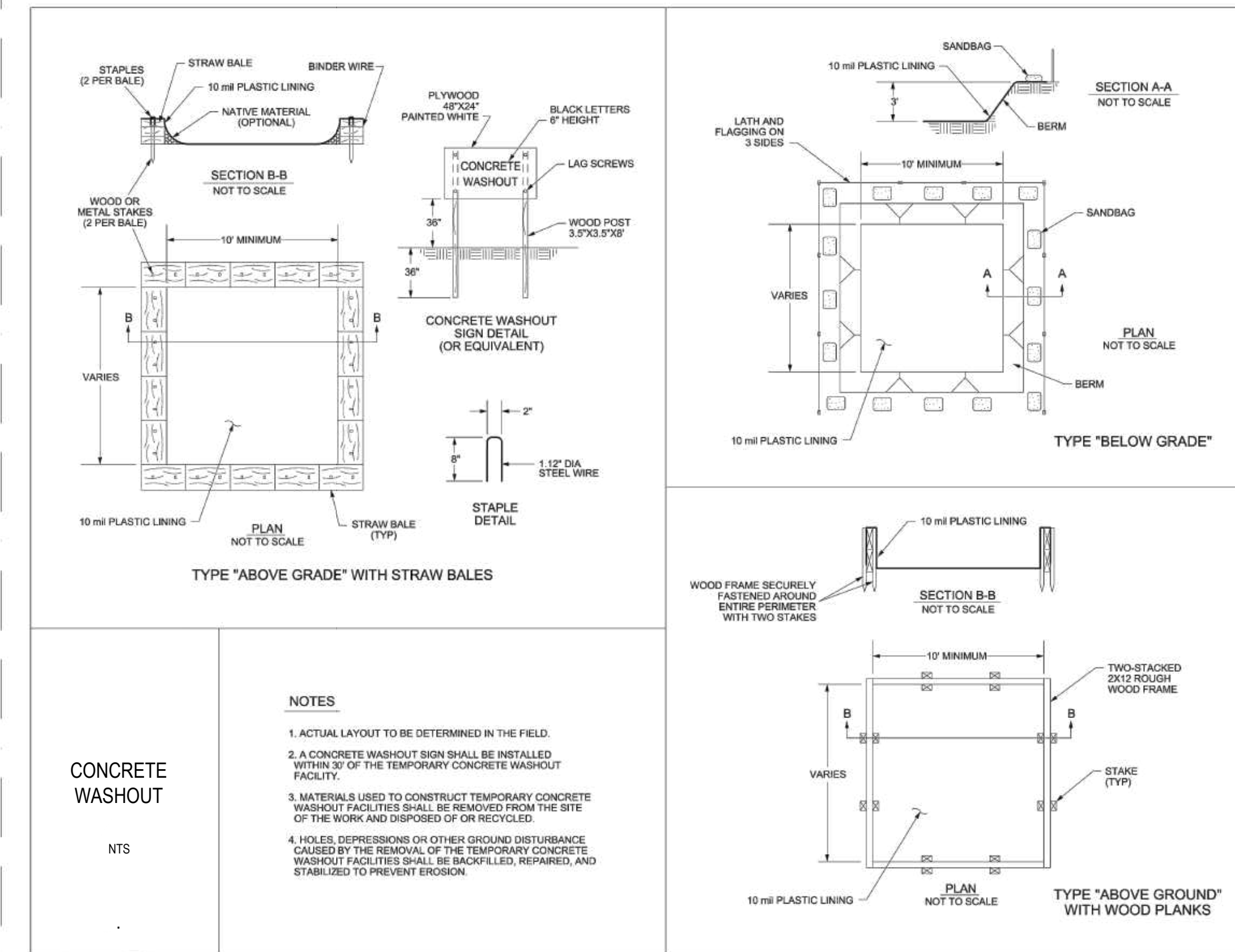
- NOTES:**
1. APPROPRIATE SCHEDULE FOR DIMENSIONS
 1. La is the length of the riprap apron.
 2. d = apron thickness not less than 6"
 3. In well-defined extend the apron up the channel banks to an elevation of 6" above the maximum tailwater depth or to the top of the bank which ever is less.
 4. A filter blanket or filter fabric should be installed between the riprap and soil foundation.



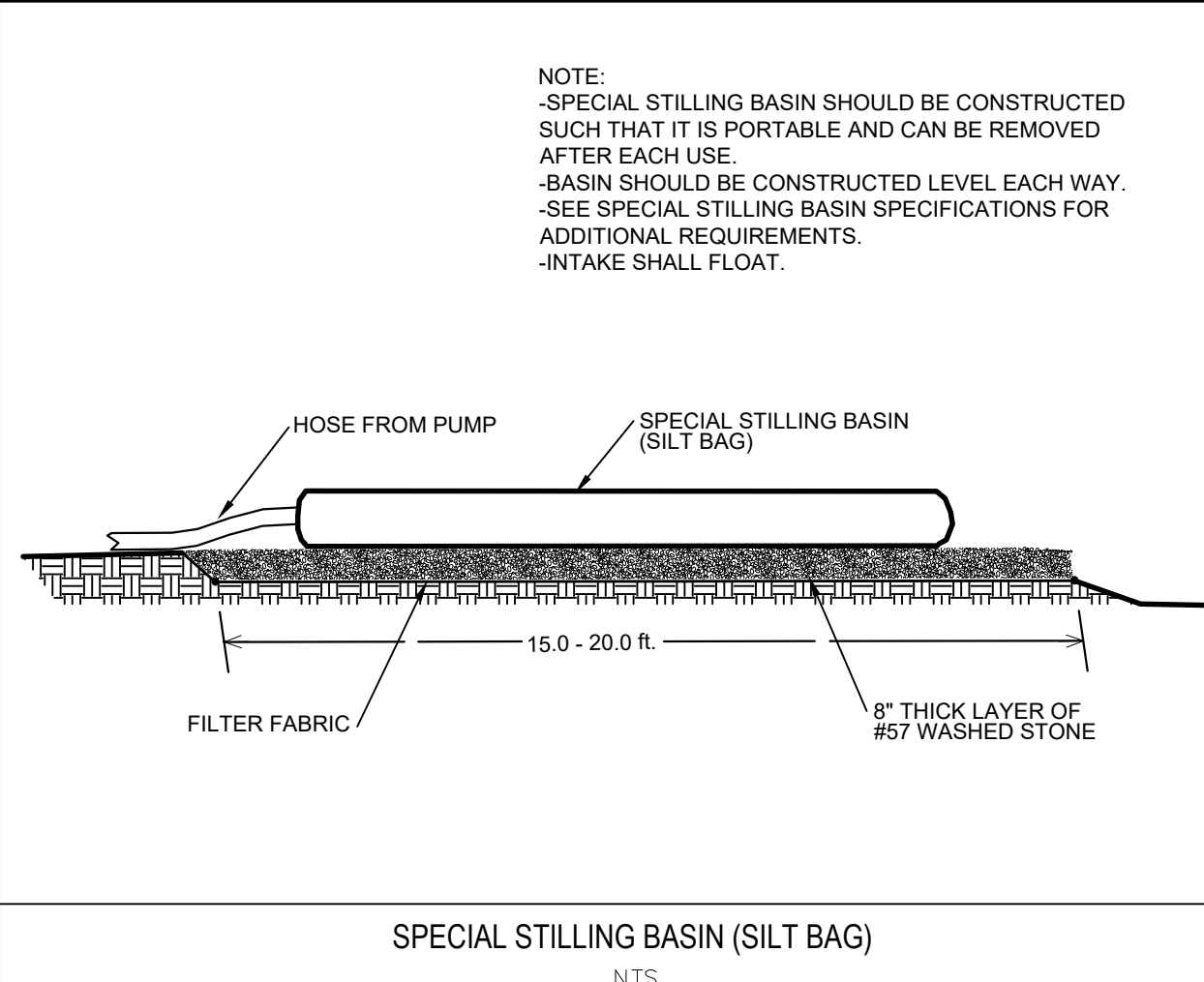
- NOTE:**
1. PRIOR TO INSTALLATION, MANUFACTURER SPECIFICATIONS OF FILTER MEDIA SHALL BE PROVIDED TO THE EROSION CONTROL INSPECTOR FOR APPROVAL AND USE. DISCHARGE FROM FILTER MEDIA SHALL MEET OR EXCEED THE PROVISIONS OF THE CLEAN WATER ACT.
 2. ENSURE THAT PUMP PRESSURE DOES NOT EXCEED FILTER MEDIA PRESSURE RATING.
 3. FILTER MEDIA MAY BE, BUT NOT LIMITED TO, SAND MEDIA FILTRATION DEVICES, RATED FILTER FABRIC BAGS OR POLYMER BASED DEWATERING PRACTICES.
 4. PUMP STRAINER SHALL NOT BE IN CONTACT WITH BOTTOM OF POND. INTAKE SHALL FLOAT.



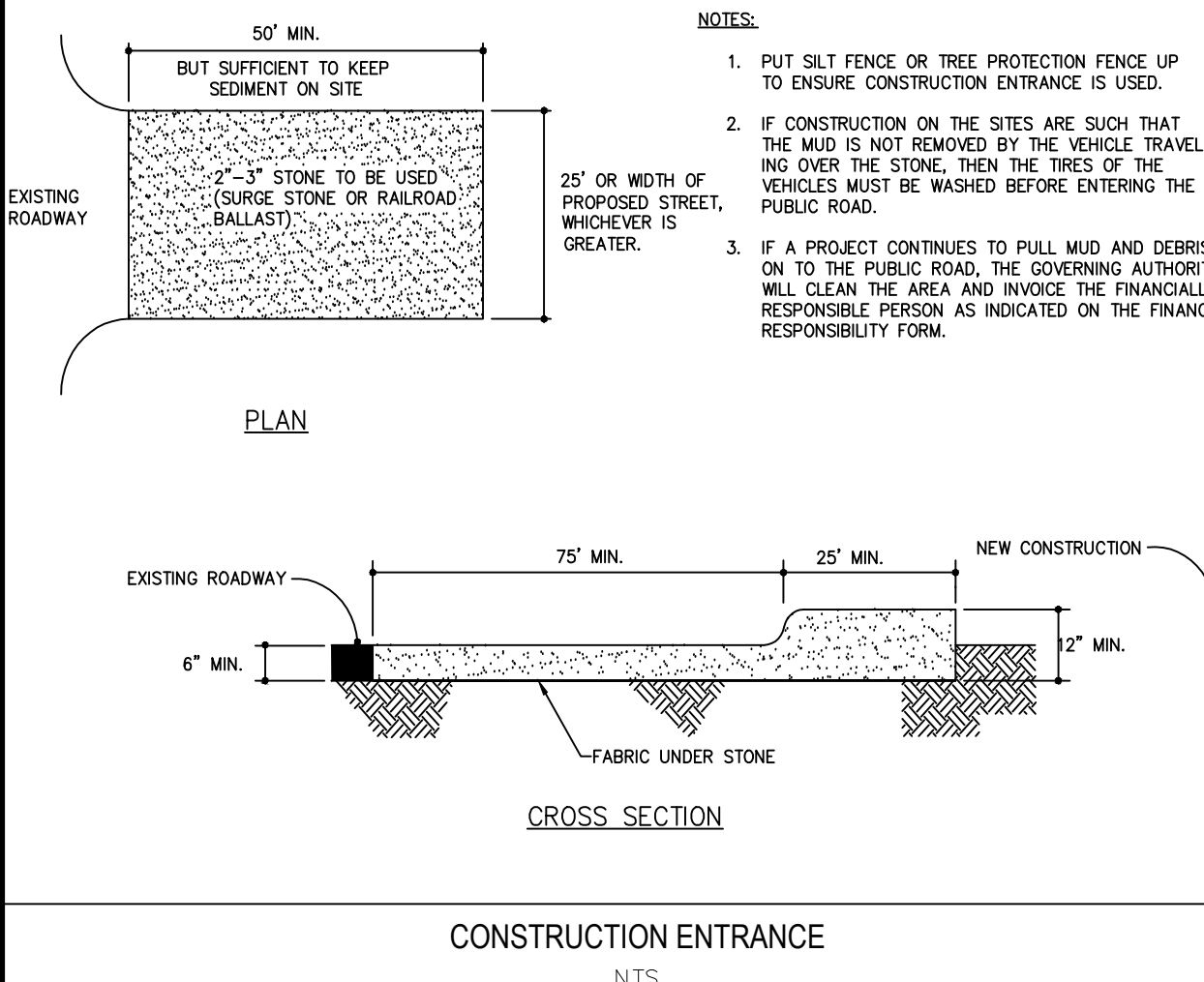
- NOTES:**
1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
 2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
 3. IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.



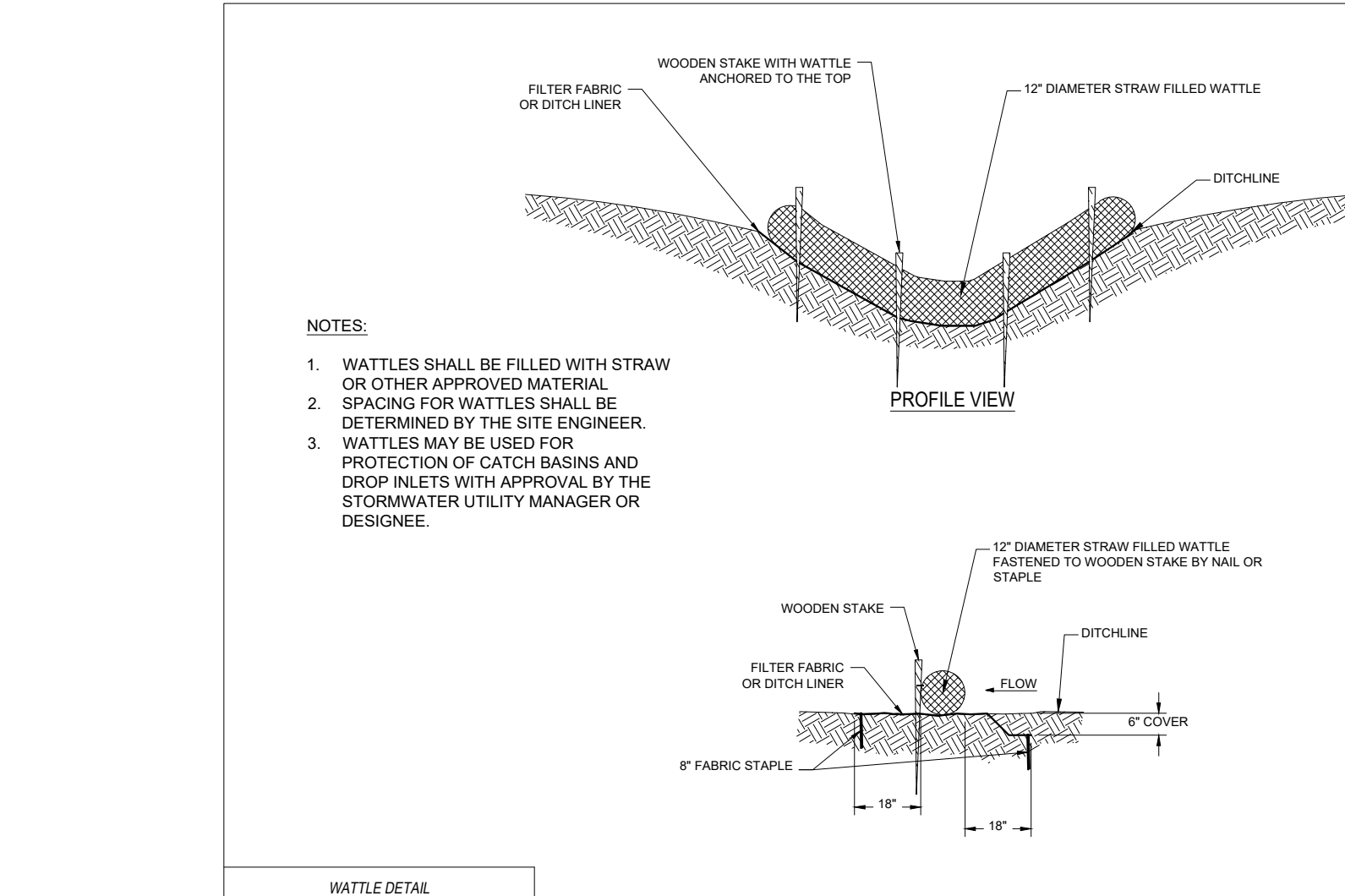
- NOTES:**
1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
 2. A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 50' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 3. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
 4. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.



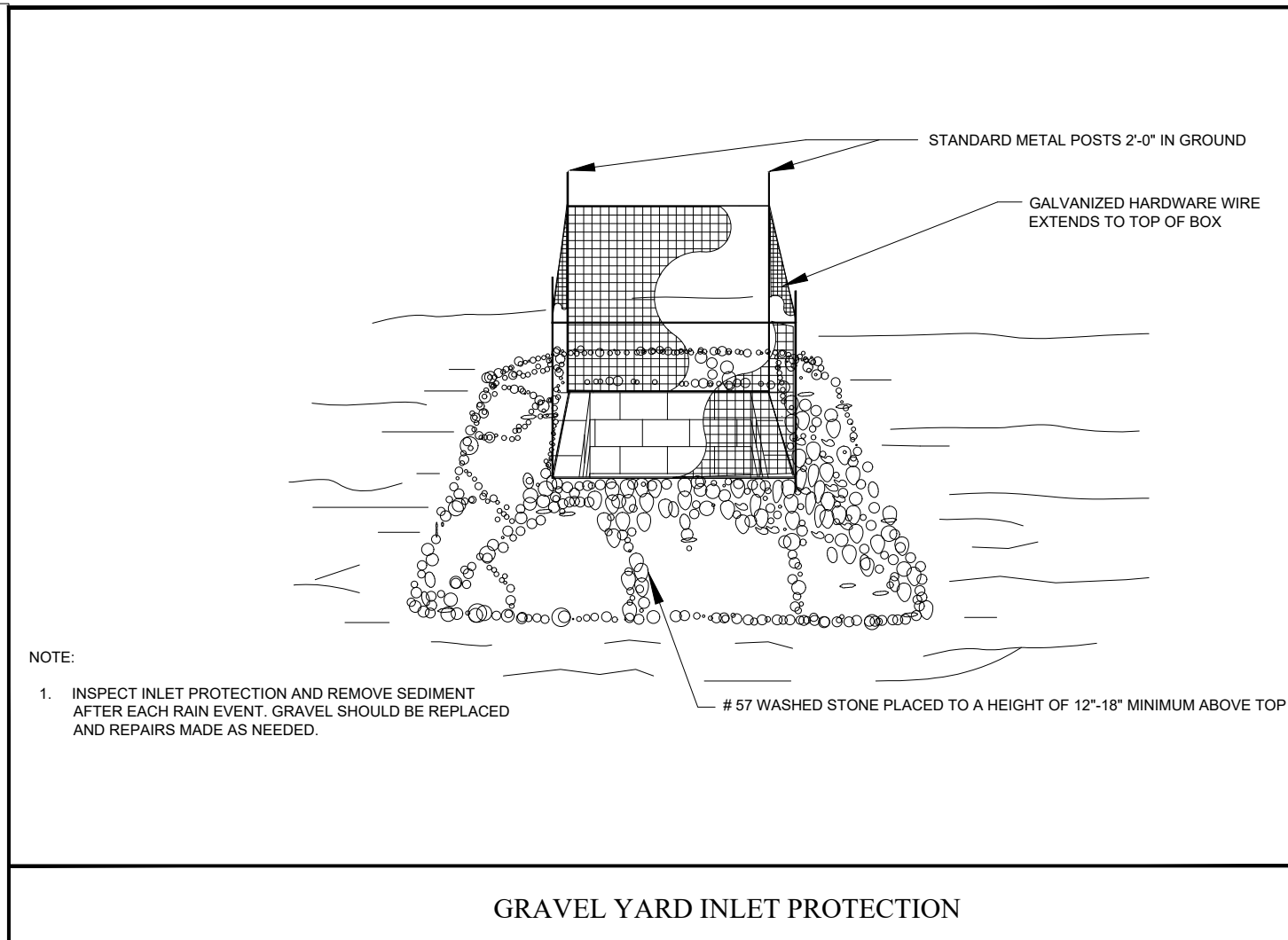
- NOTE:**
- SPECIAL STILLING BASIN SHOULD BE CONSTRUCTED SUCH THAT IT IS PORTABLE AND CAN BE REMOVED AFTER EACH USE.
 - BASIN SHOULD BE CONSTRUCTED LEVEL EACH WAY.
 - SEE SPECIAL STILLING BASIN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - INTAKE SHALL FLOAT.



- NOTES:**



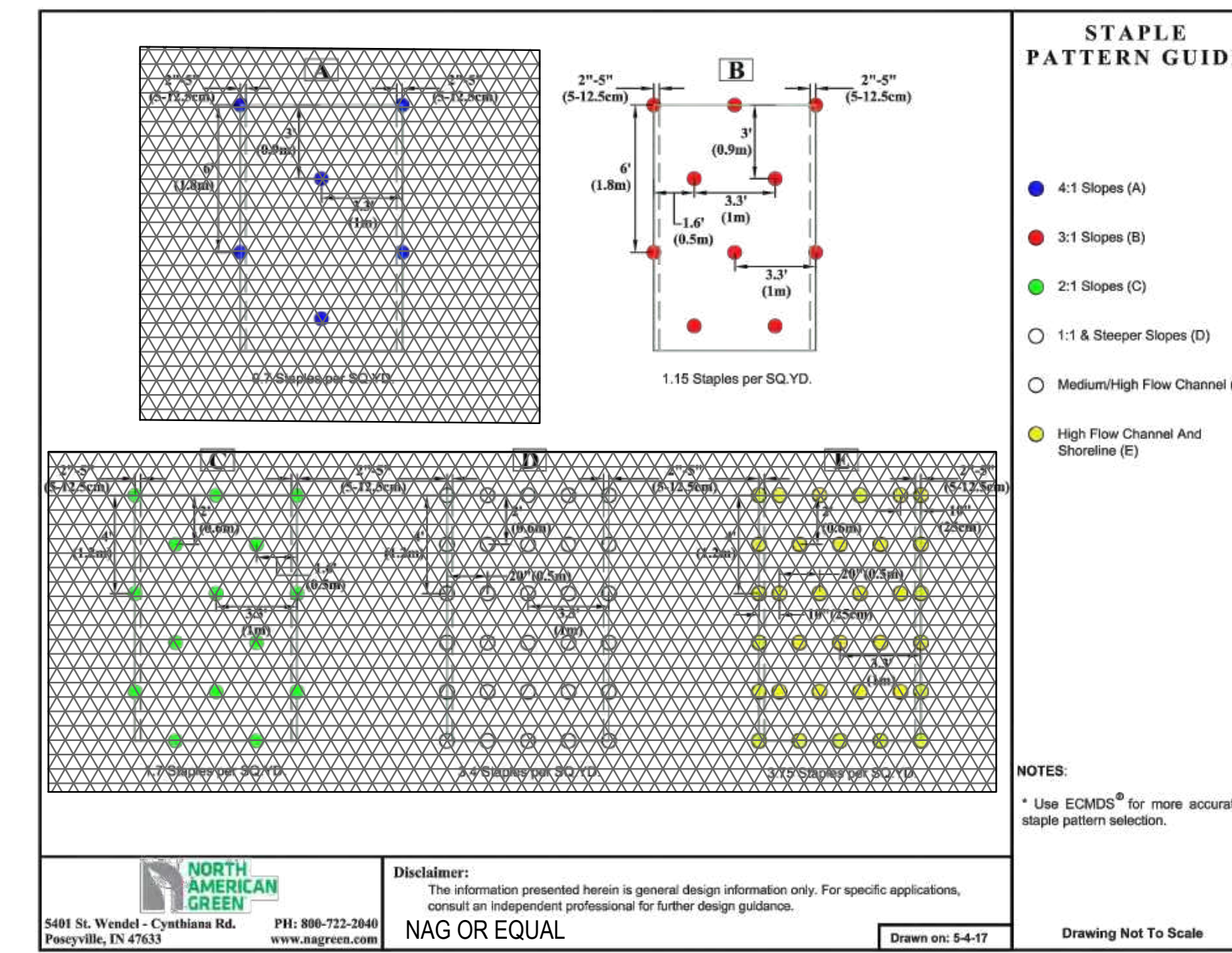
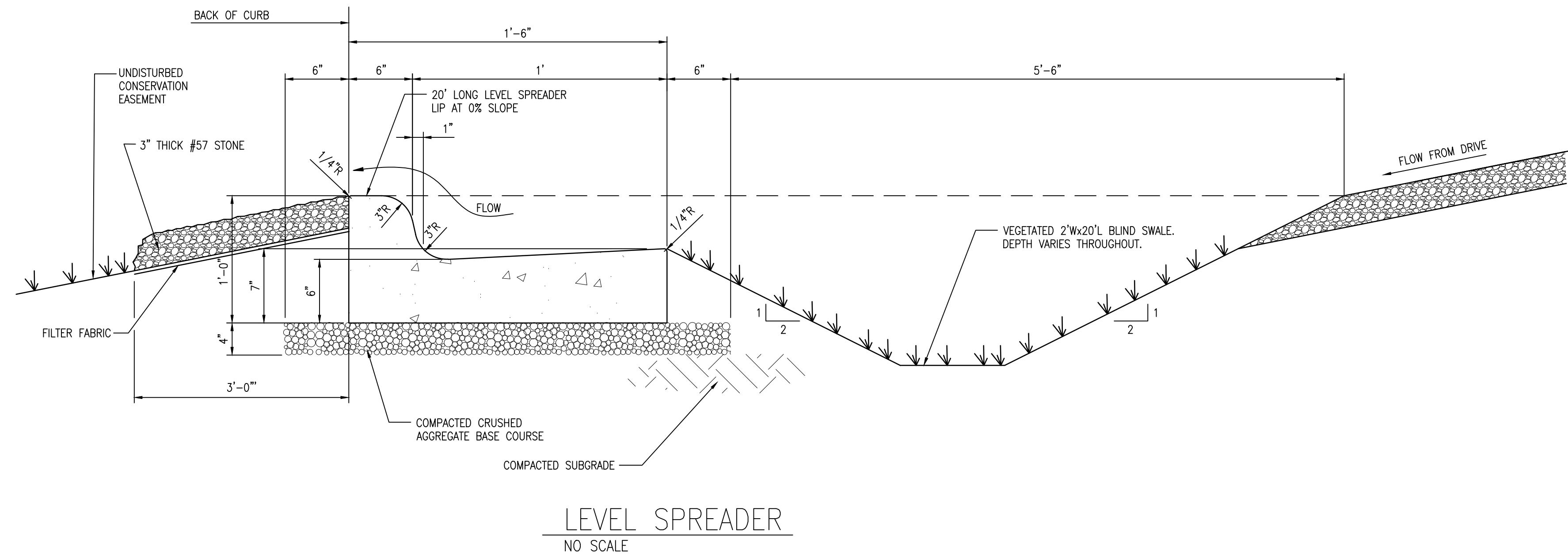
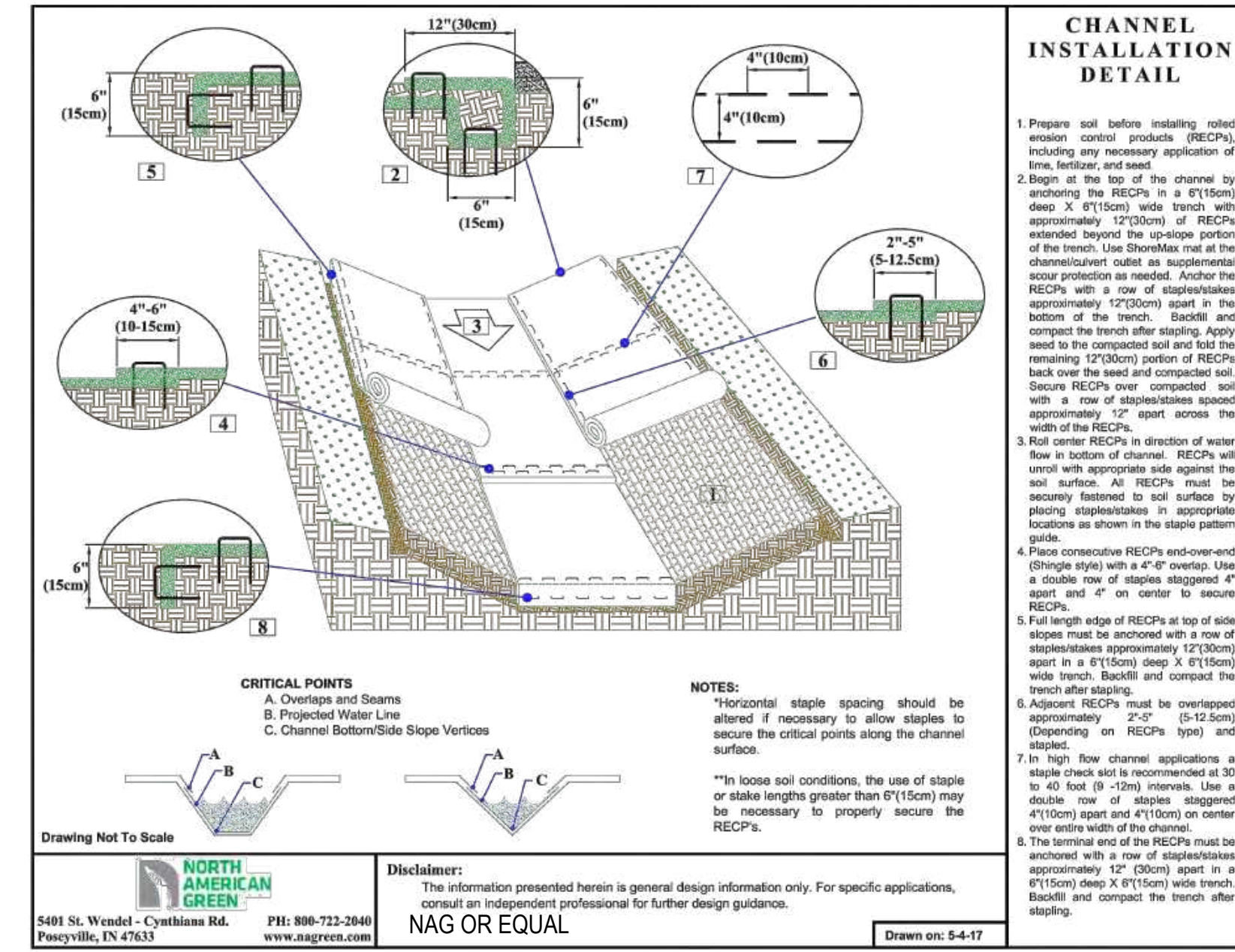
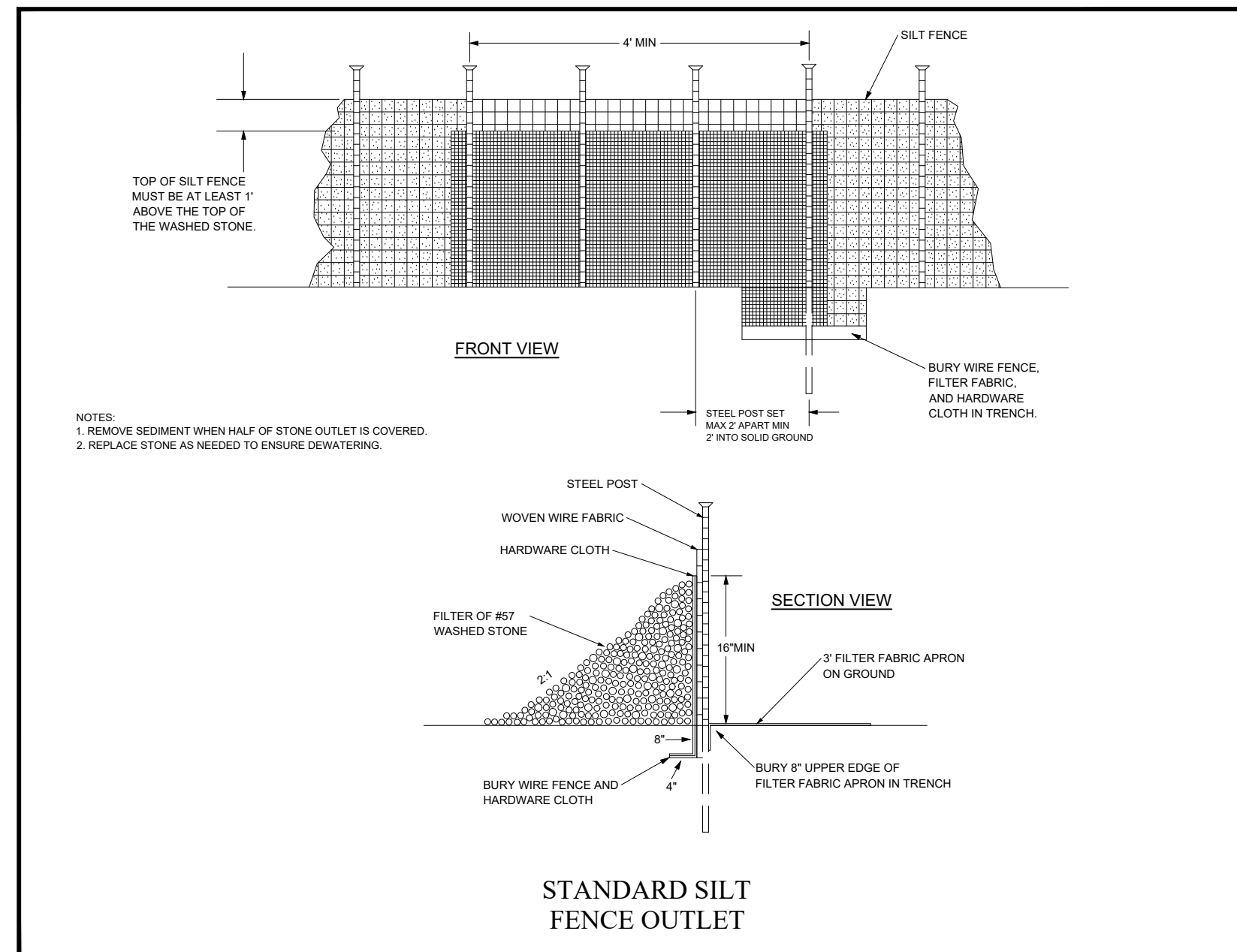
- NOTES:**
1. WATTLES SHALL BE FILLED WITH STRAW OR OTHER APPROVED MATERIAL
 2. SPACING FOR WATTLES SHALL BE DETERMINED BY THE SITE ENGINEER.
 3. WATTLES MAY BE USED FOR PROTECTION OF CATCH BASINS AND DROP INLETS WITH APPROVAL BY THE STORMWATER UTILITY MANAGER OR DESIGNER.



- NOTE:**
1. INSPECT INLET PROTECTION AND REMOVE SEDIMENT AFTER EACH RAIN EVENT. GRAVEL SHOULD BE REPLACED AND REPAIRS MADE AS NEEDED.

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8.			

PROJECT NO: 2019099.00
DRAWN BY: FM
DWG. CHECKED BY: JAA
SCALE: SEE PLAN
DATE: 11-4-2019



TEMPORARY SEEDING SCHEDULE		
SHOULDERS, SIDE DITCHES, SLOPES (MAX 3:1)		
DATE	TYPE	PLANTING RATE
AUG 15 - NOV 1	TALL FESCUE	300 LBS / ACRE
NOV 1 - MAR 1	TALL FESCUE & ABRUZZI RYE	300 LBS / ACRE
MAR 1 - APRIL 15	TALL FESCUE	300 LBS / ACRE
APRIL 15 - JUN 30	HULLED COMMON BERMUDA	25 LBS / ACRE
JUL 1 - AUG 15	TALL FESCUE AND BROWN TOP MILLET OR SORGHUM-SUDAN HYBRIDS	120 LBS / ACRE
SLOPES (3:1 TO 2:1)		
MAR 1 - JUNE 1 (MAR 1 - JUN 30)	TALL FESCUE OR ADD WEEPING LOVEGRASS	120 LBS / ACRE
MAR 1 - JUN 30	OR ADD HULLED COMMON BERMUDAGRASS	25 LBS / ACRE
JUNE 1 - SEP 1	TALL FESCUE AND BROWN TOP MILLET OR SORGHUM-SUDAN HYBRIDS	35 LBS / ACRE
SEP 1 - MAR 1 (NOV 1 - MAR 1)	TALL FESCUE & ABRUZZI RYE	120 LBS / ACRE

CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDED AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

** TEMPORARY - RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING, OTHERWISE FESCUE MAY BE SHADED OUT.

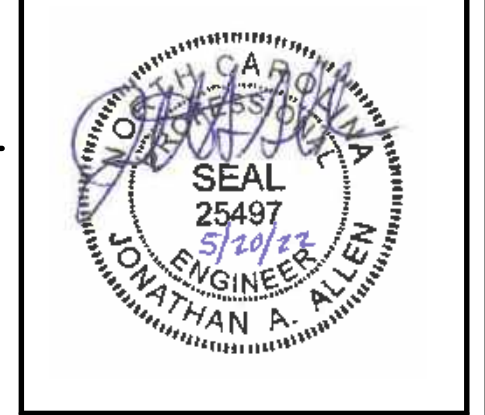
TEMPORARY SEEDBED PREPARATION		
1.	CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS.	
2.	RIP THE ENTIRE AREA TO 6 INCHES DEPTH.	
3.	REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.	
4.	APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL. (SEE BELOW)	
5.	CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.	
6.	SEED ON A FRESHLY PREPARED DEEBED AND COVER SEED SLIGHTLY WITH SEEDING EQUIPMENT OR CULPACK AFTER SEEDING.	
7.	MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.	
8.	INSPECT ALL DEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEED WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD IS OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.	
9.	CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.	

APPLY:
 AGRICULTURAL LIMESTONE - 2 TONS / ACRE (3 TONS / ACRE IN CLAY SOILS)
 FERTILIZER - 1,000 LBS / ACRE 10-10-10
 SUPERPHOSPHATE - 500 LBS > / ACRE - 20% ANALYSIS
 MULCH - 2 TONS / ACRE - SMALL GRAIN STRAW
 TACK - ASPHALT EMULSION @ 400 GALLONS / ACRE

PERMANENT SEEDING SCHEDULE		
WARM SEASON GRASS SEED: HYBRIDIZED BERMUDA MIX (80% HYBRID BERMUDA TURF, 20% ANNUAL RYE GRASS) PLANTING RATE = 2 LBS PER 1,000 SF		
COOL SEASON GRASS SEED: TALL FESCUE MIX (90% TALL FESCUE TURF, 10% WINTER RYEGRASS) PLANTING RATE = 7 LBS PER 1,000 SF		
PERMANENT SEEDBED PREPARATION		
SEEDING DATES EARLY SPRING: FEB 15 - MARCH 20 FALL: SEPT 1 - SEPT 30		
SOIL AMENDMENTS: APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000 OR 5,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE (USE THE LOWER RATE ON SANDY SOILS) AND 1,000 LB/ACRE 10-10-10 FERTILIZER		
MULCH: APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW WITH NETTING, ROVING, OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.		
MAINTENANCE: IF GROWTH IS LESS THAN FULLY ADEQUATE, REFERTILIZE IN THE SECOND YEAR, ACCORDING TO SOIL TESTS OR TOPDRESS WITH 500 LB/ACRE 10-10-10 FERTILIZER. MOW AS NEEDED WHEN NEEDED WHEN SERICEA IS OMITTED FROM THE MIXTURE. RESEED, FERTILIZE AND MULCH DAMAGED AREAS IMMEDIATELY.		
NOTES: REFER TO LANDSCAPE DRAWINGS AND SPECIFICATIONS FOR PLANTING REQUIREMENTS AND FOR PROPOSED LOCATIONS OF SOD AND SEED. RYEGRASS IS USED AS A NURSE CROP FOR PERMANENT COVER.		

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 TERVING@SUMMITRDU.COM



**THE SUMMIT CHURCH
 SITE PLAN**
 MEBANE OAKS ROAD AND OLD HILLSBOROUGH ROAD
 MEBANE, ALAMANCE COUNTY, NORTH CAROLINA

NO.	DATE	REVISIONS	REMARKS
1.	01/10/2020	SITE PLAN RESUBMITTAL	
2.	03/11/2020	SITE PLAN RESUBMITTAL	
3.	04/14/2020	SITE PLAN RESUBMITTAL	
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7.	05/20/2022	SITE PLAN FOR APPROVAL	
8.			

PROJECT NO: 2019099.00
 DRAWN BY: FM
 DWG. CHECKED BY: JAA
 SCALE: SEE PLAN
 DATE: 11-4-2019

DETAILS
C-704

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THE SUMMIT CHURCH
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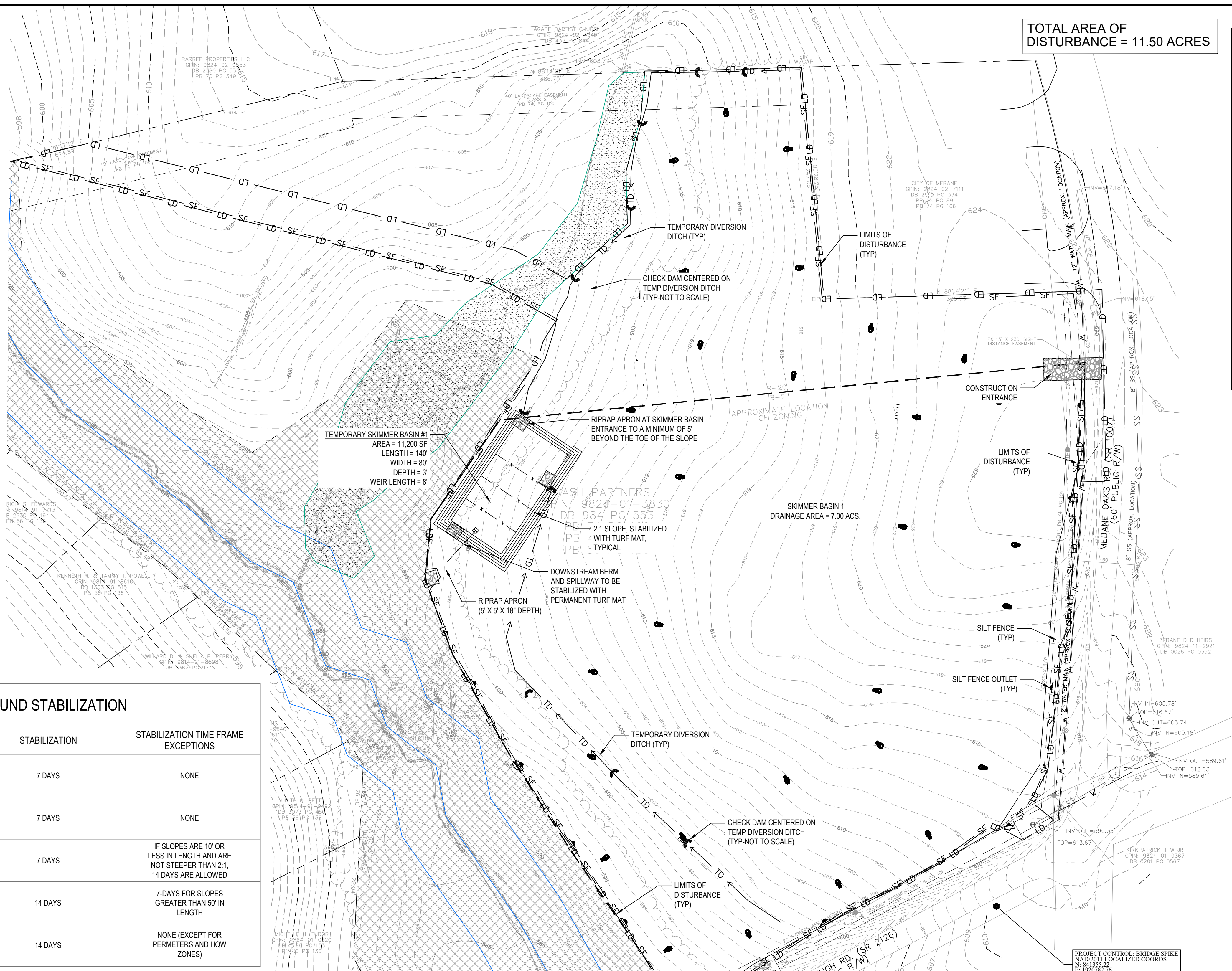
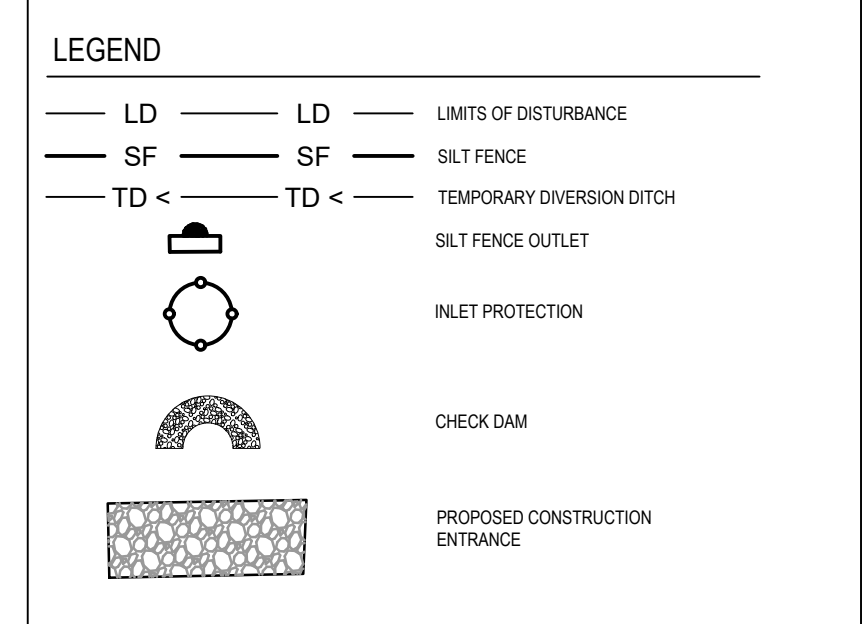
MEBANE OAKS ROAD AND OLD HILLSBOROUGH ROAD
MEBANE, ALAMANCE COUNTY, NORTH CAROLINA

TOTAL AREA OF
DISTURBANCE = 11.50 ACRES

- CONSTRUCTION SEQUENCE:**
1. OBTAIN LAND DISTURBANCE / EROSION CONTROL PERMIT.
 2. CONTACT DEMLR RALEIGH REGIONAL OFFICE AT 919-791-4200 TO SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO COMMENCING LAND DISTURBING ACTIVITY.
 3. INSTALL ALL PHASE I EROSION CONTROL DEVICES SHOWN ON SHEET ESC-100 INCLUDING THE CONSTRUCTION ENTRANCE, INLET PROTECTION AROUND EXISTING INLETS, SILT FENCE OUTLETS, TEMPORARY DIVERSION DITCHES WITH ROCK CHECK DAMS AND TEMPORARY SKIMMER BASIN #1. LIMIT CLEARING AND LAND DISTURBING ACTIVITY TO ONLY THE AREA NECESSARY TO INSTALL THE PERMITTED MEASURES.
 4. BEGIN SITE CLEARING AND ROUGH GRADING.
 5. PERFORM GRADING OPERATIONS FOR CONSTRUCTION OF NEW BUILDING AND SITE FEATURES. INSTALL NEW STORM STRUCTURES AND STORM DRAIN PIPE. INSTALL NEW STORMWATER MANAGEMENT DEVICES (STORMWATER WET PONDS, ENSURING THAT THESE DEVICES ARE NOT BROUGHT ONLINE UNTIL ALL UPSTREAM DRAINAGE AREAS ARE STABILIZED). INSTALL INLET PROTECTION AROUND NEW STORM STRUCTURES UNTIL GRADE STABILIZATION. COORDINATE CONSTRUCTION WITH GRADING AND DRAINAGE PLAN. INSTALL NEW WATERLINE AND SANITARY SEWER LINES, COORDINATE WITH UTILITY PLAN. DEWATERING OF ALL STORM PIPE AND UTILITY TRENCHES SHALL BE THROUGH A SILT BAG.
 6. FOR PHASE II OPERATIONS, INSTALL ALL PHASE II EROSION CONTROL DEVICES SHOWN ON SHEET ESC-101, INCLUDING INLET PROTECTION FOR ALL NEW STORM DRAINAGE STRUCTURES INSTALLED.
 7. SEED AND MULCH DENuded AREA AS FOLLOWS:
 - a. STEEP SLOPES, WHERE THE SLOPE IS STEEPER THAN 3H:1V, SHALL BE STABILIZED WITHIN 7 DAYS.
 - b. MODERATE SLOPES, WHERE THE SLOPE IS 3H:1V OR FLATTER, SHALL BE STABILIZED WITHIN 10 DAYS.
 - c. FLAT AREAS, WHERE THE SLOPE IS FLATTER THAN 4H:1V, SHALL BE STABILIZED WITHIN 14 DAYS.
 14. MONITOR FOR MAINTENANCE OF ALL EROSION CONTROL DEVICES WEEKLY OR AFTER EVERY 1/2" OF RAIN.
 15. MAINTAIN EROSION CONTROL MEASURES UNTIL ALL UPSTREAM AREA HAS BEEN STABILIZED AND PERMANENT GROUND COVER IS ESTABLISHED. DEWATERING OF SEDIMENT BASIN/TRAP SHALL BE THROUGH A SILT BAG.
 16. ONCE THE SITE IS STABILIZED AND PERMANENT GROUND COVER HAS BEEN ESTABLISHED, CALL FOR ON-SITE MEETING WITH NC DEMLR RALEIGH OFFICE TO OBTAIN APPROVAL FOR REMOVAL OF TEMPORARY EROSION CONTROL MEASURES.

NOTE:
IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT.

- NOTES:**
1. ALL WORK SHALL CONFORM TO THE STATE OF NORTH CAROLINA EROSION & SEDIMENT CONTROL PLANNING & DESIGN MANUAL.
 2. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING MEASURES AS NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE LIMITS OF CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR PERFORMING SELF-INSPECTIONS AFTER EACH PHASE OF THE PROJECT AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SELF-INSPECTION FORMS ARE AVAILABLE AT: <http://deq.nc.gov/about/divisions/energy-mineral-land-resources/erosion-sediment-control/forms>. QUESTIONS ABOUT SELF-INSPECTION SHOULD BE DIRECTED TO THE NC DEMLR OFFICE AT 919-791-4200. MEASURES ARE TO BE CHECKED AND MAINTAINED WEEKLY AND AFTER RAINFALL EVENTS EXCEEDING 0.5 INCHES. KEEP THE FOLLOWING ON SITE UNTIL PROJECT CLOSURE BY NOVEMBER. RAIN GAUGE, APPROVED COPY OF EROSION AND SEDIMENTATION CONTROL PLAN WITH FLAGCARD & APPROVAL LETTER, COPY OF NPDES PERMIT WITH A MINIMUM OF 30 DAYS OF SELF-INSPECTION RECORDS.
 4. ALL BARE SOILS ARE TO BE STABILIZED UNDER CONDITIONS OUTLINED IN THE CURRENT NPDES PERMIT OR, IF IT IS IN A CRITICAL AREA, BY THE END OF THE DAY.
 5. DEWATERING OF SEDIMENT CONTAINMENT DEVICES FOR MAINTENANCE OR REMOVAL PURPOSES IS TO BE DONE THROUGH A SILT BAG.
 6. DEWATERING OF SEDIMENT BASIN AND UTILITY TRENCHES SHALL BE DONE THROUGH A SILT BAG.
 7. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED IMMEDIATELY AT ANY AREAS USED FOR CONTRACTOR EQUIPMENT STAGING, MATERIALS LAYDOWN, SPOIL OR WASTE AREAS.
 8. ALL SEDIMENT BASINS MUST BE MAINTAINED UNTIL ALL UPSTREAM DRAINAGE AREAS HAVE BEEN STABILIZED WITH THE ESTABLISHMENT OF PERMANENT VEGETATION.



GROUND STABILIZATION

SITE AREA DESCRIPTION	STABILIZATION	STABILIZATION TIME FRAME EXCEPTIONS
PERMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREA WITH SLOPES FLATTER THAN 3:1	14 DAYS	NONE (EXCEPT FOR PERMETERS AND HOW ZONES)

NOTE: GROUND COVER IN CRITICAL AREAS (PIPE OUTLETS / OUTFALLS) TO BE APPLIED BY END OF DAY.

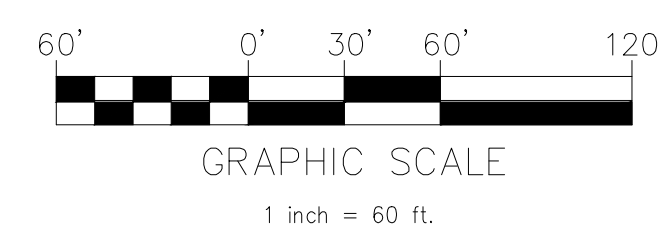
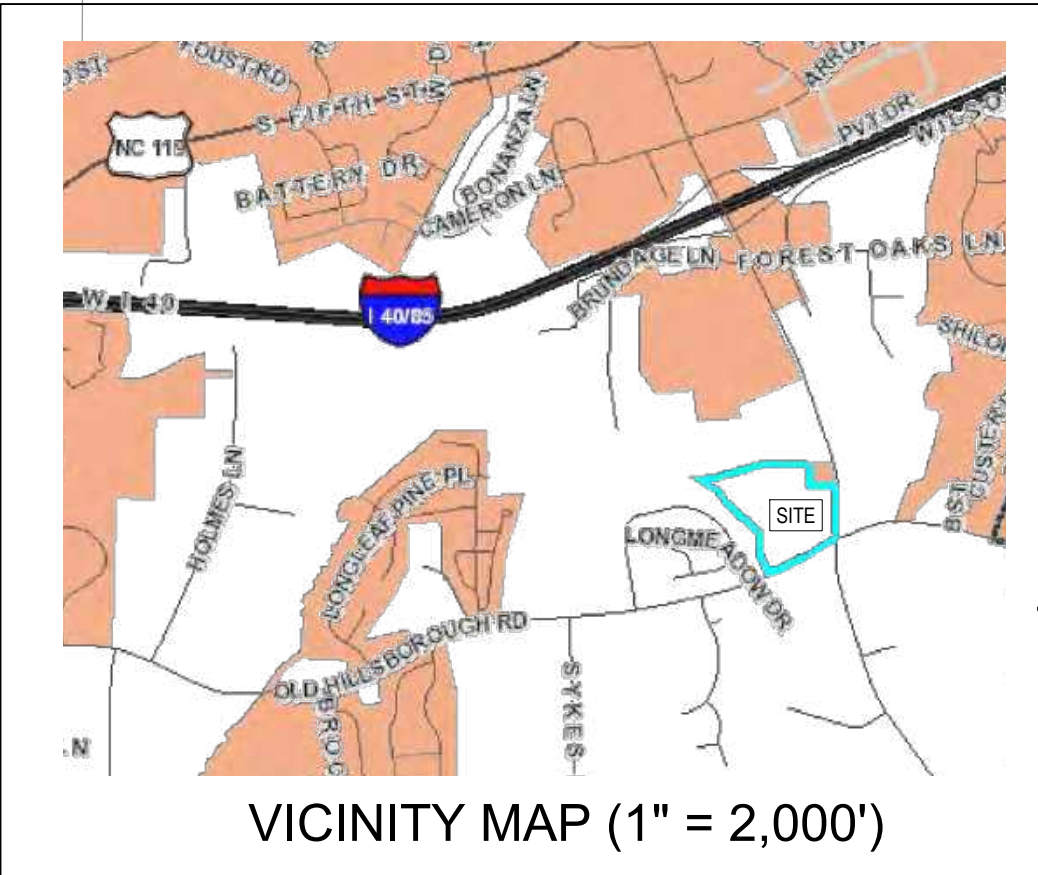
GENERAL EROSION CONTROL NOTES

1. ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT. BEFORE YOU DIG, CONTACT THE NC ONE-CALL CENTER AT 1-800-692-4949.
2. ALL EROSION CONTROL DEVICES AND MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NCDENR STANDARDS AND SPECIFICATIONS.
3. PRESERVATION OF TREES (PROTECTED BY TREE PRESERVATION FENCE - TPF) WILL BE RE-EVALUATED AFTER SURROUNDING AREAS ARE CLEARED, BUT PRIOR TO COMPLETION OF CLEARING OPERATION.
4. SILT FENCE INSTALLED SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
5. TEMPORARY DIVERSION DITCHES TO REMAIN IN PLACE UNTIL SITE HAS BEEN STABILIZED WHERE FEASIBLE.
6. INLET PROTECTION SHALL BE PROVIDED AT ALL EXISTING AND PROPOSED CURB INLETS, YARD INLETS AND AREA DRAINS LOCATED WITHIN THE LIMITS OF CONSTRUCTION.
7. ALL DITCHES SHALL BE PROTECTED WITH A JUTE MATTING NET IF EROSION OCCURS IN THE DITCH SECTION.
8. CONTRACTOR TO DIVERT SEDIMENT LADEN WATER FROM STORMWATER OUTLETS INTO ADJACENT SEDIMENT BASIN BY LEAVING OFF SECTIONS OF PIPE. UNTIL UPSTREAM SITE HAS BEEN STABILIZED, AND UNTIL OTHERWISE INSTRUCTED BY ENVIRONMENTAL ENGINEER.
9. ALL SPOIL AREAS TO HAVE SILT FENCE ON LOW SIDE OF SLOPES.
10. ANY DEWATERING OF A SEDIMENT CONTAINMENT DEVICE FOR MAINTENANCE, REMOVAL OR CONVERSION PURPOSES IS TO BE DONE THROUGH A SILT BAG.
11. CONTRACTOR TO INSTALL ADDITIONAL MEASURES AS NECESSARY AND AS FIELD CONDITIONS WARRANT IN ORDER TO PREVENT SEDIMENT FROM LEAVING THE SITE.
12. ALL TEMPORARY DIVERSION DITCHES TO BE LINED WITH A STRAW LINER OR IF LESS THAN 2% SLOPE, SEED AND STRAW MAY BE USED.
13. TEMPORARY DIVERSIONS SHOULD NOT BE CONSTRUCTED UNTIL SEDIMENT BASINS HAVE BEEN CONSTRUCTED.
14. PROVIDE A RAIN GAUGE ON SITE TO CHECK FOR RAINFALL EVENTS OF 0.5 INCHES OR GREATER. INSPECT ALL EROSION CONTROL DEVICES FOR MAINTENANCE ISSUES AFTER THESE RAIN EVENTS.
15. INSTALL ROCK CHECK DAMS EVERY 100 LF OF DIVERSION DITCH OR AS NEEDED.
16. AS SITE IS ROUGH GRADED, CONTINUE TO MAINTAIN DIVERSIONS AND BRING THEM UP TO GRADE TO CONTINUE FLOW TO THE SEDIMENT BASINS.
17. ALL PERMANENT SLOPES STEEPER THAN 3:1 SHALL BE LINED WITH NORTH AMERICAN GREEN SC150 EROSION CONTROL BLANKET OR EQUAL.
18. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, UNLESS OTHERWISE NOTED ON THE PLANS. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE INSTALLED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
19. THE CONCRETE WASHOUT PIT SHALL REMAIN A MINIMUM OF 50 FEET AWAY FROM ANY INLET IF THE INLETS ARE NOT COMPLETELY CLOSED OFF DURING USE OF CONCRETE WASHOUT AREA.

- GROUND STABILIZATION:**
- A SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:
- a. ALL PERMETER DIKES, SWALES, DITCHES, PERMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
 - b. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

THIS NOTE SHALL APPLY TO EACH AND EVERY SHEET IN THIS SET:

THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING FACILITIES SUCH AS PIPELINES, ELECTRICAL LINES, CONDUIT, TELEPHONE CABLE, SERVICE CONNECTIONS, OR OTHER FACILITIES ARE SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UTILITIES LOCATED BY THEIR RESPECTIVE OWNERS. FIELD MARK THE UTILITY LOCATIONS, AND PROTECT ALL SUCH EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS IN ACCORDANCE WITH NC GENERAL STATUTE - CHAPTER 87, ARTICLE 8, THE UNDERGROUND DAMAGE PREVENTION ACT.



REVISIONS

NO.	DATE	REMARKS
1	01/10/2020	SITE PLAN RESUBMITTAL
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PROJECT NO: 2019099.00
DRAWN BY: FM
DWG. CHECKED BY: JAA
SCALE: SEE PLAN
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EROSION CONTROL
PLAN - PHASE I
ESC-100

NV5

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THE SUMMIT CHURCH
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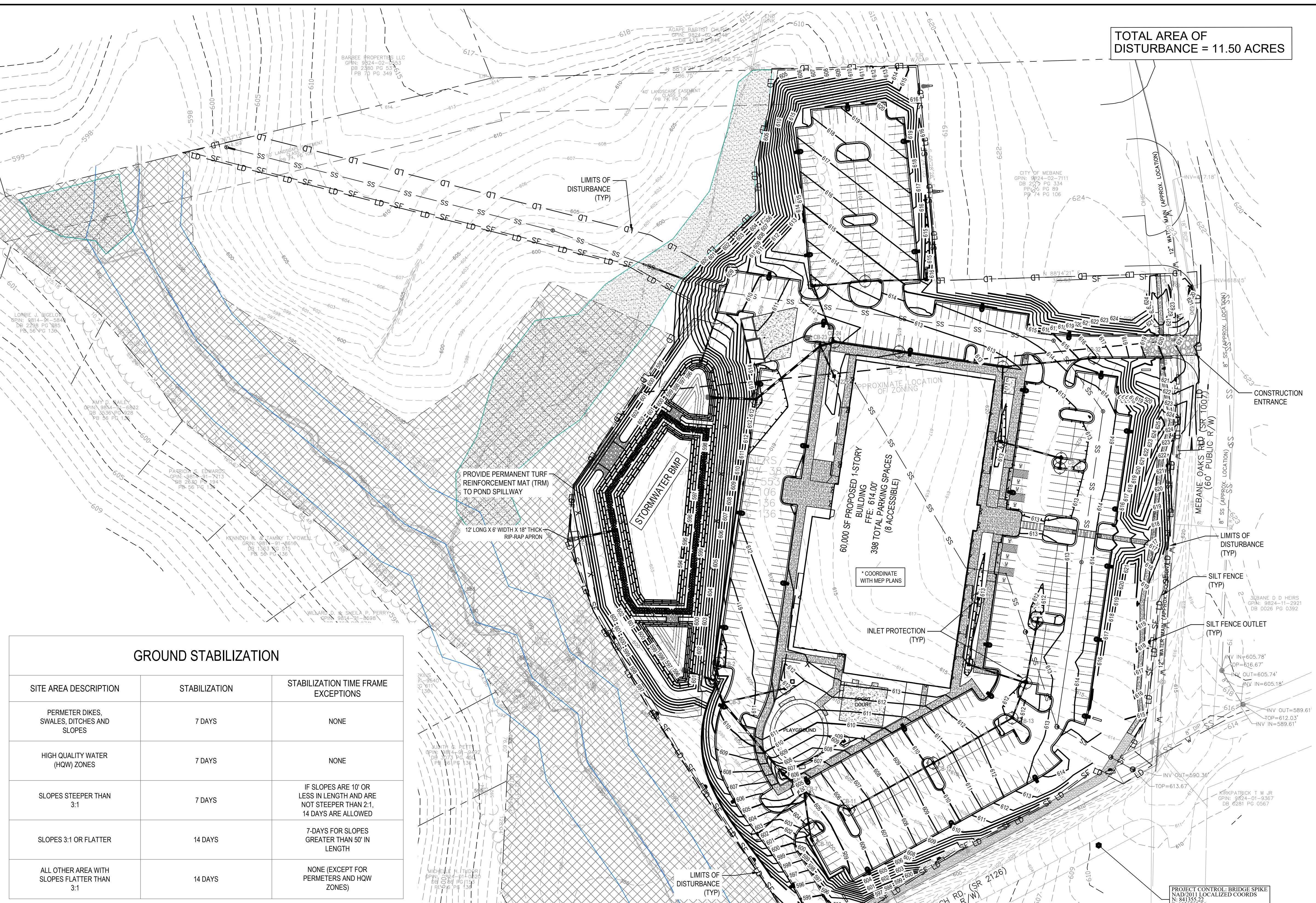
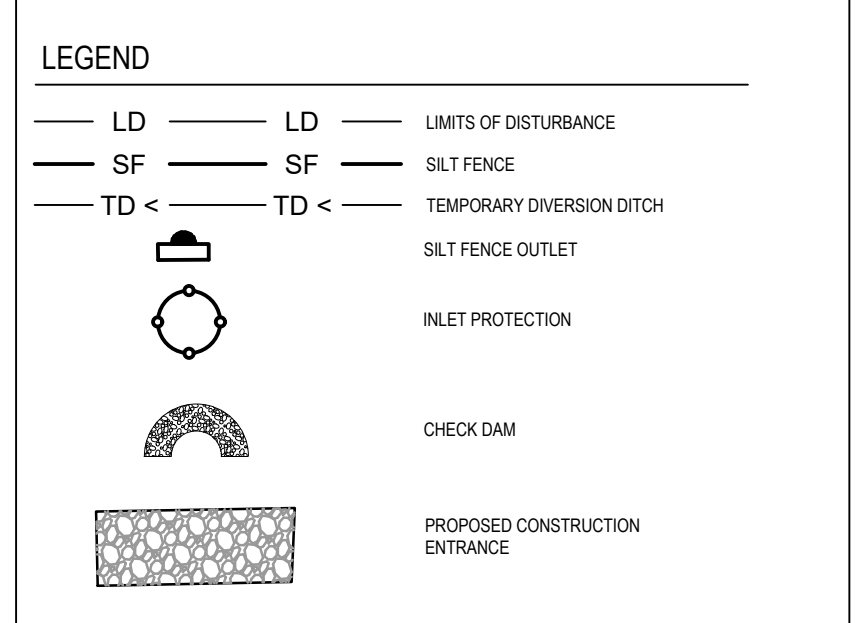
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GROUND STABILIZATION

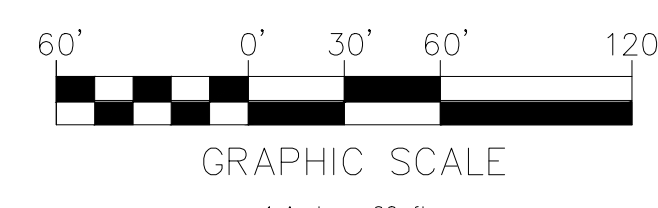
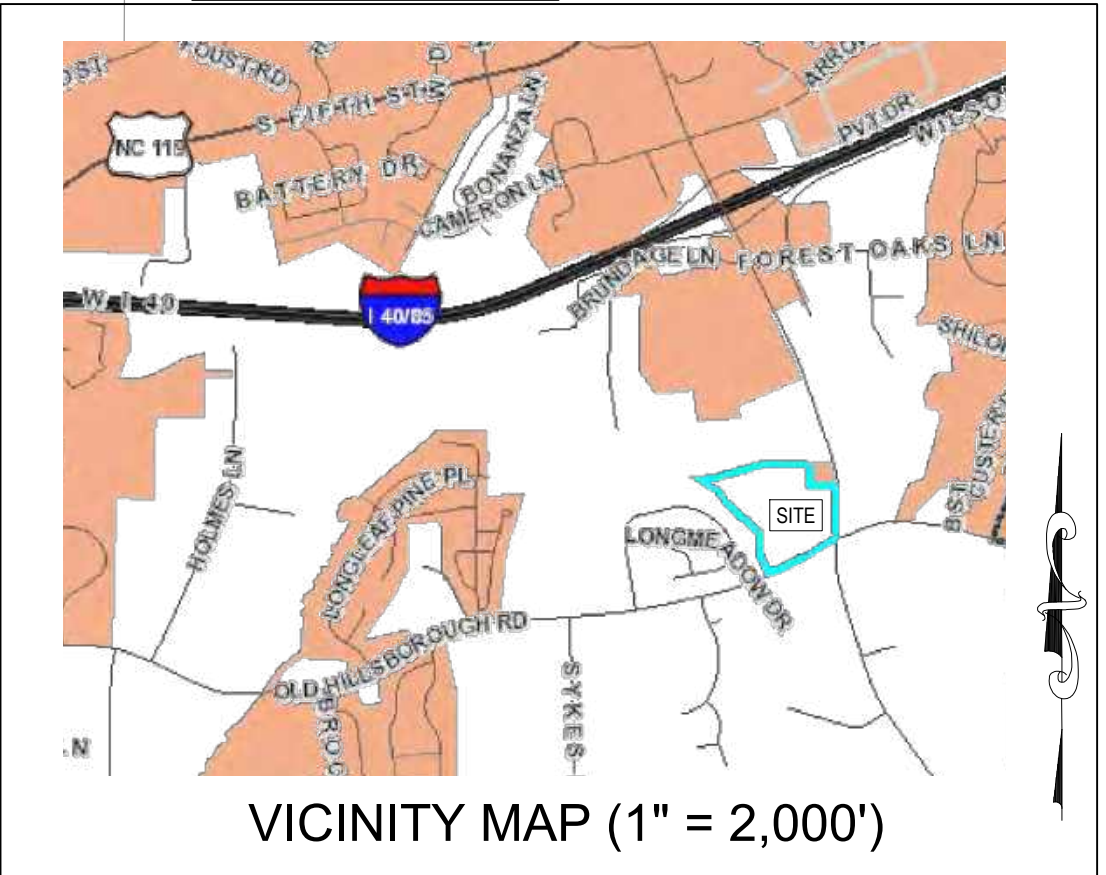
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SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
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- ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT. BEFORE YOU DIG, CONTACT THE NC ONE-CALL CENTER AT 1-800-692-4949.
 - ALL EROSION CONTROL DEVICES AND MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NCDENR STANDARDS AND SPECIFICATIONS.
 - PRESERVATION OF TREES (PROTECTED BY TREE PRESERVATION FENCE - TPF) WILL BE RE-EVALUATED AFTER SURROUNDING AREAS ARE CLEARED, BUT PRIOR TO COMPLETION OF CLEARING OPERATION.
 - SILT FENCE INSTALLED SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
 - TEMPORARY DIVERSION DITCHES TO REMAIN IN PLACE UNTIL SITE HAS BEEN STABILIZED WHERE FEASIBLE.
 - INLET PROTECTION SHALL BE PROVIDED AT ALL EXISTING AND PROPOSED CURB INLETS, YARD INLETS AND AREA DRAINS LOCATED WITHIN THE LIMITS OF CONSTRUCTION.
 - ALL DITCHES SHALL BE PROTECTED WITH A JUTE MATTING NET IF EROSION OCCURS IN THE DITCH SECTION.
 - CONTRACTOR TO DIVERT SEDIMENT LADEN WATER FROM STORMWATER OUTLETS INTO ADJACENT SEDIMENT BASIN BY LEAVING OFF SECTIONS OF PIPE, UNTIL UPSTREAM SITE HAS BEEN STABILIZED, AND UNTIL OTHERWISE INSTRUCTED BY ENVIRONMENTAL ENGINEER.
 - ALL SPOIL AREAS TO HAVE SILT FENCE ON LOW SIDE OF SLOPES.
 - ANY DEWATERING OF A SEDIMENT CONTAINMENT DEVICE FOR MAINTENANCE, REMOVAL OR CONVERSION PURPOSES IS TO BE DONE THROUGH A SILT BAG.
 - CONTRACTOR TO INSTALL ADDITIONAL MEASURES AS NECESSARY AND AS FIELD CONDITIONS WARRANT IN ORDER TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 - ALL TEMPORARY DIVERSION DITCHES TO BE LINED WITH A STRAW LINER OR IF LESS THAN 2% SLOPE, SEED AND STRAW MAY BE USED.
 - TEMPORARY DIVERSIONS SHOULD NOT BE CONSTRUCTED UNTIL SEDIMENT BASINS HAVE BEEN CONSTRUCTED.
 - PROVIDE A RAIN GAUGE ON SITE TO CHECK FOR RAINFALL EVENTS OF 0.5 INCHES OR GREATER. INSPECT ALL EROSION CONTROL DEVICES FOR MAINTENANCE ISSUES AFTER THESE RAIN EVENTS.
 - INSTALL ROCK CHECK DAMS EVERY 100 LF OF DIVERSION DITCH OR AS NEEDED.
 - AS SITE IS ROUGH GRADED, CONTINUE TO MAINTAIN DIVERSIONS AND BRING THEM UP TO GRADE TO CONTINUE FLOW TO THE SEDIMENT BASINS.
 - ALL PERMANENT SLOPES STEEPER THAN 3:1 SHALL BE LINED WITH NORTH AMERICAN GREEN SC150 EROSION CONTROL BLANKET OR EQUAL.
 - ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, UNLESS OTHERWISE NOTED ON THE PLANS. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE INSTALLED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
 - THE CONCRETE WASHOUT PIT SHALL REMAIN A MINIMUM OF 50 FEET AWAY FROM ANY INLET IF THE INLETS ARE NOT COMPLETELY CLOSED OFF DURING USE OF CONCRETE WASHOUT AREA.

GROUND STABILIZATION:
A. SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:
a. ALL PERMETER DIKES, SWALES, DITCHES, PERMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
b. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

THIS NOTE SHALL APPLY TO EACH AND EVERY SHEET IN THIS SET:
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NO.	DATE	REVISIONS	REMARKS
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2.	03/11/2020	SITE PLAN RESUBMITTAL	
3.	04/14/2020	SITE PLAN RESUBMITTAL	
4.	12/06/2021	REVISED SITE PLAN SUBMITTAL	
5.	01/25/2022	REVISED SITE PLAN SUBMITTAL	
6.	03/31/2022	REVISED SITE PLAN SUBMITTAL	
7.	05/20/2022	SITE PLAN FOR APPROVAL	
8.			

PROJECT NO: 2019099.00
DRAWN BY: FM
DWG. CHECKED BY: JAA
SCALE: SEE PLAN
DATE: 11-4-2019

EROSION CONTROL
PLAN - PHASE 2
ESC-101

THIS NOTE SHALL APPLY TO EACH AND EVERY SHEET IN THIS SET:

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- PLANTING NOTES:**
- THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING FACILITIES SUCH AS PIPELINES, ELECTRICAL LINES, CONDUIT, TELEPHONE CABLE, SERVICE CONNECTIONS, OR OTHER FACILITIES ARE SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UTILITIES LOCATED BY THEIR RESPECTIVE OWNERS, FIELD MARK THE UTILITY LOCATIONS, AND PROTECT ALL SUCH EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS.
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 - ALL PLANTINGS TO BE MULCHED WITH 3" OF TRIPLE-SHREDDED HARDWOOD MULCH. KEEP MULCH OFF STEMS/TRUNKS.
 - SURVIVABILITY OF ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A MINIMUM OF 1 YEAR AFTER INSTALLATION.
 - ALL DISTURBED AREAS SHALL BE COVERED WITH 3" DEEP TRIPLE SHRED HARDWOOD MULCH OR SEED/SOD. NO BARE EARTH SHALL REMAIN AFTER COMPLETION.
 - ALL TREES AND SHRUBS SHALL MEET ANLA/ANSI SPECIFICATIONS FOR STANDARD NURSERY STOCK.
 - DO NOT STAKE TREES UNLESS NECESSARY. ALL STAKING SHALL BE REMOVED BY THE CONTRACTOR BY THE END OF THE WARRANTY PERIOD.
 - TREE PROTECTION FENCING SHALL BE PLACED OUTSIDE THE DRIPLINE OF ANY VEGETATION TO BE PRESERVED PRIOR TO GRADING AND SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED.
 - ADDITIONAL VEGETATION SHALL BE INSTALLED WITHIN THE REQUIRED BUFFERS IF EXISTING VEGETATION TO BE SAVED DOES NOT MEET THE PERFORMANCE STANDARDS FOR TYPE B BUFFERS.
 - ALL MECHANICAL AND UTILITY EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW (RW), INCLUDING ROOF-TOP EQUIPMENT.

LEGEND & PLANTING SCHEDULE FOR PARKING LOT

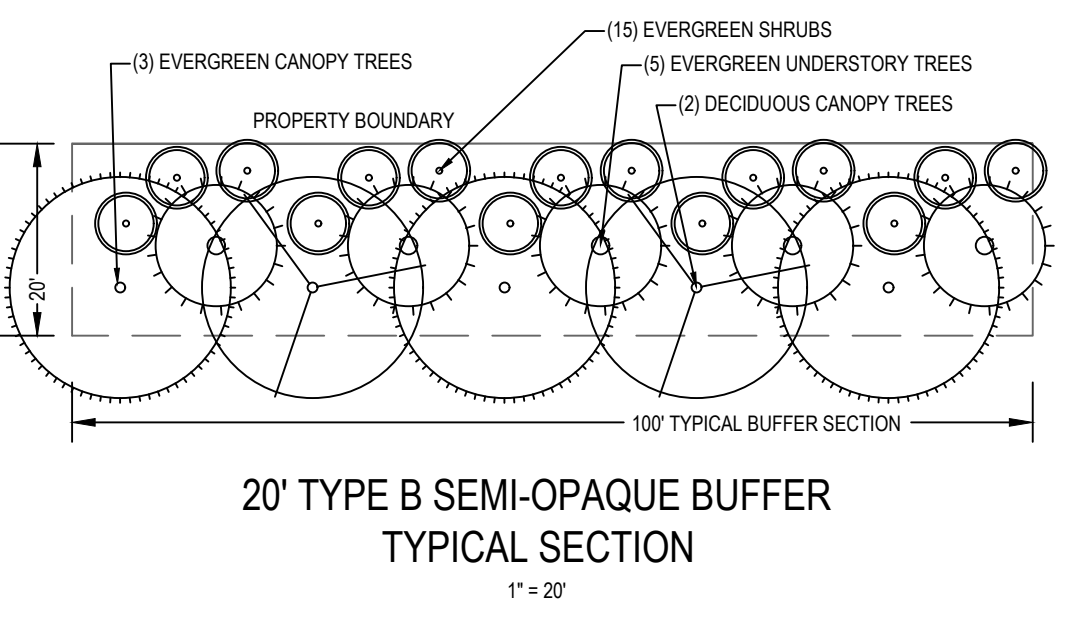
- DECIDUOUS CANOPY TREES**
- (14) LIQUIDAMBAR STYRACIFLUA 'HAPPIDAZE' FRUITLESS SWEETGUM
 - (7) PISTACIA CHINENSIS CHINESE PISTACHE
 - (14) ZELKOVA SERRATA JAPANESE ZELKOVA
- EVERGREEN SHRUBS**
- (180) ILEX VOMITORIA 'BORDEAUX' BORDEAUX YAUPON HOLLY

LEGEND & PLANTING SCHEDULE FOR 30' STREETSCAPE BUFFER

- DECIDUOUS CANOPY TREES**
- (8) NYSSA SYLVATICA BLACK GUM
 - (4) QUERCUS PHELLOS WILLOW OAK
 - (4) QUERCUS LYRATA OVERCUP OAK
- ORNAMENTAL UNDERSTORY TREES**
- (17) LAGERSTROEMIA INDICA 'NATCHEZ' NATCHEZ CRAPE MYRTLE
 - (19) VITEX AGNUS-CASTUS CHASTE TREE

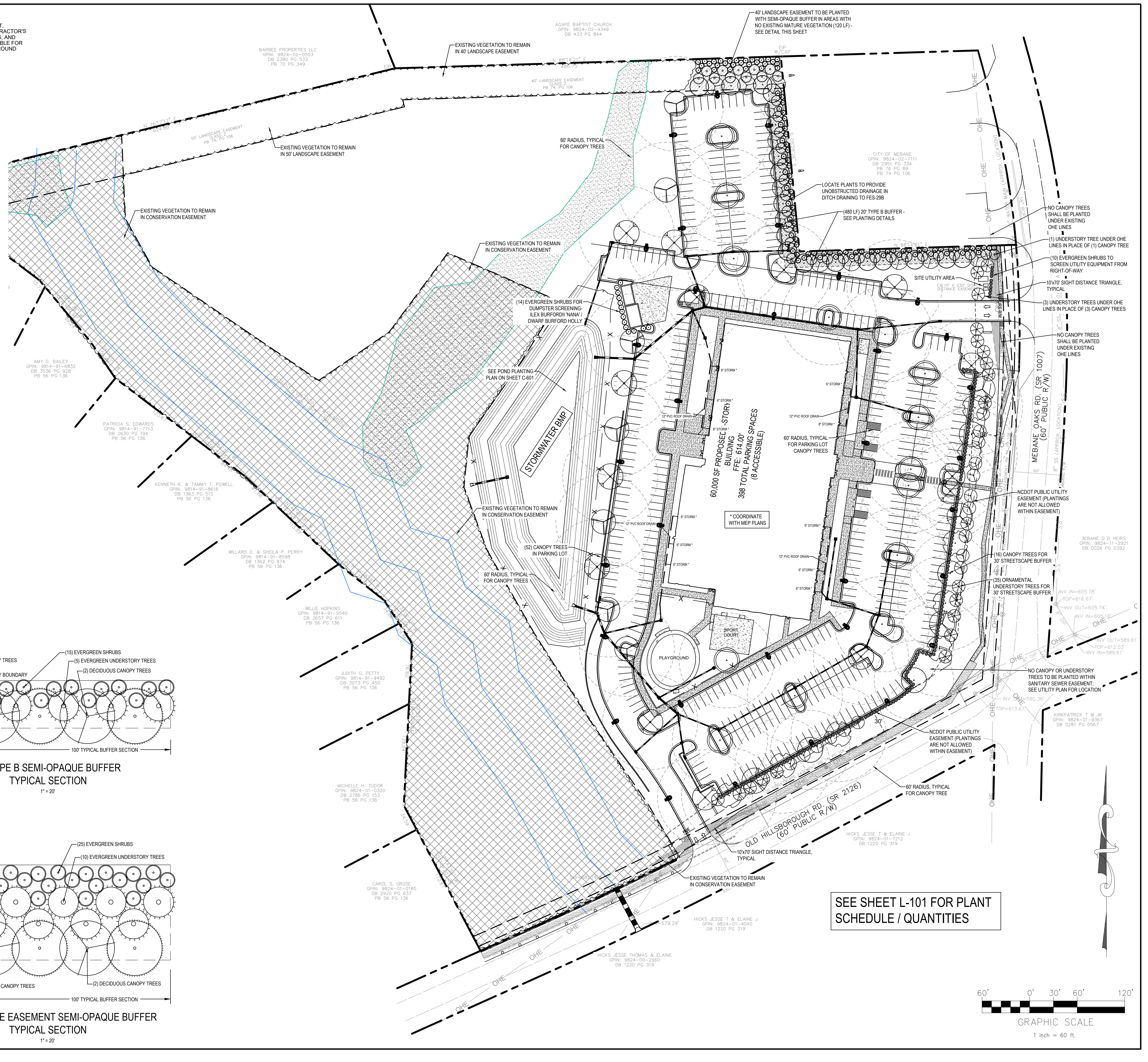
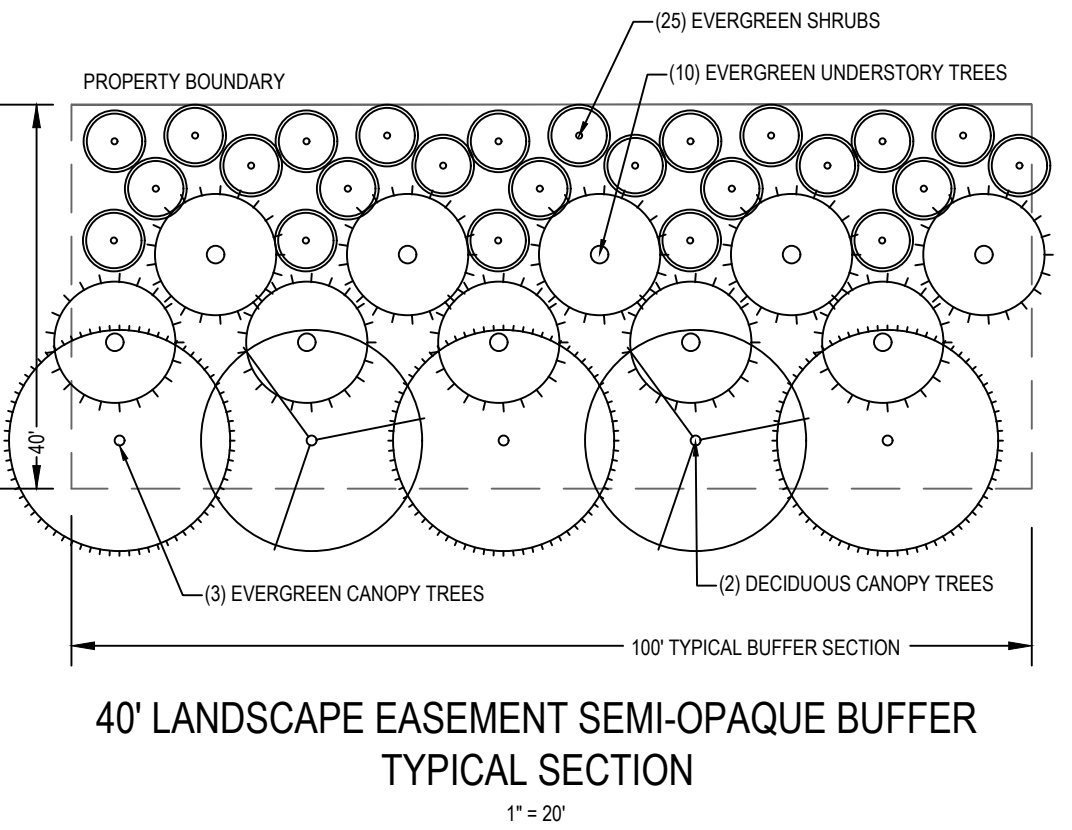
PLANTING SCHEDULE FOR 20' TYPE 'B' BUFFER - 100' TYPICAL SECTION

- DECIDUOUS CANOPY TREES**
- (1) ACER SACCHARUM SUGAR MAPLE
 - (1) LIRODENDRON TULIPIFERA TULIP POPLAR
- EVERGREEN CANOPY TREES**
- (1) CRYPTOMERIA JAPONICA JAPANESE CEDAR
 - (2) JUNIPERUS VIRGINIANA EASTERN RED CEDAR
- EVERGREEN UNDERSTORY TREES**
- (2) ILEX OPACA AMERICAN HOLLY
 - (2) ILEX X 'NELLIE R. STEVENS' NELLIE STEVENS HOLLY
 - (1) MAGNOLIA GRANDIFLORA 'TMGH' ALTA MAGNOLIA
- EVERGREEN SHRUBS**
- (5) ILEX VOMITORIA YAUPON HOLLY
 - (5) MYRICA CERIFERA WAX MYRTLE
 - (5) VIBURNUM AWABUKI CHINDO VIBURNUM

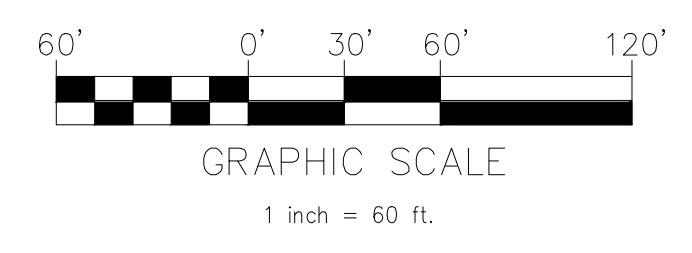


PLANTING SCHEDULE FOR 40' LANDSCAPE EASEMENT - 100' TYPICAL SECTION

- DECIDUOUS CANOPY TREES**
- (1) ACER SACCHARUM SUGAR MAPLE
 - (1) LIRODENDRON TULIPIFERA TULIP POPLAR
- EVERGREEN CANOPY TREES**
- (1) CRYPTOMERIA JAPONICA JAPANESE CEDAR
 - (2) JUNIPERUS VIRGINIANA EASTERN RED CEDAR
- EVERGREEN UNDERSTORY TREES**
- (3) ILEX OPACA AMERICAN HOLLY
 - (5) ILEX X 'NELLIE R. STEVENS' NELLIE STEVENS HOLLY
 - (2) MAGNOLIA GRANDIFLORA 'TMGH' ALTA MAGNOLIA
- EVERGREEN SHRUBS**
- (10) ILEX VOMITORIA YAUPON HOLLY
 - (10) MYRICA CERIFERA WAX MYRTLE
 - (5) VIBURNUM AWABUKI CHINDO VIBURNUM



SEE SHEET L-101 FOR PLANT SCHEDULE / QUANTITIES



NO.	DATE	REVISIONS	REMARKS
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8.			
9.			

PROJECT NO: 2019099.00
DRAWN BY: FM
DWG. CHECKED BY: JAA
SCALE: SEE PLAN
DATE: 11-4-2019

LANDSCAPE PLAN

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PLANT QUANTITIES

DECIDUOUS CANOPY TREES

QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE
6	ACER SACCHARUM	SUGAR MAPLE	2.5" CAL / 10' HT
14	LIQUIDAMBAR STYRACIFLUA 'HAPPDAZE'	FRUITLESS SWEETGUM	2.5" CAL / 10' HT
6	LIRIODENDRON TULIPIFERA	TULIP POPLAR	2.5" CAL / 10' HT
8	NYSSA SYLVATICA	BLACK GUM	2.5" CAL / 10' HT
7	PISTACIA CHINENSIS	CHINESE PISTACHE	2.5" CAL / 10' HT
4	QUERCUS LYRATA	OVERCUP OAK	2.5" CAL / 10' HT
4	QUERCUS PHELLOS	WILLOW OAK	2.5" CAL / 10' HT
14	ZELKOVA SERRATA	JAPANESE ZELKOVA	2.5" CAL / 10' HT

EVERGREEN CANOPY TREES

QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE
6	CRYPTOMERIA JAPONICA	JAPANESE CEDAR	2.5" CAL / 10' HT
12	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	2.5" CAL / 10' HT

DECIDUOUS UNDERSTORY TREES

QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE
17	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ CRAPPE MYRTLE	2.0" CAL / 8' HT
19	VITEX AGNIUS-CASTUS	CHASTE TREE	2.0" CAL / 8' HT

EVERGREEN UNDERSTORY TREES

QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE
13	ILEX OPACA	AMERICAN HOLLY	2.0" CAL / 8' HT
16	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	2.0" CAL / 8' HT
7	MAGNOLIA GRANDIFLORA 'TMGH'	ALTA MAGNOLIA	2.0" CAL / 8' HT

EVERGREEN SHRUBS

QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE
180	ILEX VOMITORIA 'BORDEAUX'	BORDEAUX YAUPON HOLLY	2' HT
39	ILEX X VOMITORIA	YAUPON HOLLY	2' HT
34	MYRICA CERIFERA	WAX MYRTLE	2' HT
25	VIBURNUM AWA BUKI	CHINDO VIBURNUM	2' HT

PLANTING NOTES:

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NV5

NV5 ENGINEERS AND CONSULTANTS, INC.
3300 REGENCY PARKWAY, STE 100
CARY, NC 27518
P: 919.851.1912 www.NV5.com
NC License # F1333

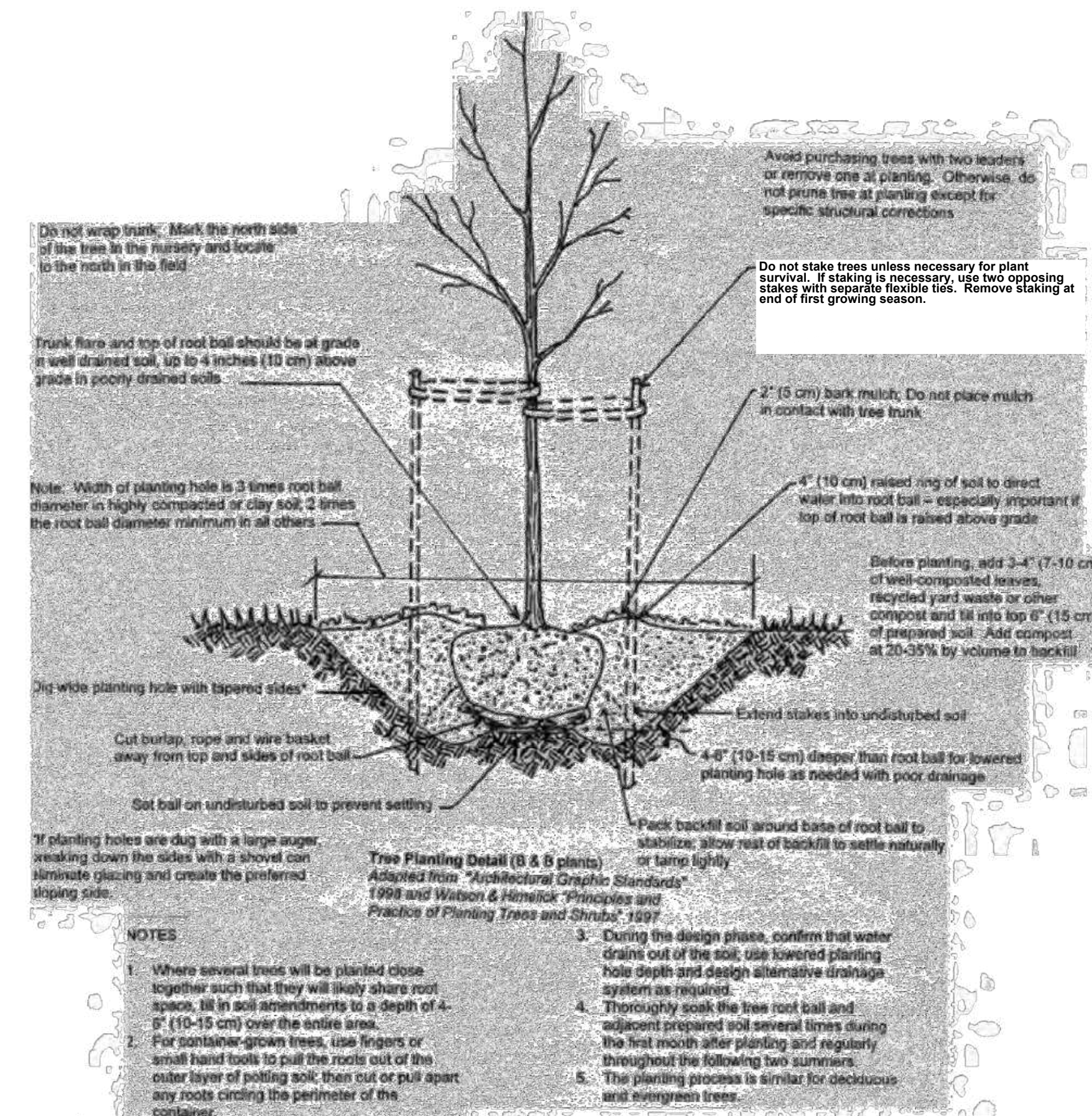


2335 PRESIDENTIAL DRIVE, SUITE 114
DURHAM, NORTH CAROLINA
CONTACT: TODD ERVIN
919-275-5582
TERVING@SUMMITRDU.COM

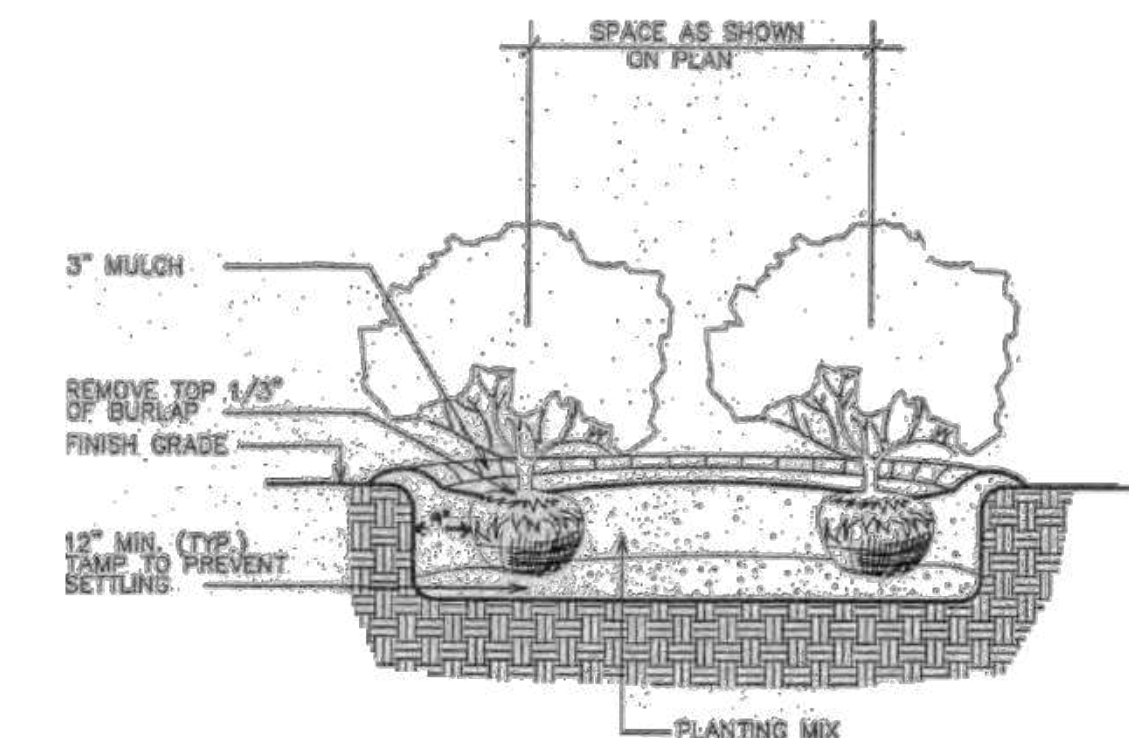


THE SUMMIT CHURCH
SITE PLAN

MEBANE OAKS ROAD AND OLD HILLSBOROUGH ROAD
MEBANE, ALAMANCE COUNTY, NORTH CAROLINA



TREE PLANTING DETAIL
NOT TO SCALE



SHRUB/GROUND COVER PLANTING DETAIL
NOT TO SCALE

LITTORAL SHELF PLANT SCHEDULE

UPPER SHELF HERBACEOUS PLANTS

CS	CAREX SPP	SEDGE	5" PLUG
EF	EUPATORIUM FISTULOSUS	JOE-PYE WEED	5" PLUG
HA	HELIANTHUS ANGUSTIFOLIUS	SWAMP SUNFLOWER	5" PLUG
HC	HIBISCUS COCCINEA	SCARLET ROSE MALLOW	5" PLUG
HM	HIBISCUS MOSCHEutos	MARSH HIBISCUS	5" PLUG
LC	LOBELIA CARDINALIS	CARDINAL FLOWER	5" PLUG

LOWER SHELF HERBACEOUS PLANTS

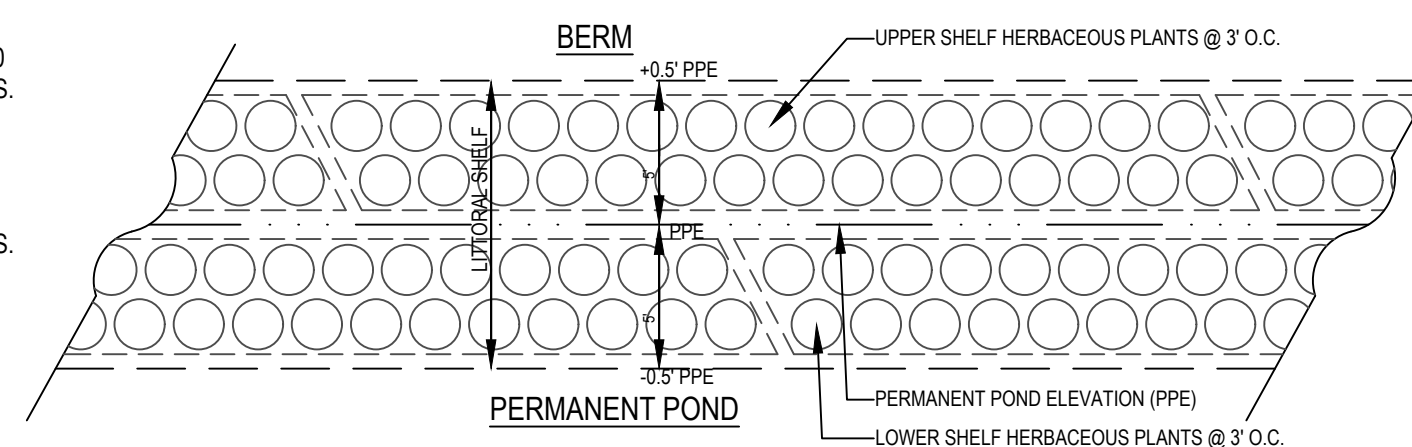
AS	ACORUS AMERICANUS	SWEET FLAG	5" PLUG
IV	IRIS VERSICOLOR	BLUE FLAG IRIS	5" PLUG
JE	JUNCUS EFFUSUS	SOFT RUSH	5" PLUG
PV	PEL TANURA VIRGINICA	ARROW ARUM	5" PLUG
PC	PONTEDERIA CORDATA	PICKEREL WEED	5" PLUG
SL	SAGITTARIA LANOIFOLIA	BULL TONGUE	5" PLUG

UPPER SHELF HERBACEOUS PLANTS:

UTILIZE AT LEAST 3 VARIETIES FROM PLANT SCHEDULE. PLANT 10 CELLS OF 30 PLANTS EACH FOR A TOTAL OF AT LEAST 300 PLANTS. INSTALL PLANTS AT 3" O.C.

LOWER SHELF HERBACEOUS PLANTS:

UTILIZE AT LEAST 3 VARIETIES FROM PLANT SCHEDULE. PLANT 9 CELLS OF 30 PLANTS EACH FOR A TOTAL OF AT LEAST 270 PLANTS. INSTALL PLANTS AT 3" O.C.



WET POND PLANTING

NOT TO SCALE

NO.	DATE	REVISIONS	REMARKS
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8.			
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PROJECT NO: 2019099.00

DRAWN BY: FM

DWG. CHECKED BY: JAA

SCALE: SEE PLAN

DATE: 11-4-2019

LANDSCAPE
DETAILS

L-101

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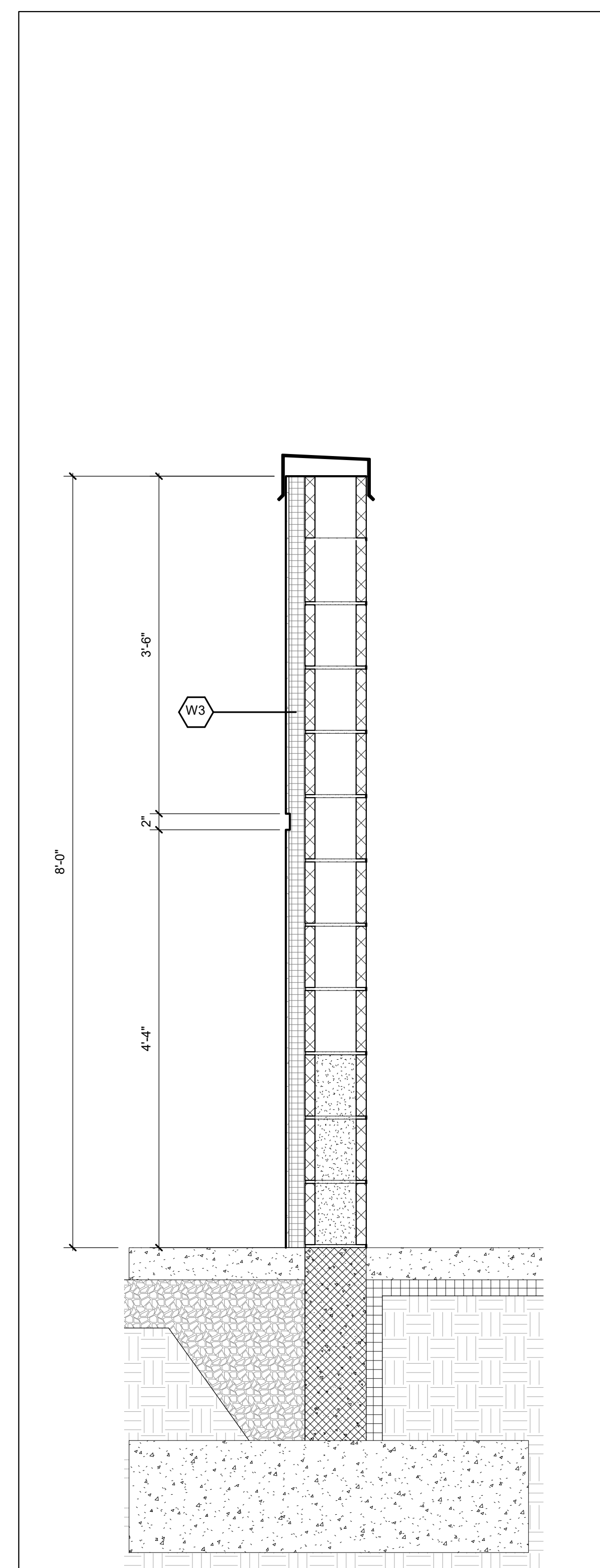
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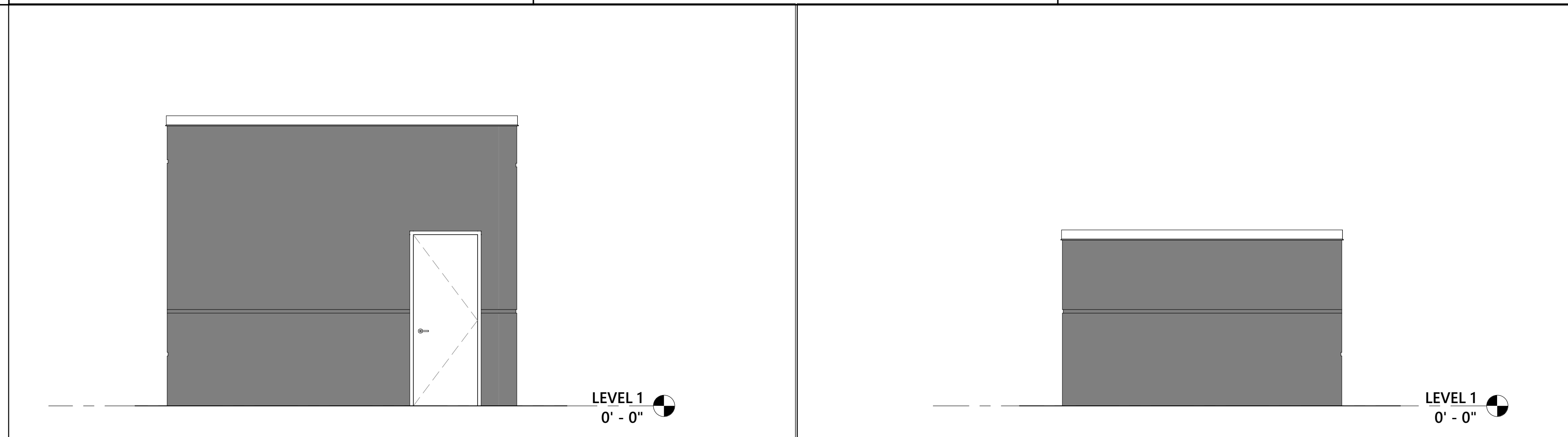
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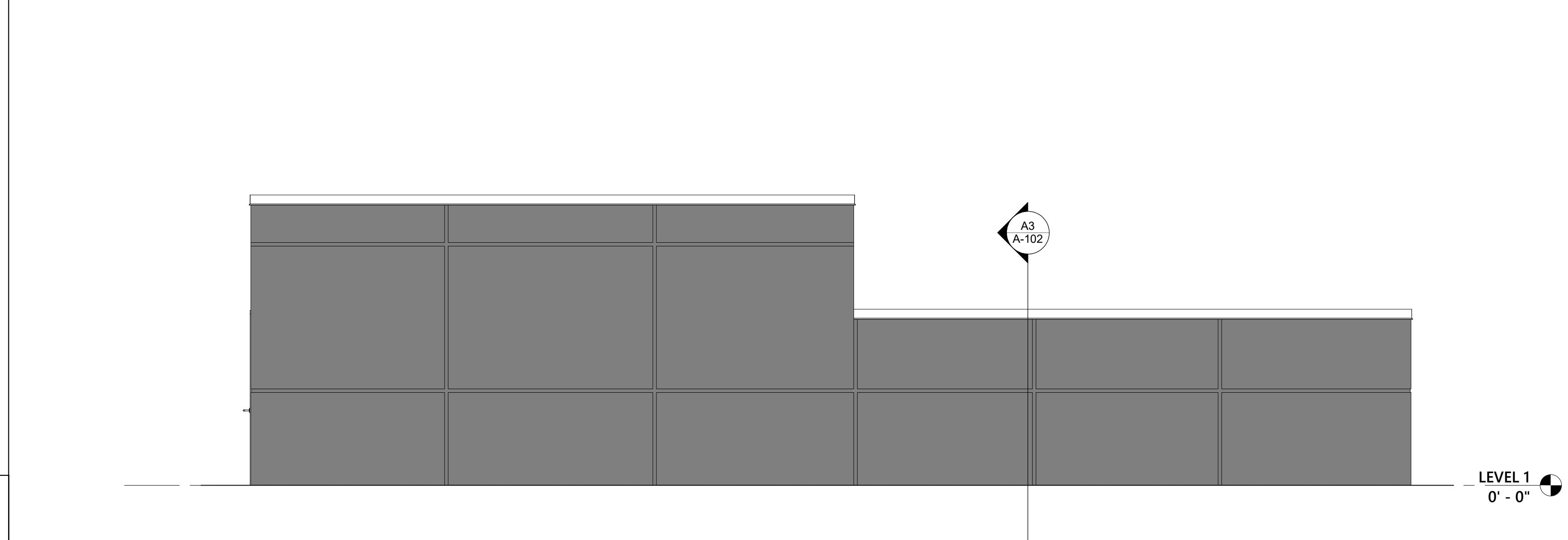


A3 A-102	SEC @ TRASH ENCLOSURE	1" = 1'-0"
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A4 A-102	UTILITY BUILDING ENLARGED PLAN	1/4" = 1'-0"
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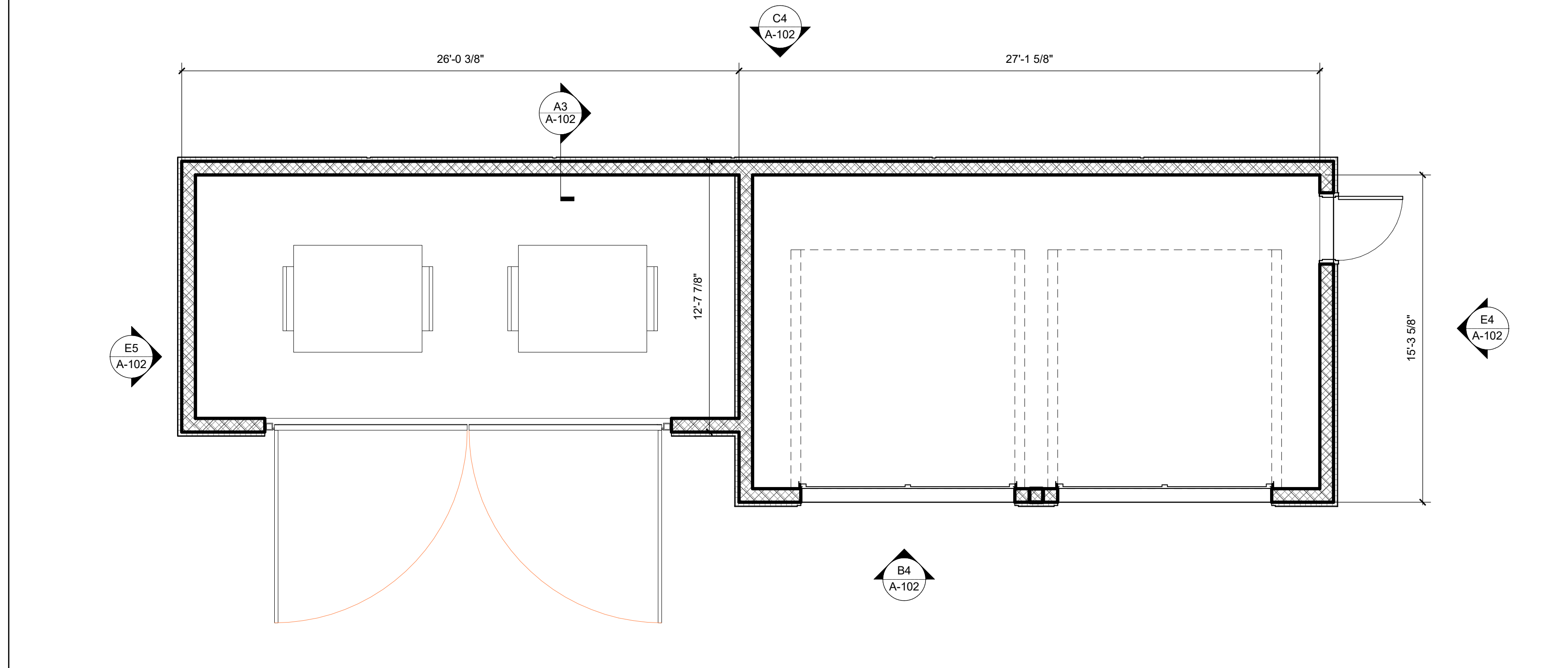
E4 A-102	UTILITY BUILDING - SIDE ELEVATION	1/4" = 1'-0"	E5 A-102	UTILITY BUILDING - SIDE ELEVATION	1/4" = 1'-0"
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C4 A-102	UTILITY BUILDING - REAR ELEVATION	1/4" = 1'-0"
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B4 A-102	UTILITY BUILDING - FRONT ELEVATION	1/4" = 1'-0"
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434 FAYETTEVILLE STREET SUITE 1700
 RALEIGH, NORTH CAROLINA 27601
 TEL. 919.829.2700 FAX. 919.829.2730
 WWW.LS3P.COM

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SUMMIT CHURCH - ALAMANCE
 MEBANE OAKS ROAD
 MEBANE, NC
 LS3P PROJECT: 8800-196560

DATE	DESCRIPTION

SHEET NAME:
 UTILITY BUILDING
 PLAN AND
 ELEVATION

ORIG SUBMISSION: 2021.11.10

SHEET:
A-102
 DESIGN DEVELOPMENT

THE LINE SHOWN ABOVE IS EXACTLY ONE FOOT ABOVE FINISHED FLOOR AND IS NOT TO BE CONSIDERED A FINISHED FLOOR

ELEVATION NOTES BY NUMBER		ARCH- MATERIAL FINISHES (EXTERIOR)	
NUMBER	NOTE	TAG	MATERIAL
1	EXTERIOR LIGHT FIXTURE	BR-1	CHEROKEE BRICK M/S ANDERSON
2	PREMANUFACTURED CANOPY SYSTEM	BR-2	CHEROKEE BRICK M/S ANDERSON
3	PRECAST INSET IN BRICK	EFS-1	LIGHT GRAY EIFS WITH REVEAL PATTERN TO MATCH BUILDING METAL PANEL COLOR
4	LOGO - BACKLIT	MP-1	METAL PANEL WITH VERTICAL REVEALS - LIGHT GRAY
5	SOLDIER COURSE PROTRUDES 5/8", TYPICAL FOR ALL SOLDIER COURSES	MP-2	METAL PANEL AND REVEAL SYSTEM - DARK GRAY
		MP-3	MECHANIAL SCREEN METAL PANEL - LIGHT GRAY



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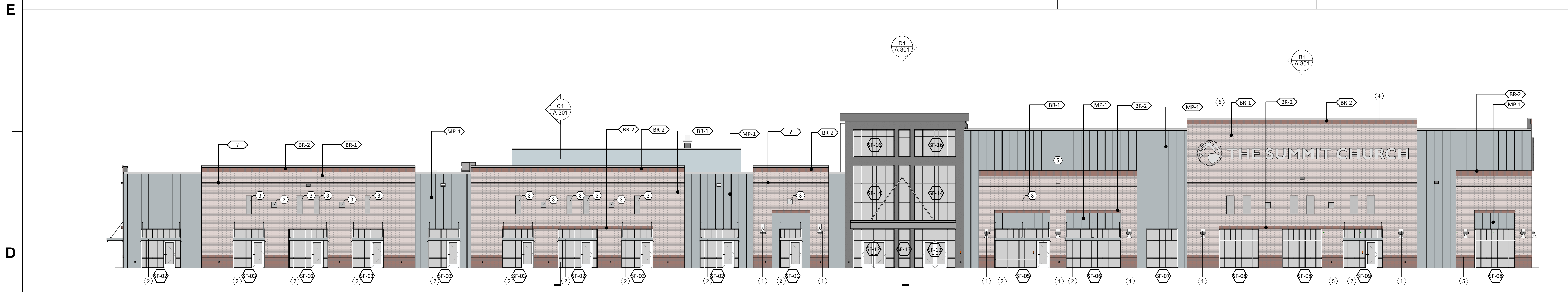
SUMMIT CHURCH - ALAMANCE
 WEBBANE OAKS ROAD
 WEBBANE, NC
 LS3P PROJECT: 8800-196560

DATE	DESCRIPTION

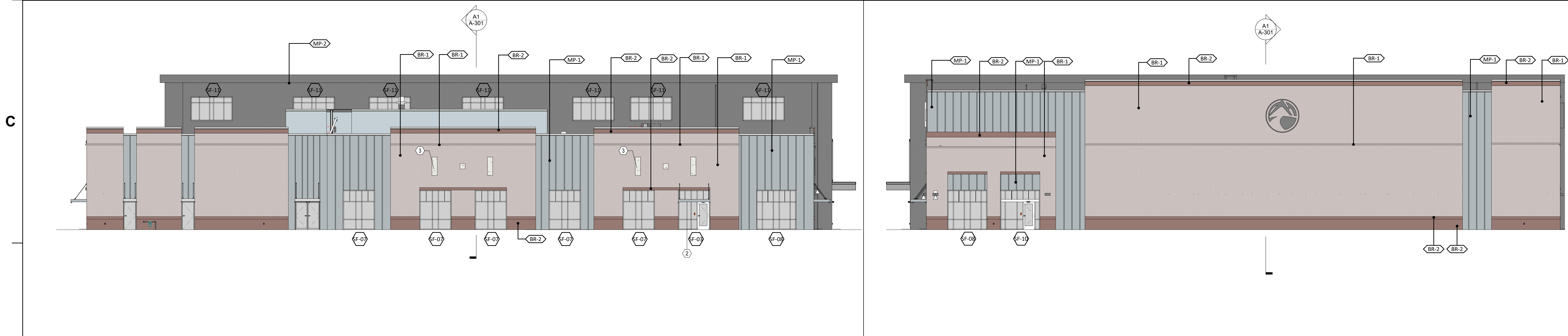
SHEET NAME:
OVERALL EXTERIOR ELEVATIONS

ORIG SUBMISSION: 2021.11.10

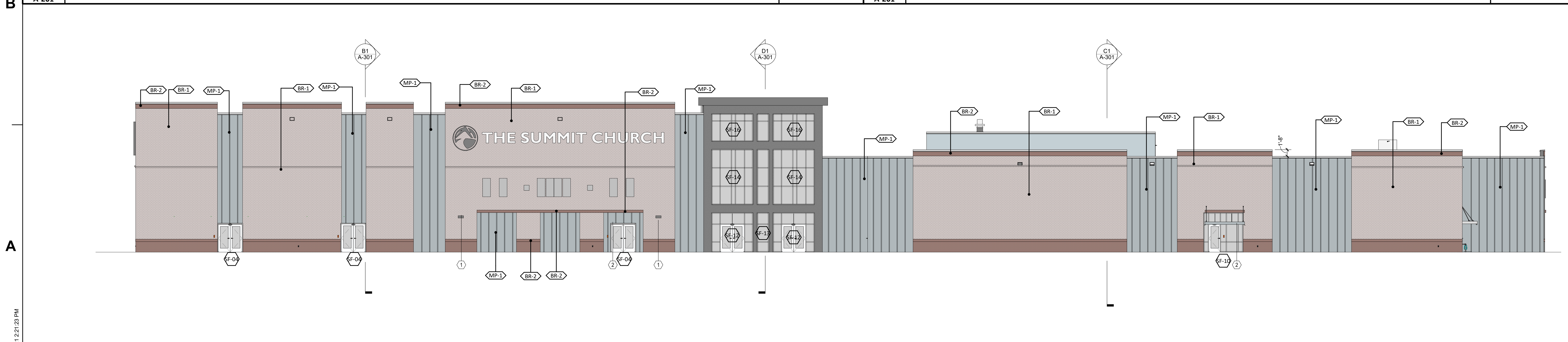
SHEET:
A-201
 DESIGN DEVELOPMENT



D1 A-201 Elevation- Exterior - South - Overall **3/32" = 1'-0"**

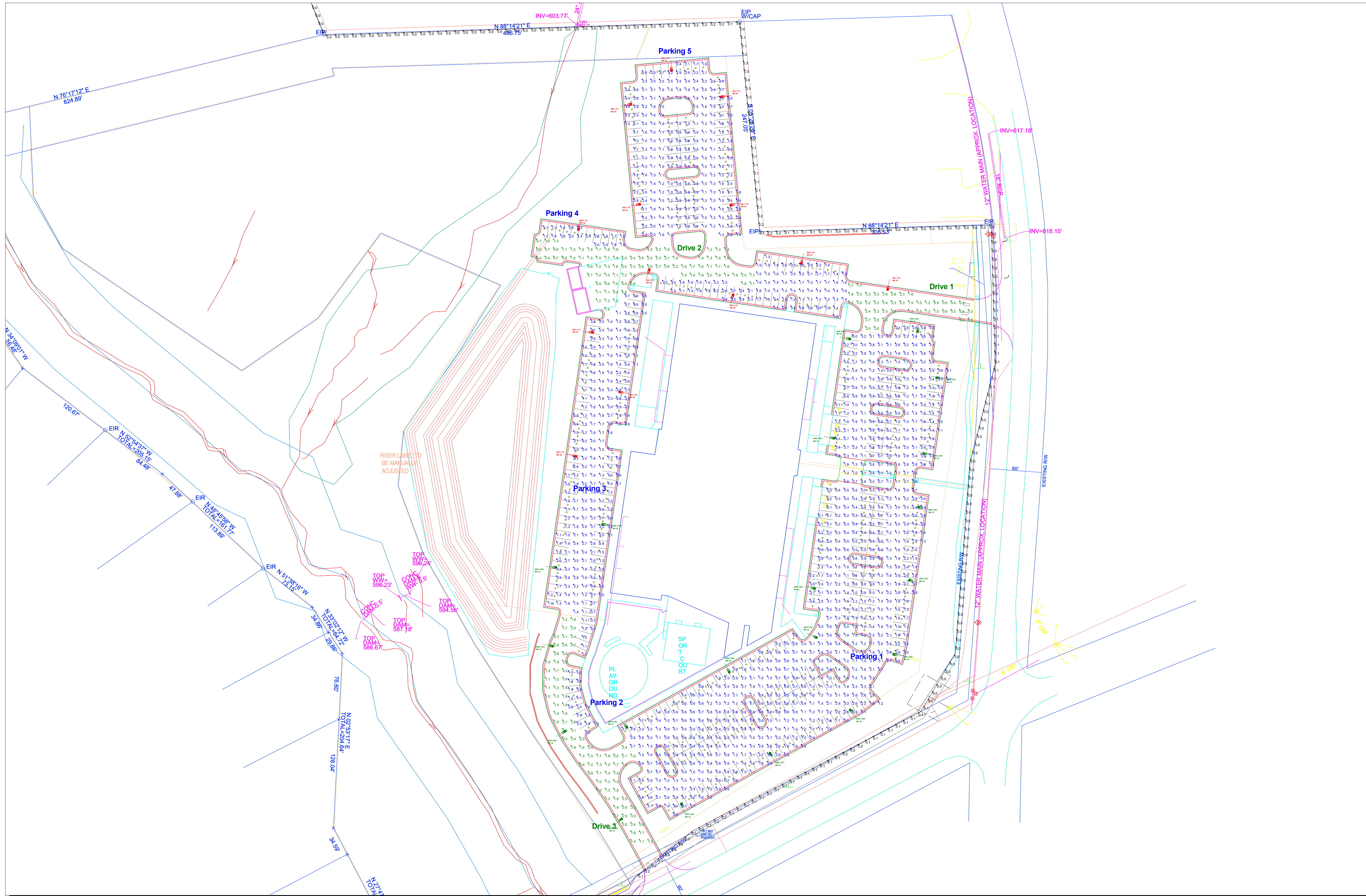


B1 A-201 Elevation - Exterior - West - Overall **3/32" = 1'-0"** **4 A-201 Elevation - Exterior - East - Overall** **3/32" = 1'-0"**



A1 A-201 Elevation- Exterior - North - Overall **3/32" = 1'-0"**

11/11/2021 2:21:23 PM



Scale: 1 inch= 55 Ft.

THIS IS A D SIZE SHEET. THE NOTED SCALE IS NOT VALID IF PRINTED AS ANY OTHER SIZE.

The magnitude of the differences between existing analysis methods and field measurements varies. In general, differences of less than 20% can be expected. In extreme cases, where a calculation method cannot handle the complexity of the lighting system, they may be greater. A more complete discussion of the uncertainties is available.

ANSI/EES L4-00
Lighting Science: Calculation of Light and Its Effects

Provided for:
Conrad Stuntz
Utility Service Agency &
GE Current,
A Daintree Company



Provided By:
Application Solution Center
GE Current, a Daintree company
NELA Park
East Cleveland, OH
apps@gecurrent.com

Designer: Joshua Watkins

Date: 3/30/2022

GE Drawing #: A22011C-Summit Church Mebane, NC.AGI

Summit Church Parking Lots
Mebane NC
EVOLVE LED LUMINAIRE- ERS1 & ERL1
MOUNTING HEIGHTS at 30ft
HORIZONTAL FC AT GRADE
MAINTAINED OUTPUT SHOWN

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Watts	Arr. Lum. Lumens
	20	ERS1 C3D1	SINGLE	1.000	1-ERS10C3D11402BLCK	143	10700
	13	ERL1 11C	SINGLE	1.000	1-ERL1011C540_____	87	11000

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Drive 1	Illuminance	Fc	1.71	3.0	0.2	8.55	15.00
Drive 2	Illuminance	Fc	1.53	3.0	0.4	3.83	7.50
Drive 3	Illuminance	Fc	1.88	3.3	0.8	2.35	4.13
Parking 1	Illuminance	Fc	1.50	3.9	0.1	15.00	39.00
Parking 2	Illuminance	Fc	1.55	2.9	0.9	1.72	3.22
Parking 3	Illuminance	Fc	1.73	3.7	0.5	3.46	7.40
Parking 4	Illuminance	Fc	1.92	3.3	1.1	1.75	3.00
Parking 5	Illuminance	Fc	1.56	3.4	0.7	2.23	4.86
Parking 6	Illuminance	Fc	1.66	3.5	0.8	2.08	4.38
Property Line	Illuminance	Fc	0.08	0.4	0.0	N.A.	N.A.

Notes:

- 1) Fixtures placed strategically to hit 1.5FC avg.
- 2) Color Temp is 4000K
- 3) Calc points are spaced 10ft apart and at grade.
- 4) Mounting Height is 30ft.
- 5) LLF is 1.00
- 6) Building is set as a 30ft obstruction.
- 7) Arm length is 6ft.
- 8) No other light contribution is considered.
- 9) Design was created from scaled CAD file. Light levels are deemed accurate.



The magnitude of the differences between on-site analysis methods and field measurements varies. In general, differences of less than 20% can be expected. In extreme cases, where a calculation method cannot handle the complexity of the lighting system, they may be greater. A more complete discussion of the uncertainties is available.

ANSI / IES L.S.-00
Lighting Science: Calculation of Light and Its Effects

Provided for:
Conrad Stuntz
Utility Service Agency &
GE Current,
A Daintree Company

Provided By:
Application Solution Center
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NELA Park
East Cleveland, OH
apps@gecurrent.com

Designer: Joshua Watkins	Date: 3/30/2022	GE Drawing #: A220111C-Summit Church Mebane, NC/AGI
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Summit Church Parking & Drive
Mebane NC
EVOLVE LED LUMINAIRE- ERS1 & ERL1
MOUNTING HEIGHTS at 30ft
HORIZONTAL FC- AT GRADE
MAINTAINED OUTPUT SHOWN

PLANNING PROJECT REPORT

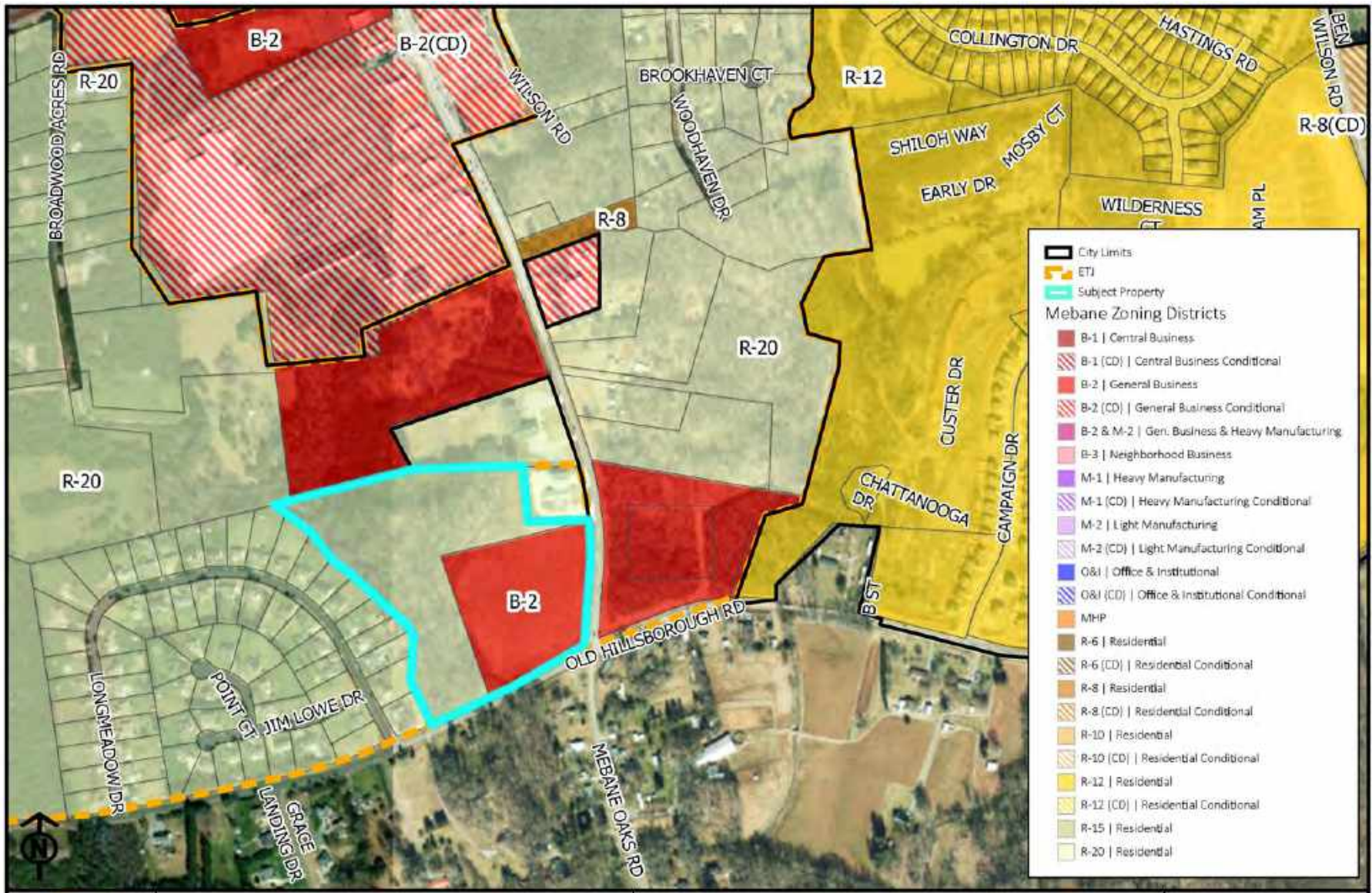
DATE	06/02/2022
PROJECT NUMBER	RZ 22-04
PROJECT NAME	The Summit Church
APPLICANT	The Summit Church 2335 Presidential Drive, Suite 114 Durham, NC 27703

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STAFF ZONING REQUEST RECOMMENDATION	PAGE 10

ZONING REPORT

EXISTING ZONE	R-20 (Residential) and B-2 (General Business)
REQUESTED ACTION	B-2(CD) (General Business, Conditional Zoning District)
CONDITIONAL ZONE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
CURRENT LAND USE	Vacant, open field and forested stream buffer
PARCEL SIZE	+/- 21.33 acres
PROPERTY OWNER	The Summit Church Homestead Heights Baptist Church Inc 2335 Presidential Drive, Suite 114 Durham, NC 27703
LEGAL DESCRIPTION	Request to rezone the +/- 21.33-acre property located on the northwest corner of Mebane Oaks Rd and Old Hillsborough Rd (PIN 9824013830) from B-2 and R-20 to B-2 (CD) to allow for a 60,000-s.f. place of worship by The Summit Church.
AREA ZONING & DISTRICTS	The adjacent properties to the west of the subject site are zoned R-20, Residential. The properties to the north are zoned B-2, General Business, and R-20. The property to the east of the site across Mebane Oaks Road is zoned B-2. The properties to the south are located in Alamance County and do not have zoning.
SITE HISTORY	The applicant previously received approval in April 2022 from the City of Mebane TRC for the same use as a by-right development on the B-2 portion of the property. The applicant has since revised the site plan, expanding the parking lot into the northeast portion of the property that is currently zoned R-20, which necessitates rezoning the property. There is a 6.2-acre conservation easement along the creek and floodplain on the western portion of the property. This area is to remain undisturbed in perpetuity per the requirements of the easement.
STAFF ANALYSIS	
CITY LIMITS?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
PROPOSED USE BY-RIGHT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Places of worship are permitted on the B-2 portion of the property.
SPECIAL USE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
EXISTING UTILITIES?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
POTENTIAL IMPACT OF PROPOSED ZONE	A portion of the property is already zoned B-2 and is surrounded by other B-2 properties. The site-specific conditional zoning would restrict the use on the property to only that on the proposed site plan (60,000 s.f. place of worship). The use is allowed by-right in the B-2 zoning district. The R-20 portion of the property to be rezoned includes a conservation easement which prohibits any future development within this easement.



**CITY OF MEBANE
ZONING MAP**

**Conditional Rezoning
The Summit Church**

1 inch = 600 feet

DATE: 07/05/2022

DRAWN BY: AV

LAND USE REPORT

EXISTING LAND USE	Vacant, open field, and forest cover
PROPOSED LAND USE & REQUESTED ACTION	The applicant is requesting a conditional rezoning to develop the +/- 21.33-acre property located on the northwest corner of Mebane Oaks Road and Old Hillsborough Road (PIN 9824013830) to allow for a 60,000-s.f. place of worship by The Summit Church.
PROPOSED ZONING	B-2 (CD) (General Business, Conditional Zoning District)
PARCEL SIZE	+/- 21.33
AREA LAND USE	Surrounding uses immediately adjacent to the property include the Mebane Fire Department, Agape Baptist Church, and single-family residential including the Longmeadow Subdivision.
ONSITE AMENITIES & DEDICATIONS	The applicant will provide a 5' sidewalk on the frontage along Mebane Oaks Road and a 10' public multi-use path extending along the property's frontage on Old Hillsborough Road to the maximum extent practicable. Should environmental or right of way constraints present constructability obstacles for a part of the multi-use path, including the stream crossing, the applicant will provide a payment in lieu at 125% of the outstanding costs.
WAIVER REQUESTED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OF REQUESTED WAIVER(S)	

CONSISTENCY WITH *MEBANE BY DESIGN* STRATEGY

LAND USE GROWTH STRATEGY DESIGNATION(S) G-2 Residential (Jones Drive & S Mebane Oaks Rd)
Conservation Area

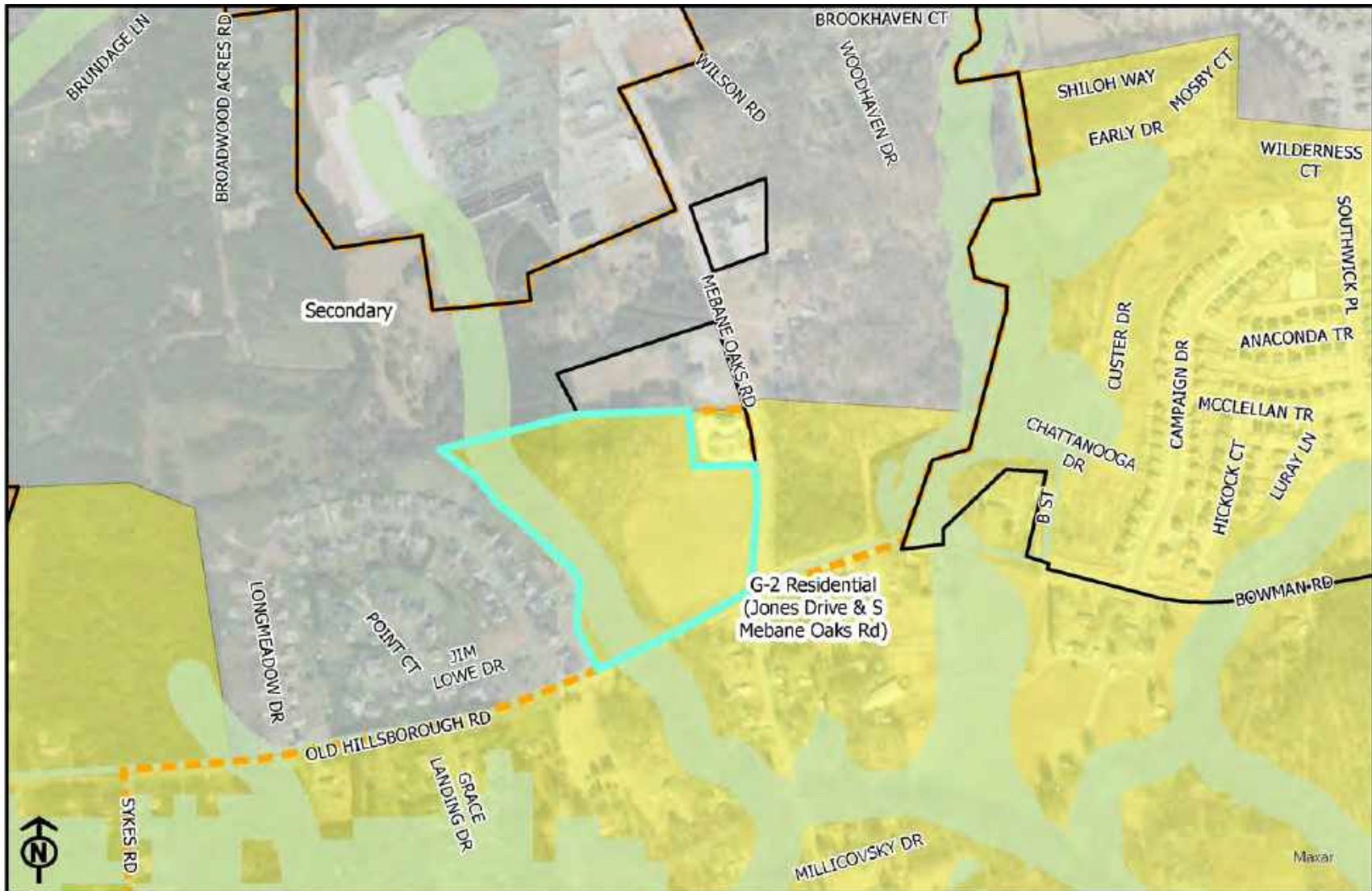
OTHER LAND USE CONSIDERATIONS 6.2 Acre Conservation Easement

***MEBANE BY DESIGN* GOALS & OBJECTIVES SUPPORTED** GROWTH MANAGEMENT 1.6
Require that commercial development be pedestrian-friendly, supporting walking between differing land uses while also reducing parking requirements.

OPEN SPACE AND NATURAL RESOURCE PROTECTION 4.2
Provide greenways, parks and open space connectivity between different land uses and across major transportation corridors, thereby advancing safety and health.

OPEN SPACE AND NATURAL RESOURCE PROTECTION 4.3
Support park, greenway, and open space expansion in developed and developing areas, prioritizing connectivity between each location.

***MEBANE BY DESIGN* GOALS & OBJECTIVES NOT SUPPORTED**



CITY OF MEBANE
Future Growth Area Map

Conditional Rezoning
The Summit Church

1 inch = 600 feet

DATE: 06/06/2021

DRAWN BY: AV

UTILITIES REPORT

AVAILABLE UTILITIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED UTILITY NEEDS	Per the memorandum from Franz Holt of AWCK, the project is estimated to require 4,500 gallons per day of water and sewer service to support the 60,000 s.f. place of worship. It features 12" water and sewer lines to connect to the existing system on Mebane Oaks Road.
UTILITIES PROVIDED BY APPLICANT	Applicant has pledged to provide all on-site utilities, as described in AWCK's Technical Memo.
MUNICIPAL CAPACITY TO ABSORB PROJECT	The City has adequate Water & Sewer Supply to meet the domestic and fire flow demands of the project.
CONSISTENCY WITH MEBANE LONG RANGE UTILITY PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
ADEQUATE STORMWATER CONTROL?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
INNOVATIVE STORMWATER MANAGEMENT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

TRANSPORTATION NETWORK STATUS

CURRENT CONDITIONS	<p>The proposed development includes two driveway connections: Mebane Oaks Road and Old Hillsborough Road.</p> <p>Old Hillsborough Road is a state-maintained route. The average daily traffic volume along Old Hillsborough Road near the proposed site is 4,300 vehicles per day. The safety score for the portion of this road in front of the site is 66.7 and total crash frequency of 9 at the intersection of Mebane Oaks Road. Mebane Oaks Road is a state-maintained secondary route with an average daily traffic volume of 25,000 trips between the I-40/I-85 ramps and Old Hillsborough Road. This section of the road has a Safety Score of 44.4, reflecting a history of traffic incidents on the road. Mebane Oaks Road has a current Level of Service (LOS) F and is projected to have a LOS D in 2040.</p> <p>The NCDOT's STIP I-5711 planned widening of Mebane Oaks Road ends north of the proposed development. In addition to the widening project, a NCDOT safety improvement project has been funded at the intersection of Mebane Oaks Road and Old Hillsborough Road that will result in a traffic signal. The applicant has accounted for future NCDOT right-of-way on the site plan.</p>
--------------------	---

TRAFFIC IMPACT ANALYSIS REQUIRED?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OR RECOMMENDED IMPROVEMENTS	The TIA includes a recommendation for an exclusive southbound right turn lane with a minimum of 75' of full storage and appropriate deceleration taper at the site access on Mebane Oaks Road. However, in consideration of right-of-way constraints and impacts to the existing fire station driveway, construction of the turn lane does not appear to be

feasible. This access was evaluated without the right turn lane and is expected to operate acceptably without construction of the right turn lane. Accordingly, this improvement will not be required as a condition of the pending NCDOT driveway permit.

The Mebane 2040 Comprehensive Transportation Plan recommends widening of both Mebane Oaks Road and Old Hillsborough Road. The TIA found that the project would not warrant either of these improvements.

**CONSISTENCY WITH THE MEBANE
BICYCLE AND PEDESTRIAN
TRANSPORTATION PLAN?**

YES NO

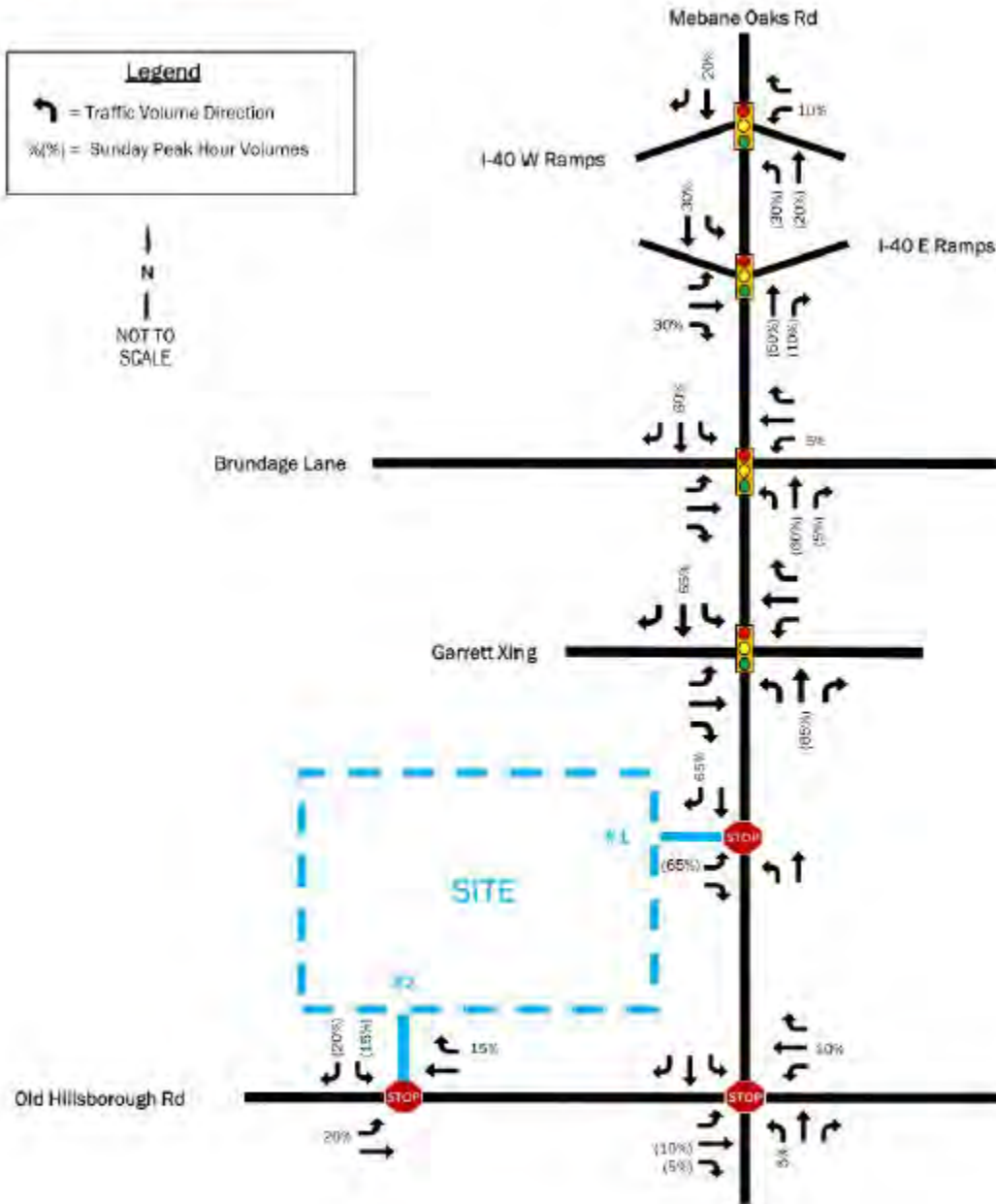
**MULTIMODAL IMPROVEMENTS
PROVIDED BY APPLICANT?**

YES NO

**DESCRIPTION OF MULTIMODAL
IMPROVEMENTS**

The applicant will provide a 5' sidewalk on the frontage along Mebane Oaks Road and a 10' public multi-use path that will extend along the property's frontage on Old Hillsborough Road to the maximum extent practicable. Should environmental or right-of-way constraints present constructability obstacles for a part of the path, including the stream crossing, the applicant will provide a payment in lieu at 125% of the outstanding costs.

Figure 8. Trip Distribution



STAFF RECOMMENDATION

**STAFF ZONING
RECOMMENDATION**

APPROVE DISAPPROVE

STAFF SPECIAL USE FINDING

CONSISTENT NOT CONSISTENT.....WITH *MEBANE BY DESIGN*

RATIONALE

The proposed development “The Summit Church” is consistent with the goals and objectives provided within *Mebane By Design*, the Mebane Comprehensive Land Development Plan. Specifically, it serves Goals 1.6, 4.2, and 4.3. The proposed development is in harmony with surrounding zoning and land uses.



June 8, 2022

Mr. Jonathan Allen, PE
NV5 Engineers and Consultants, Inc.
3300 Regency Parkway, STE 100
Cary, NC 27518

Subject: Summit Church – Water and Sewer System Layout

Dear Mr. Allen:

Regarding the Site Plans for Summit Church and in accordance with the UDO, this letter indicates that I have reviewed the preliminary water and sewer system layout and find it acceptable and meeting City of Mebane requirements as follows:

- A. Water system – The project proposes to connect to the existing 12-inch water line on Mebane Oaks Road and includes the extension of private domestic (3-inch) and fire line loop (6-inch) with appropriate backflow prevention and fire hydrant locations. The estimated water use is 4,500 gallons per day (5 gallons per seat per State 2T rules). The City has adequate water capacity available to meet the project's domestic demand and fire flow requirements.
- B. Sanitary Sewer system – The project is proposed to be served by extending a new public 12- inch sewer line (to be maintained by the city when completed) from an existing manhole located at Mebane Oaks and Old Hillsborough Road to the adjoining northern property. The developer will extend an 8-inch private sewer line to the facility from the new 12-inch public line. The estimated wastewater from this project is less than 4,500 gallons per day. The City has adequate wastewater capacity available at the downstream Southeast Regional Pump Station and at the WRRF to meet this demand.

If there are any questions, please let me know.

Sincerely,

Franz K. Holt, P.E. City Engineer
CC: Cy Stober, Development Director
Kyle Smith, Utilities Director



Technical Memorandum

Date: June 8, 2022

To: Cy Stober, Development Director

From: Franz K. Holt, P.E.

Subject: Summit Church Mebane Oaks Road – City Engineering review

City Engineering has reviewed Site Plans submitted for Summit Church on Mebane Oaks Road dated May 20th, 2022, prepared by Jonathan Allen, P.E. with NV5 Engineers and Consultants, Inc. and technical review comments are as follows:

A. General Summary

1. The Summit Church project includes a nine hundred seat 60,000 square foot facility (one story) on 21.33 acres at the intersection of Mebane Oaks and Old Hillsborough Road.
2. On-site stormwater controls will treat the runoff from a 1-inch rain and reduce the peak stormwater discharge rates for post construction runoff less than the pre-development rates for the 1 yr., 2 yr., 10 yr. and 100-year storm events.
3. City of Mebane public water and sewer lines are available for extension and to the facility. Additionally, the developer will extend a public sewer line to the adjoining property to the north per agreement between the two parties.
4. Street Access is with one proposed driveway connection to Mebane Oaks Road with no turn lanes and to Old Hillsborough Road with no turn lanes.
5. The proposed water, sewer, driveway, landscaping, and sidewalk improvements address the planned NCDOT signal and turn lane improvements at the intersection of Mebane Oaks Road and Old Hillsborough Road.
6. The plans include sidewalk along the Mebane Oaks frontage and a ten-foot paved multi-use path along Old Hillsborough Road.
7. NCDOT requires driveway permits for each driveway connection along with encroachment agreements for sidewalk/multi-use path and utilities.



B. Availability of City Water and Sewer

Regarding the Site Plans for Summit Church and in accordance with the UDO, this memo provides that I have reviewed the preliminary water and sewer system layout and find it acceptable and meets City standards based on the following:

1. Water system – The project proposes to connect to the existing 12-inch water line on Mebane Oaks Road and includes the extension of private domestic (3-inch) and fire line loop (6-inch) with appropriate backflow prevention and fire hydrant locations. The estimated water use is 4,500 gallons per day (5 gallons per seat per State 2T rules). The City has adequate water capacity available to meet the project’s domestic demand and fire flow requirements.
2. Sanitary Sewer system – The project is proposed to be served by extending a new public 12- inch sewer line (to be maintained by the city when completed) from an existing manhole located at Mebane Oaks and Old Hillsborough Road to the adjoining northern property. The developer will extend an 8-inch private sewer line to the facility from the new 12-inch public line. The estimated wastewater from this project is less than 4,500 gallons per day. The City has adequate wastewater capacity available at the downstream Southeast Regional Pump Station and at the WRRF to meet this demand.

C. Watershed Overlay District and Phase II Stormwater Requirements

1. Watershed Overlay District requirements.

These requirements in the UDO are include the Back-Creek Watershed and Graham-Mebane Lake. The project is tributary to the Little Haw Creek; a Class V watershed and the Watershed Overlay District requirements do not apply to this project. This type of watershed classification (Class V) does not have density restrictions or built upon restrictions as required for the Graham Mebane Lake watershed.

2. Phase II Stormwater Post Construction Ordinance

Sec. 5.4 in the UDO provides standards for Storm Water Management and 5.4.F requires compliance with the Mebane Post Construction Runoff Ordinance (which is a stand-alone ordinance titled the Phase II Stormwater Post Construction Ordinance (SPCO)). The standards in the UDO are general



standards as the Ordinance itself provide detailed standards. The SPCO does apply to this project as more than one disturbed acre and the project is not part of an approved common plan. Built upon areas of more than 24% require engineered stormwater controls. Current plans provide for a fenced wet pond provides stormwater detention for the 1 yr. 2 yr., 10, yr. and 100 yr. storm events where post construction stormwater runoff peak discharges are less than predevelopment rates.

D. Storm Drainage System

The UDO provides requirements for storm drainage systems. The site plans include a storm drainage system layout that indicates certain pipe locations, inlets, and all directed to the engineered stormwater control device located at the rear of the property.

E. Street Access and TIA

This project will include one driveway access point connecting to Mebane Oaks Road and one access to Old Hillsborough Road. NCDOT's review of the TIA indicated that the driveway connections will operate in an acceptable manner with no additional improvements with the completion of NCDOT improvements (I-40 Interchange to Garret Crossing signal and the Mebane Oaks Road and Old Hillsborough Road signal improvements with turn lanes).

F. Construction Plan Submittal

TRC has reviewed submitted site construction plans.

TRAFFIC STUDY FOR

THE SUMMIT CHURCH

Mebane Campus

DATE:

December 6, 2021

LOCATION:

Mebane, North Carolina

PREPARED FOR:

The Summit Church

PREPARED BY:

NV5 Engineers & Consultants
3300 Regency Parkway, Suite 100
Cary, North Carolina 27518
919.836.4800



NV5

nv5.com

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- Appendix D – Approved Developments
- Appendix E – NCDOT I-5711 Public Meeting Map
- Appendix F – Trip Generation
- Appendix G – Synchro Reports
- Appendix H – Turn Lane Warrants
- Appendix I – Scoping Documentation

A. Introduction

A new 55,000 square foot church is proposed for construction in Mebane, North Carolina. The site is located in the northwest quadrant of the Mebane Oaks Road & Old Hillsborough Road intersection. The development will be accessed by two site driveways: one along Mebane Oaks Road and one on Old Hillsborough Road. The project is anticipated to be completed by 2023.

This report identifies the expected impacts of new vehicular trips generated by the site on the surrounding network upon completion of the development. This study includes analysis of the intersections of Mebane Oaks Road & I-40 W Ramps, Mebane Oaks Road & I-40 E Ramps, Mebane Oaks Road & Brundage Lane, Mebane Oaks Road & Garrett Crossing (Walmart Entrance), Mebane Oaks Road & Old Hillsborough Road and at the two access driveways. The impacts of the proposed site at the study intersections are evaluated during the highest peak hour of a Sunday morning.

The report analyzes traffic in 2020 Existing, 2023 No-Build, and 2023 Build scenarios, evaluates traffic impacts utilizing Levels of Service (LOS), and provides conclusions and recommendations from the analysis. Figure 1 depicts the site location in Alamance County. The existing site layout and study intersections are shown on an aerial image in Figure 2. A detailed site plan is included in Appendix A.

Figure 1. Vicinity Map

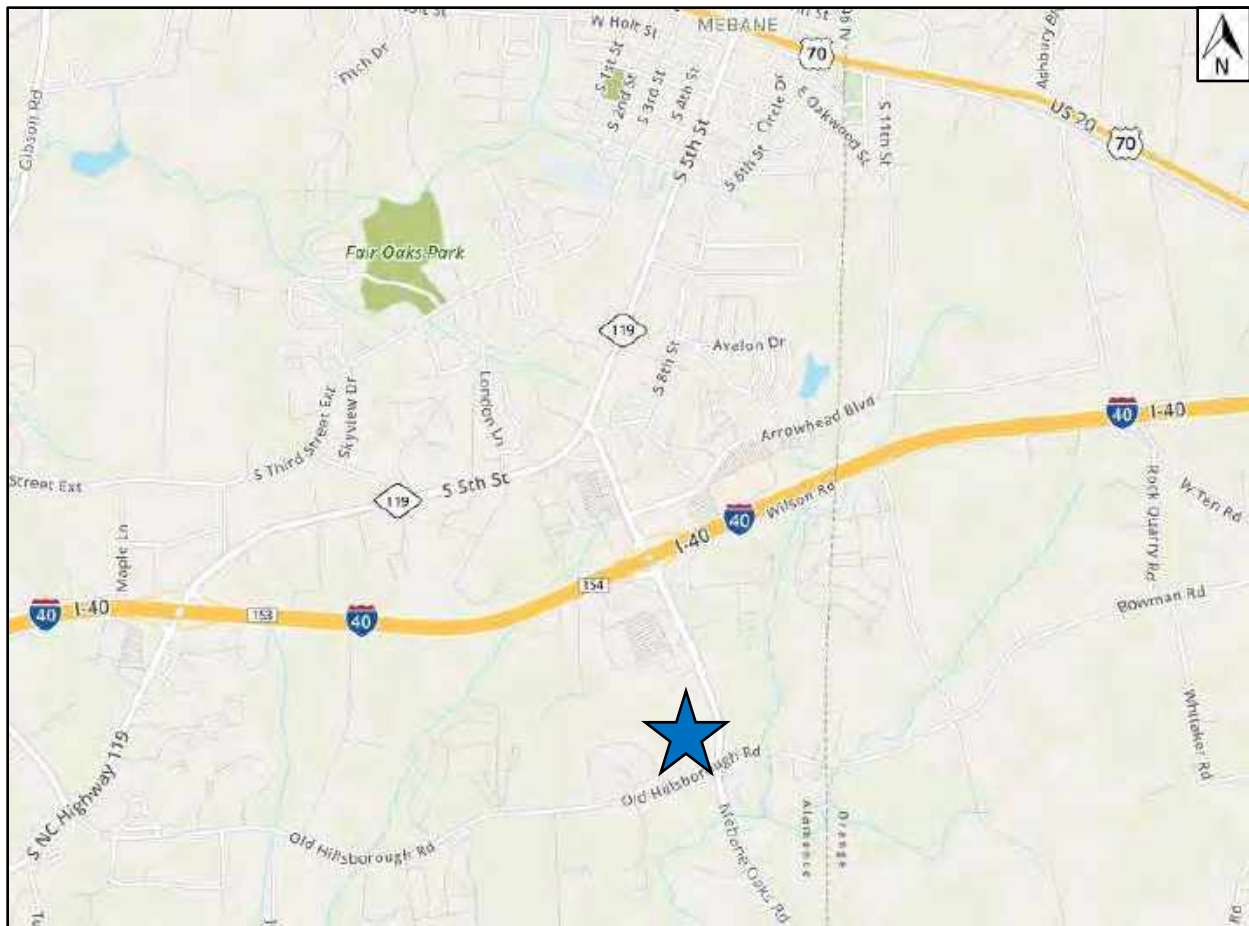
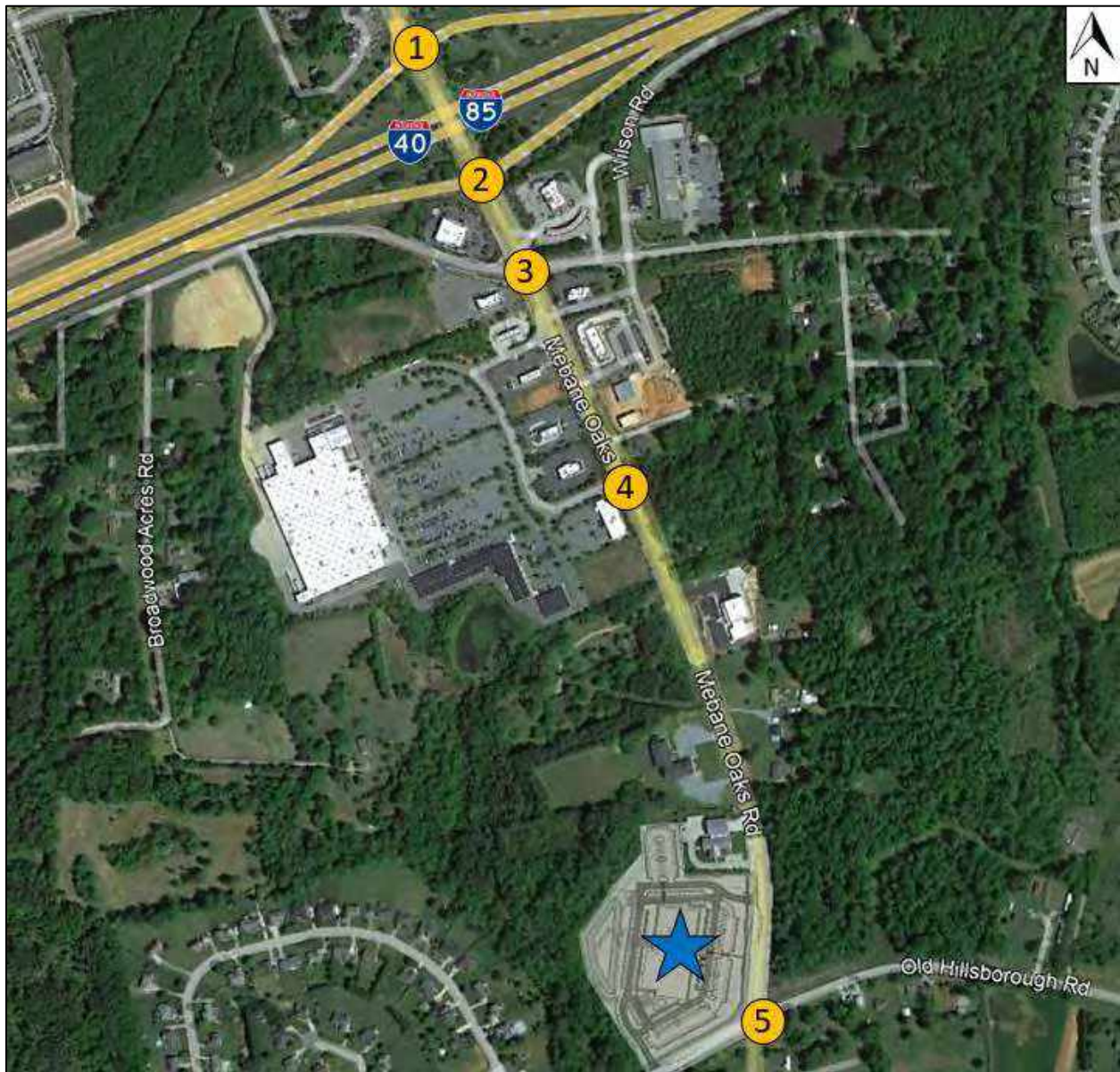


Figure 2. Site Location Aerial



Study Intersections

1. Mebane Oaks Road at I-40 Westbound Ramps
2. Mebane Oaks Road at I-40 Eastbound Ramps
3. Mebane Oaks Road at Brundage Lane/Forest Oaks Lane
4. Mebane Oaks Road at Garret Crossing
5. Mebane Oaks Road at Old Hillsborough Road

B. Existing Conditions

B.1. Transportation Facilities

I-40 is an eight-lane interstate highway with a posted speed limit of 65 MPH. The highway provides access to towns in Alamance and Orange Counties. The highway merges with I-85 west of the project area and continues north to Virginia and south to South Carolina. Commuters can access the project area via the Mebane Oaks Road Interchange. The interchange provides local residents and regional commuters access to fueling stations, restaurants, and the Tanger Outlets. The diamond interchange is scheduled for improvements under NCDOT State Transportation Improvement Program (STIP) project I-5711. The project is scheduled for completion in 2023.

Mebane Oaks Road is a two-lane undivided, north-south roadway with a posted speed limit of 45 MPH. North of the site, near the interstate, the roadway widens to a four-lane facility with exclusive turning lanes and a posted speed limit of 35 MPH. This major collector is an important commuter route connecting residential areas to commercial and industrial areas as well as providing connection to I-40/85. Consistent sidewalk or dedicated bicycle lanes are not available along this roadway in the study area. Several traffic signals exist along Mebane Oaks Road; existing and future plans are provided in Appendix B.

Brundage Lane/Forest Oaks Lane is a two-lane, east-west local road with a posted speed limit of 25 MPH. The roadway provides access for neighborhoods east and west of the site to Mebane Oaks Road. There are several existing commercial developments in the area that have access from this roadway.

Garrett Crossing is a multilane local loop road that serves the Wal-Mart shopping center.

Old Hillsborough Road is a two-lane east-west roadway with a posted speed limit of 45 MPH. The roadway provides access to neighborhoods east and west of the site from Mebane Oaks Road. No sidewalk or dedicated bicycle lanes exist along this roadway in the project area.

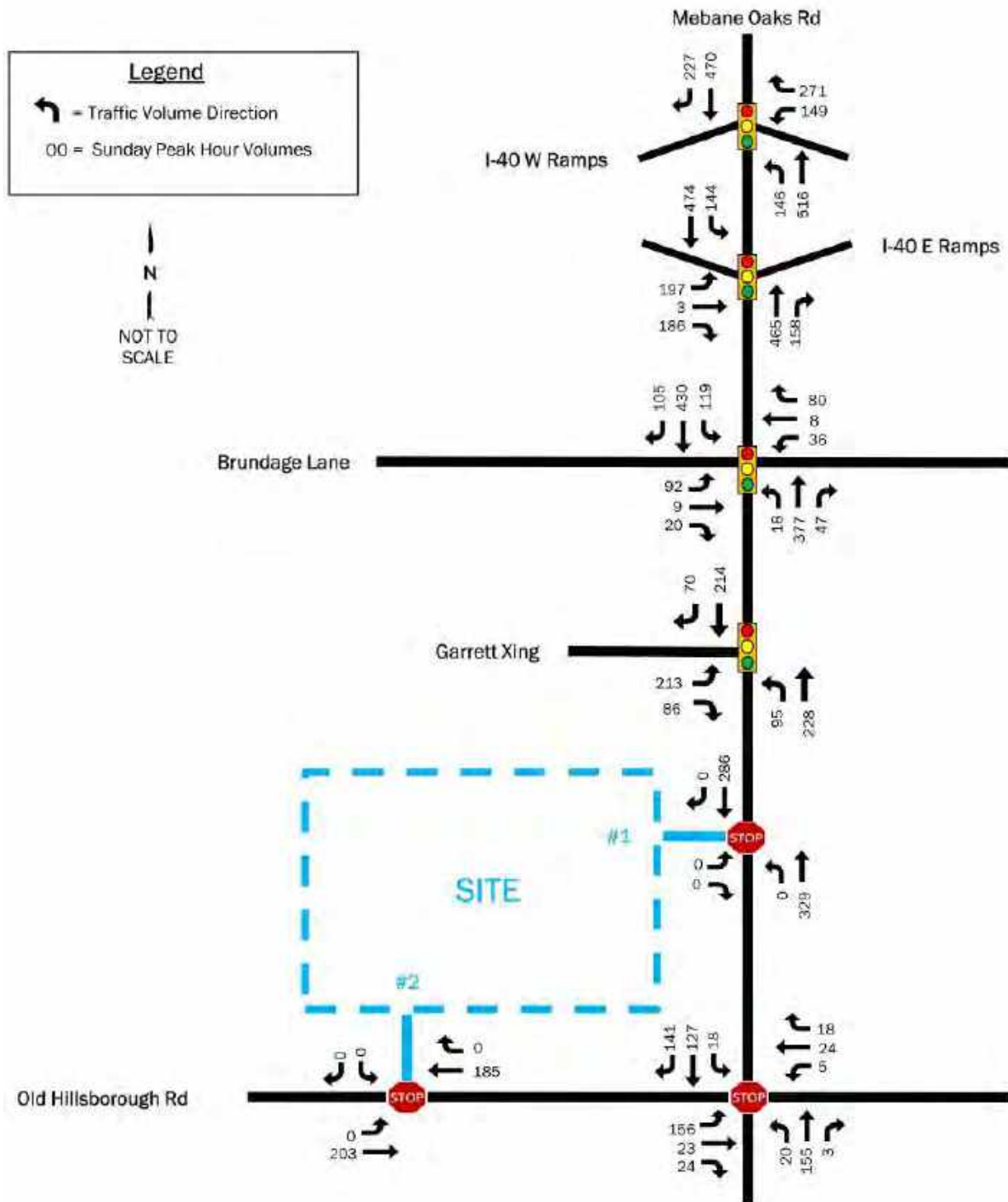
B.2. Traffic Volumes

Turning movement traffic counts for the analysis were collected on Sunday, January 19, 2020 between 8:30 AM and 12:30 PM. The peak hour counts at the study intersections are shown in Figure 3 (Existing Traffic Volumes). Note that there was no bicycle or pedestrian activity observed during count collection.

Average annual daily traffic (AADT) volumes for the study area were provided by NCDOT. The 2017 traffic data reported 114,000 vehicles per day (vpd) on I-40, 26,000 vpd on Mebane Oaks Road just north of Forest Oaks Lane, and 4,300 vpd along Old Hillsborough Road near the proposed site.

Local data from The Summit Church Apex Campus was collected on Sunday, January 26, 2020 between 8:30 AM and 12:30 PM. Like the proposed site, the Apex Campus has services at 9:00 AM and 10:45 AM. Detailed existing intersection counts, AADT information, and the Apex Campus traffic operations can be found in Appendix C.

Figure 3. 2020 Existing Volumes



C. Future Conditions

C.1. Background Traffic

Background traffic growth for the 2023 analysis year is expected to come from two sources: ambient regional traffic growth and development-related traffic growth. To account for ambient area-wide traffic growth, an annual growth rate of one (1) percent was applied to existing traffic volumes. This rate was chosen based on historic daily traffic growth patterns in the project study area. The adjusted 2023 traffic volumes are shown in Figure 4.

C.2. Approved Development

Six total developments – four residential, one mixed-use, and one commercial – have been approved by the City of Mebane in or near the project study area and are expected to contribute to background traffic growth by the 2023 analysis year. The amount of traffic generated from these developments will be minor on a Sunday morning. Brief overviews of each approved development are included below, while specific trip generation data is included in Appendix D of the report.

- **The Meadows** is a 369-lot subdivision located just east of the project site. Based on a field visit, approximately 50% of the homes have been constructed and are accounted for in the existing traffic counts.
- **Magnolia Glen** is a 244-lot subdivision located west of the site along Old Hillsborough Road. Based on a field visit, only a few homes have been constructed/occupied. Therefore, no site trips for this development are included in the existing traffic counts.
- **Cambridge Park** is a 730-lot subdivision located west of the site off Old Hillsborough Road and Jones Drive. Construction had not begun at the time of count collection; no site trips for this development are included in the existing traffic counts.
- **Meadowstone** is a 163-lot subdivision located east of the project site directly opposite The Meadows along Ben Wilson Road. Homes had not begun construction at the time of collection; reductions to the development's trip generation were not applied.
- **Mebane Oaks Road Residential** is a mixed-use development consisting of 74 single family homes, 248 apartments and 8,000 square feet of retail space along Mebane Oaks Road and Broadwood Acres Road just south of Walmart. While its current proposed layout is included in this study, the site is currently under review and may change in the future.
- **Mebane Oaks Road Commercial** is a 7,900 square foot commercial development currently under construction opposite Walmart along Mebane Oaks Road.

The Sunday peak trips for the approved developments (Figure 5) were added to the ambient growth traffic counts (Figure 4) to determine the 2023 No-Build traffic volumes (Figure 6).

C.3. Programmed Roadway Improvements

NCDOT Transportation Project I-5711 includes improvements to the interchange of I-40 and Mebane Oaks Road. The project is planned for completion in 2023. The project will widen the existing bridge at I-40, creating a 7-lane roadway between interchange ramps. The widening of Mebane Oaks Road will continue north to Arrowhead Boulevard and south past Forest Oaks Lane and the Wal-Mart Entrances. A copy of the I-5711 Public Meeting Map is provided in Appendix F.

A fourth leg of the Mebane Oaks Road & Garrett Crossing intersection is scheduled for construction as part of the approved Mebane Oaks Road Commercial development improvements. The east approach will form the Wilson Street Extension. The signal plans are provided in Appendix B.

The intersection of Mebane Oaks Road and Old Hillsborough Road is scheduled to be signalized as part of the mitigation improvements for The Meadows residential development. Mitigation will also include exclusive left-turn lane improvements on all approaches and a southbound right-turn lane. The Meadows is a 369-lot subdivision located just east of the project site. The development was scheduled for buildout in 2020. The signal plans are provided in Appendix B.

Figure 4. 2023 Ambient Growth Traffic Volumes

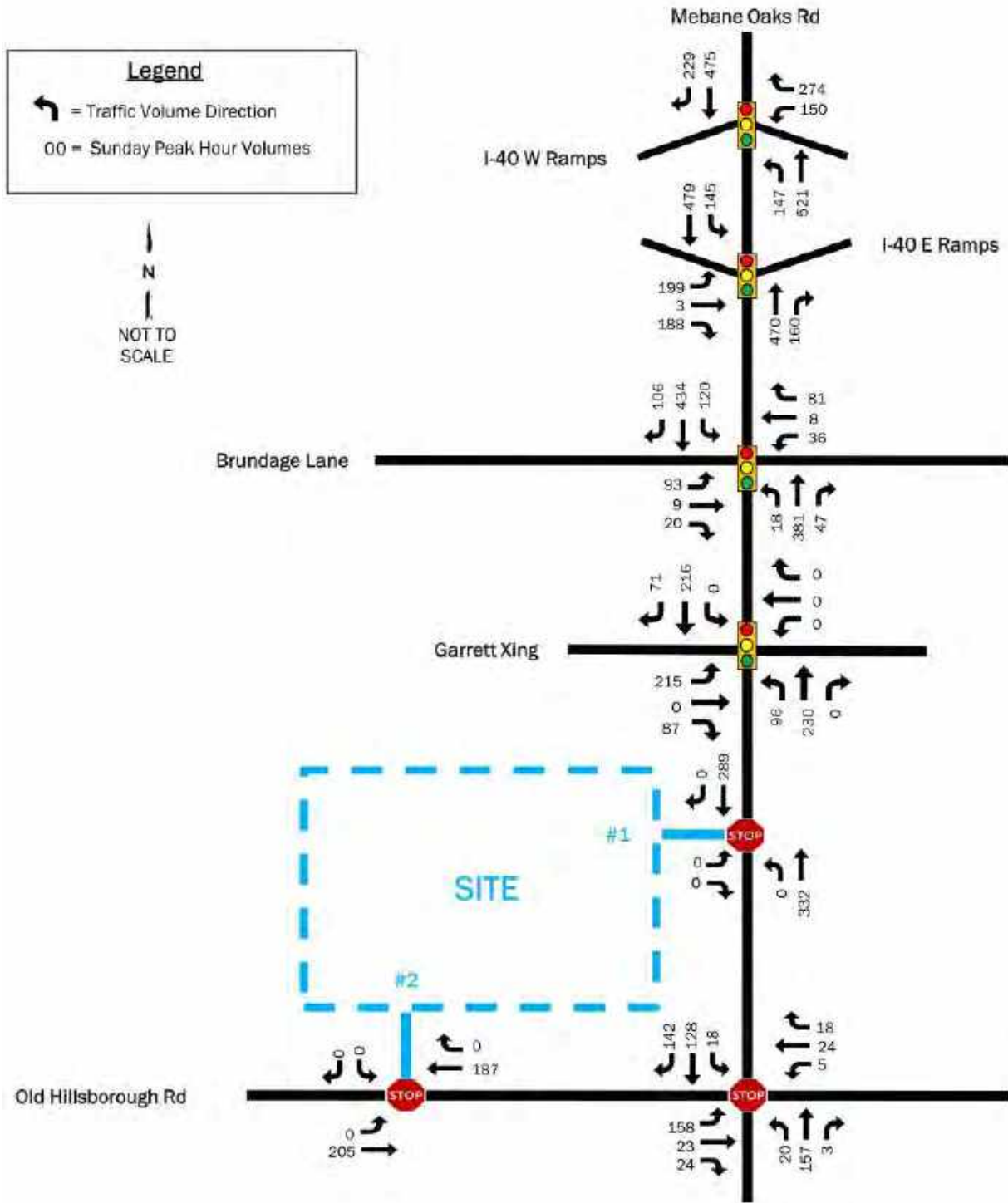


Figure 5. Approved Development Trips

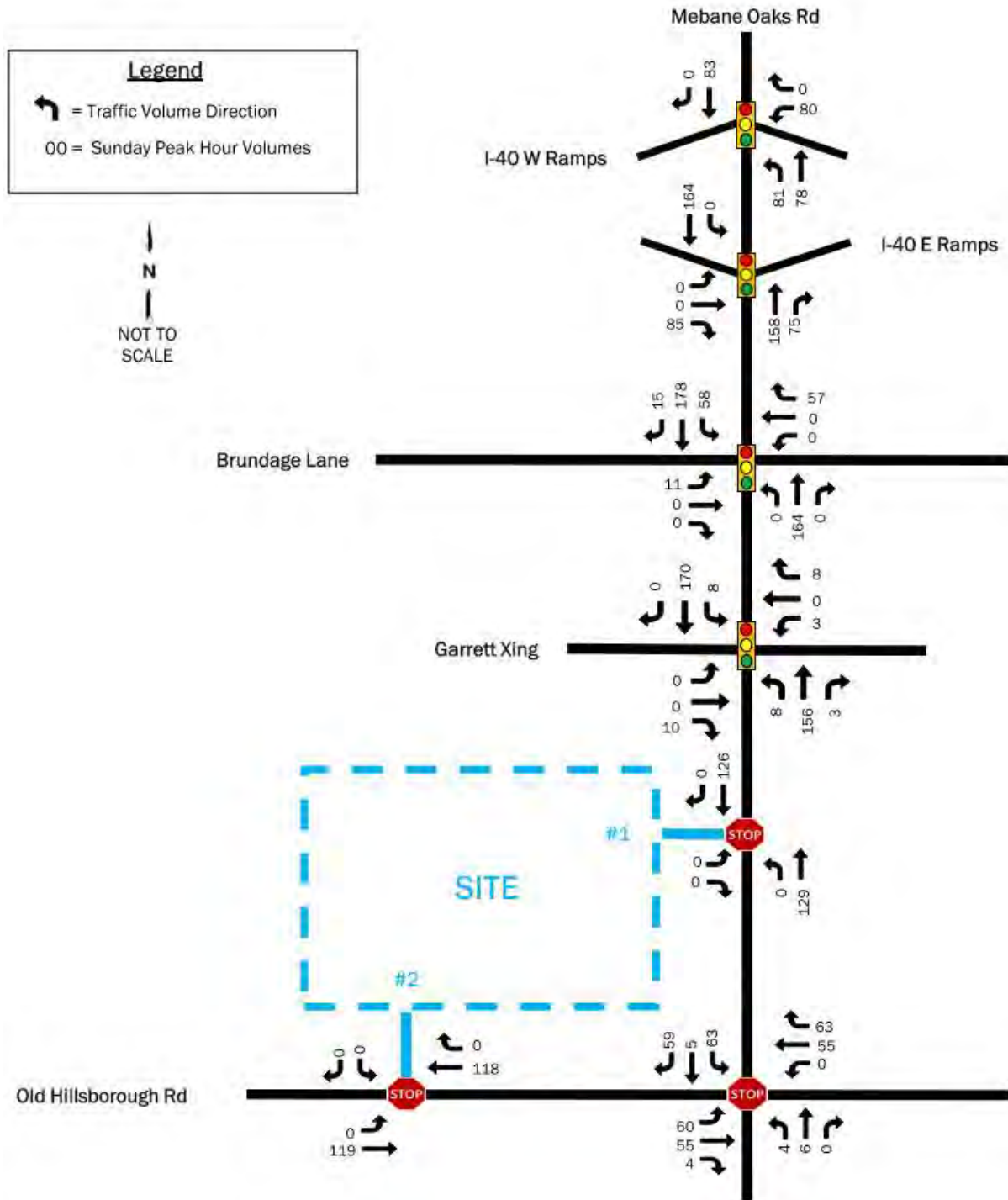
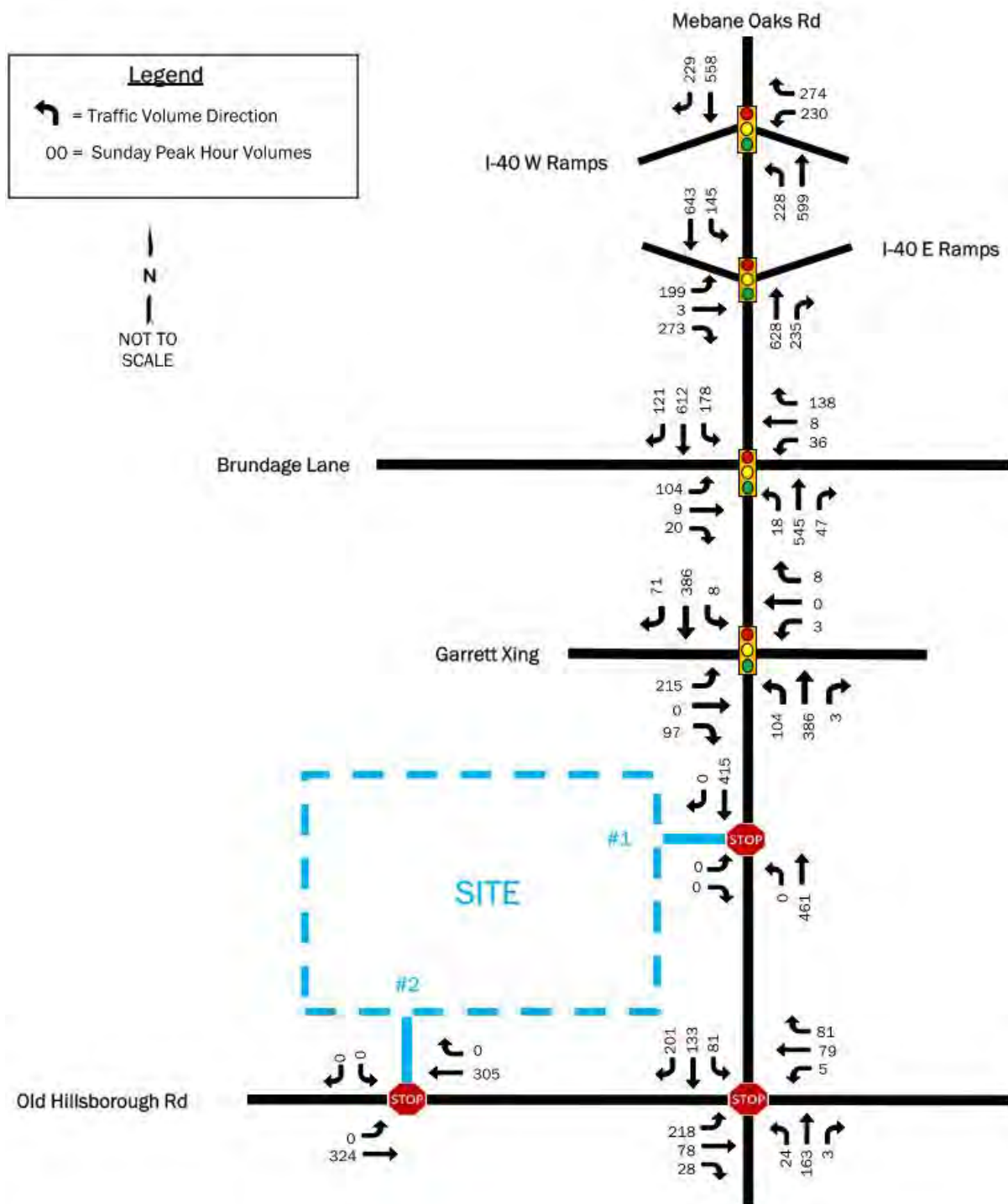


Figure 6. 2023 No-Build Volumes



C.4. Project Trip Generation

Table 1 summarizes the project trip generation calculated using the Institute of Transportation Engineers' (ITE) Trip Generation Manual, 10th Edition, 2017. This data includes Weekday AM and PM peak hour information, though these time periods were not analyzed due to the minor number of trips generated. The Sunday peak hour trips were determined upon comparison to local data collected at The Summit Church Apex Campus on Sunday, January 26, 2020.

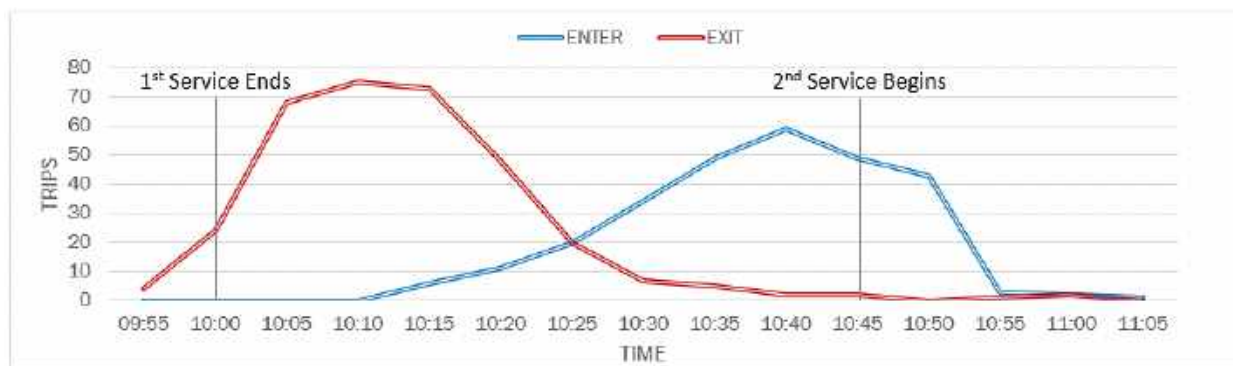
Table 1: Project Trip Generation

Land Use (Code)	Density	Time Period	Total	Inbound	Outbound
Church (560)	55,000 SF	Weekday AM Peak Hour	19	11	8
		Weekday PM Peak Hour	24	11	13
		Sunday Peak Hour of Generator	599	274	325

The Apex Campus church measures 44,408 square feet and provides 900 seats. Services begin at 9:00 AM and 10:45 AM. Based on data collected at the Apex Campus, most parishioners arrive within 15 minutes of service start time and depart within 15 minutes of service ending. This results in an overlap of traffic between the two services. The heaviest peak hour observed occurred between 10:00 AM and 11:00 AM. The local data sheets are provided in Appendix D.

The Mebane Campus proposes a 55,000-square foot building, with the same 900 seat capacity as the Apex Campus and identical service times. Based on the trip patterns of the Apex Campus, the Mebane Campus is expected to generate a total of 599 trips during the Sunday Peak Hour (274 entering, 325 exiting), which is consistent with the ITE trip generation rates for a church based on both square footage and seats. This data is used in place of ITE Sunday peak hour trip generation. Figure 7 displays the expected travel pattern for the Mebane campus.

Figure 7. Sunday Peak Hour Pattern



C.5. Trip Distribution and Assignment

Trip distribution for the site is based on an evaluation of the existing counts and typical traffic patterns in the area. Figure 8 depicts the project trip distribution patterns at each intersection. These quantities were used to generate Figure 9, which depicts the numerical distribution of the new project trips generated by the project. Figure 10 depicts the Build volumes and is representative of the traffic volumes expected once the project is completed and occupied.

Figure 8. Trip Distribution

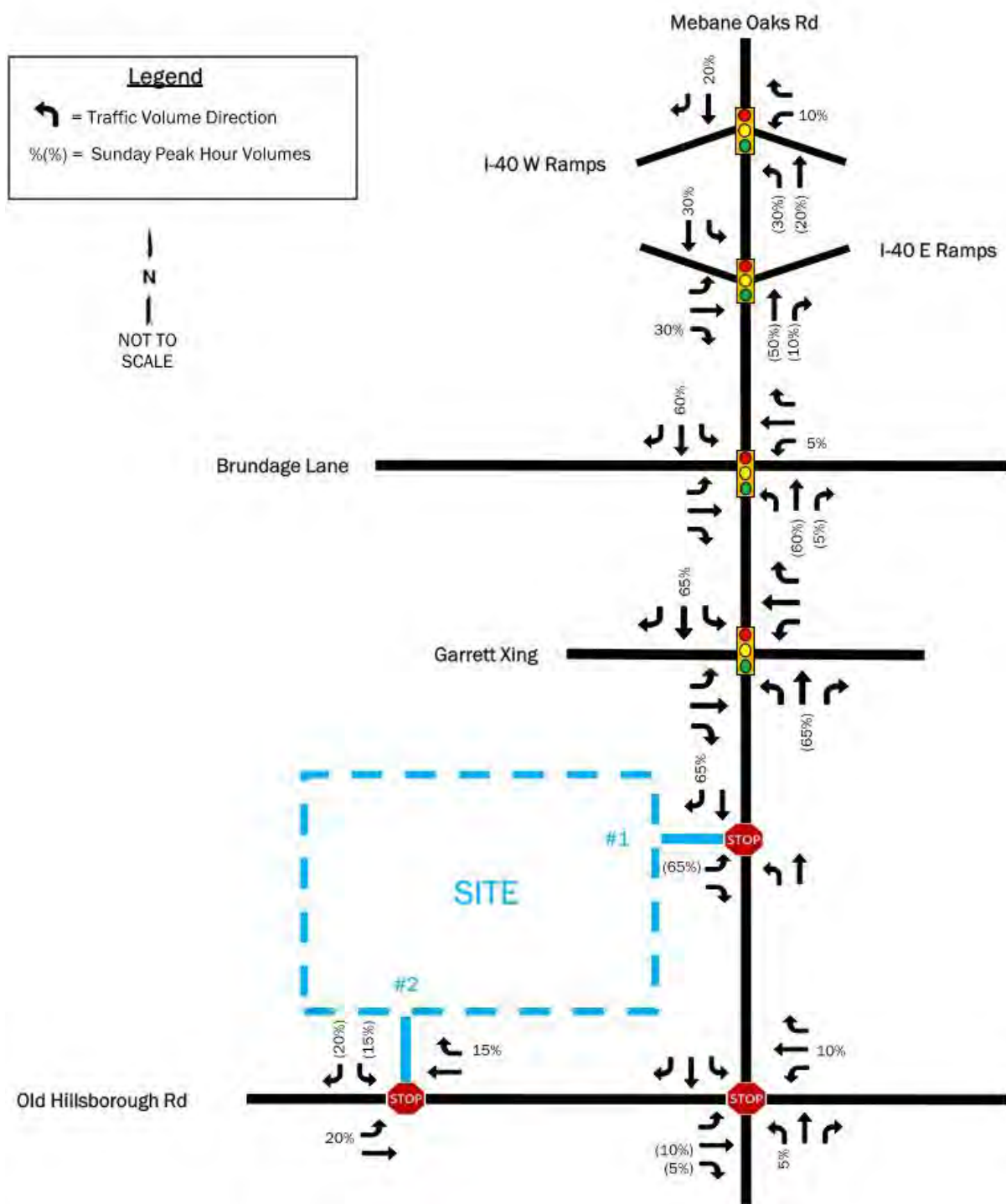


Figure 9. Site Trips

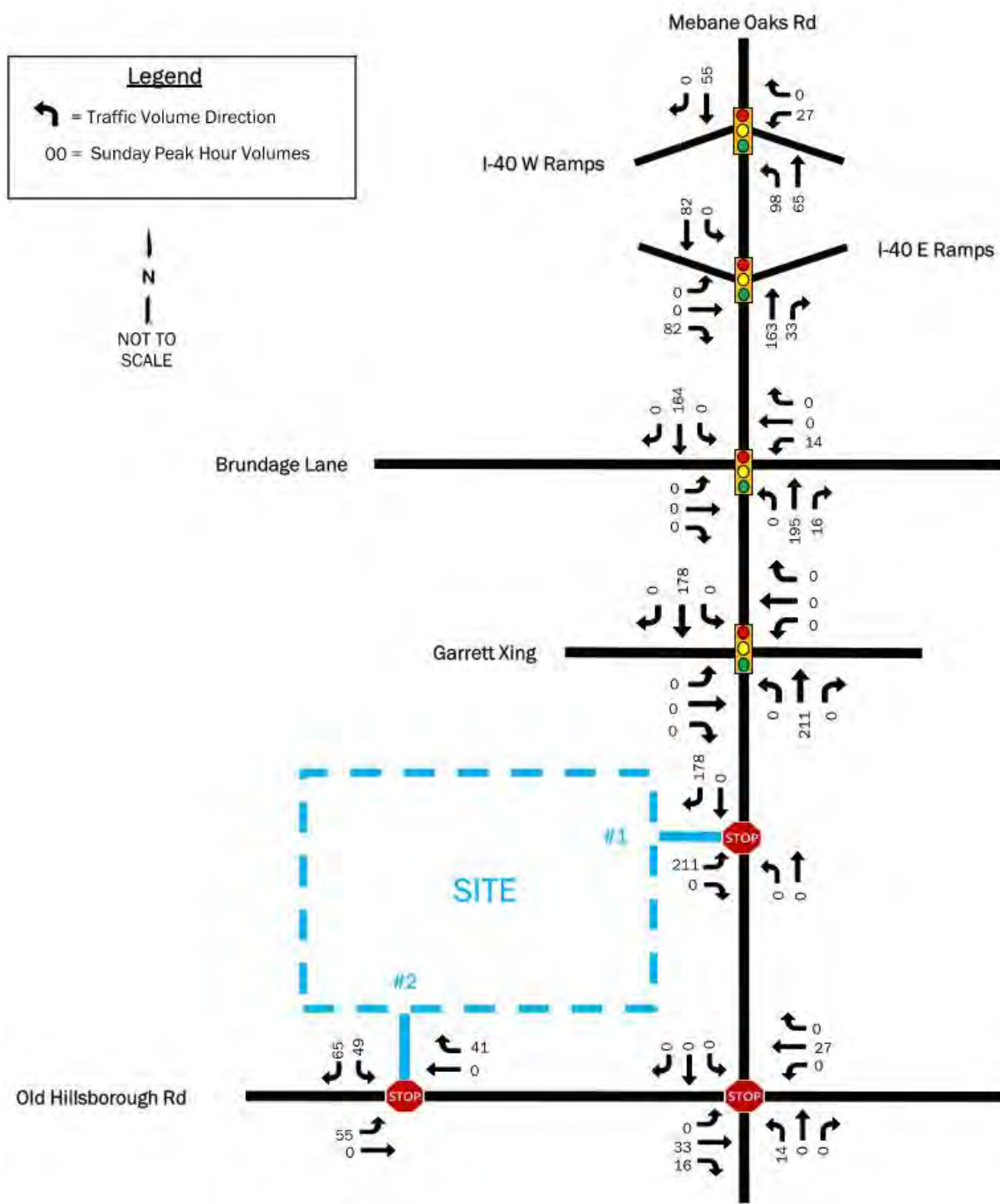
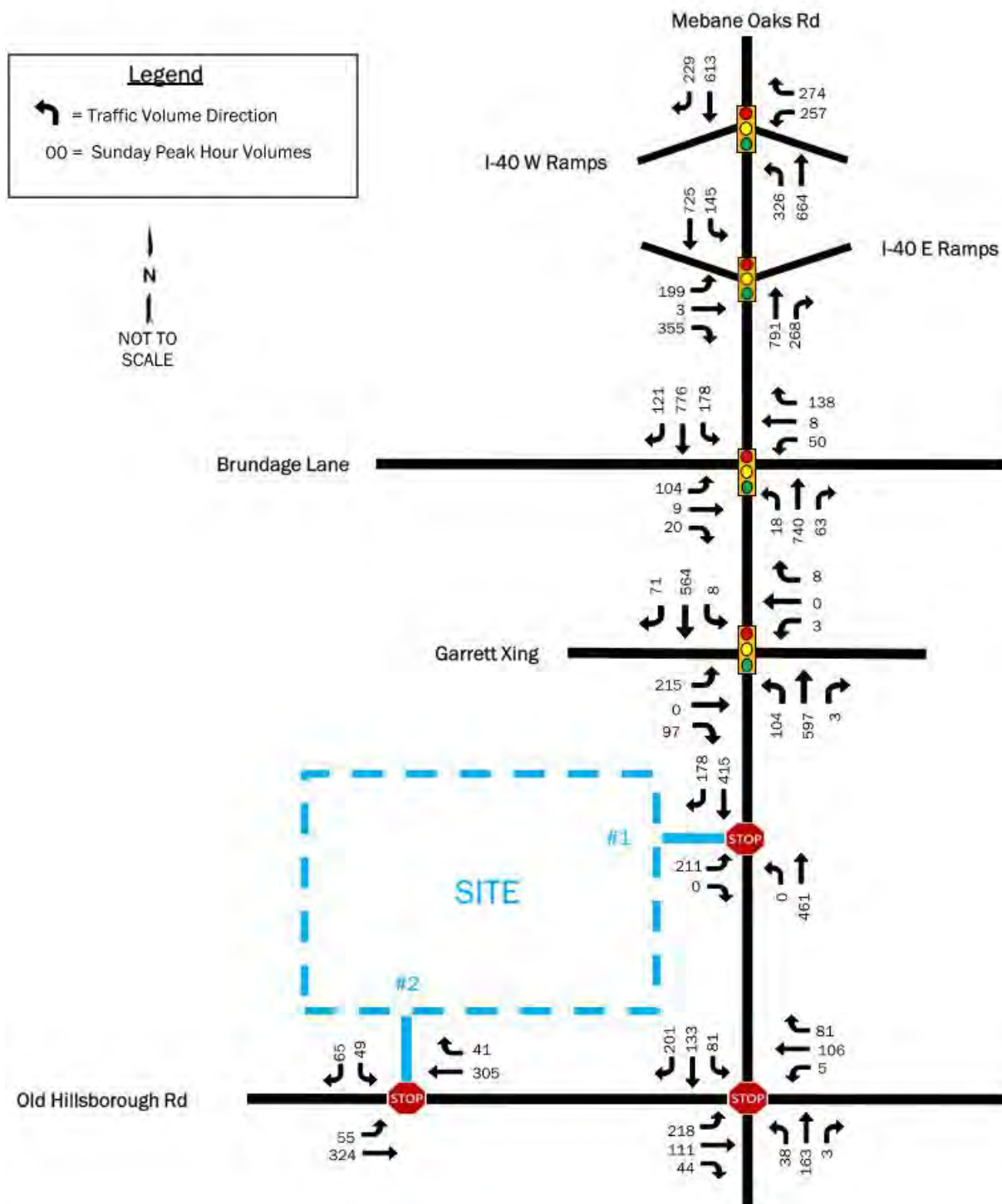


Figure 10. 2023 Build Volumes



D. Traffic Impact Analyses

D.1. Methodology

The analysis in each of the scenarios for the study was performed using the traffic analysis software Synchro® 11. Signal timings were optimized based on existing traffic volumes and after improvements are completed in the No-Build scenario. Synchro® output reports are included in Appendix H. Average vehicular delays are calculated and reported as Levels of Service (LOS) as defined by the *Highway Capacity Manual 6th Edition*, as shown below in Table 2.

Table 2: HCM Vehicular Level of Service Criteria

LOS	Signalized Intersections	Unsignalized Intersections
	Average Control Delay (s/veh)	Average Control Delay (s/veh)
A	0.0 to 10.0	0.0 to 10.0
B	10.1 to 20.0	10.1 to 15.0
C	20.1 to 35.0	15.1 to 25.0
D	35.1 to 55.0	25.1 to 35.0
E	55.1 to 80.0	35.1 to 50.0
F	80.1 and higher	50.1 and higher

D.2. Existing Capacity Analysis (2020)

The results of the 2020 Existing Conditions intersection capacity analysis are shown in Table 3 and include analysis of the volumes presented in Figure 3.

Table 3: 2020 Existing Capacity Analysis

ID	Intersection	Control	Movement	AM	
				LOS	Delay
1	Mebane Oaks Rd & I-40 WB	Signal	Overall	B	13.6
			WB	D	50.0
			NB	A	0.5
			SB	A	4.2
2	Mebane Oaks Rd & I-40 EB	Signal	Overall	B	15.9
			EB	D	48.2
			NB	A	6.9
			SB	A	4.9
3	Mebane Oaks Rd & Brundage Ln	Signal	Overall	B	15.5
			EB	D	53.0
			WB	C	32.4
			NB	B	19.6
			SB	A	2.6
4	Mebane Oaks Rd & Garrett Xing	Signal	Overall	C	23.2
			EB	D	49.7
			NB	B	18.9
			SB	A	0.3
5	Mebane Oaks Rd & Old Hillsborough Rd	Stop-Control	Overall	B	10.6
			EB	B	11.0
			WB	A	8.9
			NB	B	10.1
			SB	B	10.9

As shown in Table 3, the overall traffic operations at the study intersections are satisfactory and reasonably reflective of field conditions on the average Sunday morning.

D.3. No-Build Capacity Analysis (2023)

The results of the 2023 No-Build Conditions intersection capacity analysis are shown in Table 4 and include analysis of the volumes presented in Figure 6.

Table 4: 2023 No-Build Capacity Analysis

ID	Intersection	Control	Movement	AM	
				LOS	Delay
1	Mebane Oaks Rd & I-40 WB	Signal	Overall	C	21.0
			WB	D	46.7
			NB	B	13.3
			SB	B	12.7
2	Mebane Oaks Rd & I-40 EB	Signal	Overall	D	37.2
			EB	D	43.3
			NB	D	44.1
			SB	C	25.9
3	Mebane Oaks Rd & Brundage Ln	Signal	Overall	B	13.3
			EB	D	41.2
			WB	D	42.6
			NB	B	14.5
4	Mebane Oaks Rd & Garrett Xing	Signal	Overall	C	20.8
			EB	D	48.7
			WB	D	51.8
			NB	A	9.5
5	Mebane Oaks Rd & Old Hillsborough Rd	Signal	Overall	B	19.8
			EB	C	24.3
			WB	D	40.1
			NB	B	18.5
			SB	A	8.8

As shown in Table 4, overall traffic operations are expected to continue to operate at an acceptable LOS at all study area intersections after the anticipated increase of traffic due to ambient growth and approved development buildout.

D.4. Build Conditions Capacity Analysis (2023)

The results of the 2023 Build conditions intersection capacity analysis are shown in Table 5 and include analysis of the volumes presented in Figure 9.

Table 5: 2023 Build Capacity Analysis

ID	Intersection	Control	Movement	AM	
				LOS	Delay
1	Mebane Oaks Rd & I-40 WB	Signal	Overall	C	22.3
			WB	D	45.4
			NB	B	15.4
			SB	B	15.8
2	Mebane Oaks Rd & I-40 EB	Signal	Overall	C	34.7
			EB	D	44.4
			NB	C	33.5
			SB	C	30.0
3	Mebane Oaks Rd & Brundage Ln	Signal	Overall	B	13.2
			EB	D	41.5
			WB	D	42.5
			NB	B	15.5
4	Mebane Oaks Rd & Garrett Xing	Signal	Overall	C	20.4
			EB	D	48.7
			WB	D	51.8
			NB	B	10.9
5	Mebane Oaks Rd & Old Hillsborough Rd	Signal	Overall	C	20.7
			EB	C	23.9
			WB	D	40.2
			NB	B	19.3
6	Mebane Oaks Rd & Site Dwy 1	Stop-Control	EB	F	59.9
			NBL	A	0.0
7	Mebane Oaks Rd & Site Dwy 2	Stop-Control	SB	C	16.0
			EBL	A	8.2

As shown in Table 5, the addition of project traffic to the study intersections is expected to present minimal impact on the overall operation of the study network. Site Driveway 1 operates at LOS 'F' along its eastbound approach as exiting traffic turns left from the site onto Mebane Oaks Road, though internal queuing remains contained within the 200-foot protected storage length onsite. Operations at Site Driveway 2 are satisfactory. The site is not expected to significantly impact the surrounding road network.

E. Bicycle and Pedestrian Analysis

E.1. Methodology

Analysis in each of the scenarios for the study was performed using the traffic analysis software Synchro® 11. Synchro® output reports are included in Appendix H. Bicycle and pedestrian scores at signalized intersections are calculated and reported as Levels of Service (LOS) as defined by the *Highway Capacity Manual 6th Edition* and shown below in Table 6. Note that HCM does not calculate bicycle and pedestrian LOS at unsignalized intersections; the Mebane Oaks Road & Old Hillsborough Road intersection is therefore excluded in the Existing scenario, as well as both site driveways upon full buildout in the Build scenario.

Table 6: HCM Bicycle and Pedestrian Level of Service Criteria

LOS	Bicycle/Pedestrian
	LOS Score
A	0.00 to 1.50
B	1.51 to 2.50
C	2.51 to 3.50
D	3.51 to 4.50
E	4.51 to 5.50
F	5.51 and higher

E.2. Existing Capacity Analysis (2020)

Results of the 2020 Existing Conditions bicycle and pedestrian analysis are shown in Table 7 and include analysis of the volumes presented in Figure 3. Note that no bicycle and pedestrian traffic was observed during count collection, as shown in Appendix C.

Table 7: 2020 Existing Bicycle/Pedestrian Analysis

ID	Intersection	Control	Movement	Bicycle		Pedestrian	
				LOS	Score	LOS	Score
1	Mebane Oaks Rd & I-40 WB	Signal	EB	-	-	B	1.78
			WB	D	3.53	B	2.09
			NB	C	2.72	C	2.74
			SB	B	2.41	C	2.80
2	Mebane Oaks Rd & I-40 EB	Signal	EB	-	-	B	2.08
			WB	-	-	B	1.87
			NB	C	2.50	C	2.67
			SB	C	3.27	C	2.74
3	Mebane Oaks Rd & Brundage Ln	Signal	EB	C	2.57	B	2.07
			WB	C	2.80	B	2.25
			NB	C	2.76	B	2.45
			SB	C	3.47	C	2.63
4	Mebane Oaks Rd & Garrett Xing	Signal	EB	B	2.39	B	2.26
			NB	C	3.07	B	2.22
			SB	C	2.84	B	2.38

As shown in Table 7, bicycle and pedestrian operations at all study intersections are satisfactory on the average Sunday morning.

E.3. No-Build Capacity Analysis (2023)

The results of the 2023 No-Build Conditions bicycle and pedestrian analysis are shown in Table 8 and include analysis of the volumes presented in Figure 6.

Table 8: 2023 No-Build Bicycle/Pedestrian Analysis

ID	Intersection	Control	Movement	Bicycle		Pedestrian	
				LOS	Score	LOS	Score
1	Mebane Oaks Rd & I-40 WB	Signal	EB	-	-	B	1.94
			WB	D	4.01	B	2.11
			NB	C	2.87	C	2.99
			SB	B	2.41	C	2.92
2	Mebane Oaks Rd & I-40 EB	Signal	EB	D	3.69	B	2.10
			WB	-	-	B	1.91
			NB	B	2.46	C	2.90
			SB	C	2.86	C	2.99
3	Mebane Oaks Rd & Brundage Ln	Signal	EB	C	3.00	B	2.08
			WB	C	3.10	B	2.28
			NB	C	2.74	C	2.74
			SB	C	3.10	C	2.83
4	Mebane Oaks Rd & Garrett Xing	Signal	EB	C	2.87	B	2.26
			WB	B	2.50	B	1.97
			NB	C	2.73	B	2.46
			SB	C	3.17	C	2.59
5	Mebane Oaks Rd & Old Hillsborough Rd	Signal	EB	C	2.86	B	2.30
			WB	C	2.82	B	2.14
			NB	C	2.67	B	2.15
			SB	C	2.92	C	2.51

As shown in Table 8, bicycle and pedestrian operations at all study intersections are expected to remain satisfactory upon the addition of background growth.

E.4. Build Capacity Analysis (2023)

The results of the 2023 Build conditions intersection capacity analysis are shown below and include analysis of the volumes presented in Figure 9.

Table 9: 2023 Build Bicycle/Pedestrian Analysis

ID	Intersection	Control	Movement	Bicycle		Pedestrian	
				LOS	Score	LOS	Score
1	Mebane Oaks Rd & I-40 WB	Signal	EB	-	-	B	1.99
			WB	D	4.06	B	2.12
			NB	C	3.02	C	3.05
			SB	B	2.44	C	2.96
2	Mebane Oaks Rd & I-40 EB	Signal	EB	D	3.84	B	2.13
			WB	-	-	B	1.92
			NB	C	2.58	C	3.02
			SB	C	2.94	C	3.05
3	Mebane Oaks Rd & Brundage Ln	Signal	EB	C	3.00	B	2.08
			WB	C	3.12	B	2.29
			NB	C	2.87	C	2.83
			SB	C	3.25	C	2.91
4	Mebane Oaks Rd & Garrett Xing	Signal	EB	C	2.87	B	2.26
			WB	B	2.50	B	1.97
			NB	C	2.92	C	2.57
			SB	C	3.49	C	2.68
5	Mebane Oaks Rd & Old Hillsborough Rd	Signal	EB	C	2.94	B	2.35
			WB	C	2.86	B	2.17
			NB	C	2.70	B	2.17
			SB	C	2.92	C	2.51

As shown in Table 9, the addition of project traffic to the study area is expected to minimally impact the bicycle and pedestrian operations at each study intersection. All intersections in the area continue to operate at an acceptable LOS upon full buildout of the site.

While the current site plan does not include the construction of pedestrian or bicycle facilities along Mebane Oaks Road or Old Hillsborough Road, a 15 to 50-foot buffer is shown along both roadways as property dedicated for future NCDOT right-of-way acquisition for intersection improvements. Future improvements have been identified in the local Bicycle and Pedestrian Transportation Plan and a Comprehensive Transportation Plan.

F. Driveway and Turn Lane Analysis

Access to the site is proposed via two full movement driveways: one on Mebane Oaks Road and one on Old Hillsborough Road. Capacity analysis indicates that exiting eastbound traffic at the Mebane Oaks Road driveway experiences heavy delays, though queuing remains acceptable. The southern driveway along Old Hillsborough Road is expected to operate at an acceptable LOS under buildout conditions. A review of the queuing reports indicates that during the Sunday peak hour, internal queues will be less than seven vehicles (<175 feet). The internal protected storage provided on the site plan is 200 feet at each driveway; vehicles queuing at each driveway are not expected to impact internal site circulation. No delay or queuing is reported for the southbound right turn movement on Mebane Oaks Road or westbound right turn movement on Old Hillsborough Road.

Per NCDOT turn lane warrants found on page 90 of the *Policy on Street and Driveway Access to NC Highways*, a 150-foot southbound right-turn lane is warranted on Mebane Oaks Road at Site Driveway 1 along the eastern frontage of the site. Right and left-turn lanes are not warranted at Site Driveway 2 along Old Hillsborough Road. The turn lane warrant nomograph is included in Appendix H.

Note that the current site plan provides a 100-foot southbound right-turn lane at Site Driveway 1 with a 100-foot taper. This is the maximum storage length that can be accommodated due to the neighboring fire station's driveway to the north.

G. Conclusions

The proposed new church development, consisting of a 55,000 square foot building with 900 seats in Mebane, North Carolina will generate 274 entering trips and 325 exiting trips during the Sunday peak hour. The church is not expected to have a significant impact on weekday or Sunday peak hour travel conditions. The proposed driveway along Mebane Oaks Road (Site Driveway 1) warrants the addition of a southbound right-turn lane to accommodate the proposed development, while the proposed driveway along Old Hillsborough Road (Site Driveway 2) does not warrant turn lanes. Based on the analysis prepared for the proposed development, improvements are not required at study intersections to mitigate the impact of the proposed development.



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J. ERIC BOYETTE
SECRETARY

February 8, 2022

ALAMANCE COUNTY

Benjetta Johnson, PE
NV5 Engineers and Consultants, Inc.
3300 Regency Parkway, STE. 100
Cary, NC 27518

**Subject: Proposed Summit Church Located on Mebane Oaks Road (SR 1007) and Old Hillsborough Road (SR 2126).
Review of TIA Dated December 6, 2021**

Dear Ms. Johnson,

NCDOT staff has completed a collaborative review with the City of Mebane of the above subject. Based on the information provided we offer the following comments with regards to the State Road network.

General:

The proposed development is to be located at the northwest quadrant of the intersection of Mebane Oaks Road and Old Hillsborough Road in Mebane, North Carolina. This site will consist of a 55,000 square foot church and would be accessed via two site driveways: one along Mebane Oaks Road and one along Old Hillsborough Road. This site is expected to generate approximately 1,260 new daily trips at full build-out in 2023.

NCDOT Committed Improvements:

The intersection of Mebane Oaks Road and Old Hillsborough Road is scheduled to be improved in April 2022. This work includes the construction of exclusive left-turn lane improvements on all approaches and a southbound right-turn lane in addition to signalization. The improvements of this intersection were considered in this analysis.

NCDOT Transportation Project I-5711 includes improvements to the interchange of I-40 and Mebane Oaks Road. The project is planned for completion in 2023. The project will widen the existing bridge at I-40, creating a 7-lane roadway between interchange ramps.

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DIVISION 7, DISTRICT 1
PO BOX 766
GRAHAM, NC 27253-0766

Telephone: (336) 570-6833
Fax: (336) 570-6873
Customer Service: 1-877-368-4968

Location:
115 EAST CRESCENT SQUARE DRIVE
GRAHAM, NC 27253

Website: www.ncdot.gov

A fourth leg of the Mebane Oaks Road & Garrett Crossing intersection is scheduled for construction as part of the approved Mebane Oaks Road Commercial development improvements. These improvements were considered in this analysis.

Findings and Requirements:

The TIA includes a recommendation for an exclusive southbound right turn lane with a minimum of 75' of full storage and appropriate deceleration taper at the site access on Mebane Oaks Road. However, in consideration of Right of Way constraints and impacts to the existing fire station driveway, construction of the turn lane does not appear to be feasible. We evaluated this access without the right turn lane and determined that this access is expected to operate acceptably without construction of the right turn lane. Accordingly, this improvement will not be required as a condition of the pending driveway permit.

Multi-modal and Streetscape Enhancements:

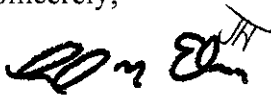
Any locally stipulated multi-modal enhancements including but not limited to sidewalk, bike lanes, bus pull offs, lighting, landscaping etc. on State maintained routes are subject to NCDOT requirements and approval through the encroachment process.

General Requirements:

It is necessary to obtain an approved driveway permit and/or encroachment agreement(s) prior to performing work on the NCDOT right of way. An approved permit will be issued upon receipt of approved site plan, roadway and signal construction plans as needed, inspection fee, and any necessary performance and indemnity bonds.

Feel free to contact me if you have any questions.

Sincerely,



C. N. Edwards Jr., PE
District Engineer

CNE/jlh

Cc: W.R. Archer, III, PE, Division Engineer
D.M. McPherson, Division Traffic Engineer
City of Mebane



AGENDA ITEM 6C

RZ 22-05

Conditional Rezoning –
Potters Mill

Presenter

Ashley Ownbey, Interim Development Director

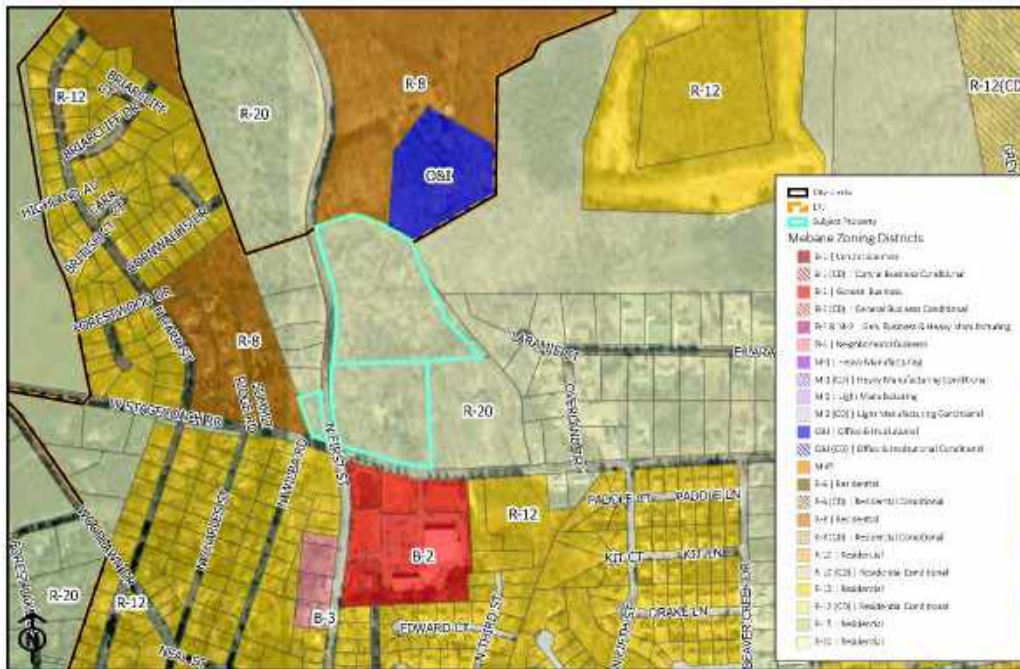
Applicant

Land Acquisition & Development Services, LLC
PO Box 9147
Greensboro, NC 27429

Public Hearing

Yes No

Zoning Map



Property

704 North First Street (PINs 9825085533 & 9825095188)

Proposed Zoning

R-8(CD)

Current Zoning

R-20

Size

+/-20.38 acres

Surrounding Zoning

R-8, R-20, O&I, B-2

Surrounding Land Uses

Residential, Commercial & Vacant

Utilities

To be extended at developer's expense

Floodplain

Yes

Watershed

Yes

City Limits

Yes

	CITY OF MEBANE ZONING MAP	Conditional Rezoning Potters Mill <small>1 inch = 600 feet</small>	DATE: 07/05/2022
			DRAWN BY: AV

Summary

Land Acquisition & Development Services, LLC is requesting approval to conditionally rezone two properties totaling +/-20.38 located at 704 North First Street (PINs 9825085533 & 9825095188) from R-20 to R-8 (CD) to allow “Potters Mill” a residential development of 42 townhomes. The properties are located within the Mebane City Limits. The applicant has the property under contract to purchase, contingent upon approval of the conditional rezoning request.

The site-specific plan includes the following onsite amenities & dedications:

- The applicant proposes to construct all internal roads with 5’ sidewalks.
- The applicant proposes to provide 20,008 s.f of a 10’-wide public multi-use path that will extend along the property’s frontage on N First Street and extend across the site to connect to a path network through proposed adjacent subdivisions. The applicant will financially contribute to a bridge system to be constructed over the stream on the property to connect the path to the adjacent property. This is part of a coordinated effort between four developers with projects under review in the North Mebane area to create a public multi-use path network that will connect Cates Farm Park to Lake Michael Park and provide a connection to the sidewalk network south of Stagecoach Road.
- The site plan features 43,500 s.f. of private common area, including a 10x20 dog park amenity which will be HOA-maintained.

The table below compares the proposed Potters Mill lot layout to the dimensional standards for townhomes as amended on June 6, 2022.

	<i>Required Per Section 4-7.3 F</i>	<i>Proposed</i>
<i>Front Setback</i>	25’ in the R-8 District	20’ from R/W to front of building
<i>Side Street Setback</i>	18’ in the R-8 District	20’ from R/W to side of building
<i>Rear Setback</i>	20’	30’ from existing external property line
<i>Side Setback</i>	15’	N/A
<i>Side Separation</i>	15’	20’
<i>Lot Width</i>	20’	40’
<i>Lot Area</i>	No minimum required	3,334 S.F.

A waiver is requested for a 20’ minimum front setback and to allow for property lines that do not create side yards or substantial front and rear yards. Individual lots will not have typical yards such that townhome owners will only own a portion of land in front of and behind the unit. All common elements including those abutting privately-owned residences, excluding private driveways, shall be maintained by the HOA.

The UDO calculates that the applicant shall provide 52,275 SF in public recreation area. The applicant is providing 20,008 s.f. of public recreation area by means of the publicly-dedicated, multi-use path. The difference will be made up through a financial contribution for the bridge system to be constructed over the stream on the property to connect the path to a proposed development on the adjacent property.

A TIA was not required for the proposed development due to the low number of trips generated by 42 townhomes. However, an adjacent, larger project currently under review by the City's Technical Review Committee has determined the need for intersection improvements at North First Street and Stagecoach Road and North Fifth Street and Stagecoach Road. The impacts of Potters Mill were accounted for in that project's TIA. The proportional contribution for Potters Mill was determined to be the dedication of right-of-way for future turn lanes, as shown on the submitted plans.

The Technical Review Committee (TRC) has reviewed the site plan four (4) times and the applicant has revised the plan to reflect the comments.

Financial Impact

The developer will be required to make all of the onsite improvements at their own expense. The multi-modal improvements will be funded through a joint, cost-sharing agreement between the four developers in the North First Street area.

Recommendation

At their June 13 meeting, the Planning Board voted 5 – 0 to recommend approval of the rezoning request.

The Planning Staff recommends approval of the request.

Suggested Motion

1. Motion to approve the R-8 (CD) zoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. Specifically, the request:
 - Is for a property within the City's G-3 Mixed-Use Growth Area;
 - Promotes a village concept that supports compact and walkable environments, consistent with Growth Management Goal 1.1 (pp. 17 & 82);
 - Is providing community facilities in the form of a greenway that connects to surrounding residential developments and ultimately Lake Michael Park and Cates Farm Park, consistent with Growth Management Goal 1.4 (pp. 17, 83);
 - Provides a greenway and open space in a developing area, connecting to other locations, consistent with Open Space and Natural Resource Protection Goal 4.3 (p. 17, 89, & 90); and
 - Provides a greenway, as required in the City's *Bicycle and Pedestrian Transportation Plan*.

OR

3. Motion to **deny** the R-8(CD) rezoning as presented due to a lack of
 - a. Harmony with the surrounding zoning or land use

OR

 - b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*.

Attachments

1. Zoning Amendment Application
2. Zoning Map
3. Site Plan
4. Planning Project Report
5. Preliminary Water and Sewer System Approval Letter
6. Technical Memorandum – City Engineering Review
7. North Mebane – Proposed Development & Multi-Use Path Network Map
8. Davenport Trip Generation Comparison Letter
9. NCDOT Review of Davenport Trip Generation Comparison



APPLICATION FOR A ZONING/TEXT AMENDMENT

Application is hereby made for an amendment to the Mebane Unified Development Ordinance:

Name of Applicant: Land Acquisition & Development Services, LLC

Address of Applicant: PO Box 9147, Greensboro, NC 27429

Address and brief description of property to be rezoned and/or text to be amended:
Two (2) parcels of land described as 704 N. First Street & N. First Street, Mebane, NC 27302;

PINs: 168227 & 168232

Applicant's interest in property (owned, leased or otherwise): Properties Under Contract

Do you have any conflicts of interest with Elected/Appointed Officials, Staff, etc.?

Yes Explain: _____ No

Type of action requested: Rezoning from R-20 to R-8(CD)

Reason for the requested action: Single-family attached townhomes

Sketch attached: Yes No

Signed: [Signature] Company Agent

Date: 5/24/22

Action by Planning Board: _____

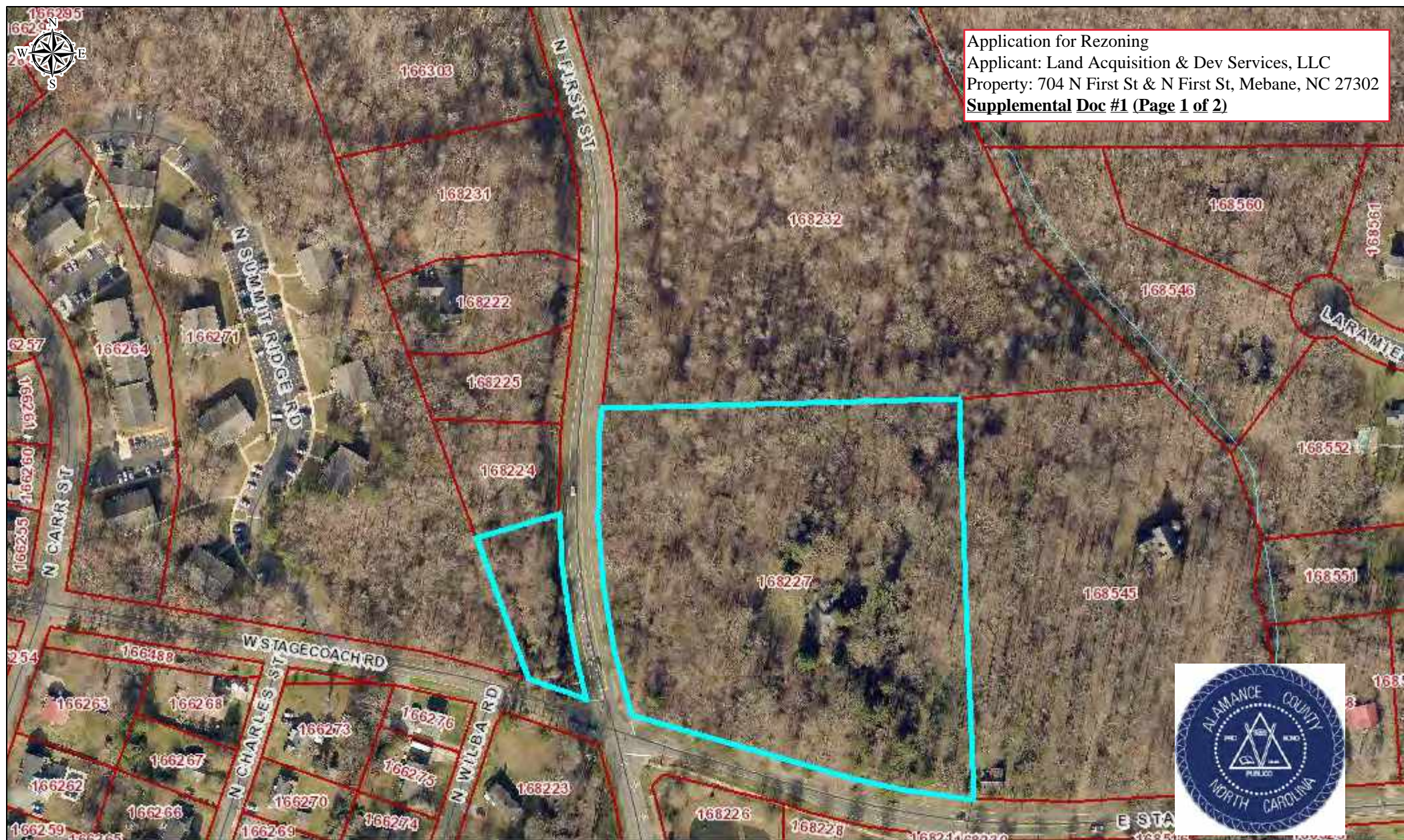
Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

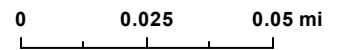
1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.

Application for Rezoning
 Applicant: Land Acquisition & Dev Services, LLC
 Property: 704 N First St & N First St, Mebane, NC 27302
Supplemental Doc #1 (Page 1 of 2)



Owner Name: HOOD ELLEN ROSALIND

May 18, 2022



2501 BEECHRIDGE RD
 RALEIGH, NC 27608
 GPIN: 9825085533
 PID: 10-1-25

Heavy Industrial Development Applicants

APPLIED FOR PERMIT

PERMIT APPROVED

PERMIT RENEWED

UNDER CONSTRUCTION

DISCLAIMER:
 The datasets and maps available are not survey grade or a legal document. They are a best approximation of what is on the ground, but do contain errors. The data comes from various sources nationally, the state of North Carolina, and here in Alamance County. Alamance County will not be held responsible for the misuse, misrepresentation, or misinterpretation of the data or maps. These maps and data are a service provided for the benefit for Alamance County citizens. We constantly strive to improve the quality and expand the amount of data and maps available.
 ALAMANCE COUNTY shall assume no liability for any errors, omissions, or inaccuracies in the information provided regardless of how caused; or any decision made or act on taken or not taken by user in reliance upon any information or data furnished hereunder. The user knowingly waives any and all claims for damages against any and all of the entities comprising the Alamance County GIS System that may arise from the mapping data. Date: 5/18/2022

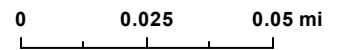
Alamance County GIS
 Alamance County Tax Department

Application for Rezoning
 Applicant: Land Acquisition & Dev Services, LLC
 Property: 704 N First St & N First St, Mebane, NC 27302
Supplemental Doc #1 (Page 2 of 2)



Owner Name: HOOD WILLIAM PROPERTIES LLC

May 18, 2022



604 N. BAILEY AVE
 FORT WORTH, TX 76107
 GPIN: 9825095188
 PID: 10-1-119

Heavy Industrial Development Applicants

APPLIED FOR PERMIT

PERMIT APPROVED

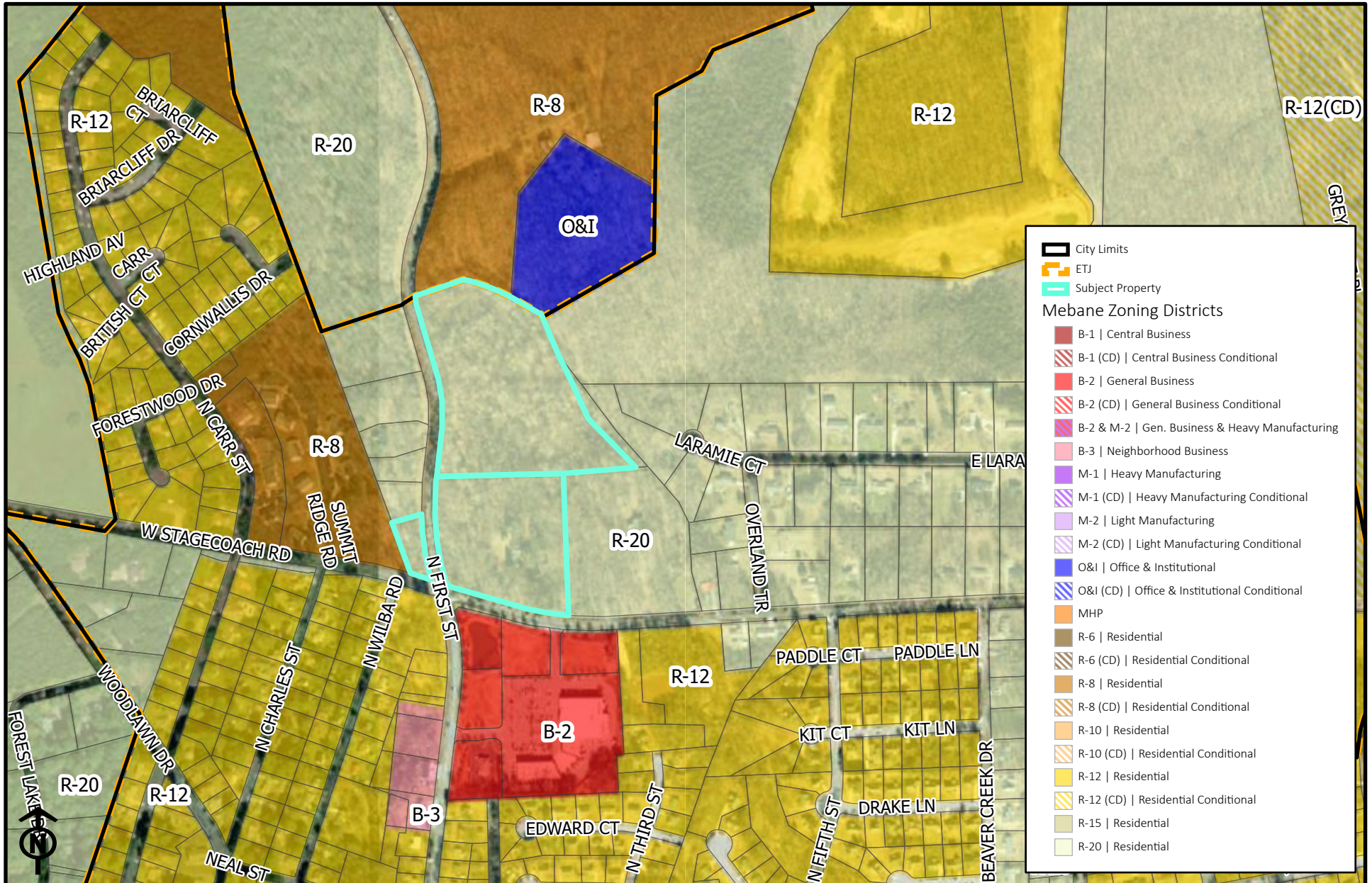
PERMIT RENEWED

UNDER CONSTRUCTION

DISCLAIMER:
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ALAMANCE COUNTY shall assume no liability for any errors, omissions, or inaccuracies in the information provided regardless of how caused; or any decision made or act on taken or not taken by user in reliance upon any information or data furnished hereunder. The user knowingly waives any and all claims for damages against any and all of the entities comprising the Alamance County GIS System that may arise from the mapping data. Date: 5/18/2022

Alamance County GIS
 Alamance County Tax Department



CITY OF MEBANE ZONING MAP

Conditional Rezoning Potters Mill

1 inch = 600 feet

DATE: 07/05/2022

DRAWN BY: AV

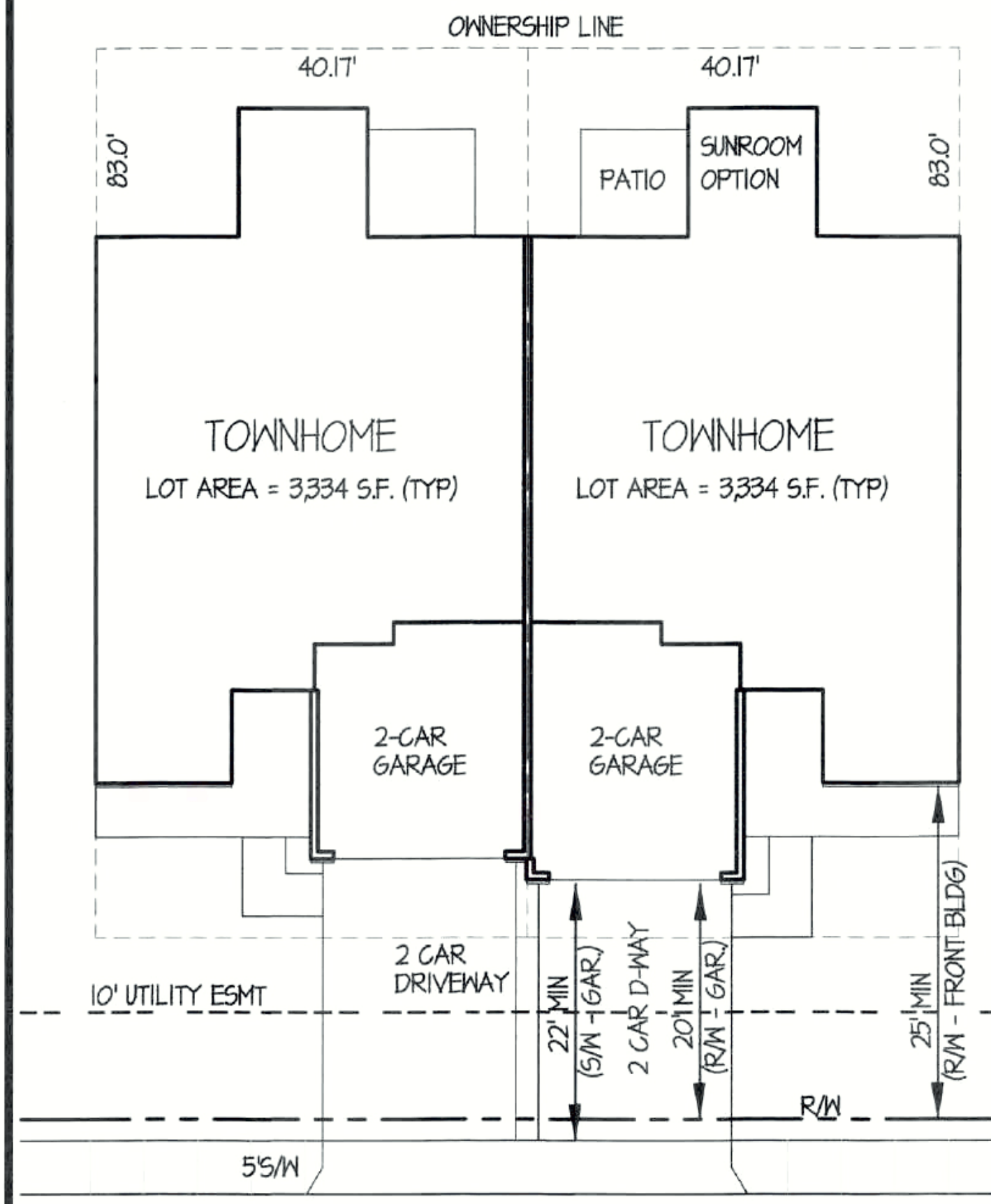
POTTERS MILL TOWNHOMES

PRELIMINARY SITE DEVELOPMENT PLANS

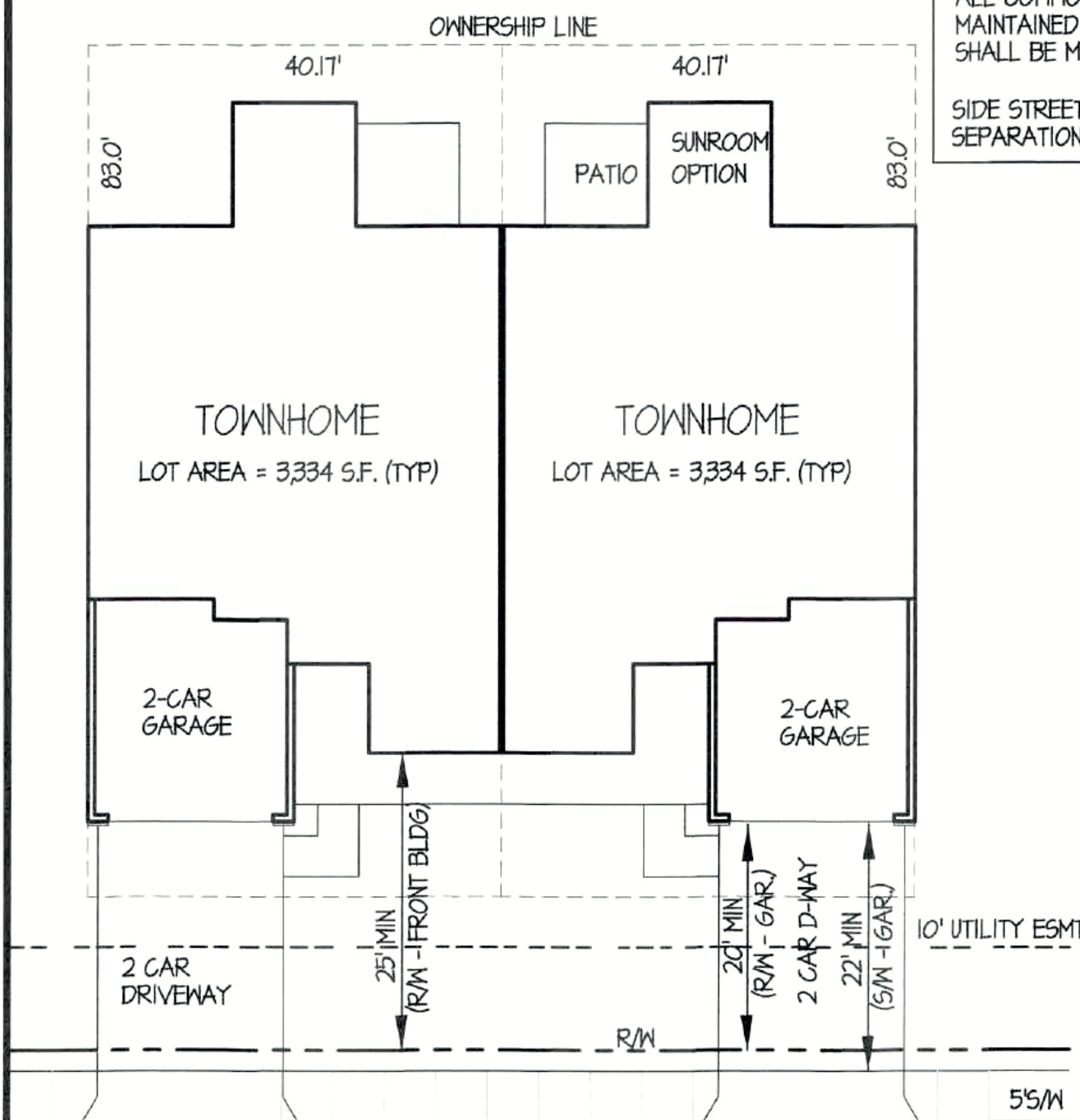
704 N. FIRST STREET
MELVILLE TOWNSHIP, ALAMANCE COUNTY
MEBANE, NORTH CAROLINA

WATERSHED
GRAHAM W.S. AREA OF BACK CREEK
(GRAHAM-MEBANE LAKE)

HIGH-DENSITY - ALL BUA TO BE TREATED TO MAX EXTENT POSSIBLE
SITE TO COMPLY WITH RIPARIAN BUFFER PROTECTION ORDINANCE



30" ROLLED CURB
TOWNHOME
TYPICAL LAYOUT - UNITS # 5 - 42
TYPICAL ONLY - REFER TO BUILDING PLANS FOR EXACT DIMENSIONS

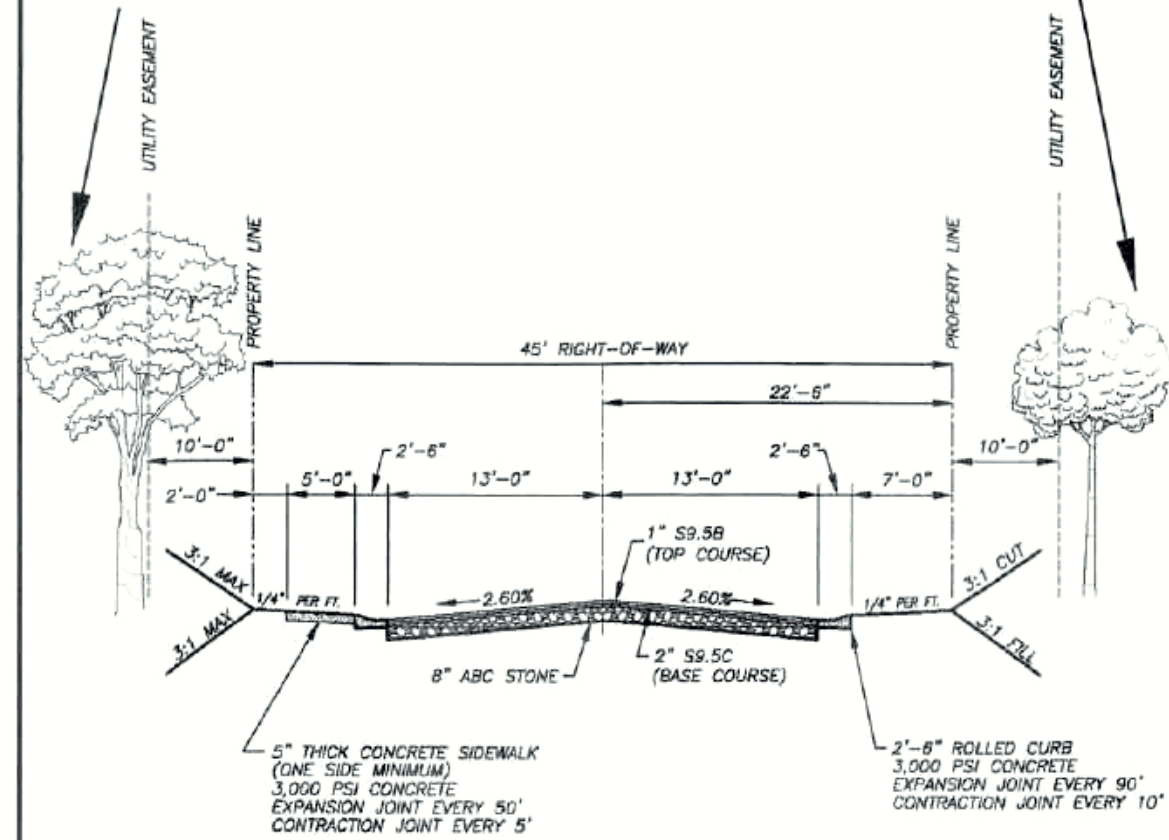


TOWNHOME
TYPICAL LAYOUT - UNITS # 1 - 4
TYPICAL ONLY - REFER TO BUILDING PLANS FOR EXACT DIMENSIONS

NOTES:
INDIVIDUAL TOWNHOME OWNERS WILL OWN ONLY A PORTION OF THE FRONT YARD AND REAR IN ORDER TO HAVE SOME AREA TO MAINTAIN PERSONAL FLOWER BEDS, ETC.
ALL COMMON ELEMENTS, INCLUDING THOSE ABUTTING PRIVATELY-OWNED RESIDENCES, SHALL BE MAINTAINED BY THE HOA, EXCEPT PRIVATE CONC. WALKS AND DRIVEWAYS WHICH SHALL BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNERS.

SIDE STREET SETBACK = 20' MIN
SEPARATION BETWEEN BLDGS = 20' MIN.

LANDSCAPE STREET TREES ARE NOT REQUIRED. HOWEVER, ANY TREES THAT ARE ADDED ALONG THE INTERIOR STREET MUST BE PLANTED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY AND OUTSIDE OF THE PUBLIC UTILITY EASEMENTS.



- NOTES:
1. ALL ASPHALT CEMENT PLANT MIX AND METHOD OF PLACEMENT SHALL COMPLY WITH N.C. DOT STANDARD SPECIFICATIONS.
 2. ALL WORK SHALL COMPLY WITH N.C. DOT STANDARD SPECIFICATIONS.
 3. TOP COURSE TO BE PLACED WITHIN 12 MONTHS OF ASPHALT BASE COURSE. THE TOP COURSE WILL BE PLACED NO EARLIER THAN 6 MONTHS AFTER BASE COURSE IS PLACED.
 4. COMMERCIAL AND INDUSTRIAL STREET SECTIONS TO BE DETERMINED ON A CASE BY CASE BASIS.
 5. WHERE NEW SIDEWALK CROSSES EXISTING GRAVEL DRIVEWAY, SIDEWALK NEEDS TO BE 6" THICK.
 6. PROVIDE APPROVED NCOOT SEALANT OVER ALL EXPANSION JOINTS ALONG CONCRETE CURBS AND CONCRETE SIDEWALKS.
 7. CUT FILL SLOPE EXCEEDING MAXIMUM MUST BE APPROVED BY THE CITY ENGINEER.
 8. SIDEWALK MUST BE LOCATED ON ONE SIDE OF THE STREET EXCEPT WHEN CITY PROJECT APPROVAL REQUIRES ON BOTH SIDES.
 9. STREET TREES ARE TO BE LOCATED BEHIND THE UTILITY EASEMENT.

CITY OF MEBANE STANDARD
RESIDENTIAL STREET SECTION FOR TOWNHOME DEVELOPMENTS (45' ROW - 31' B-B)

DATE:

JANUARY 25, 2022
MARCH 22, 2022
MAY 17, 2022
JUNE 6, 2022

OWNER / DEVELOPER:

LAND ACQUISITIONS AND
DEVELOPMENT SERVICES, LLC
P.O. Box 9147
GREENSBORO, NORTH CAROLINA 27429
PHONE: (336) 207-8003
CONTACT: DAVID MICHAELS

ENGINEER:

BWA Engineers
Planners
Surveyors

Borum, Wade and Associates, P.A.

621 Eugene Court, Suite 100, Greensboro, NC 27401-2711
PO Box 21882 Greensboro, NC 27420-1882
Phone: 336-275-0471 Fax: 336-275-3719
Web: www.borum-wade.com
N.C. License #: C-0868

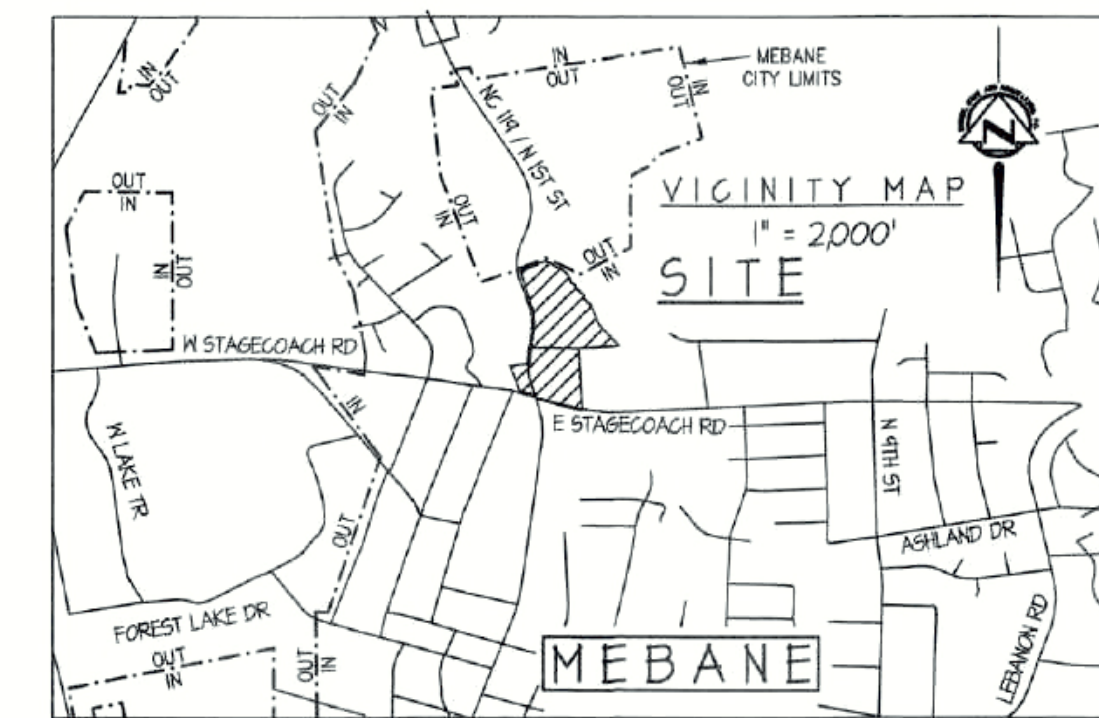
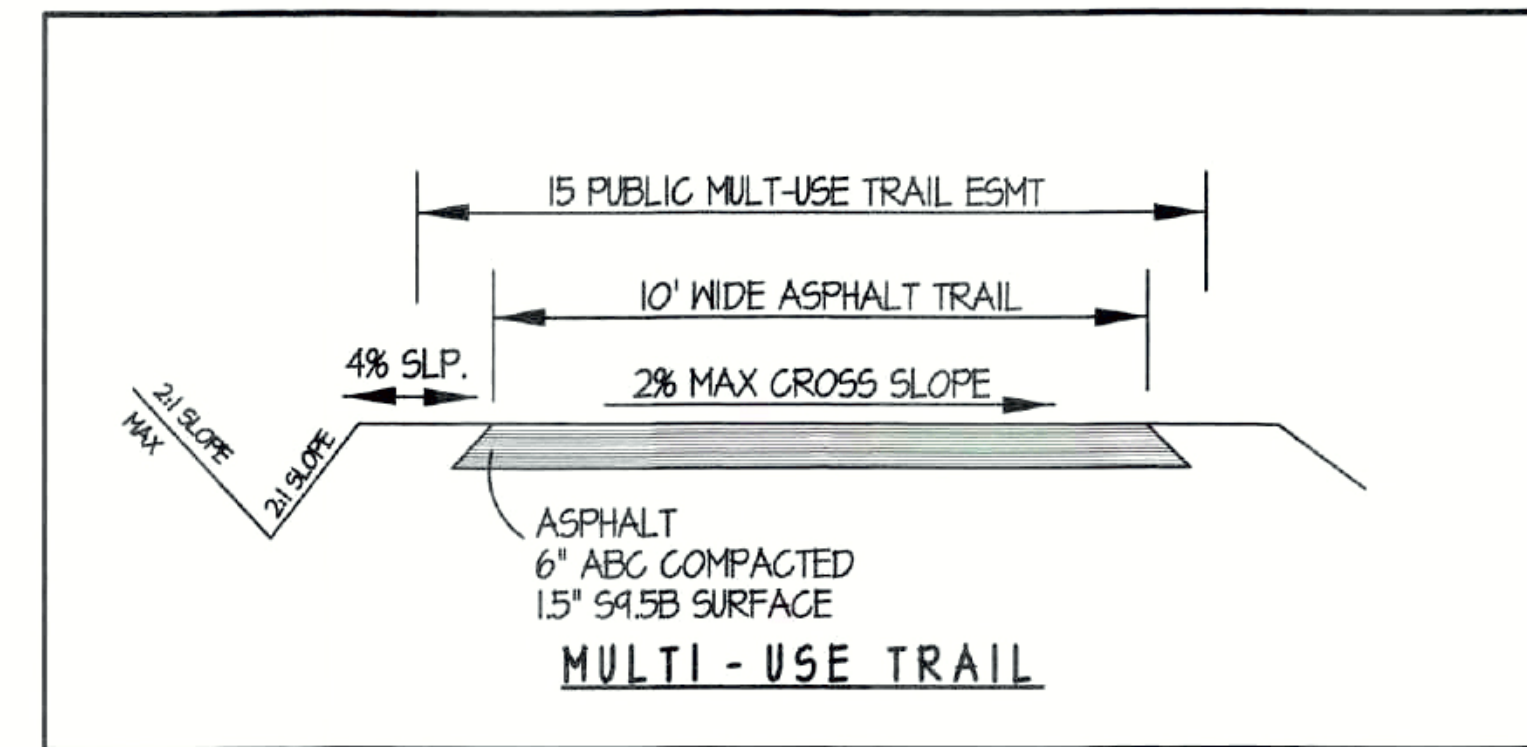
MULTI - USE TRAIL NOTE

N. First Street Multi-use Path (Stagecoach Road to Cates Farm Park)

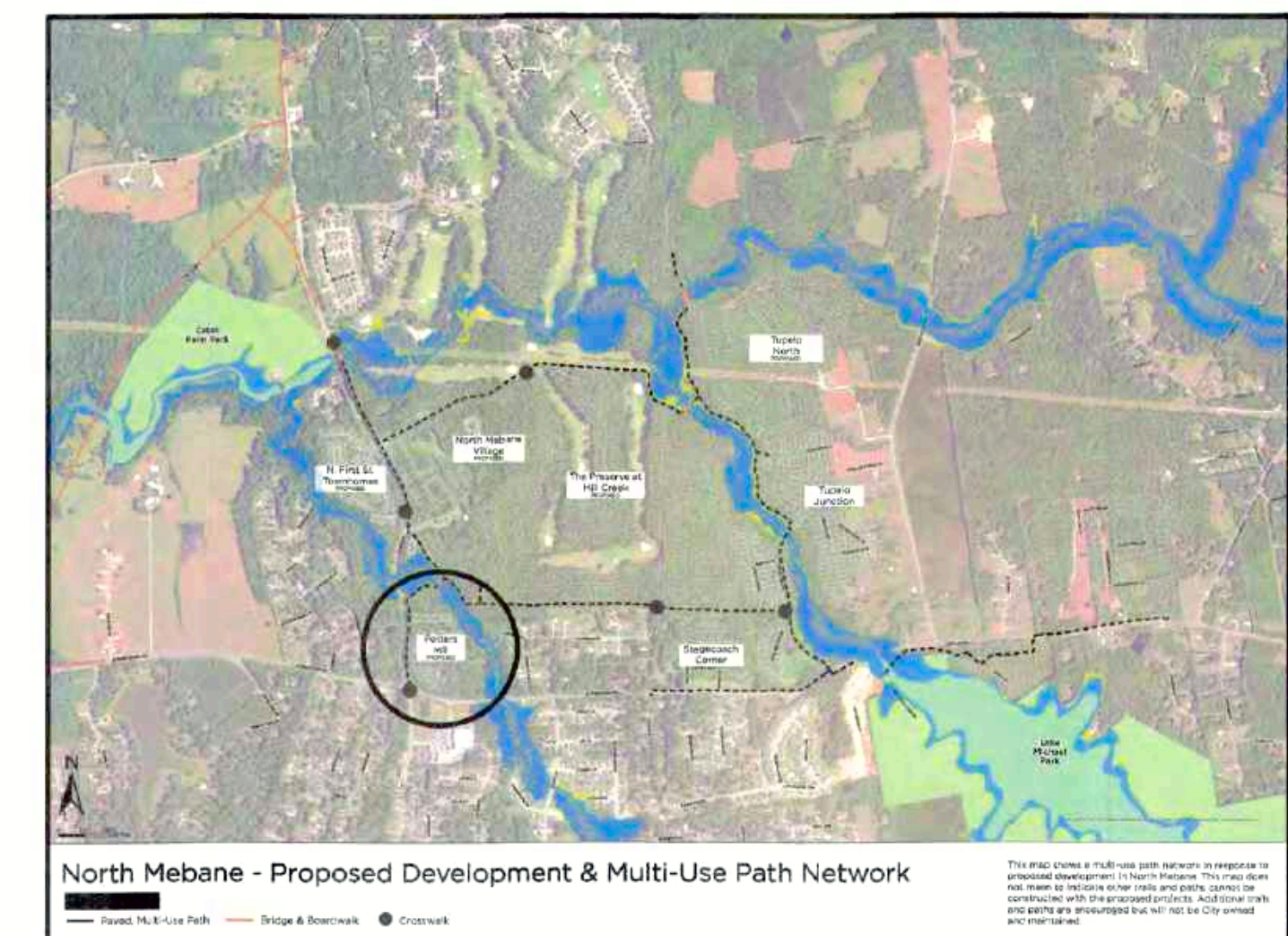
The Developers of Potters Mill, N. First Street Townhomes, North Mebane Village, and the Preserve at Mill Creek shall make individual and shared commitments to fully fund and construct a 10' wide paved multi-use path with bridges/boardwalk and roadway crossings from Stagecoach Road to Cates Farm Park as a part of their development plans.

Potters Mill Responsibility/Commitment

1. The developer of the Potters Mill subdivision will be solely responsible for the following work: Clearing, grading, drainage, stone and paving a 10' wide multi-use path meeting the requirements of the City of Mebane from the north side of the intersection of Stagecoach Road and N. First Street, along frontage of N. First Street and then northeasterly along the 100-year flood contour up to but not including the stream crossing, all as generally shown on this plan.
2. The following work shall be included in a joint cost-sharing agreement between the entities responsible for approval of proposed Potters Mill, North First Street Townhomes and North Mebane Village developments:
 - One (1) stream crossing between Potters Mill and North Mebane Village,
 - One (1) north-south pedestrian crossing at North First Street/Stagecoach Road,
 - One (1) east-west pedestrian crossing between North First Street Townhomes and North Mebane Village.
3. The joint cost-sharing agreement for the construction of the shared items shall be reviewed and approved by the City of Mebane and the respective development parties prior to construction drawing approval or recordation of any lots associated with the individual developments.
4. The dedication of an easement for and the cost of construction of the publicly dedicated multiuse path and related improvements outlined above (including participation in the joint cost sharing items) shall satisfy the requirement for the full public recreation area dedication.



VICINITY MAP
SCALE: 1" = 2,000'



AERIAL PHOTO
SCALE: 1" = 2,000'

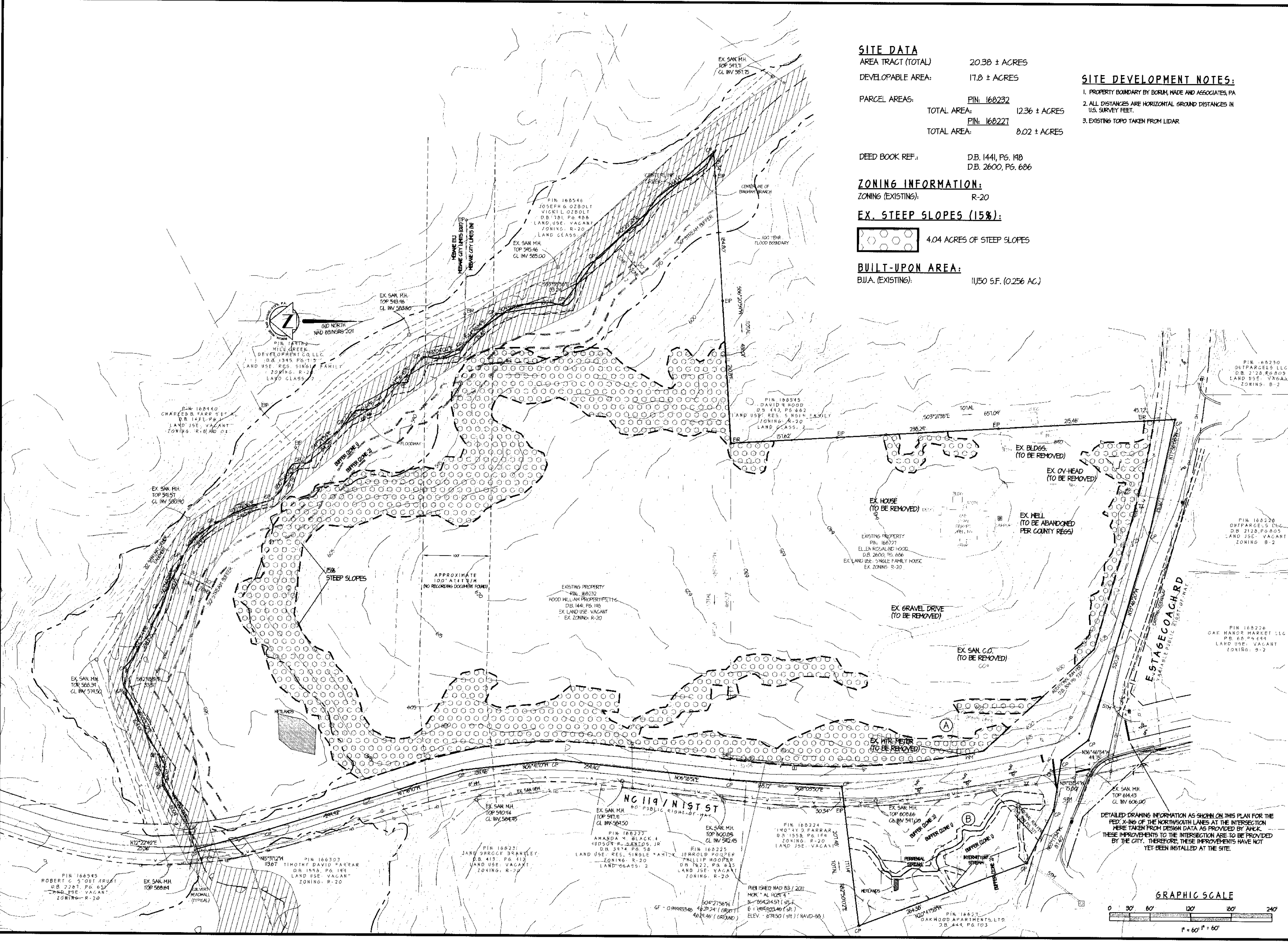
SHEET INDEX

PLAN SHEETS:

- C-0: COVER SHEET
- C-1: EXISTING CONDITIONS PLAN
- C-2: SITE AND UTILITY SKETCH PLAN
- C-3: SITE GRADING SKETCH PLAN
- C-4A: LANDSCAPE SKETCH PLAN (1)
- C-4B: LANDSCAPE SKETCH PLAN (2)
- C-4C: LANDSCAPE SKETCH PLAN (3)
- C-5: ENTRANCE SIGN CONCEPT PLAN

North Carolina Professional Engineer
T. G. Michaels
6/6/2022

PRELIMINARY
DRAWING
NOT FOR
CONSTRUCTION



SITE DATA
 AREA TRACT (TOTAL) 20.38 ± ACRES
 DEVELOPABLE AREA: 17.8 ± ACRES
 PARCEL AREAS: PIN: 168232
 TOTAL AREA: 12.36 ± ACRES
 PIN: 168227
 TOTAL AREA: 8.02 ± ACRES

DEED BOOK REF.: D.B. 1441, PG. 148
 D.B. 2600, PG. 686

ZONING INFORMATION:
 ZONING (EXISTING): R-20

EX. STEEP SLOPES (15%):
 4.04 ACRES OF STEEP SLOPES

BUILT-UPON AREA:
 B.U.A. (EXISTING): 11,150 S.F. (0.256 AC.)

SITE DEVELOPMENT NOTES:
 1. PROPERTY BOUNDARY BY BORN, WADE AND ASSOCIATES, PA
 2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET.
 3. EXISTING TOPO TAKEN FROM LIDAR



PROJECT:
PRELIMINARY DRAWING NOT FOR CONSTRUCTION

POTTERS MILL TOWNHOMES
 704 N FIRST ST
 MELVILLE TOWNSHIP, ALAMANCE COUNTY
 WELLSVILLE, NORTH CAROLINA

OWNER/DEVELOPER:
LAND ACQUISITIONS AND DEVELOPMENT SERVICES, LLC
 PO BOX 9147
 GREENSBORO, NORTH CAROLINA 27424
 336-201-8003
 CONTACT: DAVID MICHAELS

DRAWN BY: TEM
 DATE: JAN. 25, 2022
 REVISIONS:
 REV 3-22-2022
 REV 5-11-2022
 REV 6-6-2022

SHEET TITLE:
EX. COND. PLAN

FILE NO: F:\VINGSDORF\MELVILLE-STAGECOACH RD\SITEBASE
 DRAWING SCALE: 1"=60'
 PLAN SHEET NO.

SITE DEVELOPMENT NOTES:

1. ALL PROPOSED PUBLIC INFRASTRUCTURE IS TO BE DESIGNED AND CONSTRUCTED TO CITY OF MEBANE STANDARDS AND SPECIFICATIONS.
2. SITE TO BE SERVICED WITH PUBLIC WATER AND SEWER (GRAVITY).
3. PROPERTY EXHIBIT, PROPERTY LINES DRAWN FOR DEEDS, PLAT, SURVEY BY OTHERS & SURVEY BY OTHERS, NO FIELD WORK WAS PERFORMED BY BORUM, WADE & ASSOC.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET.
5. EXISTING TOPO TAKEN FROM LIDAR
6. PUBLIC ROADWAY IMPROVEMENTS AS PER CITY OF MEBANE AND NCDOT REQUIREMENTS
7. ALL COMMON AREAS TO BE MAINTAINED BY THE HOA.
8. * * * CBU TO BE SCREENED FROM SURROUNDING TOWNHOMES

SITE DATA

AREA TRACT (TOTAL)	20.38 ± ACRES
DEVELOPABLE AREA:	17.8 ± ACRES
PARCEL AREAS:	PIN: 168232
TOTAL AREA:	12.36 ± ACRES
	PIN: 168227
TOTAL AREA:	8.02 ± ACRES
DEED BOOK REF.:	D.B. 1441, PG. 148 D.B. 2600, PG. 686

ZONING CONDITIONS:

FRONT YARD S/B:	20'
SIDE STREET S/B:	20'
REAR YARD S/B:	30' FROM EXT. PROPERTY LINE

BUILT UPON AREA:

ROADS/ SW/ GRAVEL:	61,000 SF (1.40 AC)
TOWNHOMES:	42 LOTS * 3,250 SF/LOT = 136,500 SF (3.13 AC)
MULTI-USE PATH:	13,025 SF (0.30 AC)
TOTAL BUA:	210,525 SF = 4.83 AC (23.1%)
(EX. BUA = +/- 11,150 SF. - TO BE REMOVED)	

ZONING INFORMATION:

ZONING (EXISTING):	R-20
ZONING (PROPOSED):	CONDITIONAL R-8
NUMBER OF TOWNHOMES:	42
DENSITY:	2.06 UNITS PER ACRE

UNIT MIX:

NUMBER OF UNITS:	42
NUMBER OF BEDROOMS:	3 BEDROOMS PER UNIT + OPTIONAL 4TH BEDROOM/BONUS

PARKING CALCULATIONS:

PARKING REQUIRED:	(2/D.U. * 42) + (2 * 0.5 * 42) = 126 SP. REQD.
PARKING PROVIDED:	(2 CAR GARAGE * 42) + (2 CAR DWAY * 42) = 168

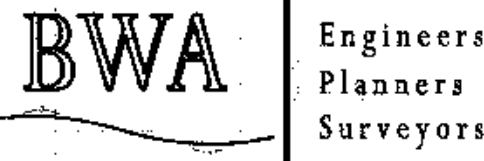
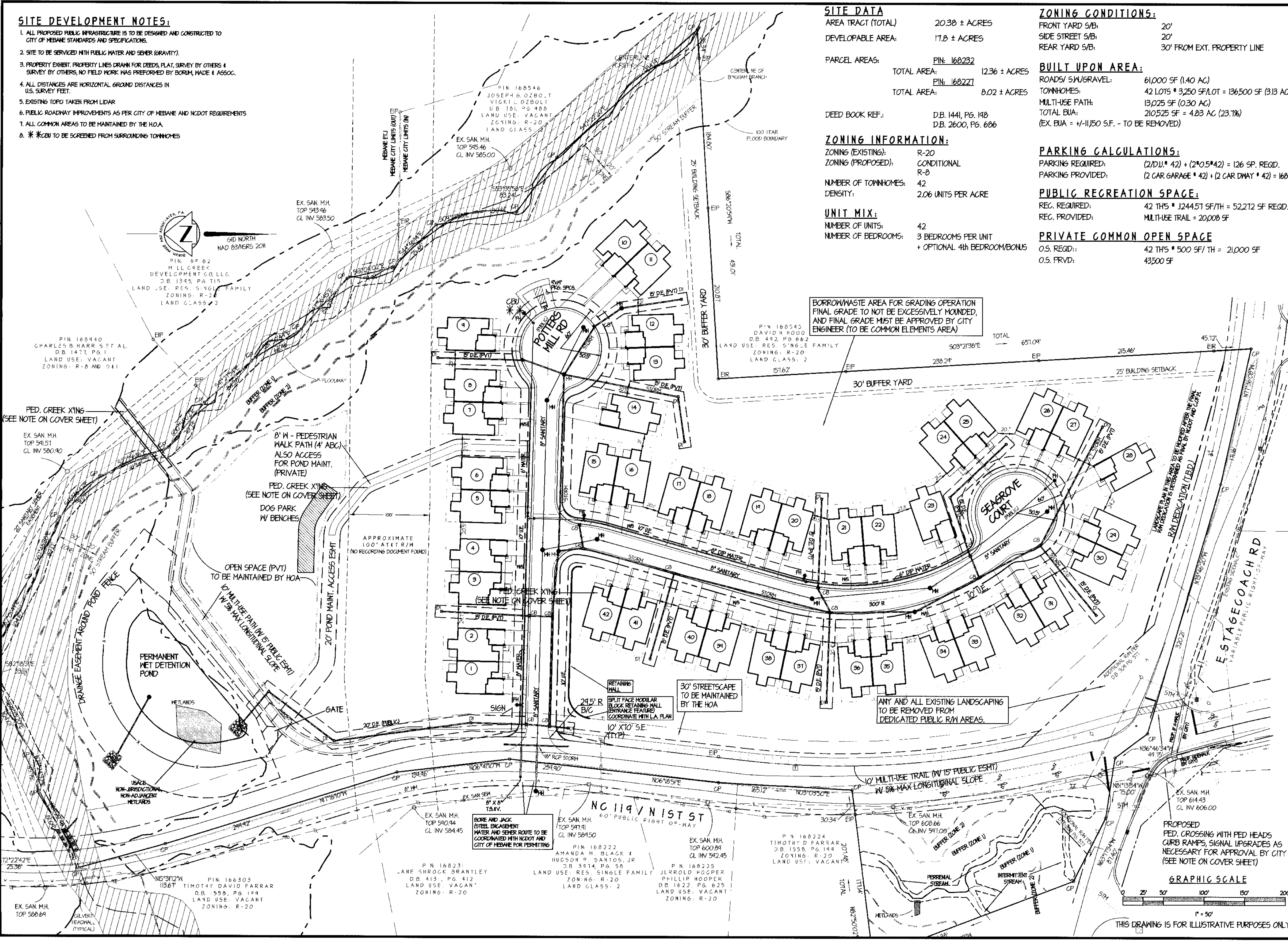
PUBLIC RECREATION SPACE:

REG. REQUIRED:	42 TH'S * 1,244.51 SF/TH = 52,272 SF REQD.
REG. PROVIDED:	MULTI-USE TRAIL = 20,000 SF

PRIVATE COMMON OPEN SPACE

O.S. REQD.:	42 TH'S * 500 SF/TH = 21,000 SF
O.S. PRVD:	43,500 SF

BORROW/WASTE AREA FOR GRADING OPERATION
FINAL GRADE TO NOT BE EXCESSIVELY MOUNDY,
AND FINAL GRADE MUST BE APPROVED BY CITY
ENGINEER (TO BE COMMON ELEMENTS AREA)



Borum, Wade and Associates, P.A.
421 Eugene Court, Suite 100, Greensboro, NC 27401-2711
P.O. Box 21182 Greensboro, NC 27402-1882
Phone: 336-275-9471 Fax: 336-275-3719
Web: www.borum-wade.com
N.C. License # C-0868



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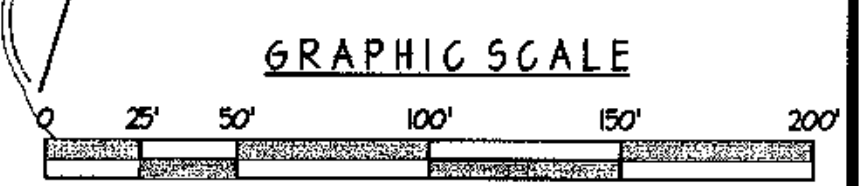
POTTERS MILL
TOWNHOMES
704 N FIRST ST
MELVILLE TOWNSHIP, ALAMANCE COUNTY
MEBANE, NORTH CAROLINA

OWNER/DEVELOPER:
LAND ACQUISITIONS AND
DEVELOPMENT SERVICES, LLC
PO BOX 4147
GREENSBORO, NORTH CAROLINA 27424
336-201-8003
CONTACT: DAVID MICHAELS

DRAWN BY: TEM
DATE: JAN 25, 2022
REVISIONS:
REV 3-22-2022
REV 5-11-2022
REV 6-6-2022

SHEET TITLE:
SITE & UTILITY
SKETCH PLAN

FILE NO: F:\WINSDOR\MEBANE-STAGECOACH\RA\STAGEBA
DRAWING SCALE: 1"=50'
PLAN SHEET NO:



THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES ONLY

SITE DEVELOPMENT NOTES:

1. ALL PROPOSED PUBLIC INFRASTRUCTURE IS TO BE DESIGNED AND CONSTRUCTED TO CITY OF MEBANE STANDARDS AND SPECIFICATIONS.
 2. SITE TO BE SERVICED WITH PUBLIC WATER AND SEWER (GRAVITY).
 3. PROPERTY EXHIBIT, PROPERTY LINES DRAWN FOR DEEDS, PLAT, SURVEY BY OTHERS & SURVEY BY OTHERS, NO FIELD WORK HAS PERFORMED BY BORUM, WADE & ASSOC.
 4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET.
 5. EXISTING TOPO TAKEN FROM LIDAR
 6. PUBLIC ROADWAY IMPROVEMENTS AS PER CITY OF MEBANE AND NCDOT REQUIREMENTS
 7. * K&U TO BE SCREENED FROM SURROUNDING TOWNHOMES
 8. ALL SITE DRAINAGE PIPING TO BE PRIVATE AND MAINTAINED BY HOA WITH PRIVATE DRNG. ESMTS.
 9. ALL FILL SLOPES STEEPER THAN 3:1 AND AREAS OF STRUCTURAL FILL MUST HAVE GEOTECH LETTER FOR STABILIZATION AND COMPACTION
10. FINAL GRADING OF GARAGE SLABS SHALL BE:
 GARAGE SLABS FFE - 2' HIGHER THAN CURB FOR 20' 5/8"
 GARAGE SLABS FFE - 2.5' HIGHER THAN CURB FOR 25' 5/8"
 GARAGE SLABS FFE - 3' HIGHER THAN CURB FOR 30' 5/8"
11. TO THE EXTENT PRACTICAL, THE OPEN SPACE SHALL REMAIN WOODED/NATURAL EXCEPT FOR TRAILS OR RECREATIONAL PLAY AREA. IF NOT NATURALLY WOODED, THEN TREES TO BE PROVIDED TO REPLACE TREE CANOPY REMOVED DURING SITE DEVELOPMENT.

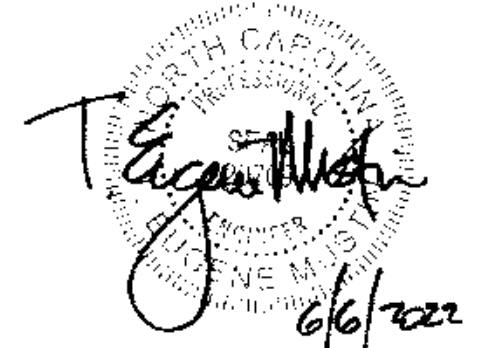
SITE DATA

AREA TRACT (TOTAL)	20.38 ± ACRES
DEVELOPABLE AREA:	17.8 ± ACRES
PARCEL AREAS:	PIN: 168232
TOTAL AREA:	12.36 ± ACRES
TOTAL AREA:	PIN: 168221
TOTAL AREA:	8.02 ± ACRES
DEED BOOK REF.:	D.B. 1441, PG. 148
	D.B. 2600, PG. 686

BWA Engineers
Planners
Surveyors

Borum, Wade and Associates, P.A.
 671 Engine Court, Suite 100, Greensboro, NC 27401-2711
 PO Box 21882 Greensboro, NC 27402-1882
 Phone: 336.275.0471 Fax: 336.275.5719
 Web: www.borumwade.com
 R.C. Linnell III, C.O.E.S.

SEALS



PROJECT:

**PRELIMINARY
DRAWING
NOT FOR
CONSTRUCTION**

**POTTERS MILL
TOWNHOMES**
 704 N FIRST ST
 MELVILLE TOWNSHIP, ALAMANCE COUNTY
 MEBANE, NORTH CAROLINA

OWNER/DEVELOPER:
**LAND ACQUISITIONS AND
DEVELOPMENT SERVICES, LLC**
 PO BOX 9147
 GREENEBORO, NORTH CAROLINA 27429
 336-201-8009
 CONTACT: DAVID MICHAELS

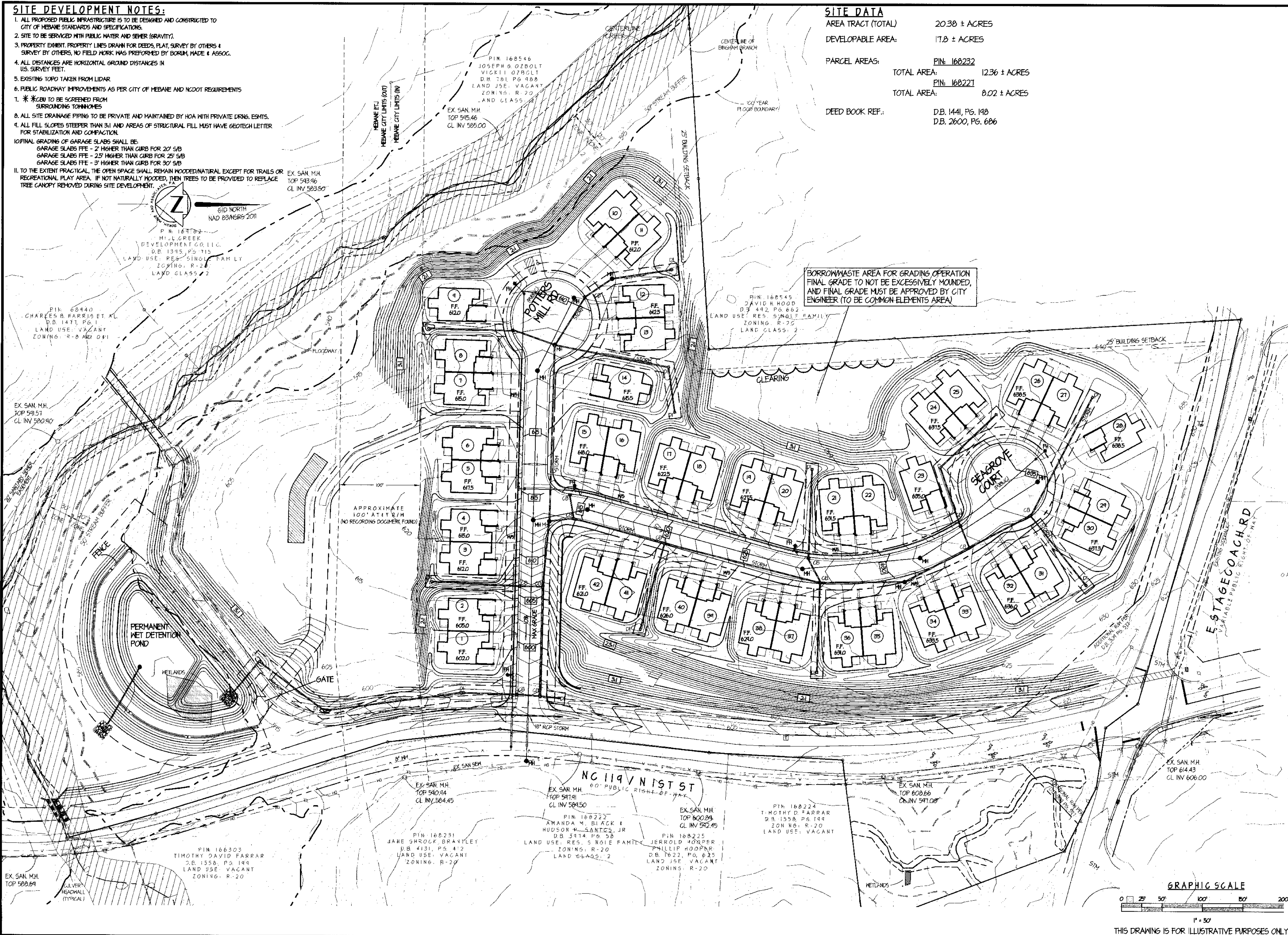
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 DATE: JAN. 25, 2022

REVISIONS

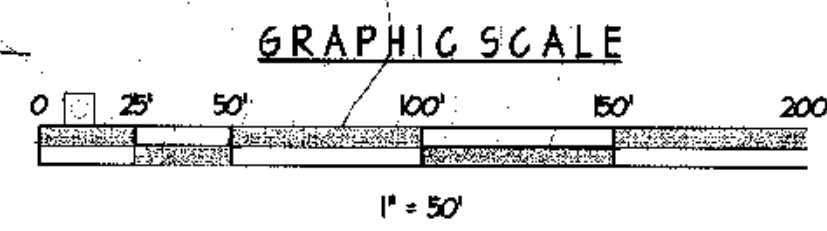
REV 3-22-2022
 REV 3-17-2022
 REV 6-6-2022

SHEET TITLE:
**SITE GRADING
SKETCH PLAN**

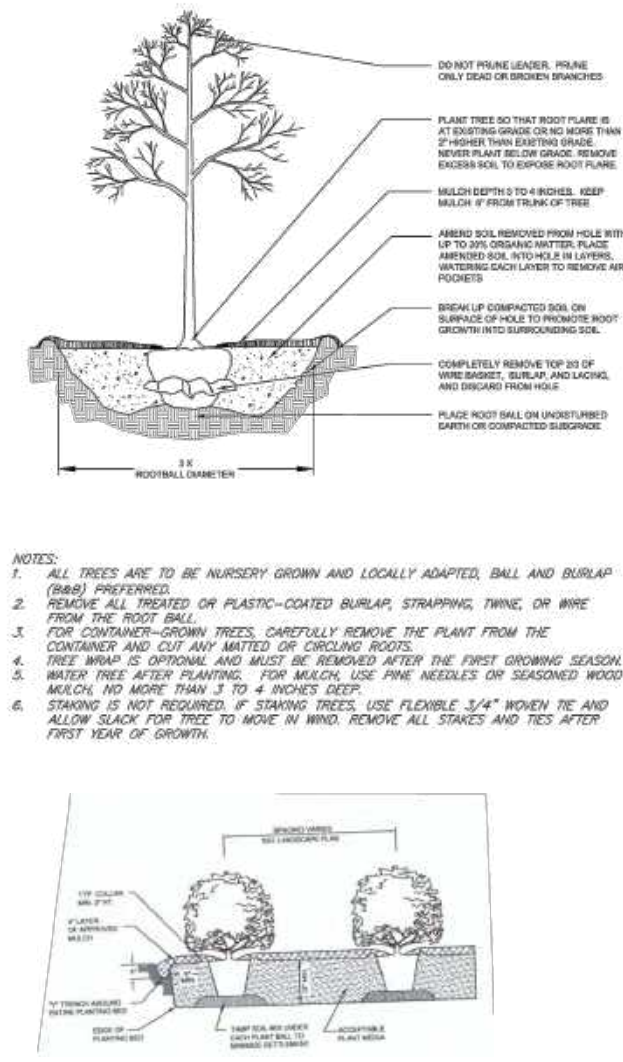
FILE NO: F:\WINDSOR\MEBANE-STAGECOACH-ROB\BASEMAP
 DRAWING SCALE: 1"=50'
 PLAN SHEET NO.



BORROWWASTE AREA FOR GRADING OPERATION
 FINAL GRADE TO NOT BE EXCESSIVELY MOUNDED,
 AND FINAL GRADE MUST BE APPROVED BY CITY
 ENGINEER (TO BE COMMON ELEMENTS AREA)



THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES ONLY



Landscape Ordinance Requirements

Type: Perimeter Landscape Buffer (South)
 Requirement: Type "B" 30ft. bufferyard min. spacing shall be no wider than 20' between tree trunks, evergreen shrubs spacing range to be 5-8' O.C.

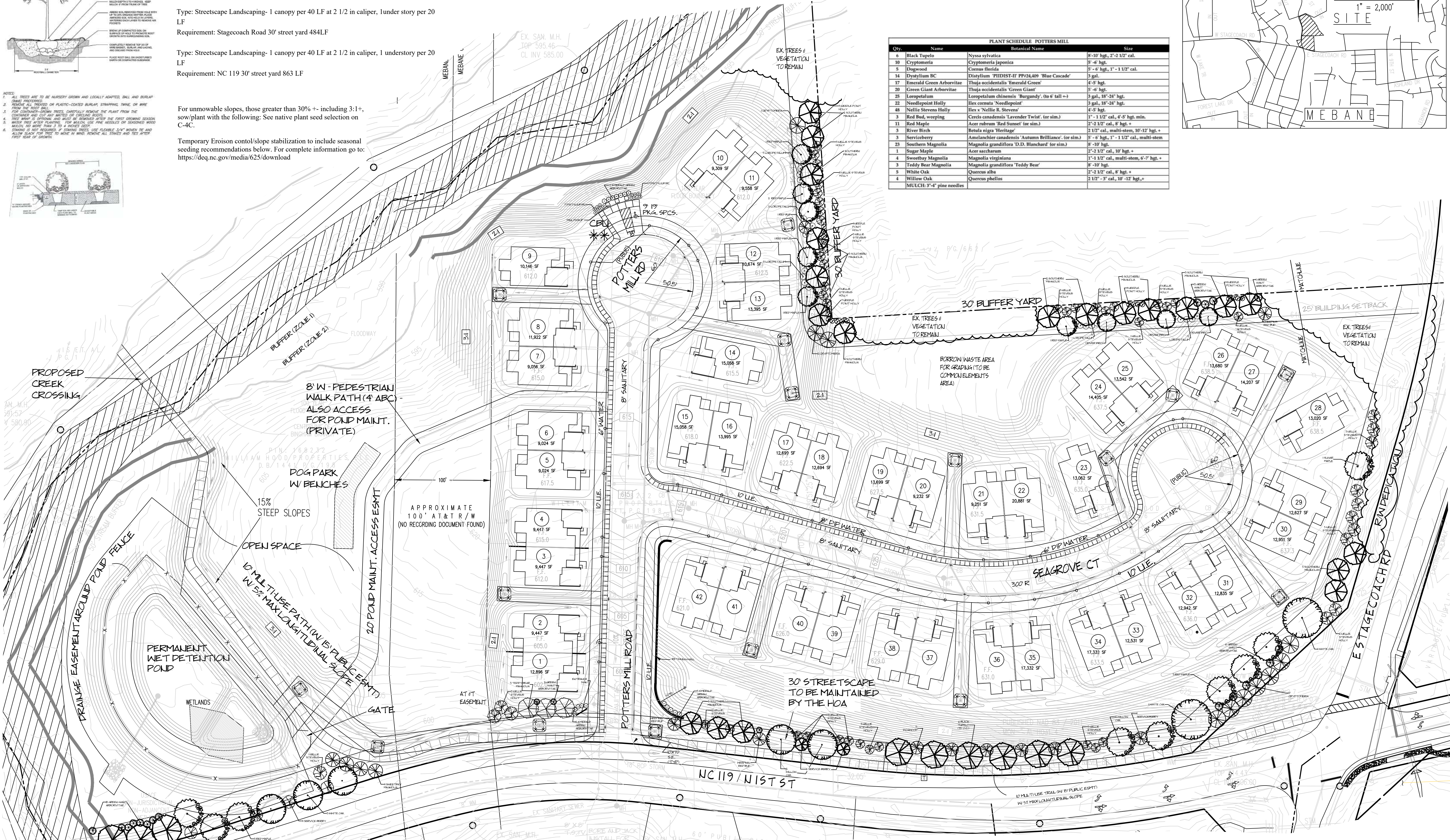
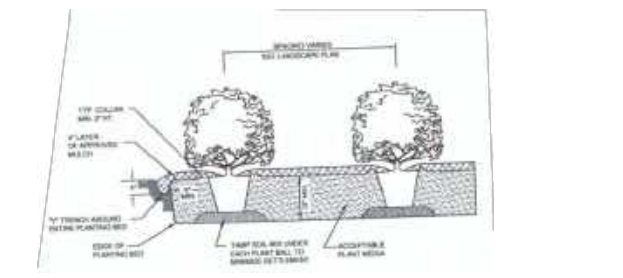
Type: Streetscape Landscaping- 1 canopy per 40 LF at 2 1/2 in caliper, 1 under story per 20 LF
 Requirement: Stagecoach Road 30' street yard 484LF

Type: Streetscape Landscaping- 1 canopy per 40 LF at 2 1/2 in caliper, 1 under story per 20 LF
 Requirement: NC 119 30' street yard 863 LF

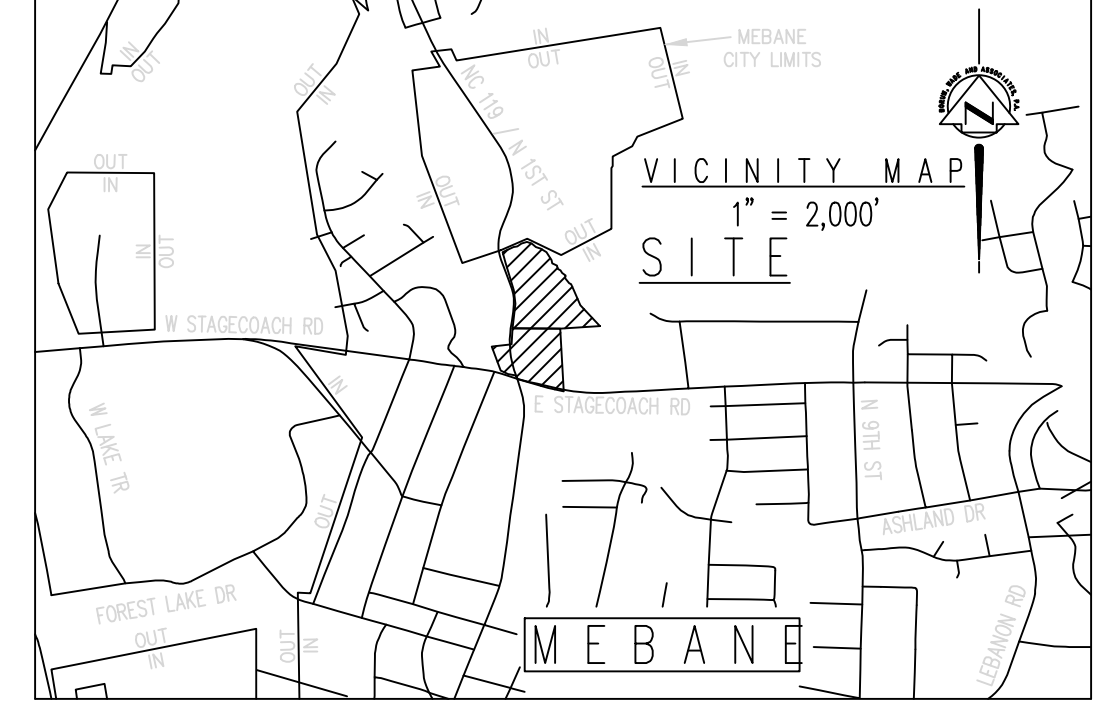
For unmovable slopes, those greater than 30% +/- including 3:1+, sow/plant with the following: See native plant seed selection on C-4C.

Temporary Erosion control/slope stabilization to include seasonal seeding recommendations below. For complete information go to: <https://deq.nc.gov/media/625/download>

- 1. ALL TREES ARE TO BE NURSERY GROWN AND LOCALLY ADAPTED, BURL AND BURLAP MUST BE REMOVED
- 2. TREES ARE TO BE PLANTED IN PLASTIC-COVERED BURLAP, STRAPPING, TANGS, OR WIRE FROM THE ROOT BALL
- 3. TOP CONTAINER-GROWN TREES: CAREFULLY REMOVE THE PLANT FROM THE CONTAINER AND USE ONLY METHODS OF CROWNING ROOTS
- 4. PLANTING: PLANT TREES AT THE CORRECT DEPTH. DO NOT PLANT TOO DEEP OR TOO SHALLOW
- 5. WATER TREES AFTER PLANTING. FOR WALKS, USE PINE NEEDLES OR SHAGGED WOOD MULCH TO A DEPTH OF 2 TO 4 INCHES
- 6. TREES ARE TO BE PLANTED IN A 30' BUFFER ZONE
- 7. TRUNKS ARE NOT TO BE PROTECTED BY STAKES OR STRIPS. USE FLEXIBLE 3/4" WOODEN PILES AND SECURE STRIPS FOR PROTECTION IN WIND. REMOVE ALL CHAINS OR STRIPS AFTER FIRST YEAR OF GROWTH



Qty	Name	Botanical Name	Size
4	Black Tupelo	Nyssa sylvatica	8'-10' hgt., 2"-2 1/2" cal.
10	Cryptomeria	Cryptomeria japonica	6'-8' hgt., 1"-1 1/2" cal.
5	Dogwood	Cornus florida	5'-6' hgt., 1"-1 1/2" cal.
14	Dryasium BC	Dryasium "PHIDIST-II" PP224,409 'Blue Cascade'	3 gal.
17	Emerald Green Arborvitae	Thuja occidentalis 'Emerald Green'	4'-6' hgt.
20	Green Giant Arborvitae	Thuja occidentalis 'Green Giant'	5'-6' hgt.
25	Loropetalum	Loropetalum chinensis 'Burgundy' (to 6 tall +/-)	3 gal., 18"-24" hgt.
22	Needlepoint Holly	Ilex cornuta 'Needlepoint'	3 gal., 18"-24" hgt.
48	Naille Stevens Holly	Ilex x 'Naille K. Stevens'	4'-6" hgt.
3	Red Bud, weeping	Cercis canadensis 'Lavender Twist' (or sim.)	1"-1 1/2" cal., 4'-5' hgt. min.
11	Red Maple	Acer rubrum 'Red Sunset' (or sim.)	2 1/2" cal., 8' hgt. +
3	River Birch	Betula nigra 'Heritage'	2 1/2" cal., multi-stem, 10'-12' hgt. +
3	Serviceberry	Amelanchier canadensis 'Autumn Brilliance' (or sim.)	5'-6' hgt., 1"-1 1/2" cal., multi-stem
25	Southern Magnolia	Magnolia grandiflora 'D.D. Blanchard' (or sim.)	8'-10" hgt.
1	Sugar Maple	Acer saccharum	2"-2 1/2" cal., 10' hgt. +
4	Sweetbay Magnolia	Magnolia virginiana	1"-1 1/2" cal., multi-stem, 6'-7' hgt. +
3	Teddy Bear Magnolia	Magnolia grandiflora 'Teddy Bear'	8'-10" hgt.
5	White Oak	Quercus alba	2 1/2" cal., 8' hgt. +
4	Willow Oak	Quercus phellos	2 1/2" cal., 10'-12' hgt. +

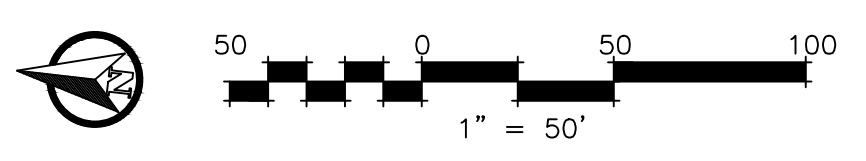
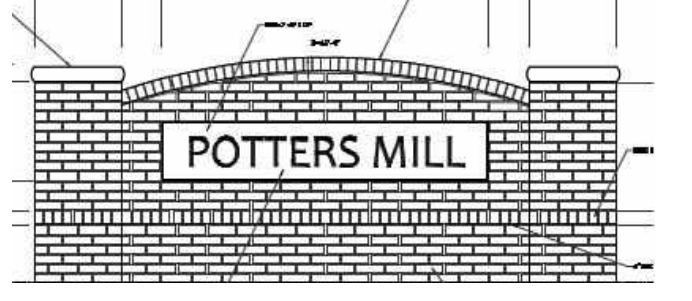


Temporary Seeding Recommendations for Late Winter/ Early Spring		Temporary Seeding Recommendations for Summer		Temporary Seeding Recommendations for Fall	
Seeding mixture Species	Rate (lb/acre)	Seeding mixture Species	Rate (lb/acre)	Seeding mixture Species	Rate (lb/acre)
Rye (grain) Annual lespedeza (bale in Piedmont and Coastal Plain, Korean in Mountains)	120	Corn mill Ornamental grass	40	Rye (grain)	120
50					
Seeding dates		Seeding dates		Seeding dates	
Mountains—Above 2500 feet: Feb. 15 - May 15 Below 2500 feet: Feb. 1 - May 1 Piedmont—Jan. 1 - May 1 Coastal Plain—Dec. 1 - Apr. 15		In the Piedmont and Mountains, a small-stemmed Sudangrass may be substituted at a rate of 50 lb/acre. Seeding dates Mountains—May 15 - Aug. 15 Piedmont—May 1 - Aug. 15 Coastal Plain—Apr. 15 - Aug. 15		Mountains—Aug. 15 - Dec. 15 Coastal Plain and Piedmont—Aug. 15 - Dec. 30	
Soil amendments		Soil amendments		Soil amendments	
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.		Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.		Follow soil tests or apply 2,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer.	
Mulch		Mulch		Mulch	
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.		Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.		Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	
Maintenance		Maintenance		Maintenance	
Refer to site if growth is not fully adequate. Re-seed, refer to site and immediately following erosion or other damage.		Refer to site if growth is not fully adequate. Re-seed, refer to site and immediately following erosion or other damage.		Refer to site if growth is not fully adequate. Re-seed, refer to site and immediately following erosion or other damage.	

Areas to be Seeded:
 -Till or disc the prepared areas to be seeded to a minimum depth of four (4) inches. Remove stones larger than three (3) inches on any side, sticks, roots and any other extraneous materials that surface. If not incorporated during the soil preparation process, add pH modifier and fertilization at the rate specified in the soil test report.

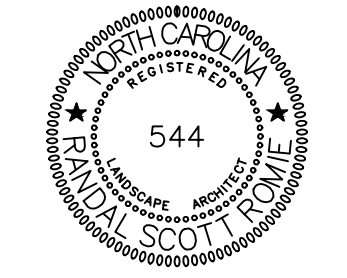
- Re-compact the area utilizing a cultipacker roller. The finished grade shall be a smooth even soil surface with a loose, uniform fine texture. All ridges and depressions shall be removed and filled to provide the approved surface drainage. Seeding of graded areas is to be done immediately after finished grades are obtained and seedbed preparation is completed.

More existing trees/vegetation may be saved along Stagecoach Dr. New trees shown may not need to be planted, upon final grading.



Signature
 Celebrating 29 Years!
RANDAL SCOTT ROMIE, ASLA
 LANDSCAPE ARCHITECT

PO BOX 38903
 Greensboro, NC 27438
 Randal@RomieDesign.com



Potters Mill

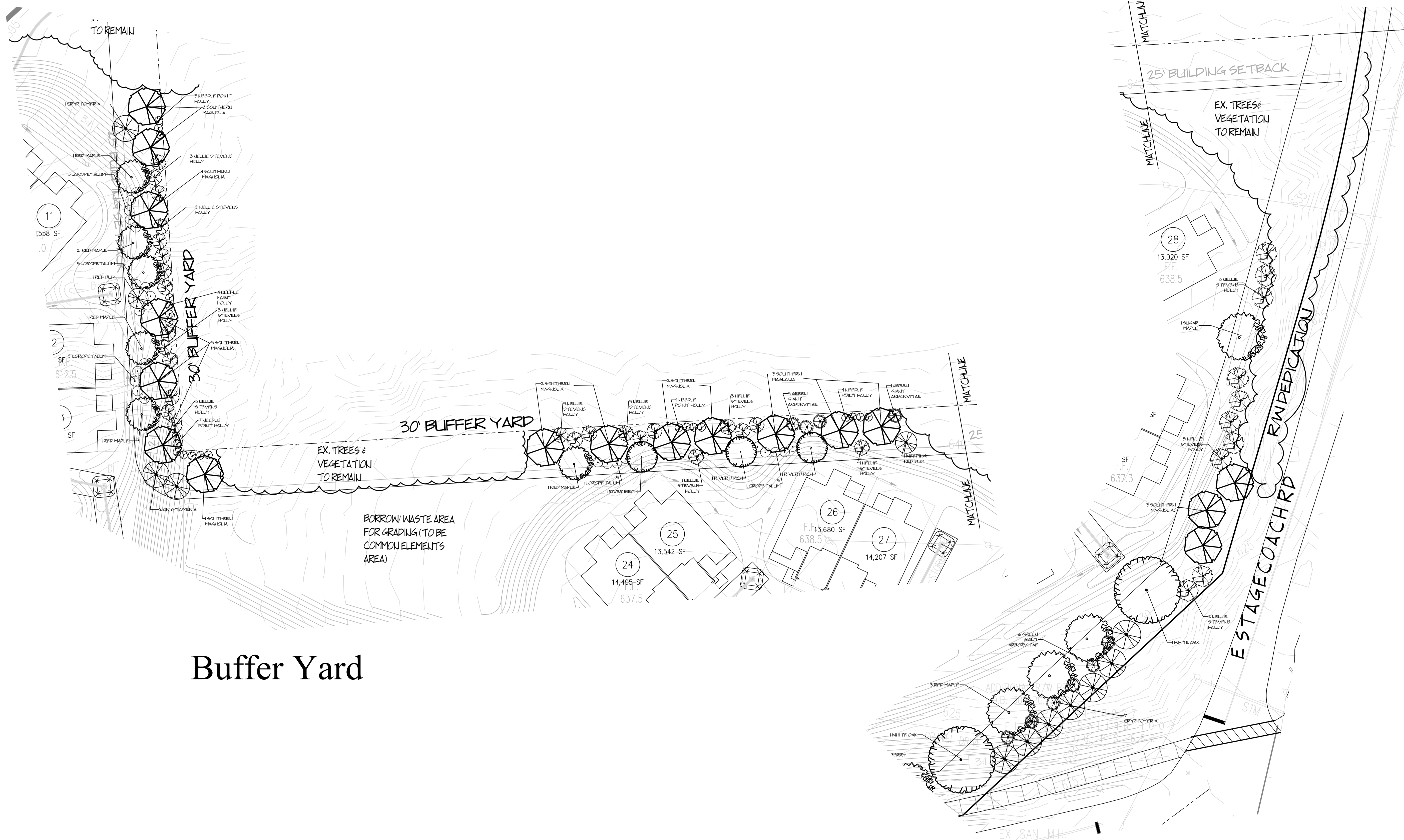
704 N First Street
 Melville Township, Alamance County
 Mebane, North Carolina

Landscape Plan

DATE: 5/16/2022
 PROJECT NO.
 SCALE:
 DRAWN BY: CHW RSR
 REVISION: 6/2/2022
 Address Town Comments

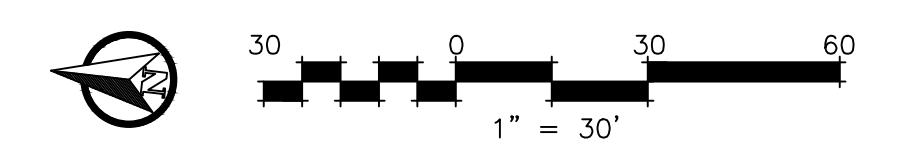
C-4A

OF



Buffer Yard

E Stagecoach Road Streetyard



Designature

Celebrating 29 Years!
RANDAL SCOTT ROMIE, ASLA
 LANDSCAPE ARCHITECT

PO BOX 38903
 Greensboro, NC 27438

Randal@RomieDesign.com



Potters Mill

704 N First Street
 Melville Township, Alamance County
 Mebane, North Carolina

Landscape Plan

DATE: 5/16/2022
 PROJECT NO.
 SCALE:
 DRAWN BY: CHW RSR
 REVISION: 6/2/2022
 Address Town Comments

C-4B

OF

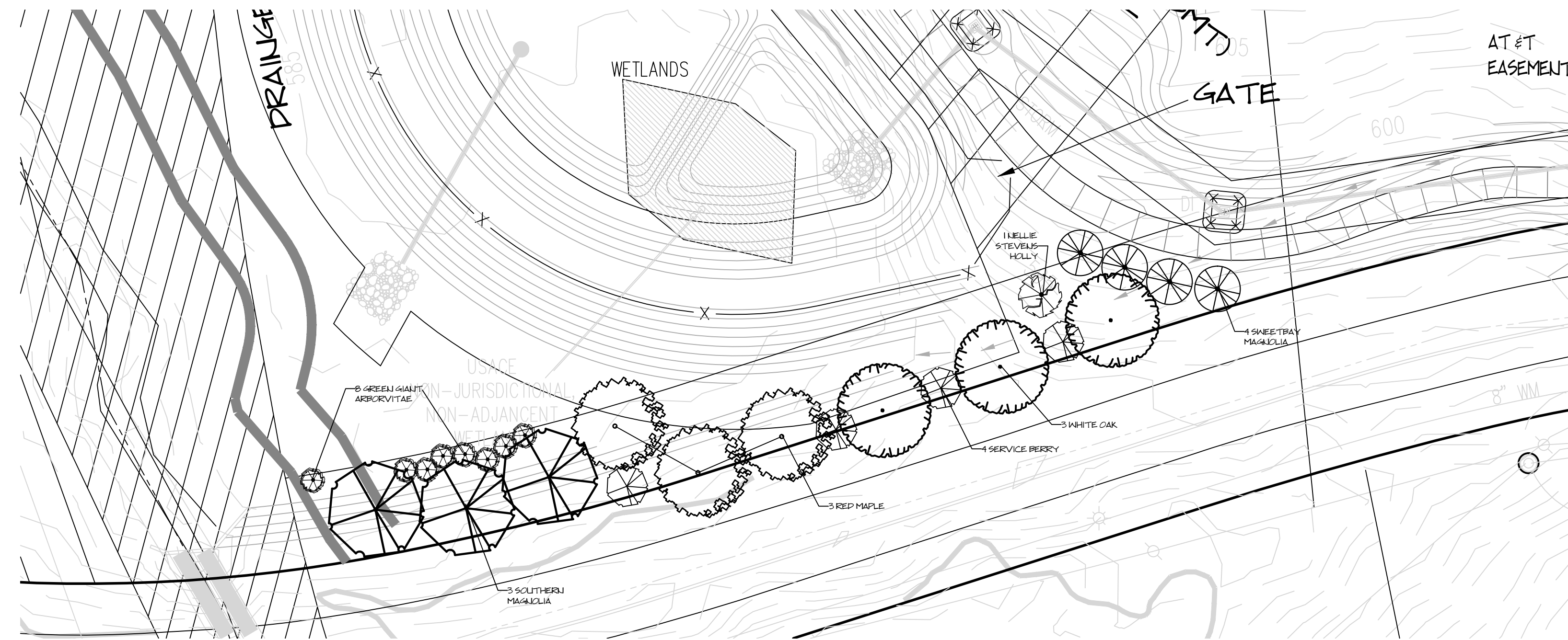
Table 6.11.d

Seed Mixes for Native Species (lbs/ac)
When Mixed with 3, 4, or 5 Other Native Species
(See Table 6.11.a for nurse crop species to be added to these mixes)

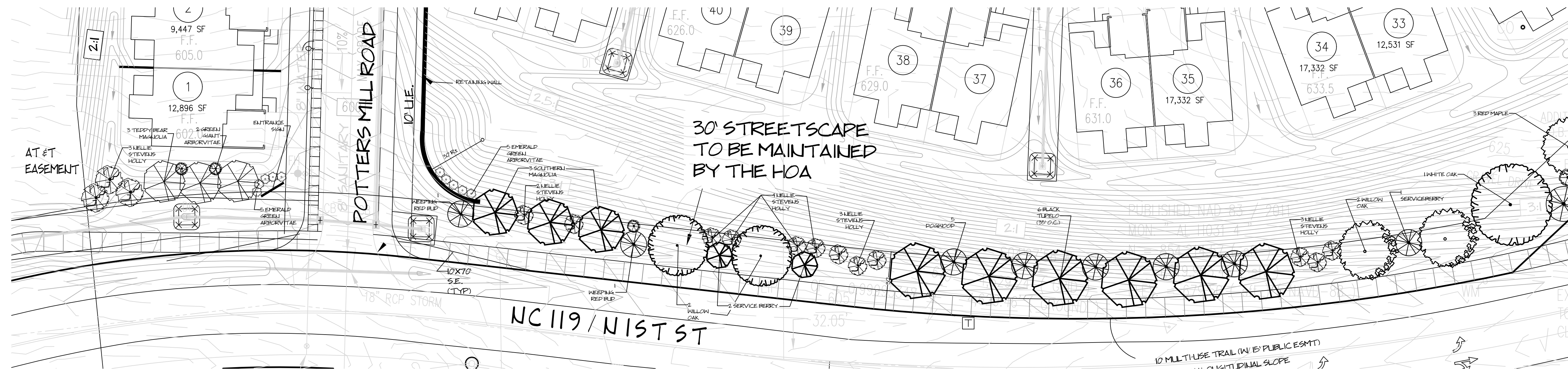
	3 Other (total 4 species)	4 Other (total 5 species)	5 Other (total 6 species)
Switch Grasses (A)	3.5 lbs.	3.0 lbs.	2.5 lbs.
Indian Grasses (B)	7.0 lbs.	6.0 lbs.	5.0 lbs.
Deertongue (C)	6.0 lbs.	5.0 lbs.	4.0 lbs.
Big Bluestem (D)	7.0 lbs.	6.0 lbs.	5.0 lbs.
Little Bluestem (E)	7.0 lbs.	6.0 lbs.	5.0 lbs.
Sweet Woodreed (F)	2.5 lbs.	2.0 lbs.	1.5 lbs.
Rice Cutgrass (G)	6.0 lbs.	5.0 lbs.	4.0 lbs.
Indian Woodoats (H)	2.5 lbs.	2.0 lbs.	1.5 lbs.
Virginia Wild Rye (I)	6.0 lbs.	5.0 lbs.	4.0 lbs.
Eastern Bottlebrush Grass (J)	2.5 lbs.	2.0 lbs.	1.5 lbs.
Soft Rush (K)	2.5 lbs.	2.0 lbs.	1.5 lbs.
Sedges (L)	2.5 lbs.	2.0 lbs.	1.5 lbs.

NOTE:
With the native varieties, the seed mix should be in the range of 15 pounds per acre. Depending on availability of native seeds adaptable to North Carolina, the percentage of a particular variety used may be reduced or increased accordingly. Although diversity is desirable, it is imperative that the primary crop develop and become an effective protective cover. In addition to the native species mix, additional nurse crop species must be included to provide immediate stabilization and an adequate ground cover.

- NOTES:
- Seeding rates are for tilled seed unless otherwise noted.
 - Fertilizer & Limestone - rates to be applied in absence of soil tests. Recommended application rate assumes significantly disturbed site soils with little or no residual value.
 - NRT means Species not recommended for this region or application area.
 - Invasive designation as determined by the N.C. Exotic Plant Council and N.C. Native Plant Society.
 - Sparging is not recommended for immediate stabilization unless terrain is flat heavy mulch is applied and no other immediate stabilization method is practical.



NC 119 N 1ST ST Streetyard (Detention Pond)



NC 119 N 1ST ST Streetyard

Signature

Celebrating 29 Years!
RANDAL SCOTT ROMIE, ASLA
LANDSCAPE ARCHITECT

PO BOX 38903
Greensboro, NC 27438

Randal@RomieDesign.com



Potters
Mill

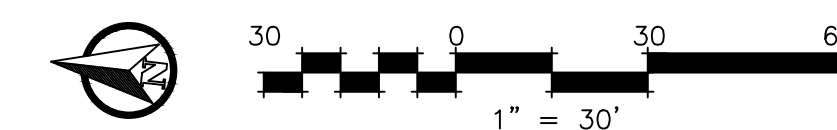
704 N First Street
Melville Township, Alamance County
Mebane, North Carolina


Landscape
Plan

DATE: 5/16/2022
PROJECT NO.
SCALE:
DRAWN BY: CHW RSR
REVISION: 6/2/2022
Address Town Comments

C-4C

OF



SEALS:


PROJECT:
**PRELIMINARY
 DRAWING
 NOT FOR
 CONSTRUCTION**

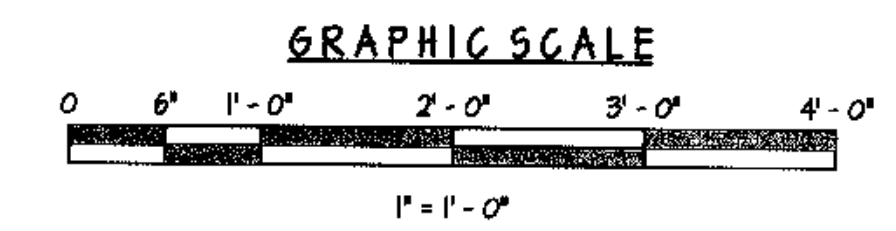
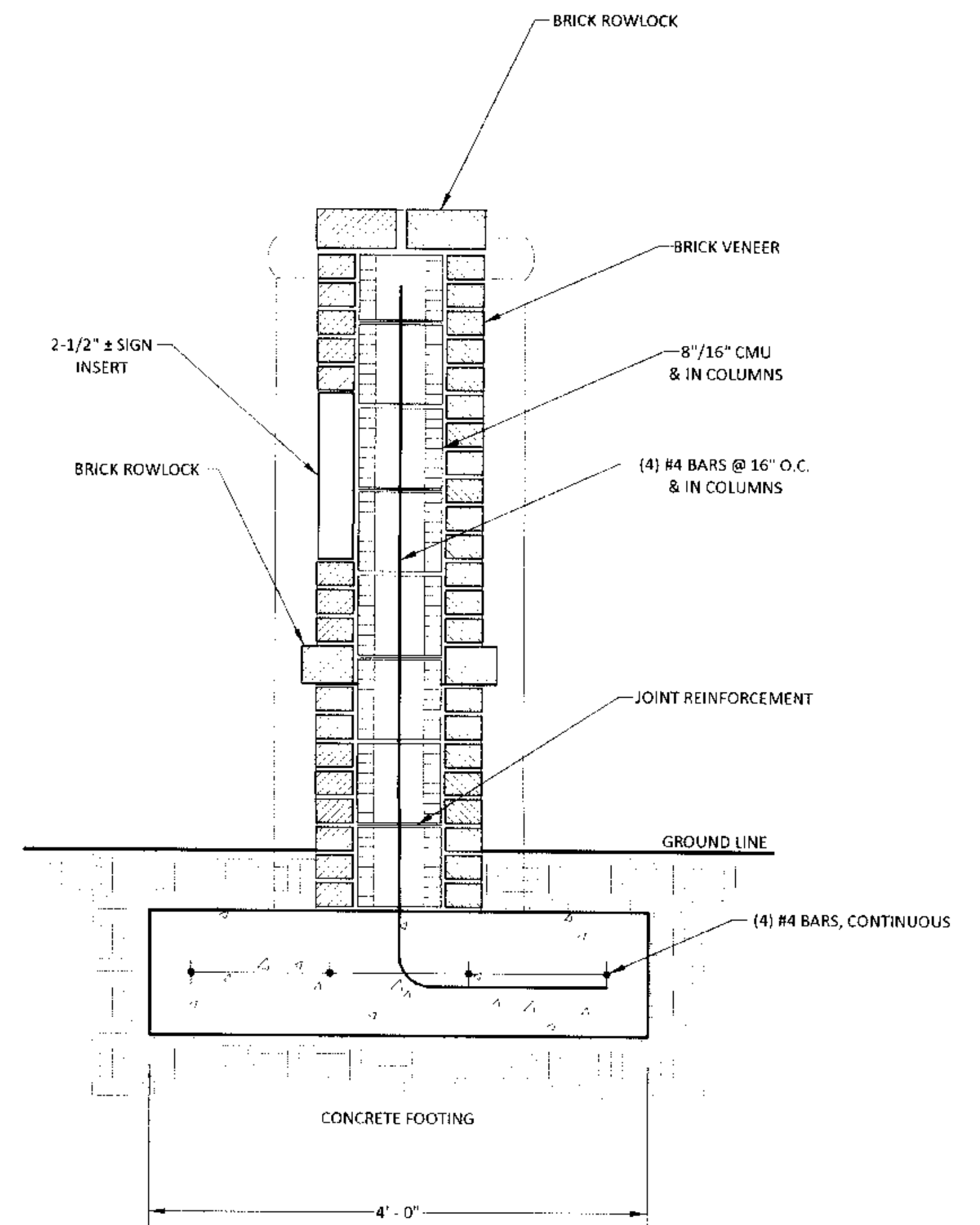
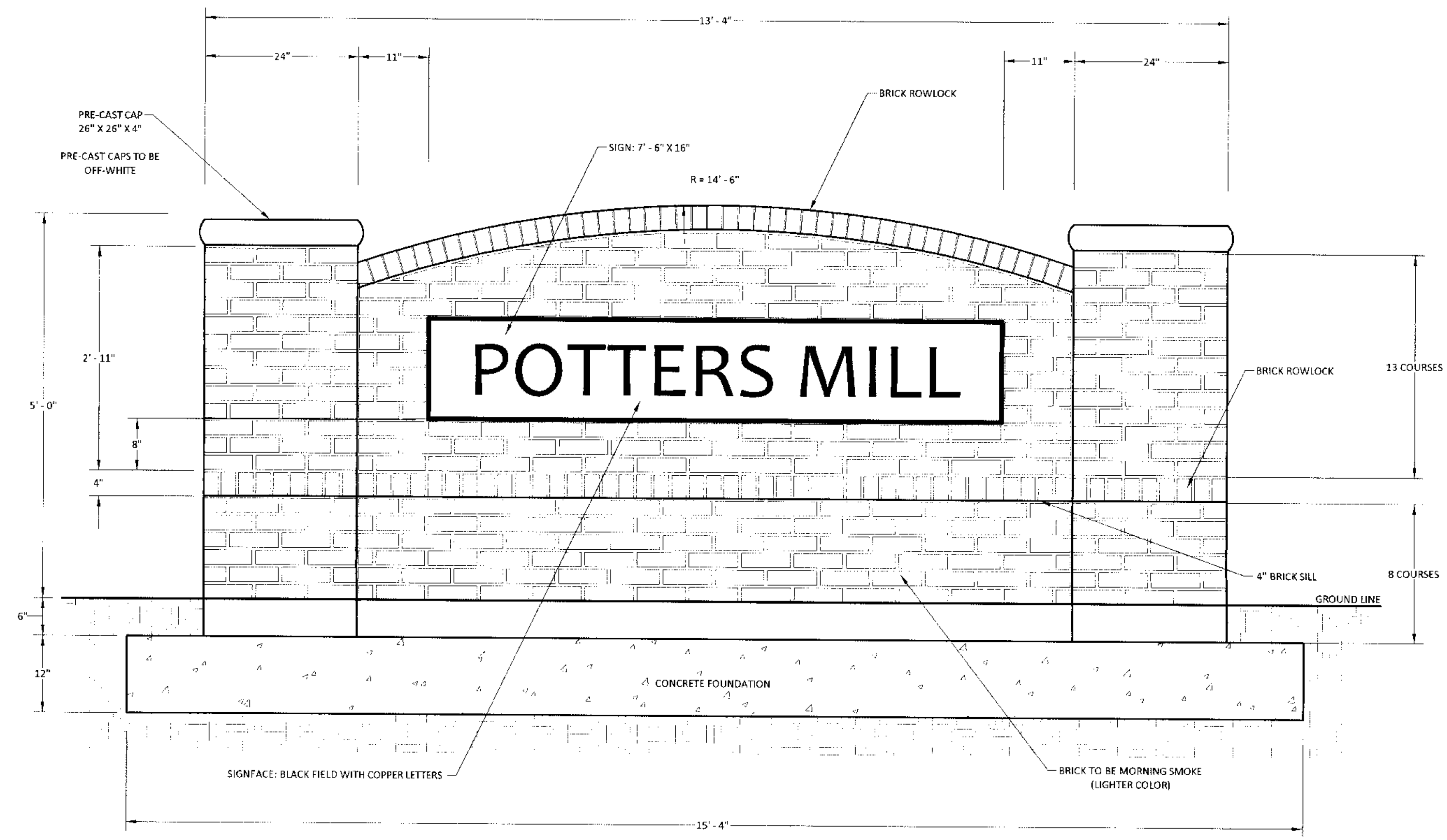
**POTTERS MILL
 TOWNHOMES**
 104 N FIRST ST
 MELVILLE TOWNSHIP, ALAMANCE COUNTY
 MEBANE, NORTH CAROLINA

OWNER/DEVELOPER:
MINDSOR INVESTMENTS, LLC
 PO BOX 9141
 GREENSBORO, NORTH CAROLINA 27429
 336-207-8003
 CONTACT: DAVID MICHAELS

DRAWN BY: **TEH**
 DATE: **JAN 25, 2022**
 REVISIONS:
 REV. 6-6-2022

SHEET TITLE:
**ENTRANCE SIGN
 CONCEPT
 PLAN**

FILE NO.: F:\MINDSOR\MEBANE-STAGEC03\K01\BASEWP
 DRAWING SCALE: 1" = 1'
 PLAN SHEET NO.:



PLANNING PROJECT REPORT

DATE	06/02/2022
PROJECT NUMBER	RZ 22-05
PROJECT NAME	Potters Mill
APPLICANT	Land Acquisition & Development Services, LLC PO Box 9147 Greensboro, NC 27429

CONTENTS

PROJECT NAME & APPLICANT	PAGE 1
ZONING REPORT	PAGE 2
LAND USE REPORT	PAGE 4
UTILITIES REPORT	PAGE 7
STAFF ZONING REQUEST RECOMMENDATION	PAGE 8

ZONING REPORT

EXISTING ZONE	R-20 (Residential)
REQUESTED ACTION	R-8(CD) (Residential, Conditional Zoning District)
CONDITIONAL ZONE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
CURRENT LAND USE	Vacant, Forested, Single-Family Residential
PARCEL SIZE	+/- 20.38 acres

Rosalind Ellen Hood
2501 Beechridge Rd
Raleigh, NC 27608
GPIN 9825085533

PROPERTY OWNERS

William Hood Properties, LLC
604 N. Bailey Ave
Fort Worth, TX 76107
GPIN 9825095188

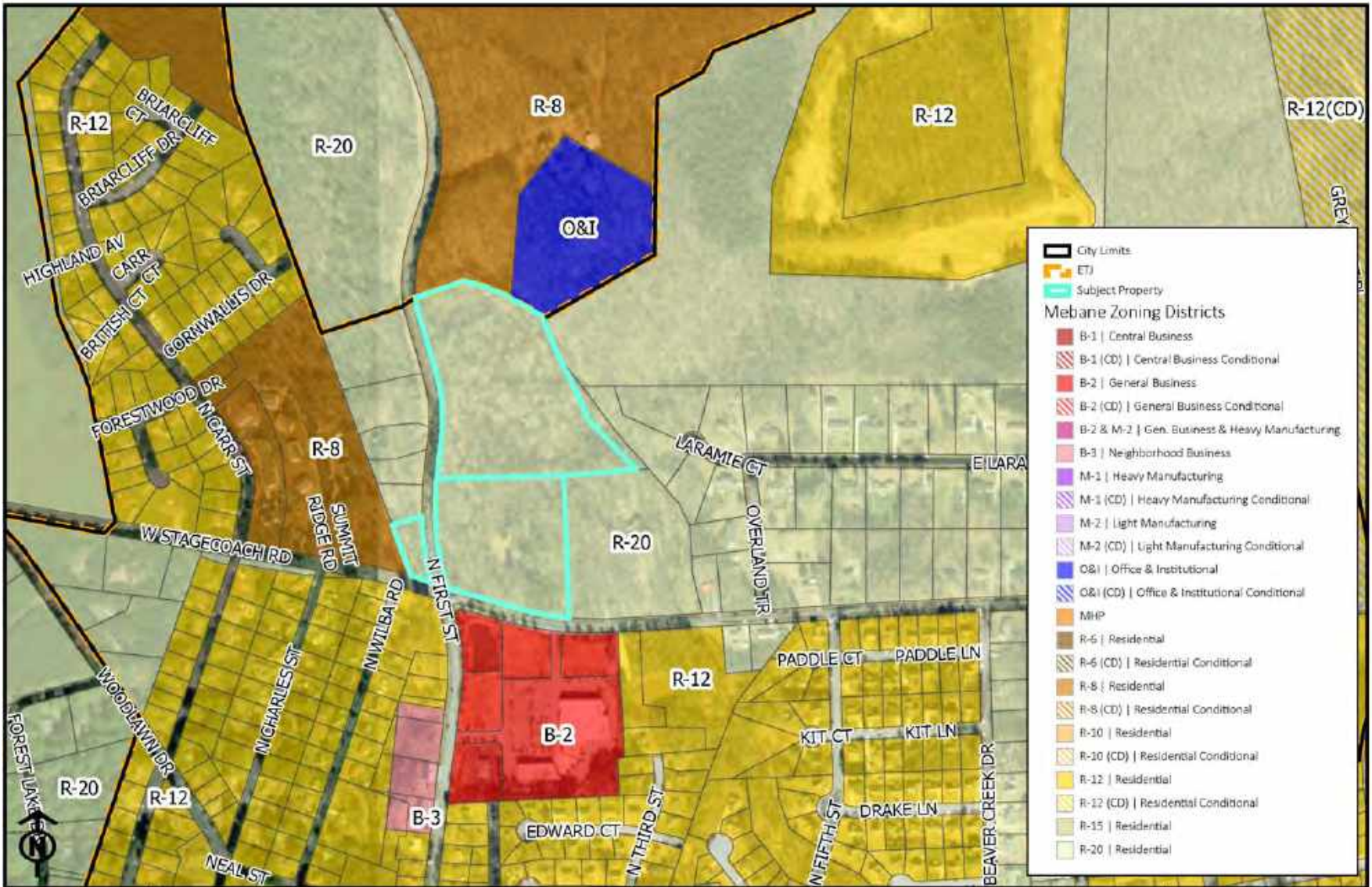
LEGAL DESCRIPTION	Request to rezone two (2) properties totaling +/- 20.38 acres located at 704 North First Street (PINs 9825085533 & 9825095188) from R-20 to R-8 (CD) for a residential development of 42 townhomes by Land Acquisition & Development Services, LLC
AREA ZONING & DISTRICTS	Properties to the east and west are zoned R-20 (Residential). The vacant property to the north is zoned R-8 (Residential) and O&I (Office & Institutional). The properties to the south are zoned B-2 (General Business).

SITE HISTORY	The property is largely vacant and forested except for a single-family residence.
--------------	---

STAFF ANALYSIS

CITY LIMITS?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED USE BY-RIGHT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
SPECIAL USE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
EXISTING UTILITIES?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

POTENTIAL IMPACT OF PROPOSED ZONE	The higher-density nature of townhomes is different in character to the surrounding lower density residential uses to the east and west, though overall it is consistent with the predominantly residential zoning in the area including the adjacent R-8 zoning district to the north of the site, and the R-8 Zoning of Oakwood Apartments on the western side of Stagecoach Road. The overall density of the project is 2.06 units per acre, which is much lower than the maximum density permitted for townhomes in the R-8 district (10 units per acre).
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**CITY OF MEBANE
 ZONING MAP**

**Conditional Rezoning
 Potters Mill**

1 inch = 600 feet

DATE: 07/05/2022

DRAWN BY: AV

LAND USE REPORT

EXISTING LAND USE	Vacant & Forested, Single Family Residential
PROPOSED LAND USE & REQUESTED ACTION	The applicant is requesting a conditional rezoning to develop two properties totaling +/- 20.38 acres located at 704 North First Street (PINs 9825085533 & 9825095188) for a residential development of 42 townhomes
PROPOSED ZONING	R-8 (CD) (Residential, Conditional Zoning District)
PARCEL SIZE	+/- 20.38
AREA LAND USE	<p>The properties directly south of the subject property make up the “Oak Manor” shopping center, including a grocery store, restaurants, and other retail/commercial tenants. The residentially zoned properties immediately surrounding the subject property to the north, east and west are largely undeveloped or occupied by single family homes on large lots. Multifamily housing known as “Oakwood Apartments” is located nearby on the western side of Stagecoach Road.</p>
ONSITE AMENITIES & DEDICATIONS	<p>The applicant proposes to provide 20,008 s.f. of a 10’-wide public multi-use path that will extend along the property’s frontage on N First Street and extend across the site to connect to a path network through proposed adjacent subdivisions. This is part of a coordinated effort between four developers with projects under review in the North Mebane area to create a public, multi-use path network that will connect Cates Farm Park to Lake Michael Park. The site plan also features 43,500 s.f. of private common area, including a 10x20 dog park amenity which will be HOA-maintained.</p>
WAIVER REQUESTED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF REQUESTED WAIVER(S)	<p>A waiver is requested for a 20’ minimum front setback and to allow for property lines that do not create side yards or substantial front and rear yards. Individual lots will not have typical yards such that townhome owners will only own a portion of land in front of and behind the unit. All common elements including those abutting privately-owned residences, excluding private driveways, shall be maintained by the HOA.</p>

CONSISTENCY WITH *MEBANE BY DESIGN* STRATEGY

LAND USE GROWTH STRATEGY DESIGNATION(S) G-3 Mixed-Use (NC-119 & Bypass)
Conservation Area

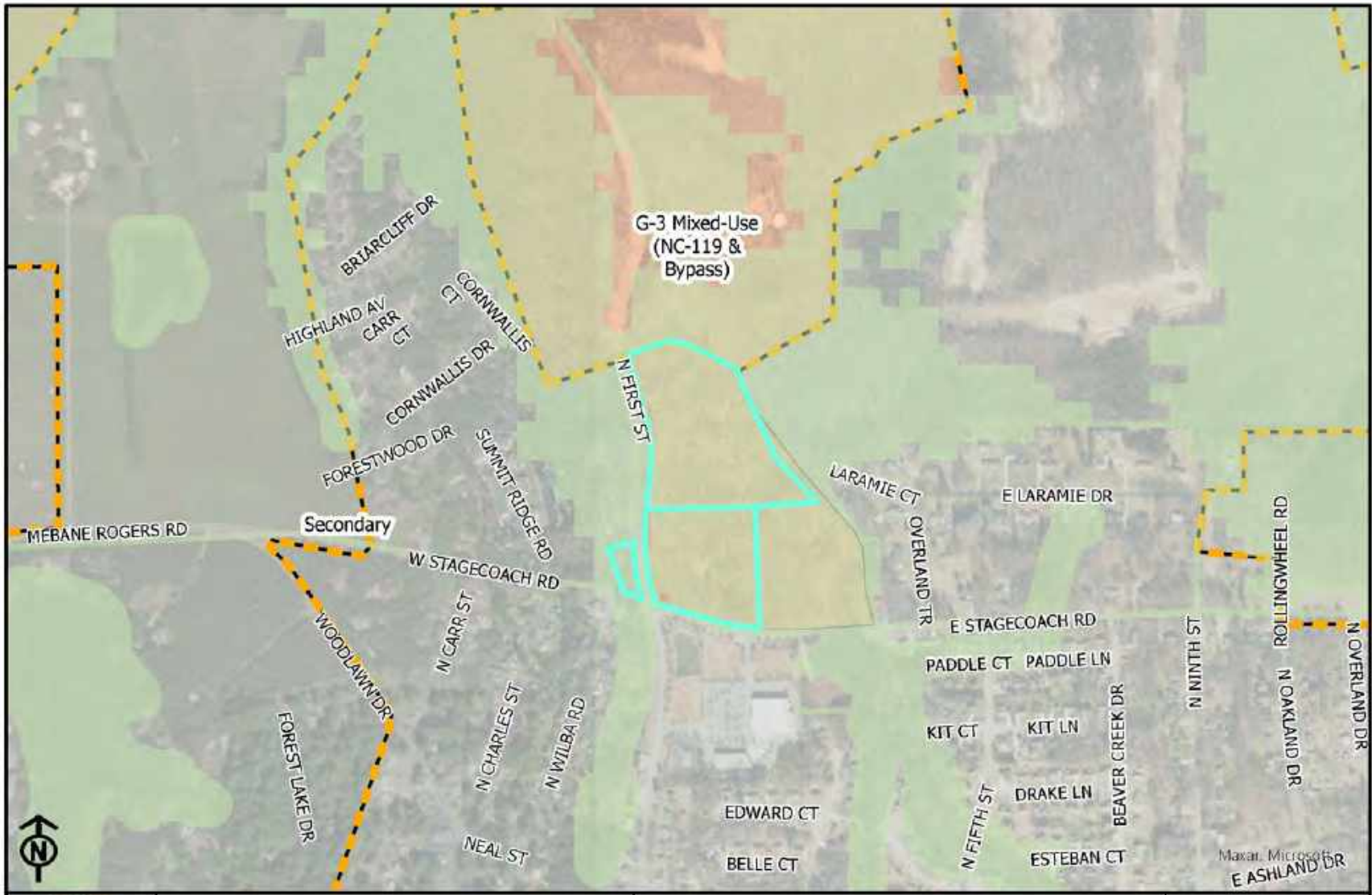
OTHER LAND USE CONSIDERATIONS Graham-Mebane Reservoir Water Supply (WS-II) Watershed

***MEBANE BY DESIGN* GOALS & OBJECTIVES SUPPORTED** GROWTH MANAGEMENT 1.1
Encourage a variety of uses in growth strategy areas and in the downtown, promote/encourage a village concept that supports compact and walkable environments.

GROWTH MANAGEMENT 1.4
Ensure that adequate community facilities are integrated into new development to reduce distances to parks, schools and community centers

OPEN SPACE AND NATURAL RESOURCE PROTECTION 4.3
Support park, greenway, and open space expansion in developed and developing areas, prioritizing connectivity between each location.

***MEBANE BY DESIGN* GOALS & OBJECTIVES NOT SUPPORTED**



CITY OF MEBANE
Future Growth Area Map

Conditional Rezoning
Potters Mill
 1 inch = 700 feet

DATE: 06/06/2021
 DRAWN BY: AV

UTILITIES REPORT

AVAILABLE UTILITIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED UTILITY NEEDS	Per the memorandum from Franz Holt of AWCK, the project is estimated to require 6,300 gallons per day of water and sewer service to support the development's 42 townhome residences. It features 8" sewer lines and 8" and 6" water lines that will connect to existing 8-inch water and sewer lines along N. First Street.
UTILITIES PROVIDED BY APPLICANT	Applicant has pledged to provide all on-site utilities, as described in AWCK's Technical Memo.
MUNICIPAL CAPACITY TO ABSORB PROJECT	The City has adequate Water & Sewer Supply to meet the domestic and fire flow demands of the project.
CONSISTENCY WITH MEBANE LONG RANGE UTILITY PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
ADEQUATE STORMWATER CONTROL?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
INNOVATIVE STORMWATER MANAGEMENT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

TRANSPORTATION NETWORK STATUS

CURRENT CONDITIONS	The subject properties are situated at the corner of Stagecoach Road and North First St (N NC 119). The site plan features one proposed driveway entrance on N First Street. NC 119 is a primary north-south route in Mebane, operating as a two-lane, undivided highway between Stagecoach Road and the recent improvements to construct the NC 119 Bypass. In 2019, the average daily traffic volume in this area was 7,400 trips. Between the driveway of the proposed development and the intersection with Stagecoach Rd, NC 119 registers a Safety Score of 0 with no recorded accidents.
---------------------------	---

TRAFFIC IMPACT ANALYSIS REQUIRED?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OF RECOMMENDED IMPROVEMENTS	Per the trip generation comparison letter completed by Davenport, there are no required or recommended traffic improvements for this project. However, an adjacent, larger project currently under review by the City's Technical Review Committee has determined the need for intersection improvements at North First Street and Stagecoach Road and North Fifth Street and Stagecoach Road. The impacts of this project were accounted for in that TIA and the proportional contribution was determined to be the dedication of right-of-way, as shown on the submitted plans.

CONSISTENCY WITH THE MEBANE BICYCLE AND PEDESTRIAN TRANSPORTATION PLAN?

YES NO

The Mebane Bicycle and Pedestrian Transportation Plan calls for a multi-use path along E Stagecoach Rd, however the Mebane Technical Review committee determined that the proposed alternative path network described below meets the intent and is consistent with the City's adopted plans.

MULTIMODAL IMPROVEMENTS PROVIDED BY APPLICANT?

YES NO

DESCRIPTION OF MULTIMODAL IMPROVEMENTS

The applicant proposes to provide 20,008 s.f. of a 10'-wide public multi-use path that will extend along the property's frontage on N First Street and extend across the site to connect to a path network through proposed adjacent subdivisions. This is part of a coordinated effort between four developers with projects under review in the North Mebane area to create a public multi-use path network that will connect Cates Farm Park to Lake Michael Park.

The plans also show a north/south pedestrian crossing at North First St and Stagecoach Rd, which will be funded by a joint cost-sharing agreement between the four developers as mentioned above.

STAFF RECOMMENDATION

STAFF ZONING RECOMMENDATION

APPROVE DISAPPROVE

STAFF SPECIAL USE FINDING

CONSISTENT NOT CONSISTENT.....WITH *MEBANE BY DESIGN*

RATIONALE

The proposed development "Potters Mill" is consistent with the guidance provided within *Mebane By Design*, the Mebane Comprehensive Land Development Plan. Specifically, it serves Goals 1.1, 1.4, and 4.3. The proposed project will be developed in compliance with the watershed overlay district and will provide an on-site multi-use path as part of a proposed larger network providing connectivity to Cates Farm Park and Lake Michael Park.



June 7, 2022

Mr. Gene Mustin, PE
Borum, Wade, and Associates, P.A.
621 Eugene Court, Suite 100
Greensboro, NC 27401-2711

Subject: Potters Mill Townhomes – Water and Sewer System Layout

Dear Mr. Mustin:

Regarding the Preliminary Site Plans for Potters Mill Townhomes and in accordance with the UDO, this letter indicates that I have reviewed the preliminary water and sewer system layout and find it acceptable and meeting City of Mebane requirements as follows:

- A. Water system – The project proposes an 8-inch connection to the City’s existing 8-inch water line along N. First Street. Internal to the project site are 8-inch and 6-inch water line extensions with appropriate valves and fire hydrant spacing. When designed and installed to City and State standards, these public lines will become part of the City’s water system. The estimated daily water use for this project is 6,300 gallons per day (42 homes at 150 gallons per day each). The City has adequate water capacity available to meet the domestic demand and fire flow requirements of this project.
- B. Sanitary Sewer system – The project proposes an 8-inch sanitary sewer connection with the City’s existing 8-inch gravity sewer outfall, which parallels N. First Street. Internal to the project site are 8-inch gravity sewer lines with properly spaced manholes. When designed and installed to City and State standards, these public lines will become part of the City’s sanitary sewer collection system. The state permitted daily sewer use for this project is 10,080 gallons per day (42 homes at 240 gallons per day each). Actual tributary flow will be less than 6,300 gallons per day. The City has adequate sewer capacity available at the downstream North Regional Sewer Pump Station and at the WRRF to meet the permitted and expected tributary demand.

If there are any questions, please let me know.

Sincerely,

A handwritten signature in black ink that reads "Franz K. Holt".

Franz K. Holt, P.E. City Engineer
CC: Cy Stober, Development Director
Kyle Smith, Utilities Director



Technical Memorandum

Date: June 7, 2022

To: Cy Stober, Development Director

From: Franz K. Holt, P.E.

Subject: Potters Mill Townhomes – City Engineer review

City Engineering has reviewed the Preliminary Site Plans for Potters Mill Townhomes submitted June 6th, 2022, by Gene Mustin, P.E. with Borum, Wade and Associates, P.A. and provides the following technical comments.

A. General

Potters Mill Townhomes is a single-phase residential townhome development (42 homes) proposed on approximately 20.38 acres at the northeast corner of E. Stagecoach Road and N. First Street.

The property is in the Graham-Mebane Lake public water supply watershed non-critical area. Plans show using the high-density option allowed in the balance of the watershed (non-critical area) with new engineered stormwater control facilities receiving storm water runoff from proposed new development (max. built upon area of 30%).

Water and sewer service is from a City of Mebane 8-inch water and sewer lines paralleling N. First Street.

Internal streets are cul-de-sacs, considered local, and constructed to a 31-ft. b-b curb and gutter section with a 5-ft. wide concrete sidewalk being typically located on one side of the street. Plans include a 10-ft. wide asphalt multi-use path along the N. First Street frontage from the intersection with E. Stagecoach Road to the end of the property. Sidewalk exists along the E. Stagecoach Road frontage on the south side of the road. The proposed public multi-use path, crosswalk improvements at E. Stagecoach Road, and bridge connecting to adjacent property are all part of a larger project constructed and funded by developers. The planned goal is to connect the proposed developments along N. First Street to Cates Farm and Lake Michael Parks leaving no gaps in the greenway/multi-use path/sidewalk systems for the city to complete.

The project includes one street connection to N. First Street, with no proposed turn lanes. However, right-of-way dedication shown along E. Stagecoach Road is for future turn lane improvements.



B. Availability of City Water and Sewer

In compliance with the UDO, this memo indicates that I have reviewed the preliminary water and sewer system layout and find it acceptable and meeting City of Mebane requirements as follows:

1. Water system – The project proposes an 8-inch connection to the City’s existing 8-inch water line along N. First Street. Internal to the project site are 8-inch and 6-inch water line extensions with appropriate valves and fire hydrant spacing. When designed and installed to City and State standards, these public lines will become part of the City’s water system. The estimated daily water use for this project is 6,300 gallons per day (42 homes at 150 gallons per day each). The City has adequate water capacity available to meet the domestic demand and fire flow requirements of this project.
2. Sanitary Sewer system – The project proposes an 8-inch sanitary sewer connection with the City’s existing 8-inch gravity sewer outfall, which parallels N. First Street. Internal to the project site are 8-inch gravity sewer lines with properly spaced manholes. When designed and installed to City and State standards, these public lines will become part of the City’s sanitary sewer collection system. The state permitted daily sewer use for this project is 10,080 gallons per day (42 homes at 240 gallons per day each). Actual tributary flow will be less than 6,300 gallons per day. The City has adequate sewer capacity available at the downstream North Regional Sewer Pump Station and at the WRRF to meet the permitted and expected tributary demand.

C. Watershed Overlay District and Phase II Stormwater Requirements

1. Watershed Overlay District requirements provided in the UDO.
These requirements in the UDO are for the Back-Creek Watershed, which includes the Graham-Mebane Lake. This project lies in the GWA non-critical area allowing up to 30% built upon area with engineered stormwater controls. The proposed stormwater management device shown on the plans receives stormwater runoff from the proposed new development and will meet the requirements of the Water Supply Watershed Rules. Upon site stabilization, the developer will complete the engineered storm water control as a fenced permanent stormwater management device (owned and maintained by the property owners’ association) and post required annual inspection fee and maintenance bond.
2. Phase II Stormwater Post Construction Ordinance
The UDO provides standards for Storm Water Management and requires compliance with the Mebane Post Construction Runoff Ordinance (which is a stand-alone ordinance titled the Phase II Stormwater Post Construction Ordinance (SPCO)). The standards in the UDO are



general standards as the Ordinance itself provides detailed standards. The SPCO does apply to this project as it will disturb more than one acre of land requiring a stormwater permit application. The estimated new built upon area is less than 24% and considered low density under this ordinance.

D. Storm Drainage System

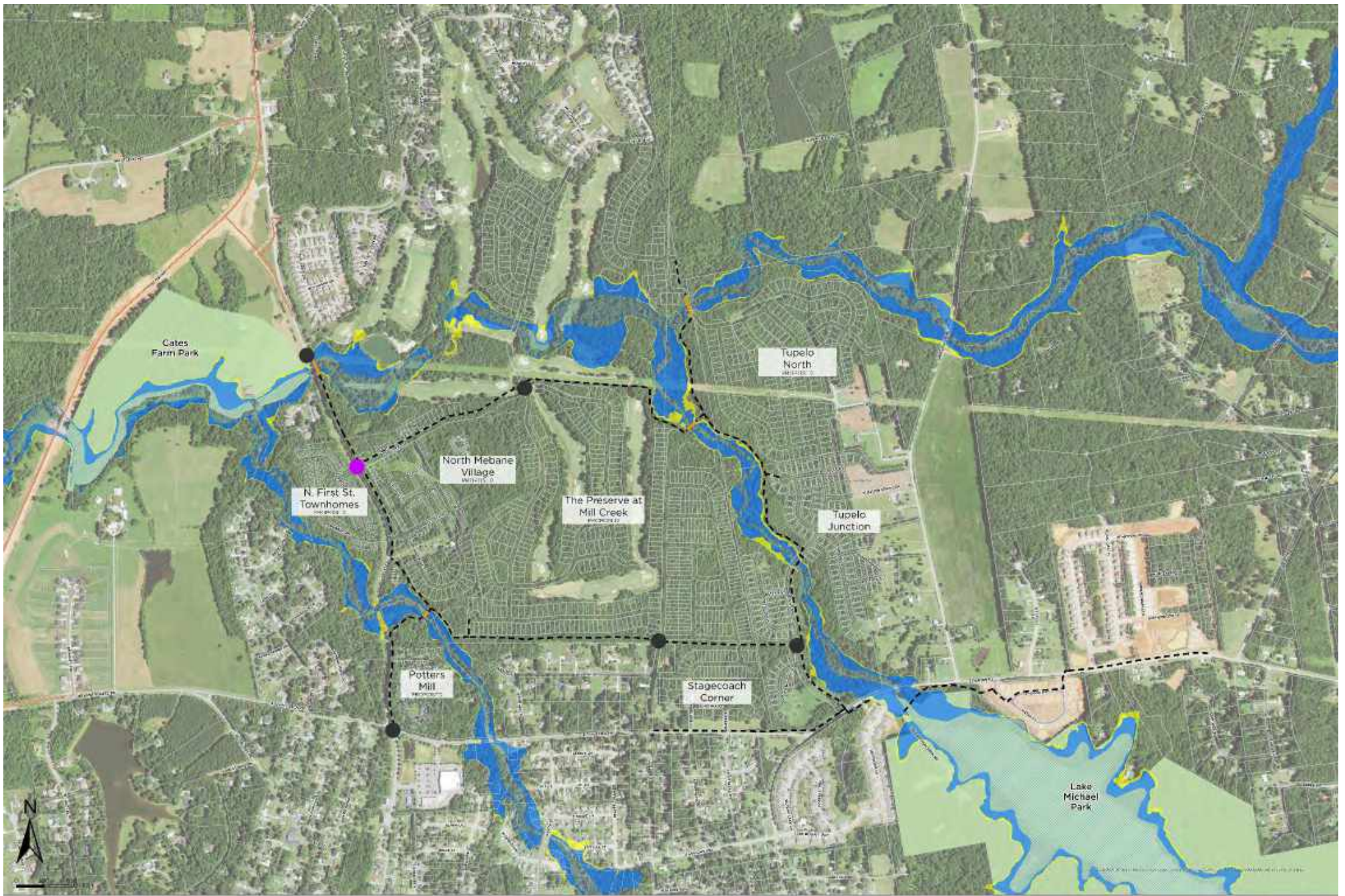
The UDO provides requirements for storm drainage systems. The preliminary site plans include a preliminary piping layout that indicates certain pipe locations, inlets, and discharge points. Stormwater flows from these pipes to a stormwater management device. Design of the storm drainage system will be in accordance with the City's Storm Drainage Design Manual.

E. Street Access

The proposed streets shown on the plans are local and constructed to City of Mebane standards (31' B-B width and rolled curb and gutter) with sidewalk located typically on one side. These local streets (cul-de-sacs) will have one connection to N. First Street with no stubs to adjoining property and no connection to E. Stagecoach Road (NCDOT's recommendation). Also shown is a dedication of property for right-of-way for future turn lane improvements on E. Stagecoach Road when needed. All improvements to and along N. First Street will meet NCDOT design, construction, permitting, and encroachment requirements.

F. Construction Plan Submittal

The preliminary plans show the proposed water lines, sewer lines, and storm drainage and stormwater management devices to indicate that the project is feasible for utility service and providing stormwater management. Based on city engineering review, it is my opinion that said plans are in substantial compliance with the UDO. Construction plans will follow preliminary plan approval and require TRC review and approval prior to beginning construction.



North Mebane - Proposed Development & Multi-Use Path Network

1 inch = 300 feet

Paved, Multi-Use Path
 Bridge & Boardwalk
 Crosswalk
 Proposed Roundabout

This map shows a multi-use path network in response to proposed development in North Mebane. This map does not mean to indicate other trails and paths cannot be constructed with the proposed projects. Additional trails and paths are encouraged but will not be City owned and maintained.

**Stagecoach Development
Trip Generation Report
Mebane, NC
Prepared for Windsor Investments, LLC
February 18, 2022**

This memorandum provides trip generation information for the proposed Stagecoach Development, to be located at the northeast corner of the intersection of NC 119 (North 1st Street) at East Stagecoach Road and West Stagecoach Road in Mebane, North Carolina. A TIA was previously completed by DAVENPORT in November 2021. The purpose of this memorandum is to show that the trip generation of the updated land uses do not increase the trip generation of the site.

Figure 1 shows a sketch plan of the subject parcel. The site is accessible by one (1) location on NC 119. The subject parcel is proposed to consist of 42 townhomes. Figure 2 shows the original site plan.

Table 1 shows the previous trip generation from the November 2021 TIA. This establishes a trip generation “budget” against which the new land uses could be compared. Table 2 illustrates the proposed generated trips for the updated site plan. Table 3 shows the trip generation results for the updated land uses, as well as the net difference between the new and old trip generations. Trip generation was computed based on rates and equations from the *ITE Trip Generation Manual 10th Edition*, in accordance with NCDOT Congestion Management standards.

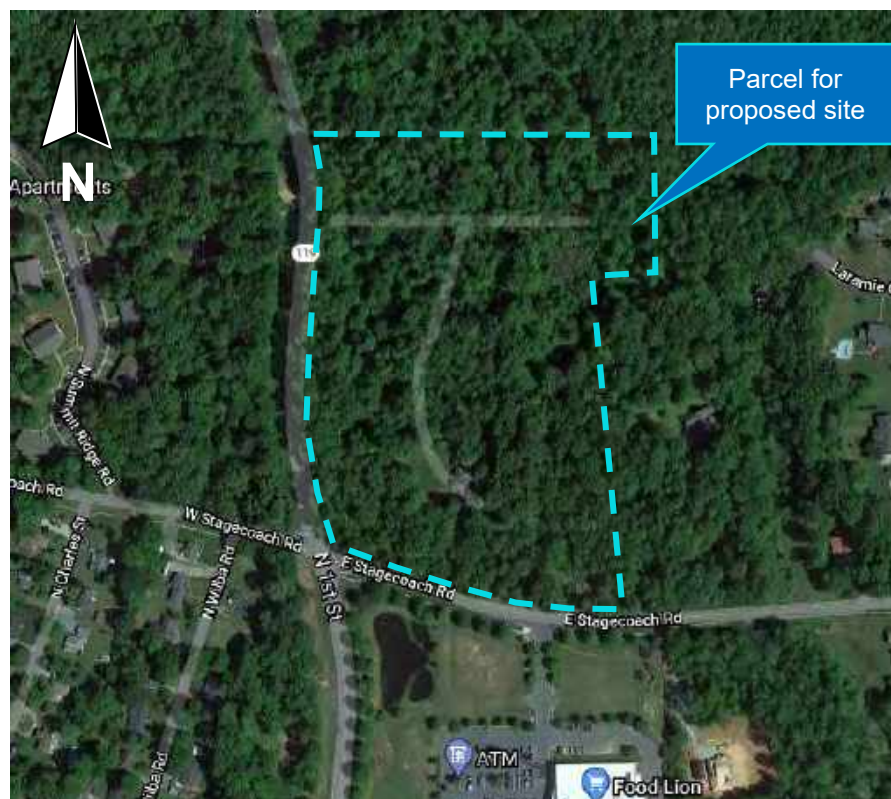


Table 1 - Trip Generation from Original Site Plan									
Stagecoach Road Development, Mebane, NC									
Average Weekday Driveway Volumes					24 Hour	AM Peak Hour		PM Peak Hour	
					Two-Way				
<u>Land Use</u>	<u>ITE Land Code</u>	<u>Size</u>		<u>Data Source</u>	<u>Volume</u>	<u>Enter</u>	<u>Exit</u>	<u>Enter</u>	<u>Exit</u>
Single Family Detached Housing	210	33	Dwelling Units	Adjacent Equation	375	7	21	22	13
Total Trips					375	7	21	22	13

From Table 1, the traffic generation from the original site plan was expected to generate 375 daily trips with 28 net AM trips (7 entering, 21 exiting) and 35 net PM trips (22 entering, 13 exiting).

Table 2 - Trip Generation from New Site Plan									
Stagecoach Road Development, Mebane, NC									
Average Weekday Driveway Volumes					24 Hour	AM Peak Hour		PM Peak Hour	
					Two-Way				
<u>Land Use</u>	<u>ITE Land Code</u>	<u>Size</u>		<u>Data Source</u>	<u>Volume</u>	<u>Enter</u>	<u>Exit</u>	<u>Enter</u>	<u>Exit</u>
Townhomes	220	42	Dwelling Units	Adjacent Equation	277	5	16	17	10
Total Trips					277	5	16	17	10


From Table 2, the traffic generation from the new site plan was expected to generate 277 daily trips with 21 net AM trips (5 entering, 16 exiting) and 27 net PM trips (17 entering, 10 exiting).

Table 3 - Comparison Trip Generation					
Studies	Daily Volume	AM Peak Hour		PM Peak Hour	
		Enter	Exit	Enter	Exit
Original Site Plan	375	7	21	22	13
		28		35	
New Site Plan	277	5	16	17	10
		21		27	
Difference	-98	-2	-5	-5	-3
		-7		-8	

The results in Table 3 show the new site plan will produce less trips than what was studied in the original TIA. The previously agreed upon recommendations and comments from NCDOT and City of Mebane will not be affected.

Please let us know if you need additional information.

Sincerely,



Dionne C. Brown, P.E.
dbrown@davenportworld.com

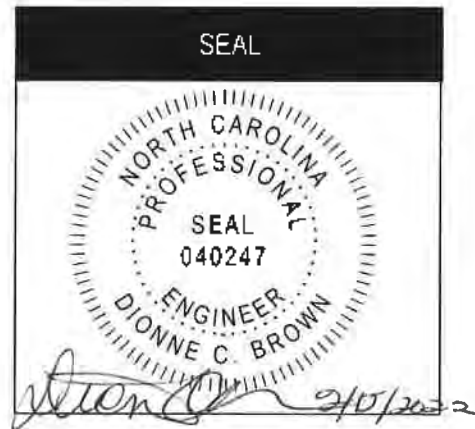


FIGURE 1 – SITE PLAN

SITE DEVELOPMENT NOTES:

1. ALL PROPOSED PUBLIC INFRASTRUCTURE IS TO BE DESIGNED AND CONSTRUCTED TO CITY OF MEBANE STANDARDS AND SPECIFICATIONS.
2. SITE TO BE SERVICED WITH PUBLIC WATER AND SEWER (GRAVITY).
3. PROPERTY EXHIBIT, PROPERTY LINES DRAWN FOR DEEDS, PLAT, SURVEY BY OTHERS & SURVEY BY OTHERS, NO FIELD WORK WAS PERFORMED BY BORUM, WADE & ASSOC.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET.
5. EXISTING TOPO TAKEN FROM LIDAR
6. PUBLIC ROADWAY IMPROVEMENTS AS PER CITY OF MEBANE AND NCDOT REQUIREMENTS
7. * "KNOX" PADLOCK (MEBANE SPECS) SHALL BE INSTALLED ON THE FIRE ACCESS ROAD GATE
8. * SCEU TO BE SCREENED FROM SURROUNDING TOWNHOMES

SITE DATA

AREA TRACT	18.85 ± ACRES
AREA IN R/M	1.43 ± ACRES
TOTAL AREA	20.28 ± ACRES
PARCEL AREAS:	PIN: 168232
TOTAL AREA:	12.26 ± ACRES
AREA OUTSIDE R/M:	11.74 ± ACRES
PARCEL AREAS:	PIN: 168227
TOTAL AREA:	8.02 ± ACRES
AREA OUTSIDE R/M (A):	6.20 ± ACRES
AREA OUTSIDE R/M (B):	0.91 ± ACRES
PARCEL AREAS:	D.B. 1441, PG. 198
	D.B. 2600, PG. 686

ZONING INFORMATION:

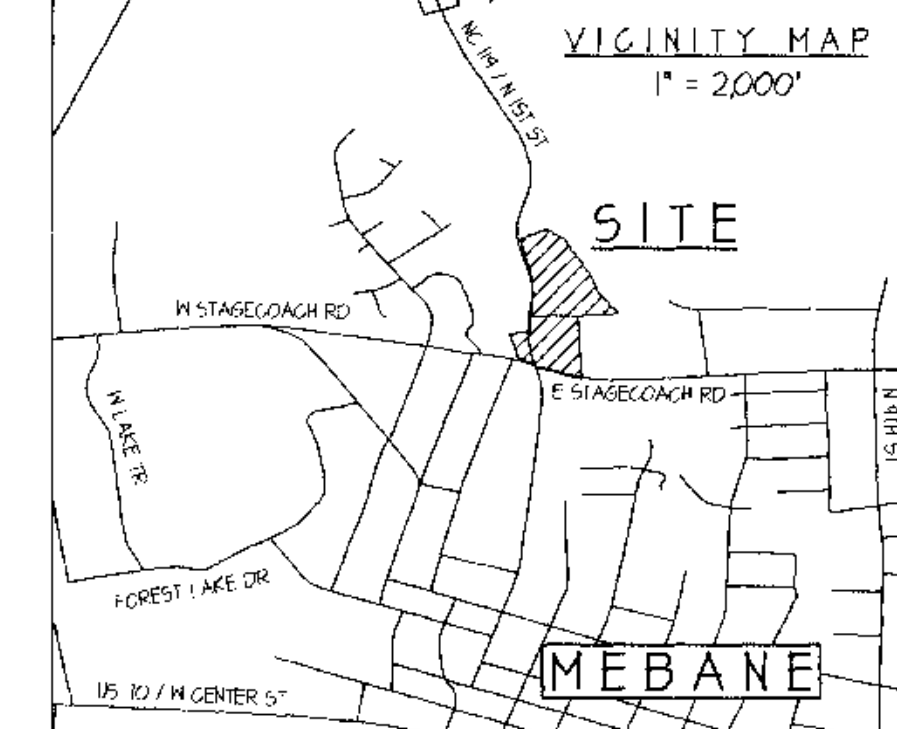
ZONING (EXISTING):	R-20
ZONING (PROPOSED):	CONDITIONAL
	R-8
NUMBER OF TOWNHOMES:	42
DENSITY:	2.07 UNITS PER ACRE

ZONING CONDITIONS:

FRONT YARD S/B:	20'
SIDE STREET S/B:	20'

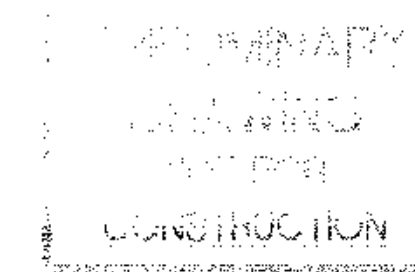
BUILT UPON AREA:

ROADS/ SW/ GRAVEL:	61,000 SF (1.40 AC)
TOWNHOMES:	42 LOTS * 3,250 SF/LOT = 136,500 SF (3.13 AC)
MULTI-USE PATH:	12,500 SF (0.287 AC)
TOTAL BUA:	210,000 SF = 4.82 AC (23.8%)



Borum, Wade and Associates, P.A.
 671 Eugene Court, Suite 100, Greensboro, NC 27401-2711
 PO Box 21882 Greensboro, NC 27420-1882
 Phone: 336-775-0471 Fax: 336-775-3719
 Web: www.bwaa.com
 N.C. License # C-0864

SEALS:



PROJECT:

POTTER'S MILL TOWNHOMES
 104 N FIRST ST
 MELVILLE TOWNSHIP, ALAMANCE COUNTY
 MEBANE, NORTH CAROLINA

OWNER/LEVEL OPER:

MINDSOR INVESTMENTS, LLC
 PO BOX 9147
 GREENSBORO, NORTH CAROLINA 27429
 336-201-8003
 CONTACT: DAVID MICHAELS

DRAWN BY:

DATE: JAN 25, 2022

REVISIONS:

SHEET TITLE:
SITE GRADING SKETCH PLAN

FILE NO: F:\MINDSOR\MEBANE-STAGECOACH RD\BASEMAP

DRAWING SCALE: 1"=50'

PLAN SHEET NO:

C-3

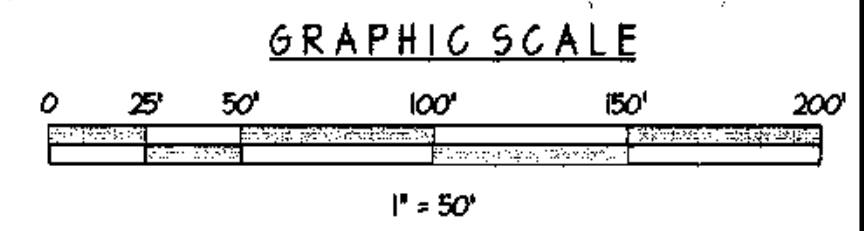
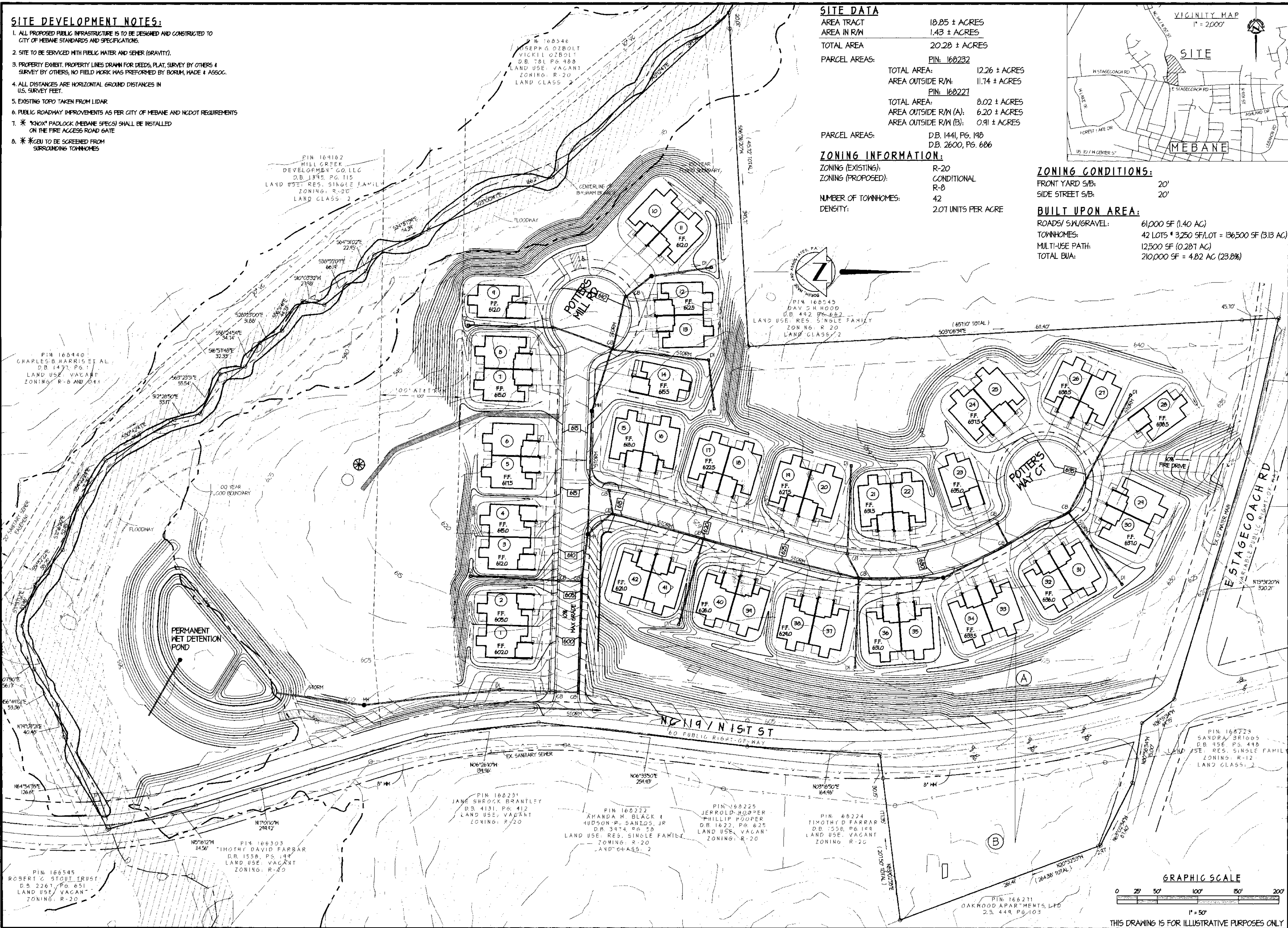
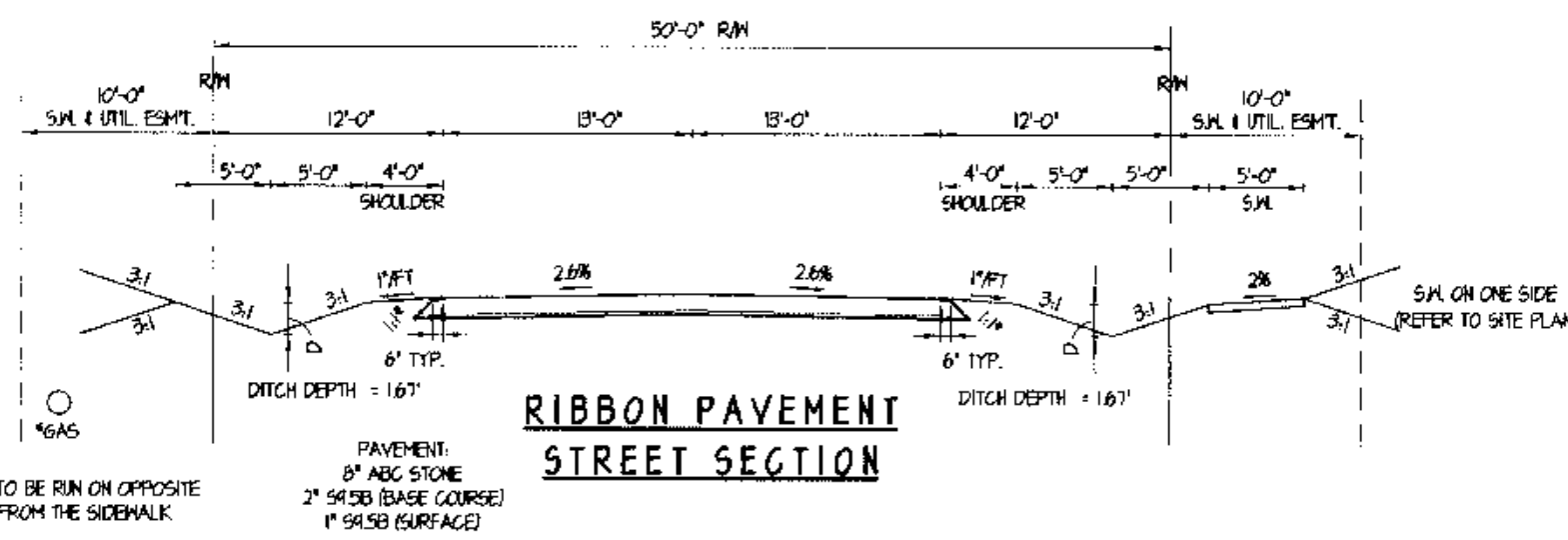


FIGURE 2 – PREVIOUS SITE PLAN

RESIDENTIAL STREET SECTION



RIBBON PAVEMENT STREET SECTION

STORMWATER MANAGEMENT NOTE:

- LOW DENSITY
SITE DEVELOPMENT NOTES:
 1. ALL PROPOSED PUBLIC INFRASTRUCTURE IS TO BE DESIGNED AND CONSTRUCTED TO CITY OF MEBANE STANDARDS AND SPECIFICATIONS.
 2. SITE TO BE SERVICED WITH PUBLIC WATER AND SEWER (GRAVITY).

MISCELLANEOUS NOTES:

1. PROPERTY EXHIBIT, PROPERTY LINES DRAWN FOR DEEDS, PLAT, SURVEY BY OTHERS & SURVEY BY OTHERS, NO FIELD WORK WAS PERFORMED BY BORUM, WADE & ASSOC.
 2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET.
 3. EXISTING TOPO TAKEN FROM LIDAR
 4. PUBLIC ROADWAY IMPROVEMENTS AS PER NCDOT REQUIREMENTS

SITE DATA

AREA TRACT	18.85 ± ACRES
AREA IN R/W	1.43 ± ACRES
TOTAL AREA	20.28 ± ACRES
PARCEL AREAS:	PIN: 168232
TOTAL AREA:	12.26 ± ACRES
AREA OUTSIDE R/W:	11.74 ± ACRES
PARCEL AREAS:	PIN: 168227
TOTAL AREA:	8.02 ± ACRES
AREA OUTSIDE R/W (A):	6.20 ± ACRES
AREA OUTSIDE R/W (B):	0.91 ± ACRES
PARCEL AREAS:	DB: 1441, PG. 198
	DB: 2600, PG. 686

ZONING INFORMATION:

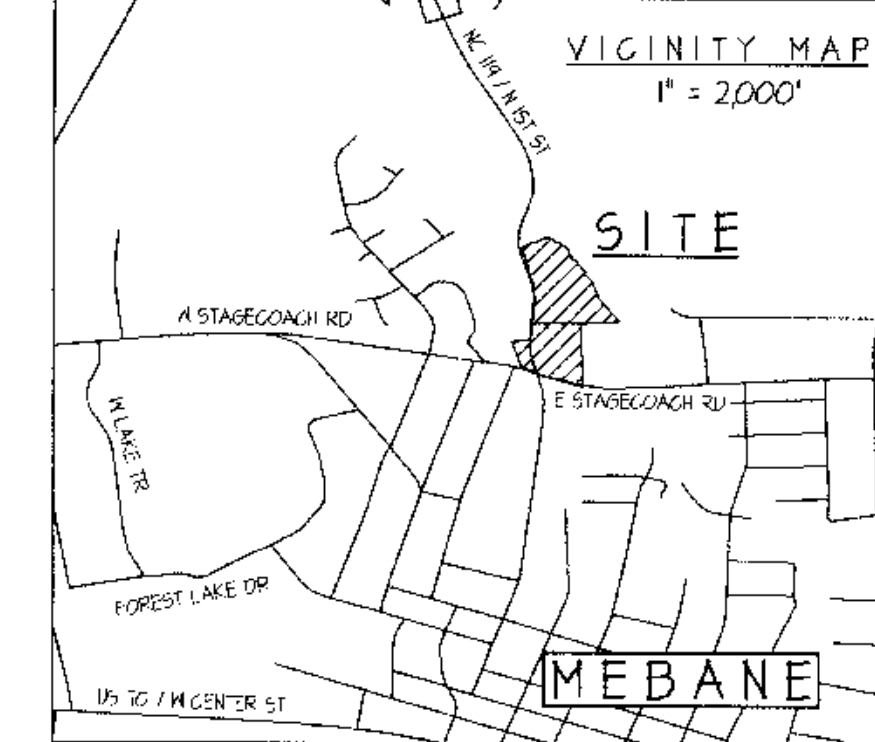
ZONING (EXISTING):	R-20
ZONING (PROPOSED):	CONDITIONAL R-12 (OPEN SPACE OPTION)
NUMBER OF LOTS:	33
DENSITY:	1.63 UNITS PER ACRE

BUILT UPON AREA:

ROADS/SW/GRAVEL:	59,100 SF (1.357 AC)
LOTS:	33 LOTS * 4,000 SF/LOT = 132,000 SF (3.03 AC)
TOTAL BUA:	4.39 AC (23.3%)

OPEN SPACE:

OPEN SPACE PRVD:	6.95 ACRES
OPEN SPACE COMPONENTS:	CREEK BUFFERS AND FLOOD PLAIN (3.461 AC); AT&T ESMT (4.03 AC); FIRE LANE (1.09 AC); STEEP SLOPES (1.540 AC); OTHER (0.93 AC)



ZONING CONDITIONS:

MIN. LOT SIZE:	9,000 SF
MIN LOT WIDTH (AT BLDG LINE):	60'
MIN ROAD FRONTAGE (CUL-DE-SAC):	35'
FRONT YARD S/B:	30'
SIDE YARD S/B:	7'
SIDE STREET S/B:	15'
REAR YARD S/B:	25'

PRELIMINARY
DRAWING
NOT FOR
CONSTRUCTION

BWA Engineers
Planners
Surveyors

Borum, Wade and Associates, P.A.
 621 Eugene Court, Suite 100, Greensboro, NC 27401-2711
 PO Box 21882 Greensboro, NC 27420-1882
 Phone: 336-275-0471 Fax: 336-275-3719
 Web: www.borums-wade.com
 N.C. License #: C-0888

SEALS

PROJECT

POTTER'S MILL
SUBDIVISION
104 N FIRST ST
MELVILLE TOWNSHIP, ALAMANCE COUNTY
MEBANE, NORTH CAROLINA

OWNER/DEVELOPER:

WINDSOR INVESTMENTS, LLC
 PO BOX 947
 GREENSBORO, NORTH CAROLINA 27429
 336-201-8008
 CONTACT: DAVID MICHAELS

DRAWN BY:

DATE:

REVISIONS:

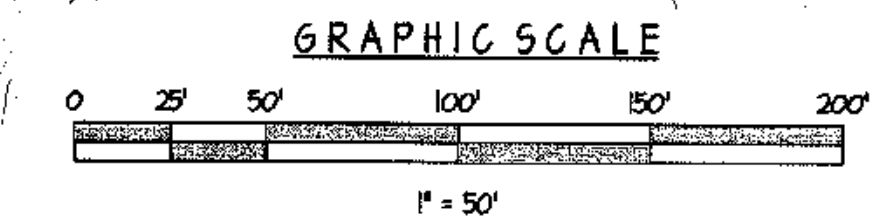
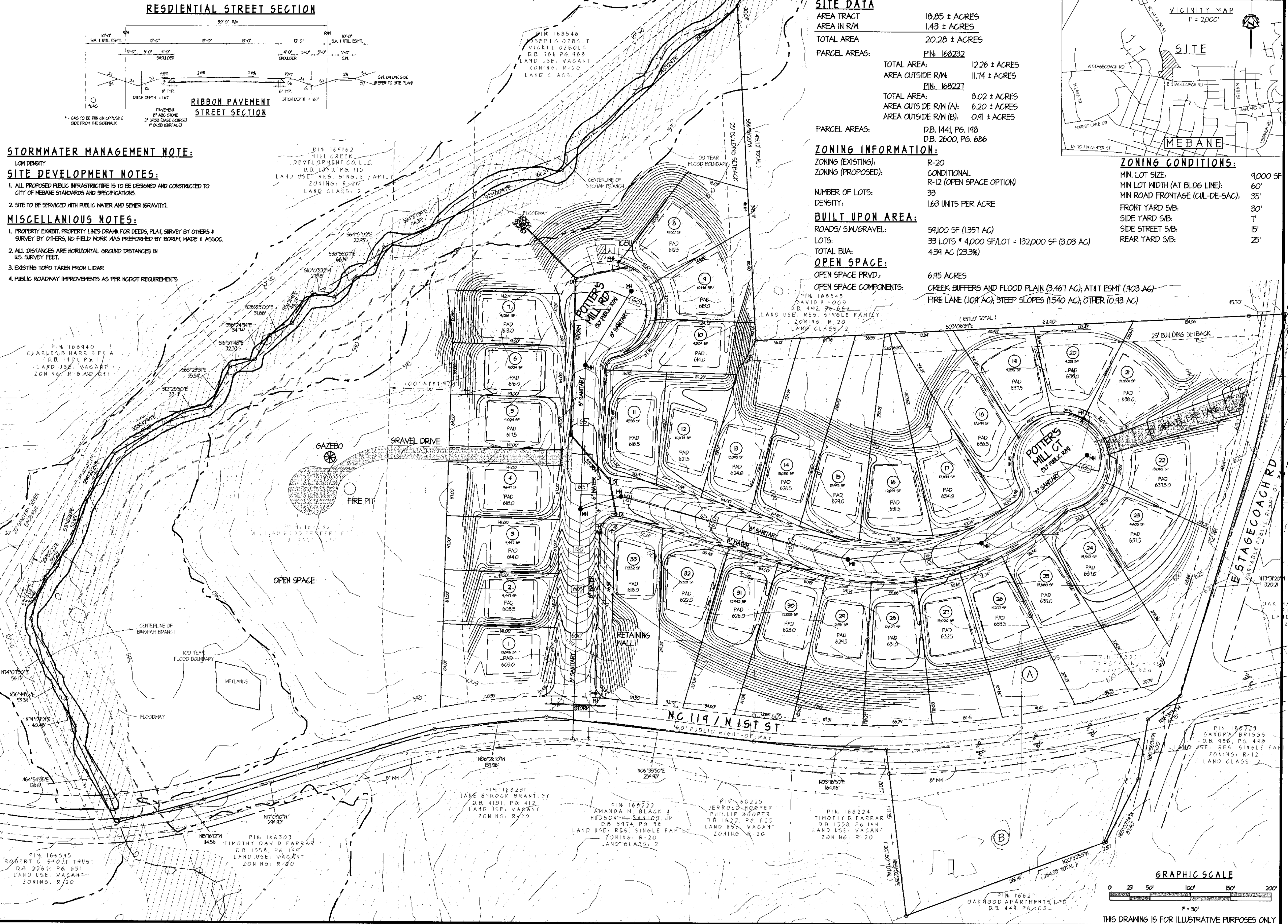
SHEET TITLE:

SKETCH PLAN

FILE NO: F:\WINDSOR\MEBANE-STAGECOACH\ROTEAS\NAP

DRAWING SCALE: 1"=50'

PLAN SHEET NO.



THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES ONLY

SUPPORTING DOCUMENTS

Trip Generation Summary

Alternative: Alternative 1

Phase:

Open Date: 2/14/2022

Project: 210069 Stagecoach Townhome Development

Analysis Date: 2/14/2022

ITE	Land Use	Weekday Average Daily Trips			Weekday AM Peak Hour of Adjacent Street Traffic			Weekday PM Peak Hour of Adjacent Street Traffic					
		*	Enter	Exit	Total	*	Enter	Exit	Total	*	Enter	Exit	Total
220	LOW-RISE (Townhomes) 42 Dwelling Units		139	138	277		5	16	21		17	10	27
Unadjusted Volume			139	138	277		5	16	21		17	10	27
Internal Capture Trips			0	0	0		0	0	0		0	0	0
Pass-By Trips			0	0	0		0	0	0		0	0	0
Volume Added to Adjacent Streets			139	138	277		5	16	21		17	10	27

Total Weekday Average Daily Trips Internal Capture = 0 Percent

Total Weekday AM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent

Total Weekday PM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent

* - Custom rate used for selected time period.

Source: Institute of Transportation Engineers, Trip Generation Manual 10th Edition

TRIP GENERATION 10, TRAFFICWARE, LLC

Trip Generation Summary

Alternative: Alternative 1

Phase:

Open Date: 11/22/2021

Project: 210069 Stagecoach Townhome Development

Analysis Date: 11/22/2021

ITE	Land Use	Weekday Average Daily Trips			Weekday AM Peak Hour of Adjacent Street Traffic			Weekday PM Peak Hour of Adjacent Street Traffic					
		*	Enter	Exit	Total	*	Enter	Exit	Total	*	Enter	Exit	Total
210	SFHOUSE 1 33 Dwelling Units		188	187	375		7	21	28		22	13	35
Unadjusted Volume			188	187	375		7	21	28		22	13	35
Internal Capture Trips			0	0	0		0	0	0		0	0	0
Pass-By Trips			0	0	0		0	0	0		0	0	0
Volume Added to Adjacent Streets			188	187	375		7	21	28		22	13	35

Total Weekday Average Daily Trips Internal Capture = 0 Percent

Total Weekday AM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent

Total Weekday PM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent

* - Custom rate used for selected time period.

Source: Institute of Transportation Engineers, Trip Generation Manual 10th Edition

TRIP GENERATION 10, TRAFFICWARE, LLC



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J. ERIC BOYETTE
SECRETARY

December 20, 2021

ALAMANCE COUNTY

Dionne C. Brown, PE
Davenport
119 Brookstown Ave. Suite PH1
Winston-Salem, NC 27101

Subject: Proposed Potter's Mill Subdivision Located on NC 119 (N. First Street)
**Review of Trip Generation Technical Memorandum Dated November 29,
2021**

Dear Ms. Brown,

NCDOT staff has completed review of the above subject. Based on the information provided we offer the following comments with regard to the State Road network.

General:

The proposed development is to be located at the northeast quadrant of the intersection of NC 119 (N. First Street) at East Stagecoach Road and West Stagecoach Road in Mebane, North Carolina. This site will consist of 33 units of single-family homes and would be expected to generate approximately 375 new daily trips upon full build-out in 2026. The development will utilize one (1) access along NC 119.

Findings and Requirements:

NCDOT staff concurs with the Trip Generation Technical Memorandum and findings that the existing road network is expected to operate acceptably as proposed with no capacity improvements needed, per NCDOT Guidelines.

Multi-modal and Streetscape Enhancements:

Any locally stipulated multi-modal enhancements including but not limited to sidewalk, bike lanes, bus pull offs, lighting, landscaping etc. on State maintained routes are subject to NCDOT requirements and approval through the encroachment process.

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DIVISION 7, DISTRICT 1
PO BOX 766
GRAHAM, NC 27233-0766

Telephone: (336) 570-6833
Fax: (336) 570-6873
Customer Service: 1-877-368-4968

Location:
115 EAST CRESCENT SQUARE DRIVE
GRAHAM, NC 27253

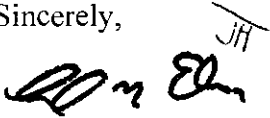
Website: www.ncdot.gov

General Requirements:

It is necessary to obtain an approved driveway permit and/or encroachment agreement(s) prior to performing work on the NCDOT right of way. An approved permit will be issued upon receipt of approved site plan, roadway and signal construction plans as needed, inspection fee, and any necessary performance and indemnity bonds.

Feel free to contact me if you have any questions.

Sincerely,



C. N. Edwards Jr., PE
District Engineer

CNE/jlh

Cc: W.R. Archer, III, PE, Division Engineer
D.M. McPherson, Division Traffic Engineer
City of Mebane



AGENDA ITEM #6D

RZ 22-06

Conditional Rezoning – N. First Street
Townhomes

Presenter

Ashley Ownbey,
Interim Development Director

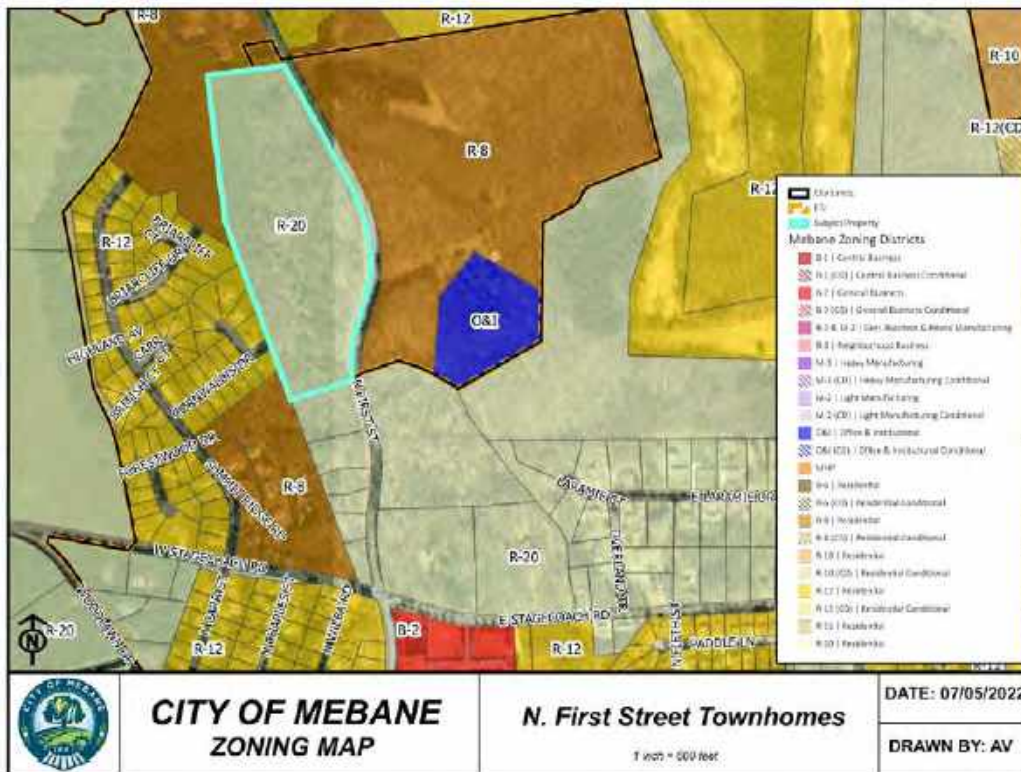
Applicant

Kirkpatrick & Associates, LLC
4004 Barrett Drive
Suite 204
Raleigh, NC 27609

Public Hearing

Yes No

Zoning Map



Property

Unaddressed
Alamance
County GPIN
9816907457

Proposed Zoning

R-8(CD)

Current Zoning

R-20

Size

+/- 30.55 acres

Surrounding Zoning

R-8, R-12, R-20

Surrounding Land Uses

Multifamily,
Single-family
Residential,
Vacant

Utilities

Present

Floodplain

Yes

Watershed

Yes

City Limits

No

Summary

Kirkpatrick & Associates, LLC, is requesting approval to conditionally rezone a +/- 30.55-acre property from R-20, Residential District to R-8 (CD), Residential Conditional District to allow for a subdivision of 150 townhomes. The property is located in Alamance County outside of City Limits within the Mebane Extraterritorial Jurisdiction (ETJ).

The proposed on-site amenities and dedications include the following:

- The construction of all internal streets with 5’ sidewalks.
- The construction of a 5’ concrete sidewalk along NC 119.
- The construction of a fenced dog run, fenced playground, a butterfly garden, a 8’-wide mulch or grit walking trail behind Buildings 138-150, and an internal path of stone crush & run, chapel hill granite, or equivalent running through the center of the development to exclusively serve the development’s residents.
- Potential right-of-way dedication for a possible roundabout at the northern entrance.

The project was reviewed prior to adoption of UDO amendments on June 6, 2022. The below table indicates dimensional waivers noted by staff at the time of the review along with standards effective June 6, 2022.

	<i>Proposed by Applicant</i>	<i>Original Requirement</i>	<i>New Requirement</i>
<i>Lot Area</i>	1,900 s.f.	8,000 s.f.	No minimum
<i>Lot Width</i>	20’	85’	20’
<i>Lot Coverage</i>	79% (maximum)	40% (maximum)	No maximum
<i>Front Setback</i>	20’	30’	25’
<i>Rear Setback</i>	10’	20’	20’
<i>Side Yard Setback</i>	3’	15’	15’

In lieu of required public recreation area, the applicant is proposing to contribute financially to a coordinated effort between four developers with projects under review in North Mebane to create a public, multi-use path network that will connect Cates Farm Park to Lake Michael Park and provide a connection to the sidewalk network south of Stagecoach Road. The financial contribution will include support for a bridge system to be constructed over the stream on properties to the east.

Consistent with the Traffic Impact Analyses (TIAs) conducted for the development and for a nearby, larger project under review by the City’s Technical Review Committee, the applicant is proposing:

- Exclusive northbound, left turn lanes at both driveway entrances.
- Potential dedication of right-of-way and potential financial contribution at the northern entrance of the development if a roundabout is installed by others.

- Proportional contribution to intersection improvements at North First Street and Stagecoach Road and North Fifth Street and Stagecoach Road.

The Technical Review Committee (TRC) has reviewed the site plan three (3) times and the applicant revised the plans to reflect the comments.

Financial Impact

The developer will be required to make the proposed improvements at his own expense. The multi-modal improvements will be funded through a joint, pro-rata cost-sharing agreement between the four developers in the North First Street area. Additionally, the developer will contribute financially to intersection improvements, in lieu of construction.

Recommendation

At their June 13 meeting, the Planning Board voted 5 – 0 to recommend approval of the rezoning request.

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval of the rezoning.

Suggested Motion

1. Motion to approve the R-8(CD) zoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. The request:
 - Is for a property within the City's G-3 Mixed-Use Growth Area and is "...an ideal site for residential growth..." (Mebane CLP, p. 80);
 - Promotes a village concept that supports compact and walkable environments, consistent with Growth Management Goal 1.1 (p. 17 & 82);
 - Improves safety and confidence of pedestrian access across NC-119, consistent with Public Facilities and Infrastructure Goal 2.1 (p. 17 & 84);
 - Provides open space connectivity and a greenway connection across a major transportation corridor, consistent with Open Space and Natural Resource Protection Goal 4.2 (p. 17 & 89);
 - Provides open space in a developing area, connecting to other locations, consistent with Open Space and Natural Resource Protection Goal 4.3 (p. 17, 89, & 90); and,
 - Contributes to a greenway network, as required by the City's *Bicycle and Pedestrian Transportation Plan*.

OR

3. Motion to **deny** the R-8(CD) rezoning as presented due to a lack of

a. Harmony with the surrounding zoning

OR

b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design* or any of the City's other adopted plans.

Attachments

1. Zoning Amendment Application
2. Zoning Map
3. Site Plan
4. Planning Project Report
5. Preliminary Water and Sewer System Approval Letter
6. Technical Memorandum – City Engineering Review
7. North Mebane – Proposed Development & Multi-Use Path Network Map
8. Traffic Impact Analysis Recommendations
 - a. Traffic Impact Analysis (TIA)
 - b. VHB Review of TIA



APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: Kirkpatrick & Associates – Matt Kirkpatrick (919)235-8304

Address of Applicant: 4004 Barrett Drive, Suite 204 Raleigh, NC 27609

Address and brief description of property to be rezoned: 30.55 Acre Parcel

located on Hwy 119 North, North First Street, Parcel ID# 166595

Applicant's interest in property: (Owned, leased or otherwise) Owner

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes ___ Explain: _____ No X

Type of re-zoning requested: Conditional Re-Zoning to R-8 CD

Sketch attached: Yes X No _____

Reason for the requested re-zoning: The request from R-20 to R-8 CD is to allow for the townhome development proposed with the application.

Signed: *Matt Kirkpatrick*

Date: 5/27/22

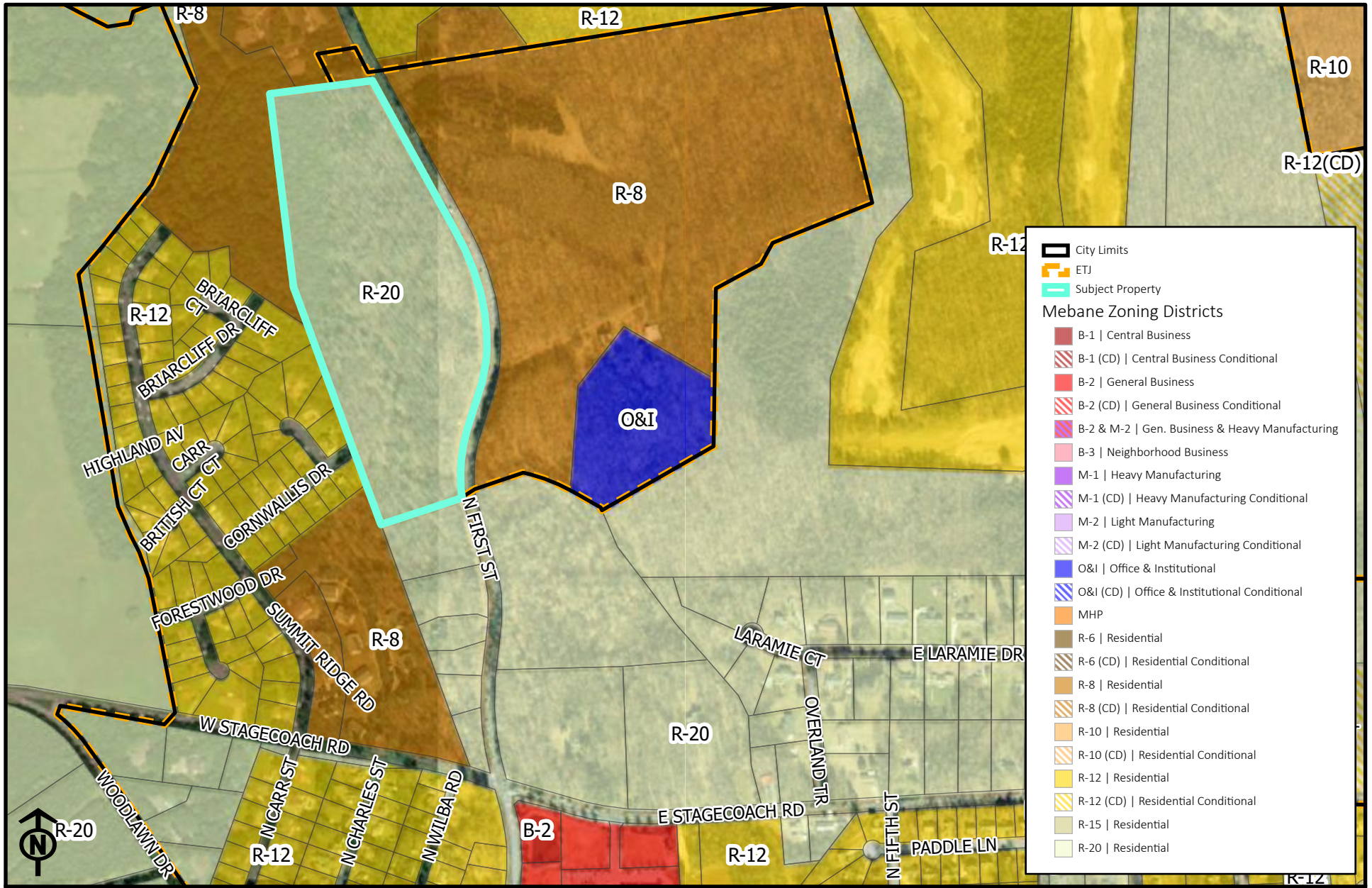
Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.



CITY OF MEBANE ZONING MAP

N. First Street Townhomes

1 inch = 600 feet

DATE: 07/05/2022

DRAWN BY: AV

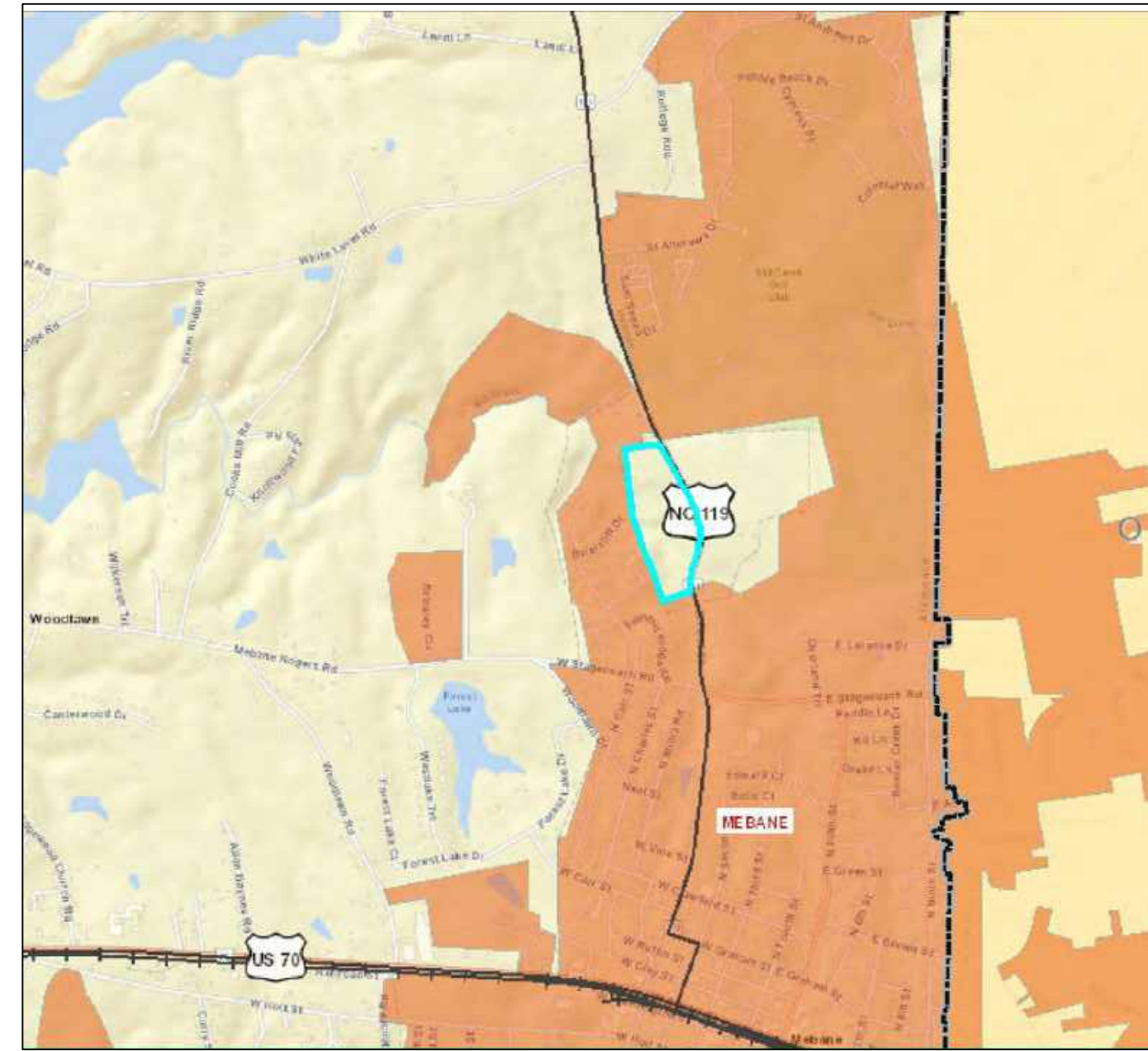
N. FIRST STREET TOWNHOMES

MEBANE, NORTH CAROLINA

2021-063



Vicinity Map (1" = 2,000')



LOT NUMBER	PRO. AREA
1	2,216
2	1,903
3	1,903
4	1,924
5	2,286
6	2,286
7	1,912
8	1,902
9	1,907
10	1,912
11	1,932
12	2,281
13	2,179
14	1,900
15	1,900
16	1,900
17	1,900
18	2,185
19	2,185
20	1,900
21	1,900
22	1,900
23	1,900
24	2,185
25	2,415
26	2,100
27	2,100
28	2,415
29	2,415
30	2,100
31	2,100
32	2,100
33	2,105
34	2,473
35	2,367
36	1,954
37	1,908
38	1,908
39	1,908
40	1,954
41	2,367
42	2,278
43	1,915
44	1,900
45	1,900
46	2,185
47	2,185
48	1,900
49	1,900
50	1,900
51	1,900
52	1,900
53	2,185
54	2,185
55	1,900
56	1,900
57	1,900
58	1,900
59	1,900
60	2,185
61	2,185
62	1,900
63	1,900
64	1,900
65	1,900
66	1,900
67	2,185
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69	1,900
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79	2,185
80	2,185
81	1,900
82	1,900
83	1,900
84	2,184
85	2,185
86	1,900
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90	2,185
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93	1,900
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97	2,185
98	1,900
99	1,900
100	1,900
101	1,900
102	1,900
103	1,900
104	2,185
105	1,900
106	1,900
107	1,900
108	1,900
109	1,900
110	2,185
111	2,177
112	1,900
113	1,900
114	1,900
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117	2,185
118	1,900
119	1,900
120	1,900
121	1,900
122	1,900
123	2,185
124	2,185
125	1,900
126	1,900
127	2,210
128	1,900
129	1,900
130	2,185
131	2,210
132	1,900
133	1,967
134	1,972
135	1,965
136	1,948
137	2,204
138	2,235
139	1,915
140	1,902
141	1,902
142	1,915
143	2,235
144	2,235
145	1,915
146	1,902
147	1,915
148	1,940
149	2,280
150	2,280

SITE INFORMATION TABLE:

LOCATION: N. FIRST STREET
CITY OF MEBANE
ALAMANCE COUNTY, NC

PROPOSED LOT COUNT: 150 SINGLE FAMILY ATTACHED TOWNHOMES

COUNTY: ALAMANCE COUNTY
PIN: 9816907457
DB/PG: 4283 / 0929
ZONING: CITY OF MEBANE
R-20 RESIDENTIAL

PROPOSED ZONING: R8 CD
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL TOWNHOMES (HIGH DENSITY)
WATERSHED: GENERAL WATERSHED AREA OVERLAY DISTRICT - BOW-BACK CREEK WATERSHED

PROPOSED SETBACKS:
FRONT YARD: 20'
SIDE YARD: 3'
CORNER SIDE YARD: 15'
REAR YARD: 10'
MAX BUILDING HEIGHT: 40'
MAX LOT COVERAGE: 79% (SEE NOTES ON TYPICAL TOWNHOME LAYOUT)

TOTAL ACREAGE: 30.55 AC. (1.37 is within NC 119 ROW)
DISTURBED AREA: ±18.24 AC. (63%)
UNDEVELOPED AREA: ±10.94 AC. (37%)
TOTAL OPEN SPACE: ±18.76 AC. (64%)
MAX. IMPERVIOUS SURFACE AREA: 381,310 SF (30%)
PRO. IMPERVIOUS PERCENTAGE: 375,345 SF (29.53%)
AREA IN ROW: 149,599 SF, 3.43 AC. (11.8%)
PRO. STREET LINEAR FOOTAGE: 2,980 LF
ARENDALE DRIVE: 210 LF
HAMMOND DRIVE: 1,310 LF
TEMBROOK DRIVE: 1,460 LF

PARKING CALCULATIONS:
REQUIRED PARKING: 2.5 PER UNIT (3 BDRM UNITS)
2.5 X 150 UNITS = 375 PARKS
PROVIDED PARKING: 150 X1 (GARAGE SPOTS)
+150X2 (DOUBLE DRIVES)
+41 X1 (PARKING AREAS)
491 PROVIDED SPACES

RECREATION & OPEN SPACE CALCULATIONS:
6-7.1 PUBLIC REC. OPEN SPACE: 1/35 OF AN ACRE PER DWELLING UNIT
1/35 X 150 = 4.28 AC.
OR 1/20 X 150 = 7.50 AC. (IF OPEN SPACE HAS STEEP SLOPES OR IS A FLOOD HAZARD AREA)
PROVIDED PUBLIC REC. OPEN SPACE: PARTICIPATION IN OFFSITE GREENWAY IS TO REPLACE ONSITE PUBLIC RECREATION OPEN SPACE
6-7.2 PRIVATE REC. OPEN SPACE: 6-7.2 DOES NOT APPLY SINCE UNITS ARE PROPOSED FOR INDIVIDUAL SALE AND ARE NOT MANUFACTURED HOMES, TWO-FAMILY OR MULTIFAMILY DEV.
6-7.3 PRIVATE OPEN SPACE: F. CONDOMINIUM AND TOWNHOUSE DEV.
R8 = 500 SF PER DWELLING UNIT
150 X 500 = 75,000 SF (1.72 AC)
PROVIDED PRIVATE OPEN SPACE: 823,146 SF (18.90 AC)
EX. AREA OF SLOPES > 15%: 260,628 SF (5.98 AC)
AREA IN FLOODPLAIN: 201,871 SF (4.63 AC)
RIPARIAN BUFFER AREA: 164,090 SF (3.77 AC)
EX. SEWER EASEMENT AREA: 28,170 SF (0.65 AC)

Owner
Kirkpatrick & Associates, LLC
4004 Barrett Drive, Suite 204
Raleigh, NC 27609
Contact: Matt Kirkpatrick
919.235.8304
mattk@reliant-partners.com

Developer:
DRB GROUP
3000 RDU Center Drive Ste 202
Morrisville, NC 27560
Contact: JAY COLVIN
919.747.4970
jcolvin@drbgroup.com

Surveying:
Boswell Surveyors, INC.
505 East Davis Street
Burlington, NC 27215
336.227.8723
boswellsurveyors.com

Landscape Architect:
TMTLA Associates
5011 Southpark Drive, Suite 200
Durham, NC 27713
919.484.8880 (v)
Contact: Tony Tate, PLA, ASLA
tony@tmtla.com

Civil Engineering:
Stocks Engineering, P.A.
801 East Washington Street
P.O. Box 1108
Nashville, NC 27856
252.459.8196 (v)
Contact: Mike Stocks, PE
mstock@stocksengineering.com

INDEX

COVER	COVER SHEET
CE-01	EXISTING SITE SURVEY
CE-02	PRELIMINARY SITE and UTILITY PLAN
CE-03	PRELIMINARY GRADING PLAN
CE-04	PRELIMINARY NC 119 SIDEWALK PROFILE
LP-01	PRELIMINARY LANDSCAPE ONE
LP-02	PRELIMINARY LANDSCAPE TWO

Deviations from City UDO

CATEGORY	UDO STANDARD	PROPOSED
1. Lot width	85'	20' TOWNHOME
2. Front Yard Setback	30'	20'
3. Side Yard Setback	10'	3' SETBACK, MIN. 20' BETWEEN BLDGS
4. Rear Yard Setback	20'	10'
5. Side yard for end dwellings:	15'	3', MAINTAIN 20' BETWEEN BLDGS
6. Minimum Lot Area	8,000 SF	END UNIT BUILDING 15' FROM ROW
7. Maximum Lot Coverage	40%	VARIABLE (MAX 79% SEE TYPICAL TOWNHOME LAYOUT NOTE ON CE-02)

GOVERNING AGENCIES:

WATER AND SEWER DISTRIBUTION:
CITY OF MEBANE
PUBLIC WORKS DEPT.
CONTACT: KYLE SMITH, P.E.
DIRECTOR
(919) 563-3401

NATURAL GAS:
PSNC ENERGY / DOMINION ENERGY
BRIAN SMITH
2541 WHILDEN DRIVE
DURHAM, NC 27713
(919) 598-7545
BRIAN.SMITH@SCANA.COM

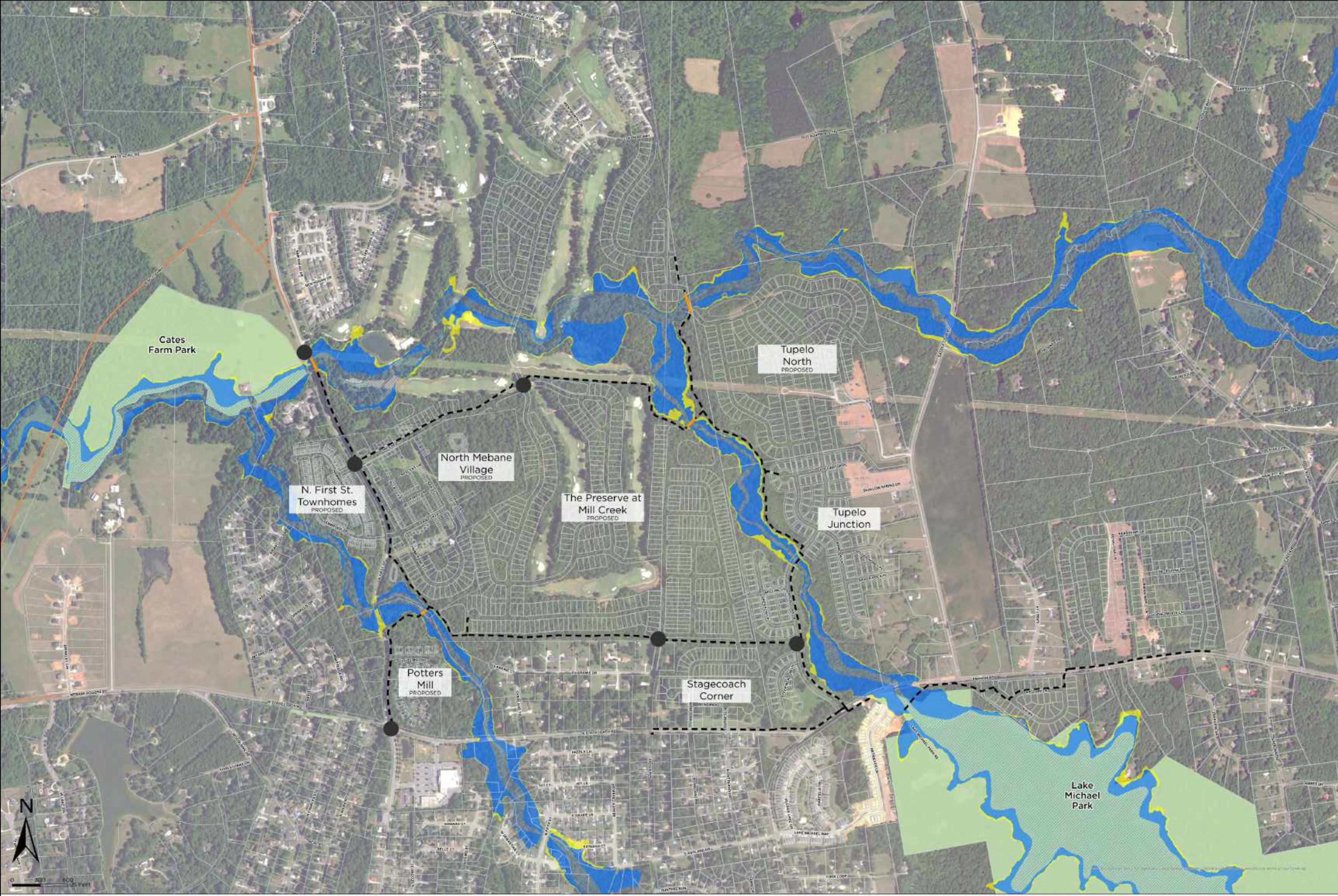
ELECTRIC:
PIEDMONT ELECTRIC
2500 S. NC 86
MEBANE, NC 27302
(336) 732-2123

EROSION CONTROL:
WINSTON-SALEM REGIONAL OFFICE
450 WEST HANES MILL ROAD
SUITE 300
WINSTON-SALEM, NC 27105
CONTACT: SUE HOMEWOOD
sue.homewood@ncdenr.gov
(336) 776-9693

PLANNING:
CONTACT: CY STOBER, AICP
DEVELOPMENT DIRECTOR
102 S. 5TH STREET
MEBANE, NC 27302
(919) 563-9990

NC DOT-DIVISION 7, DISTRICT 1:
CHARLES N. EDWARDS (CHUCK) P.E.
DISTRICT ENGINEER
115 E. CRESCENT SQUARE DRIVE
PO BOX 765
GRAHAM, NC 27253
(919) 570-6833

PRELIMINARY SITE PLAN 4-26-2022

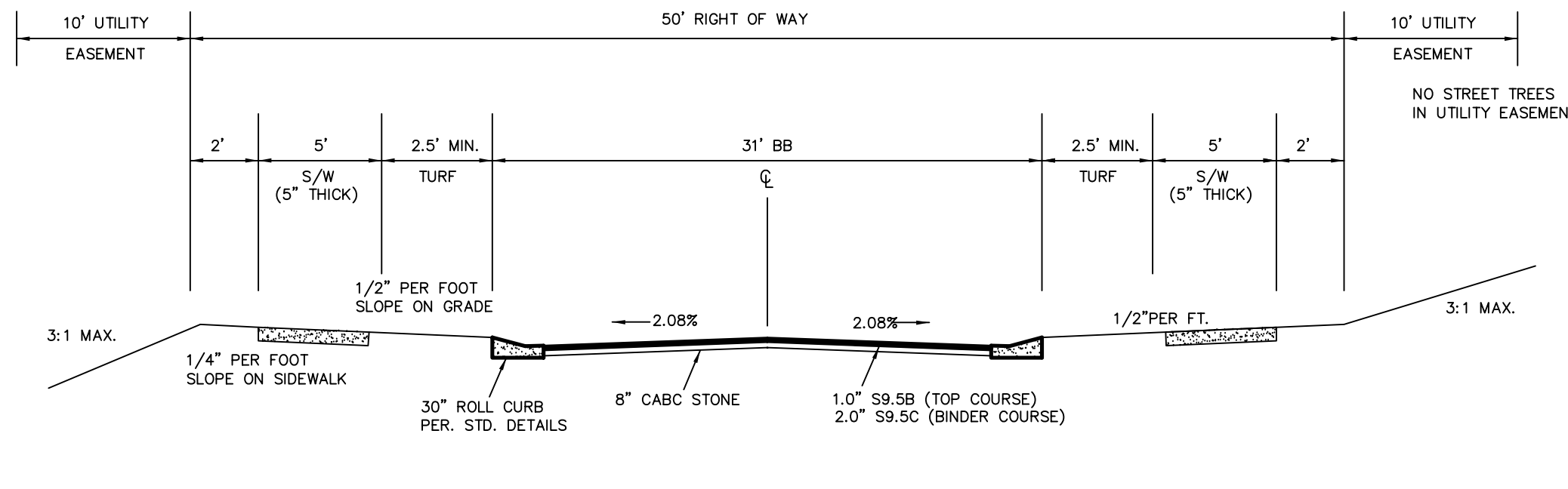


North Mebane - Proposed Development & Multi-Use Path Network
N.T.S.

Legend:
- - - - Paved, Multi-Use Path
- - - - Bridge & Boardwalk
● Crosswalk

N. First Street Multi-use Path (Stagecoach Road to Cates Farm Park)
The Developers of Potters Mill, N. First Street Townhomes, North Mebane Village, and the Preserve at Mill Creek shall make individual and shared commitments to fully fund and construct a 10' wide paved multi-use path with bridges/boardwalk and roadway crossings from Stagecoach Road to Cates Farm Park as a part of their development plans.

- The following work shall be included in a joint pro-rata cost-sharing agreement between the entities responsible for approval of proposed Potters Mill, North First Street Townhomes and North Mebane Village developments:
 - One (1) stream crossing between Potters Mill and North Mebane Village,
 - One (1) north-south pedestrian crossing at North First Street/Stagecoach Road,
 - One (1) east-west pedestrian crossing between North First Street Townhomes and North Mebane Village.
- The joint pro-rata cost-sharing agreement for the construction of the shared items shall be reviewed and approved by the City of Mebane and the respective development parties prior to construction drawing approval or recordation of any lots associated with the individual developments.
- Participation in the joint pro-rata cost sharing items shall satisfy the requirement for the full public recreation area dedication.



31' BACK TO BACK STREET SECTION
NOT TO SCALE

STOCKS ENGINEERING
801 EAST WASHINGTON STREET
NASHVILLE, N.C. 27856
WWW.STOCKSENGINEERING.COM
P.O. BOX 1108
PHONE: (252) 459-8196

BLN=C-1874

N. FIRST STREET TOWNHOMES
PRELIMINARY PACKAGE
MEBANE, ALAMANCE COUNTY, NORTH CAROLINA

SEAL 19843
MICHAEL STOCKS
1/4/22

COVER SHEET

REVISIONS
4/26/22 TRC COMMENTS
5/13/22 DW SHEET
5/13/22 DW NOTES & RAB
5/24/22 TRC COMMENTS
6/1/22 FOR PLANNING BOARD

FILE NO. 2021-063
HORZ. SCALE: 1"=30'
VERT. SCALE: NONE

COVER

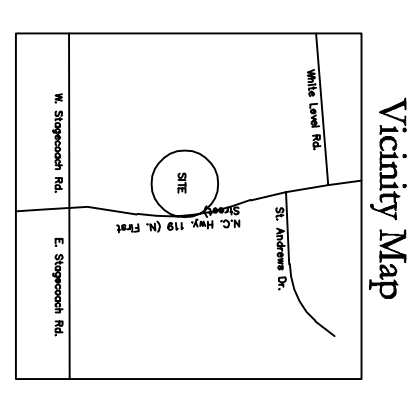
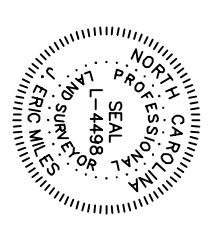


DATE	BY	REVISION
5/24/22	MS	FOR PLANNING BOARD
5/13/22	MS	FOR NOTES & RAB
5/3/22	MS	DW SHIFT
4/26/22	MS	TRC COMMENTS

LIMIT WARNING
Approved utilities or other features are shown on other ground structures located from field survey information and recorded information. Location of underground utilities or other features may be encountered during the process of this survey. No liability is assumed for any damage to or destruction of any property or other structures caused by the survey. The engineer is not responsible for the accuracy of the utility information shown on this map.



STATEMENT OF WORK
I, the undersigned, Michael Stocks, a duly licensed Professional Engineer in the State of North Carolina, do hereby certify that I am the author of this report and that I am a duly licensed Professional Engineer in the State of North Carolina. I am not providing this report for any other purpose than that stated herein. I am not providing this report for any other purpose than that stated herein. I am not providing this report for any other purpose than that stated herein.



Property Information:
Owner: Robert C. Stout Trust
Address: 119 N. First Street, Mebane, NC 27302
Parcel ID: 166595

SCALE: 1" = 100'

Topographic Survey of the Property of Robert C. Stout Trust
Melville Township, Alamance County, North Carolina

Coll Before You Dig! Its The Low
UCCO North Carolina One Call Center
1-800-632-4949

ROSEWELL SURVEYORS, INC.
5000 S.W. 11th St.
Fort Lauderdale, FL 33322
Phone: (754) 363-1500
Fax: (754) 363-1501
www.rosewellsurveyors.com

STOCKS ENGINEERING
801 EAST WASHINGTON STREET
NASHVILLE, N.C. 27856
PHONE: (252) 459-6196
P.O. BOX 1108
WWW.STOCKSENGINEERING.COM

BLN-C-1874
**N. FIRST STREET TOWNHOMES
PRELIMINARY PACKAGE
MEBANE, ALAMANCE COUNTY, NORTH CAROLINA**

PROFESSIONAL SEAL 19843
MICHAEL STOCKS
1/4/22

EXISTING CONDITIONS

REVISIONS
4/26/22 TRC COMMENTS
5/3/22 DW SHIFT
5/13/22 GW NOTES & RAB
5/24/22 TRC COMMENTS
6/1/22 FOR PLANNING BOARD

FILE NO. 2021-063
HORZ. SCALE: 1"=60'
VERT. SCALE: NONE



Section One
Forest Ridge Subdivision
P.B. 21 PG. 72

CITY OF MEBANE
MEBANE ETJ

CITY OF MEBANE
MEBANE ETJ

30.55 Acres ± Total
1.37 Acres ± in R/W
Parcel ID: 166595

OPEN SPACE TO BE OWNED BY THE HOA AND PLATTED AS PERMANENTLY PRESERVED.

PHASE TWO
PHASE ONE

PHASE TWO
PHASE ONE



Approximate Location of 100 Year Flood as per Alamance County GIS

Approximate Location of 100 Year Flood as per Alamance County GIS

ZONING CONDITION NOTES:

- NO ON STREET PARALLEL PARKING WILL BE ALLOWED AND ENFORCEMENT WILL COME VIA RESTRICTIVE COVENANTS AND THE HOA.

CITY OF MEBANE TRC NOTES:

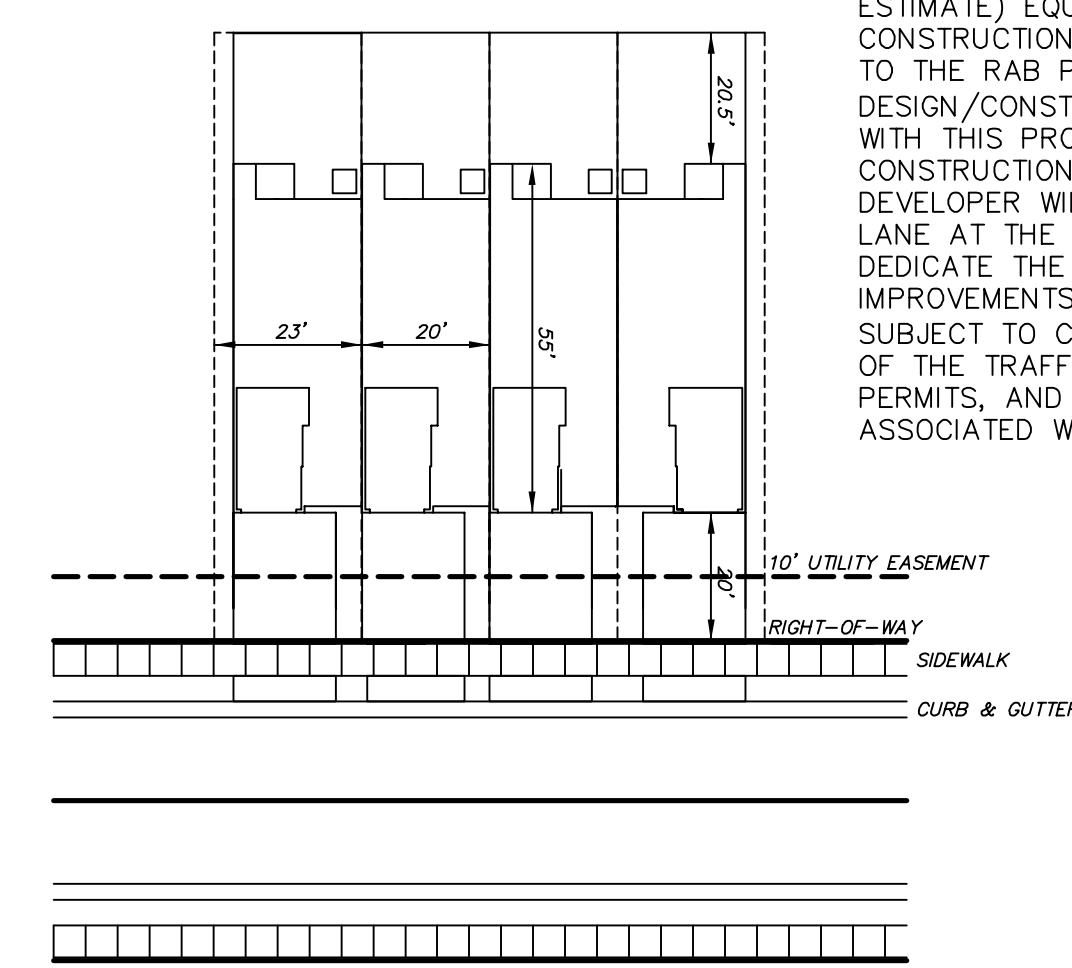
- ALL PRIVATE AREAS ARE TO BE MAINTAINED BY THE HOA, WHICH INCLUDES PARKING AREAS.
- ANNEXATION IS REQUIRED PRIOR TO CONNECTION TO CITY UTILITIES.
- THE UNDEVELOPED PORTION OF THE PROPERTY TO THE SOUTH WEST OF THE STREAM WILL BE OPEN SPACE DEDICATED TO THE HOA.
- SITE DEVELOPMENT WILL COMPLY WITH THE RIPARIAN BUFFER PROTECTION ORDINANCE.
- TEMPORARY GRAVEL TURNAROUNDS MEETING CITY STANDARDS WILL BE PROVIDED AT PHASE LINES.
- ALL WATERLINES 8" UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER LINES 8" UNLESS OTHERWISE NOTED.
- NC 119 CROSSWALK LOCATION IS PRELIMINARY, FINAL CROSSWALK NUMBER AND LOCATION(S) SHALL BE DETERMINED BY NCDOT DURING THE DRIVEWAY AND ENCROACHMENT REVIEW PROCESS.
- CITY OF MEBANE/NCDOT JOINT REVIEW OF TIA FOR ALL DEVELOPMENTS COMMENTS FORTHCOMING.

N.C. Hwy. 119
(N. First Street)
60' Public R/W

150 UNITS
106,819 S.F. ASPHALT and C&G
33,307 S.F. SIDEWALK
163,470 S.F. UNITS
61,577 S.F. DRIVEWAYS
5,572 S.F. SW 119
4,604 S.F. GREENWAY
375,349 S.F. TOTAL (29.53%)

1,271,035 SF (TOTAL SITE)

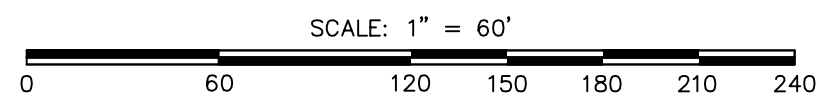
TYPICAL TOWNHOME LAYOUT
SCALE: 1" = 30'



HIGH VISIBILITY CROSSWALK TO OFFSITE MULTI-USE PATH BY OTHERS, PER NCDOT APPROVAL AND SUBJECT TO BE CHANGED BY ROUND-A-BOUT. (SEE NOTE BELOW)

THE DASHED LINE HAS A 60' RADIUS AND REPRESENTS THE OUTSIDE OF A SINGLE LANE ROUND-A-BOUT (RAB). THE BOLD DASHED LINE REPRESENTS THE POTENTIAL RIGHT-OF-WAY (ROW) FOR A RAB AND IS 74' RADIUS WITH 50' RADI CONNECTING TO THE EX. N. FIRST STREET ROW AND THE PRO. ROW IN N. FIRST STREET TOWNHOMES (THE DEVELOPMENT). THE DEVELOPER WILL DEDICATE THE PROPOSED ROW (CROSS HATCHED) TO ACCOMMODATE THE DESIGN/CONSTRUCTION OF THE RAB (BY OTHERS). IF THE TIMING OF THE RAB DESIGN/CONSTRUCTION COINCIDES WITH THE CONSTRUCTION OF THE DEVELOPMENT AND THE DEVELOPER IS NOT REQUIRED TO INSTALL THE NORTHERN LEFT TURN LANE, THEN THE DEVELOPER WILL CONTRIBUTE AN AMOUNT (PER ENGINEER'S ESTIMATE) EQUAL TO THE DESIGN AND CONSTRUCTION OF THE NORTHERN LEFT TURN LANE TO THE RAB PROJECT. IF THE RAB DESIGN/CONSTRUCTION TIMELINE IS NOT IN ACCORD WITH THIS PROJECT AND OCCURS AFTER CONSTRUCTION OF THE DEVELOPMENT, THE DEVELOPER WILL INSTALL THE TEMPORARY TURN LANE AT THE NORTHERN INTERSECTION AND ONLY DEDICATE THE ROW FOR THE RAB. ALL IMPROVEMENTS WITHIN THE NCDOT ROW ARE SUBJECT TO CHANGE DURING THE NCDOT'S REVIEW OF THE TRAFFIC IMPACT ANALYSIS, DRIVEWAY PERMITS, AND ENCROACHMENT AGREEMENTS ASSOCIATED WITH THE DEVELOPMENT.

MAX. IMPERVIOUS ON THE TYPICAL LOT IS 1,500 SF BUT WILL VARY DEPENDING ON DRIVEWAYS. FOR OVERALL IMPERVIOUS PERCENTAGES, ALL DRIVEWAYS ARE ASSUMED TO BE DOUBLE DRIVES. THE NUMBER OF UNITS VARIES FROM 4 TO 7.



STOCKS ENGINEERING
P.O. BOX 1108
801 EAST WASHINGTON STREET
NASHVILLE, N.C. 27556
PHONE: (252) 459-8196
WWW.STOCKSENGINEERING.COM

BLN-C-1874
Richmond, Virginia
Mond Heirs Manual, Pg. 576

N. FIRST STREET TOWNHOMES PRELIMINARY PACKAGE
MEBANE, ALAMANCE COUNTY, NORTH CAROLINA

SEAL 19843
MICHAEL STOCKS
1/4/22

PRELIMINARY SITE & UTILITY

REVISIONS
4/26/22 TRC COMMENTS
5/3/22 SW SHIFT
5/13/22 CW NOTES & RAB
5/24/22 TRC COMMENTS
6/1/22 FOR PLANNING BOARD

FILE NO. 2021-063
HORZ. SCALE: 1"=60'
VERT. SCALE: NONE

CE-02



Section One
Forest Ridge Subdivision
P.B. 21 PG. 72

CITY OF MEBANE
MEBANE ETJ

CITY OF MEBANE
MEBANE ETJ

30.55 Acres ± Total
1.37 Acres ± in R/W
Parcel ID: 166595

OPEN SPACE TO BE OWNED BY THE HOA AND PLATTED AS PERMANENTLY PRESERVED.

PHASE TWO
PHASE ONE

PHASE TWO
PHASE ONE



Approximate Location of 100 Year Flood as per Alamance County GIS

Approximate Location of 100-Year Flood as per Alamance County GIS

HIGH VISIBILITY CROSSWALK TO OFFSITE MULTI-USE PATH BY OTHERS, PER NCDOT APPROVAL AND SUBJECT TO BE CHANGED BY ROUND-A-BOUT. (SEE NOTE BELOW)

THE DASHED LINE HAS A 60' RADIUS AND REPRESENTS THE OUTSIDE OF A SINGLE LANE ROUND-A-BOUT (RAB). THE BOLD DASHED LINE REPRESENTS THE POTENTIAL RIGHT-OF-WAY (ROW) FOR A RAB AND IS 74' RADIUS WITH 50' RADI CONNECTING TO THE EX. N. FIRST STREET ROW AND THE PRO. ROW IN N. FIRST STREET TOWNHOMES (THE DEVELOPMENT). THE DEVELOPER WILL DEDICATE THE PROPOSED ROW (CROSS HATCHED) TO ACCOMMODATE THE DESIGN/CONSTRUCTION OF THE RAB (BY OTHERS). IF THE TIMING OF THE RAB DESIGN/CONSTRUCTION COINCIDES WITH THE CONSTRUCTION OF THE DEVELOPMENT AND THE DEVELOPER IS NOT REQUIRED TO INSTALL THE NORTHERN LEFT TURN LANE, THEN THE DEVELOPER WILL CONTRIBUTE AN AMOUNT (PER ENGINEER'S ESTIMATE) EQUAL TO THE DESIGN AND CONSTRUCTION OF THE NORTHERN LEFT TURN LANE TO THE RAB PROJECT. IF THE RAB DESIGN/CONSTRUCTION TIMELINE IS NOT IN ACCORD WITH THIS PROJECT AND OCCURS AFTER CONSTRUCTION OF THE DEVELOPMENT, THE DEVELOPER WILL INSTALL THE TEMPORARY TURN LANE AT THE NORTHERN INTERSECTION AND ONLY DEDICATE THE ROW FOR THE RAB. ALL IMPROVEMENTS WITHIN THE NCDOT'S ROW ARE SUBJECT TO CHANGE DURING THE NCDOT'S REVIEW OF THE TRAFFIC IMPACT ANALYSIS, DRIVEWAY PERMITS, AND ENCROACHMENT AGREEMENTS ASSOCIATED WITH THE DEVELOPMENT.

ZONING CONDITION NOTES:

- NO ON STREET PARALLEL PARKING WILL BE ALLOWED AND ENFORCEMENT WILL COME VIA RESTRICTIVE COVENANTS AND THE HOA.

CITY OF MEBANE TRC NOTES:

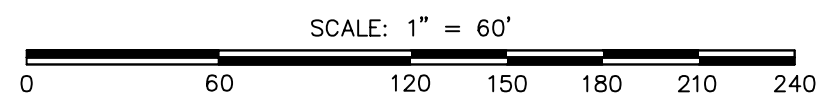
- ALL STORM PIPING OUTSIDE OF ROW SHALL BE IN A PRIVATE STORM DRAINAGE EASEMENT AND HOA MAINTAINED.

GRADING NOTES:

- EXISTING AND PROPOSED CONTOURS ARE SHOWN EVERY 2'.
- PROPOSED SLOPES ARE 3:1. RETAINING WALLS MAY BE REQUIRED WHERE SLOPES ARE NOT ACHIEVABLE.
- A STORM DRAIN SYSTEM WITH PRELIMINARY LOCATIONS OF DRAINAGE STRUCTURES ARE SHOWN AND ARE SUBJECT TO CHANGE WITH CONSTRUCTION DRAWINGS. SWALES BETWEEN THE UNITS AND REAR LOT SWALES WILL BE USED TO DIRECT THE RUNOFF FROM THE IMPERVIOUS AREA TO THE DRAINAGE STRUCTURES AND THE SCMS TO THE MAXIMUM EXTENT PRACTICAL.
- BUA THAT FLOWS TO SCM #2 FROM PHASE 1 IS LIMITED TO 12% OF THE SITE EXCLUDING PHASE 1. SCM #2 PERMANENT CONVERSION SHALL BE BONDED WITH PHASE 1.

N.C. Hwy. 119
(N. First Street)
60' Public R/W

150 UNITS
106,819 S.F. ASPHALT and C&G
33,307 S.F. SIDEWALK
163,470 S.F. UNITS
61,577 S.F. DRIVEWAYS
5,572 S.F. SW 119
4,604 S.F. GREENWAY
375,349 S.F. TOTAL (29.53%)
1,271,035 SF (TOTAL SITE)



STOCKS ENGINEERING
P.O. BOX 1108
801 EAST WASHINGTON STREET
NASHVILLE, N.C. 27556
PHONE: (252) 459-8196
WWW.STOCKSENGINEERING.COM

BLN-C-1874
Richmond, Virginia
Mond Heirs
Pg. 576
**N. FIRST STREET TOWNHOMES
PRELIMINARY PACKAGE
MEBANE, ALAMANCE COUNTY, NORTH CAROLINA**

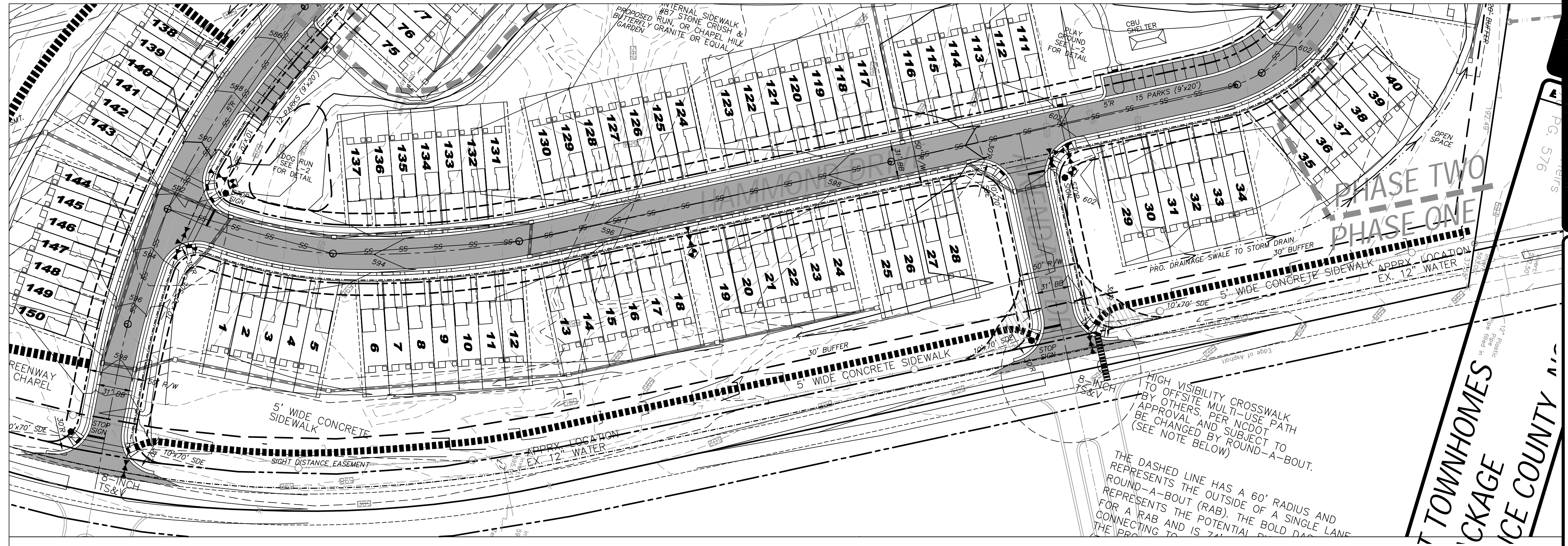
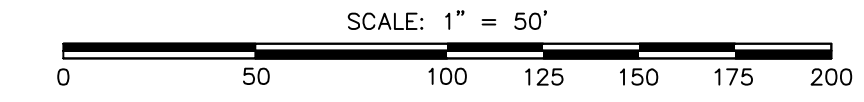
NORTH CAROLINA PROFESSIONAL SEAL 19843
MICHAEL STOCKS
1/4/22

PRELIMINARY GRADING

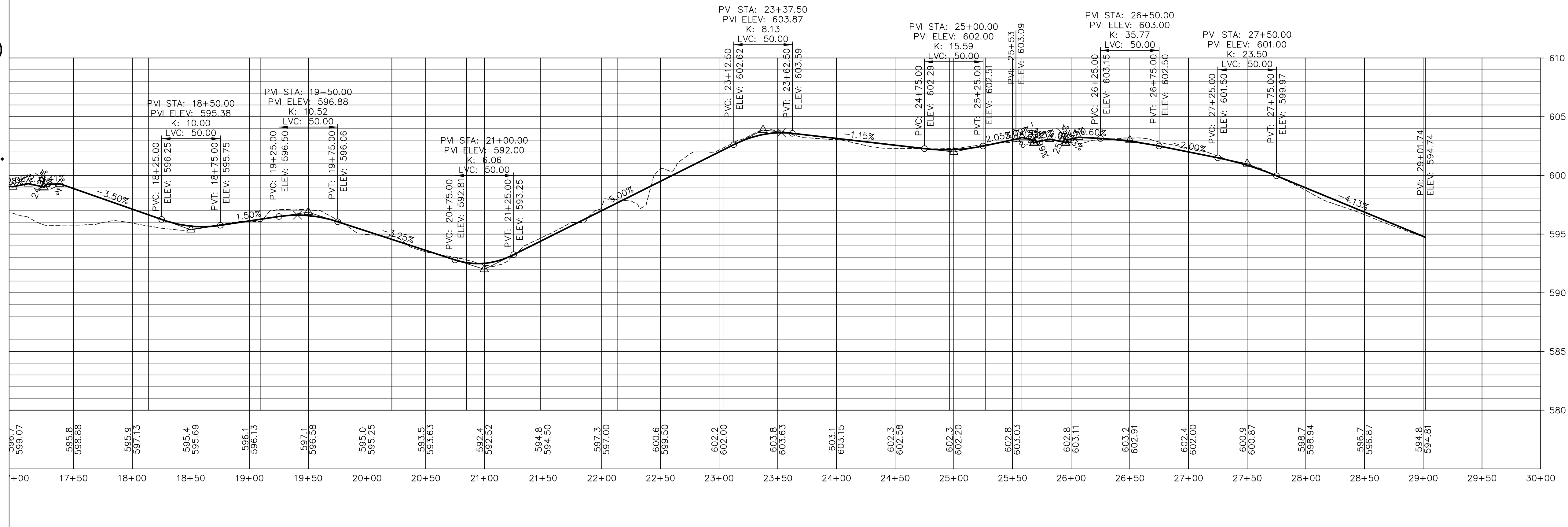
REVISIONS
4/26/22 TRC COMMENTS
5/3/22 SW SHIFT
5/13/22 GW NOTES & RAB
5/24/22 TRC COMMENTS
6/1/22 FOR PLANNING BOARD

FILE NO. 2021-063
HORZ. SCALE: 1"=60'
VERT. SCALE: NONE

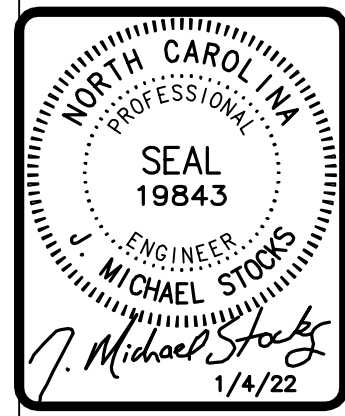
CE-03



SIDEWALK PROFILE IS FOR REVIEW PURPOSES. SLOPES ARE SHOWN TO APPROXIMATE SLOPES. GREENWAY SHALL BE BUILT TO MATCH EX. GRADE OR AS SHOWN ON THE GRADING PLAN.



N. FIRST STREET TOWNHOMES
PRELIMINARY PACKAGE
MEBANE, ORANGE COUNTY, NORTH CAROLINA



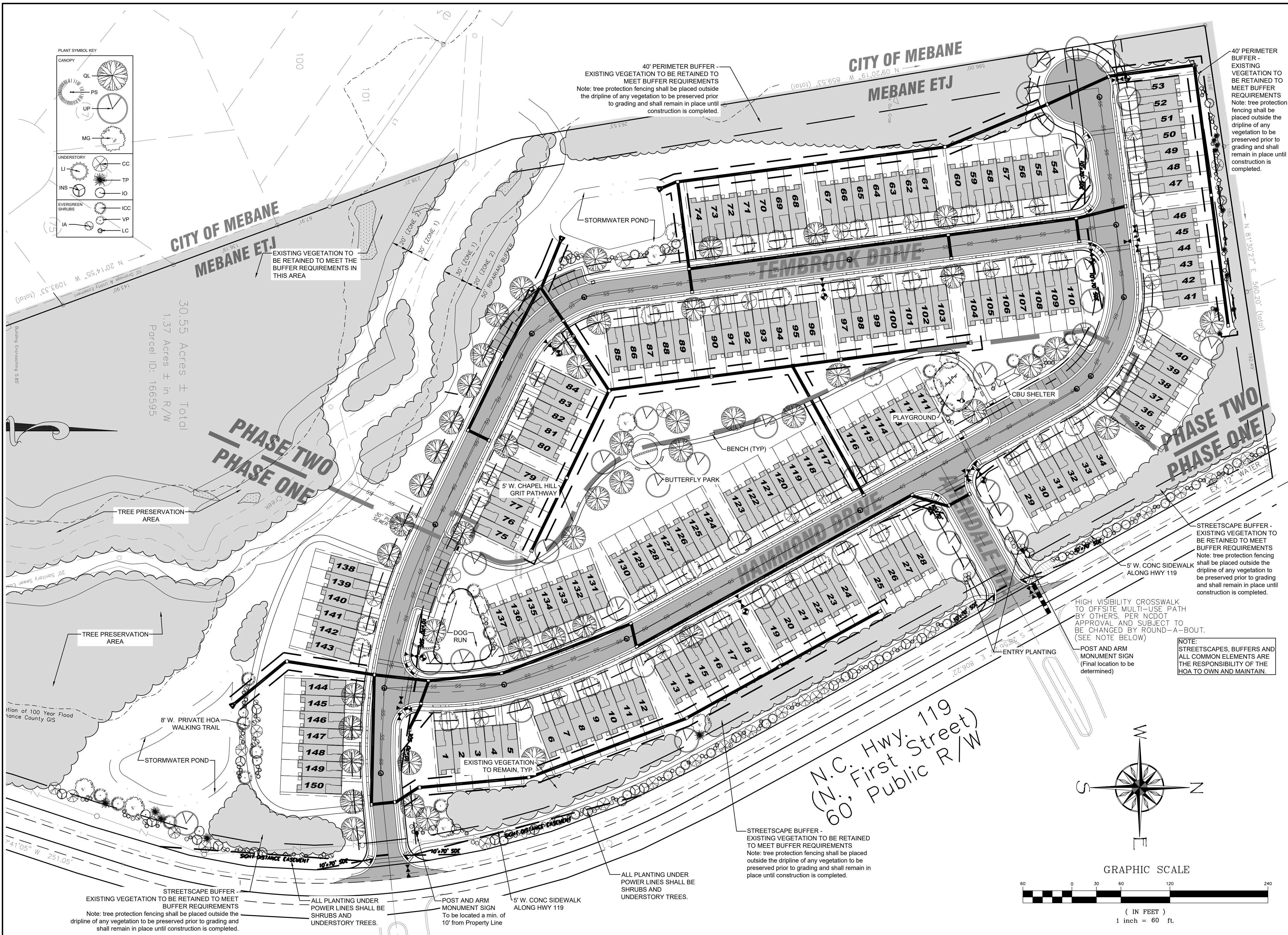
PEDESTRIAN PROFILES

REVISIONS
4/26/22 TRC COMMENTS
5/3/22 DW SHIFT
5/13/22 GW NOTES & RAB
6/1/22 FOR PLANNING BOARD

FILE NO: 2021-063
HORZ. SCALE: 1"=50'
VERT. SCALE: NONE

CE-04

I lift up my eyes to the mountains, where does my help come from? My help comes from the Lord, the Maker of heaven and earth. PSALM 121: 1-2



PLANT SYMBOL KEY

CANOPY	
QL	PS
UP	MG
UNDERSTORY	
LI	CC
INS	TP
IO	IA
VP	LC

40' PERIMETER BUFFER - EXISTING VEGETATION TO BE RETAINED TO MEET BUFFER REQUIREMENTS
 Note: tree protection fencing shall be placed outside the dripline of any vegetation to be preserved prior to grading and shall remain in place until construction is completed.

40' PERIMETER BUFFER - EXISTING VEGETATION TO BE RETAINED TO MEET BUFFER REQUIREMENTS
 Note: tree protection fencing shall be placed outside the dripline of any vegetation to be preserved prior to grading and shall remain in place until construction is completed.

EXISTING VEGETATION TO BE RETAINED TO MEET THE BUFFER REQUIREMENTS IN THIS AREA

STREETSCAPE BUFFER - EXISTING VEGETATION TO BE RETAINED TO MEET BUFFER REQUIREMENTS
 Note: tree protection fencing shall be placed outside the dripline of any vegetation to be preserved prior to grading and shall remain in place until construction is completed.

HIGH VISIBILITY CROSSWALK TO OFFSITE MULTI-USE PATH BY OTHERS, PER NCDOT APPROVAL AND SUBJECT TO BE CHANGED BY ROUND-A-BOUT. (SEE NOTE BELOW)

NOTE: STREETSCAPES, BUFFERS AND ALL COMMON ELEMENTS ARE THE RESPONSIBILITY OF THE HOA TO OWN AND MAINTAIN.

STREETSCAPE BUFFER - EXISTING VEGETATION TO BE RETAINED TO MEET BUFFER REQUIREMENTS
 Note: tree protection fencing shall be placed outside the dripline of any vegetation to be preserved prior to grading and shall remain in place until construction is completed.

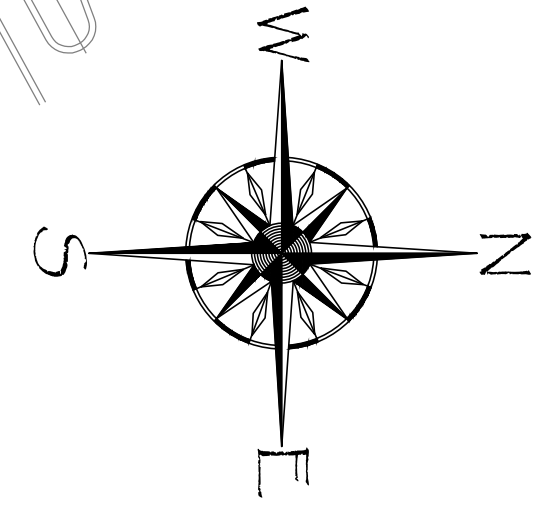
STREETSCAPE BUFFER - EXISTING VEGETATION TO BE RETAINED TO MEET BUFFER REQUIREMENTS
 Note: tree protection fencing shall be placed outside the dripline of any vegetation to be preserved prior to grading and shall remain in place until construction is completed.

ALL PLANTING UNDER POWER LINES SHALL BE SHRUBS AND UNDERSTORY TREES.

POST AND ARM MONUMENT SIGN
 To be located a min. of 10' from Property Line

ALL PLANTING UNDER POWER LINES SHALL BE SHRUBS AND UNDERSTORY TREES.

(N.C. Hwy. 119
60', First Street)
60', Public R/W



RECREATION SPACE REQUIREMENTS:

At least 1/35 of an acre shall be dedicated or reserved for each dwelling unit proposed in the subdivision plat or development plan, except that any land to be dedicated that lies within a Flood Hazard Area or that has slopes greater than 15 percent shall be dedicated at a rate of at least 1/20 of an acre per dwelling unit.

150 PROPOSED DWELLING UNITS
 150 x 0.0285714 = 4.285714 ACRES
 = 186,686 SF (4.286 AC) REQUIRED

- PRIVATE RECREATION SPACE PROVIDED:**
- 1.50 ac = 65,500 sf (PLAYGROUND, BUTTERFLY PARK, DOG PARK)
 - 0.13 ac = 5,750 sf GREENWAY CORRIDOR (575LF x 10'W CORRIDOR - corridor consists of 8' wide path and 1' each side of cleared area)

TOTAL PRIVATE RECREATION SPACE PROVIDED:
 1.63 ac = 71,250 sf

Formula	Example
Total number of proposed dwellings multiplied by	25 dwellings X
0.0285714 acres per dwelling equals	1,244.07 square feet equals
Public recreational area required	31,114.25 square feet or 0.71-acre

In this example, a proposed 25-unit residential subdivision would be required to provide a minimum 0.71-acre of public recreational space.

STREETSCAPE BUFFER:
 (1,935 LF OF STREETSCAPE)
 A 20' WIDE STREETSCAPE BUFFER IS REQUIRED AND PROVIDED ALONG N. 1ST ST.
 1 CANOPY TREE 22.5" CAL/40 LF
 1 UNDERSTORY TREE / 20 LF
 1,935 LF. STREETSCAPE

+40=49 CANOPY TREES REQUIRED - 6 PROVIDED (Due to the power lines overhead and proposed sidewalk, as well as the existing vegetation we hope to retain, we are only locating canopy trees where ever possible.)
 +20=97 UNDERSTORY TREES REQUIRED - 76 PROVIDED (remaining 21 are included in existing vegetation).
 112 SHRUBS PROVIDED

NOTE, 1,500 LF ARE WITHIN THE STREAM BUFFER AND HAVE EXISTING VEGETATION. THE EXISTING VEGETATION WILL BE MAINTAINED AND WILL ONLY BE SUPPLEMENTED IF NECESSARY. VEGETATION WILL BE PLANTED ALONG THE REMAINING 1,935 LF OF STREETSCAPE BUFFER.

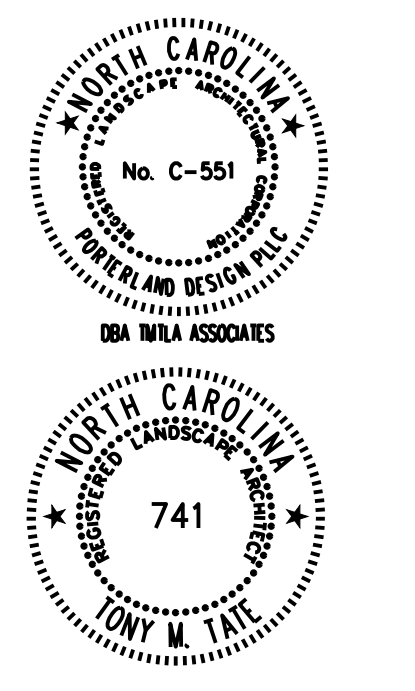
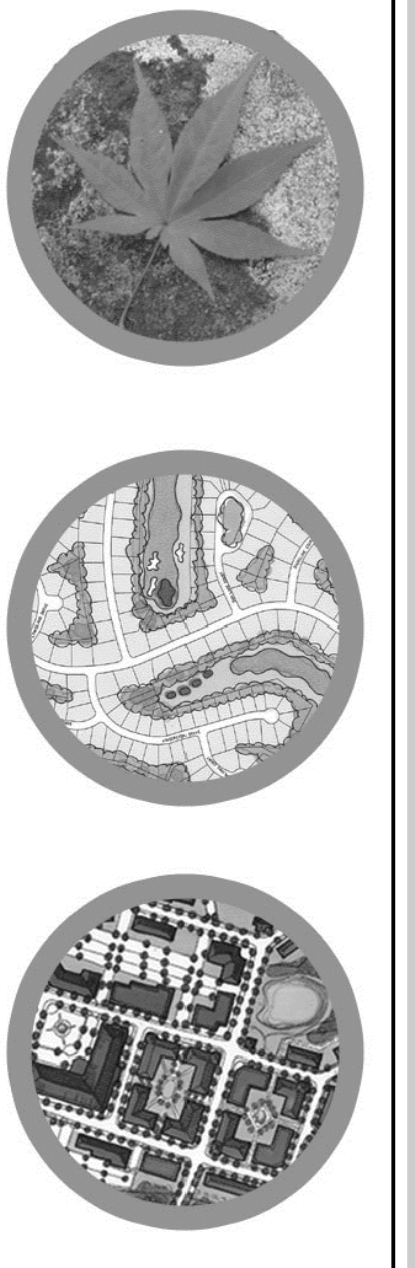
PERIMETER BUFFER:
 A 40' TYPE-B SEMI-OPAQUE BUFFER IS REQUIRED AND PROVIDED ALONG THE NORTH AND NORTHWESTERLY PROPERTY LINES.
 1 TREE/20LF. & 75' EVERGREEN SHRUBS 5-8' o.c., 24" HT. AT INSTALLATION.
 1,400 LF OF PERIMETER BUFFER REQUIRED. 100% SHRUBS PROVIDED ARE EVERGREEN

Type B, Semi-opaque Perimeter Buffer:
 Performance Standards: This perimeter buffer functions as a semi-opaque screen from the ground to at least a height 6 feet. Vegetative material within this buffer shall meet the following criteria:

- Existing or planted deciduous and/or evergreen trees shall attain a height at maturity of no less than 40 feet.
- At least 75 percent of the required shrubs shall be evergreen species locally adapted to the area.
- Minimum spacing shall generally be no wider than 20 feet between tree trunks (but may be wider depending on tree type) with evergreen shrubs spacing ranging from 5 to 8 feet on center.
- Composition of the Semi-opaque Type B buffer may include a wall, fence, landscaped earthen berm, planted vegetation, existing vegetation, or any appropriate combination of the elements.

PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.	AVE HT FT	AVE SPD FT
TREES	QL	Quercus lyrata	Overcup Oak	2.5" cal	B&B	48	50
	UP	Ulmus parvifolia 'Lacebark'	Lacebark Elm	2.5" cal	B&B	41	45
	MG	Magnolia grandiflora	Southern Magnolia	6' ht	B&B	39	60
	CC	Cercis canadensis	Redbud	6' HT (1.5"eqv)	B&B	50	25
	TP	Thuja plicata 'Green Giant'	Green Giant Arborvitae	6' HT (2"eqv)	B&B	15	60
	PS	Pinus strobus	Eastern White Pine	6' HT (2"eqv)	B&B	15	50
	INS	Ilex x 'Nelly R. Stevens'	Nelly R Stevens Holly	6' HT (2"eqv)	B&B	24	20
	LI	Lagerstroemia indica	Crepe Myrtle	6' HT (1.5"eqv)	B&B	32	15
	IO	Ilex Opaca	American Holly	4' HT (1.5"eqv)	B&B	6	25
	IA	Ilex aquifolium 'Monvila'	Gold Coast English Holly	36" ht	Cont.	21	5
SHRUBS	ICC	Ilex cornuta 'Carissa'	Carissa Holly	24" ht	Cont.	52	3
	VP	Viburnum 'Pragense'	Prague Viburnum	36" ht	Cont.	81	8



OWNER:
 KIRKPATRICK & ASSOCIATES, LLC
 4004 BARRETT DR. STE 204
 RALEIGH, NC 27609
 (919) 235-8304

DEVELOPER:
 DRB GROUP
 3000 RDU CENTER DR, STE 202
 MORRISVILLE, NC 27560
 919.747.4970

REVISIONS:
 APR 26, '22 - TRC Comments
 MAY 4, '22 - Adjust north entry
 MAY 13, '22 - Adjust for GW & RAB
 MAY 25, '22 - TRC Comments
 JUN 1, '22 - for Planning Bd

LANDSCAPE PLAN
N. FIRST STREET TOWNES
 HWY 119 NORTH
 MEBANE, NORTH CAROLINA 27302

SCALE:
 1"=60'-0"

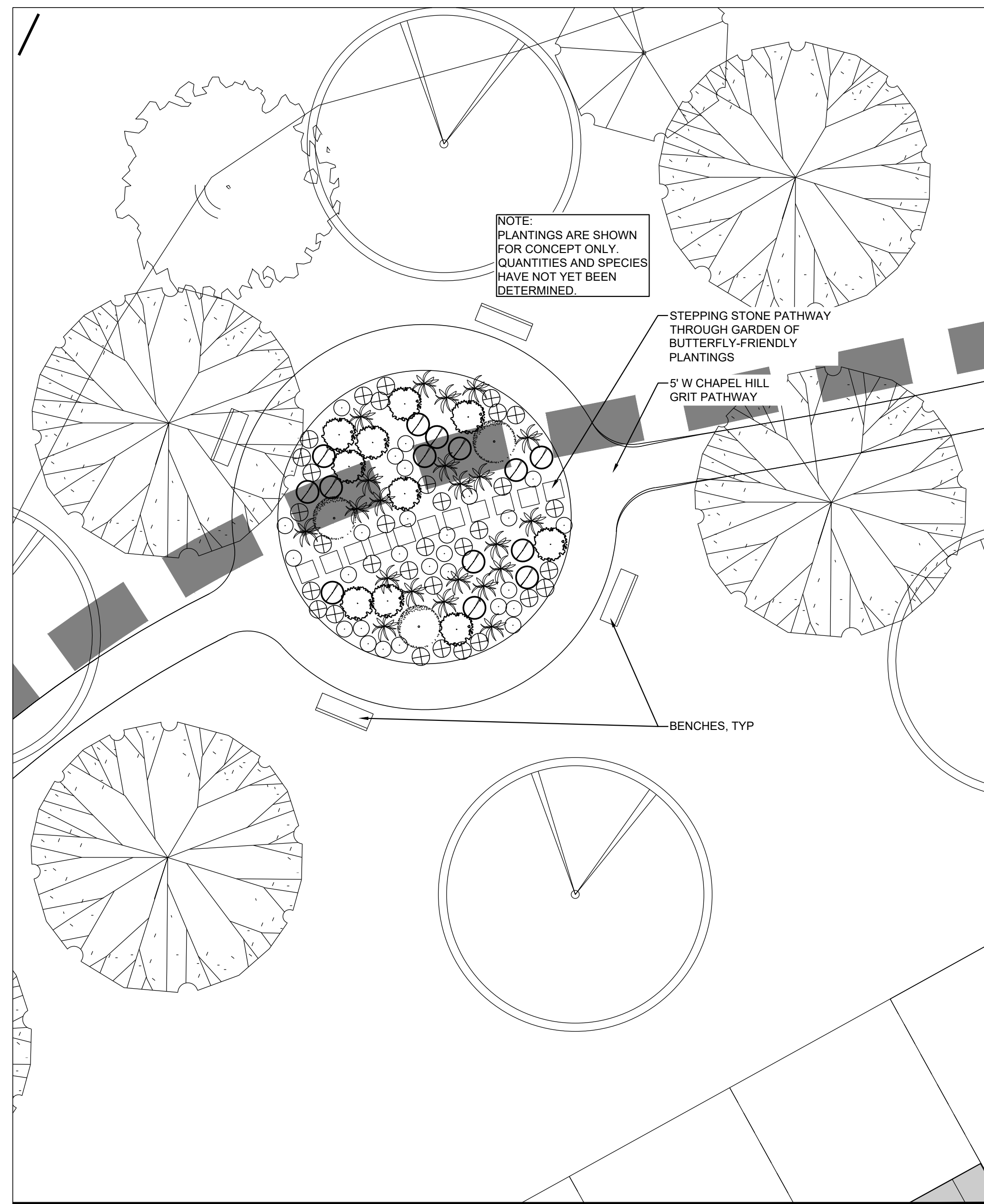
DRAWN BY:
 RLM

PROJECT #
 20088

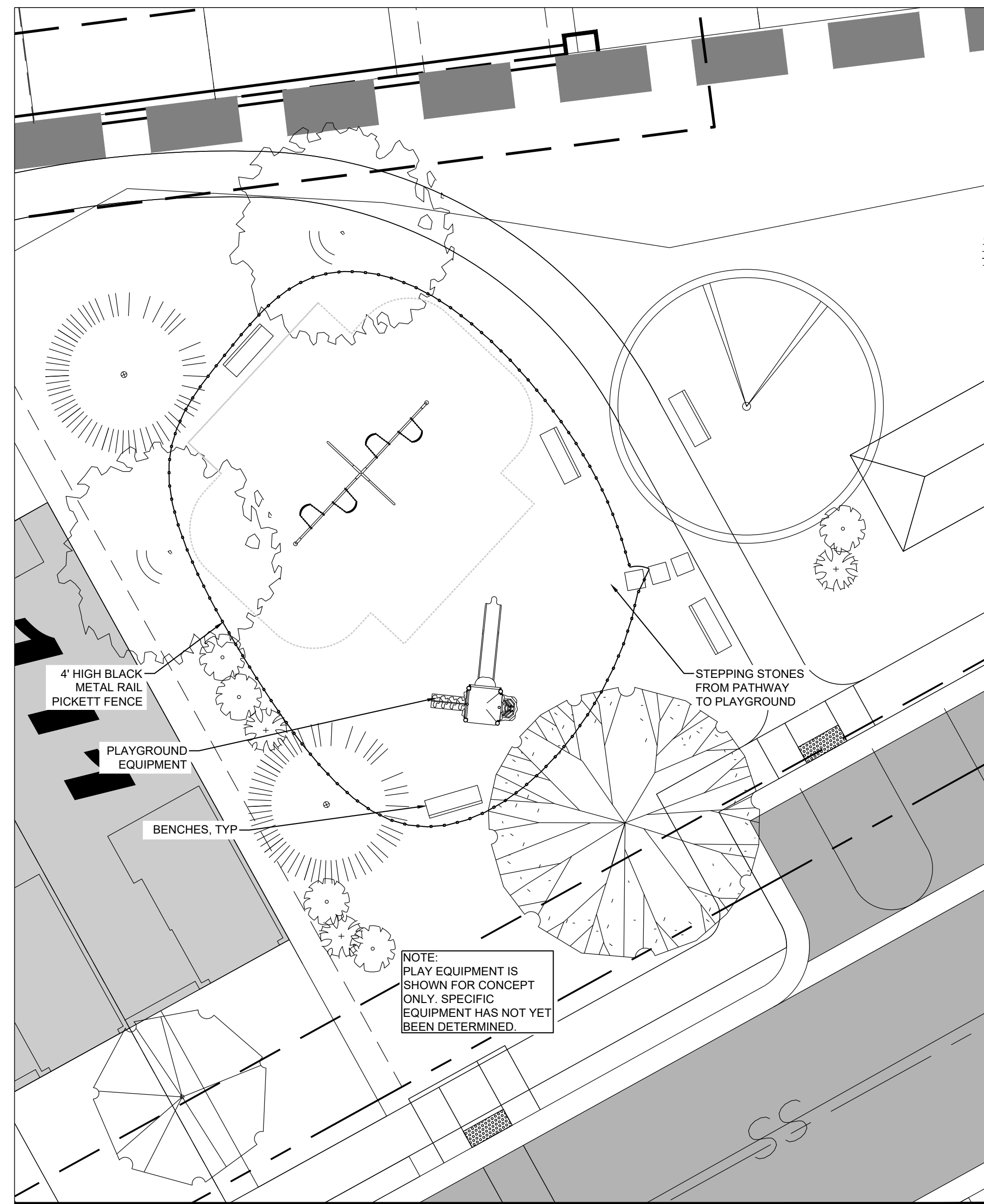
DATE:
 01-04-2022

SHEET
LP-1
 OF

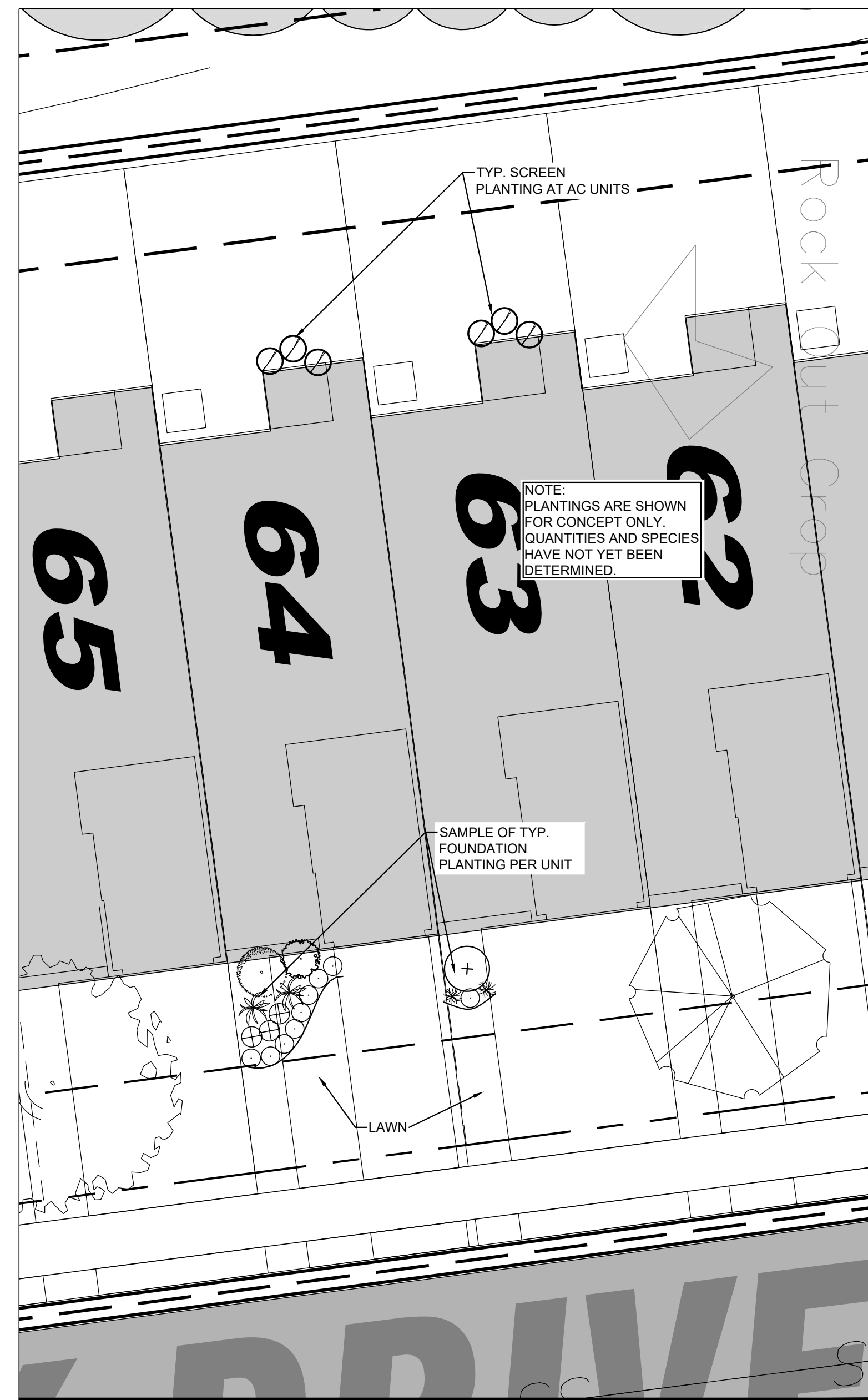
TMTLA ASSOCIATES
 5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713
 p: (919) 484-8880 e: info@tmtla.com



BUTTERFLY PARK SCALE: 1"=10'



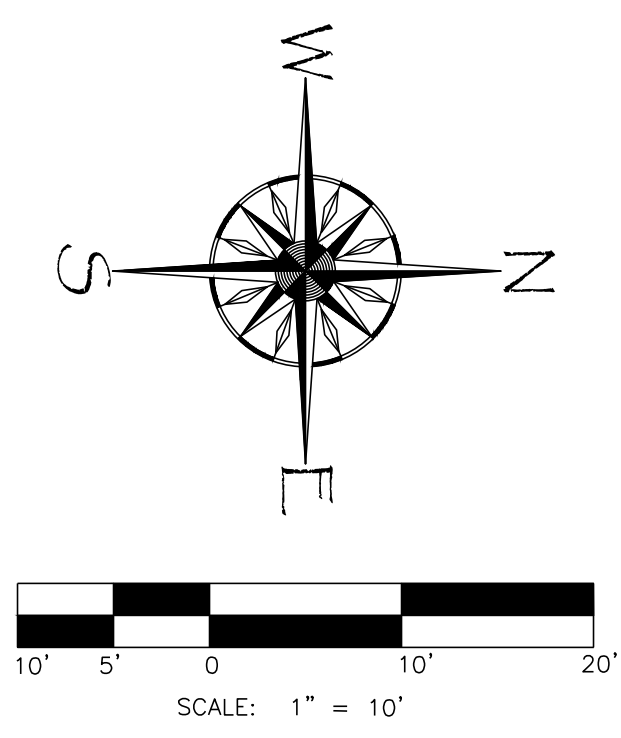
PLAYGROUND SCALE: 1"=10'



TYP. FOUNDATION PLANTING SCALE: 1"=10'

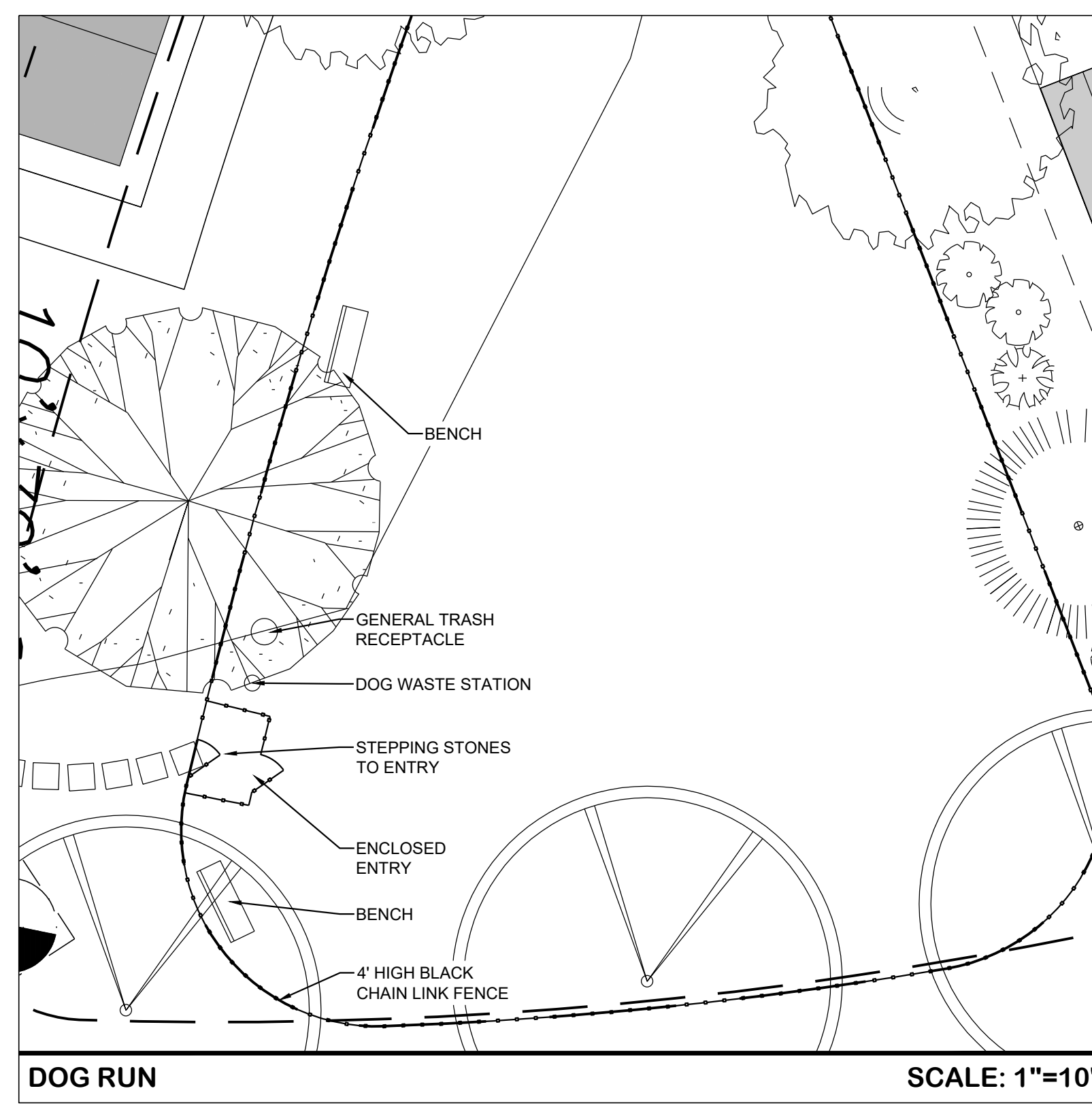
LANDSCAPE NOTES

- All landscaping shall be installed and maintained in accordance with the City of Mebane development code and the latest edition of nursery standards by the American Nursery and Landscape Association (ANLA).
- Call utility locator service prior to any disturbance on this site. Contractor shall be responsible for confirmation of marked utilities within the area of work.
- Do not change the design without approval from the the Owner and/or code compliance authority.
- All turf areas or areas not otherwise specified shall be seeded with Rebel IV or approved equal tall turf fescue and established per sediment and erosion control requirements.
- All exposed soils or areas of disturbance shall be mulched, seeded, covered with sod or stabilized per sediment and erosion control requirements.
- Hard fescue/wildflower mix shall be seeded in disturbed area not intended to be maintained as mowed turf or mulched landscape beds.
- Products: Defiant Hard fescue or eqv, seed rate at 5 lbs / 1000 sf.
- Products: Native Southeast Wildflower Seed Mix by American Meadows Seed Company or eqv at a seeding rate of 1 lbs /1000 sf.
- Planting areas shall be fine graded consisting of 8" of native topsoil or imported eqv and fertilized/limed per soil report.
- Seeded or turf areas shall be fine graded, consisting of 4" of native topsoil or imported eqv and fertilized/limed per soil report.
- Landscape contractor shall verify plant quantities. If discrepancy exists, use higher quantity.
- Sod or seeding areas shall be established per sediment and erosion control requirements for vegetative coverage.
- All newly installed trees and shrubs shall be guaranteed for one year and replaced at the owners request if plant is stressed, damaged, diseased or dead.



PLANT SYMBOL KEY

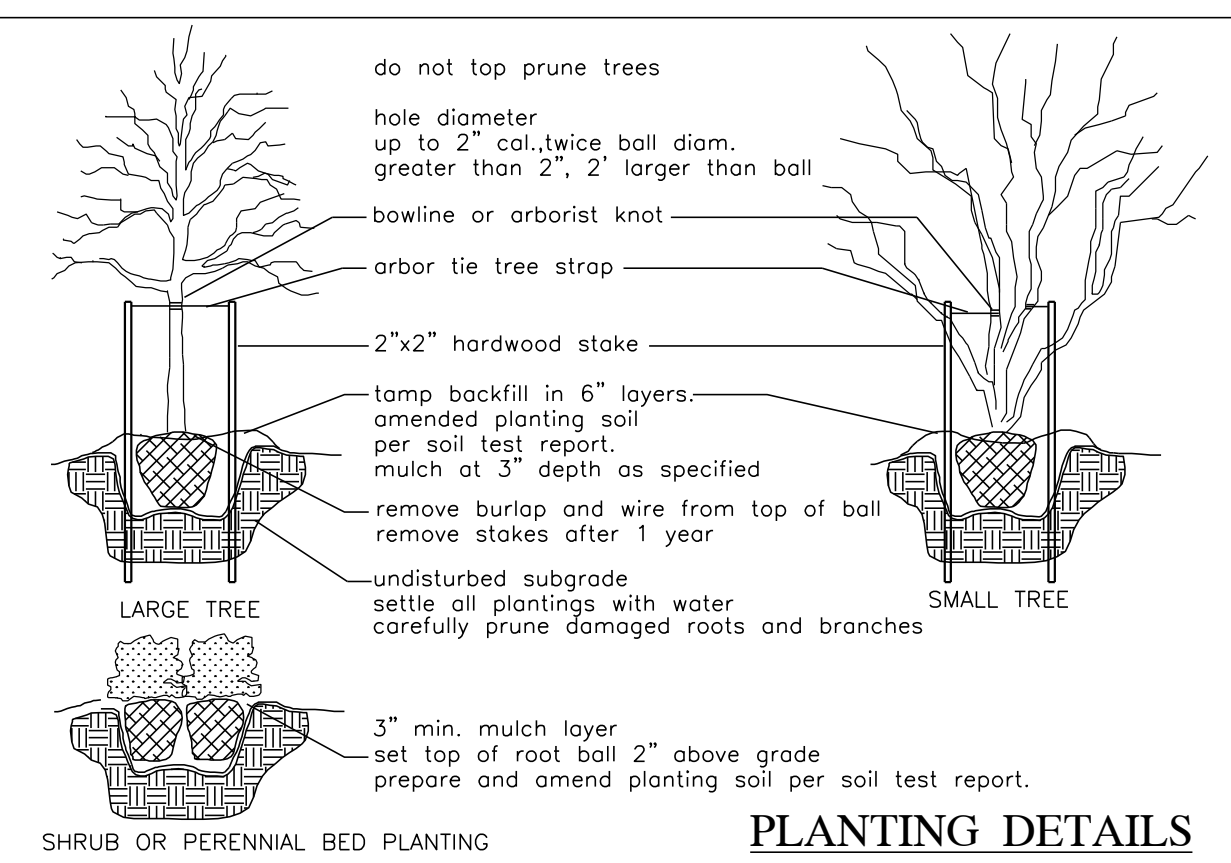
CANOPY	
QL	
PS	
UP	
MG	
UNDERSTORY	
LI	
TP	
INS	
IO	
EVERGREEN SHRUBS	
ICC	
VP	
IA	



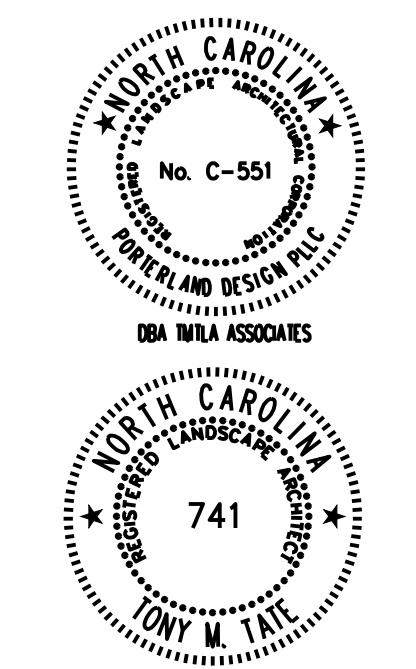
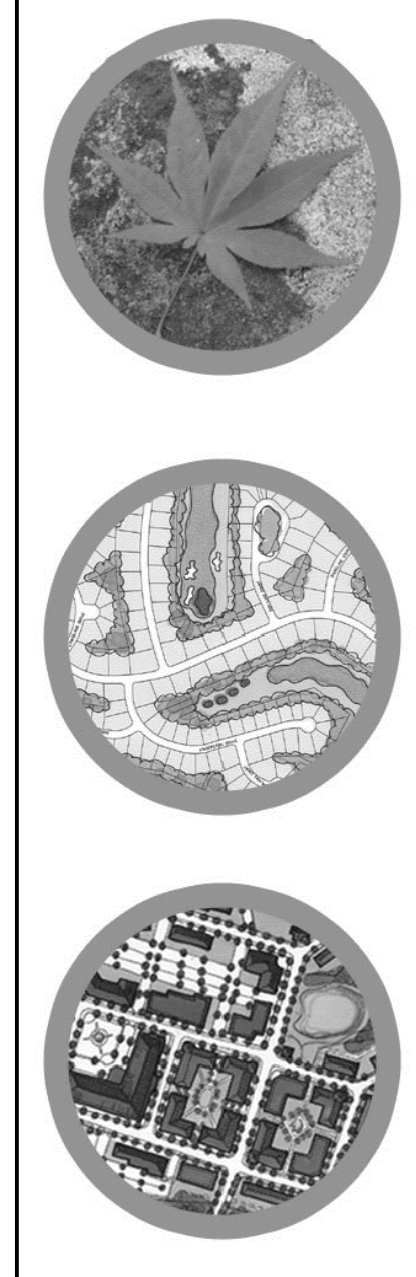
DOG RUN SCALE: 1"=10'

PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.	AVE HT FT	AVE SPD FT	
TREES	QL	Quercus lyrata	2.5" cal	B&B	48	50	40	
	UP	Ulmus parvifolia 'Lacebark'	2.5" cal	B&B	41	45	40	
	MG	Magnolia grandiflora	6' ht	B&B	39	60	45	
	CC	Cercis canadensis	Redbud	6' HT (1.5"eqv)	B&B	50	25	15
	TP	Thuja plicata 'Green Giant'	Green Giant Arborvitae	6' HT (1.5"eqv)	B&B	15	60	30
	PS	Pinus strobus	Eastern White Pine	6' HT (2"eqv)	B&B	15	50	15
	INS	Ilex x 'Nelly R. Stevens'	Nelly R Stevens Holly	6' HT (2"eqv)	B&B	24	20	12
	LI	Lagerstroemia indica	Crepe Myrtle	6' HT (1.5"eqv)	B&B	32	15	15
	IO	Ilex Opaca	American Holly	4' HT (1.5"eqv)	B&B	6	25	15
	SHRUBS	IA	Ilex aquafolium 'Monvilia'	36" ht	Cont.	21	5	5
ICC		Ilex cornuta 'Carissa'	24" ht	Cont.	52	3	4	
VP		Viburnum 'Pragens'	36" ht	Cont.	81	8	8	



- GENERAL PLANTING NOTES**
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR.
 - ALL TREES, SHRUBS, AND BEDDING PLANTS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
 - SET TOP OF TREE ROOT BALL 4" ABOVE GRADE, SHRUBS 2" ABOVE GRADE.
 - PLANT MATERIAL SHALL CARRY A ONE YEAR WARRANTY AND REPLACEMENT GUARANTEE.
 - AMEND PLANTING SOIL WITH FERTILIZE AND/OR LIME PER SOIL TEST REPORT AT THE RECOMMENDED MANUFACTURERS APPLICATION RATE.
 - GUYING AND STAKING, IF NECESSARY, SHALL BE REMOVED AFTER ONE GROWING SEASON.
 - ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
 - ALL TREES HAVE BEEN LOCATED WITH RESPECT TO KNOWN OR EXISTING FACILITIES OR STRUCTURES, COORDINATE FIELD ADJUSTMENT WITH PROJECT OWNER OR AGENT.
 - ALL PLANT BEDS AND PLANT MATERIAL SHALL BE MAINTAINED IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH LOCALLY ADAPTED VEGETATION WHICH CONFORMS TO THE INITIAL PLANTING STANDARDS OF THE LANDSCAPE ORDINANCE.
 - REPORT ANY DISCREPANCIES TO THE PROJECT OWNER OR AGENT.
 - SUBSTITUTIONS OR ALTERATIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN NOTIFICATION BY THE OWNER OR AGENT.
 - APPLY 3" OF DOUBLE SHREDED HARDWOOD MULCH TO ALL PLANTING AREAS.
 - ADD COMPOST TO PLANTING SOIL TO ACHIEVE 5% ORGANIC CONTENT.
 - ALL MULCH BEDS ARE TO HAVE A SPADE-CUT EDGED WHEN ADJACENT TO TURF AREAS.



OWNER:
KIRKPATRICK & ASSOCIATES, LLC
4004 BARRETT DR, STE 204
RALEIGH, NC 27609
(919) 235-8304

DEVELOPER:
DRB GROUP
3000 RDU CENTER DR, STE 202
MORRISVILLE, NC 27560
919.747.4970

REVISIONS:

APR 26, '22 - TRC Comments

MAY 4, '22 - Adjust north entry

MAY 13, '22 - Adjust for GW & RAB

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LANDSCAPE PLAN
N. FIRST STREET TOWNES
HWY 119 NORTH
MEBANE, NORTH CAROLINA 27302

SCALE:
1"=60'-0"

DRAWN BY:
RLM

PROJECT #
20088

DATE:
01-04-2022

SHEET
LP-2
OF

TMTLA ASSOCIATES
5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713
p: (919) 484-8880 e: info@tmtla.com

PLANNING PROJECT REPORT

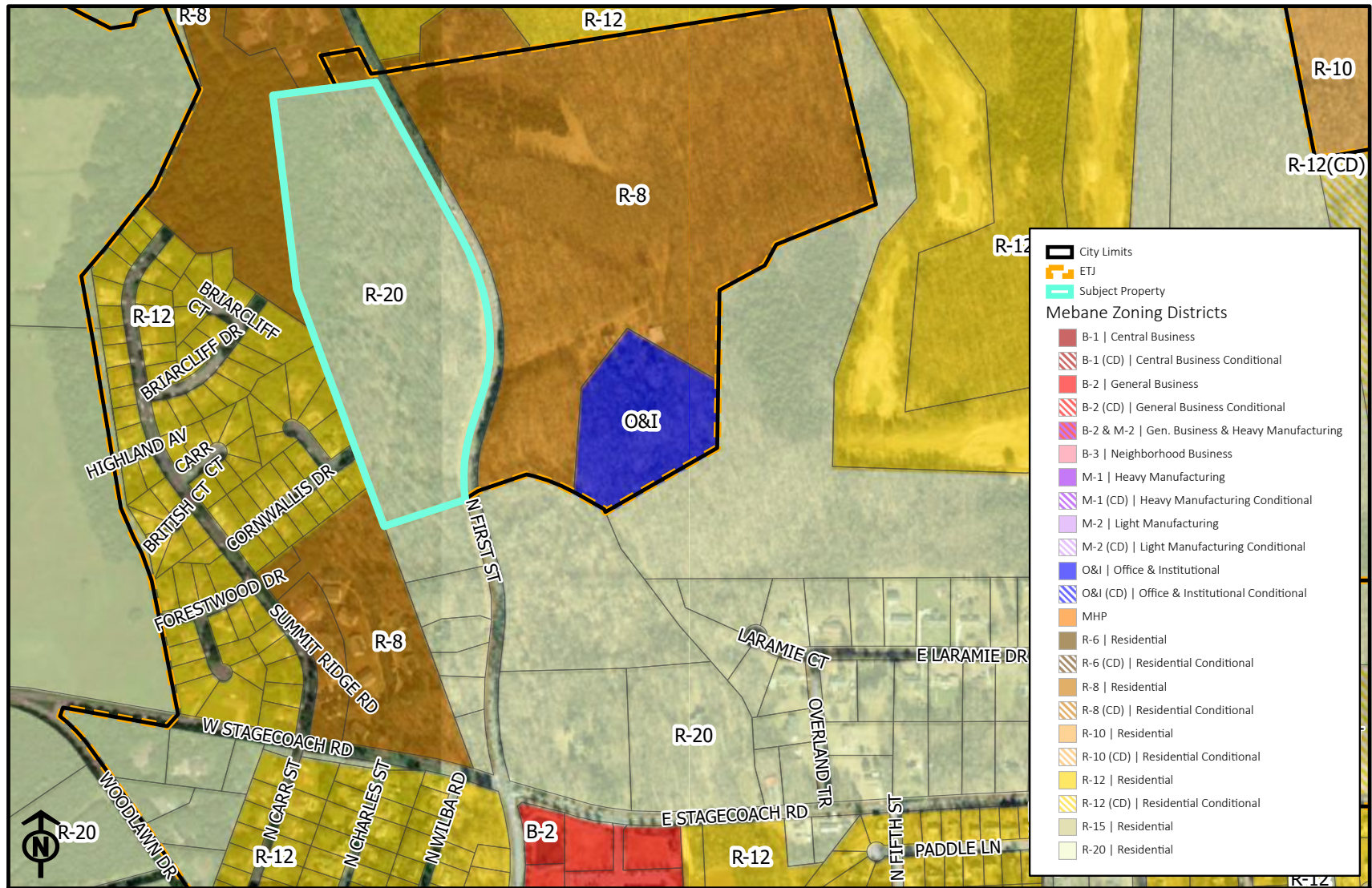
DATE	06/06/2022
PROJECT NUMBER	RZ 22-06
PROJECT NAME	N. First Street Townhomes
APPLICANT	Kirkpatrick & Associates, LLC 4004 Barrett Drive Suite 204 Raleigh, NC 27609

CONTENTS

PROJECT NAME & APPLICANT	PAGE 1
ZONING REPORT	PAGE 2
LAND USE REPORT	PAGE 4
UTILITIES REPORT	PAGE 7
STAFF ZONING REQUEST RECOMMENDATION	PAGE 10

ZONING REPORT

EXISTING ZONE	R-20 (Residential)
REQUESTED ACTION	R-8(CD) (Residential, Conditional Zoning District)
CONDITIONAL ZONE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
CURRENT LAND USE	Vacant, Forested
PARCEL SIZE	+/-30.55 acres
PROPERTY OWNERS	Kirkpatrick & Associates, LLC 4004 Barrett Drive, Suite 204 Raleigh, NC 27609 GPIN 9816907457
LEGAL DESCRIPTION	Request to rezone the +/- 30.55-acre property located on North First Street (PIN 9816907457), from R-20 to R-8 (CD) to allow for a residential townhome development of 150 homes by Kirkpatrick & Associates, LLC.
AREA ZONING & DISTRICTS	Properties zoned R-8, Residential District surround the site. Additionally, properties zoned R-20, Residential District border the site to the south and a residential subdivision with R-12 zoning is to the west.
SITE HISTORY	The property is largely forested. A stream and floodplain are present on the southern half of the site.
STAFF ANALYSIS	
CITY LIMITS?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
PROPOSED USE BY-RIGHT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
SPECIAL USE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
EXISTING UTILITIES?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
POTENTIAL IMPACT OF PROPOSED ZONE	The proposed R-8 (CD) zoning is consistent with surrounding properties zoned R-8, two of which currently support apartment complexes. The proposed townhome development is denser than residential properties to the west and south, though these areas are well-buffered by the portion of the property left undeveloped and proposed for dedication to the HOA as permanent open space.



**CITY OF MEBANE
 ZONING MAP**

N. First Street Townhomes

1 inch = 600 feet

DATE: 07/05/2022

DRAWN BY: AV

LAND USE REPORT

EXISTING LAND USE	Vacant, Forested
PROPOSED LAND USE & REQUESTED ACTION	The applicant is requesting a conditional rezoning to develop an unaddressed property (PIN 9816907457) totaling +/- 30.55 acres for a residential development of 150 townhomes
PROPOSED ZONING	R-8 (CD) (Residential, Conditional Zoning District)
PARCEL SIZE	+/- 30.55
AREA LAND USE	<p>Apartment complexes border the site to the north and south. A single-family residential subdivision is to the west. Vacant properties are immediately to the south and east. As described in the attached map “North Mebane - Proposed Development and Multi-Use Path Network” surrounding properties are under consideration for future residential and mixed-use development.</p> <p>The applicant proposes to contribute financially to a coordinated effort between four developers with projects under review in North Mebane to create a public, multi-use path network that will connect Cates Farm Park to Lake Michael Park. Additionally, the applicant is proposing a 5' concrete sidewalk along the NC 119 frontage and potential right-of-way dedication for installation of a roundabout by others at the northern driveway.</p>

ONSITE AMENITIES & DEDICATIONS

Per the site plan, the applicant proposes the following private amenities to be maintained by the HOA: 8'-wide mulch or grit walking trail behind Buildings 138-150; a fenced dog run; a fenced playground; a butterfly garden; an internal path of stone crush & run, chapel hill granite, or equivalent running through the center of the development, and landscaping as proposed in the submitted plan set.

WAIVER REQUESTED

YES NO

The project was reviewed prior to adoption of UDO amendments on June 6, 2022. At the time of review, the following dimensional waivers were noted by staff:

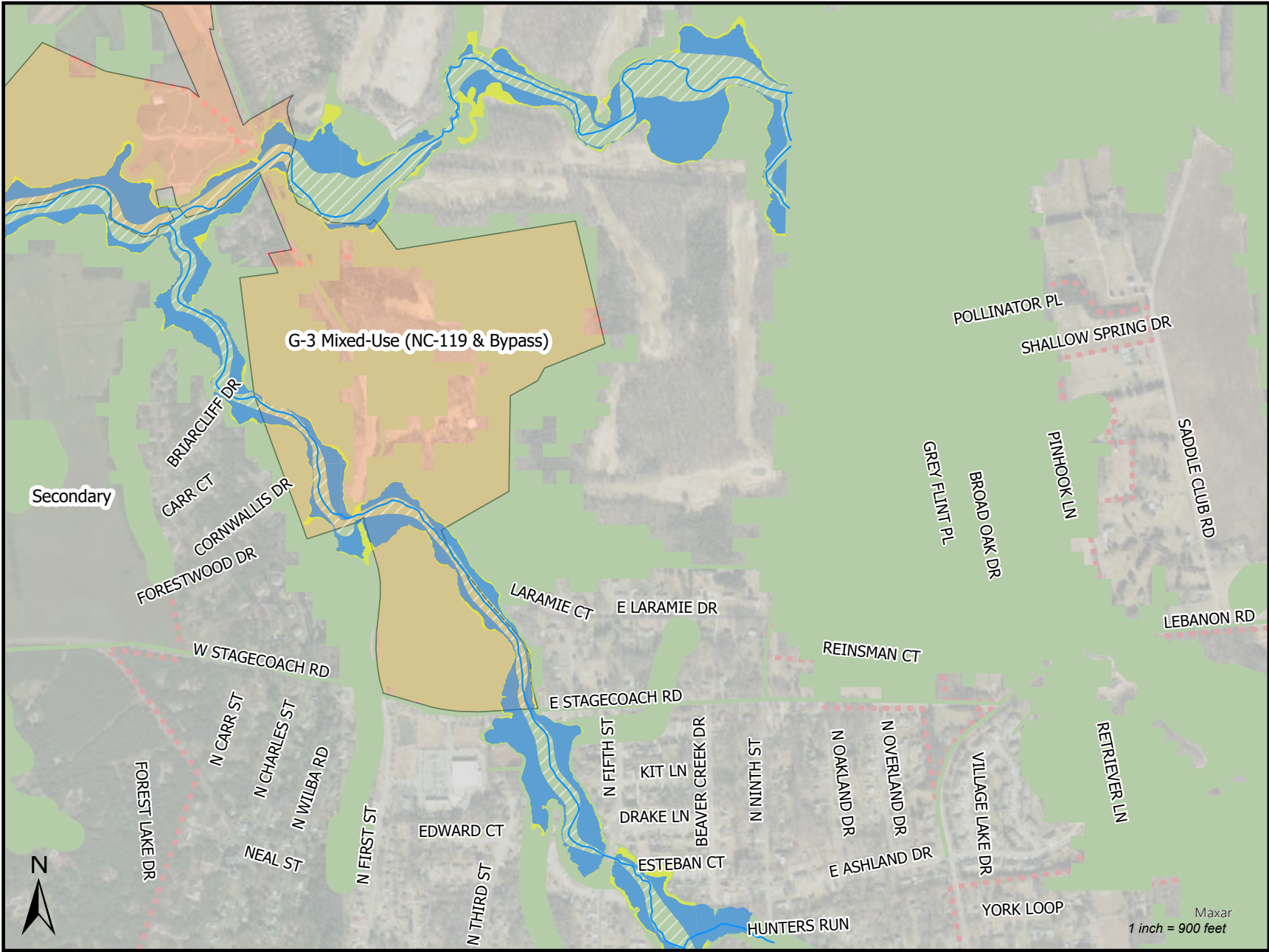
- Minimum lot area of 1,900 s.f. as opposed to 8,000 s.f.
- Minimum lot width of 20' as opposed to 85'
- Maximum lot coverage of 79% as opposed to 40%
- Front setback of 20' as opposed to 30'
- Rear yard setback of 10' as opposed to 20'
- Side yard setback for end unit of 3' as opposed to 15'

DESCRIPTION OF REQUESTED WAIVER(S)

The UDO amendments adopted on June 6, 2022 included changes to dimensional requirements for townhomes. These new standards eliminate minimum lot area and maximum lot coverage for townhomes, reduce the minimum lot width to 20', and reduce the minimum front setback to 25'.

CONSISTENCY WITH *MEBANE BY DESIGN* STRATEGY

LAND USE GROWTH STRATEGY DESIGNATION(S)	G-3 Mixed-Use (NC-119 & Bypass) Conservation Area
OTHER LAND USE CONSIDERATIONS	Graham-Mebane Reservoir Water Supply (WS-II) Watershed
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES SUPPORTED	<p>GROWTH MANAGEMENT 1.1 Encourage a variety of uses in growth strategy areas and in the downtown, promote/encourage a village concept that supports compact and walkable environments.</p> <p>PUBLIC FACILITIES AND INFRASTRUCTURE 2.1 Improve safety and confidence of pedestrian access across major streets, including I-40/85, US-70, NC-119, Mebane-Oaks Road and other highly-traveled roadways.</p> <p>OPEN SPACE AND NATURAL RESOURCE PROTECTION 4.2 Provide greenways, parks and open space connectivity between different land uses and across major transportation corridors, thereby advancing safety and health.</p> <p>OPEN SPACE AND NATURAL RESOURCE PROTECTION 4.3 Support park, greenway, and open space expansion in developed and developing areas, prioritizing connectivity between each location.</p>
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES <u>NOT</u> SUPPORTED	



UTILITIES REPORT

AVAILABLE UTILITIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED UTILITY NEEDS	Per the memorandum from Franz Holt of AWCK, the project is estimated to require 22,500 gallons per day of water and sewer service to support the development's 150 townhome residences. The development features 8" water and sewer lines that will be served by an existing 8" water line and an existing 8" gravity sewer line along NC 119.
UTILITIES PROVIDED BY APPLICANT	The applicant has pledged to provide all on-site utilities, as described in AWCK's Technical Memo.
MUNICIPAL CAPACITY TO ABSORB PROJECT	The City has adequate water & sewer supply to meet the domestic and fire flow demands of the project.
CONSISTENCY WITH MEBANE LONG RANGE UTILITY PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
ADEQUATE STORMWATER CONTROL?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
INNOVATIVE STORMWATER MANAGEMENT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
TRANSPORTATION NETWORK STATUS	
CURRENT CONDITIONS	The proposed development includes two driveway connections to N NC Hwy 119 (North First Street). North Carolina 119 is a primary north-south route in Mebane, operating as a two-lane, undivided highway between Stagecoach Road and the recent improvements to construct the NC 119 Bypass. In 2019, the average daily traffic volume in this area was 7,400 trips. Between the northern driveway of the proposed development and the entrance to Mill Creek, NC 119 registers a Safety Score of 77.8, reflecting a history of traffic incidents. This stretch of NC 119 is currently operating at Level of Service D.
TRAFFIC IMPACT ANALYSIS REQUIRED?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OR RECOMMENDED IMPROVEMENTS	<p>The TIA identified the need for exclusive northbound, left turn lanes at both driveway entrances. As noted on the submitted site plan, the applicant is proposing dedication of right-of-way and potential financial contribution at the northern entrance of the development if a roundabout is installed by others. The conditions of the financial contribution and installation of the left turn lane are noted on the site plan.</p> <p>An adjacent, larger project currently under review by the City's Technical Review Committee has determined the need for intersection improvements at North First Street and Stagecoach Road and North Fifth Street and Stagecoach Road. The impacts of the N. First Street Townhomes project were accounted for in this TIA and the proportional contribution was determined to be \$114,000 fee in lieu of construction.</p>

CONSISTENCY WITH THE MEBANE

**BICYCLE AND PEDESTRIAN
TRANSPORTATION PLAN?**

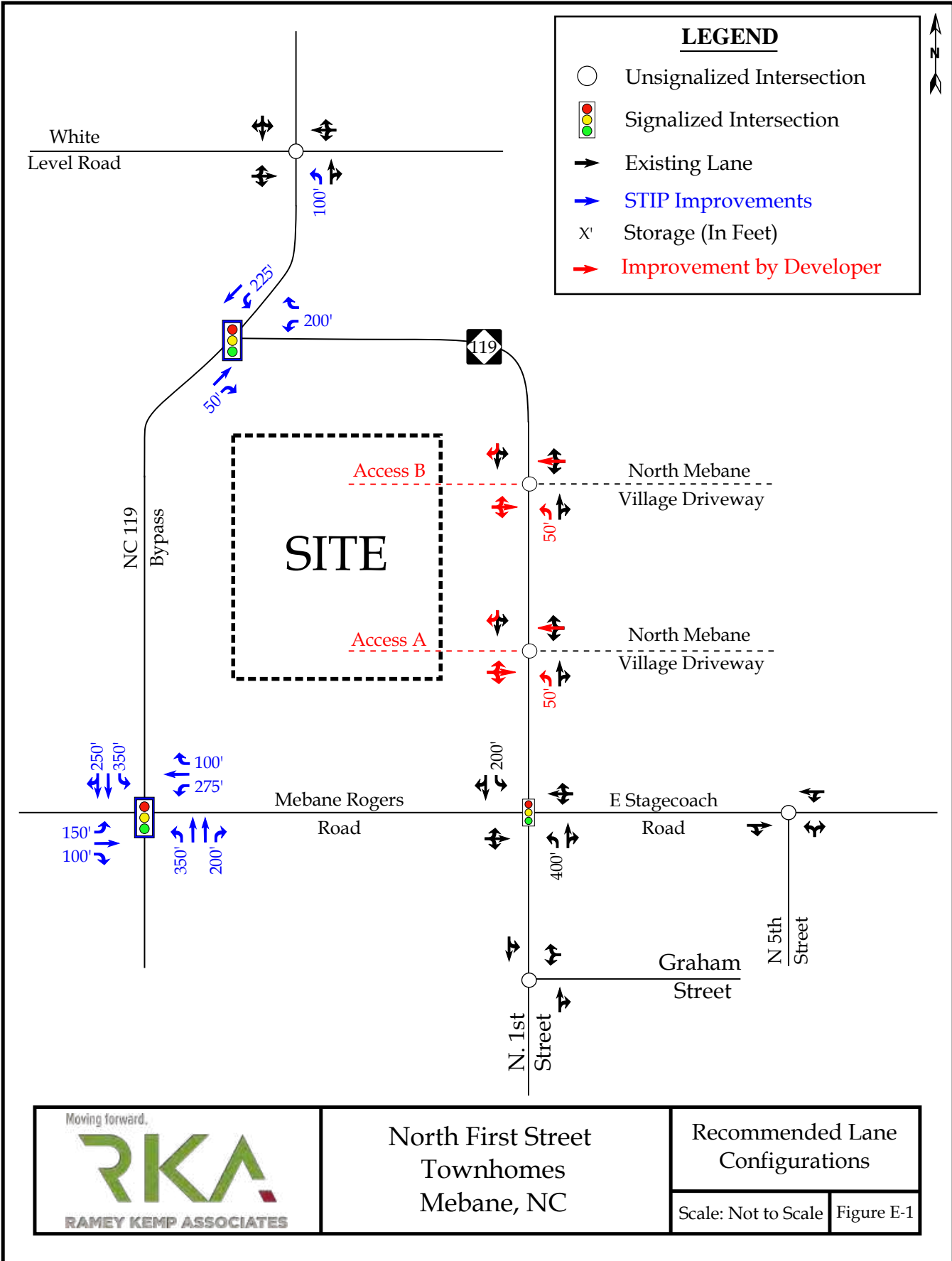
YES NO

**MULTIMODAL IMPROVEMENTS
PROVIDED BY APPLICANT?**

YES NO

**DESCRIPTION OF MULTIMODAL
IMPROVEMENTS**

The applicant proposes to contribute financially to a coordinated effort between four developers with projects under review in North Mebane to create a public, multi-use path network that will connect Cates Farm Park to Lake Michael Park. Additionally, the applicant is proposing a 5' concrete sidewalk along the NC 119 frontage. Sidewalk and pedestrian crossings are proposed for the internal street network. Private amenities include two walking trails.



North First Street
Townhomes
Mebane, NC

Recommended Lane
Configurations

Scale: Not to Scale | Figure E-1

STAFF RECOMMENDATION

STAFF ZONING
RECOMMENDATION

APPROVE DISAPPROVE

RATIONALE

The proposed development “N. First Street Townhomes” is consistent with the guidance provided within *Mebane By Design*, the Mebane Comprehensive Land Development Plan. Specifically, it is located in a mixed-use growth strategy area identified for “residential growth and commercial development” and serves Goals 1.1, 2.1, 4.2, and 4.3. The development will promote walkability through participation in a coordinated effort to realize a nearby multi-use path network and protect natural resources by leaving approximately 37% of the site undisturbed, preserving forested open space. The proposed project will be developed as a townhome community in harmony with surrounding zoning and land uses.



June 7, 2022

Mr. Mike Stocks, PE
Stocks Engineering
801 East Washington Street
Nashville, NC 27856

Subject: N. First Street Townhomes – Water and Sewer System Layout

Dear Mr. Stocks:

Regarding the Preliminary Site Plans for N. First Street Townhomes and in accordance with the UDO, this letter indicates that I have reviewed the preliminary water and sewer system layout and find it acceptable and meeting City of Mebane requirements as follows:

- A. Water system – The project proposes two 8-inch connections to the City’s existing 8-inch water line along N. First Street. Internal to the project site are 8-inch water line extensions with appropriate valves and fire hydrant spacing. When designed and installed to City and State standards, these public lines will become part of the City’s water system. The estimated daily water use for this project is 22,500 gallons per day (150 homes at 150 gallons per day each). The City has adequate water capacity available to meet the domestic demand and fire flow requirements of this project.

- B. Sanitary Sewer system – The project proposes an 8-inch sanitary sewer connection with the City’s existing 8-inch gravity sewer outfall, which parallels N. First Street. Internal to the project site are 8-inch gravity sewer lines with properly spaced manholes. When designed and installed to City and State standards, these public lines will become part of the City’s sanitary sewer collection system. The permitted daily sewer use for this project is 36,000 gallons per day (150 homes at 240 gallons per day each). Actual tributary flow will be less than 22,500 gallons per day. The City has adequate sewer capacity available at the downstream North Regional Sewer Pump Station and at the WRRF to meet the permitted and expected tributary demand. Additionally, to limit the accumulation of paper flow the city will permit sewer flow through NCDEQ by the phases designated on the plans.

If there are any questions, please let me know.

Sincerely,

A handwritten signature in black ink that reads "Franz K. Holt".

Franz K. Holt, P.E. City Engineer
CC: Cy Stober, Development Director
Kyle Smith, Utilities Director

CITY OF MEBANE

106 East Washington Street | Mebane, NC 27302

 919 563 5901

 fholt@cityofmebane.com

WWW.CITYOFMEBANE.COM



Technical Memorandum

Date: June 7, 2022

To: Cy Stober, Development Director

From: Franz K. Holt, P.E.

Subject: N. First Street Townhomes – City Engineer review

City Engineering has reviewed the Preliminary Site Plans for N. First Street Townhomes submitted June 1st, 2022, by Mike Stocks, P.E. with Stocks Engineering, P. A. and provides the following technical comments.

A. General

N. First Street Townhomes is a two-phase residential townhome development (150 homes) proposed on approximately 30.5 acres along the west side of N. First Street and north of the intersection with E. Stagecoach Road.

The property is in the Graham-Mebane Lake public water supply watershed non-critical area. Plans show using the high-density option allowed in the balance of the watershed (non-critical area) with new engineered stormwater control facilities receiving storm water runoff from proposed development (max. built upon area of 30%).

The City of Mebane will provide water and sewer service with annexation.

The developer will be contributing on a pro-rata cost sharing basis to a proposed public multi-use path network as shown on the plans with the purpose of connecting proposed development along N. First Street to Cates Farm and Lake Michael Parks leaving no gaps in the network for the city to complete.

The project includes proposed City of Mebane public streets. The developer will construct left turn lanes at each connection to N. First Street. The project plans accommodate a potential future round-a-bout at the northern entrance.

The developer will contribute funds to the City of Mebane on a pro-rata basis for trips generated towards future off-site roadway improvements along with other developers along N. First Street. Potential future roadway improvements in the area will be determined and installed by NCDOT with the contributed funds collected by the City.



B. Availability of City Water and Sewer

In compliance with the UDO, this memo indicates that I have reviewed the preliminary water and sewer system layout and find it acceptable and meeting City of Mebane requirements as follows:

1. Water system – The project proposes two 8-inch connections to the City’s existing 8-inch water line along N. First Street. Internal to the project site are 8-inch water line extensions with appropriate valves and fire hydrant spacing. When designed and installed to City and State standards, these public lines will become part of the City’s water system. The estimated daily water use for this project is 22,500 gallons per day (150 homes at 150 gallons per day each). The City has adequate water capacity available to meet the domestic demand and fire flow requirements of this project.
2. Sanitary Sewer system – The project proposes an 8-inch sanitary sewer connection with the City’s existing 8-inch gravity sewer outfall, which parallels N. First Street. Internal to the project site are 8-inch gravity sewer lines with properly spaced manholes. When designed and installed to City and State standards, these public lines will become part of the City’s sanitary sewer collection system. The permitted daily sewer use for this project is 36,000 gallons per day (150 homes at 240 gallons per day each). Actual tributary flow will be less than 22,500 gallons per day. The City has adequate sewer capacity available at the downstream North Regional Sewer Pump Station and at the WRRF to meet the permitted and expected tributary demand. Additionally, to limit the accumulation of paper flow the city will permit sewer flow through NCDEQ by the phases designated on the plans.

C. Watershed Overlay District and Phase II Stormwater Requirements

1. Watershed Overlay District requirements provided in the UDO.
These requirements in the UDO are for the Back-Creek Watershed, which includes the Graham-Mebane Lake. This project lies in the GWA non-critical area allowing up to 30% built upon area with engineered stormwater controls. The proposed stormwater management device shown on the plans receives stormwater runoff from the proposed new development and will meet the requirements of the Water Supply Watershed Rules. Upon site stabilization, the developer will complete the engineered storm water control as a fenced permanent stormwater management device (owned and maintained by the property owners’ association) and post required annual inspection fee and maintenance bond.
2. Phase II Stormwater Post Construction Ordinance
The UDO provides standards for Storm Water Management and requires compliance with the Mebane Post Construction Runoff Ordinance (which is a stand-alone ordinance titled the Phase II Stormwater Post Construction Ordinance (SPCO)). The standards in the UDO are



general standards as the Ordinance itself provides detailed standards. The SPCO does apply to this project as it will disturb more than one acre of land requiring a stormwater permit application. The project is high density with a BUA of more than 24% requiring storm water control measures.

D. Storm Drainage System

The UDO provides requirements for storm drainage systems. The preliminary site plans include a preliminary piping layout that indicates certain pipe locations, inlets, and discharge points. Stormwater flows from these pipes to a stormwater management device. Design of the storm drainage system will be in accordance with the City's Storm Drainage Design Manual.

E. Street Access and TIA

The proposed streets shown on the plans are local and constructed to City of Mebane standards (31' B-B width and rolled curb and gutter) with sidewalks shown on both sides of the streets. These local streets will have two connections to N. First Street and one stub to adjoining property. The stub street ends in a temporary cul-de-sac. The plans allow for a potential future round-a-bout at the northern connection to N. First Street.

The TIA indicates the need for left turn lane improvements to N. First Street at each street connection. Final off-site improvements have not been determined but may include either a new round-a-bout at E. Stagecoach and N. First Street or additional turn lanes and signal modification and a new signal with turn lane(s) at E. Stagecoach Road and N. Fifth Street. NCDOT will review potential future roadway improvements as these projects develop over time and as traffic patterns and volumes are known with the newly opened NC Hwy. 119 bypass. NCDOT will make final determinations of needed off-site roadway improvements. Developers will contribute financially to the city on a pro-rata basis as to the traffic generated by their projects. The amounts are determined based on preliminary cost estimating by NCDOT.

All improvements to and along N. First Street will meet NCDOT design, construction, permitting, and encroachment requirements.

F. Construction Plan Submittal

The preliminary plans show the proposed water lines, sewer lines, and storm drainage and stormwater management devices to indicate that the project is feasible for utility service and providing stormwater management. Based on city engineering review, it is my opinion that said plans are in substantial compliance with the UDO. Construction plans will follow preliminary plan approval and require TRC review and approval prior to beginning construction.



North Mebane - Proposed Development & Multi-Use Path Network

1 inch = 300 feet

Paved, Multi-Use Path
 Bridge & Boardwalk
 Crosswalk
 Proposed Roundabout

This map shows a multi-use path network in response to proposed development in North Mebane. This map does not mean to indicate other trails and paths cannot be constructed with the proposed projects. Additional trails and paths are encouraged but will not be City owned and maintained.



North First Street Townhomes
Traffic Impact Analysis
Mebane, North Carolina

TRAFFIC IMPACT ANALYSIS

FOR

NORTH FIRST STREET TOWNHOMES

LOCATED

IN

MEBANE, NORTH CAROLINA

Prepared For:
DAN RYAN BUILDERS - NORTH CAROLINA, LLC
3000 RDU Center Drive, Suite 202
Morrisville, NC 27560

Prepared By:
Ramey Kemp & Associates, Inc.
5808 Faringdon Place, Suite 100
Raleigh, NC 27609
License #C-0910



2/4/2022

Caroline Cheeves

FEBRUARY 2022

RKA Project No. 21628

Prepared By: MR

Reviewed By: CC

TRAFFIC IMPACT ANALYSIS
NORTH FIRST STREET TOWNHOMES
MEBANE, NORTH CAROLINA

EXECUTIVE SUMMARY

1. Development Overview

A Traffic Impact Analysis (TIA) was conducted for the proposed North First Street Townhomes development in accordance with the Mebane (City) Unified Development Ordinance (UDO) and North Carolina Department of Transportation (NCDOT) capacity analysis guidelines. The proposed development is to be located north of E Stagecoach Road and west of N 1st Street in Mebane, North Carolina. The proposed development is expected to consist of approximately 149 townhomes and estimated to be built out in 2025. Site access is proposed via two (2) new full movement driveway connections along NC 119. It should be noted that these are the same site driveways analyzed in the North Mebane Village TIA.

The study analyzes traffic conditions during the weekday AM and PM peak hours for the following scenarios:

- 2021 Existing Traffic Conditions
- 2025 No-Build Traffic Conditions
- 2025 Build Traffic Conditions

2. Existing Traffic Conditions

The study area for the TIA was determined through coordination with the City and NCDOT and consists of the following intersections:

- NC 119 and E Stagecoach Road / Mebane Rogers Road
- NC 119 and White Level Road
- N 5th Street and E Stagecoach Road
- Mebane Rogers Road and Woodlawn Road
- N 1st Street and W Graham Street

It should be noted that the NCDOT State Transportation Improvement Program (STIP) project U-3109, which is expected to be completed by the end of 2021, was accounted for in this study. Thus, the following intersections were analyzed under all future conditions:

- N C119 Bypass and Mebane Rogers Road
- NC 119 Bypass and NC 119

Existing peak hour traffic volumes were determined based on traffic counts conducted at the study intersections listed below, in May of 2021 during weekday AM (7:00 AM - 9:00 AM) and PM (4:00 PM - 6:00 PM) peak periods, while schools were in session:

- NC 119 and E Stagecoach Road / Mebane Rogers Road
- NC 119 and White Level Road
- N 5th Street and E Stagecoach Road
- Mebane Rogers Road and Woodlawn Road

Traffic counts were conducted at the intersection of N 1st Street and W Graham Street in November of 2021 during weekday AM (7:00 AM - 9:00 AM) and PM (4:00 PM - 6:00 PM) peak periods, while schools were in session.

Due to the COVID-19 pandemic, the existing traffic counts were adjusted to reflect 'typical' patterns before the pandemic. Historical AADT traffic volumes were grown to 2021 using a 2% annual growth rate and compared to the traffic counts from May 2021. The newly collected traffic counts were observed to be approximately 20% lower than the grown volumes as a result of the COVID-19 pandemic. Utilizing the comparison of the grown volumes and the recent counts, an adjustment factor of 1.20 was applied to both the weekday AM and PM peak hour volumes to account for the impact. Weekday AM and PM traffic volumes were balanced between study intersections, where appropriate. It should be noted that this methodology was approved as part of the TIA scoping process.

3. Site Trip Generation

The proposed development is assumed to consist of approximately 149 townhomes. Average weekday daily, AM peak hour, and PM peak hour trips for the proposed development were

estimated using methodology contained within the ITE Trip Generation Manual, 10th Edition. Table E-1 provides a summary of the trip generation potential for the site.

Table E-1: Site Trip Generation

LAND USE (ITE Code)	INTENSITY	DAILY TRIPS (VPD)	WEEKDAY AM PEAK HOUR (VPH)		WEEKDAY PM PEAK HOUR (VPH)	
			Enter	Exit	Enter	Exit
Multifamily Townhomes (220)	149 DU	1,100	16	54	53	31

4. Future Traffic Conditions

Through coordination with the City and NCDOT, it was determined that future traffic volumes within the study area would be estimated utilizing a combination of a compounded annual growth rate of 2% as well as traffic forecasts from 2021 and 2017 that were completed for the NC 119 Bypass project. The following adjacent developments were identified to be considered under future conditions:

- Mebane Stagecoach
- North Mebane Village

5. Capacity Analysis Summary

The analysis considered weekday AM and PM peak hour traffic for 2021 existing, 2025 no-build, and 2025 build conditions. Refer to Section 7 of the TIA for the capacity analysis summary performed at each study intersection.

6. Recommendations

Based on the findings of this study, specific geometric and traffic control improvements have been identified at study intersections. The improvements are summarized below and are illustrated in Figure E-1.

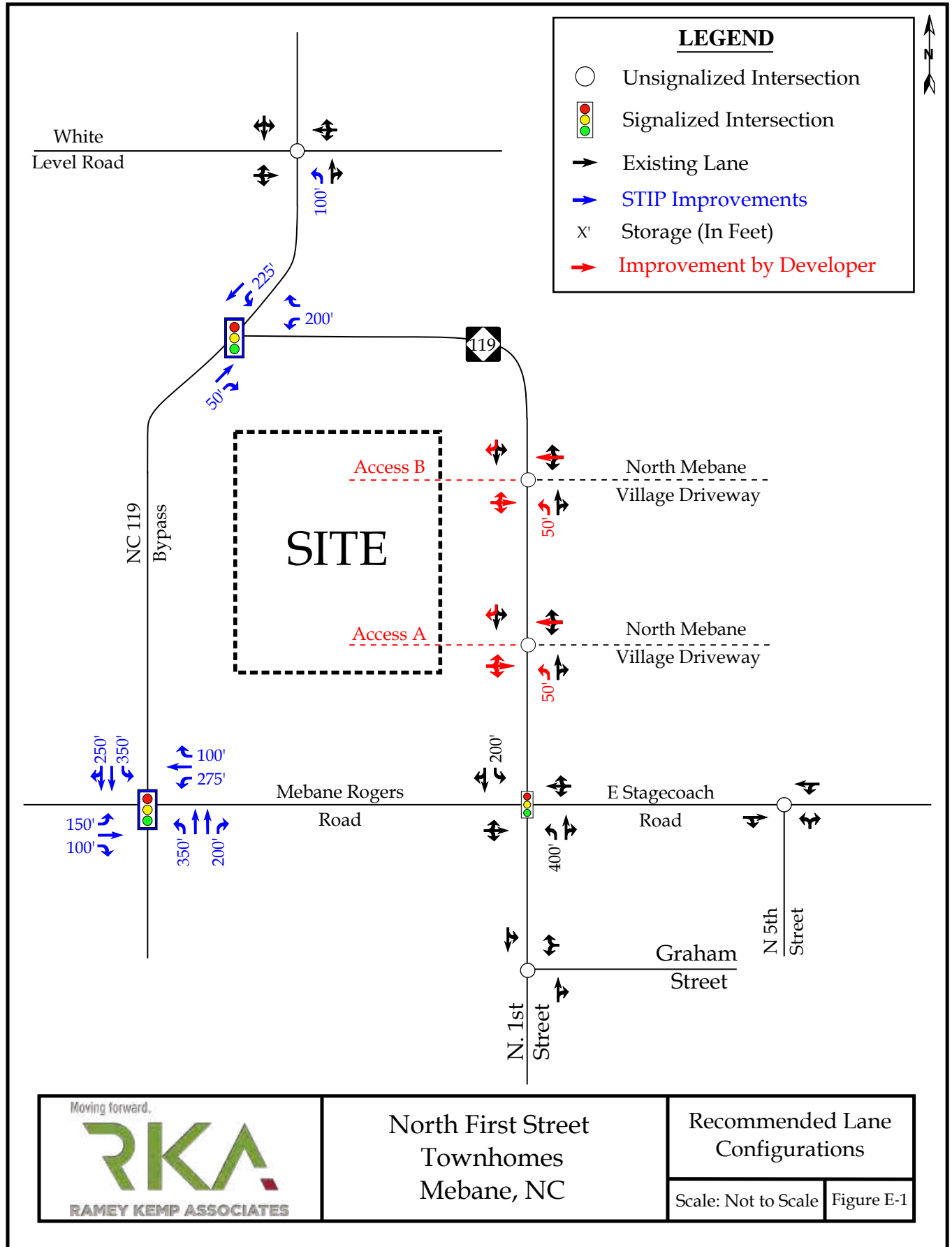
Recommended Improvements by Developer

NC 119 and North Mebane Village Driveway / Access A

- Construct eastbound approach with one ingress lane and one egress lane.
- Provide an exclusive northbound left-turn lane with at least 50 feet of storage and appropriate decel and taper.

NC 119 and North Mebane Village Driveway / Access B

- Construct eastbound approach with one ingress lane and one egress lane.
- Provide an exclusive northbound left-turn lane with at least 50 feet of storage and appropriate decel and taper.



North First Street
Townhomes
Mebane, NC

Recommended Lane
Configurations

Scale: Not to Scale | Figure E-1

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TRAFFIC IMPACT ANALYSIS
NORTH FIRST STREET TOWNHOMES
MEBANE, NORTH CAROLINA

1. INTRODUCTION

The contents of this report present the findings of the Traffic Impact Analysis (TIA) conducted for the proposed North First Street Townhomes development to be located north of E Stagecoach Road and west of N 1st Street in Mebane, North Carolina. The purpose of this study is to determine the potential impacts to the surrounding transportation system created by traffic generated by the proposed development, as well as recommend improvements to mitigate the impacts.

The proposed development is anticipated to be built out in 2025 and is assumed to consist of approximately 149 townhomes.

The study analyzes traffic conditions during the weekday AM and PM peak hours for the following scenarios:

- 2021 Existing Traffic Conditions
- 2025 No-Build Traffic Conditions
- 2025 Build Traffic Conditions

1.1. Site Location and Study Area

The development is proposed to be located north of E Stagecoach Road and west of N 1st Street in Mebane, North Carolina. Refer to Figure 1 for the site location map.

The study area for the TIA was determined through coordination with the North Carolina Department of Transportation (NCDOT) and the City of Mebane (City) and consists of the following intersections:

- NC 119 and E Stagecoach Road / Mebane Rogers Road
- NC 119 and White Level Road
- N 5th Street and E Stagecoach Road
- Mebane Rogers Road and Woodlawn Road

- N 1st Street and W Graham Street

It should be noted that the NCDOT State Transportation Improvement Program (STIP) project U-3109, which is expected to be completed by the end of 2021, was accounted for in this study. Thus, the following intersections were analyzed under all future conditions:

- NC 119 Bypass and Mebane Rogers Road
- NC 119 Bypass and NC 119

Refer to Appendix A for the approved scoping documentation.

1.2. Proposed Land Use and Site Access

The proposed development is expected to consist of approximately 149 townhomes.

Site access to the site is proposed via two (2) new full movement driveway connections along NC 119. It should be noted that these are the same site driveways analyzed in the North Mebane Village TIA. Refer to Figure 2 for a copy of the preliminary site plan.

1.3. Adjacent Land Uses

The proposed development is located in an area consisting primarily of undeveloped land and residential development with commercial uses located south of Stagecoach Road.

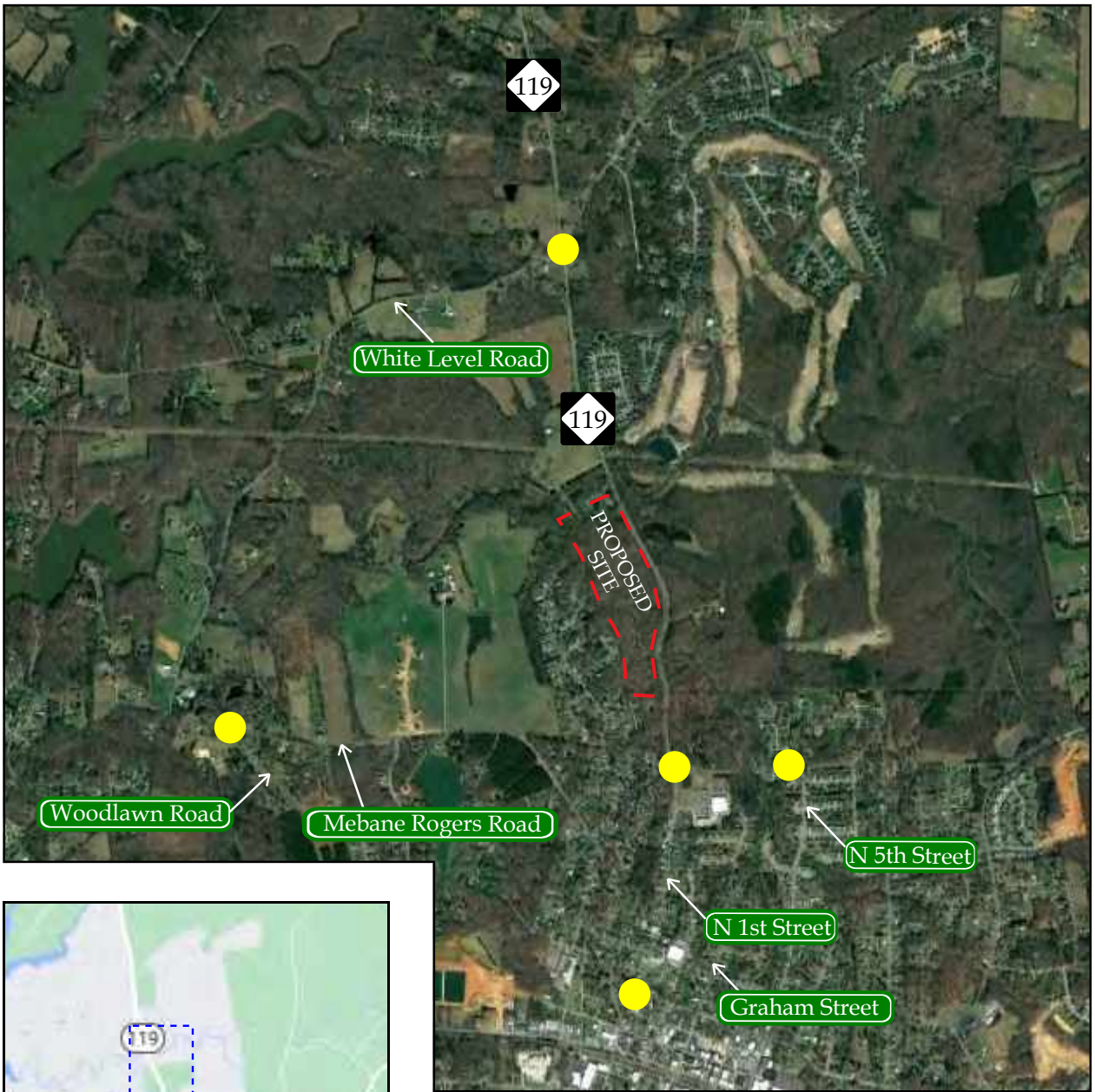
1.4. Existing Roadways

Existing lane configurations (number of traffic lanes on each intersection approach), speed limits, storage capacities, and other intersection and roadway information within the study area are shown in Figure 3. Table 1, on the following page, provides a summary of this information.

Table 1: Existing Roadway Inventory

Road Name	Route Number	Typical Cross Section	Speed Limit	Maintained By	2019 AADT (vpd)
N 1st Street	NC 119	2-lane undivided	35 mph	NCDOT	7,400
E Stagecoach Road	SR 1996	2-lane undivided	35 mph	NCDOT	5,700
White Level Road	SR 1917	2-lane undivided	50 mph	NCDOT	1,000
N 5th Street	N/A	2-lane undivided	30 mph	City	5,230*
Woodlawn Road	SR 1951	2-lane undivided	45 mph	NCDOT	2,800
W Graham Street	N/A	2-lane undivided	35 mph (assumed)	City	4,060*

*ADT based on the traffic counts from 2021 and assuming the weekday PM peak hour volume is 10% of the average daily traffic.



LEGEND

- - - Proposed Site Location
- Study Intersection
- - - Study Area



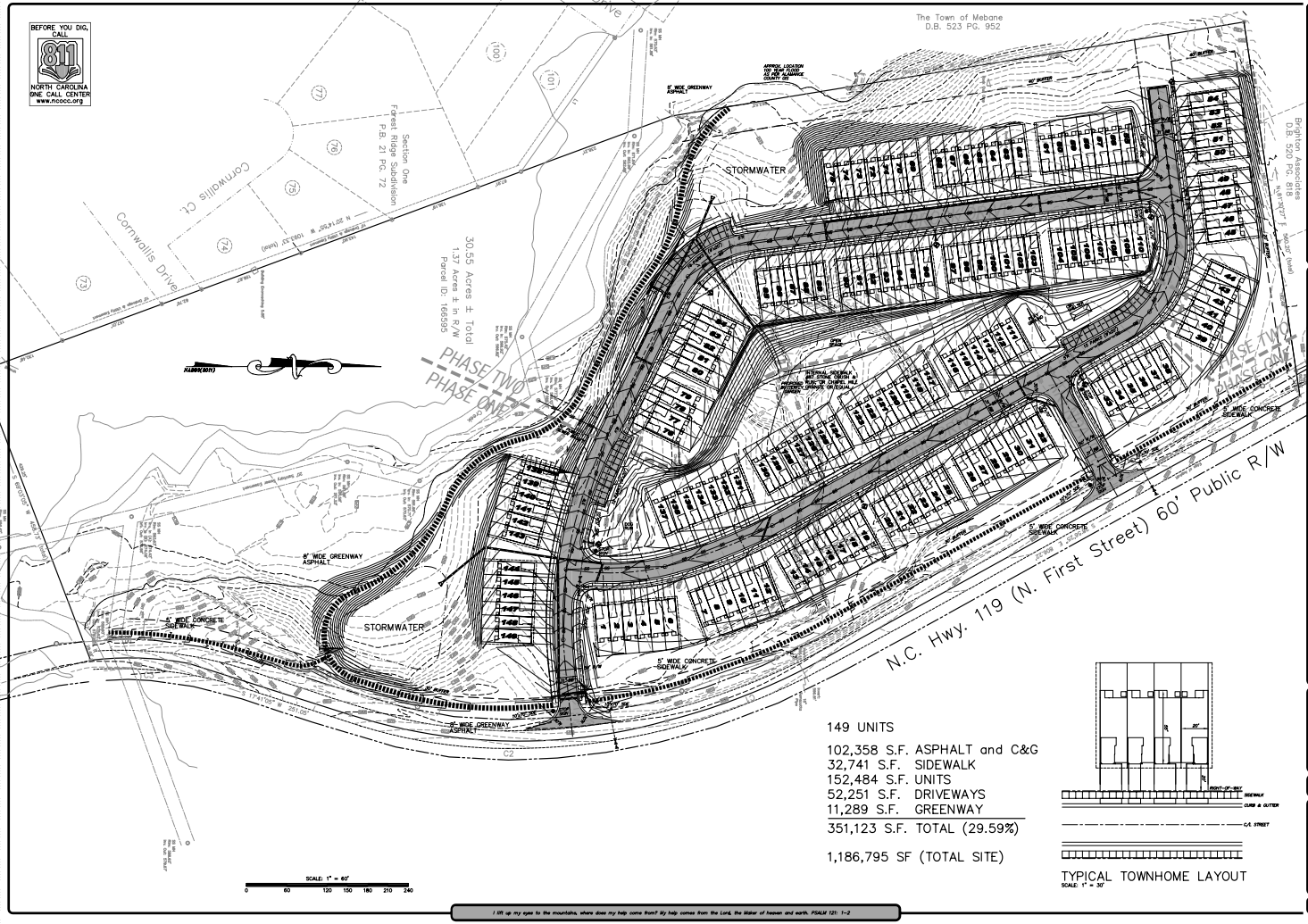
North First Street
Townhomes
Mebane, NC

Site Location Map

Scale: Not to Scale	Figure 1
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The Town of Mebane
D.B. 523 PG. 952

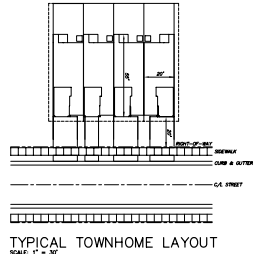


Section One
Forest Ridge Subdivision
P.B. 21 PG. 72

30.55 Acres ± Total
1.37 Acres ± in 6/4
Parcel ID: 168595

PHASE TWO
PHASE ONE

- 149 UNITS
- 102,358 S.F. ASPHALT and C&G
- 32,741 S.F. SIDEWALK
- 152,484 S.F. UNITS
- 52,251 S.F. DRIVEWAYS
- 11,289 S.F. GREENWAY
- 351,123 S.F. TOTAL (29.59%)
- 1,186,795 SF (TOTAL SITE)



STOCKS ENGINEERING
INCORPORATED
1000 W. MARKET ST. SUITE 200
RALEIGH, NC 27601
PHONE: (919) 876-8888
WWW.STOCKSENGR.COM

**N. FIRST STREET TOWNHOMES
PRELIMINARY PACKAGE
MEBANE, ALAMANCE COUNTY, NORTH CAROLINA**

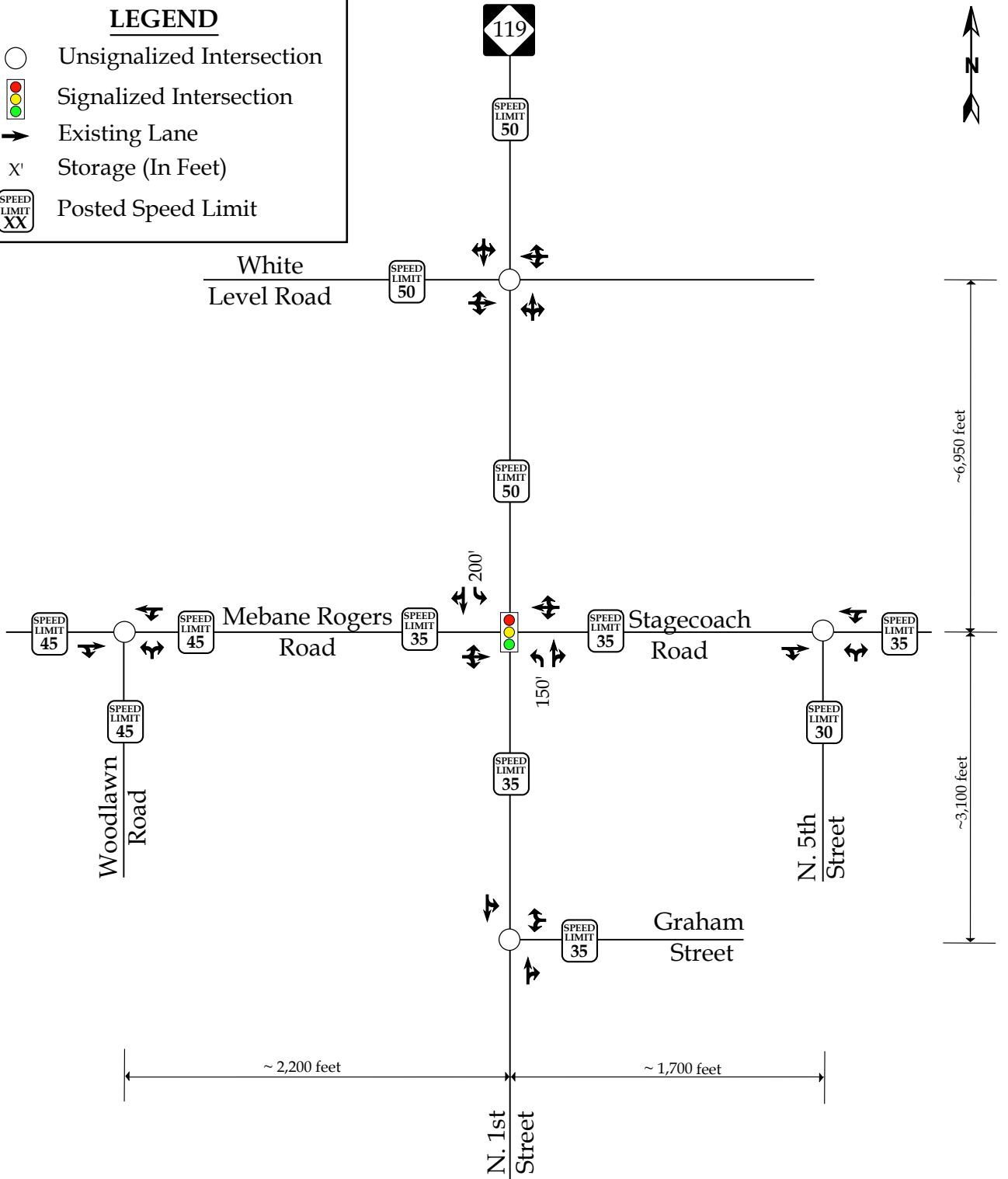
FILE NO. 2007-083
DATE SCALE 11/07
SHEET SCALE NONE

CE-03

I lift up my eyes to the mountains, where does my help come from? My help comes from the Lord, the Maker of heaven and earth. PSALM 121: 1-2

LEGEND

- Unsignalized Intersection
- 🚦 Signalized Intersection
- ➡ Existing Lane
- X' Storage (In Feet)
- 🚫
SPEED LIMIT XX Posted Speed Limit



Moving forward.



North First Street
Townhomes
Mebane, NC

2021 Existing
Lane Configurations

Scale: Not to Scale

Figure 3

2. 2021 EXISTING PEAK HOUR CONDITIONS

2.1. 2021 Existing Peak Hour Traffic Volumes

Existing peak hour traffic volumes were determined based on traffic counts conducted at the study intersections listed below, in May of 2021 during weekday AM (7:00 AM – 9:00 AM) and PM (4:00 PM – 6:00 PM) peak periods, while schools were in session:

- NC 119 and E Stagecoach Road / Mebane Rogers Road
- NC 119 and White Level Road
- N 5th Street and E Stagecoach Road
- Mebane Rogers Road and Woodlawn Road

Traffic counts were conducted at the intersection of N 1st Street and W Graham Street in November of 2021 during weekday AM (7:00 AM – 9:00 AM) and PM (4:00 PM – 6:00 PM) peak periods, while schools were in session.

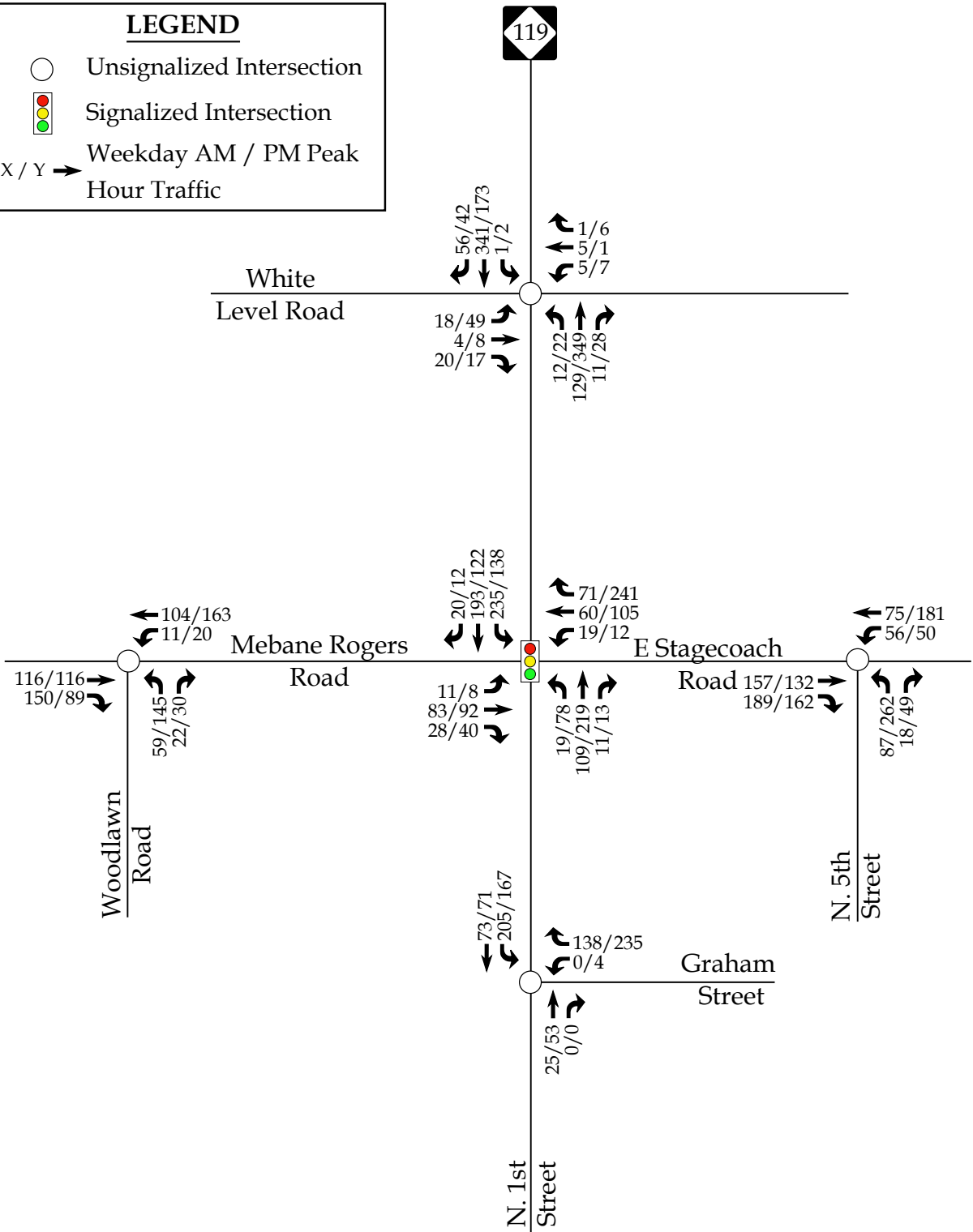
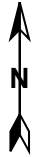
Due to the COVID-19 pandemic, the existing traffic counts were adjusted to reflect 'typical' patterns before the pandemic. Historical AADT traffic volumes were grown to 2021 using a 2% annual growth rate and compared to the traffic counts from May 2021. The newly collected traffic counts were observed to be approximately 20% lower than the grown volumes as a result of the COVID-19 pandemic. Utilizing the comparison of the grown volumes and the recent counts, an adjustment factor of 1.20 was applied to both the weekday AM and PM peak hour volumes to account for the impact. Weekday AM and PM traffic volumes were balanced between study intersections, where appropriate. It should be noted that this methodology was approved as part of the TIA scoping process. Refer to Figure 4 for an illustration of the 2021 existing weekday AM and PM peak hour traffic volumes. A copy of the raw count data is located in Appendix B of this report.

2.2. Analysis of 2021 Existing Peak Hour Traffic Conditions

The 2021 existing weekday AM and PM peak hour traffic volumes were analyzed to determine the current levels of service at the study intersections under existing roadway conditions. Signal information was obtained from NCDOT and is included in Appendix C. The results of the analysis are presented in Section 7 of this report.

LEGEND

- Unsignalized Intersection
- ◫ Signalized Intersection
- X / Y → Weekday AM / PM Peak Hour Traffic



**North First Street
Townhomes
Mebane, NC**

2021 Existing
Peak Hour Traffic

Scale: Not to Scale Figure 4

3. NO-BUILD PEAK HOUR CONDITIONS

In order to account for growth of traffic and subsequent traffic conditions at a future year, no-build traffic projections are needed. No-build traffic is the component of traffic due to the growth of the community and surrounding area that is anticipated to occur regardless of whether or not the proposed development is constructed. No-build traffic is comprised of existing traffic growth within the study area and additional traffic created as a result of adjacent approved developments. Refer to Figure 5 for an illustration of the 2025 projected peak hour traffic.

3.1. Future Roadway Improvements

Based on coordination with the NCDOT and the City, it was determined that the roadway improvements associated with the NCDOT STIP project U-3109 should be considered in this study. NCDOT STIP U-3109 (which is anticipated to be completed by the end of 2021) will provide a bypass around the city of Mebane which will begin just north of I-40 at 5th Street and will connect south of the existing intersection of NC 119 and White Level Road. As part of the project, a new traffic signal will be installed at the new intersection of NC 119 and the NC 119 Bypass as well as the new intersection of Mebane Rogers Road and the NC 119 Bypass. Existing NC 119 will also be aligned from south of St. Andrews Drive to the new connection at the bypass. Refer to Appendix D for the STIP U-3109 future realignment plans.

3.2. Background Traffic Volume Development

Through coordination with the NCDOT and the City, it was determined that future traffic volumes within the study area would be estimated utilizing a combination of a compounded annual growth rate of 2% as well as traffic forecasts from 2012 and 2017 that were completed for the NC 119 Bypass project. Refer to Appendix D for more detailed traffic volume development calculations.

3.3. Adjacent Development Traffic

Through coordination with the NCDOT and the City, the following adjacent developments were identified to be included as approved adjacent developments in this study:

- Mebane Stagecoach

- North Mebane Village

Table 2 provides a summary of the adjacent developments.

Table 2: Adjacent Development Information

Development Name	Location	Build-Out Year	Land Use / Intensity	TIA Performed
Mebane Stagecoach	Southwest quadrant of NC 119 and Stagecoach Road	N/A	123 units	N/A <i>Trips generated and applied to roadway network</i>
North Mebane Village	East side of NC 119 and north of E Stagecoach Road	Phase 1: 2026 <i>(only Phase 1 was considered in this study)</i>	<ul style="list-style-type: none"> • 57 single-family homes • 130 townhomes 	July 2021 By RKA

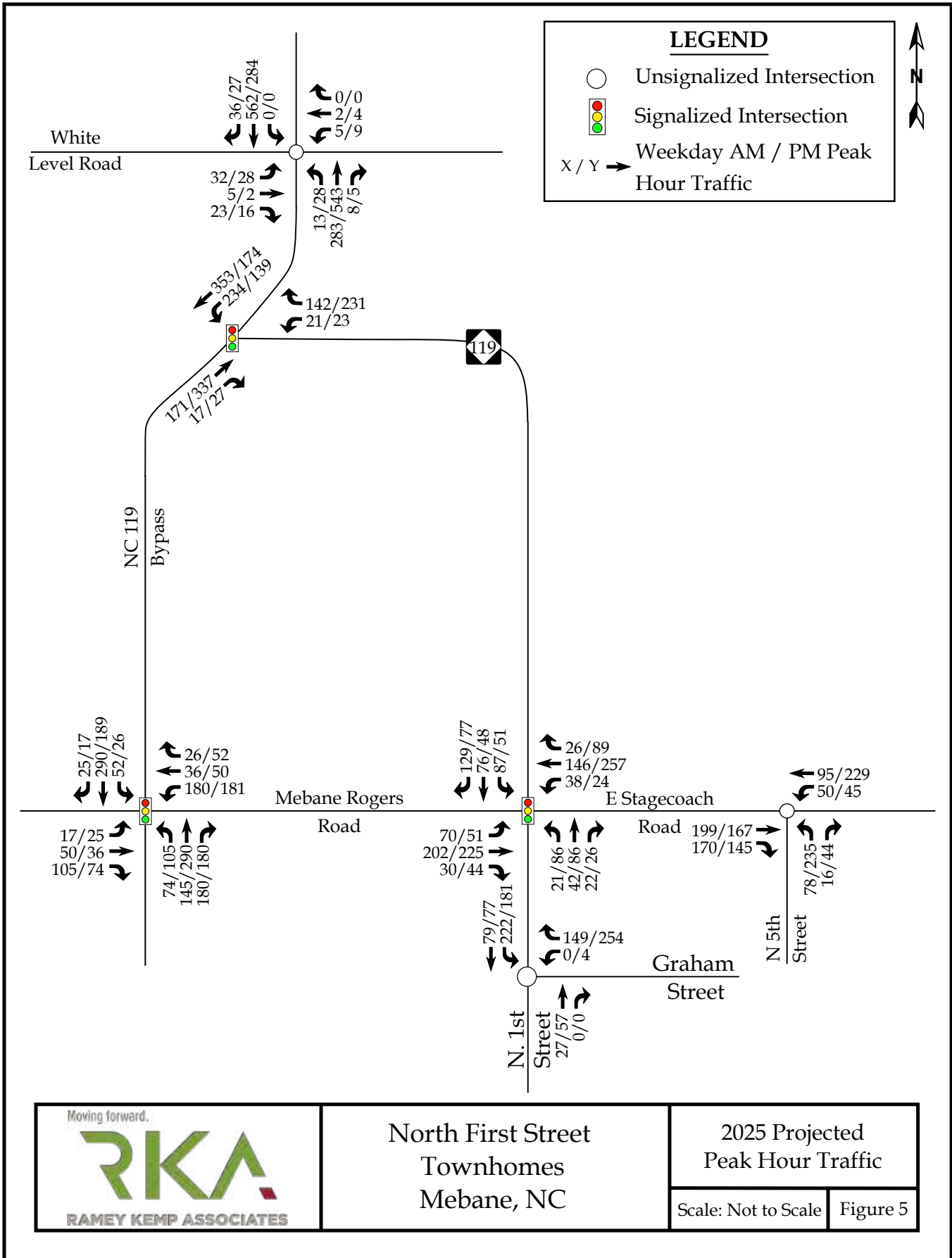
Adjacent development trips are shown in Figure 6. Adjacent development information can be found in Appendix D.

3.4. No-Build Peak Hour Traffic Volumes

The no-build traffic volumes were determined by projecting the 2021 peak hour traffic to the year 2025. Refer to Figure 7 for an illustration of the 2025 no-build peak hour traffic.

3.5. Analysis of No-Build Peak Hour Traffic Conditions

All no-build AM and PM peak hour traffic volumes at the study intersections were analyzed with future geometric roadway conditions and traffic control. Signal information was obtained from NCDOT and is included in Appendix D. The analysis results are presented in Section 7 of this report.



North First Street
Townhomes
Mebane, NC

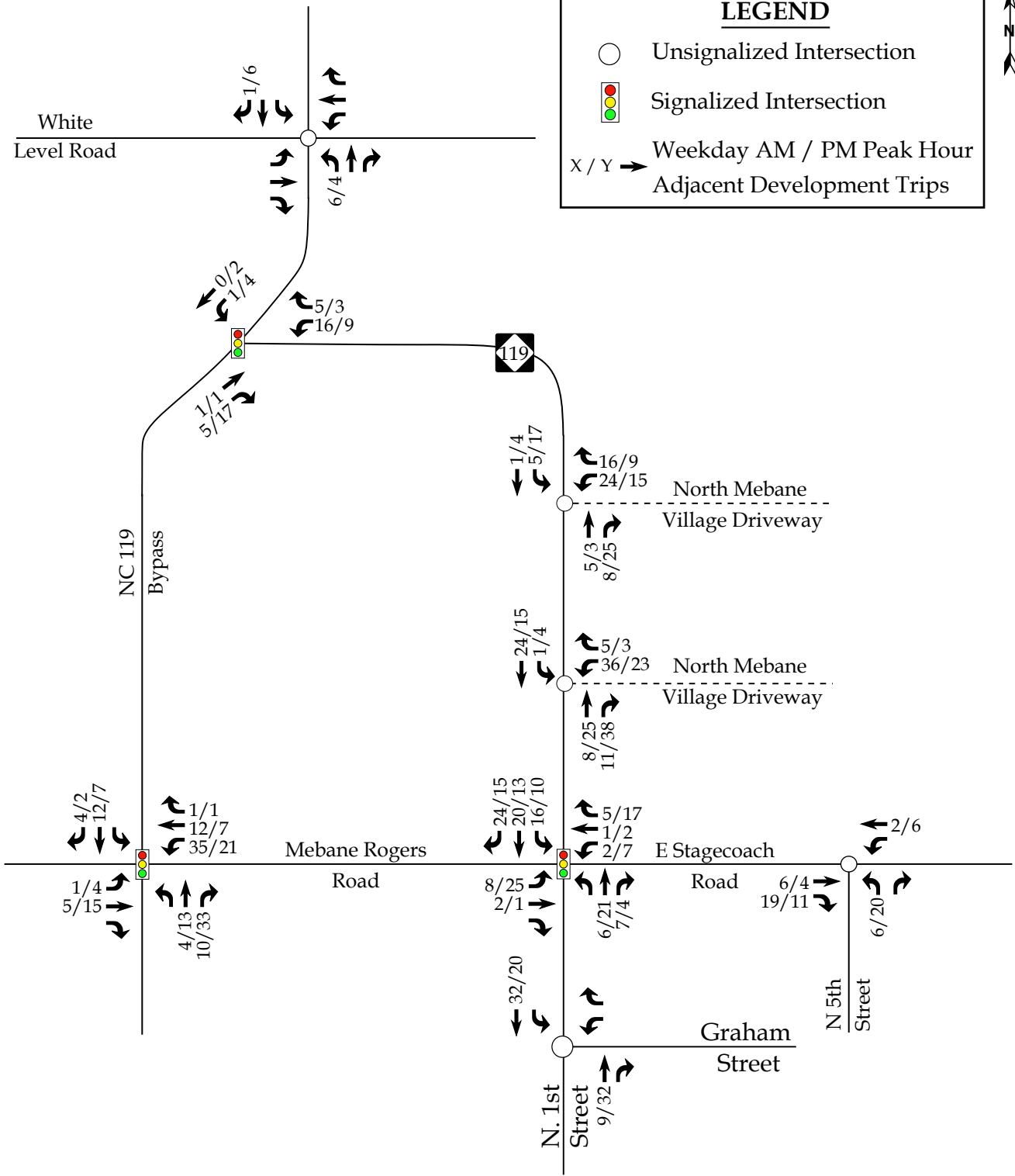
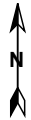
2025 Projected
Peak Hour Traffic

Scale: Not to Scale

Figure 5

LEGEND

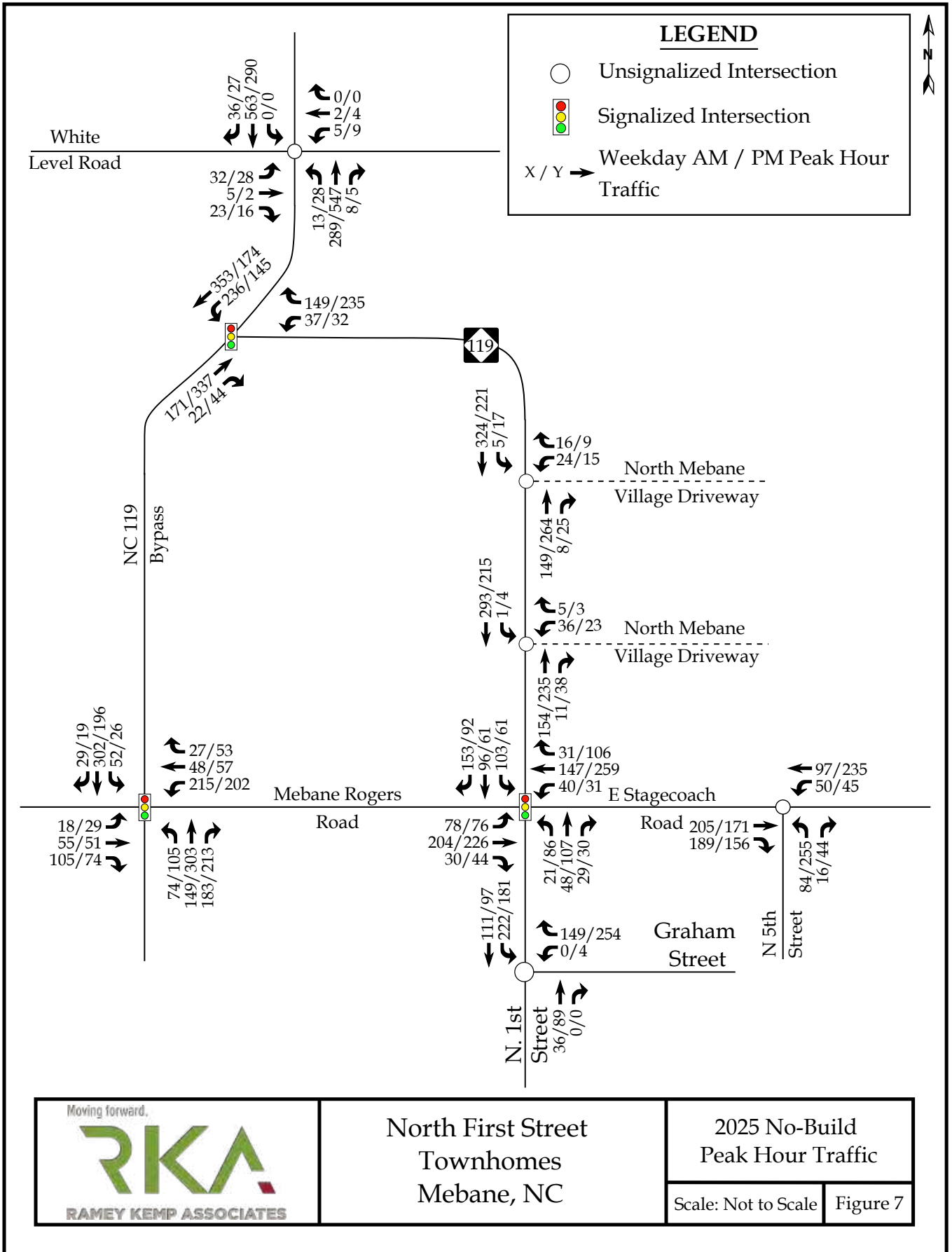
- Unsignalized Intersection
- ◫ Signalized Intersection
- X / Y → Weekday AM / PM Peak Hour Adjacent Development Trips



North First Street
Townhomes
Mebane, NC

Peak Hour Adjacent
Development Trips

Scale: Not to Scale Figure 6



4. SITE TRIP GENERATION AND DISTRIBUTION

4.1. Trip Generation

The proposed development is expected to consist of approximately 149 townhomes. Average weekday daily, AM peak hour, and PM peak hour trips for the proposed development were estimated using methodology contained within the *ITE Trip Generation Manual*, 10th Edition. Tables 3 provides a summary of the trip generation potential for the site.

Table 3: Total Trip Generation Summary

Land Use (ITE Code)	Intensity	Daily Traffic (vpd)	Weekday AM Peak Hour Trips (vph)		Weekday PM Peak Hour Trips (vph)	
			Enter	Exit	Enter	Exit
Multifamily Townhomes (220)	149 DU	1,100	16	54	53	31

It is estimated that the proposed development will generate approximately 1,100 total site trips on the roadway network during a typical 24-hour weekday period. Of the daily traffic volume, it is anticipated that 70 trips (16 entering and 54 exiting) will occur during the weekday AM peak hour and 84 trips (53 entering and 31 exiting) will occur during the weekday PM peak hour.

4.2. Site Trip Distribution and Assignment

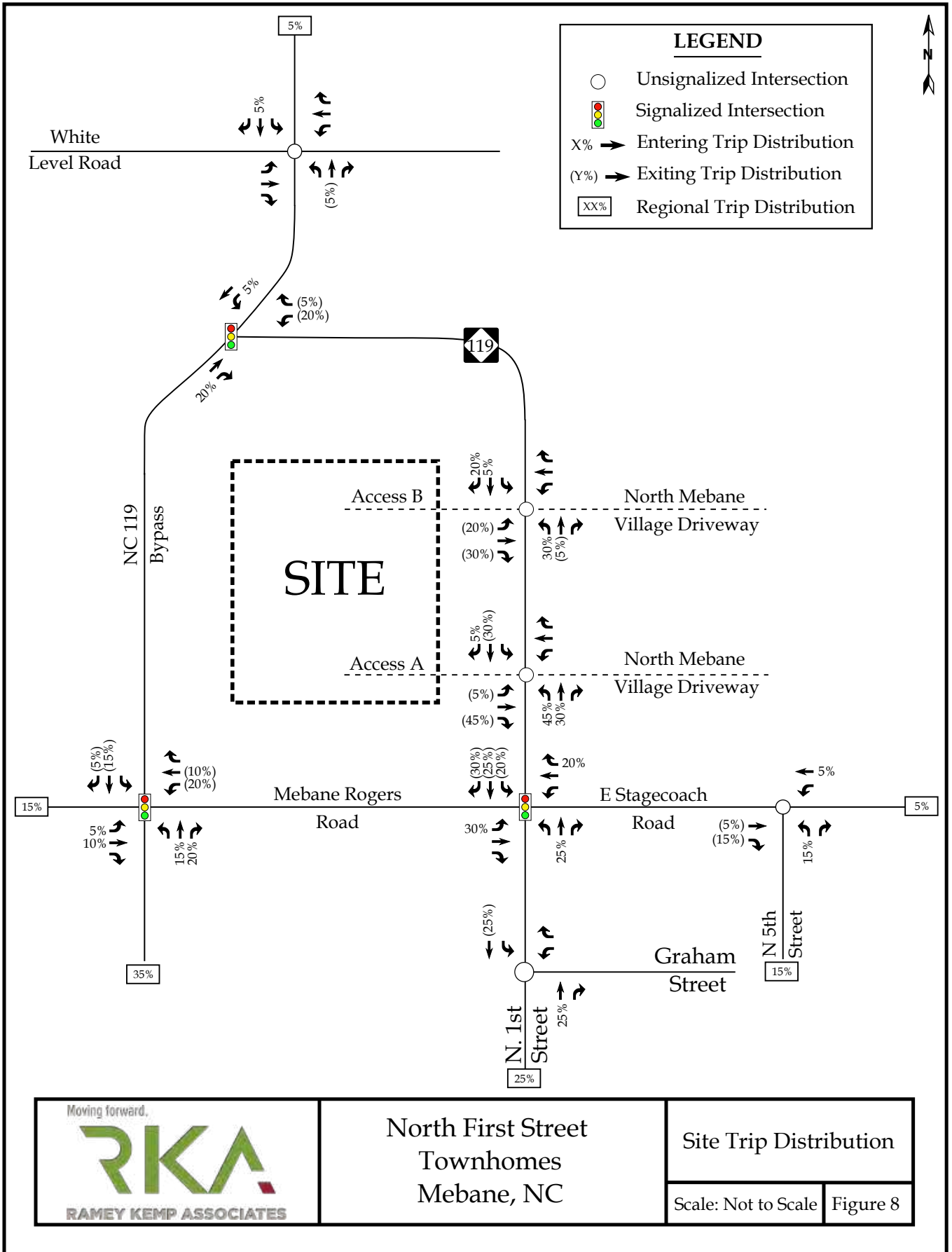
Trip distribution percentages used in assigning site traffic for this development were estimated based on a combination of existing traffic patterns, population centers adjacent to the study area, and engineering judgment.

It is estimated that the site trips will be regionally distributed as follows:

- 5% to/from the north via NC 119
- 35% to/from the south via NC 119 Bypass
- 5% to/from the east via E Stagecoach Road
- 15% to/from the west via Mebane Rogers Road
- 25% to/from the south via NC 119

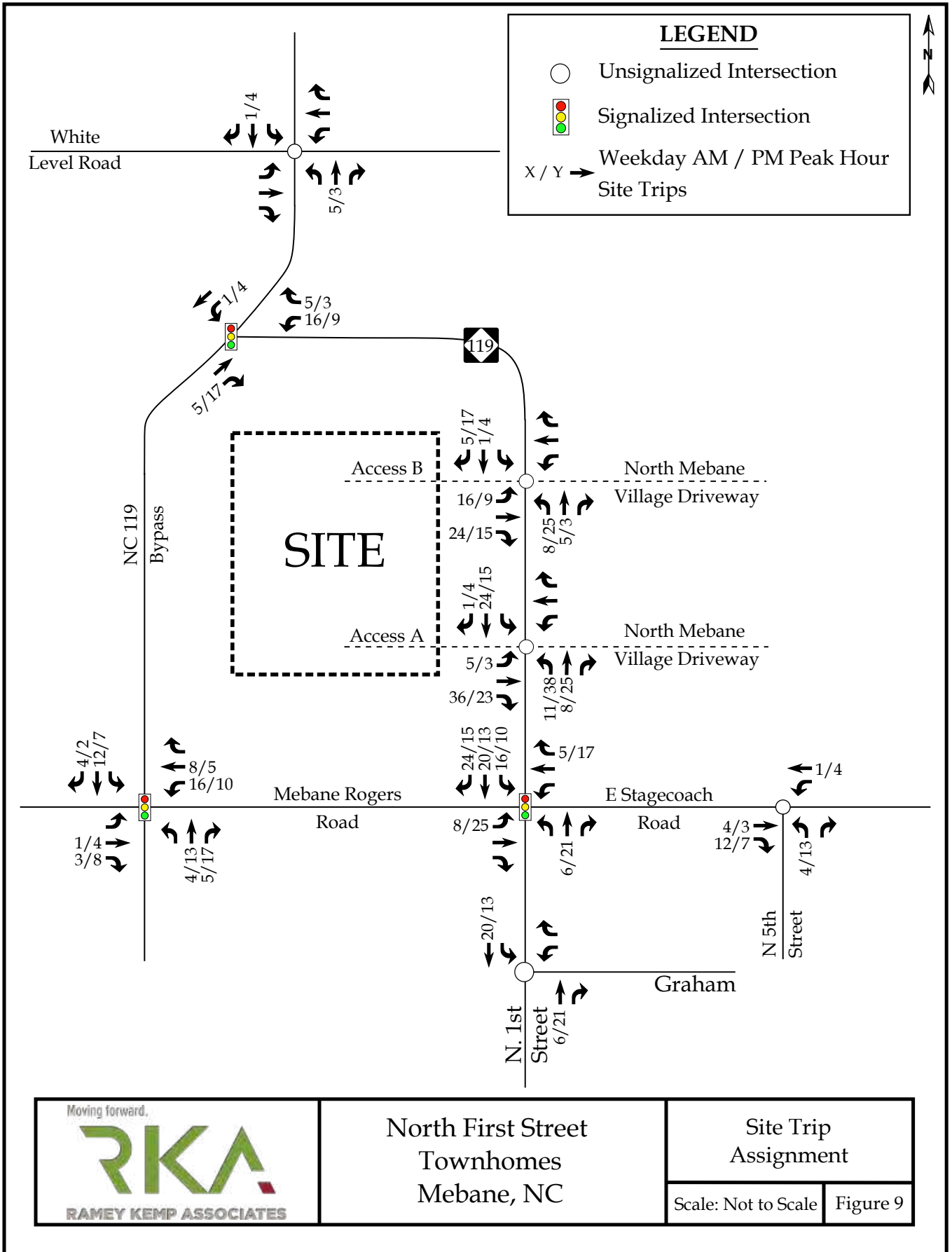
- 15% to/from the south via N 5th Street

Refer to Figure 8 for the site trip distribution. Figure 9 shows the site trip assignment.



North First Street
Townhomes
Mebane, NC

Site Trip Distribution
Scale: Not to Scale Figure 8



North First Street
Townhomes
Mebane, NC

Site Trip
Assignment

Scale: Not to Scale

Figure 9

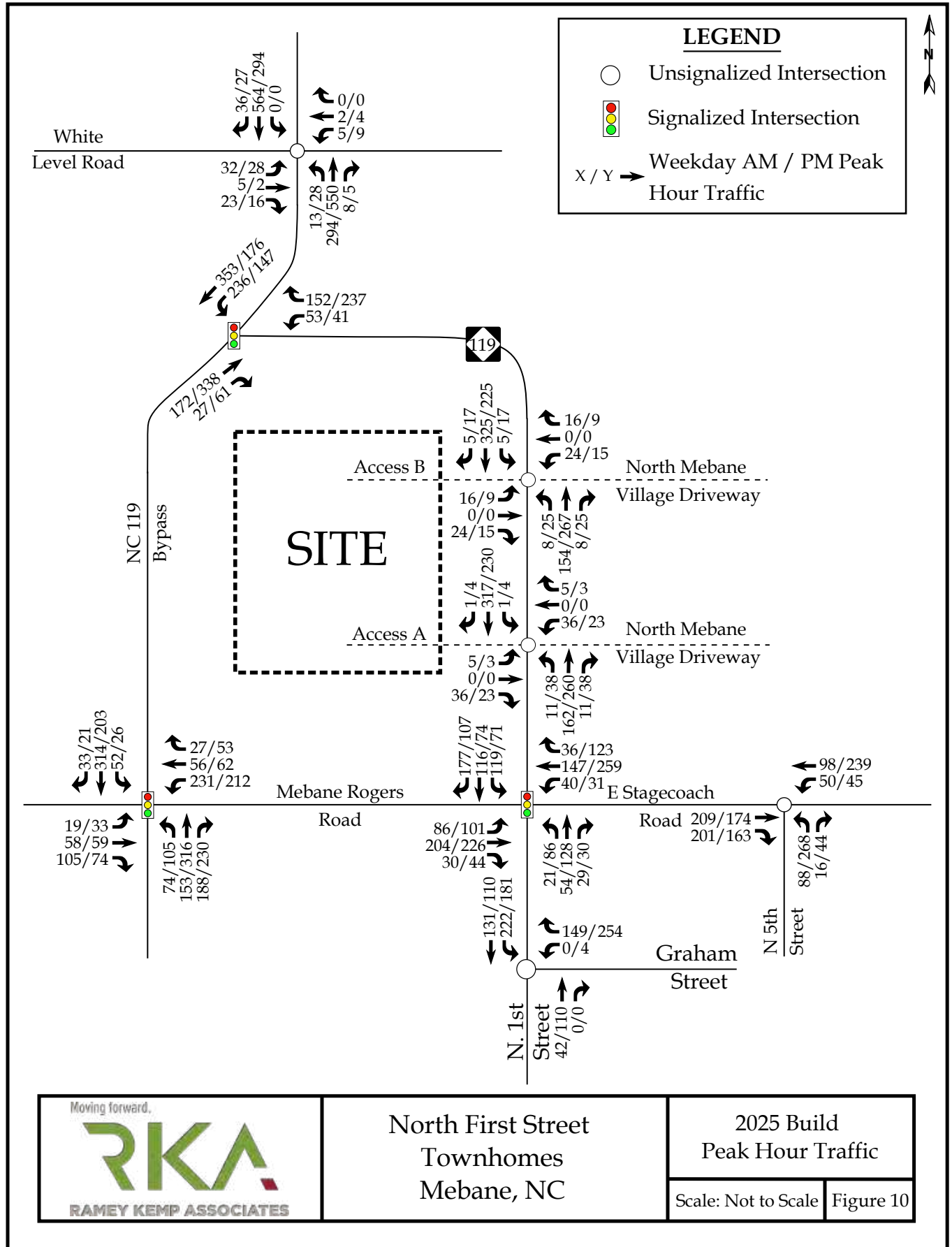
5. BUILD TRAFFIC CONDITIONS

5.1. Build Peak Hour Traffic Volumes

To estimate traffic conditions with the site fully built-out, the total site trips were added to the 2025 no-build traffic volumes to determine the 2025 build traffic volumes. Refer to Figure 10 for an illustration of the 2025 build peak hour traffic volumes with the proposed site fully developed.

5.2. Analysis of Build Peak Hour Traffic Conditions

Study intersections were analyzed with the build traffic volumes using the same methodology previously discussed for no-build traffic conditions. Intersections were analyzed with improvements necessary to accommodate future traffic volumes. The results of the capacity analysis for each intersection are presented in Section 7 of this report.



North First Street
Townhomes
Mebane, NC

2025 Build
Peak Hour Traffic

Scale: Not to Scale | Figure 10

6. TRAFFIC ANALYSIS PROCEDURE

Study intersections were analyzed using the methodology outlined in the *Highway Capacity Manual* (HCM), 6th Edition published by the Transportation Research Board. Capacity and level of service are the design criteria for this traffic study. A computer software package, Synchro (Version 10.3), was used to complete the analyses for the study area intersections. Please note that the unsignalized capacity analysis does not provide an overall level of service for an intersection; only delay for an approach with a conflicting movement.

The HCM defines capacity as “the maximum hourly rate at which persons or vehicles can reasonably be expected to traverse a point or uniform section of a lane or roadway during a given time period under prevailing roadway, traffic, and control conditions.” Level of service (LOS) is a term used to represent different driving conditions and is defined as a “qualitative measure describing operational conditions within a traffic stream, and their perception by motorists and/or passengers.” Level of service varies from Level “A” representing free flow, to Level “F” where greater delays are evident. Refer to Table 4 for HCM levels of service and related average control delay per vehicle for both signalized and unsignalized intersections. Control delay as defined by the HCM includes “initial deceleration delay, queue move-up time, stopped delay, and final acceleration delay”. An average control delay of 50 seconds at a signalized intersection results in LOS “D” operation at the intersection.

Table 4: Highway Capacity Manual – Levels-of-Service and Delay

UN SIGNALIZED INTERSECTION		SIGNALIZED INTERSECTION	
LEVEL OF SERVICE	AVERAGE CONTROL DELAY PER VEHICLE (SECONDS)	LEVEL OF SERVICE	AVERAGE CONTROL DELAY PER VEHICLE (SECONDS)
A	0-10	A	0-10
B	10-15	B	10-20
C	15-25	C	20-35
D	25-35	D	35-55
E	35-50	E	55-80
F	>50	F	>80

6.1. Adjustments to Analysis Guidelines

Capacity analysis at all study intersections was completed according to the NCDOT Congestions Management Guidelines.

7. CAPACITY ANALYSIS

7.1. NC 119 and E Stagecoach Road / Mebane Rogers Road

The existing signalized intersection of NC 119 and E Stagecoach Road / Mebane Rogers Road was analyzed under all traffic conditions with the existing lane configurations and traffic control shown in Table 5. Refer to Table 5 for a summary of the analysis results, Appendix E for the Synchro capacity analysis reports and Appendix O for SimTraffic queue reports.

Table 5: Analysis Summary of NC 119 and E Stagecoach / Mebane Rogers Road

ANALYSIS SCENARIO	APPROACH	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
2021 Existing	EB	1 LT-TH-RT	B	A (9)	B	B (14)
	WB	1 LT-TH-RT	B			
	NB	1 LT, 1 TH-RT	A			
	SB	1 LT, 1 TH-RT	A			
2025 No-Build	EB	1 LT-TH-RT	B	B (13)	B	B (14)
	WB	1 LT-TH-RT	B			
	NB	1 LT, 1 TH-RT	B			
	SB	1 LT, 1 TH-RT	B			
2025 Build	EB	1 LT-TH-RT	B	B (14)	B	B (15)
	WB	1 LT-TH-RT	B			
	NB	1 LT, 1 TH-RT	B			
	SB	1 LT, 1 TH-RT	B			

Capacity analysis of existing and all future traffic scenarios indicates that the signalized intersection is expected to operate at an overall LOS B or better in both the weekday AM and PM peak hours. Additionally, all intersection approaches are expected to operate at LOS B or better; therefore, no mitigation is recommended.

7.2. NC 119 and White Level Road

The existing unsignalized intersection of NC 119 and White Level Road was analyzed under all traffic conditions with the lane configurations and traffic control shown in Table 6. Refer to Table 6 for a summary of the analysis results. Refer to Appendix G for the Synchro capacity analysis reports and Appendix O for SimTraffic queue reports.

Table 6: Analysis Summary of NC 119 and White Level Road

ANALYSIS SCENARIO	APPROACH	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
2021 Existing	EB	1 LT-TH-RT	B ²	N/A	C ²	N/A
	WB	1 LT-TH-RT	B ²			
	NB	1 LT-TH-RT	A ¹			
	SB	1 LT-TH-RT	A ¹			
2025 No-Build	EB	1 LT-TH-RT	C ²	N/A	C ²	N/A
	WB	1 LT-TH-RT	C ²			
	NB	<u>1 LT</u> , 1 TH-RT	A ¹			
	SB	1 LT-TH-RT	A ¹			
2025 Build	EB	1 LT-TH-RT	C ²	N/A	C ²	N/A
	WB	1 LT-TH-RT	C ²			
	NB	<u>1 LT</u> , 1 TH-RT	A ¹			
	SB	1 LT-TH-RT	A ¹			

STIP U-3109 Road Modifications Indicated in Underline.

1. Level of service for major-street left-turn movement.
2. Level of service for minor-street approach.

Capacity analysis of existing and all future traffic scenarios indicates that the major-street left-turn movements are expected to operate at LOS A in both the weekday AM and PM peak hours. Additionally, all minor-street approaches are expected to operate at LOS C or better; therefore, no mitigation is recommended.

7.3. N 5th Street and E Stagecoach Road

The existing unsignalized intersection of N 5th Street and E Stagecoach Road was analyzed under all traffic conditions with existing lane configurations and traffic control. Refer to Table 7 for a summary of the analysis results. Refer to Appendix I for the Synchro capacity analysis reports and Appendix O for SimTraffic queue reports.

Table 7: Analysis Summary of N 5th Street and E Stagecoach Road

ANALYSIS SCENARIO	A P P R O A C H	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
2021 Existing	EB	1 LT-RT	--	N/A	--	N/A
	WB	1 TH-RT	A ¹		A ¹	
	NB	1 LT-TH	B ²		D ²	
2025 No-Build	EB	1 LT-RT	--	N/A	--	N/A
	WB	1 TH-RT	A ¹		A ¹	
	NB	1 LT-TH	B ²		D ²	
2025 Build	EB	1 LT-RT	--	N/A	--	N/A
	WB	1 TH-RT	A ¹		A ¹	
	NB	1 LT-TH	B ²		E ²	

1. Level of service for major-street left-turn movement.
2. Level of service for minor-street approach.

Capacity analysis of existing and all future traffic scenarios indicates that the major-street left-turn movement is expected to operate at LOS A in both the weekday AM and PM peak hours. Additionally, the minor-street approach is expected to operate at an overall LOS D or better under all traffic scenarios, with exception of the 2025 build traffic conditions conditions during the weekday PM peak hour.

It is not uncommon for the minor-street unsignalized approach to experience heavier delays at a major-street with heavy through traffic. SimTraffic reports a maximum queue of seven (7) vehicles during the weekday PM peak hour under 2025 build traffic conditions. Based on discussions with NCDOT and the City, traffic calming measures were likely to be implemented along 5th Street to discourage cut through traffic volume. Additionally, the construction of the NC 119 Bypass is likely to draw traffic away from the downtown area;

therefore, decreasing the amount of traffic utilizing 5th Street to traverse from I-40, to the north of town. All of these could be expected to decrease background traffic and alleviate delays and heavier queues on the minor street approach. Therefore, there are no improvements being recommended as part of this TIA.

7.4. Mebane Rogers Road and Woodlawn Road

The existing unsignalized intersection of Mebane Rogers Road and Woodlawn Road was analyzed under 2021 build traffic conditions with existing lane configurations and traffic control. Refer to Table 8 for a summary of the analysis results. Refer to Appendix J for the Synchro capacity analysis reports and Appendix O for SimTraffic queue reports.

Table 8: Analysis Summary of Mebane Rogers Road and Woodlawn Road

ANALYSIS SCENARIO	APPROACH	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
2021 Existing	EB WB NB	1 TH-RT 1 LT-TH 1 LT-RT	-- A ¹ B ²	N/A	-- A ¹ B ²	N/A

1. Level of service for major-street left-turn movement.
2. Level of service for minor-street approach.

Capacity analysis of 2021 existing traffic conditions indicates the minor-street approach operates at an overall LOS B while the major-street left-turn movement operates at LOS A during the weekday AM and PM peak hours. Under the future conditions, this intersection is expected to be reconfigured to intersect with NC 119 as a right-in/right-out intersection. For the purpose of this analysis, the future configuration of the intersection was not analyzed.

7.5. N 1st Street and W Graham Street

The existing unsignalized intersection of N 1st Street and W Graham Street was analyzed under all traffic conditions with existing lane configurations and traffic control. Refer to Table 9 for a summary of the analysis results. Refer to Appendix J for the Synchro capacity analysis reports and Appendix O for SimTraffic queue reports.

Table 9: Analysis Summary of N 1st Street and W Graham Street

ANALYSIS SCENARIO	APPROACH	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
2021 Existing	WB NB SB	1 LT-RT 1 TH-RT 1 LT-TH	A ² -- A ¹	N/A	B ² -- A ¹	N/A
2025 No-Build	WB NB SB	1 LT-RT 1 TH-RT 1 LT-TH	A ² -- A ¹	N/A	B ² -- A ¹	N/A
2025 Build	WB NB SB	1 LT-RT 1 TH-RT 1 LT-TH	A ² -- A ¹	N/A	B ² -- A ¹	N/A

1. Level of service for major-street left-turn movement.
2. Level of service for minor-street approach.

Capacity analysis of all traffic conditions indicates the minor-street approach operates at LOS B or better while the major-street left turn movement operates at LOS A during the weekday AM and PM peak hours.

7.6. NC 119 Bypass and Mebane Rogers Road

The future signalized intersection of NC 119 Bypass and Mebane Rogers Road was analyzed under all future traffic conditions with lane configurations and traffic control shown in Table 10. Refer to Table 10 for a summary of the analysis results. Refer to Appendix K for the Synchro capacity analysis reports and Appendix O for SimTraffic queue reports.

Table 10: Analysis Summary of NC 119 and Mebane Rogers Road

ANALYSIS SCENARIO	APPROACH	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
2025 No-Build	EB	1 LT, 1 TH, 1 RT	B	C (24)	B	B (20)
	WB	1 LT, 1 TH, 1 RT	C			
	NB	1 LT, 2 TH, 1 RT	B			
	SB	1 LT, 1 TH, 1 TH-RT	C			
2025 Build	EB	1 LT, 1 TH, 1 RT	B	C (24)	B	C (22)
	WB	1 LT, 1 TH, 1 RT	C			
	NB	1 LT, 2 TH, 1 RT	C			
	SB	1 LT, 1 TH, 1 TH-RT	C			

Capacity analysis of all future traffic scenarios indicates that the signalized intersection is expected to operate at an overall LOS C or better in both the weekday AM and PM peak hours. Additionally, all intersection approaches are expected to operate at LOS C or better. There are no degradations in LOS or increases in delay that exceed 25% when comparing the build and no-build traffic conditions for similar years except for the following:

- During the weekday PM peak hour, the overall intersection is expected to degrade from an overall LOS B to LOS C.
- The northbound approach is expected to degrade to from LOS B to LOS C during the weekday AM peak hour.

Although based on these findings, mitigation should be considered, the intersection and its approaches are expected to operate at acceptable levels of service under all future traffic conditions, therefore, no mitigation is recommended.

7.7. NC 119 and NC 119 Bypass

The future signalized intersection of NC 119 and NC 119 Bypass was analyzed under all future traffic conditions with lane configurations and traffic control shown in Table 11. Refer to Table 11 for a summary of the analysis results. Refer to Appendix L for the Synchro capacity analysis reports and Appendix O for SimTraffic queue reports.

Table 11: Analysis Summary of NC 119 and NC 119 Bypass

ANALYSIS SCENARIO	APPROACH	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
2025 No-Build	WB	1 LT, 1 RT	A	A (9)	A	A (9)
	NB	1 TH, 1 RT	B			
	SB	1 LT, 1 TH	A			
2025 Build	WB	1 LT, 1 RT	A	B (10)	A	A (9)
	NB	1 TH, 1 RT	B			
	SB	1 LT, 1 TH	A			

Capacity analysis of all future traffic scenarios indicates that the signalized intersection is expected to operate at an overall LOS B or better in both the weekday AM and PM peak hours. Additionally, all intersection approaches are expected to operate at LOS B or better, therefore, no mitigation is recommended.

7.8. NC 119 and North Mebane Village Driveway / Access A

The proposed unsignalized intersection of NC 119 and North Mebane Village Driveway / Access A was analyzed under all future traffic conditions with lane configurations and traffic control shown in Table 12. Refer to Table 12 for a summary of the analysis results. Refer to Appendix M for the Synchro capacity analysis reports and Appendix O for SimTraffic queue reports.

Table 12: Analysis Summary of NC 119 and North Mebane Village Driveway / Access A

ANALYSIS SCENARIO	A P P R O A C H	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
2025 No-Build	WB NB SB	1 LT-RT 1 TH-RT 1 LT-TH	B ² -- A ¹	N/A	B ² -- A ¹	N/A
2025 Build	EB WB NB SB	1 LT-TH-RT 1 LT-TH-RT 1 LT, 1 TH-RT 1 LT-TH-RT	B ² B ² A ¹ A ¹	N/A	B ² C ² A ¹ A ¹	N/A

Improvements by the developer are shown in bold.

1. Level of service for major-street left-turn movement.
2. Level of service for minor-street approach.

Left and right-turn lanes were considered based on the NCDOT *Policy on Street and Driveway Access to North Carolina Highways*. It should be noted that the North Mebane Village development is expected to provide southbound left-turn lanes at the site driveways upon Phase 2 of their development. An exclusive northbound left-turn lane is recommended at this driveway to provide symmetrical widening.

Capacity analysis of 2025 build traffic conditions indicates the minor-street approaches are expected to operate at an overall LOS C or better, while the major-street left-turn movements are expected to operate at LOS A during the weekday AM and PM peak hours.

7.9. NC 119 and North Mebane Village Driveway / Access B

The proposed unsignalized intersection of NC 119 and North Mebane Village Driveway / Access B was analyzed under all future traffic conditions with lane configurations and traffic control shown in Table 13. Refer to Table 13 for a summary of the analysis results. Refer to Appendix N for the Synchro capacity analysis reports and Appendix O for SimTraffic queue reports.

Table 13: Analysis Summary of NC 119 and North Mebane Village Driveway / Access B

ANALYSIS SCENARIO	APPROACH	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
2025 No-Build	WB NB SB	1 LT-RT 1 TH-RT 1 LT-TH	B ² -- A ¹	N/A	B ² -- A ¹	N/A
2025 Build	EB WB NB SB	1 LT-TH-RT 1 LT- TH-RT 1 LT, 1 TH-RT 1 LT- TH-RT	B ² B ² A ¹ A ¹	N/A	B ² B ² A ¹ A ¹	N/A

Improvements by the developer are shown in bold.

1. Level of service for major-street left-turn movement.
2. Level of service for minor-street approach.

Left and right-turn lanes were considered based on the NCDOT *Policy on Street and Driveway Access to North Carolina Highways*. It should be noted that the North Mebane Village development is expected to provide southbound left-turn lanes at the site driveways upon Phase 2 of their development. An exclusive northbound left-turn lane is recommended at this driveway to provide symmetrical widening.

Capacity analysis of 2025 build traffic conditions indicates the minor-street approaches are expected to operate at an overall LOS B, while the major-street left-turn movements are expected to operate at LOS A during the weekday AM and PM peak hours.

8. CONCLUSIONS

This TIA was conducted to determine the potential traffic impacts of the proposed North Mebane Village development that is to be located north of E Stagecoach Road and west of N 1st Street in Mebane, North Carolina. The proposed development is anticipated to be built out in 2025 and is assumed to consist of approximately 149 townhomes. Site access to the site is proposed via two (2) new full movement driveway connections along NC 119. It should be noted that these are the same site driveways analyzed in the North Mebane Village TIA.

The study analyzes traffic conditions during the weekday AM and PM peak hours for the following scenarios:

- 2021 Existing Traffic Conditions
- 2025 No-Build Traffic Conditions
- 2025 Build Traffic Conditions

Trip Generation

It is estimated that the proposed development will generate approximately 70 trips (16 entering and 54 exiting) during the weekday AM peak hour and 84 trips (53 entering and 31 exiting) during the weekday PM peak hour.

Multimodal Analysis

Based on coordination with the City, it was noted that there is no transit system in the area; therefore, the transit mode was not taken into account for this study. There are currently no accommodations for pedestrian and bicycle modes on NC 119. Based on information provided by the developer, in order to accommodate the pedestrian and bicycle modes, an internal walking path will be provided internally within the site as well as along the frontage of the subject property on NC 119. The closest grocery store and shopping center is approximately 0.5 miles south on NC 119. Based on current NC 119 bike and pedestrian accommodations, it would not be recommended for these forms of transit. The closest park is approximately 0.5 miles north on NC 119; however, the roadway is not conducive to bike and pedestrian transit without sidewalks or bike paths.

Adjustments to Analysis Guidelines

Capacity analysis at all study intersections was completed according to NCDOT Congestion Management Guidelines. Refer to section 6.1 of this report for a detailed description of any adjustments to these guidelines made throughout the analysis.

9. RECOMMENDATIONS

Based on the findings of this study, specific geometric improvements have been identified and are recommended to accommodate future traffic conditions. See a more detailed description of the recommended improvements below. Refer to Figure 11 for an illustration of the recommended lane configuration for the proposed development.

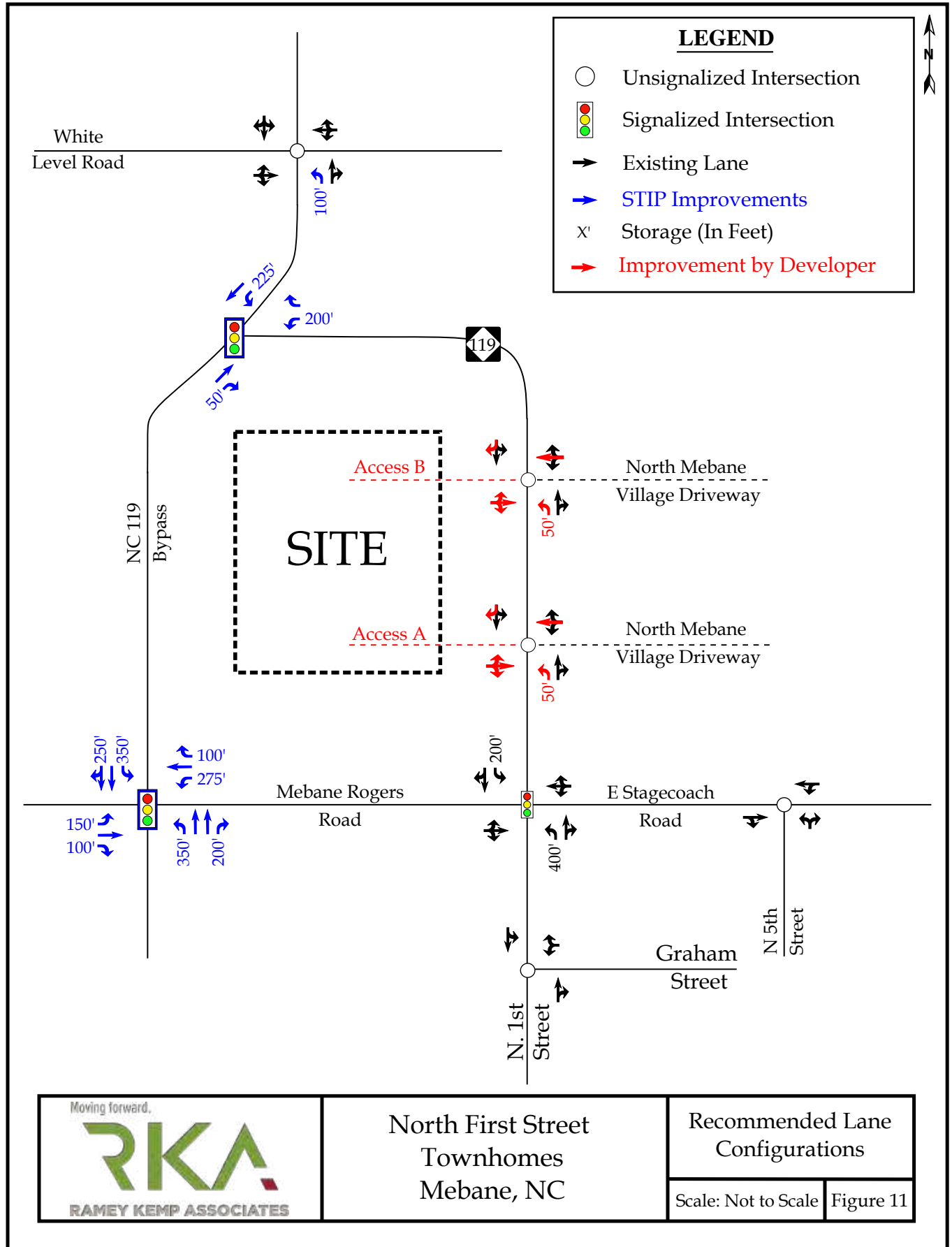
Recommended Improvements by Developer

NC 119 and North Mebane Village Driveway / Access A

- Construct eastbound approach with one ingress lane and one egress lane.
- Provide an exclusive northbound left-turn lane with at least 50 feet of storage and appropriate decel and taper.

NC 119 and North Mebane Village Driveway / Access B

- Construct eastbound approach with one ingress lane and one egress lane.
- Provide an exclusive northbound left-turn lane with at least 50 feet of storage and appropriate decel and taper.



North First Street
Townhomes
Mebane, NC

Recommended Lane
Configurations

Scale: Not to Scale | Figure 11



Memorandum

To: Cy Stober, AICP
Development Director
City of Mebane
106 East Washington Street
Mebane, NC 27302

Date: February 15, 2022

Project #: 39160.00, Task 09

From: Baohong Wan, PhD, PE

Re: N First Street Townhomes Traffic Impact Analysis
Mebane, NC

A Traffic Impact Analysis (TIA) was prepared by Ramey Kemp & Associates (RKA) for the proposed North First Street Townhomes development located east of N 1st Street (NC 119) and south of St. Andrews Drive in Mebane, North Carolina. VHB is contracted by the City of Mebane to conduct an independent review of the TIA. This memo provides a list of critical findings, following by an in-depth summary of study assumptions and analysis results.

List of Mitigation Recommendations

The following items in red should be considered in addition to mitigation measures that have been identified within the North First Street Townhomes TIA:

- › NC 119 and North Mebane Village Driveway / Access A
 - Construct eastbound approach with one ingress lane and one egress lane.
 - Provide an exclusive northbound left-turn lane with at least 50 feet of storage and appropriate decel and taper
- › NC 119 and North Mebane Village Driveway / Access B
 - Construct eastbound approach with one ingress lane and one egress lane.
 - Provide an exclusive northbound left-turn lane with at least 100 feet of storage and appropriate decel and taper

Summary of TIA Assumptions and Results

Development Plan

The proposed North First Street Townhomes development will consist of up to 149 townhomes located north of E Stagecoach Road and west of N 1st Street (NC 119). The project will be accessed via two (2) new full movement driveway connections along NC 119, across from the two driveways planned for the North Mebane Village development.

Compliance of multimodal transportation requirements were examined in the TIA for the adequacy of pedestrian, bike, and transit facilities across the project site and along roadways comprising the property frontage. It should be noted that a shared use trail may be required to be constructed across the site to meet the City of Mebane Bike Pedestrian Transportation Plan standards.

Study Area and Analysis Scenarios

The TIA included the following intersections through coordination with NCDOT and the City of Mebane:

VHB Engineering NC, P.C. (C-3075)

Engineers | Scientists | Planners | Designers

Venture I, 940 Main Campus Drive, Suite 500, Raleigh, North Carolina 27606

P 919.829.0328 F 919.833.0034 www.vhb.com

- › NC 119 and White Level Road (unsignalized)
- › N 1st Street (NC 119) and Stagecoach Road / Mebane Rogers Road (signalized)
- › N 1st Street (NC 119) and Graham Street (unsignalized)
- › Mebane Rogers Road and Woodlawn Road (unsignalized)
- › Stagecoach Road and N 5th Street (unsignalized)

The following intersection(s) will be constructed with the NCDOT State Transportation Improvement Program (STIP) U-3109 project (NC 119 Bypass) and, therefore, were included in all future year conditions in the TIA:

- › NC 119 Bypass and Mebane Rogers Road (signalized)
- › NC 119 Bypass and NC 119 (signalized)

The TIA included capacity analyses during the weekday AM and PM peak hours under the following scenarios:

- › 2021 Existing Traffic Conditions
- › 2025 No-Build Traffic Conditions
- › 2025 Build Traffic Conditions

Existing and No-Build Analysis Assumptions

Existing (2021) analysis was conducted based on traffic counts conducted in May and November 2021 during weekday AM (7 to 9 AM) and PM (4 to 6 PM) peak hours. Utilizing the comparison of the grown volumes and the recent counts, an adjustment factor of 1.20 was applied in the TIA to both the weekday AM and PM peak hour volumes to account for the impacts due to the COVID-19 pandemic.

The No-Build scenario included an annual growth rate of two percent (2%) between the existing year (2021) and the future analysis year (2025), as well as traffic forecasts from 2012 and 2017 completed for the NC 119 Bypass project (NCDOT STIP U-3109). Based on coordination with the NCDOT and the City, it was determined that the following adjacent developments were included in the future year analyses.

- › Mebane Stagecoach
- › North Mebane Village (Phase 1 only)

Trip Generation & Distribution

Trip generation potential was determined based on methodology outlined in the ITE Trip Generation Manual, 10th Edition. Based on the TIA, the proposed development is expected to generate 1,100 total daily trips with 70 trips (16 entering, 54 exiting) occurring during the AM peak hour and 84 trips (53 entering, 31 exiting) occurring during the PM peak hour.

Based on existing traffic patterns, population centers adjacent to the study area, and engineering judgment, vehicle site traffic for this development were distributed as follows:

- › 5% to/from the north via NC 119
- › 35% to/from the south via NC 119 Bypass
- › 5% to/from the east via E Stagecoach Road
- › 15% to/from the west via Mebane Rogers Road
- › 25% to/from the south via NC 119
- › 15% to/from the south via N 5th Street

Capacity Analysis Results

Capacity analyses in the TIA were conducted following the NCDOT Congestion Management Capacity Analysis Guidelines. The analysis results and mitigation determinations are summarized below for each individual intersection, while LOS and delay are reported and summarized for stop-controlled approaches at unsignalized intersections.

N 1st Street (NC 119) and Stagecoach Road / Mebane Rogers Road (signalized)

ID	Intersection and Approach	Traffic Control	Existing (2021)		No-Build (2025)		Build (2025)	
			AM	PM	AM	PM	AM	PM
1	N. 1st Street (NC 119) & E Stagecoach Road	Signalized	A (9.4)	B (13.6)	B (12.7)	B (13.5)	B (13.6)	B (14.5)
	Eastbound		B-13.8	B-10.7	B-14.0	B-14.2	B-14.7	B-15.7
	Westbound		B-15.3	B-18.0	B-10.8	B-14.0	B-11.3	B-13.5
	Northbound		A-6.0	B-11.4	B-10.5	B-12.5	B-11.0	B-14.2
	Southbound		A-7.4	B-11.7	B-13.2	B-12.6	B-14.7	B-14.6

The TIA indicated that this intersection is expected to operate at LOS B during both the AM and PM peak hours under the build-out conditions. No mitigation was recommended within the TIA as the intersection is expected to operate acceptably if the existing permitted left-turns are to be maintained. It should be noted that turn lane and pedestrian improvements are considered at this intersection due to additional traffic associated with several other planned developments in this area.

NC 119 and White Level Road/ Citgo Driveway (unsignalized)

ID	Intersection and Approach	Traffic Control	Existing (2021)		No-Build (2025)		Build (2025)	
			AM	PM	AM	PM	AM	PM
3	NC 119 & White Level Road /Existing Driveway	Unsignalized	N/A	N/A	N/A	N/A	N/A	N/A
	Eastbound		B-13.1	C-16.2	C-22.7	C-21.5	C-22.9	C-21.7
	Westbound		B-13.0	B-14.2	C-19.2	C-21.4	C-19.4	C-21.6

The TIA indicated that both stop-controlled approaches are expected to operate at LOS C during both the AM and PM peak hours under the build-out conditions. As a result, no mitigation was recommended in the TIA by the proposed development.

Stagecoach Road and N 5th Street (unsignalized)

ID	Intersection and Approach	Traffic Control	Existing (2021)		No-Build (2025)		Build (2025)	
			AM	PM	AM	PM	AM	PM
5	N 5th Street & E Stagecoach Road	Unsignalized	N/A	N/A	N/A	N/A	N/A	N/A
	Northbound		B-13.5	D-26.3	B-14.4	D-32.6	B-14.7	E-37.4

The TIA indicated that this stop-controlled approach is expected to degrade to LOS E during the PM peak hour under the build-out conditions. However, the TIA indicated that traffic volumes are expected to decrease due to potential traffic calming measures and the opening of NC 119 Bypass. As a result, no mitigation was recommended in the TIA by the proposed development.

N 1st Street (NC 119) and Graham Street (unsignalized)

ID	Intersection and Approach	Traffic Control	Existing (2021)		No-Build (2025)		Build (2025)	
			AM	PM	AM	PM	AM	PM
11	N 1st Street & W Graham Street	Unsignalized	N/A	N/A	N/A	N/A	N/A	N/A
	Westbound		A-9.3	B-10.0	A-9.4	B-10.6	A-9.5	B-10.8

The TIA indicated that since the stop-controlled approach is expected to operate at LOS A or B during both the AM and PM peak hours under the existing and all future traffic scenarios. No mitigation was recommended in the TIA by the proposed development.

Woodlawn Road & Mebane Rogers Road (existing unsignalized)

ID	Intersection and Approach	Traffic Control	Existing (2021)		No-Build (2025)		Build (2025)	
			AM	PM	AM	PM	AM	PM
6	Woodlawn Road & Mebane Rogers Road	Unsignalized	N/A	N/A	N/A	N/A	N/A	N/A
	Northbound		B-11.1	B-13.3	---	---	---	---

The TIA indicated that the stop-controlled approach is expected to operate at LOS B during both the AM and PM peak hours under the existing traffic conditions, and this intersection was omitted from future year analysis as geometric and traffic control changes are to be provided with the Mebane Bypass (NCDOT U-3109) project. No mitigation was recommended in the TIA by the proposed development.

NC 119 Bypass and Mebane Rogers Road (future signalized)

ID	Intersection and Approach	Traffic Control	Existing (2021)		No-Build (2025)		Build (2025)	
			AM	PM	AM	PM	AM	PM
7	NC 119 Bypass & Mebane Rogers Road	Signalized	-	-	C (23.6)	C (20.3)	C (24.4)	C (21.7)
	Eastbound		---	---	B-15.3	B-17.8	B-16.3	B-19.8
	Westbound		---	---	C-28.4	C-23.3	C-29.2	C-25.3
	Northbound		---	---	B-19.8	B-16.8	C-20.2	B-17.9
	Southbound		---	---	C-27.7	C-26.7	C-28.5	C-28.4

The TIA indicated that this intersection is expected to operate at LOS C during both the AM and PM peak hours under all future traffic scenarios, with geometrics and traffic control improvements to be constructed with the NC 119 Bypass (NCDOT U-3109) project. No mitigation was recommended by the proposed development.

NC 119 Bypass and NC 119 (future signalized)

ID	Intersection and Approach	Traffic Control	Existing (2021)		No-Build (2025)		Build (2025)	
			AM	PM	AM	PM	AM	PM
8	NC 119 Bypass & NC 119	Signalized	-	-	A (8.8)	A (8.7)	B (10.2)	A (8.8)
	Westbound		---	---	A-4.0	A-2.8	A-5.6	A-3.4
	Northbound		---	---	B-14.1	B-11.8	B-15.6	B-11.4
	Southbound		---	---	A-8.5	A-9.9	A-10.0	B-10.1

The TIA indicated that this intersection is expected to operate at LOS A or B during both the AM and PM peak hours under all future traffic scenarios, with geometrics and traffic control improvements to be constructed with the NC 119 Bypass (NCDOT U-3109) project. No mitigation was recommended by the proposed development.

NC 119 and Access A/North Mebane Village Driveway (future unsignalized)

ID	Intersection and Approach	Traffic Control	Existing (2021)		No-Build (2025)		Build (2025)	
			AM	PM	AM	PM	AM	PM
9	NC 119 & Access A/North Mebane Village Driveway	Unsignalized	-	-	N/A	N/A	N/A	N/A
	Eastbound		---	---	---	---	B-11.4	B-11.4
	Westbound		---	---	B-12.2	B-12.1	B-14.9	C-15.7

The TIA indicated that this future site access and the opposing North Mebane Village Driveway are expected to operate at LOS B or LOS C during both peak hours under the build-out conditions. The following improvements are recommended to be constructed with the proposed development to be consistent with the ultimate design at this intersection:

- › Provide an exclusive northbound left-turn lane with at least 50 feet of full storage and appropriate taper.

NC 119 and Access B/North Mebane Village Driveway (future unsignalized)

ID	Intersection and Approach	Traffic Control	Existing (2021)		No-Build (2025)		Build (2025)	
			AM	PM	AM	PM	AM	PM
10	NC 119 & Access B/North Mebane Village Driveway	Unsignalized	-	-	N/A	N/A	N/A	N/A
	Eastbound		---	---	---	---	B-12.6	B-12.7
	Westbound		---	---	B-11.5	B-12.1	B-13.0	B-14.3

The TIA indicated that this future site access and the opposing North Mebane Village Driveway are expected to operate at LOS B during both peak hours under the build-out conditions. The following improvements are recommended to be constructed with the proposed development to be consistent with the ultimate design at this intersection:

- › Provide an exclusive northbound left-turn lane with at least 50 feet of full storage and appropriate taper.

It should be noted that traffic volumes will increase at this intersection as the result of late phases of North Mebane Village and Preserve at Mill Creek. Therefore, a longer storage should be required to accommodate future traffic volume and control changes.

Cc: C. N. Edwards Jr., PE, NCDOT Highway Division 7 District 1



To: Cy Stober, AICP
Development Director
City of Mebane

Date: May 31, 2022

C. N. Edwards Jr., PE
District Engineer
NCDOT Highway Division 7 District 1

Project #: 39160.00, Task 14

From: Baohong Wan, PhD, PE

Re: North Mebane Transportation Improvements FIL
Mebane, NC

The City of Mebane received several rezoning applications/development plans along N 1st Street (NC 119) and Stagecoach Road, resulting in cumulative traffic impact and declining traffic operations at several critical intersections in the north Mebane area. VHB is contracted by the City of Mebane to assess cumulative traffic impact due to the proposed developments, and to identify potential cost sharing strategy for common transportation improvement requirements at two critical locations in the area.

Development Plans

This memo provides an assessment of cumulative impact due to three recently proposed developments: North Mebane Village, Preserve at Mill Creek, and North First Street Townhomes. Traffic impact studies (TIA) have been completed for all three developments based on the City's UDO requirements and NCDOT's traffic engineering analysis standards.

North Mebane Village: Located along the east side of NC 119 (N 1st Street) north of Stagecoach Road, the proposed North Mebane Village development is planned to consist of three (3) phases: Phase 1 – buildout in 2026, with 57 single family homes and 130 townhomes, Phase 2 – buildout in 2027, with 40,000 square feet (SF) of office space and 64,000 SF of shopping center, and Phase 3 – buildout in 2028, with 49 single family homes and a 5,000-SF super convenience market / gas station.

A traffic impact analysis (TIA) was completed by Ramey Kemp & Associates (RKA) in July 2021. Based on the TIA, Phase 1 of North Mebane Village is projected to generate 1,562 total daily trips with 106 AM peak hour trips (25 entering and 81 exiting) and 134 PM peak hour site trips (84 entering and 50 exiting), Phase 2 is to generate 6,436 total daily trips with 344 AM peak hour primary trips (194 entering and 150 exiting) and 518 PM peak hour primary trips (232 entering and 286 exiting), and phase 3 is to generate 11,101 total daily trips, with 749 AM peak hour primary trips (388 entering and 361 exiting) and 856 PM peak hour primary trips (407 entering and 449 exiting).

Preserve at Mill Creek: The proposed Preserve at Mill Creek development is located east of NC 119 (N 1st Street) and south of St Andrews Drive, and it is planned to consist of up to 590 single-family homes to be built out in 2028.

A traffic impact analysis was completed by RKA in January 2022, and a revised TIA was submitted in March 2022. Based on the TIA, the proposed development is expected to generate 5,330 total daily trips with 424 trips (106 entering, 318 exiting) occurring during the AM peak hour and 558 trips (352 entering, 206 exiting) occurring during the PM peak hour.

North First Street Townhomes: The proposed North First Street Townhomes development is located north of E Stagecoach Road and west of N 1st Street (NC 119). The project will consist of up to 149 townhomes, and it is anticipated to be constructed in 2025.

A traffic impact analysis was completed by RKA in February 2022. Based on the TIA, the proposed development is expected to generate 1,100 total daily trips with 70 trips (16 entering, 54 exiting) occurring during the AM peak hour and 84 trips (53 entering, 31 exiting) occurring during the PM peak hour.

A summary of land uses and site trips for the development plans is provided in Table 1.

Traffic Data and Future Year Growth Projections

Slightly different traffic data and analysis assumptions were used in the three traffic studies for the proposed developments. Among them, the revised Preserve at Mill Creek TIA included the most conservative volume projections. Therefore, discussions of traffic analysis results in this memo are based on traffic models submitted with the revised Preserve at Mill Creek TIA.

Volume development in the Preserve at Mill Creek TIA was based on November 2021 traffic counts with an annual growth rate of one percent (1%) applied between the existing year (2021) and the future analysis year (2028), as well as 2012 and 2017 traffic forecasts completed for the NC 119 Bypass project (NCDOT STIP U-3109). In addition to project trips due to North Mebane Village, Preserve at Mill Creek, and North First Street Townhomes, future year analysis also included five additional background developments in the area:

- › Stagecoach Corner, 35 single family homes on the north side of Stagecoach Road, east of NC 119
- › Potter's Mill, 33 single family homes in the northeast quadrant of NC 119 and Stagecoach Road
- › Wescott, 110 townhomes on the west side of NC 119, north of Stagecoach Road
- › Tupelo Junction, 184 single family homes on Lebanon Road, east of Stagecoach Road and west of Saddle Club Road
- › Saddle Club Subdivision, 125 single family homes on the east side of Saddle Club Road, north of Lebanon Road

No background development was identified in the North Mebane Village analysis. One additional background development was identified in the North First Street Townhomes TIA, although it was omitted in the Preserve at Mill Creek study:

- › Mebane Stagecoach, 123 residential dwelling units in the southwest quadrant of NC 119 and Stagecoach Road

Capacity Analysis Results

N 1st Street (NC 119) and Stagecoach Road (signalized)

As this intersection is expected to decline to operate at failing levels of service (LOS E or F) during the AM and PM peak hours, the following improvements are required by NCDOT and the City of Mebane at this location:

- Provide a 150' right-turn lane on westbound Stagecoach Road (North Mebane Village Phase 3, Preserve at Mill Creek)
- Provide a 200' left-turn lane on eastbound Stagecoach Road (Preserve at Mill Creek)
- Upgrade traffic signal to accommodate turn lane and potential pedestrian crosswalk improvements (North Mebane Village Phase 3, Preserve at Mill Creek)

Based on a collective review of the cumulative traffic impact at this location, conversion of this intersection to a single-lane roundabout is desired the City of Mebane and supported by NCDOT to improve traffic operations, safety, and multi-modal accommodations. Therefore, it is recommended that the developers of North Mebane Village, Preserve at Mill Creek, and North First Street Townhomes contribute fee-in-lieu (FIL) toward the following long-term transportation improvement requirements at this location.

- Contribute fee-in-lieu (FIL) toward converting this intersection to a single-lane roundabout at this location (North Mebane Village, Preserve at Mill Creek, North First Street Townhomes)

Stagecoach Road and N 5th Street (unsignalized)

As the stop-controlled approach is expected to degrade to LOS F during both the AM and PM peak hours under the build-out conditions, the following improvements are being required by NCDOT and the City of Mebane at this location:

- Provide a 100' left-turn lane on westbound E Stagecoach Road (Preserve at Mill Creek)
- Install a traffic signal (North Mebane Village Phase 2, Preserve at Mill Creek)

It should be noted that additional right-of-way may be required to implement the above improvement requirements and to provide sidewalks or multiuse path based on the City of Mebane's long-term vision along Stagecoach Road. Therefore, it is recommended

that the developers of North Mebane Village, Preserve at Mill Creek, and North First Street Townhomes contribute fee-in-lieu (FIL) toward the following long-term transportation improvement requirements at this location.

- o Contribute fee-in-lieu (FIL) toward turn lane and signalization at this intersection (North Mebane Village, Preserve at Mill Creek, North First Street Townhomes)

Fee-in-lieu (FIL) Contribution Percentages

The determination of FIL contribution percentages should be commensurate with actual project impact, which can be measured by external daily trips (after internal capture is taken out) as well as peak hour primary trips (after pass-by and diverted trips are taken out). A summary of daily external trips and peak hour primary trips is provided in Table 1.

Table 1: Development Plans and Project Site Trips

ID	Development Plan	Land Use			ADT	AM Peak Hour			PM Peak Hour		
		Residential	Commercial	Office		Enter	Exit	Total	Enter	Exit	Total
1.1	North Mebane Village - Phase 1	187 du	-	-	1,562	25	81	106	84	50	134
1.2	North Mebane Village - Phase 2	187 du	64 ksf	40 ksf	6,436	194	150	344	232	286	518
1.3	North Mebane Village - Phase 3	236 du	69 ksf	40 ksf	11,101	388	361	749	407	449	856
2	Preserve at Mill Creek	590 du	-	-	5,330	106	318	424	352	206	558
3	North First Street Townhomes	149 du	-	-	1,100	16	54	70	53	31	84

Based on calculations for general off-site improvements (Table 2), North Mebane Village should account for 61% of project cost (9% for Phase 1, 25% for Phase 2, and 27% for Phase 3), Preserve at Mill Creek should contribute 33%, while N First Street Townhomes should contribute 6% of project cost for commonly required off-site improvements that are stipulated due to the collective traffic impact with the three developments.

Table 2: Summary of Project Impact (In General for Off-Site Improvements)

ID	Development Plan	Daily Trips	%Daily Trips	AM Peak Hour Trips	%AM Peak Trips	PM Peak Hour Trips	%PM Peak Trips	%(Daily, AM+PM Peak) Average
1.1	North Mebane Village - Phase 1	1562	9%	106	9%	134	9%	9%
1.2	North Mebane Village - Phase 2	4,874	28%	238	19%	384	26%	25%
1.3	North Mebane Village - Phase 3	4,665	27%	405	33%	338	23%	27%
1	North Mebane Village Total	11,101	63%	749	60%	856	57%	61%
2	Preserve at Mill Creek	5330	30%	424	34%	558	37%	33%
3	N First Street Townhomes	1100	6%	70	6%	84	6%	6%
	Total	17531	100%	1243	100%	1498	100%	100%

At the intersection of NC 119 (North 1st Street) and Stagecoach Road (Table 3), North Mebane Village should account for 67% of project cost (10%/25%/32% for Phase 1/Phase 2/Phase 3, respectively), Preserve at Mill Creek should contribute 23%, while N First Street Townhomes should contribute 10% of project cost for the common improvement requirements (conversion to a single-lane roundabout intersection) to mitigate the cumulative traffic impact due to the three developments.

Table 3: Summary of Project Impact at the Intersection of NC 119 (North 1st Street) and Stagecoach Road

ID	Development Plan	AM Peak Hour Trips	%AM Peak Trips	PM Peak Hour Trips	%PM Peak Trips	%(Daily, AM+PM Peak) Average
1.1	North Mebane Village - Phase 1	79	10%	101	11%	10%
1.2	North Mebane Village - Phase 2	167	21%	267	29%	25%
1.3	North Mebane Village - Phase 3	286	37%	239	26%	32%
1	North Mebane Village Total	532	68%	607	65%	67%
2	Preserve at Mill Creek	171	22%	223	24%	23%
3	N First Street Townhomes	79	10%	101	11%	10%
	Total	782	100%	931	100%	100%

At the intersection of North 5th Street and Stagecoach Road in Table 4, North Mebane Village should account for 60% of project cost (4%/26%/30% for Phase 1/Phase 2/Phase 3, respectively), Preserve at Mill Creek should contribute 36%, while N First Street Townhomes should contribute 4% of project cost for the common improvement requirements (installation of a westbound left-turn lane and a new traffic signal) to mitigate the cumulative traffic impact with the three developments.

Table 4: Summary of Project Impact at the Intersection of North 5th Street and Stagecoach Road

ID	Development Plan	AM Peak Hour Trips	%AM Peak Trips	PM Peak Hour Trips	%PM Peak Trips	%(Daily, AM+PM Peak) Average
1.1	North Mebane Village - Phase 1	21	4%	27	4%	4%
1.2	North Mebane Village - Phase 2	109	22%	181	30%	26%
1.3	North Mebane Village - Phase 3	172	35%	145	25%	30%
1	North Mebane Village Total	302	61%	353	59%	60%
2	Preserve at Mill Creek	169	34%	223	37%	36%
3	N First Street Townhomes	21	4%	27	4%	4%
	Total	492	100%	603	100%	100%

A sample FIL calculation spreadsheet is attached in Table 5.

Table 5: Sample FIL Calculations Based on Project Impact

	Development plan	NC 119 at Stagecoach		N 5th Street at Stagecoach		Other Generic Items	
		Amount	FIL%	Amount	FIL%	Amount	FIL%
1.1	North Mebane Village - Phase 1	\$85,000	10%	\$20,000	4%	\$13,500	9%
1.2	North Mebane Village - Phase 2	\$212,500	25%	\$130,000	26%	\$37,500	25%
1.3	North Mebane Village - Phase 3	\$272,000	32%	\$150,000	30%	\$40,500	27%
1	North Mebane Village Total	\$569,500	67%	\$300,000	60%	\$91,500	61%
2	Preserve at Mill Creek	\$195,500	23%	\$180,000	36%	\$49,500	33%
3	N First Street Townhomes	\$85,000	10%	\$20,000	4%	\$9,000	6%
	Total	\$850,000	100%	\$500,000	100%	\$150,000	100%



AGENDA ITEM #6E

Text Amendment to the Unified Development Ordinance (UDO) Articles 3 and 4

Presenter

Ashley Ownbey, Interim Development Director

Applicant

N/A

Public Hearing

Yes No

Summary

At its June 6, 2022, meeting the Mebane City Council considered comprehensive amendments to the City's Unified Development Ordinance (UDO), and voted to approve most of the amendments presented. The City Council will continue consideration of two text amendments to the UDO:

1. Revisions to the naming of manufacturing zoning districts
2. Standards for framed, welded wire fences

The purpose of renaming the manufacturing zoning districts is to better reflect the land use intensity. Staff is presenting two options. The first option is to reverse the ordering of the existing zoning districts so that the increase in number corresponds with the increase in land use intensity. With this change, M-1 would become the Light Manufacturing District and M-2 would become the Heavy Manufacturing District. The second option is to remove the use of numbers. For this option, staff proposes LM, Light Manufacturing District and HM, Heavy Manufacturing District. Amendments to the names of the manufacturing zoning districts will primarily affect Articles 3 and 4, with updates to all references to the zoning districts occurring in other articles of the UDO.

The purpose of adopting standards for fences using welded wire is to allow the use of this fence material under certain conditions in the side and rear yards. The proposed amendments are redlined in the attachment.

Financial Impact

No financial impact is anticipated directly to the City.

Recommendation

Staff recommends approval of the amendments.

Suggested Motion

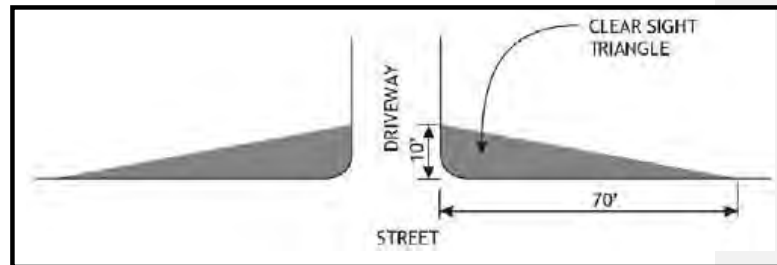
Motion to amend the naming of the manufacturing zoning districts to _____ and _____, and to adopt the amendments to the Unified Development Ordinance, Article 4-2.D as presented. The amendments to the Unified Development Ordinance are consistent with the objectives and policies for growth and development in the Comprehensive Land Development Plan *Mebane By Design*.

Attachments

1. Proposed Fence Amendments

C. Fences and Walls

1. In all zoning districts, fences in yards shall not impede vehicular visibility or movement at any intersection on the edge of driveways with street lines; nor shall they encroach on the right-of-way of a street. For any corner lot, a sight triangle measuring ten feet from the right of way and extending 70 feet from the edge of each side of the corner lot shall be required when designing the fence dimensions.



(Amended by Mebane City Council, 06/05/2017)

2. Nothing in this subsection shall preclude, however, the installation of temporary fences around construction works, erected or maintained pursuant to the NC Building Code or soil erosion and sedimentation control requirements.
3. The following fence types are permitted in all zoning districts:
 - (a) Masonry or stone walls;
 - (b) Ornamental iron, aluminum, or steel;
 - (c) Chain-link or chain-link panel or slat weave, as regulated in residential districts;
 - (d) Wood;
 - (e) Vinyl picket and/or slat; or
 - (f) **Welded wire fences framed on all sides by stained wood or masonry at minimum every 8 feet, as regulated in residential districts;**
 - (g) Similar materials that may be approved by the Development Director.

Amended June 6, 2022

Figure 4-1: Permitted Fence Types



a. Masonry or Stone Wall



b. Ornamental Aluminum, Iron, or Steel



c. Chain Link



d.1 Wood



d.2 Wood



e. Vinyl Picket and/or Slat



f. Framed Welded Wire

Commented [PD1]: Image moved from "Prohibited" to "Permitted"

Amended June 6, 2022

Mebane UDO, Article 4

February 4, 2008; amended November 25, 2008; October 6, 2014; January 12, 2015; June 5, 2017; October 1, 2018; November 5, 2018; March 4, 2019; June 7, 2021; October 4, 2021; June 6, 2022

4. The following fence types are prohibited:
- (a) Fences constructed primarily of barbed or razor wire, except for the purpose of enclosing livestock;
 - (b) Fences carrying electrical current, except for the purpose of enclosing livestock;
 - (c) Fences constructed of readily flammable material such as paper, cloth, or canvas, except when approved by the Development Director for screening athletic or public facilities;
 - (d) Fences topped with barbed wire or metal spikes in residential districts, except those serving a public institution for public safety or security purposes;
 - (e) Fences constructed of concertina wire and;
 - (f) Fences constructed of welded wire **not framed as specified by the standards in Section 4-2, C-3(f).**

Amended June 6, 2022

Figure 4-2: Prohibited or Restricted Fence Types



a. Barbed or Razor Wire



b. Electric Fence for Non-Farm Purposes



c. Flammable Material



d. Concertina Wire

Mebane UDO, Article 4

February 4, 2008; amended November 25, 2008; October 6, 2014; January 12, 2015; June 5, 2017; October 1, 2018; November 5, 2018; March 4, 2019; June 7, 2021; October 4, 2021; June 6, 2022



e.1 Welded Wire

e.2 Welded Wire

Commented [PD2]: Relocated to "Permitted" section.

Amended June 6, 2022

5. Fences shall be maintained in a safe manner plumb (vertical) to the ground. Fences no longer maintained in a safe manner through neglect, lack of repair, manner of construction, method of placement, or otherwise shall be repaired, replaced, or demolished according to current City standards.

Amended June 6, 2022

6. Fence Standards

(a) Residential:

- (i) Front Yard: Fences shall not exceed four feet in height. Chain link and welded wire shall not be used in front yards.
- (ii) Side & Rear Yards: Fences shall not exceed eight feet in height.
- (iii) Corner Yards: For lots that feature a street frontage on a side yard, fences greater than four feet in height shall be no closer than five (5) feet from the right of way. Otherwise, fence height shall be a maximum of six (6) feet. Materials restrictions in these circumstances are the same as those applying to residential front yards.

Amended June 6, 2022

- (b) Recreational, Agricultural, and Mining Uses: No fence shall exceed eight feet in height unless the fence observes the required principal building setbacks or is at least fifteen feet from all property lines. Otherwise, no fence shall exceed twelve feet in height.

- (c) Commercial, Industrial, Institutional, Office, or Other Nonresidential Uses: No fence shall exceed eight feet in height unless the fence observes the required principal building setbacks or is at least fifteen feet from all property lines.
- (d) Exceptions: Fence height limitations do not apply to fences built in conjunction with electric or gas substations; municipal solid waste disposal facilities; water or sewage treatment plants or facilities; municipal water storage facilities; public correctional and mental institutions; military facilities; or hazardous or radioactive waste storage or disposal facilities.

7. Measurements:

- (e) Fence height shall be measured at the highest point, not including columns or posts, of the fence section as measured from the grade on the side nearest the abutting property or street.
- (f) Columns or posts shall not extend more than eighteen inches above the built height of the fence. Columns or posts shall be separated by a horizontal distance of at least four feet, except at gates.

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8. Other Fence Requirements

- (g) Obstruction of View: No fence shall be placed or retained in such a manner as to obstruct vision at any intersection with public or private streets.
- (h) Obstruction of Access: No fence shall block access from doors or windows. Fences shall be located at least two feet from building walls except where fences project from a building wall.
- (i) Obstruction of Drainageway: Fence construction shall not alter or impede the natural flow of water in any stream, creek, drainage swale, or ditch.
- (j) Orientation of Barbed Wire: On fences topped with barbed wire, the bottom strand must be at least six feet above grade.
- (k) Within Utility Easements: No fence shall be located within a utility easement without review and approval by the utility provider, including the City.

Amended June 6, 2022

- (l) Within Required Planting Areas: The setback of fences within

a required planting area shall be subject to the approval of a landscaping plan.

- (m) Fences shall be constructed such that exposed framing faces the interior yard and not a public or private street right-of-way.



AGENDA ITEM #7

Mebane Main Street Program Board
of Directors Ex Officio Appointments
(Continued from the June 6, 2022 meeting)

Meeting Date

July 11, 2022

Presenter

Preston Mitchell, Assistant City Manager
Lawson Brown, City Attorney

Public Hearing

Yes No

Summary

Appointment of two City Councilmembers as Ex Officio members of the Mebane Main Street Program Board of Directors.

Background

At the last budget work session, a Main Street Program Overview of the City Manager's proposal for the FY 22-23 plan of action was presented to City Council. Specifically, this included the recommendation of the Downtown Associate Community Steering Committee serving as one-year Provisional Board of Directors with two members of Mebane City Council serving as Ex Officio board members.

As questioned at the June meeting, the following response is provided:

The City Charter provides: "The City Council, hereinafter referred to as the (Council) and the Mayor shall be the governing body of the City." Section 2.1. Additionally, Section 2.2 provides "The City Council shall be composed of five members who shall be elected" Section 2.3, in part, states "The Mayor shall be the official head of the City government" As a member of the governing board and as "official head of the City government", and Chapter 1, Sec. 1-2. - Definitions and rules of construction of the Code of Ordinances "Council. The terms "council" and "city council" shall mean the members of the governing body of the City of Mebane, North Carolina." a logical interpretation of the Mayor's participation in the Main Street program, is that he would so qualify. Furthermore, City staff stated at the June meeting that it was not the staff's intention (during the budget work session or June City Council meeting) to take the interpretation of "City Council" excluding Mayor, as the thought process was that the Mayor is part of City Council as the governing body.

Financial Impact

There is no new financial impact from the appointment of the two ex officio members beyond the proposed annual budget allocation for the Mebane Main Street Program.

Recommendation

Staff recommends the City Council appoint two of its members as Ex Officio Appointments to the Mebane Main Street Program Board of Directors.

Suggested Motion

I hereby move that the appointment of (Insert name of two members of Mebane City Council) as Ex Officio Appointments to the Mebane Main Street Program Board of Directors.

Attachments

1. None



AGENDA ITEM #8

Volunteer Firefighter Pay Increase

Meeting Date

July 11, 2022

Presenter

Chris Rollins, City Manager

Bob Louis, Fire Chief

Public Hearing

Yes No

Summary

This is a request to increase the volunteer firefighters' pay per call. I would recommend increasing pay per call for EMT calls to \$4.00 and pay per call for fire calls \$10.00. I apologize this funding level was included in the new budget. I spoke about this increase and did not include the text in The Manager's Recommended Budget. This would help offset the fuel cost and inflation for our volunteers.

Background

EMT calls are currently at \$2.00 per call and have never been increased in the history of the department since we started paying per call in the mid '70s. The fire calls are currently at \$8.00 per call and the last time they were increased was in 2010.

Financial Impact

Included in FY 2022/2023 budget.

Recommendation

Recommendation to approve recommended increases

Suggested Motion

Motion to increase the volunteer pay per call for EMT calls to \$4.00 and Fire calls to \$10.00.

Attachments

None

Mebane Fire Dept. Monthly Report

	May	Year to Date	% Change from 2021
Structural Response			
Totals	34	140	-7%
Average Personnel Per Response	9	12	
Average Volunteer Response	2	2	
Non Structural Responses			
Totals	62	321	6%
Total Fire Response	96	461	2%
Location (Year to Date)	North	South	
Total Number/Percentage	232/50%	229/50%	
Average Fire Response Time	North 5:11	South 5:35	
Percentage of Calls Inside City	54%	54%	
Percentage of Calls Outside City	38%	32%	
Percentage of Calls for Mutual Aid	8%	14%	
EMT Response	204	889	28%
Location (Year to Date)	North	South	
Total Number/ Percentage	417/47%	472/53%	
CPS Seats Checked	19	78	
Smoke Alarms Checked/Installed	0	50	
Station Tours/Programs	3	18	
# of Participants	337	712	
Events Conducted/Attended	4	9	
Views on Fire Safety Facebook Posts	0	560	



The Planning Board meeting was held at the Glendel Stephenson Municipal Building located at 106 E. Washington Street, Mebane, NC 27302 and livestreamed via YouTube. The video can be accessed through the following link: https://www.youtube.com/watch?v=EJHbpR_Vhvw

Members Present:

Judy Taylor, Vice Chair
Susan Semonite
Keith Hoover

Larry Teague
William Chapman

City Staff Present:

Ashley Ownbey, Planner
Audrey Vogel, Planner

Cy Stober, Development Director
Kirk Montgomery, IT Director

1. Call to Order

At 6:30 p.m. Vice Chair Judy Taylor called the meeting to order.

2. Approval of May 9th, 2022, Meeting Minutes

Susan Semonite made a motion to approve the meeting minutes. William Chapman seconded the motion which passed unanimously.

3. City Council Actions Update

Cy Stober, Development Director, provided an update on the City Council's recent action at the May City Council meeting

4. Request to rezone the +/- 21.33-acre property located on the northwest corner of Mebane Oaks Rd and Old Hillsborough Rd (PIN 9824013830) from B-2 and R-20 to B-2 (CD) to allow for a 60,000-sf place of worship by The Summit Church.

The Summit Church, LLC, is requesting to rezone the above property from B-2 and R-20 to B-2 (CD) (General Business Conditional District) to allow for a 60,000-sf place of worship with a site specific plan. The property is located in the Mebane ETJ. Proposed onsite amenities and traffic considerations are detailed in the meeting agenda packet available [here](#). The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval. The Technical Review Committee (TRC) has reviewed the site plan and the applicant has revised the plan to reflect the comments

Audrey Vogel provided an overview and PowerPoint presentation of the request.

David Wagner, Director of Facilities for the Summit Church, provided some background information about the Summit Church. He explained that they have multiple campuses in the area and have been in Mebane for 5 years currently using Hawfields Middle School. He noted that they have grown to a size necessitating a permanent facility.



Jonathan Allen, P.E. of NV5 Engineering presented the site plan and discussed the findings of the TIA. Sandra Wahba (LS3P), the project architect, described the proposed architecture for the facility and how it would be cohesive with Mebane's character.

Larry Teague asked about the proposed sidewalk. Mr. Allen confirmed that the sidewalk would be extended along Mebane Oaks Rd to the edge of the property.

Susan Semonite asked about the traffic study. Mr. Allen confirmed that the traffic data reflected pre-covid conditions.

Tom Boney of the Alamance News asked about the construction timeframe. Mr. Allen responded that the applicant is hoping to break ground in the fall and to be complete in 2023.

Larry Teague made a motion to approve the request as follows:

Motion to find that the application is consistent with the objectives and goals in the City's 2017 Comprehensive Land Development Plan Mebane By Design. The request:

- *Is for a property within the City's G-2 Residential growth strategy area;*
- *Provides a sidewalk and multi-use path, supporting walking between differing land uses while also reducing parking requirements, and supports compact and walkable environments, consistent with Growth Management Goal 1.6 and Open Space And Natural Resource Protection goals 4.2 and 4.3 (p. 17)*
- *Provides a greenway, as required in the City's Bicycle and Pedestrian Transportation Plan*

Keith Hoover seconded the motion which passed unanimously. Judy Taylor confirmed that the request would be scheduled for a public hearing before the Mebane City Council on July 11th.

5. Request for a Special Use Permit to allow a 185-foot monopole non-stealth telecommunications facility on the +/- 24.89-acre property zoned B-2 & M-2 located on Trollingwood Hawfields Rd (PIN 9816764270) by CITYSWITCH II-A, LLC.

Staff presented the above application from Towercom IV-B, LLC. Special Use Permit granted by City Council is required for this wireless support structure for the following reason:

- Setbacks required by the underlying zoning must be reduced to accommodate the proposed wireless support structure

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval. The Technical Review Committee (TRC) has reviewed the site plan and the applicant has revised the plan to reflect the comments. The applicant has an agreement to lease the property for this special use, pending approval of the City Council.

Cy Stober provided an overview and PowerPoint presentation of the request. Prior to the applicant presentation, Mr. Stober answered questions about the request.



Larry Teague asked about the pond on the property and the site access and the Lowes Blvd Corridor. Cy Stober confirmed that the existing farm pond will remain, and the tower will be accessed via a driveway on Trollingwood Hawfields Road. He also added that the corridor study would not impact the tower area.

Tom Boney asked about the proposed setbacks and tower location. Cy Stober confirmed that the tower would be setback 50' from the property line adjoining the right of way for the interstate.

Marc Tucker of Fox Rothschild LLP, presented on the behalf of the applicant in addition to Stephen Howard and Paul Prychodko of AT&T.

Mr. Tucker noted during his presentation:

- the tower would not injure surrounding property values, based on the analysis submitted with the application.
- The tower will not materially endanger the public health or safety
- The tower is presumed to be in harmony with the surrounding area and in conformity with adopted long range plans.
- The cell service improvements from the tower will help foster development in the area.
- The tower would support 6 antennas, the primary one being for AT&T.

Following the presentation, Mr. Tucker answered questions from the Planning Board and community members in attendance.

Larry Teague asked if there would be a light on the top of the tower for aircraft safety. Mr. Tucker responded that the height of the tower did not necessitate a light.

Tom Boney asked for elaboration on the collapse design of the tower. Mr. Tucker answered that per the fall zone analysis and engineering letter provided with the application, the tower extends deep under the ground and is designed to snap or fold onto itself and fall within a 50' radius under very rare extreme conditions of heavy radial ice and sustained winds that would cause failure. Stephen Howard of AT&T used an analogy of a bendy straw to further elaborate on the design.

Harry Isley explained that he and his brother Mack Isley own the unaddressed 4-acre property on Lowes Blvd (PIN 9814031565). Mr. Isley explained that they sold the land for the Lowes in Mebane and have an interest in development of this area. He expressed concern that the tower is not consistent with the surrounding area and referenced the recently approved hotels project adjacent to the tower (DRPBS Hospitality) and the Lowes Blvd Corridor Study.

Patty Dissinger, spoke on behalf of her parents who own the subject property and live adjacent to the site (1436 Trollingwood Hawfields Rd). Ms. Dissinger explained that the Tower may not be pretty, but it is needed because cell service coverage is very poor in the surrounding area. She added that the new hotels were already approved being near I-40 and the truck stop and future development in the area is most likely going to be industrial or commercial. Ms. Dissinger added that the project would be beneficial to her family by providing an income stream and better access to their billboard.



Keith Hoover asked for clarification about the referenced hotels. Cy Stober clarified that the adjacent property on Lowes Blvd has an approved special use permit for two hotels and a retail/office building. He added that construction plans are under review.

Judy Taylor asked if any trees would be removed. Cy Stober responded that vegetation would be removed only in the leased area.

Susan Semonite made a motion to approve the request as follows:

Motion to approve special use request for 175'-tall non-stealth wireless communication facility as presented, including the setback deviation to allow for a 50' setback to the north, and Motion to find that the request is both reasonable and in the public interest because it finds that it:

- a. Will not materially endanger the public health or safety;*
- b. Will not substantially injure the value of adjoining or abutting property;*
- c. Will be in harmony with the area in which it is located; and*
- d. Will be consistent with the objectives and goals in the City's adopted plans*

Larry Teague seconded that motion which passed unanimously. Judy Taylor confirmed that the request would be scheduled for a public hearing before the Mebane City Council on July 11th.

6. Request to rezone two (2) properties totaling +/- 20.38 acres located at 704 North First Street (PINs 9825085533 & 9825095188) from R-20 to R-8 CD for a residential development of 42 townhomes by Land Acquisition & Development Services, LLC.

Land Acquisition & Development Services, LLC, is requesting to rezone the above properties from R-20 to R-8 (CD) to allow for a residential development of 42 townhomes. The property is located within Mebane City Limits. Proposed onsite amenities, waiver requests and traffic considerations are detailed in the meeting agenda packet available [here](#). The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval. The Technical Review Committee (TRC) has reviewed the site plan and the applicant has revised the plan to reflect the comments

Audrey Vogel provided an overview and PowerPoint presentation of the request. Ms. Vogel also provided an overview of the proposed multiuse path network and pedestrian improvements connecting Cates Farm and Lake Michael parks to be constructed by the applicant in addition to three other developers with proposed residential projects in the area.

David Michaels of Windsor Homes represented the applicant and presented the site plan and proposed home products, including architectural commitments.

Susan Semonite asked about the price point of the homes and if the community would be age restricted. Mr. Michaels responded that it would not be restricted but the targeted buyer is older adults. He responded that the price point is expected to be in the \$300-\$400k range.



Larry Teague asked for more information about the stream crossing for the multiuse path. David Michaels responded by highlighting the proposed bridge over the stream. He explained that this route would divert pedestrians and cyclists away from the road while providing access to adjacent developments and a broader path network.

Larry Teague asked about stormwater and flooding. Mr. Michaels explained that the project engineer Gene Mustin is qualified to and tasked with designing a stormwater management system with will meet all of the City's criteria.

Judy Taylor asked about sidewalk connections to the shopping center across the street. Mr. Michaels highlighted the sidewalks along the frontage of the property that extend towards Stagecoach Rd.

Margaret Cole, 1603 St. Andrews Dr, commented that she would be interested in living in one of the proposed homes. Ms. Cole asked how big the garages would be? Marlo Countiss, sales agent from Windsor Homes in attendance, answered that the garages would be in the 19x19 to 20x21 range. Ms. Cole responded that would be too small. Ms. Cole also asked about the existing home on the property and if the existing tree canopy would be preserved. She emphasized the importance of tree preservation with respect to climate change. David Michaels responded that the existing home would be demolished, noting that it is in poor condition. Mr. Michaels highlighted in the site plan which areas would have preserved tree canopy or would be replanted.

Judy Tibedo, 1526 St. Andrews Dr, asked about the proposed greenway network and if it would be accessible to Mill Creek. Cy Stober pulled up the map of the proposed greenway network confirmed that it would be accessible via the Mill Creek community.

Susan Semonite asked about the crossings shown on the map. Cy Stober responded that they would be high visibility crossings, to be evaluated by NCDOT on a case-by-case basis.

Tom Boney asked for more information about the proposed homes and if Windsor Homes has done anything similar in the county. David Michaels explained that the homes would be paired in groups two, with the exception of four detached units. Tom Hall of Windsor Homes answered that they have done detached units in Magnolia Glenn.

William Chapman made a motion to approve the request as follows:

*Motion to approve the R-8 (CD) zoning as presented and to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan Mebane By Design. The request:*

- *Is for a property within the City's G-3 Mixed-Use growth strategy area;*
- *promotes a village concept that supports compact and walkable environments, consistent with Growth Management Goal 1.1 (p. 17);*
- *Is providing community facilities in the form of a greenway that connects to surrounding residential developments and ultimately Lake Michael and Cates Farm Park, consistent with Growth Management Goal 1.4 (p. 17, 83);*



- *Provides a greenway and open space in a developing area, connecting to other locations, consistent with Open Space and Natural Resource Protection Goal 4.3 (p. 17, 89, & 90); and*
- *Provides a greenway, as required in the City's Bicycle and Pedestrian Transportation Plan.*

Keith Hoover seconded the motion which passed unanimously. Judy Taylor confirmed that the request would be scheduled for a public hearing before the Mebane City Council on July 11th.

7. Request to rezone the +/- 30.55-acre property located on North First Street (PIN 9816907457), from R-20 to R-8 (CD) to allow for a residential townhome development of 150 homes by Kirkpatrick & Associates, LLC.

Kirkpatrick & Associates, LLC., is requesting to rezone the above properties from R-20 to R-8 (CD) to allow for a residential development of 150 townhomes. Proposed onsite amenities, waiver requests and traffic considerations are detailed in the meeting agenda packet available [here](#). The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval. The Technical Review Committee (TRC) has reviewed the site plan and the applicant has revised the plan to reflect the comments

Ashley Ownbey provided an overview and PowerPoint presentation of the request.

Tony Tate represented the applicant and presented the site plan. Caroline Cheeves of Ramey Kemp Associates presented the findings of the TIA, describing the proposed traffic improvements and the traffic impact relative to the other proposed residential developments off of N First St in TRC. Jay Colvin of Dan Ryan Builders presented the home products. Representatives from Stocks Engineering were also in attendance.

Larry Teague asked if there were any retention ponds. Mr. Tate confirmed that there are two ponds as shown on the site plan to collect and drain stormwater.

Judy Taylor asked about the parking shown on the plans. Mr. Tate highlighted on the plans where additional spaces are being provided near the mail kiosk.

Susan Semonite asked about the minimum 3' side yard setback. Mr. Tate explained that there would be 3' of side yard area as part of the end townhome lots, but all together 20' of separation between buildings including common area owned and maintained by the HOA.

Keith Hoover made a motion to approve the request as follows:

Motion to approve the R-8 (CD) zoning as presented and to find that the application is consistent with the objectives and goals in the City's 2017 Comprehensive Land Development Plan Mebane By Design. The request:

- *Is for a property within the City's G-3 Mixed-Use Growth Area and is "...an ideal site for residential growth..." (Mebane CLP, p. 80);*



- *Promotes a village concept that supports compact and walkable environments, consistent with Growth Management Goal 1.1 (p. 17 & 82);*
- *Improves safety and confidence of pedestrian access across NC-119, consistent with Public Facilities and Infrastructure Goal 2.1 (p. 17 & 84);*
- *Provides open space connectivity and a greenway connection across a major transportation corridor, consistent with Open Space and Natural Resource Protection Goal 4.2 (p. 17 & 89);*
- *Provides open space in a developing area, connecting to other locations, consistent with Open Space and Natural Resource Protection Goal 4.3 (p. 17, 89, & 90); and,*
- *Contributes to a greenway network, as required by the City's Bicycle and Pedestrian Transportation Plan.*

William Chapman seconded the motion which passed unanimously. Judy Taylor confirmed that the request would be scheduled for a public hearing before the Mebane City Council on July 11th

8. New Business

The following new business items were shared with the Board:

- The newly appointed Planning Board member Jason VanBuren will join the board at the July 18th Planning Board Meeting
- The board member elections for chair and vice chair will be on the July meeting agenda/
- Staff is arranging a Planning Board basics training
- City offices closed Monday, June 20 for Juneteenth
- Goodbye and thank you to Cy for his last Planning Board meeting as Mebane Development Director.

9. Adjournment

Vice Chair Judy Taylor adjourned the meeting at 8:45 p.m.