



Council Meeting Agenda
December 5, 2022
6:00PM

1. Call to Order Mayor Ed Hooks
2. Moment of Silence Mayor
3. Public Comments Mayor
4. Recognition of Emily Mathews-
2022 NCHSAA 3A Individual State Golf Champion Mayor
5. Consent Agenda Mayor
 - a. Approval of Minutes- November 7, 2022 Regular Meeting
 - b. Petition for Voluntary Contiguous Annexation- McKay Land NC, LLC- McKay Books
 - c. Petition for Voluntary Contiguous Annexation- G & L Construction and Larry & Susan Wood- Peartree Townhomes
 - d. Water Resource Recovery Facility (WRRF) Expansion Capital Project Ordinance Amendment 5
 - e. 2023 Regular Meetings and FY 2023-2024 Budget Calendar
6. Public Hearings-
 - a. Ordinance to Extend the Corporate Limits-
Voluntary Contiguous Annexation- Sarah Bradley, J. Thomas Wilson,
Tammy C. Wilson, Steven S. Scott and Linda P. Scott..... Lawson Brown, City Attorney
 - b. Conditional Rezoning- Crow Industrial +/- 77.689 acres-
1447 Trollingwood-Hawfields Road from LM (Light Manufacturing)
and B-2 (General Business) to LM CD (Light Manufacturing Conditional District)
to allow light-industrial development including three warehouse buildings by CHI
Acquisitions, L.P..... Ashley Ownbey, Development Director
 - c. Rezoning- TRG Capital, LLC- +/- 0.74-acre parcel- 304 E. Washington Street
from HM (Heavy Manufacturing) to O&I (Office and Institutional)..... Ms. Ownbey
 - d. Rezoning- TRG Capital, LLC- +/- 15,681 square foot unaddressed parcel
with frontage on Oakwood Street from HM (Heavy Manufacturing) and R-12
(Residential) to R-12 (Residential) Ms. Ownbey
 - e. Rezoning- TRG Capital, LLC- +/- 12,632 s.f. unaddressed parcel with frontage on
Oakwood Street (GPIN 9825232048) from HM (Heavy Manufacturing) and R-12
(Residential) to R-12 (Residential) by TRG Capital, LLC Ms. Ownbey
7. Adjournment Mayor



The Mebane City Council met for its regular monthly meeting at 6:00 p.m., Monday, November 7, 2022 in the Council Chambers of the Glendel Stephenson Municipal Building located at 106 E. Washington Street.

Councilmembers Present:

Mayor Ed Hooks
Mayor Pro-Tem Tim Bradley
Councilmember Katie Burkholder
Councilmember Sean Ewing
Councilmember Montrena Hadley
Councilmember Jonathan White

Also Present:

Chris Rollins, City Manager
Preston Mitchell, Assistant City Manager
Lawson Brown, City Attorney
Stephanie Shaw, City Clerk
Ashley Ownbey, Development Director
Daphna Schwartz, Finance Director
Aaron Davis, Recreation and Parks Director
Franz Holt, City Engineer

Mayor Hooks called the meeting to order. Pastor Ken Tilley of Crosslink Community Church gave the invocation.

Mr. Mitchell recognized Kelly Hunter, the City's first Public Information Officer (PIO). Miss Hunter introduced herself and shared her excitement for her new role as PIO.

Dan Shannon, President of the Downtown Mebane's Development Corporation (DMDC), came forward to recognize Barbara Hollerand, DMDC's Executive Director. He shared a little information regarding Ms. Hollerand's professional experience and commended her on the work she has completed so far. Ms. Hollerand shared her enthusiasm for Mebane and the community as a whole.

Mayor Hooks read aloud a proclamation promoting Small Business Saturday to be held on November 26, 2022.

Mr. Shannon took a moment to thank Mayor Hooks for his personal donation of \$5,000 to the DMDC. He stated that they have had another major contributor of a \$5,000 donation as well. He thanked the community and its leaders, stating that the DMDC has had a tremendous start.

During the Public Comment Period, Colin Cannell, 717 S. Fifth Street, Mebane, shared his concerns with the Council's acceptance of payments-in-lieu from developers as defined in Mebane's Unified Development Ordinance. He feels those payments-in-lieu are extremely undervalued and requested that Council take offers of payments-in-lieu under careful consideration.

Also, during the Public Comment Period, Mike Davis, Stonewall Construction Services, LLC, Burlington, stated that they have done multiple projects in Mebane and he wanted to thank the City's Inspections and Planning staff and the Fire Inspector for all of their help and hard work.

Concluding the Public Comment Period, Jay Starnes, 701 Fairway Drive, Mebane, HOA President of the Arrowhead Greens subdivision, shared concerns with traffic issues in their neighborhood. He stated that they would like to begin the process of having traffic calming devices installed in their subdivision similar to those installed on London Lane. Mayor Hooks directed Mr. Starnes to speak with the City Manager or Assistant City Manager.

Mayor Hooks gave an overview of the Consent Agenda:

- a. Approval of Minutes- October 3, 2022 Regular Meeting
- b. Final Plat Approval- Bowman Place, Ph. S-2
- c. Final Plat Approval- Summerhaven, Ph. 2
- d. Final Plat Approval- Buckhorn Business Centre, Ph. 1
- e. Final Plat Reapproval- St. Barts Place
- f. Petition for Voluntary Contiguous Annexation- Sarah S. Bradley, J. Thomas Wilson, Tammy C. Wilson, Steven S. Scott and Linda P. Scott
- g. American Rescue Plan Resolution

h. Quarterly Financial Report- July 1, 2022- September 30, 2022

Mayor Hooks announced that item d. is pulled from the Consent Agenda. He requested action on the remaining items a-h. Mr. Bradley made a motion, seconded by Mr. Ewing, to approve the Consent Agenda with the exception of item d. The motion carried unanimously.

Item f.

RESOLUTION SETTING DATE OF PUBLIC HEARING ON
QUESTION OF ANNEXATION PURSUANT TO G.S. 160A-31

Annexation No. 157

WHEREAS, a petition requesting annexation of the area described herein has been received; and

WHEREAS, certification by the City Clerk as to the sufficiency of the petition has been made;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Mebane, North Carolina that:

Section 1. A public hearing on the question of annexation of the area described herein will be held at the Mebane Municipal Building at 6:00 p.m. on December 5, 2022.

Section 2. The area proposed for annexation is described as follows:

Being all of the Sarah Bradley, et al Tracts as recorded in Deed Book 3859, Page 935, and depicted in Plat Book 71, Page 495 & Plat Book 76, Page 191, of the Alamance County Registry, the full width of Senator Ralph Scott Parkway for the length of frontage of the described tracts, and a portion of Trollingwood-Hawfields Road.
Melville Township, Alamance County, North Carolina.

Being all that certain land more particularly described as follows:

COMMENCING at NGS Monument "Hawfields", having NCSPCS Coordinates of Northing: 840,044.17' Easting: 1,909,650.87', thence North 13°05'23" West a distance of 1,447.31 feet to an existing iron pipe on the northern corner of Hawfields Presbyterian Church [1] (GPIN# 9804901755 / Deed Book 998, Page 745 (also see Deed Book 2597, Page 330, and Plat Book 71, Page 495), the point of BEGINNING; thence along the line of Hawfields Presbyterian Church [1] the following three (3) calls: South 55°38'37" West a distance of 640.15 feet to an existing iron pipe; thence South 44°05'04" West a distance of 256.98 feet to an existing iron pipe; thence South 40°47'00" West a distance of 499.10 feet to an existing iron pipe on the northern line of Hawfields Presbyterian Church [2] (GPIN# 9804802087 / Deed Book 998, Page 745); thence with the line of Hawfields Presbyterian Church North 77°51'02" West a distance of 653.47 feet to an existing iron pipe on the eastern line of Exeter 2125 Senator Ralph Scott LP (GPIN# 9803794914 / Deed Book 3706, Page 292 (also see Plat Book 78, Page 56); thence with the line of Exeter 2125 Senator Ralph Scott LP North 30°42'00" West a distance of 16.70 feet to a set iron pipe on the southern Right of Way of Senator Ralph Scott Parkway (a public 60' R/W); thence continuing North 30°42'00" West a distance of 60.02 feet to a set iron pipe on the northern R/W of Senator Ralph Scott Parkway, and the southeastern corner of BT-OH LLC (GPIN# 9804314534 / Deed Book 4096, Page 653 (also see Plat Book 82, Page 91); thence continuing along the line of BT-OH LLC the following two (2) calls: North 30°42'00" West a distance of 1,345.68 feet to an existing iron pipe; thence North 30°42'00" West a distance of 1,077.13 feet to a set iron pipe on the southern R/W of Interstate 40-85 (a variable width public R/W; thence along the southern R/W of Interstate 40-85, and Trollingwood-Hawfields Road (a variable width public R/W) the following ten (10) calls: with a curve turning to the left with an arc length of 384.59', with a radius of 3,949.72', with a chord bearing of North 78°33'35" East, with a chord length of 384.44' to a NCDOT R/W disc; thence North 86°16'15" East a distance of 98.09 feet to a NCDOT R/W disc; thence North 79°00'44" East a distance of 195.74 feet to a NCDOT R/W disc; thence with a curve turning to the right with an arc length of 204.08', with a radius of 1,829.86', with a chord bearing of North 84°13'55" East, with a chord length of 203.98' to a NCDOT R/W disc; thence North 89°27'20" East a distance of 195.78 feet to a NCDOT R/W disc; thence North 88°51'22" East a distance of 206.74 feet to a point; thence with a curve turning to the left with an arc length of 125.25', with a radius of 1,225.92', with a chord bearing of North 82°19'31" East, with a chord length of 125.20' to a NCDOT R/W disc; thence North 76°15'53" East a distance of 177.16 feet to a NCDOT R/W disc; thence

South 64°11'31" East a distance of 131.35 feet to a set iron pipe, and passing an existing iron pipe at 63.14 feet; thence South 39°46'26" East a distance of 107.18 feet to a NCDOT R/W disc; thence crossing the R/W of Trollingwood-Hawfields Road North 49°23'29" East a distance of 130.59 feet to a NCDOT R/W disc on the eastern R/W of Trollingwood-Hawfields Road and the line of PFJ Southeast LLC (GPIN# 9804836168 / Deed Book 3603, Page 741); thence continuing with the line of PFJ Southeast LLC the following two (2) calls: South 41°02'06" East a distance of 62.79 feet to a point; thence South 37°42'26" East a distance of 251.62 feet to an existing iron pipe on the corner of Trollingwood-Hawfields LLC (GPIN# 9804922987 / Deed Book 2835, Page 293 (also see Plat Book 73, Page 102); thence with the line of Trollingwood-Hawfields LLC the following three (3) calls: with a curve turning to the left with an arc length of 45.27', with a radius of 1,819.86', with a chord bearing of South 33°37'37" East, with a chord length of 45.27 feet to a point; thence South 07°50'12" East a distance of 70.70 feet to a point; thence South 32°33'41" East a distance of 126.24 feet to an existing iron pipe on the corner of John A. Williams (GPIN# 9804922954 / Deed Book 3915, Page 293 (also see Plat Book 73, Page 102); thence with the line of John A. Williams, and Trollingwood-Hawfields LLC the following two (2) calls: South 36°41'39" East a distance of 254.39 feet to a point; thence South 41°08'05" East a distance of 170.92 feet to a point; thence crossing the R/W of Trollingwood-Hawfields Road South 48°51'55" West a distance of 60.00 feet to the western R/W of Trollingwood-Hawfields Road; thence with the western R/W of Trollingwood-Hawfields Road the following seven (7) calls: South 41°08'05" East a distance of 218.97 feet to a set iron pipe; thence South 34°46'08" East a distance of 14.34 feet to a set iron pipe; thence South 34°46'08" East a distance of 88.97 feet to a set iron pipe; thence South 41°03'45" East a distance of 99.24 feet to a set iron pipe; thence 42°18'44" East a distance of 316.75 feet to a set iron pipe; thence South 46°49'31" East a distance of 29.36 feet to a set iron pipe; thence South 41°01'06" East a distance of 126.79 feet to a set iron pipe; thence South 55°38'37" West a distance of 11.14 feet to the point of BEGINNING, containing an area of 4,124,746 square feet, or 94.691 acres, more or less.

Section 3. Notice of the public hearing shall be published once in the Mebane Enterprise, a newspaper having general circulation in the City of Mebane, at least ten (10) days prior to the date of the public hearing.

Ed Hooks, Mayor

ATTEST:

Stephanie W. Shaw, City Clerk

Item g.

RESOLUTION BY GOVERNING BODY OF RECIPIENT

WHEREAS, the City of Mebane has qualified for the Viability Utility Reserve (VUR) designation associated with the American Rescue Plan (ARP) funded from the State Fiscal Recovery Fund established in S.L. 2021-180 to assist eligible units of government with meeting their water/wastewater infrastructure needs, and

WHEREAS, the North Carolina Department of Environmental Quality has offered American Rescue Plan (ARP) funding in the amount of \$11,925,000.00 to perform work detailed in the submitted application, and

WHEREAS, the City of Mebane intends to perform said project in accordance with the agreed scope of work,

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MEBANE:

That (unit of government) does hereby accept the American Rescue Plan Grant offer of \$11,925,000.00.

That the City of Mebane does hereby give assurance to the North Carolina Department of Environmental Quality that any Conditions or Assurances contained in the Award Offer will be adhered to.

That Chris Rollins, City Manager and successors so titled, is hereby authorized and directed to furnish such information as the appropriate State agency may request in connection with this project; to make the assurances as contained above; and to execute such other documents as may be required by the Division of Water Infrastructure.

Adopted this the 7th day of November, 2022 at Mebane, North Carolina.

Ed Hooks, Mayor

Mr. Holt gave an overview of item d. Final Plat Approval- Buckhorn Business Centre, Ph. 1. He stated that Buckhorn Industrial, LLC has submitted a plat for three lots and they would like to do an early recording of the plat, lots two and three would be home to a 220,000 square foot industrial building and a 330,000 square foot industrial building. He explained that in order to get building permits, the plat has to be recorded. The improvements are not completed at this time. The construction drawings have been approved by Mebane's TRC. The City does have permits in along with a driveway permit with NCDOT. They would like to bond all improvements this time because they don't think that they will be through until late Spring, early Summer. He said in consideration of this request, the developer set up a meeting with the fire department to discuss installing the required emergency access. They have guaranteed emergency access to both buildings. The developer plans on installing the public roadway and water line and storm drain at the same time they are building their internal infrastructure. The developer is not selling the lots, he is recording them and building buildings on them. The public water and sewer are already on site they were installed when Petro first came to the City of Mebane, so there's no off-site water and sewer improvements or easements related to that which would need to be obtained and there are no roadway improvements required on Buckhorn other than the connection for their design drawings that they have provided. The UDO allows Council to waive certain items to be installed with bonding, a list which was provided to Council. Staff has no issues with the request based on the reasoning as explained.

Mr. Bradley said as long as Chief Louis is okay with the emergency accesses and if they are fully bonded, he has no problem with approving. He then made a motion, seconded by Ms. Hadley, to waive the requirements in lieu of bond per the UDO. The motion carried unanimously.

A Public Hearing was held on a request from Lebanon Road 3, LLC, c/o James Parker, Jr., for approval to conditionally rezone two properties totaling +/- 87.73 acres located at 1818 Saddle Club Road from R-10 and R-20 to R-12 (CD) to allow for "Tupelo North," a residential cluster development of 207 single-family homes. The property is located in Orange County, outside of the City Limits within the Extra-Territorial Jurisdiction (ETJ). Ms. Ownbey gave an overview of the request. The surrounding properties are zoned R-12 CD, R-20, and Orange County AR. The larger of the subject property was rezoned to R-10 with a Special Use permit in 2005. The vested rights have since expired. The property is also located in the water supply watershed overlay district. Annexation into City Limits will be required to connect to City Utilities. The subject property is largely vacant and forested. The smaller of the two properties is occupied by a single-family home and bee farm. Surrounding uses include single family residential subdivisions with 7,200 square foot minimum lot size and larger lot single family residential. The property is located within the Mebane by Design Secondary growth area. The internal road network would include 5' sidewalks on one side of all streets. Additionally, there is a public multi-use path network proposed running through the middle of the site and there are traffic calming devices that intersect with that multi-use path. There would be just over 37 acres of private open space dedicated. The subdivision is intended to be an extension of the Tupelo Junction subdivision under construction immediately to the south of the site. The development will be accessed through Tupelo Junction's Street connections at Lebanon Road and Saddle Club Road. The amenities will be inclusive for all residents of Tupelo Junction and the proposed Tupelo North. There are no new driveway access points proposed, as the driveway entrances for Tupelo Junction would be used. Additionally, the subdivision required a traffic impact analysis which was reviewed by NCDOT and City staff. The results of that analysis require the developer to provide a right turn lane on Lebanon Road at the

intersection with Stagecoach Road. However, given concerns with that intersection the developer has committed to completing a signal warrant analysis to see if a traffic signal would better serve that intersection and if it would be warranted. As a conditional rezoning, this request is site specific. Additionally, there are certain conditions the developer is requesting including some deviations from dimensional requirements typically required of the R-12 zoning District, so there would be a slight reduction in lot width along with some reduction in corner, side and rear setbacks. Finally, the UDO requires that just under six acres of public recreation area be required. The developer is proposing nearly a half-acre through a public multi-use path, with the additional

Tim McAvinney, Civil Designer with EarthCentric Engineering, Inc., presented the request on behalf of James Parker and the Lebanon Road 3, LLC who are the Developers for Tupelo Junction North. Mr. McAvinney shared a vicinity and project site map. He reiterated the same basic request details as shared by Ms. Ownbey. He shared the following:

Site Area Breakdown-

- ± 87.73 acres total area
- ± 83.69 acres R10, ± 4.05 acres R20 (per GIS)
- 50.08 acres developed (57%)
- 37.65 acres private open space (43%)
- 0.49 acres public recreation space
- Cape Fear/Graham-Mebane Lake Non-Critical Watershed – 30% Impervious Built-Up-On Area Limit

Lot Yield-

- Allowed by UDO, R12: 318 lots @ 3.63 lots/ac
- Proposed: 207 lots @ 2.36 lots/ac
- 129 lots – phase 1, 78 lots phase 2

Project Components-

- Access
 - Access to the site from Lebanon and Saddle Club Roads via Tupelo Junction
 - Connection to future Mill Creek subdivision expansion (NW corner) with crossing of Mill Creek (developer shared cost agreement)
 - Two potential future connections provided to eastern property line, terminating in convertible cul-de-sacs
 - Lebanon Road/Stagecoach Road intersection improvements per TIA

He shared that the TIA did identify a decreased level of service at the Stagecoach Road and Lebanon Road intersection. As previously stated, the developer will continue to work with the City and NCDOT to complete a signal warrant analysis to see if a traffic signal would better serve that intersection and if it would be warranted.

Mr. Mitchell explained if the signal warrant analysis and NCDOT says the signal light cannot occur, the turn lane would happen after the 75th building permit is issued for Tupelo North. If the signal light is warranted it would happen after the 101st building permit is issued for Tupelo North. Mr. Mitchell stated that the City appreciates the developer's willingness to take this and either-or approach tonight as a voluntary condition which he is offering for approval which would not require him to have to come back. He said NCDOT also stressed that the signal or turn lane would be constructed by the developer not NCDOT.

After discussion among the Council and staff, Mr. McAvinney proceeded with sharing the following:

Public Water-

- Water supplied by connections to 8" and 12" water mains in Tupelo Junction.
- 12" water main to be extended north through the site into the future Mill Creek development

Public Sewer-

- Connection to existing 8" in Tupelo Junction (south)
- New 12" outfall onto Mill Creek property

Road Cross-Section-

- Standard Mebane 31' B-B with 5' sidewalk on one side. Traffic calming measures included.

Multi-Use Path/Greenway Trail-

- 10' wide paved trail as part of Mebane Bike & Pedestrian Plan
- Connects to trail through Tupelo Junction (south) and extends to Mill Creek property (west and north). Includes creek crossing in NW corner
- Additional trail along Duke Energy power line easement with connection to neighborhood amenity building/pool & mail kiosks
- Access easements for future trail extensions

Storm Drainage System-

- Curb, Gutter and Engineered Storm Drainage System
- Swales between lots, roof drains directed to SD system and SCMs as needed
- 30% Impervious Area Limit
- Preliminary calculations indicate 22,500 sf of SCMs divided into four basins. Final determination of size and type of SCMs to be made at construction plan stage.
- SCMs landscaped per UDO

Mr. Bradley requested that staff go over the difference between the 37 acres of open space as opposed to the 5.4 acres of dedicated recreational space. This is in relationship to the concerns of a previous speaker tonight. He said, his understanding has always been that payment in lieu of for public recreation space was because it was useless to have a bunch of little subdivisions around everywhere that had four or five acres when it didn't really amount to anything public recreation, so the Council allowed a payment in lieu of and that money was taken to place toward parks but the previous speaker seemed to indicate that that really netted down the open space but in fact in this case the 37 acres of open space as opposed to the 5.4 acres. Ms. Ownbey said that Mr. Bradley is correct. In making calculations, the open space is a different calculation than the public recreation space. This is a cluster development and open space is determined based on the density and how they have designed their subdivision. It has to make up for the difference between a 12,000 square foot lot and the 7,200 square foot lot. They are proposing the public recreation calculation is completely different and is based on the number of lots in the size of the property.

Mr. Mitchell added, while not speaking for the Recreation and Parks Director but based on past discussions, centralized parks are more efficient service, in his opinion, as well as opposed to minor parks that may not have restrooms and many amenities. Most local governments operate larger parks in an industry standard distance to one another. He said he thinks Mr. Bradley is asking both questions about open space and about taking a payment in lieu of to have a more centralized higher level of service parks as opposed to having many small parks that don't provide many amenities.

After further discussion related to public and open recreation space, Mr. Bradley said the earlier speaker made a good point, the City does need to ensure that the calculations for payment in lieu need to keep up with inflation and cost of properties. Mr. Rollins said the calculations are based on the ad valorem value from the County as that is the simplest and fairest way to calculate the payments in lieu.

Tom Boney, Owner/Editor of Alamance News, offered comments in regard to Alamance County's revaluation process.

Mr. McAvinney continued his presentation. Sharing the following project components:

Open Space / Natural Buffers-

- Located around the perimeter and within the site
- Supplemented with plantings in the southeast corner due to lack of existing vegetation and proximity of neighboring residence

Neighborhood Amenity-

- Pool & pool house building with bath/changing rooms, covered patio area, parking, mail kiosk
- 10' paved connection to multi-use path / greenway trail system.
- Full reciprocity shared amenity use agreement with Tupelo Junction (south)
- Amenity to be constructed at the start of Tupelo Junction North Phase 2

Minimum Lot Dimensions-

- 25' Front Setback
- 20' Rear Setback
- 7.5' Side Setback
- 13' Corner Setback
- 10' Utility Easement
- 7,200 sf Minimum

Architectural Commitments-

- Fiber Cement Siding, Composite Trim
- Exterior Styles - front elevations will include at least two of the following elements:
- Horizontal Siding
- Shake Siding
- Board & Batten Siding
- Brick or Cultured Stone
- Decorative front door with a minimum 25% glazing and/or window transom.
- Covered Entry or Front Porch
- Roofing
- Minimum 6:12 pitch
- 20 Year Asphalt Shingles
- Minimum 6" Overhang
- Monoslab Construction
- 5 Inch Gutters with Downspouts
- All homes will have 2-car garages
- Garage doors with feature decorative hardware
- Front Yards shall be sodded

Ranch Plans:

- 1,400 – 2,000 square feet
- 2-3 Bedrooms, 2-3 Baths
- 1-2 Plans

2-Story Plans:

- 1,800 – 3,200 square feet
- 3-5 Bedrooms, 2.5-5 Baths
- 4- 6 Plans

He shared renderings of the proposed architectural elevations. He then concluded his presentation with the following summary of the request:

Tupelo Junction North is designed as an R12 Residential Cluster Subdivision with lot areas reduced up to 40% (7,200 square feet, minimum) per the UDO to allow the preservation of private open space as part of the neighborhood.

UDO Waivers Requested-

- Minimum lot frontage reduction from 65' to 60'
- Side lot setback reduced from 10' to 7.5'
- Corner lot side setback reduced from 18' to 13'
- Rear lot setback reduced from 25' to 20'
- Reduce required public recreation space dedication from 5.94 acres to 0.49 acres plus a

payment-in-lieu of \$16,126.28 (for 5.45 acres)

Mr. Mitchell explained that the UDO does require one tree minimum per lot per the adopted UDO amendments in June, however the plans for this development were submitted in May, therefore the applicant is not required to adhere to that requirement. So, if the applicant is willing to make that commitment, they would have to offer it as a voluntary condition. Mr. McAvinney said the applicant is willing to offer it as a voluntary condition.

Phil Koch, Engineer with EarthCentric, offered clarification regarding the public utility lines to and from the site.

Carl Bradley, 4610 Mebane Rogers Road, questioned if developers are held to their amenity commitments. Mr. Rollins said they are held to the commitments shown on the site plans and approved by Council.

Steve Wright, 128 Peppertree Drive, Mebane, said in terms of property line plantings, he would like to recommend that the City consider asking the developers to plant more than one species of trees, fast growing and slow growing. He then questioned if there is already a left turn lane at the location where the right turn lane is proposed.

Mr. McAvinney replied, there are no extra turn lanes at Stagecoach Road, it is a fairly wide area.

Mr. Cannell said he appreciates the staff's wisdom in pushing back against his suggestions and he appreciates that the City is choosing to go in a direction of more centralized parks and that is certainly the City's option to do but when the UDO was put together with that design of the small parks, that was selected as a contribution that the developers had to make to the public recreational life of the City. If the City is now choosing to opt for by default the payment in lieu and centralize its parks, that is effectively a grant that the City is making to every developer; saying that you used to have to contribute to this recreational life of the City but you no longer do we're going to take these very small payments instead and we (the City) are going to handle the cost of developing, building and buying these parks all by ourselves. He said he thinks if the City is going to make that strategic shift in its direction, the City should decide what is it getting in place of that, so that people who are building these subdivisions can contribute something else. He went on to say that for this particular plan, the reason that the payment in lieu is \$16,000, is the definition of the letter of the law but not the spirit. The UDO calls for a payment that is the equivalent of the assessed tax value. It is true that Orange County did just reassess all their taxes and the land here on this Lee's Bees Farm, 84 acres, is assessed currently at \$21,000, the reason it is assessed that way is because there is a gigantic deferred tax value on it. He said you can look it up in Orange County's taxes of over five hundred thousand dollars in tax value which will have to be paid when the property is sold. So, although technically it's only assessed at \$20,000, there is \$500,000 in tax value that Orange County knows is there and is on the tax assessment. It is just not on the line that says assessed value and this applicant is using that technicality to deprive the City of the very little money that the City has decided it is going to get in exchange for this and he does not think it is right and the City should allow itself to be taken in that way.

Mayor Hooks said the property was most likely assessed as a farm and charged farm tax.

Mr. Shannon, 4618 Mebane Rogers Road, Mebane, stated that he lives approximately 1 mile from Tupelo Junction and he has a daughter that live approximately 2 miles from there. He questioned how the Mebane Fire and Orange County's Fire Department would respond to a house fire in that neighborhood. Chief Louis stated that currently the property is in Orange County and outside of Mebane City limits in Efland's Fire District. He said it will be annexed inside the City limits so it will be in Mebane's primary response area and Efland Fire will respond mutual aid on working structure fires.

There was more discussion regarding assessed tax value and deferred tax value and the general statutes which govern how cities assess values.

Mr. McAvinney said that he would like to offer some clarification regarding the possible site access to Mill Creek, stating that if the Mill Creek expansion project goes away, there would be no

developer to have an agreement with, therefore they would have to stop short of the creek and leave something that is still constructible on Tupelo Junction's side. The stub at the very least is guaranteed.

Mr. Boney asked who the builders are and will be. Mr. McAvinney replied, Garman Homes for the south and Davidson Homes for the north.

Mr. Bradley made a motion, seconded by Mr. Ewing, to close the public hearing. The motion carried unanimously. Ms. Burkholder made a motion, seconded by Mr. Bradley, to approve the R-12(CD) zoning as presented and a motion to find that the application is consistent with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. The request:

- Is for a property within the City's G-4 Secondary Growth Area, which is "...generally residential and commercial in nature..." (Mebane CLP, p.66);
- Is providing community facilities in the form of a greenway consistent with Growth Management Goal 1.4 (p. 17, 83)
- Provides a greenway and open space in a developing area, connecting to other locations, consistent with Open Space and Natural Resource Protection Goal 4.3 (p. 17, 89, & 90);

Ms. Burkholder said that her motion includes the verbal voluntary conditions offered. The motion carried unanimously.

Mayor Hooks called for a break at 7:32 p.m. He called the meeting back to order at 7:45 p.m.

Brain Thomas, NCDOT Regional Traffic Engineer, presented a request for approval of Certifications of Municipal Declarations to Repeal Speed Limits and request for Concurrence on the NC 119 Project. Mr. Thomas explained that the construction of the new NC 119 project has resulted in the need for speed limit ordinance changes, both inside and out of the City of Mebane. Municipal certifications are required for speed zone changes (enacts and repeals) on any streets within a municipality which are also part of the State highway system (except interstates and other controlled access highways). In most cases, the ordinance changes are administrative in nature to correct the road the ordinance is written on or to correct ordinance terminal references with no change in the posted speed limit. That said, in all cases, the speed limits of the ordinances recommended for approval are written to match the currently posted speed limits. He noted that the ordinances presented for approval tonight are only a portion of the entire package of ordinances affected by the NC 119 relocation. NCDOT is proposing speed limit changes on the new portion of NC 119, but those changes are part of the complete package of affected ordinances and cannot move forward until the municipal ordinances have been addressed. He shared a map and summary of the requested changes, list below.

1. To reflect rerouting of NC 119 from Fifth Street to newly constructed alignment and assignment of secondary road number SR 2049 to existing Fifth Street:

REPEAL: 45 MPH ordinance 1066310 on existing NC 119 (Fifth St)

APPROVE: 45 MPH ordinance 1078403 on SR 2049 (Fifth St)

REPEAL: 25 MPH ordinance 1000201 on existing US 70 (W Center Street)

APPROVE: 25 MPH ordinance 1078407 on US 70 (W Center Street)

REPEAL: 35 MPH ordinance 1051184 on SR 1007 (Mebane Oaks Road)

**Note no replacement ordinance required since the posted 35 MPH speed limit is covered by General Statutes within municipal limits.

2. To reflect extension of SR 1973 (Tate Avenue) to Corregidor Street

APPROVE: 25 MPH ordinance 1082220 on newly constructed SR 1973 within municipal limits south of Roosevelt Street

Mr. Bradley made a motion, seconded by Mr. Ewing, to approve the ordinance changes as presented. The motion carried unanimously.

Brian Gackstetter, NCDOT Sr. Project Engineer- Rail Division, and Conzuela Cogdell, NCDOT Rail Crossing Safety Engineer II, presented a request for Council's acceptance of the recommendations of the Traffic Separation Study and adoption of a Resolution of Intent to for Rail Crossing Implementation. Mr. Gackstetter gave an overview of the rail division projects and work they do. In a joint effort with the City of Mebane, Norfolk Southern (NS), the North Carolina Department of Transportation Rail Division (NCDOT Rail), and North Carolina Railroad (NCRR), an agreement was entered into in 2015 and the Mebane Traffic Separation Study (TSS) was completed. NCDOT Rail presented improvement recommendations for several crossings: Gibson Street, Moore Road, 3rd Street, 4th Street and 5th Street, to the City Council in public hearings held on September 11, 2017, and June 4, 2018. Due to unforeseen circumstances, the anticipated construction start date of 2019 was delayed. He stated that tonight, they are formally presenting those recommendations as they individually met informally with each Council member to discuss concerns and to receive feedback. After those meetings, more information was gathered and they are here tonight to kind of wrap that up in a box which will allow them to move forward with implementing the TSS.

Ms. Cogdell went through each crossing recommendation, sharing drawings depicting the recommendations, attached. Ms. Cogdell explained that tonight's presentation is recommendations only and will still need to go through the design process and continued coordination with NCRR to come up with a final plan. NCDOT Rail, utilizing State Funds, will finance preliminary engineering and construction for recommended rail crossing improvements, including the fencing with the City of Mebane being responsible for fence maintenance. Mr. Gackstetter explained that with the adoption of the Resolution of Intent, all four parties will enter into an agreement which will allow them to begin the process, additionally an environmental document will need to be completed, roughly a year timeframe. Then the project will be let by Division 7 and will be on their time frame to get the project completed, roughly a two-year timeframe.

Mr. Boney shared his displeasure with the fact that Council met individually with the rail division team. He stated that the Council should conduct City business in open session. He requested a copy of all correspondence between the Council and NCDOT related to this subject.

Mr. Ewing made a motion, seconded by Mr. Burkholder, to adopt the Resolution of Intent of the City of Mebane City Council Rail Crossing Implementation. The motion carried unanimously.

**RESOLUTION OF INTENT
CITY OF MEBANE CITY COUNCIL
RAIL CROSSING IMPLEMENTATION**

WHEREAS, the North Carolina Department of Transportation Rail Division (NCDOT RAIL), Norfolk Southern (NS), the North Carolina Railroad (NCRR), and the City of Mebane have conducted the Mebane Traffic Separation Study (TSS), as presented to the Council on September 11, 2017, and June 4, 2018; and

WHEREAS, the Mebane TSS includes the rail crossings at State Road (SR) 1940- Gibson Road (Crossing # 735 464L), SR 1965-Moore Road (Crossing # 735 468N), SR 1962-Third Street (Crossing # 735 469V), Fourth Street (Crossing #735 471W); Fifth Street (Old NC 119) (Crossing #735 472D) and trespass fencing; and

WHEREAS, the NCDOT RAIL has requested to City of Mebane to accept the recommendations of the TSS and agree to the further engineer plan development of safety features at the aforementioned crossings and fencing, costs of the same to be borne by NCDOT RAIL, to which the City is agreeable;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF MEBANE, that the City hereby adopts the Mebane Traffic Separation Study as presented and subject to NCDOT RAIL further developing safety improvements for the aforementioned crossings with fencing acceptable to the City; and

THAT the City further agrees that upon satisfactory installation of the trespass fencing along the NCRR corridor from mileposts 31.1 to 31.75, the City of Mebane will maintain the fencing at City expense.

SO RESOLVED, this the 7th day of November 2022.

Ed Hooks, Mayor

ATTEST:

Stephanie W. Shaw, Clerk

Mayor Hooks recognized students from Bradford Academy in attendance.

Mr. Mitchell gave an overview of the next item, Clay Street and Fourth Street Infrastructure Improvements. He stated that staff will be requesting at the end of the presentation, a consensus for the first part of the plan of action to go to bid which should be a long-term solution to the settlement issue. Staff will also share a general presentation of a staff level endeavor for a 2022 holiday plan of action that is scheduled for November 14th, weather dependent.

Mark Reich, Engineer with Alley, Williams, Carmen and King, Kyle Smith, Mebane Public Utilities Director and Chuck Smith, Mebane Public Works Director, each presented a portion of the attached PowerPoint, sharing information, a plan of action and cost estimates to address the settling issues on Clay Street. Fire Chief Bob Louis spoke to the fire department's strategies and tactics for fire protection during the impairment, stating that an Incident Action Plan has been developed to address concerns related to the project.

The following summary is staff recommendations for the plan of action:

- Staff is recommending that 2 contracts be awarded to address the aging infrastructure and settling issues. The first contract will be a Utility Contract and will consist of slip lining sanitary sewer and stormwater lines; Inject a High-Density Polyurethane Structural Resin into the voids to fill the voids and mechanically clean the water lines and install an epoxy lining within the water main.
- Bid Date for Utility Contract is scheduled for December 13, 2022, Award of Contract at January 2023 Council Meeting and work completed by end of June, 2022.
- The second contract will be for street repairs consisting of installing new concrete bulb-outs with truncated domes and drainage flumes at both mid-block crossings on Clay Street and Fourth Street; milling the existing pavement, making any additional patching required, resurfacing, re-installing stamped asphalt at intersections (same pattern as existing), installing pavement markings for parking spaces, yield symbols, sharrow (bike lane) symbols and converting 3 existing parking spaces to handicap spaces.
- Bid Date for Street Contract is June 1, 2023, Award of Contract at July 2023 Council Meeting and work completed by mid-October.
- Staff is also recommending that temporary street repairs be performed on Monday November 14, 2022, weather permitting to mill up and repairs areas in need of repairing. An alternate Monday-Thursday date will be determined with contractor. Work is anticipated to be completed in one-day and will begin at 7:30 am and will require that the Clay Street block between N. Third St and N. Fourth St. be closed; however, sidewalks, will remain open.

Staff will provide information to the affected property owners to keep them informed before and during the project. Downtime is estimated at 10-15 days with the work being done in the evening hours, 9pm-9am. A proposed schedule of the work to be completed shown in attached PowerPoint.

The estimated cost for the Utility Contract is \$527,000 of which \$432,000 will be funded through 2022-23 Utility Fund and \$95,000 funded through 2022-23 General Fund. Estimated cost for Street Contract is \$473,000 and funded through 2023-24 contract.

Cost of Temporary Work is \$14,640 and will be funded using downtown crosswalk refurbishing project funds.

After some discussion among Council and staff, Mr. Ewing made a motion, seconded by Ms. Burkholder, to proceed with advertising for Utility and Street Contracts per schedule in PowerPoint presentation and making temporary street repairs as needed by Public Works Department. The motion carried unanimously.

Mr. Davis presented a request on behalf of Destination Downtown Mebane for approval of a street closure of Fourth Street between Hwy 70 and Clay Street for the 2022 Hometown Holiday Celebration on Saturday, November 19th. Mr. Bradley made a motion, seconded by Ms. Hadley, to approve the street closure as presented. The motion carried unanimously.

Mr. Davis presented a request for appointment of two (2) Recreation and Parks Advocacy Commission members for 2023. He explained that initially, City Council selected six individuals that are serving staggered entry terms of 1, 2, and 3 years. The two members selected this year will begin a three-year term and will be a big part of helping complete the Recreation and Parks Master Plan process and helping advocate for the City's parks, programs, and facilities. Six (6) applications were received. Mr. Bradley made a motion to nominate Jesse Whitaker and Laurie Sawyer. Mr. Ewing seconded his motion. The motion carried unanimously.

Ms. Ownbey presented a request for appointment of one (1) Bicycle and Pedestrian Advisory Commission (BPAC) member. She stated that there is an open position on the BPAC reserved for the Orange County part of Mebane, preferably a resident of the extraterritorial jurisdiction. The appointment would fill a vacancy with a term expiring January 2025. Two (2) applications were received, however only one applicant was eligible as the other was a resident of Alamance County. Mr. Bradley made a motion, seconded by Mr. White, to appoint James Allen. The motion carried unanimously.

There being no further business, the meeting adjourned at 9:00 p.m.

ATTEST:

Stephanie W. Shaw, City Clerk

Ed Hooks, Mayor

Figure 19: SR 1940 – Gibson Road (Crossing # 735 464L) Recommendations



Figure 21: SR 1956 – Moore Road (Crossing # 735 468N) Recommendation

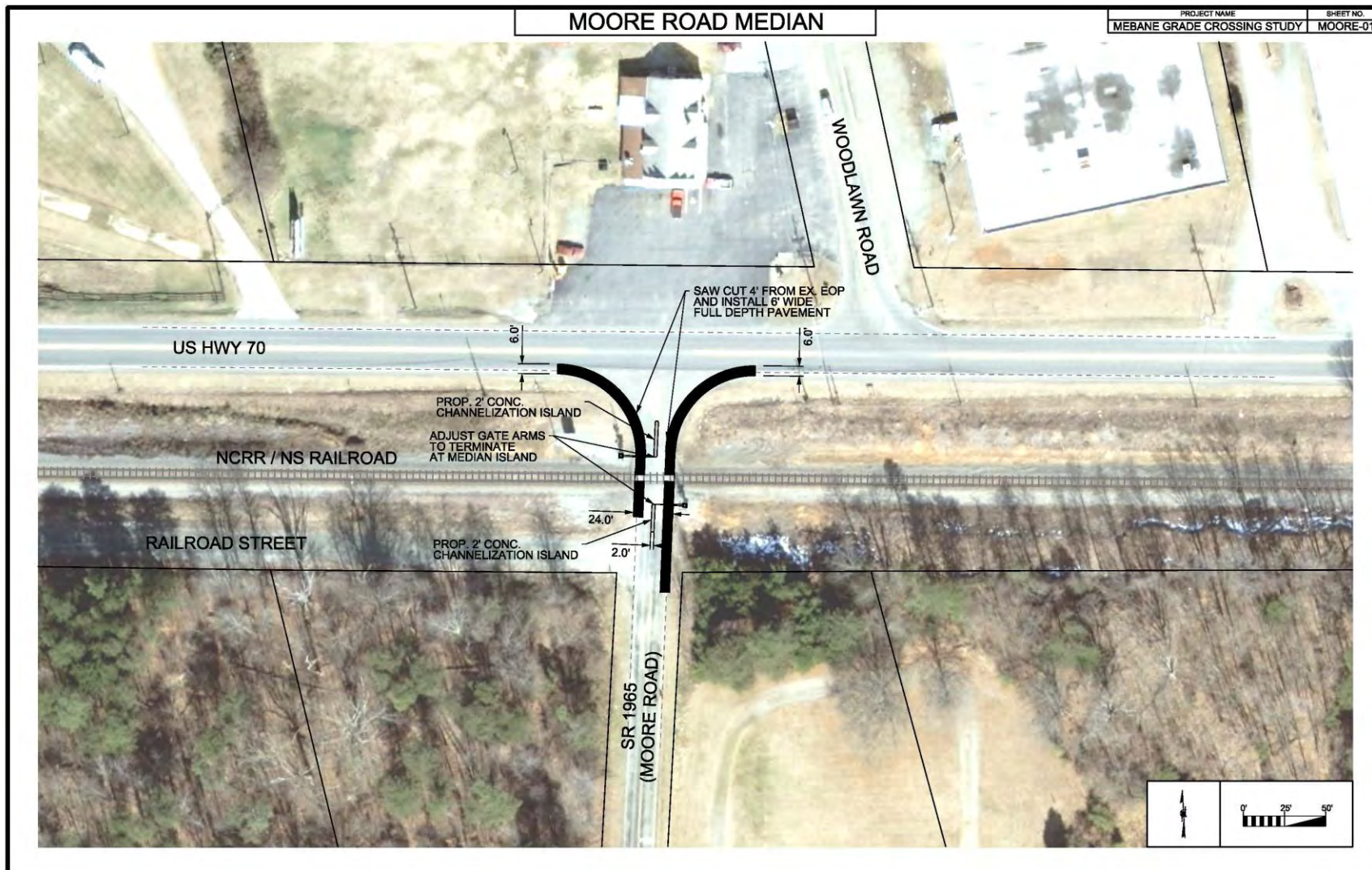
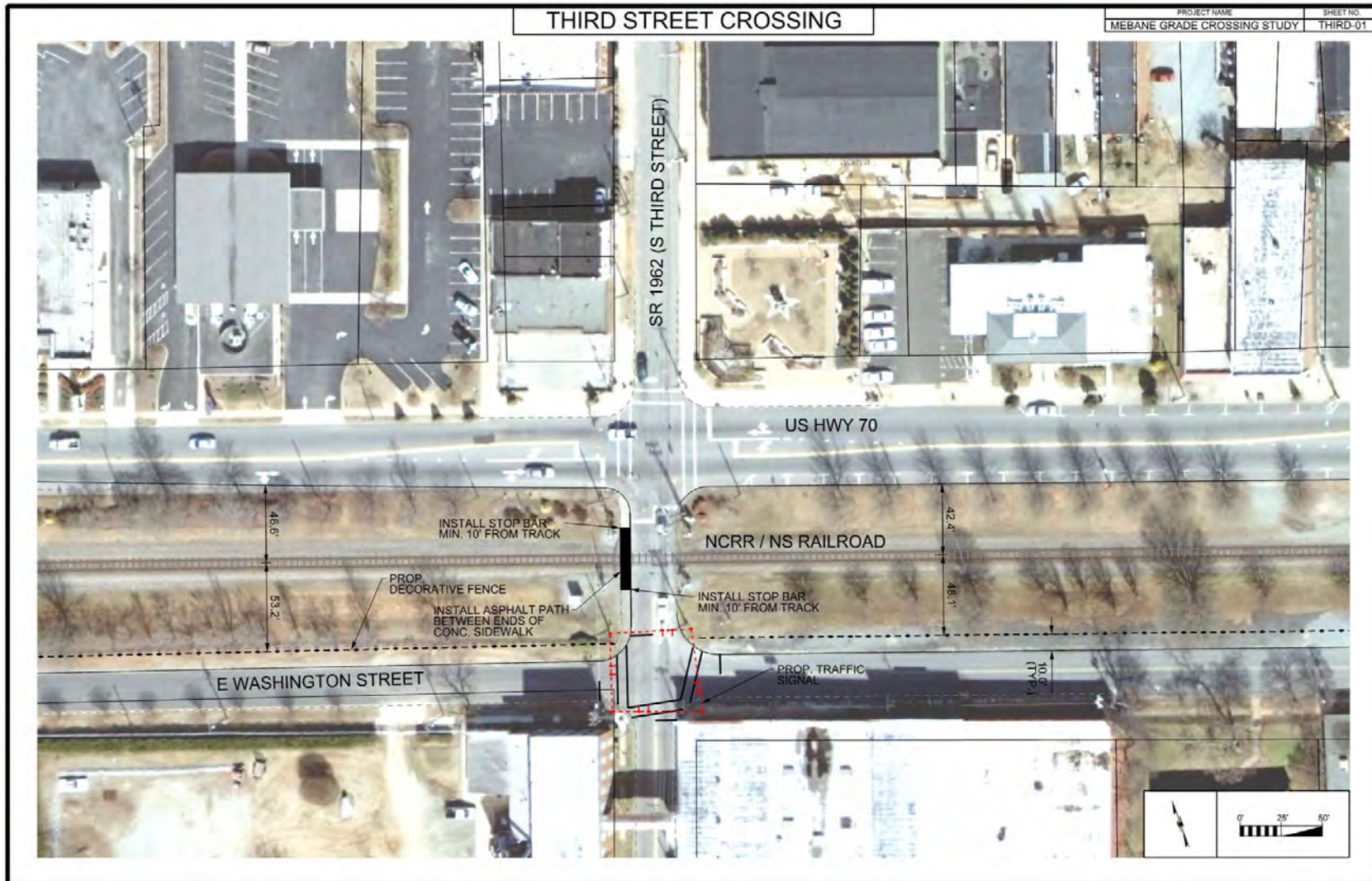


Figure 22: SR 1962 – 3rd Street (Crossing # 735 486V) Recommendation



4th Street
Figure 24: ~~NC 115~~ 5th Street (Crossing # 735 472D) Recommendation

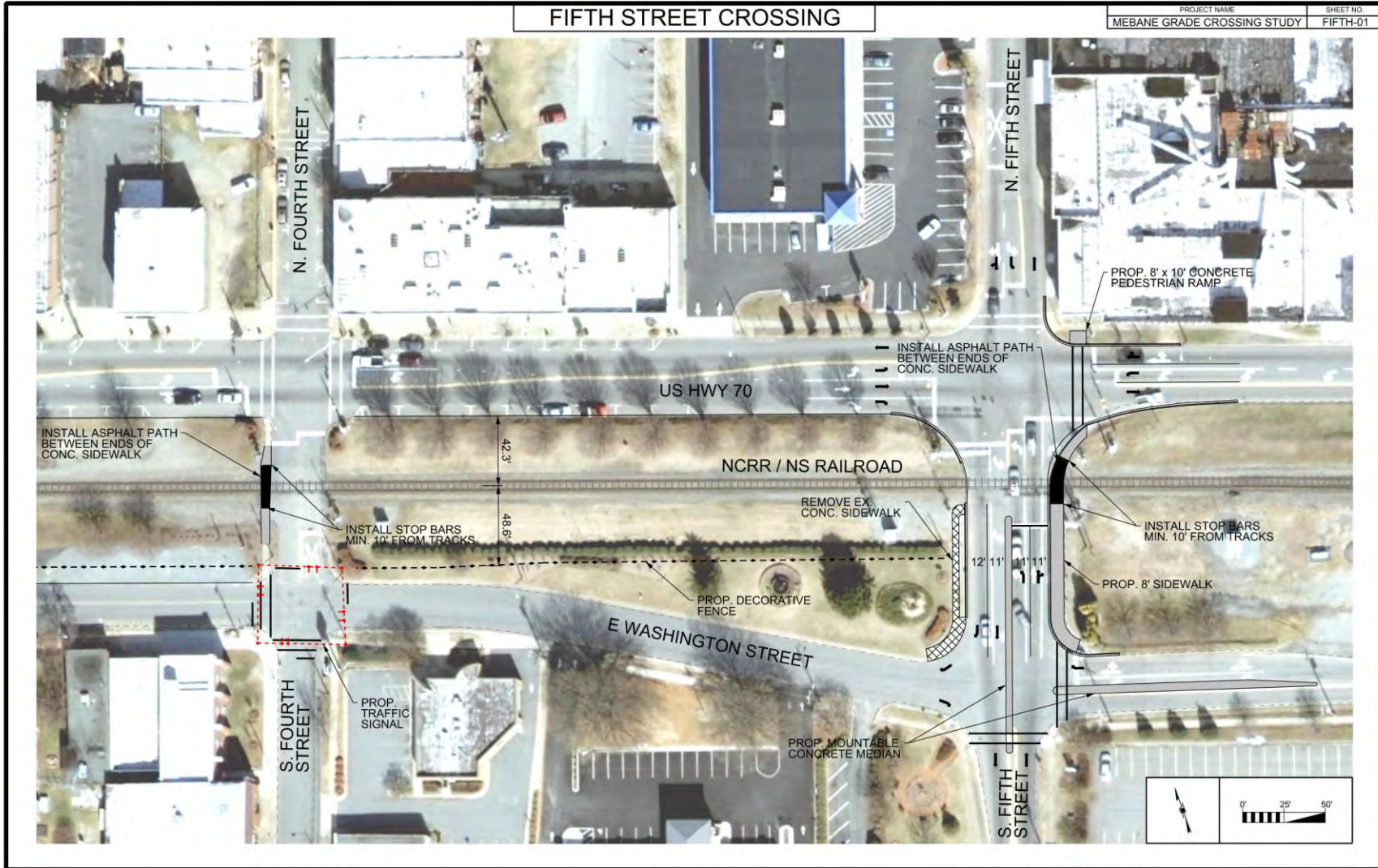
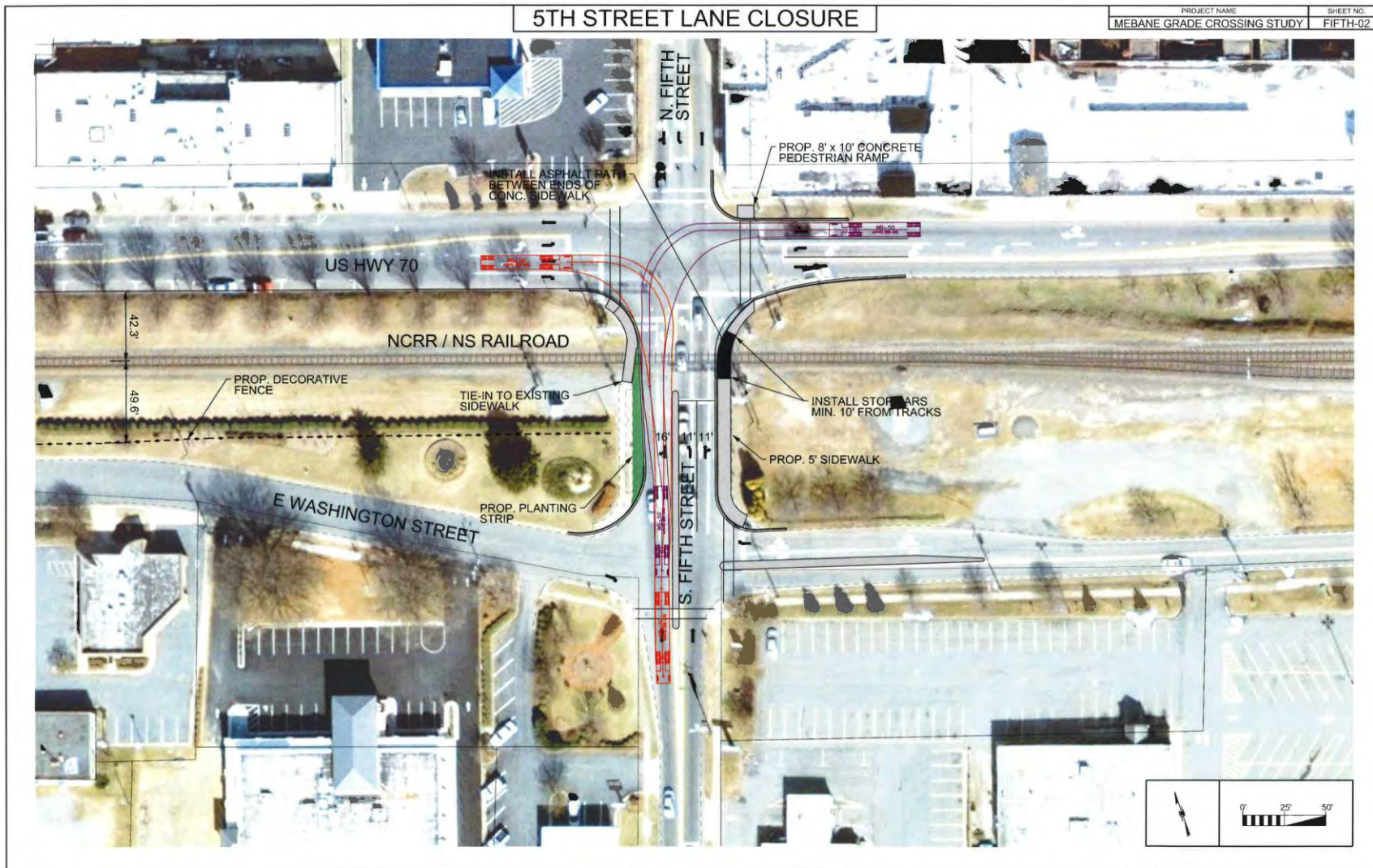


Figure 26: 5th Street (Crossing # 735 472D) – Exhibit depicting if sidewalks could be installed on the western side of 5th Street, which would require eliminating one of the two southbound travel lanes on Fifth Street.





Drilling Injection Points



Drilling Injection Points



HDPR Injection Points

HDPR INJECTIONS





Mark Reich, P.E., Franz Holt, P.E., Kyle Smith, P.E., Chuck Smith,
Bob Louis, and Ashley Owenbey

Clay St. and Fourth St. Infrastructure Improvements

Clay St. from Third St. to Fifth St.

Fourth St. from Center St. to Clay St.



Background Information

- Over the past 4 years staff has observed settlement issues on Clay St. and performed maintenance activities to address the settlement issues and had consultants perform studies to identify locations and recommend solutions.
- What has caused the settlement? Most likely cause of settlement was lack of compaction and or poor soils.
- In October 1921, the Town of Mebane approved a petition to pave several streets in the downtown area including Clay St. and Fourth St.. Petition required the following:
 - Pavement section consisted of 5” of concrete base, 1.25” of binder course and 1.25” of surface course.
 - Property owners were required to connect to existing water and sewer mains.
- It should be noted that compaction efforts have significantly improved over the past 100 years.

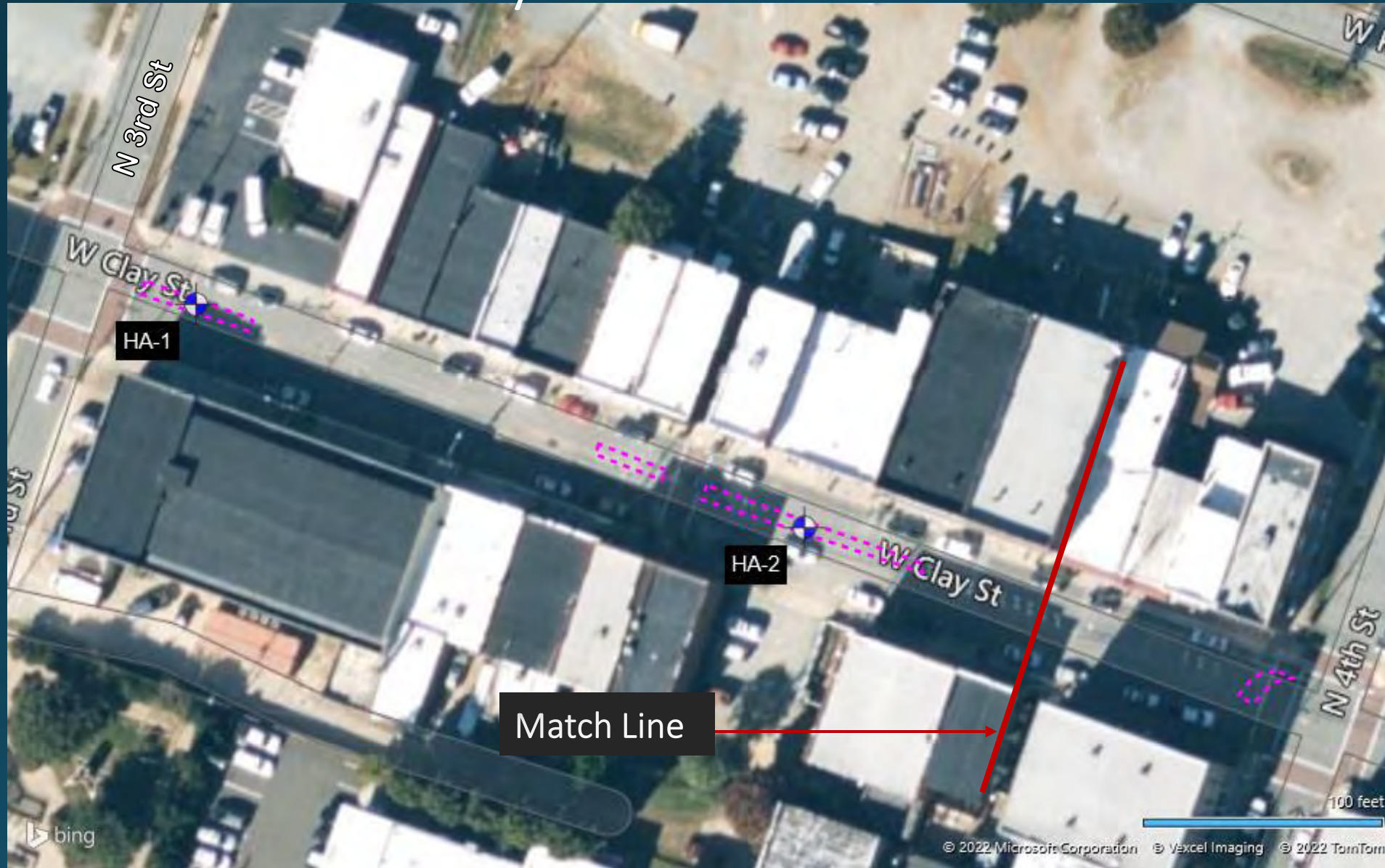


Background Information Continued

- In June of 2011, City of Mebane milled the existing the existing pavement, installed an overlay fabric and resurfaced with a 2” surface course.
 - When the street was milled and resurfaced, the vibration of the compaction equipment used could have weakened the concrete that was bridging the water and sewer trenches and new cracks could have developed in the concrete.
- In 2018, Clay Street was experiencing settlement issues.
 - The City contracted with Terracon to perform a geophysical exploration along Clay Street between N 3rd and N 5th Streets.
 - Voids were identified with ground penetrating radar (GPR) and a repair using flowable fill was attempted by Mebane Public Utilities.
- Settlement issues continued after the attempted repair.
 - In April of 2022, Terracon again performed a geophysical exploration involving GPR, hand auger borings and dynamic cone penetrometer testing.
 - This exploration reveled multiple anomalies consistent with voided and saturated soils.

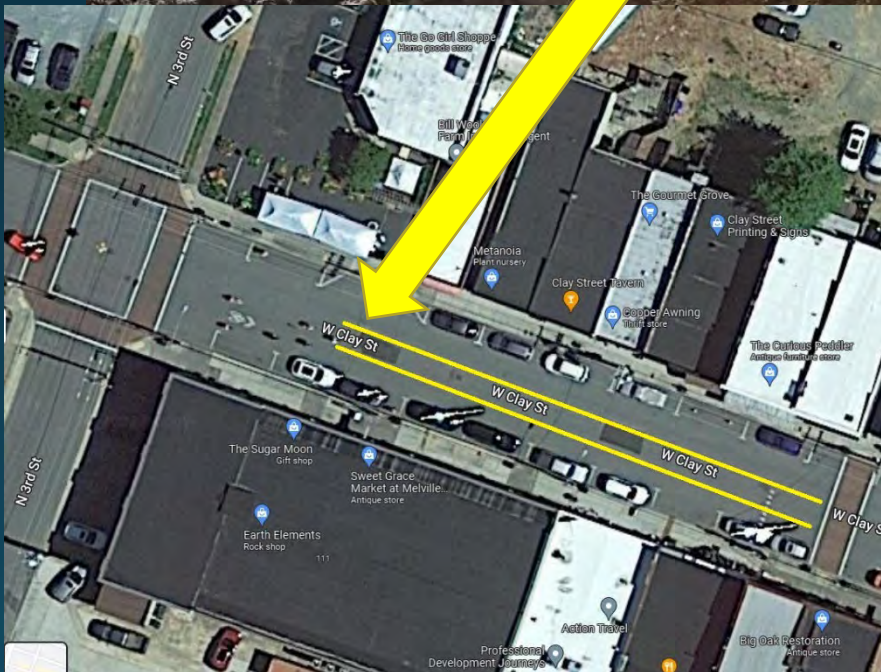
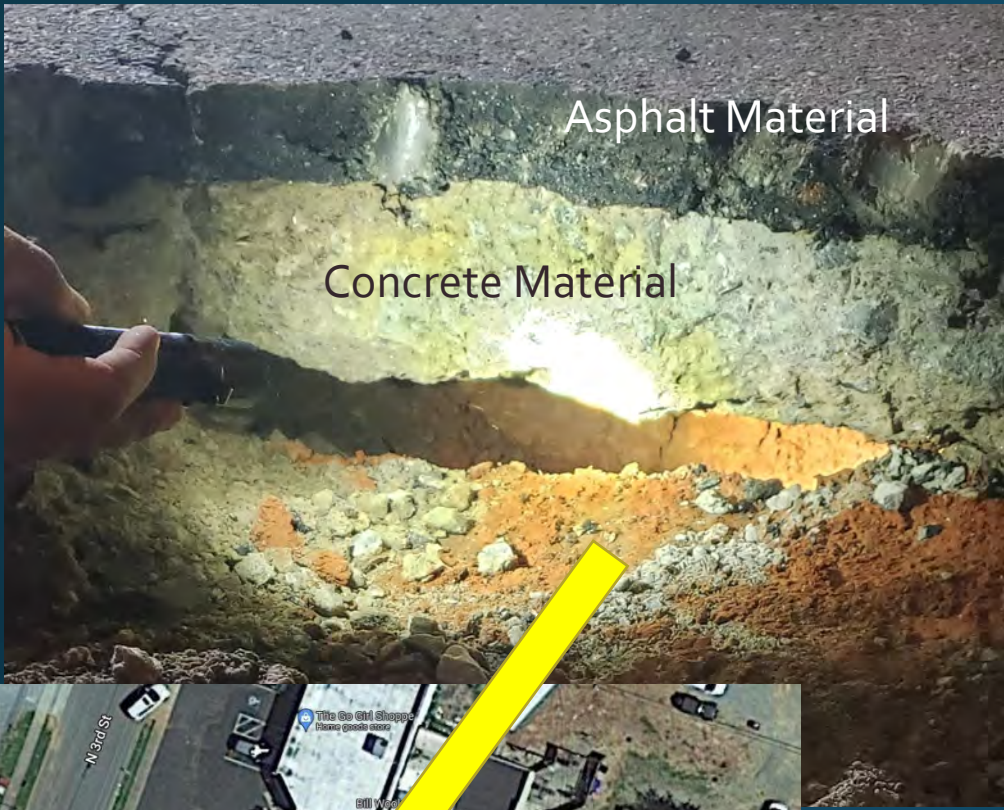


GPR Results – Anomaly Locations



GPR Results – Anomaly Locations





The void was filled with a flowable fill material

West Clay Street Voids



GPR Results & Boring Log

EXPLORATION RESULTS

Clay Street Voids 2022 ■ Mebane, NC
 April 29, 2022 ■ Terracon Project No. 75215219



GPR Results
 GPR Cross-Section 3

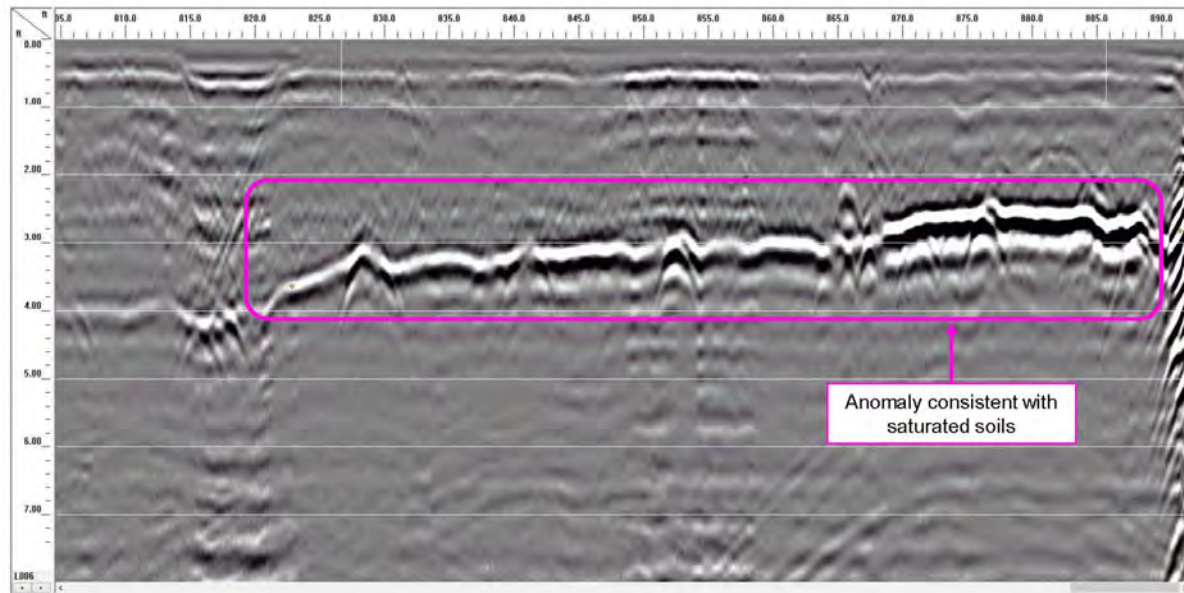


DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES

Page No.: 7

BORING LOG NO. HA-2		Page 1 of 1						
PROJECT: Clay Street Voids - 2021		CLIENT: City of Mebane NC Mebane, NC						
SITE: Clay Street Mebane, NC								
GRAPHIC LOG	LOCATION	DEPTH (ft)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	WATER CONTENT (%)	ATTERBERG LIMITS	SPT RESULTS	
	See 1000000000000000							LL/PL/PI
	ASPHALT 1.5 inches							
	CONCRETE 8 inches							
	VOID 4.5 inches							
	FILL - LEAN CLAY (CL) with sand, red, soft to medium stiff							
		1						
		2	24.5			38-20-18	2-2-2	
		3	21.2				1-2-2	
		4					2-2-3	
		5					2-2-2	
		6					2-2-3	
		7					2-2-2	
		8	28.9				2-2-2	
		9						
		10	20.7			40-30-100	12-15	
	Boring Terminated at 10 Feet							
Stratification lines are approximate. In situ, the tension may be gradual.								
Advancement Method Hand Auger		See <u>Compendium and Methods</u> for a description of field and laboratory procedures used and additional data (if any).				Notes:		
Advancement Method		See <u>Compendium and Methods</u> for explanation of symbols and abbreviations.						
WATER LEVEL OBSERVATIONS		Terracon		Boring Started:		Boring Completed:		
		700 W Friendly Ave Ste G Greensboro, NC		Drill Rig:		Driller: JAL		
				Project No.: 75215219				



Background Information-Continued

- Staff has videoed the existing sanitary sewer lines and stormwater lines and cracks have been observed. Cracks in lines do not appear to be the source of the settlement but could deteriorate in the future causing future settlement issues. Trench compaction is the most likely cause of settlement over the sewer line.
 - If cracks are not repaired, then the proposed solution to the settlement issues may negatively impact the sanitary and stormwater lines.
- Staff has researched several options to address the root cause of the pavement settlement while maintaining traffic, minimizing inconvenience to the businesses, and are proposing the following:
 - Prepare Bid Documents and receive bids for a *Utility Repair Contract (FY 2022-23)* and a *Street Repair Contract (FY 2023-24)*.
 - *Scope of Work for Utility Contract*
 - Slip lining existing sanitary sewer and stormwater pipes, manholes and drainage structures.
 - Injecting High Density Polyurethane Structural Resin (HDPR) to fill all voids under the existing pavement.
 - Rehab the existing water main by mechanical cleaning and spray in place epoxy coating including installation of temporary water lines to maintain water service to businesses.
 - *Scope of Work for Street Repair Contract*
 - Adding bulb-outs at both mid-block pedestrian crossings.
 - Milling the entire width of street, patching any required areas, paving the street.
 - Providing stamped asphalt in areas previously provided and add stamped asphalt at Fourth St. mid-block crossing.
 - Provide pavement markings for parking spaces and yield and Sharrow symbols and provide 3 additional handicap parking spaces on Clay Street (existing spaces converted to handicap spaces).



Utility Contract - Slip Lining Sanitary Sewer and Stormwater Lines

- Slip-lining is the process of using felt and resin to create a cast like material that forms to the shape of existing pipes.
 - No excavation is needed using this process and no customer is without service for more than 12 hours.
 - Work will be performed during the evening night hours **(9 PM to 9 AM)**.
 - This material is watertight and creates a “new” pipe inside of the existing pipe.
 - The finished material is structurally rated and typically stronger than plastic pipe.
 - Slip lining is recommended prior to injecting High Density Polyurethane Structural Resin (HDPR) to fill all voids as the material expands and potential could flow into sanitary sewer and stormwater lines, creating sanitary sewer or stormwater backups.



Slip-lining or Cast In Place Pipe (CIPP) Pictures



- The pictures on the left of the same line at the same distance. The top is the pre-lined condition, and the bottom is post lining.



Utility Contract - Slip Lining Sanitary Sewer and Stormwater Pipes and Structures

- Estimated Cost

Scope of Work	Clay Street Cost	Fourth Street Cost	Total Costs	Utility Fund	General Fund
8" CIPP (sanitary sewer)	\$59,000	\$16,000	\$75,000	\$75,000	\$0
15" CIPP (storm drainage)	\$35,000	\$0	\$35,000	\$0	\$35,000
Manhole/Drainage Structure Rehab	\$20,000	\$2,000	\$22,000	\$14,000	\$8,000
Spot Repair(s) (if required)	\$8,000	\$0	\$8,000	\$8,000	\$0
Engineering and Contingencies	\$20,000	\$6,000	\$26,000	\$20,000	\$6,000
Total	\$142,000	\$24,000	\$166,000	\$117,000	\$49,000



Utility Contract- High Density Polyurethane Structural Resin Injection

- Staff has researched multiple options to fill the voids on Clay St. and recommend that High Density Polyurethane Structural Resins can be used to fill the voids that are currently under Clay Street.
- The products and procedures have been used successfully on numerous projects including I-95.
- These resins are manufactured to be applicable with potable water, ensuring no ground contamination once installed.
- These resins can be excavated with machinery.
- Slip-lining and Manhole Rehabilitation must be completed before the resin can be injected.



Utility Contract - High Density Polyurethane Structural Resin Injection

- Estimated Cost

Scope of Work	Clay Street Cost	Fourth Street Cost	Total Cost	Utility Fund	General Fund
HDPR Injection	\$40,000	\$0	\$40,000	\$0	\$40,000
Engineering and Contingencies	\$8,000	\$0	\$8,000	\$0	\$8,000
Total	\$48,000	\$0	\$48,000	\$0	\$48,000



Utility Contract - Waterline Improvements

- Existing cast iron waterline is aging and is subject to waterline leaks, breaks, and build up inside pipe has decreased diameter.
 - Prior milling and paving work on Clay Street in 2011 resulted in water main breaks occurring.
- Staff is proposing the pipe be mechanically cleaned and an epoxy liner installed to extend the life of the existing water main.
- Mechanically cleaning work will require the main be taken out of service (10-15 workdays). Work to be completed in early spring of 2023.
- Epoxy lining requires existing valves to be replaced.
- Fire Hydrants will not be in service during the mechanical cleaning and epoxy lining process. The Fire Department has prepared a plan to provide fire protection while hydrants are out of service.



Utility Contract - Waterline Improvements Continued

- Temporary water lines 2" in diameter are proposed to be installed above ground.
 - ¾" service lines will be installed from temporary water main to existing meters and then reconnected to existing waterline after it has been mechanically cleaned.
 - Water meters will need to be removed to avoid cutting service line and connected to pipe on property owner side of meter. As a result, customers will not be billed for water while temporary water lines are connected.
- Temporary water lines will require protection from traffic and work must be conducted when the air temperature is 40 °F or above.



Waterline Improvements

Mechanical Cleaning Procedures



1. Pipe System Diagnosis

- Map system
- Utilize computerized pipe video surveillance to inspect and digitally record findings
- Review findings with property management
- Diagnose and identify restoration plan



2. Pipe Repair/Replacement

- Repair or replace damaged pipe sections
- Flushing & drying
- Tuberculation removal
- Grit blasting



3. Abrasive Cleaning

- Abrasive cleaning with conical spray head to near-white metal finish
(as specified by manufacturer)
- Pipe is now in a good state of repair



4. Epoxy Lining and Reassembly

- Pipe's state of good repair enhanced with epoxy lining
- Extends life of repaired or replaced pipe
- Prevents corrosion and biological buildup
- Enhances flow capacity
- Dampens vibration



5. Final Inspection & System Testing

- TV inspection
- Epoxy inspection of pipe lining for thickness and need for coating repair
- Hydrostatic pressure testing
- Leakage pressure testing
- Bacteriological disinfection
- Leaching test
- Restoration of system



A close-up photograph of a fire hose reel mounted on a red fire cabinet. The hose is coiled neatly on a metal reel. In the background, a red fire extinguisher is visible on a wall. The scene is brightly lit, suggesting an indoor fire station or training area.

Fire Protection

- The Fire Department recognizes the need for alternative suppression strategies during the impairment.
- An Incident Action Plan (IAP) has been developed to address the concerns related to the project.
- The IAP includes more than one set of strategies to account for multiple scenarios.
- Fire Department staff members will complete additional training sessions that will outline the specific strategies and tactics needed during the impairment.

Utility Contract - Waterline Improvements

- Estimated Cost

Scope of Work	Clay Street Cost	Fourth Street Cost	Total Cost	Utility Fund	General Fund
Mechanical Cleaning and Liner	\$100,000	\$20,000	\$120,000	\$120,000	\$0
Temporary Water lines	\$65,000	\$20,000	\$85,000	\$85,000	\$0
Valve Replacements	\$30,000	\$5,000	\$35,000	\$35,000	\$0
Temporary Service Connections	\$20,000	\$5,000	\$25,000	\$25,000	\$0
Engineering and Contingencies	\$38,000	\$10,000	\$48,000	\$48,000	\$0
Totals	\$253,000	\$60,000	\$313,000	\$313,000	\$0



Street Contract - Improvements Along Clay St and Fourth St

- Upon Completion of the underground infrastructure improvements, both Clay St. and Fourth St will be milled, patched as required, resurfaced, intersection crosswalks stamped (same pattern as existing), pavement markings for parking spaces, yield and sharrow (bike lane) symbols installed.
- Bulb-outs at the mid-block crossings for both streets will be added to provide increased pedestrian safety measures.
 - A flume will be required to maintain drainage and a portion of the granite curb will be required to be removed.
- Truncated domes will be relocated to the edge of travel lanes and existing sidewalk behind the curb will be replaced.
- Staff consulted the City's long –range plans, including the Bicycle and Pedestrian Transportation and Downtown Vision Plan. The practicable improvements have been incorporated and shown in the next slides.

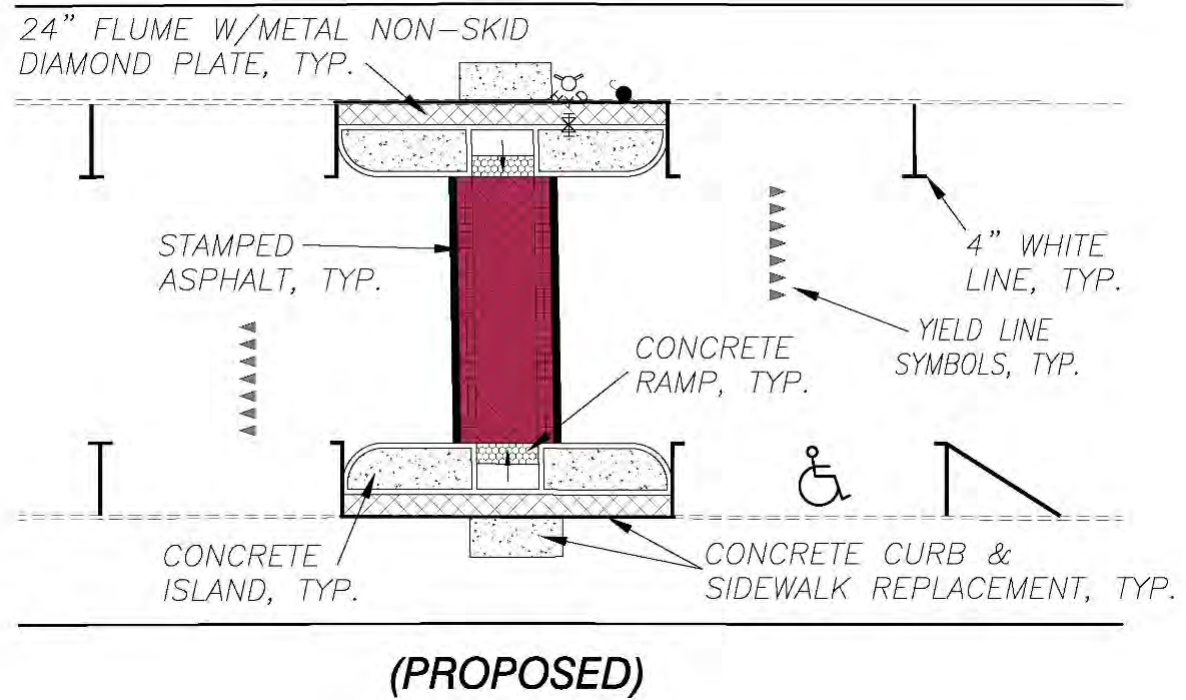
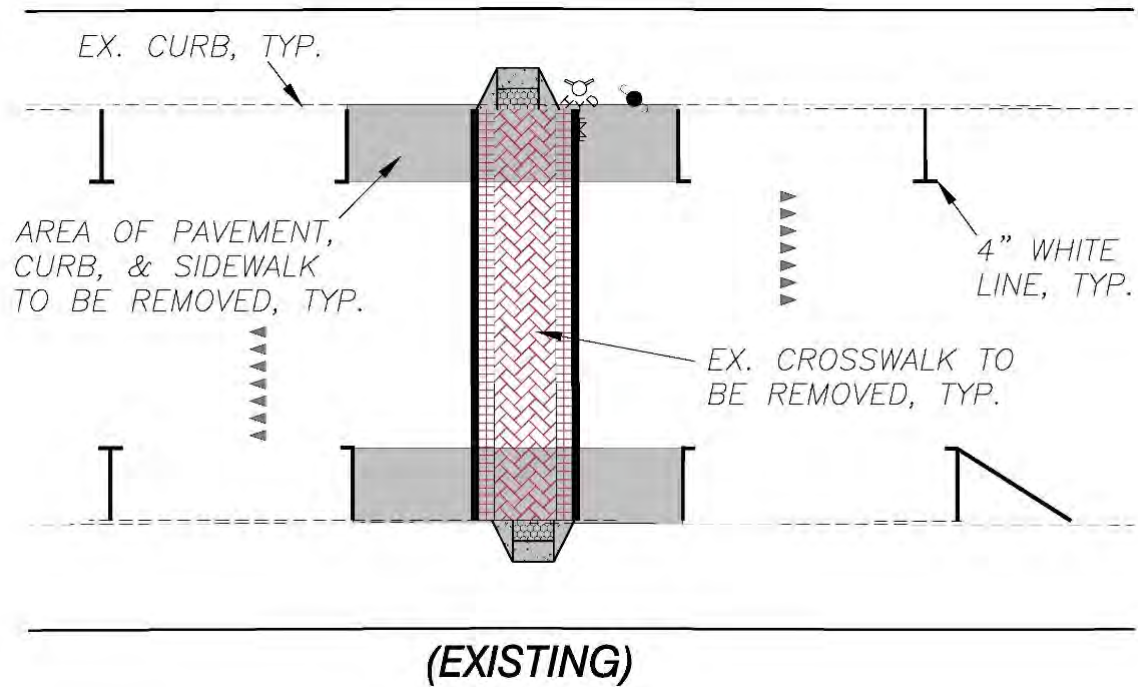


Street Contract - Improvements Along Clay St and Fourth St-Continued

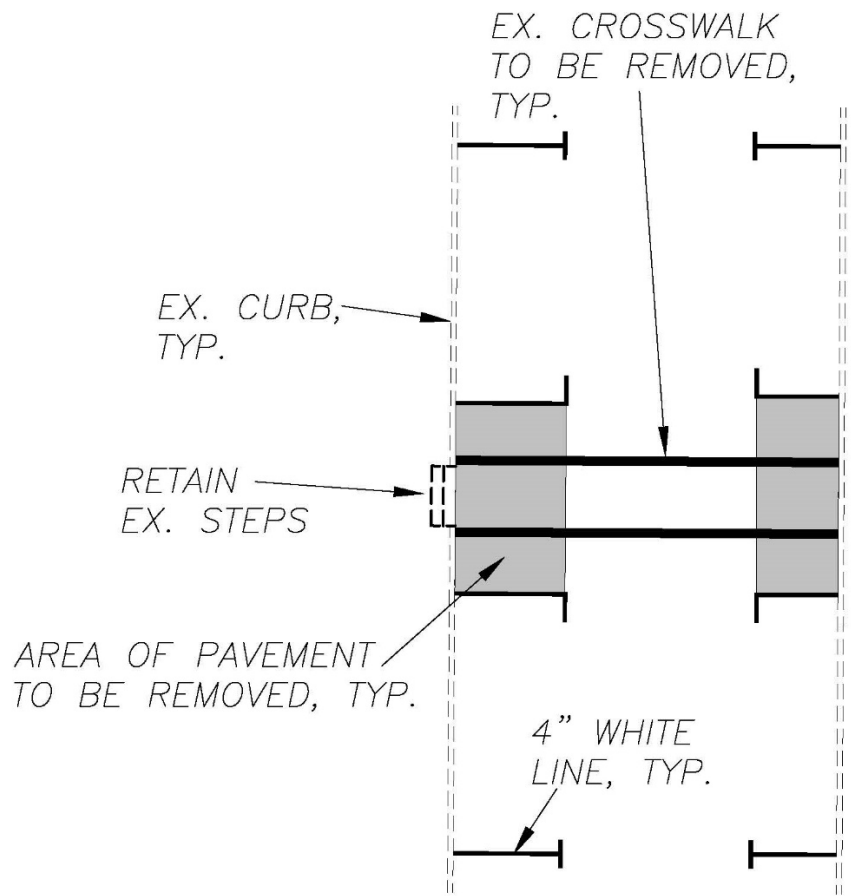
- Existing and Proposed Handicap Spaces
- 2 Existing spaces are in vicinity of Project limits.
 - East side of Fourth St. at Center St. intersection
 - East side of Fifth St., north of Clay St. intersection.
- 3 additional handicap spaces are proposed on Clay Street.
 - North side of Clay St. at Third St. intersection.
 - South side of Clay St. east of the mid-block crossing.
 - South side of Clay St. east of Fourth St.
- Street Improvements to be funded in 2023-24 FY and are proposed to begin mid to late July and be completed by mid October.



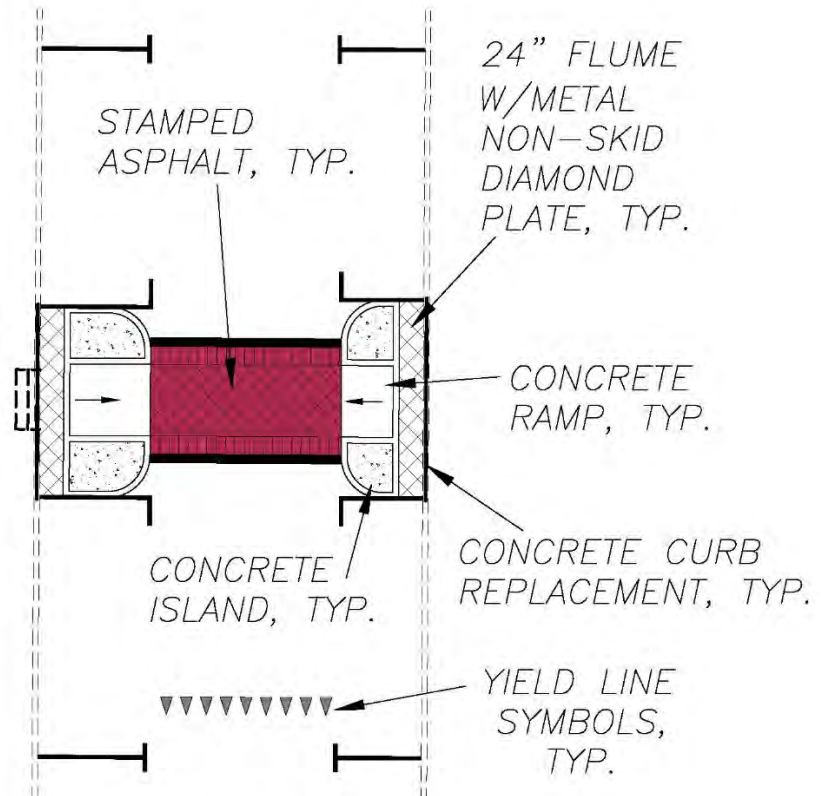
Clay Street Mid-Block Crosswalk Exhibit



Fourth Street Mid-Block Crosswalk Exhibit



(EXISTING)



(PROPOSED)



Street Repair Contract – Clay St. & Fourth St. Improvements

- Estimated Cost

Scope of Work	Clay Street Cost	Fourth Street Cost	Total Cost	Utility Fund	General Fund
Milling, Patching and Resurfacing	\$210,000	\$40,000	\$250,000	\$0	\$250,000
Concrete Bulb-Outs and Curb Ramps	\$25,000	\$15,000	\$40,000	\$0	\$40,000
Stamped Asphalt	\$95,000	\$5,000	\$100,000	\$0	\$100,000
Pavement Markings	\$8,000	\$2,000	\$10,000	\$0	\$10,000
Engineering and Contingencies	\$60,000	\$13,000	\$73,000	\$0	\$73,000
Totals	\$398,000	\$75,000	\$473,000	\$0	\$473,000

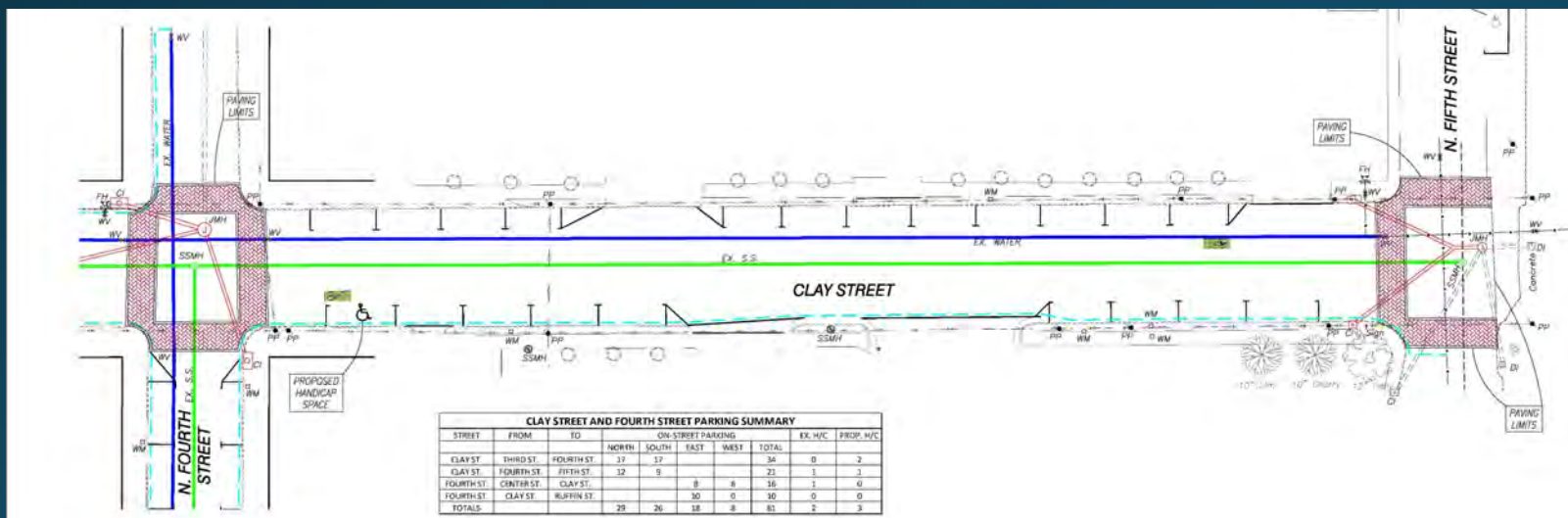
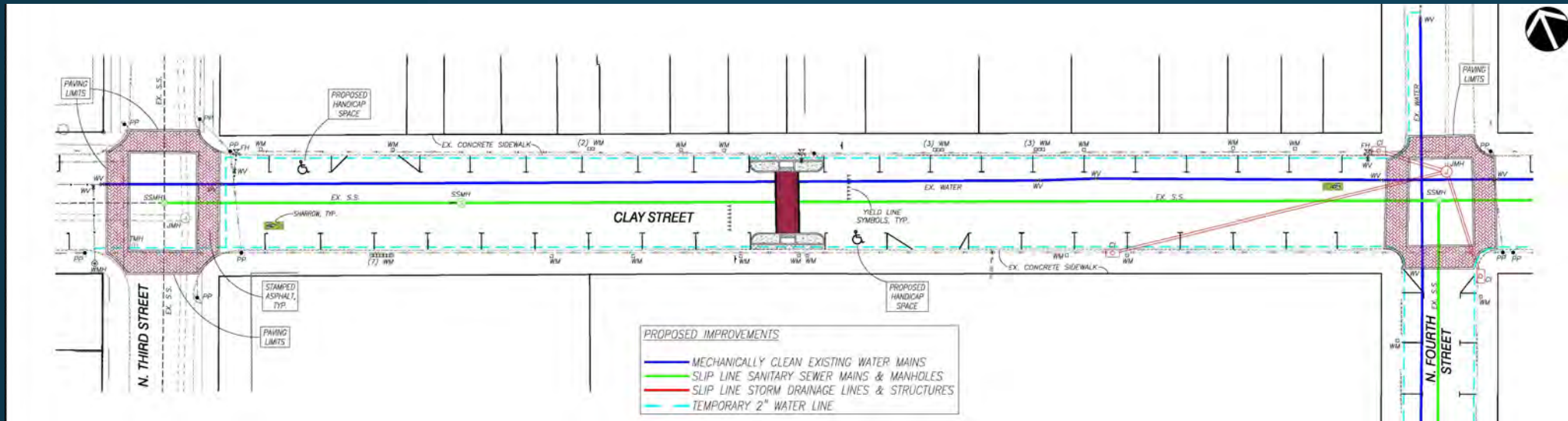


Summary of Clay St. and Fourth St. Improvements

- *Utility Contract - Slip Lining Sanitary Sewer and Stormwater Lines*
 - Seal cracks in existing lines to reduce inflow/infiltration and prohibit HDPR from entering the lines.
- *Utility Contract - High Density Polyurethane Structural Resin (HDPR)*
 - Appears to be an affordable and more effective solution to eliminate voids and prevent future voids from forming.
- *Utility Contract - Waterline Improvements*
 - This is a preventative measure that will allow for increase fire protection and water quality in the area.
 - This process reduces the likelihood of future leaks/breaks on this section of waterline.
- *Street Repair Contract - Street Improvements*
 - Resurfacing of Clay Street and Fourth Street with safety improvements for pedestrians.



Clay St. Improvements Preliminary Site Plan

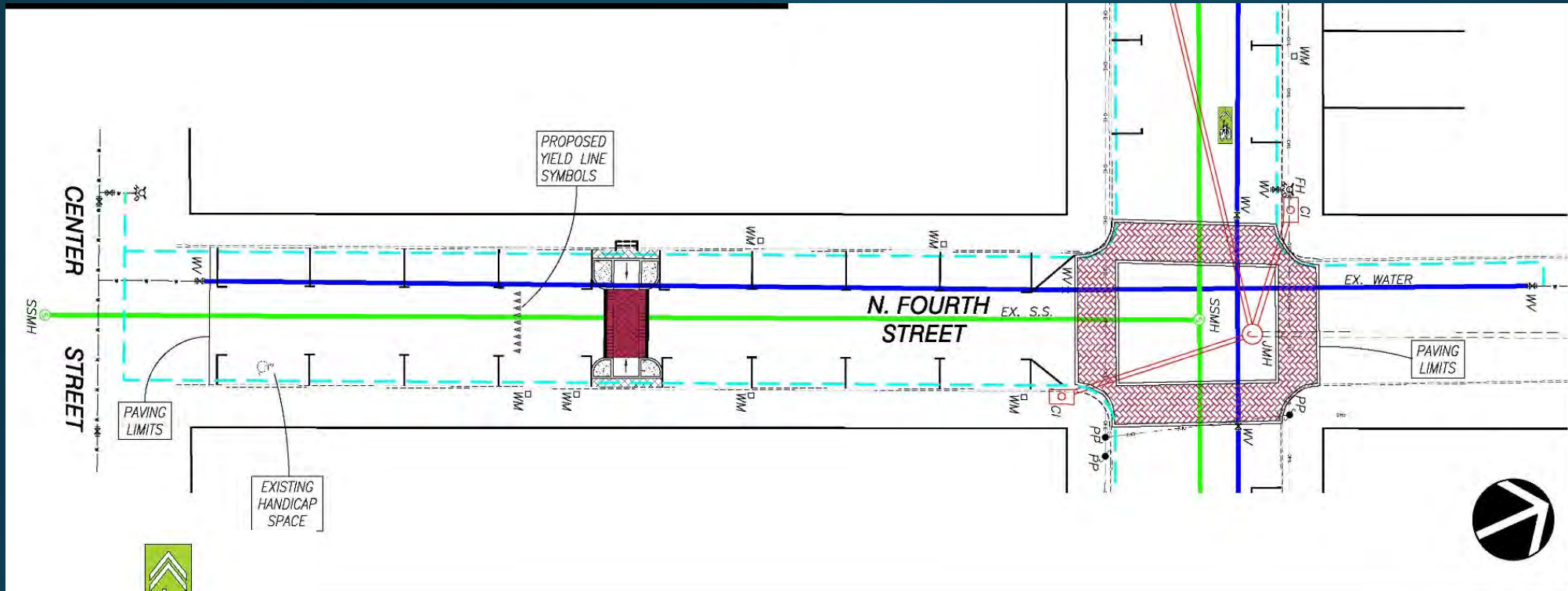


SHARROW

PROPOSED YIELD LINE SYMBOLS



Fourth St. Improvements Preliminary Site Plan



SHARROW



PROPOSED YIELD LINE SYMBOLS



Cost Summary of all Clay St. and Fourth St. Improvements

Scope of Work	Clay Street Cost	Fourth Street Cost	Total Cost	Utility Fund	General Fund
Slip Lining Sanitary Sewer Lines	\$98,000	\$21,000	\$119,000	\$119,000	\$0
Slip Lining Stormwater Lines	\$44,000	\$3,000	\$47,000		\$47,000
HDPR Injection	\$48,000	\$0	\$48,000	\$0	\$48,000
Water Line Improvements	\$253,000	\$60,000	\$313,000	\$313,000	\$0
Street Improvements	\$398,000	\$75,000	\$473,000	\$0	\$473,000
Totals	\$841,000	\$159,000	\$1,000,000	\$432,000	\$568,000



Proposed Schedule of Clay St. and Fourth St. Improvements

Utility Contract Project Schedule:

1. Prepare Bid Documents: Now-Nov. 4
2. Staff Review/Comments: Nov.7-Nov. 11
- 3. DMDC Hosted Information Session for Downtown Business/Property Owners November 9th and 10th.**
4. Advertisement: Mid November
5. Pre-Bid Meeting: Nov. 22, 2022
- 6. Bid Date, Dec.13, 2022**
7. Agenda to Council: Late December
- 8. Award at Council Meeting: Jan. 2023**
- 9. Begin work late January and complete work by June 30, 2023**

Street Repair Contract Project Schedule:

1. Prepare Bid Documents: Late March, 2023
2. Staff Review/Comments: April 2023
3. Advertisement: May 2023
4. Pre-Bid Meeting: May 16th, 2023
- 5. Bid Date, June 1, 2023**
6. Agenda to Council: Late June 2023
- 7. Award at Council Meeting: July 2023**
- 8. DMDC Hosted Information Session for Downtown Business/Property Owners– Early July**
- 9. Begin work mid to late-July and complete work by mid October 2023**

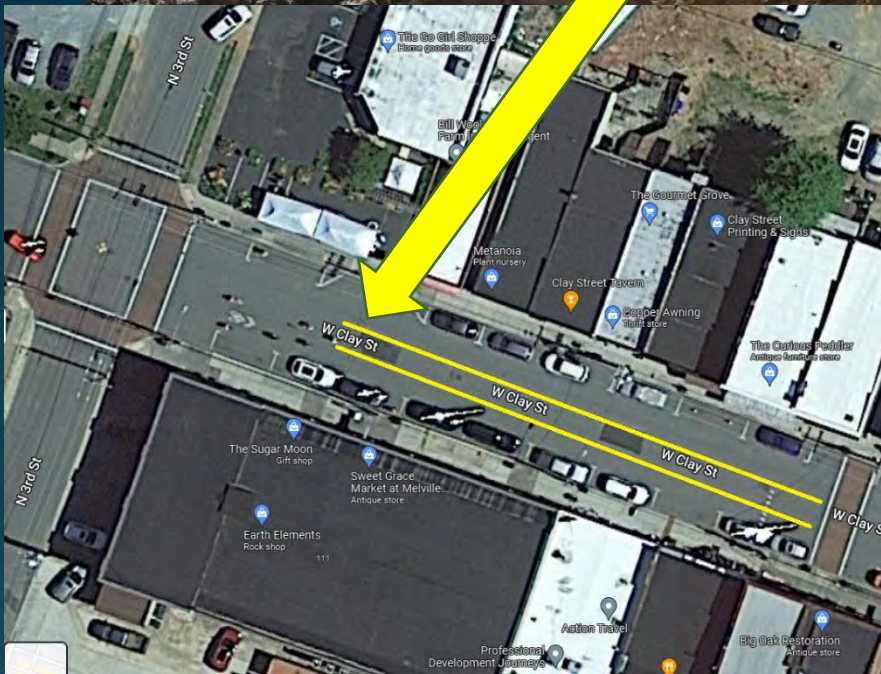
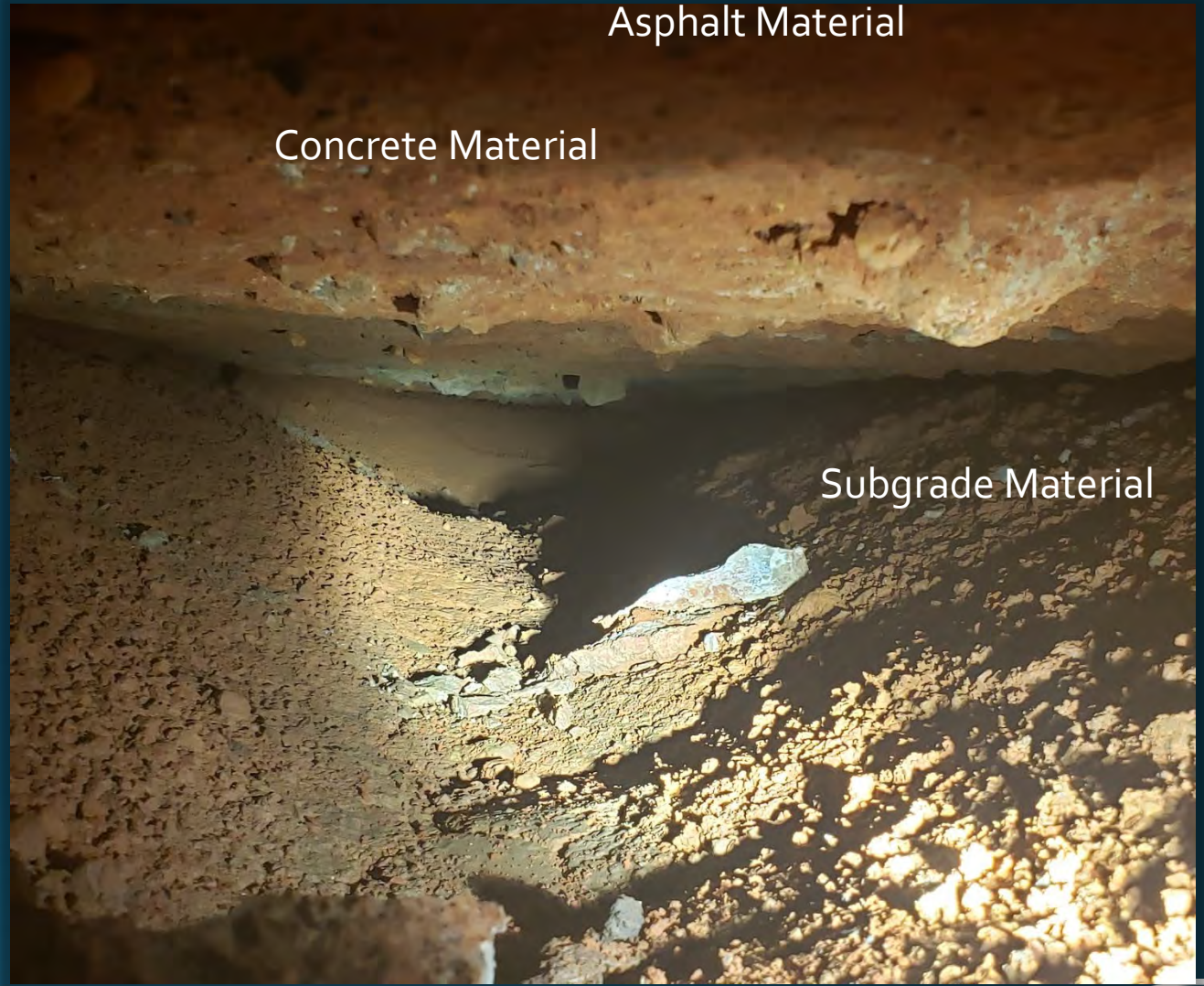
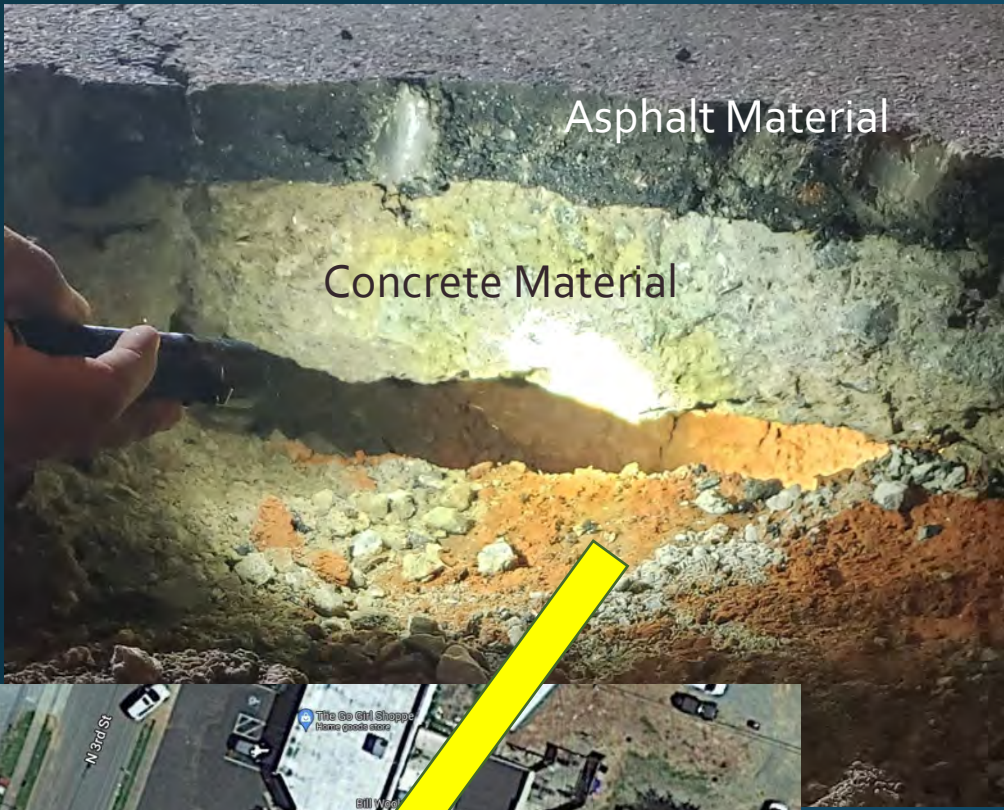


WEST CLAY STREET TEMPORARY HOLIDAY STREET REPAIRS

North Third Street to
North Fourth Street

Chuck Smith, Public Works Director





The void was filled with a flowable fill material

West Clay Street Voids



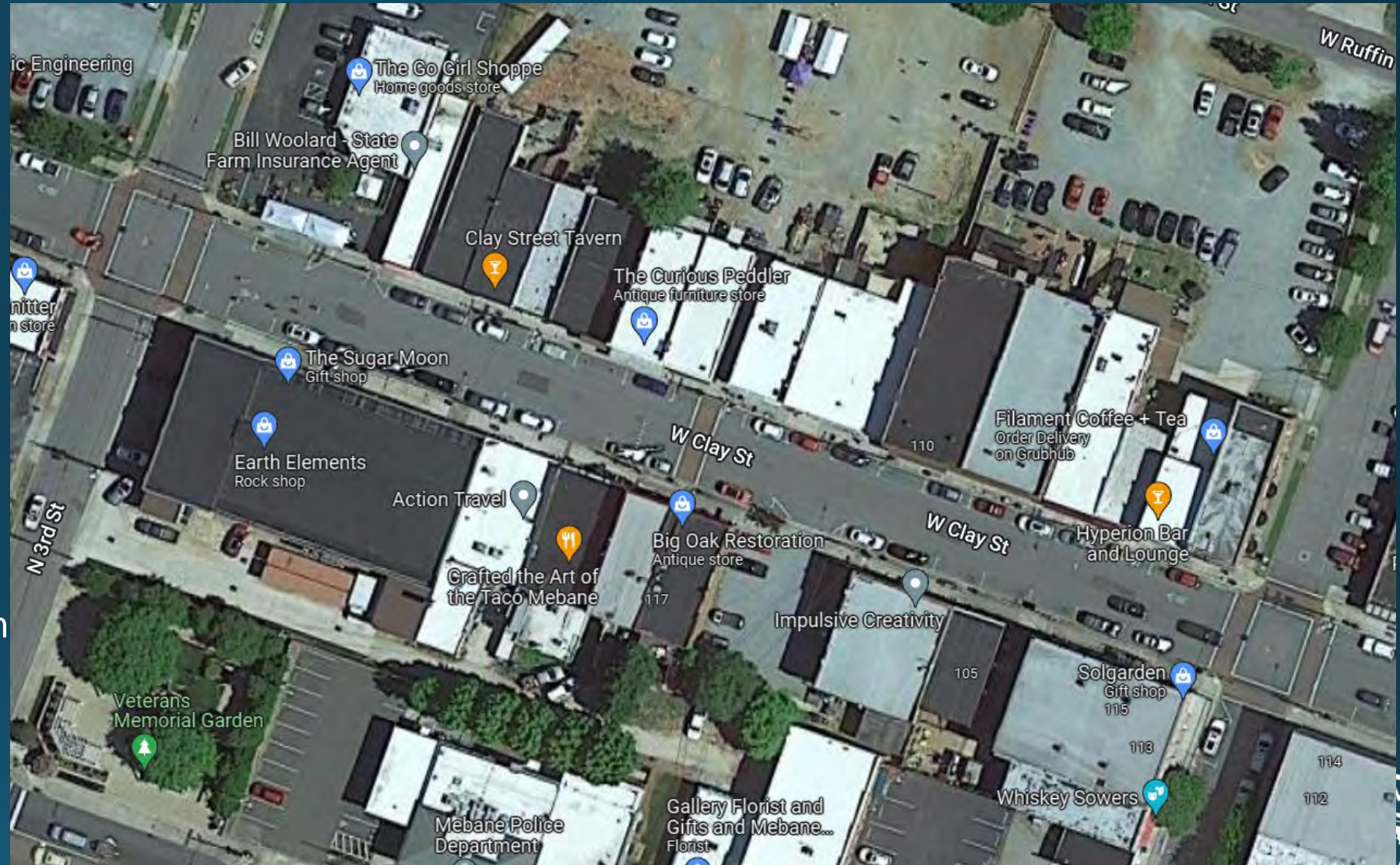
W. Clay St – N. Third St. to Mid-Block Crossing

W. Clay St – Mid-Block Crossing to N. Fourth St



Proposed Project Schedule

- All contractor street repair work will occur on Monday, November 14, weather permitting.
- West Clay Street will be closed to traffic from N. Third St. to N. Fourth St.
- Sidewalks will remain open to allow pedestrians to reach downtown businesses.



West Clay Street - Scope of Work & Cost

- Contractor will perform milling operations to remove asphalt in middle third of West Clay Street.
- Contractor will pave milled street section to match existing street grade.

Item Description	Quantity	Unit	Unit Price	Amount
Pavement Repair, 4" Depth, 2.5" I19.0C and 1.5" S9.5B	61	Tons	\$240.00	\$14,640.00





QUESTIONS



AGENDA ITEM #5B

Petition for Voluntary Contiguous Annexation- McKay Land NC, LLC

Meeting Date

December 5, 2022

Presenter

Lawson Brown, City Attorney

Public Hearing

Yes No

Summary

Staff received a petition requesting voluntary contiguous annexation from McKay Land NC, LLC.

Background

The applicant is requesting that the described property be annexed into Mebane's Corporate Limits. This is a contiguous annexation containing approximately +/- 6.654 acres located in Alamance County on Wilson Road. A Commercial development of a 35,000 square foot bookstore is planned for this property.

Financial Impact

The property will be added to the ad valorem tax base of the City once the property is annexed.

Recommendation

Staff recommends the Council's acceptance of the petition, the Clerk's Certificate of Sufficiency, and to adopt a Resolution setting a date of public hearing for January 9, 2023.

Suggested Motion

I make a motion to accept the petition, the Clerk's Certificate of Sufficiency, and to adopt a Resolution setting a date of public hearing for January 9, 2023.

Attachments

1. Petition
2. Clerk's Certificate of Sufficiency
3. Map
4. Resolution



PETITION REQUESTING A CONTIGUOUS ANNEXATION

Annexation Process – Approximately a 2 Month Process

1st Month- Submit a Petition for Annexation to the City Council, the Clerk reports to City Council the Sufficiency of the Annexation and the City Council adopts a Resolution to set a Public Hearing

2nd Month- A Public Hearing is held and normally that same night, the City Council will adopt an Ordinance to set the effective date as the same or the Council will deny the request

Date: 10/5/22

To the City Council of the City of Mebane:

1. We the undersigned owners of real property respectfully request that the area described in Paragraph 2 below be annexed to the City of Mebane.
2. The area to be annexed is contiguous to the City of Mebane and the boundaries of such territory are as follows:

**Please include a Description of Boundaries (Metes and Bounds) on a separate paper.*

- **3.** We acknowledge that any zoning vested rights acquired pursuant to G.S. 160A-385.1 or or G.S. 153A-344.1 must be declared and identified on this petition. We further acknowledge that failure to declare such rights on this petition shall result in a termination of vested rights previously acquired for the property. (If zoning vested rights are claimed, indicate below and attach proof.)

Name	Address	Do you declare vested rights (Yes or No)	Signature
1. Andrea Jacobson McKay Land NC, LLC	745 Jonestown Road Winston-Salem, NC 27103	No	
2.			
3.			

*Municipality may wish to require metes and bounds description or map. (Provide 2 paper copies, an electronic copy and 3 mylars)

**This is one possible format for zoning vested rights declaration. This language may require modification to reflect the requirements of the municipal zoning vested rights ordinance, if any.

CERTIFICATE OF SUFFICIENCY

To the City Council of the City of Mebane, North Carolina:

I, Stephanie W. Shaw, City Clerk, do hereby certify that I have investigated the petition attached hereto and have found as a fact that said petition is signed by all owners of real property lying in the area described therein, in accordance with G.S. 160A-31.

In witness whereof, I have hereunto set my hand and affixed the seal of the City of Mebane, this 5th day of December, 2022.



Stephanie W. Shaw
Stephanie W. Shaw, City Clerk

UNLESS SIGNED, SEALED AND DATED, THIS IS A PRELIMINARY PLAT NOT FOR RECORDING, SALES OR CONVEYANCES.

SURVEYOR'S CERTIFICATE:

I, _____, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in book 4226, Page 977 & 981 etc.) (Other); that the boundaries not surveyed are clearly indicated as drawn from information found in book PB 14 page 60, that the ratio of precision or positional accuracy as calculated is 1:25,471; that this plat was prepared in accordance with G. S. 47-30 as amended;

Pursuant to GS 47-30(i)(11), this survey: (c1) is of an existing parcel or parcels of land and does not create a new street or change an existing street.

As per GS 47-30(j), the provisions of GS 47-30 shall not to boundary plots of areas annexed by municipalities nor to plots of municipal boundaries, whether or not required by law to be recorded.

I further certify that the plan shown and described hereon is a true and correct survey of the accuracy required by the Subdivision Ordinance of the City of Mebane, Alamance County, and that the monuments have been placed as shown hereon in accordance with the requirements of the Subdivision Ordinance.

Witness my original signature, license number and seal this _____ day of _____ A.D. 20____.

SEAL OR STAMP

Professional Land Surveyor

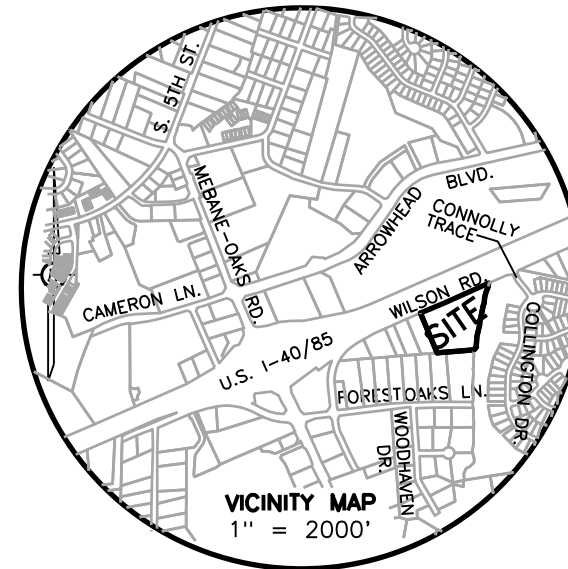
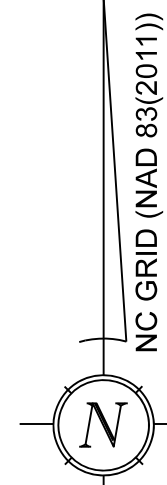
License Number

PLANNING DIRECTOR CERTIFICATION:

This tract of land is within the City of Mebane's jurisdiction. No approval is required of the planning board or City Council.

Planning Director _____

Date _____



NOTES:

THE PURPOSE OF THIS PLAT IS TO ANNEX THE 6.654 Ac. (0.0104 Sq. Mile) ± PARCEL INTO THE CORPORATE LIMITS OF THE CITY OF MEBANE.

BOUNDARY INFORMATION IS SHOWN PER A SURVEY OF THIS PROPERTY BY SACKS SURVEYING & MAPPING DATED 26 JULY, 2021 (REVISED 8/5/21)

APPARENT SOURCE TITLE: DB 4226 PP 977 & 981

PLAT REFERENCES: PB 14 PG 60 LOTS 145-152
PB _____ PG _____ LOT 1

TAX PARCEL #s: 167623 & 167624

TOTAL AREA UNDER HEAVY LINE: 6.654 ACRES, MORE OR LESS

THIS SURVEY WAS PREPARED WITHOUT REFERENCE TO A TITLE REPORT. THERE MAY BE EASEMENTS, RIGHTS-OF-WAY, OR OTHER MATTERS AFFECTING THIS PROPERTY WHICH ARE NOT SHOWN HEREON.

ALL DEEDS AND MAPS NOTED HEREON WERE USED AS REFERENCES IN PREPARING THIS SURVEY.

N.C. GRID COORDINATES SHOWN HEREON WERE ESTABLISHED BY RAPID STATIC GPS METHODS USING SPECTRA PRECISION SP-80 GPS EQUIPMENT, HOLDING LOCAL CORRS STATIONS AS FIXED REFERENCES. A WEIGHTED LEAST-SQUARES AVERAGE OF THREE INDEPENDENT OBSERVATIONS WAS USED TO CALCULATE THE RESULTANT POSITIONS.

Class of Survey: A
Positional Accuracy: 0.02' Horiz. / 0.06' Vert.
Type of GPS field procedure: Rapid Static (VRS)
Date of Survey: 01 July, 2021
Datum/Epoch: NAD 83 (2011)
Published/fixed-control used: Local CORRS Stations
Geoid Model: Geoid 18
Combined grid factor: 0.99995045
Units: US Survey Feet

ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS UNLESS NOTED OTHERWISE

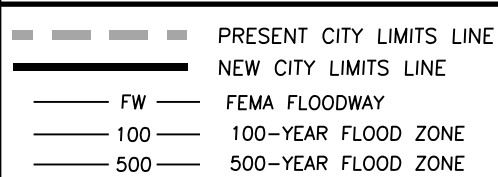
ACCORDING TO FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL #3710982400-L, EFFECTIVE 17 NOVEMBER, 2017, PORTIONS OF THIS SITE LIE WITHIN THE FEMA COMMUNITY FLOODWAY, 100-YEAR (ZONE 'AE') AND 500-YEAR (ZONE 'X') FLOOD ZONES. THE LIMITS OF SAID FLOOD ZONES ARE SHOWN HEREON PER FEMA GIS DATA. THIS SURVEYOR DID NOT PERFORM A FLOOD ELEVATION STUDY IN CONJUNCTION WITH THE PRESENT MAPPING.

THERE ARE IMPROVEMENTS TO THIS PROPERTY WHICH ARE NOT SHOWN HEREON.

NOT A CERTIFIED DOCUMENT -
PRELIMINARY PLAT -
NOT FOR RECORDATION,
CONVEYANCES, OR SALES

LEG TABLE:

LINE	BEARING	DISTANCE
L1	S 14°32'48" W	13.21'
L2	S 14°32'48" W	19.85'
L3	S 17°40'55" W	44.29'
L4	S 18°04'50" W	58.79'
L5	S 10°55'57" W	68.73'
L6	S 10°09'26" W	52.97'
L7	S 11°56'46" W	37.59'
L8	S 11°36'51" W	57.16'
L9	S 16°01'43" W	48.73'
L10	S 10°48'28" W	40.91'
L11	S 06°01'42" W	57.80'
L12	S 13°50'44" W	62.39'
L13	S 13°04'25" W	35.14'
L14	S 03°08'17" W	56.60'
L15	S 17°11'46" W	36.05'



IPF = IRON PIPE FOUND
RBF = IRON REBAR FOUND
IPS = IRON PIPE SET
CP = COMPUTED POINT (NO CORNER MONUMENT FOUND OR SET)
R/W = RIGHT OF WAY
N/F = NOW OR FORMERLY
ESMT. = EASEMENT
Typ. = TYPICAL
C/L = CENTERLINE

LEGEND

PB 14 PG 60 LOTS 142-144
KAREN D. WILKINSON
N/F REVOCABLE TRUST
TAX PARCEL #167622

N/F LARRY THOMAS TEAUGE & CAROLE MOORE TEAUGE
DB 414 PG 937 Tr. 1
PB 21 PG 55 LOT 18
TAX PARCEL #167614

N/F LARRY THOMAS TEAUGE & CAROLE MOORE TEAUGE
DB 414 PG 937 Tr. 2
PB 21 PG 55 LOT 19
TAX PARCEL #167619

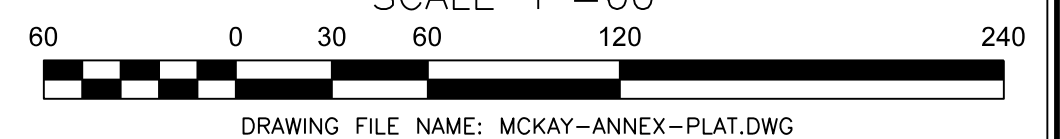
TOTAL AREA ANNEXED
= 6.654 Ac. ±
(0.0104 ± Sq. Miles)

MCKAY LAND NC, LLC
DB 4226 PP 977 & 981
PB _____ PG _____ LOT 1

N/F COLLINGTON FARMS PROPERTY OWNERS ASSOCIATION, INC.
DB 2886 PG 991
PB 71 PP 255-260
TAX PARCEL #167781

NOT A CERTIFIED DOCUMENT -
PRELIMINARY PLAT -
NOT FOR RECORDATION,
CONVEYANCES, OR SALES

FINAL PLAT: CITY OF MEBANE CORPORATE LIMITS EXTENSION (VOLUNTARY CONTIGUOUS ANNEXATION)
MCKAY: MEBANE
4053 WILSON RD.
DEED BOOK 4226 PAGES 977 & 981
DATE PREPARED: 19 OCTOBER, 2022
MELVILLE Twp., ALAMANCE COUNTY, N.C.
SCALE 1"=60'



DRAWING FILE NAME: MCKAY-ANNEX-PLAT.DWG
OWNER: MCKAY LAND NC, LLC
745 JONESTOWN RD.
WINSTON-SALEM, NC 27103
SURVEYOR: STANLEY ROBERT SACKS PLS L-2913

SSM
SACKS SURVEYING & MAPPING, P.C.
LAND SURVEYORS
FIRM LIC #C-2741
3308-B Edgefield Road
Greensboro, NC 27409
(336) 931-0566
FAX 931-0558
WWW.SSMLAND

REVISIONS:
11-7-22 - PER PLANNING REVIEW

RESOLUTION SETTING DATE OF PUBLIC HEARING ON
QUESTION OF ANNEXATION PURSUANT TO G.S. 160A-31

WHEREAS, a petition requesting annexation of the area described herein has been received; and

WHEREAS, certification by the City Clerk as to the sufficiency of the petition has been made;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Mebane, North Carolina that:

Section 1. A public hearing on the question of annexation of the area described herein will be held at the Glendel Stephenson Municipal Building at 6:00 p.m. on January 9, 2023.

Section 2. The area proposed for annexation is described as follows:

All that certain tract or parcel of land, being located in Melville Township, Alamance County, North Carolina, being more particularly described as follows:

BEGINNING at an iron pipe found in the southerly right-of-way line of Wilson Road [NCSR 2187]. Said iron being the northeasterly corner of Lot 144 of the W.E. McPherson Estate Subdivision (Plat Book 14, Page 60, Alamance County Register of Deeds), said iron having North Carolina Grid Coordinates (NAD 83/2011) of North(y) = 845,432.79 feet and East(x) = 1,921,300.48 feet; thence with the southerly right-of-way line of Wilson Road North 66 deg. 21' 23" East a distance of 775.69 feet to a point at the centerline of Haw Creek; thence with the centerline of Haw Creek the following fourteen (14) courses and distances:

- 1) South 14 deg. 32' 48" West a distance of 19.85 feet to a point;
- 2) South 17 deg. 40' 55" West a distance of 44.29 feet to a point;
- 3) South 18 deg. 04' 50" West a distance of 58.79 feet to a point;
- 4) South 10 deg. 55' 57" West a distance of 68.73 feet to a point;
- 5) South 10 deg. 09' 26" West a distance of 52.97 feet to a point;
- 6) South 11 deg. 56' 46" West a distance of 37.59 feet to a point;
- 7) South 11 deg. 36' 51" West a distance of 57.16 feet to a point;
- 8) South 16 deg. 01' 43" West a distance of 48.73 feet to a point;
- 9) South 10 deg. 48' 28" West a distance of 40.91 feet to a point;
- 10) South 06 deg. 01' 42" West a distance of 57.80 feet to a point;
- 11) South 13 deg. 50' 44" West a distance of 62.39 feet to a point;
- 12) South 13 deg. 04' 25" West a distance of 35.14 feet to a point;
- 13) South 03 deg. 08' 17" West a distance of 56.60 feet to a point; and
- 14) South 17 deg. 11' 46" West a distance of 36.05 feet to a point at the northeasterly corner of Lot 19 of the Woodhaven Subdivision, Section Two (Plat Book 21, Page 55, Alamance County Register of Deeds);

Thence with the northerly line of said Lot 19 South 83 deg. 50' 23" West a distance of 322.27 feet (passing an iron pipe found at a distance of 86.77 feet) to an iron pipe found at the northeasterly corner of Lot 18 of said Woodhaven Subdivision, Section Two; thence with the northerly line of said Lot 18 South 84 deg. 09' 52" West a distance of 78.40 feet to an iron pipe found at the southeasterly corner of the aforementioned Lot 144 of the W.E. McPherson Estate Subdivision; thence with the easterly line of said Lot 144 North 23 deg' 28" 31" West a distance of 426.74 feet to the point and place of BEGINNING, containing 6.654 acres, more or less, BEING ALL of that same property described in Deed Book 4226, Pages 977 and 981, Alamance County Register of Deeds.

Section 3. Notice of the public hearing shall be published once in the Mebane Enterprise, a newspaper having general circulation in the City of Mebane, at least ten (10) days prior to the date of the public hearing.

Ed Hooks, Mayor

ATTEST:

Stephanie W. Shaw, City Clerk



AGENDA ITEM #5C

Petition for Voluntary Contiguous
Annexation-
G & L Construction and Larry & Susan
Wood- Peartree Townhomes

Meeting Date

December 5, 2022

Presenter

Lawson Brown, City Attorney

Public Hearing

Yes No

Summary

Staff received a petition requesting voluntary contiguous annexation from G & L Construction and Larry & Susan Wood.

Background

The applicant is requesting that the described property be annexed into Mebane's Corporate Limits. This is a contiguous annexation containing approximately +/- 10.651 acres located in Alamance County on Baker Lane. A residential development of 148 Townhomes is planned for this property, Peartree Townhomes.

Financial Impact

The property will be added to the ad valorem tax base of the City once the property is annexed.

Recommendation

Staff recommends the Council's acceptance of the petition, the Clerk's Certificate of Sufficiency, and to adopt a Resolution setting a date of public hearing for January 9, 2023.

Suggested Motion

I make a motion to accept the petition, the Clerk's Certificate of Sufficiency, and to adopt a Resolution setting a date of public hearing for January 9, 2023.

Attachments

1. Petition
2. Clerk's Certificate of Sufficiency
3. Map
4. Resolution



PETITION REQUESTING A CONTIGUOUS ANNEXATION

Annexation Process – Approximately a 2 Month Process

1st Month- Submit a Petition for Annexation to the City Council, the Clerk reports to City Council the Sufficiency of the Annexation and the City Council adopts a Resolution to set a Public Hearing

2nd Month- A Public Hearing is held and normally that same night, the City Council will adopt an Ordinance to set the effective date as the same or the Council will deny the request

Date: 10/21/2022

To the City Council of the City of Mebane:

1. We the undersigned owners of real property respectfully request that the area described in Paragraph 2 below be annexed to the City of Mebane.
2. The area to be annexed is contiguous to the City of Mebane and the boundaries of such territory are as follows:

**Please include a Description of Boundaries (Metes and Bounds) on a separate paper.*

- **3.** We acknowledge that any zoning vested rights acquired pursuant to G.S. 160A-385.1 or or G.S. 153A-344.1 must be declared and identified on this petition. We further acknowledge that failure to declare such rights on this petition shall result in a termination of vested rights previously acquired for the property. (If zoning vested rights are claimed, indicate below and attach proof.)

Name	Address	Do you declare vested rights (Yes or No)	Signature
1. G & L Construction Inc.	518 S Asheboro St. Liberty, NC 27298	NO	DocuSigned by: <i>Gerald M. Lowe</i>
2. Larry Wood, Jr. & Susan W. Wood	5067 Harvestview Dr. Mebane, NC 27302 - 7958	NO	DocuSigned by: CC55F607550F403 <i>Larry Wood Jr.</i> <i>Susan W. Wood</i>
3.			858D6CE09AAD4DD... 858D6CE09AAD4DD...

*Municipality may wish to require metes and bounds description or map. (Provide 2 paper copies, an electronic copy and 3 mylars)

**This is one possible format for zoning vested rights declaration. This language may require modification to reflect the requirements of the municipal zoning vested rights ordinance, if any.

CERTIFICATE OF SUFFICIENCY

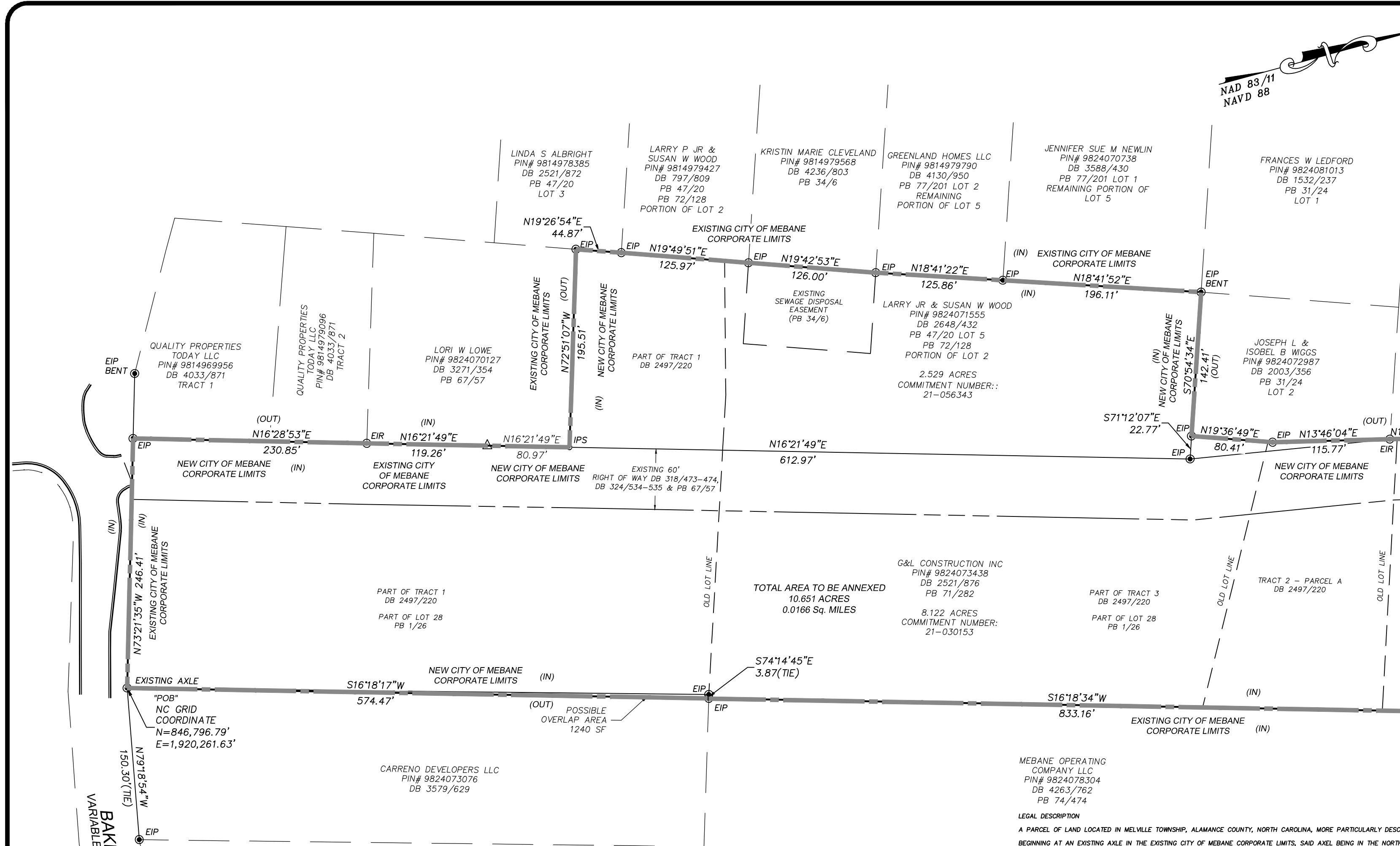
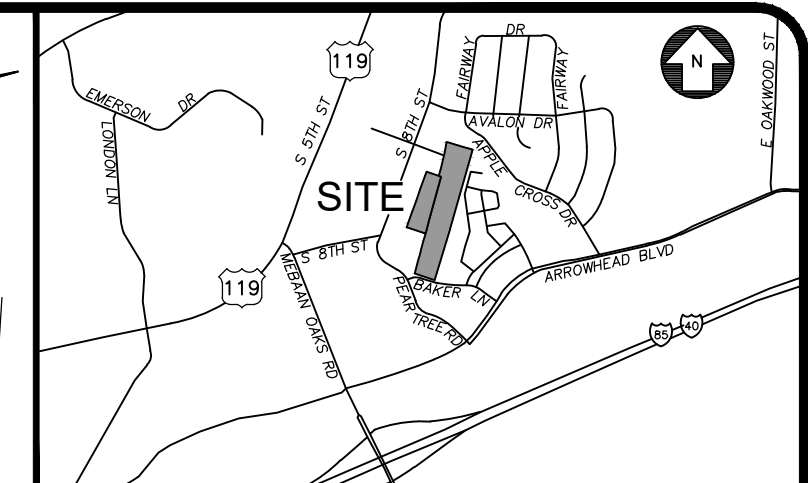
To the City Council of the City of Mebane, North Carolina:

I, Stephanie W. Shaw, City Clerk, do hereby certify that I have investigated the petition attached hereto and have found as a fact that said petition is signed by all owners of real property lying in the area described therein, in accordance with G.S. 160A-31.

In witness whereof, I have hereunto set my hand and affixed the seal of the City of Mebane, this 5th day of December, 2022.



Stephanie W. Shaw
Stephanie W. Shaw, City Clerk

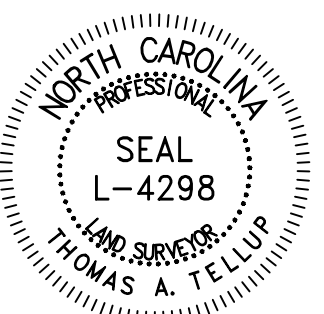


BAKER LN
 VARIABLE WIDTH RW
 N7918'54\"/>

EXISTING AXLE
 N73°21'35\"/>

I, THOMAS A. TELLUP, N.C.P.L.S. #4298, CERTIFY THAT NC GRID THE DATA SHOWN ON THIS PLAT WAS OBTAINED FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:
 (1) CLASS OF SURVEY: 'A'
 (2) POSITIONAL ACCURACY: 0.07'
 (3) TYPE OF GPS FIELD PROCEDURE: VRS
 (4) DATES OF SURVEY: 05/24/2021
 (5) DATUM/EPOCH: NAD 83/2011
 (6) PUBLISHED/FIXED CONTROL USED: HELD VRS
 (7) GEOID MODEL: 2018
 (8) COMBINED GRID FACTOR: 0.99995022
 (9) UNITS: US SURVEY FEET

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE:
 G.S. 47-30 (F)(1)(C)(1). THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.
 I, THOMAS TELLUP, PLS NO. 4298, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK/PAGE (AS NOTED HEREON) OR OTHER REFERENCE SOURCE (AS NOTED HEREON)); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED IN A BROKEN LINE TYPE AS DRAWN FROM INFORMATION IN BOOK/PAGE (AS NOTED HEREON) OR OTHER REFERENCE SOURCE (AS NOTED HEREON); THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600). WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS THE 8th DAY OF NOVEMBER 2022.



PLANNING DIRECTOR CERTIFICATION
 THIS TRACT OF LAND IS WITHIN THE CITY OF MEBANE'S JURISDICTION. NO APPROVAL IS REQUIRED OF THE PLANNING BOARD OR CITY COUNCIL UNDER SECTION 50.2 (C) OF THE CODE OF ORDINANCES.
 PLANNING DIRECTOR _____ DATE _____

PRELIMINARY PLAT
 Not for Recordation, Conveyance or Sales
 PROFESSIONAL LAND SURVEYOR L-4298
 SUMMIT DESIGN & ENGINEERING, SERVICES, PLLC. REG. NUMBER P-033

LEGAL DESCRIPTION
 A PARCEL OF LAND LOCATED IN MELVILLE TOWNSHIP, ALAMANCE COUNTY, NORTH CAROLINA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT AN EXISTING AXLE IN THE EXISTING CITY OF MEBANE CORPORATE LIMITS, SAID AXEL BEING IN THE NORTHERN RIGHT OF WAY OF BAKER LANE AND MARKING THE SOUTHWESTERN CORNER OF THAT PROPERTY OWNED BY CARRENO DEVELOPERS LLC (DEED BOOK 3579, PAGE 829 ALAMANCE COUNTY REGISTRY) AND HAVING NC GRID COORDINATES N: 846,796.79'; E: 1,920,261.63' NAD 83/11 AS DETERMINED BY AN ACTUAL GPS SURVEY (COMBINED GRID FACTOR 0.99995022); THENCE WITH THE EXISTING CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE NORTHERN RIGHT OF WAY OF BAKER LANE AND MARKING THE SOUTHWESTERN CORNER OF THAT PROPERTY OWNED BY QUALITY PROPERTIES TODAY LLC (DEED BOOK 4033, PAGE 871 ALAMANCE COUNTY REGISTRY); THENCE LEAVING THE EXISTING CITY OF MEBANE CORPORATE LIMITS AND PROCEEDING WITH THE NEW CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE SOUTHEASTERN LINE OF QUALITY PROPERTIES TODAY LLC, N 16° 28' 53\"/>

COPYRIGHT © 2022
 SUMMIT
 DESIGN AND ENGINEERING
 DRAWING ALTERATION
 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

PIN	9824071555 & 9824073438
PROJECT MANAGER	TT
DRAWN BY	CF

LEGEND	
○	IRON ROD OR PIPE SET
●	EXISTING MONUMENT FOUND; IRON ROD OR PIPE UNLESS OTHERWISE DESCRIBED
△	MATHEMATICAL POINT; NO MONUMENT SET
■	CONCRETE MONUMENT
EIP	EXISTING IRON PIPE

FINAL PLAT OF:
CITY OF MEBANE CORPORATE LIMITS EXTENSION & VOLUNTARY CONTIGUOUS ANNEXATION
 MELVILLE TWP., ALAMANCE CO., NORTH CAROLINA
 FIELD WORK PERFORMED MAY 24, 2021
 PROPERTIES AS DESCRIBED IN
 DEED BOOK 2648 PAGE 432 & DEED BOOK 2521 PAGE 876
 STANDING IN THE NAMES OF
 G & L CONSTRUCTION INC & LARRY JR & SUSAN W WOOD

License #: P-0339
 320 Executive Court
 Hillsborough, NC 27278-8551
 Voice: (919) 732-3883 Fax: (919) 732-6676
 www.summitde.com

PROJECT NO.
21-0047
 DRAWING
21-0047_ANNEX

PLANNING DIRECTOR _____ DATE _____

RESOLUTION FIXING DATE OF PUBLIC HEARING ON
QUESTION OF ANNEXATION PURSUANT TO G.S. 160A-31

WHEREAS, a petition requesting annexation of the area described herein has been received; and

WHEREAS, certification by the City Clerk as to the sufficiency of the petition has been made;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Mebane, North Carolina that:

Section 1. A public hearing on the question of annexation of the area described herein will be held at the Glendel Stephenson Municipal Building at 6:00 p.m. on January 9, 2023.

Section 2. The area proposed for annexation is described as follows:

All that certain tract or parcel of land, being located in Melville Township, Alamance County, North Carolina, being more particularly described as follows:

A PARCEL OF LAND LOCATED IN MELVILLE TOWNSHIP, ALAMANCE COUNTY, NORTH CAROLINA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN EXISTING AXLE IN THE EXISTING CITY OF MEBANE CORPORATE LIMITS, SAID AXEL BEING IN THE NORTHERN RIGHT OF WAY OF BAKER LANE AND MARKING THE SOUTHWESTERN CORNER OF THAT PROPERTY OWNED BY CARRENO DEVELOPERS LLC. (DEED BOOK 3579, PAGE 629 ALAMANCE COUNTY REGISTRY) AND HAVING NC GRID COORDINATES N: 846,796.79', E: 1,920,261.63' NAD 83/11 AS DETERMINED BY AN ACTUAL GPS SURVEY (COMBINED GRID FACTOR 0.99995022); THENCE WITH THE EXISTING CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE NORTHERN RIGHT OF WAY OF BAKER LANE N 73° 21' 35" W 246.41' TO AN EXISTING IRON PIPE, SAID IRON PIPE MARKING THE SOUTHEAST CORNER OF THAT PROPERTY OWNED BY QUALITY PROPERTIES TODAY LLC. (DEED BOOK 4033, PAGE 871 ALAMANCE COUNTY REGISTRY); THENCE LEAVING THE EXISTING CITY OF MEBANE CORPORATE LIMITS AND PROCEEDING WITH THE NEW CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE SOUTHEASTERN LINE OF QUALITY PROPERTIES TODAY LLC. N 16° 28' 53" E 230.85' TO AN EXISTING IRON ROD IN THE EXISTING CITY OF MEBANE CORPORATE LIMITS, SAID IRON ROD MARKING SOUTHEAST CORNER OF THAT PROPERTY OWNED BY LORI W. LOWE (DEED BOOK 3271, PAGE 354 ALAMANCE COUNTY REGISTRY); THENCE LEAVING THE NEW CITY OF MEBANE CORPORATE LIMITS AND PROCEEDING WITH THE EXISTING CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE SOUTHEASTERN LINE OF LORI W. LOWE N 16° 21' 49" E 119.26' MORE OR LESS TO A CALCULATED POINT IN THE LINE OF LORI W. LOWE; THENCE LEAVING THE EXISTING CITY OF MEBANE CORPORATE LIMITS AND PROCEEDING WITH THE NEW CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE SOUTHEASTERN LINE OF LORI W. LOWE N 16° 21' 49" E 80.97' TO A NEW IRON PIPE SET AT THE NORTHEASTERN CORNER OF LORI W. LOWE; THENCE CONTINUING WITH THE NEW CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE NORTHEASTERN LINE OF LORI W. LOWE N 72° 51' 07" W 195.51' TO AN EXISTING IRON PIPE IN THE EXISTING CITY OF MEBANE CORPORATE LIMITS, SAID IRON PIPE BEING IN THE SOUTHEASTERN LINE OF THAT PROPERTY OWNED BY LINDA S. ALBRIGHT (DEED BOOK 2521, PAGE 872 ALAMANCE COUNTY REGISTRY) THENCE WITH THE EXISTING CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE SOUTHEASTERN LINE OF LINDA S. ALBRIGHT N 19° 26' 54" E 44.87' TO AN EXISTING IRON PIPE, SAID IRON PIPE MARKING THE SOUTHEASTERN CORNER OF THAT PROPERTY OWNED BY LARRY P. JR. & SUSAN W. WOOD (DEED BOOK 797, PAGE 809 ALAMANCE COUNTY REGISTRY); THENCE CONTINUING WITH THE EXISTING CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE SOUTHEASTERN LINE OF LARRY P. JR. & SUSAN W. WOOD N 19° 49' 51" E 125.97' TO AN EXISTING IRON PIPE, SAID IRON PIPE MARKING THE SOUTHEASTERN CORNER OF THAT PROPERTY OWNED BY KRISTIN MARIE CLEVELAND (DEED BOOK 4236, PAGE 803 ALAMANCE COUNTY REGISTRY); THENCE CONTINUING WITH THE EXISTING CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE SOUTHEASTERN LINE KRISTIN MARIE CLEVELAND N 19° 42' 52" E 126.00' TO AN EXISTING IRON PIPE, SAID IRON PIPE MARKING THE SOUTHEASTERN CORNER OF THAT PROPERTY OWNED BY GREENLAND HOMES LLC. (DEED BOOK 4130, PAGE 950 ALAMANCE COUNTY REGISTRY); THENCE CONTINUING WITH THE EXISTING CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE SOUTHEASTERN LINE OF GREENLAND HOMES LLC. N 18° 41' 22" E 125.86' TO AN EXISTING IRON PIPE, SAID IRON PIPE

MARKING THE SOUTHEASTERN CORNER OF THAT PROPERTY OWNED BY JENNIFER SUE M. NEWLIN (DEED BOOK 3588, PAGE 430 ALAMANCE COUNTY REGISTRY); THENCE CONTINUING WITH THE EXISTING CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE SOUTHEASTERN LINE OF JENNIFER SUE M. NEWLIN N 18° 41' 52" E 196.11' TO AN EXISTING IRON PIPE, SAID IRON PIPE MARKING THE SOUTHWESTERN CORNER OF THAT PROPERTY OWNED BY JOSEPH L. & ISOBEL B. WIGGS (DEED BOOK 2003, PAGE 356 ALAMANCE COUNTY REGISTRY); THENCE LEAVING THE EXISTING CITY OF MEBANE CORPORATE LIMITS AND PROCEEDING WITH THE NEW CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH JOSEPH L. & ISOBEL B. WIGGS THE FOLLOWING THREE (3) CALLS, 1) S 70° 54' 34" E 142.41' TO AN EXISTING IRON PIPE, 2) N 19° 36' 49" E 80.41' TO AN EXISTING IRON PIPE, 3) N 13° 46' 04" E 115.77' TO AN EXISTING IRON ROD, SAID IRON ROD BEING ON THE SOUTHERN RIGHT OF WAY OF STRATFORD ROAD; THENCE CONTINUING WITH THE NEW CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE EASTERN RIGHT OF WAY OF STRATFORD ROAD N 13° 50' 14" E 60.56' TO AN EXISTING IRON PIPE, SAID IRON PIPE MARKING THE SOUTHEASTERN CORNER OF THAT PROPERTY OWNED BY HENRY J. & BARBARA A. EIDEN (DEED BOOK 507, PAGE 308 ALAMANCE COUNTY REGISTRY); THENCE CONTINUING WITH THE NEW CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH HENRY J. & BARBARA A. EIDEN THE FOLLOWING TWO (2) CALLS, 1) N 13° 42' 02" E 32' TO AN EXISTING IRON PIPE, 2) N 09° 26' 29" E 73.48' TO AN EXISTING IRON PIPE IN THE EXISTING CITY OF MEBANE CORPORATE LIMITS, SAID IRON PIPE MARKING THE SOUTHWESTERN CORNER OF THAT PROPERTY OWNED BY ARROWHEAD GREENS HOMEOWNERS ASSOCIATION INC. (DEED BOOK 4069, PAGE 148 ALAMANCE COUNTY REGISTRY); THENCE LEAVING THE NEW CITY OF MEBANE CORPORATE LIMITS AND PROCEEDING WITH THE EXISTING CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE SOUTHWESTERN LINE OF ARROWHEAD GREENS HOMEOWNERS ASSOCIATION INC. S 73° 15' 29" E 25.06' TO AN EXISTING IRON PIPE, SAID IRON PIPE MARKING THE SOUTHWESTERN CORNER OF THAT PROPERTY OWNED BY HOLLY A. & TYLER W. MICHELS (DEED BOOK 4254, PAGE 504 ALAMANCE COUNTY REGISTRY); THENCE CONTINUING WITH THE EXISTING CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE SOUTHWESTERN LINE OF HOLLY A. & TYLER W. MICHELS S 73° 42' 08" E 68.27' TO AN EXISTING IRON PIPE, SAID IRON PIPE MARKING THE SOUTHWESTERN CORNER OF THAT PROPERTY OWNED BY WENDY W. KUAN (DEED BOOK 4248, PAGE 140 ALAMANCE COUNTY REGISTRY); THENCE CONTINUING WITH THE EXISTING CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE SOUTHWESTERN LINE OF WENDY W. KUAN S 73° 58' 01" E 99.84' TO AN EXISTING IRON PIPE, SAID IRON PIPE MARKING THE SOUTHWESTERN CORNER OF THAT PROPERTY OWNED BY MOHAMED DAOUDI & JAUDA RHAZZALI (DEED BOOK 4324, PAGE 570 ALAMANCE COUNTY REGISTRY); THENCE CONTINUING WITH THE EXISTING CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH MOHAMED DAOUDI & JAUDA RHAZZALI THE FOLLOWING TWO (2) CALLS, 1) S 73° 28' 53" E 52.05' TO AN EXISTING IRON PIPE, 2) S 73° 42' 31" E 35.78' TO AN EXISTING AXLE, SAID AXLE MARKING THE NORTHWESTERN CORNER OF THAT PROPERTY OWNED BY MEBANE OPERATING COMPANY LLC. (DEED BOOK 4263, PAGE 762 ALAMANCE COUNTY REGISTRY); THENCE CONTINUING WITH THE EXISTING CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE NORTHWESTERN LINE OF MEBANE OPERATING COMPANY LLC. S 16° 18' 34" W 833.16' TO AN EXISTING IRON PIPE SAID IRON PIPE MARKING THE NORTHWESTERN CORNER OF THAT PROPERTY OWNED BY CARRENO DEVELOPERS LLC. (DEED BOOK 3579, PAGE 629 ALAMANCE COUNTY REGISTRY); THENCE LEAVING THE EXISTING CITY OF MEBANE CORPORATE LIMITS AND PROCEEDING WITH THE NEW CITY OF MEBANE CORPORATE LIMITS ALONG AND WITH THE NORTHWESTERN LINE OF CARRENO DEVELOPERS LLC. S 16° 18' 17" W 574.47' BACK TO THE POINT AND PLACE OF BEGINNING, CONTAINING 10.651 ACRES OR 0.0166 SQUARE MILES MORE OR LESS. AS SHOWN ON PLAT ENTITLED "FINAL PLAT OF: CITY OF MEBANE CORPORATE LIMITS EXTENSION & VOLUNTARY CONTIGUOUS ANNEXATION", BY THOMAS A. TELLUP, PLS, SUMMIT DESIGN AND ENGINEERING SERVICES PROJECT 21-0047, DATED NOVEMBER 4, 2022, TO WHICH PLAT REFERENCE IS HEREBY MADE FOR A MORE PARTICULAR DESCRIPTION OF SAME.

Section 3. Notice of the public hearing shall be published once in the Mebane Enterprise, a newspaper having general circulation in the City of Mebane, at least ten (10) days prior to the date of the public hearing.

Ed Hooks, Mayor

ATTEST:

Stephanie W. Shaw, City Clerk



AGENDA ITEM #5D

Water Resource Recovery Facility (WRRF) Expansion Capital Project Ordinance Amendment 5

Meeting Date

December 5, 2022

Presenter

Daphna Schwartz, Finance Director

Public Hearing

Yes No

Summary

The purpose of this item is to amend the WRRF Expansion Capital Project Ordinance to reflect the American Rescue Plan (ARP) Grant accepted by the City Council.

Background

At the November 7, 2022 meeting, the City Council passed a resolution to accept the ARP Grant offer of \$11,925,000.

Financial Impact

This amendment will result in grant revenue of \$11,925,000. American Rescue Plan procedures will have to be followed.

Recommendation

Staff recommends approving the WRRF Expansion Capital Project Ordinance Amendment 5.

Suggested Motion

Move to approve the WRRF Expansion Capital Project Ordinance Amendment 5.

Attachments

1. Capital Project Ordinance Amendment 5 – WRRF Expansion Project

**Capital Project Ordinance for the City of Mebane
Water Resource Recovery Facility Expansion
Amendment 5**

BE IT ORDAINED by the Governing Board of the City of Mebane, North Carolina that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following capital project ordinance amendment 4 is hereby adopted:

Section 1: The project authorized is the design and construction of Water Resource Recovery Facility 0.5 MGD Expansion to be financed by Utility Fund reserves, American Rescue Plan (ARP) funds, State Revolving Fund, and Revenue Bonds.

Section 2: The officers of this City are hereby directed to proceed with the capital project within the terms of the budget contained herein.

Section 3: The following amounts are hereby appropriated for the project:

	Project Budget
Design & Engineering	\$ 3,513,200
Construction	11,925,000
Land Purchase	<u>286,800</u>
	\$ 15,725,000

Section 4: The following revenues are anticipated to be available to complete the project:

	Project Budget
Transfer from Utility Fund	\$ 3,800,000
ARP Funds	<u>11,925,000</u>
	\$ 15,725,000

Section 5: The Finance Officer is hereby directed to maintain within the Capital Project Fund sufficient specific detailed accounting records to satisfy the requirements of the General Statutes of North Carolina.

Section 6: Funds may be advanced from the Water and Sewer Fund for the purpose of making payments as due.

Section 7: The Finance Officer is hereby directed to report, on a quarterly basis, on the financial status of each project element in Section 3.

Section 8: The Budget Officer is directed to include a detailed analysis of past and future costs and revenues on this capital project in every budget submission made to this Board.

Section 9: Copies of this capital project ordinance shall be furnished to the Clerk to the Governing Board and to the Budget Officer and Finance Officer for direction in carrying out this project.

This is the 5th day of December 2022.

City of Mebane

2023 Regular Meetings and FY 2023-24 Budget Calendar

Monday, January 9, 2023	Regular Meeting
Monday, February 6, 2023	Regular Meeting
Monday, March 6, 2023	Regular Meeting
Wednesday, March 22, 2023	*Budget Meeting
Thursday, March 30, 2023	*Budget Meeting
Monday, April 3, 2023	Regular Meeting
Wednesday, April 12, 2023	*Budget Meeting
Monday, May 1, 2023	Regular Meeting
Monday, May 1, 2023	Manager's Recommended Budget
Monday, June 5, 2023	Regular Meeting
Monday, June 5, 2023	Public Hearing for Budget
Monday, July 03, 2023 or Monday, July 10, 2023 pending Council's decision regarding July 4th Holiday (Tuesday)	Regular Meeting
Monday, August 7, 2023	Regular Meeting
Monday, September 11, 2023	Regular Meeting
Monday, October 2, 2023	Regular Meeting
Monday, November 6, 2023	Regular Meeting
Monday, December 4, 2023	Regular Meeting

Regular Meeting begin at 6:00pm

Other Meeting times vary

*Budget Workshop dates are tentative

AGENDA ITEM #6A

Ordinance to Extend the Corporate Limits-
Voluntary Contiguous Annexation-
Sarah S. Bradley, J. Thomas Scott, Tammy C.
Wilson, Steven S. Scott and Linda P. Scott

Meeting Date

December 5, 2022

Presenter

Lawson Brown, City Attorney

Public Hearing

Yes No

Summary

The Council will consider the approval of an Ordinance to Extend the Corporate Limits as the next step in the annexation process. This is a contiguous annexation of two properties with frontage on Trollingwood-Hawfields Road and Senator Ralph Scott Parkway totaling +/- 94.691 acres for Crow Industrial, a light industrial development/shell building which is currently under review by City staff.

Background

At the November 7, 2022, Council Meeting, Council accepted the petition for annexation and the Clerk's certificate of sufficiency and adopted a Resolution setting a date of Public Hearing for December 5, 2022, to consider approval of extending Mebane's corporate limits. The Public Hearing Notice was properly advertised.

Financial Impact

The property and improvements will be added to the ad valorem tax base for the City once the property is annexed as determined by the state statute.

Recommendation

Staff recommends the adoption of an Ordinance to Extend the Corporate Limits of the City of Mebane, North Carolina.

Suggested Motion

I make a motion to adopt an Ordinance to Extend the Corporate Limits of the City of Mebane, North Carolina to include the 94.691 acres.

Attachments

1. Ordinance
2. Map

AN ORDINANCE TO EXTEND THE CORPORATE LIMITS
OF THE CITY OF MEBANE, NORTH CAROLINA

Mail after recording to: City of Mebane, Attn: City Clerk, 106 E. Washington Street, Mebane, NC 27302

Ordinance No. 157

WHEREAS, the City Council has been petitioned under G.S. 160A-31 to annex the area described below; and

WHEREAS, the City Council has by resolution directed the City Clerk to investigate the sufficiency of the petition; and

WHEREAS, the City Clerk has certified the sufficiency of the petition and a public hearing on the question of this annexation was held at the Glendel Stephenson Municipal Building at 6:00 p.m. on December 5, 2022, after due notice by the Mebane Enterprise on November 23, 2022; and

WHEREAS, the City Council finds that the petition meets the requirements of G.S. 160A-31;

NOW THEREFORE, BE IT ORDAINED by the City Council of the City of Mebane, North Carolina that:

Section 1. By virtue of the authority granted by G.S. 160A-31, the following described territory is hereby annexed and made part of the City of Mebane as of December 5, 2022:

Being all that certain land more particularly described as follows:

COMMENCING at NGS Monument "Hawfields", having NCSPCS Coordinates of Northing: 840,044.17' Easting: 1,909,650.87', thence North 13°05'23" West a distance of 1,447.31 feet to an existing iron pipe on the northern corner of Hawfields Presbyterian Church [1] (GPIN# 9804901755 / Deed Book 998, Page 745 (also see Deed Book 2597, Page 330, and Plat Book 71, Page 495), the point of BEGINNING; thence along the line of Hawfields Presbyterian Church [1] the following three (3) calls: South 55°38'37" West a distance of 640.15 feet to an existing iron pipe; thence South 44°05'04" West a distance of 256.98 feet to an existing iron pipe; thence South 40°47'00" West a distance of 499.10 feet to an existing iron pipe on the northern line of Hawfields Presbyterian Church [2] (GPIN# 9804802087 / Deed Book 998, Page 745); thence with the line of Hawfields Presbyterian Church North 77°51'02" West a distance of 653.47 feet to an existing iron pipe on the eastern line of Exeter 2125 Senator Ralph Scott LP (GPIN# 9803794914 / Deed Book 3706, Page 292 (also see Plat Book 78, Page 56); thence with the line of Exeter 2125 Senator Ralph Scott LP North 30°42'00" West a distance of 16.70 feet to a set iron pipe on the southern Right of Way of Senator Ralph Scott Parkway (a public 60' R/W); thence continuing North 30°42'00" West a distance of 60.02 feet to a set iron pipe on the northern R/W of Senator Ralph Scott Parkway, and the southeastern corner of BT-OH LLC (GPIN# 9804314534 / Deed Book 4096, Page 653 (also see Plat Book 82, Page 91); thence continuing along the line of BT-OH LLC the following two (2) calls: North 30°42'00" West a distance of 1,345.68 feet to an existing iron pipe; thence North 30°42'00" West a distance of 1,077.13 feet to a set iron pipe on the southern R/W of Interstate 40-85 (a variable width public R/W; thence along the southern R/W of Interstate 40-85, and Trollingwood-Hawfields Road (a variable width public R/W) the following ten (10) calls: with a curve turning to the left with an arc length of 384.59', with a radius of 3,949.72', with a chord bearing of North

78°33'35" East, with a chord length of 384.44' to a NCDOT R/W disc; thence North 86°16'15" East a distance of 98.09 feet to a NCDOT R/W disc; thence North 79°00'44" East a distance of 195.74 feet to a NCDOT R/W disc; thence with a curve turning to the right with an arc length of 204.08', with a radius of 1,829.86', with a chord bearing of North 84°13'55" East, with a chord length of 203.98' to a NCDOT R/W disc; thence North 89°27'20" East a distance of 195.78 feet to a NCDOT R/W disc; thence North 88°51'22" East a distance of 206.74 feet to a point; thence with a curve turning to the left with an arc length of 125.25', with a radius of 1,225.92', with a chord bearing of North 82°19'31" East, with a chord length of 125.20' to a NCDOT R/W disc; thence North 76°15'53" East a distance of 177.16 feet to a NCDOT R/W disc; thence South 64°11'31" East a distance of 131.35 feet to a set iron pipe, and passing an existing iron pipe at 63.14 feet; thence South 39°46'26" East a distance of 107.18 feet to a NCDOT R/W disc; thence crossing the R/W of Trollingwood-Hawfields Road North 49°23'29" East a distance of 130.59 feet to a NCDOT R/W disc on the eastern R/W of Trollingwood-Hawfields Road and the line of PFJ Southeast LLC (GPIN# 9804836168 / Deed Book 3603, Page 741); thence continuing with the line of PFJ Southeast LLC the following two (2) calls: South 41°02'06" East a distance of 62.79 feet to a point; thence South 37°42'26" East a distance of 251.62 feet to an existing iron pipe on the corner of Trollingwood-Hawfields LLC (GPIN# 9804922987 / Deed Book 2835, Page 293 (also see Plat Book 73, Page 102)); thence with the line of Trollingwood-Hawfields LLC the following three (3) calls: with a curve turning to the left with an arc length of 45.27', with a radius of 1,819.86', with a chord bearing of South 33°37'37" East, with a chord length of 45.27 feet to a point; thence South 07°50'12" East a distance of 70.70 feet to a point; thence South 32°33'41" East a distance of 126.24 feet to an existing iron pipe on the corner of John A. Williams (GPIN# 9804922954 / Deed Book 3915, Page 293 (also see Plat Book 73, Page 102)); thence with the line of John A. Williams, and Trollingwood-Hawfields LLC the following two (2) calls: South 36°41'39" East a distance of 254.39 feet to a point; thence South 41°08'05" East a distance of 170.92 feet to a point; thence crossing the R/W of Trollingwood-Hawfields Road South 48°51'55" West a distance of 60.00 feet to the western R/W of Trollingwood-Hawfields Road; thence with the western R/W of Trollingwood-Hawfields Road the following seven (7) calls: South 41°08'05" East a distance of 218.97 feet to a set iron pipe; thence South 34°46'08" East a distance of 14.34 feet to a set iron pipe; thence South 34°46'08" East a distance of 88.97 feet to a set iron pipe; thence South 41°03'45" East a distance of 99.24 feet to a set iron pipe; thence 42°18'44" East a distance of 316.75 feet to a set iron pipe; thence South 46°49'31" East a distance of 29.36 feet to a set iron pipe; thence South 41°01'06" East a distance of 126.79 feet to a set iron pipe; thence South 55°38'37" West a distance of 11.14 feet to the point of BEGINNING, containing an area of 4,124,746 square feet, or 94.691 acres, more or less.

Section 2. Upon and after December 5, 2022 the above-described territory and its citizens and property shall be subject to all debts, laws, ordinances and regulations in force in the City of Mebane and shall be entitled to the same privileges and benefits as other parts of the City of Mebane. Said territory shall be subject to municipal taxes according to G.S. 160A-58.10.

Section 3. The Mayor of the City of Mebane shall cause to be recorded in the office of the Register of Deeds of Alamance County and in the office of the Secretary of State at Raleigh, North Carolina, an accurate map of the annexed territory, described in Section 1 above, together with duly certified copy of this ordinance. Such a map shall also be delivered to the Alamance County Board of Elections as required by G.S. 163-288.1.

Adopted this 5th day of December, 2022.

City of Mebane

Ed Hooks, Mayor

ATTEST:

Stephanie W. Shaw, City Clerk

Approved as to form:

Lawson Brown, City Attorney

SITE DATA TABLE

PARCEL	EXISTING AREA	TOTAL AREA
SARAH BRADLEY, ET AL GPN# 9804810638 DB 3859, PG 935 PB 71, PG 495	3,109,466 SQ FT 71.383 AC	4,124,746 SQ FT 94.691 AC
SARAH BRADLEY, ET AL GPN# 9804720640 DB 3859, PG 935 PB 76, PG 191	843,468 SQ FT 19.363 AC	
PUBLIC RIGHT OF WAYS	171,812 SQ FT 3.945 AC	

REFERENCES

- | | | |
|-----------------|-----------------|-----------------|
| DB 998, PG 745 | DB 2597, PG 330 | DB 3331, PG 348 |
| DB 3603, PG 741 | DB 3859, PG 935 | DB 3859, PG 941 |
| DB 3898, PG 409 | | |
| PB 64, PG 487 | PB 71, PG 495 | PB 73, PG 102 |
| PB 75, PG 460 | PB 76, PG 104 | PB 76, PG 191 |
| PB 78, PG 121 | PB 82, PG 91 | |

GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS AN ANNEXATION PLAT.
- BEARINGS ARE BASED ON NC GRID NAD 83 FROM VRS DATA UTILIZING REAL TIME KINEMATICS SOLUTIONS.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, UNLESS OTHERWISE NOTED.
- AREAS COMPUTED USING COORDINATE GEOMETRY.
- SITE ADDRESS: 1447 TROLLINGWOOD-HAWFIELDS RD, MEBANE, NC 27302
- FLOOD NOTE: A PORTION OF THIS SITE IS LOCATED IN A SPECIAL FLOOD HAZARD AREA OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON: FIRM PANEL: 3710980400 K EFFECTIVE DATE: 11/17/2017
- ADJOINER INFORMATION SHOWN FROM ALAMANCE COUNTY GIS AS OF AUGUST 5, 2022, AT 4:00 PM.

INTERSTATE 40-85
VARIABLE WIDTH PUBLIC R/W

OUTSIDE CITY LIMITS

NEW CITY LIMITS

EXISTING CITY LIMITS

VICINITY MAP
SCALE: 1" = 2000'



THIS TRACT OF LAND IS WITHIN THE CITY OF MEBANE'S JURISDICTION. NO APPROVAL IS REQUIRED OF THE PLANNING BOARD OR CITY COUNCIL.

PLANNING DIRECTOR _____ DATE _____

LEGEND

- EXISTING IRON PIPE
- EXISTING NCDOT MONUMENT
- ▲ CALCULATED PROPERTY CORNER
- ⊙ NGS MONUMENT
- ⊙ CONTROLLED ACCESS
- ANNEXATION AREA LINE
- SUBJECT PROPERTY LINE
- UNSURVEYED PROPERTY LINE
- R/W- -R/W- RIGHT OF WAY

CONTIGUOUS ANNEXATION AREA TO BE ANNEXED
94.691 ACRES

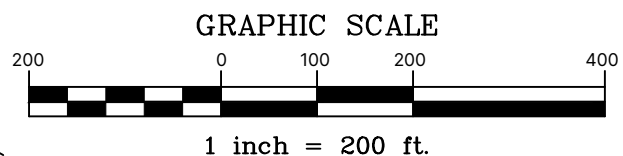
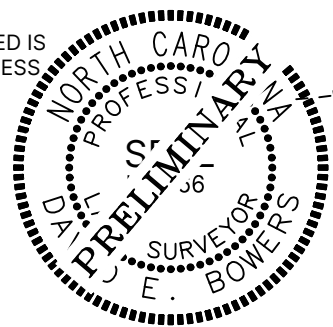
CONTIGUOUS ANNEXATION MAP NOT FOR CONVEYANCES OR SALES

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE: G.S. 47-30 (f)(1)(i)(c)(1). THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

I, DAVID E. BOWERS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTION RECORDED IN BOOK AND PAGE (AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER, AND SEAL THIS

DAY OF _____, A.D. 2022.

DAVID E. BOWERS PLS L-4966



Ballentine Associates, PA
221 Providence Road
Chapel Hill, NC 27514
919.929.0481
ballentinesassociates.com

CORPORATE SEAL C328
NORTH CAROLINA
Chapel Hill

OWNER INFORMATION:
SARAH S. BRADLEY, ET AL
917 ARROWHEAD LN
MEBANE, NC 27302

OWNERS REPRESENTATIVE:
CROW HOLDINGS
CHRISTOPHER URQUHART
PH: 704.236.2440
EMAIL: curquhart@crowholdings.com

DATE	ISSUED
05 AUG 22	TO CITY OF MEBANE
25 OCT 22	TO CITY OF MEBANE

FINAL PLAT:
CITY OF MEBANE CORPORATE LIMITS EXTENSION
VOLUNTARY CONTIGUOUS ANNEXATION
1447 TROLLINGWOODS-HAWFIELDS ROAD
MEBANE, NC 27302
MELVILLE TOWNSHIP, ALAMANCE COUNTY, NORTH CAROLINA
ANNEXATION PLAT

JOB NUMBER: 122007.02
DATE: 05 AUG 22
SCALE: 1" = 200'
DRAWN BY: EJS
REVIEWED BY: DEB

SHEET
1 OF 1



AGENDA ITEM #6B

RZ 22-15

Conditional Rezoning – Crow Industrial

Presenter

Ashley Ownbey, Development Director

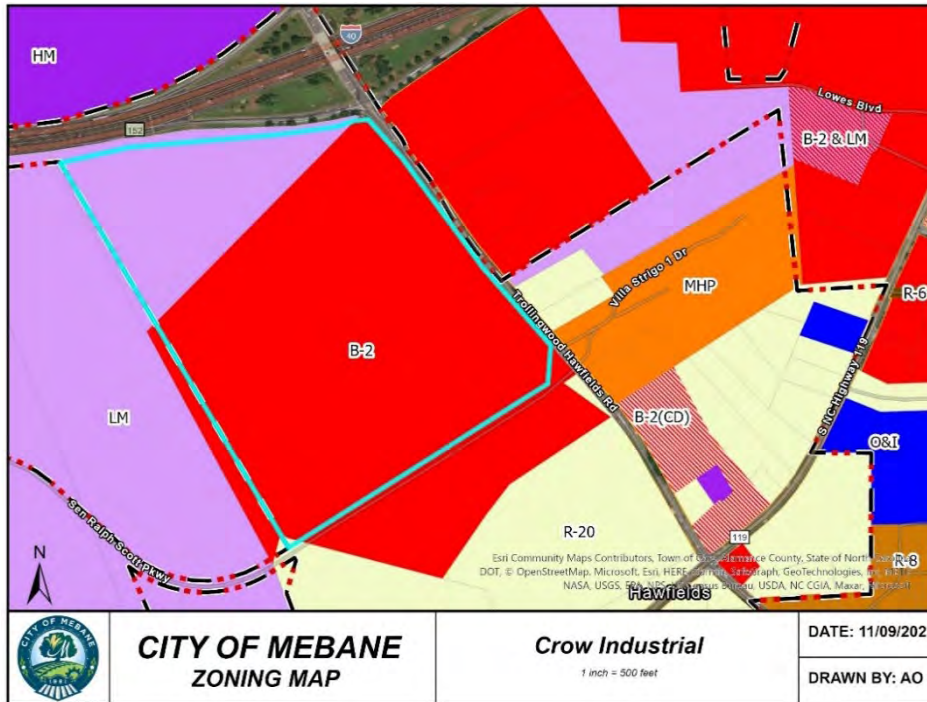
Applicant

CHI/Acquisitions, L. P.
4064 Colony Road, Suite 405
Charlotte, NC 28211

Public Hearing

Yes No

Zoning Map



Property

1447 Trollingwood-
Hawfields Road
Alamance County GPINs:
9804810638 &
9804720640

Proposed Zoning

LM (CD)

Current Zoning

B-2, LM

Size

+/-77.69 acres

Surrounding Zoning

LM, HM, B-2, R-20, MHP

Surrounding Land Uses

Industrial, Commercial,
Residential

Utilities

To be extended at
developer's expense

Floodplain

Yes

Watershed

No

City Limits

No

Application Brief

See Planning Project Report for more details.

Recommendations	
Technical Review Committee:	The Technical Review Committee (TRC) has reviewed the site plan four times and the applicant has revised the plan to reflect the comments.
Planning Staff:	The proposed development “Crow Industrial” is consistent with the guidance provided within Mebane By Design, the Mebane Comprehensive Land Development Plan. Specifically, it is located in an industrial growth strategy area and serves Goal 1.7. The site is part of the North Carolina Commerce Park and the proposed project is in harmony with nearby light and heavy industrial uses.
Planning Board:	At their November 14 meeting, the Planning Board voted 4-2 to recommend approval of the rezoning request.
Zoning & Land Use Report	
Jurisdiction:	Mebane Extraterritorial Jurisdiction (ETJ)
Proposed Use By-Right (Yes/No):	No
Type of Rezoning Request:	Conditional
Special Use Request (Yes/No):	No
Consistency with Mebane By Design (Yes/No):	Yes
Utilities Report	
Available Utilities (Yes/No):	Yes
Adequate Stormwater Control (Yes/No):	Yes
Innovative Stormwater Control (Yes/No):	No
Consistency with Long-Range Utility Plan (Yes/No):	Yes
Transportation Report	
Traffic Impact Analysis Required (Yes/No):	Yes
Multi-Modal Improvements (Yes/No):	Yes
Consistency with Bike/Ped Transportation Plan (Yes/No):	Yes

Summary

CHI/Acquisitions, L.P. is requesting approval to conditionally rezone two properties totaling +/- 77.69 acres located at 1447 Trollingwood Hawfields Road (GPIN 9804720640 and portion of GPIN 9804810638) from B-2 and LM to LM (CD) to allow for a light industrial development including three warehouse buildings. The property is located in Alamance County in the Extra-Territorial Jurisdiction (ETJ). A request for annexation has been submitted to the City and the public hearing is scheduled for the December City Council meeting. CHI/Acquisitions, L.P. has the property under contract to purchase, contingent upon approval of the conditional rezoning.

The site-specific plan features a subdivision of the properties north of Senator Ralph Scott Parkway into three lots with warehouse buildings on each lot. Building 1 is proposed at +/- 279,000 square feet, Building 2 at +/- 248,000 square feet, and Building 3 at +/- 156,000 square feet. The site plan shows four driveways, with two on Trollingwood-Hawfields Road and two on Senator Ralph Scott Parkway. One of the driveways on Senator Ralph Scott Parkway will provide shared access to Buildings 2 and 3. The following conditions are proposed with the conditional rezoning request:

Proposed Conditions of Zoning District	Mebane UDO Requirements
Dedication of a portion of the property south of Senator Ralph Scott Parkway to the City of Mebane for a future fire station.	N/A
Prior to plat recordation, the ability to bond improvements not yet constructed as described in the memorandum from the City Engineer.	Section 7-8.1, Part A-2(d) allows the City Council to waive the requirement that certain minimum improvements be provided before a surety bond is secured.
Based on the existing sidewalk network and topographic limitations, the applicant is proposing sidewalk only on the south side of Senator Ralph Scott Parkway. The proposed sidewalk promotes connectivity to existing sidewalk on a neighboring parcel in the North Carolina Commerce Park and limits impacts to streams and wetlands on the property proposed for development.	Section 7-6.6 (A) requires sidewalks along frontages of all new nonresidential development. Section 7-6.6 (G) allows City Council to waive this requirement for one of the following reasons: the subdivision or development due to its design, location, or use classification, is not reasonably expected to generate a significant amount of pedestrian traffic or topographic or natural features make construction of a sidewalk impractical.
Minimum parking requirements calculated at 0.75 parking spaces per 1,000 s.f. of floor area. As indicated on the site plan, the applicant is proposing 211 spaces with Building 1, 188 spaces with Building 2, and 119 spaces with Building 3.	Table 6-5-1 requires parking to be calculated at 2/3 employees on the largest shift plus 1/200 square feet of retail sales or customer service area plus 1/vehicle used in the operation. As the users of the buildings are unknown, staff cannot calculate the minimum parking required by the UDO.

<p>Perpetual maintenance of a sight distance easement area west of Driveway #4 to maintain proper sight lines. An easement will be obtained from the neighboring property owner.</p>	<p>Section 7-6.5, Part F (13) requires distance easements to remain free of obstructions and allows the location and extent of sight distance easements to be determined by the City and NCDOT.</p>
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VHB Engineering NC, P.C. conducted a Traffic Impact Analysis (TIA) which has been reviewed by NCDOT and City staff. Per findings of the TIA, the developer is required to construct exclusive left and right turn lanes at the site accesses onto Trollingwood-Hawfields Road and exclusive right turn lanes at the site accesses onto Senator Ralph Scott Parkway. All turn lanes are to have at least 100' of storage and appropriate taper. These improvements must be constructed as a condition of NCDOT driveway permit approval.

Financial Impact

The developer will be required to make all of the improvements at his own expense.

Suggested Motion

1. Motion to approve the LM(CD) zoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. Specifically, the request:
 - Is for a property within the City's G-1 Industrial Growth Area, which "...supports industrial uses..." (Mebane CLP, p. 74); and,
 - Serves Growth Management Goal 1.7 through the support [of] industrial development at existing industrial parks near I-40/85 (pp.17, 59 & 82)
3. Motion to waive the requirements that certain minimum improvements be provided before a surety bond is secured and that sidewalk be provided on all frontages, per justifications presented by City staff.

OR

4. Motion to **deny** the LM(CD) rezoning as presented due to a lack of
 - a. Harmony with the surrounding zoning or land use

OR

 - b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*.

Attachments

1. Preliminary Presentation Slides

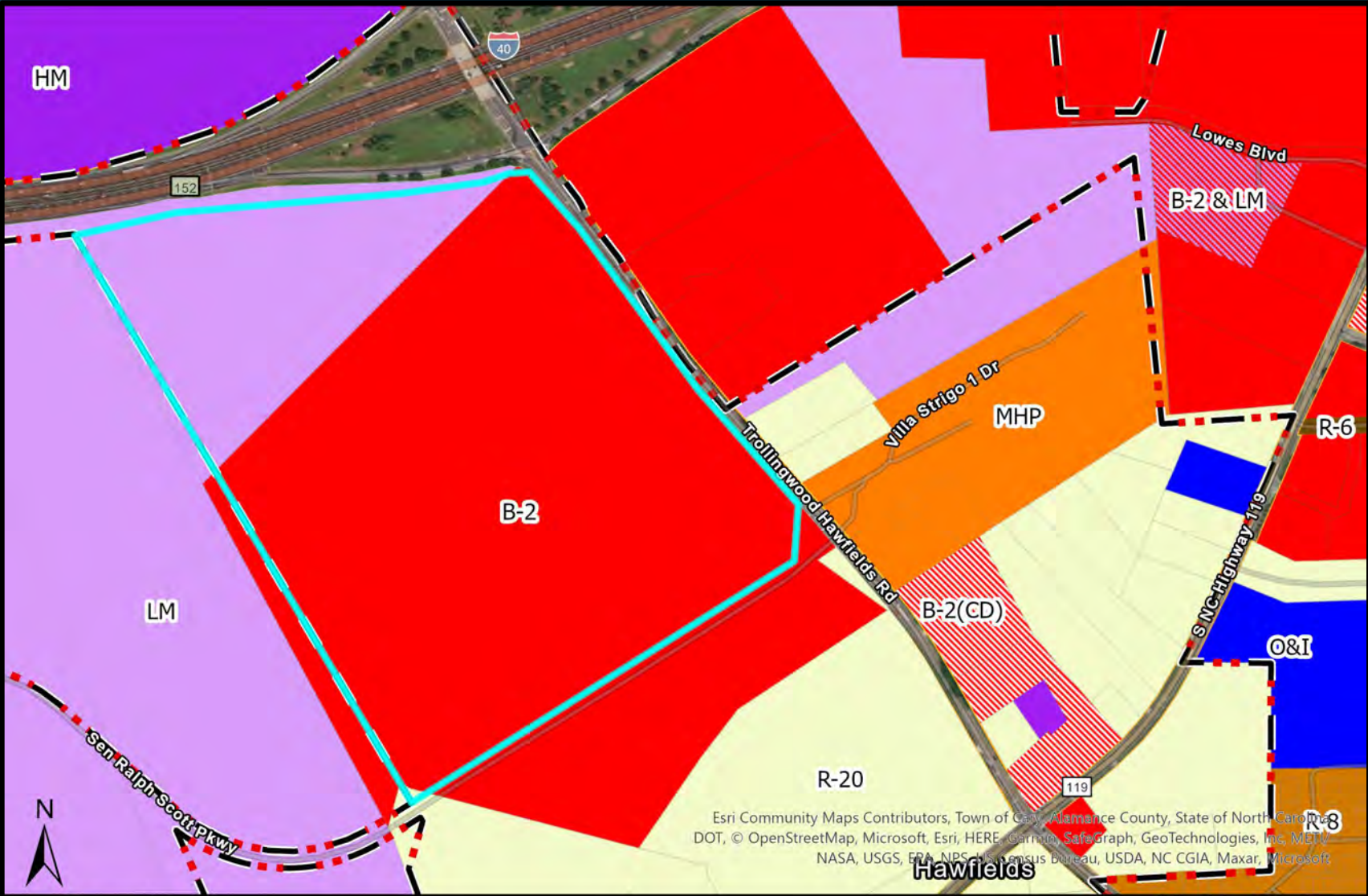
2. Zoning Amendment Application
3. Zoning Map
4. Site Plan
5. Planning Project Report
6. Preliminary Water and Sewer System Approval Letter
7. Technical Memorandum – City Engineering Review
8. Traffic Impact Analysis – [click here to review and download.](#)
 - a. RKA Review of TIA
 - b. NCDOT Review of TIA
9. Subdivision Plat Memorandum



Ashley Ownbey, Development Director

Rezoning Request: LM and B-2 to LM (CD)
by CHI/Acquisitions, L.P.





Crow Industrial

Conditional Zoning Request

- Request by CHI/Acquisitions, L.P.
- Two properties totaling +/- 77.69 acres
- Existing zoning: LM and B-2
- Requested zoning: LM (CD)



CITY OF MEBANE

ZONING MAP

Crow Industrial

1 inch = 500 feet

DATE: 11/09/2022

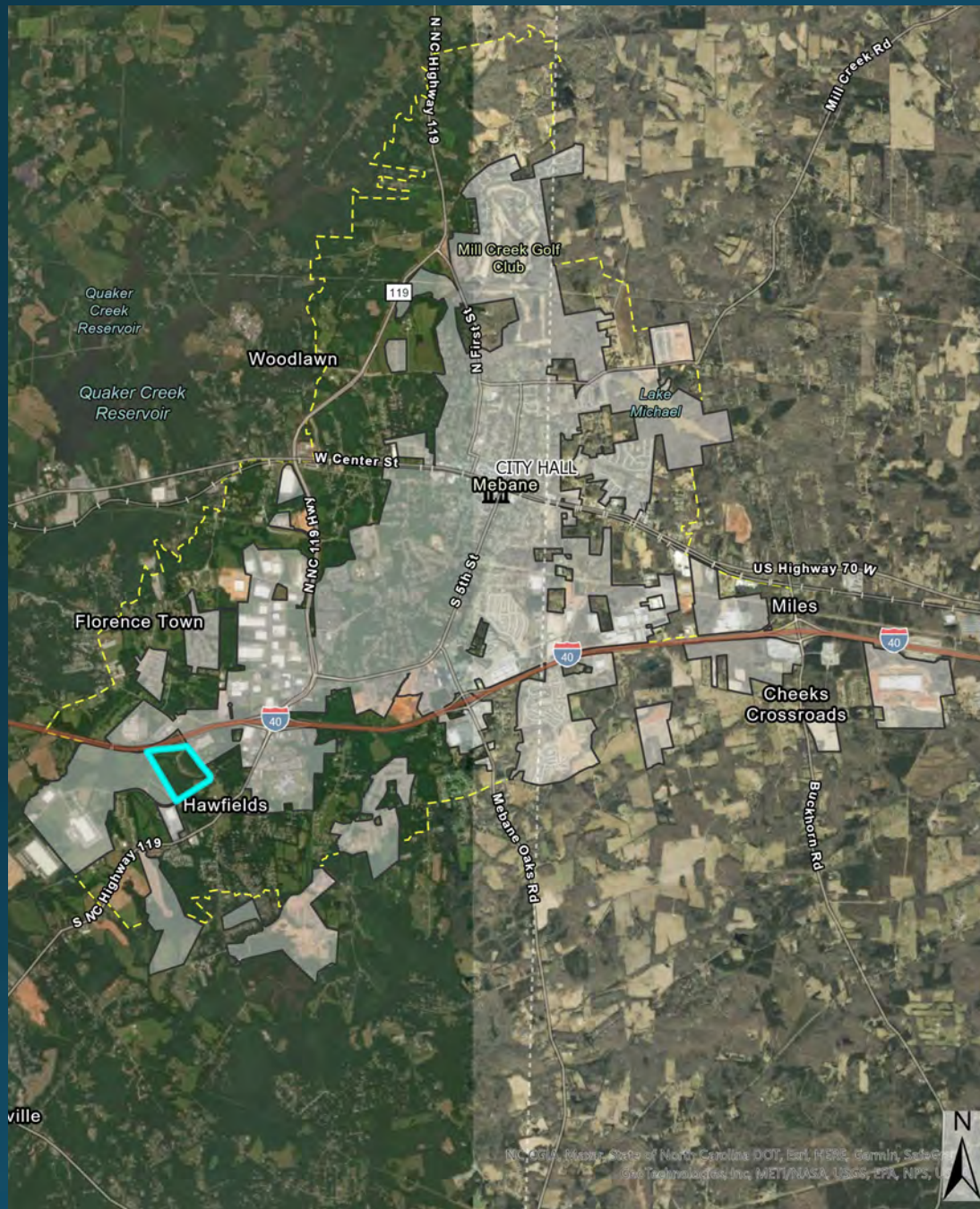
DRAWN BY: AO



Crow Industrial

Conditional Zoning Request

- Mebane ETJ
- Annexation public hearing scheduled for same meeting

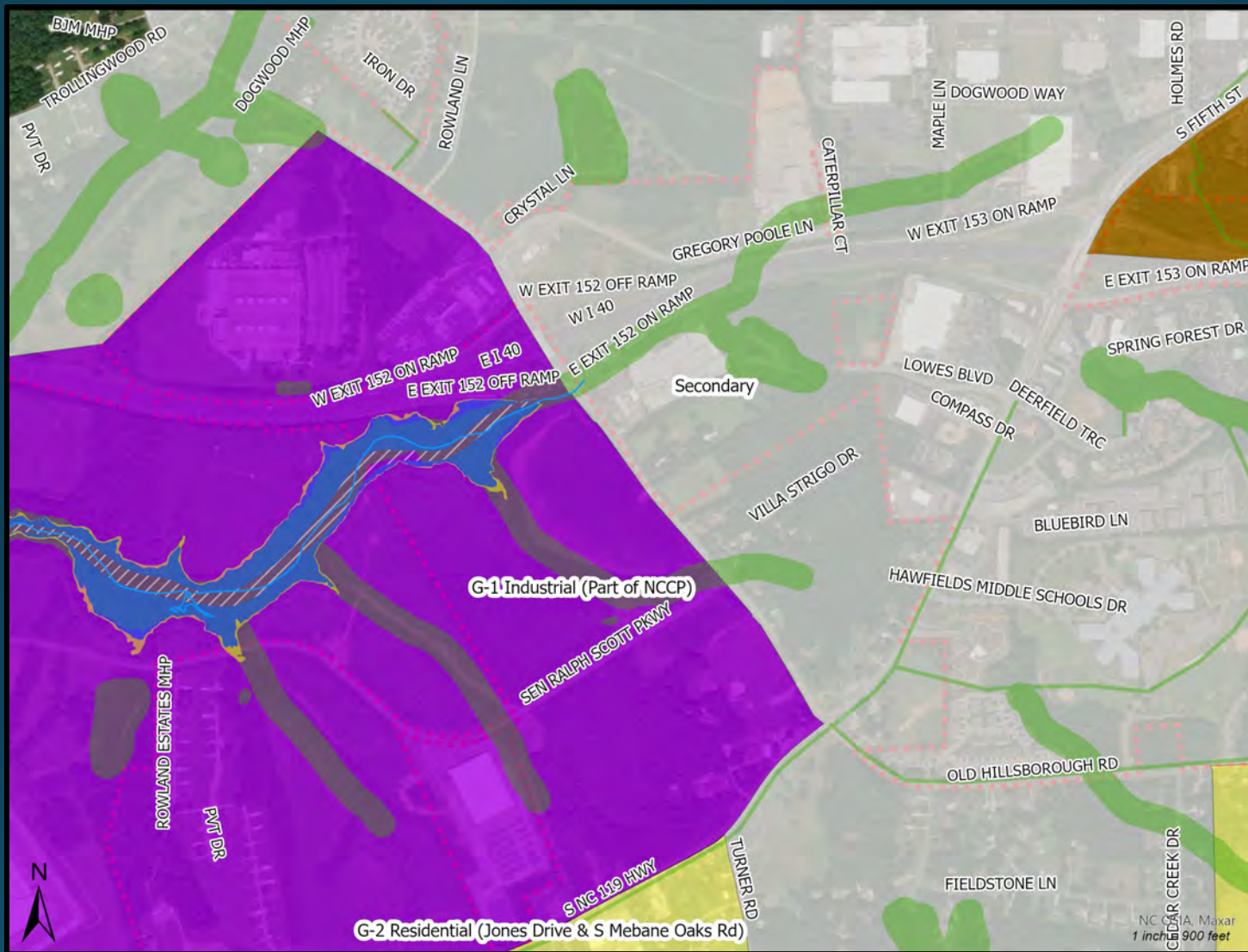




Crow Industrial Conditional Zoning Request

- Vacant and forested
- Stream, wetlands, floodplain
- Surrounding uses include:
 - Industrial, North Carolina Commerce Park
 - Travel Stops
 - Residential
 - Church and Recreational Fields
 - Vacant Land

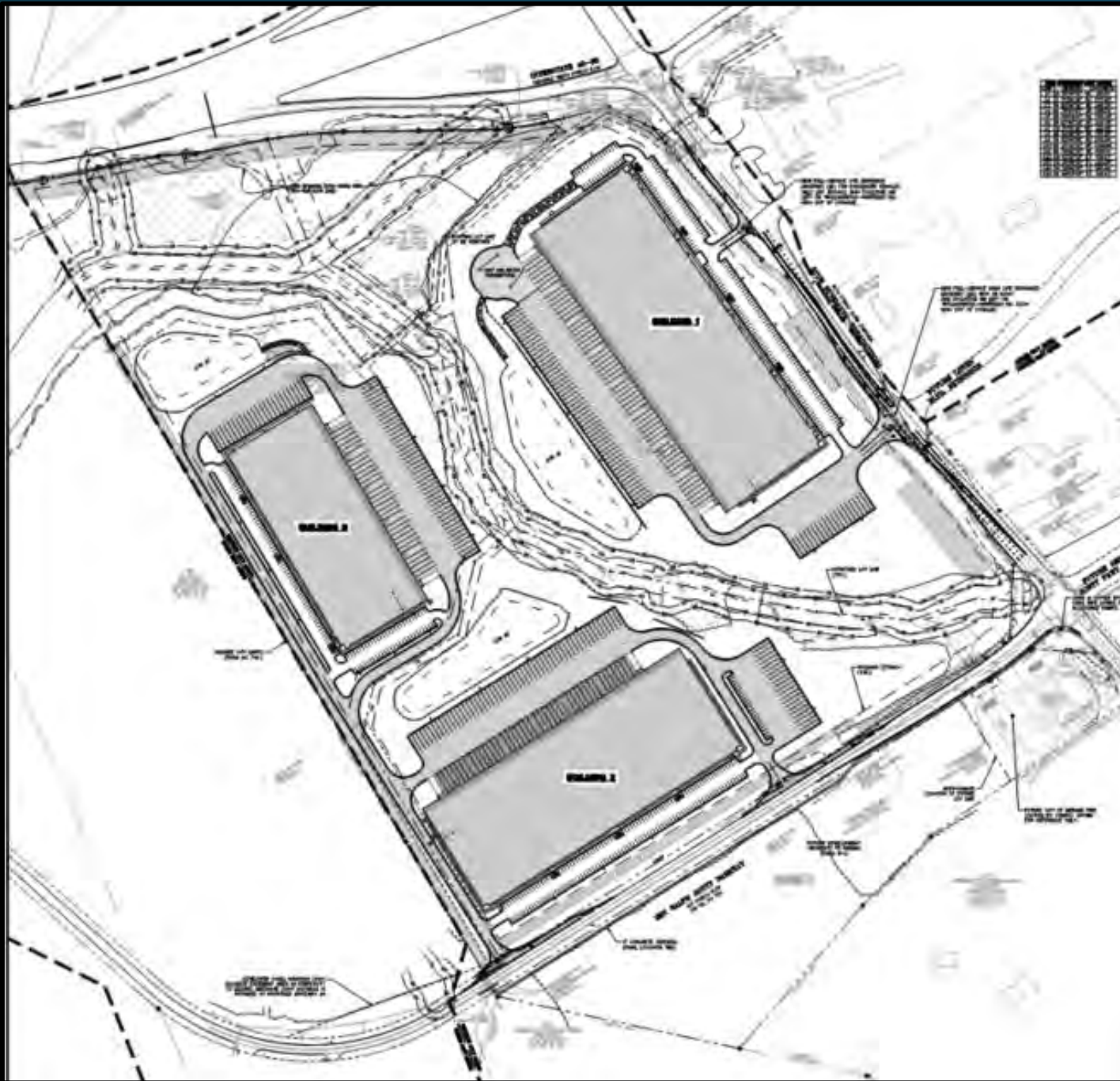




Crow Industrial Conditional Rezoning Request

- *Mebane By Design* Primary Industrial Growth Strategy Area & Conservation Area





Crow Industrial

Conditional Zoning Request

LM(CD) zoning requested to allow light industrial development with three buildings as shown on site-specific plan.

Proposed Conditions:

- Dedication of lot to City of Mebane for future fire station, with appropriate financial guarantees regarding utility extensions.
- Prior to plat recordation, the ability to bond improvements not yet constructed.
- Parking calculated at 0.75 parking spaces per 1,000 square feet of floor area, as opposed to employee-based parking calculations of the UDO.
- Construction of 5' sidewalk on south side of Senator Ralph Scott Parkway. Request of City Council to waive sidewalk requirement along other property frontages.
- Perpetual maintenance of sight distance easement area on adjoining property to the west.
- Consistent with TIA and NCDOT's review, construction of exclusive right turn lanes at each driveway on Senator Ralph Scott Parkway and exclusive right and left turn lanes at each driveway on Trollingwood-Hawfields Road.





Applicant Presentation





CROW HOLDINGS

INDUSTRIAL

NORTH CAROLINA COMMERCE PARK
CHI/ACQUISITIONS, L.P.
RZ 22-15
City Council - December 5, 2022

North Carolina Commerce Park | Mebane, North Carolina

- **Introductions**
- **Property Location**
- **Zoning**
- **Development Diligence Process**
- **Proposed Plan**
- **Development Review Considerations**
- **Example Renderings**
- **Questions/Discussion**

North Carolina Commerce Park | Mebane, North Carolina

Petitioner: CHI/Acquisitions, L.P.

CROW HOLDINGS

INDUSTRIAL

- Nick Thornton
704.754.2792
nthornton@chindustrial.com
- Matt Cochrane
704.258.9147
mcochrane@chindustrial.com
- Chris Urquhart
- Christina Conkle



- George Retschle
- Lee Price
- David Bowers
- Drew Howe
- Matt Pajak



- Nathan Rhomberg
- Jody Lewis

PROPERTY LOCATION

CONFIDENTIAL

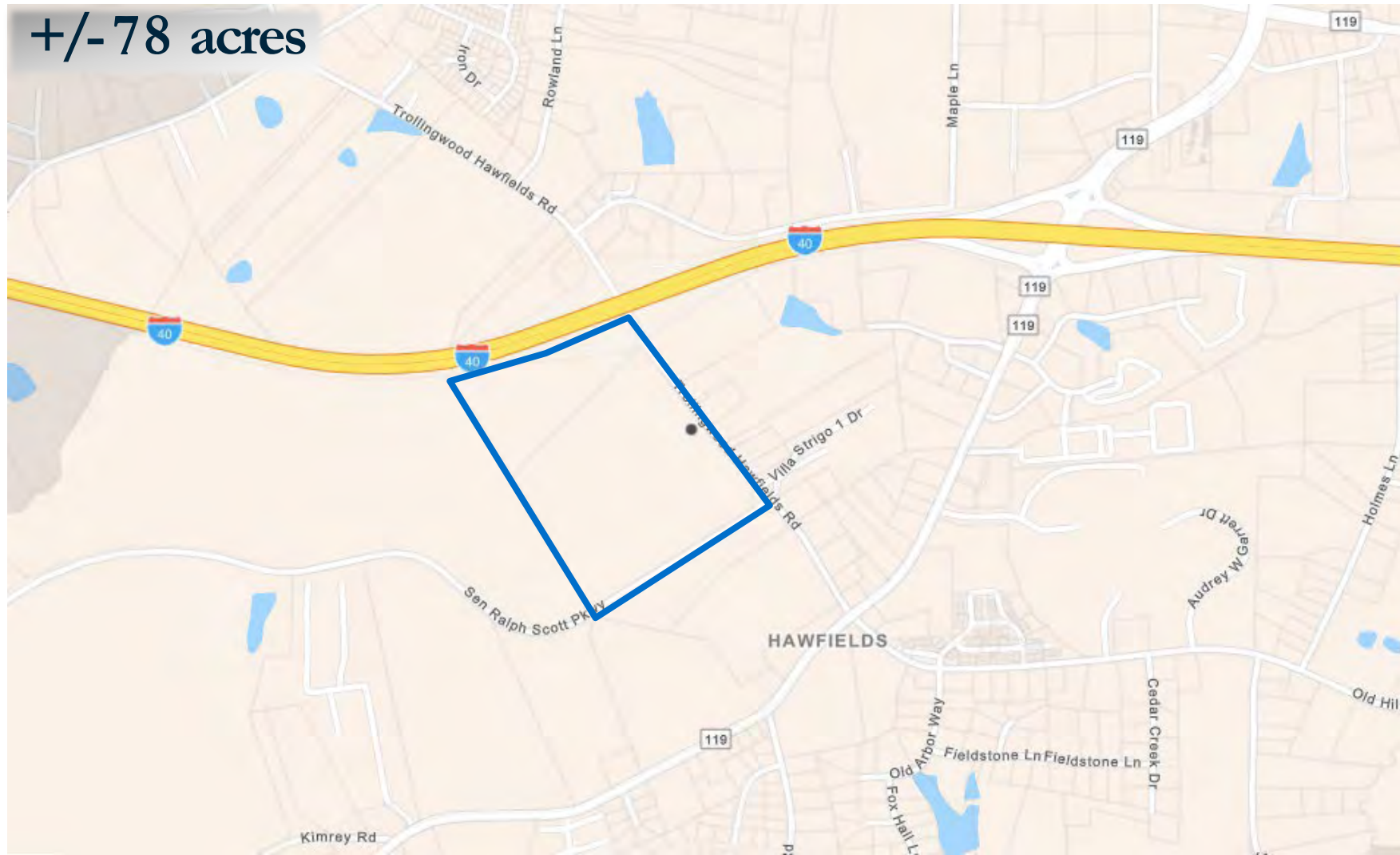
North Carolina Commerce Park | Mebane, North Carolina



PROPERTY LOCATION

CONFIDENTIAL

North Carolina Commerce Park | Mebane, North Carolina



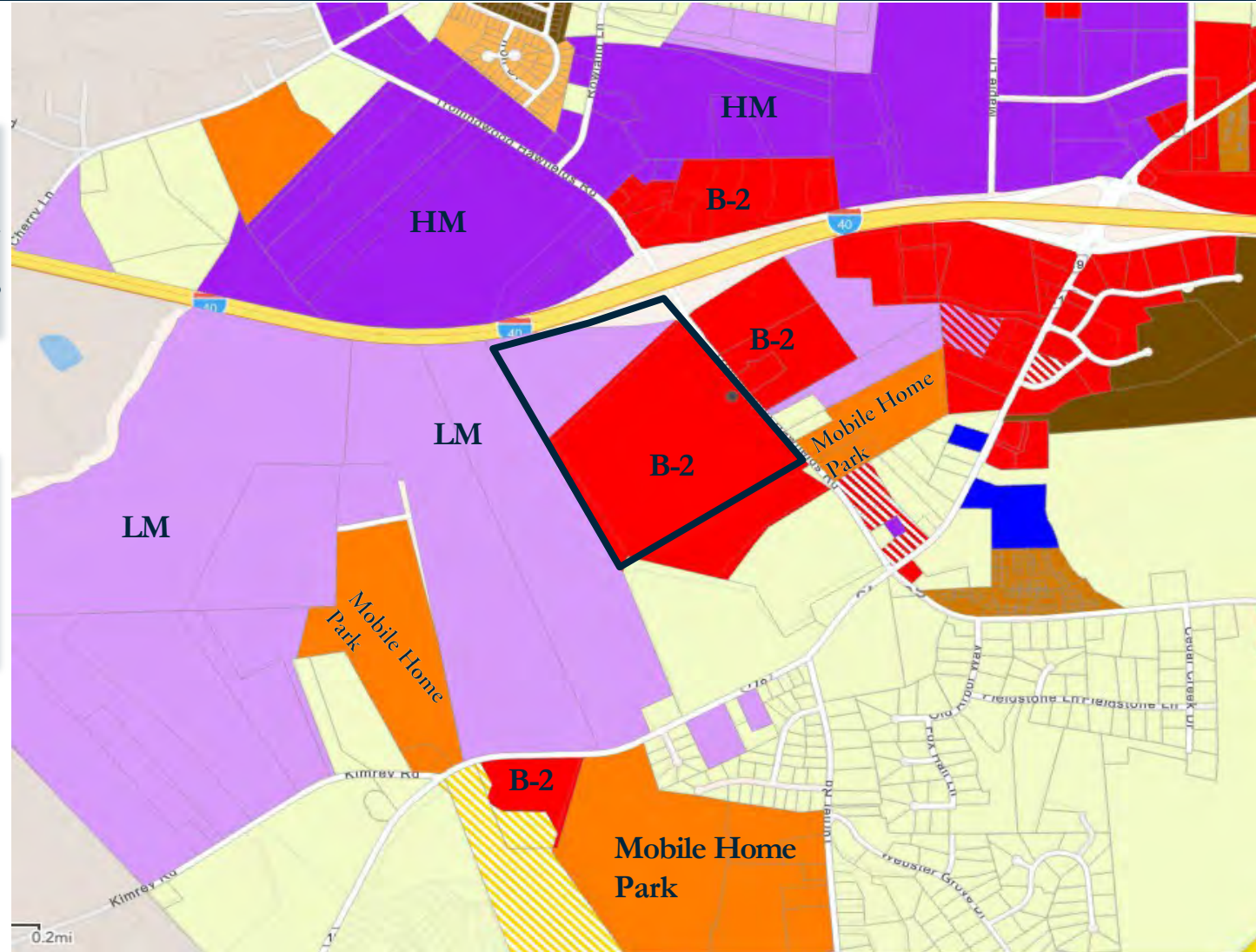
ZONING

CONFIDENTIAL

North Carolina Commerce Park | Mebane, North Carolina

Existing Zoning:
Light Manufacturing
and General Business

Proposed Zoning:
Light Manufacturing
Conditional District



North Carolina Commerce Park | Mebane, North Carolina

Location

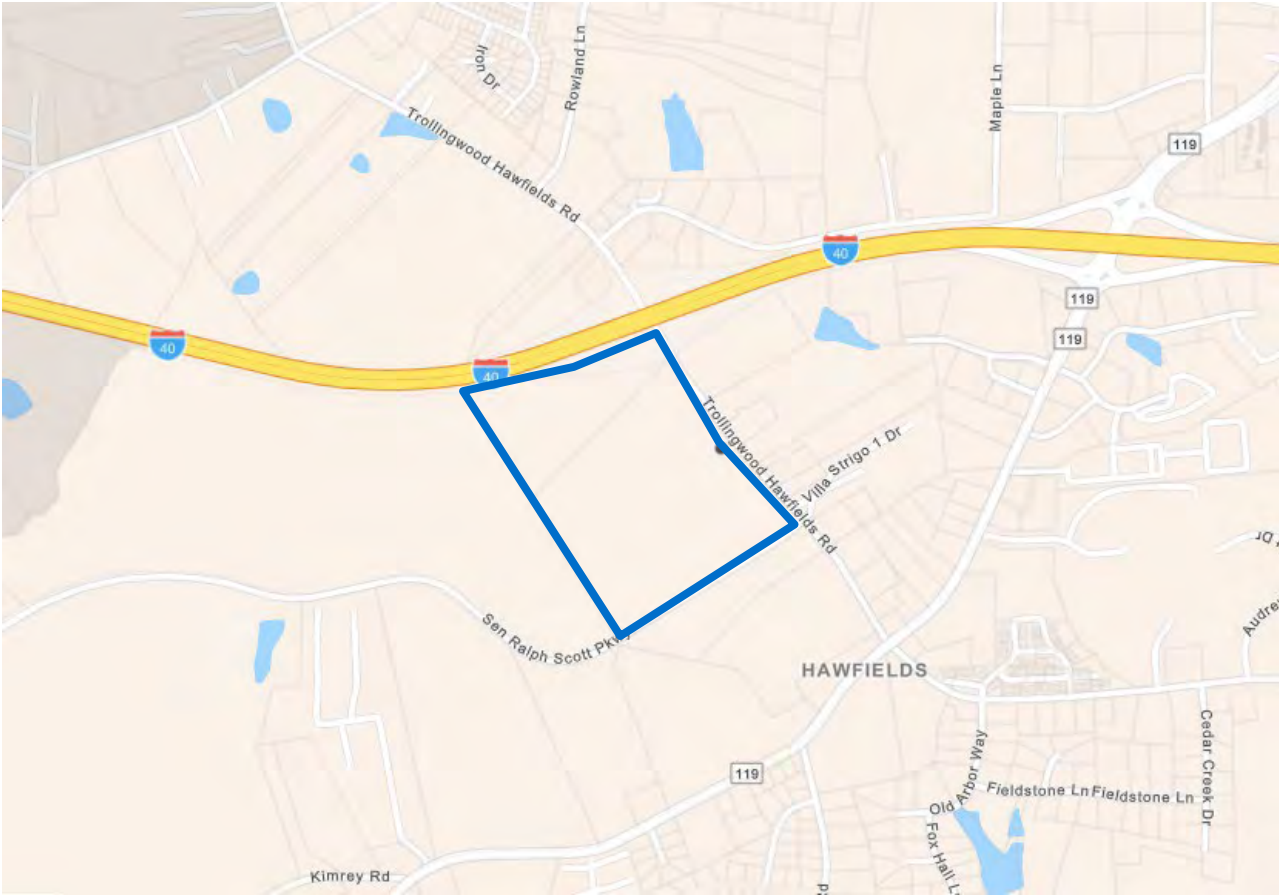
Within North Carolina Commerce Park

Zoning

Mix of Light Manufacturing and General Business

Key Studies

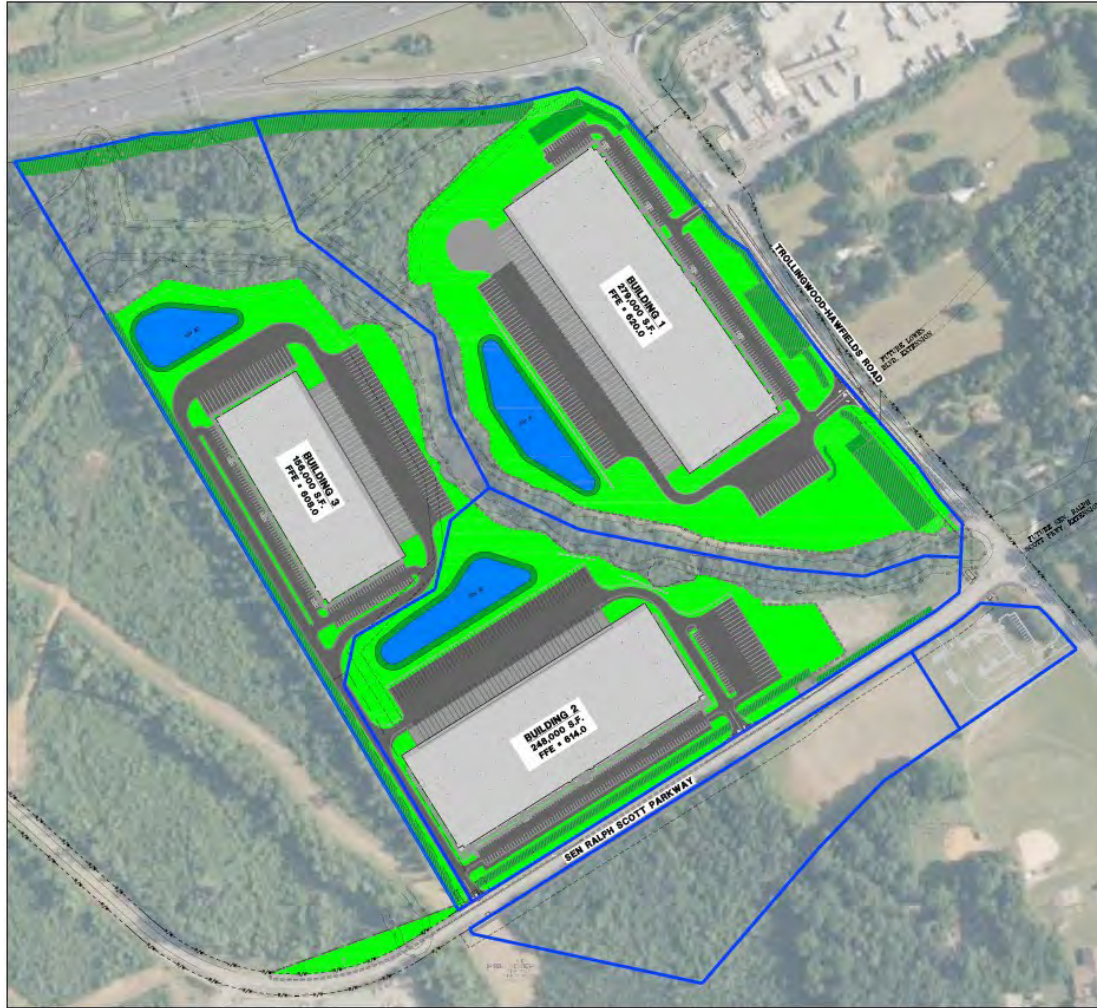
Traffic Impact Analysis, Wetlands, Environmental, Topographical Survey, Geotechnical






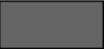




PROPOSED PLAN

CONFIDENTIAL

North Carolina Commerce Park | Mebane, North Carolina



Lot	1	2	3	Total
Use	Warehouse			
Lot Size (Acres)	32.5	22.1	23.1	77.7
Building Size	279,000	248,000	156,000	683,000

-  PROPERTY BOUNDARY
-  LIMITS OF DISTURBANCE
-  IMPERVIOUS BUILDINGS
-  IMPERVIOUS PAVEMENT
-  IMPERVIOUS CONCRETE
-  LANDSCAPE BUFFERS/PLANTING AREAS
-  LAWN AND EASEMENT AREAS
-  STORMWATER CONTROL MEASURE

North Carolina Commerce Park | Mebane, North Carolina

Traffic

Traffic designation (LUC 110) more intense than anticipate users and original designation (LUC 150)

Providing 100' right turn lanes into all driveways

Agreed to acquire easements to ensure turn lanes have proper visibility

Environmental

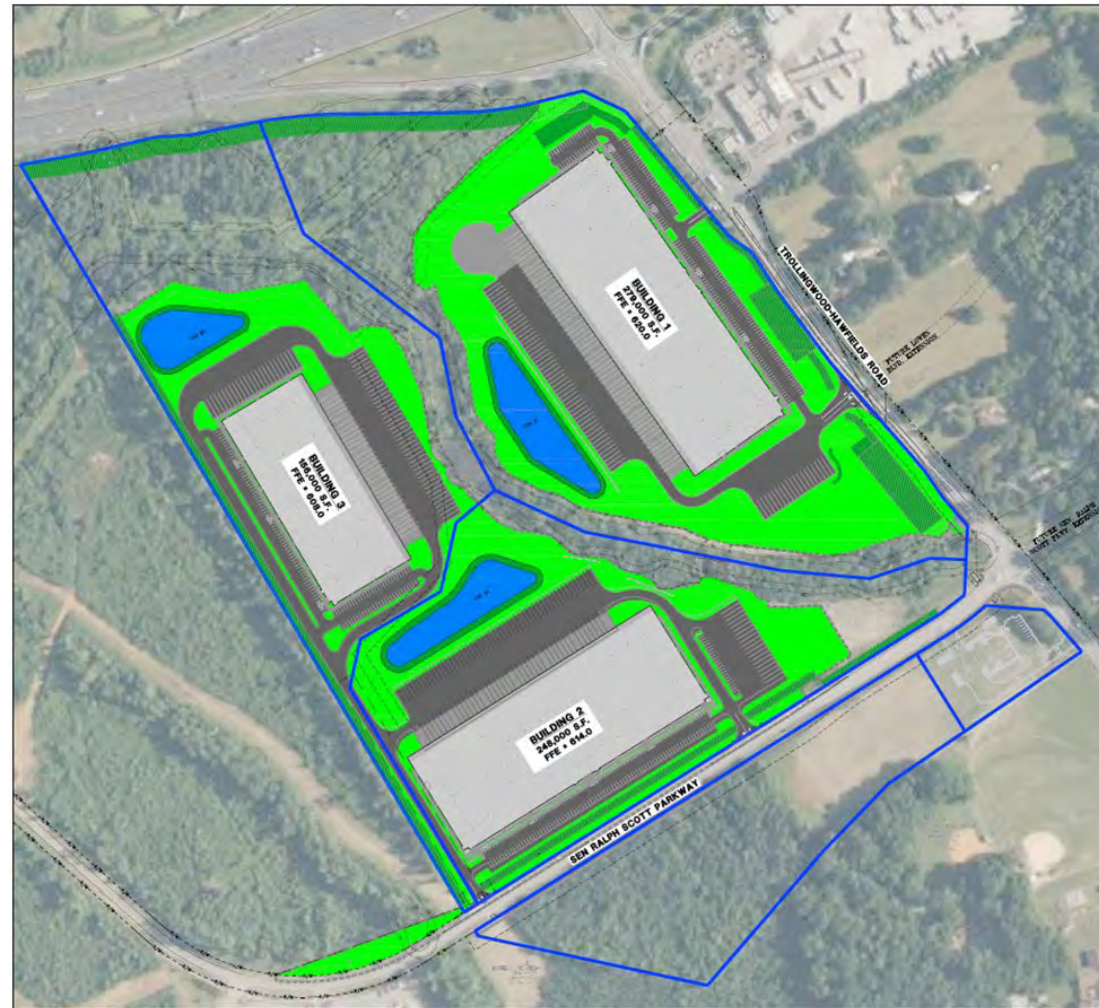
Minimizing impact to stream running through the site

Increased plantings/screening on Trollingwood Hawfields Road

Community

Dedicating 2.5 AC to the City

Coordinating plans with the City for sewer extension at Lot 1



EXAMPLE RENDERINGS

CONFIDENTIAL

North Carolina Commerce Park | Mebane, North Carolina



QUESTIONS?



APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: CHI/Acquisitions, L.P.

Address of Applicant: 4064 Colony Road, Suite 405, Charlotte, NC 28211

Address and brief description of property to be rezoned: 1447 Trollingwood-Hawfields Rd., Mebane, NC 27302: Approximately 78 Acres of undeveloped property.

Applicant's interest in property: (Owned, leased or otherwise) contract purchaser

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes ___ Explain: _____ No X

Type of re-zoning requested: B-2/M-2 to L-M (CD) (Light Manufacturing Conditional District)

Sketch attached: Yes _____

Reason for the requested re-zoning: Development of warehouse/distribution facilities

Signed: Matt Cohen

Date: 10/19/22

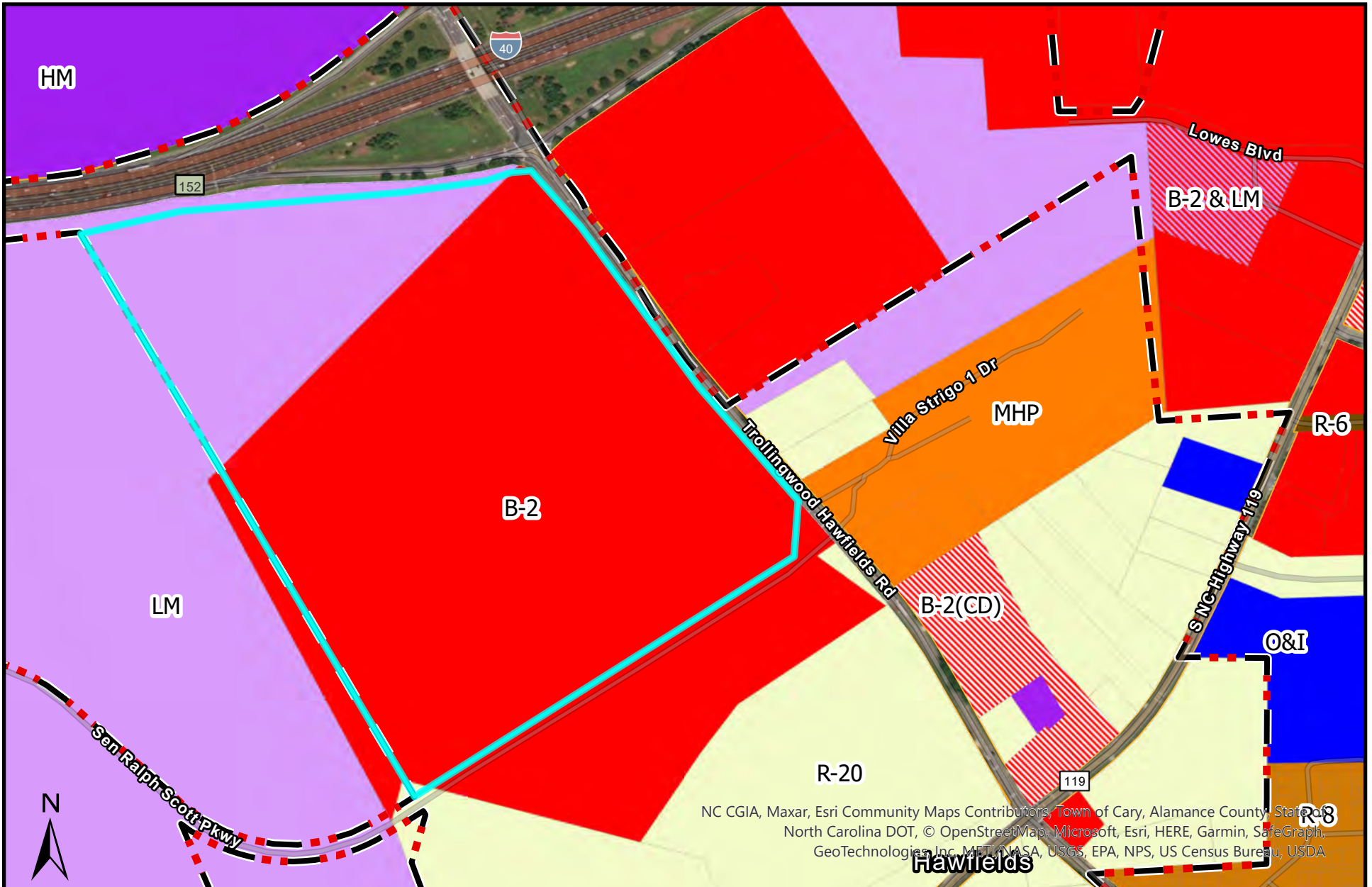
Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.



**CITY OF MEBANE
ZONING MAP**

Crow Industrial

1 inch = 500 feet

DATE: 11/09/2022

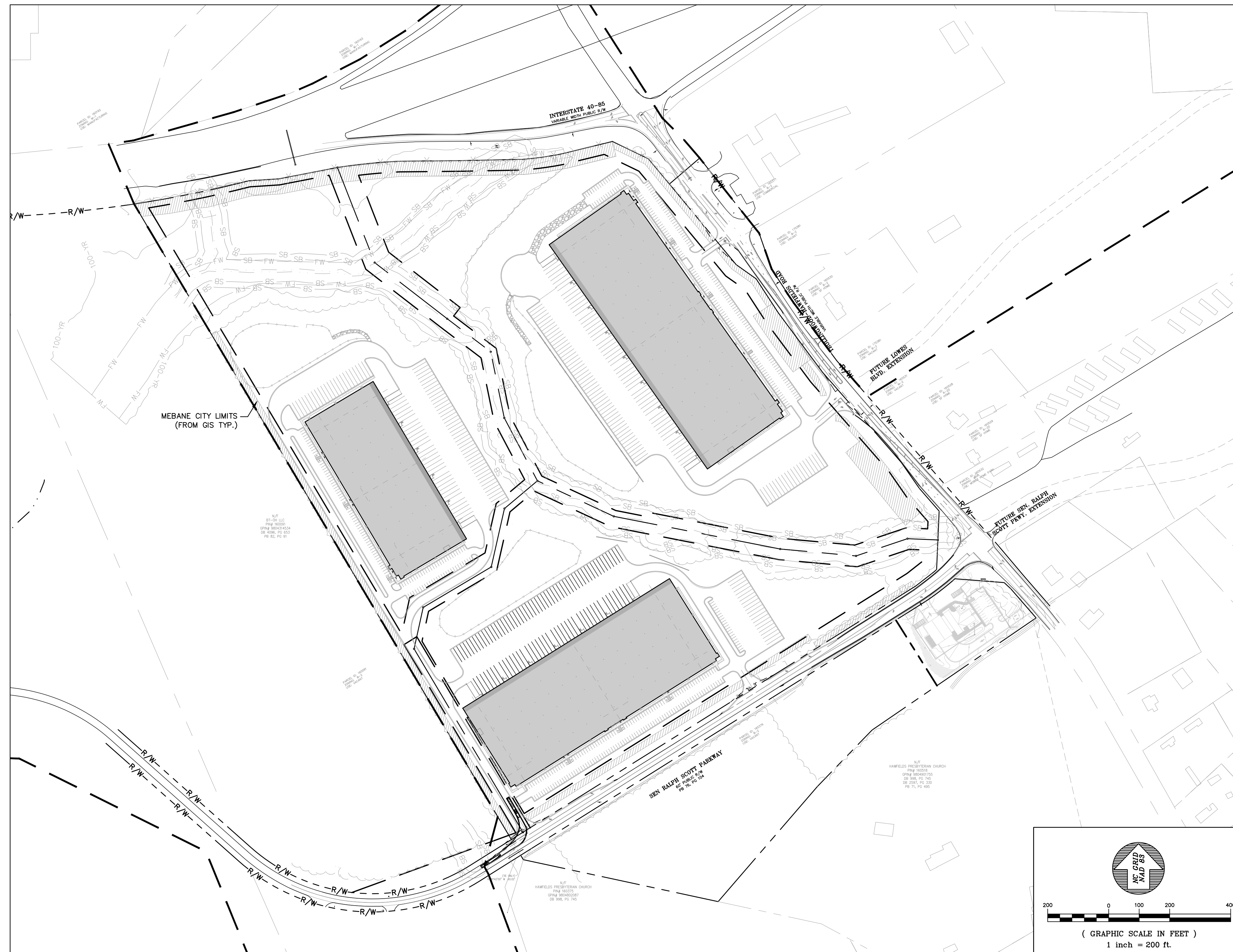
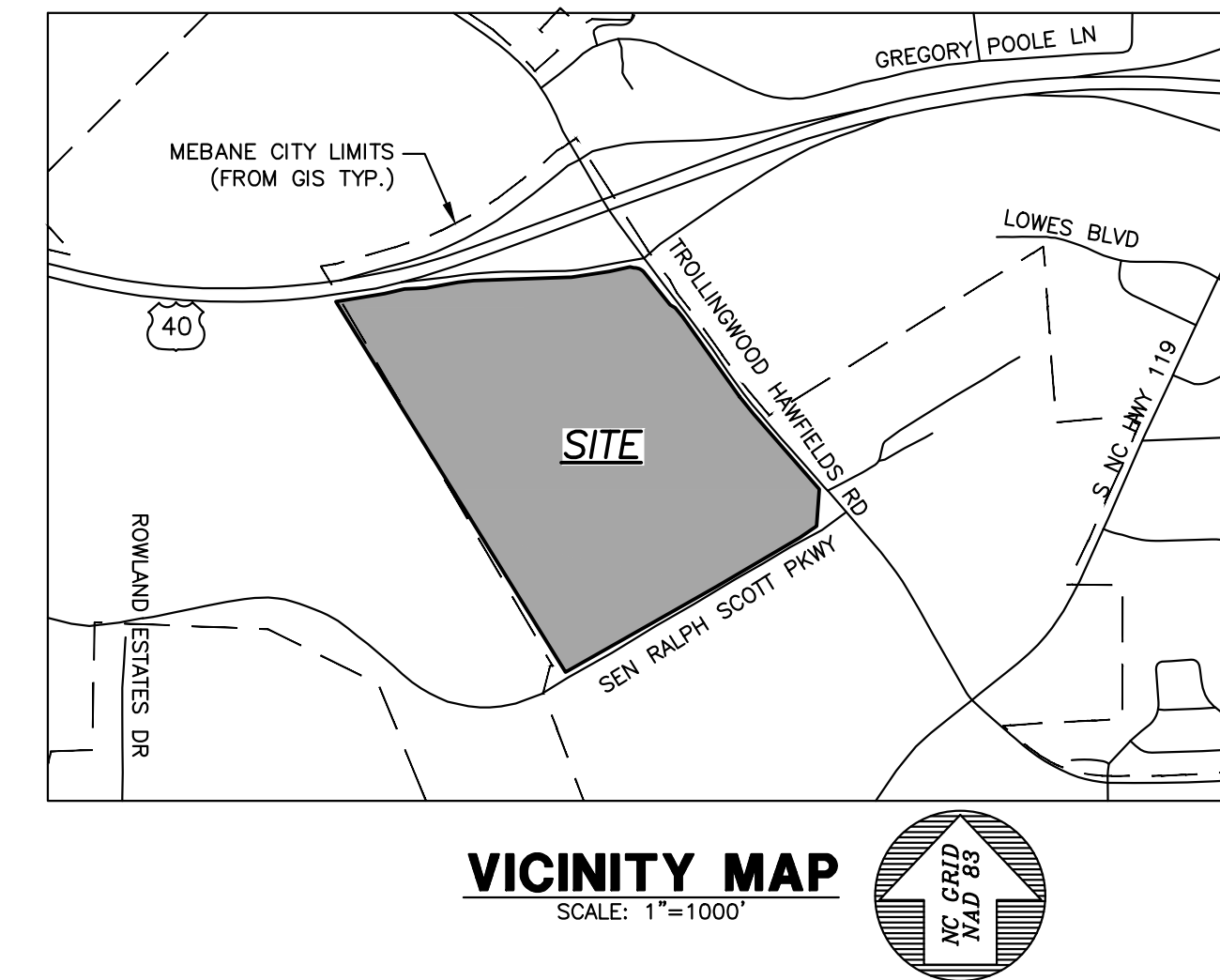
DRAWN BY: AO

SITE PLAN DRAWINGS

FOR

CROW INDUSTRIAL NC COMMERCE PARK - BLDGS 1-3

MEBANE, NC



DRAWING LIST

SHEET	DRAWING TITLE
G0001	COVER
C0101	EXISTING CONDITIONS/DEMO PLAN
C1000	SITE OVERVIEW
C1001	BUILDING 1 SITE PLAN
C1002	BUILDING 2 SITE PLAN
C1003	BUILDING 3 SITE PLAN
C1004	TRUCK TURN TEMPLATES
C1100	UTILITY OVERVIEW
C1101	BUILDING 1 UTILITY PLAN
C1102	BUILDING 2 UTILITY PLAN
C1103	BUILDING 3 UTILITY PLAN
C1200	GRADING & DRAINAGE OVERVIEW
C1201	BUILDING 1 GRADING & DRAINAGE PLAN
C1202	BUILDING 2 GRADING & DRAINAGE PLAN
C1203	BUILDING 3 GRADING & DRAINAGE PLAN
C5001	SITE DETAILS
L01	SITE PLANTING SUMMARY
L02	PLANTING SCHEMATICS

DEVELOPER:

CROW HOLDINGS

INDUSTRIAL

ARCHITECTURE:
architects
msa
merriman
schmitt
architects p.l.l.c.
interior design
605 LEWISTON AVENUE
SUITE 300
CHARLOTTE, NC 28205
704.372.1177
704.377.3060 (fax)

SITE PLANNING/CIVIL ENGINEERING/SURVEYING:
Ballentine
Associates, PA
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929-0481 www.ballentineassociates.com

LANDSCAPE ARCHITECTURE:
R.T. Peter Landscape Architecture
7709 Moorgate Court, Raleigh, NC 27615
(919) 871-3648 bob.p@rtpls.com

Ballentine
Associates, PA
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929-0481

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SUBJECT TO LEGAL ACTION.

REGISTERED PROFESSIONAL ENGINEER
CORPORATE
SINCE
1988
SOUTH CAROLINA
CHAPEL HILL

REGISTERED PROFESSIONAL ENGINEER
SINCE
2017
NORTH CAROLINA
MEBANE

DATE	REVISIONS
08 SEP 22	PER CITY OF MEBANE TRC COMMENTS
19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCOTD TRC COMMENTS

OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
4264 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
CHRIS URQUHART
(704) 258-9147
FAX (704) 000-0000
EMAIL: chris@crow.com

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

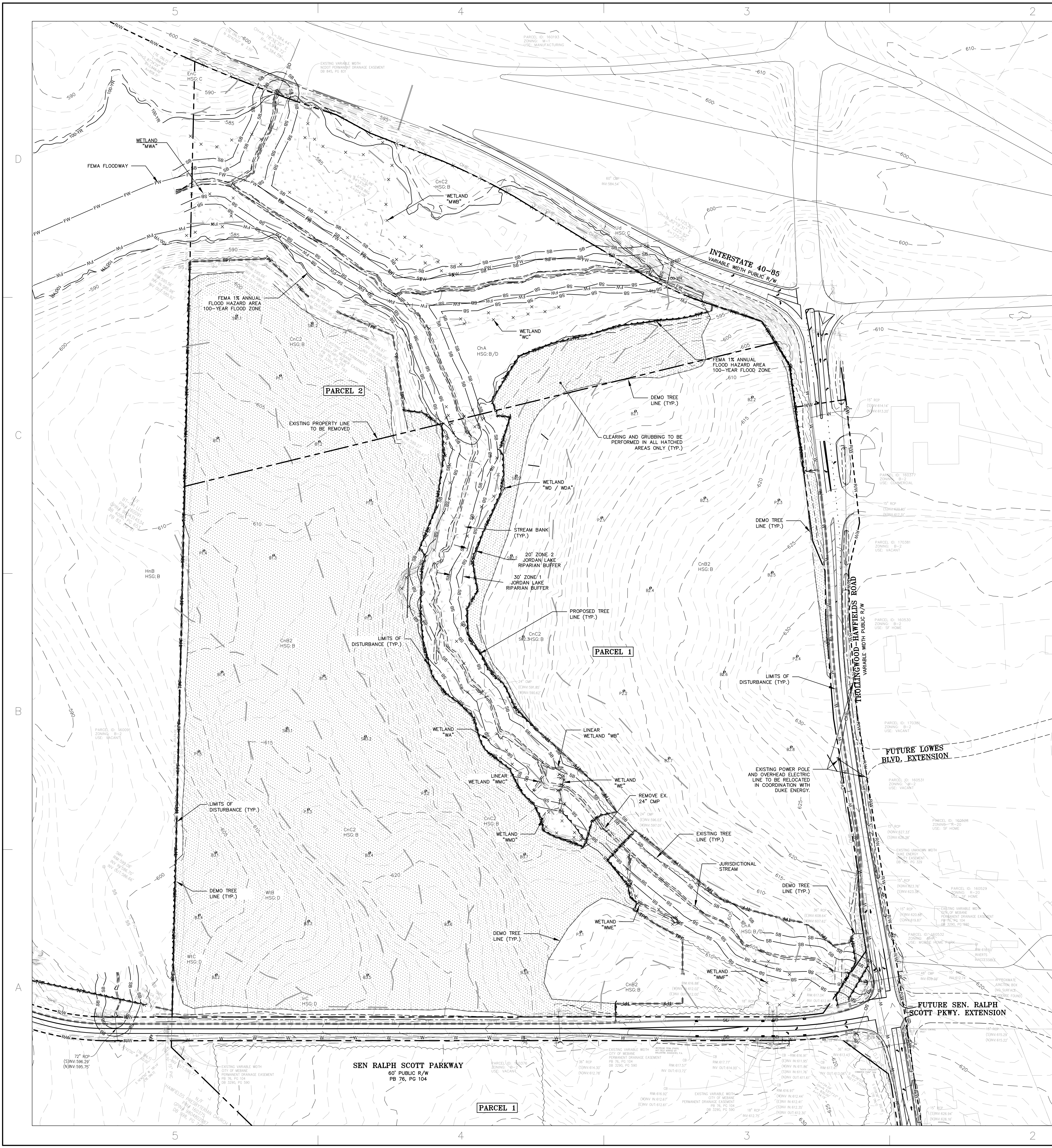
**CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBANE, NC**

SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

SHEET
G0001

REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION



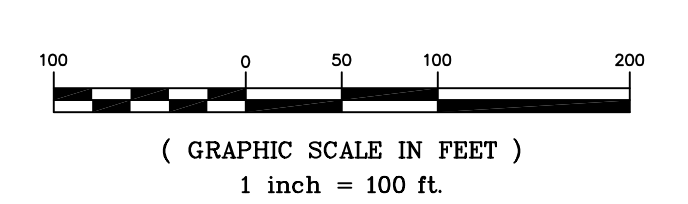
NOTES

- EXISTING CONDITIONS SHOWN ARE BASED UPON SITE SURVEYS PERFORMED BY BALLENTINE ASSOCIATES.
- STREAM/WETLAND DELINEATION PROVIDED BY PILOT ENVIRONMENTAL, INC. IN A REPORT DATED APRIL 25, 2022.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949), LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
- ALL DEBRIS GENERATED BY DEMOLITION ACTIVITIES SHALL BE REMOVED FROM SITE AND DISPOSED OF PER THE APPROVED SOLID WASTE MANAGEMENT PLAN.
- BOTH PARCELS ARE ENCOMBERED BY SPECIAL FLOOD HAZARD AREA, AS DETAILED HEREIN, WITH VARYING BASE FLOOD ELEVATION REQUIREMENTS AS DETAILED ON FLOOD INSURANCE RATE MAP (FIRM) 371098400K PANEL 9804 WITH AN EFFECTIVE DATE OF NOVEMBER 17, 2017. ACCORDING TO THE FIRM, THE FLOOD SOURCE IS AN UNNAMED TRIBUTARY TO EAST BACK CREEK. NO DEVELOPMENT ACTIVITY SHALL OCCUR WITHIN THE SFHA.

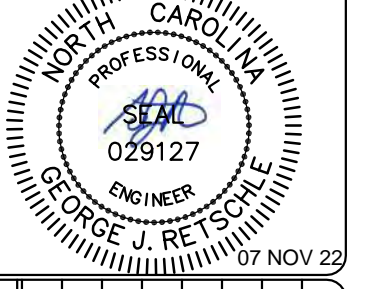
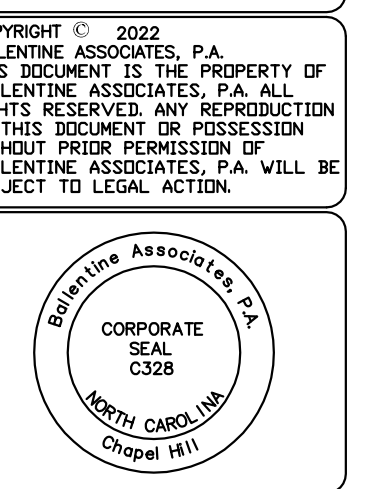
DRAWING LEGEND

SYMBOL/ABBREVIATION	DESCRIPTION
--- 490 ---	MINOR CONTOUR
--- 610 ---	MAJOR CONTOUR
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	CATCH BASIN
⊕	SEWER MANHOLE
⊕	UTILITY POLE
⊕	WELL
⊕	SANITARY SEWER CLEANOUT
⊕	HVAC UNIT
⊕	ELECTRIC METER
⊕	TELEPHONE PEDESTAL
⊕	GAS METER
⊕	MAIL BOXES
⊕	CONIFEROUS TREE
⊕	DECIDUOUS TREE
⊕	WATER LINE
⊕	FENCE LINE
---	OVERHEAD ELECTRIC LINE
---	SANITARY SEWER LINE
---	STORM DRAINAGE PIPE
---	FEMA 100-YR FLOOD ZONE
---	JORDAN LAKE RIPARIAN BUFFER
---	FLOODWAY
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJOINER PROPERTY LINE
---	EASEMENT LINE
---	LIMITS OF DISTURBANCE
---	WETLANDS
---	SOIL BOUNDARY
ChA	CHEWAGIA LOAM
CnB2, CnC2	CULLEN CLAY LOAM
EnC	ENON SANDY LOAM
HnB	HERNDON SILT LOAM
IrC	IREDELL LOAM
Ud	UDORTENTS, LOAMY
Wb, WtC	WYNOTT-ENON COMPLEX
⊕	BORING LOCATION (APPROX.)
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	CLEARING AND GRUBBING AREA

EXISTING CONDITIONS & DEMOLITION PLAN



**REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION**



DATE	REVISIONS
08 SEP 22	PER CITY OF MEANE TRC COMMENTS
19 OCT 22	PER CITY OF MEANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

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OWNERS REPRESENTATIVE:
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7704 258-9147
FAX (704) 000-0000
EMAIL: curouhart@crow.com

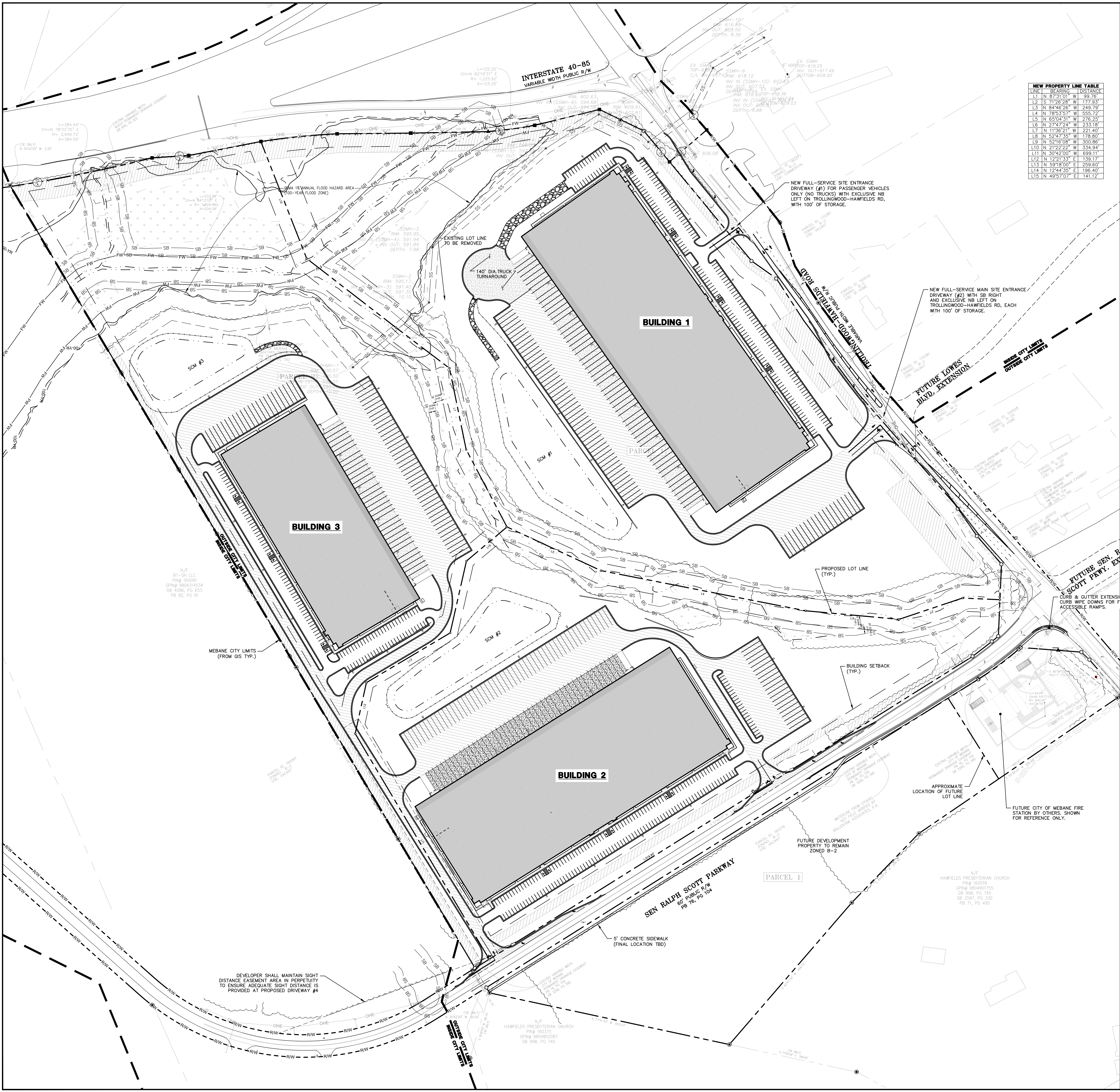
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**CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBANE, NC**

SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

**SHEET
C0101**



NEW PROPERTY LINE TABLE

LINE	BEARING	DISTANCE
L1	N 87°31'01" W	99.76
L2	S 71°02'08" W	177.93
L3	N 84°46'26" W	249.79
L4	N 78°53'57" W	555.72
L5	N 65°04'51" W	276.25
L6	N 27°47'24" W	233.18
L7	N 11°56'21" W	221.40
L8	N 52°47'55" W	178.93
L9	N 52°16'08" W	300.86
L10	N 21°22'22" W	334.94
L11	N 30°42'00" W	699.11
L12	N 12°21'33" E	139.17
L13	N 59°18'00" E	259.60
L14	N 12°44'55" E	196.40
L15	N 49°57'07" E	141.12

- NOTES**
1. THE PROPERTY WILL BE SUBDIVIDED. THE PROPOSED PROPERTY LINES SHOWN IN THESE DRAWINGS ARE PRELIMINARY, AND WILL BE FINALIZED DURING THE CONSTRUCTION DRAWING PROCESS.
 2. THIS SITE PLAN/CONDITIONAL ZONING APPLICATION DOES NOT INCLUDE ANY DEVELOPMENT SOUTH OF SENATOR RALPH SCOTT PARKWAY.
 3. NCDOT DRIVEWAY PERMITS SHALL BE OBTAINED FOR THE FOUR PROPOSED ACCESS POINTS AND ROADWAY IMPROVEMENTS SHALL BE MADE AT DRIVEWAYS #1 AND #2 IN ACCORDANCE WITH THE APPROVED TIA AND AS GENERALLY SHOWN IN THESE DRAWINGS.
 4. THREE-PARTY ENCROACHMENT AGREEMENT WITH CITY OF MEBANE FOR ANY PROPOSED/STIPULATED SIDEWALKS, WATER, AND SEWER CONSTRUCTION WITHIN NCDOT R/W.
 5. FINAL DETAILS FOR ALL IMPROVEMENTS SHOWN IN THESE DRAWINGS WILL BE PROVIDED WITH CONSTRUCTION PLANS.
 6. ANNEXATION IS REQUIRED PRIOR TO CONNECTION TO CITY UTILITIES.

SITE DATA TABLE

PROPERTY ADDRESSES:	1447 TROLLINGWOOD HAWFIELDS RD MEBANE, NC 27302																				
PROPERTY PIN NUMBERS:	EXISTING PARCEL #1 160378 EXISTING PARCEL #2 160314																				
CURRENT LAND OWNER:	SARAH S. BRADLEY, ET AL																				
CONTRACT PURCHASER:	CH ACQUISITIONS, LP																				
EXISTING ZONING:	EXISTING PARCEL #1 B-2 GENERAL BUSINESS EXISTING PARCEL #2 M-2 LIGHT MANUFACTURING																				
PROPOSED ZONING:	LM (CD) - LIGHT MANUFACTURING CONDITIONAL DISTRICT																				
MINIMUM LOT DIMENSIONS & SETBACKS:	MIN LOT SIZE = 20,000 S.F. MIN LOT WIDTH = 75' FRONT YARD SETBACK = 50' SIDE YARD SETBACK = 35' (43' FOR CORNER LOT) REAR YARD SETBACK = 20'																				
WATERSHED:	JORDAN LAKE																				
AREA OF TRACT:	3,384,123 SF / 77.689 AC. NOT INCLUDING: 1) PORTION OF EXISTING PARCEL 1 SOUTH OF SEN RALPH SCOTT PARKWAY, WHICH IS NOT INCLUDED IN THIS APPLICATION. 2) 35,463 SF (0.814 AC.) OF PARCEL 1 WITHIN SR 1981 RIGHT-OF-WAY.																				
PROPOSED LOT AND BUILDING DATA:	<table border="1"> <thead> <tr> <th>LOT #</th> <th>BUILDING DATA</th> <th>AREA COVERED BY STRUCTURE</th> <th>AREA COVERED BY ASPHALT/CONCRETE</th> <th>TOTAL UNDISTURBED AREA</th> </tr> </thead> <tbody> <tr> <td>LOT 1</td> <td>BUILDING 1</td> <td>877,000 SF / 15.54 AC</td> <td>845,159 SF / 19.40 AC</td> <td>823,353 SF / 18.80 AC</td> </tr> <tr> <td>LOT 2</td> <td>BUILDING 2</td> <td>963,759 SF / 22.125 AC</td> <td>19,400 SF / 0.45 AC</td> <td>23,076 SF / 0.53 AC</td> </tr> <tr> <td>LOT 3</td> <td>BUILDING 3</td> <td>1,005,196 SF / 23.076 AC</td> <td>156,000 SF / 3.55 AC</td> <td>156,000 SF / 3.55 AC</td> </tr> </tbody> </table>	LOT #	BUILDING DATA	AREA COVERED BY STRUCTURE	AREA COVERED BY ASPHALT/CONCRETE	TOTAL UNDISTURBED AREA	LOT 1	BUILDING 1	877,000 SF / 15.54 AC	845,159 SF / 19.40 AC	823,353 SF / 18.80 AC	LOT 2	BUILDING 2	963,759 SF / 22.125 AC	19,400 SF / 0.45 AC	23,076 SF / 0.53 AC	LOT 3	BUILDING 3	1,005,196 SF / 23.076 AC	156,000 SF / 3.55 AC	156,000 SF / 3.55 AC
LOT #	BUILDING DATA	AREA COVERED BY STRUCTURE	AREA COVERED BY ASPHALT/CONCRETE	TOTAL UNDISTURBED AREA																	
LOT 1	BUILDING 1	877,000 SF / 15.54 AC	845,159 SF / 19.40 AC	823,353 SF / 18.80 AC																	
LOT 2	BUILDING 2	963,759 SF / 22.125 AC	19,400 SF / 0.45 AC	23,076 SF / 0.53 AC																	
LOT 3	BUILDING 3	1,005,196 SF / 23.076 AC	156,000 SF / 3.55 AC	156,000 SF / 3.55 AC																	
LOT SIZE:	LOT 1: 1,415,167 SF / 32.488 AC LOT 2: 279,000 SF / 6.400 AC LOT 3: 279,000 SF / 6.400 AC																				
PROPOSED USE:	WAREHOUSE																				
BUILDING DIMS/SQUARE FOOTAGE:	LOT 1: 310' X 900' / 279,000 SF LOT 2: 310' X 800' / 248,000 SF LOT 3: 260' X 600' / 156,000 SF																				
DOCK POSITIONS:	LOT 1: 49 LOT 2: 44 LOT 3: 35																				
TRAILER STORAGE SPACES PROVIDED:	LOT 1: 71 (1.45x DOCK POSITIONS) LOT 2: 76 (1.73x DOCK POSITIONS) LOT 3: 69 (1.97x DOCK POSITIONS)																				
VEHICLE PARKING SPACES:																					
PARKING REQUIRED BY DEVELOPER (0.75 SPA PER 1,000 SF FLOOR AREA)	LOT 1: 209 LOT 2: 186 LOT 3: 117																				
TOTAL VEHICLE PARKING SPACES PROVIDED:	LOT 1: 211 LOT 2: 188 LOT 3: 119																				
ACCESSIBLE PARKING SPACES REQ'D:	LOT 1: 7 TOTAL INCL 2 VAN ACCESSIBLE LOT 2: 6 TOTAL INCL 1 VAN ACCESSIBLE LOT 3: 5 TOTAL INCL 1 VAN ACCESSIBLE																				
ACCESSIBLE PARKING PROVIDED (INCLUDED IN TOTAL SPACES PROVIDED):	LOT 1: 8 TOTAL INCL 8 VAN ACCESSIBLE LOT 2: 6 TOTAL INCL 6 VAN ACCESSIBLE LOT 3: 6 TOTAL INCL 6 VAN ACCESSIBLE																				

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
-R/W-	- - - - -	- - - - -	PROPERTY LINE
- - - - -	- - - - -	- - - - -	RIGHT-OF-WAY LINE
- - - - -	- - - - -	- - - - -	ADJOINER PROPERTY LINE
- - - - -	- - - - -	- - - - -	EASEMENT LINE
- - - - -	- - - - -	- - - - -	SETBACK LINE
- - - - -	- - - - -	- - - - -	WETLAND
- - - - -	- - - - -	- - - - -	STREAM CENTERLINE/STORMWATER
- - - - -	- - - - -	- - - - -	SCM WATER SURFACE
- - - - -	- - - - -	- - - - -	STREAM BUFFER
- - - - -	- - - - -	- - - - -	TREE LINE
- - - - -	- - - - -	- - - - -	OVERHEAD ELECTRIC LINE
- - - - -	- - - - -	- - - - -	STREETSCAPE BUFFER (TYP.) - SEE SHEET L1003

PAVING LEGEND

(A1) (C5007)	HEAVY-DUTY ASPHALT (8' ABC/3' 119.0/2" S9.5C)
(A1) (C5007)	NCDOT HEAVY-DUTY ASPHALT (5' B25.0C/4' 119.0C/3" S9.5B)
(A1) (C5007)	STANDARD DUTY ASPHALT (6" ABC/2" S9.5C)
(A1) (C5007)	D/W #1 (8' ABC/2" S9.5C)
(A1) (C5007)	CONCRETE PAVEMENT (ALL UN-REINFORCED) (SIDEWALKS: 4" ABC/4" 4500 PSI CONC) (TRUCK COURTS: 6" ABC/7" 4500 PSI CONC) (CITY OF MEBANE SIDEWALKS: 4" ABC/5" 5000 PSI CONC)

SITE OVERVIEW

REVIEW DRAWING NOT ISSUED FOR CONSTRUCTION

C1000

Ballentine Associates, PA
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 928-0461

DATE: 12 JUL 22, 08 SEP 22, 19 OCT 22, 07 NOV 22

REVISIONS:

DATE	DESCRIPTION
08 SEP 22	PER CITY OF MEBANE TRC COMMENTS
19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

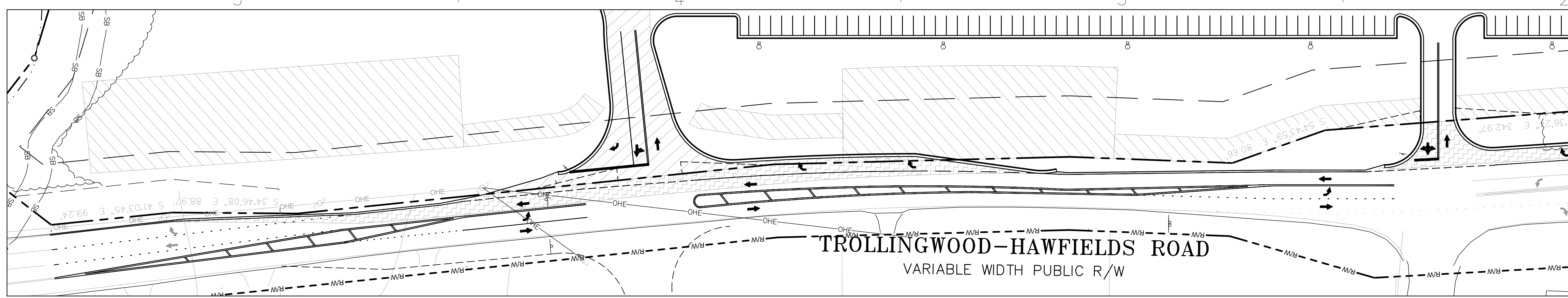
OWNER INFORMATION:
CROW HOLDINGS INDUSTRIAL
4204 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNERS REPRESENTATIVE:
CHRIS URQUHART
(704) 258-9147
FAX (704) 000-0000
EMAIL: urquhart@crowind.com

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBANE, NC

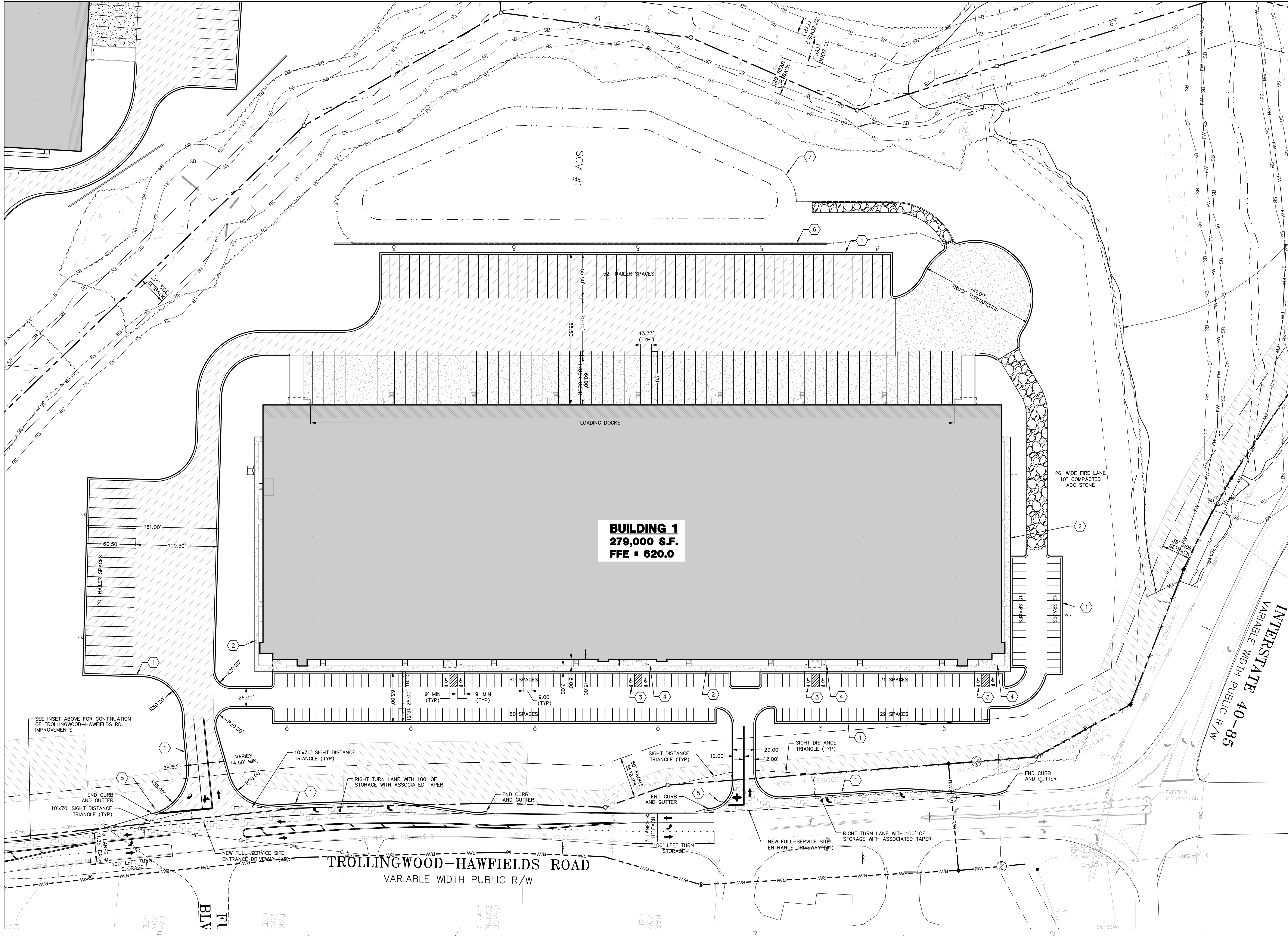
SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

SHEET C1000



D4 TROLLINGWOOD-HAWFIELDS RD. IMPROVEMENTS
C1001



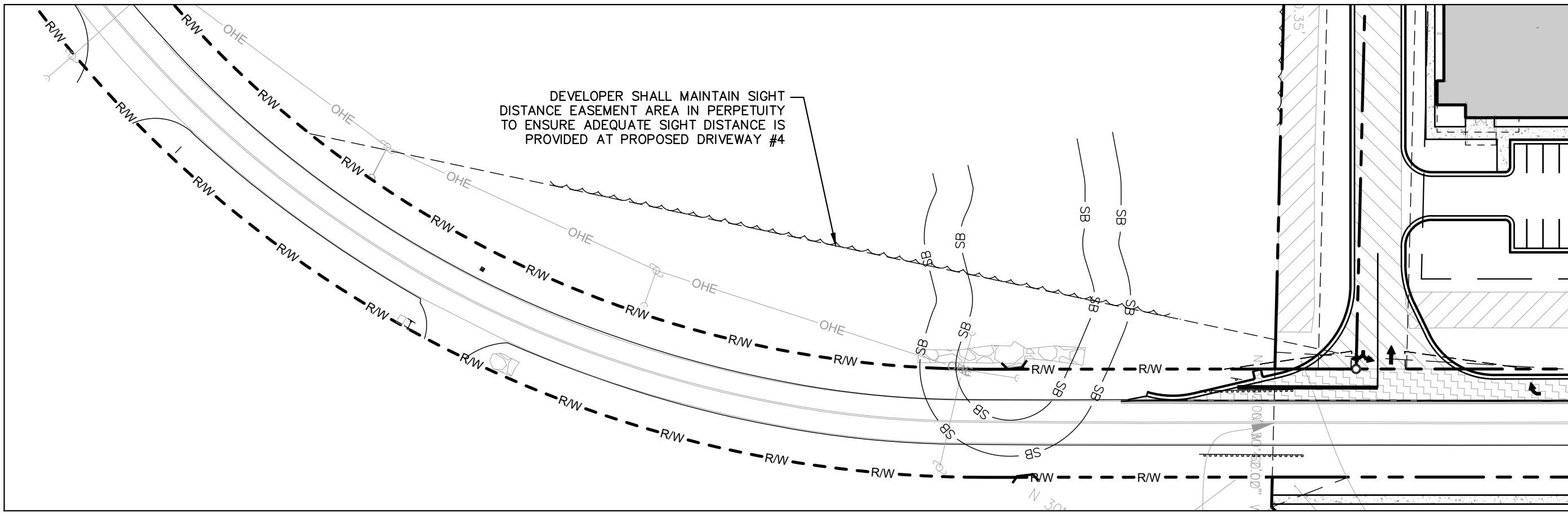
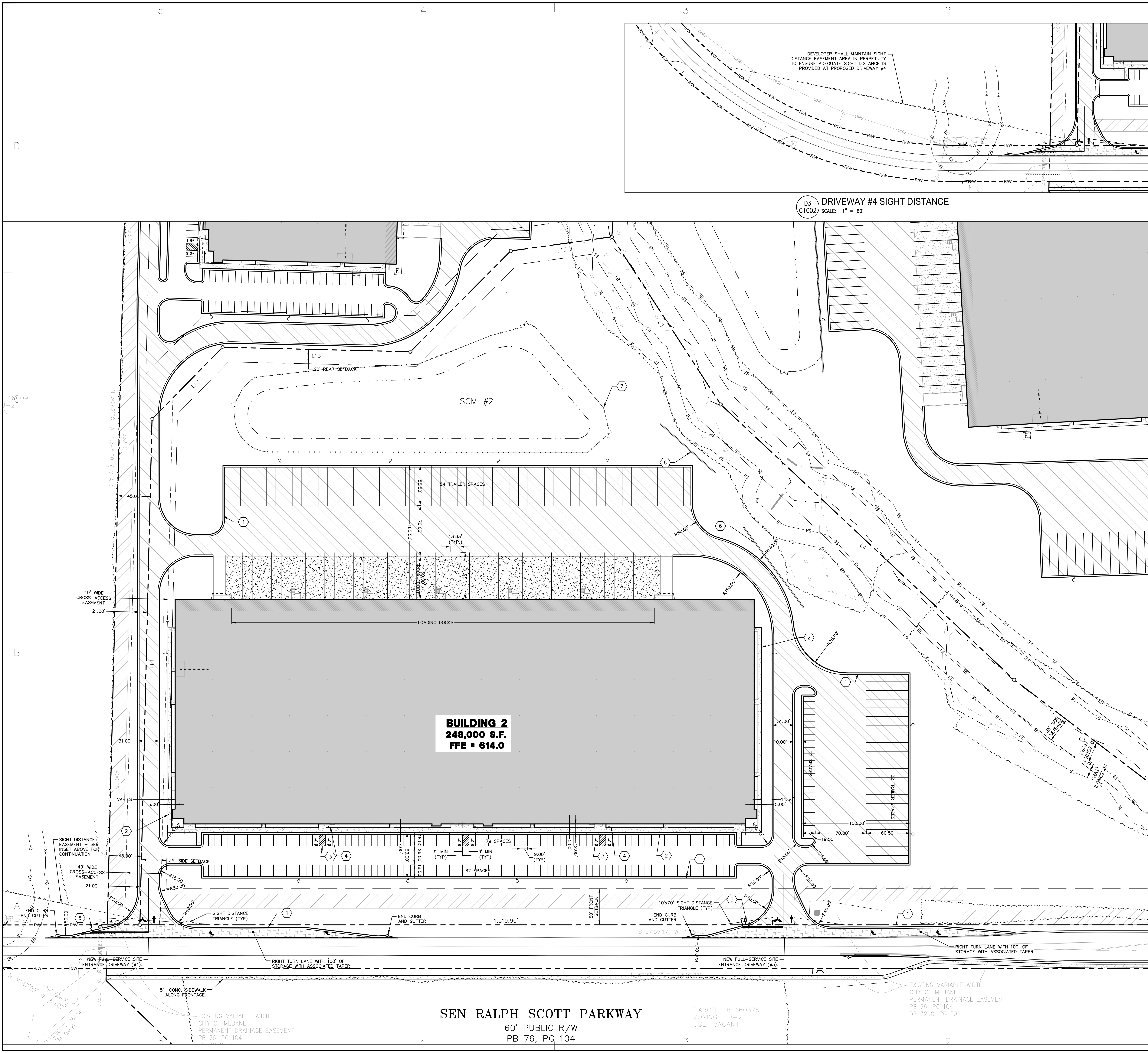
BUILDING 1
279,000 S.F.
FFE = 620.0

- PLAN KEY NOTES**
- 1 30" CONCRETE CURB & GUTTER (TYP.)
 - 2 CONCRETE SIDEWALK (5' WIDE TYP. UNLESS OTHERWISE NOTED)
 - 3 TYPICAL ACCESSIBLE PARKING LAYOUT
 - 4 HS-2 VAN ACCESSIBLE PARKING SIGN
 - 5 "STOP" SIGN
 - 6 SEGMENTAL BLOCK RETAINING WALL (DESIGN BUILD)
 - 7 4' HIGH BLACK VINYL-COATED CHAIN LINK FENCE WITH 12' WIDE GATE FOR ACCESS

- PAVING LEGEND**
- A1 C5001 HEAVY-DUTY ASPHALT (8" ABC/3" 119.0C/2" S9.5C)
 - A1 C5001 NCDDT HEAVY-DUTY ASPHALT (9" B25.0C/4" 119.0C/3" S9.5B)
 - A1 C5001 STANDARD DUTY ASPHALT (6" ABC/2" S9.5C) (SIDEWALKS: 4" ABC/4" 4500 PSI CONC) (TRUCK COURTS: 6" ABC/7" 4000 PSI CONC)
 - A1 C5001 CONCRETE PAVEMENT (ALL UN-REINFORCED) (SIDEWALKS: 4" ABC/4" 4500 PSI CONC) (TRUCK COURTS: 6" ABC/7" 4000 PSI CONC)

- DRAWING LEGEND**
- | SYMBOL/ABBREVIATION | EXISTING | PROPOSED | DESCRIPTION |
|---------------------|----------|----------|--|
| --- | --- | --- | PROPERTY LINE |
| -R/W- | -R/W- | -R/W- | RIGHT-OF-WAY LINE |
| --- | --- | --- | ADJONER PROPERTY LINE |
| --- | --- | --- | EASEMENT LINE |
| --- | --- | --- | SETBACK LINE |
| --- | --- | --- | WETLAND |
| --- | --- | --- | STREAM CENTERLINE/STORMWATER SCM WATER SURFACE |
| SB | SB | SB | STREAM BUFFER |
| --- | --- | --- | TREE LINE |
| OHE | OHE | OHE | OVERHEAD ELECTRIC LINE |
| --- | --- | --- | STREETSCAPE BUFFER (TYP.) - SEE SHEET L1003 |

BUILDING 1 SITE PLAN
1 inch = 50 ft.
REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION



D3 DRIVEWAY #4 SIGHT DISTANCE
C1002 SCALE: 1" = 60'

- ### PLAN KEY NOTES
- 1 30" CONCRETE CURB & GUTTER (TYP.)
 - 2 CONCRETE SIDEWALK (5' WIDE TYP. UNLESS OTHERWISE NOTED)
 - 3 TYPICAL ACCESSIBLE PARKING LAYOUT
 - 4 HS-2 VAN ACCESSIBLE PARKING SIGN
 - 5 "STOP" SIGN
 - 6 SEGMENTAL BLOCK RETAINING WALL (DESIGN BUILD)
 - 7 4" HIGH BLACK VINYL-COATED CHAIN LINK FENCE WITH 12" WIDE GATE FOR ACCESS
- ### PAVING LEGEND
- A1 C5001 HEAVY-DUTY ASPHALT (6" ABC/3" 119.0/2" 59.5C)
 - A1 C5001 NDOT HEAVY-DUTY ASPHALT (5" B25.0C/4" 119.0C/3" 59.5B)
 - A1 C5001 STANDARD DUTY ASPHALT (6" ABC/2" 59.5C)
 - A1 C5001 CONCRETE PAVEMENT (ALL UN-REINFORCED) (SIDEWALKS: 4" ABC/4" 4500 PSI CONC) (TRUCK COURTS: 6" ABC/7" 4000 PSI CONC) (CITY OF MEBANE SIDEWALKS: 4" ABC/5" 5000 PSI CONC)

- ### DRAWING LEGEND
- | SYMBOL/ABBREVIATION | EXISTING | PROPOSED | DESCRIPTION |
|---------------------|----------|----------|--|
| --- | --- | --- | PROPERTY LINE |
| -R/W- | -R/W- | -R/W- | RIGHT-OF-WAY LINE |
| --- | --- | --- | ADJOINER PROPERTY LINE |
| --- | --- | --- | EASEMENT LINE |
| --- | --- | --- | SETBACK LINE |
| --- | --- | --- | WETLAND |
| --- | --- | --- | STREAM CENTERLINE/STORMWATER SCM WATER SURFACE |
| --- | --- | --- | STREAM BUFFER |
| --- | --- | --- | TREE LINE |
| --- | --- | --- | OVERHEAD ELECTRIC LINE |
| --- | --- | --- | STREETSCAPE BUFFER (TYP.) - SEE SHEET L1003 |

BUILDING 2
248,000 S.F.
FFE = 614.0

SEN RALPH SCOTT PARKWAY
60' PUBLIC R/W
PB 76, PG 104

PARCEL ID: 160376
ZONING: B-2
USE: VACANT

BUILDING 2 SITE PLAN

12 JUL 2022
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

1 inch = 60 ft.

REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION

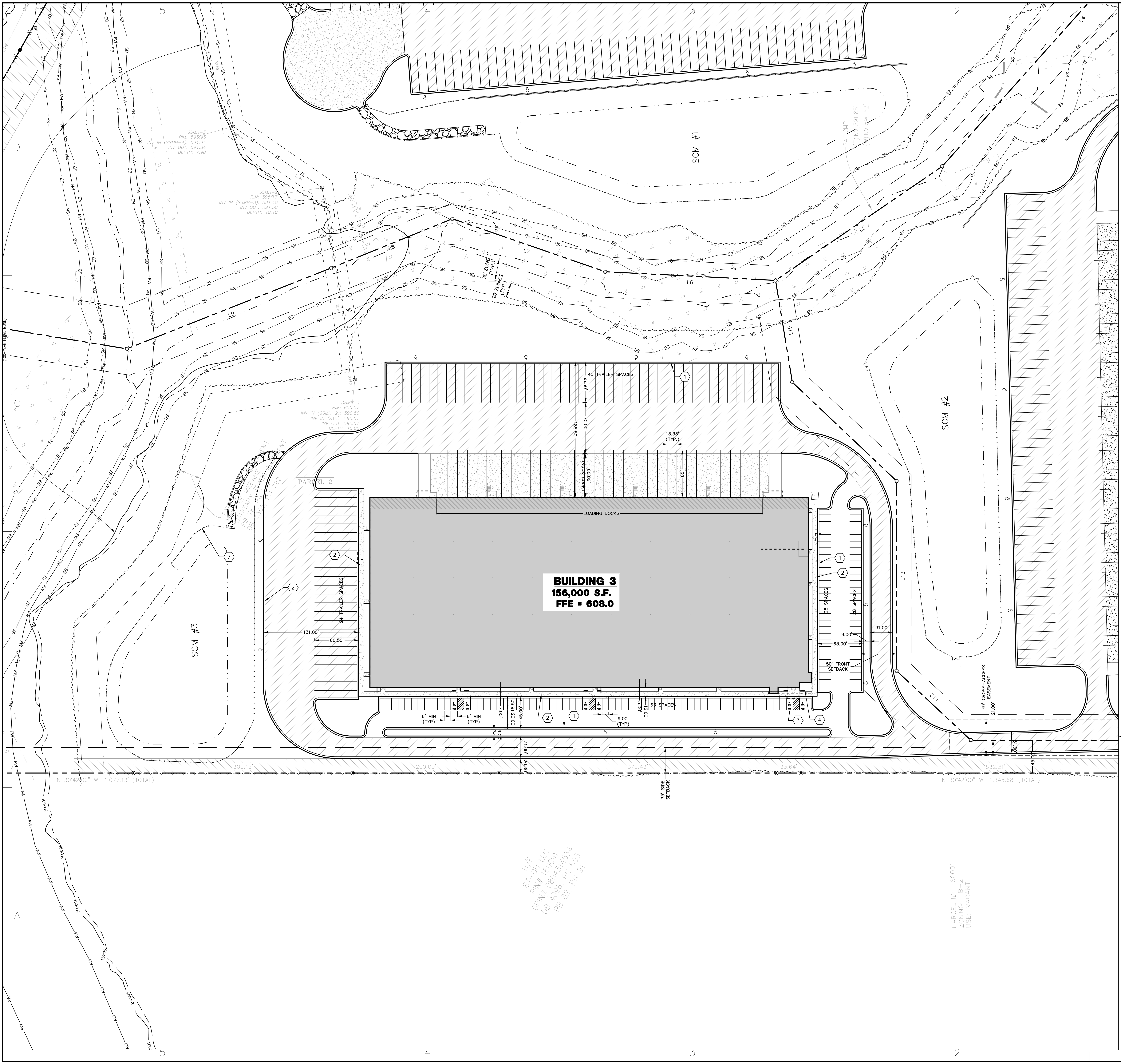
Ballentine Associates, PA
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 528-0461

DATE: 08 SEP 22, 19 OCT 22, 07 NOV 22
REVISIONS: PER CITY OF MEBANE TRC COMMENTS, PER NCDOT TRC COMMENTS

CROW INDUSTRIAL NC COMMERCE PARK BLDGS 1-3
MEBANE, NC
SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

SHEET C1002



BUILDING 3
156,000 S.F.
FFE = 608.0

N/F
 BT-OH LLC
 PIN# 990091
 DB 4096, PG 653
 PB 82, PG 91

PARCEL ID: 160091
 ZONING: R-2
 USE: VACANT

- ### PLAN KEY NOTES
- 1 30" CONCRETE CURB & GUTTER (TYP.)
 - 2 CONCRETE SIDEWALK (5' WIDE TYP. UNLESS OTHERWISE NOTED)
 - 3 TYPICAL ACCESSIBLE PARKING LAYOUT
 - 4 HS-2 VAN ACCESSIBLE PARKING SIGN
 - 5 "STOP" SIGN
 - 6 SEGMENTAL BLOCK RETAINING WALL (DESIGN BUILD)
 - 7 4' HIGH BLACK VINYL-COATED CHAIN LINK FENCE WITH 12" WIDE GATE FOR ACCESS

- ### PAVING LEGEND
- A1 (C500T) HEAVY-DUTY ASPHALT (6" ABC/3" 119.0/2" 59.5C)
 - A1 (C500T) NCDOT HEAVY-DUTY ASPHALT (5" B23.0C/4" 119.0C/3" 59.5B)
 - A1 (C500T) STANDARD DUTY ASPHALT (6" ABC/2" 59.5C)
 - A1 (C500T) CONCRETE PAVEMENT (ALL UN-REINFORCED) (SIDEWALKS: 4" ABC/4" 4500 PSI CONC) (TRUCK COURTS: 6" ABC/7" 4000 PSI CONC)

- ### DRAWING LEGEND
- | SYMBOL/ABBREVIATION | EXISTING | PROPOSED | DESCRIPTION |
|---------------------|----------|----------|--|
| --- | --- | --- | PROPERTY LINE |
| -R/W- | -R/W- | -R/W- | RIGHT-OF-WAY LINE |
| --- | --- | --- | ADJOINER PROPERTY LINE |
| --- | --- | --- | EASEMENT LINE |
| --- | --- | --- | SETBACK LINE |
| --- | --- | --- | WETLAND |
| --- | --- | --- | STREAM CENTERLINE/STORMWATER SCM WATER SURFACE |
| --- | --- | --- | STREAM BUFFER |
| --- | --- | --- | TREE LINE |
| --- | --- | --- | OVERHEAD ELECTRIC LINE |
| --- | --- | --- | STREETSCAPE BUFFER (TYP.) - SEE SHEET L103 |

BUILDING 3 SITE PLAN
 (GRAPHIC SCALE IN FEET)
 1 inch = 50 ft.
REVISIONS
NOT ISSUED FOR CONSTRUCTION

221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
 (919) 929-0461

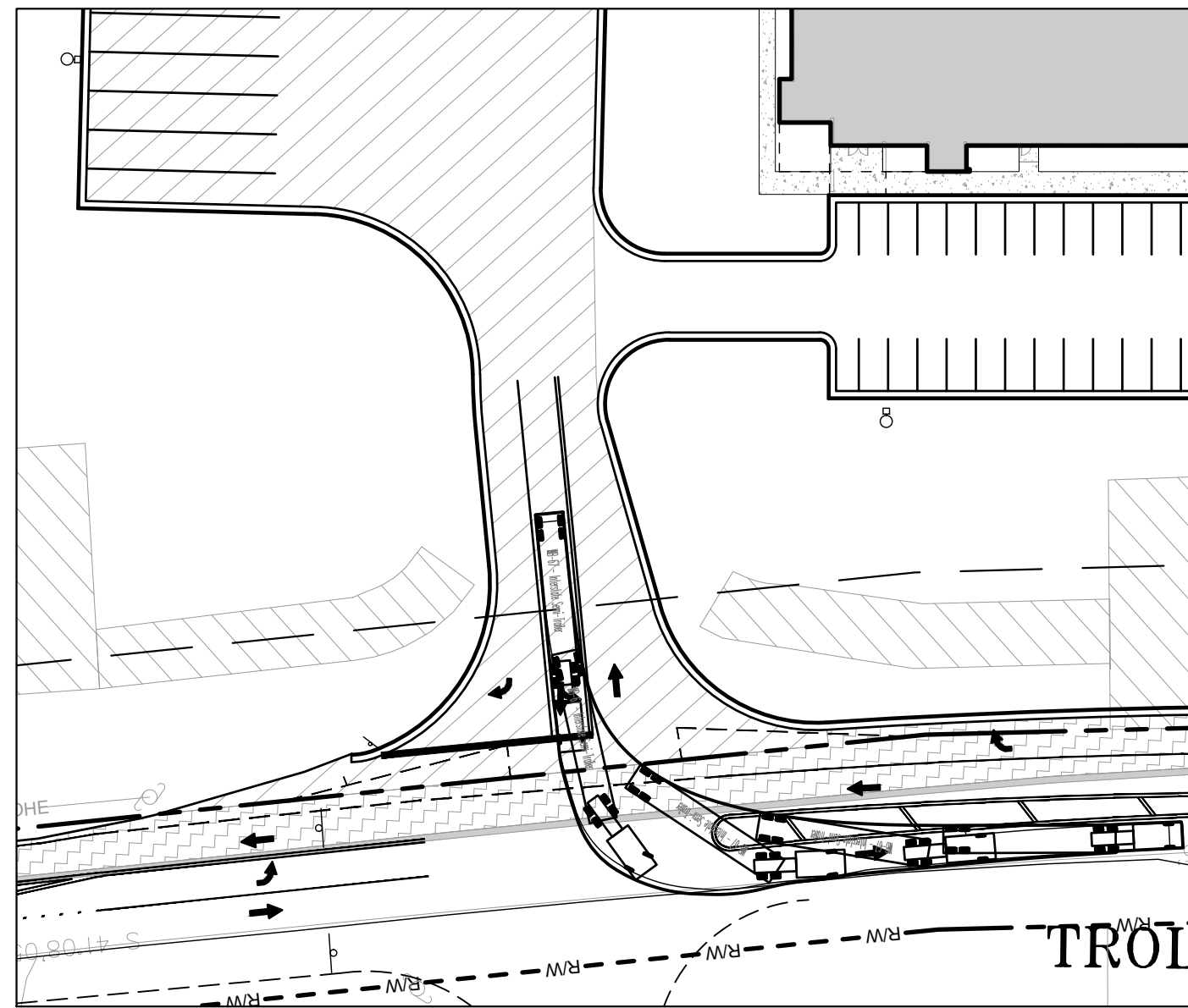
DATE	REVISIONS	ISSUED
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19 OCT 22	PER CITY OF MEBANE TRC COMMENTS	SITE PLAN SUBMITTAL #2
07 NOV 22	PER NCDOT TRC COMMENTS	SITE PLAN SUBMITTAL #3
		FINAL SITE PLAN DOCUMENTS

OWNER INFORMATION
 CROW HOLDINGS INDUSTRIAL
 4214 COLONY ROAD
 SUITE 405
 CHARLOTTE, NC 28211
OWNERS REPRESENTATIVE:
 CHRIS URQUHART
 (704) 258-9147
 FAX (704) 000-0000
 CMAL@crowindustrial.com

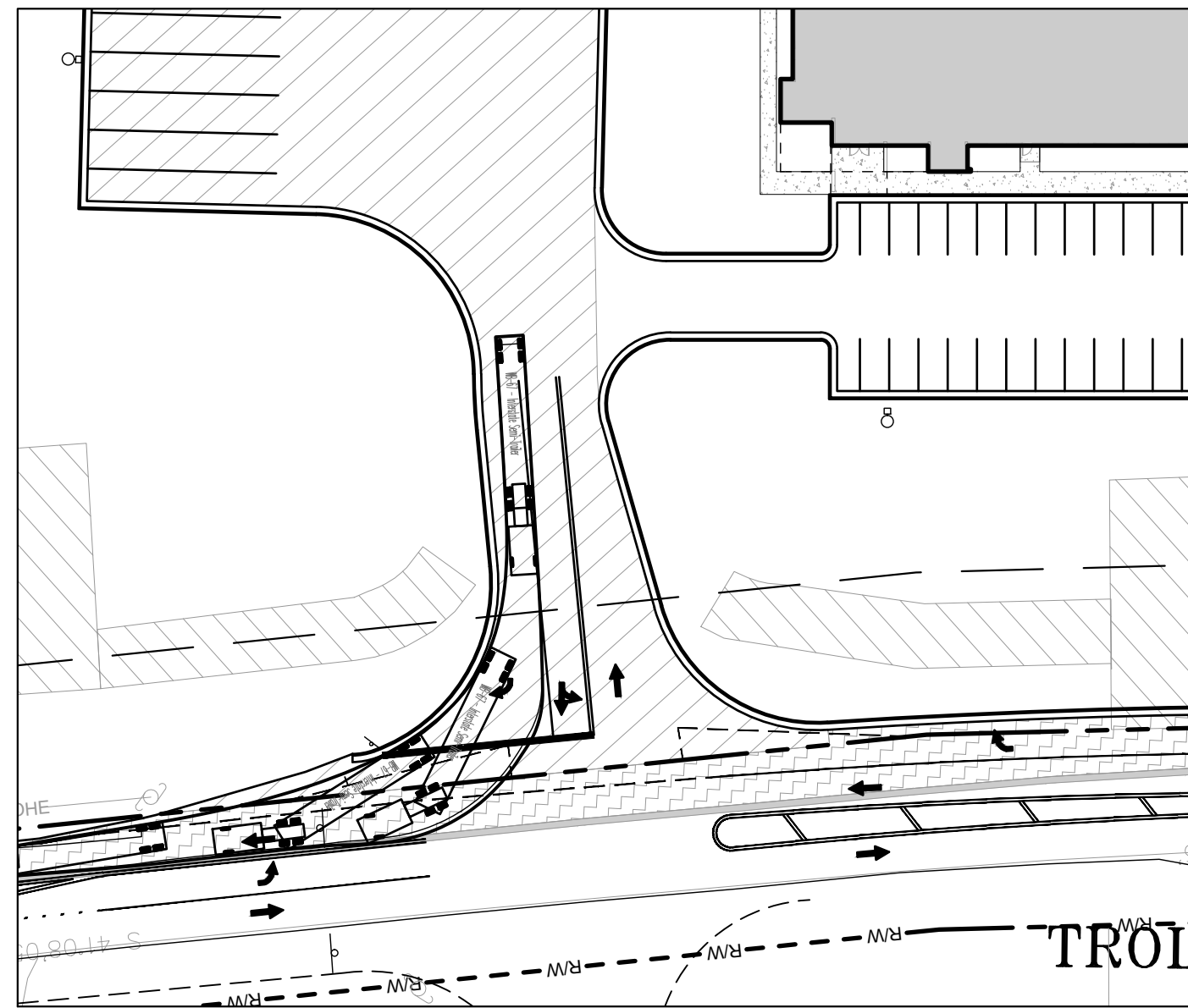
CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
 MEBANE, NC

SITE PLAN DRAWINGS

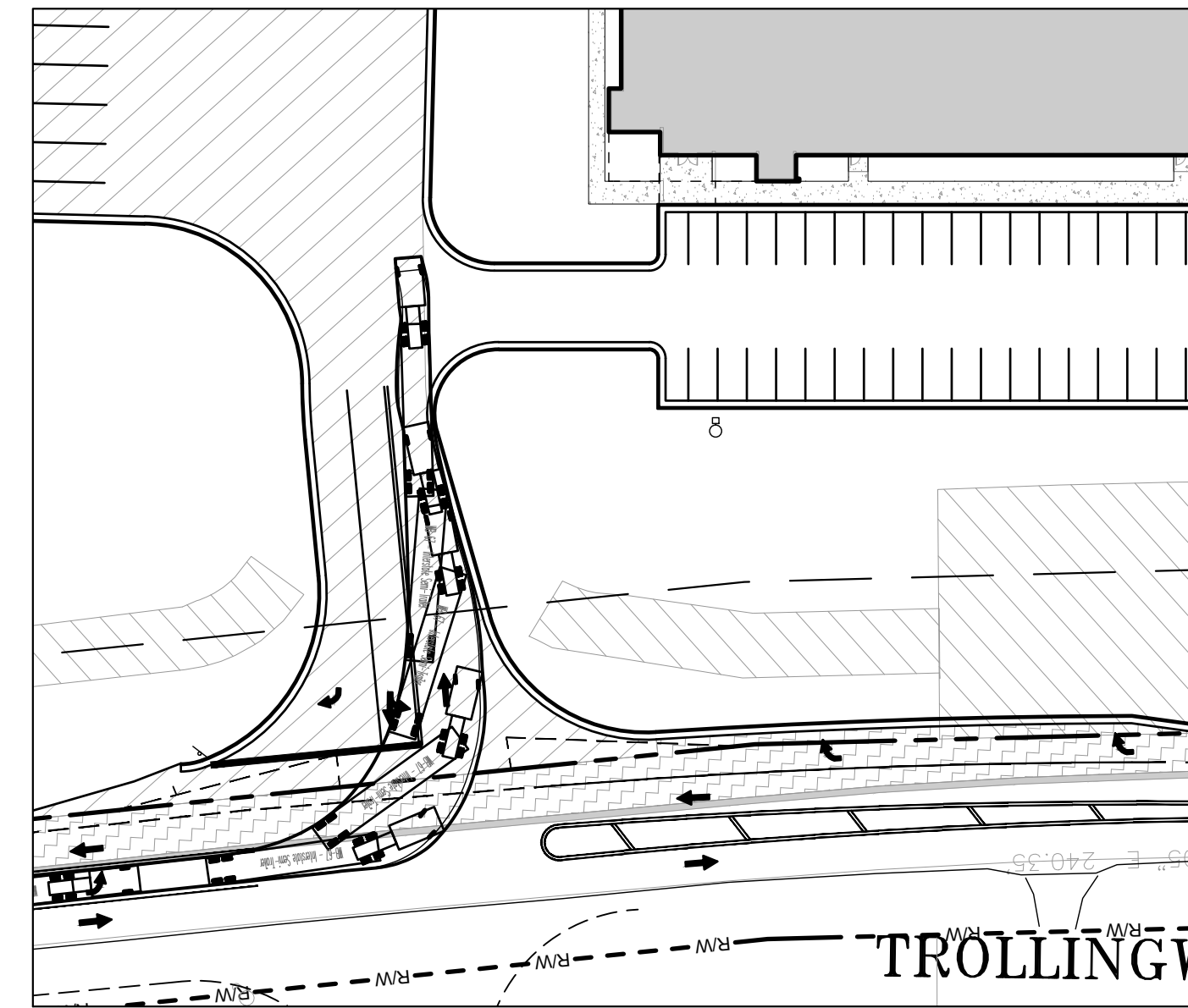
JOB # 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR
SHEET
C1003



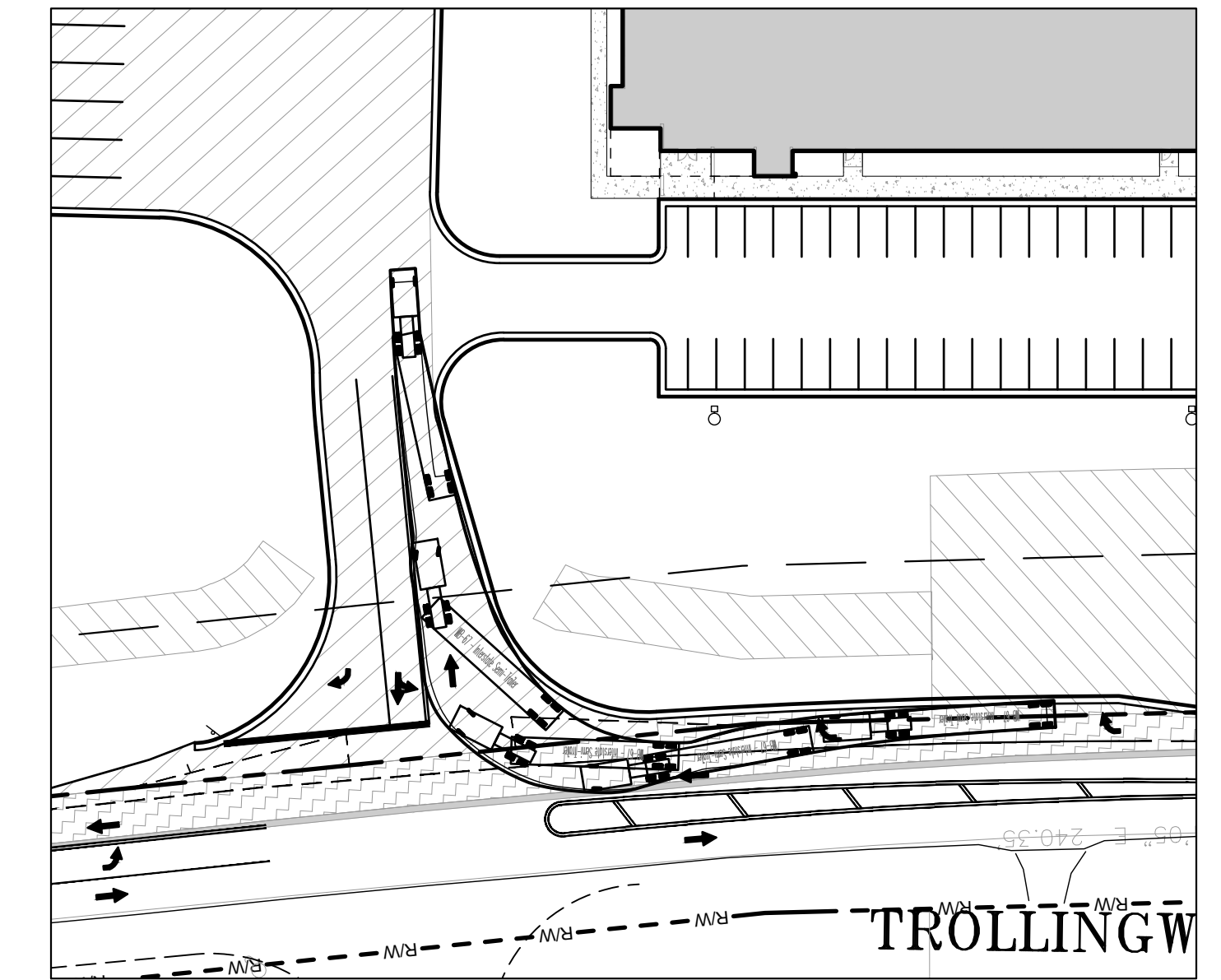
D5 DRIVEWAY #2 TURN TEMPLATE - LEFT OUT
C1004 SCALE: 1" = 50'



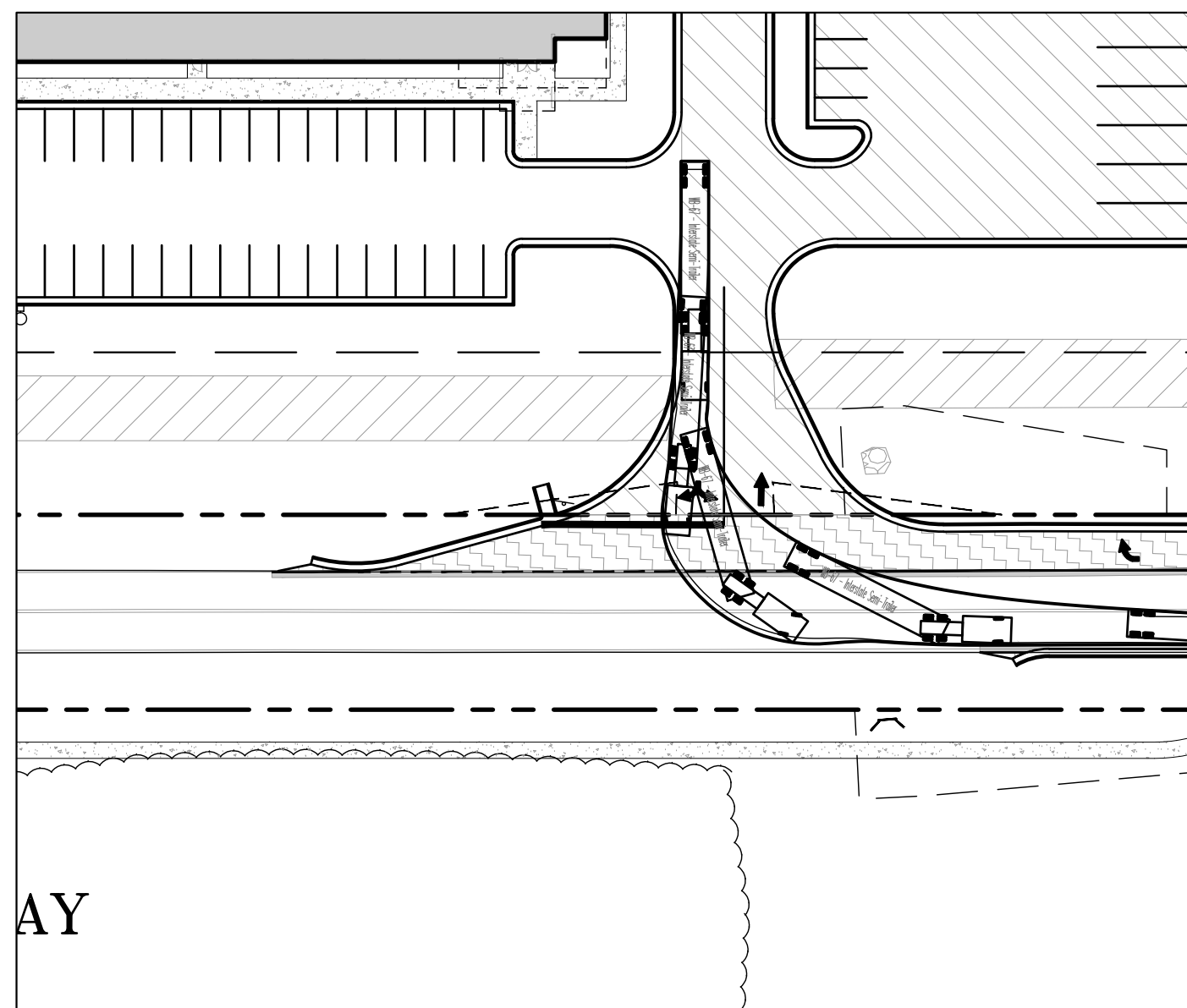
D4 DRIVEWAY #2 TURN TEMPLATE - RIGHT OUT
C1004 SCALE: 1" = 50'



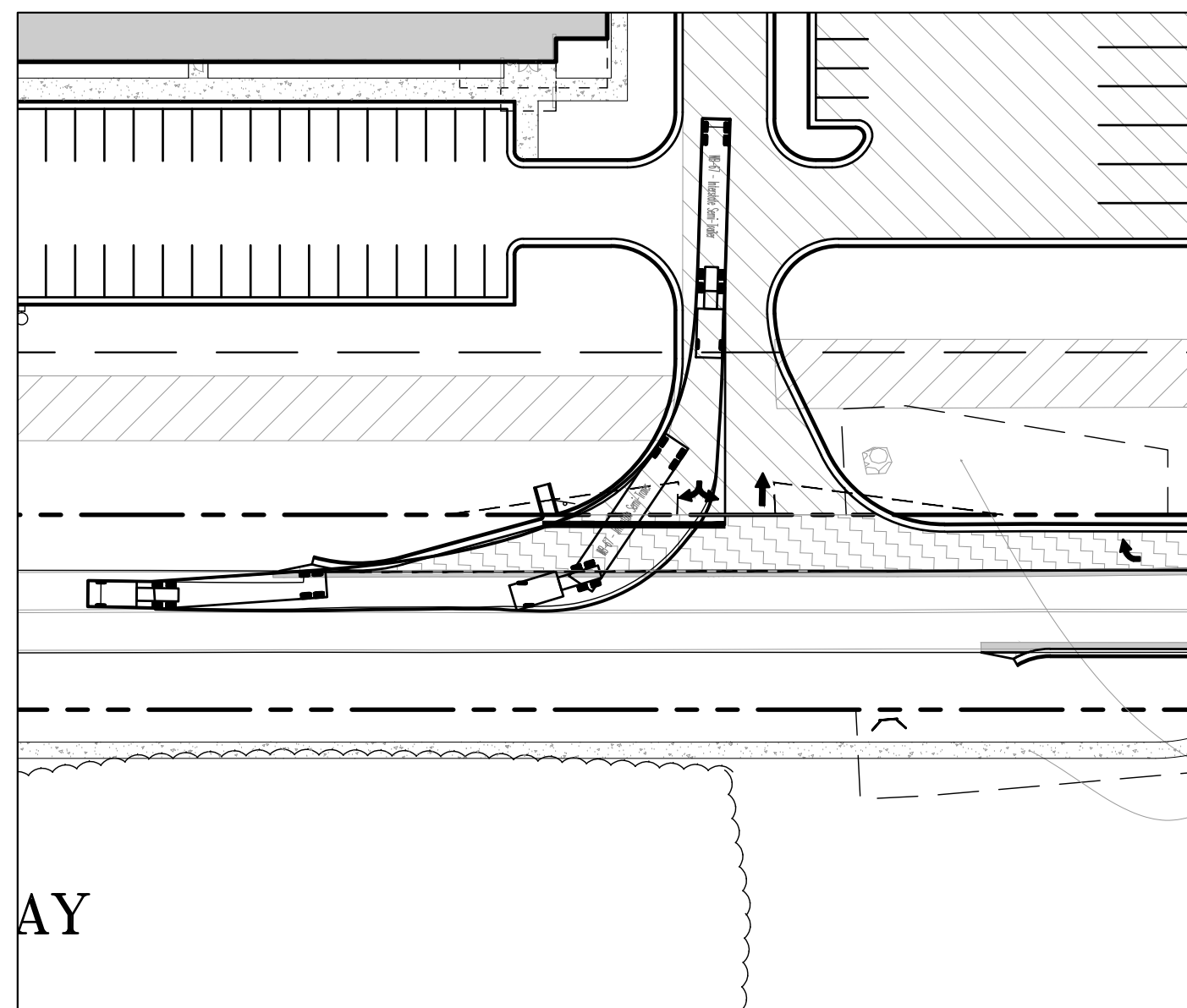
D3 DRIVEWAY #2 TURN TEMPLATE - LEFT IN
C1004 SCALE: 1" = 50'



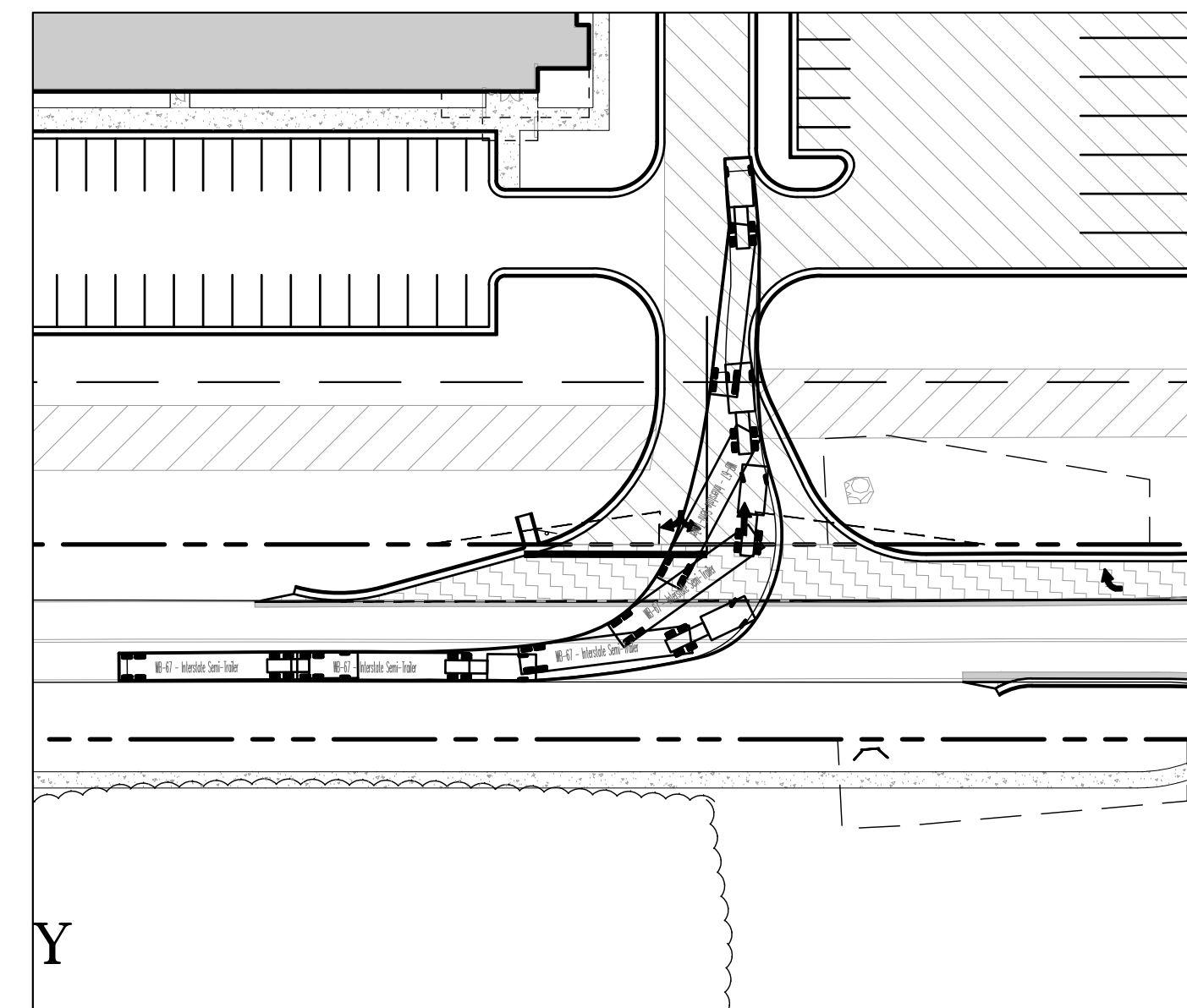
D1 DRIVEWAY #2 TURN TEMPLATE - RIGHT IN
C1004 SCALE: 1" = 50'



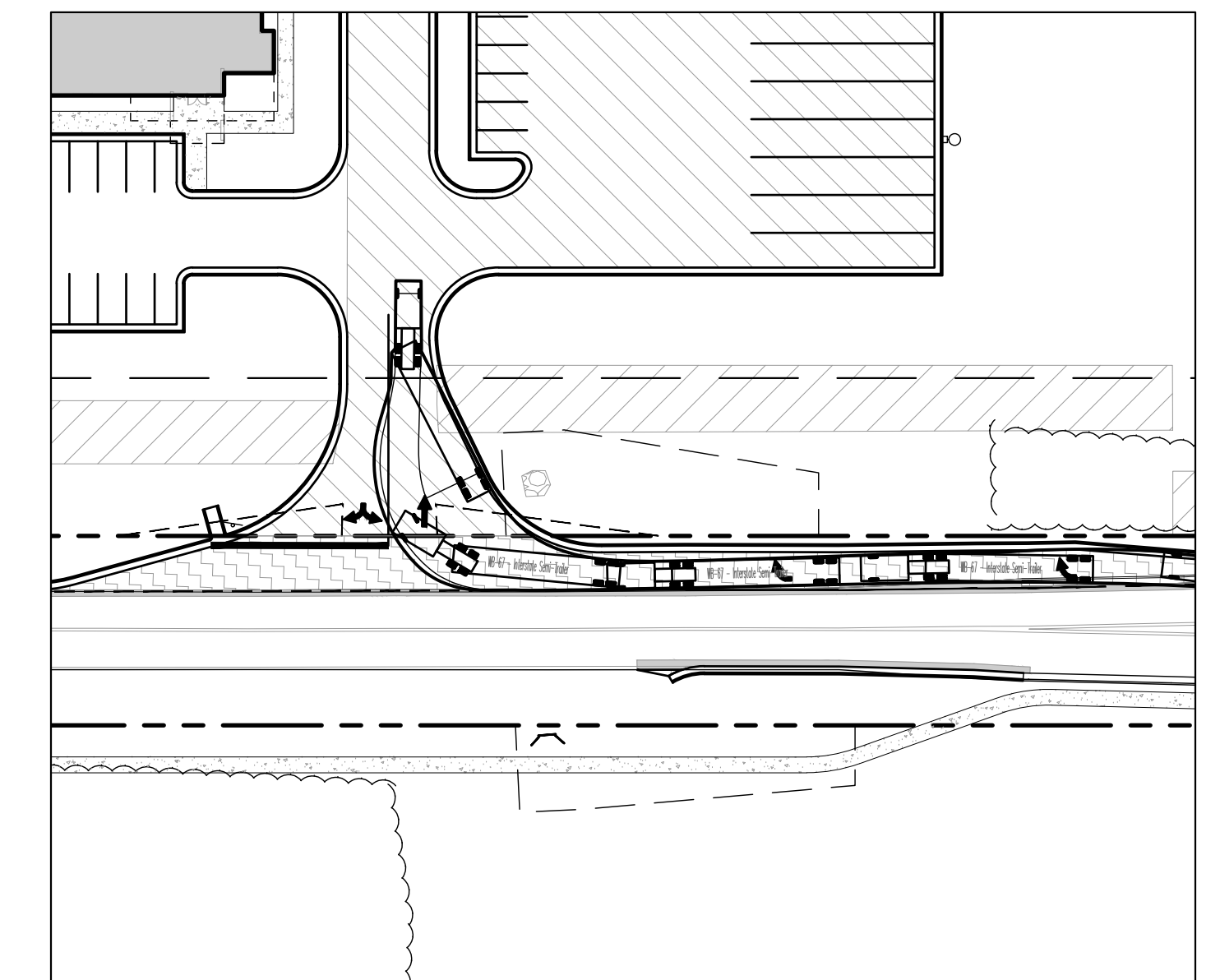
B4 DRIVEWAY #3 TURN TEMPLATE - LEFT OUT
C1004 SCALE: 1" = 50'



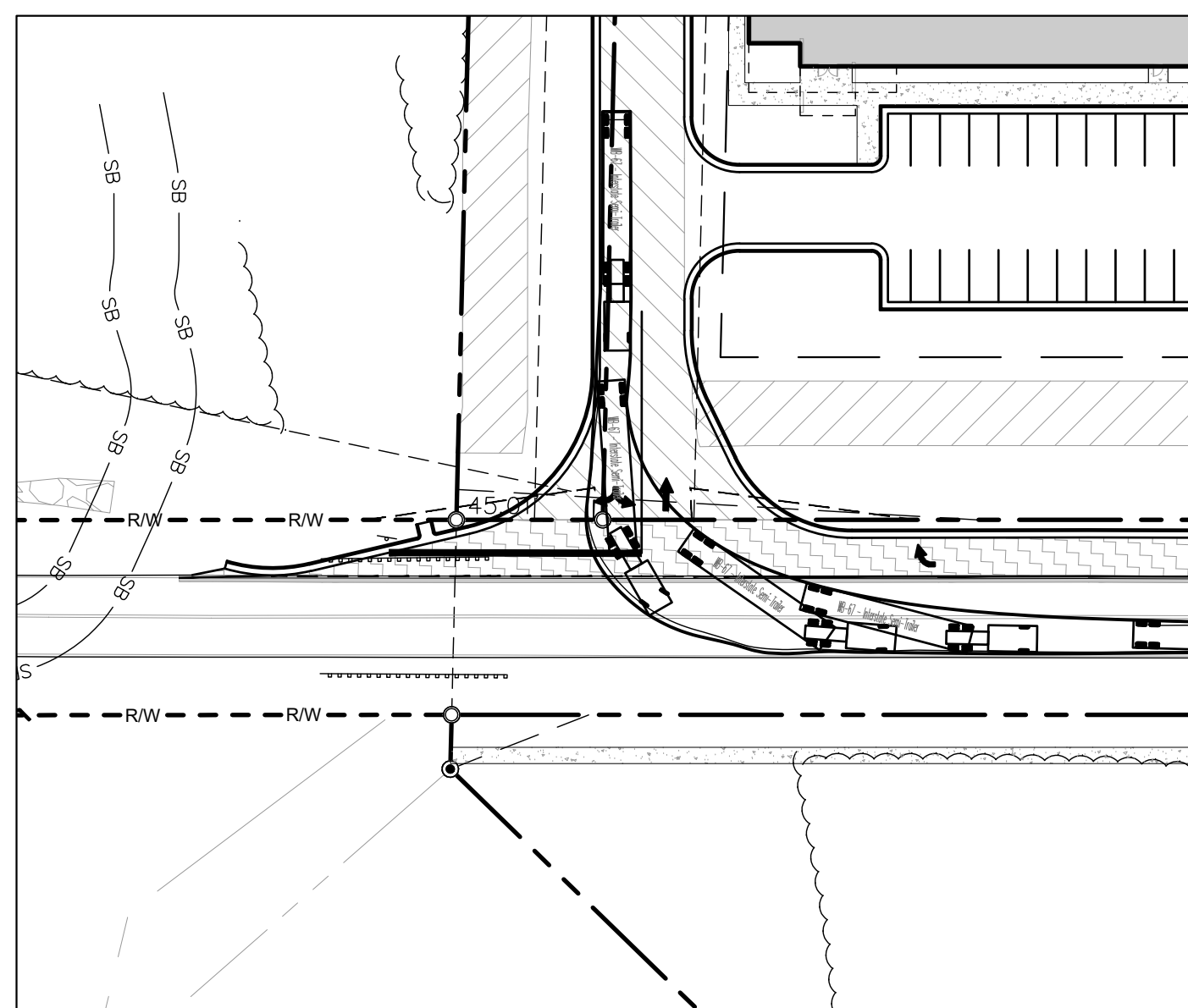
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C1004 SCALE: 1" = 50'



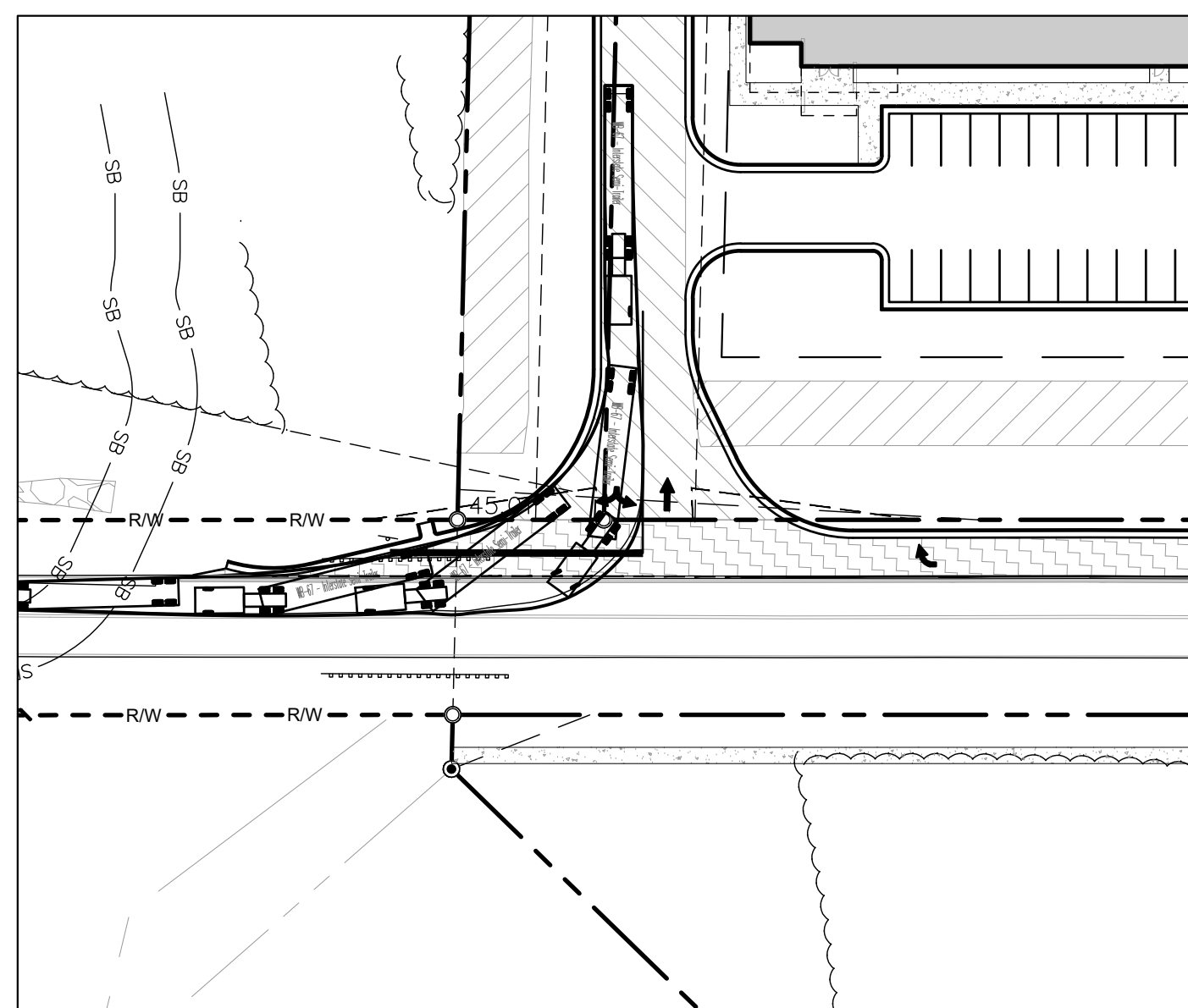
B3 DRIVEWAY #3 TURN TEMPLATE - LEFT IN
C1004 SCALE: 1" = 50'



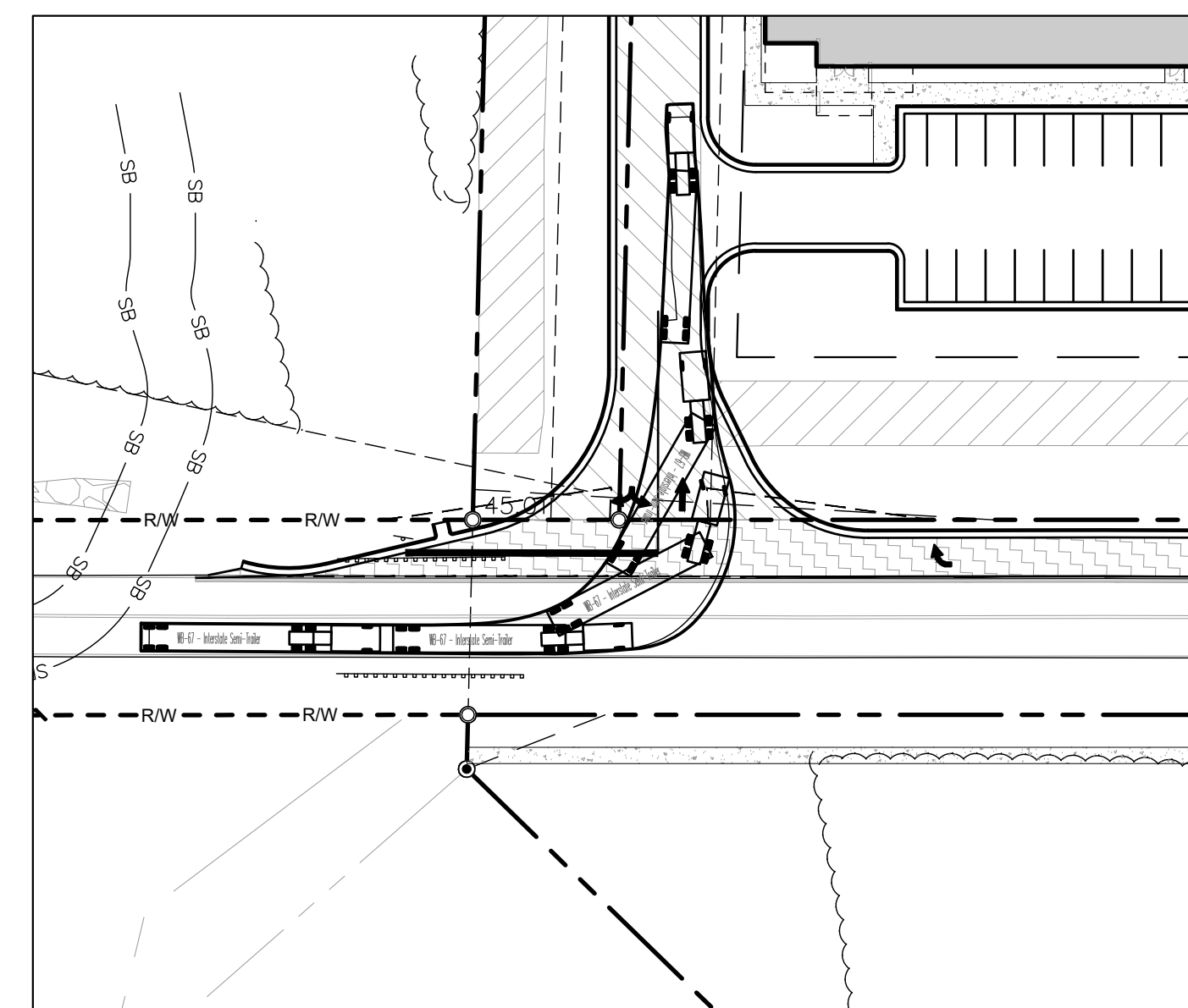
B1 DRIVEWAY #3 TURN TEMPLATE - RIGHT IN
C1004 SCALE: 1" = 50'



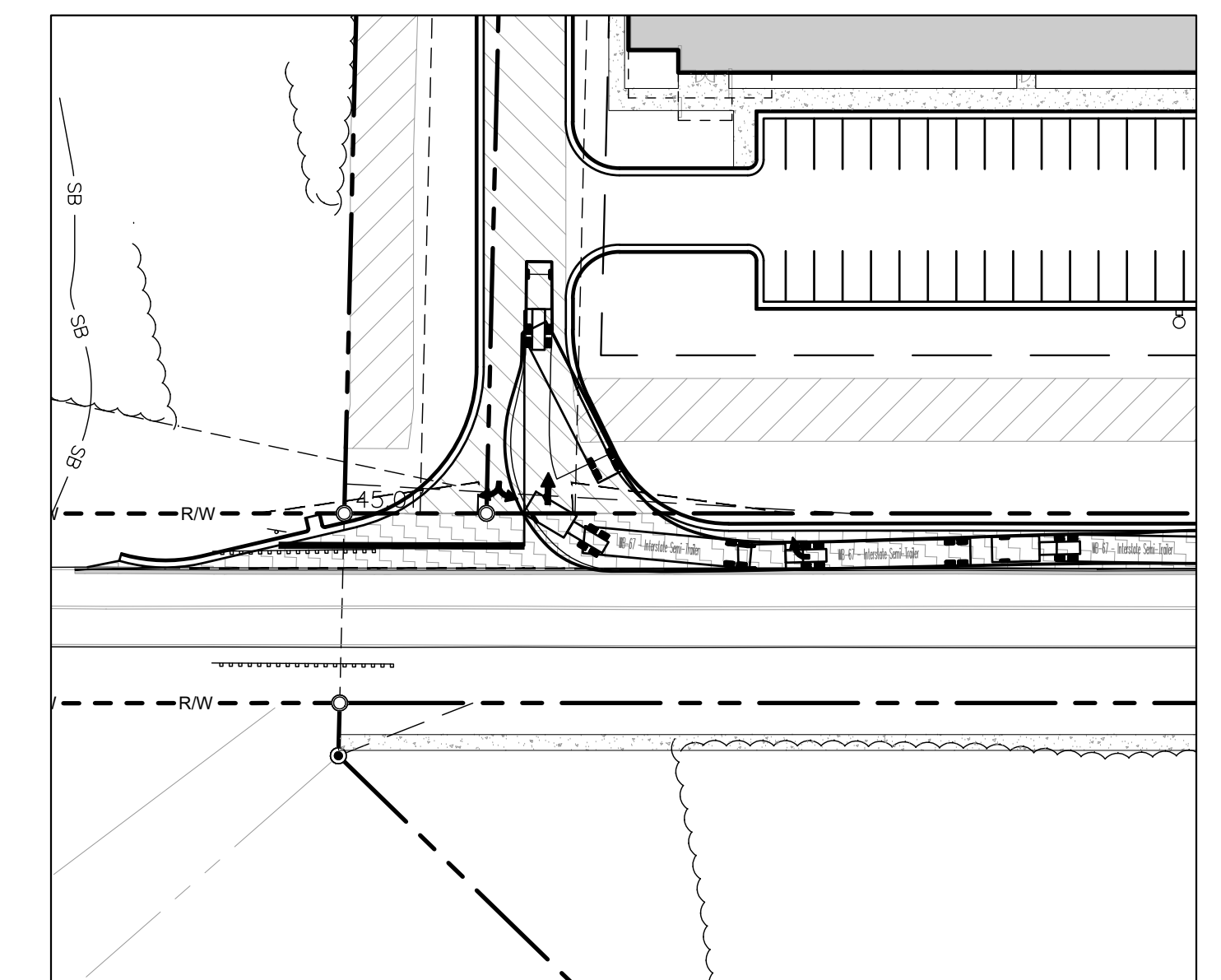
A5 DRIVEWAY #4 TURN TEMPLATE - LEFT OUT
C1004 SCALE: 1" = 50'



A3 DRIVEWAY #4 TURN TEMPLATE - RIGHT OUT
C1004 SCALE: 1" = 50'

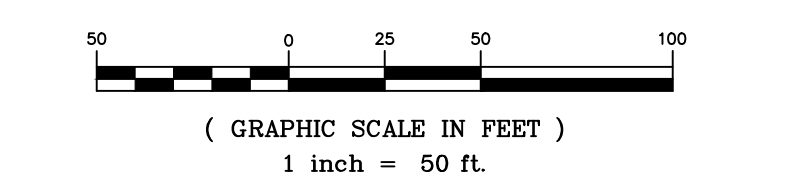


A3 DRIVEWAY #4 TURN TEMPLATE - LEFT IN
C1004 SCALE: 1" = 50'



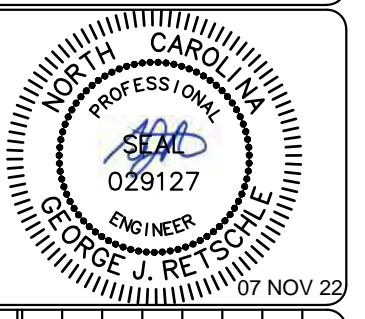
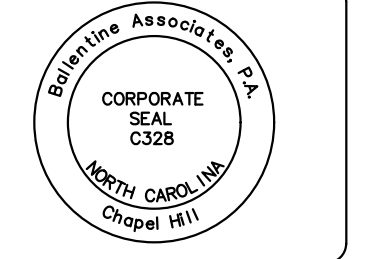
A1 DRIVEWAY #4 TURN TEMPLATE - RIGHT IN
C1004 SCALE: 1" = 50'

TRUCK TURN TEMPLATES



REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION

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DATE	REVISIONS
08 SEP 22	PER CITY OF MEHANE TRC COMMENTS
19 OCT 22	PER CITY OF MEHANE TRC COMMENTS
07 NOV 22	PER NCOT TRC COMMENTS

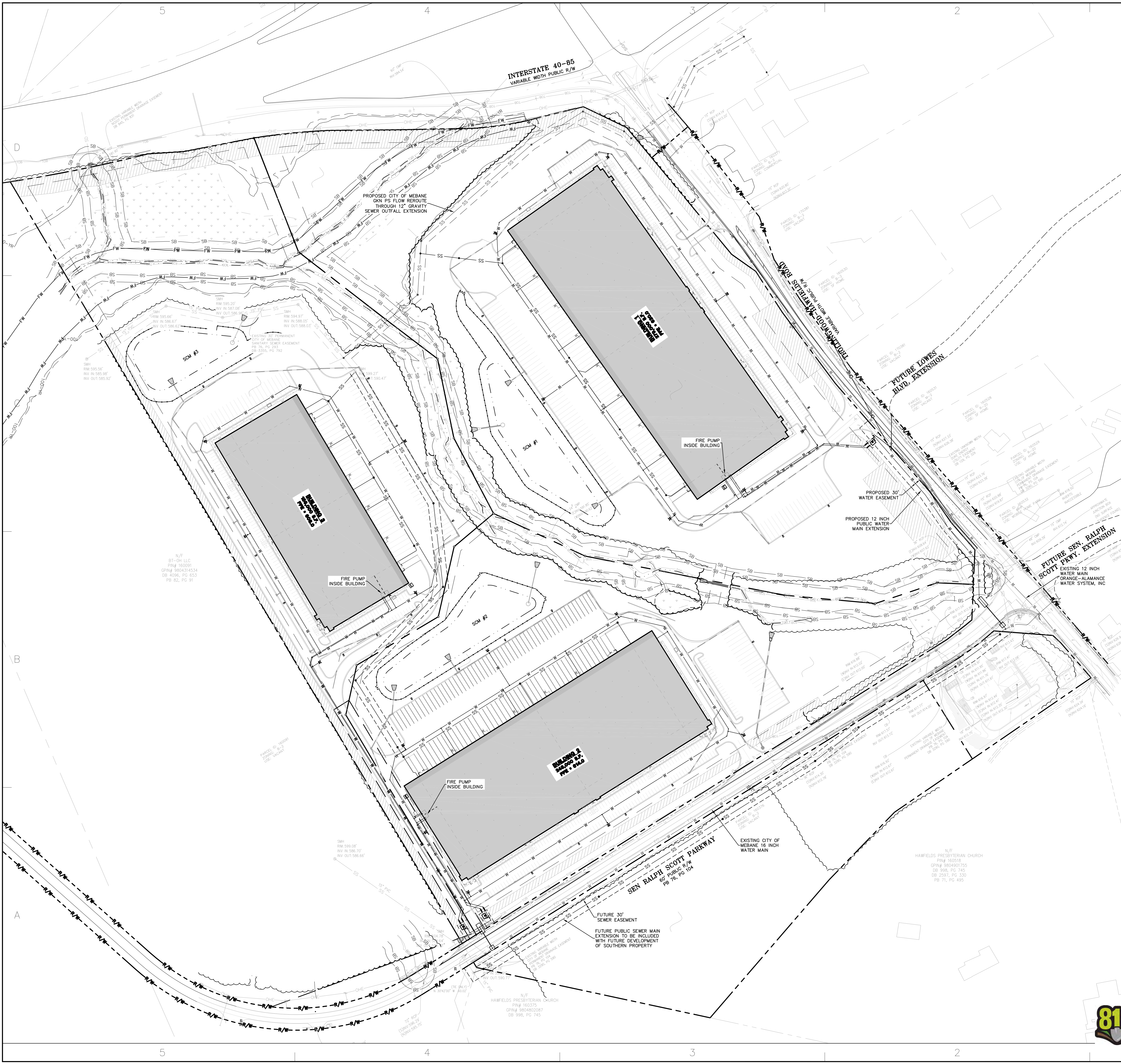
OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
4204 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
CHRIS URQUHART
(704) 258-9147
FAX (000) 000-0000
CM

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEHANE, NC
SITE PLAN DRAWINGS

JOB #:	122007.02
DATE:	12 JUL 2022
SCALE:	AS NOTED
DRAWN BY:	GJR
REVIEWED BY:	GJR

SHEET
C1004



UTILITY PLAN NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MEBANE AND NCSD WATER LINE AND SEWER LINE STANDARD CONSTRUCTION SPECIFICATIONS AND WITH APPLICABLE NC PLUMBING CODES.
- PRIOR TO COMMENCING CONSTRUCTION, ALL PLAN APPROVALS AND WATER AND/OR SEWER PERMITS SHALL BE OBTAINED.
- THE LOCATION OF THE EXISTING UTILITIES SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES (PRIVATE AND PUBLIC) AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION.
- ALL ONSITE PRIVATE WATER AND SEWER TO BE MAINTAINED BY OWNER.
- THE SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AND IRRIGATION CONTRACTOR AND INSTALL ALL REQUIRED CONDUITS.
- FINAL SITE LIGHTING DESIGN AND PLAN SHALL BE PROVIDED PER DUKE ENERGY AND PER CITY OF MEBANE STANDARDS AND SPECIFICATIONS, SPECIFICALLY SECTION 6-6.
- WATER & SEWER:**
 - SITE CONTRACTOR SHALL CONTACT THE MEBANE ENGINEERING AND INSPECTIONS TO COORDINATE INSPECTION(S) OF WATER MAIN AND SEWER SERVICE INSTALLATIONS A MINIMUM OF 48 HOURS PRIOR TO THE INSTALLATION.
 - SITE CONTRACTOR SHALL INSTALL THE WATER SERVICES (MIN. 3 FEET AND MAX. 6 FEET BELOW GRADE) AS SHOWN AND EXTEND TO WITHIN 5' OF THE BUILDING.
 - ALL WATER MAINS SHALL HAVE METALLIC WARNING TAPE INSTALLED IN DITCH OVER MAINS AND TRACER WIRE INSTALLED ALONG TOP OF PIPE.
 - SITE CONTRACTOR SHALL INSTALL THE SANITARY SEWER SERVICE FROM THE MANHOLES, INCLUDING ALL CLEANOUT ASSEMBLIES AND EXTEND TO WITHIN 5' OF THE BUILDING.
 - SITE CONTRACTOR SHALL EXTEND FIRE LINE INTO RISER ROOM, TURN LINE UP WITH 90° BEND AND TERMINATE LINE WITH FLANGE SET 1 FOOT ABOVE FINISHED FLOOR ELEVATION. COORDINATE WITH FIRE PROTECTION AND STRUCTURAL DESIGNS.
 - PRIVATE FIRE MAINS THAT FEED THE SPRINKLER SYSTEM SHALL BE INSTALLED PER NFPA 24. THE LINE SHALL BE FLUSHED PER NFPA 24 AND WITNESSED BY A FIRE INSPECTOR FROM THE MEBANE FIRE DEPARTMENT PRIOR TO COVERING THE LINE.
 - MINIMUM UTILITY VERTICAL SEPARATION DISTANCES: SANITARY SEWER MAINS AND STORM SEWER - 24" SANITARY SEWER MAINS AND WATER - 18" STORM SEWER AND WATER - 18"
 - FINAL CONSTRUCTION DRAWINGS SHALL INCLUDE ALL PUBLIC OR PRIVATE SANITARY SEWER LINES SHOWN IN PROFILE WITH CROSSING CLEARANCE FOR WATER AND STORM SEWER. ALL WATER (PRIVATE AND PUBLIC) SHALL BE SHOWN IN PROFILE WHERE BEING CROSSED BY STORM OR SANITARY SEWER.
- ELECTRICAL:**
 - COORDINATE ELECTRICAL SERVICE DESIGN, LOCATION & CONNECTION WITH DUKE ENERGY.
 - ELECTRICAL CONTRACTOR SHALL INSTALL ELECTRICAL SERVICE AND 20 AMP GFCI RECEPTACLES FOR BACKFLOW PREVENTER HEATED ENCLOSURES. SITE CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR REGARDING THE LOCATION OF THE RECEPTACLES AND SHALL PROVIDE AND INSTALL HEAT TAPE.
- GAS:**
 - GAS SERVICE TO BE DESIGNED, SIZED & INSTALLED BY PIEDMONT NATURAL GAS COMPANY.

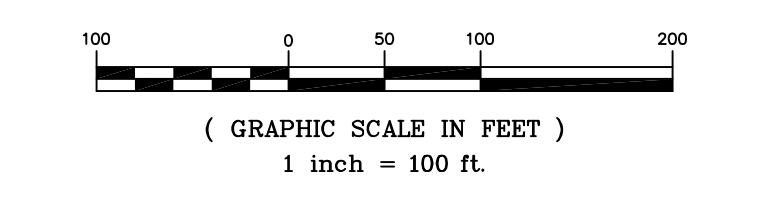
BUILDING SEWER USE (2T RULES)

BUILDING	CATEGORY	DAILY FLOW	LOADING BAYS	TOTAL (GAL/DAY)
BUILDING 1	WAREHOUSE	100 GAL / BAY	48	4,800
BUILDING 2	WAREHOUSE	100 GAL / BAY	36	3,600
BUILDING 3	WAREHOUSE	100 GAL / BAY	28	2,800

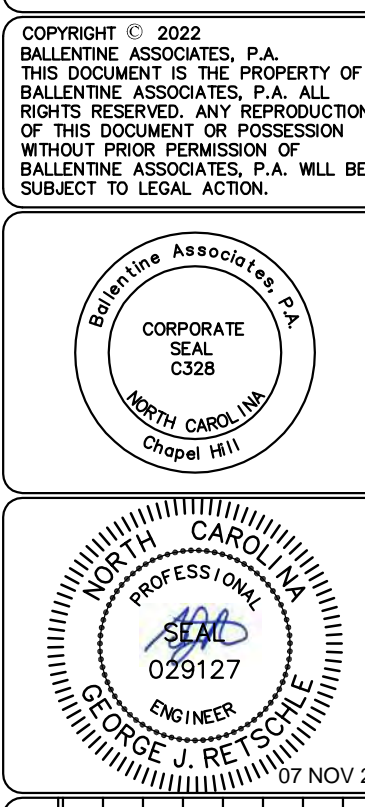
DRAWING LEGEND

SYMBOL/ABBREVIATION	DESCRIPTION
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJOINER PROPERTY LINE
---	EASEMENT LINE
X	FENCE LINE
SD	STORM DRAIN LINE
W	WATER LINE
SS	SANITARY SEWER LINE
UE	UNDERGROUND ELECTRIC LINE
OHE	OVERHEAD ELECTRIC LINE
GL	GAS LINE
FO	FIBER OPTIC LINE
---	TREE LINE
---	EXISTING IRON PIPE
+	MAIL BOX
+	BOLLARD
+	BORE HOLE
+	CATCH BASIN
+	DROP INLET
+	JUNCTION BOX
+	WATER METER
+	WATER VALVE
+	FIRE HYDRANT
+	FIRE DEPARTMENT CONNECTION
+	BACKFLOW PREVENTER
+	BLOW OFF VALVE
+	45° - BEND PIPE
+	90° - BEND PIPE
+	TEE - BEND PIPE
+	SANITARY SEWER MANHOLE
+	SANITARY SEWER CLEANOUT
+	POWER POLE
+	LIGHT POLE
+	ELECTRIC BOX
+	ELECTRIC TRANSFORMER
+	HVAC UNIT
+	GAS METER
+	TELEPHONE PEDESTAL
+	TELEPHONE VAULT
+	TELEPHONE MANHOLE
+	FIBER OPTIC MARKER

UTILITY PLAN OVERVIEW



REVIEW DRAWING NOT ISSUED FOR CONSTRUCTION



DATE	REVISIONS
08 SEP 22	PER CITY OF MEBANE TRC COMMENTS
19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

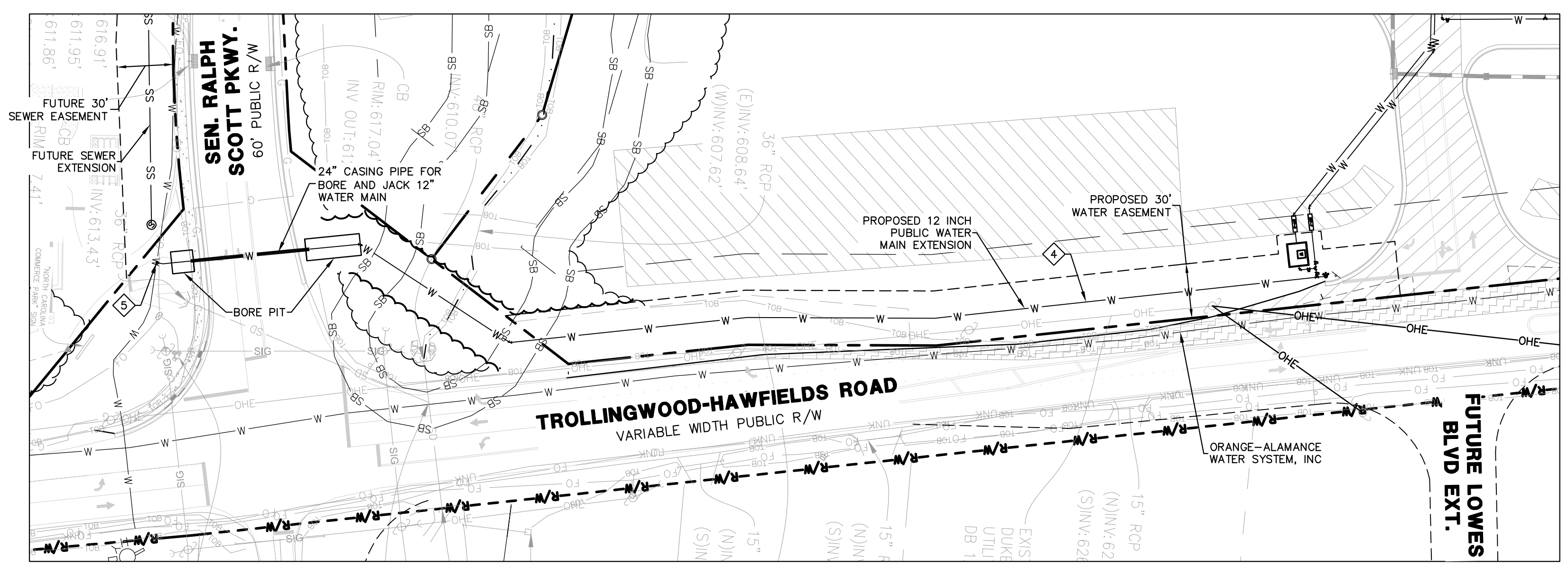
OWNER INFORMATION
 CROW HOLDINGS INDUSTRIAL
 4204 COLONY ROAD
 SUITE 402
 CHARLOTTE, NC 28211
 OWNERS REPRESENTATIVE:
 CHRIS UROUHART
 (704) 258-9147
 FAX (704) 000-0000
 EMAIL: crows@crowindustrial.com

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

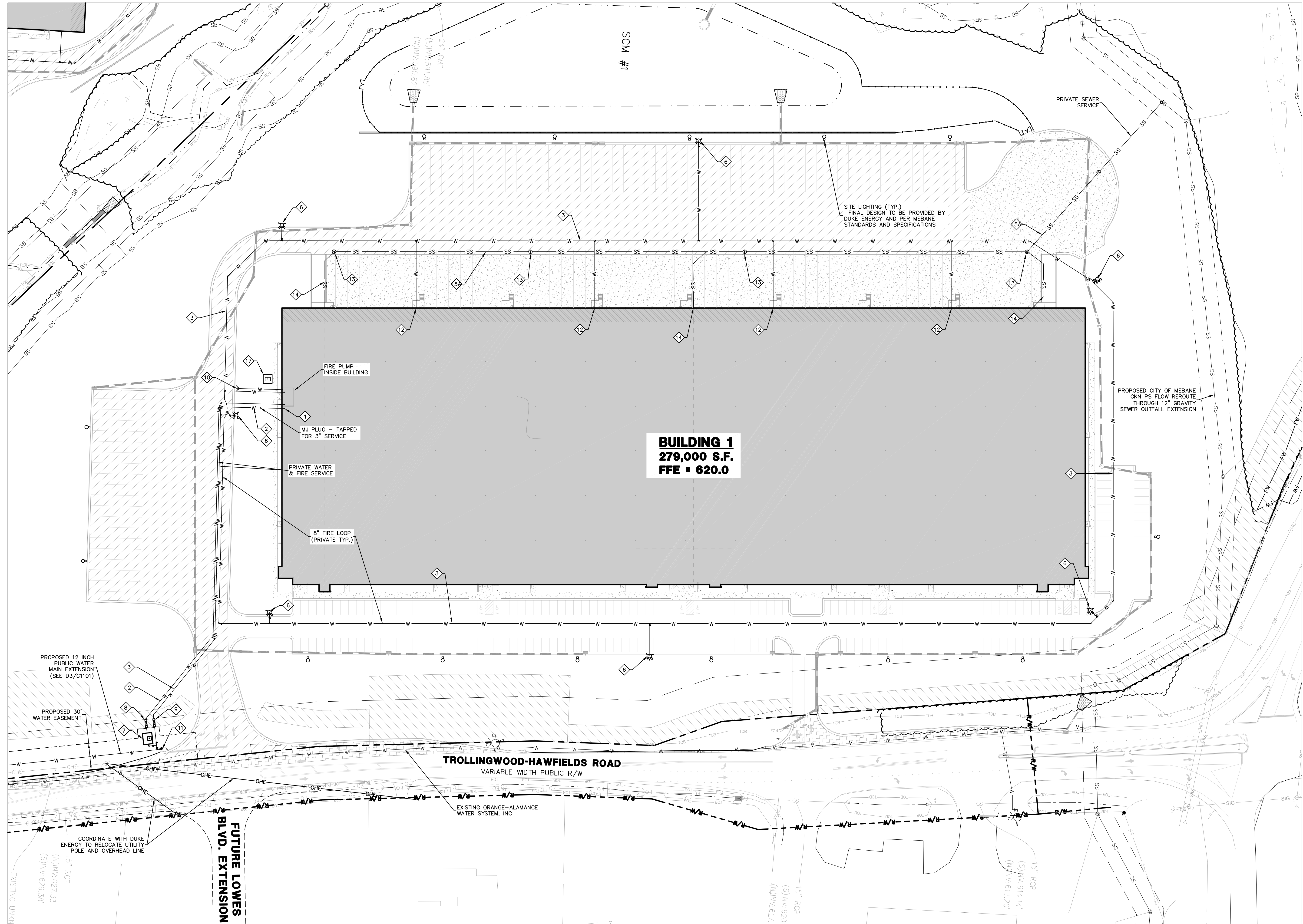
CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
 MEBANE, NC
SITE PLAN DRAWINGS

JOB # 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR
SHEET
C1100





D3 WATER MAIN EXTENSION ENLARGEMENT
C1101 SCALE 1"=50'



BUILDING 1
279,000 S.F.
FFE = 620.0

UTILITY PLAN NOTES

1. SEE SHEET C1100 FOR UTILITY NOTES.

PLAN KEY NOTES

- 1 3" DUCTILE IRON DOMESTIC WATER LINE
- 2 6" DUCTILE IRON WATER MAIN
- 3 8" DUCTILE IRON WATER MAIN
- 4 12" DUCTILE IRON WATER MAIN
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- 6 FIRE HYDRANT (TYP.)
- 7 3" DOMESTIC WATER METER
- 8 ABOVE GROUND DOMESTIC BACK FLOW PREVENTER (RPZ)
- 9 ABOVE GROUND FIRE BACK FLOW PREVENTER (RPZ WITH DETECTOR CHECK ASSEMBLY)
- 10 FIRE DEPARTMENT CONNECTION
- 11 BLOW-OFF ASSEMBLY
- 12 6" FIRE LOOP SERVICE LINE
- 13 PRECAST CONCRETE SANITARY SEWER MANHOLE
- 14 6" DI SEWER SERVICE AT 1.0% MIN.
- 15 8" DUCTILE IRON SEWER MAIN (TYP.)
- 16 8" DUCTILE IRON PRIVATE SEWER SERVICE (TYP.)
- 17 SANITARY SEWER SERVICE CONNECTION & CLEANOUT ASSEMBLY
- 18 ELECTRICAL TRANSFORMER

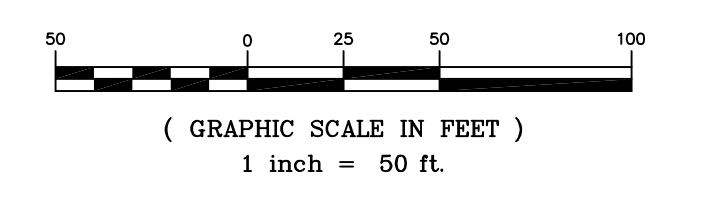
DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	STORM DRAIN LINE
---	---	WATER LINE
---	---	SANITARY SEWER LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	GAS LINE
---	---	TELEPHONE LINE
---	---	FIBER OPTIC LINE
---	---	TREE LINE
---	---	EXISTING IRON PIPE
---	---	SIGN
---	---	MAIL BOX
---	---	DOLLARD
---	---	BORE HOLE
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	FIRE DEPARTMENT CONNECTION
---	---	BACKFLOW PREVENTER
---	---	BLOW OFF VALVE
---	---	45° - BEND PIPE
---	---	90° - BEND PIPE
---	---	TEE - BEND PIPE
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	POWER POLE
---	---	LIGHT POLE
---	---	ELECTRIC BOX
---	---	ELECTRIC TRANSFORMER
---	---	HVAC UNIT
---	---	GAS METER
---	---	TELEPHONE PEDESTAL
---	---	TELEPHONE VAULT
---	---	TELEPHONE MANHOLE
---	---	FIBER OPTIC MARKER

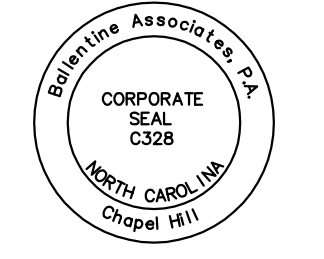
BUILDING 1 UTILITY PLAN

DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION



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19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

DATE	ISSUED
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08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

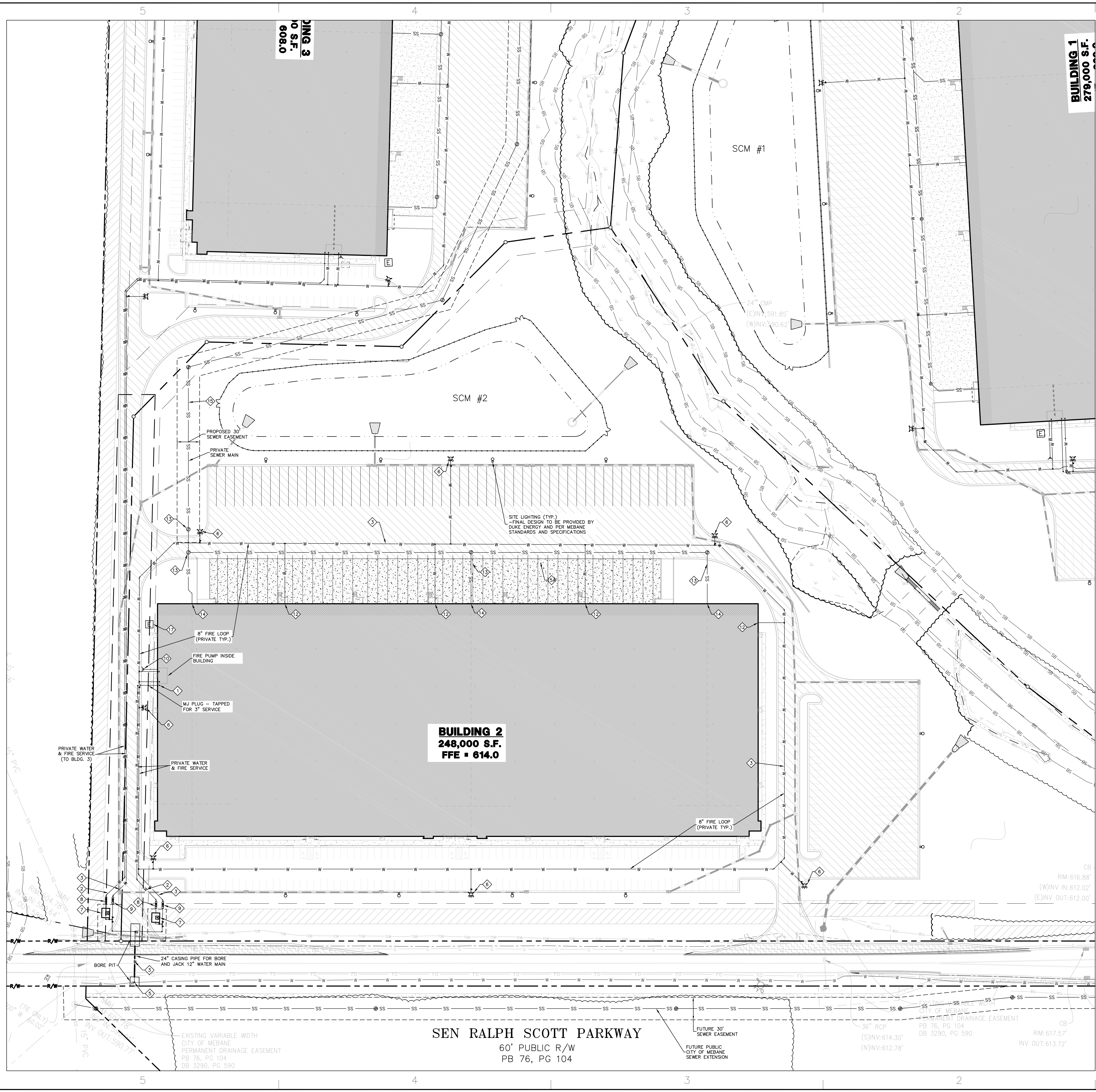
OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
4264 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
CHRIS URQUHART
7704) 258-9147
FAX (704) 000-0000
EMAIL: chris@crowindustrial.com

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19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBANE, NC
SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

SHEET
C1101



UTILITY PLAN NOTES

1. SEE SHEET C1100 FOR UTILITY NOTES.

PLAN KEY NOTES

- 1 3" DUCTILE IRON DOMESTIC WATER LINE
- 2 6" DUCTILE IRON WATER MAIN
- 3 8" DUCTILE IRON WATER MAIN
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- 14 6" DI SEWER SERVICE AT 1.0% MIN.
- 15 8" DUCTILE IRON SEWER MAIN (TYP.)
- 16 8" DUCTILE IRON PRIVATE SEWER SERVICE (TYP.)
- 17 SANITARY SEWER SERVICE CONNECTION & CLEANOUT ASSEMBLY
- 18 ELECTRICAL TRANSFORMER

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
X	X	FENCE LINE
SD-SD	SD-SD	STORM DRAIN LINE
W	W	WATER LINE
SS	SS	SANITARY SEWER LINE
UE	UE	UNDERGROUND ELECTRIC LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
---	---	GAS LINE
T	T	TELEPHONE LINE
FO	FO	FIBER OPTIC LINE
---	---	TREE LINE
---	---	EXISTING IRON PIPE
---	---	SIGN
---	---	MAIL BOX
---	---	BOLLARD
---	---	BORE HOLE
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	FIRE DEPARTMENT CONNECTION
---	---	BACKFLOW PREVENTER
---	---	BLOW OFF VALVE
---	---	45° BEND PIPE
---	---	90° BEND PIPE
---	---	TEE - BEND PIPE
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	POWER POLE
---	---	LIGHT POLE
---	---	ELECTRIC BOX
---	---	ELECTRIC TRANSFORMER
---	---	HVAC UNIT
---	---	GAS METER
---	---	TELEPHONE PEDESTAL
---	---	TELEPHONE VAULT
---	---	TELEPHONE MANHOLE
---	---	FIBER OPTIC MARKER

BUILDING 2 UTILITY PLAN

DATE: 12 JUL 2022
 SCALE: AS NOTED
 DRAWN BY: GJR
 REVIEWED BY: GJR

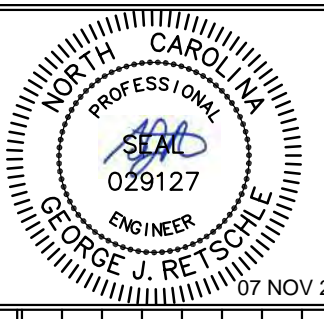
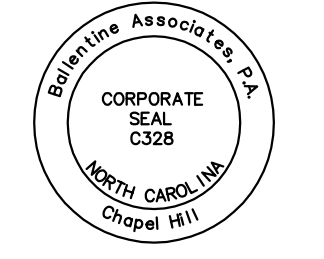
1 inch = 50 ft.
 (GRAPHIC SCALE IN FEET)

REVISIONS

DATE	DESCRIPTION
08 SEP 22	PER CITY OF MEHANE TRC COMMENTS
19 OCT 22	PER CITY OF MEHANE TRC COMMENTS
07 NOV 22	PER NODOT TRC COMMENTS



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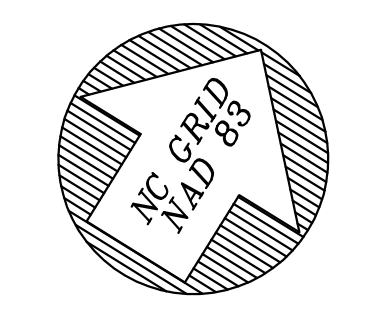
OWNER INFORMATION
 CROW HOLDINGS INDUSTRIAL
 4214 COLONY ROAD
 SUITE 405
 CHARLOTTE, NC 28211
 OWNERS REPRESENTATIVE:
 CHRIS URQUHART
 7704 258-9147
 FAX (000) 000-0000
 EMAIL: chris@crowindustrial.com

DATE	ISSUED
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19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
 MEHANE, NC
SITE PLAN DRAWINGS

JOB #: 122007.02
 DATE: 12 JUL 2022
 SCALE: AS NOTED
 DRAWN BY: GJR
 REVIEWED BY: GJR

SHEET
C1102



SEN RALPH SCOTT PARKWAY
 60' PUBLIC R/W
 PB 76, PG 104

EXISTING VARIABLE WIDTH
 CITY OF MEHANE
 PERMANENT DRAINAGE EASEMENT
 PB 76, PG 104
 DB 3290, PG 590

FUTURE 30'
 SEWER EASEMENT
 CITY OF MEHANE
 FUTURE PUBLIC
 SEWER EXTENSION

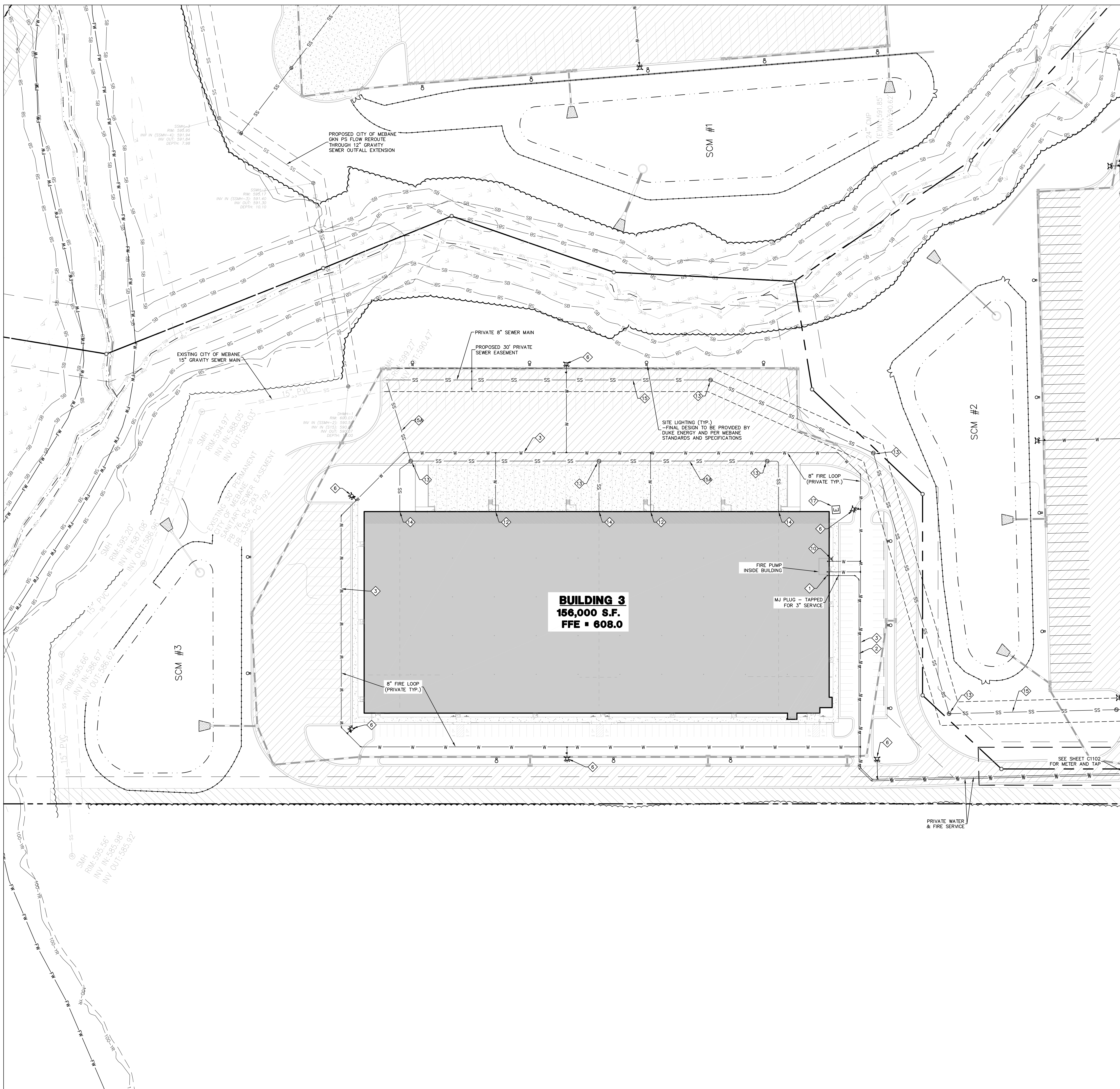
36" RCP
 (S)INV: 614.30'
 (N)INV: 612.78'

EXISTING 36" RCP
 (S)INV: 614.30'
 (N)INV: 612.78'

CB
 RIM: 616.88'
 (W)INV IN: 612.02'
 (E)INV OUT: 612.00'

CB
 RIM: 617.57'
 INV OUT: 613.72'

L:\Engineering\Projects\122007.02 Crow - Mebane\1_Dwg\3A_Mech\11772022_115015_AIK_Balaban.dwg



UTILITY PLAN NOTES

1. SEE SHEET C1100 FOR UTILITY NOTES.

PLAN KEY NOTES

- 1. 3" DUCTILE IRON DOMESTIC WATER LINE
- 2. 6" DUCTILE IRON WATER MAIN
- 3. 8" DUCTILE IRON WATER MAIN
- 4. 12" DUCTILE IRON WATER MAIN
- 5. TAPPING SLEEVE AND VALVE ASSEMBLY
- 6. FIRE HYDRANT (TYP.)
- 7. 3" DOMESTIC WATER METER
- 8. ABOVE GROUND DOMESTIC BACK FLOW PREVENTER (RPZ)
- 9. ABOVE GROUND FIRE BACK FLOW PREVENTER (RPZ WITH DETECTOR CHECK ASSEMBLY)
- 10. FIRE DEPARTMENT CONNECTION
- 11. BLOW-OFF ASSEMBLY
- 12. 6" FIRE LOOP SERVICE LINE
- 13. PRECAST CONCRETE SANITARY SEWER MANHOLE
- 14. 6" DI SEWER SERVICE AT 1.0% MIN.
- 15. 8" DUCTILE IRON SEWER MAIN (TYP.)
- 16. 8" DUCTILE IRON PRIVATE SEWER SERVICE (TYP.)
- 17. SANITARY SEWER SERVICE CONNECTION & CLEANOUT ASSEMBLY
- 18. ELECTRICAL TRANSFORMER

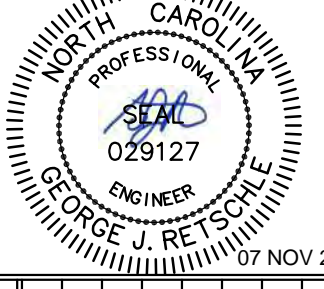
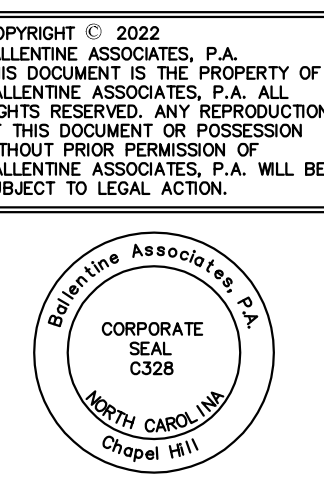
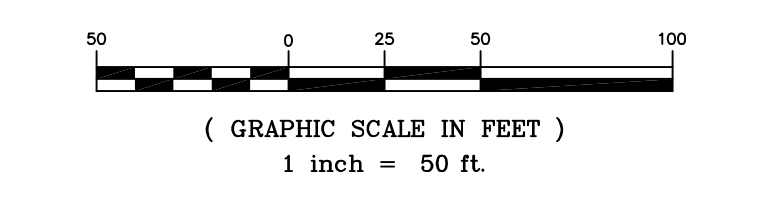
DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
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W	W	WATER LINE
SS	SS	SANITARY SEWER LINE
UE	UE	UNDERGROUND ELECTRIC LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	GAS LINE
T	T	TELEPHONE LINE
FO	FO	FIBER OPTIC LINE
---	---	TREE LINE
---	---	EXISTING IRON PIPE
---	---	SIGN
---	---	MAIL BOX
---	---	BOLLARD
---	---	BORE HOLE
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	FIRE DEPARTMENT CONNECTION
---	---	BACKFLOW PREVENTER
---	---	BLOW OFF VALVE
---	---	45' - BEND PIPE
---	---	90' - BEND PIPE
---	---	TEE - BEND PIPE
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	POWER POLE
---	---	LIGHT POLE
---	---	ELECTRIC BOX
---	---	ELECTRIC TRANSFORMER
---	---	HVAC UNIT
---	---	GAS METER
---	---	TELEPHONE PEDESTAL
---	---	TELEPHONE VAULT
---	---	TELEPHONE MANHOLE
---	---	FIBER OPTIC MARKER

BUILDING 3 UTILITY PLAN

DATE: 12 JUL 2022
 SCALE: AS NOTED
 DRAWN BY: GJR
 REVIEWED BY: GJR

**REVIEW DRAWING
 NOT ISSUED FOR CONSTRUCTION**



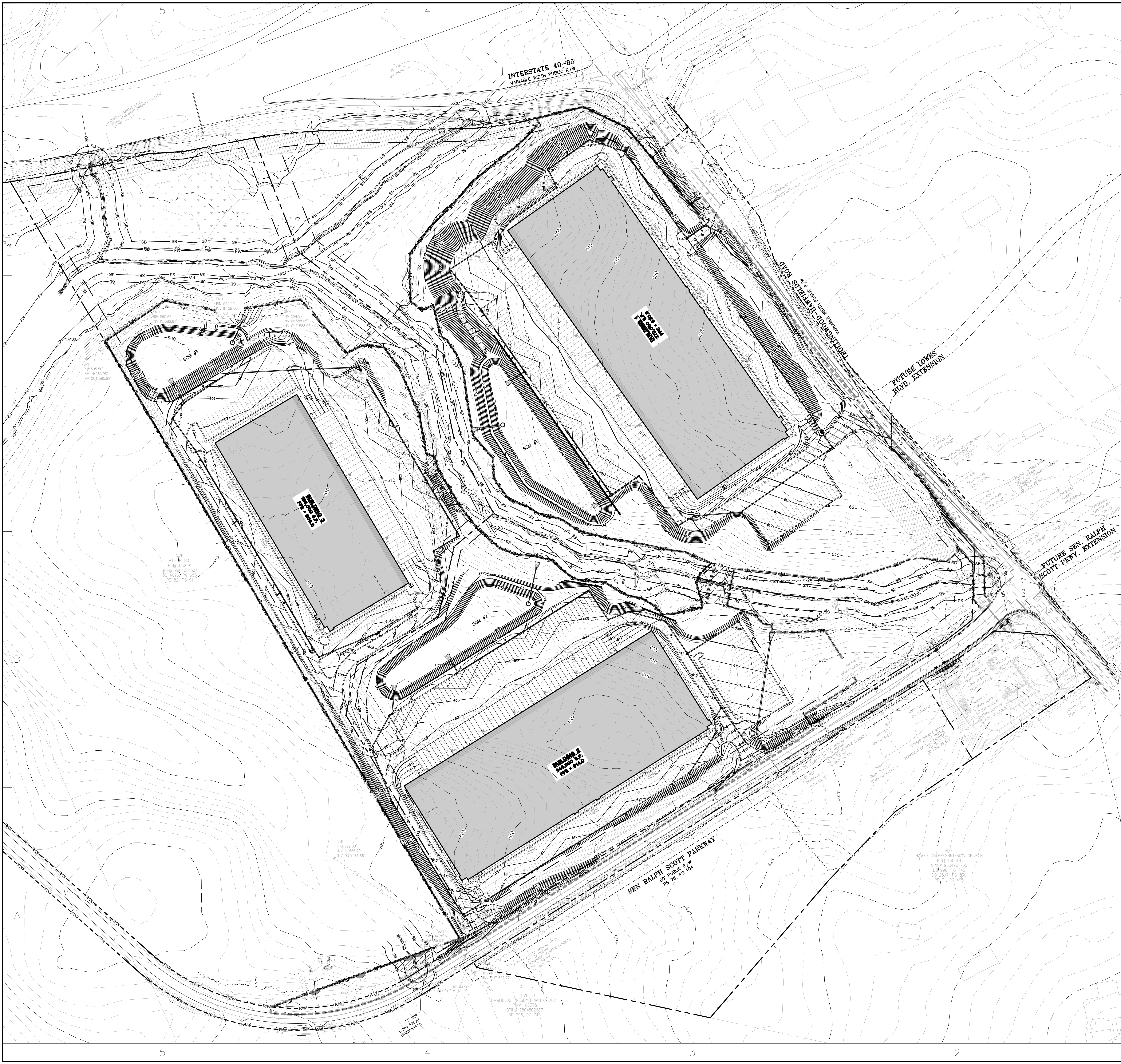
DATE	REVISIONS
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07 NOV 22	FINAL SITE PLAN DOCUMENTS

OWNER INFORMATION
 250W HOLDINGS INDUSTRIAL
 4214 COLONY ROAD
 SUITE 402
 CHARLOTTE, NC 28211
 OWNERS REPRESENTATIVE:
 CHRIS URQUHART
 (704) 258-9147
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 CMAL.com

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**CROW INDUSTRIAL
 NC COMMERCE PARK BLDGS 1-3
 MEBANE, NC**

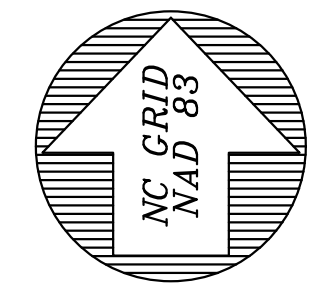


GRADING AND STORM DRAINAGE NOTES

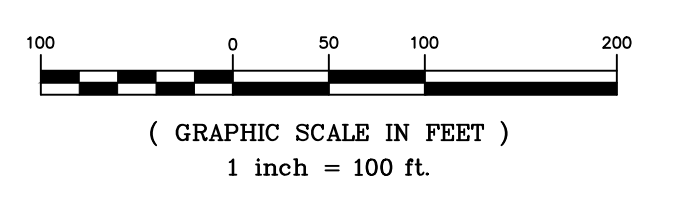
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE NCDOT, NCDOT AND CITY OF MEBANE STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-832-4343). LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- ALL STORM DRAINAGE PIPING SHOWN TO BE 24" HDPE PIPE UNLESS OTHERWISE NOTED.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
- ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE LONGITUDINAL SLOPE DOES NOT EXCEED 5% AND THE CROSS-SLOPE DOES NOT EXCEED 2%. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
- NO PART OF ANY ACCESSIBLE PARKING SPACE OR ADJACENT ACCESSIBLE AISLE SHALL HAVE A SLOPE GREATER THAN 2% IN ANY DIRECTION. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
- SCMS SHALL BE DESIGNED PER SECTION 5-2 OF THE MEBANE UDO SECTION F AND MEET GENERAL ENGINEERING DESIGN CRITERIA SET FORTH IN 150 NCAC 025.1008(c).
- SCMS TO BE PRIVATELY MAINTAINED.
- SITE IS SUBJECT TO CITY OF MEBANE FLOODPLAIN DEVELOPMENT ORDINANCE AS NON-FEMA FLOODPLAIN. ALL DISTURBANCE FOR THIS PROJECT ARE OUTSIDE OF THE 100 YEAR FLOODPLAIN. SITE IS SUBJECT TO NPDES PHASE 2 STORMWATER ORDINANCE AS A HIGH DENSITY PROJECT. SITE IS SUBJECT TO RIPARIAN BUFFER ORDINANCE.
- STREAM AND WETLAND IMPACTS HAVE BEEN PERMITTED WITH USAGE UNDER SA#-2022-01547 AND NCDOT DWR UNDER 401 PERMIT # W0000149.
- A BUFFER AUTHORIZATION APPROVAL WILL BE OBTAINED FROM CITY OF MEBANE DURING CONSTRUCTION DRAWING PROCESS FOR ALL BUFFER IMPACTS.

DRAWING LEGEND

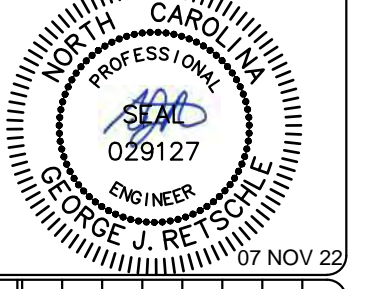
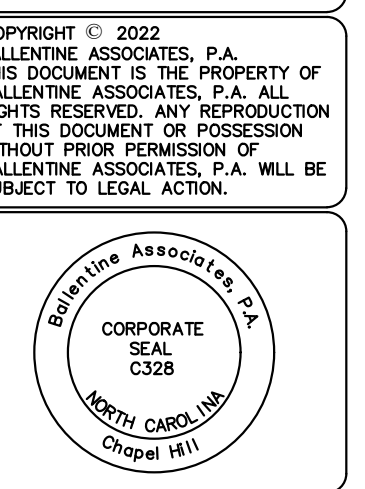
SYMBOL/ABBREVIATION		DESCRIPTION
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
---	---	FENCE LINE
SD - SD	---	STORM DRAIN LINE
SD - SD	---	HOPE STORM DRAIN LINE
RD - RD	---	ROOF DRAIN LINE
FD - FD	---	FOUNDATION DRAIN LINE
W - W	---	WATER LINE
UC - UC	---	UTILITY CONDUIT/IRRIGATION SLEEVE
SS - SS	---	SANITARY SEWER LINE
UE - UE	---	UNDERGROUND ELECTRIC LINE
OHE - OHE	---	OVERHEAD ELECTRIC LINE
G - G	---	GAS LINE
T - T	---	TELECOMMUNICATION LINE
FO - FO	---	FIBER OPTIC LINE
CATV - CATV	---	CABLE TV LINE
---	---	TREE LINE
---	---	WETLANDS
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	RETAINING WALL
---	---	LIMITS OF DISTURBANCE
○	○	EXISTING IRON PIPE
○	○	IRON PIPE SET
+	+	CALCULATED POINT
+	+	SIGN
+	+	MAIL BOX
+	+	CATCH BASIN
+	+	DROP INLET
+	+	JUNCTION BOX
+	+	NDS DRAIN
+	+	STORMWATER CLEANOUT
+	+	WATER METER
+	+	WATER VALVE
+	+	FIRE HYDRANT
+	+	BACKFLOW PREVENTER
+	+	SANITARY SEWER MANHOLE
+	+	SANITARY SEWER CLEANOUT
+	+	POWER POLE
+	+	LIGHT POLE
+	+	ELECTRIC BOX
+	+	ELECTRIC METER
+	+	TELEPHONE PEDESTAL
+	+	TELEPHONE VAULT



GRADING & DRAINAGE OVERVIEW



**REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION**



DATE	REVISIONS
08 SEP 22	PER CITY OF MEBANE TRC COMMENTS
19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

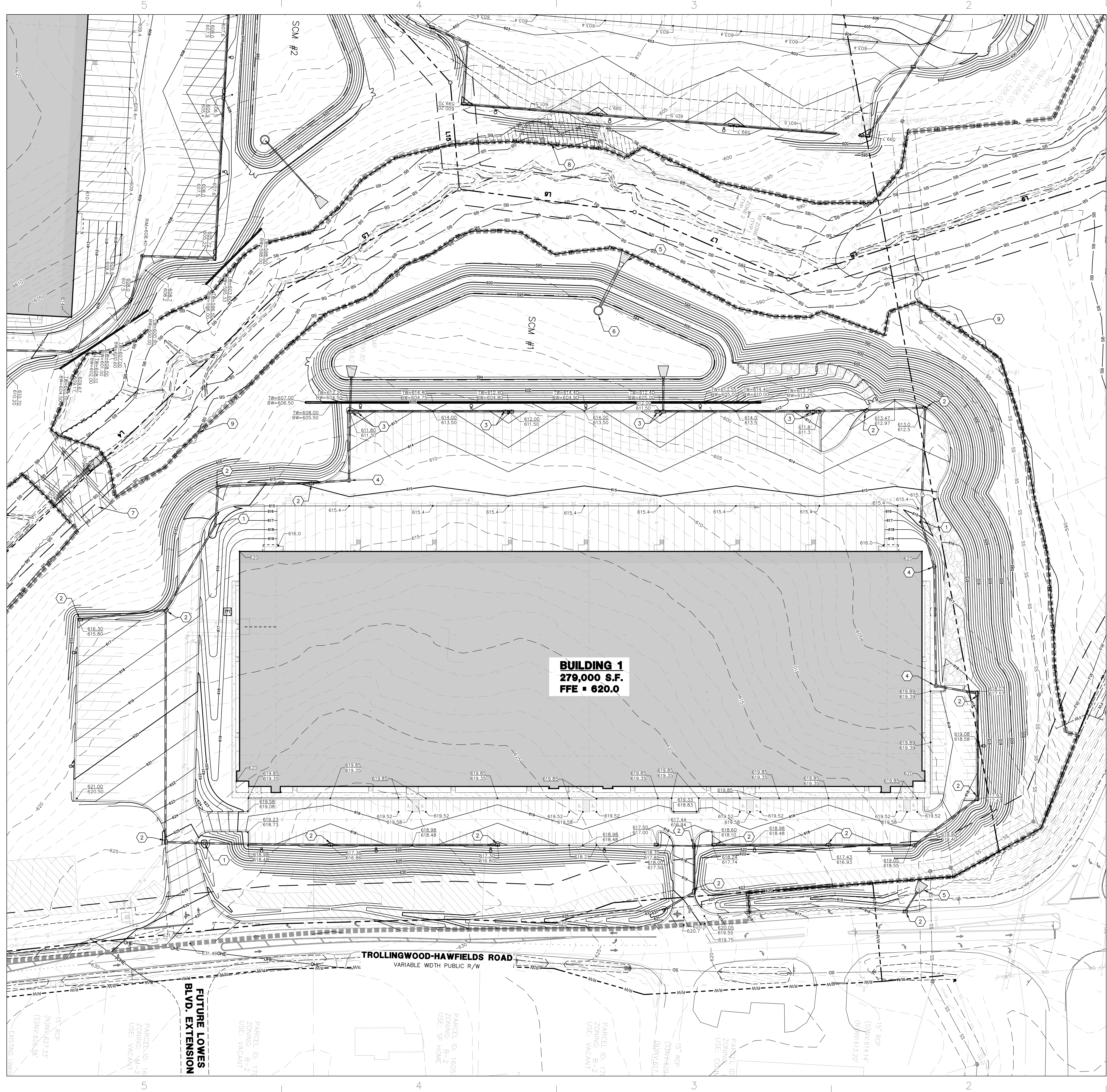
OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
4204 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
CHRIS URQUHART
(704) 258-9147
FAX (704) 000-0000
EMAIL chris@crowindustrial.com

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBANE, NC
SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

SHEET
C1200



GRADING AND STORM DRAINAGE NOTES
 1. SEE SHEET C1200 FOR GRADING AND DRAINAGE NOTES.

- PLAN KEY NOTES**
- 1 DROP INLET W/ STANDARD 24"x24" GRATE (TYP.)
 - 2 STANDARD CATCH BASIN (NCDDOT) (TYP.)
 - 3 CURB INLET (TYP.)
 - 4 STANDARD JUNCTION BOX (TYP.)
 - 5 RIPRAP APRON (TYP.)
 - 6 60" CONCRETE RISER W/ CONCRETE OUTLET PIPE
 - 7 JURISDICTIONAL STREAM / STREAM BUFFER IMPACTS
 - 8 JURISDICTIONAL WETLAND IMPACTS
 - 9 TEMPORARY TREE PROTECTION FENCE (TYP.)

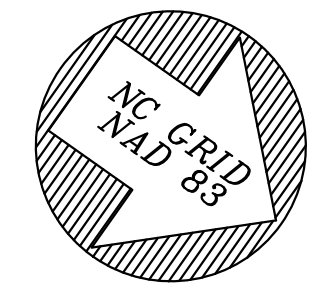
DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	FENCE LINE
---	---	---	STORM DRAIN LINE
SD	SD	SD	HOPE STORM DRAIN LINE
RD	RD	RD	ROOF DRAIN LINE
FD	FD	FD	FOUNDATION DRAIN LINE
W	W	W	WATER LINE
IR	IR	IR	UTILITY CONDUIT/IRRIGATION SLEEVE
SS	SS	SS	SANITARY SEWER LINE
UE	UE	UE	UNDERGROUND ELECTRIC LINE
OHE	OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	G	GAS LINE
T	T	T	TELECOMMUNICATION LINE
FO	FO	FO	FIBER OPTIC LINE
CATV	CATV	CATV	CABLE TV LINE
---	---	---	TREE LINE
---	---	---	WETLANDS
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	RETAINING WALL
---	---	---	LIMITS OF DISTURBANCE
---	---	---	EXISTING IRON PIPE
---	---	---	IRON PIPE SET
---	---	---	CALCULATED POINT
---	---	---	SIGN
---	---	---	MAIL BOX
---	---	---	CATCH BASIN
---	---	---	DROP INLET
---	---	---	JUNCTION BOX
---	---	---	NDS DRAIN
---	---	---	STORMWATER CLEANOUT
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	FIRE HYDRANT
---	---	---	BACKFLOW PREVENTER
---	---	---	SANITARY SEWER MANHOLE
---	---	---	SANITARY SEWER CLEANOUT
---	---	---	POWER POLE
---	---	---	LIGHT POLE
---	---	---	ELECTRIC BOX
---	---	---	ELECTRIC METER
---	---	---	TELEPHONE PEDESTAL
---	---	---	TELEPHONE VAULT

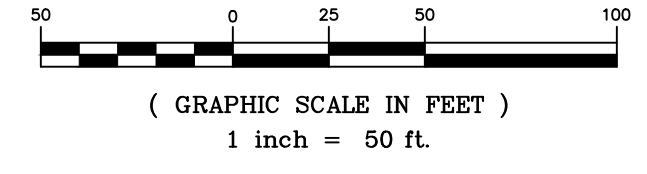
BUILDING 1
279,000 S.F.
FFE = 620.0

TROLLINGWOOD-HAWFIELDS ROAD
 VARIABLE WIDTH PUBLIC R/W

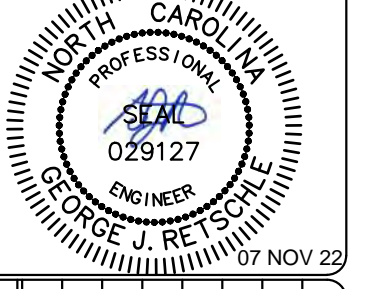
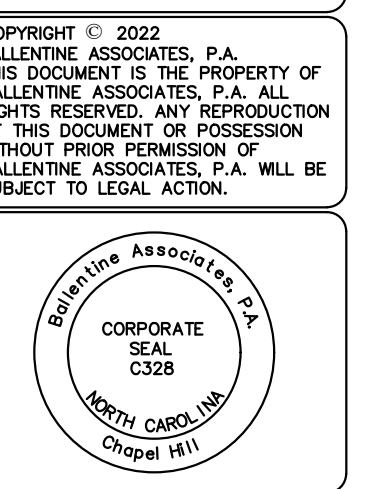
FUTURE LOWES BLVD. EXTENSION



BUILDING 1 GRADING & DRAINAGE



REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION



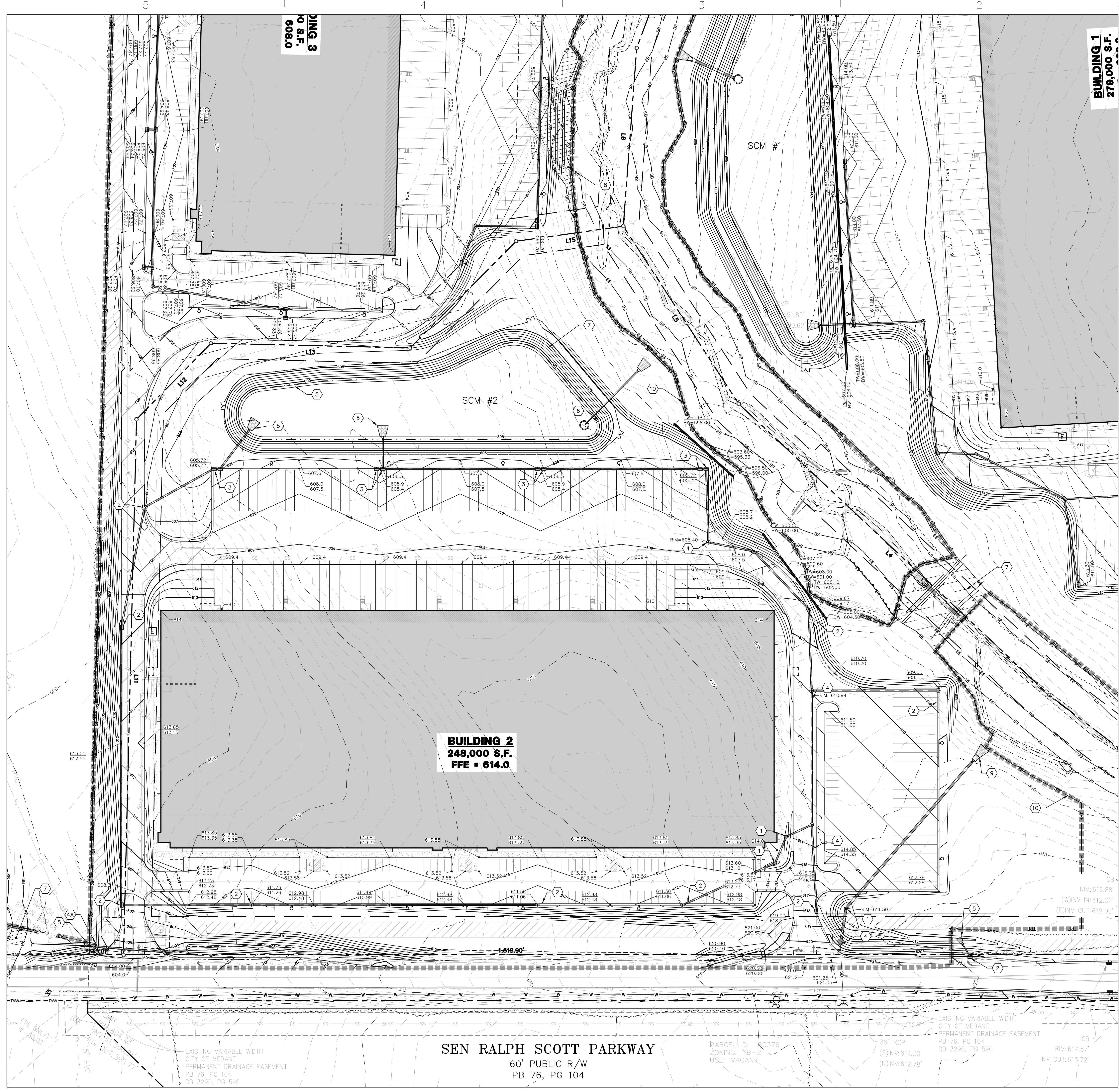
DATE	REVISIONS
08 SEP 22	PER CITY OF MEHANE TRC COMMENTS
19 OCT 22	PER CITY OF MEHANE TRC COMMENTS
07 NOV 22	PER NCDDOT TRC COMMENTS

OWNER INFORMATION
 CROW HOLDINGS INDUSTRIAL
 4204 COLONY ROAD
 SUITE 405
 CHARLOTTE, NC 28211
OWNERS REPRESENTATIVE:
 CHRIS URQUHART
 704) 258-9147
 FAX (000) 000-0000
 EMAIL: c.urquhart@crow.com

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
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07 NOV 22	FINAL SITE PLAN DOCUMENTS

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
 MEHANE, NC
SITE PLAN DRAWINGS

JOB #: 122007.02
 DATE: 12 JUL 2022
 SCALE: AS NOTED
 DRAWN BY: GJR
 REVIEWED BY: GJR



GRADING AND STORM DRAINAGE NOTES
 1. SEE SHEET C1200 FOR GRADING AND DRAINAGE NOTES.

PLAN KEY NOTES

- 1 DROP INLET W/ STANDARD 24"x24" GRATE (TYP.)
- 2 STANDARD CATCH BASIN (NCDOT) (TYP.)
- 3 CURB INLET (TYP.)
- 4 STANDARD JUNCTION BOX (TYP.)
- 4A STANDARD HEADWALL (NCDOT) (TYP.)
- 5 RIPRAP APRON (TYP.)
- 6 60" CONCRETE RISER W/ CONCRETE OUTLET PIPE
- 7 JURISDICTIONAL STREAM / STREAM BUFFER IMPACTS
- 8 JURISDICTIONAL WETLAND IMPACTS
- 9 ENERGY DISSIPATION AT OUTLET: FLUNGE POOL AND RIPRAP APRON DESIGN TO BE COMPLETE PRIOR TO CONSTRUCTION PLANS SUBMITTAL.
- 10 TEMPORARY TREE PROTECTION FENCE (TYP.)

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
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---	---	STORM DRAIN LINE
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OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	GAS LINE
T	T	TELECOMMUNICATION LINE
FO	FO	FIBER OPTIC LINE
CATV	CATV	CABLE TV LINE
---	---	TREE LINE
---	---	WETLANDS
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	RETAINING WALL
---	---	LIMITS OF DISTURBANCE
---	---	EXISTING IRON PIPE
---	---	IRON PIPE SET
---	---	CALCULATED POINT
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---	---	MAIL BOX
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	NDS DRAIN
---	---	STORMWATER CLEANOUT
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	BACKFLOW PREVENTER
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	POWER POLE
---	---	LIGHT POLE
---	---	ELECTRIC BOX
---	---	ELECTRIC METER
---	---	TELEPHONE PEDESTAL
---	---	TELEPHONE VAULT

BUILDING 2
 248,000 S.F.
 FFE = 614.0

BUILDING 3
 10 S.F.
 608.0

BUILDING 1
 279,000 S.F.

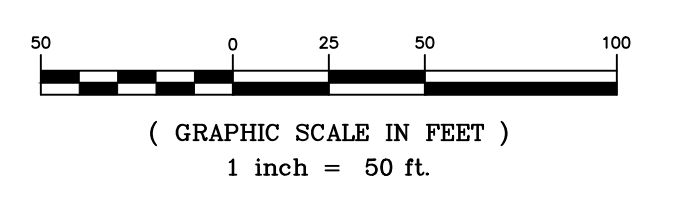
SEN RALPH SCOTT PARKWAY
 60' PUBLIC R/W
 PB 76, PG 104

PARCEL ID: 150376
 ZONING: B-2
 USE: VACANT

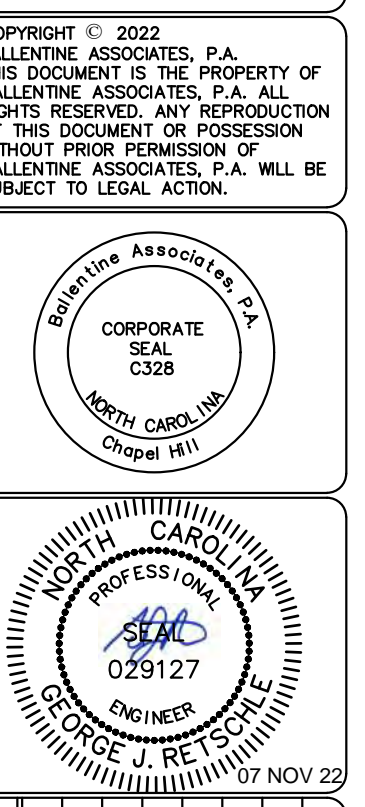
EXISTING VARIABLE WIDTH CITY OF MEBANE PERMANENT DRAINAGE EASEMENT PB 76, PG 104 DB 3290, PG 590
 36" RCP (S)INW: 614.30' (N)INW: 612.78'
 RIM=617.57' INV OUT: 613.72'

EXISTING VARIABLE WIDTH CITY OF MEBANE PERMANENT DRAINAGE EASEMENT PB 76, PG 104 DB 3290, PG 590

BUILDING 2 GRADING & DRAINAGE



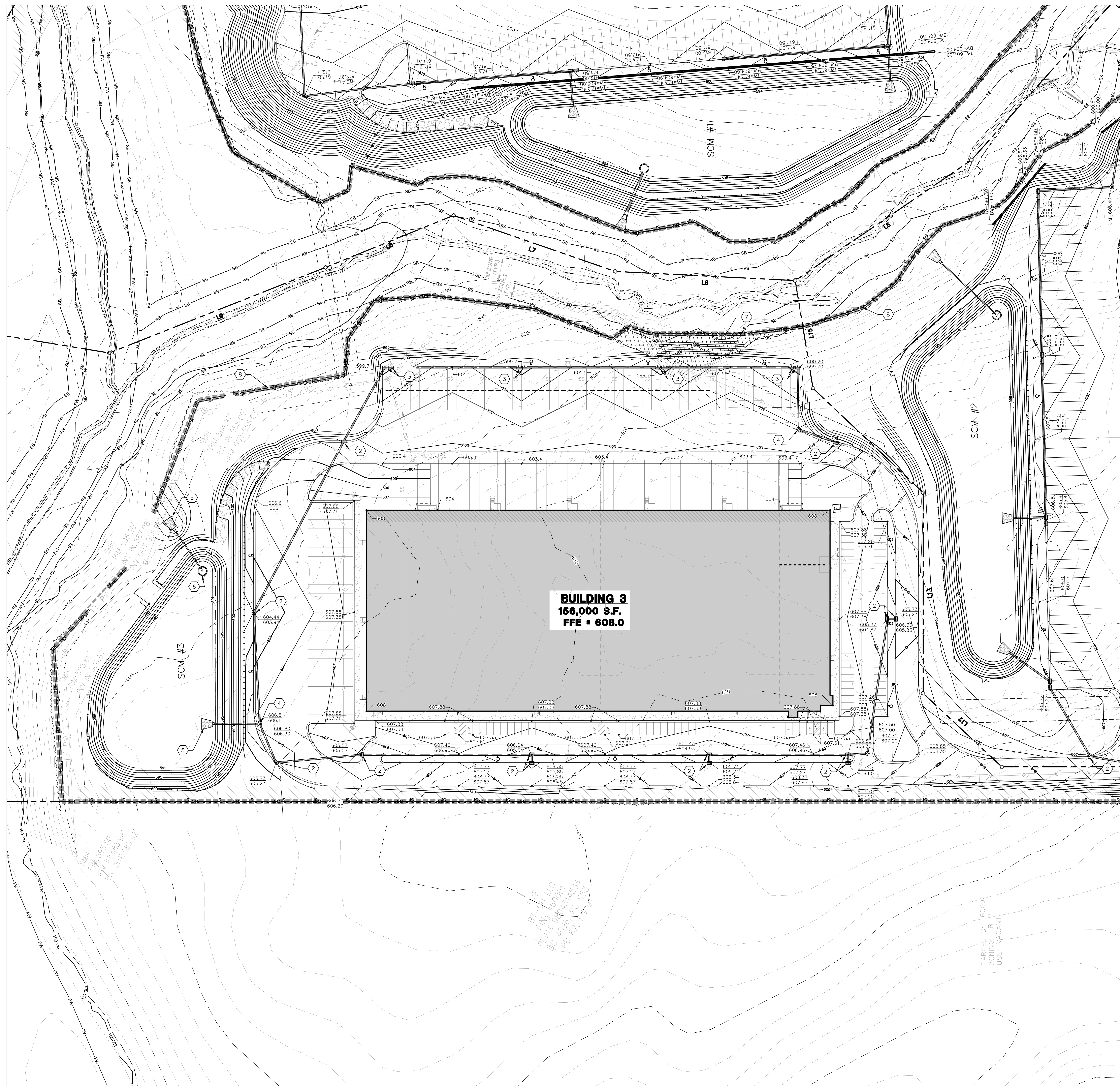
REVIEW DRAWING
 NOT ISSUED FOR CONSTRUCTION



DATE	REVISIONS
08 SEP 22	PER CITY OF MEBANE TRC COMMENTS
19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

CROW INDUSTRIAL NC COMMERCE PARK BLDGS 1-3
 MEBANE, NC
SITE PLAN DRAWINGS



BUILDING 3
156,000 S.F.
FFE = 608.0

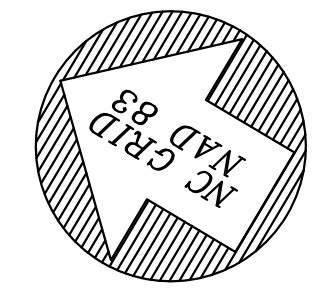
GRADING AND STORM DRAINAGE NOTES

1. SEE SHEET C1200 FOR GRADING AND DRAINAGE NOTES.

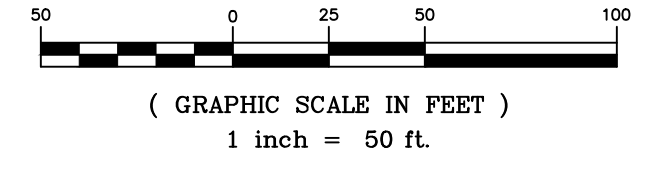
- PLAN KEY NOTES**
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 - 2 STANDARD CATCH BASIN (NCDDOT) (TYP.)
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 - 6 60" CONCRETE RISER W/ CONCRETE OUTLET PIPE
 - 7 JURISDICTIONAL WETLAND IMPACTS
 - 8 TEMPORARY TREE PROTECTION FENCE (TYP.)

DRAWING LEGEND

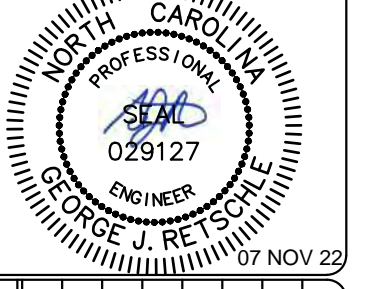
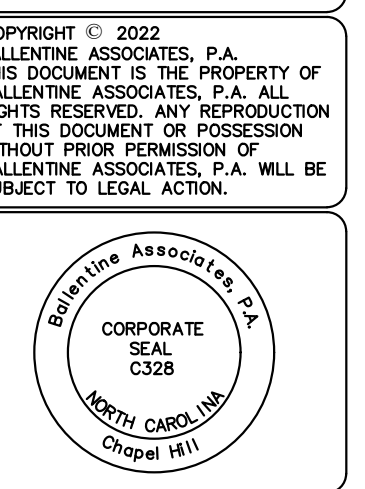
SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
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---	---	WATER LINE
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---	---	UNDERGROUND ELECTRIC LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	GAS LINE
---	---	TELECOMMUNICATION LINE
---	---	FIBER OPTIC LINE
---	---	CABLE TV LINE
---	---	TREE LINE
---	---	WETLANDS
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	RETAINING WALL
---	---	LIMITS OF DISTURBANCE
---	---	EXISTING IRON PIPE
---	---	IRON PIPE SET
---	---	CALCULATED POINT
---	---	SIGN
---	---	MAIL BOX
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	NDS DRAIN
---	---	STORMWATER CLEANOUT
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	BACKFLOW PREVENTER
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	POWER POLE
---	---	LIGHT POLE
---	---	ELECTRIC BOX
---	---	ELECTRIC METER
---	---	TELEPHONE PEDESTAL
---	---	TELEPHONE VAULT



BUILDING 3 GRADING & DRAINAGE



REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION



DATE	REVISIONS
08 SEP 22	PER CITY OF MEANE TRC COMMENTS
19 OCT 22	PER CITY OF MEANE TRC COMMENTS
07 NOV 22	PER NCDDOT TRC COMMENTS

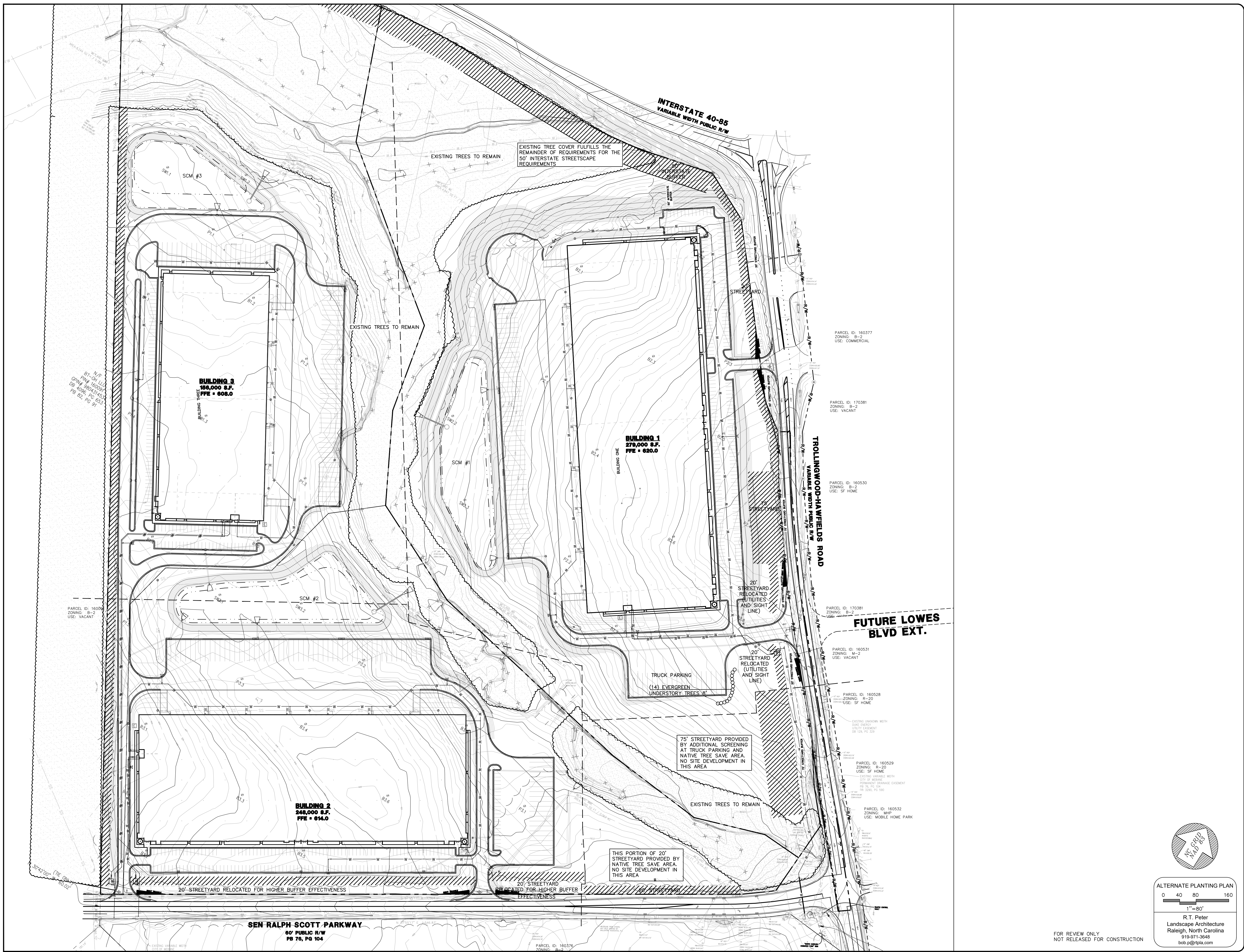
OWNER INFORMATION
 CROW HOLDINGS INDUSTRIAL
 4204 COLONY ROAD
 SUITE 405
 CHARLOTTE, NC 28211
OWNERS REPRESENTATIVE:
 CHRIS UROUHART
 (704) 258-9147
 FAX (704) 000-0000
 EMAIL: curouhart@crow.com

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
 MEANE, NC
SITE PLAN DRAWINGS

JOB #: 122007.02
 DATE: 12 JUL 2022
 SCALE: AS NOTED
 DRAWN BY: GJR
 REVIEWED BY: GJR

SHEET
C1203



INTERSTATE 40-85
VARIABLE WIDTH PUBLIC R/W

TROLLINGWOOD-HAWFIELDS ROAD
VARIABLE WIDTH PUBLIC R/W

FUTURE LOWES
BLVD EXT.

SEN RALPH SCOTT PARKWAY
60' PUBLIC R/W
PB 76, PG 104

EXISTING TREE COVER FULFILLS THE
REMAINDER OF REQUIREMENTS FOR THE
50' INTERSTATE STREETSCAPE
REQUIREMENTS

75' STREETYARD PROVIDED
BY ADDITIONAL SCREENING
AT TRUCK PARKING AND
NATIVE TREE SAVE AREA.
NO SITE DEVELOPMENT IN
THIS AREA

THIS PORTION OF 20'
STREETYARD PROVIDED BY
NATIVE TREE SAVE AREA,
NO SITE DEVELOPMENT IN
THIS AREA

PARCEL ID: 160377
ZONING: B-2
USE: COMMERCIAL

PARCEL ID: 170381
ZONING: B-2
USE: VACANT

PARCEL ID: 160530
ZONING: B-2
USE: SF HOME

PARCEL ID: 170381
ZONING: B-2
USE: VACANT

PARCEL ID: 160531
ZONING: B-2
USE: VACANT

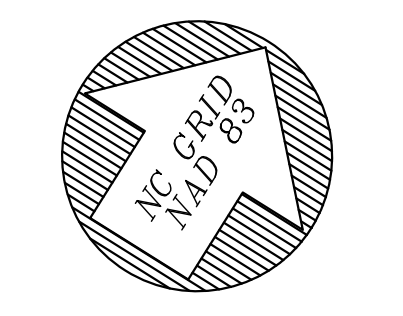
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ZONING: R-20
USE: SF HOME

PARCEL ID: 160529
ZONING: B-20
USE: SF HOME

PARCEL ID: 160532
ZONING: MH
USE: MOBILE HOME PARK

N/F
BT, 04, L/L
P/W 16091
DB 409, PC 63
PB 82, PG 91

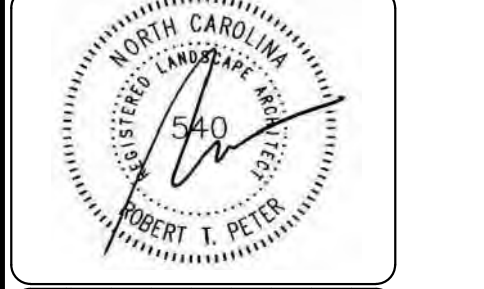
PARCEL ID: 16000
ZONING: B-2
USE: VACANT



ALTERNATE PLANTING PLAN
0 40 80 160
1"=80'
R.T. Peter
Landscape Architecture
Raleigh, North Carolina
919-871-3640
bob.p@rtpla.com

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BALLENTINE ASSOCIATES, PA.



DATE	REVISIONS
25 AUG 22	PER CITY OF MEHAN TRC COMMENTS

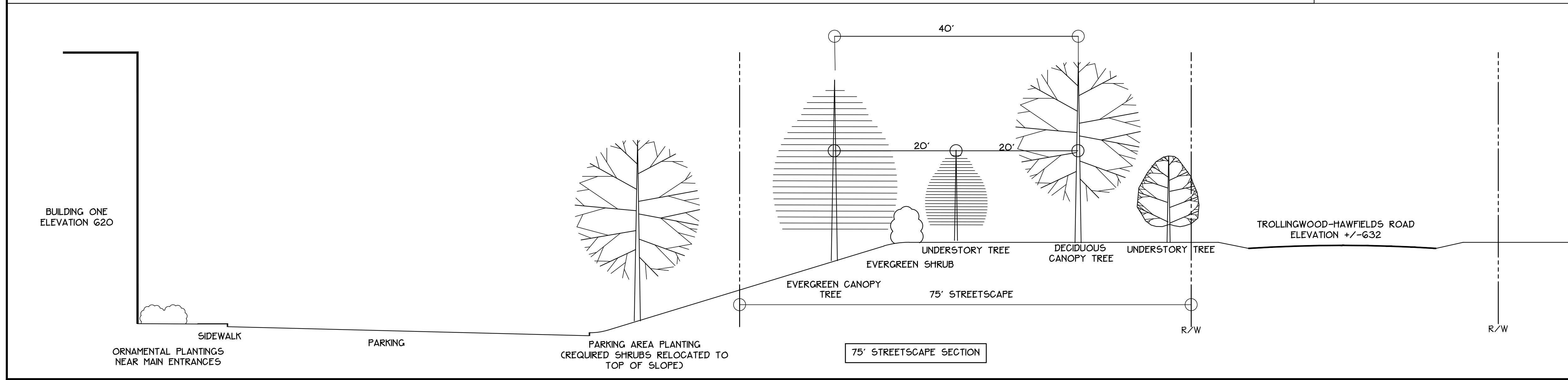
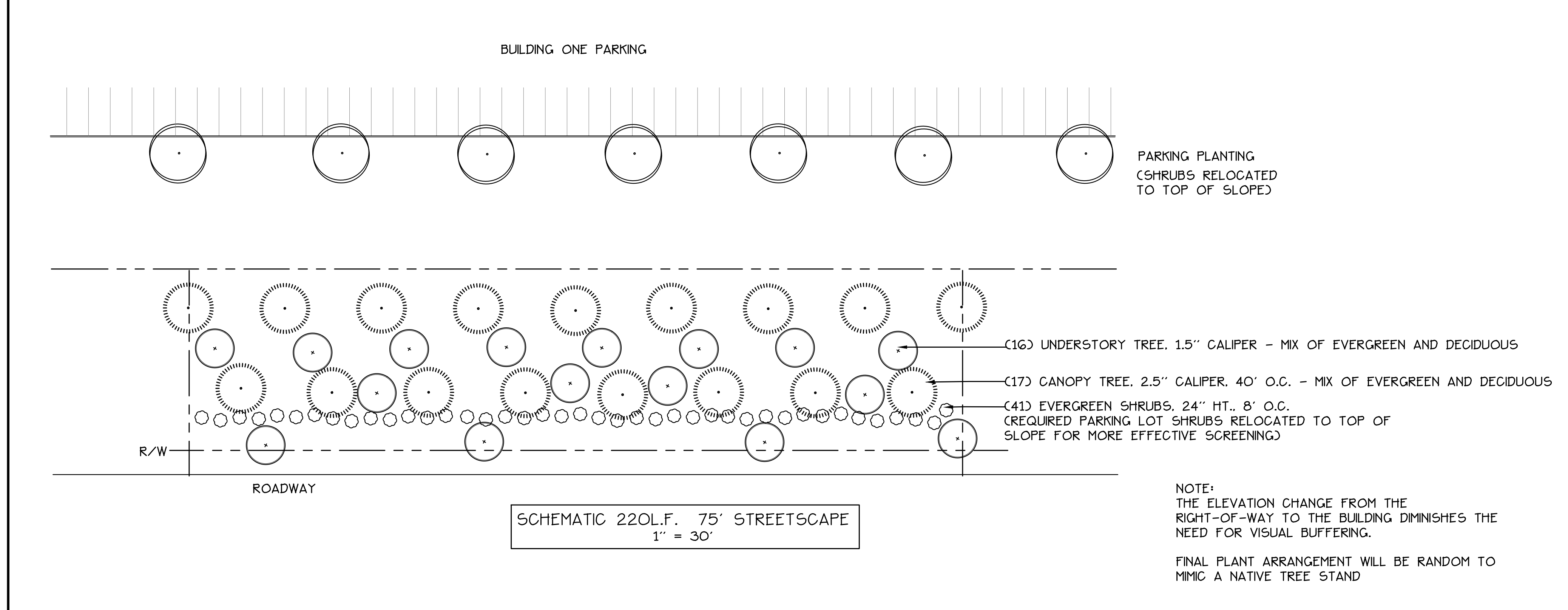
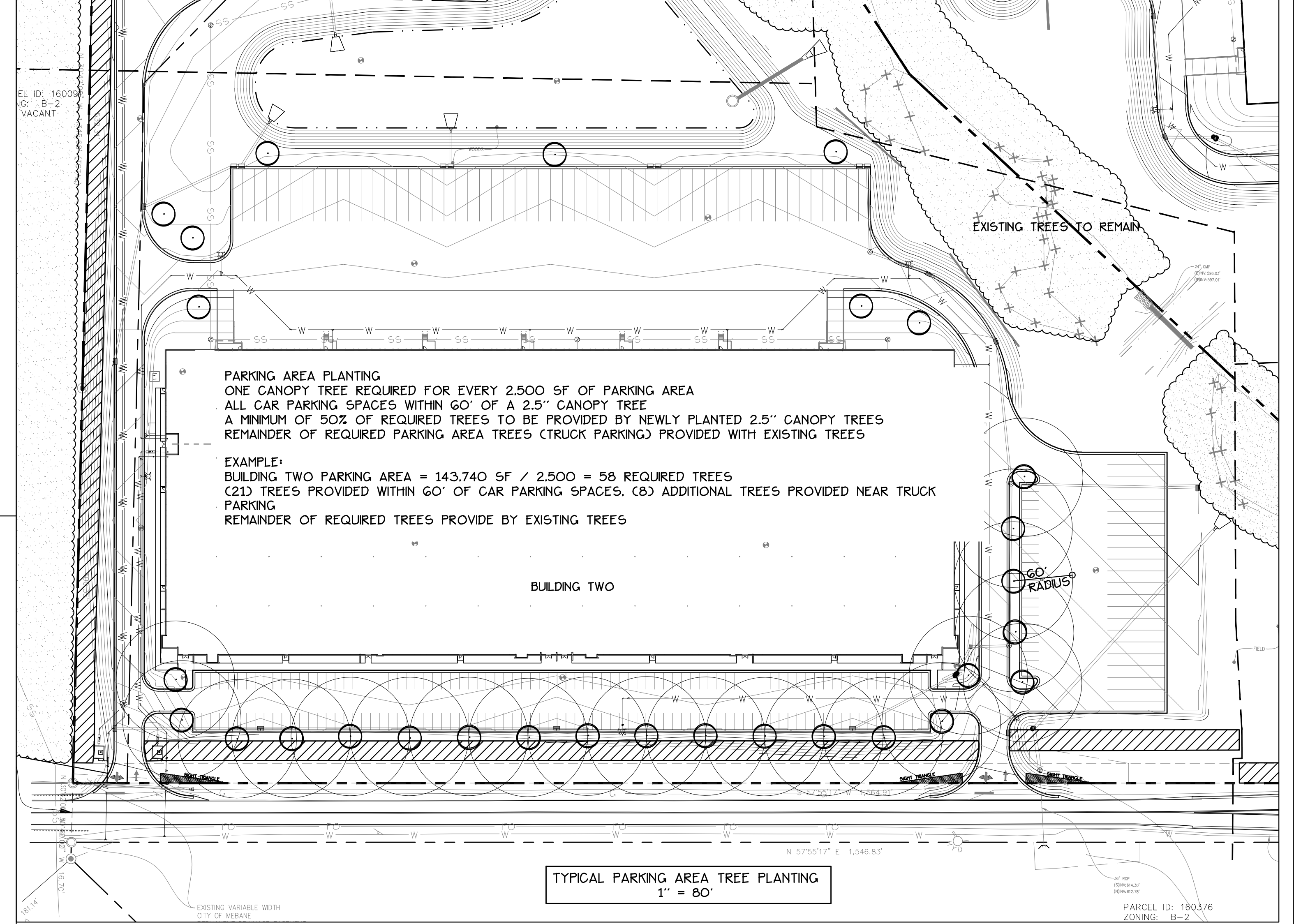
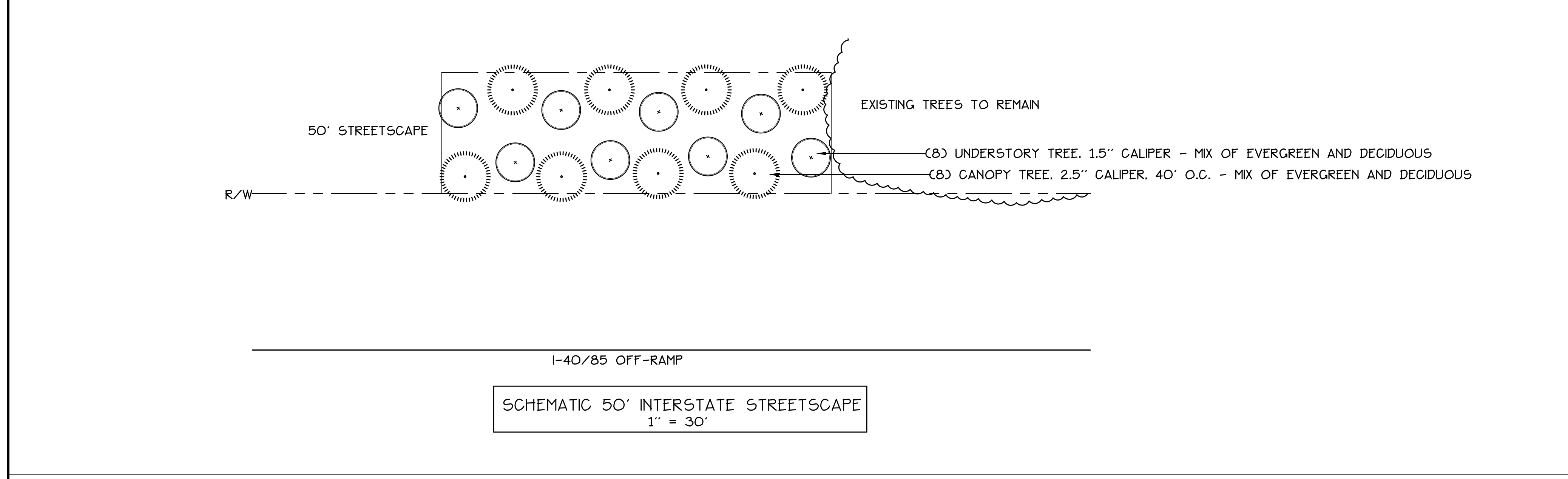
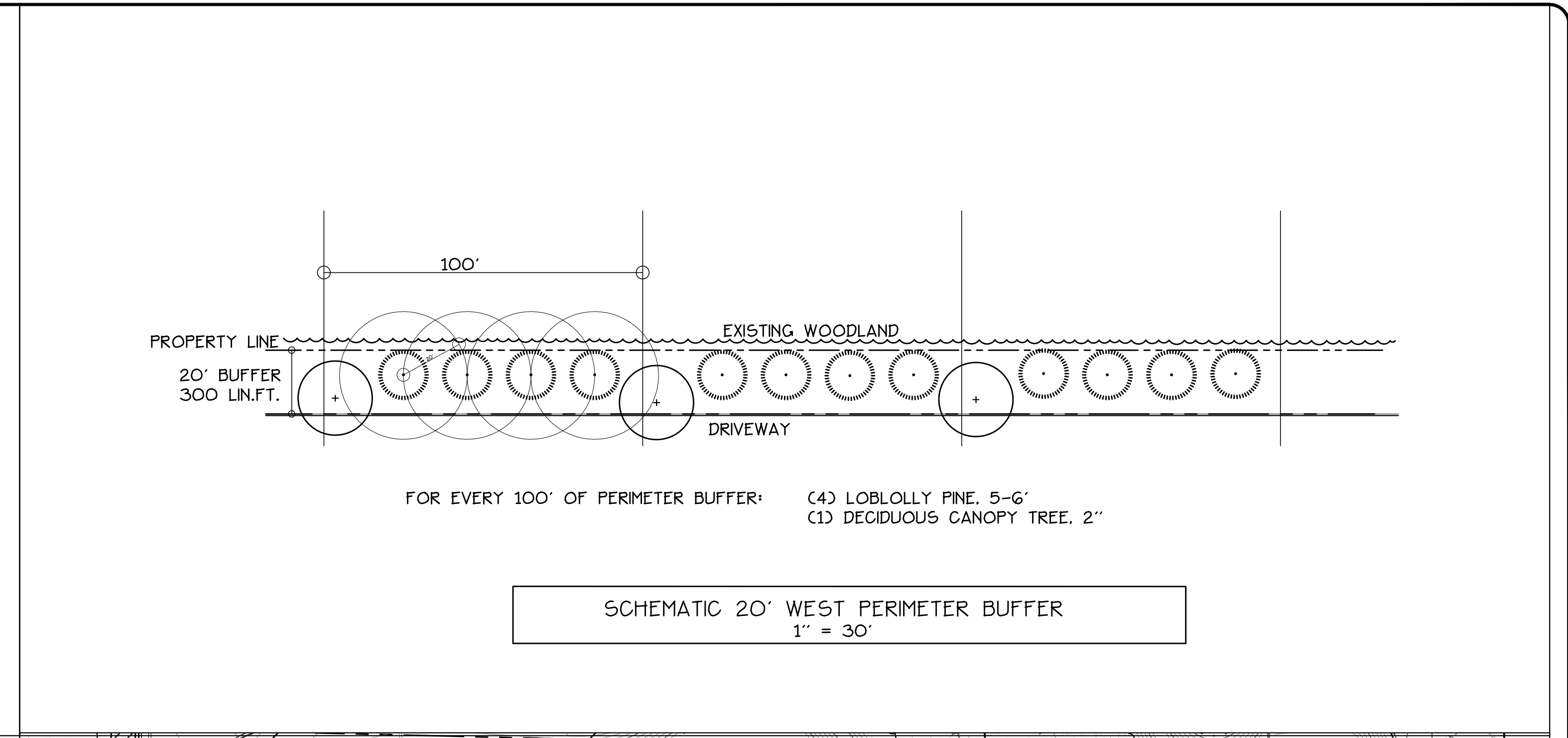
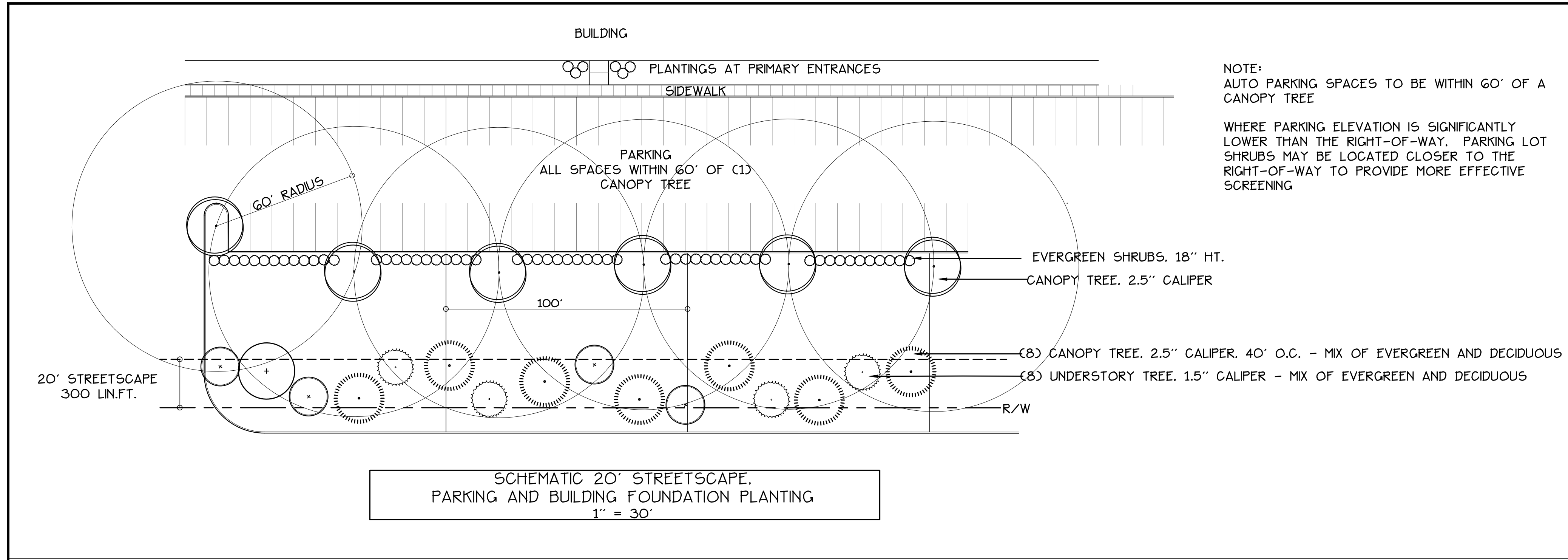
OWNER INFORMATION
CROW INDUSTRIAL
4064 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
CHRIS URQUHART
(704) 258-8147
FAX (704) 600-0000
EMAIL: cros@crowind.com

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
13 JUL 22	FINAL SITE PLAN DOCUMENTS
11/1/22	

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBANE, NC
SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: RTP
REVIEWED BY: RTP

SHEET
L01



ALTERNATE PLANTING SCHEMATICS
 SCALE AS NOTED
 R.T. Peter
 Landscape Architecture
 Raleigh, North Carolina
 919-971-3648 bob.p@rtplia.com

Ballentine Associates, PA
 221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
 (919) 529 - 0481

REGISTERED PROFESSIONAL ARCHITECT
 STATE OF NORTH CAROLINA
 EXPIRES 12/31/2025

DATE: 25 AUG 22

NO.	DATE	DESCRIPTION
1	11/17/22	ISSUED
2	12/12/22	SITE PLAN SUBMITTAL #1
3	12/12/22	FINAL SITE PLAN DOCUMENTS

OWNER INFORMATION
 CROW HOLDINGS INDUSTRIAL
 4064 COLONY ROAD
 SUITE 405
 CHARLOTTE, NC 28211
 OWNER'S REPRESENTATIVE:
 CHRIS UROUHART
 (704) 584-1147
 FAX (704) 608-5000
 EMAIL: curouhart@crowhops.com

CROW INDUSTRIAL
 NC COMMERCE PARK BLDGS 1-3
 MEBANE, NC

SITE PLAN DRAWINGS

JOB #: 122007.02
 DATE: 12 JUL 2022
 SCALE: AS NOTED
 DRAWN BY: RTP
 REVIEWED BY: RTP

SHEET
 L01.1

FOR REVIEW ONLY
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PLANNING PROJECT REPORT

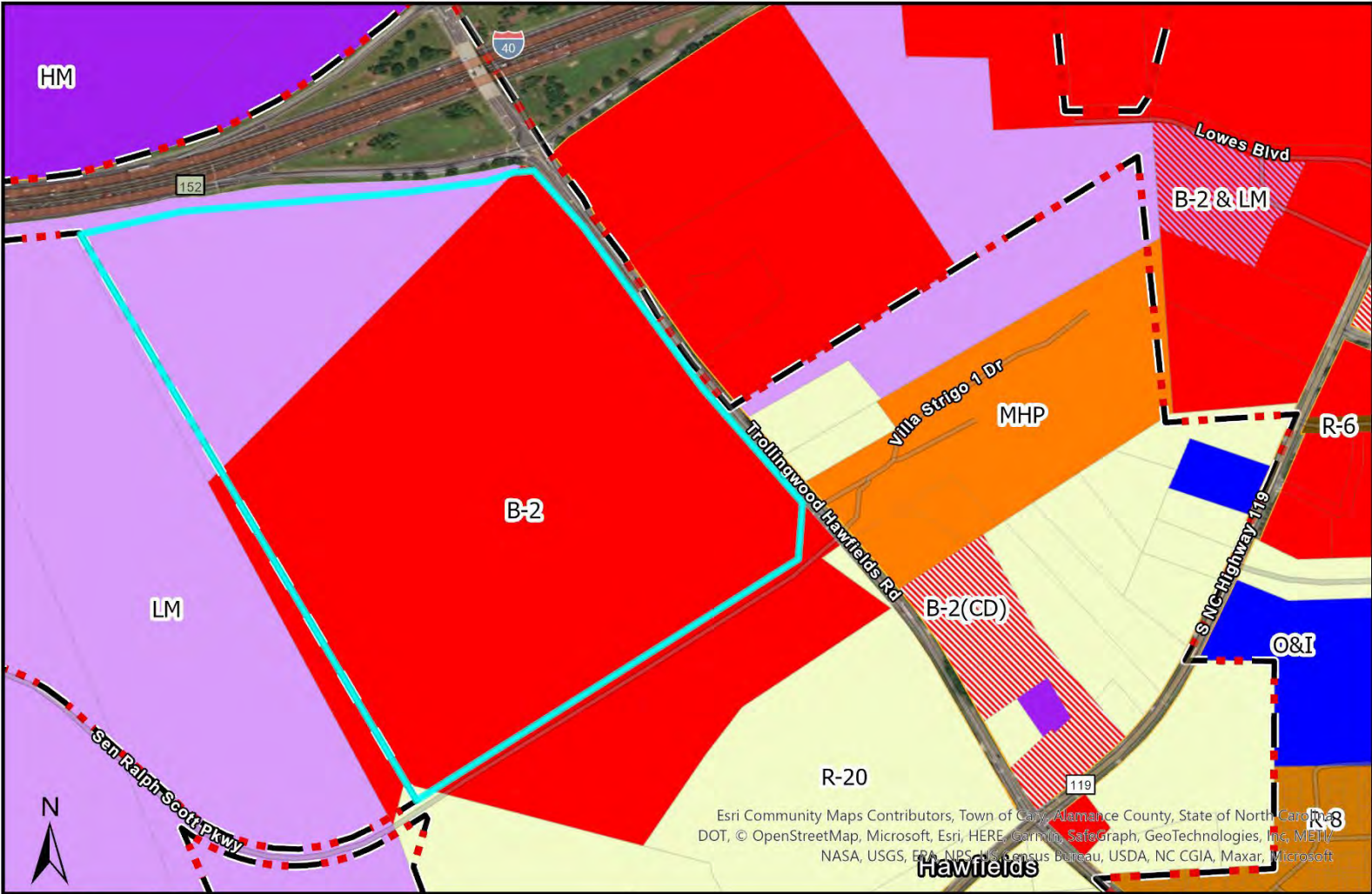
DATE	11/09/2022
PROJECT NUMBER	RZ 22-15
PROJECT NAME	Crow Industrial
APPLICANT	CHI/Acquisitions, L. P. 4064 Colony Road, Suite 405 Charlotte, NC 28211

CONTENTS

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ZONING REPORT

EXISTING ZONE	LM (Light Manufacturing) and B-2 (General Business)
REQUESTED ACTION	LM (CD) (Light Manufacturing Conditional District)
CONDITIONAL ZONE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
CURRENT LAND USE	Vacant, Forested, Farm
PARCEL SIZE	+/- 77.689 acres
PROPERTY OWNERS	Sarah S. Bradley 917 Arrowhead Ln Mebane, NC 27302 GPINs: 9804810638, 9804720640
LEGAL DESCRIPTION	Request to rezone two properties, GPIN 9804720640 and portion of GPIN 9804810638, totaling +/- 77.689 acres located at 1447 Trollingwood Hawfields Road from LM and B-2 to LM (CD) to allow a light-industrial development including three warehouse buildings by CHI/Acquisitions, L.P.
AREA ZONING & DISTRICTS	Adjoining properties to the west are zoned LM (Light Manufacturing), and properties to the northwest are zoned HM (Heavy Manufacturing). Across Trollingwood-Hawfields Road, the adjacent zoning varies, with properties zoned B-2 (General Business), LM, R-20 (Residential), and Mobile Home Park. Properties to the southeast are zoned R-20. Additionally, the portion of the subject property to the south of Senator Ralph Scott Parkway is proposed to remain the existing B-2 zoning.
SITE HISTORY	The properties have historically been used as farmland and remain taxed as general farms. Stream, wetlands, and floodplain are present.
STAFF ANALYSIS	
CITY LIMITS?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
PROPOSED USE BY-RIGHT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
SPECIAL USE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
EXISTING UTILITIES?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
POTENTIAL IMPACT OF PROPOSED ZONE	The proposed rezoning is consistent with the LM and HM zoning of surrounding properties and the location of the properties in the North Carolina Commerce Park.



**CITY OF MEBANE
ZONING MAP**

Crow Industrial

1 inch = 500 feet

DATE: 11/09/2022

DRAWN BY: AO

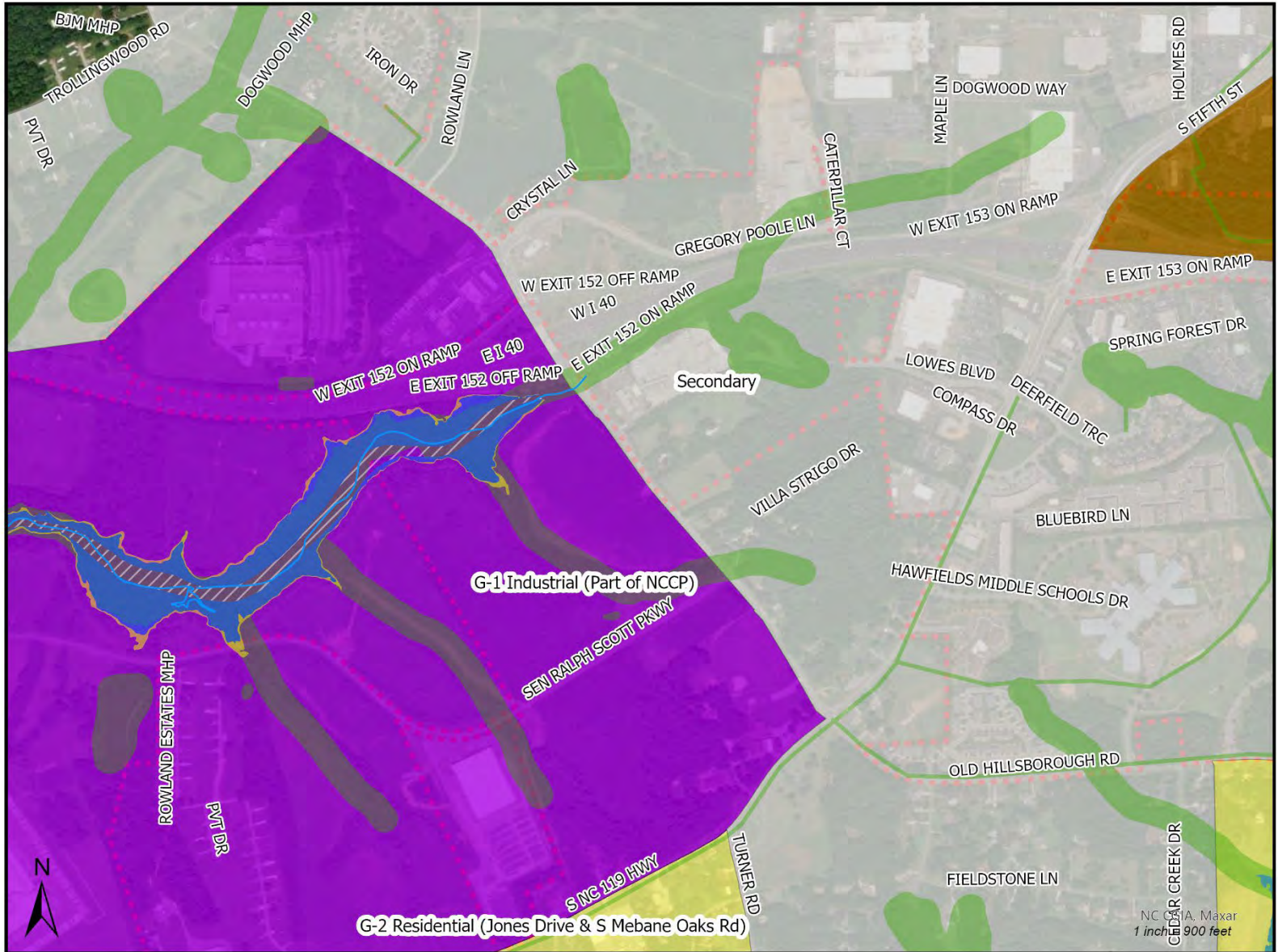
LAND USE REPORT

EXISTING LAND USE	Vacant, Forested, Farm
PROPOSED LAND USE & REQUESTED ACTION	The applicant is requesting a rezoning to develop two properties totaling +/- 77.689 acres with frontages on Senator Ralph Scott Parkway and Trollingwood-Hawfields Road (GPINs 9804810638, 9804720640) for a light industrial warehouse development of one 279,000-square-foot building, one 248,000-square-foot building, and one 156,000-square-foot building. The rezoning request is only for the portions of the properties north of Senator Ralph Scott Parkway.
PROPOSED ZONING	LM (CD) (Light Manufacturing Conditional District)
PARCEL SIZE	+/- 77.689 acres
AREA LAND USE	The properties are in the North Carolina Commerce Park. UPS is currently developing the adjoining property to the west. A Pilot Travel Center is across from the site on Trollingwood-Hawfields Road. Residential uses are also across Trollingwood-Hawfields Road, including single-family detached homes and a mobile home park. Hawfields Presbyterian Church owns the adjoining lots to the south, which include the Hawfields Community Park. The applicant proposes a 5' sidewalk on the south side of Senator Ralph Scott Parkway.
ONSITE AMENITIES & DEDICATIONS	The applicant proposes to dedicate a lot to the City of Mebane for a future fire station and proposes the dedication of right-of-way from Lot 1.
CONDITIONAL ZONE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF PROPOSED CONDITIONS	<p>The applicant has provided their own parking calculations. The UDO requires parking to be calculated at 2/3 employees on the largest shift plus 1/200 square feet of retail sales or customer service area plus 1/vehicle used in the operation. Based on other projects, the applicant is proposing parking at 0.75 parking spaces per 1,000 s.f. of floor area.</p> <p>The applicant is seeking a waiver from the requirement to provide sidewalk along the Trollingwood-Hawfields Road frontage. Given Senator Ralph Scott Parkway splits the site, the applicant is proposing to provide sidewalk on one side of Senator Ralph Scott Parkway. Per Section 7-6.6(A), sidewalk should be provided along frontages of new nonresidential development unless the requirement is waived by the Mebane City Council.</p> <p>The applicant agrees to a condition requiring perpetual maintenance of the sight distance easement area west of proposed Driveway #4 to maintain proper sight lines.</p> <p>The applicant will dedicate a lot to the City for a future fire station.</p>

As outlined in the memorandum from the City Engineer, prior to recording of the subdivision plat, the applicant is requesting to bond particular improvements not yet constructed. The UDO requires certain minimum improvements be provided before a surety bond is secured unless the requirement is waived by the Mebane City Council.

CONSISTENCY WITH *MEBANE BY DESIGN* STRATEGY

LAND USE GROWTH STRATEGY DESIGNATION(S)	G-1 Industrial Conservation Area
OTHER LAND USE CONSIDERATIONS	
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES SUPPORTED	GROWTH MANAGEMENT 1.7 Continue to support industrial development at existing industrial parks near I-40/85.
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES <u>NOT</u> SUPPORTED	



UTILITIES REPORT

AVAILABLE UTILITIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED UTILITY NEEDS	Per the memorandum from Franz Holt of AWCK, the anticipated water and sewer use for the proposed development is 11,200 gallons per day. Building 1 is proposed with a 12-inch water main extension along Trollingwood-Hawfields Road from a tap to an existing 16-inch water line in Senator Ralph Scott Parkway. Buildings 2 and 3 will be served from the existing 16-inch water line. Building 1 is proposed to be served with an 8-inch private sewer extension connecting to a proposed 12-inch public sewer line installed as a part of the City of Mebane GKN Pump Station flow reroute project to Graham. Buildings 2 and 3 are proposed to be served through an 8-inch public sewer extension connecting to Mebane’s 15-inch sanitary sewer outfall.
UTILITIES PROVIDED BY APPLICANT	Applicant has pledged to provide all on-site utilities, as described in AWCK’s Technical Memo.
MUNICIPAL CAPACITY TO ABSORB PROJECT	The City has adequate water & sewer supply to meet the domestic and fire flow demands of the project.
CONSISTENCY WITH MEBANE LONG RANGE UTILITY PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
ADEQUATE STORMWATER CONTROL?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
INNOVATIVE STORMWATER MANAGEMENT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

TRANSPORTATION NETWORK STATUS

CURRENT CONDITIONS	<p>The subject property is situated south of Interstate 40, west of Trollingwood-Hawfields Road, and north of Senator Ralph Scott Parkway. The site plan features two proposed driveway entrances to Building 1 from Trollingwood-Hawfields Road. The site also will include two entrances from Senator Ralph Scott Parkway. These entrances will provide access to Buildings 2 and 3..</p> <p>NCDOT provides traffic count data for Trollingwood-Hawfields Road, which is currently a two-lane undivided road. In 2019, the section east of the site had an average daily traffic volume of 10,000 trips. NCDOT does not provide any data for Senator Ralph Scott Parkway. The Interstate 40 ramps west of Trollingwood-Hawfields Road registered 5,500-5,700 trips, while the eastern exit ramps each registered 3,600 trips.</p>
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	North of Senator Ralph Scott Parkway, Trollingwood-Hawfields Road registers a low Safety Score of 78. The section of Trollingwood-Hawfields Road that extends from the intersection with Senator Ralph Scott Parkway to the south registers a moderate safety score of 33.
TRAFFIC IMPACT ANALYSIS REQUIRED?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF RECOMMENDED IMPROVEMENTS	The TIA requires exclusive left and right turn lanes at the two driveway entrances on Trollingwood-Hawfields Road and exclusive right turn lanes at the two driveways on Senator Ralph Scott Parkway. The second driveway on Trollingwood-Hawfields Road is proposed to align with the future extension of Lowes Boulevard. Additionally, the applicant will be required to maintain adequate sight lines at the westernmost driveway on Senator Ralph Scott Parkway. This requires obtaining an easement from the adjoining property owner.
CONSISTENCY WITH THE MEBANE BICYCLE AND PEDESTRIAN TRANSPORTATION PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
MULTIMODAL IMPROVEMENTS PROVIDED BY APPLICANT?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF MULTIMODAL IMPROVEMENTS	The applicant proposes to construct a sidewalk for the length of the property on the south side of Senator Ralph Scott Parkway.

STAFF RECOMMENDATION

STAFF ZONING RECOMMENDATION	<input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> DISAPPROVE
STAFF SPECIAL USE FINDING	<input type="checkbox"/> CONSISTENT <input type="checkbox"/> NOT CONSISTENT.....WITH <i>MEBANE BY DESIGN</i>
RATIONALE	The proposed development “Crow Industrial” is consistent with the guidance provided within Mebane By Design, the Mebane Comprehensive Land Development Plan. Specifically, it is located in an industrial growth strategy area and serves Goal 1.7. The site is part of the North Carolina Commerce Park and the proposed project is in harmony with nearby light and heavy industrial uses.



Technical Memorandum

Date: November 8, 2022

To: Ashley Ownbey - Development Director

From: Franz K. Holt, P.E - City Engineer

Subject: Crow Industrial at the NC Commerce Park (NCCP) – City Engineering review

Preliminary Site Plans for Crow Industrial at the NCCP dated November 7th, 2022, and prepared by George Retschle, P.E. with Ballentine Associates, PA of Chapel Hill, NC, have been reviewed by the Engineering Department as a part of the TRC process. Our technical memo comments are as follows:

A. General

- Crow Industrial proposed to locate three (3) industrial buildings on a 77.7 acres site located within the NCCP and fronting along Trollingwood-Hawfields Road and Senator Ralph Scott Parkway. Proposed Building 1/Lot 1 – 279,000 on 32.5 acres fronting on Trollingwood-Hawfields Road with two private driveway connections and Building 2/Lot 2 – 248,000 square feet on 22.1 acres fronting on Senator Ralph Scott Parkway with two private driveway connections with one being shared with Building 3/Lot 3 - 156,000 square feet on 23.1 acres.
- Stormwater management controls will be required to treat and detain the stormwater runoff from the proposed built upon surfaces meeting Mebane Phase II stormwater requirements for post-construction runoff.
- A Traffic Impact Analysis (TIA) has been completed for the site and reviewed by NCDOT and City with certain roadway improvements being identified to Trollingwood-Hawfields Road and Senator Ralph Scott Parkway. NCDOT review and approval will be required for utility encroachments, sidewalk improvements, the three proposed roadway connections, and roadway improvements associated with required turn lanes identified as a part of the TIA.
- Sidewalk is planned to be constructed with the proposed future development along Senator Ralph Scott Parkway (south side of roadway).
- The project proposes to dedicate a lot to the City of Mebane for a future fire station site located at the southwest quadrant of the Trollingwood-Hawfields Road and Sen. Ralph Scott Parkway.

B. Availability of City Water and Sewer

In accordance with the UDO, this memo is provided to indicate that I have reviewed the preliminary water and sewer system layout and find it acceptable and meets City standards based on the following:



1. Water system –

- Building 1 is proposed to be served with a 12-inch public water main extension along Trollingwood-Hawfields Road from a tap to Mebane’s 16-inch water main at Senator Ralph Scott Parkway. This 12-inch line will eventually be looped back to Lowes Blvd. with future development and may be considered for oversizing reimbursement per city policy.
- Buildings 2 and 3 are proposed to connect directly to Mebane’s 16-inch water main in Sen. Ralph Scott Parkway with a 12-inch shared tap with separate services from a header pipe.
- Anticipated water use for warehouse distribution is 100 gal/bay x 112 bays = 11,200 gallons per day.
- The City has adequate water capacity at the Graham-Mebane Water Plant to provide domestic water use and fire flows for the proposed development.
- Upon completion of public water main improvements, to City of Mebane requirements, they will become a part of Mebane’s water distribution system for ownership and maintenance.

2. Sanitary Sewer system –

- Building 1 is proposed to be served with an 8-inch private sewer extension connecting to a proposed 12-inch public sewer line installed as a part of the City of Mebane GKN Pump Station flow reroute project to Graham.
- Buildings 2 and 3 are proposed to be served through an 8-inch public sewer extension connecting to Mebane’s 15-inch sanitary sewer outfall.
- Anticipated wastewater use for warehouse distribution is 100 gal/bay x 112 bays = 11,200 gallons per day.
- The City has adequate wastewater capacity available in the downstream Mebane 15-inch sanitary sewer outfall, Graham’s 18-inch sanitary sewer outfall, Graham’s Cherry Lane Pump Station, and at the Graham Wastewater Treatment Plant. This wastewater flow does not account against Mebane’s 0.75 MGD purchased wastewater capacity agreement.
- Upon completion of public sewer main improvements, to City of Mebane requirements, they will become a part of Mebane’s sewer collection system for ownership and maintenance.

C. *Phase II Stormwater Post Construction Ordinance, Watershed Overlay District, and Falls Lake Watershed Stormwater Regulations*

1. Watershed Overlay District requirements are provided under Sec. 5.4 of the UDO. These requirements in the UDO are for the Back-Creek Watershed, which includes the Graham-Mebane Lake. These requirements do not apply as the project drains to Back Creek below the Graham-Mebane Lake dam with no restrictions on built upon area.



2. Phase II Stormwater Post Construction Ordinance

Sec. 5.3 in the UDO provides standards for Storm Water Management and 5.4.F requires compliance with the Mebane Post Construction Runoff Ordinance (which is a stand-alone ordinance titled the Phase II Stormwater Post Construction Ordinance (SPCO)). The standards in the UDO are general standards as the Ordinance itself provides detailed standards. The SPCO does apply to this project as it will disturb more than one acre of land and it is estimated that the new built upon will be more than 24% of the site. The project proposes to construct three privately maintained stormwater management control devices meeting the City's requirements for stormwater treatment and detention. Fencing is required with water pooling at 2 feet and above.

D. Storm Drainage System

Sec. 5-2. D. in the UDO provides requirements for storm drainage systems. The preliminary site plans include a preliminary layout of storm drainage swales, piping, and inlets that collect stormwater runoff that is directed to stormwater management control devices where treatment and detention occurs before being discharged off-site.

E. Street Access and TIA

The industrial development proposes two private driveway connections to Trollingwood-Hawfields Road (SR 1981) and two private driveway connections to Senator Ralph Scott Parkway (SR 2657). The TIA completed for the project provides for certain improvements to be installed at each driveway connection which has been reviewed by the City's Transportation Engineer (VHB) and NCDOT. NCDOT driveway permits, and encroachment agreements will be required for all related improvements inside NCDOT right-of-way. Findings and Requirements of the developer are as follows:

Driveway 1 at SR 1981

- Construct exclusive right turn lane with 100' of storage and appropriate taper.
- Construct exclusive left turn lane with 100' of storage and appropriate taper.
- One ingress and one egress lane under stop condition with 100' of protected stem length.

Driveway 2 at SR 1981

- Construct exclusive right turn lane with 100' of storage and appropriate taper.
- Construct exclusive left turn lane with 100' of storage and appropriate taper.
- One ingress and two egress lanes under stop condition with 100' of protected stem length aligning with future Lowes Blvd Extension.

Driveways 3 and 4 at SR 2657:

- Construct exclusive right turn lanes with 100' of storage and appropriate taper.
- One ingress and one egress lane under stop condition with 100' of protected stem length.
- Provide sight distance as required for driveway 4.



F. Construction Plan Submittal

The UDO indicates that construction plans for all street facilities, including water and sewer facilities, shall be submitted following preliminary plat or site plan approval; therefore, construction plans are not required as a part of the site plan review. A utility plan is provided which generally shows the proposed water lines, sewer lines, and storm drainage and stormwater management devices to indicate that the project is feasible for utility service and providing stormwater management. Appendix E, which is included in the UDO, is a Construction Document checklist which is to be provided at such time as construction plans are submitted after Preliminary Site Plan approval. Based on city engineering review of the referenced preliminary site plans, it is my opinion that said plans are in substantial compliance with the UDO.

G. Final Plat Recording

An early final plat recording is being sought by the developer allowing for building permits to be pulled for any or all 3 buildings prior to the installation of certain improvements. The city will accept security deposited with the city in the amount of 125% of the estimated and approved cost to guarantee their completion. These improvements include turn lanes to be bonded with NCDOT, sidewalk and related curb and gutter installation along the south side of Sen. Ralph Scott Parkway, public sewer to the fire station site, public sewer to buildings 2 and 3, public water to building 1, streetscape improvements, and permanent stormwater management devices. This allowance is granted through a developer requested waiver with the approval of the Mebane City Council. Prior to final certificate of occupancy for any or all buildings associated improvements must be completed with the exception of streetscape (weather sensitive) and stormwater management devices being converted to their permanent condition (permanent stabilization dependent). These improvements will be allowed to be bonded 2 years past final CO and may further be extended with staff approval.



November 8, 2022

George Retschle, PE
Ballentine Associates, PA
221 Providence Road
Chapel Hill, NC 27514

Subject: Crow Industrial at NCCP – Water and Sewer System

Regarding the subject Preliminary Site Plan and in accordance with the UDO, this letter is provided to indicate that I have reviewed the preliminary water and sewer system layout and find it acceptable and meets City standards based on the following:

1. Water system –

- Building 1 is proposed to be served with a 12-inch public water main extension along Trollingwood-Hawfields Road from a tap to Mebane's 16-inch water main at Senator Ralph Scott Parkway. This 12-inch line will eventually be looped back to Lowes Blvd. with future development and may be considered for oversizing reimbursement per city policy.
- Buildings 2 and 3 are proposed to connect directly to Mebane's 16-inch water main in Sen. Ralph Scott Parkway with a 12-inch shared tap with separate services from a header pipe.
- Anticipated water use for warehouse distribution is 100 gal/bay x 112 bays = 11,200 gallons per day.
- The City has adequate water capacity at the Graham-Mebane Water Plant to provide domestic water use and fire flows for the proposed development.
- Upon completion of public water main improvements, to City of Mebane requirements, they will become a part of Mebane's water distribution system for ownership and maintenance.

2. Sanitary Sewer system –

- Building 1 is proposed to be served with an 8-inch private sewer extension connecting to a proposed 12-inch public sewer line installed as a part of the City of Mebane GKN Pump Station flow reroute project to Graham.
- Buildings 2 and 3 are proposed to be served through an 8-inch public sewer extension connecting to Mebane's 15-inch sanitary sewer outfall.
- Anticipated wastewater use for warehouse distribution is 100 gal/bay x 112 bays = 11,200 gallons per day.
- The City has adequate wastewater capacity available in the downstream Mebane 15-inch sanitary sewer outfall, Graham's 18-inch sanitary sewer outfall, Graham's Cherry Lane Pump Station, and at the Graham Wastewater Treatment Plant. This wastewater flow does not count against Mebane's 0.75 MGD purchased wastewater capacity agreement.
- Upon completion of public sewer main improvements, to City of Mebane requirements, they will become a part of Mebane's sewer collection system for ownership and maintenance.

If there are any questions, please let me know.

Sincerely,

A handwritten signature in black ink that reads "Franz K. Holt".

Franz K. Holt, P.E. City Engineer

CC:

Ashley Ownbey - Development Director and Kyle Smith, P.E. – Utilities Director

CITY OF MEBANE

106 East Washington Street | Mebane, NC 27302

 919 563 5901

 fholt@cityofmebane.com

WWW.CITYOFMEBANE.COM

RAMEY KEMP ASSOCIATES

TOGETHER WE ARE LIMITLESS



T 919 872 5115

5808 Faringdon Pl,
Raleigh, NC 27609

October 7, 2022

TO: Ashley Ownbey
Interim Development Director
E: aownbey@cityofmebane.com

FROM: Craig J. Hyman, PE
Ramey Kemp Associates
E: chyman@rameykemp.com

SUBJECT: **Crow Industrial TIA Review Comments**

Ms. Ownbey:

Ramey Kemp Associates (RKA) has reviewed the subject TIA and issues the following comments.

Study Summary

The proposed site is a light industrial development located west of Trollingwood Hawfields Road, north of Senator Ralph Scott Parkway, and south of I-40/85 in Mebane, North Carolina. It consists of 683,000 square feet of warehouse space and will have access via two full movement driveways on Trollingwood Hawfields Road and two full movement driveways on Senator Ralph Scott Parkway. The northern most driveway on Trollingwood Hawfields Road will be restricted to passenger vehicles only (no trucks). The development is expected to be constructed by 2024.

The development is anticipated to generate approximately 2,619 daily trips during a typical weekday - with 468 trips occurring during the morning (AM) peak hour and 161 trips occurring during the afternoon (PM) peak hour. Analysis was performed for three (3) scenarios: 2022 Existing Conditions, 2024 Future No Build Conditions, and 2024 Future Build Conditions. NCDOT TIP project U-6013 will provide improvements at the intersection of NC 119 and Trollingwood Hawfields Road and is expected to be complete by 2024.

The study area intersections are anticipated to operate at acceptable levels of service with the following exceptions:

- **NC 119 at Trollingwood Hawfields Rd / Old Hillsborough Rd:** the intersection is expected to operate at an overall LOS E (AM) and D (PM) under no build and build conditions, with several approaches operating at LOS E or F, after the implementation of U-6013. However, the opportunity for additional improvements at this intersection is limited due to right-of-way and historic property constraints.
- **Trollingwood Hawfields Rd at Future Access #1:** the eastbound (Future Access #1) approach is anticipated to operate at LOS F during the AM and PM peak hours. This is not uncommon for an unsignalized minor approach at a major roadway with a high through volume.



- **Trollingwood Hawfields Rd at Future Access #2:** Future Access #2 is anticipated to operate at LOS E during the AM peak hour. This is not uncommon for an unsignalized minor approach at a major roadway with a high through volume.

The recommended improvements identified in the TIA are reasonable. Based on NCDOT warrants, right-turn lanes are warranted at both site driveways on Trollingwood Hawfields Road. The City should coordinate with the NCDOT District office to determine if these turn lanes should be required as part of the developer improvements.

The following comments relate to deviations from various NCDOT and/or City analysis guidelines. A revised TIA based on these comments is not requested. However, final required improvements may need to be noted, pending NCDOT turn lane requirements.

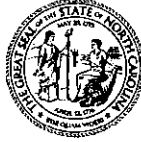
TIA Report

1. Level of service and delay are not reported for the westbound approach of Trollingwood Hawfields Rd at Sen. Ralph Scott Pkwy / Villa Strigo Dr.
2. Figure 8 - the entering and exiting site trips during the PM peak hour are each missing one trip when compared to the trip generation. However, this difference is not expected to significantly impact the analysis results.
3. Based on NCDOT's turn lane warrants, the following improvements are warranted:
 - A southbound right-turn lane with a minimum of 75 feet of full width storage plus appropriate taper is warranted along Trollingwood Hawfields Rd at Future Access #1. (AM right-turn volume: 62, opposing volume: 788)
 - A southbound right-turn lane with a minimum 50 feet of full width storage plus appropriate taper is warranted along Trollingwood Hawfields Rd at Future Access #2. (AM right-turn volume: 41, opposing volume: 755)

Based on traffic volumes, proximity to adjacent intersections and potential for increased truck volumes at Future Access #2, right-turn lanes should be considered at Future Access #1 and Future Access #2. Since Trollingwood Hawfields Rd is a NCDOT roadway, the City should coordinate with the NCDOT District Office to determine if right-turn lanes will be required at these driveways.

Synchro Analysis

1. In future submittals, consider anchoring the aerial image to the synchro network.
2. In future submittals, consider balancing volumes between intersections that do not have a sink/source (such as the bridge over I-85). The imbalances in the analysis are not expected to significantly impact the analysis results.



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J. ERIC BOYETTE
SECRETARY

November 7, 2022

ALAMANCE COUNTY

Nathaniel Rhomberg, PE
VHB Engineering NC, P.C.
940 Main Campus Drive, Suite 500
Raleigh, NC 27606

Subject: Proposed Crow Alamance Located on Trollingwood Hawfields Road (SR 1981)
and Senator Ralph Scott Parkway (SR 2657).
Review of Traffic Impact Analysis (TIA) Dated September 9, 2022

Dear Mr. Rhomberg,

NCDOT staff has completed a collaborative review with the City of Mebane of the above subject. This letter supersedes correspondence dated 9/26/2022, due to changes in the requirements for site access #1 on Trollingwood Hawfields Road. Based on the information provided we offer the following comments with regard to the State Road network.

General:

The proposed site is located near the intersection of Trollingwood Hawfields and Senator Ralph Scott Parkway in Mebane. The proposed site consists of 683,000 SF of light industrial and is expected to generate approximately 2,619 new daily trips upon full build out in 2024. The TIA indicates that specific land use(s) have not been identified and land use code (LUC) 110 was utilized as a conservative approach for estimation of site trips for the purposes of the analysis. The applicant should be aware that additional analysis may be necessary if ultimate uses are determined to result in trip generation substantially greater than that used for this study. The TIA analysis included two proposed accesses on Trollingwood Hawfields Road and two proposed accesses on Senator Ralph Scott Parkway.

NCDOT Committed Improvements:

NCDOT Transportation Improvement Project U-6013 includes widening NC 119 to multi-lanes, north of Trollingwood Hawfields Road / Old Hillsborough Road. This project is scheduled to let in 2023 with completion in 2026.

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DIVISION 7, DISTRICT 1
PO BOX 766
GRAHAM, NC 27253-0766

Telephone: (336) 570-6833
Fax: (336) 570-6873
Customer Service: 1-877-368-4968

Website: www.ncdot.gov

Location:
115 EAST CRESCENT SQUARE DRIVE
GRAHAM, NC 27253

This improvement was considered in future analysis scenarios.

Future Roadway Improvements By Others:

The Hawfields Landing development, subject to available right of way and environmental constraints, will provide an exclusive eastbound right-turn lane with 100 feet of storage and appropriate deceleration taper.

This improvement was considered in future analysis scenarios.

Findings and Requirements:

Based on the information provided, the developer will be required to construct the following road improvements to mitigate the anticipated impacts of site traffic.

Trollingwood Hawfields Road and Site Access #1 Intersection:

- Construct the full movement access, directly aligned with the existing truck stop driveway, with one ingress lane and one egress lane under stop control.
- Provide a minimum 100' internal protected stem.
- Provide an exclusive left-turn lane on Trollingwood Hawfields Road with 100 feet of storage and appropriate transitions.
- Provide an exclusive right-turn lane on Trollingwood Hawfields Road with 100 feet of storage and appropriate deceleration taper.

Trollingwood Hawfields Road and Site Access #2 Intersection:

- Construct the full movement access with one ingress lane and two egress lanes under stop control.
- Provide a minimum 100' internal protected stem.
- Provide an exclusive right-turn lane on Trollingwood Hawfields Road with 100 feet of storage and appropriate deceleration taper.
- Provide an exclusive left-turn lane on Trollingwood Hawfields Road with 100 feet of storage and appropriate transitions.

Senator Ralph Scott Parkway and Site Access #3 Intersection:

- Construct the full movement access with one ingress lane and one egress lane under stop control.
- Provide a minimum 100' internal protected stem.
- Provide an exclusive right-turn lane on Senator Ralph Scott Parkway with 100 feet of storage and appropriate deceleration taper.

Senator Ralph Scott Parkway and Site Access #4 Intersection:

- Construct the full movement access with one ingress lane and one egress lane under stop control.
- Provide a minimum 100' internal protected stem.
- Provide an exclusive right-turn lane on Senator Ralph Scott Parkway with 100 feet of storage and appropriate deceleration taper.

Intersection Sight Distance:

- After a field assessment, it has been noted that there are marginally acceptable sight lines at site accesses #1 and #2 and there are less than desirable sight lines at site access #4.
- Evaluate these site accesses to ensure adequate sight lines are provided and maintained, as well as provide appropriate sight distance easements.

Multi-modal and Streetscape Enhancements:

Any locally stipulated multi-modal enhancements including but not limited to sidewalk, bike lanes, bus pull offs, lighting, landscaping etc. on State maintained routes are subject to NCDOT requirements and approval through the encroachment process.

General Requirements:

It is necessary to obtain an approved driveway permit and/or encroachment agreement(s) prior to performing work on the NCDOT right of way. As a condition of the permit, the permittee shall be responsible for design and construction of the above stipulated improvements in accordance with NCDOT requirements. An approved permit will be issued upon receipt of approved site plan, roadway and signal construction plans as needed, inspection fee, and any necessary performance and indemnity bonds.

The applicant shall dedicate any additional right of way necessary to accommodate the required road improvements or future improvements as stipulated.

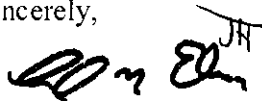
Intersection radii and geometry shall be designed to accommodate turning movements of the largest anticipated vehicle.

All pavement markings shall be long life thermoplastic. Pavement markers shall be installed if they previously existed on the roadway.

The permittee shall be responsible for the installation and relocation of any additional highway signs that may be necessary due to these improvements and shall comply with the requirements of the MUTCD.

Feel free to contact me if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'C. N. Edwards Jr.', with a stylized flourish above the name.

C. N. Edwards Jr., PE
District Engineer

Cc: W.R. Archer, III, PE, Division Engineer
D.M. McPherson, Division Traffic Engineer
City of Mebane



Memo:

Date: November 29, 2022

To: Ashley Ownbey, Development Director

From: Franz Holt, City Engineer

Re: Crow Holdings Industrial at NCCP – Final Subdivision Plat recording

Crow Holdings Industrial (Crow) has requested an early recording of a final subdivision plat to allow for the creation of individual lots with secured improvements not yet constructed requiring Council approval. This approval would allow Crow to construct three (3) large industrial buildings in conjunction with required site improvements being installed. Additionally, Crow would be able to transfer the proposed fire station no. 5 lot to the City of Mebane (when requested).

Reasons to consider the waiver are as follows:

- The guarantee of emergency access by the developer meeting Fire Department's requirements.
- Simultaneous construction of public improvements with individual site improvements.
- Crow is not selling the industrial lots but retaining them to build on.
- Public water and sewer are currently on-site not requiring off-site extension.
- Roadway improvements to Trollingwood-Hawfields Road and Senator Ralph Scott Parkway will be bonded with NCDOT with the issuance of driveway permits.

Furthermore, the city will accept security deposited with the city in the amount of 125% of the estimated and approved cost to guarantee their completion. These improvements include turn lanes to be bonded with NCDOT, sidewalk and related curb and gutter installation along the south side of Sen. Ralph Scott Parkway, public sewer to the fire station site, public sewer to buildings 2 and 3, public water to building 1, streetscape improvements, and permanent stormwater management devices.

Prior to a final certificate of occupancy being issued for any building, the above improvements must be completed except for streetscape (weather sensitive) and stormwater management devices being converted to their permanent condition (permanent stabilization dependent). These improvements may be bonded 2 years past final CO and extended further with staff approval, if needed.



AGENDA ITEM #6C

RZ 22-012

Rezoning –304 E Washington St

Presenter

Ashley Ownbey, Development Director

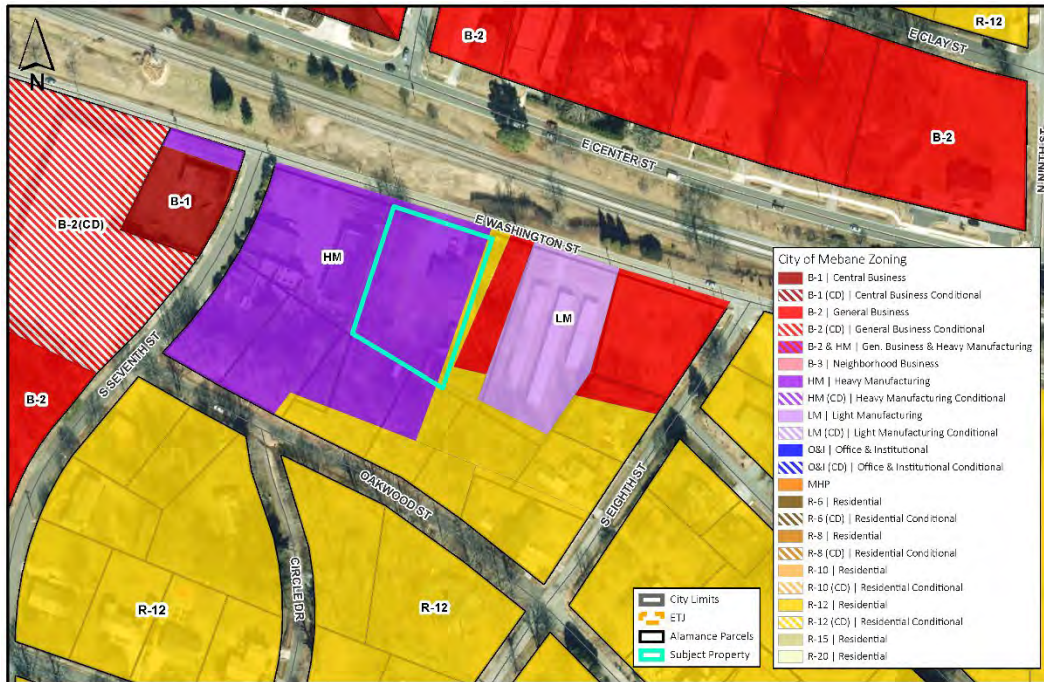
Applicant

TRG Capital, LLC
304 E Washington St
Mebane, NC 27302

Public Hearing

Yes No

Zoning Map



Property

304 E Washington St
St GPIN 9825231392

Proposed Zoning

O&I

Current Zoning

HM

Size

+/- 0.74 acres

Surrounding Zoning

R-12, HM, LM, B-2, B-1

Adjacent Land Uses

Single-Family Residential, Commercial, Vacant

Utilities

Water and sewer present

Floodplain

No

Watershed

Yes

City Limits

City Limits



CITY OF MEBANE
ZONING MAP

General Rezoning
304 E Washington St

1 inch = 155 feet

DATE: 11/08/22

DRAWN BY: AV

Summary

TRG Capital, LLC is requesting to rezone the +/- 32,234.4 s.f. property addressed 304 E. Washington St. (Alamance County GPIN 9825231392), from HM, Heavy Manufacturing, to O&I, Office and Institutional.

The property is developed with one structure currently being used as an office building. The existing "General Office" use is not permitted in the HM Zoning District and is considered nonconforming. Rezoning the property will bring the current use into conformity and enable the applicant to expand the use. The property meets the minimum lot area and lot width and can accommodate the minimum setbacks required for the O&I Zoning District.

The surrounding zoning in the area includes HM, R-12, B-2, and LM. Several of the adjoining HM lots are occupied by the Mebane Home Telephone Company. The remaining HM lots are owned by the applicant and are proposed to be rezoned. Surrounding land uses include single-family residential, self-storage, and vacant land. A variety of business uses are present across the railroad right-of-way.

The subject property is located in the G-1 Mixed Use Growth Strategy Area for the Downtown area. The proposed rezoning is consistent with the guidance provided within *Mebane By Design*, the Mebane Comprehensive Land Development Plan. The proposed rezoning will be of a lesser intensity compared to the existing zoning and bring the current use of the property into conformance with the Unified Development Ordinance.

A project report has not been provided for this general rezoning request due to the simplicity of the request and lack of site details.

Financial Impact

The developer will be required to make any improvements at their own expense.

Recommendation

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval.

Suggested Motion

1. Motion to approve the O&I rezoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. Specifically, the request:
 - Is for a property within the City's G-1 Mixed Use Growth Area and provides a small business use in the Downtown District (Mebane CLP, p.68), and is consistent with Growth Management Goal 1.1 (p. 17 & 82) to encourage a variety of uses.

OR

3. Motion to **deny** the O&I rezoning as presented due to a lack of

a. Harmony with the surrounding zoning.

OR

b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design* or any of the City's other adopted plans.

Attachments

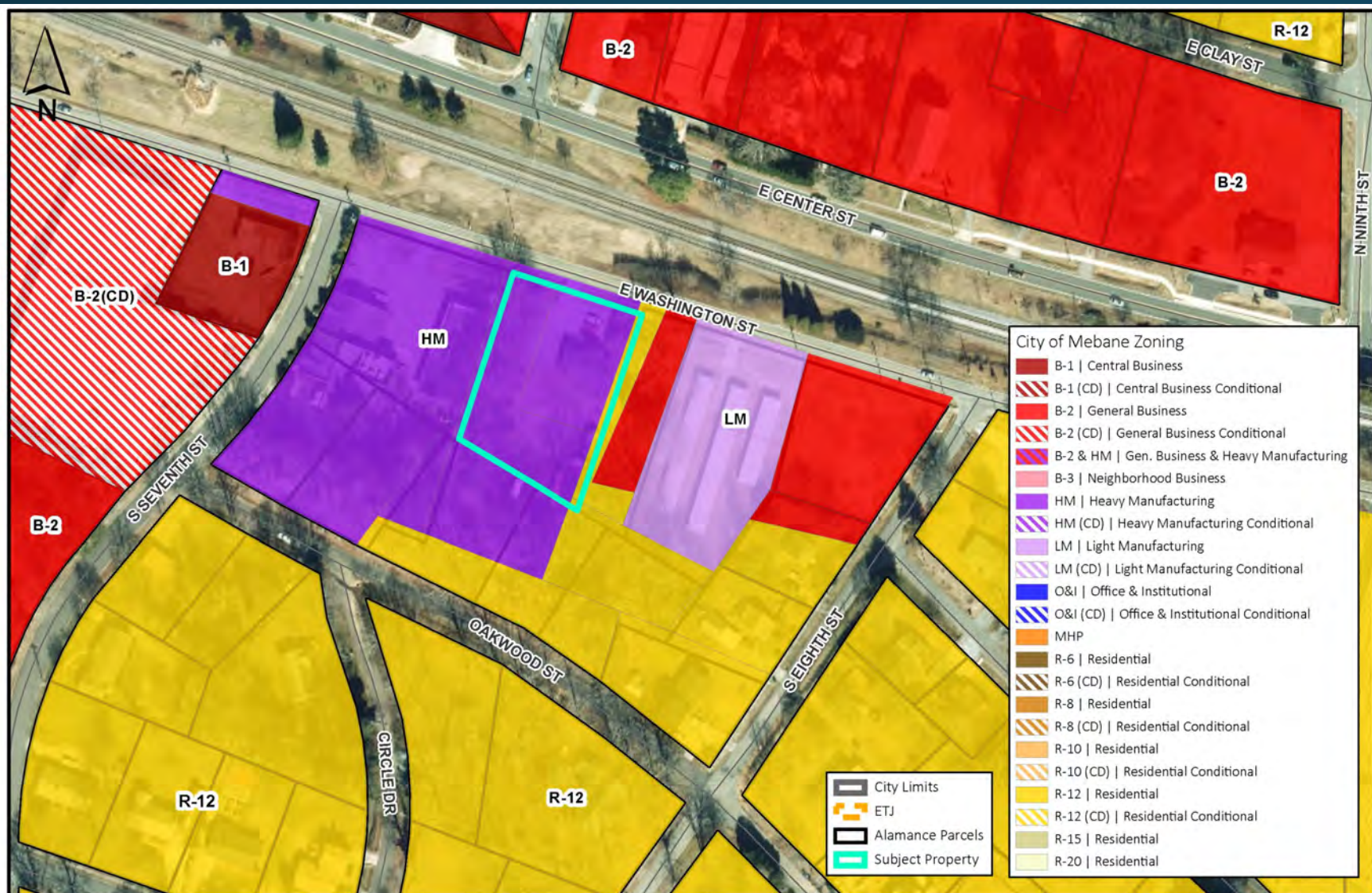
1. Preliminary Presentation Slides
2. Zoning Amendment Application
3. Zoning Map
4. Future Growth Area Map



Ashley Ownbey, Development Director

Rezoning Request: HM to O&I
by TRG Capital, LLC





City of Mebane Zoning

	B-1 Central Business
	B-1 (CD) Central Business Conditional
	B-2 General Business
	B-2 (CD) General Business Conditional
	B-2 & HM Gen. Business & Heavy Manufacturing
	B-3 Neighborhood Business
	HM Heavy Manufacturing
	HM (CD) Heavy Manufacturing Conditional
	LM Light Manufacturing
	LM (CD) Light Manufacturing Conditional
	O&I Office & Institutional
	O&I (CD) Office & Institutional Conditional
	MHP
	R-6 Residential
	R-6 (CD) Residential Conditional
	R-8 Residential
	R-8 (CD) Residential Conditional
	R-10 Residential
	R-10 (CD) Residential Conditional
	R-12 Residential
	R-12 (CD) Residential Conditional
	R-15 Residential
	R-20 Residential

	City Limits
	ETJ
	Alamance Parcels
	Subject Property

304 E Washington St General Rezoning Request

- Applicant: TRG Capital, LLC
- +/- 0.74 acres / 32,234 s.f.
- Existing Zoning: HM Heavy Manufacturing
- Requested zoning: O&I Office and Institutional
- Surrounding Zoning: R-12, HM, LM, B-2, B-1



CITY OF MEBANE
ZONING MAP

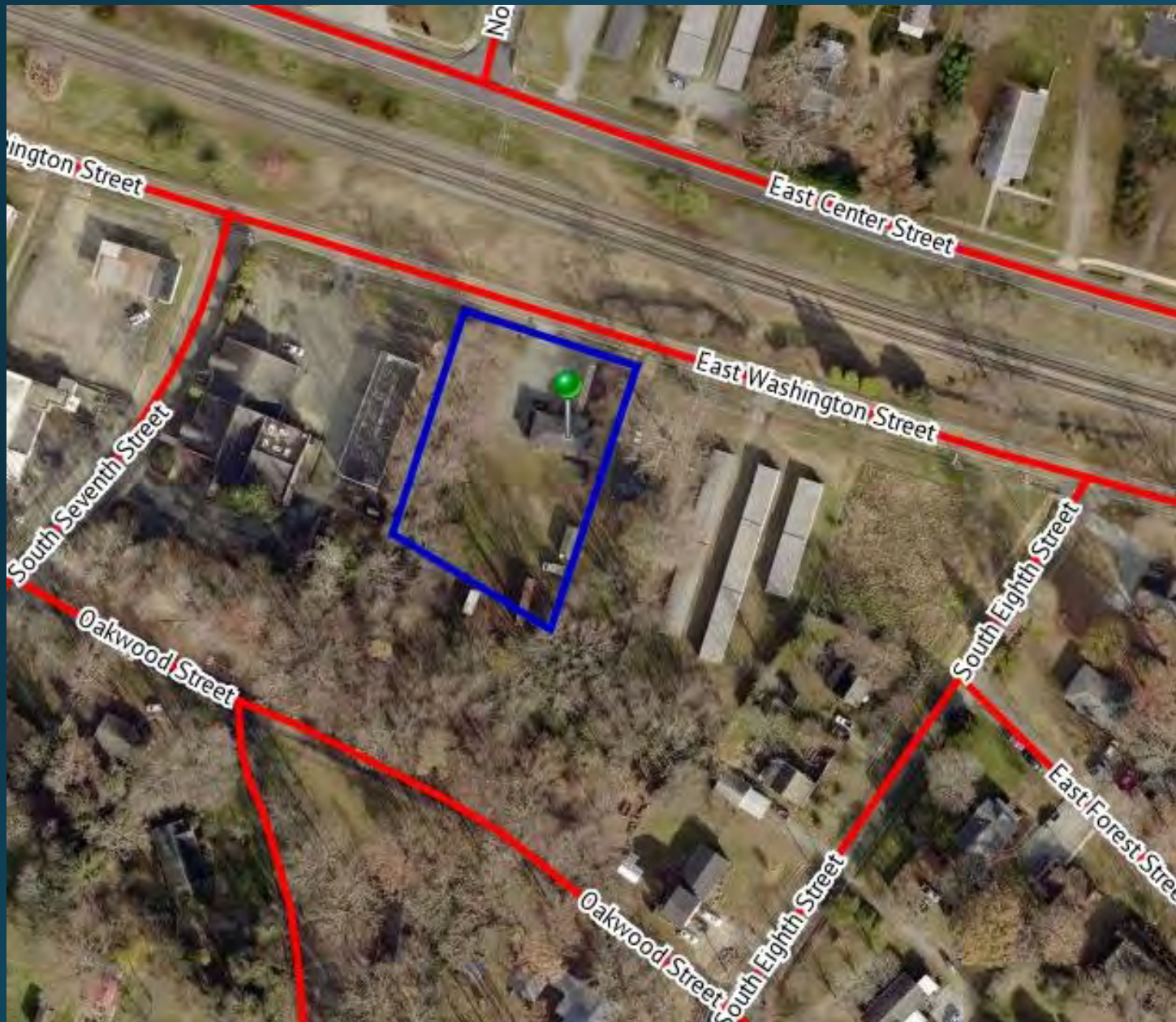
General Rezoning
304 E Washington St

1 inch = 155 feet

DATE: 11/08/22

DRAWN BY: AV

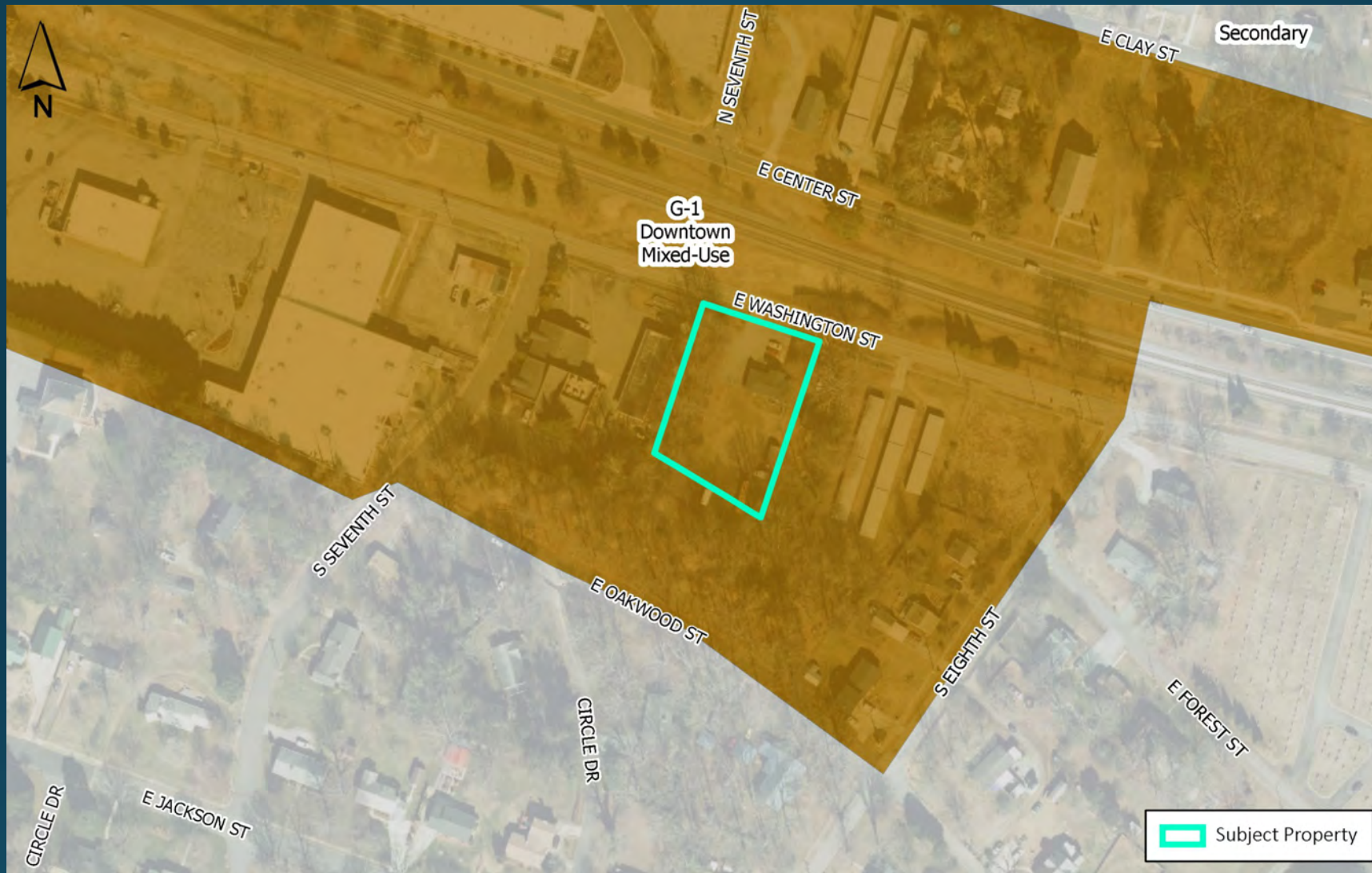




304 E Washington St General Rezoning Request

- Existing non-conforming office use
- O&I rezoning will bring the current use into conformity
- Surrounding land uses include:
 - single-family residential
 - self-storage
 - vacant land
 - Mebane Home Telephone Company
 - General business across the railroad





304 E Washington General Rezoning Request

- *Mebane By Design* Primary Downtown Mixed-Use Growth Strategy Area





Applicant Presentation





APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: TRG Capital, LLC

Address of Applicant: 304 East Washington Street, Mebane NC 27302

Address and brief description of property to be rezoned: 304 East Washington Street

GPIN 9825231392, Parcel ID 168645

Applicant's interest in property: (Owned, leased or otherwise) Parcel Owner

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes ___ Explain: _____ No X *John*

Type of re-zoning requested: ~~B-2 General Business~~ O+I (Office and Institutional)

Sketch attached: Yes _____ No X

Reason for the requested re-zoning: To make parcel more consistent with current use and neighboring uses in the area.

Signed: *[Signature]*

Date: 10/25/2022

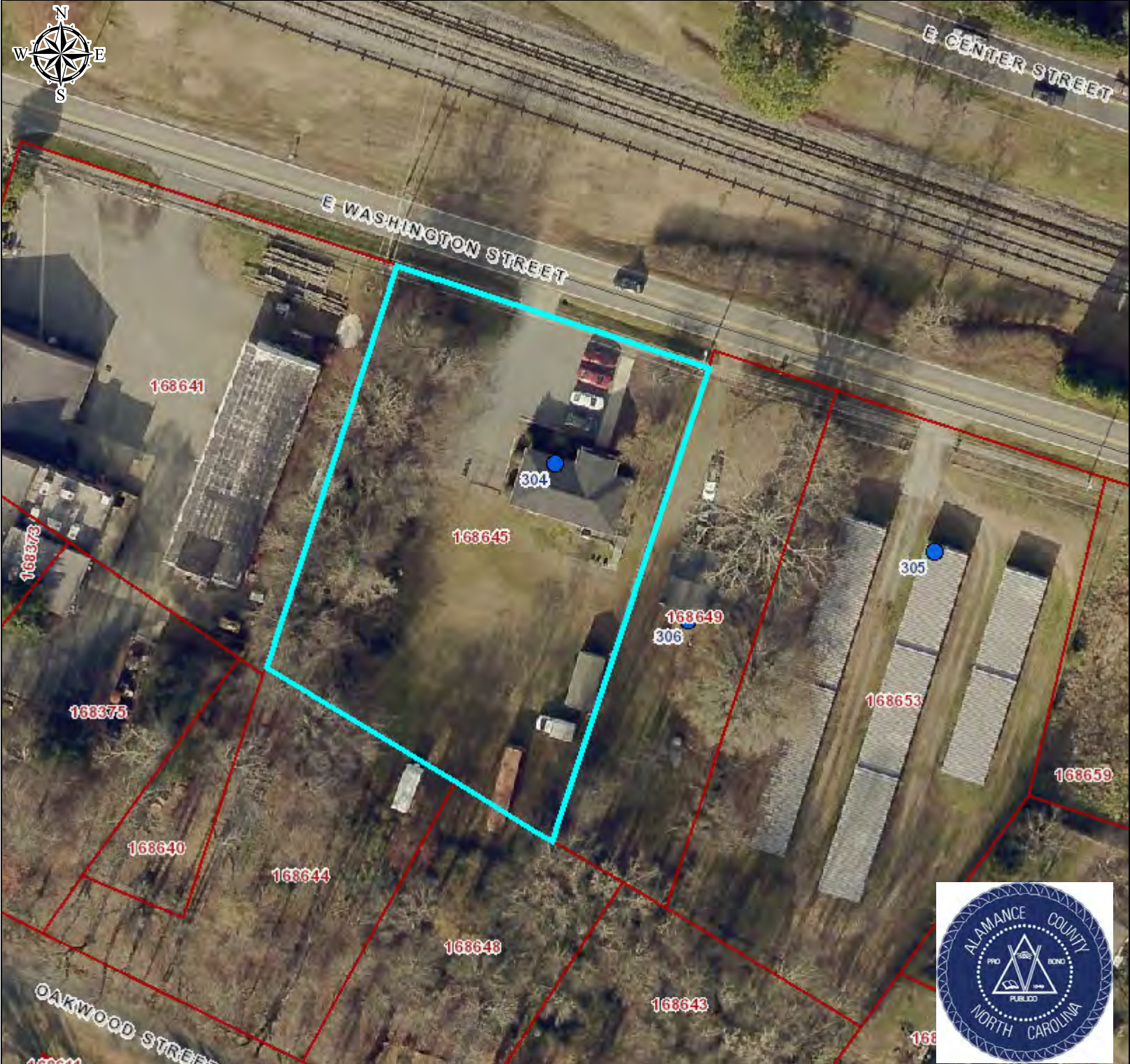
Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.



Owner Name: TRG CAPITAL LLC

304 E WASHINGTON ST
MEBANE, NC 27302
GPIN: 9825231392
PID: 216-855-46

October 24, 2022

1:756

0 0.009 0.018 mi

Address Points

- Address
- Tax Address
- Preliminary Address

Heavy Industrial Development Applicants

- APPLIED FOR PERMIT

- PERMIT APPROVED
- PERMIT RENEWED
- UNDER CONSTRUCTION

Streets

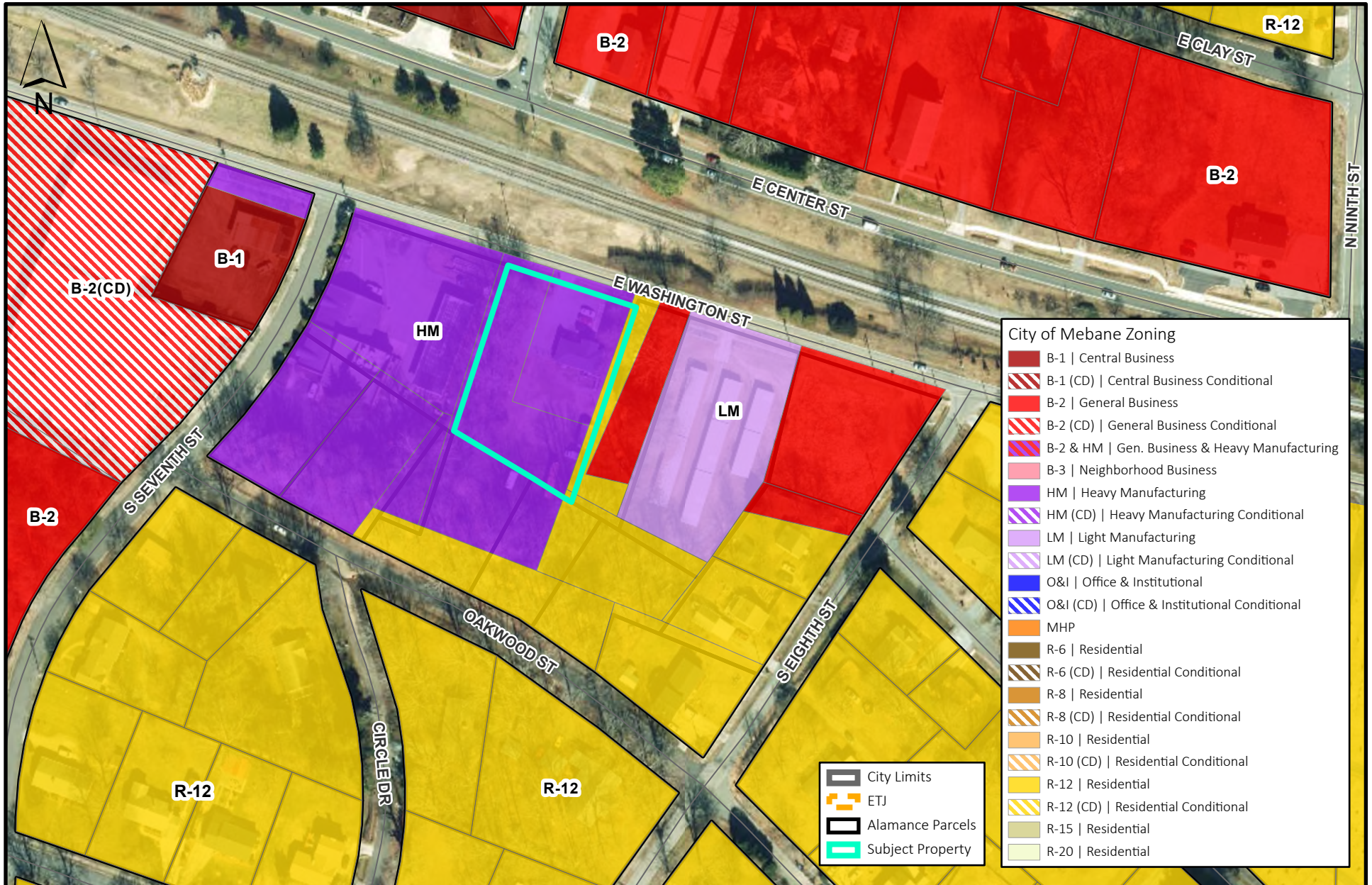
- Roads
- Preliminary Roads

- Private Roads
- 390 - TRAIL
- 391 - TRAIL
- 392 - TRAIL
- 393 - TRAIL
- 394 - TRAIL
- 395 - TRAIL
- Railroads
- County Line

DISCLAIMER:
The data sets and maps available are not survey grade or a legal document. They are a best approximation of what is on the ground, but do contain errors. The data comes from various sources nationally, the state of North Carolina, and here in Alamance County. Alamance County will not be held responsible for the misuse, misrepresentation, or misinterpretation of the data or maps. These maps and data are a service provided for the benefit for Alamance County citizens. We constantly strive to improve the quality and expand the amount of data and maps available.

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Swire, Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Alamance County GIS
Alamance County Tax Department



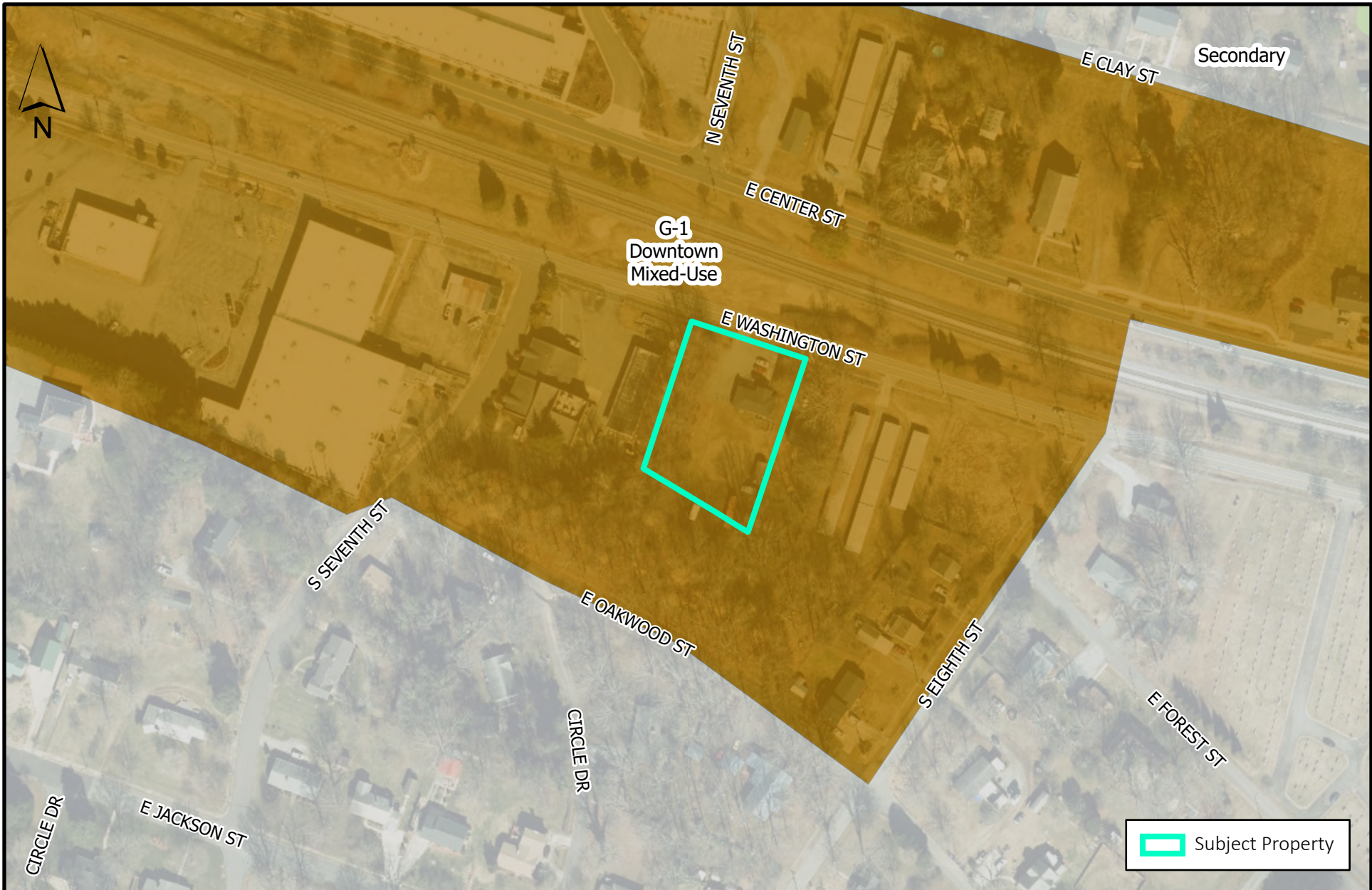
CITY OF MEBANE ZONING MAP

General Rezoning 304 E Washington St

1 inch = 155 feet

DATE: 11/08/22

DRAWN BY: AV



CITY OF MEBANE
Future Growth Area Map

General Rezoning
304 E Washington St

1 inch = 175 feet

DATE: 11/08/22

DRAWN BY: AV



AGENDA ITEM #6D

RZ 22-013

Rezoning – Oakwood St Parcel ID 168644

Presenter

Ashley Ownbey, Development Director

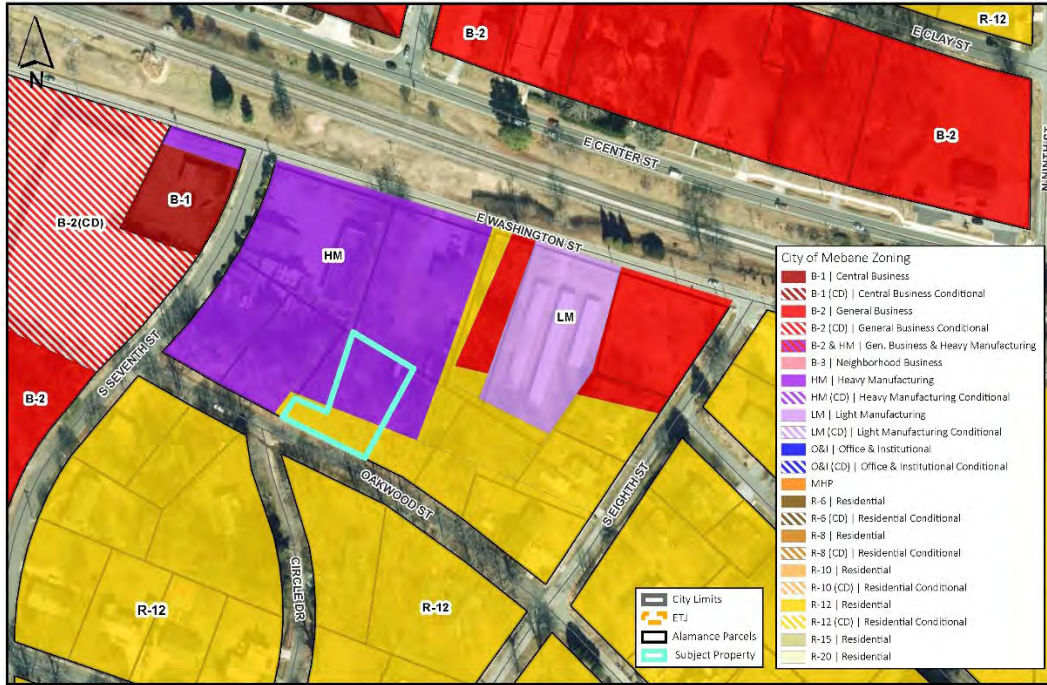
Applicant

TRG Capital, LLC
304 E. Washington St.
Mebane, NC 27302

Public Hearing

Yes No

Zoning Map



Property

PIN 982523121

Proposed Zoning

R-12

Current Zoning

HM and R-12

Size

+/- 15,681

Surrounding Zoning

R-12, HM, LM, B-2, B-1

Adjacent Land Uses

Single-Family
Residential,
Commercial, Vacant

Utilities

Sewer available, water
requires extension

Floodplain

No

Watershed

Yes

City Limits

City Limits

	CITY OF MEBANE ZONING MAP	General Rezoning Parcel ID 168644 <small>1 inch = 155 feet</small>	DATE: 11/08/22
			DRAWN BY: AV

Summary

TRG Capital, LLC is requesting to rezone the +/- 15,681 s.f. unaddressed property with frontage on Oakwood Street (Alamance County GPIN 982523121), from HM and R-12 to R-12.

The property is currently vacant and located within the Mebane City Limits. The purpose of the R-12 zoning request is to eliminate the HM split zoning on the property. The lot meets the minimum lot area and lot width and can accommodate the minimum setbacks required for the R-12 Zoning District. Sewer is available in the area. Water will require an extension or easements to serve the property. The applicant will be required to make any improvements at their own expense.

The surrounding zoning in the area includes HM, R-12, B-2, and LM. Several of the adjoining HM lots are occupied by the Mebane Home Telephone Company. The remaining HM lots are owned by the applicant and are proposed to be rezoned. Surrounding land uses include single-family residential, self-storage, and vacant land.

The subject property is located in the G-1 Mixed Use Growth Strategy Area for the Downtown area. The proposed rezoning is consistent with the guidance provided within *Mebane By Design*, the City's Comprehensive Land Development Plan. The proposed rezoning will be a continuance of the R-12 zoning to the south and the east of the property and eliminate the range of incompatible uses allowed by the existing HM zoning.

A project report has not been provided for this general rezoning request due to the simplicity of the request and lack of site details.

Financial Impact

The applicant will be required to make any improvements at their own expense.

Recommendation

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval.

Suggested Motion

1. Motion to approve the R-12 rezoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. The request:
 - Is for a property within the City's G-1 Mixed Use Growth Area and provides a residential use in the Downtown District (Mebane CLP, p.68), and is consistent with Growth Management Goal 1.1 (p. 17 & 82) to encourage a variety of uses.

OR

3. Motion to **deny** the R-12 rezoning as presented due to a lack of
 - a. Harmony with the surrounding zoning.

OR

- b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design* or any of the City's other adopted plans.

Attachments

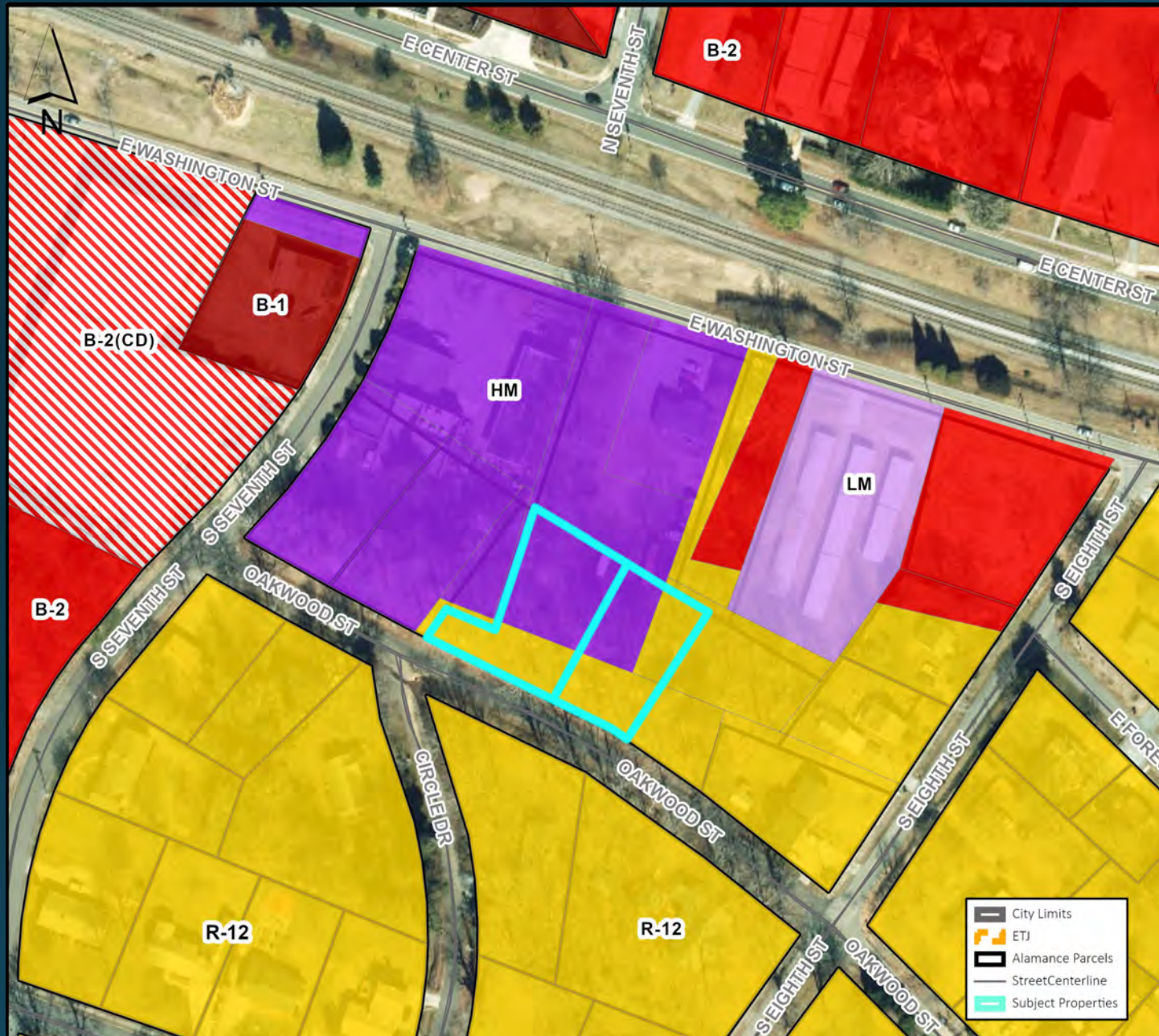
1. Preliminary Presentation Slides
2. Zoning Amendment Application
3. Zoning Map
4. Future Growth Area Map



Ashley Ownbey, Development Director

Rezoning Requests: HM and R-12 to R-12
by TRG Capital, LLC

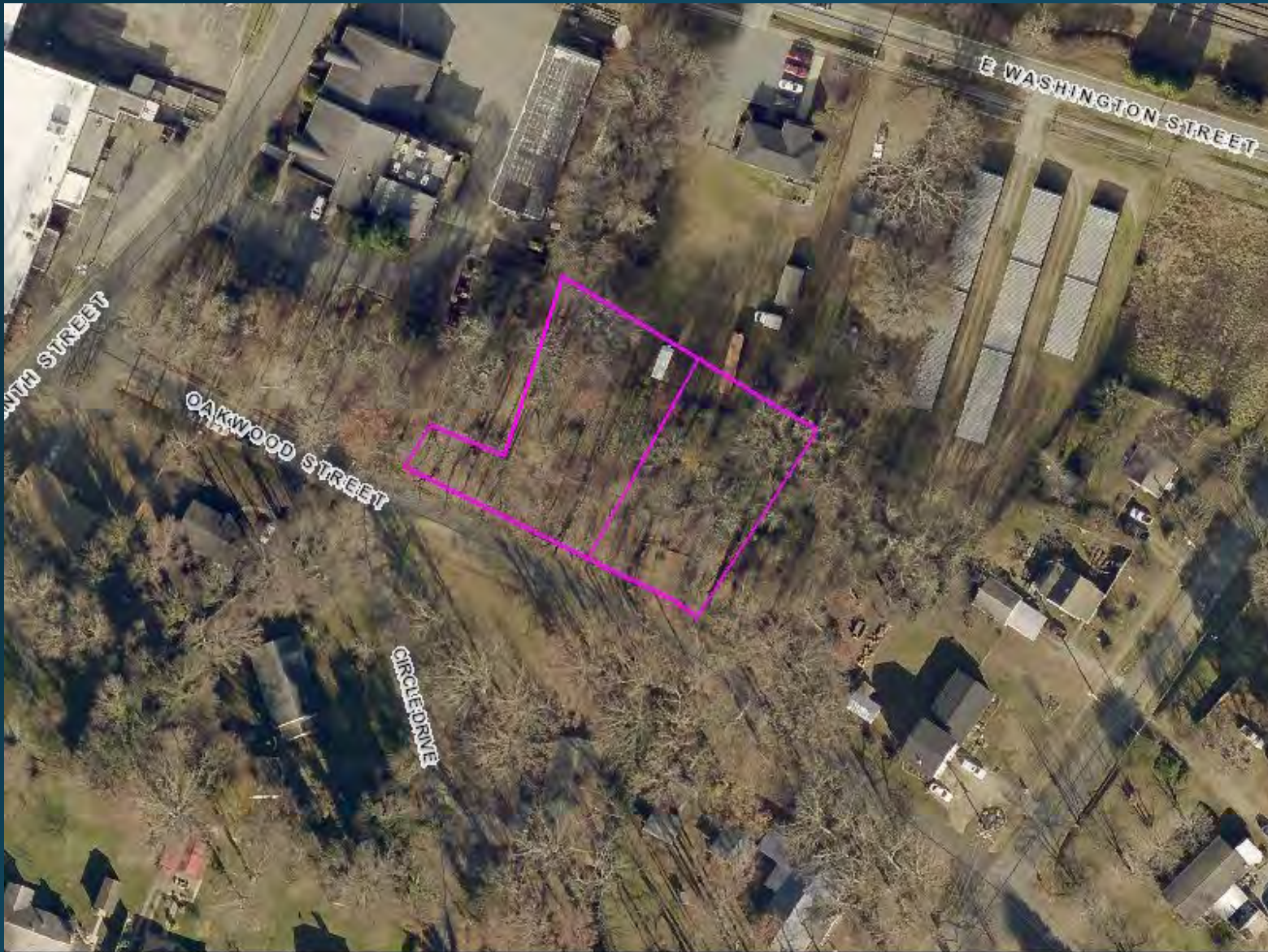




Oakwood St Parcels 168644 & 168648 General Rezoning Request

- Applicant: TRG Capital, LLC
- Parcel 168644 : +/- 15,681
- Parcel 168648 : +/- 12,632
- Existing Zoning: HM Heavy Manufacturing and R-12
- Requested Zoning: R-12
- Surrounding Zoning: R-12, HM, LM, B-2, B-1

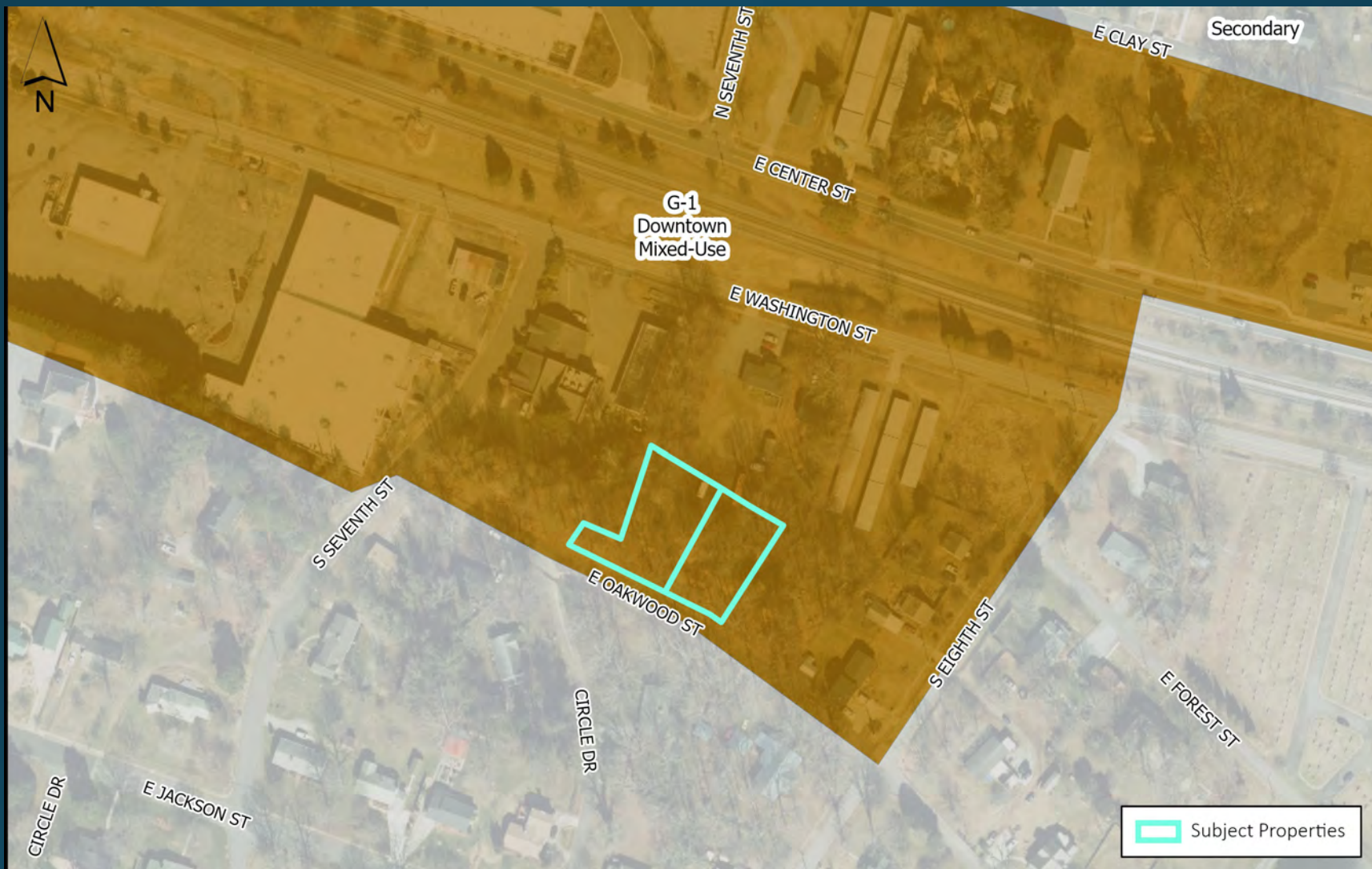




Oakwood St Parcels 168644 & 168648 General Rezoning Request

- Both properties are vacant
- Surrounding land uses include:
 - single-family residential
 - self-storage
 - vacant land
 - Mebane Home Telephone Company
 - General business





Oakwood St Parcels 168644 & 168648 General Rezoning Request

- *Mebane By Design* Primary Downtown Mixed-Use Growth Strategy Area





Applicant Presentation





APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: TRG Capital, LLC

Address of Applicant: 304 East Washington Street, Mebane NC 27302

Address and brief description of property to be rezoned: Oakwood Street (no address)

GPIN 9825231212, Parcel ID 168644

Applicant's interest in property: (Owned, leased or otherwise) Parcel Owner

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes ___ Explain: _____ No X

Type of re-zoning requested: R-12 Residential

Sketch attached: Yes _____ No X

Reason for the requested re-zoning: To make parcel more consistent with other

Oakwood parcels and unify the parcel to a single zone.

Signed: [Signature]

Date: 10/25/2022

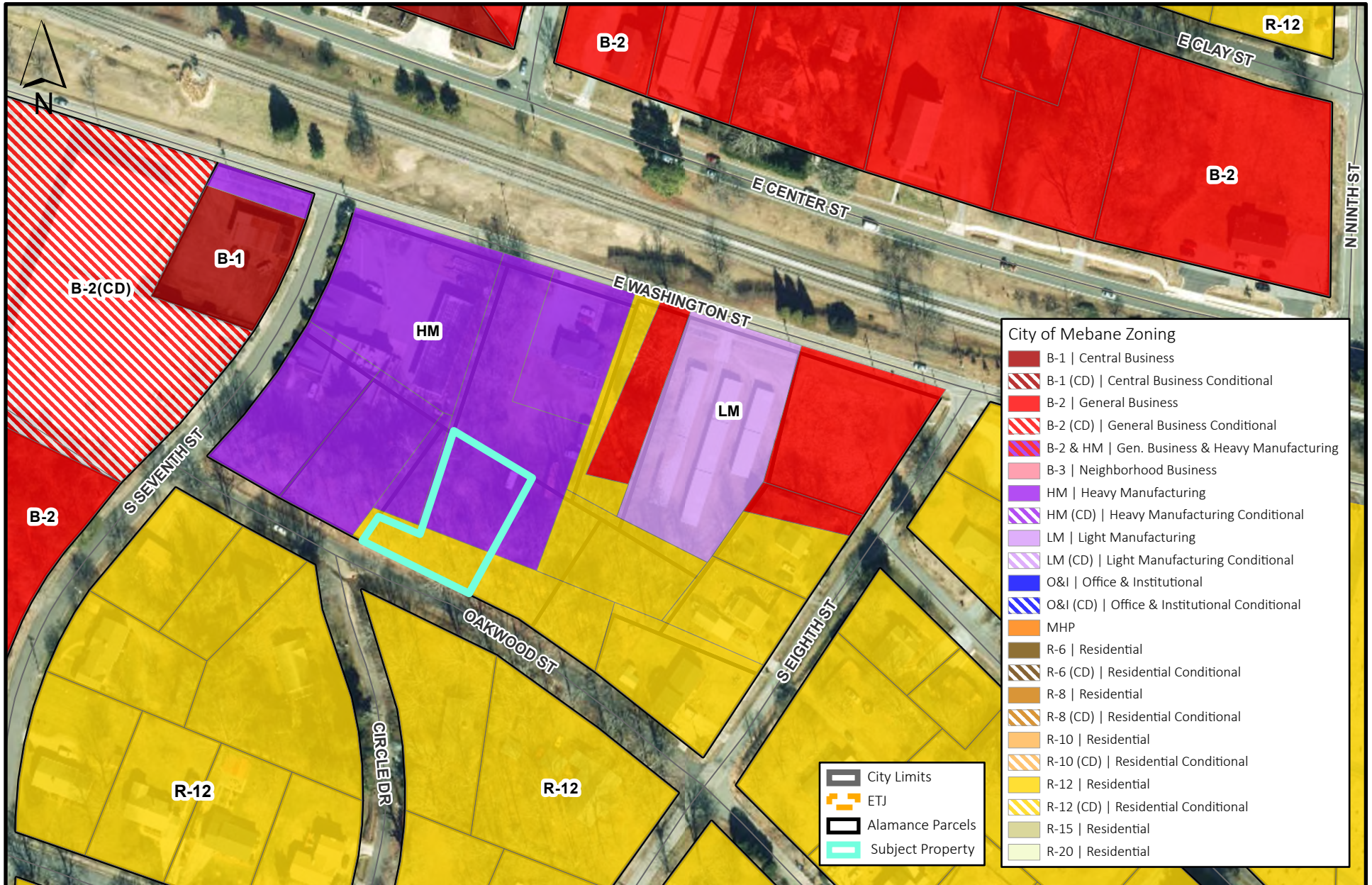
Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.



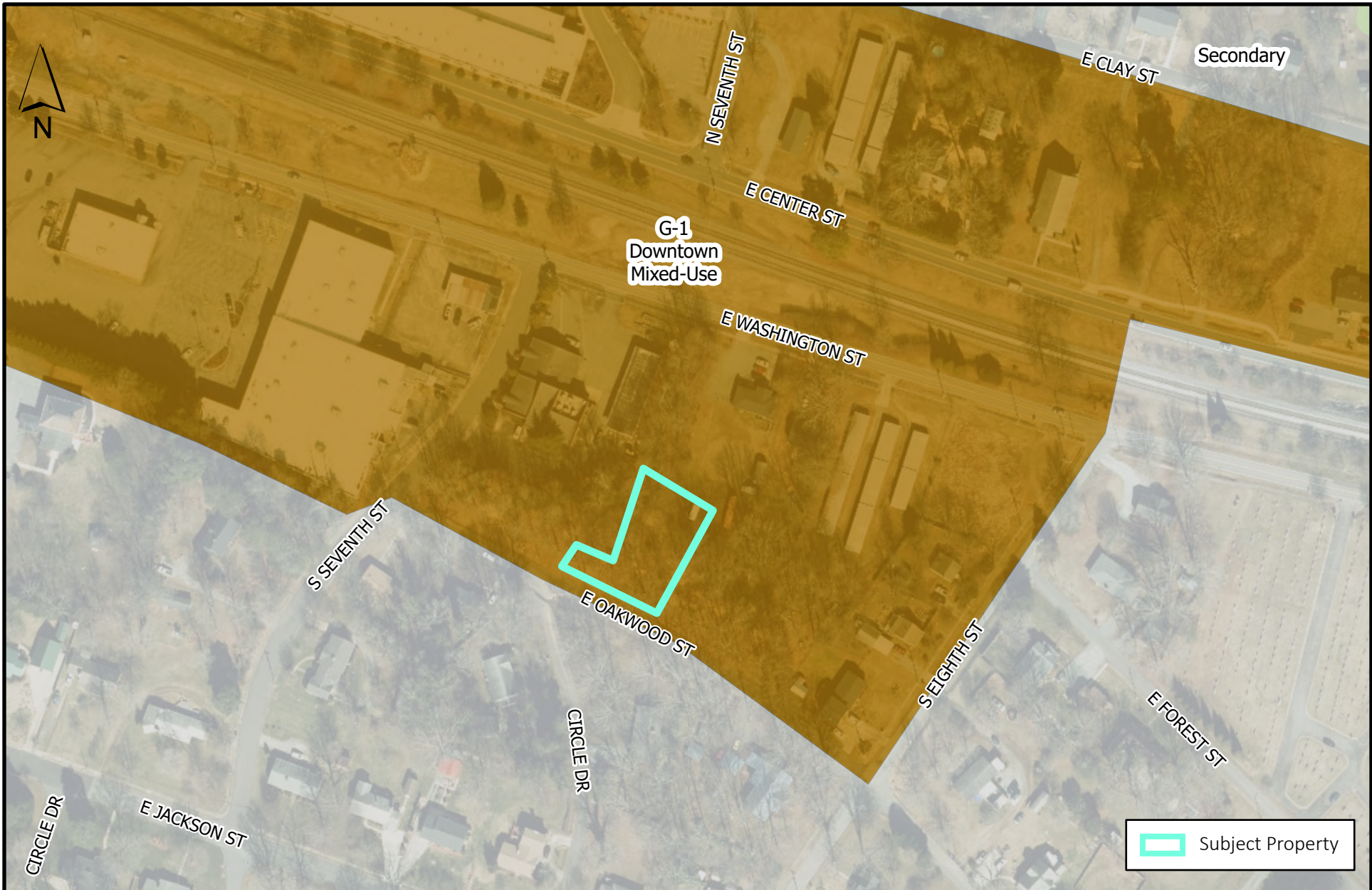
CITY OF MEBANE ZONING MAP

General Rezoning Parcel ID 168644

1 inch = 155 feet

DATE: 11/08/22

DRAWN BY: AV



CITY OF MEBANE
Future Growth Area Map

General Rezoning
304 E Washington St

1 inch = 175 feet

DATE: 11/08/22

DRAWN BY: AV



AGENDA ITEM #6E

RZ 22-013

Rezoning – Oakwood St Parcel ID 168648

Presenter

Ashley Ownbey, Development Director

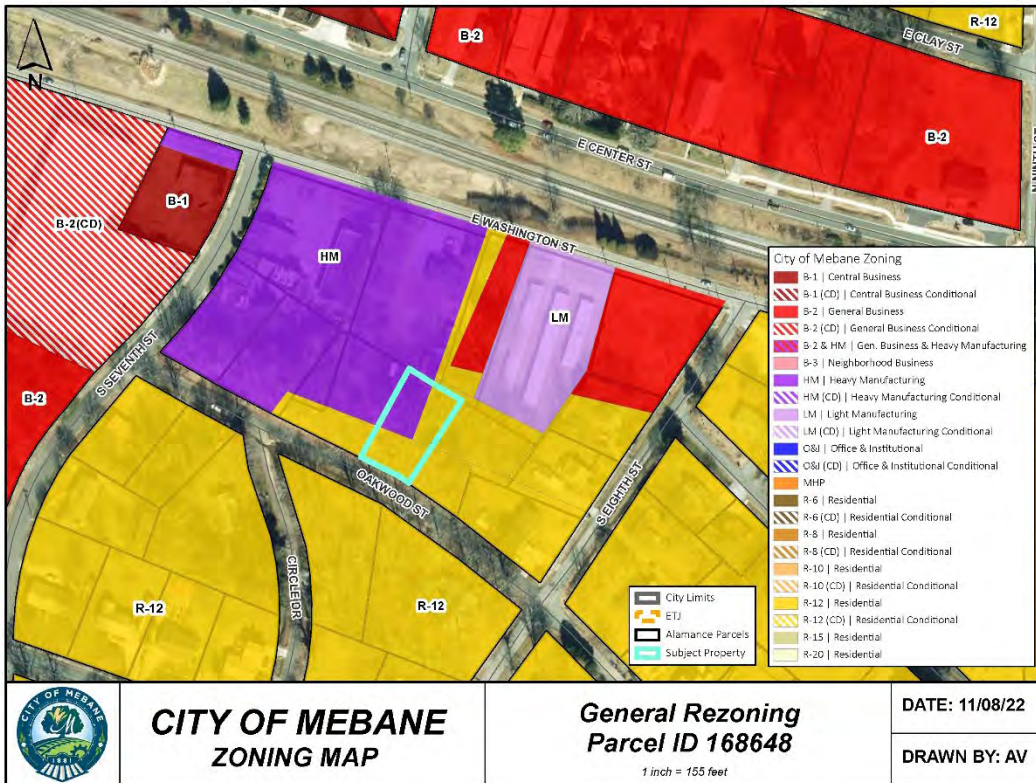
Applicant

TRG Capital, LLC
304 E. Washington St.
Mebane, NC 27302

Public Hearing

Yes No

Zoning Map



Property

PIN 9825232048

Proposed Zoning

R-12

Current Zoning

HM and R-12

Size

+/- 12,632

Surrounding Zoning

R-12, HM, LM, B-2, B-1

Adjacent Land Uses

Single-Family
Residential,
Commercial, Vacant

Utilities

Sewer available, water
requires extension

Floodplain

No

Watershed

Yes

City Limits

City Limits

Summary

TRG Capital, LLC is requesting to rezone the +/- 12,632 s.f. unaddressed property with frontage on Oakwood Street (Alamance County GPIN 9825232048), from HM and R-12 to R-12.

The property is currently vacant and located within the Mebane City Limits. The purpose of the R-12 zoning request is to eliminate the HM split zoning on the property. The lot meets the minimum lot area and lot width and can accommodate the minimum setbacks required for the R-12 Zoning District. Sewer is available in the area. Water will require an extension or easements to serve the property. The applicant will be required to make any improvements at their own expense.

The surrounding zoning in the area includes HM, R-12, B-2, and LM. Several of the adjoining HM lots are occupied by the Mebane Home Telephone Company. The remaining HM lots are owned by the applicant and are proposed to be rezoned. Surrounding land uses include single-family residential, office, self-storage, and vacant land.

The subject property is located in the G-1 Mixed Use Growth Strategy Area for the Downtown area. The proposed rezoning is consistent with the guidance provided within *Mebane By Design*, the City's Comprehensive Land Development Plan. The proposed rezoning will be a continuance of the R-12 zoning to the south and the east of the property and eliminate the range of incompatible uses allowed by the existing HM zoning.

A project report has not been provided for this general rezoning request due to the simplicity of the request and lack of site details.

Financial Impact

The applicant will be required to make any improvements at their own expense.

Recommendation

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval.

Suggested Motion

1. Motion to approve the R-12 rezoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. The request:
 - Is for a property within the City's G-1 Mixed Use Growth Area and provides a residential use in the Downtown Districts (Mebane CLP, p.68), and is consistent with Growth Management Goal 1.1 (p. 17 & 82) to encourage a variety of uses.

OR

3. Motion to **deny** the R-12 rezoning as presented due to a lack of

- a. Harmony with the surrounding zoning.

OR

- b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design* or any of the City's other adopted plans.

Attachments

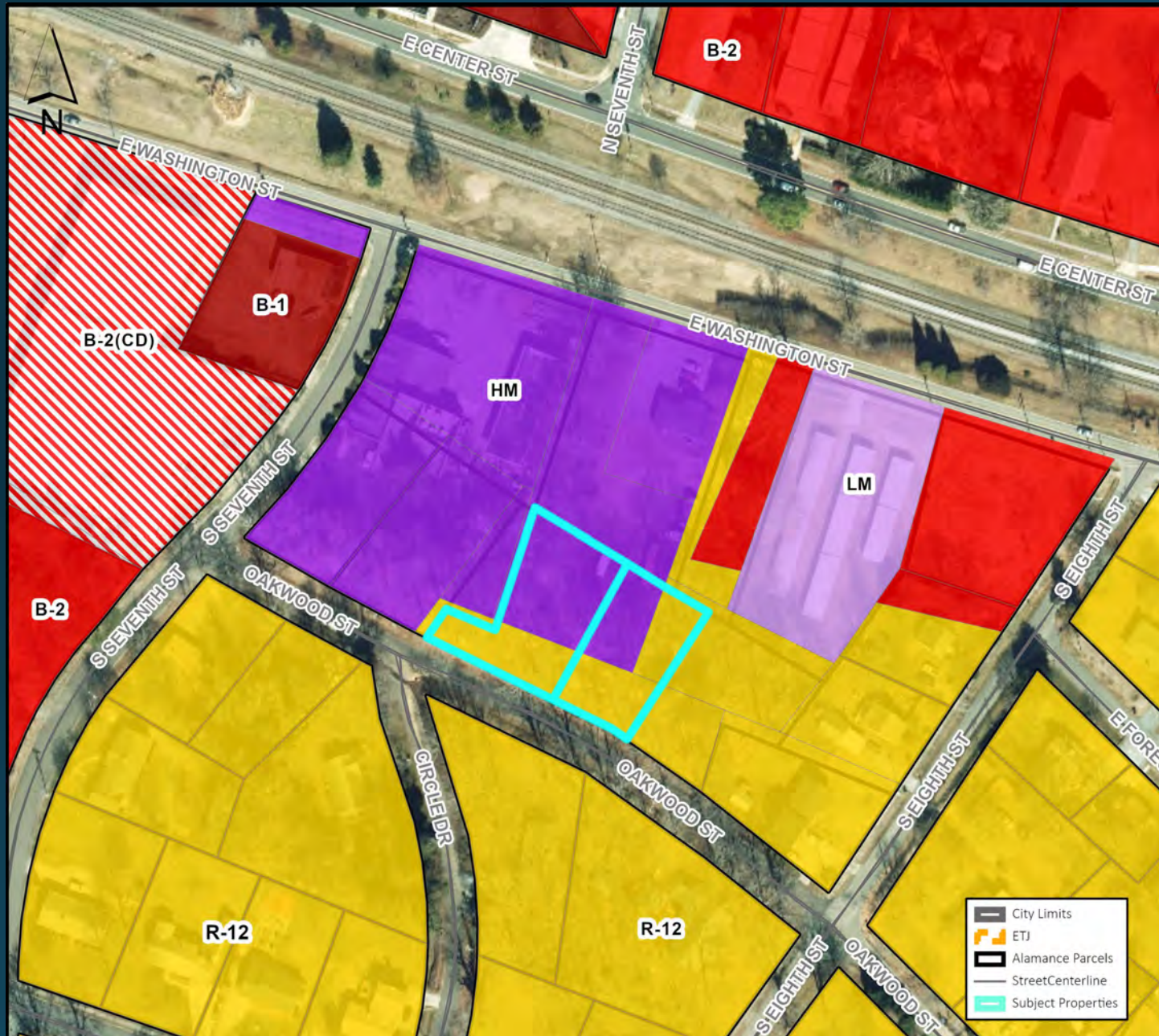
1. Preliminary Presentation Slides
2. Zoning Amendment Application
3. Zoning Map
4. Future Growth Area Map



Ashley Ownbey, Development Director

Rezoning Requests: HM and R-12 to R-12
by TRG Capital, LLC

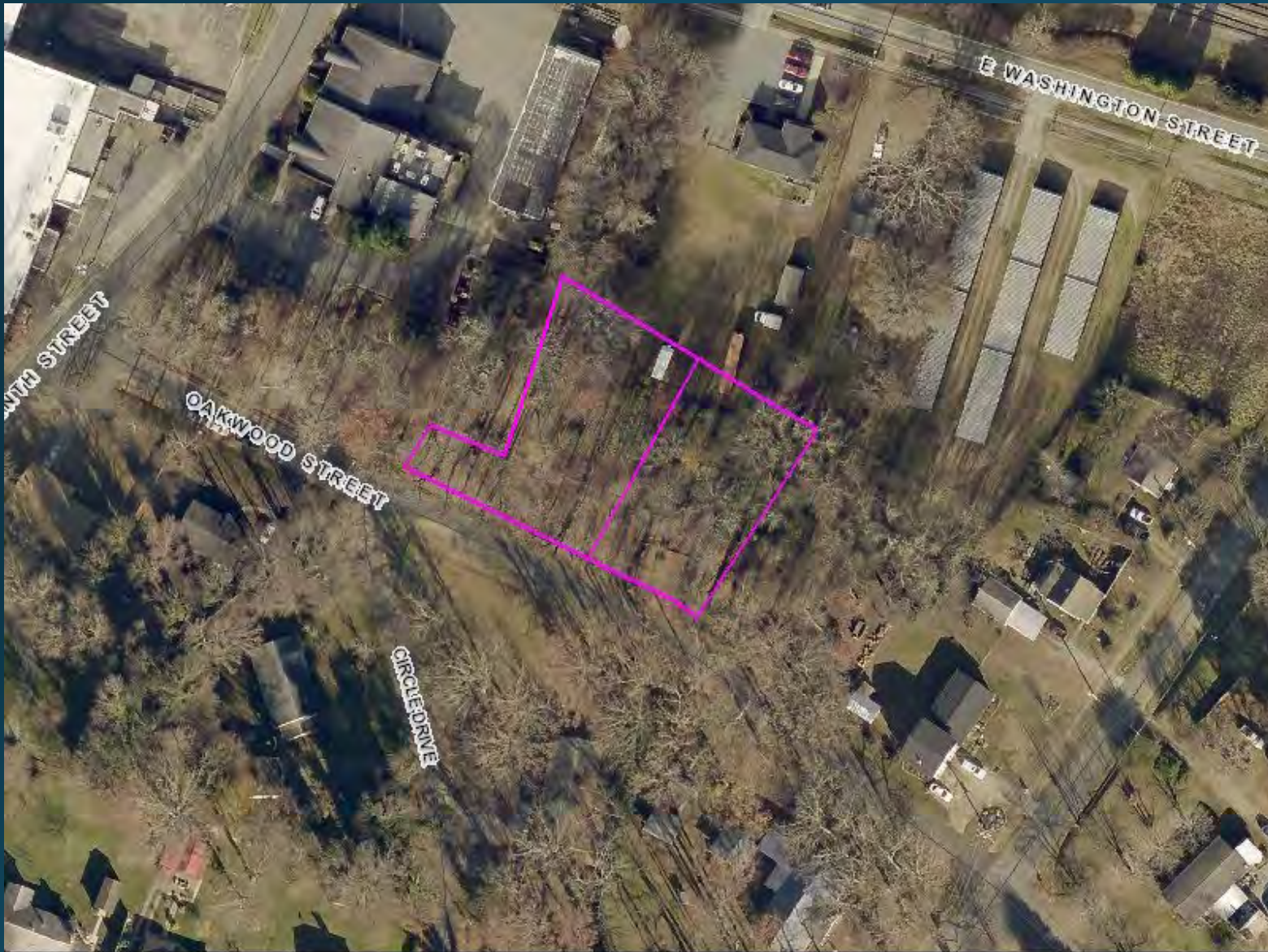




Oakwood St Parcels 168644 & 168648 General Rezoning Request

- Applicant: TRG Capital, LLC
- Parcel 168644 : +/- 15,681
- Parcel 168648 : +/- 12,632
- Existing Zoning: HM Heavy Manufacturing and R-12
- Requested Zoning: R-12
- Surrounding Zoning: R-12, HM, LM, B-2, B-1

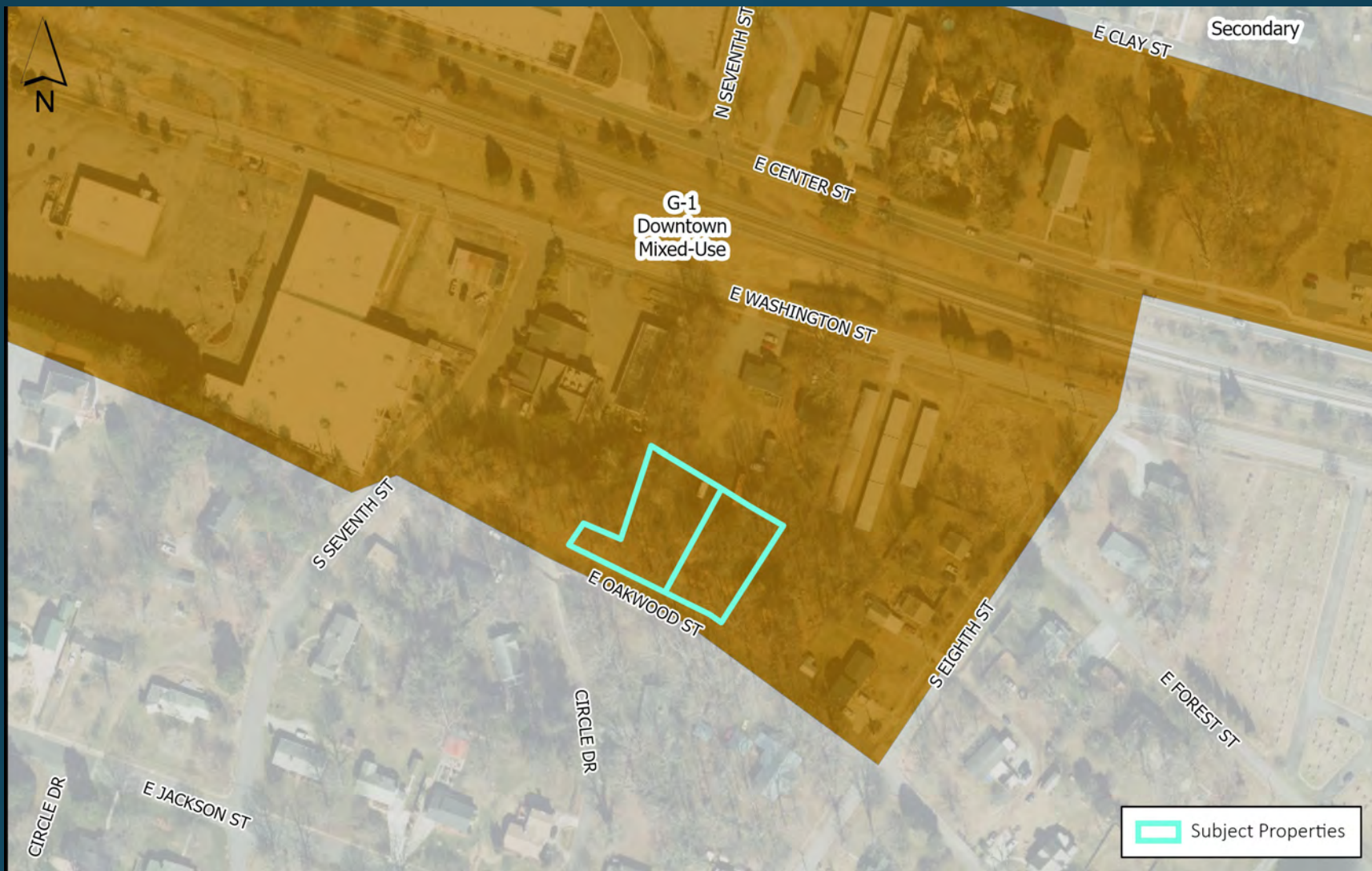




Oakwood St Parcels 168644 & 168648 General Rezoning Request

- Both properties are vacant
- Surrounding land uses include:
 - single-family residential
 - self-storage
 - vacant land
 - Mebane Home Telephone Company
 - General business





Oakwood St Parcels 168644 & 168648 General Rezoning Request

- *Mebane By Design* Primary Downtown Mixed-Use Growth Strategy Area





Applicant Presentation





APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: TRG Capital, LLC

Address of Applicant: 304 East Washington Street, Mebane NC 27302

Address and brief description of property to be rezoned: Oakwood Street (no address)

GPIN 9825232048, Parcel ID 168648

Applicant's interest in property: (Owned, leased or otherwise) Parcel Owner

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes ___ Explain: _____ No X

Type of re-zoning requested: R-12 Residential

Sketch attached: Yes _____ No X

Reason for the requested re-zoning: To make parcel more consistent with other

Oakwood parcels and unify the parcel to a single zone.

Signed: 

Date: 10/25/2022

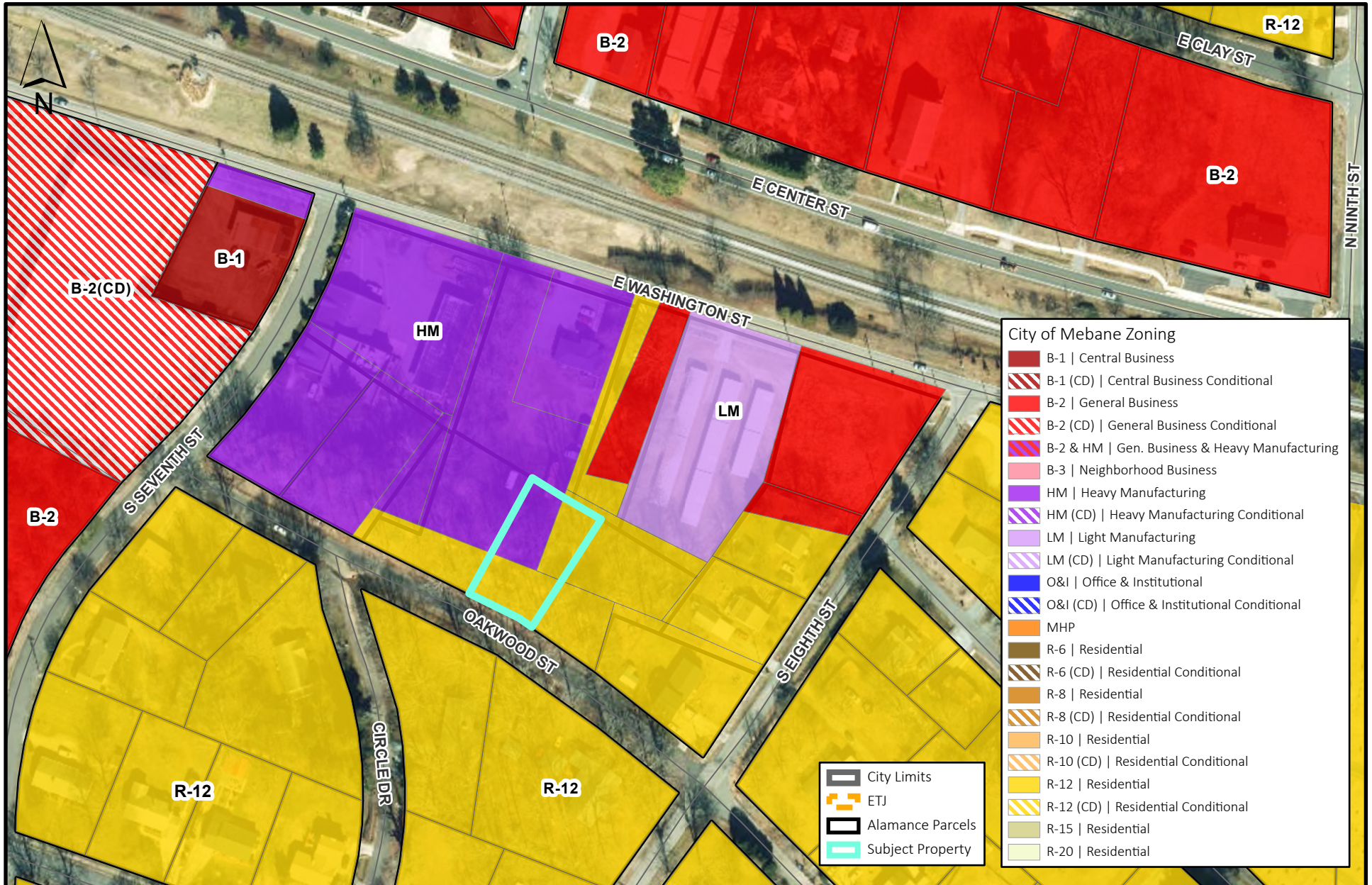
Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.



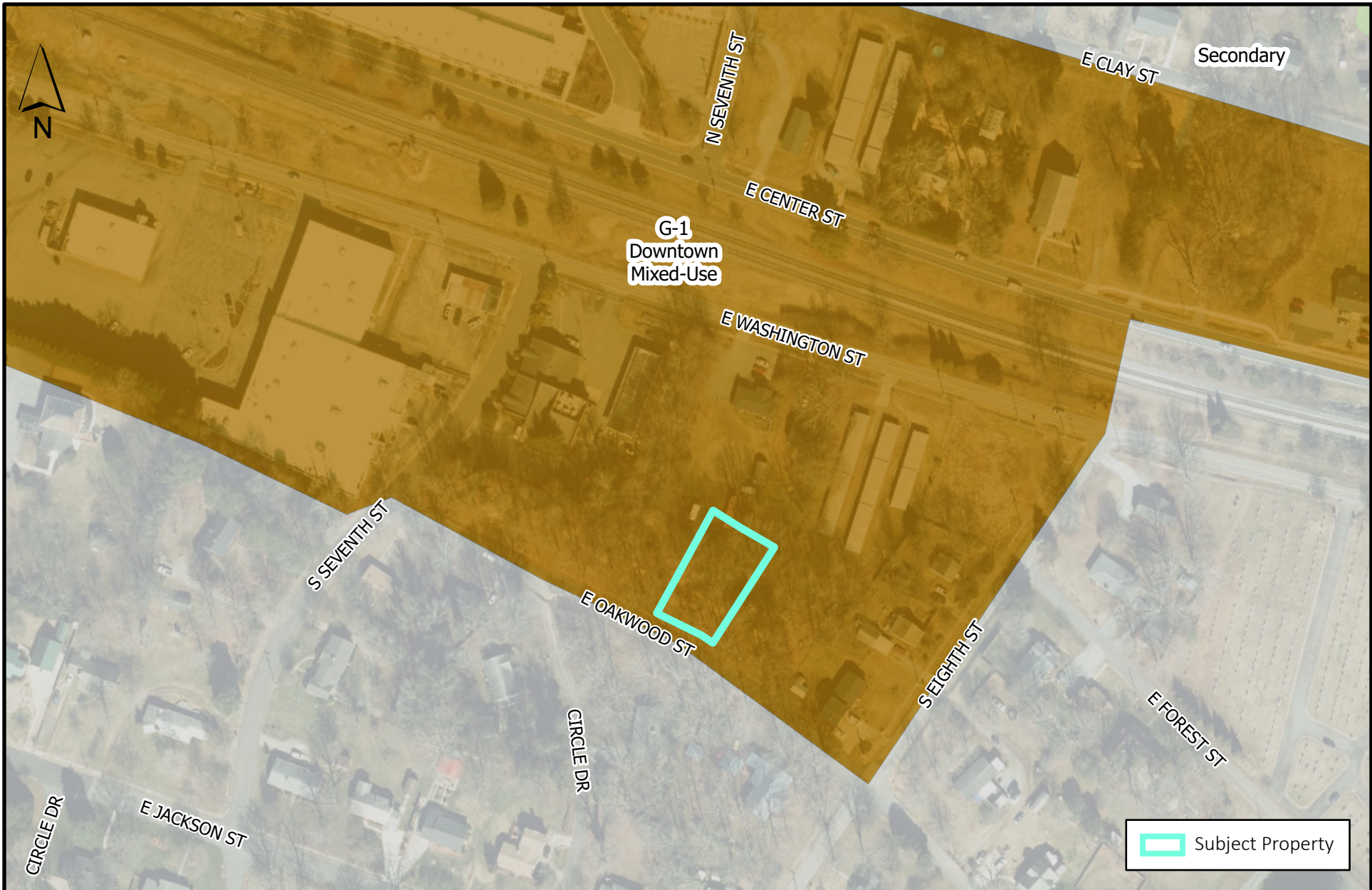
CITY OF MEBANE ZONING MAP

General Rezoning Parcel ID 168648

1 inch = 155 feet

DATE: 11/08/22

DRAWN BY: AV



CITY OF MEBANE
Future Growth Area Map

General Rezoning
Parcel ID 168648

1 inch = 175 feet

DATE: 11/08/22

DRAWN BY: AV



The Planning Board meeting was held at the Glendel Stephenson Municipal Building located at 106 E. Washington Street, Mebane, NC 27302 and livestreamed via YouTube. However, due to technical challenges the audio was not recorded on the video.

Planning Board Members Present:

Edward Tulauskas, Chair
Judy Taylor, Vice Chair
Jason VanBuren
Susan Semonite
William Chapman
Kurt Pearson

Members Absent:

Keith Hoover
Gale Pettiford

City Staff Present:

Ashley Ownbey, Development Director
Audrey Vogel, City Planner
Kirk Montgomery, IT Director

1. Call to Order

At 6:30 p.m. Chairman Tulauskas called the meeting to order.

2. Approval of October 10, Meeting Minutes

Jason VanBuren made a motion to approve the meeting minutes. William Chapman seconded the motion which passed unanimously.

3. City Council Actions Update

Ashley Ownbey, Development Director, provided an update on the City Council's recent action at the November City Council meeting.

4. Request to rezone the +/- 0.74-acre parcel located at v (GPIN 9825231392) from HM (Heavy Manufacturing) to O&I (Office and Institutional) by TRG Capital, LLC.

TRG Capital, LLC is requesting to rezone the +/- 32,234.4 sf property addressed 304 E Washington St (Alamance County GPIN 9825231392), from HM, Heavy Manufacturing to O&I, Office and Institutional. The property is developed with one structure currently being used as an office building. The existing "General Office" use is not permitted in the HM zoning district and is considered nonconforming. Rezoning the property will bring the current use into conformity and enable the applicant to expand the use. The property meets the minimum lot area and lot width and can accommodate the minimum setbacks required for the O&I Zoning District.



The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval. Audrey Vogel provided an overview and PowerPoint presentation of the general rezoning request.

Shawn Sidener of EarthCentric Engineering, Inc. attended the meeting on behalf of the applicant and was available to answer any questions about the request.

Tom Boney of the Alamance News asked about the "big picture" of the rezoning request noting that the applicant has two other rezoning requests on the agenda.

Audrey Vogel responded that more information about the other two rezoning requests would be presented during the meeting and added that the existing zoning in the area is challenging because it does not align well with the underlying property lines and creates non-conforming lots or lots that are difficult to use.

Kurt Pearson made a motion to approve the request as follows:

*Motion to **approve** the O&I zoning as presented; and*

*Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan Mebane By Design. Specifically, the request:*

- *Is for a property within the City's G-1 Mixed Use Growth Area and provides a small business use in the Downtown District (Mebane CLP, p.68), and is consistent with Growth Management Goal 1.1 (p. 17 & 82) to encourage a variety of uses.*

Susan Semonite seconded the motion which passed unanimously. Mr. Tulauskas confirmed that the request would be scheduled for a public hearing before the Mebane City Council on December 5th.

5. Request to rezone a +/- 15,681 s.f. unaddressed parcel with frontage on Oakwood Street (GPIN 982523121) from HM (Heavy Manufacturing) and R-12 (Residential) to R-12 (Residential) by TRG Capital, LLC.

Audrey Vogel informed the Board there are two R-12 rezoning requests from TRG Capital (agenda items 5 and 6). These requests are for two very similar, adjacent properties and for the sake of time and clarity Audrey would present these requests concurrently, but they would each require their own motion. See below item 6 for discussion and action on this item.

6. Request to rezone a +/- 12,632 s.f. unaddressed parcel with frontage on Oakwood Street (GPIN 9825232048) from HM (Heavy Manufacturing) and R-12 (Residential) to R-12 (Residential) by TRG Capital, LLC

TRG Capital, LLC is requesting to rezone the +/- 12,632 s.f. unaddressed property with frontage on Oakwood Street (Alamance County GPIN 9825232048), from HM and R-12 to R-12, and to rezone the adjacent +/- 15,681 property (Alamance County GPIN 982523121) from HM and R-12 to R-12.



Both properties are currently vacant and located within the Mebane City Limits. The purpose of the R-12 zoning requests is to eliminate the HM split zoning on each property. Both lots meet the minimum lot area and lot width and can accommodate the minimum setbacks required for the R-12 zoning district. Sewer is available in the area. Water will require an extension or easements to serve each property. The applicant will be required to make any improvements at their own expense.

The Planning staff has reviewed the requests for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval for both rezonings. Audrey Vogel provided an overview and PowerPoint presentation of the general rezoning request.

Shawn Sidener of EarthCentric Engineering, Inc. attended the meeting on behalf of the applicant and was available to answer any questions about the request.

Kurt Pearson asked if the applicant had a plan of action for getting water to the properties. Mr. Sidener said that it has not been decided, but the applicant will explore potential options of an extension along Oakwood St or an easement through 304 E Washington St (the previous rezoning request).

Tom Boney of the Alamance News revisited his question about the "big picture" of the applicant's three rezoning requests on the agenda. Shawn Sidener answered that the overall goal is to clean up the zoning. The applicant has immediate plans to upgrade his office building at 304 E Washington St and plans in the future to build homes on the Oakwood lots.

Judy Taylor made a motion to approve the R-12 request for the Oakwood St Parcel ID 168644 as follows:

*Motion to **approve** the R-12 zoning as presented; and*

*Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan Mebane By Design. Specifically, the request:*

- *Is for a property within the City's G-1 Mixed Use Growth Area and provides a residential use in the Downtown Districts (Mebane CLP, p.68), and is consistent with Growth Management Goal 1.1 (p. 17 & 82) to encourage a variety of uses*

Kurt Pearson seconded the motion, which passed unanimously.

Judy Taylor made a motion to approve the R-12 request for the Oakwood St Parcel ID 168648 as follows:

*Motion to **approve** the R-12 zoning as presented; and*

*Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan Mebane By Design. Specifically, the request:*

- *Is for a property within the City's G-1 Mixed Use Growth Area and provides a residential use in the Downtown Districts (Mebane CLP, p.68), and is consistent with Growth Management Goal 1.1 (p. 17 & 82) to encourage a variety of uses*



Kurt Pearson seconded the motion, which passed unanimously. Chairman Tulauskas confirmed the requests would be scheduled for public hearings before the Mebane City Council on December 5th.

7. Request to rezone two parcels, GPIN 9804720640 and portion of GPIN 9804810638, totaling +/- 77.689 acres located at 1447 Trollingwood Hawfields Rd from LM (Light Manufacturing) and B-2 (General Business) to LM CD (Light Manufacturing Conditional District) to allow light-industrial development including three warehouse buildings by CHI Acquisitions, L.P

CHI/Acquisitions, L.P. is requesting approval to conditionally rezone two properties totaling +/- 77.69 acres located at 1447 Trollingwood Hawfields Road (GPIN 9804720640 and portion of GPIN 9804810638) from B-2 and LM to LM (CD) to allow for a light industrial development including three warehouse buildings. The property is located in Alamance County in the Extra-Territorial Jurisdiction (ETJ). A request for annexation has been submitted to the City and the public hearing is scheduled for the December City Council meeting. CHI/Acquisitions, L.P. has the property under contract to purchase, contingent upon approval of the conditional rezoning.

The site-specific plan, proposed onsite amenities, TIA roadway improvements, and staff report are included in the meeting agenda packet available [here](#).

Ashley Ownbey provided an overview and PowerPoint presentation of the request.

The following individuals attended the meeting to represent the zoning request:

- Nick Thornton – Crow Holdings, applicant
- Nathan Rhomberg– VHB, traffic consultant
- George Retschle– Ballentine Associates, civil engineer

Nick Thornton gave a detailed PowerPoint presentation, including information about Crow Holdings, the subject property, site plan, and building architecture.

Chairman Tulauskas asked how site lighting would impact surrounding properties. Mr. Thornton responded that the site will have light poles designed to guide light downward and that the layout of the site and buffers will cluster most of the lighting internally.

Kurt Pearson asked the applicant to elaborate on the expected building use/tenants, types of jobs to expect and why Mebane is seeing so much of this type of development. Mr. Thornton responded that the type of tenants would likely be in the light manufacturing category as opposed to warehouse distribution. He explained that some of the smaller-scale operations like to have showrooms for customers on site. Regarding jobs, Mr. Thornton estimated a range of light assembly type positions in addition to smaller amount of front office and managerial work. Mr. Thornton explained that Mebane is targeted for this type of development due to the business-friendly environment, geographic location between two metropolitan areas, education base, strong labor force, and proximity to I-40/85.



Kurt Pearson explained that this information about economic growth is important because Mebane community members often only see the truck traffic on the road. Nick Thornton added that the proposed project would be a revenue positive development in that Crow Holdings and future tenants would pay taxes.

Judy Taylor asked if both driveways accessing Trollingwood-Hawfields Road shown on the site plan would be used for truck access. Mr. Thornton answered that the northern entrance would be intended for cars only and showed on the site plan how trucks would enter and exit the site.

Judy Taylor asked for more information about the stream on the property. Mr. Thornton highlighted the areas on the site that included the stream and stream buffer. He explained that the streams would not be disturbed and doing so would require additional, lengthy permitting through the Army Corps of Engineers.

Martin Shoffner, 1468 Trollingwood Hawfields Rd, commented that he owned a residential rental property across the street from the site and had concerns about the impact of the proposed development on the residential properties across the street. He specifically named truck traffic, especially noise at nighttime and "Jake Braking," as a concern. Additionally, Mr. Shoffner asked how the development would relate to the Lowes Blvd Corridor extension in the future and asked about the extension of utilities to serve the site.

George Retschle (Ballentine Associates, civil engineer for applicant) responded to Mr. Shoffner's question about utility service for the site and referenced the site plan to show how the project would connect to City utilities.

Ashley Ownbey responded that the extension of Lowes Boulevard would be constructed as the area is developed and the extension project has not been submitted to the NCDOT for consideration through the State's prioritization program.

Tom Boney asked about the proposed fire station dedication shown on the site plan. Nick Thornton answered that in collaboration with the City on the site planning process, it was determined that a fire station would be suitable in the area.

Tom Boney asked if the NCDOT approved the two driveways on Trollingwood-Hawfields Road as shown on the Plans.

Nathan Rhomberg (VHB, traffic consultant for applicant) answered that the NDOT has reviewed the plans and driveways as part of the TRC approval process. Mr. Rhomberg elaborated on the Traffic Impact Analysis which indicated that a traffic signal is not warranted on Trollingwood-Hawfields Road.

Judy Taylor expressed concern about truck traffic resulting from the project on Trollingwood-Hawfields Road, noting that trucks entering and exiting the site would increase congestion issues and could be potentially hazardous due to their size. She added that the North Carolina Commerce



Park is primarily accessed and contained on Senator Ralph Scott Pkwy and found it odd to see driveways on Trollingwood-Hawfields Road. Susan Semonite echoed these concerns.

Jason VanBuren asked if turn lanes would be provided and if the TIA considered UPS trucks.

Nathan Rhomberg answered that the site plan does feature turn lanes at all three entrances. He explained that the TIA does incorporate UPS in addition to other nearby projects in the area. Mr. Rhomberg added that the planned NC 119 widening project will help alleviate traffic concerns in the future. He also explained that TIAs do not separate trucks out in trip generation, but the proposed land use typically has a lower trip generation and truck traffic is not typically concentrated at peak hours.

Tom Boney asked if it would be possible to eliminate the driveways on Trollingwood-Hawfields Road all together and access the site exclusively from Senator Ralph Scott Parkway. Mr. Thornton answered that it would be possible, but not as feasible because it would require impacting the stream.

Kurt Pearson made a motion to approve the request as follows:

Motion to approve the LM(CD) zoning as presented.

*Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan Mebane By Design. The request:*

- *Is for a property within the City's G-1 Industrial Growth Area, which "...supports industrial uses..." (Mebane CLP, p. 74);*
- *Serves Growth Management Goal 1.7 through the support [of] industrial development at existing industrial parks near I-40/85 (pp.17, 59 & 82)*

Jason VanBuren seconded the motion, which passed by a 4-2 vote. Judy Taylor and Susan Semonite did not vote in favor of the request. Ms. Taylor cited her truck traffic concerns as her reasoning. Ms. Semonite echoed these concerns and added that it would be possible to eliminate the driveways on Trollingwood-Hawfields Road by crossing the stream.

8. New Business

- Audrey Vogel shared that the application is open for the vacant Alamance ETJ seat on Planning Board.
- Ashley Ownbey shared information about public engagement for the Recreation and Parks Comprehensive Master Plan and an updated Bicycle and Pedestrian Transportation Plan.

9. Adjournment

Chairman Tulauskas adjourned the meeting at approximately 8:00 p.m.