



Council Meeting Agenda  
November 6, 2023  
6:00PM

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1. Call to Order..... Mayor Ed Hooks
2. Invocation ..... Rev. Jeff Nash, Mebane United Methodist Church
3. Recognition ..... Mayor
  - a. Sean Ewing- 2023 NAACP Presidents Award
  - b. Jennifer Livers- Life Safety Educator of the Year Award
  - c. Kirk Montgomery- President of the State Employees Association of NC
4. Public Comments ..... Mayor
5. Consent Agenda:
  - a. 1<sup>st</sup> Quarter Financial Report- July 1, 2023, to September 30, 2023
  - b. Approval of Minutes- October 2, 2023 Regular Meeting
6. **Public Hearings-**
  - a. Special Use Permit (*Quasi-Judicial*)- VM Development, LLC  
to allow for the development of a concrete plant  
at 920 Mattress Factory Road..... Ashley Ownbey, Development Director
  - b. Conditional Rezoning- Samet Corporation- Heavy Manufacturing and  
Light Manufacturing to Heavy Manufacturing to allow  
for a rail transload facility on property at Lake Latham Road,  
W. Holt Street, and Sun Ray Lane ..... Ms. Ownbey
  - c. Street Closing Resolution and Order-  
Portions of Jackson Street and Short Street ..... Lawson Brown, City Attorney
7. Racial Equity Advisory Committee (REAC)  
Appointments ..... Beatrice Hunter, HR Director and REAC Liaison
8. Recreation and Parks Advocacy Commission (RPAC)  
2024 Appointments .....Aaron Davis, Recreation and Parks Director
9. Purchase of Vacant Lot- Ruffin Street..... Mr. Brown
10. FEMA BRIC Grant Application- Sewer Rehab .....Kyle Smith, Utilities Director
11. Proposed 2024 Regular Meeting and FY 2024-25 Budget  
Calendar.....Chris Rollins, City Manager
12. Adjournment ..... Mayor



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## AGENDA ITEM #5A

### 1st Quarter Financial Report – July 1, 2023 to September 30, 2023

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#### Meeting Date

November 6, 2023

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#### Presenter

Daphna Schwartz, Finance Director

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#### Public Hearing

Yes  No

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#### Summary

Municipal finance officers in North Carolina must report financial information, including encumbrances, to the governing body throughout the fiscal year. The City of Mebane meets this requirement with quarterly reports.

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#### Background

This report displays the first quarter of the fiscal year for the period that ended September 30, 2023.

**General Fund:** Actual revenue collections are at 33% of the budget, so collections are ahead of the quarterly expectation of 25%. Actual revenue collections and other financing sources (including fund balance appropriation) are at 31% of the budget, which is still ahead of the quarterly expectation. Actual expenditures are 19% of the budget, which is below the quarterly expectation of 25%.

**Utility Fund:** Actual revenue collections are at 27% of the budget, so collections are slightly ahead of the quarterly expectation of 25%. Actual revenue collections and other financing sources (including fund balance appropriation) are at 21% of the budget, which is below the quarterly expectation. Actual expenditures are 21% of the budget, which is slightly below the quarterly expectation of 25%.

**Utility Reserve Fund:** Actual revenue collections are at 18% of the budget, which is below the quarterly expectation of 25%.

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#### Financial Impact

None.

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#### Recommendation

That the Council accepts the report.

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#### Suggested Motion

Motion to accept the Fiscal Year 2023-2024 1<sup>st</sup> Quarter Financial Report.

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#### Attachments

1. Fiscal Year 2023-2024 1<sup>st</sup> Quarter Financial Report



Mebane, NC

# Income Statement Account Summary

For Fiscal: 2023-2024 Period Ending: 09/30/2023

	Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	YTD Activity + Encumbrances	Budget Remaining	
<b>Fund: 100 - General Fund</b>							
<b>Revenue</b>							
<b>GovType: 3000 - Property Taxes</b>							
<a href="#">100-3018-000</a>	2018 PROPERTY TAXES	0.00	0.00	205.39	205.39	205.39	-205.39
<a href="#">100-3019-000</a>	2019 PROPERTY TAXES	0.00	0.00	24.73	68.15	68.15	-68.15
<a href="#">100-3020-000</a>	2020 PROPERTY TAXES	0.00	0.00	44.96	321.53	321.53	-321.53
<a href="#">100-3021-000</a>	2021 PROPERTY TAXES	0.00	0.00	495.90	1,150.03	1,150.03	-1,150.03
<a href="#">100-3022-000</a>	2022 PROPERTY TAXES	12,000.00	12,000.00	987.09	2,693.42	2,693.42	9,306.58
<a href="#">100-3023-000</a>	2023 PROPERTY TAX	14,741,764.00	14,741,764.00	7,062,095.93	7,679,303.26	7,679,303.26	7,062,460.74
<a href="#">100-3069-000</a>	MOTOR VEHICLE PROPERTY TAXES	804,119.00	804,119.00	95,981.99	184,158.93	184,158.93	619,960.07
<a href="#">100-3070-000</a>	TAX DISCOUNTS	-38,000.00	-38,000.00	-36,830.15	-40,024.81	-40,024.81	2,024.81
<a href="#">100-3071-000</a>	TAX PENALTIES & INTEREST	60,000.00	60,000.00	8,732.98	10,307.52	10,307.52	49,692.48
<a href="#">100-3080-000</a>	FIRE DISTRICT TAXES - CURRENT YR	542,801.00	542,801.00	300,519.13	330,290.51	330,290.51	212,510.49
<a href="#">100-3081-000</a>	FIRE DISTRICT TAXES - PRIOR YEAR	6,000.00	6,000.00	645.16	1,012.29	1,012.29	4,987.71
<a href="#">100-3082-000</a>	FIRE DISTRICT TAXES - PENALTY & INT	2,000.00	2,000.00	203.34	377.80	377.80	1,622.20
	<b>GovType: 3000 - Property Taxes Total:</b>	<b>16,130,684.00</b>	<b>16,130,684.00</b>	<b>7,433,106.45</b>	<b>8,169,864.02</b>	<b>8,169,864.02</b>	<b>7,960,819.98</b>
<b>GovType: 3100 - Other Taxes and Licenses</b>							
<a href="#">100-3090-000</a>	PRIVILEGE LICENSE FEES	900.00	900.00	0.00	0.00	0.00	900.00
	<b>GovType: 3100 - Other Taxes and Licenses Total:</b>	<b>900.00</b>	<b>900.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>900.00</b>
<b>GovType: 3215 - Restricted Federal Intergov</b>							
<a href="#">100-3150-510</a>	FEDERAL EQUITABLE SHARING FUNDS	0.00	0.00	0.00	8,342.59	8,342.59	-8,342.59
	<b>GovType: 3215 - Restricted Federal Intergov Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>8,342.59</b>	<b>8,342.59</b>	<b>-8,342.59</b>
<b>GovType: 3220 - Unrestricted State Intergov</b>							
<a href="#">100-3205-000</a>	LOCAL OPTION SALES TAX	7,107,700.00	7,107,700.00	0.00	0.00	0.00	7,107,700.00
<a href="#">100-3210-000</a>	UTILITY FRANCHISE TAX	1,124,100.00	1,124,100.00	0.00	0.00	0.00	1,124,100.00
<a href="#">100-3211-000</a>	VIDEO PROGRAMMING SALES TAX	66,000.00	66,000.00	0.00	0.00	0.00	66,000.00
<a href="#">100-3212-000</a>	TELECOM SALES TAX	55,000.00	55,000.00	0.00	0.00	0.00	55,000.00
<a href="#">100-3220-000</a>	BEER AND WINE TAX	70,000.00	70,000.00	0.00	0.00	0.00	70,000.00
<a href="#">100-3258-580</a>	SOLID WASTE DISPOSAL TAX	11,000.00	11,000.00	0.00	0.00	0.00	11,000.00
	<b>GovType: 3220 - Unrestricted State Intergov Total:</b>	<b>8,433,800.00</b>	<b>8,433,800.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>8,433,800.00</b>
<b>GovType: 3225 - Restricted State Intergov</b>							
<a href="#">100-3230-000</a>	POWELL BILL ALLOCATION	503,000.00	503,000.00	262,384.96	262,384.96	262,384.96	240,615.04
<a href="#">100-3252-510</a>	CONTROLLED SUBSTANCE TAX	1,300.00	1,300.00	90.10	306.30	306.30	993.70
<a href="#">100-3253-530</a>	STATE CONTRIBUTION TO FIRE RELIEF	52,000.00	52,000.00	0.00	0.00	0.00	52,000.00
	<b>GovType: 3225 - Restricted State Intergov Total:</b>	<b>556,300.00</b>	<b>556,300.00</b>	<b>262,475.06</b>	<b>262,691.26</b>	<b>262,691.26</b>	<b>293,608.74</b>
<b>GovType: 3230 - Unrestricted Local Intergov</b>							
<a href="#">100-3301-000</a>	INTERGOVERNMENTAL - TAX SHARING	300,000.00	300,000.00	0.00	0.00	0.00	300,000.00
<a href="#">100-3351-000</a>	ABC DISTRIBUTION	164,000.00	164,000.00	0.00	0.00	0.00	164,000.00
<a href="#">100-3353-000</a>	ABC DISTRIBUTION - SURCHARGE	32,000.00	32,000.00	0.00	0.00	0.00	32,000.00
	<b>GovType: 3230 - Unrestricted Local Intergov Total:</b>	<b>496,000.00</b>	<b>496,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>496,000.00</b>
<b>GovType: 3235 - Restricted Local Intergov</b>							
<a href="#">100-3308-000</a>	ABSS SCHOOL RESOURCE OFFICER FU...	280,000.00	280,000.00	0.00	300,000.00	300,000.00	-20,000.00
<a href="#">100-3320-530</a>	EFLAND FIRE DISTRICT CONTRIBUTI	9,000.00	9,000.00	0.00	0.00	0.00	9,000.00
<a href="#">100-3321-000</a>	ORANGE COUNTY LIBRARY CONTRIBUT	700.00	700.00	0.00	0.00	0.00	700.00
<a href="#">100-3322-620</a>	ORANGE COUNTY RECREATION CONT...	5,450.00	5,450.00	0.00	0.00	0.00	5,450.00
<a href="#">100-3352-510</a>	ABC DISTRIBUTION - LAW ENFORCEM	40,000.00	40,000.00	0.00	0.00	0.00	40,000.00
	<b>GovType: 3235 - Restricted Local Intergov Total:</b>	<b>335,150.00</b>	<b>335,150.00</b>	<b>0.00</b>	<b>300,000.00</b>	<b>300,000.00</b>	<b>35,150.00</b>
<b>GovType: 3400 - Permits and Fees</b>							
<a href="#">100-3440-540</a>	PLAN REVIEW FEES	19,310.00	19,310.00	125.00	500.00	500.00	18,810.00
<a href="#">100-3440-548</a>	ENGINEERING CONST INSP FEES	420,500.00	420,500.00	6,050.00	33,509.00	33,509.00	386,991.00
<a href="#">100-3442-540</a>	PLANNING AND ZONING FEES	70,700.00	70,700.00	9,325.00	58,560.00	58,560.00	12,140.00

**Income Statement**

**For Fiscal: 2023-2024 Period Ending: 09/30/2023**

		Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	YTD Activity + Encumbrances	Budget Remaining
<a href="#">100-3445-544</a>	BUILDING PERMIT FEES	1,000,000.00	1,000,000.00	56,372.00	163,109.00	163,109.00	836,891.00
<a href="#">100-3450-544</a>	INSPECTIONS FEES	300,000.00	300,000.00	18,140.00	70,317.00	70,317.00	229,683.00
<a href="#">100-3451-550</a>	STREET & UTILITY INSPECTION FEE	64,000.00	64,000.00	700.00	10,558.00	10,558.00	53,442.00
<a href="#">100-3453-530</a>	FIRE PERMIT & INSPECTION FEES	40,000.00	40,000.00	1,900.00	4,750.00	4,750.00	35,250.00
<a href="#">100-3455-540</a>	STORMWATER CONTROL FEES	1,000.00	1,000.00	0.00	0.00	0.00	1,000.00
<a href="#">100-3459-544</a>	HOMEOWNER'S RECOVERY FUND FEES	400.00	400.00	7.00	48.00	48.00	352.00
<a href="#">100-3460-510</a>	COURT FEES	4,000.00	4,000.00	225.00	696.18	696.18	3,303.82
	<b>GovType: 3400 - Permits and Fees Total:</b>	<b>1,919,910.00</b>	<b>1,919,910.00</b>	<b>92,844.00</b>	<b>342,047.18</b>	<b>342,047.18</b>	<b>1,577,862.82</b>
	<b>GovType: 3500 - Sales and Services</b>						
<a href="#">100-3510-620</a>	FIELD, ROOM AND SHELTER RENTALS	100,000.00	100,000.00	7,235.00	27,415.00	27,415.00	72,585.00
<a href="#">100-3511-620</a>	EVENT FEES	7,000.00	7,000.00	0.00	300.00	300.00	6,700.00
<a href="#">100-3512-620</a>	ATHLETIC FEES	40,000.00	40,000.00	4,340.00	14,340.00	14,340.00	25,660.00
<a href="#">100-3513-620</a>	CAMP FEES	15,000.00	15,000.00	0.00	505.00	505.00	14,495.00
<a href="#">100-3515-620</a>	RECREATION FEES OTHER	1,000.00	1,000.00	15.00	200.00	200.00	800.00
<a href="#">100-3558-580</a>	SANITATION USER FEES	575,508.00	575,508.00	48,112.00	143,280.02	143,280.02	432,227.98
<a href="#">100-3560-550</a>	CEMETERY PLOT SALES	33,000.00	33,000.00	6,000.00	11,250.00	11,250.00	21,750.00
<a href="#">100-3580-000</a>	CELLULAR RENTS	44,880.00	44,880.00	2,409.00	10,155.20	10,155.20	34,724.80
	<b>GovType: 3500 - Sales and Services Total:</b>	<b>816,388.00</b>	<b>816,388.00</b>	<b>68,111.00</b>	<b>207,445.22</b>	<b>207,445.22</b>	<b>608,942.78</b>
	<b>GovType: 3700 - Investment earnings</b>						
<a href="#">100-3710-000</a>	INTEREST EARNINGS	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00
	<b>GovType: 3700 - Investment earnings Total:</b>	<b>20,000.00</b>	<b>20,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>20,000.00</b>
	<b>GovType: 3800 - Miscellaneous Revenues</b>						
<a href="#">100-3802-000</a>	MISCELLANEOUS GRANTS	5,000.00	5,000.00	100,000.00	100,000.00	100,000.00	-95,000.00
<a href="#">100-3810-000</a>	MISCELLANEOUS REVENUES	15,000.00	15,000.00	5,068.00	14,543.80	14,543.80	456.20
<a href="#">100-3811-000</a>	CONTRIBUTIONS & DONATIONS	3,000.00	3,000.00	0.00	0.00	0.00	3,000.00
<a href="#">100-3811-620</a>	DONATIONS - RECREATION	-2,000.00	-2,000.00	40.00	2,732.00	2,732.00	-4,732.00
<a href="#">100-3840-000</a>	SALE OF FIXED ASSETS	17,000.00	17,000.00	0.00	7,000.00	7,000.00	10,000.00
<a href="#">100-3845-550</a>	SALE OF MATERIALS	5,000.00	5,000.00	270.12	411.40	411.40	4,588.60
<a href="#">100-3850-000</a>	RENTAL INCOME	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00
	<b>GovType: 3800 - Miscellaneous Revenues Total:</b>	<b>48,000.00</b>	<b>48,000.00</b>	<b>105,378.12</b>	<b>124,687.20</b>	<b>124,687.20</b>	<b>-76,687.20</b>
	<b>GovType: 8500 - Proceeds of Debt</b>						
<a href="#">100-3980-000</a>	PROCEEDS OF DEBT	1,270,062.00	3,355,939.01	0.00	2,097,500.00	2,097,500.00	1,258,439.01
	<b>GovType: 8500 - Proceeds of Debt Total:</b>	<b>1,270,062.00</b>	<b>3,355,939.01</b>	<b>0.00</b>	<b>2,097,500.00</b>	<b>2,097,500.00</b>	<b>1,258,439.01</b>
	<b>GovType: 9000 - Appropriated Fund Balance</b>						
<a href="#">100-3990-000</a>	APPROPRIATED FUND BALANCE	2,797,463.00	5,338,730.99	0.00	0.00	0.00	5,338,730.99
	<b>GovType: 9000 - Appropriated Fund Balance Total:</b>	<b>2,797,463.00</b>	<b>5,338,730.99</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>5,338,730.99</b>
	<b>Revenue Total:</b>	<b>32,824,657.00</b>	<b>37,451,802.00</b>	<b>7,961,914.63</b>	<b>11,512,577.47</b>	<b>11,512,577.47</b>	<b>25,939,224.53</b>
	<b>Expense</b>						
	<b>Department: 4100 - City Council</b>						
<a href="#">100-4100-030</a>	PART-TIME SALARIES	60,096.00	60,096.00	4,541.67	13,625.01	13,625.01	46,470.99
<a href="#">100-4100-050</a>	FICA	4,597.00	4,597.00	347.46	1,042.38	1,042.38	3,554.62
<a href="#">100-4100-060</a>	GROUP INSURANCE CONTRIBUTION	327.00	327.00	0.00	0.00	0.00	327.00
<a href="#">100-4100-140</a>	SCHOOLS & CONFERENCES	5,500.00	5,500.00	0.00	70.90	70.90	5,429.10
<a href="#">100-4100-330</a>	DEPARTMENTAL SUPPLIES	1,350.00	1,350.00	0.00	0.00	0.00	1,350.00
	<b>Department: 4100 - City Council Total:</b>	<b>71,870.00</b>	<b>71,870.00</b>	<b>4,889.13</b>	<b>14,738.29</b>	<b>14,738.29</b>	<b>57,131.71</b>
	<b>Department: 4200 - Administration</b>						
<a href="#">100-4200-020</a>	SALARIES & WAGES	905,174.00	905,174.00	68,149.33	204,448.00	204,448.00	700,726.00
<a href="#">100-4200-030</a>	PART-TIME SALARIES	7,781.00	7,781.00	0.00	0.00	0.00	7,781.00
<a href="#">100-4200-035</a>	OVERTIME SALARIES	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00
<a href="#">100-4200-039</a>	LONGEVITY CONTRIBUTION	22,804.00	22,804.00	0.00	0.00	0.00	22,804.00
<a href="#">100-4200-045</a>	CAR ALLOWANCE	3,692.00	3,692.00	282.46	847.38	847.38	2,844.62
<a href="#">100-4200-046</a>	CELL PHONE STIPEND	1,620.00	1,620.00	45.00	135.00	135.00	1,485.00
<a href="#">100-4200-050</a>	FICA	72,987.00	72,987.00	5,081.49	15,262.77	15,262.77	57,724.23
<a href="#">100-4200-060</a>	GROUP INSURANCE CONTRIBUTION	67,032.00	67,032.00	5,627.68	16,883.04	16,883.04	50,148.96
<a href="#">100-4200-070</a>	RETIREMENT CONTRIBUTION	220,962.00	220,962.00	15,912.89	47,738.69	47,738.69	173,223.31
<a href="#">100-4200-071</a>	401K CONTRIBUTION	47,315.00	47,315.00	3,407.50	10,222.50	10,222.50	37,092.50
<a href="#">100-4200-099</a>	INDIRECT TO WATER (CONTRA)	-368,773.00	-368,773.00	0.00	0.00	0.00	-368,773.00



Income Statement

For Fiscal: 2023-2024 Period Ending: 09/30/2023

		Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	YTD Activity + Encumbrances	Budget Remaining
<a href="#">100-4200-100</a>	PROFESSIONAL SERVICES	292,944.00	296,069.00	15,487.60	26,833.51	107,749.46	188,319.54
<a href="#">100-4200-110</a>	POSTAGE	1,200.00	1,200.00	0.87	9.66	9.66	1,190.34
<a href="#">100-4200-140</a>	SCHOOLS & CONFERENCES	25,498.00	25,498.00	900.00	3,327.60	3,827.60	21,670.40
<a href="#">100-4200-260</a>	ADVERTISING	8,500.00	8,500.00	446.23	446.23	5,000.00	3,500.00
<a href="#">100-4200-310</a>	FUEL	700.00	700.00	0.00	0.00	350.00	350.00
<a href="#">100-4200-330</a>	DEPARTMENTAL SUPPLIES	32,963.00	32,713.00	1,195.79	6,367.74	14,159.95	18,553.05
<a href="#">100-4200-340</a>	TECHNOLOGY SERVICES & SUPPLIES	20,543.00	20,543.00	0.00	0.00	0.00	20,543.00
<a href="#">100-4200-342</a>	TECHNOLOGY LICENSES	350.00	350.00	0.00	0.00	0.00	350.00
<a href="#">100-4200-344</a>	VARIED SERVICES	6,372.00	6,622.00	0.00	283.00	283.00	6,339.00
<a href="#">100-4200-350</a>	SOFTWARE LICENSES	0.00	260.00	195.00	195.00	260.00	0.00
<a href="#">100-4200-376</a>	BOARDS AND COMMISSIONS	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00
<a href="#">100-4200-390</a>	SMALL EQUIPMENT	2,000.00	2,000.00	0.00	283.98	283.98	1,716.02
<a href="#">100-4200-450</a>	MISCELLANEOUS	19,500.00	19,500.00	0.00	0.00	0.00	19,500.00
<a href="#">100-4200-530</a>	DUES & SUBSCRIPTIONS	5,705.00	5,705.00	0.00	826.46	826.46	4,878.54
<b>Department: 4200 - Administration Total:</b>		<b>1,426,869.00</b>	<b>1,430,254.00</b>	<b>116,731.84</b>	<b>334,110.56</b>	<b>428,287.49</b>	<b>1,001,966.51</b>
<b>Department: 4400 - Finance</b>							
<a href="#">100-4400-020</a>	SALARIES & WAGES	458,054.00	458,054.00	29,817.98	89,453.89	89,453.89	368,600.11
<a href="#">100-4400-030</a>	PART-TIME SALARIES	13,192.00	13,192.00	148.51	1,381.10	1,381.10	11,810.90
<a href="#">100-4400-035</a>	OVERTIME SALARIES	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00
<a href="#">100-4400-039</a>	LONGEVITY CONTRIBUTION	8,099.00	8,099.00	0.00	0.00	0.00	8,099.00
<a href="#">100-4400-046</a>	CELL PHONE STIPEND	2,700.00	2,700.00	225.00	585.00	585.00	2,115.00
<a href="#">100-4400-050</a>	FICA	37,259.00	37,259.00	2,206.31	6,683.59	6,683.59	30,575.41
<a href="#">100-4400-060</a>	GROUP INSURANCE CONTRIBUTION	57,456.00	57,456.00	4,031.68	12,095.04	12,095.04	45,360.96
<a href="#">100-4400-070</a>	RETIREMENT CONTRIBUTION	110,645.00	110,645.00	6,962.48	20,887.44	20,887.44	89,757.56
<a href="#">100-4400-071</a>	401K CONTRIBUTION	23,693.00	23,693.00	1,490.90	4,472.70	4,472.70	19,220.30
<a href="#">100-4400-099</a>	INDIRECT TO UTILITY (CONTRA)	-244,196.00	-244,196.00	0.00	0.00	0.00	-244,196.00
<a href="#">100-4400-100</a>	PROFESSIONAL SERVICES	94,644.00	94,644.00	1,300.00	2,167.25	79,167.25	15,476.75
<a href="#">100-4400-110</a>	POSTAGE	9,010.00	9,010.00	345.73	528.63	7,572.02	1,437.98
<a href="#">100-4400-120</a>	BANK CHARGES	0.00	1,000.00	133.93	214.98	214.98	785.02
<a href="#">100-4400-140</a>	SCHOOLS & CONFERENCES	16,150.00	16,150.00	25.00	1,225.00	2,225.00	13,925.00
<a href="#">100-4400-260</a>	ADVERTISING	1,000.00	0.00	0.00	0.00	0.00	0.00
<a href="#">100-4400-270</a>	TAX COLLECTION FEE	108,000.00	108,000.00	32,335.24	38,796.58	38,796.58	69,203.42
<a href="#">100-4400-330</a>	DEPARTMENTAL SUPPLIES	7,850.00	7,850.00	0.00	227.61	1,727.61	6,122.39
<a href="#">100-4400-340</a>	TECHNOLOGY SERVICES & SUPPLIES	35,125.00	35,125.00	0.00	22,715.09	22,715.09	12,409.91
<a href="#">100-4400-390</a>	SMALL EQUIPMENT	600.00	600.00	0.00	0.00	0.00	600.00
<a href="#">100-4400-391</a>	SMALL EQUIPMENT MAINTENANCE &...	900.00	900.00	0.00	0.00	0.00	900.00
<a href="#">100-4400-530</a>	DUES & SUBSCRIPTIONS	3,445.00	3,445.00	0.00	526.05	526.05	2,918.95
<b>Department: 4400 - Finance Total:</b>		<b>748,626.00</b>	<b>748,626.00</b>	<b>79,022.76</b>	<b>201,959.95</b>	<b>288,503.34</b>	<b>460,122.66</b>
<b>Department: 4800 - IT</b>							
<a href="#">100-4800-020</a>	SALARIES & WAGES	200,488.00	200,488.00	15,032.16	45,096.45	45,096.45	155,391.55
<a href="#">100-4800-030</a>	PART-TIME SALARIES	5,923.00	5,923.00	0.00	0.00	0.00	5,923.00
<a href="#">100-4800-035</a>	OVERTIME SALARIES	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00
<a href="#">100-4800-039</a>	LONGEVITY CONTRIBUTION	7,072.00	7,072.00	0.00	0.00	0.00	7,072.00
<a href="#">100-4800-046</a>	CELL PHONE STIPEND	1,080.00	1,080.00	90.00	270.00	270.00	810.00
<a href="#">100-4800-050</a>	FICA	16,797.00	16,797.00	1,124.66	3,373.98	3,373.98	13,423.02
<a href="#">100-4800-060</a>	GROUP INSURANCE CONTRIBUTION	19,152.00	19,152.00	1,596.00	4,788.00	4,788.00	14,364.00
<a href="#">100-4800-070</a>	RETIREMENT CONTRIBUTION	49,885.00	49,885.00	3,510.01	10,530.01	10,530.01	39,354.99
<a href="#">100-4800-071</a>	401K CONTRIBUTION	10,682.00	10,682.00	751.60	2,254.81	2,254.81	8,427.19
<a href="#">100-4800-099</a>	INDIRECT TO UTILITY (CONTRA)	-111,914.00	-111,914.00	0.00	0.00	0.00	-111,914.00
<a href="#">100-4800-100</a>	PROFESSIONAL SERVICES	223,664.00	220,664.00	12,303.00	35,603.00	166,087.00	54,577.00
<a href="#">100-4800-140</a>	SCHOOLS & CONFERENCES	9,500.00	9,500.00	0.00	0.00	0.00	9,500.00
<a href="#">100-4800-160</a>	EQUIPMENT MAINTENANCE & REPAI...	10,000.00	10,000.00	0.00	0.00	0.00	10,000.00
<a href="#">100-4800-170</a>	VEHICLE MAINTENANCE & REPAIRS	1,000.00	1,000.00	0.00	0.00	0.00	1,000.00
<a href="#">100-4800-310</a>	FUEL	500.00	500.00	0.00	0.00	0.00	500.00
<a href="#">100-4800-330</a>	DEPARTMENTAL SUPPLIES	13,400.00	13,400.00	331.55	1,165.17	1,165.17	12,234.83
<a href="#">100-4800-340</a>	TECHNOLOGY SERVICES & SUPPLIES	187,532.00	190,332.00	20,980.46	46,469.35	173,270.40	17,061.60
<a href="#">100-4800-341</a>	TELECOMMUNICATIONS	301,245.00	301,245.00	31,917.80	45,443.30	301,278.08	-33.08
<a href="#">100-4800-342</a>	TECHNOLOGY LICENSES	37,117.00	39,662.99	0.00	21,539.54	21,539.54	18,123.45
<a href="#">100-4800-344</a>	VARIED SERVICES	3,240.00	3,240.00	100.00	514.77	3,240.00	0.00

Income Statement

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		Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	YTD Activity + Encumbrances	Budget Remaining
<a href="#">100-4800-350</a>	SOFTWARE LICENSING AND MAINT	368,172.00	368,172.00	21,727.69	84,907.26	156,875.39	211,296.61
<a href="#">100-4800-390</a>	SMALL EQUIPMENT	107,640.00	113,173.72	0.00	8,180.13	11,643.53	101,530.19
<a href="#">100-4800-391</a>	SMALL EQUIPMENT MAINTENANCE	40,400.00	40,400.00	2,475.26	6,772.32	18,625.66	21,774.34
<a href="#">100-4800-530</a>	DUES & SUBSCRIPTIONS	700.00	700.00	0.00	20.00	20.00	680.00
<a href="#">100-4800-730</a>	CAPITAL OUTLAY - OTHER	139,202.00	161,073.00	0.00	16,622.00	22,225.31	138,847.69
<a href="#">100-4800-750</a>	CAPITAL OUTLAY - EQUIPMENT	15,924.00	27,853.00	16,674.00	16,674.00	25,603.00	2,250.00
<b>Department: 4800 - IT Total:</b>		<b>1,663,401.00</b>	<b>1,705,080.71</b>	<b>128,614.19</b>	<b>350,224.09</b>	<b>967,886.33</b>	<b>737,194.38</b>
<b>Department: 4900 - Economic Development</b>							
<a href="#">100-4900-455</a>	INDUSTRIAL DEVELOPMENT	880,214.00	880,214.00	0.00	49,522.28	49,522.28	830,691.72
<a href="#">100-4900-684</a>	ALAMANCE COUNTY CHAMBER OF C...	20,000.00	20,000.00	0.00	5,000.00	20,000.00	0.00
<b>Department: 4900 - Economic Development Total:</b>		<b>900,214.00</b>	<b>900,214.00</b>	<b>0.00</b>	<b>54,522.28</b>	<b>69,522.28</b>	<b>830,691.72</b>
<b>Department: 5100 - Police</b>							
<a href="#">100-5100-020</a>	SALARIES & WAGES	3,332,313.00	3,332,313.00	200,962.04	677,461.80	677,461.80	2,654,851.20
<a href="#">100-5100-030</a>	PART-TIME SALARIES	32,265.00	32,265.00	2,105.98	6,317.94	6,317.94	25,947.06
<a href="#">100-5100-035</a>	OVERTIME SALARIES	70,690.00	70,690.00	1,505.23	9,006.75	9,006.75	61,683.25
<a href="#">100-5100-036</a>	ON-CALL	4,000.00	4,000.00	264.00	924.00	924.00	3,076.00
<a href="#">100-5100-038</a>	TEMPORARY SALARIES	77,481.00	77,481.00	2,780.80	4,171.20	4,171.20	73,309.80
<a href="#">100-5100-039</a>	LONGEVITY CONTRIBUTION	78,546.00	78,546.00	0.00	500.00	500.00	78,046.00
<a href="#">100-5100-042</a>	BONUS PAYMENTS	78,000.00	78,000.00	0.00	0.00	0.00	78,000.00
<a href="#">100-5100-044</a>	LEO SEPARATION ALLOWANCE	92,440.00	92,440.00	4,481.06	10,357.14	10,357.14	82,082.86
<a href="#">100-5100-046</a>	CELL PHONE STIPEND	1,080.00	1,080.00	135.00	405.00	405.00	675.00
<a href="#">100-5100-050</a>	FICA	297,650.00	297,650.00	15,896.87	53,249.09	53,249.09	244,400.91
<a href="#">100-5100-060</a>	GROUP INSURANCE CONTRIBUTION	450,072.00	450,072.00	32,787.62	96,369.10	96,369.10	353,702.90
<a href="#">100-5100-070</a>	RETIREMENT CONTRIBUTION	36,524.00	36,524.00	3,811.44	11,434.32	11,434.32	25,089.68
<a href="#">100-5100-071</a>	401K CONTRIBUTION	179,780.00	179,780.00	10,550.24	34,280.25	34,280.25	145,499.75
<a href="#">100-5100-072</a>	LEO RETIREMENT CONTRIBUTION	896,333.00	896,333.00	45,744.56	149,701.69	149,701.69	746,631.31
<a href="#">100-5100-100</a>	PROFESSIONAL SERVICES	129,078.00	129,078.00	312.86	663.25	123,461.25	5,616.75
<a href="#">100-5100-110</a>	POSTAGE	3,360.00	3,360.00	63.46	99.76	99.76	3,260.24
<a href="#">100-5100-130</a>	UTILITIES	15,782.00	15,782.00	2,041.49	2,060.22	2,060.22	13,721.78
<a href="#">100-5100-140</a>	SCHOOLS & CONFERENCES	29,500.00	29,500.00	0.00	14,611.96	14,611.96	14,888.04
<a href="#">100-5100-150</a>	BUILDING & GROUNDS MAINTENANCE	37,820.00	45,363.82	1,906.52	15,394.18	27,480.00	17,883.82
<a href="#">100-5100-170</a>	VEHICLE MAINTENANCE & REPAIRS	91,206.00	91,206.00	12,917.89	33,916.66	69,281.35	21,924.65
<a href="#">100-5100-260</a>	ADVERTISING	1,080.00	1,080.00	0.00	54.00	54.00	1,026.00
<a href="#">100-5100-310</a>	FUEL	140,400.00	140,400.00	13,575.69	25,892.67	135,000.00	5,400.00
<a href="#">100-5100-330</a>	DEPARTMENTAL SUPPLIES	74,628.00	74,628.00	3,711.31	7,205.14	27,586.90	47,041.10
<a href="#">100-5100-340</a>	TECHNOLOGY SERVICES & SUPPLIES	93,399.00	93,399.00	875.00	1,249.42	86,648.42	6,750.58
<a href="#">100-5100-342</a>	TECHNOLOGY LICENSES	56,638.00	56,638.00	0.00	23,639.79	47,160.23	9,477.77
<a href="#">100-5100-360</a>	EMPLOYEE UNIFORMS & ACCESSORIES	45,000.00	45,000.00	3,119.69	5,014.80	39,992.73	5,007.27
<a href="#">100-5100-451</a>	INVESTIGATIONS	5,000.00	2,000.00	0.00	399.99	399.99	1,600.01
<a href="#">100-5100-456</a>	PUBLIC EDUCATION SUPPLIES & MAT...	9,080.00	9,080.00	680.57	680.57	680.57	8,399.43
<a href="#">100-5100-530</a>	DUES & SUBSCRIPTIONS	5,470.00	5,470.00	0.00	-4.53	4,590.47	879.53
<a href="#">100-5100-570</a>	SPECIAL ACTIVITIES	2,000.00	2,000.00	0.00	1,392.24	1,392.24	607.76
<a href="#">100-5100-683</a>	PET ADOPTION CENTER SUBSIDY	99,316.00	99,316.00	0.00	88,685.00	88,685.00	10,631.00
<a href="#">100-5100-730</a>	CAPITAL OUTLAY - OTHER	0.00	12,500.00	0.00	0.00	12,500.00	0.00
<a href="#">100-5100-740</a>	CAPITAL OUTLAY - VEHICLES	413,058.00	449,220.20	305,154.28	338,147.72	448,670.30	549.90
<b>Department: 5100 - Police Total:</b>		<b>6,878,989.00</b>	<b>6,932,195.02</b>	<b>665,383.60</b>	<b>1,613,281.12</b>	<b>2,184,533.67</b>	<b>4,747,661.35</b>
<b>Department: 5300 - Fire</b>							
<a href="#">100-5300-020</a>	SALARIES & WAGES	2,360,208.00	2,332,104.00	165,075.56	510,318.76	510,318.76	1,821,785.24
<a href="#">100-5300-030</a>	PART-TIME SALARIES	70,452.00	70,452.00	5,310.00	12,018.29	12,018.29	58,433.71
<a href="#">100-5300-035</a>	OVERTIME SALARIES	95,419.00	95,419.00	12,402.75	34,082.76	34,082.76	61,336.24
<a href="#">100-5300-039</a>	LONGEVITY CONTRIBUTION	57,076.00	57,076.00	0.00	0.00	0.00	57,076.00
<a href="#">100-5300-041</a>	VOLUNTEER REIMBURSEMENTS	27,016.00	27,016.00	0.00	11,095.00	11,095.00	15,921.00
<a href="#">100-5300-044</a>	FIRE SEPARATION ALLOWANCE	35,355.00	35,355.00	0.00	0.00	0.00	35,355.00
<a href="#">100-5300-046</a>	CELL PHONE STIPEND	5,940.00	5,940.00	450.00	1,350.00	1,350.00	4,590.00
<a href="#">100-5300-050</a>	FICA	212,194.00	212,194.00	13,815.17	42,910.45	42,910.45	169,283.55
<a href="#">100-5300-060</a>	GROUP INSURANCE CONTRIBUTION	452,466.00	450,135.00	28,769.28	86,328.68	86,328.68	363,806.32
<a href="#">100-5300-061</a>	FRATERNAL INSURANCE CONTRIBUTIO	10,900.00	10,900.00	0.00	0.00	0.00	10,900.00
<a href="#">100-5300-070</a>	RETIREMENT CONTRIBUTION	624,919.00	624,919.00	41,441.20	127,117.76	127,117.76	497,801.24

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		Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	YTD Activity + Encumbrances	Budget Remaining
<a href="#">100-5300-071</a>	401K CONTRIBUTION	133,785.00	133,785.00	9,080.21	27,836.08	27,836.08	105,948.92
<a href="#">100-5300-072</a>	FIRE RETIREMENT CONTRIBUTION	4,905.00	4,905.00	0.00	0.00	0.00	4,905.00
<a href="#">100-5300-095</a>	PENSION EXPENSE	62,784.00	62,784.00	0.00	0.00	0.00	62,784.00
<a href="#">100-5300-100</a>	PROFESSIONAL SERVICES	30,000.00	30,000.00	0.00	0.00	25,500.00	4,500.00
<a href="#">100-5300-110</a>	POSTAGE	3,700.00	3,700.00	5.67	26.94	26.94	3,673.06
<a href="#">100-5300-120</a>	BANK CHARGES	1,600.00	1,600.00	44.54	55.12	55.12	1,544.88
<a href="#">100-5300-130</a>	UTILITIES	40,620.00	40,620.00	4,810.88	6,323.78	6,323.78	34,296.22
<a href="#">100-5300-140</a>	SCHOOLS & CONFERENCES	25,000.00	27,400.00	851.39	3,375.22	7,275.22	20,124.78
<a href="#">100-5300-150</a>	BUILDING & GROUNDS MAINTENANCE	26,653.00	26,653.00	1,221.93	3,302.92	17,705.97	8,947.03
<a href="#">100-5300-160</a>	EQUIPMENT MAINTENANCE & REPAI...	9,400.00	9,400.00	1,815.02	1,988.08	1,988.08	7,411.92
<a href="#">100-5300-170</a>	VEHICLE MAINTENANCE & REPAIRS	85,000.00	85,000.00	18,143.62	42,800.68	67,753.24	17,246.76
<a href="#">100-5300-310</a>	FUEL	56,605.00	56,605.00	5,670.84	9,515.52	50,643.20	5,961.80
<a href="#">100-5300-330</a>	DEPARTMENTAL SUPPLIES	44,800.00	44,800.00	2,228.53	9,044.10	13,568.18	31,231.82
<a href="#">100-5300-333</a>	EMT EQUIPMENT	17,488.00	17,488.00	749.37	3,148.97	8,148.97	9,339.03
<a href="#">100-5300-340</a>	TECHNOLOGY SERVICES & SUPPLIES	2,200.00	38,236.00	0.00	532.18	36,568.18	1,667.82
<a href="#">100-5300-342</a>	TECHNOLOGY LICENSES	20,016.00	20,016.00	0.00	15,241.61	17,941.61	2,074.39
<a href="#">100-5300-360</a>	EMPLOYEE UNIFORMS & ACCESSORIES	79,050.00	79,050.00	6,600.20	8,718.56	23,460.27	55,589.73
<a href="#">100-5300-390</a>	SMALL EQUIPMENT	66,800.00	69,000.00	0.00	6,929.92	11,354.62	57,645.38
<a href="#">100-5300-391</a>	SMALL EQUIPMENT MAINTENANCE &...	13,640.00	16,980.33	0.00	3,769.21	3,769.21	13,211.12
<a href="#">100-5300-451</a>	INVESTIGATIONS	4,478.00	3,478.00	0.00	142.83	142.83	3,335.17
<a href="#">100-5300-456</a>	PUBLIC EDUCATION SUPPLIES & MAT...	5,000.00	5,000.00	0.00	55.00	55.00	4,945.00
<a href="#">100-5300-530</a>	DUES & SUBSCRIPTIONS	8,147.00	8,147.00	176.00	436.52	436.52	7,710.48
<a href="#">100-5300-570</a>	SPECIAL ACTIVITIES	13,500.00	13,500.00	0.00	0.00	0.00	13,500.00
<a href="#">100-5300-720</a>	CAPITAL OUTLAY - BUILDINGS	26,524.00	57,487.75	810.00	6,308.75	45,491.77	11,995.98
<a href="#">100-5300-730</a>	CAPITAL OUTLAY - OTHER	68,271.00	90,720.00	0.00	0.00	0.00	90,720.00
<a href="#">100-5300-740</a>	CAPITAL OUTLAY - VEHICLES	89,554.00	2,176,431.01	27,414.22	33,645.61	2,123,147.62	53,283.39
<a href="#">100-5300-750</a>	CAPITAL OUTLAY - EQUIPMENT	80,000.00	85,786.00	0.00	0.00	85,785.25	0.75
<b>Department: 5300 - Fire Total:</b>		<b>4,971,465.00</b>	<b>7,130,082.09</b>	<b>346,886.38</b>	<b>1,008,419.30</b>	<b>3,400,199.36</b>	<b>3,729,882.73</b>
<b>Department: 5400 - Planning</b>							
<a href="#">100-5400-020</a>	SALARIES & WAGES	216,960.00	216,960.00	15,577.94	46,733.83	46,733.83	170,226.17
<a href="#">100-5400-030</a>	PART-TIME SALARIES	29,248.00	29,248.00	1,526.40	3,968.64	3,968.64	25,279.36
<a href="#">100-5400-035</a>	OVERTIME SALARIES	5,430.00	5,430.00	0.00	0.00	0.00	5,430.00
<a href="#">100-5400-039</a>	LONGEVITY CONTRIBUTION	2,276.00	2,276.00	0.00	0.00	0.00	2,276.00
<a href="#">100-5400-046</a>	CELL PHONE STIPEND	1,620.00	1,620.00	45.00	135.00	135.00	1,485.00
<a href="#">100-5400-050</a>	FICA	19,549.00	19,549.00	1,311.94	3,889.10	3,889.10	15,659.90
<a href="#">100-5400-060</a>	GROUP INSURANCE CONTRIBUTION	28,728.00	28,728.00	2,394.00	7,182.00	7,182.00	21,546.00
<a href="#">100-5400-070</a>	RETIREMENT CONTRIBUTION	52,838.00	52,838.00	3,637.46	10,912.37	10,912.37	41,925.63
<a href="#">100-5400-071</a>	401K CONTRIBUTION	11,315.00	11,315.00	778.88	2,336.64	2,336.64	8,978.36
<a href="#">100-5400-099</a>	INDIRECT TO UTILITY (CONTRA)	-51,495.00	-51,495.00	0.00	0.00	0.00	-51,495.00
<a href="#">100-5400-100</a>	PROFESSIONAL SERVICES	220,000.00	229,416.35	0.00	-1,982.50	17,433.85	211,982.50
<a href="#">100-5400-110</a>	POSTAGE	1,000.00	1,000.00	0.00	63.63	63.63	936.37
<a href="#">100-5400-140</a>	SCHOOLS & CONFERENCES	9,310.00	9,310.00	0.00	792.22	1,792.22	7,517.78
<a href="#">100-5400-150</a>	BUILDING & GROUNDS MAINTENANCE	13,354.00	13,354.00	1,226.16	2,929.16	12,882.40	471.60
<a href="#">100-5400-160</a>	EQUIPMENT MAINTENANCE & REPAI...	875.00	875.00	0.00	0.00	0.00	875.00
<a href="#">100-5400-260</a>	ADVERTISING	13,750.00	13,750.00	461.26	760.03	7,156.96	6,593.04
<a href="#">100-5400-310</a>	FUEL	1,200.00	1,200.00	0.00	0.00	0.00	1,200.00
<a href="#">100-5400-330</a>	DEPARTMENTAL SUPPLIES	7,000.00	7,000.00	0.00	1,151.00	1,651.00	5,349.00
<a href="#">100-5400-340</a>	TECHNOLOGY SERVICES & SUPPLIES	2,500.00	2,500.00	0.00	0.00	0.00	2,500.00
<a href="#">100-5400-344</a>	VARIED SERVICES	1,200.00	1,200.00	0.00	0.00	0.00	1,200.00
<a href="#">100-5400-360</a>	EMPLOYEE UNIFORMS & ACCESSORIES	500.00	500.00	0.00	0.00	0.00	500.00
<a href="#">100-5400-530</a>	DUES & SUBSCRIPTIONS	10,185.00	10,185.00	0.00	6,734.00	7,662.00	2,523.00
<b>Department: 5400 - Planning Total:</b>		<b>597,343.00</b>	<b>606,759.35</b>	<b>26,959.04</b>	<b>85,605.12</b>	<b>123,799.64</b>	<b>482,959.71</b>
<b>Department: 5410 - Main Street Program</b>							
<a href="#">100-5410-375</a>	DOWNTOWN FACADE CITY GRANTS	0.00	6,297.28	0.00	0.00	6,297.28	0.00
<b>Department: 5410 - Main Street Program Total:</b>		<b>0.00</b>	<b>6,297.28</b>	<b>0.00</b>	<b>0.00</b>	<b>6,297.28</b>	<b>0.00</b>
<b>Department: 5440 - Inspections</b>							
<a href="#">100-5440-020</a>	SALARIES & WAGES	512,466.00	512,466.00	37,959.45	113,878.37	113,878.37	398,587.63
<a href="#">100-5440-030</a>	PART-TIME SALARIES	59,817.00	59,817.00	0.00	0.00	0.00	59,817.00

Income Statement

For Fiscal: 2023-2024 Period Ending: 09/30/2023

		Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	YTD Activity + Encumbrances	Budget Remaining
<a href="#">100-5440-035</a>	OVERTIME SALARIES	5,868.00	5,868.00	0.00	0.00	0.00	5,868.00
<a href="#">100-5440-039</a>	LONGEVITY CONTRIBUTION	11,835.00	11,835.00	0.00	0.00	0.00	11,835.00
<a href="#">100-5440-046</a>	CELL PHONE STIPEND	3,240.00	3,240.00	225.00	675.00	675.00	2,565.00
<a href="#">100-5440-050</a>	FICA	45,382.00	45,382.00	2,736.16	8,208.49	8,208.49	37,173.51
<a href="#">100-5440-060</a>	GROUP INSURANCE CONTRIBUTION	67,032.00	67,032.00	5,667.86	17,003.58	17,003.58	50,028.42
<a href="#">100-5440-070</a>	RETIREMENT CONTRIBUTION	124,551.00	124,551.00	8,863.52	26,590.56	26,590.56	97,960.44
<a href="#">100-5440-071</a>	401K CONTRIBUTION	26,671.00	26,671.00	1,897.95	5,693.88	5,693.88	20,977.12
<a href="#">100-5440-099</a>	INDIRECT TO UTILITY (CONTRA)	-37,429.00	-37,429.00	0.00	0.00	0.00	-37,429.00
<a href="#">100-5440-100</a>	PROFESSIONAL SERVICES	8,800.00	10,800.00	1,910.00	1,910.00	6,000.00	4,800.00
<a href="#">100-5440-110</a>	POSTAGE	440.00	1,440.00	290.89	710.41	710.41	729.59
<a href="#">100-5440-120</a>	BANK CHARGES	45,000.00	45,000.00	659.40	3,343.06	3,343.06	41,656.94
<a href="#">100-5440-140</a>	SCHOOLS & CONFERENCES	11,650.00	10,650.00	0.00	569.00	1,569.00	9,081.00
<a href="#">100-5440-170</a>	VEHICLE MAINTENANCE & REPAIRS	8,400.00	8,400.00	375.13	413.13	413.13	7,986.87
<a href="#">100-5440-310</a>	FUEL	7,500.00	7,500.00	475.73	815.11	6,500.00	1,000.00
<a href="#">100-5440-330</a>	DEPARTMENTAL SUPPLIES	20,900.00	18,900.00	7,672.83	10,630.30	18,079.77	820.23
<a href="#">100-5440-340</a>	TECHNOLOGY SERVICES & SUPPLIES	1,500.00	12,791.48	0.00	0.00	11,291.48	1,500.00
<a href="#">100-5440-360</a>	EMPLOYEE UNIFORMS & ACCESSORIES	2,000.00	2,000.00	201.00	201.00	2,000.00	0.00
<a href="#">100-5440-530</a>	DUES & SUBSCRIPTIONS	660.00	660.00	0.00	0.00	0.00	660.00
<a href="#">100-5440-740</a>	CAPITAL OUTLAY - VEHICLES	35,000.00	35,000.00	0.00	0.00	26,551.64	8,448.36
	<b>Department: 5440 - Inspections Total:</b>	<b>961,283.00</b>	<b>972,574.48</b>	<b>68,934.92</b>	<b>190,641.89</b>	<b>248,508.37</b>	<b>724,066.11</b>
<b>Department: 5480 - Engineering</b>							
<a href="#">100-5480-101</a>	PROFESSIONAL SERVICES - POWELL BI...	96,500.00	96,500.00	3,838.00	6,061.00	96,500.00	0.00
<a href="#">100-5480-102</a>	CITY ENGINEER	95,500.00	95,500.00	11,838.75	31,826.25	95,500.00	0.00
<a href="#">100-5480-103</a>	TECHNICAL REVIEW	22,000.00	22,000.00	2,483.06	5,863.87	22,000.00	0.00
<a href="#">100-5480-104</a>	CONSTRUCTION INSPECTION	90,000.00	90,000.00	8,139.12	17,224.05	90,000.00	0.00
<a href="#">100-5480-105</a>	DEPT ENGINEERING SERVICES	68,500.00	68,500.00	2,519.87	5,198.51	68,500.00	0.00
<a href="#">100-5480-106</a>	STORMWATER ENGINEERING	73,000.00	73,000.00	3,450.87	14,906.68	73,000.00	0.00
	<b>Department: 5480 - Engineering Total:</b>	<b>445,500.00</b>	<b>445,500.00</b>	<b>32,269.67</b>	<b>81,080.36</b>	<b>445,500.00</b>	<b>0.00</b>
<b>Department: 5500 - Public Works</b>							
<a href="#">100-5500-020</a>	SALARIES & WAGES	677,020.00	677,020.00	37,921.50	113,361.79	113,361.79	563,658.21
<a href="#">100-5500-030</a>	PART-TIME SALARIES	44,522.00	44,522.00	0.00	960.00	960.00	43,562.00
<a href="#">100-5500-035</a>	OVERTIME SALARIES	26,226.00	26,226.00	47.49	639.95	639.95	25,586.05
<a href="#">100-5500-039</a>	LONGEVITY CONTRIBUTION	10,104.00	10,104.00	0.00	0.00	0.00	10,104.00
<a href="#">100-5500-046</a>	CELL PHONE STIPEND	1,620.00	1,620.00	90.00	270.00	270.00	1,350.00
<a href="#">100-5500-050</a>	FICA	61,245.00	61,245.00	2,847.21	8,622.36	8,622.36	52,622.64
<a href="#">100-5500-060</a>	GROUP INSURANCE CONTRIBUTION	134,064.00	134,064.00	7,213.30	22,437.90	22,437.90	111,626.10
<a href="#">100-5500-070</a>	RETIREMENT CONTRIBUTION	179,010.00	179,010.00	8,865.71	26,619.28	26,619.28	152,390.72
<a href="#">100-5500-071</a>	401K CONTRIBUTION	37,691.00	37,691.00	1,701.86	5,111.23	5,111.23	32,579.77
<a href="#">100-5500-099</a>	INDIRECT TO UTILITY (CONTRA)	-71,949.00	-71,949.00	0.00	0.00	0.00	-71,949.00
<a href="#">100-5500-100</a>	PROFESSIONAL SERVICES	30,000.00	52,500.00	0.00	0.00	22,500.00	30,000.00
<a href="#">100-5500-110</a>	POSTAGE	3,000.00	3,000.00	0.00	0.63	0.63	2,999.37
<a href="#">100-5500-120</a>	BANK CHARGES	0.00	0.00	8.17	8.17	8.17	-8.17
<a href="#">100-5500-130</a>	UTILITIES	229,889.00	229,889.00	5,752.61	7,515.91	7,515.91	222,373.09
<a href="#">100-5500-140</a>	SCHOOLS & CONFERENCES	28,800.00	28,800.00	0.00	1,102.38	2,782.38	26,017.62
<a href="#">100-5500-150</a>	BUILDING & GROUNDS MAINTENANCE	61,392.00	55,634.11	7,123.00	11,002.90	28,231.16	27,402.95
<a href="#">100-5500-151</a>	SIDEWALK MAINTENANCE & REPAIR	44,500.00	44,500.00	28.61	28.61	15,800.00	28,700.00
<a href="#">100-5500-152</a>	STORM SEWER & DRIVEWAY PIPE MAI	42,000.00	42,000.00	0.00	0.00	1,000.00	41,000.00
<a href="#">100-5500-153</a>	STREET MAINTENANCE & REPAIR	898,000.00	898,000.00	359.99	2,799.23	52,441.58	845,558.42
<a href="#">100-5500-160</a>	EQUIPMENT MAINTENANCE & REPAI...	19,000.00	19,000.00	2,761.54	3,335.08	5,011.88	13,988.12
<a href="#">100-5500-170</a>	VEHICLE MAINTENANCE & REPAIRS	44,910.00	44,910.00	197.75	228.27	228.27	44,681.73
<a href="#">100-5500-310</a>	FUEL	40,000.00	40,000.00	4,126.53	7,225.60	37,500.00	2,500.00
<a href="#">100-5500-330</a>	DEPARTMENTAL SUPPLIES	39,500.00	39,500.00	2,063.15	3,473.40	21,612.22	17,887.78
<a href="#">100-5500-340</a>	TECHNOLOGY SERVICES & SUPPLIES	10,800.00	10,800.00	0.00	0.00	0.00	10,800.00
<a href="#">100-5500-342</a>	TECHNOLOGY LICENSES	2,500.00	4,499.00	0.00	0.00	1,999.00	2,500.00
<a href="#">100-5500-360</a>	EMPLOYEE UNIFORMS & ACCESSORIES	15,640.00	15,640.00	2,672.44	2,672.44	9,071.94	6,568.06
<a href="#">100-5500-390</a>	SMALL EQUIPMENT	9,400.00	4,500.00	0.00	1,427.97	1,427.97	3,072.03
<a href="#">100-5500-391</a>	SMALL EQUIPMENT MAINTENANCE &...	750.00	750.00	0.00	0.00	0.00	750.00
<a href="#">100-5500-530</a>	DUES & SUBSCRIPTIONS	4,504.00	4,504.00	0.00	941.00	941.00	3,563.00
<a href="#">100-5500-720</a>	CAPITAL OUTLAY - BUILDING	109,300.00	109,300.00	0.00	0.00	0.00	109,300.00

**Income Statement**

**For Fiscal: 2023-2024 Period Ending: 09/30/2023**

		<b>Original Total Budget</b>	<b>Current Total Budget</b>	<b>MTD Activity</b>	<b>YTD Activity</b>	<b>YTD Activity + Encumbrances</b>	<b>Budget Remaining</b>
<a href="#">100-5500-730</a>	CAPITAL OUTLAY - OTHER	330,000.00	659,043.11	67,366.00	88,972.25	331,462.11	327,581.00
<a href="#">100-5500-740</a>	CAPITAL OUTLAY - VEHICLES	145,400.00	96,733.00	62,559.00	76,320.35	78,865.35	17,867.65
<a href="#">100-5500-750</a>	CAPITAL OUTLAY - EQUIPMENT	95,600.00	100,500.00	4,995.00	4,995.00	98,787.16	1,712.84
<b>Department: 5500 - Public Works Total:</b>		<b>3,304,438.00</b>	<b>3,603,555.22</b>	<b>218,700.86</b>	<b>390,071.70</b>	<b>895,209.24</b>	<b>2,708,345.98</b>
<b>Department: 5700 - Public Facilities</b>							
<a href="#">100-5700-020</a>	SALARIES & WAGES	349,409.00	349,409.00	18,960.85	58,970.60	58,970.60	290,438.40
<a href="#">100-5700-030</a>	PART-TIME SALARIES	45,000.00	45,000.00	2,527.10	8,065.29	8,065.29	36,934.71
<a href="#">100-5700-035</a>	OVERTIME SALARIES	5,676.00	5,676.00	0.00	150.45	150.45	5,525.55
<a href="#">100-5700-039</a>	LONGEVITY CONTRIBUTION	5,378.00	5,378.00	0.00	0.00	0.00	5,378.00
<a href="#">100-5700-046</a>	CELL PHONE STIPEND	1,620.00	1,620.00	135.00	405.00	405.00	1,215.00
<a href="#">100-5700-050</a>	FICA	31,142.00	31,142.00	1,631.20	5,063.19	5,063.19	26,078.81
<a href="#">100-5700-060</a>	GROUP INSURANCE CONTRIBUTION	57,456.00	57,456.00	3,990.00	12,788.84	12,788.84	44,667.16
<a href="#">100-5700-070</a>	RETIREMENT CONTRIBUTION	84,547.00	84,547.00	4,427.37	13,804.79	13,804.79	70,742.21
<a href="#">100-5700-071</a>	401K CONTRIBUTION	18,106.00	18,106.00	948.02	2,956.00	2,956.00	15,150.00
<a href="#">100-5700-099</a>	INDIRECT TO UTILITY (CONTRA)	-30,131.00	-30,131.00	0.00	0.00	0.00	-30,131.00
<a href="#">100-5700-130</a>	UTILITIES	30,200.00	30,200.00	4,561.07	4,583.71	4,583.71	25,616.29
<a href="#">100-5700-140</a>	SCHOOLS & CONFERENCES	1,730.00	1,730.00	0.00	0.00	0.00	1,730.00
<a href="#">100-5700-150</a>	BUILDING & GROUNDS MAINTENANCE	42,950.00	82,196.00	1,606.69	5,340.27	67,130.56	15,065.44
<a href="#">100-5700-154</a>	LAKE & MARINA MAINT & OPERATION	190,995.00	190,995.00	5,358.35	5,358.35	5,358.35	185,636.65
<a href="#">100-5700-155</a>	LIBRARY MAINTENANCE & REPAIRS	82,800.00	94,707.98	5,309.31	12,743.46	44,917.71	49,790.27
<a href="#">100-5700-156</a>	GROUNDS MAINTENANCE	208,300.00	208,300.00	12,770.29	7,690.39	120,766.78	87,533.22
<a href="#">100-5700-160</a>	EQUIPMENT MAINTENANCE & REPAIR	0.00	0.00	5.49	5.49	5.49	-5.49
<a href="#">100-5700-310</a>	FUEL	3,000.00	3,000.00	375.48	587.75	1,000.00	2,000.00
<a href="#">100-5700-330</a>	DEPARTMENTAL SUPPLIES	14,250.00	14,250.00	1,010.24	1,144.27	8,573.99	5,676.01
<a href="#">100-5700-335</a>	SIGNAGE AND BRANDING	22,000.00	27,628.39	0.00	0.00	5,628.39	22,000.00
<a href="#">100-5700-342</a>	TECHNOLOGY LICENSES	750.00	750.00	0.00	0.00	0.00	750.00
<a href="#">100-5700-360</a>	EMPLOYEE UNIFORMS & ACCESSORIES	5,500.00	5,500.00	0.00	0.00	0.00	5,500.00
<a href="#">100-5700-400</a>	FACILITY RENTAL	4,800.00	4,800.00	0.00	0.00	0.00	4,800.00
<a href="#">100-5700-720</a>	CAPITAL OUTLAY - BUILDINGS	17,250.00	8,000.00	0.00	0.00	0.00	8,000.00
<a href="#">100-5700-730</a>	CAPITAL OUTLAY - OTHER	21,000.00	23,350.00	0.00	0.00	0.00	23,350.00
<a href="#">100-5700-750</a>	CAPITAL OUTLAY - EQUIPMENT	48,600.00	48,600.00	0.00	11,740.00	35,954.84	12,645.16
<a href="#">100-5700-754</a>	CAPITAL OUTLAY - LIBRARY	9,250.00	11,928.00	0.00	0.00	0.00	11,928.00
<b>Department: 5700 - Public Facilities Total:</b>		<b>1,271,578.00</b>	<b>1,324,138.37</b>	<b>63,616.46</b>	<b>151,397.85</b>	<b>396,123.98</b>	<b>928,014.39</b>
<b>Department: 5800 - Sanitation</b>							
<a href="#">100-5800-020</a>	SALARIES & WAGES	409,070.00	409,070.00	28,357.58	84,579.78	84,579.78	324,490.22
<a href="#">100-5800-035</a>	OVERTIME SALARIES	7,198.00	7,198.00	0.00	0.00	0.00	7,198.00
<a href="#">100-5800-039</a>	LONGEVITY CONTRIBUTION	7,872.00	7,872.00	0.00	0.00	0.00	7,872.00
<a href="#">100-5800-046</a>	CELL PHONE STIPEND	540.00	540.00	45.00	135.00	135.00	405.00
<a href="#">100-5800-050</a>	FICA	32,449.00	32,449.00	2,158.64	6,438.22	6,438.22	26,010.78
<a href="#">100-5800-060</a>	GROUP INSURANCE CONTRIBUTION	76,608.00	76,608.00	6,384.00	19,949.42	19,949.42	56,658.58
<a href="#">100-5800-070</a>	RETIREMENT CONTRIBUTION	99,163.00	99,163.00	6,621.48	19,749.32	19,749.32	79,413.68
<a href="#">100-5800-071</a>	401K CONTRIBUTION	21,234.00	21,234.00	1,417.88	4,229.00	4,229.00	17,005.00
<a href="#">100-5800-110</a>	POSTAGE	4,000.00	4,000.00	0.00	0.00	0.00	4,000.00
<a href="#">100-5800-160</a>	EQUIPMENT MAINTENANCE & REPAI...	7,500.00	7,500.00	0.00	0.00	0.00	7,500.00
<a href="#">100-5800-170</a>	VEHICLE MAINTENANCE & REPAIRS	175,000.00	177,091.78	12,113.63	21,391.48	108,244.42	68,847.36
<a href="#">100-5800-310</a>	FUEL	94,500.00	94,500.00	7,846.23	14,539.58	79,996.50	14,503.50
<a href="#">100-5800-330</a>	DEPARTMENTAL SUPPLIES	19,250.00	19,250.00	43.74	435.14	1,393.91	17,856.09
<a href="#">100-5800-331</a>	ROLL-OUT GARBAGE CANS	50,000.00	50,000.00	0.00	0.00	46,785.10	3,214.90
<a href="#">100-5800-360</a>	EMPLOYEE UNIFORMS & ACCESSORIES	8,270.00	8,270.00	742.84	1,062.84	4,520.00	3,750.00
<a href="#">100-5800-420</a>	MATERIAL HAULING & DISPOSAL	640,000.00	640,000.00	22,534.86	88,017.37	594,000.00	46,000.00
<a href="#">100-5800-530</a>	DUES & SUBSCRIPTIONS	864.00	864.00	0.00	0.00	0.00	864.00
<a href="#">100-5800-740</a>	CAPITAL OUTLAY - VEHICLES	525,150.00	877,268.00	49,212.00	52,156.99	723,804.28	153,463.72
<b>Department: 5800 - Sanitation Total:</b>		<b>2,178,668.00</b>	<b>2,532,877.78</b>	<b>137,477.88</b>	<b>312,684.14</b>	<b>1,693,824.95</b>	<b>839,052.83</b>
<b>Department: 6200 - Recreation and Parks</b>							
<a href="#">100-6200-020</a>	SALARIES & WAGES	689,970.00	689,970.00	51,380.52	154,343.46	154,343.46	535,626.54
<a href="#">100-6200-030</a>	PART-TIME SALARIES	171,284.00	171,284.00	6,858.57	47,734.58	47,734.58	123,549.42
<a href="#">100-6200-035</a>	OVERTIME SALARIES	20,000.00	20,000.00	194.91	2,980.12	2,980.12	17,019.88
<a href="#">100-6200-039</a>	LONGEVITY CONTRIBUTION	19,868.00	19,868.00	0.00	0.00	0.00	19,868.00



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		Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	YTD Activity + Encumbrances	Budget Remaining
<a href="#">100-6200-045</a>	CAR ALLOWANCE	3,692.00	3,692.00	282.46	847.38	847.38	2,844.62
<a href="#">100-6200-046</a>	CELL PHONE STIPEND	540.00	540.00	135.00	405.00	405.00	135.00
<a href="#">100-6200-050</a>	FICA	69,260.00	69,260.00	4,488.56	15,742.08	15,742.08	53,517.92
<a href="#">100-6200-060</a>	GROUP INSURANCE CONTRIBUTION	95,760.00	95,760.00	7,980.00	23,940.00	23,940.00	71,820.00
<a href="#">100-6200-070</a>	RETIREMENT CONTRIBUTION	171,406.00	171,406.00	12,042.84	36,735.02	36,735.02	134,670.98
<a href="#">100-6200-071</a>	401K CONTRIBUTION	36,704.00	36,704.00	2,578.80	7,866.27	7,866.27	28,837.73
<a href="#">100-6200-100</a>	PROFESSIONAL SERVICES	75,000.00	90,357.15	1,200.00	2,400.00	40,357.15	50,000.00
<a href="#">100-6200-110</a>	POSTAGE	300.00	300.00	0.00	0.63	0.63	299.37
<a href="#">100-6200-120</a>	BANK CHARGES	7,000.00	7,000.00	1,269.51	2,012.25	2,012.25	4,987.75
<a href="#">100-6200-130</a>	UTILITIES	90,420.00	90,420.00	13,608.77	13,656.02	13,656.02	76,763.98
<a href="#">100-6200-131</a>	BALLFIELD LIGHTS	46,500.00	46,500.00	2,295.32	2,295.32	2,295.32	44,204.68
<a href="#">100-6200-140</a>	SCHOOLS & CONFERENCES	17,550.00	17,550.00	2,146.00	2,146.00	2,146.00	15,404.00
<a href="#">100-6200-150</a>	BUILDING & GROUNDS MAINTENANCE	247,000.00	254,494.63	23,308.29	41,310.12	151,712.29	102,782.34
<a href="#">100-6200-160</a>	EQUIPMENT MAINTENANCE & REPAI...	14,700.00	14,700.00	552.50	1,706.06	3,706.06	10,993.94
<a href="#">100-6200-170</a>	VEHICLE MAINTENANCE & REPAIRS	13,350.00	13,350.00	28.25	93.25	843.25	12,506.75
<a href="#">100-6200-265</a>	SOCIAL MEDIA & MARKETING	15,700.00	15,700.00	0.00	96.00	7,500.00	8,200.00
<a href="#">100-6200-310</a>	FUEL	38,300.00	38,300.00	3,214.49	5,584.66	33,300.00	5,000.00
<a href="#">100-6200-330</a>	DEPARTMENTAL SUPPLIES	50,000.00	50,000.00	4,432.12	6,563.54	33,763.91	16,236.09
<a href="#">100-6200-332</a>	ATHLETIC PROGRAMS	81,750.00	84,365.37	582.53	6,133.43	33,583.43	50,781.94
<a href="#">100-6200-340</a>	TECHNOLOGY SERVICES & SUPPLIES	0.00	0.00	0.00	6.98	6.98	-6.98
<a href="#">100-6200-342</a>	TECHNOLOGY LICENSES	12,315.00	12,315.00	0.00	6,974.26	8,151.27	4,163.73
<a href="#">100-6200-344</a>	VARIED SERVICES	5,500.00	5,500.00	729.96	1,513.96	4,522.56	977.44
<a href="#">100-6200-360</a>	EMPLOYEE UNIFORMS & ACCESSORIES	4,360.00	4,360.00	0.00	243.09	1,922.59	2,437.41
<a href="#">100-6200-390</a>	SMALL EQUIPMENT	21,200.00	38,976.84	7,939.51	8,809.47	15,341.47	23,635.37
<a href="#">100-6200-420</a>	MATERIAL HAULING & DISPOSAL	4,750.00	4,750.00	376.29	376.29	4,750.00	0.00
<a href="#">100-6200-530</a>	DUES & SUBSCRIPTIONS	6,200.00	6,200.00	0.00	911.99	911.99	5,288.01
<a href="#">100-6200-570</a>	SPECIAL ACTIVITIES	126,000.00	131,807.39	485.00	18,166.75	19,111.75	112,695.64
<a href="#">100-6200-571</a>	CAMPS	19,850.00	23,693.00	0.00	14,802.92	14,802.92	8,890.08
<a href="#">100-6200-720</a>	CAPITAL OUTLAY - BUILDINGS	22,500.00	111,568.05	0.00	27,172.19	98,181.11	13,386.94
<a href="#">100-6200-730</a>	CAPITAL OUTLAY - OTHER	480,000.00	480,000.00	13,620.00	13,620.00	44,000.00	436,000.00
<a href="#">100-6200-744</a>	LEBANON RD/LAKE MICHAEL CONNE...	375,000.00	604,338.03	-12,673.75	2,725.00	7,169.03	597,169.00
<a href="#">100-6200-750</a>	CAPITAL OUTLAY - EQUIPMENT	40,000.00	33,468.00	0.00	0.00	0.00	33,468.00
<b>Department: 6200 - Recreation and Parks Total:</b>		<b>3,093,729.00</b>	<b>3,458,497.46</b>	<b>149,056.45</b>	<b>469,914.09</b>	<b>834,341.89</b>	<b>2,624,155.57</b>
<b>Department: 9000 - Non-Departmental</b>							
<a href="#">100-9000-060</a>	GROUP INSURANCE CONTRIBUTION	150,173.00	150,173.00	-35,920.82	-16,669.13	20,045.12	130,127.88
<a href="#">100-9000-080</a>	UNEMPLOYMENT INSURANCE CONTR...	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00
<a href="#">100-9000-334</a>	TRAIN COLLECTION EXPENSES	10,000.00	10,000.00	0.00	0.00	0.00	10,000.00
<a href="#">100-9000-375</a>	DOWNTOWN FACADE GRANT PROGR...	50,000.00	50,000.00	0.00	0.00	0.00	50,000.00
<a href="#">100-9000-530</a>	DUES & SUBSCRIPTIONS	27,450.00	27,450.00	0.00	6,472.00	6,472.00	20,978.00
<a href="#">100-9000-540</a>	PROPERTY & GENERAL LIABILITY IN	489,232.00	489,232.00	20,367.25	231,807.90	426,387.20	62,844.80
<a href="#">100-9000-570</a>	SPECIAL ACTIVITIES	13,000.00	13,000.00	0.00	0.00	0.00	13,000.00
<a href="#">100-9000-680</a>	ALAMANCE COUNTY ARTS COUNCIL SU	10,000.00	10,000.00	0.00	0.00	10,000.00	0.00
<a href="#">100-9000-681</a>	ACTA SUBSIDY	6,500.00	6,500.00	0.00	0.00	6,500.00	0.00
<a href="#">100-9000-682</a>	MEBANE HISTORICAL MUSEUM SUBS...	43,700.00	43,700.00	0.00	10,925.00	43,700.00	0.00
<a href="#">100-9000-685</a>	UNITED WAY DONATION	5,000.00	5,000.00	0.00	5,000.00	5,000.00	0.00
<a href="#">100-9000-686</a>	DOWNTOWN MEBANE DEVELOPMEN...	100,000.00	100,000.00	25,000.00	50,000.00	100,000.00	0.00
<a href="#">100-9000-687</a>	ALAMANCE COUNTY VISITORS BUREA...	9,500.00	9,500.00	0.00	0.00	0.00	9,500.00
<a href="#">100-9000-900</a>	CONTINGENCY	500,000.00	497,650.24	0.00	0.00	0.00	497,650.24
<a href="#">100-9000-978</a>	TRANSFER TO CAPITAL PROJECT ORDI...	0.00	1,274,946.00	1,274,946.00	1,274,946.00	1,274,946.00	0.00
<b>Department: 9000 - Non-Departmental Total:</b>		<b>1,434,555.00</b>	<b>2,707,151.24</b>	<b>1,284,392.43</b>	<b>1,562,481.77</b>	<b>1,893,050.32</b>	<b>814,100.92</b>
<b>Department: 9001 - Debt Service</b>							
<a href="#">100-9001-811</a>	PRINCIPAL - FY 22-23 FIRE ENGINE PE...	104,000.00	104,000.00	0.00	0.00	0.00	104,000.00
<a href="#">100-9001-812</a>	PRINCIPAL - FY 22-23 ROLLING STOCK	174,879.00	174,879.00	0.00	85,784.67	85,784.67	89,094.33
<a href="#">100-9001-814</a>	PRINCIPAL - FIRE TRUCK ORDERED M...	164,980.00	164,980.00	0.00	0.00	0.00	164,980.00
<a href="#">100-9001-817</a>	PRINCIPAL - FY24 ROLLING STOCK	254,013.00	254,013.00	0.00	0.00	0.00	254,013.00
<a href="#">100-9001-818</a>	PRINCIPAL - FIRE STATION BB&T	173,334.00	173,334.00	0.00	86,666.67	86,666.67	86,667.33
<a href="#">100-9001-820</a>	PRINCIPAL - NEW PARK	388,668.00	388,668.00	0.00	0.00	0.00	388,668.00
<a href="#">100-9001-821</a>	PRINCIPAL - FIRE TRUCK 2017	104,000.00	104,000.00	0.00	46,833.00	46,833.00	57,167.00
<a href="#">100-9001-823</a>	PRINCIPAL - POLICE VEHICLES 2019	53,294.00	53,294.00	0.00	0.00	0.00	53,294.00

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		Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	YTD Activity + Encumbrances	Budget Remaining
<a href="#">100-9001-824</a>	PRINCIPAL - POLICE RADIOS 2019 Firs...	46,900.00	46,900.00	0.00	0.00	0.00	46,900.00
<a href="#">100-9001-826</a>	PRINCIPAL - NEW PW TRUCKS	86,100.00	86,100.00	0.00	43,050.00	43,050.00	43,050.00
<a href="#">100-9001-828</a>	PRINCIPAL - FY22 VEHICLE & APPARA...	271,517.00	271,517.00	0.00	135,395.96	135,395.96	136,121.04
<a href="#">100-9001-851</a>	INTEREST - FY 22-23 FIRE ENGINE PE...	3,141.00	3,141.00	0.00	0.00	0.00	3,141.00
<a href="#">100-9001-852</a>	INTEREST - FY 22-23 ROLLING STOCK	23,921.00	23,921.00	0.00	13,613.88	13,613.88	10,307.12
<a href="#">100-9001-854</a>	INTEREST - FIRE TRUCK ORDERED MAY..	20,315.00	20,315.00	0.00	0.00	0.00	20,315.00
<a href="#">100-9001-857</a>	INTEREST - FY24 ROLLING STOCK	39,340.00	39,340.00	0.00	0.00	0.00	39,340.00
<a href="#">100-9001-858</a>	INTEREST - FIRE STATION BB&T	28,306.00	28,306.00	0.00	14,767.99	14,767.99	13,538.01
<a href="#">100-9001-859</a>	INTEREST - NEW PARK	84,710.00	84,710.00	0.00	0.00	0.00	84,710.00
<a href="#">100-9001-862</a>	INTEREST - POLICE VEHICLES 2019	1,047.00	1,047.00	0.00	0.00	0.00	1,047.00
<a href="#">100-9001-863</a>	INTEREST - POLICE RADIOS 2019	724.00	724.00	0.00	0.00	0.00	724.00
<a href="#">100-9001-865</a>	INTEREST - NEW PW TRUCKS	2,641.00	2,641.00	0.00	1,466.93	1,466.93	1,174.07
<a href="#">100-9001-867</a>	INTEREST - FY22 VEHICLE & APPARAT...	9,982.00	9,982.00	0.00	5,352.69	5,352.69	4,629.31
	<b>Department: 9001 - Debt Service Total:</b>	<b>2,035,812.00</b>	<b>2,035,812.00</b>	<b>0.00</b>	<b>432,931.79</b>	<b>432,931.79</b>	<b>1,602,880.21</b>
	<b>Department: 9800 - 9800</b>						
<a href="#">100-9800-931</a>	TRANSFER TO CAPITAL RESERVE FUND	840,317.00	840,317.00	0.00	0.00	0.00	840,317.00
	<b>Department: 9800 - 9800 Total:</b>	<b>840,317.00</b>	<b>840,317.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>840,317.00</b>
	<b>Expense Total:</b>	<b>32,824,657.00</b>	<b>37,451,802.00</b>	<b>3,322,935.61</b>	<b>7,254,064.30</b>	<b>14,323,258.22</b>	<b>23,128,543.78</b>
	<b>Fund: 100 - General Fund Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>4,638,979.02</b>	<b>4,258,513.17</b>	<b>-2,810,680.75</b>	<b>2,810,680.75</b>
	<b>Fund: 300 - Utility Fund</b>						
	<b>Revenue</b>						
	<b>GovType: 3700 - Investment earnings</b>						
<a href="#">300-3710-000</a>	INTEREST EARNINGS	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00
	<b>GovType: 3700 - Investment earnings Total:</b>	<b>20,000.00</b>	<b>20,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>20,000.00</b>
	<b>GovType: 3800 - Miscellaneous Revenues</b>						
<a href="#">300-3802-000</a>	MISCELLANEOUS GRANTS	0.00	300,000.00	0.00	0.00	0.00	300,000.00
	<b>GovType: 3800 - Miscellaneous Revenues Total:</b>	<b>0.00</b>	<b>300,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>300,000.00</b>
	<b>GovType: 5010 - Enterprise Charges for Services</b>						
<a href="#">300-3391-000</a>	REVENUE SHARING CONTRA (NCCP)	-106,000.00	-106,000.00	0.00	0.00	0.00	-106,000.00
<a href="#">300-3501-820</a>	WATER SALES	4,436,012.00	4,436,012.00	432,537.03	1,278,224.25	1,278,224.25	3,157,787.75
<a href="#">300-3502-830</a>	SEWER SALES	4,394,562.00	4,394,562.00	425,727.50	1,256,494.28	1,256,494.28	3,138,067.72
<a href="#">300-3503-820</a>	WATER TAPS	7,620.00	7,620.00	9,000.00	16,000.00	16,000.00	-8,380.00
<a href="#">300-3504-830</a>	SEWER TAPS	6,000.00	6,000.00	4,000.00	4,000.00	4,000.00	2,000.00
	<b>GovType: 5010 - Enterprise Charges for Services Total:</b>	<b>8,738,194.00</b>	<b>8,738,194.00</b>	<b>871,264.53</b>	<b>2,554,718.53</b>	<b>2,554,718.53</b>	<b>6,183,475.47</b>
	<b>GovType: 5020 - Enterprise Other Operating Revenues</b>						
<a href="#">300-3447-000</a>	ENGINEERING CONST INSP FEE	360,300.00	360,300.00	0.00	20,565.00	20,565.00	339,735.00
<a href="#">300-3812-000</a>	MISCELLANEOUS REVENUES	8,000.00	8,000.00	250.00	-475.00	-475.00	8,475.00
<a href="#">300-3820-000</a>	LATE FEES	70,000.00	70,000.00	6,770.00	20,326.30	20,326.30	49,673.70
<a href="#">300-3830-820</a>	WATER RECONNECTIONS	3,300.00	3,300.00	200.00	650.00	650.00	2,650.00
<a href="#">300-3836-000</a>	FIRE FLOW TEST FEES	12,000.00	12,000.00	1,200.00	1,200.00	1,200.00	10,800.00
<a href="#">300-3846-000</a>	SALE OF MATERIALS	212,000.00	212,000.00	9,880.50	31,880.50	31,880.50	180,119.50
<a href="#">300-3883-830</a>	INDUSTRIAL WASTE MONITORING FEE	3,800.00	3,800.00	0.00	0.00	0.00	3,800.00
	<b>GovType: 5020 - Enterprise Other Operating Revenues Total:</b>	<b>669,400.00</b>	<b>669,400.00</b>	<b>18,300.50</b>	<b>74,146.80</b>	<b>74,146.80</b>	<b>595,253.20</b>
	<b>GovType: 5500 - Enterprise NonOperating Revenues</b>						
<a href="#">300-3841-000</a>	SALE OF FIXED ASSETS	2,500.00	2,500.00	0.00	0.00	0.00	2,500.00
	<b>GovType: 5500 - Enterprise NonOperating Revenues Total:</b>	<b>2,500.00</b>	<b>2,500.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>2,500.00</b>
	<b>GovType: 9000 - Appropriated Fund Balance</b>						
<a href="#">300-3990-000</a>	APPROPRIATED FUND BALANCE	2,460,925.00	2,737,795.00	0.00	0.00	0.00	2,737,795.00
	<b>GovType: 9000 - Appropriated Fund Balance Total:</b>	<b>2,460,925.00</b>	<b>2,737,795.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>2,737,795.00</b>
	<b>Revenue Total:</b>	<b>11,891,019.00</b>	<b>12,467,889.00</b>	<b>889,565.03</b>	<b>2,628,865.33</b>	<b>2,628,865.33</b>	<b>9,839,023.67</b>
	<b>Expense</b>						
	<b>Department: 8100 - Admin, Meters and Billing</b>						
<a href="#">300-8100-020</a>	SALARIES & WAGES	57,961.00	57,961.00	4,276.98	12,830.94	12,830.94	45,130.06
<a href="#">300-8100-039</a>	LONGEVITY CONTRIBUTION	568.00	568.00	0.00	0.00	0.00	568.00
<a href="#">300-8100-050</a>	FICA	4,478.00	4,478.00	327.20	981.60	981.60	3,496.40
<a href="#">300-8100-060</a>	GROUP INSURANCE CONTRIBUTION	9,576.00	9,576.00	798.00	2,394.00	2,394.00	7,182.00



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		Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	YTD Activity + Encumbrances	Budget Remaining
<a href="#">300-8100-070</a>	RETIREMENT CONTRIBUTION	13,667.00	13,667.00	998.68	2,996.04	2,996.04	10,670.96
<a href="#">300-8100-071</a>	401K CONTRIBUTION	2,926.00	2,926.00	213.84	641.52	641.52	2,284.48
<a href="#">300-8100-099</a>	INDIRECT TO UTILITY (CONTRA)	915,887.00	915,887.00	0.00	0.00	0.00	915,887.00
<a href="#">300-8100-100</a>	PROFESSIONAL SERVICES	30,000.00	43,640.00	4,680.00	4,680.00	15,140.00	28,500.00
<a href="#">300-8100-110</a>	POSTAGE	32,500.00	32,500.00	2,624.66	5,243.82	32,500.00	0.00
<a href="#">300-8100-120</a>	BANK CHARGES	294,800.00	294,800.00	14,682.51	29,199.82	79,199.82	215,600.18
<a href="#">300-8100-140</a>	SCHOOLS AND CONFERENCES	1,000.00	1,000.00	0.00	0.00	0.00	1,000.00
<a href="#">300-8100-160</a>	EQUIPMENT MAINTENANCE & REPAI...	1,000.00	1,000.00	0.00	0.00	0.00	1,000.00
<a href="#">300-8100-271</a>	UTILITY BILLING SERVICES	54,112.00	54,112.00	4,225.02	8,431.08	52,912.00	1,200.00
<a href="#">300-8100-330</a>	DEPARTMENTAL SUPPLIES	1,000.00	1,000.00	0.00	0.00	0.00	1,000.00
<a href="#">300-8100-340</a>	TECHNOLOGY SERVICES & SUPPLIES	13,245.00	13,245.00	0.00	10,255.59	10,255.59	2,989.41
<a href="#">300-8100-390</a>	SMALL EQUIPMENT	1,000.00	1,000.00	0.00	0.00	0.00	1,000.00
<a href="#">300-8100-730</a>	CAPITAL OUTLAY - OTHER	180,000.00	180,000.00	161,631.00	161,631.00	169,839.91	10,160.09
<b>Department: 8100 - Admin, Meters and Billing Total:</b>		<b>1,613,720.00</b>	<b>1,627,360.00</b>	<b>194,457.89</b>	<b>239,285.41</b>	<b>379,691.42</b>	<b>1,247,668.58</b>
<b>Department: 8200 - Utility Maintenance</b>							
<a href="#">300-8200-020</a>	SALARIES & WAGES	955,336.00	955,336.00	60,637.01	182,018.50	182,018.50	773,317.50
<a href="#">300-8200-030</a>	PART-TIME SALARIES	5,842.00	5,842.00	0.00	0.00	0.00	5,842.00
<a href="#">300-8200-035</a>	OVERTIME SALARIES	83,566.00	83,566.00	7,235.06	18,618.02	18,618.02	64,947.98
<a href="#">300-8200-036</a>	ON-CALL	13,200.00	13,200.00	1,056.00	2,988.00	2,988.00	10,212.00
<a href="#">300-8200-039</a>	LONGEVITY CONTRIBUTION	20,810.00	20,810.00	0.00	0.00	0.00	20,810.00
<a href="#">300-8200-045</a>	CAR ALLOWANCE	3,692.00	3,692.00	282.46	847.38	847.38	2,844.62
<a href="#">300-8200-046</a>	CELL PHONE STIPEND	540.00	540.00	45.00	135.00	135.00	405.00
<a href="#">300-8200-050</a>	FICA	82,598.00	82,598.00	5,202.57	15,366.02	15,366.02	67,231.98
<a href="#">300-8200-060</a>	GROUP INSURANCE CONTRIBUTION	162,792.00	162,792.00	12,011.68	36,832.46	36,832.46	125,959.54
<a href="#">300-8200-070</a>	RETIREMENT CONTRIBUTION	250,681.00	250,681.00	16,094.71	47,546.30	47,546.30	203,134.70
<a href="#">300-8200-071</a>	401K CONTRIBUTION	53,679.00	53,679.00	3,446.41	10,181.29	10,181.29	43,497.71
<a href="#">300-8200-100</a>	PROFESSIONAL SERVICES	103,500.00	454,661.00	5,860.00	8,343.75	358,173.50	96,487.50
<a href="#">300-8200-110</a>	POSTAGE	0.00	0.00	18.12	38.58	38.58	-38.58
<a href="#">300-8200-130</a>	UTILITIES	111,350.00	111,350.00	16,036.41	18,144.71	18,144.71	93,205.29
<a href="#">300-8200-140</a>	SCHOOLS & CONFERENCES	8,360.00	8,360.00	2,680.00	3,406.86	3,406.86	4,953.14
<a href="#">300-8200-150</a>	BUILDING & GROUNDS MAINTENANCE	9,000.00	9,000.00	0.00	443.74	793.74	8,206.26
<a href="#">300-8200-153</a>	STREET MAINTENANCE & REPAIR	20,000.00	20,000.00	0.00	0.00	4,500.00	15,500.00
<a href="#">300-8200-157</a>	FIRE HYDRANT MAINTENANCE & REPA	35,000.00	35,000.00	0.00	1,578.36	35,000.00	0.00
<a href="#">300-8200-160</a>	EQUIPMENT MAINTENANCE & REPAI...	136,000.00	129,937.00	5,945.10	7,559.79	36,074.30	93,862.70
<a href="#">300-8200-161</a>	INFRASTRUCTURE MAINTENANCE & R...	596,000.00	626,039.00	0.00	51,717.05	69,368.20	556,670.80
<a href="#">300-8200-170</a>	VEHICLE MAINTENANCE & REPAIRS	28,000.00	28,000.00	2,688.01	8,652.79	11,222.55	16,777.45
<a href="#">300-8200-260</a>	ADVERTISING	500.00	500.00	165.07	165.07	165.07	334.93
<a href="#">300-8200-310</a>	FUEL	34,000.00	34,000.00	2,726.35	4,658.92	28,517.80	5,482.20
<a href="#">300-8200-330</a>	DEPARTMENTAL SUPPLIES	130,000.00	130,000.00	20,223.06	29,654.11	112,308.11	17,691.89
<a href="#">300-8200-336</a>	CHEMICALS	233,833.00	211,033.00	28,509.00	28,509.00	189,630.00	21,403.00
<a href="#">300-8200-340</a>	TECHNOLOGY SERVICES & SUPPLIES	100.00	1,061.00	0.00	0.00	0.00	1,061.00
<a href="#">300-8200-342</a>	TECHNOLOGY LICENSES	20,360.00	26,423.00	0.00	16,500.00	24,972.50	1,450.50
<a href="#">300-8200-344</a>	VARIED SERVICES	4,000.00	4,000.00	0.00	2,750.00	2,750.00	1,250.00
<a href="#">300-8200-350</a>	SOFTWARE LICENSING AND MAINTEN...	575.00	575.00	575.00	575.00	575.00	0.00
<a href="#">300-8200-360</a>	EMPLOYEE UNIFORMS & ACCESSORIES	21,600.00	21,600.00	2,135.87	2,295.87	14,800.00	6,800.00
<a href="#">300-8200-390</a>	SMALL EQUIPMENT	16,650.00	16,650.00	0.00	5,721.10	8,268.37	8,381.63
<a href="#">300-8200-430</a>	GRAHAM SEWER SERVICES	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00
<a href="#">300-8200-452</a>	LABORATORY SERVICES	15,000.00	15,000.00	560.00	560.00	6,125.00	8,875.00
<a href="#">300-8200-454</a>	SCADA SERVICES	29,300.00	29,300.00	0.00	0.00	0.00	29,300.00
<a href="#">300-8200-480</a>	PURCHASE OF WATER	1,333,540.00	1,333,540.00	53,693.38	53,693.38	53,693.38	1,279,846.62
<a href="#">300-8200-530</a>	DUES & SUBSCRIPTIONS	17,590.00	17,590.00	254.58	7,439.09	7,439.09	10,150.91
<a href="#">300-8200-720</a>	CAPITAL OUTLAY - BUILDINGS	425,000.00	425,000.00	0.00	0.00	0.00	425,000.00
<a href="#">300-8200-730</a>	CAPITAL OUTLAY - OTHER	617,875.00	627,377.02	61,218.15	62,178.15	144,502.02	482,875.00
<a href="#">300-8200-740</a>	CAPITAL OUTLAY - VEHICLES	198,818.00	210,818.00	0.00	0.00	137,530.77	73,287.23
<a href="#">300-8200-750</a>	CAPITAL OUTLAY - EQUIPMENT	51,266.00	62,066.00	0.00	35,648.77	52,380.09	9,685.91
<b>Department: 8200 - Utility Maintenance Total:</b>		<b>5,854,953.00</b>	<b>6,246,616.02</b>	<b>309,299.00</b>	<b>664,767.06</b>	<b>1,634,912.61</b>	<b>4,611,703.41</b>
<b>Department: 8280 - Engineering</b>							
<a href="#">300-8280-102</a>	CITY ENGINEER	122,000.00	125,971.25	16,826.25	31,586.25	125,971.25	0.00
<a href="#">300-8280-103</a>	TECHNICAL REVIEW	30,000.00	30,000.00	1,040.25	4,892.50	30,000.00	0.00

Income Statement

For Fiscal: 2023-2024 Period Ending: 09/30/2023

		Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	YTD Activity + Encumbrances	Budget Remaining
<a href="#">300-8280-104</a>	CONSTRUCTION INSPECTION	100,000.00	100,000.00	9,614.00	18,954.87	100,000.00	0.00
<a href="#">300-8280-105</a>	DEPT ENGINEERING SERVICES	33,000.00	33,000.00	2,713.00	4,032.31	33,000.00	0.00
<b>Department: 8280 - Engineering Total:</b>		<b>285,000.00</b>	<b>288,971.25</b>	<b>30,193.50</b>	<b>59,465.93</b>	<b>288,971.25</b>	<b>0.00</b>
<b>Department: 8300 - Water Resource Recovery Facility</b>							
<a href="#">300-8300-020</a>	SALARIES & WAGES	672,358.00	672,358.00	34,821.49	104,464.54	104,464.54	567,893.46
<a href="#">300-8300-030</a>	PART-TIME SALARIES	48,628.00	48,628.00	4,182.55	12,175.69	12,175.69	36,452.31
<a href="#">300-8300-035</a>	OVERTIME SALARIES	32,075.00	32,075.00	551.60	2,255.07	2,255.07	29,819.93
<a href="#">300-8300-036</a>	ON-CALL	5,000.00	5,000.00	336.00	972.00	972.00	4,028.00
<a href="#">300-8300-039</a>	LONGEVITY CONTRIBUTION	16,479.00	16,479.00	0.00	0.00	0.00	16,479.00
<a href="#">300-8300-045</a>	CAR ALLOWANCE	3,692.00	3,692.00	282.46	847.38	847.38	2,844.62
<a href="#">300-8300-046</a>	CELL PHONE STIPEND	2,655.00	2,655.00	180.00	540.00	540.00	2,115.00
<a href="#">300-8300-050</a>	FICA	59,167.00	59,167.00	2,930.52	8,806.29	8,806.29	50,360.71
<a href="#">300-8300-060</a>	GROUP INSURANCE CONTRIBUTION	69,426.00	69,426.00	4,838.56	14,515.68	14,515.68	54,910.32
<a href="#">300-8300-070</a>	RETIREMENT CONTRIBUTION	169,238.00	169,238.00	8,338.08	25,146.01	25,146.01	144,091.99
<a href="#">300-8300-071</a>	401K CONTRIBUTION	36,240.00	36,240.00	1,785.45	5,384.58	5,384.58	30,855.42
<a href="#">300-8300-100</a>	PROFESSIONAL SERVICES	10,000.00	30,000.00	13,149.40	13,149.40	15,000.00	15,000.00
<a href="#">300-8300-110</a>	POSTAGE	2,064.00	2,064.00	9.01	146.99	146.99	1,917.01
<a href="#">300-8300-130</a>	UTILITIES	184,154.00	184,154.00	28,151.72	28,151.72	28,151.72	156,002.28
<a href="#">300-8300-140</a>	SCHOOLS & CONFERENCES	3,500.00	3,500.00	0.00	283.63	283.63	3,216.37
<a href="#">300-8300-150</a>	BUILDINGS & GROUNDS MAINTENAN...	30,964.00	30,964.00	1,577.44	4,800.44	19,517.85	11,446.15
<a href="#">300-8300-160</a>	EQUIPMENT MAINTENANCE & REPAI...	195,700.00	178,685.00	2,334.99	7,951.13	40,722.59	137,962.41
<a href="#">300-8300-170</a>	VEHICLE MAINTENANCE & REPAIRS	1,100.00	1,100.00	56.05	207.06	207.06	892.94
<a href="#">300-8300-260</a>	ADVERTISING	115.00	115.00	0.00	0.00	0.00	115.00
<a href="#">300-8300-310</a>	FUEL	10,716.00	10,716.00	195.30	343.62	10,500.00	216.00
<a href="#">300-8300-330</a>	DEPARTMENTAL SUPPLIES	21,380.00	21,380.00	1,777.66	3,743.11	17,702.45	3,677.55
<a href="#">300-8300-336</a>	CHEMICALS	271,273.00	271,273.00	7,783.50	34,631.20	113,904.64	157,368.36
<a href="#">300-8300-340</a>	TECHNOLOGY SERVICES & SUPPLIES	1,500.00	1,500.00	0.00	0.00	0.00	1,500.00
<a href="#">300-8300-350</a>	SOFTWARE LICENSING	2,040.00	4,390.00	0.00	0.00	0.00	4,390.00
<a href="#">300-8300-360</a>	EMPLOYEE UNIFORMS & ACCESSORIES	5,969.00	5,969.00	958.23	1,060.53	3,164.02	2,804.98
<a href="#">300-8300-390</a>	SMALL EQUIPMENT	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00
<a href="#">300-8300-420</a>	MATERIAL HAULING & DISPOSAL	522,667.00	522,667.00	0.00	27,430.62	500,000.00	22,667.00
<a href="#">300-8300-452</a>	LABORATORY SERVICES	67,699.00	67,699.00	5,536.77	7,667.00	60,426.59	7,272.41
<a href="#">300-8300-454</a>	SCADA SERVICES	42,985.00	43,600.00	0.00	0.00	12,481.00	31,119.00
<a href="#">300-8300-530</a>	DUES & SUBSCRIPTIONS	14,873.00	14,873.00	0.00	2,706.00	2,706.00	12,167.00
<a href="#">300-8300-720</a>	CAPITAL OUTLAY - BUILDINGS	40,000.00	40,000.00	0.00	0.00	0.00	40,000.00
<a href="#">300-8300-730</a>	CAPITAL OUTLAY - OTHER	27,859.00	27,859.00	0.00	0.00	0.00	27,859.00
<a href="#">300-8300-750</a>	CAPITAL OUTLAY - EQUIPMENT	37,062.00	63,707.23	0.00	10,542.00	28,959.00	34,748.23
<b>Department: 8300 - Water Resource Recovery Facility Total:</b>		<b>2,633,578.00</b>	<b>2,666,173.23</b>	<b>119,776.78</b>	<b>317,921.69</b>	<b>1,028,980.78</b>	<b>1,637,192.45</b>
<b>Department: 9300 - Utility Non-Departmental</b>							
<a href="#">300-9300-100</a>	PROFESSIONAL SERVICES	1,300.00	1,300.00	0.00	0.00	1,300.00	0.00
<a href="#">300-9300-540</a>	PROPERTY & LIABILITY INSURANCE	11,100.00	11,100.00	0.00	0.00	0.00	11,100.00
<a href="#">300-9300-834</a>	PRINCIPAL - 2009 DENR WATER QUAL...	4,806.00	4,806.00	0.00	0.00	0.00	4,806.00
<a href="#">300-9300-836</a>	PRINCIPAL - WATER PLANT CAPACITY ...	127,403.00	127,403.00	0.00	0.00	0.00	127,403.00
<a href="#">300-9300-837</a>	PRINCIPAL - GRAHAM SEWER CAPACI...	150,000.00	150,000.00	150,000.00	150,000.00	150,000.00	0.00
<a href="#">300-9300-838</a>	PRINCIPAL - WRRF FY22 REVENUE BO...	980,000.00	980,000.50	0.00	980,000.00	980,000.00	0.50
<a href="#">300-9300-839</a>	PRINCIPAL - FY22 VEHICLES & APPAR...	24,467.00	24,467.00	0.00	12,200.52	12,200.52	12,266.48
<a href="#">300-9300-885</a>	INTEREST - WRRF FY22 REVENUE BO...	204,227.00	204,227.00	0.00	106,049.10	106,049.10	98,177.90
<a href="#">300-9300-886</a>	INTEREST - FY22 VEHICLES & APPARA...	465.00	465.00	0.00	264.31	264.31	200.69
<a href="#">300-9300-978</a>	TRANSFER TO CAPITAL PROJECT ORDI...	0.00	135,000.00	135,000.00	135,000.00	135,000.00	0.00
<b>Department: 9300 - Utility Non-Departmental Total:</b>		<b>1,503,768.00</b>	<b>1,638,768.50</b>	<b>285,000.00</b>	<b>1,383,513.93</b>	<b>1,384,813.93</b>	<b>253,954.57</b>
<b>Expense Total:</b>		<b>11,891,019.00</b>	<b>12,467,889.00</b>	<b>938,727.17</b>	<b>2,664,954.02</b>	<b>4,717,369.99</b>	<b>7,750,519.01</b>
<b>Fund: 300 - Utility Fund Surplus (Deficit):</b>		<b>0.00</b>	<b>0.00</b>	<b>-49,162.14</b>	<b>-36,088.69</b>	<b>-2,088,504.66</b>	<b>2,088,504.66</b>
<b>Fund: 390 - Utility Capital Reserve</b>							
<b>Revenue</b>							
<b>GovType: 3700 - Investment earnings</b>							
<a href="#">390-3710-000</a>	INTEREST EARNINGS	3,000.00	3,000.00	0.00	0.00	0.00	3,000.00
<b>GovType: 3700 - Investment earnings Total:</b>		<b>3,000.00</b>	<b>3,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>3,000.00</b>

Income Statement

For Fiscal: 2023-2024 Period Ending: 09/30/2023

	Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	YTD Activity + Encumbrances	Budget Remaining
<b>GovType: 5500 - Enterprise NonOperating Revenues</b>						
<a href="#">390-3401-000</a> System Development Fees - Water	500,000.00	500,000.00	23,777.00	89,283.00	89,283.00	410,717.00
<a href="#">390-3402-000</a> System Development Fees - Sewer	1,170,000.00	1,170,000.00	58,022.00	208,650.00	208,650.00	961,350.00
<b>GovType: 5500 - Enterprise NonOperating Revenues Total:</b>	<b>1,670,000.00</b>	<b>1,670,000.00</b>	<b>81,799.00</b>	<b>297,933.00</b>	<b>297,933.00</b>	<b>1,372,067.00</b>
<b>Revenue Total:</b>	<b>1,673,000.00</b>	<b>1,673,000.00</b>	<b>81,799.00</b>	<b>297,933.00</b>	<b>297,933.00</b>	<b>1,375,067.00</b>
<b>Expense</b>						
<b>Department: 8900 - UTILITY CAPITAL RESERVE</b>						
<a href="#">390-8900-900</a> UTILITY CAPITAL RESERVE	1,673,000.00	1,673,000.00	0.00	0.00	0.00	1,673,000.00
<b>Department: 8900 - UTILITY CAPITAL RESERVE Total:</b>	<b>1,673,000.00</b>	<b>1,673,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>1,673,000.00</b>
<b>Expense Total:</b>	<b>1,673,000.00</b>	<b>1,673,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>1,673,000.00</b>
<b>Fund: 390 - Utility Capital Reserve Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>81,799.00</b>	<b>297,933.00</b>	<b>297,933.00</b>	<b>-297,933.00</b>
<b>Report Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>4,671,615.88</b>	<b>4,520,357.48</b>	<b>-4,601,252.41</b>	

Income Statement

For Fiscal: 2023-2024 Period Ending: 09/30/2023

Group Summary

Department	Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	YTD Activity + Encumbrances	Budget Remaining
<b>Fund: 100 - General Fund</b>						
<b>Revenue</b>						
<b>GovType: 3000 - Property Taxes</b>						
	16,130,684.00	16,130,684.00	7,433,106.45	8,169,864.02	8,169,864.02	7,960,819.98
<b>GovType: 3000 - Property Taxes Total:</b>	<b>16,130,684.00</b>	<b>16,130,684.00</b>	<b>7,433,106.45</b>	<b>8,169,864.02</b>	<b>8,169,864.02</b>	<b>7,960,819.98</b>
<b>GovType: 3100 - Other Taxes and Licenses</b>						
	900.00	900.00	0.00	0.00	0.00	900.00
<b>GovType: 3100 - Other Taxes and Licenses Total:</b>	<b>900.00</b>	<b>900.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>900.00</b>
<b>GovType: 3215 - Restricted Federal Intergov</b>						
	0.00	0.00	0.00	8,342.59	8,342.59	-8,342.59
<b>GovType: 3215 - Restricted Federal Intergov Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>8,342.59</b>	<b>8,342.59</b>	<b>-8,342.59</b>
<b>GovType: 3220 - Unrestricted State Intergov</b>						
	8,433,800.00	8,433,800.00	0.00	0.00	0.00	8,433,800.00
<b>GovType: 3220 - Unrestricted State Intergov Total:</b>	<b>8,433,800.00</b>	<b>8,433,800.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>8,433,800.00</b>
<b>GovType: 3225 - Restricted State Intergov</b>						
	556,300.00	556,300.00	262,475.06	262,691.26	262,691.26	293,608.74
<b>GovType: 3225 - Restricted State Intergov Total:</b>	<b>556,300.00</b>	<b>556,300.00</b>	<b>262,475.06</b>	<b>262,691.26</b>	<b>262,691.26</b>	<b>293,608.74</b>
<b>GovType: 3230 - Unrestricted Local Intergov</b>						
	496,000.00	496,000.00	0.00	0.00	0.00	496,000.00
<b>GovType: 3230 - Unrestricted Local Intergov Total:</b>	<b>496,000.00</b>	<b>496,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>496,000.00</b>
<b>GovType: 3235 - Restricted Local Intergov</b>						
	335,150.00	335,150.00	0.00	300,000.00	300,000.00	35,150.00
<b>GovType: 3235 - Restricted Local Intergov Total:</b>	<b>335,150.00</b>	<b>335,150.00</b>	<b>0.00</b>	<b>300,000.00</b>	<b>300,000.00</b>	<b>35,150.00</b>
<b>GovType: 3400 - Permits and Fees</b>						
	1,919,910.00	1,919,910.00	92,844.00	342,047.18	342,047.18	1,577,862.82
<b>GovType: 3400 - Permits and Fees Total:</b>	<b>1,919,910.00</b>	<b>1,919,910.00</b>	<b>92,844.00</b>	<b>342,047.18</b>	<b>342,047.18</b>	<b>1,577,862.82</b>
<b>GovType: 3500 - Sales and Services</b>						
	816,388.00	816,388.00	68,111.00	207,445.22	207,445.22	608,942.78
<b>GovType: 3500 - Sales and Services Total:</b>	<b>816,388.00</b>	<b>816,388.00</b>	<b>68,111.00</b>	<b>207,445.22</b>	<b>207,445.22</b>	<b>608,942.78</b>
<b>GovType: 3700 - Investment earnings</b>						
	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00
<b>GovType: 3700 - Investment earnings Total:</b>	<b>20,000.00</b>	<b>20,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>20,000.00</b>
<b>GovType: 3800 - Miscellaneous Revenues</b>						
	48,000.00	48,000.00	105,378.12	124,687.20	124,687.20	-76,687.20
<b>GovType: 3800 - Miscellaneous Revenues Total:</b>	<b>48,000.00</b>	<b>48,000.00</b>	<b>105,378.12</b>	<b>124,687.20</b>	<b>124,687.20</b>	<b>-76,687.20</b>
<b>GovType: 8500 - Proceeds of Debt</b>						
	1,270,062.00	3,355,939.01	0.00	2,097,500.00	2,097,500.00	1,258,439.01
<b>GovType: 8500 - Proceeds of Debt Total:</b>	<b>1,270,062.00</b>	<b>3,355,939.01</b>	<b>0.00</b>	<b>2,097,500.00</b>	<b>2,097,500.00</b>	<b>1,258,439.01</b>
<b>GovType: 9000 - Appropriated Fund Balance</b>						
	2,797,463.00	5,338,730.99	0.00	0.00	0.00	5,338,730.99
<b>GovType: 9000 - Appropriated Fund Balance Total:</b>	<b>2,797,463.00</b>	<b>5,338,730.99</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>5,338,730.99</b>
<b>Revenue Total:</b>	<b>32,824,657.00</b>	<b>37,451,802.00</b>	<b>7,961,914.63</b>	<b>11,512,577.47</b>	<b>11,512,577.47</b>	<b>25,939,224.53</b>
<b>Expense</b>						
4100 - City Council	71,870.00	71,870.00	4,889.13	14,738.29	14,738.29	57,131.71
4200 - Administration	1,426,869.00	1,430,254.00	116,731.84	334,110.56	428,287.49	1,001,966.51
4400 - Finance	748,626.00	748,626.00	79,022.76	201,959.95	288,503.34	460,122.66
4800 - IT	1,663,401.00	1,705,080.71	128,614.19	350,224.09	967,886.33	737,194.38
4900 - Economic Development	900,214.00	900,214.00	0.00	54,522.28	69,522.28	830,691.72
5100 - Police	6,878,989.00	6,932,195.02	665,383.60	1,613,281.12	2,184,533.67	4,747,661.35
5300 - Fire	4,971,465.00	7,130,082.09	346,886.38	1,008,419.30	3,400,199.36	3,729,882.73
5400 - Planning	597,343.00	606,759.35	26,959.04	85,605.12	123,799.64	482,959.71
5410 - Main Street Program	0.00	6,297.28	0.00	0.00	6,297.28	0.00
5440 - Inspections	961,283.00	972,574.48	68,934.92	190,641.89	248,508.37	724,066.11

**Income Statement**

**For Fiscal: 2023-2024 Period Ending: 09/30/2023**

Department	Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	YTD Activity + Encumbrances	Budget Remaining
5480 - Engineering	445,500.00	445,500.00	32,269.67	81,080.36	445,500.00	0.00
5500 - Public Works	3,304,438.00	3,603,555.22	218,700.86	390,071.70	895,209.24	2,708,345.98
5700 - Public Facilities	1,271,578.00	1,324,138.37	63,616.46	151,397.85	396,123.98	928,014.39
5800 - Sanitation	2,178,668.00	2,532,877.78	137,477.88	312,684.14	1,693,824.95	839,052.83
6200 - Recreation and Parks	3,093,729.00	3,458,497.46	149,056.45	469,914.09	834,341.89	2,624,155.57
9000 - Non-Departmental	1,434,555.00	2,707,151.24	1,284,392.43	1,562,481.77	1,893,050.32	814,100.92
9001 - Debt Service	2,035,812.00	2,035,812.00	0.00	432,931.79	432,931.79	1,602,880.21
9800 - 9800	840,317.00	840,317.00	0.00	0.00	0.00	840,317.00
<b>Expense Total:</b>	<b>32,824,657.00</b>	<b>37,451,802.00</b>	<b>3,322,935.61</b>	<b>7,254,064.30</b>	<b>14,323,258.22</b>	<b>23,128,543.78</b>
<b>Fund: 100 - General Fund Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>4,638,979.02</b>	<b>4,258,513.17</b>	<b>-2,810,680.75</b>	<b>2,810,680.75</b>
<b>Fund: 300 - Utility Fund</b>						
<b>Revenue</b>						
<b>GovType: 3700 - Investment earnings</b>						
	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00
<b>GovType: 3700 - Investment earnings Total:</b>	<b>20,000.00</b>	<b>20,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>20,000.00</b>
<b>GovType: 3800 - Miscellaneous Revenues</b>						
	0.00	300,000.00	0.00	0.00	0.00	300,000.00
<b>GovType: 3800 - Miscellaneous Revenues Total:</b>	<b>0.00</b>	<b>300,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>300,000.00</b>
<b>GovType: 5010 - Enterprise Charges for Services</b>						
	8,738,194.00	8,738,194.00	871,264.53	2,554,718.53	2,554,718.53	6,183,475.47
<b>GovType: 5010 - Enterprise Charges for Services Total:</b>	<b>8,738,194.00</b>	<b>8,738,194.00</b>	<b>871,264.53</b>	<b>2,554,718.53</b>	<b>2,554,718.53</b>	<b>6,183,475.47</b>
<b>GovType: 5020 - Enterprise Other Operating Revenues</b>						
	669,400.00	669,400.00	18,300.50	74,146.80	74,146.80	595,253.20
<b>GovType: 5020 - Enterprise Other Operating Revenues Total:</b>	<b>669,400.00</b>	<b>669,400.00</b>	<b>18,300.50</b>	<b>74,146.80</b>	<b>74,146.80</b>	<b>595,253.20</b>
<b>GovType: 5500 - Enterprise NonOperating Revenues</b>						
	2,500.00	2,500.00	0.00	0.00	0.00	2,500.00
<b>GovType: 5500 - Enterprise NonOperating Revenues Total:</b>	<b>2,500.00</b>	<b>2,500.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>2,500.00</b>
<b>GovType: 9000 - Appropriated Fund Balance</b>						
	2,460,925.00	2,737,795.00	0.00	0.00	0.00	2,737,795.00
<b>GovType: 9000 - Appropriated Fund Balance Total:</b>	<b>2,460,925.00</b>	<b>2,737,795.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>2,737,795.00</b>
<b>Revenue Total:</b>	<b>11,891,019.00</b>	<b>12,467,889.00</b>	<b>889,565.03</b>	<b>2,628,865.33</b>	<b>2,628,865.33</b>	<b>9,839,023.67</b>
<b>Expense</b>						
8100 - Admin, Meters and Billing	1,613,720.00	1,627,360.00	194,457.89	239,285.41	379,691.42	1,247,668.58
8200 - Utility Maintenance	5,854,953.00	6,246,616.02	309,299.00	664,767.06	1,634,912.61	4,611,703.41
8280 - Engineering	285,000.00	288,971.25	30,193.50	59,465.93	288,971.25	0.00
8300 - Water Resource Recovery Facility	2,633,578.00	2,666,173.23	119,776.78	317,921.69	1,028,980.78	1,637,192.45
9300 - Utility Non-Departmental	1,503,768.00	1,638,768.50	285,000.00	1,383,513.93	1,384,813.93	253,954.57
<b>Expense Total:</b>	<b>11,891,019.00</b>	<b>12,467,889.00</b>	<b>938,727.17</b>	<b>2,664,954.02</b>	<b>4,717,369.99</b>	<b>7,750,519.01</b>
<b>Fund: 300 - Utility Fund Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>-49,162.14</b>	<b>-36,088.69</b>	<b>-2,088,504.66</b>	<b>2,088,504.66</b>
<b>Fund: 390 - Utility Capital Reserve</b>						
<b>Revenue</b>						
<b>GovType: 3700 - Investment earnings</b>						
	3,000.00	3,000.00	0.00	0.00	0.00	3,000.00
<b>GovType: 3700 - Investment earnings Total:</b>	<b>3,000.00</b>	<b>3,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>3,000.00</b>
<b>GovType: 5500 - Enterprise NonOperating Revenues</b>						
	1,670,000.00	1,670,000.00	81,799.00	297,933.00	297,933.00	1,372,067.00
<b>GovType: 5500 - Enterprise NonOperating Revenues Total:</b>	<b>1,670,000.00</b>	<b>1,670,000.00</b>	<b>81,799.00</b>	<b>297,933.00</b>	<b>297,933.00</b>	<b>1,372,067.00</b>
<b>Revenue Total:</b>	<b>1,673,000.00</b>	<b>1,673,000.00</b>	<b>81,799.00</b>	<b>297,933.00</b>	<b>297,933.00</b>	<b>1,375,067.00</b>
<b>Expense</b>						
8900 - UTILITY CAPITAL RESERVE	1,673,000.00	1,673,000.00	0.00	0.00	0.00	1,673,000.00
<b>Expense Total:</b>	<b>1,673,000.00</b>	<b>1,673,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>1,673,000.00</b>
<b>Fund: 390 - Utility Capital Reserve Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>81,799.00</b>	<b>297,933.00</b>	<b>297,933.00</b>	<b>-297,933.00</b>
<b>Total Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>4,671,615.88</b>	<b>4,520,357.48</b>	<b>-4,601,252.41</b>	

**Fund Summary**

<b>Fund</b>	<b>Original Total Budget</b>	<b>Current Total Budget</b>	<b>MTD Activity</b>	<b>YTD Activity</b>	<b>YTD Activity + Encumbrances</b>	<b>Budget Remaining</b>
100 - General Fund	0.00	0.00	4,638,979.02	4,258,513.17	-2,810,680.75	2,810,680.75
300 - Utility Fund	0.00	0.00	-49,162.14	-36,088.69	-2,088,504.66	2,088,504.66
390 - Utility Capital Reserve	0.00	0.00	81,799.00	297,933.00	297,933.00	-297,933.00
<b>Total Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>4,671,615.88</b>	<b>4,520,357.48</b>	<b>-4,601,252.41</b>	



The Mebane City Council met for its regular monthly meeting at 6:00 p.m., Monday, October 2, 2023 in the Council Chambers of the Glendel Stephenson Municipal Building located at 106 E. Washington Street.

Councilmembers Present:

Mayor Ed Hooks  
Mayor Pro-Tem Tim Bradley  
Councilmember Katie Burkholder  
Councilmember Sean Ewing  
Councilmember Montrena Hadley  
Councilmember Jonathan White

Also Present:

Chris Rollins, City Manager  
Preston Mitchell, Assistant City Manager  
Lawson Brown, City Attorney  
Stephanie Shaw, City Clerk  
Ashley Ownbey, Development Director  
Daphna Schwartz, Finance Director  
Aaron Davis, Recreation and Parks Director  
Kyle Smith, Utilities Director

Mayor Hooks called the meeting to order. Pastor Sammy Ballard of First Baptist Church of Mebane gave the invocation.

Mr. Davis introduced NC Recreation and Park Association (NCRPA) Executive Director, Michelle Wells. Ms. Wells gave a short presentation recognizing Kris Klopping as the recipient of the NCRPA's Young Professional Award.

Mr. Mitchell introduced John Dodson as the City's new Water Resource Recovery Facility Director. Mr. Mitchell stated that Mr. Dodson previously worked for the City of Durham since 2006 and has over 25 years of experience in this field. Mr. Dodson thanked staff and Council for the opportunity. He shared a few brief comments about himself, his family, and his passion for his career.

Mayor Hooks recognized and congratulated Kirk Montgomery, Mebane's IT Director, as he was recently elected to serve as the President of the State Employees Association of North Carolina.

Ms. Burkholder made a motion, seconded by Mr. Bradley, to approve the minutes from the September 5, 2023, Regular Meeting. The motion carried unanimously.

No one spoke during the Public Comment Period.

A Public Hearing was held on a request from Deep River for approval to rezone four properties totaling +/- 27.16 acres located along Mebane Oaks Road and Old Hillsborough Road from R-20 and B-2 to R-8 (CD) and B-2 (CD) for a development consisting of five commercial parcels and 90 townhomes. Ms. Ownbey presented the request. She shared that the properties are in Alamance County in the Mebane Extraterritorial Jurisdiction (ETJ). The applicant must petition for annexation before connecting to City water and sewer. The site is largely forested and vacant. There is a stream on the site along with floodplains and wetlands. Surrounding uses include single-family residential, commercial, churches and Mebane Fire Station No. 3. The site is identified in the City's Comprehensive Land Development Plan Mebane by Design as having both Secondary Growth Strategy Area and a Jones Drive in South Mebane Oaks Residential Growth Area. There is some Conservation Area identified on the site as well, given the presence of the Stream. Those strategy areas support a general mix of light commercial and residential uses. Development of the site is also informed by a plan that was adopted by the Council in 2007 and is known as the Mebane Oaks Road Small Area Plan. This would provide the extension of Wilson Road from Forest Oaks Lane to Old Hillsborough Road; development of this site would help realize the southern connection of that extension. The proposed request is conditional, meaning it is site specific, and it is for two zoning districts R-8(CD) and B-2(CD) and would be split based on where Wilson Road is located. So, the General Business would be along Mebane Oaks and the Residential zoning would be to the east where the town homes are shown. The City's Bicycle and Pedestrian Transportation Plan shows a sidewalk along Mebane Oaks Road and a multi-use path along Old Hillsborough Road. The applicant is showing a five-foot-wide sidewalk on Mebane Oaks and a 10-foot-wide multi-use path on Old Hillsborough. Additionally, the development shows public and private streets, Wilson Road would be public and the immediate connection to Mebane Oaks would also be a public street. The



private streets are within the townhome community. The town home community would include a private playground area, a picnic area, dog park exercise area, and a walking trail. There are conditions associated with the site-specific plan, those include a minimum 30-foot building separation between the town home buildings with no side yards for the in units. The applicant has proposed an alternative landscaping plan which was detailed in the staff report and approximately one acre of common private recreation area that would be open to all residents. The applicant is asking that the individual town home backyards be considered when evaluating private recreation. Public recreation space is required, so the applicant is requesting to make a payment in lieu of that public recreation area. The payment in lieu would be used to realize some off-site pedestrian improvements for the growing multi-use path network in this area. The applicant would be responsible for installing the crosswalk and pedestrian signals at the intersection of Mebane Oaks Road and Old Hillsborough Road and the remainder of the payment in lieu would be used to connect this development to The Meadows subdivision in the multi-use path network emerging there. Ms. Ownbey stated that the commercial lots would be developed with driveway access from Wilson Road, cross-access between lots supporting interconnectivity and with a restriction of uses. Ms. Ownbey concluded her presentation with a brief overview of the multi-modal and road improvements that would be required based on the traffic study recommendations.

Mike Fox, Attorney with Tuggle Duggins and representative of the applicant, talked about the extensive process to get to this point and the applicant's commitment to "get the project right" for Mebane. Mr. Fox reiterated project highlights as shared by Ms. Ownbey. He shared that Deep River representatives have had extensive conversations with the neighboring property owners, even having met with some of the neighbors. Concerns were related to traffic, wetlands, and wildlife.

Brian Pierce, Deep River Partner, shared some history about their company, sharing that they are a local company that has invested in the Triad community for over 35 years. He named several of their past projects/clients: Trader Joes, Greensboro Surgical Center, Texas Roadhouse, Chick-fil-A, Verizon, Habit Burger, Krispy Kreme, and Aldi.

Mr. White asked if a strip mall type project could be built on the commercial outparcels, stating that he felt that would not be desirable. Mr. Fox replied that it is possible but not the goal as they prefer individual uses on those parcels.

Mr. Pierce spoke briefly on the residential development aspect of the project. He stated that they feel this mixed-use development will offer a great transition between what exists residentially and commercially, tying those things together. He thanked Council for its consideration of the project.

Mr. Fox spoke about the design and development considerations for the project. He stated that the townhomes have not been designed yet. He shared "inspiration" illustration with features that their townhomes would have such as multi-story and one car garage. He also shared the following architectural commitments:

- Facade elevations feature 25% or more stone or brick
- Slab on grade construction
- Single car garages on all units
- 30-year architectural shingles
- Projected Eaves (side, back & front)
- Minimum 1,400 square feet
- Where Vinyl Siding is used, there will be elevation differentiation and variety of textures and muted colors.

Ms. Burkholder requested more details related to parking. Mr. Pierce stated that what they have designed is for single car garages with driveways at least 20 feet beyond the sidewalks, so there are two spaces for each unit and in addition there are 47 off-street parking spaces. He stated that they do exceed the requirements and their goal in creating the off-street parking spaces was to encourage cars to stay off the street. Ms. Burkholder asked if there would be anything that would prevent folks for the retail portion from attempting to park in the residential community. Mr. Pierce said they could certainly consider signage and there would be adequate parking for the retail/commercial pieces of the development.

Mr. Bradley asked what the road widths will be on the private drive. Andrew Christ, Project Manager with Fleming Engineering Inc., stated 22 feet pavement to pavement (27 feet back-to-back) on the private drive and 26 feet pavement to pavement (31 feet back-to-back) on the public roads.

Ms. Ownbey stated that during the TRC process, a note was provided on the site plan disallowing on-street parking and the property management group would make sure that people cannot park on the street.

Per Ms. Hadley's request, Mr. Christ shared information regarding the developer's plans as related to building within a floodplain. He briefly explained the process and assured the Council that there would be no impact on the wetlands and streams by staying outside of their parameters.

The Council expressed its desire to see the front of the townhomes staggered with some depth or to have differentiation so that they are not just flat all the way across. Hardieplank siding was also discussed as a preference. Mr. Pierce stated that the townhomes have not been designed yet but they certainly want to create homes that are attractive, and they have a track record for doing so.

There was brief discussion about the list of restricted uses which the applicant voluntarily offered as a condition.

Dionne Brown, Traffic Engineer with Davenport, shared that the following projects were considered when completing the Traffic Impact Assessment (TIA): the new traffic light, Summit Church, Meadow Phases, Meadowstone Townhomes, and McKay Bookstore. Ms. Ownbey confirmed that the recently approved Evolve project included this Deep River project in its TIA. Mr. Mitchell stated that all TIA's are reviewed by NCDOT and the City contracted traffic engineer.

Mr. Ewing requested more information regarding the proposed buffer between the commercial and residential lots. Mr. Christ stated that between the residential community and the commercial lots lies Wilson Road but they plan to provide landscaping on both sides, the commercial side, and the townhomes side. One of the conditions requested is a reduction of 2 feet, to 8 feet, on the commercial side but an increase on the townhome side from 10 feet to 15 feet.

Ms. Hadley spoke about the importance of capturing all the offered conditions and commitments within the City's approval letter to ensure the City has a means to ensure compliance. Mr. Fox stated all would be followed as part of the zoning process.

Carl Bradley, 4610, Mebane Rogers Road, Mebane, asked a question about the stormwater retention pond on the site plan slide. Mr. Pierce stated that the stormwater retention pond will service the entire site, both the commercial and the residential pieces.

Mr. White made a motion, seconded by Mr. Bradley, to close the public hearing. The motion carried unanimously. Mr. Bradley made a motion, seconded by Ms. Burkholder, to approve the R-8 (CD) and B-2 (CD) zoning as presented and a motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. Specifically, the request:

- Is for properties within the City's G-4, Secondary Growth Area and G-2, Jones Drive and South Mebane Oaks Road Residential Growth Area and proposes a mix of residential and light commercial uses
- Encourages a variety of uses in growth strategy areas to promote a village concept that supports compact and walkable environments, consistent with Growth Management Goal 1.1
- Allows for commercial development to be pedestrian-friendly, supporting walking between different land uses, consistent with Growth Management Goal 1.6
- Improves safety and pedestrian access across major streets such as Mebane Oaks Road, consistent with Public Facilities and Infrastructure Goal 2.1

The motions carried unanimously.

Greg Payne, a 20-year resident of Mebane, announced the creation of the Mebane Community Fund, to be housed at the Alamance Community Foundation. The new fund will pool private donations from individuals and businesses and be used to make grants that improve the quality of life and amenities in Mebane.

The fund is intended to be used for physical, tangible improvements that are visible to the public, located outdoors or in a public building. Examples include public art, improvements to our parks and recreation areas, improvements to trails and greenways, downtown improvements, or for new facilities like a permanent farmers market structure. Governments and non-profit organizations will be eligible to apply for grants. A Mebane Advisory Board will be established to review grant proposals and make recommendations to the board of the Alamance Community Foundation, which will make the final decision. An initial deposit of \$25,000 was required to open a new fund at the Alamance Community Foundation, and that amount has been raised. The next step will be to obtain multi-year pledges from Mebane individuals and businesses to increase the size of the fund. No formal action was taken.

Mark Reich, Alley, Williams, Carmen and King, Inc., presented a request for approval of a change order for the FY 2023-24 Street Repair Contract. He explained that last October the Council awarded the street repair and resurfacing contract to Turner Asphalt GC, LLC for \$725,000 with a provision to allow a 100% extension of the same contract unit prices. The change order work consists of patching/repairing and resurfacing 2.26 miles of City Streets, crack sealing 0.58 miles of City Streets, mill and resurface the Recreation Museum parking lot, crack seal the City Hall and Inspection Department parking lots and patching and resurfacing 2,380 square yards of the Public Works Department parking lot. Total Change Order amount is \$725,000.

Mr. White made a motion, seconded by Mr. Bradley, Motion to approve a change order to Turner Asphalt GC, LLC contract in the amount of \$725,000.00 for the 2023-24 Street Repair and Resurfacing Contract. The motion carried unanimously.

Mr. Smith gave a brief update on the Clay Street Improvement project. He stated that all the underground work has been completed but they are working on six areas of concern that were found. He said they are going to wait until the next resurfacing contract in the next fiscal year to resurface on Clay Street since they did not have near as many pavement cuts as they initially thought.

Ms. Schwartz presented a request for approval of a Bond Order and Series Resolution for revenue bonds and the Elevated Water Tank Capital Ordinance Amendment. Ms. Schwartz provided some background information, sharing that the revenue bonds are for the elevated water tank project that the city determined was needed. The City purchased the property to build the tank and the contract for engineering was awarded to Hazen and Sawyer in the Summer of 2022. In August of this year, the Council adopted the resolution with the intention to issue revenue bonds and provide funding for the elevated water tank through Capital One at a 4.46 % interest rate for 20 years. Construction bids have been received and they were slightly higher than expected. So, the current estimated cost of the project is \$8,425,000. The City has been awarded grant funding for approximately \$2.6 million and the estimated amount to finance is approximately \$5.8 million. Staff is still waiting to hear about a few grant opportunities but because of the time schedule for the project, staff recommends moving forward with the revenue bonds and should the City be awarded grant funding, the revenue bonds could be used to fund other utility projects as there are several coming up. The Bond Order and Series Resolution would formally authorize the issuance of the revenue bonds for the elevated water tank project and approve substantial final fund financing documents and other financing details which will authorize the city staff to complete the bond closing. This is all dependent on the Local Government Commission Approval. Also for approval is a Capital Project Ordinance Amendment 1 which will adjust the budget in the Capital Project Ordinance to increase it to match the new estimate for the project. Additionally, there is a Second Supplemental Trust Agreement and by approving the Bond Order and Series Resolution, that agreement would be approved as well.

Mr. Bradley made a motion, seconded by Mr. Ewing, to approve the Bond Order and Series Resolution. The motion carried unanimously. Ms. Burkholder made a motion, seconded by Mr. Bradley, to approve the Capital Project Ordinance as presented. The motion carried unanimously.

**Bond Order and Series Resolution Authorizing the Issuance of up to \$6,000,000 in  
City Water and Sewer Revenue Bonds for the Elevated Water Tank Project**

*Introduction* --The Mebane City Council, by resolution adopted on August 7, 2023, has stated its proposal to issue revenue bonds to provide funds to carry out a plan (the "Project") to build a new 1-million-gallon elevated water tank and to pay related costs. Revenue bonds are not secured by

the City's taxing power or any physical collateral, but instead by a pledge of the net operating revenues of the City's water and sewer utility system.

The City has applied to the North Carolina Local Government Commission for its approval of the revenue bonds, and the LGC has accepted the City's application. The Council now desires to adopt a bond order to authorize formally the issuance of these revenue bonds for the water tank project, and to approve substantially final financing documents and other details of the financing.

**BE IT ORDERED by the City Council of the City of Mebane, North Carolina, as follows:**

1. There are hereby ordered to be issued, pursuant to the North Carolina Local Government Revenue Bond Act, City revenue bonds (the "2023 Bonds") in an amount not to exceed \$6,000,000 to pay capital costs of water and sewer system improvements, and in particular costs of the planned water tank referenced above, together with related financing and other necessary or incidental costs.

2. The 2023 Bonds will be special obligations of the City, secured by a pledge of the net receipts of the City's water and sewer system. The principal of, and interest and any premium on, the 2023 Bonds shall be payable solely from the sources pledged to the payment. Neither the faith and credit nor the taxing power of the City or any other governmental entity shall be pledged for the payment of the principal of, or interest or any premium on, the 2023 Bonds, and no owner of the 2023 Bonds shall have the right to compel the exercise of the taxing power of any governmental entity in connection with any default on the 2023 Bonds.

3. The City will issue the 2023 Bonds as "Additional Bonds" as provided in the City's existing Master Trust Agreement (the "Master Agreement") for combined utilities revenue bonds dated September 1, 2021. The Master Agreement sets the overall legal framework for all City revenue bonds, including the City's prior revenue bonds, the 2023 Bonds and any future revenue bonds.

**BE IT FURTHER RESOLVED by the Council as follows:**

**A. *Sale of Bonds*** – Capital One Public Funding, LLC (the "Lender") has submitted a proposal to purchase the proposed 2023 Bonds. City staff recommends that the Council accept the proposal, and the Council accepts the proposal. The City asks the LGC to sell the Bonds to the Lender at a private sale, substantially in accordance with this resolution and the Lender's financing proposal dated July 26, 2023.

**B. *Approval of Second Supplemental Agreement; Direction To Execute Agreement*** – The City will issue the 2023 Bonds to the Lender pursuant to a Second Supplemental Trust Agreement (the "Supplemental Agreement") in substantially the form of the draft dated September 25, 2023 presented to this meeting. The Supplemental Agreement sets the terms specifically applicable to the 2023 Bonds, including the interest rate and the payment and prepayment provisions. The Supplemental Agreement will be dated, for identification purposes, as of October 1, 2023.

The Council authorizes the Mayor and the City Manager, or either of them, to execute and deliver the Supplemental Agreement in its final form. The Supplemental Agreement in its final form must be substantially in the form presented, with such changes as the Mayor or the City Manager may approve. The execution and delivery by an authorized City officer will be conclusive evidence of that officer's approval of any changes.

The Supplemental Agreement in its final form, however, must be consistent with the financing plan described in this resolution and must provide (a) for the principal amount of the 2023 Bonds not to exceed \$6,000,000, (b) for an annual interest rate not to exceed 4.46% (in the absence of a default or a change in tax status, substantially as described in the draft Supplemental Agreement), and (c) for a financing term not to extend beyond December 31, 2043.

**C. *Officers To Complete Closing*** – The Council authorizes the City Manager, the Finance Director and all other City officers and employees to take all proper steps to complete the financing in cooperation with the Lender and in accordance with this resolution.

The Council authorizes the City Manager to hold executed copies of all financing documents authorized or permitted by this resolution in escrow on the City's behalf until the conditions for their delivery have been completed to that officer's satisfaction, and then to release the executed copies of the documents for delivery to the appropriate persons or organizations.

Without limiting the generality of the foregoing, the Board specifically authorizes the City Manager to (a) to approve and enter into additional agreements to carry out the financing contemplated by this resolution, including agreements for the custody of Bond proceeds and agreements for appropriate professional services, and (b) to approve changes to any documents previously signed by City officers or employees, provided that the changes do not conflict with this resolution or substantially alter the intent from that expressed in the form originally signed. The City Manager's authorization of the release of any document for delivery will constitute conclusive evidence of that officer's approval of any changes.

In addition, the Council authorizes the City Manager and the Finance Director to take all appropriate steps for the efficient and convenient carrying out of the City's on-going responsibilities with respect to the financing. This authorization includes, without limitation, contracting with third parties for reports and calculations that may be required under this resolution or otherwise with respect to the Master Agreement or the Supplemental Agreement.

**D. Resolutions as to Tax Matters** -- The City will not take or omit to take any action the taking or omission of which will cause the 2023 Bonds to be "arbitrage bonds," within the meaning of Section 148 of the "Code" (as defined below), or "private activity bonds" within the meaning of Code Section 141, or otherwise cause interest on the 2023 Bonds to be includable in gross income for federal income tax purposes. Without limiting the generality of the foregoing, the City will comply with any Code provision that may require the City at any time to pay to the United States any part of the earnings derived from the investment of the financing proceeds. In this resolution, "Code" means the United States Internal Revenue Code of 1986, as amended, and includes applicable Treasury regulations.

**E. Additional Provisions** -- The Council authorizes all City officers and employees to take all further action as they may consider necessary or desirable in furtherance of the purposes of this resolution. The Council ratifies all prior actions of City officers and employees to this end. Upon the absence, unavailability, or refusal to act of the City Manager, the Mayor or the Finance Director, any other of those officers may assume any responsibility or carry out any function assigned in this resolution. In addition, the Mayor Pro Tem, and Deputy or Assistant City Manager or any Deputy or Assistant City Clerk may in any event assume any responsibility or carry out any function assigned in this resolution to the Mayor, the City Manager or the Clerk, respectively. All other Council proceedings, or parts thereof, in conflict with this resolution are repealed, to the extent of the conflict. This resolution takes effect immediately.

This is the 2nd day of October 2023.

**Capital Project Ordinance for the City of Mebane  
Elevated Water Tank Project Amendment One**

**BE IT ORDAINED** by the Governing Board of the City of Mebane, North Carolina, that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following capital project ordinance is hereby adopted:

**Section 1:** The project authorized is the design and construction of an elevated water tank to be financed by the debt and grant proceeds.

**Section 2:** The officers of this City are hereby directed to proceed with the capital project within the terms of the budget contained herein.

**Section 3:** The following amounts are hereby appropriated for the project:

<b>Appropriation</b>	<b>Project Budget</b>
Administrative and legal expenses	\$ 170,360
Architectural & engineering fees	\$ 524,000
Construction	\$ 7,577,000
Contingency	\$ 153,640
<b>Total Expenses</b>	<b>\$ 8,425,000</b>

**Section 4:** The following revenues are anticipated to be available to complete the project:

<b>Revenue</b>	<b>Project Budget</b>
Economic Development Administration (EDA) Grant	\$ 2,502,990
State Capital and Infrastructure Fund (SCIF) Directed Grant	\$ 150,000
Debt Proceeds	\$ 5,772,010
	<b>\$ 8,425,000</b>

**Section 5:** The Finance Officer is hereby directed to maintain within the Capital Project Fund sufficient specific detailed accounting records to satisfy the requirements of the General Statutes of North Carolina.

**Section 6:** Funds may be advanced from the Utility Fund for the purpose of making payments as due.

**Section 7:** The Finance Officer is hereby directed to report, on a quarterly basis, on the financial status of each project element in Section 3.

**Section 8:** The Budget Officer is directed to include a detailed analysis of past and future costs and revenues on this capital project in every budget submission made to this Board.

**Section 9:** Copies of this capital project ordinance shall be furnished to the Clerk to the Governing Board and to the Budget Officer and Finance Officer for direction in carrying out this project.

Mr. Rollins stated that this whole process will begin again for the Water Recovery Resource Facility (WRRF) Expansion and the City can easily use additional funding if granted as the WRRF expansion will be a much larger than the water tank project.

Mr. Brown presented a request for adoption of a Resolution of Intent for Street Closing- Portions of Jackson Street and Short Street. Mr. Brown explained that the City, as applicant, is the owner of land contiguous to portions of Jackson Street and Short Street, which were previously platted but unopened streets, shown on a plat recorded in Plat Book, 83, Page 237 of the Alamance Registry shown as sixty feet (60') in width. Mr. Brown stated that the Resolution of Intent will be published in the Mebane Enterprise according to NCGS requirements as well as the property will posted with a public hearing notice. He stated that staff recommends the adoption of the Resolution of Intent declaring the City's intention to close the portions of Jackson Street and Short Street and to set a date of public hearing for November 6, 2023, to consider adoption of the Street Closing Order.

Mr. Ewing made a motion, seconded by Ms. Hadley, to adopt the Resolution of Intent as presented. The motion carried unanimously.

**RESOLUTION OF INTENT BY THE CITY COUNCIL OF THE CITY OF MEBANE, NORTH CAROLINA  
PURSUANT TO N.C.G.S. §160A-299 TO PERMANENTLY CLOSE  
PORTIONS OF JACKSON STREET AND SHORT STREET**

WHEREAS, the City Council of the City of Mebane, North Carolina has been recently requested to permanently close portions of Jackson Street and Short Street; and

WHEREAS, the City Council of the City of Mebane, North Carolina hereby declares its intent to permanently close portions of Jackson Street and Short Street; and a public hearing on said matter is to be held on November 6, 2023, at 6:00 p.m. in the council chambers of the Glendel Stephenson Municipal Building, 106 E. Washington Street, Mebane, NC 27302;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Mebane as follows:

**Section 1.** The City Council of the City of Mebane, North Carolina, pursuant to N.C.G.S. §160A-299, does hereby declare its intent to permanently close portions of Jackson Street and Short Street, the right of way for which is more particularly described as follows:

A certain tract or parcel of land in Melville Township, Alamance County, North Carolina adjoining the lands of the unopened right of way of Jackson Street, the unopened right of way of Short Street, Willard Rogers and wife Evelyn A. Rogers parcel ID number 165064, Elizabeth Foust Heirs parcel ID number 165070, the City of Mebane property parcel ID numbers 165218, 165069, 165075, 165076, and 165077, and being more particularly described as follows:

BEGINNING at an iron stake found in the northern margin of the unopened 60 foot right of way of Short Street, said iron stake found being a corner between Willard Rogers and wife Evelyn A. Rogers parcel ID number 165064 and the City of Mebane property parcel ID number 165069 and running thence with said northern margin of the unopened 60 foot right of way of Short Street S 86° 38' 27" E 150.00 feet to an iron stake found at the intersection of the northern margin of the unopened 60 foot right of way of Short Street and the western margin of the unopened 60 foot right of way of Jackson Street being the southeastern most corner of the City of Mebane property parcel ID number 165069; running thence with the western margin of the unopened 60 foot right of way of Jackson Street N 03° 18' 39" E 375.15 feet to an iron stake found said iron stake found being a corner between Elizabeth Foust Heirs parcel ID number 165070 and the City of Mebane property parcel ID number 165069; running thence perpendicular across the unopened 60 foot right of way of Jackson Street S 86° 41' 21" E 60.00 feet to an iron stake set in the eastern margin of the unopened 60 foot right of way of Jackson Street in the line of the City of Mebane property parcel ID number 165077; running thence with said eastern margin of the unopened 60 foot right of way of Jackson Street the following three(3) calls: S 03° 18' 39" W 171.38 feet to an iron stake found corner between the City of Mebane property parcel ID 165077 and the City of Mebane property parcel ID 165076; thence S 03° 18' 39" W 50.09 feet to an iron stake found corner between the City of Mebane property parcel ID 165076 and the City of Mebane property parcel ID 165075; thence S 03° 18' 39" W 185.72 feet to an iron stake found at the intersection of the eastern margin of the unopened 60 foot right of way of Jackson Street and the southern margin of the unopened 60 foot right of way of Short Street said iron stake found being the southwestern most corner of the City of Mebane property parcel ID number 165075 in the line of the City of Mebane property parcel ID number 165218; running thence with said southern margin of the unopened 60 foot right of way of Short Street the following two(2) calls: S 81° 43' 01" W 138.80 feet to an iron stake found; thence N 86° 38' 27" W 74.08 feet to an iron stake set in the southern margin of the unopened 60 foot right of way of Short Street being in the line of the City of Mebane property parcel ID 165218; running thence perpendicular across the unopened 60 foot right of way of Short Street N 03° 21' 33" E 59.87 feet to the POINT AND PLACE OF BEGINNING containing 0.762 acres plus or minus of unopened road right of way to be abandoned.

The foregoing descriptions were obtained from a survey and map prepared by Alley, Williams, Carmen & King, Inc., Engineers, Architects & Surveyors, dated August 30, 2023, Job No. 22021 and recorded in Plat Book 83 Page 237 of the Alamance County Registry.

**Section 2.** That the City Clerk shall duly advertise that a public hearing will be held on these matters in the Council Chambers, Mebane, North Carolina on November 6, 2023, at 6:00 p.m.

The foregoing resolution was duly adopted by the City Council of the City of Mebane at the meeting held on the 2<sup>nd</sup> day of October 2023.

Ms. Ownbey came forward to introduce an informational item. She shared that at the September 2022 Council meeting, the Council received a brief presentation from a representative of Orange County to kick off the U.S 70 multimodal Corridor study. Since then, staff has been meeting on a regular basis with other communities involved in that study. A public information workshop was



also held in early March of 2023. Ms. Ownbey introduced Orange County Transportation Planning Manager Darlene Weaver. Ms. Weaver gave an update on the progress of the study via the attached PowerPoint. No formal action was taken.

Mr. Brown presented a request for approval of an Ordinance Amendment- Deletion of Inconsistent Code Provision- *Section 34-134- Riding on sidewalks prohibited*. Mr. Brown explained that the Mebane Code of Ordinances was adopted in 2002. Section 34-94 was amended in 2019 to allow the riding of bicycles on sidewalks except for in the business district. Section 34-134 which prohibited the same was not deleted at that time. He stated that staff recommends the deletion of the latter referenced Section so that Section 34-94 is controlling, as intended. Mr. Brown stated that there has been a recent inquiry regarding motorized bicycles which led to staff discussion. Staff feels that motorized bicycles should not be on the sidewalks in any areas. Mr. Brown said, with that said, he would like to offer additional language to the existing ordinance which would state that motor assisted bicycles of any type are prohibited on sidewalks whether powered by electricity, combustion engine or other technology.

Mr. Bradley questioned if that would include scooters, like the pay by card rental type scooters in some cities. Mr. Brown stated if the Council desires, the amendment could include such scooters.

Mr. White stated that some children get motorized scooters as gifts, so he would not want to exclude kids from being able to enjoy those on the sidewalks.

Mr. Ewing said electric bikes are considered to be any bike over 750 watts and asked if the city would the city be encroaching on any federal laws.

The Council requested Mr. Brown to investigate the motorized bicycle portion further, with clearer parameters, identifying definitions for motorized bicycles and with distinction of use on sidewalks vs multi-use paths.

Mr. White made a motion, seconded by Ms. Hadley, to approve the deletion of Section 34-134 from the Code of Ordinances as recommended. The motion carried unanimously.

Mr. Brown presented a request for approval of a 2004 Plat Revision- Removal of No Build Line from the Creekside Subdivision Plat. He explained that the plat for the Creekside Subdivision was approved by the Council in 2004. The seven-lot plat, as approved and recorded, showed a "No Build" line on each lot at the depth of two hundred eighty feet (280'). Kevin L. Jackson, the owner of Lot 7, has applied for a building permit for an accessory structure to be located beyond the No Build Line. City staff in reviewing his request brought the No Build Line issue to Mr. Jackson's attention. Staff research on the appearance of the No Build Line has not shown the reason for the No Build Line. Because the City Council approved the plat in 2004, staff recommended that the removal of the No Build Line be approved. In lieu of the expense of a current survey of the seven-lot subdivision and approval of a new plat, staff recommended a recordable agreement signed by all seven lot owners, agreeing to the same. A copy of the Agreement would be recorded along with a certified copy of Council's action, in the Registry. Mr. Ewing made a motion, seconded by Ms. Burkholder, to approve the agreement of the seven lot owners to remove the No Build Line and a motion to approve the removal of the No Build Line from the plat of the Creekside Subdivision, prepared by R.S. Jones & Associates, Inc., Land Surveyors, dated June 22, 2004, as recorded in the Alamance County Registry in Plat Book 69, page 136, and to evidence this City Council action by Resolution, copy of which should be recorded in the Alamance County Registry along with the lot owners' agreement to the same. The motions carried unanimously.

Ms. Ownbey presented a request for approval of appointment to the City of Mebane Bicycle and Pedestrian Advisory Commission (BPAC). She explained that a recent member of the BPAC could no longer serve, and that seat is now vacant. Three applications were received. The term for the appointed member would expire in January 2025.

Ms. Burkholder thanked all the applicants for submitting. She then made a motion, seconded by Mr. Bradley, to appoint Jennifer Nunez. The motion carried unanimously.

Mayor Hooks shared several announcements regarding upcoming events.

There being no further business, the meeting adjourned at 7:51 p.m.

ATTEST:

\_\_\_\_\_  
Stephanie W. Shaw, City Clerk

\_\_\_\_\_  
Ed Hooks, Mayor

DRAFT



# US 70 Multimodal Corridor Plan

Mebane

# US 70 Study Overview

- In-depth review of US 70 Corridor
  - NC 119 in Mebane to Orange/Durham County line (NC 751)
  - US 70 Business from NC 86 (Churton Street) to US 70
- Develop long-term vision for:
  - US 70 roadway itself
  - Surrounding communities and natural areas
- Focus is on preserving/enhancing:
  - Safety
  - Multi-modal options (access & connectivity)
  - Environmental features
  - Economic opportunities
- Project Study Team
  - City of Mebane & Town of Hillsborough
  - BGMPO & DCHC MPO
  - Alamance and Orange Counties
  - NCDOT
  - Consultant Team (VHB and Rose & Associates)



**US 70 Multimodal Corridor Study**

# US 70 Study Background

- US 70 Corridor
  - ~19 miles: US 70 (minor arterial)
    - 3 miles: US 70 Bus (major collector/other arterial)
  - Links Durham, Hillsborough & Mebane
    - I-85 and I-40 handle bulk of traffic
    - Alternate route during I-85 incidents
  - Crucial northern access via NC 86 & NC 57
- Land Use Context
  - Significant natural & cultural constraints
  - Rural/Suburban/Urban: Varies by segment
  - Economic potential





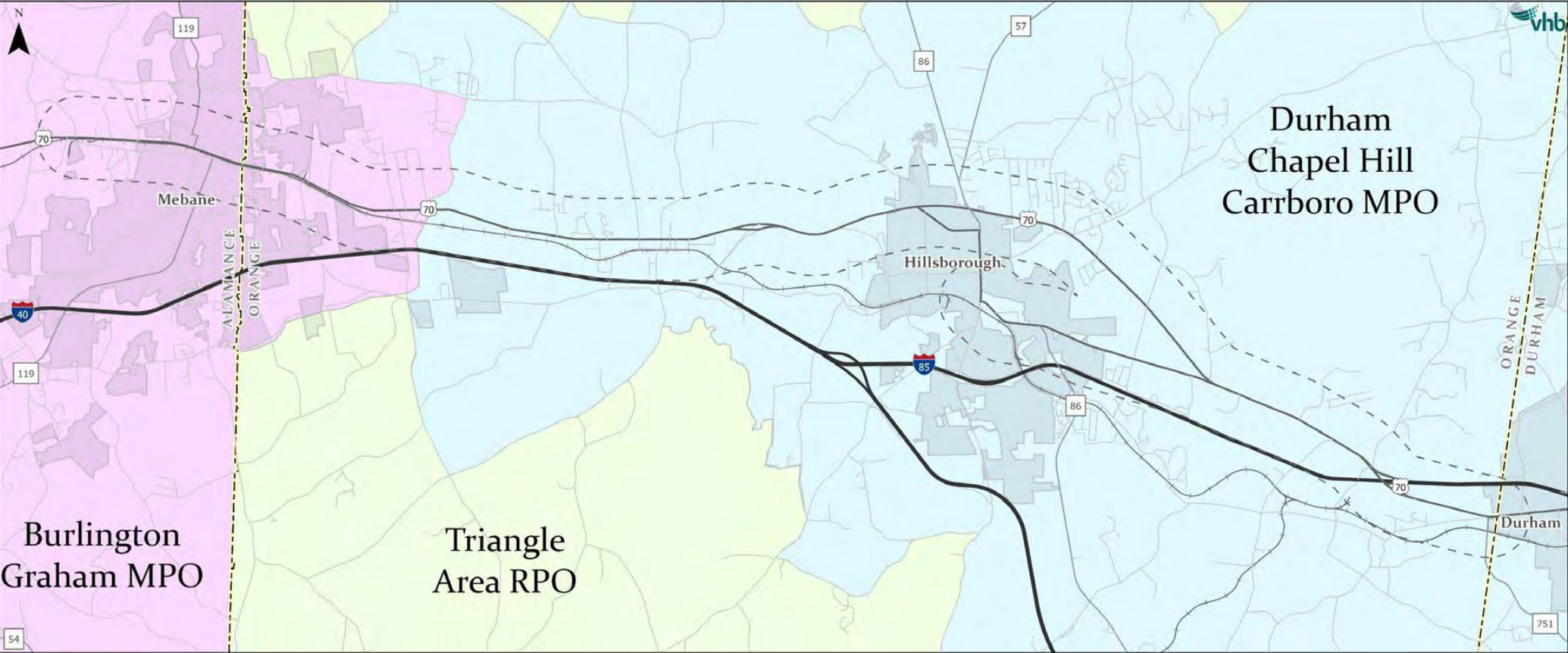
# US 70 Study Background

- Roadway Characteristics
  - Primarily 2-lane with 4' paved shoulders
  - 120' ROW (RR constraints in Mebane)
  - 13 traffic signals
  - Primarily 45-mph speed limit
  - Rolling terrain & curvature in segments; limited passing
  - No bicycle facilities; limited pedestrian facilities
- Need better multi-modal access & functionality
  - **Safety!**
  - Transit options and access
  - Preserve & enhance environment
  - Provide economic opportunities
  - Balance desired improvements with long-term maintenance
    - Municipal/County/State



**US 70 Multimodal Corridor Study**

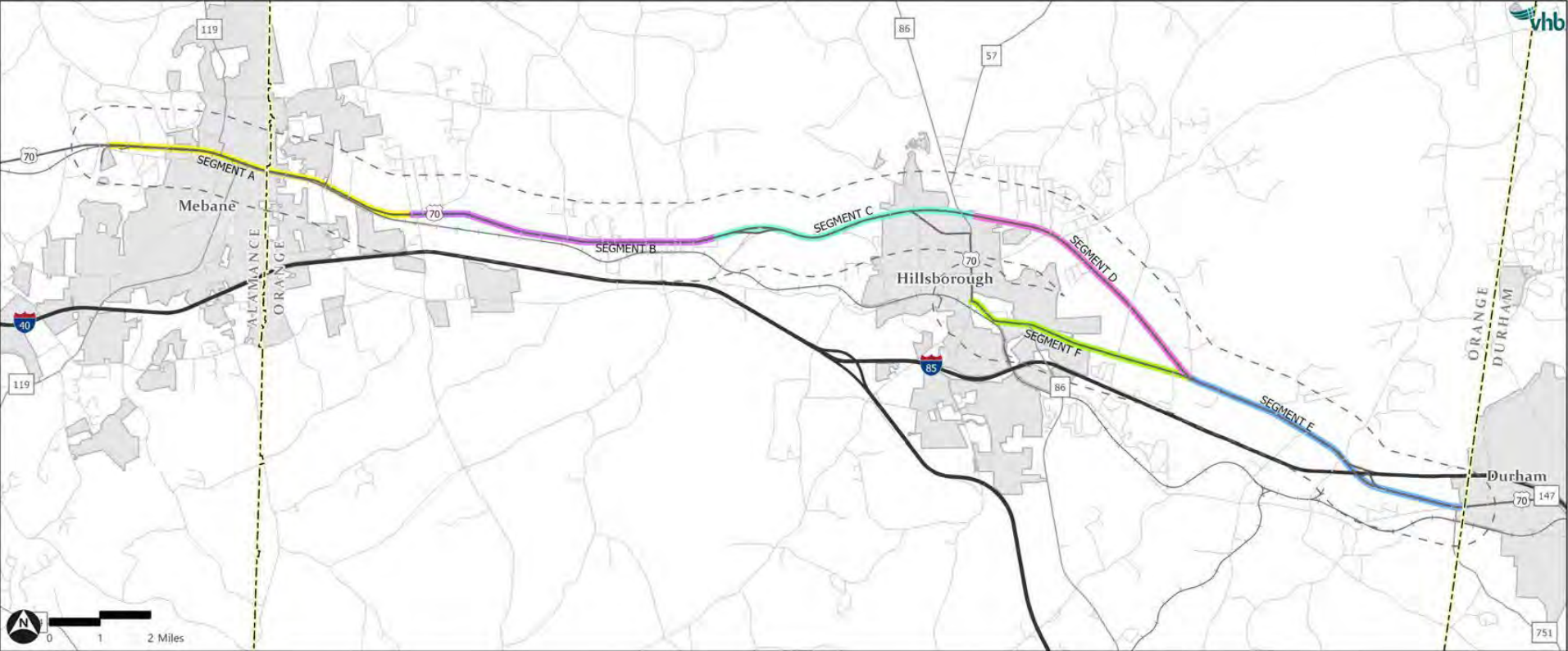
# Corridor Location & Planning Jurisdictions



- Legend
- US 70 Corridor Study Buffer
  - Municipal Boundary
  - County Boundary
  - Railroad Track
  - Burlington Graham MPO
  - Durham Chapel Hill Carrboro MPO
  - Triangle Area RPO



# Corridor Segments

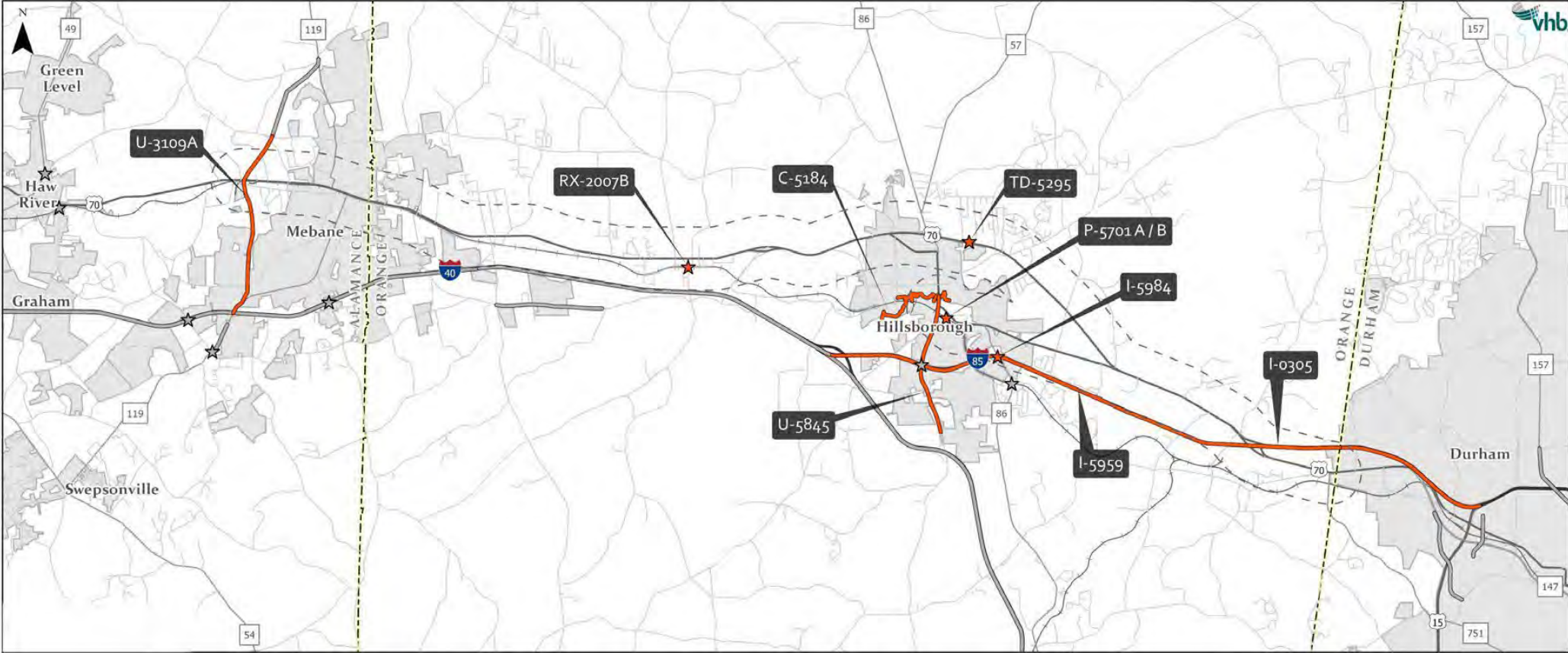


## Legend

- Segment A
- Segment B
- Segment C
- Segment D
- Segment E
- Segment F
- US 70 Corridor Study Buffer
- County Boundary
- Municipal Boundary
- Railroad Track

- Segment A - US 70 from NC 119 to Mace Road
- Segment B - US 70 from Mace Road to Lloyds Dairy Road
- Segment C - US 70 from Lloyds Dairy Road to east of NC 86 (Churton Street)
- Segment D - US 70 from east of NC 86 (Churton Street) to US 70 Business
- Segment E - US 70 from US 70 Business to the Orange / Durham County Line
- Segment F - US 70 Business from NC 86 (Churton Street) to US 70

# Current 2020-2029 NCDOT STIP Projects



- Legend
- US 70 Corridor Study Buffer
  - Municipal Boundary
  - ★ STIP Points within Project Area
  - STIP Lines within Project Area
  - County Boundary
  - Railroad Track
  - ★ Other STIP Projects
  - Other STIP Projects

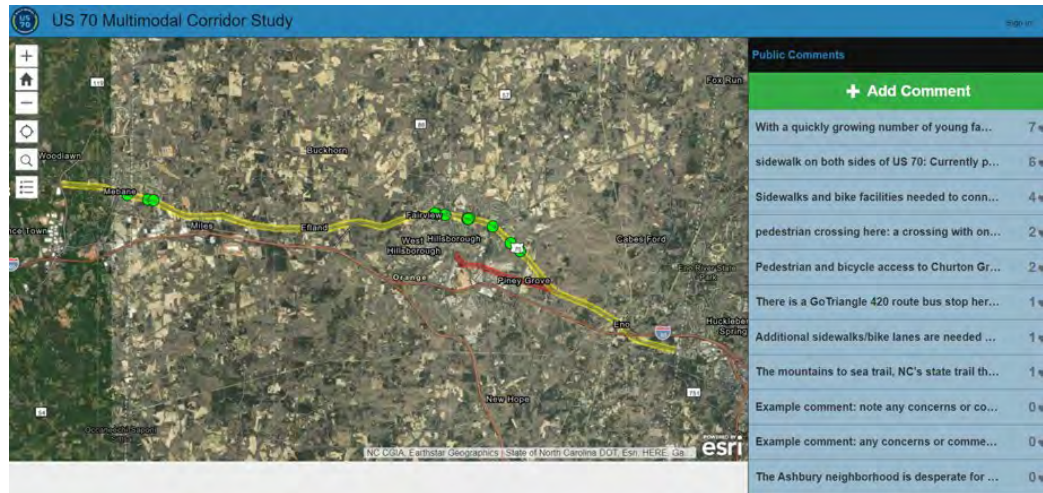
**US 70 Multimodal Corridor Study**





# Project Website

- General project information
- [www.us70west.com](http://www.us70west.com)
- Interactive map/comment opportunity
- Public Meeting details



## Welcome to the US 70 Multimodal Corridor Study

The Durham Chapel Hill Carrboro Metropolitan Planning Organization (DCHC-MPO) is conducting a study of **U.S. 70 West, from NC 119 in Mebane to U.S. 751 in Orange County**. The Corridor Study ("the Study") will provide recommendations for future development of the transportation corridor.



A corridor study for a transportation corridor defines policies and actions that will guide how a corridor should be maintained or changed. This is a process that is community-led and relies on significant community involvement. This website will serve as the announcement board for events pertaining to the study and various activities the study will be undertaking.

The US 70 West Corridor has experienced and will continue to experience an explosion of residential and employment growth. Planning transportation use of the corridor moving forward will be integral to maintaining the community vision and character of the area, while celebrating growth and development.



# Project Newsletter

Learn more at [www.us70west.com](http://www.us70west.com) NEWSLETTER | FEBRUARY 2023 1

## US 70 Multimodal Corridor Study

The Durham Chapel Hill Carrboro Metropolitan Planning Organization (DCHC-MPO) is conducting a study of **U.S. 70 West, from NC 119 in Mebane to U.S. 751 in Orange County**. The Study will provide recommendations for future development of the transportation corridor with specific focus on multimodal facilities.

A corridor study for a transportation corridor defines policies and actions that will guide how a corridor should be maintained or changed. This is a process that is community-led and relies on significant community involvement. The project website ([www.us70west.com](http://www.us70west.com)) is a convenient resource for tracking the progress of the study, providing feedback, and checking the schedule and location of outreach activities.


Planning for the transportation use of the corridor moving forward is integral to maintaining the community vision and character of the area, while supporting growth and development.

### Corridor Study Status

The study is expected to take approximately fifteen months, culminating with a published report in Fall 2023. The study team has analyzed the existing corridor with respect to traffic speeds and volumes, crashes, pedestrian and bicycle travel, transit service, and the character and condition of the roadway itself. Initial findings related to existing conditions will be available at the first round of community meetings. The team understands that the corridor is made up of many unique segments that will require tailored recommendations, and we need your input to help identify and prioritize both problems and potential solutions.

Learn more at [www.us70west.com](http://www.us70west.com) NEWSLETTER | FEBRUARY 2023 2

### Project Schedule



### Community Meetings Round #1

- ★ **MARCH 7 | 5:00 - 7:00 PM**  
Passmore Center  
103 Meadowlands Dr  
Hillsborough, NC 27278
- ★ **MARCH 9 | 5:00 - 7:00 PM**  
Mebane Arts and Community Center  
633 Corregidor Street  
Mebane, NC 27302
- ★ **MARCH 14 | 5:00 - 7:00 PM**  
Town Hall Annex  
105 E Corbin Street  
Hillsborough, NC 27278

**Your Input is Needed!**

Please visit the project website ([www.us70west.com](http://www.us70west.com)) to sign up for project updates. The website includes an online map to virtually provide your comments and concerns regarding the U.S. 70 West Corridor. We would like to hear where you might also like to see improvements including bicycle and pedestrian connections, and enhancements to local and regional bus service and facilities.

The meeting will be an open house informational meeting with a short presentation at 5:00 and 6:00 PM. There will also be an opportunity for interactive activities to express your thoughts as well as speak directly with study team members.

### Other Ways to Get Involved

Visit the project website to sign-up for email updates ([www.us70west.com](http://www.us70west.com)), provide more comments, and review project materials.

**PROJECT CONTACT**  
Nishith Trivedi  
Project Manager, Orange County Public Transportation  
(919) 245-2007  
ntrivedi@orangecountync.gov

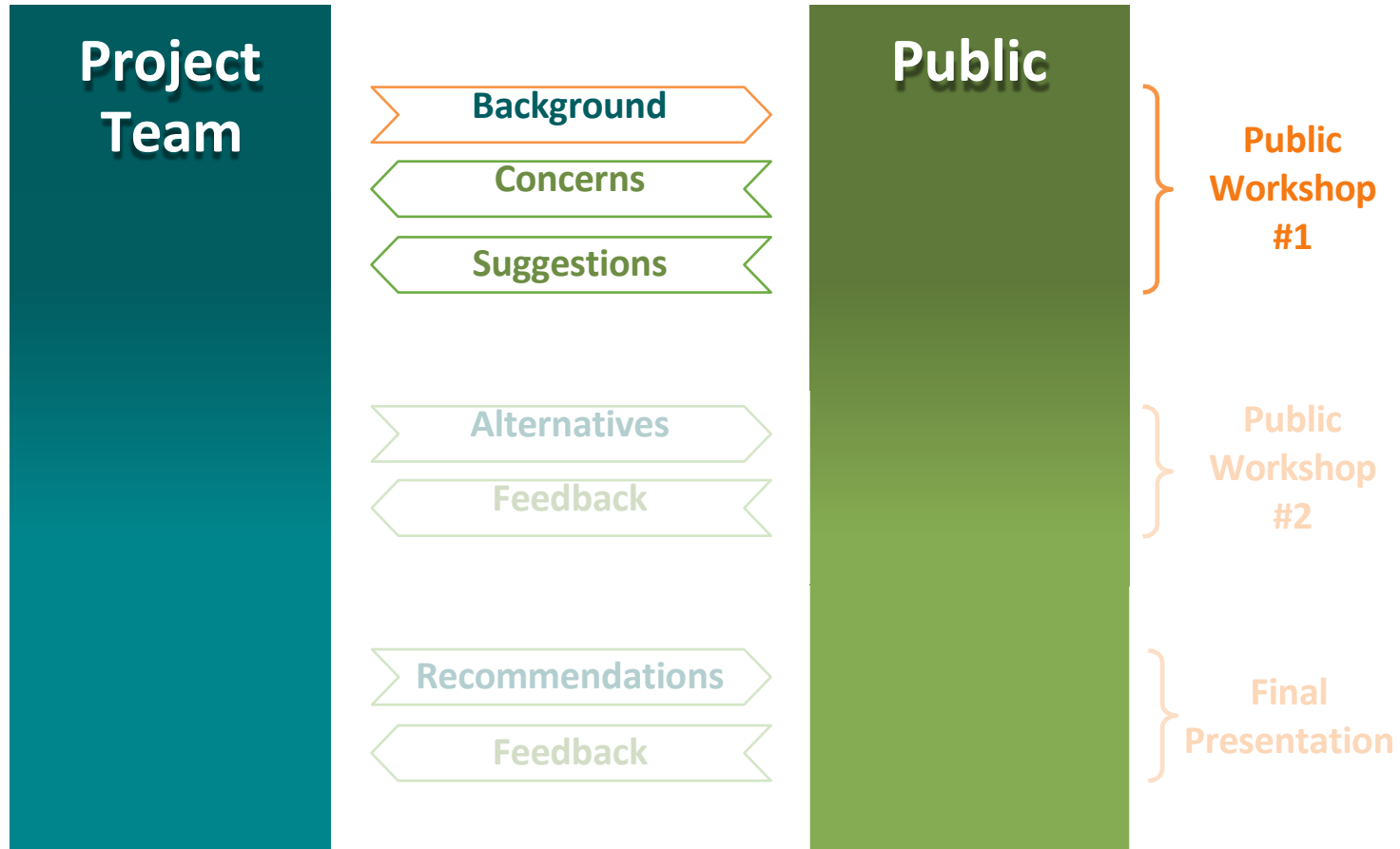




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**Town Hall Annex**  
105 E Corbin Street, Hillsborough, NC 27278

# Public Participation – Round 1



# Workshop Format

- Technical presentation at 5pm and 6pm
- Information boards with team members to have 1:1 discussions
- Interactive Activities
  - Sticker activity for problem identification
  - Bead voting activity to identify local priorities for improvements



**US 70 Multimodal Corridor Study**

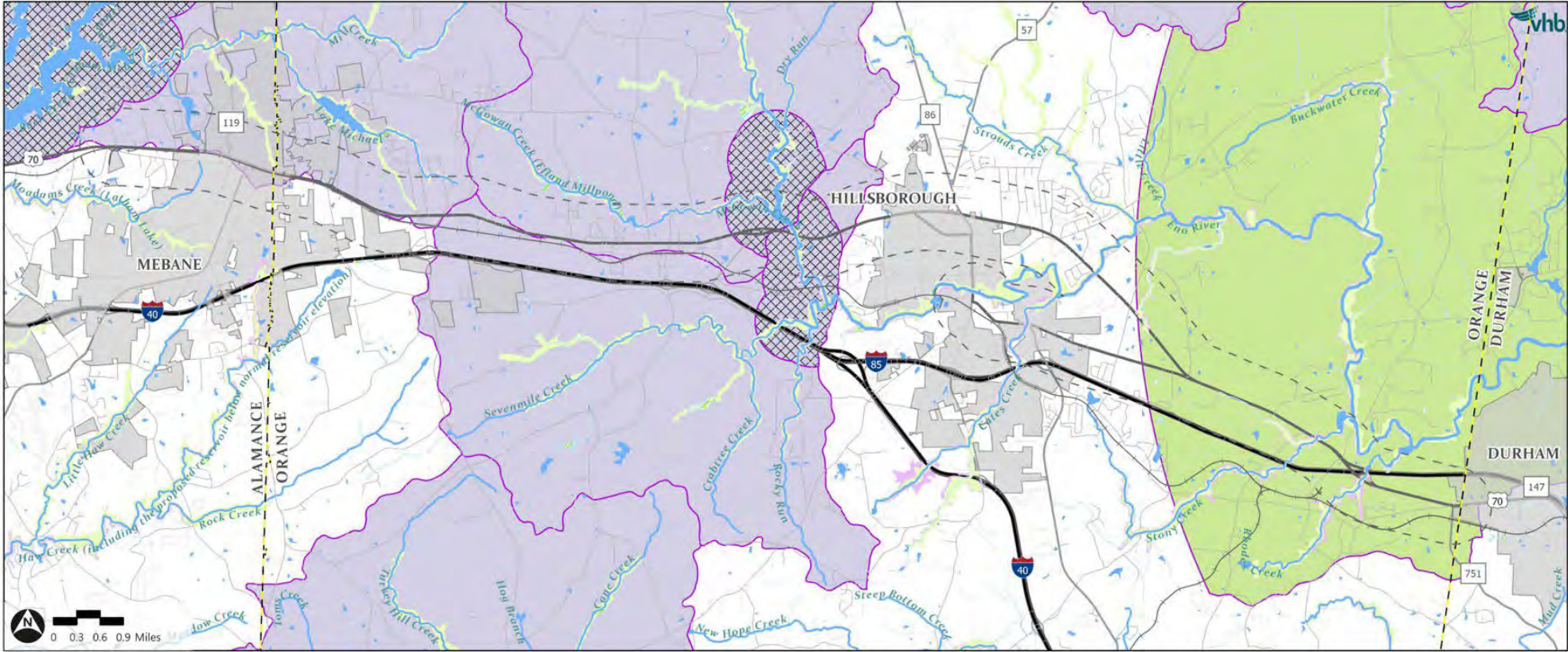




# Environmental Context



# Water Quality, Sources, & Watersheds





# Natural Features



- Legend
- US 70 Corridor Study Buffer
  - Railroad Track
  - Conservation Tax Credit Property
  - Parks and Open Space
  - County Boundary
  - Managed Area
  - VAD
  - Orange County Park
  - Municipal Boundary
  - Land Trust Conservation Property
  - State Owned Land
  - Other Open Space

# Wildlife Resources

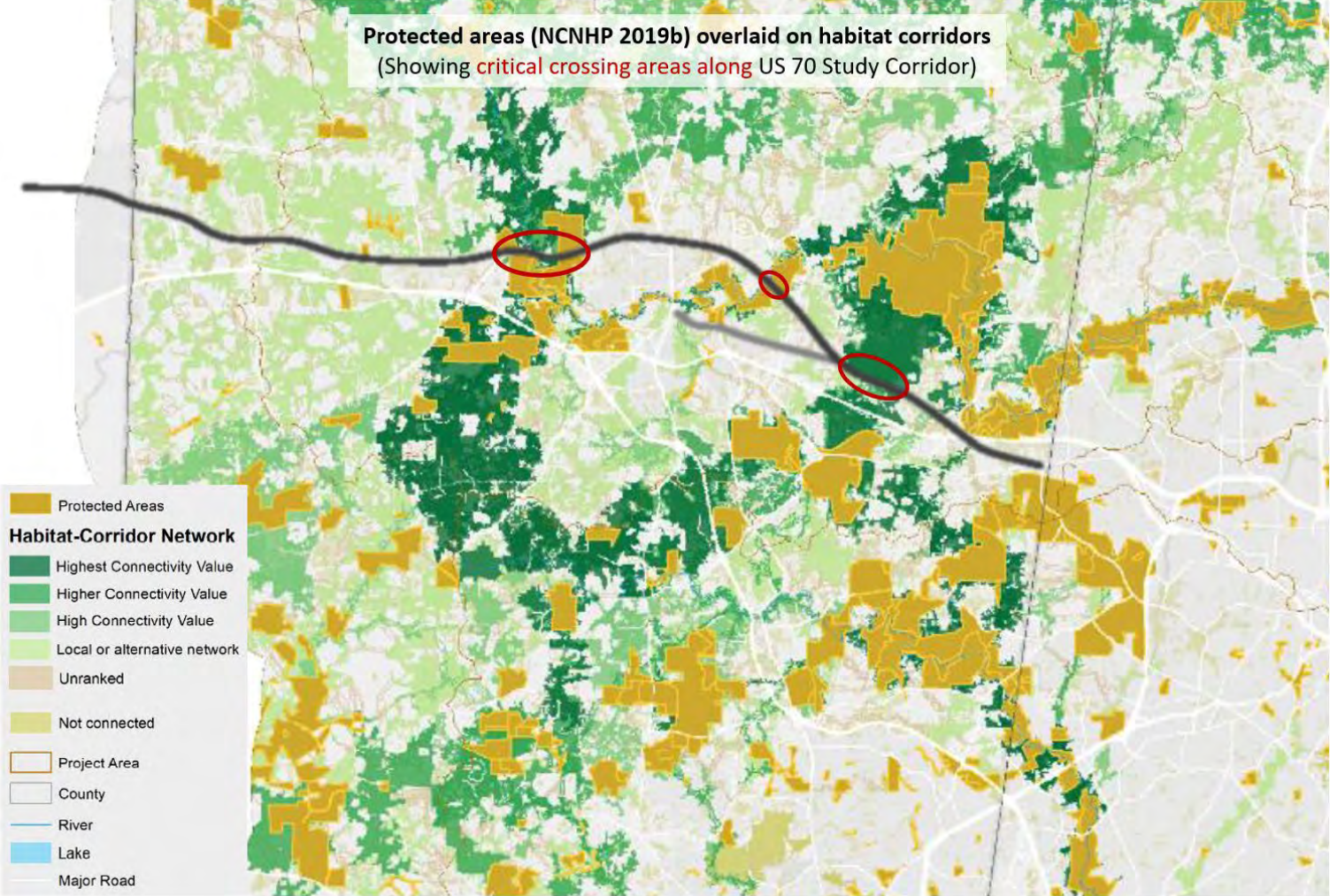


- Legend
- US 70 Corridor Study Buffer
  - Municipal Boundary
  - County Boundary
  - Railroad Track
  - Natural Heritage Natural Area (NHNA)
  - Animal
  - Natural Community
  - Plant





# Major Wildlife Corridors & Critical US 70 Crossing Areas



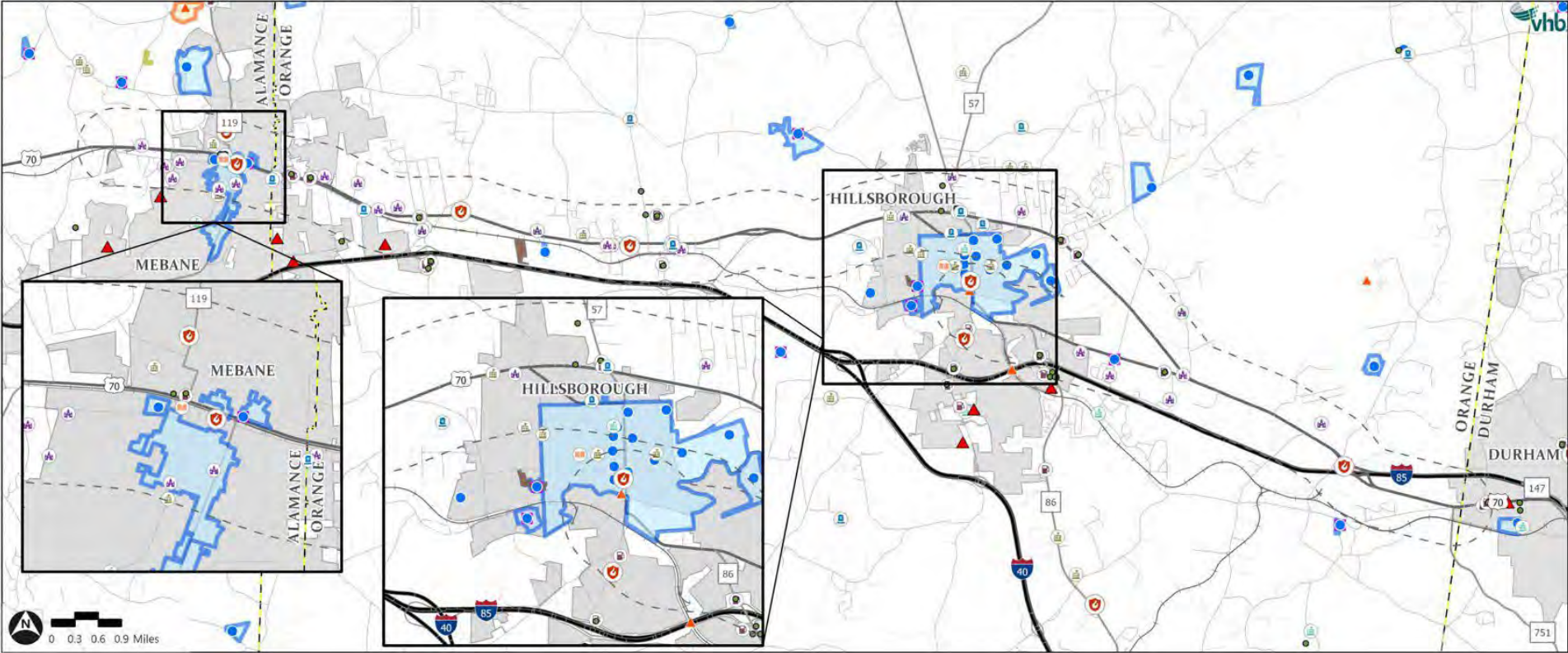
Adapted from A Landscape Plan for Wildlife Habitat Connectivity, 2019



US 70 Multimodal Corridor Study



# Places of Interest



- Legend
- US 70 Corridor Study Buffer
  - County Boundary
  - Municipal Boundary
  - Railroad Track
  - ✈ Airport
  - ⚰ Cemetery
  - 📖 Public Library
  - 🚒 Fire Station
  - ⛽ Gas Station
  - Underground Storage Tank
  - 🏠 Places of Worship
  - 🎓 Public School
  - 🎓 Private School
  - ▲ Hazardous Waste Site
  - Brownfield Boundary
  - Historic District
  - National Register individual listing
  - 🏠 NR and Local Landmark
  - ▲ Determined Eligible - DOE
  - SLDOE
  - DOE





# Transportation

# Existing Pedestrian & Bicycle Networks



- Legend
- US 70 Corridor Study Buffer
  - Municipal Boundary
  - County Boundary
  - Railroad Track
  - Existing Shared Use Path
  - Existing Sidewalk
  - Existing Bike Lane
  - Urban
  - NC Bike Route System
  - County

**US 70 Multimodal Corridor Study**



# Existing Transit Routes



- Legend
- US 70 Corridor Study Buffer
  - County Boundary
  - Municipal Boundary
  - Go Triangle Transit Stops
  - PART Transit Stops
  - Go Durham Transit Stops
  - Go Triangle Transit Routes
  - PART Transit Routes
  - Hillsborough Circulator
  - Go Durham Transit Routes



# Regional Hiking & Biking Routes



Legend

- US 70 Corridor Study Buffer
- Municipal Boundary
- County Boundary
- Railroad Track

Mountains to Sea Trail

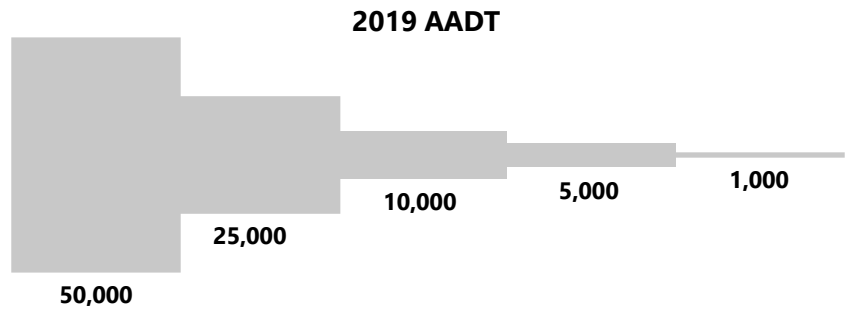
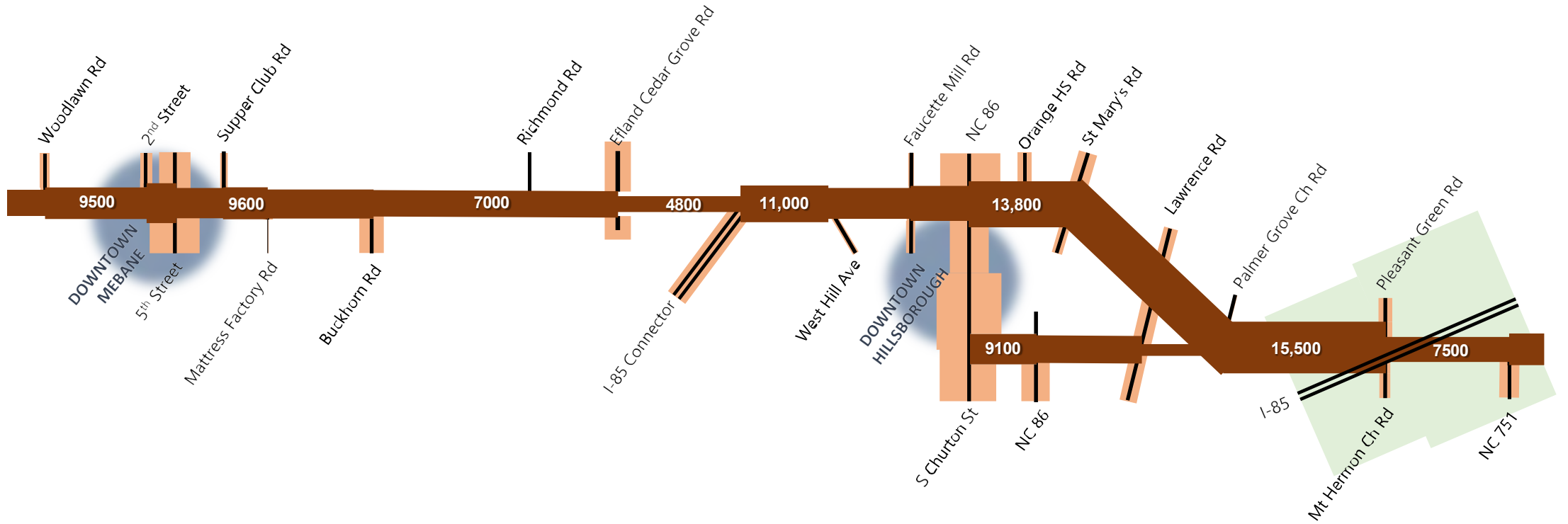
- Roads
- Trails
- Alternate Routes

NC Bike Route System

- County
- Urban

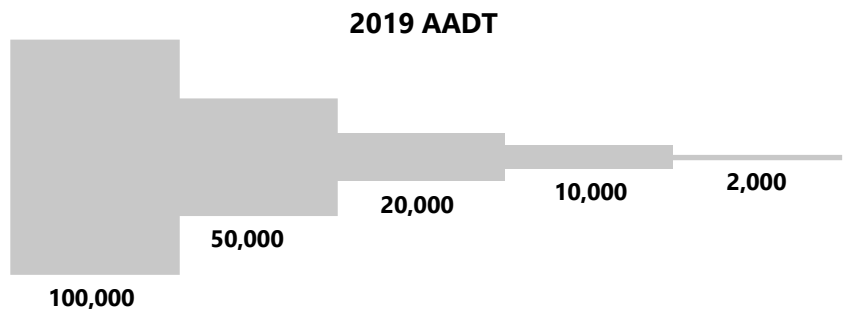
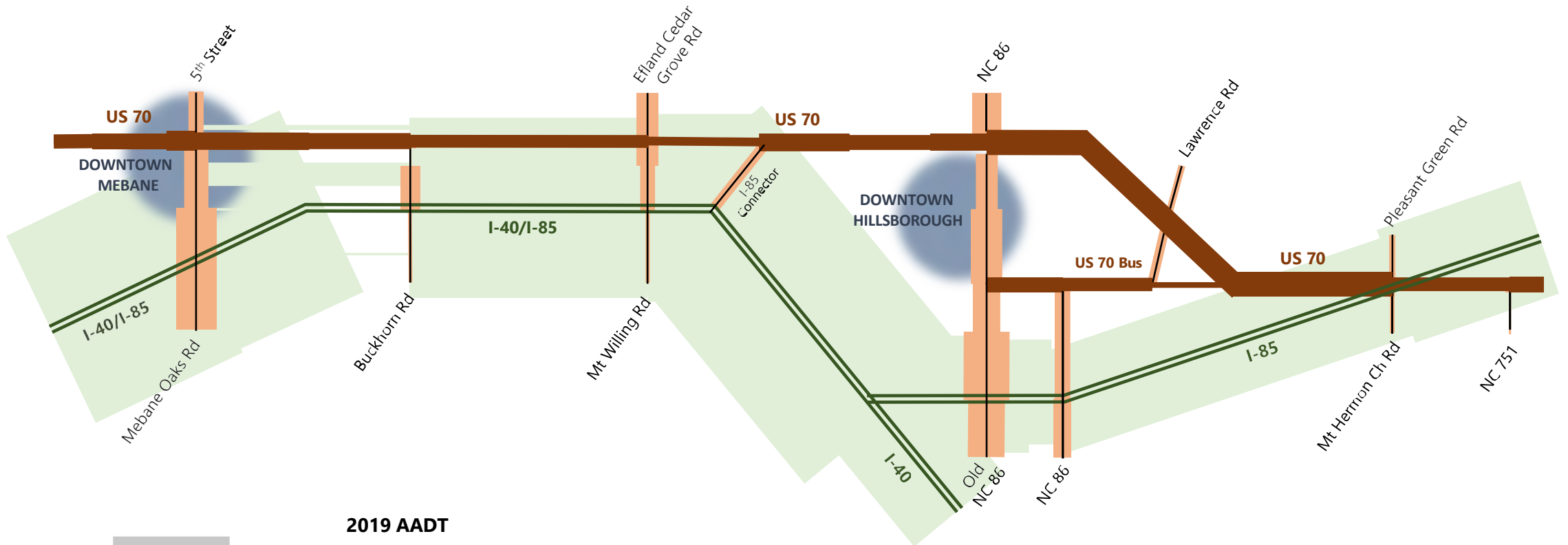
**US 70 Multimodal Corridor Study**

# Relative 2019 Traffic Volumes in Study Area



- Study Corridor
- Major Intersecting Roads
- Interstates

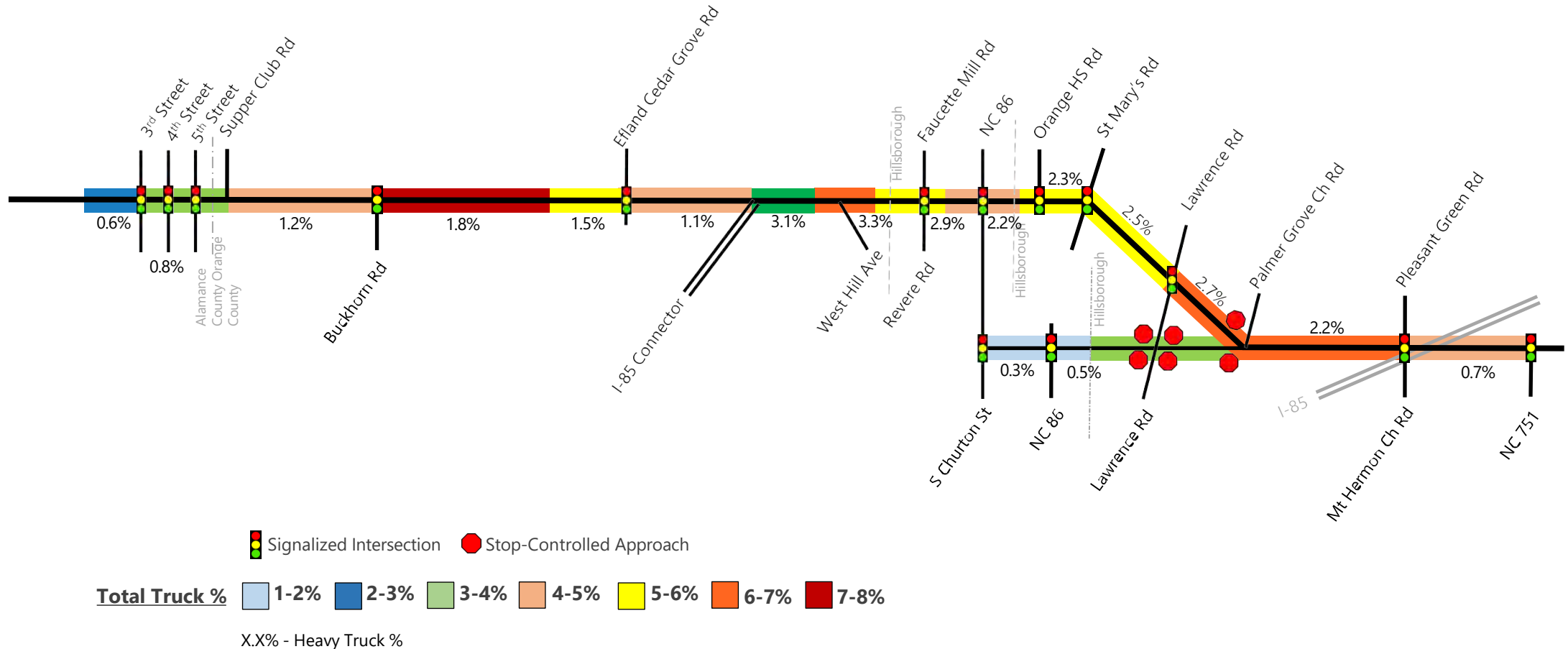
# Relative 2019 Traffic Volumes in Study Area



- Study Corridor
- Major Intersecting Roads
- Interstates

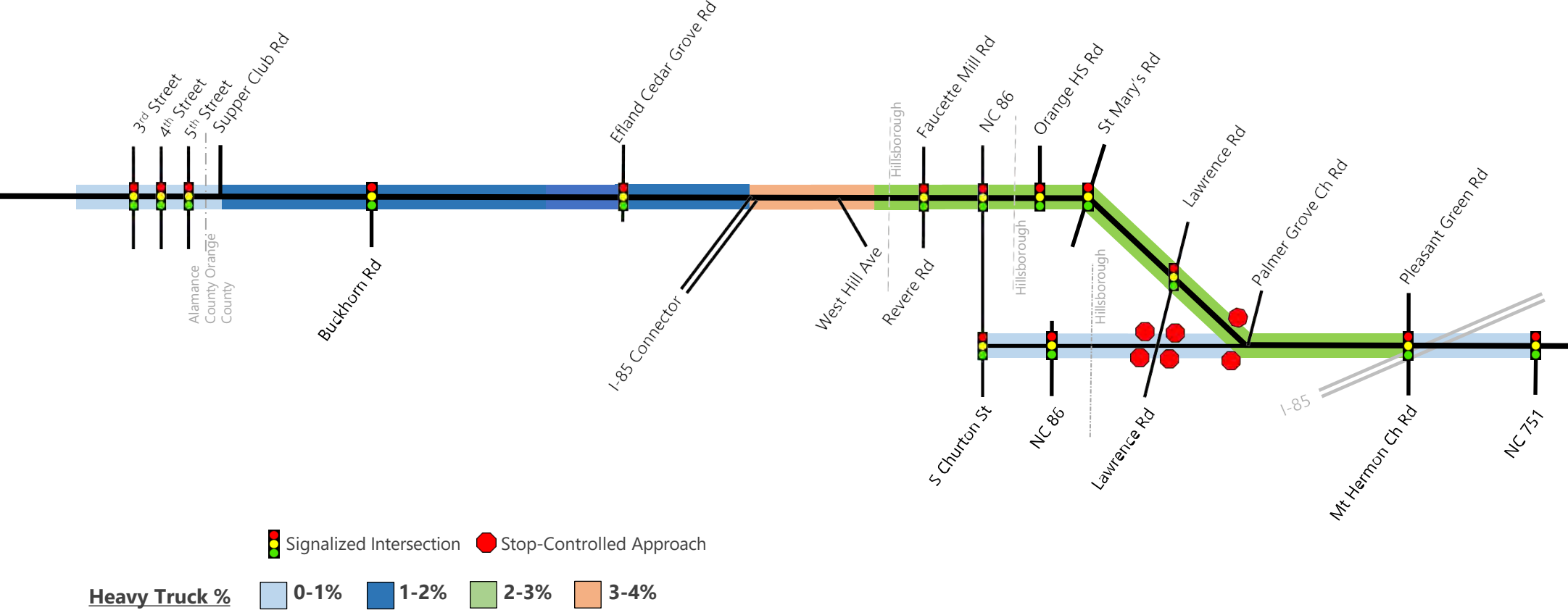
# Total Truck Percentages

Estimated from 2019 Location-Based Services



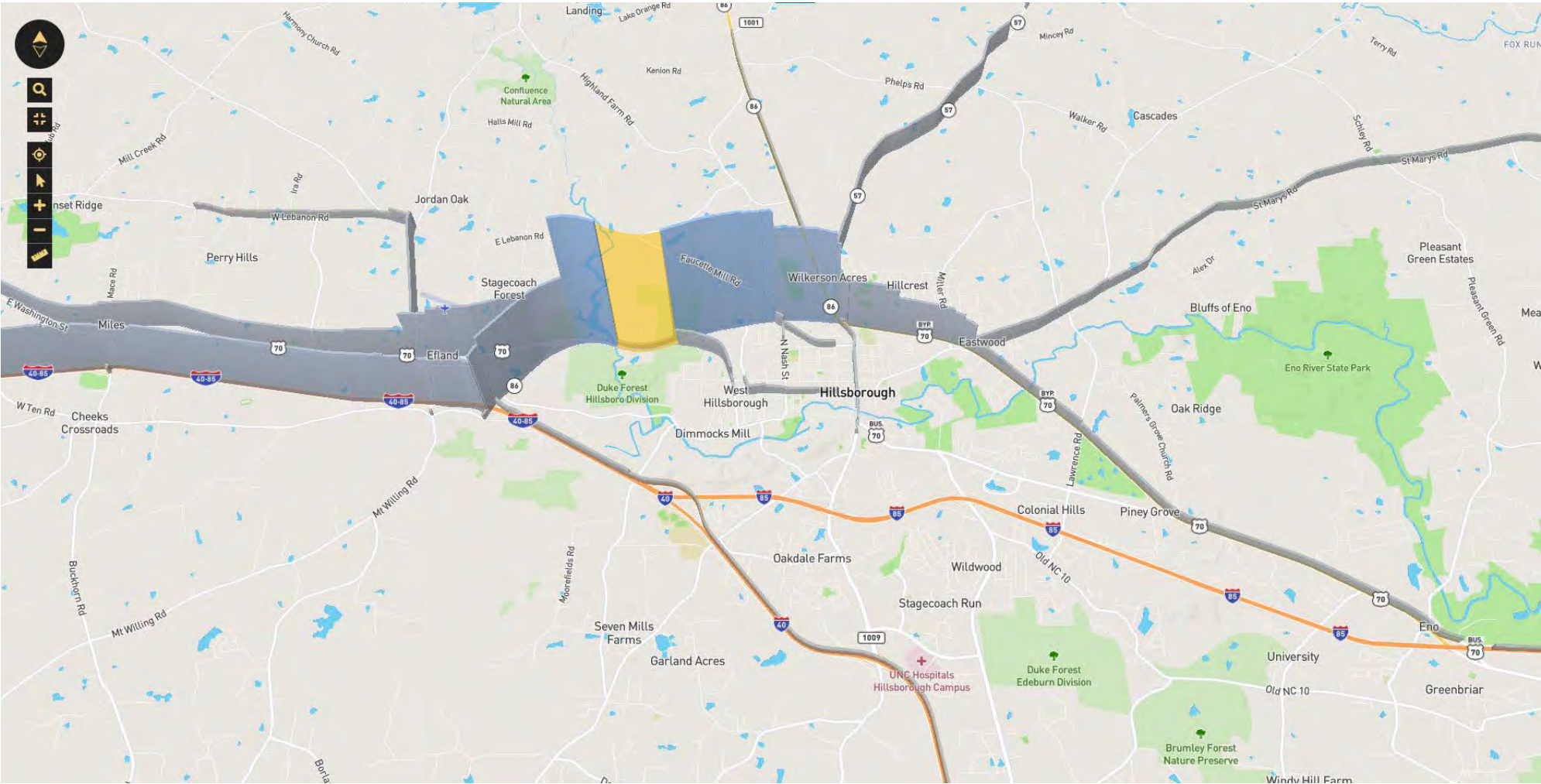
# Heavy Truck Percentages

Estimated from 2019 Location-Based Services



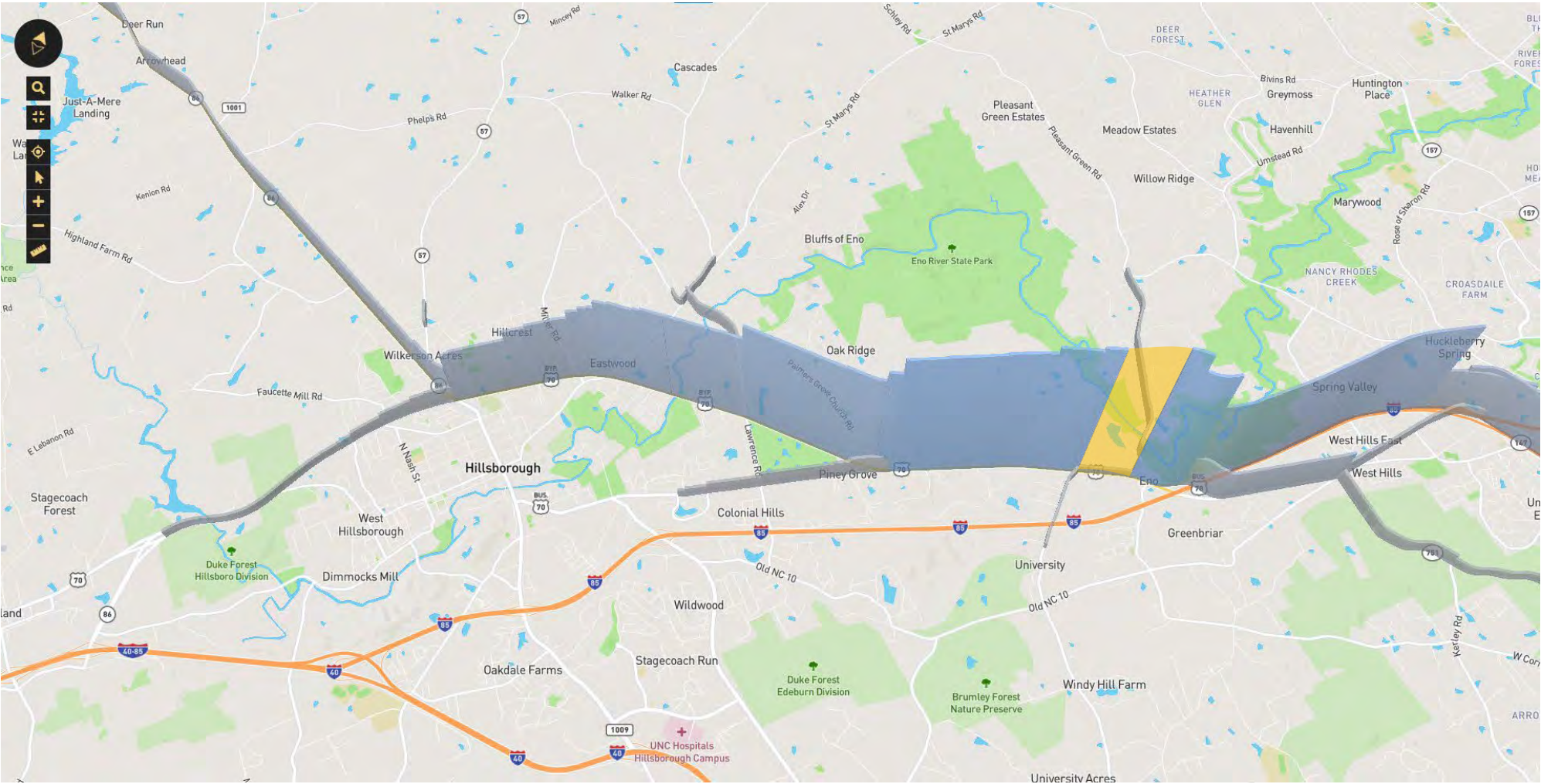


# Distribution of US 70 trips for point west of West Hill St (2019 StreetLight LBS Data)



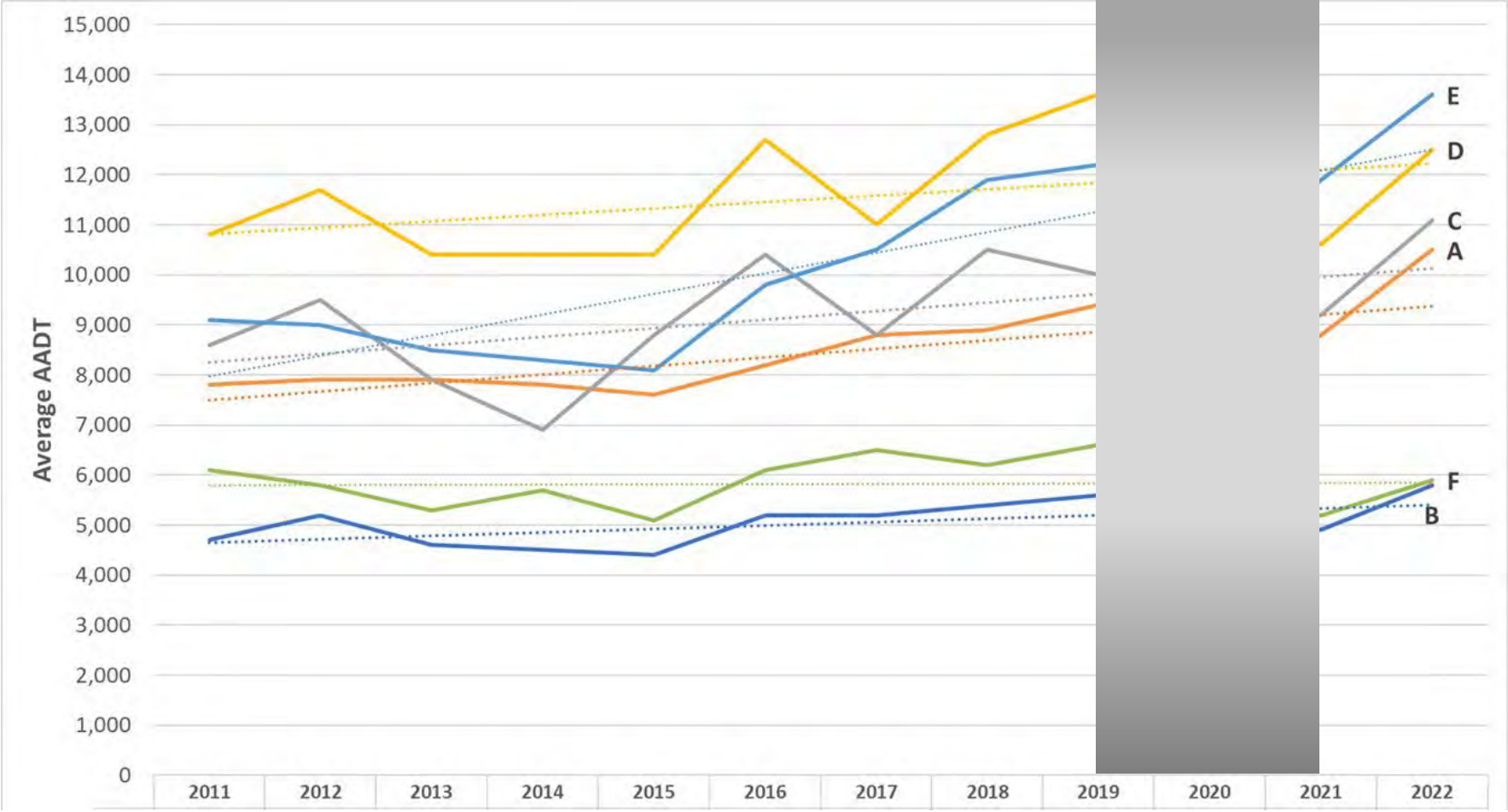


# Distribution of US 70 trips for point west of Pleasant Green Rd (2019 StreetLight LBS Data)

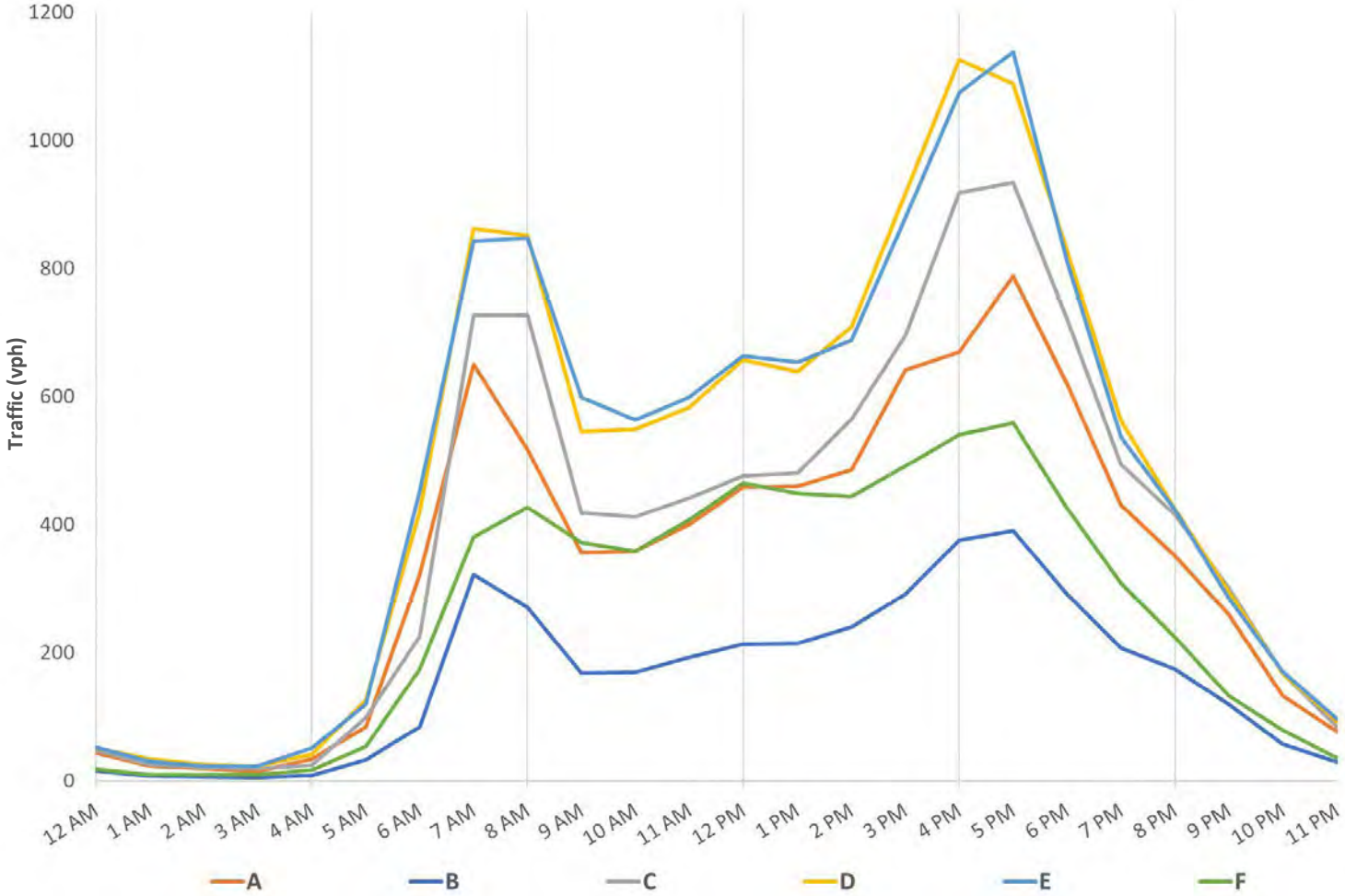




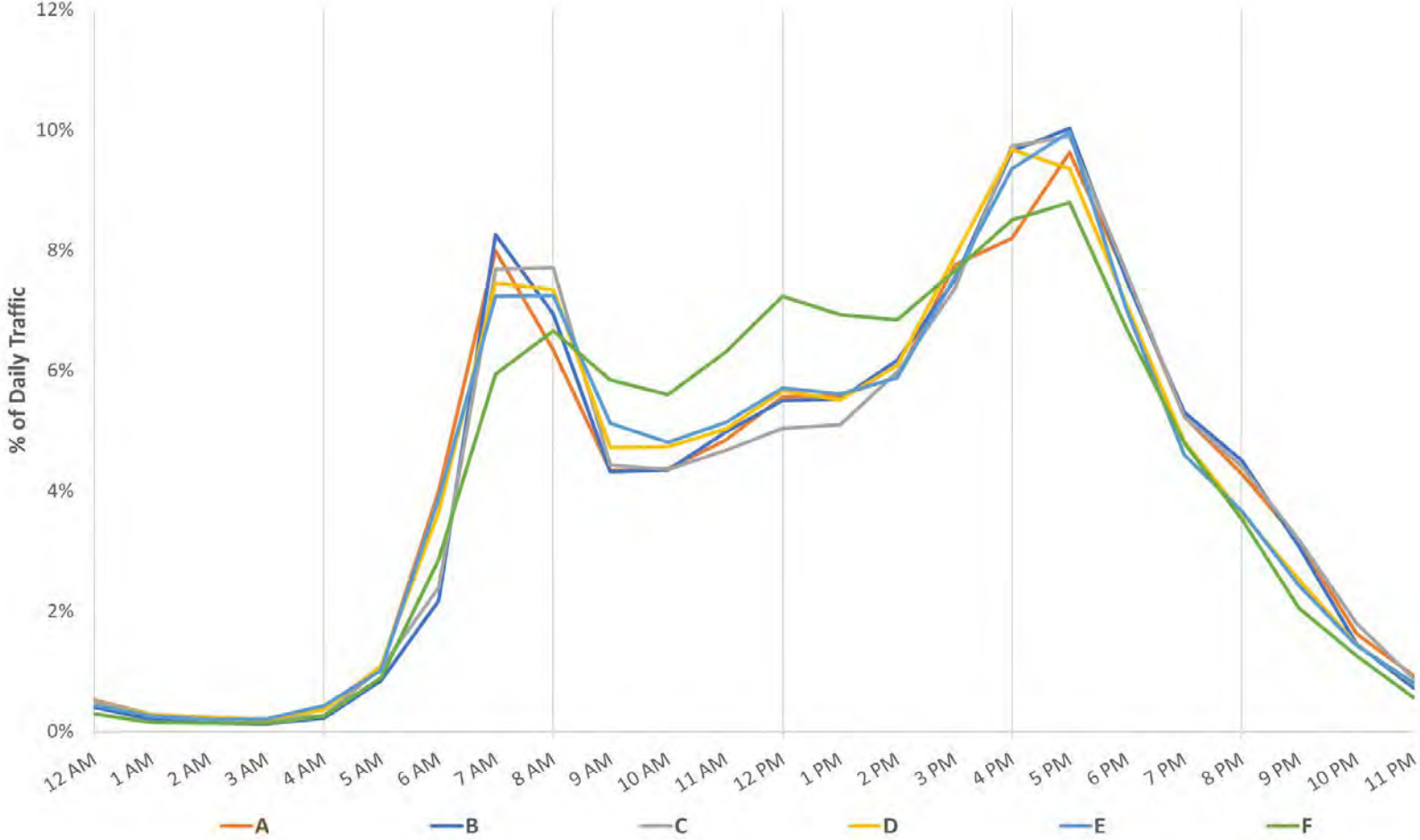
# Historic Traffic Volume Trends by Study Segment



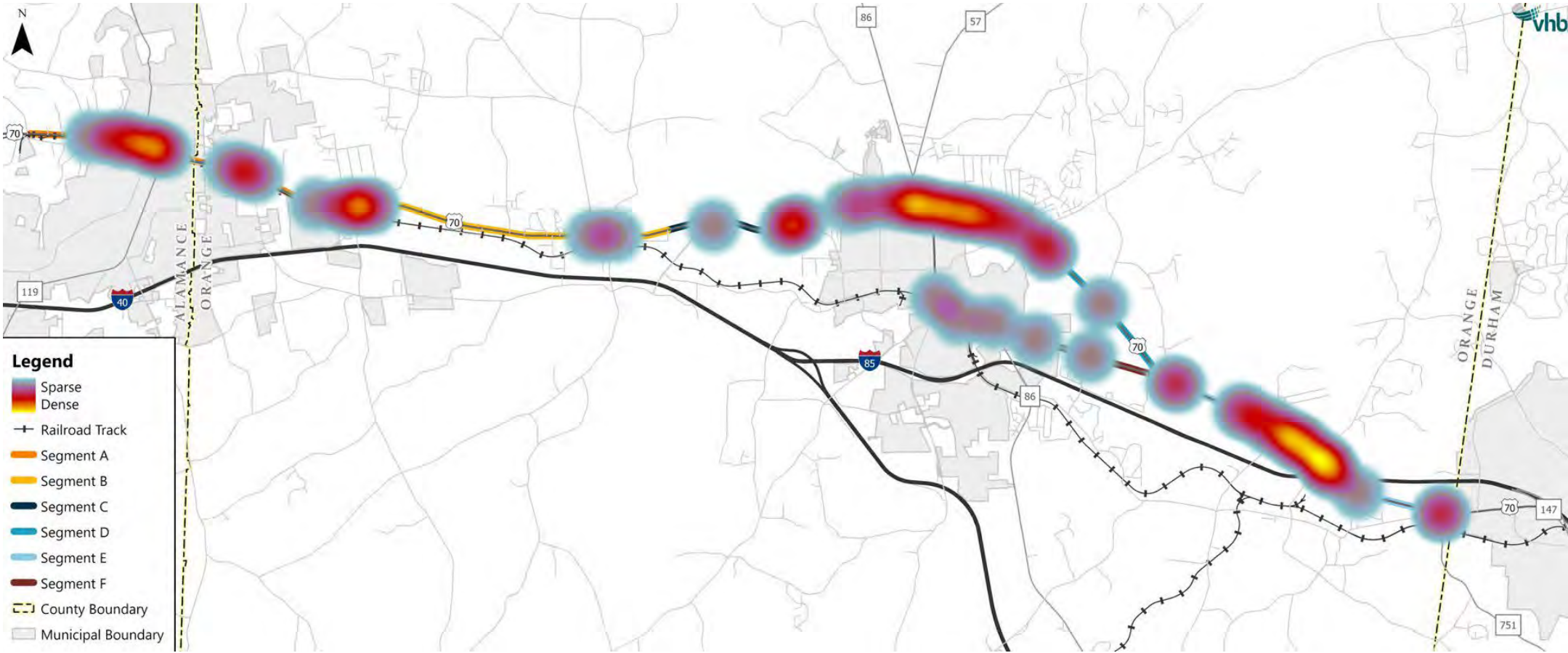
# Hourly Traffic Volume by Time-of-Day (by Segment)



# % of Daily Traffic by Time-of-Day (by Segment)



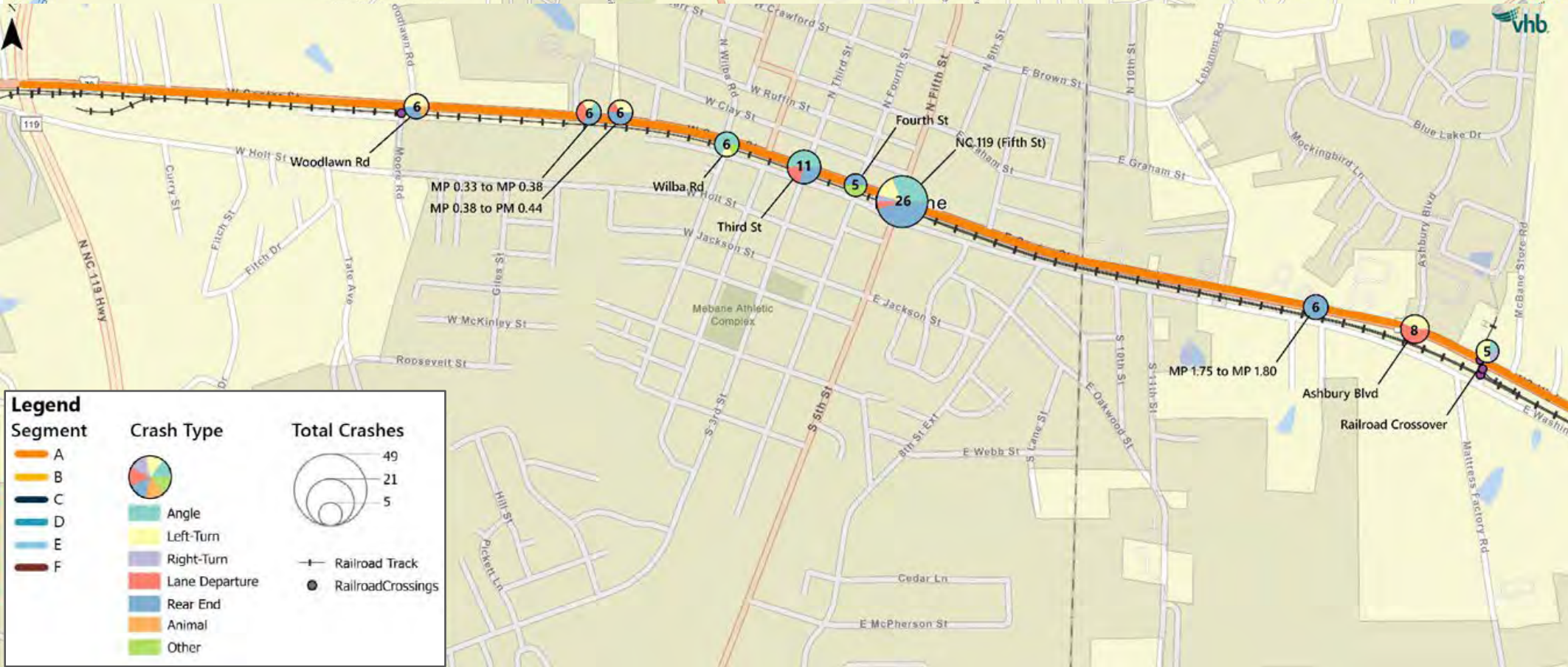
# Crash Density



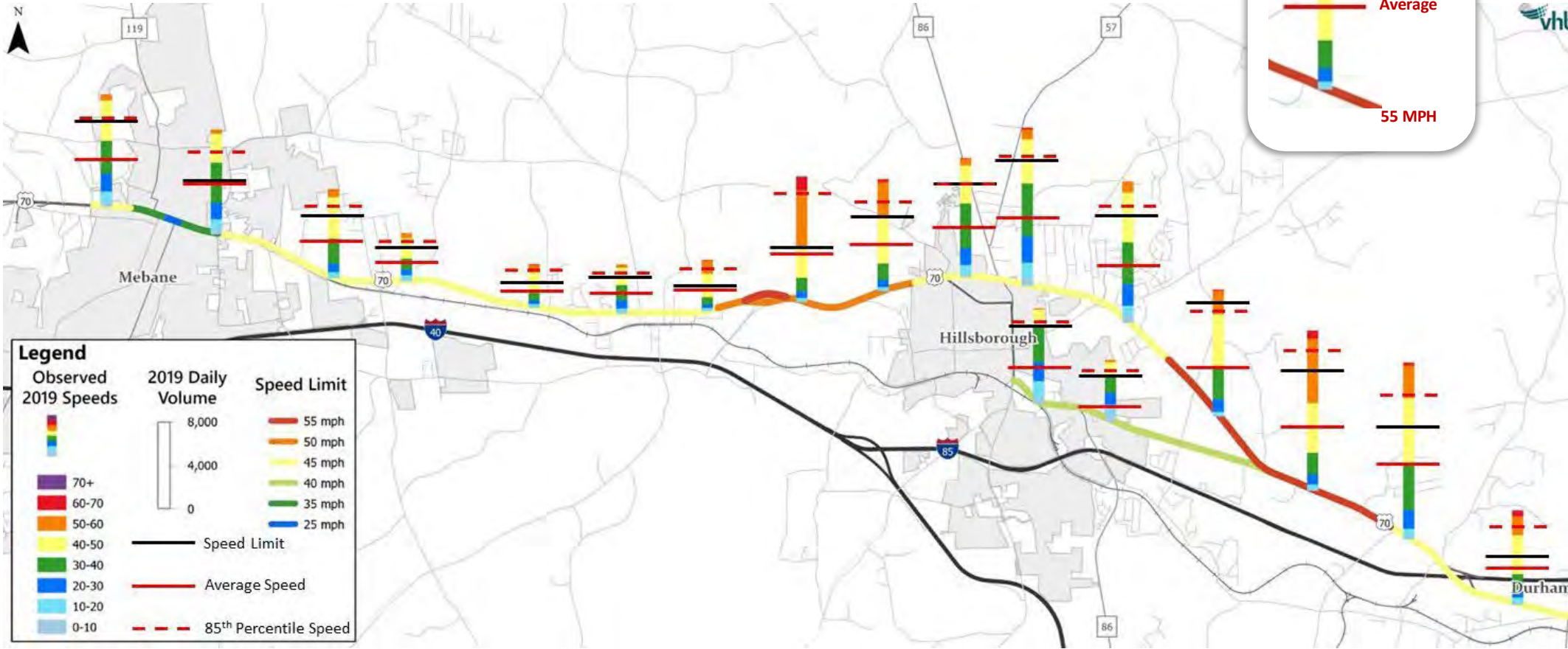
US 70 Multimodal Corridor Study



# Detailed Crash Totals by Type & Location

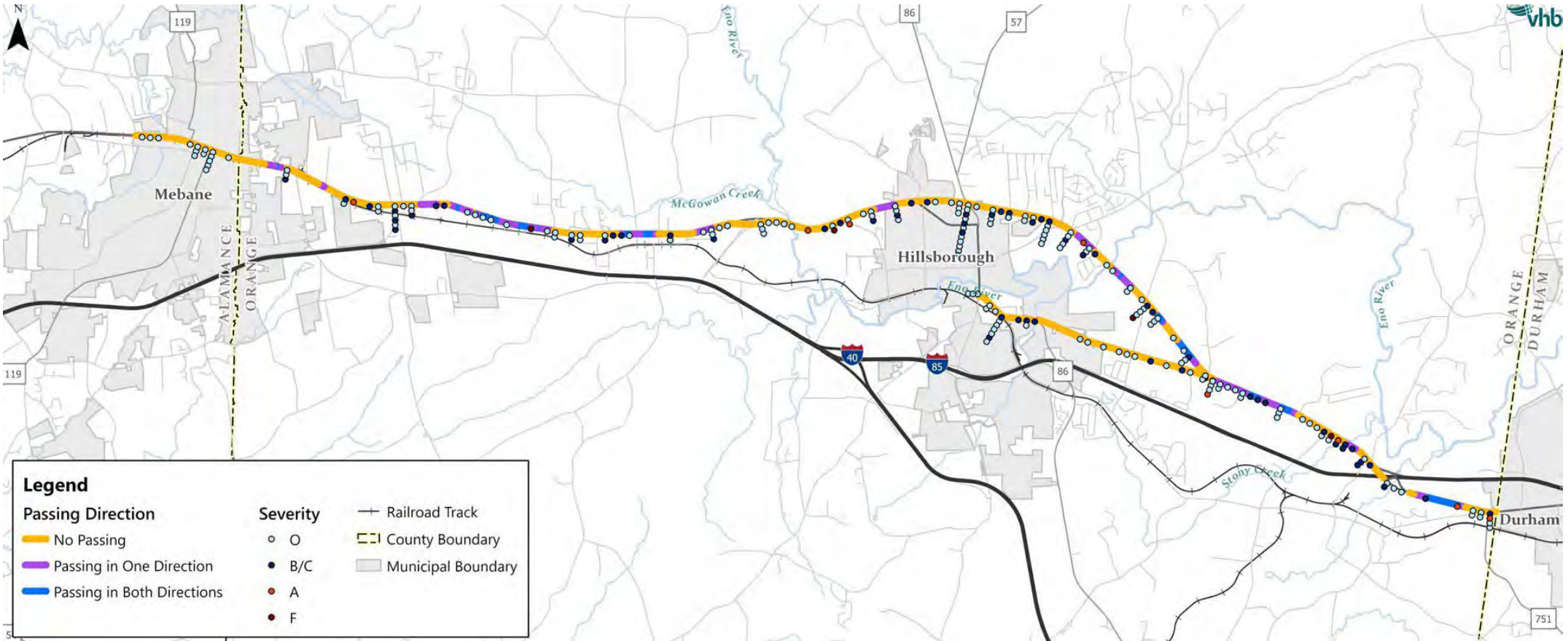


# Speed Data with Statutory Limits

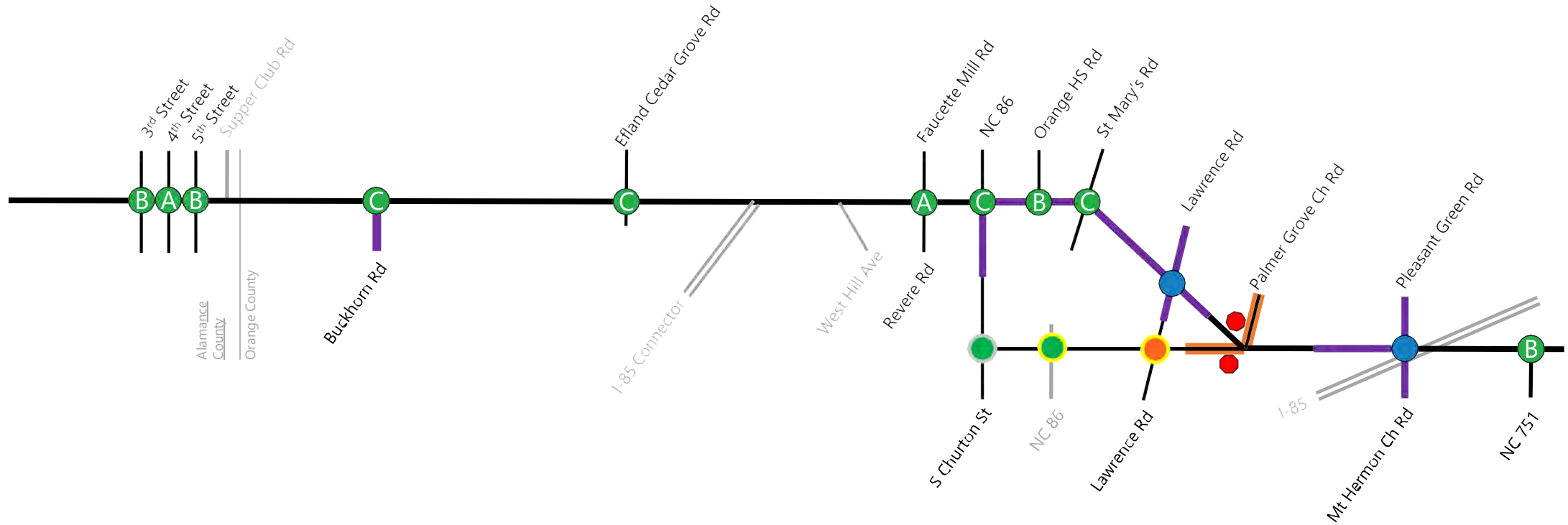




# Run-Off Road Crashes with Severities & Passing Zones



# Intersection Level-of-Service (LOS)

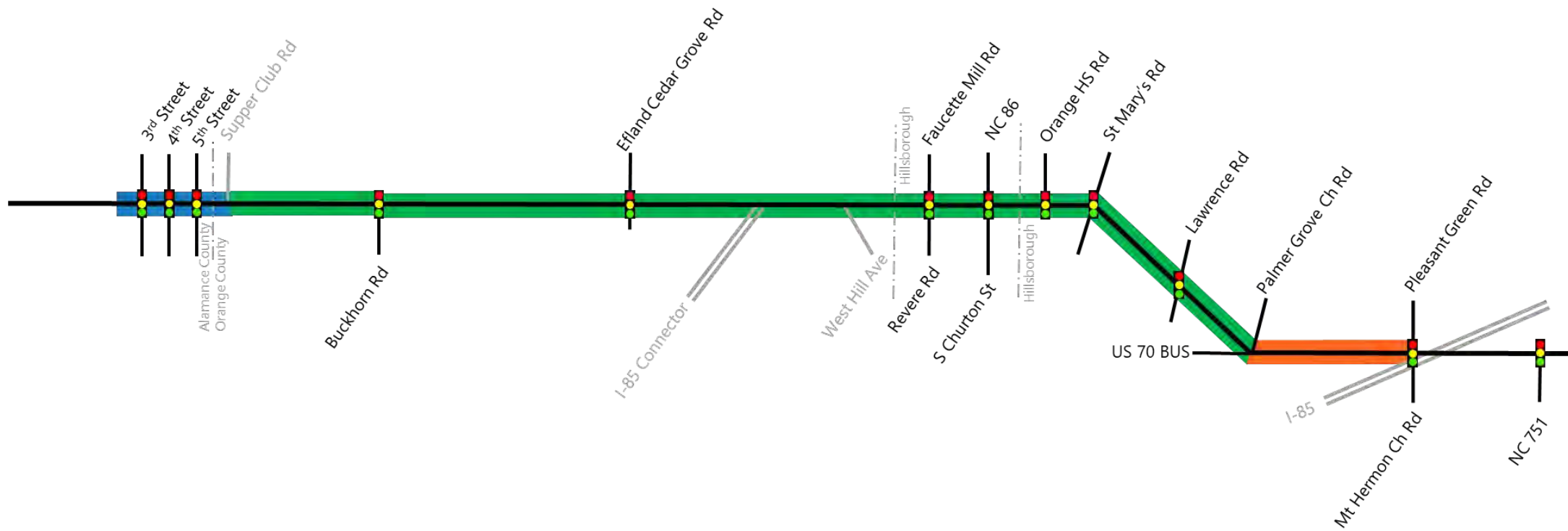






- Signalized Intersection
 ● Stop-Controlled Approach
- LOS\***
● A-C
 ● D
 ● E-F
  Potential Queuing Problems
- \* Worst case from AM and PM peaks
- From Lawrence Road Development TIA
  From NC 86 Connector Study

QUALITY OF TRAFFIC FLOW DECREASES →

Considered an acceptable LOS				Considered an unacceptable LOS	
LOS A	LOS B	LOS C	LOS D	LOS E	LOS F
<ul style="list-style-type: none"> <li>Light traffic</li> <li>Free flow speeds</li> </ul>	<ul style="list-style-type: none"> <li>Slightly increased traffic levels</li> <li>Still free flow speeds</li> </ul>	<ul style="list-style-type: none"> <li>Approaching moderate congestion levels</li> <li>Speeds near free flow</li> </ul>	<ul style="list-style-type: none"> <li>Speeds reduced</li> <li>Lane changes restricted due to traffic</li> </ul>	<ul style="list-style-type: none"> <li>Congestion</li> <li>Irregular traffic flow</li> </ul>	<ul style="list-style-type: none"> <li>Road at capacity</li> <li>Gridlock with frequent stops</li> </ul>

# Level-of-Service (LOS) by Corridor Segment



 Signalized Intersection  
**LOS\***  A-C     D     E-F  
 \* Worst case from AM and PM peaks

QUALITY OF TRAFFIC FLOW DECREASES →

Considered an acceptable LOS				Considered an unacceptable LOS	
LOS A	LOS B	LOS C	LOS D	LOS E	LOS F
<ul style="list-style-type: none"> <li>Light traffic</li> <li>Free flow speeds</li> </ul>	<ul style="list-style-type: none"> <li>Slightly increased traffic levels</li> <li>Still free flow speeds</li> </ul>	<ul style="list-style-type: none"> <li>Approaching moderate congestion levels</li> <li>Speeds near free flow</li> </ul>	<ul style="list-style-type: none"> <li>Speeds reduced</li> <li>Lane changes restricted due to traffic</li> </ul>	<ul style="list-style-type: none"> <li>Congestion</li> <li>Irregular traffic flow</li> </ul>	<ul style="list-style-type: none"> <li>Road at capacity</li> <li>Gridlock with frequent stops</li> </ul>

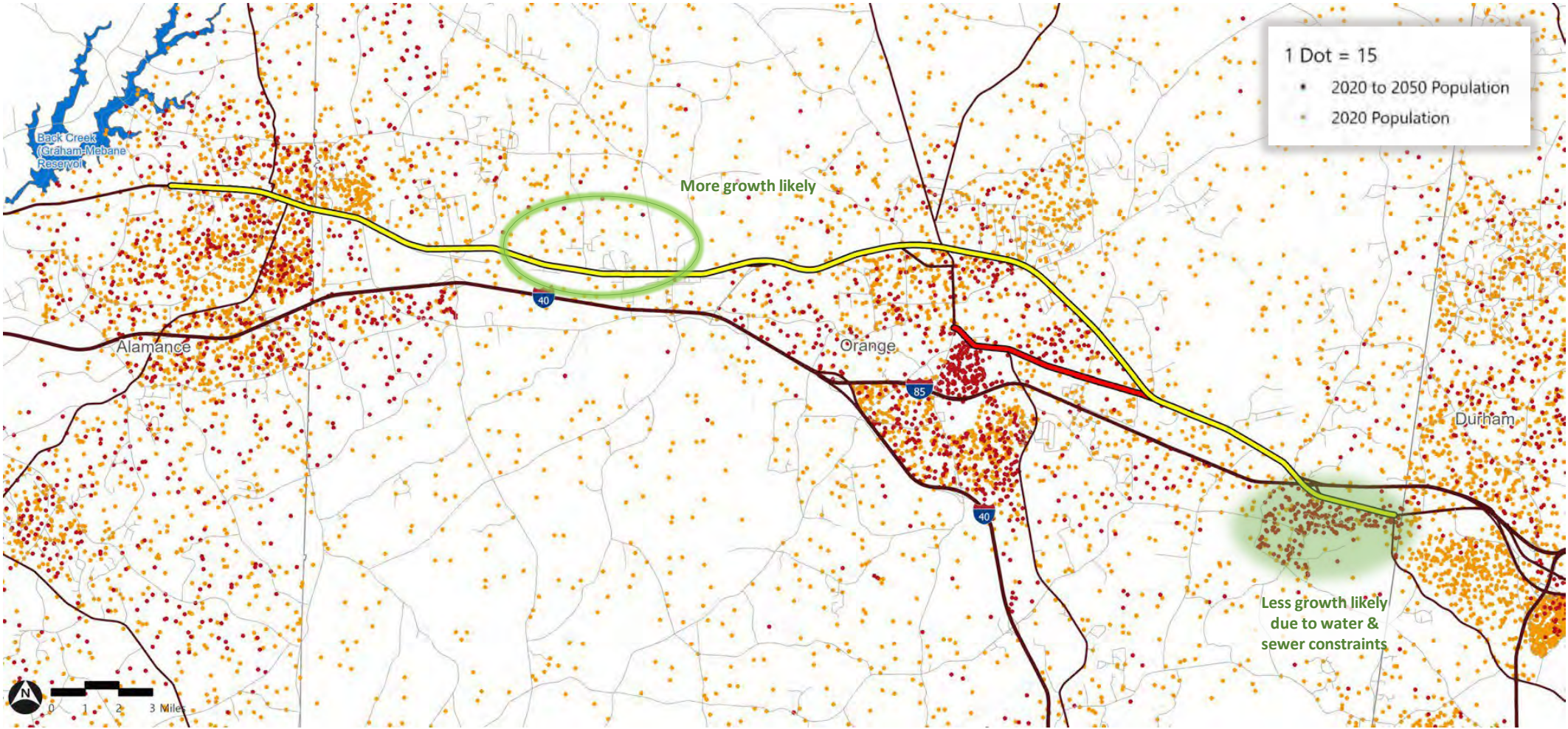




**Growth**



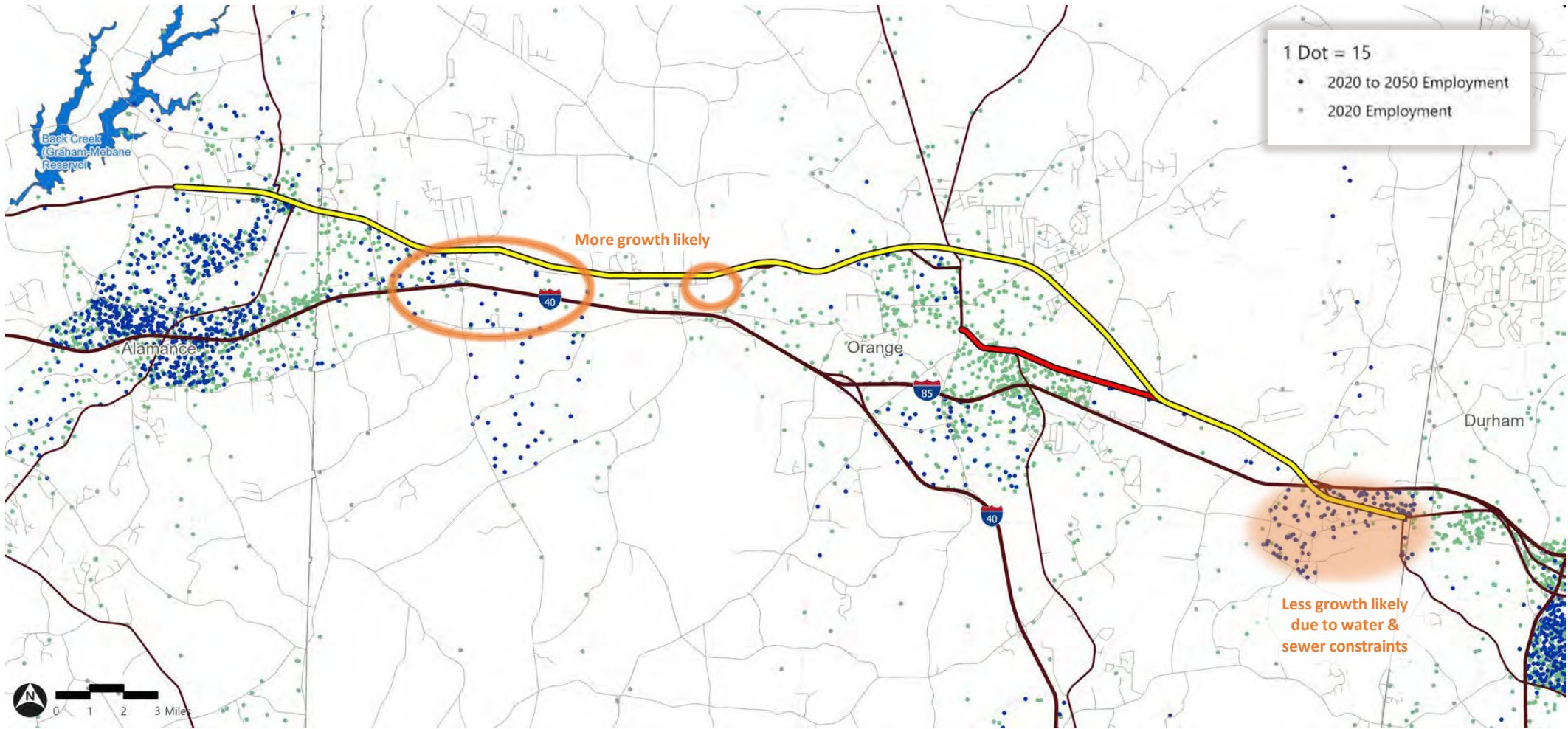
# Population Growth, 2020 to 2050



US 70 Multimodal Corridor Study

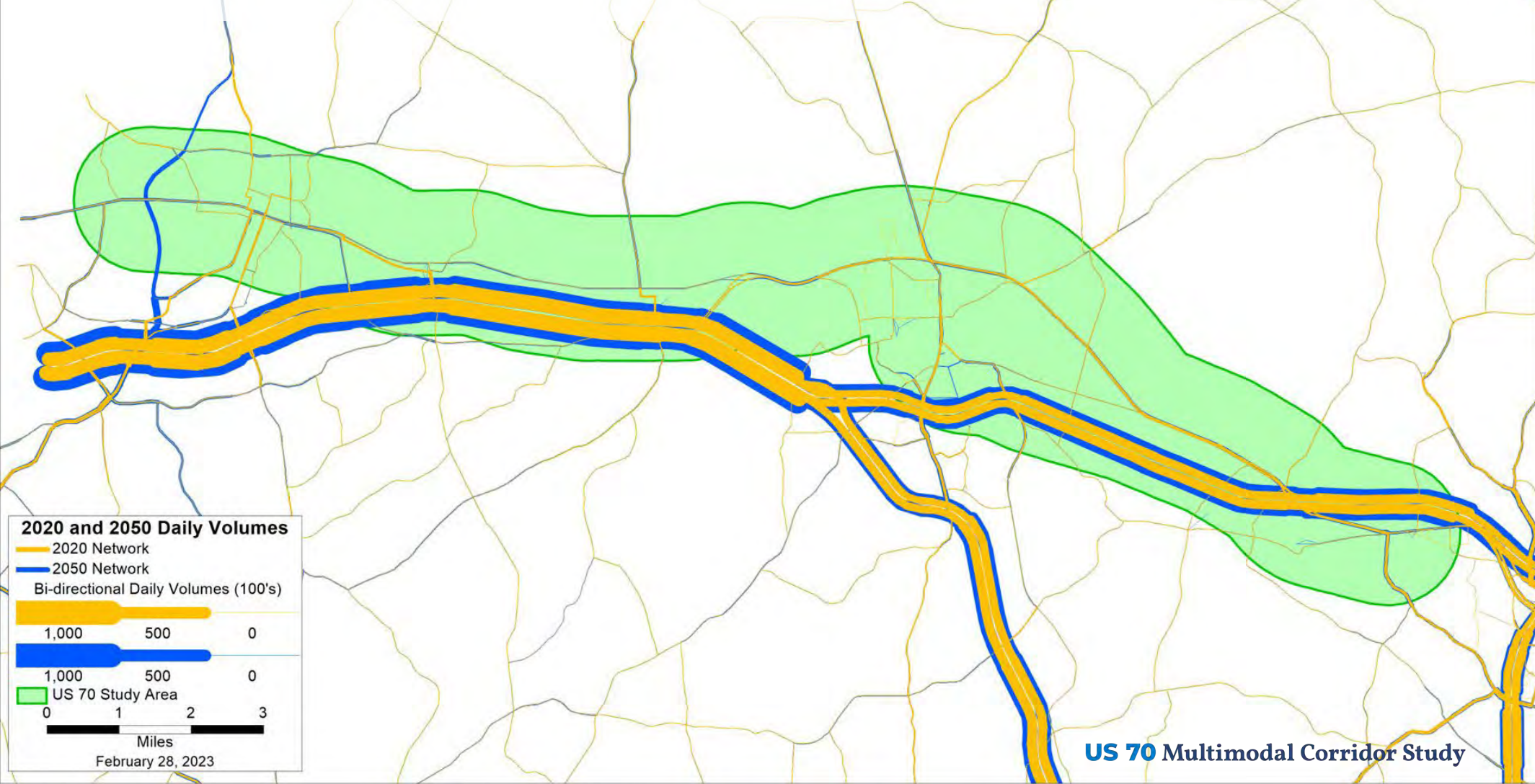


# Employment Growth, 2020 to 2050



# Estimated Daily Traffic Volumes, 2020 vs 2050

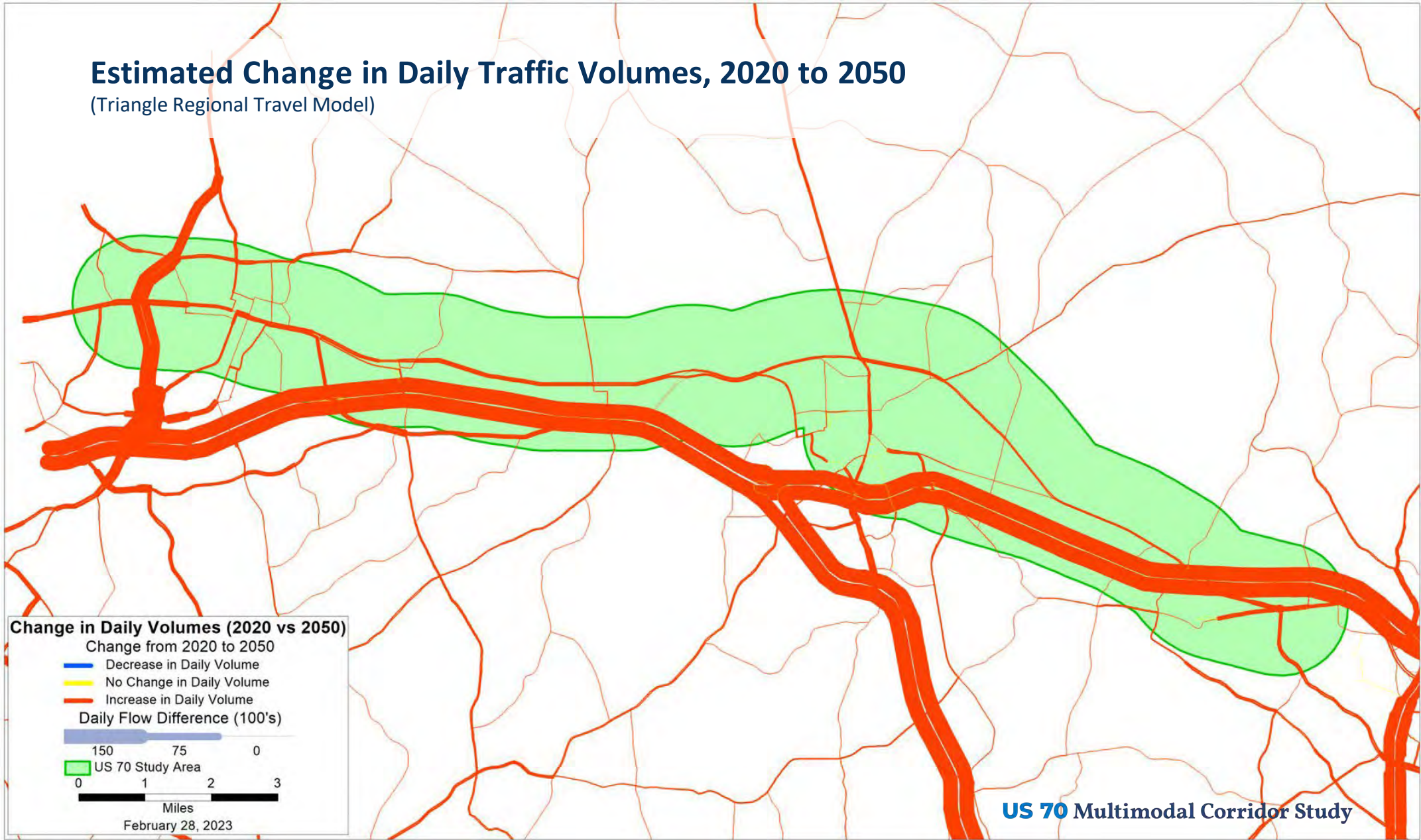
(Triangle Regional Travel Model)





# Estimated Change in Daily Traffic Volumes, 2020 to 2050

(Triangle Regional Travel Model)







# Next Steps



# Findings to Date

- ✓ Traffic has returned to pre-COVID levels
  - Higher speeds
  - More trucks
- ✓ High crash rates & speeds in some locations
- ✓ Need pedestrian & bicycle improvements
  - *Safety – Health – Economy – Transit*
- ✓ Anticipate moderate, localized traffic growth
- ✓ Rail ROW constrains parts of western corridor
- ✓ I-85 improvements critical to US 70 traffic
- ✓ Full access needed at I-85 Connector
- ✓ NC 86 & NC 57 access via US 70 is important



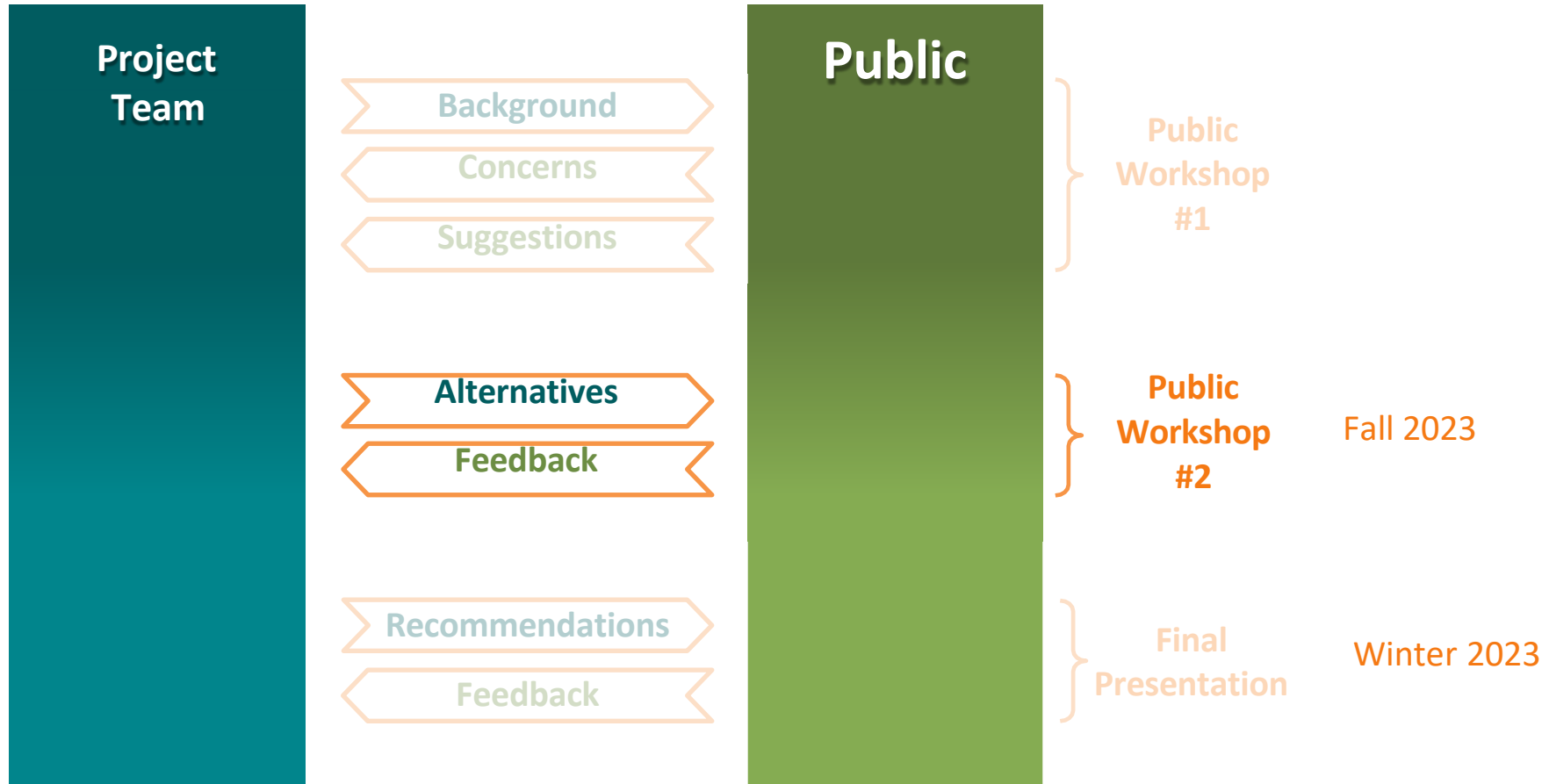
**US 70 Multimodal Corridor Study**

# Develop & Test Solutions

- ✓ Safety
- ✓ Walk & bike connections
  - Crossing/along US 70
- ✓ Intersection operations
  - RR interactions
- ✓ Transit service
- ✓ Roadway cross-sections
- ✓ Environmental protection
- ✓ Supportive land uses & policies
- ✓ Project priorities & phasing



# Public Participation – Round 2





# AGENDA ITEM #6A

SUP 23-02

Special Use Permit – 920

Mattress Factory Road

### Presenter

Ashley Ownbey, Development Director

### Applicant

VM Development, LLC

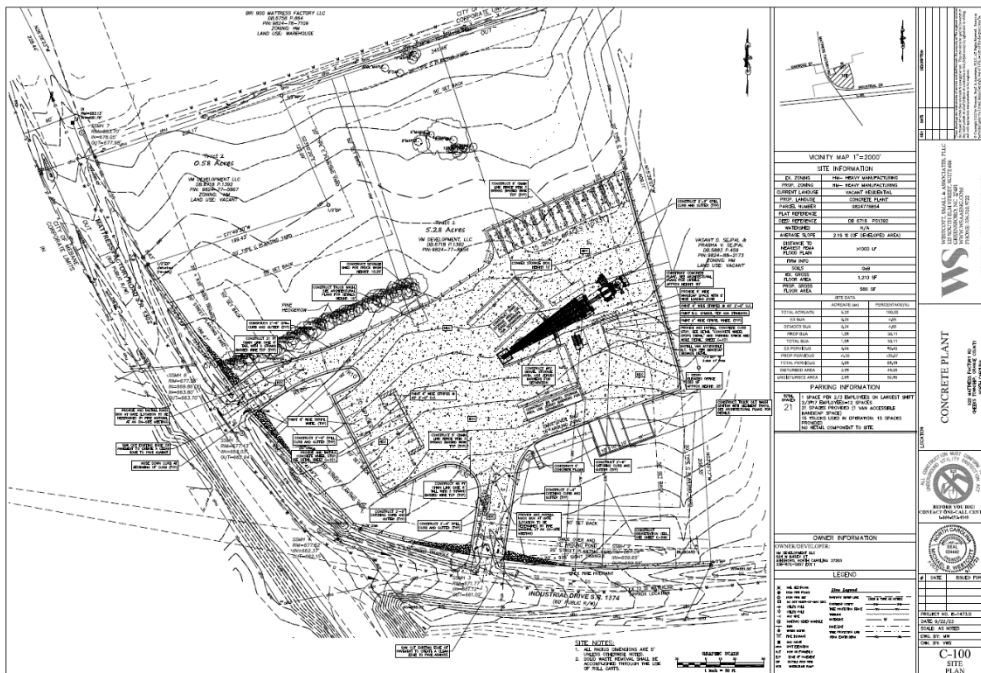
PO Box 984

Asheboro, NC 27204

### Public Hearing

Yes  No  (Quasi-Judicial)

## Site Plan



### Property

920 Mattress  
Factory Road

Orange County  
GPIN: 9824778854

### Proposed Zoning

N/A

### Current Zoning

HM

### Size

+/-5.28 acres

### Surrounding Zoning

HM

### Surrounding Land Uses

Vacant, Industrial,  
Commercial

### Utilities

Available

### Floodplain

No

### Watershed

No

### City Limits

No



**Application Brief**

*See Planning Project Report for more details.*

<b>Recommendations</b>	
Technical Review Committee:	The Technical Review Committee (TRC) has reviewed the site plan four times, and the applicant has revised the plan to reflect the comments.
Planning Staff:	The proposed development of a concrete plant on Mattress Factory Road is consistent with the guidance provided within <i>Mebane By Design</i> , the Mebane Comprehensive Land Development Plan.
Planning Board:	At their October 9 meeting, the Planning Board voted 7-0 to recommend approval of the rezoning request.
<b>Zoning &amp; Land Use Report</b>	
Jurisdiction:	Mebane Extraterritorial Jurisdiction
Proposed Use By-Right (Yes/No):	No
Type of Rezoning Request:	N/A
Special Use Request (Yes/No):	Yes
Consistency with Mebane By Design (Yes/No):	Yes
<b>Utilities Report</b>	
Available Utilities (Yes/No):	Yes
Adequate Stormwater Control (Yes/No):	Yes
Innovative Stormwater Control (Yes/No):	No
Consistency with Long-Range Utility Plan (Yes/No):	Yes
<b>Transportation Report</b>	
Traffic Impact Analysis Required (Yes/No):	No
Multi-Modal Improvements (Yes/No):	Yes
Consistency with Bike/Ped Transportation Plan (Yes/No):	Yes

---

### Summary

VM Development, LLC is requesting approval for a Special Use Permit to allow for the development of a concrete plant on a +/- 5.28-acre parcel located at 920 Mattress Factory Road. The subject property is currently zoned Heavy Manufacturing (HM) and includes a single-family dwelling. The manufacturing of concrete is only allowed in the HM Zoning District with a Special Use Permit. Surrounding uses are largely industrial, with some vacant and underdeveloped land adjacent to the site and a nearby commercial use on Industrial Drive. The property is located in an industrial growth strategy area as identified by *Mebane By Design*, the Mebane Comprehensive Land Development Plan. The site plan has been reviewed for compliance with the Mebane Unified Development Ordinance (UDO).

The property is in Orange County in the Mebane Extraterritorial Jurisdiction (ETJ). The applicant must petition for annexation before connecting to City water and sewer.

---

### Financial Impact

The developer will be required to make all of the improvements shown on the site plan at his own expense.

---

### Suggested Motion

1. Motion to approve the Special Use Permit as presented; and,
2. Motion to find that the request is both reasonable and in the public interest because it has been found that the request:
  - a. Will not materially endanger the public health or safety;
  - b. Will not substantially injure the value of adjoining or abutting property;
  - c. Will be in harmony with the area in which it is located; and
  - d. Will be in conformity with the land development plan or other plans officially adopted by the City Council.

### OR

1. Motion to **deny** the special use permit as presented due to a failure to satisfy any one of the four criteria required for approval (**NOTE: criterion for failure must be specified**):
  - a. Will materially endanger the public health or safety; or
  - b. Will substantially injure the value of adjoining or abutting property; or
  - c. Will not be in harmony with the area in which it is located; or
  - d. Will not be in conformity with the land development plan or other plans officially adopted by the City Council.

---

### Attachments

1. Preliminary Presentation Slides
2. Special Use Permit Application
3. Site Plan
4. Planning Project Report
5. Technical Memorandum – City Engineering Review



Ashley Ownbey, Development Director

Request for a Special Use Permit to Allow for a Concrete Plant  
by VM Development, LLC

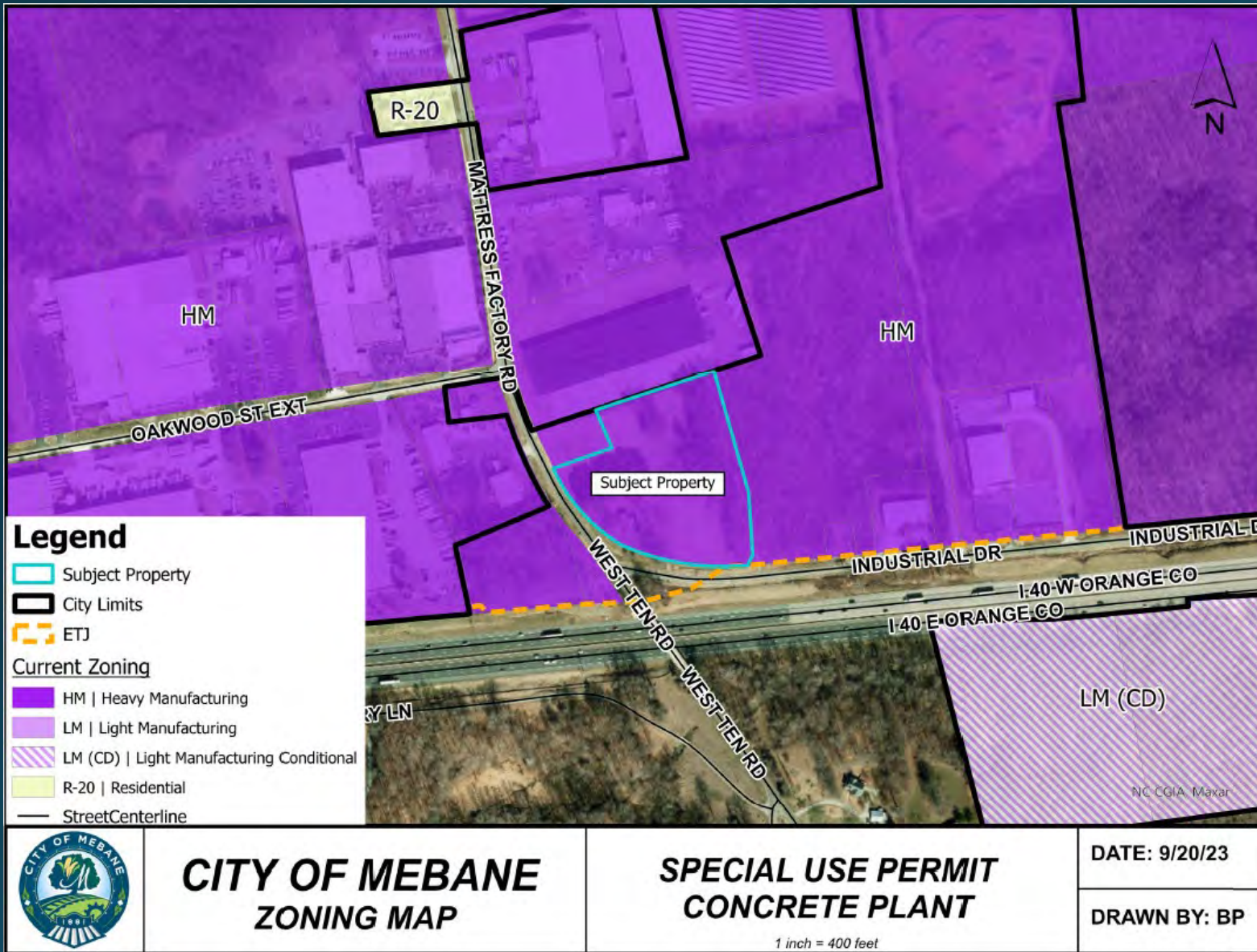




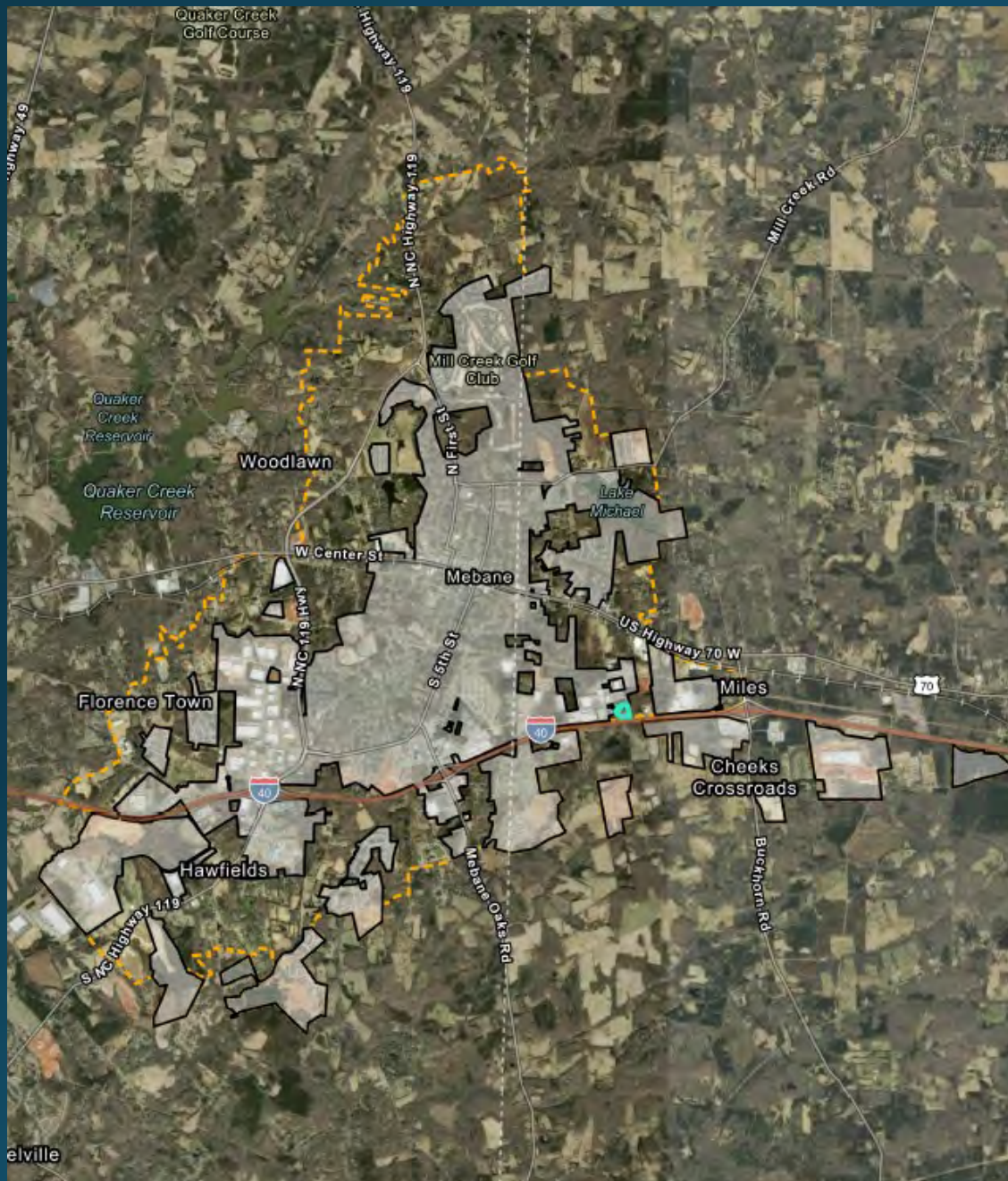
# Concrete Plant

## Special Use Request

- Request by VM Development, LLC
- +/- 5.28 Acres
- Existing zoning: HM
- Requested special use: Concrete Plant
- Four findings of special use requests:
  1. Public health or safety
  2. Adjoining property values
  3. Harmony with area
  4. Consistency with long-range plans







# Concrete Plant

## Special Use Request

- Orange County, Mebane ETJ
- Petition for annexation is required before connection to City water and sewer







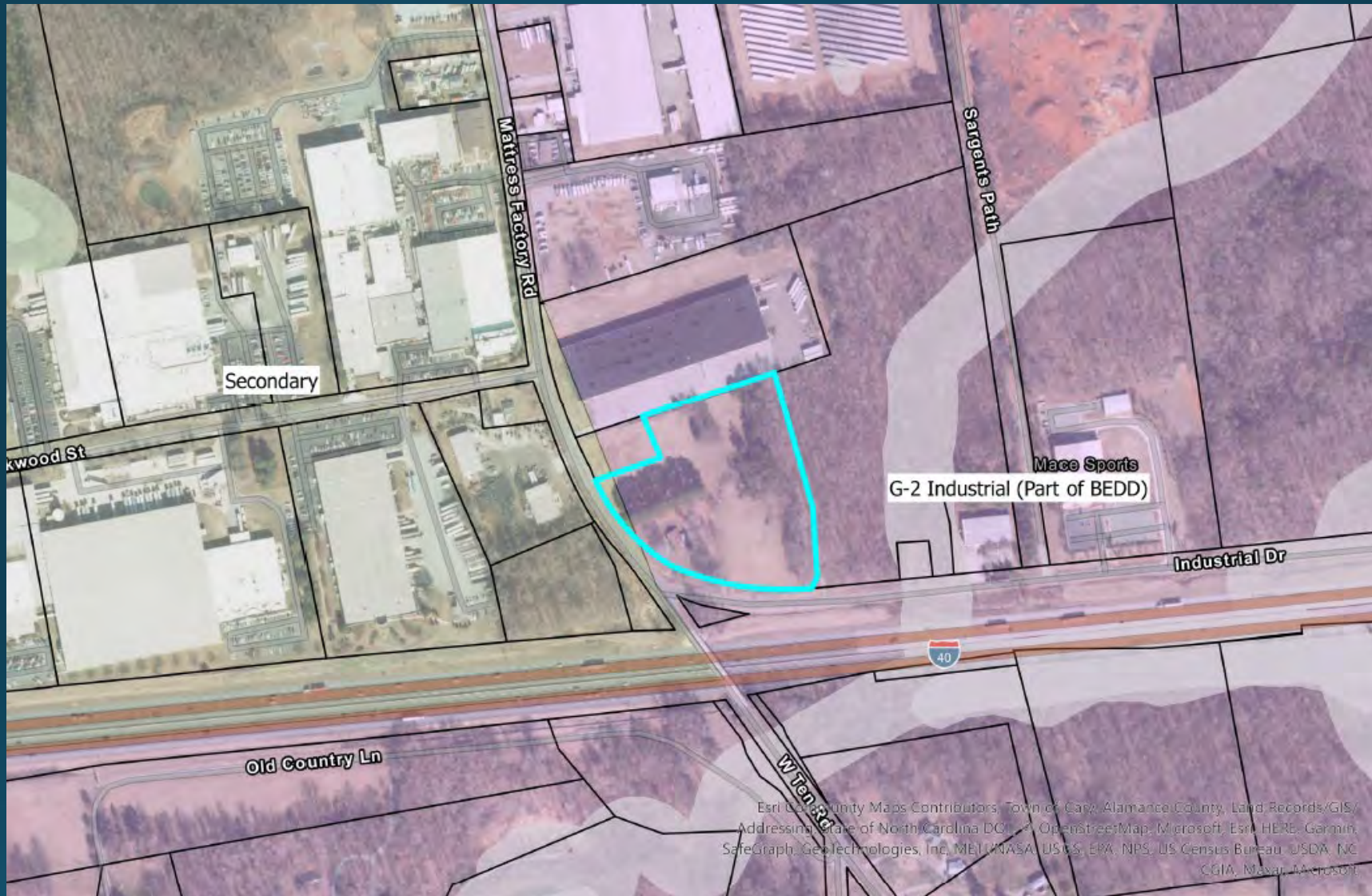
# Concrete Plant

## Special Use Request

- Vacant Single-Family Residential
- Surrounding uses include:
  - Commercial
  - Industrial
  - Vacant
  - Orange County Utility Station





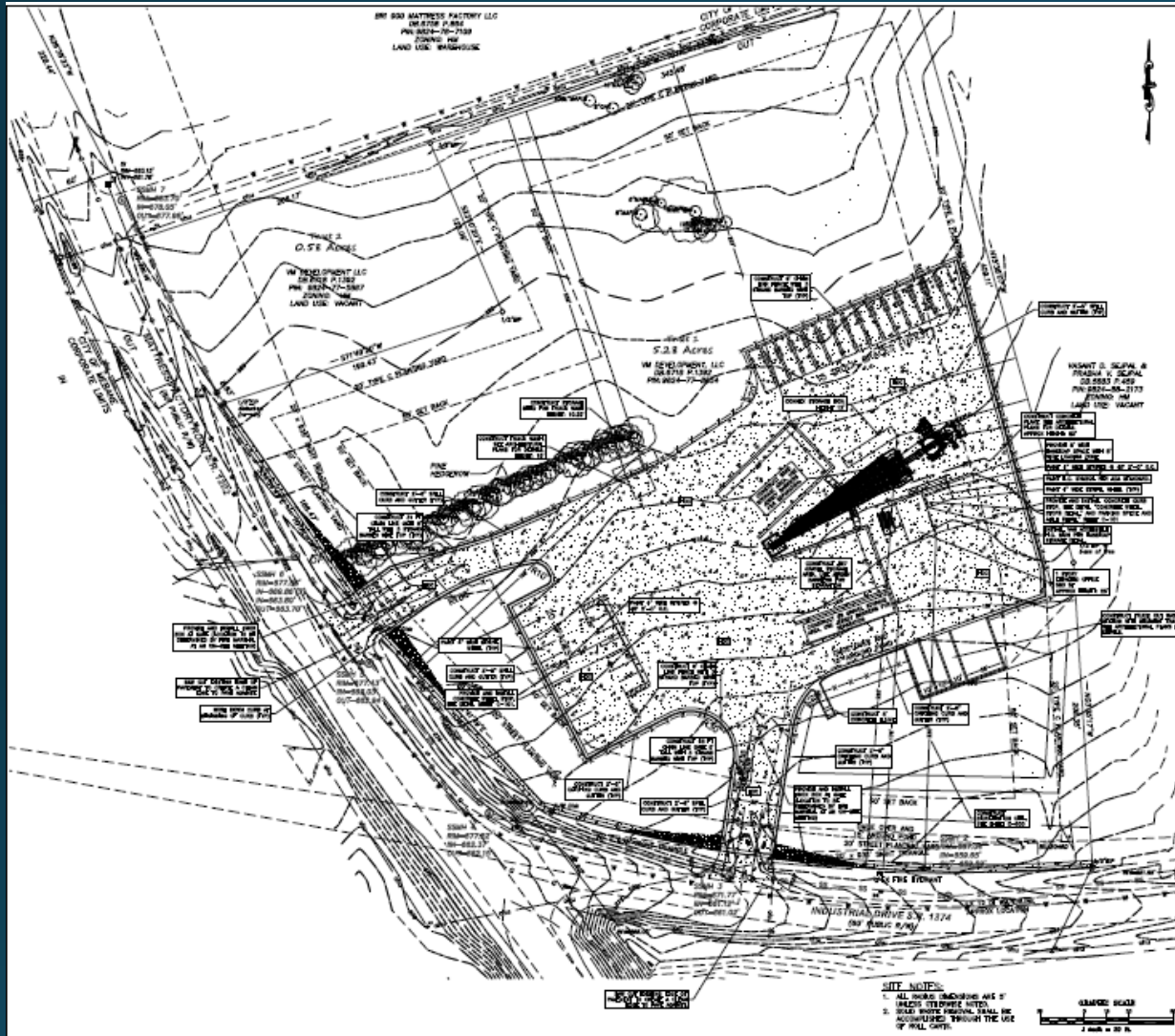


# Concrete Plant Special Use Request

- *Mebane By Design G-2 Industrial (Part of BEDD)*







**NEARBY AREAS**

VICINITY MAP 1"=2000'

SITE INFORMATION	
USE ZONING	M-1 HEAVY MANUFACTURING
PLANNED ZONING	M-2 HEAVY MANUFACTURING
CURRENT LANDUSE	VACANT
PROF. LANDUSE	CONCRETE PLANT
PARCEL NUMBER	060478064
PLAT REFERENCE	
LOC. REFERENCE	06 0718 10000
APPROX. VALUE	N/A
APPROX. SIZE	5.28 AC (229,450 SQ. FT.)
RENTAL TYPE	INDUST. USE
NEEDS	CONC.
CE. DEPTH	1.912 FT.
CE. WIDTH	800 FT.

PARKING INFORMATION		
TOTAL SQUARE FEET	APPROX. NO.	PERCENT AVAILABLE
TOTAL	21	100%
CAR	21	100%
VAN		
TRUCK		
TOTAL VAN		
TOTAL TRUCK		
UNDEVELOPED		
PREP. REQUIRED		
TOTAL PREP. REQUIRED		
CERTIFIED PARKING		
CERTIFIED AREA		

**NOTES:**  
 1. SPACES PER 2/3 EMPLOYED ON LARGEST SHIFT  
 2. SPACES PROVIDED IN VAN ACCESSIBLE  
 3. TRUCKS USED IN OPERATION: 10 SPACES  
 NO RETAIL COMPONENT TO SITE

**OWNER INFORMATION**

OWNER/DEVELOPER:  
 M & M DEVELOPMENT LLC  
 200 W. INDUSTRIAL DRIVE  
 INDUSTRIAL PARK

**LEGEND**

ALL AREAS	Shaded Green	AS-PAVED
CONCRETE PLANT	Shaded Yellow	CONCRETE PLANT
PARKING	Shaded Blue	PARKING
WATER	Blue Hatched	WATER
SEWER	Red Hatched	SEWER
ELECTRIC	Green Hatched	ELECTRIC
TELEPHONE	Black Hatched	TELEPHONE
STREET LIGHTS	White Hatched	STREET LIGHTS
WALL CURB	Black Dotted	WALL CURB
AS-PAVED	Black	AS-PAVED
EXISTING	Grey	EXISTING
PROPOSED	White	PROPOSED

**WS**  
 WASHINGTON STATE SURVEYING & ENGINEERING BOARD  
 1200 WEST 3RD AVENUE, SUITE 100  
 SEASIDE, WA 98148-1000  
 PHONE: (206) 465-3300  
 FAX: (206) 465-3301  
 WWW: WSPEWSURVEYING.COM

**CONCRETE PLANT**  
 150 S. INDUSTRIAL DRIVE  
 CHEWY LAKE, WA 98919

**CITY OF MEAD**  
 DEPARTMENT OF PUBLIC UTILITIES  
 1200 WEST 3RD AVENUE, SUITE 100  
 SEASIDE, WA 98148-1000  
 PHONE: (206) 465-3300  
 FAX: (206) 465-3301  
 WWW: WSPEWSURVEYING.COM

**PROJECT NO. C-4130**  
**DATE: 8/29/13**  
**SCALE: AS SHOWN**  
**DWG. BY: WJ**  
**CHK. BY: WJ**  
**C-100 SITE PLAN**

# Concrete Plant Special Use Request

- Special use request to allow for a concrete plant.
- Site plan reviewed through TRC for compliance with UDO.
- Dedications include 5' wide sidewalk along Mattress Factory Road and Industrial Drive.





# Applicant Presentation







**PIEDMONT READY MIX – Mebane, NC**  
**Special Use Request for 920 Mattress Factory Road**

- Company founded in 1979
- Trucks are well maintained with ZERO DOT violations during truck stop inspections
- Safer DOT Rating = 0% (National Industry Average = 22%)
- Zero CGL, equipment, property or umbrella losses in the past 5 years
- Zero environmental spills or hazard violations
- This facility will be adding a minimum of 10 drivers within the first 24 months
- Offer comprehensive benefit package
- Excited to be a member of this community

# VM Development, LLC

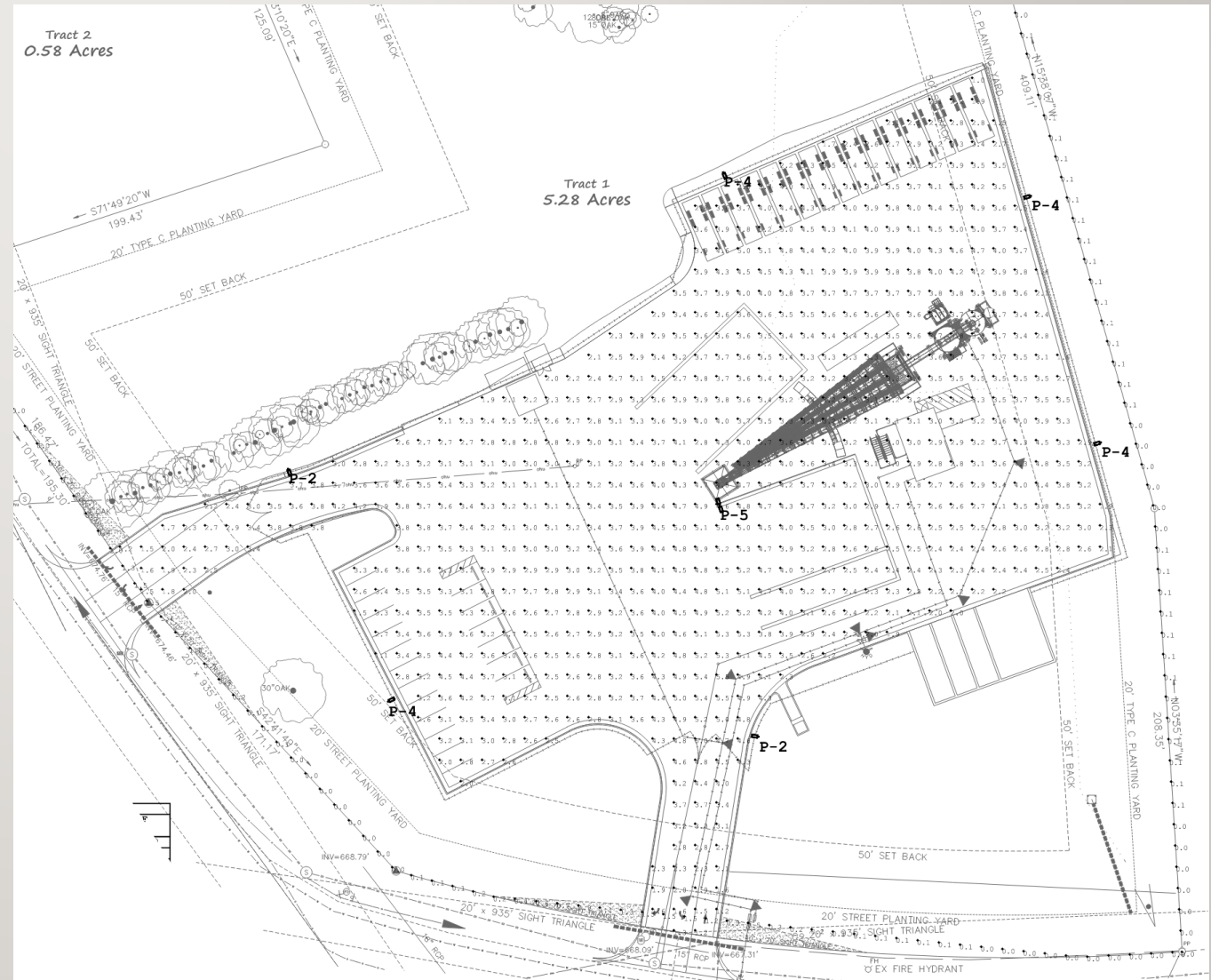


Project Team





- Fred Gibson – Director of Operations
  - 30+ Years Experience
  - Oversight of safety, personnel, and environmental issues
  - Numerous certifications in the concrete industry
- 10 CY Concrete Batch Plant
- Located on +/- 5.28 Acres
- 920 Mattress Factory Road



## Project Overview



1. Will not materially endanger the public health or safety;
2. Will not substantially injure the value of adjoining or abutting property;
3. Will be in harmony with the area in which it is to be located;
4. Will be in general conformity with the land use plan or other plans and policies officially adopted by the City Council.

---

## Finding of Facts

# 1. Will not materially endanger the public health or safety;

## Traffic - Addition of approximately 75 trips per day

- Intersection of Mattress Factory Rd and Industrial Dr
  - 2019 traffic count – 2900 (2.59% increase)
- Intersection of Industrial Dr and Buckhorn Rd
  - 2019 traffic count – 3900 (1.92% increase)

## Water Quality –

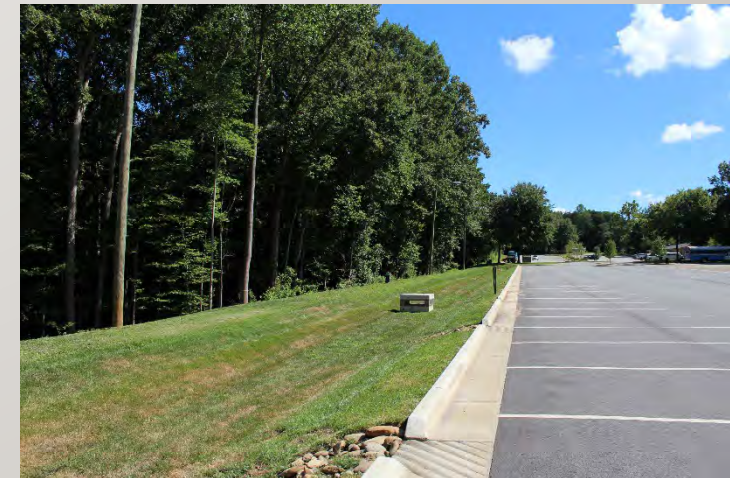
- Pollution Prevention Plan
- Bioretention Cell
- Truck Washout with Sediment Bays

## Air Quality –

- Silo Top Dust Collectors
- Dust Collector Hood



Sample Photos of Truck Washout and Sediment Bays




Sample Bio-Cell

## Finding of Facts



## 2. Will not substantially injure the value of adjoining or abutting property;

  
**PATTERSON**  
APPRAISAL CO., LLC  
*Real Estate Appraisers, Analysts, Consultants*  
**Glenn E. Patterson**  
North Carolina State Certified General Real Estate Appraiser

Notes for City of Mebane  
August 15, 2023

Qualifications- I am a North Carolina state-certified general real estate appraiser, license A2812 as well as a real estate broker, license 120481. I have been performing commercial and residential appraisals since 1989, as well as commercial brokerage. Graduate of Appalachian State University in 1988 with a major in real estate and urban analysis. I am current on all continuing education requirements for both licenses. I have appraised an extensive amount of various type of land, commercial, industrial and multi-family properties, as well as single family residences. My clients include lenders, municipalities and counties, colleges and universities as well as the IRS, the State of North Carolina Historical Preservation Department and the state property department.

-Pertaining the substantially Injure the Value of Adjoining or Abutting Property from the 5.28 acre parcel, located at 920 Mattress Factory Road, Mebane, NC, or Tax ID #9824778854, to be utilized for a concrete plant.

I am here as an unbiased professional, to provide my opinion on the impact of the proposed development to adjoining or abutting properties and neighboring properties.

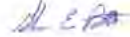
In searching the market for situations where a commercial or industrial entity, especially a concrete plant, or similar type uses, was constructed after the development around it's immediate neighborhood. Two properties were analyzed in the southeastern United States area, which were discovered to have sold on the open market. There was insufficient data to indicate that any new construction was hindered, or existing uses were hindered, for the use of said sales.

No empirical data was yielded to support definitive proof that the use of the property in question would have a negative affect on property values to adjoining properties or properties in the neighborhood.

Page 2

The uses of neighboring properties, and within at least ½ mile of the subject on the north side of the Interstate, are over 90% industrial uses. The change of use of these properties is not considered to be logical for the near future. There uses off the southern side of the Interstate, near the subject, include a few residential properties on larger parcels, vacant land, and one residential development just at ½ mile south of the subject, at Bowman Road and Rock Quarry Road. The north area is considered to be established with the south in a transitional state to residential and potentially industrial uses. These uses are reported to show the distance of uses in case there were a perceived noise issue with the proposed use of the subject. In discussion with owners and operators of this type of property, noise is considered minimal and dust issues mainly limited to the property onsite. This is typically due to the size of the site required for this use. Given the subject is mainly surrounded by industrial uses, with the Interstate to it's south, logically, most any use industrially would not be a detriment, or enhancement, to neighboring properties.

It is my opinion pertaining the proposed use of the property in question, the market does not appear to present any empirical data which would indicate that a use of the subject property for a concrete plant would have a negative, affect on the value of adjoining properties or properties in the neighborhood.

  
Glenn E. Patterson

# Finding of Facts

### 3. Will be in harmony with the area in which it is to be located;

Existing Zoning = HM (Heavy Manufacturing)

Location = Orange County, Mebane ETJ

Neighboring Properties –

- Armacell LLC Distribution Center (1300 ft West)
- Kingsdown Mattress Factory (642 ft West)
- Whites Tire Service (Across Mattress Factory Rd)
- Dealers Supply Warehouse (North)
- AKG Thermal Systems (644 ft)
- Penske Mebane Service (1000 ft)
- Vacant Land (East)

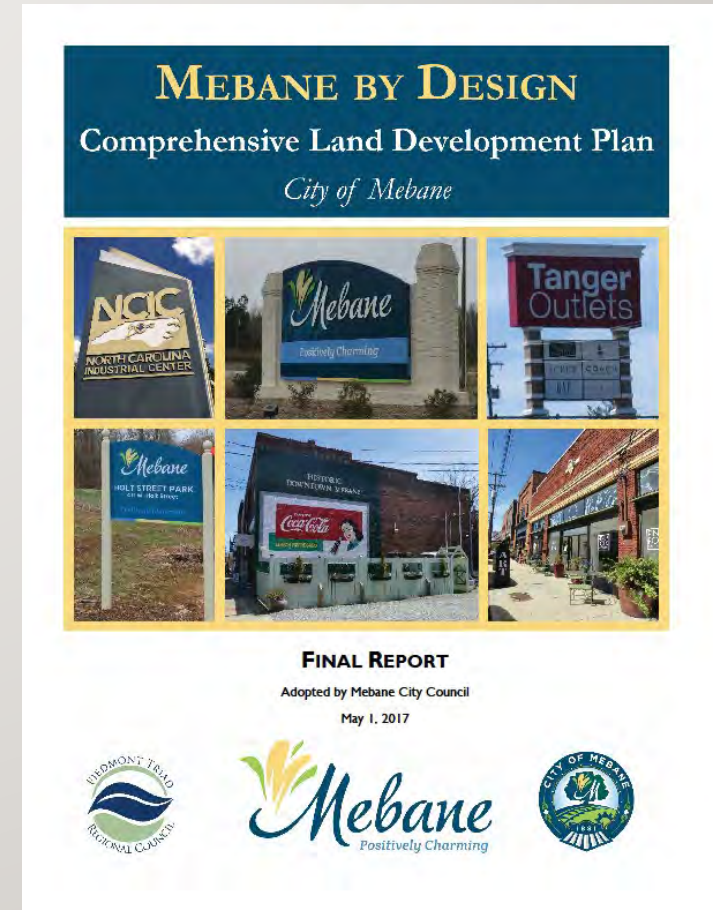
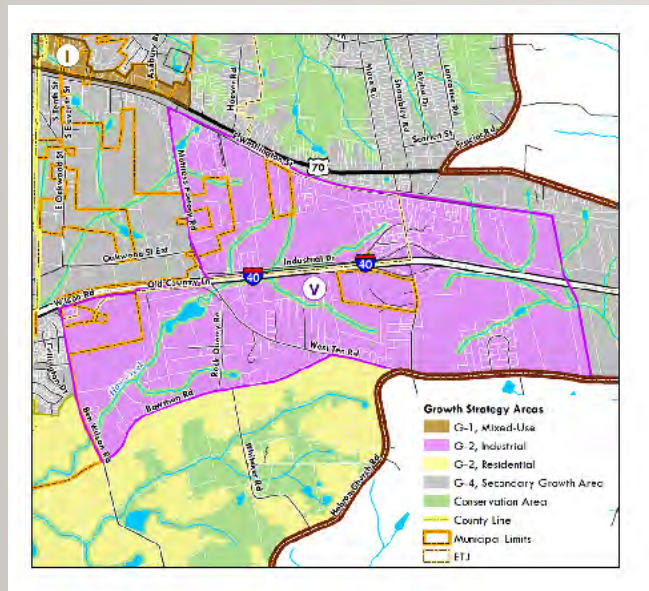
4. Will be in general conformity with the land use plan or other plans and policies officially adopted by the City Council.

Technical Review Committee (TRC) –

- Completed and Approved

Land Use Plan –

- In conformance with G2 – Industrial Growth Area



# Finding of Facts



Thank you and are there any questions?

---

**Closing**





## APPLICATION FOR A SPECIAL USE PERMIT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: VM Development LLC

Address of Applicant: 524 W. Bailey St., Asheboro, NC 27203

Address and brief description of property: 920 Mattress Factory Rd. 5.28 acres at the intersection of Mattress Factory Rd. and Industrial Dr.

Applicant's interest in property: (Owned, leased or otherwise) Owned

\*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes \_\_\_ Explain: \_\_\_\_\_ No

Type of request: Special Use Permit

Sketch attached: Yes  No \_\_\_\_\_

Reason for the request: Land use as a concrete plant.

Signed: William R. Fox Dir of Ops.  
Date: 5/22/23

Action by Planning Board: \_\_\_\_\_

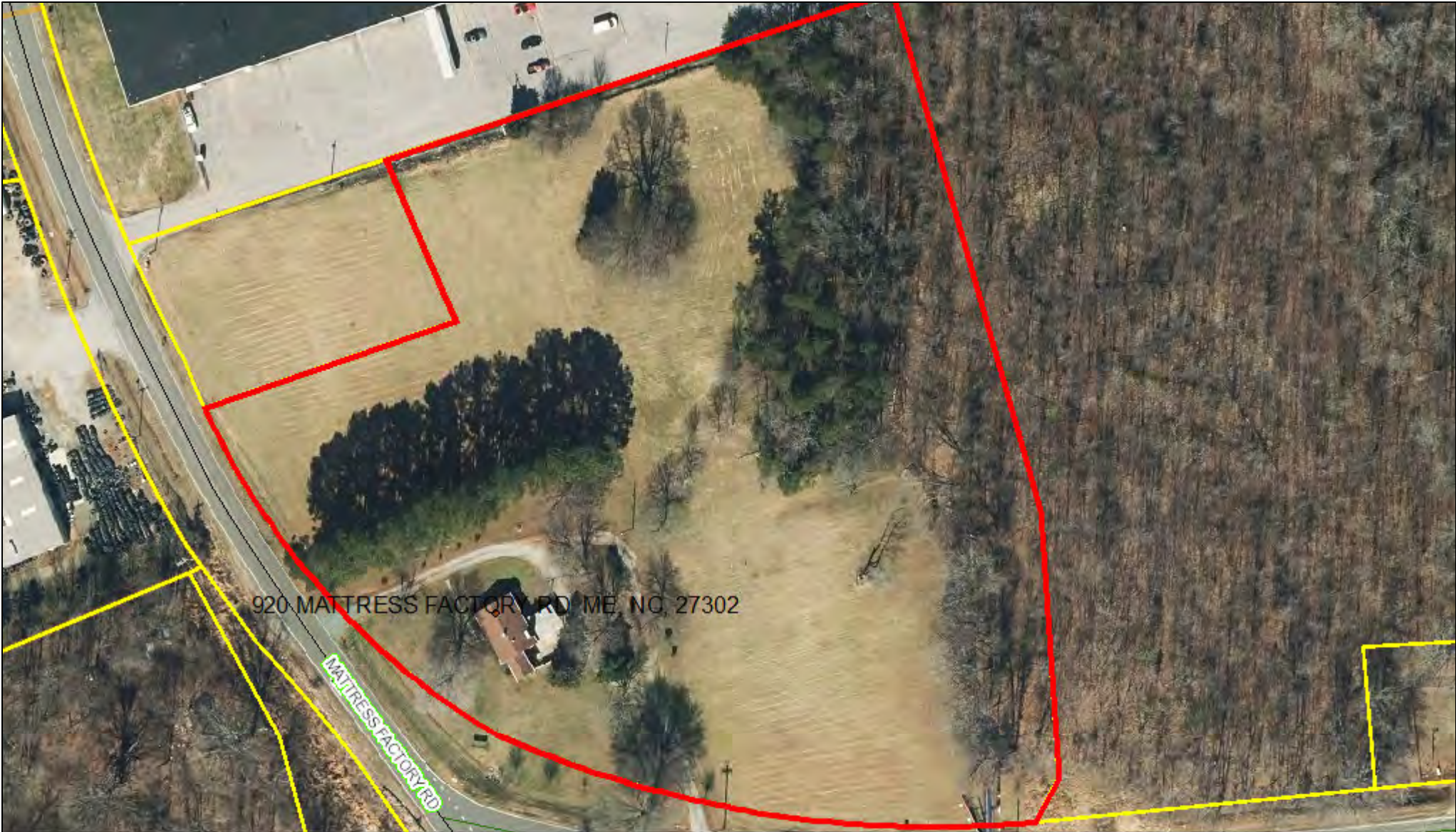
Public Hearing Date: \_\_\_\_\_ Action: \_\_\_\_\_

Zoning Map Corrected: \_\_\_\_\_

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$400.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2<sup>nd</sup> Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1<sup>st</sup> Monday of each month at 6:00 p.m.

# Orange County



May 22, 2023

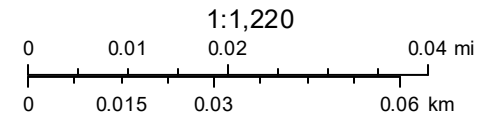
This map contains parcels prepared for the inventory of real property within Orange County, and is compiled from recorded deed, plats, and other public records and data. Users of this map are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information contained on this map.

The county and its mapping companies assume no legal responsibility for the information on this map.

**PIN: 9824778854**  
OWNER 1: VM DEVELOPMENT LLC  
OWNER 2:  
ADDRESS 1: 524 W BAILEY ST  
ADDRESS 2:  
CITY: ASHEBORO  
STATE, ZIP: NC 27203  
LEGAL DESC: MAJ P/O 38-46 PO 35-37 & 47-48 BRIGHT

SIZE: 5.28 A  
DEED REF: 6718/1392  
RATECODE: 03  
TOWNSHIP: CHEEKS  
BLDG SQFT: 1210  
YEAR BUILT: 1942

BUILDING COUNT: 1  
LAND VALUE: \$76,600  
BLDG\_VALUE: \$91,100  
USE\_VALUE: \$0  
TOTAL VALUE: \$167,700  
DATE SOLD: 04/21/2021  
TAX STAMPS: 800



  
**ORANGE COUNTY**  
NORTH CAROLINA





**CITY OF MEBANE GENERAL NOTES:**

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS, CITY OF MEBANE STANDARD DETAILS AND CONSTRUCTION STANDARDS, STATE CONSTRUCTION STANDARDS, OSHA REGULATIONS AND OTHER APPLICABLE CONTRACT DOCUMENTS.
- A COPY OF THE CONSTRUCTION DRAWINGS BEARING THE APPROVAL STAMP FROM THE CITY OF MEBANE SHALL ALWAYS BE ON SITE AND AVAILABLE.
- MATERIAL SUBMITTALS TO BE APPROVED BY THE CITY OF MEBANE PRIOR TO ORDERING MATERIALS.
- MODIFICATION TO THE APPROVED DRAWINGS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER AND THE CITY OF MEBANE.
- PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS TO COMPLETE THE CONSTRUCTION SHOULD BE ACQUIRED AND FOLLOWED.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF MEBANE, OWNER/REP, PLANNING, EROSION CONTROL, GEOTECHNICAL ENGINEER, ALL SUB-CONTRACTORS, AND ENGINEER/REP.
- GEOTECHNICAL SPREADSHEET TO BE PROVIDED TO THE CITY PRIOR TO PRE-CONSTRUCTION MEETING FOR REVIEW. SPREADSHEET TO ACCOMPANY GEOTECHNICAL REPORTS.
- ALL SOIL WITHIN THE RIGHT OF WAY AND PUBLIC EASEMENTS SHALL BE COMPACTED TO CITY OF MEBANE SPECIFICATIONS, CITY REPRESENTATIVE TO BE NOTIFIED 24 HOURS IN ADVANCE AND GIVEN THE OPPORTUNITY TO BE PRESENT DURING GEOTECH TESTING.
- ALL UTILITY SEPARATIONS SHALL MEET THE REQUIREMENTS AS STATED IN THE CITY OF MEBANE CONSTRUCTION DOCUMENTS CHECKLIST. ALL UTILITY SEPARATIONS TO BE FIELD VERIFIED DURING INSTALLATION AND AS-INSTALLED SEPARATIONS TO BE FIELD VERIFIED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE DESIGN ENGINEER VERIFICATION OF AS-INSTALLED SEPARATIONS TO BE INCLUDED ON AS-BUILT DRAWINGS SUBMITTED TO STATE.
- ALL WATER MAIN TO INCLUDE TWO FORMS OF RESTRAINT (MEGA-LUGS AND BLOCKING) AND CONFORM TO ALL DISTANCE CRITERIA, IN DETAIL W-26.
- TESTING PROCEDURES PER CITY OF MEBANE STANDARDS AS FOLLOWS: WATER LINE - PRESSURE TEST, CHLORINATE, BAC-T, SANITARY SEWER - PRESSURE TEST, VACUUM TEST MANHOLES, MANDREL, VIDEO, STORM SEWER - VIDEO, CONCRETE - CYLINDERS EVERY 30 YARDS, ROADWAY - DENSITY AND PROOF ROLL, ASPHALT - CORES FOR BINDER, NUCLEAR DENSITY GAUGE TESTS ON FINAL LIFT.
- FOR ALL PROJECTS WHERE THE FINAL LIFT OF ASPHALT IS NOT ANTICIPATED PRIOR TO THE ONSET OF WINTER, ALL MANHOLES AND VALVE BOXES ARE TO BE ADJUSTED FLUSH WITH THE BINDER COURSE. THE FINAL ADJUSTMENT TO FINISH GRADE WILL NOT BE DONE UNTIL IMMEDIATELY PRIOR TO THE PLACEMENT OF THE FINAL LIFT OF SURFACE COURSE.
- CLASS III RCP SHALL HAVE A MINIMUM OF 3" OF COVER WITHIN THE ROW PER NCDOT REQUIREMENTS, WHERE 3" OF COVER IS NOT PROVIDED, CLASS IV RCP.
- ALL DRAINAGE SWALES SHALL HAVE A MINIMUM OF 18" COVER.
- ALL THIRD-PARTY UTILITIES TO ACQUIRE AN ENCROACHMENT AGREEMENT WITH THE CITY OF MEBANE PRIOR TO STARTING INSTALLATION.
- BORROW PIT LOCATIONS TO BE SURVEYED FOR IN FIELD VERIFICATION AND BE IDENTIFIED ON THE PLAN.
- UNDER ABSOLUTELY NO CIRCUMSTANCES SHALL ANY UNMANNED EXCAVATION BE LEFT OPEN OR UNPROTECTED DURING NON-WORKING HOURS. UTILIZE SIGNS, BARRICADES, ETC. TO ENSURE THE SAFETY OF THE GENERAL PUBLIC.
- WHEN STAKING WATER LINE, CURB RADIUS POINTS SHOULD ALSO BE STAKED TO ENSURE VALVES ARE PLACED OUTSIDE OF CURB LINE AND HANDICAP RAMP TRUNCATED DOMES.
- CONTRACTOR RESPONSIBLE FOR NOTIFYING THE CITY OF MEBANE AND THE DESIGN ENGINEER PRIOR TO TESTING WATER AND SEWER LINES TO COORDINATE SCHEDULING SINCE DESIGN ENGINEER WILL BE CERTIFYING AND MAY WANT TO WITNESS TESTING.
- CONTRACTOR TO SCHEDULE PUNCH LIST WALK THROUGH AFTER BINDER LIFT OF ASPHALT HAS BEEN INSTALLED.

**GENERAL SITE NOTES:**

- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM TOPOGRAPHIC SURVEY PROVIDED BY: R.S. JONES & ASSOCIATES, INC. 201 W. CLAY STREET MEBANE, NC 27302 (919)563-3623
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND R.O.W.'S, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND OUTERS, ROADWAYS, DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- COMPACTION AND WITHSTANDING OF PROPER MOISTURE CONTENT OF THE SOIL UNDER PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT (IF AVAILABLE).
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS ARE SCHEMATIC IN NATURE AND DO NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED FOR A COMPLETE AND WORKING SYSTEM.
- ALL PERMITS RELATIVE TO PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- LANDSCAPE PLANTINGS AND SIGN LOCATIONS AT ENTRANCE/EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCES, PER LOCAL STANDARDS.
- SEEDING TO BE INSTALLED TO NCDOT REQUIREMENT & STANDARD PRACTICES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY.
- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.

**CONTRACTOR NOTES:**

NOTE: ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB, OR TO THE CENTER OF STRUCTURES SUCH AS INLETS, SIGN POSTS, ETC., UNLESS OTHERWISE NOTED.

**CONTRACTOR TO:**

- VISIT SITE AND BRING TO THE ENGINEER'S ATTENTION IN WRITING ANY PROBLEMS OR DISCREPANCIES WITH SITE OR PROJECT PRIOR TO CONSTRUCTION.
- COORDINATE WITH THE OWNER FOR PHASING OF CONSTRUCTION. INSURE A HIGH LEVEL OF SAFETY DURING ALL PHASES OF CONSTRUCTION.
- CHECK ALL DIMENSIONS AND ELEVATIONS NOTED ON PLANS. REPORT ANY DISCREPANCIES TO THE ENGINEER IN WRITING PRIOR TO ANY FURTHER CONSTRUCTION.
- CONTACT ENGINEER FOR OBSERVATION OF CONSTRUCTION RELATED TO REQUIRED FEDERAL, STATE OR LOCAL CERTIFICATIONS INCLUDING BUT NOT LIMITED TO PROOFROLL AND ASPHALT PLACEMENT. PROVIDE 24 HOUR NOTICE TO ENGINEER FOR REQUIRED CONSTRUCTION OBSERVATION RELATED TO CERTIFICATION OF ROADWAY, WATER SYSTEM, PAVEMENT, ETC.
- KEEP ALL PLANTING AND GRASS AREAS FREE OF DEBRIS, STONES, CONSTRUCTION MATERIALS, ETC. CONTRACTOR IS RESPONSIBLE FOR NOT DAMAGING EXISTING PLANTING TO REMAIN.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND AVOIDING ALL UNDERGROUND UTILITIES WHETHER SHOWN ON THE SITE PLAN OR NOT. THOSE SHOWN ARE BASED ON THE SURVEY PROVIDED AND MAY NOT BE ALL INCLUSIVE. CONTACT UTILITY LOCATION SERVICE OR OTHER APPROPRIATE UTILITY LOCATION SERVICE FOR UTILITY IDENTIFICATION PRIOR TO ANY WORK. CONTRACTOR TO PROTECT ALL UTILITIES TO REMAIN-TYPICAL. CONTACT ALL UTILITY COMPANIES TO INSURE THE UTILITIES ARE SHUT DOWN PRIOR TO THE START OF ANY DEMOLITION AND/OR SITE WORK.
- PATCH/REPAIR STREETS, STRUCTURES, ETC. AS NECESSARY AFTER CONNECTION OF PROPOSED UTILITIES.
- SEE GRADING PLAN FOR PROPOSED GRADES AND EROSION CONTROL.
- USE CITY OF MEBANE STANDARD CONSTRUCTION DETAILS FOR ALL SITE WORK ITEMS.

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1402.39'	116.94'	116.91'	S25°35'40"E	4°46'40"
C2	1060.82'	372.72'	370.81'	S84°08'24"E	20°07'52"

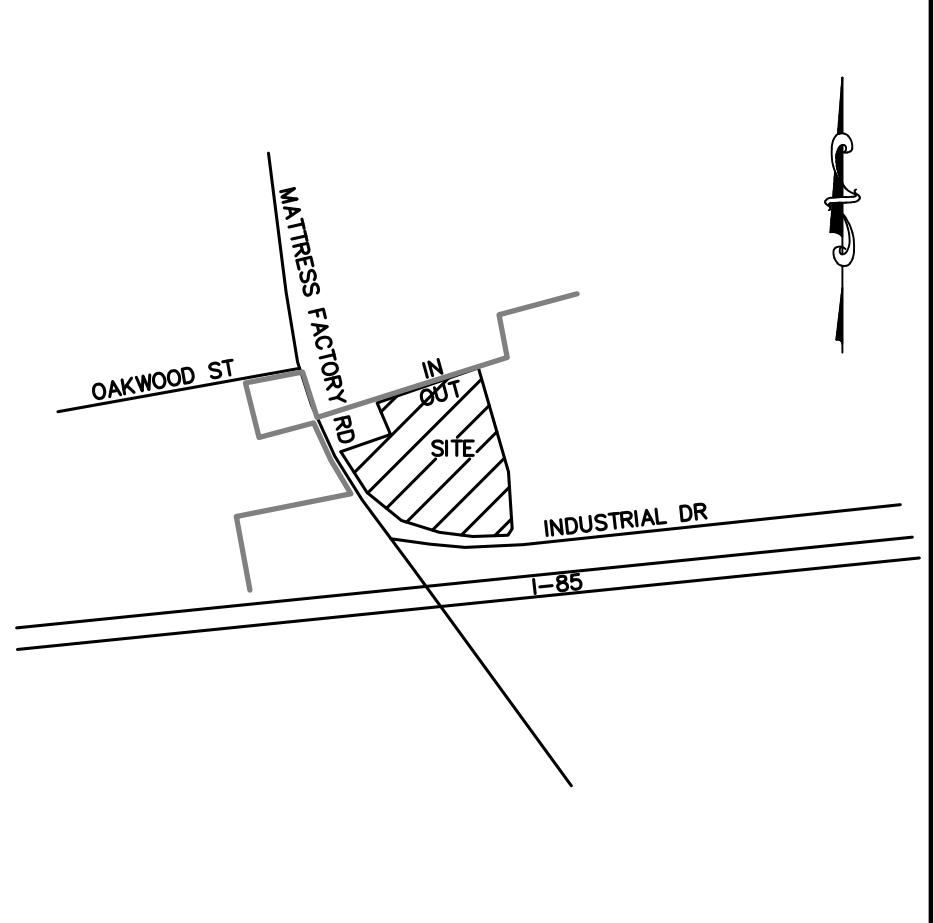
**INDEX:**

- C-001 EXISTING SITE PLAN
- C-002 DEMO PLAN
- C-100 SITE PLAN
- C-101 SITE DETAILS
- C-200 GRADING/EROSION CONTROL PLAN
- C-201 EROSION CONTROL DETAILS
- C-300 UTILITY PLAN
- C-301 UTILITY DETAILS
- C-400 LANDSCAPE PLAN
- C-500 WATERSHED PLAN

**Line Legend**

- Sanitary Sewer Line (Size & Type as NOTED)
- Overhead Utility
- Tree Protection Fence
- Tree Line
- Water Line
- DWV Line
- Tree Protection Line
- Perm. Earth Berm

**GRAPHIC SCALE**  
1 inch = 40 ft.



**VICINITY MAP 1"=2000'**

**SITE INFORMATION**

EX. ZONING	HM - HEAVY MANUFACTURING
PROP. ZONING	HM - HEAVY MANUFACTURING
CURRENT LANDUSE	VACANT RESIDENTIAL
PROP. LANDUSE	CONCRETE PLANT
PARCEL NUMBER	9824778854
PLAT REFERENCE	
DEED REFERENCE	DB 6718 PG1392
WATERSHED	N/A
AVERAGE SLOPE	2.15 % (OF DEVELOPED AREA)
DISTANCE TO NEAREST FEMA FLOOD PLAIN	>1000 LF
FIRM INFO	
SOILS	GeB
EX. GROSS FLOOR AREA	1,210 SF
PROP. GROSS FLOOR AREA	580 SF

**SITE DATA**

	ACREAGE (ac)	PERCENTAGE(%)
TOTAL ACREAGE	5.28	100.00
EX BUA	0.24	4.55
DEMOED BUA	0.24	4.55
PROP BUA	1.59	30.11
TOTAL BUA	1.59	30.11
EX PERVIOUS	5.04	95.45
PROP PERVIOUS	-1.35	-25.57
TOTAL PERVIOUS	3.69	69.89
DISTURBED AREA	2.59	49.05
UNDISTURBED AREA	2.69	50.95

**PARKING INFORMATION**

TOTAL SPACES	21
1 SPACE PER 2/3 EMPLOYEES ON LARGEST SHIFT	2/3*17 EMPLOYEES=12 SPACES
21 SPACES PROVIDED (1 VAN ACCESSIBLE HANDICAP SPACE)	
15 TRUCKS USED IN OPERATION: 15 SPACES PROVIDED	
NO RETAIL COMPONENT TO SITE.	

PREVIOUS SUBMITTALS:  
11/14/22 FIRST SUBMITTAL  
7/19/23 SECOND SUBMITTAL

**OWNER INFORMATION**

OWNER/DEVELOPER:  
VM DEVELOPMENT LLC  
524 W BAILEY ST  
ASHEBORO, NORTH CAROLINA 27203  
336-672-0957 EXT 1

**LEGEND**

#	DATE	ISSUED FOR

THIS DRAWING IS THE PROPERTY OF WESTCOTT, SMALL & ASSOCIATES, PLLC. IT IS TO BE USED ONLY FOR THE PROJECT FOR WHICH IT WAS MADE OR EXTENDED OR RE-USED. THIS DRAWING IS NOT TO BE USED BY ANY OTHER PERSON ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ENGINEER.  
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**WESTCOTT, SMALL & ASSOCIATES, PLLC**  
125 SOUTH ELM STREET, SUITE 606  
GREENSBORO, NC 27401  
WWW.WSAAENG.COM  
PHONE: 336.310.9722

DESIGNED BY MICHAEL WESTCOTT@WESTCOTTSMALLANDASSOCIATES.COM  
REVIEWED BY TORI SMALL@WSAAENG.COM

**CONCRETE PLANT**

920 MATTRESS FACTORY RD  
CHECKS TOWNSHIP, ORANGE COUNTY  
NORTH CAROLINA

ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT

BEFORE YOU DIG!  
CONTACT ONE-CALL CENTER  
1-800-632-4949

PROJECT NO. E-1473.0  
DATE: 9/22/23  
SCALE: AS NOTED  
DWG. BY: MW  
CHK. BY: VWS

**C-001**  
EXISTING  
SITE PLAN





**DEMO KEY NOTES:**

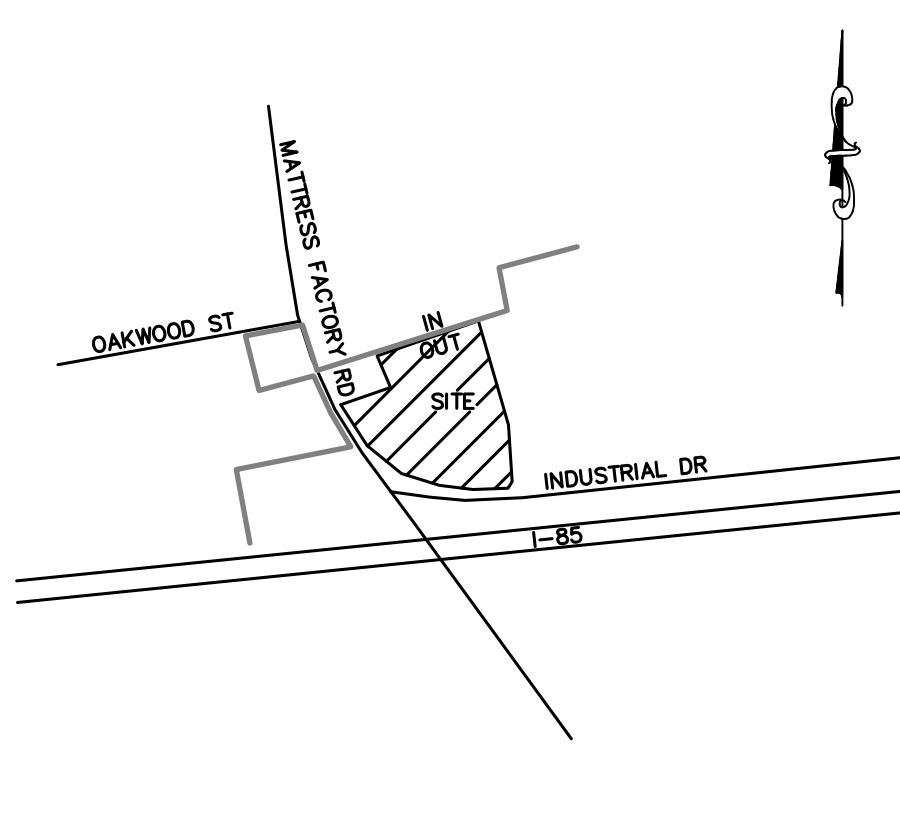
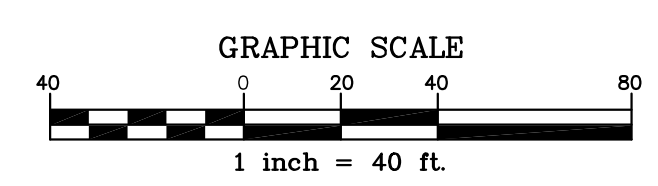
- 1] REMOVE EX BUILDING COMPLETE WITH FOUNDATIONS AND PROPERLY DISPOSE OF OFF SITE.
- 2] REMOVE EX SIDEWALK DOWN TO SUBGRADE AND PROPERLY DISPOSE OF OFF SITE.
- 3] REMOVE EX CONCRETE PAVEMENT DOWN TO SUBGRADE AND PROPERLY DISPOSE OF OFF SITE.
- 4] REMOVE EX GRAVEL DRIVEWAY.
- 5] COORDINATE REMOVAL OF EXISTING GAS SERVICE.
- 6] REMOVE EX WATER AND TERMINATE AT THE MAIN AND PROPERLY DISPOSE OF OFF SITE. REMOVE EX SANITARY SERVICE TO THE TO THE MAIN AND CAP THE WYE CONNECTION. BOTH WATER AND SEWER CAPS SHALL BE INSPECTED BY THE CITY OF MEBANE PRIOR TO BACKFILLING.
- 7] REMOVE EX 15" RCP AND PROPERLY DISPOSE OF OFF SITE.
- 8] CLEAR AND GRUB EX. TREE
- 9] RELOCATE EX POWER POLE FROM PROPOSED DRIVEWAY. NEW LOCATION TO BE DETERMINED BY UTILITY OWNER.
- 10] REMOVE EX OVERHEAD POWER SERVICE.

**DEMOLITION NOTES:**

- PRIOR TO DEMOLITION, GENERAL CONTRACTOR SHALL:
- OBTAIN A DEMOLITION PERMIT FOR THE WORK OUTLINED.
  - SCHEDULE A PRE-CONSTRUCTION MEETING TO COORDINATE PHASING OF THE PROJECT.
  - VISIT SITE TO FIELD VERIFY EXISTING CONDITIONS. BRING TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES OR ANY DEMOLITION ITEMS TO BE DELETED OR ADDED.
  - STAKE OUT LIMITS OF SAW CUT ON SITE FOR APPROVAL BY ENGINEER.
  - FOLLOW EROSION CONTROL PRACTICES IN ACCORDANCE WITH THESE PLANS AS WELL AS CITY, COUNTY, AND STATE EROSION CONTROL STANDARDS. GENERAL CONTRACTOR SHALL NOT ALLOW SEDIMENT TO LEAVE THE SITE. GENERAL CONTRACTOR IS NOT TO DISTURB MORE THAN ONE ACRE DURING ANY PHASE OF CONSTRUCTION.
  - VERIFY THE RE-USE AND ELEVATIONS OF EXISTING UTILITY TAPS AND TIES-INS.
  - REMOVE ALL SOIL/EXISTING STOCKPILES NOT USED ON THE PROJECT TO A DESIGNATED OFF-SITE LOCATION APPROVED BY THE PROPER AUTHORITY.
  - COORDINATE WITH ENGINEER FOR ANY MODIFICATIONS AND APPROVAL TO PROCEED PRIOR TO ANY OFF-SITE DEMOLITION AND/OR SITE WORK, TYPICAL OF ALL OFF-SITE WORK.

**DURING DEMOLITION GENERAL CONTRACTOR SHALL:**

- PROTECT EXISTING PAVEMENT TO REMAIN FROM CHIPPING OR BREAKING. PATCH AND REPAIR OF ANY EXISTING ITEMS DAMAGED DURING DEMOLITION/CONSTRUCTION SHALL BE AT NO COST TO THE OWNER.
- PROPERLY CLOSE AND SECURE TRENCHES AT THE END OF EACH WORK DAY. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT.
- CONTACT ALL UTILITY COMPANIES TO INSURE UTILITIES ARE PROPERLY SHUT DOWN PRIOR TO DEMOLITION OF THE BUILDING AND SITE.



**SITE INFORMATION**

EX. ZONING	HM - HEAVY MANUFACTURING
PROP. ZONING	HM - HEAVY MANUFACTURING
CURRENT LANDUSE	VACANT RESIDENTIAL
PROP. LANDUSE	CONCRETE PLANT
PARCEL NUMBER	982477854
PLAT REFERENCE	
DEED REFERENCE	DB 6718 PG1392
WATERSHED	N/A
AVERAGE SLOPE	2.15 % (OF DEVELOPED AREA)
DISTANCE TO NEAREST FEMA FLOOD PLAIN	>1000 LF
FIRM INFO	
SOILS	GeB
EX. GROSS FLOOR AREA	1,210 SF
PROP. GROSS FLOOR AREA	580 SF

**SITE DATA**

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TOTAL ACREAGE	5.28	100.00
EX BUA	0.24	4.55
DEMOED BUA	0.24	4.55
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**PARKING INFORMATION**

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21 SPACES PROVIDED (1 VAN ACCESSIBLE HANDICAP SPACE)	
15 TRUCKS USED IN OPERATION: 15 SPACES PROVIDED	
NO RETAIL COMPONENT TO SITE.	

**OWNER INFORMATION**

**OWNER/DEVELOPER:**  
 VM DEVELOPMENT LLC  
 524 W BAILEY ST  
 ASHEBORO, NORTH CAROLINA 27203  
 336-672-0957 EXT 1

**LEGEND**

✱ NAIL SET/FOUND	○ IRON PIPE FOUND	○ IRON PIPE SET	□ NC DOT RIGHT-OF-WAY DISC	○ UTILITY POLE	○ UTILITY POLE	○ GUY WIRE	○ SANITARY SEWER MANHOLE	○ SN	○ WATER METER	○ FIRE HYDRANT	○ GAS VALVE	H&A SPOT ELEVATION	N/F NOW OR FORMERLY	E/P EDGE OF PAVEMENT	DIP DUCTILE IRON PIPE	WCR WHEELCHAIR RAMP
<b>Line Legend</b>		SANITARY SEWER LINE (SIZE & TYPE AS NOTED)		OVERHEAD UTILITY	TREE PROTECTION FENCE	TREELINE	WATERLINE	DMU LINE	TREE PROTECTION LINE	PERM. EARTH BERM						

REV	DATE	DESCRIPTION

**WESTCOTT, SMALL & ASSOCIATES, PLLC**  
 125 SOUTH ELM STREET, SUITE 606  
 GREENSBORO, NC 27401  
 WWW.WSAAENG.COM  
 PHONE: 336.310.9722

DESIGNED BY: MICHAEL WESTCOTT@WSAAENG.COM  
 REVIEWED BY: TORI SMALL@WSAAENG.COM

**CONCRETE PLANT**

920 MATTRESS FACTORY RD  
 CHEEK'S TOWNSHIP, ORANGE COUNTY  
 NORTH CAROLINA

ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT

**BEFORE YOU DIG!  
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 1-800-632-4949**

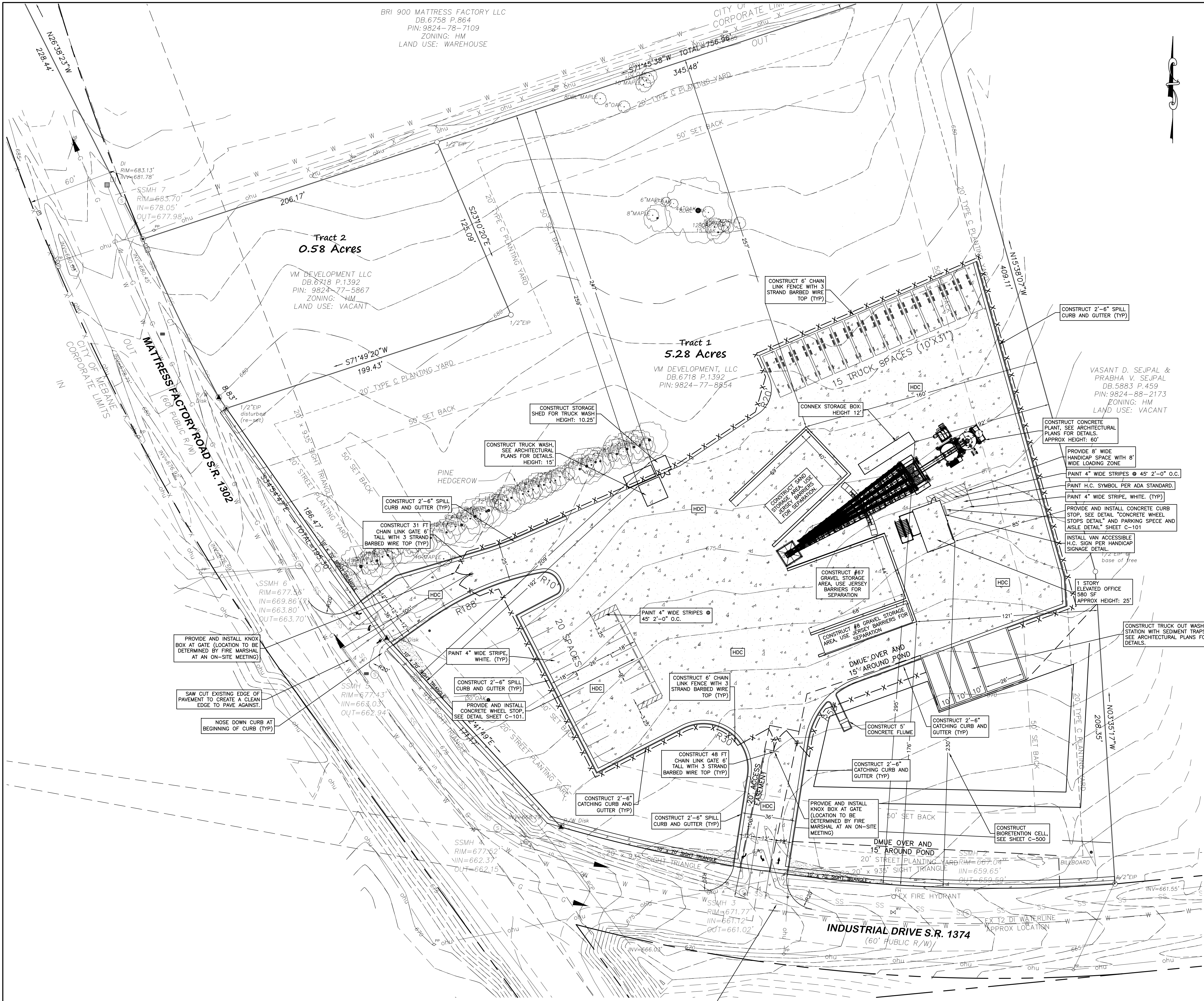
**NORTH CAROLINA PROFESSIONAL SEAL**  
 024442  
 MICHAEL B. WESTCOTT  
 ENGINEER  
 7-0516

#	DATE	ISSUED FOR

PROJECT NO. E-1473.0  
 DATE: 9/22/23  
 SCALE: AS NOTED  
 DWG. BY: MW  
 CHK. BY: VWS

**C-002 DEMO PLAN**





BRI 900 MATTRESS FACTORY LLC  
DB.6758 P.864  
PIN: 9824-78-7109  
ZONING: HM  
LAND USE: WAREHOUSE

Tract 2  
0.58 Acres

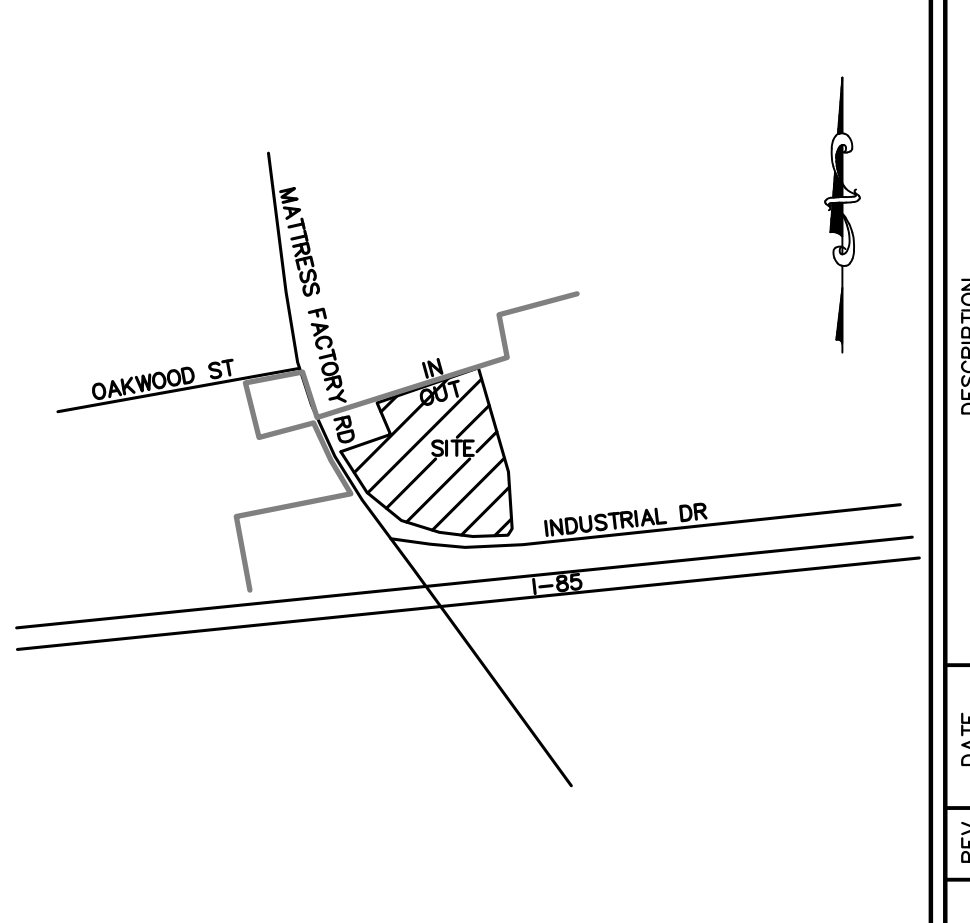
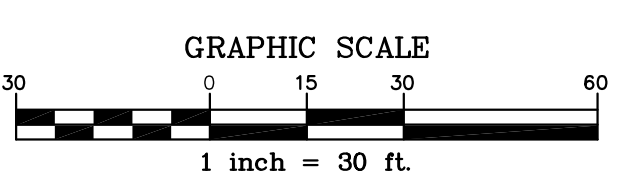
VM DEVELOPMENT LLC  
DB.6718 P.1392  
PIN: 9824-77-5867  
ZONING: HM  
LAND USE: VACANT

Tract 1  
5.28 Acres

VM DEVELOPMENT, LLC  
DB.6718 P.1392  
PIN: 9824-77-8854

VASANT D. SEJPAL &  
PRABHA V. SEJPAL  
DB.5883 P.459  
PIN: 9824-88-2173  
ZONING: HM  
LAND USE: VACANT

**SITE NOTES:**  
1. ALL RADIUS DIMENSIONS ARE 5' UNLESS OTHERWISE NOTED.  
2. SOLID WASTE REMOVAL SHALL BE ACCOMPLISHED THROUGH THE USE OF ROLL CARTS.



VICINITY MAP 1"=2000'

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DEED REFERENCE	DB 6718 PG1392
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336-672-0957 EXT 1

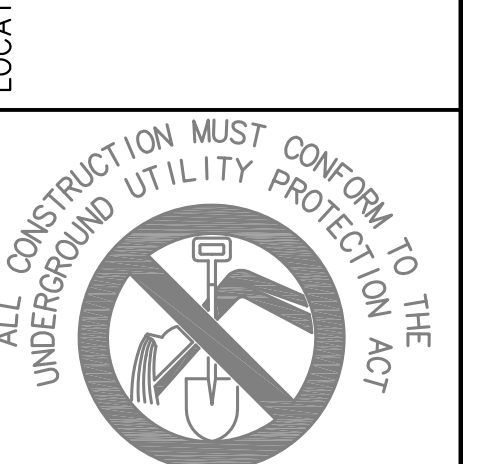
**LEGEND**

Symbol	Description
✱	NAIL SET/FOUND
○	IRON PIPE FOUND
○	IRON PIPE SET
□	NC DOT RIGHT-OF-WAY DISC
○	UTILITY POLE
○	UTILITY POLE
○	GUY WIRE
○	SANITARY SEWER MANHOLE
○	SN
○	WATER METER
○	FIRE HYDRANT
○	GAS VALVE
HSA	SPOT ELEVATION
N/F	NOW OR FORMERLY
E/P	EDGE OF PAVEMENT
DIP	DUCTILE IRON PIPE
WCR	WHEELCHAIR RAMP

REV	DATE	DESCRIPTION

WESTCOTT, SMALL & ASSOCIATES, PLLC  
125 SOUTH ELM STREET, SUITE 606  
GREENSBORO NC 27401  
WWW.WSAAENG.COM  
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CHECKS TOWNSHIP, ORANGE COUNTY  
NORTH CAROLINA



BEFORE YOU DIG!  
CONTACT ONE-CALL CENTER  
1-800-632-4949

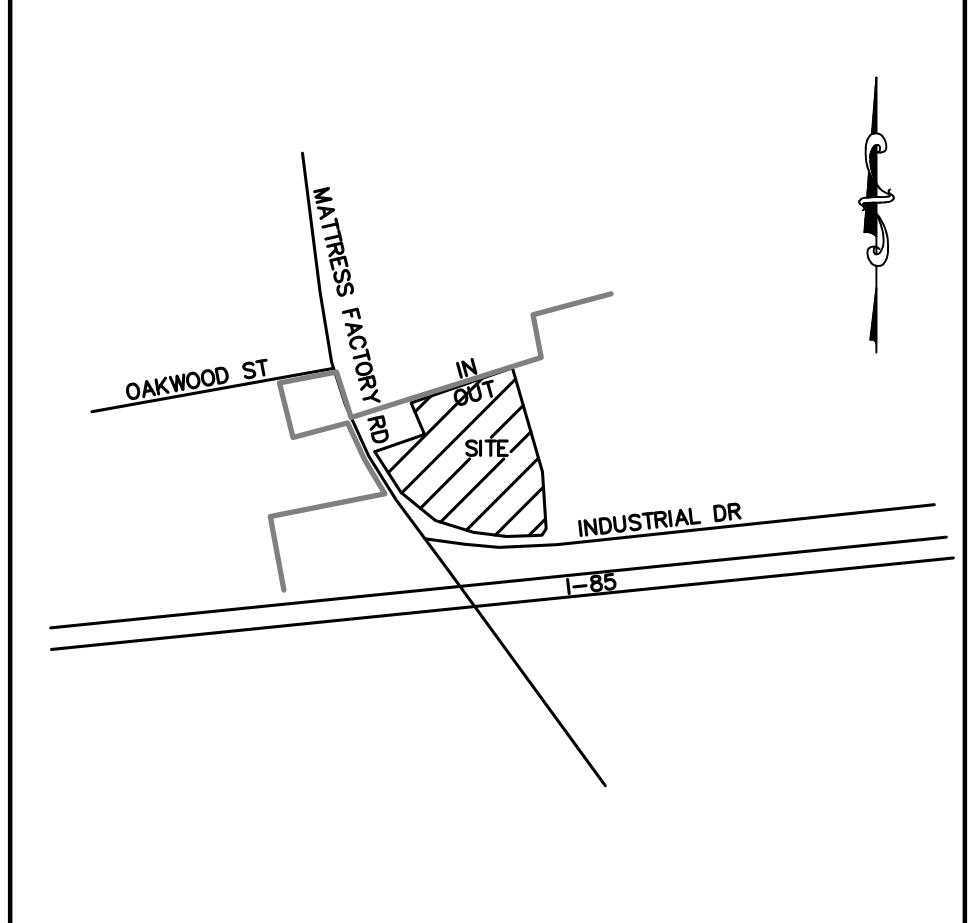
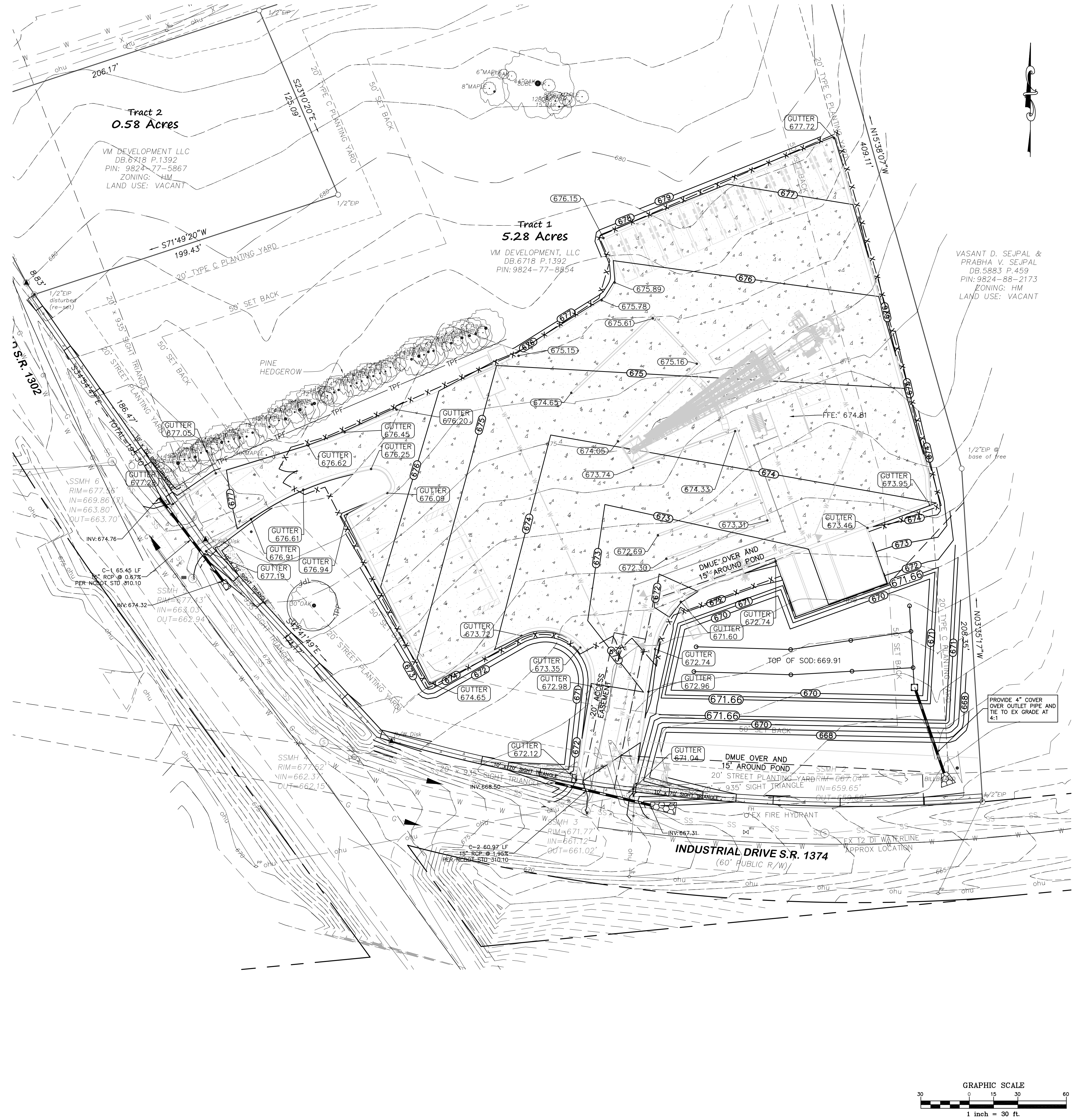
PROJECT NO. E-1473.0  
DATE: 9/22/23  
SCALE: AS NOTED  
DWG. BY: MW  
CHK. BY: VWS

**C-100**  
SITE  
PLAN









VICINITY MAP 1"=2000'

**SITE INFORMATION**

EX. ZONING	HM - HEAVY MANUFACTURING
PROP. ZONING	HM - HEAVY MANUFACTURING
CURRENT LANDUSE	VACANT RESIDENTIAL
PROP. LANDUSE	CONCRETE PLANT
PARCEL NUMBER	982477854
PLAT REFERENCE	
DEED REFERENCE	DB 6718 PG1392
WATERSHED	N/A
AVERAGE SLOPE	2.15 % (OF DEVELOPED AREA)
DISTANCE TO NEAREST FEMA FLOOD PLAIN	>1000 LF
FIRM INFO	
SOILS	GeB
EX. GROSS FLOOR AREA	1,210 SF
PROP. GROSS FLOOR AREA	580 SF

**SITE DATA**

	ACREAGE (ac)	PERCENTAGE(%)
TOTAL ACREAGE	5.28	100.00
EX BUA	0.24	4.55
DEMOED BUA	0.24	4.55
PROP BUA	1.59	30.11
TOTAL BUA	1.59	30.11
EX PERVIOUS	5.04	95.45
PROP PERVIOUS	-1.35	-25.57
TOTAL PERVIOUS	3.69	69.89
DISTURBED AREA	2.59	49.05
UNDISTURBED AREA	2.69	50.95

**PARKING INFORMATION**

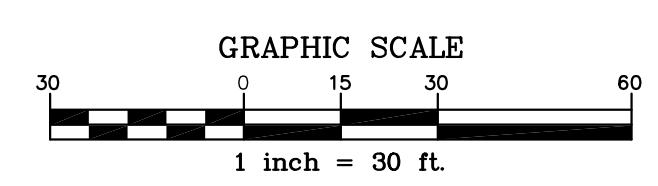
TOTAL SPACES	21
1 SPACE PER 2/3 EMPLOYEES ON LARGEST SHIFT	
2/3*17 EMPLOYEES=12 SPACES	
21 SPACES PROVIDED (1 VAN ACCESSIBLE HANDICAP SPACE)	
15 TRUCKS USED IN OPERATION: 15 SPACES PROVIDED	
NO RETAIL COMPONENT TO SITE.	

**OWNER INFORMATION**

OWNER/DEVELOPER:  
 VM DEVELOPMENT LLC  
 524 W BAILEY ST  
 ASHEBORO, NORTH CAROLINA 27203  
 336-672-0957 EXT 1

**LEGEND**

✱	NAIL SET/FOUND	—	SANITARY SEWER LINE (Size & Type AS NOTED)
○	IRON PIPE SET	—	OVERHEAD UTILITY
○	NC DOT RIGHT-OF-WAY DISC	—	TREE PROTECTION FENCE
○	UTILITY POLE	—	TREELINE
○	UTILITY POLE	—	WATERLINE
○	GUY WIRE	—	DMUE LINE
○	SANITARY SEWER MANHOLE	—	TREE PROTECTION LINE
○	SNON	—	PERM. EARTH BERM
○	WATER METER	—	
○	FIRE HYDRANT	—	
○	GAS VALVE	—	
○	SPOT ELEVATION	—	
N/F	NOW OR FORMERLY		
E/P	EDGE OF PAVEMENT		
DIP	DUCTILE IRON PIPE		
WCR	WHEELCHAIR RAMP		



REV	DATE	DESCRIPTION

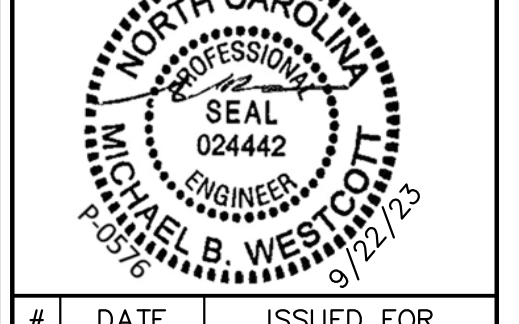
WESTCOTT, SMALL & ASSOCIATES, PLLC  
 125 SOUTH ELM STREET, SUITE 606  
 GREENSBORO, NC 27401  
 WWW.WSAAENG.COM  
 PHONE: 336.310.9722

**CONCRETE PLANT**

920 MATRESS FACTORY RD  
 CHECKS TOWNSHIP, ORANGE COUNTY  
 NORTH CAROLINA

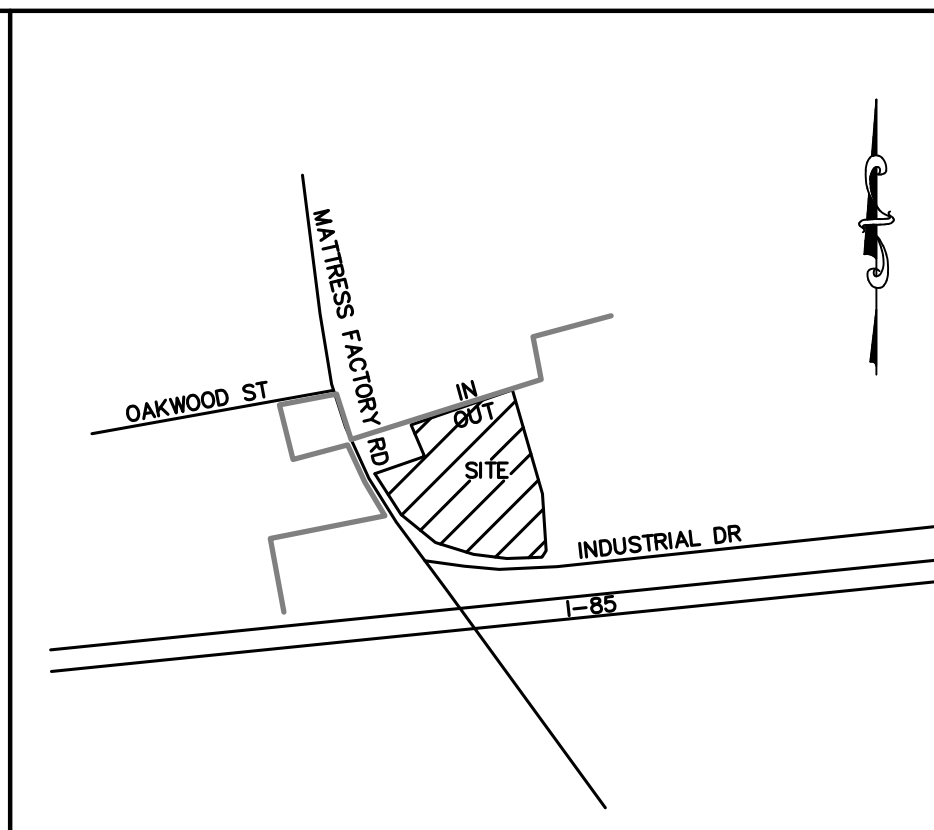
ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT

**BEFORE YOU DIG!  
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 1-800-632-4949**



PROJECT NO. E-1473.0  
 DATE: 9/22/23  
 SCALE: AS NOTED  
 DWG. BY: MW  
 CHK. BY: VWS

**C-200  
 GRADING  
 PLAN**



VICINITY MAP 1"=2000'

SITE INFORMATION

EX. ZONING	HM - HEAVY MANUFACTURING
PROP. ZONING	HM - HEAVY MANUFACTURING
CURRENT LANDUSE	VACANT RESIDENTIAL
PROP. LANDUSE	CONCRETE PLANT
PARCEL NUMBER	9824778854
PLAT REFERENCE	
DEED REFERENCE	DB 6718 PG1392
WATERSHED	N/A
AVERAGE SLOPE	2.15 % (OF DEVELOPED AREA)
DISTANCE TO NEAREST FEMA FLOOD PLAIN	>1000 LF
FIRM INFO	
SOILS	GeB
EX. GROSS FLOOR AREA	1,210 SF
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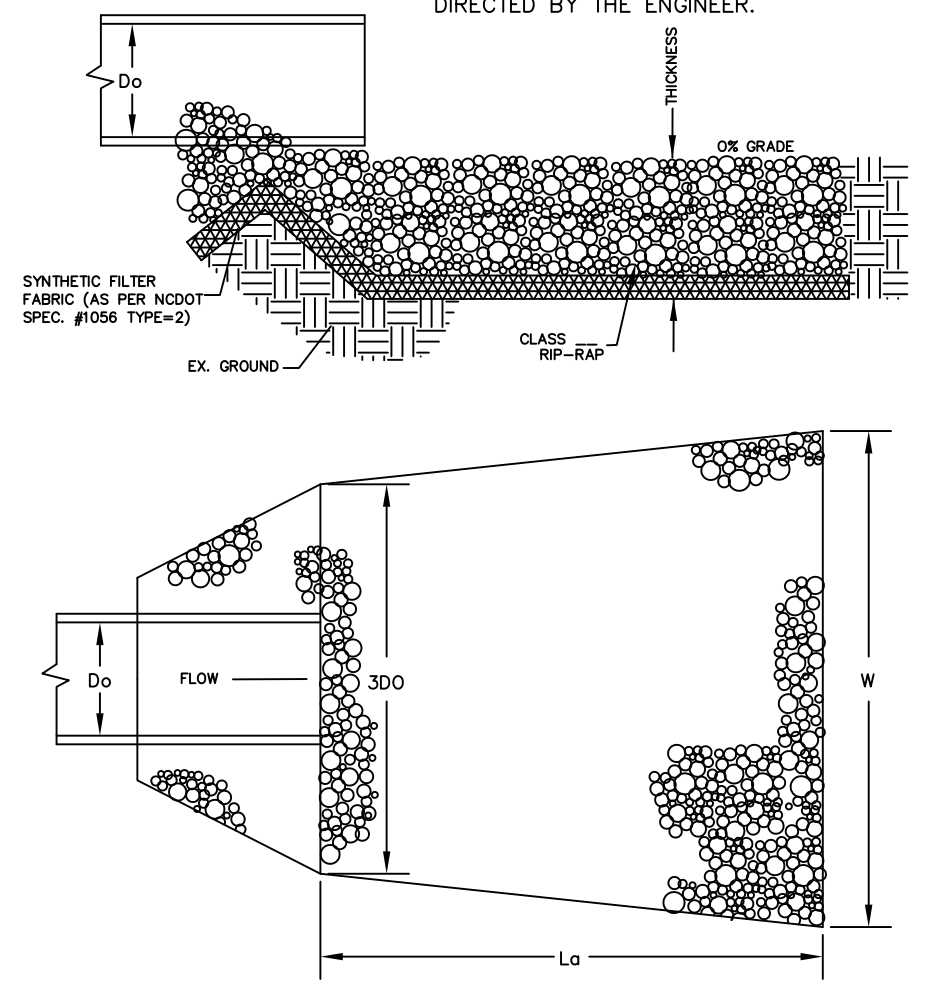
OWNER INFORMATION

OWNER/DEVELOPER:  
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 524 W BAILEY ST  
 ASHEBORO, NORTH CAROLINA 27203  
 336-672-0957 EXT 1

LEGEND

✕	NAIL SET/FOUND	<u>Line Legend</u>	
○	IRON PIPE FOUND	SANITARY SEWER LINE	(SIZE & TYPE AS NOTED)
○	IRON PIPE SET	OVERHEAD UTILITY	OW
□	NC DOT RIGHT-OF-WAY DISC	TREE PROTECTION FENCE	TGF
○	UTILITY POLE	TREELINE	TL
○	UTILITY POLE	WATERLINE	W
○	GUY WIRE	DMUJ LINE	DMUJ
○	SANITARY SEWER MANHOLE	TREE PROTECTION LINE	TPL
○	SN	PERM. EARTH BERM	PEB
○	WATER METER		
○	FIRE HYDRANT		
○	GAS VALVE		
○	SPOT ELEVATION		
N/F	NOW OR FORMERLY		
E/P	EDGE OF PAVEMENT		
DIP	DUCTILE IRON PIPE		
WCR	WHEELCHAIR RAMP		

NOTES:  
 PLACE RIP-RAP AROUND PIPE AS DIRECTED BY THE ENGINEER.



PIPE NUMBER	Do (IN)	3Do (FT)	Ld (FT)	W (FT)	RIP-RAP CLASS	MIN. PAD THICKNESS
C-1	15	3.75	6	3.75	II	9"
C-2	15	3.75	16	8	II	9"
BIOCELL	15	3.75	8	9.25	II	9"

RIP-RAP OUTLET PROTECTION DETAILS

REV	DATE	DESCRIPTION

WESTCOTT, SMALL & ASSOCIATES, PLLC  
 125 SOUTH ELM STREET, SUITE 606  
 GREENSBORO, NC 27401  
 WWW.WSAAENG.COM  
 PHONE: 336.310.9722

DESIGNED BY: MICHAEL WESTCOTT@WSAAENG.COM  
 REVIEWED BY: TORI SMALL@WSAAENG.COM

CONCRETE PLANT

920 MATTRESS FACTORY RD  
 CHEEKS TOWNSHIP, ORANGE COUNTY  
 NORTH CAROLINA

ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT

BEFORE YOU DIG!  
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 1-800-632-4949

#	DATE	ISSUED FOR

PROJECT NO. E-1473.0  
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 DWG. BY: MW  
 CHK. BY: VWS

C-201  
 EROSION CONTROL  
 DETAILS

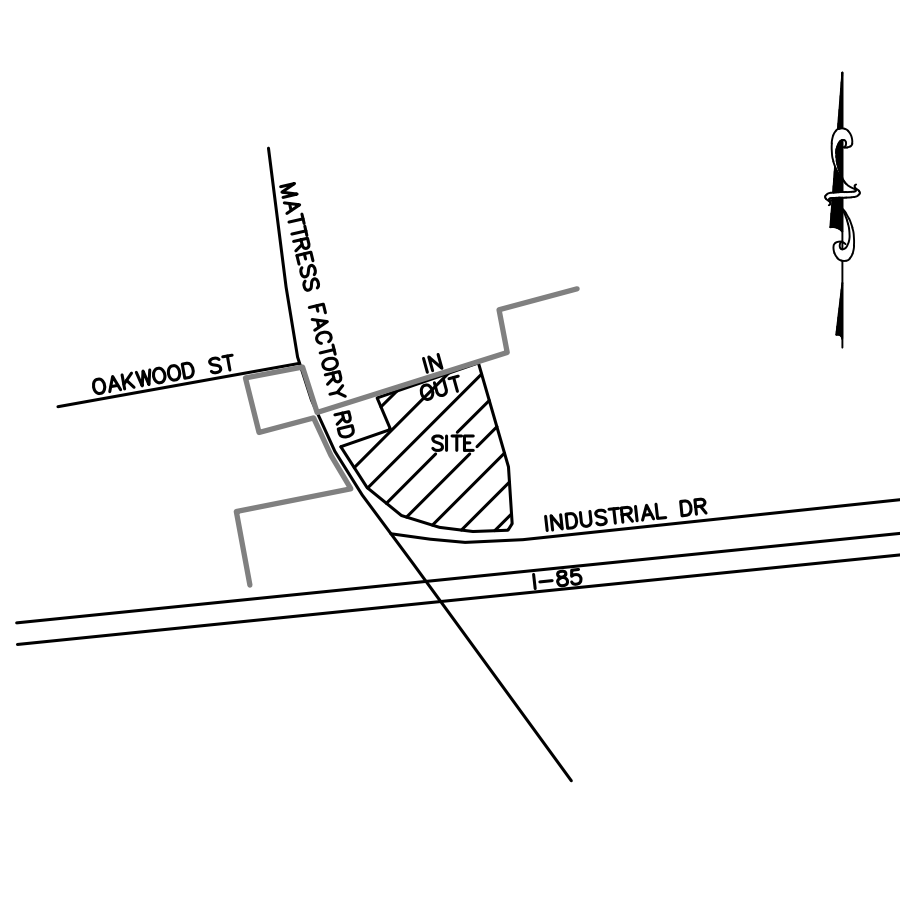
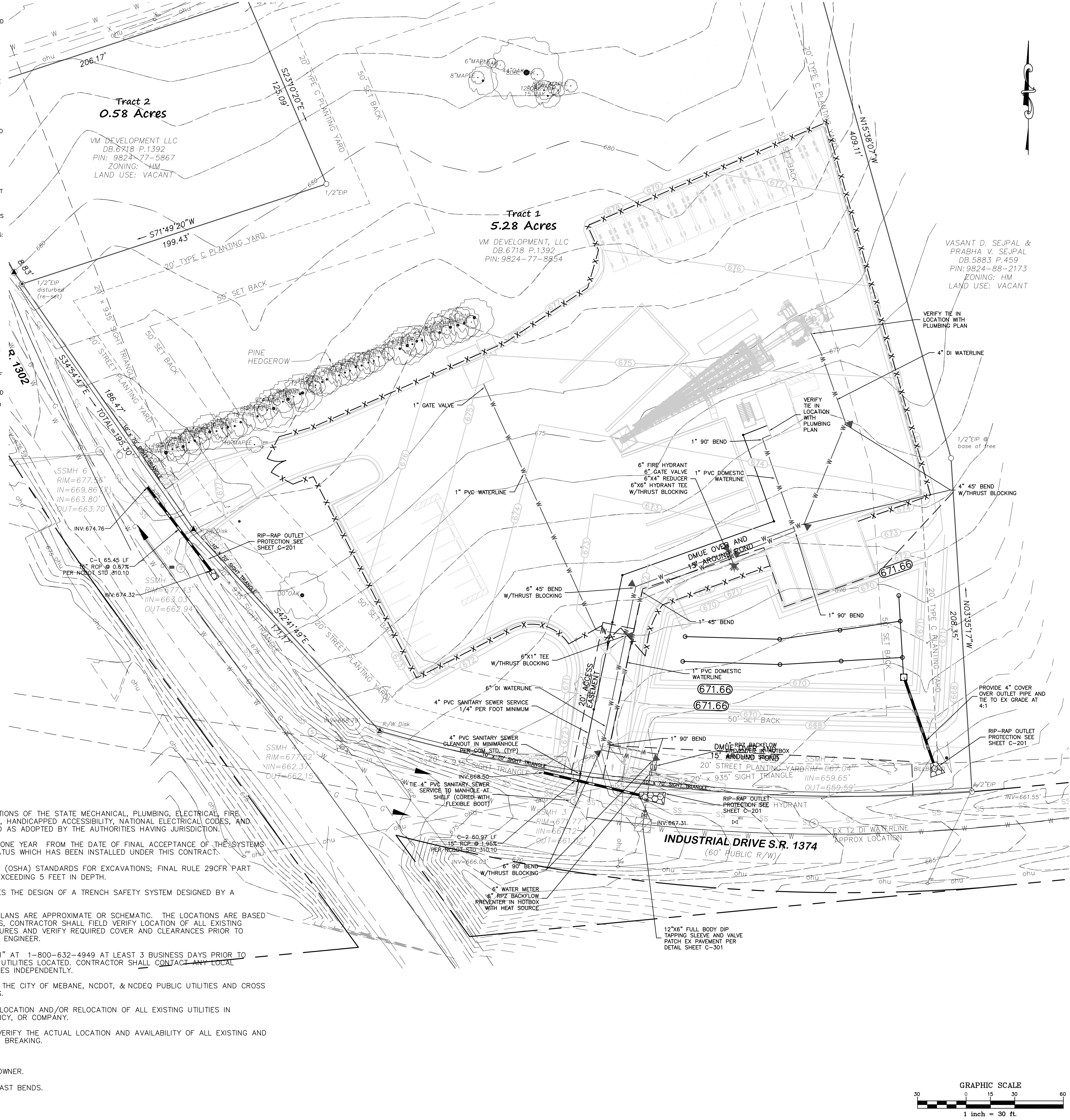


**CITY OF MEBANE GENERAL NOTES:**

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS, CITY OF MEBANE STANDARD DETAILS AND CONSTRUCTION STANDARDS, STATE CONSTRUCTION STANDARDS, OSHA REGULATIONS AND OTHER APPLICABLE CONTRACT DOCUMENTS.
- A COPY OF THE CONSTRUCTION DRAWINGS BEARING THE APPROVAL STAMP FROM THE CITY OF MEBANE SHALL ALWAYS BE ON SITE AND AVAILABLE.
- MATERIAL SUBMITTALS TO BE APPROVED BY THE CITY OF MEBANE PRIOR TO ORDERING MATERIAL.
- MODIFICATION TO THE APPROVED DRAWINGS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER AND THE CITY OF MEBANE.
- PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS TO COMPLETE THE CONSTRUCTION SHOULD BE ACQUIRED AND FOLLOWED.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF MEBANE, OWNER/REP, PLANNING, EROSION CONTROL, GEOTECHNICAL ENGINEER, ALL SUB-CONTRACTORS, AND ENGINEER/REP.
- GEOTECHNICAL SPREADSHEET TO BE PROVIDED TO THE CITY PRIOR TO PRE-CONSTRUCTION MEETING FOR REVIEW. SPREADSHEET TO ACCOMPANY GEOTECHNICAL REPORTS.
- ALL SOIL WITHIN THE RIGHT OF WAY AND PUBLIC EASEMENTS SHALL BE COMPACTED TO CITY OF MEBANE SPECIFICATIONS. CITY REPRESENTATIVE TO BE NOTIFIED 24 HOURS IN ADVANCE AND GIVEN THE OPPORTUNITY TO BE PRESENT DURING GEOTECH TESTING.
- ALL UTILITY SEPARATIONS SHALL MEET THE REQUIREMENTS AS STATED IN THE CITY OF MEBANE CONSTRUCTION DOCUMENTS CHECKLIST. ALL UTILITY SEPARATIONS TO BE FIELD VERIFIED DURING INSTALLATION AND AS-INSTALLED SEPARATIONS LABELED ON AS-BUILT DRAWINGS. CONTRACTOR SHALL PROVIDE DESIGN ENGINEER VERIFICATION OF AS-INSTALLED SEPARATIONS TO BE INCLUDED ON AS-BUILT DRAWINGS SUBMITTED TO STATE.
- ALL WATER MAIN TO INCLUDE TWO FORMS OF RESTRAINT (MEGA-LUGS AND BLOCKING) AND CONFORM TO THE DISTANCES STATED IN DETAIL W-26.
- TESTING PROCEDURES PER CITY OF MEBANE STANDARDS AS FOLLOWS: WATER LINE - PRESSURE TEST, CHLORINATE, BAC-T, SANITARY SEWER - PRESSURE TEST, VACUUM TEST MANHOLES, MANDREL VIDEO, STORM SEWER - VIDEO, CONCRETE - CYLINDERS EVERY 30 YARDS, ROADWAY - DENSITY AND PROOF ROLL, ASPHALT - CORES FOR BINDER, NUCLEAR DENSITY GAUGE TESTS ON FINAL LIFT. FOR ALL PROJECTS WHERE THE FINAL LIFT OF ASPHALT IS NOT ANTICIPATED PRIOR TO THE ONSET OF WINTER, ALL MANHOLES AND VALVE BOXES ARE TO BE ADJUSTED FLUSH WITH THE BINDER COURSE. THE FINAL ADJUSTMENT TO FINISH GRADE WILL NOT BE DONE UNTIL IMMEDIATELY PRIOR TO THE PLACEMENT OF THE FINAL LIFT OF SURFACE COURSE.
- CLASS III RCP SHALL HAVE A MINIMUM OF 3' OF COVER WITHIN THE ROW PER NCDOT REQUIREMENTS, WHERE 3' OF COVER IS NOT PROVIDED, CLASS IV RCP.
- ALL DRAINAGE SWALES SHALL HAVE A MINIMUM OF 1% SLOPE.
- ALL THIRD-PARTY UTILITIES TO ACQUIRE AN ENCROACHMENT AGREEMENT WITH THE CITY OF MEBANE PRIOR TO STARTING INSTALLATION.
- BORROW PIT LOCATIONS TO BE SURVEYED FOR IN FIELD VERIFICATION AND BE IDENTIFIED ON THE PLAT.
- UNDER ABSOLUTELY NO CIRCUMSTANCES SHALL ANY UNMANNED EXCAVATION BE LEFT OPEN OR UNPROTECTED DURING NON-WORKING HOURS. UTILIZE SIGNS, BARRICADES, ETC. TO ENSURE THE SAFETY OF THE GENERAL PUBLIC.
- WHEN STAKING WATER LINE, CURB RADIUS POINTS SHOULD ALSO BE STAKED TO ENSURE VALVES ARE PLACED OUTSIDE OF CURB LINE AND HANDICAP RAMP TRUNCATED DOMES.
- CONTRACTOR RESPONSIBLE FOR NOTIFYING THE CITY OF MEBANE AND THE DESIGN ENGINEER PRIOR TO TESTING WATER AND SEWER LINES TO COORDINATE SCHEDULING SINCE DESIGN ENGINEER WILL BE CERTIFYING AND MAY WANT TO WITNESS TESTING.
- CONTRACTOR TO SCHEDULE PUNCH LIST WALK THROUGH AFTER BINDER LIFT OF ASPHALT HAS BEEN INSTALLED.

**UTILITY NOTES:**

- ALL WORK SHALL BE GOVERNED BY THE LATEST EDITIONS OF THE STATE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, BUILDING CODE, ENERGY CONSERVATION, HANDICAPPED ACCESSIBILITY, NATIONAL ELECTRICAL CODES, AND NATIONAL FIRE PROTECTION ASSOCIATION CODES AND AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL GUARANTEE, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE SYSTEMS BY THE OWNER, EACH AND EVERY PIECE OF APPARATUS WHICH HAS BEEN INSTALLED UNDER THIS CONTRACT.
- OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH.
- EXCAVATIONS EXCEEDING 20 FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
- LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE OR SCHEMATIC. THE LOCATIONS ARE BASED ON ACTUAL FIELD SURVEYS AND AVAILABLE RECORDS, CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND UNDERGROUND STRUCTURES AND VERIFY REQUIRED COVER AND CLEARANCES PRIOR TO CONSTRUCTION AND REPORT ANY CONFLICTS TO THE ENGINEER.
- CONTRACTOR SHALL NOTIFY NORTH CAROLINA "NC811" AT 1-800-632-4949 AT LEAST 3 BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENTLY.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MEBANE, NCDOT, & NCDEQ PUBLIC UTILITIES AND CROSS CONNECTION CONTROL REGULATIONS AND STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY, AGENCY, OR COMPANY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
- REFER TO DETAIL SHEET FOR PIPE BEDDING.
- ALL ONSITE PRIVATE WATER TO BE MAINTAINED BY OWNER.
- ALL WATERLINE TO BE RESTRAINED JOINT FOR 20' PAST BENDS.



**VICINITY MAP 1"=2000'**

**SITE INFORMATION**

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PROP. ZONING	HM - HEAVY MANUFACTURING
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**OWNER INFORMATION**

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 VM DEVELOPMENT LLC  
 524 W BAILEY ST  
 ASHEBORO, NORTH CAROLINA 27203  
 336-672-0957 EXT 1

**LEGEND**

✕	NAIL SET/FOUND	—	SANITARY SEWER LINE (SIZE & TYPE AS NOTED)
○	IRON PIPE FOUND	—	OVERHEAD UTILITY
●	IRON PIPE SET	—	TREE PROTECTION FENCE
□	NC DOT RIGHT-OF-WAY DISC	—	TREELINE
○	UTILITY POLE	—	WATERLINE
○	UTILITY POLE	—	DMUE LINE
○	GUY WIRE	—	TREE PROTECTION LINE
○	SANITARY SEWER MANHOLE	—	PERM. EARTH BERM
○	SON	—	
○	WATER METER	—	
○	FIRE HYDRANT	—	
○	GAS VALVE	—	
○	SPOT ELEVATION	—	
H/S	NOW OR FORMERLY	—	
E/P	EDGE OF PAVEMENT	—	
DIP	DUCTILE IRON PIPE	—	
WCR	WHEELCHAIR RAMP	—	

REV	DATE	DESCRIPTION

WESTCOTT, SMALL & ASSOCIATES, PLLC  
 125 SOUTH ELM STREET, SUITE 606  
 GREENSBORO NC 27401  
 WWW.WSAAENG.COM  
 PHONE: 336.310.9722

DESIGNED BY: MICHAEL WESTCOTT  
 DRAWN BY: TORI SMALL  
 CHECKED BY: MICHAEL WESTCOTT  
 REVIEWED BY: TORI SMALL

**CONCRETE PLANT**

920 MATTHEW FACTORY RD  
 CHEEK'S TOWNSHIP, ORANGE COUNTY  
 NORTH CAROLINA

ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT

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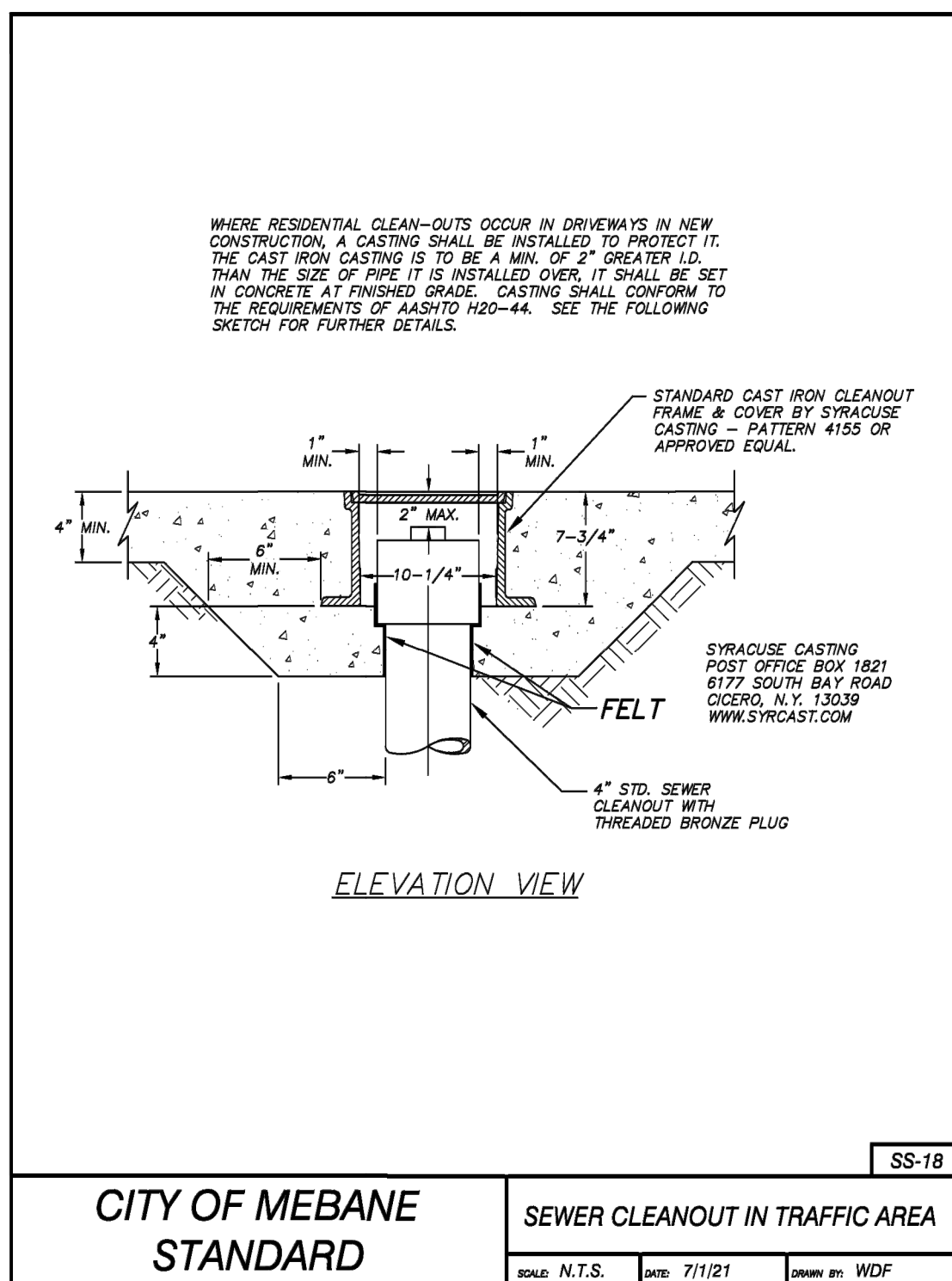
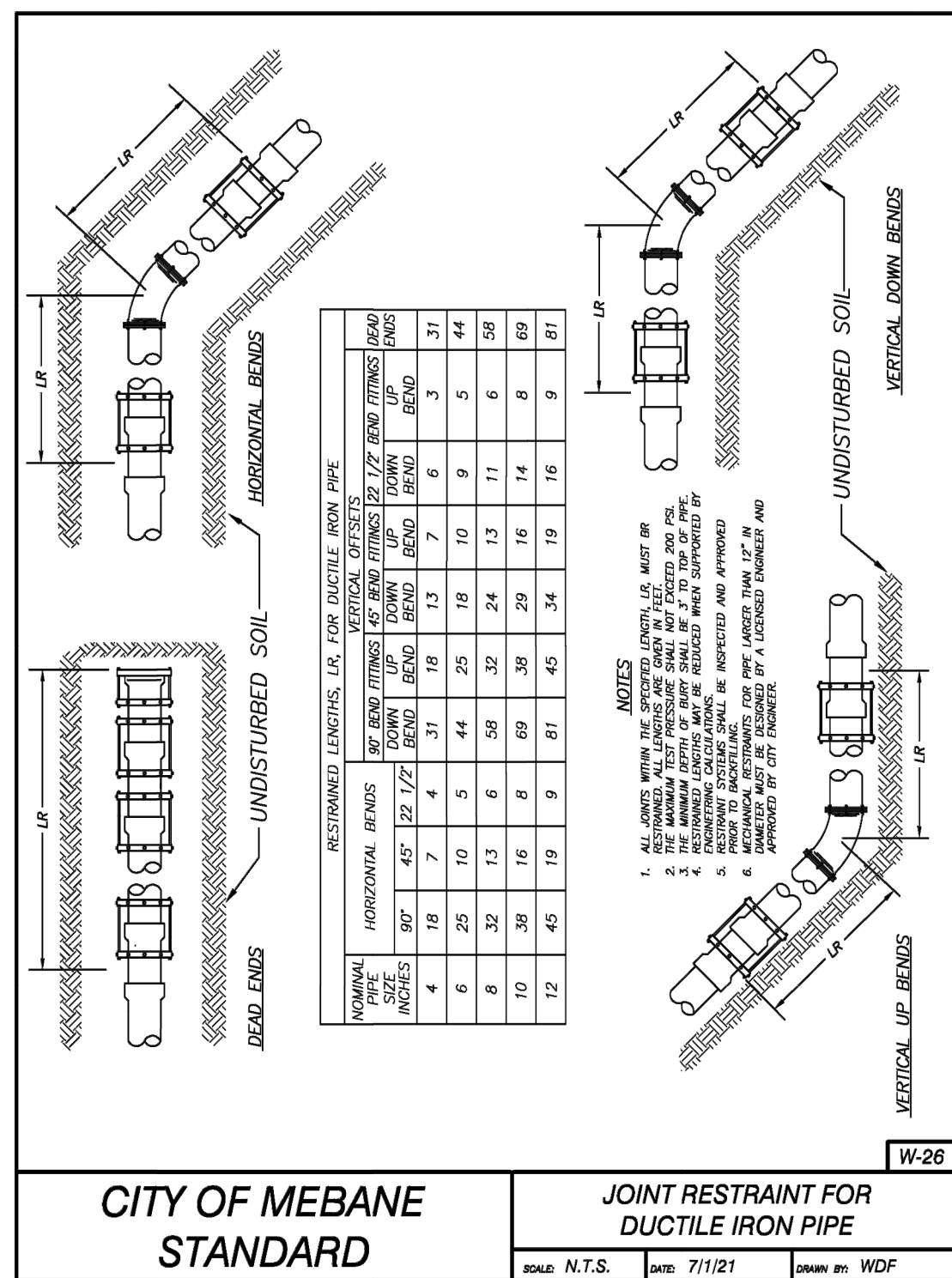
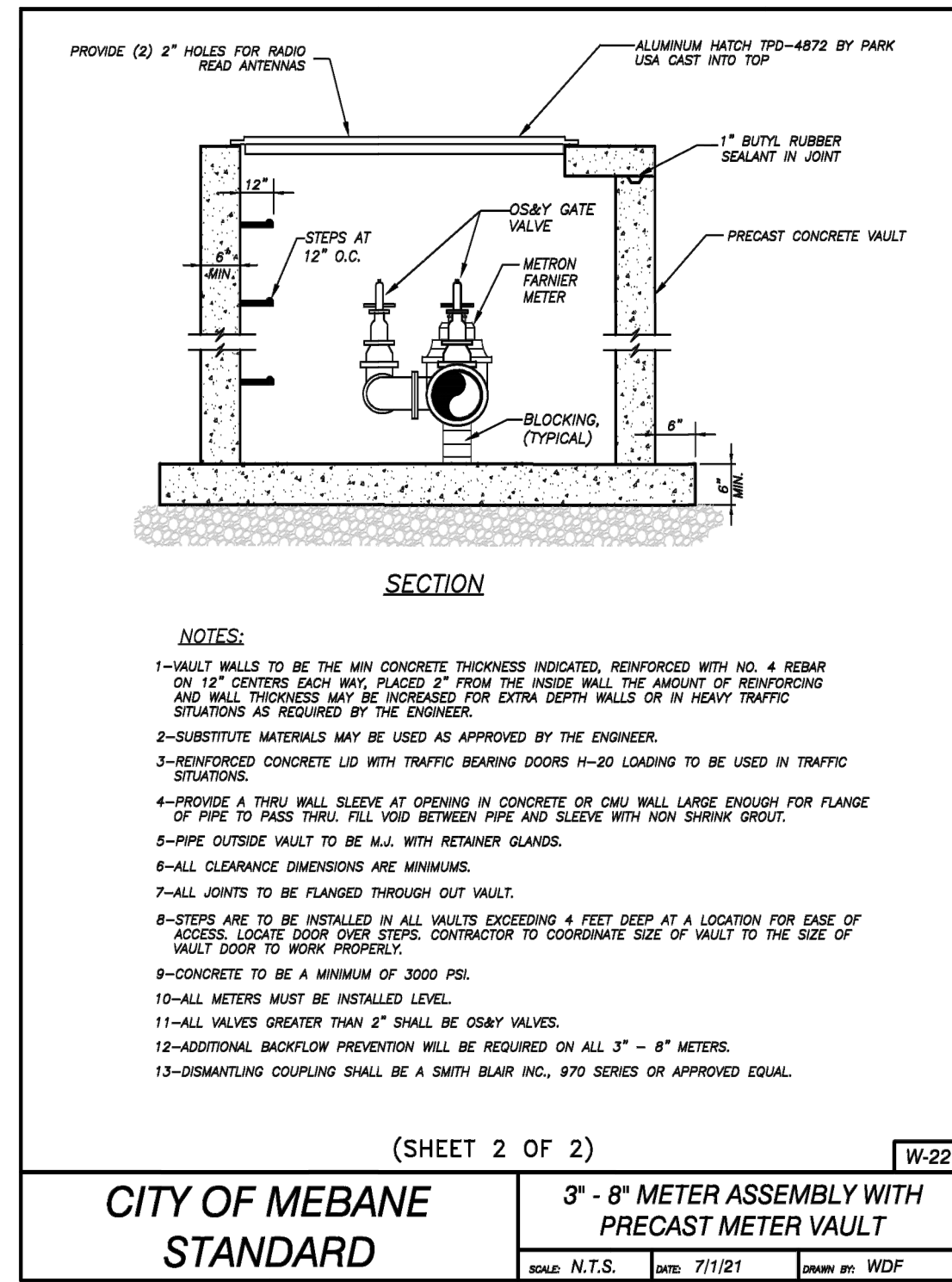
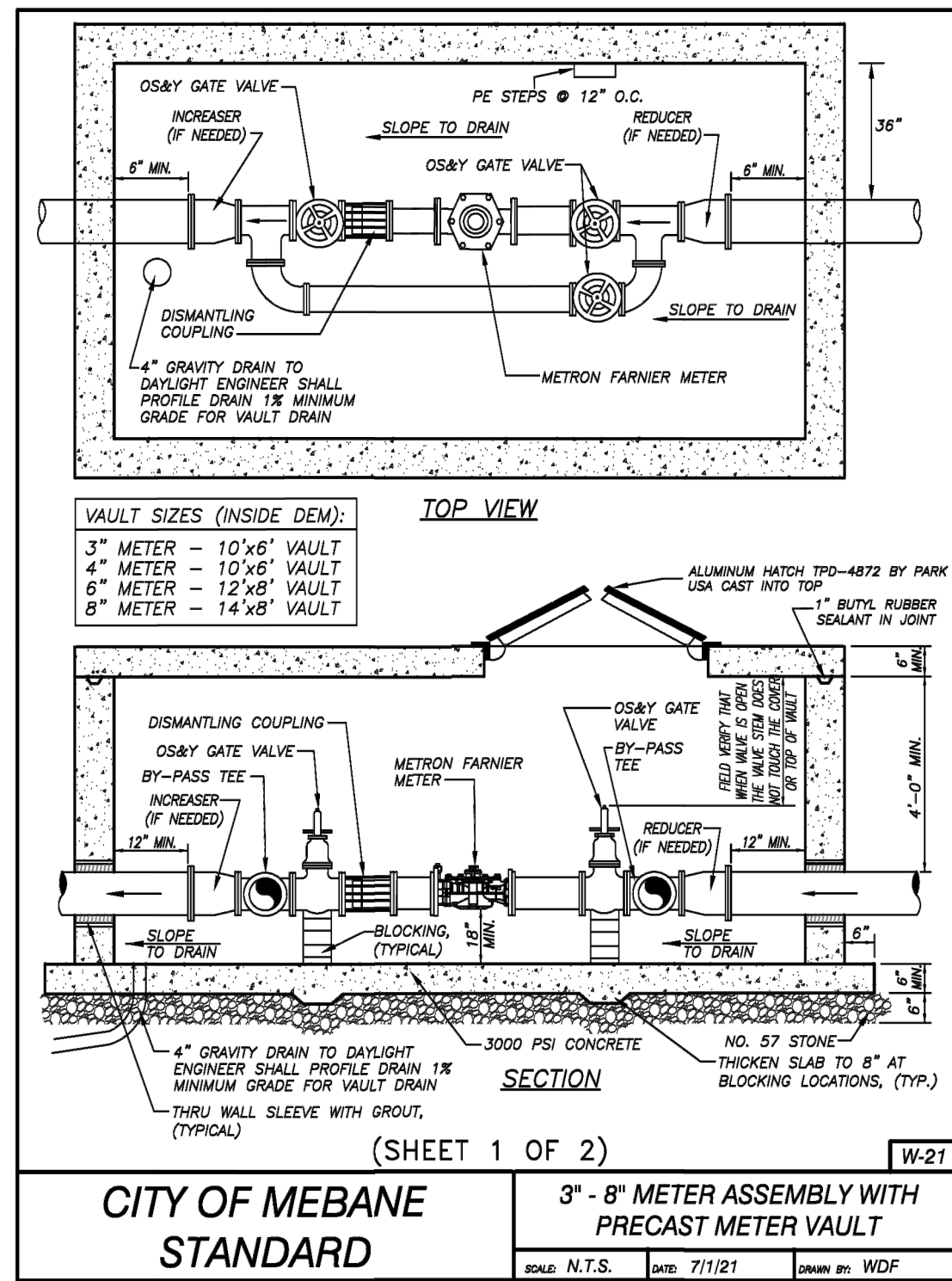
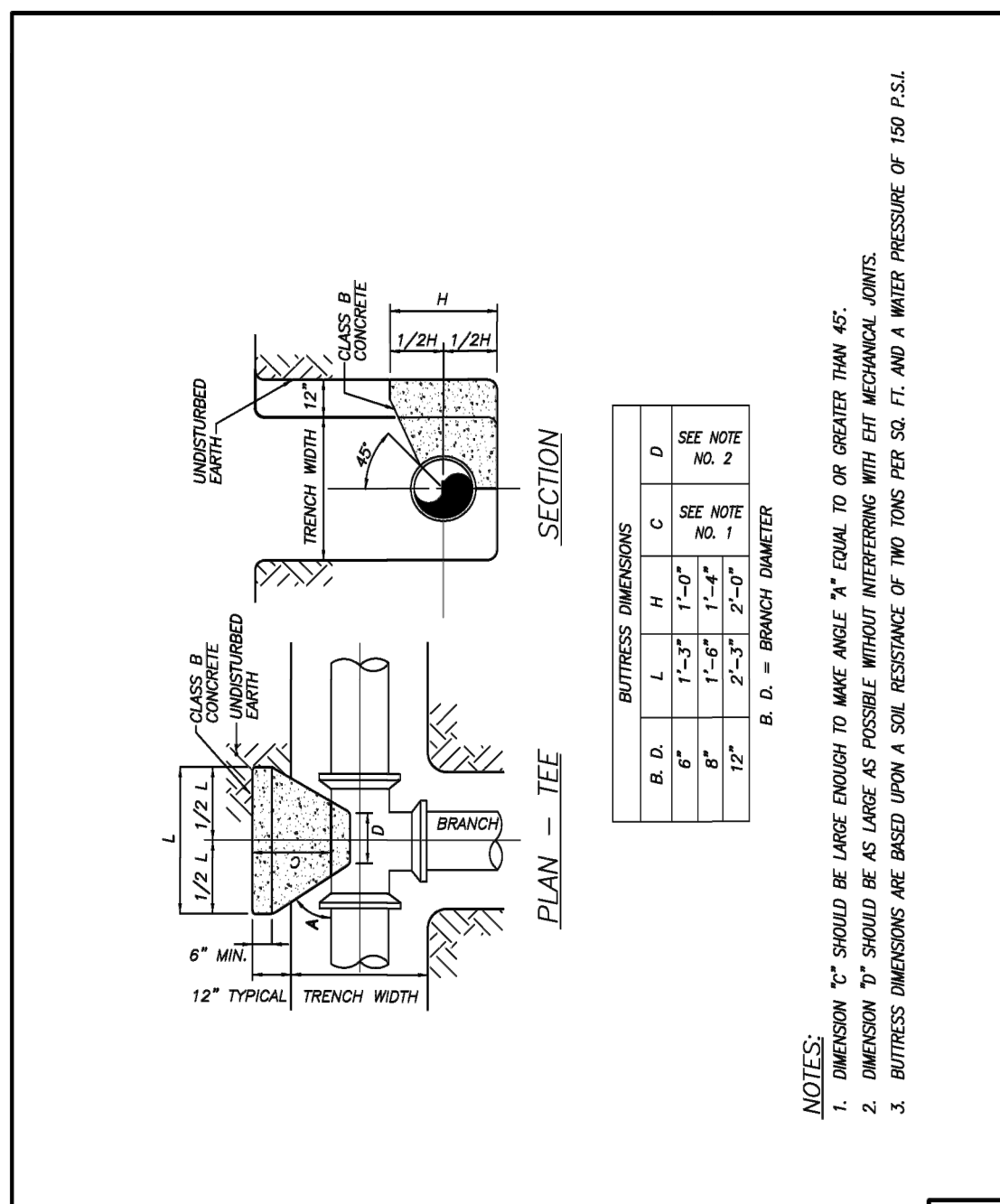
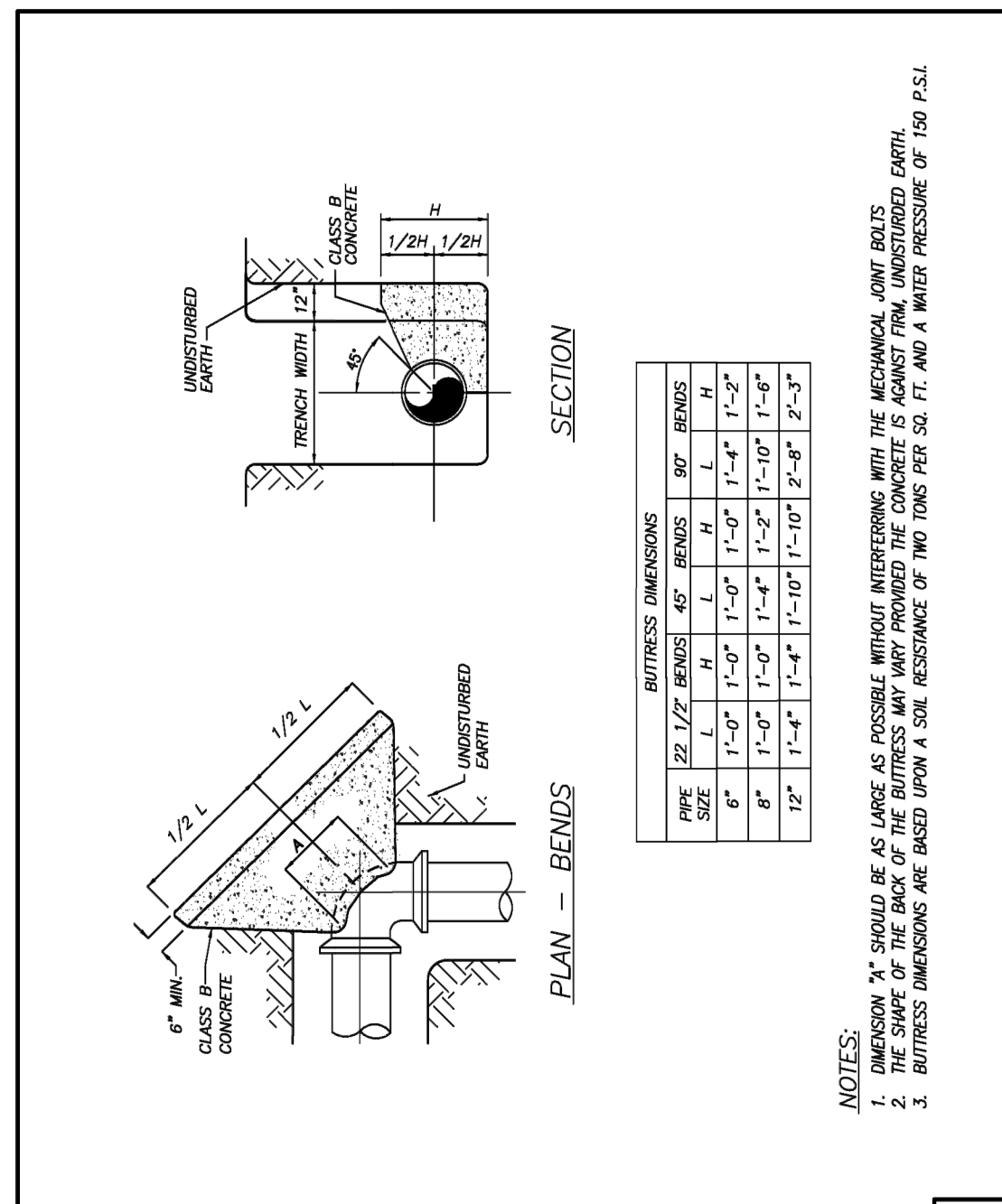
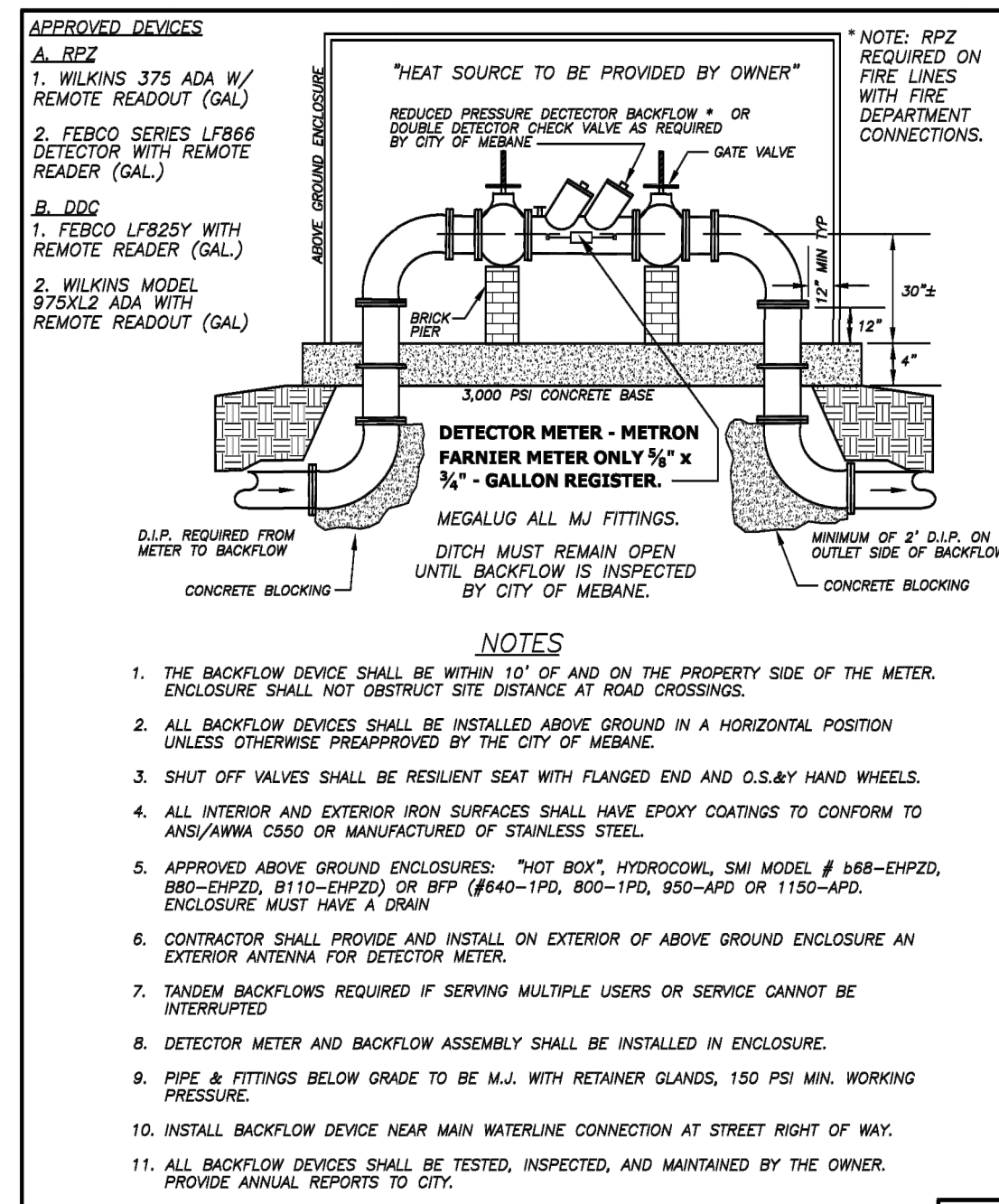
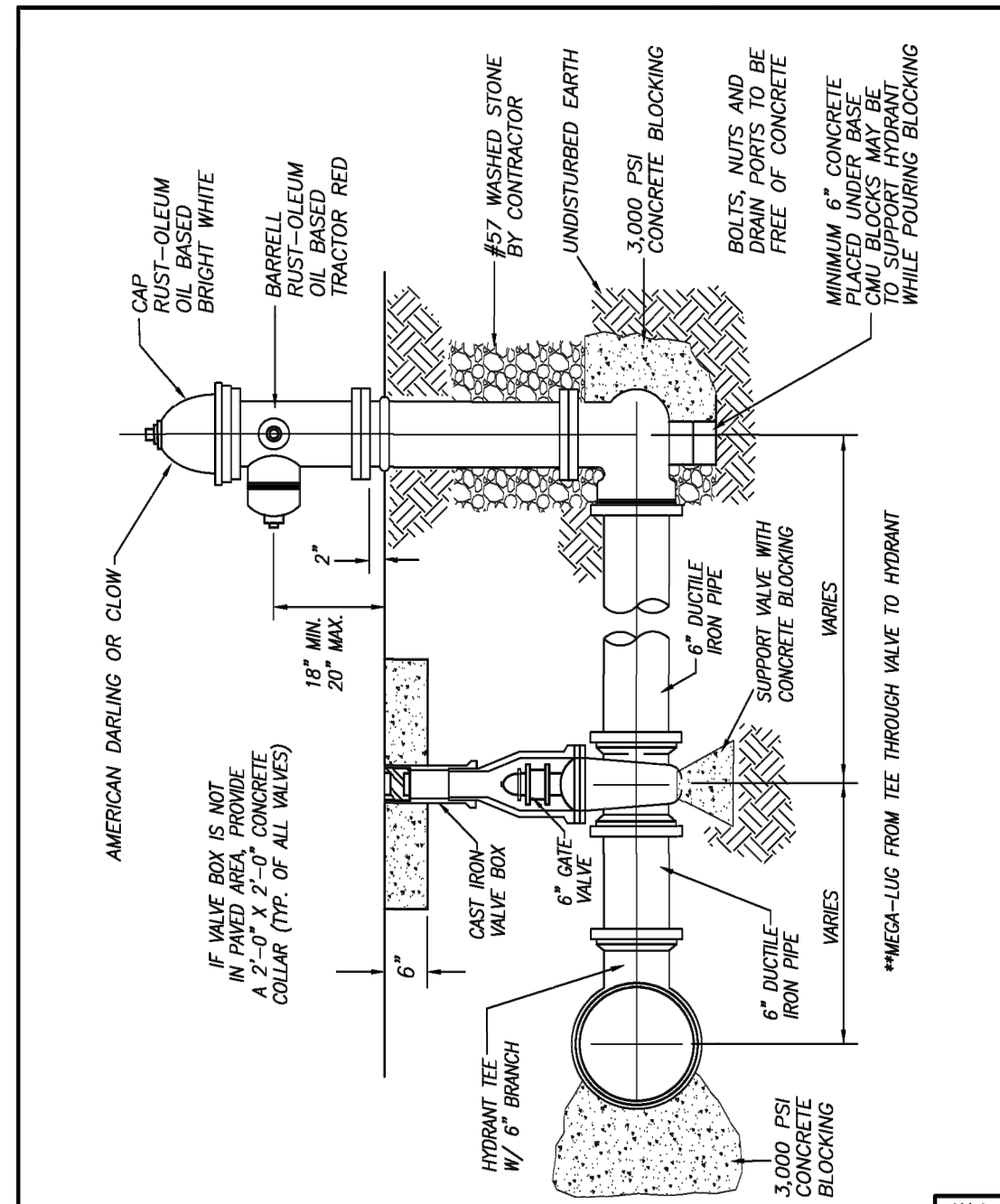
**NORTH CAROLINA PROFESSIONAL ENGINEER SEAL**  
 024442  
 MICHAEL B. WESTCOTT  
 7-0516

#	DATE	ISSUED FOR

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**C-300**  
 UTILITY  
 PLAN



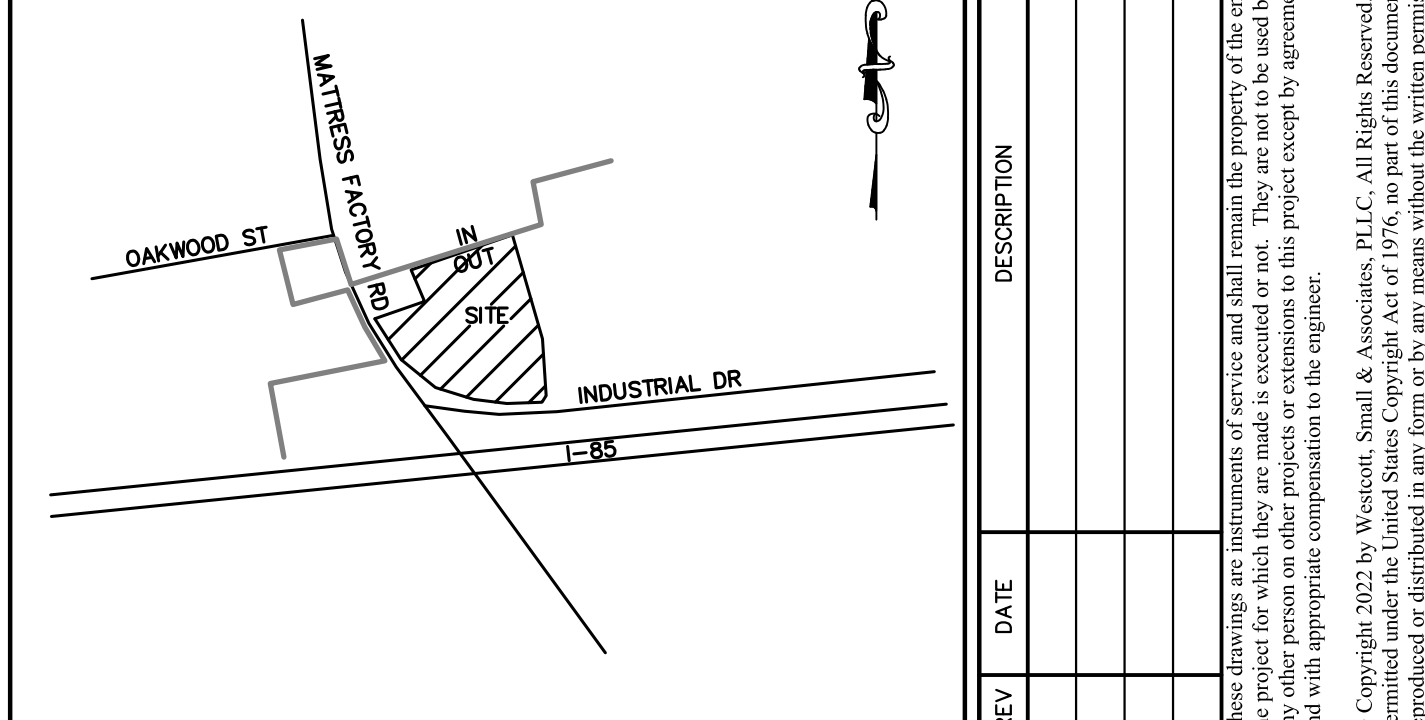
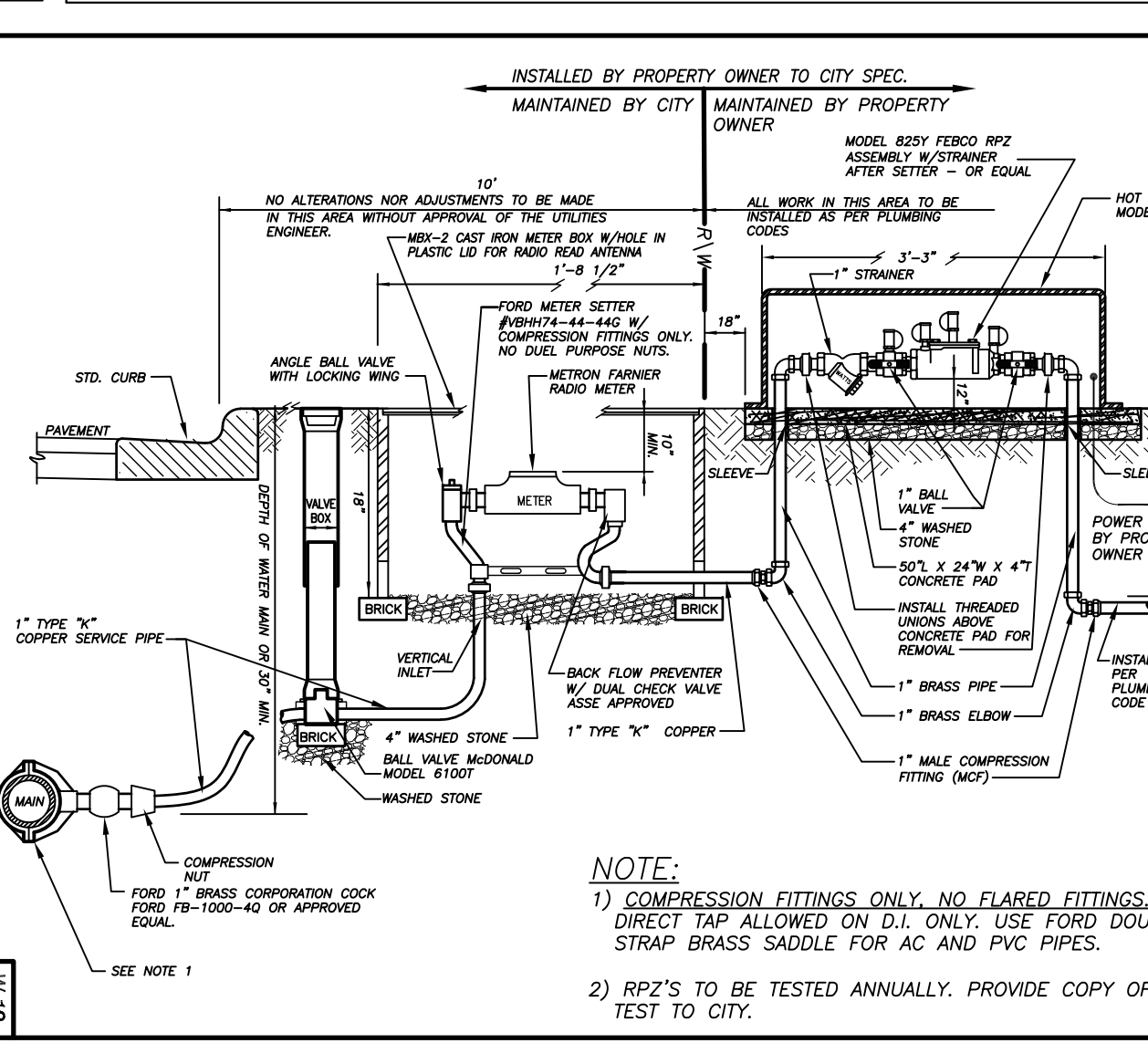
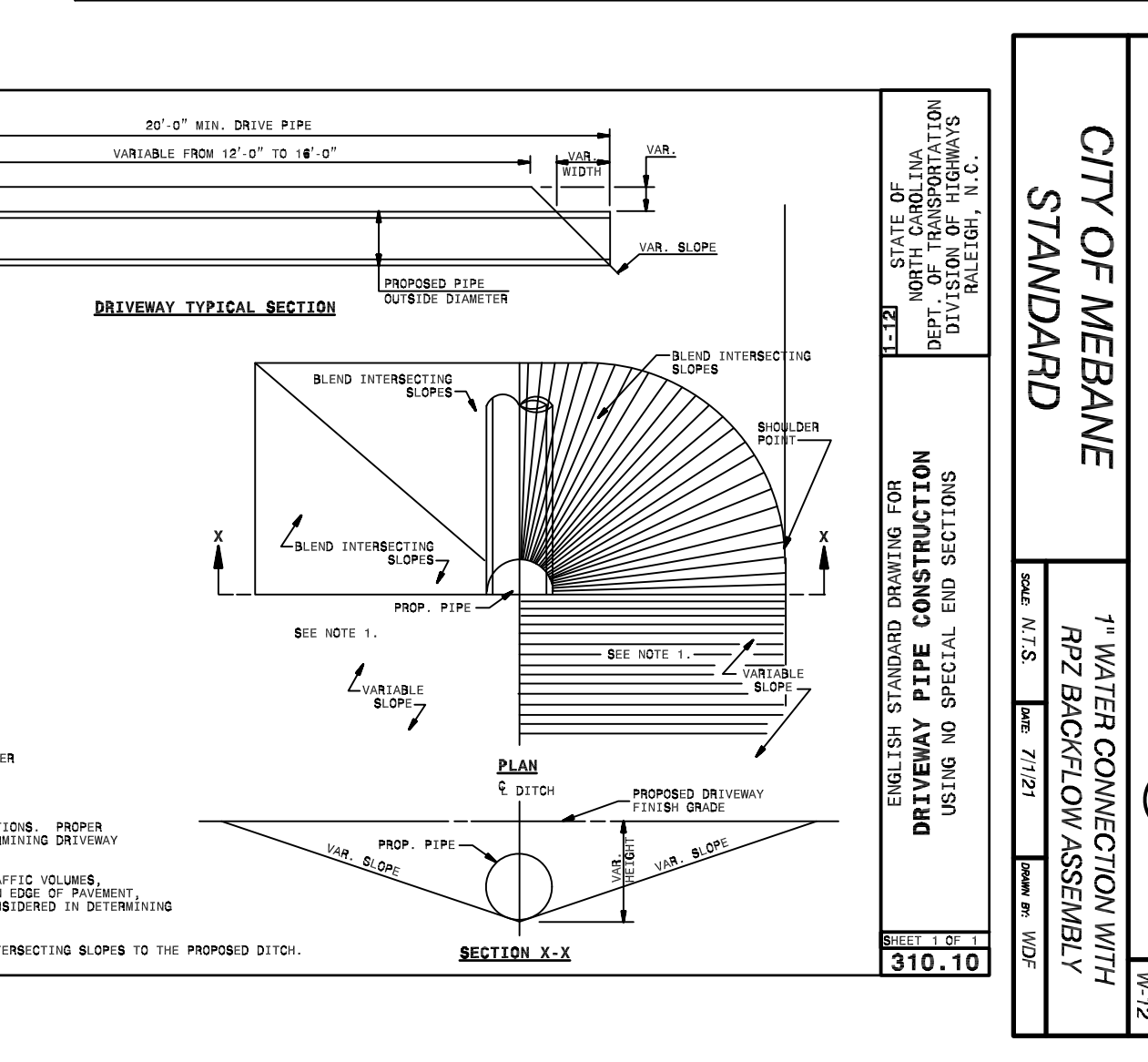
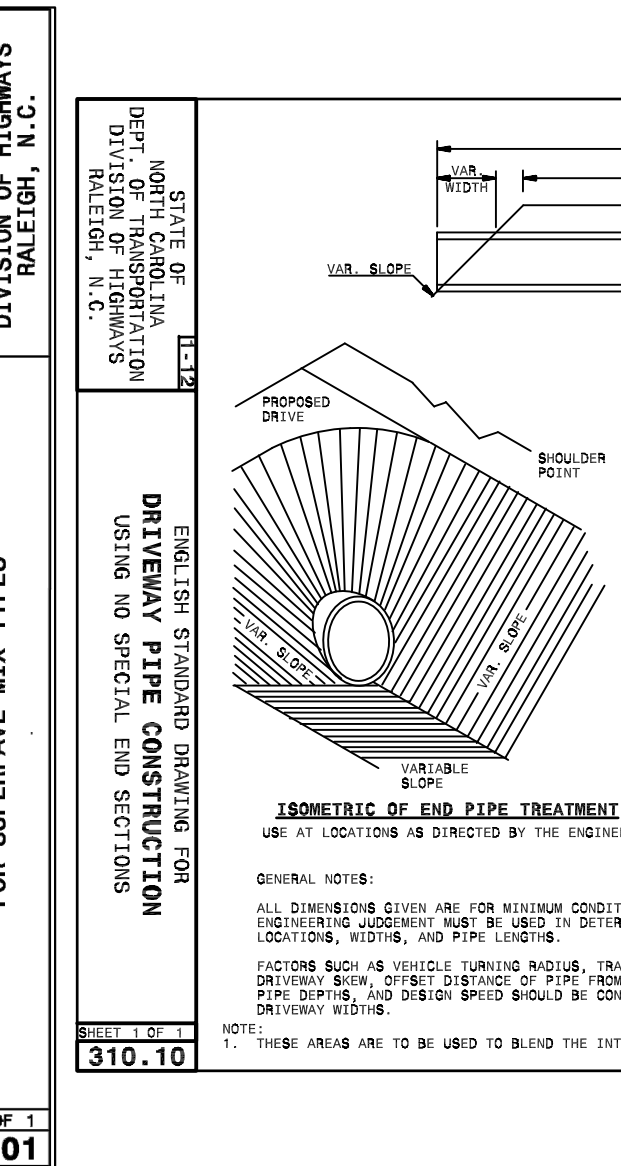
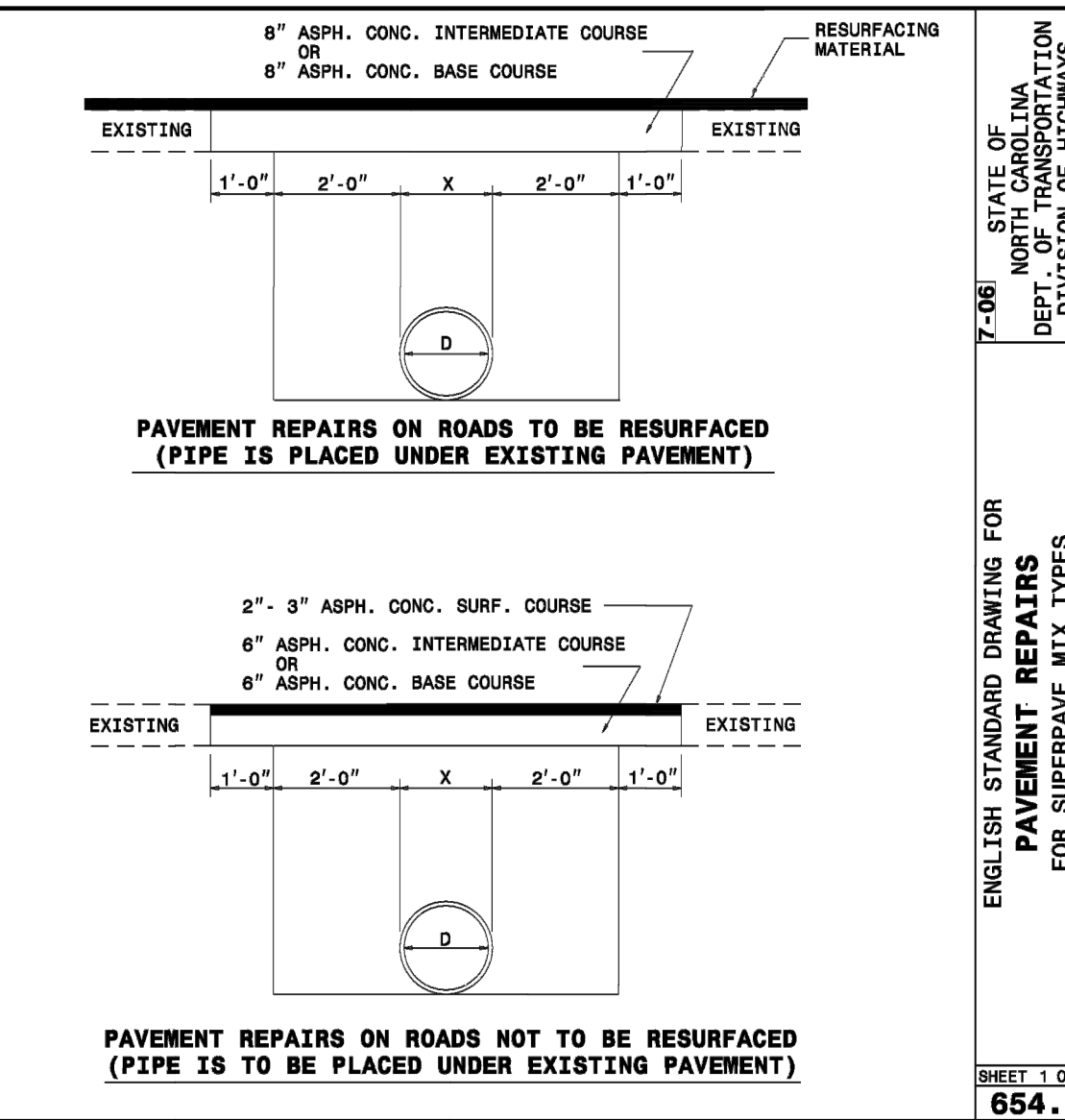


PAVEMENT REPAIRS ON ROADS TO BE RESURFACED (PIPE IS PLACED UNDER EXISTING PAVEMENT)

D	X	W
12"	1'-4"	7'-4"
15"	1'-7"	7'-10"
18"	1'-10"	7'-10"
24"	2'-6"	8'-6"
30"	3'-1"	9'-1"
36"	3'-8"	9'-8"
42"	4'-6"	10'-6"
48"	5'-0"	11'-0"

PAVEMENT REPAIRS ON ROADS NOT TO BE RESURFACED (PIPE IS TO BE PLACED UNDER EXISTING PAVEMENT)

D	X	W
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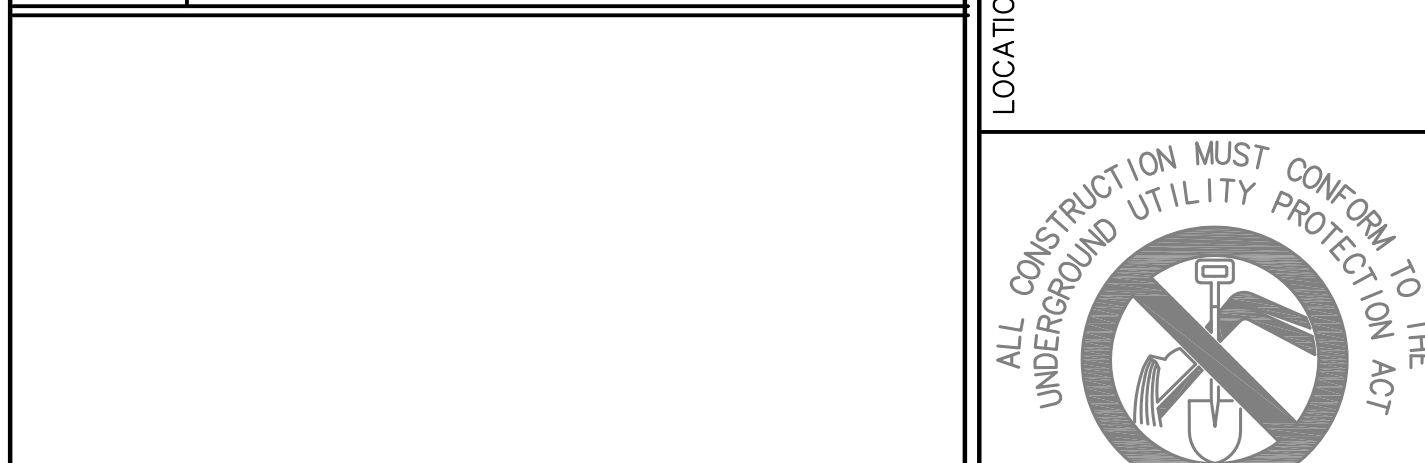
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	NO RETAIL COMPONENT TO SITE.



**OWNER INFORMATION**  
VM DEVELOPMENT LLC  
524 W BAILEY ST  
ASHEBORO, NORTH CAROLINA 27203  
336-672-0957 EXT 1

**LEGEND**

**Line Legend**

Symbol	Description
⊗	NAIL SET/FOUND
⊙	IRON PIPE FOUND
⊕	IRON PIPE SET
⊖	NC DOT RIGHT-OF-WAY DISC
⊗	UTILITY POLE
⊕	UTILITY POLE
⊖	GUY WIRE
⊗	SANITARY SEWER MANHOLE
⊙	WATER METER
⊕	FIRE HYDRANT
⊖	SPOT ELEVATION
H/FA	NOW OR FORMERLY
E/P	EDGE OF PAVEMENT
D/P	DUCTILE IRON PIPE
WCR	WHEELCHAIR RAMP

**PROJECT NO.** E-1473.0  
**DATE:** 9/22/23  
**SCALE:** AS NOTED  
**DWG. BY:** MW  
**CHK. BY:** VWS

**C-301 UTILITY DETAILS**

**CONCRETE PLANT**  
920 MATRESS FACTORY RD  
CHECKS TOWNSHIP, ORANGE COUNTY  
NORTH CAROLINA

**WESTCOTT, SMALL & ASSOCIATES, PLLC**  
125 SOUTH ELM STREET, SUITE 606  
GREENSBORO NC 27401  
WWW.WSAAENG.COM  
PHONE: 336.310.9722

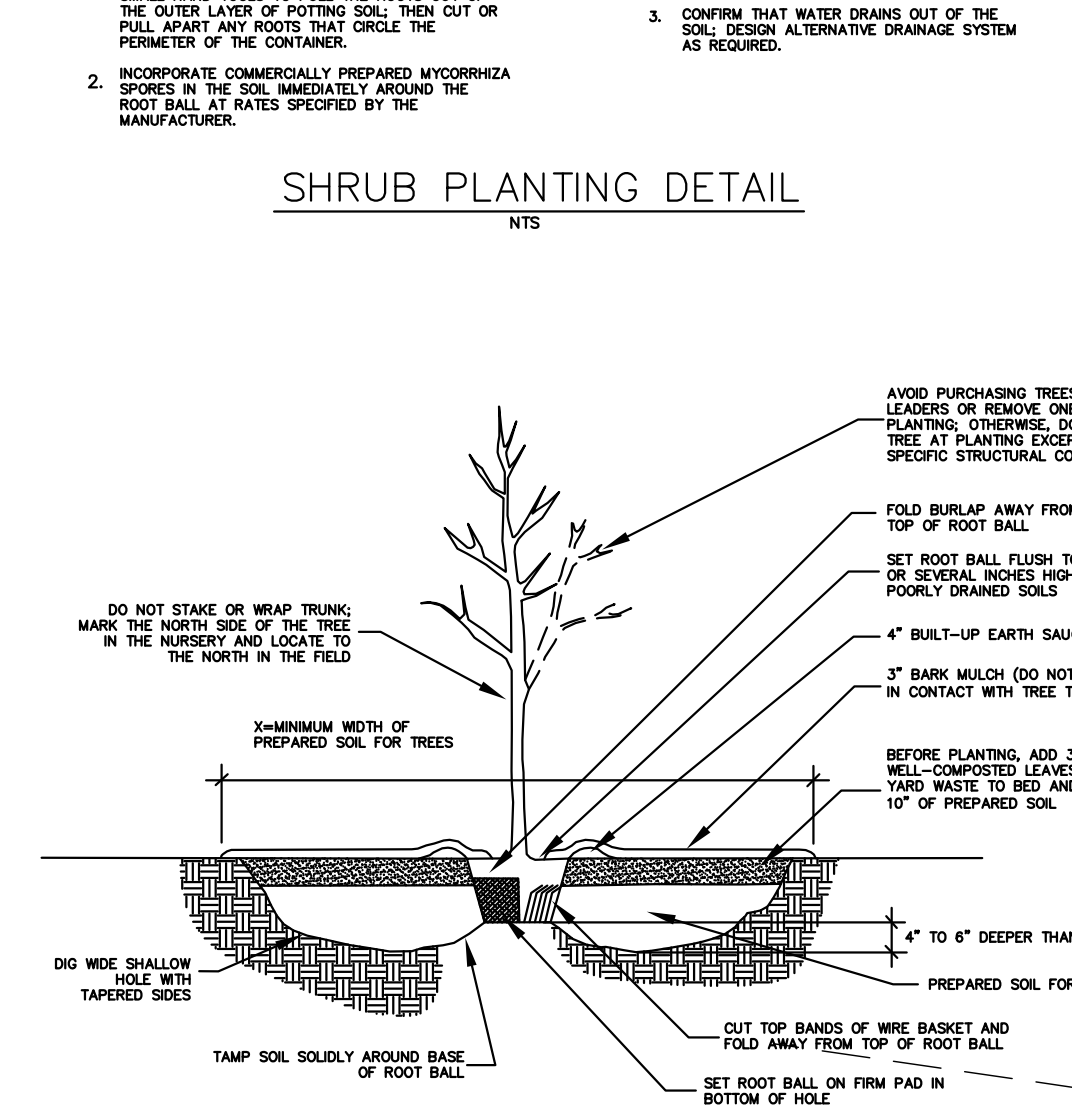
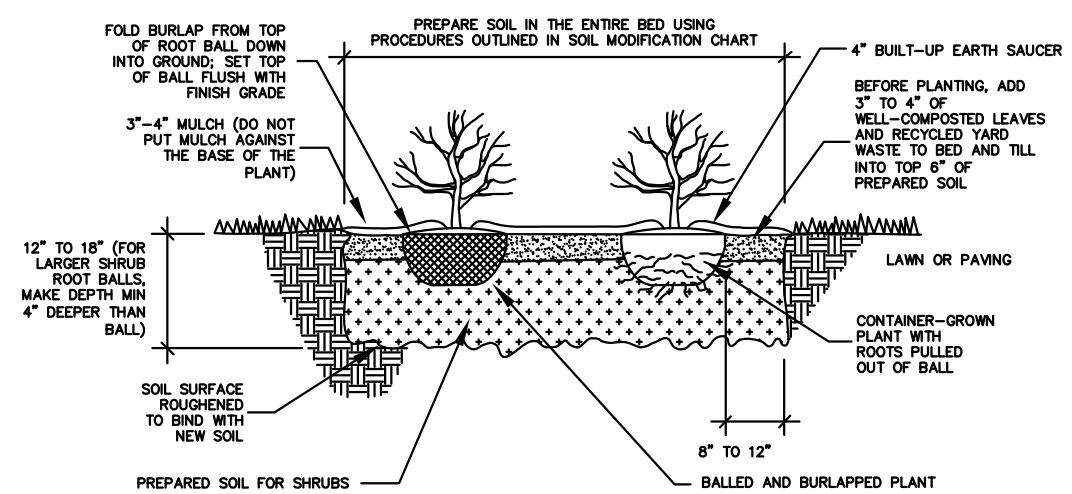
**REVIEWED BY:** TORI SMALL, TSMALL@WSAAENG.COM



**INSTALLATION AND MAINTENANCE OF LANDSCAPING**

ALL LANDSCAPING SHALL BE NURSERY STOCK QUALITY AND SHALL BE INSTALLED IN A SOUND WORKMANLIKE MANNER AND ACCORDING TO ACCEPTED GOOD PLANTING PROCEDURES. ALL LANDSCAPING SHALL BE ADAPTIBLE TO CLIMATE CONDITIONS OF THE AREA, AND CONSIDERATION SHALL BE GIVEN NOT PLANTING LARGE TREES NEAR UTILITIES. ALL LANDSCAPING SHALL BE MAINTAINED IN GOOD CONDITION AND ACCORDANCE WITH ALL PROVISIONS OF THIS ORDINANCE AS FOLLOWS:

1. ALL LANDSCAPING SHALL PRESENT AT ALL TIMES, A HEALTHY, NEAT, CLEAN, ORDERLY, DISEASE-FREE AND PEST-FREE APPEARANCE.
2. ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
3. LANDSCAPING ELEMENTS, SUCH AS WALLS AND FENCES, SHALL BE CONSTRUCTED IN A SOUND WORKMANLIKE MANNER, WITH ADEQUATE SUPPORT OR FOOTINGS AND SHALL BE REPAIRED OR REPLACED, AS NEEDED, TO PRESERVE AN ATTRACTIVE APPEARANCE AND TO FUNCTION AS INTENDED.
4. ANY DEAD PLANT MATERIAL OR MATERIAL WHICH FAILS TO SHOW HEALTHY GROWTH MUST BE REMOVED WITH THIRTY (30) DAYS.
5. REPLACEMENT OF REMOVED PLANT MATERIAL MUST TAKE PLACE WITHIN (90) DAYS OF REMOVAL OR NOTIFICATION BY THE OWNER, WHICHEVER OCCURS FIRST.
6. ANY REPLACEMENT PLANT MATERIAL MUST MEET THE SIZE AND OTHER CHARACTERISTICS OF NEWLY PLANTED MATERIAL.
7. TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED AS, NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
8. THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT.



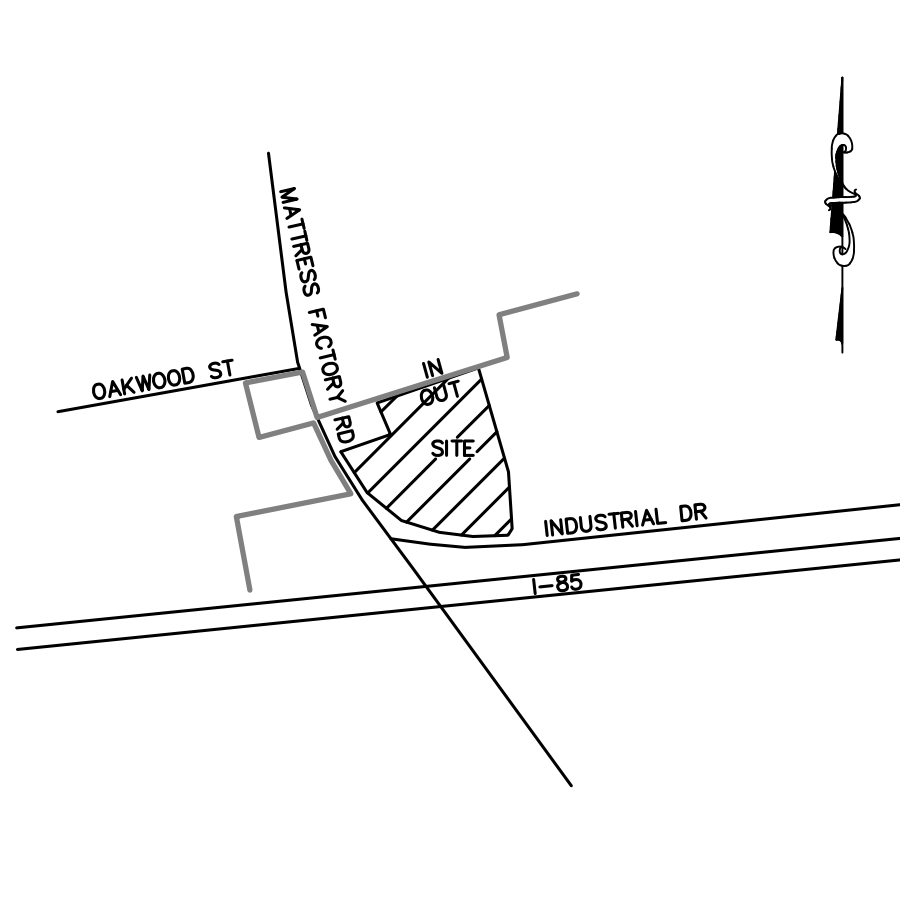
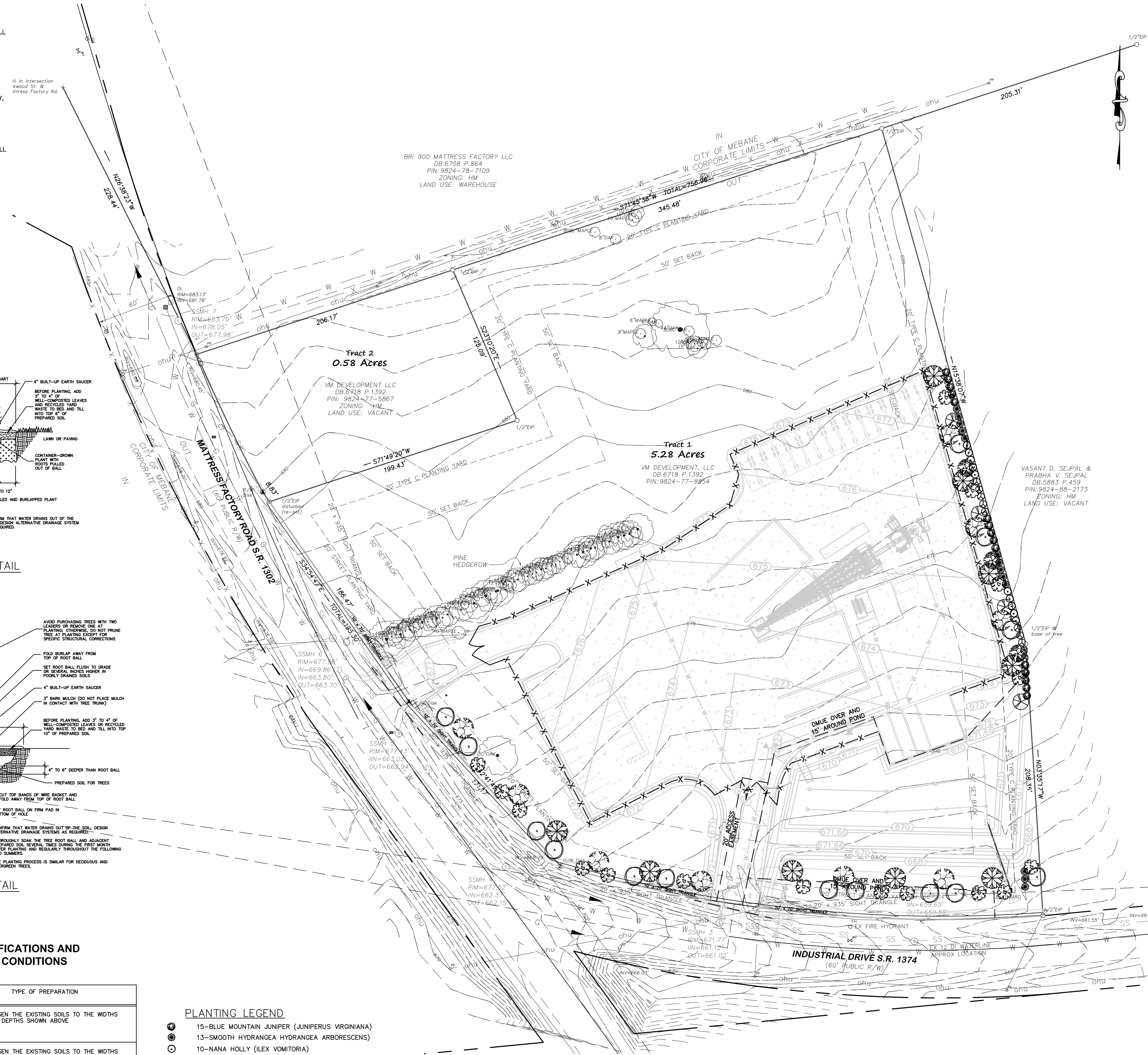
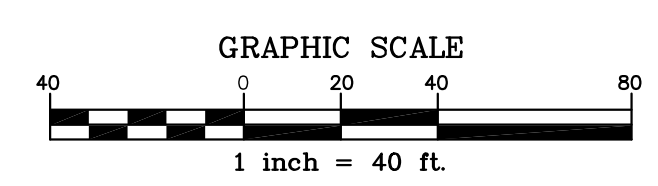
**GENERAL RANGE OF SOIL MODIFICATIONS AND VOLUMES FOR VARIOUS SOIL CONDITIONS**

POSTCONSTRUCTION SOIL CONDITION	MIN. WIDTH PREPARED SOIL FOR TREES (X)	TYPE OF PREPARATION
GOOD SOIL (NOT PREVIOUSLY GRADED OR COMPACTED TOPSOIL LAYER INTACT)	6 FT OR TWICE THE WIDTH OF THE ROOT BALL WHICHEVER IS GREATER	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN ABOVE
COMPACTED SOIL (NOT PREVIOUSLY GRADED, TOPSOIL LAYER DISTURBED BUT NOT ELIMINATED)	15 FT	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN DETAILS ABOVE; ADD COMPOSED ORGANIC MATTER TO BRING THE ORGANIC CONTENT UP TO 5% DRY WEIGHT
GRADED SUBSOILS AND CLEAN FILLS WITH CLAY CONTENT BETWEEN 5 AND 35%	20 FT	MINIMUM TREATMENT: LOOSEN EXISTING SOIL TO WIDTHS AND DEPTHS SHOWN; ADD COMPOSED ORGANIC MATTER TO BRING THE ORGANIC CONTENT UP TO 5% DRY WEIGHT OPTIMUM TREATMENT: REMOVE TOP 8-10 IN. OR THE EXISTING MATERIAL, LOOSEN EXISTING SOILS TO THE WIDTH AND DEPTHS SHOWN, ADD 8-10 IN OF LOAM TOPSOIL.
POOR QUALITY FILLS, HEAVY CLAY SOILS, SOILS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL	20 FT	REMOVE EXISTING MATERIAL THE WIDTH AND DEPTHS SHOWN, REPLACE WITH LOAM TOPSOIL

- PLANTING LEGEND**
- 15-BLUE MOUNTAIN JUNIPER (JUNIPERUS VIRGINIANA)
  - 13-SMOOTH HYDRANGEA HYDRANGEA ARBORESCENS)
  - 10-NANA HOLLY (ILEX VOMITORIA)
  - 10-ST JOHNS WORT (HYPERICUM FRONDOSUM)
  - 3-SOUTHERN SUGAR MAPLE (ACER BARBATUM)
  - 14-SWEETBAY MAGNOLIA (MAGNOLIA VIRGINIANA)
  - 4-YAUPON HOLLY (ILEX VOMITORIA)
  - 16-DOGWOOD (CORNUS FLORIDA)
  - 9-WHITE OAK (QUERCUS ALBA)
  - 9-OVERCUP OAK (QUERCUS LYRATA)

**LANDSCAPE CALCULATIONS**

PLANTING YARD	TYPE	LENGTH (FT)	CANOPY TREES	UNDERSTORY TREES	SHRUBS
SOUTH/WEST STREET	476	11	22	0	0
EAST TYPE C	388	10	20	66	0
NORTH VEH USE	506	N/A	11	92	0



**VICINITY MAP 1"=2000'**

**SITE INFORMATION**

EX. ZONING	HM - HEAVY MANUFACTURING
PROP. ZONING	HM - HEAVY MANUFACTURING
CURRENT LANDUSE	VACANT RESIDENTIAL
PROP. LANDUSE	CONCRETE PLANT
PARCEL NUMBER	9824778854
PLAT REFERENCE	
DEED REFERENCE	DB 6718 PG1392
WATERSHED	N/A
AVERAGE SLOPE	2.15 % (OF DEVELOPED AREA)
DISTANCE TO NEAREST FEMA FLOOD PLAIN	>1000 LF
FIRM INFO	
SOILS	GeB
EX. GROSS FLOOR AREA	1,210 SF
PROP. GROSS FLOOR AREA	580 SF

**SITE DATA**

	ACREAGE (ac)	PERCENTAGE(%)
TOTAL ACREAGE	5.28	100.00
EX BUA	0.24	4.55
DEMOED BUA	0.24	4.55
PROP BUA	1.59	30.11
TOTAL BUA	1.59	30.11
EX PERVIOUS	5.04	95.45
PROP PERVIOUS	-1.35	-25.57
TOTAL PERVIOUS	3.69	69.89
DISTURBED AREA	2.59	49.05
UNDISTURBED AREA	2.69	50.95

**PARKING INFORMATION**

TOTAL SPACES	21
1 SPACE PER 2/3 EMPLOYEES ON LARGEST SHIFT	
2/3*17 EMPLOYEES=12 SPACES	
21 SPACES PROVIDED (1 VAN ACCESSIBLE HANDICAP SPACE)	
15 TRUCKS USED IN OPERATION: 15 SPACES PROVIDED	
NO RETAIL COMPONENT TO SITE.	

**OWNER INFORMATION**

OWNER/DEVELOPER:  
VM DEVELOPMENT LLC  
524 W BAILEY ST  
ASHEBORO, NORTH CAROLINA 27203  
336-672-0957 EXT 1

**LEGEND**

✕	NAIL SET/FOUND	—	SANITARY SEWER LINE
○	IRON PIPE SET	—	WATER METER
○	NC DOT RIGHT-OF-WAY DISC	—	FIRE HYDRANT
○	UTILITY POLE	—	GAS VALVE
○	UTILITY POLE	—	SPOT ELEVATION
○	GUY WIRE	—	N/F
○	SANITARY SEWER MANHOLE	—	EDGE OF PAVEMENT
○	WATER METER	—	DUCTILE IRON PIPE
○	FIRE HYDRANT	—	WCR
○	GAS VALVE	—	
○	SPOT ELEVATION	—	
○	N/F	—	
○	EDGE OF PAVEMENT	—	
○	DUCTILE IRON PIPE	—	
○	WCR	—	

DESCRIPTION  
REV DATE

WESTCOTT, SMALL & ASSOCIATES, PLLC  
125 SOUTH ELM STREET, SUITE 606  
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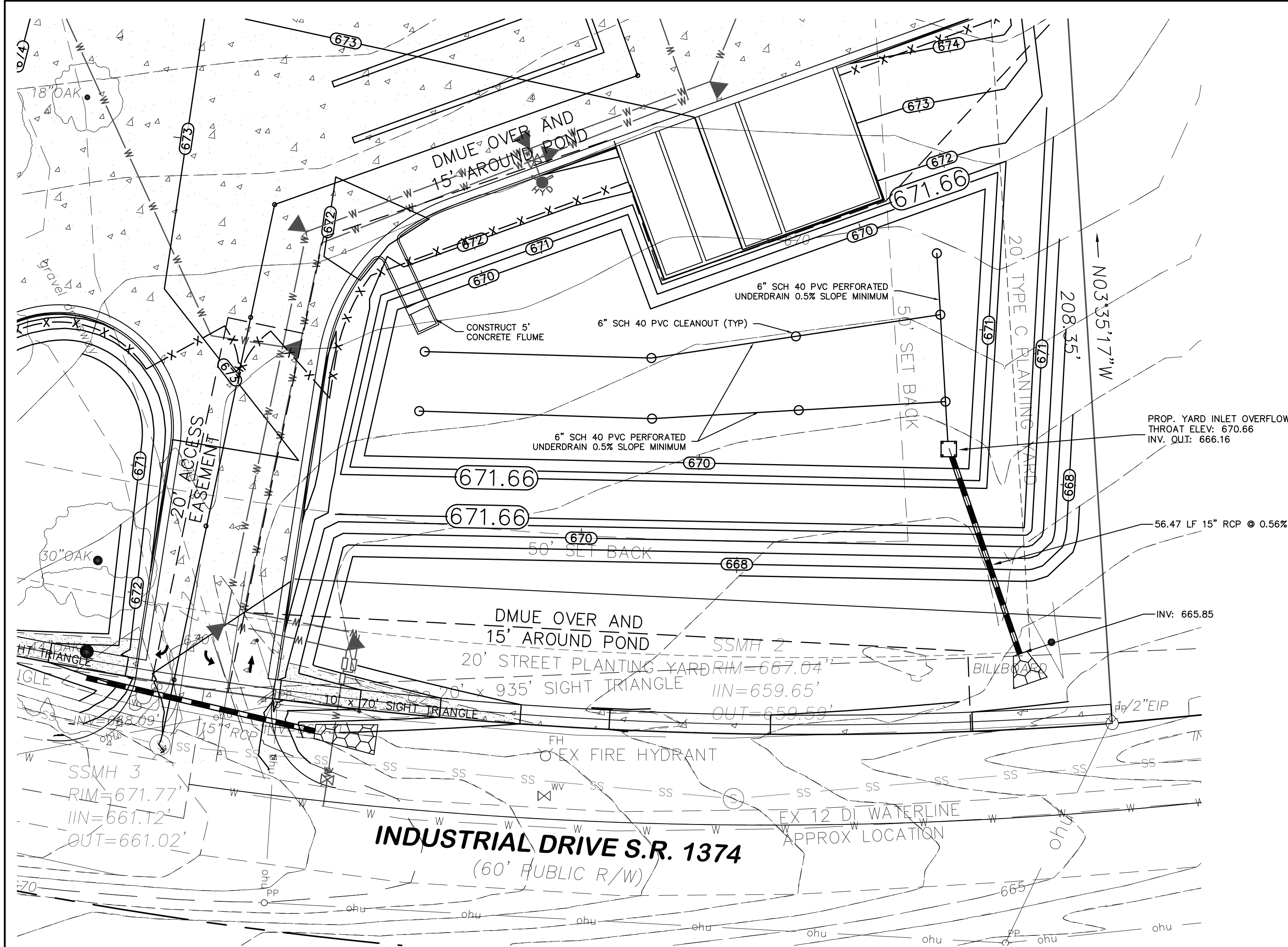
ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT

BEFORE YOU DIG!  
CONTACT ONE-CALL CENTER  
1-800-632-4949

NORTH CAROLINA PROFESSIONAL SEAL  
MICHAEL B. WESTCOTT  
ENGINEER  
1-0516

PROJECT NO. E-1473.0  
DATE: 9/22/23  
SCALE: AS NOTED  
DWG. BY: MW  
CHK. BY: VWS  
**C-400**  
LANDSCAPE PLAN





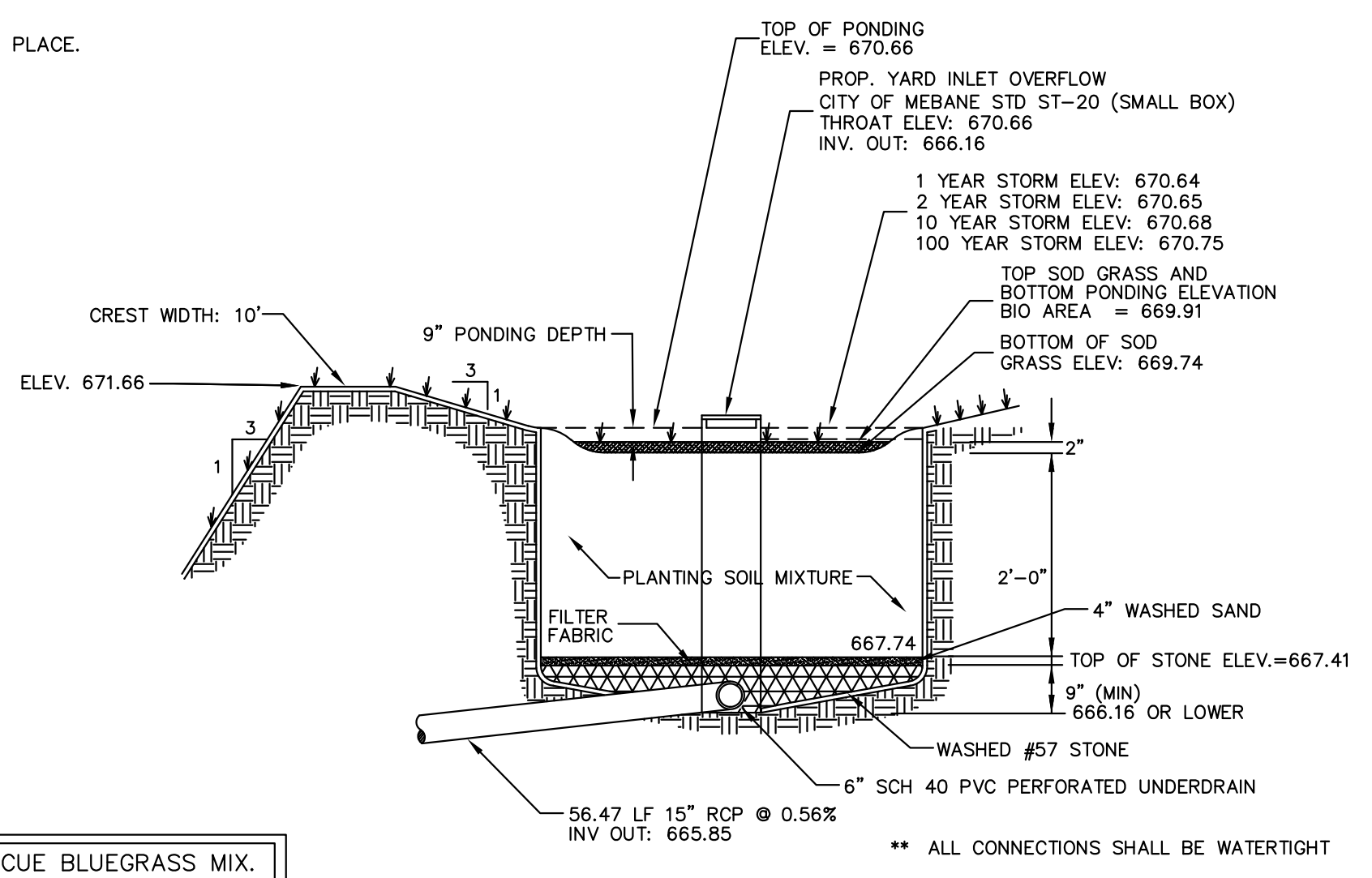
BIORETENTION AREA PLAN VIEW  
NTS  
\*\* ALL BIO-CELL PIPES ARE AT 0.5% SLOPE MIN.

**BIORETENTION AREA NOTES:**

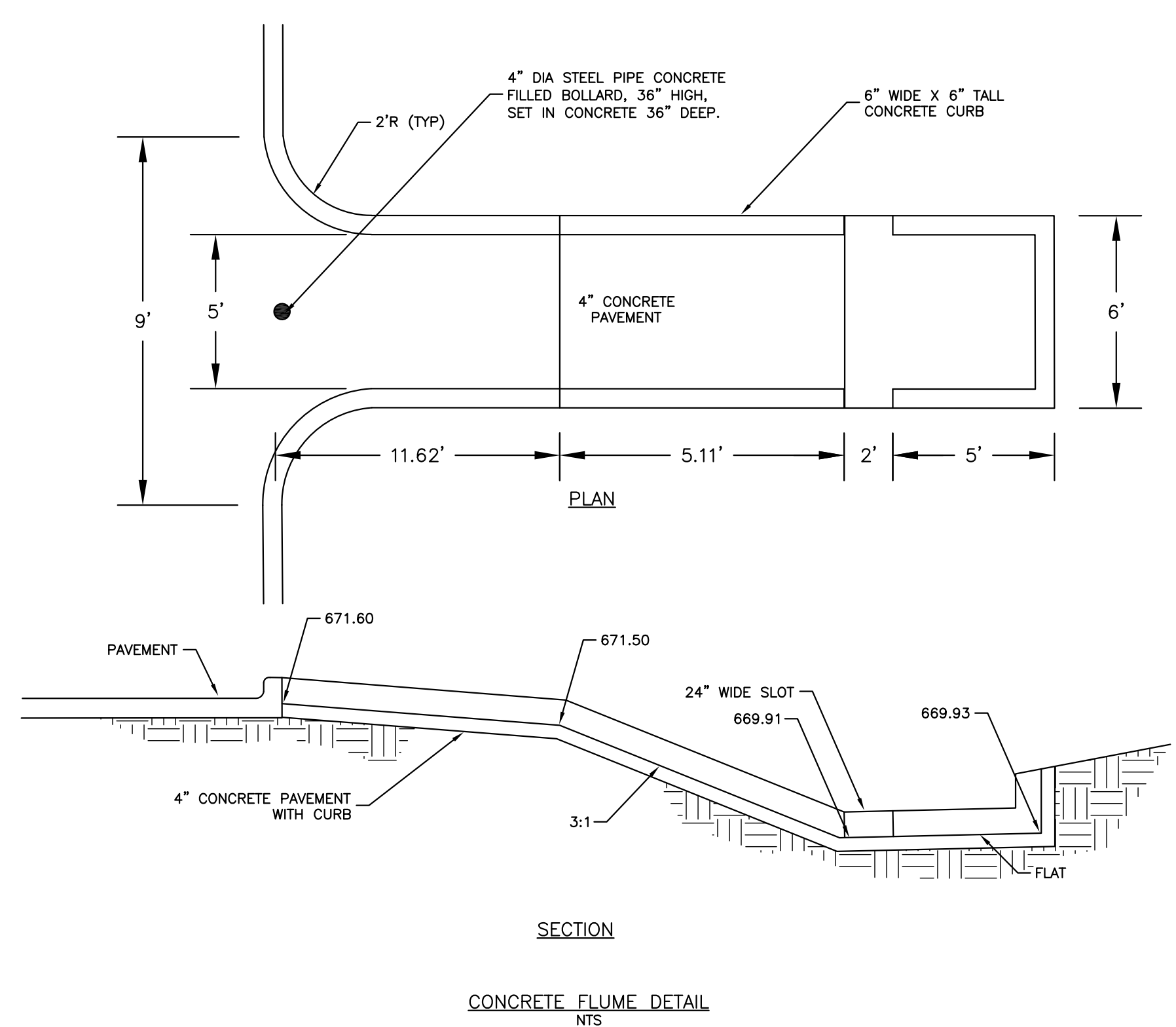
- IN ACCORDANCE WITH THE REQUIREMENTS IN ARTICLES GS 143-215.25A AND 143-215.26 OF THE NC DAM SAFETY LAW AND NC ADMINISTRATIVE CODE 15A NCAC 2K.0200, THE REGIONAL ENGINEER IN THE WINSTON-SALEM REGIONAL OFFICE OF THE NC STATE'S LAND QUALITY SECTION HAS BEEN/WILL BE CONTACTED FOR THE DETERMINATION OF WHETHER THE PROPOSED DAM IS GOVERNED BY OR EXEMPT FROM THE DAM SAFETY LAW.
- PLANTING SOIL SHALL BE HOMOGENOUS SOIL MIXTURE FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR MATERIAL GREATER THAN 2" AND SHALL BE 85%-88% SAND, 3%-5% ORGANIC, AND 8%-12% FINES (BY VOLUME).
- BIO RETENTION AREA UNDER DRAIN SHALL BE SCHEDULE 40 PVC AND SHALL BE UNDERLAIN WITH GEOTEXTILE FABRIC. THE BOTTOM OF THE SLOPE SHALL HAVE A POSITIVE SLOPE TOWARD THE PIPE. LONGITUDINAL DRAIN SLOPES SHALL HAVE AN APPROXIMATE GRADE OF 0.5 %.
- PHOSPHORUS INDEX OF THE SOIL MIX SHALL BE BETWEEN 10 AND 30.
- PERMEABILITY SHALL BE BETWEEN 1 INCH PER HOUR AND 6.0 INCH PER HOUR. 1-2 INCHES PER HOUR IS PREFERRED.
- UNDERDRAIN PIPES SHALL HAVE A MINIMUM OF 4 ROWS OF PERFORATIONS EQUALLY SPACED AROUND THE DIAMETER OF THE PIPE (MORE FOR PIPES 10 INCHES IN DIAMETER AND LARGER), AND THE PERFORATIONS SHALL BE PLACED 6 INCHES ON CENTER WITHIN EACH ROW FOR THE ENTIRE LENGTH OF THE DRAINAGE LATERAL. PERFORATIONS SHALL BE 3/8" IN DIAMETER.
- PLANTING SOIL MIX SHALL BE TESTED BY AN APPROVED LAB PRIOR TO PLACEMENT.
- CONTRACTOR SHALL PROVIDE WATER AS NECESSARY TO ENSURE VEGETATION IS PROPERLY ESTABLISHED.
- UPON COMPLETION OF THE BIOCELL, CONTRACTOR SHALL PROVIDE A SURVEYED AS-BUILT (AUTOCAD FILE AND SEALED SURVEY) OF THE BIOCELL AND CERTIFY TO THE ENGINEER THAT THE INSTALLED SYSTEM MEETS ALL DESIGN SPECIFICATIONS UPON INITIAL OPERATION ONCE THE PROJECT IS COMPLETE.
- CONTRACTOR TO PROVIDE THE ENGINEER WITH A SOIL MEDIA PERMEABILITY TEST REPORT ONCE THE PLANTING SOIL IS IN PLACE.
- WHEN USING SOD, AVOID SOD THAT IS GROWN IN SOIL THAT HAS AN IMPERMEABLE LAYER (SUCH AS CLAY).
- CLEANOUT PIPES MUST BE CAPPED.

IF STORMWATER INUNDATES THE BIO-CELL FOR MORE THAN 72 HOURS AFTER A STORM EVENT THE BIO-CELL IS NOT FUNCTIONING AS INTENDED AND A PROFESSIONAL ENGINEER SHALL BE CONSULTED FOR REMEDIAL PLANS. PLANS SHALL BE FORWARDED TO THE GOVERNMENTAL OFFICE HAVING JURISDICTION FOR WATERSHED PROTECTION FOR APPROVAL.

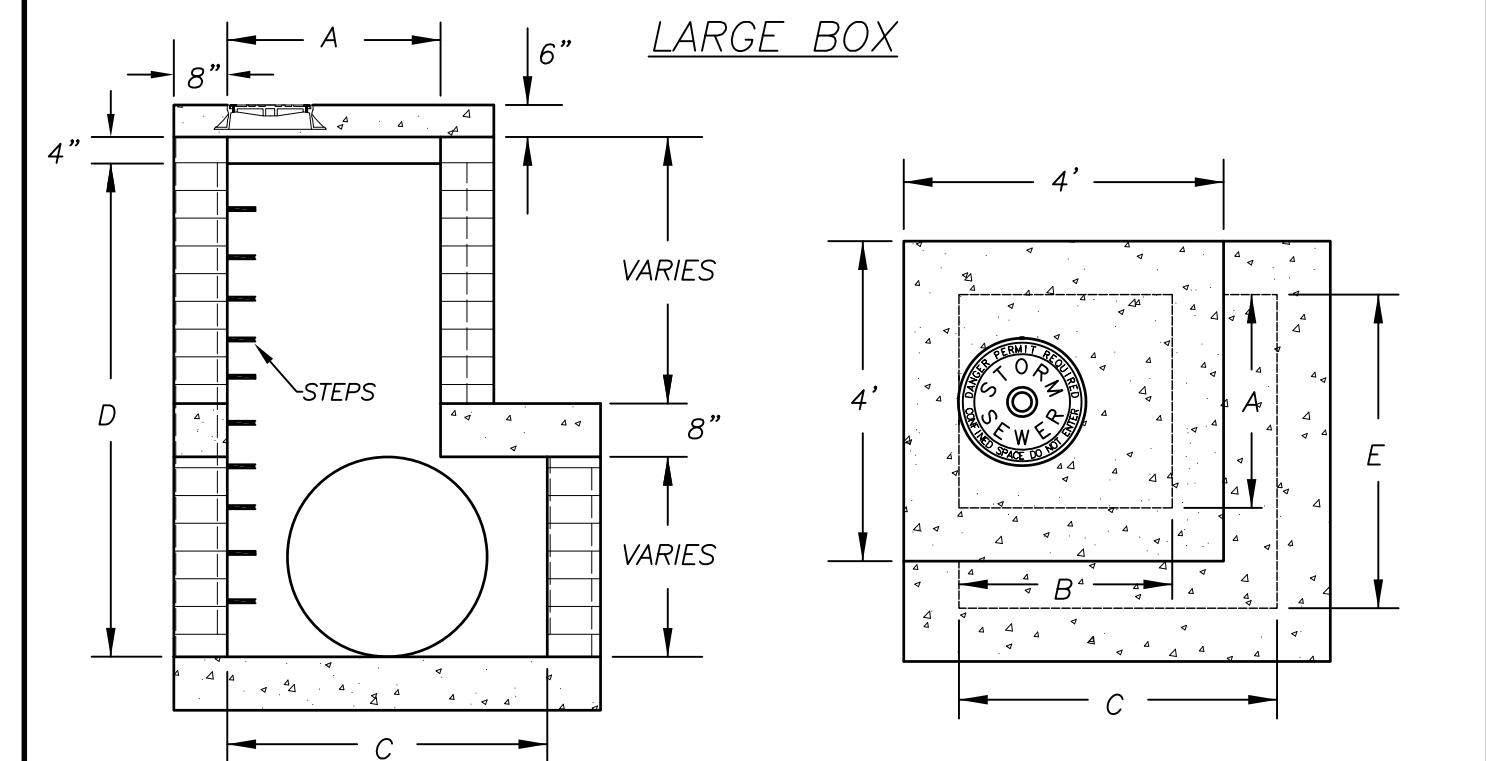
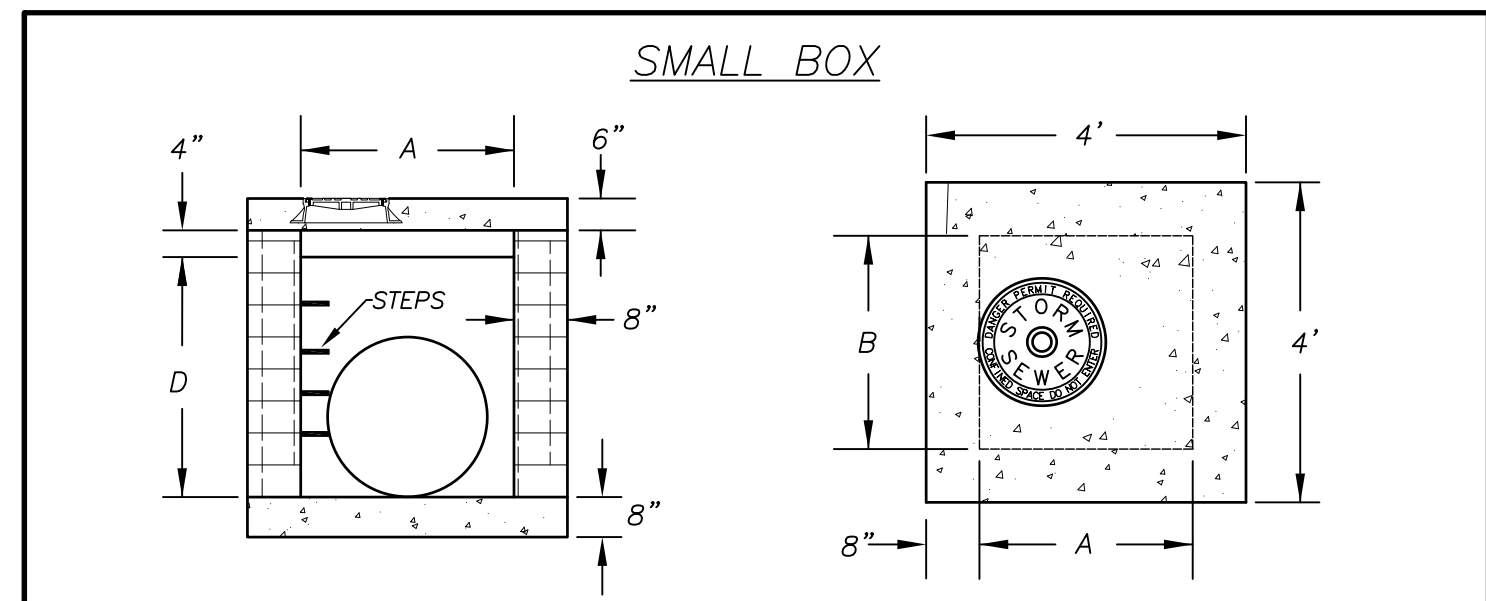
CONTRACTOR SHALL PROVIDE (SEALED BY A PROFESSIONAL LAND SURVEYOR) AS-BUILT DRAWINGS TO THE ENGINEER FOR BMP CERTIFICATION.



BIORETENTION AREA CROSS SECTION  
NTS  
SOD SHALL BE A FESCUE BLUEGRASS MIX.



SECTION  
CONCRETE FLUME DETAIL  
NTS

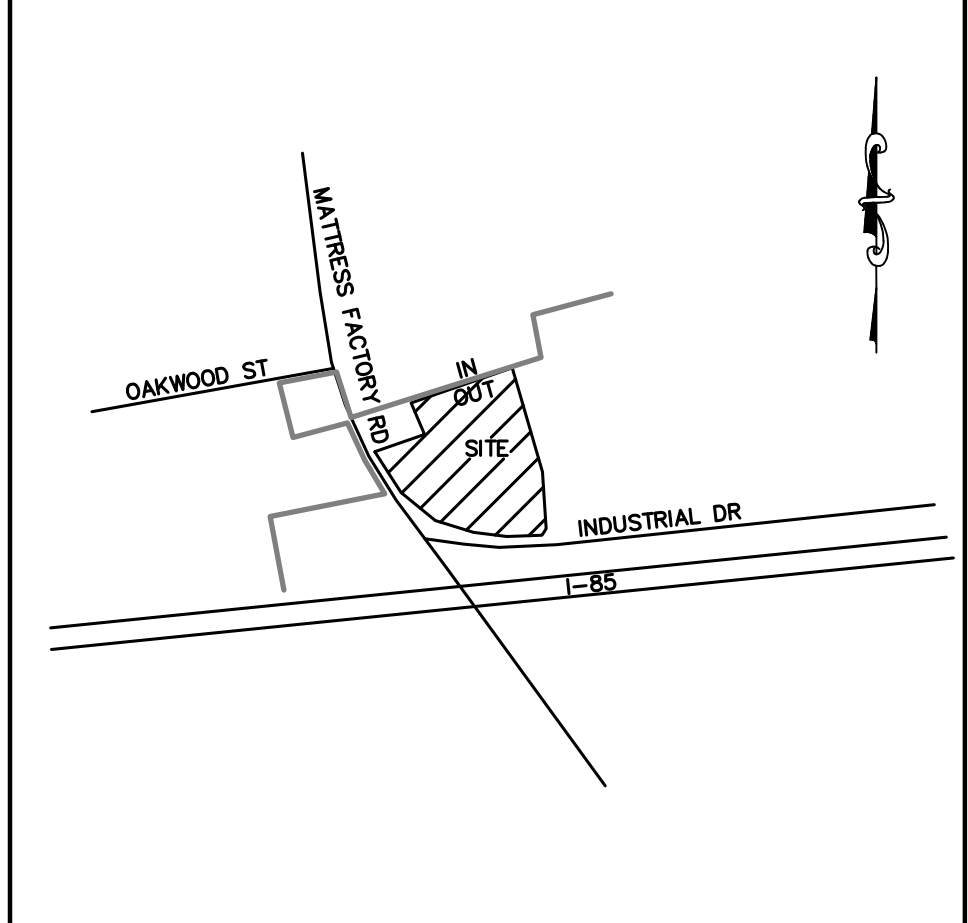


PIPE (IN)	MINIMUM DIMENSIONS FOR BRICK YARD INLET					
	A	B	SMALL BOX D	C	E	LARGE BOX D
12	2'-8"	2'-8"	3'-1"			
15	2'-8"	2'-8"	3'-3"			
18	2'-8"	2'-8"	3'-6"			
24	2'-8"	2'-8"	4'-0"			
30				5'-0"	5'-0"	4'-6"
36				5'-0"	5'-0"	5'-0"
42				6'-0"	6'-0"	5'-6"
48				6'-0"	6'-0"	6'-0"

CITY OF MEBANE  
STANDARD

STANDARD BRICK YARD INLET  
12" THRU 48" PIPE

SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF



VICINITY MAP 1"=2000'

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	524 W BAILEY ST
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	336-672-0957 EXT 1

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PROJECT NO. E-1473.0  
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DESCRIPTION

REV DATE

WESTCOTT, SMALL & ASSOCIATES, PLLC  
125 SOUTH ELM STREET, SUITE 606  
GREENSBORO NC 27401  
WWW.WSAAENG.COM  
PHONE: 336.310.9722

DESIGNED BY: MICHAEL WESTCOTT@WSAAENG.COM  
REVIEWED BY: TORI SMALL@WSAAENG.COM

CONCRETE PLANT

920 MATRESS FACTORY RD  
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NORTH CAROLINA

ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT

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1-800-632-4949

NORTH CAROLINA PROFESSIONAL SEAL  
024442  
MICHAEL B. WESTCOTT  
7-0516

# DATE ISSUED FOR

C-500  
WATERSHED  
PLAN

---

# PLANNING PROJECT REPORT

DATE	09/20/2023
PROJECT NUMBER	SUP 23-02
PROJECT NAME	Concrete Plant – Mattress Factory Road
APPLICANT	VM Development, LLC PO Box 984 Asheboro, NC 27204

## CONTENTS

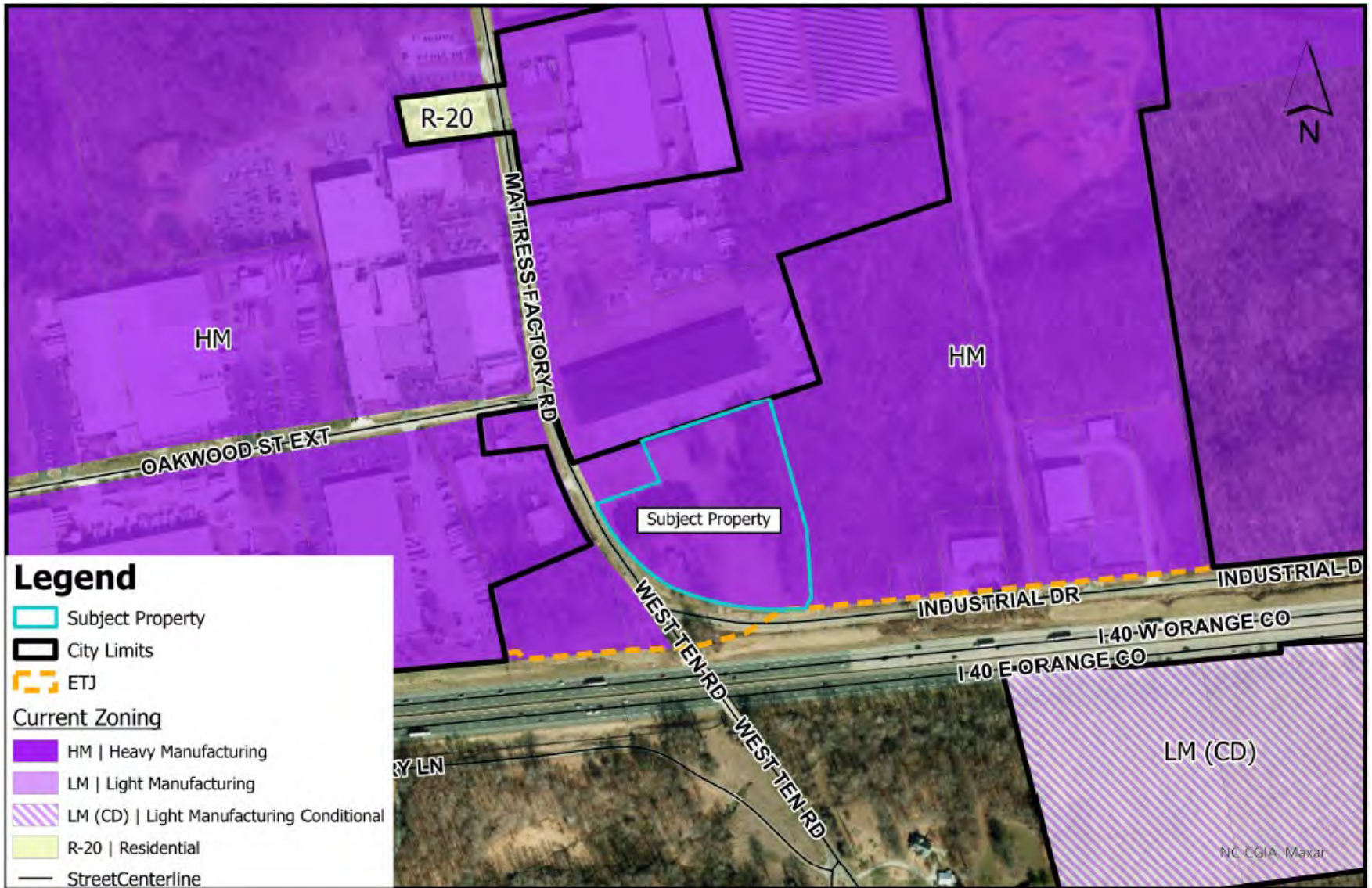
PROJECT NAME & APPLICANT .....	PAGE 1
ZONING REPORT .....	PAGE 2
LAND USE REPORT .....	PAGE 4
UTILITIES REPORT .....	PAGE 6
STAFF SPECIAL USE CONSISTENCY FINDING.....	PAGE 7

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## ZONING REPORT

EXISTING ZONE	HM, Heavy Manufacturing
REQUESTED ACTION	N/A
CONDITIONAL ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
CURRENT LAND USE	Vacant, Single-Family
PARCEL SIZE	+/- 5.28 acres
PROPERTY OWNERS	VM Development, LLC PO Box 984 Asheboro, NC 27204 GPIN: 9824778854
LEGAL DESCRIPTION	Request for a Special Use Permit to allow for a concrete plant on the +/- 5.28-acre parcel located at 920 Mattress Factory Road (GPIN: 9824778854) by VM Development, LLC.
AREA ZONING & DISTRICTS	Surrounding properties are zoned HM, Heavy Manufacturing. Across the interstate, most of the properties are zoned Agricultural Residential and Rural Residential by Orange County and one site is zoned LM (CD), Light Manufacturing Conditional District.
SITE HISTORY	The property was improved with a single-family residence in the 1940s.
<b>STAFF ANALYSIS</b>	
CITY LIMITS?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
PROPOSED USE BY-RIGHT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
SPECIAL USE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
EXISTING UTILITIES?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
POTENTIAL IMPACT OF PROPOSED ZONE	There is no rezoning request, only a special use request to allow for a concrete plant.





**Legend**

- Subject Property
- City Limits
- ETJ

**Current Zoning**

- HM | Heavy Manufacturing
- LM | Light Manufacturing
- LM (CD) | Light Manufacturing Conditional
- R-20 | Residential
- StreetCenterline

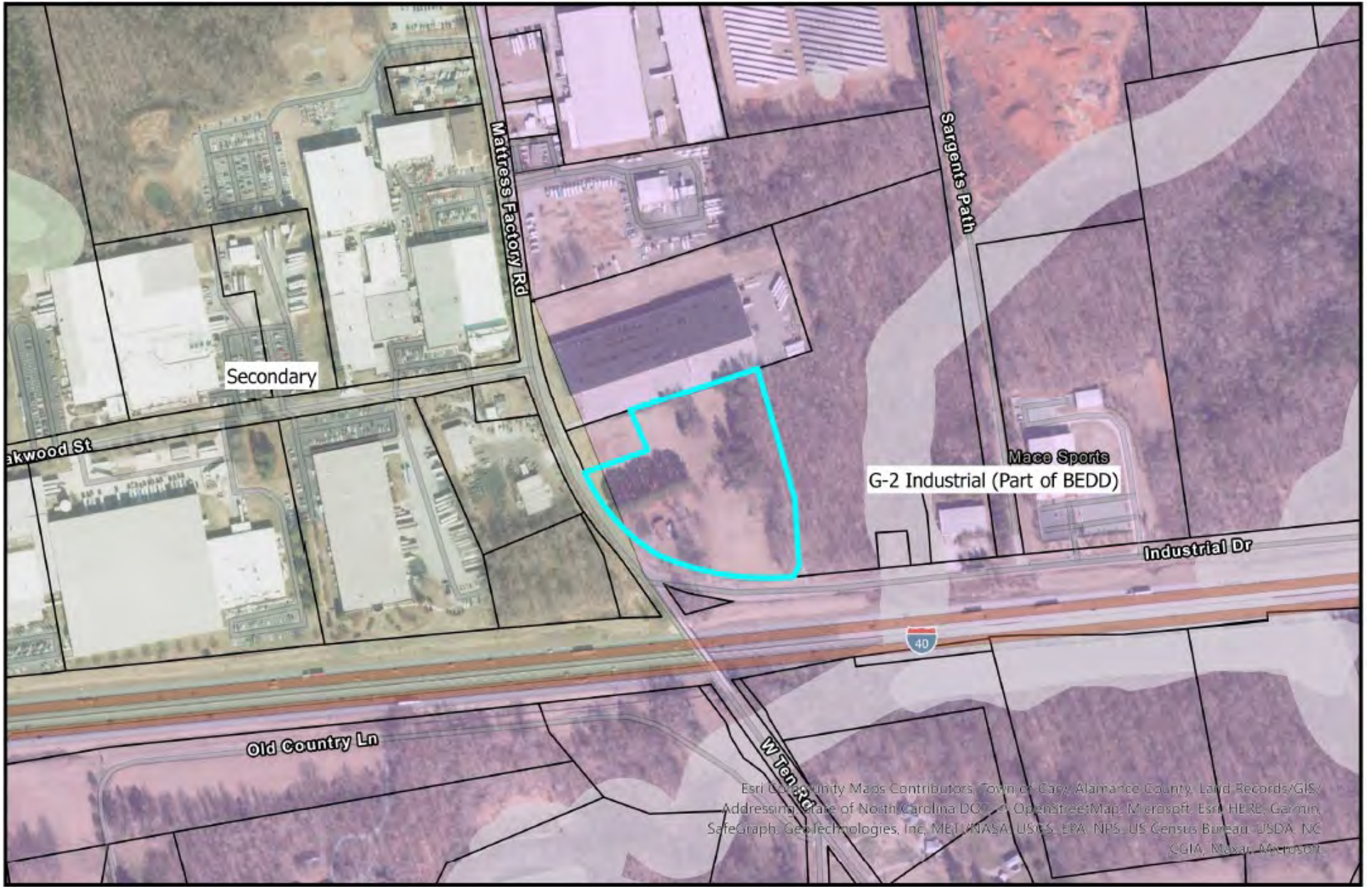
	<h2 style="margin: 0;">CITY OF MEBANE</h2> <h3 style="margin: 0;">ZONING MAP</h3>	<h2 style="margin: 0;">SPECIAL USE PERMIT</h2> <h3 style="margin: 0;">CONCRETE PLANT</h3> <p style="font-size: small; margin: 5px 0;">1 inch = 400 feet</p>	<p>DATE: 9/20/23</p> <hr/> <p>DRAWN BY: BP</p>
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## LAND USE REPORT

EXISTING LAND USE	Vacant, Single-Family
PROPOSED LAND USE & REQUESTED ACTION	Request for a Special Use Permit to allow for a concrete plant on the +/- 5.28-acre parcel located at 920 Mattress Factory Road (GPIN: 9824778854) by VM Development, LLC.
PROPOSED ZONING	N/A
PARCEL SIZE	+/- 5.28 acres
AREA LAND USE	The subject property is located at the intersection of Mattress Factory Road and Industrial Drive. The properties to the west include a tire business and an abandoned home. Various industrial uses are to the north, including Penske Truck Rental and AKG. The properties to the east include vacant property and industrial and commercial uses. Residential and agricultural uses are across the interstate along with Buckhorn Business Centre.
ONSITE AMENITIES & DEDICATIONS	The developer is responsible for installing public sidewalk along the street frontages.
CONDITIONAL ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OF PROPOSED CONDITIONS	N/A

CONSISTENCY WITH <i>MEBANE BY DESIGN</i> STRATEGY	
LAND USE GROWTH STRATEGY DESIGNATION(S)	G-2, Industrial
OTHER LAND USE CONSIDERATIONS	
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES SUPPORTED	
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES <u>NOT</u> SUPPORTED	







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## UTILITIES REPORT

AVAILABLE UTILITIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED UTILITY NEEDS	The proposed sewer service to the building is 4-inch. The proposed water service is 6-inch for fire flow at the site fire hydrant and reduced to 4-inch for industrial use with appropriate metering and backflow device. An encroachment agreement with the NCDOT will be required for the proposed utility connections.
UTILITIES PROVIDED BY APPLICANT	Applicant has pledged to provide all on-site utilities, as described in AWCK's Technical Memo.
MUNICIPAL CAPACITY TO ABSORB PROJECT	The City has adequate water & sewer supply to meet the domestic and fire flow demands of the project.
CONSISTENCY WITH MEBANE LONG RANGE UTILITY PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
ADEQUATE STORMWATER CONTROL?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
INNOVATIVE STORMWATER MANAGEMENT?	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A

### TRANSPORTATION NETWORK STATUS

CURRENT CONDITIONS	<p>The subject property is on the corner of Mattress Factory Road and Industrial Drive. The site plan features driveway connections on Mattress Factory Road and Industrial Drive. Both roads are maintained by the NCDOT.</p> <p>Mattress Factory Road had an average daily traffic volume of 2,700 trips in 2021. The section of Mattress Factory Road has a safety score of 89, with four crashes reported from 2018 to 2022. The section of Industrial Drive at the subject property has a safety score of 78 with two crashes reported from 2018 to 2022. There was one bicyclist accident with serious injury in the area in 2022.</p>
TRAFFIC IMPACT ANALYSIS REQUIRED?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OF RECOMMENDED IMPROVEMENTS	N/A
CONSISTENCY WITH THE MEBANE BICYCLE AND PEDESTRIAN TRANSPORTATION PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
MULTIMODAL IMPROVEMENTS PROVIDED BY APPLICANT?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF MULTIMODAL IMPROVEMENTS	As shown on the site plan, the developer will install sidewalk along the street frontages.

---

**STAFF RECOMMENDATION**

STAFF RECOMMENDATION	<input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> DISAPPROVE
STAFF SPECIAL USE FINDING	<input checked="" type="checkbox"/> CONSISTENT <input type="checkbox"/> NOT CONSISTENT.....WITH <i>MEBANE BY DESIGN</i>
RATIONALE	The proposed development “Concrete Plant” is consistent with the guidance provided within <i>Mebane By Design</i> , the Mebane Comprehensive Land Development Plan.
<b>PUBLIC INTEREST CONFORMANCE?</b>	
ENDANGER PUBLIC HEALTH OR SAFETY?	<input type="checkbox"/> YES <input type="checkbox"/> NO
SUBSTANTIALLY INJURE THE VALUE OF ADJOINING OR ABUTTING PROPERTY?	<input type="checkbox"/> YES <input type="checkbox"/> NO
HARMONIOUS WITH THE AREA IN WHICH IT IS LOCATED?	<input type="checkbox"/> YES <input type="checkbox"/> NO
CONSISTENT WITH <i>MEBANE BY DESIGN</i> , THE MUNICIPAL COMPREHENSIVE LAND DEVELOPMENT PLAN?	<ul style="list-style-type: none"> <li><input type="checkbox"/> The application is consistent with the objectives and policies for growth and development contained in the City of Mebane Comprehensive Land Development Plan, <i>Mebane By Design</i>, and, as such, has been recommended for approval.</li> <li><input type="checkbox"/> The application is not fully consistent with the objectives and policies for growth and development of the City of Mebane Comprehensive Land Development Plan, <i>Mebane By Design</i>, but is otherwise in the public interest and has been recommended for approval. The Comprehensive Land Development Plan must be amended to reflect this approval and ensure consistency for the City of Mebane’s long-range planning objectives and policies.</li> <li><input type="checkbox"/> The application is not consistent with the objectives and policies for growth and development of the City of Mebane Comprehensive Land Development Plan, <i>Mebane By Design</i>, and, as such, has been recommended for denial.</li> </ul>



Technical Memo

Date: 10-03-23

From: Franz Holt, City Engineer

To: Ashley Ownbey, Development Director

Subject: Proposed Concrete Plant on Mattress Factory Road

The Engineering Department has completed its review of a proposed concrete plant located on a currently vacant 5.28-acre parcel along Mattress Factory Road (SR 1302) and VM Development LLC of Asheboro, NC. Our technical review comments are as follows:

- A. The preliminary site plans prepared by Wescott, Small & Associates, PLLC of Greensboro, NC Triad Design include driveway connections to Mattress Factory Road (SR 1302) and Industrial Drive (SR 13674) requiring NCDOT driveway permits with the change in property use. No TIA was required for the project.
- B. The site is to be landscaped along Mattress Factory Road and Industrial Drive frontage. Additionally, landscaped planting yards are required along the perimeter of the property against adjacent owners.
- C. Industrial activities associated with the concrete plant will be fenced with gated driveway entrances.
- D. A stormwater permit will be required for the site development with treatment in accordance with City of Mebane requirements (Runoff from 1-inch rain and detention for 10-year design storm post vs. pre.). A bioretention basin is proposed for the treatment of stormwater runoff as the proposed built upon area of 30.11 percent exceeds the 24 percent threshold for low density development without stormwater controls.
- E. Water and Sewer service connections will be made to City of Mebane lines requiring annexation of the site. The proposed sewer service to the building is 4-inch. The proposed water service is 6-inch for fire flow at the site fire hydrant and reduced to 4-inch for industrial use with appropriate metering and backflow device. Domestic water service to the building is 1-inch with meter and backflow device. Connections and extensions will be to City of Mebane standards and requirements. An NCDOT encroachment agreement will be required for the proposed utility connections.
- F. The site is properly zoned as Heavy Manufacturing and requires a special use permit.
- G. Final construction drawings are required to be submitted for TRC review.





# AGENDA ITEM #6B

RZ 23-07

Conditional Rezoning – NCIC Rail  
Transload

### Presenter

Ashley Ownbey, Development Director

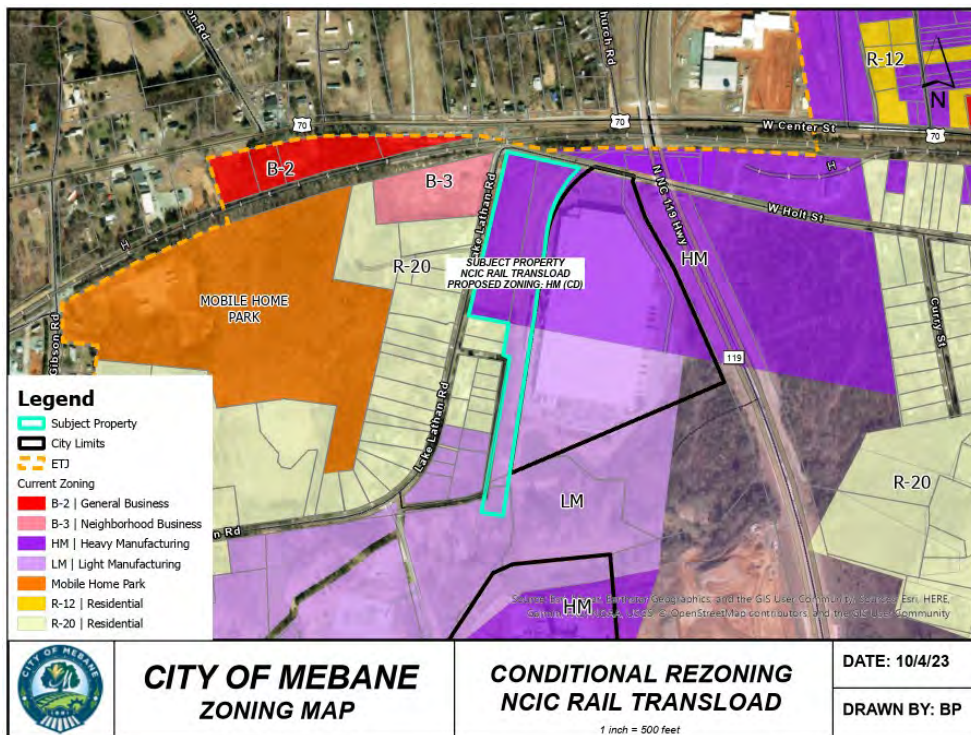
### Applicant

Samet Corporation  
309 Gallimore Dairy Road  
Greensboro, NC 27409

### Public Hearing

Yes  No

## Zoning Map



### Property

1268 West Holt Street

Unaddressed  
Alamance County  
GPINs: 9815147486;  
9815242044;  
9815125977

### Proposed Zoning

HM (CD)

### Current Zoning

LM & HM

### Size

+/-8.03 acres

### Surrounding Zoning

HM, LM, R-20, B-3

### Surrounding Land Uses

Industrial, Residential

### Utilities

Available

### Floodplain

No

### Watershed

No

### City Limits

No



**CITY OF MEBANE**  
ZONING MAP

**CONDITIONAL REZONING**  
**NCIC RAIL TRANSLOAD**

DATE: 10/4/23

DRAWN BY: BP

1 inch = 500 feet

**Application Brief**

*See Planning Project Report for more details.*

<b>Recommendations</b>	
Technical Review Committee:	The Technical Review Committee (TRC) has reviewed the site plan three times and the applicant has revised the plan to reflect the comments.
Planning Staff:	The proposed development “NCIC Rail Transload” is consistent with the guidance provided within <i>Mebane By Design</i> , the Mebane Comprehensive Land Development Plan.
Planning Board:	At their October 9 meeting, the Planning Board voted 7-0 to recommend approval of the rezoning request.
<b>Zoning &amp; Land Use Report</b>	
Jurisdiction:	Mebane Extraterritorial Jurisdiction (ETJ)
Proposed Use By-Right (Yes/No):	No
Type of Rezoning Request:	Conditional
Special Use Request (Yes/No):	No
Consistency with Mebane By Design (Yes/No):	Yes
<b>Utilities Report</b>	
Available Utilities (Yes/No):	Yes
Adequate Stormwater Control (Yes/No):	Yes
Innovative Stormwater Control (Yes/No):	No
Consistency with Long-Range Utility Plan (Yes/No):	Yes
<b>Transportation Report</b>	
Traffic Impact Analysis Required (Yes/No):	No
Multi-Modal Improvements (Yes/No):	No
Consistency with Bike/Ped Transportation Plan (Yes/No):	No

**Summary**

Samet Corporation is requesting approval to conditionally rezone one property and portions of two other properties (GPINs 9815147486; 9815242044; 9815125977), totaling +/- 8.03 acres and located with frontages on West Holt Street, Lake Latham Road, and Sun Ray Lane from HM and LM to HM (CD) to allow for a rail transload facility. A conceptual site plan is included with the request and shows recombination of the subject parcels. A rail transload facility in this area has been studied and discussed for at least a decade. The properties are located in Alamance County in the Mebane Extraterritorial Jurisdiction (ETJ). The applicant has agreed to petition for annexation.

The following conditions are proposed with the conditional rezoning request:

Proposed Conditions of Zoning District	Mebane UDO Requirements
<p>The subject properties are part of the master plan for the North Carolina Industrial Center (NCIC) developed in the early 2000s. Restrictive covenants were established for this industrial park and include specific standards for building setbacks and height and landscaping requirements.</p> <p>The following dimensional standards are requested:</p> <ul style="list-style-type: none"> <li>- Front: 100'</li> <li>- Side: 30'</li> <li>- Rear: 20'</li> <li>- Maximum Building Height: 50'</li> </ul> <p>At minimum 10' landscape buffers are shown on the site plan, with wider buffer areas shown in certain areas.</p>	<p>Table 4-2-1 of the Mebane UDO defines density and dimensional requirements.</p> <p>The following dimensional standards are required of development in the HM Zoning District:</p> <ul style="list-style-type: none"> <li>- Front: 50'</li> <li>- Side: 50'</li> <li>- Rear: 20'</li> <li>- Maximum Building Height: 150'</li> </ul> <p>Tables 6-4-1 and 6-4-3 define perimeter buffer and streetscape requirements. Larger buffers, between 70' and 125', are required between railyards and residentially-used and -zoned properties. Landscape buffers between adjoining industrial zoning range from 10' to 20'.</p>

**Financial Impact**

The developer will be required to make all of the improvements at his own expense.

**Suggested Motion**

1. Motion to approve the HM(CD) zoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*. Specifically, the request:
  - Is for a property within the City's G-1 NC 119 Bypass and US 70 Mixed Use Growth Area and is part of the North Carolina Industrial Center (Mebane CLP, p. 70).



**OR**

3. Motion to **deny** the HM (CD) rezoning as presented due to a lack of

a. Harmony with the surrounding zoning or land use

**OR**

b. Consistency with the objectives and goals in the City's 2017 Comprehensive Land Development Plan *Mebane By Design*.

---

**Attachments**

1. Preliminary Presentation Slides
2. Zoning Amendment Application
3. Zoning Map
4. Site Plan
5. Planning Project Report
6. Technical Memorandum – City Engineering Review



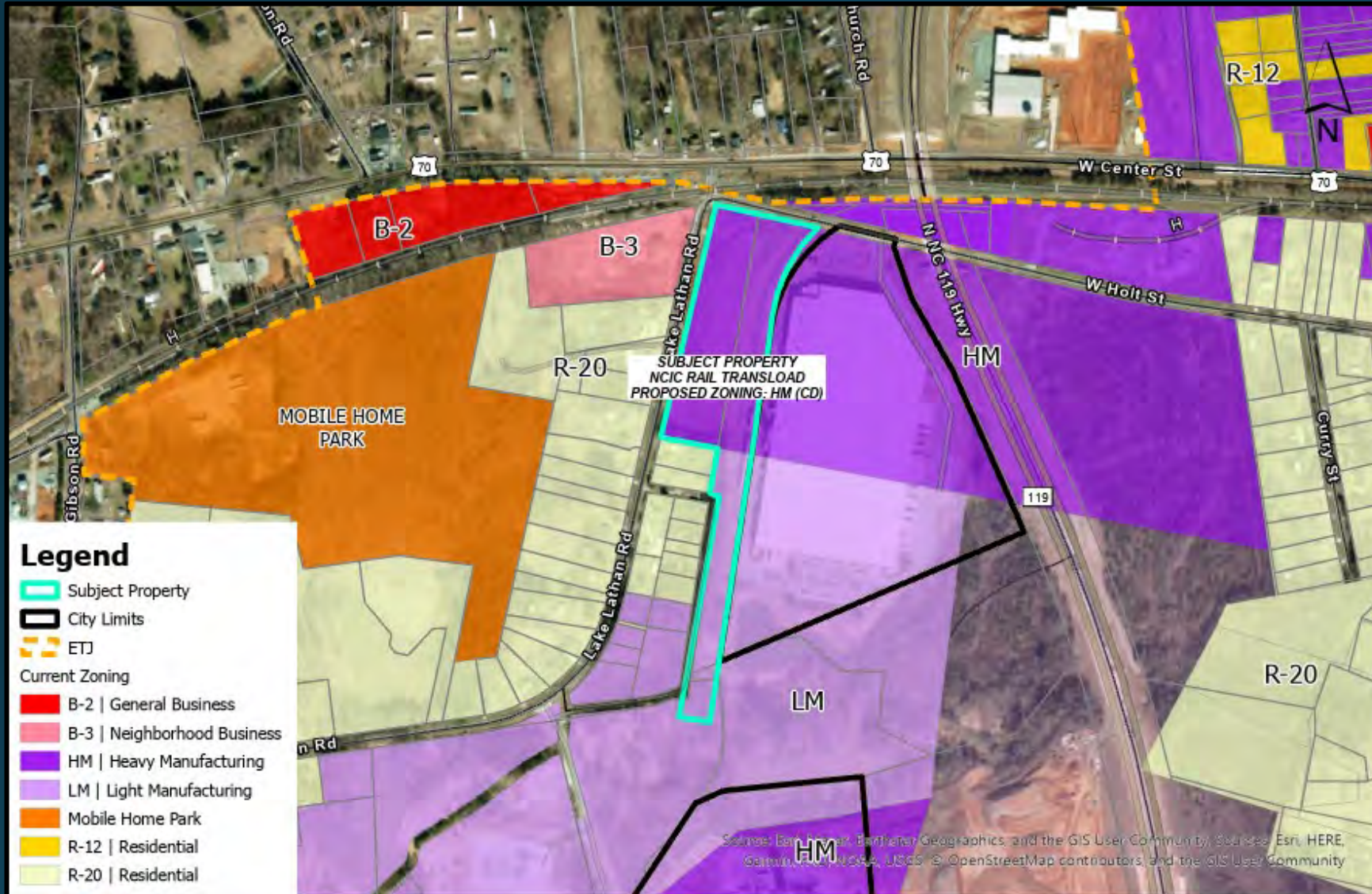
Ashley Ownbey, Development Director

Rezoning Request: HM & LM to HM (CD)  
by Samet Corporation



# NCIC Rail Transload Conditional Rezoning

- Request by Samet Corporation
- +/- 8.03 acres
- Existing zoning: HM, LM
- Requested zoning: HM (CD)



## Legend

Subject Property

City Limits

ETJ

Current Zoning

B-2 | General Business

B-3 | Neighborhood Business

HM | Heavy Manufacturing

LM | Light Manufacturing

Mobile Home Park

R-12 | Residential

R-20 | Residential



**CITY OF MEBANE**  
**ZONING MAP**

**CONDITIONAL REZONING**  
**NCIC RAIL TRANSLOAD**

1 inch = 500 feet

DATE: 10/4/23

DRAWN BY: BP







# NCIC Rail Transload

## Conditional Rezoning

- Alamance County, Mebane ETJ
- Applicant has committed to petition for annexation







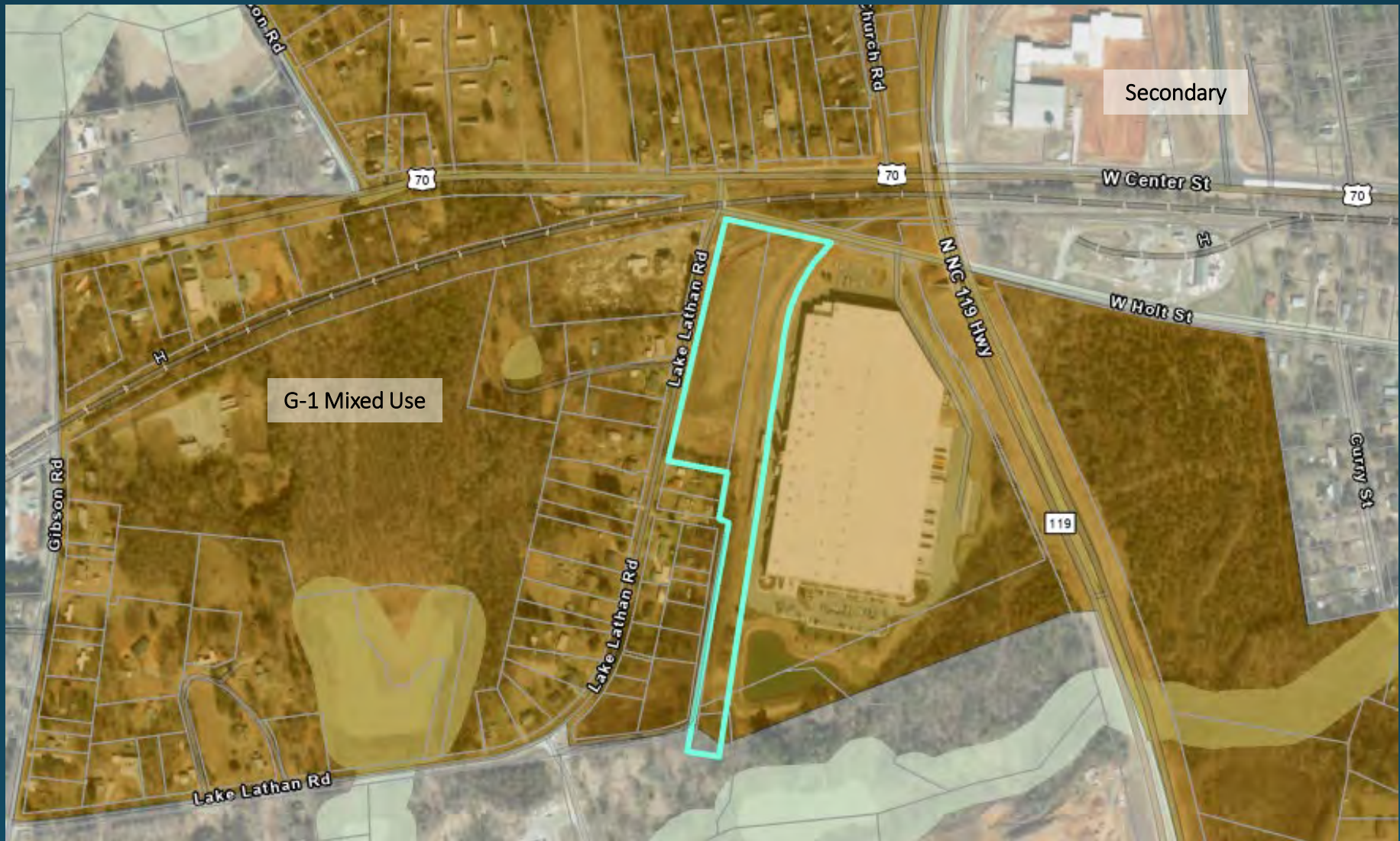
# NCIC Rail Transload

## Conditional Rezoning

- Vacant, Rail Spur
- Surrounding uses include:
  - Industrial, NCIC
  - Residential
  - Railroad





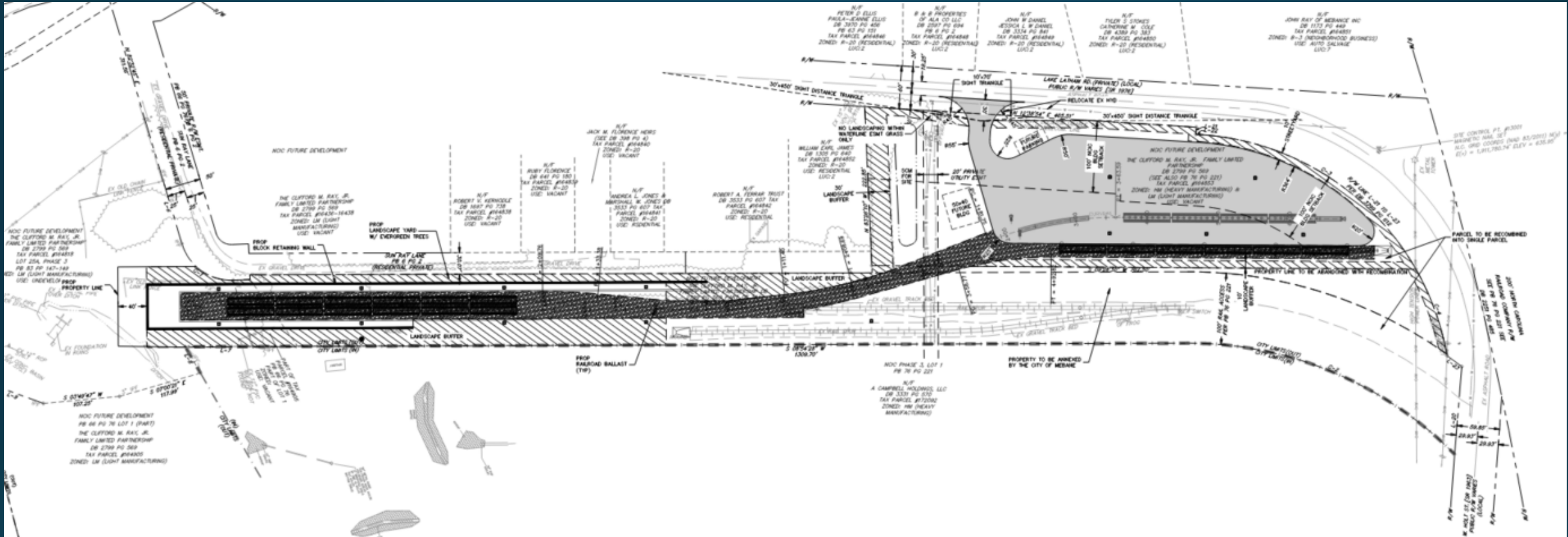


# NCIC Rail Transload Conditional Rezoning

- *Mebane By Design* G-1 Mixed Use (NC 119 Bypass & US 70)







# NCIC Rail Transload Conditional Rezoning

- Site-specific plan
- Setbacks and landscaping consistent with NCIC





# Applicant Presentation



# North Carolina Industrial Center (NCIC)

## Transload Rail Facility

MONDAY, NOVEMBER 6, 2023

BRIAN HALL

[BHALL@SAMETCORP.COM](mailto:BHALL@SAMETCORP.COM)

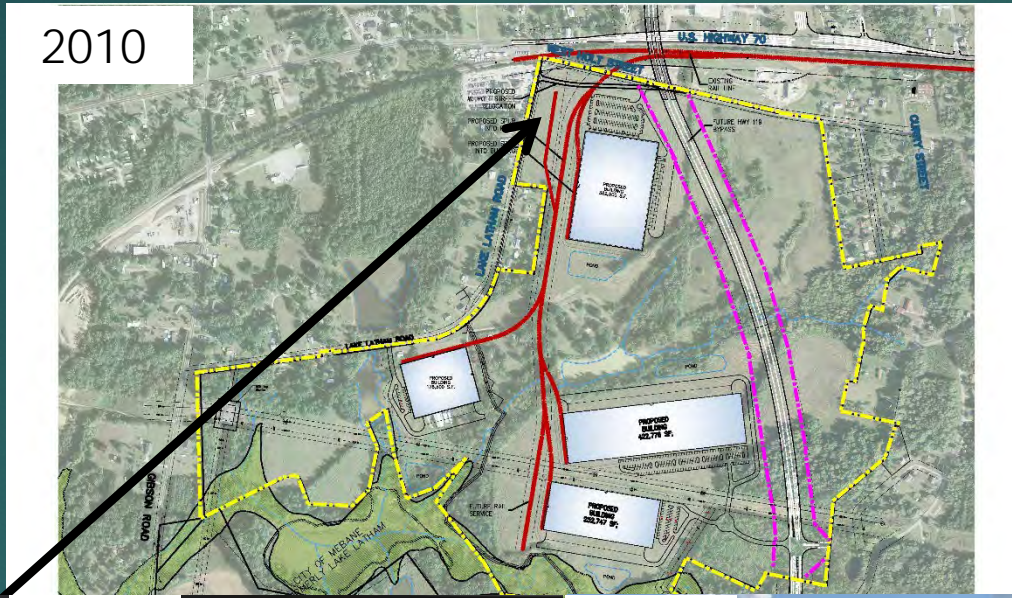
HUNTER NICHOLS

[HNICHOLS@SAMETCORP.COM](mailto:HNICHOLS@SAMETCORP.COM)





# Transload – A Long Time in the Making



Rail Spur / Rail Access



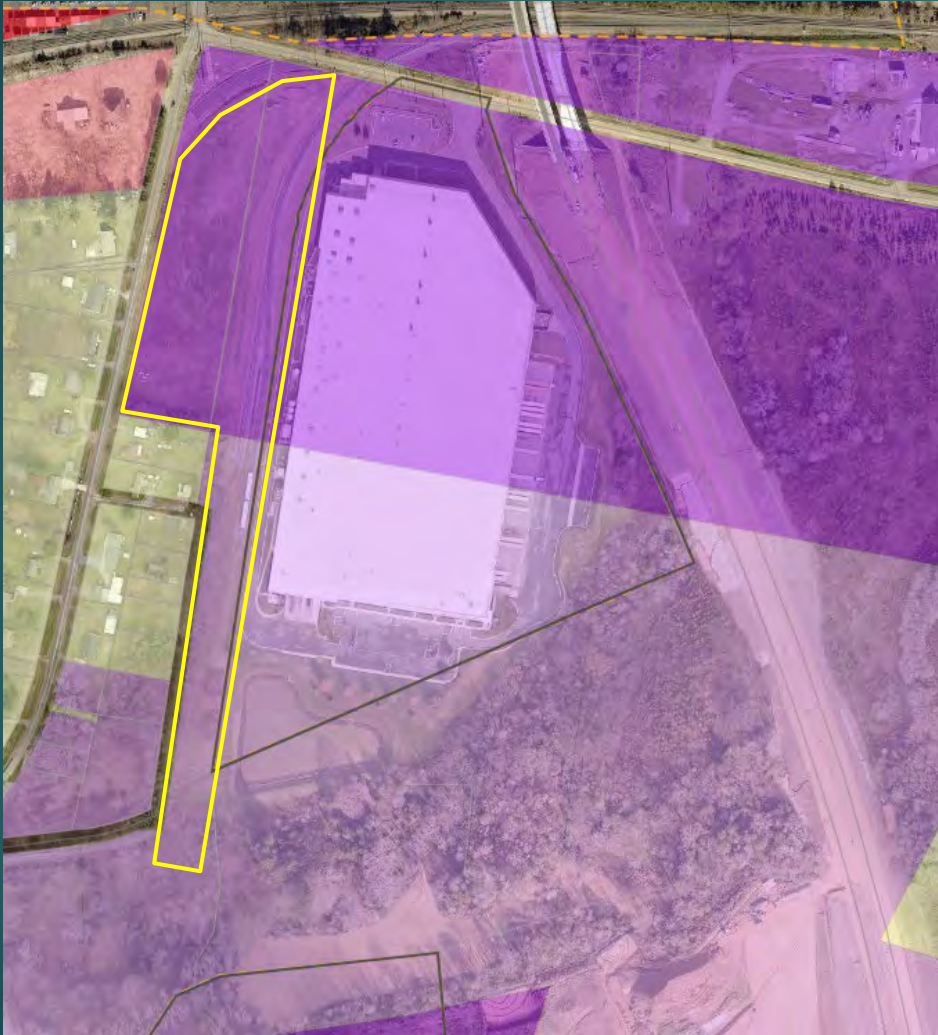
# Transload Rail Key Points

- ▶ Planning began 2001
- ▶ Managed by a non-profit that will own, operate, and maintain the facility.
- ▶ Keep costs low to enhance access and utilization
- ▶ Add to Mebane & Alamance's competitive advantage for industry growth
- ▶ Continuation of Existing Usage of Rail by Cambro and extend current rail further to allow for on site storage
- ▶ Site to accommodate (10) Rail Cars
- ▶ No hazardous materials to be allowed to be transported via Transload Facility





# Current Zoning

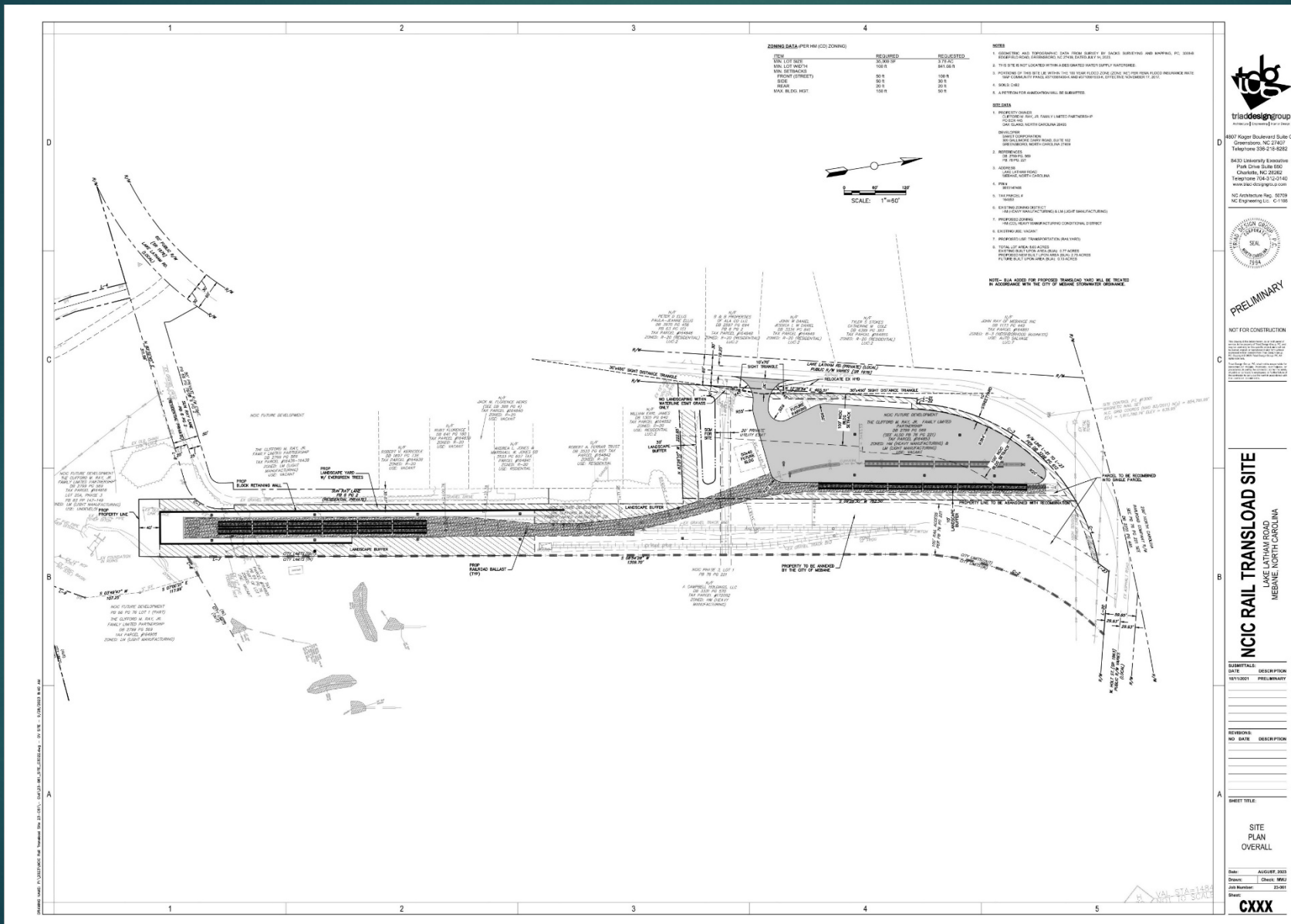


	B-1   Central Business
	B-1 (CD)   Central Business Conditional
	B-2   General Business
	B-2 & LM   Gen. Business & Light Manufacturing
	B-2 (CD)   General Business Conditional
	B-3   Neighborhood Business
	HM   Heavy Manufacturing
	HM (CD)   Heavy Manufacturing Conditional
	LM   Light Manufacturing
	LM (CD)   Light Manufacturing Conditional
	Mobile Home Park
	O&I   Office & Institutional
	O&I (CD)   Office & Institutional Conditional
	R-6   Residential
	R-6 (CD)   Residential Conditional
	R-8   Residential
	R-8 (CD)   Residential Conditional
	R-10   Residential
	R-10 (CD)   Residential Conditional
	R-12   Residential
	R-12 (CD)   Residential Conditional
	R-15   Residential
	R-20   Residential

Proposed



# Transload Site Plan



ZONING DATA PER HM (CITY ZONING)

ITEM	REQUIRED	REQUESTED
MIN. LOT SIZE	20,000 SF	77,000 SF
MIN. LOT WIDTH	100 FT	241.00 FT
MIN. SETBACK	50 FT	50 FT
FRONT (STREET)	50 FT	100 FT
REAR	50 FT	50 FT
SIDE	50 FT	50 FT
MAX. BLDG. HGT.	100 FT	50 FT

**NOTES**

1. EXISTING AND PROPOSED DATA FROM SURVEY BY SARGE SURVEYING AND MAPPING, PC, 2008.
2. EXISTING BUILDINGS AND UTILITIES SHOWN AS PER CITY OF MEBANE.
3. THIS SITE IS LOCATED WITHIN A RAIL GRADED WATER SUPPLY WATERSHED.
4. PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE FUTURE RAILROAD ZONING MAP THAT WILL BE ADOPTED BY THE CITY OF MEBANE IN 2012.
5. THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE CITY OF MEBANE ZONING MAP THAT WILL BE ADOPTED BY THE CITY OF MEBANE IN 2012.
6. A PERMIT FOR ABANDONMENT WILL BE SUBMITTED.

**SPECIAL NOTES**

1. PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE FUTURE RAILROAD ZONING MAP THAT WILL BE ADOPTED BY THE CITY OF MEBANE IN 2012.
2. THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE FUTURE RAILROAD ZONING MAP THAT WILL BE ADOPTED BY THE CITY OF MEBANE IN 2012.
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7. THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE FUTURE RAILROAD ZONING MAP THAT WILL BE ADOPTED BY THE CITY OF MEBANE IN 2012.
8. THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE FUTURE RAILROAD ZONING MAP THAT WILL BE ADOPTED BY THE CITY OF MEBANE IN 2012.
9. THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE FUTURE RAILROAD ZONING MAP THAT WILL BE ADOPTED BY THE CITY OF MEBANE IN 2012.
10. THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE FUTURE RAILROAD ZONING MAP THAT WILL BE ADOPTED BY THE CITY OF MEBANE IN 2012.



1407 Roger Boulevard Suite C  
Greensboro, NC 27407  
Telephone 336-218-8282



**PRELIMINARY**

**NOT FOR CONSTRUCTION**

**NCIC RAIL TRANSLOAD SITE**  
LAKE LATHAM ROAD  
MEBANE, NORTH CAROLINA

**DATE/TITLE:**

DATE	DESCRIPTION
10/1/2011	PRELIMINARY

**REVISIONS:**

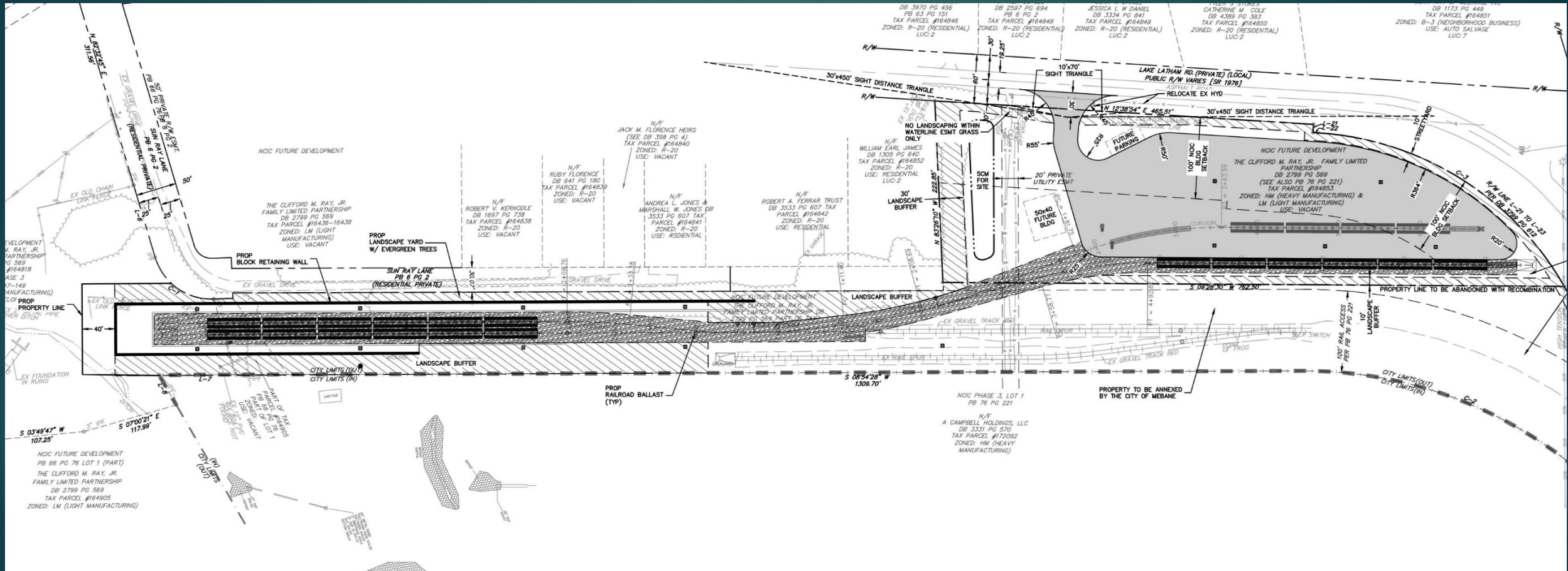
NO.	DATE	DESCRIPTION
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SHEET TITLE:  
**SITE PLAN OVERALL**

Date: AUGUST 2013  
Drawn: CHEE, MWU  
Job Number: 210191  
Sheet:

**CXXX**

# Transload Site Plan





# Neighborhood Meeting

- ▶ Neighborhood Meeting was held at noon on Tuesday, October 3, 2023
- ▶ Notes:
  - ▶ Invite sent out to the 42 property owners within the notification radius
  - ▶ Attended by Ellis Family
  - ▶ Overview of history of NCIC and our proposed project
  - ▶ Ellis Family had no concerns with the project



# Transload Rail Facility Action Requested

- Action Items:
  - Rezoning of site from Heavy Manufacturing to Heavy Manufacturing, Conditional District



## APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: Samet Corporation

Address of Applicant: 309 Gallimore Dairy Rd. Greensboro, NC 27409

Address and brief description of property to be rezoned: \_\_\_\_\_

PIN: 164853, 172092 (partial), 164818 ( partial),

Applicant's interest in property: (Owned, leased or otherwise) Developer

\*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes \_\_\_ Explain: \_\_\_\_\_ No

Type of re-zoning requested: Heavy Manufacturing, Conditional District

Sketch attached: Yes  No \_\_\_\_\_

Reason for the requested re-zoning: Allow for a transload facility

Signed: 

Date: 9/22/2023

Action by Planning Board: \_\_\_\_\_

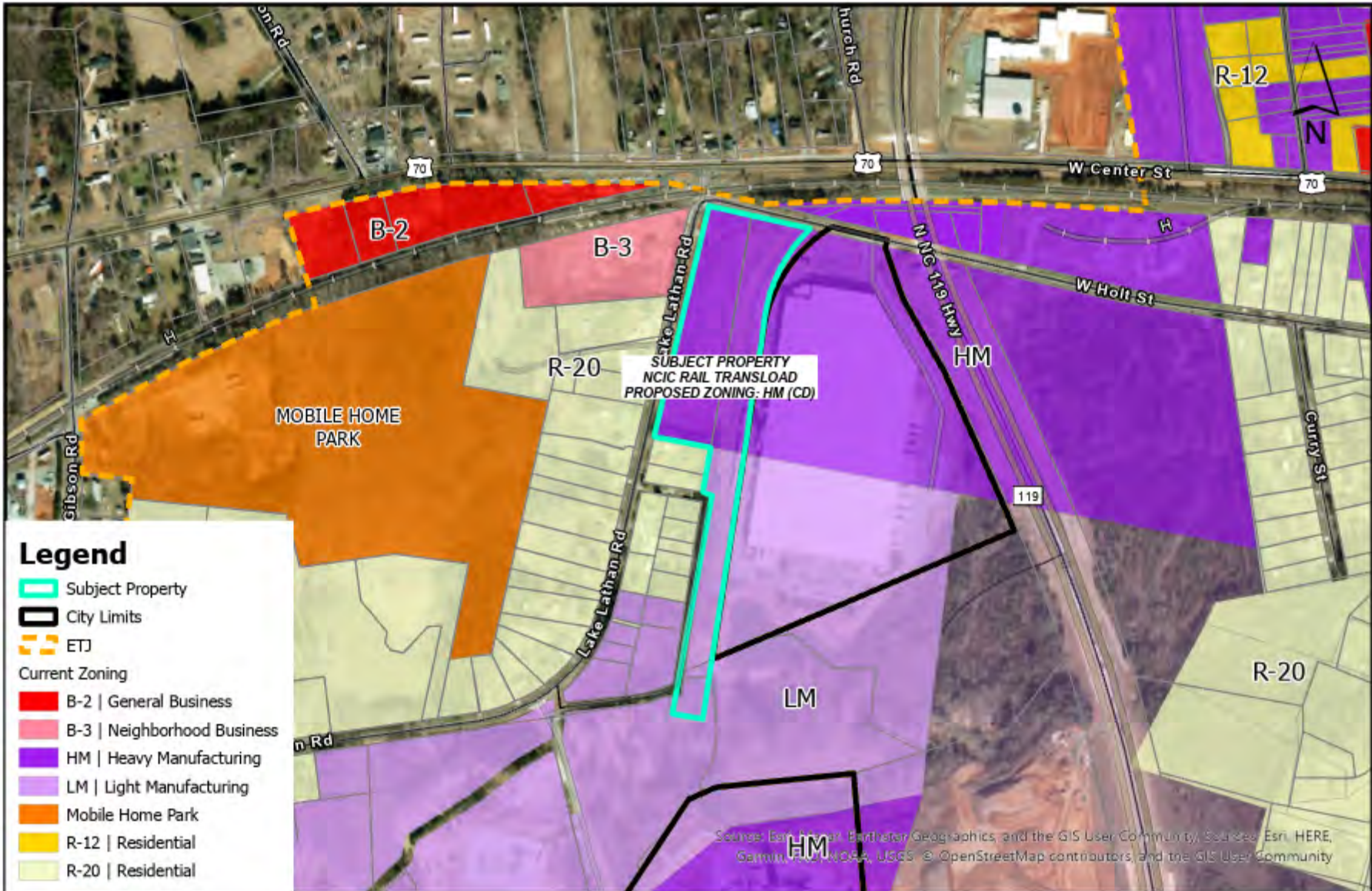
Public Hearing Date: \_\_\_\_\_ Action: \_\_\_\_\_

Zoning Map Corrected: \_\_\_\_\_

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2<sup>nd</sup> Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1<sup>st</sup> Monday of each month at 6:00 p.m.





**Legend**

- Subject Property
- City Limits
- ETJ

Current Zoning

- B-2 | General Business
- B-3 | Neighborhood Business
- HM | Heavy Manufacturing
- LM | Light Manufacturing
- Mobile Home Park
- R-12 | Residential
- R-20 | Residential

Source: Esri, DeLorme, Benchmark Geographics, and the GIS User Community, Scanned, Esri, HERE, Garmin, AirCaster, USDA, USGS, © OpenStreetMap contributors, and the GIS User Community



**CITY OF MEBANE  
ZONING MAP**

**CONDITIONAL REZONING  
NCIC RAIL TRANSLOAD**

1 inch = 500 feet

DATE: 10/4/23  
DRAWN BY: BP



**ZONING DATA (PER HM (CD) ZONING)**

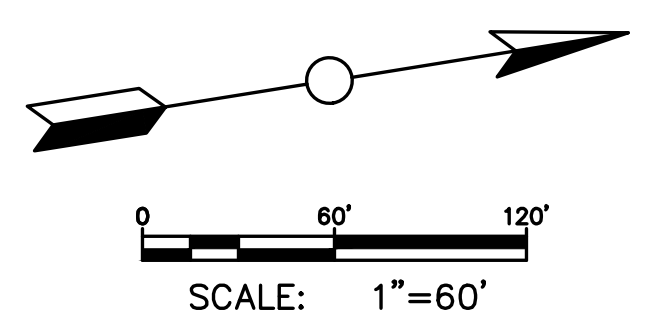
ITEM	REQUIRED	REQUESTED
MIN. LOT SIZE	35,000 SF	3.78 AC
MIN. LOT WIDTH	100 FT	841.66 FT
MIN. SETBACKS		
FRONT (STREET)	50 FT	100 FT
SIDE	50 FT	30 FT
REAR	20 FT	20 FT
MAX. BLDG. HGT.	150 FT	50 FT

**NOTES**

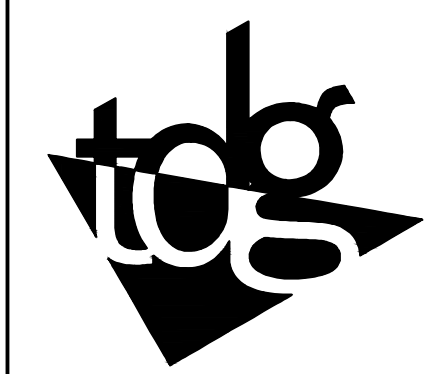
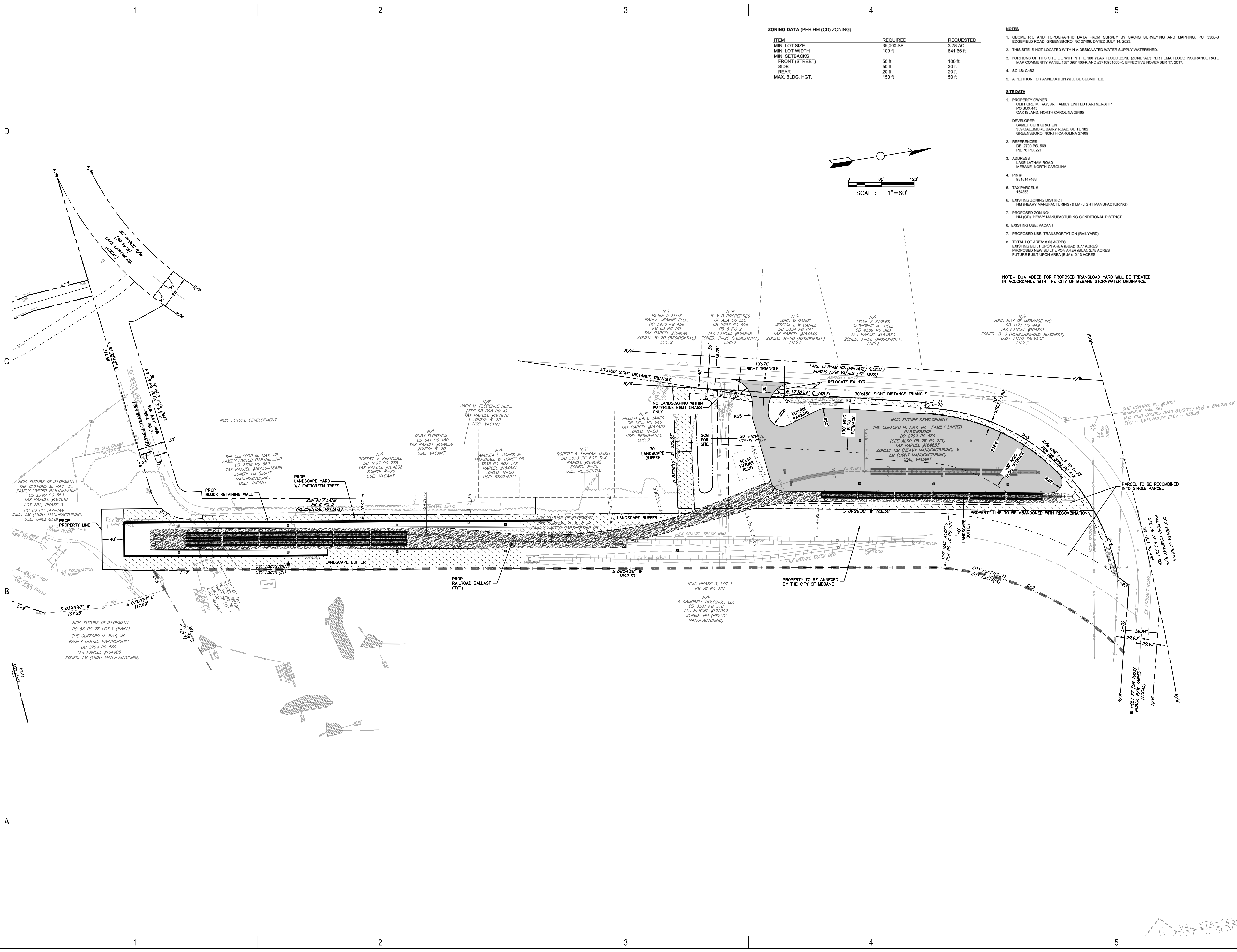
1. GEOMETRIC AND TOPOGRAPHIC DATA FROM SURVEY BY SACKS SURVEYING AND MAPPING, PC, 3308-B EDGEFIELD ROAD, GREENSBORO, NC 27409, DATED JULY 14, 2023.
2. THIS SITE IS NOT LOCATED WITHIN A DESIGNATED WATER SUPPLY WATERSHED.
3. PORTIONS OF THIS SITE LIE WITHIN THE 100 YEAR FLOOD ZONE (ZONE 'AE') PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL #3710981400-K AND #3710981500-K, EFFECTIVE NOVEMBER 17, 2017.
4. SOILS: C82
5. A PETITION FOR ANNEXATION WILL BE SUBMITTED.

**SITE DATA**

1. PROPERTY OWNER  
CLIFFORD M. RAY, JR. FAMILY LIMITED PARTNERSHIP  
PO BOX 445  
OAK ISLAND, NORTH CAROLINA 28465
- DEVELOPER  
SNIET CORPORATION  
309 GALLIMORE DAIRY ROAD, SUITE 102  
GREENSBORO, NORTH CAROLINA 27409
2. REFERENCES  
DB 2799 PG. 569  
PB. 76 PG. 221
3. ADDRESS  
LAKE LATHAM ROAD  
MEBANE, NORTH CAROLINA
4. PIN #  
0815147486
5. TAX PARCEL #  
164893
6. EXISTING ZONING DISTRICT  
HM (HEAVY MANUFACTURING) & LM (LIGHT MANUFACTURING)
7. PROPOSED ZONING:  
HM (CD), HEAVY MANUFACTURING CONDITIONAL DISTRICT
8. EXISTING USE: VACANT
9. PROPOSED USE: TRANSPORTATION (RAILROAD)
10. TOTAL LOT AREA: 8.03 ACRES  
EXISTING BUILT UPON AREA (BUA): 0.77 ACRES  
PROPOSED NEW BUILT UPON AREA (BUA): 2.75 ACRES  
FUTURE BUILT UPON AREA (BUA): 0.13 ACRES



NOTE- BUA ADDED FOR PROPOSED TRANSLOAD YARD WILL BE TREATED IN ACCORDANCE WITH THE CITY OF MEBANE STORMWATER ORDINANCE.

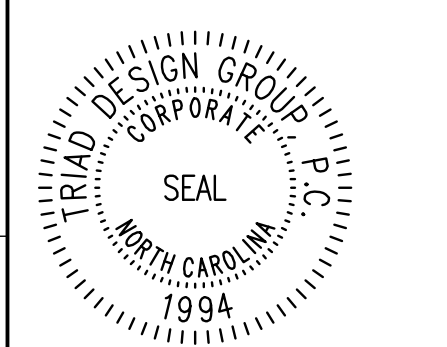


triad design group  
Architecture | Engineering | Interior Design

4807 Koger Boulevard Suite C  
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Telephone 336-218-8282

8430 University Executive  
Park Drive Suite 650  
Charlotte, NC 28262  
Telephone 704-312-0140  
www.triad-designgroup.com

NC Architecture Reg. 50709  
NC Engineering Lic. C-1108



**PRELIMINARY**

NOT FOR CONSTRUCTION

This drawing & its details herein, as an instrument of service, is the property of Triad Design Group, PC, and shall be used only for the specific project and shall not be used for any other project without the written consent of Triad Design Group, PC. Copyright © 2023 Triad Design Group, PC. All rights reserved.

Triad Design Group, PC, shall not be responsible for construction means, methods, techniques, or procedures unless specifically stated otherwise. The contractor shall be responsible for the safety of the construction site and the work shall be done in accordance with the contract documents.

**NCIC RAIL TRANSLOAD SITE**  
LAKE LATHAM ROAD  
MEBANE, NORTH CAROLINA

SUBMITTALS:	DATE	DESCRIPTION
	10/11/2021	PRELIMINARY

REVISIONS:	NO	DATE	DESCRIPTION

SHEET TITLE:

SITE PLAN  
OVERALL

Date: AUGUST, 2023  
Drawn: Check: MWJ  
Job Number: 23-061  
Sheet:

**CXXX**

DRAWING NAME: P:\2023\NCIC Rail Transload\_Site 23-061\...\_SITE\_23022.dwg - 01 SITE - 9/28/2023 8:40 AM

VAL STA=1484  
NOT TO SCALE

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# PLANNING PROJECT REPORT

DATE	10/04/2023
PROJECT NUMBER	RZ 23-07
PROJECT NAME	NCIC Rail Transload
APPLICANT	Samet Corporation 309 Gallimore Dairy Road Greensboro, NC 27409

## CONTENTS

PROJECT NAME & APPLICANT .....	PAGE 1
ZONING REPORT .....	PAGE 2
LAND USE REPORT .....	PAGE 4
UTILITIES REPORT .....	PAGE 6
STAFF ZONING REQUEST RECOMMENDATION .....	PAGE 7

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## ZONING REPORT

**EXISTING ZONE** HM, Heavy Manufacturing & LM, Light Manufacturing

**REQUESTED ACTION** HM (CD) (Heavy Manufacturing, Conditional District)

**CONDITIONAL ZONE?** YES NO

**CURRENT LAND USE** Vacant, Rail Spur

**PARCEL SIZE** +/- 8.03 acres

Clifford M. Ray, Jr. Family Limited Partnership  
PO Box 445  
Oak Island, NC 28465  
GPINs: 9815147486; 9815125977

### PROPERTY OWNERS

A. Campbell Holdings, LLC  
5801 Skylab Road  
Huntington Beach, CA 92647  
GPIN: 9815242044

### LEGAL DESCRIPTION

Request to rezone a +/- 3.78-acre unaddressed property with frontages on Lake Latham Road and West Holt Street (GPIN: 9815147486), portions of a +/- 27.473-acre property addressed 1268 West Holt Street (GPIN: 9815242044), and portions of a +/- 6.815-acre unaddressed property with frontages on Sun Ray Lane and Lake Latham Road (GPIN: 9815125977) from Heavy Manufacturing and Light Manufacturing to Heavy Manufacturing, Conditional District to allow for a railyard on a +/- 8.03-acre site by Samet Corporation.

### AREA ZONING & DISTRICTS

The properties to the north, across US 70, are in Alamance County's planning jurisdiction and are not zoned. The properties to the east are zoned HM, Heavy Manufacturing. The properties to the west are zoned R-20, Residential District and B-3, Neighborhood Business District. The properties to the south are zoned R-20 and LM, Light Manufacturing District.

### SITE HISTORY

The subject properties were included in a master site plan for the North Carolina Industrial Center (NCIC) completed in the early 2000s. A rail transload facility in this area has been studied and discussed for at least a decade. The largest property is currently vacant and adjacent to a rail spur serving the Cambro facility.

### STAFF ANALYSIS

**CITY LIMITS?** YES NO

**PROPOSED USE BY-RIGHT?** YES NO

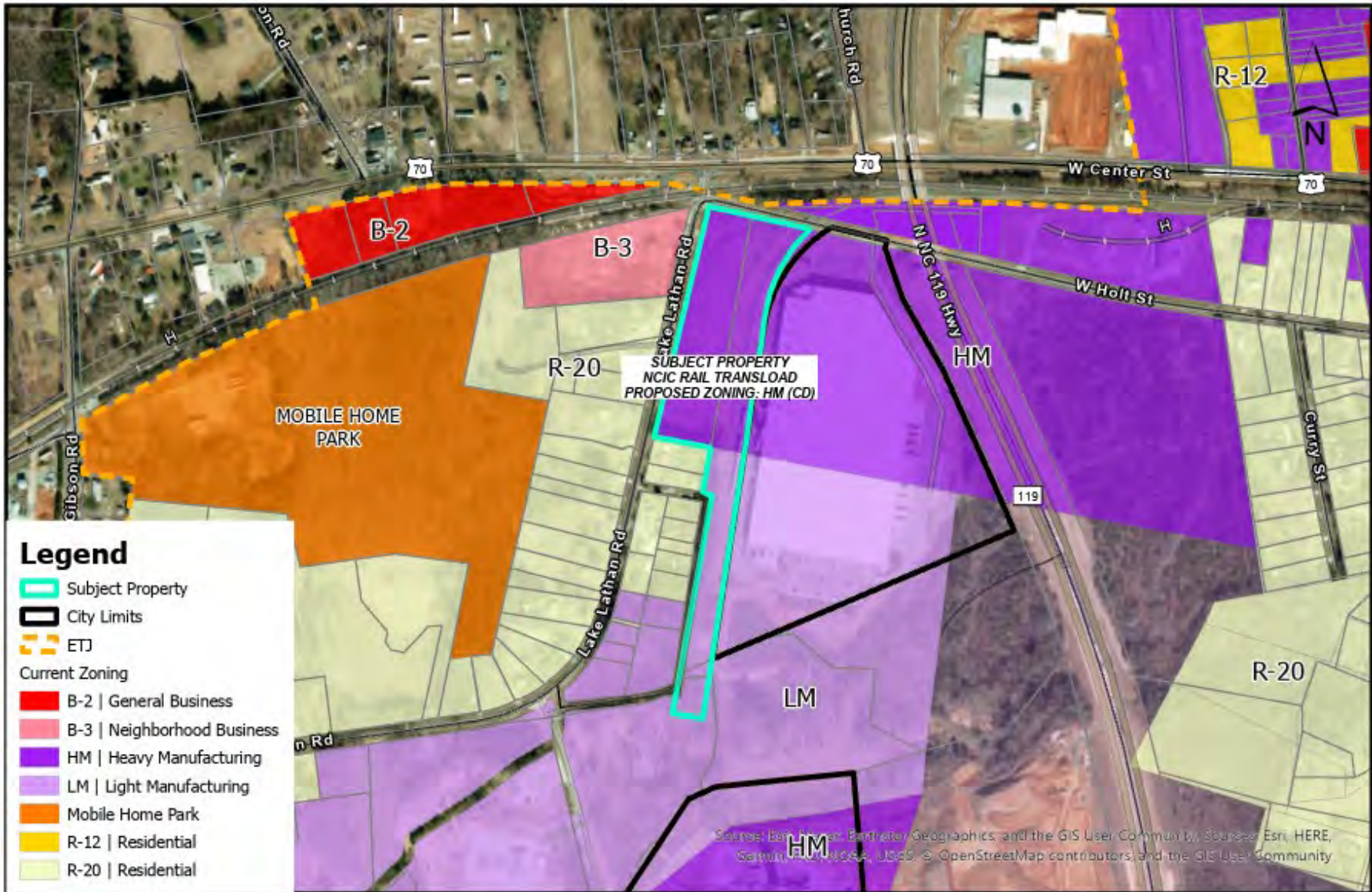
**SPECIAL USE?** YES NO

**EXISTING UTILITIES?**  YES  NO

### POTENTIAL IMPACT OF PROPOSED ZONE

Most of the property is already zoned HM, Heavy Manufacturing District. The proposed rezoning largely impacts the southern portion of the site. As shown on the site-specific plan, a rail spur already exists in the area to serve the Cambro facility.





**CITY OF MEBANE  
ZONING MAP**

**CONDITIONAL REZONING  
NCIC RAIL TRANSLOAD**

DATE: 10/4/23

DRAWN BY: BP

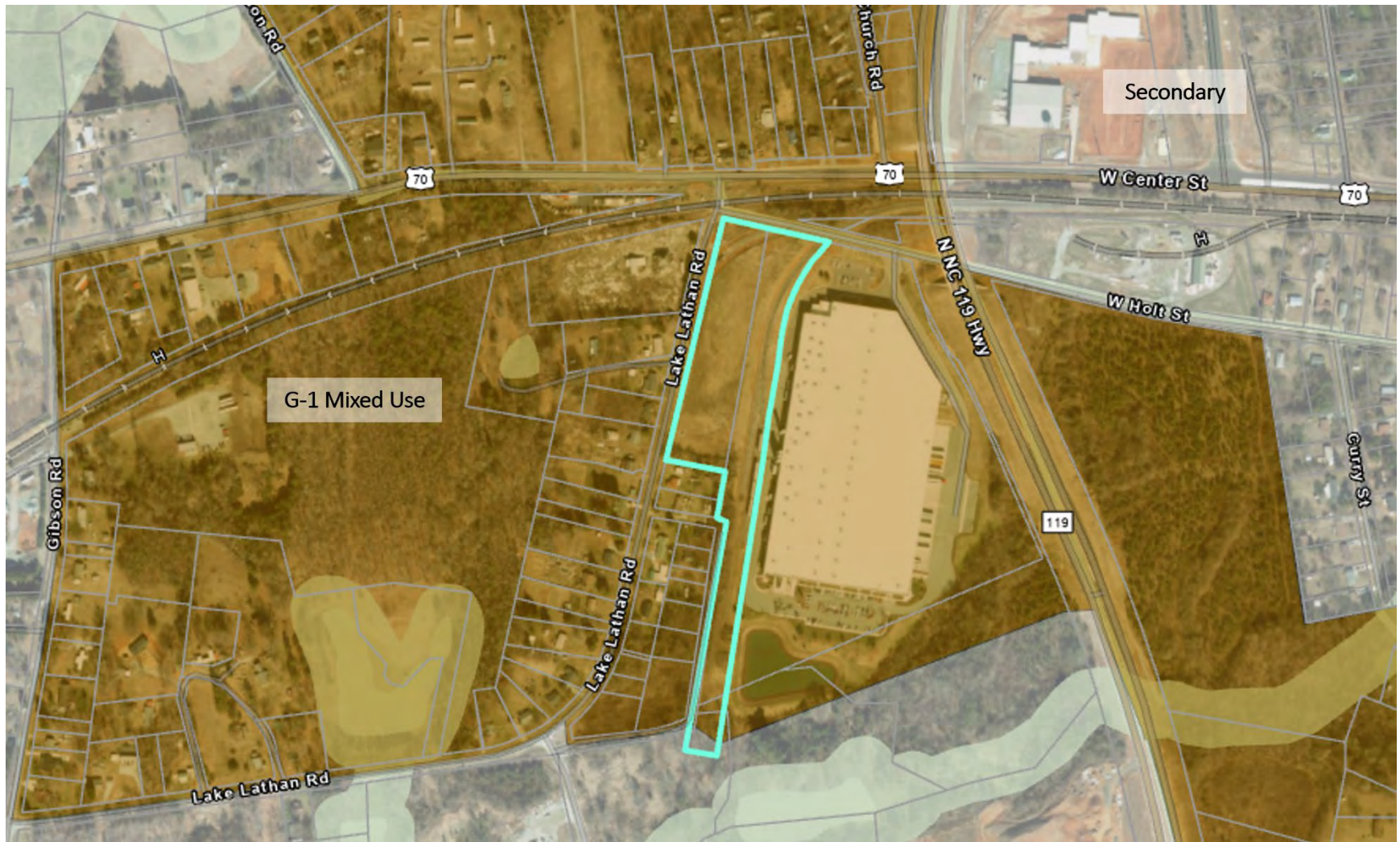
1 inch = 500 feet

## LAND USE REPORT

EXISTING LAND USE	Vacant, Rail Spur
PROPOSED LAND USE & REQUESTED ACTION	The applicant is requesting to rezone a +/- 3.78-acre unaddressed property with frontages on Lake Latham Road and West Holt Street (GPIN: 9815147486), portions of a +/- 27.473-acre property addressed 1268 West Holt Street (GPIN: 9815242044), and portions of a +/- 6.815-acre unaddressed property with frontages on Sun Ray Lane and Lake Latham Road (GPIN: 9815125977) from Heavy Manufacturing and Light Manufacturing to Heavy Manufacturing, Conditional District to allow for a railyard on a +/- 8.03-acre site.
PROPOSED ZONING	HM (CD) (Heavy Manufacturing District)
PARCEL SIZE	+/- 8.03 acres
AREA LAND USE	The subject property is located within the North Carolina Industrial Center (NCIC) and adjacent to the existing Cambro facility. Residential uses are adjacent to the site and along Lake Latham Road.
ONSITE AMENITIES & DEDICATIONS	N/A
CONDITIONAL ZONE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF PROPOSED CONDITIONS	<p>The applicant has committed to annexation of the site. The subject properties are part of the master plan for the North Carolina Industrial Center (NCIC) developed in the early 2000s. Restrictive covenants were established for this industrial park and include specific standards for building setbacks, building height and landscaping requirements.</p> <p>The following dimensional standards are requested:</p> <ul style="list-style-type: none"> <li>- Front: 100'</li> <li>- Side: 30'</li> <li>- Rear: 20'</li> <li>- Maximum Building Height: 50'</li> </ul> <p>At minimum 10' landscape buffers are shown on the site plan, with wider buffer areas shown on parts of the site.</p>

CONSISTENCY WITH <i>MEBANE BY DESIGN</i> STRATEGY	
LAND USE GROWTH STRATEGY DESIGNATION(S)	G-1 Mixed Use (NC 119 Bypass and US 70)
OTHER LAND USE CONSIDERATIONS	
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES SUPPORTED	
<i>MEBANE BY DESIGN</i> GOALS & OBJECTIVES <u>NOT</u> SUPPORTED	







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## UTILITIES REPORT

AVAILABLE UTILITIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED UTILITY NEEDS	No water and sewer services are currently proposed.
UTILITIES PROVIDED BY APPLICANT	N/A
MUNICIPAL CAPACITY TO ABSORB PROJECT	N/A
CONSISTENCY WITH MEBANE LONG RANGE UTILITY PLAN?	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
ADEQUATE STORMWATER CONTROL?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Stormwater treatment shall be in accordance with City requirements.
INNOVATIVE STORMWATER MANAGEMENT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

### TRANSPORTATION NETWORK STATUS

CURRENT CONDITIONS	The site includes one driveway connection to Lake Latham Road, which is a two-lane facility maintained by the NCDOT. Traffic counts are not available for Lake Latham Road. In 2019, the annual average daily traffic count for West Holt Street in this area was 1,500. Crash data is not reported by the NCDOT for this area.
TRAFFIC IMPACT ANALYSIS REQUIRED?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OF RECOMMENDED IMPROVEMENTS	No improvements are required. To date, discussions have occurred with the NCDOT related to providing a direct trucking route to NC 119 through the extension of Development Center Drive to Lake Latham Road, pending right-of-way acquisition and NCDOT funding.
CONSISTENCY WITH THE MEBANE BICYCLE AND PEDESTRIAN TRANSPORTATION PLAN?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO The current plan shows a multi-use path in this area. However, the City is updating this plan and preliminary routes show a sidewalk ending at Cambro.
MULTIMODAL IMPROVEMENTS PROVIDED BY APPLICANT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DESCRIPTION OF MULTIMODAL IMPROVEMENTS	N/A

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**STAFF RECOMMENDATION**

<b>STAFF ZONING RECOMMENDATION</b>	<input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> DISAPPROVE
<b>STAFF SPECIAL USE FINDING</b>	<input type="checkbox"/> CONSISTENT <input type="checkbox"/> NOT CONSISTENT.....WITH <i>MEBANE BY DESIGN</i>
<b>RATIONALE</b>	The proposed development “NCIC Rail Transload” is consistent with the guidance provided within <i>Mebane By Design</i> , the Mebane Comprehensive Land Development Plan.



Technical Memo

Date: 10-03-23

From: Franz Holt, City Engineer

To: Ashley Ownbey, Development Director

Subject: NCIC Rail Transload Site

The Engineering Department has completed its review of a proposed NCIC Rail Transload Site located on a currently vacant 3.78-acre parcel along Lake Latham Road (SR 1976) and being combined with other NCIC property totaling 8.03 acres all being developed by Samet Corporation. Our technical review comments are as follows:

- A. The site plans completed by Triad Design Group include rail improvements connecting to the existing rail spur at Cambro Manufacturing and a paved receiving and loading yard area.
- B. The site is to be landscaped along Lake Latham Road frontage, Sun Ray Lane frontage, and along the western adjoining property.
- C. A stormwater permit will be required for the site development with treatment in accordance with City of Mebane requirements. Built upon area exceeds the threshold for low density option requirement stormwater control measures treating the runoff from a 1-inch rain and providing detention for a 10-year storm design post vs. pre.
- D. One driveway connection is proposed at Lake Latham Road requiring a driveway permit from NCDOT. No TIA was required.
- E. The site is proposed to be annexed and rezoned to Heavy Manufacturing Conditional Use.
- F. No water and sewer services are proposed. However, the site will be annexed.
- G. To date discussions have occurred with NCDOT related to providing a direct trucking route to NC Hwy. 119 through the extension of Development Center Drive to Lake Latham Road pending right-of-way acquisition and NCDOT funding.





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## AGENDA ITEM #6C

Street Closing Resolution and Order- Portions  
of Jackson Street and Short Street

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### Meeting Date

November 6, 2023

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### Presenter

Lawson Brown, City Attorney

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### Public Hearing

Yes  No

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### Summary

At the October 2, 2023, meeting, the Council set a date of public hearing for consideration of closing portions of Jackson Street and Short Street.

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### Background

The City is the owner of properties on Jackson Street and Short Street, which streets were previously platted but unopened, shown on a plat recorded in Plat Book 83, Page 237 of the Alamance County Registry, shown as sixty feet (60') in width. The Public Hearing Notice/Resolution of Intent was properly advertised at the property and in the Mebane Enterprise.

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### Financial Impact

N/A

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### Recommendation

Staff recommends the adoption of the Resolution and Order closing the portions of Jackson Street and Short Street as presented.

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### Suggested Motion

I move to adopt the Resolution and Order closing the portions of Jackson Street and Short Street.

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### Attachments

1. Street Closing Resolution and Order
2. Plat
3. Map

Prepared By: E. Lawson Brown, Jr.  
City of Mebane  
106 E. Washington Street  
Mebane, NC 27302

NORTH CAROLINA  
ALAMANCE COUNTY

**RESOLUTION AND ORDER PURSUANT TO N.C.G.S. §160A-299 TO PERMANENTLY CLOSE  
PORTIONS OF JACKSON STREET AND SHORT STREET**

WHEREAS, pursuant to N.C.G.S. §160A-299, the City Council of the City of Mebane, North Carolina held a public hearing on November 6, 2023 to consider closing portions of Jackson Street and Short Street; and

WHEREAS, after full consideration of these matters, the City Council of the City of Mebane, North Carolina does hereby deem it to be in the best interest of the City of Mebane to close Douglas Street;

NOW, THEREFORE, be it resolved by the City Council of the City of Mebane as follows:

**Section 1.** That the City Council, after full consideration of this matter at the public hearing held on November 6, 2023, and upon the terms and conditions hereinafter set forth, does hereby order the closing of that portion of Douglas Street which is more particularly described as follows:

A certain tract or parcel of land in Melville Township, Alamance County, North Carolina adjoining the lands of the unopened right of way of Jackson Street, the unopened right of way of Short Street, Willard Rogers and wife Evelyn A. Rogers parcel ID number 165064, Elizabeth Foust Heirs parcel ID number 165070, the City of Mebane property parcel ID numbers 165218, 165069, 165075, 165076, and 165077, and being more particularly described as follows:

BEGINNING at an iron stake found in the northern margin of the unopened 60 foot right of way of Short Street, said iron stake found being a corner between Willard Rogers and wife Evelyn A. Rogers parcel ID number 165064 and the City of Mebane property parcel ID number 165069 and running thence with said northern margin of the unopened 60 foot right of way of Short Street S 86° 38' 27" E 150.00 feet to an iron stake found at the intersection of the northern margin of the unopened 60 foot right of way of Short Street and the western margin of the unopened 60 foot right of way of Jackson Street being the southeastern most corner of the City of Mebane property parcel ID number 165069; running thence with the western margin of the unopened 60 foot right of way of Jackson Street N 03° 18' 39" E 375.15 feet to an iron stake found said iron stake found being a corner between Elizabeth Foust Heirs parcel ID number 165070 and the City of Mebane

property parcel ID number 165069; running thence perpendicular across the unopened 60 foot right of way of Jackson Street S 86° 41' 21" E 60.00 feet to an iron stake set in the eastern margin of the unopened 60 foot right of way of Jackson Street in the line of the City of Mebane property parcel ID number 165077; running thence with said eastern margin of the unopened 60 foot right of way of Jackson Street the following three(3) calls: S 03° 18' 39" W 171.38 feet to an iron stake found corner between the City of Mebane property parcel ID 165077 and the City of Mebane property parcel ID 165076; thence S 03° 18' 39" W 50.09 feet to an iron stake found corner between the City of Mebane property parcel ID 165076 and the City of Mebane property parcel ID 165075; thence S 03° 18' 39" W 185.72 feet to an iron stake found at the intersection of the eastern margin of the unopened 60 foot right of way of Jackson Street and the southern margin of the unopened 60 foot right of way of Short Street said iron stake found being the southwestern most corner of the City of Mebane property parcel ID number 165075 in the line of the City of Mebane property parcel ID number 165218; running thence with said southern margin of the unopened 60 foot right of way of Short Street the following two(2) calls: S 81° 43' 01" W 138.80 feet to an iron stake found; thence N 86° 38' 27" W 74.08 feet to an iron stake set in the southern margin of the unopened 60 foot right of way of Short Street being in the line of the City of Mebane property parcel ID 165218; running thence perpendicular across the unopened 60 foot right of way of Short Street N 03° 21' 33" E 59.87 feet to the POINT AND PLACE OF BEGINNING containing 0.762 acres plus or minus of unopened road right of way to be abandoned.

The foregoing descriptions were obtained from a survey and map prepared by Alley, Williams, Carmen & King, Inc., Engineers, Architects & Surveyors, dated August 30, 2023, Job No. 22021 and recorded in Plat Book \_\_\_\_\_ Page \_\_\_\_\_ of the Alamance County Registry.

**Section 2.**

The City Council of the City of Mebane adopted a resolution on the 2<sup>nd</sup> day of October, 2023 thereby declaring its intent to permanently close portions of Jackson Street and Short Street as is more particularly described in Section 1 hereof,

**Section 3.** That notice of said public hearing was published on October 11<sup>th</sup>, 18<sup>th</sup>, 25<sup>th</sup> and November 1<sup>st</sup>, 2023.

**Section 4.** That a copy of this Resolution and Order shall be mailed to all owners of the property abutting said unnamed street as more particularly described above.

**Section 5.** That a notice of this closing was prominently displayed and posted in at least two places along Jackson Street and Short Street.

**Section 6.** That the North Carolina Department of Transportation has not accepted any portion of Jackson Street or Short Street for maintenance.

**Section 7.** That after full consideration of these matters at said public hearing, it appears to the satisfaction of the City Council of the City of Mebane that the closing portions of Jackson Street and Short Street will be deprived of reasonable means of ingress and egress to his property.

**Section 8.** That this Resolution and Order closing of portions of Jackson Street and Short Street shall be made effective as of the adoption of this Resolution and Order.

**Section 9.** That a copy of this Resolution and Order shall be filed in the office of the Register of Deeds for Alamance County, North Carolina.

**Section 10.** That this resolution shall take effect upon passage.

This the 6th day of November, 2023.

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Ed Hooks, Mayor of  
City of Mebane



ATTEST:

\_\_\_\_\_  
Stephanie W. Shaw,  
Mebane City Clerk

(Corporate Seal)

NORTH CAROLINA  
ALAMANCE COUNTY

This \_\_\_ day of June, 2023, personally appeared before me, \_\_\_\_\_, a Notary Public in and for the aforesaid County and State, STEPHANIE W. SHAW, who being by me duly sworn says that she knows the corporate seal of the City of Mebane, a municipal corporation in North Carolina, and is acquainted with ED HOOKS, who is Mayor of said corporation, and that she, the said STEPHANIE W. SHAW, is the Clerk of said municipal corporation, and saw the Mayor sign the foregoing instrument, and that she, the said STEPHANIE W. SHAW, Clerk as aforesaid, affixed said seal to said instrument, and that she, the said STEPHANIE W. SHAW, signed her name in attestation of the execution of said instrument in the presence of said Mayor of said municipal corporation.

WITNESS my hand and notarial seal this \_\_\_ day of June, 2023.

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_



**SURVEYOR'S CERTIFICATE**

I, GARY R. PARRISH, certify that this plat was drawn under my direction from an actual survey made under my supervision, deed description recorded in book SEE, page REF'S; that the boundaries not surveyed are clearly indicated as drawn from information found in deed book SEE, page REF'S; that the ratio of precision or positional accuracy as calculated is 1: 10,000; that this map was prepared in accordance with N.C.G.S. 47-30 as amended; that the global positioning system (GPS) observations were performed to the geospatial positioning accuracy standards for geodetic networks at the 0.05" (15mm) accuracy classification (95% confidence) using rtk network and traditional traverse, that this survey is of an existing parcel or parcels of land and does not create a new street or change an existing (open) street. [G.S. 47-30 f(1) c1] Witness my original signature, registration number and seal this \_\_\_\_\_ day of \_\_\_\_\_, A.D., \_\_\_\_\_.



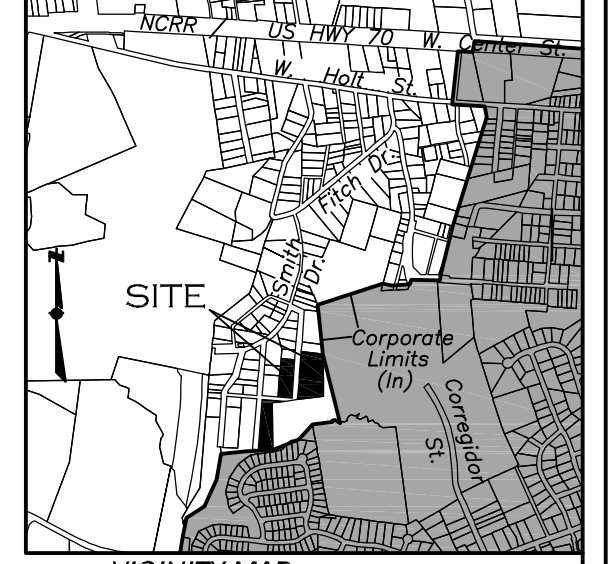
**Planning Director Certification**

This tract of land is within the City of Mebane's jurisdiction. No approval is required of the Planning Board or City Council.

Planning Director \_\_\_\_\_ Date \_\_\_\_\_

**GENERAL NOTES**

- 1) All distances are horizontal ground distances unless otherwise noted.
- 2) Iron stakes at all corners unless otherwise noted.
- 3) This plat is subject to any facts that may be disclosed by a full and accurate title search.
- 4) This survey may not show all of the setbacks or ordinances as set forth by any zoning department or any other governing bodies for the subject property.
- 5) There were no horizontal geodetic monuments found within 2000' of subject property.
- 6) The location and/or existence of cemeteries, utility service lines and underground utilities on the property surveyed are unknown and are not shown as a part of this boundary survey.
- 7) The property shown hereon is subject to all easements of record affecting same.



VICINITY MAP SCALE: 1" = 2000'

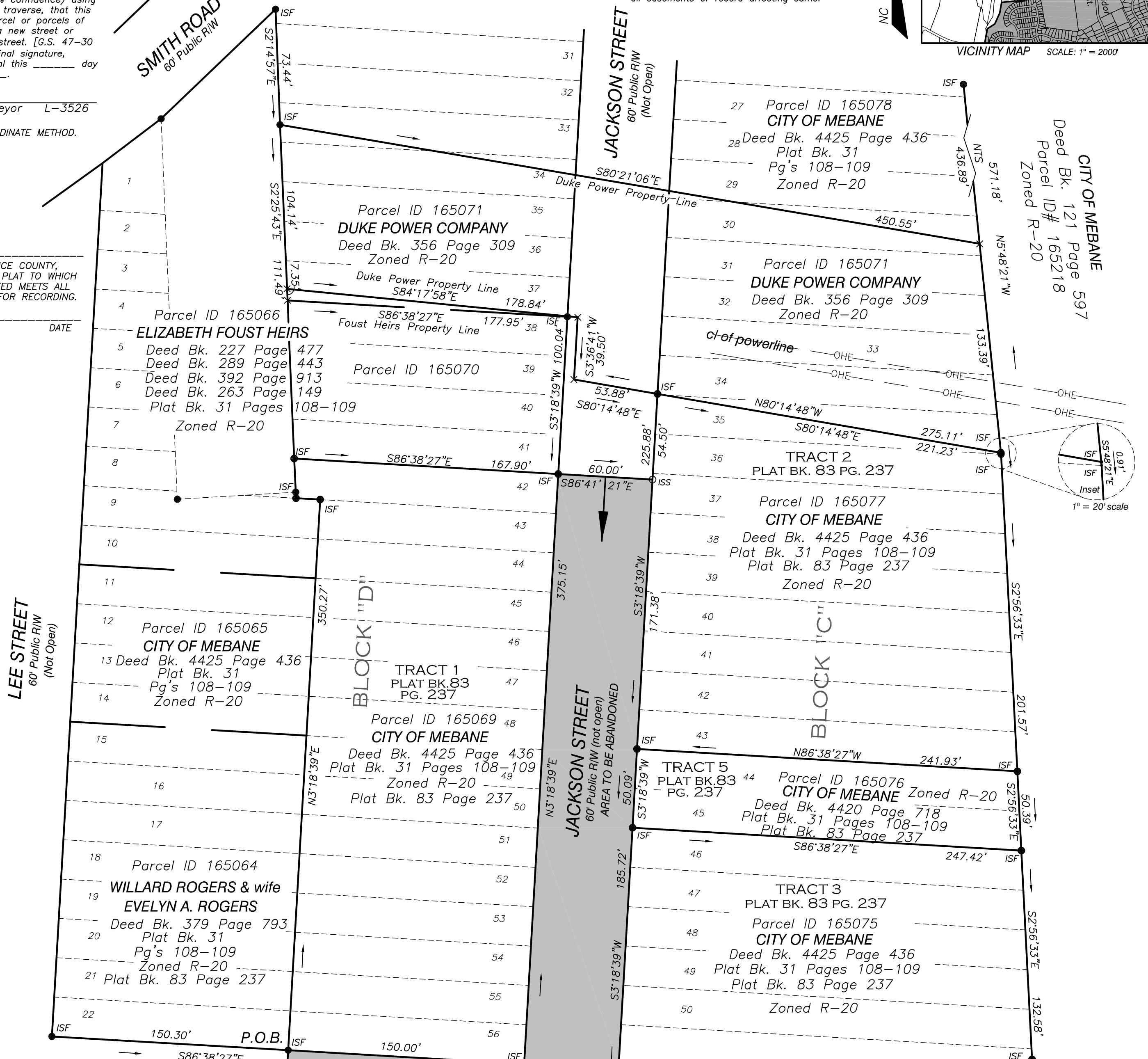
Professional Land Surveyor L-3526

AREAS COMPUTED BY COORDINATE METHOD.

STATE OF NORTH CAROLINA  
COUNTY OF ALAMANCE

I, \_\_\_\_\_ REVIEW OFFICER OF ALAMANCE COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER \_\_\_\_\_ DATE \_\_\_\_\_



LEE STREET  
60' Public R/W  
(Not Open)

JACKSON STREET  
60' Public R/W (not open)  
AREA TO BE ABANDONED

SHORT STREET  
60' Public R/W  
(Not Open)

SHORT STREET  
60' Public R/W (not open)  
AREA TO BE ABANDONED

ROAD AREA TO BE ABANDONED  
33,208 Sq.Ft.  
0.762 Ac. ±

CITY OF MEBANE  
Parcel ID# 165218  
Zoned R-20

**PRELIMINARY PLAT**  
NOT FOR RECORDATION, CONVEYANCES, OR SALES

All Subject property is within "Southview Property of C.C. Edwards" subdivision recorded in Plat Bk. 31 Pg's. 108-109  
FINAL PLAT

**SHOWING UNOPENED AREA OF  
SHORT STREET & JACKSON STREET  
TO BE ABANDONED**

MELVILLE TOWNSHIP, ALAMANCE COUNTY, NORTH CAROLINA



**alley, williams, carmen & king, inc.**

Engineering Architecture Surveying  
740 Chapel Hill Road P.O. Box 1179  
Burlington, N.C. 27216 336/226-5534  
Date: August 30, 2023 Job # 22021  
Firm License #F-0203

- LEGEND**
- IRON STAKE FOUND (ISF)
  - IRON STAKE SET (ISS)
  - × CALCULATED POINT
  - NTS NOT TO SCALE
  - P.O.B. POINT OF BEGINNING

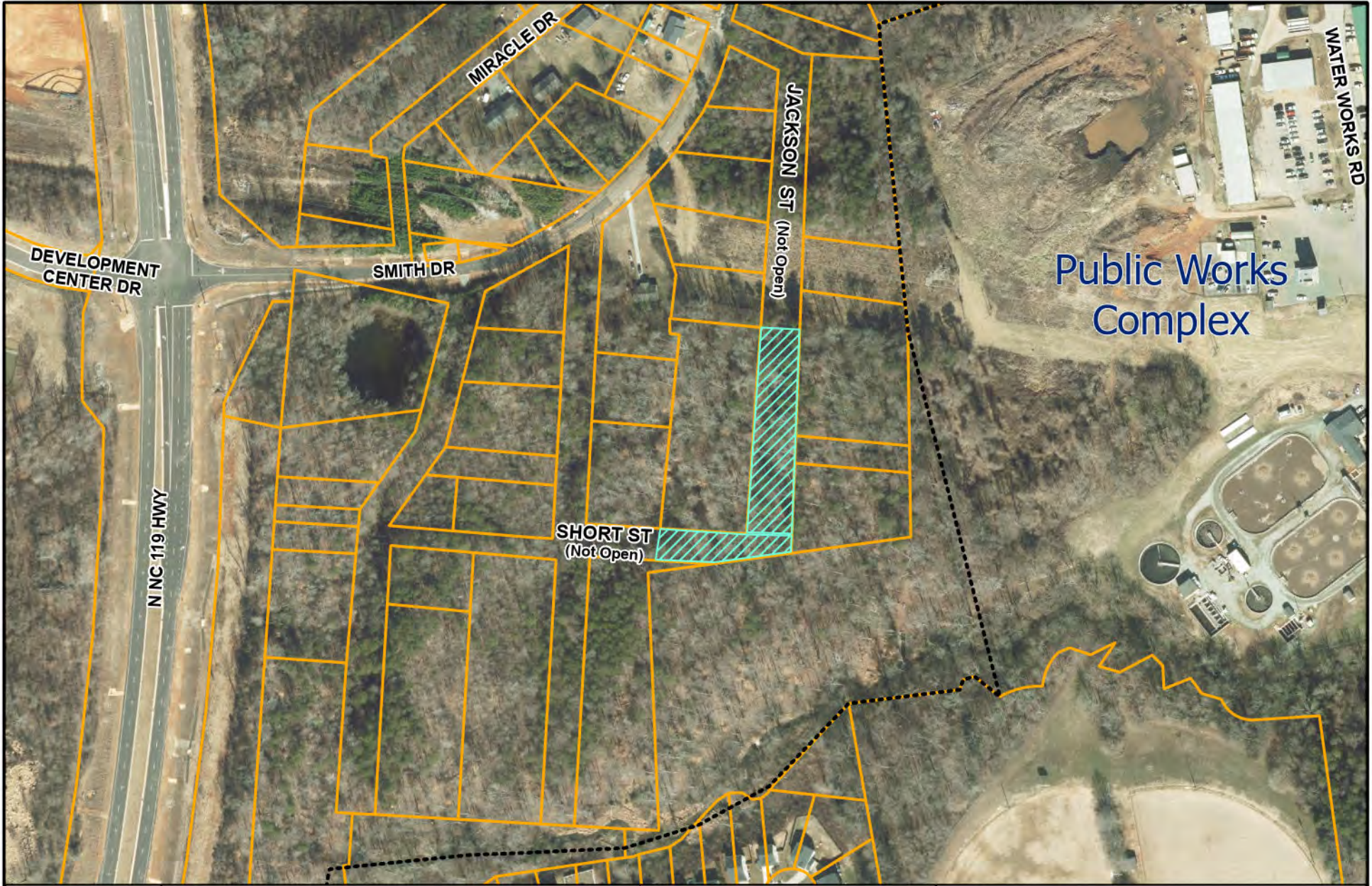
1 INCH = 50 FT.



LEE STREET  
60' Public R/W  
(Not Open)

BLOCK "H"  
Parcel ID 165033  
CITY OF MEBANE  
Deed Bk. 4425 Page 436  
Plat Bk. 31  
Pg's 108-109  
Zoned R-20  
1.484 Acres. ± Remaining  
per GIS








**CITY OF MEBANE**  
**CLOSING OF A PORTION OF JACKSON STREET AND SHORT STREET**

**DATE: 9/29/2023**

**DRAWN BY: RG**

**SCALE: 1 IN = 250 FT**

-  City Limits
-  Alamance Parcels
-  Right-of-Way to be Closed





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## AGENDA ITEM # 7

### Racial Equity Advisory Committee (REAC) Appointments

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#### Meeting Date

November 6, 2023

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#### Presenter

Beatrice Hunter, HR Director and REAC Liaison

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#### Public Hearing

Yes  No

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#### Summary

The City of Mebane's Racial Equity Advisory Committee currently has three (3) openings; one 4-year term seat and two 2-year term seats. These open positions have been advertised and staff has received five (5) applications.

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#### Financial Impact

None.

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#### Recommendation

Staff recommends that the Council appoint three members to the committee.

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#### Suggested Motion

Motion to appoint three individuals to the REAC. One to complete an existing four-year term, and two to each serve a two-year term. All terms end June 30, 2025.

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#### Attachments

1. Brenda Buchanon- Application and Resume
2. Dr. Gradesa Lockhart- Application and Interest Letter
3. Christopher Norwood- Application
4. Jason Gaskin- Application
5. Christopher Dixon- Application



## City of Mebane

### Boards and Commissions Application

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely. Return this application either in person, by mail, or by fax to the Mebane Municipal Building, 106 East Washington Street, Mebane, NC 27302, Fax (919) 563-9506.

#### **Personal Information**

Name: Brenda B. Buchanon

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Home Address: 1143 Dartmouth Dr., Mebane, NC 27302

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Mailing Address (if different): \_\_\_\_\_

Cell Phone: 910-381-4936 \_\_\_\_\_ Business Phone: \_\_\_\_\_

Do you live inside the Mebane City Limits? Yes  No \_\_\_\_\_

In Alamance or Orange County? \_\_\_\_\_ Alamance \_\_\_\_\_

#### **Board Preference**

Are you currently serving on a board or commission of the City of Mebane? Yes \_\_\_\_\_ No

If so, which one(s)? \_\_\_\_\_

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Racial Equity Advisory Board

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Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I recently moved to Mebane in April 2023 and interested in becoming an integral part of the community; I moved from Wake County to live with my son. While living in Wake County, I served as a member of the Wake County Library Commission from 2016 until April 2023 (served as Vice Chair for 2 terms, resigned due to move); served as a Wake County Board of Adjustment member from January 2023 until April 2023 (resigned due to move) and I believe my experience will serve this advisory board well. I have been active in my community, worked as a Board of Elections official during local, state, and national elections and believe this knowledge will ensure objectivity and diversity (African American female, over 60) as a member of this board.

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## **Education**

Please list your educational background. Include name of all schools attended:

Clear Run High School – graduated co-salutatorian May 1969’ Elizabeth City State University 1969-1970; Sampson Community College- graduated May 2001- Associate of Arts degree; Fayetteville State University August 2001, graduated June 2003 B. A. degree in English (Magna Cum Laude); Grand Canyon University 2016, graduated June 2018 – Master of Education, Secondary Education degree.

## **Employment**

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Retired as print media journalist /news editor – The Sampson Independent Newspaper, Clinton, NC; The Daily Record, Dunn, NC

Address: \_\_\_\_\_

Title and Duties:

Currently employed as a substitute teacher with Wake County Schools; substitute teacher with Alamance County Schools beginning this fall.

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## **Civic Involvement**

Please list the names of all civic organizations in which you currently hold membership:

Alpha Kappa Alpha Sorority, Inc., Sigma Tau Omega Chapter, Cary, NC; Order of the Eastern Star, Drucillia Chapter #19, Durham, NC; Shiloh Missionary Baptist Church, Morrisville, NC.

**Thank you for your interest in appointment to the City of Mebane’s Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.**

# BRENDA B. BUCHANON

4217 Brushy Mountain Street, Cary, NC 27519 · 910-381-4936

[silvergray49@hotmail.com](mailto:silvergray49@hotmail.com)

January, 2023

## EXPERIENCE

*APRIL 1976 – 1985*

***MEDICAL RECORDS SUPERVISOR***, DUPLIN-SAMPSON AREA  
MENTAL HEALTH

Supervised medical records transcriptionist (Sampson County office), maintained confidential medical records, worked in coordination with the clinical psychiatrist and area medical records coordinator. This position worked directly with the clinical psychiatrist, clinical nurse, and social workers; supervised two medical records typists; completed annual evaluations of medical records staff; vacation/sick leave approval; and attended monthly staff meetings with area medical records coordinator. Confidentiality was the word of the day to provide maintenance of vital identifying information of the mental health clients.

*MAY 1985 – 2001*

***LICENSURE/BENEFITS SPECIALIST***, SAMPSON COUNTY  
SCHOOLS

Worked under the supervision of the Superintendent of Personnel Services. Responsible for all confidential personnel records for more than 900 school employees; responsible for new employee orientation (completing paperwork and data entry of all employees' identifying information (DOB, SSN, address, workers' compensation, insurance, payroll deductions, etc.)). Responsible for some teacher recruitment- attended university/college fairs- maintained/data entry for each new/current employees through the Human Resource Management System (HRMS) and coordinated demographic/identifying information with the Central Office Finance Office. Duties included securing teaching license for newly employed teachers (new/lateral entry teachers) and developing queries which maintained current licensure status of all teachers. Responsible for maintenance of secure space for teacher/certified/non-certified annual evaluations. The position required producing a personnel agenda to submitted to the Superintendent for

Personnel to deliver to the monthly Board of Education meetings.  
Confidentiality was of the utmost importance. (Returned to complete college degree 2001-2003).

June 2004 – 2008

***COPY EDITOR***, THE SAMPSON INDEPENDENT, CLINTON, NC  
Reporter for Sampson and Duplin County Newspapers which covered the Duplin County Board of Commissioners, Duplin County Board of Education as well as other local stories assigned by the Editor or by reporter herself. Coverage of the Boards of Education and Commissioners were completed on a monthly basis including special meetings. Duties also included covering special assignments, human interest stories, producing a bi-monthly column (Brenda's Corner) and producing copy for Business News. Weekend editor responsibilities required working on the weekends, one to two times per month, compiling the Front page and page three, designing the Front and third page-- ultimately submitting the newspaper for printing on Friday and Saturday. \* Reported stories typed on deadline.

June 2008 – 2010

***BUSINESS EDITOR***, THE DAILY RECORD, DUNN, NC  
Responsible for business news- interviewed, wrote, and designed the business page for the newspaper; reporter for local, human-interest stories; covered the Benson County Board of Commissioners and reporter for the Johnston County Commissioners; covered special interest stories in Harnett and Johnston Counties. Responsible for designing the Front and third pages of The Daily Record in absence of the managing editor which was completed on deadline for the morning edition. \* Reported stories typed on deadline.

***WAKE COUNTY SCHOOL SYSTEM SUBSTITUTE TEACHER, WAKE COUNTY, N.C.***

Began employment with Wake County Schools in August, 2012 as a substitute teacher and continue employment at the present time.

## **EDUCATION**

**2001 -JUNE 2003**

***B.A. ENGLISH***, FAYETTEVILLE STATE UNIVERSITY,  
FAYETTEVILL, N.C.

- Graduated Magna Cum Laude, GPA 3.79;
- English Student of the Year;



- Sigma Tau Delta English Honor Society;
- President's List and Dean's List.

**2016 - JUNE 2018**

**MASTER OF EDUCATION, SECONDARY EDUCATION, GRAND CANYON UNIVERSITY, PHOENIX, ARIZONA**

Course of study- completed preparation for teaching on high school/ community college level.

## **SKILLS**

- Oral Communication
- Written communication
- Listening
- Computer literate

## **ACTIVITIES**

I am an avid reader, public library user, and have a penchant for acting. I love visiting the North Carolina Museum of Art, North Carolina Museum of History, and the North Carolina Symphony. My future goal is to write a novel (genre-fiction).

### **Leadership opportunities:**

- Sampson Community Theatre Board Member, Clinton, N. C. (Served as stage manager, assistant director, and/or actor in several productions including, Butterflies are Free, Pearlie, Dreamgirls, and The Odd Couple (female version).
- Order of the Eastern Star – Past Worthy Matron of Rebecca Chapter 111, Garland, N.C.; North Carolina Grand Chapter Past Grand Marshal, Past Grand Recording Secretary;
- Alpha Kappa Alpha Sorority, Inc., Rho Omega Omega Chapter – Past President, Clinton, N.C.; Sigma Tau Omega Chapter, Cary, NC- served on following committees: HBCU 4 Life, Seasons, Social Justice & Connection, and Membership.
- Clear Run High School Alumni Association, Inc. – current recording secretary; past second Vice President;
- Wake County Library Commission – 2016 – present; currently serving as Vice Chair – second term.
- Wake County Board of Adjustment/Alternate member – January, 2023

**My passion is writing**—ultimately, I was employed with two local newspapers; have written for the HBCU Advocate and The Hampton Messenger (black-owned newspapers) as an independent contractor). I was given the historic opportunity to cover President Barack Obama’s (pre-inauguration day) first inauguration in Washington, D.C. for the Daily Record in 2008.

### **Hobbies**

- Golf
- Sports enthusiasts- high school basketball; college/professional basketball; professional football; track and field.

It has been my vision to display kindness and fairness to all people I meet, be an advocate for students, the least informed, and the disabled.



# City of Mebane

## Boards and Commissions Application

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely. Return this application either in person, by mail, or by fax to the Mebane Municipal Building, 106 East Washington Street, Mebane, NC 27302, Fax (919) 563-9506.

### **Personal Information**

Name: Dr. Gradesa Lockhart

Home Address: 1522 Birkdale Circle Mebane, NC 27302

Mailing Address (if different): \_\_\_\_\_

Home Phone: 919-824-2226 Business Phone: \_\_\_\_\_

Do you live inside the Mebane City Limits? Yes  No

In Alamance or Orange County? Alamance

### **Board Preference**

Are you currently serving on a board or commission of the City of Mebane? Yes \_\_\_\_\_ No   
If so, which one(s)? \_\_\_\_\_

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Racial Equity Advisory

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

See attached [https://dpsnc-my.sharepoint.com/:w:/g/personal/gradesa\\_lockhart\\_dpsnc\\_net/EbaaCIC2II5Ep5r6GIkh\\_EwBQ-6hz2kJ2FLWpSg8n2Xaxw?e=TWUQUr](https://dpsnc-my.sharepoint.com/:w:/g/personal/gradesa_lockhart_dpsnc_net/EbaaCIC2II5Ep5r6GIkh_EwBQ-6hz2kJ2FLWpSg8n2Xaxw?e=TWUQUr)

### **Education**

Please list your educational background. Include name of all schools attended:

Gardner Webb- Ed.D

NCA&TU-MSA

NCCU- BA

UNC-CH- BA



**Employment**

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Durham Public Schools

Address: 808 Bacon Street Durham, NC 27703

Title and Duties:

Director STOP Violence Director

I facilitate a 3-year federal grant that supports 4 comprehensive high schools in Durham with decreasing violence in the schools and community.

**Civic Involvement**

Please list the names of all civic organizations in which you currently hold membership:

NAACP- Burlington Chapter

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**Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.**

Dr. Gradesa M. Lockhart  
1522 Birkdale Circle Mebane, NC 27302  
[gradesalockhart@outlook.com](mailto:gradesalockhart@outlook.com) or [drgradesalockhart@gmail.com](mailto:drgradesalockhart@gmail.com)  
919-824-2226

Racial Equity Advisory Committee Members,

I am writing to express my keen interest in serving as a member of the Racial Equity Advisory Committee. I have 27 years of experience in education, and I have been a K-12 administrator for 21 of the 27 years. During my career, I have successfully navigated racial equity issues from multiple perspectives: school leader, parent, and community member since moving to Mebane in 2006.

During my career, I have successfully been able to express my vision, making it clear what needs to be done. I can analyze information, challenge assumptions, and accept and use conflict in a way to generate ideas that inspires others to achieve. I have had extensive racial equity training including but not limited to:

- Beyond Diversity facilitated by Glenn Singleton with Courageous Conversation.
- Transformational Leadership Framework facilitated by [New Leaders](#) on ways of using an equity lens to increase student achievement.
- Standards Institute Training, a model focused on deepening my understanding of the correlation between standards-based content and equitable instructional practices.

All the training I have completed has supported my leadership experiences, especially when I have worked in organizations where deinstitutionalizing racism and eliminating the racial achievement disparities was paramount to the organization's success.

In addition to my professional leadership experience, I have had community-based leadership experiences in Alamance County. I had the pleasure of serving as guardian ad litem in Alamance County 2012-13. Also, I am an active member of the Alamance County NAACP serving on the Education Committee.

In 2021, I completed my [dissertation](#) entitled Program Evaluation of the J-1 Visa Teacher Exchange Program From the Perspective of Exchange Teachers Within a Rural School District. It is example of my writing skills, logical reasoning, creativity, diligence and punctuality to complete a task, which are attributes that will support the work of the committee.

As a graduate of UNC-CH in the 90's, I have experienced the growth and diversification of Mebane, which I believe would be another valuable attribute as a committee member. My desire to join the Racial Equity Advisory Committee is grounded in my personal desire to make a difference in my community. I can also bring a fresh perspective on continued ways to make Mebane an all-inclusive community that is committed to advancing racial equity for all of Mebane's citizenry through policies and procedures.

I thank you for your time and consideration of my credentials. I truly believe my extensive training in racial equity issues and application of the knowledge would be an asset to the committee's work.

Sincerely,  
Dr. Gradesa M. Lockhart, Ed.D.



# City of Mebane

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### **Personal Information**

Name: Christopher Norwood

HomeAddress: 1295 Adrian Ct. Mebane, NC 27302

Mailing Address (if different): \_\_\_\_\_

Home Phone: 910-308-5784 Business Phone: 919-560-2123 ext. 65732 Do you live inside the Mebane City Limits? Yes  No

In Alamance or Orange County? Alamance

### **Board Preference**

Are you currently serving on a board or commission of the City of Mebane? Yes  No

If so, which

one(s)? \_\_\_\_\_

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one):

N/A

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I'm a military brat and I have had the pleasure of living the entirety of my life in diverse communities with people from all over the world and different ethnic backgrounds. I've also had the pleasure of someone who identifies as a black man experiencing discrimination because of the color of my skin. One thing I've discovered is that the best communities I've been a part of are the one's that are characterized by a plethora of diversity that is also reflected in leadership in the community. Mebane is interesting because the school system has a breakdown give or take of 1/3 white, 1/3 black and 1/3 hispanic. It has the makings of being a balanced community where people who are moving here or have moved here like myself, to be a forward thinking community when it comes to being inclusive people from different ethnic backgrounds. I would love to serve the city in this capacity to see how we all can work together to promote equitable



access and developmental attention for those of us in this community who may feel marginalized because of their race or ethnic background. Anytime, there's this much diversity in a growing community there's a window of time to be creative and foster healthy discussions and implement progressive ideas of race in our community and I would love to be a part of that as a member of this community.

## **Education**

Please list your educational background. Include name of all schools attended:

Fayetteville State University, Fayetteville, NC

*Bachelor of Science in Psychology, December 2005*

*Master of Special Education in Learning Disabilities, May 2014*

Shaw University, Raleigh, NC

*Master of Divinity in Pastoral Care and Counseling, May 2022*

Boards and Commissions Application  
Page 2

## **Employment**

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Durham Public Schools

Address: 808 Bacon St. Durham, NC

Title and Duties:

Title:

Instructional and Vocational Specialist

Duties:

- Conducts research and makes recommendations for vocational skill development programs/assessments for students; evaluate vocational materials and assist with administration of assessments, as appropriate./The results have yielded staff utilizing 3 databases tools that were not previously being utilized: ULS, XELLO and TeachTown
- Coordinates and provides professional development to district staff in identified areas (i.e., instructional curriculum and methodology, transition planning, vocational skills, etc.)/Based on feedback from post-training surveys, this has yielded a 30% positivity increase in teachers' responses in comparison to previous years.
- Provides oversight of EC Job Coaches at community-based sites to ensure appropriate support and instruction is being provided to students./Added 4 additional community

businesses and trained 6 job coaches to effectively provide over 40 students with vocational training in the community.

- Participates in IEP meetings to ensure appropriate transitional goals and objectives./Participating in IEP meetings has supported an increased efficiency in Indicator 14 and also successfully oversaw the transition of 16 extended content standard students into Project Search with 10 out of 16 securing competitive paid-employment.

## **Civic Involvement**

Please list the names of all civic organizations in which you currently hold membership:

- NEA/NCAE
- Interdenominational Ministerial Alliance of Durham and Vicinity
- White Rock Baptist Church Food Distribution
- Inclusive Employment Alliance

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## City of Mebane Boards and Commissions Application

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### **Personal Information**

Name: Jason Gaskin

Home Address: 304 Wentworth Circle Mebane, NC 27302

Mailing Address (if different): \_\_\_\_\_

Home Phone: 251.223.2800 (cell) Business Phone: \_\_\_\_\_

Do you live inside the Mebane City Limits? Yes  No

In Alamance or Orange County? Alamance County

### **Board Preference**

Are you currently serving on a board or commission of the City of Mebane? Yes  No   
If so, which one(s)? \_\_\_\_\_

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Racial Equity Advisory Committee  
\_\_\_\_\_  
\_\_\_\_\_

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I believe the REAC committee is very important to the Mebane community. If selected to serve on the committee I hope to be a listening voice on the committee so that I might be a bridge for the community and the council as we grow and change as a community. I am currently participating in a cohort around Racial Equity at Impact Alamance and serving as the board chair of Habitat of Alamance County. I am also a United Methodist pastor and passionate about community service. My hope is that my gifts might be utilized to make my community better and a more positively charming place for my children to grow up. It would be a privilege to serve my community in this way.

### **Education**

Please list your educational background. Include name of all schools attended:

Okaloosa Walton Community College (2000-2002)

Flagler College (2002-2004)

Asbury Theological Seminary (2004-2008)



## **Employment**

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer:                     Storied United Methodist Church                    

Address:                                     PO Box 1234 Mebane, NC 27302                                    

Title and Duties:

Lead Pastor/United Methodist New Faith Communities Church Planter

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## **Civic Involvement**

Please list the names of all civic organizations in which you currently hold membership:

Habitat of Alamance County, Board Chair (2021-Current)

ACREcolab- 8 month cohort Alamance County Racial Equity Colab

EM Yoder PTA

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**Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.**



# City of Mebane

## Boards and Commissions Application

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### Personal Information

Name: Christopher Dixon  
Home Address: 1029 Brockton Dr Mebane NC 27302  
Mailing Address (if different): \_\_\_\_\_  
Home Phone: 786-877-2479 Business Phone: \_\_\_\_\_  
Do you live inside the Mebane City Limits? Yes  No \_\_\_\_\_  
In Alamance or Orange County? Alamance

### Board Preference

Are you currently serving on a board or commission of the City of Mebane? Yes \_\_\_\_\_ No   
If so, which one(s)? \_\_\_\_\_

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): Racial equity Advisory Committee

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

As a member of this community and a man of color I would like to assist in helping making the city inclusive and make sure that all voices are heard in planning, community concerns and activities that can benefit everyone.

### Education

Please list your educational background. Include name of all schools attended:

Florida Memorial University Bachelor's in Criminal Justice

**Employment**

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: National General Insurance

Address: \_\_\_\_\_

Title and Duties: Body Injury Adjuster

**Civic Involvement**

Please list the names of all civic organizations in which you currently hold membership:

Member of Phi Beta Sigma Fraternity Inc.

**Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.**





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## AGENDA ITEM #8

### Recreation and Parks Advocacy Commission (RPAC) 2024 Appointments

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#### Meeting Date

November 6, 2023

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#### Presenter

Aaron Davis, Recreation and Parks Director

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#### Public Hearing

Yes  No

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#### Summary

Recreation and Parks Advocacy Commission Appointments for 2024.

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#### Background

The Recreation and Parks Advocacy Commission will begin its fourth year in 2024. Initially, City Council selected six individuals who served staggered entry terms of 1, 2, and 3 years. The two members selected this year will begin a three-year term and will be a big part of planning for our future using the soon to be adopted Recreation and Parks Master Plan and helping advocate for the City's parks, programs, and facilities. We are excited for the appointment of new Champions of Recreation and Parks.

The qualifications of the eight candidates are detailed in the attached applications.

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#### Financial Impact

None.

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#### Recommendation

We recommend that the Council appoint two members to the commission, both for three-year terms.

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#### Suggested Motion

Motion to appoint \_\_\_\_\_ and \_\_\_\_\_ to the RPAC to each serve a three-year term.

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#### Attachments

1. RPAC Application Information
2. Submitted Applications (8)



# City of Mebane

## Recreation and Parks Advocacy Commission

### Application Information



The City of Mebane is recruiting members for the Recreation and Parks Advocacy Commission to provide direction to the City Council and the Recreation and Parks Department regarding matters related to Recreation and Parks programs, facilities, policies, and its long-range plan. These members also must be a “Champion” of Recreation and Parks by promoting parks, programs, and events to other citizens, legislators, and others to understand, first hand, the essential value that Recreation and Parks has to our positively charming community.

## Advocacy Commission Purpose

- Serve as a liaison between City officials and the citizens on Recreation and Parks matters;
- Provide guidance and feedback to the Recreation and Parks Department and City Council in matters affecting programs, facilities, policies, and long-range plans for Recreation and Parks;
- Inform and educate the general public about the importance and need for Recreation and Parks programs, facilities and services;
- Volunteer to work with leaders in Recreation and Parks facilities, programs and activities;
- Assist in developing an updated master plan to meet the present and future needs for programs, services, park facilities, open spaces and to advise in establishing priorities for each of these;
- Recommend changes, updates, and the approval of rules, policy and procedures pertaining to the use of public parks and facilities, including fees and charges.

## Applications are Accepted

Annually from September 1 – October 31 and/or when any vacancies occur.  
Full-term appointments are for three-years  
Official terms begin on January 1 the following year.  
Applications will be accepted on-line only using the Recreation and Parks Registration Software “Civic Rec”  
[www.tinyurl.com/cityofmebanerec](http://www.tinyurl.com/cityofmebanerec)

For more information or questions,  
please e-mail the Recreation and Parks Director  
[adavis@cityofmebane.com](mailto:adavis@cityofmebane.com)

## Appointment Process

Applicants must reside in Mebane City Limits or the Extraterritorial Jurisdiction (ETJ) of Mebane and must submit an application to the Recreation and Parks Director online using the Recreation and Parks Software by the deadline date for consideration. The Mebane City Council will make appointments for three-year terms each November and partial terms when vacancies occur. The Mebane City Council will initially select six Commission members along with a seventh member, from a local school. Members will vote on a Commission Chair, Vice-Chair and Secretary at the first meeting each year. Positions will be held for one year. Following the one-year term, the Vice-Chair will assume the role of Commission Chair and a Vice-Chair and Secretary will be voted in.

## Meeting Information

The Advocacy Commission meets every other month on the 3<sup>rd</sup> Monday of those months at 6:00 pm, for approximately 2 hours, at The Mebane Arts and Community Center. Special meetings may be called at any time as needed.

## Attendance Requirements

Faithful attendance at the meetings of the Recreation and Parks Advocacy Commission is a requirement for membership on the Commission to maintain continuity and cohesion in the deliberation and recommendations. This attendance policy is intended to encourage the regular attendance of its members. The City Council may remove a member with a pattern of absenteeism or partial participation in regular or special meetings

**Mebane Recreation & Parks Department**

**Recreation & Parks Advocacy Commission Application Recreation & Parks Advocacy Commission Application  
Participant Sheet**

**Participant Name** Sherri Seagroves  
**Date of Birth** 09/25/1961  
**Address** 221 Beaugard Lane  
Mebane, NC 27302  
**Main Phone** 336-684-2058  
**Email** sherrib@roxboro.net

**Prompt Responses:**

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely.	<b>Agreed</b>
Do you live inside the Mebane City Limits?	<b>Yes</b>
Do you live in Alamance or Orange County?	<b>Alamance</b>
Are you currently serving on a board or commission of the City of Mebane?	<b>Yes</b>
If you are serving on a board or commission, please list which one(s)	<b>RPAC</b>
Why do you wish to serve the City in this capacity?	Mebane's RP Department makes an incredible impact on our community, and I believe I can continue to work as a liaison to local and state groups to strengthen the programs and department. I am very passionate about our RPD and their team, and I've witnessed the difference RPAC makes.
Please list your educational background. Include the name of all schools attended:	<b>Master's from UNC, Bachelor's from ECU, High School diploma from Eastern Alamance</b>
Please list the name of your employer	<b>Friends of the Mountains-to-Sea Trail</b>
Please list the address of your employer	<b>6509 Haworth Dr, Suite 210, Raleigh, NC 27609</b>
Please list your job title and duties at your current job	<b>Outreach Coordinator and Membership Engagement. I'm responsible for working with 3000+ volunteers and planning all events on the MST.</b>
Please list the names of all civic organizations in which you currently hold membership:	<b>Mebane Woman's Club (serve as an officer)</b>



**Mebane Recreation & Parks Department**

**Recreation & Parks Advocacy Commission Application Recreation & Parks Advocacy Commission Application  
Participant Sheet**

**Participant Name** jesse Alston  
**Date of Birth** 04/26/1997  
**Address** 1481 Ne N hey 119  
 mebnae, NC 27302  
**Main Phone** 336-221-4310  
**Email** jessealston@icloud.com

**Prompt Responses:**

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely.	<b>Agreed</b>
Do you live inside the Mebane City Limits?	<b>Yes</b>
Do you live in Alamance or Orange County?	<b>Alamance</b>
Are you currently serving on a board or commission of the City of Mebane?	<b>No</b>
If you are serving on a board or commission, please list which one(s)	<b>N/A</b>
Why do you wish to serve the City in this capacity?	<b>To advance and help the City grow and develop.</b>
Please list your educational background. Include the name of all schools attended:	<b>Eastern Alamance high school</b>
Please list the name of your employer	<b>Duke University/ Health</b>
Please list the address of your employer	<b>310 Trent Drive Durham Nc</b>
Please list your job title and duties at your current job	<b>Procurement Specialist</b>
Please list the names of all civic organizations in which you currently hold membership:	<b>N/A</b>

**Mebane Recreation & Parks Department**

**Recreation & Parks Advocacy Commission Application Recreation & Parks Advocacy Commission Application  
Participant Sheet**

**Participant Name** Michael Brown  
**Date of Birth** 07/06/1986  
**Address** 1103 Coquina Court  
Mebane, NC 27302  
**Main Phone** 919-641-3349  
**Email** mikebrown1103@gmail.com

**Prompt Responses:**

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely.	<b>Agreed</b>
Do you live inside the Mebane City Limits?	<b>Yes</b>
Do you live in Alamance or Orange County?	<b>Alamance</b>
Are you currently serving on a board or commission of the City of Mebane?	<b>Yes</b>
If you are serving on a board or commission, please list which one(s)	<b>Children's Literacy Project Board Fieldstone Farms Board of Directors</b>
Why do you wish to serve the City in this capacity?	<b>As a parks and recreation employee since 2005, I have experience in recreational programming and would love to utilize my knowledge of parks and recreation in my local community.</b>
Please list your educational background. Include the name of all schools attended:	<b>Bachelors of Arts (Education) - NCCU Masters in School Administration (NCCU) Working on a Doctorate in Educational Leadership (UNCG)</b>
Please list the name of your employer	<b>Eno River Academy and Durham Parks and Recreation</b>
Please list the address of your employer	<b>1100 NC HWY 57, Hillsborough and 1308 Fayetteville Street Durham</b>
Please list your job title and duties at your current job	<b>Dean of Students - Eno River Program Assistant, Senior - WD Hill Recreation Center</b>
Please list the names of all civic organizations in which you currently hold membership:	<b>NA</b>

**Mebane Recreation & Parks Department**

**Recreation & Parks Advocacy Commission Application Recreation & Parks Advocacy Commission Application  
Participant Sheet**

**Participant Name** Lisa Nellis (she/her/hers)  
**Date of Birth** 03/12/1963  
**Address** 423 Lake Latham Rd  
Mebane, NC 27302  
**Main Phone** 919-260-0006  
**Email** nellisa@duck.com

**Prompt Responses:**

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely.	<b>Agreed</b>
Do you live inside the Mebane City Limits?	<b>No</b>
Do you live in Alamance or Orange County?	<b>Alamance</b>
Are you currently serving on a board or commission of the City of Mebane?	<b>No</b>
If you are serving on a board or commission, please list which one(s)	<b>n/a. I live in the ETJ.</b>
Why do you wish to serve the City in this capacity?	<b>I'm a huge advocate of having enough recreational space.</b>
Please list your educational background. Include the name of all schools attended:	<b>Duke University, BS Psychology</b>
Please list the name of your employer	<b>North Carolina Youth Soccer Association</b>
Please list the address of your employer	<b>136 Manley Ave, Greensboro NC 27407</b>
Please list your job title and duties at your current job	<b>I work as the Assistant Director of Recreation. I register youth soccer players throughout the state.</b>
Please list the names of all civic organizations in which you currently hold membership:	<b>n/a</b>



**Mebane Recreation & Parks Department**

**Recreation & Parks Advocacy Commission Application Recreation & Parks Advocacy Commission Application  
Participant Sheet**

**Participant Name** Terry Tolliver (he)  
**Date of Birth** 11/25/1991  
**Address** 412 Five Pine Ct  
Mebane, NC 27302  
**Main Phone** 919-616-9923  
**Mobile Phone** 919-616-9923  
**Email** tolliverterry@gmail.com

**Prompt Responses:**

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely.	<b>Agreed</b>
Do you live inside the Mebane City Limits?	<b>Yes</b>
Do you live in Alamance or Orange County?	<b>Orange</b>
Are you currently serving on a board or commission of the City of Mebane?	<b>No</b>
If you are serving on a board or commission, please list which one(s)	<b>none</b>
Why do you wish to serve the City in this capacity?	<b>To make Mebane a better place for my children.</b>
Please list your educational background. Include the name of all schools attended:	<b>Currently enrolled at wake tech for engineering planning on transferring to nc state.</b>
Please list the name of your employer	<b>wolfspeed</b>
Please list the address of your employer	<b>4609 silicon drive durham nc</b>
Please list your job title and duties at your current job	<b>Lead maintenance technician</b>
Please list the names of all civic organizations in which you currently hold membership:	<b>None</b>

**Mebane Recreation & Parks Department**

**Recreation & Parks Advocacy Commission Application Recreation & Parks Advocacy Commission Application  
Participant Sheet**

**Participant Name** Tyler Whitley (he/him)  
**Date of Birth** 03/31/1986  
**Address** 324 W Lake Trl  
Mebane, NC 27302  
**Main Phone** 205-541-7136  
**Email** tyler.whitley.mph@gmail.com

**Prompt Responses:**

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely.	<b>Agreed</b>
Do you live inside the Mebane City Limits?	<b>Yes</b>
Do you live in Alamance or Orange County?	<b>Alamance</b>
Are you currently serving on a board or commission of the City of Mebane?	<b>No</b>
If you are serving on a board or commission, please list which one(s)	<b>N/a</b>
Why do you wish to serve the City in this capacity?	<b>I'm passionate about the recreational activities in Mebane. Our parks and rec facilities and services are better than any other city in Alamance County. These facilities are a draw for attracting new businesses and residents. I want to ensure Mebane stays at the forefront of high quality facilities.</b>
Please list your educational background. Include the name of all schools attended:	<b>University of Alabama - BS in Biology University of Alabama at Birmingham - Continuing studies in business administration Tulane University School of Public Health and Tropical Medicine - Masters of Public Health</b>
Please list the name of your employer	<b>Mercy For Animals</b>
Please list the address of your employer	<b>7908 Santa Monica BLVD., West Hollywood, CA 90046</b>
Please list your job title and duties at your current job	<b>Director of Transformation; overseeing the administration of a \$2 million annual program budget that includes social media activities, farmer outreach, technical consultant recruitment &amp; contracting, federal policy advocacy, fundraising, program reporting, and managing 6-10 employees.</b>
Please list the names of all civic organizations in which you currently hold membership:	<b>Plant Based Foods Institute - Board of Directors, Secretary</b>

**Mebane Recreation & Parks Department**

**Recreation & Parks Advocacy Commission Application Recreation & Parks Advocacy Commission Application  
Participant Sheet**

**Participant Name** Guy Loranger (Mr.)  
**Date of Birth** 01/19/1973  
**Address** 400 South Third Street, Mebane, NC, USA  
Mebane, NC 27302  
**Main Phone** 919-525-0097  
**Email** gloranger2003@yahoo.com

**Prompt Responses:**

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely.	<b>Agreed</b>
Do you live inside the Mebane City Limits?	<b>Yes</b>
Do you live in Alamance or Orange County?	<b>Alamance</b>
Are you currently serving on a board or commission of the City of Mebane?	<b>No</b>
If you are serving on a board or commission, please list which one(s)	<b>None</b>
Why do you wish to serve the City in this capacity?	<b>My family and I have lived in Mebane for more than 20 years, and we live adjacent to the basketball, volleyball, tennis, and pickleball courts. I think I could bring an important perspective to the Commission and help Commission and City Council members to understand how decisions can impact the lives of those who not only use facilities but also those who live near them. More importantly, I love this town. I am excited about its growth. And it would be an honor to play a role in shaping its future.</b>
Please list your educational background. Include the name of all schools attended:	<b>University of Notre Dame (B.A. English, 1995); N.C. Central University School of Law (J.D., 2007).</b>
Please list the name of your employer	<b>NC Center on Actual Innocence</b>
Please list the address of your employer	<b>3500 Westgate Drive, Ste. 701 Durham, NC, 27707-2568</b>
Please list your job title and duties at your current job	<b>Staff Attorney</b>
Please list the names of all civic organizations in which you currently hold membership:	<b>None</b>



Received 9/12/23  
SRS



## City of Mebane Boards and Commissions Application

The Mebane City Council has adopted this application for use by individuals interested in appointment to the City's advisory boards and commissions. To ensure that your application will receive full consideration, please answer all questions completely. Return this application either in person, by mail, or by fax to the Mebane Municipal Building, 106 East Washington Street, Mebane, NC 27302, Fax (919) 563-9506.

### Personal Information

Name: Roy Wayne Schoolfield

Home Address: 1221 South Fifth Street Mebane NC 27302

Mailing Address (if different): \_\_\_\_\_

Home Phone: 336-417-9558 Business Phone: \_\_\_\_\_

Do you live inside the Mebane City Limits? Yes  No

In Alamance or Orange County? Alamance

### Board Preference

Are you currently serving on a board or commission of the City of Mebane? Yes \_\_\_\_\_ No

If so, which one(s)? \_\_\_\_\_

Please list the name(s) of the board(s) to which you are applying or seeking reappointment (you may apply to more than one): RPA

Why do you wish to serve the City in this capacity? If additional space is needed please attach a separate sheet:

I have coached in the Mebane rec league and I believe I can bring some big improvement:

### Education

Please list your educational background. Include name of all schools attended:

**Employment**

Please list the names and address of your current employer, the title of your current position, and a brief description of your job duties.

Name of Employer: Self R W Schoolfield Electrical Contractors

Address: 201 North 4th Street Mebane NC 27302

Title and Duties:  
Owner

**Civic Involvement**

Please list the names of all civic organizations in which you currently hold membership:

Mebane Kinghts Baseball Team

**Thank you for your interest in appointment to the City of Mebane's Advisory Boards and Commissions. Individuals selected for appointment will be notified by mail within 5 working days from the City Council meeting at which they have been appointed.**



## AGENDA ITEM #9

### Purchase of Vacant Lot on Ruffin Street

#### Meeting Date

November 6, 2023

#### Presenter

Lawson Brown, City Attorney

#### Public Hearing

Yes  No

#### Summary

MARISANNA, LLC has offered to sell the vacant lot at the intersection of Ruffin Street and N. Fourth Street for \$220,000.

#### Background

The real estate broker for the MARISANNA, LLC entity contacted staff as to the City's interest in the property for potential use as a parking lot. Staff believes that there is a need for additional parking in the central business district which will only accelerate in the future.

#### Financial Impact

The City will spend \$220,000 for the land purchase and an estimated \$7,500 for due diligence (phase 1 environmental, title examination, etc.)

#### Recommendation

Staff recommends the purchase of the property in accordance with the Offer to Purchase and Contract-Vacant Lot/Land.

#### Suggested Motion

I move that the City purchase the Property located at the southwest intersection of Ruffin and N. Fourth Streets pursuant to the terms of the Offer to Purchase and Contract, provided the normal due diligence is satisfactory to staff, and that staff be authorized to take the necessary action to purchase the same.

#### Attachments

1. Offer to Purchase and Contract-Vacant Lot
2. Aerial Photo of Vacant Lot



**OFFER TO PURCHASE AND CONTRACT - VACANT LOT/LAND**  
**[Consult "Guidelines" (Form 12G) for guidance in completing this form]**

**NOTE:** If seller is selling less than the entire parcel of land owned, then compliance with subdivision regulation and/or an adequate legal description of the land being sold must be considered. This contract should not be used to sell property by reference to, exhibition of, or any other use of a plat showing a subdivision of the property before the plat has been properly approved and recorded with the register of deeds as of the date of the contract. If a preliminary plat has been approved, this contract may be used if an addendum drafted by a North Carolina real estate attorney addressing certain statutory requirements is attached. See NC General Statutes Section 160D-807 for more details and possible exceptions. If Buyer is contemplating a subdivision of the land as a condition of purchase, Buyer should first consult with an NC real estate attorney.

**NOTE FOR NEW CONSTRUCTION:** If Seller is Buyer's builder or has engaged a builder and the sale involves the construction of a new single-family dwelling prior to closing, use the standard Offer to Purchase and Contract-New Construction (Form 800-T) or, if the construction is completed, use the Offer to Purchase and Contract (Form 2-T) with the New Construction Addendum (Form 2A3-T).

For valuable consideration, the receipt and legal sufficiency of which are hereby acknowledged, Buyer offers to purchase and Seller upon acceptance agrees to sell and convey the Property on the terms and conditions of this Offer To Purchase and Contract and any addendum or modification made in accordance with its terms (together the "Contract").

1. **TERMS AND DEFINITIONS:** The terms listed below shall have the respective meaning given them as set forth adjacent to each term.

(a) **"Seller":** MARISANNA LLC

(b) **"Buyer":** City of Mebane

(c) **"Property":** The Property shall include all that real estate described below together with all appurtenances thereto including the improvements located thereon.

The Property  will  will not include a manufactured (mobile) home(s).

The Property  will  will not include an off-site and/or separate septic lot, boat slip, garage, parking space, or storage unit.

NOTE: If a manufactured home(s) or a septic lot, boat slip, garage, parking space, or storage unit is included, Buyer and Seller are strongly encouraged to include further details in the Additional Provisions Addendum (Form 2A11-T) and attach it to this offer.)

**NOTE:** If there is a manufactured or mobile home on the Property (regardless of whether it is inhabitable, uninhabitable, a fixture, or not affixed), then Seller should complete the Residential Property and Owners' Association Disclosure Statement and the Mineral and Oil and Gas Rights Mandatory Disclosure Statement under the Residential Property Disclosure Act (Chapter 47E of North Carolina's General Statutes) unless the Property is exempt.

Street Address: 0 Ruffin Street

City: Mebane Zip: 27302

County: Alamance, North Carolina

**NOTE:** Governmental authority over taxes, zoning, school districts, utilities and mail delivery may differ from address shown.

Legal Description: (Complete ALL applicable)

Plat Reference: Lot/Unit \_\_\_\_\_, Block/Section \_\_\_\_\_, Subdivision/Condominium \_\_\_\_\_, as shown on Plat Book/Slide \_\_\_\_\_ at Page(s) \_\_\_\_\_

The PIN/PID or other identification number of the Property is: 9825049531

Other description: Ruffin Street

Some or all of the Property may be described in Deed Book 3975 at Page 0192



This form jointly approved by:  
North Carolina Bar Association's Real Property Section  
North Carolina Association of REALTORS, Inc.  
Buyer initials \_\_\_\_\_ Seller initials \_\_\_\_\_



**STANDARD FORM 12-T**  
**Revised 7/2023**  
**© 7/2023**



(d) "Purchase Price":

\$ 220,000.00  
\$ 500.00  
  
\$ \_\_\_\_\_  
  
\$ \_\_\_\_\_  
  
\$ \_\_\_\_\_  
  
\$ \_\_\_\_\_  
  
\$ 219,500.00

paid in U.S. Dollars upon the following terms:  
BY DUE DILIGENCE FEE made payable and delivered to Seller on the Effective Date by  cash  personal check  official bank check  wire transfer  electronic transfer (specify payment service: \_\_\_\_\_)  
BY INITIAL EARNEST MONEY DEPOSIT made payable and delivered to Escrow Agent named in Paragraph 1(f) within five (5) days of the Effective Date of this Contract by  cash  personal check  official bank check  wire transfer  electronic transfer.  
BY (ADDITIONAL) EARNEST MONEY DEPOSIT made payable and delivered to Escrow Agent named in Paragraph 1(f) no later than 5 p.m. on \_\_\_\_\_, TIME BEING OF THE ESSENCE by  cash  official bank check  wire transfer  electronic transfer  
BY ASSUMPTION of the unpaid principal balance and all obligations of Seller on the existing loan(s) secured by a deed of trust on the Property in accordance with the attached Loan Assumption Addendum (Standard Form 2A6-T).  
BY SELLER FINANCING in accordance with the attached Seller Financing Addendum (Standard Form 2A5-T).  
BALANCE of the Purchase Price in cash at Settlement (some or all of which may be paid with the proceeds of a new loan).

Should Buyer fail to deliver either the Due Diligence Fee or any Initial Earnest Money Deposit by their due dates, or should any check or other funds paid by Buyer be dishonored, for any reason, by the institution upon which the payment is drawn, Buyer shall have one (1) banking day after written notice to deliver cash, official bank check, wire transfer or electronic transfer to the payee. In the event Buyer does not timely deliver the required funds, Seller shall have the right to terminate this Contract upon written notice to Buyer, and Seller shall be entitled to recover the Due Diligence Fee together with all Earnest Money Deposit paid or to be paid in the future. In addition, Seller may seek any remedies allowed for dishonored funds. See paragraph 20 for a party's right to attorneys' fees incurred in collecting the Earnest Money Deposit or Due Diligence Fee.

**NOTE:** If the parties agree that Buyer will pay any fee or deposit described above by electronic or wire transfer, Seller agrees to cooperate in effecting such transfer, including the establishment of any necessary account and providing any necessary information to Buyer, provided, however, Buyer shall be responsible for additional costs, if any, associated with such transfer.

(e) "Earnest Money Deposit": The Initial Earnest Money Deposit, the Additional Earnest Money Deposit and any other earnest monies paid or required to be paid in connection with this transaction, collectively the "Earnest Money Deposit", shall be deposited promptly and held in escrow by Escrow Agent. The Earnest Money Deposit will be credited to Buyer at Closing or disbursed as required by this Contract.

(f) "Escrow Agent" (insert name): Davis & Humbert Law  
Buyer and Seller consent to disclosure by the Escrow Agent of any material facts pertaining to the Earnest Money Deposit to the parties to this transaction, their real estate agent(s) and Buyer's lender(s).

**NOTE:** In the event of a dispute between Seller and Buyer over the disposition of the Earnest Money Deposit held in escrow, a licensed real estate broker ("Broker") is required by state law (and Escrow Agent, if not a Broker, hereby agrees) to retain the Earnest Money Deposit in the Escrow Agent's trust or escrow account until Escrow Agent has obtained a written release from the parties consenting to its disposition or until disbursement is ordered by a court of competent jurisdiction. Alternatively, if a Broker or an attorney licensed to practice law in North Carolina ("Attorney") is holding the Earnest Money Deposit, the Broker or Attorney may deposit the disputed monies with the appropriate clerk of court in accordance with the provisions of N.C.G.S. §93A-12.

THE PARTIES AGREE THAT A REAL ESTATE BROKERAGE FIRM ACTING AS ESCROW AGENT MAY PLACE THE EARNEST MONEY DEPOSIT IN AN INTEREST BEARING TRUST ACCOUNT AND THAT ANY INTEREST EARNED THEREON SHALL BE DISBURSED TO THE ESCROW AGENT MONTHLY IN CONSIDERATION OF THE EXPENSES INCURRED BY MAINTAINING SUCH ACCOUNT AND RECORDS ASSOCIATED THEREWITH.

(g) "Effective Date": The date that: (1) the last one of Buyer and Seller has signed or initialed this offer or the final counteroffer, if any, and (2) such signing or initialing is communicated to the party making the offer or counteroffer, as the case may be. The parties acknowledge and agree that the initials lines at the bottom of each page of this Contract are merely evidence of their having reviewed the terms of each page, and that the complete execution of such initials lines shall not be a condition of the effectiveness of this Agreement.

Buyer initials \_\_\_\_\_ Seller initials DS  
M



(h) **"Due Diligence"**: Buyer's opportunity to investigate the Property and the transaction contemplated by this Contract, including but not necessarily limited to the matters described in Paragraph 2 below, to decide whether Buyer, in Buyer's sole discretion, will proceed with or terminate the transaction.

(i) **"Due Diligence Fee"**: A negotiated amount, if any, paid by Buyer to Seller with this Contract for Buyer's right to terminate the Contract for any reason or no reason during the Due Diligence Period. It shall be the property of Seller upon the Effective Date and shall be a credit to Buyer at Closing. The Due Diligence Fee shall be non-refundable except in the event of a material breach of this Contract by Seller, or if this Contract is terminated under Paragraph 21(b) or as otherwise provided in any addendum hereto. Buyer and Seller each expressly waive any right that they may have to deny the right to conduct Due Diligence or to assert any defense as to the enforceability of this Contract based on the absence or alleged insufficiency of any Due Diligence Fee, it being the intent of the parties to create a legally binding contract for the purchase and sale of the Property without regard to the existence or amount of any Due Diligence Fee. See paragraph 21 for a party's right to attorneys' fees incurred in collecting the Due Diligence Fee.

(j) **"Due Diligence Period"**: The period beginning on the Effective Date and extending through 5:00 p.m. on December 1, 2023 *TIME BEING OF THE ESSENCE.*

(k) **"Settlement"**: The proper execution and delivery to the closing attorney of all documents necessary to complete the transaction contemplated by this Contract, including the deed, settlement statement, deed of trust and other loan or conveyance documents, and the closing attorney's receipt of all funds necessary to complete such transaction.

(l) **"Settlement Date"**: The parties agree that Settlement will take place on December 22, 2023 (the "Settlement Date"), unless otherwise agreed in writing, at a time and place designated by Buyer.

**NOTE:** See paragraph 10, **DELAY IN SETTLEMENT/CLOSING** for conditions under which Settlement may be delayed.

(m) **"Closing"**: The completion of the legal process which results in the transfer of title to the Property from Seller to Buyer, which includes the following steps: (1) the Settlement (defined above); (2) the completion of a satisfactory title update to the Property following the Settlement; (3) the closing attorney's receipt of authorization to disburse all necessary funds; and (4) recordation in the appropriate county registry of the deed(s) and deed(s) of trust, if any, which shall take place as soon as reasonably possible for the closing attorney after Settlement. Upon Closing, the proceeds of sale shall be disbursed by the closing attorney in accordance with the settlement statement and the provisions of Chapter 45A of the North Carolina General Statutes. If the title update should reveal unexpected liens, encumbrances or other title defects, or if the closing attorney is not authorized to disburse all necessary funds, then the Closing shall be suspended and the Settlement deemed delayed under Paragraph 10 (Delay in Settlement/Closing).

**WARNING:** The North Carolina State Bar has determined that the performance of most acts and services required for a closing constitutes the practice of law and must be performed only by an attorney licensed to practice law in North Carolina. State law prohibits unlicensed individuals or firms from rendering legal services or advice. Although non-attorney settlement agents may perform limited services in connection with a closing, they may not perform all the acts and services required to complete a closing. A closing involves significant legal issues that should be handled by an attorney. Accordingly it is the position of the North Carolina Bar Association and the North Carolina Association of REALTORS® that all buyers should hire an attorney licensed in North Carolina to perform a closing.

(n) **"Special Assessments"**: A charge against the Property by a governmental authority in addition to ad valorem taxes and recurring governmental service fees levied with such taxes, or by an owners' association in addition to any regular assessment (dues), either of which may be a lien against the Property.

**NOTE:** Buyer's and Seller's respective responsibilities for the payment of Special Assessments are addressed in paragraphs 4(a) and 6(l).

2. **BUYER'S DUE DILIGENCE PROCESS:**

**WARNING:** BUYER IS STRONGLY ENCOURAGED TO CONDUCT DUE DILIGENCE DURING THE DUE DILIGENCE PERIOD. If Buyer is not satisfied with the results or progress of Buyer's Due Diligence, Buyer should terminate this Contract, prior to the expiration of the Due Diligence Period, unless Buyer can obtain a written extension from Seller. SELLER IS NOT OBLIGATED TO GRANT AN EXTENSION. Although Buyer may continue to investigate the Property following the expiration of the Due Diligence Period, Buyer's failure to deliver a Termination Notice to Seller prior to the expiration of the Due Diligence Period will constitute a waiver by Buyer of any right to terminate this Contract based on any matter relating to Buyer's Due Diligence. Provided however, following the Due Diligence Period, Buyer may still exercise a right to terminate if Seller fails to materially comply with any of Seller's obligations under paragraph 6 of this Contract or for any other reason permitted under the terms of this Contract or North Carolina law.

Buyer initials \_\_\_\_\_ Seller initials DS  
*LM*



(a) **Loan:** Buyer, at Buyer's expense, shall be entitled to pursue qualification for and approval of the Loan if any.

**NOTE:** There is no loan or appraisal contingency in this Offer To Purchase and Contract. Therefore, Buyer is advised to consult with Buyer's lender prior to signing this offer to assure that the Due Diligence Period allows sufficient time for the loan process and for Buyer's lender to provide Buyer sufficient information to decide whether to proceed with or terminate the transaction.

(b) **Property Investigation:** Buyer or Buyer's agents or representatives, at Buyer's expense, shall be entitled to conduct all desired tests, surveys, appraisals, investigations, examinations and inspections of the Property as Buyer deems appropriate, including but NOT limited to the following:

- (i) **Soil And Environmental:** Reports to determine whether the soil is suitable for Buyer's intended use and whether there is any environmental contamination, law, rule or regulation that may prohibit, restrict or limit Buyer's intended use.
- (ii) **Septic/Sewer System:** Any applicable investigation(s) to determine: (1) the condition of an existing sewage system, (2) the costs and expenses to install a sewage system approved by an existing Improvement Permit, (3) the availability and expense to connect to a public or community sewer system, and/or (4) whether an Improvement Permit or written evaluation may be obtained from the County Health Department for a suitable ground absorption sewage system.
- (iii) **Water:** Any applicable investigation(s) to determine: (1) the condition of an existing private drinking water well, (2) the costs and expenses to install a private drinking water well approved by an existing Construction Permit, (3) the availability, costs and expenses to connect to a public or community water system, or a shared private well, and/or (4) whether a Construction Permit may be obtained from the County Health Department for a private drinking water well.
- (iv) **Review of Documents:** Review of the Declaration of Restrictive Covenants, Bylaws, Articles of Incorporation, Rules and Regulations, and other governing documents of any applicable owners' association and/or subdivision. If the Property is subject to regulation by an owners' association, it is recommended that Buyer review the completed Owners' Association And Addendum (Standard Form 2A12-T) provided by Seller prior to signing this offer. It is also recommended that the Buyer determine if the owners' association or its management company charges fees for providing information required by Buyer's lender or confirming restrictive covenant compliance.
- (v) **Appraisals:** An appraisal of the Property.
- (vi) **Survey:** A survey to determine whether the property is suitable for Buyer's intended use and the location of easements, setbacks, property boundaries and other issues which may or may not constitute title defects.
- (vii) **Zoning and Governmental Regulation:** Investigation of current or proposed zoning or other governmental regulation that may affect Buyer's intended use of the Property, adjacent land uses, planned or proposed road construction, and school attendance zones.
- (viii) **Flood Hazard:** Investigation of potential flood hazards on the Property, and/or any requirement to purchase flood insurance in order to obtain the Loan.
- (ix) **Utilities and Access:** Availability, quality, and obligations for maintenance of utilities including electric, gas, communication services, storm water management, and means of access to the Property and amenities.
- (x) **Streets/Roads:** Investigation of the status of the street/road upon which the Property fronts as well as any other street/road used to access the Property, including: (1) whether any street(s)/road(s) are public or private, (2) whether any street(s)/road(s) designated as public are accepted for maintenance by the State of NC or any municipality, or (3) if private or not accepted for public maintenance, the consequences and responsibility for maintenance and the existence, terms and funding of any maintenance agreements.

**NOTE:** NC General Statutes Section 136-102.6(f) (the "Statute") requires that under circumstances described in the Statute, a buyer must be provided a subdivision streets disclosure statement prior to entering into an agreement to buy subdivided property described in the Statute. If Buyer or Seller are uncertain whether the sale of the Property described in this Contract is subject to the Statute, consult a NC real estate attorney.

(xi) **Special Assessments:** Investigation of the existence of Special Assessments that may be under consideration by a governmental authority or an owners' association.

(c) **Sale/Lease of Existing Property:** As noted in paragraph 3(b), this Contract is not conditioned upon the sale/lease or closing of other property owned by Buyer. Therefore, if Buyer must sell or lease other real property in order to qualify for a new loan or to otherwise complete the purchase of the Property, Buyer should seek to close on Buyer's other property prior to the end of the Due Diligence Period or be reasonably satisfied that closing on Buyer's other property will take place prior to the Settlement Date of this Contract.

(d) **Buyer's Obligation to Repair Damage:** Buyer shall, at Buyer's expense, promptly repair any damage to the Property resulting from any activities of Buyer and Buyer's agents and contractors, but Buyer shall not be responsible for any damage caused by accepted practices applicable to any N.C. licensed professional performing reasonable appraisals, tests, surveys, examinations and inspections of the Property. This repair obligation shall survive any termination of this Contract.

Buyer initials \_\_\_\_\_ Seller initials DS  
M



(e) **Indemnity:** Buyer will indemnify and hold Seller harmless from all loss, damage, claims, suits or costs, which shall arise out of any contract, agreement, or injury to any person or property as a result of any activities of Buyer and Buyer's agents and contractors relating to the Property except for any loss, damage, claim, suit or cost arising out of pre-existing conditions of the Property and/or out of Seller's negligence or willful acts or omissions. This indemnity shall survive this Contract and any termination hereof.

(f) **Buyer's Right to Terminate:** Provided that Buyer has delivered any agreed-upon Due Diligence Fee, Buyer shall have the right to terminate this Contract for any reason or no reason, by delivering to Seller written notice of termination (the "Termination Notice") during the Due Diligence Period (or any agreed-upon written extension of the Due Diligence Period), **TIME BEING OF THE ESSENCE**. If Buyer timely delivers the Termination Notice, this Contract shall be terminated and the Earnest Money Deposit shall be refunded to Buyer.

(g) **CLOSING SHALL CONSTITUTE ACCEPTANCE OF THE PROPERTY IN ITS THEN EXISTING CONDITION UNLESS PROVISION IS OTHERWISE MADE IN WRITING.**

3. **BUYER REPRESENTATIONS:**

(a) **Funds to complete purchase:**

(Check if applicable) Cash. Buyer intends to pay cash in order to purchase the Property and does not intend to obtain a loan or funds from sources other than Buyer's own assets. Verification of cash available for Settlement is  is not  attached.

**NOTE:** If Buyer does not intend to obtain a new loan(s) and/or funds from sources other than Buyer's own assets, Seller is advised, prior to signing this offer, to obtain documentation from Buyer which demonstrates that Buyer will be able to close on the Property without the necessity of obtaining a loan or funds from sources other than Buyer's own assets.

**OR:**

(Check if applicable) Loan(s)/Other Funds: Buyer intends to obtain a loan(s) and/or other funds to purchase the Property from the following sources (check all applicable sources):

First Mortgage Loan:

Buyer intends to obtain a first mortgage loan of the following type in order to purchase the Property:  Conventional

USDA  Other type: \_\_\_\_\_

in the principal amount of \_\_\_\_\_

Second Mortgage Loan:

Buyer intends to obtain a second mortgage loan of the following type in order to purchase the Property: \_\_\_\_\_

Other funds:

Buyer intends to obtain funds from the following other source(s) in order to purchase the Property: \_\_\_\_\_

**NOTE:** Buyer's obligations under this Contract are not conditioned upon obtaining any loan(s) or other funds from sources other than Buyer's own assets. Some mortgage loan programs and other programs providing funds for the purchase of property selected by Buyer may impose repair obligations and/or additional conditions or costs upon Seller or Buyer, and more information may be needed.

Material changes with respect to funding the purchase of the Property that affect the terms of the contract are material facts that must be disclosed.

(b) **Other Property:** Buyer  DOES  DOES NOT have to sell or lease other real property in order to qualify for a new loan or to complete the purchase. (Complete the following only if Buyer DOES have to sell or lease other real property:)

Other Property Address: \_\_\_\_\_

(Check if applicable) Buyer's other property IS under contract as of the date of this offer, and a copy of the contract has either been previously provided to Seller or accompanies this offer. (Buyer may mark out any confidential information, such as the purchase price and the buyer's identity, prior to providing a copy of the contract to Seller.) Failure to provide a copy of the contract shall not prevent this offer from becoming a binding contract; however, SELLER IS STRONGLY ENCOURAGED TO OBTAIN AND REVIEW THE CONTRACT ON BUYER'S PROPERTY PRIOR TO ACCEPTING THIS OFFER.


(Check if applicable) Buyer's other property IS NOT under contract as of the date of this offer. Buyer's property (check only ONE of the following options):

is listed with and actively marketed by a licensed real estate broker.

will be listed with and actively marketed by a licensed real estate broker.

Buyer is attempting to sell/lease the Buyer's Property without the assistance of a licensed real estate broker.

Buyer initials \_\_\_\_\_

Seller initials 



**NOTE:** This Contract is NOT conditioned upon the sale/lease or closing of Buyer's other property. If the parties agree to make this Contract conditioned on a sale/lease or closing of Buyer's other property, an appropriate contingency addendum should be drafted by a North Carolina real estate attorney and added to this Contract.

(c) **Performance of Buyer's Financial Obligations:** To the best of Buyer's knowledge, there are no other circumstances or conditions existing as of the date of this offer that would prohibit Buyer from performing Buyer's financial obligations in accordance with this Contract, except as may be specifically set forth herein.

4. **BUYER OBLIGATIONS:**

(a) **Responsibility for Special Assessments:** Buyer shall take title subject to all Special Assessments that may be approved following Settlement.

(b) **Responsibility for Certain Costs:** Buyer shall be responsible for all costs with respect to:  
(i) any loan obtained by Buyer;  
(ii) charges by an owners' association or a management company/vendor as agent of the association under paragraph 7(b) of this Contract;  
(iii) appraisal;  
(iv) title search;  
(v) title insurance;  
(vi) any fees charged by the closing attorney for the preparation of the Closing Disclosure, Seller Disclosure and any other settlement statement;  
(vii) recording the deed; and  
(viii) preparation and recording of all instruments required to secure the balance of the Purchase Price unpaid at Settlement.

(c) **Authorization to Disclose Information:** Buyer authorizes the Buyer's lender(s), the parties' real estate agent(s) and closing attorney: (1) to provide this Contract to any appraiser employed by Buyer or by Buyer's lender(s); and (2) to release and disclose any buyer's closing disclosure, settlement statement and/or disbursement summary, or any information therein, to the parties to this transaction, their real estate agent(s) and Buyer's lender(s).

5. **SELLER REPRESENTATIONS:**

(a) **Ownership:** Seller represents that Seller:  
 has owned the Property for at least one year.  
 has owned the Property for less than one year.  
 does not yet own the Property.

(b) **Owners' Association(s) and Dues:** To best of Seller's knowledge, ownership of the Property  subjects  does not subject Buyer to regulation by one or more owners' association(s) and governing documents, which impose various mandatory covenants, conditions and restrictions upon the Property and Buyer's enjoyment thereof, including but not limited to obligations to pay regular assessments (dues) and Special Assessments. If there is an owners' association, then an Owners' Association Disclosure and Addendum For Properties Exempt from Residential Property Disclosure Statement (Standard Form 2A12-T) shall be completed by Seller, at Seller's expense, and must be attached as an addendum to this Contract.

(c) **Sewage System Permit:** (  Applicable  Not Applicable) Seller warrants that the sewage system described in the Improvement Permit attached hereto has been installed, which representation survives Closing, but makes no further representations as to the system.

(d) **Private Drinking Water Well Permit:** (  Applicable  Not Applicable) Seller warrants that a private drinking water well has been installed, which representation survives Closing, but makes no further representations as to the well. (If well installed after July 1, 2008, attach Improvement Permit hereto.)

6. **SELLER OBLIGATIONS:**

(a) **Evidence of Title, Payoff Statement(s) and Non Foreign Status:**  
(i) Seller agrees to use best efforts to provide to the closing attorney as soon as reasonably possible after the Effective Date, copies of all title information in possession of or available to Seller, including but not limited to: title insurance policies, attorney's opinions on title, surveys, covenants, deeds, notes and deeds of trust, leases, and easements relating to the Property.  
(ii) Seller shall provide to the closing attorney all information needed to obtain a written payoff statement from any lender(s) regarding any security interest in the Property as soon as reasonably possible after the Effective Date, and Seller designates the closing attorney as Seller's agent with express authority to request and obtain on Seller's behalf payoff statements and/or short-pay statements from any such lender(s).

Buyer initials \_\_\_\_\_ Seller initials <sup>DS</sup> UM



(iii) If Seller is not a foreign person as defined by the Foreign Investment in Real Property Tax Act, Seller shall also provide to the closing attorney a non-foreign status certification (pursuant to the Foreign Investment in Real Property Tax Act). In the event Seller does not provide a non-foreign status certification, Seller acknowledges that there may be withholding as provided by the Internal Revenue Code.

(b) **Authorization to Disclose Information:** Seller authorizes: (1) any attorney presently or previously representing Seller to release and disclose any title insurance policy in such attorney's file to Buyer and both Buyer's and Seller's agents and attorneys; (2) the Property's title insurer or its agent to release and disclose all materials in the Property's title insurer's (or title insurer's agent's) file to Buyer and both Buyer's and Seller's agents and attorneys, and (3) the closing attorney to release and disclose any seller's closing disclosure, settlement statement and/or disbursement summary, or any information therein, to the parties to this transaction, their real estate agent(s) and Buyer's lender(s).

(c) **Access to Property:** Seller shall provide reasonable access to the Property through the earlier of Closing or possession by Buyer, including, but not limited to, allowing the Buyer and/or Buyer's agents or representatives an opportunity to (i) conduct Due Diligence, (ii) verify the satisfactory completion of negotiated repairs/improvements, and (iii) conduct a final walk-through inspection of the Property. Seller's obligation includes providing existing utilities operating at Seller's cost including any connections and dewinterizing. To the extent applicable, Seller shall also be responsible for timely clearing that portion of the Property required by the County to perform tests, inspections and/or evaluations to determine the suitability of the Property for a sewage system and/or private drinking water well.

**NOTE:** See WARNING in paragraph 2 above for limitation on Buyer's right to terminate this Contract as a result of Buyer's continued investigation of the Property following the expiration of the Due Diligence Period.

d) **Removal of Seller's Property:** Seller shall remove from the Property, by the date possession is delivered, (i) all personal property which is not a part of the purchase and (ii) unless otherwise agreed, all garbage and debris.

(e) **Affidavit And Indemnification Agreement:** Seller shall furnish at Settlement an affidavit(s) and indemnification agreement(s) in form satisfactory to Buyer and Buyer's title insurer, if any, executed by Seller and any person or entity who has performed or furnished labor, services, materials or rental equipment to the Property within 120 days prior to the date of Settlement and who may be entitled to claim a lien against the Property as described in N.C.G.S. §44A-8 verifying that each such person or entity has been paid in full and agreeing to indemnify Buyer, Buyer's lender(s) and Buyer's title insurer against all loss from any cause or claim arising therefrom.

(f) **Designation of Lien Agent, Payment and Satisfaction of Liens:** If required by N.C.G.S. §44A-11.1, Seller shall have designated a Lien Agent, and Seller shall deliver to Buyer as soon as reasonably possible a copy of the appointment of Lien Agent. All deeds of trust, deferred ad valorem taxes, liens and other charges against the Property, not assumed by Buyer, must be paid and satisfied by Seller prior to or at Settlement such that cancellation may be promptly obtained following Closing. Seller shall remain obligated to obtain any such cancellations following Closing.

(g) **Good Title, Legal Access:** Seller shall execute and deliver a GENERAL WARRANTY DEED for the Property in recordable form no later than Settlement, which shall convey fee simple marketable and insurable title, without exception for mechanics' liens, lis pendens, monetary liens and judgments, and free of other encumbrances or defects that would materially affect the value of the Property, including those which would be revealed by a current and accurate survey of the Property, except: (1) ad valorem taxes for the current year; (2) utility easements and unviolated covenants, conditions or restrictions; and (3) such other liens, encumbrances or defects as may be specifically approved by Buyer in writing. The Property must have legal access to a public right of way.

**NOTE:** If any sale of the Property may be a "short sale," consideration should be given to attaching a Short Sale Addendum (Standard Form 2A14-T) as an addendum to this Contract.

**NOTE:** Buyer's failure to conduct a survey or examine title of the Property prior to the expiration of the Due Diligence Period does not relieve the Seller of their obligation to deliver good title under this paragraph.

Buyer initials \_\_\_\_\_ Seller initials <sup>DS</sup> LM

(h) **Governmental Compliance:** It is a condition of this Contract that the Property be conveyed free of any material violation of law, ordinance, permit, or government regulation (including, but not limited to, those relating to stormwater, impervious surface, environmental protection, and zoning), unless Seller has specifically disclosed such violation(s) prior to the Effective Date. If a violation is discovered and identified after the Effective Date and prior to Closing, then Seller may cure the violation(s). Unless otherwise agreed, if Seller does not cure the violation(s) prior to Closing, then Buyer may choose to accept the violation(s) and proceed to Settlement/Closing or terminate this Contract and receive a refund of the Earnest Money Deposit and the Due Diligence Fee.

(i) **Deed, Taxes and Fees:** Seller shall pay for preparation of a deed and all other documents necessary to perform Seller's obligations under this Contract, and for state and county excise taxes, and any deferred, discounted or rollback taxes, and local conveyance fees required by law. The deed is to be made (a) Buyer; (b) a corporation, limited liability company, or other business entity of which Buyer is the sole owner or shareholder; (c) a trust for which Buyer is the beneficiary; (d) any relative of Buyer; and/or (e) Other: (Insert Name(s) Only): City of Mebane

(j) **Agreement to Pay Buyer Expenses:** Seller shall pay at Settlement \$ none toward any of Buyer's expenses associated with the purchase of the Property, at the discretion of Buyer and/or lender, if any, including any FHA/VA lender and inspection costs that Buyer is not permitted to pay.

(k) **Owners' Association Fees/Charges:** Seller shall pay any charges by an owners' association or a management company/vendor as agent of the association under paragraph 7(a) of this Contract.

(l) **Payment of Special Assessments:** Seller shall pay, in full at Settlement, all Special Assessments that are approved prior to Settlement, whether payable in a lump sum or future installments, provided that the amount thereof can be reasonably determined or estimated. The payment of such estimated amount shall be the final payment between the Parties.

(m) **Late Listing Penalties:** All property tax late listing penalties, if any, shall be paid by Seller.

(n) **Owners' Association Disclosure and Condominium Resale Statement Addendum** (Standard Form 2A12-T): If applicable, Seller shall provide the completed Owners' Association Disclosure and Condominium Resale Statement Addendum to Buyer on or before the Effective Date.

(o) **Seller's Breach of Contract:** See paragraph 21 for Buyer's remedies in the event of breach of this Contract.

7. **CHARGES BY OWNERS' ASSOCIATION:** Responsibility for payment of charges by an owners' association or a management company/vendor as agent of the association shall be allocated between Buyer and Seller as follows:

(a) **Seller shall pay:**

- (i) fees incurred by Seller in completing resale or other certificates related to a proposed sale of the Property;
- (ii) fees required for confirming Seller's account payment information on owners' association dues or assessments for payment or proration, including any expedite fee permitted under N.C. Gen. Stat. § 47F-3-102 that is charged in connection with providing such information;
- (iii) any fees charged for transferring or updating ownership records of the association; and
- (iv) any fees other than those fees specifically required to be paid by Buyer under paragraph 7(b) below.

(b) **Buyer shall pay:**

- (i) charges for providing information required by Buyer's lender;
- (ii) working capital contributions, membership fees, or charges imposed for Buyer's use of the common elements and/or services provided to Buyer in connection with Buyer taking possession of the Property, such as "move-in fees"; and
- (iii) determining restrictive covenant compliance.

8. **PRORATIONS AND ADJUSTMENTS:** Unless otherwise agreed, the following items shall be prorated, with Seller responsible for the prorated amounts of any taxes and dues through the date of Settlement, and Seller entitled to the amount of prorated rents through the date of Settlement, and either adjusted between the parties or paid at Settlement:

(a) **Taxes on Real Property:** Ad valorem taxes and recurring governmental service fees levied with such taxes on real property shall be prorated on a calendar year basis;

(b) **Rents:** Rents, if any, for the Property;

(c) **Dues:** Owners' association regular assessments (dues) and other like charges.

Buyer initials \_\_\_\_\_ Seller initials DS  
LM



9. **CONDITION OF PROPERTY/RISK OF LOSS:**

(a) **Condition of Property at Closing:** If the Property is not in substantially the same or better condition at Closing as on the date of this offer, reasonable wear and tear excepted, Buyer may terminate this Contract by written notice delivered to Seller and the Due Diligence Fee and Earnest Money Deposit shall be refunded to Buyer. If the Property is not in such condition and Buyer does NOT elect to terminate this Contract, Buyer shall be entitled to receive, in addition to the Property, the proceeds of any insurance claim filed by Seller on account of any damage or destruction to the Property.

(b) **Risk of Loss:** The risk of loss or damage by fire or other casualty prior to Closing shall be upon Seller. Seller is advised not to cancel existing insurance on the Property until after confirming recordation of the deed.

10. **DELAY IN SETTLEMENT/CLOSING:** This paragraph shall apply if one party is ready, willing and able to complete Settlement on the Settlement Date ("Non-Delaying Party") but it is not possible for the other party to complete Settlement by the Settlement Date ("Delaying Party"). In such event, the Delaying Party shall be entitled to a delay in Settlement and shall give as much notice as possible to the Non-Delaying Party and closing attorney. If the Delaying Party fails to complete Settlement and Closing within seven (7) days of the Settlement Date (including any amended Settlement Date agreed to in writing by the parties), then the Delaying Party shall be in breach and the Non-Delaying Party may terminate this Contract and shall be entitled to enforce any remedies available to such party under this Contract for the breach.

11. **POSSESSION:** Unless otherwise provided herein, possession, including all means of access to the Property (keys, codes including security codes, gate openers, electronic devices, etc.) shall be delivered at Closing as defined in Paragraph 1(m). No alterations, excavations, tree or vegetation removal or other such activities may be done before possession is delivered.

12. **ADDENDA:** CHECK ALL STANDARD ADDENDA THAT MAY BE A PART OF THIS CONTRACT, IF ANY, AND ATTACH HERETO. ITEMIZE ALL OTHER ADDENDA TO THIS CONTRACT, IF ANY, AND ATTACH HERETO.

- Additional Provisions Addendum (Form 2A11-T)
- Additional Signatures Addendum (Form 3-T)
- Back-Up Contract Addendum (Form 2A1-T)
- Loan Assumption Addendum (Form 2A6-T)
- Owners' Association Disclosure Addendum (Form 2A12-T)
- Seller Financing Addendum (Form 2A5-T)
- Short Sale Addendum (Form 2A14-T)
- Identify other attorney or party drafted addenda: \_\_\_\_\_

**NOTE:** UNDER NORTH CAROLINA LAW, REAL ESTATE BROKERS ARE NOT PERMITTED TO DRAFT ADDENDA TO THIS CONTRACT.

13. **ASSIGNMENTS:** This Contract may not be assigned without the written consent of all parties except in connection with a tax-deferred exchange, but if assigned by agreement, then this Contract shall be binding on the assignee and assignee's heirs and successors.

14. **TAX-DEFERRED EXCHANGE:** In the event Buyer or Seller desires to effect a tax-deferred exchange in connection with the conveyance of the Property, Buyer and Seller agree to cooperate in effecting such exchange; provided, however, that the exchanging party shall be responsible for all additional costs associated with such exchange, and provided further, that a non-exchanging party shall not assume any additional liability with respect to such tax-deferred exchange. Buyer and Seller shall execute such additional documents, including assignment of this Contract in connection therewith, at no cost to the non-exchanging party, as shall be required to give effect to this provision.

15. **PARTIES:** This Contract shall be binding upon and shall inure to the benefit of Buyer and Seller and their respective heirs, successors and assigns. As used herein, words in the singular include the plural and the masculine includes the feminine and neuter genders, as appropriate.

16. **SURVIVAL:** If any provision herein contained which by its nature and effect is required to be observed, kept or performed after the Closing, it shall survive the Closing and remain binding upon and for the benefit of the parties hereto until fully observed, kept or performed.

17. **ENTIRE AGREEMENT/RECORDATION:** This Contract contains the entire agreement of the parties and there are no representations, inducements or other provisions other than those expressed herein. All changes, additions or deletions hereto must be in writing and signed by all parties. Nothing contained herein shall alter any agreement between a REALTOR® or broker and Seller or Buyer as contained in any listing agreement, buyer agency agreement, or any other agency agreement between them. This Agreement or any memorandum thereof shall not be recorded without the express written consent of Buyer and Seller.

Buyer initials \_\_\_\_\_ Seller initials LM



18. **CONDUCT OF TRANSACTION:** The parties agree that any action between them relating to the transaction contemplated by this Contract may be conducted by electronic means, including the signing of this Contract by one or more of them and any notice or communication given in connection with this Contract. Any written notice or communication may be transmitted to any mailing address, e-mail address or fax number set forth in the "Notice Information" section below. Any notice or communication to be given to a party herein, any fee, deposit of other payment to be delivered to a party herein, may be given to the party or to such party's agent. Delivery of any notice to a party via means of electronic transmission shall be deemed complete at such time as the sender performs the final act to send such transmission, in a form capable of being processed by the receiving party's system, to any electronic address provided for such party in the "Notice Information" section below. Seller and Buyer agree that the "Notice Information" and "Acknowledgment of Receipt of Monies" sections below shall not constitute a material part of this Contract, and that the addition or modification of any information therein shall not constitute a rejection of an offer or the creation of a counteroffer.

19. **EXECUTION:** This Contract may be signed in multiple originals or counterparts, all of which together constitute one and the same instrument.

20. **COMPUTATION OF DAYS/TIME OF DAY:** Unless otherwise provided, for purposes of this Contract, the term "days" shall mean consecutive calendar days, including Saturdays, Sundays, and holidays, whether federal, state, local or religious. For the purposes of calculating days, the count of "days" shall begin on the day following the day upon which any act or notice as provided in this Contract was required to be performed or made. Any reference to a date or time of day shall refer to the date and/or time of day in the State of North Carolina.

21. **REMEDIES:**


(a) **Breach by Buyer:** In the event of material breach of this Contract by Buyer, any Earnest Money Deposit shall be paid to Seller. The payment of any Earnest Money Deposit and any Due Diligence Fee to Seller (without regard to their respective amounts, including zero) together shall serve as liquidated damages ("Liquidated Damages") and as Seller's sole and exclusive remedy for such breach, provided that such Liquidated Damages shall not limit Seller's rights under Paragraphs 2(d) and 2(e) for damage to the Property as well as Seller's right under paragraph 1(d) for dishonored funds. It is acknowledged by the parties that the amount of the Liquidated Damages is compensatory and not punitive, such amount being a reasonable estimation of the actual loss that Seller would incur as a result of a breach of this Contract by Buyer. The payment to Seller of the Liquidated Damages shall not constitute a penalty or forfeiture but actual compensation for Seller's anticipated loss, both parties acknowledging the difficulty determining Seller's actual damages for such breach.

(b) **Breach by Seller:** In the event of material breach of this Contract by Seller, Buyer may (i) elect to terminate this Contract as a result of such breach, and shall be entitled to return of both the Earnest Money Deposit and the Due Diligence Fee, together with the reasonable costs actually incurred by Buyer in connection with Buyer's Due Diligence ("Due Diligence Costs"), or (ii) elect not to terminate and instead treat this Contract as remaining in full force and effect and seek the remedy of specific performance.

(c) **Attorneys' Fees:** If legal proceedings are brought by Buyer or Seller against the other to collect the Earnest Money Deposit, Due Diligence Fee, or Due Diligence Costs, the parties agree that a party shall be entitled to recover reasonable attorneys' fees to the extent permitted under N.C. Gen. Stat. § 6-21.2, and if applicable, N.C. Gen. Stat. § 6-21.3 for dishonored funds. The parties acknowledge and agree that the terms of this Contract with respect to entitlement to the Earnest Money Deposit, Due Diligence Fee, or Due Diligence Costs each constitute an "evidence of indebtedness" pursuant to N.C. Gen. Stat. § 6-21.2.

**NOTE:** A party seeking recovery of attorneys' fees under N.C. Gen. Stat. § 6-21.2 must first give written notice to the other party that they have five (5) days from the mailing of the notice to pay the outstanding amount(s) without the attorneys' fees.

[THIS SPACE INTENTIONALLY LEFT BLANK]

Buyer initials \_\_\_\_\_ Seller initials 



THE NORTH CAROLINA ASSOCIATION OF REALTORS®, INC. AND THE NORTH CAROLINA BAR ASSOCIATION MAKE NO REPRESENTATION AS TO THE LEGAL VALIDITY OR ADEQUACY OF ANY PROVISION OF THIS FORM IN ANY SPECIFIC TRANSACTION. IF YOU DO NOT UNDERSTAND THIS FORM OR FEEL THAT IT DOES NOT PROVIDE FOR YOUR LEGAL NEEDS, YOU SHOULD CONSULT A NORTH CAROLINA REAL ESTATE ATTORNEY BEFORE YOU SIGN IT.

This offer shall become a binding contract on the Effective Date. Unless specifically provided otherwise, Buyer's failure to timely deliver any fee, deposit or other payment provided for herein shall not prevent this offer from becoming a binding contract, provided that any such failure shall give Seller certain rights to terminate the contract as described herein or as otherwise permitted by law.

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Buyer: \_\_\_\_\_

Seller: \_\_\_\_\_

City of Mebane

MARISANNA LLC

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Buyer: \_\_\_\_\_

Seller: \_\_\_\_\_

Entity Buyer:

Entity Seller:

City of Mebane

Marisanna LLC

(Name of LLC/Corporation/Partnership/Trust/etc.)

(Name of LLC/Corporation/Partnership/Trust/etc.)

By: \_\_\_\_\_

By: \_\_\_\_\_

*Luis Martinho*  
E4E3768041D44E2...

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Print Name

Print Name

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Date: 10/29/2023

### WIRE FRAUD WARNING

TO BUYERS: BEFORE SENDING ANY WIRE, YOU SHOULD CALL THE CLOSING ATTORNEY'S OFFICE TO VERIFY THE INSTRUCTIONS. IF YOU RECEIVE WIRING INSTRUCTIONS FOR A DIFFERENT BANK, BRANCH LOCATION, ACCOUNT NAME OR ACCOUNT NUMBER, THEY SHOULD BE PRESUMED FRAUDULENT. DO NOT SEND ANY FUNDS AND CONTACT THE CLOSING ATTORNEY'S OFFICE IMMEDIATELY.

TO SELLERS: IF YOUR PROCEEDS WILL BE WIRED, IT IS RECOMMENDED THAT YOU PROVIDE WIRING INSTRUCTIONS AT CLOSING IN WRITING IN THE PRESENCE OF THE ATTORNEY. IF YOU ARE UNABLE TO ATTEND CLOSING, YOU MAY BE REQUIRED TO SEND AN ORIGINAL NOTARIZED DIRECTIVE TO THE CLOSING ATTORNEY'S OFFICE CONTAINING THE WIRING INSTRUCTIONS. THIS MAY BE SENT WITH THE DEED, LIEN WAIVER AND TAX FORMS IF THOSE DOCUMENTS ARE BEING PREPARED FOR YOU BY THE CLOSING ATTORNEY. AT A MINIMUM, YOU SHOULD CALL THE CLOSING ATTORNEY'S OFFICE TO PROVIDE THE WIRE INSTRUCTIONS. THE WIRE INSTRUCTIONS SHOULD BE VERIFIED OVER THE TELEPHONE VIA A CALL TO YOU INITIATED BY THE CLOSING ATTORNEY'S OFFICE TO ENSURE THAT THEY ARE NOT FROM A FRAUDULENT SOURCE.

WHETHER YOU ARE A BUYER OR A SELLER, YOU SHOULD CALL THE CLOSING ATTORNEY'S OFFICE AT A NUMBER THAT IS INDEPENDENTLY OBTAINED. TO ENSURE THAT YOUR CONTACT IS LEGITIMATE, YOU SHOULD NOT RELY ON A PHONE NUMBER IN AN EMAIL FROM THE CLOSING ATTORNEY'S OFFICE, YOUR REAL ESTATE AGENT OR ANYONE ELSE.

Buyer initials \_\_\_\_\_

Seller initials \_\_\_\_\_

DS  
*LM*

NOTICE INFORMATION

NOTE: INSERT AT LEAST ONE ADDRESS AND/OR ELECTRONIC DELIVERY ADDRESS EACH PARTY AND AGENT APPROVES FOR THE RECEIPT OF ANY NOTICE CONTEMPLATED BY THIS CONTRACT. INSERT "N/A" FOR ANY WHICH ARE NOT APPROVED.

BUYER NOTICE ADDRESS:

Mailing Address: \_\_\_\_\_

Buyer Fax #: \_\_\_\_\_

Buyer E-mail: \_\_\_\_\_

SELLER NOTICE ADDRESS:

Mailing Address: \_\_\_\_\_

Seller Fax #: \_\_\_\_\_

Seller E-mail: \_\_\_\_\_

CONFIRMATION OF AGENCY/NOTICE ADDRESSES

Selling Firm Name: \_\_\_\_\_  
Acting as  Buyer's Agent  Seller's (sub)Agent  Dual Agent

Firm License #: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Individual Selling Agent: \_\_\_\_\_  
 Acting as a Designated Dual Agent (check only if applicable)

Selling Agent License#: \_\_\_\_\_

Selling Agent Phone#: \_\_\_\_\_

Selling Agent Fax#: \_\_\_\_\_

Selling Agent E-mail: \_\_\_\_\_

Listing Firm Name: **Society Real Estate LLC**  
Acting as  Seller's Agent  Dual Agent

Firm License #: **C27908**

Mailing Address: **4030 Wake Forest Road, Ste. 100, Raleigh, NC 27609**

Individual Listing Agent: **Brennan Wyatt**  
 Acting as a Designated Dual Agent (check only if applicable)

Listing Agent License#: **321116**

Listing Agent Phone#: **(336)380-2487**

Listing Agent Fax#: \_\_\_\_\_

Listing Agent E-mail: **brennan@societyrealtygroup.com**

Buyer initials \_\_\_\_\_

Seller initials LM



ACKNOWLEDGMENT OF RECEIPT OF MONIES

Seller: MARISANNA LLC ("Seller")

Buyer: City of Mebane ("Buyer")

Property Address: 0 Ruffin Street, Mebane, NC 27302 ("Property")

LISTING AGENT ACKNOWLEDGMENT OF RECEIPT OF DUE DILIGENCE FEE

Paragraph 1(d) of the Offer to Purchase and Contract between Buyer and Seller for the sale of the Property provides for the payment to Seller of a Due Diligence Fee in the amount of \$ \_\_\_\_\_, receipt of which Listing Agent hereby acknowledges.

Date: \_\_\_\_\_ Firm: Society Real Estate LLC

By: \_\_\_\_\_

(Signature)

Brennan Wyatt

(Print name)

SELLER ACKNOWLEDGMENT OF RECEIPT OF DUE DILIGENCE FEE

Paragraph 1(d) of the Offer to Purchase and Contract between Buyer and Seller for the sale of the Property provides for the payment to Seller of a Due Diligence Fee in the amount of \$ \_\_\_\_\_, receipt of which Seller hereby acknowledges.

Date: \_\_\_\_\_ Seller: \_\_\_\_\_

(Signature)

MARISANNA LLC

Date: \_\_\_\_\_ Seller: \_\_\_\_\_

(Signature)

ESCROW AGENT ACKNOWLEDGMENT OF RECEIPT OF INITIAL EARNEST MONEY DEPOSIT

Paragraph 1(d) of the Offer to Purchase and Contract between Buyer and Seller for the sale of the Property provides for the payment to Escrow Agent of an Initial Earnest Money Deposit in the amount of \$ \_\_\_\_\_. Escrow Agent as identified in Paragraph 1(f) of the Offer to Purchase and Contract hereby acknowledges receipt of the Initial Earnest Money Deposit and agrees to hold and disburse the same in accordance with the terms of the Offer to Purchase and Contract.

Date: \_\_\_\_\_ Firm: Davis & Humbert Law

By: \_\_\_\_\_

(Signature)

(Print name)

ESCROW AGENT ACKNOWLEDGMENT OF RECEIPT OF (ADDITIONAL) EARNEST MONEY DEPOSIT

Paragraph 1(d) of the Offer to Purchase and Contract between Buyer and Seller for the sale of the Property provides for the payment to Escrow Agent of an (Additional) Earnest Money Deposit in the amount of \$ \_\_\_\_\_. Escrow Agent as identified in Paragraph 1(f) of the Offer to Purchase and Contract hereby acknowledges receipt of the (Additional) Earnest Money Deposit and agrees to hold and disburse the same in accordance with the terms of the Offer to Purchase and Contract.

Date: \_\_\_\_\_ Firm: Davis & Humbert Law

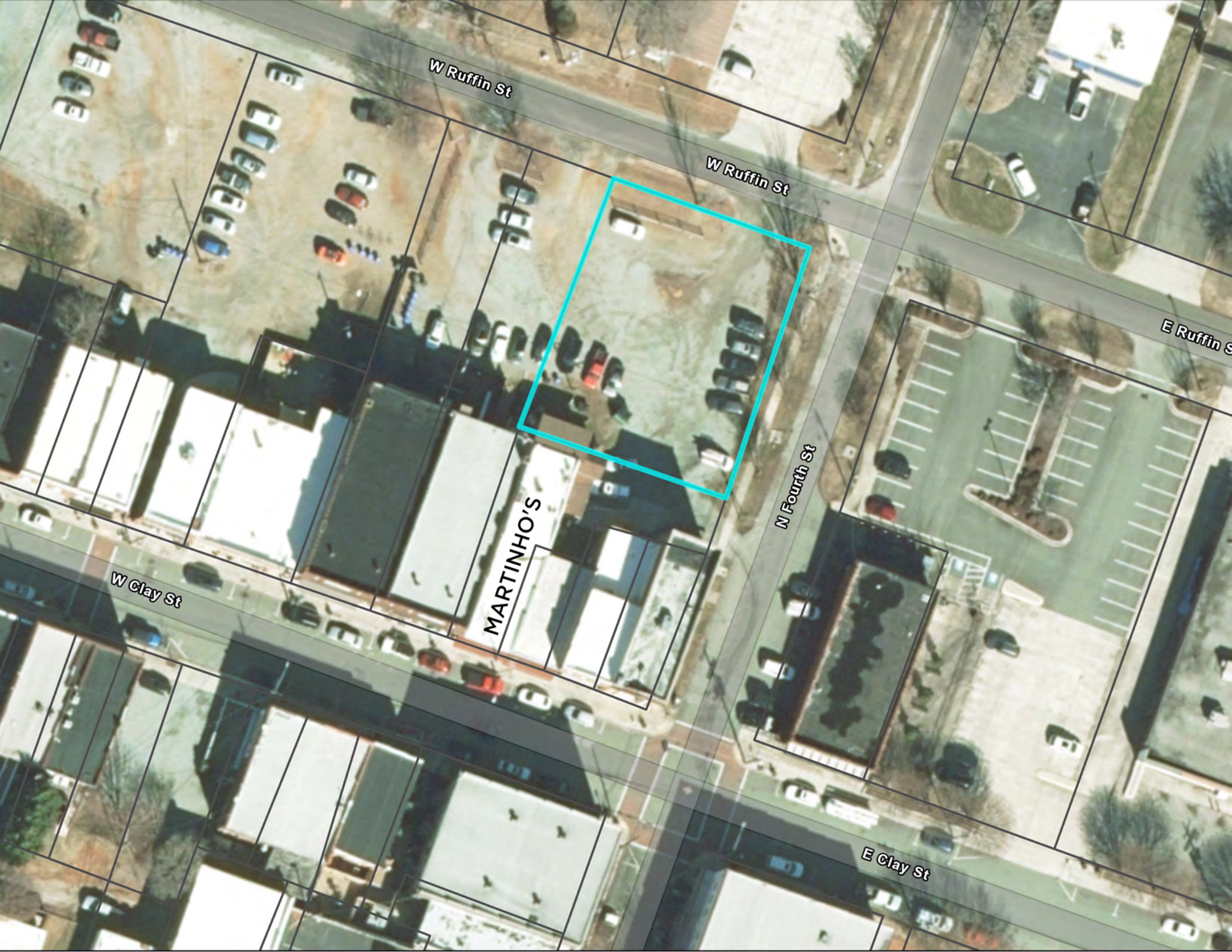
Time: \_\_\_\_\_  AM  PM

By: \_\_\_\_\_

(Signature)

(Print name)





W Ruffin St

W Ruffin St

E Ruffin St

N Fourth St

MARTINHO'S

W Clay St

E Clay St





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## AGENDA ITEM #10

### 2022 FEMA BRIC Grant Application – Sewer Rehab

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#### Presenter

Kyle Smith, PE, Utilities Director

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#### Public Hearing

Yes  No

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#### Summary

The City submitted a funding application through the 2022 FEMA BRIC (Building Resilient Infrastructures and Communities) Grant request and has been selected to move forward to the final round of the selection process. As part of the grant selection process the City must execute the attached resolution designating a signing agent for Federal and State forms. The grant has not been awarded; this resolution allows for signatures for the next round of the grant cycle.

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#### Background

The City submitted for funding for the engineering and construction of approximately 16,800 feet of sewer line rehabilitation by CIPP lining and associated manhole rehab. This project is intended to cut down on the amount of inflow and infiltration (I&I) entering our collection system thus making it to the WRRF for treatment.

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#### Financial Impact

Total estimated cost for the project is \$3,150,000. If the City of Mebane is selected to receive the BRIC grant, the city will be awarded \$2,250,000 and will be required to provide a match of \$900,000.

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#### Recommendation

Staff recommends executing the Resolution Designation of Applicant's Agent.

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#### Attachments

1. Resolution Designation of Applicant's Agent
2. Project Area Maps

**RESOLUTION  
DESIGNATION OF APPLICANT'S AGENT  
North Carolina Division of Emergency Management**

Organization Name (hereafter named Organization) Disaster Number:  
City of Mebane

Applicant's State Cognizant Agency for Single Audit purposes (If Cognizant Agency is not assigned, please indicate):  
North Carolina Department of Environmental Quality

Applicant's Fiscal Year (FY) Start  
July 1, 2023 Month: July Day: 1

Applicant's Federal Employer's Identification Number  
56 - 6001286

Applicant's Federal Information Processing Standards (FIPS) Number  
374 - 2240 -

PRIMARY AGENT	SECONDARY AGENT
Agent's Name <b>Chris Rollins</b>	Agent's Name <b>Preston Mitchell</b>
Organization <b>City of Mebane</b>	Organization <b>City of Mebane</b>
Official Position <b>City Manager</b>	Official Position <b>Assistant City Manager</b>
Mailing Address <b>106 E Washington Street</b>	Mailing Address <b>106 E Washington Street</b>
City, State, Zip <b>Mebane, NC 27302</b>	City, State, Zip <b>Mebane, NC 27302</b>
Daytime Telephone <b>(919) 563-5901</b>	Daytime Telephone <b>(919) 563-5901</b>
Facsimile Number	Facsimile Number
Pager or Cellular Number <b>(336) 214-2690</b>	Pager or Cellular Number <b>(919) 441-0091</b>

BE IT RESOLVED BY the governing body of the Organization (a public entity duly organized under the laws of the State of North Carolina) that the above-named Primary and Secondary Agents are hereby authorized to execute and file applications for federal and/or state assistance on behalf of the Organization for the purpose of obtaining certain state and federal financial assistance under the Robert T. Stafford Disaster Relief & Emergency Assistance Act, (Public Law 93-288 as amended) or as otherwise available. BE IT FURTHER RESOLVED that the above-named agents are authorized to represent and act for the Organization in all dealings with the State of North Carolina and the Federal Emergency Management Agency for all matters pertaining to such disaster assistance required by the grant agreements and **the assurances printed on the reverse side hereof**. BE IT FINALLY RESOLVED THAT the above-named agents are authorized to act severally. PASSED AND APPROVED this            day of           , 20    .

GOVERNING BODY	CERTIFYING OFFICIAL
Name and Title	Name
Name and Title	Official Position
Name and Title	Daytime Telephone

**CERTIFICATION**

I, \_\_\_\_\_, (Name) duly appointed and \_\_\_\_\_ (Title) of the Governing Body, do hereby certify that the above is a true and correct copy of a resolution passed and approved by the Governing Body of \_\_\_\_\_ (Organization) on the \_\_\_\_\_ day of \_\_\_\_\_, 20    .

Date: \_\_\_\_\_ Signature: \_\_\_\_\_

## APPLICANT ASSURANCES

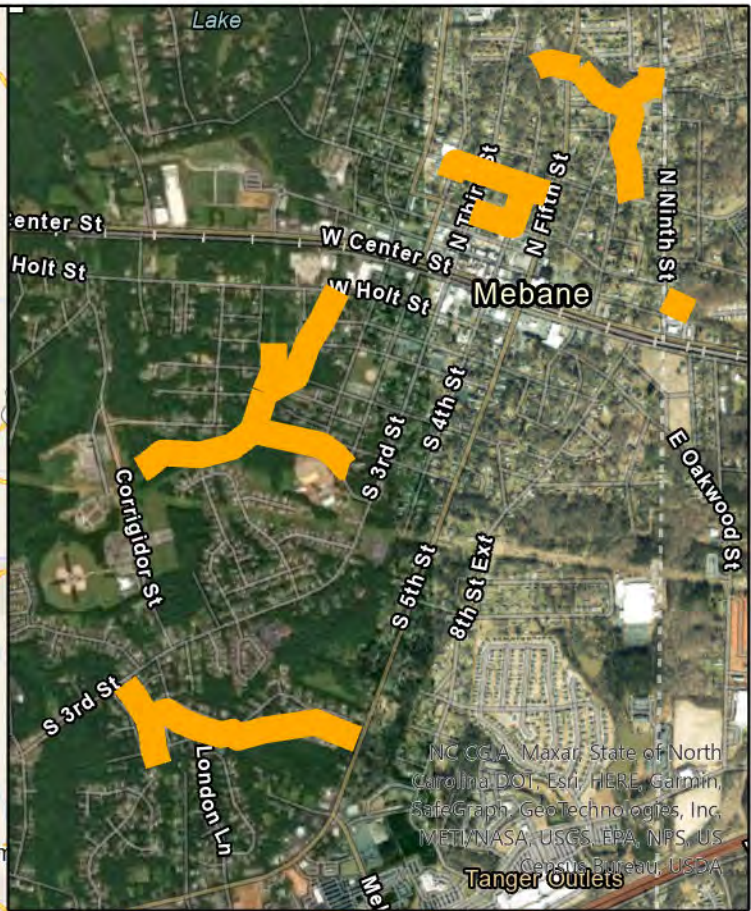
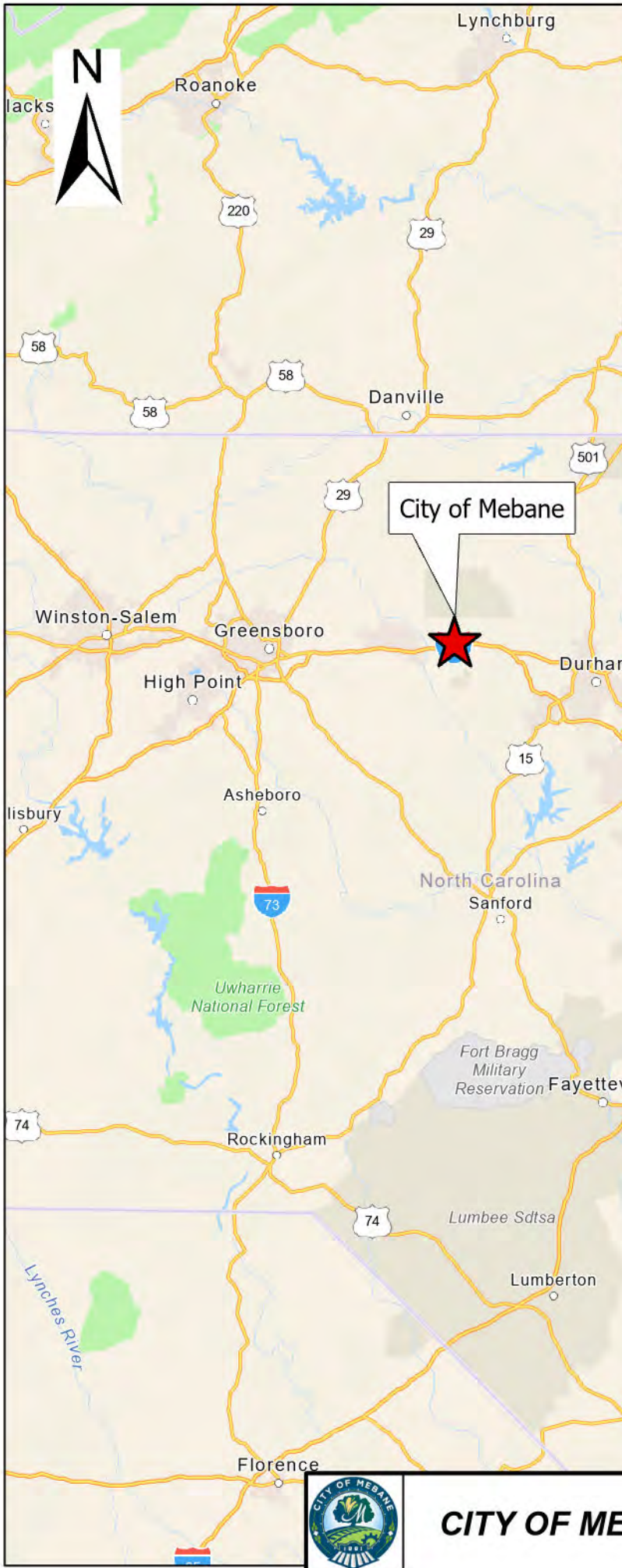
The applicant hereby assures and certifies that it will comply with the FEMA regulations, policies, guidelines and requirements including OMB's Circulars No. A-95 and A-102, and FMC 74-4, as they relate to the application, acceptance and use of Federal funds for this Federally assisted project. Also, the Applicant gives assurance and certifies with respect to and as a condition for the grant that:

1. It possesses legal authority to apply for the grant, and to finance and construct the proposed facilities; that a resolution, motion or similar action has been duly adopted or passed as an official act of the applicant's governing body, authorizing the filing of the application, including all understandings and assurances contained therein, and directing and authorizing the person identified as the official representative of the applicant to act in connection with the application and to provide such additional information as may be required.
2. It will comply with the provisions of: Executive Order 11988, relating to Floodplain Management and Executive Order 11990, relating to Protection of Wetlands.
3. It will have sufficient funds available to meet the non-Federal share of the cost for construction projects. Sufficient funds will be available when construction is completed to assure effective operation and maintenance of the facility for the purpose constructed.
4. It will not enter into a construction contract(s) for the project or undertake other activities until the conditions of the grant program(s) have been met.
5. It will provide and maintain competent and adequate architectural engineering supervision and inspection at the construction site to insure that the completed work conforms with the approved plans and specifications; that it will furnish progress reports and such other information as the Federal grantor agency may need.
6. It will operate and maintain the facility in accordance with the minimum standards as may be required or prescribed by the applicable Federal, State and local agencies for the maintenance and operation of such facilities.
7. It will give the grantor agency and the Comptroller General, through any authorized representative, access to and the right to examine all records, books, papers, or documents related to the grant.
8. It will require the facility to be designed to comply with the "American Standard Specifications for Making Buildings and Facilities Accessible to, and Usable by the Physically Handicapped," Number A117.1-1961, as modified (41 CFR 101-17-7031). The applicant will be responsible for conducting inspections to insure compliance with these specifications by the contractor.
9. It will cause work on the project to be commenced within a reasonable time after receipt of notification from the approving Federal agency that funds have been approved and will see that work on the project will be prosecuted to completion with reasonable diligence.
10. It will not dispose of or encumber its title or other interests in the site and facilities during the period of Federal interest or while the Government holds bonds, whichever is the longer.
11. It agrees to comply with Section 311, P.L. 93-288 and with Title VI of the Civil Rights Act of 1964 (P.L. 83-352) and in accordance with Title VI of the Act, no person in the United States shall, on the ground of race, color, or national origin, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity for which the applicant receives Federal financial assistance and will immediately take any measures necessary to effectuate this agreement. If any real property or structure is provided or improved with the aid of Federal financial assistance extended to the Applicant, this assurance shall obligate the Applicant, or in the case of any transfer of such property, any transferee, for the period during which the real property or structure is used for a purpose for which the Federal financial assistance is extended or for another purpose involving the provision of similar services or benefits.
12. It will establish safeguards to prohibit employees from using their positions for a purpose that is or gives the appearance of being motivated by a desire for private gain for themselves or others, particularly those with whom they have family, business, or other ties.
13. It will comply with the requirements of Title II and Title III of the Uniform Relocation Assistance and Real Property Acquisitions Act of 1970 (P.L. 91-646) which provides for fair and equitable treatment of persons displaced as a result of Federal and Federally assisted programs.
14. It will comply with all requirements imposed by the Federal grantor agency concerning special requirements of law, program requirements, and other administrative requirements approved in accordance with OMB Circular A-102, P.L. 93-288 as amended, and applicable Federal Regulations.
15. It will comply with the provisions of the Hatch Act which limit the political activity of employees.
16. It will comply with the minimum wage and maximum hours provisions of the Federal Fair Labor Standards Act, as they apply to hospital and educational institution employees of State and local governments.
17. (To the best of his/her knowledge and belief) the disaster relief work described on each Federal Emergency Management Agency (FEMA) Project Application for which Federal Financial assistance is requested is eligible in accordance with the criteria contained in 44 Code of Federal Regulations, Part 206, and applicable FEMA Handbooks.
18. The emergency or disaster relief work therein described for which Federal Assistance is requested hereunder does not or will not duplicate benefits received for the same loss from another source.
19. It will (1) provide without cost to the United States all lands, easements and rights-of-way necessary for accomplishments of the approved work; (2) hold and save the United States free from damages due to the approved work or Federal funding.
20. This assurance is given in consideration of and for the purpose of obtaining any and all Federal grants, loans, reimbursements, advances, contracts, property, discounts of other Federal financial assistance extended after the date hereof to the Applicant by FEMA, that such Federal Financial assistance will be extended in reliance on the representations and agreements made in this assurance and that the United States shall have the right to seek judicial enforcement of this assurance. This assurance is binding on the applicant, its successors, transferees, and assignees, and the person or persons whose signatures appear on the reverse as authorized to sign this assurance on behalf of the applicant.
21. It will comply with the flood insurance purchase requirements of Section 102(a) of the Flood Disaster Protection Act of 1973, Public Law 93-234, 87 Stat. 975, approved December 31, 1973. Section 102(a) requires, on and after March 2, 1975, the purchase of flood insurance in communities where such insurance is available as a condition for the receipt of any Federal financial assistance for construction or acquisition purposes for use in any area that has been identified by the Director, Federal Emergency Management Agency as an area having special flood hazards. The phrase "Federal financial assistance" includes any form of loan, grant, guaranty, insurance payment, rebate, subsidy, disaster assistance loan or grant, or any other form of direct or indirect Federal assistance.
22. It will comply with the insurance requirements of Section 314, PL 93-288, to obtain and maintain any other insurance as may be reasonable, adequate, and necessary to protect against further loss to any property which was replaced, restored, repaired, or constructed with this assistance.
23. It will defer funding of any projects involving flexible funding until FEMA makes a favorable environmental clearance, if this is required.
24. It will assist the Federal grantor agency in its compliance with Section 106 of the National Historic Preservation Act of 1966, as amended, (16 U.S.C. 470), Executive Order 11593, and the Archeological and Historic Preservation Act of 1966 (16 U.S.C. 469a-1 et seq.) by (a) consulting with the State Historic Preservation Officer on the conduct of investigations, as necessary, to identify properties listed in or eligible for inclusion in the National Register of Historic places that are subject to adverse effects (see 36 CFR Part 800.8) by the activity, and notifying the Federal grantor agency of the existence of any such properties, and by (b) complying with all requirements established by the Federal grantor agency to avoid or mitigate adverse effects upon such properties.
25. It will, for any repairs or construction financed herewith, comply with applicable standards of safety, decency and sanitation and in conformity with applicable codes, specifications and standards; and, will evaluate the natural hazards in areas in which the proceeds of the grant or loan are to be used and take appropriate action to mitigate such hazards, including safe land use and construction practices.

## STATE ASSURANCES

The State agrees to take any necessary action within State capabilities to require compliance with these assurances and agreements by the applicant or to assume responsibility to the Federal government for any deficiencies not resolved to the satisfaction of the Regional Director.



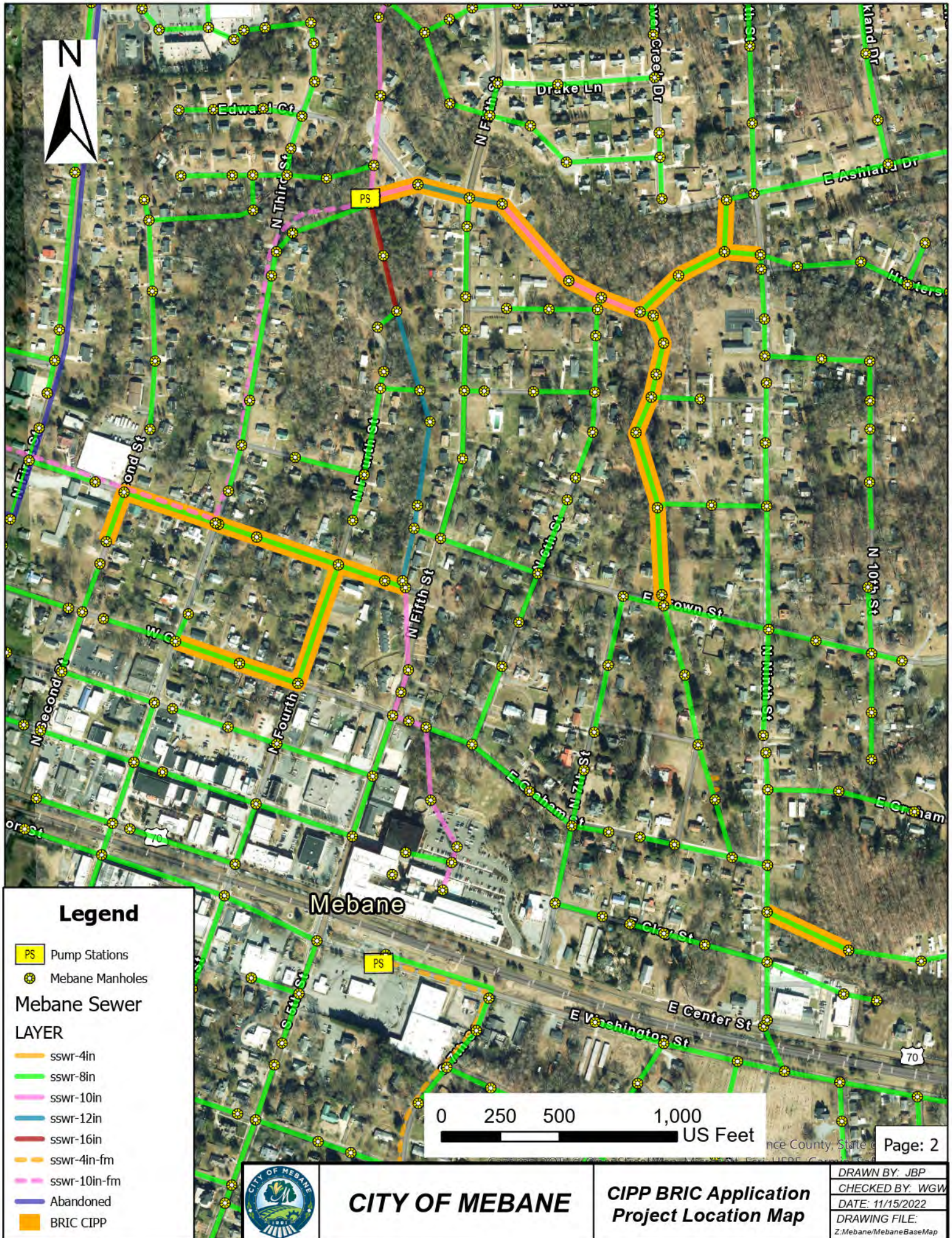


**CITY OF MEBANE**

**CIPP BRIC Application  
Project Location Map**

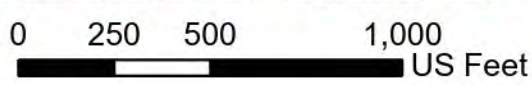
DRAWN BY: JBP
CHECKED BY: WGM
DATE: 11/15/2022
DRAWING FILE: Z:\Mebane\MebaneBaseMap





### Legend

- PS Pump Stations
- Mebane Manholes
- Mebane Sewer**
- LAYER**
- sswr-4in
- sswr-8in
- sswr-10in
- sswr-12in
- sswr-16in
- sswr-4in-fm
- sswr-10in-fm
- Abandoned
- BRIC CIPP

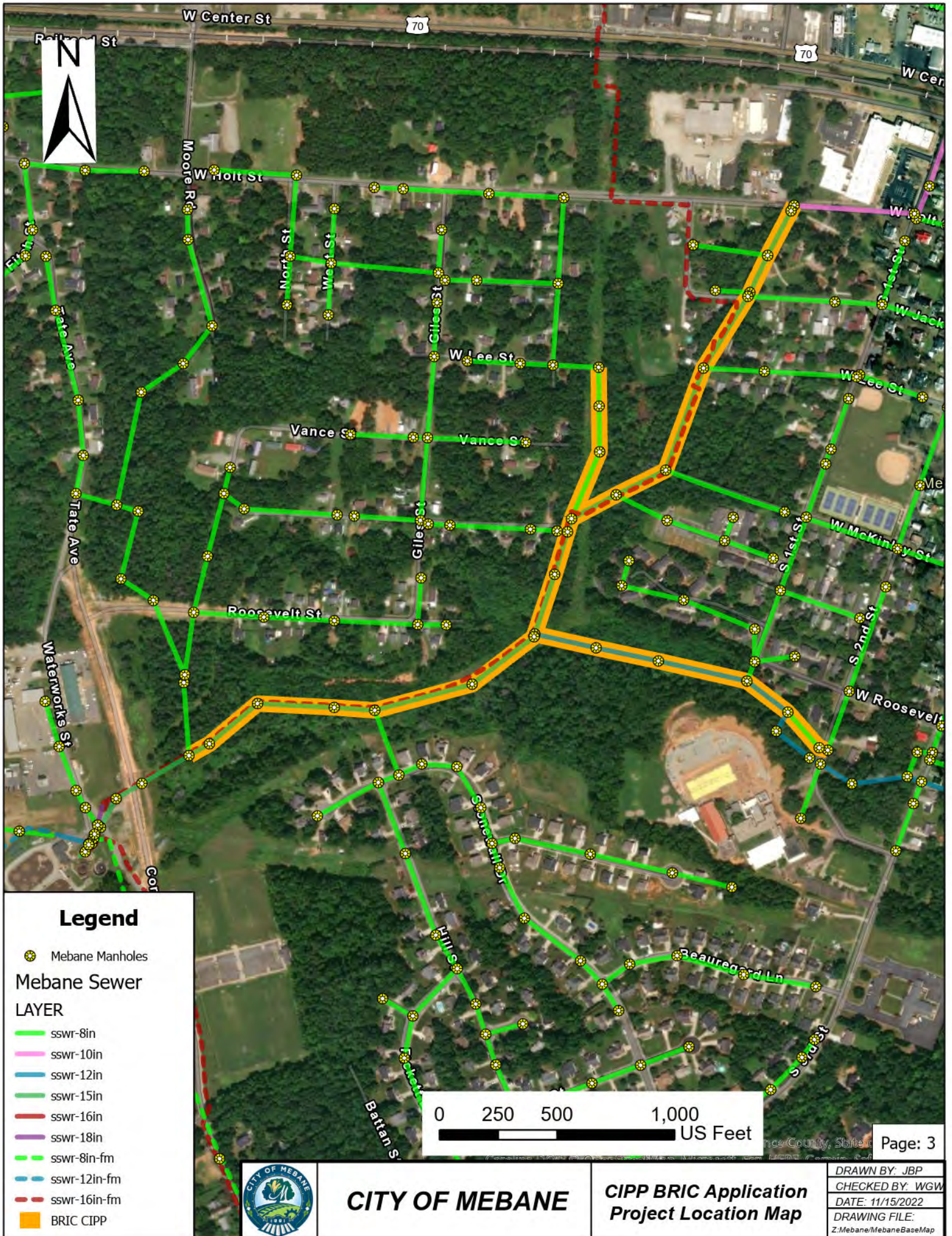


**CITY OF MEBANE**

**CIPP BRIC Application  
Project Location Map**

DRAWN BY: JBP  
 CHECKED BY: WGW  
 DATE: 11/15/2022  
 DRAWING FILE:  
 Z:Mebane/MebaneBaseMap





**Legend**

● Mebane Manholes

**Mebane Sewer LAYER**

- sswr-8in
- sswr-10in
- sswr-12in
- sswr-15in
- sswr-16in
- sswr-18in
- sswr-8in-fm
- sswr-12in-fm
- sswr-16in-fm
- BRIC CIPP

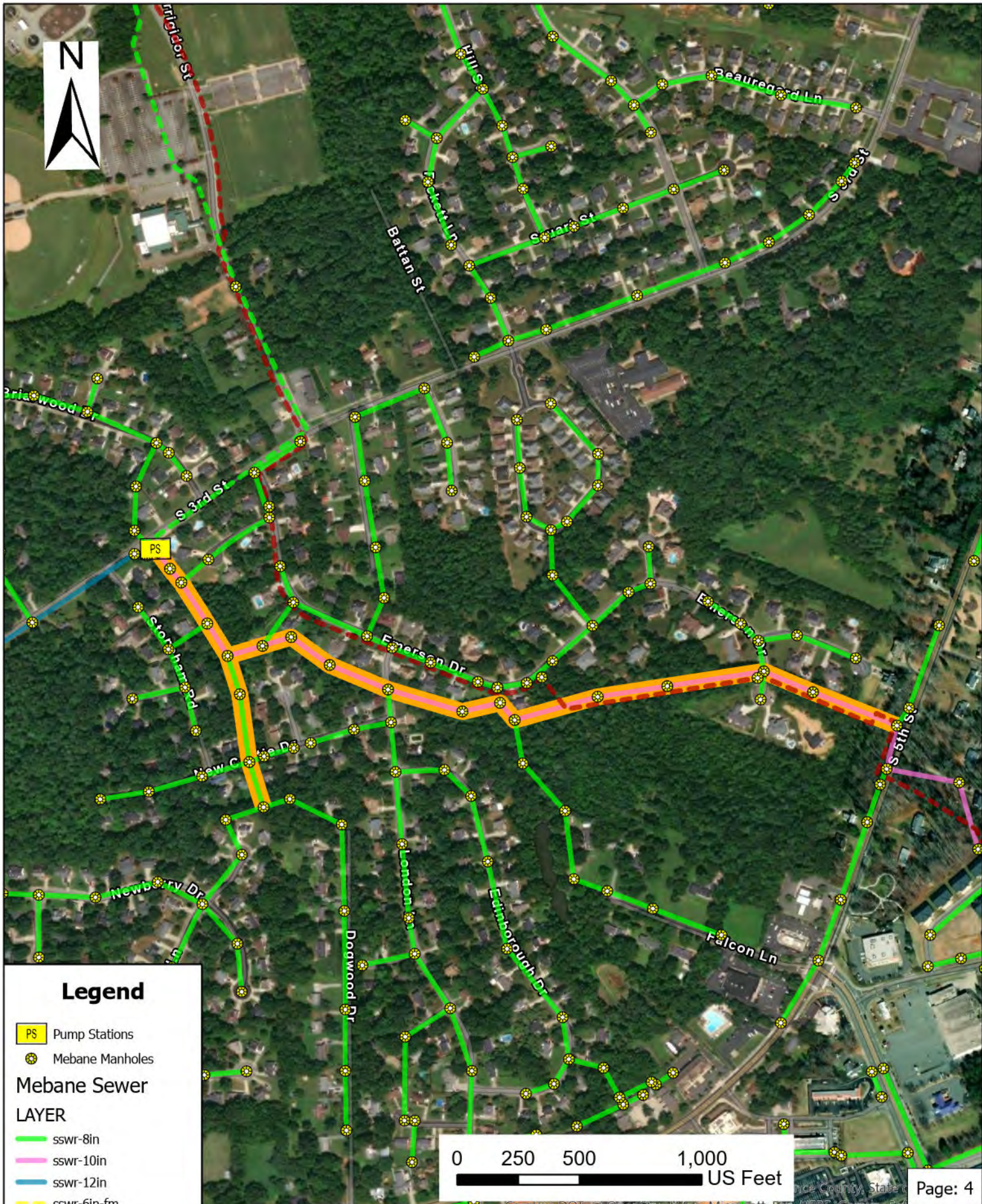


**CITY OF MEBANE**

**CIPP BRIC Application Project Location Map**

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### Legend

- Pump Stations
- Mebane Manholes

### Mebane Sewer

#### LAYER

- sswr-8in
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- sswr-6in-fm
- sswr-8in-fm
- sswr-16in-fm
- BRIC CIPP



## CITY OF MEBANE

### CIPP BRIC Application Project Location Map

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**City of Mebane**

2024 Regular Meetings and FY 2024-2025 Budget Calendar

Monday, January 8, 2024	Regular Meeting
Monday, February 5, 2024	Regular Meeting
Monday, March 4, 2024	Regular Meeting
Monday, March 13, 2024	Budget Workshop
Tuesday, March 21, 2024	Budget Workshop
Monday, April 8, 2024	Regular Meeting
Thursday, April 11, 2024	Budget Workshop
Monday, May 6, 2024	Regular Meeting
Monday, May 6, 2024	Manager's Recommended Budget
Monday, June 3, 2024	Regular Meeting
Monday, June 3, 2024	Public Hearing for Budget
Monday, July 1, 2024	Regular Meeting
Monday, August 5, 2024	Regular Meeting
Monday, September 9, 2024	Regular Meeting
Monday, October 7, 2024	Regular Meeting
Monday, November 4, 2024	Regular Meeting
Monday, December 2, 2024	Regular Meeting



The Planning Board meeting was held at the Glendel Stephenson Municipal Building located at 106 E. Washington Street, Mebane, NC 27302 and livestreamed via YouTube. The video can be accessed through the following link: <https://www.youtube.com/watch?v=Y9oAhHG5TFY>.

**Members Present:**

Edward Tulauskas, Chair  
Judy Taylor, Vice Chair  
Colin Cannell  
William Chapman  
Kurt Pearson  
David Scott  
Susan Semonite

**Members Absent:**

Gale Pettiford  
Keith Hoover

**City Staff Present:**

Ashley Ownbey, Development Director  
Briana Perkins, City Planner  
Kirk Montgomery, IT Director

**1. Call to Order**

At 6:30 p.m. Chair Tulauskas called the meeting to order.

**2. Approval of September 18, 2023, Meeting Minutes**

Kurt Pearson made a motion to approve the meeting minutes. Susan Semonite seconded the motion, which passed unanimously.

**3. City Council Actions Update**

Ashley Ownbey informed the Board that the City Council had unanimously approved the rezoning request for Deep River Partners for a development of 90 townhomes and five commercial parcels at the intersection of Mebane Oaks Road and Old Hillsborough Road.

**4. Request for a Special Use Permit to allow for a concrete plant on the +/- 5.28-acre parcel located at 920 Mattress Factory Road (GPIN: 9824778854) by VM Development, LLC.**

VM Development, LLC is requesting approval for a Special Use Permit to allow for the development of a concrete plant on a +/- 5.28 -acre parcel located at 920 Mattress Factory Road. The subject property is currently zoned Heavy Manufacturing (HM) and includes a single-family dwelling. The manufacturing of concrete is only allowed in the HM Zoning District with a Special Use Permit. Surrounding uses are largely industrial, with some vacant and underdeveloped land adjacent to the site and a nearby commercial use on Industrial Drive. The property is located in an industrial growth strategy area as identified by Mebane By Design, the Mebane Comprehensive Land Development Plan. The site plan has been reviewed for compliance with the Mebane Unified Development Ordinance (UDO).





The site-specific plan and staff report are provided in the meeting agenda packet available [here](#).

Briana Perkins provided a more detailed overview and PowerPoint presentation of the request.

Fred Gibson of Piedmont Ready Mix, which is located in Asheboro, reviewed the business is looking to expand to another location in Mebane.

Tori Small, Civil Engineer with Westcott Small and Associates, presented the four findings of fact for the Special Use Permit.

- 1) The project would not materially endanger the public health or safety.
  - Traffic would only generate an approximate addition of 75 trips per day. There was only a 2.59-percent increase at the intersection of Mattress Factory Road and Industrial Drive and 1.92-percent increase at the intersection of Industrial Drive and Buckhorn Road for the concrete plant operations.
  - Related to water quality, the site is required to get an industrial stormwater permit from the State and will have a bioretention cell.
  - An air quality permit from NCDEQ is also required.
- 2) The project would not substantially injure the value of adjoining or abutting property.
  - Surrounding properties are industrial.
  - Glen Patterson, Patterson Appraisals in Burlington, presented that he reviewed similar uses and could not find any issues with similar properties since the site is already in an industrial area.
- 3) The project would be in harmony with the area in which it is to be located.
  - The site is surrounded by industrial uses and is also surrounded by HM, Heavy Manufacturing zoning.
- 4) The project would be in general conformity with the Land Use Plan or other plans and policies officially adopted by the City Council.
  - The property is identified in an industrial growth strategy area in the City's Comprehensive Land Development Plan. The project was reviewed through the Technical Review Committee process for compliance with the Mebane Unified Development Ordinance.

David Scott asked if there was a traffic light at the end of Industrial Drive and Buckhorn Road. Susan Semonite responded that there was not a traffic light there currently, but there were plans for a light on Buckhorn Road right before getting onto the Interstate.

Colin Cannell asked if the applicant could explain in layman's terms how the concrete plant would protect air and water quality. Tori Small responded that there was a stormwater retention plan in place



for any chemicals and oils to be contained on site. She stated that on the low end of the site there were three concrete bins for runoff and then the bioretention pond.

Fred Gibson explained that the parking lot would be concrete, and runoff would drain into settling ponds. He said the first pond was for heavy material, the second for mix material, and the third would be almost clean water into the bioretention pond. He explained that the water in the bioretention pond could be discharged into the local water supply since they were required to monitor pH levels and Total Suspended Solids. He said that the pH-treated water from the concrete plant operations would save the City money since it was already pretreating the water before going to the water treatment plant. Mr. Gibson also explained the process of the concrete going into the trucks, with any dirt and extra dust entering the retention pond. He said that all of the materials are watertight sealed, and the only dust point would be about a foot from the truck which any excess would also be vacuumed back up into the bins. Mr. Gibson then commented that he had previously owned a concrete plant in Tennessee where there was no notice of violations for ten years of operation from the Department of Air Quality. He also explained that the water would be recycled for operations and any remaining would go through the ponds to be discharged under heavy monitoring with annual inspections.

Colin Cannell asked to clarify the location of the three ponds on the site plan. Fred Gibson responded that the ponds were all located on the south corner of the site and would be tested and cleaned out every week. He also stated that records of disposal, cleanouts, testing, and maintenance would be maintained.

Judy Taylor asked about hours of operation and noise. Fred Gibson responded that the main operating hours would be from 7 a.m. to 5 p.m. with the occasional exception of large pours that might be earlier. He said the only noise would be from the trucks running and noted the surrounding uses were also industrial.

Colin Cannell asked if there were any plans to develop the +/- .58-acre piece of land that the company also owned and shared his concern that the sidewalk plans did not include that parcel. He asked if the City had discussed with them about extending the sidewalk to connect to the next property. Mike Moore, VM Development, replied that during the TRC process sidewalk was added to the development. He explained that currently there was no sidewalk developed on either side of the development and did not see a need to extend it. Mike Moore said that they would be open to filling that gap to connect when sidewalk was developed in the future.

Tom Boney Jr., Alamance News, asked if the proposed concrete plant was the first satellite location of the company. Fred Gibson responded that yes, it was the first satellite location. Mr. Boney then asked how long the company had been in business. Mr. Gibson responded that the business had been in operation for 47 years and had changed names from Asheboro Ready Mix to Piedmont Ready Mix about 3 years ago. Mr. Boney asked if there were any air quality citations for the company in its 47-year history. Mr. Gibson said he was not aware of any citations.



Kurt Pearson made a motion to approve the Special Use Permit as follows:

*Motion to approve the Special Use Permit as presented.*

*Motion to find that the request is both reasonable and in the public interest because it has been found that the request:*

- a. Will not materially endanger the public health or safety;*
- b. Will not substantially injure the value of adjoining or abutting property;*
- c. Will be in harmony with the area in which it is located; and*
- d. Will be in conformity with the land development plan or other plans officially adopted by the City Council.*

William Chapman seconded the motion, which passed unanimously.

Chair Tulauskas noted that the request will go to the City Council on November 6, 2023, at 6 p.m.

David Scott asked what the scope and size of the development will be in comparison with other operations in Orange or Alamance County. Fred Gibson replied that the goal was about four loads of concrete per day, which was comparable with others in the area. Tom Boney, Jr. asked if the Chandler Concrete Plant on Senator Ralph Scott Parkway was similar. Mike Moore responded that property was a similar size.

- 5. Request to rezone a +/- 3.8-acre unaddressed property with frontages on Lake Latham Road and West Holt Street (GPIN: 9815147486), portions of a +/- 27.5-acre property addressed 1268 West Holt Street (GPIN: 9815242044), and portions of a +/- 6.8-acre unaddressed property with frontages on Sun Ray Lane and Lake Latham Road (GPIN: 9815125977) from Heavy Manufacturing and Light Manufacturing to Heavy Manufacturing, Conditional District to allow for a railyard on a +/- 8.03-acre site by Samet Corporation.**

Samet Corporation is requesting approval to conditionally rezone one property and portions of two other properties (GPINs 9815147486; 9815242044; 9815125977), totaling +/- 8.03 acres and located with frontages on West Holt Street, Lake Latham Road, and Sun Ray Lane from HM and LM to HM (CD) to allow for a rail transload facility. A conceptual site plan is included with the request and shows recombination of the subject parcels. The properties are located in Alamance County in the Mebane Extraterritorial Jurisdiction (ETJ). The applicant has agreed to petition for annexation.

The site-specific plan and staff report are provided in the meeting agenda packet available [here](#).

Ashley Ownbey provided a more detailed overview and PowerPoint presentation of the request.





Brian Hall, President of Real Estate for Samet Corporation, presented plans from 2001 that originally showed rail service to the industrial park. He gave a basic timeline: 2001 original plan; 2010 statewide competition for rail access; 2011 winning the competition to have the rail access at North Carolina Industrial Center (NCIC) in Mebane; 2014 Cambro site built with rail access. He explained the partnership with eight different organizations for Cambro to get rail access. He also said that the extension of the rail line would accommodate a maximum of ten additional cars. Mr. Hall presented that the proposal was an extension using the current switch and no hazardous materials would be transported. He reported that a neighborhood meeting was held via Zoom on October 3, 2023, and only one family had participated in the meeting and shared no concerns about the project.

Colin Cannell asked about the routing of trucks and about the original proposed access to NC Highway 119. Brian Hall explained that NCIC originally built a portion of Development Center Drive, which provides access to Airgas. He said that the NCDOT was planning to extend Development Center Drive to Lake Latham Road and Lotus Bakery now owns a large portion of the property. He said that NCIC would help fund the extension of the road if the NCDOT wanted to move forward with the project. Ashley Ownbey commented that the NCDOT was committed to the project, but there currently was no timeline or funding.

Colin Cannell asked about the best route for trucks accessing the facility to or from NC Highway 119. Brian Hall replied that the best route is the current route, which involves a left turn onto Lake Latham Road and travel on Gibson Road.

William Chapman asked if staff had heard from any neighbors about the project. Ashley Ownbey responded that staff had not received any phone calls or visits.

Judy Taylor asked about the buffer along Sun Ray Lane since some of the houses currently faced Cambro. Ashley Ownbey replied that there was a minimum 10-foot buffer which is proposed to be wider in some areas. She also stated that evergreen plantings were shown in the buffer. Judy Taylor also asked if any of the existing trees would stay or if they would all be removed. Brian Hall replied that any trees they could keep would stay. Ashley Ownbey also noted a retaining wall is proposed along Sun Ray Lane.

Omega Wilson, co-founder of the West End Revitalization Association (WERA), said his home is located at the corner of Moore and West Holt Street. He remarked on the truck traffic turning right onto West Holt Street and then Moore Street. He said that a formal letter was sent to the district office of NCDOT to request a designated truck route. He explained that some trucks were traveling other secondary roads, such as Tate Avenue, which was not built for large trucks and was a major concern for neighbors in the area. Mr. Wilson explained that his other concern was related to air quality of railyards from his experience working as an advisor for the Environmental Protection



Agency. He said historically the rail car movers in railyards are not in compliance with the engines on the railway, making them heavier polluters and affecting public health. He commented that the main concern of heavy truck traffic on secondary roads should be addressed on the plan with a truck route.

Judy Taylor asked if the neighbors had asked NCDOT to reduce the speed limit on West Holt Street due to the amount of traffic since the crossing at Lake Latham Road to US 70 was closed. Omega Wilson replied that they did not request the reduction in speed but had requested installation of a traffic signal at the intersection of Moore Street and West Holt Street. He said that NCDOT has not responded to the request. Another request was made for a traffic count at that intersection. He said that NCDOT replied that they would not complete a count at the intersection.

Brian Hall responded that he understood the concerns and said that the development was tied to a traffic study that was completed in 2001 for the original plan and updated in 2011. He said that NCIC was committed to working with the NCDOT and the City of Mebane and has consistently updated plans throughout the years. He said that NCIC was vocal about not closing the crossing at Lake Latham Road, which was ultimately NCDOT's decision.

Colin Cannell asked what type of rail car movers were going to be used in the facility. Brian Hall replied that the engine bringing the cars would back up and reconnect so there would not be any railyard movers.

Tom Boney Jr. asked where the truck loading would be on the property. Brian Hall replied that it would be the concrete pad area shaded in grey on the site plan. Mr. Boney also asked where Cambro was in relation to the loading area. Mr. Hall said that Cambro was located to the east towards the bottom of the site plan. Mr. Boney then asked if there was still a plan to extend the rail line south. Mr. Hall replied that in 2010 that was the intention, but the property has since been purchased by Lotus Bakeries and developed with the Airgas facility. He said that the transload plan was to provide closer rail access instead of trucking from Winston-Salem or Fuquay Varina. Mr. Boney asked what the timeframe was and if the project would expand beyond the funding that had been provided last year. Mr. Hall responded that the project would not go beyond the funding already provided. He also said that the project would move as quickly as possible through Planning Board approval, City Council approval, design approval with North Carolina Railroad, Norfolk Southern, and then City of Mebane's approval to start construction.

Tom Boney, Jr. asked Ashley Ownbey if the NCDOT still had the opinion that anyone could travel on any NCDOT road, and they would not make a designated truck route. Ashley Ownbey replied that historically, that was the case with NCDOT. She said that there had been complaints from neighbors located near the North Carolina Commerce Park about trucks traveling Kimrey Road or Cherry Lane and the NCDOT would respond with something like what Mr. Boney articulated.



Omega Wilson clarified that truck routes exist in other states where governments work with communities to file requests to identify and mark truck routes. He also commented that typically the larger yard would be used to create more rails and asked if in future more cars would be added that would require rail car movers. Brian Hall replied that the maximum capacity of the site was only ten cars due to site restraints of not owning additional land.

Colin Cannell made a motion to approve the request as follows:

*Motion to approve the HM(CD) zoning as presented.*

*Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan Mebane by Design. The request:*

- Is for a property within the City's G-1 NC 119 Bypass and US 70 Mixed Use Growth Area and is part of the North Carolina Industrial Center (Mebane CLP, p. 70).*

Judy Taylor seconded the motion, which passed unanimously.

Chair Tulauskas noted that the request will go to the City Council on November 6, 2023, at 6 p.m.

#### **6. Updates to the Bylaws and Rules of Procedure of the Mebane Planning Board**

Ashley Ownbey presented that staff had announced at the July 17, 2023, meeting that the Planning Board would be updating the Bylaws and Rules of Procedure document. Staff requested comments from the Planning Board at their September meeting. She said that staff would use discussion from the October meeting to inform conversation with the City Attorney and return to the Planning Board with a draft to the November or December Planning Board meeting.

Kurt Pearson asked who elects the officers since the document stated that City Council elected them. Colin Cannell said that there were more parts that were not correct. Ashley Ownbey replied that staff had taken some information provided from other examples and would correct the document. She said that the City Council appoints members and does not elect officers. Kurt Pearson also asked about term limits. Ashley Ownbey explained that section needs to be updated.

Colin Cannell commented that the current document had too many ambiguous meanings and corrections to be made. He provided an example in Article 4 Section 4 (c). He shared his preference to write a new document instead of trying to correct and rewrite the original document. Ashley Ownbey replied the current discussion was for recommendations, with recommendation at a later meeting.

David Scott asked if staff had reviewed Colin Cannell's proposal. Ashley Ownbey replied that staff had reviewed it and that the Board was welcome to add more comments or recommendations during the time that staff consult with the City Attorney.





Kurt Pearson asked to leave the item open for discussion when it returns to the Planning Board. He also asked when the minutes of the Planning Board meeting were available after the meeting. Ashley Ownbey replied that draft minutes are included in the City Council packets. Kurt Pearson asked if a digital record or public records request for the minutes could be provided after the meeting. Ashley Ownbey said that the City had requests in the past for minutes immediately following a meeting and the written minutes could not be provided by Staff that quickly. She said that staff would work with the requestor to get the minutes to them as soon as staff had completed the draft. Kurt Pearson asked if the City could provide the digital record of the minutes. Ashley Ownbey replied that the only digital record was through YouTube which was available at any time. Kurt Pearson asked how the minutes would be provided if the person did not have that type of access. Ashley Ownbey replied that in the past staff summarized sections of a meeting to respond more quickly to a request. Kurt Pearson explained that twenty years ago, staff had refused to provide information until City Council packets were distributed and he was concerned that it could happen again. Ashley Ownbey responded that staff would work with anyone requesting public information.

Tom Boney Jr. commented about the fact that North Carolina law now specifies that “draft minutes” can be requested when they are created and are public records.

Colin Cannell commented that the Rules of Procedure were required by General Statute to be published on the website and were currently not published.

**7. New Business**

There was no new business discussed.

**8. Adjournment**

Chair Tulauskas adjourned the meeting at approximately 7:43 p.m.