



1. Call to Order
2. Approval of October 10, 2022, Meeting Minutes
3. City Council Actions Update
4. Request to rezone the +/- 0.74-acre parcel located at 304 E Washington St (GPIN 9825231392) from HM (Heavy Manufacturing) to O&I (Office and Institutional) by TRG Capital, LLC.
5. Request to rezone a +/- 15,681 s.f. unaddressed parcel with frontage on Oakwood Street (GPIN 982523121) from HM (Heavy Manufacturing) and R-12 (Residential) to R-12 (Residential) by TRG Capital, LLC.
6. Request to rezone a +/- 12,632 s.f. unaddressed parcel with frontage on Oakwood Street (GPIN 9825232048) from HM (Heavy Manufacturing) and R-12 (Residential) to R-12 (Residential) by TRG Capital, LLC
7. Request to rezone two parcels, GPIN 9804720640 and portion of GPIN 9804810638, totaling +/- 77.689 acres located at 1447 Trollingwood Hawfields Rd from LM (Light Manufacturing) and B-2 (General Business) to LM CD (Light Manufacturing Conditional District) to allow light-industrial development including three warehouse buildings by CHI Acquisitions, L.P
8. New Business
9. Adjournment



The Planning Board meeting was held at the Glendel Stephenson Municipal Building located at 106 E. Washington Street, Mebane, NC 27302 and livestreamed via YouTube. The video can be accessed through the following link: <https://www.youtube.com/watch?v=ia4bM9z8t6Q>

Members Present:

Edward Tulauskas, Chair
Jason VanBuren
Susan Semonite
William Chapman
Kurt Pearson
Gale Pettiford

Members Absent:

Keith Hoover
Judy Taylor, Vice Chair

City Staff Present:

Ashley Ownbey, Development Director
Kirk Montgomery, IT Director

1. Call to Order

At 6:30 p.m. Chairman Tulauskas called the meeting to order.

2. Approval of August 8, 2022, Meeting Minutes

Jason VanBuren made a motion to approve the meeting minutes. Susan Semonite seconded the motion which passed unanimously.

3. City Council Actions Update

Ashley Ownbey, Interim Development Director, provided an update on the City Council's recent action at the September and October City Council meetings

4. Request to rezone two properties totaling +/- 87.73 acres located at 1818 Saddle Club Rd (PINs 9826425313 and 9826511986) from R-10 and R-20 to R-12 (CD) to allow for a residential cluster development of 207 single-family homes by Lebanon Road 3, LLC

Lebanon Road 3, LLC, c/o James Parker, Jr., is requesting approval to conditionally rezone two properties totaling +/- 87.73 acres located at 1818 Saddle Club Rd (PINs 9826425313 and 9826511986) from R-10 and R-20 to R-12 (CD) to allow for "Tupelo North," a residential cluster development of 207 single-family homes. The property is located in Orange County outside of the City Limits within the Extra-Territorial Jurisdiction. Lebanon Road Partners has the property under contract to purchase, contingent upon approval of the conditional rezoning.

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval. The Technical Review Committee (TRC) has reviewed the site plan four times and the applicant has revised the plan to



reflect the comments. The site specific plan, proposed onsite amenities, and staff report are included in the meeting agenda packet available [here](#).

Ashley Ownbey provided an overview and PowerPoint presentation of the request.

Timothy M. McAvinney of EarthCentric Engineering, Inc. attended the meeting on behalf of the applicant and provided a detailed presentation of the conditional rezoning request, including an outline of the site plan, proposed public multi-use path, requested dimensional waivers, Traffic Impact Analysis (TIA), architectural commitments, and examples of home elevations.

Mr. McAvinney noted that the improvements at the Lebanon Rd and Stagecoach Rd intersection per the TIA are still under review by NCDOT and that the developer commits to construct improvements or make a \$200,000 payment in-lieu for the intersection improvements at the time of the application for the 101st building permit.

Kurt Pearson asked how many times the Mebane Technical Review Committee (TRC) reviewed the site plan? Mr. McAvinney confirmed that the TRC reviewed the site plan four times.

Susan Semonite asked if Duke Energy had approved the location of the multi-use path within the power easement? Mr. McAvinney explained that the developer and project engineer are in contact with Duke Power about the path, and have received the requirements for the path to be located in the easement, but the location of the path has not been granted final approval. Mr. McAvinney also confirmed that some of the required open space for the development is within the power easement as well.

Ms. Semonite asked if lot 136 was necessary due to the note on the plans about a potential extension of Road D that would impact the lot's driveway access. Mr. McAvinney explained that the note is there to guarantee the lot has sufficient access.

Kurt Pearson asked how much of the property is currently zoned R-10 versus R-20? Mr. McAvinney explained that he didn't have the exact area off the top of his head but that the majority of the property is zoned R-10.

Kurt Pearson commented that the waivers requests for this R-12 conditional cluster development are necessary so that the site plan can provide for additional open space and other additional amenities, while meeting watershed impervious requirements. Mr. Pearson also asked Mr. McAvinney to elaborate on the TIA Improvements.

Mr. McAvinney explained that if the required improvements do not exceed \$200,000, the developer will build out the required improvements at the time of the 101st building permit. If the improvements are more complex and exceed \$200,000, the Developer will provide a payment-in-lieu. Ashley Ownbey clarified that TIA identified a degrading level of service at the intersection of Lebanon Rd and Stagecoach Rd largely due to vehicles turning left from Stagecoach Rd on to Lebanon Rd. In discussion with NCDOT, the cost to install a right turn lane would not necessarily be



the most effective use of funds because it wouldn't address the left turning traffic, and so a traffic signal is being considered.

Susan Semonite asked if any consideration has been given to the impact of traffic from Lebanon on to US Highway 70? Mr. McAvinney explained that the TIA did not identify a major degradation in the level of service at the intersections towards US 70.

Jason VanBuren asked how many lots would they lose if the setback waivers were not being requested and how it compared to Tupelo Junction to the south? Mr. McAvinney answered that he did not have the information about the number of lots, but that the requested dimensional standards are the same as Tupelo Junction. He also highlighted lots that exceed the minimum requested standards and that the site plan is designed with open space to increase separation between lots in the rear.

Steve Beckner, 7545 Old Sourwood Trl , commented that he and his mother own the adjoining property to the north of the site along Mill Creek. Mr. Beckner asked how much separation there would be between his property line and the nearest home and added that there is proposed residential development on two sides of his property that is different in character from his rural property. Mr. McAvinney highlighted the northern property line and stream as mentioned by Mr. Beckner and responded that at the closest point, it would be about 200 ft of separation.

Jason VanBuren made a motion to approve the request as follows:

*Motion to **approve** the R-12 (CD) zoning as presented; and*

*Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan Mebane By Design. Specifically, the request:*

- *Is for a property within the City's G-4 Secondary Growth Area and is "...generally residential and commercial in nature..." (Mebane CLP, p.66);*
- *Is providing community facilities in the form of a greenway consistent with Growth Management Goal 1.4 (p. 17, 83)*
- *Provides a greenway and open space in a developing area, connecting to other locations, consistent with Open Space and Natural Resource Protection Goal 4.3 (p. 17, 89, & 90);*

William Chapman seconded the motion which passed unanimously. Mr. Tulauskas confirmed that the request would be scheduled for a public hearing before the Mebane City Council on November 7th.

5. New Business

Ashley Ownbey shared the following new business items with the Board:

- The Planning Board will meet for a training with the UNC School of Government on Wednesday, October 26th at 6pm
- Larry Teague has resigned from the Planning Board. Staff thanks him for his years of service on the Board and will be advertising his open Alamance ETJ seat in the coming weeks



Planning Board

Minutes to the Meeting
October 10, 2022, 6:30 p.m.

- The public engagement website is live for the Recreation and Parks Comprehensive Master Plan and an updated Bicycle and Pedestrian Transportation Plan.

Kurt Pearson asked Ms. Ownbey if any thought has been given to a joint workshop with the City Council to discuss shared visions and how to approach growth in Mebane.

6. Adjournment

Chairman Tulauskas adjourned the meeting at approximately 7:20 p.m.



AGENDA ITEM #4

RZ 22-012

Rezoning –304 E Washington St

Presenter

Audrey Vogel, Planner

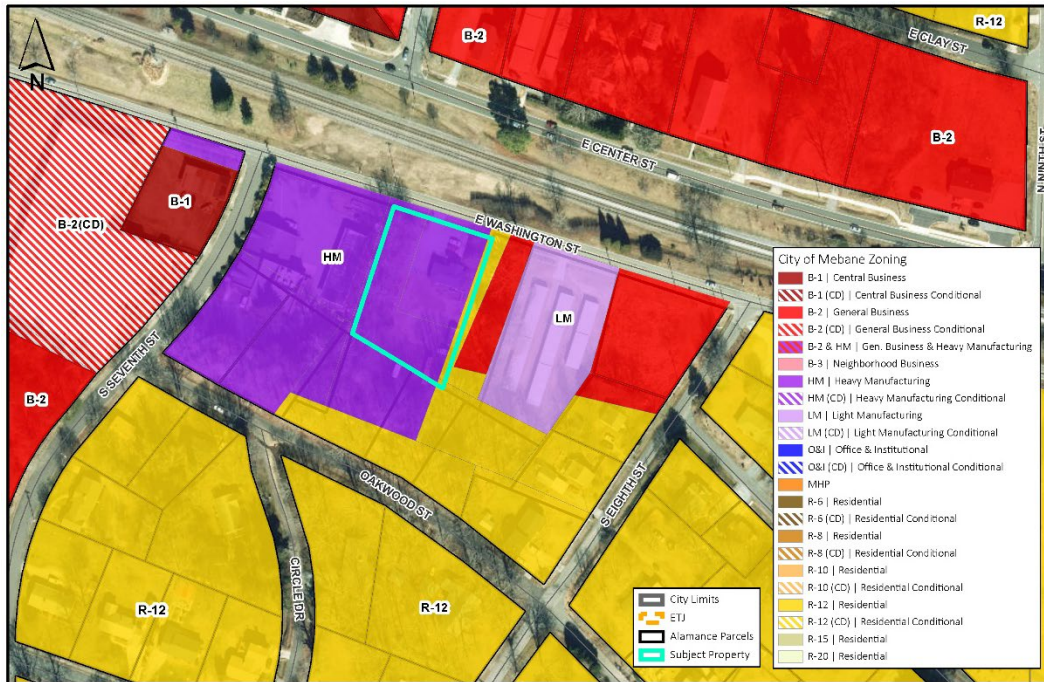
Applicant

TRG Capital, LLC
304 E Washington St
Mebane, NC 27302

Public Hearing

Yes No

Zoning Map



Property

304 E Washington St
St GPIN 9825231392

Proposed Zoning

O&I

Current Zoning

HM

Size

+/- 0.74 acres

Surrounding Zoning

R-12, HM, LM, B-2, B-1

Adjacent Land Uses

Single-Family Residential, Commercial, Vacant

Utilities

Water and sewer present

Floodplain

No

Watershed

Yes

City Limits

City Limits



CITY OF MEBANE
ZONING MAP

General Rezoning
304 E Washington St
1 inch = 155 feet

DATE: 11/08/22

DRAWN BY: AV

Summary

TRG Capital, LLC is requesting to rezone the +/- 32,234.4 sf property addressed 304 E Washington St (Alamance County GPIN 9825231392), from HM, Heavy Manufacturing to O&I, Office and Institutional.

The property is developed with one structure currently being used as an office building. The existing use is "General Office" use is not permitted in the HM zoning district and is considered nonconforming. Rezoning the property will bring the current use into conformity and enable the applicant to expand the use. The property meets the minimum lot area and lot width and can accommodate the minimum setbacks required for the O&I Zoning District.

The surrounding zoning in the area includes HM, R-12, B-2 and LM. Several of the adjoining HM lots are occupied by the Mebane Home Telephone Company. The remaining HM lots are owned by the applicant and are proposed to be rezoned. Surrounding land uses include single-family residential, self-storage, and vacant land. A variety of business uses are present across the railroad right-of-way.

The subject property is located in the G-1 Mixed Use Growth Strategy Area for the Downtown area. The proposed rezoning is consistent with the guidance provided within *Mebane By Design*, the Mebane Comprehensive Land Development Plan. The proposed rezoning will be of a lesser intensity compared to the existing zoning and bring the current use of the property into conformance with the Unified Development Ordinance.

A project report has not been provided for this general rezoning request due to the simplicity of the request and lack of site details.

Financial Impact

The developer will be required to make any improvements at their own expense.

Recommendation

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval.

Suggested Motion

1. Motion to approve the O&I rezoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. The request:
 - Is for a property within the City's G-1 Mixed Use Growth Area and provides a small business use in the Downtown District (Mebane CLP, p.68), and is consistent with Growth Management Goal 1.1 (p. 17 & 82) to encourage a variety of uses.
3. Motion to **deny** the O&I rezoning as presented due to a lack of
 - a. Harmony with the surrounding zoning.

OR

- b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design* or any of the City's other adopted plans.

Attachments

1. Zoning Amendment Application
2. Zoning Map
3. Future Growth Area Map



APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: TRG Capital, LLC

Address of Applicant: 304 East Washington Street, Mebane NC 27302

Address and brief description of property to be rezoned: 304 East Washington Street

GPIN 9825231392, Parcel ID 168645

Applicant's interest in property: (Owned, leased or otherwise) Parcel Owner

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes ___ Explain: _____ No X

Type of re-zoning requested: B-2 General Business

Sketch attached: Yes _____ No X

Reason for the requested re-zoning: To make parcel more consistent with current use and neighboring uses in the area.

Signed: 

Date: 10/25/2022

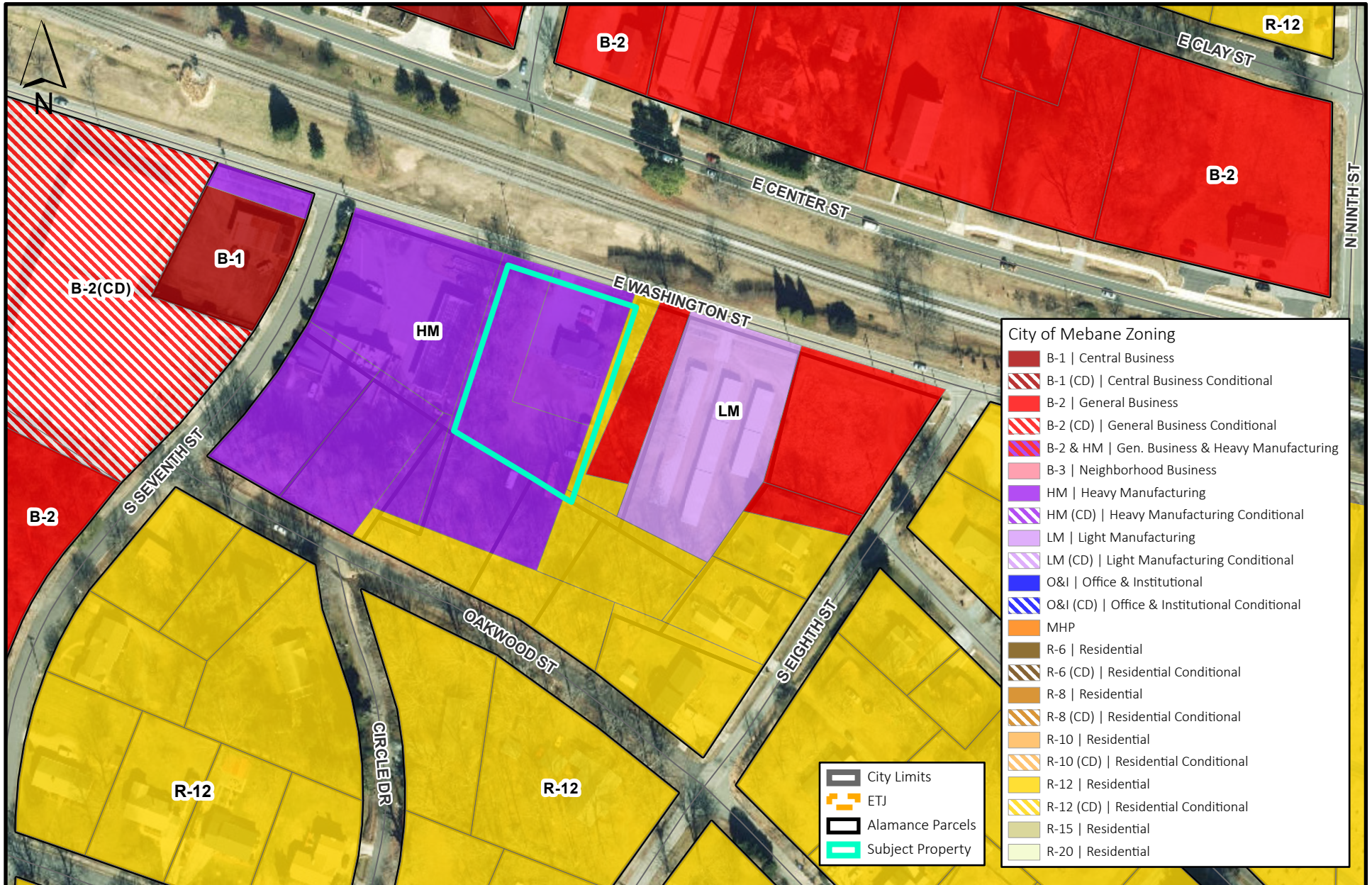
Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.



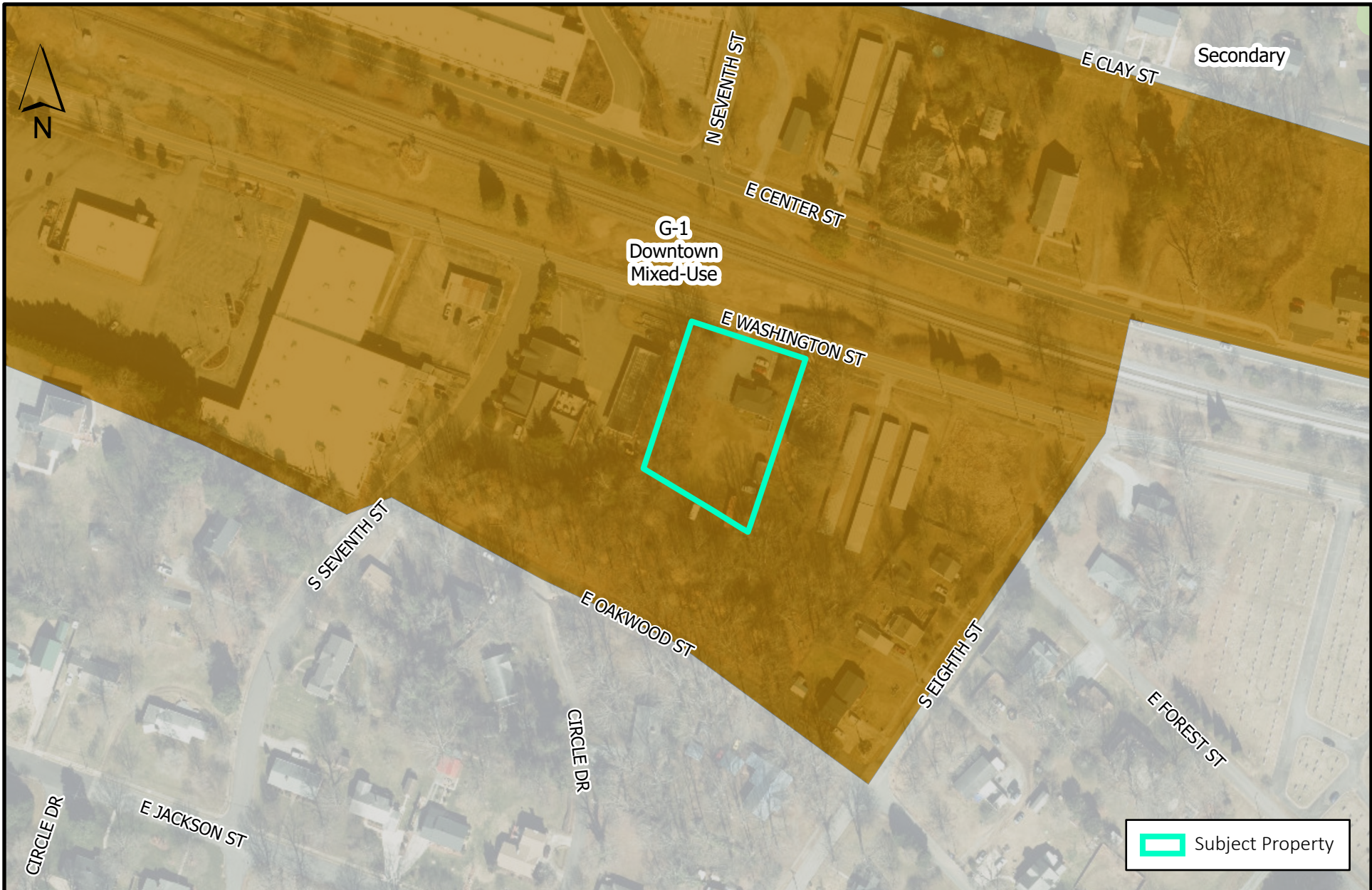
CITY OF MEBANE ZONING MAP

General Rezoning 304 E Washington St

1 inch = 155 feet

DATE: 11/08/22

DRAWN BY: AV



CITY OF MEBANE
Future Growth Area Map

General Rezoning
304 E Washington St

1 inch = 175 feet

DATE: 11/08/22

DRAWN BY: AV



AGENDA ITEM #5

RZ 22-013

Rezoning – Oakwood St Parcel ID 168644

Presenter

Audrey Vogel, Planner

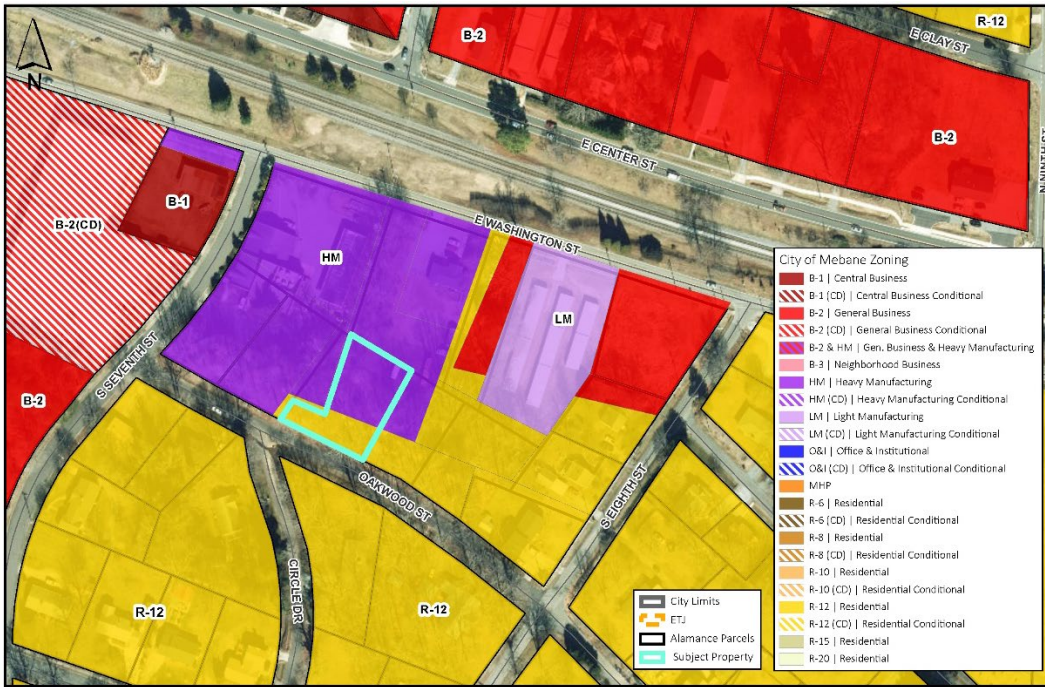
Applicant

TRG Capital, LLC
304 E Washington St
Mebane, NC 27302

Public Hearing

Yes No

Zoning Map



- City of Mebane Zoning**
- B-1 | Central Business
 - B-1 (CD) | Central Business Conditional
 - B-2 | General Business
 - B-2 (CD) | General Business Conditional
 - B-2 & HM | Gen. Business & Heavy Manufacturing
 - B-3 | Neighborhood Business
 - HM | Heavy Manufacturing
 - HM (CD) | Heavy Manufacturing Conditional
 - LM | Light Manufacturing
 - LM (CD) | Light Manufacturing Conditional
 - O&I | Office & Institutional
 - O&I (CD) | Office & Institutional Conditional
 - MHP
 - R-6 | Residential
 - R-6 (CD) | Residential Conditional
 - R-8 | Residential
 - R-8 (CD) | Residential Conditional
 - R-10 | Residential
 - R-10 (CD) | Residential Conditional
 - R-12 | Residential
 - R-12 (CD) | Residential Conditional
 - R-15 | Residential
 - R-20 | Residential
- Legend:**
- City Limits
 - ETJ
 - Alamance Parcels
 - Subject Property

Property

PIN 982523121

Proposed Zoning

R-12

Current Zoning

HM and R-12

Size

+/- 15,681

Surrounding Zoning

R-12, HM, LM, B-2, B-1

Adjacent Land Uses

Single-Family
Residential,
Commercial, Vacant

Utilities

Sewer available, water
requires extension

Floodplain

No

Watershed

Yes

City Limits

City Limits



CITY OF MEBANE
ZONING MAP

General Rezoning
Parcel ID 168644

1 inch = 155 feet

DATE: 11/08/22

DRAWN BY: AV

Summary

TRG Capital, LLC is requesting to rezone the +/- 15,681 s.f. unaddressed property with frontage on Oakwood Street (Alamance County GPIN 982523121), from HM and R-12 to R-12.

The property is currently vacant and located within the Mebane City Limits. The purpose of the R-12 zoning request is to eliminate the HM split zoning on the property. The lot meets the minimum lot area and lot width and can accommodate the minimum setbacks required for the R-12 zoning district. Sewer is available in the area. Water will require an extension or easements to serve the property. The applicant will be required to make any improvements at their own expense.

The surrounding zoning in the area includes HM, R-12, B-2, and LM. Several of the adjoining HM lots are occupied by the Mebane Home Telephone Company. The remaining HM lots are owned by the applicant and are proposed to be rezoned. Surrounding land uses include single-family residential, self-storage, and vacant land. A variety of business uses are present across the railroad right-of-way.

The subject property is located in the G-1 Mixed Use Growth Strategy Area for the downtown area. The proposed rezoning is consistent with the guidance provided within *Mebane By Design*, the City's Comprehensive Land Development Plan. The proposed rezoning will be a continuance of the R-12 zoning to the south and the east of the property and eliminate the range of incompatible uses allowed by the existing HM zoning.

A project report has not been provided for this general rezoning request due to the simplicity of the request and lack of site details.

Financial Impact

The applicant will be required to make any improvements at their own expense.

Recommendation

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval.

Suggested Motion

1. Motion to approve the R-12 rezoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. The request:
 - Is for a property within the City's G-1 Mixed Use Growth Area and provides a residential use in the Downtown Districts (Mebane CLP, p.68), and is consistent with Growth Management Goal 1.1 (p. 17 & 82) to encourage a variety of uses.
3. Motion to **deny** the R-12 rezoning as presented due to a lack of
 - a. Harmony with the surrounding zoning.

OR

- b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design* or any of the City's other adopted plans.

Attachments

1. Zoning Amendment Application
2. Zoning Map
3. Future Growth Area Map



APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: TRG Capital, LLC

Address of Applicant: 304 East Washington Street, Mebane NC 27302

Address and brief description of property to be rezoned: Oakwood Street (no address)

GPIN 9825231212, Parcel ID 168644

Applicant's interest in property: (Owned, leased or otherwise) Parcel Owner

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes ___ Explain: _____ No X

Type of re-zoning requested: R-12 Residential

Sketch attached: Yes _____ No X

Reason for the requested re-zoning: To make parcel more consistent with other

Oakwood parcels and unify the parcel to a single zone.

Signed: [Signature]

Date: 10/25/2022

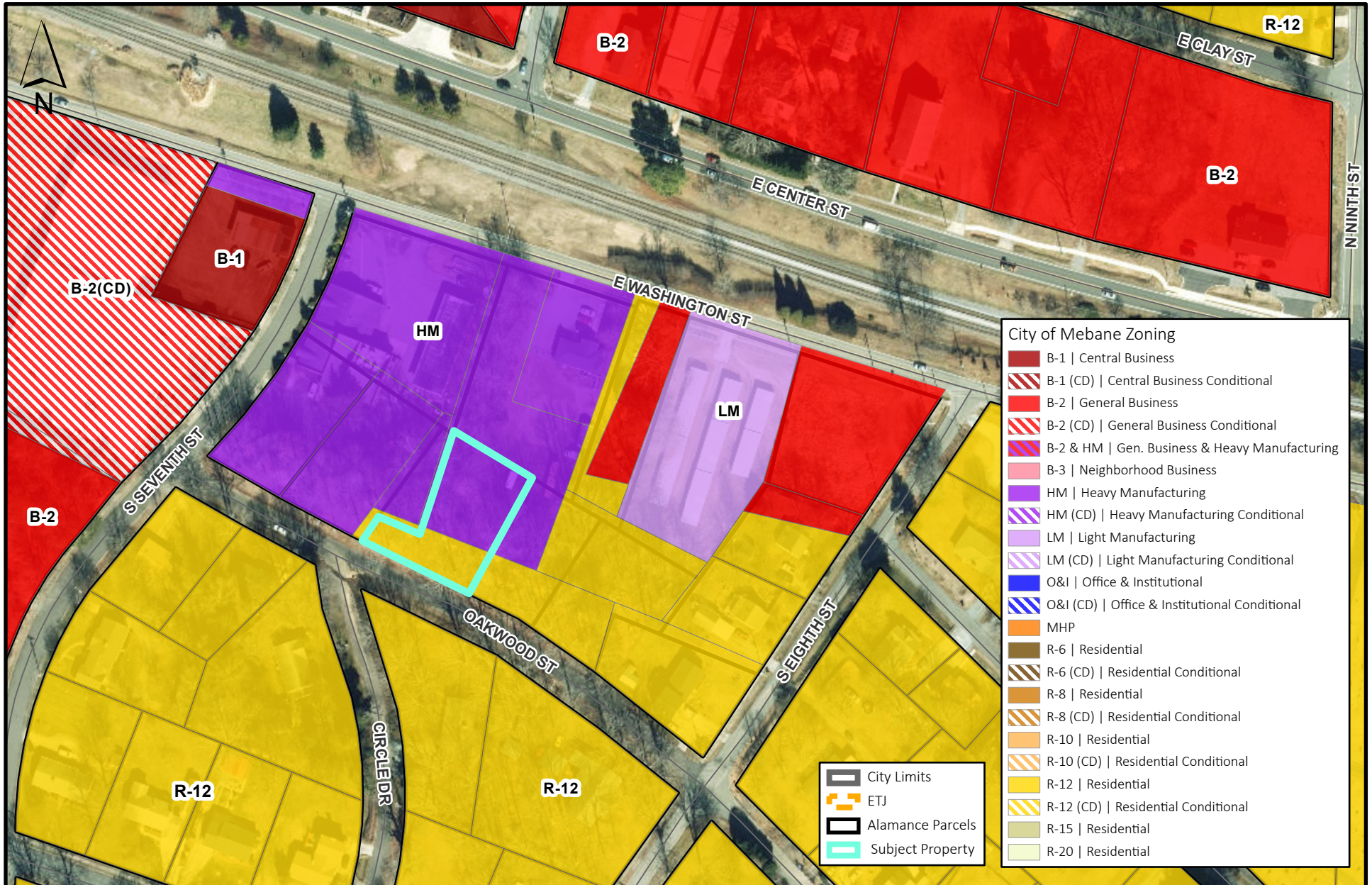
Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.



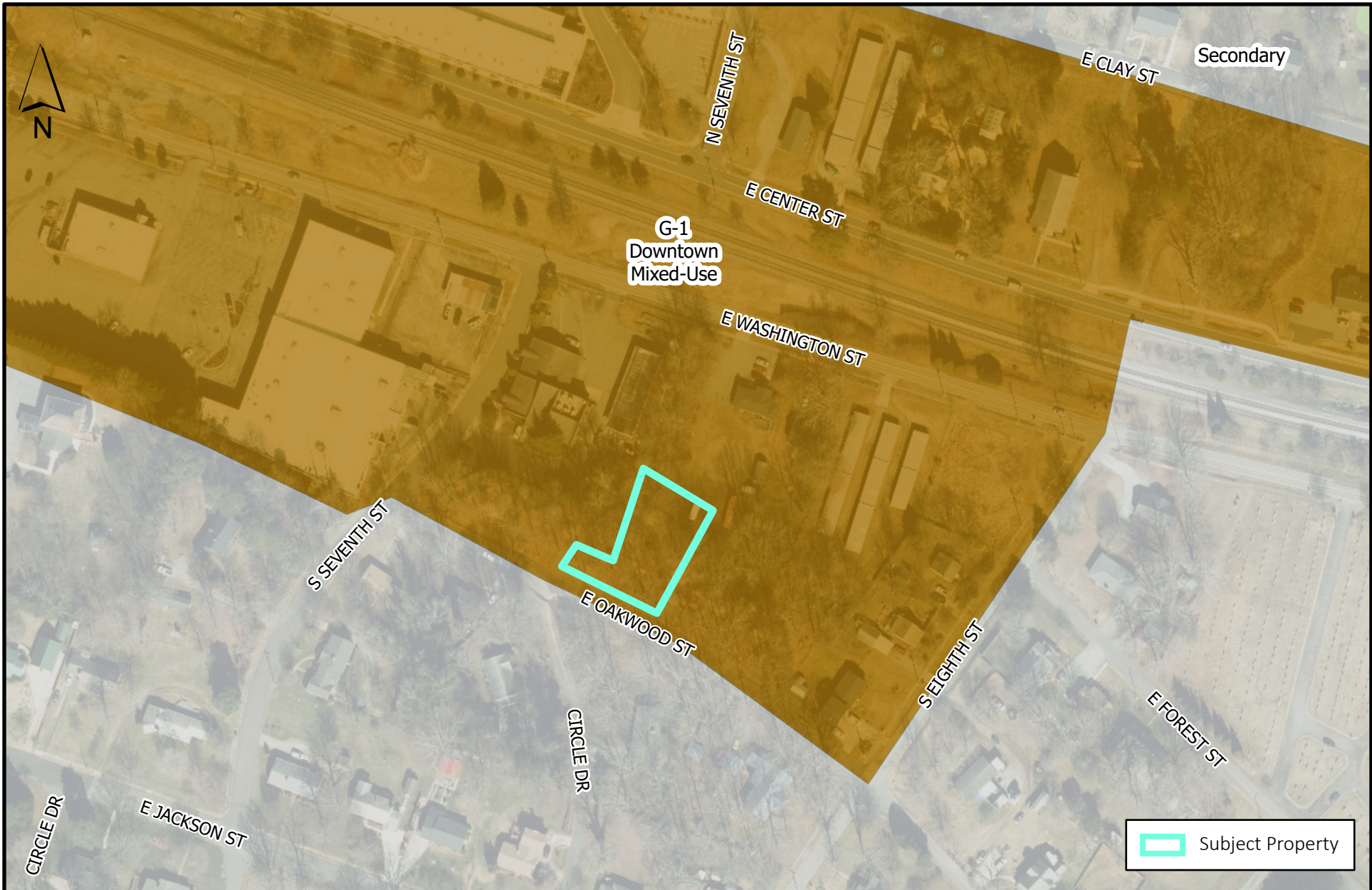
CITY OF MEBANE ZONING MAP

General Rezoning Parcel ID 168644

1 inch = 155 feet

DATE: 11/08/22

DRAWN BY: AV



CITY OF MEBANE
Future Growth Area Map

General Rezoning
304 E Washington St

1 inch = 175 feet

DATE: 11/08/22

DRAWN BY: AV



AGENDA ITEM #6

RZ 22-013

Rezoning – Oakwood St Parcel ID 168648

Presenter

Audrey Vogel, Planner

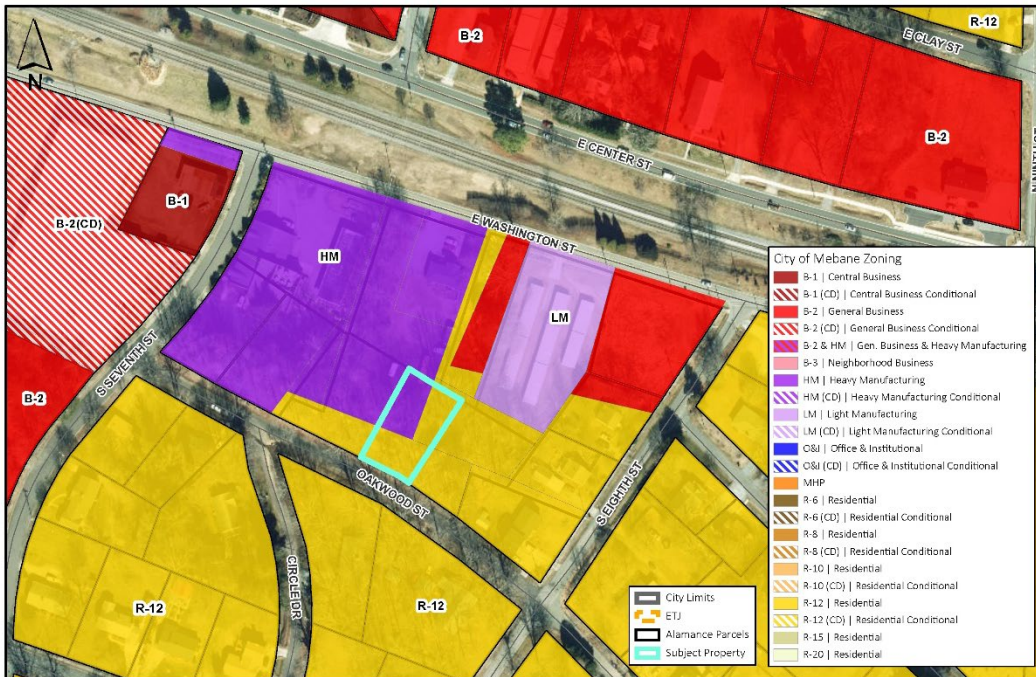
Applicant

TRG Capital, LLC
304 E Washington St
Mebane, NC 27302

Public Hearing

Yes No

Zoning Map



Property

PIN 9825232048

Proposed Zoning

R-12

Current Zoning

HM and R-12

Size

+/- 12,632

Surrounding Zoning

R-12, HM, LM, B-2, B-1

Adjacent Land Uses

Single-Family
Residential,
Commercial, Vacant

Utilities

Sewer available, water
requires extension

Floodplain

No

Watershed

Yes

City Limits

City Limits

	CITY OF MEBANE ZONING MAP	General Rezoning Parcel ID 168648 <small>1 inch = 155 feet</small>	DATE: 11/08/22
			DRAWN BY: AV

Summary

TRG Capital, LLC is requesting to rezone the +/- 12,632 s.f. unaddressed property with frontage on Oakwood Street (Alamance County GPIN 9825232048), from HM and R-12 to R-12.

The property is currently vacant and located within the Mebane City Limits. The purpose of the R-12 zoning request is to eliminate the HM split zoning on the property. The lot meets the minimum lot area and lot width and can accommodate the minimum setbacks required for the R-12 zoning district. Sewer is available in the area. Water will require an extension or easements to serve the property. The applicant will be required to make any improvements at their own expense.

The surrounding zoning in the area includes HM, R-12, B-2, and LM. Several of the adjoining HM lots are occupied by the Mebane Home Telephone Company. The remaining HM lots are owned by the applicant and are proposed to be rezoned. Surrounding land uses include single-family residential, office, self-storage, and vacant land. A variety of business uses are present across the railroad right-of-way.

The subject property is located in the G-1 Mixed Use Growth Strategy Area for the downtown area. The proposed rezoning is consistent with the guidance provided within *Mebane By Design*, the City's Comprehensive Land Development Plan. The proposed rezoning will be a continuance of the R-12 zoning to the south and the east of the property and eliminate the range of incompatible uses allowed by the existing HM zoning.

A project report has not been provided for this general rezoning request due to the simplicity of the request and lack of site details.

Financial Impact

The applicant will be required to make any improvements at their own expense.

Recommendation

The Planning staff has reviewed the request for harmony with the zoning of the surrounding area and consistency with the City's adopted plans and recommends approval.

Suggested Motion

1. Motion to approve the R-12 rezoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. The request:
 - Is for a property within the City's G-1 Mixed Use Growth Area and provides a residential use in the Downtown Districts (Mebane CLP, p.68), and is consistent with Growth Management Goal 1.1 (p. 17 & 82) to encourage a variety of uses.
3. Motion to **deny** the R-12 rezoning as presented due to a lack of
 - a. Harmony with the surrounding zoning.

OR

- b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design* or any of the City's other adopted plans.

Attachments

1. Zoning Amendment Application
2. Zoning Map
3. Future Growth Area Map



APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: TRG Capital, LLC

Address of Applicant: 304 East Washington Street, Mebane NC 27302

Address and brief description of property to be rezoned: Oakwood Street (no address)

GPIN 9825232048, Parcel ID 168648

Applicant's interest in property: (Owned, leased or otherwise) Parcel Owner

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes ___ Explain: _____ No X

Type of re-zoning requested: R-12 Residential

Sketch attached: Yes _____ No X

Reason for the requested re-zoning: To make parcel more consistent with other

Oakwood parcels and unify the parcel to a single zone.

Signed: 

Date: 10/25/2022

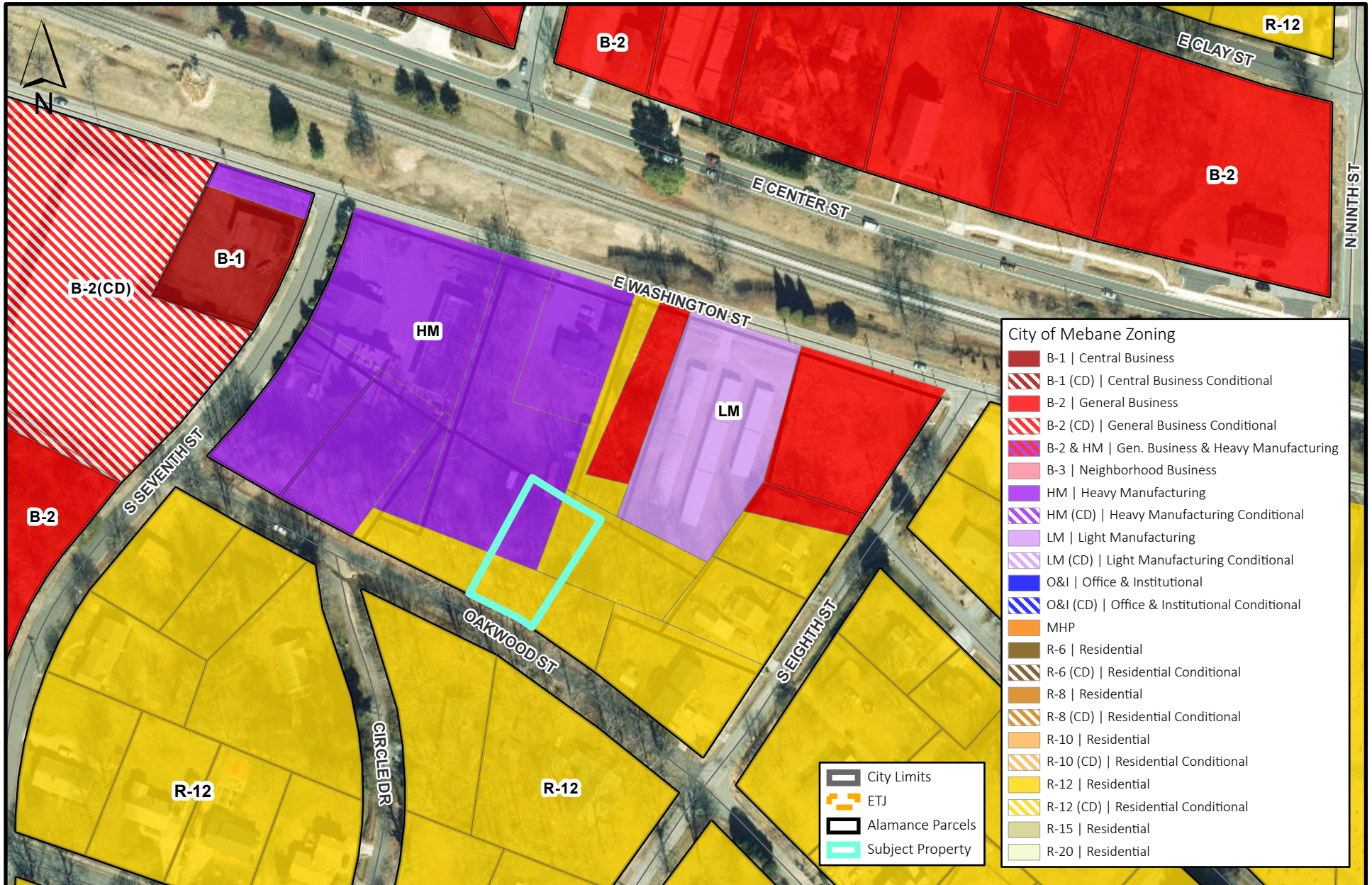
Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.



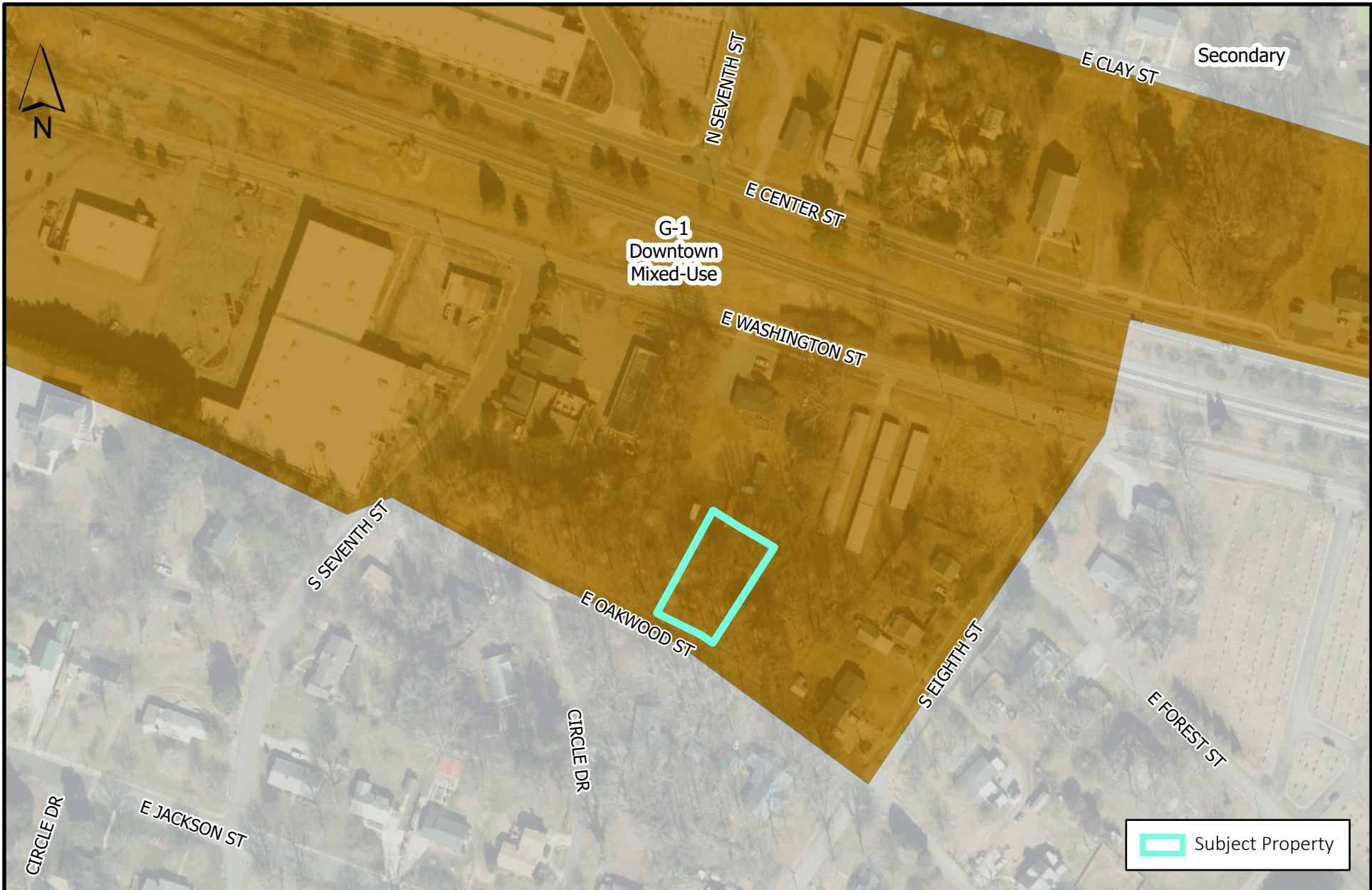
CITY OF MEBANE ZONING MAP

General Rezoning Parcel ID 168648

1 inch = 155 feet

DATE: 11/08/22

DRAWN BY: AV



 Subject Property



CITY OF MEBANE
Future Growth Area Map

General Rezoning
Parcel ID 168648

1 inch = 175 feet

DATE: 11/08/22

DRAWN BY: AV



AGENDA ITEM #7

RZ 22-15

Conditional Rezoning –
Crow Industrial

Presenter

Ashley Ownbey, Development Director

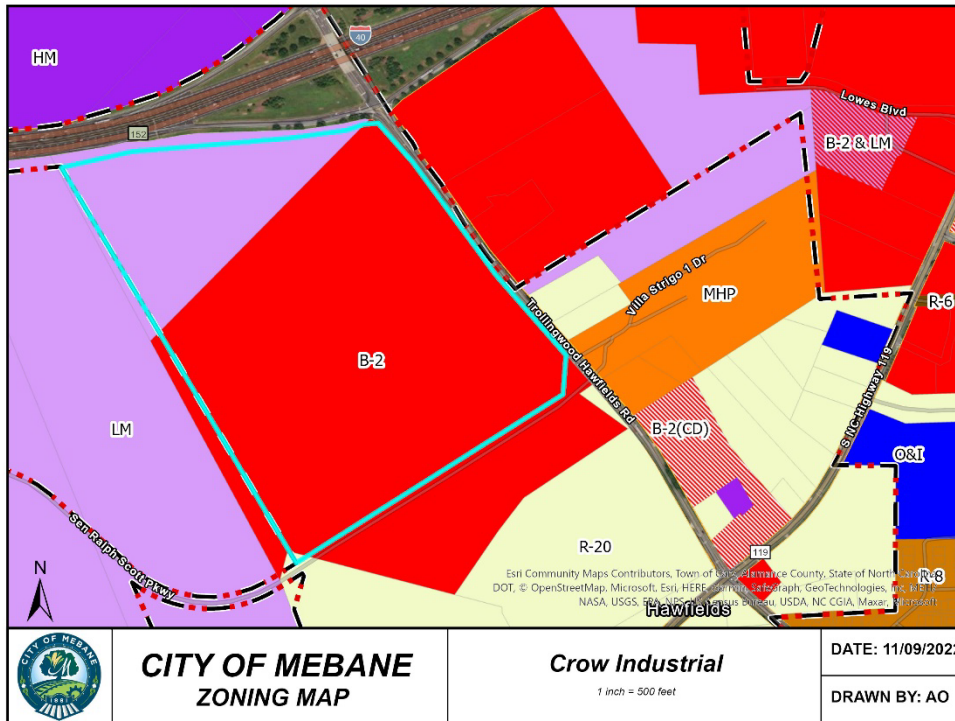
Applicant

CHI/Acquisitions, L. P.
4064 Colony Road, Suite 405
Charlotte, NC 28211

Public Hearing

Yes No

Zoning Map



Property

1447 Trollingwood-Hawfields Road
Alamance County
GPINs: 9804810638 & 9804720640

Proposed Zoning

LM (CD)

Current Zoning

B-2, LM

Size

+/-77.69 acres

Surrounding Zoning

LM, HM, B-2, R-20, MHP

Surrounding Land Uses

Industrial,
Commercial,
Residential

Utilities

To be extended at developer's expense

Floodplain

Yes

Watershed

No

City Limits

No

Application Brief

See Planning Project Report for more details.

Recommendations	
Technical Review Committee:	The Technical Review Committee (TRC) has reviewed the site plan four times and the applicant has revised the plan to reflect the comments.
Planning Staff:	The proposed development “Crow Industrial” is consistent with the guidance provided within Mebane By Design, the Mebane Comprehensive Land Development Plan. Specifically, it is located in an industrial growth strategy area and serves Goal 1.7. The proposed project is in harmony with nearby light and heavy industrial uses.
Zoning & Land Use Report	
Jurisdiction:	Mebane Extraterritorial Jurisdiction (ETJ)
Proposed Use By-Right (Yes/No):	No
Type of Rezoning Request:	Conditional
Special Use Request (Yes/No):	No
Consistency with Mebane By Design (Yes/No):	Yes
Utilities Report	
Available Utilities (Yes/No):	Yes
Adequate Stormwater Control (Yes/No):	Yes
Innovative Stormwater Control (Yes/No):	No
Consistency with Long-Range Utility Plan (Yes/No):	Yes
Transportation Report	
Traffic Impact Analysis Required (Yes/No):	Yes
Multi-Modal Improvements (Yes/No):	Yes
Consistency with Bike/Ped Transportation Plan (Yes/No):	Yes

Summary

CHI/Acquisitions, L.P. is requesting approval to conditionally rezone two properties totaling +/- 77.69 acres located at 1447 Trollingwood Hawfields Road (GPIN 9804720640 and portion of GPIN 9804810638) from

B-2 and LM to LM (CD) to allow for a light industrial development including three warehouse buildings. The property is located in Alamance County in the Extra-Territorial Jurisdiction (ETJ). A request for annexation has been submitted to the City and the public hearing is scheduled for the December City Council meeting. CHI/Acquisitions, L.P. has the property under contract to purchase, contingent upon approval of the conditional rezoning.

The site-specific plan features a subdivision of the properties north of Senator Ralph Scott Parkway into three lots with warehouse buildings on each lot. Building 1 is proposed at +/- 279,000 square feet, Building 2 at +/- 248,000 square feet, and Building 3 at +/- 156,000 square feet. The site plan shows four driveways, with two on Trollingwood-Hawfields Road and two on Senator Ralph Scott Parkway. One of the driveways on Senator Ralph Scott Parkway will provide shared access to Buildings 2 and 3. The following conditions are proposed with the conditional rezoning request:

- The applicant is proposing to dedicate a portion of the property south of Senator Ralph Scott Parkway to the City of Mebane for a future fire station.
- The applicant proposes a 5' sidewalk on the south side of Senator Ralph Scott Parkway and requests a waiver from Section 7-6.6(A), which requires sidewalk along all frontages of nonresidential development.
- The applicant requests to calculate parking requirements at 0.75 parking spaces per 1,000 s.f. of floor area. The Mebane UDO requires parking to be calculated at 2/3 employees on the largest shift plus 1/200 square feet of retail sales or customer service area plus 1/vehicle used in the operation.
- The applicant agrees to a condition requiring perpetual maintenance of a sight distance easement area west of proposed Driveway #4 to maintain proper sight lines. An easement will be obtained from the neighboring property owner.

VHB Engineering NC, P.C. conducted a Traffic Impact Analysis (TIA) which has been reviewed by NCDOT and City staff. Per findings of the TIA, the developer is required to construct exclusive left and right turn lanes at the site accesses onto Trollingwood-Hawfields Road and exclusive right turn lanes at the site accesses onto Senator Ralph Scott Parkway. All turn lanes are to have at least 100' of storage and appropriate taper. These improvements area must be constructed as a condition of NCDOT driveway permit approval.

Financial Impact

The developer will be required to make all of the improvements at his own expense.

Suggested Motion

1. Motion to approve the LM(CD) zoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. The request:
 - Is for a property within the City's G-1 Industrial Growth Area, which "...supports industrial uses..." (Mebane CLP, p. 74);

- Serves Growth Management Goal 1.7 through the support [of] industrial development at existing industrial parks near I-40/85 (pp.17, 59 & 82)

OR

- 3. Motion to **deny** the LM(CD) rezoning as presented due to a lack of
 - a. Harmony with the surrounding zoning or land use

OR

 - b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*.

Attachments

- 1. Zoning Amendment Application
- 2. Zoning Map
- 3. Site Plan
- 4. Planning Project Report
- 5. Preliminary Water and Sewer System Approval Letter
- 6. Technical Memorandum – City Engineering Review
- 7. Traffic Impact Analysis – [click here to review and download](#).
 - a. RKA Review of TIA
 - b. NCDOT Review of TIA



APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: CHI/Acquisitions, L.P.

Address of Applicant: 4064 Colony Road, Suite 405, Charlotte, NC 28211

Address and brief description of property to be rezoned: 1447 Trollingwood-Hawfields Rd., Mebane, NC 27302: Approximately 78 Acres of undeveloped property.

Applicant's interest in property: (Owned, leased or otherwise) contract purchaser

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes ___ Explain: _____ No X

Type of re-zoning requested: B-2/M-2 to L-M (CD) (Light Manufacturing Conditional District)

Sketch attached: Yes _____

Reason for the requested re-zoning: Development of warehouse/distribution facilities

Signed: Matt Cohen

Date: 10/19/22

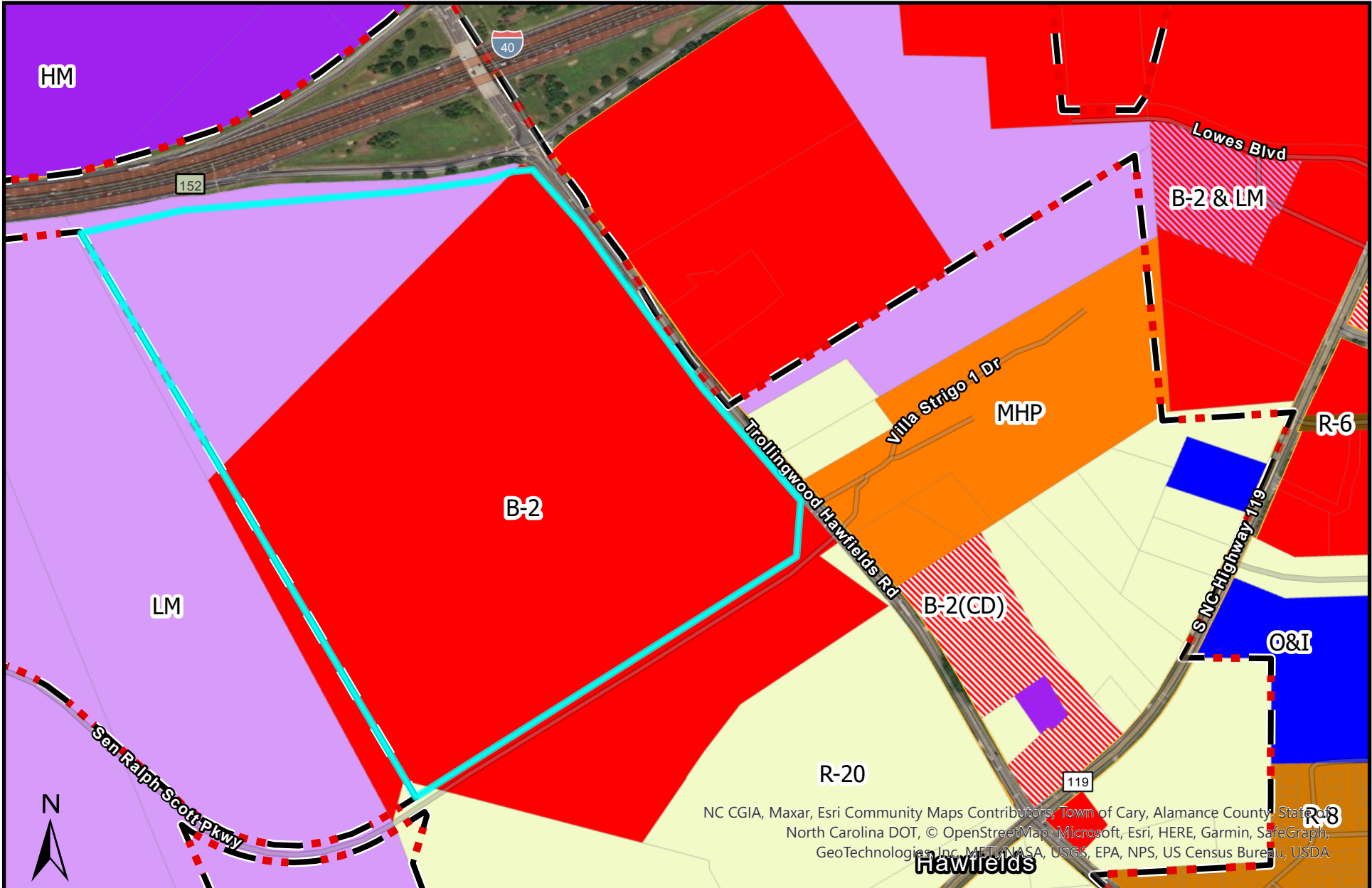
Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.



**CITY OF MEBANE
ZONING MAP**

Crow Industrial

1 inch = 500 feet

DATE: 11/09/2022

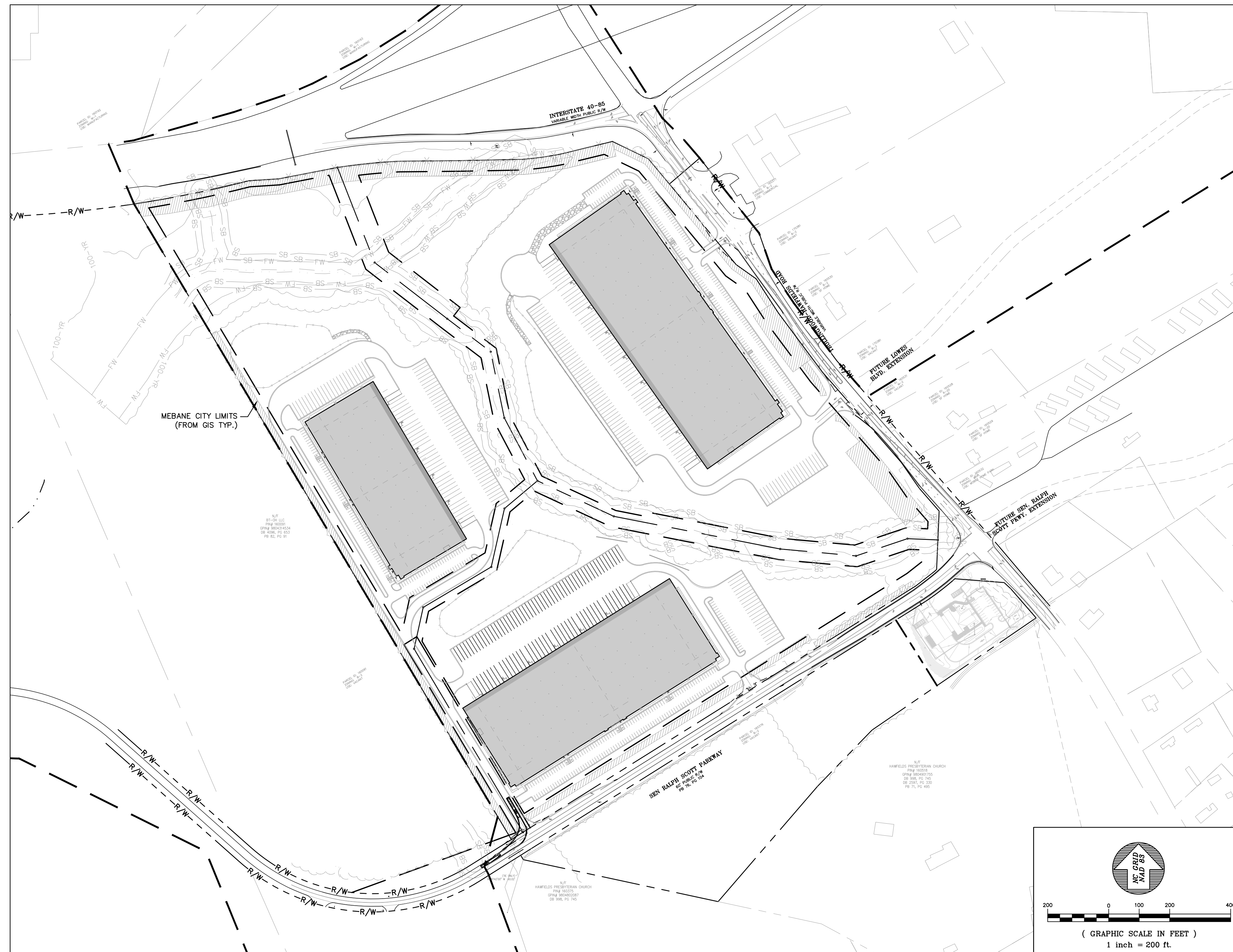
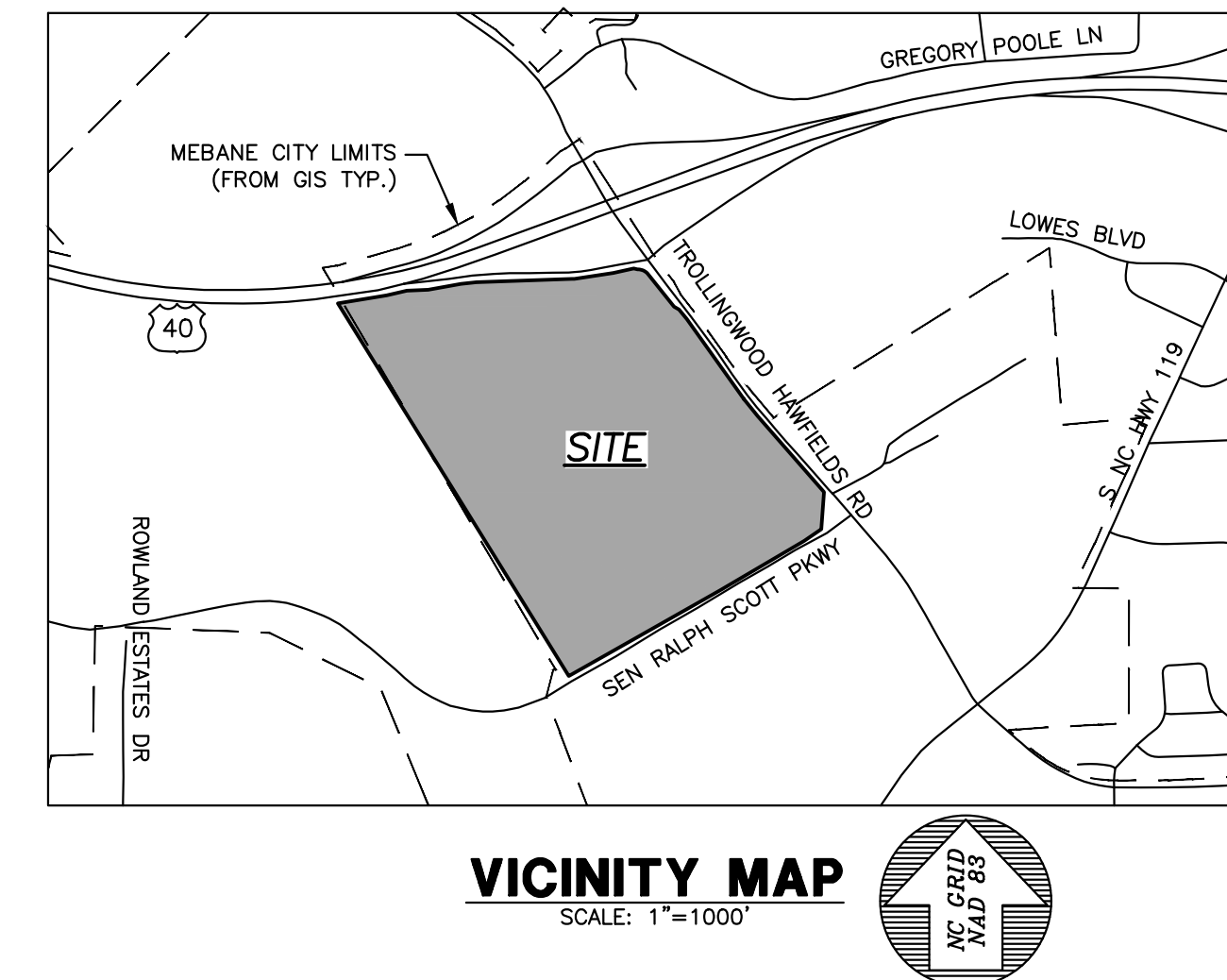
DRAWN BY: AO

SITE PLAN DRAWINGS

FOR

CROW INDUSTRIAL NC COMMERCE PARK - BLDGS 1-3

MEBANE, NC



DRAWING LIST

SHEET	DRAWING TITLE
G0001	COVER
C0101	EXISTING CONDITIONS/DEMO PLAN
C1000	SITE OVERVIEW
C1001	BUILDING 1 SITE PLAN
C1002	BUILDING 2 SITE PLAN
C1003	BUILDING 3 SITE PLAN
C1004	TRUCK TURN TEMPLATES
C1100	UTILITY OVERVIEW
C1101	BUILDING 1 UTILITY PLAN
C1102	BUILDING 2 UTILITY PLAN
C1103	BUILDING 3 UTILITY PLAN
C1200	GRADING & DRAINAGE OVERVIEW
C1201	BUILDING 1 GRADING & DRAINAGE PLAN
C1202	BUILDING 2 GRADING & DRAINAGE PLAN
C1203	BUILDING 3 GRADING & DRAINAGE PLAN
C5001	SITE DETAILS
L01	SITE PLANTING SUMMARY
L02	PLANTING SCHEMATICS

DEVELOPER:

CROW HOLDINGS

INDUSTRIAL

ARCHITECTURE:
architects
msa
merriman
schmitt
architects planning
interior design
605 LEONINGTON AVENUE
SUITE 300
CHARLOTTE, NC 28205
704.372.1177
704.377.3080 (fax)

SITE PLANNING/CIVIL ENGINEERING/SURVEYING:
Ballentine
Associates, PA
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929-0481 www.ballentineassociates.com

LANDSCAPE ARCHITECTURE:
R.T. Peter Landscape Architecture
7709 Moorgate Court, Raleigh, NC 27615
(919) 871-3648 bob.p@rtpia.com

Ballentine
Associates, PA
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929-0481

COPYRIGHT © 2022
BALLENTINE ASSOCIATES, P.A.
THIS DOCUMENT IS THE PROPERTY OF
BALLENTINE ASSOCIATES, P.A. ALL
RIGHTS RESERVED. ANY REPRODUCTION
OF THIS DOCUMENT OR POSSESSION
WITHOUT PRIOR PERMISSION OF
BALLENTINE ASSOCIATES, P.A. WILL BE
SUBJECT TO LEGAL ACTION.

REGISTERED PROFESSIONAL ENGINEER
CORPORATE
S.EAL
C328
NORTH CAROLINA
CHAPEL HILL

REGISTERED PROFESSIONAL ENGINEER
S.EAL
029127
NORTH CAROLINA
CHAPEL HILL

DATE	REVISIONS
08 SEP 22	PER CITY OF MEBANE TRC COMMENTS
19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCDDOT TRC COMMENTS

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
4264 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
CHRIS URQUHART
(704) 258-9147
FAX (704) 000-0000
EMAIL: chris@crow.com

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

**CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3**
MEBANE, NC

SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

SHEET
G0001

REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION



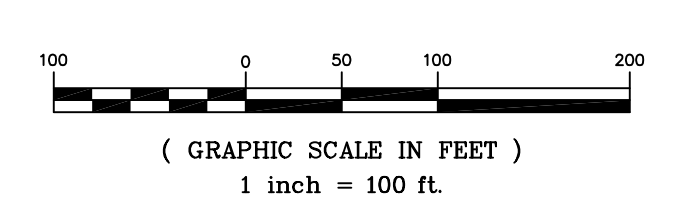
NOTES

- EXISTING CONDITIONS SHOWN ARE BASED UPON SITE SURVEYS PERFORMED BY BALLENTINE ASSOCIATES.
- STREAM/WETLAND DELINEATION PROVIDED BY PILOT ENVIRONMENTAL, INC. IN A REPORT DATED APRIL 25, 2022.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
- ALL DEBRIS GENERATED BY DEMOLITION ACTIVITIES SHALL BE REMOVED FROM SITE AND DISPOSED OF PER THE APPROVED SOLID WASTE MANAGEMENT PLAN.
- BOTH PARCELS ARE ENCOMBERED BY SPECIAL FLOOD HAZARD AREA, AS DETAILED HEREIN, WITH VARYING BASE FLOOD ELEVATION REQUIREMENTS AS DETAILED ON FLOOD INSURANCE RATE MAP (FIRM) 371098400K PANEL 9804 WITH AN EFFECTIVE DATE OF NOVEMBER 17, 2017. ACCORDING TO THE FIRM, THE FLOOD SOURCE IS AN UNNAMED TRIBUTARY TO EAST BACK CREEK. NO DEVELOPMENT ACTIVITY SHALL OCCUR WITHIN THE SFHA.

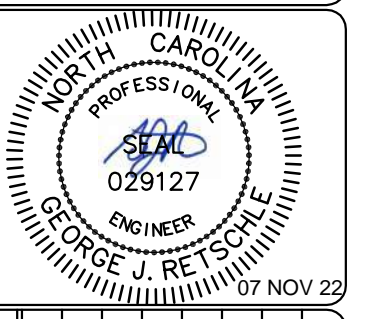
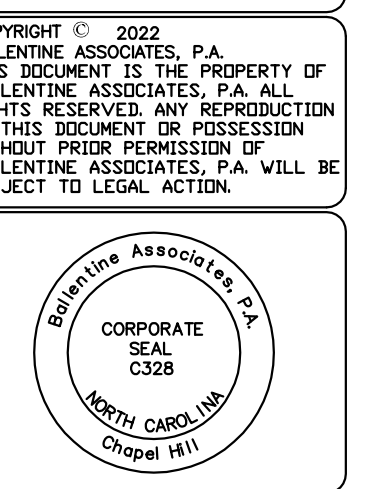
DRAWING LEGEND

SYMBOL/ABBREVIATION	DESCRIPTION
---	MINOR CONTOUR
---	MAJOR CONTOUR
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	CATCH BASIN
⊕	SEWER MANHOLE
⊕	UTILITY POLE
⊕	WELL
⊕	SANITARY SEWER CLEANOUT
⊕	HVAC UNIT
⊕	ELECTRIC METER
⊕	TELEPHONE PEDESTAL
⊕	GAS METER
⊕	MAIL BOXES
⊕	CONIFEROUS TREE
⊕	DECIDUOUS TREE
---	WATER LINE
---	FENCE LINE
---	OVERHEAD ELECTRIC LINE
---	SANITARY SEWER LINE
---	STORM DRAINAGE PIPE
---	FEMA 100-YR FLOOD ZONE
---	JORDAN LAKE RIPARIAN BUFFER
---	FLOODWAY
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJOINER PROPERTY LINE
---	EASEMENT LINE
---	LIMITS OF DISTURBANCE
---	WETLANDS
---	SOIL BOUNDARY
ChA	CHEWAGIA LOAM
CnB2, CnC2	CULLEN CLAY LOAM
CnC	ENON SANDY LOAM
HnB	HERNDON SILT LOAM
IrC	IREDELL LOAM
Ud	UDORTHERTS, LOAMY
Wb, WtC	WYNOTT-ENON COMPLEX
⊕	BORING LOCATION (APPROX.)
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	CLEARING AND GRUBBING AREA

EXISTING CONDITIONS & DEMOLITION PLAN



**REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION**



DATE	REVISIONS
08 SEP 22	PER CITY OF MEANE TRC COMMENTS
19 OCT 22	PER CITY OF MEANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

DATE	REVISIONS
08 SEP 22	OWNER INFORMATION
19 OCT 22	OWNER INFORMATION
07 NOV 22	OWNER INFORMATION

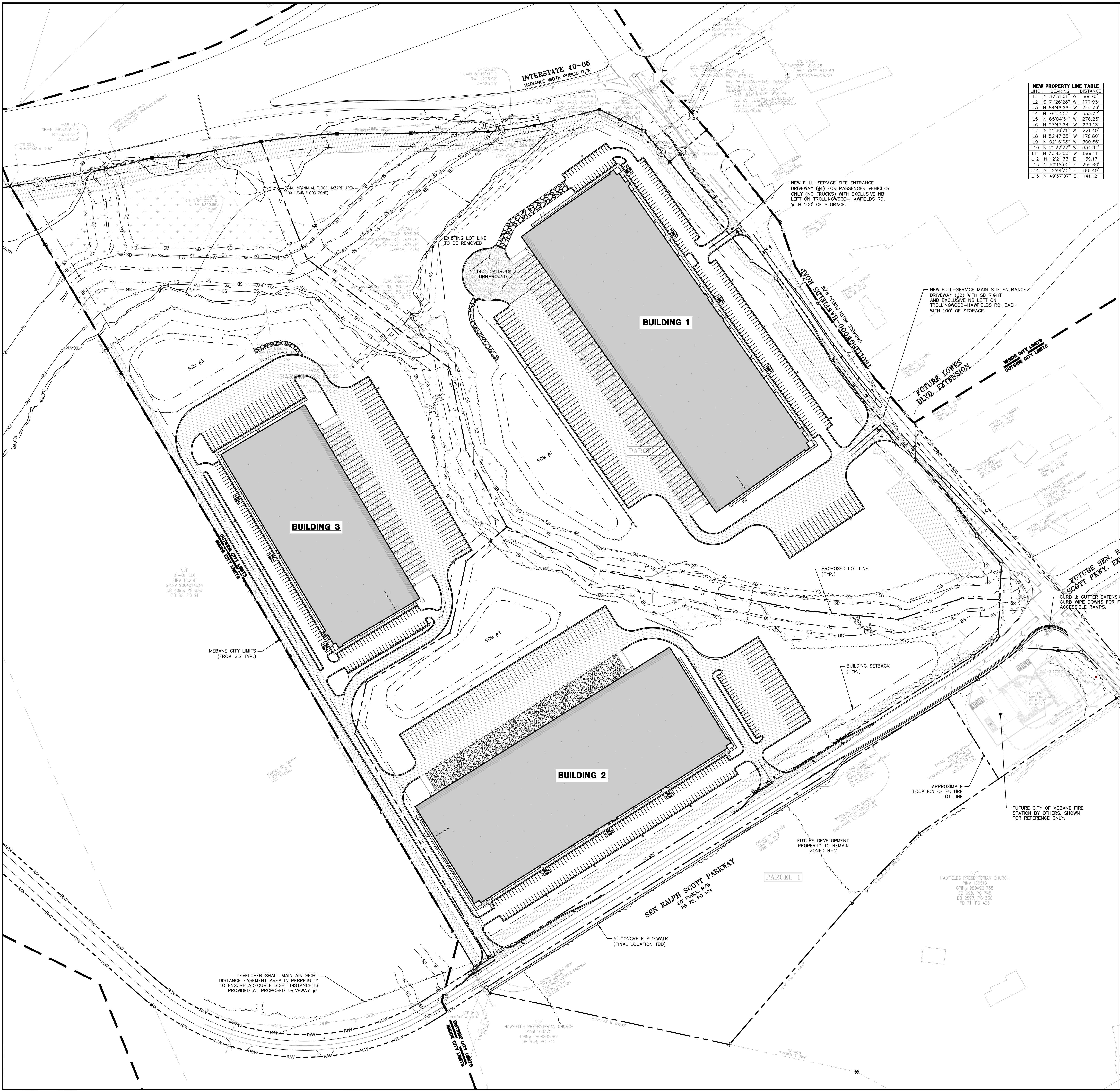
OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
4204 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNERS REPRESENTATIVE:
CHRIS UROUHART
704 258-9147
FAX (000) 000-0000
EMAIL: info@crowindustrial.com

**CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBANE, NC**

SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

**SHEET
C0101**



NEW PROPERTY LINE TABLE

LINE	BEARING	DISTANCE
L1	N 87°31'01" W	99.76
L2	S 71°09'08" W	177.93
L3	N 84°46'26" W	249.79
L4	N 78°53'57" W	555.72
L5	N 65°04'51" W	276.25
L6	N 27°47'24" W	233.18
L7	N 11°56'21" W	221.40
L8	N 52°47'55" W	178.93
L9	N 52°16'08" W	300.86
L10	N 21°22'22" W	334.94
L11	N 30°42'00" W	699.11
L12	N 12°21'33" E	139.17
L13	N 59°18'00" E	259.60
L14	N 12°44'55" E	196.40
L15	N 49°57'07" E	141.12

- NOTES**
1. THE PROPERTY WILL BE SUBDIVIDED. THE PROPOSED PROPERTY LINES SHOWN IN THESE DRAWINGS ARE PRELIMINARY, AND WILL BE FINALIZED DURING THE CONSTRUCTION DRAWING PROCESS.
 2. THIS SITE PLAN/CONDITIONAL ZONING APPLICATION DOES NOT INCLUDE ANY DEVELOPMENT SOUTH OF SENATOR RALPH SCOTT PARKWAY.
 3. NCDOT DRIVEWAY PERMITS SHALL BE OBTAINED FOR THE FOUR PROPOSED ACCESS POINTS AND ROADWAY IMPROVEMENTS SHALL BE MADE AT DRIVEWAYS #1 AND #2 IN ACCORDANCE WITH THE APPROVED TIA AND AS GENERALLY SHOWN IN THESE DRAWINGS.
 4. THREE-PARTY ENCROACHMENT AGREEMENT WITH CITY OF MEBANE FOR ANY PROPOSED/STIPULATED SIDEWALKS, WATER, AND SEWER CONSTRUCTION WITHIN NCDOT R/W.
 5. FINAL DETAILS FOR ALL IMPROVEMENTS SHOWN IN THESE DRAWINGS WILL BE PROVIDED WITH CONSTRUCTION PLANS.
 6. ANNEXATION IS REQUIRED PRIOR TO CONNECTION TO CITY UTILITIES.

SITE DATA TABLE

PROPERTY ADDRESSES:	1447 TROLLINGWOOD HAWFIELDS RD MEBANE, NC 27302																				
PROPERTY PIN NUMBERS:	EXISTING PARCEL #1 160378 EXISTING PARCEL #2 160314																				
CURRENT LAND OWNER:	SARAH S. BRADLEY, ET AL																				
CONTRACT PURCHASER:	CH ACQUISITIONS, LP																				
EXISTING ZONING:	EXISTING PARCEL #1 B-2 GENERAL BUSINESS EXISTING PARCEL #2 M-2 LIGHT MANUFACTURING																				
PROPOSED ZONING:	LM (CD) - LIGHT MANUFACTURING CONDITIONAL DISTRICT																				
MINIMUM LOT DIMENSIONS & SETBACKS:	MIN LOT SIZE = 20,000 S.F. MIN LOT WIDTH = 75' FRONT YARD SETBACK = 50' SIDE YARD SETBACK = 35' (43' FOR CORNER LOT) REAR YARD SETBACK = 20'																				
WATERSHED:	JORDAN LAKE																				
AREA OF TRACT:	3,384,123 SF / 77.689 AC. NOT INCLUDING: 1) PORTION OF EXISTING PARCEL 1 SOUTH OF SEN RALPH SCOTT PARKWAY, WHICH IS NOT INCLUDED IN THIS APPLICATION. 2) 35,463 SF (0.814 AC.) OF PARCEL 1 WITHIN SR 1981 RIGHT-OF-WAY.																				
PROPOSED LOT AND BUILDING DATA:	<table border="1"> <thead> <tr> <th>LOT #</th> <th>BUILDING #</th> <th>AREA COVERED BY STRUCTURE</th> <th>AREA COVERED BY ASPHALT/CONCRETE</th> <th>TOTAL UNDISTURBED AREA</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>1</td> <td>877,000 SF / 15.54 AC</td> <td>845,159 SF / 19.40 AC</td> <td>823,353 SF / 18.80 AC</td> </tr> <tr> <td>2</td> <td>2</td> <td>279,000 SF</td> <td>248,000 SF</td> <td>23,076 SF</td> </tr> <tr> <td>3</td> <td>3</td> <td>279,000 SF</td> <td>248,000 SF</td> <td>417,037 SF</td> </tr> </tbody> </table>	LOT #	BUILDING #	AREA COVERED BY STRUCTURE	AREA COVERED BY ASPHALT/CONCRETE	TOTAL UNDISTURBED AREA	1	1	877,000 SF / 15.54 AC	845,159 SF / 19.40 AC	823,353 SF / 18.80 AC	2	2	279,000 SF	248,000 SF	23,076 SF	3	3	279,000 SF	248,000 SF	417,037 SF
LOT #	BUILDING #	AREA COVERED BY STRUCTURE	AREA COVERED BY ASPHALT/CONCRETE	TOTAL UNDISTURBED AREA																	
1	1	877,000 SF / 15.54 AC	845,159 SF / 19.40 AC	823,353 SF / 18.80 AC																	
2	2	279,000 SF	248,000 SF	23,076 SF																	
3	3	279,000 SF	248,000 SF	417,037 SF																	
DOCK POSITIONS:	49 44 35																				
TRAILER STORAGE SPACES PROVIDED:	71 (1.45x DOCK POSITIONS) 76 (1.73x DOCK POSITIONS) 69 (1.97x DOCK POSITIONS)																				
VEHICLE PARKING SPACES:																					
PARKING REQUIRED BY DEVELOPER (0.75 SPA PER 1,000 SF FLOOR AREA)	209 186 117																				
TOTAL VEHICLE PARKING SPACES PROVIDED:	211 188 119																				
ACCESSIBLE PARKING SPACES REQ'D:	7 TOTAL INCL 2 VAN ACCESSIBLE 6 TOTAL INCL 1 VAN ACCESSIBLE 5 TOTAL INCL 1 VAN ACCESSIBLE																				
ACCESSIBLE PARKING PROVIDED (INCLUDED IN TOTAL SPACES PROVIDED):	8 TOTAL INCL 8 VAN ACCESSIBLE 6 TOTAL INCL 6 VAN ACCESSIBLE 6 TOTAL INCL 6 VAN ACCESSIBLE																				

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
-R/W-	- - - - -	- - - - -	PROPERTY LINE
- - - - -	- - - - -	- - - - -	RIGHT-OF-WAY LINE
- - - - -	- - - - -	- - - - -	ADJOINER PROPERTY LINE
- - - - -	- - - - -	- - - - -	EASEMENT LINE
- - - - -	- - - - -	- - - - -	SETBACK LINE
- - - - -	- - - - -	- - - - -	WETLAND
- - - - -	- - - - -	- - - - -	STREAM CENTERLINE/STORMWATER
- - - - -	- - - - -	- - - - -	SCM WATER SURFACE
- - - - -	- - - - -	- - - - -	STREAM BUFFER
- - - - -	- - - - -	- - - - -	TREE LINE
- - - - -	- - - - -	- - - - -	OVERHEAD ELECTRIC LINE
- - - - -	- - - - -	- - - - -	STREETSCAPE BUFFER (TYP.) - SEE SHEET L1003

PAVING LEGEND

(A1) (C5007)	HEAVY-DUTY ASPHALT (8' ABC/3' 119.0/2" S9.5C)
(A1) (C5007)	NCDOT HEAVY-DUTY ASPHALT (5' B25.0C/4' 119.0C/3" S9.5B)
(A1) (C5007)	STANDARD DUTY ASPHALT (6" ABC/2" S9.5C)
(A1) (C5007)	D/W #1 (8' ABC/2" S9.5C)
(A1) (C5007)	CONCRETE PAVEMENT (ALL UN-REINFORCED) (SIDEWALKS: 4" ABC/4" 4500 PSI CONC) (TRUCK COURTS: 6" ABC/7" 4500 PSI CONC) (CITY OF MEBANE SIDEWALKS: 4" ABC/5" 5000 PSI CONC)

SITE OVERVIEW

(GRAPHIC SCALE IN FEET)
1 inch = 100 ft.

**REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION**

Ballentine Associates, PA
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 928 - 0461

DATE: 12 JUL 22, 08 SEP 22, 19 OCT 22, 07 NOV 22

REVISIONS:

DATE	DESCRIPTION
08 SEP 22	PER CITY OF MEBANE TRC COMMENTS
19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

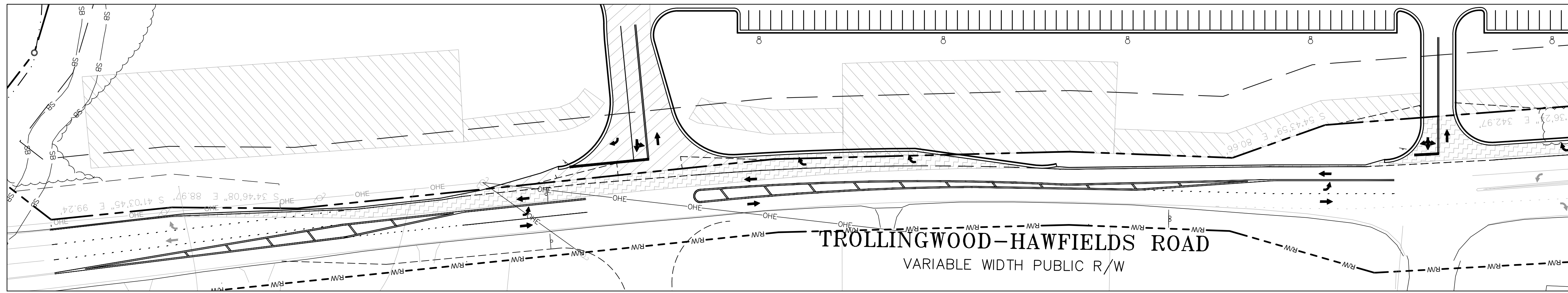
OWNER INFORMATION:
CROW HOLDINGS INDUSTRIAL
4204 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNERS REPRESENTATIVE:
CHRIS URQUHART
(704) 258-9147
FAX (704) 000-0000
EMAIL: urquhart@crowindustrial.com

**CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBANE, NC**

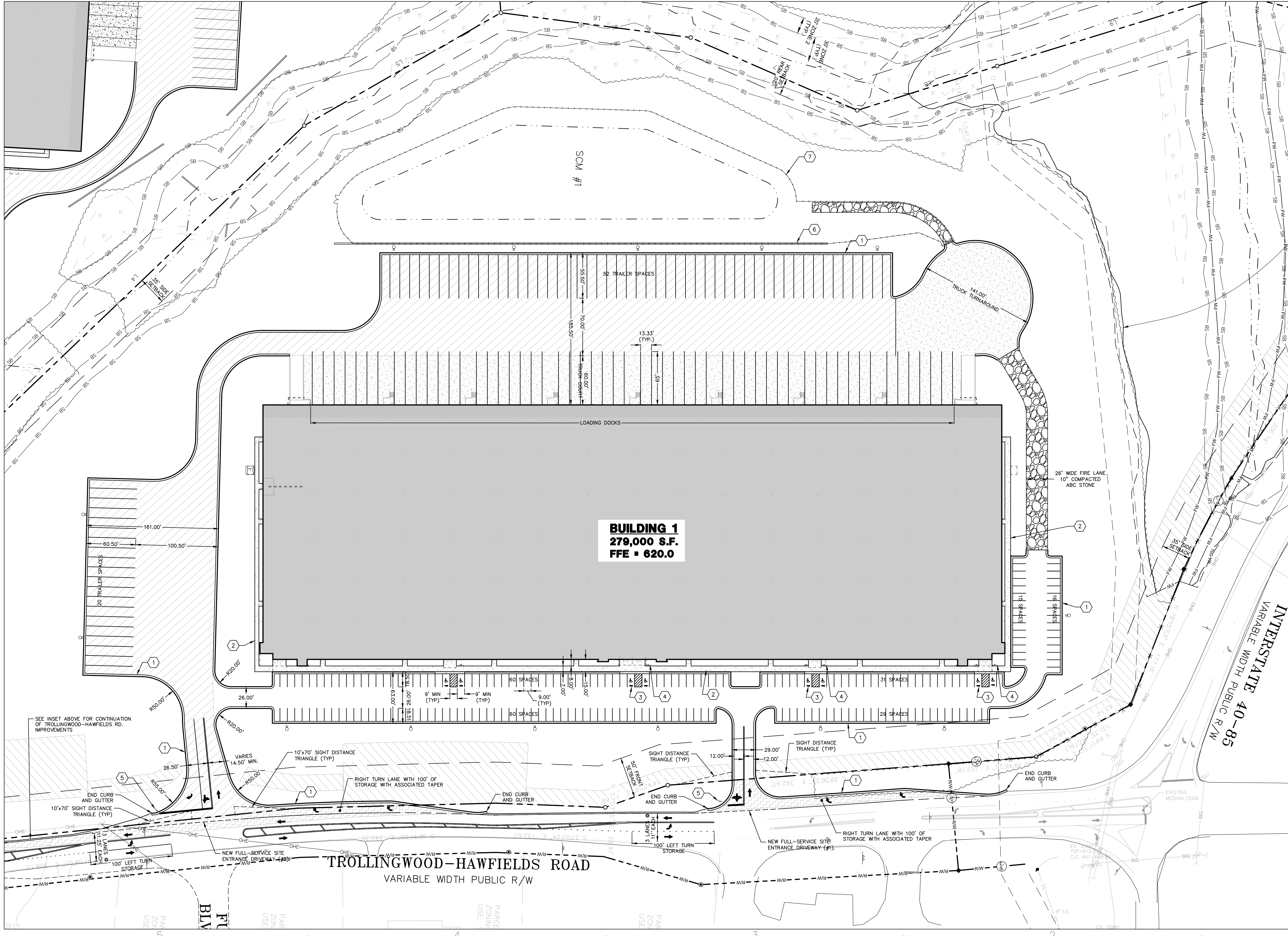
SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

**SHEET
C1000**



D4 TROLLINGWOOD-HAWFIELDS RD. IMPROVEMENTS
C1001



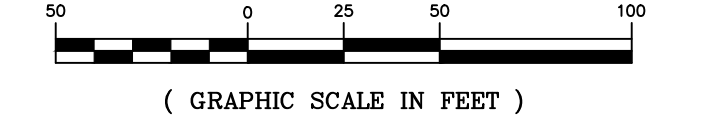
BUILDING 1
279,000 S.F.
FFE = 620.0

- ### PLAN KEY NOTES
- 1 30" CONCRETE CURB & GUTTER (TYP.)
 - 2 CONCRETE SIDEWALK (5' WIDE TYP. UNLESS OTHERWISE NOTED)
 - 3 TYPICAL ACCESSIBLE PARKING LAYOUT
 - 4 HS-2 VAN ACCESSIBLE PARKING SIGN
 - 5 "STOP" SIGN
 - 6 SEGMENTAL BLOCK RETAINING WALL (DESIGN BUILD)
 - 7 4' HIGH BLACK VINYL-COATED CHAIN LINK FENCE WITH 12' WIDE GATE FOR ACCESS

- ### PAVING LEGEND
- A1 C5001 HEAVY-DUTY ASPHALT (8" ABC/3" 119.00/2" S9.5C)
 - A1 C5001 NCDDT HEAVY-DUTY ASPHALT (9" B25.00/4" 119.00/3" S9.5B)
 - A1 C5001 STANDARD DUTY ASPHALT (6" ABC/2" S9.5C) (SIDEWALKS: 4" ABC/4" 4500 PSI CONC) (TRUCK COURTS: 6" ABC/7" 4000 PSI CONC)
 - A1 C5001 CONCRETE PAVEMENT (ALL UN-REINFORCED) (SIDEWALKS: 4" ABC/4" 4500 PSI CONC)

- ### DRAWING LEGEND
- | SYMBOL | ABBREVIATION | DESCRIPTION |
|--------|--------------|---|
| --- | EXISTING | PROPERTY LINE |
| -R/W- | PROPOSED | RIGHT-OF-WAY LINE |
| --- | EXISTING | ADJONER PROPERTY LINE |
| --- | EXISTING | EASEMENT LINE |
| --- | EXISTING | SETBACK LINE |
| --- | EXISTING | WETLAND |
| --- | EXISTING | STREAM CENTERLINE/STORMWATER |
| --- | EXISTING | SCM WATER SURFACE |
| SB | PROPOSED | STREAM BUFFER |
| --- | EXISTING | TREE LINE |
| OHE | EXISTING | OVERHEAD ELECTRIC LINE |
| --- | EXISTING | STREETSCAPE BUFFER (TYP.) - SEE SHEET L1003 |

BUILDING 1 SITE PLAN



REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION

DATE	REVISIONS
08 SEP 22	PER CITY OF MEBAHE TRC COMMENTS
19 OCT 22	PER CITY OF MEBAHE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

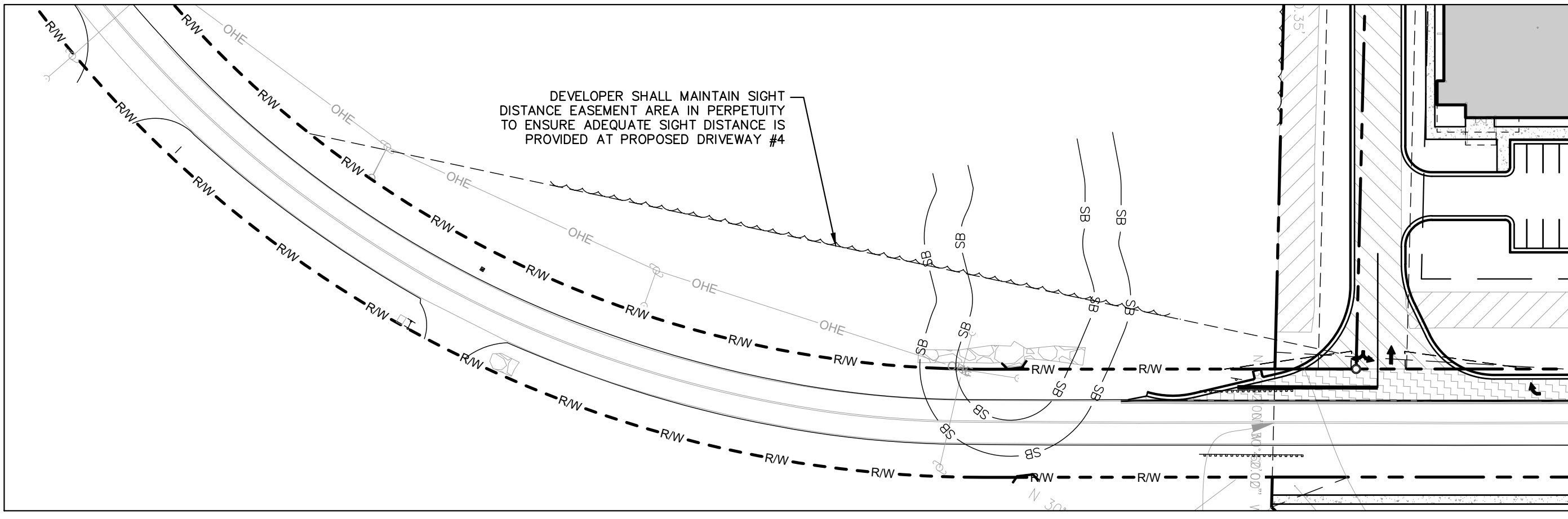
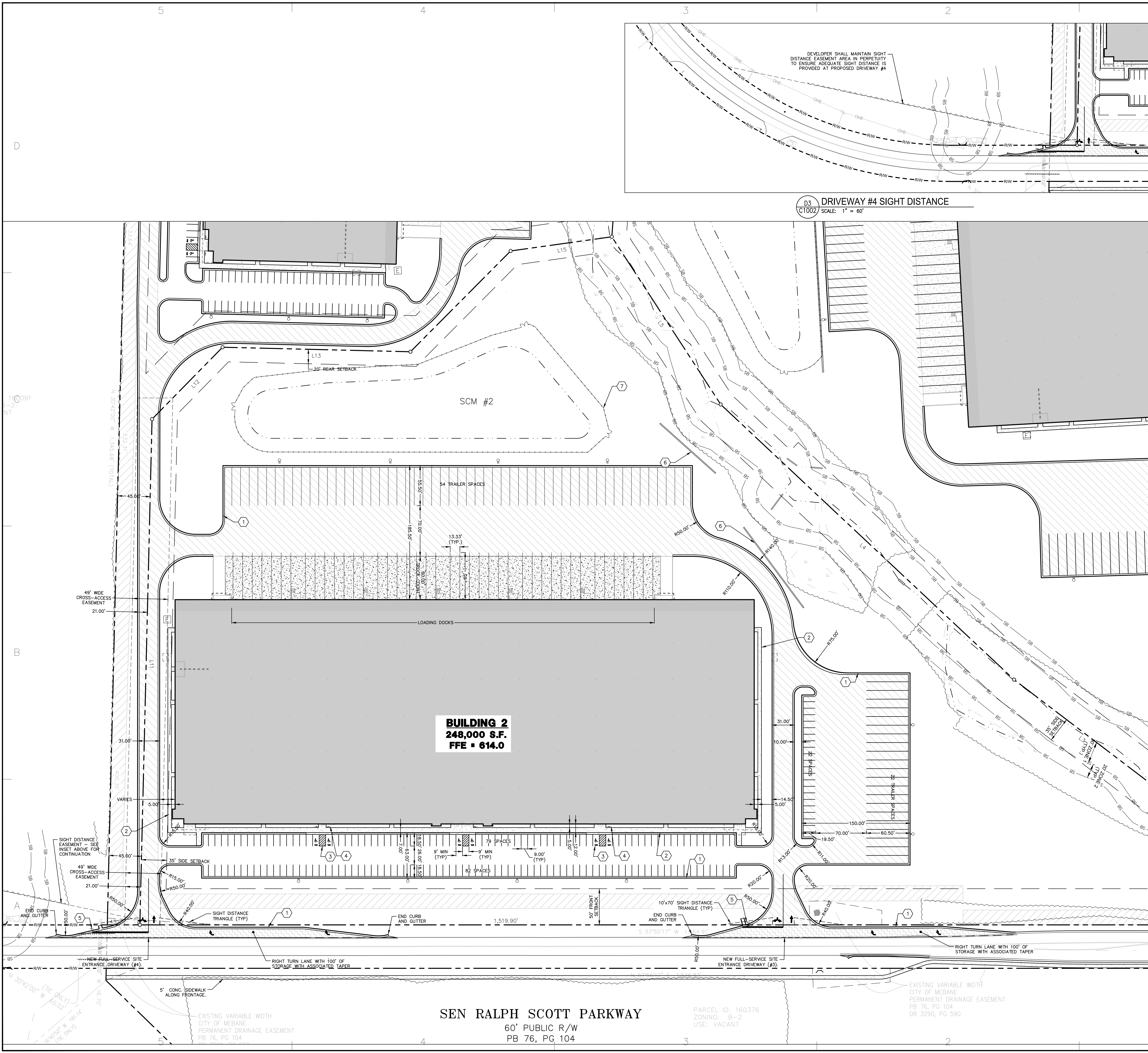
OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
4204 COLONY ROAD
SUITE 402
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
CHRIS URQUHART
7704 258-9147
FAX (000) 000-0000
EMAIL: chris@crowindustrial.com

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBAHE, NC
SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

SHEET
C1001



D3 DRIVEWAY #4 SIGHT DISTANCE
C1002 SCALE: 1" = 60'

- PLAN KEY NOTES**
- 1 30" CONCRETE CURB & GUTTER (TYP.)
 - 2 CONCRETE SIDEWALK (5' WIDE TYP. UNLESS OTHERWISE NOTED)
 - 3 TYPICAL ACCESSIBLE PARKING LAYOUT
 - 4 HS-2 VAN ACCESSIBLE PARKING SIGN
 - 5 "STOP" SIGN
 - 6 SEGMENTAL BLOCK RETAINING WALL (DESIGN BUILD)
 - 7 4' HIGH BLACK VINYL-COATED CHAIN LINK FENCE WITH 12' WIDE GATE FOR ACCESS
- PAVING LEGEND**
- HEAVY-DUTY ASPHALT (6" ABC/3" 119.0/2" 59.5C)
 - NC DOT HEAVY-DUTY ASPHALT (5" B25.0C/4" 119.0C/3" 59.5B)
 - STANDARD DUTY ASPHALT (6" ABC/2" 59.5C)
 - CONCRETE PAVEMENT (ALL UN-REINFORCED) (SIDEWALKS: 4" ABC/4" 4500 PSI CONC) (TRUCK COURTS: 6" ABC/7" 4000 PSI CONC) (CITY OF MEBANE SIDEWALKS: 4" ABC/5" 5000 PSI CONC)

- DRAWING LEGEND**
- | SYMBOL/ABBREVIATION | EXISTING | PROPOSED | DESCRIPTION |
|---------------------|----------|----------|--|
| --- | --- | --- | PROPERTY LINE |
| -R/W- | -R/W- | -R/W- | RIGHT-OF-WAY LINE |
| --- | --- | --- | ADJOINER PROPERTY LINE |
| --- | --- | --- | EASEMENT LINE |
| --- | --- | --- | SETBACK LINE |
| --- | --- | --- | WETLAND |
| --- | --- | --- | STREAM CENTERLINE/STORMWATER SCM WATER SURFACE |
| --- | --- | --- | STREAM BUFFER |
| --- | --- | --- | TREE LINE |
| --- | --- | --- | OVERHEAD ELECTRIC LINE |
| --- | --- | --- | STREETSCAPE BUFFER (TYP.) - SEE SHEET L1003 |

BUILDING 2 SITE PLAN

12 JUL 2022
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

1 inch = 60 ft.

REVIEW DRAWING NOT ISSUED FOR CONSTRUCTION

C1002

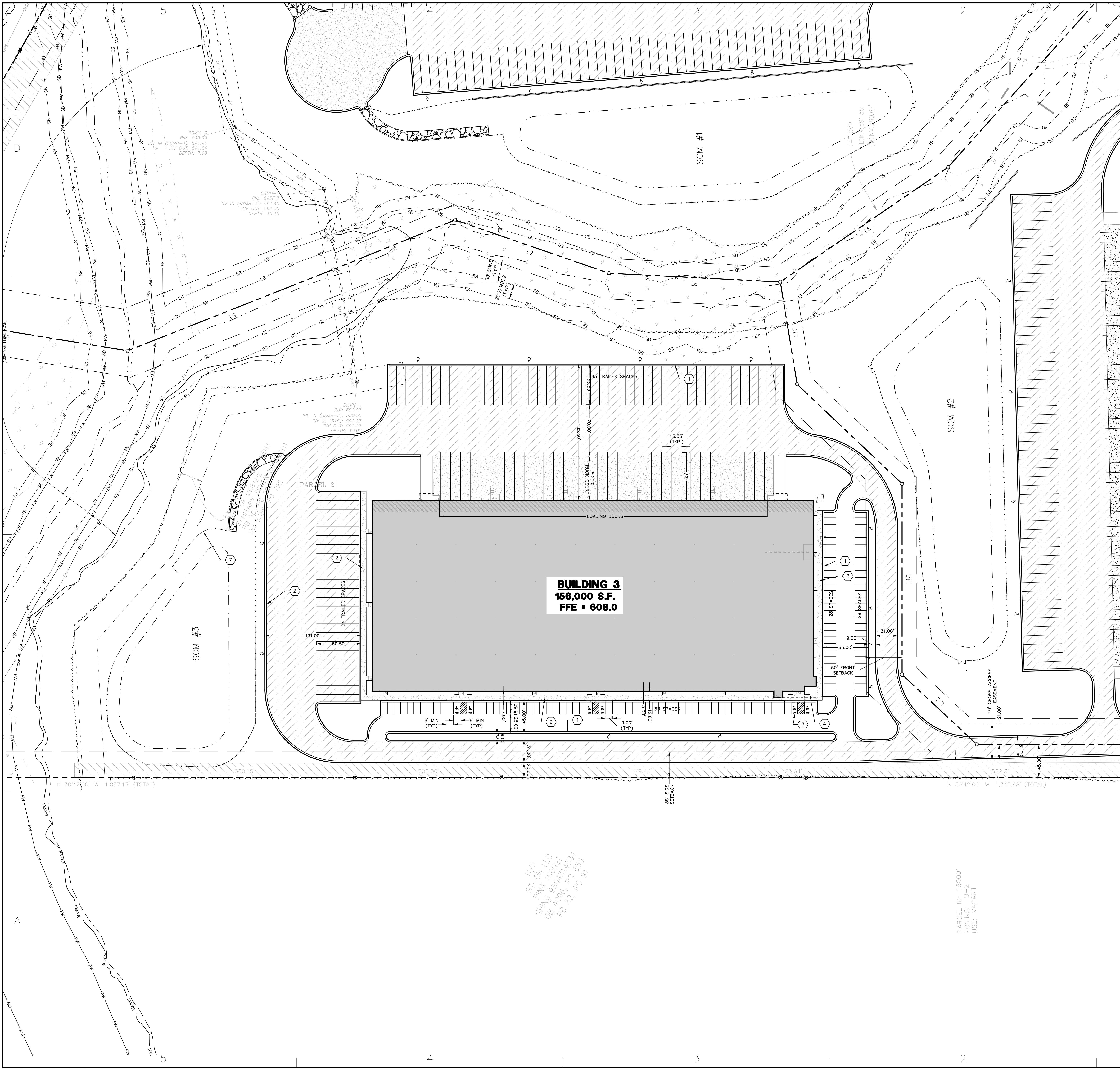
Ballentine Associates, PA
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 528-0461

OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
4204 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
CHRIS URQUHART
7704 258-9147
FAX (000) 000-0000
EMAIL: chris@crowindustrial.com

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBANE, NC
SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

SHEET C1002

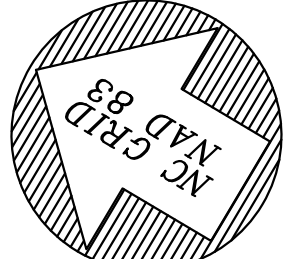
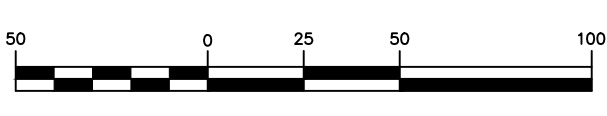


- ### PLAN KEY NOTES
- 1 30" CONCRETE CURB & GUTTER (TYP.)
 - 2 CONCRETE SIDEWALK (5' WIDE TYP. UNLESS OTHERWISE NOTED)
 - 3 TYPICAL ACCESSIBLE PARKING LAYOUT
 - 4 HS-2 VAN ACCESSIBLE PARKING SIGN
 - 5 "STOP" SIGN
 - 6 SEGMENTAL BLOCK RETAINING WALL (DESIGN BUILD)
 - 7 4' HIGH BLACK VINYL-COATED CHAIN LINK FENCE WITH 12" WIDE GATE FOR ACCESS

- ### PAVING LEGEND
- A1 (C500T) HEAVY-DUTY ASPHALT (6" ABC/3" 119.0/2" 59.5C)
 - A1 (C500T) NCDOT HEAVY-DUTY ASPHALT (5" B23.0C/4" 119.0C/3" 59.5B)
 - A1 (C500T) STANDARD DUTY ASPHALT (6" ABC/2" 59.5C)
 - A1 (C500T) CONCRETE PAVEMENT (ALL UN-REINFORCED) (SIDEWALKS: 4" ABC/4" 4500 PSI CONC) (TRUCK COURTS: 6" ABC/7" 4000 PSI CONC)

- ### DRAWING LEGEND
- | SYMBOL/ABBREVIATION | EXISTING | PROPOSED | DESCRIPTION |
|---------------------|----------|----------|--|
| --- | --- | --- | PROPERTY LINE |
| -R/W- | -R/W- | -R/W- | RIGHT-OF-WAY LINE |
| --- | --- | --- | ADJOINER PROPERTY LINE |
| --- | --- | --- | EASEMENT LINE |
| --- | --- | --- | SETBACK LINE |
| --- | --- | --- | WETLAND |
| --- | --- | --- | STREAM CENTERLINE/STORMWATER SCW WATER SURFACE |
| --- | --- | --- | STREAM BUFFER |
| --- | --- | --- | TREE LINE |
| --- | --- | --- | OVERHEAD ELECTRIC LINE |
| --- | --- | --- | STREETSCAPE BUFFER (TYP.) - SEE SHEET L103 |

SEE SHEET C1002 FOR CONTINUATION


BUILDING 3 SITE PLAN

 (GRAPHIC SCALE IN FEET)
 1 inch = 50 ft.
REVISION DRAWING
NOT ISSUED FOR CONSTRUCTION

N/F
 BT-OH LLC
 PIN# 90804314534
 DB 4086, PG 653
 PB 82, PG 91

PARCEL ID: 160091
 ZONING: R-2
 USE: VACANT

DATE	REVISIONS
08 SEP 22	PER CITY OF MEBANE TRC COMMENTS
19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

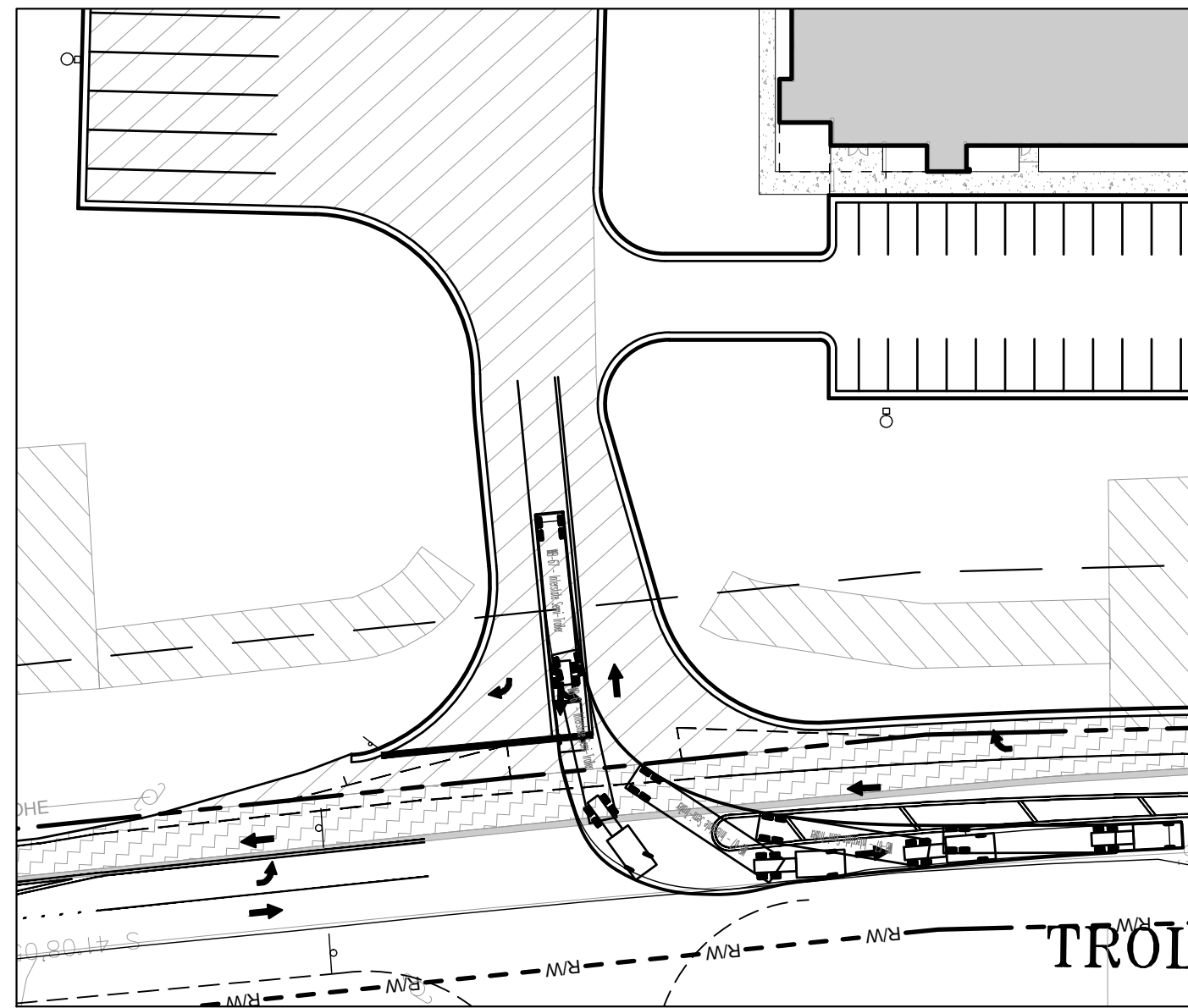
OWNER INFORMATION
 CROW HOLDINGS INDUSTRIAL
 4204 COLONY ROAD
 SUITE 405
 CHARLOTTE, NC 28211
OWNERS REPRESENTATIVE:
 CHRIS URQUHART
 (704) 258-9147
 FAX (704) 000-0000
 CMAL@crowindustrial.com

DATE	ISSUED
12 JUL 22 <td>SITE PLAN SUBMITTAL #1</td>	SITE PLAN SUBMITTAL #1
08 SEP 22 <td>SITE PLAN SUBMITTAL #2</td>	SITE PLAN SUBMITTAL #2
19 OCT 22 <td>SITE PLAN SUBMITTAL #3</td>	SITE PLAN SUBMITTAL #3
07 NOV 22 <td>FINAL SITE PLAN DOCUMENTS</td>	FINAL SITE PLAN DOCUMENTS

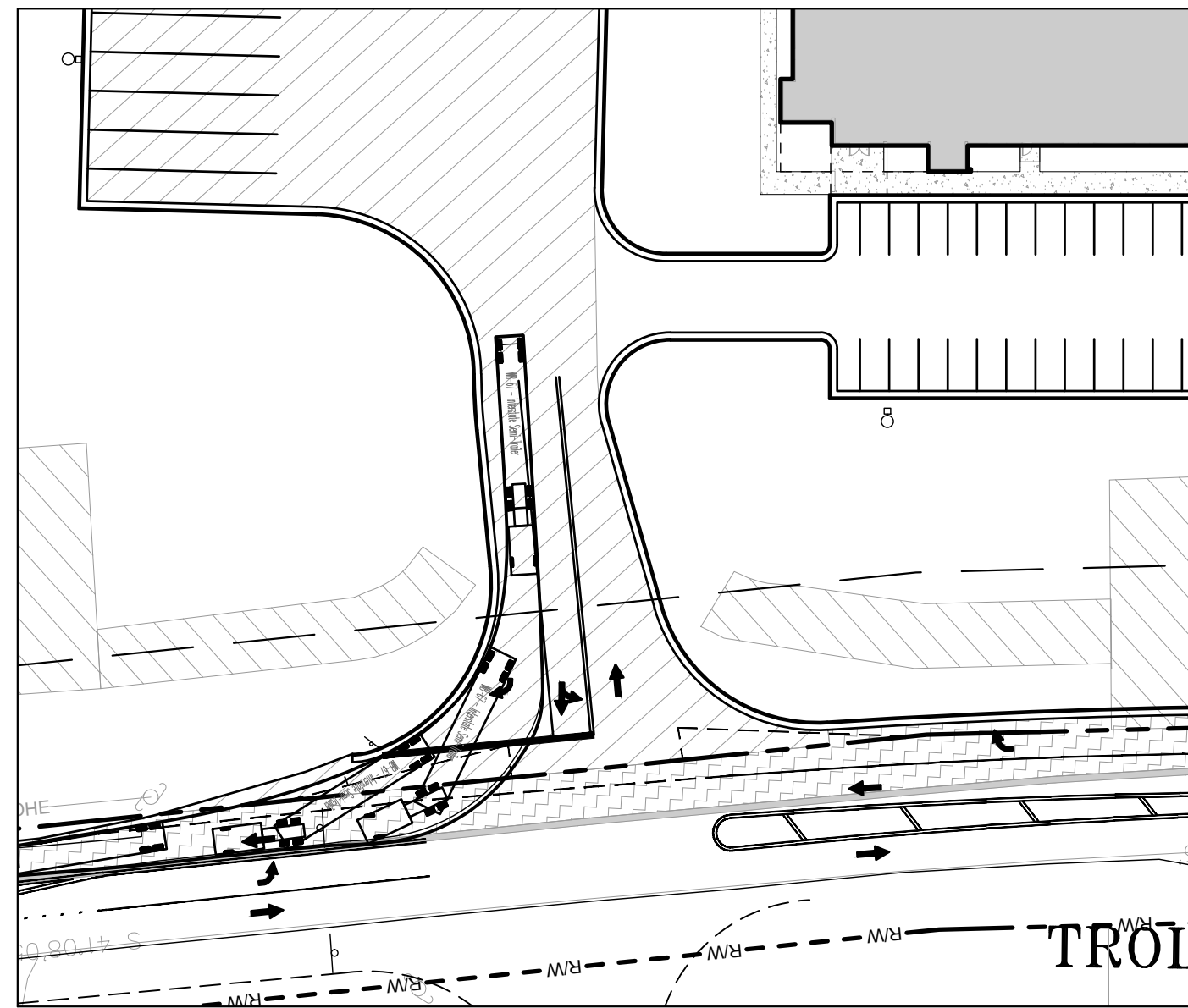
CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
 MEBANE, NC
SITE PLAN DRAWINGS

JOB # 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

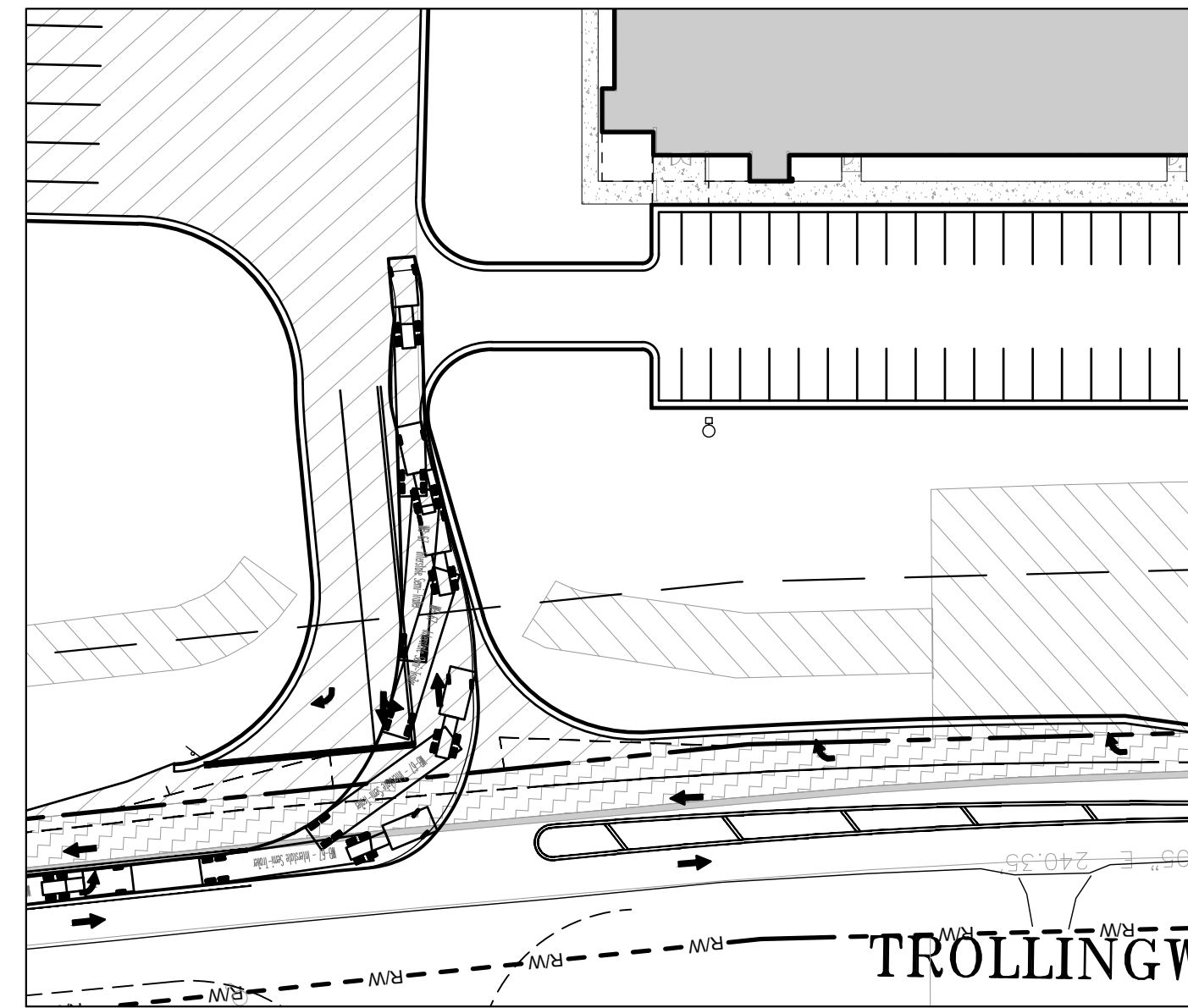
SHEET
C1003



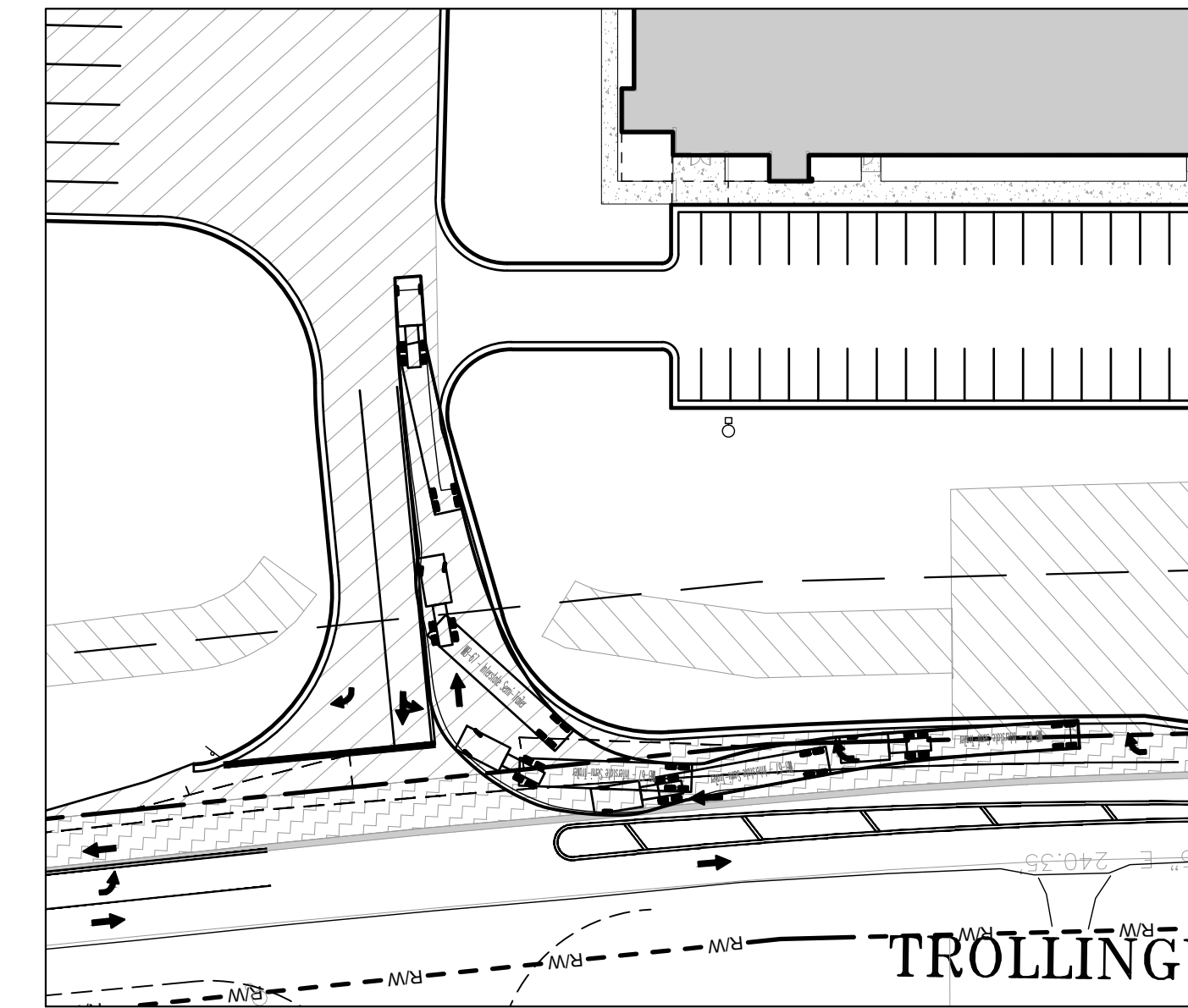
D5 DRIVEWAY #2 TURN TEMPLATE - LEFT OUT
C1004 SCALE: 1" = 50'



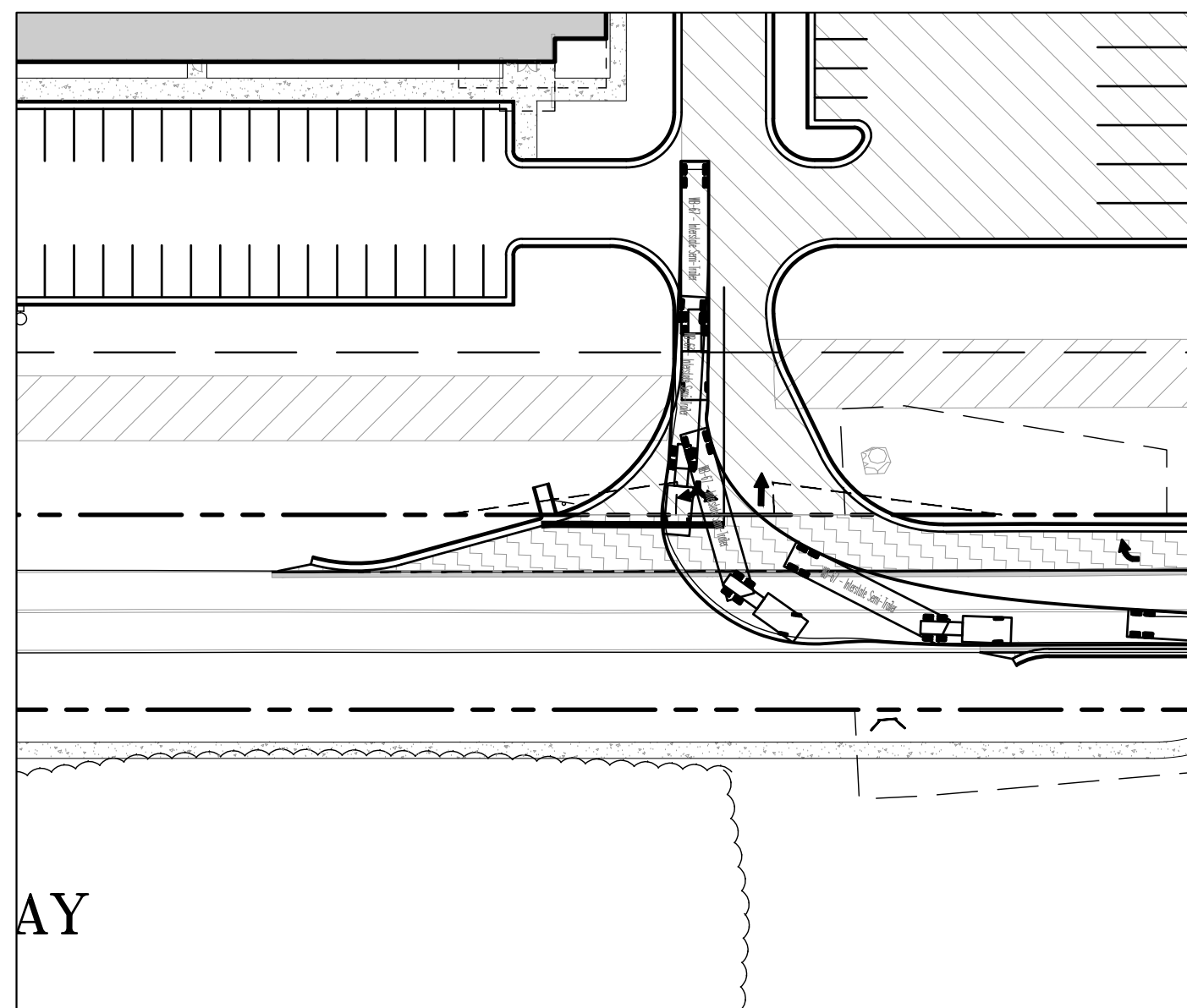
D4 DRIVEWAY #2 TURN TEMPLATE - RIGHT OUT
C1004 SCALE: 1" = 50'



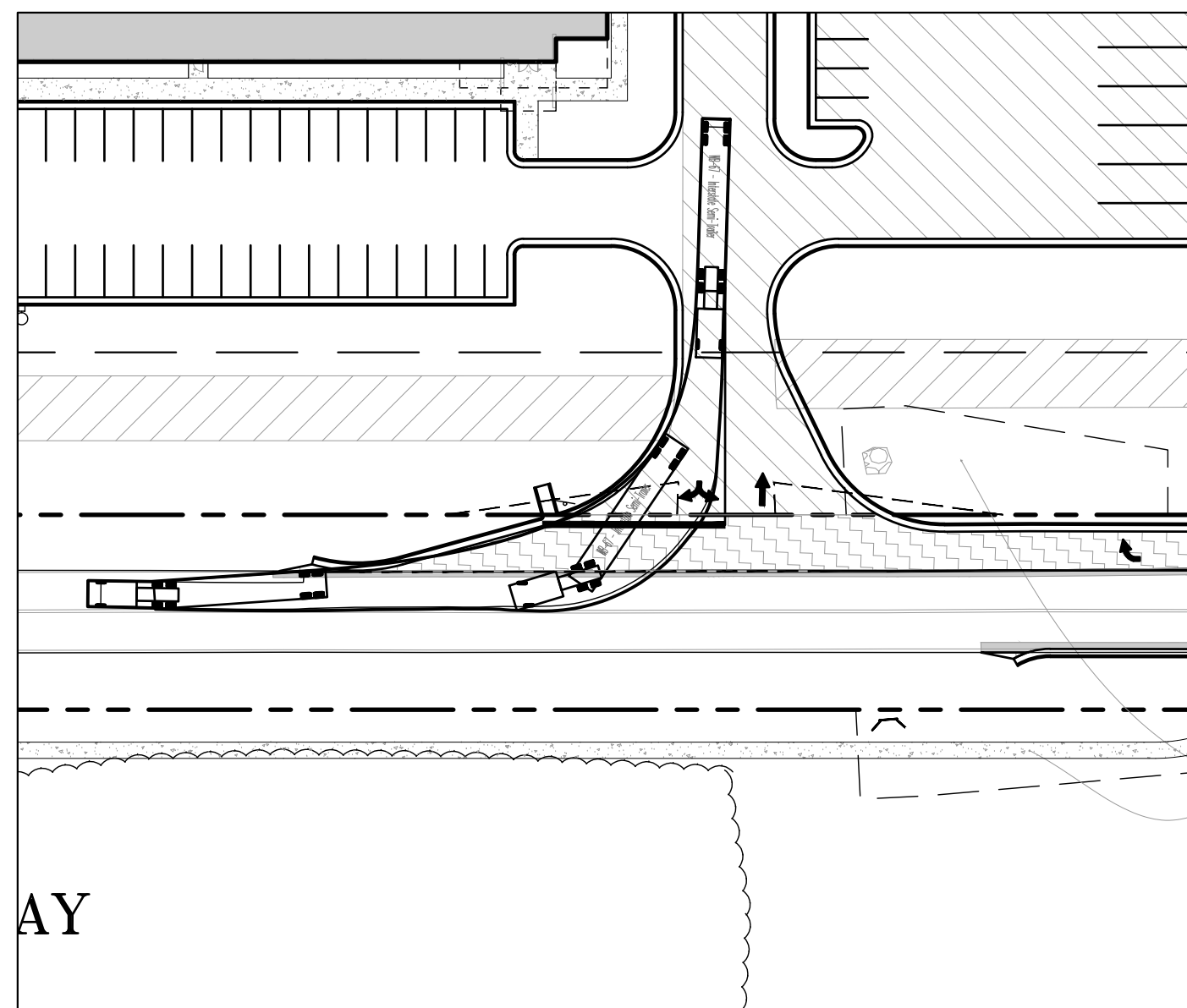
D3 DRIVEWAY #2 TURN TEMPLATE - LEFT IN
C1004 SCALE: 1" = 50'



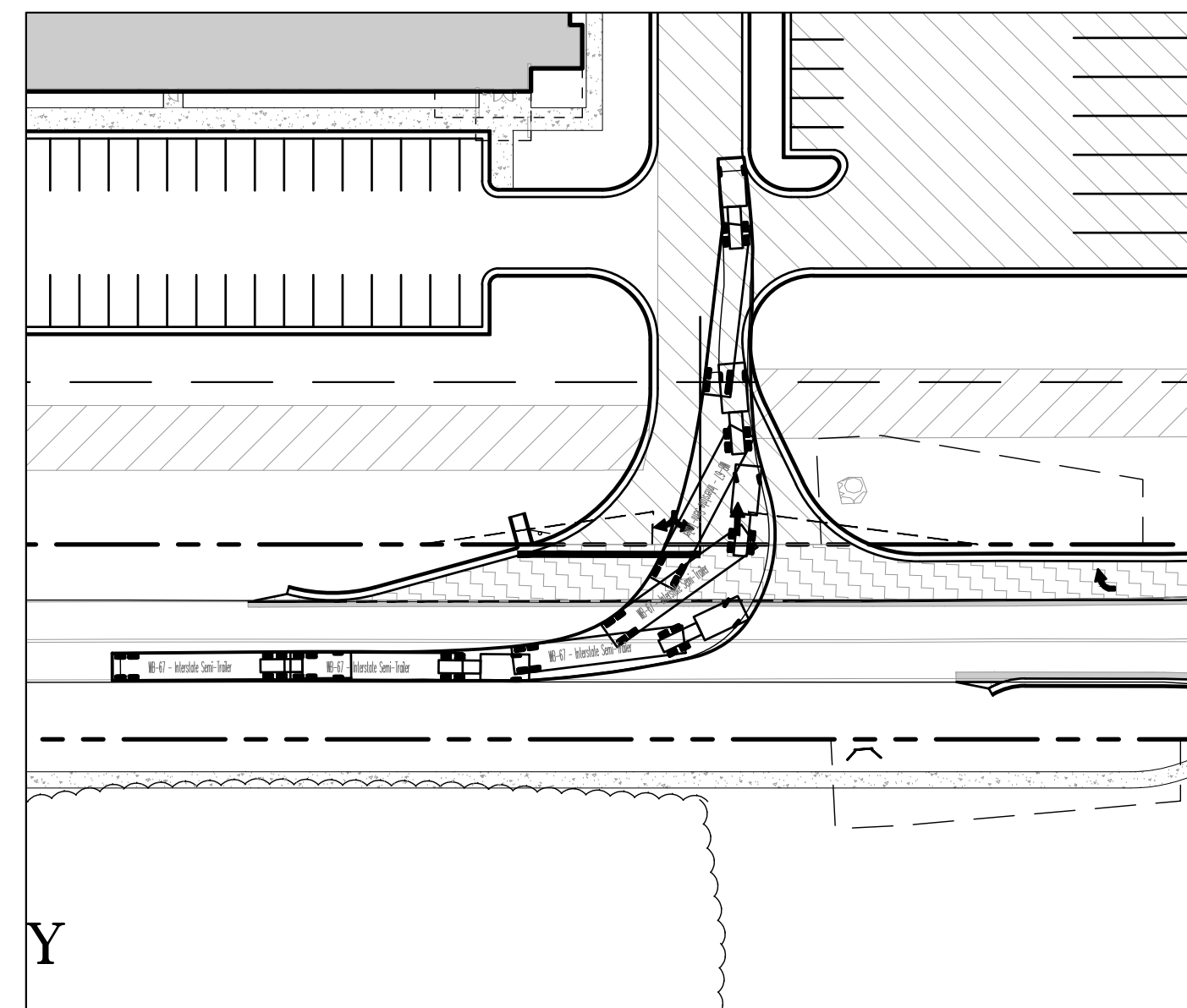
D1 DRIVEWAY #2 TURN TEMPLATE - RIGHT IN
C1004 SCALE: 1" = 50'



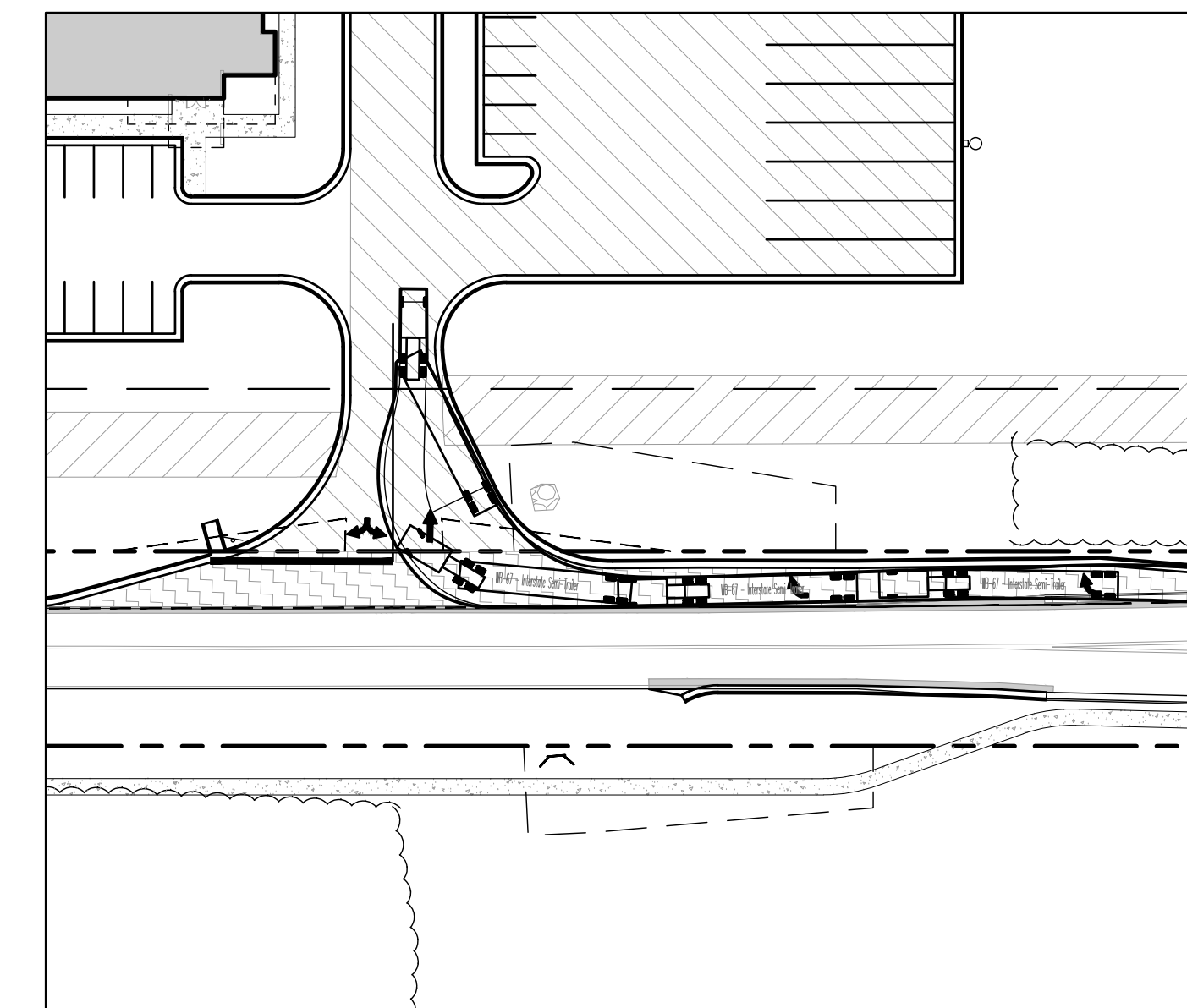
B4 DRIVEWAY #3 TURN TEMPLATE - LEFT OUT
C1004 SCALE: 1" = 50'



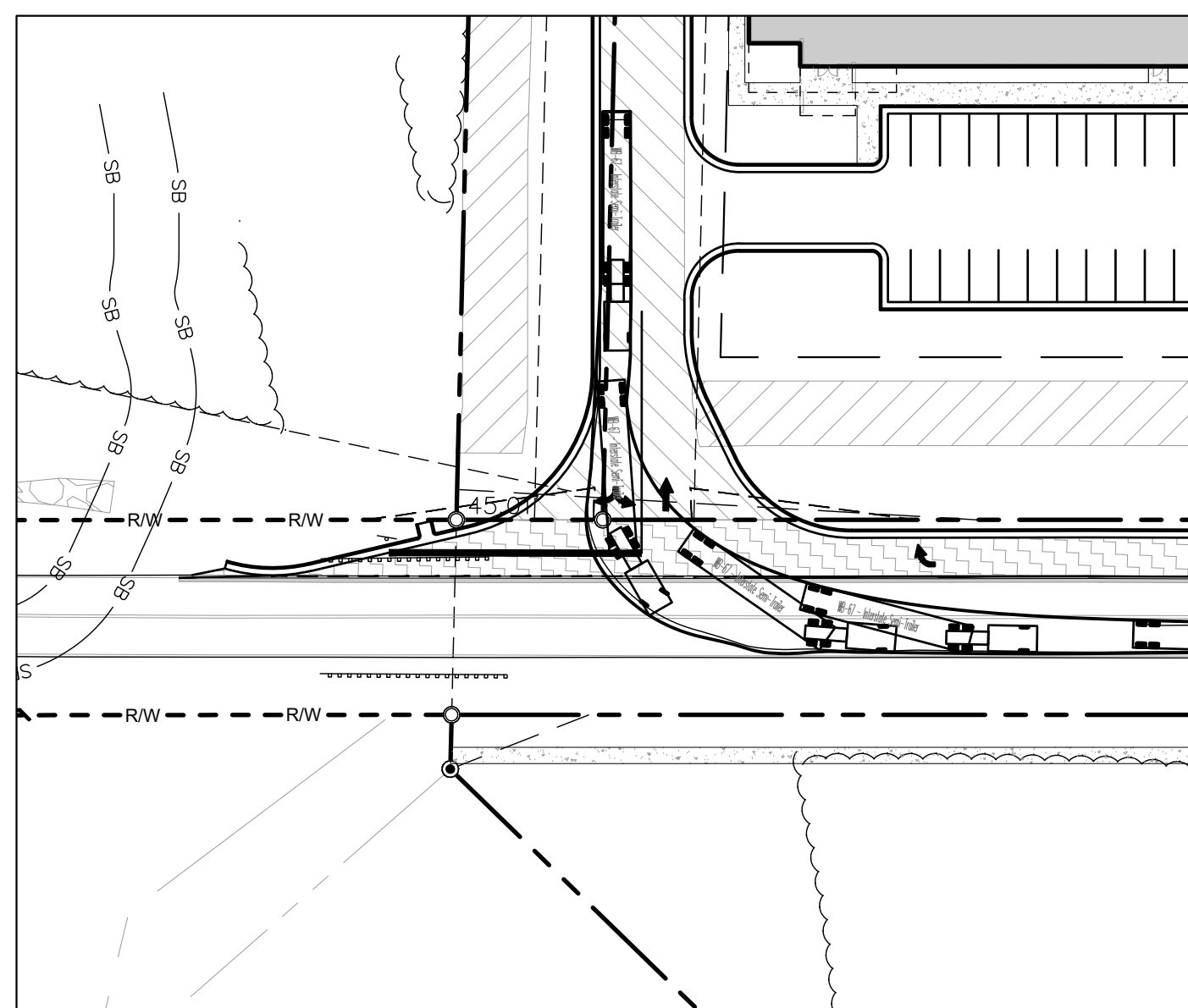
B4 DRIVEWAY #3 TURN TEMPLATE - RIGHT OUT
C1004 SCALE: 1" = 50'



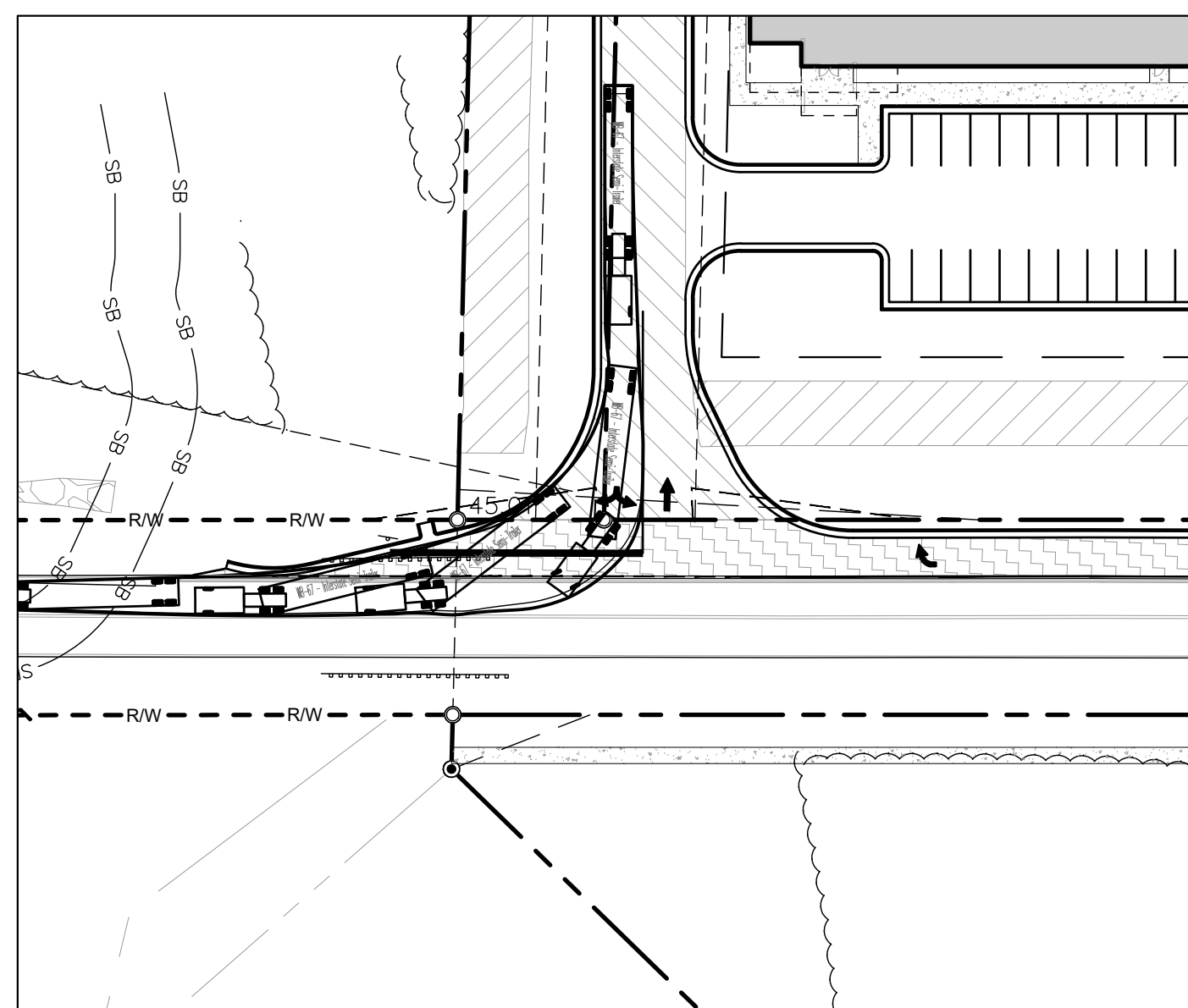
B3 DRIVEWAY #3 TURN TEMPLATE - LEFT IN
C1004 SCALE: 1" = 50'



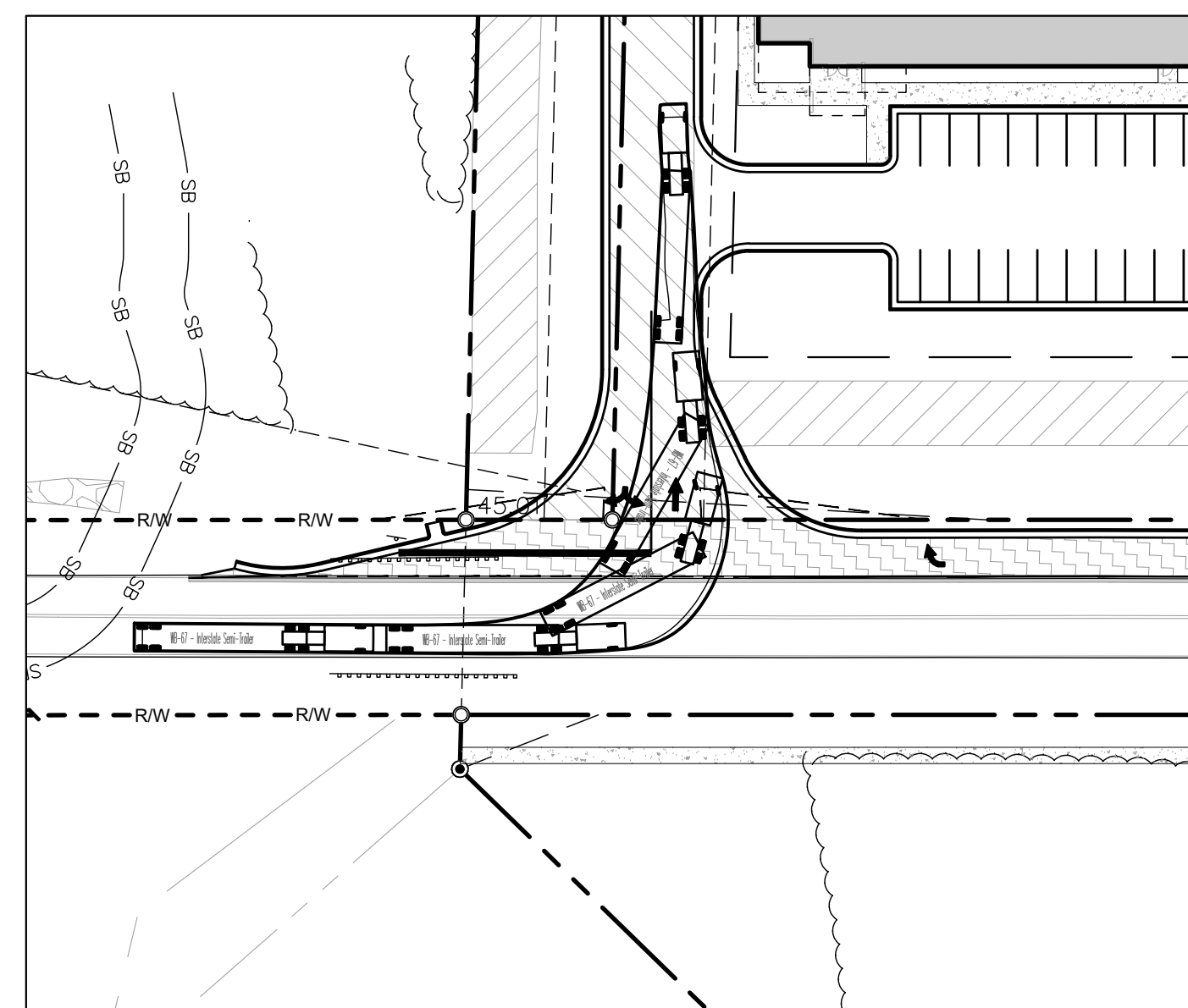
B1 DRIVEWAY #3 TURN TEMPLATE - RIGHT IN
C1004 SCALE: 1" = 50'



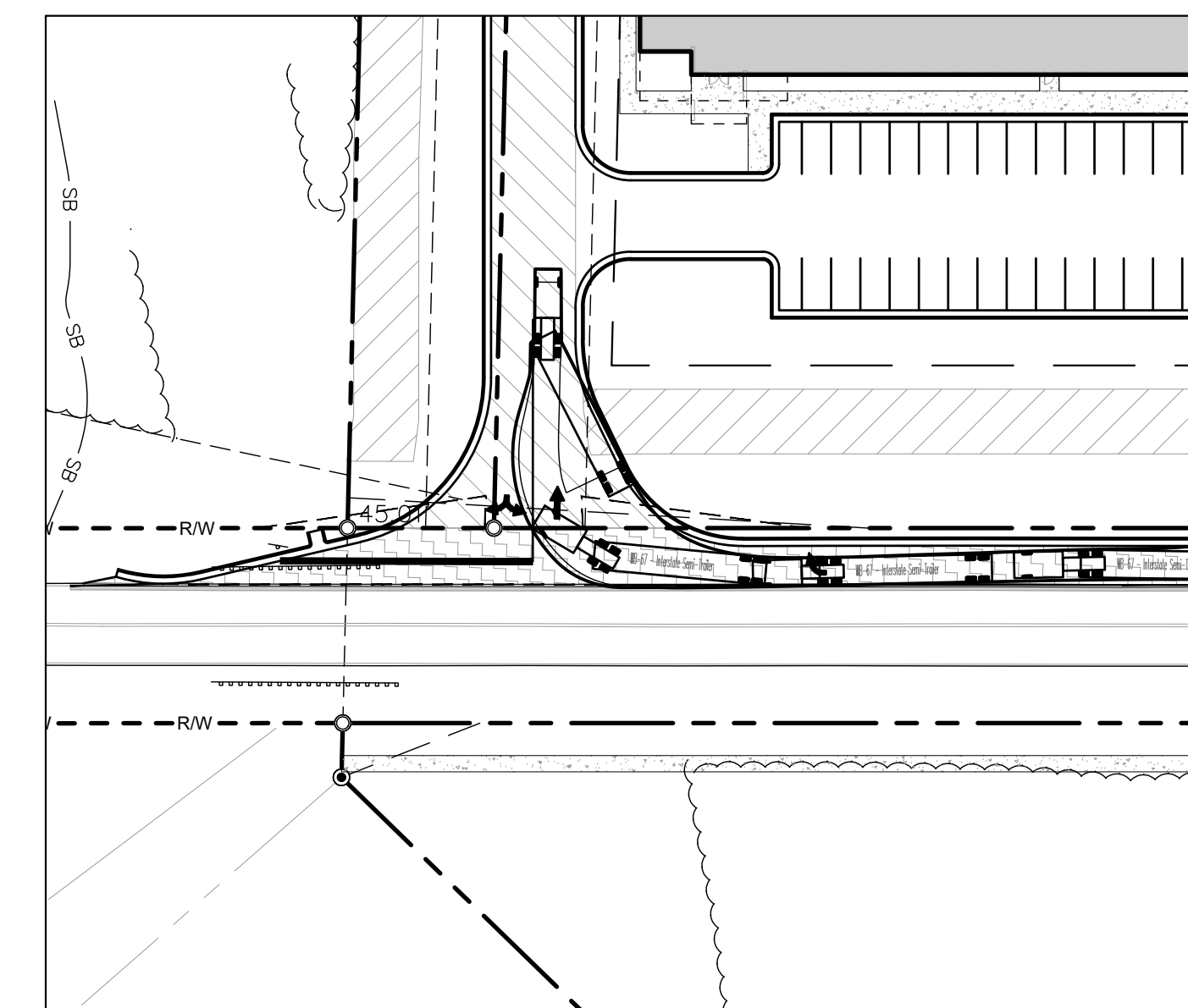
A5 DRIVEWAY #4 TURN TEMPLATE - LEFT OUT
C1004 SCALE: 1" = 50'



A3 DRIVEWAY #4 TURN TEMPLATE - RIGHT OUT
C1004 SCALE: 1" = 50'

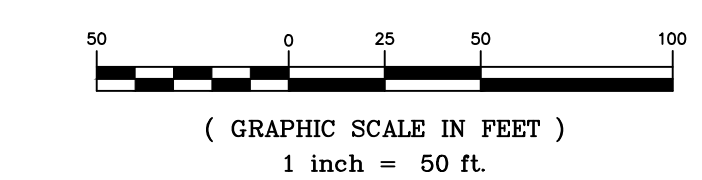


A3 DRIVEWAY #4 TURN TEMPLATE - LEFT IN
C1004 SCALE: 1" = 50'



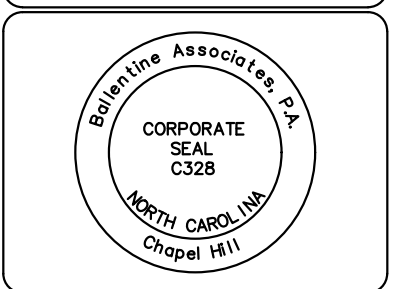
A1 DRIVEWAY #4 TURN TEMPLATE - RIGHT IN
C1004 SCALE: 1" = 50'

TRUCK TURN TEMPLATES



REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION

COPYRIGHT © 2022
BALLENTINE ASSOCIATES, P.A. ALL RIGHTS RESERVED. ANY REPRODUCTION OF THIS DOCUMENT OR PORTION THEREOF WITHOUT PRIOR PERMISSION OF BALLENTINE ASSOCIATES, P.A. WILL BE SUBJECT TO LEGAL ACTION.



DATE	REVISIONS
08 SEP 22	PER CITY OF MEBANE TRC COMMENTS
19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCOT TRC COMMENTS

OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
4204 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
CHRIS URQUHART
(704) 258-9147
FAX (704) 000-0000
CM

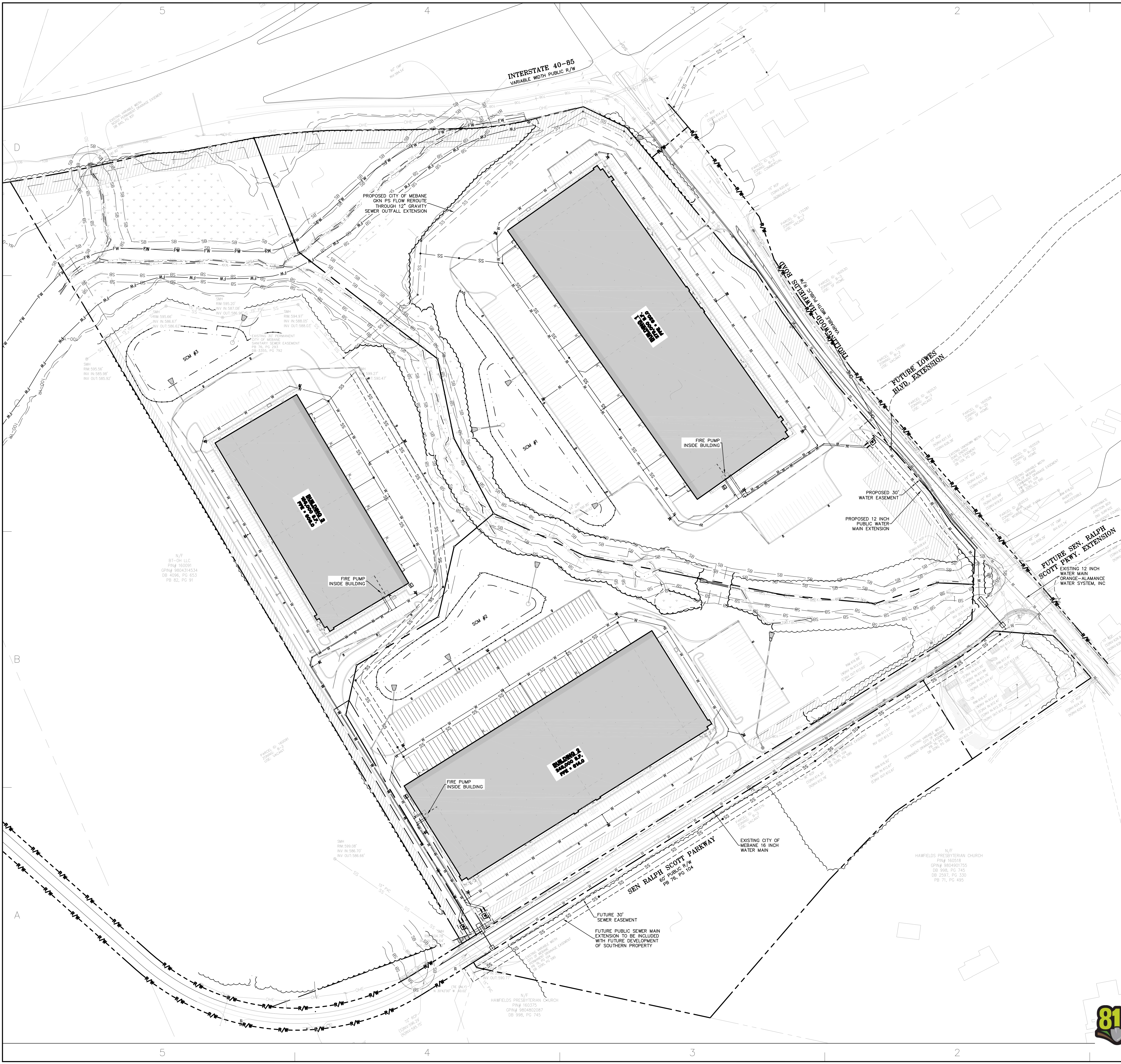
DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBANE, NC

SITE PLAN DRAWINGS

JOB #:	122007.02
DATE:	12 JUL 2022
SCALE:	AS NOTED
DRAWN BY:	GJR
REVIEWED BY:	GJR

SHEET
C1004



UTILITY PLAN NOTES

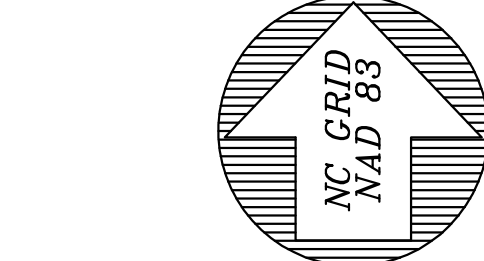
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MEBANE AND NCSD WATER LINE AND SEWER LINE STANDARD CONSTRUCTION SPECIFICATIONS AND WITH APPLICABLE NC PLUMBING CODES.
- PRIOR TO COMMENCING CONSTRUCTION, ALL PLAN APPROVALS AND WATER AND/OR SEWER PERMITS SHALL BE OBTAINED.
- THE LOCATION OF THE EXISTING UTILITIES SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES (PRIVATE AND PUBLIC) AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION.
- ALL ONSITE PRIVATE WATER AND SEWER TO BE MAINTAINED BY OWNER.
- THE SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AND IRRIGATION CONTRACTOR AND INSTALL ALL REQUIRED CONDUITS.
- FINAL SITE LIGHTING DESIGN AND PLAN SHALL BE PROVIDED PER DUKE ENERGY AND PER CITY OF MEBANE STANDARDS AND SPECIFICATIONS, SPECIFICALLY SECTION 6-6.
- WATER & SEWER:**
 - SITE CONTRACTOR SHALL CONTACT THE MEBANE ENGINEERING AND INSPECTIONS TO COORDINATE INSPECTION(S) OF WATER MAIN AND SEWER SERVICE INSTALLATIONS A MINIMUM OF 48 HOURS PRIOR TO THE INSTALLATION.
 - SITE CONTRACTOR SHALL INSTALL THE WATER SERVICES (MIN. 3 FEET AND MAX. 6 FEET BELOW GRADE) AS SHOWN AND EXTEND TO WITHIN 5' OF THE BUILDING.
 - ALL WATER MAINS SHALL HAVE METALLIC WARNING TAPE INSTALLED IN DITCH OVER MAINS AND TRACER WIRE INSTALLED ALONG TOP OF PIPE.
 - SITE CONTRACTOR SHALL INSTALL THE SANITARY SEWER SERVICE FROM THE MANHOLES, INCLUDING ALL CLEANOUT ASSEMBLIES AND EXTEND TO WITHIN 5' OF THE BUILDING.
 - SITE CONTRACTOR SHALL EXTEND FIRE LINE INTO RISER ROOM, TURN LINE UP WITH 90° BEND AND TERMINATE LINE WITH FLANGE SET 1 FOOT ABOVE FINISHED FLOOR ELEVATION. COORDINATE WITH FIRE PROTECTION AND STRUCTURAL DESIGNS.
 - PRIVATE FIRE MAINS THAT FEED THE SPRINKLER SYSTEM SHALL BE INSTALLED PER NFPA 24. THE LINE SHALL BE FLUSHED PER NFPA 24 AND WITNESSED BY A FIRE INSPECTOR FROM THE MEBANE FIRE DEPARTMENT PRIOR TO COVERING THE LINE.
 - MINIMUM UTILITY VERTICAL SEPARATION DISTANCES: SANITARY SEWER MAINS AND STORM SEWER - 24" SANITARY SEWER MAINS AND WATER - 18" STORM SEWER AND WATER - 18"
 - FINAL CONSTRUCTION DRAWINGS SHALL INCLUDE ALL PUBLIC OR PRIVATE SANITARY SEWER LINES SHOWN IN PROFILE WITH CROSSING CLEARANCE FOR WATER AND STORM SEWER. ALL WATER (PRIVATE AND PUBLIC) SHALL BE SHOWN IN PROFILE WHERE BEING CROSSED BY STORM OR SANITARY SEWER.
- ELECTRICAL:**
 - COORDINATE ELECTRICAL SERVICE DESIGN, LOCATION & CONNECTION WITH DUKE ENERGY.
 - ELECTRICAL CONTRACTOR SHALL INSTALL ELECTRICAL SERVICE AND 20 AMP GFCI RECEPTACLE FOR BACKFLOW PREVENTER HEATED ENCLOSURES. SITE CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR REGARDING THE LOCATION OF THE RECEPTACLES AND SHALL PROVIDE AND INSTALL HEAT TAPE.
- GAS:**
 - GAS SERVICE TO BE DESIGNED, SIZED & INSTALLED BY PIEDMONT NATURAL GAS COMPANY.

BUILDING SEWER USE (2T RULES)

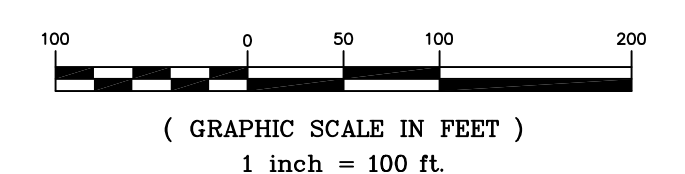
BUILDING	CATEGORY	DAILY FLOW	LOADING BAYS	TOTAL (GAL/DAY)
BUILDING 1	WAREHOUSE	100 GAL / BAY	48	4,800
BUILDING 2	WAREHOUSE	100 GAL / BAY	36	3,600
BUILDING 3	WAREHOUSE	100 GAL / BAY	28	2,800

DRAWING LEGEND

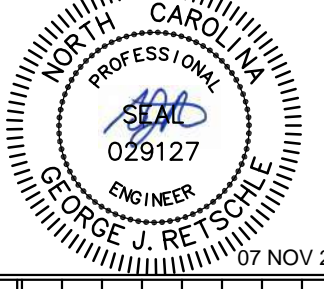
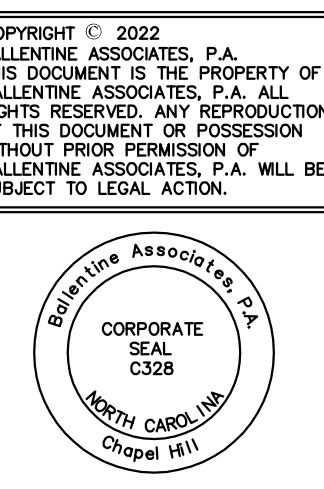
SYMBOL/ABBREVIATION	DESCRIPTION
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJOINER PROPERTY LINE
---	EASEMENT LINE
X	FENCE LINE
SD	STORM DRAIN LINE
W	WATER LINE
SS	SANITARY SEWER LINE
UE	UNDERGROUND ELECTRIC LINE
OHE	OVERHEAD ELECTRIC LINE
GL	GAS LINE
FO	FIBER OPTIC LINE
---	TREE LINE
---	EXISTING IRON PIPE
+	SIGN
+	MAIL BOX
+	BOLLARD
+	BORE HOLE
+	CATCH BASIN
+	DROP INLET
+	JUNCTION BOX
+	WATER METER
+	WATER VALVE
+	FIRE HYDRANT
+	FIRE DEPARTMENT CONNECTION
+	BACKFLOW PREVENTER
+	BLOW OFF VALVE
+	45° - BEND PIPE
+	90° - BEND PIPE
+	TEE - BEND PIPE
+	SANITARY SEWER MANHOLE
+	SANITARY SEWER CLEANOUT
+	POWER POLE
+	LIGHT POLE
+	ELECTRIC BOX
+	ELECTRIC TRANSFORMER
+	HVAC UNIT
+	GAS METER
+	TELEPHONE PEDESTAL
+	TELEPHONE VAULT
+	TELEPHONE MANHOLE
+	FIBER OPTIC MARKER



UTILITY PLAN OVERVIEW



REVIEW DRAWING NOT ISSUED FOR CONSTRUCTION



DATE	REVISIONS
08 SEP 22	PER CITY OF MEBANE TRC COMMENTS
19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

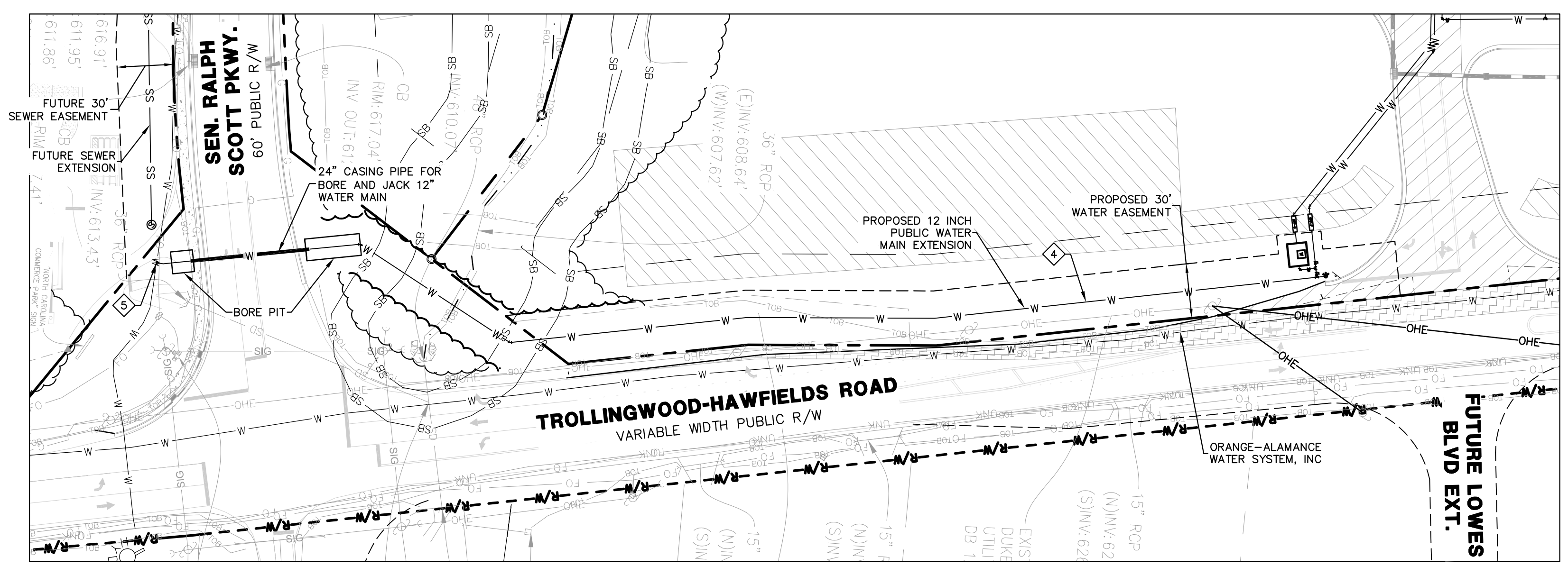
OWNER INFORMATION
 250W HOLDINGS INDUSTRIAL
 4204 COLONY ROAD
 SUITE 405
 CHARLOTTE, NC 28211
 OWNERS REPRESENTATIVE:
 CHRIS UROUHART
 (704) 258-9147
 FAX (704) 000-0000
 EMAIL: chris@250wh.com

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

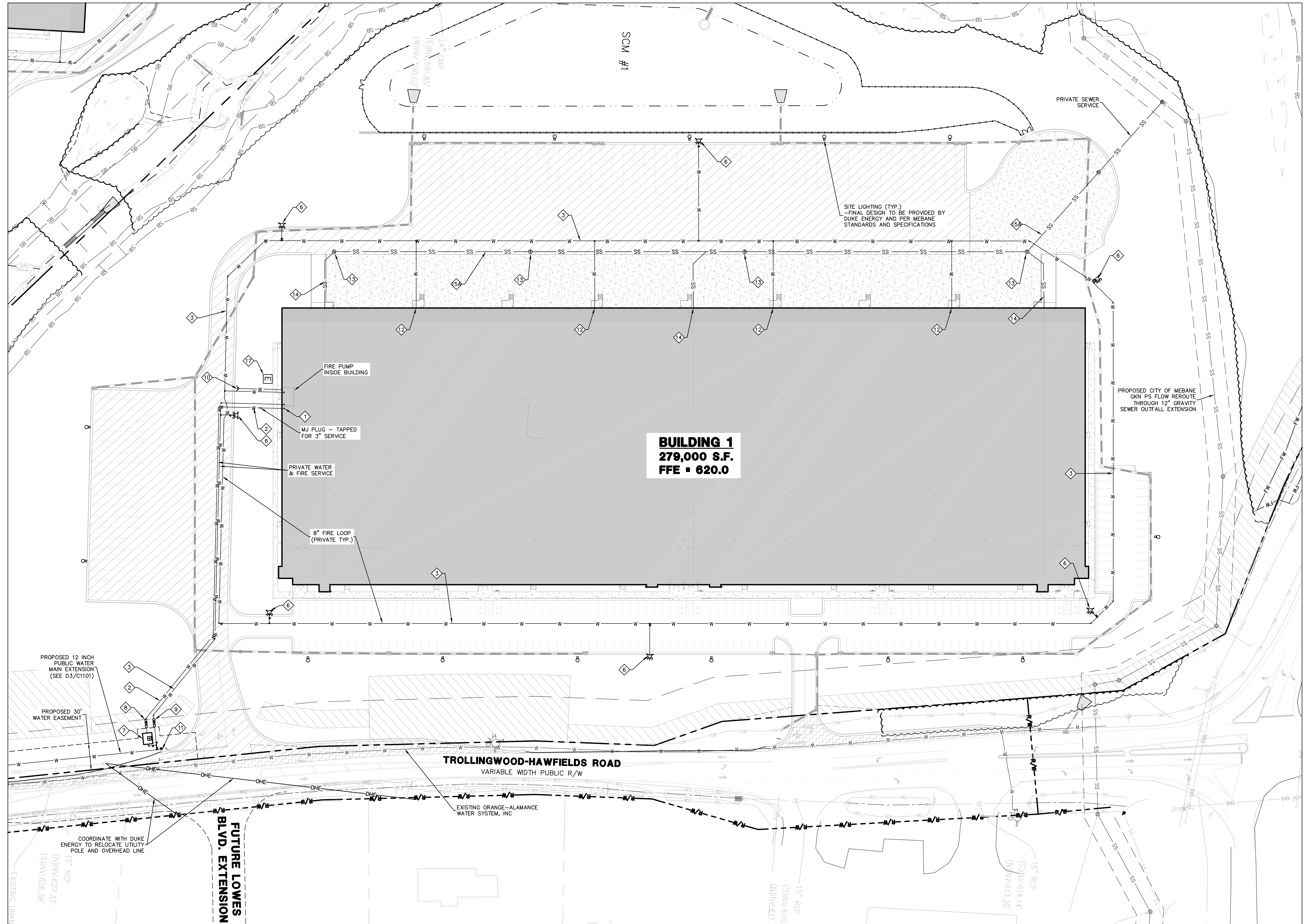
**CROW INDUSTRIAL
 NC COMMERCE PARK BLDGS 1-3
 MEBANE, NC**

JOB # 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR
SHEET C1100





D3 WATER MAIN EXTENSION ENLARGEMENT
C1101 SCALE 1"=50'



BUILDING 1
279,000 S.F.
FFE = 620.0

UTILITY PLAN NOTES

1. SEE SHEET C1100 FOR UTILITY NOTES.

PLAN KEY NOTES

- 1 3" DUCTILE IRON DOMESTIC WATER LINE
- 2 6" DUCTILE IRON WATER MAIN
- 3 8" DUCTILE IRON WATER MAIN
- 4 12" DUCTILE IRON WATER MAIN
- 5 TAPPING SLEEVE AND VALVE ASSEMBLY
- 6 FIRE HYDRANT (TYP.)
- 7 3" DOMESTIC WATER METER
- 8 ABOVE GROUND DOMESTIC BACK FLOW PREVENTER (RPZ)
- 9 ABOVE GROUND FIRE BACK FLOW PREVENTER (RPZ WITH DETECTOR CHECK ASSEMBLY)
- 10 FIRE DEPARTMENT CONNECTION
- 11 BLOW-OFF ASSEMBLY
- 12 6" FIRE LOOP SERVICE LINE
- 13 PRECAST CONCRETE SANITARY SEWER MANHOLE
- 14 6" DI SEWER SERVICE AT 1.0% MIN.
- 15 8" DUCTILE IRON SEWER MAIN (TYP.)
- 16 8" DUCTILE IRON PRIVATE SEWER SERVICE (TYP.)
- 17 SANITARY SEWER SERVICE CONNECTION & CLEANOUT ASSEMBLY
- 18 ELECTRICAL TRANSFORMER

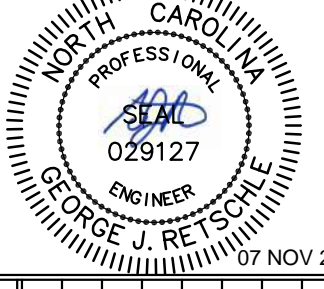
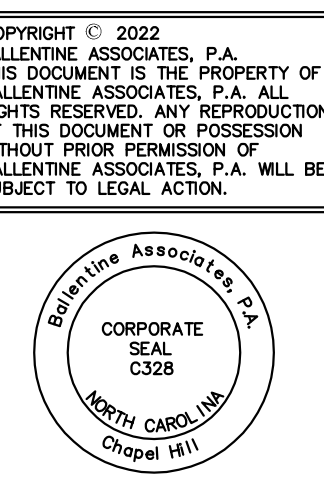
DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	STORM DRAIN LINE
---	---	WATER LINE
---	---	SANITARY SEWER LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	GAS LINE
---	---	TELEPHONE LINE
---	---	FIBER OPTIC LINE
---	---	TREE LINE
---	---	EXISTING IRON PIPE
---	---	SIGN
---	---	MAIL BOX
---	---	BOLLARD
---	---	BORE HOLE
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	FIRE DEPARTMENT CONNECTION
---	---	BACKFLOW PREVENTER
---	---	BLOW OFF VALVE
---	---	45° - BEND PIPE
---	---	90° - BEND PIPE
---	---	TEE - BEND PIPE
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	POWER POLE
---	---	LIGHT POLE
---	---	ELECTRIC BOX
---	---	ELECTRIC TRANSFORMER
---	---	HVAC UNIT
---	---	GAS METER
---	---	TELEPHONE PEDESTAL
---	---	TELEPHONE VAULT
---	---	TELEPHONE MANHOLE
---	---	FIBER OPTIC MARKER

BUILDING 1 UTILITY PLAN

DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION



DATE	REVISIONS
08 SEP 22	PER CITY OF MEBANE TRC COMMENTS
19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

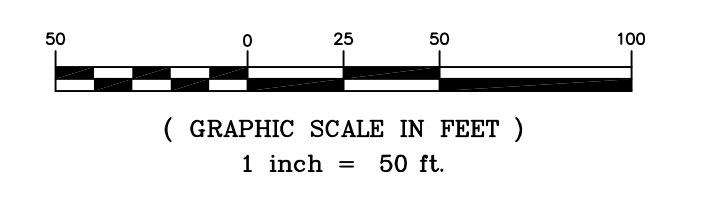
DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

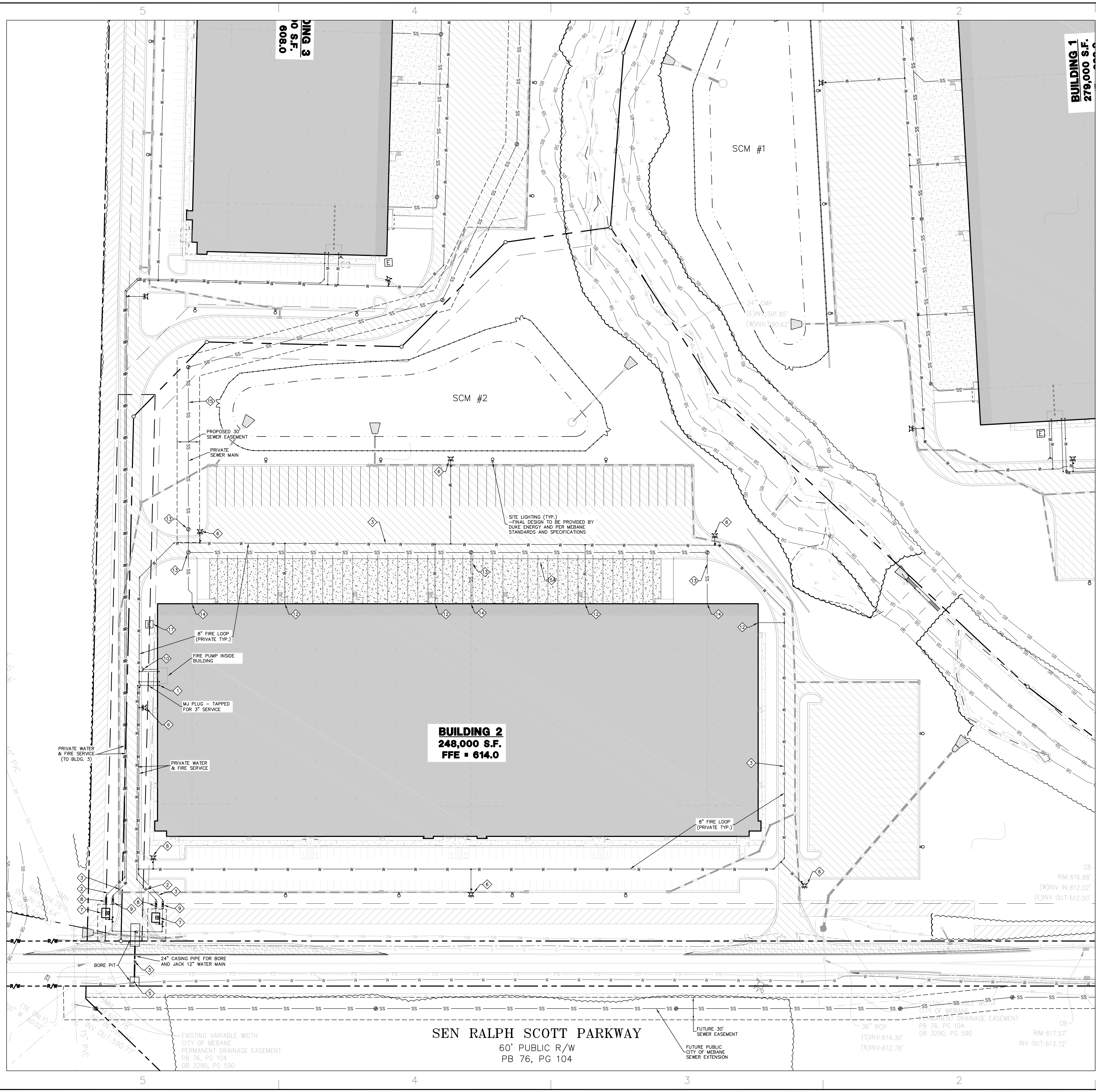
CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBANE, NC

SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

SHEET
C1101





UTILITY PLAN NOTES

1. SEE SHEET C1100 FOR UTILITY NOTES.

PLAN KEY NOTES

- 1 3" DUCTILE IRON DOMESTIC WATER LINE
- 2 6" DUCTILE IRON WATER MAIN
- 3 8" DUCTILE IRON WATER MAIN
- 4 12" DUCTILE IRON WATER MAIN
- 5 TAPPING SLEEVE AND VALVE ASSEMBLY
- 6 FIRE HYDRANT (TYP.)
- 7 3" DOMESTIC WATER METER
- 8 ABOVE GROUND DOMESTIC BACK FLOW PREVENTER (RPZ)
- 9 ABOVE GROUND FIRE BACK FLOW PREVENTER (RPZ WITH DETECTOR CHECK ASSEMBLY)
- 10 FIRE DEPARTMENT CONNECTION
- 11 BLOW-OFF ASSEMBLY
- 12 6" FIRE LOOP SERVICE LINE
- 13 PRECAST CONCRETE SANITARY SEWER MANHOLE
- 14 6" DI SEWER SERVICE AT 1.0% MIN.
- 15 8" DUCTILE IRON SEWER MAIN (TYP.)
- 16 8" DUCTILE IRON PRIVATE SEWER SERVICE (TYP.)
- 17 SANITARY SEWER SERVICE CONNECTION & CLEANOUT ASSEMBLY
- 18 ELECTRICAL TRANSFORMER

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	STORM DRAIN LINE
---	---	WATER LINE
---	---	SANITARY SEWER LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	GAS LINE
---	---	TELEPHONE LINE
---	---	FIBER OPTIC LINE
---	---	TREE LINE
---	---	EXISTING IRON PIPE
---	---	SIGN
---	---	MAIL BOX
---	---	BOLLARD
---	---	BORE HOLE
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	FIRE DEPARTMENT CONNECTION
---	---	BACKFLOW PREVENTER
---	---	BLOW OFF VALVE
---	---	45° - BEND PIPE
---	---	90° - BEND PIPE
---	---	TEE - BEND PIPE
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	POWER POLE
---	---	LIGHT POLE
---	---	ELECTRIC BOX
---	---	ELECTRIC TRANSFORMER
---	---	HVAC UNIT
---	---	GAS METER
---	---	TELEPHONE PEDESTAL
---	---	TELEPHONE VAULT
---	---	TELEPHONE MANHOLE
---	---	FIBER OPTIC MARKER

BUILDING 2 UTILITY PLAN

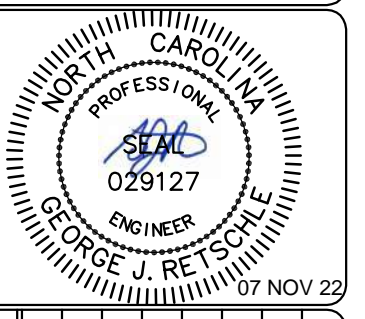
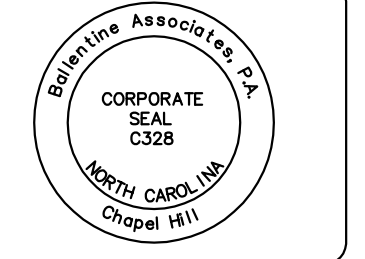
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

REVISIONS

DATE	REVISIONS
08 SEP 22	PER CITY OF MEHANE TRC COMMENTS
19 OCT 22	PER CITY OF MEHANE TRC COMMENTS
07 NOV 22	PER NODOT TRC COMMENTS



COPYRIGHT © 2022
BALLENTINE ASSOCIATES, P.A.
THIS DOCUMENT IS THE PROPERTY OF
BALLENTINE ASSOCIATES, P.A. ALL
RIGHTS RESERVED. ANY REPRODUCTION
OF THIS DOCUMENT OR POSSESSION
WITHOUT PRIOR PERMISSION OF
BALLENTINE ASSOCIATES, P.A. WILL BE
SUBJECT TO LEGAL ACTION.



DATE	REVISIONS
08 SEP 22	PER CITY OF MEHANE TRC COMMENTS
19 OCT 22	PER CITY OF MEHANE TRC COMMENTS
07 NOV 22	PER NODOT TRC COMMENTS

OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
4214 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNERS REPRESENTATIVE:
CHRIS URQUHART
7704 258-9147
FAX (000) 000-0000
EMAIL: chris@crowindustrial.com

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEHANE, NC
SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

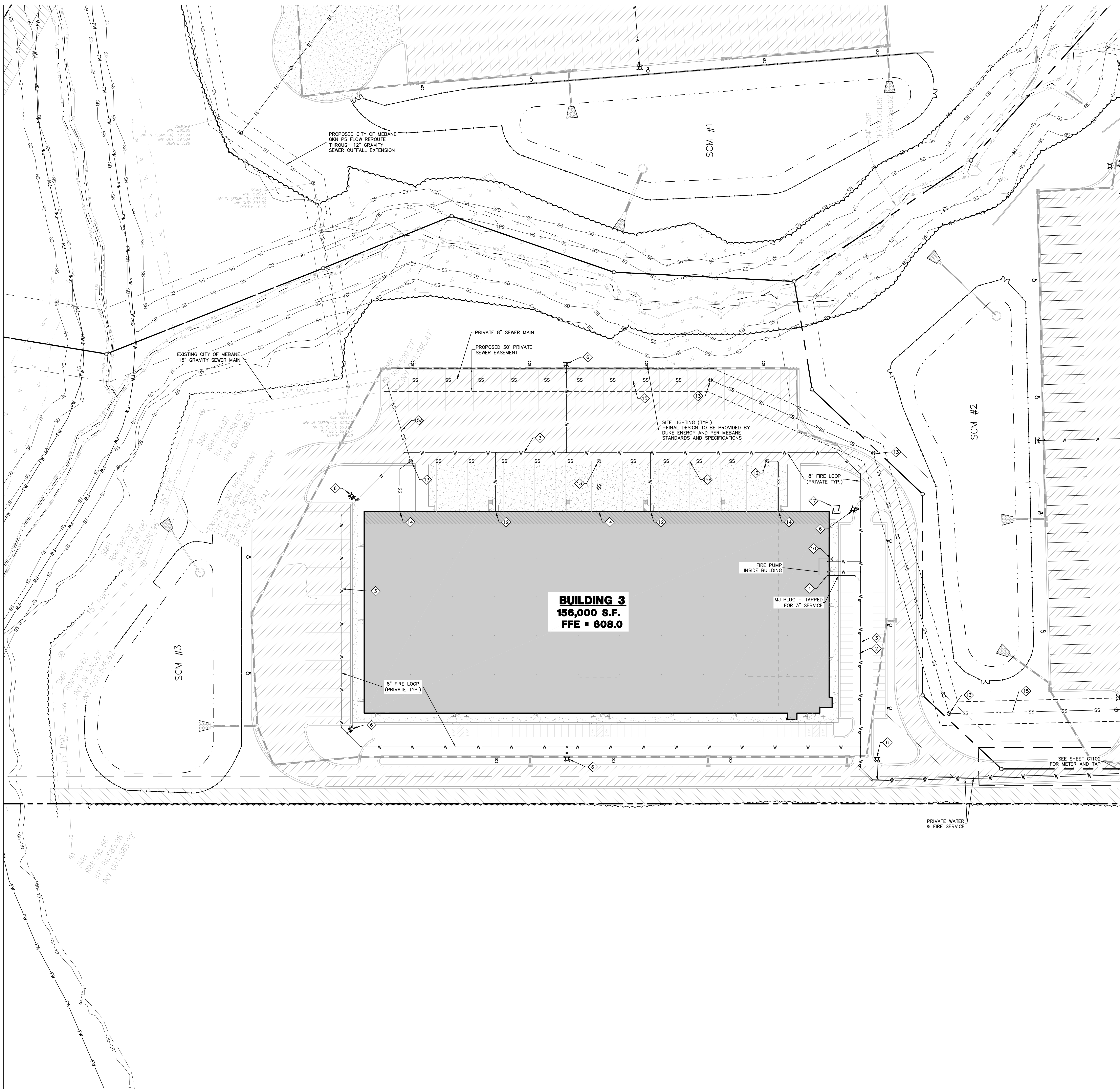
SHEET
C1102



(GRAPHIC SCALE IN FEET)
1 inch = 50 ft.

NOT ISSUED FOR CONSTRUCTION

L:\Engineering\Projects\122007.02 Crow Industrial\122007.02 Crow - Mehane\1_Dwg\3A_Mech\11772022_115905_AIK_Baladean.DWG



UTILITY PLAN NOTES

1. SEE SHEET C1100 FOR UTILITY NOTES.

PLAN KEY NOTES

- 1. 3" DUCTILE IRON DOMESTIC WATER LINE
- 2. 6" DUCTILE IRON WATER MAIN
- 3. 8" DUCTILE IRON WATER MAIN
- 4. 12" DUCTILE IRON WATER MAIN
- 5. TAPPING SLEEVE AND VALVE ASSEMBLY
- 6. FIRE HYDRANT (TYP.)
- 7. 3" DOMESTIC WATER METER
- 8. ABOVE GROUND DOMESTIC BACK FLOW PREVENTER (RPZ)
- 9. ABOVE GROUND FIRE BACK FLOW PREVENTER (RPZ WITH DETECTOR CHECK ASSEMBLY)
- 10. FIRE DEPARTMENT CONNECTION
- 11. BLOW-OFF ASSEMBLY
- 12. 6" FIRE LOOP SERVICE LINE
- 13. PRECAST CONCRETE SANITARY SEWER MANHOLE
- 14. 6" DI SEWER SERVICE AT 1.0% MIN.
- 15. 8" DUCTILE IRON SEWER MAIN (TYP.)
- 16. 8" DUCTILE IRON PRIVATE SEWER SERVICE (TYP.)
- 17. SANITARY SEWER SERVICE CONNECTION & CLEANOUT ASSEMBLY
- 18. ELECTRICAL TRANSFORMER

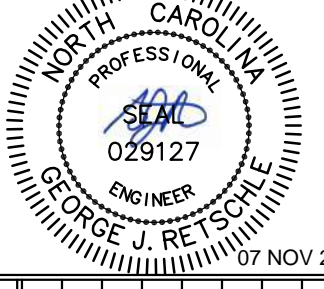
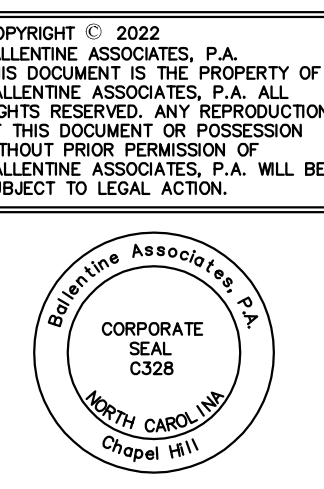
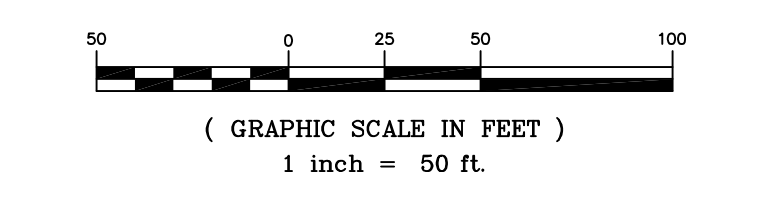
DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
X	X	FENCE LINE
SD	SD	STORM DRAIN LINE
W	W	WATER LINE
SS	SS	SANITARY SEWER LINE
UE	UE	UNDERGROUND ELECTRIC LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	GAS LINE
T	T	TELEPHONE LINE
FO	FO	FIBER OPTIC LINE
---	---	TREE LINE
---	---	EXISTING IRON PIPE
---	---	SIGN
---	---	MAIL BOX
---	---	BOLLARD
---	---	BORE HOLE
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	FIRE DEPARTMENT CONNECTION
---	---	BACKFLOW PREVENTER
---	---	BLOW OFF VALVE
---	---	45' - BEND PIPE
---	---	90' - BEND PIPE
---	---	TEE - BEND PIPE
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	POWER POLE
---	---	LIGHT POLE
---	---	ELECTRIC BOX
---	---	ELECTRIC TRANSFORMER
---	---	HVAC UNIT
---	---	GAS METER
---	---	TELEPHONE PEDESTAL
---	---	TELEPHONE VAULT
---	---	TELEPHONE MANHOLE
---	---	FIBER OPTIC MARKER

BUILDING 3 UTILITY PLAN

DATE: 12 JUL 2022
 SCALE: AS NOTED
 DRAWN BY: GJR
 REVIEWED BY: GJR

**REVIEW DRAWING
 NOT ISSUED FOR CONSTRUCTION**



DATE	REVISIONS
08 SEP 22	PER CITY OF MEBANE TRC COMMENTS
19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

OWNER INFORMATION
 CROW HOLDINGS INDUSTRIAL
 4214 COLONY ROAD
 SUITE 402
 CHARLOTTE, NC 28211
 OWNERS REPRESENTATIVE:
 CHRIS URQUHART
 (704) 258-9147
 FAX (000) 000-0000
 CMAL@aol.com

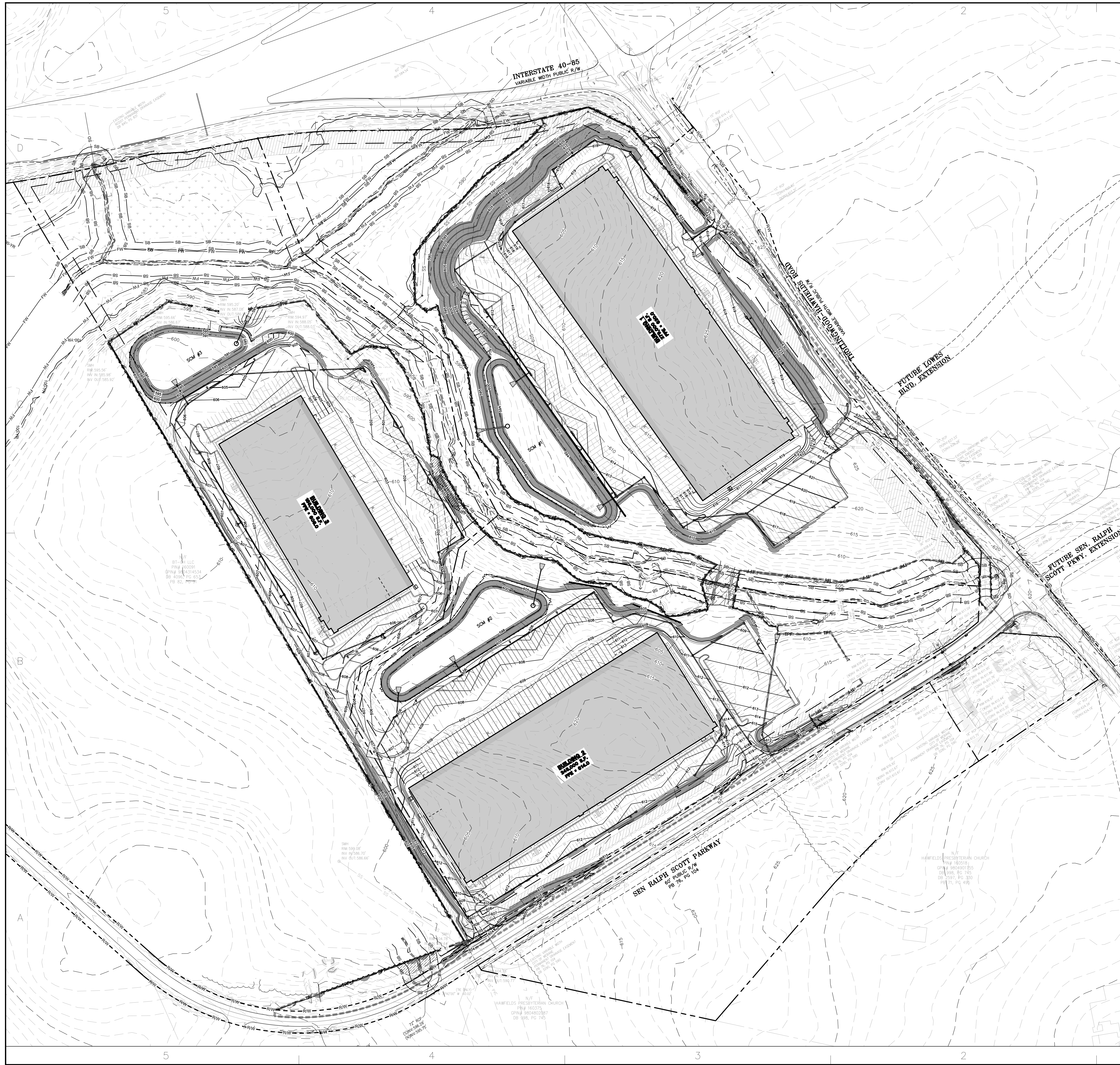
DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

**CROW INDUSTRIAL
 NC COMMERCE PARK BLDGS 1-3
 MEBANE, NC**

SITE PLAN DRAWINGS

JOB #: 122007.02
 DATE: 12 JUL 2022
 SCALE: AS NOTED
 DRAWN BY: GJR
 REVIEWED BY: GJR

**SHEET
 C1103**

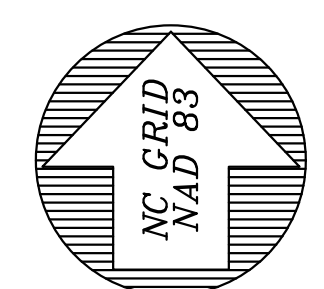


GRADING AND STORM DRAINAGE NOTES

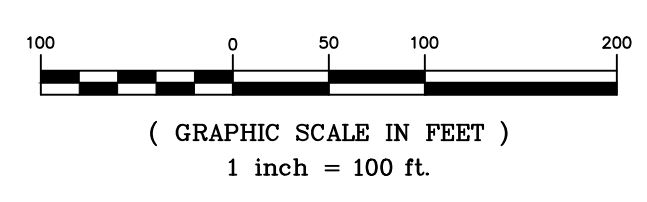
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE NCDOT, NCDOT AND CITY OF MEBANE STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-832-4343). LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
3. ALL STORM DRAINAGE PIPING SHOWN TO BE 24" HDPE PIPE UNLESS OTHERWISE NOTED.
4. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
5. ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE LONGITUDINAL SLOPE DOES NOT EXCEED 5% AND THE CROSS-SLOPE DOES NOT EXCEED 2%. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
6. NO PART OF ANY ACCESSIBLE PARKING SPACE OR ADJACENT ACCESSIBLE AISLE SHALL SLOPE GREATER THAN 2% IN ANY DIRECTION. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
7. SCMS SHALL BE DESIGNED PER SECTION 5-2 OF THE MEBANE UDO SECTION F AND MEET GENERAL ENGINEERING DESIGN CRITERIA SET FORTH IN 150 NCAC 025.1008(c).
8. SCMS TO BE PRIVATELY MAINTAINED.
9. SITE IS SUBJECT TO CITY OF MEBANE FLOODPLAIN DEVELOPMENT ORDINANCE AS NON-FEMA FLOODPLAIN. ALL DISTURBANCE FOR THIS PROJECT ARE OUTSIDE OF THE 100 YEAR FLOODPLAIN. SITE IS SUBJECT TO NPDES PHASE 2 STORMWATER ORDINANCE AS A HIGH DENSITY PROJECT. SITE IS SUBJECT TO RIPARIAN BUFFER ORDINANCE.
10. STREAM AND WETLAND IMPACTS HAVE BEEN PERMITTED WITH USAGE UNDER SAW-2022-01547 AND NCDOT DWR UNDER 401 PERMIT # W0000149.
11. A BUFFER AUTHORIZATION APPROVAL WILL BE OBTAINED FROM CITY OF MEBANE DURING CONSTRUCTION DRAWING PROCESS FOR ALL BUFFER IMPACTS.

DRAWING LEGEND

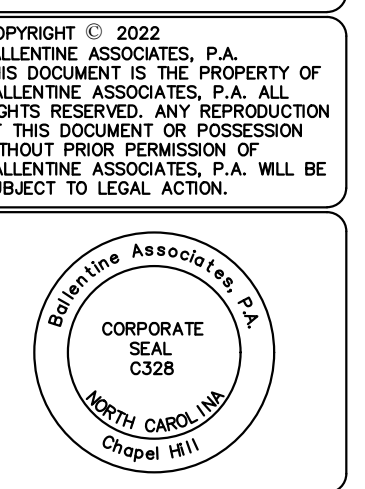
SYMBOL/ABBREVIATION		DESCRIPTION
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
---	---	FENCE LINE
SD	SD	STORM DRAIN LINE
SD	SD	HOPE STORM DRAIN LINE
RD	RD	ROOF DRAIN LINE
FD	FD	FOUNDATION DRAIN LINE
W	W	WATER LINE
IR	IR	UTILITY CONDUIT/IRRIGATION SLEEVE
SS	SS	SANITARY SEWER LINE
UE	UE	UNDERGROUND ELECTRIC LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	GAS LINE
T	T	TELECOMMUNICATION LINE
FO	FO	FIBER OPTIC LINE
CATV	CATV	CABLE TV LINE
---	---	TREE LINE
---	---	WETLANDS
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	RETAINING WALL
---	---	LIMITS OF DISTURBANCE
○	○	EXISTING IRON PIPE
○	○	IRON PIPE SET
+	+	CALCULATED POINT
+	+	SIGN
+	+	MAIL BOX
+	+	CATCH BASIN
+	+	DROP INLET
+	+	JUNCTION BOX
+	+	NDS DRAIN
+	+	STORMWATER CLEANOUT
+	+	WATER METER
+	+	WATER VALVE
+	+	FIRE HYDRANT
+	+	BACKFLOW PREVENTER
+	+	SANITARY SEWER MANHOLE
+	+	SANITARY SEWER CLEANOUT
+	+	POWER POLE
+	+	LIGHT POLE
+	+	ELECTRIC BOX
+	+	ELECTRIC METER
+	+	TELEPHONE PEDESTAL
+	+	TELEPHONE VAULT



GRADING & DRAINAGE OVERVIEW



REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION



DATE	REVISIONS
08 SEP 22	PER CITY OF MEBANE TRC COMMENTS
19 OCT 22	PER CITY OF MEBANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

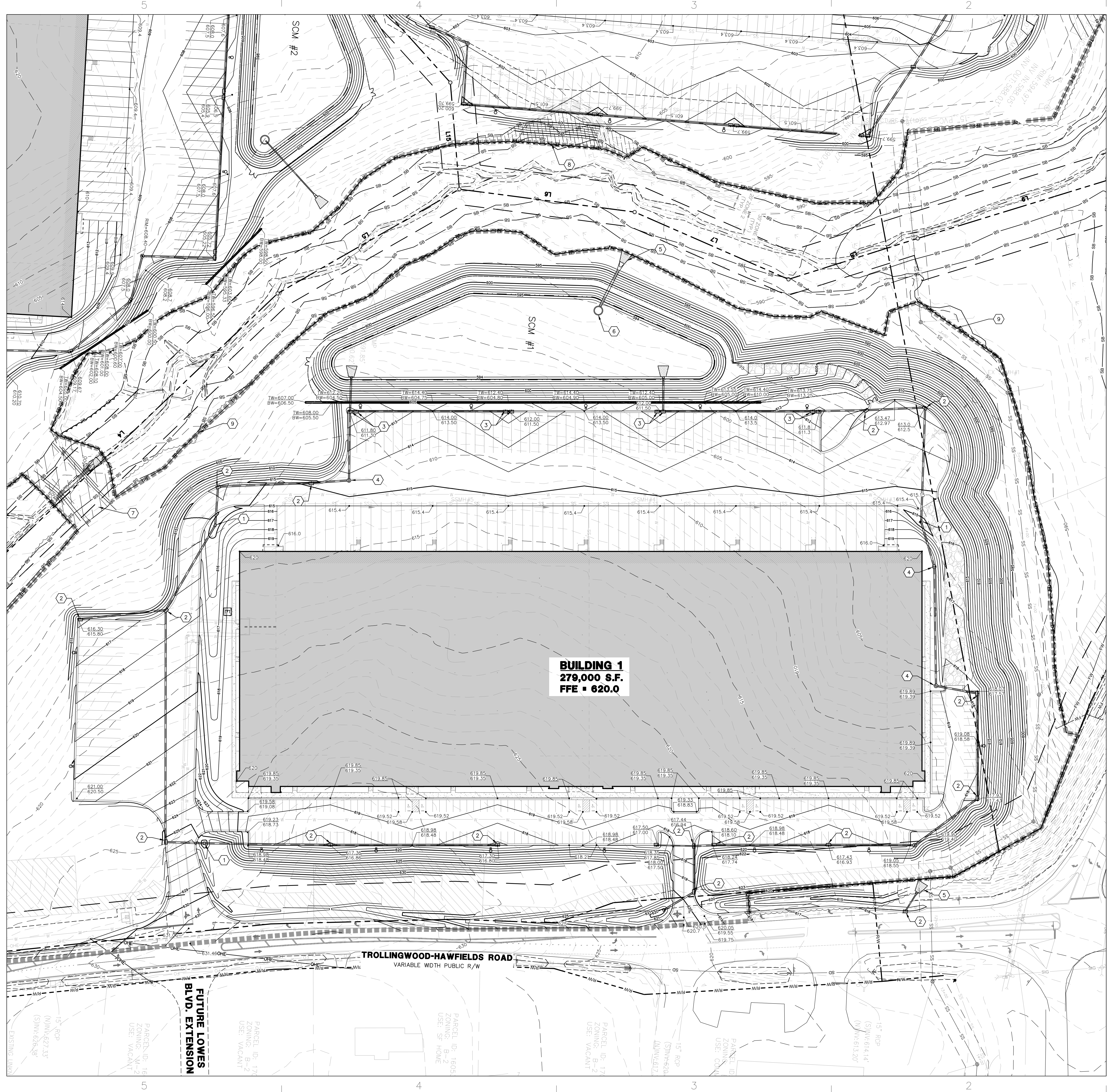
OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
4264 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
CHRIS URQUHART
(704) 258-9147
FAX (704) 000-0000
EMAIL chris@crowindustrial.com

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBANE, NC
SITE PLAN DRAWINGS

JOB # 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR

SHEET
C1200



GRADING AND STORM DRAINAGE NOTES

1. SEE SHEET C1200 FOR GRADING AND DRAINAGE NOTES.
- PLAN KEY NOTES**
- 1 DROP INLET W/ STANDARD 24"x24" GRATE (TYP.)
 - 2 STANDARD CATCH BASIN (NCDDOT) (TYP.)
 - 3 CURB INLET (TYP.)
 - 4 STANDARD JUNCTION BOX (TYP.)
 - 5 RIPRAP APRON (TYP.)
 - 6 60" CONCRETE RISER W/ CONCRETE OUTLET PIPE
 - 7 JURISDICTIONAL STREAM / STREAM BUFFER IMPACTS
 - 8 JURISDICTIONAL WETLAND IMPACTS
 - 9 TEMPORARY TREE PROTECTION FENCE (TYP.)

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	STORM DRAIN LINE
SD	SD	HOPE STORM DRAIN LINE
RD	RD	ROOF DRAIN LINE
FD	FD	FOUNDATION DRAIN LINE
W	W	WATER LINE
UR	UR	UTILITY CONDUIT/IRRIGATION SLEEVE
SS	SS	SANITARY SEWER LINE
UE	UE	UNDERGROUND ELECTRIC LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	GAS LINE
T	T	TELECOMMUNICATION LINE
FO	FO	FIBER OPTIC LINE
CATV	CATV	CABLE TV LINE
---	---	TREE LINE
---	---	WETLANDS
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	RETAINING WALL
---	---	LIMITS OF DISTURBANCE
---	---	EXISTING IRON PIPE
---	---	IRON PIPE SET
---	---	CALCULATED POINT
---	---	SIGN
---	---	MAIL BOX
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	NDS DRAIN
---	---	STORMWATER CLEANOUT
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	BACKFLOW PREVENTER
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	POWER POLE
---	---	LIGHT POLE
---	---	ELECTRIC BOX
---	---	ELECTRIC METER
---	---	TELEPHONE PEDESTAL
---	---	TELEPHONE VAULT

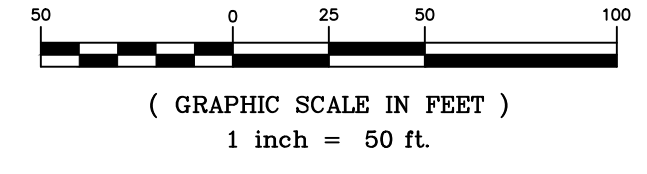
BUILDING 1
279,000 S.F.
FFE = 620.0

TROLLINGWOOD-HAWFIELDS ROAD
VARIABLE WIDTH PUBLIC R/W

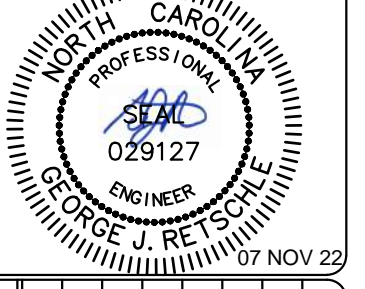
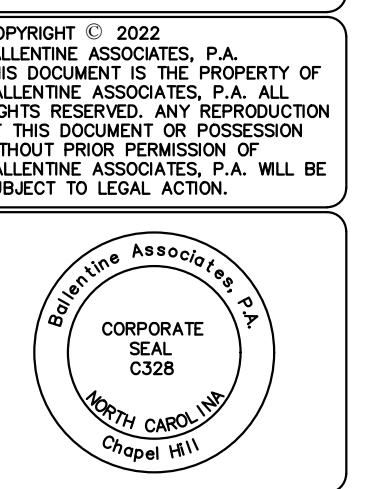
FUTURE LOWES BLVD. EXTENSION



BUILDING 1 GRADING & DRAINAGE



REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION



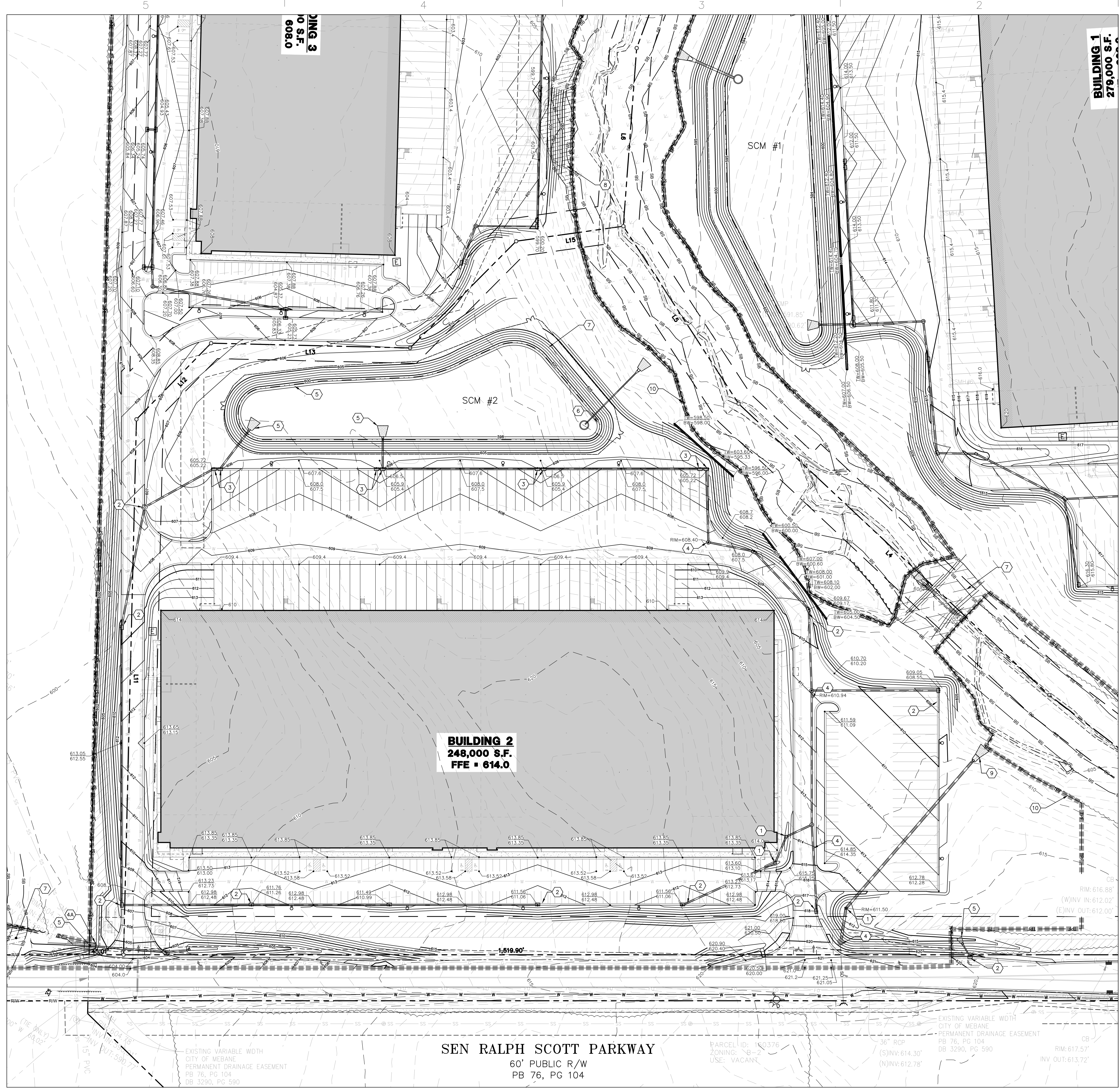
DATE	REVISIONS
08 SEP 22	PER CITY OF MEHANE TRC COMMENTS
19 OCT 22	PER CITY OF MEHANE TRC COMMENTS
07 NOV 22	PER NCDDOT TRC COMMENTS

OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
4294 COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
CHRIS URQUHART
704 258-9147
FAX (000) 000-0000
EMAIL: c@crowindustrial.com

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEHANE, NC
SITE PLAN DRAWINGS

JOB #: 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR



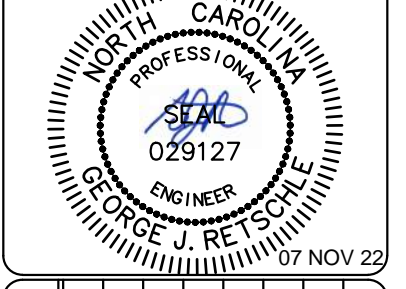
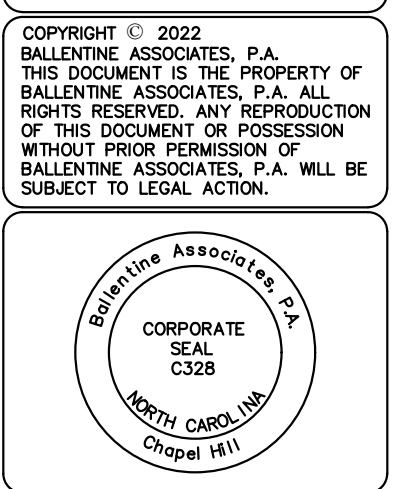
GRADING AND STORM DRAINAGE NOTES
 1. SEE SHEET C1200 FOR GRADING AND DRAINAGE NOTES.

PLAN KEY NOTES

- 1 DROP INLET W/ STANDARD 24"x24" GRATE (TYP.)
- 2 STANDARD CATCH BASIN (NCDOT) (TYP.)
- 3 CURB INLET (TYP.)
- 4 STANDARD JUNCTION BOX (TYP.)
- 4A STANDARD HEADWALL (NCDOT) (TYP.)
- 5 RIPRAP APRON (TYP.)
- 6 60" CONCRETE RISER W/ CONCRETE OUTLET PIPE
- 7 JURISDICTIONAL STREAM / STREAM BUFFER IMPACTS
- 8 JURISDICTIONAL WETLAND IMPACTS
- 9 ENERGY DISSIPATION AT OUTLET: FLUNGE POOL AND RIPRAP APRON DESIGN TO BE COMPLETE PRIOR TO CONSTRUCTION PLANS SUBMITTAL.
- 10 TEMPORARY TREE PROTECTION FENCE (TYP.)

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	STORM DRAIN LINE
SD	SD	HOPE STORM DRAIN LINE
RD	RD	ROOF DRAIN LINE
FD	FD	FOUNDATION DRAIN LINE
W	W	WATER LINE
UR	UR	UTILITY CONDUIT/IRRIGATION SLEEVE
SS	SS	SANITARY SEWER LINE
UE	UE	UNDERGROUND ELECTRIC LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	GAS LINE
T	T	TELECOMMUNICATION LINE
FO	FO	FIBER OPTIC LINE
CATV	CATV	CABLE TV LINE
---	---	TREE LINE
---	---	WETLANDS
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	RETAINING WALL
---	---	LIMITS OF DISTURBANCE
---	---	EXISTING IRON PIPE
---	---	IRON PIPE SET
---	---	CALCULATED POINT
---	---	SIGN
---	---	MAIL BOX
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	NDS DRAIN
---	---	STORMWATER CLEANOUT
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	BACKFLOW PREVENTER
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	POWER POLE
---	---	LIGHT POLE
---	---	ELECTRIC BOX
---	---	ELECTRIC METER
---	---	TELEPHONE PEDESTAL
---	---	TELEPHONE VAULT



DATE	REVISIONS
08 SEP 22	PER CITY OF MEBAHE TRC COMMENTS
19 OCT 22	PER CITY OF MEBAHE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

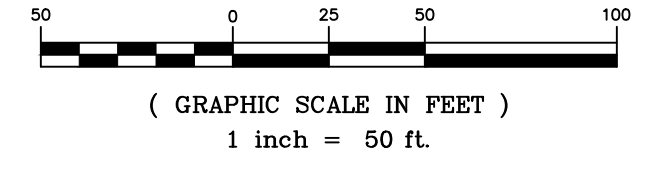
DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

CROW INDUSTRIAL NC COMMERCE PARK BLDGS 1-3
 MEBAHE, NC
SITE PLAN DRAWINGS

JOB # 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: GJR
REVIEWED BY: GJR
SHEET C1202

BUILDING 2
 248,000 S.F.
 FFE = 614.0

BUILDING 2 GRADING & DRAINAGE



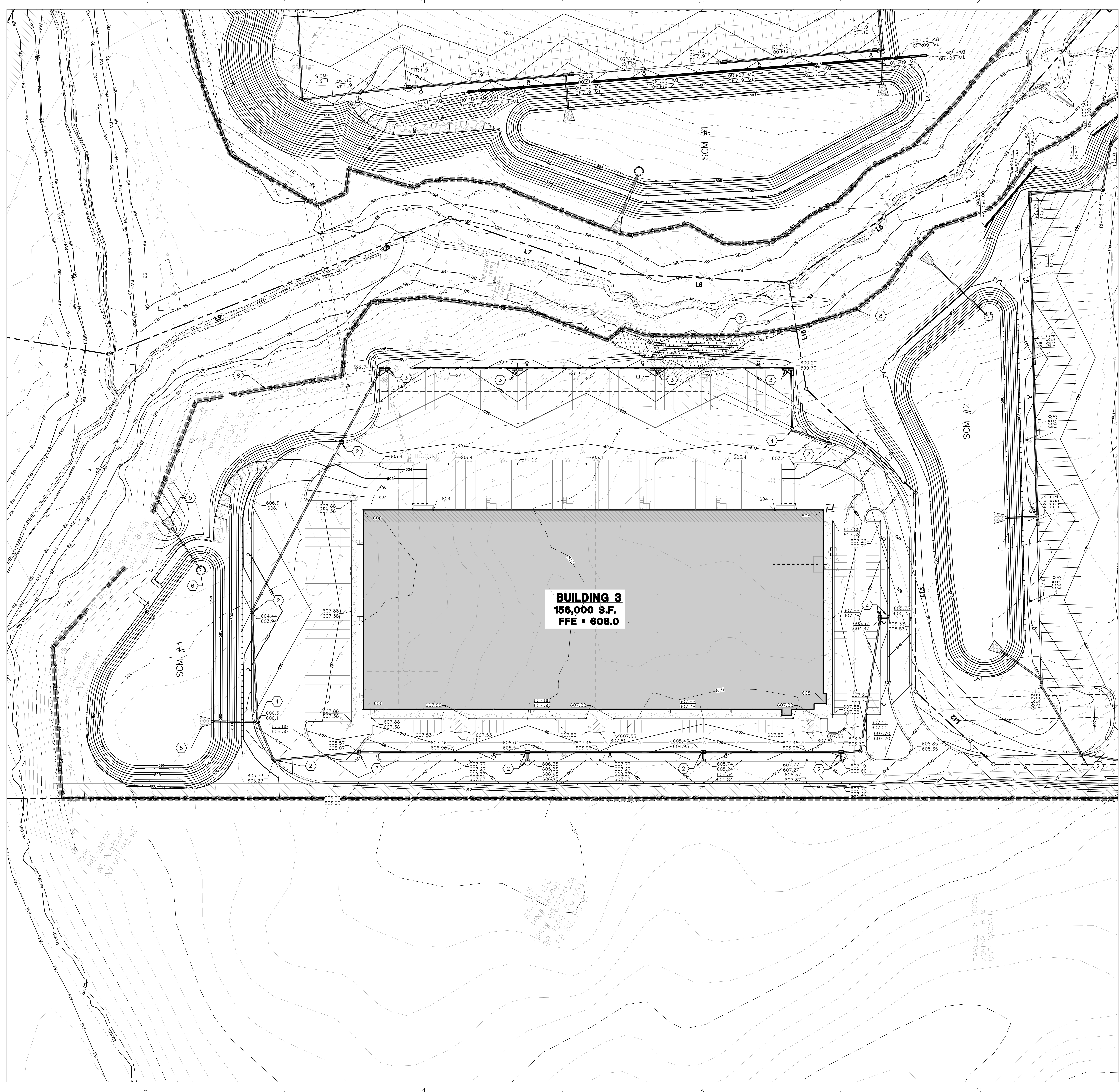
REVIEW DRAWING
 NOT ISSUED FOR CONSTRUCTION

SEN RALPH SCOTT PARKWAY
 60' PUBLIC R/W
 PB 76, PG 104

PARCEL ID: 150376
 ZONING: B-2
 USE: VACANT

EXISTING VARIABLE WIDTH CITY OF MEBAHE PERMANENT DRAINAGE EASEMENT PB 76, PG 104 DB 3290, PG 590
 36" RCP (S)INW: 614.30' (N)INW: 612.78'
 RIM=617.57' INV OUT: 613.72'

EXISTING VARIABLE WIDTH CITY OF MEBAHE PERMANENT DRAINAGE EASEMENT PB 76, PG 104 DB 3290, PG 590

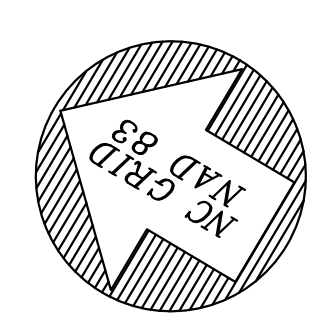


GRADING AND STORM DRAINAGE NOTES
 1. SEE SHEET C1200 FOR GRADING AND DRAINAGE NOTES.

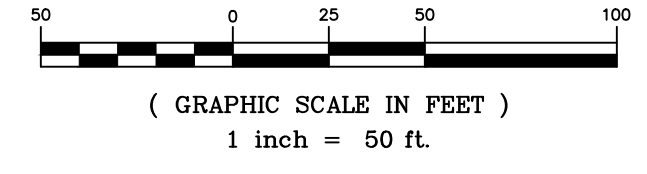
- PLAN KEY NOTES**
- 1 DROP INLET W/ STANDARD 24"x24" GRATE (TYP.)
 - 2 STANDARD CATCH BASIN (NCDDOT) (TYP.)
 - 3 CURB INLET (TYP.)
 - 4 STANDARD JUNCTION BOX (TYP.)
 - 5 RIPRAP APRON (TYP.)
 - 6 60" CONCRETE RISER W/ CONCRETE OUTLET PIPE
 - 7 JURISDICTIONAL WETLAND IMPACTS
 - 8 TEMPORARY TREE PROTECTION FENCE (TYP.)

DRAWING LEGEND

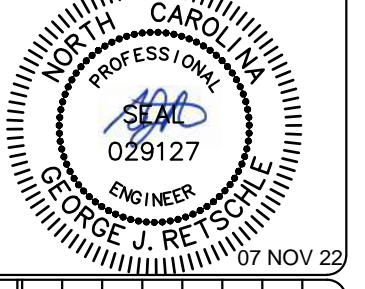
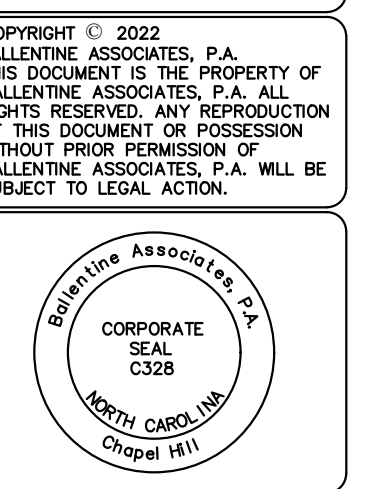
SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT PROPERTY LINE
---	---	FENCE LINE
---	---	STORM DRAIN LINE
SD	SD	HOPE STORM DRAIN LINE
RD	RD	ROOF DRAIN LINE
FD	FD	FOUNDATION DRAIN LINE
---	---	WATER LINE
---	---	UTILITY CONDUIT/IRRIGATION SLEEVE
---	---	SANITARY SEWER LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	GAS LINE
---	---	TELECOMMUNICATION LINE
---	---	FIBER OPTIC LINE
---	---	CABLE TV LINE
---	---	TREE LINE
---	---	WETLANDS
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	RETAINING WALL
---	---	LIMITS OF DISTURBANCE
---	---	EXISTING IRON PIPE
---	---	IRON PIPE SET
---	---	CALCULATED POINT
---	---	SIGN
---	---	MAIL BOX
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	NDS DRAIN
---	---	STORMWATER CLEANOUT
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	BACKFLOW PREVENTER
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	POWER POLE
---	---	LIGHT POLE
---	---	ELECTRIC BOX
---	---	ELECTRIC METER
---	---	TELEPHONE PEDESTAL
---	---	TELEPHONE VAULT



BUILDING 3 GRADING & DRAINAGE



REVIEW DRAWING
 NOT ISSUED FOR CONSTRUCTION



DATE	REVISIONS
08 SEP 22	PER CITY OF MEHANE TRC COMMENTS
19 OCT 22	PER CITY OF MEHANE TRC COMMENTS
07 NOV 22	PER NCDDOT TRC COMMENTS

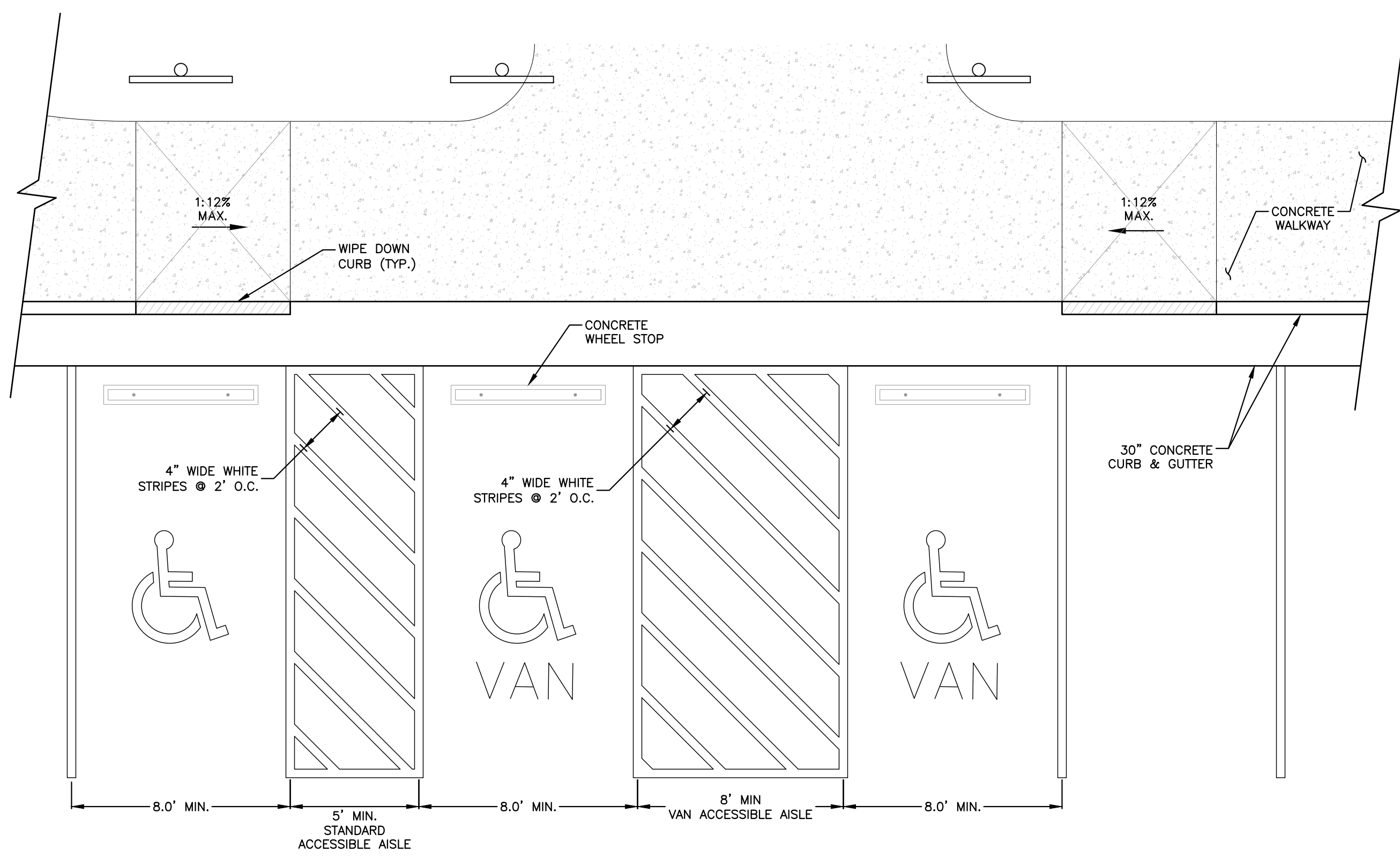
OWNER INFORMATION
 CROW HOLDINGS INDUSTRIAL
 4204 COLONY ROAD
 SUITE 405
 CHARLOTTE, NC 28211
OWNERS REPRESENTATIVE:
 CHRIS UROUHART
 (704) 258-9147
 FAX (704) 000-0000
 EMAIL: curouhart@crow.com

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS

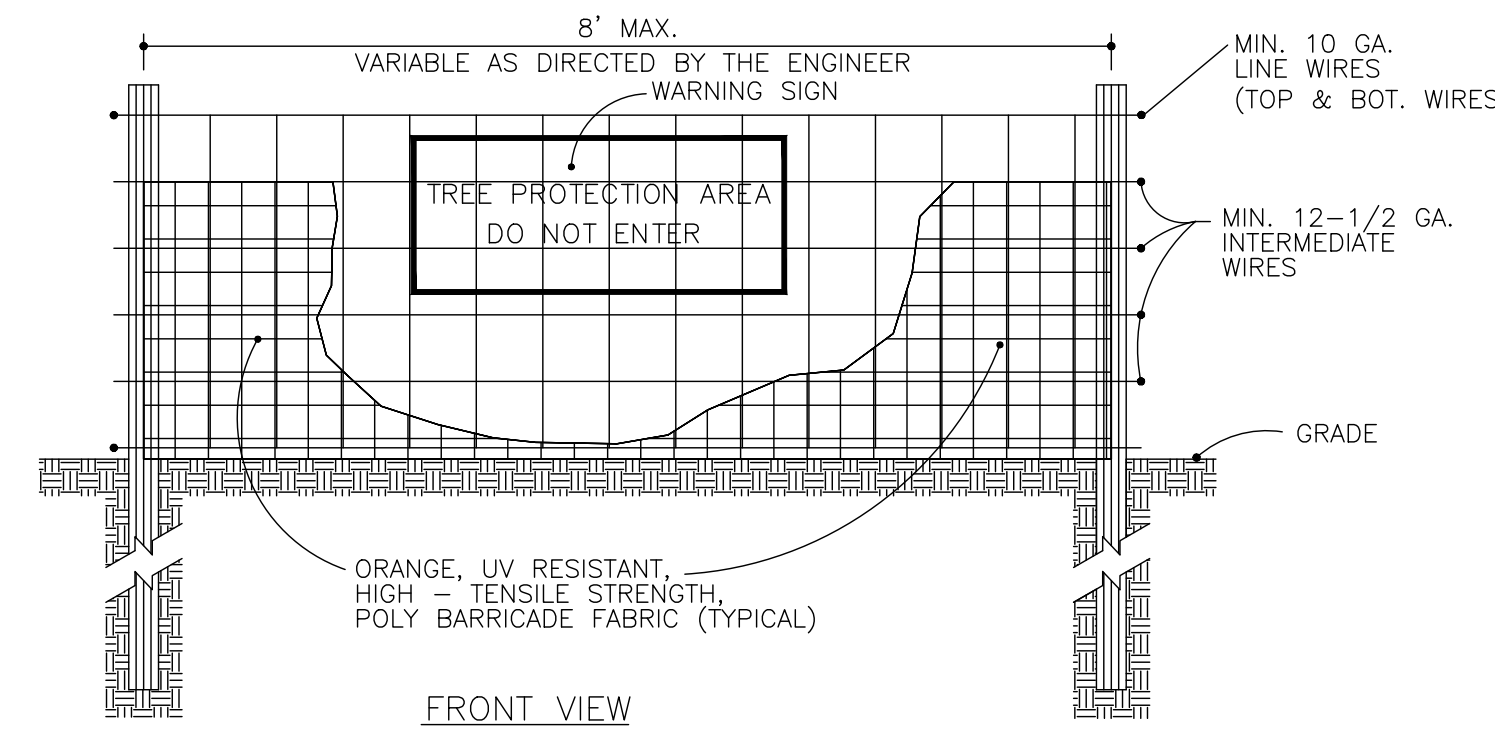
CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
 MEHANE, NC
SITE PLAN DRAWINGS

JOB #: 122007.02
 DATE: 12 JUL 2022
 SCALE: AS NOTED
 DRAWN BY: GJR
 REVIEWED BY: GJR

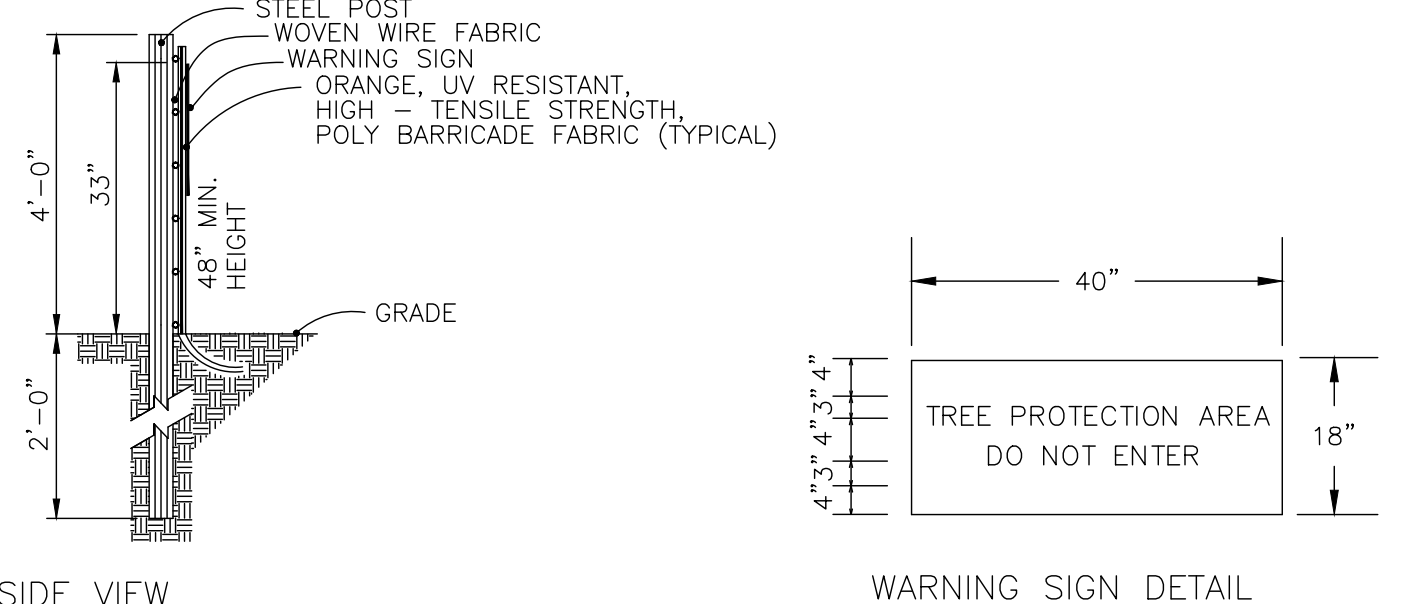
SHEET
C1203



C5 TYPICAL ACCESSIBLE PARKING LAYOUT
SCALE: 1" = 4'

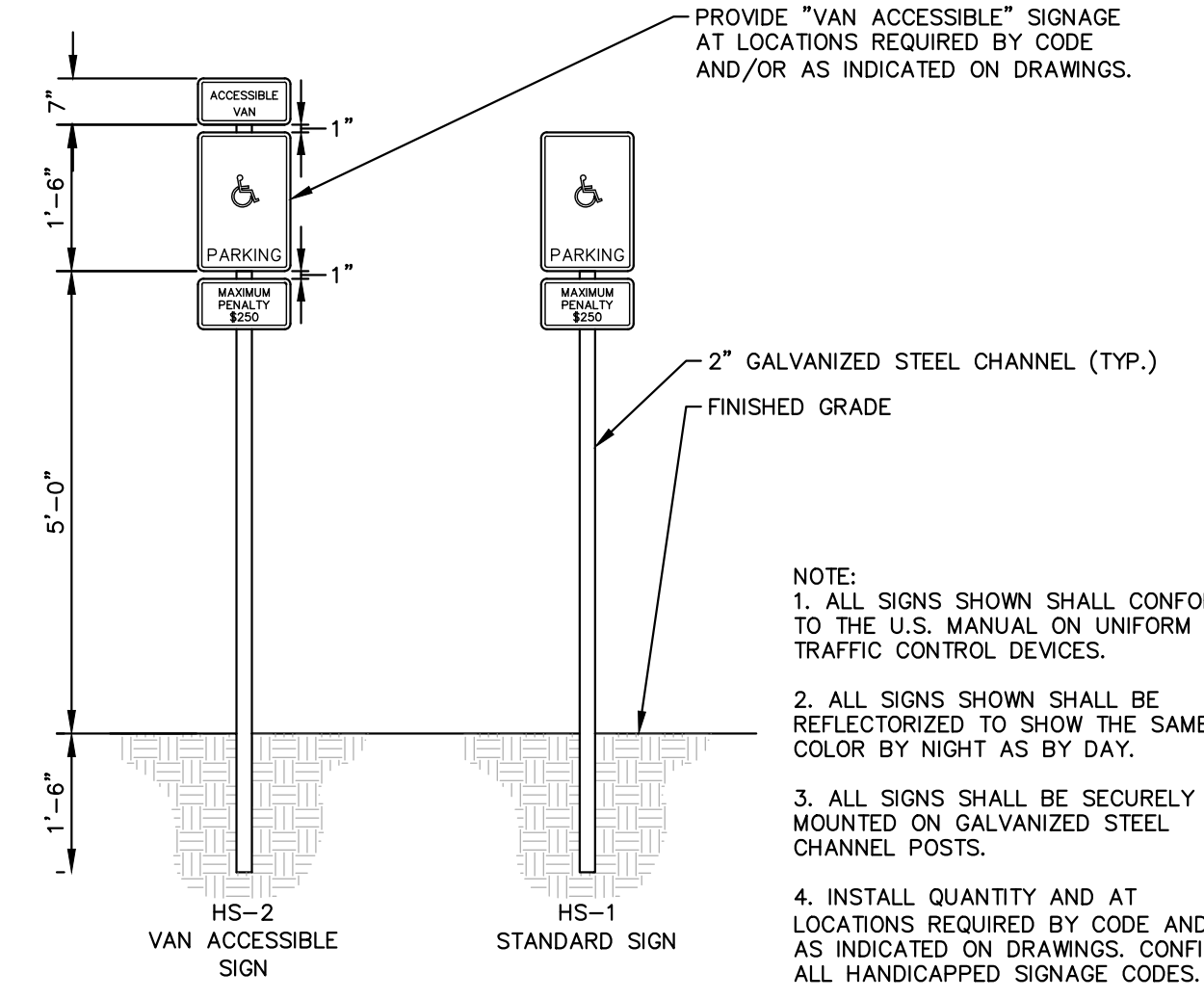


FRONT VIEW

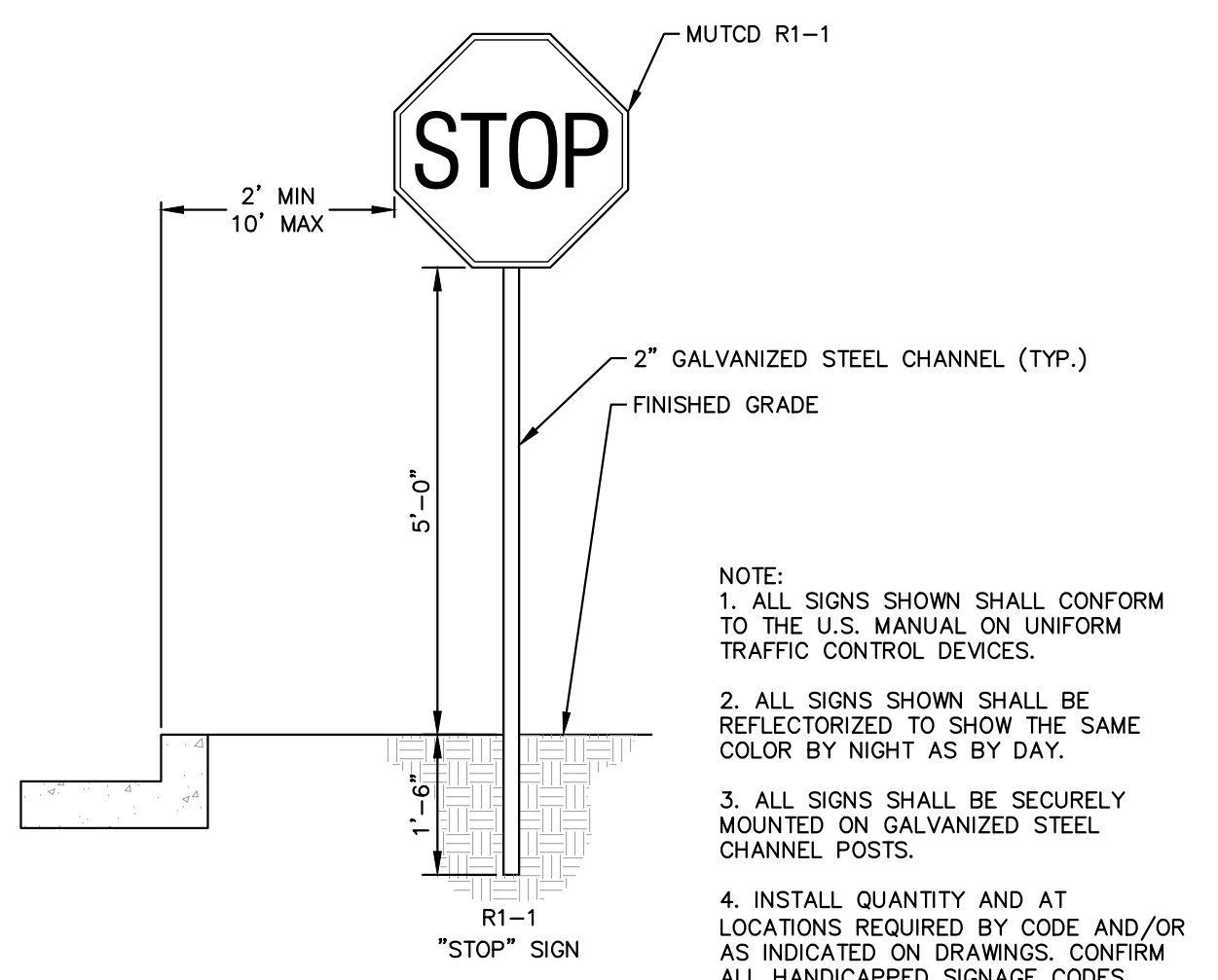


- NOTES:**
1. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 2. LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS.
 4. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
 5. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 7. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
 8. ADDITIONAL SIGNS MAY BE REQUIRED BY TOWN OF ARDEN INSPECTIONS DEPARTMENT BASED ON ACTUAL FIELD CONDITIONS.
 9. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.

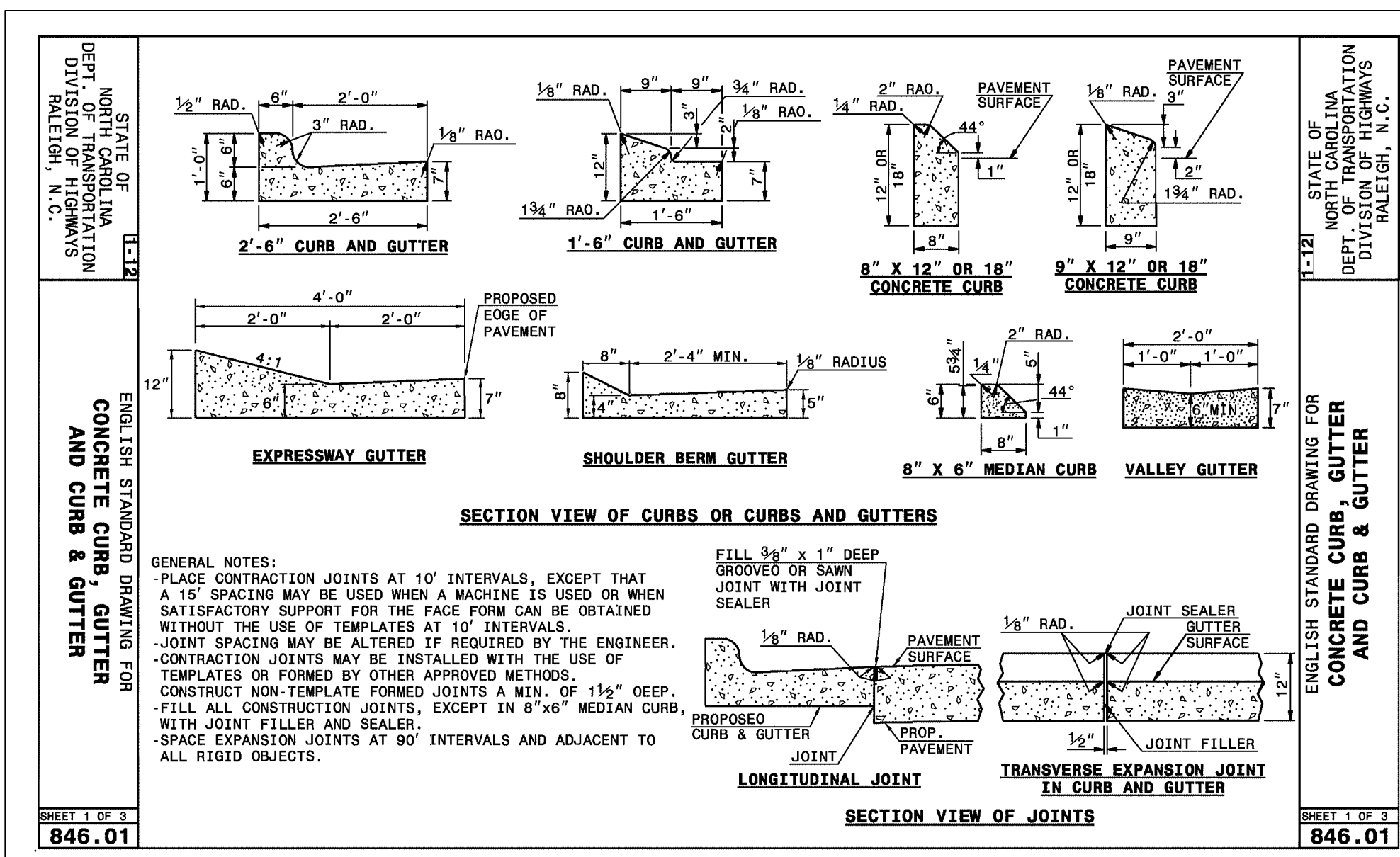
B5 TEMPORARY TREE PROTECTION FENCE
SCALE: N.T.S.



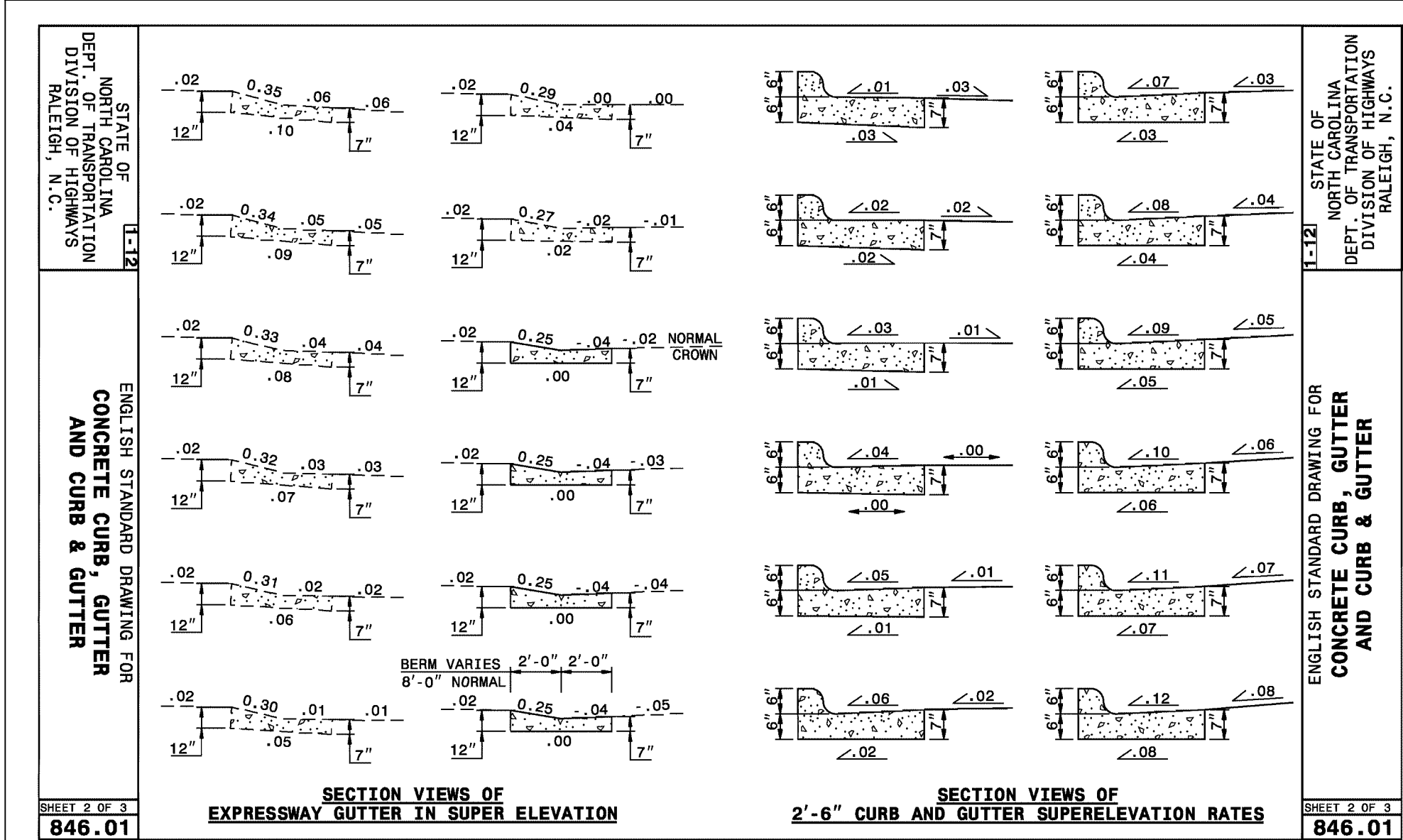
B4 ACCESSIBLE PARKING SIGN (N.I.C.)
SCALE: N.T.S.



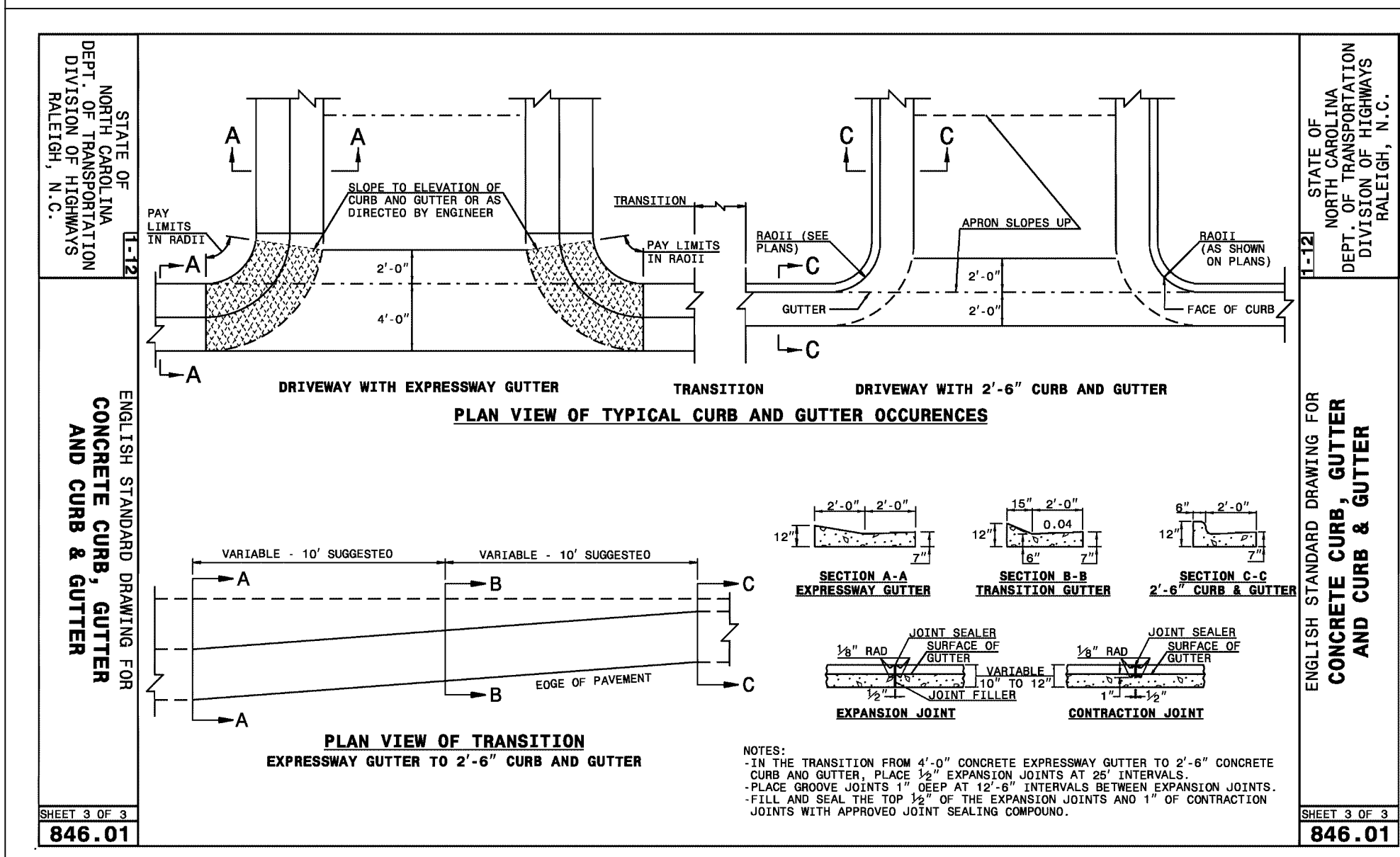
A5 "STOP" SIGN
SCALE: N.T.S.



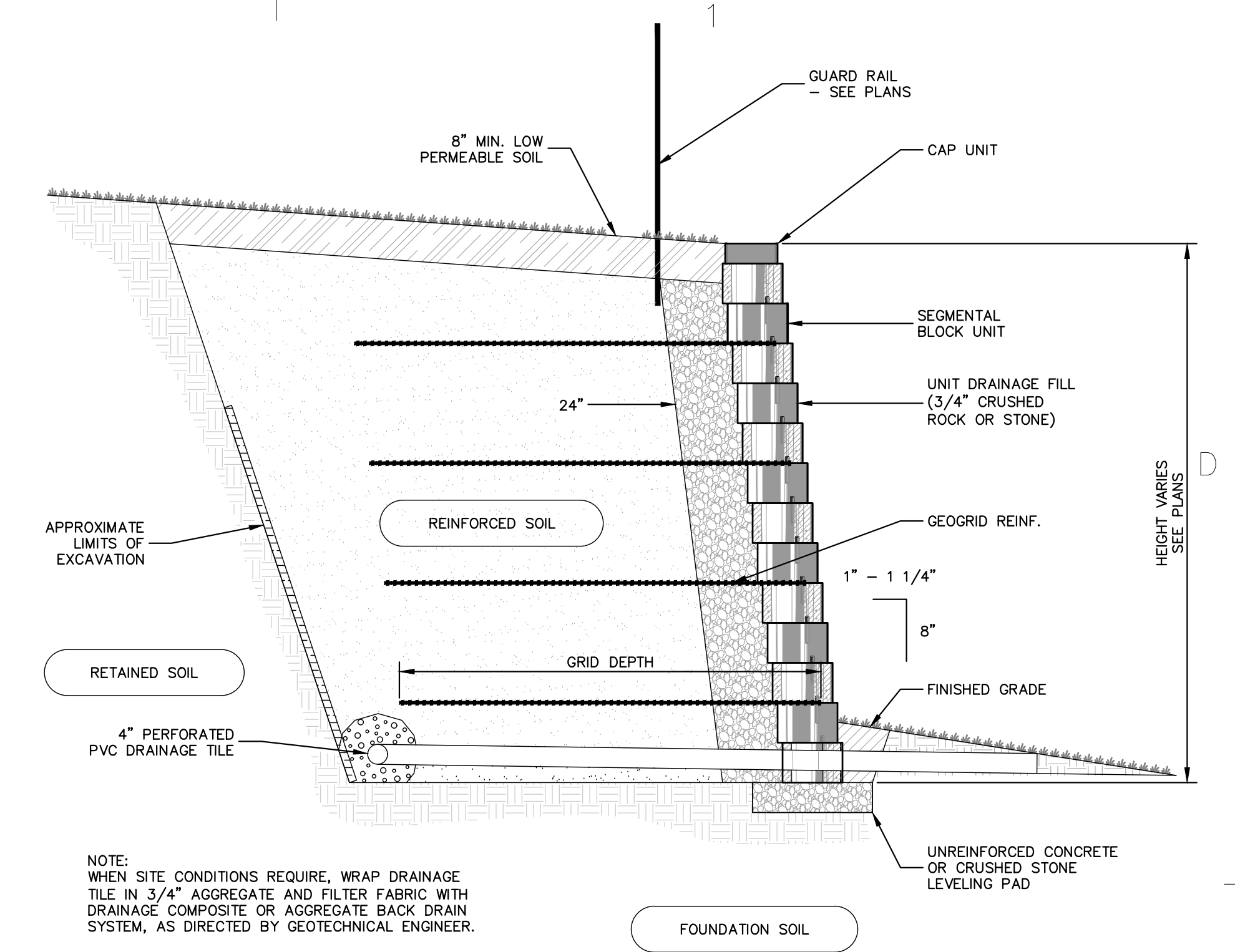
A3 NCDOT CONCRETE CURB & GUTTER
SCALE: N.T.S.



A3 SECTION VIEWS OF EXPRESSWAY GUTTER IN SUPER ELEVATION AND 2'-6" CURB AND GUTTER SUPERELEVATION RATES
SCALE: N.T.S.

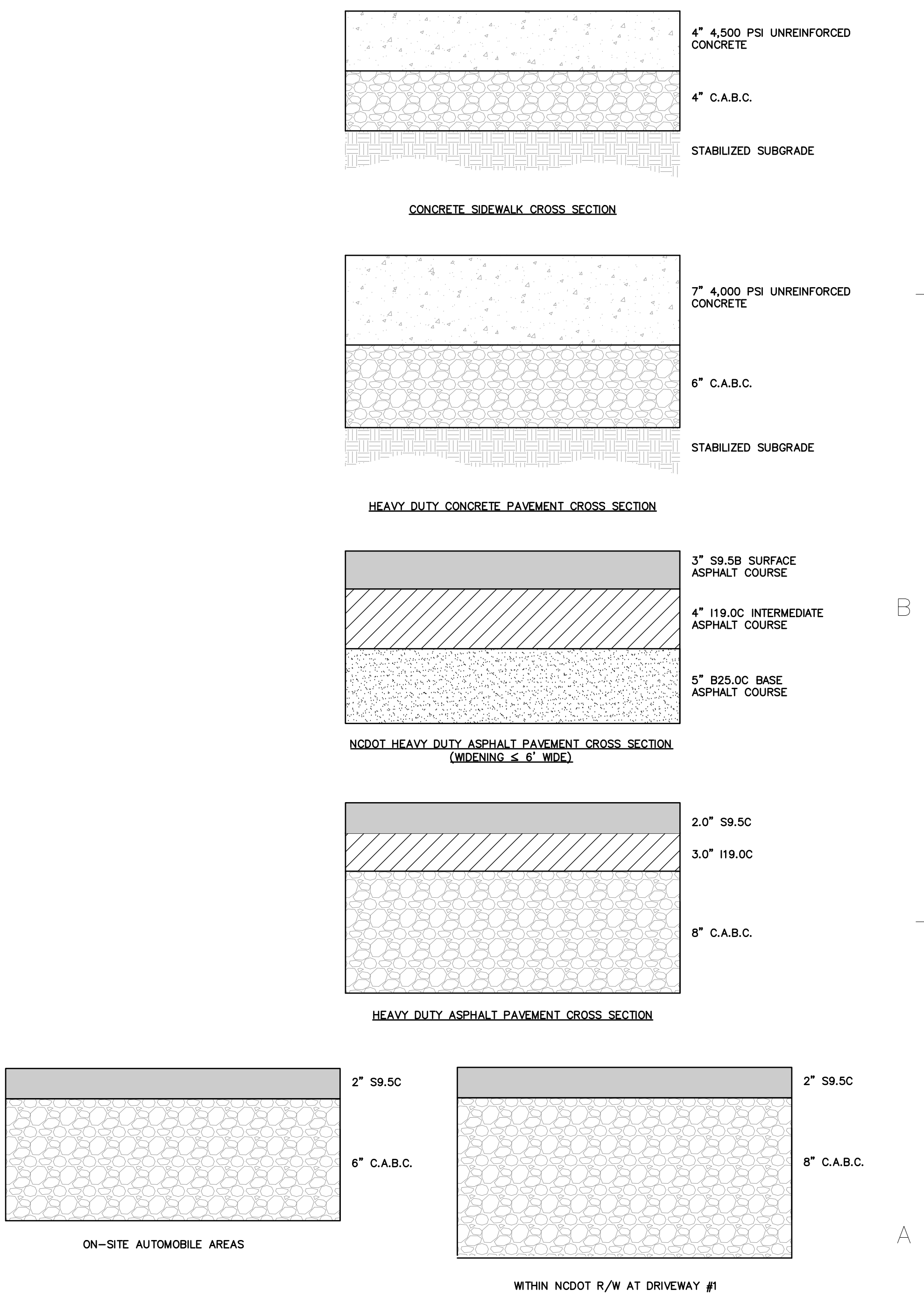


A3 PLAN VIEW OF TYPICAL CURB AND GUTTER OCCURRENCES AND PLAN VIEW OF TRANSITION EXPRESSWAY GUTTER TO 2'-6" CURB AND GUTTER
SCALE: N.T.S.



C1 SEGMENTAL BLOCK RETAINING WALL SECTION (DESIGN-BUILD)
SCALE: N.T.S.

NOTE: WHEN SITE CONDITIONS REQUIRE, WRAP DRAINAGE TILE IN 3/4" AGGREGATE AND FILTER FABRIC WITH DRAINAGE COMPOSITE OR AGGREGATE BACK DRAIN SYSTEM, AS DIRECTED BY GEOTECHNICAL ENGINEER.
ENGINEERED/SEALED WALL CONSTRUCTION DRAWINGS WILL BE SUBMITTED WITH SITE CONSTRUCTION PLANS.



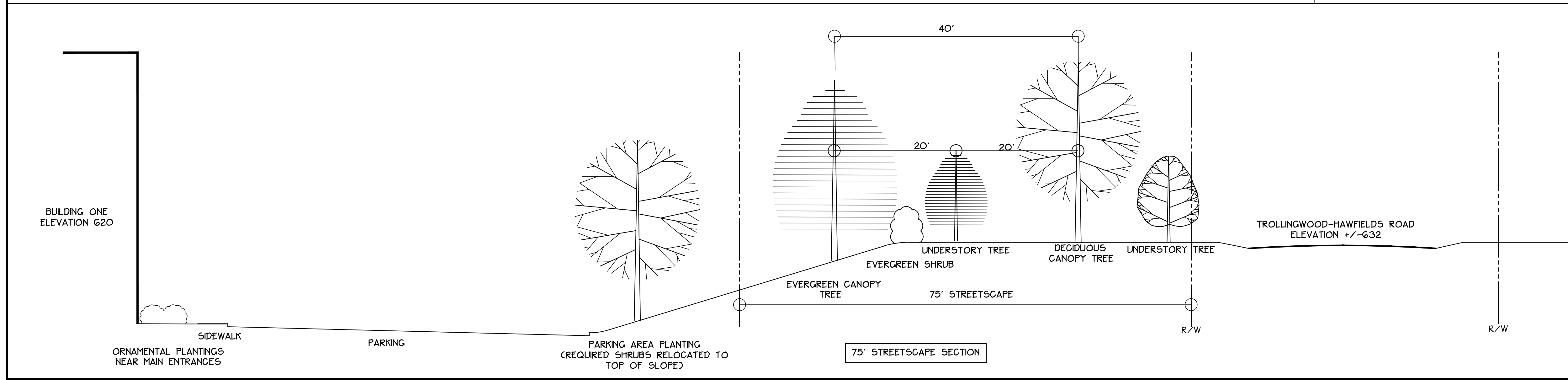
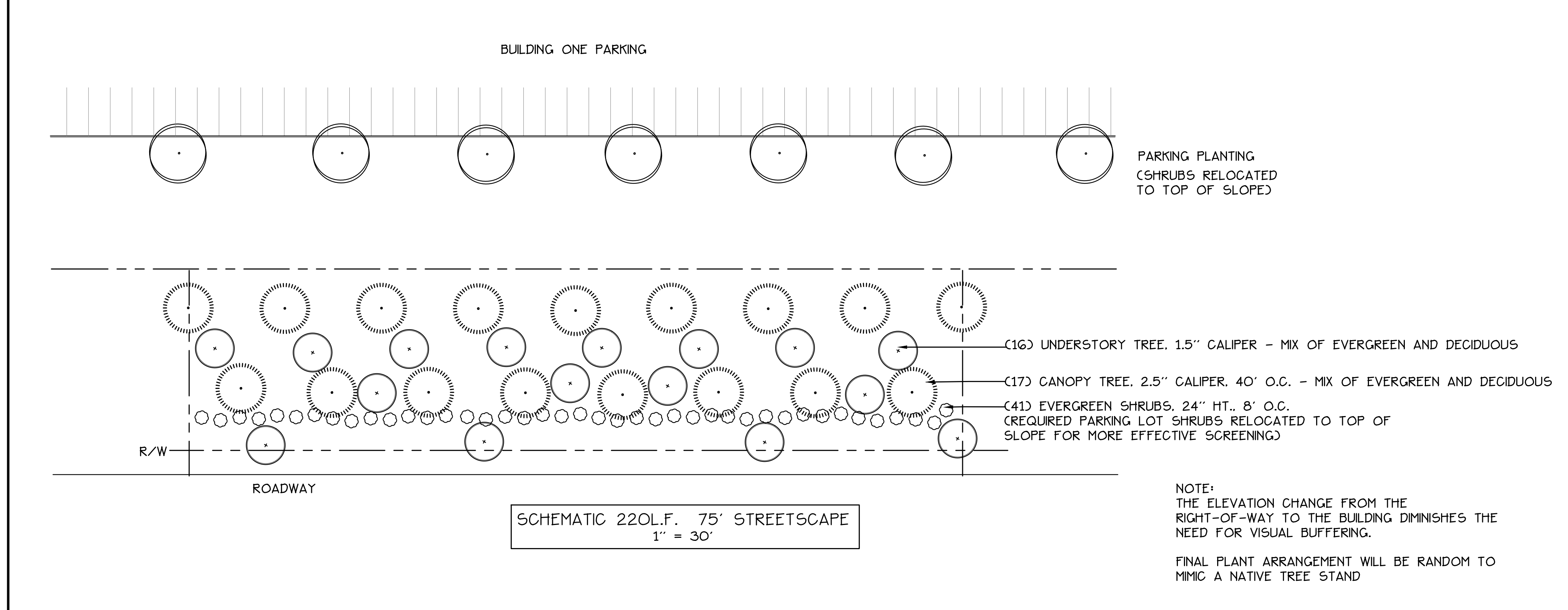
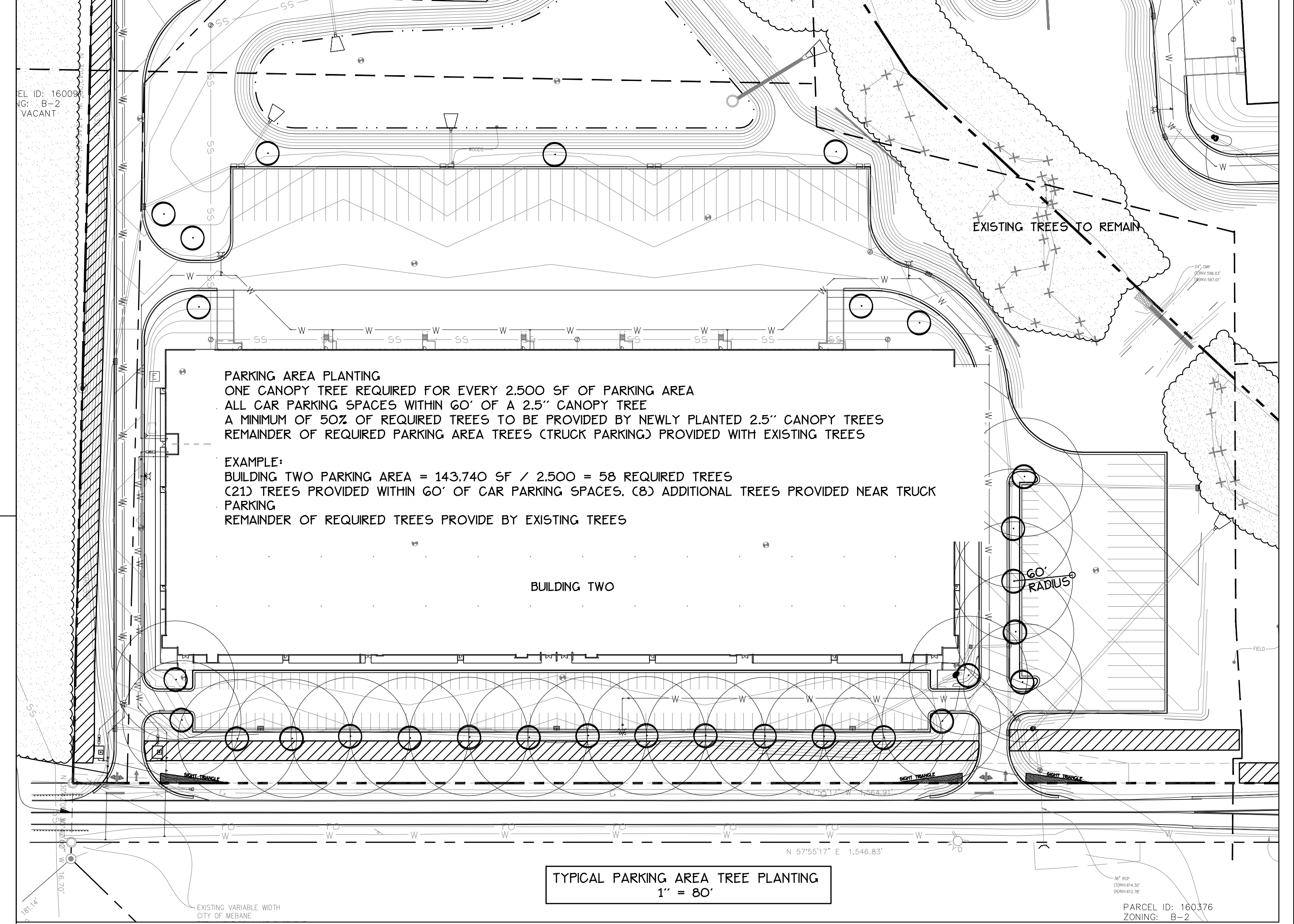
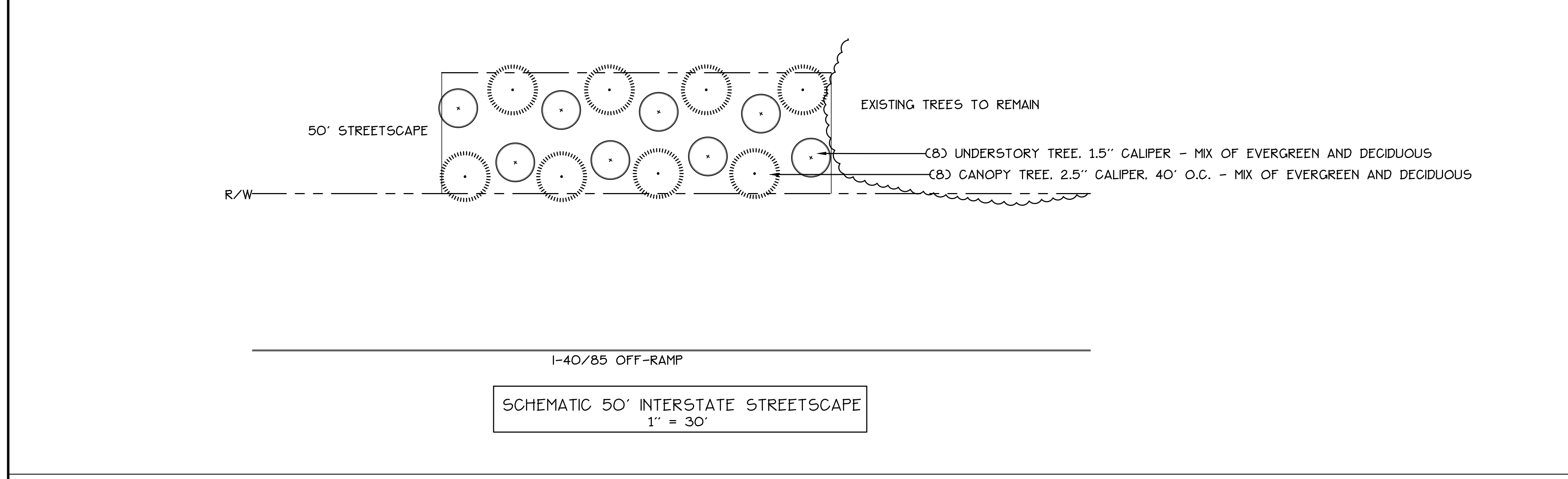
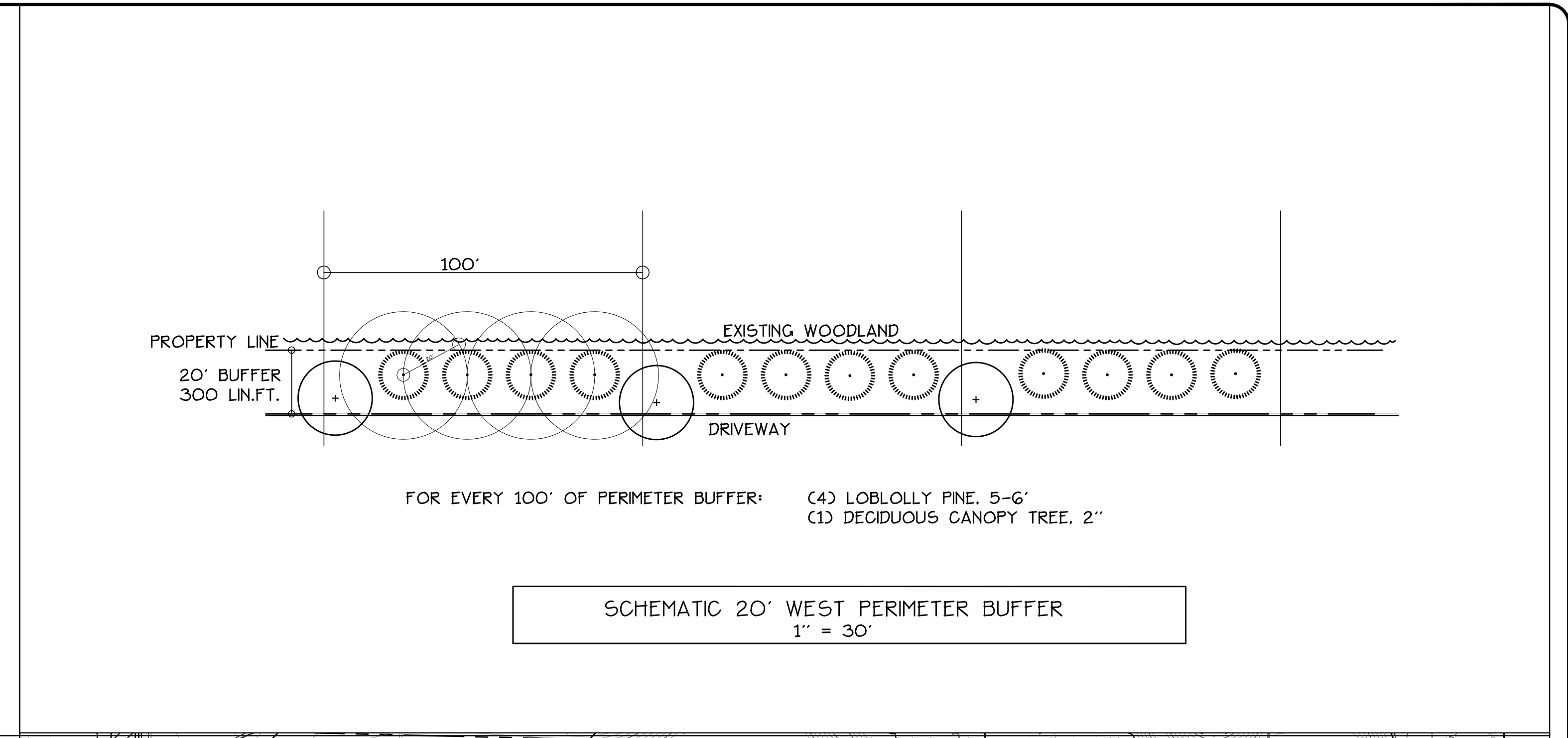
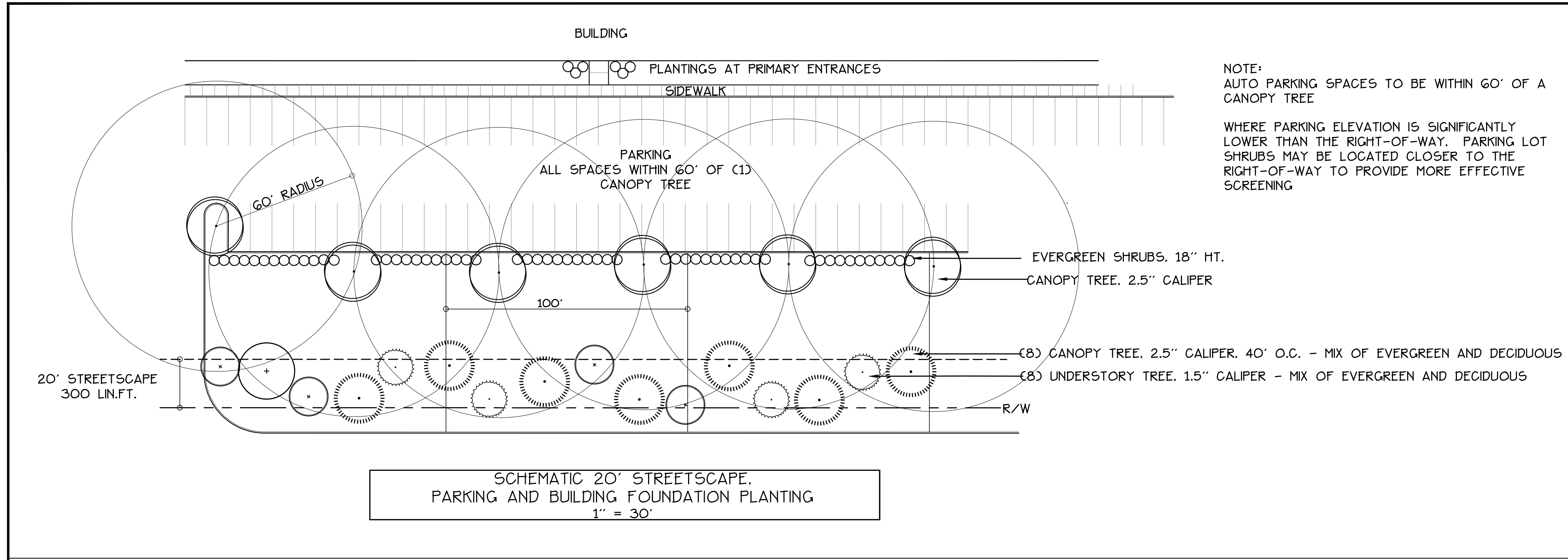
A1 TYPICAL PAVEMENT SECTIONS
SCALE: N.T.S.

SITE DETAILS
REVIEW DRAWING
NOT ISSUED FOR CONSTRUCTION

DATE	REVISIONS
08 SEP 22	PER CITY OF MEANE TRC COMMENTS
19 OCT 22	PER CITY OF MEANE TRC COMMENTS
07 NOV 22	PER NCDOT TRC COMMENTS

OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
4264 COLONY ROAD
SUITE 402
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
CHRIS URQUHART
(704) 258-9147
FAX (704) 000-0000
CMAA

DATE	ISSUED
12 JUL 22	SITE PLAN SUBMITTAL #1
08 SEP 22	SITE PLAN SUBMITTAL #2
19 OCT 22	SITE PLAN SUBMITTAL #3
07 NOV 22	FINAL SITE PLAN DOCUMENTS



ALTERNATE PLANTING SCHEMATICS
SCALE AS NOTED
R.T. Peter
Landscape Architecture
Raleigh, North Carolina
919-971-3648 bob.p@rtpla.com

Ballentine Associates, PA
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 529 - 0481

REGISTERED PROFESSIONAL ARCHITECT
CORPORATE SEAL
NORTH CAROLINA
CHapel Hill

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
NORTH CAROLINA
R.T. Peter

DATE	REVISIONS	NUM	PER CITY OF MEBAN TRC COMMENTS
25 AUG 22			

OWNER INFORMATION
CROW HOLDINGS INDUSTRIAL
406A COLONY ROAD
SUITE 405
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
CHRIS URQUHART
PH: (704) 548-1147
FAX: (704) 608-9000
EMAIL: c.urquhart@crowcorp.com

ISSUED
SITE PLAN SUBMITTAL #1
FINAL SITE PLAN DOCUMENTS

DATE
12 JUL 22
25 AUG 22
11/17/22

JOB # 122007.02
DATE: 12 JUL 2022
SCALE: AS NOTED
DRAWN BY: RTP
REVIEWED BY: RTP

SHEET
LO1.1

CROW INDUSTRIAL
NC COMMERCE PARK BLDGS 1-3
MEBANE, NC
SITE PLAN DRAWINGS

FOR REVIEW ONLY
NOT RELEASED FOR CONSTRUCTION

PLANNING PROJECT REPORT

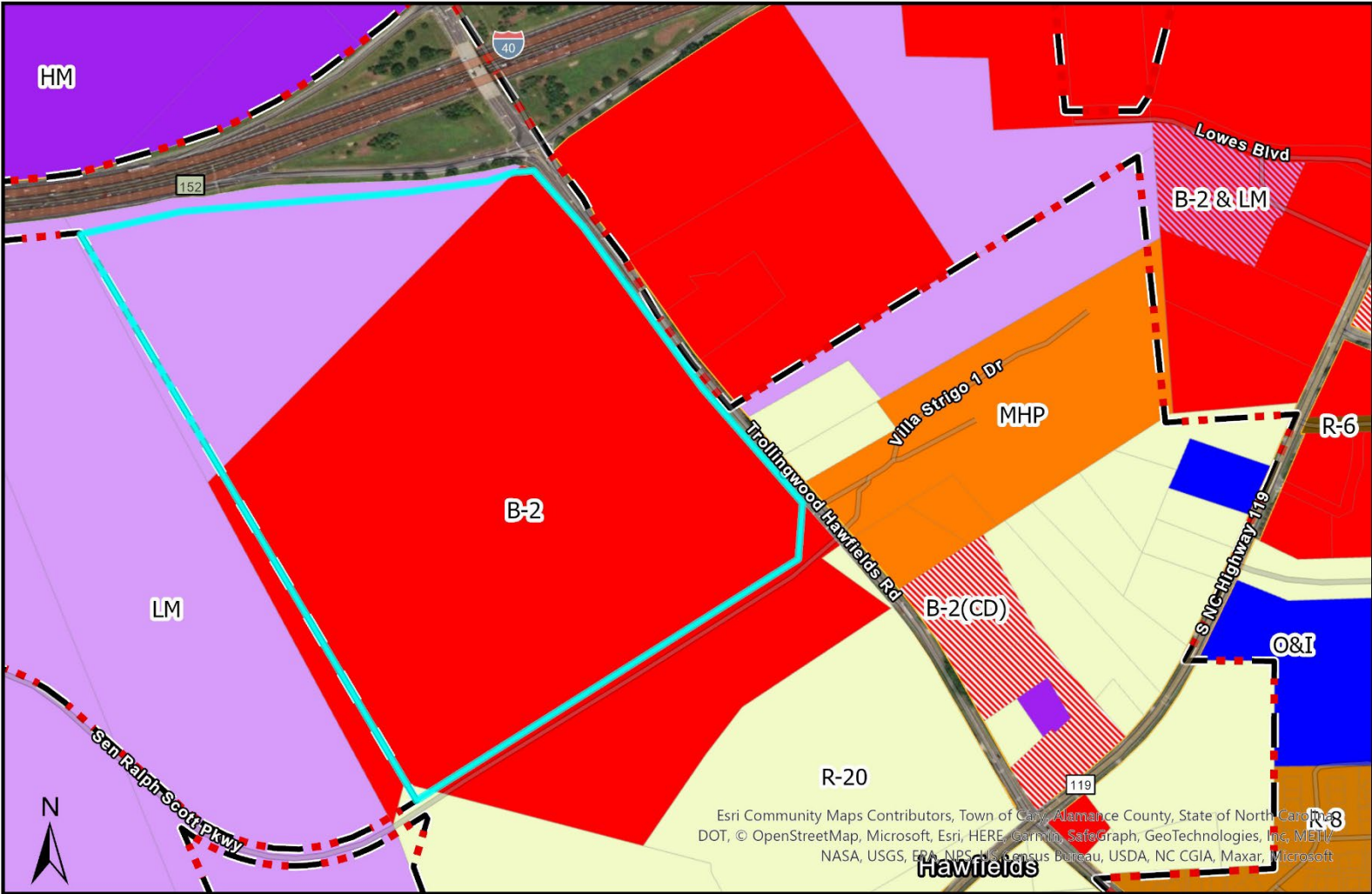
DATE	11/09/2022
PROJECT NUMBER	RZ 22-15
PROJECT NAME	Crow Industrial
APPLICANT	CHI/Acquisitions, L. P. 4064 Colony Road, Suite 405 Charlotte, NC 28211

CONTENTS

PROJECT NAME & APPLICANT	PAGE 1
ZONING REPORT	PAGE 2
LAND USE REPORT	PAGE 4
UTILITIES REPORT	PAGE 7
STAFF ZONING REQUEST RECOMMENDATION	PAGE 8

ZONING REPORT

EXISTING ZONE	LM (Light Manufacturing) and B-2 (General Business)
REQUESTED ACTION	LM (CD) (Light Manufacturing Conditional District)
CONDITIONAL ZONE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
CURRENT LAND USE	Vacant, Forested, Farm
PARCEL SIZE	+/- 77.689 acres
PROPERTY OWNERS	Sarah S. Bradley 917 Arrowhead Ln Mebane, NC 27302 GPINs: 9804810638, 9804720640
LEGAL DESCRIPTION	Request to rezone two properties, GPIN 9804720640 and portion of GPIN 9804810638, totaling +/- 77.689 acres located at 1447 Trollingwood Hawfields Road from LM and B-2 to LM (CD) to allow light-industrial development including three warehouse buildings by CHI Acquisitions, L.P.
AREA ZONING & DISTRICTS	Adjoining properties to the west are zoned LM (Light Manufacturing), and properties to the northwest are zoned HM (Heavy Manufacturing). Across Trollingwood-Hawfields Road the adjacent zoning varies, with properties zoned B-2, LM, R-20 (Residential), and Mobile Home Park. Properties to the southeast are zoned R-20. In addition, the portion of the subject property to the south of Senator Ralph Scott Parkway the existing B-2 zoning is proposed to remain.
SITE HISTORY	The properties have historically been used as farmland and remain taxed as general farms. Stream, wetlands, and floodplain are present.
STAFF ANALYSIS	
CITY LIMITS?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
PROPOSED USE BY-RIGHT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
SPECIAL USE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
EXISTING UTILITIES?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
POTENTIAL IMPACT OF PROPOSED ZONE	The proposed rezoning is consistent with the LM and HM zoning of surrounding properties and the location of the properties in the North Carolina Commerce Park.



**CITY OF MEBANE
ZONING MAP**

Crow Industrial

1 inch = 500 feet

DATE: 11/09/2022

DRAWN BY: AO

LAND USE REPORT

EXISTING LAND USE	Vacant, Forested, Farm
PROPOSED LAND USE & REQUESTED ACTION	The applicant is requesting a rezoning to develop two properties totaling +/- 77.689 acres with frontages on Senator Ralph Scott Parkway and Trollingwood-Hawfields Road (GPINs 9804810638, 9804720640) for a light industrial warehouse development of one 279,000-square-foot building, one 248,000-square-foot building, and one 156,000-square-foot building. The rezoning request is only for the portions of the properties north of Senator Ralph Scott Parkway.
PROPOSED ZONING	LM (CD) (Light Manufacturing Conditional District)
PARCEL SIZE	+/- 77.689 acres
AREA LAND USE	The properties are in the North Carolina Commerce Park. UPS is currently developing the adjoining property to the west. A Pilot Travel Center is across from the site on Trollingwood-Hawfields Road. Residential uses are also across Trollingwood-Hawfields Road, including single-family detached homes and a mobile home park. Hawfields Presbyterian Church owns the adjoining lots to the south, which include the Hawfields Community Park. The applicant proposes a 5' sidewalk on the south side of Senator Ralph Scott Parkway.
ONSITE AMENITIES & DEDICATIONS	The applicant proposes to dedicate a lot to the City of Mebane for a future fire station and proposes the dedication of right-of-way from Lot 1.
CONDITIONAL ZONE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF PROPOSED CONDITIONS	<p>The applicant has provided their own parking calculations. The UDO requires parking to be calculated at 2/3 employees on the largest shift plus 1/200 square feet of retail sales or customer service area plus 1/vehicle used in the operation. Based on other projects, the applicant is proposing parking at 0.75 parking spaces per 1,000 s.f. of floor area.</p> <p>The applicant is seeking a waiver from the requirement to provide sidewalk along the Trollingwood-Hawfields Road frontage. Given Senator Ralph Scott Parkway splits the site, the applicant is proposing to provide sidewalk on one side of Senator Ralph Scott Parkway. Per Section 7-6.6(A), sidewalk should be provided along frontages of new nonresidential development unless the requirement is waived by the Mebane City Council.</p> <p>The applicant agrees to a condition requiring perpetual maintenance of the sight distance easement area west of proposed Driveway #4 to maintain proper sight lines.</p> <p>The applicant will dedicate a lot to the City for a future fire station.</p>

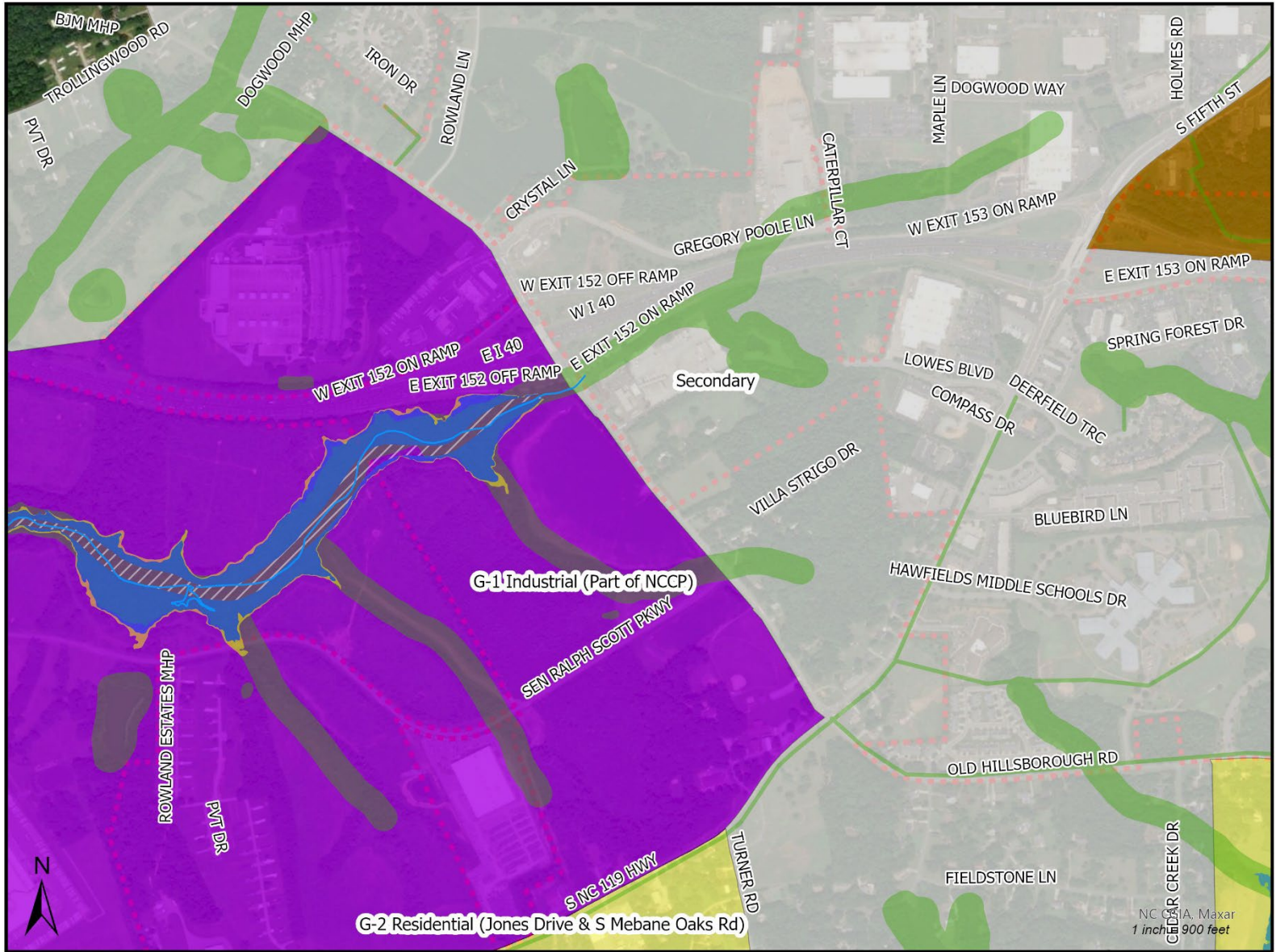
CONSISTENCY WITH *MEBANE BY DESIGN* STRATEGY

LAND USE GROWTH STRATEGY DESIGNATION(S) G-1 Industrial Conservation Area

OTHER LAND USE CONSIDERATIONS

MEBANE BY DESIGN GOALS & OBJECTIVES SUPPORTED GROWTH MANAGEMENT 1.7 Continue to support industrial development at existing industrial parks near I-40/85.

MEBANE BY DESIGN GOALS & OBJECTIVES NOT SUPPORTED



UTILITIES REPORT

AVAILABLE UTILITIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED UTILITY NEEDS	Per the memorandum from Franz Holt of AWCK, the anticipated water and sewer use for the proposed development is 11,200 gallons per day. Building 1 is proposed with a 12-inch water main extension along Trollingwood-Hawfields Road from a tap to an existing 16-inch water line in Senator Ralph Scott Parkway. Buildings 2 and 3 will be served from the existing 16-inch water line. Building 1 is proposed to be served with an 8-inch private sewer extension connecting to a proposed 12-inch public sewer line installed as a part of the City of Mebane GKN Pump Station flow reroute project to Graham. Buildings 2 and 3 are proposed to be served through an 8-inch public sewer extension connecting to Mebane’s 15-inch sanitary sewer outfall.
UTILITIES PROVIDED BY APPLICANT	Applicant has pledged to provide all on-site utilities, as described in AWCK’s Technical Memo.
MUNICIPAL CAPACITY TO ABSORB PROJECT	The City has adequate water & sewer supply to meet the domestic and fire flow demands of the project.
CONSISTENCY WITH MEBANE LONG RANGE UTILITY PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
ADEQUATE STORMWATER CONTROL?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
INNOVATIVE STORMWATER MANAGEMENT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

TRANSPORTATION NETWORK STATUS

CURRENT CONDITIONS	The subject property is situated south of Interstate 40, west of Trollingwood-Hawfields Road, and north of Senator Ralph Scott Parkway. The site plan features two proposed driveway entrances to Building 1 from Trollingwood-Hawfields Road. The site also will include two entrances from Sen. Ralph Scott Parkway. These entrances will provide access to Buildings 2 and 3, with neither including turn lanes. NCDOT provides traffic count data for Trollingwood-Hawfields Road, which is currently a two-lane undivided road. In 2019, the section east of the site had an average daily traffic volume of 10,000 trips. NCDOT does not provide any data for Sen. Ralph Scott Parkway. The Interstate 40 ramps west of Trollingwood-Hawfields Road registered 5,500-5,700 trips, while the eastern exit ramps each registered 3,600 trips.
---------------------------	--

	North of Sen. Ralph Scott Parkway, Trollingwood-Hawfields Road registers a low Safety Score of 78. The section of Trollingwood-Hawfields Road that extends from the intersection with Sen. Ralph Scott Parkway to the south registers a moderate safety score of 33.
TRAFFIC IMPACT ANALYSIS REQUIRED?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF RECOMMENDED IMPROVEMENTS	The TIA requires exclusive left and right turn lanes at the two driveway entrances on Trollingwood-Hawfields Road and exclusive right turn lanes at the two driveways on Senator Ralph Scott Parkway. The second driveway on Trollingwood-Hawfields Road is proposed to align with the future extension of Lowes Boulevard. Additionally, the applicant will be required to maintain adequate sight lines at the westernmost driveway on Senator Ralph Scott Parkway. This requires obtaining an easement from the adjoining property owner.
CONSISTENCY WITH THE MEBANE BICYCLE AND PEDESTRIAN TRANSPORTATION PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
MULTIMODAL IMPROVEMENTS PROVIDED BY APPLICANT?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF MULTIMODAL IMPROVEMENTS	The applicant proposes to construct a sidewalk for the length of the property on the south side of Senator Ralph Scott Parkway.

STAFF RECOMMENDATION

STAFF ZONING RECOMMENDATION	<input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> DISAPPROVE
STAFF SPECIAL USE FINDING	<input type="checkbox"/> CONSISTENT <input type="checkbox"/> NOT CONSISTENT.....WITH <i>MEBANE BY DESIGN</i>
RATIONALE	The proposed development “Crow Industrial” is consistent with the guidance provided within <i>Mebane By Design</i> , the Mebane Comprehensive Land Development Plan. Specifically, it is located in an industrial growth strategy area and serves Goal 1.7. The proposed project is in harmony with nearby light and heavy industrial uses.



Technical Memorandum

Date: November 8, 2022

To: Ashley Ownbey - Development Director

From: Franz K. Holt, P.E - City Engineer

Subject: Crow Industrial at the NC Commerce Park (NCCP) – City Engineering review

Preliminary Site Plans for Crow Industrial at the NCCP dated November 7th, 2022, and prepared by George Retschle, P.E. with Ballentine Associates, PA of Chapel Hill, NC, have been reviewed by the Engineering Department as a part of the TRC process. Our technical memo comments are as follows:

A. General

- Crow Industrial proposed to locate three (3) industrial buildings on a 77.7 acres site located within the NCCP and fronting along Trollingwood-Hawfields Road and Senator Ralph Scott Parkway. Proposed Building 1/Lot 1 – 279,000 on 32.5 acres fronting on Trollingwood-Hawfields Road with two private driveway connections and Building 2/Lot 2 – 248,000 square feet on 22.1 acres fronting on Senator Ralph Scott Parkway with two private driveway connections with one being shared with Building 3/Lot 3 - 156,000 square feet on 23.1 acres.
- Stormwater management controls will be required to treat and detain the stormwater runoff from the proposed built upon surfaces meeting Mebane Phase II stormwater requirements for post-construction runoff.
- A Traffic Impact Analysis (TIA) has been completed for the site and reviewed by NCDOT and City with certain roadway improvements being identified to Trollingwood-Hawfields Road and Senator Ralph Scott Parkway. NCDOT review and approval will be required for utility encroachments, sidewalk improvements, the three proposed roadway connections, and roadway improvements associated with required turn lanes identified as a part of the TIA.
- Sidewalk is planned to be constructed with the proposed future development along Senator Ralph Scott Parkway (south side of roadway).
- The project proposes to dedicate a lot to the City of Mebane for a future fire station site located at the southwest quadrant of the Trollingwood-Hawfields Road and Sen. Ralph Scott Parkway.

B. Availability of City Water and Sewer

In accordance with the UDO, this memo is provided to indicate that I have reviewed the preliminary water and sewer system layout and find it acceptable and meets City standards based on the following:



1. Water system –

- Building 1 is proposed to be served with a 12-inch public water main extension along Trollingwood-Hawfields Road from a tap to Mebane’s 16-inch water main at Senator Ralph Scott Parkway. This 12-inch line will eventually be looped back to Lowes Blvd. with future development and may be considered for oversizing reimbursement per city policy.
- Buildings 2 and 3 are proposed to connect directly to Mebane’s 16-inch water main in Sen. Ralph Scott Parkway with a 12-inch shared tap with separate services from a header pipe.
- Anticipated water use for warehouse distribution is 100 gal/bay x 112 bays = 11,200 gallons per day.
- The City has adequate water capacity at the Graham-Mebane Water Plant to provide domestic water use and fire flows for the proposed development.
- Upon completion of public water main improvements, to City of Mebane requirements, they will become a part of Mebane’s water distribution system for ownership and maintenance.

2. Sanitary Sewer system –

- Building 1 is proposed to be served with an 8-inch private sewer extension connecting to a proposed 12-inch public sewer line installed as a part of the City of Mebane GKN Pump Station flow reroute project to Graham.
- Buildings 2 and 3 are proposed to be served through an 8-inch public sewer extension connecting to Mebane’s 15-inch sanitary sewer outfall.
- Anticipated wastewater use for warehouse distribution is 100 gal/bay x 112 bays = 11,200 gallons per day.
- The City has adequate wastewater capacity available in the downstream Mebane 15-inch sanitary sewer outfall, Graham’s 18-inch sanitary sewer outfall, Graham’s Cherry Lane Pump Station, and at the Graham Wastewater Treatment Plant. This wastewater flow does not account against Mebane’s 0.75 MGD purchased wastewater capacity agreement.
- Upon completion of public sewer main improvements, to City of Mebane requirements, they will become a part of Mebane’s sewer collection system for ownership and maintenance.

C. *Phase II Stormwater Post Construction Ordinance, Watershed Overlay District, and Falls Lake Watershed Stormwater Regulations*

1. Watershed Overlay District requirements are provided under Sec. 5.4 of the UDO. These requirements in the UDO are for the Back-Creek Watershed, which includes the Graham-Mebane Lake. These requirements do not apply as the project drains to Back Creek below the Graham-Mebane Lake dam with no restrictions on built upon area.



2. Phase II Stormwater Post Construction Ordinance

Sec. 5.3 in the UDO provides standards for Storm Water Management and 5.4.F requires compliance with the Mebane Post Construction Runoff Ordinance (which is a stand-alone ordinance titled the Phase II Stormwater Post Construction Ordinance (SPCO)). The standards in the UDO are general standards as the Ordinance itself provides detailed standards. The SPCO does apply to this project as it will disturb more than one acre of land and it is estimated that the new built upon will be more than 24% of the site. The project proposes to construct three privately maintained stormwater management control devices meeting the City's requirements for stormwater treatment and detention. Fencing is required with water pooling at 2 feet and above.

D. Storm Drainage System

Sec. 5-2. D. in the UDO provides requirements for storm drainage systems. The preliminary site plans include a preliminary layout of storm drainage swales, piping, and inlets that collect stormwater runoff that is directed to stormwater management control devices where treatment and detention occurs before being discharged off-site.

E. Street Access and TIA

The industrial development proposes two private driveway connections to Trollingwood-Hawfields Road (SR 1981) and two private driveway connections to Senator Ralph Scott Parkway (SR 2657). The TIA completed for the project provides for certain improvements to be installed at each driveway connection which has been reviewed by the City's Transportation Engineer (VHB) and NCDOT. NCDOT driveway permits, and encroachment agreements will be required for all related improvements inside NCDOT right-of-way. Findings and Requirements of the developer are as follows:

Driveway 1 at SR 1981

- Construct exclusive right turn lane with 100' of storage and appropriate taper.
- Construct exclusive left turn lane with 100' of storage and appropriate taper.
- One ingress and one egress lane under stop condition with 100' of protected stem length.

Driveway 2 at SR 1981

- Construct exclusive right turn lane with 100' of storage and appropriate taper.
- Construct exclusive left turn lane with 100' of storage and appropriate taper.
- One ingress and two egress lanes under stop condition with 100' of protected stem length aligning with future Lowes Blvd Extension.

Driveways 3 and 4 at SR 2657:

- Construct exclusive right turn lanes with 100' of storage and appropriate taper.
- One ingress and one egress lane under stop condition with 100' of protected stem length.
- Provide sight distance as required for driveway 4.



F. Construction Plan Submittal

The UDO indicates that construction plans for all street facilities, including water and sewer facilities, shall be submitted following preliminary plat or site plan approval; therefore, construction plans are not required as a part of the site plan review. A utility plan is provided which generally shows the proposed water lines, sewer lines, and storm drainage and stormwater management devices to indicate that the project is feasible for utility service and providing stormwater management. Appendix E, which is included in the UDO, is a Construction Document checklist which is to be provided at such time as construction plans are submitted after Preliminary Site Plan approval. Based on city engineering review of the referenced preliminary site plans, it is my opinion that said plans are in substantial compliance with the UDO.

G. Final Plat Recording

An early final plat recording is being sought by the developer allowing for building permits to be pulled for any or all 3 buildings prior to the installation of certain improvements. The city will accept security deposited with the city in the amount of 125% of the estimated and approved cost to guarantee their completion. These improvements include turn lanes to be bonded with NCDOT, sidewalk and related curb and gutter installation along the south side of Sen. Ralph Scott Parkway, public sewer to the fire station site, public sewer to buildings 2 and 3, public water to building 1, streetscape improvements, and permanent stormwater management devices. This allowance is granted through a developer requested waiver with the approval of the Mebane City Council. Prior to final certificate of occupancy for any or all buildings associated improvements must be completed with the exception of streetscape (weather sensitive) and stormwater management devices being converted to their permanent condition (permanent stabilization dependent). These improvements will be allowed to be bonded 2 years past final CO and may further be extended with staff approval.



November 8, 2022

George Retschle, PE
Ballentine Associates, PA
221 Providence Road
Chapel Hill, NC 27514

Subject: Crow Industrial at NCCP – Water and Sewer System

Regarding the subject Preliminary Site Plan and in accordance with the UDO, this letter is provided to indicate that I have reviewed the preliminary water and sewer system layout and find it acceptable and meets City standards based on the following:

1. Water system –

- Building 1 is proposed to be served with a 12-inch public water main extension along Trollingwood-Hawfields Road from a tap to Mebane's 16-inch water main at Senator Ralph Scott Parkway. This 12-inch line will eventually be looped back to Lowes Blvd. with future development and may be considered for oversizing reimbursement per city policy.
- Buildings 2 and 3 are proposed to connect directly to Mebane's 16-inch water main in Sen. Ralph Scott Parkway with a 12-inch shared tap with separate services from a header pipe.
- Anticipated water use for warehouse distribution is 100 gal/bay x 112 bays = 11,200 gallons per day.
- The City has adequate water capacity at the Graham-Mebane Water Plant to provide domestic water use and fire flows for the proposed development.
- Upon completion of public water main improvements, to City of Mebane requirements, they will become a part of Mebane's water distribution system for ownership and maintenance.

2. Sanitary Sewer system –

- Building 1 is proposed to be served with an 8-inch private sewer extension connecting to a proposed 12-inch public sewer line installed as a part of the City of Mebane GKN Pump Station flow reroute project to Graham.
- Buildings 2 and 3 are proposed to be served through an 8-inch public sewer extension connecting to Mebane's 15-inch sanitary sewer outfall.
- Anticipated wastewater use for warehouse distribution is 100 gal/bay x 112 bays = 11,200 gallons per day.
- The City has adequate wastewater capacity available in the downstream Mebane 15-inch sanitary sewer outfall, Graham's 18-inch sanitary sewer outfall, Graham's Cherry Lane Pump Station, and at the Graham Wastewater Treatment Plant. This wastewater flow does not count against Mebane's 0.75 MGD purchased wastewater capacity agreement.
- Upon completion of public sewer main improvements, to City of Mebane requirements, they will become a part of Mebane's sewer collection system for ownership and maintenance.

If there are any questions, please let me know.

Sincerely,

Franz K. Holt, P.E. City Engineer

CC:

Ashley Ownbey - Development Director and Kyle Smith, P.E. – Utilities Director

RAMEY KEMP ASSOCIATES

TOGETHER WE ARE LIMITLESS

T 919 872 5115

5808 Faringdon Pl,
Raleigh, NC 27609

October 7, 2022

TO: Ashley Ownbey
Interim Development Director
E: aownbey@cityofmebane.com

FROM: Craig J. Hyman, PE
Ramey Kemp Associates
E: chyman@rameykemp.com

SUBJECT: **Crow Industrial TIA Review Comments**

Ms. Ownbey:

Ramey Kemp Associates (RKA) has reviewed the subject TIA and issues the following comments.

Study Summary

The proposed site is a light industrial development located west of Trollingwood Hawfields Road, north of Senator Ralph Scott Parkway, and south of I-40/85 in Mebane, North Carolina. It consists of 683,000 square feet of warehouse space and will have access via two full movement driveways on Trollingwood Hawfields Road and two full movement driveways on Senator Ralph Scott Parkway. The northern most driveway on Trollingwood Hawfields Road will be restricted to passenger vehicles only (no trucks). The development is expected to be constructed by 2024.

The development is anticipated to generate approximately 2,619 daily trips during a typical weekday - with 468 trips occurring during the morning (AM) peak hour and 161 trips occurring during the afternoon (PM) peak hour. Analysis was performed for three (3) scenarios: 2022 Existing Conditions, 2024 Future No Build Conditions, and 2024 Future Build Conditions. NCDOT TIP project U-6013 will provide improvements at the intersection of NC 119 and Trollingwood Hawfields Road and is expected to be complete by 2024.

The study area intersections are anticipated to operate at acceptable levels of service with the following exceptions:

- **NC 119 at Trollingwood Hawfields Rd / Old Hillsborough Rd:** the intersection is expected to operate at an overall LOS E (AM) and D (PM) under no build and build conditions, with several approaches operating at LOS E or F, after the implementation of U-6013. However, the opportunity for additional improvements at this intersection is limited due to right-of-way and historic property constraints.
- **Trollingwood Hawfields Rd at Future Access #1:** the eastbound (Future Access #1) approach is anticipated to operate at LOS F during the AM and PM peak hours. This is not uncommon for an unsignalized minor approach at a major roadway with a high through volume.



- **Trollingwood Hawfields Rd at Future Access #2:** Future Access #2 is anticipated to operate at LOS E during the AM peak hour. This is not uncommon for an unsignalized minor approach at a major roadway with a high through volume.

The recommended improvements identified in the TIA are reasonable. Based on NCDOT warrants, right-turn lanes are warranted at both site driveways on Trollingwood Hawfields Road. The City should coordinate with the NCDOT District office to determine if these turn lanes should be required as part of the developer improvements.

The following comments relate to deviations from various NCDOT and/or City analysis guidelines. A revised TIA based on these comments is not requested. However, final required improvements may need to be noted, pending NCDOT turn lane requirements.

TIA Report

1. Level of service and delay are not reported for the westbound approach of Trollingwood Hawfields Rd at Sen. Ralph Scott Pkwy / Villa Strigo Dr.
2. Figure 8 - the entering and exiting site trips during the PM peak hour are each missing one trip when compared to the trip generation. However, this difference is not expected to significantly impact the analysis results.
3. Based on NCDOT's turn lane warrants, the following improvements are warranted:
 - A southbound right-turn lane with a minimum of 75 feet of full width storage plus appropriate taper is warranted along Trollingwood Hawfields Rd at Future Access #1. (AM right-turn volume: 62, opposing volume: 788)
 - A southbound right-turn lane with a minimum 50 feet of full width storage plus appropriate taper is warranted along Trollingwood Hawfields Rd at Future Access #2. (AM right-turn volume: 41, opposing volume: 755)

Based on traffic volumes, proximity to adjacent intersections and potential for increased truck volumes at Future Access #2, right-turn lanes should be considered at Future Access #1 and Future Access #2. Since Trollingwood Hawfields Rd is a NCDOT roadway, the City should coordinate with the NCDOT District Office to determine if right-turn lanes will be required at these driveways.

Synchro Analysis

1. In future submittals, consider anchoring the aerial image to the synchro network.
2. In future submittals, consider balancing volumes between intersections that do not have a sink/source (such as the bridge over I-85). The imbalances in the analysis are not expected to significantly impact the analysis results.



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J. ERIC BOYETTE
SECRETARY

September 26, 2022

ALAMANCE COUNTY

Nathaniel Rhomberg, PE
VHB Engineering NC, P.C.
940 Main Campus Drive, Suite 500
Raleigh, NC 27606

Subject: Proposed Crow Alamance Located on Trollingwood Hawfields Road (SR 1981)
and Senator Ralph Scott Parkway (SR 2657).
Review of Traffic Impact Analysis (TIA) Dated September 9, 2022

Dear Mr. Rhomberg,

NCDOT staff has completed a collaborative review with the City of Mebane of the above subject. Based on the information provided we offer the following comments with regard to the state road network.

General:

The proposed site is located near the intersection of Trollingwood Hawfields and Senator Ralph Scott Parkway in Mebane. The proposed site consists of 683,000 SF of light industrial and is expected to generate approximately 2,619 new daily trips upon full build out in 2024. The TIA indicates that specific land use(s) have not been identified and land use code (LUC) 110 was utilized as a conservative approach for estimation of site trips for the purposes of the analysis. The applicant should be aware that additional analysis may be necessary if ultimate uses are determined to result in trip generation substantially greater than that used for this study. The TIA analysis included two proposed accesses on Trollingwood Hawfields Road and two proposed accesses on Senator Ralph Scott Parkway.

NCDOT Committed Improvements:

NCDOT Transportation Improvement Project U-6013 includes widening NC 119 to multi-lanes, north of Trollingwood Hawfields Road / Old Hillsborough Road. This project is scheduled to let in 2023 with completion in 2026.

This improvement was considered in future analysis scenarios.

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DIVISION 7, DISTRICT 1
PO BOX 766
GRAHAM, NC 27253-0766

Telephone: (336) 570-6833
Fax: (336) 570-6873
Customer Service: 1-877-368-4968

Website: www.ncdot.gov

Location:
115 EAST CRESCENT SQUARE DRIVE
GRAHAM, NC 27253

Future Roadway Improvements By Others:

The Hawfields Landing development, subject to available right of way and environmental constraints, will provide an exclusive eastbound right-turn lane with 100 feet of storage and appropriate deceleration taper.

This improvement was considered in future analysis scenarios.

Findings and Requirements:

Based on the information provided, the developer will be required to construct the following road improvements to mitigate the anticipated impacts of site traffic.

Trollingwood Hawfields Road and Site Access #1 Intersection:

- Construct the access as a Right-In Only with one ingress lane.
- Provide a minimum 100' internal protected stem.
- Provide an exclusive right-turn lane on Trollingwood Hawfields with 100 feet of storage and appropriate deceleration taper.

Trollingwood Hawfields Road and Site Access #2 Intersection:

- Construct the full movement access with one ingress lane and two egress lanes under stop control.
- Provide a minimum 100' internal protected stem.
- Provide an exclusive right-turn lane on Trollingwood Hawfields with 100 feet of storage and appropriate deceleration taper.
- Provide an exclusive left-turn lane on Trollingwood Hawfields with 100 feet of storage and appropriate transitions.

Senator Ralph Scott Parkway and Site Access #3 Intersection:

- Construct the full movement access with one ingress lane and one egress lane under stop control.
- Provide a minimum 100' internal protected stem.
- Provide an exclusive right-turn lane on Senator Ralph Scott Parkway with 100 feet of storage and appropriate deceleration taper.

Senator Ralph Scott Parkway and Site Access #4 Intersection:

- Construct the full movement access with one ingress lane and one egress lane under stop control.
- Provide a minimum 100' internal protected stem.
- Provide an exclusive right-turn lane on Senator Ralph Scott Parkway with 100 feet of storage and appropriate deceleration taper.

Intersection Sight Distance:

- After a field assessment, it has been noted that there are marginally acceptable sight lines at site accesses #1 and #2 and there are less than desirable sight lines at site access #4.
- Evaluate these site accesses to ensure adequate sight lines are provided or explore alternative access locations that better accommodate adequate sight lines within the existing Right of Way.

Multi-modal and Streetscape Enhancements:

Any locally stipulated multi-modal enhancements including but not limited to sidewalk, bike lanes, bus pull offs, lighting, landscaping etc. on State maintained routes are subject to NCDOT requirements and approval through the encroachment process.

General Requirements:

It is necessary to obtain an approved driveway permit and/or encroachment agreement(s) prior to performing work on the NCDOT right of way. As a condition of the permit, the permittee shall be responsible for design and construction of the above stipulated improvements in accordance with NCDOT requirements. An approved permit will be issued upon receipt of approved site plan, roadway and signal construction plans as needed, inspection fee, and any necessary performance and indemnity bonds.

The applicant shall dedicate any additional right of way necessary to accommodate the required road improvements or future improvements as stipulated.

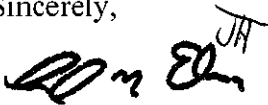
Intersection radii and geometry shall be designed to accommodate turning movements of the largest anticipated vehicle.

All pavement markings shall be long life thermoplastic. Pavement markers shall be installed if they previously existed on the roadway.

The permittee shall be responsible for the installation and relocation of any additional highway signs that may be necessary due to these improvements and shall comply with the requirements of the MUTCD.

Feel free to contact me if you have any questions.

Sincerely,



C. N. Edwards Jr., PE
District Engineer

Cc: W.R. Archer, III, PE, Division Engineer
D.M. McPherson, Division Traffic Engineer
City of Mebane