

Renovation of Gas Station w/ Carwash, & 6 MPD

5515 HOLT BLVD., MONTCLAIR, CA 91763

Project Directory

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Sheet Index:

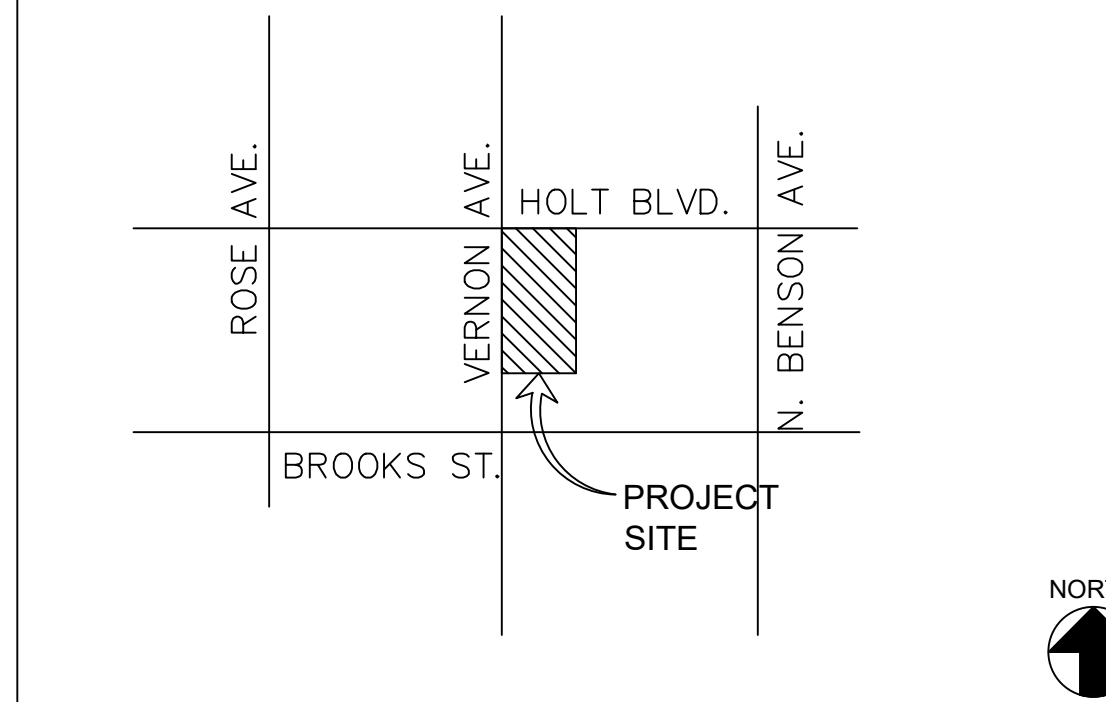
CIVIL
C-1 CONCEPTUAL GRADING & DRAINAGE PLAN

ARCHITECTURAL
SHT T PROJECT DIRECTORY & DATA LEGAL DESCRIPTION,
SHEET INDEX, VICINITY MAP, NOTES & SCOPE OF
WORK

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A1.02 PROPOSED SITE PLAN & REFERENCE NOTES
A1.03 PROPOSED CANOPY SLAB PLAN & ELEVATIONS
A2.01 PROPOSED FENCE WALL PLAN
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LANDSCAPE
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Vicinity Map



Scope Of Work/Project Description

RENOVATION AND ADDITION OF A GAS STATION, C-STORE AND CARWASH FACILITY AND A NEW 6 MPD AND CANOPY.

Project Data

PROJECT ADDRESS: 5515 HOLT BLVD.,
MONTCLAIR, CA 91763
APN#: 1011-071-10-0-000
LOT SIZE (GROSS): 54,166± S.F. (1.24± ACRE)
LOT SIZE (NET):
LAND USE: BUSINESS PARK
ZONING: SP SPECIFIC PLAN
CONSTRUCTION TYPE: V-B
OCCUPANCY: M,B
FIRE SPRINKLER: YES NFPA 13
FIRE ALARM: YES NFPA 72

DEVELOPMENT STANDARDS	REQUIRED	PROVIDED
MIN. PARCEL SIZE	1 AC.	1.24 AC.
MIN. PARCEL WIDTH	100'-0"	155'-0"
MIN. PARCEL DEPTH	200'-0"	290'-0"
BUILDING HT LIMIT	28'-0"	23'-0"
MAX. LOT COVERAGE	45%	20.37%
((3432+7582)/54166)		
MIN. PARKING SETBACKS & DEPTH OF LANDSCAPING	20'-0"	26'-1"
MIN. FRONT BUILDING SETBACK	35'-0"	106'-1"
A. INTERIOR SIDE PROPERTY LINE	0'-0"	0'-0"
B. REAR PROPERTY LINE	0'-0"	0'-0"

Building Area

A) C-STORE:
(E) C-STORE: 3,037 S.F.
(N) ADDITION: 1,236 S.F.
SUB-TOTAL: 4,273 S.F.

B) CAR WASH TUNNEL:
(E) CARWASH: 2,610 S.F.
(E) EQUIPMENT RM.: 386 S.F.
(N) ELEC. RM.: 311 S.F.
SUB-TOTAL: 3,307 S.F.

TOTAL BUILDING AREA (A+B): 7,580 S.F.

C) CANOPY (52'-0"x66'-0"): 3,432 S.F.

PARKING	REQUIRED:	PARKING PROVIDED:
A) C-STORE (1/250) 4236/250 = 16.94	17	17
B) CARWASH	10	10
TOTAL	27	27 (2 HCP INCL.)

EV PARKING PROVIDED, (EXCLUDED FROM PARKING COUNT, 1 HCP INCL.): 3
LOADING/UNLOADING (10' x 20'): 1 1
CAR WASH STACKING 0 STACK 8 STACK

AREA BREAKDOWN	PERCENTAGE
LANDSCAPE COVERAGE	11,237 S.F. 20.75%
BUILDING FOOTPRINT AREA	7,579 S.F. 14.02%
TRASH ENCLOSURE AREA	304 S.F. 0.56%
CANOPY COVERED AREA	3,432 S.F. 6.34%
PAVED DRIVEWAY AREA	23,567 S.F. 43.51%
PAVED PARKING AREA	5,914 S.F. 10.92%
PAVED WALKWAY AREA	2,119 S.F. 3.91%
TOTAL LOT AREA	54,152 S.F. 100%

I. ALL DIMENSIONS ARE TO THE FACE OF STUD, U.O.N.

Abbreviations

&	AND	D.O.	DOOR OPENING	I.D.	INSIDE DIAMETER	SQ.	SQUARE
L	ANGLE	DR.	DOOR	INSUL.	INSULATION	S.ST.	STAINLESS STEEL
@	AT	DWR.	DRAWER	INT.	INTERIOR	STD.	STANDARD
⊕	CENTERLINE	D.S.	DOWNSPOUT	JT.	JOINT	STL.	STEEL
∅	DIAMETER OF ROUND	DWG.	DRAWING			STOR.	STORAGE
#	POUND OR NUMBER					STR.	STRUCTURAL
(E)	EXISTING	E.	EXISTING	KIT.	KITCHEN	SYM.	SYMMETRICAL
(R)	RELOCATED	E.A.	EACH	LAMINATE	LAM.		
(N)	NEW	E.J.	EXPANSION JOINT	LAV.	LAVATORY	T.B.S.	TO BE SPECIFIED
		EL.	ELEVATION	LT.	LIGHT	TRD.	TREAD
		ELEC.	ELECTRICAL			T.B.	TOWEL BAR
		E.P.	ELECTRICAL	MANU.	MANUFACTURER	T.C.	TOP OF CURB
A.F.F.	ABOVE FINISH FLOOR	EQ.	EQUAL	MAX.	MAXIMUM	TEL.	TELEPHONE
A.D.	AREA DRAIN	EQPT.	EQUIPMENT	M.C.	MEDICINE CABINET	TER.	TERRAZZO
ADJ.	ADJUSTABLE	EXST.	EXISTING	MECH.	MECHANICAL	T.& G.	TONGUE & GROOVE
AGGR.	AGGREGATE	EXP.	EXPANSION	MEMB.	MEMBRANE	THK.	THICK
AL.	ALUMINUM	EXT.	EXTERIOR	MET.	METAL	T.P.	TOP OF PAVEMENT
APPROX.	APPROXIMATE	F.F.	FLOOR FINISH	MFR.	MANUFACTURER		
ARCH.	ARCHITECTURAL	FDN.	FOUNDATION	MIN.	MINIMUM	MIR.	MIRROR
ASB.	ASBESTOS	FIN.	FINISH	PL.	PLATE	MISC.	MISCELLANEOUS
ASPH.	ASPHALT	FL.	FLOOR	P.LAM.	PLASTIC LAMINATE	M.O.	MASONRY OPENING
		FLASH'G	FLASHING	PLAS.	PLASTER	MTD.	MOUNTED
BD.	BOARD	FLUOR.	FLUORESCENT	PLYWD.	PLYWOOD	MUL.	MULLION
BITUM.	BITUMINOUS	PR.	PAIR				
BLDG.	BUILDING	PROV'D	PROVIDED	N.	NEW		
BLKG.	BLOCKING	F.O.C.	FACE OF CONCRETE	N.I.C.	NOT IN CONTRACT		
BM.	BEAM	F.O.F.	FACE OF FINISH	PT.	POINT	NO./#	NUMBER
B.O.H.	BACK OF HOUSE	F.O.S.	FACE OF STUDS	PTN.	PARTITION	NOM.	NOMINAL
BOT.	BOTTOM	F.PRF.	FIREPROOF			N.T.S.	NOT TO SCALE
		F.S.	FLOOR SINK	Q.T.	QUARRY TILE		
CAB.	CABINET	FT.	FOOT OR FEET	QSR.	QUICK SERVE	O.A.	OVERALL
CEM.	CEMENT	FTG.	FOOTING		RESTAURANT	OBS.	OBSCURE
CER.	CERAMIC	FURR.	FURRING	R/RAD.	RADIUS	O.C.	ON CENTER
C.I.	CAST IRON	R.D.	ROOF DRAIN			O.D.	OUTSIDE DIAMETER
CLG.	CEILING	REF.	REFERENCE			OFF.	OFFICE
CLKG.	CAULKING	REFR.	REFRIGERATOR	OPNG.	OPENING		
CLO.	CLOSET	RGTR.	REGISTER	OPP.	OPPOSITE		
CLR.	CLEAR	REINF.	REINFORCED	PLBG.	PLUMBING		
C.O.	CASED OPENING	REQ'D	REQUIRED	T.P.D.	TOILET PAPER		
COL.	COLUMN	RESIL.	RESILIENT		DISPENSER		
CONC.	CONCRETE	RM.	ROOM	T.V.	TELEVISION		
CONN.	CONNECTION	R.O.	ROUGH OPENING	T.W.	TOP OF WALL		
CONSTR.	CONSTRUCTION	RWD.	REDWOOD	TYP.	TYPICAL		
CONT.	CONTINUOUS	R.W.L.	RAIN WATER LEADER	UNF.	UNFINISHED		
CTSK.	COUNTERSUNK			U.O.N.	UNLESS OTHERWISE NOTED		
CNTR.	COUNTER	H.B.	HOSE BIBB				
CTR.	CENTER	H.C.	HOLLOW CORE	S.C.	SOLID CORE	VERT	VERTICAL
		HCP	HANDICAP	SCHED.	SCHEDULE		
		HDWD.	HARDWOOD	S.D.	SOAP DISPENSER	W.	WEST
DBL.	DOUBLE	HDWE.	HARDWARE	SECT.	SECTION	W/	WITH
DEPT.	DEPARTMENT	H.M.	HOLLOW METAL	SH.	SHelf	W.C.	WATER CLOSET
DET.	DETAIL	HORIZ.	HORIZONTAL	SHR.	SHOWER	WD.	WOOD
DIA.	DIAMETER	HR.	HOUR	SHT.	SHEET	W/O	WITHOUT
DIM.	DIMENSION	HGT.	HEIGHT	SIM.	SIMILAR	WP.	WATERPROOF
DISP.	DISPENSER			SL.	SLOPE	WSCT.	WAINSCOT
DN.	DOWN			SPEC.	SPECIFICATION	WT.	WEIGHT

Legal Description

FILE NO.: NCS-1037616-SAI

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF MONTCLAIR, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:

PARCEL 1 OF PARCEL MAP NO. 9511, IN THE CITY OF MONTCLAIR, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 126, PAGE(S) 7 AND 8 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL B:

NON-EXCLUSIVE EASEMENTS FOR UTILITIES, PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS AND PARKING PURPOSES, AS CREATED BY DOCUMENT RECORDED OCTOBER 22, 1980 AS INSTRUMENT NO. 80-240171 OF OFFICIAL RECORDS.

FOR CONVEYANCING PURPOSES ONLY: APN 1011-071-10-0-000

Water Calculation Usage - Carwash

- For a 8 Hour Day of operation
- Water Usage based on an average 120' Conveyor Car Wash washing 100 Cars per Day (CPD)
- With an estimate washing Speed of (1 Car Per Minute CPM) (60 Car per Hour) (CPH)
- Water Carried away on Vehicle, Toweled dried, Lost to Evaporation (5 Gallons per Car - CO) (GPC - CO)

COMPONENTS:

- Quad Mitter Curtain #1 - #9 : -6 GPM Reclaim Water
- Full Side Washers - #13 : -6 GPM Reclaim Water
- Gyro Wraps - #14 : -8 GPM Reclaim Water
- Pre Rinse - #15 : -3 GPM Reclaim Water
- Under Body - #12 : -5 GPM Reclaim Water
- DuraScrubber - #8 : -8 GPM Reclaim Water
- Dura Blaster - #11 : -18 GPM Reclaim Water
- Wave Mitter Curtain - #17 : -6 GPM Reclaim Water
- Low Side Washers - #18 : -6 GPM Reclaim Water
Total Reclaim Water Used = 66 Gallons Per Minute (GPM)

- Prep Gun E : -2 GPM Fresh Water
- Final Rinse Arch #1 - #19 : -6 GPM Fresh Water
- Final Rinse Arch #2 - #20 : -6 GPM Fresh Water
- Spot Free Rinse Arch - #21 : -6 GPM Fresh Water
Fresh Water Used = 20 Gallons Per Minute (GPM)

The average vehicle will spend ONLY 30 seconds under each piece of wash equipment utilizing fresh water
Total Fresh Water Usage = 10 (GPC)

100 (CPD) x 10 (GPC) Fresh Water Usage = 1,000 GPD Fresh Water Usage
5 (GPC - CO) x 100 (CPD - CO) = 500 Gallons Lost per Day Carry off / Evaporations

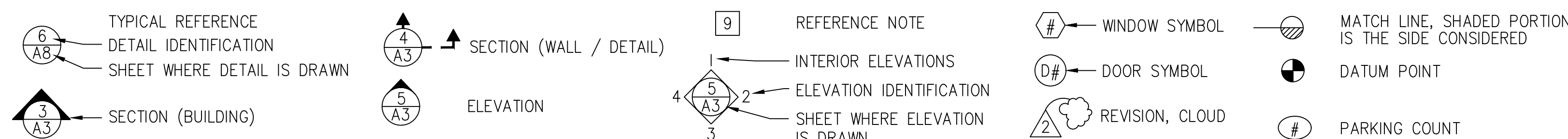
Subtract -
Total Water Delivered to Sewer = 500 (Gallons per Day)

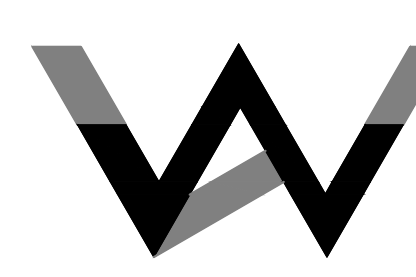
(CPH) = Cars Per Hour (GPM) = Gallons Per Minute
(CPD) = Cars Per Day (GPD) = Gallons Per Day
(GPC - CO) = Gallons Per Car - Carry Off

Fire Dept. Note

HAZARDOUS MATERIAL DISCLOSURE, SAN BERNARDINO COUNTY FIRE DEPARTMENT (CUPA) DISCLOSURE SHOULD BE SUBMITTED ON CONSTRUCTION DOCUMENT TO BUILDING & SAFETY FOR APPROVAL

Symbols





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CLIENT: EDDIE AWADA
SHENOTY FUEL, LLC
515 HOLT AVENUE,
ONTARIO, CA 91761

**PROJECT DIRECTORY & DATA
LEGAL DESCRIPTION, SHEET
INDEX, VICINITY MAP, NOTES
& SCOPE OF WORK**

KEY MAP SEAL/STAMP

JOB NO. 2105AR
DRAWN BY: AZ
SUPERVISED BY: TL
CHECKED BY: TL
PLAN CHECK: ___/___/___
PERMIT SET: ___/___/___
BID SET: ___/___/___

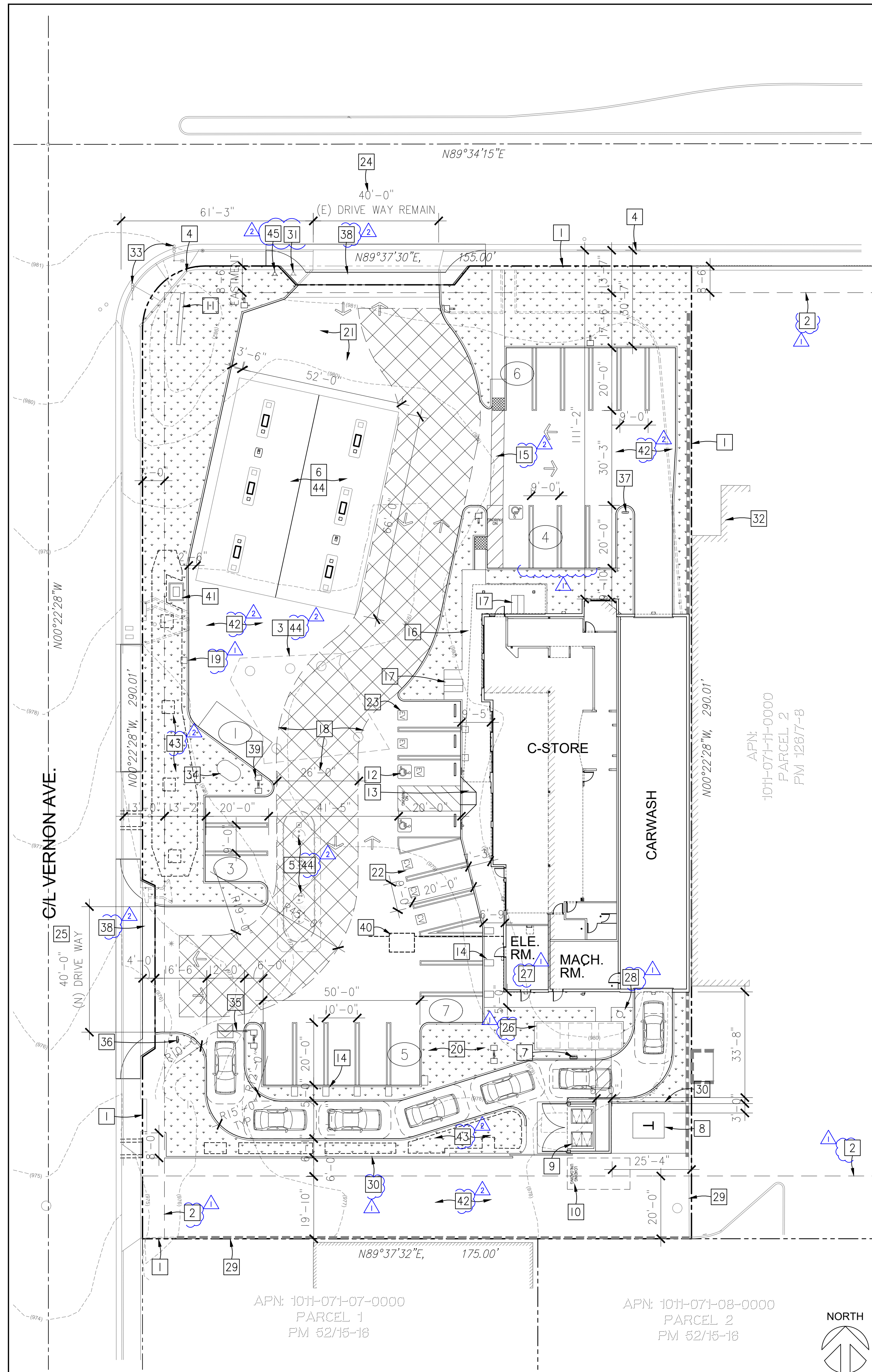
REVISIONS

△	Prelim submittal	5/11/2021
△	Prelim 2nd submittal	7/6/2021
△	Prelim 3rd submittal	10/11/2021
△	Prelim 4th submittal	11/18/2021

SHEET NO: **T**

OF SHEETS

S H E E T

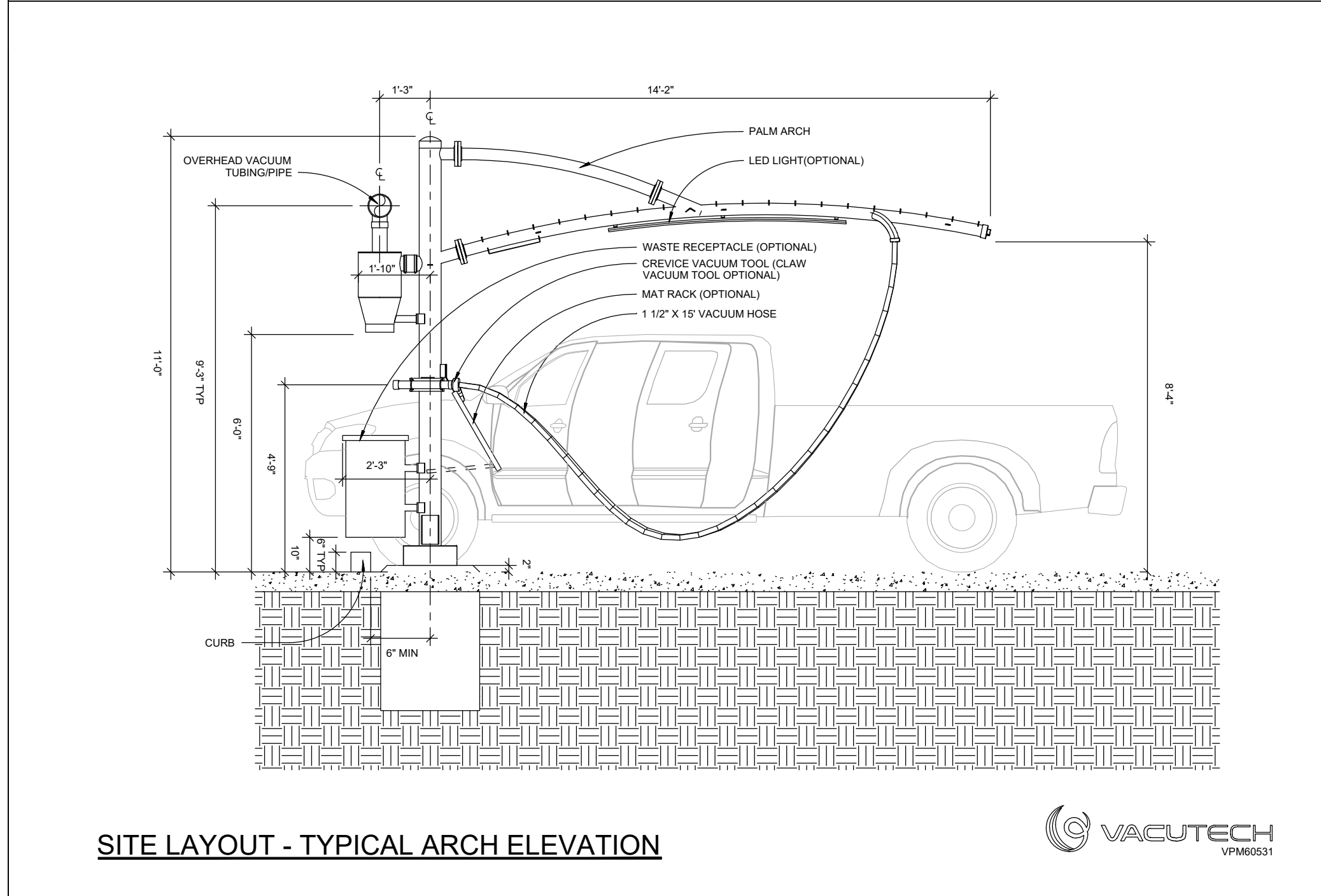


Plan Check Notes

- NEW METAL FENCE AND GATE ON THE EAST PROPERTY LINE AT THE SOUTHEAST CORNER OF THE SITE. THE NEW FENCE/GATE WOULD BE ACROSS THE EXISTING DRIVE AISLE, WHICH RUNS EAST/WEST ON THE SOUTH END OF THE SITE, TO CONTROL ACCESS.
- OWNER WILL REPLACE ALL EXISTING LIFTED OR CRACKED CURB GUTTER, DAMAGED UTILITY PULL BOX LIDS, AND SIDEWALK ADJACENT TO THE PROPERTY. ADDITIONALLY REMOVE SIDEWALK THAT SHOWS SIGNS OF PONDING OR IS PILLING, SCALING OR SPALLING. CURB RAMPS NOT IN COMPLIANCE WITH ADA GUIDELINES WILL BE REMOVED AND REPLACED. ADDITIONALLY ALL THREE DRIVEWAYS NEED TO BE REMOVED AND REPLACED WITH ADA COMPLIANT DRIVEWAYS.
- SOUTHERNMOST DRIVEWAY AND DRIVE APPROACH ACCESSED FROM VERNON AVENUE SHALL BE ENTIRELY REMOVED AND REPLACED TO CURRENT CITY STANDARDS WITH PCC. A VACUUM SHALL BE USED TO CLEAN THE DUST THAT IS GENERATED DURING SAW CUTTING PROCESS. THE REMOVAL AND REPLACEMENT OF PCC CONCRETE ON SITE SHALL BE IN CONFORMANCE TO THE APPROVED WQMP ON FILE WITH THE PUBLIC WORKS DEPARTMENT/ENGINEERING DIVISION.
- THE GASOLINE CANOPY WILL BE DEMOLISHED AND TWO ADDITIONAL PUMPS SHALL BE ADDED.
- ALL NEW OR RELOCATED ROOF-MOUNTED EQUIPMENT, SATELLITE DISH ANTENNAS, AND OTHER SIMILAR APPARATUS SHALL BE SCREENED FROM PUBLIC VIEW IN A MANNER INCORPORATED INTO THE ARCHITECTURAL DESIGN OF THE BUILDING TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT OR CITY PLANNER.
- 90-DEGREE CUT-OFF STYLE LUMINAIRES AND FLAT LENSES SO AS TO DIRECT ILLUMINATION DOWNWARD TO THE SURFACE TO BE ILLUMINATED AND AWAY FROM PUBLIC RIGHTS-OF-WAY AND PROPERTIES ADJACENT TO THE SUBJECT SITE. CUT-OFF OR "HOUSE-BACK" SHIELDS MAY BE REQUIRED TO ENSURE ILLUMINATION DOES NOT ADVERSELY IMPACT ADJACENT PROPERTIES TO THE GREATEST EXTENT POSSIBLE, PARTICULARLY THE RESIDENTIAL PROPERTIES TO THE SOUTH.
- FREESTANDING LIGHT FIXTURES AND POLES SHALL NOT EXCEED A MAXIMUM HEIGHT OF 20'-0" AS MEASURED FROM ADJACENT GRADE TO TOP OF LUMINAIRES.
- ABOVE-GRADE CONCRETE SUPPORT PEDESTALS FOR ALL PROPOSED FREESTANDING LIGHT POLE THROUGHOUT THE PROJECT SITE SHALL BE CLAD IN A COLOR COORDINATED STUCCO FINISH TO COMPLEMENT THE MAIN BUILDING.
- THE PREMISES SHALL INSTALL AND MAINTAIN A CLOSED CIRCUIT VIDEO SURVEILLANCE (CCVS) SYSTEM. THE SYSTEM SHALL AT MINIMUM BE CAPABLE OF MONITORING ALL ENTRANCES/EXITS TO THE PREMISES AND BE POSITIONED AS TO ALLOW FOR IDENTIFICATION OF PATRON FACIAL FEATURES AND PHYSICAL CHARACTERISTICS. A MINIMUM OF ONE CAMERA SHALL BE PLACED IN A POSITION TO MONITOR THE PARKING LOT OF THE PREMISES, POSITIONED IN A MANNER WHICH ALLOWS FOR THE WIDEST VIEW FROM THE ENTRANCE, WITHOUT SIGNIFICANT LENS DISTORTION. CAMERAS SHALL ALSO BE INSTALLED MONITORING ALL POINTS OF SALE (POS), INCLUDING FUEL PUMPS AND CASHIER AND ATM LOCATIONS. TYPICAL ACCEPTABLE CAMERA ANGLES RANGE FROM 50-130 DEGREES, CAMERAS SHALL BE CAPABLE OF NO LESS A RESOLUTION THAN 1920x1080 PIXELS, OTHERWISE KNOWN AS 1080P. IR (NIGHT-VISION) IS PREFERRED, HOWEVER CAMERAS SHALL AT MINIMUM BE CAPABLE OF LOW-LIGHT OPERATION.
- STREET TREES SHOULD BE ADDED TO THE (ASABE/ICC 802-2014). ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE SHALL DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE DEFINED PROTOCOL IN ASABE/ICC 802-2014.
- AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVER SPRAY.
- OVERHEAD IRRIGATION IS NOT PERMITTED WITHIN 24-INCHES OF ANY NON-PERMEABLE SURFACE.
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Reference Notes

- PROPERTY LINE
- EASEMENT
- (E) U.S.T. & CONCRETE SLAB
- (E) CURB & GUTTER & RAMP
- (N) UNDER GROUND STORAGE TANKS UNDER SEPARATE PERMIT BY OTHERS.
- (N) 52'X66" CANOPY SEPARATE PERMIT BY OTHERS.
- (N) PAY MACHINE
- (N) TRANSFORMER PAD.
- (N) SPLITFACE CMU TRASH/RECYCLE ENCLOSURE W/ ROOF COVER AND SOILD STEEL GATE.
- (N) 10' X 20' LOADING/UNLOADING.
- (E) MONUMENT SIGN TO BE REPLACED AND BY OTHERS.
- (N) HCP PARKING
- (N) HCP RAMP.
- (N) VACUUM @ 11 LOCS.
- (N) MIN. 4'-0" WIDE CONC. PAVED PATH OF TRAVEL FROM PUBLIC SIDEWALK TO PROPOSED BUILDING ENTRY AND TRASH ENCLOSURE. MAX. 5% SLOPE AND 2% CROSS SLOPE, PROVIDE MIN. 3'-0" TRUNCATED DOMES AT ANY DRIVEWAY CROSSING.
- (N) CONC. SIDEWALK.
- 2'X6" BIKE RACK PER CITY'S STD.
- 26' WIDE FIRE LANE.
- (N) SELF-SERVICE AIR/WATER STATION.
- (N) LANDSCAPE.
- SET BACK
- DESIGNATED CLEAN AIR VEHICLE PARKING AT 3 LOCATIONS PER 2019 CBC CALGREEN TABLE 5.106.5.2. PROVIDE SIGNS AND MARK THE DESIGNATED PARKING W/ WORD "CLEAN AIR/VANPOOL"
- DESIGNATED FUTURE EV PARKING AT 3 LOCATIONS PER 2019 CBC CALGREEN TABLE 5.106.5.3.3. PROVIDE SIGNS AND MARK THE DESIGNATED PARKING W/ WORD "EV"
- (E) DRIVEWAY TO REMAIN.
- (N) DRIVEWAY AND CURB/GUTTER
- (E) CLARIFIER TO REMAIN
- ELECTRIC SWITCHGEAR/VAULT INSIDE ELECTRICAL ROOM
- BACKFLOW PREVENTER/VALVES
- (E) FENCE WALL TO REMAIN
- (N) 6' HT. W.I. METAL FENCE WALL W/ 20'W, 6'HT. ROLLING DRIVEWAY GATE, PAINT IN BLACK.
- (E) FIRE HYDRANT TO RELOCATE.
- (E) ADJACENT BUILDING
- (E) TRAFFIC LIGHT
- (N) PROPANE TANK
- (N) MAX. 8'-0" HT. RESTRICTION BAR
- (N) DRIVE THROUGH SIGN
- (N) DO NOT ENTER SIGN
- (N) SIDEWALK AFTER DEDICATION, SEE CIVIL
- (N) FREESTANDING SITE LIGHT POLES
- (N) 1,000 GAL. TRAFFIC RATED GREASE INTERCEPTOR, SEE PLUMBING AND CIVIL PLAN.
- (E) FUELING PIPE TO REMAIN WITH 5' HT. METAL TRELIS CLOSURE
- (N) ASPHALT PAVING & REMOVE (E) PAVING
- BMP AREA W/ MINIMAL LANDSCAPE
- (E) CONC. TO REMAIN
- (N) FIRE HYDRANT AFTER RELOCATION



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CLIENT: EDDIE AWADA, SHENOY FUEL, LLC, 515 HOLT AVENUE, ONTARIO, CA 91761

PROPOSED SITE PLAN & REFERENCE NOTES

SHEET TITLE: **KEY MAP SEAL/STAMP**

JOB NO.	2105AR
DRAWN BY:	AZ
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	___
PERMIT SET	___
BID SET	___

REVISIONS

△	Prelim submittal	5/11/2021
△	Prelim 2nd submittal	7/6/2021
△	Prelim 3rd submittal	10/11/2021
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SHEET NO: **A1.02**

OF SHEETS
S H E E T

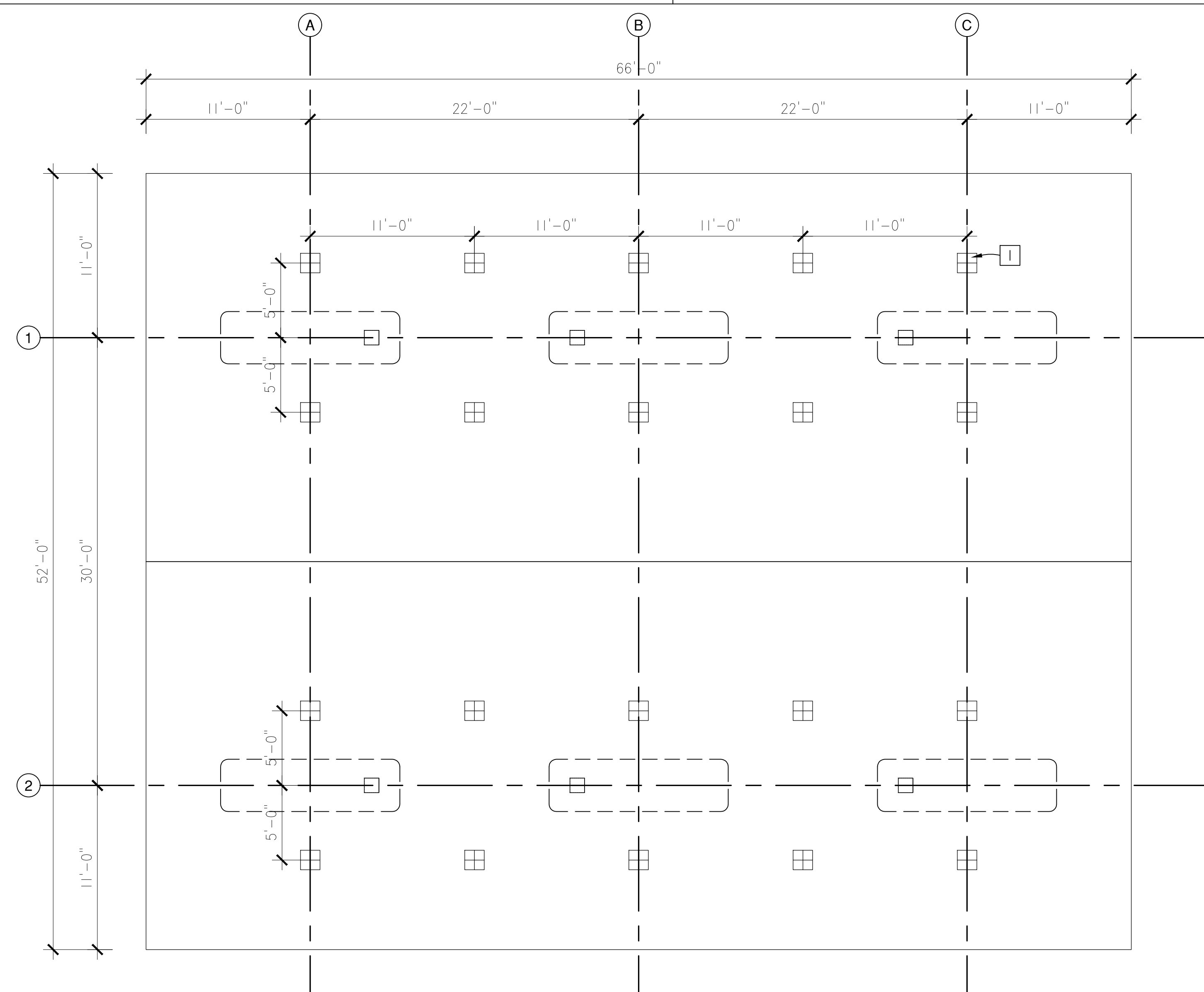
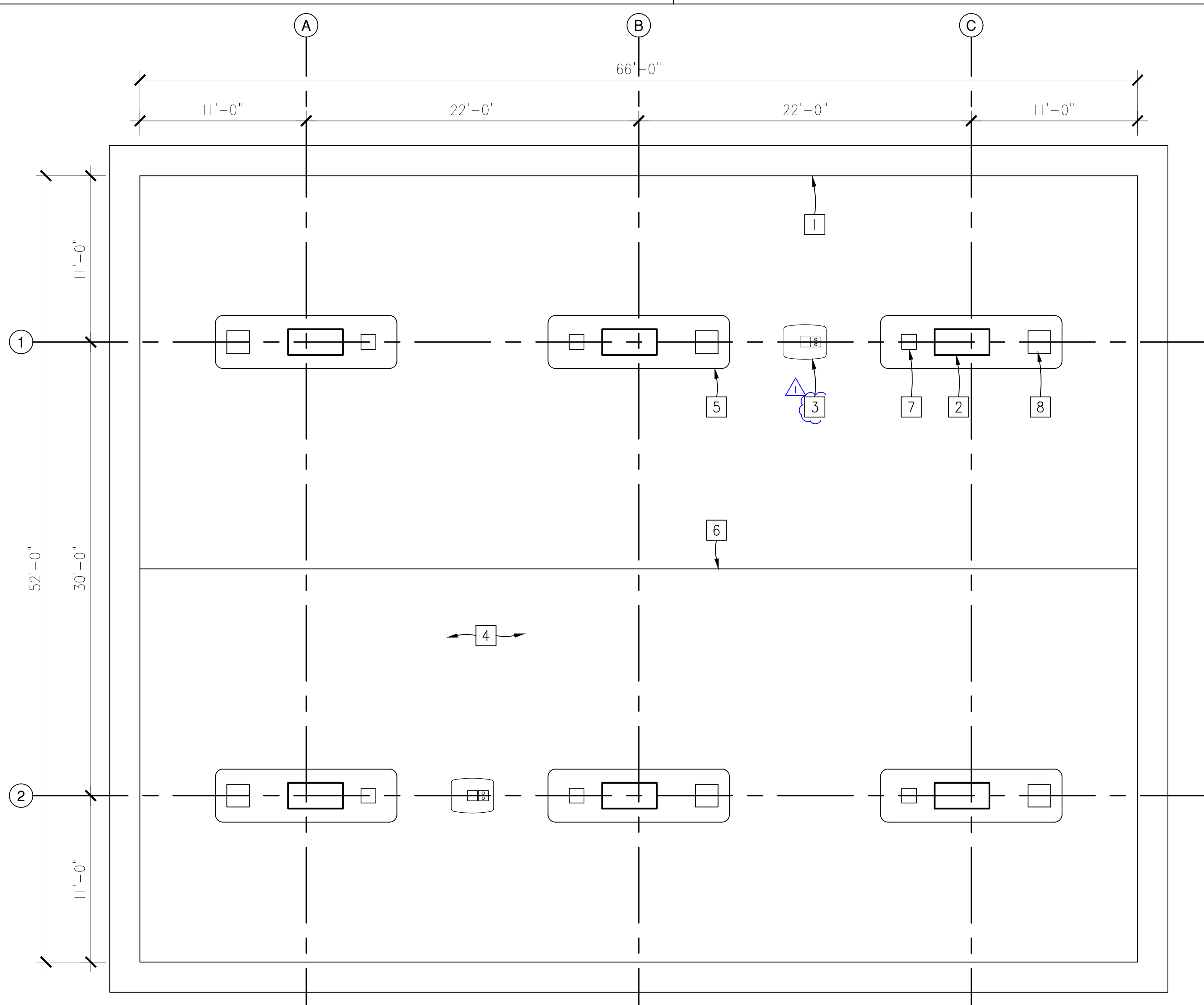
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Reference Notes (Canopy Slab Plan)

- 1 2' WIDE CONC. V-SWALE.
- 2 MPD BY OTHERS @ 6 LOCATIONS.
- 3 PIC UNIT @ 2 LOCATIONS.
- 4 CONCRETE SLAB.
- 5 CONCRETE CURB.
- 6 3/4" CONCRETE CONTROL TT.
- 7 METAL COLUMN W/ CEMENT BOARD WRAPPING
- 8 TRASH ENCLOSURE

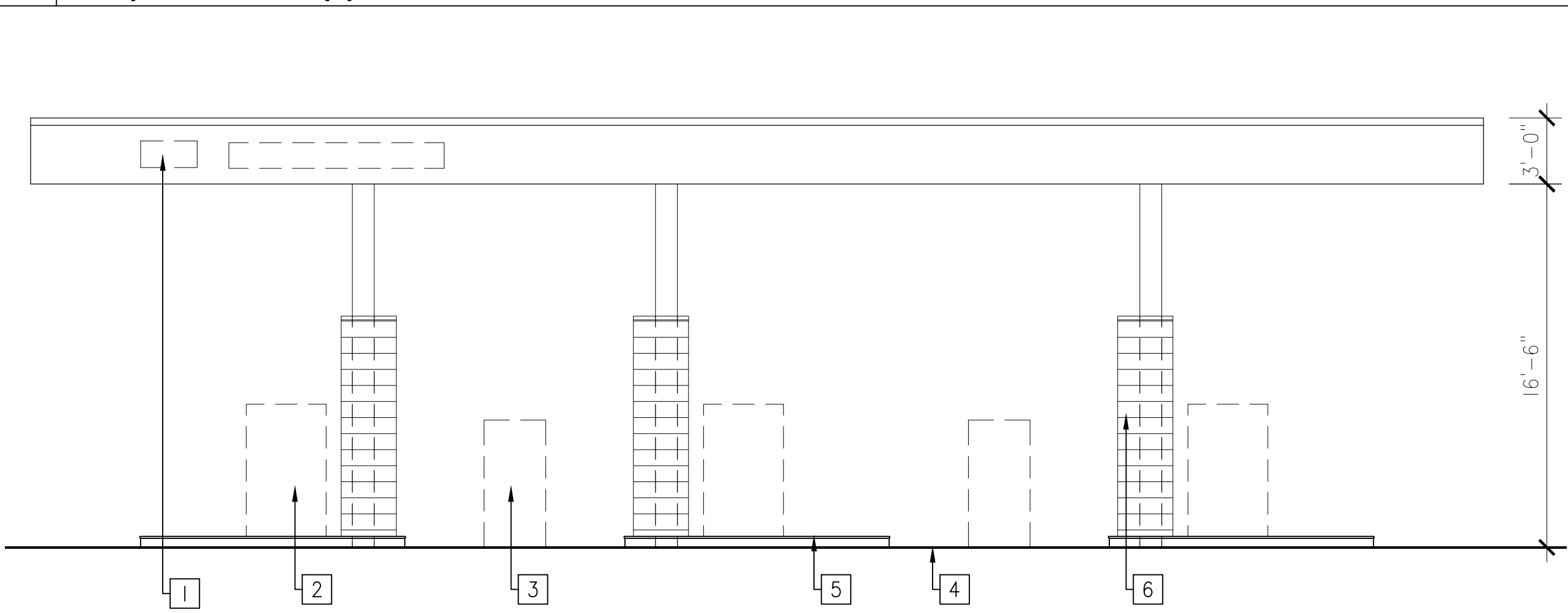
Reference Notes (Canopy RCP)

- 1 LED CANOPY LIGHTING OR MATCH TO EQ., LSI SCOTTSDALE LEGACY (CRUS), FINISH: WHITE. SEE ELECTRICAL FOR WATTAGE.



3 Proposed Canopy Slab

SCALE: 3/16"=1'-0"

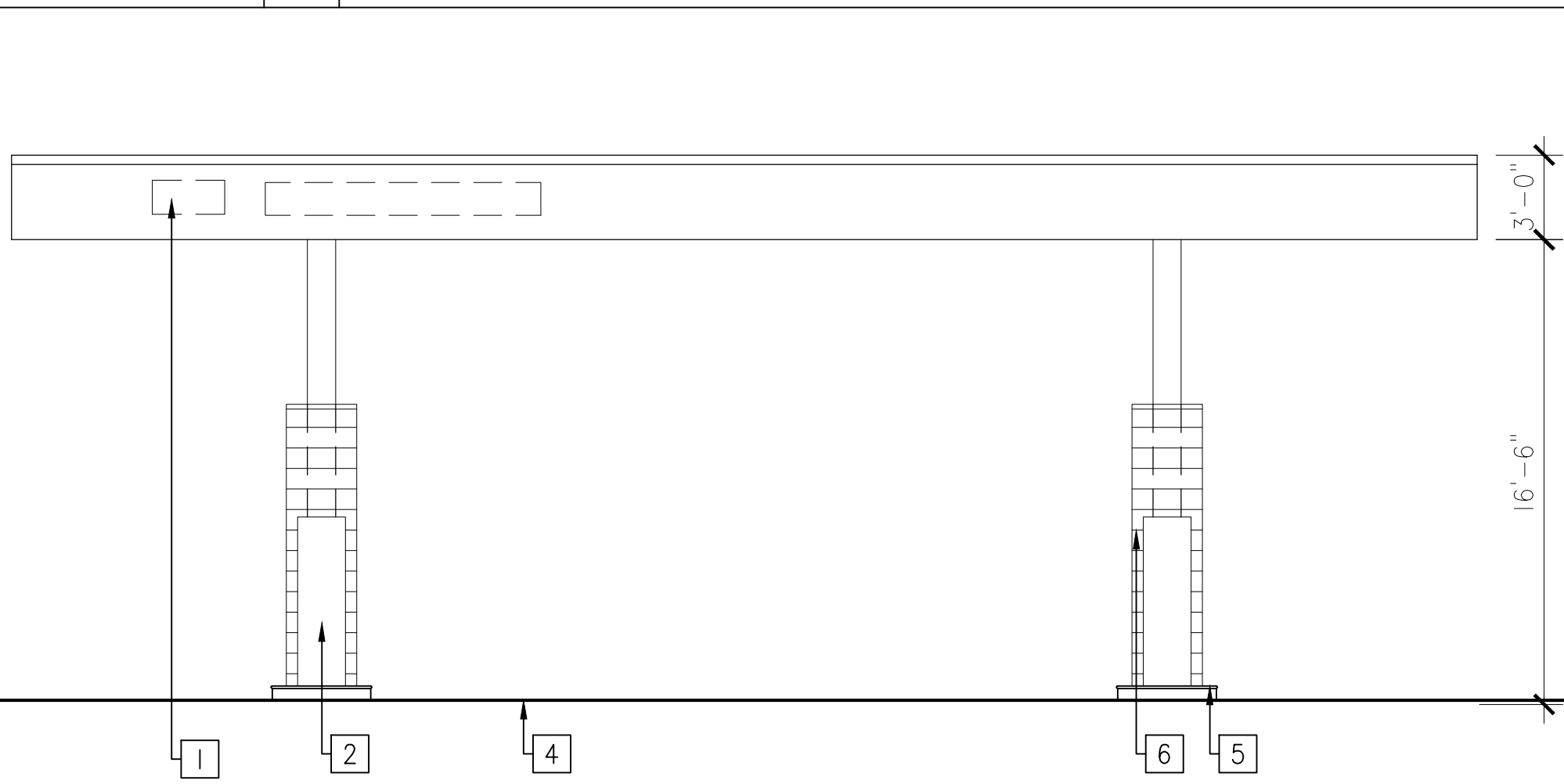


1 Proposed Canopy West & East Elevation

SCALE: 3/16"=1'-0"

4 Proposed Canopy RCP

SCALE: 3/16"=1'-0"



2 Proposed Canopy North & South Elev.

SCALE: 3/16"=1'-0"

Reference Notes (Elevations)

- 1 SIGNAGE
- 2 MPD BY OTHERS @ 6 LOCATIONS
- 3 PIC UNIT @ 2 LOCATIONS.
- 4 CONCRETE SLAB.
- 5 CONCRETE CURB.
- 6 METAL COLUMN W/ CEMENT BOARD WRAPPING



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ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 608-7118 FAX: (909) 946-1137

PROJECT: RENOVATION OF GAS STATION W/
CARWASH & 6 MPD
ADDRESS: 5515 HOLT BLVD.,
MONTCLAIR, CA 91763
CLIENT: EDDIE AWADA
SHENYU FUEL, LLC
515 HOLT AVENUE,
ONTARIO, CA 91761

SHEET TITLE:
**PROPOSED
CANOPY SLAB PLAN
& ELEVATIONS**

KEY MAP SEAL/STAMP

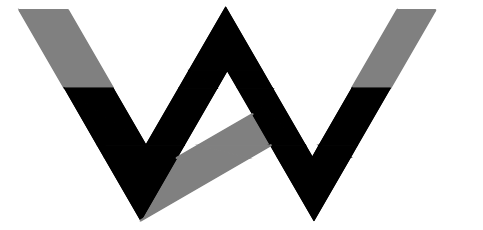
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2. ALL WINDOW AND DOOR DIMENSIONS ARE FROM CENTER LINE OF THE WINDOW OR DOOR, U.O.N.
3. DASH LINE INDICATED DEMO WALL, DEMO WINDOW & DOOR, REMOVE FIXTURES.



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PROJECT: **RENOVATION OF GAS STATION W/
CARWASH & 6 MPD**

ADDRESS: 5515 HOLT BLVD,
MONTCLAIR, CA 91763

CLIENT: EDDIE AWADA
SHENOTY FUEL, LLC
515 HOLT AVENUE,
ONTARIO, CA 91761

SHEET TITLE:

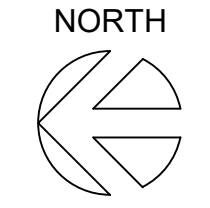
**EXISTING
FLOOR PLAN & DEMO PLAN**

KEY MAP SEAL/STAMP

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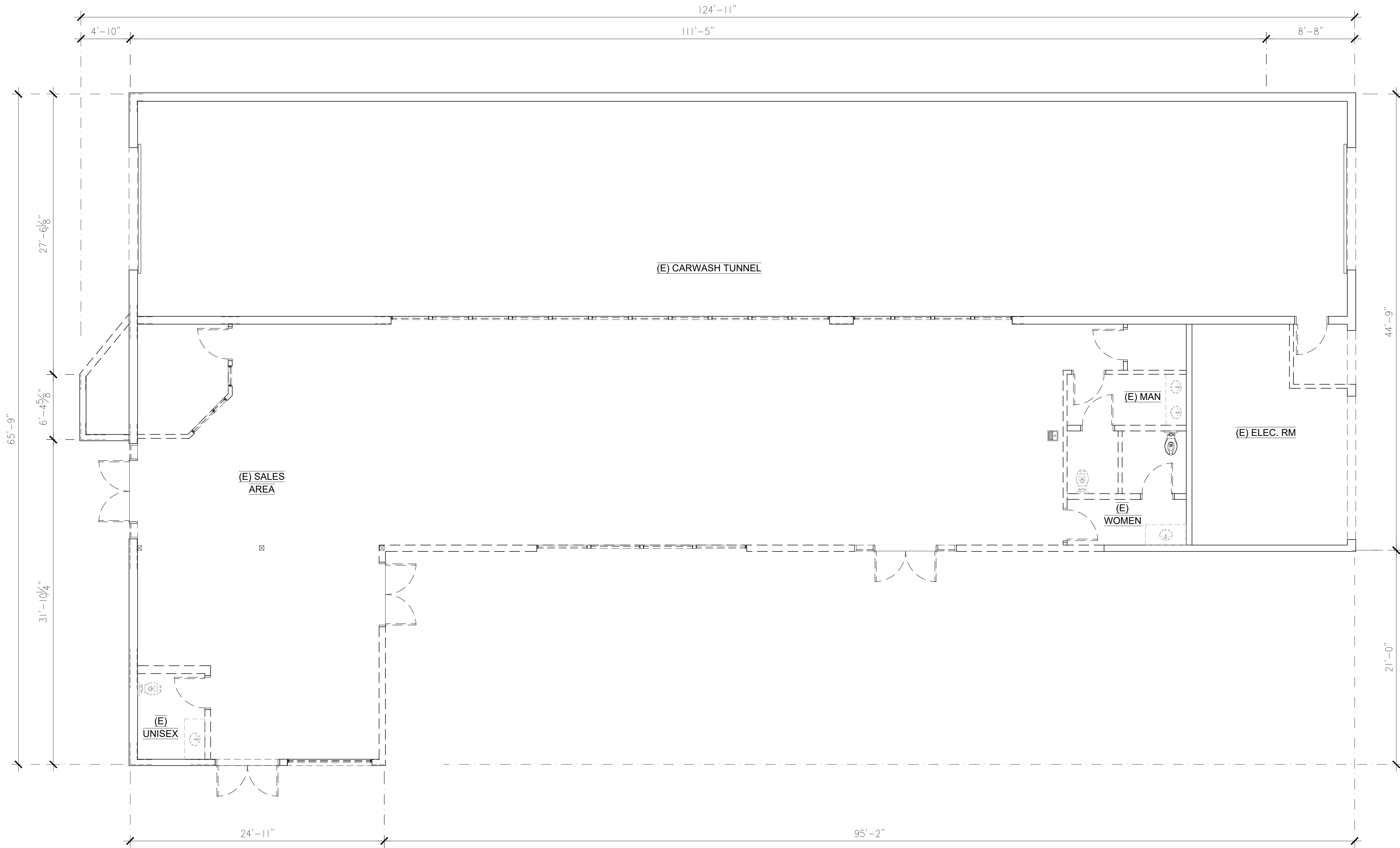
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Total Alcohol Sales & Storage Area

BEER & WINE RACK	= 48 S.F.
ALCOHOL COOLER	= 19 S.F.
BEER & WINE RACK (OFFICE)	= 12 S.F.
TOTAL	= 79 S.F. / 4273 S.F.
	= 1.85%

Reference Notes

- 1 WINE RACK/STORAGE & ALCOHOL COOLER
- 2 CASHIER COUNTER
- 3 3'-0" WIDE COUNTER
- 4 CARWASH TUNNEL
- 5 COMMON PATH OF TRAVEL <77'-0", CBC 1006.2.1
- 6 ROOF ACCESS LADDER W/ 2'-6" SQ. OPENING ABOVE.
- 7 RECESSED LED LIGHTING OR MATCH TO EQ., LITHONIA LIGHTING, LDN6SQ SEE ELECTRICAL FOR WATTAGE.
- 8 EXT. LT. FIXTURE, SEE ELEV.
- 9 FLOOR SINK
- 10 FLOOR DRAIN
- 11 PROPOSED LOCATION FOR FIRE RISER.
- 12 PROPOSED LOCATION FOR GAS METER.
- 13 PROPOSED LOCATION FOR ELEC. METER
- 14 CANOPY ABOVE
- 15 EQUIPMENTS INSIDE EQUIPMENT ROOM AND ELECTRICAL ROOM REFER TO MEP DRAWING. (REFERENCE ONLY)
- 16 (E) BUILDING OUTLINE

Plan Check Notes

- ALL WINDOWS AND GLASS DOORS SHALL NOT HAVE ANY OBSTRUCTIONS TO RESTRICT VISIBILITY. WINDOW TINT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL OR BY THE DIRECTOR OF COMMUNITY DEVELOPMENT OR CITY PLANNER PRIOR TO INSTALLATION. SECURITY GLAZING/COATINGS AND/OR ANY ULTRAVIOLET PROTECTIVE COATINGS SHALL NOT BE REFLECTIVE/MIRROR OR OBSTRUCT OR DIMINISH THE VISIBILITY FROM THE OUTSIDE.
- EXTERIOR SURFACE-MOUNTED EXPOSED DUCTS, CONDUIT, OR ELECTRICAL LINES SHALL BE ALLOWED ON WALLS, AWNINGS, OR OTHER EXTERIOR FACES OF THE BUILDING. IN ADDITION, ALL ELECTRICAL SWITCHGEAR, METERS, ETC., SHALL BE SCREENED OR HOUSED IN AN ENCLOSURE TO THE EXTENT ALLOWED BY THE UTILITIES.

General Notes

- ALL WALL DIMENSIONS ARE FROM F.O.S., UNLESS NOTED OTHERWISE.
- ALL WINDOW AND DOOR DIMENSIONS ARE FROM CENTER LINE OF THE WINDOW OR DOOR, U.O.N.
- PROVIDE R-13 INSULATION @ ALL PLUMBING WALLS.
- ALL AREA S.F. ARE NET.



W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. Foothill Blvd., Ste 1, Upland, CA 91786
PHONE: (909) 608-7118 FAX: (909) 946-1137

PROJECT: **RENOVATION OF GAS STATION W/ CARWASH & 6 MPD**

ADDRESS: 5515 HOLT BLVD., MONTCLAIR, CA 91763

CLIENT: EDDIE AWADA, SHENOY FUEL, LLC, 515 HOLT AVENUE, ONTARIO, CA 91761

SHEET TITLE: **PROPOSED FLOOR PLAN**

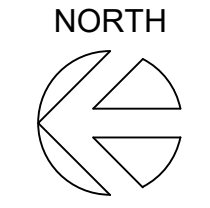
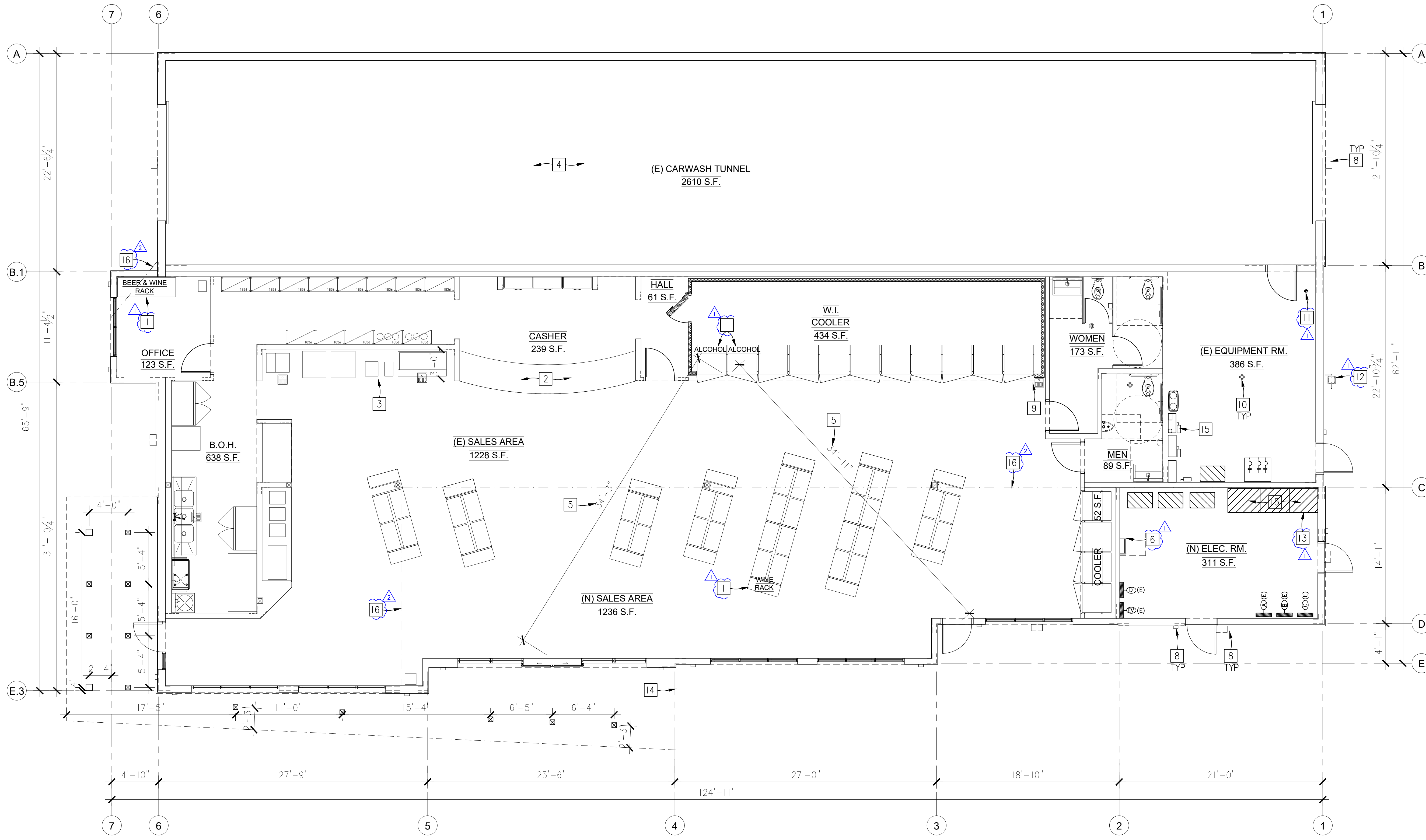
KEY MAP SEAL/STAMP

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PLAN CHECK	_____
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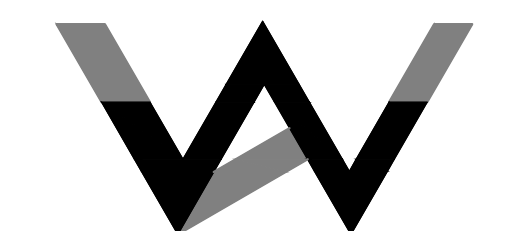
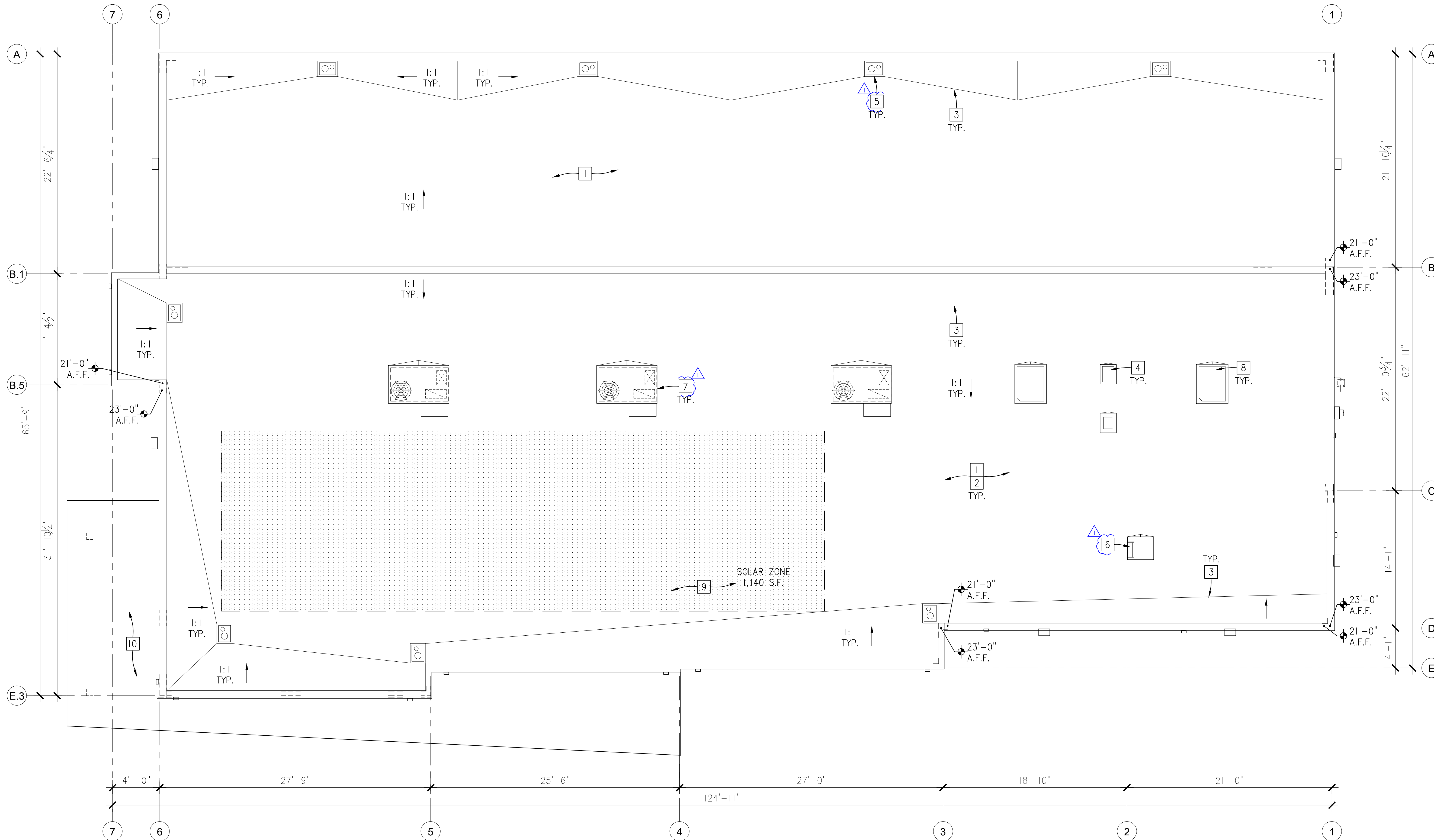
SCALE: 3/8" = 1'-0"

Reference Notes

- 1 CLASS 'A' ULTRAPLY TPO (THERMOPLASTIC POLYOLEFIN) SINGLE-PLY ROOFING MEMBRANES BY FIRESTONE BUILDING PRODUCTS OR APPROVED EQUAL., ESR-2831 CRRP PROD. ID 0608-0008
- 2 R-30 RIGID INSULATION, TWO LAYERS 2 3/4" THK. CLASS A RIGID INSULATION UNDER SINGLE PLY ROOF MEMBRANE, UL 1256
- 3 ROOF CRICKET
- 4 FOOD SERVICE EQUIPMENT CONDENSER UNIT. CONTRACTOR TO PROVIDE SEISMIC ANCHORING PER MANUFACTURER'S RECOMMENDATIONS TO EQUIPMENT PLATFORM.
- 5 ROOF DRAIN AND OVERFLOW OUTLET, SHALL LOCATE WITHIN THE EXT. WALL & THE BUILDING & CONNECT TO STORM DRAIN SYSTEM, SEE CIVIL PLAN
- 6 2'-6" SQ. ROOF HATCH BY BILCO OR APPROVED EQUAL
- 7 A/C UNIT & EQUIPMENT PLATFORM
- 8 COOLER AND FREEZER CONDENSER UNIT. CONTRACTOR TO PROVIDE SEISMIC ANCHORING PER MANUFACTURER'S RECOMMENDATIONS TO EQUIPMENT PLATFORM.
- 9 PROPOSED SOLAR ZONE (MIN. 15%) TOTAL ROOF AREA = 7,598 S.F. REQUIRED SOLAR ZONE (MIN. 15%) = 7,595 S.F. x .15 = 1140 S.F. PROVIDED AREA = 1,140 S.F.
- 10 CANOPY BELOW

Plan Check Notes

- 1. ALL ROOF-MOUNTED MECHANICAL EQUIPMENT (E.G., VENTS, METERS, HVAC UNITS, DUCTS, CONDUIT, SATELLITE DISHES, PHOTOVOLTAIC SYSTEMS, ETC.), ENCLOSURES, OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET.



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PROJECT: RENOVATION OF GAS STATION W/ CARWASH & 6 MPD
 ADDRESS: 5515 HOLT BLVD, MONTCLAIR, CA 91763
 CLIENT: EDDIE AWADA, SHENOY FUEL, LLC, 515 HOLT AVENUE, ONTARIO, CA 91761

PROPOSED ROOF PLAN

SHEET TITLE:

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Colors & Materials

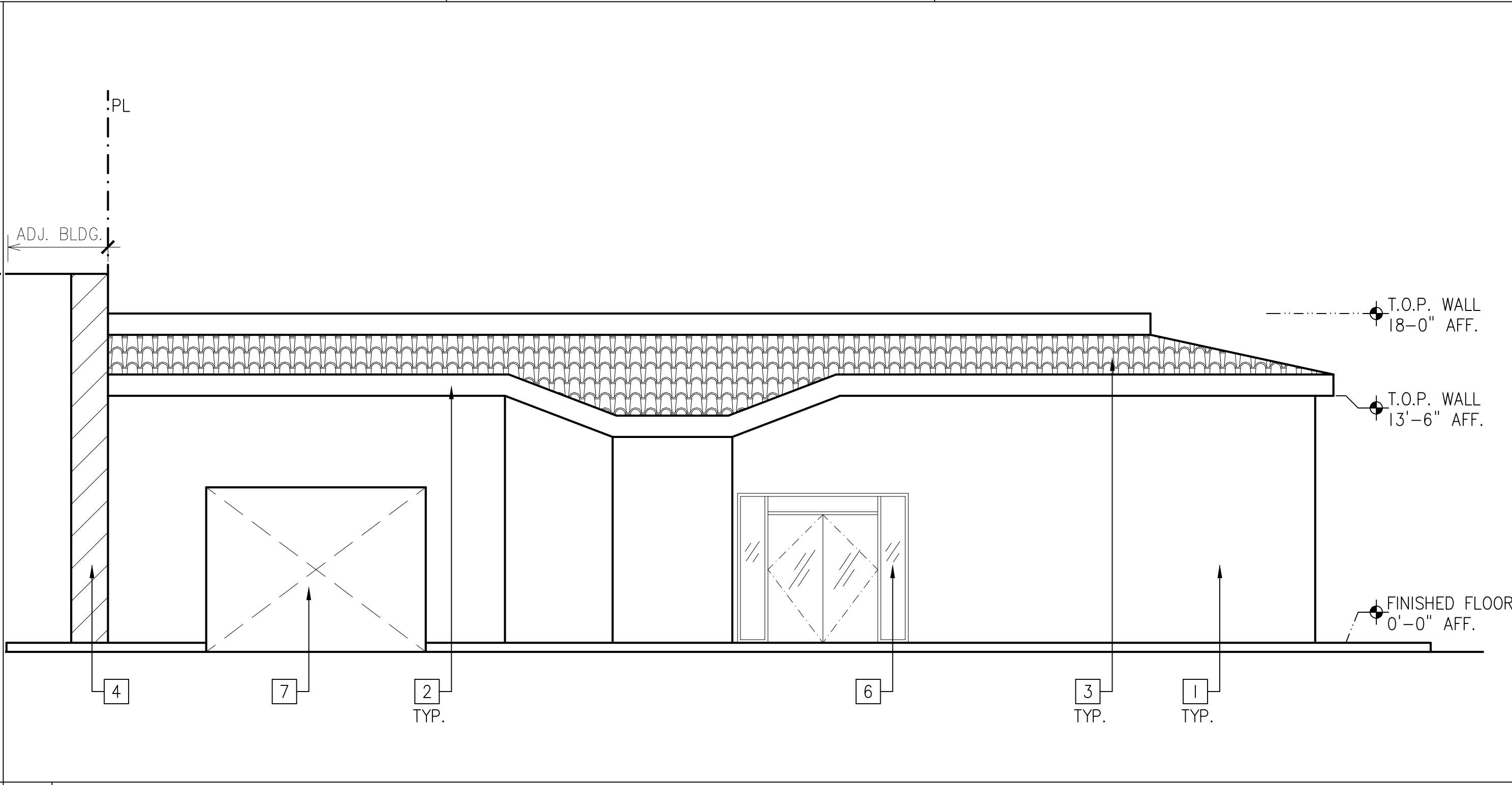
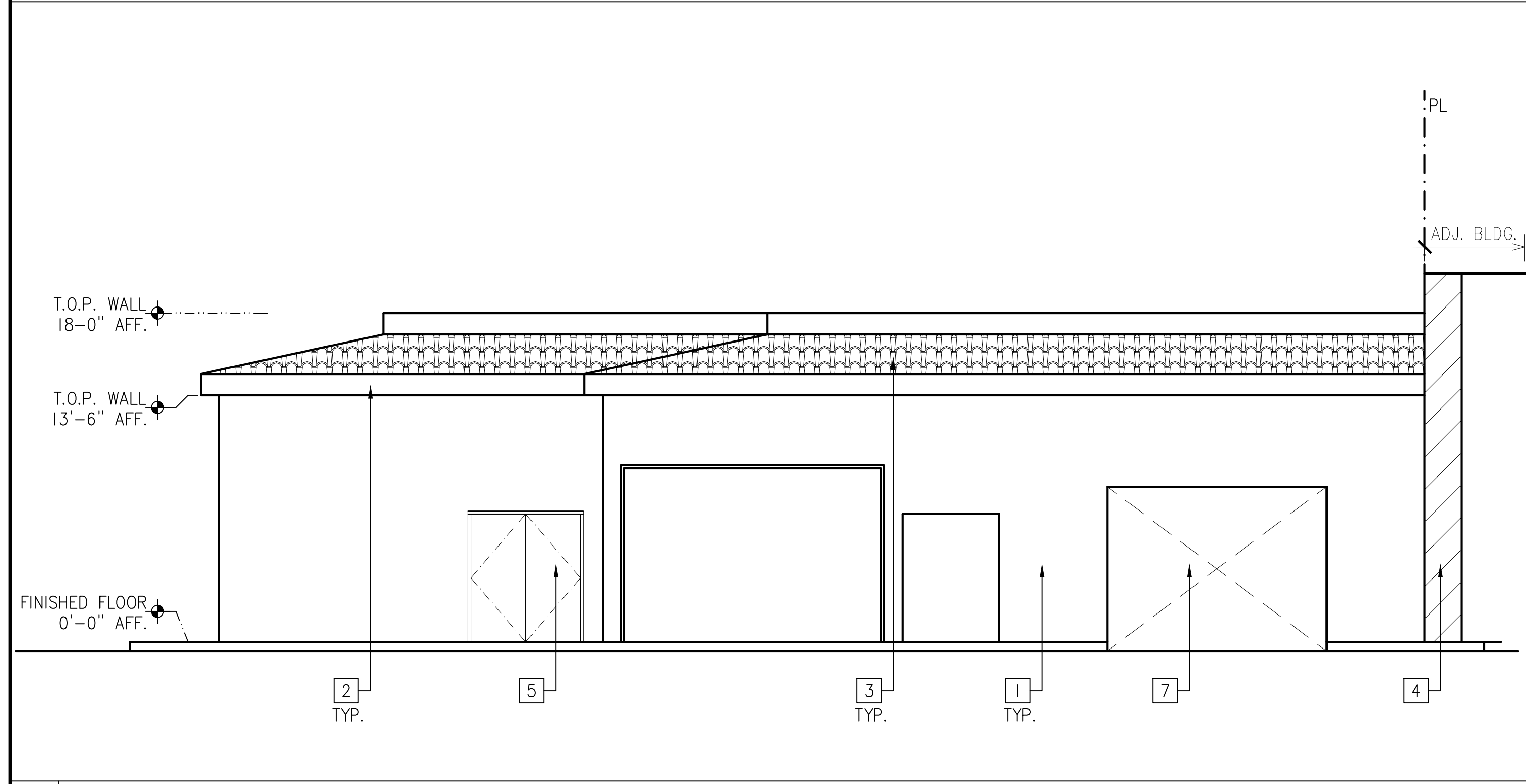
- 1 (E) SULMP BLOCK
- 2 (E) WOOD FASICA BD.
- 3 (E) TILE ROOF
- 4 (E) ADJACENT BUILDING
- 5 (E) DOOR
- 6 (E) STOREFRONT WINDOW
- 7 (E) CARWASH EXIT & ENTRY

PROJECT: RENOVATION OF GAS STATION W/
CARWASH & 6 MPD

ADDRESS: 5515 HOLT BLVD.,
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CLIENT: EDDIE AWADA
SHENOTY FUEL, LLC
515 HOLT AVENUE,
ONTARIO, CA 91761

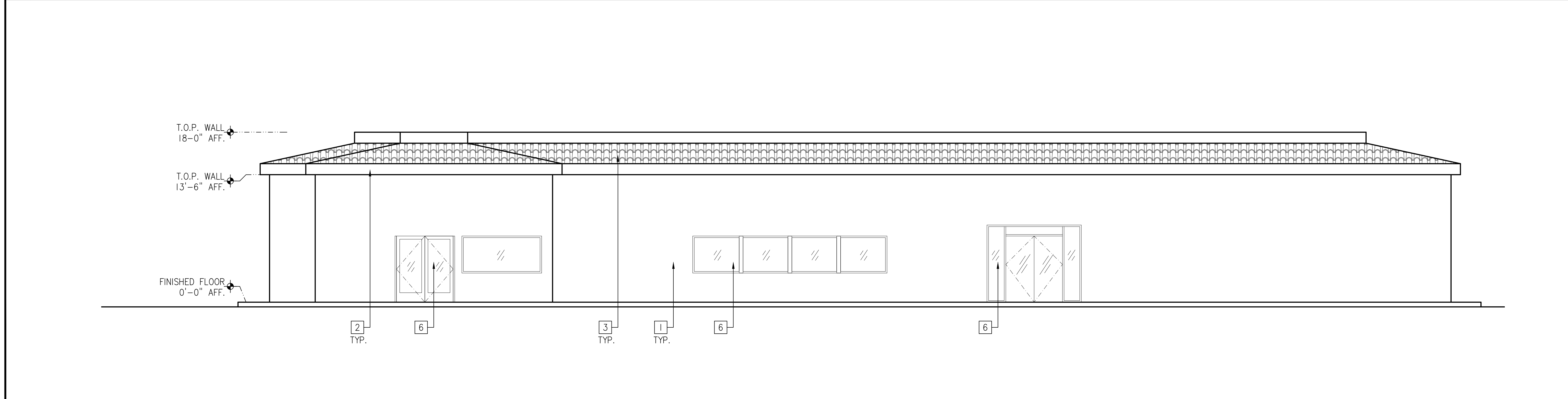
EXISTING BUILDING ELEVATIONS



2 Existing South Elevation

3 Existing North Elevation

SCALE: 1/8" = 1'-0"



1 Existing West Elevation

SCALE: 1/8" = 1'-0"

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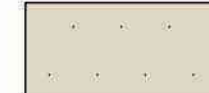


Colors & Materials

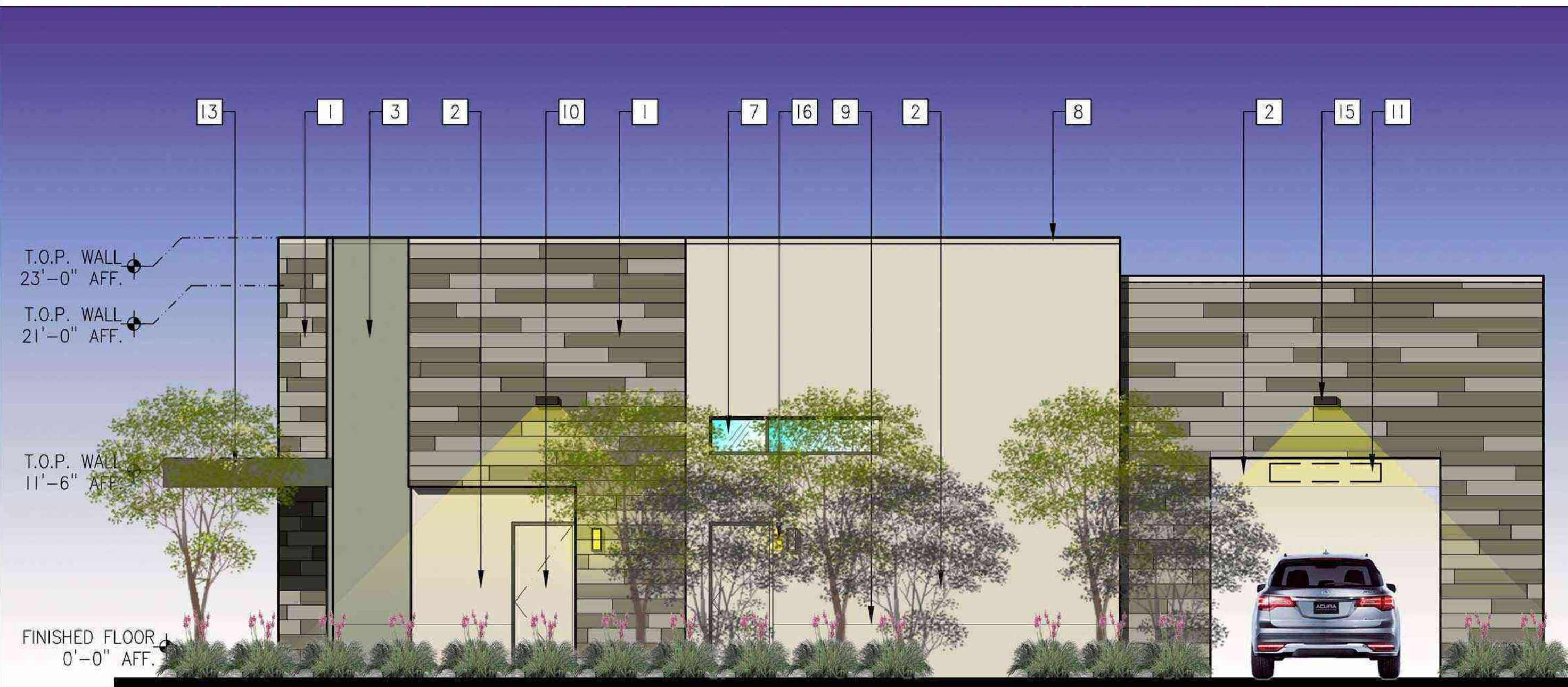
- 1 CEMENT BOARD LAP SIDING BY ALLURA
SIZE: 9-1/4" X 12', SMOOTH LAP
COLOR: OLIVE (50%),
PLUNGE POOL (50%),
- 2 STUCCO FINISH LAHABRA STUCCO W/ PAINT FINISH OR EQ.
SANTA BARBARA MISSION FINISH
COLOR: DUNN EDWARDS
DET644 CREPE PAPIER
- 3 STUCCO FINISH LAHABRA STUCCO W/ PAINT FINISH OR EQ.
SANTA BARBARA MISSION FINISH
COLOR: DUNN EDWARDS
DET517 FLAGSTONE QUARTZITE
- 4 STUCCO FINISH LAHABRA STUCCO W/ PAINT FINISH OR EQ.
SANTA BARBARA MISSION FINISH
COLOR: DUNN EDWARDS
DEA175 BLACK FOREST
- 5 GLASS/ALUM. STOREFRONT
CLEAR ANODIZED
- 6 AUTOMATIC SLIDING GLASS DOOR
- 7 GLASS/ALUM. WINDOW
CLEAR GLASS / CLEAR ANODIZED
- 8 METAL COPING
COLOR TO MATCH ADJ. WALL
- 9 2" FRY REVEAL
COLOR TO MATCH ADJ. WALL
- 10 METAL DOOR & FRAME
COLOR TO MATCH ADJ. WALL
- 11 SIGNAGE
- 12 GLAZING DOOR
- 13 C-CHANNEL METAL CANOPY W/ PAINT FINISH
COLOR: DUNN EDWARDS,
DEA175 BLACK FOREST
- 14 METAL COLUMN W/ PAINT FINISH
COLOR: DUNN EDWARDS
DEA175 BLACK FOREST
- 15 LED WALL PACK LIGHTING OR MATCH TO EQ.,
LITHONIA LIGHTING, ARC2 LED, FINISH: BLACK
SEE ELECTRICAL FOR WATTAGE.
- 16 LED WALL MOUNTED DECORATIVE LIGHTING OR MATCH TO EQ.,
WAC LIGHTING, VEGA, FINISH: BLACK
SEE ELECTRICAL FOR WATTAGE.

Siding Panel Color Legend

-  LAP SIDING BY ALLURA
COLOR: OLIVE (50%)
-  LAP SIDING BY ALLURA
COLOR: PLUNGE POOL (50%)

Color Legend

-  EXTERIOR STUCCO W/ PAINTED FINISH,
COLOR: DUNN EDWARDS, DET644 CREPE PAPIER
SEE COLOR & MATERIALS NOTE 2
-  EXTERIOR STUCCO W/ PAINTED FINISH,
COLOR: DUNN EDWARDS, DET517 FLAGSTONE QUARTZITE
SEE COLOR & MATERIALS NOTE 3
-  EXTERIOR STUCCO W/ PAINTED FINISH,
COLOR: DUNN EDWARDS, DEA175 BLACK FOREST
SEE COLOR & MATERIALS NOTE 4



South Elevation



North Elevation

2

3

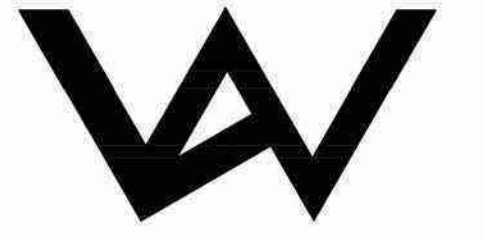
SCALE: 1/8" = 1'-0"



West Elevation

1

SCALE: 1/8" = 1'-0"



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**PROPOSED
BUILDING ELEVATIONS**

KEY MAP SEAL/STAMP

JOB NO.	2105AR
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PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS	REMARKS
TREE						
	Arbutus 'Marina'	NCN	24" box	6	M	Multi-Trunk
	Brachychiton populneus	Bottle Tree	24" box	2	M	Single-Trunk
	Lophostemon confertus	Brisbane box	24" box	9	M	Single-Trunk
	Lagestroemia i. 'Tuscarora'	Crape Myrtle	24" box	9	M	Multi-Trunk
	Existing trees to remain in place.					
SHRUB						
	Agave attenuata	Foxtail Agave	5 gal	42	L	
	Bougainvillea 'Rosenka'	Rosenka Bougainvillea	5 gal	20	L	
	Callistemon 'Little John'	Dwarf Bottlebrush	5 gal	168	L	
	Ligustrum j. 'Texanum'	Texas Privet	5 gal	49	L	
	Phormium t. 'Yellow Wave'	Yellow Wave Flax	5 gal	31	L	
	Raphiolepis i. 'Ballerina'	Indian Hawthorn	5 gal	146	L	
	Westringia f. 'Smokey'	Dwarf Coastal Rosemary	5 gal	78	L	
PERENNIALS						
	Dianella t. 'Varigated'	Flax Lily	1 gal	226	L	
	Bulbine frutescens 'Orange'	Orange Stalked Bulbine	1 gal	125	L	
GROUNDCOVER						
	Rosmarinus o. 'Hunt. Carpet'	Hunt. Carpet Rosemary	1 gal	159	L	plant @ 3' o.c.
	Myoporum parvifolium 'Pink'	Pink Australian Racer	flats	25	L	plant @ 18" o.c.

Point of Connection # 1

Maximum Applied Water Allowance (MAWA)

Total MAWA = (ETo x 0.55 x LA x 0.62) + (ETo x 1.0 x SLA x 0.62) = Gallons per year for LA+SLA

where:

MAWA = Maximum Applied Water Allowance (gallons per year)
 ETo = Reference Evapotranspiration Appendix C (inches per year)
 0.55 = Evapotranspiration Adjustment Factor (ETAF) residential
 0.45 = Evapotranspiration Adjustment Factor (ETAF) non-residential
 1.0 = ETAF for Special Landscaped Area
 LA = Landscaped Area (square feet)
 0.62 = Conversion factor (to gallons per square foot)
 SLA = Special Landscaped Area (square feet)

MAWA Calculation:

	ETo		ETAF		LA or SLA (ft2)		Conversion		MAWA (Gallons Per Year)
MAWA for LA=	51.3	x	0.45	x	11,340	x	0.62	=	162,306.00
Total MAWA =					11,340			=	163,306.00 Gal./ Year

Estimated Applied Water Use

EAWU = ETo x Kl x LA x 0.62 + IE = Gallons per year

where:

EAWU = Estimated Applied Water Use (gallons per year)
 ETo = Reference Evapotranspiration Appendix C (inches per year)
 Kl = Landscape Coefficient
 LA = Landscaped Area (square feet)
 0.62 = Conversion factor (to gallons per square foot)
 IE = Irrigation Efficiency = IME x DU (See definition in Appendix E for example IE percentages)

Kl = Ks x Kd x Kmc
 Ks = species factor (range = 0.1-0.9) (see WUCOLS list for values)
 Kd = density factor (range = 0.5-1.3) (see WUCOLS for density value ranges)
 Kmc = microclimate factor (range = 0.5-1.4) (see WUCOLS)

IME = Irrigation Management Efficiency (90%)
 DU = Distribution Uniformity of irrigation head

EAWU Calculation

	ETo		Kl		LA		Conversion		IE		EAWU (Gallons per year)
Low Water Using Shrub	51.3	x	0.2	x	11,340	x	0.62	÷	0.81	=	89,056.00
Total EAWU =					11,340					=	89,056.00 Gal./ Year

Drip System

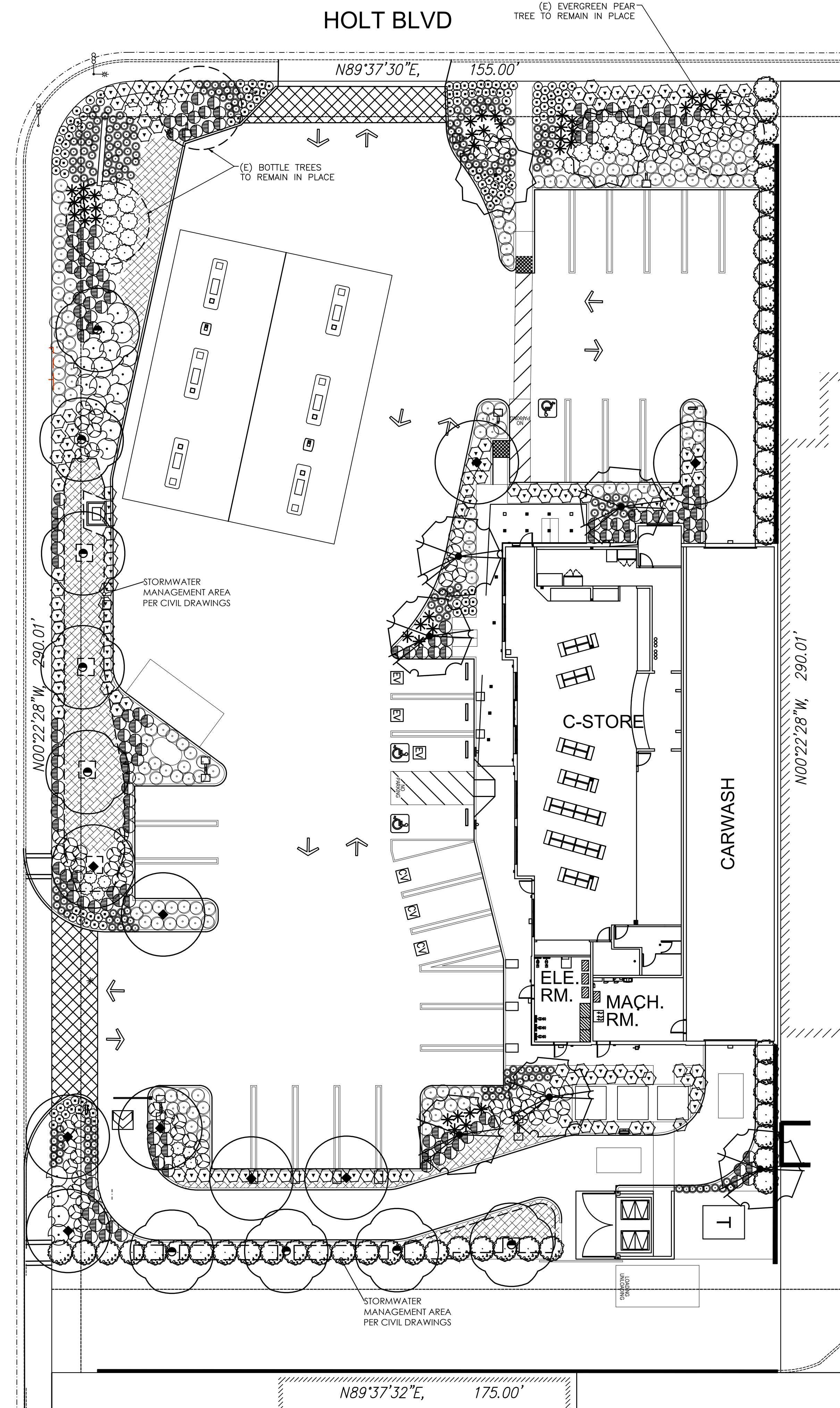
CERTIFICATION OF LANDSCAPE DESIGN

I hereby certify that:

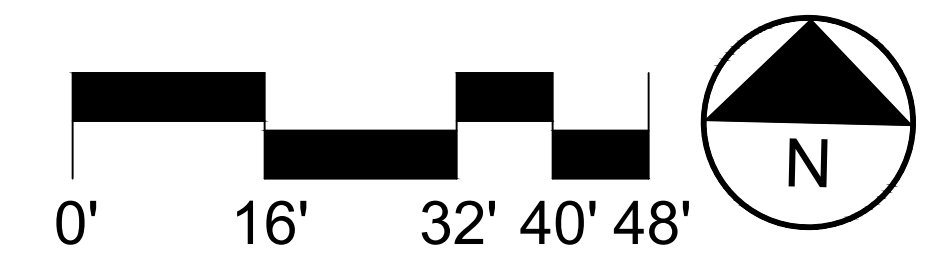
- I am a professional appropriately licensed in the State of California to provide professional landscape design services.
- The landscape design and water use calculations for the property located at 5515 HOLT BLVD., MONTCLAIRE, CA (provide street address or parcel number(s)) were prepared by me or under my supervision.
- The landscape design and water use calculations for the identified property comply with the requirements of the City of Pomona Water Efficient Landscape Ordinance (Municipal Code Chapter 13.18) and the City of Pomona Efficient Landscape Guidelines.
- The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the City of Pomona Water Efficient Landscape Guidelines.

PHIL MAY
 Print Name

 Signature
 1937 W/ 9 TH. STREET UPLAND, CA 91766
 Address
 (909) 373-1959
 Telephone
 pmay@philmaydesign.com
 E-mail Address
 06-28-21
 Date
 3104
 License Number



TOTAL LANDSCAPE AREA = 11,340 s.f.



REVISIONS	BY

PHIL MAY
 LANDSCAPE
 ARCHITECTURE
 2532 Wallace Ave.
 Fullerton, CA 92831
 Phone: 909 373 1959
 pmay@philmaydesign.com
 www.philmaydesign.com



PRELIMINARY PLAN

RENOVATION OF GAS STATION
 W/ CARWASH & 6 MPD
 5515 HOLT BLVD.
 MONTCLAIR, CA 91763

DRAWN
 F.G.
 CHECKED
 R.S.
 DATE
 06-26-21
 SHEET

L-1
 OF 1 SHEETS
 JOB NO.
 21087

CONTRACTOR SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. WRITTEN PERMISSION OF PHIL MAY LANDSCAPE ARCHITECTURE. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS.