

THREE MASONRY INDUSTRIAL BUILDINGS

4100 MISSION BLVD. , MONTCLAIR, CA

PROJECT INFORMATION

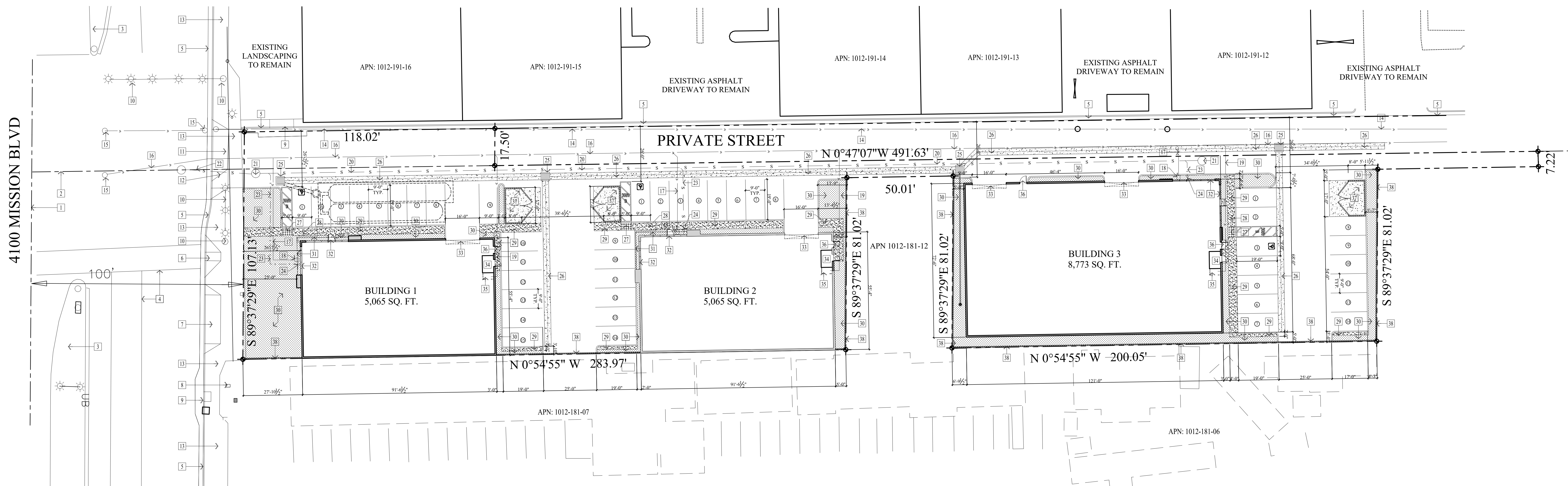
ADDRESS:	4100 MISSION BLVD. MONTCLAIR, CA. 91763	APN:	1012-181-08 THRU 11,13 THRU 16 & 19	CODES:	CBC 2019, CMC 2019, CPC 2019, CEC 2019, CGCB 2019 & 2019 BUILDING ENERGY EFFICIENCY STANDARDS
OWNER:	L2 GROUP, LLC 8628 HILLSIDE ROAD ALTA LOMA, CA. 91701 1(951)231-7206 CONTACT: STEVE LANDIS	ZONING:	MIP-MANUFACTURING INDUSTRIAL	DEFERRED SUBMITTALS:	NONE AT THIS TIME
BUILDING DESIGNER:	KVH DESIGN GROUP 165 E. 24th ST. UPLAND, CA. 91784 (909) 985-2552 (909) 985-2782 FAX CONTACT: KURT VON HATTEN	OCCUPANCY:	B/S-1		
CIVIL ENGINEER:	S.D. ENGINEERING & ASSOC. 242 AIRPORT DRIVE, STE 212 SAN BERNARDINO, CA. 92408 (909) 215-3451 SURESH@SDENGINEERING.NET CONTACT: SURESH DODDIAH	FIRE SPRINKLERS:	YES		
		BUILDING AREAS:	GROSS NET BLDG 1 5,065 SQ. FT. 4,871 SQ. FT. BLDG 2 5,065 SQ. FT. 4,871 SQ. FT. BLDG 3 8,773 SQ. FT. 8,516 SQ. FT. TOTAL 18,903 SQ. FT. 18,258 SQ. FT.		
		PARKING:	REQUIRED 1 / 500 (18,903 / 500) = 37.806 PROVIDED = 42		
		ACREAGE:	1.01 ACRE / 43,665 SQ. FT.		
		LANDSCAPING:	REQUIRED 10% OF SITE (43,665 X 10%) = 4,366.5 PROVIDED = 4,786 SQ. FT. (4,786 SQ. FT./43,665 SQ. FT) = 10.9%		

SHEET INDEX

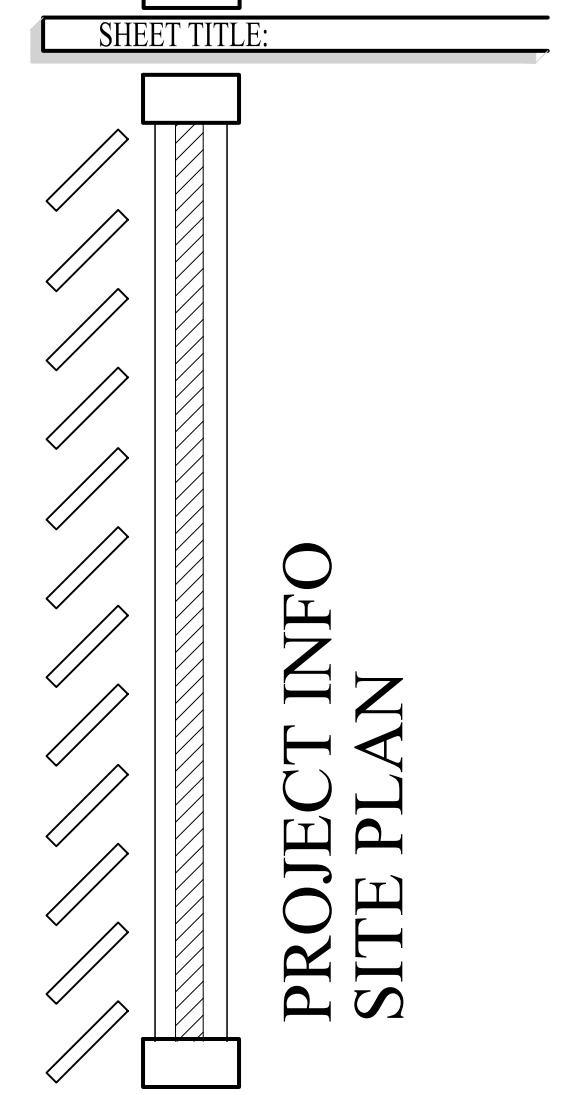
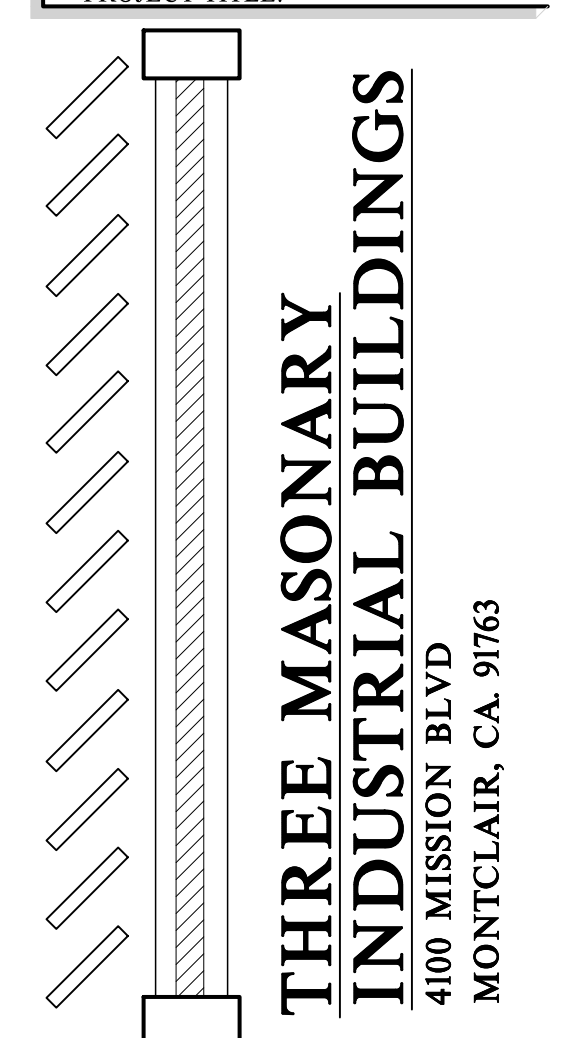
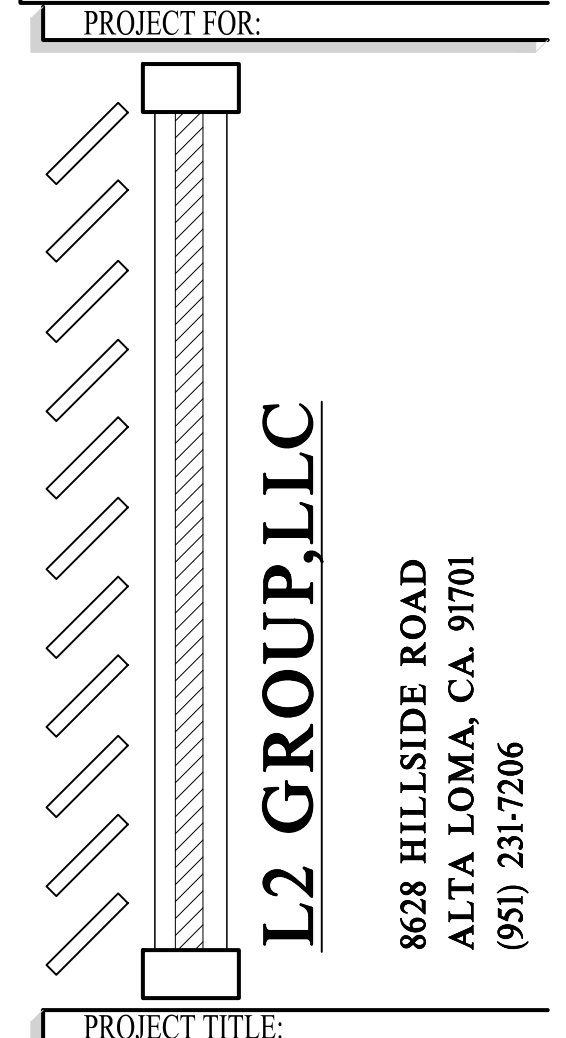
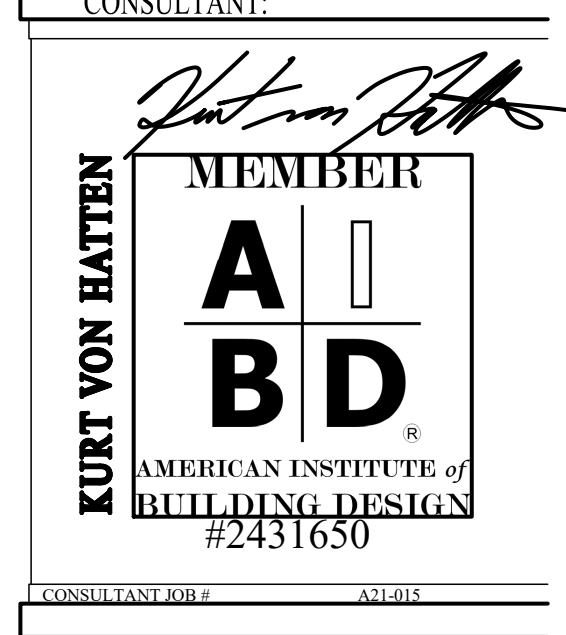
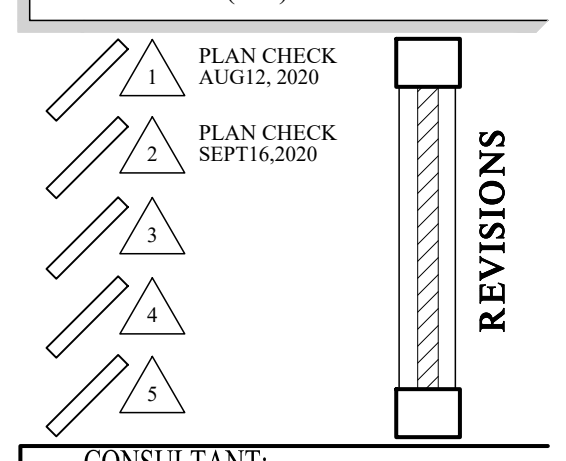
SA-1.0	SITE PLAN & PROJECT INFORMATION
A-1.0	BUILDING 1 & 2 FLOOR PLAN / REFLECTIVE CEILING PLANS/FINISH SCHEDULE
A-1.1	BUILDING 3 FLOOR PLAN / REFLECTIVE CEILING PLANS/FINISH SCHEDULE
A-2.0	BUILDING 1 & 2 FRONT & REAR ELEVATIONS/TRASH ENCLOSURE ELEVATIONS
A-2.1	BUILDING 1 & 2 SIDE ELEVATIONS
A-2.2	BUILDING 3 FRONT & REAR ELEVATIONS
A-2.3	BUILDING 3 SIDE ELEVATIONS
L-1	LANDSCAPE COVER SHEET
L-2	PRELIMINARY LANDSCAPE PLAN

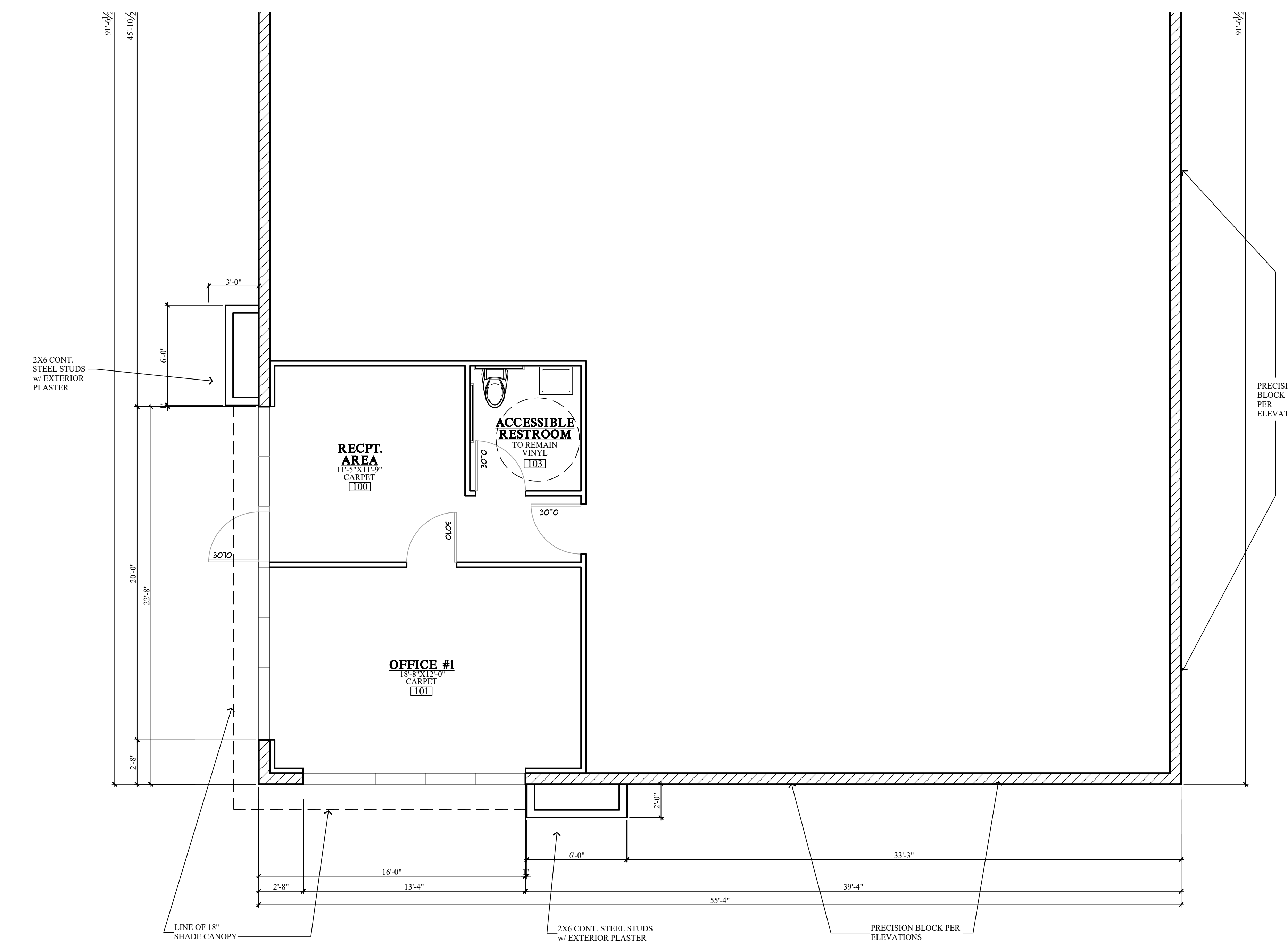
SITE PLAN KEY NOTES

- CENTER LINE OF MISSION BLVD.
- PIPELINE ST. ACROSS MISSION BLVD
- (E) MEDIAN ON MISSION BLVD.
- (E) STREET STRIPPING-SEE CIVIL PLANS FOR MORE INFO.
- CONCRETE CURB & GUTTER-SEE CIVIL PLANS FOR THE NEW TO EXISTING LOCATION START & STOPS
- (E) ADA RAMP-SEE CIVIL PLANS FOR MORE INFO.
- (E) DRIVEWAY APPROACH TO REMAIN-SEE CIVIL PLANS FOR MORE INFO.
- (E) UTILITY VAULTS PER CIVIL DRAWINGS
- (E) STORM DRAIN LOCATION PER CIVIL DRAWINGS
- (E) STREET LIGHT ARMS & POLE LOCATION PER CIVIL DRAWINGS
- NEW DRIVEWAY APPROACH PER CIVIL DRAWINGS
- LINE OF EXISTING DRIVEWAY APPROACH TO BE REMOVED
- CONCRETE SIDE WALK-SEE CIVIL PLANS FOR THE NEW TO EXISTING LOCATION START & STOPS.
- (E) 24" WATER MAIN FROM MISSION BLVD. THROUGH THE PRIVATE STREET PER CIVIL DRAWINGS
- (E) WATER VALVE PER CIVIL DRAWINGS
- (E) 6" WATER MAIN FROM MISSION BLVD. THROUGH THE PRIVATE STREET PER CIVIL DRAWINGS
- NEW 3/4" DOMESTIC WATER LINE FROM (E) 6" LINE IN PRIVATE STREET
- NEW WATER METER VAULT
- NEW 2" (OR PER FIRE SPRINKLER PLANS) FIRE WATER LINE TO FIRE RISER IN BLDG.
- NEW 6" PCV SEWER LINE-SEE CIVIL PLANS FOR MORE INFO.
- NEW MANHOLE-SEE CIVIL PLANS FOR MORE INFO.
- NEW 6" SEWER LATERAL FROM EXISTING SEWER LINE IN MISSION BLVD.-SEE CIVIL PLANS FOR MORE INFO.
- NEW 4" SEWER LATERAL FROM BLDG. TO NEW 6" SEWER LINE IN PRIVATE STREET
- NEW 4" SEWER CLEAN OUT
- NEW 48" +/- STORM DRAIN GRATE-SEE CIVIL PLANS FOR MORE INFO.
- NEW 36" +/- CONCRETE SWALE-SEE CIVIL PLANS FOR MORE INFO.
- NEW TRUNCATED DOME MAT AT BOTTOM OF RAMP FOR DETECTABLE WARNING
- NEW ADA RAMP FROM 0' CURB UP TO ON-SITE SIDEWALKS-PROVIDE A MAX. SLOPE OF 20%
- NEW ON-SITE CURB & SIDEWALK-SEE CIVIL PLANS FOR INFO. ON HEIGHTS AND OTHER REQUIREMENTS
- NEW LANDSCAPE AREA & OR PLANTER
- LINE OF SHADE STRUCTURE
- STORE FRONT DOOR/WINDOWS INTO BLDG.
- ROLL-UP WAREHOUSE DOOR
- ELECTRICAL ROOM WITH EXTERIOR ACCESS
- FIRE RISER AREA
- EXTERIOR WAREHOUSE PASSAGEWAY DOOR
- NEW COVERED TRASH ENCLOSURE WITH 6" CONCRETE SLAB

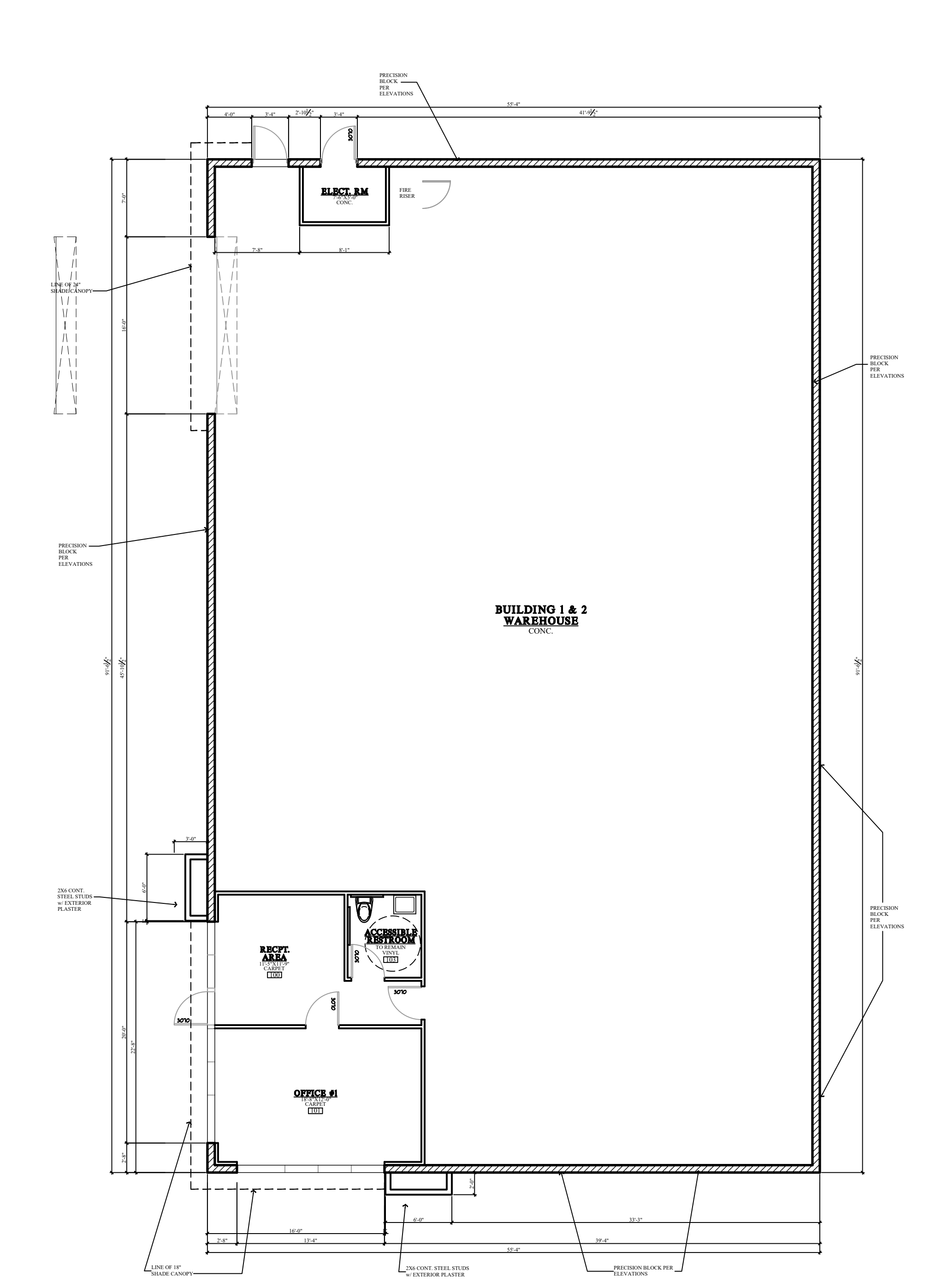


SITE PLAN
1" = 20'-0"





PARTIAL ENLARGED FLOOR PLAN BLDG 1 & 2
1/4" = 1'-0"



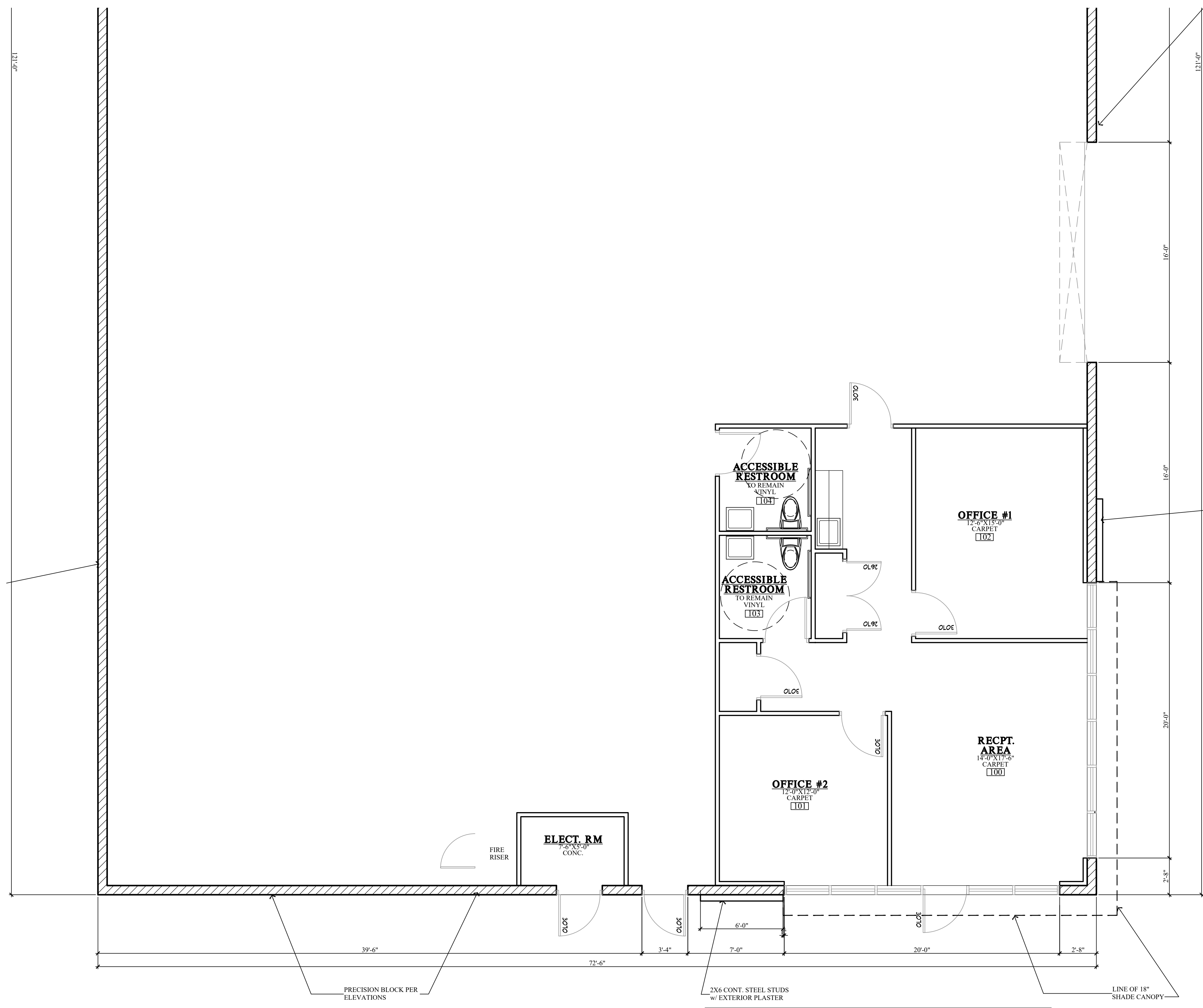
FLOOR PLAN BLDG 1 & 2
1/8" = 1'-0"

SQUARE FOOTAGES	
:BUILDING AREA:	
FLOOR AREA =	5,165 SQ. FT.
WAREHOUSE AREA =	4,499 SQ. FT.
OFFICE AREA =	469 SQ. FT.

FINISH ABBREVIATIONS			
TABLE 8-B SEC. 1804.1 MAXIMUM FLAME-SPREAD CLASS ENCLOSED VERTICAL EXITWAYS OTHER EXITWAYS ROOMS OR AREAS		TABLE 8-A SEC. 1804.1 FLAME SPREAD INDEX 0-25 26-75 76-200	
CPT-1	DIRECT GLUE DOWN, PER CUSTOMER		
B-1	4" HIGH RUBBER, BLACK W/ RUBBER REDUCERS AT TRANSITIONS		
GB-1	EXISTING 5/8" GYP. BD.		
GB-2	NEW 5/8" GYPSUM BOARD		
P-1	1 C.1. SEMI-GLOSS ENAMEL WALL PAINT, COLOR PER CUSTOMER.		
L-1	LAMINANT/FORMICA CABINETS, INTERIORS TO BE WHITE, COLOR PER CUSTOMER		
L-2	LAMINANT/FORMICA COUNTER TOP, 1/2" SQUARE EDGE, COLOR PER CUSTOMER.		
TB-1	T-BAR CEILING GRID AND MINERAL FIBER PANELS, PER CUSTOMER		

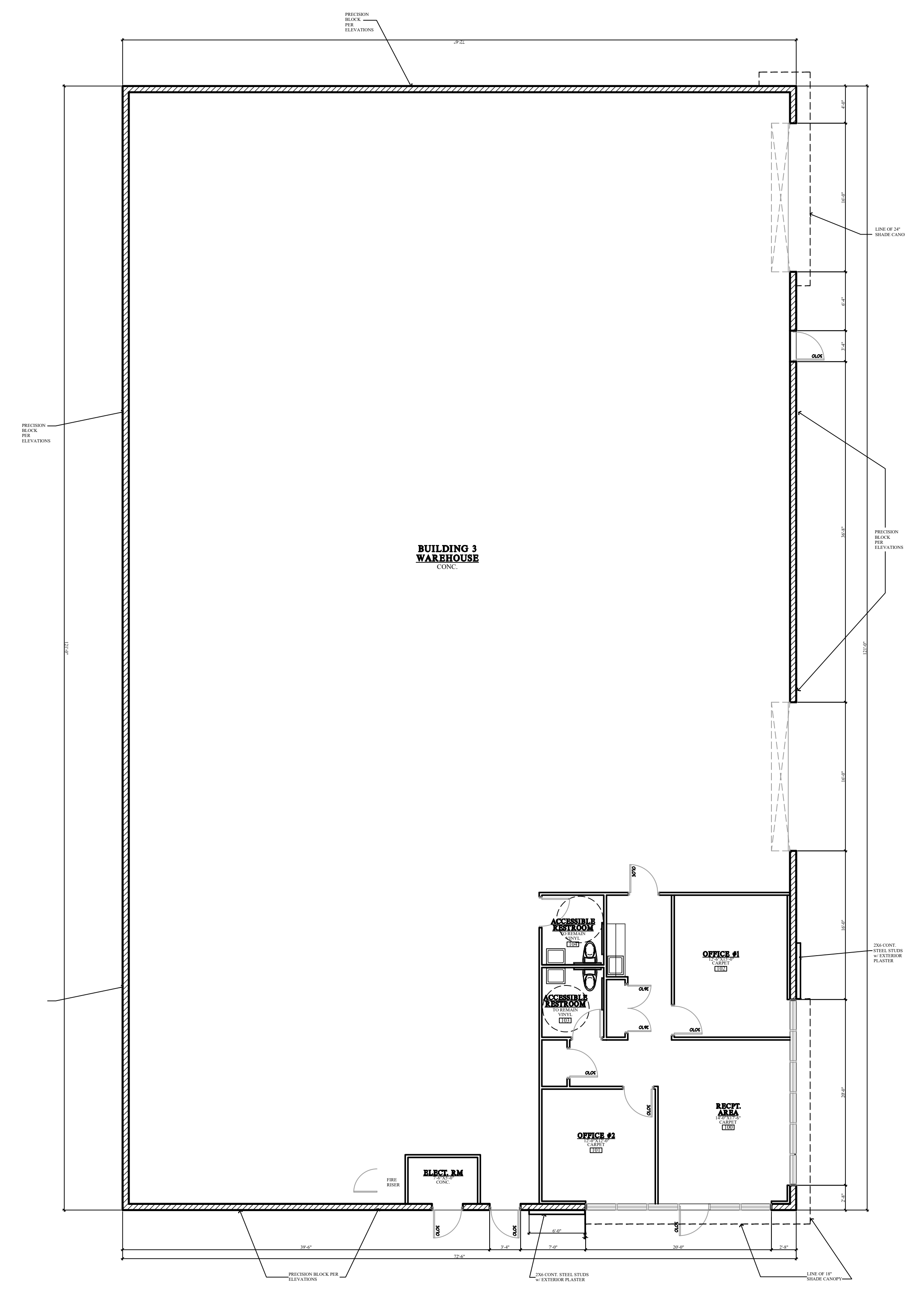
ROOM NO.	ROOM NAME	FLOOR		WINDOW TREATMENT	WALLS								CEILING			CABINET		REMARKS
		FLOOR MATL.	BASE		NORTH		EAST		SOUTH		WEST		MATERIAL	FINISH	HEIGHT	TOP	BASE	
					MATL.	FIN.	MATL.	FIN.	MATL.	FIN.	MATL.	FIN.						
106	CONFERENCE ROOM	CPT-1	B-1		GB-1	P-2	GB-2	P-2	GB-2	P-2	GB-2	P-2	TB-1	PER OWNER	9'-0"	L-2	L-1	
107	OFFICE-3	CPT-1	B-1		GB-2	P-2	GB-2	P-2	GB-2	P-2	GB-2	P-2	TB-1	PER OWNER	9'-0"			
108	OFFICE-4	CPT-1	B-1		GB-2	P-2	GB-2	P-2	GB-2	P-2	GB-2	P-2	TB-1	PER OWNER	9'-0"			NOT BASE CABINET TOP ONLY
108	OFFICE-5	CPT-1	B-1		GB-2	P-2	GB-2	P-2	GB-2	P-2	GB-2	P-2	TB-1	PER OWNER	9'-0"			
109	OFFICE-6	CPT-1	B-1		GB-2	P-2	GB-2	P-2	GB-2	P-2	GB-2	P-2	TB-1	PER OWNER	9'-0"			

EP* REFER TO FINISH NOTE # 6 FOR LIST OF ACCEPTABLE CONC. & TILE SEALERS.



PARTIAL ENLARGED FLOOR PLAN BLDG 3

1/4" = 1'-0"



FLOOR PLAN BLDG 3

1/8" = 1'-0"

FINISH ABBREVIATIONS

TABLE 8-B SEC. [804.1] MAXIMUM FLAME-SPREAD CLASS ENCLOSED VERTICAL EXITWAYS OTHER EXITWAYS ROOMS OR AREAS	I II III	TABLE 8-A SEC. [804.1] FLAME SPREAD INDEX 0-25 26-75 76-200
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SQUARE FOOTAGES

BUILDING AREA:	
FLOOR AREA =	9,015 SQ. FT.
WAREHOUSE AREA =	7,850 SQ. FT.
OFFICE AREA =	905 SQ. FT.

WALL LEGEND

	NEW 3 1/2" STEEL STUD WALLS - 9'-1" TALL
	8" CMU WALLS

CPT-1	DIRECT GLUE DOWN, PER CUSTOMER
B-1	4" HIGH RUBBER, BLACK W/ RUBBER REDUCERS AT TRANSITIONS
GB-1	EXISTING 5/8" GYP. BD.
GB-2	NEW 5/8" GYPSUM BOARD
P-1	I.C.I. SEMI-GLOSS ENAMEL WALL PAINT, COLOR PER CUSTOMER.
L-1	LAMINANT/FORMICA CABINETS, INTERIORS TO BE WHITE, COLOR PER CUSTOMER.
L-2	LAMINANT/FORMICA COUNTER TOP, 1/2" SQUARE EDGE, COLOR PER CUSTOMER.
TB-1	T-BAR CEILING GRID AND MINERAL FIBER PANELS, PER CUSTOMER

FINISH SCHEDULE

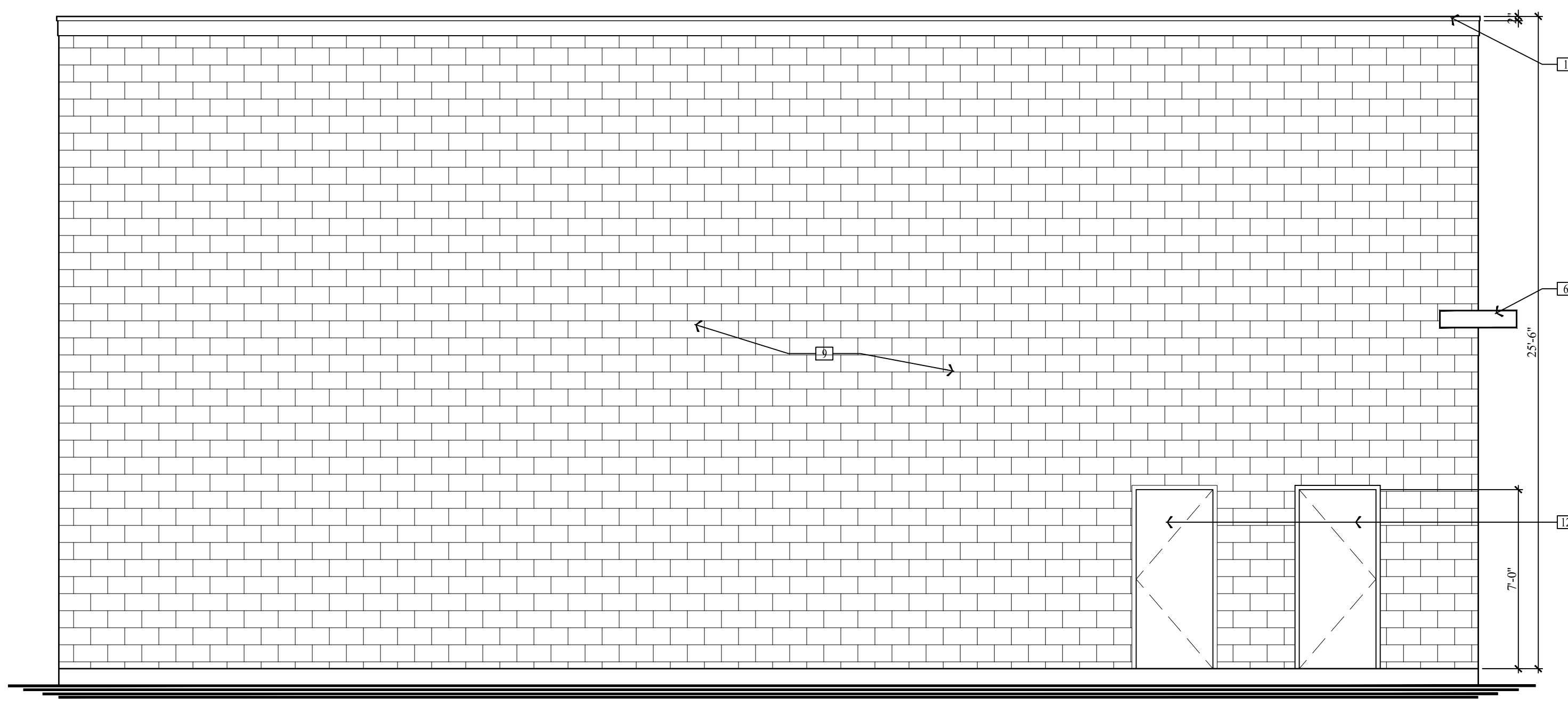
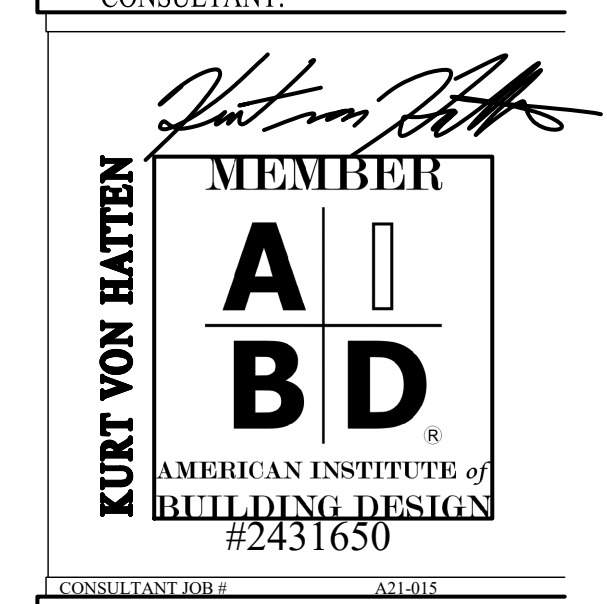
ROOM NO.	ROOM NAME	FLOOR		WINDOW TREATMENT	WALLS								CEILING			CABINET		REMARKS
		FLOOR MATL	BASE		NORTH		EAST		SOUTH		WEST		MATERIAL	FINISH	HEIGHT	TOP	BASE	
					MATL	FIN.	MATL	FIN.	MATL	FIN.	MATL	FIN.						
106	CONFERENCE ROOM	CPT-1	B-1		GB-1	P-2	GB-2	P-2	GB-2	P-2	GB-2	P-2	TB-1	PER OWNER	9'-0"	L-2	L-1	
107	OFFICE-3	CPT-1	B-1		GB-2	P-2	GB-2	P-2	GB-2	P-2	GB-2	P-2	TB-1	PER OWNER	9'-0"			NOT BASE CABINET TOP ONLY
108	OFFICE-4	CPT-1	B-1		GB-2	P-2	GB-2	P-2	GB-2	P-2	GB-2	P-2	TB-1	PER OWNER	9'-0"			
108	OFFICE-5	CPT-1	B-1		GB-2	P-2	GB-2	P-2	GB-2	P-2	GB-2	P-2	TB-1	PER OWNER	9'-0"			
109	OFFICE-6	CPT-1	B-1		GB-2	P-2	GB-2	P-2	GB-2	P-2	GB-2	P-2	TB-1	PER OWNER	9'-0"			

EP * REFER TO FINISH NOTE # 6 FOR LIST OF ACCEPTABLE CONC. & TILE SEALERS.

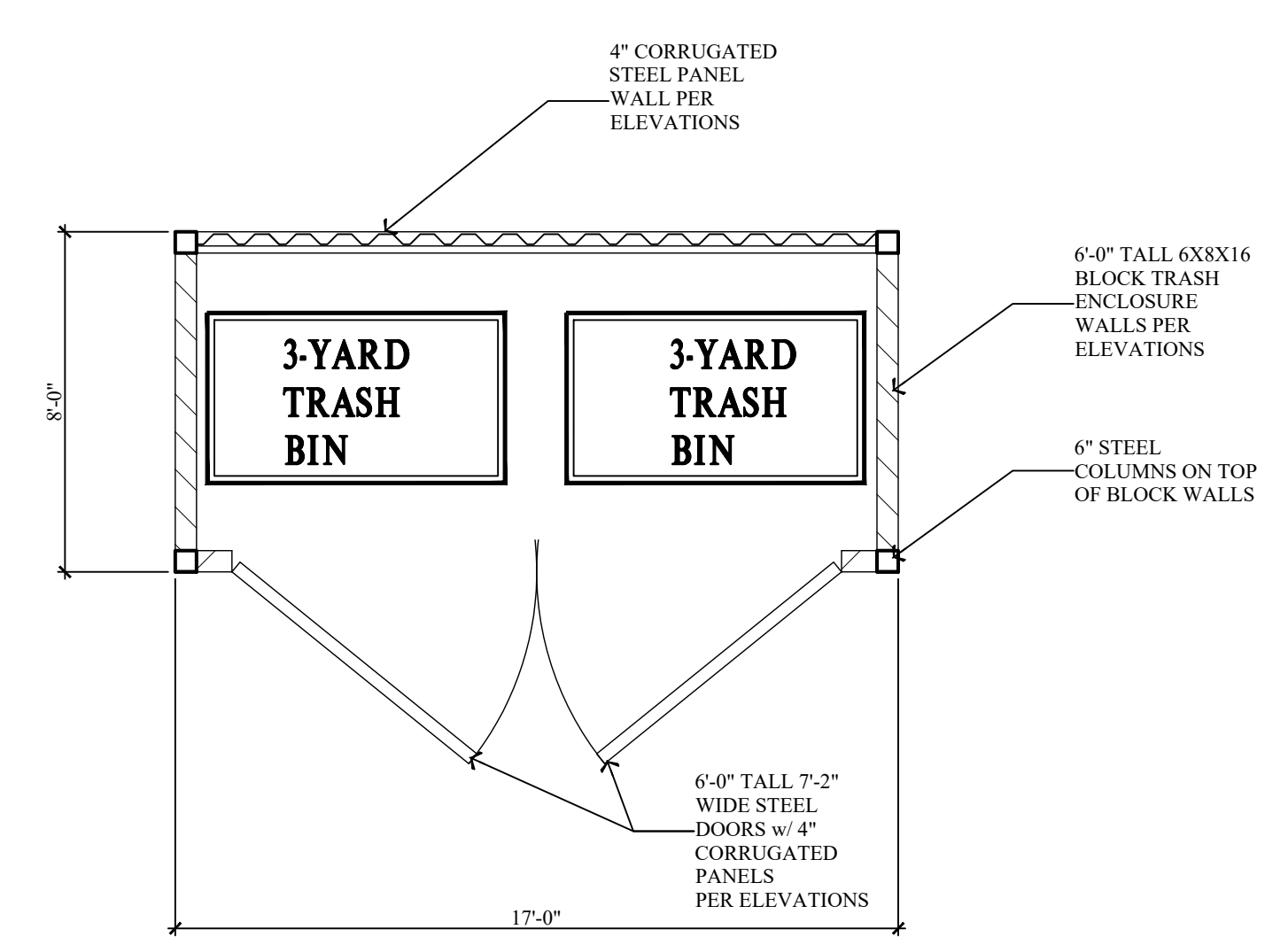
- ELEVATION NOTES**
- 9" GALV. SHAPED PARAPET CAP w/ DRIP EDGE, PRIMED & PAINTED
 - SAND FINISH PLASTER ON STEEL STUD STRUCTURE
 - LINE OF ROOF STRUCTURE BEYOND
 - SAND FINISH PLASTER LINIER SQUARE DETAIL
 - 3" (BRONZE) ALUM. CONTROL JOINT TRIM
 - 8" TALL, (BRONZE) ALUM CLAD SHADE CANOPY
 - STORE FRONT (BRONZE) WINDOW SYSTEM
 - ORCO TAN 8X8X16 - 7 SCORED, SPLIT-FACE CONCRETE BLOCK, RUN SOLDIER COURSE TO MATCH FIELD BLOCK
 - ORCO TAN-8X8X16- PRECISION CONCRETE BLOCK-RUN SOLDIER COURSE
 - ORCO-TAN-8X8X16 - 7 SCORED, SPLIT-FACE CONCRETE BLOCK WAINSCOT-RUN SOLDIER COURSE TO MATCH FIELD BLOCK
 - ROLL-UP STEEL DOOR w/ 48" TALL STEEL CORNER PROTECTION-PAINT TO MATCH DOOR
 - STEEL PASSAGEWAY DOOR-PAINT TO MATCH FIELD BLOCK
 - LANDSCAPE ARBOR AGAINST WALL FOR LANDSCAPE FOLIAGE
 - 4" CORRUGATED STEEL TRASH ENCLOSURE DOORS
 - 6" STEEL COLUMNS FOR CORRUGATED ROOF STRUCTURE
 - 4" CORRUGATED STEEL PANEL WALL



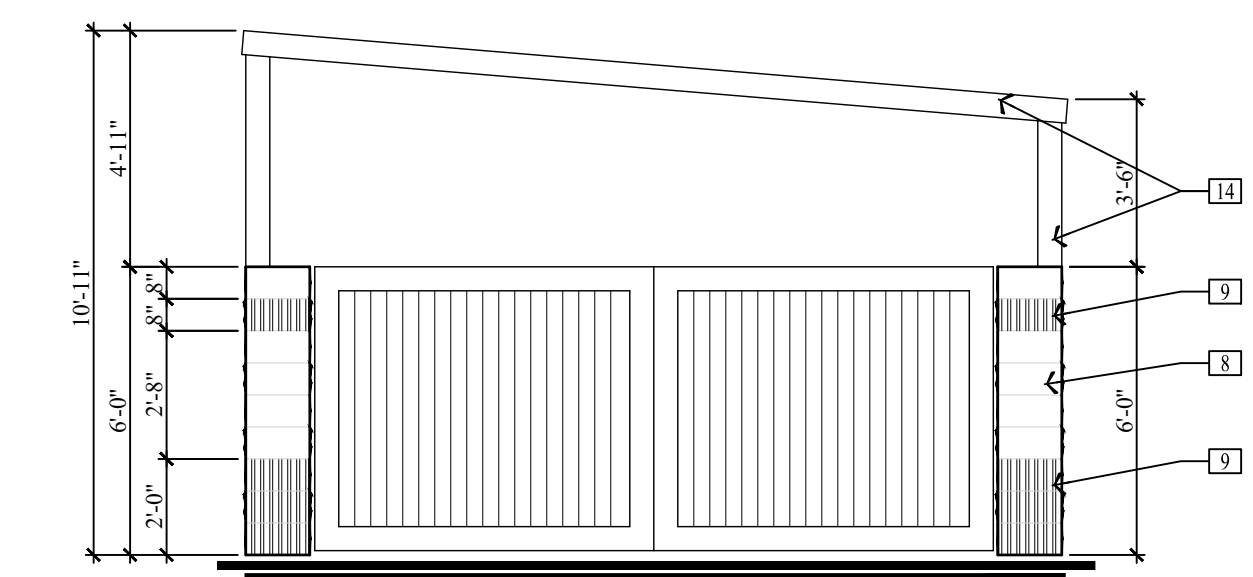
NO.	REVISIONS
1	PLAN CHECK AUG12, 2020
2	PLAN CHECK SEPT16, 2020



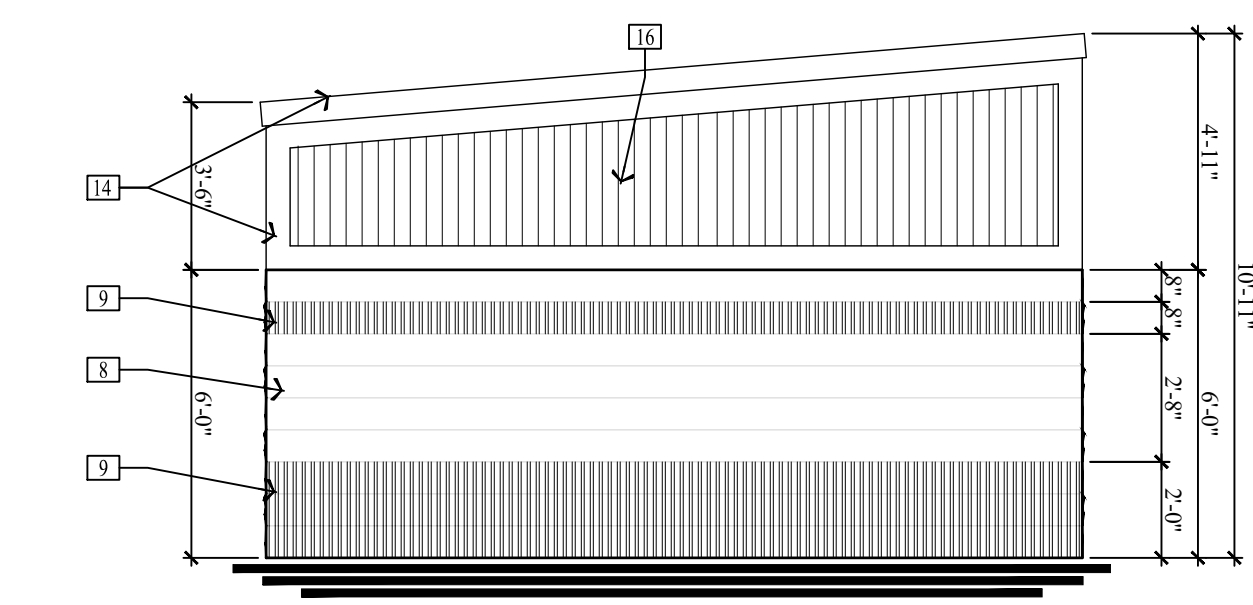
NORTH ELEVATION
1/4" = 1'-0"



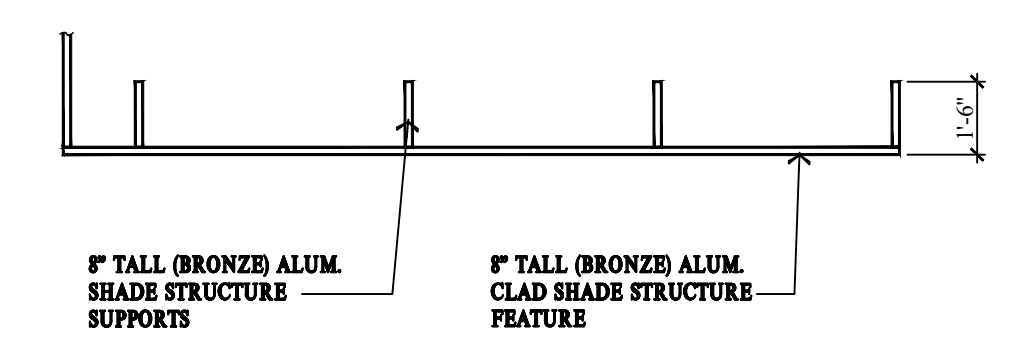
TRASH ENCLOSURE FLOOR PLAN
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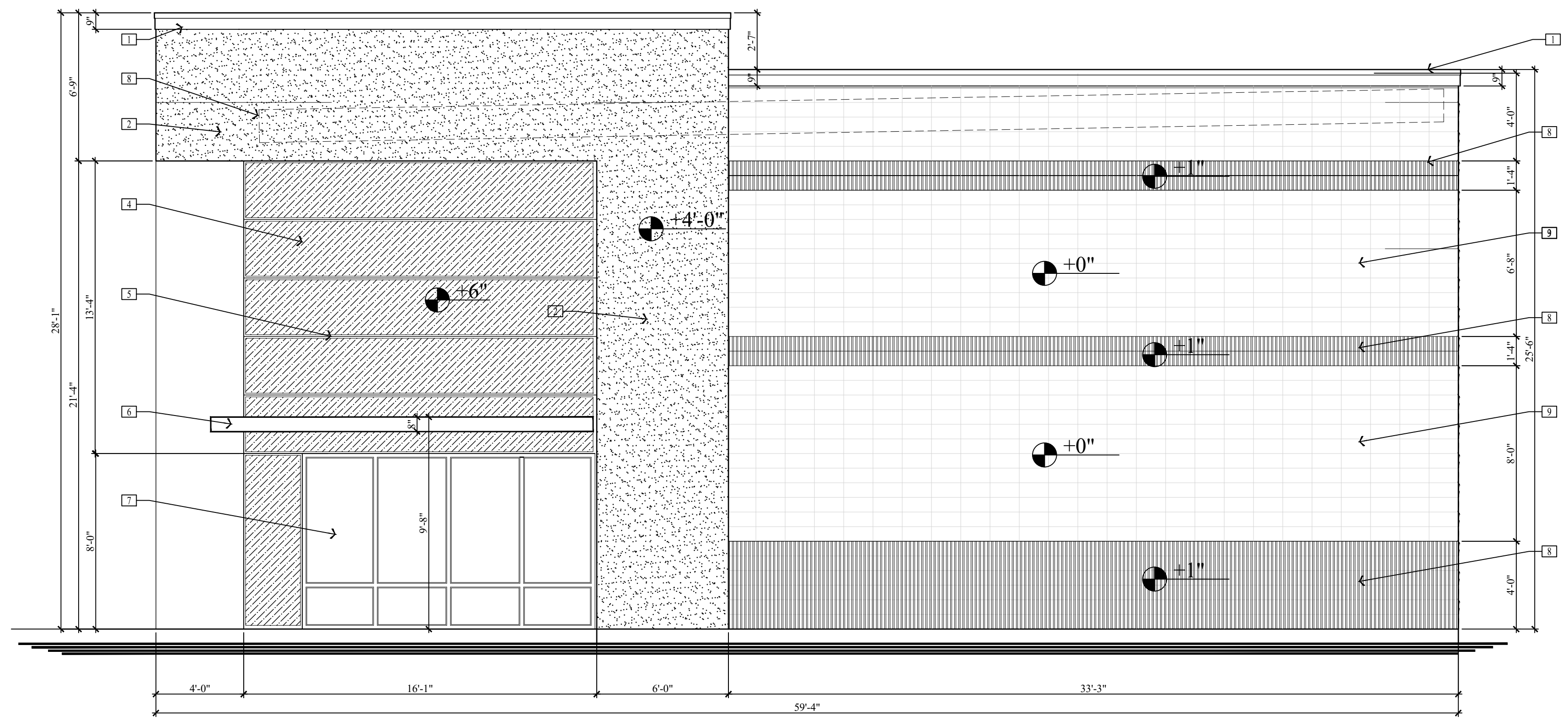
FRONT ENCLOSURE ELEVATION
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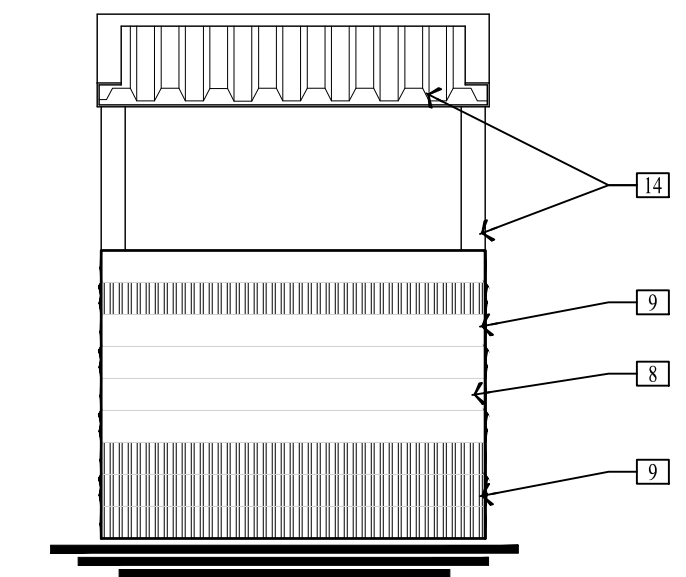
REAR ENCLOSURE ELEVATION
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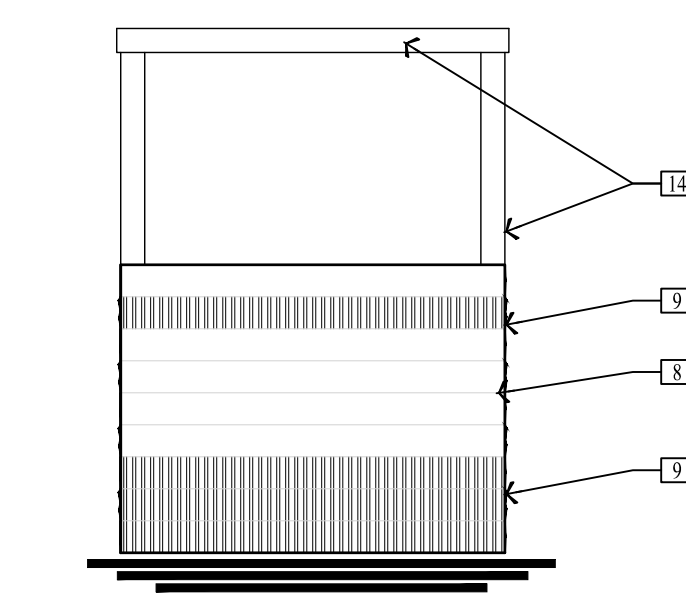
SHADE STRUCTURE FEATURE



SOUTH ELEVATION
1/4" = 1'-0"



SIDE(SOUTH) ENCLOSURE ELEVATION
1/4" = 1'-0"



SIDE(NORTH) ENCLOSURE ELEVATION
1/4" = 1'-0"

PROJECT FOR:
L2 GROUP, LLC
8628 HILLSIDE ROAD
ALTA LOMA, CA 97001
(951) 231-7206

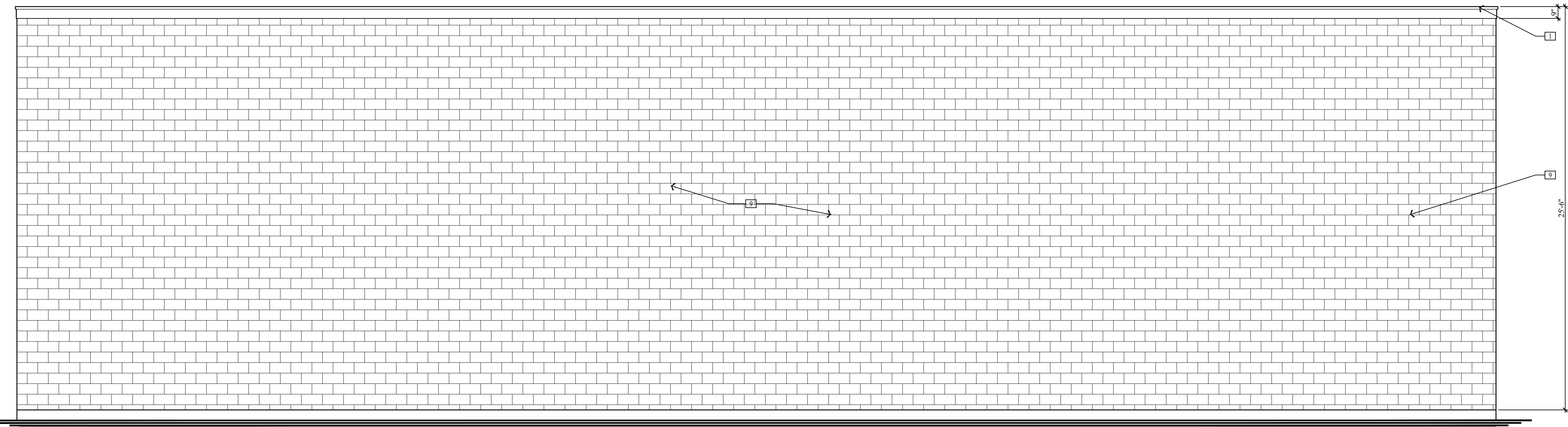
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THREE MASONRY INDUSTRIAL BUILDINGS
4100 MISSION BLVD
MONTCLAIR, CA 97163

SHEET TITLE:
BUILDING 1 & 2 ELEVATIONS

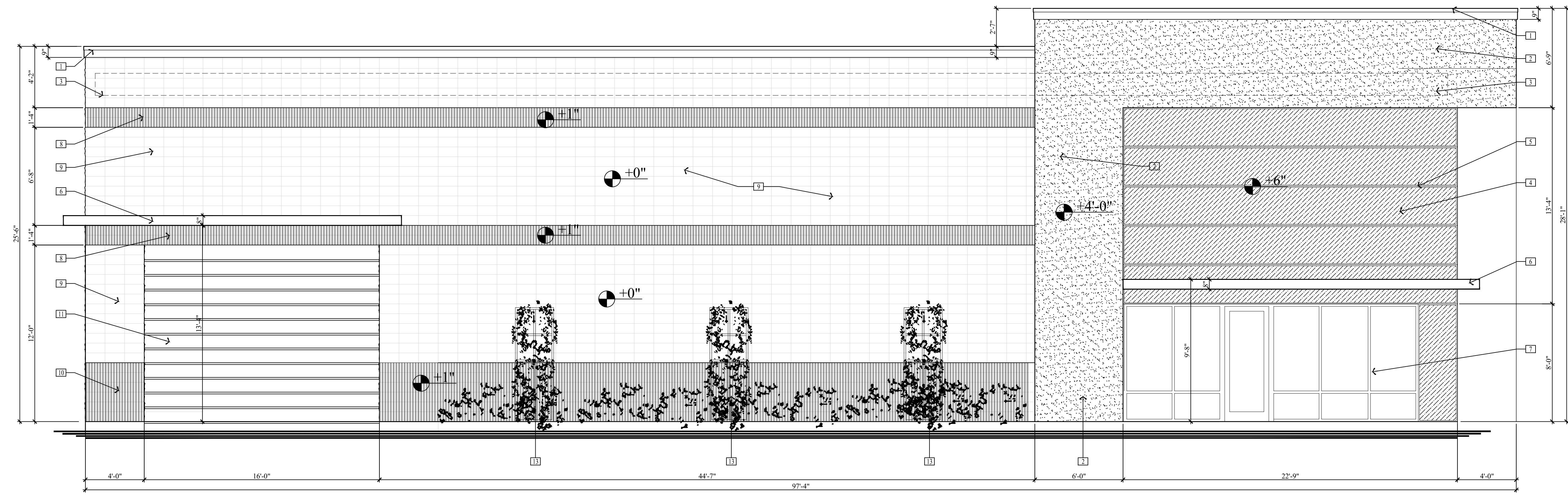
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DRAWN BY KVH
CHECKED BY KVH
DATE 8/5/2021
JOB # A21-015

SHEET
A-2.0

- ELEVATION NOTES**
- 9" GALV. SHAPED PARAPET CAP w/ DRIP EDGE, PRIMED & PAINTED
 - SAND FINISH PLASTER ON STEEL STUD STRUCTURE
 - LINE OF ROOF STRUCTURE BEYOND
 - SAND FINISH PLASTER LINIER SQUARE DETAIL
 - 3" (BRONZE) ALUM. CONTROL JOINT TRIM
 - 8" TALL, (BRONZE) ALUM CLAD SHADE CANOPY
 - STORE FRONT (BRONZE) WINDOW SYSTEM
 - ORCO TAN 8X8X16 - 7 SCORED, SPLIT-FACE CONCRETE BLOCK, RUN SOLDIER COURSE TO MATCH FIELD BLOCK
 - ORCO TAN-8X8X16- PRECISION CONCRETE BLOCK-RUN SOLDIER COURSE
 - ORCO-TAN-8X8X16 - 7 SCORED, SPLIT-FACE CONCRETE BLOCK WAINSCOT-RUN SOLDIER COURSE TO MATCH FIELD BLOCK
 - ROLL-UP STEEL DOOR w/ 48" TALL STEEL CORNER PROTECTION-PAINT TO MATCH DOOR
 - STEEL PASSAGEWAY DOOR-PAINT TO MATCH FIELD BLOCK
 - LANDSCAPE ARBOR AGAINST WALL FOR LANDSCAPE FOLIAGE
 - 4" CORRUGATED STEEL TRASH ENCLOSURE DOORS
 - 6" STEEL COLUMNS FOR CORRUGATED ROOF STRUCTURE
 - 4" CORRUGATED STEEL PANEL WALL

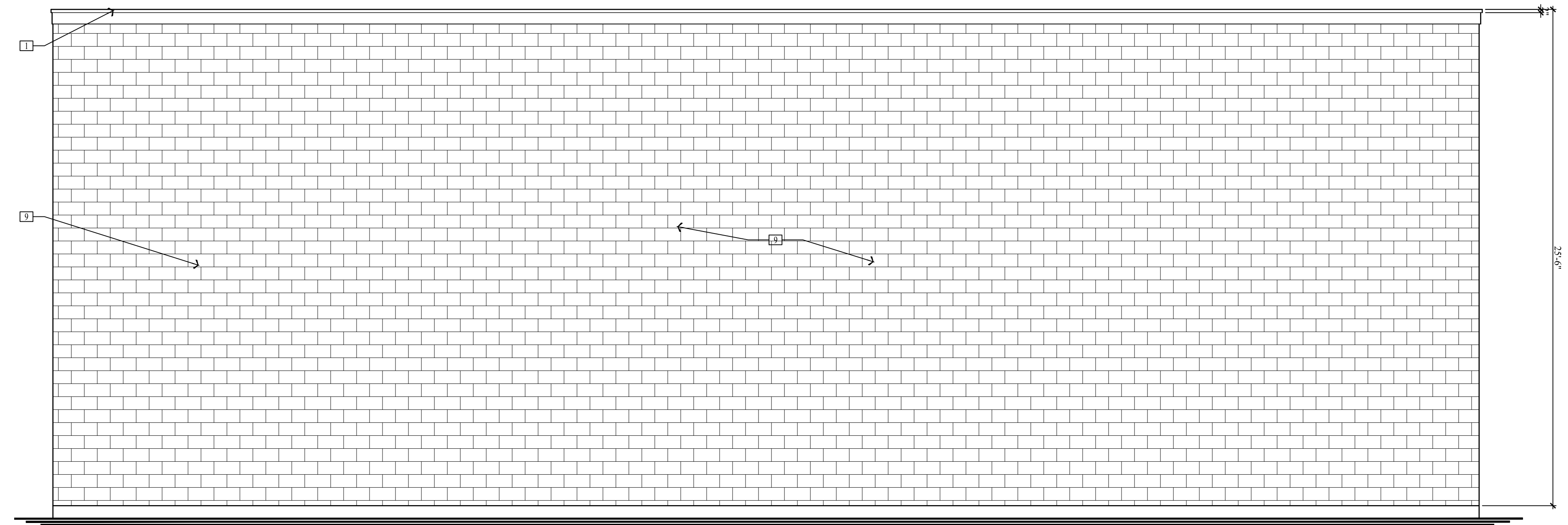


EAST ELEVATION
1/4" = 1'-0"

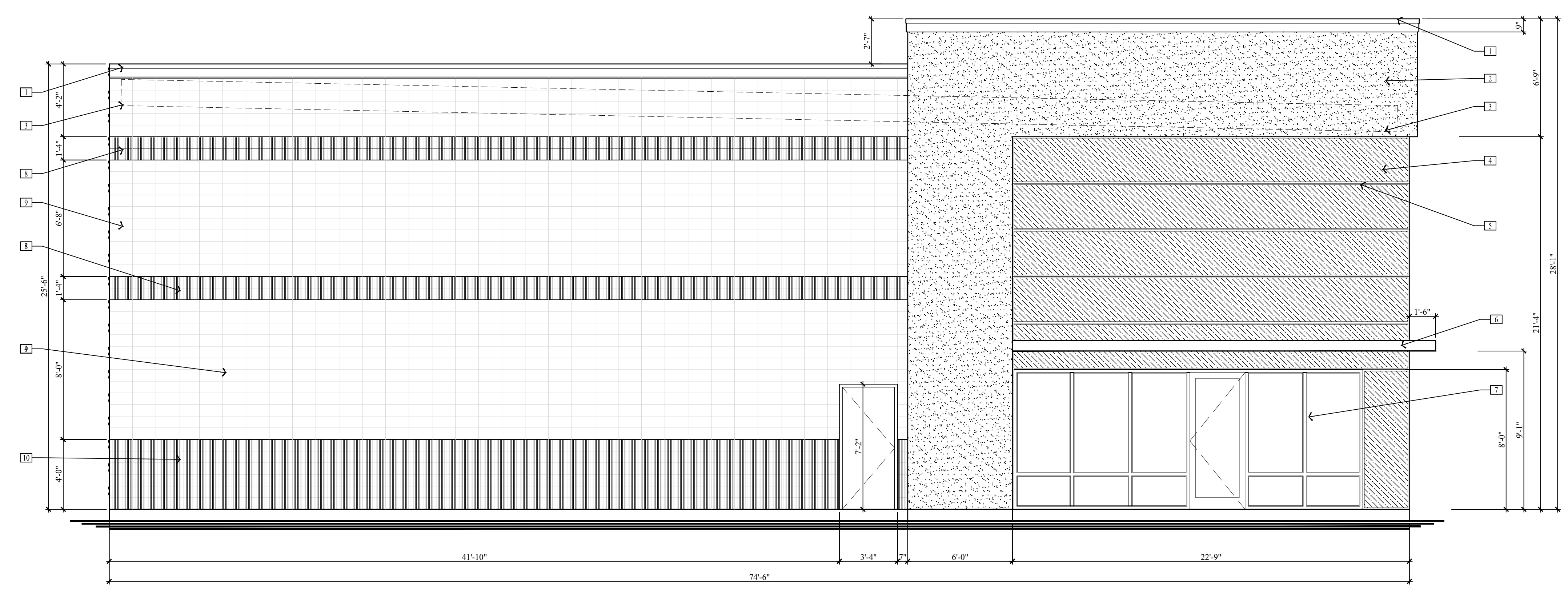


WEST ELEVATION
1/4" = 1'-0"

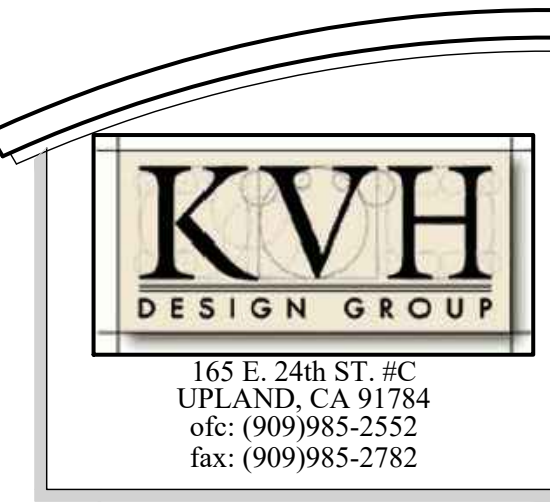
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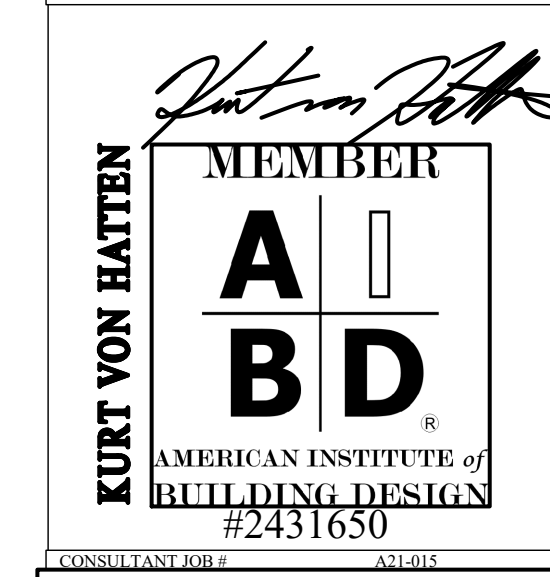
SOUTH ELEVATION
1/4" = 1'-0"



NORTHELEVATION
1/4" = 1'-0"



REVISIONS
1. PLAN CHECK AUG12, 2020
2. PLAN CHECK SEPT16, 2020



PROJECT FOR:
L2 GROUP, LLC
 8628 HILLSIDE ROAD
 ALTA LOMA, CA 91701
 (951) 231-7206

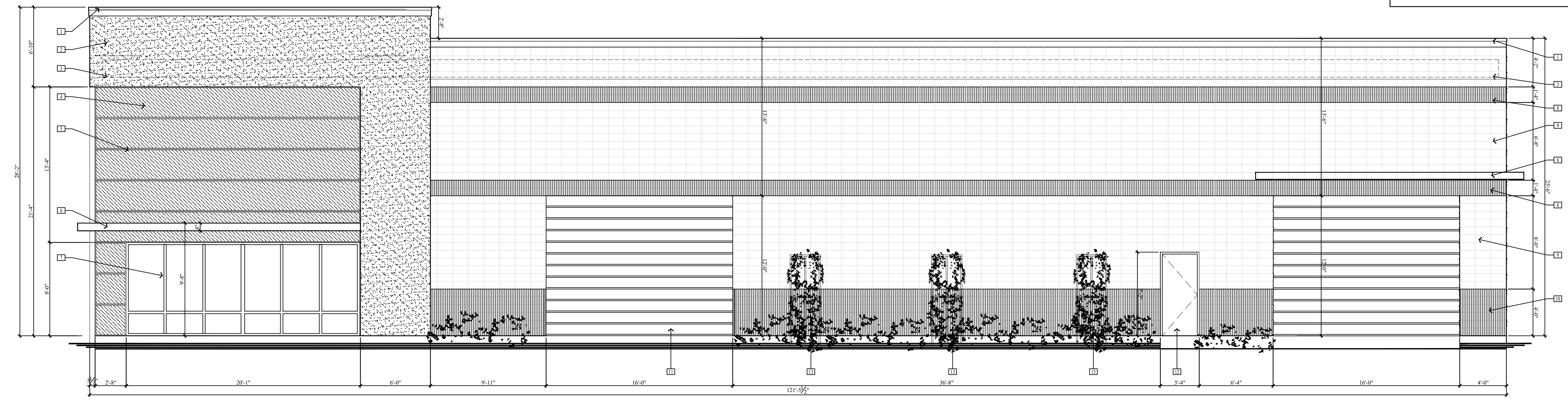
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THREE MASONRY INDUSTRIAL BUILDINGS
 4100 MISSION BLVD
 MONTCLAIR, CA 91763

SHEET TITLE:
BUILDING 3 ELEVATIONS

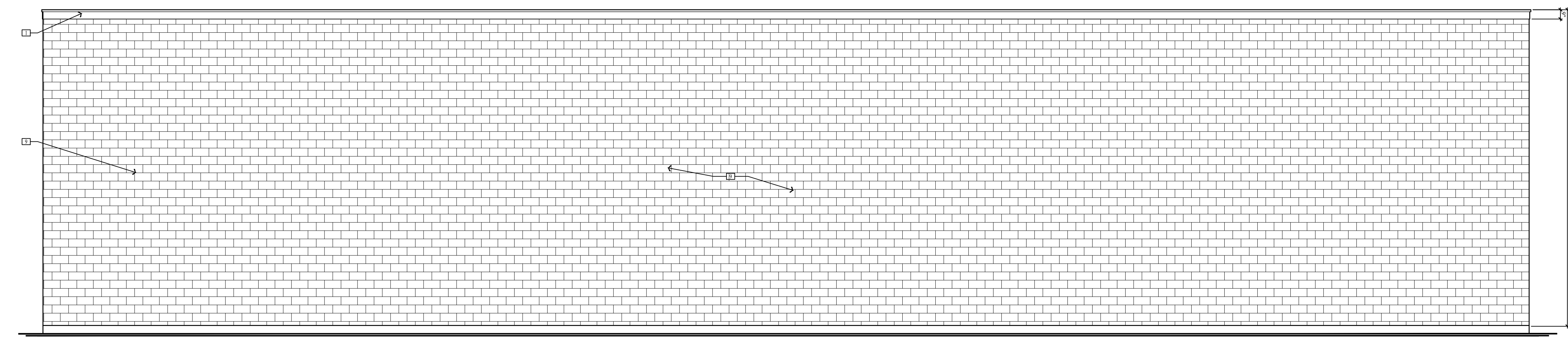
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DRAWN BY	KVH
CHECKED BY	KVH
DATE	8/5/2021
JOB #	A21-015

SHEET
A-2.3

- ELEVATION NOTES**
- 9" GALV. SHAPED PARAPET CAP w/ DRIP EDGE, PRIMED & PAINTED
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WEST ELEVATION
 3/16" = 1'-0"



EAST ELEVATION
 3/16" = 1'-0"

ARCHITECTURAL LANDSCAPE PLANS

THREE MASONRY INDUSTRIAL BUILDINGS

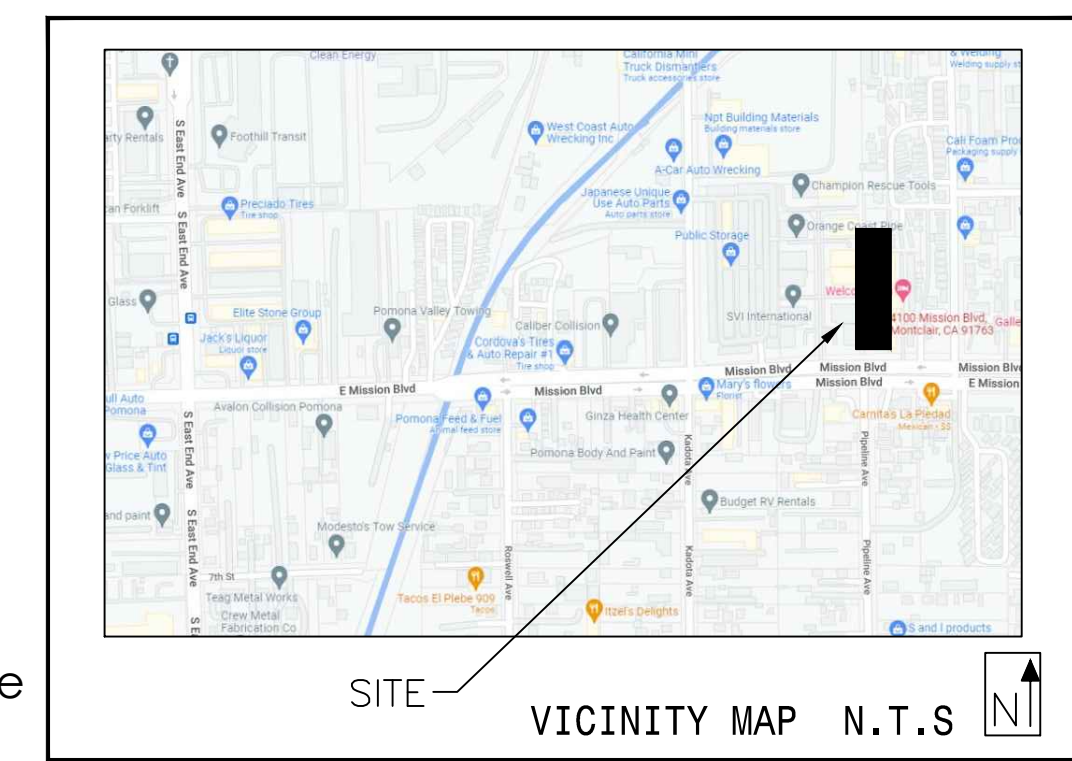
4100 MISSION BLVD
MONTCLAIR, CA. 91763

CONSULTANTS

OWNER / DEVELOPER
L2 GROUP, LLC
ALTA LOMA, CA. 91701
(951) 231-7206

LANDSCAPE ARCHITECT
Phil May Landscape Architecture
2532 Wallace Ave.
Fullerton, CA 92831
909-373-1959

ARCHITECT
KVH DESIGN GROUP
165 E 24TH ST. #D
UPLAND, CA 91786
909-985-2552



SHEET INDEX	
L-1	COVER SHEET
L-2	PRELIMINARY LANDSCAPE PLAN



REVISIONS	
1	PLAN CHECK AUG12,2020
2	PLAN CHECK SEPT16,2020
3	
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5	

CONSULTANT:	
CONSULTANT JOB #	AL12070

PROJECT FOR:

L2 GROUP, LLC
8628 HILLSIDE ROAD
ALTA LOMA, CA. 91701
(951) 231-7206

PROJECT TITLE:

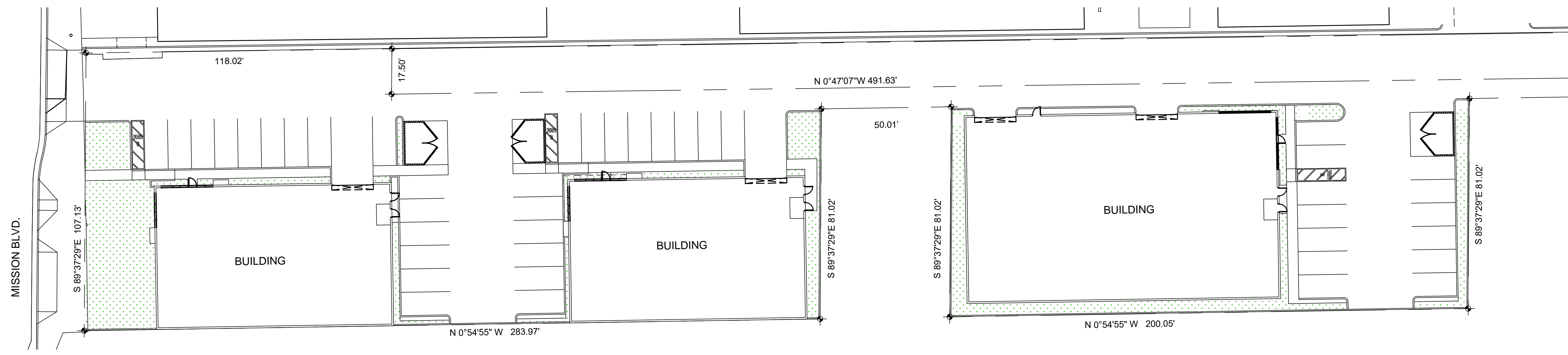
THREE MASONRY INDUSTRIAL BUILDINGS
4100 MISSION BLVD
MONTCLAIR, CA. 91763

SHEET TITLE:

COVER SHEET

DESIGN BY	KVH
DRAWN BY	KVH
CHECKED BY	KVH
DATE	6/5/2020
JOB #	A20-003

SHEET
L-1
OF 2 SHEETS



SITE PLAN
Scale: 1"=30'
N

TOTAL LANDSCAPE AREA = 4,696 s.f.

CERTIFICATION OF LANDSCAPE DESIGN

I hereby certify that:

- I am a professional appropriately licensed in the State of California to provide professional landscape design services.
- The landscape design and water use calculations for the property located at 4100 MISSION BLVD.
- (provide street address or parcel number(s)) were prepared by me or under my supervision.
- The landscape design and water use calculations for the identified property comply with the requirements of the City of Montclair Water Efficient Landscape Ordinance (Municipal Code Chapter 13.18) and the City of Montclair Water Efficient Landscape Guidelines.
- The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the City of Montclair Water Efficient Landscape Guidelines.

PHIL MAY 08-24-2022
Print Name Date

Phil May 3104
Signature License Number

2532 WALLACE AVE., FULLERTON CA 92831
Address

(909) 373-1959 pmay@philmaydesign.com
Telephone E-mail Address

Landscape Design Professional's Stamp



Water Efficient Landscape Worksheet

Reference Evapotranspiration (Eto)	54.6 Montclair, CA						Estimated Total Water Use (ETWU)
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	
Regular Landscape Areas							
1) New Low water use plants	0.2	Drip	0.81	0.247	4,696	1,159.51	39,252
Totals					4,696	1,159.51	39,252
Special Landscape Areas (SLA): Recycled Water							
				1	0	0	0
				1	0	0	0
				1	0	0	0
				Totals	0	0	0
							Estimated Total Water Use (ETWU) 39,252
							Maximum Allowed Water Allowance (MAWA) 71,536

Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency
very low	0-0.1	overhead spray	0.75
low	0.1-0.3	drip	0.81
medium	0.4-0.6		
high	0.7-1.0		

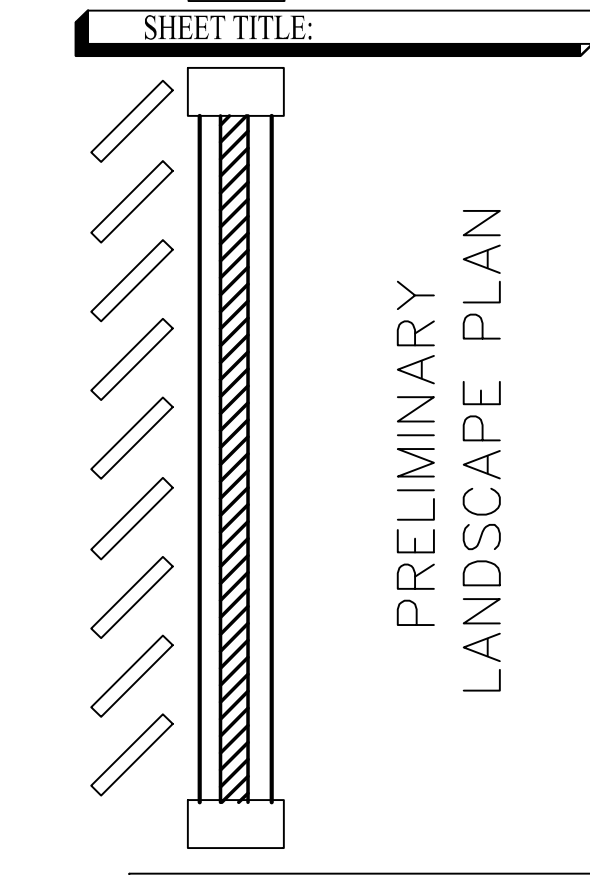
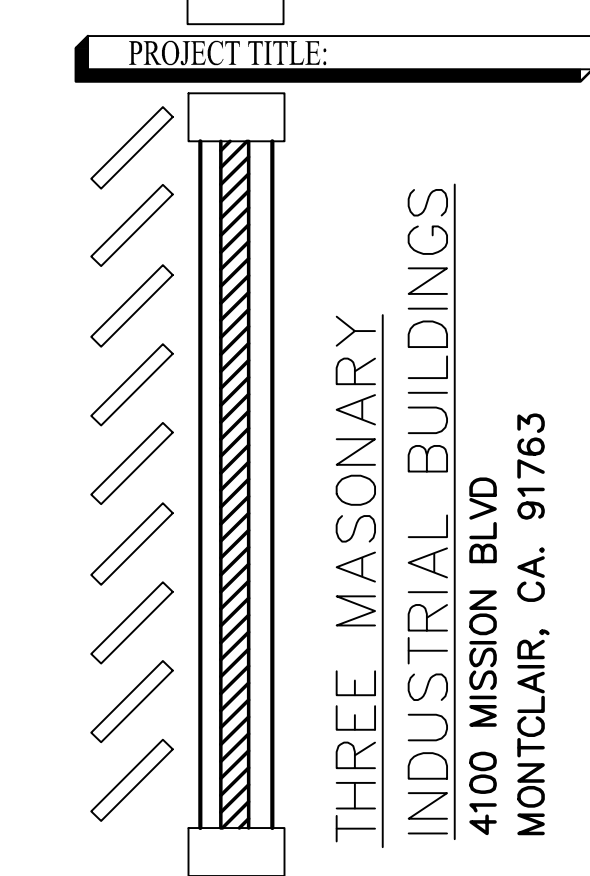
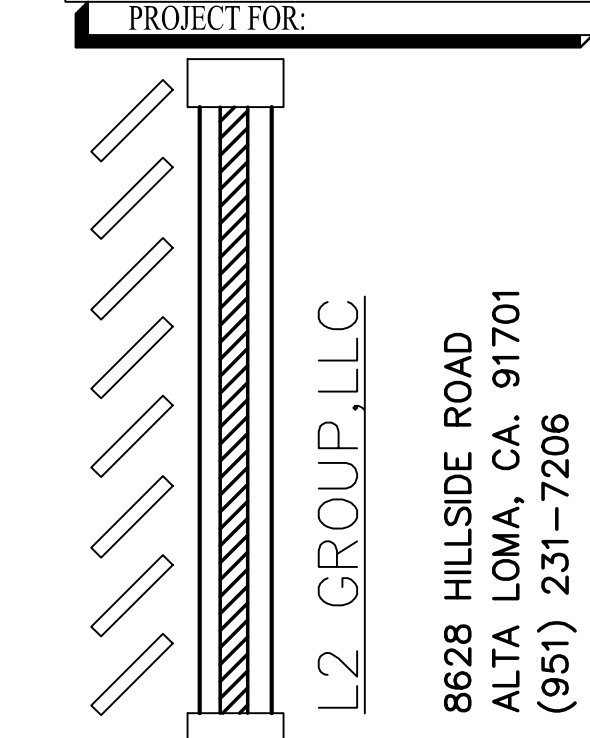
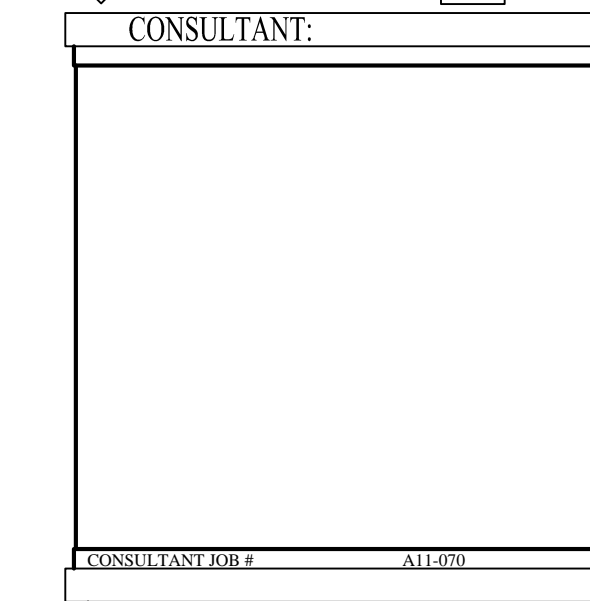
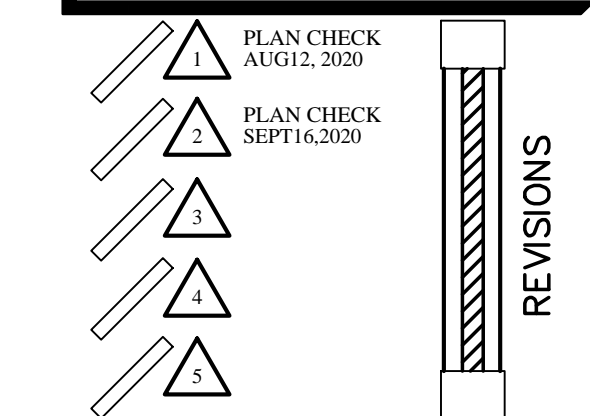
MAWA (annual gallons allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
 where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year.
 LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.

ETAF Calculations	
Regular Landscape Areas	
Total ETAF x Area	1,160 Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.
Total Area	4,696
Average ETAF	0.25 *Caltrans projects must be .45 or below

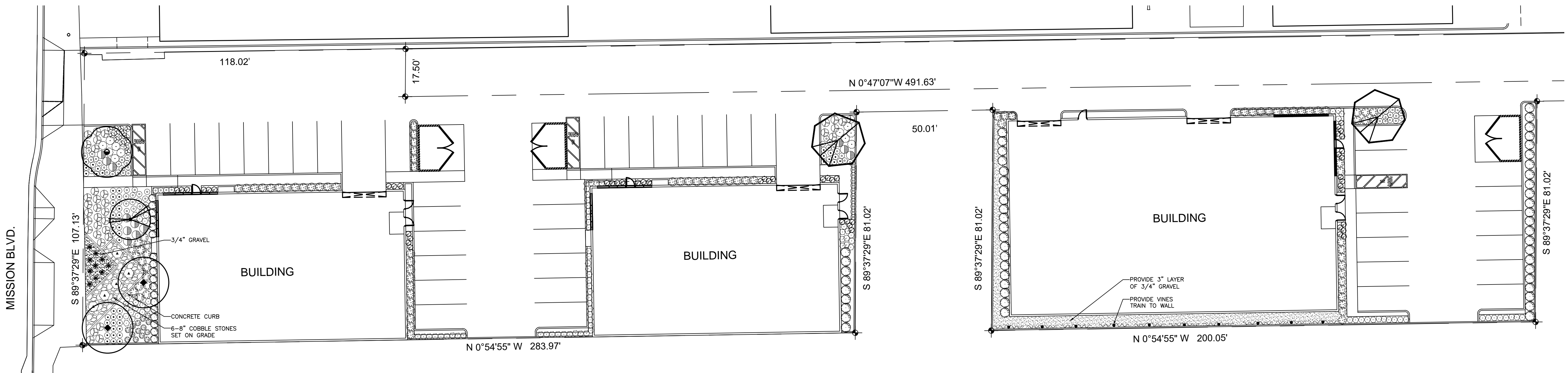
All Landscape Areas	
Total ETAF x Area	1,160
Total Area	4,696
Sitewide ETAF	0.25

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS PLANT FACTOR	REMARKS
TREES					
	Parkinsonia 'Desert Museum'	Palo Verde	36" box	L	Multi-trunk
	Cercis o. 'Forest Pansy'	Forest Pansy	24" box	M	Standard trunk
	Lagostroemia i. 'Tuscarora'	Crape Myrtle	24" box	M	Standard trunk
	Lophostemon confertus	Brisbane box	24" box	M	Standard trunk
SHRUBS					
	Agave attenuata	Foxtail Agave	5 gal	L	
	Agave Blue Glow	Blue Glow Agave	5 gal	L	
	Myrtus c. 'Compacta'	Dwarf Myrtle	5 gal	L	
	Cordylone 'Design-a-Line'	Design-a-Line Cordylone	5 gal	L	
	Callistemon 'Little John'	Dwarf Bottlebrush	5 gal	M	
	Westringia fruticosa 'Smokey'	Dwarf Coastal Rosemary	5 gal	L	
	Westringia fruticosa 'Mundi'	Mundi Coastal Rosemary	5 gal	L	
PERENNIALS					
	Carex o. 'Evergold'	Var. Japanese Sedge	1 gal	L	
	Dianella 'Cassa Blue'	Cassa Blue Flax Lily	1 gal	L	
	Dianella t. 'Variegata'	Variegated Flax Lily	1 gal	M	
	Hesperaloe p. Brakelights	Brakelights Yucca	1 gal	L	
	Penstemon h. 'Margarita BOP'	Margarita Bop Beardtongue	1 gal	L	
	Sesleria autumnalis	Moor Grass	1 gal	L	
VINES					
	Ficus pumila	Creeping Fig	1 gal	L	
GROUND COVER					
	Carissa m. 'Emerald Blanket'	Dwarf Natal Plum		L	
	6-8" Cobblestone rock set on finish grade, detail				
	3" layer of 3/4" gravel, Palm Springs Gold, detail				



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OF 2 SHEETS	



ALL LANDSCAPE INSTALLATION SHALL BE PERMANENTLY MAINTAINED.
 ALL LANDSCAPE AREAS SHALL RECEIVE AUTOMATIC IRRIGATION SYSTEM.
 ALL LANDSCAPE PLANS AND INSTALLATIONS SHALL ADHERE TO CITY OF MONTCLAIR DESIGN GUIDELINES, CODES AND REGULATIONS.
 PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL BY THE CITY.

COMPLIANCE STATEMENT

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE WATER EFFICIENT LANDSCAPE REGULATIONS OF THE CITY OF ANAHEIM. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

