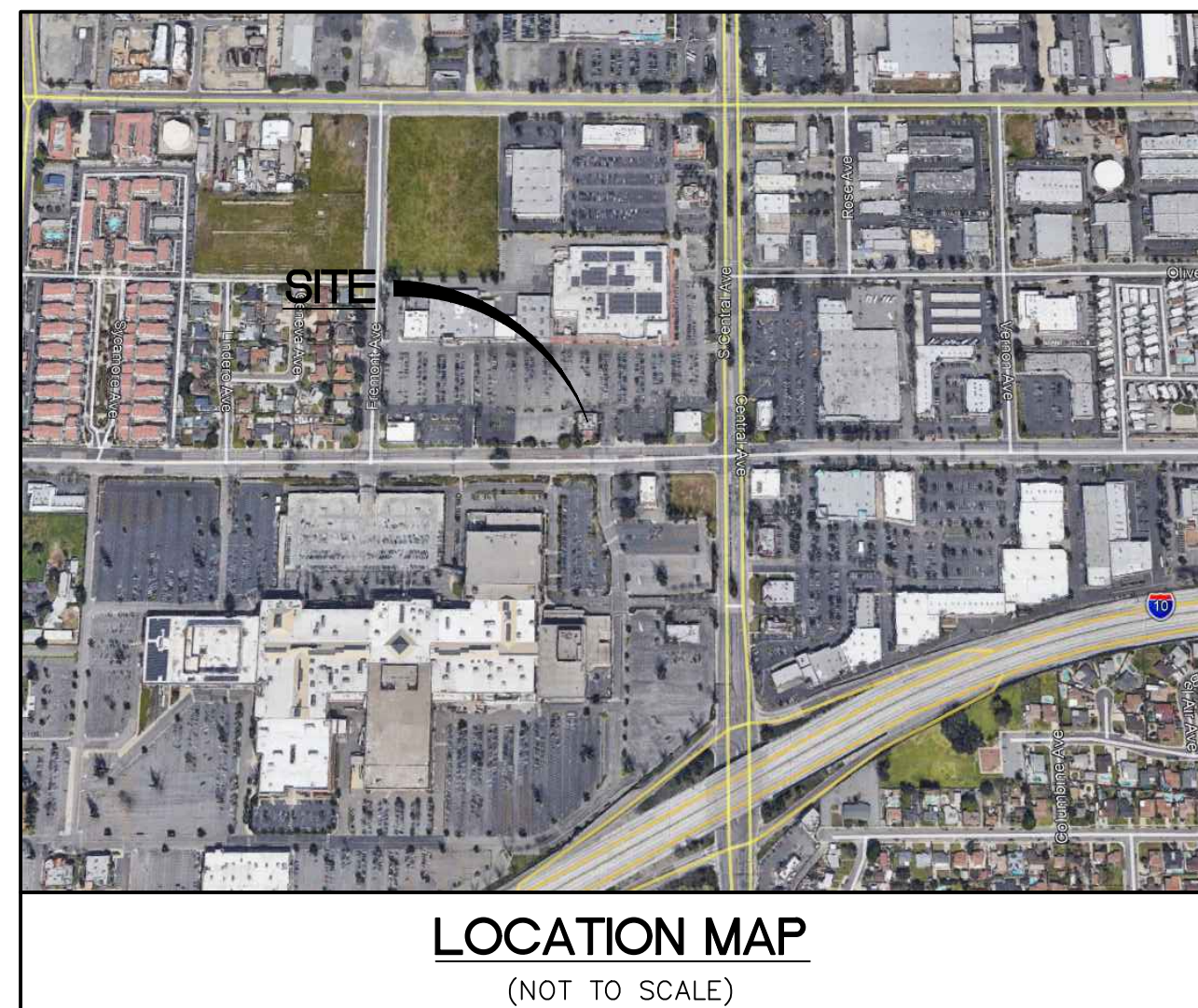


# PANERA BAKERY CAFE 6239

5212 MORENO STREET  
MONTCLAIR, CA 91763



## UTILITIES

<b>GAS SERVICE</b>	SOUTHERN CALIFORNIA GAS COMPANY 5566 ARROW HIGHWAY MONTCLAIR, CA 91763 1-877-238-0092	<b>COMMUNICATIONS SERVICE</b>	VERIZON 5094 N. MONTCLAIR PLAZA LANE MONTCLAIR, CA 91763 (909) 398-1579
<b>WATER SERVICE</b>	MONTE VISTA WATER DISTRICT 10575 CENTRAL AVENUE MONTCLAIR, CA 91763 (909) 624-0035	<b>SANITARY SEWER SERVICE</b>	CITY OF MONTCLAIR PUBLIC WORKS 5111 BENITO STREET MONTCLAIR, CA 91763 (909) 625-9478
<b>ELECTRIC SERVICE</b>	SOUTHERN CALIFORNIA EDISON P.O. BOX 800 ROSEMEAD, CA 91770 1-800-655-4555	<b>STORM SEWER SERVICE</b>	CITY OF MONTCLAIR PUBLIC WORKS 5111 BENITO STREET MONTCLAIR, CA 91763 (909) 625-9478

## INDEX

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## DESIGN AND DEVELOPMENT CONTACTS

<b>OWNER</b>	LEE & ASSOCIATES 3240 MISSION INN AVE. RIVERSIDE, CA 92507 (951) 276-3636 CONTACT: NICK WIRICK	<b>ARCHITECT</b>	NORR 325 N LASALLE ST, SUITE 500 CHICAGO, IL 60654 (312) 873-1053 CONTACT: BILLY VENIA
<b>DEVELOPER</b>	PANERA, LLC 3630 SOUTH GEYER ROAD, SUITE 100 ST. LOUIS, MO 63127 (314) 984-2525 CONTACT: JUSTIN KNEPPER	<b>SURVEYOR</b>	CLARK LAND SURVEYING 177 S. TIFFANY DRIVE, UNIT 1 PUEBLO WEST, CO (719) 582-1270 CONTACT: TRENT KEENAN
<b>CIVIL ENGINEER</b>	COLE & ASSOCIATES, INC. 401 SOUTH 18TH STREET, SUITE 200 ST. LOUIS, MO 63103 (314) 984-9887 CONTACT: CHRIS WILSON	<b>LANDSCAPE ARCHITECT</b>	THOMAS H. KOCH 26482 ELMCREST WAY LAKE FOREST, CA 92630 (949) 348-9150

## LEGEND

EXISTING		PROPOSED
--- 460 --- --- 459 --- +620.15	CONTOURS	--- 460 --- --- 459 --- +621.25 (TOP OF CURB) (FIRST PLACEMENT)
-----	SPOT GRADE	-----
-----	TREE LINE	-----
⊗	TREE	⊗
⊙	BUSH	⊙
⊗	STORM MANHOLE	⊗
⊗	AREA INLET	⊗
⊗	CURB INLET	⊗
⊗	GRATED INLET	⊗
⊗	FLARED END SECTION	⊗
12" RCP	STORM SEWER	①
⊗	GRATED MANHOLE	①
⊗	STORM DESIGNATOR	①
⊗	DOWNSPOUT	①
⊗	DRAINAGE PIPE	①
⊗	SWALE/SLOPE INDICATOR	①
8" VCP	SANITARY MANHOLE	⊗
⊗	SANITARY SEWER	⊗
⊗	CLEAN OUT	⊗
⊗	SANITARY DESIGNATOR	⊗
⊗	UTILITY POLE	⊗
⊗	GUY WIRE	⊗
⊗	OVERHEAD UTILITY	⊗
UE	UNDERGROUND ELECTRIC	UE
⊗	ELECTRIC MARKER	⊗
⊗	ELECTRIC METER	⊗
⊗	ELECTRIC BOX	⊗
⊗	ELECTRIC PULL BOX	⊗
⊗	ELECTRIC TRANSFORMER	⊗
⊗	ELECTRIC MANHOLE	⊗
⊗	UNDERGROUND TELEPHONE	⊗
⊗	FIBER OPTIC MARKER	⊗
⊗	CABLE MARKER	⊗
⊗	GAS LINE	⊗
⊗	GAS VALVE	⊗
⊗	GAS METER	⊗
⊗	GAS MARKER	⊗
⊗	WATER LINE	⊗
⊗	WATER VALVE	⊗
⊗	WATER METER	⊗
⊗	FIRE HYDRANT	⊗
⊗	SIGN	⊗
⊗	MAIL BOX	⊗
⊗	TEST HOLE	⊗
⊗	LIGHT STANDARD	⊗
⊗	FENCE	⊗
⊗	BOLLARD	⊗
⊗	RETAINING WALL	⊗
⊗	CONCRETE PAVEMENT	⊗
⊗	SILTATION FENCE	⊗
⊗	AIR CONDITIONER	⊗
⊗	FLAG POLE	⊗
⊗	MONITORING WELL	⊗
⊗	PARKING METER	⊗
⊗	PLANTER	⊗
⊗	SPRINKLER CONTROL BOX	⊗
⊗	SPRINKLER	⊗
⊗	SPRINKLER VALVE	⊗
⊗	TRAFFIC CONTROL BOX	⊗
⊗	TRAFFIC POLE	⊗
⊗	YARD LIGHT	⊗
⊗	GUARD RAIL	⊗
⊗	PROPERTY LINE	⊗
⊗	EASEMENT	⊗
⊗	SETBACK	⊗
⊗	INLET PROTECTION	⊗
⊗	WATTLE	⊗
⊗	CHECK DAM	⊗
⊗	USE IN PLACE	(UIP)
⊗	TO BE REMOVED	(TBR)
⊗	ADJUST TO GRADE	(ATG)
⊗	TO BE REMOVED & RELOCATED	(TBR&R)
⊗	TYPICAL	(TYP)
⊗	NOT TO SCALE	N.T.S.
⊗	HIGH POINT IN GRADE	HP
⊗	LOW POINT IN GRADE	LP
⊗	TOP OF WALL	TW
⊗	BOTTOM OF WALL	BW
⊗	NOT IN CONTRACT	(NIC)

DEVELOPER/OWNER:  
**PANERA, LLC**  
3630 SOUTH GEYER ROAD, SUITE 100  
ST. LOUIS, MO 63127  
(314) 984-2646



**PANERA BAKERY CAFE #6239**  
8212 MORENO STREET  
MONTCLAIR, CA 91763

COVER SHEET

**COLE**  
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE  
11515 1/2th Street  
Suite 100  
St. Louis, MO 63103  
314.984.9887 ext/

DESIGN/CALC BY: LFD  
DRAWN BY: AMG  
CHECKED BY: AMG  
DRAWING SCALE: AS SHOWN  
DATE: 10/06/2021

Job Number  
**17-0037-000A**

Sheet Number  
**C1.0**

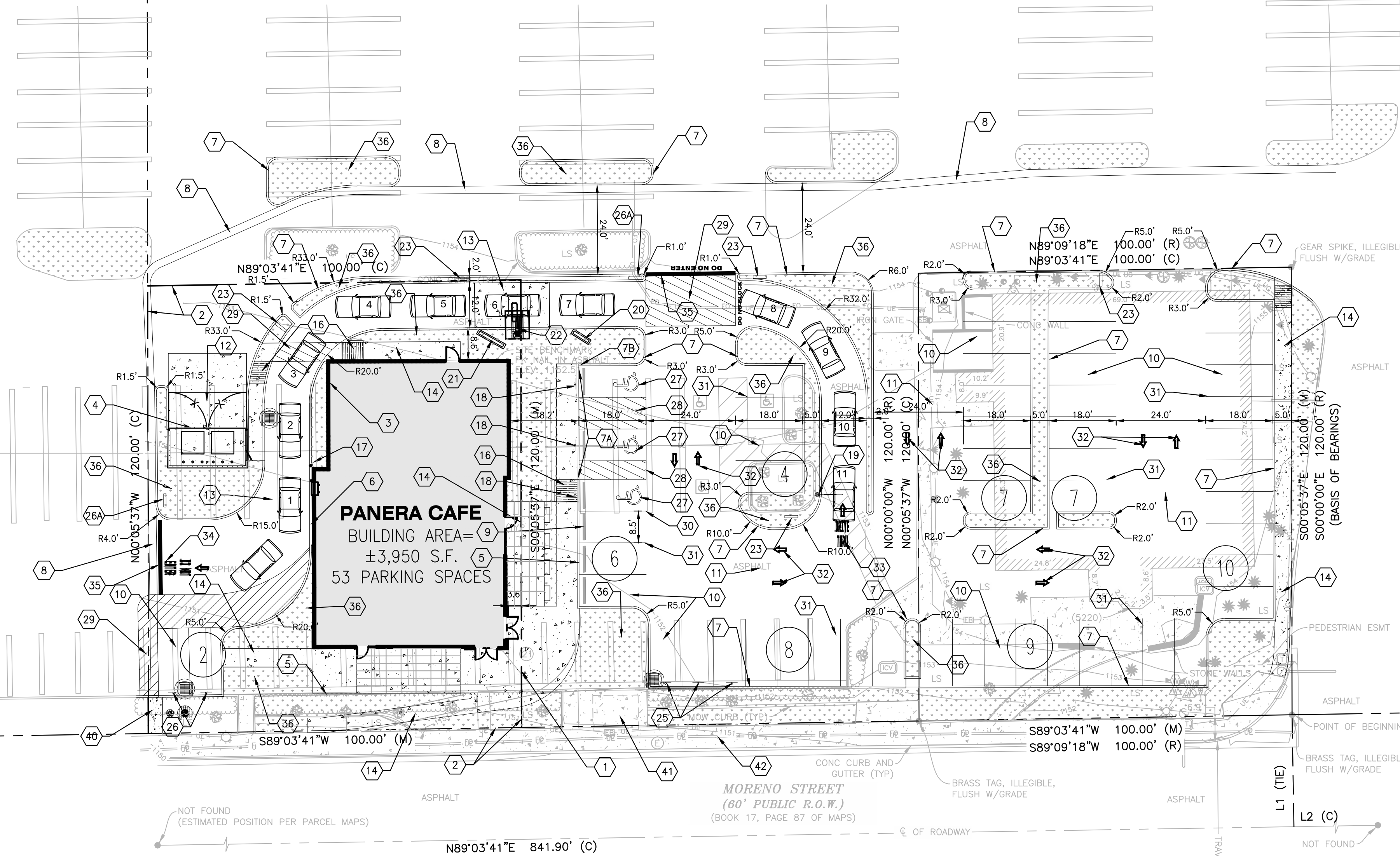
UTILITY INFORMATION  
UTILITIES SHOWN HAVE BEEN TAKEN FROM AVAILABLE SURVEYS. UTILITY COMPANY MAPS AND PHYSICAL PROPERTY INSPECTION. THE LOCATIONS AND FACILITIES SHALL BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE ADDITIONAL UTILITIES THAT HAVE NOT BEEN SHOWN ON THIS SURVEY. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



CALL 811 DIG ALERT TO HAVE UTILITY LOCATIONS MARKED IN FIELD AT LEAST TWO DAYS BEFORE YOU DIG.



20' 0' 20' 40'  
SCALE: 1" = 20'



### KEYED NOTES

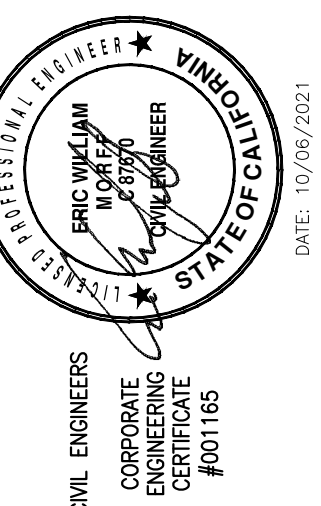
1. ALL IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE EAST PROPERTY LINE UNLESS DIMENSIONED OTHERWISE.
- NEW STRUCTURES**
2. NEW PANERA LEASE AREA LIMITS.
  3. NEW PANERA BUILDING.
  4. NEW DUMPSTER ENCLOSURE.
- NEW CURBS**
5. NEW INTEGRAL CONCRETE CURB (STANDARD SECTION).
  6. NEW INTEGRAL CONCRETE CURB (WIDE SECTION).
  7. NEW VERTICAL CONCRETE CURB.
  - 7A. NEW VERTICAL CONCRETE CURB, FLUSH WITH PAVEMENT.
  - 7B. NEW VERTICAL CONCRETE CURB, TAPER FROM 0" TO 6".
  8. NEW 2' WIDE RIBBON GUTTER.
  9. NEW WHEEL STOP (TYPICAL OF 6).
- NEW PAVEMENTS**
10. NEW ASPHALT PAVEMENT (LIGHT DUTY).
  11. NEW ASPHALT PAVEMENT (HEAVY DUTY).
  12. NEW CONCRETE PAVEMENT (HEAVY DUTY).
  13. NEW CONCRETE PAVEMENT (HEAVY DUTY) WITH DETECTOR LOOP.
- NEW SIDEWALKS**
14. NEW CONCRETE SIDEWALK.
  15. NOT USED.
  16. NEW CURB RAMP (TYPE B).
- NEW SIGNS**
17. NEW 6" BOLLARD(S).
  18. NEW ACCESSIBLE PARKING SIGN.
  19. NEW DRIVE-THRU CLEARANCE BAR.
  20. NEW PREVIEW BOARD.
  21. NEW MENU BOARD.
  22. NEW CANOPY AND SPEAKER POST.
  23. NEW "DRIVE-THRU" SIGN.
  24. NEW "THANK YOU/DO NOT ENTER" SIGN.
  25. NEW RAPID PICK UP PARKING SIGN.
  26. NEW DRIVE THRU PULL FORWARD SIGN.
  - 26A. NEW "DO NOT ENTER" SIGN.
- NEW PAVEMENT MARKINGS**
27. NEW PAINTED ACCESSIBLE PARKING SYMBOL.
  28. NEW PAINTED AISLE (BLUE).
  29. NEW PAINTED AISLE (WHITE).
  30. NEW PAINTED PARKING SPACE LINE (BLUE).
  31. NEW PAINTED PARKING SPACE LINE (WHITE).
  32. NEW PAINTED TRAFFIC FLOW ARROW.
  33. NEW "DRIVE-THRU" STRIPING AND TRAFFIC FLOW ARROW.
  34. NEW "DO NOT ENTER" STRIPING AND TRAFFIC FLOW ARROWS.
  35. NEW PAINTED STOP BAR LINE.
- NEW MISCELLANEOUS ITEMS**
36. NEW LANDSCAPE AREA. REFER TO LANDSCAPE PLANS.
  37. NEW POST-MOUNTED LIGHT.
  38. NEW CLEAN AIR VEHICLE PARKING AND ELECTRICAL VEHICLE CHARGING STATION SPACES.
  39. NEW BIKE RACK PARKING.
  40. CONCRETE COVERED FLUME THROUGH LANDSCAPE AREA AND PUBLIC SIDEWALK.
  41. EX. BUS STOP SHELTER TO BE PAINTED. COLOR TO BE AGREED ON BY CITY AND PANERA.
  42. REPLACE ALL EXISTING LIFTED OR CRACKED CURB GUTTER, DAMAGED UTILITY PULL BOX LIDS, AND SIDEWALK ADJACENT TO THE PROPERTY.

### PARKING CALCULATIONS

PARKING REQUIREMENTS (STANDARD)	
USE CATEGORY	1 SPACE FOR EVERY 4 SEATS OR 1 PER OCCUPANTS
OCCUPANTS	140
CALCULATION(S)	140 OCCUPANTS/6=24 SPACES
PARKING REQUIREMENTS (ACCESSIBLE)	
51 TO 75 STANDARD SPACES	3 ACCESSIBLE SPACES
VAN ACCESSIBLE REQUIREMENT	1 VAN ACCESSIBLE SPACE FOR EVERY 6 ACCESSIBLE SPACES
PARKING DATA	
SPACES REQUIRED (TOTAL)	24 SPACES
SPACES PROVIDED (STANDARD)	50 SPACES
SPACES PROVIDED (ACCESSIBLE)	3 SPACES (1 VAN ACCESSIBLE)
SPACES PROVIDED (TOTAL)	53 SPACES

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DATE: December 7, 2021 - 9:20:13 AM  
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DEVELOPER/OWNER:  
**PANERA, LLC**  
3630 SOUTH GUYER ROAD, SUITE 100  
ST. LOUIS, MO 63127  
(314) 984-2646



CIVIL ENGINEERS  
CORPORATE  
ENGINEERING  
CENTERS  
#801180

**PANERA BAKERY CAFE #629**  
8212 MORENO STREET  
MONTCLAIR, CA 91763

+ ST. LOUIS  
1155 1/2th Street  
St. Louis, MO 63103  
314.984.9887 ext  
COLE  
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE

DESIGN/CALC BY  
LFD

DRAWN BY  
AMG

CHECKED BY  
AMG

DRAWING SCALE  
AS SHOWN

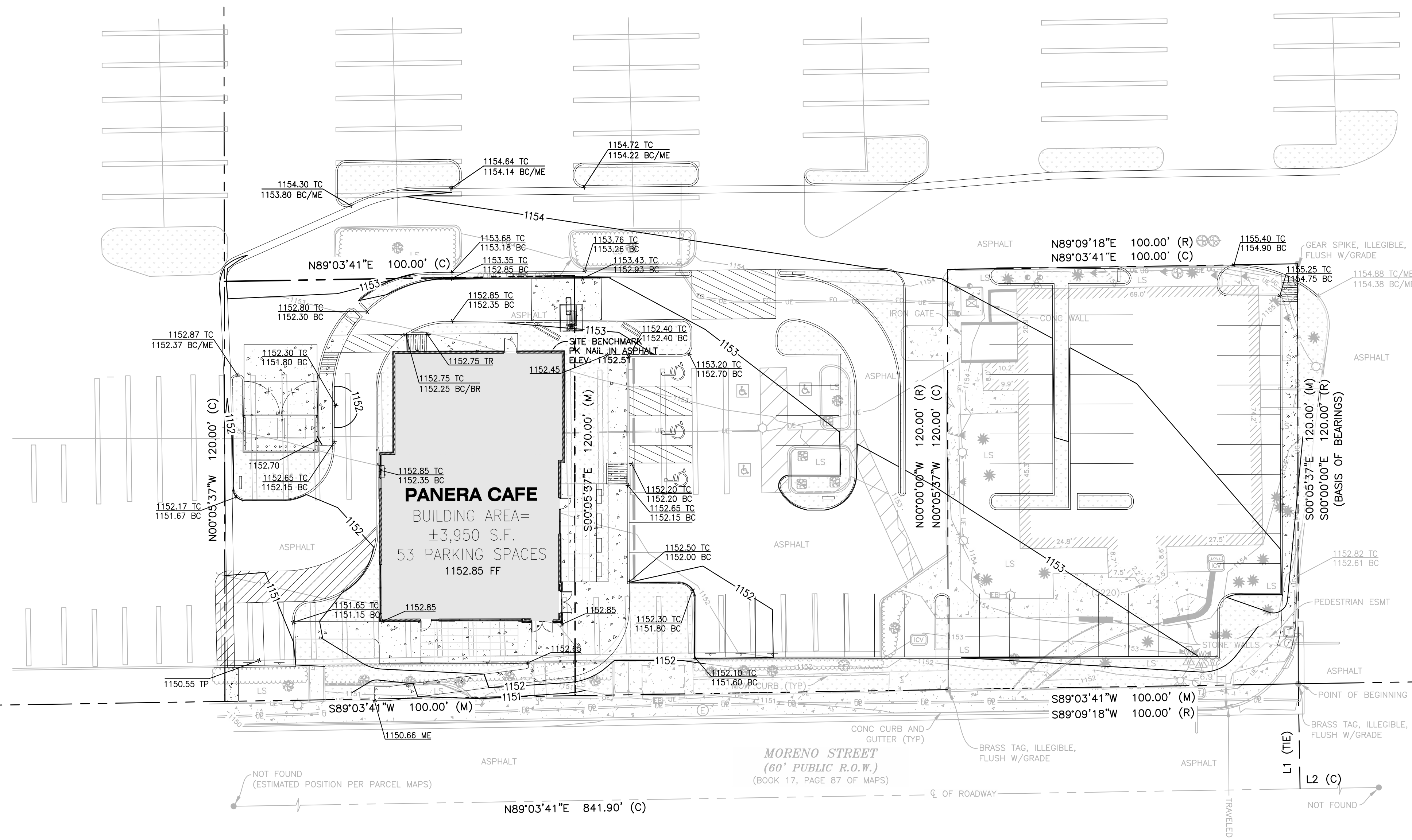
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20' 0' 20' 40'  
SCALE: 1" = 20'



### GRADING ABBREVIATIONS

- BC BOTTOM OF CURB FACE
- BR BOTTOM OF RAMP
- BW BOTTOM OF WALL
- EC EDGE OF CONCRETE
- EX EXISTING TO REMAIN
- FF FINISHED FLOOR
- FG FINISHED GRADE
- GF GUTTER FLOWLINE
- HP HIGH POINT
- LP LOW POINT
- ME MATCH EXISTING
- TC TOP OF CURB FACE
- TP TOP OF PAVEMENT
- TR TOP OF RAMP
- TW TOP OF WALL

DEVELOPER/OWNER:  
**PANERA, LLC**  
3630 SOUTH Geyer Road, Suite 100  
St. Louis, MO 63127  
(314) 984-2646



CIVIL ENGINEERS  
CORPORATE  
ENGINEERING  
CENTRAL  
#001160

**PANERA BAKERY CAFE #629**  
8212 MORENO STREET  
MONTCLAIR, CA 91763



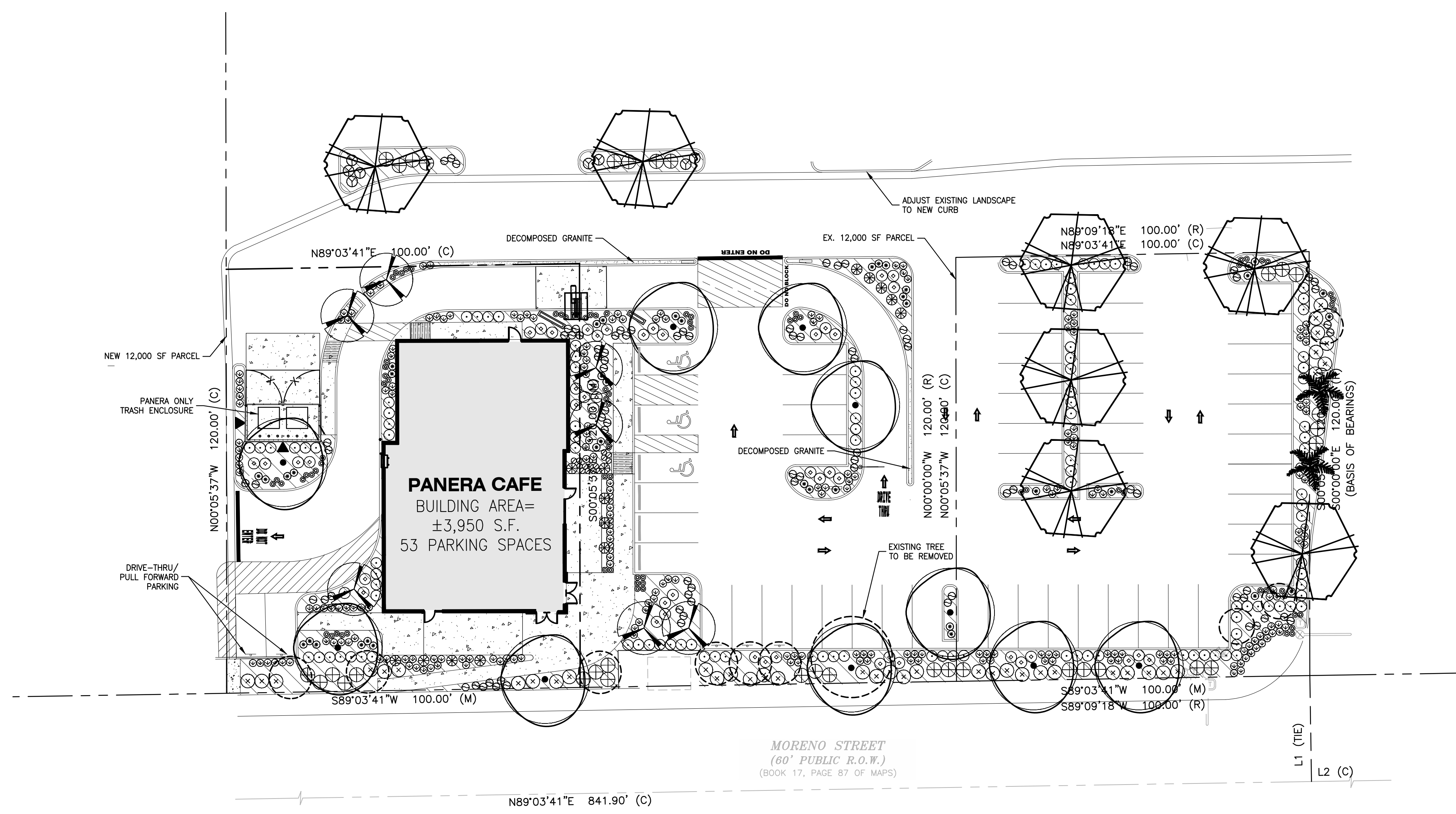
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Sheet Number	C3.0

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NO	DATE	REVISION DESCRIPTION
1	12/07/2021	PER PLANNING COMMISSION COMMENTS



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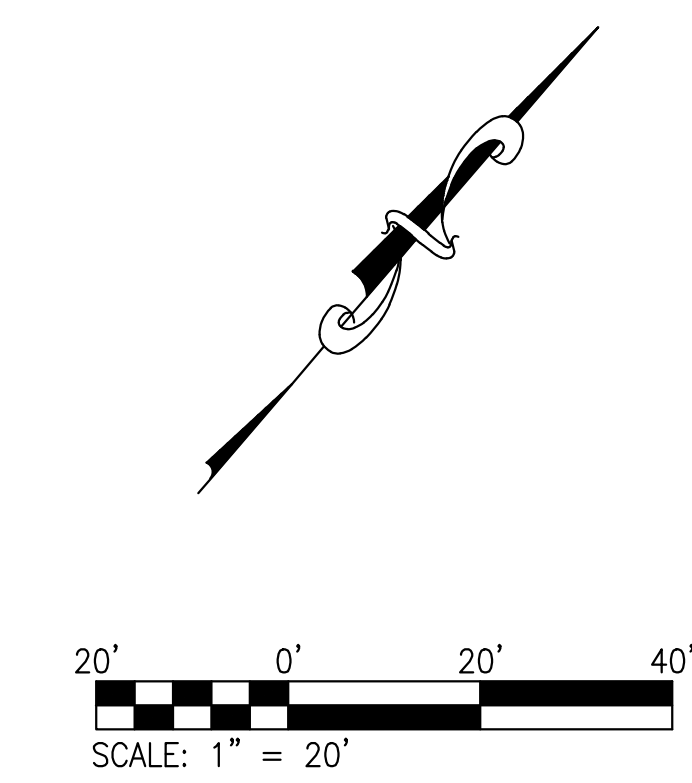


**PLANT LEGEND**

SYMBOL	BOTANICAL NAME COMMON NAME	QTY.	CONTAINER SIZE MAINTAIN H X W	WATER USE COMMENTS
	JUNIPERUS S. 'PATHFINDER' BLUE ARROW JUNIPER	13	15 GALLON 8' x 3'	LOW
	KOELREUTERIA PANICULATA GOLDEN RAIN TREE	7	24" BOX 25' x 30'	LOW 6' CLEAR TRUNK
	LAGERSTROEMIA 'NATCHEZ' CRAPE MYRTLE	7	15 GALLON 20' x 15'	MOD
	PLATANUS RACEMOSA CALIFORNIA SYCAMORE	10	24" BOX 25' x 25'	LOW 6' CLEAR TRUNK
	SYAGRUS ROMANZOFFIANUM QUEEN PALM	2	12" BTH 35' x 20'	MOD
	EXISTING TREES TO REMAIN PROTECT IN PLACE	9		
	SHRUBS:			
	ALOE STRIATULA HARDY ALOE	40	1 GALLON 2' x 2'	LOW
	ANIGOZANTHOS 'BIG RED' KANGAROO PAW	87	1 GALLON 2' x 2'	LOW
	CERATOSTIGMA PLUMBAGINOIDES DWARF PLUMBAGO	26	1 GALLON 8" x 18"	MOD
	DIETES G. 'VARIEGATA' VARIEGATED FORTNIGHT LILY	8	5 GALLON 4' x 3'	MOD
	ILEX VOMITORIA 'NANA' DWARF YAUPON	109	5 GALLON 3' x 3'	LOW
	KALANCHOE PUMILA FLOWER DUST PLANT	86	1 GALLON 18" x 18"	LOW
	LANTANA 'NEW GOLD' LANTANA	39	1 GALLON 2' x 4'	LOW
	LEYMUS C. 'CANYON PRINCE' CANYON PRINCE BLUE LIME GRASS	48	1 GALLON 3' x 3'	LOW
	MUHLENBERGIA C. 'ROYAL MIST' REGAL MIST MUHLY GRASS	201	1 GALLON 2' x 2'	LOW
	ROSMARINUS O. 'PROSTRATUS' PROSTRATE ROSMARY	34	1 GALLON 2' x 4'	LOW
	VINES:			
	PARTHENOCESSUS TRICUSPIDATA BOSTON IVY	2	5 GALLON	MOD
	GROUNDCOVER:			
	DYMONDIA MARGARETAE DYMONDIA		FLATS 12" O.C.	LOW
	DECOMPOSED GRANITE WETTED AND COMPACTED TO A 3" DEPTH			

NOTES:  
 PLANTING AREAS SHALL BE MULCHED WITH A THREE INCH (3") MINIMUM LAYER OF ORGANIC WOOD MULCH.  
 ALL NEW TREES WITHIN 5' OF HARDSCAPE SHALL BE INSTALLED WITH LINEAR DEEP ROOT BARRIERS, 24" DEEP.

"I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENCY ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN".  
 Thomas H Koch  
 SIGNATURE



**PLANTING NOTES**

CONTRACTOR TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATION(S) FROM THE PLANS OR SPECIFICATIONS TO HAVE WRITTEN APPROVAL.

CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND SERVICES PRIOR TO ANY UNDERGROUND DIGGING. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ALL DAMAGE FOR FAILURE TO DO SO.

CONTRACTOR TO VERIFY WITH A SOILS ANALYSIS THE PROPER SOIL AMENDMENTS. CONTACT LANDSCAPE ARCHITECT IF THERE ARE ANY INADEQUATE AMENDMENTS.

SEE PLANTING DETAILS FOR ALL PLANTING AND STAKING / GUYING REQUIREMENTS. ALL SHRUB AND GROUND COVER TO BE INSTALLED 1" ABOVE BACKFILL GRADE. COMPACT BACKFILL TO REDUCE MAJOR SETTLING OF PLANT MATERIAL.

CONTRACTOR TO RAISE OR LOWER SPRINKLER HEADS TO PROPER LEVEL IF PLANT MATERIAL OBSTRUCTS FULL COVERAGE.

FERTILIZER FOR ALL GROUND COVER AREAS SHALL BE AS SPECIFIED WITHIN THE SPECIFICATIONS.

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANT AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS THAT MAY BE NECESSARY TO KEEP THE PLANTING'S FREE FROM INSECTS AND DISEASES, WEEDING, ROLLING, MOWING, RE-SEEDING, EDGING AND / OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE ENTIRE PROJECT TO BE MAINTAINED FOR A PERIOD OF (30) DAYS, COMMENCING FROM THE TIME ALL ITEMS OF WORK HAVE BEEN COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

ALL TURF AND SHRUB AREAS SHALL BE SEPARATED BY A TRIPLE PLY REDWOOD BENDER BOARD, UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL INSTALL JUTE MESH NETTING ON ALL SLOPES THAT EXCEED A 2:1 GRADIENT.

CONTRACTOR SHALL MULCH ALL SHRUB AND GROUND COVER AREAS AFTER INSTALLATION OF PLANT MATERIAL WITH A MINIMUM 3" DEEP LAYER OF COMPOSTED AMENDMENT OR TOP DRESS MATERIAL.

ALL FINISH GRADES IN SHRUB AREAS SHALL BE 3" BELOW PAVEMENT OR CURBS. ALL FINISH GRADES IN TURF AREAS SHALL BE 1" BELOW PAVEMENTS OR CURBS.

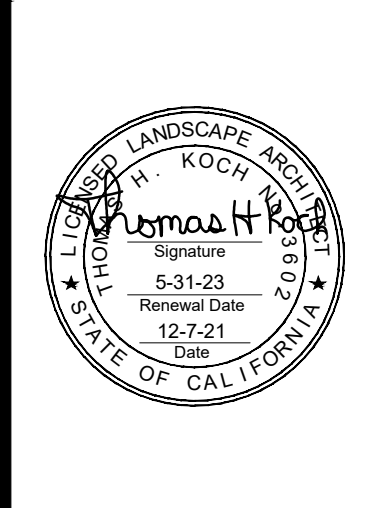
ALL SPECIMEN TREES SHALL RECEIVE DEEP ROOT BARRIERS WHEN LOCATED WITHIN 5' OF HARDSCAPE. FIGUS SPECIES SHALL RECEIVE DEEP ROOT BARRIERS IN ALL CASES. INSTALL DEEP ROOT BARRIERS PER MANUFACTURERS SPECIFICATIONS, OR AS NOTED.

REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.

NO	REVISION DESCRIPTION	DATE

DEVELOPER/OWNER:  
**PANERA, LLC**  
 3630 SOUTH Geyer Road, Suite 100  
 St. Louis, MO 63127  
 (314) 984-2646

THE PROFESSIONAL, WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON, IS A LICENSED LANDSCAPE ARCHITECT IN THE STATE OF CALIFORNIA AND IS NOT PROVIDING ANY SERVICES OR PROFESSIONAL OPINIONS FOR ANY OTHER PROJECTS OR SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SPECIFICALLY IDENTIFIED ON THIS PLAN. THE PROFESSIONAL'S LIABILITY IS LIMITED TO THE PART OF THE PROJECT TO WHICH THIS PLAN RELATES.



PANERA BAKERY CAFE  
 #6239  
 5212 MORENO STREET  
 MONTCLAIR, CA 91763

PLANTING PLAN

+ ST. LOUIS  
 1155 1/2 S. 1st Street  
 Suite 100  
 St. Louis, MO 63103  
 314.984.9887 tel/  
 314.984.9887 fax

COLE  
 CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE  
 6048 S. Alhambra Street, Ste. 100, Alhambra, CA 91803

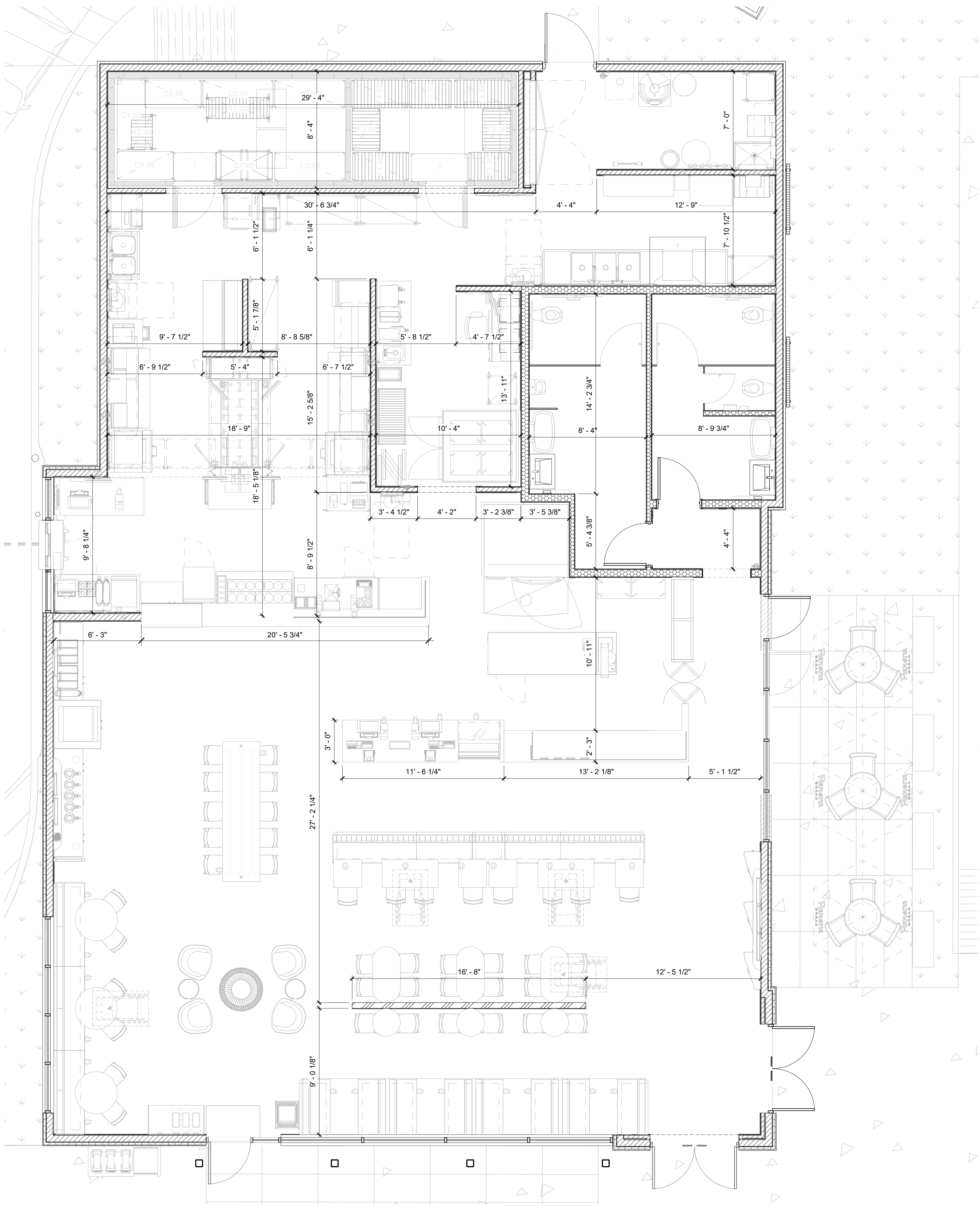
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DRAWN BY	CAW
CHECKED BY	CAW
DRAWING SCALE	
DATE	08/26/2021
Job Number	17-0037-000A
Sheet Number	L1.0

**THOMAS H. KOCH**  
 LANDSCAPE ARCHITECT

26482 Elmcrest Way  
 Lake Forest, CA 92630  
 (949) 348-9150  
 thk@cox.net

CA License 3602  
 AZ Registration 33915





**#6239 MONTCLAIR, CA**  
**CAFE INFORMATION**  
 CAL 133 REQUIRED  
 CO2 MONITORING REQUIRED

**SEATING AND SQUAER FOOTING BREAKDOWN**  
 TOTAL SQUARE FEET: 3,950 GROSS SQ. FT.  
 FRONT OF HOUSE: 2,085 SQ. FT.  
 BACK OF HOUSE: 1,865 SQ. FT.  
 PATIO: 741 SQ. FT.

**SEATING BREAKDOWN**  
 INTERIOR SEAT COUNT: 62  
 INTERIOR TABLE COUNT: 21  
 2 TOPS: 7 (33%)  
 3 TOPS: 0  
 4+ TOPS: 14 (66%)

**EXTERIOR SEATING:**  
 EXTERIOR SEAT COUNT: 27  
 EXTERIOR TABLE COUNT: 10

**Bakery-Cafe:**

**#6239**

**SYSTEM: HCM**

Project Team:

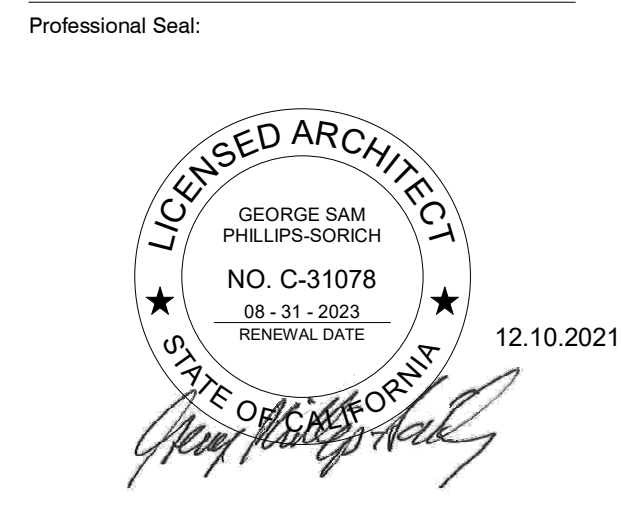
**NORR**

An Ingenium International Company

325 N. La Salle Street, Suite 500  
 Chicago, IL 60654 U.S.A  
 norr.com

ENGINEER, MECH. & PLBG.  
 ALKEMEYER & ASSOC. LLC  
 353 MARSHALL AVENUE #100  
 ST. LOUIS, MISSOURI 63119  
 PHONE: 314.772.1782

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 Y. V. KULKARNI  
 CONSULTING ENGINEER  
 38071 SPANISH BAY PLACE  
 DAVIS, CA 95619  
 PHONE: 916.462.8788  
 FAX: 916.465.8855  
 YASHAKEDCO@GMAIL.COM



Project Title:

**Bakery Cafe #6239**  
**5212 MORENO STREET**  
**MONTCLAIR, CA 91763**



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No.	Description	Date
	ENTITLEMENT DOCS.	10/06/21
	ENTITLEMENT DOCS.	12/10/21

**FLOOR PLAN**

Project Number: \_\_\_\_\_ Sheet Number: \_\_\_\_\_  
 NICH20\_0363  
 Drawn By: \_\_\_\_\_  
 NORR  
 Issue Date: **12.10.2021**

PM: \_\_\_\_\_ DPM: \_\_\_\_\_ DM: \_\_\_\_\_ CPM: \_\_\_\_\_  
 DC: \_\_\_\_\_ JK: \_\_\_\_\_ IO: \_\_\_\_\_ JM: \_\_\_\_\_

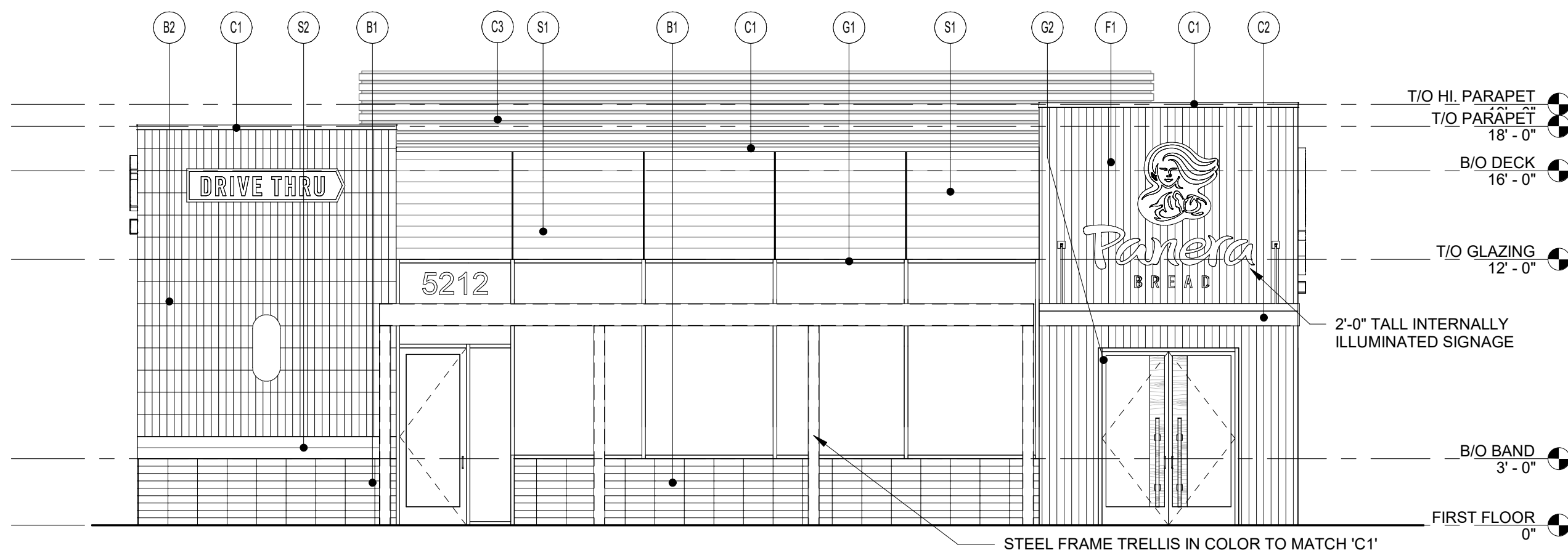
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12/9/2021 3:12:16 PM

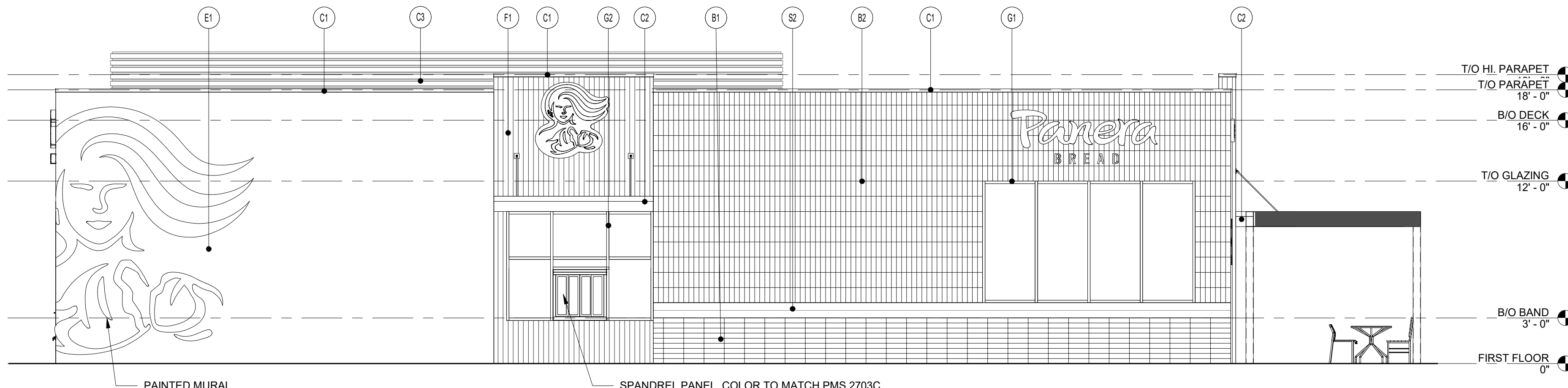
PS 2019.06

**1 | FLOOR PLAN**  
 1/4" = 1'-0"

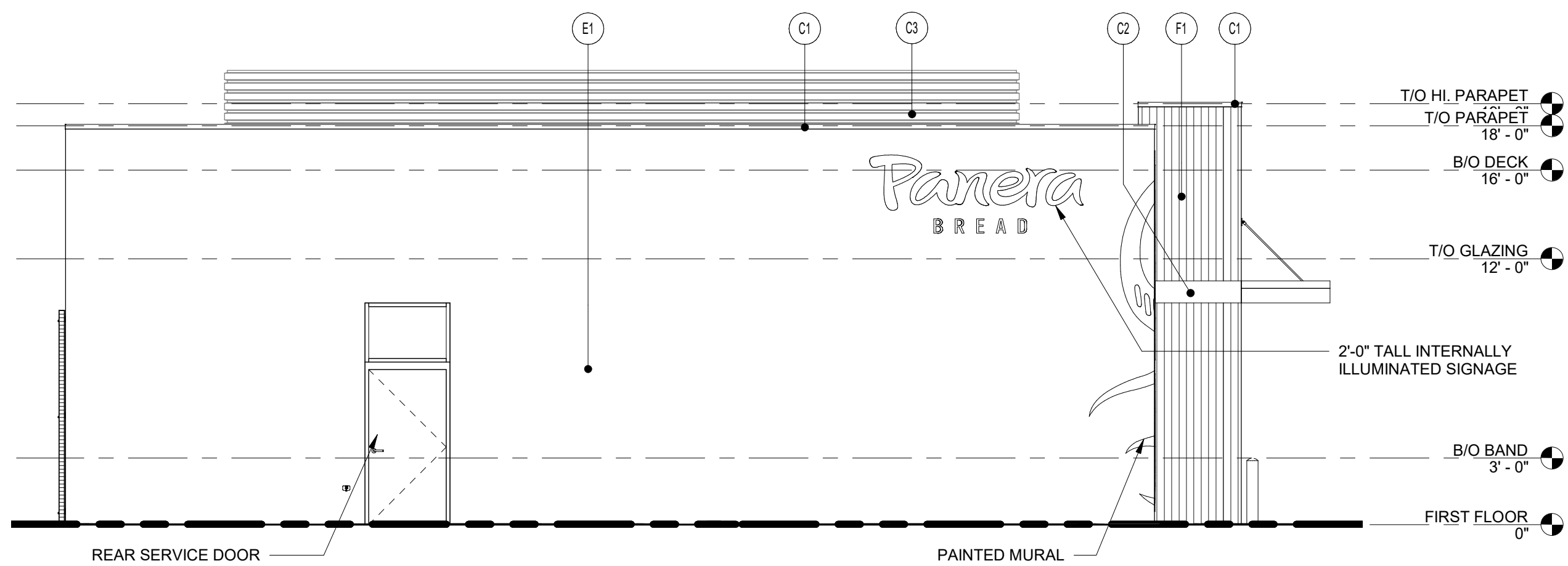




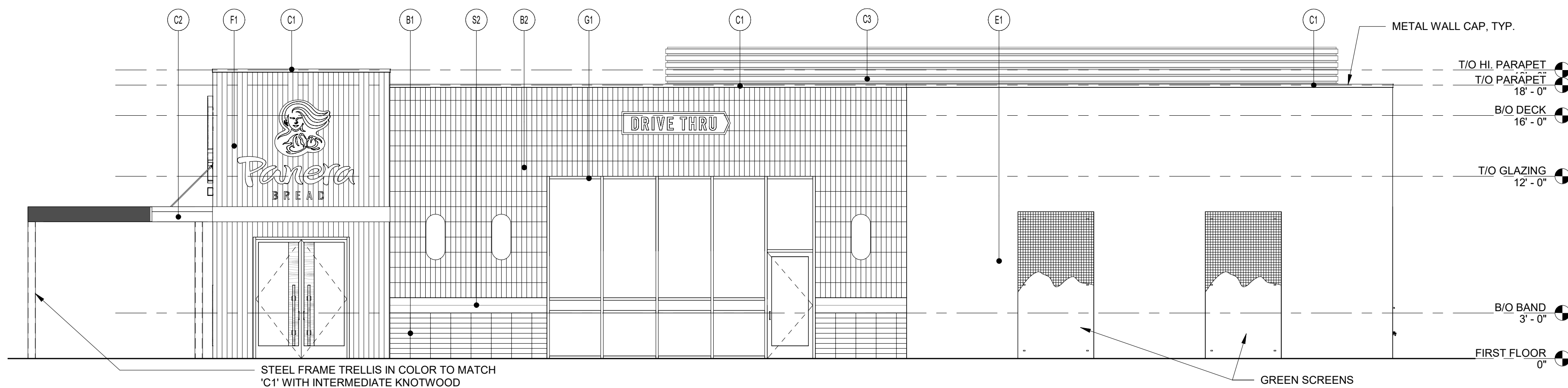
21 SOUTH ELEVATION  
3/16" = 1'-0"



22 WEST ELEVATION  
3/16" = 1'-0"



23 NORTH ELEVATION  
3/16" = 1'-0"



24 EAST ELEVATION  
3/16" = 1'-0"

**EXTERIOR MATERIALS:**

- (B1) THIN BRICK SYSTEM; MCNEAR BRICK & BLOCK  
3/4" X 3 5/8" X 11 5/8", STACK BOND  
COLOR: SANTIAGO CREATIVE MATERIALS BLEND
- (B2) THIN BRICK SYSTEM; MCNEAR BRICK & BLOCK  
3/4" X 3 5/8" X 11 5/8", STACK BOND  
COLOR: SANTIAGO CREATIVE MATERIALS BLEND
- (C1) PRE-FINISHED METAL COPING  
COLOR: MATCH RAL 7043
- (C2) PRE-FINISHED ALUMINUM CANOPY  
COLOR: MATCH PMS 2411C
- (C3) PRE-FINISHED ALUMINUM SCREENING  
COLOR: MATCH RAL 7043
- (E1) EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)  
TEXTURE TO MATCH DRYVIT LIMESTONE  
COLOR: DRYVIT #105 SUEDE
- (F1) FIBERGLASS REINFORCED PANEL  
MFR: FORMGLAS, FORMGLAS FRP  
FINISH: BASF UNO, COLOR: MATCH PMS 2307C
- (G1) ALUMINUM STOREFRONT  
KAWNEER, 2" X 4-1/2" PROFILE (OR APPROVED EQUAL)  
FINISH: POWDERCOAT, COLOR: COLONIAL WHITE  
GLAZING: 1" INSULATED CLEAR GLASS
- (G2) ALUMINUM STOREFRONT  
KAWNEER, 2" X 4-1/2" PROFILE (OR APPROVED EQUAL)  
COLOR: MATCH PMS 2307C  
GLAZING: 1" INSULATED CLEAR GLASS
- (S1) ALUMINUM WOOD LOOK  
KNOTWOOD, CLADDING SYSTEM  
COLOR: WHITE ASH
- (S2) ALUMINUM WOOD LOOK  
KNOTWOOD, SELF MATING CLADDING SYSTEM  
COLOR: WHITE ASH

Bakery-Cafe:

**#6239**

SYSTEM: HCM

Project Team:

**NORR**

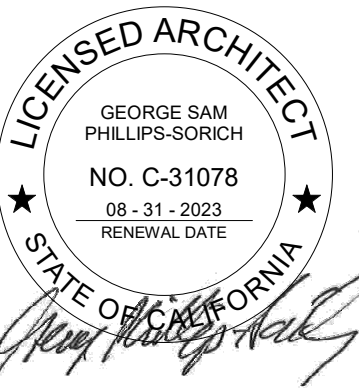
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YASHAVANT@GMAIL.COM

Professional Seal:



Project Title:

**Bakery Cafe #6239**  
**5212 MORENO STREET**  
**MONTCLAIR, CA 91763**



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**EXTERIOR ELEVATIONS**

Project Number: \_\_\_\_\_ Sheet Number: \_\_\_\_\_

NICH20\_0363

Drawn By: \_\_\_\_\_

NORR

Issue Date: \_\_\_\_\_

12.10.2021

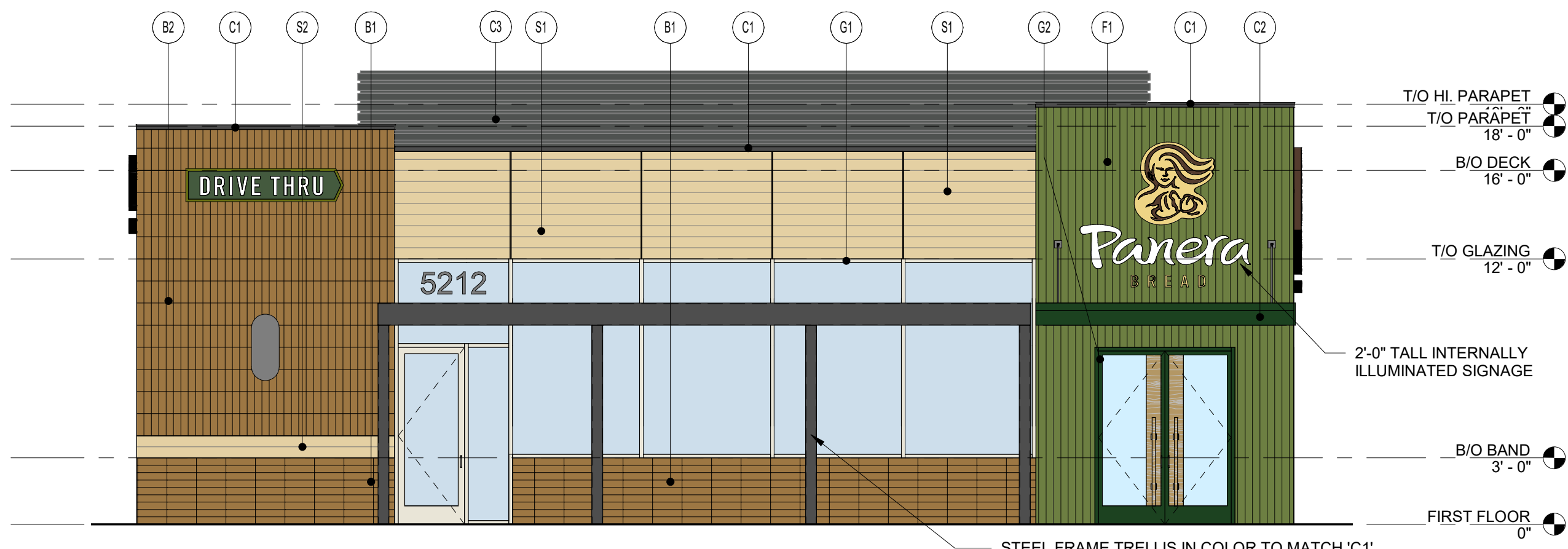
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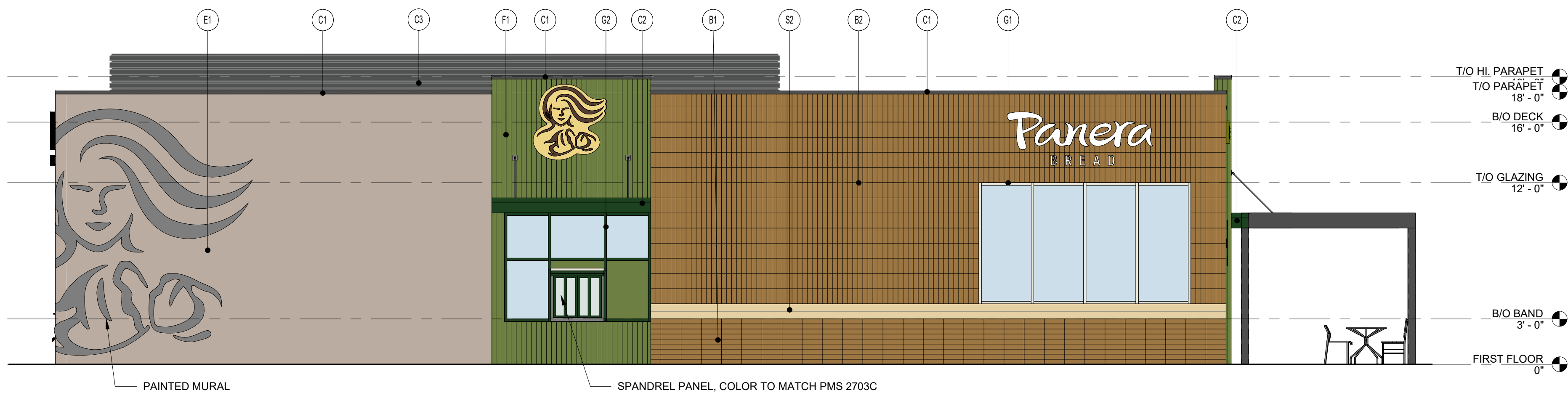
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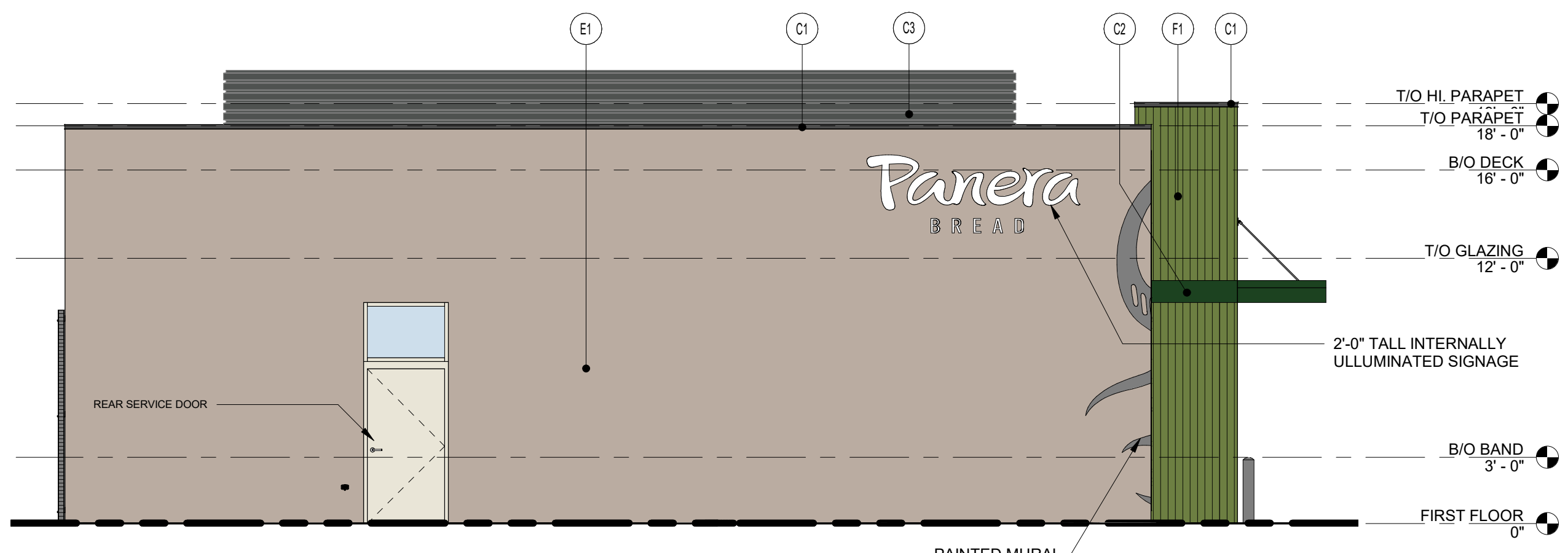


21 SOUTH ELEVATION  
3/16" = 1'-0"

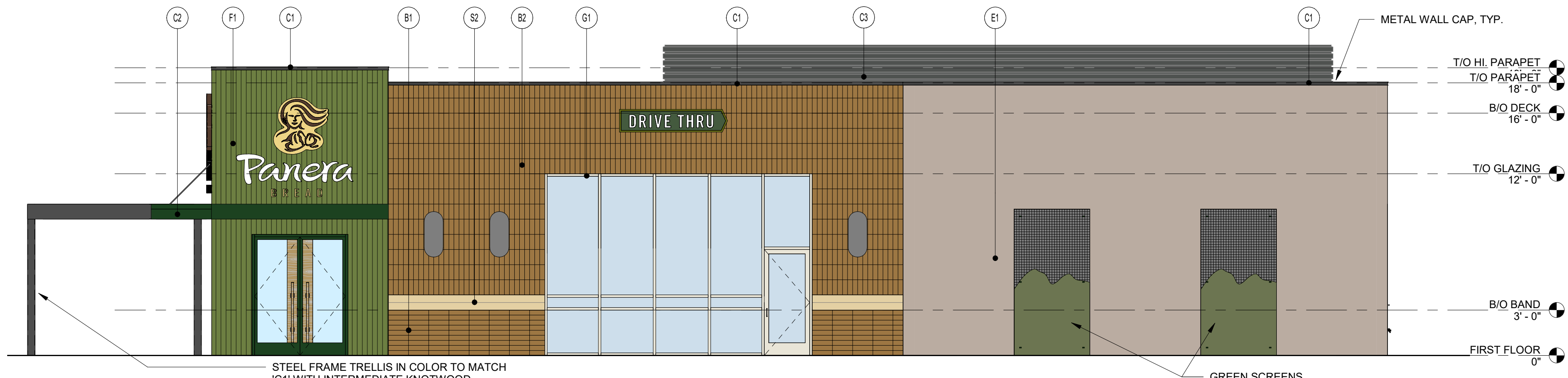
STEEL FRAME TRELLIS IN COLOR TO MATCH 'C1' WITH INTERMEDIATE KNOTWOOD FRAMING TO MATCH 'S1'



22 WEST ELEVATION  
3/16" = 1'-0"



23 NORTH ELEVATION  
3/16" = 1'-0"



24 EAST ELEVATION  
3/16" = 1'-0"

STEEL FRAME TRELLIS IN COLOR TO MATCH 'C1' WITH INTERMEDIATE KNOTWOOD FRAMING TO MATCH 'S1'

**EXTERIOR MATERIALS:**

- (B1) THIN BRICK SYSTEM; MCNEAR BRICK & BLOCK  
3/4" X 3 5/8" X 11 5/8", STACK BOND  
COLOR: SANTIAGO CREATIVE MATERIALS BLEND
- (B2) THIN BRICK SYSTEM; MCNEAR BRICK & BLOCK  
3/4" X 3 5/8" X 11 5/8", STACK BOND  
COLOR: SANTIAGO CREATIVE MATERIALS BLEND
- (C1) PRE-FINISHED METAL COPING  
COLOR: MATCH RAL 7043
- (C2) PRE-FINISHED ALUMINUM CANOPY  
COLOR: MATCH PMS 2411C
- (C3) PRE-FINISHED ALUMINUM SCREENING  
COLOR: MATCH RAL 7043
- (E1) EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)  
TEXTURE TO MATCH DRYVIT LIMESTONE  
COLOR: DRYVIT #105 SUEDE
- (F1) FIBERGLASS REINFORCED PANEL  
MFR: FORMGLAS, FORMGLAS FRP  
FINISH: BASF UNO, COLOR: MATCH PMS 2307C
- (G1) ALUMINUM STOREFRONT  
KAWNEER, 2" X 4-1/2" PROFILE (OR APPROVED EQUAL)  
COLOR: MATCH PMS 2307C  
GLAZING: 1" INSULATED CLEAR GLASS
- (G2) ALUMINUM STOREFRONT  
KAWNEER, 2" X 4-1/2" PROFILE (OR APPROVED EQUAL)  
COLOR: MATCH PMS 2307C  
GLAZING: 1" INSULATED CLEAR GLASS
- (S1) ALUMINUM WOOD LOOK  
KNOTWOOD, CLADDING SYSTEM  
COLOR: WHITE ASH
- (S2) ALUMINUM WOOD LOOK  
KNOTWOOD, SELF MATING CLADDING SYSTEM  
COLOR: WHITE ASH

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- (S1) ALUMINUM WOOD LOOK  
KNOTWOOD, CLADDING SYSTEM  
COLOR: WHITE ASH
- (S2) ALUMINUM WOOD LOOK  
KNOTWOOD, SELF MATING CLADDING SYSTEM  
COLOR: WHITE ASH

Bakery-Cafe:

**#6239**

SYSTEM: HCM

Project Team:

**NORR**

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Professional Seal:



Project Title:

**Bakery Cafe #6239**  
**5212 MORENO STREET**  
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**COLOR EXTERIOR ELEVATIONS**

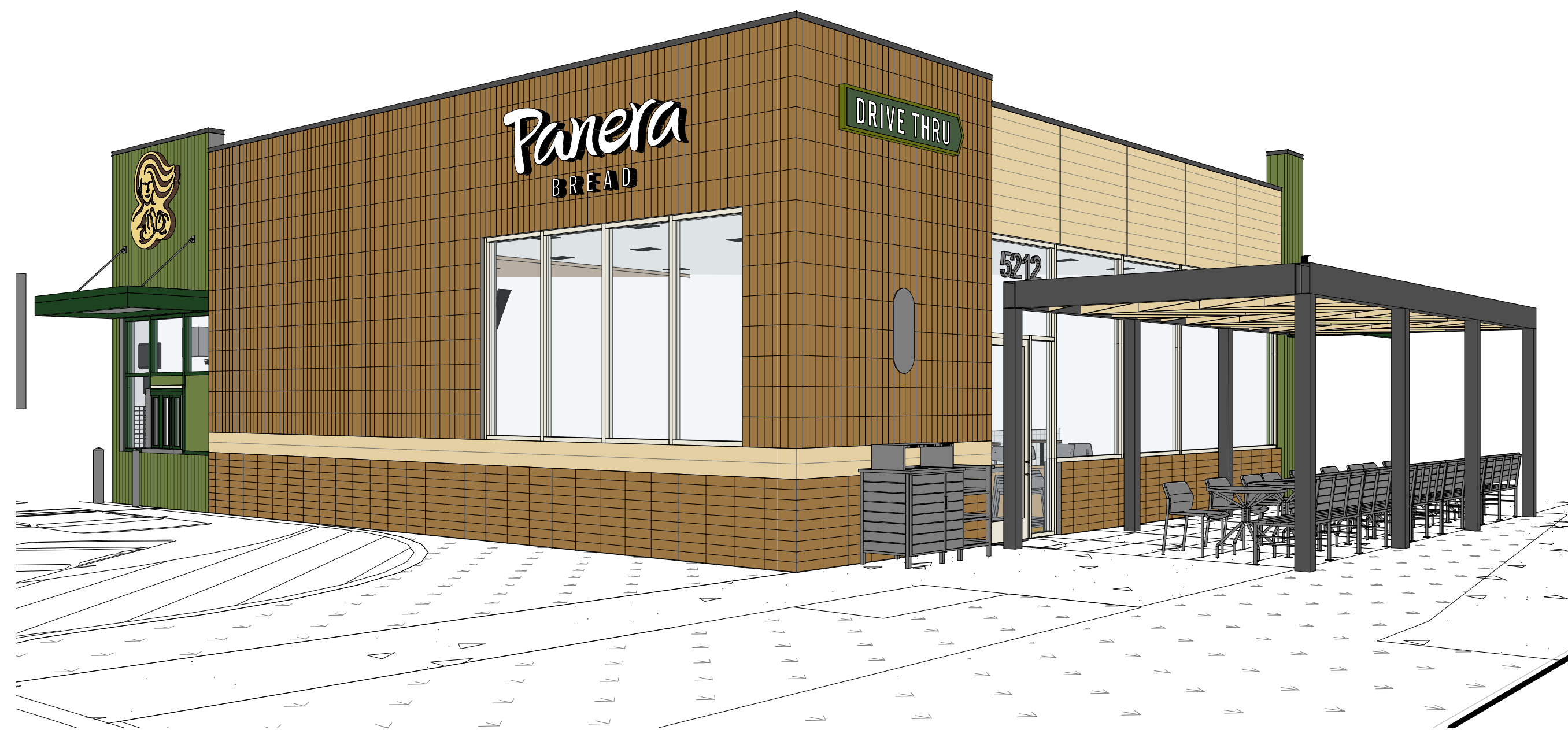
Project Number: NICH20\_0363  
Sheet Number: **A3**  
Drawn By: NORR  
Issue Date: 12.10.2021  
PM: DC DPM: JK DM: IO CPM: JM

12/9/2021 3:12:36 PM

PG 2015.05



12/9/2021 3:13:38 PM



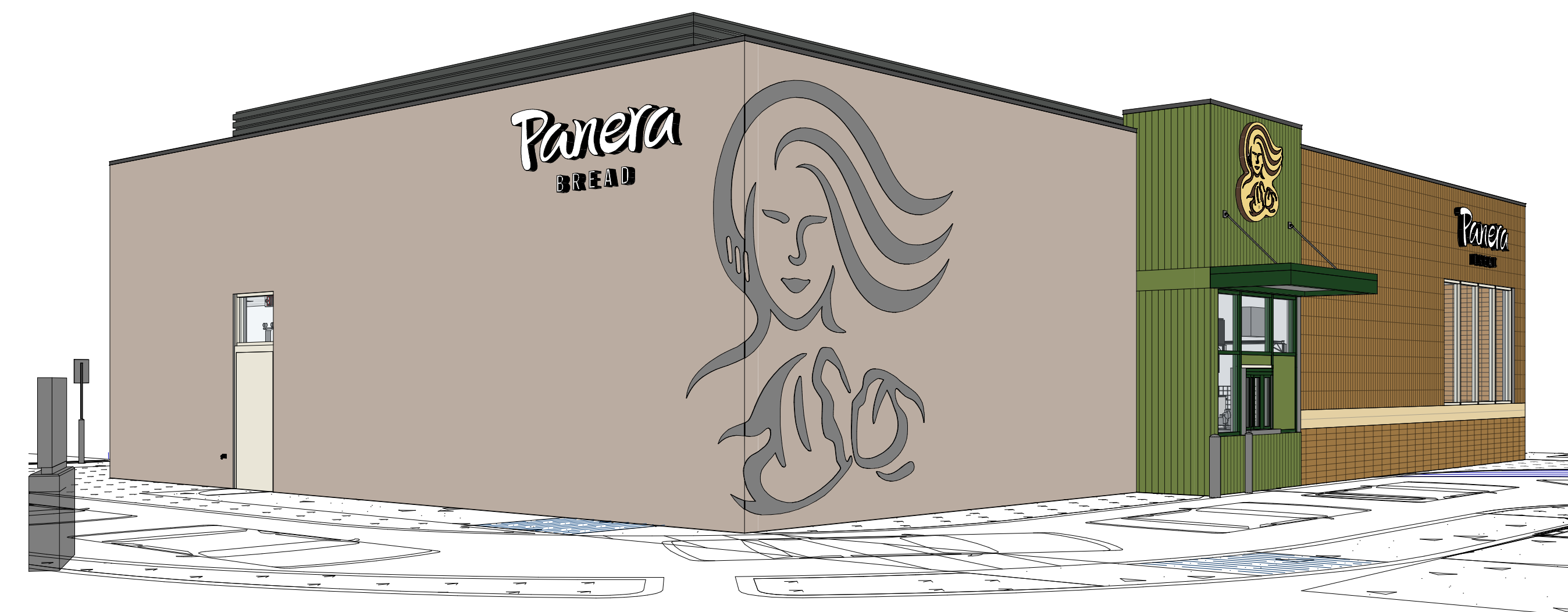
1 3D View 3 - ENTITLEMENTS



3 3D View 5 - ENTITLEMENTS



2 3D View 4 - ENTITLEMENTS



4 3D View 6 - ENTITLEMENTS

Bakery-Cafe:

#6239

SYSTEM: HCM

Project Team:

**NORR**

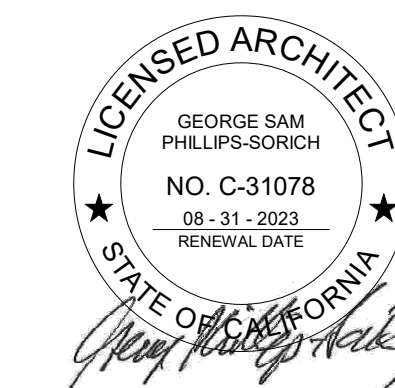
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YASHAVECO@GMAIL.COM

Professional Seal:



12.10.2021

Project Title:

**Bakery Cafe #6239**  
**5212 MORENO STREET**  
**MONTCLAIR, CA 91763**

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**PERSPECTIVES**

Project Number: \_\_\_\_\_ Sheet Number: \_\_\_\_\_

NICH20\_0363

Drawn By: \_\_\_\_\_

NORR

Issue Date: **12.10.2021**

PM: \_\_\_\_\_ DPM: \_\_\_\_\_ DM: \_\_\_\_\_ CPM: \_\_\_\_\_

DC: \_\_\_\_\_ JK: \_\_\_\_\_ IO: \_\_\_\_\_ JM: \_\_\_\_\_

**A4**

PS 2019.06





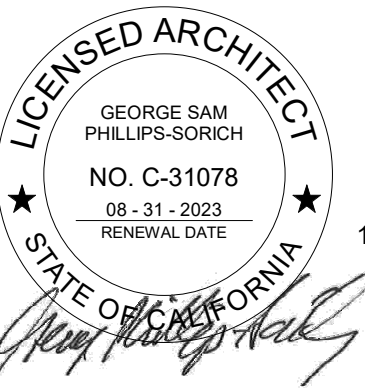
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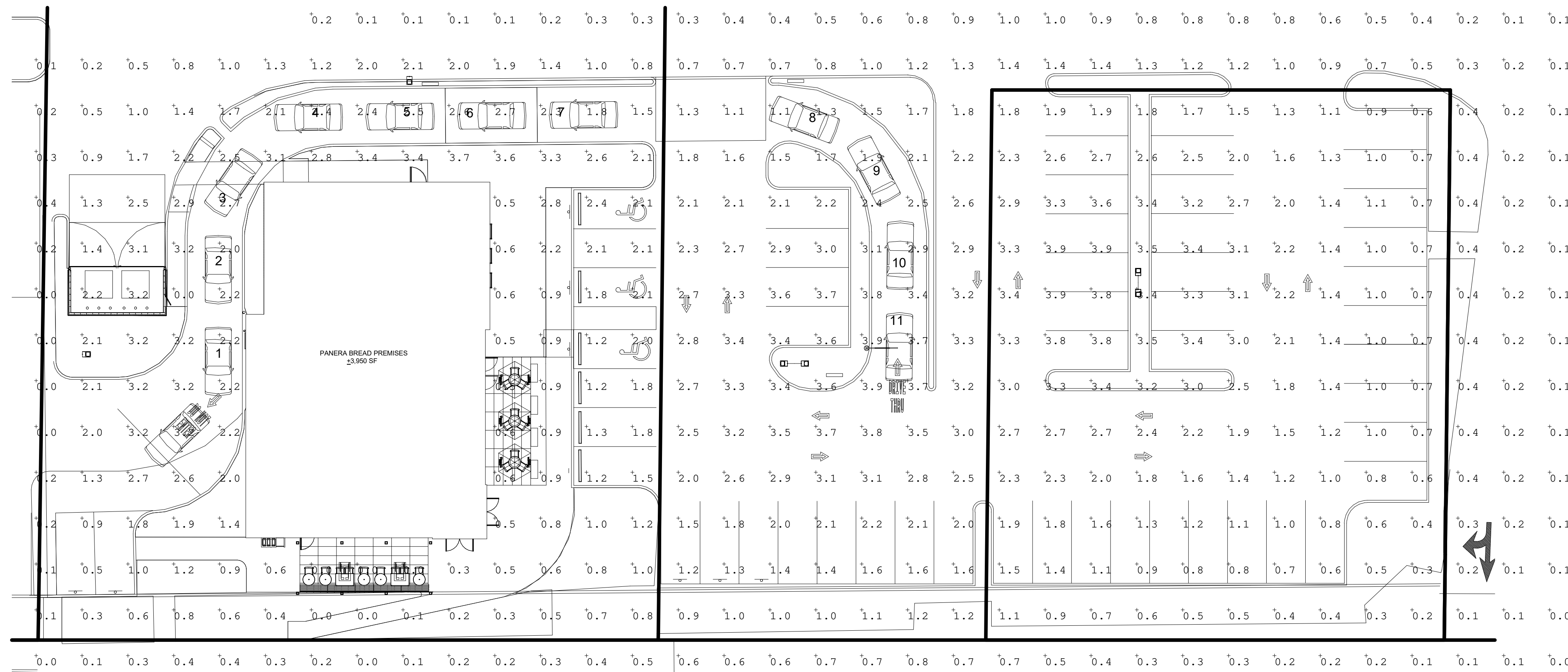
Professional Seal:



Project Title:

Standard Electric Luminaire Schedule										
Symbol	Qty	Label	Arrangement	[MANUFAC]	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
	2	EXT30 BLC	Single	Lithonia Lighting	DSX1 LED P4 40K BLC MVOLT SPA	0.980	11877	125	250	25
	2	EXT30 T5M	Back-Back	Lithonia Lighting	DSX1 LED P4 30K T5M MVOLT SPA	0.980	13961	125	500	25

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Entire Site	Illuminance	Fc	1.46	3.9	0.0



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## PHOTOMETRIC PLAN

Project Number: \_\_\_\_\_ Sheet Number: \_\_\_\_\_

NICH20\_0363

Drawn By: \_\_\_\_\_

NORR

Issue Date: \_\_\_\_\_

12.10.2021

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DC: \_\_\_\_\_ JK: \_\_\_\_\_ IO: \_\_\_\_\_ JM: \_\_\_\_\_

# A5