

September 11, 2023
7:00 P.M.

1. Call to Order
2. Roll Call
3. Guests and Residents
4. Old Business
 - A. An application from McNair Living, LLC for a Planned Unit Development Overlay Modification and General Development Plan approval regarding a proposed 144-unit independent living community facility on approximately 4.5 acres within the Vintage Club Planned Unit Development located south of Vintage Club Boulevard directly east of the Christ Hospital Outpatient Center.
5. New Business
 - A. Application for Expansion of a Conditional Use and Final Development Plan of a parking area for the Gate of Heaven Cemetery located at 11000 Montgomery Road.
 - B. Application for Expansion of a Conditional Use and Final Development Plan for an accessory service building for The Audi Connection located at 9678 Montgomery Road (Auditors Parcel Number 603-0002-0039-00).
6. Staff Report
7. Council Report
8. Approval of Minutes: July 17, 2023
9. Adjournment



Planning Commission

Application for General Development Plan and Modification of the Vintage Club Planned Development List of Conditions and Exceptions

September 11, 2023
Staff Update

Applicant: McNair Living
824 Bull Lea Run, Suite 215
Lexington, Kentucky 40511

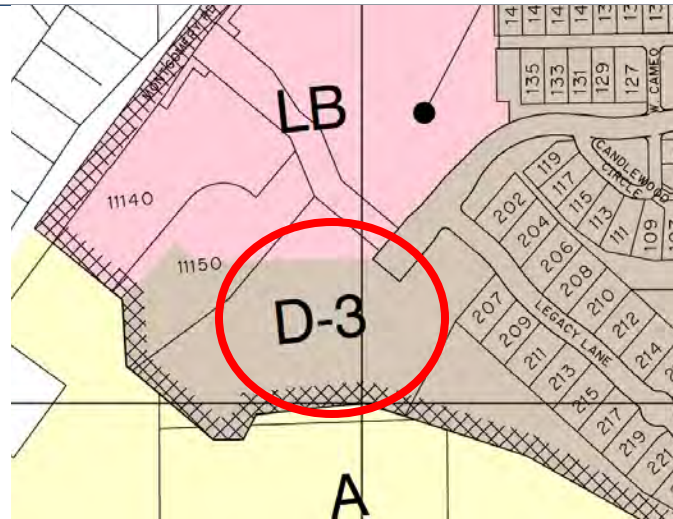
Property Owner: Traditions VC Developer LLC
4000 Executive Park Dr
Cincinnati, Ohio 45241

Update of Request:

Based on the comments provided by the Planning Commission at the July 17th meeting, the applicant has submitted an updated General Development Plan to address the emphasized topics of parking and building massing on the site. Additionally, due to the questions that occurred regarding the proposed underlying zoning change and the proposed changes to the List of Conditions and Exceptions, Staff is has provided information to help clarify the questions that were raised at the last meeting.

Permitted Zoning Uses

The parcel is zoned as 'LB' - Limited Business near Vintage Club Boulevard as well as 'D-3' - Multi-Family with a Planned Unit Development (PUD) Overlay. As presently zoned, the McNair BeSpoke facility is either conditionally permitted or permitted to locate on the site with the split zoning. Multifamily dwellings are permitted by right in this district D-3 District. Further, the unique nature of this development allows it to be classified as a Retirement Village or Mixed-Use Development due to the housing and dining facilities within and because of the outward facing intent to be open to the public for use. For classification, **it was determined that a Mixed-Use Development would be the most appropriate use group after speaking with the Law Director and the Staff review is based on the L-B related regulations.**



The Vintage Club’s original General Development Plan proposed multi-family condominiums with a mixed use residential and commercial building closer to Vintage Club Boulevard (thus the L-B designation in this area). **The current D-3 designation of much of the site has, since the inception of the PUD, permitted multi-family development (i.e., the independent living units) and the LB section would permit the proposed McNair restaurants.**

From a professional planning standpoint, the split zoning of a lot or a building is not a best practice due to bulk regulation (i.e., setbacks) differences as well as use differences that could occur within the same structure. To simplify the issue, **Staff in conjunction with a recommendation from the Law Director, proposed the underlying zoning change to coordinate with the applicable regulations.** It should be noted that **the applicant did not request a base zoning change.** The underlying D-3 zoning does not need to change to allow the proposed use. However, further conditions and exceptions would be necessary in the PUD to manage the setbacks etc. of two zones within one structure.

Furthermore, the intent to establish a Planned Unit Development “is to encourage and allow more creative and efficient design of land developments than is possible under subdivision and district zoning requirements. The PUD Overlay District is intended to allow substantial flexibility in planning and design. This flexibility often accrues in the form of relief from compliance with conventional subdivision regulations and zoning ordinance site and design requirements.” The Planning Commission has previously altered this specific PUD to allow differing siting requirements regarding height, setbacks, uses, etc.

Density

No specific maximum density for the Commercial LB in the PUD and the Code also does not set a maximum density of a Mixed-Use Development. The proposed

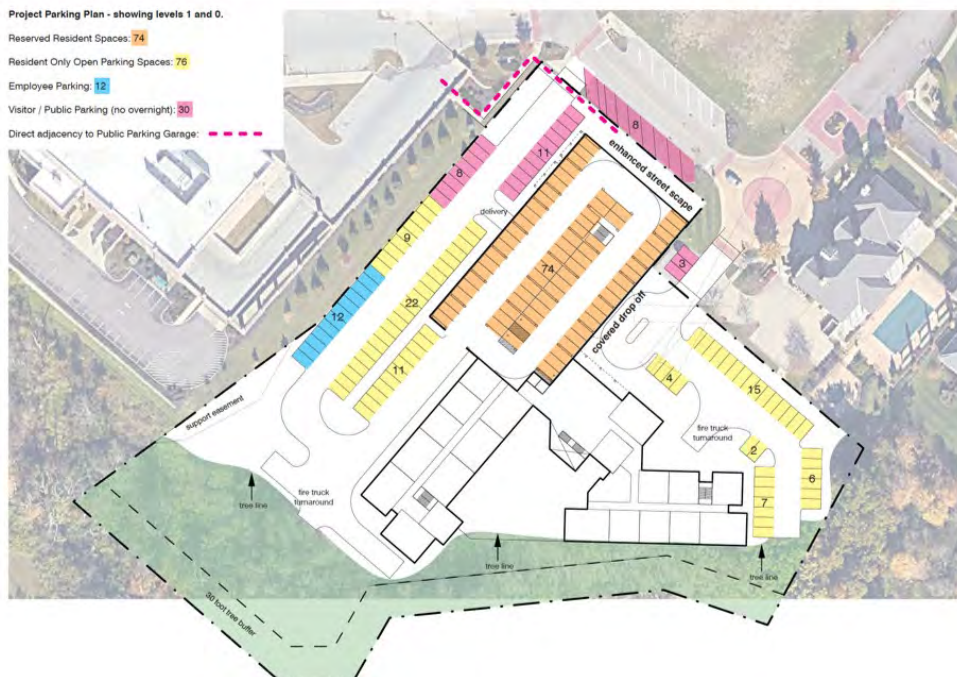
Commercial LB language is intended to limit the number of independent living apartments to 144.

Parking

The Planned Unit Development states that “The parking requirements for the LB District will be flexible and will be based on computations derived from Urban Land Institute methodology for mixed use, shared use projects. The computations will be presented to the Planning Commission for review.” The applicant has increased the previous parking proposed by 29 spots for a total of 181 spaces or approximately 1.2 parking ratio for the proposed 144 units. Additionally, the developer is proposing to leave approximately 7 spaces of on-street parking (vs. the current 8 spaces) and are researching the ability to possibly add 3 additional spaces near the secondary entrance closer to the roundabout. Overall, their site plan shows 150 reserved or resident only parking spaces, 12 employee dedicated spaces, and 19 visitor spaces for a total of 181 with another 10-11 potential on-streets spaces.

The applicant provided a ULI shared parking analysis based on the projected parking demand during weekday daytime, weekday evening, weekend daytime and weekend evening and has indicated that it was appropriate for the success of their proposed use.

PARKING RESOLUTION



For reference, Staff research indicates that the Independent Senior Living units at Twin Lakes Main Campus are parked at a 1:1 ratio and the Planning Commission approved a shared parking arrangement for the The Exchange at Twin Lakes in June 2018 based on a similar analysis regarding retail and commercial uses.

Building Scale and Massing

The standards of the PUD specifically mention building design in relation to scale and massing as well as the need to contain architectural features for facades, windows and doors, and roof types. Colors and building and accent materials are also regulated.

BUILDING SCALE RESOLUTION



The applicant has provided various illustrations of the current and forthcoming village environment that entails buildings C, J, and K as well as their proposed structure. The have updated the building design:

- By relocating units from the Vintage Club Boulevard frontage to reduce the vertical presence along the boulevard with a third story step back.
- Reducing the height of the drop off area to approximately two stories.
- Reducing the building scale from four to three stories along the eastern side viewable from Legacy Lane.

- Shortening the width of building along Vintage Club Boulevard by 12 feet to shrink the mass.

For comparison, Building C is approximately 83' wide facing Vintage Club Boulevard while the width of the BeSpoke structure is approximately 127' wide at Vintage Club Boulevard.

Building Height

The overall building is still proposed to be a maximum of 55' in height, however the updated design is intended to soften the perceived height with roof variations and building offsets to break up the scale. The current PUD permits a variation in height from the base code requirements to allow 50' in the D-3 (45' base code for multi-family) and 52' in the LB (45' is base code).



A comparable look regarding the height and scale can be found at Building C (following images) which ranges in height up to 53' to the parapet and even taller when considering the tower element facing Vintage Club Boulevard. The building also has various changes in roof elevations with the overall height average meeting the 52' requirement when considering all sides and topography. Within the update PUD text Staff suggested permitting a slightly taller structure that would also simplify the measuring aspect to consider it from the Vintage Club Boulevard perspective instead of an average to the significant grade change. As previously stated at the last meeting a precedent for a taller height has been established Christ Hospital at 57'.



WEST ELEVATION

SCALE: 1/8" = 1'-0"





EAST ELEVATION

SCALE 1/8" = 1'-0"



SOUTH ELEVATION

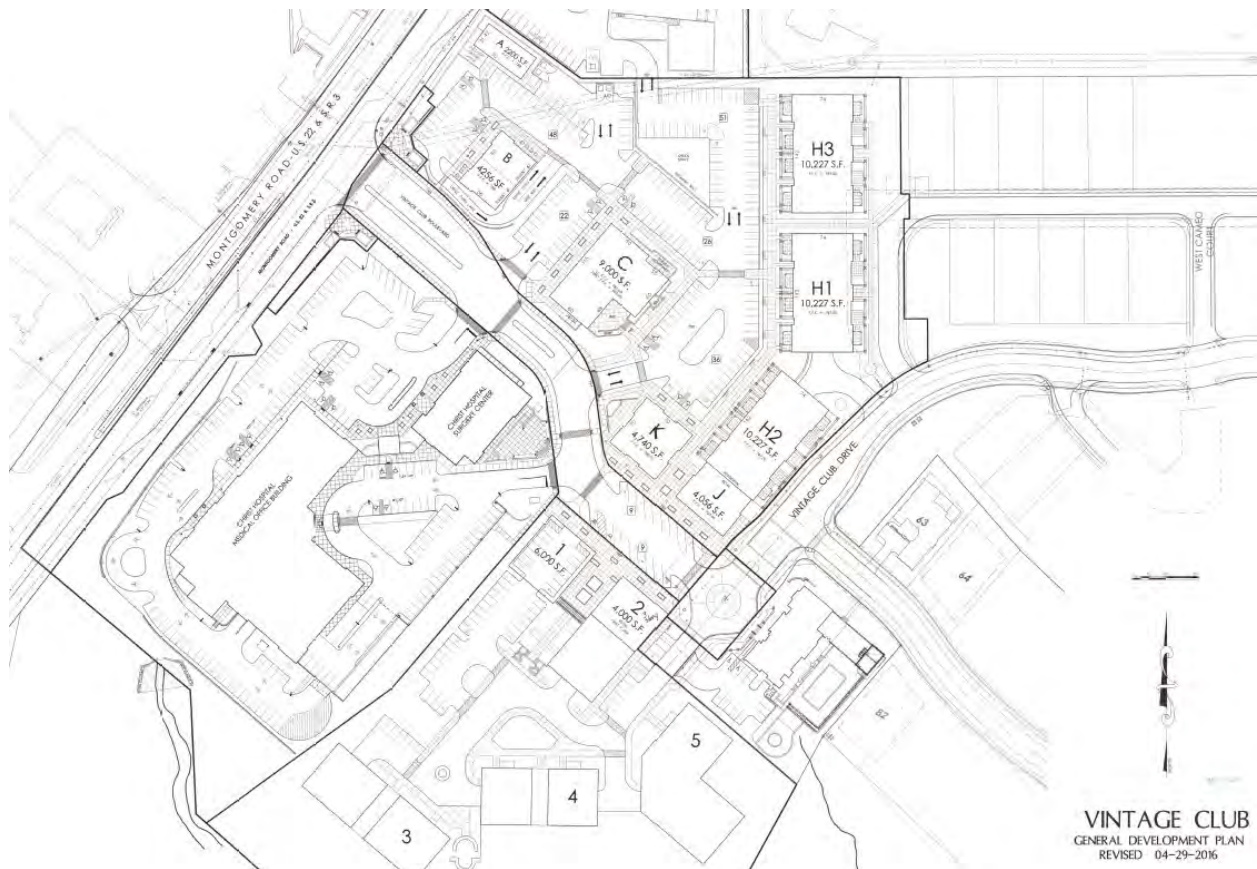
SCALE 1/8" = 1'-0"

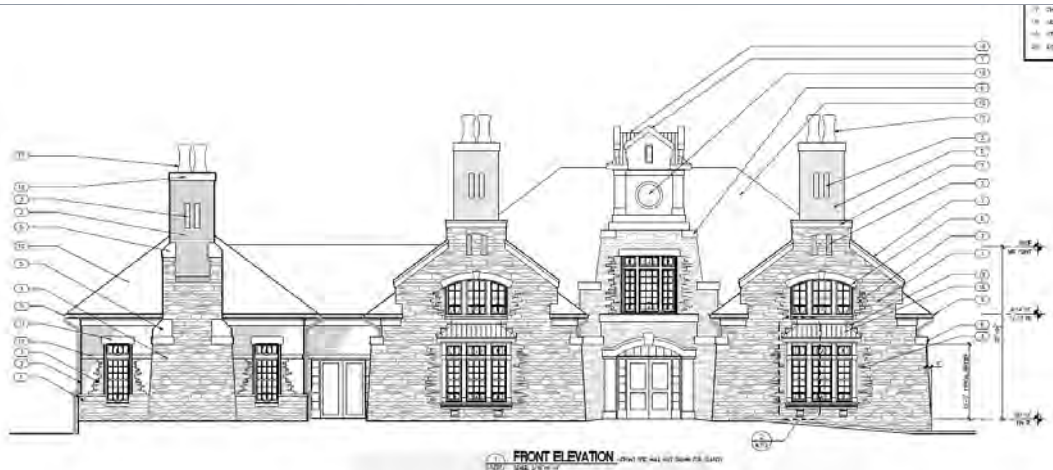
Overall, regarding the scale of the building in relation to the rest of the village, please find a table below indicating the approximate scale of building frontage along Vintage Club Drive and Vintage Club Boulevard.

Building Scale (Approx.) at Frontage*		
	Length	Height
Building C	83'	52'
Building H1	140'	42'
Building H2/J	140'	42'
Building H2/J	200'	42'
Building K	70'	
Christ Hospital Surgical Center	90'	57'
3 Chimney Club House	110'	41'**
McNair/Bespoke	127'	55'

*For consistency measurements are generally to top of parapet or highest element

**Top of Chimney





3 Chimneys Building

Setbacks

The BeSpoke Structure is setback approximately 24' from the property line and is within the 30' maximum. There are no other required setbacks in the Village Section; however, the building is setback 72' from the western (Christ Hospital) line and appears on or close to the eastern property line near the roundabout and in excess of 30' from other property lines. Further delineation of the setbacks will be required for the Final Development Plan.

Circulation and Access

The applicant will need to continue to work with the City Engineer, Public Works Director, and Fire Chief, regarding the proximity of the first access point to the proposed project and the adjacent Christ Hospital access. The pedestrian access and crosswalk will also need review to ensure safe access. After preliminary conversations, Staff is confident that a safe and viable solution will be designed. It is noted that due to separation requirements parking could be slightly impacted and may need redesign closer to this entrance point.

Staff Comments:

Hopefully the updated summary and attached plans and PowerPoint (the applicant intends on providing further context to the slides on Monday) have furthered understanding of the nature of the proposed changes to the General Development Plan.

Building mass and scale, parking, and the zoning approval process were the highlighted issues at the previous meeting. Regarding the scale and size of the building, the refined plans submitted have attempted to break up the massing of the structure with a building step back along Vintage Club Boulevard as well as relocating



STAFF REPORT

units to the rear of the site to allow a reduction in the width of the structure. The applicant's structure is approximately 3' taller than current PUD allotments but from a staff perspective, are in line with the current and future massing of buildings when considering that the majority of the structure will occur to the rear of sight on a sloped topography.

Staff believes it is important to consider when discussing **parking** that their analysis is relating the Zoning Code requirement to a market analysis. It is important to recognize that the PUD specifically accounts for such an analysis by stating that the **Urban Land Institute methodology is to be used to allow flexibility**. The applicant intends to further illustrate parking requirements of other jurisdictions as they pertain to independent or senior living. Staff reached out to other local jurisdictions such as Blue Ash and Wyoming for comparable and was informed they rely on similar studies and analysis regarding parking minimums and do not have minimum parking requirements in their zoning code. When considering the previous determination of a 1:1 parking approval for Twin Lakes Independent Living Units in combination with a shared parking analysis of adjacent commercial and retail uses, Staff understands McNair's own experience in showing that only one space per unit is necessary for their residents, as many no longer drive as much and that they will have available black car and a shuttle service. Within that framework, they have adjusted the General Development Plan to create 29 additional parking spaces for a 1.2 parking ratio.

The current D-3 Zoning designation of much of the site has, since the inception of the PUD, permitted multi-family development and the LB section would permit the proposed restaurants. Staff wants to emphasize that **it was Staff that proposed the underlying zoning adjustment after consultation with the Law Director** to allow for consistency in site plan regulations as well as use future enforcement and to eliminate multiple zoning designations on one parcel. The current zoning does not regulate the density of a mixed-use development and in addition to the other PUD proposed changes, the City is including a limitation of 144 units as a cap to control density on the site. It may appear that many changes are proposed but, many are minor reference name changes to City Engineer, Development Team, etc. There are only four changes to the List of Conditions and Exceptions of substance:

- Removal of the Residential D3 section as a result of Staff's suggestion to make the underlying zoning consistent. The language is no longer necessary as the zone would not exist.
- Limiting the density to 144 units.
- Adjustment to Building Height.
- Recognizing the intent for outdoor community space related to the forthcoming restaurant and increasing the setback to allow for outdoor dining and open space.

Staff believes that the proposal is in compliance with the conditional use regulations and meets the Montgomery Code of Ordinances in regard to access and circulation both within and on/off the site. The issues that will need to be reviewed prior to a vote are listed below:

- Discussion of proposed changes to the List of Conditions and Exceptions
- Review and discussion of the shared parking analysis

If Planning Commission approves the revised General Development Plan and recommends approval of the proposed modifications to the List of Conditions and Exceptions, Staff would recommend the following conditions:

- Acceptance of the ULI parking analysis provided by the applicant and updated parking plan of 1.2 parking ratio for the independent living units.
- Further discussions with the City regarding appropriate access configuration with the condition to be reviewed and refined as necessary during Final Development Plan approval.
- Review current pedestrian access options and make enhancements where possible to the public parking garage.
- The stormwater management, utility and grading plans be reviewed and approved by the City Engineer.
- A copy of the NPDES permit from the Ohio EPA be supplied to the Community Development Director.
- A copy of the Post Construction Best Management Plan Inspection and Maintenance Plan (I & M Plan) be properly recorded after completion of the stormwater improvements.



September 5, 2023

SENT VIA ELECTRONIC MAIL

City of Montgomery Planning Commission
Kevin Chesar, Community Development Director
10101 Montgomery Road
Montgomery, Ohio 45242

WITH COPY TO

Traditions Building and Development
Tom Humes, President
4000 Executive Park Road, Suite 250
Sharonville, Ohio 45241

RE: Requested Materials for September 11, 2023 City of Montgomery Planning Commission

Mr. Chesar,

At your request, I am providing materials in response to your questions ahead of Monday's City of Montgomery Planning Commission ("Montgomery") meeting relative to our proposed development, Bespoke at The Vintage Club ("Bespoke"). This proposed development has been previously discussed within a multitude of HOA driven meetings, along with three meetings with members of the City of Montgomery. We are thankful for the feedback of both the City Council and HOA committee members which has further bettered our development and project plan.

Project Description

McNair Living ("McNair") proposes to build a boutique independent living community within The Vintage Club PUD shown within **Exhibit A** to be part of their Bespoke product line.

1. The project would include between approximately 144 units.
2. Square footages:
 - a. Leasable space for residential units: 170,513 SF
 - b. Common space: 30,960 SF
 - c. Total: 201,473 SF
3. The project is designed such that the various building amenities are located along the street at ground level in order to create a retail type of environment that is open and accessible to the surrounding community.
4. Covered resident drop off will be located along an extension of Vintage Club Drive, internal to the site. The entire ground floor along Vintage Club Blvd. is reserved for the public facing program amenity program with direct access from the sidewalk along Vintage Club Blvd., similar to any retail type of environment.

Resolutions

Following our initial General Development Plan planning, the team has worked on a number of items to incorporate the feedback we heard at the last meeting. Those items are as follows:



1. **Building Massing:** In order to address verbalized concerns about the scale of the building in relation to the surrounding Vintage Club development, we relocated a number of units from the street edge to the south side of the property near the tree line.
 - a. Vintage Club Blvd. - This reduced the number of stories from three stories to two stories.
 - b. Vintage Club Drive - This reduced a portion of the building stories down from four to two stories adjacent to our drop off area, creating a more varied building scale at the termination of Vintage Club Drive.
 - c. Legacy Lane - This reduced the building scale from four to three stories along the eastern edge closest to the neighbors along Legacy Lane.
2. **Building Set Back:** The Project has been pulled back from Vintage Club Blvd. an additional 12 feet from where it was previously shown to the City of Montgomery Planning Commission. This has created a larger public realm along the street.
3. **Building Presentation:** The Project has been reduced in its overall width by 12 feet, shortening the length of building along Vintage Club Blvd.
4. **Building Parking:** The 12-foot reduction in width allowed us to add an additional 29 parking spaces along the western property line adjacent the public parking garage.
5. **Building Height:** The average overall building height has not changed from what was previously presented; however, with the reduction in stories along most of Vintage Club Blvd., the perceived building height from street level on the Blvd. has been reduced.
6. **Building Amenity Design:** We have included some additional imagery that speaks to the types of activated programs along the street front, from indoor and outdoor dining, to cafes, gelato, workshare, and workout spaces.

It is our hope that with these changes and the additional information provided, that the City of Montgomery Planning Commission will look favorably upon this important project to complete the vision for The Vintage Club.

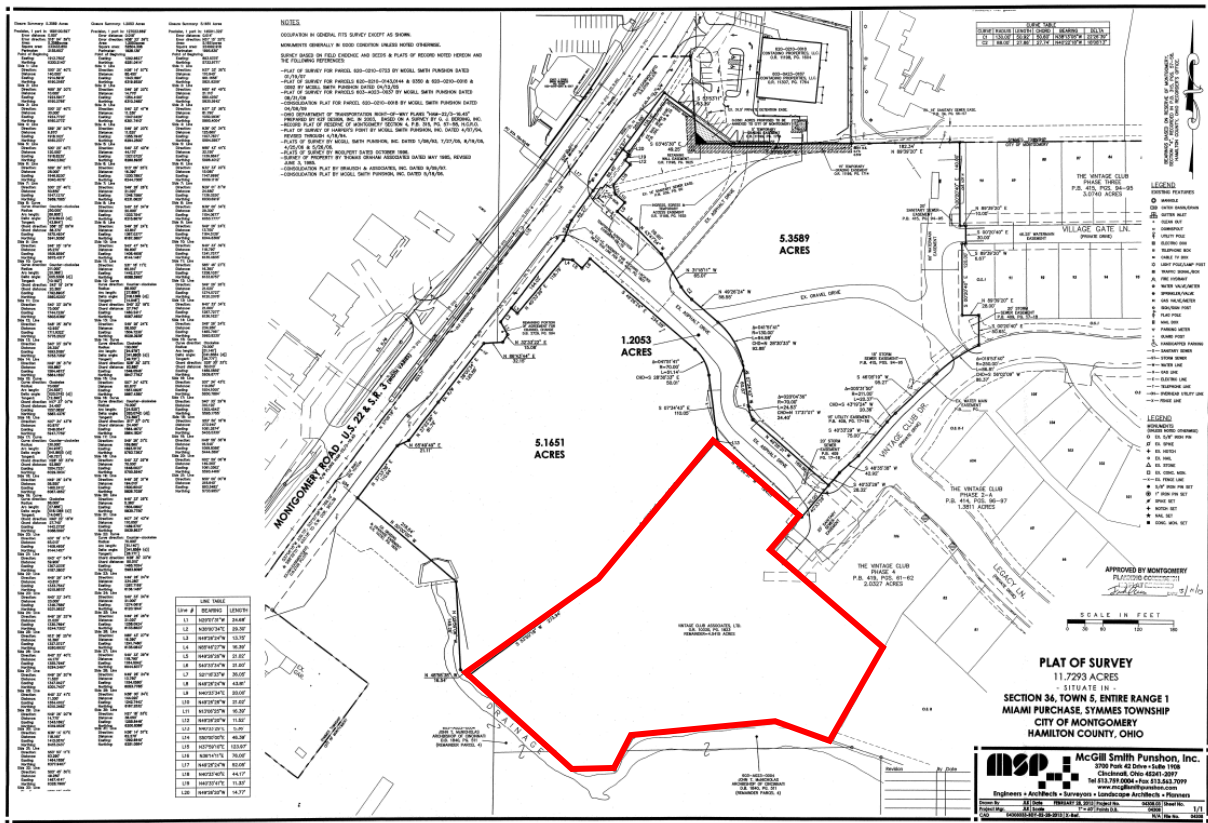
Should you have any questions in advance of our meeting, please do not hesitate to reach out to me at 859.444.7163 or rob.wolf@mcnair.com.

Grateful,

Rob Wolf
Senior Director, Construction



Exhibit A – Location of Development



Annotations

1. Parcel is measured at approximately 4.5415 acres.
2. A 30-foot-wide tree buffer along the south edge of the Property is not developable, yielding only 3.15 usable acres for the Project.
3. The above delineation includes at least two separate parcels owned by VC Developer LLC and Traditions VC K LLC.



BESPOKE
AT THE VINTAGE CLUB

Bespoke at The Vintage Club

City of Montgomery Planning Commission
Introduction to McNair Living
Monday, September 11, 2023



AGENDA

- 1 **WHAT IS BESPOKE?**
- 2 **DEFINING INDEPENDENT LIVING**
- 3 **RESOLUTIONS**
- 4 **FREQUENTLY ASKED QUESTIONS**



WHAT IS BESPOKE?

- Many of the senior living communities in the northern suburbs of Cincinnati are focused on a continuum of care ("CCRC"). These require expensive buy-in fees, a fear-based model to provide "care" for the rest of your life and serve as a model of a true "senior living community."
- Bespoke at The Vintage Club would not provide any care as it's considered "independent living." We would provide an in-house home health agency that would be able to be utilized by anyone in the Montgomery community.
- Bespoke is a tailor-made experience for the older adult who really isn't considered senior living at all. The finish product would be on par with what you'd expect at a boutique hotel like the Lytle Park in downtown Cincinnati.
- Clientele profile
 - Typically, 65+ years old, very active, in good health, and is fully subscribed to health, wellness, and longevity.
 - Part of the Boomer demographic that would prefer to stay in their own home instead of moving into "senior living".



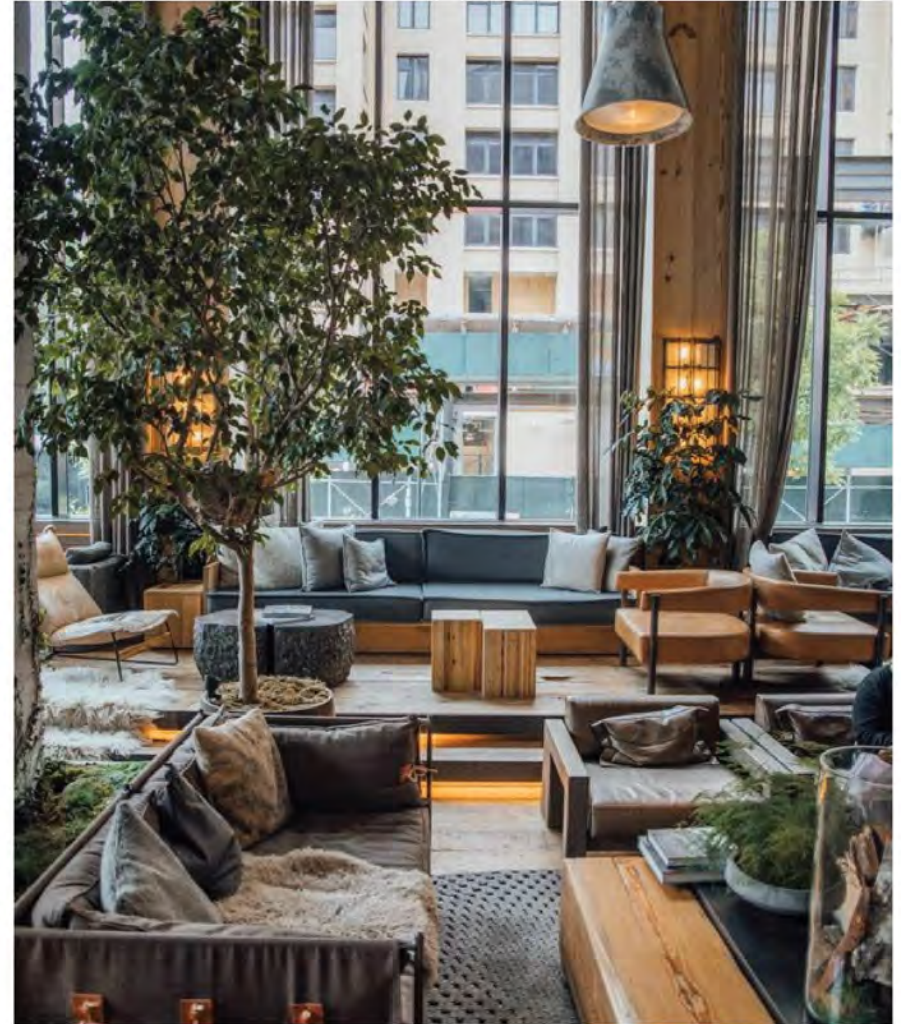
BESPOKE AT THE VINTAGE CLUB

- 144 boutique independent living units
 - (3) studios
 - (82) 1 bedrooms
 - (54) 2 bedrooms
 - (5) penthouses
- Total square footage ~200K SF, with average unit sizes of nearly ~866 SF
- Nearly 39% of the community would be common spaces, many of which are open to the public.
- Community would be self-parked with covered/ surface parking.
- Unit finishes would be consistent of any high-end home within The Vintage Club, including wood floors, top-end appliances, quartz countertops, etc.
- Common amenities include public facing restaurants, coffee shop, bar, wellness center, business center, etc.
- Focus of height is towards the back of the property, and not to the center of The Vintage Club, which is covered more thoroughly in the subsequent slides.



BESPOKE AT THE VINTAGE CLUB DESIGN

lobby



BESPOKE AT THE VINTAGE CLUB DESIGN

workshare



BESPOKE AT THE VINTAGE CLUB DESIGN

restaurant



BESPOKE AT THE VINTAGE CLUB DESIGN

cafe



BESPOKE AT THE VINTAGE CLUB DESIGN

gelato



BESPOKE AT THE VINTAGE CLUB DESIGN

bar



BESPOKE AT THE VINTAGE CLUB DESIGN

pizza oven



BESPOKE AT THE VINTAGE CLUB DESIGN

outdoor dining



BESPOKE AT THE VINTAGE CLUB DESIGN

athletes center



BESPOKE AT THE VINTAGE CLUB DESIGN

yoga





BESPOKE
AT THE VINTAGE CLUB

DEFINING INDEPENDENT LIVING



WHAT'S INDEPENDENT LIVING?

WHAT IT'S NOT

- 55+ Apartments (A/K/A "Active Adult" and "Senior Apartments")
- "Senior Living", "Assisted Living", "Memory Care", or "Skilled Nursing"
- Continuing Care Retirement Community = \$250K - \$1 MM initial fee

WHAT IT IS

- Membership-driven living experience that consolidates many monthly living expenses into a single payment:
 - One bedroom, two bedroom, or penthouse accommodations
 - Daily credit at multiple chef-driven dining venues
 - Black car transportation service
 - Both self guided and group instructed fitness options
 - Utilities, high speed internet, and access to all amenities
 - Membership fees start at \$10,000 at move in





BESPOKE
AT THE VINTAGE CLUB

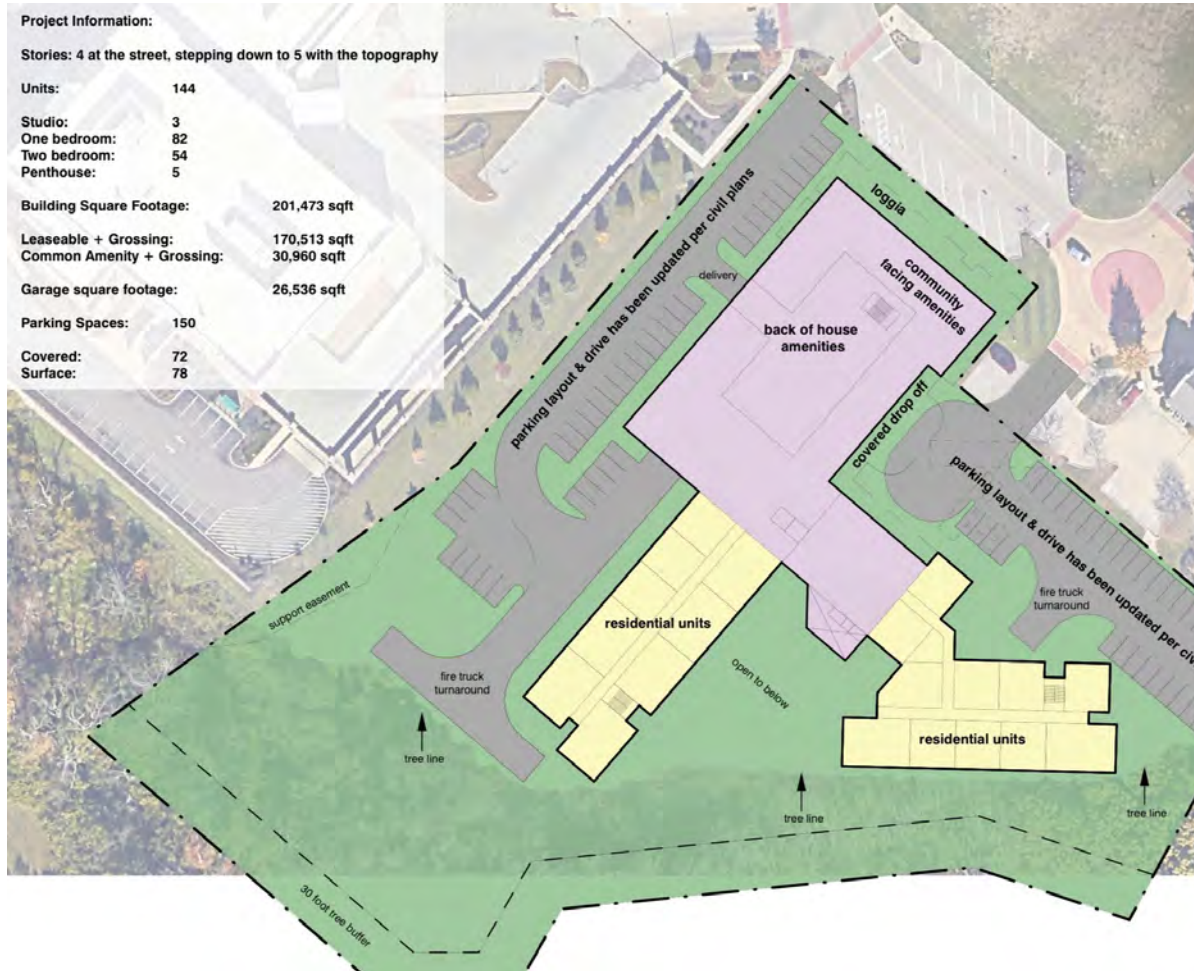
BESPOKE RESOLUTIONS



PARKING

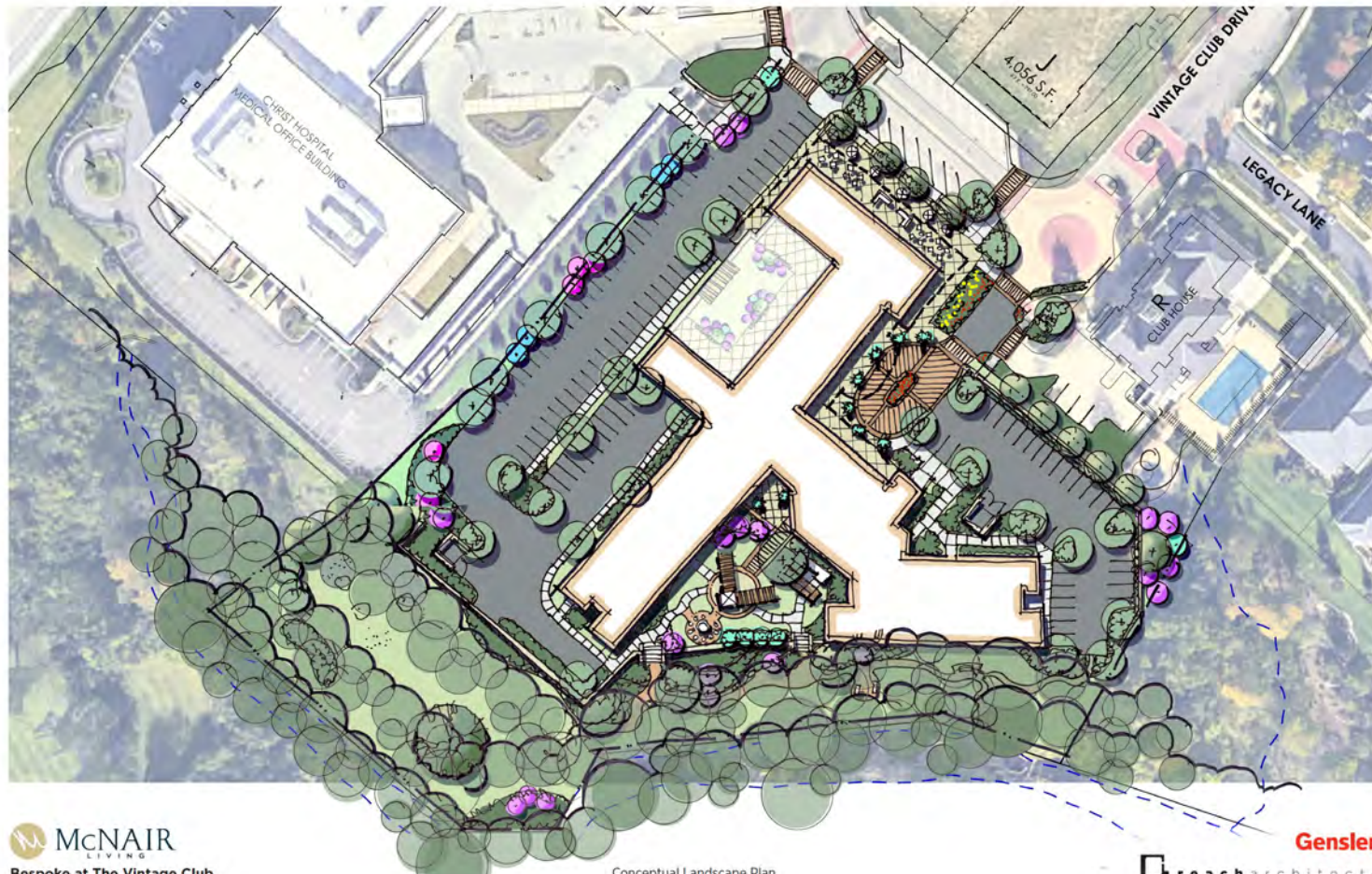
WHAT WE HEARD

The development lacked the appropriate number of parking spaces.



PARKING RESOLUTION

We added 29 parking spaces by narrowing the building up by 12 feet, as we are holding the property on the east side by the roundabout. There will be 12 feet less of building along Vintage Club Blvd. **Ratio = 1.2:1**



NATIONAL TRENDS IN IL PARKING

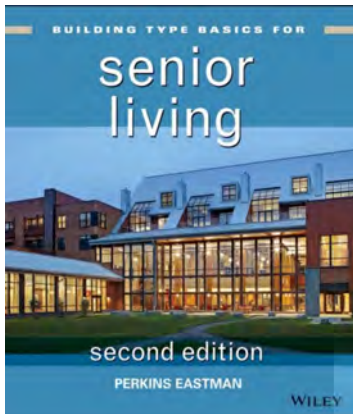
PARKING

Parking demand varies by building type, as well as with the location of the facility (e.g., whether it is in an urban area close to services and public transportation or in an area with limited services). For the purpose of assessing parking demand, a distinction is made between (1) senior housing and independent living facilities that offer very few, if any, services; (2) assisted living facilities (i.e., a housing facility that includes additional staff to help with activities of daily living); and (3) continuing care facilities that contain a full spectrum of housing types, from independent living to nursing care. The following summarizes the results of parking surveys undertaken at the three types of facilities.

Based on a research paper prepared for the Institute of Transportation Engineers, a survey of CCRCs and assisted living and independent living facilities found an actual parking need of 0.3–0.5 cars per unit. Most zoning codes, however, mandate at least 0.3 spaces per bed for nursing homes, 0.5 spaces per unit for assisted living, and one or more spaces per unit for market-rate independent living. Active adult communities typically must comply with normal residential zoning. Since the parking required by zoning is often excessive, some local planning boards permit less, with a portion of the site land banked for additional parking should it be required.

The above parking ratios include residents, employees, and visitors, and they represent the peak parking ratio on a typical weekday. Do not segregate visitor parking demand from employee and resident parking; because the individual demands do not peak at the same times, they can share the same spaces. Peak parking demand on weekdays generally occurs during the early afternoon, when the number of visitors is relatively high and staff shifts overlap. The impact of the shift overlap can be minimized if a portion of the day shift leaves before the bulk of the evening shift arrives. The peak day of the year is generally Mother's Day. Temporary parking overflow possibilities should be provided for this annual event as well as other major holidays.

For all the above facility types, the proximity to public transportation and the provision of shuttle services affects parking demand. These services are important for employees as well as for residents. Access to public transportation or a shuttle service allows staff to get to work without driving, thereby decreasing the need for parking spaces, and allows residents to travel to nearby shopping areas and visit friends and relatives in the area.



NATIONAL TRENDS IN IL PARKING

Fairfax County, Virginia (Population: 1.14mm)

Funeral Home	1 space per 4 seats in the main chapel or parlor
Health Care	
Adult Day Care Center ¹⁶	2 spaces per 1,000 square feet of gross floor area
Continuing Care Facility	0.75 spaces per separate unit or bed approved on the development plan
Independent Living Facility ¹⁷	0.75 spaces per separate unit
Medical Care Facility ¹⁸	<p>Hospital: 2.9 spaces per bed licensed by the State</p> <p>Institution providing intensive special medical or mental care: 1 space per 2 patients</p> <p>Assisted Living or Nursing Facility: 1 space per 3 residents</p>

Orem, Utah (Population: 98K)

Zone	Definition	Parking Requirement
PD-32 zone, MBARQ Senior Independent Living Facility	The purpose of the PD-32 zone is to allow development of a senior independent living facility.	Parking shall be provided at the rate of 0.7 parking stalls per apartment unit. All parking areas shall comply with Article 22-15 (Off-Street Parking) of the Orem City Code.

Houston, Texas (Population: 2.28mm)

d. Retirement community (with kitchen facilities)	0.75 parking spaces per dwelling unit, plus 1.0 space per employee on the largest shift
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NATIONAL TRENDS IN IL PARKING

Montgomery County, Maryland (Suburban Washington DC) (Population: 1.05mm)

		COMMERCIAL/RESIDENTIAL AND EMPLOYMENT ZONES			
		AGRICULTURAL, RURAL RESIDENTIAL, RESIDENTIAL, AND INDUSTRIAL ZONES	Within a Parking Lot District or Reduced Parking Area		Outside a Parking Lo. District or Reduced Parking Area
			Baseline Minimum	Baseline Minimum	Baseline Maximum
GROUP LIVING	3 Bedroom Dwelling Unit	2.00	1.00	2.00	2.00
Dormitory	Bed	0.25	0.25	0.25	0.25
Independent Living Facility for Seniors or Persons with Disabilities	OR: Dwelling Unit or PLQ	1.00	0.50	1.00	1.00
Personal Living Quarters					
Residential Care Facility	plus, Employee	0.50	0.50	0.50	0.50

Cincinnati, Ohio (Population: 2.25mm)

Use	Required Spaces (min)
Residential	
All household living	1 per unit
All group living, as listed below:	
Group residential	1 per 2 residents
Residential care facility	1 per 4 residents
All social service	1 per facility plus 1 per 8 beds



PARKING RESOLUTION

Project Parking Plan - showing levels 1 and 0.

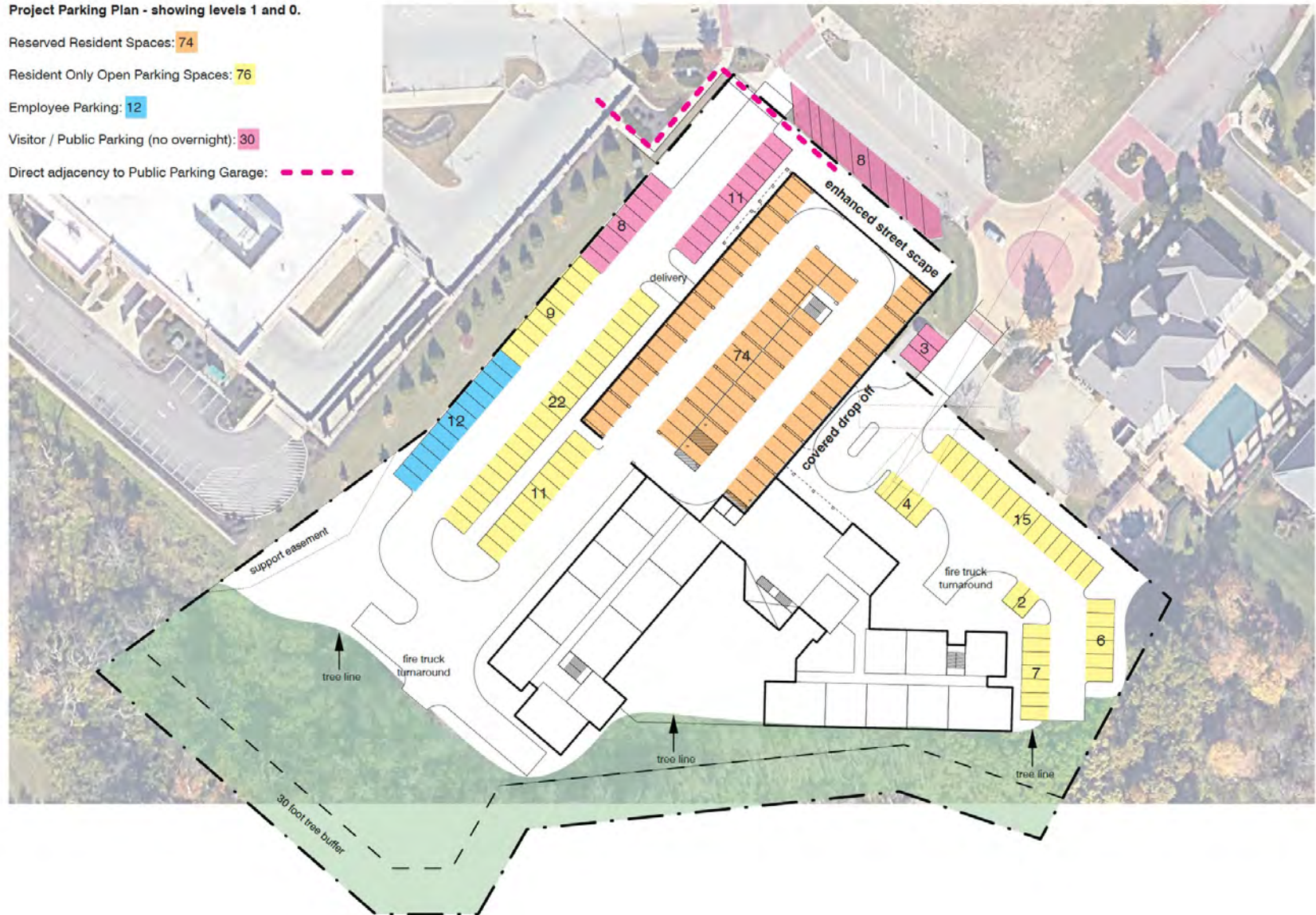
Reserved Resident Spaces: 74

Resident Only Open Parking Spaces: 76

Employee Parking: 12

Visitor / Public Parking (no overnight): 30

Direct adjacency to Public Parking Garage: - - - - -



BUILDING SCALE

WHAT WE HEARD

- Building might look too big compared to the other building at The Vintage Club.
- Building will cast shadows on the club house and neighboring homes.
- The development will cut down all of the trees near the residences on Legacy Lane and their view of the trees will be impacted.



BUILDING SCALE RESOLUTION



BUILDING SCALE RESOLUTION



BUILDING SCALE RESOLUTION



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BUILDING SCALE RESOLUTION



BUILDING SCALE RESOLUTION



BUILDING SCALE RESOLUTION



BUILDING SCALE RESOLUTION



BUILDING SCALE RESOLUTION

We repositioned units to the south end of the site which allowed us to:

- Removed 12 feet of width from the front of the building along Vintage Club Blvd.
- Repositioned the building so that it is now 44 feet from Vintage Club Blvd.
- Removed third floor units from Vintage Club Blvd., bringing down most of the street façade to two stories.
- Removed third and fourth floor units from the façade facing Vintage Club Drive & the round-about to create more variation in building massing.
- Removed fourth floor units from the portion of the building closest to the residents on Legacy Lane.



BUILDING SCALE RESOLUTION



BUILDING SCALE RESOLUTION



BUILDING SCALE RESOLUTION

Project Information:

Stories: 2 to 3 at the street, stepping up to 4, and then stepping down to 5 with the topography

Units: 144

Studio: 3

One bedroom: 82

Two bedroom: 54

Penthouse: 5

Building Square Footage: 201,473 sqft

Leaseable + Grossing: 170,513 sqft

Common Amenity + Grossing: 30,960 sqft

Garage square footage: 26,536 sqft

Parking Spaces: 181

Covered: 74

Surface: 107



BUILDING SCALE RESOLUTION





BESPOKE
AT THE VINTAGE CLUB

FREQUENTLY ASKED QUESTIONS



Are your communities considered "multi-family"?

- No. Apartment complexes are not age restricted, usually have <20% common space, and do not require membership fees.
- In contrast, Bespoke communities are age-restricted, require a country-club style membership fee, and are in excess of 40% common space.

Nationally, what are the trends in parking for Independent Living?

- As shown on previous slides, the most common ratio of units to parking spaces for Independent Living ranges from 0.75:1 to 1:1.

Nationally, what is the average length of stay in your residences?

- Data from the American Senior Housing Association shows that the average length of stay of Independent Living residents is 4.98 years.
- In contrast, data from ResidentRated shows the average length of stay in an apartment community is 2.29 years.

Nationally, what are the trends in single versus dual occupancy for Independent Living?

- It's typical that 5-10% of units are dual occupied, per *Building Types Basics for Senior Living, 2nd Edition*. Just because a unit is two bedroom doesn't make it a dual occupied unit.

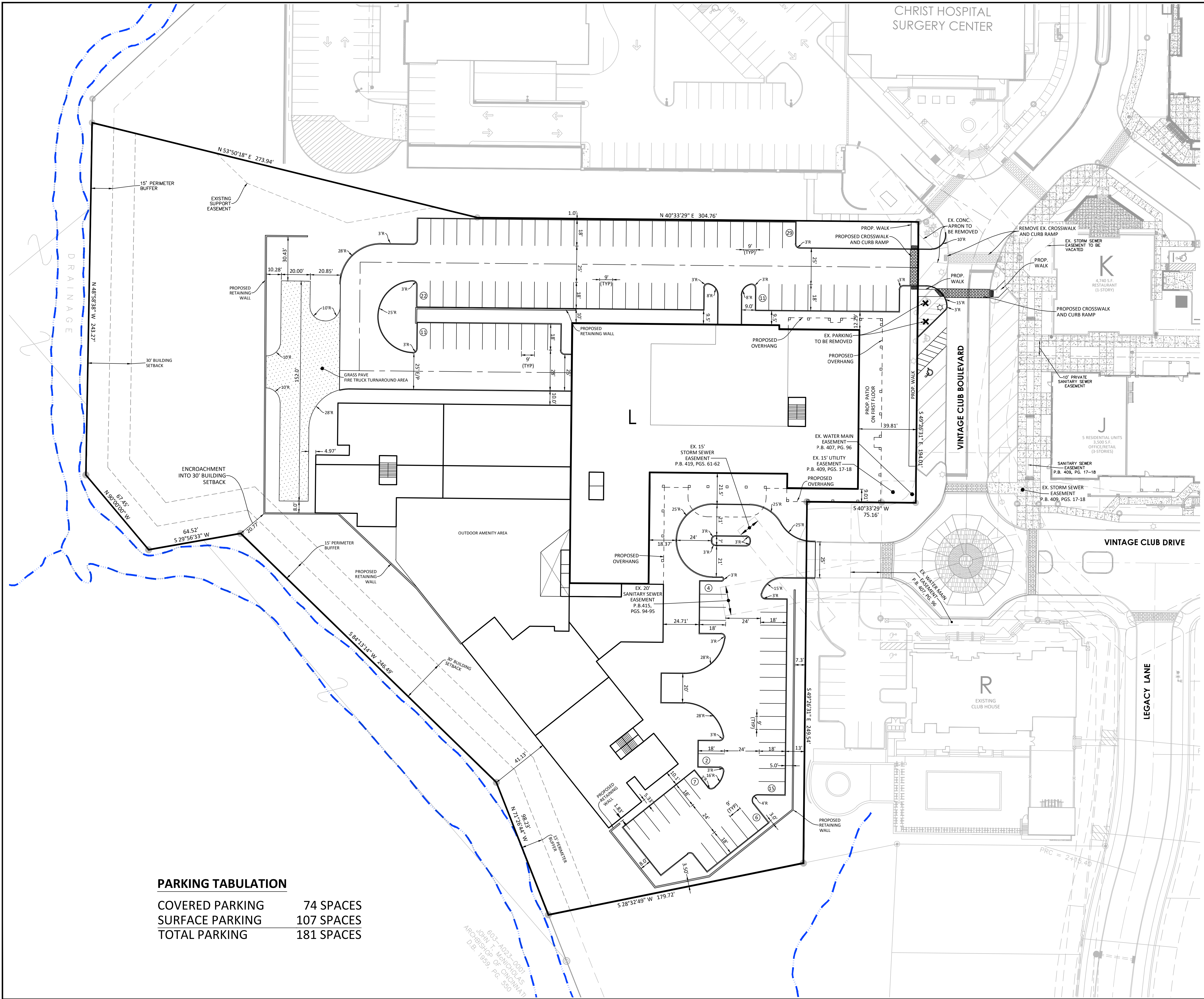




BESPOKE
AT THE VINTAGE CLUB

THANK YOU





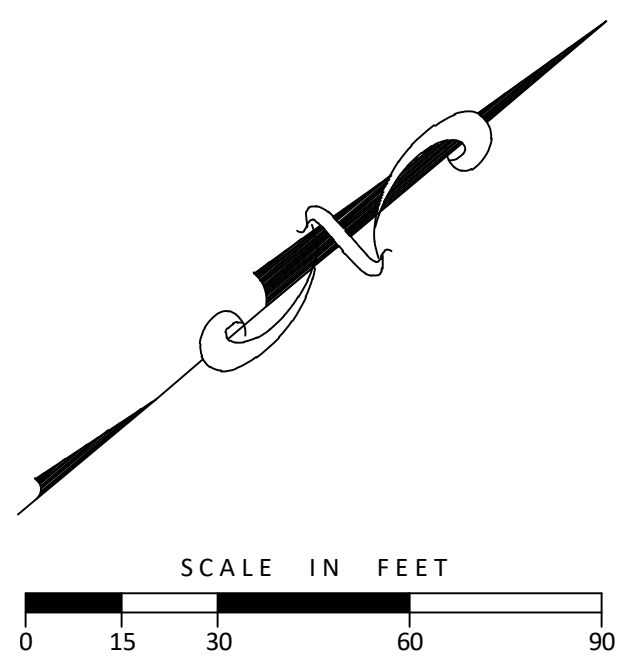
PARKING TABULATION

COVERED PARKING	74 SPACES
SURFACE PARKING	107 SPACES
TOTAL PARKING	181 SPACES

603-4222-0001
JOHN T. McNICOLAS
ARCHITECT/SHOP OF CINCINNATI
D.B. 1959, PG. 550

**BESPOKE AT VINTAGE CLUB
VINTAGE CLUB
AT THE RESERVE
PHASE 11**

SECTION 36, TOWN 5, ENTIRE RANGE 1,
SYMMES TOWNSHIP
CITY OF MONTGOMERY, HAMILTON COUNTY, OHIO



Sheet Title

LAYOUT PLAN

Project Number	04308.25
Drawing Scale	1" = 30'
Sheet Number	1/3
File Number	04308

OHIO811.org
Before You Dig
811 OR 1-800-362-2764
CALL TWO WORKING DAYS BEFORE YOU DIG
(NON MEMBERS MUST BE CALLED DIRECTLY)

N:\land projects\04308\04308.dwg\04308254-PRE-2023.dwg - 01-Lay (Bldg L) 9/6/2023 12:02:00 PM, nak



August 28, 2023

Montgomery Planning Commission
10101 Montgomery Road
Montgomery, OH 45242

Dear Members of Montgomery Planning Commission,

Please accept this letter of support for the proposed McNair Bespoke project at the Vintage Club. Having lived in Montgomery since 1998, we moved to the Vintage Club in 2017 with the notion of "right-sizing" and in anticipation of eventual build out of the original village concept. We have even moved within the neighborhood to a slightly larger footprint as we enjoy it so much here.

Our residence at 209 Legacy will be one of the few houses closely impacted by the project, yet we support it. Why? Because it was the plan all along for this to be a mixed use "luxury" neighborhood. The Bespoke project is a quality fulfillment of that vision as it is clear the market will not support as many condos as once envisioned.

As you know by now, the land in question was originally plotted for 3 large condo buildings, 1 mixed use condo/retail unit and one commercial unit. The current Wicks promotional material (attached) illustrates the five 3-story buildings and surface parking which would cover the entire space. The neighborhood has ALWAYS anticipated that multi-family housing and commercial retail and/or a restaurant would be developed here and in greater density than the single-family residential area. In fact, the zoning established within the PUD clearly expresses that would be the nature of the development. Unfortunately, there is a common misconception by some of the new residents who are unfamiliar with the details of the community's inception and the availability under the code.

As much complaint as there is over the potential traffic volumes that will be created by the proposed project, the original design of the development had 100% of the traffic circulating through the traffic circle which would have a significant impact on those leaving the neighborhood. Under the newly proposed project, the majority of residents and staff of Bespoke will enter at an earlier, western entrance thereby LIMITING traffic at the circle.

Another concern is the scale of the buildings. I believe many don't visually account for the eventual 3-story condo/retail building on the northern corner that now sits vacant. Its design is much larger than the two existing condo buildings and as such will be fully complimentary to the Bespoke project in creating the urban boulevard. If it existed first, the proposed building would not seem so overwhelming.

Lastly, there are comments surrounding the stigma of "apartments" and the "risk of becoming Section 8 housing". Anthology at the Summit of Blue Ash, The Kenwood in Maderia and Twin Lakes in Montgomery currently offer similar products as proposed – independent living with a monthly fee, all at a high-end cost. I don't hear these types of comments with respect to any of those projects. This type of housing demand is growing rapidly, and Bespoke chose our neighborhood because it can command a premium, not vice versa.

Having spent nearly two years on the City of Montgomery Board of Zoning Appeals and twelve years on City Council, I understand how it feels to field objections from the public. I'm sure you have been in this position before as change is difficult for many. You mostly face vocal opposition in public meetings while those who don't mind the outcome or even approve, often stay home. As you count the heads in the room, keep in mind that there are over 120 current residences in the Vintage Club. If a majority aren't at the meeting, you can interpret from their absence how they feel about the project.

As you review the application, please review the standards objectively. Does the project fit within the code? Have any modifications provided by McNair partially or fully offset the concerns of the abutting neighborhood? I would also hope that you also consider the alternative. The Vintage Club has been much slower to complete than anticipated. The alternative is to allow it to continue to languish, incomplete and at risk of a future economic downturn that further delays its development. Sixteen years is long enough – the applicant's project appears compliant with the code, fits the original purpose, with complementary design and function. It is an attractive alternative.

As nearby neighbors, we believe the project will reflect well on our neighborhood, be a positive for Montgomery as a whole, and we will be pleased to have it once completed. Please see pass this through to City Council with your approval.

Respectfully Submitted,



Todd Steinbrink
209 Legacy Lane
Montgomery, OH 45249

July 13, 2023

Kevin Chesar
Community Development Director
City of Montgomery

Subject: Public Hearing Comments: BeSpoke at Vintage Club

As owners in Vintage Club, we are expressing our strong support of the application of BeSpoke at Vintage Club with one condition: The Vintage Club Boulevard roundabout, owned by the City of Montgomery, west of the Vintage Club clubhouse be redesigned as part of this development.

This roundabout has created several problems:

- The one lane roundabout does not allow guest drop off, package delivery, and/ or valet parking at the Clubhouse without completely blocking legal traffic flow. Every time this roundabout is blocked, we see cars cutting across or through the roundabout in the wrong direction to enter Vintage Club. A one lane roundabout does not work in front of the clubhouse now. This safety situation will be worsened with the addition of BeSpoke traffic in this area.
- Visitors miss seeing the roundabout signage prior to entering the roundabout and they do not see the brick elevation change because there is no noticeable marker or circle in the middle to demonstrate it is a roundabout. There are no lane markings. Vehicles cut across the roundabout not realizing, it is a one-way roundabout until they go over the curb and are jolted. The current roundabout marking is unclear.

The current roundabout is confusing and unsafe. Adding BeSpoke traffic will likely escalate the risk of accidents in the roundabout.

We strongly recommend you approve the proposed BeSpoke application with the stipulation to redesign or eliminate the roundabout.

W. Scofield Barbara Cameron
48 Traditions Turn
Montgomery, OH 45249

From: [Bill Carroll](#)
To: [Kevin Chesar](#)
Subject: Fwd: McNair Project at the Vintage Club
Date: Thursday, August 17, 2023 12:22:42 PM

Please note - the original attachment made the email too large, so I am sending in two pieces, with the attachments separate. Thanks, Bill

From: "Bill Carroll" <willyc@zoomtown.com>
To: "kchesar" <kchesar@montgomeryohio.gov>
Cc: cor@zoomtown.com, "Paul Trenz" <ptrenz15@gmail.com>, "Todd Steinbrink" <t.steinbrink@yahoo.com>, "Bill Carroll" <willyc@zoomtown.com>
Sent: Thursday, August 17, 2023 12:19:38 PM
Subject: Fwd: McNair Project at the Vintage Club

Dear Montgomery Planning Commissioners: - my name is Bill Carroll, and I am a 14 year resident at the Vintage Club. I am writing in support of the proposed McNair project at VC, for the following reasons as set forth below.

* As you know, this community has been "in progress" for many years. Economic conditions have presented some challenges, but I applaud Tom Humes and Traditions for sticking, as close as possible, to the original vision. Conditions beyond his control have delayed the full realization of the potential for this community, but we are now presented with an opportunity to finally realize it's true potential. Is it the original plan? No, but it's close enough. The McNair project is a high end project, worthy of it's Bespoke name. We have heard this project incorrectly described from everything from a hotel to Section 8 housing. It's just not true, but there has been a very vocal minority that has had the loudest voice so far in this discussion. I believe a more fair description would reveal that the project has more support in the community than what was represented at the last community meeting. During that meeting you asked Mr. Humes if he expected the kind of reaction that was voiced at the meeting. I can't speak for him, but I'm guessing there was a feeling of being blindsided to a certain extent. As a member of the Finance Committee, our discussions had been positive. Hearing the vocal minority was unexpected to many in attendance. I wish I had more facts with me on hand that night so I could have spoken up in support.

* As a long term resident, I and many others would like to see this community finished. Adding the McNair project could very well bring some critical mass in terms of people that could attract more retail outlets to the village concept. That is and was the ultimate goal for this community, and I believe the McNair project advances that goal. We've had enough of looking at the weed fields for far too long, closure would be welcomed.

* Having spoken with a number of residents, I have also found support for the project as the "next stop" for several residents. We are an aging community, my wife and I have downsized once already within the VC, and the Bespoke might just be the next stop for us and many others. It would allow us to stay in the geographically desirable area and would provide an upscale residential option with numerous desirable amenities. The price point for rents tells you this is an upscale operation that will attract clientele in keeping with the current VC residential profile. I believe some residents who have concerns about transient renters is

unfounded.

* Many of the residents that spoke at the last meeting were newer residents, predominantly condo owners. I contend that as newer residents (most less than 2 years), they have not experienced the ups and downs that have affected the VC for more than 15 years. Their level of expectations may not match those of the longer term residents. They purchased those units within the last two years, while the area under consideration now sat vacant. There should not be any surprises as to how the community would be further developed. One example is the "site lines" that was brought up. I refer you to the attachments. There has always been an expectation that there would be buildings lining Vintage Club Boulevard. See attachments 1 and 2. Buildings 1, 2, 4, and 5 are shown in the original drawings (still on display in the Sales Office). Further, building H2 (the third condo building) has not yet been built. Between H2, buildings J and K, the current condo owners would not even have a direct view of the Bespoke building. Attachment 3 shows a close up of what would be lining the current parking spaces along Vintage Club Boulevard. The Bespoke building nearly matches that vision. Buildings 4 and 5 were originally planned as well. The Bespoke building will be positioned "with it's back" to the community, with the courtyard facing the cemetery. I believe it will be a non-event for most residents.

* One objection was brought up about parking. That may be a valid concern, but my understanding is this is being addressed by McNair. What I found interesting was how easily and casually the parking studies, conducted by professionals, were discarded as inaccurate. Generally speaking, in my professional career, when an expert provides a study, you tend to rely on it. I don't believe there is or was anyone in the audience that has a better feel for what the density and parking space needs are than the professionals. I suggest you rely on them.

* Traffic was also brought up as a potential issue. I think that is a non-starter. The people living at or visiting the Bespoke will come in from Montgomery Rd and turn off before even hitting the roundabout. Traffic will not enter the community past the clubhouse, particularly if Bespoke residents don't have access to the Kemper Rd gate passes. This objection hits me as a "false flag" attempt to create an issue that won't exist.

So, for many, change is an unwelcome concept. Residents complained about Christ Hospital, they have been excellent neighbors. People complained about Orange Theory and then GE Credit Union. The fear was they would usher in Taco Bells and other less desirable retailers. Guess what? - it didn't happen. So, I understand that change can bring about some anxiety, but the actual results generally are not nearly as significant as originally feared.

* Lastly, this might sound a little selfish as a VC Committee member, but I am aware of the budgeting process and more particularly the Reserve status of the VC HOA. This configuration which would include the Bespoke building would result in fewer residents/units paying into the HOA for reserve funding. While there are no assurances at this point, the McNair team has realized that some payment from the project should come into the HOA. That would be a welcome funding source as the community is well behind schedule in terms of receiving HOA payments from residents from lack of and delayed building, and the end result will result in fewer payers overall when completed. This is another reason why many residents are anxious for completion, even if it's not in the original vision. It would be in no one's best interest if the community begins to deteriorate because of lack of reserve funding, especially as this community sits as the entrance to Montgomery at the northern end of town. We should always put our best foot forward in representing the larger Montgomery

community.

So, that's a little long winded, but I think these are valid points that you should take into consideration. I am a firm believer that the Bespoke project would be an asset to the Vintage Club community, and the greater Montgomery community as well. For these reasons, I am writing in support of the Bespoke project.

Thank you for your time.

Best regards,

Bill Carroll
142 Village Gate Lane

August 24, 2023

Montgomery Planning Commission
10101 Montgomery Road
Montgomery, OH 45242

Dear Planning Commission Members,

I'm not in the business of housing or real estate, but I am a home owner in Vintage Club and I know if I stay silent it is like saying I am in favor of the McNair project which is up for your possible approval at the September 11, 2023, planning committee meeting. I definitely am not in favor and here is why: 1. There will be a traffic and parking travesty. 2. Our single-owner occupied village community, Vintage Club, will have a massive apartment-like hotel looming over top it without regard for the neighborhood look, feel and character.

Let me further explain the two concerns I have.

Cars cause traffic. Presently, McNair says the demographics of its clientele (55 plus renters) will not have cars. Yet articles (Wall Street (Apr 9, 2022, NY Times Dec 4, 2018, Epoch Senior Living 2017) report that active 60-80 year olds want independent living and are "out and about." With these reports in mind, there is a strong chance the apartment residents will want to own cars. Not to mention that high end residents typically drive high end cars and that they want their cars under roof. The Christ Hospital garage is the suggested answer to the parking problem, but it is a distance away for people used to close access to their vehicles.

In addition, the traffic and cars potentially associated with their dwelling are not in proportion with the limits of the Vintage Club community. Vintage Club is a place with narrow streets designed to keep traffic flowing smoothly and parking consistent with the number of current dwellings. There is even a recommendation to current residents to ask their guests to park on the same side of the street rather than alternate-street parking when having visitors over in order to allow moving cars to fit down the road.

Along with the flow of traffic from the McNair apartment complex comes the issue of traffic and parking from the public. McNair is offering its residents three hotel-like amenities (coffee shop, restaurant, gym) inside the building. They are advocating these will also be open and available to the public. Vintage Club will soon have a coffee shop and restaurant in its Retail/Office/Restaurant building which was always part of the Vintage Club design. Orange Theory and Esporta are nearby if residents need or want a workout facility. This duplication will only add to the traffic and parking problems with employees, visitors and the public. It won't be long before there will be signs saying Residents Only, Members Only, Visitors and No Parking. The addition of signs will make our quaint village look more like a business than a special place to live.

Size. The McNair apartment complex once a reality could be the McNair Monster. It helps to visualize things so I drove to 4660 Creek Road in Blue Ash to look at two hotels. The Holiday Inn Express building there is 3 floors high and has 69 rooms. Spring Hill by Marriot is 5 floors high and has 100 rooms. Both buildings look huge to me. I do not have their exact dimensions but plans.shshotelus.net provides the details for a Holiday Inn Express in Charlotte, NC that is 4 stories tall and stands 56 feet (2017). McNair is scheduled to share a redesign on September 11, 2023, of their original plan of 144 apartments. The two Blue Ash hotels only have overnight rooms but it seems reasonable that one- and two-bedroom apartments would be larger and require more space. King Kong was only 104 feet tall in the 2017 movie Skull Island. The McNair apartment building's size seems frighteningly large to me in comparison to the Vintage Club buildings.

Before closing this letter, I want to share an observation as well as something I have heard. Near the end of the planning committee hearing on July 17, 2023, the owner and seller of the Vintage Club lot stood and summarized to the audience that to him fifty percent in attendance was in favor of the project. However, from my perspective I only heard the McNair team, the owner/seller and three additional speakers say they were in favor of the project and the three were associated with the Vintage Club Board. On the other hand, I observed and heard six to seven individuals speak that had concerns and worries about the project for the neighborhood. In terms of numbers it might have been a 50-50 draw, but I believe it is important to consider who the individuals were. Your committee took count of the people who addressed you that night and, also, knows how many letters you have received regarding the McNair proposal. Along with this, it has been said that the McNair team is including HOA money along with the purchase even though the McNair apartment residents will not be entitled to use of the Vintage Club clubhouse or pool. Money talks but I worry that some interests are more about money than the current Vintage Club residents.

Please do not approve the McNair project. Vintage Club will sadly never be the same.

Sincerely,

Jill Dillard

Jill Dillard
118 Village Gate Lane
Montgomery, Ohio 45249

Montgomery Planning Commission
10101 Montgomery Rd.
Montgomery, Ohio 45242

Dear Sirs/Madam:

I am writing to express my concerns related to the proposed McNair project to be built at the Vintage Club. I have lived in the Sycamore community since 1983 and I have lived at the Vintage Club for the last three years. I bought into this neighborhood, anticipating that the community would be limited to owner-occupied homes of varying styles and types with limited business in a small area abutting our neighborhood. At no time did I think there would be rental property built within the community.

I attended the planning commission meeting on July 17, 2023. The commissioners asked probing questions and listened to comments from our community which were largely against the project. I am writing to express my concern in four areas and hope that you will take each of them into consideration before you allow this project to move forward.

PARKING: There was a lot of discussion about "shared parking" which allowed McNair to sidestep the actual reality of adding 144 units on this property. Their estimations assert that not everyone will have a car and that no one will have two cars. On the other hand, they are marketing this to an engaged older community and an engaged older community uses a car to engage in the larger city around it. McNair also assumes the residents/employees/visitors will use the bus service. Based on my own observations, few folks disembark the Montgomery Rd. bus to access Christ Hospital, or any of the other existing businesses. McNair bases its calculations on its premise that each unit will house one person, assuming everyone is widowed/divorced/single. McNair ignores the fact that some of their units are two-bedroom units which could easily be used by two or more people, each with their own car.

I was glad to see that the commission asked for a report specific to the parking spots that McNair anticipates their residents, visitors, and employees would be using. It's hard to imagine that these users won't bleed into the few parking spaces allocated to the clubhouse and the 16 spots which currently exist in front of the vacant lot. And, these 16 spots are reduced for months when our landscaper drops tons of mulch there for distribution throughout the community. Where will that go? To think that people will park in the Christ Hospital parking lot, instead of using the spaces on our streets surrounding the clubhouse and condominiums for their overflow, is unrealistic. The Christ Hospital parking lot is quite a distance from the proposed project. This space will, more likely, be used by the retail/commercial business when it is occupied. Further, neither the yet-to-be-built condominium nor the just-built condominium has any guest parking.

TRAFFIC: There was only a brief conversation about the traffic, but I have concerns about the significant increase in traffic which will result if this property is built as proposed. We have a two-way stop and a three-way stop leading from Montgomery Road into the community which ends in a Circle, already too small to accommodate the traffic that we now have. In addition to the added traffic generated by residents, visitors, and employees, McNair proposes using an 18-passenger bus and two town cars for their residents. It is impossible to imagine what that might do to the traffic in the circle, and it is likely that short cuts will be taken across the core of the circle to avoid having to travel around it. (This is especially true if people are being dropped off in the circle for an event at the clubhouse.) I know that Montgomery police are already aware of this problem, and it would only get worse with larger and more vehicles. Further, the addition of a restaurant, coffee shop and/or ice-cream parlor will not only attract pedestrian traffic as McNair suggests. These visitors will need parking and increase traffic, too.

ZONING CHANGE: I am opposed to a change in the zoning. The present zoning, as I understand it, does not allow for apartments, and this is essentially what is being built. I can assure you that no one living in the Vintage Club bought into it thinking there would be apartments in this community. We expected more owner-occupied homes/condominiums in keeping with the existing plan. We have home values in excess of \$2 million in our neighborhood and it is unrealistic to suggest that an apartment building on that property would not affect our property values. I'm not in favor of the project, but if approved, at the very least, this should be done by a variance to protect us if this project, at any point in the future, fails.

STRUCTURE: When I attended my first meeting where McNair presented its ideas around the project, I was immediately struck by the massive building they proposed to build. It would dwarf the clubhouse, which is right next to it, and would be an eyesore visible from many parts of the community.

If you have not yet driven through the Vintage Club to see the proposed site, I ask that you do so before making any decisions. You will see that the proposed project is clearly out of line with what was anticipated originally, and what was relied upon when we bought our homes. This plan will do nothing to maintain the quality of life in Montgomery. McNair asserts that our community is largely in favor of the project, but I can assure you, that is not accurate.

Please, do not approve this project.

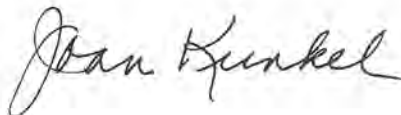
Ellen Essig,
129 Village Gate Ln.,
Montgomery, OH 45249
513-698-9345

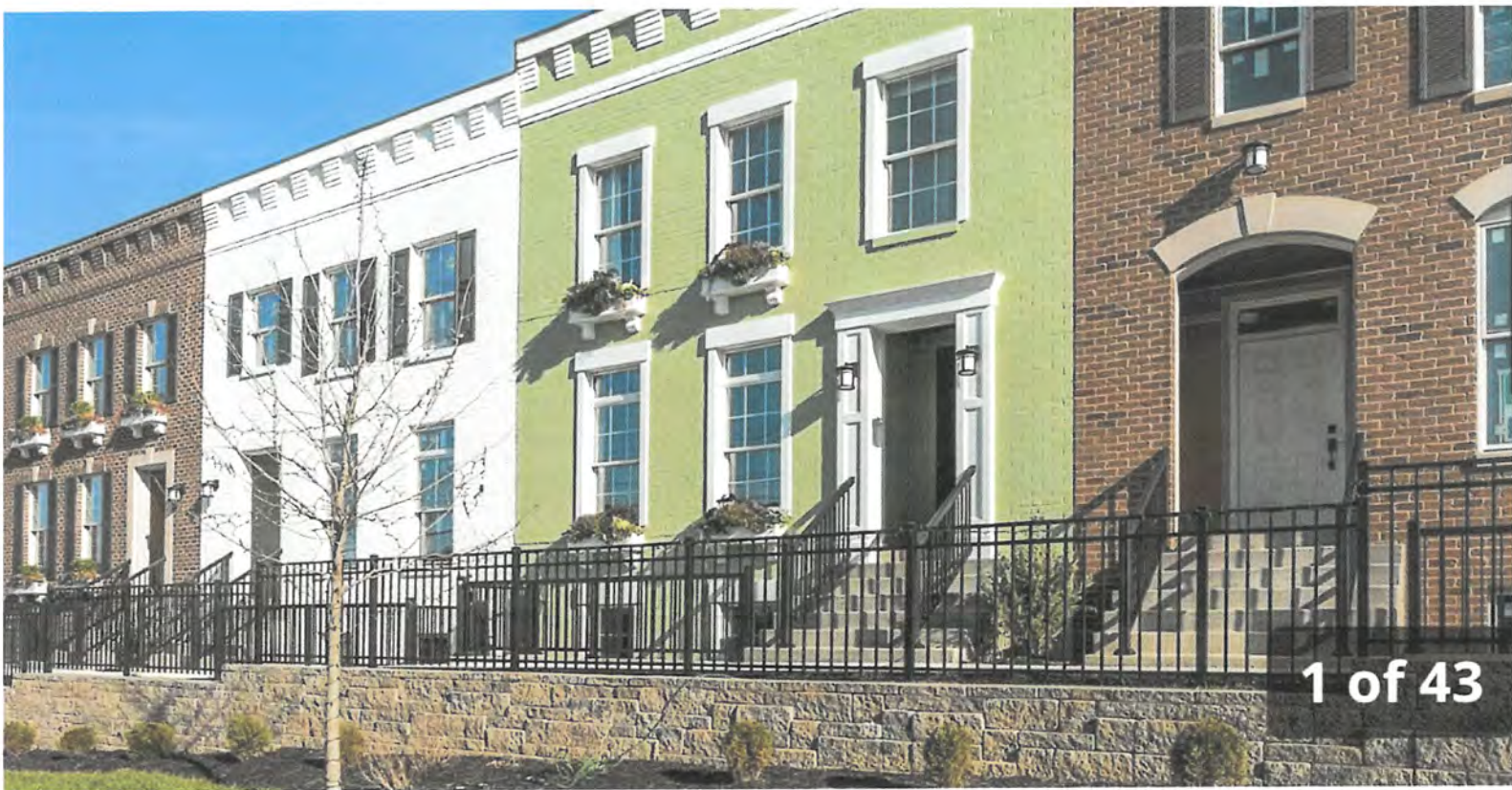
Dear Mr. Chesar,

As a resident of Vintage Club, I am aware that you are considering approval of McNair Living Planned Unit Development Proposal. Before making your decision, approving or disapproving the development, please consider the following:

1. Changing the current zoning to accommodate the new building because condos are not selling does not make sense because having a huge senior living facility will negatively affect the sale of proposed condos on the other side of the street. Will another zone change be proposed because those condos won't sell?
2. The development is not compatible with Vintage Club as developed and originally proposed. The residents of the patio homes range in age, for the most part, from their late 60's to 90's but those homes do not have the feel or look of a senior living facility. The estate homes have younger people with school age children, we already are intergenerational.
3. Look at the site plan for the Carmel, Indiana McNair development. The Carmel McNair development was designed to include a large facility from inception and all the buildings of the community work well together. Comparing that development to the Marjorie P. Lee on Shaw Ave in Hyde Park demonstrates well the challenges of adding a new development into an existing community. The latter stands apart from the housing around it and brings an unwelcome institutional element into the neighborhood. Adding a senior living facility in the Vintage Club risks a range of issues with design coherence & an identity akin to those confronting neighbors of the Marjorie P. Lee development.
4. An alternative to the development might be building housing like the attached condos/homes at 6704 Miami Avenue, Madeira. They appear to all be sold. As attached homes, these may well meet the revenue concerns of both the City of Montgomery and the builder. Another alternative might be building townhomes with first-floor bedrooms.
5. If restaurants, as proposed originally in the community plans, were operating at full scale people would be more inclined to buy in the area. There should be a concrete and measurable plan to move that process along. Little by little the builder is chipping away from the original promised design. No village, not even a hamlet, no cute shops, no restaurants, no gate, & now proposed rentals.
6. Despite high interest rates, the housing market continues to see price appreciation given the lack of inventory. Community residents feel increasingly betrayed by the lack of consideration being given to what was originally planned. While this development will almost certainly lead to a better economic result for the builder and the City of Montgomery, it is not consistent with what the owners in the neighborhood were promised when they invested in this area. If the new building is approved, it should be conditioned on the units being available for senior living only. Once the zoning is changed it opens the door to a wide range of different types of rentals that might well change the character of our community in a detrimental way.

Thank you for your consideration.





1 of 43

3 bd 4.5 ba 3,009 sqft

6704 Miami Ave, Cincinnati, OH 45243

● **Off market** Zestimate[®]: **\$533,500**

Rent Zestimate[®]: **\$3,310**

Est. refi payment: \$3,637/mo

 **Refinance your loan**

[Home value](#)

[Owner tools](#)

[Home details](#)

[Neighborhood](#) >



ZILLOW HOME LOANS

From: [Pat O'Callaghan](#)
To: [Kevin Chesar](#)
Subject: Fwd: Vintage Club
Date: Thursday, August 17, 2023 3:55:14 PM

Dear Kevin:

We are writing in support of the project being proposed by Great Traditions.

As one of the earliest home owners in this outstanding development, we have experienced many high and lows, primarily economic. Through it all we have been impressed by the commitment of Tom Humes and his company to operate in our best interest.

As I'm sure you know, it is hard to realize what Montgomery would look like without Mr. Humes' many developments.

We trust his judgement on his current, unique life-style offering, as we did with the impressive addition of the Christ Hospital complex.

Both projects were not in the original community plan, but the world has changed dramatically since the original design was conceived. Our Developer's ability to recognize the need to be flexible and innovative has been a godsend.

We and our fellow residents are fortunate to live in such a beautiful community and we are equally fortunate to benefit from the guidance and wisdom of Tom Humes.

It is without reservation that we support the proposed new addition to the Vintage Club community.

Respectfully submitted,

Karen and Pat O'Callaghan
210 Legacy Lane
513-266-1556

From: [Bradley Jones](#)
To: [Kevin Chesar](#)
Subject: McNair Vintage Club development
Date: Tuesday, August 8, 2023 4:05:39 PM

I support the 150 room development for the following key reasons:

1. Occupants of McNair will likely mirror existing residents of Vintage Club; successful, worldly professionals who enhance the neighborhood.
2. Vintage Club currently lacks the critical mass to draw in the desired retail/eatery village dynamic. McNair project gets us there.
3. I believe the parking & traffic fears are overstated. The original planned condos with couples occupying most would have yielded similar if not more traffic. I drive by Meadowbrook entrance on Weller almost daily and see very little traffic.
4. With much of the building mass hidden at back of lot, the new building will blend well with condo and retail 3 story buildings nearby.
5. I see no reason for home values to decrease given the luxury style of new facility.

Regards,

Bradley Jones

118 Village Gate Ln, Montgomery, OH 45249

513 646-4147

From: [David Rachmiel](#)
To: [Kevin Chesar](#)
Subject: McNair Bespoke Community Meeting 8/21/23
Date: Monday, August 7, 2023 1:26:13 PM

Some of my Vintage Club neighbors are in favor of the proposed Independent living apartments, and some are opposed. My summary:

OPPOSED: Increased traffic, parking and size/density problems of the project.

IN FAVOR: Better the devil you know than the devil you don't.

These are the main factors leading to my support of the project:

1. Traditions has made it clear that building condos on this space cannot justify a sales price to offset the increased construction and interest costs.
2. Traditions will be selling this remaining property in the Vintage Club regardless of your decision.
3. The McNair Group stated they are investing \$75 million to building independent living apartments in a Ritz-Carlton standard. One review states, "The Ritz-Carlton sets the standard for luxury experiences the world over."
4. The McNair Group made it clear that the 140+ apartment units are needed to cost justify their \$5-8,000 monthly rental. Reduced number of units would require higher monthly rents. They said that higher rents are not possible in Montgomery.

The Montgomery Planning Commission is now reviewing the traffic, parking, and size/density issue.

I'm in favor of the devil you know.

Thank you for your consideration,

David Rachmiel
144 Village Gate Lane

From: [J. Peggy Yang](#)
To: [Kevin Chesar](#)
Subject: McNair Living at Vintage Club
Date: Sunday, July 23, 2023 11:03:49 PM

My name is J. Peggy Yang. My home address is 220 Vintage Club Drive, Unit 204, Montgomery, Ohio 45249.

I am against you put and mix commercialized independence living apartment buildings with residential Vintage Club.

You should not have changed the strategy , vision, law, policy, and zoning at first place. The policy and law should not be changed to accommodate McNair, at the expense of existing residents, who bought the properties with original vision sold to us by the Traditions Group.

Mixing existing residential properties with commercial buildings such as McNair Living will negatively impact our quality of life, safety, and security. McNair is not a trust worthy company per the July public hearing, they cannot even answer simple parking question.

Please accept my recommendation that we together find a better solution or option than McNair without settling. We as the residents deserved better option with the HOA fees we pay (especially we the condo owners we pay 2 HOA fees) and the tax we pay with a belief and trust in city of Montgomery.

I say No to McNair Living.

Peggy

Anastassia Grigorieva, MD
Yevgeny Grigoriev, MD
220 Legacy Ln
Cincinnati, OH 45249
annie.grigorieva@gmail.com
513-247-0755
August 5, 2023

City of Montgomery Planning Commission
10101 Montgomery Rd
Montgomery, OH 45242

Subject: Expressing Serious Concerns about the Proposed McNair Bespoke Independent Living Project

Dear Planning Commission Members,

We are writing this letter to express our serious concerns regarding the proposed McNair Bespoke Independent Living Project. As concerned residents and taxpayers, we feel compelled to emphasize our deep apprehensions about the proposed zoning changes, potential increase in traffic and congestion, potential decrease in property values, and potential impact on neighborhood safety.

First and foremost, we are greatly alarmed by the proposed zoning changes from low occupancy to high occupancy. This change can have a profound impact on the character of our community. The reason behind low occupancy zoning regulations is to ensure a balance in residential areas, promoting a peaceful and safe atmosphere for families and longtime residents. Altering this zoning regulation would be a clear disregard for the needs, expectations, and best interests of the current residents, and it does not align with the vision we have for our beloved neighborhood.

In addition, the potential increase in traffic and congestion resulting from the implementation of this new project poses a grave concern. Our community's infrastructure is currently not equipped to handle a sudden influx of traffic caused by a high-occupancy facility. The additional burden on our roads not only endangers the safety of pedestrians and cyclists but also exacerbates the already frustrating traffic congestion our neighborhood experiences. This will surely have a negative impact on our overall quality of life.

Furthermore, there is a legitimate worry that the McNair project will lead to a substantial decrease in property values within the surrounding area. The arrival of a high-occupancy development can have significant implications for property prices, as potential homebuyers may be discouraged by the reduced privacy and tranquility that high-occupancy living entails. Therefore, any speculative monetary gains that may arise from this project would come at the expense of the long-term stability and prosperity of our community.

Lastly, addressing concerns about neighborhood safety cannot be overlooked. A high-occupancy facility brings with it the potential for a transient population, which creates uncertainty and poses new risks to the resilience and security of our neighborhood. We must prioritize the safety and well-being of our families, and any development must not compromise the peace and harmony our community currently enjoys.

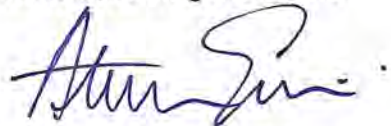
In light of these genuine concerns, we urge the Planning Commission to reconsider and thoroughly evaluate the potential consequences of the proposed McNair Bespoke Independent Living Project. Our community's best interest, both in terms of lifestyle and property values, should be at the forefront of any decision-making process.

Fellow residents and we count on your duty to protect and enhance our neighborhood, and we trust that the Planning Commission will exercise wisdom, prudence, and empathy in contemplating this proposed project. Together, let us ensure that the Vintage Club community in Montgomery remains not only a prosperous and thriving place but also the neighborhood we are proud to call home.

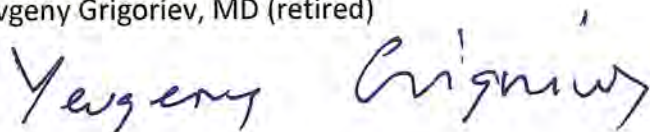
Thank you for considering our concerns. We are available to discuss this matter further at your convenience.

Sincerely,

Anastassia Grigorieva, MD

A handwritten signature in blue ink, appearing to read "Anastassia Grigorieva".

Yevgeny Grigoriev, MD (retired)

A handwritten signature in blue ink, appearing to read "Yevgeny Grigoriev".

August 21, 2023

Dear Planning Commission Members,

As residents of the Vintage Club we wish to express our concerns about the proposed McNair project to be built adjacent to the Vintage Club. We all moved here for a quaint village-like environment with high-end amenities. Our homes are valued up to \$2 million and we desire to maintain the area as an upscale community. In fact, that's why we came to you once before to ensure that the apartment buildings proposed to be built within the Vintage Club would be owner-occupied units. You heard us then, and zoned the area for owner-occupied condos. Both buildings are now 85% sold.

We desire the same for the rest of the Vintage Club area. Here are our concerns:

PARKING: There was a lot of discussion about "shared parking" which allowed McNair to sidestep the actual reality of adding 144 units on this property. Their estimations assert that not everyone will have a car and that no one will have two cars. On the other hand, they are marketing this to an engaged older community and an engaged older community uses a car to engage in the larger city around it. McNair also assumes the residents/employees/visitors will use the bus service. We have observed few, if any people disembark the Montgomery Rd. bus to access Christ Hospital, or any of the other existing businesses. McNair bases its calculations on its premise that each unit will house one person, assuming everyone is widowed/divorced/single. McNair ignores the fact that some of their units are two-bedroom units which could easily be used by two or more people, each with their own car.

We were glad to see that the commission asked for a report specific to the parking spots that McNair anticipates their residents, visitors, and employees would be using. It's hard to imagine that these users won't bleed into the few parking spaces allocated to the clubhouse and the 16 spots which currently exist in front of the vacant lot. And, these 16 spots are reduced for months when our landscaper drops tons of mulch there for distribution throughout the community. Where will that go? To think that people will park in the Christ Hospital parking lot, instead of using the spaces on our streets surrounding the clubhouse and condominiums for their overflow, is unrealistic. The Christ Hospital parking lot is quite a distance from the proposed project. This space will, more likely, be used by the retail/commercial business when it is occupied.

Any surface parking must be well-integrated into the streetscape and contribute to a sustainable environment. Parking should be planned to minimize the visual impact of parked cars on the public realm. Furthermore, the design of parking should promote pedestrian, bicycle, and vehicular safety.

Further, neither the yet-to-be-built condominium nor the just-built condominium has any guest parking.

TRAFFIC: There was only a brief conversation about the traffic, but we have concerns about the significant increase in traffic which will result if this property is built as proposed. We have a two-way stop and a three-way stop leading from Montgomery Road into the community which ends in a Circle, **already too small** to accommodate the traffic that we now have. In addition to the added traffic generated by residents, visitors, and employees, McNair proposes using an 18-passenger bus and two town cars for their residents. It is impossible to imagine what that might do to the traffic in the circle, and it is likely that short cuts will be taken across the core of the circle to avoid having to travel around it. (This is especially true if people are being dropped off in the circle for an event at the clubhouse.) We know that Montgomery police are already aware

of this problem, and it would only get worse with larger and more vehicles. Further, the addition of a restaurant, coffee shop and/or ice-cream parlor will not only attract pedestrian traffic as McNair suggests. These visitors will need parking and increase traffic, too.

ZONING CHANGE: We are opposed to a change in the zoning. The present zoning, as we understand it, does not allow for apartments, and this is essentially what is being built. Please be assured that no one living in the Vintage Club bought into it thinking there would be apartments in this community. We expected more owner-occupied homes/condominiums in keeping with the existing plan. We have home values in excess of \$2 million in our neighborhood and it is unrealistic to suggest that an apartment building on that property would not affect our property values. We are not in favor of the project, but if approved, at the very least, this should be done by a variance to protect us if this project, at any point in the future, fails.

STRUCTURE: When we attended meeting at our Clubhouse where McNair presented its ideas around the project, we were immediately struck by the massive building they proposed to build. It would dwarf the clubhouse, which is right next to it, and would be an eyesore visible from many parts of the community.

Consider if the building's massing will maintain and support the characteristics of adjacent buildings and at the same time support a comfortable street level experience. Its long façade facing the community does not appear to be broken up into components that add interest to massing and promote human scale.

If you have not yet driven through the Vintage Club to see the proposed site, we ask that you do so before making any decisions. You will see that the proposed project is clearly out of line with what was anticipated originally, and what was relied upon when we bought our homes. This plan will do nothing to maintain the quality of life in Montgomery. McNair asserts that our community is largely in favor of the project, but as you can see by the number of residents that have signed this letter, that we are not.

Please, do not approve this project unless it is modified to meet design, density and scale of the Vintage Club

Most sincerely,

Kathy Zimmerman 127 Village Gate Lane
Debra and Michael Steenbeck 136 Village Gate Lane
JiePan Peggy Yang 220 Vintage Club Dr., Unit 204
Juan Kunkel 119 Candlerwood Circle, 45249
Siame Skie 122 Village Gate Lane
Terry Peets 16 Vintage Walk
Anastassia Grigorieva 220 Legacy Lane
Veronica Busso 202 Legacy Lane
Ed Lopez 125 E. CHATEAU CT
Maria R. Linn 230 VINTAGE CLUB DRIVE UNIT 104

SUSAN & GERARD BAILLELY, 221 LEGACY LN.

Donell + Frances Kruger 130 Village Gate Ln

B. Lucille Cameron 126 Village Gate Lane

Ed + Cindy Berne 11 Vintage Walk

John + Teri Marselle 220 Vintage Club DR #105

Peggy + Dave Benschleger 133 Village Gate

David and Cheryl Adam 49 Traditions Turn

Paul Harkley 220 Village Club Drive Drive #205

Jill Dillard 118 Village Gate Dr.

Robert 108 LEGACY LN.

Don and Jennie Buehner 220 Vintage Club Dr #302

Sue Ann Wilson 123 E. Cameo Ct.

Lathy + Mack Hagen 117 Village Gate Ln

Carol + Mark 101 Candlewood Circle

Sandy + Bud Stoneburner 111 Candlewood Cr.

Phyllis + Mark 120 Village Gate Lane

Robert and Anne 9 Vintage Walk

Robert + Carol Jones 106 Courtyard Crossing

Jimmy Wright 102 Courtyard Crossing

Jackie Wright 102 Courtyard Crossing

Denise 104 Courtyard Crossing

Barb Berkscheider 108 Courtyard Crossing

Juanita Sullivan 110 Courtyard Crossing

From: jkieninger@aol.com
To: [Kevin Chesar](#)
Subject: Re: Vintage club addition
Date: Monday, August 7, 2023 10:04:35 AM

Forgot to mention, We are Doug and Jane Kieninger at 211 Legacy Lane. This new building will be very close to our house.

On Monday, August 7, 2023 at 10:03:11 AM EDT, jkieninger@aol.com <jkieninger@aol.com> wrote:

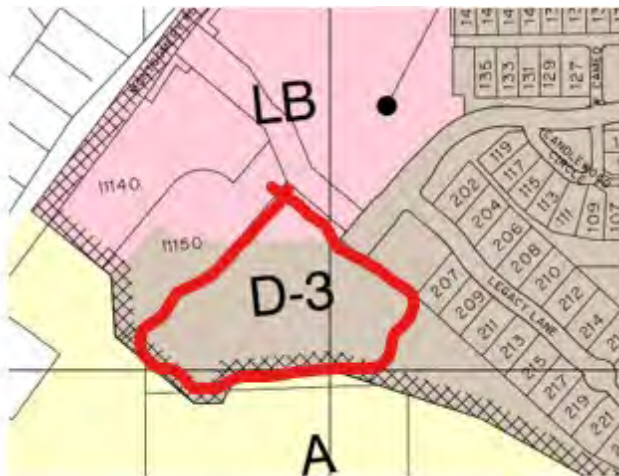
Our biggest concerns for this proposed addition to our community is the population density of the facility, the large size (especially on Vintage Club Drive) and the lack of parking.

They have apparently considered the Hospital Parking, our 'restaurant' parking as well as our proposed condos in their parking assessment. With our new condos coming in, it will already not have enough

From: [Kevin Chesar](mailto:Kevin.Chesar)
To: cathyhhogan@icloud.com
Subject: RE: Vintage Club Project
Date: Friday, August 11, 2023 4:52:48 PM
Attachments: [image001.png](#)
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[instagram20transparent_b1db0819-8170-4bfe-87c7-fa891be01758.png](#)

Good Afternoon Ms. Hogan,

Thank you for the question. The property has two different zoning district classifications. The underlying zoning for most of the site is D-3 Multi-Family District while a smaller portion closer to Vintage Club Boulevard is zoned LB – Limited Business. I have generally marked the parcel below in a red outline. In both districts, Multi-Family Dwellings (I.E., apartments, condominiums, and duplexes) are permitted, which has been the case since the inception of the Vintage Club. The Vintage Club also has a Planned Unit Development Overlay which was put in place in 2006 to allow creation of a commercial mixed-use village which was intended to have a mix of commercial, restaurants, single-family and multi-family units, etc. At that time, the exact location of the commercial section was not settled however, it was known to include a mix of uses.



We realize that much of the above zoning information can be confusing and I think may be important to emphasize that what is currently being proposed by McNair/Bespoke is a permitted use without a zoning change. However, based on conversations with our Law Director, the City, thought it best to try and clean up the multiple zoning districts on the one parcel (which is typically not a best practice) and resulted in the zoning change proposal at Planning Commission. It appears this recommendation from the City has caused confusion with many neighbors in the area as well as some on Planning Commission, which we will clarify at the upcoming meeting.

Regarding the rental question, the zoning has always allowed for multi-family on the site whether that be condominiums or now proposed independent living apartments. Zoning cannot and does

not regulate whether one can rent a home, condominium, or apartment. I understand this is a complicated issue with a lot of technical aspects. I am happy to discuss via phone or in person if that would help to clarify the zoning aspects of Vintage Club.

Please feel free to follow up with any additional questions.

Best Regards,

Kevin



Kevin Chesar
Community Development Director

City of Montgomery
10101 Montgomery Rd.
Montgomery, OH 45242

☎ [513-792-8329](tel:513-792-8329)
✉ kchesar@montgomeryohio.gov
🌐 www.montgomeryohio.gov



📘 🐦 📺 📷

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-----Original Message-----

From: cathyhhogan@icloud.com <cathyhhogan@icloud.com>
Sent: Friday, August 11, 2023 11:10 AM
To: Kevin Chesar <kchesar@montgomeryohio.gov>
Subject: Vintage Club Project

Hi Kevin,

My husband and I recently purchased a Courtyard Home in the Vintage Club. We attended the meeting regarding the McNair Bespoke project.

One question I have is: what is the property zoned as and would that zoning need to change to accommodate the apartments? I have talked to residents here that are under the belief the property is zoned as mixed use/residential and if the McNair project is approved the zoning would

need to be be changed to rental.

I just wanted to confirm if this is true.

Thank you,
Cathy Hogan
117 Village Gate Lane

From: [Hindi Friedman](#)
To: [Kevin Chesar](#)
Subject: Re: Vintage Club
Date: Sunday, August 6, 2023 5:15:26 PM

Thankyou Kevin

Sent from my iPhone

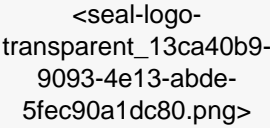
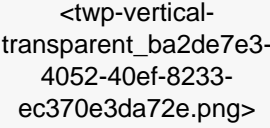
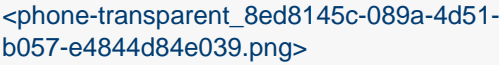
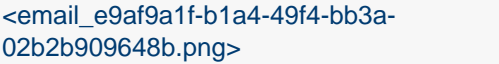
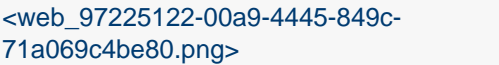
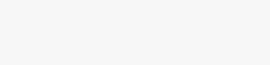
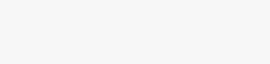
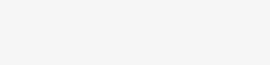
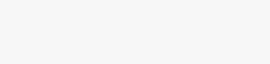
On Aug 4, 2023, at 3:04 PM, Kevin Chesar <kchesar@montgomeryohio.gov> wrote:

Good Afternoon Ms. Friedman,

Thank you for the comments. We will include them in the packet to Planning Commission. At this time, it is anticipated that Planning Commission will revisit the review at their August 21st meeting.

Best Regards,

Kevin

	Kevin Chesar Community Development Director
	City of Montgomery 10101 Montgomery Rd. Montgomery, OH 45242  <phone-transparent_8ed8145c-089a-4d51-b057-e4844d84e039.png> 513-792-8329  <email_e9af9a1f-b1a4-49f4-bb3a-02b2b909648b.png> kchesar@montgomeryohio.gov  <web_97225122-00a9-4445-849c-71a069c4be80.png> www.montgomeryohio.gov
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-----Original Message-----

From: Hindi Friedman <hlf122150@gmail.com>
Sent: Thursday, August 3, 2023 4:29 PM
To: Kevin Chesar <kchesar@montgomeryohio.gov>
Subject: Vintage Club

Dear Sir: My husband and I purchased a wonderful courtyard home two years ago and we are thrilled with the community, the quiet streets and safety of the entire Vintage Club area. The proposed size of the building project and zone change are unsettling in that they would disallow the present sense we now have of quiet neighborhood safety, parking and traffic flow. We are hoping that you take this project elsewhere. Sincerely, Dr. Stewart and Mrs. Hindi Friedman 138 Village Gate Lane

Sent from my iPhone

August 4, 2023

City of Montgomery Planning Commission
10101 Montgomery Rd.
Montgomery, OH. 45242

Dear Planning Committee Members,

As residents of Vintage Club since 2008, we wish to express our support for the proposed McNair Bespoke Independent Living project that is currently being considered by your Commission.

Unlike some in the community who appear to be opposed, we are not. We have seen the ups and downs of this development dictated primarily by the economy, Covid and the fickleness of investors.

The buildout of this community is long overdue. Since 2013 the neighborhood has been opposing concepts (apartment buildings, senior living, office buildings). We believe this senior independent living project would be a positive enhancement to the Vintage Club of Montgomery and fit with the original village concept. We are pleased and give credit to Traditions for finding a unique, quality concept to finish our community.

The original plans and many alternative concept plans called for buildings along the Vintage Club boulevard and south of the Clubhouse (building "L" "M" P" and Q') There were going to be 279 residents sharing the amenities and paying into the association HOA. We currently have 121 residents paying into the association HOA, a vacant office and restaurant building and a lot of open fields. The 144 new residents contemplated doesn't overly compound the density originally forecast for the area.

We live immediately adjacent to the nearly filled condo buildings that are completed and drive by building C which is designed for restaurant and office space. We appreciate the effort Traditions has made to make the architecture of the buildings stunning and it appears their touches will continue with the Bespoke project.

It does appear the Bespoke Independent Living building will occupy a big space but the volume is biased toward the open greenspace in back. We trust the City of Montgomery will make sure any parking and traffic issues are properly addressed by McNair and that Traditions will assure the architecture of this new building will match the beauty of the existing Vintage Club.

We wholeheartedly support this project and believe it will drive the rental of the existing office and restaurant space, will blend nicely with Christ MOB and will only encourage more people to want to live in the Vintage Club.

Sincerely,

Nick and Cori Rothenbach
135 Village Gate Ln
Montgomery

August 7, 2023

Dear Council Members,

Soon the Montgomery Council will be reviewing an application to change the present zoning at The Vintage Club of the adjacent property to the Three Chimneys Clubhouse and southeast of The Christ Hospital Outpatient Center. As residents of the Vintage Club, we are opposed to such a change that would allow a large multiunit apartment structure to be built.

Approximately nine years ago, we made a decision to downsize from our home of 32 years in Indian Hill to a slightly smaller and more manageable home. Our decision to build in The Vintage Club was based on its location near the area of Cincinnati we knew best and the vision that the Vintage Club provided. We wanted a well-maintained area in a community like Montgomery that has a reputation for good village planning, excellent public services, and a good school system. Living in a community with abundant green space, walking paths, and an HOA in which the residents have control of its appearance was instrumental in our decision to purchase our home in this neighborhood. Especially important in the desirability of the Vintage Club was the plan that included all owner-occupied units, not rental property. Critical thinking and experience show that owner-inhabited property will retain its value and appearance over time, compared to rental property, where there is a turnover of renters and even a change in ownership. Future owners of the rental property could have a different vision of the rental space that would affect the Vintage Club's environment and the area around it.

We are concerned that in the future, if the owners of the property change, the entire rental property could change into something not mentioned now. For instance, the space could become an assisted living apartment space rather than just apartments, or the target rental age of the apartments could change. This is not the vision that we had, nor were we promised when we purchased in The Vintage Club.

We have enclosed a rendering of the Vintage Club, downloaded from the Traditions Group website dated September 2016, that illustrates the concept of the Vintage Club that was accepted by the residents of the community who live in The Vintage Club. Notice the change of zoning requested involves the property

marked in orange and labeled "Clubhouse Condos" This area would be replaced if the change in zoning is made to allow 144 rental units. A letter and signed petition to council members dated August 2, 2023, is being sent to the council. The letter gives in detail our many concerns of the residents of the Vintage Club. Added to these concerns are that a 144-unit rental apartment building will increase the density of the development multiple times over the planned Clubhouse Condos. The sheer size of the building is overwhelming compared to the condominiums that are in the present plans. Also, the developers have minimized the parking needed to accommodate the number of renters, staff, and visitors.

Also, we would like to stress the traffic problems that a large rental building will create for the Vintage Club. The entry to the new structure will be close to the roundabout in front of the Vintage Clubhouse. The traffic in this area would become increasingly heavier and create a choke point for traffic entering and exiting the neighborhood.

Please notice, in small print at the bottom of the Traditions Group website rendering of the Vintage Club, that the developer can change the plan at any time. The change that is being proposed is detrimental to the entire Vintage Club Community, which consists of 105 single detached homes and the owner/residents of the condominiums.

We request that you do not change the zoning to allow rental property. Thank you for your consideration.

Sincerely,

Dr. Edgar Berre

Mrs. Cindy Berre

11 Vintage Walk,

Montgomery, OH 45249

513-476-0202



THREE CHIMNEYS CLUBHOUSE



THE HEART OF THE VILLAGE



PEDESTRIAN PROMENADE



VILLAGE SQUARE CONDOMINIUMS



COURTYARD HOMES



Plans, illustrations, prices, timing, product design, mix and sizes are preliminary and are subject to change by the developer at any time. 09.16

From: jkieninger@aol.com
To: [Kevin Chesar](#)
Subject: Vintage club addition
Date: Monday, August 7, 2023 10:03:17 AM

Our biggest concerns for this proposed addition to our community is the population density of the facility, the large size (especially on Vintage Club Drive) and the lack of parking.

They have apparently considered the Hospital Parking, our 'restaurant' parking as well as our proposed condos in their parking assessment. With our new condos coming in, it will already not have enough

From: [Robert Kroeger](#)
To: [Kevin Chesar](#)
Subject: Vintage Club project
Date: Friday, August 4, 2023 5:14:30 AM

Kevin,

I'm commenting on the proposed McNair Bespoke Independent Living project at the Vintage Club. I would say that 99 percent of our residents vehemently oppose this project for several reasons.

I hope that council does not approve it.

Not only will it be an eyesore, the traffic, construction, and noise will dramatically affect our quiet lifestyle.

We pay Montgomery taxes, but we do not receive city services (trash, snow removal, etc) and yet we don't complain.

Please pass this on to the other council members.

Cheers,

Bob Kroeger

[facebook.com/historicbarnproject](https://www.facebook.com/historicbarnproject)

[barnart.weeblydotcom](https://www.barnart.weeblydotcom) (barn essay-painting site)

<https://www.robertkroeger.com/>

Historic Barns of Ohio - book published in March, 2021, <https://www.arcadiapublishing.com>

Round Barns of America - book published by Acclaim Press (November, 2022)

<https://www.acclaimpress.com/books/round-barns-of-america/>

There are no guarantees in life but there are plenty of choices.

From: [Carol Jones](#)
To: [Kevin Chesar](#)
Subject: Vintage Club
Date: Friday, August 4, 2023 10:05:02 AM

We bought our lot in the Vintage Club in 2007 and moved into our home in Aug. of 2008. We bought into this neighborhood with the understanding that it was to be single family homes of varying sizes with a “village” of shops, restaurants and offices. Then the recession hit and understandably plans were put on hold. Then the Christ Hospital building was thrown at us. Then a few years ago Traditions wanted to build apartments where the condos were supposed to be built. The neighborhood fought that with the city and we prevailed. Now they want to build apartments again. We have the same concerns now, traffic congestion and parking. Not to mention that apartment dwellers are transient, even if they are 55 and older. What will happen to our home values?

I get it that Traditions wants to get “the hell out of Dodge” and be done with the Vintage Club after close to 20 years but I think the residents deserve to be given something of what they bought into. And apartments were not part of the deal.

Bob and Carol Jones
106 Courtyard Crossing
Sent from my iPad

From: [Carroll, Celia](#)
To: [Kevin Chesar](#)
Subject: Vintage Club/McNair Project
Date: Monday, August 14, 2023 2:07:56 PM

To the Montgomery Planning Commission,

My name is Celia Carroll, and we live at 142 Village Gate Lane in Montgomery. This is the 2nd property we've owned at the Vintage Club, and we have been residents here for 14 Years. I am IN FAVOR of the McNair project.

Many of the residents that are opposed to the McNair project are newer residents to the VC and reside in the condos. I believe they don't know the history of the neighborhood as well as some of us do. During the recession, Mr. Humes made the decision to sell the South parcel at VC because it was impossible to get funding for condos, hence Christ Hospital was built, who has been a good neighbor. Orange Theory and GE followed, also good neighbors. The next proposed development was apartments on the land we are discussing now which was met with adamant opposition by the VC community. The City heard the protests and that project was denied. Luckily the economy changed for the better, and funding was able to be secured for the condos, and there has been great success building them out. There is still one more large building slated to begin within the next six months.

I was recently at Summit Park and looked around to see high end homes that sell for about \$800K-1.2M, townhomes being built, condos that are scheduled to be built, shops, restaurants and a park. In the center of Summit Park is a retirement complex called Anthology, different in concept yet similar to what is being proposed by McNair. Summit Park is thriving and an ideal example of a mixed use community.

It is my sincere hope that the City works with McNair to make their project a reality. Completing the Vintage Club would make it a destination location for restaurants and shops which have yet to become a reality. Finishing out the neighborhood with a high-end development like the one being proposed by McNair would also provide senior housing for many local residents who seek this type of lifestyle.

Proponents for the project are afraid to speak out because the opponents to the project are loud and vocal. Whatever you decide, it will be met with disapproval. I don't envy your position, but again, this neighborhood needs to be completed as soon as possible before another Recession hits. The goal of many residents is to see this project done.

Please feel free to share any of my comments, though I would very much appreciate it if you kept my name confidential simply because of the neighborhood discord.

Best,

Celia Carroll

Celia Carroll

EXECUTIVE SALES VICE PRESIDENT | MONTGOMERY

SIBCY CLINE REALTORS

Phone: 513-477-1536

Website: www.sibcycline.com/ccarroll



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Planning Commission

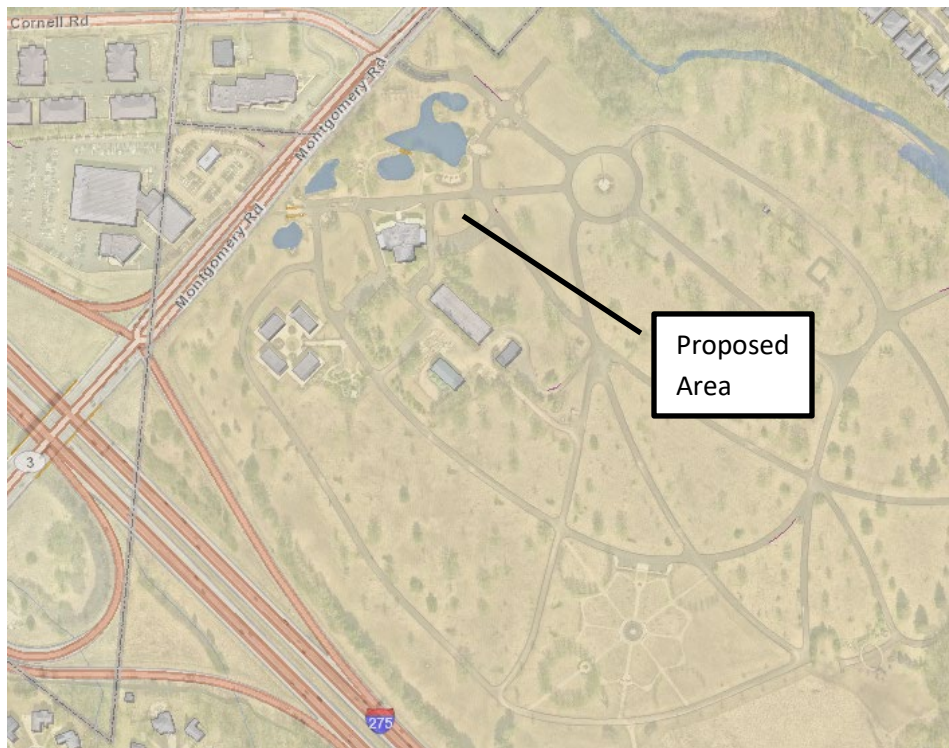
**Application for Expansion of a Conditional Use and Final Development Plan
Gate of Heaven Cemetery
11000 Montgomery Road**

September 11, 2023

Applicant: Terracon
611 Lunken Park Drive
Cincinnati, Ohio 45226

Property Owner: Archdiocese of Cincinnati/Gate of Heaven Cemetery
100 East Eighth Street
Cincinnati, Ohio 45202

Vicinity Map:



Nature of request:

The applicant on behalf of the Archdiocese of Cincinnati/Gate of Heaven Cemetery has prepared an application for an Expansion of a Conditional Use and Final Development Plan to construct a new paved 20 space parking lot. The overall property is approximately 160 acres and the area for the location of the lot is impacting about 5,500 sq. ft. The proposed location is along the main entrance driveway east of the existing office building. The cemetery anticipates building the lot within the next year.

Zoning:

The property is zoned 'A' Single Family Residential, and cemeteries are a conditionally permitted use in the district. The property has been utilized as a cemetery since 1947. The surrounding properties to the north are zoned 'A' Single Family Residential and 'D3' Multi-Family Residential (Vintage Club), east and south are zoned 'A' Single Family Residential and used for single family residences. The property to the west is mostly located in the township with a small area zoned 'GB' General business. Overall, a majority of the frontage of the property is bound- by Montgomery Road on the west and I-275 on the south.

Findings

Setbacks: The parking lot will have a 365 foot front yard setback from Montgomery Road and over 500 feet from all other side and rear setbacks.

Lighting: The applicant has indicated that no additional lighting is anticipated as the cemetery closes at dusk and opens at dawn. As such no nighttime traffic is anticipated.

Landscaping: The applicant is not proposing any new landscaping; however, Section 151.3408(A)(1) states that "When any parking area is designed to accommodate ten or more vehicles, a minimum of 10% of the parking surface area shall be planted as landscaped island areas". Staff would suggest a condition upon approval that a minimum of 10% of the parking lot be in landscape islands. .

Circulation/Parking: No road or access changes are proposed to site. Code regulations do not directly address parking minimums for a cemetery and leave the parking determination to Planning Commission. The proposed parking lot is intended to be used for office personnel and visitors.

Stormwater: The City Engineer has indicated that based on the size of the proposed development, it would be exempt from requiring any detention. The applicant will need to confirm compliance with any applicable Hamilton County Stormwater Regulations.

Utilities: The gas, water and fire protection for the proposed addition will be serviced from the existing services.

CONDITIONAL USE SPECIFIC CONDITIONS:

Chapter 151.2007(e) lists the specific conditions for cemeteries. Those conditions are listed below with a description of how the applicant is or proposes to address the condition.

1. No building, including a mausoleum or crematory, shall exceed three stories or 45 feet, including all construction mechanicals.

The regulation is not applicable.

2. Burial vaults or crypts, gravestones, grave markers, monuments, statuary or bell towers and similar structures which do not exceed six feet in height shall be setback 15 feet from all property lines.

The regulation is not applicable.

3. Structures, as described in division (E)(2) above, greater than six feet in height but not exceeding 45 feet in height, shall be setback not less than 50 feet from the right-of-way line or any lot zoned and used for residential purposes abutting the cemetery property. Accessory buildings and sheds used for general maintenance of the cemetery grounds and other structures not related to a gravesite, must be setback a minimum of 50 feet from the front property line and 25 feet from the side and rear property line.

The regulation is not applicable.

4. Any building, mausoleum, crematory, or associated parking, shall be setback 50 feet from the street right-of-way line.

The proposed parking area is in compliance with the setback and is at 365' from Montgomery Road.

Chapter 151.2002 lists 12 general standards that are applicable to all conditional uses. Staff has reviewed these 12 conditions and found that the site and the proposed mausoleums meets all the conditions.

Staff Comments

The parking project will significantly help with visitor traffic regarding the future mausoleums that were approved last year. The proposed parking lot is on a small portion of the overall property. The site presently has substantial landscaping and mounding with additional vegetation being added to enhance the area for visitors. Overall, it appears the addition of the parking lot should not have any negative impacts on surrounding properties. Additional interior parking lot landscaping will be required to meet the zoning regulation for parking lots over 10 spaces per Section 151.3408(A)(1).

Overall, per section 150.1607, Planning Commission shall make specific findings of fact that the expansion of a conditional use to approve or deny the application. Section 150.168 then requires City Council to hold a public hearing to review and confirm the conditionally permitted use accepted by Planning Commission. Planning Commission will also need to review the Final Development Plan and issue an approval or denial.

Should Planning Commission make a recommendation for approval of the Expansion of Conditional Use, they can also include a condition that the Final Development Plan be approved contingent on City Council's approval of the Expansion of Conditional Use with the possible following conditions:

- A minimum of 10% of the parking lot be landscaped per Section 151.3408(A)(1) to be approved by the Community Development Director.
- Final stormwater regulations be met in conformance with Hamilton County Stormwater Regulations.
- The Final Development Plan be approved with City Council's approval of the Expansion of Conditional Use.



CONSENT OF OWNER(S) TO INSPECT PREMISES

To: City of Montgomery Planning Commission and Staff
City Hall
10101 Montgomery Road
Montgomery, Ohio 45242

Re: Review Subject Site

Dear Members and Staff:

As owner(s) of the property located at 11000 Montgomery Rd, Cincinnati, OH 45249, we hereby grant permission to Members of the Planning Commission and City of Montgomery Staff to enter the property for visual inspection of the exterior premises. The purpose of said inspection is to review the existing conditions of the subject site as they relate to the application as filed to the Planning Commission.

Property Owner(s) Signature _____

Print Name Thomas J Jordan

Date 7/13/23

Planning Commission Members:

Vince Dong

Peter Fossett

Dennis Hirotsu

Andy Juengling

Barbara Steinebrey

Patrick Stull

Alex Schneider



APPLICATION FORM

Meeting (Circle): Board of Zoning Appeals Planning Commission Landmarks Commission

Project Address (Location): 11000 Montgomery Road, Cincinnati, Ohio 45249

Project Name (if applicable): Gate of Heaven Cemetery - Mausoleums A1 B1

Auditors Parcel Number: 603-0023-0009-90

Gross Acres: 145.094 Lots/Units _____ Commercial Square Footage _____

Additional Information: _____

PROPERTY OWNER(S) Archdiocese of Cincinnati Contact Thomas J. Jordan

Address 100 East Eighth Street Phone: (513) 489-0300 ext. 262

City Cincinnati State Ohio Zip 45202

E-mail address tjordan@gateofheaven.org

APPLICANT Gate of Heaven Cemetery Contact Thomas J. Jordan

Address 11000 Montgomery Road Phone: (513) 489-0300 ext. 262

City Cincinnati State Ohio Zip 45249

E-mail address tjordan@gateofheaven.org

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in this application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.

Property Owner Signature

FOR DEPARTMENT USE

ONLY

Print Name

Thomas J. Jordan

Date 7/13/23

Meeting Date:
Total Fee:
Date Received:
Received By:



611 Lunken Park Drive
Cincinnati, OH 45226
P (513) 321 5816
F (513) 321 0294
Terracon.com

July 13, 2023

City of Montgomery Planning Commission
City Hall
10101 Montgomery Road
Montgomery, Ohio 45242

Attn: Kevin Chesar, Community Development Director
Email: kchesar@montgomeryohio.org

Re: Request for Conditional Use Zoning Approval
Office Parking Lot – Gate of Heaven Cemetery
11000 Montgomery Road, Montgomery, Ohio

Dear Mr. Chesar and Planning Commission:

Terracon Consultants, Inc. (Terracon) has prepared this request for a Conditional Use Zoning Approval on behalf of the Archdiocese of Cincinnati for the approval of the Office Parking Lot at the Gate of Heaven Cemetery located at 11000 Montgomery Road. Section 151.1003 of the City Code of Ordinances requires a cemetery to obtain a Conditional Use Zoning Permit for the use of any new buildings or structures.

Name, Address, and Phone Number of the Applicant

Gate of Heaven Cemetery
11000 Montgomery Road
Montgomery, Ohio 45249

Thomas J. Jordan, Director of Cemeteries
(513) 489-0300 ext. 262

Name, Address, and Phone Number of the Property Owner

Archdiocese of Cincinnati
100 East Eighth Street
Cincinnati, Ohio 45202

Archbishop Dennis M. Schnurr, Trustee
(513) 421-3131

Proof of Ownership, Legal Interest or Written Authority

The property deeds for the 145.094-acre parcel for the proposed Office Parking Lot are contained in Attachment A. The cemetery facility comprises multiple parcels owned by the Archdiocese and contains approximately 160 acres total.

Final Development Plan

The final development plan for the Office Parking Lot is contained in Attachment B, and includes a vicinity map and a site plan. The proposed Office Parking Lot will be situated along both the main entrance driveway and a side drive lane, immediately east of the existing office building. The Office Parking Lot will be hard surfaced with asphalt pavement and will be used by both visitors and cemetery employees for passenger car parking. The Office Parking Lot will fit within the cemetery's existing entrances, access drives, parking areas, storm drainage, and landscaping features. An existing storm sewer is located at the east end of the proposed Office Parking Lot to utilize for storm water collection.

The Office Parking Lot will have a front property line setback of 365 feet, and the side and rear setbacks all will exceed 500 feet. The asphalt pavement for the Office Parking Lot will be at the surface grade only and adjoin the existing asphalt pavement for the main and side driveways. The Office Parking Lot will have 20 passenger car spaces and will have an area of 5,447 square feet.

Statement of Need for Proposed Use, Its Location and Magnitude

Gate of Heaven Cemetery requires the use of the proposed Office Parking Lot to continue to operate and serve the final interment needs of the region. The facility has been in operation for over 75 years, and the additional passenger car parking spaces are planned for both visitors and employees to the office building. The completion of Mausoleum A1B1 in late 2023, as well as the future construction of Mausoleum A2B2, will have additional intermittent visitor parking needs for the facility when opened for use. The proposed Office Parking Lot will add parking spaces to be utilized by visitors to either the existing office building or to the mausoleums. The location and size of the proposed Office Parking Lot was discussed in the Development Plan section above.

Consequences of Effects of the Office Parking Lot on Surrounding Properties and the Neighborhood

The proposed Office Parking Lot will have no apparent negative effects on surrounding properties and the neighborhood at large. Gate of Heaven Cemetery abuts the northeast corner of the Montgomery Road interchange with Interstate 275. The facility contains 160 acres overall and has approximately 1,800 linear feet of frontage along Montgomery Road and its side abuts Interstate 275 for approximately 2,600 linear feet. The rear and other side of the facility abut a broad wooded corridor containing a tributary of the North Branch of Sycamore Creek. A portion of the rear boundary has wooded frontage along Weller Road.

Montgomery Road contains mixed commercial uses in the adjoining neighborhood of the facility, including a large car dealership facility, a mixed retail strip building, multiple professional office buildings, and a large hospital outpatient facility. The proposed Office Parking Lot will have a front setback of more than 365 feet, and will be constructed at the ground surface level. The cemetery facility has multiple existing screening berms along Montgomery Road for the existing cemetery office building and for the four existing columbaria buildings. As the proposed Office Parking Lot will be sited on the east side of the office building, the existing screening will continue to preclude any effects on the neighborhood properties along Montgomery Road.

Residential properties abut the facility on both the north side (Vintage Club subdivision) and the rear (Reserve of Montgomery subdivision) property boundaries. The wooded stream corridor along these sides of the facility between the cemetery and these subdivisions serves as a significant natural screening barrier for all the cemetery buildings, including the parking areas. As the closest residential

building in these two subdivisions to the proposed Office Parking Lot has a setback of over 1,400 feet, the wooded stream corridor would continue to serve as effective natural screening.

The Weller Woods residential subdivision lies on the other side of both Interstate 275 and Weller Road from the cemetery facility. A concrete barrier wall lies between Weller Woods subdivision and Interstate 275, and a combination of tree plantings, screening berms, and a portion of a concrete barrier wall lies between the interstate and the cemetery. The wooded stream corridor also runs on the north side of Weller Road to serve as natural screening for those residences on the south side of the road. As the closest residential building in this subdivision to the proposed Office Parking Lot has a setback of over 1,600 feet, this combination of screening efforts will continue to serve to preclude negative effects from the cemetery buildings and parking areas.

Mitigation of Negative Effects of the Office Parking Lot

The proposed Office Parking Lot will be consistent with the current uses at the Gate of Heaven Cemetery involving interment operations, ceremonial services, and casual public visitation. The cemetery currently mitigates any negative effects of its operations with extensive screening barriers (berms, plantings, walls, landscaping features, natural wooded corridors, etc.), two limited public access driveways with security gates on Montgomery Road, limited daily hours for public access, extensive paved drive lanes within the facility, and proper signage and parking areas within the facility. The cemetery has professional management staff and operations personnel working full-time in both the on-site office building and operations building.

Section 151.2007(E) of the City Code gives the specific supplemental regulations for conditional use approvals for cemeteries. The proposed Office Parking Lot would be compliant with these requirements, since there is no building height, and the closest property line setback will be 365 feet (from the front property line at Montgomery Road). The supplemental regulations limit building height to 45 feet maximum and setbacks to 50 feet minimum. This setback information is delineated on the Development Plan in Attachment B.

The proposed Office Parking Lot and its operation will be appropriate in appearance and will not change the character of the vicinity, nor be detrimental to property values or adversely affect existing uses of adjacent property owners. The existing facility access driveways, drive lanes, parking areas, landscape screening barriers, site utilities, and hours of operation will continue to be utilized for the operation of the proposed Office Parking Lot. The proposed Office Parking Lot is not anticipated to increase traffic levels above current rates, will not impede the development of surrounding properties, and will not create additional public cost burdens or other future hardships.

Closing Remarks

Terracon appreciates the opportunity to submit this Conditional Use Request on behalf of the Archdiocese of Cincinnati for the Gate of Heaven Office Parking Lot. Please contact us at (513) 472-7028 or email to John.Hattersley@terracon.com if any questions.

Sincerely,
Terracon Consultants, Inc.

John L. Hattersley, P.E.
Senior Engineer

Jeffrey D. Dunlap, P.E.
Senior Associate

Attachments: Attachment A – Facility Property Deeds

Attachment B – Final Development Plan



ATTACHMENT A
FACILITY PROPERTY DEEDS

Arthur J. Downey
ARTHUR J. DOWNEY,
Notary Public,
Hamilton County, Ohio.

REC. FOR RECORD 10-23-1939 No. 28 AT 11:22 A.M.
LEO. H. BECKMAN, RECORDER, HAMILTON COUNTY, O.

FORM 535

MADE IN U.S.A.

Tuttle Law Print, Publishers, Rutland, Vt.

Gen. Ind. Str. Sec. Bk. 9 1474 478

Know all Men by these Presents

That MATTHIAS F. HEYKER, unmarried, of 29 East Eighth Street, Cincinnati, Hamilton County, Ohio, DONOR and GRANTOR herein, in Consideration of the promise of JOHN T. McNICHOLAS, Archbishop of Cincinnati, of 29 East Eighth Street, Cincinnati, Hamilton County, Ohio, DONEE and GRANTEE herein, that he and his successors in office as such Archbishop, will hold the property, herein conveyed, under the Trusts and subject to the Powers hereinafter set out; and in further consideration of the sum of ONE (\$1.00) DOLLAR, and other valuable considerations, to him paid by said John T. McNicholas, Archbishop of Cincinnati, the Receipt of which is hereby acknowledged, does hereby GIVE, GRANT, TRANSFER and CONVEY to the said John T. McNicholas, Archbishop of Cincinnati, and to his successors in office as such Archbishop, his and their heirs and assigns forever, all his right, title, estate and interest in and to the following described parcels of land,-

PARCEL ONE: Situate in Section 36, Township 5, Entire Range 1, of the Miami Purchase in Symmes Township, Hamilton County, Ohio, and bounded and described as follows: Beginning in the Southeast corner of said Section; thence N. 1° W. on the East line of said Section 80 poles; thence W. 113 poles; thence S. 1° 40' E. 83 poles to the South line of the Section; thence N. 89° E. on said line 111.5 poles to the place of beginning; containing 57 acres and 28 poles, more or less, and subject to all legal highways. Being the same premises conveyed to The Seton Realty Company by Christian Grassman and wife by Deed, bearing date April 15, 1929, and recorded in Deed Book 1491, page 478, Land Records of Hamilton County, Ohio.

PARCEL ONE: Situate in Section 35, Township 5, Entire Range 1, of the Miami Purchase in Symmes Township, Hamilton County, Ohio, and bounded and described as follows: Beginning at the Northeast corner of said Section 35; thence S. 0° 12' W. with the East line of said Section 10.885 chains; thence S. 89° 20' W. and parallel to the North line of said Section, 14.70 chains; thence N. 12° E. and parallel to the East line of said Section, 10.685 chains to the North line of said Section; thence N. 89° 20' E. with said North line, 14.70 chains to the place of beginning; containing 16 acres and being subject to all legal highways. Being the same premises conveyed to The Seton Realty Company by Luna Garten and husband by Deed, bearing date March 20, 1929, and recorded in Deed Book 1489, page 267, Land Records of Hamilton County, Ohio.

PARCEL THREE: Situate in Section 36, Township 5, Entire Range 1, of the Miami Purchase in Symmes Township, Hamilton County, Ohio, and bounded and described as follows: Beginning at a point in the South line of said Section, 30 chains East of the Southwest corner of the same and at the Southeast corner of Neufarth's 5 acre tract; thence North parallel with the West line of said Section, 20 chains to the South line of Harper's other land; thence East parallel with the South line of said Section, 20 chains to Grassmann's West line; thence South on Grassmann's line 20 chains to the South line of the Section; thence West on the Section line to the place of beginning, containing 40 acres.

PARCEL FOUR: Situate in Section 36, Township 5, Entire Range 1, of the Miami Purchase in Symmes Township, Hamilton County, Ohio, and bounded and described as follows: Beginning at a point in the West line of the foregoing described 40 acre tract 5 chains North of the Section line being the Northeast corner of Neufarth's 5 acre tract; thence North on the West line of said 40 acre tract to the Northwest corner of the same 15 chains; thence West about 5 chains to the Southwest corner of Kaiser's 2 acre tract; thence North on Kaiser's West line about 4 chains, more or less, to the center of the Montgomery Pike; thence South in the center of said Pike to the East line of Groom's land and of the Samuel Arbuckle Estate; thence South on Groom's line to the Northwest corner of Neufarth's 5 acre tract about 12.84 chains; thence East on the North side of said 5 acre tract 10 chains to the place of beginning; containing 15 acres, more or less.

PARCEL FIVE: Situate in Section 35, Township 5, Entire Range 1, of the Miami Purchase in Symmes Township, Hamilton County, Ohio, adjoining on the South the said 40 acre tract, PARCEL THREE above described, and bounded and described as follows: Beginning at a point in the North line of said Section 14.70 chains West from the Northeast corner of the same at the Northwest corner of Glancy's land; thence South on Glancy's line 20.36 chains to Meier's North line; thence West on Meier's line 24.20 chains to Neufarth's East line; thence North on Neufarth's line 20.36 chains to the Section line; thence East on the Section line 24.20 chains to the beginning; containing 50 acres of land and subject to all legal highways.

The said PARCELS THREE, FOUR and FIVE are the same premises conveyed to The Seton Realty Company by Frank Heringer, a widower, by Deed, bearing date September 26, 1929, and recorded in Deed Book 1508, page 537, Land Records of Hamilton County, Ohio.

PARCEL SIX: Situate in Section 35, Township 5, Entire Range 1, of the Miami Purchase in Symmes Township, Hamilton County, Ohio, and bounded and described as follows: Being the West half of the Northwest quarter of Section 35, Township 5, Entire Range 1, of the Miami Purchase; being the same property devised to Robert Botkin by Richard Botkin by Will, bearing date March 27, 1848, and recorded in Will Book 14, page 406, Probate Court, Hamilton County, Ohio, and containing 80 acres of land, more or less, as more fully shown by Plat of Survey made by John S. Hoshbrook, County Surveyor, on October 3, 1854. Excepting, however, from the said 80 acre tract a small triangular strip, containing approximately 3 acres, and lying on the Northwesterly side of Montgomery Pike.

PARCEL SEVEN: Situate in Section 35, Township 5, Entire Range 1, of the Miami Purchase in Symmes Township, Hamilton County, Ohio, and bounded and described as follows: Being the Southeast quarter of the Northwest quarter of said Section 35, Township 5, Entire Range 1, of the Miami Purchase; being the same property devised to Robert Botkin by Richard Botkin by Will, bearing date March 27, 1848, and recorded in Will Book 14, page 406, Probate Court, Hamilton County, Ohio, and containing 40 acres of land, more or less.

The said PARCELS SIX and SEVEN comprise all of the property formerly owned by Mary Alice Gribben Vogel, to the South and East of Montgomery Road, and being approximately 117 acres, in all; subject to an Easement for the uses of a road or private driveway for John Shobert's farm, and for the use of the Public, granted by Charles H. Linke and Hannah Linke, his wife, to Simon Cochran by Deed, bearing date March 20, 1862, and recorded in Deed Book 317, page 495, Land Records of Hamilton County, Ohio. The said PARCELS SIX and SEVEN are the same premises conveyed to The Seton Realty Company by Mary Alice Gribben Vogel by Deed, dated September 26, 1929, and recorded in Deed Book 1510, page 192, Land Records of Hamilton County, Ohio. The privilege, reserved in said Deed to said Mary Alice Gribben Vogel, to remove from the premises, prior to March 1, 1930, her residence, she has already exercised and completed.

PARCEL EIGHT: Situate in Section 35, Township 5, Entire Range 1, of the Miami Purchase in Symmes Township, Hamilton County, Ohio, and bounded and described as follows: The South one-half ($\frac{1}{2}$) of the 100 acre tract, beginning at the Southwest corner of a 60 acre tract of land off the East side of the Northeast quarter of said Section 35; thence North along the West line of said 60 acre tract to the North boundary line of said Section; thence Westwardly with said Section line to Richard Botkin's Northeast corner; thence South with said Botkin's line to the middle of the Section; thence Eastwardly to the place of beginning; being the 50 acres of land, strict measure, conveyed to John Meiers by John J. Meyer, Guardian of the person and estate of August Linke, by Deed, dated May 31, 1894, and recorded in Deed Book 771, page 280, Land Records of Hamilton County, Ohio; and being the same premises conveyed by the heirs of John Meiers, deceased, to The Seton Realty Company, by Deed, dated June 11, 1929, and recorded in Deed Book 1498, page 544, Land Records of Hamilton County, Ohio.

PARCEL NINE: Situate in Section 36, Township 5, Entire Range 1, of the Miami Purchase in Symmes Township, Hamilton County, Ohio, and bounded and described as follows: Beginning at a point in the South line of said Section 36 at the intersection of the center line of Montgomery Pike; said point being 456.06 feet East of the Southwest corner of said Section 36; thence N. 37° 30' E. along the center line of Montgomery Pike, 564.43 feet; thence leaving the center line of said Pike S. 52° 30' E. 250.47 feet; thence N. 37° 30' E. parallel to the center line of said Pike 200 feet; thence N. 52° 30' W. 250.47 feet to the center line of Montgomery Pike; thence N. 37° 30' E. along the center line of said Pike 696.29 feet; thence S. 1° 01' W. 1160.32 feet to the South line of said Section 36; thence N. 89° 55' W. along said Section line 868.56 feet to the place of beginning; containing 10.417 acres. Subject to all legal highways. Being the same premises conveyed to The Seton Realty Company by Emma Grooms and husband by Deed, bearing date May 17, 1929, and recorded in Deed Book 1496, page 161, Land Records of Hamilton County, Ohio.

PARCEL TEN: Situate in Section 5, Township 4, Entire Range 1, of the Miami Purchase in Sycamore Township, Hamilton County, Ohio, and bounded and described as follows: Beginning at a point in the East line of said Section 5, at the intersection of the center line of Montgomery Pike, said point being 599.94 feet South of the Northeast corner of said Section 5; thence S. 1° 00' W. along the East line of said Section, 1096.35 feet; thence N. 55° 50' 30" W. 644.66 feet to the center line of Montgomery Pike; thence N. 36° 58' E. along said center line 918.94 feet to the place of beginning; containing 6.792 acres and subject to all legal highways. Being the same premises conveyed to The Seton Realty Company by Rosa Eisele and Andreas Eisele, her husband, by Deed, bearing date May 17, 1929, and recorded in Deed Book 1496, page 162, Land Records of Hamilton County, Ohio.

PARCEL ELEVEN: Situate in Section 36, Township 5, Entire Range 1, of the Miami Purchase in Symmes Township, Hamilton County, Ohio, and bounded and described as follows: Beginning at a point in the East line of said Section 1345.70 feet North of the Southeast corner of said Section; thence North 54' East along the East line of said Section 1885.22 feet to a point from which a walnut tree 8 inches in diameter bears East 6.30 feet; thence South 89° 45' West along the South line of the property of Henry Seigla 701.20 feet to a post; thence South 1° 36' West 1628 feet along the East line of the premises of John A. Vogel, Jr., and to the center of the Symmes Town Road; thence North 53° 7' West along the center of said road 321 feet to an angle in said road; thence North 36° 32' West along the center of said road 1148.20 feet; thence South 58' West along the line of Hamlin Harper, now occupied by a fence 1364.10 feet to a point from which a leaning stone bears 2 feet North and 8 inches West; said point being the North line of Christian Grassmann's land; thence South 89° 48' East along said Grassmann's North line 1680.36 feet to the place of beginning; containing 47.37 acres.

So much of the above described land as lies within the Symmes Town Road is subject to the right of the Public to use the same for road purposes.

Being the same premises covered by Certificate of Title No. 2965, issued to The Seton Realty Company on May 6, 1929, and entered in Book 12, page 2965, of the Land Title Registers of Hamilton County, Ohio; and, thereafter, by Certificate of Title No. 4544, issued to Susanna W. Hinkle on February 10, 1933, and entered in Book 2, page 360, of Land Title Registers of Hamilton County, Ohio; and now held by Grantor, Matthias F. Heyker, by Registered Document No. 33516, dated October 4, 1939, subject to a perpetual leasehold, with privilege of purchase, of John T. McNicholas, Arch-

Also, said Grantor, Matthias F. Heyker, now holds the title in fee to all of the foregoing PARCELS ONE through TEN, subject to the said perpetual leasehold, with privilege of purchase, of said John T. McNicholas, Archbishop of Cincinnati, as Trustee, by virtue of Deed to him from said Susanna W. Hinkle, dated September 30, 1939, and recorded in Deed Book 1839, page 455, Land Records of Hamilton County, Ohio.

And the said John T. McNicholas, Archbishop of Cincinnati, and his successors in office as such Archbishop, his and their heirs and assigns, are forever TO HAVE and TO HOLD said premises, and all the ESTATE, TITLE and INTEREST of the said Matthias F. Heyker in the foregoing parcels of land, and all the privileges and appurtenances thereunto belonging, and all rents, issues and profits arising therefrom, in Trust, under the rules, regulations, canons and discipline of the Roman Catholic Church, primarily, for cemetery purposes, and for establishing and maintaining a place of burial and sepulture in accordance with the rites and practices of the Roman Catholic Church.

In the event that, at any time in the future, said primary purpose of this Trust should wholly fail, or be wholly abandoned, or in the further event that the said John T. McNicholas, Archbishop of Cincinnati, or any successor to him as such Archbishop, should determine that any part of the aforesaid real estate, or any part of the rents, issues and profits arising therefrom, is not needed for the primary purpose above set out, then said John T. McNicholas, Archbishop of Cincinnati, and his successors as such Archbishop, his and their heirs, successors and assigns, are to have and to hold all of said real estate in case of the failure or abandonment of said primary purpose, or such part of said real estate or of its rents, issues and profits, as said Archbishop or his successors as aforesaid shall determine to be not needed for said primary purpose, in Trust for such other diocesan, charitable, religious and educational purpose or purposes, to be administered under the rules, regulations, canons and discipline of the Roman Catholic Church, as said John T. McNicholas, Archbishop of Cincinnati, or any successor to him as such Archbishop, may direct and designate by written instrument.

And whenever, at any time hereafter, in the judgment of said John T. McNicholas, Archbishop of Cincinnati, or of any of his successors as such Archbishop, said judgment being exercised in accordance with the rules, regulations, canons and discipline of the Roman Catholic Church, it may become necessary for the benefit of, and/or for the better accomplishment of, any of the Trusts created hereunder, to sell, mortgage, lease or encumber said real estate or a part thereof, then full complete and unconditioned power is hereby conferred by said Matthias F. Heyker, Donor and Grantor herein, upon said John T. McNicholas, Archbishop of Cincinnati, and upon every successor to him as such Archbishop, to make any such sale, mortgage, lease or encumbrance; and that without resorting to any Court for authority so to do. The terms of any such sale, mortgage, lease or encumbrance are to be within the discretion of said Archbishop or of his successors so making the same, said discretion to be exercised in accordance with said rules, regulations, canons and discipline of the Roman Catholic Church. All proceeds of any such sale, mortgage, lease or encumbrance, and any property in which such proceeds, or any part thereof, may be invested, shall be subject to the same Trusts that are imposed herein upon, and to the same powers of sale, mortgage, lease and encumbrance that are herein conferred with reference to, the real estate hereinabove described.

All deeds, mortgages, leases and encumbrances which recite that they are made by said John T. McNicholas, Archbishop of Cincinnati, or by any successor to him as such Archbishop, in pursuance of the said powers herein conferred, shall be deemed to convey unimpeachable titles to grantees, lessees, and mortgagees, and shall be absolutely valid and binding against and upon the cestuis que trustent under this Deed; and all persons dealing under said powers with said John T. McNicholas, Archbishop of Cincinnati, or with any successor to him as such Archbishop, are hereby forever relieved and released, first, from looking or inquiring into the soundness, legality or validity of the judgment or discretion exercised by said John T. McNicholas, Archbishop of Cincinnati, or by any successor to him as such Archbishop, in making any sale,

mortgage, lease or encumbrance, authorized herein, or in prescribing the terms thereof; and, secondly, from looking to the application of purchase, mortgage, rent or other monies arising from the exercise by said Archbishop, or by any successor to him as such Archbishop, of the powers herein conferred.

This Deed and Conveyance are made in consummation of the privilege of purchase of said John T. McNicholas, Archbishop of Cincinnati, as Trustee, under Indenture of Lease, dated September 26, 1929, and recorded in Lease Book 220, page 467, Land Records of Hamilton County, Ohio.

And, Matthias F. Heyker, Donor and Grantor herein, in order to make full assurance of the title to the premises herein conveyed and transferred, does hereby covenant with the said John T. McNicholas, Archbishop of Cincinnati, and with his successors in office as such Archbishop, his and their heirs and assigns, that he is the true and lawful owner of the premises herein transferred and conveyed; that he has full power to convey the same; that the title herein conveyed by him is Clear, Free and Unincumbered; and further, that he does WARRANT and WILL DEFEND the same against all claim or claims of all persons whomsoever, claiming by, through, from or under him, or any act or deed of his; save and except the terms and conditions of said perpetual leasehold, with privilege of purchase; and also excepting the taxes and assessments which may be a lien on said real estate, they being the obligation of the Grantee, his successors, heirs and assigns.

IN WITNESS WHEREOF, the said MATTHIAS F. HEYKER, unmarried, Donor and Grantor herein, has hereunto set his hand, at Cincinnati, this 3rd day of October, 1939.

Signed and acknowledged in the presence of:

Matthias F. Heyker
John T. McNicholas

TRANSFERRED
OCT 23 1939
GEO. SCHUMBERGER
STATE OF OHIO, COUNTY OF HAMILTON



BE IT REMEMBERED That on the 3rd day of October, 1939, before me, the subscriber, a Notary Public in and for said County and State, personally came MATTHIAS F. HEYKER, unmarried, the Donor and Grantor in the foregoing Deed, and acknowledged the signing thereof to be his voluntary act and deed for the uses and purposes therein mentioned.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed my official seal, at the day and year last aforesaid.

John K. Mussio
JOHN K. MUSSIO
Notary Public, Hamilton County, Ohio.
My Commission Expires Sept. 6, 1942

REC. FOR RECORD *Paul* No. *73* AT *3:01 Pm*
LEO. H. BECKMAN RECORDER, HAMILTON COUNTY, O.
October 23 - 1939

Gen. Ind. 8th Ser. Bk. *S. 1 P. 434* OCT-23-39 113454 —Dk— 110

Know All Men by These Presents:

That Mary G. Hayes, unmarried
in consideration of
One (\$1.00) dollar and other good and valuable considerations
to her *paid by* William A. Geisel and Mildred Geisel, husband and wife

the receipt whereof is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to the said
William A. Geisel and Mildred Geisel, their

heirs and assigns forever
The following described real estate, to-wit:

Situated in the City of Cincinnati (in the former Village of Carthage), Hamilton County, Ohio, to-wit:

Being parts of lots number 271, 272, 273 and 274 of Lee, Wilson, and Bullock's Addition to Carthage, a plat of which is recorded in Plat Book 1, page 26 in the office of the Recorder of Hamilton County, Ohio, and more particularly described as follows:

Beginning at a point in the west line of Fairpark Avenue, thirty five (35) feet southwardly from the northeast corner of said lot number 274; thence southwardly along the west line of Fairpark Avenue, thirty five (35) feet to a point; thence westwardly along a line parallel with the north line of Sixty-eighth Street and seventy (70) feet distant therefrom, for a distance of one hundred (100) feet to a point in the west line of said Lot No. 271; thence northwardly with the west line of said Lot No. 271, thirty five (35) feet to a point, said point being thirty five (35) feet southwardly from the northwest corner of said Lot No. 271; thence eastwardly parallel with the north line of Sixty-eighth Street, one hundred (100) feet to the west line of Fairpark Avenue and the place of beginning.

Subject to an easement over the rear ten (10) feet of said premises for the purpose of ingress and egress, as set forth in deed recorded in Deed Book 1294, page 470 of said county records.

Being the same premises conveyed to the said Mary G. Hayes by Van W.

1959 PAGE 550

TRANSFERRED

JUN 24 1942

GEO. GUCKENBERGER
AUDITOR

on the day and year last aforesaid.

Nicholas Bauer

NICHOLAS BAUER, Notary Public
My commission expires Sept. 22, 1942

Deed
REG. FOR RECORD 6/4/42 No. 73 AT 2:56 PM
GEORGE E. KEARNS, RECORDER, HAMILTON COUNTY, OHIO B

FORM 535

Gen. Ind. 8th Ser. Bk. 9 p 474-478

JUN-5-42

242566

TUTBLANK REGISTERED U.S. PAT. OFFICE
Type Law Print. Publishers Rutland Vt.

2.00

Know all Men by these Presents

That JOHN K. MUSSIO, unmarried, of Cincinnati, Hamilton County, Ohio, donor and grantor herein, in Consideration of the promise of John T. McNicholas, Archbishop of Cincinnati, donee and grantee herein, that he and his successors in office as such Archbishop, will hold the property, herein conveyed, under the Trusts and subject to the Powers hereinafter set out; and in further consideration of the sum of ONE (\$1.00) DOLLAR, and other valuable considerations, to him paid by said John T. McNicholas, Archbishop of Cincinnati, the Receipt of which is hereby acknowledged, does hereby GIVE, GRANT, TRANSFER and CONVEY to the said John T. McNicholas, Archbishop of Cincinnati and to his successors in office as such Archbishop, his and their heirs and assigns forever, the following described real estate,-

Situated in Section 35, Town 5, Entire Range 1, of the Miami Purchase, Symmes Township, Hamilton County, Ohio, and being forty (40) acres of land in a square in the Northeast quarter of the Northwest quarter of said section.

ALSO, strip of land for a road or right-of-way beginning at the Northwest corner of said forty (40) acre tract; thence South fifteen (15) feet; thence West parallel to the section line to the center of Montgomery Pike; thence Northeast to the section line; thence East on section line to the beginning, containing one-third (1/3) of an acre.

ALSO, tract of five (5) acres in Section 36, adjoining said forty (40) acres, beginning at a point in the South line of said section, eighty (80) rods East of the West line of the same, at the Southeast corner of the Ar-buckle land; thence on the section line North eighty-nine (89°) degrees East forty (40) rods; thence North thirty (30') minutes East twenty (20) rods; thence South eighty-nine (89°) degrees West forty (40) rods to the Arbuckle line; thence South thirty (30') minutes West to the beginning; containing five (5) acres.

Being the same premises conveyed to John K. Mussio by deed recorded in Deed Book 1958, page 407, Land Records, Hamilton County, Ohio.

And the said John T. McNicholas, Archbishop of Cincinnati, and his successors in office as such Archbishop, his and their heirs and assigns, are forever TO HAVE and TO HOLD said premises, and all the ESTATE, TITLE and INTEREST of the said John K. Mussio in the foregoing parcels of land, and all the privileges and appurtenances thereunto belonging, and all rents, issues and profits arising therefrom, in Trust, under the rules, regulations, canons and discipline of the Roman Catholic Church, primarily, for cemetery purposes, and for establishing and maintaining a place of burial and sepulture in accordance with the rites and practices of the Roman Catholic Church.

In the event that, at any time in the future, said primary purpose of this Trust should wholly fail, or be wholly abandoned, or in the further event that the said John T. McNicholas, Archbishop of Cincinnati, or any successor to him as such Archbishop, should determine that any part of the aforesaid real estate, or any part of the rents, issues and profits arising therefrom, is not needed for the primary purpose above set out, then said John T. McNicholas, Archbishop of Cincinnati, and his succes-

sors as such Archbishop, his and their heirs, successors and assigns, are to have and to hold all of said real estate in case of the failure or abandonment of said primary purpose, or such part of said real estate or of its rents, issues and profits, as said Archbishop or his successors as aforesaid shall determine to be not needed for said primary purpose, in Trust for such other diocesan, charitable, religious and educational purpose or purposes, to be administered under the rules, regulations, canons and discipline of the Roman Catholic Church, as said John T. McNicholas, Archbishop of Cincinnati, or any successor to him as such Archbishop, may direct and designate by written instrument.

And whenever, at any time hereafter, in the judgment of said John T. McNicholas, Archbishop of Cincinnati, or of any of his successors as such Archbishop, said judgment being exercised in accordance with the rules, regulations, canons and discipline of the Roman Catholic Church, it may become necessary for the benefit of, and/or for the better accomplishment of, any of the Trusts created hereunder, to sell, mortgage, lease or encumber said real estate or a part thereof, then full, complete and unconditioned power is hereby conferred by said John K. Mussio, Donor and Grantor herein, upon said John T. McNicholas, Archbishop of Cincinnati, and upon every successor to him as such Archbishop, to make any such sale, mortgage, lease or encumbrance; and that without resorting to any Court for authority so to do. The terms of any such sale, mortgage, lease or encumbrance are to be within the discretion of said Archbishop or of his successors so making the same, said discretion to be exercised in accordance with said rules, regulations, canons and discipline of the Roman Catholic Church. All proceeds of any such sale, mortgage, lease or encumbrance, and any property in which such proceeds, or any part thereof, may be invested, shall be subject to the same Trusts that are imposed herein upon, and to the same powers of sale, mortgage, lease and encumbrance, that are herein conferred with reference to, the real estate herein above described.

All deeds, mortgages, leases and encumbrances which recite that they are made by said John T. McNicholas, Archbishop of Cincinnati, or by any successor to him as such Archbishop, in pursuance of the said powers herein conferred, shall be deemed to convey unimpeachable titles to grantees, lessees, and mortgagees, and shall be absolutely valid and binding against and upon the cestuis que trustent under this Deed; and all persons dealing under said powers with said John T. McNicholas, Archbishop of Cincinnati, or with any successor to him as such Archbishop, are hereby forever relieved and released, first, from looking or inquiring into the soundness, legality or validity of the judgment or discretion exercised by said John T. McNicholas, Archbishop of Cincinnati, or by any successor to him as such Archbishop, in making any sale, mortgage, lease or encumbrance, authorized herein, or in prescribing the terms thereof; and, secondly, from looking to the application of purchase, mortgage, rent or other monies arising from the exercise by said Archbishop, or by any successor to him as

such Archbishop, of the powers herein conferred.

And, said John K. Mussio, donor and grantor herein, in order to make full assurance of the title to the premises herein conveyed and transferred, does hereby covenant with the said John T. McNicholas, Archbishop of Cincinnati, and with his successors in office as such Archbishop, his and their heirs and assigns, that he is the true and lawful owner of the premises herein transferred and conveyed; that he has full power to convey the same; that the title herein conveyed by him is Clear, Free and Unincumbered from and by any act and deed of his; and further that he, said grantor and donor, will

1959 PAGE 552

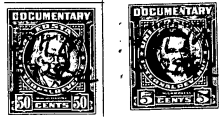
warrant and defend the aforesaid premises against any and all claims of all persons whomsoever, claiming by, through, from or under him, or any act or deed of his; save and except taxes now due and payable and those to become due, which Grantee herein assumes and agrees to pay.

IN WITNESS WHEREOF, the said JOHN K. MUSSIO, unmarried, donor and grantor herein, has hereunto set his hand, this 29th day of May, 1942.

Signed and acknowledged in the presence of:

Henry J. Siegfried
Leiter M. Mohlman

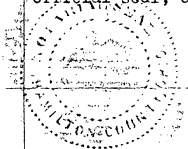
John K. Mussio



STATE OF OHIO,)
 : SS.
HAMILTON COUNTY.)

BE IT REMEMBERED That on the 29th day of May, 1942, before me, the subscriber, a Notary Public, in and for said County and State, personally came JOHN K. MUSSIO, unmarried, the Donor and Grantor in the foregoing Deed, and acknowledged the signing thereof to be his voluntary act and deed for the uses and purposes therein mentioned.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed my official seal, on the day and year last aforesaid.



TRANSFERRED
JUN 30 42
GEO. G. KEARNS, RECORDER

John C. Dempsey
JOHN C. DEMPSEY,
Notary Public, Hamilton County, Ohio.
REG. FOR RECORD 6/5/42 No. 18 AT 11:30am
GEORGE E. KEARNS, RECORDER, HAMILTON COUNTY, OHIO

WARRANTY DEED
With Dower—Copyrighted.

The W. H. Anderson Co., Law Book Publisher, Cincinnati, O.

Gen. Ind. 8th Ser. 45 P 136 JUN-5-42 242572 1stDds -

Know all Men by these Presents:

That Fannie Walls Scott, formerly Fannie Walls and since inter-married with Captain P. Scott,

in consideration of One Dollar (\$1.00) and other good and valuable consideration,

to her paid by Defense Plant Corporation, a corporation created by Reconstruction Finance Corporation pursuant to Section 5(d) of the Reconstruction Finance Corporation Act, as amended, grantee,

the receipt whereof is hereby acknowledged, do es hereby Grant, Bargain, Sell and Convey to the said grantee,

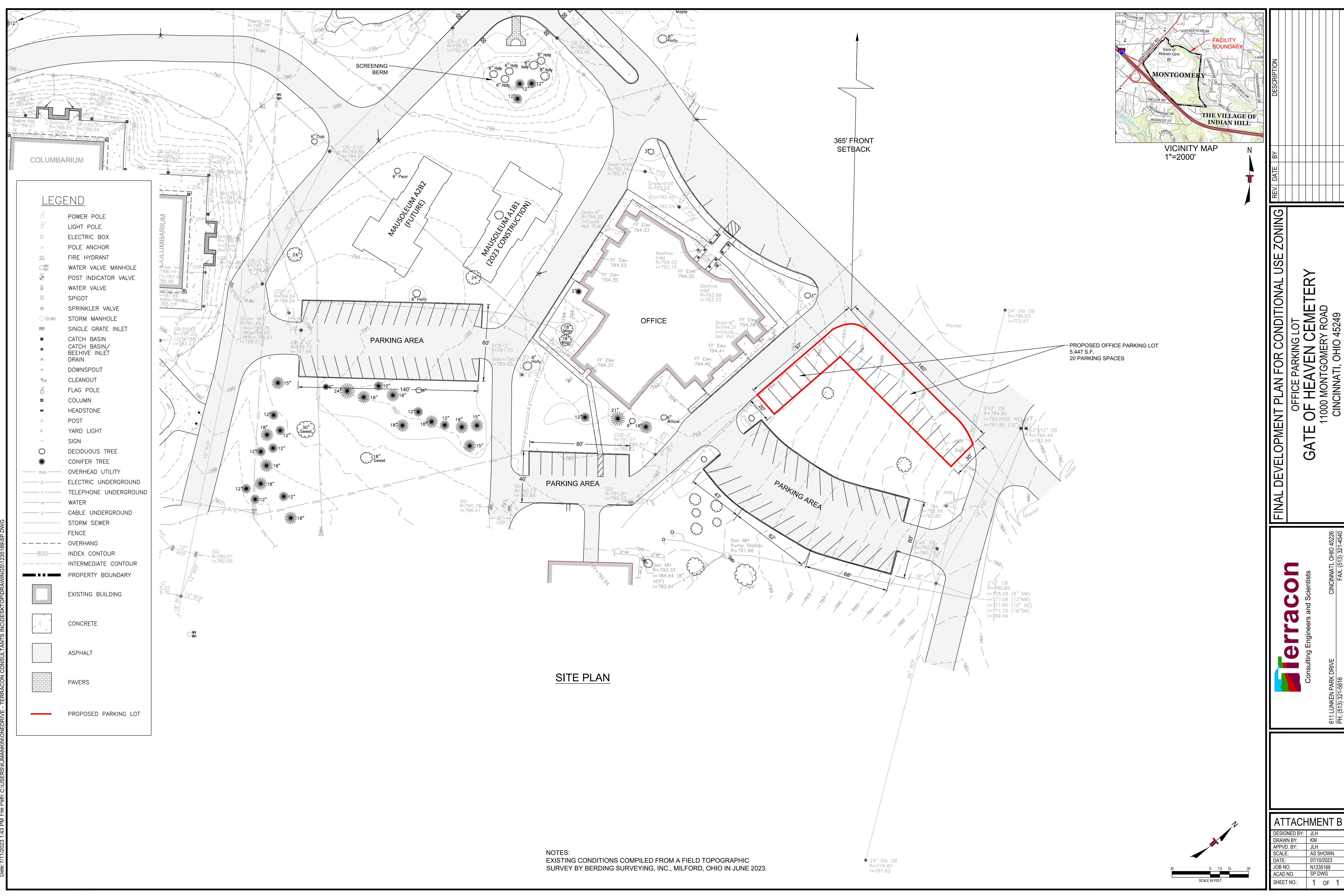
its successors heirs and assigns forever:

The following described real estate, to wit:

Situate in Section thirty-three (33), Sycamore Township, Hamilton County, Ohio, and being known, numbered and designated as Lot 129 and the south one-half of Lot 130 of the VALLEY VIEW SUBDIVISION, made by D. D. and E. H. Rempe, as per plat thereof recorded in Plat Book No. 28, page 37, of the Hamilton County, Ohio, Records.



ATTACHMENT B
FINAL DEVELOPMENT PLAN



Planning Commission

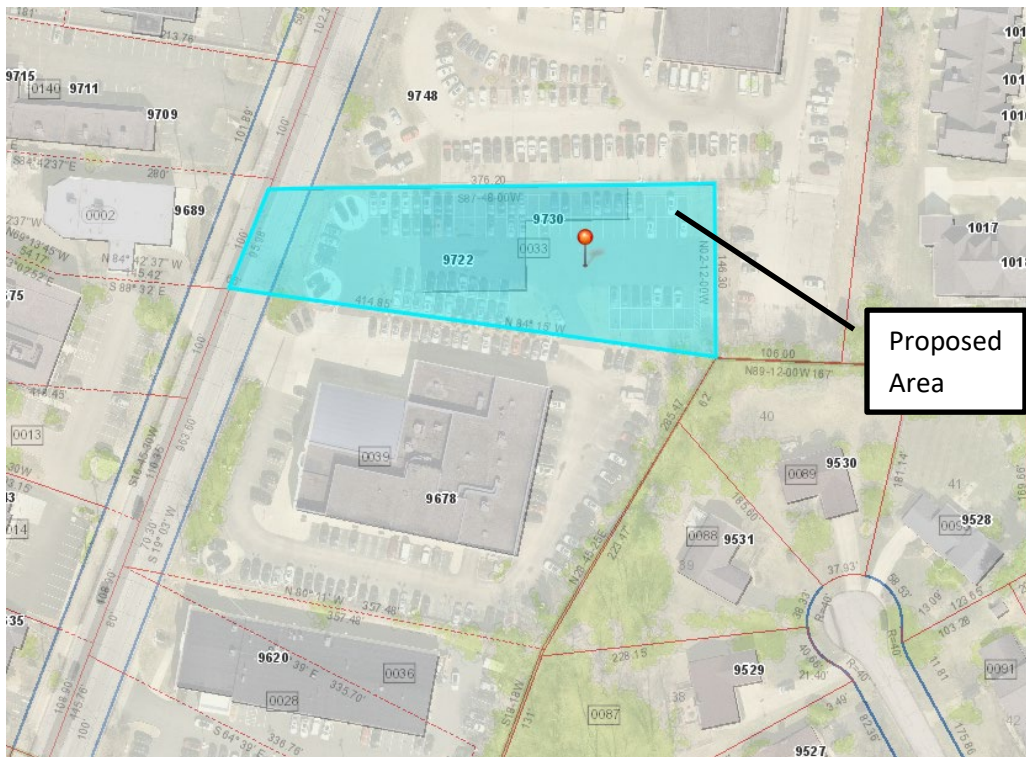
Application for Expansion of a Conditional Use and Final Development Plan
The Audi Connection
9678 Montgomery Road
(Hamilton County Parcel # 6030002003300)

September 11, 2023

Applicant: Kevin Bleichner, Elevar Design Group, LLC
555 Carr Street
Cincinnati, Ohio 45203

Property Owner: 9722 Montgomery Road LLC
C/O Greg Joesph

Vicinity Map:



Nature of request:

The applicant on behalf of 9722 Montgomery Road LLC has prepared an application for an Expansion of a Conditional Use and Final Development Plan to construct a new 3,406 square feet accessory use service building with four service bays and one wash bay at Hamilton County Parcel # 6030002003300 which is associated with the Audi Dealership at 9678 Montgomery Road. The proposed location is at the rear of the site (eastern side) within the current parking and automobile storage and display area. The dealership anticipates building the accessory structure within the next year.

Background:

Audi Connection is a conditionally permitted use in the 'GB' - General Business District and has been in operation in this location since 2005. An approved 2021 Planning Commission expansion onto the property at 9722 Montgomery Road included additional display and inventory space for the dealership. As part of the project, an existing curb cut on the property at 9722 Montgomery Road was eliminated. The 9722 Montgomery Road LLC property is owned by members of the Joseph family; however, it is not the same ownership as the group who own the existing Audi and cannot be consolidated.

The Planning Commission met on November 2, 2020, for a concept plan discussion on the project. At the meeting, the applicant familiarized the Commission with the project and received feedback on a potential equivalency request to allow the setbacks to be measured from the project boundary line.

The Planning Commission considered the application for the expansion of a conditional use and the General Development Site Plan with an equivalency on February 1, 2021. After hearing testimony and discussing the application, the Planning Commission voted unanimously to recommend approval of the expansion of the conditional use permit and approve the General Development Plan with a recommendation to approve the equivalency request.

City Council met on December 21, 2020, to consider the request for expansion of a conditional use permit and an equivalency. After the public hearing, City Council voted to confirm the Planning Commission's recommendation with the conditions as established by the Commission.

Zoning:

The property is zoned 'GB' General Business and is used for Audi Connection. Car dealerships are a conditionally permitted use in the 'GB' District. The Board of Zoning Appeals granted a variance to allow for operation of the dealership on 1.929 acres on May 27, 2003. Schedule 151.2006 requires a minimum lot size of three acres for a car dealership in the 'GB' District. The property to the west, across Montgomery Road is zoned 'GB' and used as an office building. The property to the east is zoned 'GB' General Business with a property point adjacent that is zoned 'A' Single Family Residential and is used for single family residences. The adjacent property to the north is zoned 'GB' and used for a car dealership. The property to the south, 9678 Montgomery Road, is zoned 'GB' and is currently the main Audi Connection dealership building. For purposes of zoning regarding the Audi Dealership, this lot and the lot to the south are considered one Automobile/Truck Sales use which brings the property into compliance with the minimum 3-acre requirement for car dealerships. The Board of Zoning Appeals on June 20, 2023 approved a variance to allow the service building to have side yard setbacks of 5' where 10' is required per Schedule 151.1205(A) of the Montgomery Zoning Code. The setback variance approved allowed for the service building to locate closer to the Chevrolet Car Dealership to the north in lieu of a potential southern location that could have had more impact on residential properties to the south and east.

Findings

Setbacks: While the distance has not been indicated, the applicant has indicated it is more than 50' from the front yard and is proposing to meet the front yard setback (30') requirement. The structure meets the rear yard setback exactly at 15' as is required in Section 151.1205(A). The side yard setback of 5' to the north has been approved by the Board of Zoning Appeals.

Lighting: The applicant has indicated that no additional lighting is anticipated, and all parking lot lighting is proposed to remain.

Landscaping: The applicant is not proposing any new landscaping but has indicated an increase in landscape area of approximately 300 feet.

Circulation/Parking: No road or access changes are proposed to site. 26 parking spaces will be removed for construction of the service structure.

Stormwater: The applicant has indicated that storm water runoff will be contained within the property. The applicant will need to confirm compliance with any applicable Hamilton County Stormwater Regulations; however, there should not be any additional storage needed since the building will be constructed over existing impervious surface. The site is in compliance with Hamilton County Stormwater Regulations currently.

Utilities: The gas, water and fire protection for the proposed addition will be serviced from the existing services.

Signage: No changes are being proposed for the signage at this time.

Building Design: The structure is subject to Montgomery Corridor Design Guidelines. The intent of the building is to match the materials and colors of the main Audi building. From a visual perspective, the building should be somewhat obscured by its location and due to the car display area in front of the building.

CONDITIONAL USE SPECIFIC CONDITIONS:

Chapter 151.2007(W) lists the specific conditions for a Vehicle maintenance and repair facility . Those conditions are listed below with a description of how the applicant is or proposes to address the condition.

1. All work shall be conducted entirely within an enclosed building.

The work is intended to occur within an enclosed building with the garage door closed during service.

2. Outdoor storage of supplies, parts and merchandise shall be within an entirely enclosed building; however, an area not to exceed 200 square feet in size of outdoor storage shall be permitted, if the area is entirely screened by an opaque fence and landscaping.

No outdoor storage has been indicated and it is understood that all storage will occur within the structure.

3. The parking of employee vehicles and vehicles waiting to be serviced or returned to the customers following service shall be parked in areas indicated for such parking on the approved site plan.

They are not indicated on the plan, but the applicant has indicated capacity and will update the plan.

4. No junk, inoperable or unlicensed vehicles may be stored on site.

The applicant has indicated that no inoperable vehicles will be stored onsite.

Chapter 151.2002 lists 12 general standards that are applicable to all conditional uses. Staff has reviewed these 12 conditions and found that the site and the proposed mausoleums meets all the conditions.

Staff Comments

Staff believes that the applicant has tried to be the least impactful to adjacent residential uses and tried to minimize visibility from Montgomery Road. The proposed plan will help to provide additional needed services onsite while potentially reducing traffic on Montgomery Road due to Audi vehicles current use of the Chevrolet wash facilities.

Overall, per section 150.1607, Planning Commission shall make specific findings of fact that the expansion of a conditional use to approve or deny the application. Section 150.168 then requires City Council to hold a public hearing to review and confirm the conditionally permitted use accepted by Planning Commission.

Should Planning Commission make a recommendation for approval of the Expansion of Conditional Use, they can also include a condition that the Final Development Plan be approved contingent on City Council's approval of the Expansion of Conditional Use with the possible following conditions:

- Final stormwater regulations be met in conformance with Hamilton County Stormwater Regulations.
- Area for vehicles waiting to be serviced or returned to the customers following service shall be indicated on the approved site plan.
- All service operations will occur in the enclosed building with service doors closed.
- The Final Development Plan be approved with City Council's approval of the Expansion of Conditional Use.



July 19, 2023

City of Montgomery, OH
Attn: Melissa Hays, AICP, City Planner
10101 Montgomery Rd
Montgomery, OH 45242

RE: Application for Conditional Use for The Audi Connection service building

Zoning administrator,

This is a request by Kevin Bleichner of Elevar Design Group, LLC located at 555 Carr Street, Cincinnati, OH 45203 for construction of a service building as a conditional use for the property located at 9678 Montgomery Road, Montgomery, OH on behalf of the owner, Gregory G. Joseph of Joseph Development located at 285 Chiquita Center, Cincinnati, OH 45202.

STATEMENT OF NEED

The property currently contains a 24,300 sf dealership building with 14 service bays. With the current volume, the owner is requesting a 3,502 square foot, four (4) bay service building with an enclosed car wash bay to be constructed at the north east end of the property. The building is needed for additional service bay space as well as a car wash.

SUMMARY REPORT

The construction of this building will have a positive effect on the surrounding properties. The addition of this building will allow more serviceability for the dealership patrons and the car wash portion will keep cars within the property, in lieu of driving them next door to the Chevrolet dealership. This will keep up to 40 cars per day off Montgomery road especially during peak travel times. The building materials will match the existing building on all sides for compatibility.

STATEMENT OF MITIGATION OF NEGATIVE EFFECTS AND STANDARDS COMPLIANCE

With the proposed location of the building, there will be no negative effects. Compliance with sections 151.2003-151.2008 will be met.

Section 151.2006, Schedule 151.2006

1. The total lot size is 3.3 acres with the minimum requirement being 3 acres.
2. The building is located greater than 65' from the residential buildings on the adjacent, 5' from the property to the north and greater than 50' from the front yard.

Section 151.2007,(B) (1)-(4)

1. Circulation will be maintained within the existing property limits between the existing dealership and the proposed service building.

2. All automobile service will be conducted within the proposed building and no junk, inoperable or unlicensed vehicles will be stored on site.
3. No parking lot or building lighting will be added. All parking lot lighting is existing to remain.
4. There is no change to the remaining display of vehicles for sale.

Section 151.2007,(D), (1)-(3)

1. The car wash portion will be enclosed. During the wash and drying cycles the overhead door will be opened.
 - a. The sound from the dryers will be 83db 30' from the doors. Based on the science of sound, if there were no obstructions the sound would decrease by 6db for every doubling of distance. So at 60' the sound level would be 77 db and at 120' the sound level would be 71 db. 71db is the equivalent of a vacuum cleaner or washing machine. However on this site to the south there is a 6' high berm with a 6' fence solid wood fence. The fence alone would reduce the sound level to between 63-65db which would be the equivalent of TV sound and a vacuum cleaner.
 - b. ODOT did a traffic study with berms adjacent to minor arterial roadways and the findings were with even a 4' high berm the sound reduction was 8db. Combining this with the fence could reduce the sound to less than 55 db which would be in the range of normal conversation.
 - c. Also, this is not a continuous sound. Per the manufacturer, the dryers operate for 30 seconds per cycle. With the peak number of car washes of 40 per day, during the week, this would equate the sound duration to approximately 20 minutes per day or 100 minutes per week.
2. The used water will be directed to a sanitary drain within the building.
3. Since the car wash is utilized by lot attendants and not patrons, there will not be any line for its use.

Other items

1. The storm water runoff will be contained within the property as previously indicated when the existing building was razed.
2. The current landscaping will remain as is with no reductions.
3. The building materials will match the existing building on all sides with roof equipment screened utilizing parapet walls.
4. No additional signage will be added.
5. Detailed plans are attached for review as well as proof of ownership.
6. The available parking is being reduced from 104 spaces to 78 spaces.
7. The landscape area will be increased from 8,661 sf to 8,995 sf.
8. With the addition of the proposed building the landscape percentage is increased from 10.02% to 10.4%.



This concludes the Application for Conditional Use.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Kevin R. Bleichner'. The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Kevin Bleichner, RA



APPLICATION FORM

Meeting (Circle): Board of Zoning Appeals Planning Commission Landmarks Commission

Project Address (Location): 9678 Montgomery Road

Project Name (if applicable): Audi Service Building

Auditors Parcel Number: 603-0002-0039-00

Gross Acres: 3.008 Lots/Units 1 Commercial Square Footage 28,706

Additional Information: Commercial sf includes 3,502 sf proposed building

PROPERTY OWNER(S) Greg Joseph Contact Greg Joseph

Address 9880 Montgomery Rd Phone: 513-891-9400

City Montgomery State OH Zip 45242

E-mail address gjdealer@aol.com

APPLICANT Elevar Design Group, LLC Contact Kevin Bleichner

Address 555 Carr St. Phone: 513-721-0600

City Cincinnati State OH Zip 45203

E-mail address kbleichner@elevar.com

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in this application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.

Property Owner Signature

ONLY

FOR DEPARTMENT USE

Print Name
Greg Joseph

Date 7/19/2023

Meeting Date:

Total Fee:

Date Received:

Received By:



CONSENT OF OWNER(S) TO INSPECT PREMISES

To: City of Montgomery Planning Commission and Staff
City Hall
10101 Montgomery Road
Montgomery, Ohio 45242

Re: Review Subject Site

Dear Members and Staff:

As owner(s) of the property located at 9678 Montgomery Rd., we hereby grant permission to Members of the Planning Commission and City of Montgomery Staff to enter the property for visual inspection of the exterior premises. The purpose of said inspection is to review the existing conditions of the subject site as they relate to the application as filed to the Planning Commission.

Property Owner(s) Signature Gregory G. Joseph - Pres -

Print Name Gregory G Joseph 513.891.9400

Date 7/19/2023

Planning Commission Members:

Vince Dong

Peter Fossett

Dennis Hirotsu

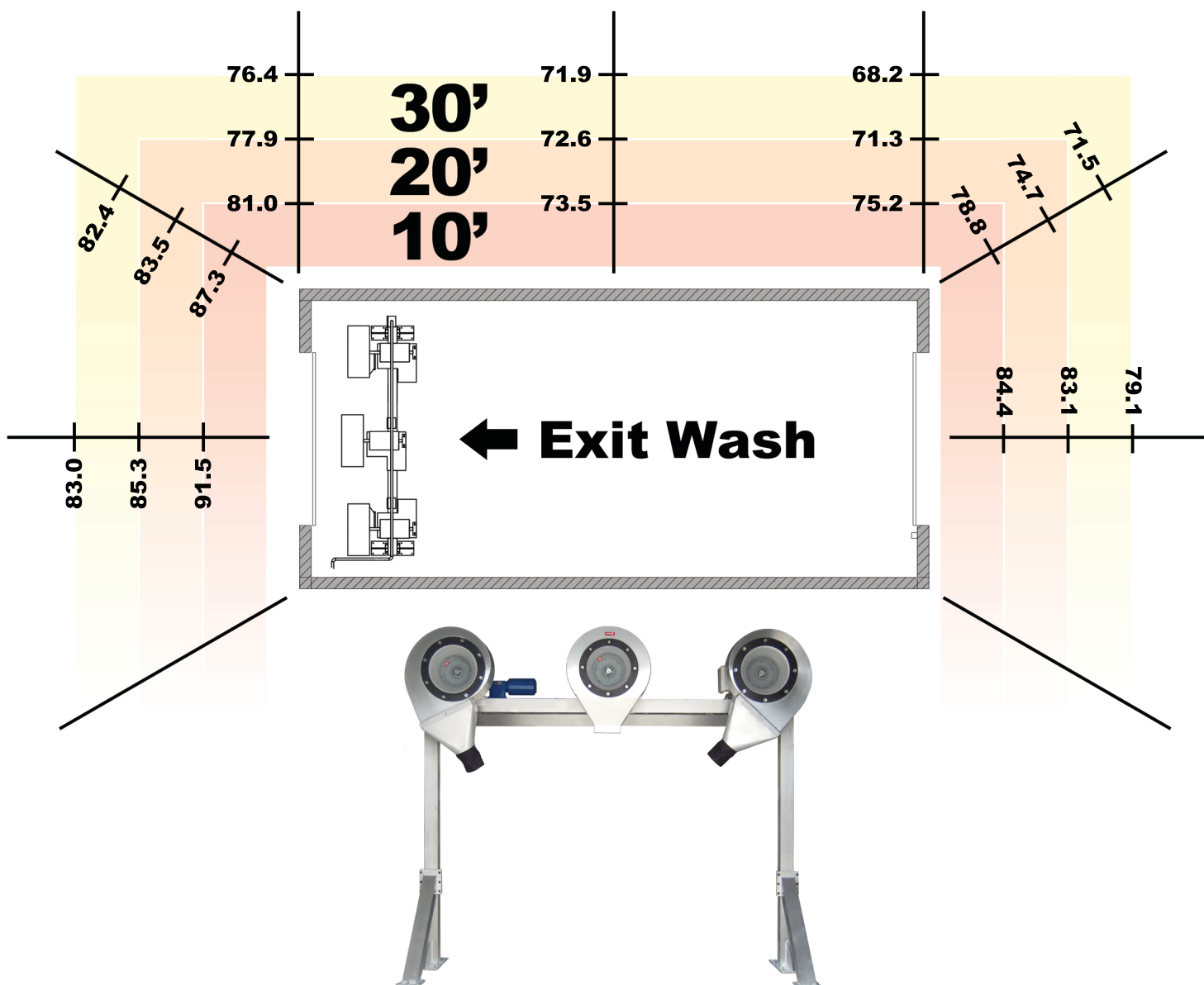
Darrel Leibson

Barbara Steinebrey

Patrick Stull

Broadway Equipment Company Car Wash / Dryer Noise Levels

Figure 4: Typical db values at locations around Broadway's 45hp Car Wash.



Note: All db readings are variable due to building size, site considerations, ect.



DECIBEL LEVELS AND WHAT'S DANGEROUS

KNOW YOUR SOUNDS


DECIBEL LEVEL	COMMON SOUNDS	LENGTH OF EXPOSURE BEFORE POTENTIAL HEARING LOSS*
160	 Shotgun	1 Second
145	 Firecracker	15 Seconds
140	 Jet Engine Take Off	28 Seconds
115	 Emergency Response Siren	20 Minutes
110	 Average Concert or Sport Event	30 Minutes
100	 Motorcycle	2 Hours
95	 Inside of a Subway Car	4 Hours
90	 Lawn Mower	8 Hours
85	 Passing Truck	16 Hours
	SOUNDS ABOVE 84 DB BECOME HARMFUL WITH EXPOSURE.	
80	 Alarm Clock or Garbage Disposal	32 Hours
70	 Shower or Dishwasher	
60	 Normal Conversation or Air Conditioner	
50	 Quiet Office or Refrigerator	
30	 A Whisper	
0	 Healthy Hearing Threshold	

*Source: Occupational Safety and Health Administration (OSHA) 2008



Does A Wood Fence Block Road Noise? (Explained)

By Imran / February 21, 2023 / Wood Fence



Does Wood Fence Block Road Noise?
(Explained)

Visit www.Fenceadvise.com to find out.

Fenceadvise.com

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A wooden fence, a solid barrier can block sound from the road and the immediate surroundings. People weren't oblivious to the rising trend of loud surroundings and were starting to take action as early as 1971, when lawmakers from the state of Illinois passed a law that stated that no machines built after January 1, 1972, whose noise levels exceeded 94 dB at a distance of 50 ft could be sold.

After January 1980, the maximum permissible noise level was 80 dB. Noise generated can affect the [physiological and psychological state of the body](#) by inducing stress.

If you are looking for a way to dampen the noise surrounding your house then a wooden fence is a solution to your problem.

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How Does A Wooden Fence Block Noise?

Wooden fences block the sound waves coming towards it by reflecting off the sound waves that were traveling towards it or by absorbing the energy from the sound wave.

As the wave hits the wood, a portion of it is reflected back into the air just like how talking in the room will cause sound to bounce off the walls, while a portion of it does go through the wood.

Although [sound travels](#) faster in solid objects, this does not mean that the amplitude or strength of the sound increases. Energy from the sound waves will be transferred to the particles of the wood causing it to vibrate, and thus once the sound wave exits the wood, it now is less loud than when it entered.

How Much Noise Does Wooden Fence Blocks?

A solid wooden fence of 8ft reduces the noise by 6-10 decibels, with an additional 1.5 decibels reducible per meter added to the height of the wooden fence.

This is because the sound is emitted in various directions from the source and so adding to the height of the fence can further block the sound waves traveling higher.

The value is also dependent on the thickness of the wood used as using thicker and denser wood would decrease the noise that would get through because more energy from the sound waves will be transferred to the wooden fence.

Alternative Fences That Block Road Noise

Concrete Fences

Fences made out of concrete are denser than wooden fences and so provide a greater dampening potential than wooden fences, and unlike wooden fences, fences made of concrete last longer and can weather adverse conditions better than wooden ones.

Another benefit is that wooden fences can have gaps between each plank unless done meticulously and with greater effort, but a slab of concrete fits between each other perfectly and so increases the efficiency, in terms of dampening the noise.

Masonry Fence

Just like concrete fences, these are denser and more durable than wooden fences. The blocks used to build masonry fences also fit neatly with each other eliminating gaps where sound can penetrate, although it is more expensive than wooden fences.

Get Matched with Local Fence Professionals

Answer a few questions and we'll put you in touch with pros near you.

[Call Now](#)
[Get Free Quote](#)

Read More

- [Lattice Top Wood Fence Panels](#)
- [How To Protect Wood Fence From WeedEater?](#)
- [How to Build 3 Rail Wood Fence?](#)

Vinyl Fence

Vinyl fences are relatively new compared to wooden fences and are made out of PVC, a type of hard plastic that is also used for pipes.

Read more about [Vinyl Fences](#).

Vinyl fences are easier to maintain and don't wear out as quickly as wooden fence and is much more flexible and less brittle than concrete and stone. It also removes the need for paint and staining that are used to make a wooden fence look presentable.



How To Improve A Wooden Fence From Noise

Improving a Wooden Fence would mean adding material to its peripheries or on the structure itself to aid in the dampening of noise.

A simple way to do this is by adding vegetation, like vines and hedges, to a plain wooden fence which can also serve to block the gaps where sound can penetrate.

Adding a heavy amount of vegetation to a fence-like structure can decrease the sound that gets through by up to 1dB, based on data gathered by researchers from Egypt who did a study called, "[A Case Study in New Cairo, Egypt](#)".

Final Thoughts

In this day and age, our surroundings are generating a lot of noise. What was once a quiet field is now a suburb with vehicles and people moving about producing all sorts of sounds, from the

neighbor's lawn mower to the cars revving their engines, you are bound to hear something.

It is no surprise that people are seeking cost-efficient ways to reduce the noise that enters their homes and see wood as the material to use, for it has for decades been a go-to material for fencing.

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#alternative fences that block road noise #does wood fence block road noise

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Acoustical Performance of Small Height Earthen Berms



ODOT-OES, Stantec, Lawhon



Project Background

- **Small Height Earthen Berms**
 - Follow up to BPS 2017 earthen berm study
 - Generally six feet or less in height
 - Most are three to five feet in height
- **ODOT has performed ~ 100 noise measurements on berms of various heights and lengths**
 - Developed small height earthen berm database
- **Initial observations**
 - Many berms are providing a higher level of noise reduction than expected.
- **Goals of this study**
 - Research existing berm literature
 - Collect additional field measurements
 - Analyze ODOT's database data
 - Evaluate berm performance
 - Identify performance trends
 - **Examine use of small height earthen berms for highway noise abatement in addition to conventional noise walls?**





ODOT's Small Height Earthen Berm Database

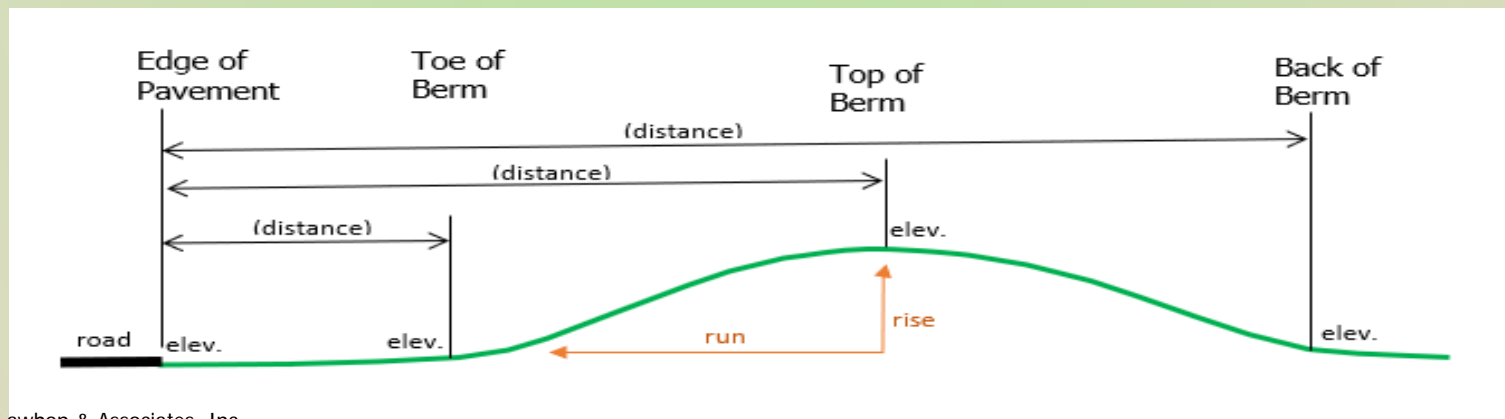
- ODOT's database inventory is statewide
 - Developed over past two years
 - Includes field measurement data and physical berm characteristics
- ODOT field measurement overview
 - Two measurements at each berm location (top of berm and directly behind at the toe of berm)
 - Contiguous 10-minute field measurements
 - Traffic counts during measurements
 - Posted speed
 - Time of day and meteorological data
 - Physical data (height, length, relative elevation of roadway and receptor in relation to the berm)
 - For this study, field measurements were taken at five berm locations previously measured by ODOT to compare results





Collection of Additional Small Height Earthen Berm Data

- Latitude/longitude data collected in the database.
- Additional physical berm data was obtained to characterize each berm and to compare individual berms with other similar berms, including:
 - Roadway elevation at the edge of pavement (EOP).
 - Distance from EOP and ground elevation at toe of berm.
 - Distance from EOP and ground elevation at top of berm.
 - Distance from EOP and ground elevation behind berm.
 - Percentage of slope at the front of each berm.
 - Berm surface characteristics.



Lawhon & Associates, Inc.



Additional Field Measurements

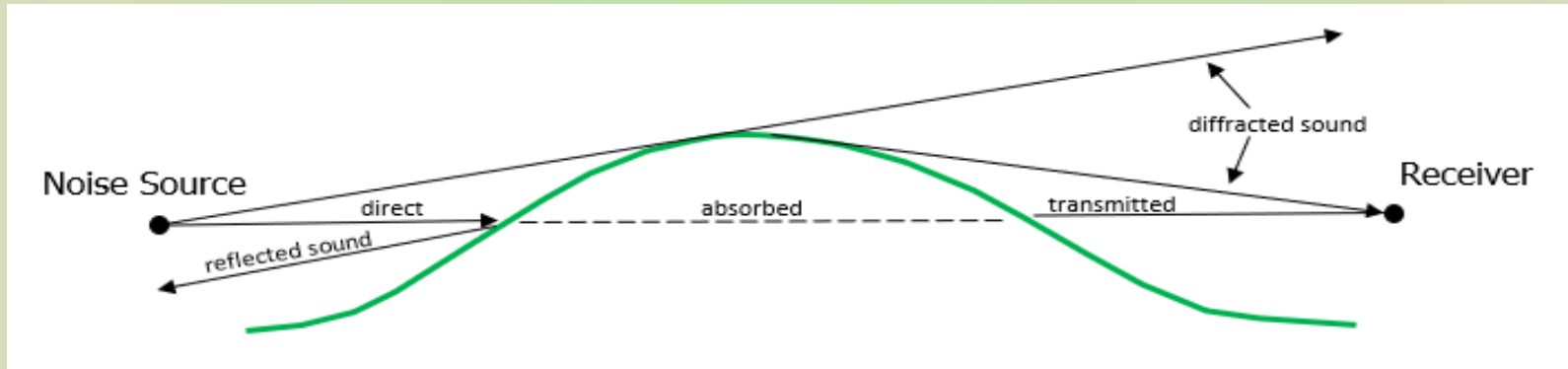
- In May 2018, additional field measurements were taken at five earthen berm locations previously measured by ODOT in 2016 and 2017.
- The purpose of the measurements was to compare measured sound levels, as well as TNM-predicted sound levels (FHWA Traffic Noise Model 2.5), for consistency:
 - All five berms (whether using 2016/2017 field data, TNM model, or 2018 field data), show sound level reductions **above the "5 dBA substantial reduction threshold"**. **"10 decibel reduction is cutting the noise in half."** **"A 5 decibel reduction is considered a benefited receptor."** **"For a noise barrier to meet criteria, at least 1 receptor must receive a minimum 7 decibel reduction."**



Data Analysis

How an Earthen Berm Reduces Sound Transmission

- Noise and noise impact may be described in terms of “source, path, and receiver”.
- ODOT abates traffic noise by disrupting the noise path by constructing noise barriers.



Lawhon & Associates, Inc.

- Traffic noise has three pathways - transmitted, absorbed, and reflected
- **Almost all of the transmitted path is absorbed by the mass of the berm.**
- The diffracted path is the path that reaches the receiver and is the pathway of concern for noise abatement.



Analysis of Small Height Earthen Berms by Functional Classification

- Each berm in ODOT's database was categorized based on the functional classification of the adjacent roadway.
- Roadways within each functional classification typically have similar characteristics (traffic, speed, right-of-way, etc).
 - Minor Arterial Roadway (7 berm locations) – Lower traffic volume, speed and % trucks; short distance separating noise source and receiver.
 - Principal Arterial Roadway (20 berm locations) – Similar setting to Minor Arterial with higher traffic volume and higher % trucks.
 - State Route (15 berm locations) – Higher traffic volume, speed and % trucks than arterial roadways; generally a two lane setting with more distance separating noise source and receiver.
 - United States Route (6 berm locations) – Similar traffic volume and setting as State Routes though usually a higher % truck traffic and some being a divided, four-lane facility.
 - Interstate Route (37 berm locations) – High traffic volume and speed; highest % trucks; greater distance separating noise source and receiver; highest potential difference in elevation between noise source and receiver.



Variables Effecting Small Height Berm Performance

- There are many variables or site conditions that effect the earthen berm's potential of providing a particular level of noise attenuation.
 - Traffic volume and vehicle mix
 - Distance of berm setback from roadway: Do berms perform better closer to roadway, closer to receptor, or somewhere between?
 - Top of berm shape: Round top, wedge-shape top, and flat top.
 - Different ground cover: Mowed grass, scrub shrub, and wooded.
 - Atmospheric conditions: Wind speed and temperature.
 - Elevation difference among roadway, berm, and receiver: Considers site-specific geometry and elevations at each berm location



Small Height Earthen Berm Trends

Minor Arterial Roadways

- Average distance from edge of pavement to toe of berm = 19.2 feet
- Average distance from edge of pavement to top of berm = 43.6 feet
- Average distance from edge of pavement to back of berm = 75.8 feet
- Average berm height = 4.2 feet
- Average ODOT measured noise reduction = **8.1 dBA**



Small Height Earthen Berm Trends

Principal Arterial Roadways

- Average distance from edge of pavement to toe of berm = 21.7 feet
- Average distance from edge of pavement to top of berm = 46.3 feet
- Average distance from edge of pavement to back of berm = 83.3 feet
- Average berm height = 4.1 feet
- Average ODOT measured noise reduction = **8.0 dBA**



Small Height Earthen Berm Trends

State Routes

- Average distance from edge of pavement to toe of berm = 57.4 feet
- Average distance from edge of pavement to top of berm = 87.2 feet
- Average distance from edge of pavement to back of berm = 112.2 feet
- Average berm height = 6.8 feet
- Average ODOT measured noise reduction = **8.9 dBA**



Small Height Earthen Berm Trends

United States Routes

- Average distance from edge of pavement to toe of berm = 18.8 feet
- Average distance from edge of pavement to top of berm = 45.0 feet
- Average distance from edge of pavement to back of berm = 111.4 feet
- Average berm height = 6.6 feet
- Average ODOT measured noise reduction = **8.7 dBA**



Small Height Earthen Berm Trends

Interstate Routes

- Average distance from edge of pavement to toe of berm = 45.7 feet
- Average distance from edge of pavement to top of berm = 78.5 feet
- Average distance from edge of pavement to back of berm = 110.0 feet
- Average berm height = 6.8 feet
- Average ODOT measured noise reduction = **9.8 dBA**



Small Height Earthen Berm Trends

Summary of Key Findings:

- Berms with a flat top generally outperform berms with a round top.
- Berms providing the highest sound level reduction, when located closest to the road
- Berms appear to provide a higher sound level reduction when the roadway and the receiver are at different elevations.
- Receivers situated at a substantially higher elevation than the roadway receive the highest sound level reduction.
- A wooded berm surface provides better sound level reduction than brush/scrub-shrub or grass surfaces.



Small Height Earthen Berm Trends

Summary of Key Findings, continued:

- Berms tend to provide a higher sound level reduction in low percent truck condition (may be due to being situated close to the ground, more effectively reduce automobile tire noise than low frequency truck noise, which can pass over the berm).
- The average reduction from 3' to 3.5' tall berms was **5.4 dBA** based on 9 berms tested. The average vehicles per hour (VPH) was 1,232.
- The average reduction from 4' to 5' tall berms was **9.2 dBA** based on 21 berms tested. The average VPH was 3,185 with a range of 300 to 6,600.
- The average reduction from 5' to 6' tall berms was **10.7 dBA** based on 13 berms tested. The average VPH was 3,300 with a range of 1,200 to 8,900.
- Where the top of a 3' to 4' berm matched the elevation of the roadway, the average sound level reduction was **5 dBA** based on 3 berms tested.
- Where the top of the small height berm was significantly elevated above the roadway (i.e. >10'), the average reduction was **9.9 dBA** based on 14 berms tested. The average height of the berm was 4.2'. The average distance from behind the berm to the edge of pavement was 140'.



Small Height Earthen Berm Trends

Conclusions/Recommendations:

- Small height earthen berms can be a noise abatement measure that can provide substantial noise reduction when utilized under certain conditions. Smaller footprint than presumptive i.e. 10' berm.

For Arterial Roadways:

- Low height (3') berms can provide good sound level reduction when located in proximity ($\leq 25'$) to the roadway or when the elevation between the roadway and receiver is greater than 3'.
- 5' high berms can provide a substantial reduction when the berm is located midway between the roadway and receptor and when the roadway and receptor are at the same elevation.

For Interstate Highways:

- Berms 3' or less in height provide low levels of attenuation and do not perform as well under interstate conditions as they do under arterial roadway conditions.
- 4' high berms can provide a substantial sound level reduction when they are located close to the source and/or have a difference in elevation of 4' to 5' between the roadway and the receiver. Similar to arterial roadway conditions, the taller the berm ($\geq 5'$) the higher the level of attenuation.

AUDI SERVICE BUILDING

9678 MONTGOMERY ROAD
CINCINNATI, OH 45242

GENERAL CONSTRUCTION NOTES

- APPLICABLE TO ALL DRAWINGS AND SPECIFICATIONS
- DIMENSIONING:
 - DO NOT SCALE DRAWINGS. DIMENSIONS ON DRAWINGS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 - LARGE SCALE DETAILS GOVERN OVER SMALLER SCALE DRAWINGS UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS SHALL BE VERIFIED AND COORDINATED WITH ALL OF THE WORK OF ALL TRADES.
 - ALL NEW WALLS ARE DIMENSIONED FROM FACE OF STUD/MASONRY TO FACE OF STUD/MASONRY UNLESS NOTED OTHERWISE. FURRED WALLS ARE DIMENSIONED FROM FACE OF MASONRY.
 - EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING, EXTERIOR MASONRY FACE OR COLUMN CENTERLINE (U.N.O.)
 - NON-EDGE MULLION DIMENSIONS ARE TO MULLION CENTERLINE.
 - ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID MOLECULAR BREAKDOWN AND GALVANIC CORROSION.
 - GYPSUM BOARD CONTROL JOINTS SHALL BE PROVIDED IN ACCORDANCE WITH RECOMMENDED PRACTICES OF THE UNITED STATES GYPSUM ASSOCIATION.
 - ALL OUTSIDE CORNERS AT GYPSUM BOARD SHALL HAVE CONTINUOUS CORNER BEAD. ALL EXPOSED GYPSUM BOARD EDGES (AND AS NOTED) SHALL HAVE J-BEAD CONTINUOUS.
 - ALL CONTRACTORS ARE RESPONSIBLE FOR LAYING OUT EQUIPMENT PLANS TO AVOID INTERFERENCE BETWEEN BUILDING COMPONENTS.
 - EMERGENCY LIGHTING SHALL MAINTAIN MIN. 1 FC LIGHTING ALONG PATH OF EGRESS AT ALL TIMES. SEE ELEC. DRAWINGS FOR EGRESS, EMERGENCY, AND EXIT SIGN REQUIREMENTS.
 - IT IS THE CONTRACTORS RESPONSIBILITY THAT WORK AND INSTALLATIONS COMPLY WITH APPLICABLE CODES/ORDINANCES.
 - 75'-0" MAX TRAVEL TO FIRE EXTINGUISHER.
 - THE SPACE SHALL BE ACCESSIBLE WITH REGARDS TO ACCESSIBLE ROUTES, ENTRANCES AND BUILDING FEATURES SUCH AS SIGNAGE CONTROLS, WARNINGS, DOOR HARDWARE, ETC.
 - FOLLOW MANUFACTURERS RECOMMENDATIONS AND INDUSTRY STANDARDS.
 - PROVIDE NON-COMBUSTIBLE/FRT WOOD OR METAL STRAP BLOCKING FOR ALL WALL FIXTURES, EQUIPMENT AND ACCESSORIES. FOLLOW MFR RECOMMENDATIONS (FIELD VERIFY ALL CONDITIONS.)
 - FIRE ALARM DRAWINGS ARE TO BE PROVIDED BY OTHERS AND SUBMITTED SEPARATELY.
 - ALL WORK SHALL BE PERFORMED IN A MANNER AND AT A TIME WHICH LEAST DISRUPTS THE BUSINESS PROCEDURES OF ANY NEIGHBORING BUSINESSES.

GENERAL NOTES

- THIS DOCUMENT MAY BE PART OF A SET. ITS USE REQUIRES THE FULL UNDERSTANDING OF ALL RELATED PROJECT DRAWINGS - SEE COVER SHEET FOR COMPLETE DOCUMENT LISTINGS AND ADDITIONAL INFORMATION.
- THE INFORMATION GIVEN HEREIN AND ON THE PLANS IS AS EXACT AS COULD BE SECURED FOR PERMITTING PURPOSES. ACCURACY IS TO BE FIELD VERIFIED. CONTRACTORS MUST EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES, ETC. AND BASE THE PERMIT AND WORK ON VERIFIED CONDITIONS.
- ALL FIELD DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE INCORPORATING THE DISCREPANCIES INTO NEW WORK.
- REFER TO CODE SHEET FOR APPLICABLE CODES AND JURISDICTIONS. ALL WORK IS TO COMPLY WITH THE CURRENT BUILDING CODE AND ALL GOVERNING AUTHORITIES, INCLUDING MUNICIPAL, STATE, AND FEDERAL REGULATIONS (INCLUDING ACCESSIBILITY STANDARDS AND ADA REQUIREMENTS).
- ALL WORK IS TO FOLLOW CONTRACT DOCUMENTS.
- CONTRACTORS ARE RESPONSIBLE FOR REPAIRING AND PATCHING ALL IN-PLACE CONSTRUCTION AND FINISHES ALTERED OR DAMAGED DURING CONSTRUCTION TO MATCH EXISTING ADJACENT FINISHES. PATCHING TO BE PERFORMED BY QUALIFIED PERSONS EXPERIENCED WITH THE MATERIALS BEING PATCHED.
- CONTRACTORS ARE TO KEEP THE CONSTRUCTION SITE CLEAN AT ALL TIMES.
- NO SUBSTITUTIONS OR DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. HE OR SHE SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE OWNER OF ANY SITE AND BUILDING CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- ANY WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE, AND AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.
- ICC A117.1-2009 COMPLIANCE INCLUDING BUILDING CODE CHAPTERS 10 & 11 TO INCLUDE, BUT NOT LIMITED TO, ACCESSIBLE PATH, EGRESS, SIGNAGE, DOORS, HARDWARE, THRESHOLDS, TOILET ROOMS. ACCESSIBLE SIGNAGE SHALL BE PROVIDED IN COMPLIANCE WITH BUILDING CODE SECTION 1110.1.
- ALL DOORS SHALL BE READILY OPENABLE WITH THE USE OF SPECIAL KEY, KNOWLEDGE, PINCHING OR TWISTING OF THE WRIST.
- SUB-CONTRACTORS SHALL BE RESPONSIBLE TO PROVIDE OR OBTAIN ENGINEERING FOR THE SYSTEMS WHICH THEY INSTALL, INCLUDING BUT NOT LIMITED TO INTERIOR METAL STUDS, BULKHEADS, DOORS HARDWARE, WINDOWS, OR STOREFRONT, AND THEIR ASSOCIATED MATERIALS, PRODUCTS, AND SYSTEMS.

DRAWING INDEX

SHT NO.	SHEET NAME	ISSUE DATE	ISSUE	REVISION NUMBER	REVISION	REVISION DATE
GENERAL						
G001	COVER SHEET, DRAWING INDEX, ACCESSIBILITY PLAN	7/19/2023	PLANNING COMMISSION			
CIVIL						
1	ALTAIRSPS LAND TITLE SURVEY	9/14/2019	PLANNING COMMISSION			
COVER	COVER SHEET AND INDEX	7/19/2023	PLANNING COMMISSION			
C001	GENERAL NOTES	7/19/2023	PLANNING COMMISSION			
C100	EXISTING CONDITIONS AND DEMO PLAN	7/19/2023	PLANNING COMMISSION			
C200	LAYOUT PLAN	7/19/2023	PLANNING COMMISSION			
C300	GRADING & EROSION CONTROL PLAN	7/19/2023	PLANNING COMMISSION			
C400	UTILITY PLAN	7/19/2023	PLANNING COMMISSION			
	LIGHTING LAYOUT VERSION A	8/3/2021				
ARCHITECTURAL						
AS100	ARCHITECTURAL SITE PLAN	7/19/2023	PLANNING COMMISSION			
AS101	ARCHITECTURAL SOUND PLAN	7/19/2023	PLANNING COMMISSION			
A110	FLOOR PLANS	7/19/2023	PLANNING COMMISSION			
A200	EXTERIOR ELEVATIONS	7/19/2023	PLANNING COMMISSION			

PROJECT TEAM

OWNER
JOSEPH DEVELOPMENT
285 Chiquita Center
Cincinnati, OH 45202
Ph: (513) 721-3000

ARCHITECT
ELEVAR DESIGN GROUP, LLC
555 Carr Street
Cincinnati, OH 45203
Ph: (513) 721-0600

STRUCTURAL ENGINEER
ELEVAR DESIGN GROUP, LLC
555 Carr Street
Cincinnati, OH 45203
Ph: (513) 721-0600

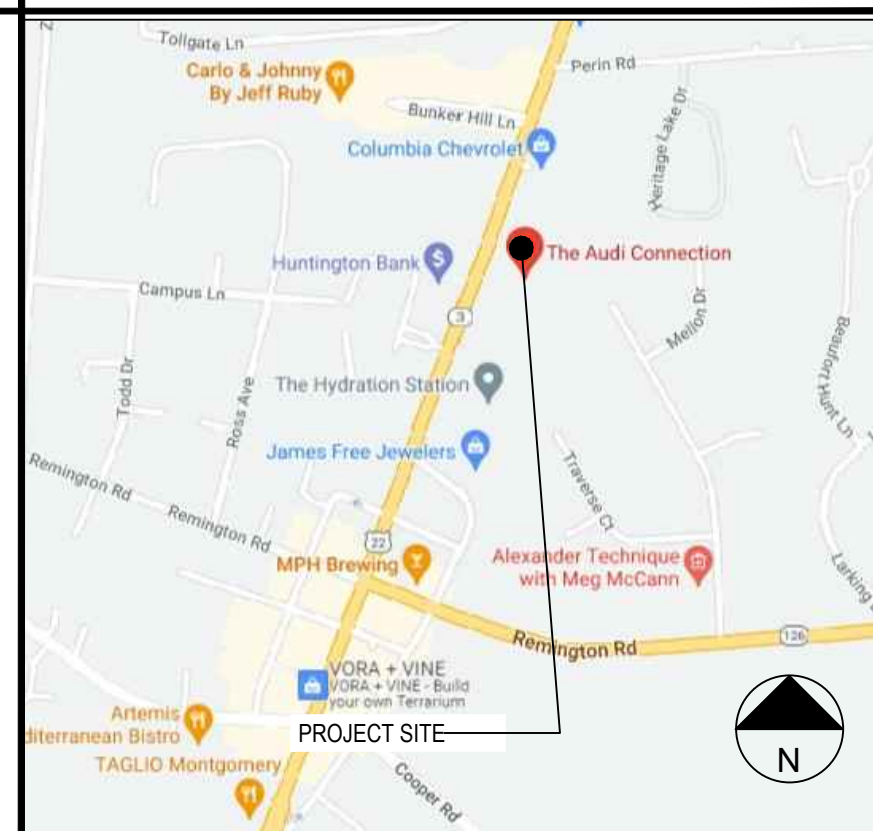
MEP ENGINEER
ELEVAR DESIGN GROUP, LLC
555 Carr Street
Cincinnati, OH 45203
Ph: (513) 721-0600

CIVIL ENGINEER
VIOX & VIOX
603 Lila Ave.
Milford, OH 45150
Ph: (513) 576-1000

ARCHITECTURAL ABBREVIATIONS

@	AT	FLX	FLX	PTD	PAINTED
AB	ANCHOR BOLT	FLR	FLOOR	QTY	QUANTITY
AC	AIR CONDITIONING	FRT	FIRE RETARDANT TREATED		
ACT	ACOUSTIC CEILING TILE	FT(G)	FOOT (ING)	RD	ROOF DRAIN
ADDL	ADDITIONAL	GA	GAUGE	REBAR	REINFORCING BAR
ADJ	ADJACENT	GALV	GALVANIZED	REF	REFER / REFERENCE
AFF	ABOVE FINISHED FLOOR	GC	GENERAL CONTRACTOR	REFRIG	REFRIGERATION
AL	ALUMINUM	GWB	GYPSUM WALL BD	REINF	REINFORCING
ALT	ALTERNATE	HB	HOSE BIB	RELOC	RELOCATED(D)
APPROX	APPROXIMATE	HDWR	HARDWARE	RELOC	RELOCATED(D)
ARCH	ARCHITECTURAL	HM	HOLLOW METAL	RM	REQUIRED
		HRZ	HORIZONTAL	RO	ROUGH OPENING
BD	BOARD	HR	HOUR	SC	SOLID CORE
BLDG	BUILDING	HT	HEIGHT	SCHED	SCHEDULE
BLKG	BLOCKING	HW	HOT WATER	SECT	SECTION
BM	BEAM	HT	HEIGHT	SF	SQUARE FEET
BOT-BO/B	BOTTOM (OF)	INSUL	INSULATION	SHT(G)	SHEET / SHEATHING
BRG	BEARING	INT	INTERIOR	SIM	SIMILAR
		INV	INVERT	SPEC(S)	SPECIFICATION(S)
CJ	CONTROL JOINT	JAN	JANITOR	SO	SQUARE
CL	CENTER LINE	JT	JOINT	SS	STAINLESS STEEL
CLG	CEILING	MTD	MOUNTED	STD	STANDARD
CLR	CLEAR(ANCE)	MTL	METAL	STL	STEEL
CMU	CONCRETE MASONRY UNIT	NA	NOT APPLICABLE	STRCT	STRUCTURE (AL)
COL	COLUMN	NIC	NOT IN CONTRACT	SUSP	SUSPENDED
CONC	CONCRETE	NO / #	NUMBER	T	TREAD
CONT	CONTINUOUS	NTS	NOT TO SCALE	T/B	TOP AND BOTTOM
COORD	COORDINATE	OC	ON CENTER	TD	TRENCH DRAIN
CT	CERAMIC TILE	OPG	OPPOSITE	TEL	TELEPHONE
CW	COLD WATER	OPP	OPPOSITE	TEMP	TEMPERATURE
		PLAS LAM	PLASTIC LAMINATE	THK	THICK
DTL	DETAIL	PL	PLATE	THLD	THRESHOLD
DEMO	DEMO-LISH(LITION)	PLUMB	PLUMBING	TYP	TYPICAL
DIA	DIAMETER	PR	PRESSURE TREATED		
DIM	DIMENSION	PT			
DN	DOWN				
DS	DOWN SPOUT				
DWG(S)	DRAWING(S)				
EXIST	EXISTING				
EA	EACH				
EL	ELEVATION				
ELEC	ELECTRIC(CAL)				
EQ	EQUAL				
EQUIP	EQUIPMENT				
EWC	ELECTRIC WATER COOLER				
EF	EXHAUST FAN				
EXP	EXPANSION				
EXT	EXTERIOR				
FD	FLOOR DRAIN				
FDTN	FOUNDATION				
FE	FIRE EXTINGUISHER				
FF	FINISH FLOOR				
FIN	FINISH				

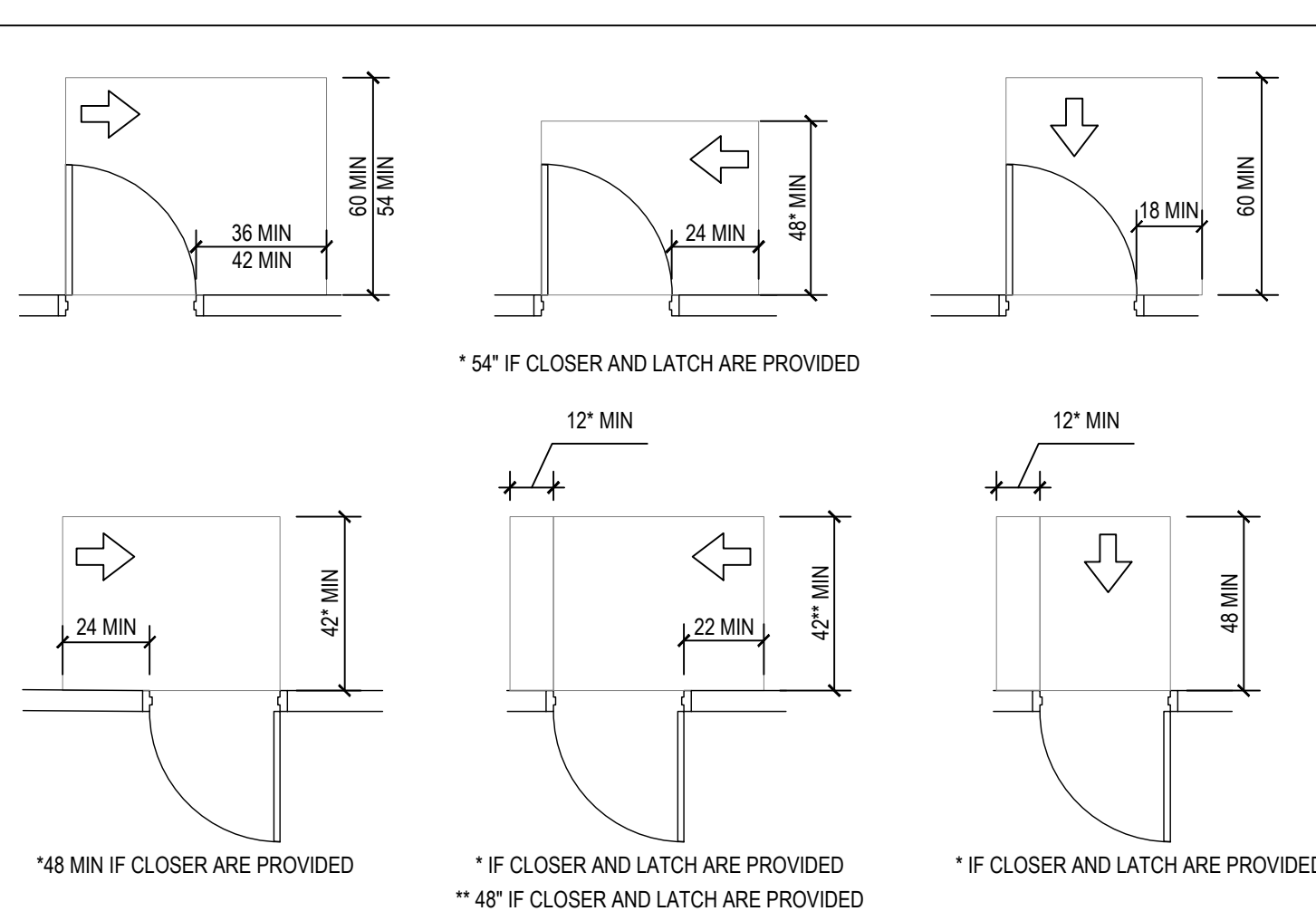
VICINITY MAP (NOT TO SCALE)



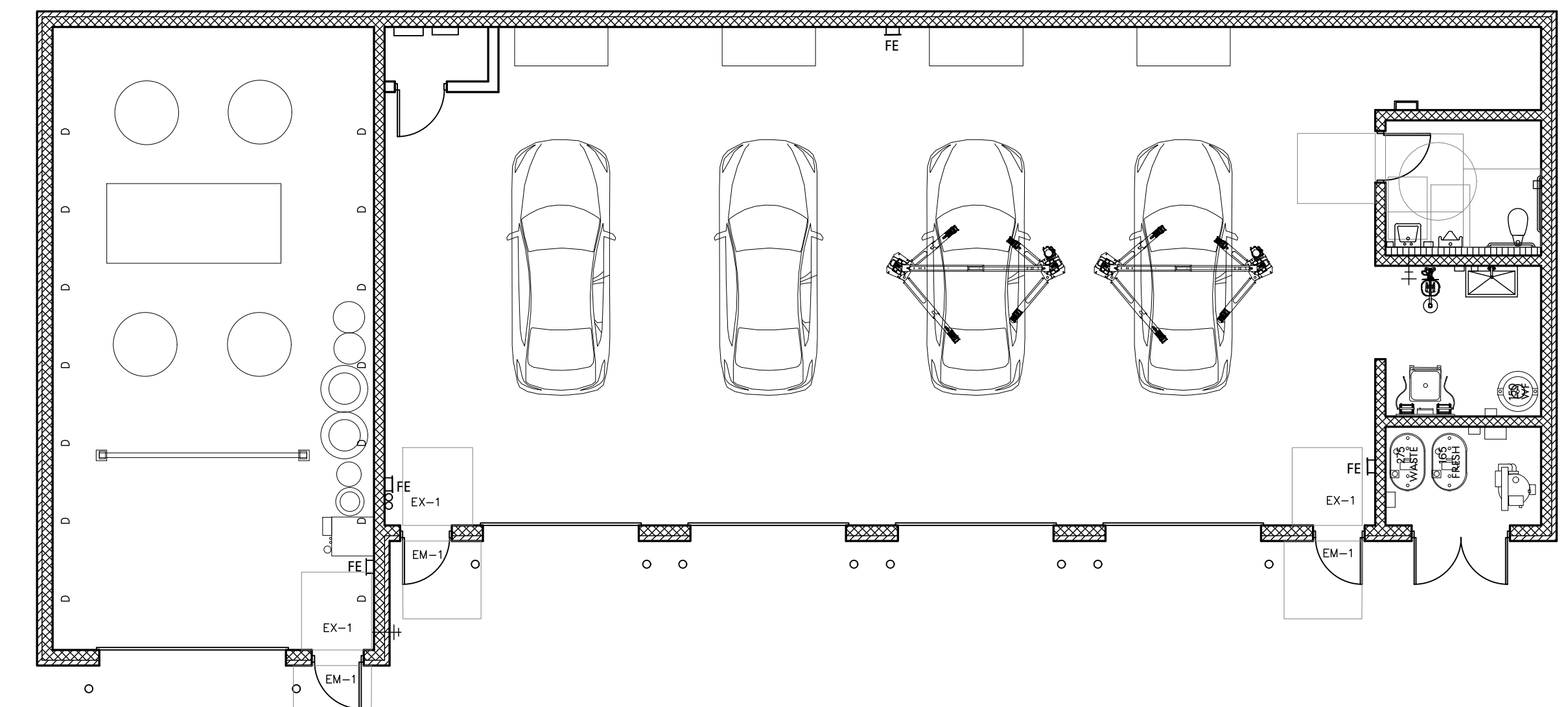
SYMBOL LEGEND (NOT ALL MAY APPLY)

	MOP SINK- COORDINATE W/ PLUMBING DRAWINGS		WATER CLOSET- REFER TO PLUMBING DRAWINGS		SINK IN SINK BASE CABINET- REFER TO PLUMBING & CASEWORK DRAWINGS		WALL-HUNG LAVATORY- REFERENCE PLUMBING DRAWINGS
	DATUM ELEVATION REFERENCE (FROM FINISH FLOOR U.N.O.)		WATER COOLERS- COORDINATE WITH PLUMBING DRAWINGS		FLOOR TRENCH DRAIN- REFERENCE PLUMBING DRAWINGS		FLOOR SINK- COORDINATE WITH PLUMBING DRAWINGS & FOOD SERVICE DRAWINGS
	NORTH ARROW		DOOR TAG (SEE DOOR SCHEDULE)		KEY NOTE		PARTITION TYPE
	DRAWING No. SHEET No.		SEMI-RECESSED FIRE EXTINGUISHER CABINET		FIRE EXTINGUISHER ON WALL BRACKET		REVISION TAG & CLOUD
	DRAWING No. SHEET No.		WINDOW TAG (SEE WINDOW SCHEDULE)		COLUMN TAG & CENTERLINE		WINDOW TAG (SEE WINDOW ELEVATIONS & DETAILS)
	DRAWING No. SHEET No.	DRAWING TITLE SCALE: 3/32"=1'-0"			ELEVATION No.		SHEET No.
	DRAWING No. SHEET No.		ELEVATION No.		SHEET No.		DRAWING TITLE

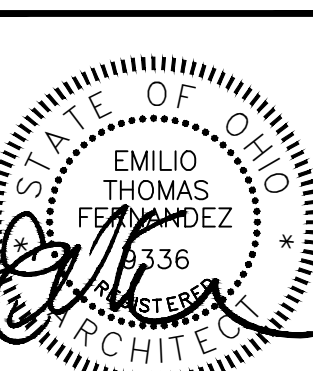
LEGEND



MANEUVERING CLEARANCE AT MANUAL SWING DOORS



1 G001 ACCESSIBILITY PLAN SCALE: 1/8"=1'-0"



Emilio Thomas Fernandez
License #9009336
Expiration Date: 07/19/2023
ISSUED: DATE

OWNER REVIEW: 02/15/2023
PLANNING COMMISSION: 07/19/2023

SHEET TITLE
COVER SHEET,
DRAWING INDEX,
ACCESSIBILITY PLAN

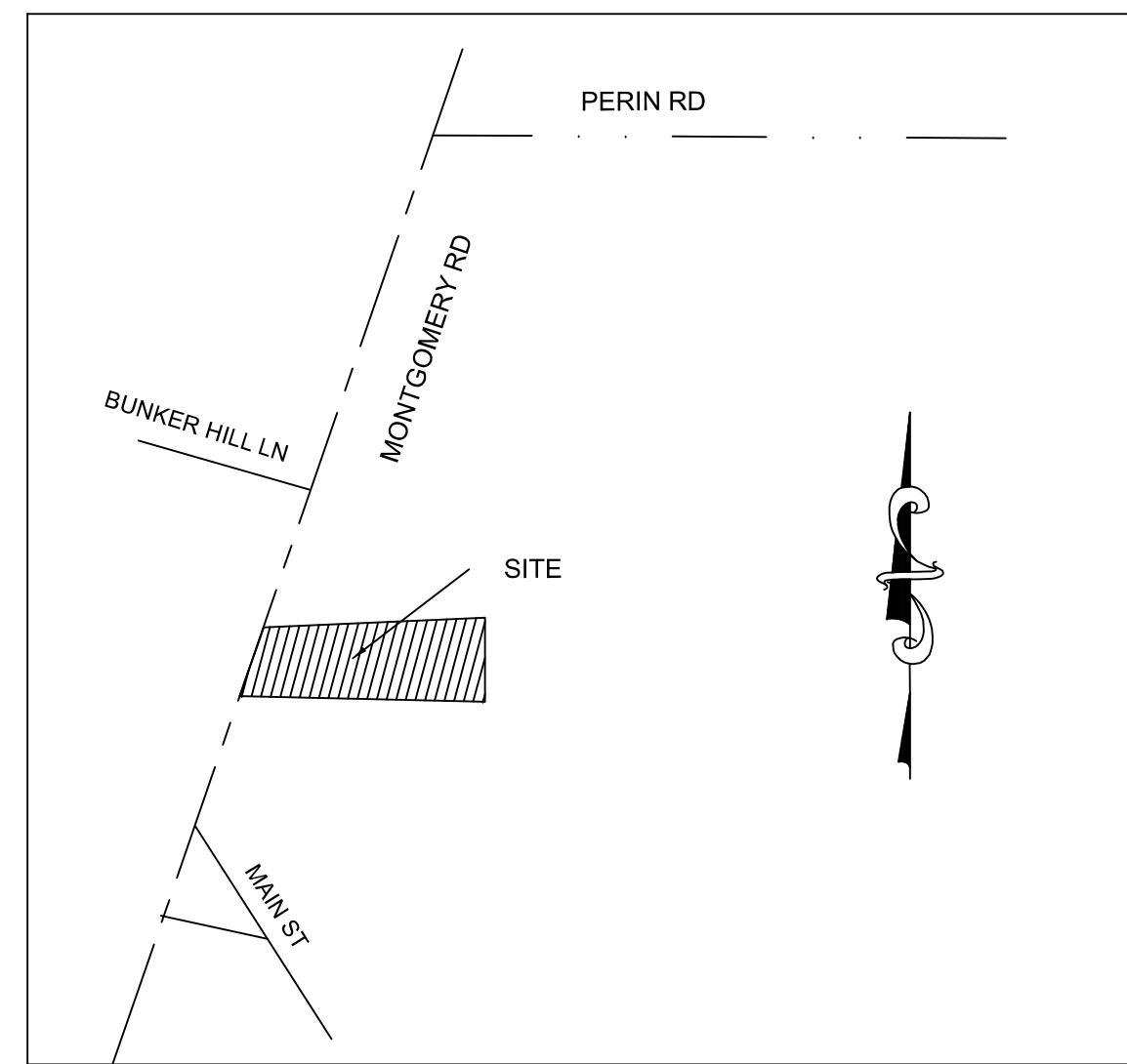
SCALE: COMM. NO. E-12072.00
DRAWN BY: DATE

SHEET: G001

ALTA/ NSPS LAND TITLE SURVEY
 SITUATE IN SECTION 3, TOWN 4, ENTIRE RANGE 1,
 MIAMI PURCHASE, SYCAMORE TOWNSHIP, VILLAGE OF MONTGOMERY,
 HAMILTON COUNTY, OHIO

NORTH LINE OF SEC 3
 POC
 PERIN RD

VICINITY MAP NTS



Legal Description

Situate in Section 3, Township 4, Entire Range 1, Miami Purchase, Sycamore Township, Village of Montgomery, Hamilton County, Ohio and more particularly described as follows:

From the intersection of the north line of the section and the center line of Montgomery Road measure South 19° 01' West six hundred ninety-five and 45/100 (695.45) feet along the center line of Montgomery Road to the place of beginning;

Thence North 87° 48' East three hundred seventy-six and 20/100 (376.20) feet along the south line of Dairy Farmers tract and said line produced to the west line of the Drive-In-Theatre tract;

Thence South 2° 12' East, one hundred forty-six and 30/100 (146.30) feet along said west line to the southwest corner of said Drive-In Theatre tract;

Thence North 84° 15' West, four hundred fourteen and 85/100 (414.85) feet to the center line of Montgomery Road;

Thence North 19° 01' East, ninety-five and 98/100 (95.98) feet along the center line of Montgomery Road to the place of beginning.

Containing 1.0791 acres.

SCHEDULE B, PART II - OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 19-05-00082, MAY 15, 2019 @ 5:59AM

13) Easement for utility purposes in favor of The Cincinnati Gas & Electric Company as set forth in Deed Book 3248, Page 277, Hamilton County, Ohio Records. APPLIES - SHOWN HEREON

14) Easement for utility purposes in favor of The Cincinnati Gas & Electric Company as set forth in Deed Book 3593, Page 491, Hamilton County, Ohio Records. APPLIES - SHOWN HEREON

15) Easement in favor of The City of Montgomery, Ohio, recorded August 21, 1991 in Official Record 5639, Page 884, Hamilton County, Ohio Records. APPLIES - SHOWN HEREON

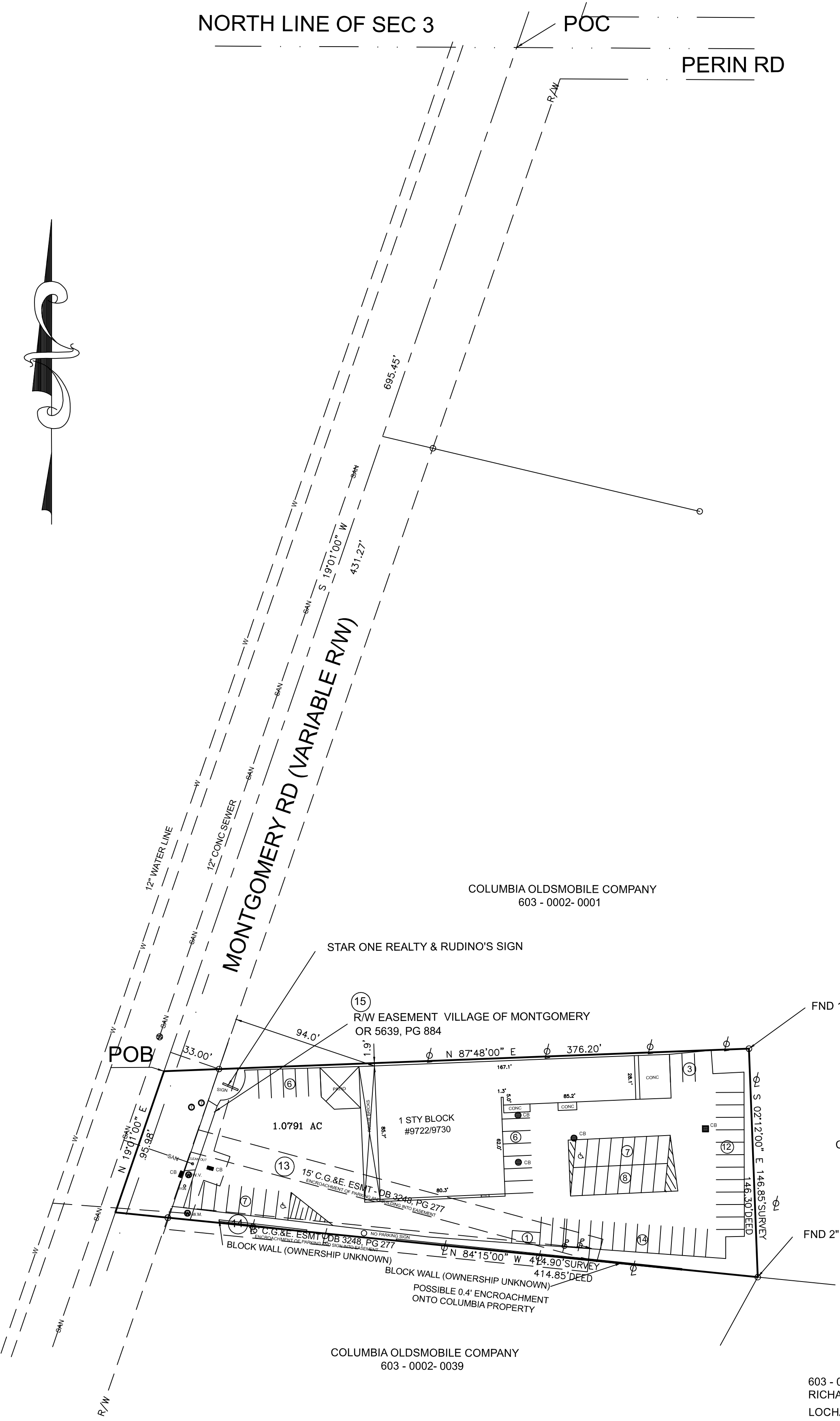
CERTIFICATION:

The undersigned hereby certifies, as of September 4, 2019, to Joseph Northland Motors, Inc.; Old Republic National Title Insurance Company; Multi-State Title Agency, LLC; 9722 Montgomery Road, LLC; and U.S. Bank, National Association, its successor and/or assigns, he is a duly registered land surveyor of the State of Ohio; that this plat of survey is made at least in accordance with the minimum standards established by said state for surveys and land surveyors and with the "Minimum Standard Detail Requirements for ALTA/ NSPS Land Title Surveys" as adopted by The American Land Title Association and National Society of Professional Surveyors in 2016, including items no. 1, 2, 3, 4, 6, 7(a), 7(b)(1), 8, 9, 10, 11, 13, 14, 16, 17, 18, 19 and 20 of Table A thereto; that this survey correctly shows the location of all buildings, structures and other improvements situated on the subject Premises; and that, except as shown, there are no visible easements or rights of way across said Premises or any other easements of rights of way of which the undersigned has been advised, no party walls, no encroachments (except as shown) onto adjoining premises, streets or alleys by any of said buildings, structures or other improvements, and no encroachments onto said premises by buildings, structures or other improvements situated on adjoining premises. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS and ACSM and in effect on the date of this certification, the undersigned further certifies that:

Proper field procedures, instrumentation and adequate survey personnel were employed in order to achieve results comparable to those outlined in the "Minimum Angle, Distance and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ NSPS Land Title Surveys".

Terry N. Kohler 11/2/19

Terry N. Kohler
 Professional Surveyor No. 6364 Date



SURVEY NOTES:

FLOOD ZONE X: PANEL #39061C0251E, DATED 2/17/10

PARKING SPACES: 2 HANDICAP, 64 REGULAR

UTILITIES: SURFACE UTILITIES SHOWN HEREON.
 UNDERGROUND TAKEN FROM AVAILABLE RECORDS

ZONING: GB (GENERAL BUSINESS) - FRONT S/B 30';
 SIDE S/B 10'; REAR S/B 15'

LEGEND	
---	Underground Electric
---	Underground Telephone
---	Water Line
---	Gas Line
---	Storm Line
---	Sanitary Line
●	W.V. Water Valve
●	G.V. Gas Valve
○	San MH
○	Cleanout
○	Telph MH
○	Guard Post
■	S.G.I. Single Grate Inlet
■	D.G.I. Double Grate Inlet
■	SQ. C.B. Square Catch Basin
○	R.D. C.B. Round Catch Basin
●	W.M. Water Meter Pit
□	G.M. Gas Meter Pit
□	E.P.B. Electric Pull Box
—	Power Pole
—	Telephone Pole
—	Traffic Signal Pole
—	Light Pole
—	Pole with Guy
—	Fire Hydrant
—	Property Line
—	Fence Line
—	Right-of-Way Line
○	Tree
—	Vegetation Line
—	Sign
—	Guard Rail
—	Test Hole
+	Point of Commencement
+	Point of Beginning
○	Found Iron Pin/Pipe/Spike
●	Set Iron Pin, Pipe, Spike
△	Found Monument
△	Set Monument
□	H&T Hub & Tack
□	E/P Edge of Pavement
—	H/C Handicap
—	Flowline
—	Overhead Wires
—	Overhead Electric
—	Overhead Telephone
—	Overhead Traffic Signal
—	Overhead Cable TV

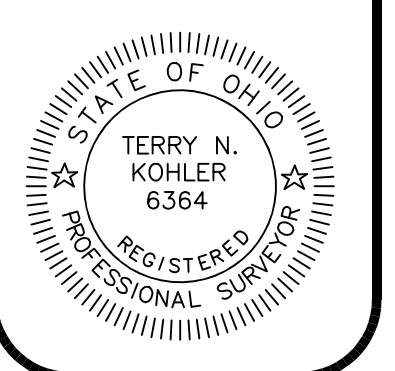


SCALE: 1" = 50'

REVISION	BY
COMMENTS 10/22/19	TNK
COMMENTS 11/2/19	TNK

ALTA/NSPS LAND TITLE SURVEY
 FOR
 JOSEPH NORTHLAND MOTORS, INC.

AMERICAN LAND SURVEYS
 200 TECHNECENTER DRIVE
 SUITE 107
 MILFORD, OHIO 45150
 (513) 735-4200



DRAWN: TNK
CHECKED: TNK
DATE: 9/4/19
SCALE: 1" = 50'
JOB NO: 7655
SHEET 1
OF 1 SHEETS

AUDI SERVICE BUILDING SITE PLAN

CITY OF MONTGOMERY, HAMILTON COUNTY, OHIO

SITE DATA

Site Location: 9730 Montgomery Road, Montgomery, Ohio
Total Acreage of Site: 1.06 ACRES

Property Owner:
9722 Montgomery Road LLC
250 East Fifth Street, Suite 285
Cincinnati, OH 45202

Current Use: Surface Parking Lot
Proposed Use: Service Building/Surface Parking Lot
Parcel ID: 0603-0002-0033
Existing Impervious Area: 0.60 ACRES
Proposed Impervious Area: 0.59 ACRES
Building: 0.08 ACRES
Parking Lot: 0.51 ACRES
Disturbed Site Area: 0.29 ACRES
Soil Types: UfAxc and UfUxc

FLOOD ZONE DATA

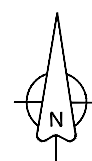
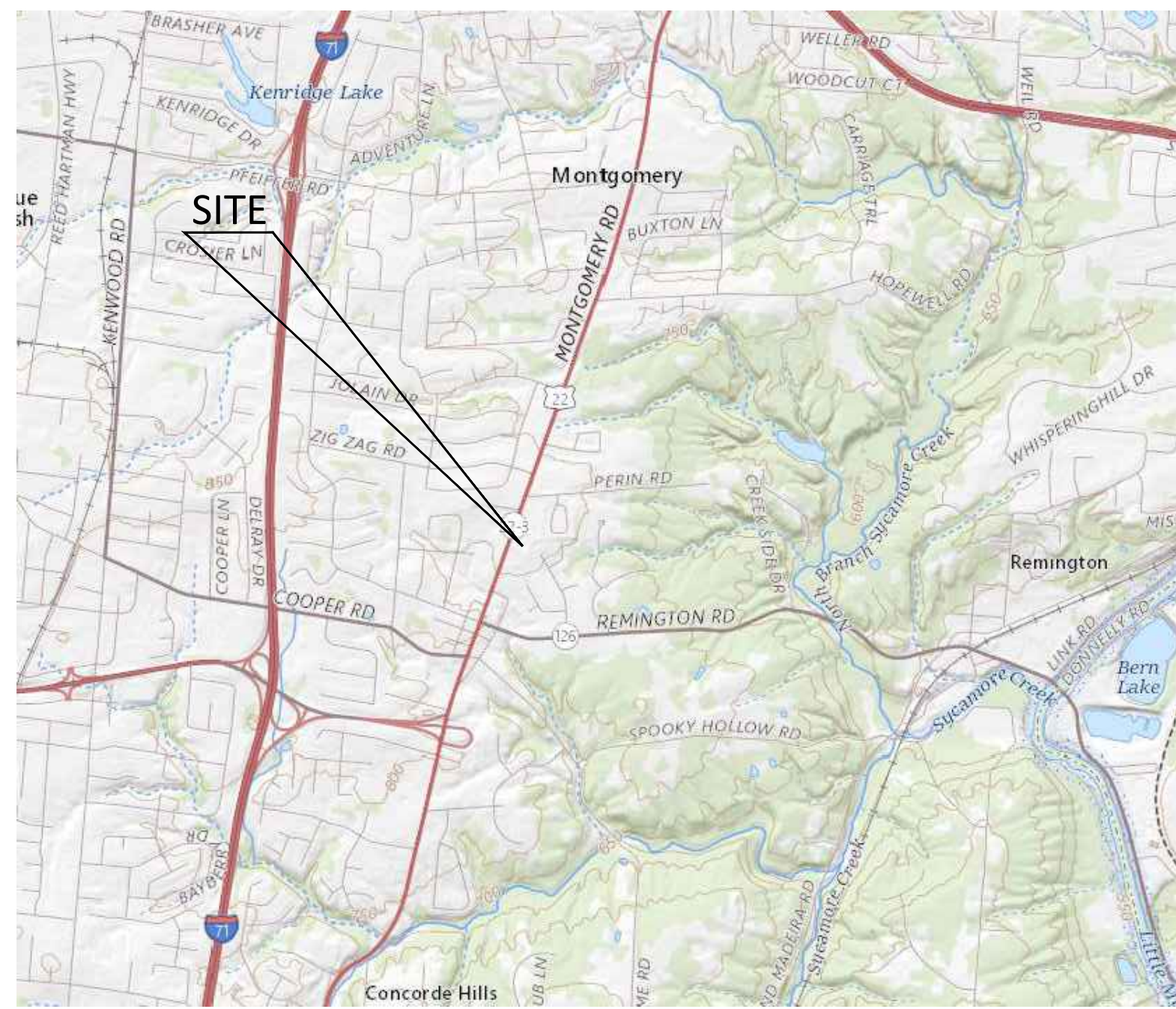
Map Number: 39061C0251F
Community Number: 390228
Effective Date: June 7, 2023
Zone: X
Panel: 0251F

UTILITY PROVIDERS

Sanitary: MSD
Water: GCWW
Storm: Hamilton County
Electric: Duke Energy

ENGINEER

Company: Viox & Viox, Inc.
Plan Reviewer: Michael Chandler, PE
Plan Preparer: Alex Russell, PE
Contact Info: (513) 304-7196
mchandler@vioxinc.com



VICINITY MAP
SCALE: N.T.S.

SHEET INDEX	
SHEET NO.	DRAWING TITLE
COVER	COVER
C001	GENERAL NOTES
C100	EXISTING CONDITIONS & DEMO PLAN
C200	LAYOUT PLAN
C201	OVERALL LAYOUT PLAN
C300	GRADING & EROSION CONTROL PLAN
C400	UTILITY PLAN
C500	DETAILS

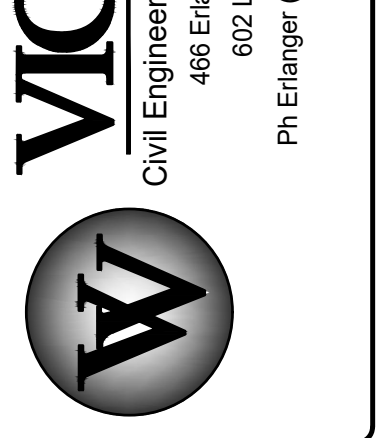
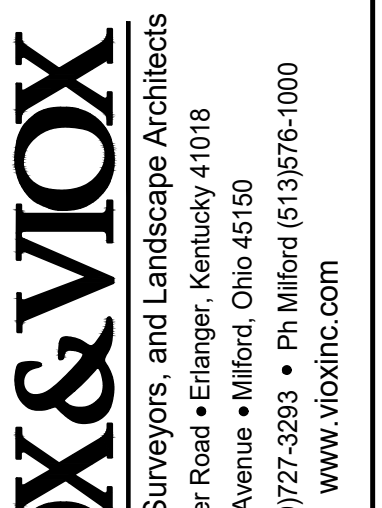


Location of utilities and structures, both surface and sub-surface, are shown on the plans from data available at time of bidding, and are not necessarily complete or correct. During construction the contractor shall use diligence in protecting from damaging all existing utilities and structures whether shown on the plan or not. If damage is caused, the contractor shall be responsible for the repair or restoration of same to the satisfaction of the engineer or appropriate authority.

PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR MUST EXPOSE AND VERIFY LOCATIONS BOTH HORIZONTAL AND VERTICALLY OF ALL EXISTING UTILITIES. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY, TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.

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Item	Revision	Date	By	Chk.



AUDI SERVICE BUILDING
SITE PLAN
CITY OF MONTGOMERY, HAMILTON COUNTY, OHIO
COVER

Project No: 150221002	Checked: MDC
Date: 7/14/23	Ref: APR
Sheet:	

COVER

P:\JDEPH AUTHORITY 2003-2021 PARKING LOT EXPANSION (15022) Vioxing\Site Building Site Plan.MXD
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P:\JDEPH AUTODRAWING 150021002\150021002_VioX\Drawings\150021002_SitePlan.dwg

GENERAL NOTES

- 1. It shall be the full and complete responsibility of the contractor to meet and comply with safety requirements and regulations as established by O.S.H.A. or any other regulatory body. The owner and engineer will not perform any safety compliance inspections as the contractor has accepted full and complete responsibility for performing such inspections for compliance to the regulations. The contractor shall indemnify and hold harmless the owner and the engineer from any loss, expense, fine, or suit, including attorney's fees, arising out of any safety violation suits brought by injured persons and/or fines levied by O.S.H.A or any other regulatory body, as result of the contractor's work.
2. If CLSM fill is used it must not exceed 28 days strength in specifications (80 psi). CLSM fill required in all utility trenches under existing paved areas. This expense to be included in appropriate bid item.
3. Contractor shall raise, lower, shift, and etc. all existing or proposed manhole covers' grates, valve boxes and etc. to comply with new construction as shown or not shown on these plans at no additional cost to the owner.
4. Contractor shall implement traffic control measures in accordance with applicable state & local standards, procedures and regulations while working within roadway easements & R/W or when work affects traffic flow or safety.
5. All streets and roadways adjacent to project shall be cleaned of dirt and debris at end of each day.
6. All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of services.
7. All necessary encroachment permits will be obtained prior to construction. All asphalt surface on existing roadways damaged during construction shall be sawcut, removed and replaced. The number of sawcuts shall be minimized in order to make one continuous patch as directed by the engineer and or local officials.
8. All pavement, sidewalk, curb, gutter, etc. to be reinstalled shall match existing width and thickness.
9. Any site signage will be by separate permit.

DEMOLITION NOTES

- 1. All potential erosion shall be controlled in such a manner so as to prevent any displacement of silt to adjacent property owners or right-of-way. This control shall be implemented through proper installation of silt fence during the construction duration and maintained until proper ground cover has been established.
2. Silt fences shall be repaired to their original condition if damaged. Sediment accumulation must be removed when sediment height reaches the 1/2 height of the silt fence.
3. Minimize off-site sediment tracking of vehicles by the use of granular material in all construction entrances, along with regularly scheduled sweeping/good housekeeping. Stabilized construction entrances to be properly maintained and in good working order at all times.
4. Dust controls using approved materials must be performed at all times. The use of motor oils and other petroleum based or toxic liquids for dust suppression is prohibited.
5. All materials spilled, dropped, washed, or tracked onto the roadways or into the storm sewer must be removed immediately.

GRADING NOTES

- 1. Before construction call Ohio 811 two (2) working days before you dig.
2. All single spot elevations are to top of paving or sidewalk. All double spot elevations are to top & bottom of curb.
3. Maximum slope of all handicap ramps shown shall not exceed 1:12.
4. Prior to beginning construction, contractor shall be responsible for verifying and field locating all utilities within the project limits so that construction will not damage or interfere with existing lines. If any utility lines are damaged, it is the contractor's responsibility to repair and/or replace the utility lines at the contractor's expense. Finished replacement or repair shall meet the approval of the specific utility owner.
5. All fill areas shall be compacted to a minimum of 95% of the maximum dry density per standard proctor analysis ASTM D 698 or to the project specifications, whichever is greater.
6. Existing elevations and contours on this plan are provided from GIS and site survey. Contractor shall coordinate horizontal and vertical control with engineer or surveyor prior to commencement of construction.
7. Improper grading/finishing of all excavation and fill placement within the project limits or adjacent right-of-way that result in drainage problems shall be removed and reinstalled to implement positive drainage by the contractor at no additional cost to the owner.
8. Benchmark information as provided shall be used to confirm existing topographic conditions prior to the commencement or any construction activities. Any conflict and/or discrepancies encountered between the existing topography shown and actual site conditions shall be reported to the engineer immediately.
9. The contractor shall not scale from these plans for field survey location.
10. Special care shall be taken to protect all trees, shrubs, etc. within existing landscape islands to remain. Contractor shall coordinate all tree removal with owner prior to construction to delineate which tree and landscaping is to be left in-place.
11. The developer/contractor is responsible for surface and sub-surface drainage related to his/her lands, and shall provide for such drainage in a way as to properly relieve waters from their land, without obstructing existing drainage patterns or increase runoff onto adjacent properties.
12. All soft and unsuitable material in areas to receive fill must be over-excavated to a stable sub-base, and backfilled with an approved engineered backfill. All backfill must meet the compaction requirements of the specifications or as shown on the drawing, whichever is the more stringent requirement.
13. All disturbed areas not to receive pavement shall receive 6" of topsoil minimum unless specified otherwise.
14. Contractor to follow all geotechnical recommendations.

EROSION CONTROL NOTES

- 1. All disturbed areas are to be restored and seeded immediately after completion of land disturbing activities in that area. Restoration to be as as noted in project specifications.
2. All final slopes of 8% or greater will be seeded and mulched.
3. Drainage ditches having slopes greater than 5% will be sodded.
4. Existing vegetation shall be preserved where possible. All disturbed areas of the site shall be stabilized. stabilization shall begin within 14 days on areas of the site where construction activities have permanently or temporarily (for 21 days or more) ceases. When snow cover causes delays, stabilization shall begin as soon as possible.
5. Contractor shall inspect the sediment control BMP's at least every 7 days and after a rain event of 0.5" and greater.
6. Contractor shall install inlet protection, over all existing and proposed inlets until project completion.
7. Silt fence shall be installed in all areas subject to sediment runoff from the site and removed at completion of the project prior to landscape contractor arrival to site. Contractor to coordinate with landscape contractor.
8. The contractor is responsible for sedimentation control of onsite runoff in accordance with Hamilton County storm water runoff, soil erosion, and sedimentation control ordinance. All erosion controls shall be in place before site work begins.
9. The drainage pattern created by the development of this site shall be consistent with the previous storm water drainage patterns. The adjacent property owners shall not realize any changes in the runoff to their property.
10. All potential erosion shall be controlled in such a manner so as to prevent any displacement of silt to adjacent property owners or right-of-way. This control shall be implemented through proper installation of silt fence during the construction duration and maintained until proper ground cover has been established.
11. Slopes shall be left in a roughened condition during the grading phase to reduce runoff velocities and erosion.
12. Minimize off-site sediment tracking of vehicles by the use of granular material in all construction entrances, along with regularly scheduled sweeping/good housekeeping. Stabilized construction entrances to be properly maintained and in good working order at all times.
13. The temporary parking and storage area shall be kept in good condition (suitable for parking and storage). This may require periodic top dressing of temporary parking as conditions demand.
14. Dust controls using approved materials must be performed at all times. The use of motor oils and other petroleum based or toxic liquids for dust suppression is prohibited.

UTILITY NOTES

- 1. All connections of storm drainage pipes to storm structures shall be sealed with non-shrink grout or per drain basin manufactures recommendations.
2. All storm sewer pipe shall be as noted on the plan. All HDPE pipe shall be "Advance Drainage Systems", ADS-N-12 HDPE pipe, or approved equal. All approved equals shall be regulated to the engineers and approved, in writing, prior to bidding and any work being done on site.
3. The plan does not indicate individual fittings required for this installation. Contractor responsible for obtaining and installing of all fittings along with the pipe and structures in the schedule as part of the project. This includes, but is not limited to "t" fittings, "I" fittings, double and triple manifolds, reducers, bands, ties, etc. All fittings shall be approved and supplied by the pipe manufacturer.
4. All storm sewer pipes shall have a minimum cover of 12" over the top of pipe. Contractor shall provide minimum cover in all cases. If discrepancies exist in the grading plan or if unseen site conditions exist that will not allow this cover as designed, the contractor shall notify the engineer immediately. The contractor shall be responsible for site reconnaissance and this determination prior to bidding the work.
5. Any repair of damage to existing storm piping, and utilities shall become the responsibility of the contractor.
6. Contractor shall coordinate exact location of utility lines and tie-in points with local utility companies and install appropriate conduits, and foundations. For service to utility connection points as identified hereon or directed by the utility provider.
7. Contractor shall provide and install appropriate PVC conduit under all proposed pavement areas for telephone and digital/TV communications.
8. See plumbing plans for clean-out, pipe bedding and grease trap detail.
9. The developer is responsible for all utility tap-on fees and cost of utility extensions to the site.
10. Contractor shall verify location of utilities entry to the building with architectural and mechanical/electrical plans.
11. The contractor shall fully restore all areas (asphalt, concrete, curbs, sidewalks, landscaping, ect.) disturbed during construction at no additional cost to the owner.
12. A minimum horizontal distance of 10' (feet) shall be maintained between the water and sanitary sewer service lines measured from the outside of the pipe to outside of pipe.

LANDSCAPE SPECIFICATIONS:

- 1. Landscape contractor shall verify and identify the location of all underground utilities prior to commencing work. Landscape contractor shall protect existing improvements from damage by his actions.
2. All debris shall be removed from the planting area prior to planting.
3. All plants shall have a growth habit that is normal for the species and shall be sound, healthy, vigorous, and free from insects, pests, plant diseases, and injuries.
4. Plantings shall be conducted under favorable weather conditions.
5. Plantings shall be located where they are shown on plans. In the case of unforeseen obstructions or supply issues related to the plant material, notify the Miami Township Community Development and the landscape architect for review.
6. SETTING PLANTS: Proposed plant pits shall be positively identified prior to digging and should be marked by the landscape contractor to the satisfaction of landscape architect. Each plant shall be set one plant per hole. All holes shall have scored sides with topsoil crowned at the bottoms and tamped to reduce settlement. Each plant pit shall be a minimum of one and one half times larger than the root ball of the plant to be installed. Plants shall be set to the grade at which it grew at the nursery.
7. BACKFILLING: Topsoil shall be free from rocks and debris. Plant pits shall be backfilled to fill all voids. Firmly tamp backfill to prevent settlement.
8. GUYING: Trees over seven feet in height shall, immediately after planting, be guyed according to the detail drawing provided.
9. MULCHING: A layer of specified mulch shall be placed on the finished grade immediately after planting. Mulch shall cover an area 6" greater in diameter than that of the hole. Shrub beds shall be completely covered to the extents of the bedline, or unless otherwise noted.
10. HERBICIDE: Apply typical herbicide to all bare soil prior to spreading mulch. Herbicide shall be applied according to the manufacturer's recommendations.
11. FERTILIZER: Provide typical fertilizer after installation to initiate nutrient uptake. Fertilizer shall be applied according to manufacturer's recommendation.
12. WATER: Contractor to fully soak root ball of trees immediately after planting. minimum of 3 minutes per root ball.
13. GUARANTEE: All plants shall be guaranteed for a period of 12 months from the time of acceptance by the project owner.

GENERAL:

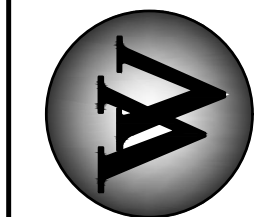
- 1. All retaining walls should be designed by a design professional familiar with the desired wall type and complete with detailed building instructions.
2. Landscape drainage channels should be constructed as to not permit runoff to bypass into building structures, pools, sanitary sewer systems, etc., or to cause flooding of neighbor's property.
3. All landscape storm water inlets shall be located with a back-up safety storm water surface route (in the event of clogging) that will not cause flooding of structures or neighbor's property.
4. Maintenance of landscaped areas should include inspections of storm water drainage routes. Removal of debris blocking drainage ways, and/or lowering mulch/turf build-ups may be necessary to maintain proper drainage. Catch basins should be cleared of debris to prevent clogging. Review of pipe flow should occur on a regular basis depending upon local conditions.

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Table with columns: Item, Revision, Date, By, Chk.



VIOX & VIOX
Civil Engineers, Surveyors, and Landscape Architects
488 Erlanger Road • Erlanger, Kentucky 41018
602 Lila Avenue • Millford, Ohio 45150
Ph: Erlanger (859)727-3293 • Ph: Millford (513)576-1000
WWW.VIOXINC.COM



AUDI SERVICE BUILDING
SITE PLAN
CITY OF MONTGOMERY, HAMILTON COUNTY, OHIO
GENERAL NOTES


Table with Project No., Date, Checked, Ref.

Sheet: C001

P:\JDEPH AUTOTRAFFIC (2007-2021) MARKING LOT EXPANSION (10/09) Engineering\2010\Auto Service Building Site Plan, MC.dwg
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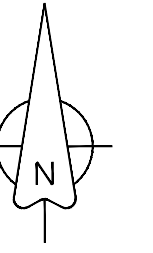
Columbia Oldsmobile Company
O.R. 8438, Pg. 1967
603-0002-0001

HATCH TYPES

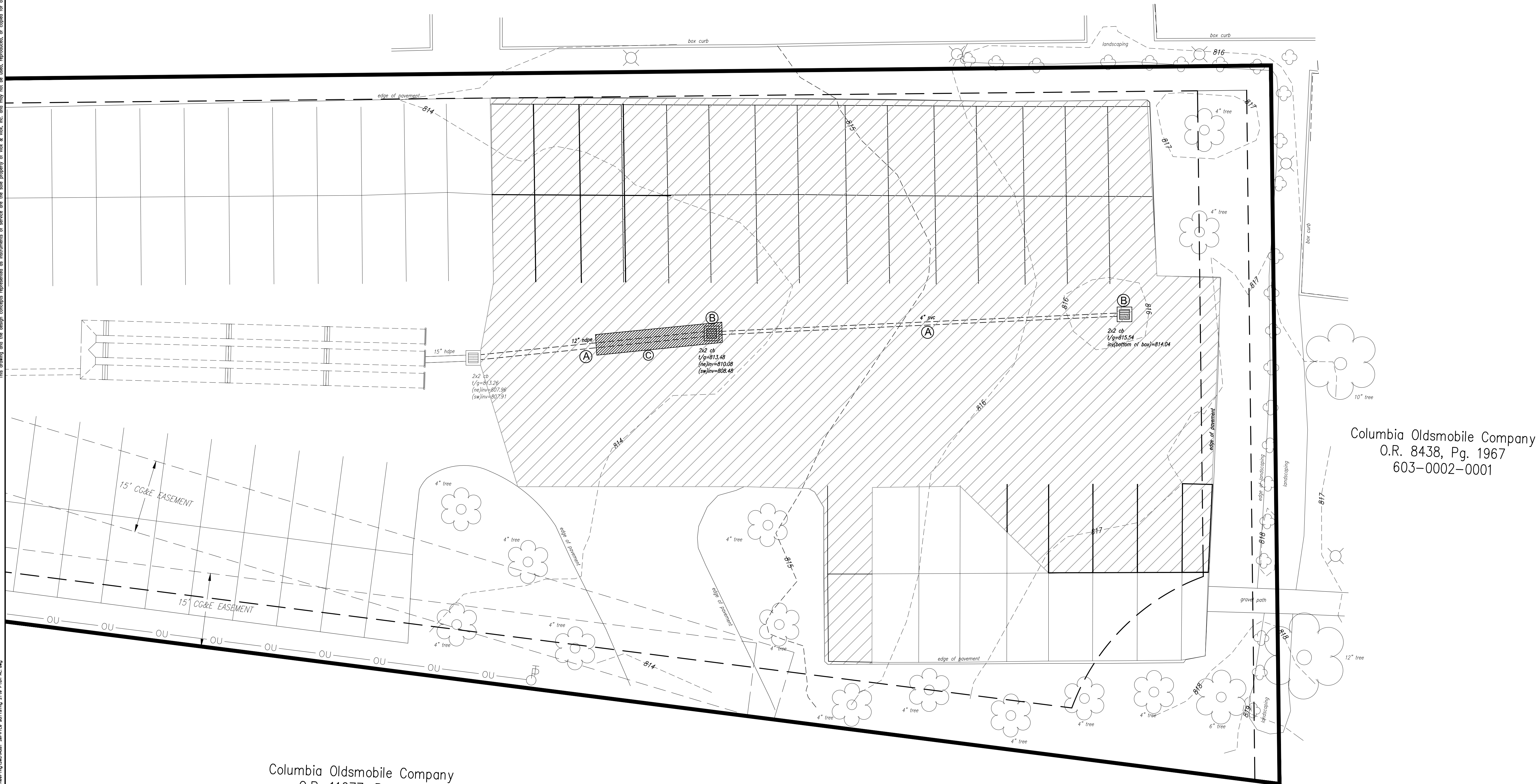
 SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT

PLAN KEY NOTES

- (A) REMOVE EXISTING STORM SEWER
- (B) REMOVE EXISTING CATCH BASIN
- (C) BACKFILL TRENCH WITH CONTROLLED-DENSITY FILL (1500 PSI)



0 10' 15'
SCALE: 1" = 10'
© 2017 VIOX & VIOX, INC.



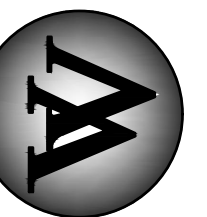
Columbia Oldsmobile Company
O.R. 8438, Pg. 1967
603-0002-0001

Columbia Oldsmobile Company
O.R. 11677, Pg. 254
603-0002-0039

Wolf, Richard M. & Debra N.
Lockhaven Subdivision
Block "B"
P.B. 154, Pg. 16-17
Lot 40



VIOX & VIOX
Civil Engineers, Surveyors, and Landscape Architects
488 Erlanger Road • Erlanger, Kentucky 41018
602 Lila Avenue • Millard, Ohio 45150
Ph: Erlanger (859)727-3293 • Ph: Millard (513)576-1000
www.vioxinc.com



**AUDI SERVICE BUILDING
SITE PLAN**
CITY OF MONTGOMERY, HAMILTON COUNTY, OHIO
EXISTING CONDITIONS & DEMO PLAN

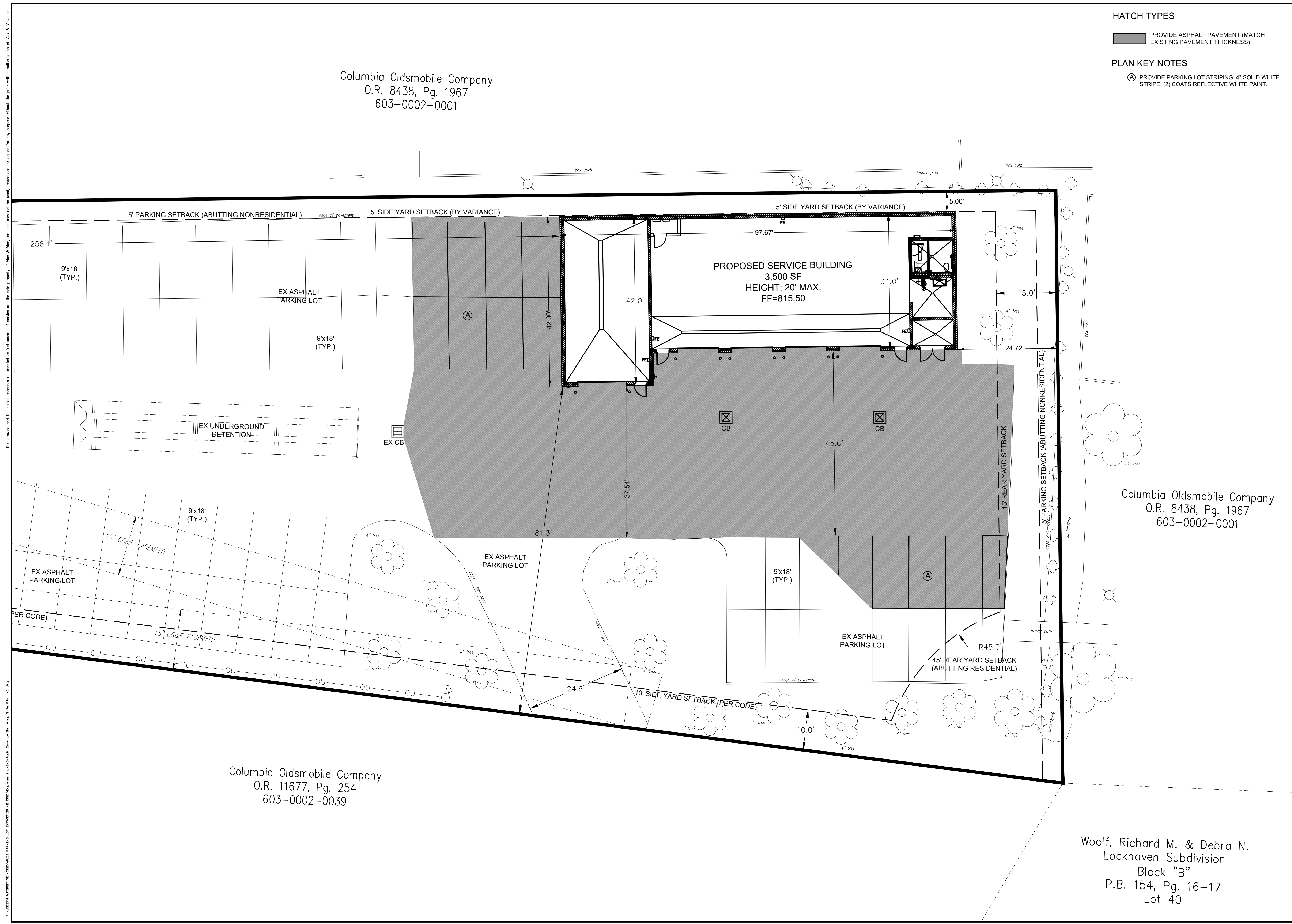
Project No: 150221002	Checked: MDC
Date: 7/14/23	Ref: APR

Sheet:

C100

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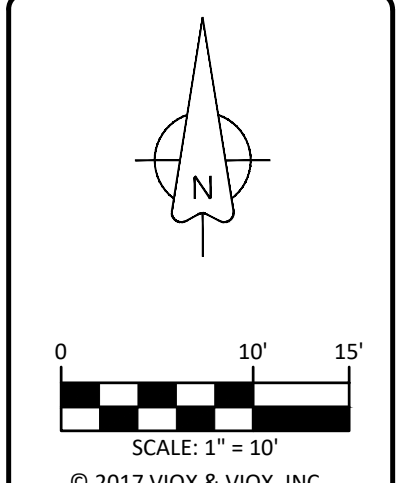
P:\JDEPH AUTOTRAC 1500\AUT1 PARKING LOT EXPANSION 61000\Engineering\300\Auto Service Building Site Plan MC.dwg



Columbia Oldsmobile Company
 O.R. 8438, Pg. 1967
 603-0002-0001

Columbia Oldsmobile Company
 O.R. 11677, Pg. 254
 603-0002-0039

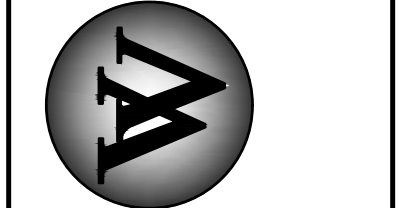
- HATCH TYPES**
- PROVIDE ASPHALT PAVEMENT (MATCH EXISTING PAVEMENT THICKNESS)
- PLAN KEY NOTES**
- PROVIDE PARKING LOT STRIPING: 4" SOLID WHITE STRIPE, (2) COATS REFLECTIVE WHITE PAINT.



Item	Revision	Date	By	Chk.



VIOX & VIOX
 Civil Engineers, Surveyors, and Landscape Architects
 488 Erlanger Road • Erlanger, Kentucky 41018
 602 Lila Avenue • Millard, Ohio 45150
 Ph: Erlanger (859)727-3293 • Ph: Millard (513)576-1000
 www.vioxinc.com



**AUDI SERVICE BUILDING
 SITE PLAN
 LAYOUT PLAN**

CITY OF MONTGOMERY, HAMILTON COUNTY, OHIO

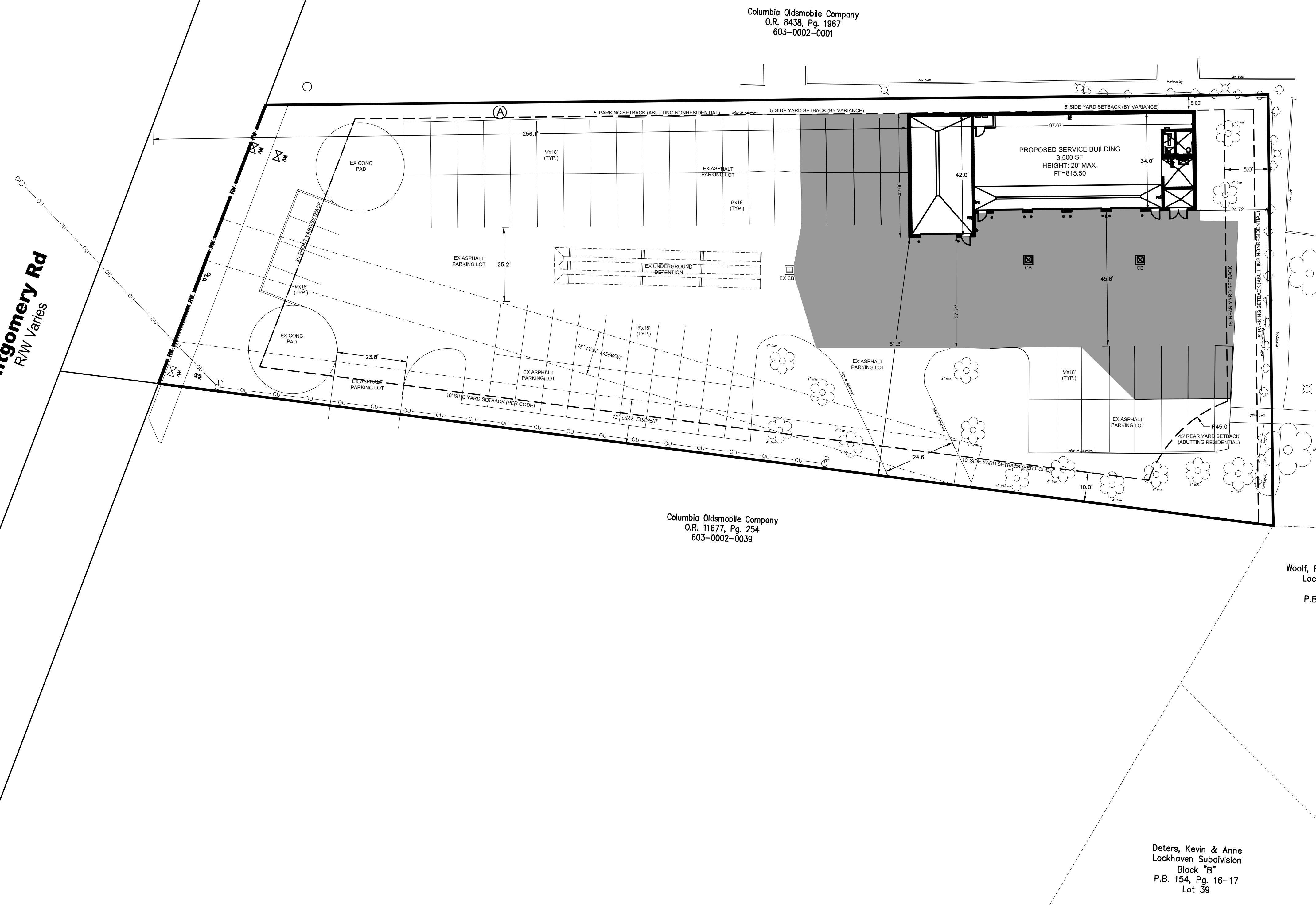
Woolf, Richard M. & Debra N.
 Lockhaven Subdivision
 Block "B"
 P.B. 154, Pg. 16-17
 Lot 40

Project No: 150221002	Checked: MDC
Date: 7/14/23	Ref: APR
Sheet: C200	

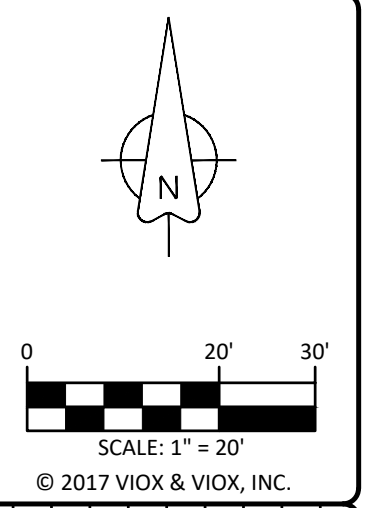
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P:\JDDPH AUTOMOTIVE (2022)\AUT1 PARKING LOT EXPANSION (15022)\Engineering\300\Auto Service Building Site Plan.MXD

Montgomery Rd
R/W Varies



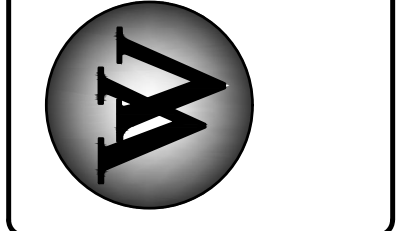
- FINAL DEVELOPMENT PLAN NOTES:**
- NO EXISTING OR PROPOSED OUTSIDE STORAGE AREAS INCLUDED IN THIS PROPOSED DEVELOPMENT. WASTE GENERATED BY AUXILIARY SERVICE BUILDING TO BE TAKEN TO EXISTING DUMPSTER ENCLOSURE ON ADJACENT PARCEL OF SIMILAR OWNERSHIP.
 - EXISTING FIRE HYDRANT NEAR SITE IN MONTGOMERY ROAD RIGHT-OF-WAY. ENGINEER CONFIRMED WITH THE CITY FIRE DEPT. A NEW HYDRANT WILL NOT BE NECESSARY BY THIS PROPOSED DEVELOPMENT.
 - NO EXISTING LANDSCAPING TO BE REMOVED AS PART OF THIS PROPOSED DEVELOPMENT. ALL EXISTING LANDSCAPING TO REMAIN.
 - NO EXISTING SITE LIGHTING TO BE AFFECTED BY THIS PROPOSED DEVELOPMENT. ALL EXISTING POLE MOUNTED LIGHTS TO REMAIN.



Item	Revision	Date	By	Chk.



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**AUDI SERVICE BUILDING
SITE PLAN**
OVERALL LAYOUT PLAN

CITY OF MONTGOMERY, HAMILTON COUNTY, OHIO

Project No: 150221002	Checked: MDC
Date: 7/14/23	Ref: APR
Sheet: C201	

Woolf, Richard M. & Debra N.
Lockhaven Subdivision
Block "B"
P.B. 154, Pg. 16-17
Lot 40

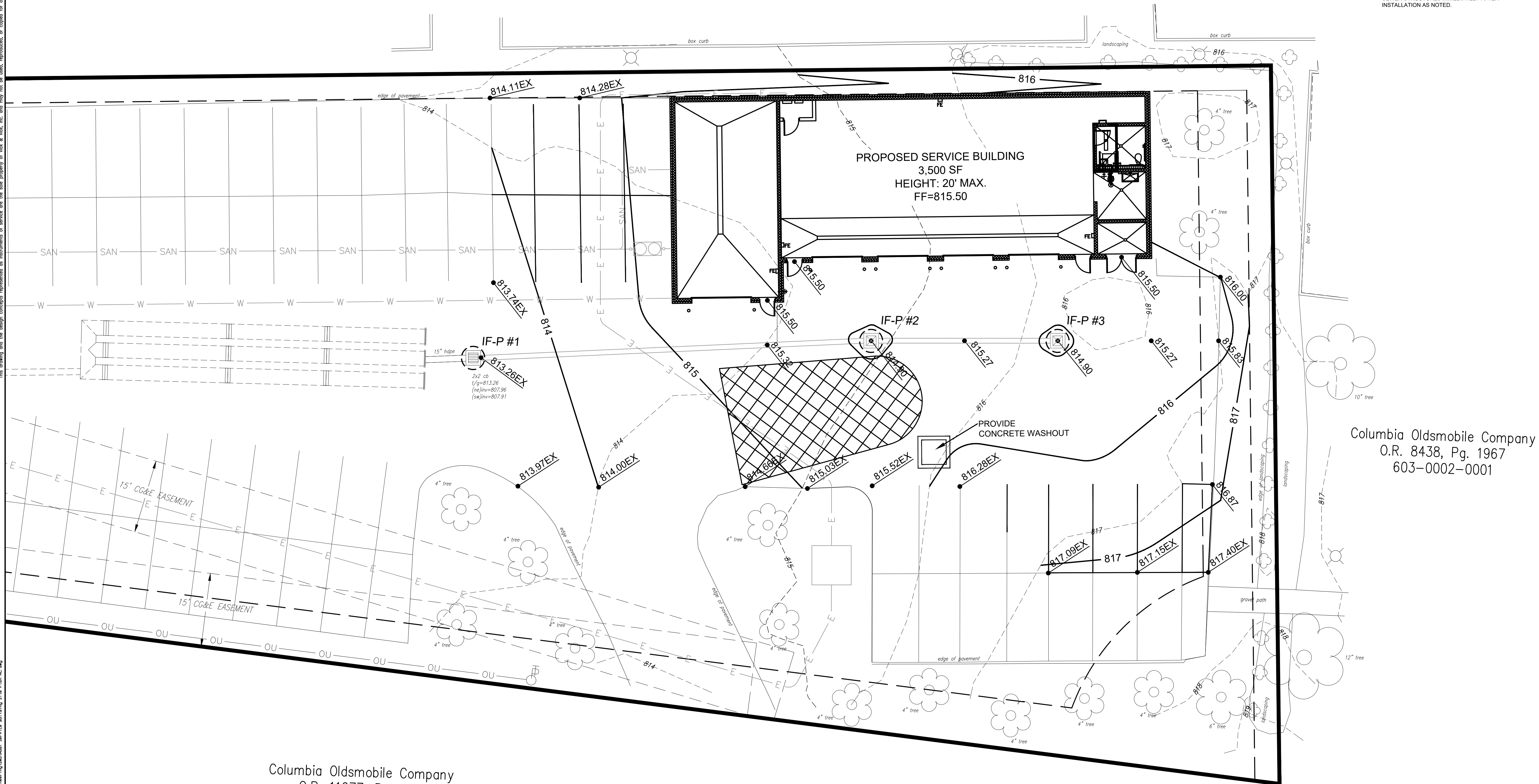
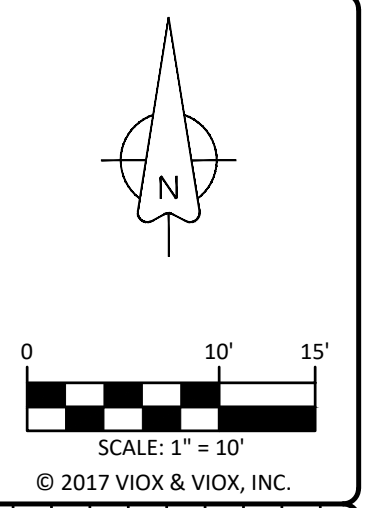
Deters, Kevin & Anne
Lockhaven Subdivision
Block "B"
P.B. 154, Pg. 16-17
Lot 39

P:\JOEY\AUTOTITLE\1502\1502 - MARKING LOT EXPANSION (1502) - Engineering\1502\1502 - Building Site Plan - MC.dwg
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Columbia Oldsmobile Company
 O.R. 8438, Pg. 1967
 603-0002-0001

EPSC LEGEND	
	PROVIDE TEMP. CONSTRUCTION ENTRANCE PER DETAIL
	PROVIDE SILT FENCE PER DETAIL
	PROVIDE FLEX STORM INLET PROTECTION PER DETAIL

*PROVIDE INLET PROTECTION TO PROPOSED SEWER STRUCTURES IMMEDIATELY AFTER INSTALLATION AS NOTED.



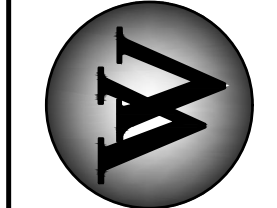
Columbia Oldsmobile Company
 O.R. 8438, Pg. 1967
 603-0002-0001

Columbia Oldsmobile Company
 O.R. 11677, Pg. 254
 603-0002-0039

Woolf, Richard M. & Debra N.
 Lockhaven Subdivision
 Block "B"
 P.B. 154, Pg. 16-17
 Lot 40



VIOX & VIOX
 Civil Engineers, Surveyors, and Landscape Architects
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 602 Lila Avenue • Millard, Ohio 45150
 Ph: Erlanger (859)727-3293 • Ph: Millard (513)576-1000
 www.vioxinc.com



AUDI SERVICE BUILDING
SITE PLAN
 CITY OF MONTGOMERY, HAMILTON COUNTY, OHIO
GRADING & EROSION CONTROL PLAN

Project No: 150221002	Checked: MDC
Date: 7/14/23	Ref: APR
Sheet: C300	

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P:\JGD\PROJECTS\2023\AUDI\AUDI ENGINEERING\AUDI SERVICE BUILDING SITE PLAN.MXD

Montgomery Rd
R/W Varies

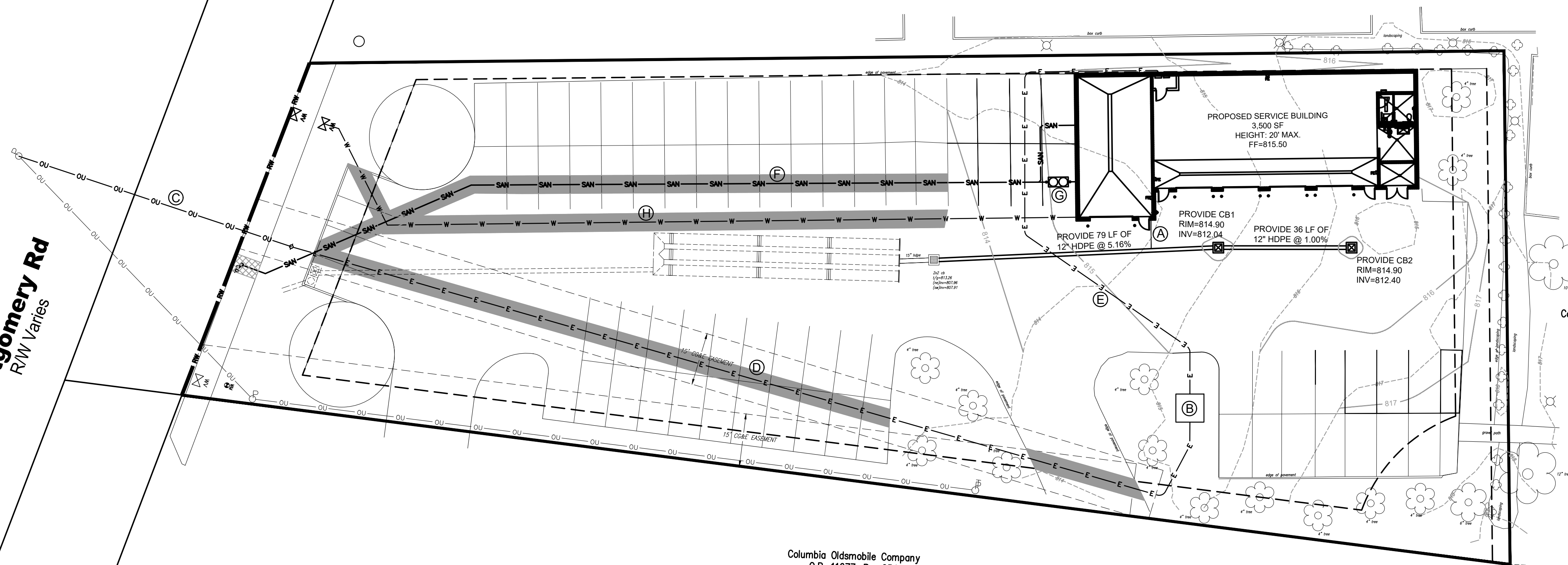
Columbia Oldsmobile Company
O.R. 8438, Pg. 1967
603-0002-0001

Columbia Oldsmobile Company
O.R. 11677, Pg. 254
603-0002-0039

Columbia Oldsmobile Company
O.R. 8438, Pg. 1967
603-0002-0001

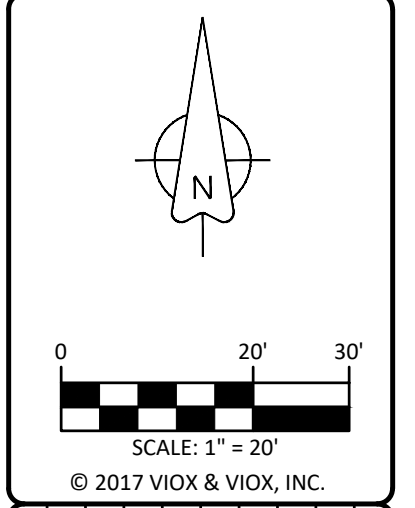
Woolf, Richard M. & Debra N.
Lockhaven Subdivision
Block "B"
P.B. 154, Pg. 16-17
Lot 40

Deters, Kevin & Anne
Lockhaven Subdivision
Block "B"
P.B. 154, Pg. 16-17
Lot 39



- HATCH TYPES**
- [Solid Grey Hatch] REMOVE & REPLACE EXISTING ASPHALT PAVEMENT AND CONCRETE CURB (MATCH EXISTING)
 - [Cross-hatched Hatch] REMOVE & REPLACE EXISTING CONCRETE SIDEWALK (MATCH EXISTING)

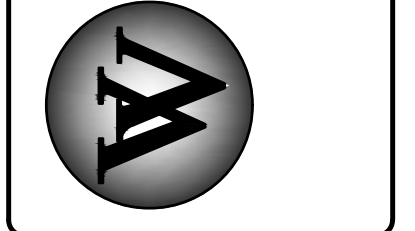
- PLAN KEY NOTES**
- (A) PROVIDE 4" STORM LINE FROM BUILDING TO PROPOSED STORM SEWER
 - (B) PROVIDE 8'X8' TRANSFORMER PAD (PER PROVIDER SPECS)
 - (C) PROPOSED OVERHEAD ELECTRIC FROM EXISTING UTILITY POLE TO PROPOSED NEW OVERHEAD UTILITY POLE CONTRACTOR TO COORDINATE WITH PROVIDER
 - (D) PROPOSED UNDERGROUND PRIMARY ELECTRIC FROM PROPOSED NEW POLE TO PROPOSED TRANSFORMER PER PROVIDER SPECS
 - (E) PROPOSED ELECTRIC SERVICE LINE FROM TRANSFORMER TO THE BUILDING PER PROVIDER SPECS
 - (F) PROVIDE 4" SANITARY LATERAL FROM EXISTING CLEANOUT TO BUILDING (1% MIN. SLOPE AND CLEANOUTS AT EVERY BEND) PER PROVIDER SPECS
 - (G) PROVIDE OIL INTERCEPTOR PER DETAIL
 - (H) PROVIDE 2" WATER SERVICE LINE FROM EXISTING VALVE TO BUILDING PER PROVIDER SPECS



Item	Revision	Date	By	Chk.



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Civil Engineers, Surveyors, and Landscape Architects
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602 Lila Avenue • Millard, Ohio 45150
Ph. Erlanger (859)727-3293 • Ph. Millard (613)576-1000
WWW.VIOXINC.COM



**AUDI SERVICE BUILDING
SITE PLAN
UTILITY PLAN**

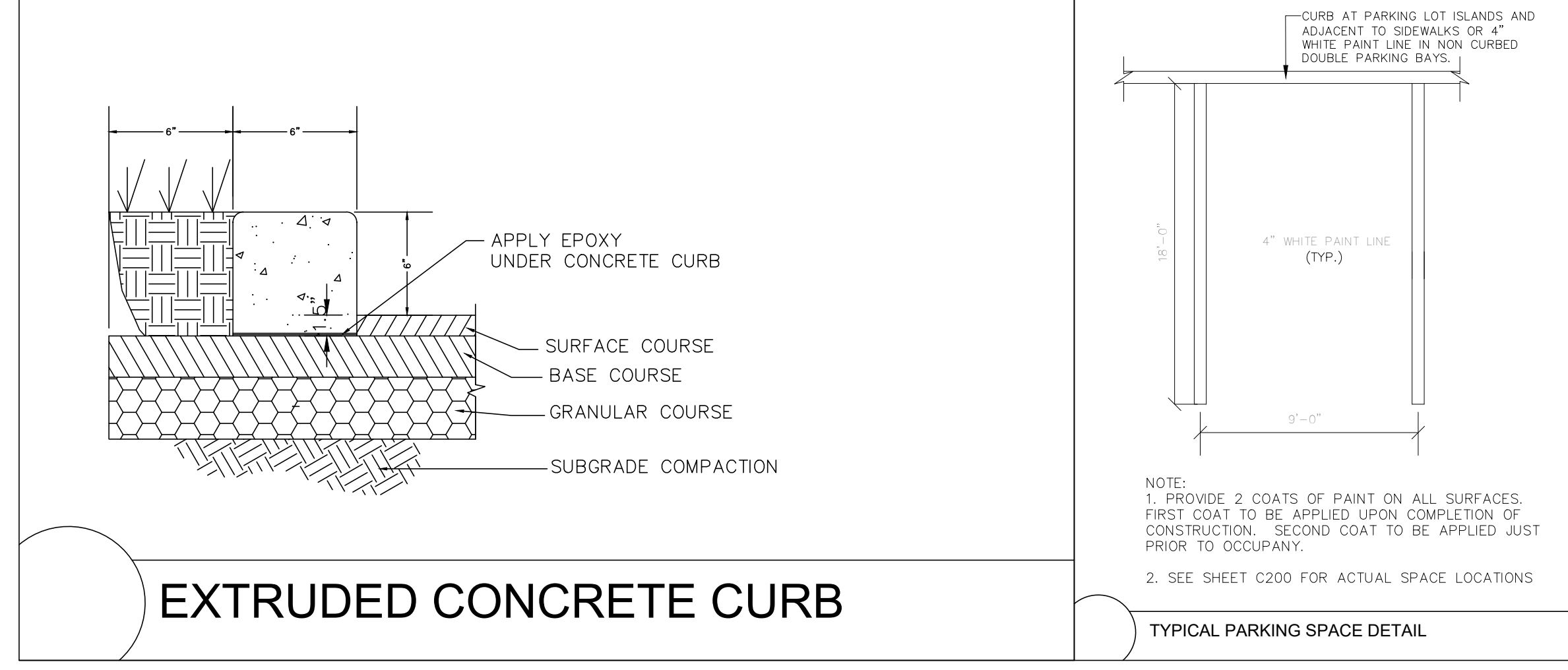
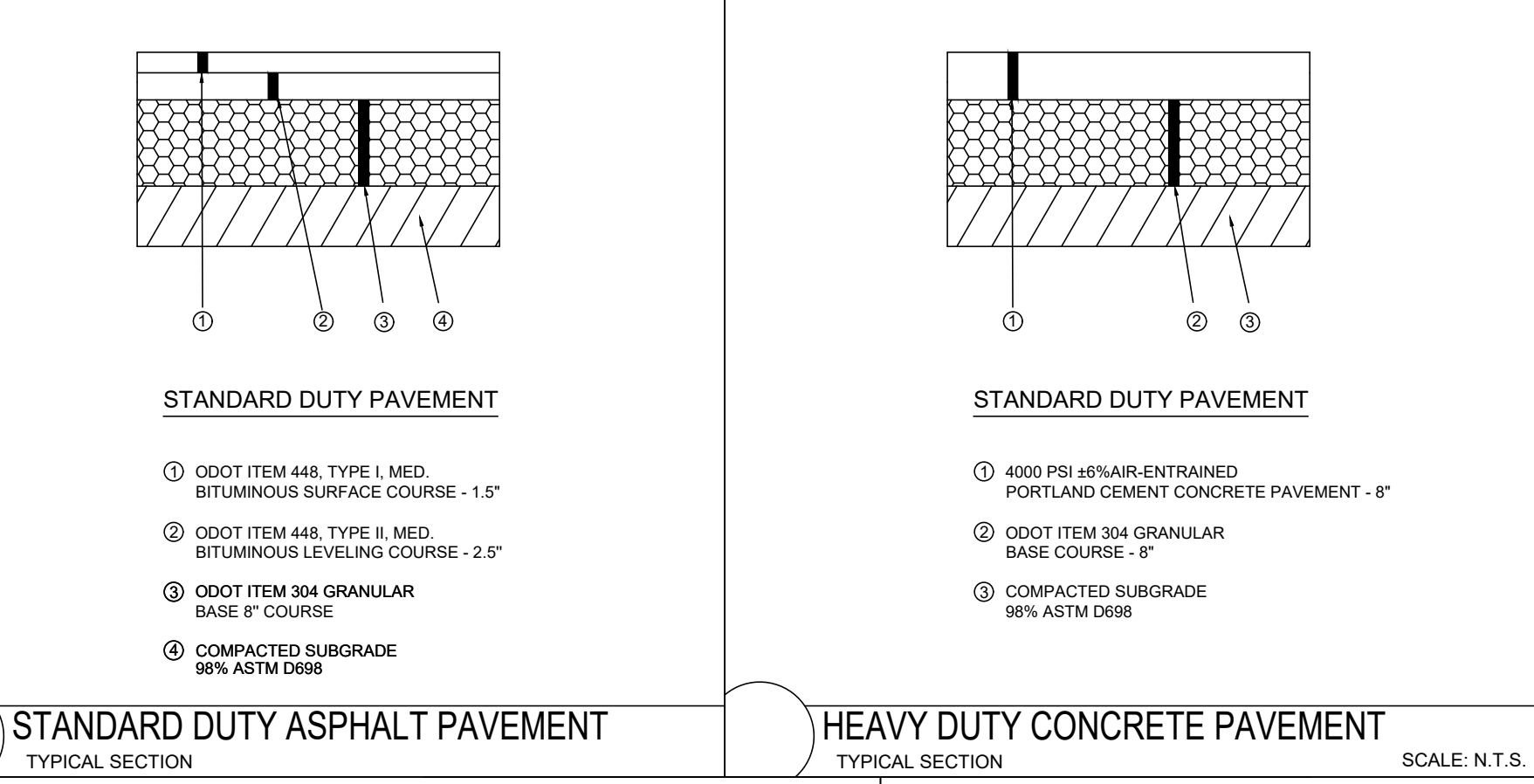
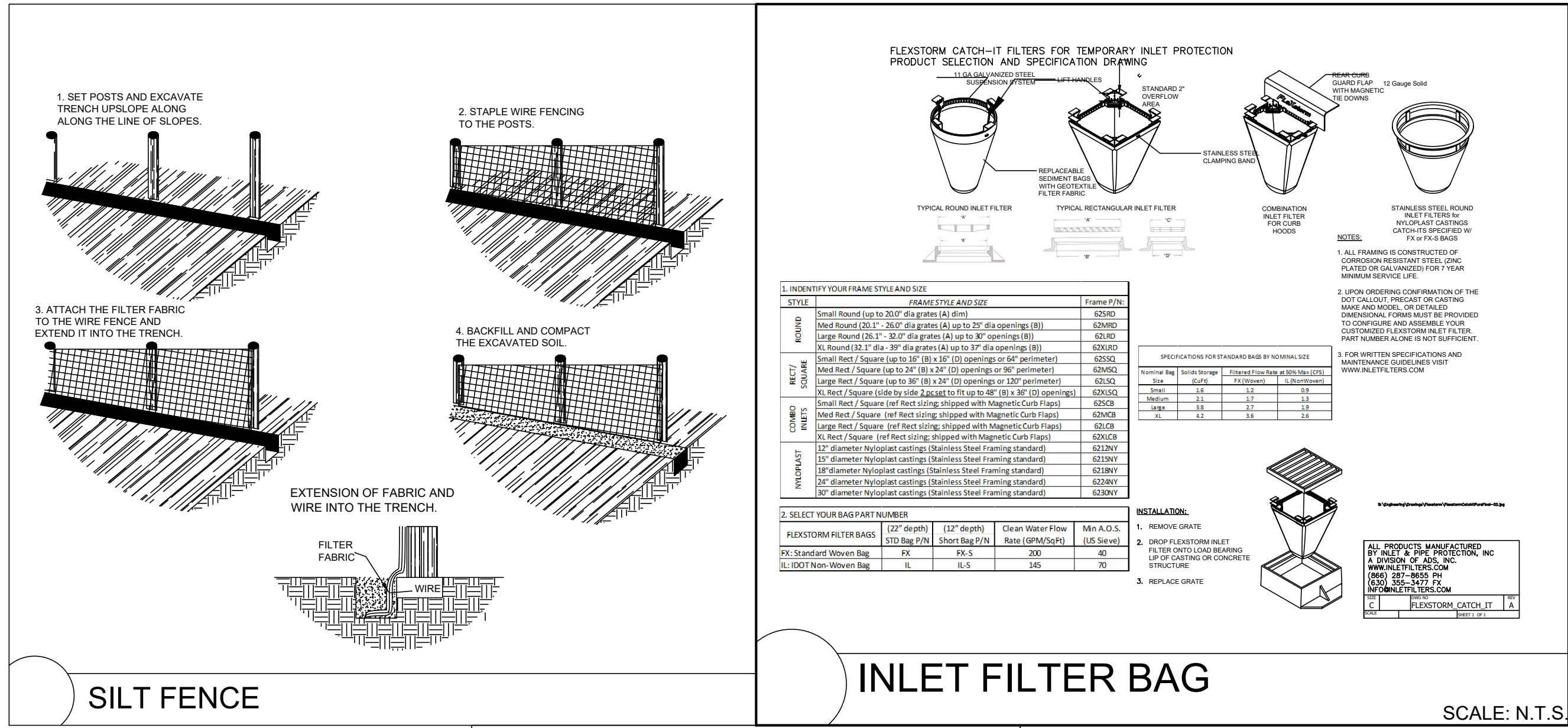
CITY OF MONTGOMERY, HAMILTON COUNTY, OHIO

Project No: 150221002	Checked: MDC
Date: 7/14/23	Ref: APR
Sheet:	

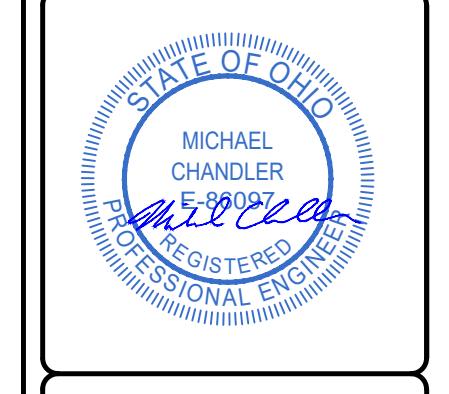
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K:\JDDPH\AUTOROTIVE\2002\AUT1\MAKING LOT EXPANSION\150023\Engineering\030\Auto1_Serv\Site Building 51.rvt Pl 01.rvt Rev.dwg



Revision	Date	By	Chk.



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 602 Lila Avenue • Millard, Ohio 45150
 Ph: Erlanger (859) 727-3293 • Ph: Millard (613) 576-1000
 www.vioxinc.com

AUDI SERVICE BUILDING
SITE PLAN
 CITY OF MONTGOMERY, HAMILTON COUNTY, OHIO
DETAILS

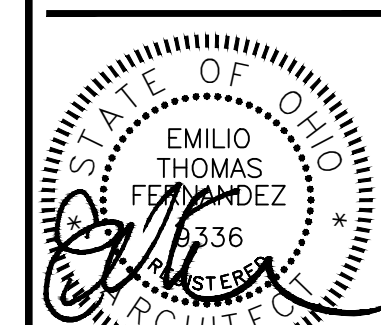
Project No: 150221002
 Date: 7/14/23
 Checked: MDC
 Ref: APR
 Sheet:
C500

Lockhaven Subdivision
Block "B"
P.B. 154, PGS 16 & 17



THE AUDI CONNECTION
9678 MONTGOMERY RD.
CINCINNATI, OH 45242

AUDI SERVICE BUILDING
9678 Montgomery Road Cincinnati, OH 45242
Joseph Development
285 Chiquita Center Cincinnati, OH 45202



Emilio Thomas Fernandez
License #9009336
Expiration Date: 12/31/2023

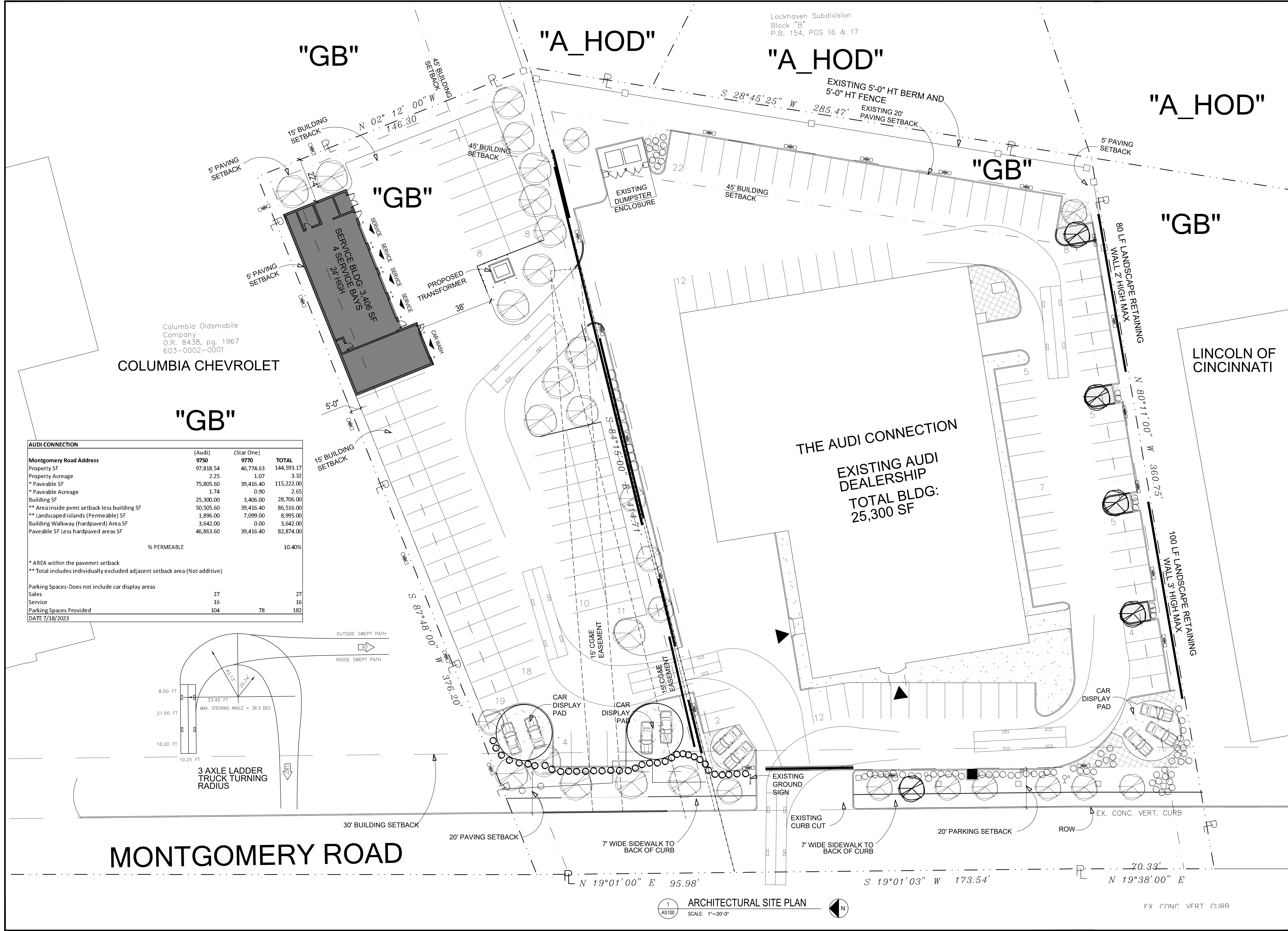
ISSUED	DATE
OWNER REVIEW	02 / 15 / 2023
OWNER REVIEW	04 / 05 / 2023
ZONING APPEAL	05 / 25 / 2023
PLANNING COMMISSION	07 / 19 / 2023

SHEET TITLE
ARCHITECTURAL SITE PLAN

SCALE	COMM. NO.
DRAWN BY	E-12072.00
DATE	

SHEET #
AS100

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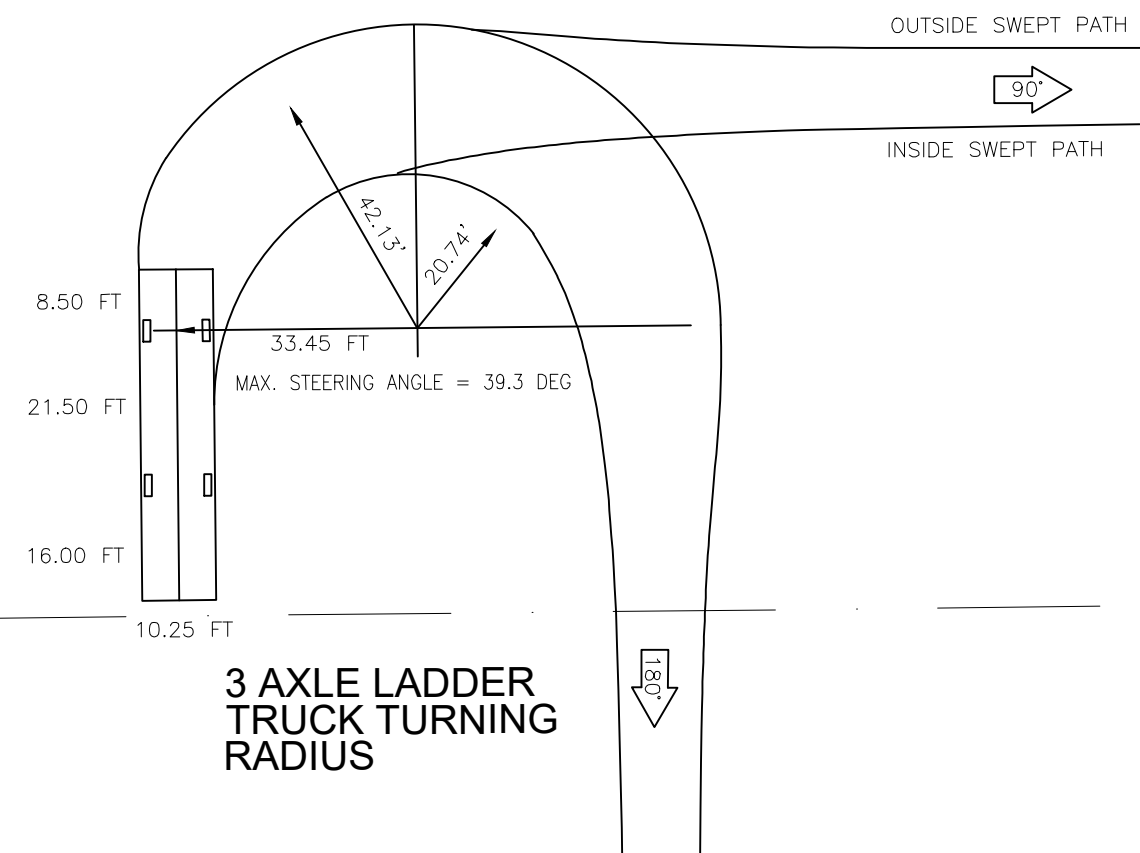
COLUMBIA CHEVROLET

LINCOLN OF CINCINNATI

THE AUDI CONNECTION
EXISTING AUDI DEALERSHIP
TOTAL BLDG: 25,300 SF

"GB"
SERVICE BLDG: 3,400 SF
4 SERVICE BAYS
24' HIGH

AUDI CONNECTION	(Audi)	(Star One)	TOTAL
Montgomery Road Address	9750	9770	
Property SF	97,818.54	46,774.63	144,593.17
Property Acreage	2.25	1.07	3.32
* Paveable SF	75,805.60	39,416.40	115,222.00
* Paveable Acreage	1.74	0.90	2.65
Building SF	25,300.00	3,406.00	28,706.00
** Area inside pvmt setback less building SF	50,505.60	39,416.40	86,516.00
** Landscaped islands (Permeable) SF	1,896.00	7,099.00	8,995.00
Building Walkway (hardpaved) Area SF	3,642.00	0.00	3,642.00
Paveable SF Less hardpaved areas SF	46,863.60	39,416.40	82,874.00
% PERMEABLE			10.40%
* AREA within the pvmt setback			
** Total includes individually excluded adjacent setback area (Not additive)			
Parking Spaces-Does not include car display areas			
Sales	27		27
Service	16		16
Parking Spaces Provided	104	78	182
DATE 7/18/2023			

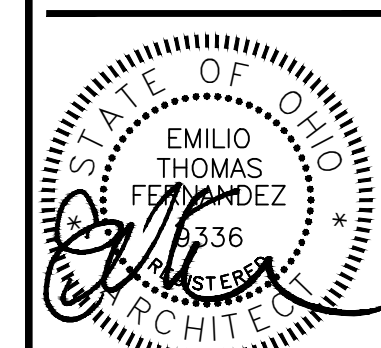
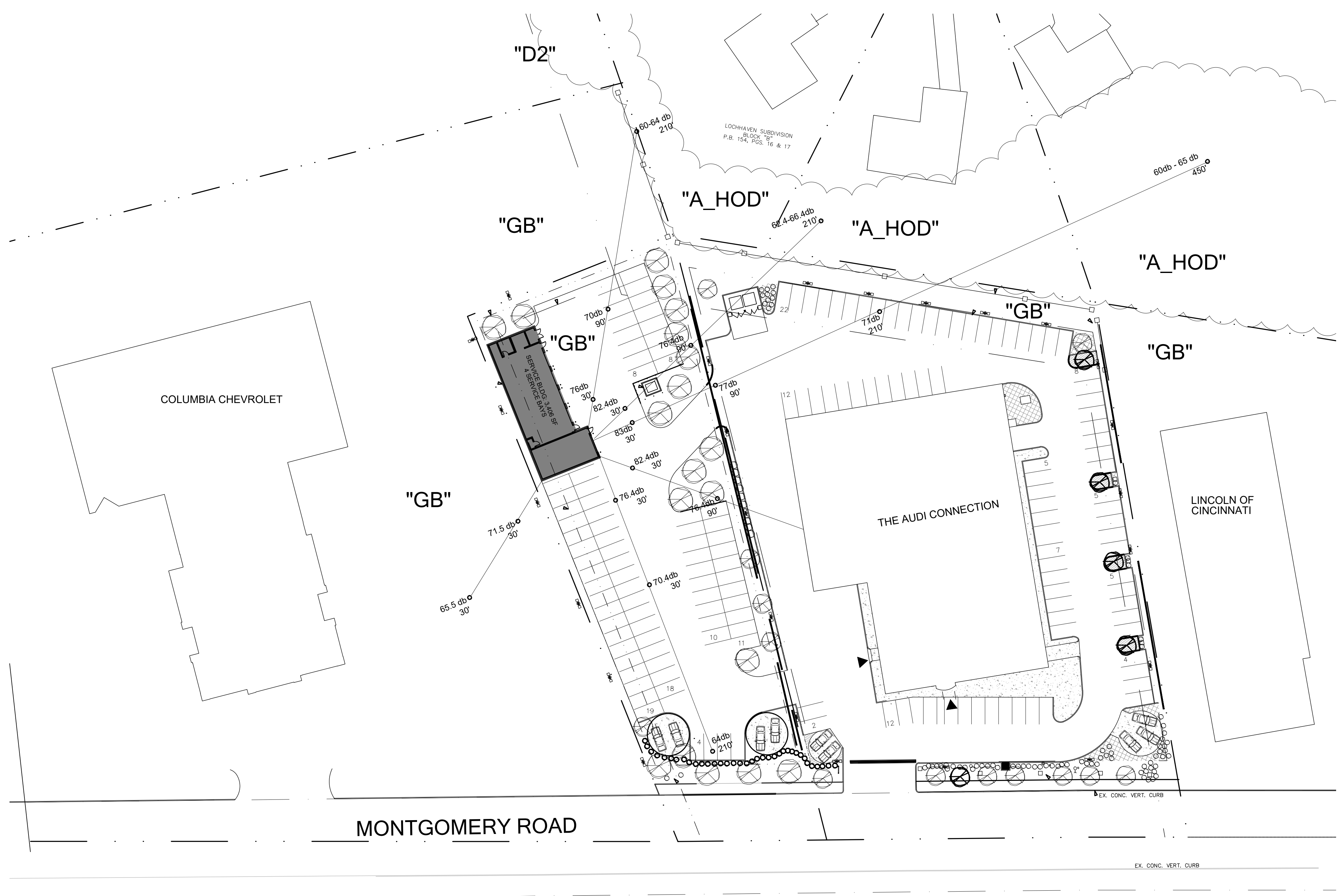


MONTGOMERY ROAD

1 ARCHITECTURAL SITE PLAN
AS100 SCALE: 1"=20'-0"

FX CONC. VERT. CURB

THIS DRAWING IS PART OF A SET



Emilio Thomas Fernandez
License #9009336
Expiration Date:
12/31/2023

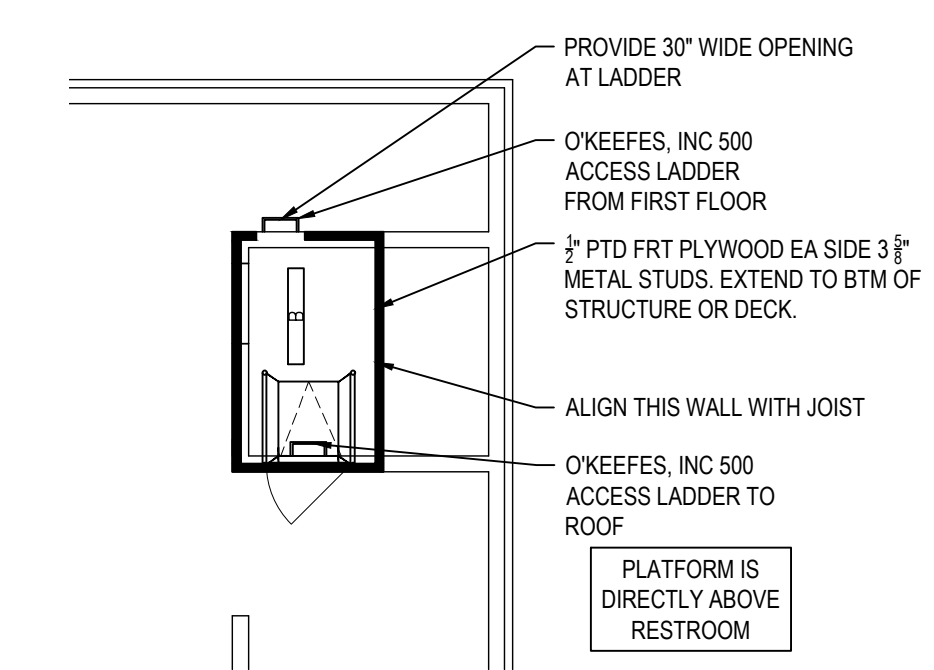
ISSUED	DATE
OWNER REVIEW	02 / 15 / 2023
OWNER REVIEW	04 / 05 / 2023
ZONING APPEAL	05 / 25 / 2023
PLANNING COMMISSION	07 / 19 / 2023

SHEET TITLE
ARCHITECTURAL SOUND PLAN

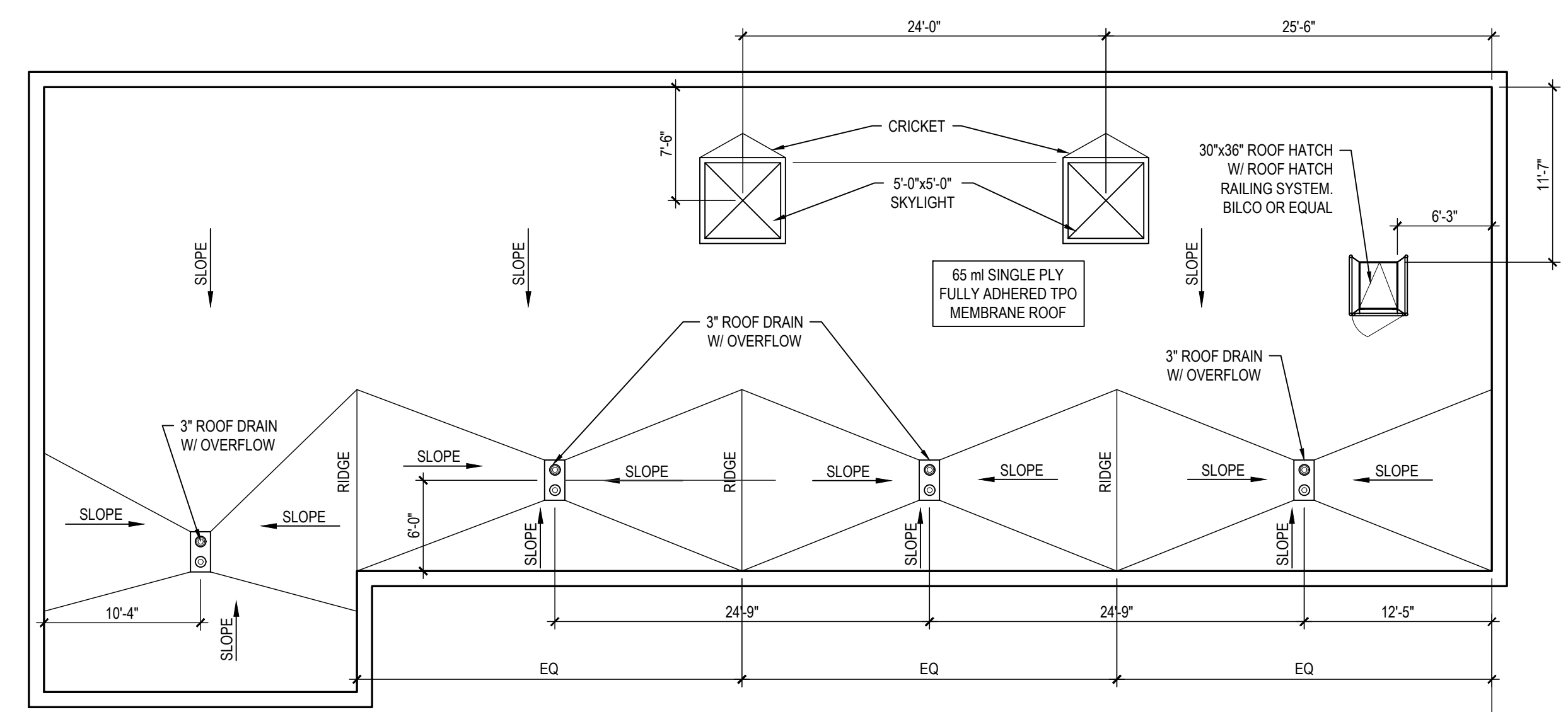
SCALE	COMM. NO.
	E-12072.00
DRAWN BY	DATE

SHEET #
AS101

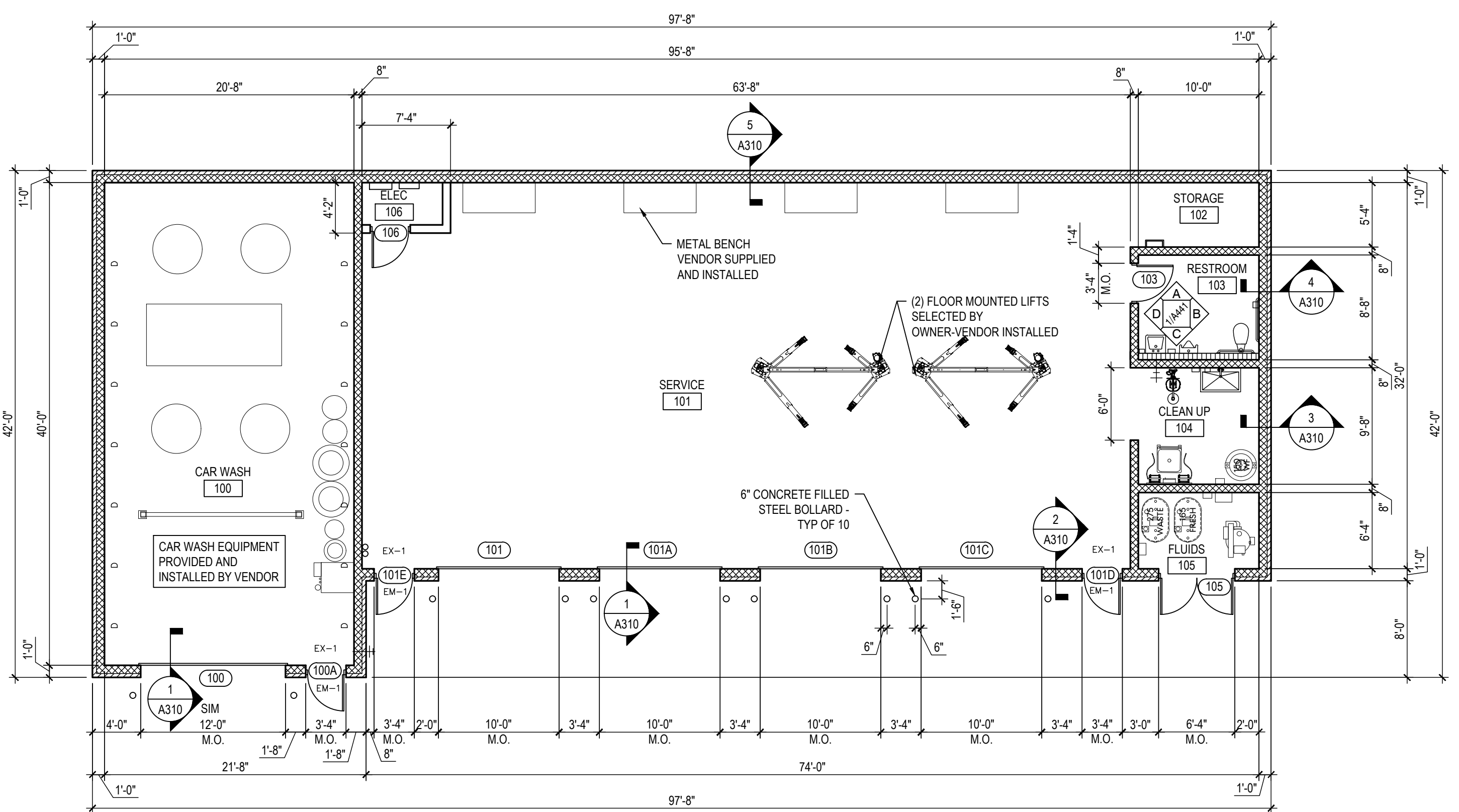
1 ARCHITECTURAL SOUND PLAN
AS101 SCALE: 1"=40'-0"



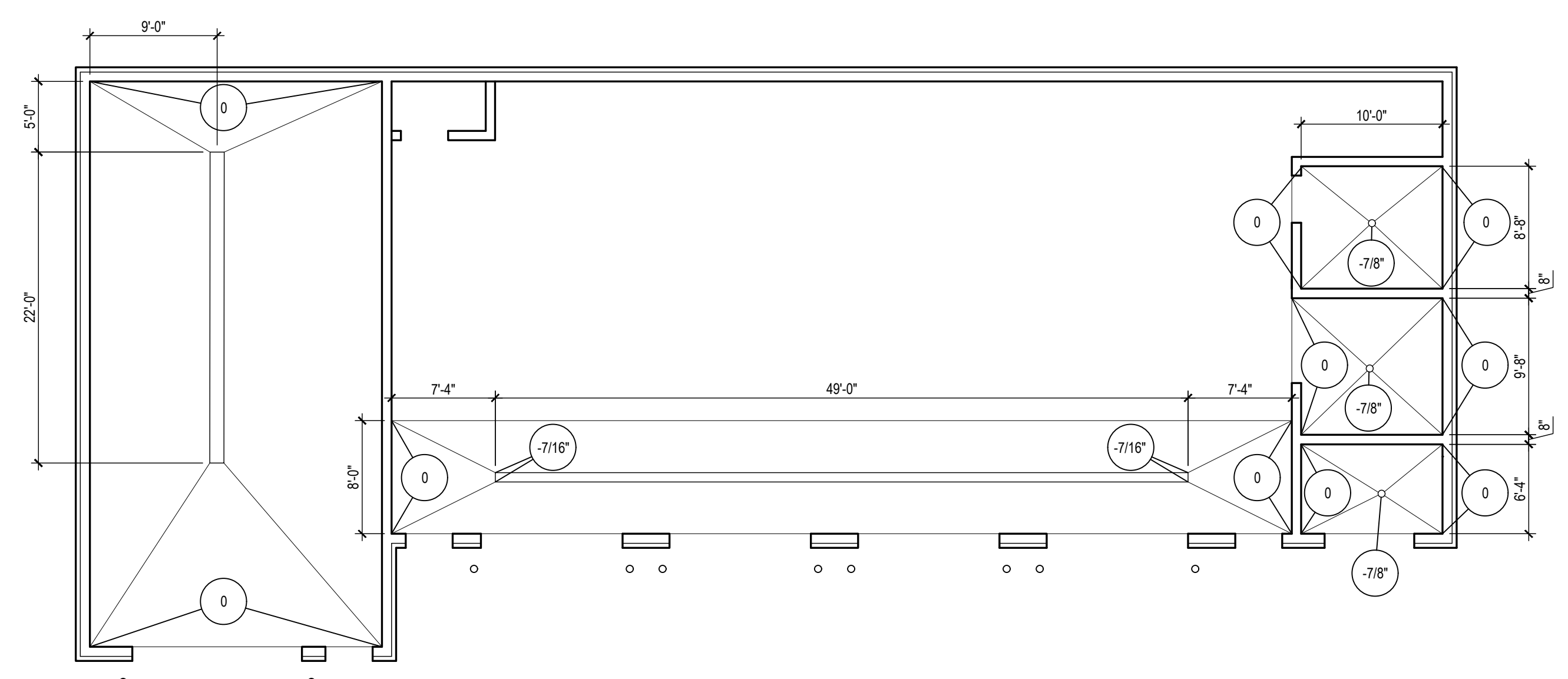
5 PLATFORM PLAN
SCALE: 1/8"=1'-0"



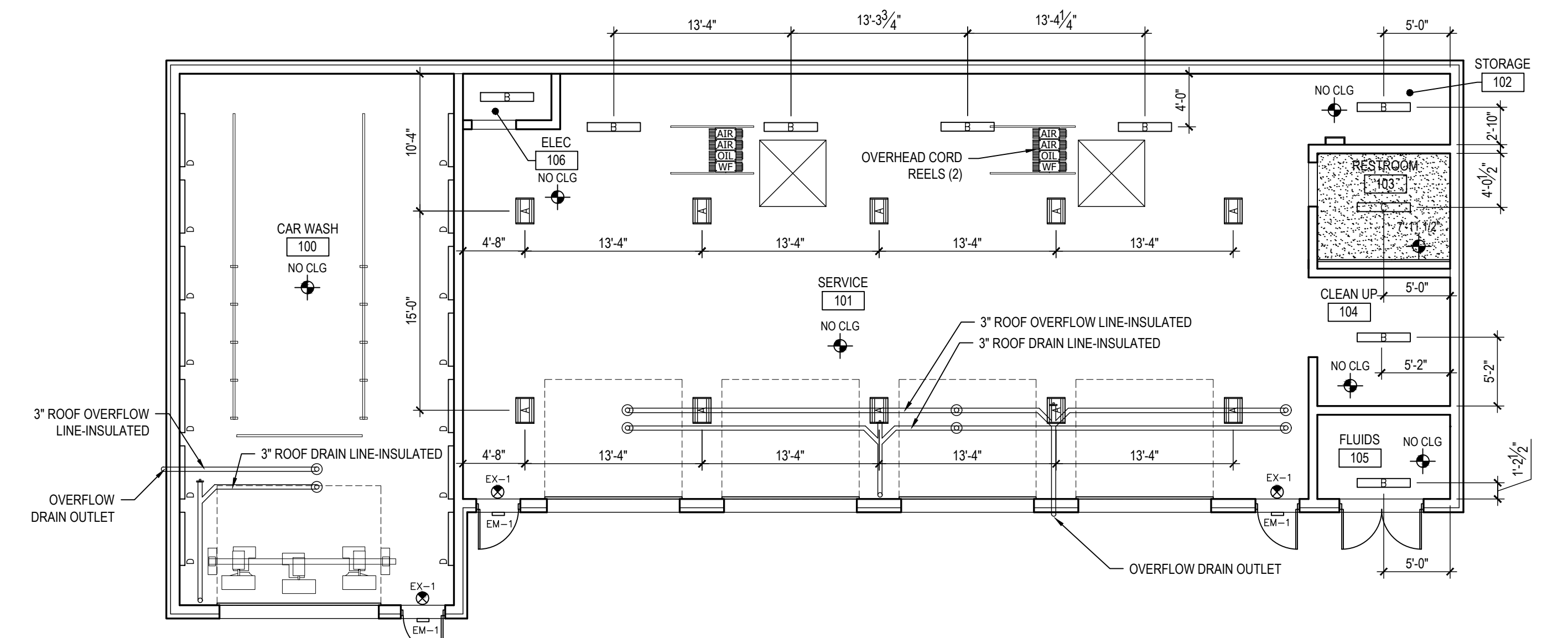
2 ROOF PLAN
SCALE: 1/8"=1'-0"



1 FLOOR PLAN
SCALE: 1/8"=1'-0"



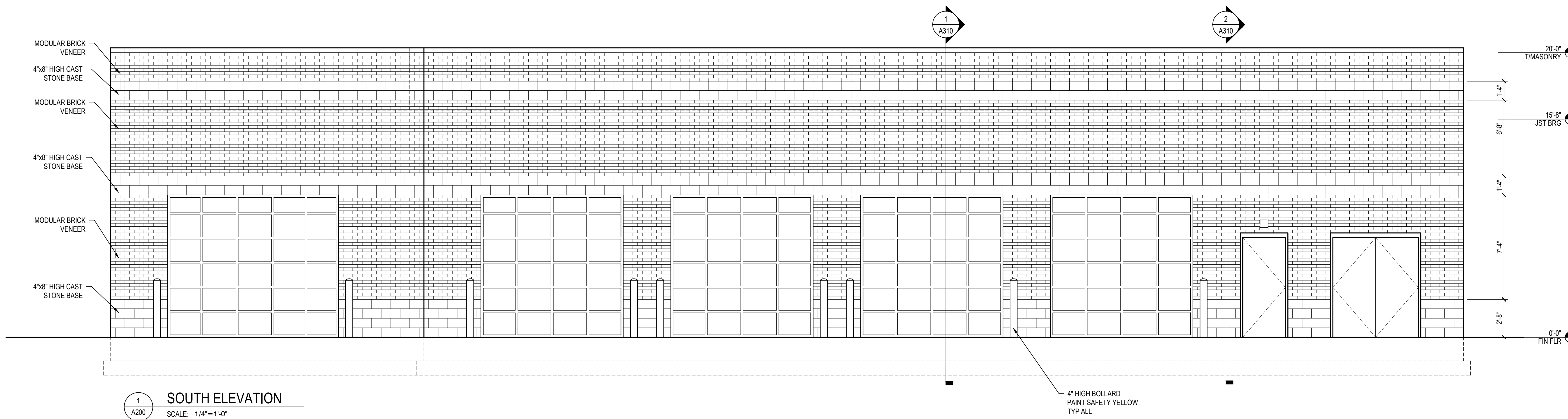
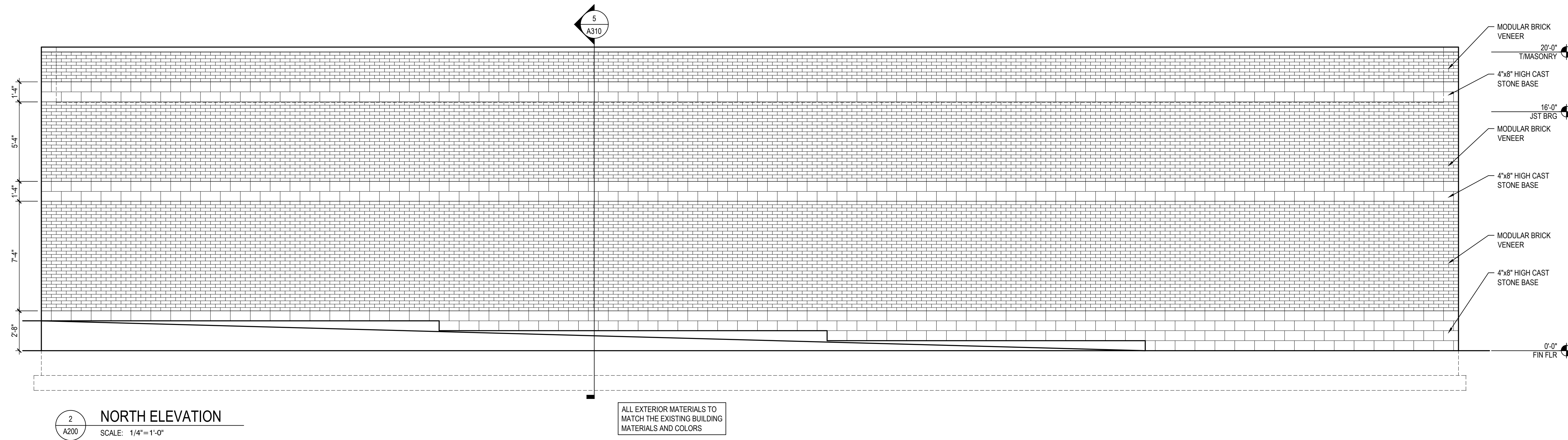
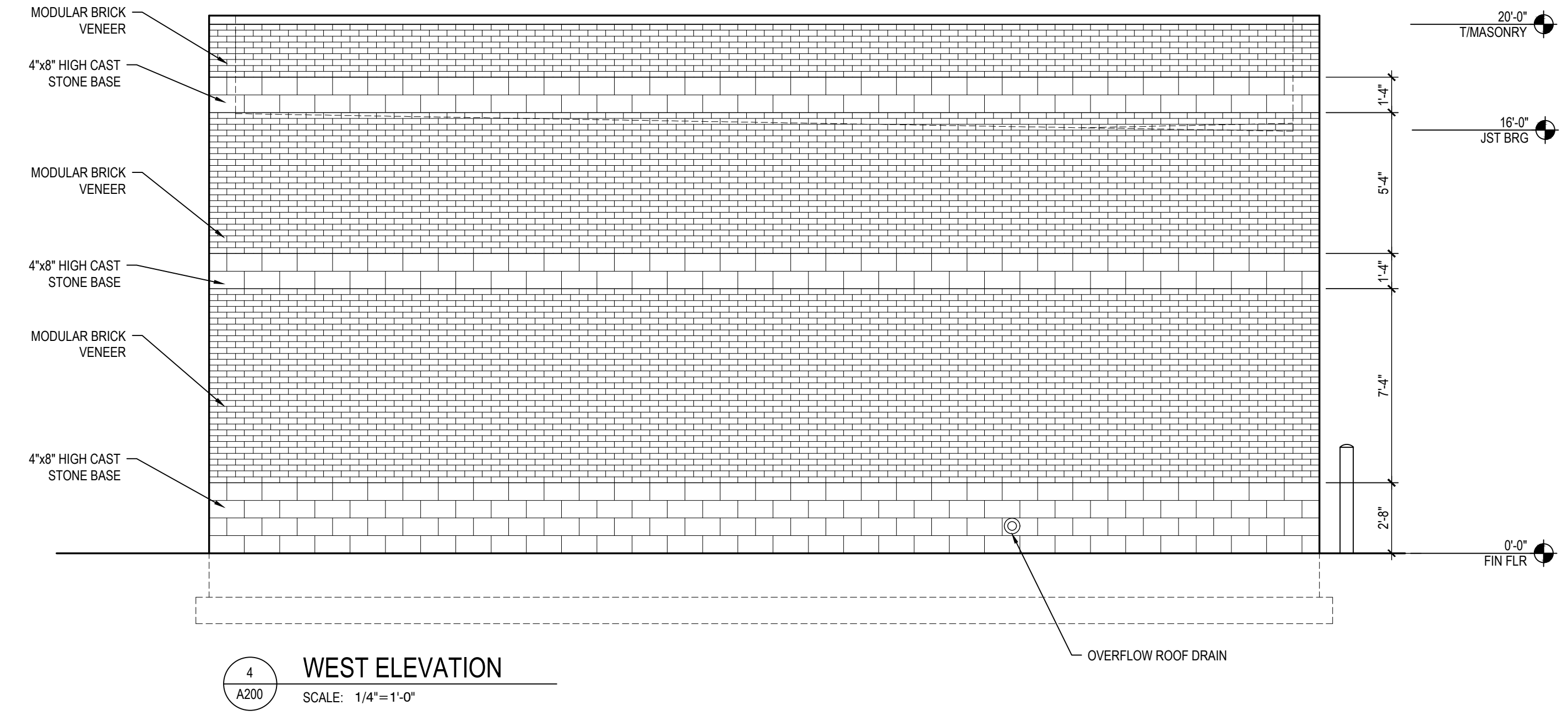
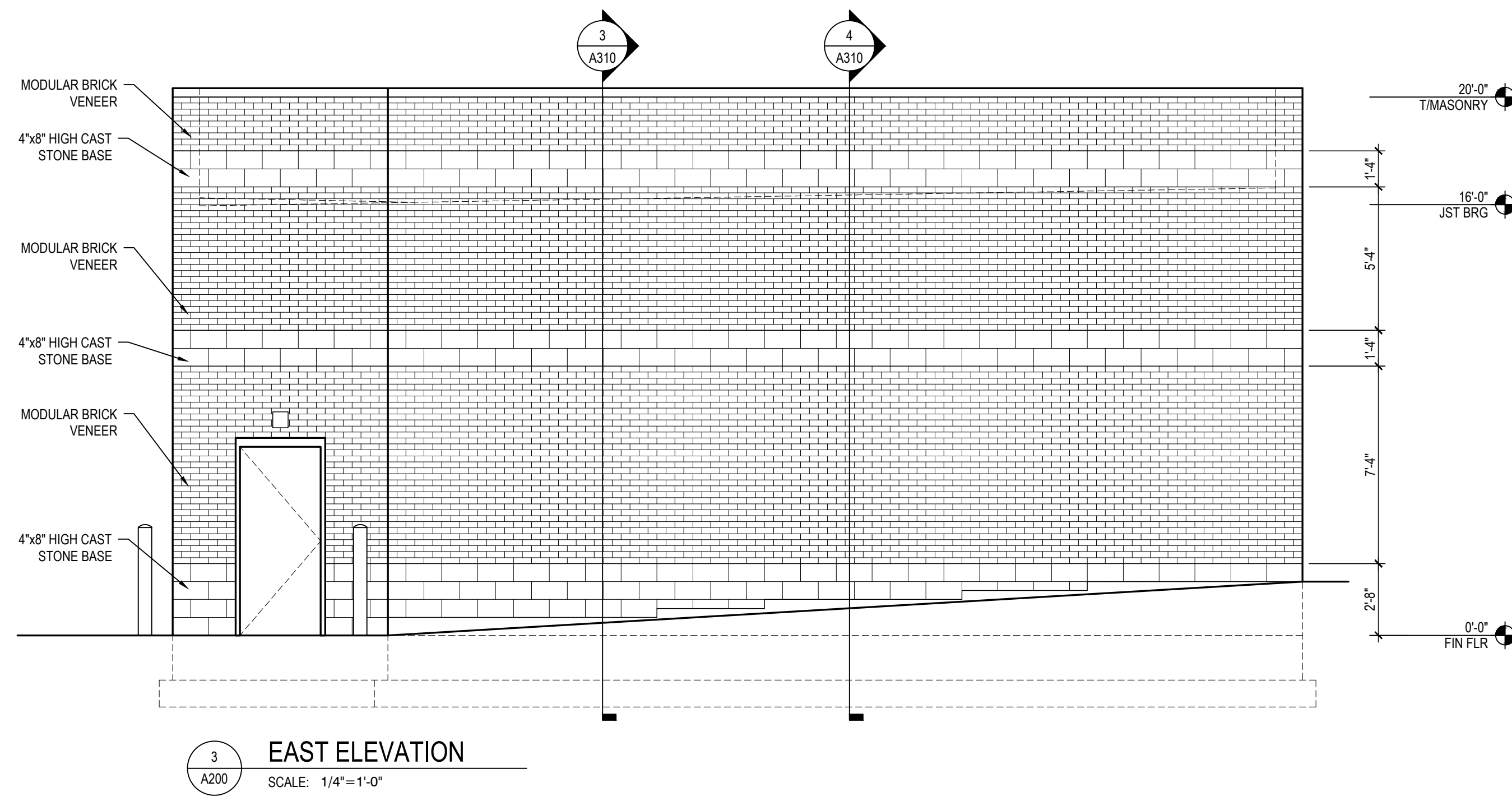
4 CONCRETE PLACEMENT PLAN
SCALE: 1/8"=1'-0"



3 REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"

MARK	MOUNTING	LOCATION	COLOR	MANUF	CATALOG #	WATTAGE	MOUNTING HEIGHT
A	SUSPENDED	101	WHITE	LSI	AU2 ZLEDHE 30L LL W UNV DIM 50MCH10EM1	230	15'-0"
B	SUSPENDED	101, 102, 104, 105, PLATFORM	WHITE	LSI	SDL4 LED SOL UNV DIM1 50 80-CRI	38.4	16'-0"
C	SURFACE	103	WHITE	LSI	DW LED SS CW UE EM1	44	CEILING
D	SURFACE	100		KURTZON	WL-SEG-740-ZLO-840-CP-UNV-LED	55	12'-0"
EM-1	SURFACE	SEE PLAN	BLACK	DUAL LITE HUBBELL	PBG-HTR	15.7	9'-0"
EX-1	SURFACE	SEE PLAN		EXIT LIGHT CO	EL-WETLED	1.9	8'-0"

NOTES
EM1 AS IDENTIFIED ON PLANS



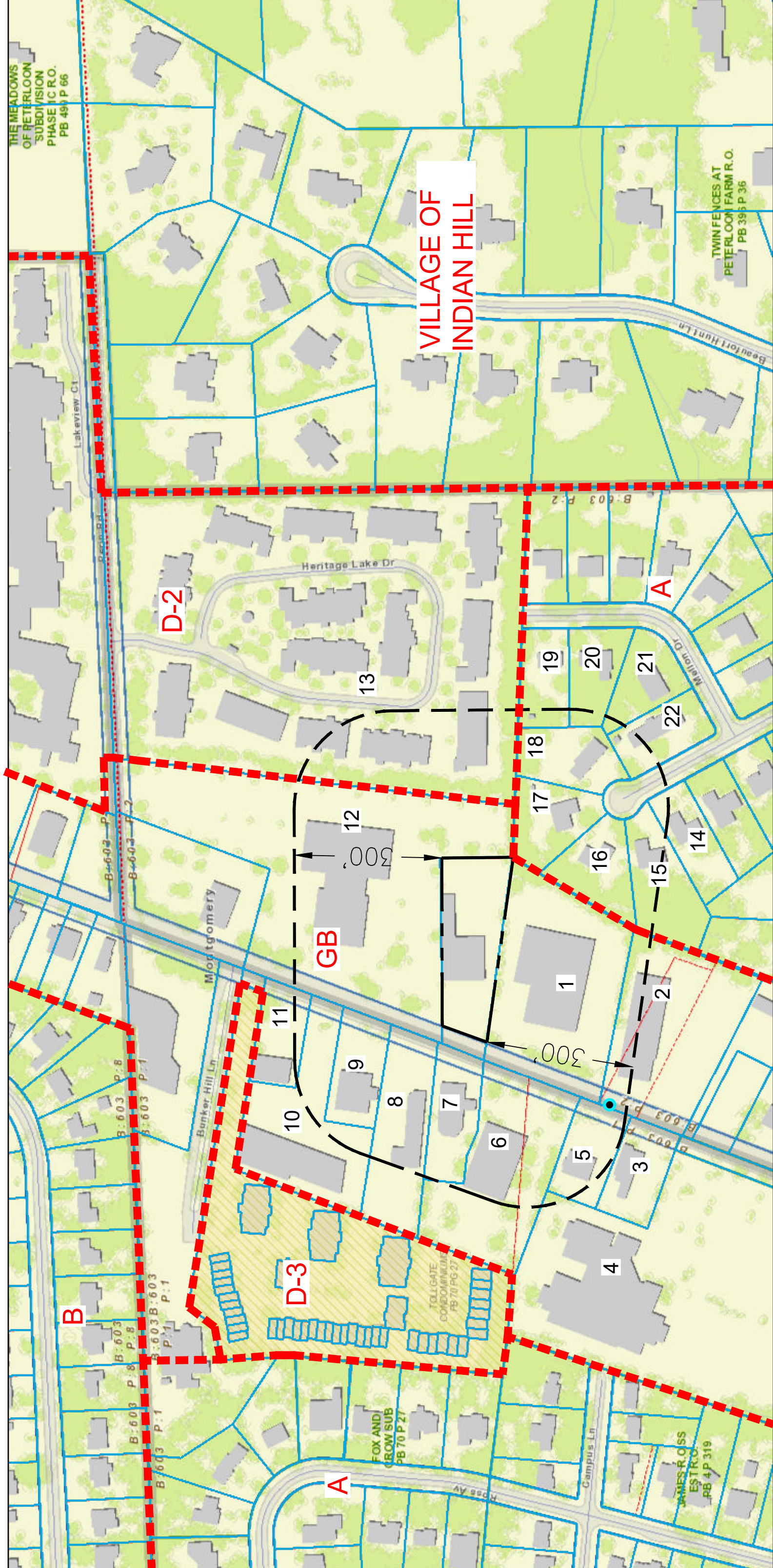
Emilio Thomas Fernandez
License #9009336
Expiration Date: 12/31/2023

ISSUED	DATE
OWNER REVIEW	02 / 15 / 2023
OWNER REVIEW	04 / 05 / 2023
ZONING APPEAL	05 / 25 / 2023
PLANNING COMMISSION	07 / 19 / 2023

SHEET TITLE
EXTERIOR ELEVATIONS

SCALE	COMM. NO.
SCALE	E-12072.00
DRAWN BY	DATE
DRAWN BY	DATE
SHEET #	A200

2023 elevation DESIGN GROUP



**VILLAGE OF
INDIAN HILL**

CITY OF MONTGOMERY ZONING DESIGNATIONS:

- A : RESIDENTIAL**
- B : RESIDENTIAL**
- D-2: RESIDENTIAL**
- D-3: RESIDENTIAL**
- GB: GENERAL BUSINESS**

Attachment– Adjoining Property Owners

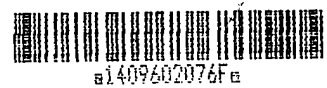
1. Parcel Number:6030002003900
Columbia Oldsmobile Company
250 E Fifth St.
Cincinnati, Ohio, 45202
2. Parcel Number: 6030002002700
Toll House Properties LLC.
9620 Montgomery Rd.
Cincinnati Ohio, 45242
3. Parcel Number: 6030001001500
L J Real Estate Associates LL
8160 corporate Park Dr.
Cincinnati, Ohio, 45242
4. Parcel Number: 6030001001100
Sycamore Local School District DB of Education
5959 Hagewa Dr.
Cincinnati Ohio, 45242
5. Parcel Number: 60300010014
Huntington National Bank
PO Box 182334
Columbus Ohio, 43218-2334
6. Parcel Number: 6030001001300
Montgomery Road Office LLC
2435 E North St.
Greenville SC, 29615
7. Parcel Number: 6030001000200
Pond Realty Company
250 E 5th St.
Cincinnati Ohio, 45202
8. Parcel Number: 6030001014000
KB Real Estate investments LLC
9715 Montgomery Rd.
Cincinnati Ohio, 45242
9. Parcel Number: 6030001021900
Heritage Bank Inc.
1818 Florence Pike
Burlington KY, 41005
10. Parcel Number: 6030001021800
Tollgate Center LLC
2929 Henshaw Ave.
Cincinnati Ohio, 45225
11. Parcel Number: 6030001013200
United Dairy Farmers Inc.
Attn: Real Estate Department
3955 Montgomery Rd.
Cincinnati Ohio, 45212
12. Parcel Number: 60300020000100
Columbia Oldsmobile
250 E 5th St
Cincinnati Ohio, 45202
13. Parcel Number: 6030002004200
Twin Lakes
5343 Hamilton Ave.
Cincinnati Ohio, 45224
14. Parcel Number: 6030002008600
Kimberly S. Rice
9527 Croton Dr.
Cincinnati Ohio, 45424-7347
15. Parcel Number: 6030002008700
Kevin D. Gaffney & Linda Batchler Gaffney
9529 Croton Dr.
Cincinnati Ohio 45242
16. Parcel Number: 6030002008800
Kevin & Anne Deters
9531 Croton Dr.
Cincinnati Ohio, 45242-7347
17. Parcel Number: 6030002008900
Richard M. & Debra N. Woolf
3818 Reemelin Rd.
Cincinnati Ohio, 45211
18. Parcel Number: 6030002009000
David F. & Lesley A. Quattrone
6901 Murray Ave.
Cincinnati Ohio, 45227
19. Parcel Number: 60300020094
Kathy M. Korte
8272 Mellon Dr.
Cincinnati Ohio, 45242-7303
20. Parcel Number: 6030002009300
Margolis Craig D. Co-TR & Julie
Shapero Margolis Co.
8270 Mellon Dr.
Cincinnati Ohio, 45242-7303
21. Parcel Number: 6030002009200
Jonathan C. Hartman
8264 Mellon Dr.
Cincinnati Ohio, 45242-7303
22. Parcel Number: 6030002009100
Nick Tino
4410 Carver Woods Dr.
Cincinnati Ohio, 45242

4

226395	2200000.00
20-500155	0.50
20-503008	5500.00
02/03/2020	2200.00
	8800.50

Norbert A. Nadel
Hamilton County Recorder's Office
Doc #: 2020-0011392 Type: DE
Filed: 02/03/20 11:33:50 AM \$50.00
Off.Rec.: 14096 02076 F F36 422

Convey number: 226395
Deed number: 20-500155
Instr. number: 20-503008
Transfer date: 02/03/2020
Sec. 19.02 R.C.
Sec. 22.02 R.C.
Dwight Rhoades
Hamilton County Auditor
Sales amount: 2200000.00
003 Transfer Fee 0.50
050 Permissive Fee 5500.00
2020 Conveyance Fee 2200.00
Fees total: 8800.50



GENERAL WARRANTY DEED,

KNOW ALL MEN BY THESE PRESENTS,

That, **STAR ONE HOLDINGS, INC.**, an Ohio corporation, whose mailing address is 3895 Woodridge Blvd., Fairfield, Ohio 45014 party of the first part, for good and valuable consideration to it in hand paid by **9722 MONTGOMERY ROAD, LLC**, an Ohio limited liability company, whose mailing address is c/o Joseph Management, 250 East Fifth Street, Suite 285, Cincinnati, Ohio 45202, party of the second part, does hereby BARGAIN, SELL, GRANT and CONVEY unto the said **9722 MONTGOMERY ROAD, LLC**, party of the second part, the real estate described on Exhibit A attached hereto and incorporated herein.

And all the estate, right, title and interest of the said party of the first part in and to said premises; to have and to hold the same, with all the privileges and appurtenances thereunto belonging, to said party of the second part, **9722 MONTGOMERY ROAD, LLC**, its successors and assigns forever.

And the said, **STAR ONE HOLDINGS, INC.**, party of the first part, its successors and assigns, does hereby covenant and agree with the said party of the second part, its successors and assigns, that it has not placed or suffered to be placed any presently existing liens or encumbrances on said premises and that it will warrant and defend the title to same against the

lawful claims of all persons whomsoever. This conveyance is also made expressly subject to the conditions, restrictions, reservations, and easements, if any, duly of record constituting constructive notice thereof and ad valorem taxes for the years 2020 and following.

{Remainder of page intentionally left blank; Signature and notary page follows}

IN WITNESS WHEREOF, STAR ONE HOLDINGS, INC., has caused this writing to be signed by its proper officer thereunto duly authorized, all as of the day and year set forth below.

STAR ONE HOLDINGS, INC., an Ohio corporation

By *Mark Meinhardt*
Mark Meinhardt, President

STATE OF OHIO,

COUNTY OF HAMILTON, TO-WIT:

The foregoing instrument was acknowledged before me this 31 day of January, 2020, by Mark Meinhardt, as President of STAR ONE HOLDINGS, INC., an Ohio corporation, on behalf of said corporation.

My commission expires _____.

Mary Shaw Nurre
Notary Public

{NOTARIAL SEAL}

This instrument was prepared WITHOUT EXAMINATION OF TITLE and based upon information supplied by the parties Christopher J. Plybon, Attorney at Law DINSMORE & SHOHL LLP 611 Third Avenue Huntington, WV 25722



MARY SHAW NURRE
Notary Public, State of Ohio
My Commission Expires 09-12-2024

Return to: MSA
Multi-State Title Agency
3300 Great American Tower
301 East Fourth St.
Cincinnati, Ohio 45202
(513) 651-6170

EXHIBIT A

Situated in Section 3, Township 4, Entire Range 1, Miami Purchase, Sycamore Township, Village of Montgomery, Hamilton County, Ohio, and more particularly described as follows:

From the intersection of the north line of the section and the center line of Montgomery Road measure South 19° 01' West six hundred ninety-five and 45/100 (695.45) feet along the center line of Montgomery Road to the place of beginning; thence North 87° 48' East three hundred seventy-six and 20/100 (376.20) feet along the south line of Dairy Farmers tract and said line produced to the west line of the Drive-in-Theatre tract; thence South 2° 12' East, one hundred forty-six and 30/100 (146.30) feet along said west line to the southwest corner of said Drive-In-Theatre tract; thence North 84° 15' West, four hundred fourteen and 85/100 (414.85) feet to the center line of Montgomery Road; thence North 19° 01' East, ninety-five and 98/100 (95.98) feet along the center line of Montgomery Road to the place of beginning. Subject to legal highways.

Parcel No: 603-0002-0033.00

Address of Property: 9722 Montgomery Road, Cincinnati, Ohio

LSOT: OR Book 9608, Page 49, Hamilton County, Ohio Recorder.

0108552.0724372 4815-5246-6099v3

DESCRIPTION ACCEPTABLE
HAMILTON COUNTY ENGINEER
Tax Map - 213/20 SL
CAGIS - _____

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**CITY OF MONTGOMERY
PLANNING COMMISSION REGULAR MEETING**

CITY HALL · 10101 MONTGOMERY ROAD · MONTGOMERY, OH 45242

July 17, 2023

<u>PRESENT</u>		
<u>GUESTS & RESIDENTS</u>		<u>STAFF</u>
Richard Arnold Vice President, Land Dev. MSP Design (McGill Smith Punshon) 3700 Park 42 Drive Suite 190B Sharonville, OH 45241	Brad & Jill Jones 118 Village Gate Lane 45249 Jane Kieninger 211 Legacy Lane, 45249	Kevin Chesar Community Development Director Karen Bouldin, Secretary <u>ALL COMMISSION MEMBERS</u> <u>PRESENT</u> Dennis Hirotsu, Chairman Barbara Steinebrey, Vice Chairman Vince Dong Peter Fossett Andy Juengling Alex Schneider Pat Stull
Michael Bauer 202 Legacy Lane, 45249	Bob & Anne Knodle 9 Vintage Walk, 45249	
LeeAnn Bissmeyer Vice Mayor Montgomery City Council	Alan Knox McNair Living 824 Bull Lea Run Suite 215 Lexington, KY 40511	
Dave Bimschleger 133 Village Gate Lane, 45249	Joan Kunkel 119 Candlewood Circle, 45249	
Dick Brown 131 Village Gate Lane, 45249 Veronica Busso 202 Legacy Lane, 45249	Randy Merrill Executive Vice President MSP Design (McGill Smith Punshon) 3700 Park 42 Drive Suite 190B Sharonville, OH 45241	
Bill & Celia Carrol 142 Village Gate Lane, 45249	Gerald & Linda Peter 211 Legacy Lane, 45249	

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GUESTS & RESIDENTS	
Robert Ceitel 220 Vintage Club Drive Unit 220, 45249	Joe Schlosser 45 Traditions Turn, 45249
David & Kay Clark 220 Vintage Club Way, 45249	John Schumacher 146 Village Gate Lane, 45249
Adam Cristo 113 Candlewood Circle, 45249	Martin Simon 230 Vintage Club Drive Unit 104, 45249
Susan & Richard Dineen 212 Legacy Lane, 45249	Todd & Carla Steinbrink 209 Legacy Lane, 45249
Ellen Essig 129 Village Gate Lane, 45249	Juanita Sullivan 110 Courtyard Crossing 45249
Maya & Jeff Goldenberg 23 Vintage Walk, 45249	Paul Trezn 109 Candlewood Circle 45249
Ryan Haller Managing Principal McNair Living 824 Bull Lea Run Suite 215 Lexington, KY 40511	Iris Werthaiser 220 Vintage Club Drive #303, 45249
Doug Hinger Traditions VC Developer LLC 4000 Executive Park Drive Cincinnati, OH 45241	Rob Wolf McNair Living 824 Bull Lea Run Suite 215 Lexington, KY 40511
Jon Homer Director of Business Development Life Enriching Communities (LEC) Twin Lakes 6279 Tri-Ridge Blvd., Ste 320 Loveland, OH 45140	Peggy Yang 220 Vintage Club Drive #204, 45249
Tom Hume President & Founder Traditions VC Developer LLC 4000 Executive Park Drive Cincinnati, OH 45241	Scott Humes Vice President of Development Traditions VC Developer LLC 4000 Executive Park Drive Cincinnati, OH 45241

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10 **Call to Order**

11 Chairman Hirotsu called the meeting to order at 7:00 p.m. He reminded all guests and residents
12 to sign in, and to please turn off all cell phones. He welcomed Mr. Schneider to his first meeting
13 as a member of the Planning Commission.

14
15 **Roll Call**

16
17 *The roll was called and showed the following response/attendance:*

18
19 *PRESENT: Mr. Stull, Mr. Fossett, Mr. Juengling, Ms. Steinebrey, Mr. Schneider,*
20 *Mr. Dong, Chairman Hirotsu* (7)

21 *ABSENT:* (0)

22
23 *All members were present.*

24
25 **Guests and Residents**

26 Chairman Hirotsu asked if there were any guests or residents who wished to speak about items
27 that were not on the agenda.

28
29 **Jane Kieninger, 211 Legacy Lane, Montgomery, OH 45249** asked about a previous
30 application for Christ Hospital. She asked if the City was planning to put a sidewalk in, from her
31 neighborhood up to Harper's Point / Kroger. Mr. Chesar stated that he would respond to her,
32 once he was able to determine whose responsibility it was, if it was the City of Montgomery or
33 Symmes Township.

34
35 Chairman Hirotsu explained the process for this evening's meeting to all guests and residents:
36 "Mr. Chesar reviews his Staff Report and the Commission asks any questions they might have.
37 The applicant presents their application and the Commission then asks any questions. The floor
38 is opened to all residents for comments. If a resident agrees with a comment that was previously
39 stated, they could simply concur, instead of restating the entire comment to save time. The
40 Commission discusses the application and residents are not permitted to comment or question
41 during this discussion. The Commission will then decide to table, approve or deny the
42 application.

43
44 **Old Business**

45 There was no old business to report.

46
47 **New Business**

48 *An application from McNair Living, LLC for a Planned Unit Development (PUD) Overlay*
49 *Modification and General Development Plan approval regarding a proposed 144-unit*
50 *independent living community facility on approximately 4.5 acres within the Vintage Club*
51 *Planned Unit Development, located south of Vintage Club Boulevard, directly east of the*
52 *Christ Hospital Outpatient Center.*

53
54

Planning Commission Meeting

July 17, 2023

Staff Report

55 Mr. Chesar reviewed the Staff Report dated July 19, 2023 (corrected, as July 17, 2023),
56 “Application for General Development Plan and Modification of the Vintage Club Planned List
57 of Conditions and Exceptions.” Mr. Chesar stated that he could read through the 9 pages of
58 multiple changes that have occurred, if anyone preferred; otherwise he would note that there
59 have been multiple changes since 2006, and would highlight the major points.
60

61
62 He showed drawings on the wide screen for all to see, to provide more understanding of the Staff
63 Report.
64

65 Mr. Chesar noted that the intent was to clean up the zoning, as recommended by staff, because it
66 is a mixed zoning district within one parcel, with LB (Limited Business) as well as D3 (Multi-
67 Family Residential).
68

69 Regarding the 144 total units, Mr. Chesar stated that he had a conversation with the Law Director
70 about the appropriate zoning and the density. Mr. Chesar pointed out that the Zoning Code does
71 not designate a maximum density for this type of unique use, so this application is proposed for a
72 maximum density of 144 units.
73

74 Mr. Chesar indicated that he had received one letter that was in support of this application; they
75 had concerns with the operation of the current roundabout at the end of Vintage Club Boulevard.
76 He stated if this project did proceed, the City welcomes any conversation on how to improve
77 the roundabout function if necessary.
78

79 Mr. Chesar also received two other inquiries regarding this application – one asked for a copy of
80 the plans, and there was a visitor who came in and spoke about the plans.
81

82 He asked for any questions from the Board.
83

84 Mr. Juengling asked if we were looking at changing the entire D3 area to be changed to LB.
85 He noticed that on the plat, some areas looked like they were still listed as D3.
86

87 Mr. Chesar stated that because there are multiple ownership within the area with a few other
88 parcels were still listed as D3, and would be cleaned up at a later time. He showed all on the
89 wide screen the area proposed for change.
90

91 Mr. Dong asked about the update on the PUD text changes. He asked if those were only for
92 Building L in this development, or if they were for the entire development. Mr. Chesar stated
93 that most of the changes were focused for this specific development and what would impact the
94 LB area.
95

96 Mr. Dong felt it would be good if it was just for this area, and not for the entire development.
97 He would not like the setbacks and elevation to affect the remaining development. Mr. Chesar
98 stated that it is not how it is written; it is just under the LB section.
99

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100 Mr. Dong wanted to be clear that the changes permitted for Building L would not be allowed in
101 other areas of the development. Mr. Chesar stated that we did have the Law Director review this,
102 as well as Staff, and it should not impact any other areas other than this section of LB especially
103 as it relates to the a modification only of this area for the General Development Plan.

104
105 Mr. Stull asked if we were making these changes specifically so that they can build this building.
106 Mr. Chesar stated that if you looked at the most recent 2016 General Development Plan, it was
107 showing those regulations; so when the new building comes in, we are trying to adjust the LB
108 regulations to make sure it is applicable, and meets the setbacks for this building on this site.

109
110 Mr. Stull felt that this was a bit backwards; that we have the rules, but now we are changing the
111 rules so the building will fit. Mr. Dong agreed. Mr. Chesar stated that there have been several
112 changes over the years, so you don't know what your final development is going to be. This is
113 very typical for larger developments. When this originally came in, it wasn't just one single
114 building on a single parcel. There was a plan put in place, and that plan has changed multiple
115 times over the years. And while you can say that it is in response to this building, it is more to
116 ensure that the original intent of the development is still being met, from the perspective of open
117 space, setbacks and adjusting to the changes over the years.

118
119 Mr. Stull was not involved in the original plan, but he thought it was originally a single-family
120 residence community. This is different than it was originally laid out; these are apartments.

121
122 Chairman Hirotsu confirmed, and stated that the question is, do we approve of this, as a
123 Commission, and if so, then we have to change the zoning.

124
125 Mr. Dong stated that with the Christ Hospital application, we didn't change the zoning height
126 requirements; they got a variance for the high peak, and we did not change the text. Mr. Dong
127 asked why the different strategy for this.

128
129 Chairman Hirotsu asked if LB and D3 are fundamentally different, and that is why we have to do
130 this. For Christ Hospital, we didn't have to change the underlying zoning. Mr. Dong stated that
131 this is a PUD, so really, the underlying doesn't affect the PUD, unless you went back and
132 removed the PUD; which he didn't think would happen.

133
134 The guests asked for the Commissioners to speak louder, they were having difficulty hearing the
135 discussions.

136
137 There was much discussion on the need for text change versus requesting a variance.
138 Mr. Dong preferred having established standards, to keep it more lockset, because that is what
139 we agreed on. He felt that we kept changing this development.

140
141 Mr. Stull stated that he would be concerned if he had purchased a home there. He felt that the
142 residents who lived close would not be happy to see the rules changed, because it would impact
143 them quite a bit. He was not in favor of changing the rules to make the building fit. He felt that
144 we should think really hard about this.

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145
146 Chairman Hirotsu suggested that we pick this topic up later.

147
148 There were no more questions from the Commission.

149
150 Chairman Hirotsu asked if the applicant wished to speak.

151
152 **Tom Hume, President & Founder, Traditions VC Developer LLC, 4000 Executive Park**
153 **Drive, Cincinnati, OH 45241** stated that they were very excited to present this project.
154 They feel it is a wonderful blend to meet the needs of the marketplace and the needs of a great
155 community; and to make sure that this community is completed in a high-quality manner,
156 consistent with the original thinking behind the community. This would allow the Vintage Club
157 a wide variety of opportunities to live.

158
159 Mr. Humes introduced McNair Living and their Bespoke project. He stated that Traditions has
160 investigated and evaluated McNair, and found them to be a high quality player that does things
161 right. He has found this to be true, with their conversations and commitments regarding design
162 and collaboration with the community. Mr. Humes was enthusiastic that they were here.

163
164 **Ryan Haller, Managing Principal, McNair Living, 824 Bull Lea Run, Suite 215, Lexington,**
165 **KY 40511** stated that they created McNair Living as part of a larger organization of Houston,
166 Texas who are very adamant about being impact investors, not merchant builders. He stated that
167 he and his partner, Les Stretch, founded this organization to focus specifically on the baby
168 boomers. He stated that they built an algorithm, which led them to Montgomery because there
169 are an inordinate amount of people aging (75+), and through a third-party market study, they
170 found that there is a massive shortage --over 1000 units short -- for independent living to address
171 the next five years of the need for people over the age of 65.

172
173 In addition, they are finding that the higher clientele are staying home because they don't like the
174 product that is out there now. He stated that the Bespoke brand addresses the income
175 qualifications that we see here in this market. He stated that Montgomery's median net worth of
176 someone over the age of 65 is over \$800,000. The national average is \$224,000.

177
178 Mr. Haller stated that the option today is to enter into a very pricey continuing-care retirement
179 community with a \$500,000 to \$800,000 buy-in fee. He stated that Bespoke offers the
180 opportunity of "no care" in their market. This is a new concept in the market, and to Ohio.
181 He introduced his team:

182
183 **Alan Knox is one of Principals at Reach Architects**, a designing firm that works with McNair
184 Living in multiple states.

185
186 **Rob Wolf is Director of Construction Management with McNair Living.**

187
188 **Randy Merrill, MSP Design (McGill Smith Punshon), 3700 Park 42 Drive, Suite 190B,**
189 **Sharonville, OH 45241** is the Executive Vice President.

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190
191 **Richard Arnold, Vice President, Land Development MSP Design (McGill Smith Punshon),**
192 **3700 Park 42 Drive, Suite 190B, Sharonville, OH 45241** stated that they are also serving as the
193 Civil Engineer on the project.

194
195 Mr. Haller stated that McNair put on a series of three pre-meetings within the Vintage Club, and
196 have met with the CEO of Christ Hospital.

197
198 Mr. Haller asked for any questions.

199
200 Mr. Fossett asked for clarification on the parking analysis, as he found it confusing as to how
201 they came to the conclusion that the parking was adequate for peak use, and more than adequate
202 for other times.

203
204 Mr. Merrill stated that in 2016 they did the same exact thing for the North Parcel. Staff at the
205 time, asked him to look at ULI (Urban Land Institute) standards for shared parking. He stated
206 that ULI has done studies for years, across multiple regions. He referred to his spreadsheet dated
207 June 29, 2023 (which all Commission members had received in their packets), and explained that
208 each use had a category: retail, restaurant, etc.) Each one of these had a ranking, based on ULI
209 standards. It also showed weekday and weekend.

210
211 He stated that for these uses, the peak month is December, and each one of the uses has different
212 peak demands throughout the day. So, you would look at how each one of these categories use
213 their facility / how people come to their facility. It is not comparable to a zoning rule that says
214 so many spaces for so much building space, because it doesn't get used that way.

215
216 Mr. Merrill stated that the intention was to not overpark, and have people park appropriately.
217 If you look at this analysis, the peak time for this particular community is between 1pm and 3pm
218 There is a peak month adjustment and a peak hour adjustment and you have the total number of
219 spaces, based on those two categories.

220
221 Each use, whether it be visitor or employee, ULI identifies the criteria for each one. If your uses
222 change, then you would want to update this chart. He has done that, and obtained the current
223 ULI standards and updated the criteria based on that information.

224
225 Chairman Hirotsu asked if this analysis related to the total Vintage Club. Mr. Merrill stated that
226 it referred to all of the pieces in the Vintage Club, not just the senior living section or the
227 residential, but the entire area.

228
229 Mr. Merrill then explained Captive Use, an important factor. Captive use describes residents that
230 can walk to the facilities. Sometimes people are 10% captive use. Mr. Merrill felt that might be
231 a little bit high for this, so he used the 5% - 7% range. Based on the percentage of Captive Use,
232 this reduces your parking needs. As you look at the middle level of the graph which shows
233 Captive Use at 5%, the peak demand of parking shows 9 spaces that you do not need, from 1pm
234 to 2pm. And from 2pm to 4pm, you have an excess of 24 spaces.

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235

236 Mr. Dong was concerned with the assumptions. He understood that there would be 144 units for
237 the senior living, but noted that there were only 44 parking spaces for them. Mr. Haller stated
238 that only 30% of the residents will have parking needs. Mr. Dong asked how many parking
239 spaces were available for the residents. Mr. Merrill stated that there were 150 spaces in the
240 Bespoke.

241

242 Mr. Haller stated that this same building was approved and is currently being built in Carmel,
243 Indiana. There are 150 parking spaces for 144 units. He stated that some of the spaces were
244 dedicated to residents, and the remaining ones were for any type of ancillary use through a
245 restaurant. Mr. Haller stated that, based on his 17 years of building for independent living, they
246 charge for the parking spaces; they are not free. So what often happens is that the residents
247 become accustomed to using the bus or the town cars that are available to them.

248

249 Mr. Dong asked how many parking spaces they would dedicate for the 144 units, that the public
250 would not use. Mr. Haller stated that they will have 128 spaces for the residents. Mr. Dong
251 asked if these would be all underground. Mr. Haller stated that there were 72 parking spots
252 underground, 100% for the residents, and the rest would be above ground.

253

254 Mr. Haller stated that many times with a retirement community, many of the staff are connected
255 to providing the healthcare, and we have no healthcare here. A typical retirement community of
256 250 units has about 100 employees; we have only 40, and at least half of them arrive by mass
257 transit. This leaves many of the additional parking spaces open for children visiting their
258 parents.

259

260 Mr. Dong stated that there would only be 22 parking spaces in this area for the public.

261 Mr. Haller stated that the staff come and go on their shifts, so it would not be 40 spaces taken all
262 at one time; only 20.

263

264 Mr. Haller stated that underground parking costs developers \$42,000 per space. This parking is
265 not permitted for employees.

266

267 Mr. Dong asked about shared parking, noting that there was also a restaurant in this facility
268 (3,000 square feet). Mr. Merrill explained that the dining facility was primarily for the residents.
269 He stated that 15% of the net capacity would be assigned to parking spots outside of the facility.

270

271 Chairman Hirotsu stated that the Commission was trying to clarify what is going on at this
272 facility. For the 144 units, 72 parking spaces were underground, all assigned and paid for by the
273 residents. And then there were another 72 on the surface lot and there were 6 for visitors. This
274 totals 150. Mr. Haller confirmed.

275

276 Chairman Hirotsu asked if the 72 parking spaces above ground could be purchased by the
277 residents. Mr. Haller stated that they could not. They do not charge for surface parking because
278 they recognize that only about 50% of their residents actually drive.

279

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280 Chairman Hirotsu recalled from the last meeting with Mr. Stretch, that residents were only
281 permitted to have 1 car, and he asked Mr. Haller if that was correct. Mr. Haller stated that they
282 do not mandate 1 car per unit, but with operating senior living in 43 states, he has never had / he
283 did not remember a situation with multiple cars, because of the cost restraint. From a cost
284 perspective, it was not cost effective, when you have vans and busses and town cars for free
285 transport.

286
287 Chairman Hirotsu wanted to clarify from the last meeting, where it was stated that 85% to 90%
288 of the residents lived alone in their unit, and only 10% to 15% would have 2 occupants.
289 He noted that those numbers come from the Senior Housing Association. Mr. Haller stated that
290 when people come in, they do entrance surveys/exams, and over 75% nationally, say that the
291 only reason they moved in was because of loneliness. They typically lose a spouse, don't require
292 healthcare, and so they decide to move to independent living.

293
294 Mr. Dong stated that in the pictures you show restaurants, coffee shops and ice cream shops all
295 across the first floor. He asked for that square footage that was open to the public.

296
297 Mr. Knox stated that the vast majority of senior living buildings that exist in the country have all
298 of the programs that we are talking about – dining facilities, coffee shops, libraries, ice cream
299 shops. And most of those places, anyone can go to. But most of them don't receive any visitors
300 because of where they are, and how they are designed. He pointed out that they were trying to
301 provide those same amenities in these facilities, but position them in such a way that they invite
302 an inter-generational experience; the same thing that is happening with Twin Lakes and their
303 nearby restaurants.

304
305 Mr. Dong asked what the percentage of the public attendance was in the other developments they
306 had, for the restaurants, coffee shops, etc.

307
308 Mr. Merrill stated that it was about 15% of the use of the restaurant from the outside. Mr. Dong
309 noted that it would mean they had allotted the use of 9 public parking spaces for this area.
310 Mr. Merrill confirmed, noting that it was not the number of people, it was the number of cars.

311
312 Mr. Merrill stated that even though there was 3000 square feet of dining product, not all of it was
313 fully open to everyone from the outside, so 15% is what they considered to be a very reasonable
314 anticipated number, and how many parking spaces that 15% needed, was 9.

315
316 Mr. Dong asked what would happen if they get 20%? Mr. Merrill stated that there were other
317 parking spaces on this site that would be available.

318
319 Mr. Haller stated that they were asked by the Vintage Club community if they could make it
320 available to the public, noting that most people of the Vintage Club could walk to the restaurant.
321 Mr. Dong pointed out that at the last meeting, Mr. Stretch emphasized that the public would love
322 this area, and it would be an interaction between the older and younger generation. This is why
323 Mr. Dong was concerned about the public parking spaces.

324

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325 Mr. Haller agreed with the interaction of generations. He stated that he lived in a similar
326 community in Lexington, Kentucky, where he walks to the restaurant. Mr. Dong felt that even
327 people outside of the Vintage Club will be frequenting these eateries. Mr. Haller stated that they
328 do not believe that that this will be a large scale restaurant that will have large marquee signage,
329 and be on Open Table.

330
331 Ms. Steinebrey stated that, being a retiree, she and her husband have 2 cars, they would not
332 survive with one car. If you are charging for parking beneath the senior building, what happens
333 if they decide to park in the underground garage beneath Christ Hospital, for free?

334 Mr. Haller stated that would be something that Christ Hospital would need to work through.
335 She was very concerned with the parking, and read the study, but she did not believe the
336 numbers of the parking study.

337
338 Mr. Haller stated that they wanted to work with the Planning Commission to find solutions.
339 He noted that they had met with the CEO of Christ Hospital, who in return, was very eager to
340 work toward a solution of the issues you bring forward. Mr. Haller stated that they would be
341 happy to do that.

342
343 Mr. Haller stated that this had been open land, and was intended to be developed, so regardless if
344 it is a senior development complex or restaurant, these same issues that you raise, which are very
345 valid, will be brought up, regardless. The developer will need to work with Planning
346 Commission to solve these issues.

347
348 Mr. Fossett referred to the MSP parking analysis. Near the top, it said: “Combined Parking for
349 All, All Parcels will be 771 Parking Spaces”. Yet, on the second page, third paragraph, it stated
350 that using shared parking principles, the peak time parking need was 802 spaces. The next
351 sentence said, this is 33 spaces more than we are planning to provide on the parcels.

352
353 Mr. Merrill stated that it did not include the Captive Analysis – and this lowers the number.
354 An important factor is that the dining facility for this particular building doesn’t really have a
355 peak time from 1pm to 2pm. This relieves some of the peak demand from that time.
356 The expectation for this use will be heavier in the 4pm to 7pm range.

357
358 Mr. Dong asked if the hospital went to a 24/7day, would it impact the parking? Mr. Merrill
359 stated that it would not, because they have allotted their criteria for parking; it was included in
360 everything they have done. Mr. Dong asked if they assumed they were 24/7? Mr. Merrill stated
361 that they did not assume it was 24/7. But, for most medical facilities, by 5pm, they are pretty
362 much empty. You can see in this analysis, that by 7pm, there are 300 – 400 parking spaces
363 available in the overall commercial area. It is not specific for one specific use, it is to be
364 shared between all uses. Mr. Dong asked again if the hospital went to a 24/7day, would it impact
365 the parking? Mr. Merrill stated no.

366
367 Mr. Juengling asked if McNair has been communicating with the owners of the other uses on this
368 site, besides Christ Hospital. He asked if there was any type of understanding or Letter of
369 Agreement.

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370

371 Mr. Merrill stated that, because it was all connected, each of those building have cross access in
372 parking resources. So that, when the bank or Building C gets filled up, they all have access to
373 other parking. No one can really have a reserved parking space.

374

375 Mr. Juengling referred to items in the Commission's packets: the letters that were submitted and
376 the overall Exhibit D, which is the red-lined version. He stated that there was another letter
377 stating that south of Vintage Club Drive, the next building had to be 65 feet, or 5 stories high.
378 The PUD language said it was revised to be 57 feet high, maximum. He asked which one will it
379 be?

380

381 Mr. Knox stated that at the time they made that (letter) response, they understood that the height
382 was calculated from the average height of every single facade. As you view around the building,
383 you can see that there is a substantial slope to the site. From the most recent conversations we
384 had last Friday, it was determined that the height would be measured from Vintage Club
385 Boulevard, and so he believed they would be able to reduce those numbers. When you calculate
386 the height just off of Vintage Club Boulevard and you don't start measuring from the apartment
387 building that is closest to the south edge of the creek, then the average height or overall height
388 comes down.

389

390 Mr. Juengling clarified that the 57 foot height in the red-lined PUD version was the number that
391 we would be reviewing. Mr. Knox confirmed.

392

393 Mr. Juengling asked about the setback being a maximum of 30 feet from Vintage Club
394 Boulevard. There was a plan that showed the setback from the main structure, not necessarily
395 the projection, and it was 39.61 feet. He wanted to confirm that the number was 30 feet.

396 Mr. Knox stated that the setback was a maximum setback, and they will fall within that range of
397 0 to 30 feet.

398

399 Mr. Dong asked about elevations, noting that one of the requests at the Planning Commission
400 meeting last month was to have renderings of the elevations, to help them understand the heights.
401 He asked if there were any tonight. He was thinking the building heights would be pretty
402 blocked from Montgomery, but he was unsure.

403

404 Mr. Knox stated that they had two conceptual sketches, but they have not gotten that far in the
405 process at this time to develop the full building elevations. Right now, they were working with
406 the floor heights, to lock in continuity of what that number would be. Mr. Dong pointed out that
407 it was hard to increase elevation when you did not know what it would look like. He stated that
408 they knew what the elevation would look like and that is why they originally chose 50 feet; he
409 was not sure what 7 additional feet would look like, and the impact on the Vintage Club
410 residents. Mr. Knox understood, and went in search of the two sketches.

411

412 Chairman Hirotsu stated that the reason they asked for this, was because it made it easier when
413 you could see the impact of the elevation from the surrounding buildings; then you can see
414 clearly what it will look like. It is very hard to approve elevation without that.

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415
416 Mr. Juengling stated that for him, it was more of the building massing – what did that overall
417 block look like. He did not mean the materials, but just the appearance of the block. He noted
418 that it would be helpful to show it from the perspective of residents that would be seeing this.
419
420 Mr. Chesar showed all the renderings that were provided, and Mr. Knox spoke to them, on the
421 wide screen.
422
423 Mr. Knox noted on one rendering that it did not show the full 57 foot height at the street because
424 they pulled the 4th floor back, for the penthouse units, for outdoor terraces, in order for the mass
425 to relate closer to the buildings that were across the street.
426
427 Mr. Dong asked if he knew the heights of the homes on the other side. Mr. Knox showed a 3
428 story building (to be built), which generally ranges from 42 to 47 feet, with certain sections to 52
429 feet in height.
430
431 Mr. Fossett looked at another rendering and stated that the proposed structure seemed to dwarf
432 the Clubhouse. Mr. Knox confirmed, noting that the Clubhouse was only 1 story. Mr. Fossett
433 wondered if the homes behind the Clubhouse were more of the scale of the Clubhouse or
434 smaller.
435
436 Chairman Hirotsu stated that the Commission really needed to see the elevations, from different
437 perspectives.
438
439 Chairman Hirotsu asked if there were any more questions from the Board. There were none.
440
441 Chairman Hirotsu asked if any guests or residents had questions / comments. He asked that they
442 keep their comments to a maximum of three minutes. If you want to say the same thing that
443 someone else has said, you can simply say that you agree with that person.
444
445 **Veronica Busso, 202 Legacy Lane, Montgomery, OH 45249** applauded the McNair concept
446 and thought the cross-generational concept was a wonderful idea. She was saddened that they did
447 not fully commit to this. She stated that it was extremely disappointing that when you purchased
448 a home in this community, what was on the plan was a low occupancy area. And now we are
449 looking at 144 units. She asked what the maximum occupancy of the building was, and if their
450 staffing would change to accommodate that. And if that changed, where would they park.
451
452 Ms. Busso stated that she has 2 small children and they were up and down the street all of the
453 time, riding bikes, playing, and walking dogs, as were many of the other neighbors. She lived
454 across from the community Clubhouse. She was very concerned about increase in traffic and the
455 safety of her children, with buses and vans coming into the roundabout, especially because her
456 home was directly across the street from this proposed facility. She believed she would be
457 deeply impacted by an increase in traffic and the safety of her children. She was opposed to this
458 concept, and felt there would need to be a lot of changes in order to accomplish this project.
459

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460 **Maya Goldenberg, 23 Vintage Walk, Montgomery, OH 45249** stated that she has been a
461 Montgomery resident her entire life, and was opposed to this application. Her main idea was that
462 she did not want any more retirement communities in the City of Montgomery, but she would
463 rather that the City use this opportunity to make a statement about what they want Montgomery
464 to become. She urged the Planning Commission (PC) to reject this application proposed by
465 McNair Living. In her opinion, she felt that the PC must consider who would benefit from this
466 development and its approval. Certainly, this development would benefit the developers.
467 McNair Living was targeting high-income buyers, people who previously owned homes ranging
468 from \$1 to \$2 million. In doing so, the developers reap maximum benefits. Such a plan appears
469 enticing to developers, as Twin Lakes has already developed 3 Montgomery campuses, and
470 independent living villas, starting at \$4700/month; not to mention that Twin Lakes has another
471 luxury villa campus on the way. In addition to its developers, this application would benefit only
472 a very select segment of elderly individuals, specifically the wealthy members of Montgomery's
473 elderly population. Considering the fact that there were already 17 retirement homes within a 5
474 mile radius of the Vintage Club, she felt that Montgomery had other work to do, to take care of
475 its community. In other words, there are additional goals that Montgomery has set to
476 accomplish, and the City's new developments should reflect these goals. Ms. Goldenberg felt
477 that Montgomery should work towards increasing diversity and sustainability. She would like to
478 see a Diversity and Inclusion Committee. As a City that remains over 85% white, Montgomery
479 has significant work to do when it comes to increasing its racial diversity. Regarding economic
480 diversity, which directly connects to racial diversity, Montgomery has no available Section 8
481 housing units, and only 3% of Montgomery's rentals cost less than \$1,000/month.
482 Montgomery's most recent housing developments continue this trend of unaffordability, which
483 lends itself to economic uniformity. There are benefits to having a mixed income community,
484 but a proposed retirement facility would only further encourage such economic uniformity.
485 Additionally, Montgomery should work toward sustainability. Our City boasts its status as "Tree
486 City, USA", and I have observed Montgomery's tree coverage shrinking, due to the development
487 of previously undeveloped land, such as the Vintage Club (which was originally farm land), or
488 was in the hands of the Cincinnati Archdiocese. To continue pursuing sustainability in this time
489 of climate change, possibly a 4.5 acre area can become a home to native plants and species.
490 Such a space could be connected to the green space that extends to the creek, running between
491 the Vintage Club and the Gate of Heaven Cemetery. There are existing programs that provide
492 grants for such a restoration project, and the State of Ohio provides funding for projects. If a
493 project is small, such as 1 acre, funding can be obtained through the Clean Ohio Fund and
494 Greenspace Conservation Program. The Arbor Day foundation has a similar foundation called
495 the Planting Partner Program.

496
497 To conclude, please reject this proposal, and help Montgomery be more.

498
499 **Peggy Yang, 220 Vintage Club Drive #204, Montgomery, OH 45249** stated that she was
500 speaking for herself and also on behalf of the (Building Committee) condo unit. She agreed with
501 many of the Commission's concerns with the traffic this will bring, as well as parking issues.
502 Originally, they bought into the idea of what this community would look like; now the standard
503 has been changed, and we did not know it. They felt that the original vision had changed and it

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504 continues to change as we go on. When she went to the first meeting about this project, she had
505 concerns. Today validates her concerns about changing the standards.

506
507 Ms. Yang stated that she also had another condo in Boulder, Colorado. If they kept changing the
508 height of buildings, no one would see the mountains. They have insisted on not changing the
509 standard, to preserve the beauty of the mountains.

510
511 She was not in favor of the Clubhouse being blocked. She also stated that their condo unit was
512 full, and they have very few parking spaces available; it is free for anybody to use, and it is
513 already full. She supposed that, in the future, their guest parking will be occupied by somebody
514 else.

515
516 Ms. Yang agreed that the assumptions and modelling of the parking analysis were concerning,
517 pointing out that different results are based on the data and the algorithms that you use; also
518 depending on what assumptions are used. She felt that the answers to the Commission were very
519 vague, to show that parking was not an issue.

520
521 Ms. Yang was against this application. She felt that this was totally against their original vision
522 at the time of her condo purchase. She wants to keep this community, which is safe and secure,
523 where children can play on the street. She agreed with the McNair idea, and would love to take
524 care of her parents in this type of model, but not in her community.

525
526 **Jane Kieninger, 211 Legacy Lane, Montgomery, OH 45249** stated that they use the parking
527 that is in front of the Vintage Clubhouse, which would be located in front of this new facility.
528 She requested that the City designate that these spaces are not permitted for overnight parking, so
529 that those senior residents did not use the parking in front of the Clubhouse.

530
531 Ms. Kieninger asked what would happen if this project were approved, and then the project fell
532 apart, would this then be available as an apartment complex? She had major concerns with this.

533
534 Generally, she was in favor of this project, noting that they have been working for the past 10
535 years to complete this last space of their community, and she liked the concept, in general.

536
537 **David Clark, 220 Vintage Club Way, Montgomery, OH 45249** stated that he and his wife
538 lived in the condominium just to the left of this newly proposed application. He appreciated
539 Mr. Hume and all that he has done, and his company's high standards. They were sold on the
540 residential aspects, and spent almost a million dollars. Had they known that there were going to
541 be condos back there, and he would be driving by this proposed building every day, they would
542 not have purchased their condo. He noted that he was not against senior living facilities, he was
543 in favor of them, but knowing this, it would have completely change their minds. He believes
544 that this development will completely change the tenor of the Vintage Club.

545
546 **Bob Knodle, 9 Vintage Walk, Montgomery, OH 45249** stated that he and his wife have been
547 residents in the community for three years. He was also unclear on the parking. He asked about
548 the current development, whether they be condo units or the medical building that is near the

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549 hospital. He asked if they were all approved with certain requirements for parking spaces,
550 because there was a lot of parking. And if they were, was this development being held to the
551 same standard? He has heard a lot about common parking spots. Will it start to flow into the
552 community during the peak season? And will we begin to see more people parking down on
553 Vintage Club Drive, further into our community? He did not feel that any of the homeowners
554 would welcome this, especially at the Clubhouse – the parking right along the main Clubhouse.
555 He urged the Planning Commission, as they performed their due diligence, to hold that as a
556 standard.

557
558 Mr. Knodle stated that he had faith in Mr. Hume, with Traditions as a high-end group, and the
559 honesty of his group that they would have a high quality building, but even with that, he felt that
560 this change in the development would change the character of the community that many of them
561 bought into. He felt that the height and scale would make a huge impact.

562
563 He liked the concept of this proposal, but was not in favor of it because he bought into a
564 community that was an owner-occupied community, and this obviously, was not; other than the
565 commercial buildings in the front – which he did not feel impacted the community.

566
567 Mr. Knodle stated that he had heard this in the community, and a little bit here. He felt that they
568 were being held hostage, in terms of approving this. He felt like there was pressure to go with
569 this, and if they did not, they might get something worse – apartments or another commercial-
570 type development. He put it in the hands of the Commission, to determine.

571
572 **Susan Dineen, 212 Legacy Lane, Montgomery, OH 45249** stated that she was not opposed to
573 the senior housing; she and her husband were in favor of it. Their concern had to do with the
574 Clubhouse, as they lived on Legacy Lane, which was right next to the Clubhouse. She explained
575 that their street was very narrow. They have many issues with the Amazon vans and other large
576 vehicles. If someone is parked on the street, and you were trying to get through, it was very
577 difficult and very dangerous. She asked if they could place some signage indicating parking only
578 on one side of the street, or provide some resolution. This was just on Legacy Lane.

579
580 **Dave Bimschleger, 133 Village Gate Lane, Montgomery, OH 45249** agreed with Bob
581 Knodle, in that they were held hostage. He stated that he used to live in a Traditions-built
582 neighborhood, in The Reserve. He believed that Traditions was trying to get out of this plan in
583 the Vintage Club.

584
585 He felt that this senior living concept was a strategically good idea, but he felt that this was
586 absolutely the wrong partner. He listened to the presentation, and commended the Commission
587 on their great questions. He pointed out how long it took to get one answer for many of the
588 questions – 3 or 4 minutes, for a simple answer. It took twice as long to get an answer to the
589 parking spaces. He felt that McNair Living was not polished; he understood they had a good
590 business sense and a good plan, but was concerned that they could execute. He felt that they
591 were the wrong developer.

592

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593 Mr. Bimschleger agreed that McNair had a lot of money – they have oil, they have a football
594 team, but since 2020, they have fired 5 head coaches; there is an internal fear inside – it is called
595 toxic environment. He brings this up, because they are the parent company. The CEO of the
596 football team is also the CEO of this company, and culture is very important in large companies.
597 If you don't have the right culture, people don't stay, and then you may not follow the guidelines
598 like they did, you may not provide the quality that you normally did. After hearing from McNair
599 last week, and this week, he did not have confidence that they can deliver what they say.

600
601 **Adam Cristo, 113 Candlewood Circle, Montgomery, OH 45249** stated that if Tom Hume and
602 Doug Hinger were doing this, then no problem, he trusted them. He did not trust McNair Living.

603
604 **Martin Simon, 230 Vintage Club Drive, Unit 104, Montgomery, OH 45249** stated that when
605 he and his wife decided to come to The Wicks at the Vintage Club, they were told that this would
606 be like an English community, a garden community with shops and stores and apartments. They
607 had no idea that there would be 144 units under consideration for senior living that clearly
608 dominated the central feature of the Vintage Club - The beautiful three chimney Clubhouse. It
609 was like obscuring the Eiffel Tower at King's Island! It clearly dominates that building, and that
610 is very disappointing.

611
612 **Paul Trenz, 109 Candlewood Circle, Montgomery, OH 45249** stated that he is a resident
613 board member of the Home Owners Association (HOA), along with Todd Steinbrink. He felt
614 that the Vintage Club had a very good working partnership with Traditions. To give some
615 background, Mr. Trenz stated that Traditions came to the Board about one year ago and had a
616 beautiful design for apartments in that area. The residents didn't want to have anything to do
617 with apartments because they were not a fit for this community.

618
619 At the same time, the residents told him they wanted something there that would fit in better with
620 the community, as far as the age. Mr. Trenz felt that this was a good fit. He understood that this
621 was a very difficult decision, with height and parking issues. He pointed out that there was a lot
622 of negative connotations when Christ Hospital was proposed. Now, he believes that is one of the
623 best things that happened for this community, and he believed most residents would agree.
624 He encouraged the residents and Planning Commission to look at this carefully. He hoped that
625 they would be able to work out the current concerns. He felt that Tom Hume would not bring in
626 another organization if they weren't the very best. He was in favor of this application.

627
628 **Todd Steinbrink, 209 Legacy Lane, Montgomery, OH 45249** stated that he is also a board
629 member of the HOA, as mentioned by Paul Trenz. He stated that there have been a couple
630 conversations about this in the community. About 4-5 weeks ago, the Finance Committee was
631 apprised of it. He pointed out that this community has been in the process of building out, for
632 over 15 years. It was originally supposed to be 250 people living in the community who
633 supported the finances of a very expensive community. He stated that we are only at 109 now,
634 and we needed the condos to fill out far sooner than they did. We have been supporting many
635 expenses along the way.

636

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637 This was brought to us so that Traditions could finish this project, so that the community could
638 be completed. Yes, it was originally conceived as a village – we wanted coffee shops,
639 restaurants and we wanted a boulevard because it would have commercial activity on it.
640 He agreed with Paul’s statements about the apartments being turned down, and he felt that
641 Traditions has tried to bring us a good fit. He reminded residents to keep in mind that this is
642 independent living, not apartments. There is not going to be two people in an apartment, with
643 2 cars.

644
645 Mr. Steinbrink stated that when the first group met, they were universally in favor. And then we
646 brought it to the larger community, and there were a lot more questions -- which were fairly
647 represented here tonight. We will need to deal with the height and parking issues. Overall, he is
648 in support of this application.

649
650 **Brad Jones, 118 Village Gate Lane, Montgomery, OH 45249** stated that he and his wife have
651 lived her about 6 years, and they were in favor of this development. They have talked for years
652 about being able to walk to a coffee shop or restaurant, and getting more people. He could see
653 tables on the sidewalk which would bring some life and urbanization to a pretty dead area.
654 He did not believe that a \$60 million building would be detrimental, and felt that that it would
655 look high-end. He did not feel that parking would be a concern when the residents would be
656 paying \$6,000/month and get free transportation to anywhere they wanted to go. He didn’t
657 believe it would be as much resident driving as we might imagine.

658
659 **Joe Schlosser, 45 Traditions Turn, Montgomery, OH 45249** stated that his family built a
660 house about 5 years ago, and he felt that this was a complete bait and switch from the original
661 vision for this development. Whether you call it apartments or independent living, it looked like
662 an apartment building, and he felt that it would degrade the home values of the Vintage Club.
663 He was opposed to this proposal because of that, and also because of the parking and safety.
664 He felt that the building scale was too big, that 144 units seemed excessive.

665
666 Mr. Schlosser also had concerns about the volume on the traffic signal, the roundabout, the
667 increased traffic flow, and stacking at the traffic light. He noted that if this does get approved
668 (which he hoped it did not), he requested that they would look at the timing on the traffic signal
669 as well.

670
671 **Bob Ceitel, 220 Vintage Club Drive, Unit 220, Montgomery, OH 45249** agreed with
672 everything his condo friends have said, including the fact that Tom Hume has done a great job.
673 He wanted to amplify these concerns: the size of the traffic circle and the width of the street.
674 He stated that the curves to the entrances that are proposed are way too small, especially to
675 handle the construction traffic. He watched Building C go up, and he felt that the amount of
676 large vehicles that will come in and out of there will not survive this new proposal. He stated
677 that the traffic circle was small, by any comparison. He stated that it can’t even handle a large
678 SUV. He asked for something dramatic to be done about the entrance.

679
680 Mr. Ceitel asked if the parking survey included the resident’s parking, and if they would bleed
681 into each other. Mr. Merrill stated that the City of Montgomery had asked for the ULI analysis,

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682 and that is what they have done. The study included the entire Vintage Club parking. He did not
683 make this up; it is not per unit or per building. He stated that, yes, they do bleed into each other.
684 The only difference is that they are all self-parking.

685
686 Mr. Ceitel stated that the residential parking bleeding over into the commercial property was also
687 a factor. He showed all on the wide screen, stating that the H1 Building is now fully occupied,
688 and they are already park in other spots across the street, which is now full all of the time. And
689 people are learning to tell their guests (especially on weekends), to park, and walk in between the
690 buildings, and come around to the front entrances. So the resident parking from the H1 building
691 is bleeding out into the commercial. The H3 Building has no parking whatsoever, so all of the
692 people in H3 will bleed into another commercial space. The H2 Building does not have any
693 guest parking, and behind it, there is only commercial parking, which will compete with all of
694 the restaurants. And the proposed building has more residents in it than H1 and H3.
695 He didn't feel there was not enough parking at Building C.

696
697 Mr. Ceitel pointed out that, at Stone Creek, it was very hard to get a parking space, because they
698 also had a shared parking concept, and it was a parking nightmare with Toast and Berry / Twin
699 Lakes.

700
701 Now you are talking about commercial properties being in Buildings J and K, so the current
702 parking situation leaves a lot to be desired. He asked that they put restrictions on this situation,
703 as this parking leaves a lot to be desired. Mr. Ceitel suggested that the Commission put out
704 restrictions such as no apartments, no long-term care, no assisted living, no dementia care,
705 because that would bring even more congestion and parking. He also agreed that to expect 141
706 people to have less than one car, on average, was absurd. He was against this proposal.

707
708 **Dick Brown, 131 Village Gate Lane, Montgomery, OH 45249** asked about the zoning change,
709 the proposal to change from D3 to LB. If for some reason, the project got underway, and was
710 not completed, would that zoning change remain in effect? He was concerned with the changes
711 because, among the differences, it would allow bars and motels. Should the best laid plans not
712 come to fruition, would it possible to revert back to D3, rather than leave it open to any rampant
713 LB development?

714
715 Mr. Chesar stated that from the General Development Plan as well as any Final Development
716 Plan, it would have to come back to Planning Commission for approval, if there was a change.
717 He stated that there was no mechanism to make it revert, if something didn't come to fruition.
718 Ultimately what the Planning Commission decides, goes before City Council, and then City
719 Council has the ability to assign the PUD aspects over to a new developer. There is even a final
720 step to ensure that the project doesn't deter from their plans. So, there is no way to make it
721 revert back, but there are mechanisms in place to ensure that any changes must come before the
722 Commission for approvals.

723
724 **Jerry Peter, 208 Legacy Lane, Montgomery, OH 45249** has lived in the community for years,
725 and has been in Montgomery since 1991. He has known Tom Hume for a long time, and Jerry
726 appreciated the class that Montgomery provides. He has heard all of the discussions. One thing

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727 he understood was that this facility would be using limos and buses to transport their residents.
728 He believed that would be horrible from a traffic control standpoint, in this community. It would
729 change the entire feel of this neighborhood. He encouraged the Commission to think closely
730 about this.

731
732 Chairman Hirotsu asked if there were any more questions, and there were none. He thanked all
733 guests and residents for their helpful comments, and for being concise and respectful of the time.
734 He closed the public input / speaking session, and asked for comments from the Commission, to
735 deliberate among themselves and make a decision. He noted that there would be no more public
736 comments.

737
738 Chairman Hirotsu asked Mr. Hume if he had heard this feedback before, because at the last
739 meeting, Mr. Hume stated that most people were in favor.

740
741 Mr. Hume stated that he has heard this feedback, but what he had told Chairman Hirotsu at the
742 last meeting was true, because he first met with the association that had been coordinating and
743 working on behalf of the community for a long time, to get their input, and after a lot of thinking,
744 they were very positive and supportive of the project. Then they went to a larger group, (a group
745 chosen by that group), that included the Finance Committee and some of the Committee chairs
746 from the HOA. They presented the same concept, got a lot of questions at the meeting, but
747 generally, everyone at that meeting seemed to be positive. He even asked for a show of hands
748 about how they felt, and everyone raised their hand in support. It didn't mean they didn't have
749 questions. He stated that they also visited with Christ Hospital, and they were very supportive
750 about the project. Mr. Hume stated that they then had a meeting about 10 days ago, or so, where
751 all of the residents were invited, and there were even more questions – questions along these
752 lines tonight. He felt there was a balance between those supportive and those not. No vote was
753 taken there.

754
755 Mr. Hume stated that we have heard comments from various people on different aspects, trying
756 to understand the thought process. He stated that their goal is, and always has been, to create a
757 great community. Their goal is also to finish out the community with a great project and a great
758 conclusion. And yes, they have a lot of money invested in this and a lot at stake. But if they
759 were just looking at money, they would have been gone a long time ago. They are trying to hold
760 to the commitment to create something very special. He believes that the McNair group is a very
761 good group to work with, and that working together, they will create a fantastic project.

762
763 He stated that they would take the feedback from the group, and try to mitigate some of these
764 issues, possibly get feedback from the Commission. He didn't know if all of these issues could
765 be mitigated; some will need balance. He hoped the Commission would join in supporting them.

766
767 Mr. Fossett asked if the Vintage Club was always expected to be a mixed-use residential /
768 commercial development with a multi-family element on the southern side of Vintage Club
769 Boulevard, the D3 development? There was discussion among the Commission.

770

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771 Mr. Hume stated that it was originally designed for mixed use, with condos on both the north and
772 south and sides, with the multi-family being the condos, not rental. And this application tonight
773 is not rental, it is independent living for seniors, at the highest end of the economic market.
774

775 Mr. Fossett stated that there was a reference to busses, and asked if that was accurate. Mr. Haller
776 stated that there would be only one 18-passenger van and two town cars.
777

778 Mr. Stull asked why condos weren't contemplated on this parcel. Mr. Hume stated that they
779 were for a long time, but unfortunately the marketplace (due to COVID and other factors) did
780 not, and still does not hold a broad enough market at the high-end of the condominium spectrum
781 to be successful in the rest of this community.
782

783 Mr. Hume stated that they do intend to build condos in the remaining H2 Building, to fill out the
784 north side, just as designed. The change is switching from what would have been 4 to 5 condo
785 buildings on the south side, that had some retail and office on the first floor to create the Village
786 flavor, to the current proposal.
787

788 Mr. Stull clarified that you can't sell condos, economically. Mr. Hume agreed, noting that they
789 can't sell them fast enough to enable him to build out the rest of the project. Mr. Stull asked if
790 there was a project that could be made smaller, possibly two buildings, as opposed to one
791 gigantic building. Chairman Hirotsu felt this might be considered as problem solving. Mr. Stull
792 explained that he was looking for other options that we might consider, if this project was not
793 approved.
794

795 Mr. Hume deferred to Mr. Haller. Mr. Haller stated that condos were not his specialty, but what
796 used to be a 70% loan-to-cost loan is now at 40%, so the alternative of not moving forward with
797 this development, is that the land will probably sit vacant for many years, due to the current
798 economic environment.
799

800 Regarding Mr. Stull's question, Mr. Haller stated that if he were to produce 44 units, he would
801 be at \$12,000/month for rent, and that is not feasible here. He stated that the 144 units were
802 intentional, and it mirrors the development in Indiana. This number of units allows them to offer
803 a \$5,000 to \$8,000 monthly rent. He noted that the cost of construction has gone up 40% in the
804 last few years. This same development could have been 20% smaller, but for the cost of
805 development. We have to hit the profit numbers that we expect, and also what the bank expects.
806

807 Mr. Dong liked the concept, but he had major concerns, especially with building mass and the
808 size, when compared with the residents in the back. He stated that it was a lot different than
809 what people thought. He felt there was a lot of traffic on that road now, without this unit or the
810 additional condos. He asked for a traffic study and a look at the roundabout. As he had been
811 listening, Mr. Dong believed that street parking was the issue today; that people just didn't want
812 to park somewhere else that had spots available because they were not conveniently close.
813 He hoped that they could find a resolution for this.
814

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815 Mr. Dong stated that he was a big believer in mixed use, and as he heard more about this
816 development, he did not feel it was as prevalent as he had hoped. He would love to see the
817 public and community brought it, not just restricted to the building or Village residents. This
818 was a different description than what was presented at the last PC meeting.

819
820 Mr. Schneider asked about the subject of mixed use – what kind of a coffee shop were they
821 proposing, and signage to draw in the community. Mr. Knox stated that they will not make this
822 look like a senior living area. It will be a craft coffee shop, along the lines of a Starbucks
823 Reserve, a very forward looking design. They will use very interesting finishes, lots of natural
824 lighting, lots of daylight and space, with seating on a covered porch that has planters and
825 landscape. He stated that they were just approaching the starting line in this process. Mr. Knox
826 stated that they did not want to limit the outside participation in this facility. They want it to feel
827 like any other type of an urban environment where you walk in straight off of the street, straight
828 off of the sidewalk.

829
830 Mr. Chesar asked if Mr. Knox could speak about massing, because the massing was not all on
831 Vintage Boulevard. Mr. Knox stated that they were trying to balance the amount of square
832 footage needed for the project with the open space requirements – they were trying to save as
833 many trees by the creek as possible. They are attempting to keep the building tucked up as close
834 as possible to the north part of the site, and they want to stretch it all the way across Vintage
835 Club Boulevard because that is the urban front. He pointed out that what doesn't show up quite
836 as much on these site plans is that as soon as you get past the front L area, most of the building
837 drops down to a single level, so that as you approach you see the L shaped building in the front,
838 but it steps down and sits back. They would position the parking mostly in front of the building,
839 and it does pull the mass of the building away from the Clubhouse, while trying to maintain as
840 much of the street buffer as possible.

841
842 Ms. Steinebrey was happy to hear that Christ Hospital was working out so well, because she
843 recalled that was a big issue, when first presented. She has found it very useful, personally, as
844 well. When she goes there, she is able to find parking.

845
846 She does have tremendous concern about the proposed parking. She has been up to check the
847 parking garage a couple of times. She noted that on the bottom level of the hospital garage, you
848 can walk right out to this proposed building, which leads her to believe that the residents / guests
849 will park there. She had concerns that this would be taken up by the residents, instead of being
850 available for hospital employees and patients.

851
852 Ms. Steinebrey did not like the mass of the proposed building. She also did not like the fact that
853 some of the current residents felt pressure to accept this, else get something worse. She stated
854 that this Commission was here to protect them, and that we wanted a great product for that
855 neighborhood and for the City.

856
857 Mr. Juengling stated that he viewed this site as being a transition between single family detached
858 homes to the east, and then stepping over to the Montgomery Corridor, he could see this as being
859 an appropriate use for this site. However, when he thinks of the vision for this being a village,

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860 with some commercial uses, he wonders if there really will be commercial store fronts in that
861 area.

862
863 He felt that the way this user and developer were bringing in the uses to that front and letting
864 them be more public-facing, (whereas it would typically be internally facing), helped to achieve
865 the village feel. It was not the same as having a private coffee shop, but it was close.

866
867 Regarding parking, Mr. Juengling understood the shared parking situation, but didn't know if it
868 would be used efficiently or not. In looking at parking standards from a zoning aspect, the old
869 model of having 1 space for so much square footage, specifically for that use is starting to be
870 modified. He felt this would become the norm, going forward. He did not know how it would
871 impact this overall, and how it would impact long term. He was still unsure about the parking.

872
873 Mr. Juengling would like to see more renderings regarding building massing, from the
874 perspective of the surrounding family homes. He did not feel this was too much of an ask to get
875 this.

876
877 Mr. Stull points out the situation with Twin Lakes, and the vacant lot across from City Hall. He
878 recalled trying to fit things on the lot that wouldn't fit, trying to change the rules, and then Twin
879 Lakes dropped the project, presumably due to economics. He also wonders about the condos and
880 now apartments proposed for the Montgomery Quarter – and if they will encounter this same
881 issue. He agreed that the timing wasn't right for condos, due to the economy. So, do we settle
882 for something else now, because we can't get what we want now? He didn't feel that we should
883 go ahead and change the rules just because it doesn't fit right now. He noted that things can
884 change, and it could be vacant for a while. It was vacant down by the dealerships for 5 to 10
885 years, before the Quarter was started.

886
887 Mr. Stull felt that parking was a problem. He also wanted to see a rendering of the building
888 massing, just like we did for the Montgomery Quarter, due to the concerns of the people on
889 Cooper. He felt that the same questions were coming up again.

890
891 Chairman Hirotsu stated that he has heard Mr. Stull and Mr. Juengling both say that they can't
892 really agree to anything without seeing it. He noted that we had asked for drawings at the last
893 Planning Commission meeting, but he would like to now be very explicit about it. Mr. Stull
894 noted that for the Montgomery Quarter they gave us a 360 degree view of the massing, and then
895 we made some changes.

896
897 Mr. Juengling wasn't looking for great detail, but wanted to see the block mass.

898
899 Mr. Fossett agreed with the other Commissioners. In listening to the mixed opinions from the
900 residents, he felt it was worth keeping the issue open and getting better images that will give us
901 an idea of what it will really look like. Chairman Hirotsu asked what he thought about the senior
902 living concept. Mr. Fossett believed that was an important part of a village. People keep their
903 elders among them, you don't ship them off somewhere else. If this is supposed to be a village,
904 you equip it so that the older can mingle with the younger.

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905
906 Chairman Hirotsu worried about the phrasing “bait and switch”. That is not what he perceived.
907 He believed there was a plan, and conditions have changed, and they are trying to react to what is
908 practical today. To him, bait and switch implies that people are intentionally trying to lure you
909 in and fool you. He did not see this.

910
911 Chairman Hirotsu stated that he could easily support this idea of the senior facility. He agreed
912 with the other Commissioners’ concerns of massing and parking. He had visited the site, and
913 walked around. Like Ms. Steinebrey, he also noticed that the hospital public parking offered
914 direct access to this proposed facility, and did not feel that this was straight forward. He was not
915 sure what the solution was to this, to create more flow. What you don’t want is people going
916 from Building L to Buildings K, J and H2. It is very convenient. You really want people using
917 F, and when he drove around, F was very empty. He felt that the access to F needed to be very
918 friendly and inviting. It is where the bulk of the parking was, and it needed to be more friendly,
919 in order for us to consider that it is an easy flow.

920
921 Chairman Hirotsu heard Mr. Knox mention that one of the things causing the massing was the
922 open space requirement. Because you are creating this open space in back of the facility that
923 only the people in that area would see, he would be open to offer a variance that may help to
924 adjust the size of this building.

925
926 Mr. Chesar stated that if you look at the actual language change, they are estimating that this
927 building will be about 55 feet tall, at least on Vintage Club Boulevard frontage. The PUD is
928 looking at a request for 57 feet. He understood that it looked like a significant change, but from
929 Staff’s perspective, it did not, because we have allowed other buildings, such as Christ Hospital
930 that same height and the PUD would be the best mechanism to allow a change. He suggested
931 some drawings of the size/height, from a perspective as you are coming into that mixed village
932 type of concept.

933
934 To determine the thinking of the Commission, Chairman Hirotsu asked them, if the applicant had
935 a creative idea around the parking, and could demonstrate that the massing was not negative, or
936 even had a different idea about the massing, would that alleviate their biggest concerns?

937
938 Mr. Dong felt it would. In a village, you have smaller buildings, spread out, with light coming
939 through.

940
941 Mr. Juengling would like to see the massing visualized. If they were going to be doing shared
942 parking, he would like to see how it would operationally function, not just by story, but by day-
943 in, day-out functions, how is it going to work. He felt this would alleviate some of the resident’s
944 and Commission’s concerns. He asked if they had models from other developments, how many
945 people actually do have a car, how does that senior living transport service work? Mr. Dong
946 would also like to see the utilization of the hospital parking garage.

947
948 Chairman Hirotsu asked the applicant if they would like to table this application, and come back
949 with additional information.

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950

951 Mr. Haller stated that they would like to table this application.

952

953 Mr. Merrill asked if it was more about the parking dispersion. Mr. Dong stated that it was.
954 So, if he came back with a parking plan, rather than an analysis. Mr. Dong felt it would help, and
955 perhaps offering / showing requirements of all employees who will park in the hospital parking
956 lot. Mr. Fossett suggested a visual, perhaps a directed demonstration of where the parking would
957 be and how the folks and their visitors in the buildings would be parking.

958

959 Mr. Merrill stated that they have provided the numbers, based on the study that was requested.
960 He noted that how this shared parking will be used, is a bit more holistic. Mr. Dong also wanted
961 to know more about the assumptions. Chairman Hirotsu was asking not for numbers or
962 percentages, but where is the easy place they go when the spots are full. Mr. Merrill also
963 suggested that he contact the hospital to see if they have a plan that he could work with them on,
964 for their employees and patients.

965

966 Mr. Chesar felt that a narrative would work also, for instance, regarding what surrounding
967 facilities hours of operation are in comparison of use for their project. He suggested that they
968 build out what is available where such as at Orange Theory, etc. Mr. Dong would like to
969 understand each business and to see the street parking, and if there is actually an issue today with
970 street parking. He would like to get the tenant's input.

971

972 Mr. Stull added that we were not singling out this project – we had the same concerns with the
973 garage at the Montgomery Quarter – who was using it, and when.

974

975 Ms. Steinebrey would also like to see them not use the underground parking of Christ Hospital.
976 She didn't think it was fair. The several times she has gone there, there were about 45 spots
977 used, but there were also open parking spaces around. If you direct the people in the retirement
978 building to park there, that is not fair. Mr. Merrill confirmed that it is not the number of parking
979 spaces, but how the spaces will be utilized. The Commission confirmed.

980

981 Mr. Hume appreciated all of the feedback, and stated that they would go back to the drawing
982 board to see if they can alleviate some of the challenges. He stated they will do the best they can
983 to do the best they can, but noted that there were a lot of requests from them tonight. They will
984 do what they can, based on economics, practical space and other criteria.

985

986 Mr. Knox asked for more details about what they would like to see with regard to the massing.
987 Chairman Hirotsu stated that they would like to see a 360 degree view, all the way around the
988 building, from the perspective of the residents from the east side of the Clubhouse, from the
989 north of the Clubhouse, and as you are coming into the Boulevard. Mr. Knox noted that there
990 were hand sketches of the view coming down Vintage Club Drive, and coming down Vintage
991 Club Boulevard. Mr. Dong would like to see the view from behind the Clubhouse – seeing the
992 Clubhouse and then seeing the building mass. Mr. Juengling would like to see it from Legacy
993 Lane, to see the step up, from the single family home, showing the typical height of the single
994 family home there, showing the height of the Clubhouse, and the height of the proposed

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995 development. Mr. Fossett asked if they could get the hospital in it also, to the east of the
996 Clubhouse, looking across the Clubhouse at your proposed development, and seeing the hospital
997 rising above the proposed development.
998

999 ***Mr. Dong made a motion to table the application from McNair Living, LLC for a Planned***
1000 ***Unit Development (PUD) Overlay Modification and General Development Plan approval***
1001 ***regarding a proposed 144-unit independent living community facility on approximately 4.5***
1002 ***acres within the Vintage Club Planned Unit Development, located south of Vintage Club***
1003 ***Boulevard, directly east of the Christ Hospital Outpatient Center, as detailed in the Staff***
1004 ***Report dated July 17, 2023.***
1005

1006 ***Mr. Juengling seconded the motion.***
1007

1008 ***The roll was called and showed the following vote:***
1009

1010 ***AYE: Mr. Stull, Mr. Fossett, Mr. Juengling, Ms. Steinebrey, Mr. Schneider,***
1011 ***Mr. Dong, Chairman Hirotsu*** (7)
1012 ***NAY:*** (0)
1013 ***ABSENT:*** (0)
1014 ***ABSTAINED:*** (0)
1015

1016 ***This motion is tabled.***
1017

1018 At 9:35pm, all guests and residents left the meeting. Ms. Bissmeyer also left.
1019

Staff Update

1021 Mr. Chesar stated that they were in the initial stages of the Comprehensive Plan Update which is
1022 the discovery phase. Staff has been out in the public – at current events – Fourth of July, Bastille
1023 Day, asking people what they like and don't like about Montgomery. Also asking for areas of
1024 opportunity. They will survey at another eight events. These responses are given to the
1025 consultant. There will also be interviews from the stakeholders, developers, the hospital,
1026 Chamber of Commerce, Twin Lakes and more. They will also go to Montgomery Quarter and
1027 speak with different people there, for interviews. There will also be social media coming out
1028 about this.
1029

1030 He noted that there is a link online, called Montgomery's Moment, and he will forward to
1031 members, to offer their comments.
1032

1033 Mr. Stull stated that the roundabout on Pfeiffer is now completed!
1034

Council Report

1036 Ms. Bissmeyer was not present; there was no report.
1037

Minutes

1039 Mr. Fossett moved to approve the minutes of June 19, 2023, as amended.

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1040 Mr. Dong seconded the motion. The Commission unanimously approved the minutes.

1041

1042 **Adjournment**

1043 Mr. Dong moved to adjourn. Mr. Fossett seconded the motion.

1044 The Commission unanimously approved. The meeting adjourned at 9:50 p.m.

1045

1046

1047

1048

1049

1050

1051

1052 _____
Karen Bouldin, Clerk

_____ Dennis Hirotsu, Chairman

_____ Date

1053

1054 /ksb

DRAFT