



Planning Board
Regular Meeting Agenda
March 11, 2024, 6:30 p.m.

1. Call to Order
2. Approval of February 12, 2024, Meeting Minutes
3. City Council Actions Update
4. Request to modify the conditional zoning district, B-2(CD), of three lots, totaling +/- 6.19-acres and located at Wilson Road and Forest Oaks Lane (GPINs 9824046036, 9824049256, and 9824038914) to allow for a farm supplies and equipment retail use by Hendon Tiller Mebane 3.0, LLC.
5. New Business
6. Adjournment



The Planning Board meeting was held at the Glendel Stephenson Municipal Building located at 106 E. Washington Street, Mebane, NC 27302 and livestreamed via YouTube. The video can be accessed through the following link: <https://www.youtube.com/watch?v=6sXhsT6H2Xk>.

Members Present:

Edward Tulauskas, Chair
Judy Taylor, Vice Chair
Colin Cannell
William Chapman
Kurt Pearson
Keith Hoover
Susan Semonite

Members Absent:

David Scott
Gale Pettiford

City Staff Present:

Ashley Ownbey, Development Director
Briana Perkins, City Planner
Kirk Montgomery, IT Director

1. Call to Order

At 6:30 p.m. Chair Tulauskas called the meeting to order.

2. Approval of January 16, 2023, Meeting Minutes

Judy Taylor made a motion to approve the meeting minutes. William Chapman seconded the motion, which passed unanimously.

3. Request to rezone two properties totaling +/- 1.2 acres and located on S. Third Street (GPINs: 9815913029 and 9815902977) from R-20, Residential District, to R-12, Residential District, by Holly Gilliam.

Holly Gilliam requests to rezone two lots totaling +/- 1.2 acres located on S. Third Street (GPINs 9815913029 and 9815902977), from R-20 to R-12. The rezoning would allow the properties to be subdivided into three lots. The properties are located within City Limits and in the Secondary Growth Area identified by *Mebane By Design*, the Comprehensive Land Development Plan.

Ashley Ownbey provided a more detailed overview and PowerPoint presentation of the request.

Blake Giliam, son of the applicant, provided that he planned on constructing three nice homes on the site and preserving existing trees on the properties. Blake Giliam said that when clearing the property, a lot of the kudzu was removed that was also growing into the neighboring church's property. He said after speaking with the church, that they were okay with the proposed use of the properties. He also explained the three homes would blend in with the surrounding properties.



Susan Semonite asked if all driveways would be off S. Third Street. Blake Giliam responded all driveways would be on S. Third Street.

Colin Cannell asked if the property lines were moving. Blake Giliam said yes, the plan was to create three equal size lots.

Olivia Ruffin, 204 Beauregard Lane, asked what size homes would be put on the lot and what type of homes they would be. Ms. Ruffin also expressed concern about traffic on S. Third Street. Blake Giliam responded that the homes would be about 1,500 – 2,000 square feet single-family homes.

Holly Orlowski, 610 S. Fourth Street, asked how deep into the properties the houses would sit. Blake Giliam replied that the homes would be no closer than where the properties had been cleared. Holly Orlowski also asked if the houses would be toward the front of the properties. Blake Giliam responded that the homes would meet the minimum required setback.

Kurt Pearson commented on the existing R-12 zoning and commented that the requested zoning seemed appropriate. Colin Cannell added that two houses could be built by-right and it was just a matter of adding another house.

Keith Hoover made a motion to approve the request as follows:

Motion to approve the R-12 zoning as presented.

*Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan Mebane By Design. Specifically, the request:*

- Is for a property within the City's G-4 Secondary Growth Area and is generally residential in nature (Mebane CLP, p. 66).*

Kurt Pearson seconded the motion, which passed unanimously.

- 4. Request to modify the conditional zoning district, B-2(CD), of three lots, totaling +/- 6.19-acres and located at Wilson Road and Forest Oaks Lane (GPINs 9824046036, 9824049256, and 9824038914) to allow for a farm supplies and equipment retail use by Hendon Tiller Mebane 3.0, LLC.**

Mike Fox, an attorney representing the applicant, asked the Planning Board for a continuation of the request to the March meeting. Mr. Fox stated that a neighborhood meeting has not been held, and that they wanted to make sure the meeting occurred to receive feedback from neighbors before the request was considered by the Planning Board.

Kurt Pearson made a motion to continue the request by Hendon Tiller 3.0, LLC. William Chapman seconded the motion, which passed unanimously.



5. Request to establish R-8 (CD) zoning on two properties (GPINs: 9824530199 and 9824523988) totaling +/- 12.01 acres at 7515 Bowman Road, located outside of the Mebane Extraterritorial Jurisdiction (ETJ) in Orange County, for a development of 89 townhomes by Bowman Rd 1, LLC.

Bowman Rd 1, LLC requests to conditionally rezone two properties totaling +/-12.01 acres preliminarily addressed at 7515 Bowman Road (GPINs 9824530199 and 9824523988) from Orange County AR to R-8(CD). The property is located outside of the Mebane Extraterritorial Jurisdiction (ETJ) in Orange County. The request is for the development of 89 townhomes. The properties are under contract to purchase, contingent upon approval of the conditional rezoning. The applicant proposed the following conditions as part of the conditional rezoning request:

Requested Conditions

- Minimum 8- foot side yard setback for end units, 10-foot side street setback, and minimum 15-foot rear yard setback.
- Provide a payment in lieu of public recreation in the amount of \$54,041.
- Provide multi-modal improvements with a 10-foot multi-use path along Bowman Road and left and right turn lanes at the development's entrance.

The site-specific plan and staff report are provided in the meeting agenda packet available [here](#).

Briana Perkins provided a more detailed overview and PowerPoint presentation of the request.

Amanda Hodierne, attorney representing Bowman Rd 1, LLC, introduced the project team from Bowman Rd, 1 LLC, including Cliff Minsley, Dwayne Dixon, Daniel Scarlett, and Brad Koch. She also said that Aden Stoltzfus, the civil engineer for the project, was in attendance to answer technical questions.

Amanda Hodierne presented the request. She mentioned that the number of townhomes allowed by the R-8 zoning district density standards is 115, and the applicant is showing a plan for 89 townhomes. Amanda Hodierne reviewed the property's location in an industrial growth strategy as identified by the Comprehensive Land Development Plan. The growth area allows for multi-family or workforce housing in close proximity to the industrial uses. She said that the project focused on the goal of providing appropriate housing to match the workforce definition by HUD of "housing that is affordable for those earning between 80% and 120% of the area median income (AMI)". She also provided that using the Fannie Mae AMI Lookup Tool, that 80% of the area's AMI of \$108,500 is \$86,800.

Amanda Hodierne also provided that the R-8(CD) zoning was chosen to be consistent with the neighboring Meadowstone development. She mentioned that there was an increased setback of 30-feet from Bowman Road, 4.69 acres of open space, private recreational amenities, and public



streets. She also provided that the 8-foot side yard condition was for those adjacent to open space and the rear yards largely abut open space or buffers. Amanda Hodierne also showed renderings and provided architectural commitments for the development. She stated that a neighborhood meeting was held virtually in early January, with no participants.

Susan Semonite asked if the townhomes were for rent or for sale. Amanda Hodierne replied that the townhomes would be for sale.

Colin Cannell said that the illustration of the shaded pavilion had a playground, but a playground was not shown on the plans. Amanda Hodierne replied that the photo provided was just the best depiction of the pavilion, and the project would not include a playground.

Susan Semonite asked about the townhome units on the site plan that appeared close to each other. Amanda Hodierne replied that the lines are the boundaries of the property, which are 15 feet from the units, and there is some extra common element.

Colin Cannell asked how the property was not currently in Mebane's ETJ. Ashley Ownbey replied that Meadowstone, Bowman Village, and Bowman Place all required annexation before the properties were rezoned. Colin Cannell asked if the ETJ was based off a certain point. Ashley Ownbey replied that the City has not expanded the ETJ in many years. Kurt Pearson added that the ETJ does not expand automatically, and that Mebane would have to make a request. Amanda Hodierne also pointed out that Orange County representatives were part of the initial review to ensure no issues or concerns.

Colin Cannell asked about the workforce housing and how the Fannie Mae AMI calculated number correlated. Amanda Hodierne replied that the project is targeting affordability guidance and hitting achievable housing stock. She explained how to consider the income of \$86,800 in terms of housing costs by applying the 28% or 30% rule, which helps her client create benchmarks.

Colin Cannell asked how the workforce housing line be drawn to determine if it qualifies as being consistent with guidance in Mebane's comprehensive plan. Amanda Hodierne replied that the numbers would be used as a guide for appropriate housing even though price points could not be a factor in rezoning cases and that the project would keep within the conceptual goals of the comprehensive plan.

Ashley Ownbey commented that the developer originally asked about multi-family housing, and staff did not recommend multi-family in this area. She also said that the Unified Development Ordinance defines townhomes differently from single-family detached and staff considered the property to not be a single-family, detached subdivision where the size of the property adds to the overall cost. Colin



Canell commented that not being able to use price points for rezoning cases where workforce housing is recommended and not defined puts the City in a bind.

Judy Taylor commented that it was difficult to define workforce housing since it is viewed differently depending on the area and having HUD put a specific definition does not help. Colin Cannell said that his interpretation of the comprehensive plan would be the housing serve the industrial uses in that area such as Morinaga.

Cliff Minsley, 3301 Atlantic Avenue in Raleigh, said that they based the workforce housing on the economic development of the area. He listed Morinaga, Walmart distribution center, and Lidl's distribution facility as workforces that the development was targeting. He said that the designed units would fall within the \$300,000-400,000 price range, keeping with the incomes in the workforce housing range.

Colin Cannell asked about the growth map having Meadowstone within the industrial zone and not being considered as workforce housing at the time it was approved. Ashley Ownbey replied that the growth map was outdated. She said that when the Buckhorn Area Plan was presented to City Council, an amendment to the comprehensive plan removed the Meadowstone property from the industrial growth area.

Colin Cannell voiced his concern that more residential was being built in an industrial zone and asked why the City was allowing the exception of housing closer to industrial uses. Ashley Ownbey replied that the City has budgeted to update the Comprehensive Land Development Plan and review of the growth areas is expected. She said that more industrial development was emerging around West Ten Road and Buckhorn Road. She suggested West Ten Road might serve as a boundary between residential and industrial areas in the upcoming plan update.

Amanda Hodiernne commented that new studies have found that it was a mistake to remove housing from employment zones. She said that housing in industrial zones could be done, as long as it was carefully planned. She also said that they had reached out to David Putnam, with the Alamance Chamber, to ask if housing in the industrial area presented issues. She said that Mr. Putnam was not concerned because Bowman Road and Ben Wilson Road already have a residential feel, and most of the industrial uses would be closer to the easier access points. She also mentioned that there was already a natural stream corridor that helped separate the residential and industrial uses.

Tom Boney Jr., Alamance News, asked about the geography of the area median income (AMI). Colin Cannell replied that the area was Orange County. Mr. Boney asked exactly how broad the area was. Mr. Cannell replied that the area only includes the perimeter of Orange County and not Durham and Chapel Hill. He added that just to the west in Alamance County, the AMI was much lower.



Tom Boney, Jr. asked for the Alamance County AMI. Ashley Ownbey replied that the 2023 AMI for the Burlington MSA was \$78,800. Mr. Boney asked if he was correct that the townhome price point was estimated at \$300,000 to \$400,000. Cliff Minsley confirmed the price point.

Judy Taylor made a motion to approve the request as follows:

Motion to approve the R-8 (CD) zoning as presented.

*Motion to find that **the application is consistent** with the objectives and goals in the City's 2017 Comprehensive Land Development Plan Mebane By Design. Specifically, the request:*

- *Is for properties within the City's G-2 Industrial (Part of BEDD) and proposes workforce housing (Mebane CLP, p. 76); and*
- *Provides a greenway and open space in a developing area, connecting to other locations, consistent with Open Space and Natural Resource Protection Goal 4.3 (p. 17, 89, & 90).*

William Chapman seconded the motion, which passed unanimously.

Chairman Tulauskas noted that the request will go to the City Council on March 4th at 6:00 p.m.

6. Revisions to the Updated Planning Board Rules of Procedure

Ashley Ownbey informed the Board about the revisions made to the previously reviewed Planning Board Rules of Procedure, highlighting two revisions that included a sentence in the introduction paragraph and in the order of business section.

Colin Cannell asked how the City defined policies. Ashley Ownbey replied that a policy example would be the "Paper Flow Policy" related to wastewater permitting. She referenced the Evolve project included a requested condition related to this policy. Colin Cannell asked if policies had to be written for the Board to consider them. Ashley Ownbey replied that the Board should consider written policies.

Colin Cannell expressed concern with the Planning Board only considering the written plans and policies. He referenced the Bowman Road Townhomes and mentioned how the Board should consider residential being allowed in an industrial growth area. He also commented that the Planning Board should have access to informal amendments to plans and policies. Ashley Ownbey replied that the main purpose of the revisions was to recognize that the City Council is the policymaking body for the City of Mebane.

Colin Cannell made a motion to approve the Planning Board Rules of Procedure with the revisions as presented. William Chapman seconded the motion, which passed unanimously.



7. New Business

Ashley Ownbey informed the Board that the City Council will hold public hearings at their March meeting for the Recreation and Parks Comprehensive Master Plan and the updated Bicycle and Pedestrian Transportation Plan.

8. Adjournment

Chair Tulauskas adjourned the meeting at approximately 7:24 p.m.

DRAFT



AGENDA ITEM #4

RZ 23-01

Conditional Rezoning **Amendment** –
Tractor Supply

Presenter

Rachel Gaffney, City Planner

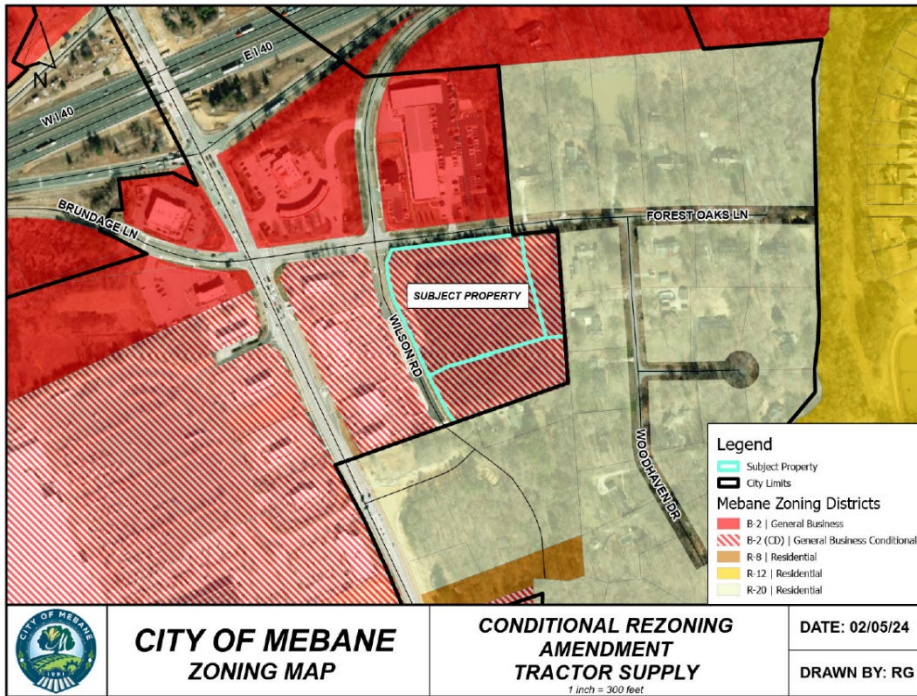
Applicant

Hendon Properties, LLC
Attn. Mark Tiller
3445 Peachtree Rd NE #465
Atlanta, GA 30326

Public Hearing

Yes No

Zoning Map



Property

3995 Wilson Road
Alamance County GPINs:
9824046036,
9824038914,
9824049256

Proposed Zoning

B-2 (CD) – revised conditions

Current Zoning

B-2 (CD)

Size

+/-6.19 acres

Surrounding Zoning

B-2 (CD), B-2, R-20,

Surrounding Land Uses

Commercial, Residential

Utilities

Available

Floodplain

No

Watershed

No

City Limits

Yes

Application Brief

See Planning Project Report for more details.

Recommendations	
Technical Review Committee:	The Technical Review Committee (TRC) has reviewed the revised site plan three times and the applicant has revised the plan to reflect the comments.
Planning Staff:	The proposed development “Tractor Supply” is consistent with the guidance provided within Mebane By Design, the Mebane Comprehensive Land Development Plan.
Zoning & Land Use Report	
Jurisdiction:	Mebane City Limits
Proposed Use By-Right (Yes/No):	No
Type of Rezoning Request:	Conditional
Special Use Request (Yes/No):	No
Consistency with Mebane By Design (Yes/No):	Yes
Utilities Report	
Available Utilities (Yes/No):	Yes
Adequate Stormwater Control (Yes/No):	Yes
Innovative Stormwater Control (Yes/No):	No
Consistency with Long-Range Utility Plan (Yes/No):	Yes
Transportation Report	
Traffic Impact Analysis Required (Yes/No):	Yes
Multi-Modal Improvements (Yes/No):	Yes
Consistency with Bike/Ped Transportation Plan (Yes/No):	Yes

Summary

Hendon Properties, LLC is requesting approval to revise the conditions for the +/- 6.19-acre property located on Wilson Road and Forest Oaks Lane (GPINs 9824046036, 9824038914, 9824049256), zoned B-2 (CD) to allow for a farm supplies and equipment retail use. The requested conditions reflect that Wilson Road will no longer be extended and a Traffic Impact Analysis was submitted to address the potential impacts of the proposed development without that connection. The property is located in Alamance County in the Mebane City Limits.

The +/- 6.19-acre parcel has been subdivided into three lots. Lot 4 will be developed as the farm supplies and equipment retail use, Lot 5 will be reserved for future commercial development, and Lot 6 will be primarily utilized as a stormwater management area. The revised site-specific plan proposes that Lot 5 will be subdivided into two lots. The proposed new Lot 7 is intended to be sold to Chick-Fil-A for use as a staff and overflow parking lot. The site plan shows three driveways, with two on Forest Oaks Lane and one on Wilson Road. The driveway on Wilson Road will provide shared access for the proposed Lots 4, 5, and 7.

Additional changes to the site plan originally approved by the Mebane City Council include:

- A reduction in the amount of curb and gutter on Forest Oaks Lane. The new site plan shows curb and gutter on Forest Oaks Lane opposite the site ending at the second commercial driveway on Forest Oaks Lane. The original site plan had curb and gutter extending past the first residential driveway on Forest Oaks Lane.
- The addition of crosswalks at the intersection of Wilson Road and Forest Oaks Lane and a mid-block crossing of Wilson Road.
- A minor modification to the parking lot layout around the entrance to the fenced outdoor display area.
- The 3,827 SF Garden Center has been changed to a 2,640 SF Live Goods Center. This has increased the outdoor display area from 24,040 SF (14.58% of the site area) to 26,745 SF (16.22% of the site area). Of the total outdoor display area, 2,640 SF will be covered, 19,654 SF will be fenced, and the remaining 4,451 SF will be uncovered and unfenced.

As the developer did not secure the right-of-way needed to extend Wilson Road, a TIA was submitted for this project. The developer is required to make the following improvements:

- Provide a westbound left turn lane on Forest Oaks Road with adequate storage and taper, as requested by the NCDOT and the City of Mebane.
- Compliance of multimodal transportation requirements will be examined by staff to ensure adequacy of pedestrian, bike, and transit facilities along the property frontage. Additional crosswalks shall be considered at the intersection of Wilson Road and Forest Oak Lane.

The following conditions are proposed with the conditional rezoning request:

Applicant-Proposed Conditions of Zoning District	Mebane UDO Requirements
<p>The stormwater pond shall be constructed for a 100-year storm event. As noted on Sheet C4.0, the current design is considered by staff to be conceptual and additional design details are required with construction plans.</p>	<p>Section 5-1 of the Mebane UDO requires development to comply with applicable stormwater management requirements. Stormwater review and permitting typically occurs during construction plan review.</p>
<p>The applicant has requested a total outdoor display area of 26,745 SF or 16.22% of the site area. The breakdown of the proposed outdoor display area is as follows:</p> <ul style="list-style-type: none"> • 2,640 SF Covered Area • 19,654 SF Fenced Area • 4,451 SF Other 	<p>Section 4-7.8.H.2(c) of the Mebane UDO limits the outdoor area devoted to the display and sales of retail good to a maximum 15 percent of the net developable lot area.</p>

Financial Impact

The developer will be required to make all of the improvements at his own expense.

Suggested Motion

1. Motion to approve the revised conditions of the B-2(CD) rezoning as presented.
2. Motion to find that **the application is consistent** with the objectives and goals in the City’s 2017 Comprehensive Land Development Plan *Mebane By Design*. Specifically, the request:
 - Is for a property within the City’s G-4 Secondary Growth Area and is generally commercial in nature (Mebane CLP, p. 66).

OR

3. Motion to **deny** the revised conditions of the B-2(CD) rezoning as presented due to a lack of
 - a. Harmony with the surrounding zoning or land use

OR

 - b. Consistency with the objectives and goals in the City’s 2017 Comprehensive Land Development Plan *Mebane By Design*.

Attachments

1. Preliminary Presentation Slides
2. Zoning Amendment Application

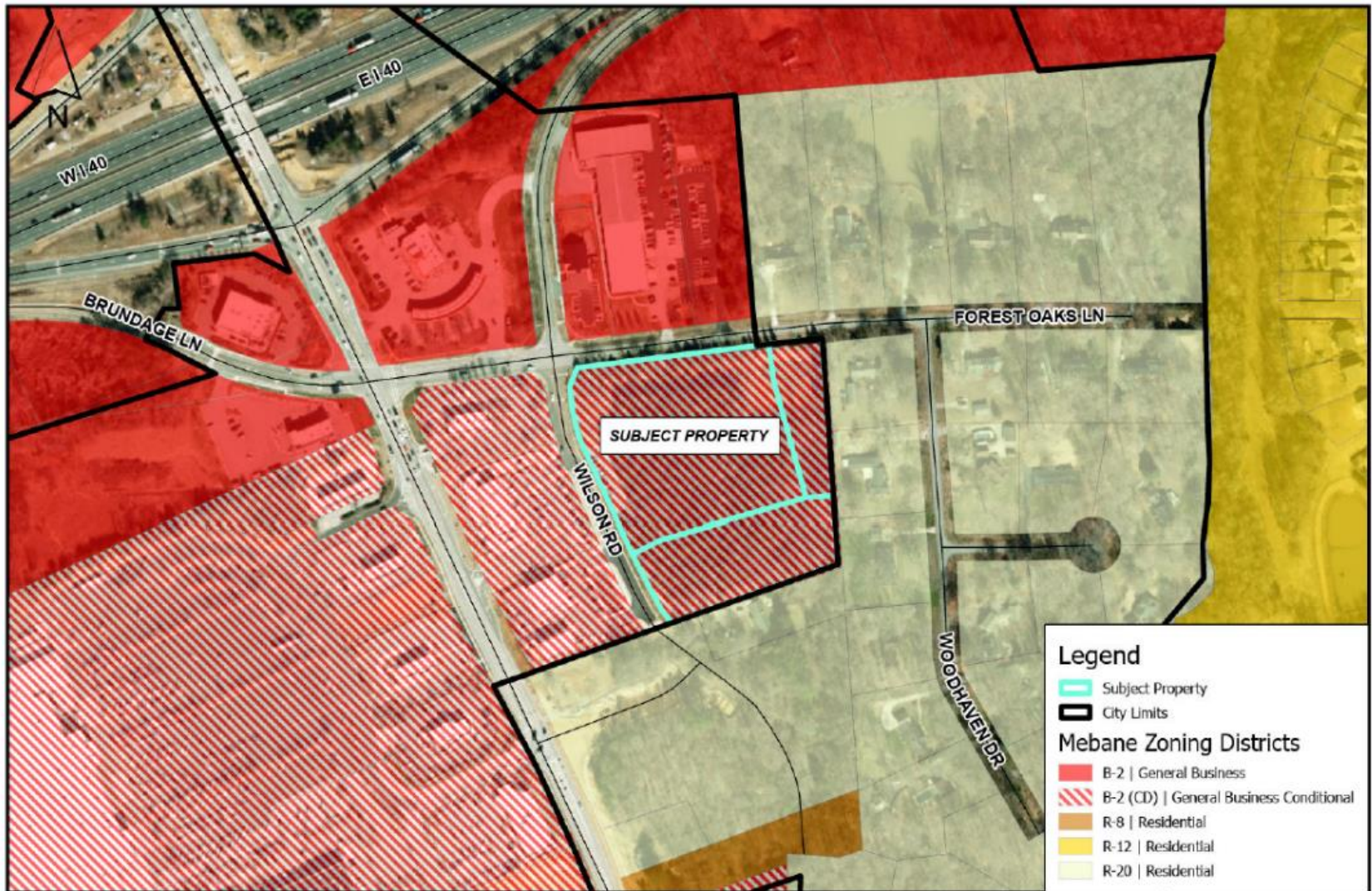
3. Zoning Map
4. Site Plan
5. Planning Project Report
6. Preliminary Water and Sewer System Approval Letter
7. Technical Memorandum – City Engineering Review
8. Traffic Impact Analysis – [click here to access](#).
 - a. VHB TIA Review



Rachel Gaffney, City Planner

Request to modify a conditional zoning district, B-2(CD),
by Hendon Tiller Mebane 3.0 LLC





Legend

- Subject Property
- City Limits

Mebane Zoning Districts

- B-2 | General Business
- B-2 (CD) | General Business Conditional
- R-8 | Residential
- R-12 | Residential
- R-20 | Residential



**CITY OF MEBANE
ZONING MAP**

**CONDITIONAL REZONING
AMENDMENT
TRACTOR SUPPLY**

1 inch = 300 feet

DATE: 02/05/24

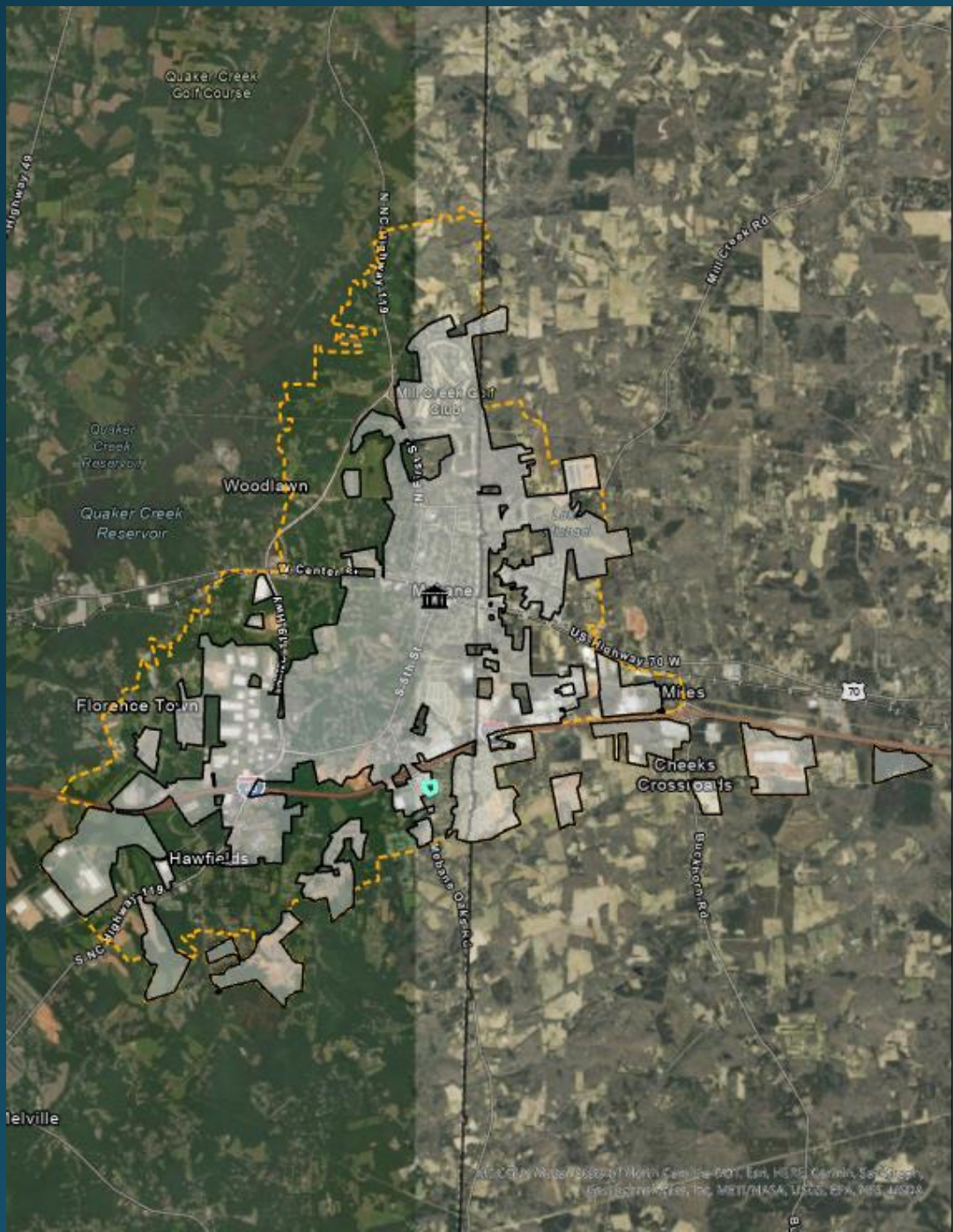
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Tractor Supply

Conditional Zoning Request

- Request by Hendon Tiller
Mebane 3.0 LLC
- Three lots, totaling +/- 6.19
acres
- Existing zoning: B-2 (CD)
- Requested zoning: B-2 (CD) –
revised conditions





Tractor Supply

Conditional Zoning Request

- Mebane City Limits
- Annexation approved since last review



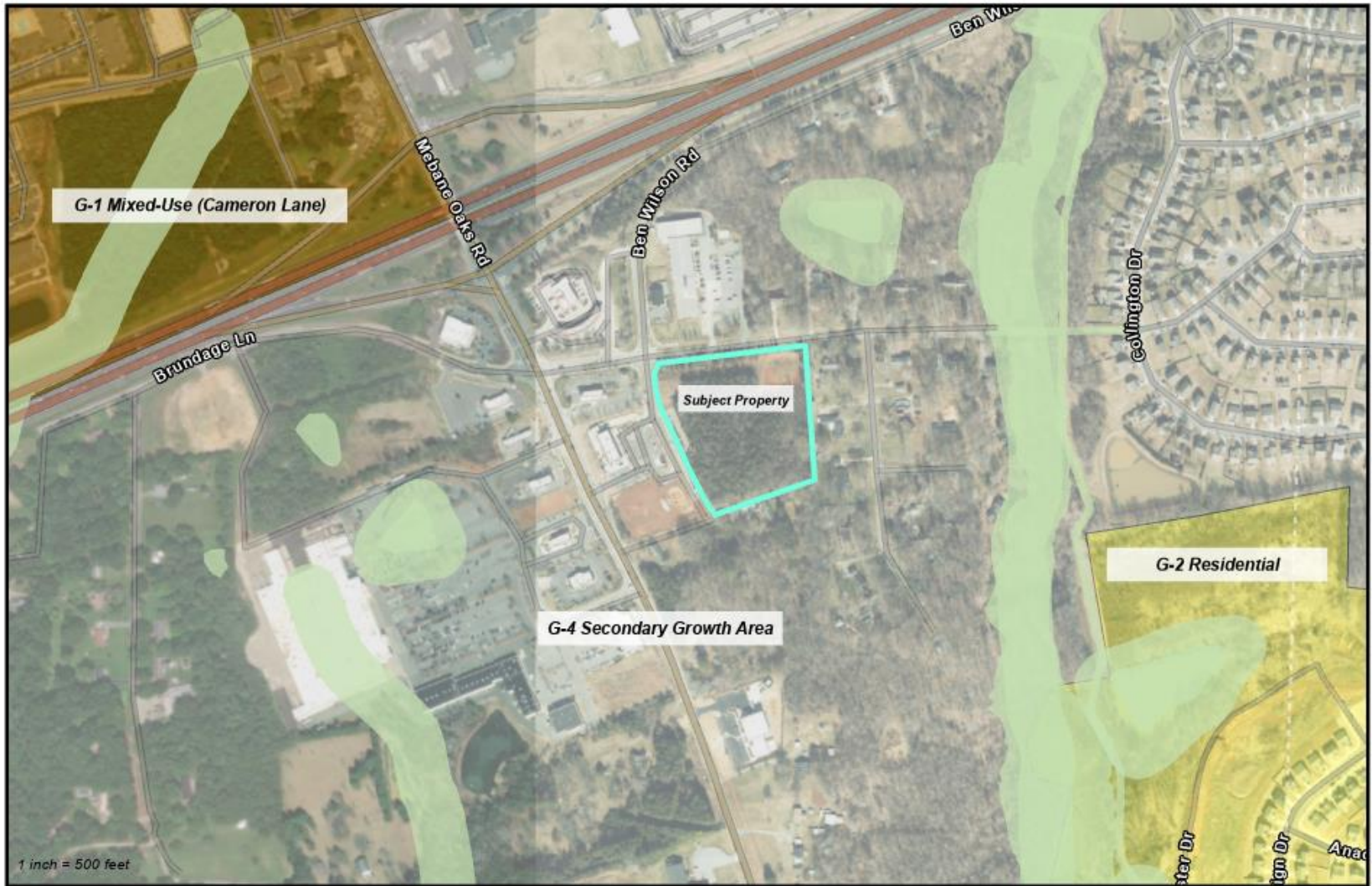


Tractor Supply

Conditional Zoning Request

- Vacant except for gravel parking, forested
- Surrounding uses include:
 - Restaurants
 - Retail
 - Medical and Veterinary offices, Fitness Gym, and Other Professional Service Uses
 - Residential





Tractor Supply Conditional Rezoning Request

- *Mebane By Design* G-4 Secondary Growth Area



Tractor Supply

Conditional Zoning Request

Modification of the B-2(CD) zoning is requested as the right-of-way for the required extension of Wilson Road could not be secured. The proposed development is still a farm supplies and equipment retail use as shown on site-specific plan.

Multi-modal Improvements:

- Construction of a 5-foot sidewalk on the east side of Wilson Road and on the south side of Forest Oaks Lane. Addition of crosswalks at Forest Oaks Lane and Wilson Road

Road Improvements:

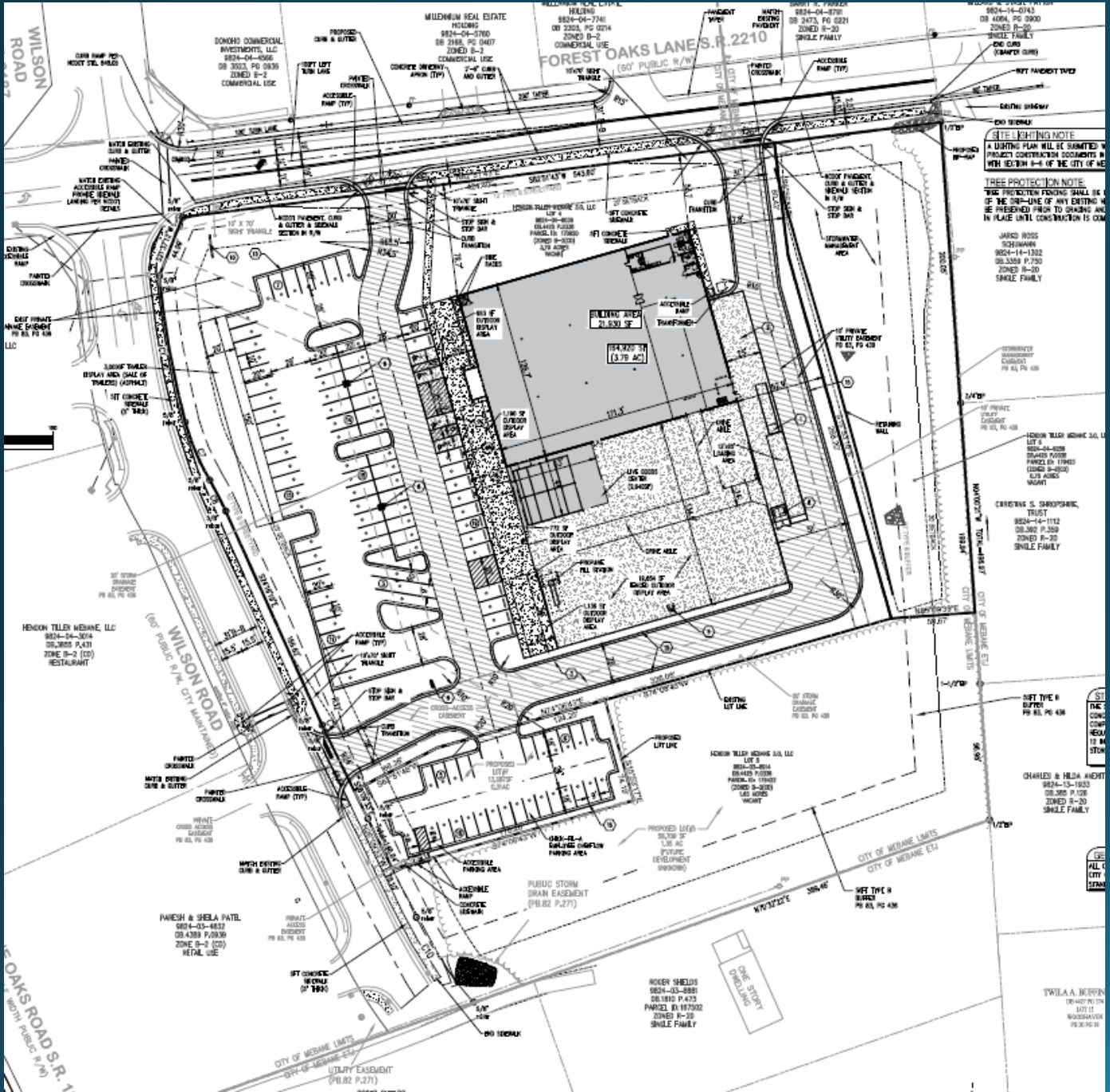
- Construction of a westbound left turn lane on Forest Oaks Road with minimal storage and taper.
- The amount of curb and gutter on Forest Oaks Lane has been reduced.

Proposed Conditions:

- Stormwater pond constructed for a 100-year storm event.
- Outdoor display area equal to 16.22% of total site area.

Subdivision:

- Revised site plan proposes that Lot 5 will be subdivided into Lot 5 and Lot 7. Lot 7 will contain overflow/staff parking for Chick-Fil-A.





Applicant Presentation





APPLICATION FOR A ZONING AMENDMENT

Application is hereby made for an amendment to the Mebane Zoning Ordinance as follows:

Name of Applicant: HENDON TILLER MEBANE S.O, LLC

Address of Applicant: 6.19 ACRES - FOREST OAKS & WILSON ROAD EXT.

Address and brief description of property to be rezoned: 6.19 acres - undeveloped property to the east of Wilson Road EXTENSION

Applicant's interest in property: (Owned, leased or otherwise) FEE SIMPLE OWNER

*Do you have any conflicts of interest with: Elected/Appointed Officials, Staff, etc.?

Yes ___ Explain: _____ No

Type of re-zoning requested: REVISION to a zoning requirement

Sketch attached: Yes sent under separate email; No

Reason for the requested re-zoning: UNABLE TO REACH AGREEMENT WITH ADJOINING LAND OWNER

Signed: *M. Tiller*

Date: 1-24-24

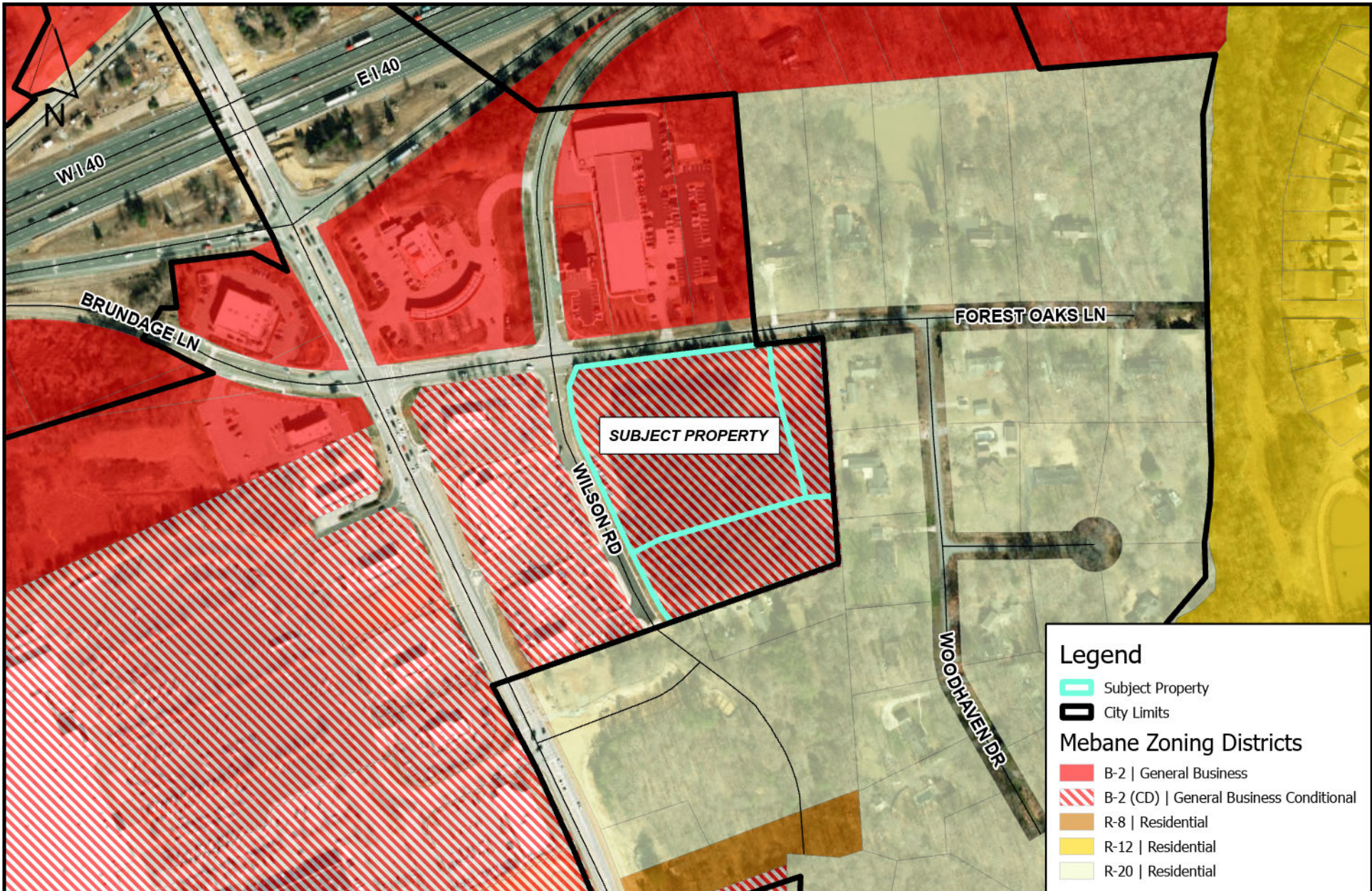
Action by Planning Board: _____

Public Hearing Date: _____ Action: _____

Zoning Map Corrected: _____

The following items should be included with the application for rezoning when it is returned:

1. Tax Map showing the area that is to be considered for rezoning.
2. Names and addresses of all adjoining property owners within a 300' radius (Include those that are across the street).
3. \$300.00 Fee to cover administrative costs.
4. The information is due 15 working days prior to the Planning Board meeting. The Planning Board meets the 2nd Monday of each month at 6:30 p.m. Then the request goes to the City Council for a Public Hearing the following month. The City Council meets the 1st Monday of each month at 6:00 p.m.



Legend

- Subject Property
- City Limits
- Mebane Zoning Districts**
- B-2 | General Business
- B-2 (CD) | General Business Conditional
- R-8 | Residential
- R-12 | Residential
- R-20 | Residential



**CITY OF MEBANE
ZONING MAP**

**CONDITIONAL REZONING
AMENDMENT
TRACTOR SUPPLY**

1 inch = 300 feet

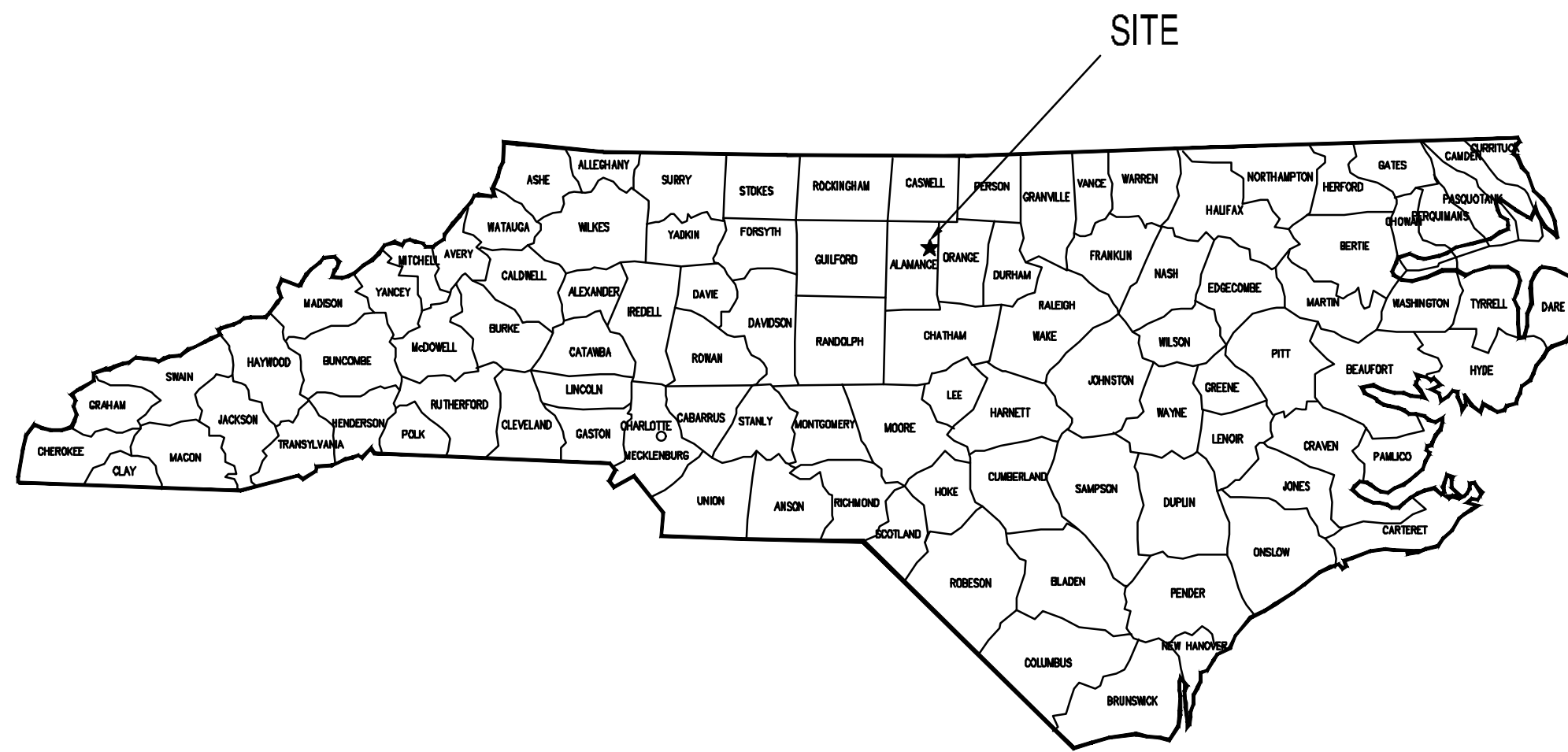
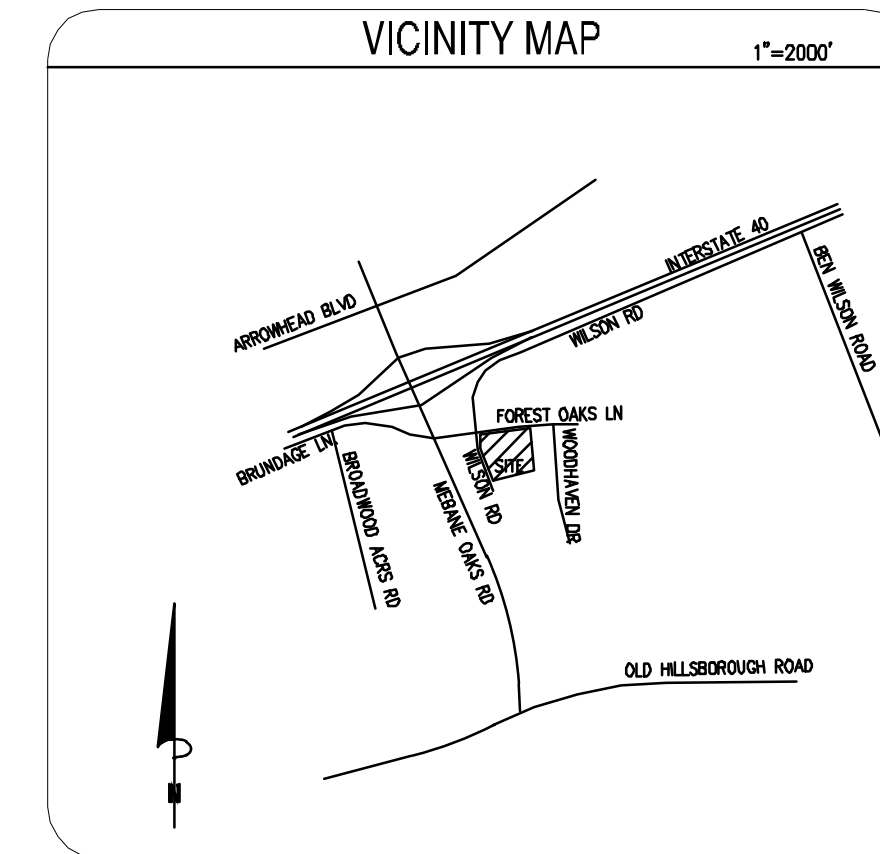
DATE: 02/05/24

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GENERAL NOTE
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF MEBANE AND NCDOT SPECIFICATIONS AND STANDARD DETAILS (LATEST EDITION)

PRELIMINARY SITE PLAN

Proposed Tractor Supply Wilson Road Mebane, North Carolina Alamance County



DEVELOPER
 Hendon Properties, LLC
 Attn. Mark Tiller
 3445 Peachtree Rd NE #465
 Atlanta, GA 30326
 404-262-7400
 mtiller@hendonproperties.com

CIVIL ENGINEER
 Bowman North Carolina, Ltd.
 4006 Barrett Drive, Suite 104
 Raleigh, NC 27609
 (919) 553-6570
 mlowder@bowman.com
 FIRM# F-1445



Know what's below.
 Call before you dig.

DEVELOPMENT DATA	
DEVELOPMENT NAME:	TRACTOR SUPPLY
STREET ADDRESS:	WILSON ROAD MEBANE, NC ALAMANCE COUNTY
OWNER:	HENDON TILLER MEBANE 3.0, LLC
PROPERTY IDENTIFICATION #(PIN):	9824-04-6036, 9824-04-9256 & 9824-03-8914
PROPERTY #:	170920, 179423 & 179422
DEED BOOK/PAGE:	4425 / 0336
PLAT BOOK/PAGE:	081 / 0385
EXISTING ZONING:	R-20 RESIDENTIAL
PROPOSED ZONING:	B-2(CD) - GENERAL BUSINESS, CONDITIONAL DISTRICT
WATERSHED:	N/A
FLOOD ZONE:	NONE
LATITUDE & LONGITUDE	N36.068594, W-79.268823
TOTAL SITE ACRES:	164,920 SF (3.786 AC) PROPOSED TRACTOR SUPPLY EXISTING PROPERTY AREA = 269,606 SF (6.19 AC)
WATER SERVICE:	PUBLIC - CITY OF MEBANE PUBLIC UTILITIES
SANITARY SEWER SERVICE:	PUBLIC - CITY OF MEBANE PUBLIC UTILITIES
INSIDE TOWN LIMITS:	NO - ANNEXATION REQUIRED
EXISTING USE:	VACANT
PROPOSED BUILDING USE:	21,930 SF TRACTOR SUPPLY RETAIL STORE
FLOOD ZONE:	NONE
B-2(CD) GENERAL BUSINESS, CONDITIONAL DISTRICT ZONING REQUIREMENTS	
MIN LOT AREA:	12,000 SF
MIN LOT WIDTH:	50 FT
FRONT YARD SETBACK:	25 FT
SIDE SETBACK(STREET):	25 FT
SIDE SETBACK(INTERIOR):	0; 5FT IF PROVIDED
REAR SETBACK:	30 FT
MAXIMUM BUILDING HEIGHT:	70 FT
OUTDOOR DISPLAY AREA:	MAX OUTDOOR DISPLAY AREA = 15% OF SITE 26,745 SF OUTDOOR DISPLAY AREA/164,920 SF SITE AREA PROPOSED OUTDOOR DISPLAY AREA = 16.22% OF SITE MIN LANDSCAPE OPEN SPACE AREA = 20% OF SITE OPEN SPACE PROVIDED = 44,151 SF OPEN SPACE PROVIDED = 44,151 SF/164,920SF = 26.77%
OPEN SPACE:	
TRACTOR SUPPLY PARKING REQUIREMENTS:	
RETAIL SALES OF BULKY ITEMS - 1 SPACE PER 500 SF	
21,930 SF TOTAL BUILDING AREA:	
21,930 SF RETAIL SALES OF BULKY ITEMS / 500 = 44 SPACES	
19,654 SF FENCED OUTDOOR DISPLAY AREA / 500 = 40 SPACES	
TOTAL SPACES REQUIRED = 84	
4 BIKE PARKING SPACES PROVIDED	
TOTAL SPACES PROVIDED (TRACTOR SUPPLY)	84 (80 REGULAR SPACES PROVIDED AND 4 ACCESSIBLE SPACES PROVIDED (2 VAN ACCESSIBLE))
PARKING SPACE DIMENSIONS	9' X 18' MIN (CITY REQUIREMENT) 10' X 20' SPACES PROVIDED
MIN DRIVE AISLE	26 FT TWO-WAY
CHICK-FIL-A PARKING	27 SPACES PROVIDED (25 REGULAR SPACES AND 2 ACCESSIBLE SPACES (1 VAN ACCESSIBLE))
LOADING SPACES:	1 SPACE PROVIDED (12'X65')

IMPERVIOUS SUMMARY TABLE			
TRACTOR SUPPLY - ON-SITE AREA = 269,681 SF (6.19 AC)			
BUILDINGS	21,930 SF	0.50 ACRES	8.13% OF AREA
PAVEMENT	91,981 SF	2.11 ACRES	34.11% OF AREA
SIDEWALK	6,858 SF	0.16 ACRES	2.54% OF AREA
TOTAL IMPERVIOUS AREA	120,769 SF	2.77 ACRES	44.78% OF AREA
GREEN/OPEN SPACE	148,912 SF	3.42 ACRES	55.22% OF AREA
EXISTING IMPERVIOUS AREA	7,760 SF	0.18 ACRES	2.88% OF AREA
INCREASE IN IMPERVIOUS AREA	113,009 SF	2.59 ACRES	41.90% OF AREA

CURRENT PROPERTY OWNERS
 Hendon Tiller Mebane 3.0, LLC
 Attn. Mark Tiller
 3445 Peachtree Rd NE #465
 Atlanta, GA 30326
 404-262-7400
 mtiller@hendonproperties.com

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.2	CONSTRUCTION DETAILS
C7.0	LANDSCAPE PLAN

FEE TABLE	
FEE TYPE	FEE AMOUNT
PLANNING REVIEW FEE	\$300.00
ENGINEERING REVIEW FEE (\$10 PER 100 SF BUILDING)	\$2,200.00
21,930 SF / 100 = 219.3 * \$10	
STORMWATER CONTROL FACILITY REVIEW FEE	\$500.00
ENGINEERING CONSTRUCTION PLAN REVIEW FEE	\$
INSPECTION FEE	\$

Bowman

Bowman North Carolina Ltd.
 4006 BARRETT DR
 Suite 104
 RALEIGH, NC 27609
 Phone: (919) 553-6570
 bowman.com
 Bowman North Carolina Ltd.



TRACTOR SUPPLY COMPANY

COVER SHEET

Tractor Supply
 Wilson Road

Mebane, NC Melville Township Alamance County



CREATING GREATER VALUE

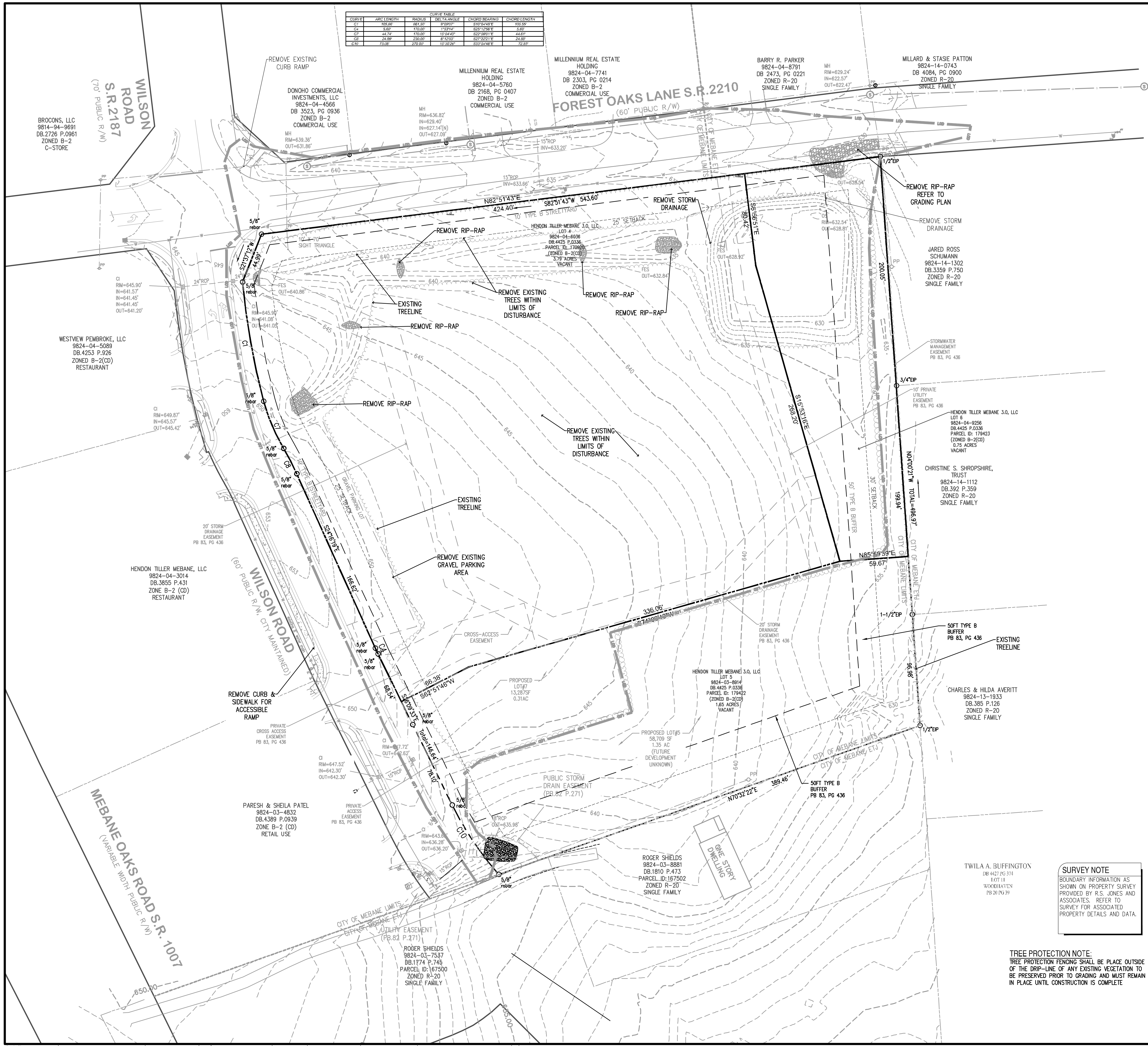
PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION

PLAN STATUS	
1/11/24	PER TRC REVIEW
1/24/24	PER TRC REVIEW

DATE	DESCRIPTION
JP DESIGN	JP DRAWN
SCALE	HF: 1" = 40' VF: 1" = XXX'
JOB No.	220159-01-001
DATE	January 11, 2024
FILE No.	

SHEET C1.0

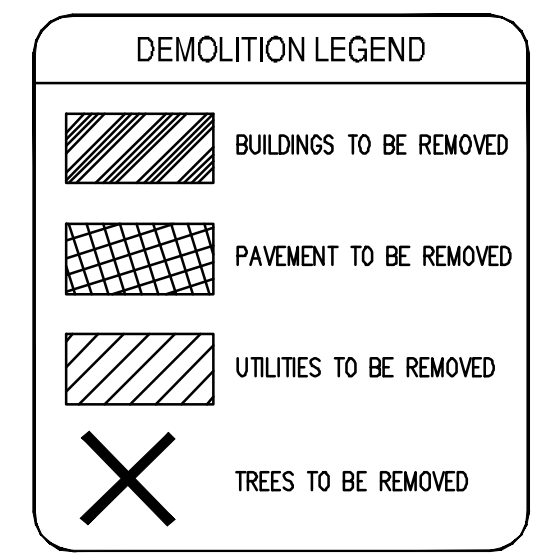
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	136.69'	483.80'	49.00°	S130.24°E	105.89'
C2	5.69'	170.00'	1.5274°	S82.128°E	5.69'
C3	44.74'	170.00'	15.044°	S22.891°E	44.66'
C4	23.94'	233.00'	8.9702°	S27.022°E	23.92'
C5	73.08'	270.00'	15.302°	S33.246°E	72.89'



- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
 2. THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND AS DIRECTED BY THE OWNER.
 3. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES.
 4. THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
 5. THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
 6. CONTRACTOR TO COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING BUILDINGS, INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO BOLLARDS, GAS METERS, AIR CONDITIONING UNITS, SIGNS, CURBS, SIDEWALKS, ELECTRIC METERS, FENCING, ETC.
 7. REMOVE AND DISPOSE OF ANY SIDEWALK, FENCES, STAIRS, WALLS, FOUNDATIONS, CONDUITS, LIGHT POLE BASES, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED LANDFILL.
 8. REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
 9. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.
 10. THE CONTRACTOR SHALL ARRANGE FOR RESETTling OF CURB BOXES, VALVE BOXES AND REMOVAL AND/OR RELOCATION OF OVERHEAD UTILITIES AND POLES WITH THE APPROPRIATE UTILITY COMPANY.
 11. INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.
 12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
 13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACE. FINISH SURFACE TO BE REMOVED OR DEMOLISHED SHALL BE CUT ALONG LINES OF JOINTS WHICH WILL PERMIT A NEAT SURFACE WHEN RESTORED.
 14. SAWCUT AT INTERFACE OF PAVEMENT OR CURB TO REMAIN. SAWCUT EXISTING PAVEMENT.
 15. ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
 16. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
 17. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
 18. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
 19. THE PROPERTY SELLER SHALL PUMP OUT BUILDING FUEL, GREASE TRAPS, AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY AN APPROPRIATELY LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH FEDERAL AND STATE REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
 20. THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE SITE.

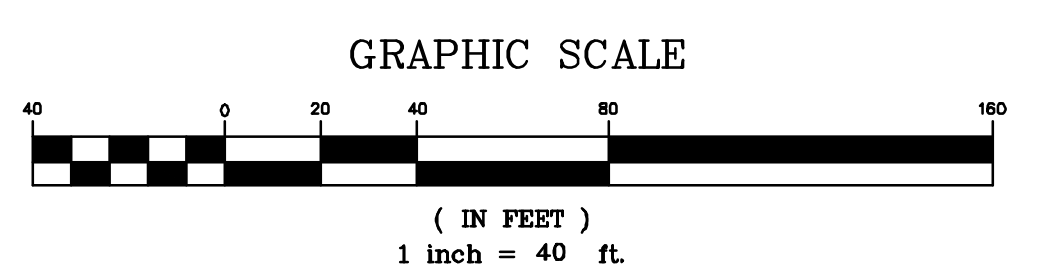
UTILITY STATEMENT
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CAUTIONARY NOTE
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON ABOVE GROUND EVIDENCE OR INFORMATION CATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE. ONLY AND SHOULD NOT BE CONSTRUED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.



SURVEY NOTE
 BOUNDARY INFORMATION AS SHOWN ON PROPERTY SURVEY PROVIDED BY R.S. JONES AND ASSOCIATES. REFER TO SURVEY FOR ASSOCIATED PROPERTY DETAILS AND DATA.

TREE PROTECTION NOTE:
 TREE PROTECTION FENCING SHALL BE PLACE OUTSIDE OF THE DRIP-LINE OF ANY EXISTING VEGETATION TO BE PRESERVED PRIOR TO GRADING AND MUST REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE



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 bowman.com



TRACTOR SUPPLY COMPANY

DEMOLITION PLAN
 Tractor Supply
 Wilson Road
 Mebane, NC Melville Township Alamance County



PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION

PLAN STATUS		
1/11/24	PER TRC REVIEW	
1/24/24	PER TRC REVIEW	
DATE	DESCRIPTION	
JP DESIGN	JP DRAWN	XXX CHKD
SCALE	H: 1" = 40'	V: 1" = XX'
JOB No.	220159-01-001	
DATE	January 11, 2024	
FILE No.		
SHEET	C2.0	

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	158.89	441.50	9.9737°	S107°14'32" E	158.89
C2	5.89	170.00	1.9314°	S89°50'01" W	5.89
C3	44.74	170.00	15.9443°	S22°35'01" W	44.81
C4	74.88	230.00	8.7232°	S72°22'11" E	74.88
C5	73.08	270.00	15.3026°	S33°54'48" E	72.80

BRIDGEMAN, LLC
9814-94-9691
DB.2726 P.0961
ZONED B-2
C-STREET

WESTVIEW PEMBROKE, LLC
9824-04-5089
DB.4253 P.926
ZONED B-2(CD)
RESTAURANT

HENDON TILLER MEBANE, LLC
9824-04-3014
DB.3855 P.431
ZONED B-2 (CD)
RESTAURANT

PARISH & SHEILA PATEL
9824-03-4832
DB.4389 P.0939
ZONED B-2 (CD)
RETAIL USE

ROGER SHIELDS
9824-03-8881
DB.1810 P.473
PARCEL ID:167502
ZONED R-20
SINGLE FAMILY

TWILA A. BUFFINGTON
DB.4427 PG.374
LOT 11
WOODBRAYTON
PB.20 PG.39

CHRISTINE S. SHROPSHIRE, TRUST
9824-14-1112
DB.392 P.359
ZONED R-20
SINGLE FAMILY

CHARLES & HILDA AVERITT
9824-13-1933
DB.385 P.128
ZONED R-20
SINGLE FAMILY

CHICK-FI-4 EMPLOYEE OVERFLOW PARKING AREA

PROPOSED LOT 5
56,709 SF
1.35 AC
(FUTURE DEVELOPMENT UNKNOWN)

PROPOSED LOT 1
13,287 SF
0.31 AC

PROPOSED LOT 2
1,190 SF
OUTDOOR DISPLAY AREA

PROPOSED LOT 3
1,136 SF
OUTDOOR DISPLAY AREA

PROPOSED LOT 4
1,190 SF
OUTDOOR DISPLAY AREA

PROPOSED LOT 6
171.3'

PROPOSED LOT 7
171.3'

PROPOSED LOT 8
171.3'

PROPOSED LOT 9
171.3'

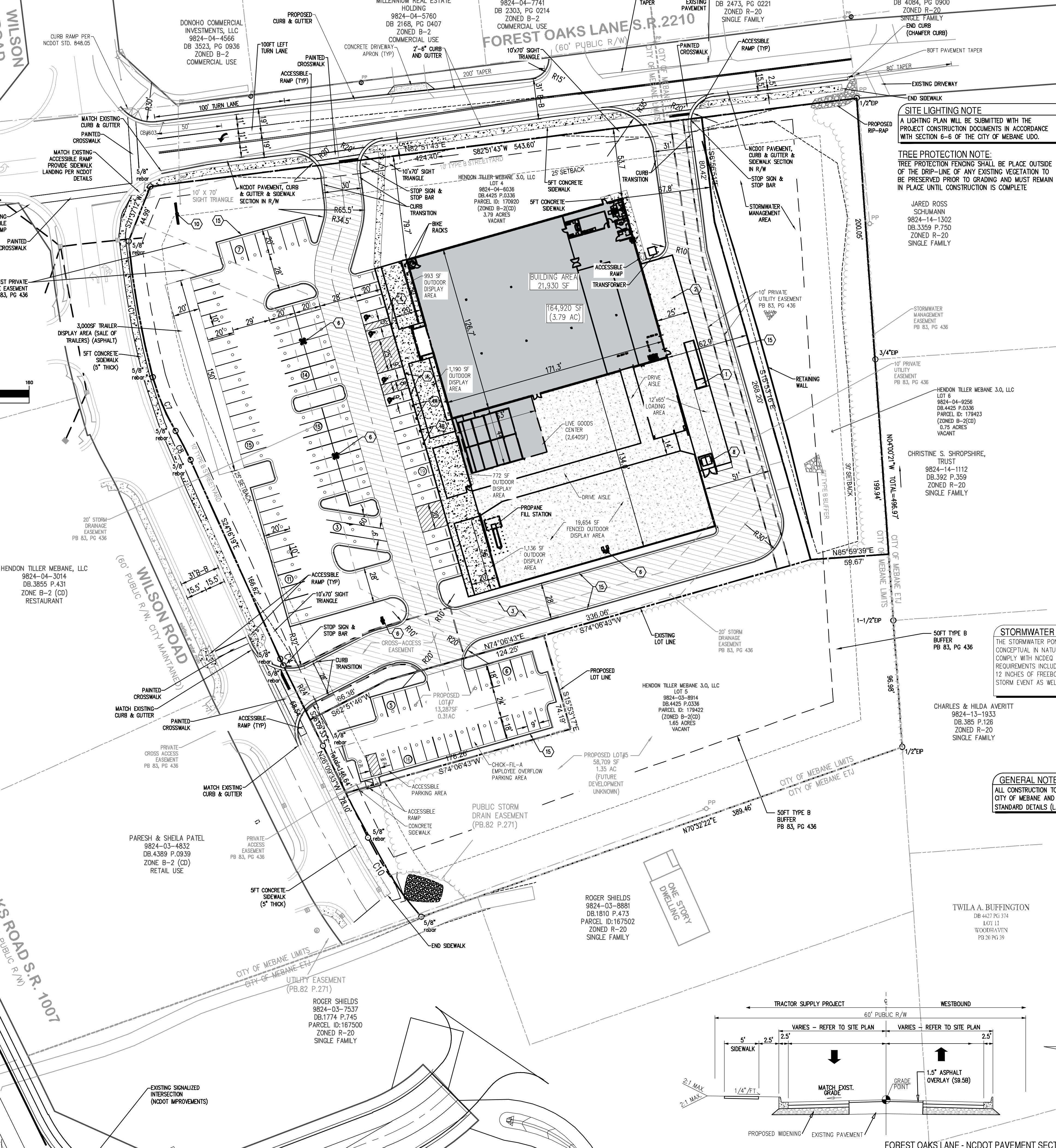
PROPOSED LOT 10
171.3'

PROPOSED LOT 11
171.3'

PROPOSED LOT 12
171.3'

PROPOSED LOT 13
171.3'

PROPOSED LOT 14
171.3'

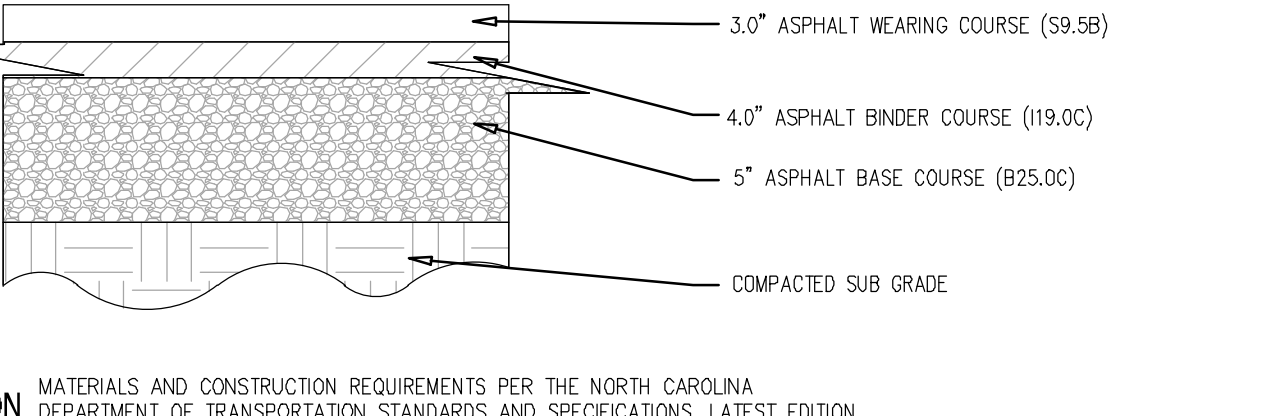
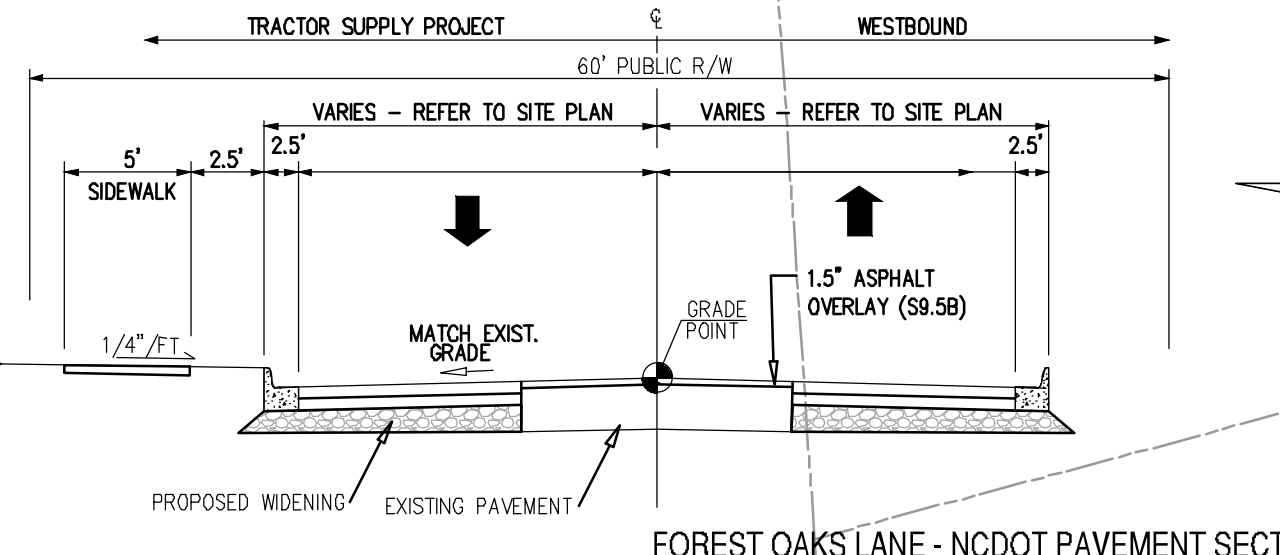


- GENERAL NOTES:**
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY CITY OF MEBANE AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
 - THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
 - APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE CITY OF MEBANE CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
 - THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
 - THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
 - THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
 - ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY OF MEBANE PUBLIC UTILITIES DEPARTMENTS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
 - ACCESSIBLE RAMPS TO BE PROVIDED IN ACCORDANCE WITH NCDOT AND CITY OF MEBANE STANDARDS.
 - ALL PLANTING ISLANDS WITH A SHADE TREE SHALL BE A MINIMUM OF 350 SQUARE FEET.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
 - A CROSS-ACCESS AGREEMENT WILL BE PROVIDED BETWEEN THE CURRENT LOT 4 AND THE FUTURE LOTS 5 AND 7.

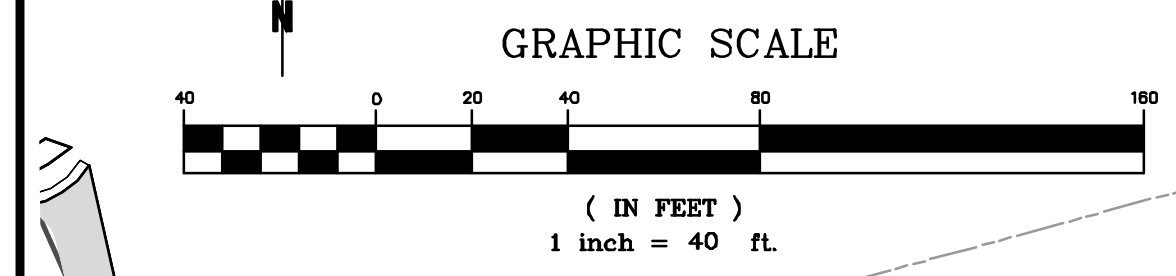
- KEYNOTES**
- STEEL DOCK/RAMP - REFER TO ARCHITECTURAL DRAWINGS FOR DETAIL
 - CONCRETE PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS - SEE DETAIL SHEET C6.2
 - ASPHALT PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS - SEE DETAIL SHEET C6.2
 - HANDICAP PARKING SIGN - SEE DETAIL SHEET C6.2
 - VETERANS PARKING SIGN - SEE DETAIL SHEET C6.2
 - ON-LINE PARKING SIGN - SEE DETAIL SHEET C6.2
 - BOLLARD - SEE DETAIL SHEET C6.2
 - CONCRETE LIGHT POLE BASE
 - CONCRETE SIDEWALK - SEE DETAIL SHEET C6.2 FOR SIDEWALKS AROUND BUILDING.
 - DUMPSTER ENCLOSURE - SEE DETAIL SHEET C6.2
 - 6'-0" LONG CONCRETE WHEEL STOP, PINNED TO PAVEMENT - SEE DETAIL SHEET C6.2. LOCATE 2'-6" FROM FACE OF CURB OR SIDEWALK.
 - SIGN (UNDER SEPARATE PERMIT)
 - 4" WIDE PARKING STRIPE PAINTED WHITE (TYP)
 - 4" WIDE PARKING DIAGONAL STRIPES
 - ACCESSIBLE PARKING AREA - (PER A.D.A. REQUIREMENTS)
 - NEW GRASS/LANDSCAPE AREA
 - CONCRETE CURB AND GUTTER - SEE DETAIL SHEET C6.2
 - STOP SIGN - SEE DETAIL SHEET C6.2
 - PAVEMENT MARKINGS
 - NEW CURB CUT, MATCH EXISTING EOP & APPROACH PER LOCAL CODES & SPECS.
 - PROPOSED PARKING COUNT

STORMWATER NOTE
THE STORMWATER POND DESIGN AS SHOWN IS CONCEPTUAL IN NATURE AND THE FINAL DESIGN WILL COMPLY WITH NCDOT AND CITY OF MEBANE REQUIREMENTS INCLUDING A TOFT DAM AND AT LEAST 12 INCHES OF FREEBOARD DURING THE 100-YEAR STORM EVENT AS WELL AS OTHER COMPLIANCE ITEMS.

GENERAL NOTE
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF MEBANE AND NCDOT SPECIFICATIONS AND STANDARD DETAILS (LATEST EDITION)



MATERIALS AND CONSTRUCTION REQUIREMENTS PER THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, LATEST EDITION
SCALE: NOT TO SCALE



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Bowman North Carolina Ltd.

TSC
TRACTOR SUPPLY COMPANY

SITE PLAN
Tractor Supply
Wilson Road
Mebane, NC Melville Township Alamance County

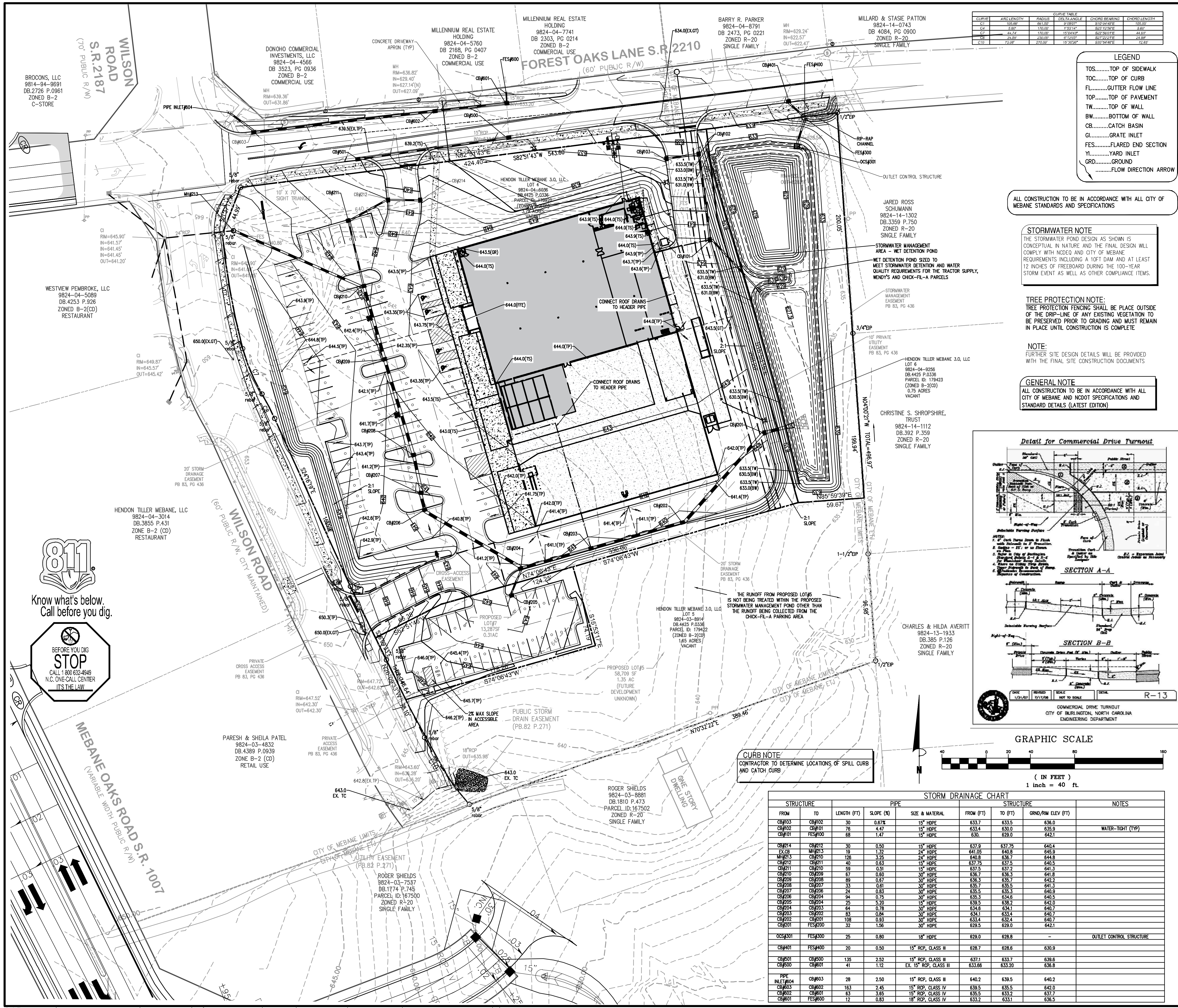
HENDON PROPERTIES
CREATING GREATER VALUE

PRELIMINARY DO NOT USE FOR CONSTRUCTION

PLAN STATUS	
1/11/24	PER TRC REVIEW
1/24/24	PER TRC REVIEW

DATE	DESCRIPTION
JP DESIGN	JP DRAWN XXX CHKD
SCALE	H: 1" = 40' V: 1" = XX'
JOB No.	220159-01-001
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FILE No.	

SHEET C3.0



PIPE	LENGTH	RADIUS	DELTA ANGLE	GROUND BEARING	CHORD LENGTH
CB#103	10.00	60.00	90.00	150.00	10.00
CB#104	1.00	150.00	150.00	300.00	1.00
CB#105	1.00	150.00	150.00	300.00	1.00
CB#106	1.00	150.00	150.00	300.00	1.00
CB#107	1.00	150.00	150.00	300.00	1.00
CB#108	1.00	150.00	150.00	300.00	1.00
CB#109	1.00	150.00	150.00	300.00	1.00
CB#110	1.00	150.00	150.00	300.00	1.00

LEGEND

TOS.....TOP OF SIDEWALK
 TL.....TOP OF CURB
 FC.....GUTTER FLOW LINE
 TP.....TOP OF PAVEMENT
 TW.....TOP OF WALL
 BW.....BOTTOM OF WALL
 CB.....CATCH BASIN
 GI.....GRATE INLET
 FES.....FLARED END SECTION
 YI.....YARD INLET
 GRD.....GROUND
 -----FLOW DIRECTION ARROW

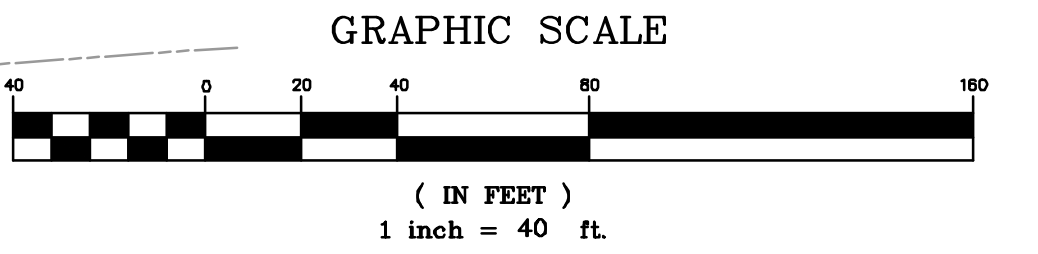
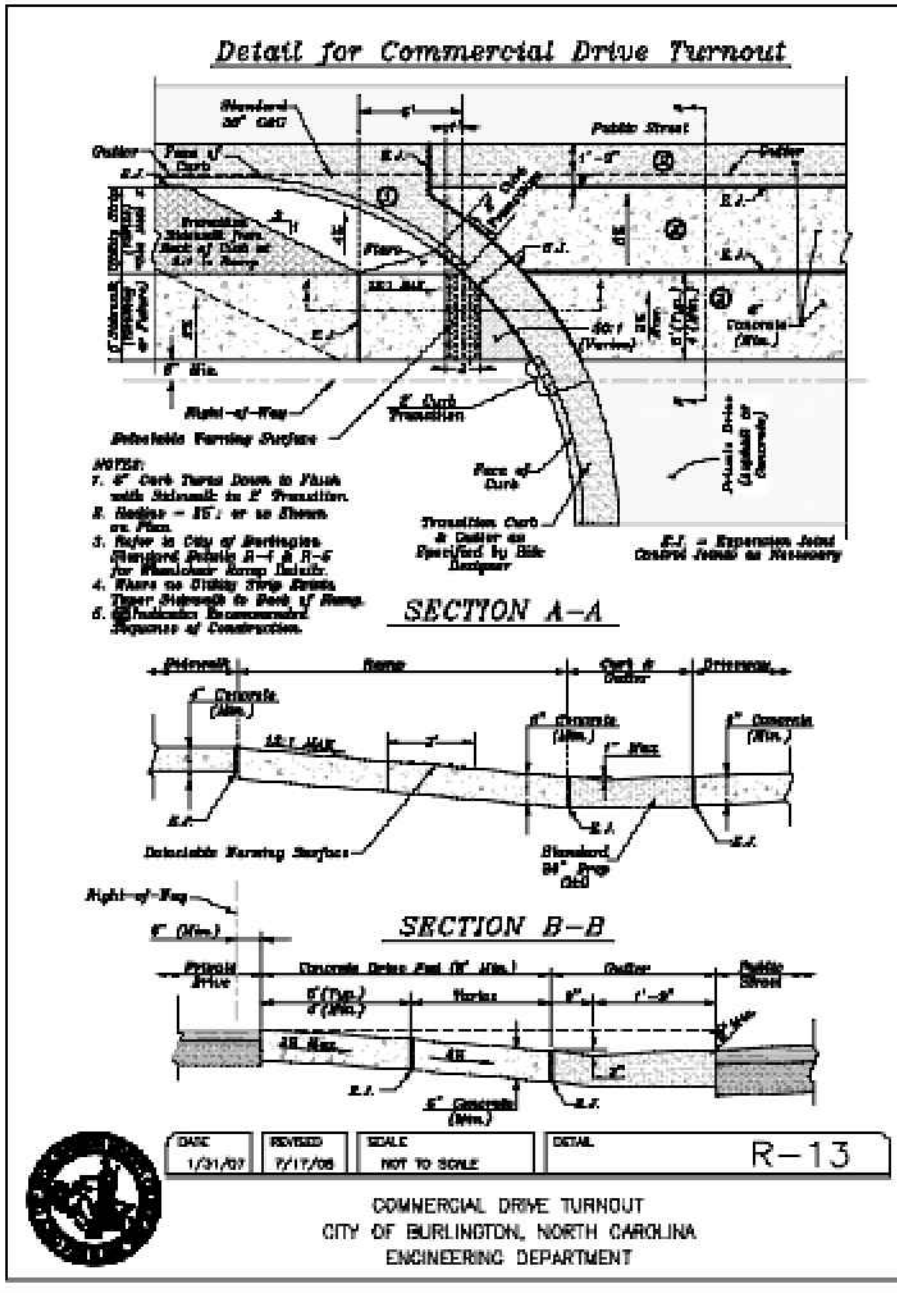
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF MEBANE STANDARDS AND SPECIFICATIONS

STORMWATER NOTE
 THE STORMWATER POND DESIGN AS SHOWN IS CONCEPTUAL IN NATURE AND THE FINAL DESIGN WILL COMPLY WITH NCDOT AND CITY OF MEBANE REQUIREMENTS INCLUDING A 10FT DAM AND AT LEAST 12 INCHES OF FREEBOARD DURING THE 100-YEAR STORM EVENT AS WELL AS OTHER COMPLIANCE ITEMS.

TREE PROTECTION NOTE:
 TREE PROTECTION FENCING SHALL BE PLACED OUTSIDE OF THE DROP-LINE OF ANY EXISTING VEGETATION TO BE PRESERVED PRIOR TO GRADING AND MUST REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.

NOTE:
 FURTHER SITE DESIGN DETAILS WILL BE PROVIDED WITH THE FINAL SITE CONSTRUCTION DOCUMENTS

GENERAL NOTE
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF MEBANE AND NCDOT SPECIFICATIONS AND STANDARD DETAILS (LATEST EDITION)



CURB NOTE
 CONTRACTOR TO DETERMINE LOCATIONS OF SPILL CURB AND CATCH CURB

STRUCTURE		PIPE		STORM DRAINAGE CHART		NOTES
FROM	TO	LENGTH (FT)	SLOPE (%)	SIZE & MATERIAL	FROM (FT)	TO (FT)
CB#103	CB#102	30	0.67%	15" HDPE	633.7	633.5
CB#102	CB#101	78	1.47	15" HDPE	633.4	630.0
CB#101	FES#100	69	1.47	15" HDPE	630.0	629.0
CB#214	CB#212	30	0.50	15" HDPE	637.9	637.75
CB#212	CB#211	19	1.32	24" HDPE	641.05	640.8
CB#211	CB#210	126	3.75	24" HDPE	640.8	636.7
CB#210	CB#209	40	0.63	15" HDPE	637.75	637.5
CB#209	CB#208	59	0.51	15" HDPE	637.5	637.2
CB#208	CB#207	67	0.50	30" HDPE	636.7	636.3
CB#207	CB#206	89	0.67	30" HDPE	636.3	635.7
CB#206	CB#205	33	0.61	30" HDPE	635.7	635.5
CB#205	CB#204	24	0.53	30" HDPE	635.5	635.3
CB#204	CB#203	94	0.75	30" HDPE	635.3	634.6
CB#203	CB#202	79	1.20	30" HDPE	634.6	633.7
CB#202	CB#201	64	0.78	30" HDPE	634.6	634.1
CB#201	FES#200	83	0.84	30" HDPE	634.1	633.4
CB#200	FES#200	108	0.93	30" HDPE	633.4	632.4
CB#200	FES#200	32	1.56	30" HDPE	632.4	629.0
OCS#301	FES#300	25	0.80	18" HDPE	629.0	628.8
CB#401	FES#400	20	0.50	15" RCP, CLASS III	628.7	628.6
CB#501	CB#500	135	2.52	15" RCP, CLASS III	637.1	633.7
CB#500	CB#601	41	1.12	EX. 15" RCP, CLASS III	633.66	633.20
PIPE INLET#204	CB#603	28	2.50	15" RCP, CLASS III	640.2	639.5
CB#603	CB#602	163	2.45	15" RCP, CLASS IV	639.5	635.5
CB#602	CB#601	63	3.65	15" RCP, CLASS IV	635.5	633.2
CB#601	FES#600	12	0.83	18" RCP, CLASS IV	633.2	633.5

- GRADING NOTES:**
- REFER TO THE SITE PLAN FOR RELATED NOTES.
 - ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
 - ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
 - THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
 - LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
 - THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
 - THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
 - ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN, IS PROHIBITED.
 - LAND DISTURBANCE WITHOUT AN APPROVED ESC PLAN IS PROHIBITED.
 - STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON DISTURBED AREAS AND ESPECIALLY WHEN THE CONSTRUCTION SEQUENCE REQUIRES IT.
 - ALL GRADED AREAS ARE TO BE STABILIZED (SEEDED OR LANDSCAPED) WITHIN 14 DAYS OF HAVING REACHED FINAL GRADE.
 - EXISTING GRADES, CONTOURS, UTILITIES AND OTHER EXISTING FEATURES FROM FIELD RUN SURVEY.
 - THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
 - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATION, ELEVATION, AND DIMENSIONS OF EXIT DOORS, RAMPS, BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
 - ALL FOUNDATION EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED, BACKFILLED AND COMPACTED AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE.
 - ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED OR DEPICTED.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE A INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- DRAINAGE NOTES:**
- A MINIMUM GRADE OF 0.50 % SHALL BE MAINTAINED ON ALL PIPES, UNLESS OTHERWISE NOTED.
 - PIPE LENGTHS AND SLOPES INDICATED ON THE PLANS ARE APPROXIMATE ONLY.
 - UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 A. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
 B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 D. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
 E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
 F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
 - CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS. REFERENCE THE FOLLOWING STANDARD DETAILS:
 840.02 - CONCRETE CATCH BASIN
 840.03 - FRAME, GRATES, AND HOOD FOR CATCH BASINS
 840.14 - CONCRETE DROP INLET
 840.04 - CONCRETE OPEN THROAT CATCH BASIN
 840.14 - CONCRETE DROP INLET
 840.16 - DROP INLET FRAME AND GRATES
 840.31 - CONCRETE JUNCTION BOX
 840.36 - TRAFFIC BEARING GRATED DROP INLET
 840.52 - PRECAST MANHOLE
 840.45 - PRECAST DRAINAGE STRUCTURE
 838.80 - PRECAST CONCRETE ENDWALL
 - ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
 - STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
 TYPE 2: HIGH DENSITY POLYETHYLENE PIPE (HDPE) - AASHTO DESIGNATION M252 TYPE S, M254 TYPE S, AND MPP-97 TYPE S, SMOOTH INTERIOR/ANNULAR EXTERIOR. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES. PIPE JOINTS AND FITTINGS SHALL BE WATERTIGHT.
 - ALL STORM DRAINAGE WITHIN THE PUBLIC ROADS SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
 - EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE SILT AND DEBRIS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
 - PRECAST STRUCTURES MAYBE USED AT CONTRACTORS OPTION.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 - STRUCTURE TOP ELEVATIONS SHOWN HERE ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
 - RM ELEVATIONS AS NOTED ARE TO THE GUTTER FLOW LINE.

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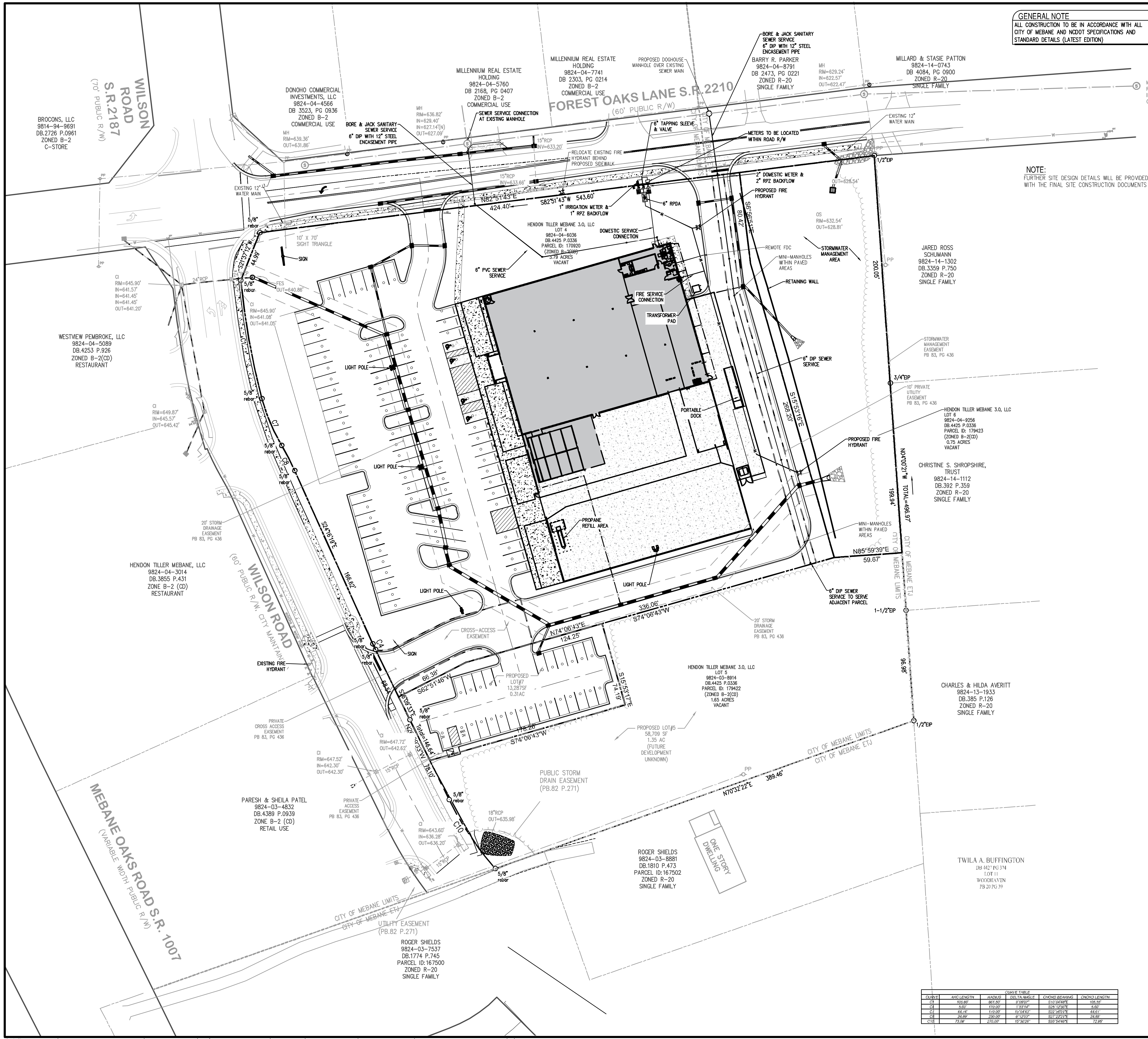
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PLAN STATUS
 1/11/24 PER TRC REVIEW
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DATE	DESCRIPTION
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SCALE	H: 1" = 40' V: 1" = 10'

JOB No. 220159-01-001
 DATE January 11, 2024
 FILE No.

SHEET **C4.0**



GENERAL NOTE
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF MEBANE AND NCDOT SPECIFICATIONS AND STANDARD DETAILS (LATEST EDITION)

- UTILITY NOTES:**
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CITY OF MEBANE STANDARD DRAWINGS AND SPECIFICATIONS.
 - IN THE EVENT THAT A UTILITY ITEM IS NOT COVERED BY THESE PLANS, THEN THE STANDARDS AND SPECIFICATIONS CONTAINED IN THE CITY OF MEBANE PUBLIC UTILITIES DEPARTMENT HANDBOOK COVERING SUCH ITEMS SHALL APPLY.
 - WATER SERVICES 3/4-INCH TO 2-INCH SHALL BE TYPE "K" SOFT COPPER. ALL OTHER WATER MAINS, SERVICES, AND FITTINGS SHALL BE CEMENT-LINED DUCTILE IRON PIPE PER CITY OF MEBANE STANDARDS AND SPECIFICATIONS.
 - GRAVITY SANITARY SEWER MAINS SHALL BE DUCTILE IRON PIPE OR PVC PIPE, AS SPECIFIED IN THESE PLANS AND CITY OF MEBANE STANDARDS AND SPECIFICATIONS. SANITARY SEWER SERVICES SHALL BE SCHEDULE 40 PVC.
 - CLEAN-OUT SYMBOLS SHOWN ON THESE PLANS REPRESENT LOCATION OF SURFACE ACCESS POINT. CONTRACTOR SHALL LOCATE WYE APPROPRIATELY BASED ON PIPE DEPTH.
 - ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MEBANE STANDARDS. MANHOLE DIAMETER SHALL VARY DEPENDING ON PIPE DIAMETER AND DEPTH, PER CITY OF MEBANE STANDARDS.
 - LOCATIONS AND SIZES OF EXISTING UTILITIES SHOWN ON THESE PLANS WERE TAKEN FROM MAPS PREPARED BY OTHERS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD LOCATING ALL UTILITIES AND FOR DAMAGES RESULTING FROM FAILURE TO DO SO.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING RECORD DRAWINGS TO THE ENGINEER SHOWING THE LOCATION OF WATER AND SEWER SERVICES AND ANY DEVIATIONS FROM PLANS MADE DURING CONSTRUCTION. THE ENGINEER WILL PROVIDE THESE RECORD DRAWINGS TO THE OWNER.
 - WATER MAINS SHALL HAVE A MINIMUM COVER OF 36" BELOW PROPOSED GRADE.
 - ALL UNDERGROUND UTILITIES AND FIRE HYDRANTS MUST BE FUNCTIONALLY APPROVED PRIOR TO STRUCTURAL CONSTRUCTION.
 - THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
 - DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
 - ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
 - ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
 - ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - CONTRACTOR SHALL NOTIFY THE WATER AUTHORITY INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - ALL UTILITIES SHOULD BE KEPT TEN (10) FEET (PARALLEL) OR WHEN CROSSING 24" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
 - PRESSURE REDUCING VALVES WILL BE REQUIRED ON THE DOMESTIC WATER MAINS IF THE STATIC PRESSURE AT THE BUILDING EXCEEDS 80PSI.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 24" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 - DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF MEBANE WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES OR UTILITIES BY OTHERS AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL CONSTRUCTION METHODS & MATERIALS SHALL CONFORM WITH THE CURRENT SPECIFICATIONS AND STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA). THE AWWA CONSTRUCTION STANDARDS ARE SET FORTH IN THEIR CONSTRUCTION SPECIFICATIONS AND STANDARD FOR WATER AND SANITARY SEWERAGE FACILITIES, A COPY OF WHICH MUST BE PURCHASED FROM THE AWWA BY THE CONTRACTOR AND KEPT AT THE JOB SITE AT ALL TIMES. REFERENCE TO NCDOT SHALL MEAN THE CURRENT STANDARDS AND/OR SPECIFICATIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
 - THE CONTRACTOR SHALL BE REQUIRED TO EXCAVATE BELOW PLAN GRADE ANY MATERIALS WHICH ARE UNSUITABLE FOR FOUNDATIONS, SUB GRADES, PIPE TRENCH BOTTOMS OR OTHER PURPOSES AND BACKFILL THESE AREAS WITH AN APPROVED MATERIAL. THE EXTENT OF UNDERCUTTING AND BACKFILLING SHALL BE DETERMINED BY THE CITY OF MEBANE AS TO AREAS WITHIN STREET RIGHT-OF-WAY AND THE ENGINEER IN OTHER AREAS. COMPENSATION SHALL BE AS SET FORTH IN THE CONTRACT DOCUMENTS.
 - A MINIMUM VERTICAL SEPARATION OF 24" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & WATER LINES AND A FULL JOINT OF WATER LINE PIPE SHALL BE CENTERED WHERE WATER LINE CROSSES OVER SANITARY SEWER. WHERE CLEARANCE IS LESS THAN 18" BUT GREATER THAN 12", SANITARY SEWER SHALL BE PRESSURE TESTED DUCTILE IRON PIPE 10' FROM WATER-MAN. WHEN WATER LINE CROSSES UNDER SANITARY SEWER, 18" MINIMUM CLEARANCE MUST BE MAINTAINED, AND SANITARY SEWER SHALL BE PRESSURE TESTED DUCTILE IRON PIPE 10' FROM WATER-MAN.
 - ALL WATERLINES SHALL HAVE BURIED WITH THE PIPE # 12 COATED ELECTRIC WIRE AND BROUGHT UP INTO THE METER BOXES.
 - THE CONTRACTOR SHALL PROVIDE A SURVEY AS-BUILT RECORD DRAWING OF THE SANITARY SEWER SYSTEM AND THE WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MEBANE UTILITY DEPARTMENT.

NOTE:
 FURTHER SITE DESIGN DETAILS WILL BE PROVIDED WITH THE FINAL SITE CONSTRUCTION DOCUMENTS

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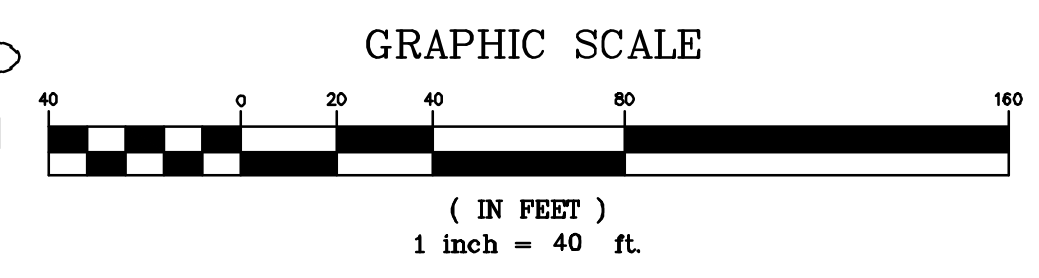


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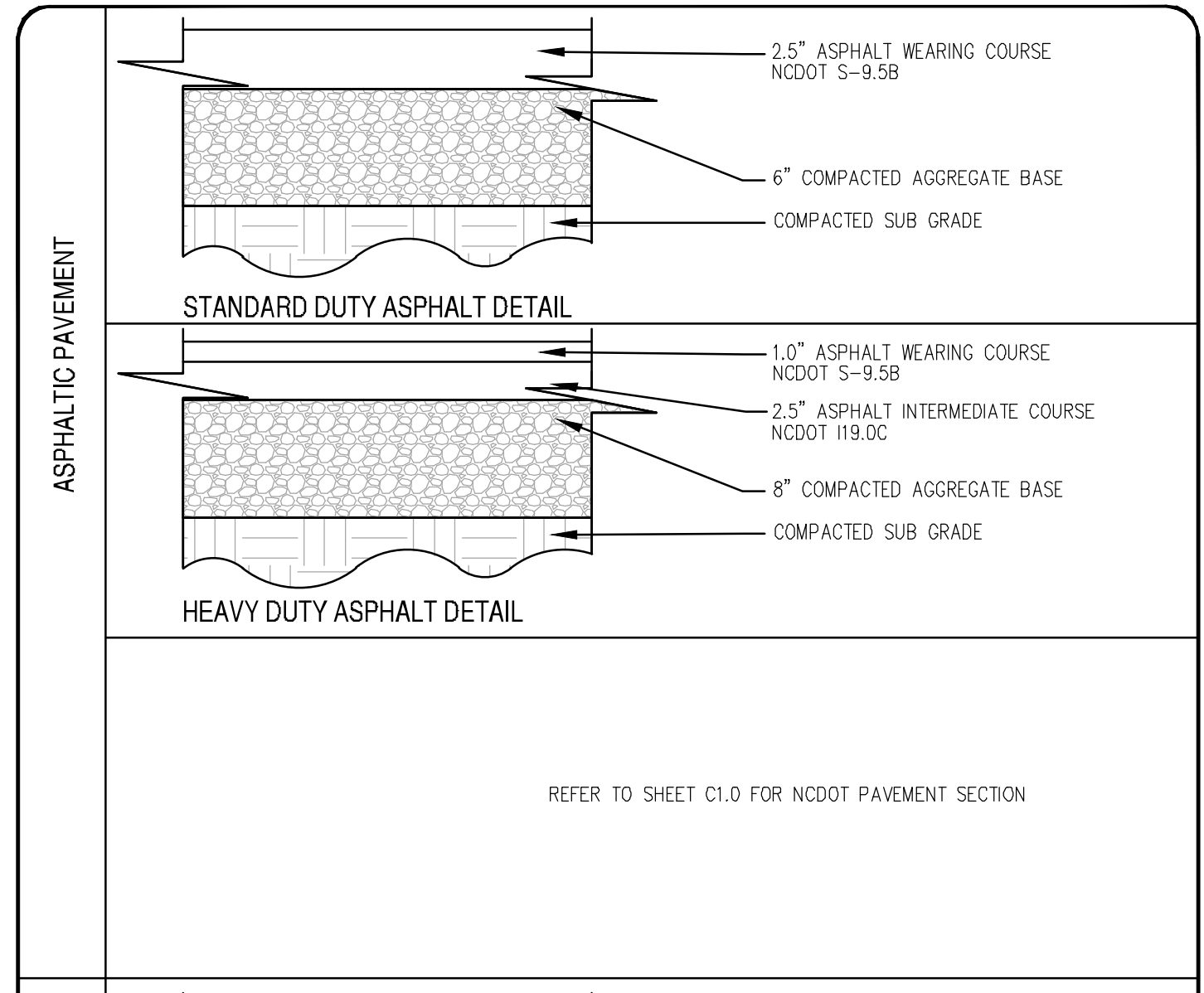


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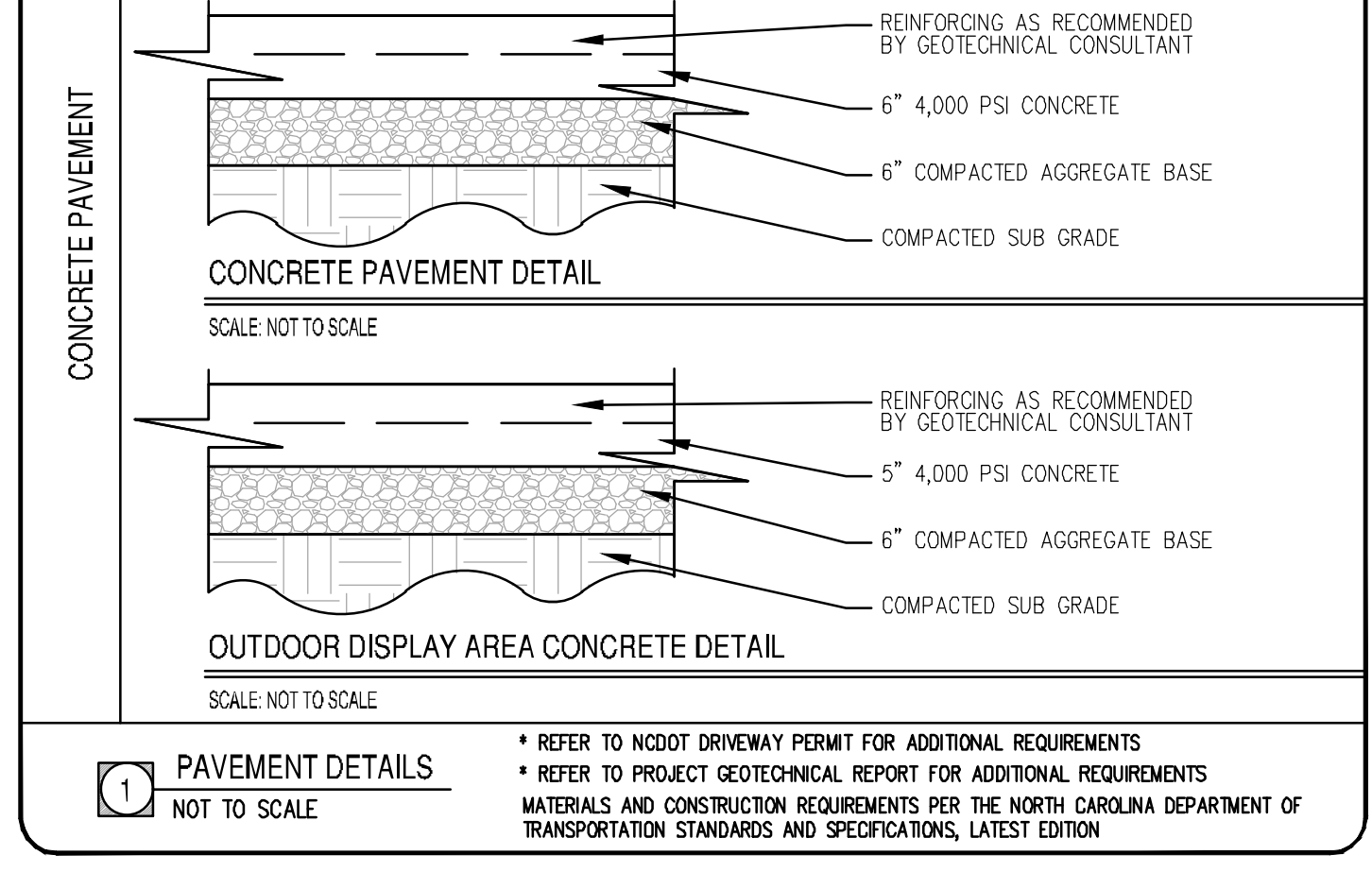
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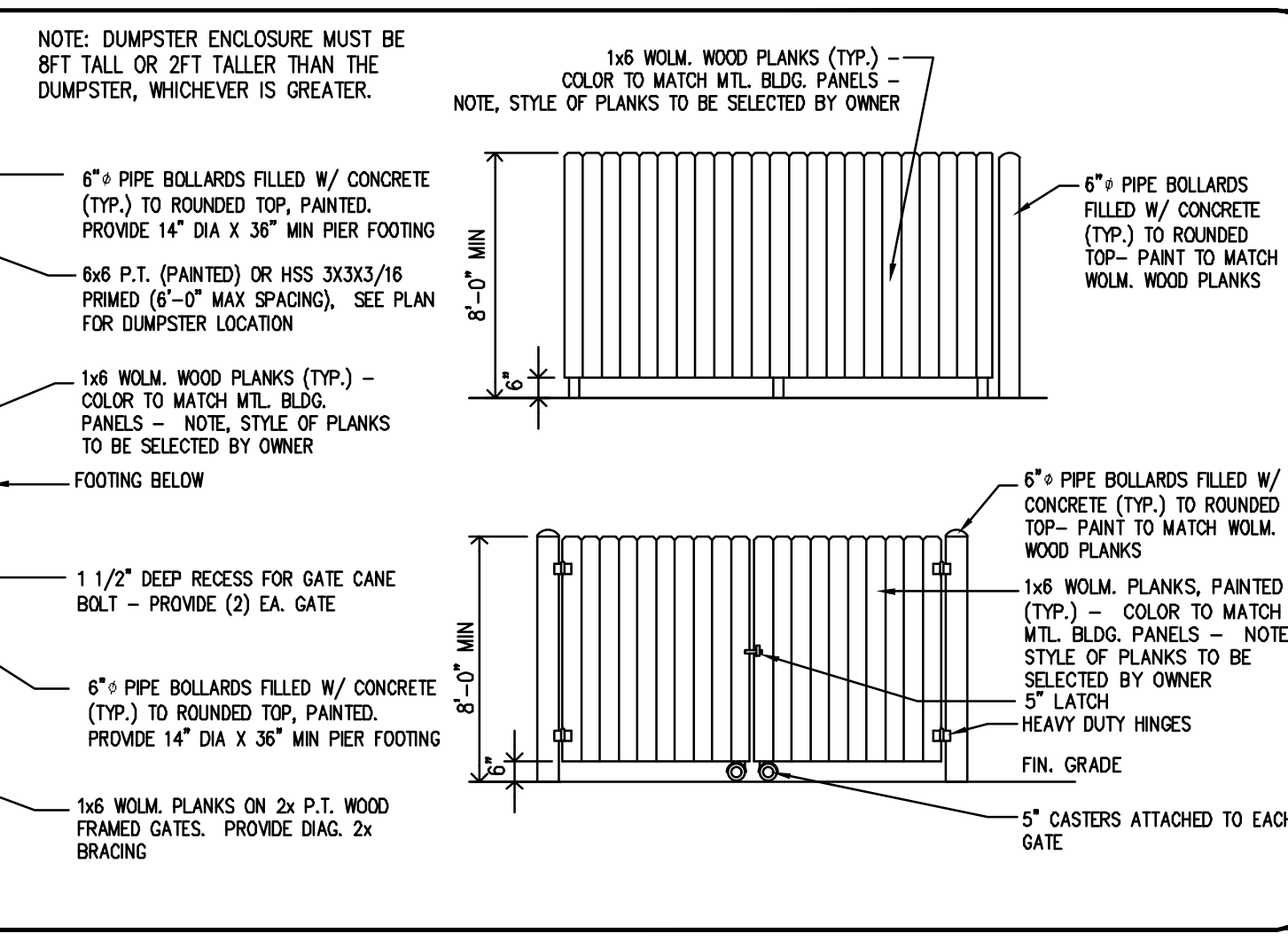
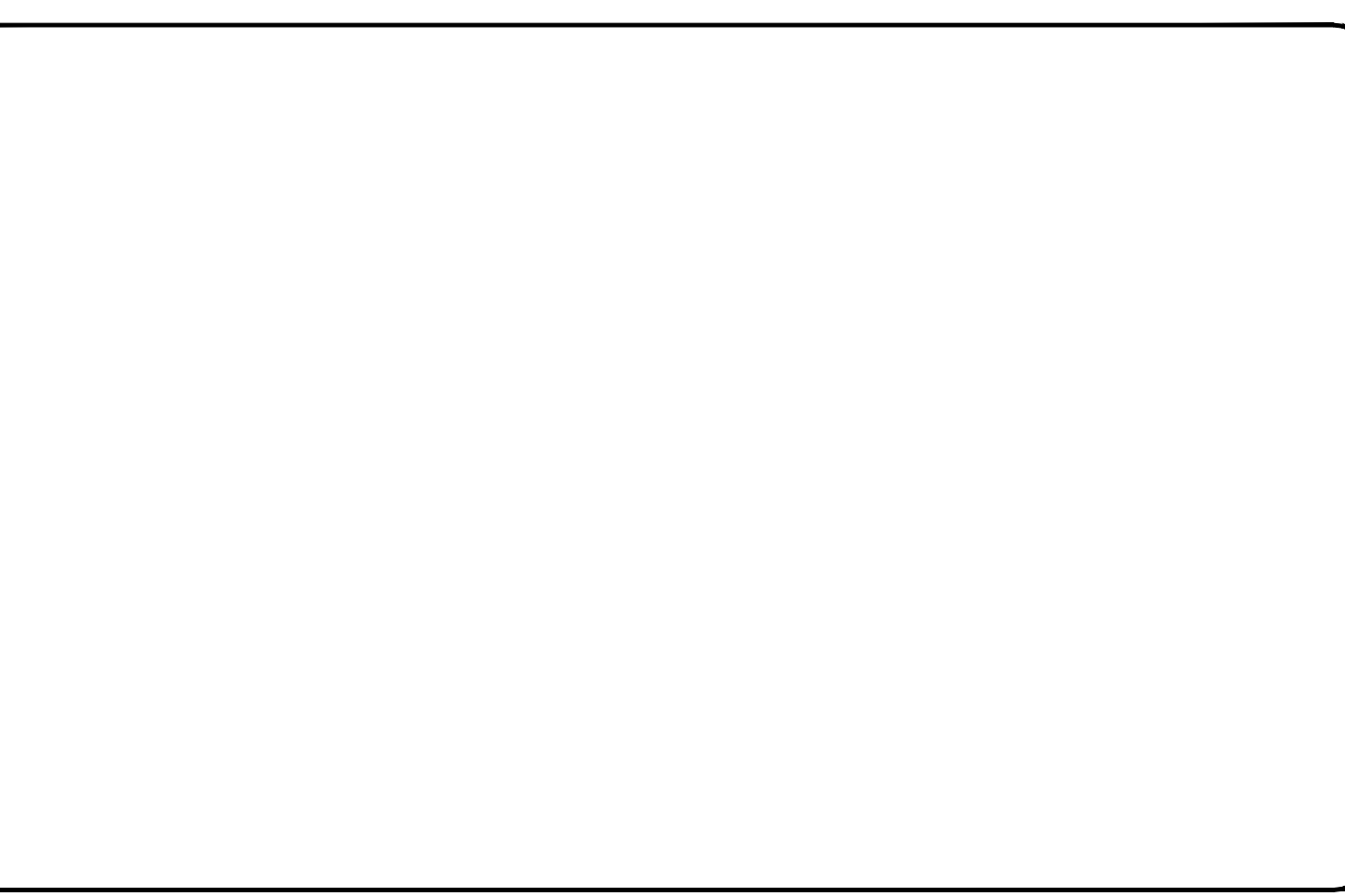
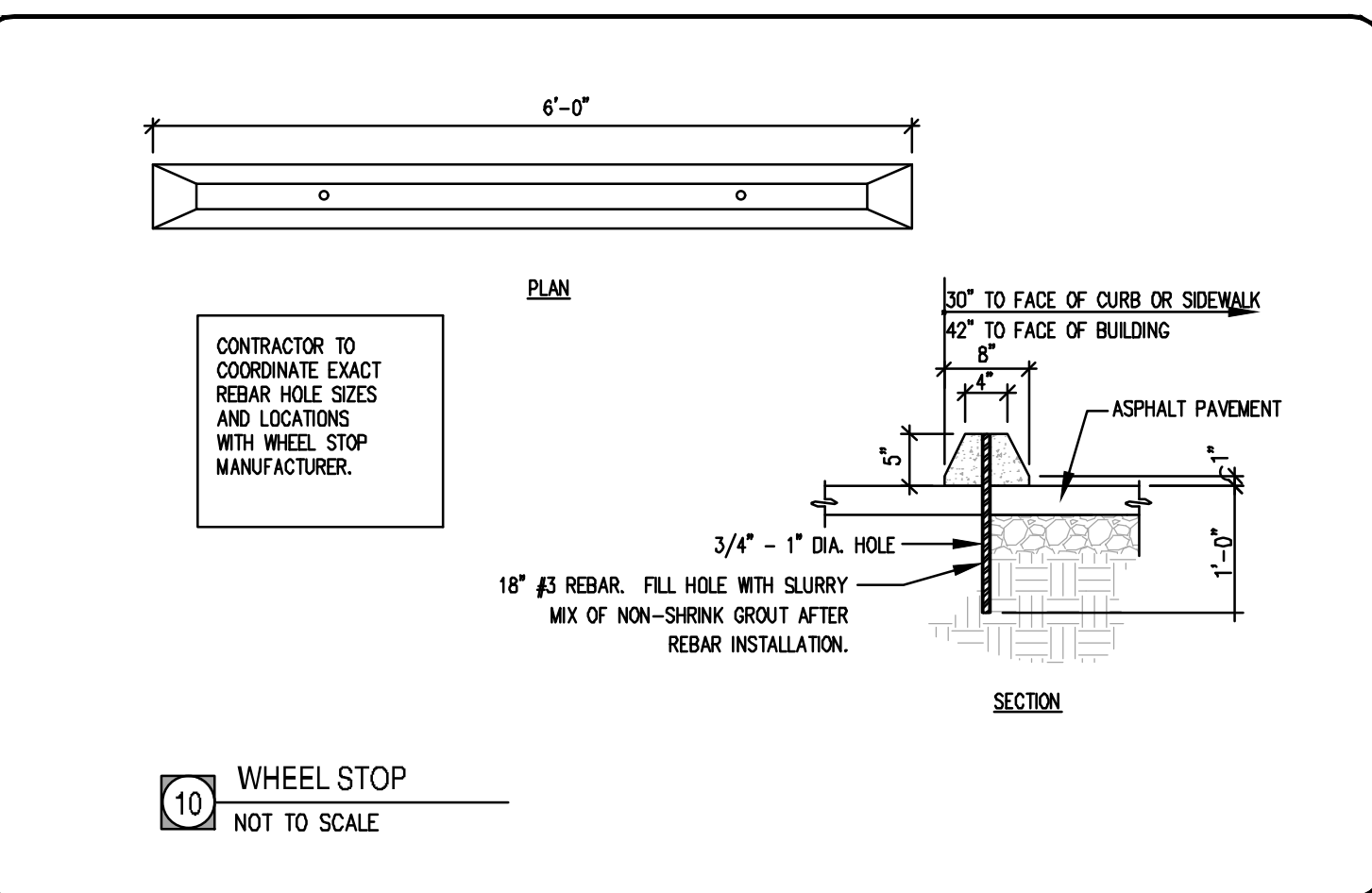
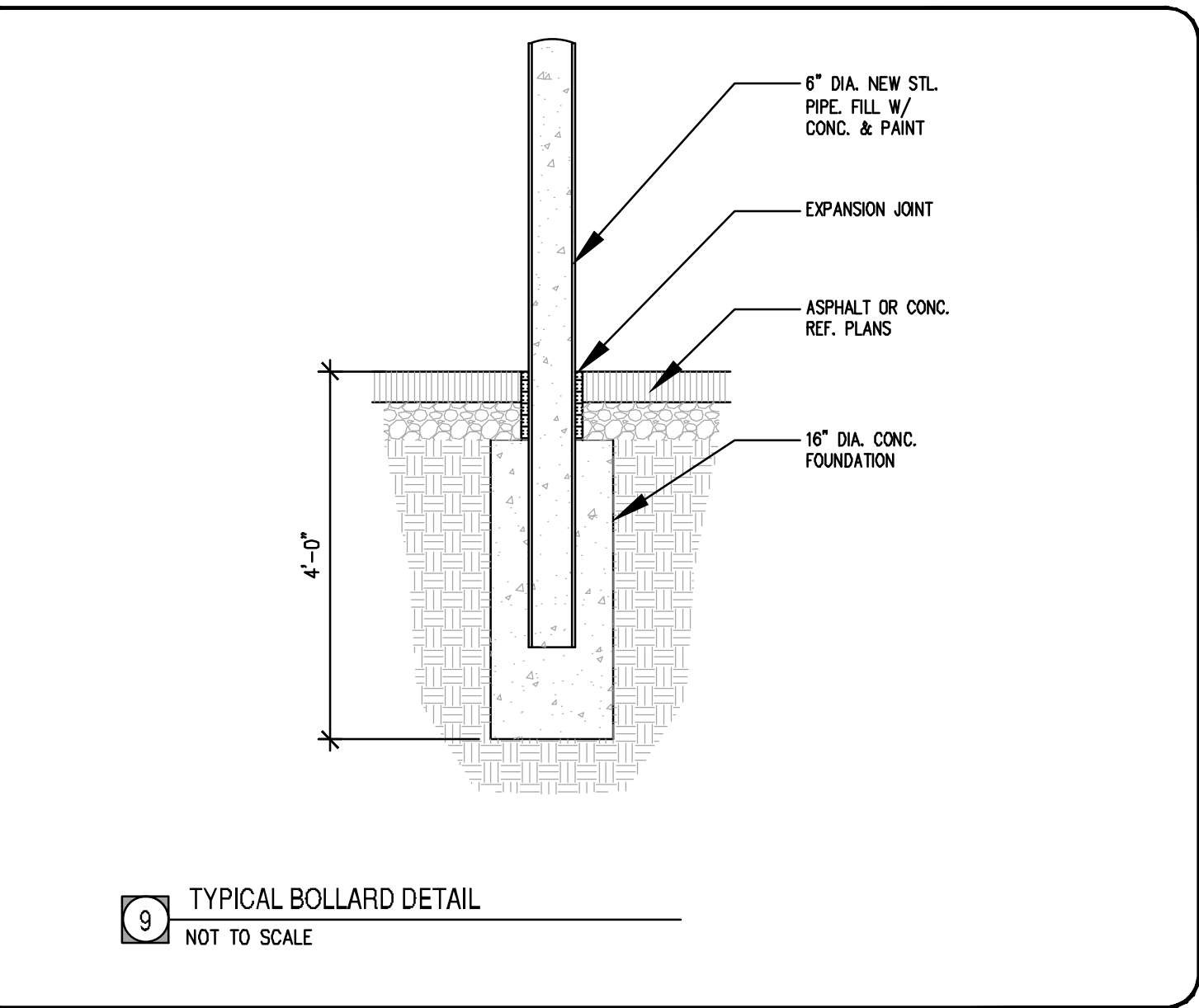
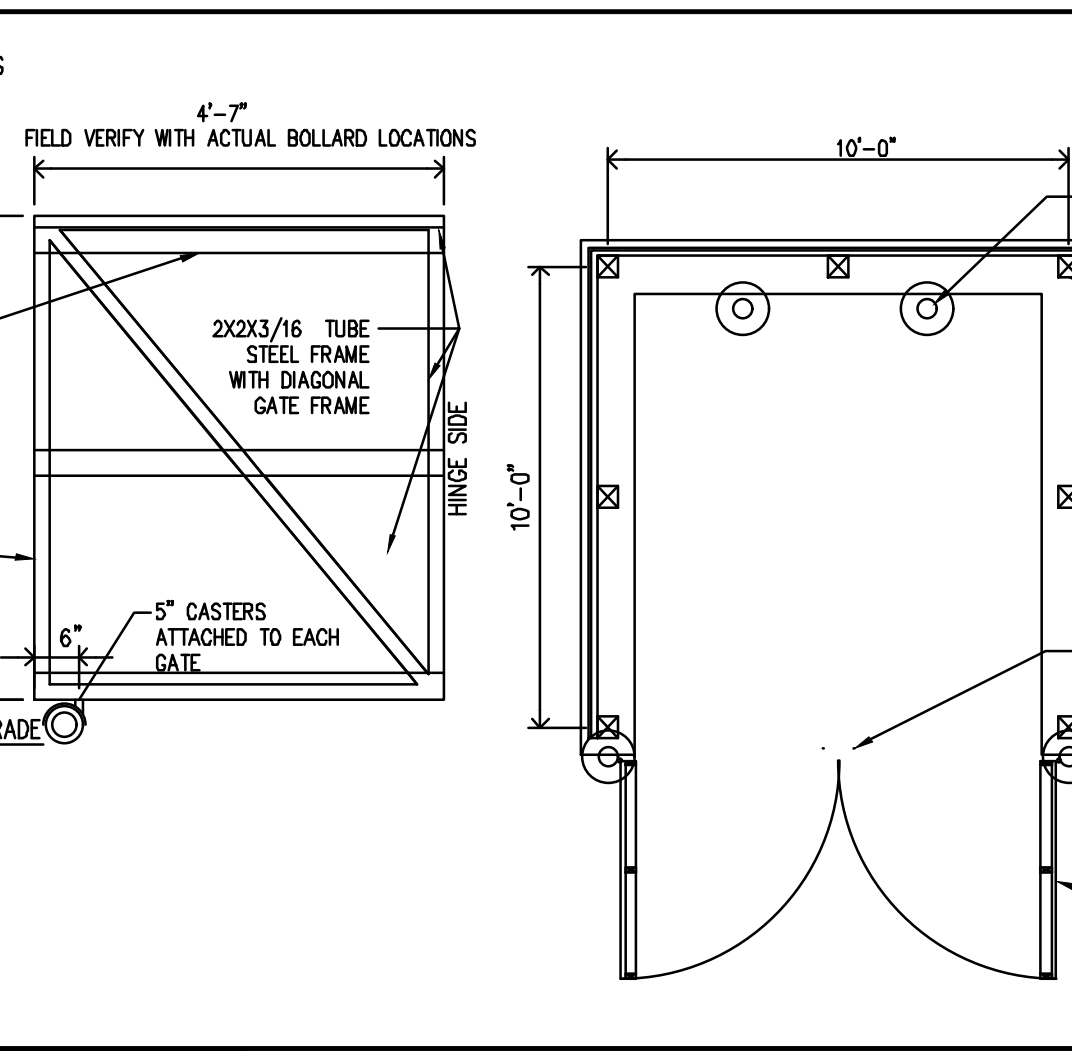
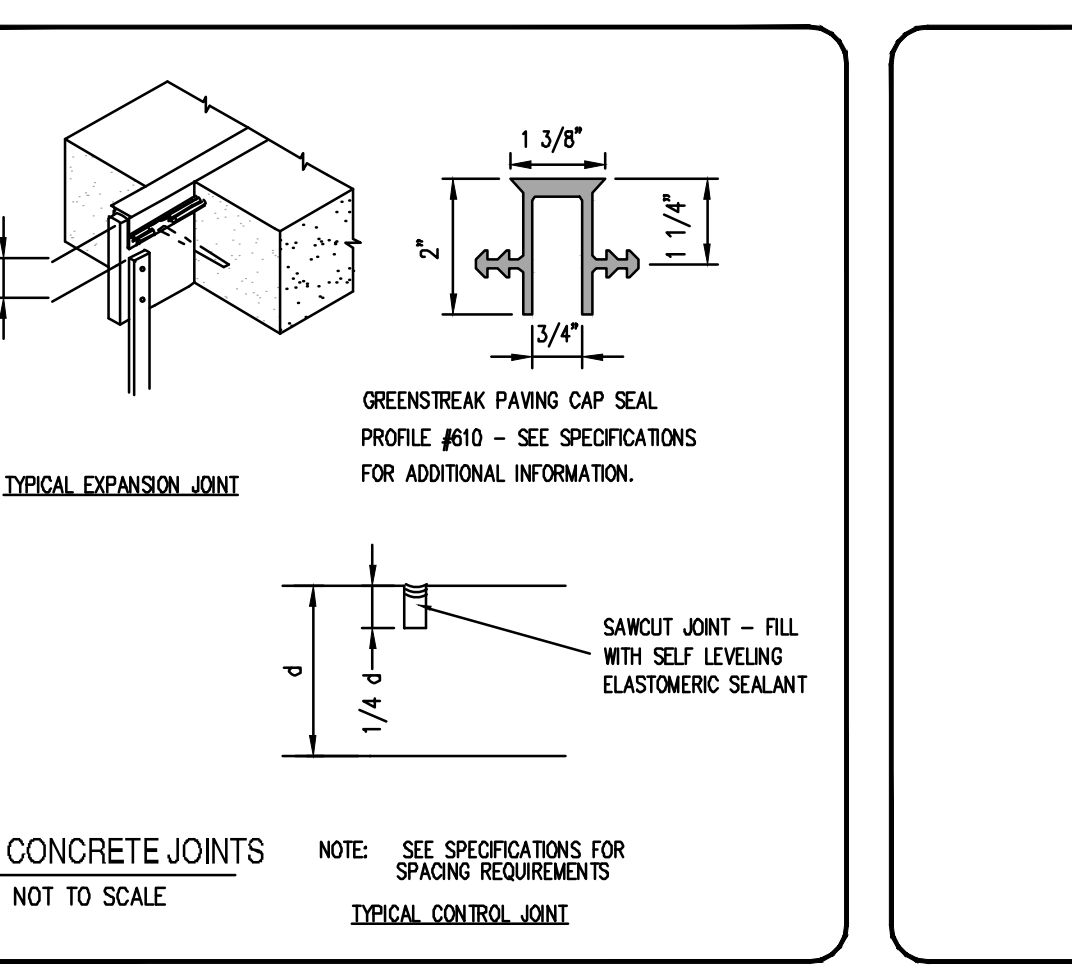
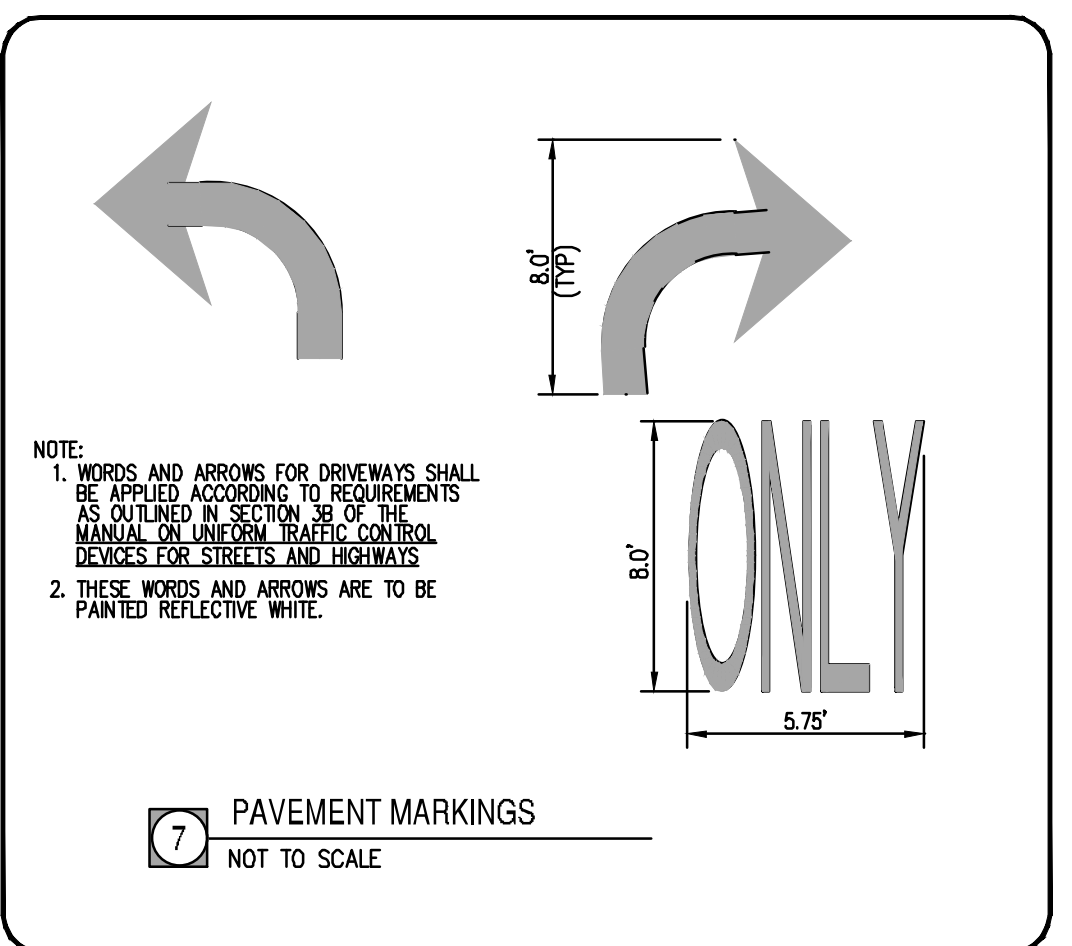
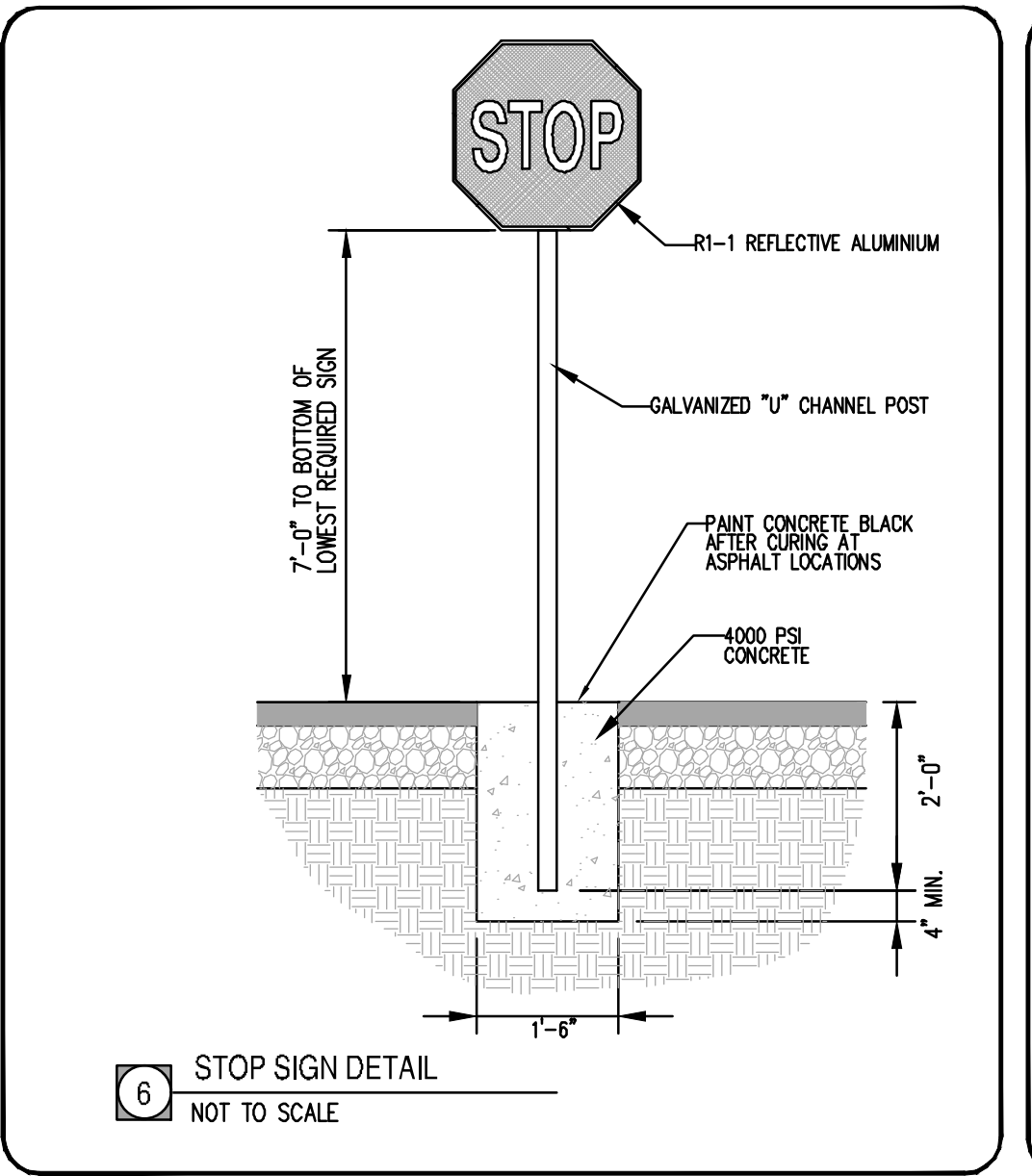
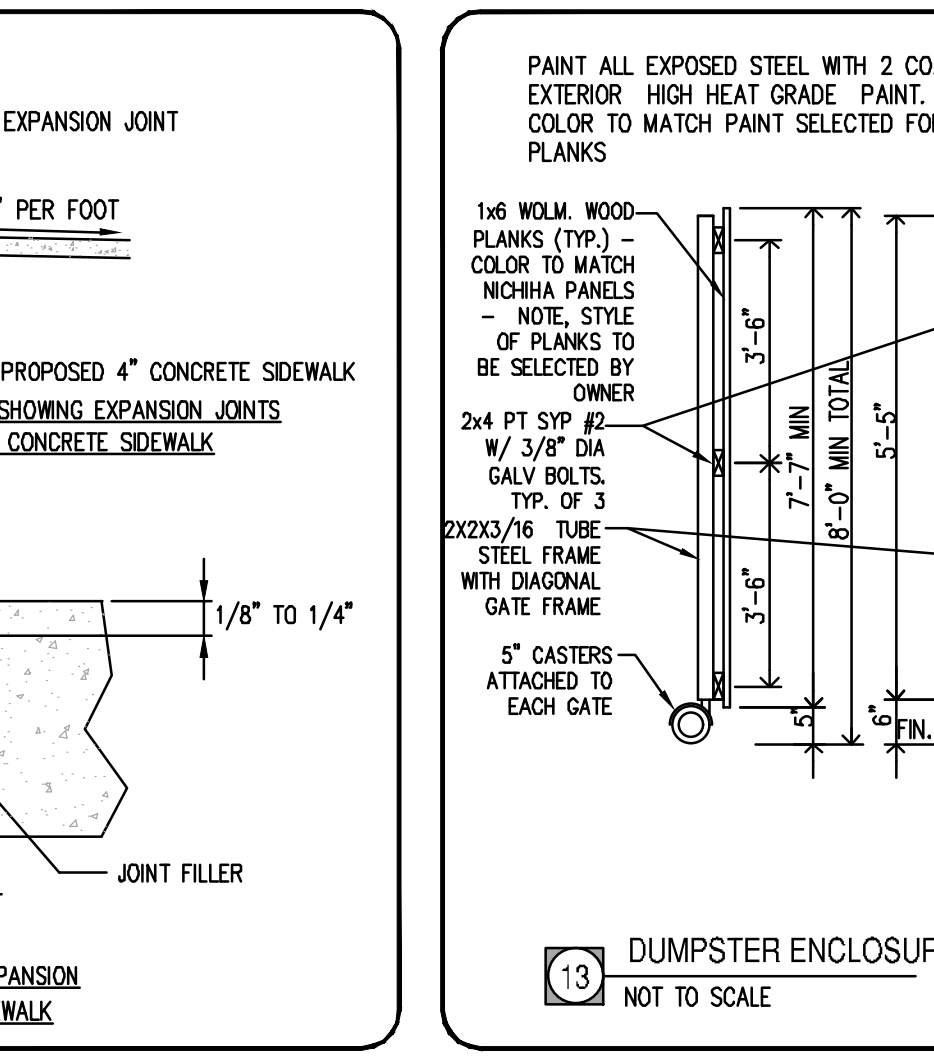
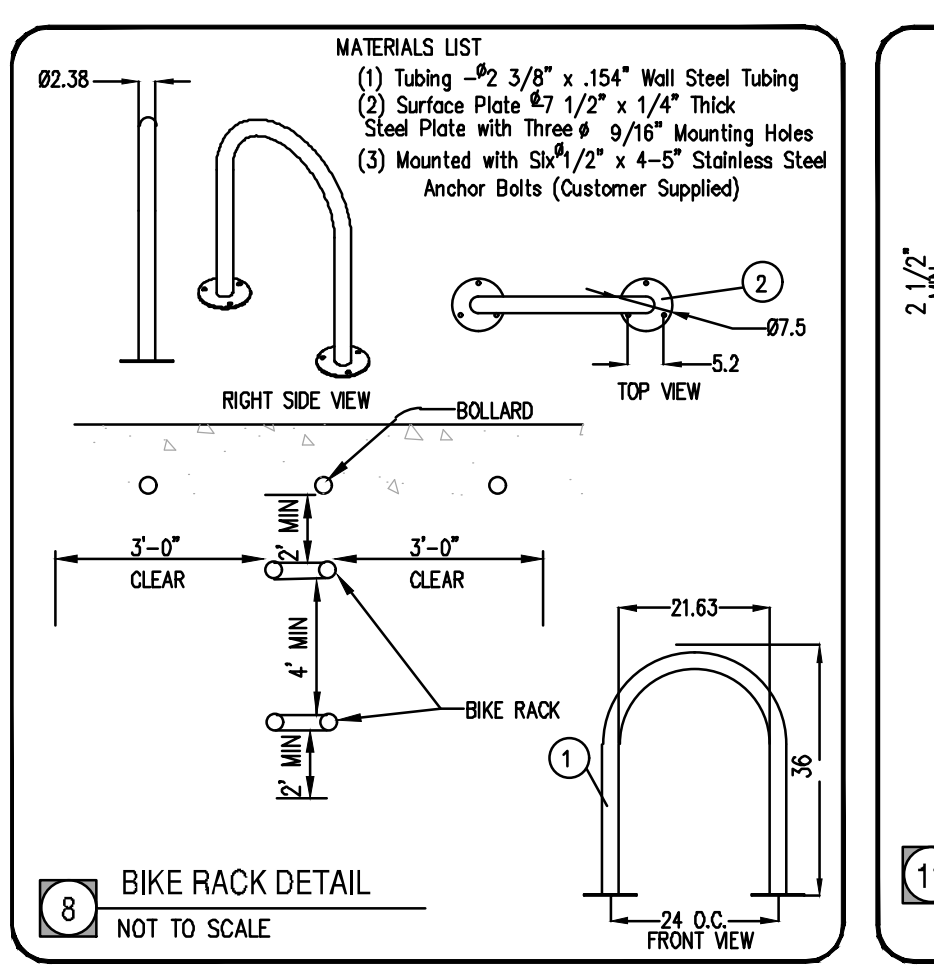
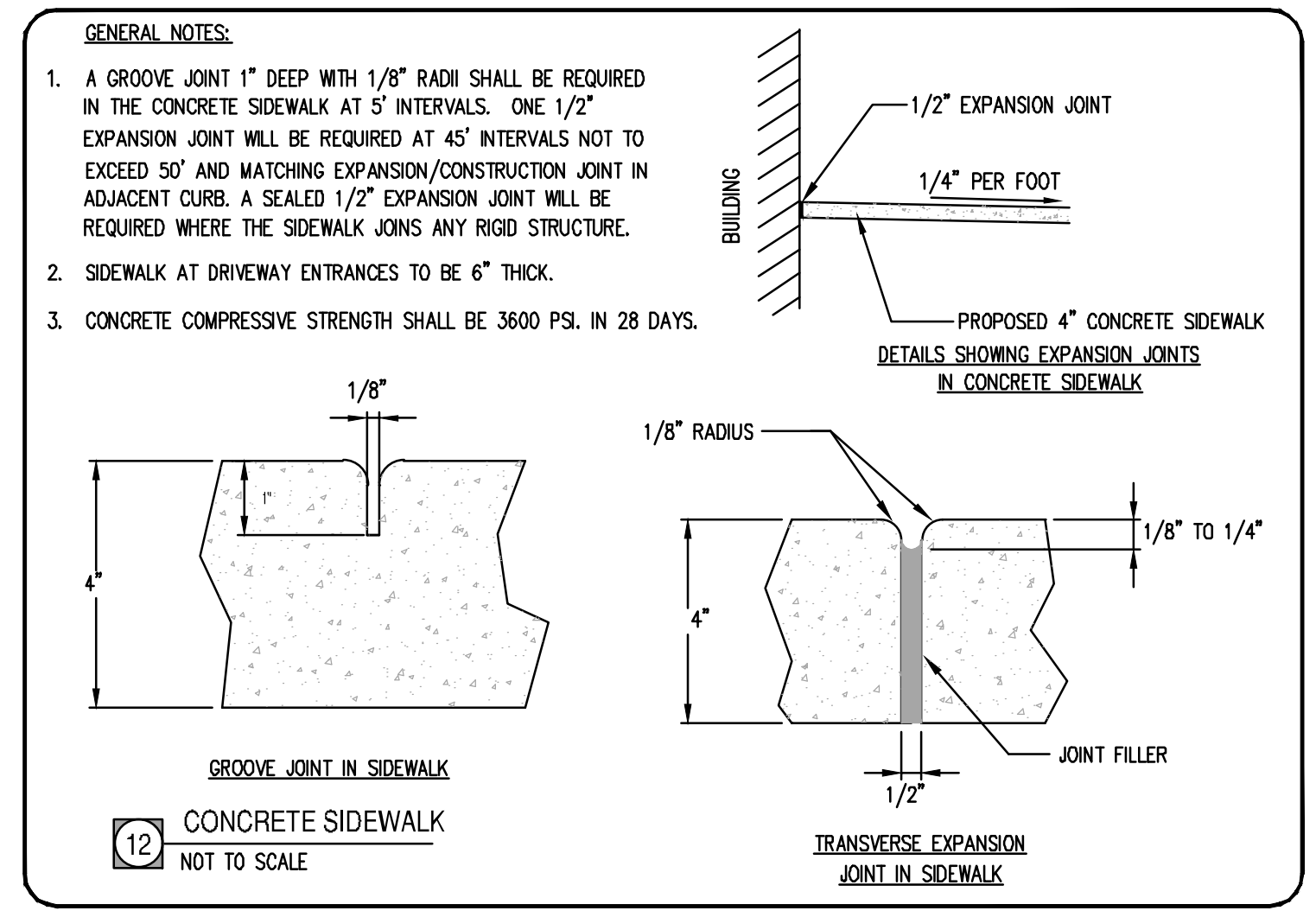
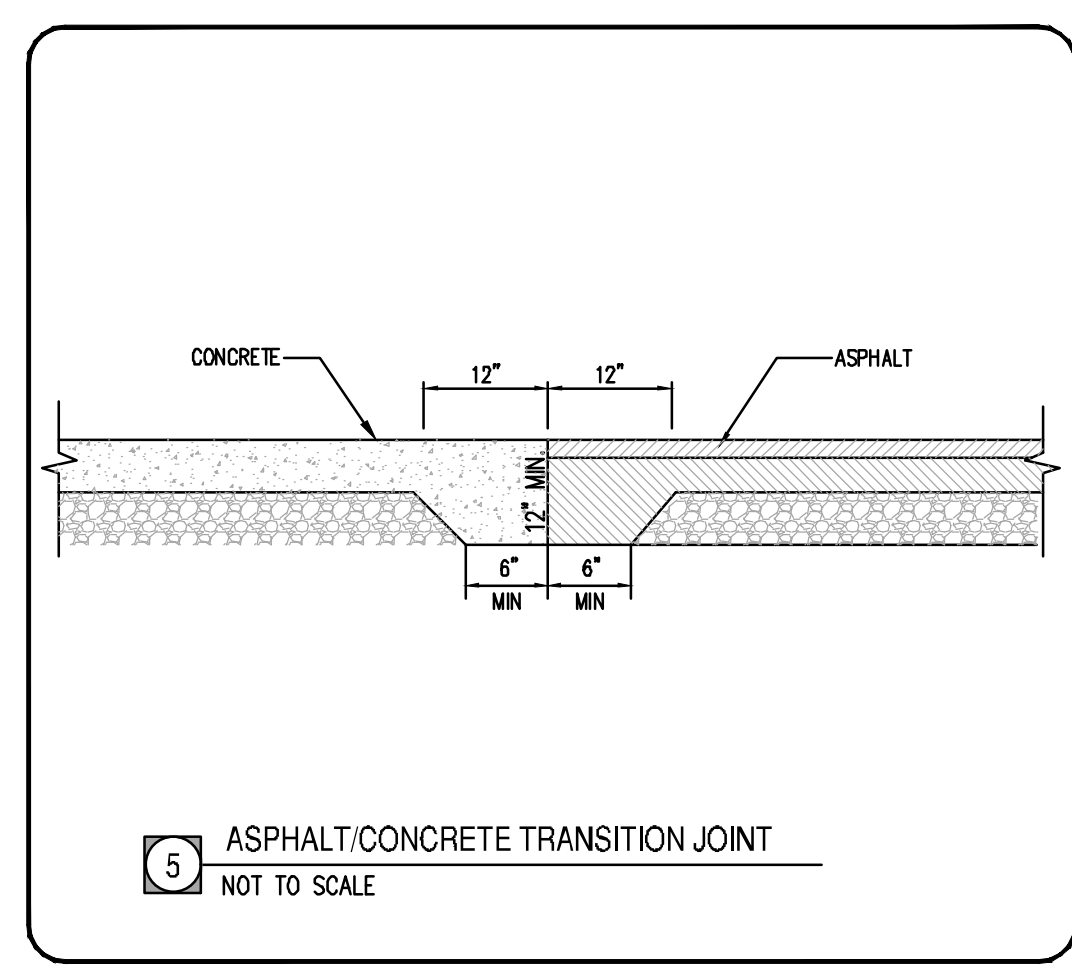
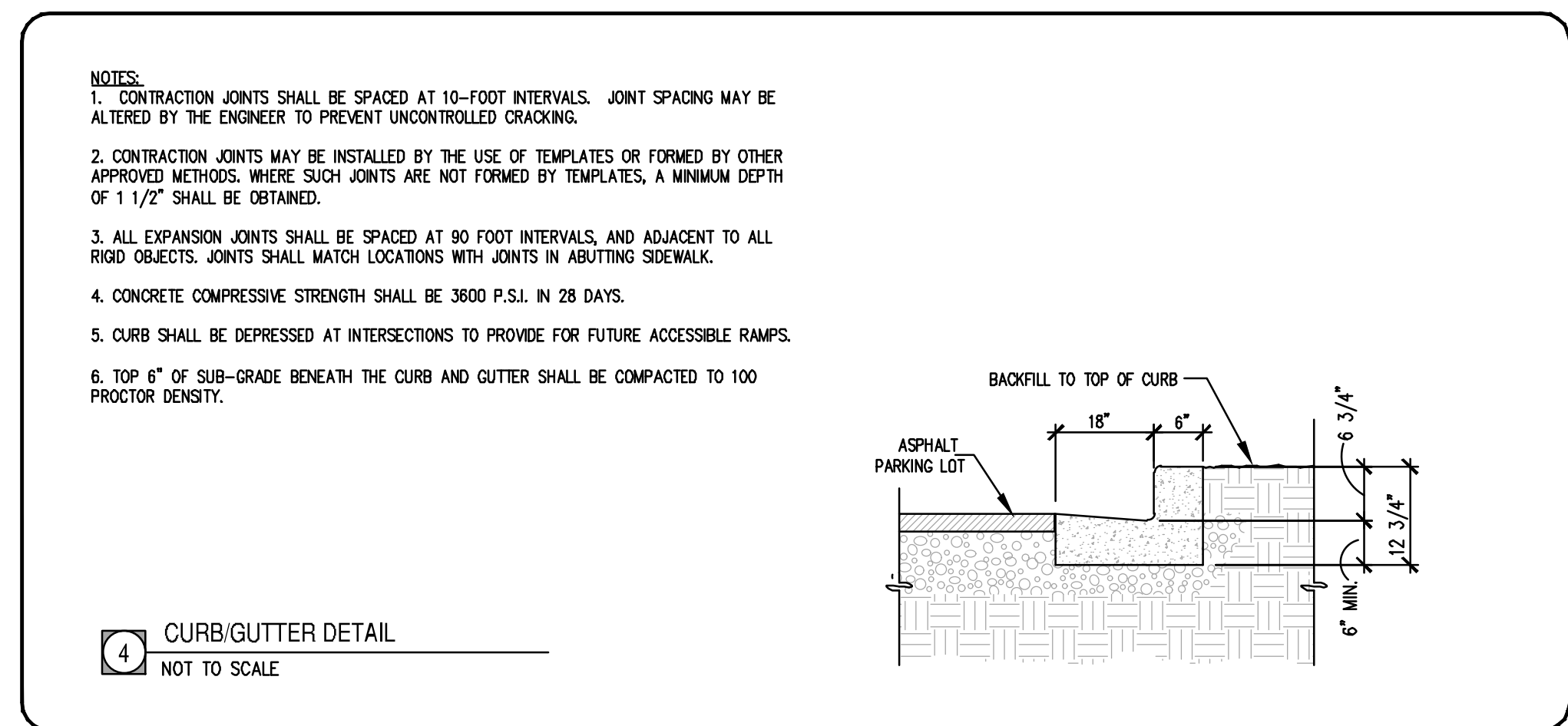
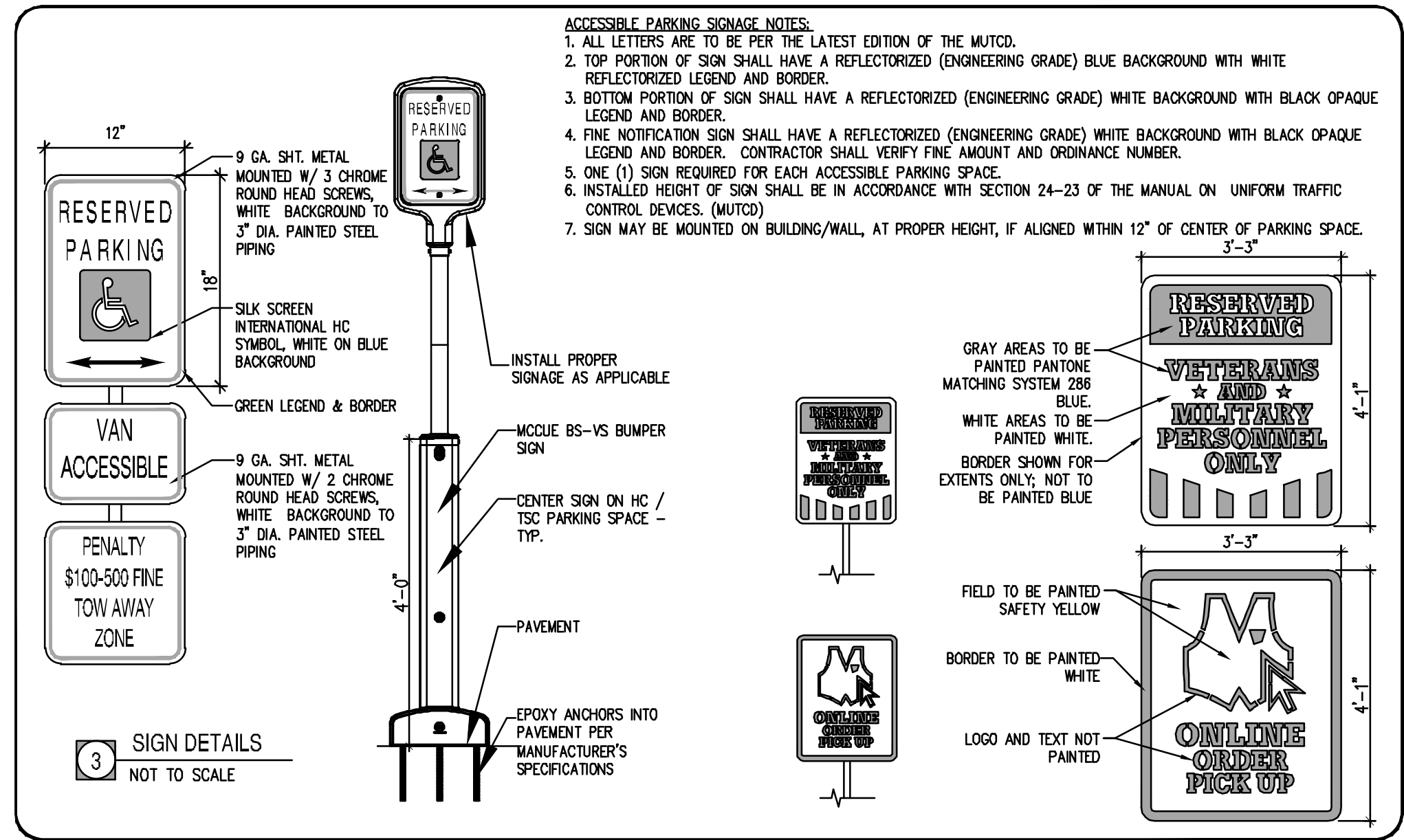
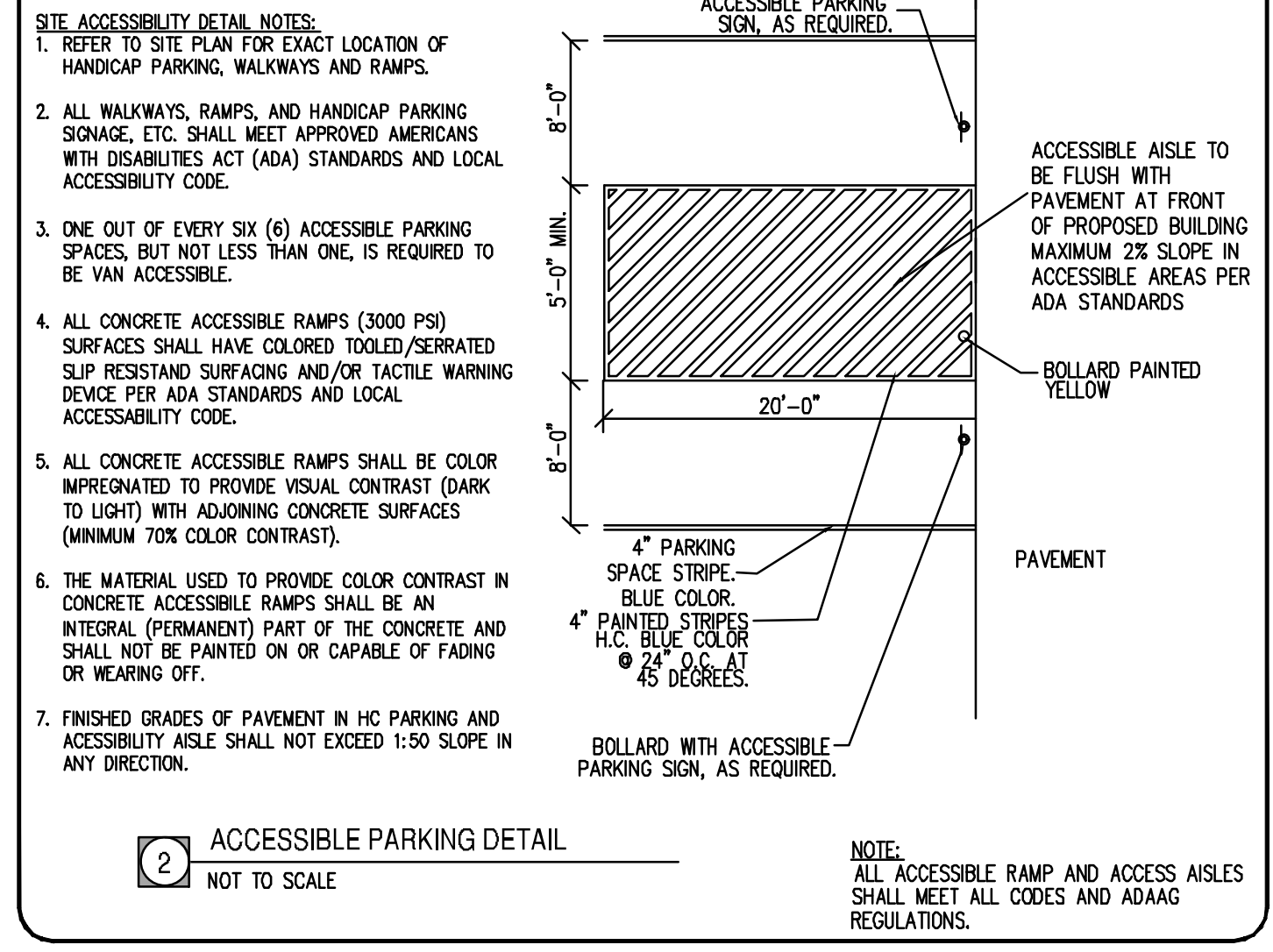
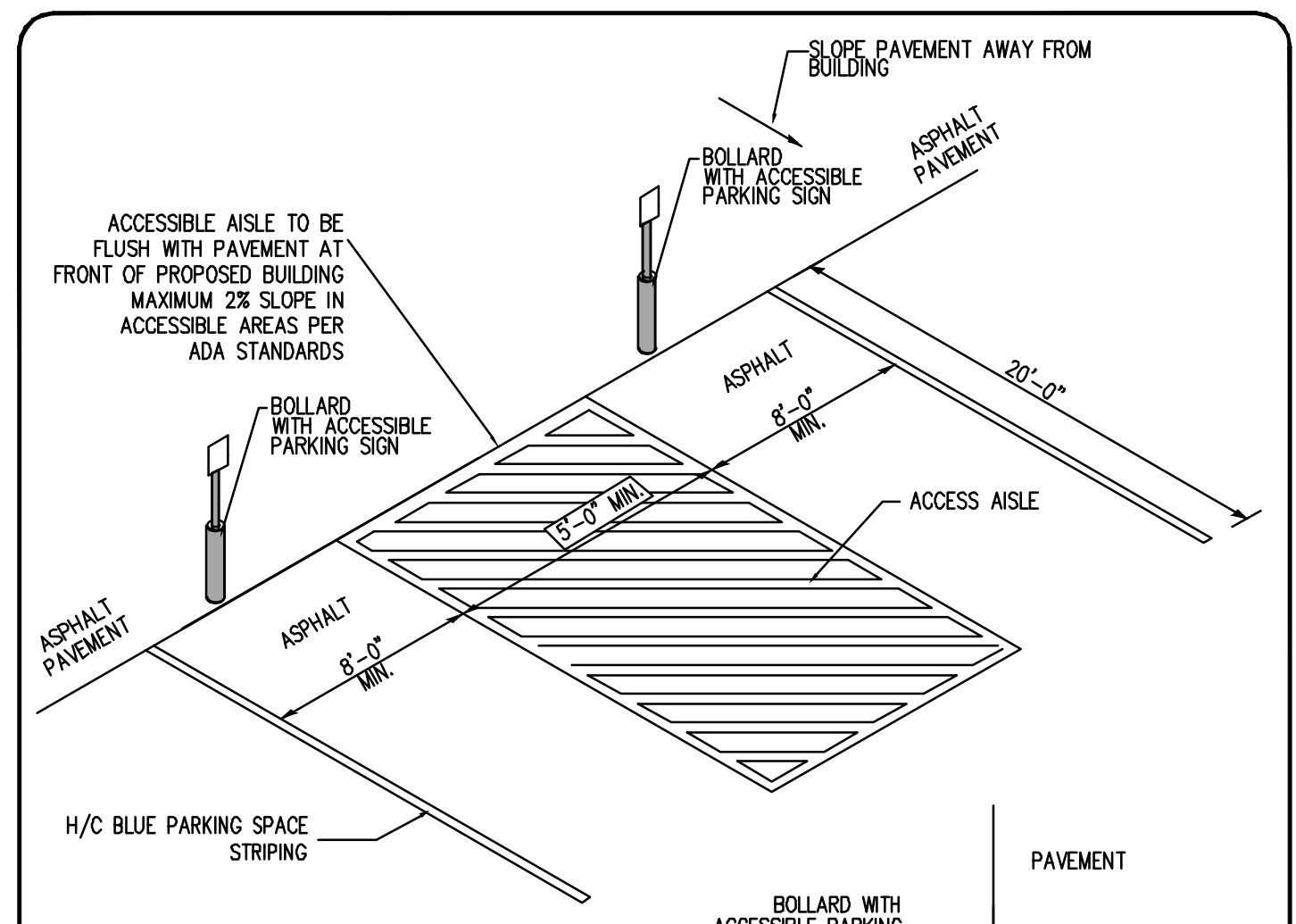
LINE	ANG LENGTH	ADJUSB	FIELD ANGLE	CRSNG BEARING	CHORD LENGTH
1	100.00'	0.0000	90.0000°	S100.0000°E	100.00'
2	30.00'	0.0000	135.0000°	S30.0000°E	30.00'
3	44.42'	1.0000	153.4431°	S32.3601°E	44.42'
4	24.88'	0.0000	0.0000°	S0.0000°E	24.88'
5	72.00'	0.0000	15.3625°	S84.6375°E	72.00'



REFER TO SHEET C1.0 FOR NCDOT PAVEMENT SECTION



REFER TO NCDOT DRIVEWAY PERMIT FOR ADDITIONAL REQUIREMENTS
REFER TO PROJECT GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS
MATERIALS AND CONSTRUCTION REQUIREMENTS PER THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, LATEST EDITION



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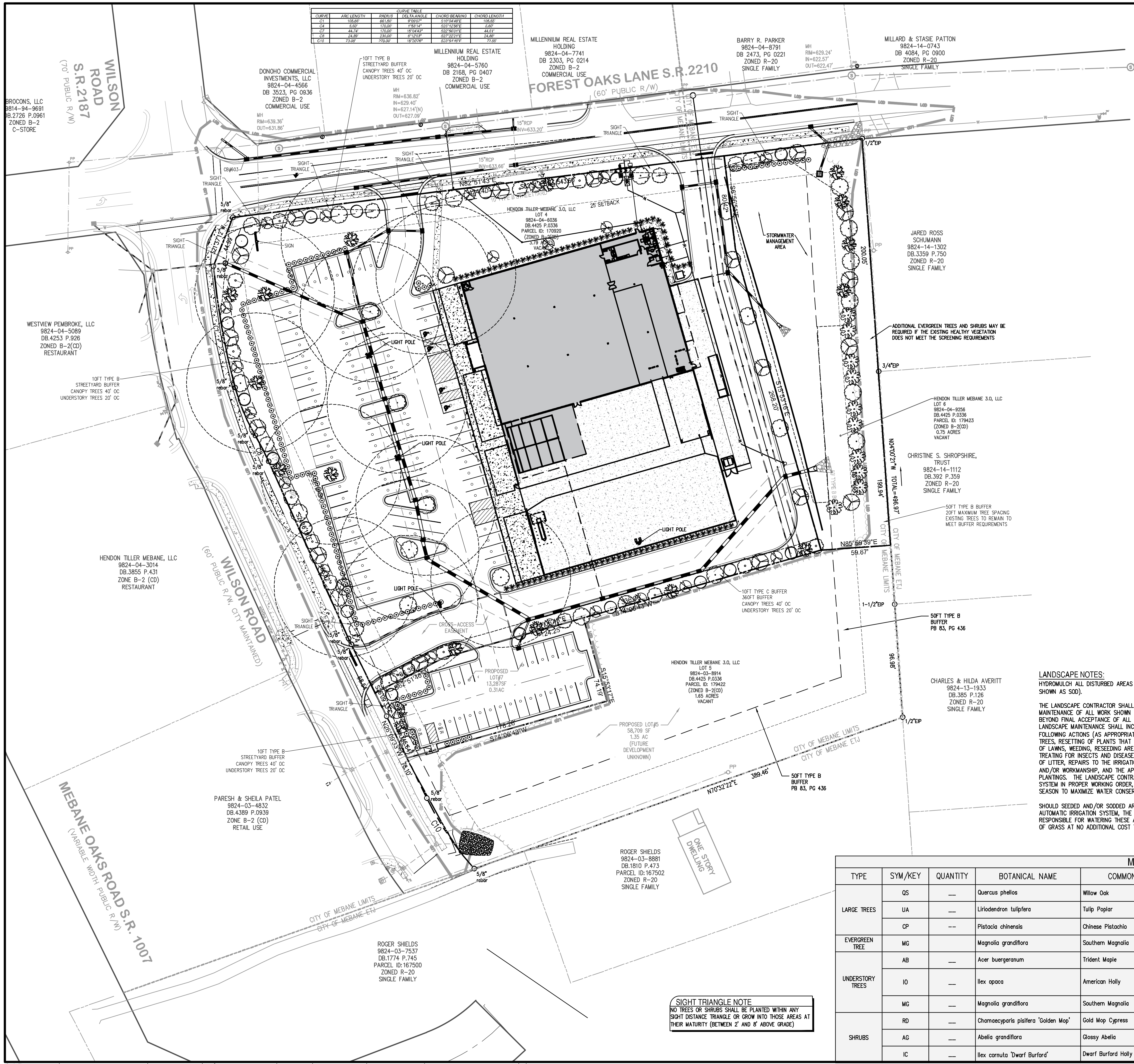
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SHEET **C6.2**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
CB	106.68'	60.50'	99.01°	S109°24'45"E	106.68'
CB	8.00'	110.20'	17.01°	S80°12'58"E	2.00'
CB	48.20'	170.20'	16.01°	S79°26'01"E	22.01'
CB	24.00'	200.20'	6°27'00"	S87°22'18"E	24.00'
CB	24.00'	200.20'	6°27'00"	S10°14'00"E	24.00'



- GENERAL LANDSCAPE NOTES:**
- ANY DISTURBED AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTINGS, OR MULCH SHALL BE SEEDED LAWN.
 - NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL OF THE OWNERS REPRESENTATIVE.
 - ALL PLANT AND BED LINE LOCATIONS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS AND SPECIFICATIONS FOR DEPTH AND TYPE OF MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS AND SHALL BE SEPARATED FROM TURF GRASS AREAS.
 - GRASS COVERAGE TO EXTEND FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND/OR CURBS.
 - MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
 - ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
 - LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
 - ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES.)
 - ATTENTION LANDSCAPER: NOTIFY OWNER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.

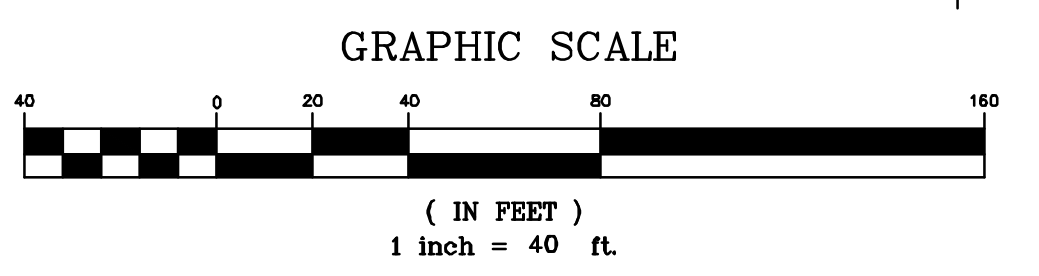
- LANDSCAPING NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL REQUIRED LANDSCAPING FOR THE ENTIRE SITE, TO INCLUDE BUT NOT LIMITED TO: SOODED/SEEDED AREAS, SHRUB BEDS, PARKING LOT ISLANDS, ROADSIDE SIGN BASE(S) AND MONUMENT PLANTERS.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDED AREAS.
 - IN THE EVENT THAT PLANTING BEDS AND MULCH ARE REQUIRED, THE CONTRACTOR SHALL INSTALL BLACK FABRIC WEED BLOCK LANDSCAPE MESH UNDER THE MULCH TO PREVENT WEED GROWTH.
 - CONTRACTOR SHALL PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRIABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDERANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND THE MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF: (a) THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE GRASS AND SHRUBS, OR (b) THE DATE THAT BUILDINGS OPEN FOR BUSINESS TO THE PUBLIC.
 - GENERAL CONTRACTOR IS TO CLEAN ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND RAKE ALL GRASS AREAS.
 - PROVIDE LANDSCAPE PLANS TO OWNER AND AS REQUIRED BY LOCAL JURISDICTION TO THE BLDG. DEPT. FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
 - ALL LANDSCAPING, TRESS, SHRUBS, ETC. SHALL NOT INTERFERE WITH THE VISIBILITY OF PROJECT SIGNAGE
 - CONTRACTOR TO VERIFY QUANTITIES PRIOR TO COMMENCING WORK.
 - OPEN AREAS WITHIN PLANTING BEDS SHALL BE MULCHED.

IRRIGATION NOTE:
IRRIGATION SYSTEM TO BE A DESIGN-BUILD SYSTEM PROVIDED BY THE CONTRACTOR. IRRIGATION HEADS TO BE A MINIMUM OF 3" FROM EDGE OF CURB LINE. ALL LANDSCAPE BEDS TO HAVE CUT EDGE OR COMMERCIAL EDGING MATERIAL INSTALLED FULLY SEPARATING THE MULCH BED FROM ADJACENT LAWN AREA. ANY TREES OVER 2" CALIPER MUST BE STAKED AND TIED.

GENERAL NOTE
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF MEBANE AND NCDOT SPECIFICATIONS AND STANDARD DETAILS (LATEST EDITION)

TREE PROTECTION NOTE:
TREE PROTECTION FENCING SHALL BE PLACE OUTSIDE OF THE DRIP-LINE OF ANY EXISTING VEGETATION TO BE PRESERVED PRIOR TO GRADING AND MUST REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE

LANDSCAPE NOTES:
HYDRONMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTORATION OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
SHOULD SEEDED AND/OR SOODED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.



TYPE	SYM/KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SYMBOL	CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER
LARGE TREES	QS	---	Quercus phellos	Willow Oak		2.5"	10' MIN		B&B	AS SHOWN	
	UA	---	Liriodendron tulipifera	Tulip Poplar		2.5"	10' MIN		B&B	AS SHOWN	
	CP	---	Pistacia chinensis	Chinese Pistachio		2.5"	10' MIN		B&B	AS SHOWN	
EVERGREEN TREE	MG	---	Magnolia grandiflora	Southern Magnolia		2.5"	10' MIN		B&B	AS SHOWN	
UNDERSTORY TREES	AB	---	Acer buergerianum	Trident Maple		2.0"	8' MIN		B&B	AS SHOWN	
	IO	---	Ilex opaca	American Holly		2.0"	8' MIN		B&B	AS SHOWN	50% OF UNDERSTORY TREES TO BE EVERGREEN
SHRUBS	MG	---	Magnolia grandiflora	Southern Magnolia		2.0"	8' MIN		B&B	AS SHOWN	
	RD	---	Chamaecyparis plicata 'Golden Mop'	Gold Mop Cypress		-	18" MIN		3 GAL	AS SHOWN	
	AG	---	Abelia grandiflora	Glossy Abelia		-	18" MIN		3 GAL	AS SHOWN	
	IC	---	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly		-	18" MIN		3 GAL	AS SHOWN	

SIGHT TRIANGLE NOTE
NO TREES OR SHRUBS SHALL BE PLANTED WITHIN ANY SIGHT DISTANCE TRIANGLE OR GROW INTO THOSE AREAS AT THEIR MATURITY (BETWEEN 2' AND 8' ABOVE GRADE)



Bowman North Carolina Ltd.
4006 BARRIETT DR
Suite 104
RALEIGH, NC 27609
Phone: (919) 655-6570
bowman.com



TRACTOR SUPPLY COMPANY

LANDSCAPE PLAN
Tractor Supply
Wilson Road
Mebane, NC Melville Township Alamance County



PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION

PLAN STATUS		
1/11/24	PER TRC REVIEW	
1/24/24	PER TRC REVIEW	
DATE	DESCRIPTION	
JP DESIGN	JP DRAWN	XXX CHKD
SCALE	H: 1" = 40'	V: 1" = XX'
JOB No.	220159-01-001	
DATE	January 11, 2024	
FILE No.		
SHEET	C7.0	

PLANNING PROJECT REPORT

DATE	03/06/2024
PROJECT NUMBER	RZ 23-01 - Amended
PROJECT NAME	Tractor Supply
APPLICANT	Hendon Properties, LLC Attn. Mark Tiller 3445 Peachtree Rd NE #465 Atlanta, GA 30326

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SUMMARY OF CHANGES:

Since RZ 23-01 was approved on April 3, 2023, the +/- 6.19-acre parcel has been subdivided into three lots. Lot 4 will be developed as the farm supplies and equipment retail use, Lot 5 will be reserved for future commercial development, and Lot 6 will be primarily utilized as a stormwater management area. The revised site-specific plan proposes that Lot 5 will be subdivided into two lots. The proposed new Lot 7 is intended to be sold to Chick-Fil-A for use as a staff and overflow parking lot. The site plan shows three driveways, with two on Forest Oaks Lane and one on Wilson Road. The driveway on Wilson Road will provide shared access for the proposed Lots 4, 5, and 7. The City Council approved the property's annexation into Mebane's City Limits on June 5, 2023 and the annexation plat was recorded on June 29, 2023 in the Alamance County Register of Deeds.

Additional changes to the site plan originally approved by the Mebane City Council include:

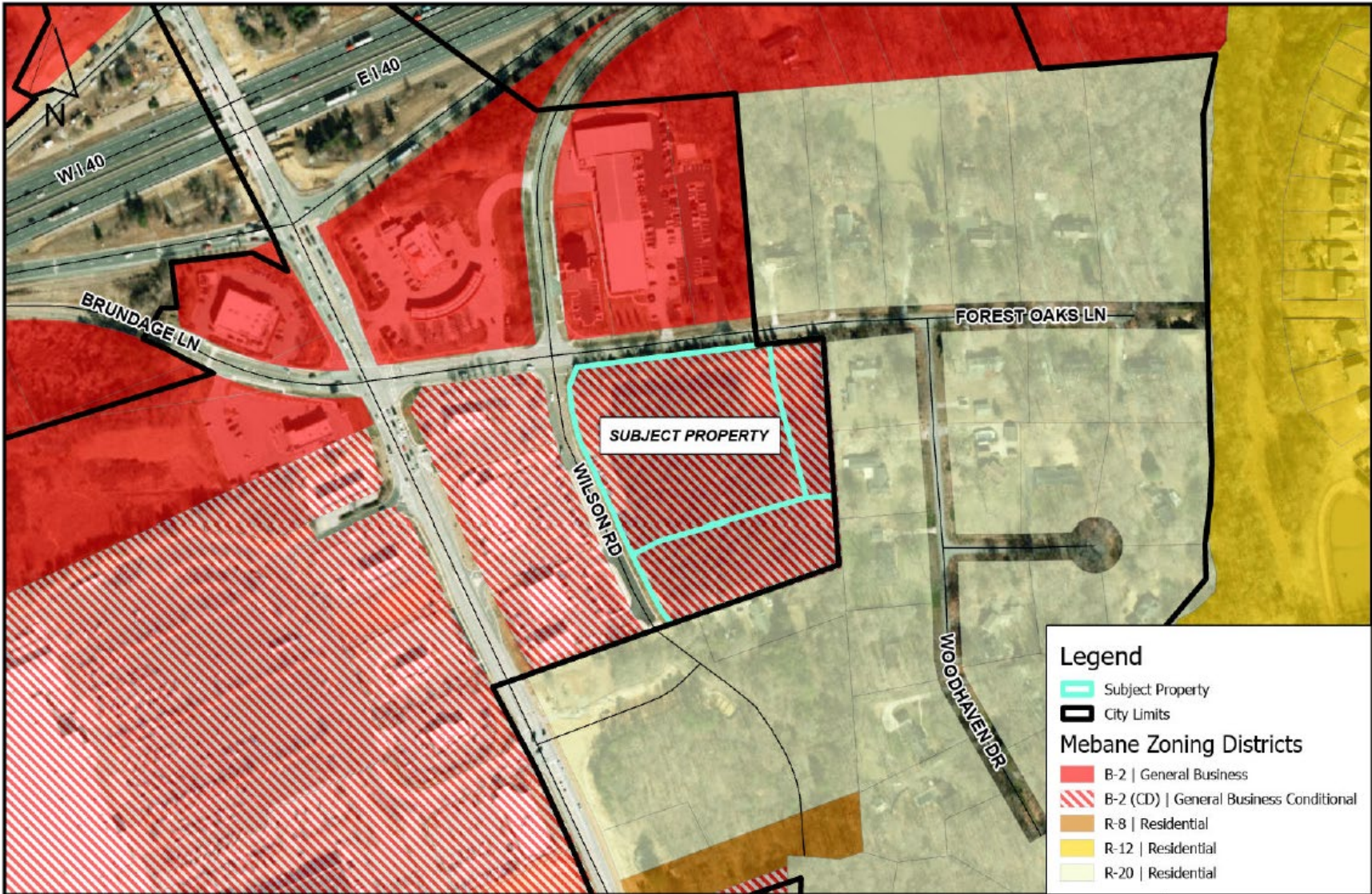
- A reduction in the amount of curb and gutter on Forest Oaks Lane. The new site plan shows curb and gutter on Forest Oaks Lane opposite the site ending at the second commercial driveway on Forest Oaks Lane. The original site plan had curb and gutter extending past the first residential driveway on Forest Oaks Lane.
- The addition of crosswalks at the intersection of Wilson Road and Forest Oaks Lane and a mid-block crossing of Wilson Road.
- A minor modification to the parking lot layout around the entrance to the fenced outdoor display area.
- The 3,827 SF Garden Center has been changed to a 2,640 SF Live Goods Center. This has increased the outdoor display area from 24,040 SF (14.58% of the site area) to 26,745 SF (16.22% of the site area). Of the total outdoor display area, 2,640 SF will be covered, 19,654 SF will be fenced, and the remaining 4,451 SF will be uncovered and unfenced.

As the developer did not secure the right-of-way needed to extend Wilson Road, a TIA was submitted for this project. The developer is required to make the following improvements:

- Provide a westbound left turn lane on Forest Oaks Road with adequate storage and taper, as requested by the NCDOT and the City of Mebane.
- Compliance of multimodal transportation requirements will be examined by staff to ensure adequacy of pedestrian, bike, and transit facilities along the property frontage. Additional crosswalks shall be considered at the intersection of Wilson Road and Forest Oak Lane.

ZONING REPORT

EXISTING ZONE	B-2 (CD) (General Business Conditional District)
REQUESTED ACTION	B-2 (CD) (General Business Conditional District) – Revised Conditions
CONDITIONAL ZONE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
CURRENT LAND USE	Vacant, Gravel Parking Lot, Forested
PARCEL SIZE	+/- 6.19 acres
PROPERTY OWNERS	Hendon Tiller Mebane 3.0 LLC 3445 Peachtree Rd NE #465 Atlanta, GA 30326 GPINs: 9824046036, 9824049256, and 9824038914
LEGAL DESCRIPTION	Request to modify the conditional zoning district, B-2(CD), of three lots, totaling +/- 6.19-acres and located at Wilson Road and Forest Oaks Lane (GPINs 9824046036, 9824049256, and 9824038914) to allow for a farm supplies and equipment retail use by Hendon Tiller Mebane 3.0, LLC.
AREA ZONING & DISTRICTS	The properties to the west, across Wilson Road, are zoned B-2 (CD), General Business Conditional District. The properties to the north, across Forest Oaks Lane, are a mix of B-2, General Business and R-20, Residential. The properties to the east and south are all zoned R-20, Residential.
SITE HISTORY	The property has historically been sparsely forested although it is currently taxed as vacant commercial land. The gravel parking lot, utilized by Chick-Fil-A, was added between 2018 and 2020. A stormwater pond, currently serving the Wendy's and Chick-fil-A developments, is also on the property.
STAFF ANALYSIS	
CITY LIMITS?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED USE BY-RIGHT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
SPECIAL USE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
EXISTING UTILITIES?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
POTENTIAL IMPACT OF PROPOSED ZONE	The proposed rezoning is consistent with the B-2 (CD) and B-2 zoning of the properties to the north and west of the subject property. The proposed development will introduce a commercial use in close proximity to an existing residential neighborhood. However, the proposed site plan includes a stormwater control area on the east side of the property and a semi-opaque buffer.



Legend

- Subject Property
 - City Limits
- Mebane Zoning Districts**
- B-2 | General Business
 - B-2 (CD) | General Business Conditional
 - R-8 | Residential
 - R-12 | Residential
 - R-20 | Residential



**CITY OF MEBANE
ZONING MAP**

**CONDITIONAL REZONING
AMENDMENT
TRACTOR SUPPLY**

1 inch = 300 feet

DATE: 02/05/24

DRAWN BY: RG

LAND USE REPORT

EXISTING LAND USE	Vacant, Gravel Parking Lot, Forested
PROPOSED LAND USE & REQUESTED ACTION	The applicant is requesting a rezoning to develop three lots, totaling +/- 6.19 acres, with frontages on Wilson Road and Forest Oaks Lane (GPINs: 9824046036, 9824049256, and 9824038914) for a farm supplies and equipment retail use. The applicant intends to re-subdivide the property into four lots. Lot 4 will be utilized for the farm supplies and equipment retail use, Lot 5 will be reserved for future commercial development, Lot 6 will be utilized as a stormwater management area, and Lot 7 is proposed to be sold to Chick-Fil-A for their use as a staff and overflow parking lot.
PROPOSED ZONING	B-2 (CD) (General Business Conditional District) – revised conditions
PARCEL SIZE	+/- 6.19 acres
AREA LAND USE	The subject property is located just east of an arterial commercial strip along Mebane Oaks Road. The properties to the west are developed with a Wendy’s, Chick-Fil-A, and Aspen Dental. The properties to the north include Southern Animal Hospital and a multi-use commercial building that includes a gym, insurance office, and other similar uses. There are developed residential lots to the south, east, and northeast of the subject property.
ONSITE AMENITIES & DEDICATIONS	The applicant proposes a 5’ sidewalk on the east side of Wilson Road and on the south side of Forest Oaks Lane. Curb and gutter will be constructed on Forest Oaks Lane as shown on the site plan and approved by the NCDOT. The revised site plan shows a reduction in how far the curb and gutter extends along Forest Oaks Lane on the opposite side of the site.
CONDITIONAL ZONE?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DESCRIPTION OF PROPOSED CONDITIONS	The applicant has offered to construct the stormwater pond for a 100-year storm event. As noted on Sheet C4.0, the current design is considered by staff to be conceptual and additional design details are required with construction plans. The applicant has requested a total outdoor display area of 26,745 SF or 16.22% of the site area. Section 4-7.8.H.2(c) of the Mebane UDO limits the outdoor area devoted to the display and sales of retail good to a maximum 15 percent of the net developable lot area. Of the total proposed outdoor display area, 2,640 SF will be covered, 19,654 SF will be fenced, and the remaining 4,451 SF will be uncovered and unfenced.

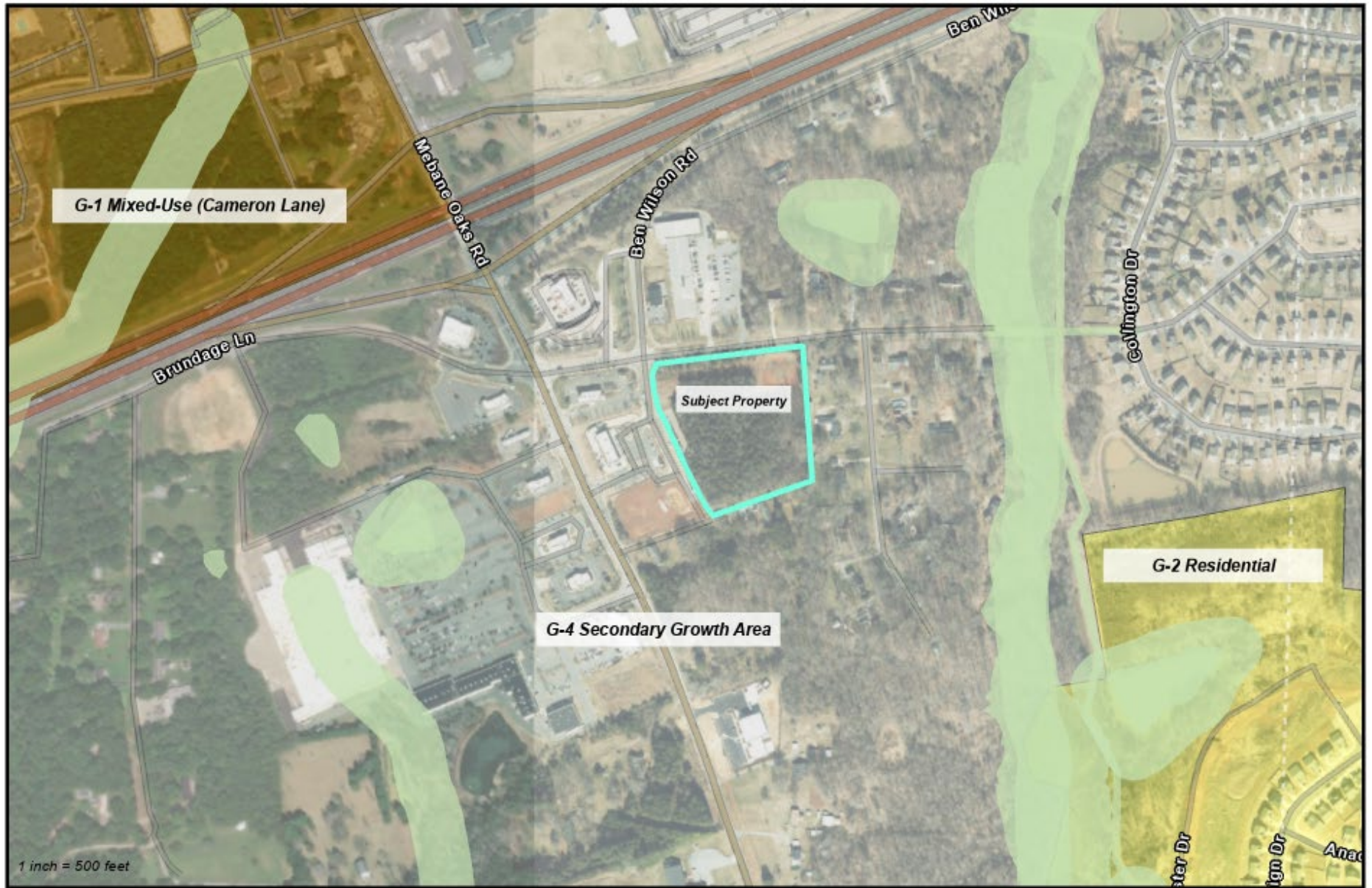
CONSISTENCY WITH *MEBANE BY DESIGN* STRATEGY

LAND USE GROWTH STRATEGY DESIGNATION(S) G-4 Secondary

OTHER LAND USE CONSIDERATIONS Mebane Oaks Road Small Area Plan

MEBANE BY DESIGN GOALS & OBJECTIVES SUPPORTED

MEBANE BY DESIGN GOALS & OBJECTIVES NOT SUPPORTED



UTILITIES REPORT

AVAILABLE UTILITIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
PROPOSED UTILITY NEEDS	<p>Per the memorandum from Franz Holt of AWCK, the anticipated water use for the proposed development is 2,500 gallons per day and the anticipated wastewater use is less than 2,500 gallons per day. The development will be served by connecting to Mebane’s existing 12-inch water line on Forest Oaks Lane. The project will also be connected to the existing sewer system by extending a new 6-inch private sewer service line from an existing manhole located at Forest Oaks Lane. Additionally, a 6-inch private sewer service will be extended from a newly set manhole over Mebane’s 8-inch gravity line in Forest Oaks Lane, through Lot 4 and ending at the Lot 5 property line with a private easement dedicated over the service line.</p>
UTILITIES PROVIDED BY APPLICANT	Applicant has pledged to provide all on-site utilities, as described in AWCK’s Technical Memo.
MUNICIPAL CAPACITY TO ABSORB PROJECT	The City has adequate water & sewer supply to meet the domestic and fire flow demands of the project.
CONSISTENCY WITH MEBANE LONG RANGE UTILITY PLAN?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
ADEQUATE STORMWATER CONTROL?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
INNOVATIVE STORMWATER MANAGEMENT?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

TRANSPORTATION NETWORK STATUS

CURRENT CONDITIONS	<p>The subject property is situated south of Forest Oaks Lane and east of Wilson Road. The site plan features two proposed driveway entrances from Forest Oaks Lane and one proposed driveway entrance from Wilson Road. The driveway from Wilson Road is proposed to provide access to Lots 4, 5, and 7 of the proposed subdivision. Both Forest Oaks Lane and Wilson Road are NCDOT maintained roads.</p> <p>NCDOT does not provide traffic count data for Forest Oaks Lane or Wilson Road. Mebane Oaks Road, to the west of the site, had an average daily traffic volume of 26,000 trips in 2021.</p> <p>The section of Forest Oaks Lane adjacent to the subject property has a safety score of 0, being the best possible score, in 2022. However, from 2017 to 2021 there were 42 crashes at the</p>
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intersection of Forest Oaks Lane and Mebane Oaks Road. This section of Wilson Road does not have a safety score.

**TRAFFIC IMPACT ANALYSIS
REQUIRED?**

YES NO

**DESCRIPTION OF RECOMMENDED
IMPROVEMENTS**

As the developer did not secure the right-of-way needed to extend Wilson Road, a TIA was submitted for this project. The developer is required to make the following improvements:

- Provide a westbound left turn lane on Forest Oaks Road with adequate storage and taper (as requested by NCDOT and the City of Mebane.
- Construct all drives with one ingress lane and one egress lane striped as a shared left-right turn lane operating under stop-control. Due to intersection spacing concerns, permitting of a driveway at Site Drive 1 on Forest Oaks Lane is subject to meeting adequate design and sight distance requirements.
- Compliance of multimodal transportation requirements will be examined by staff to ensure adequacy of pedestrian, bike, and transit facilities along the property frontage. Additional crosswalks shall be considered at the intersection of Wilson Road and Forest Oak Lane.

**CONSISTENCY WITH THE MEBANE
BICYCLE AND PEDESTRIAN
TRANSPORTATION PLAN?**

YES NO

**MULTIMODAL IMPROVEMENTS
PROVIDED BY APPLICANT?**

YES NO

**DESCRIPTION OF MULTIMODAL
IMPROVEMENTS**

The applicant proposes to construct a sidewalk for the length of the property on the south side of Forest Oaks Lane and on the east side of Wilson Road. Bike racks will also be provided in accordance with UDO requirements. Crosswalks will be provided as shown on the site plan.

STAFF RECOMMENDATION

**STAFF ZONING
RECOMMENDATION**

APPROVE DISAPPROVE

STAFF SPECIAL USE FINDING

CONSISTENT NOT CONSISTENT.....WITH *MEBANE
BY DESIGN*

RATIONALE

The proposed development "Tractor Supply" is consistent with the guidance provided within Mebane By Design, the Mebane Comprehensive Land Development Plan. The project is in harmony with surrounding commercial uses.



February 6, 2024

Mr. Matt Lowder, PE
Bowman North Carolina, Ltd.
4006 Barrett Drive, Suite 104
Raleigh, NC 27609

Subject: Tractor Supply – Water and Sewer System Layout

Dear Mr. Lowder:

Regarding the Preliminary Site Plans for Tractor Supply and in accordance with the UDO, this memo is provided to indicate that I have reviewed the preliminary water and sewer system layout and find it acceptable and meets City standards based on the following:

- A. Water system – The project is proposed to be served by connecting to Mebane’s existing 12-inch water line on Forest Oaks Lane. Extension of private domestic (2-inch), irrigation service (1-inch) and fire line (6-inch) are shown with appropriate backflow prevention and fire hydrant locations. The estimated water use is 2,500 gallons per day (100 gallons/1,000 square feet per State 2T rules). The City has adequate water capacity available to meet the project’s domestic demand and fire flow requirements.
- B. Sanitary Sewer system – The project is proposed to be served by extending a new 6-inch private sewer service line from an existing manhole located at Forest Oaks Lane to the new building by steel encasement fore and jack under Forest Oaks Lane. Additionally, a 6-inch private sewer service will be extended from a newly set manhole over Mebane’s 8-inch gravity line in Forest Oaks Lane, through lot 4 and ending at the lot 5 property line with a private easement being over the service line by steel encasement bore and jack under Forest Oaks Lane. The estimated wastewater from this project is less than 2,500 gallons per day (100 gallons/1,000 square feet per State 2T rules). The City has adequate wastewater capacity available at the downstream Southeast Regional Pump Station and at the WRRF to meet this demand.

If there are any questions, please let me know.

Sincerely,

A handwritten signature in black ink that reads "Franz K. Holt".

Franz K. Holt, P.E. City Engineer

CC: Ashley Ownbey, Dev. Director
Kyle Smith, Utilities Director



Technical Memorandum

Date: February 6, 2024

To: Ashley Ownbey, Development Director

From: Franz K. Holt, P.E.

Subject: Tractor Supply – City Engineering review

City Engineering has reviewed Site Plans submitted for Tractor Supply on Wilson Road (Extension) dated January 11, 2024, prepared by Matt Lowder, P.E. with Bowman North Carolina, Ltd. Of Raleigh, NC. Our technical review comments are as follows:

A. General Summary

1. The Tractor Supply includes a 21,147 square foot facility (one story) and 3,827 square foot garden center on a newly created lot no. 4 (3.79 acres), with lot no. 7 (0.31 acre) designated for Chick-Fil-A employee overflow parking and lot no. 6 (0.75 acres) designated as a stormwater management lot. The subdivision is along City owned/maintained Wilson Road (Extension) and NCDOT owned/maintained Forest Oaks Lane S.R. 2210.
2. On-site stormwater controls are proposed that treat the runoff from a 1-inch rain and reduce the peak stormwater discharge rates for post construction runoff is no more than the pre-development rates for up to a 100-year storm event.
3. City of Mebane public water and sewer lines are available for service extensions to the facility. Additionally, a private sewer extension will be made to lot no. 5 through lot no. 4.
4. Street Access has one proposed driveway connection to Wilson Road (Extension) and two connections to Forest Oaks Lane with a proposed left turn lane onto Wilson Road (Extension) from Forest Oaks Lane.
5. The plans include a sidewalk along the south side of Forest Oaks Lane and the east side of Wilson Road (Extension).
6. NCDOT plan approvals, driveway permits, and encroachment agreements are required by NCDOT for the proposed improvements to and along Forest Oaks Lane.



B. Availability of City Water and Sewer

Regarding the Preliminary Site Plans for Tractor Supply and in accordance with the UDO, this memo is provided to indicate that I have reviewed the preliminary water and sewer system layout and find it acceptable and meets City standards based on the following:

1. Water system – The project is proposed to be served by connecting to Mebane’s existing 12-inch water line on Forest Oaks Lane. Extension of private domestic (2-inch), irrigation service (1-inch) and fire line (6-inch) are shown with appropriate backflow prevention and fire hydrant locations. The estimated water use is 2,500 gallons per day (100 gallons/1,000 square feet per State 2T rules). The City has adequate water capacity available to meet the project’s domestic demand and fire flow requirements.
2. Sanitary Sewer system – The project is proposed to be served by extending a new 6-inch private sewer service line from an existing manhole located at Forest Oaks Lane to the new building by steel encasement bore and jack under Forest Oaks Lane. Additionally, a 6-inch private sewer service will be extended from a newly set manhole over Mebane’s 8-inch gravity line in Forest Oaks Lane, through lot 4 and ending at the lot 5 property line with a private easement being over the service line by steel encasement bore and jack under Forest Oaks Lane. The estimated wastewater from this project is less than 2,500 gallons per day (100 gallons/1,000 square feet per State 2T rules). The City has adequate wastewater capacity available at the downstream Southeast Regional Pump Station and at the WRRF to meet this demand.

C. Watershed Overlay District and Phase II Stormwater Requirements

1. UDO Watershed Overlay District requirements.

These requirements in the UDO include the Back-Creek Watershed and Graham-Mebane Lake. The project is tributary to the Little Haw Creek; a Class V watershed and the Watershed Overlay District requirements do not apply to this project. This type of watershed classification (Class V) does not have density restrictions or built upon restrictions as required for the Graham Mebane Lake watershed.



2. Phase II Stormwater Post Construction Ordinance

Sec. 5.1 in the UDO provides standards for Storm Water Management and 5.1.F requires compliance with the Mebane Post Construction Runoff Ordinance. Built upon an area of more than 24% requires engineered stormwater controls. As this project exceeds the 24% threshold, proposed engineered stormwater controls are provided on the site plans and include a fenced wet pond with detention being provided for up to a 100 yr. storm event where post construction stormwater runoff peak discharges are no more than predevelopment rates. This wet pond serves as a shared device for Wendy's, Chick-fil-a, Tractor Supply, and Chick-fil-a employee overflow parking.

D. Storm Drainage System

The UDO provides requirements for storm drainage systems. The site plans include a storm drainage system layout that indicates certain pipe locations, inlets, and all being directed to the engineered stormwater control device located at the rear of the property.

E. Street Access

A TIA was required for this project with certain improvements being indicated as follows:

Forest Oaks Lane and Wilson Road

- Provide a westbound left turn lane on Forest Oaks Road with minimal storage and taper [as requested by NCDOT]. This improvement could be provided by restriping the existing pavement on Forest Oaks Lane to provide storage for 1-2 vehicles.

Forest Oaks Lane and Site Drive 1

- Construct Site Drive 1 with one ingress lane and one egress lane striped as a shared left-right turn lane operating under stop-control.

Forest Oaks Lane and Site Drive2

- Construct Site Drive 2 with one ingress lane and one egress lane striped as a shared left-right turn lane operating under stop-control.

F. Construction Plan Submittal

The UDO requires final site construction plans to be submitted for TRC review and approval.



Memorandum

To: Ashley Ownbey
Development Director
City of Mebane

Date: January 23, 2023

C. N. Edwards Jr., PE
District Engineer
NCDOT Highway Division 7 District 1

Project #: 39160.00, Task 23

From: Baohong Wan, PhD, PE

Re: Mebane Tractor Supply Traffic Impact Analysis
Technical Review
Mebane, NC

A Traffic Impact Analysis (TIA) was prepared by Ramey Kemp Associates for the proposed Tractor Supply in the southeast quadrant of the intersection of Forest Oaks Lane and Wilson Road in Mebane, North Carolina. Per request by the City of Mebane, VHB conducted an independent review of the Mebane Tractor Supply TIA. This memo provides a list of critical findings, followed by an in-depth summary of study process and analysis results of the TIA.

List of Mitigation Recommendations

The following items in **red** should be considered in addition to mitigation measures that have been identified within the Mebane Tractor Supply TIA:

- › Forest Oaks Lane and Wilson Road
 - Provide a westbound left turn lane on Forest Oaks Road with ~~minimal~~ **adequate** storage and taper [as requested by NCDOT **and the City of Mebane**].
- › Forest Oaks Lane and Site Drive 1
 - Construct Site Drive 1 with one ingress lane and one egress lane striped as a shared left-right turn lane operating under stop-control.
 - **Due to intersection spacing concerns, permitting of a driveway at this location is subject to meeting adequate design and sight distance requirements.**
- › Forest Oaks Lane and Site Drive 2
 - Construct Site Drive 2 with one ingress lane and one egress lane striped as a shared left-right turn lane operating under stop-control.
- › **Wilson Road and Site Drive 3 (not analyzed in the TIA)**
 - **Construct Site Drive 3 with one ingress lane and one egress lane striped as a shared left-right turn lane operating under stop-control.**
- › **Multimodal Considerations: Compliance of multimodal transportation requirements should be examined to ensure adequacy of pedestrian, bike, and transit facilities along the property frontage. Additional crosswalks should be considered at the intersection Wilson Road and Forest Oak Lane.**

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General Comments

Wilson Road Connector

- › Wilson Road Connector is shown in STIP I-5711 roadway design files, signal design plans (Inv# 07-2060), and site plan (Figure 2) included in the TIA. However, due to uncertainties of Wilson Road extension, the intersection of Mebane Oaks Road and Walmart Driveway was analyzed as a T-intersection in the TIA. Traffic performance at this intersection could be worse if it is analyzed as a four-leg intersection.
- › The left-turn storage along Garrett Crossing (Walmart Driveway) at Mabane Oaks Road is insufficient and could potentially cause lane blockage and inefficient traffic operations. Longer queue is expected with a fourth leg added at this location. Restriping Garrett Crossing (Walmart Driveway) to provide longer storage should be considered to improve traffic operations and safety.

Wilson Road Extension

- › Though not analyzed in this study, extension of Wilson Road to intersect Mebane Oaks Road opposite Walmart Driveway could result in different traffic ingress and egress patterns to Tractor Supply and other establishments along Wilson Road. This potential change is anticipated to provide additional ways and alleviate traffic congestion along Wilson Road.

Forest Oaks Lane and Site Drive 1

- › Spacing between Site Drive 1 and Wilson Road is less than ideal for full movement access considerations. Limiting traffic movements to right-in/right-out at Site Drive 1 may be considered if adequate traffic circulation can still be provided.

Wilson Road and Site Drive 3

- › Site Drive 3 on Wilson Road was omitted in the capacity analysis. Site Drive 3 should be subject to typical standards for laneage, sight triangle and IPS requirements.

Synchro Capacity Analysis

- › The third northbound lane along Mebane Oaks Road at Forest Oaks Lane is coded as a pocket lane on the right-hand side of road with 350' of storage in Synchro, while this storage is omitted in the TIA report. Field check indicates that this pocket lane is located on the left side of northbound approach.
- › Synchro models have several extra intersections with zero traffic volumes. Although traffic operations at these intersections are not required to be analyzed in the TIA, including them in Synchro models may have slight impact on corridor signal timing optimization and traffic simulation results.

Summary of TIA Assumptions and Results

Development Plan

The proposed Mebane Tractor Supply will consist of 21,200 square feet (sf) of retail space. According to the TIA, the proposed development is expected to generate 361 daily trips with 34 trips (21 entering, 13 exiting) occurring in the AM peak hour and 63 trips (29 entering, 34 exiting) occurring in the PM peak hour.

Access to the site is to be provided via two (2) new full movement driveways on Forest Oaks Lane and one (1) new full movement driveway on Wilson Road that will align with an existing driveway.

Study Area and Analysis Scenarios

The TIA included capacity analyses during the weekday AM and PM peak hours under the following scenarios:

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- › Existing (2023) Conditions
- › Background (2024) Conditions
- › Build-out (2024) Conditions

Through coordination with NCDOT and the City of Mebane, the following intersections were analyzed in the TIA:

- › Mebane Oaks Road and Forest Oaks Lane – Signalized
- › Mebane Oaks Road and Walmart Driveway – Signalized
- › Forest Oaks Lane and Wilson Road – Unsignalized
- › Forest Oaks Lane and Proposed Site Driveways (2) – Unsignalized

Existing and No-Build Analysis Assumptions

Existing (2023) analysis was conducted based on traffic counts collected in February 2023 during weekday AM (7 to 9 AM) and PM (4 to 6 PM) peak hours while area schools were in session.

The No-Build scenario included an annual growth rate of one percent (1.0%) between the existing year (2023) and the future analysis year (2024). In addition, site trips due to the following adjacent development were identified and included in the future year analyses:

- › Deep River
- › The Meadows
- › Summit Church
- › Meadowstone Townhomes
- › McKays Book Store
- › Mebane Oaks Mixed-Use (Evolve)

Based on coordination with NCDOT and the City, it was determined that roadway improvements that will be made by the NCDOT State Transportation Improvement Program (STIP) project I-5711 should be considered in this study. Within the study area, STIP I-5711 is expected to provide additional northbound and southbound through lanes along Mebane Oaks Road from Arrowhead Road to the signalized Wal-Mart driveway.

Trip Generation & Distribution

Since the ITE Trip Generation Manual, 11th Edition does not include enough data points for a Tractor Supply Store (ITE Code 810), multiple land uses were considered to estimate the trip generation potential for the proposed development. According to the TIA, the proposed development is expected to generate 361 daily trips with 34 trips (21 entering, 13 exiting) occurring in the AM peak hour and 63 trips (29 entering, 34 exiting) occurring in the PM peak hour.

Traffic assignment for the development was based on the following trip distribution assumptions:

- › 60% to/from the north via Mebane Oaks Road
- › 30% to/from the south via Mebane Oaks Road
- › 10% to/from the north/east via Wilson Road

Capacity Analysis Results

Capacity analyses in the TIA were conducted following the NCDOT Congestion Management Capacity Analysis Guidelines. The analysis results and mitigation determinations are summarized below for each individual intersection, while LOS and delay are reported and summarized for stop-controlled approaches at unsignalized intersections.

Mebane Oaks Road and Forest Oaks Lane (signalized)

ID	Intersection and Approach	2023 Existing		2024 No-Build		2024 Build		2024 Build w/ Imp	
		AM	PM	AM	PM	AM	PM	AM	PM
1	Mebane Oaks Road & Brundage Lane/Forest Oaks Lane	C (31.8)	C (30.4)	C (20.6)	B (19.5)	C (21.0)	C (20.6)	C (21.0)	C (20.6)
	Eastbound	E-68.3	E-67.6	D-53.0	D-49.0	D-53.0	D-48.5	D-53.0	D-48.5
	Westbound	F-80.9	F-82.5	D-51.1	D-50.2	D-50.6	D-50.2	D-50.6	D-50.2
	Northbound	B-16.6	B-17.3	B-17.1	B-13.9	B-17.8	B-15.2	B-17.8	B-15.2
	Southbound	C-20.5	C-22.7	A-7.7	B-12.1	A-8.1	B-12.9	A-8.1	B-12.9

The TIA indicated that the signalized intersection is expected to operate at LOS C during both the AM and PM peak hours under the Build-out conditions with the STIP I-5711 improvements in place. Since the intersection is expected to operate acceptably with the development in place, no improvements were recommended in the TIA.

Mebane Oaks Road and Wal-Mart Driveway (signalized)

ID	Intersection and Approach	2023 Existing		2024 No-Build		2024 Build		2024 Build w/ Imp	
		AM	PM	AM	PM	AM	PM	AM	PM
2	Mebane Oaks Road & Walmart Driveway	A (9.6)	C (20.9)	A (7.6)	B (19.3)	A (7.7)	B (19.3)	A (7.7)	B (19.3)
	Eastbound	D-44.0	D-41.5	D-51.9	D-48.6	D-51.9	D-48.6	D-51.9	D-48.6
	Northbound	A-2.3	A-5.0	A-2.2	A-5.1	A-2.2	A-5.1	A-2.2	A-5.1
	Southbound	A-6.9	B-14.1	A-3.9	B-10.7	A-4.1	B-11.0	A-4.1	B-11.0

The TIA indicated that the signalized intersection is expected to operate at LOS A or B during both the AM and PM peak hours under the Build-out conditions with the STIP I-5711 improvements in place. Since the intersection is expected to operate acceptably with the development in place, no improvements were recommended in the TIA.

It should be noted that Wilson Road Connector is shown in STIP I-5711 roadway design files, signal design plans (Inv# 07-2060), and site plan (Figure 2) included in the TIA. However, due to uncertainty of Wilson Road extension, the intersection of Mebane Oaks Road and Walmart Driveway was analyzed as a T-intersection in the TIA. Traffic performance at this intersection could be worse if it is analyzed as a four-leg intersection.

In addition, the left-turn storage along Garrett Crossing (Walmart Driveway) at Mebane Oaks Road is insufficient to accommodate projected queuing, and it could potentially cause lane blockage and inefficient traffic operations. Longer queue is expected with a fourth leg added at this location. As a result, restriping Garrett Crossing (Walmart Driveway) to provide longer storage length may be considered to improve traffic operations and safety at this location.

Forest Oaks Lane and Wilson Road (unsignalized)

ID	Intersection and Approach	2023 Existing		2024 No-Build		2024 Build		2024 Build w/ Imp	
		AM	PM	AM	PM	AM	PM	AM	PM
3	Wilson Road & Forest Oaks Lane	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
	Northbound	B-13.6	C-16.2	C-21.0	E-40.0	C-22.4	F-53.5	C-22.4	F-53.5
	Southbound	A-9.5	B-10.0	B-10.1	B-11.0	B-10.4	B-11.6	B-10.4	B-11.6

The TIA indicated that the stop-controlled northbound approach is expected to experience delay increases and LOS degradation under the Build-out conditions. However, the maximum queue lengths are expected to exceed four or five vehicles, and traffic operations could experience improvement once Wilson Road is extended to connect to the connector road that intersects Mebane Oaks Road opposite Walmart Driveway. On the other hand, a westbound left-turn lane is considered and recommended based on the coordination with NCDOT:

- › Provide a westbound left turn lane on Forest Oaks Road with minimal storage and taper [as requested by NCDOT]. This improvement could be provided by restriping the existing pavement on Forest Oaks Lane to provide storage for 1-2 vehicles.

Forest Oaks Lane and Site Drive 1 (unsignalized)

ID	Intersection and Approach	2023 Existing		2024 No-Build		2024 Build		2024 Build w/ Imp	
		AM	PM	AM	PM	AM	PM	AM	PM
4	Site Drive 1 & Forest Oaks Lane	-	-	-	-	N/A	N/A	N/A	N/A
	Northbound	---	---	---	---	A-8.8	A-9.3	A-8.8	A-9.3

The TIA indicated that the stop-controlled Site Drive 1 is expected to operate at LOS A during both the AM and PM peak hours under the Build-out conditions. Due to intersection spacing concerns, permitting of a full movement driveway at this location is subject to NCDOT review and approval. Nevertheless, the following improvements were recommended in the TIA to be constructed with the proposed development:

- › Construct Site Drive 1 with one ingress lane and one egress lane striped as a shared left-right turn lane operating under stop-control.

Forest Oaks Lane and Site Drive 2 (unsignalized)

ID	Intersection and Approach	2023 Existing		2024 No-Build		2024 Build		2024 Build w/ Imp	
		AM	PM	AM	PM	AM	PM	AM	PM
5	Site Drive 2 & Forest Oaks Lane	-	-	-	-	N/A	N/A	N/A	N/A
	Northbound	---	---	---	---	A-8.7	A-9.0	A-8.7	A-9.0

The TIA indicated that the stop-controlled Site Drive 2 is expected to operate at LOS A during both the AM and PM peak hours under the Build-out conditions. The following improvements were recommended in the TIA to be constructed with the proposed development:

- › Construct Site Drive 2 with one ingress lane and one egress lane striped as a shared left-right turn lane operating under stop-control.