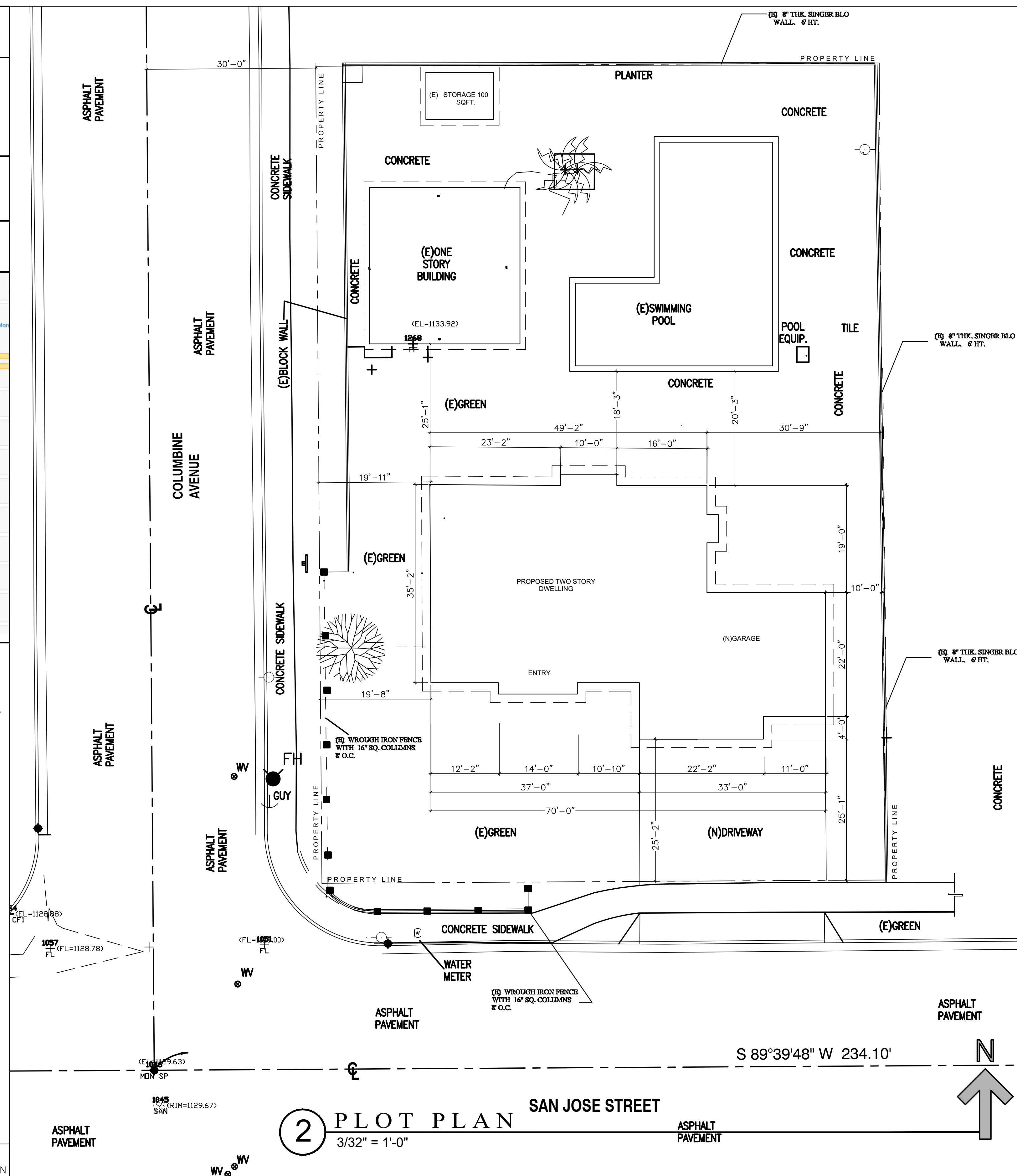


5480 SAN JOSE ST. MONTCLAIR CA 91763

PROPOSED TWO STORY
SINGLE FAMILY RESIDENCE

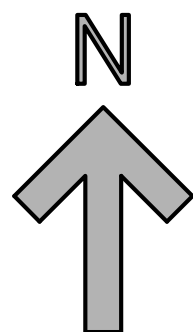
ALL WORK IN ACCORDANCE WITH MINIMUM STANDARDS OF THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (CBC), UNLESS OTHER APPROVED BUILDING CODES, ORDINANCES, LAWS, GOVERNMENTAL REGULATIONS, AND/OR STANDARDS ARE ENFORCED. THE MOST RESTRICTIVE REQUIREMENTS WILL PREVAIL.

ALL DIMENSIONS SIZE DESIGNATIONS GIVEN ARE SUBJECT
TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITION



T24 ENERGY CODE REPORT

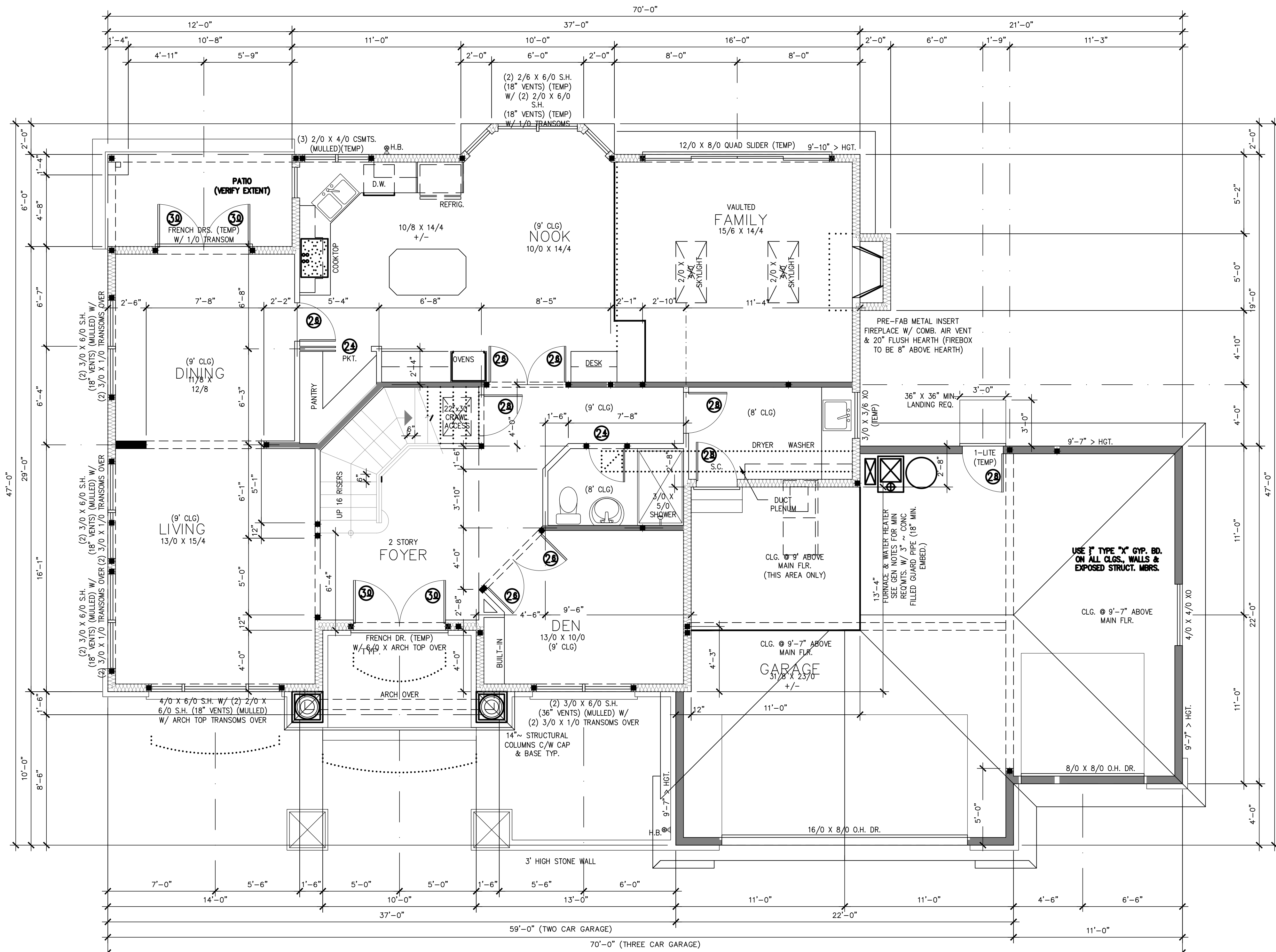
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PROPOSED 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"



GENERAL NOTES:

- 1) THE CONTRACTOR AND SUB-CONTRACTORS SHALL CAREFULLY EXAMINE THE DRAWING, AND SPECIFICATIONS TO OBTAIN FIRST-HAND KNOWLEDGE OF JOB CONDITIONS. ANY DISCREPANCIES OR CONDITIONS NEEDING CLARIFICATION SHALL BE REPORTED TO THE OWNER PRIOR TO BEGINNING WORK. NO ALLOWANCE SHALL BE GIVEN FOR FAILURE TO COMPLY WITH THE ABOVE OR ANY CONDITIONS THAT CAN BE DETERMINED BY EXAMINING THE DRAWINGS, AND SPECIFICATIONS.
- 2) THE CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE DRAWINGS, AND SHALL IMMEDIATELY NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION LAYOUT. NO ALLOWANCE SHALL BE GIVEN TO THE CONTRACTOR OR SUBCONTRACTORS FOR CHANGES RESULTING FROM FAILURE TO COMPLY W/ THESE REQMTS.
- 3) DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SPECIFIED GOVERN. DIMENSIONS ARE NOMINAL AND ARE TO THE FACE OF OBJECTS UNLESS OTHERWISE INDICATED.
- 4) EACH SUB-CONTRACTOR IS CONSIDERED A SPECIALIST IN HIS RESPECTIVE FIELD AND SHALL, PRIOR TO SUBMISSION OF HIS BID OR PERFORMANCE OF THE WORK, NOTIFY THE CONTRACTOR AND OWNER OF ANY WORK CALLED OUT IN THE DINGS OR SPECS WHICH CAN NOT BE FULLY GUARANTEED OR CONSTRUCTED AS DESIGNED OR DETAILED.
- 5) ALL SHOWER AND TUB/SHOWER COMBINATIONS ARE REQUIRED TO HAVE A THERMOSTATIC MIXING VALVE TYPE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE TYPE PER (UPC 410.7). REFER TO PLUMBER PLAN TO VERIFY ROUGH & SHOWER VALVES SPECIFICATIONS. 2"H x 2"W x VARIES LENGTH SHOWER CURB TO BE LOCATION UNDER CLEAR TEMPERED GLASS ENCLOSURE AND DOOR WITH CHROME HARDWARE. FINISH TO BE WHITE TILE. UNLESS NOTED OTHERWISE ON PLAN, PROVIDE WATERPROOF MEMBRANE UNDER TILE. THE SHOWER'S CLEAR TEMPERED GLASS ENCLOSURE & DOOR'S REFER TO ELEVATIONS FOR DIMENSIONS AND SPECIFICATIONS. REFER TO ELECTRICAL PLANS FOR LOCATIONS OF ALL SWITCHES, LIGHTS, AND RECEPTACLES. WITH FLUSH-MOUNTED SWITCH PLATE: TRUFIG OR SIMILAR.

GARCIA RESIDENCE
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MONTCLAIR, CA

Project:

PROPOSED RESIDENCE
5480 SAN JOSE ST. MONTCLAIR
CA 91763

Contractor:

Stamp:

REVISIONS:

MARK: DATE: DES./BY:

DRAWN BY: SI

DS. BY: I.S

CHK BY: M.R.

DATE: 10.04.2022

TITLE:

FLOOR PLAN

PAGE NO:

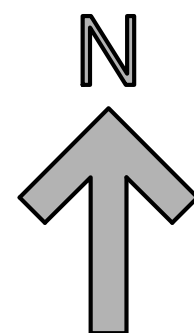
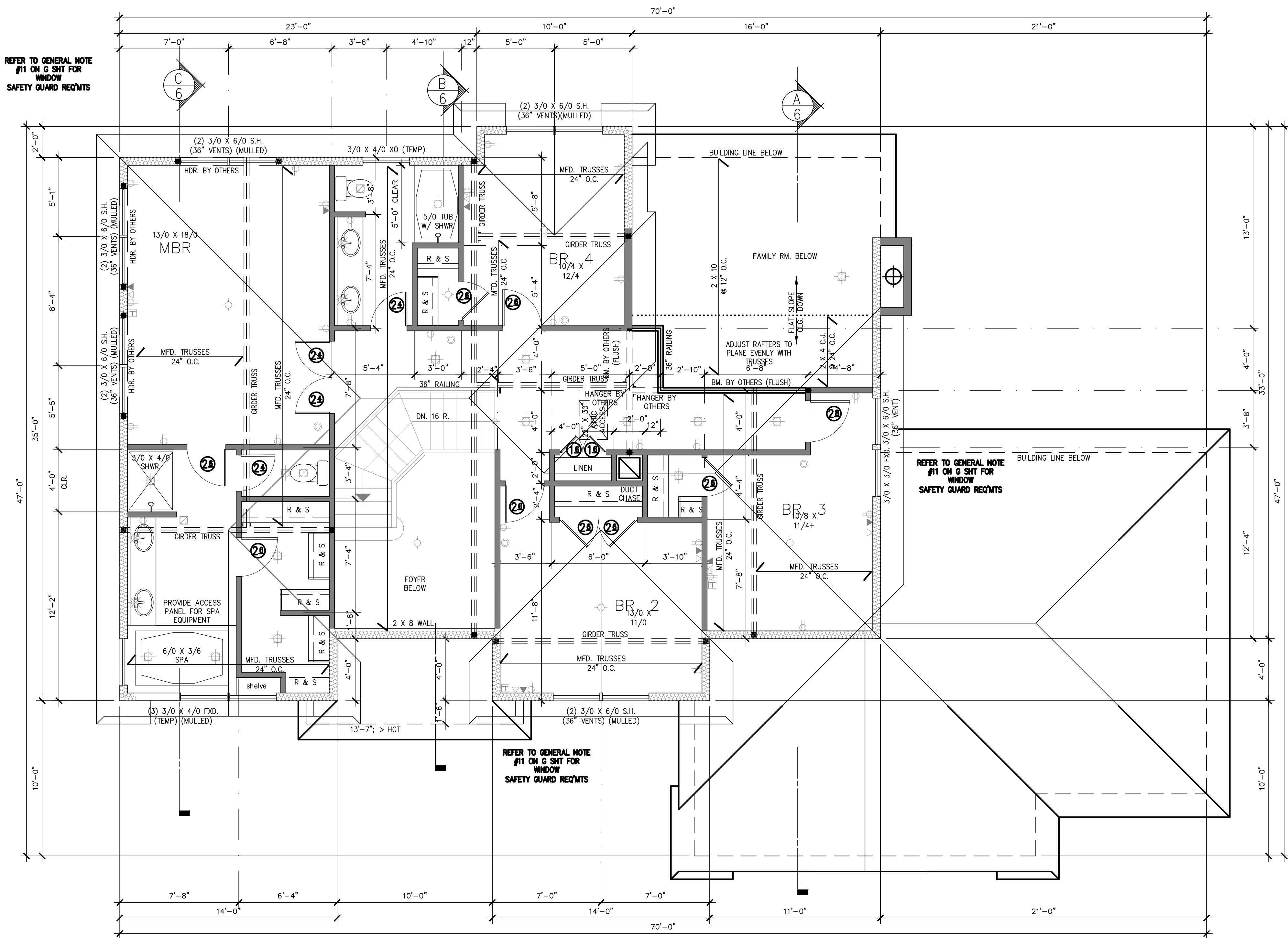
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ALL DIMENSIONS SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITION

WALL LEGEND

- 1" ID EXISTING WALL TO REMAIN
- 8" ID EXISTING ITEMS TO BE DEMOLITION
- WOOD STUDS WALL

NOTE: UNLESS NOTED OTHERWISE (U.N.O.)



1 PROPOSED 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"

ALL DIMENSIONS SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITION

WALL LEGEND

| | |
|--|-------------------------------------|
| | (E) EXISTING WALL TO REMAIN |
| | (E) EXISTING ITEMS TO BE DEMOLITION |
| | WOOD STUDS WALL |

NOTE: UNLESS NOTED OTHERWISE (U.N.O.)

GARCIA RESIDENCE
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PROPOSED RESIDENCE
5480 SAN JOSE ST. MONTCLAIR
CA 91763

Contractor:

Stamp:

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CHK BY: M.R.

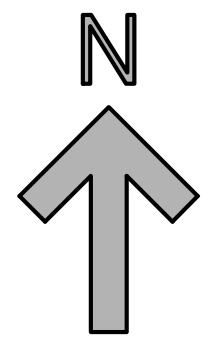
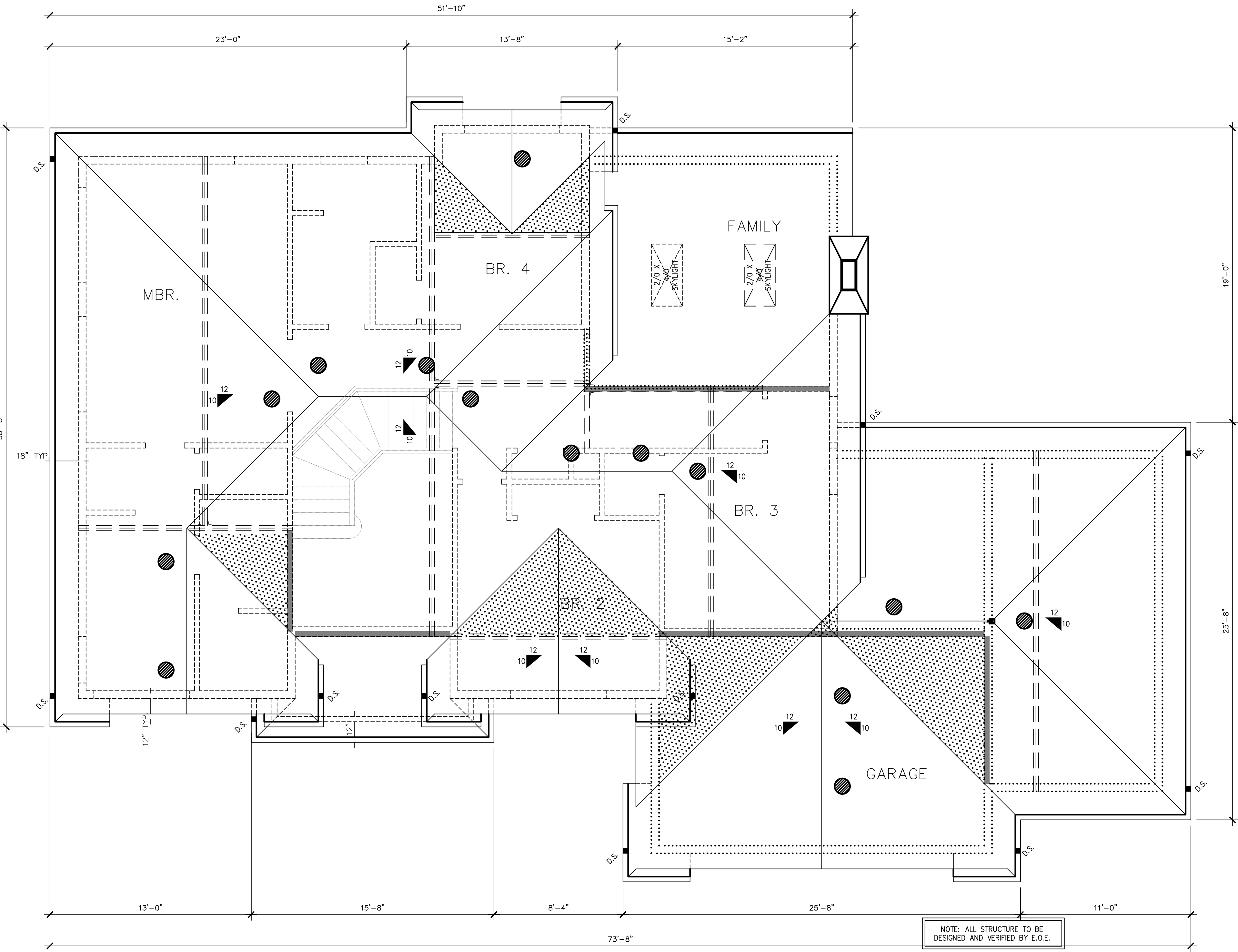
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FLOOR PLAN

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1 PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0"

ATTIC VENT CALC

- 49 SQ. IN. ROOF VENTS (SEE VENT TABLE FOR QTY. - 50%/50% SHOWN)
- 2X4 PURLIN WALL TO BM. OR WALL BELOW. (FRAM'G AT 24" O.C.)
- SHADED AREA DENOTES ROOF FRAMED OVER RAFTERS BELOW
- DOWNSPOUTS

| 12 ROOF VENTS | | | | | | |
|------------------------|------------|--------|------------|--------------|--------|------------|
| ROOF AREA (ft²) = 2768 | | | | EAVE-BLOCK'G | | ROOF VENTS |
| % EAVE | AREA (in²) | % ROOF | AREA (in²) | 3-VENT | 4-VENT | 49 in² |
| 60 | 7912 | 40 | 5315 | 85 | 63 | 11 |
| 56.7 | 7533 | 43.3 | 5753 | 80 | 60 | 12 |
| 53.3 | 7082 | 46.7 | 6205 | 75 | 56 | 13 |
| 50 | 6643 | 50 | 6643 | 70 | 53 | 14 |

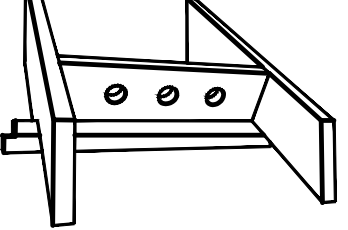
PER 2018 I.R.C. - R806.2 THE MIN. NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.

EXCEPTION: THE MIN. NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:

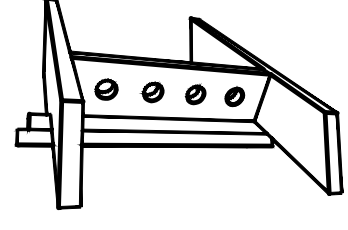
IN CLIMATE ZONES 6, 7 AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.

NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

EAVE BLOCKING



3-VENT BLOCK
(3) 2-³/₈" ~ (MIN.) HOLES
(9.45 in² EA.)



4-VENT BLOCK
(4) 2-³/₈" ~ (MIN.) HOLES
(12.6 in² EA.)

ALL DIMENSIONS TO VERIFICATION SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITION

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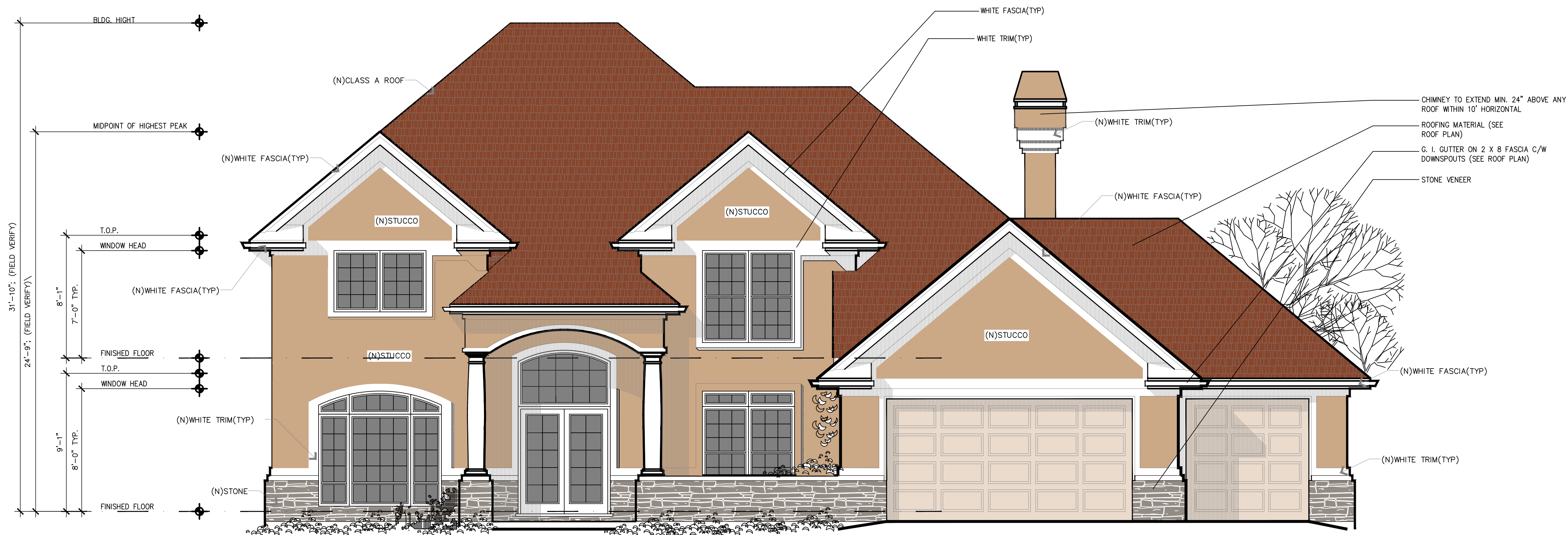
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DS. BY: I.S
CHK BY: M.R.
DATE: 10.04.2022

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ROOF PLAN
PAGE NO:



1 PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"

ALL DIMENSIONS SIZE DESIGNATIONS GIVEN ARE SUBJECT
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ROOFING :SMB 8403 EAGLE ROOFING



GOLDEN WHITE LEDGER STONE VENEER (ICC#ESR 3568)



LA HABRA STUCCO LATTE SW-6108

GARCIA RESIDENCE
5480 SAN JOSE STREET
MONTCLAIR, CA

Project:

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5480 SAN JOSE ST. MONTCLAIR
CA 91763

Contractor:

Stamp:

REVISIONS:

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CHK BY: M.R.

DATE: 10.04.2022

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ELEVATIONS

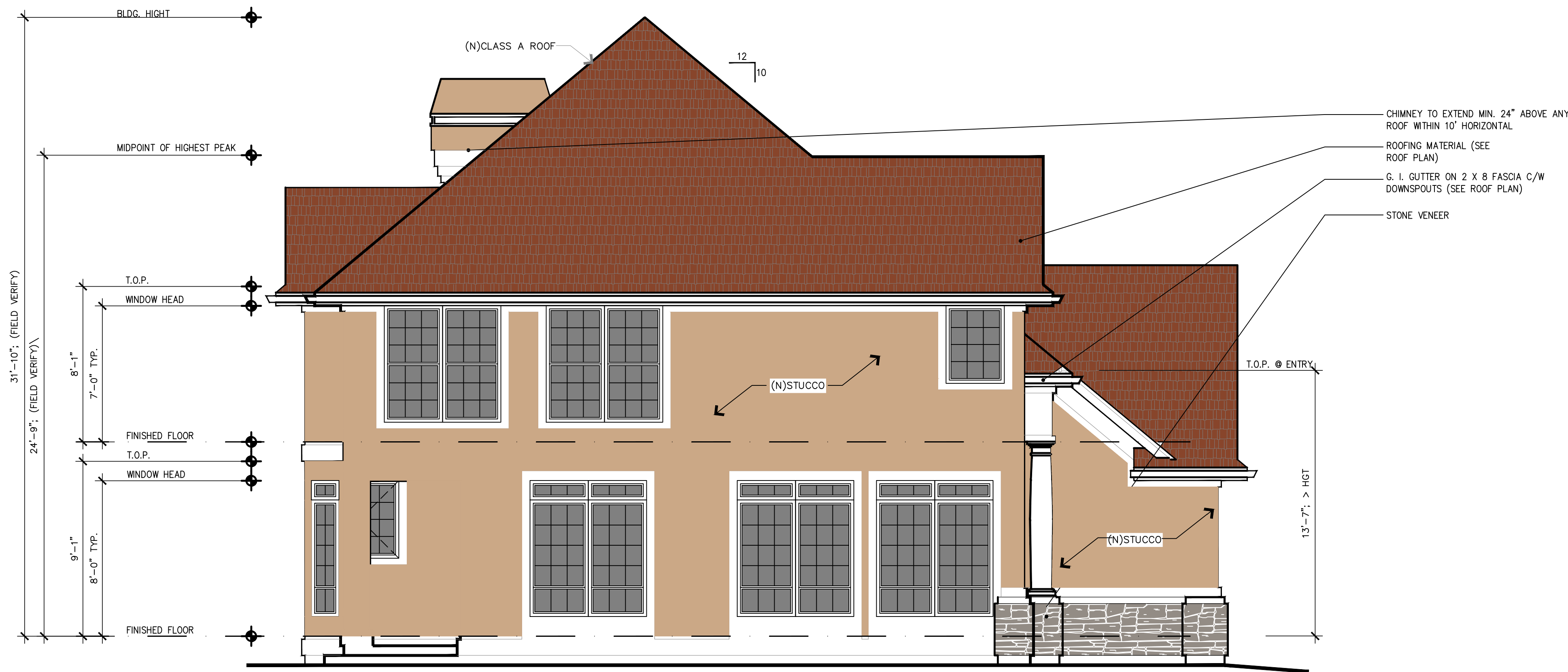
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3 PROPOSED EAST ELEVATION

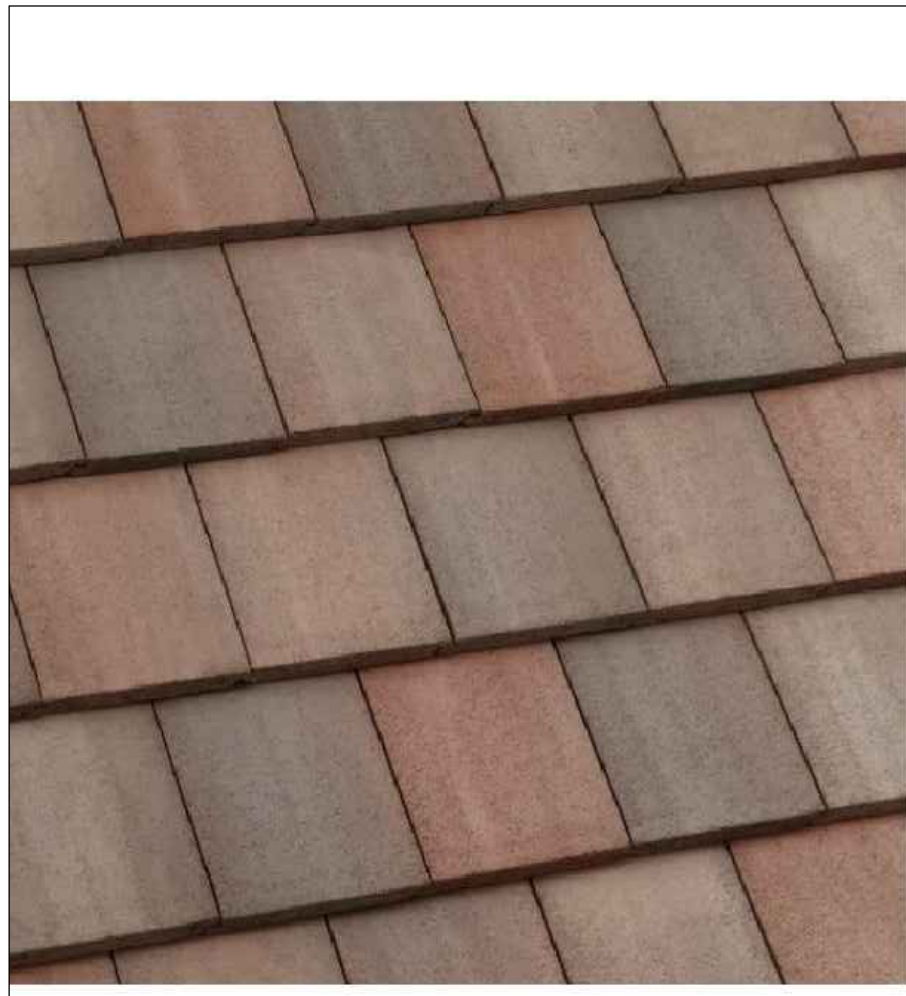
SCALE: 1/4"=1'-0"



4 PROPOSED WEST ELEVATION

SCALE: 1/4"=1'-0"

ALL DIMENSIONS SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITION



GOLDEN WHITE LEDGER STONE VENEER (ICC#ESR 3568)



LA HABRA STUCCO LATTE SW-6108

GARCIA RESIDENCE
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MONTCLAIR, CA

Project:

PROPOSED RESIDENCE
5480 SAN JOSE ST. MONTCLAIR
CA 91763

Contractor:

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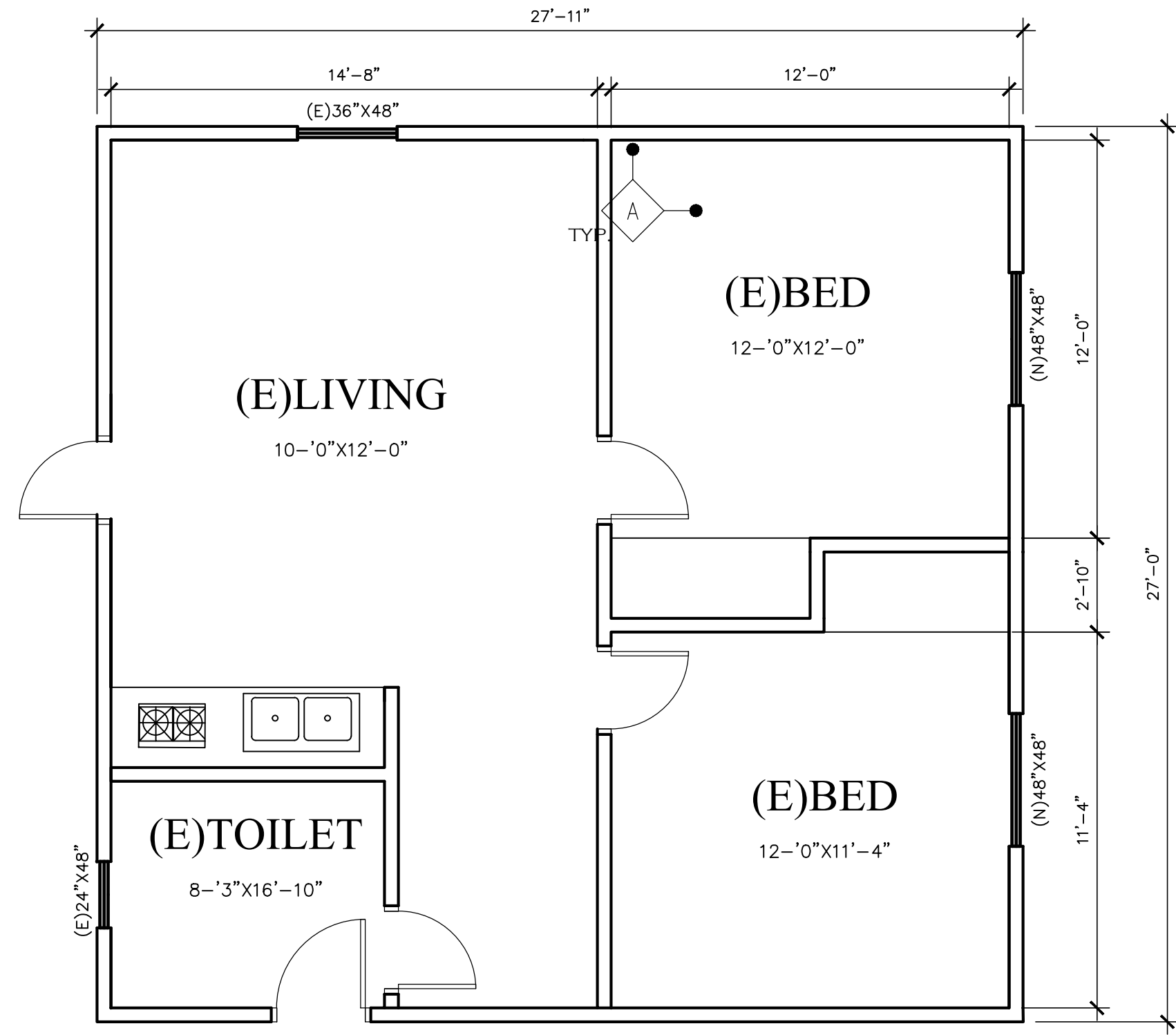
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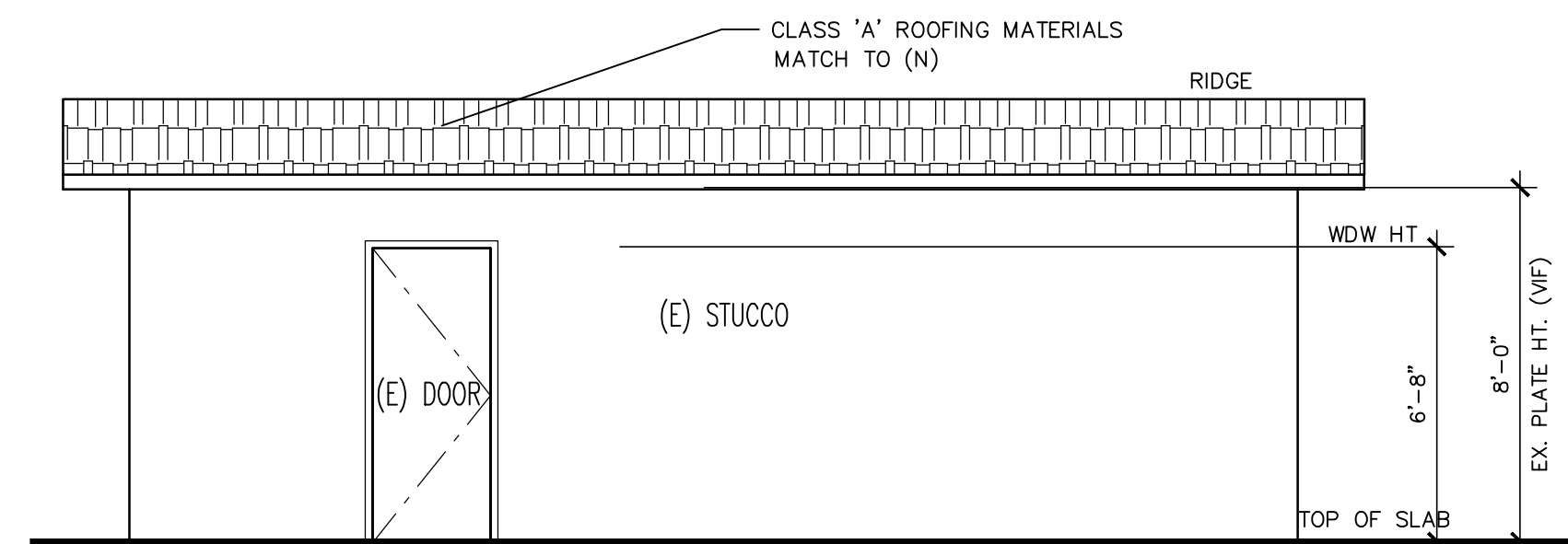
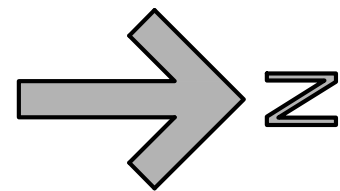
ELEVATIONS

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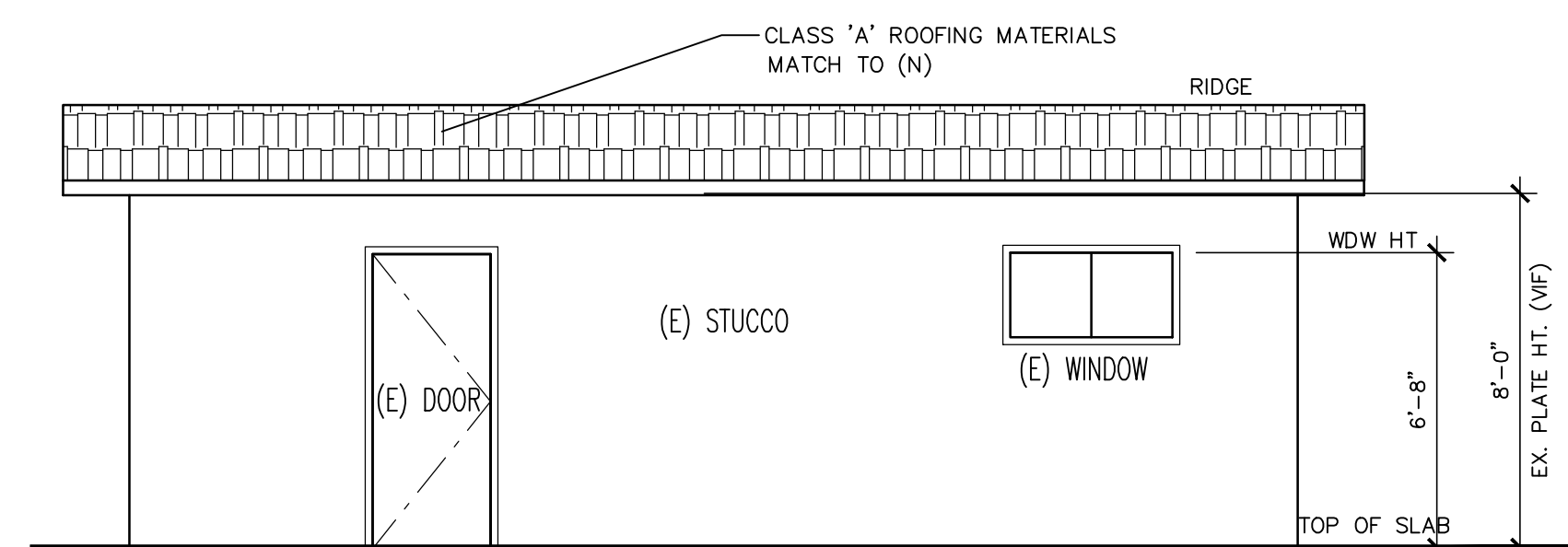
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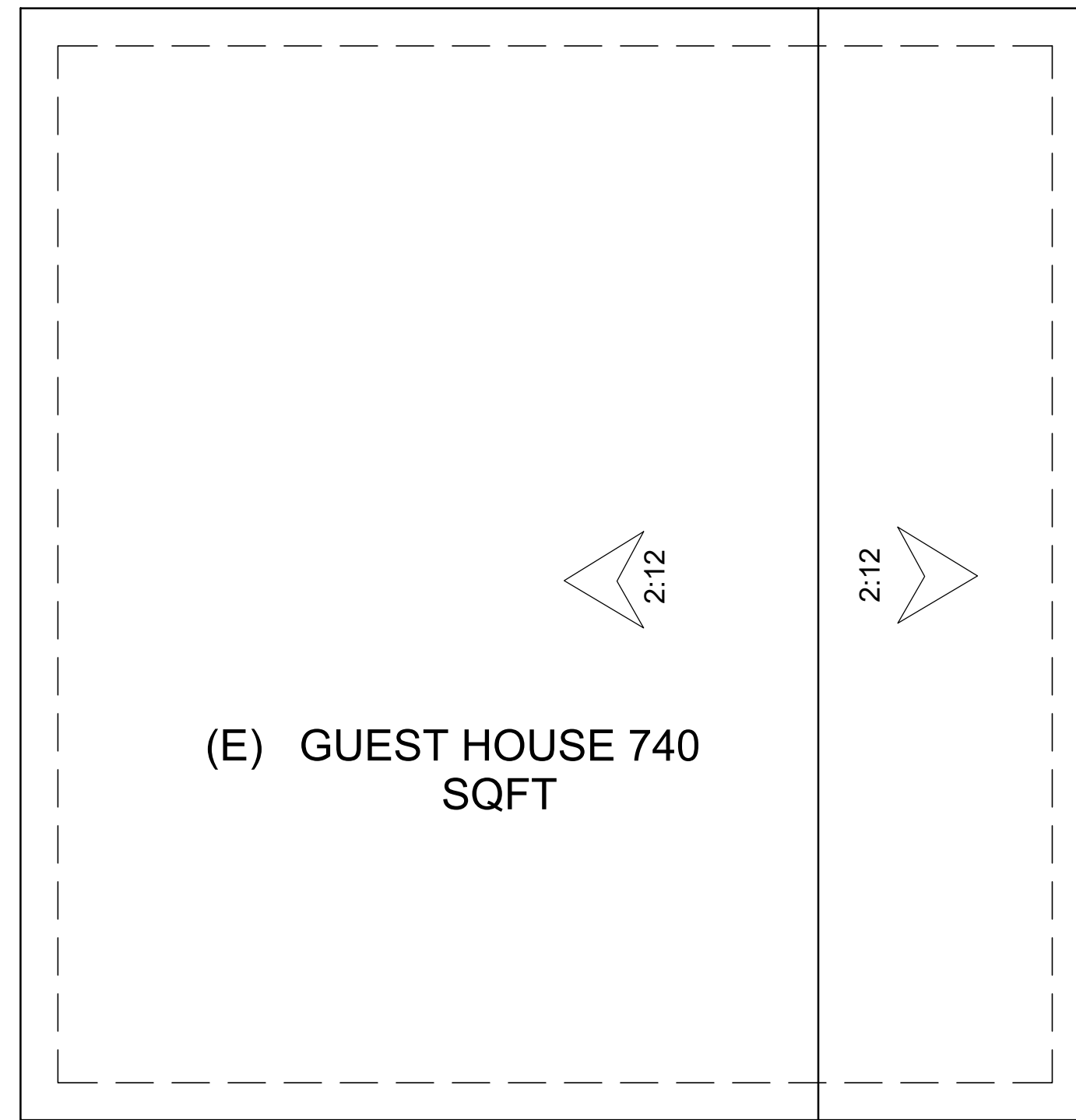
① (E) GUEST HOUSE PLAN
SCALE: 1/4"=1'-0"



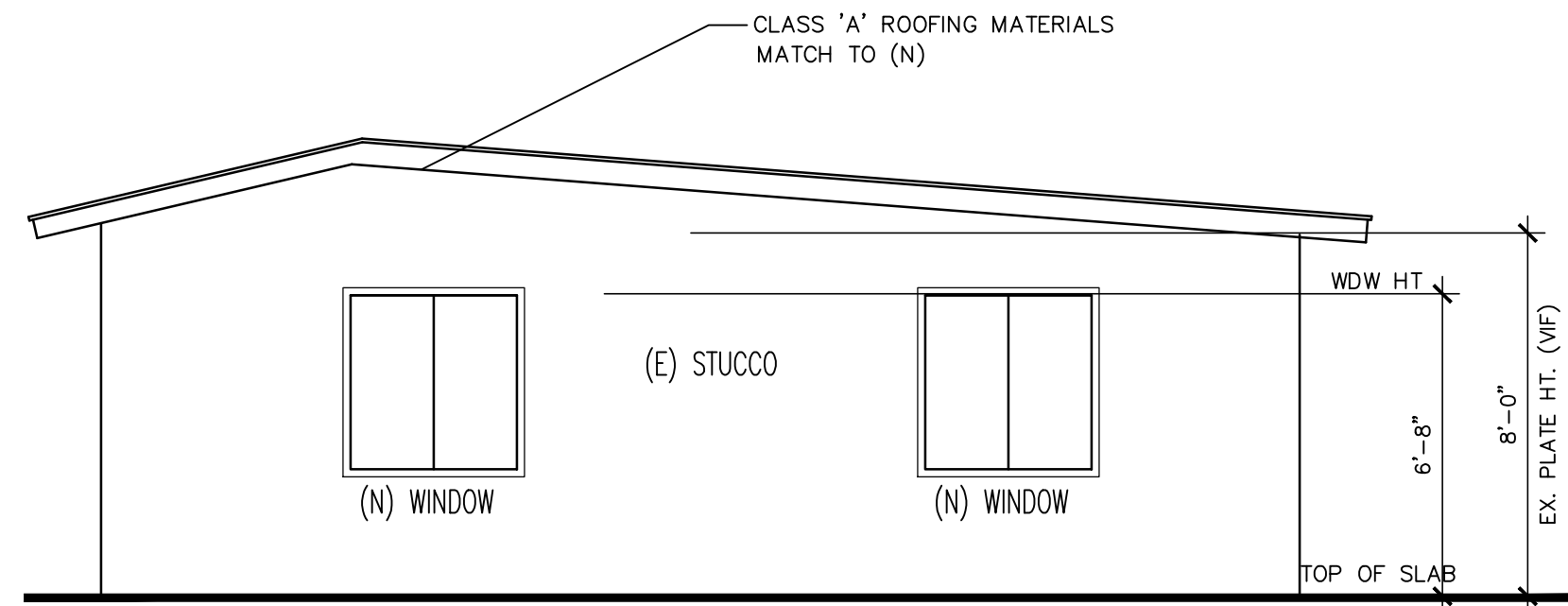
③ (E) EAST ELEVATION
SCALE: 1/4"=1'-0"



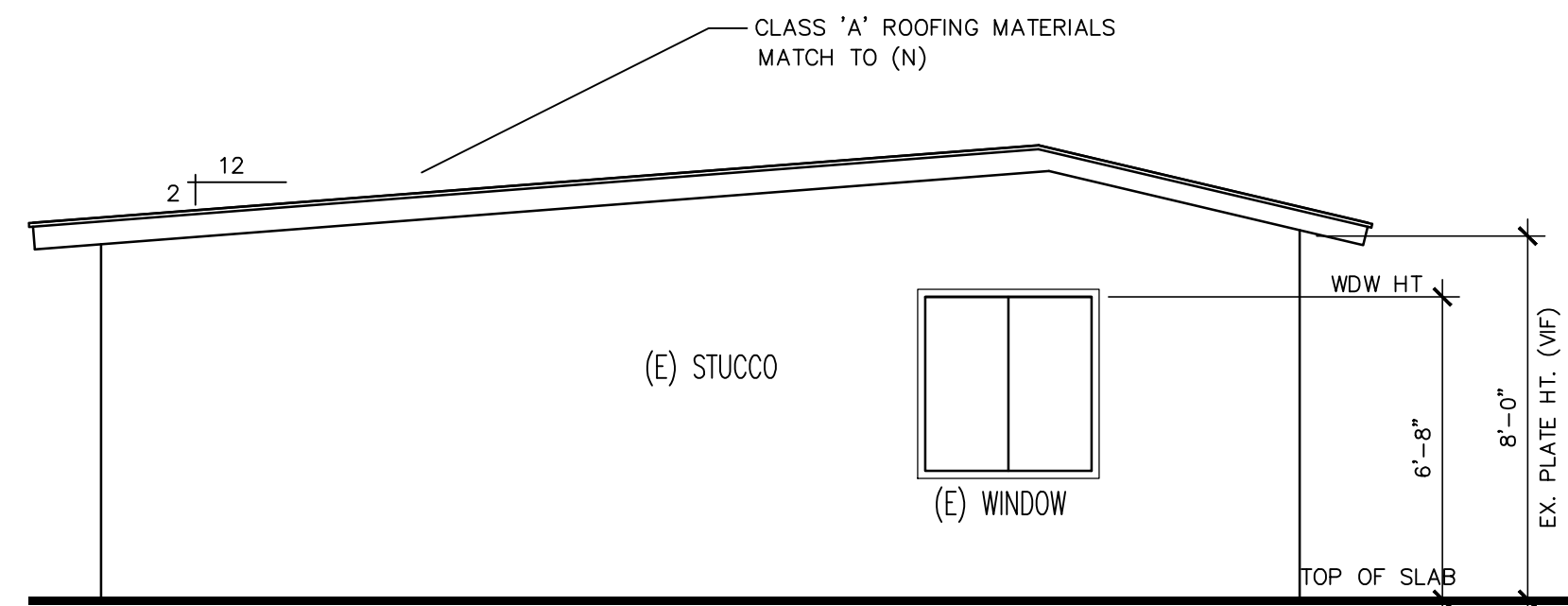
⑤ (E) SOUTH ELEVATION
SCALE: 1/4"=1'-0"



② (E) GUEST HOUSE ROOF PLAN
SCALE: 1/4"=1'-0"



④ (E) NORTH ELEVATION
SCALE: 1/4"=1'-0"



⑥ (E) WEST ELEVATION
SCALE: 1/4"=1'-0"

WALL LEGEND

| | |
|--|-------------------------------------|
| | (E) EXISTING WALL TO REMAIN |
| | (E) EXISTING ITEMS TO BE DEMOLITION |
| | WOOD STUDS WALL |

NOTE: UNLESS NOTED OTHERWISE (U.N.O.)

ALL DIMENSIONS SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITION

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Project:

PROPOSED RESIDENCE
5480 SAN JOSE ST. MONTCLAIR
CA 91763

Contractor:

Stamp:

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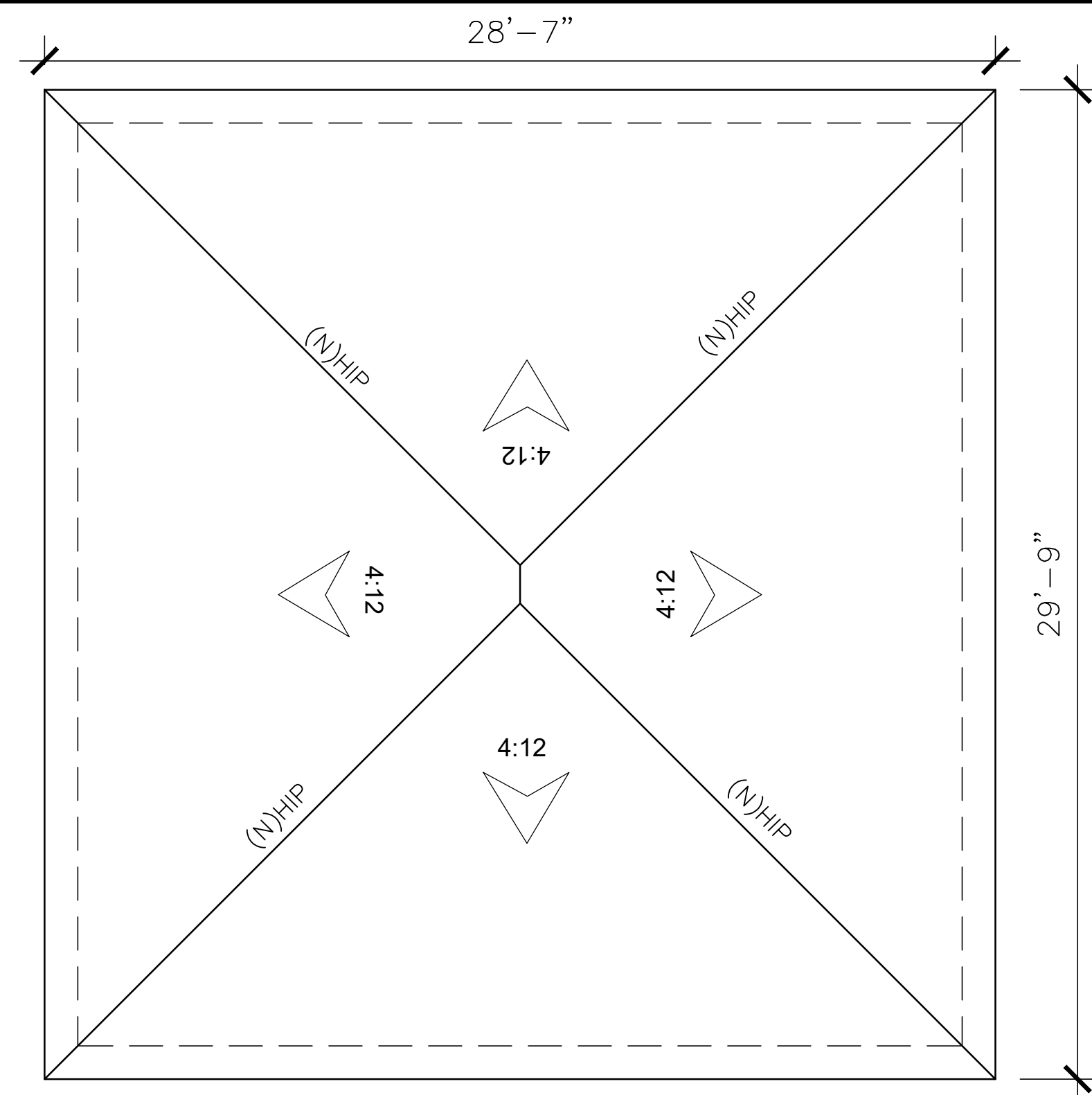
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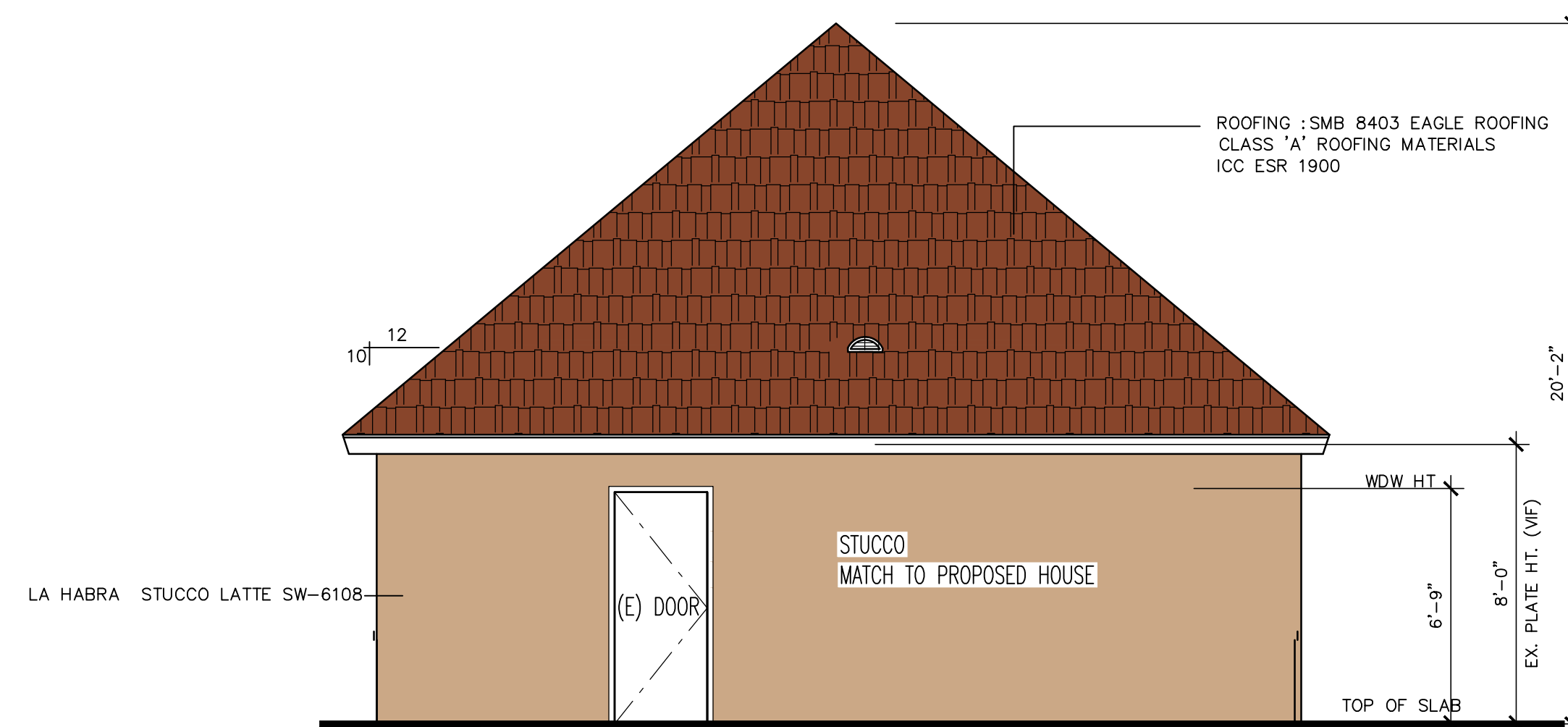
PLAN/ELEVATIONS

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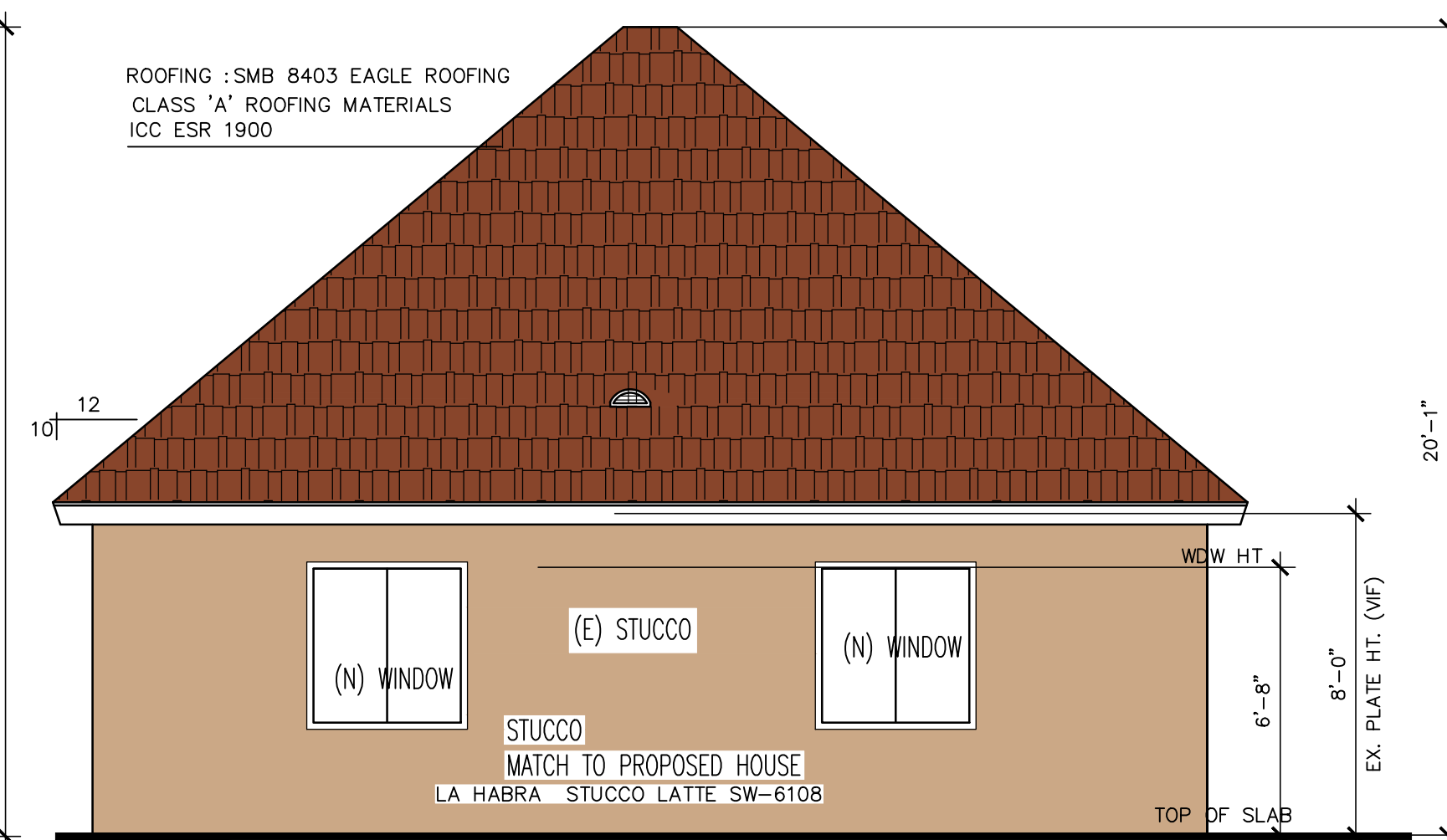
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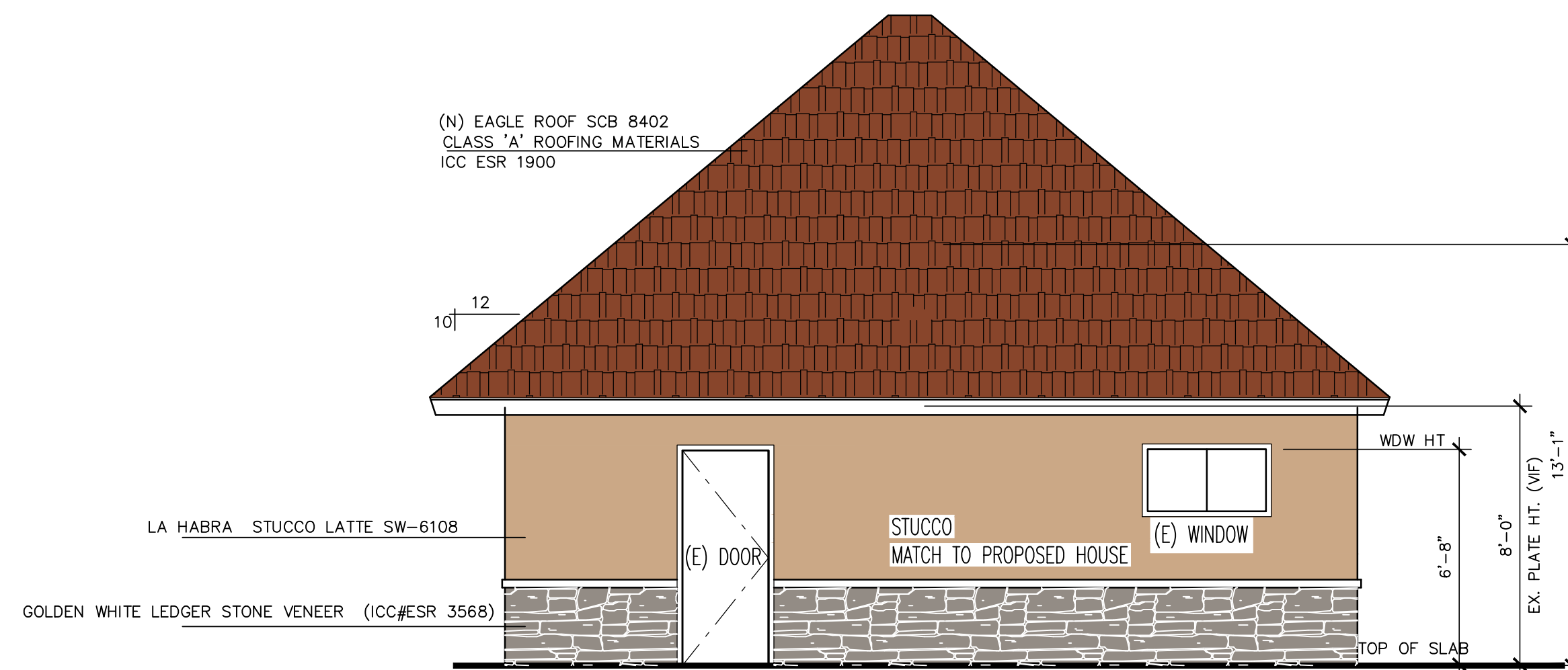
1 PROPOSED GUEST HOUSE ROOF PLAN
SCALE: 1/4"=1'-0"



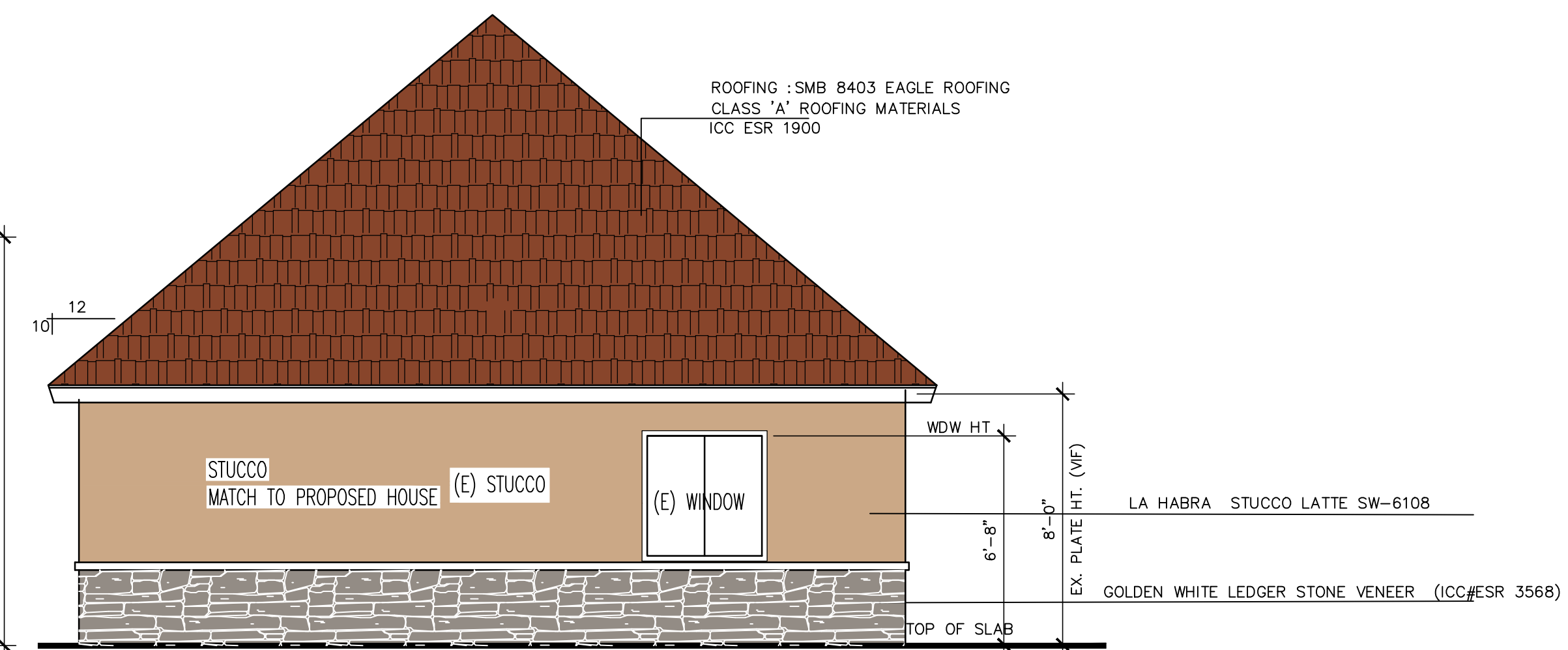
② (N) EAST ELEVATION
SCALE: 1/4"=1'-0"



③ (N) NORTH ELEVATION
SCALE: 1/4"=1'-0"



④ (N) SOUTH ELEVATION
SCALE: 1/4"=1'-0"



5 (N) WEST ELEVATION
SCALE: 1/4"=1'-0"

ALL DIMENSIONS SIZE DESIGNATIONS GIVEN ARE SUBJECT
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5480 SAN JOSE STREET
MONTCLAIR, CA

PROPOSED RESIDENCE
5480 SAN JOSE ST. MONTCLAIR
CA 91763

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