

EIR SUPPLEMENT 04/04/2024

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PROJECT INFORMATION			
PROJECT ADDRESS:	2 PETALUMA BLVD NORTH PETALUMA, CALIFORNIA		
OCCUPANCY TYPE:	A-3 RESTAURANTS R-1 HOTEL GUESTROOMS S-2 PARKING		
APN:			
CONSTRUCTION TYPE:	IA		
NUMBER OF STORIES:	SIX STORIES ABOVE GRADE, ONE ROOFTOP, ONE STORY BELOW GRADE.		
BUILDING HEIGHT ABOVE GRADE:	66' 7" (TOP OF ROOF)		
SITE AREA:	14,256.54 SF		
FAR:	4.78		
PROJECT AREA:		Gross	Net
Basement		13,100	
Parking			9174
Storage			1266
MECP			1062
Ground Floor		12,727	
Restaurant			2308
outdoor seating			901
Kitchen			1832
MEP			1142
trash			176
Hotel			1460
boh			3213
Level 2		12,117	
Guest			6860
Fitness			1283
Balc			508
Terrace			898
Admin			1050
Level 3		12,117	
Guest			9323
Balc			508
Level 4		12,117	
Guest			9323
Balc			508
Level 5		11,502	
Guest			8700
Balc			988
Level 6		4,220	
Event			1372
Pantry			967
Terrace			5514
Total Above Grade Gross (shafts not removed)		64,800	
Land area		14,256	
FAR		4.55	
Site coverage		100%	
Keys		93	
Building Height (max to top of event roof from ave grade)		67'-10"	



EKN APPELLATION

2 Petaluma Blvd South
Petaluma, California



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FAX 415.249.0132

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**STRUCTURAL
BUEHLER**
444 Flower St 3800
Los Angeles, CA
90071
323 536 2362

**MEP
INTERACE ENGINEERING**
601 South Figueroa St
Suite 2750
Los Angeles, CA 90017
213 694 3408

**LANDSCAPE
BRIGHTVIEW**
8 Hughes
Ste. 150
Irvine, CA, 4900
949 238 4900

**CIVIL
N CONSULTENG**
4 Park Plz
Irvine, CA
92614
949 396 1161

**FF&E
DH-COMPANIES**
7591 Coppermine Drive
Manassas, VA
20109
703 520 1885

**INTERIOR
SIXTEEN-FIFTY**
7509 Girard Ave.
La Jolla, CA
92037
858 454 6909

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MEP: INTERFACE ENGINEERING BRIGHTVIEW DESIGN GROUP
 601 South Figueroa Street
 Suite 2750
 Los Angeles CA 90017
 323.536.2362

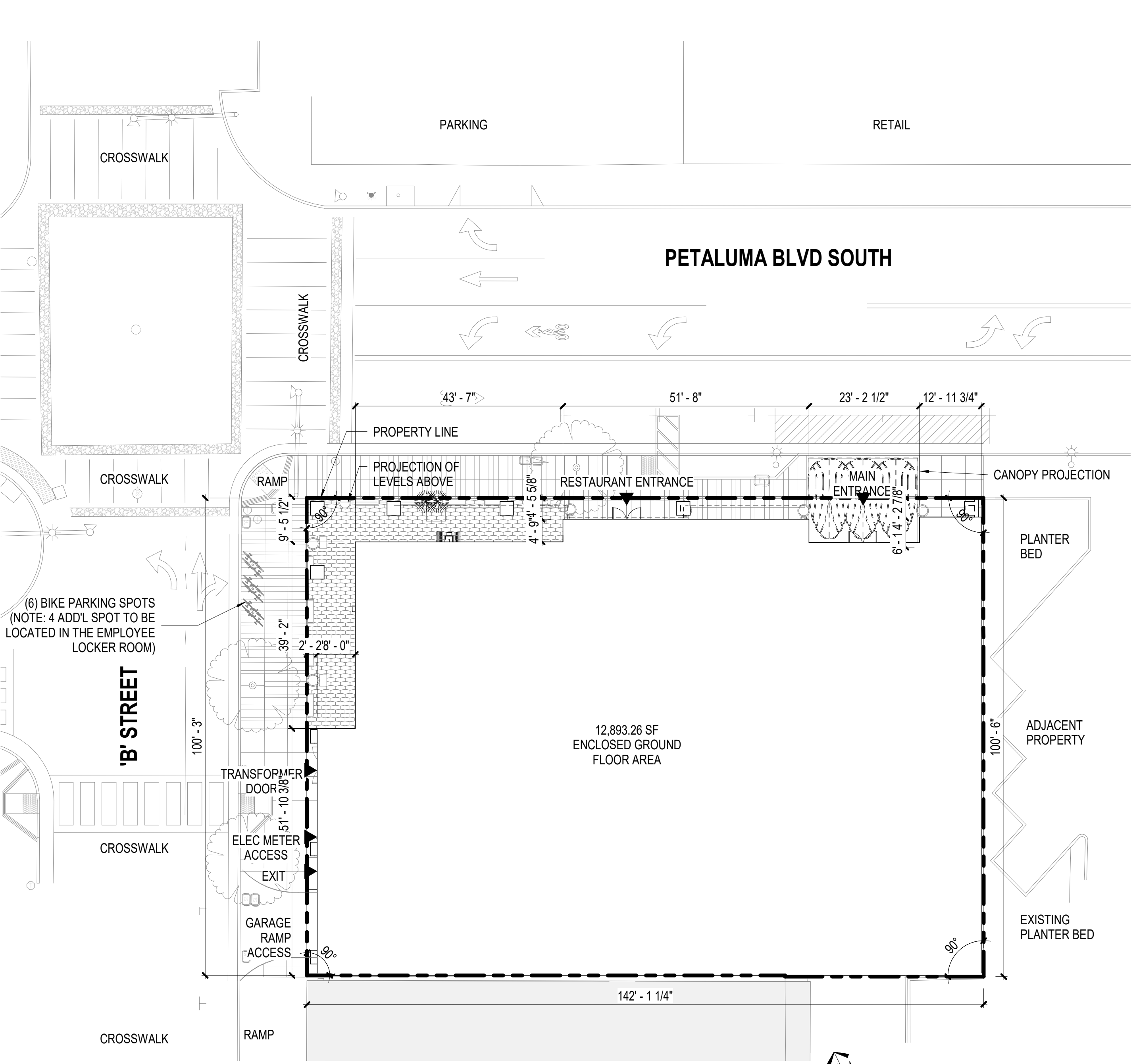
STRUCTURE: BUEHLER ENGINEERING
 5 Third Street
 Suite 1125
 San Francisco, CA 94103
 213.694.3408

INTERIORS: SIXTEEN FIFTY
 7509 Girard Ave
 La Jolla, CA
 92037
 858.454.6009

LANDSCAPE: BRIGHTVIEW DESIGN GROUP
 1645 Grant Street
 Denver, Colorado 80203
 Address Line 3
 949.238.4900

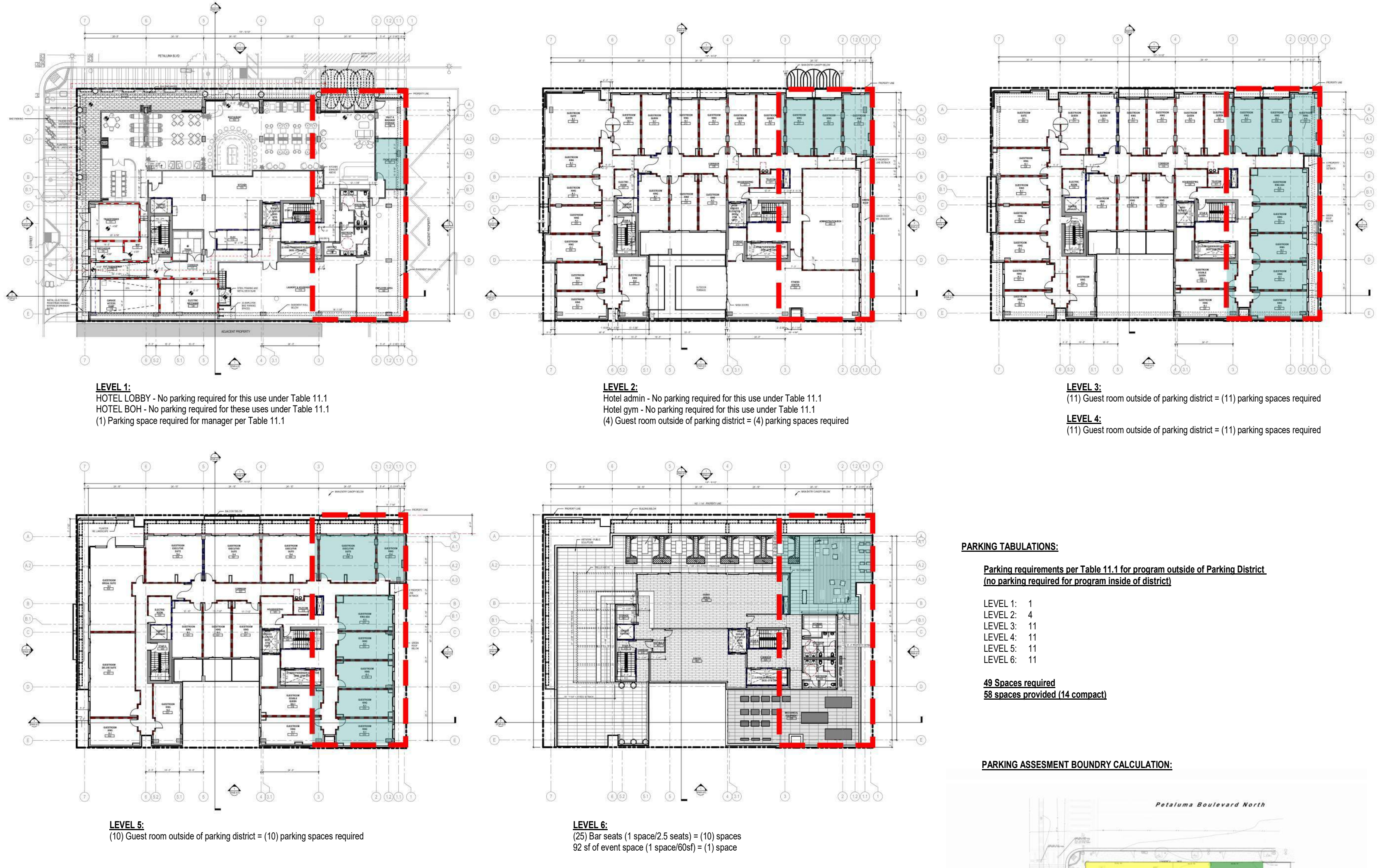
FF&E: DH-COMPANIES
 7591 Coppermine Drive
 Manassas, VA, 20109

CIVIL: N CONSULTING ENGINEERS
 4 Park Plz
 Irvine, CA
 92614
 949.369.1161



1 ARCHITECTURAL - SITE
 SCALE: 1/16" = 1'-0"

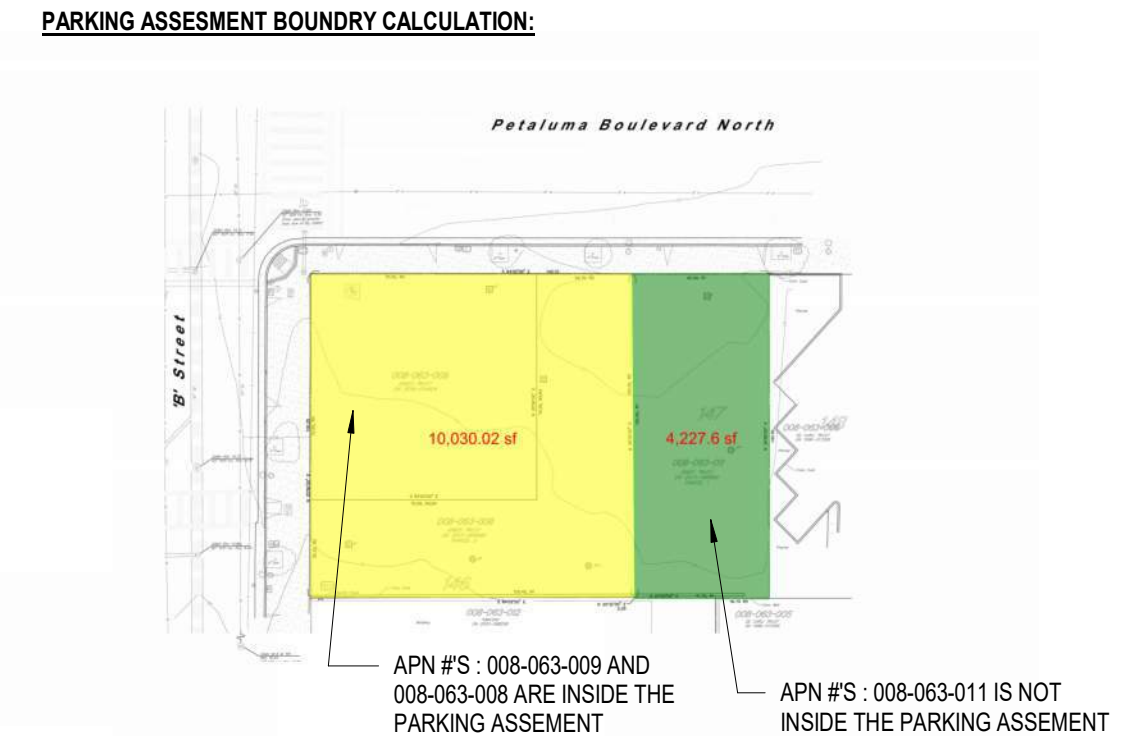
PROGRAM OUTSIDE OF PARKING DISTRICT:



PARKING TABULATIONS:
 Parking requirements per Table 11.1 for program outside of Parking District
 (No parking required for program inside of district)

LEVEL 1:	1
LEVEL 2:	4
LEVEL 3:	11
LEVEL 4:	11
LEVEL 5:	11
LEVEL 6:	11

49 Spaces required
58 spaces provided (14 compact)



SPEC SHEET

Clearance:
 14' - 0" (4.27m)
 12' - 0" (3.66m)
 10' - 0" (3.05m)

Width:
 6' - 0" (1.83m)
 8' - 0" (2.44m)
 10' - 0" (3.05m)
 12' - 0" (3.66m)

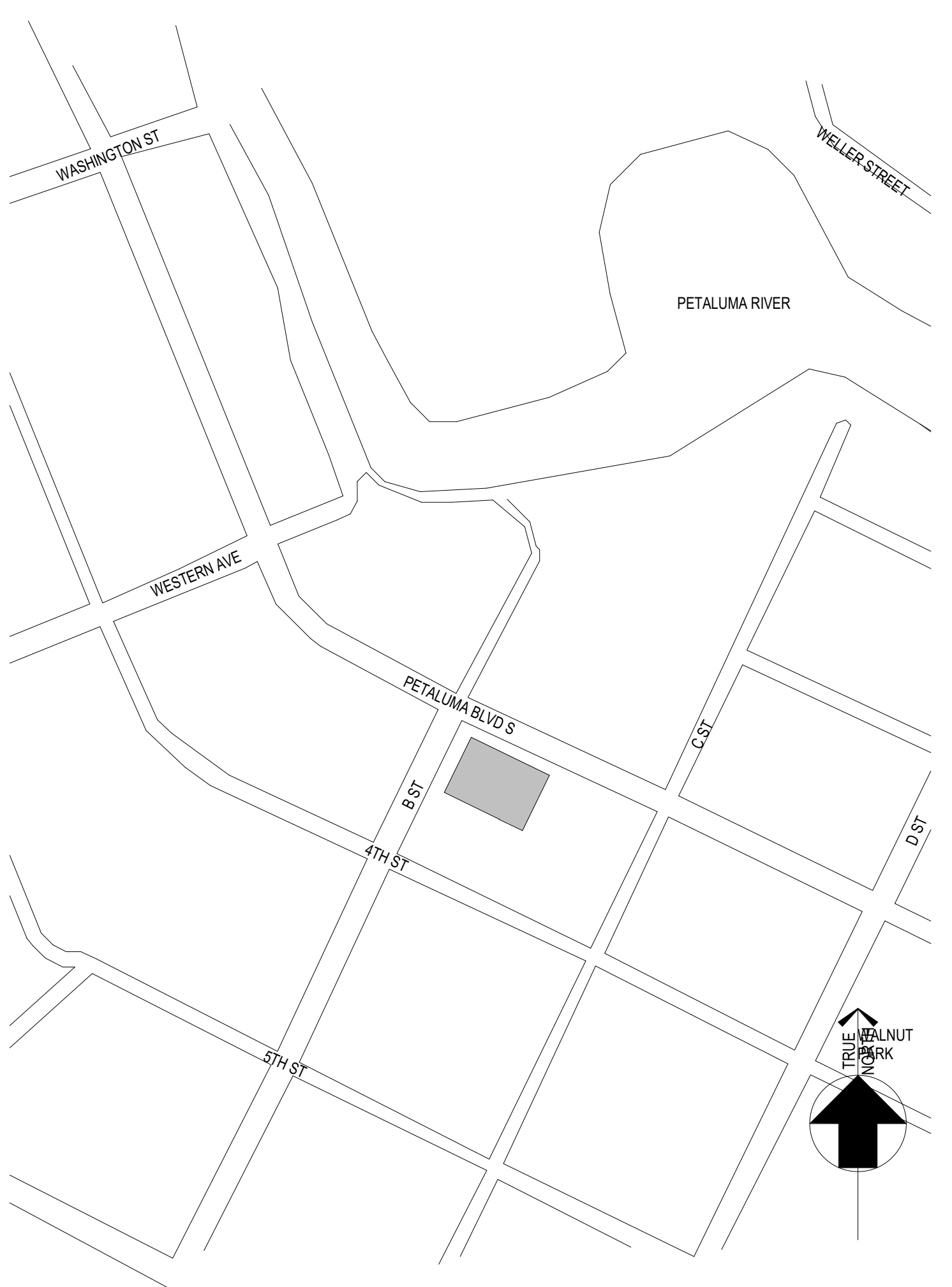
PARKPLUS DP003 DOUBLE STACKER

Components:
 - 3.0m x 1.8m x 2.0m
 - 3.0m x 2.4m x 2.0m
 - 3.0m x 3.0m x 2.0m

Additional Information:
 - Fire Protection
 - Wind Uplift
 - Snow Load

8-444-PARKPLUS

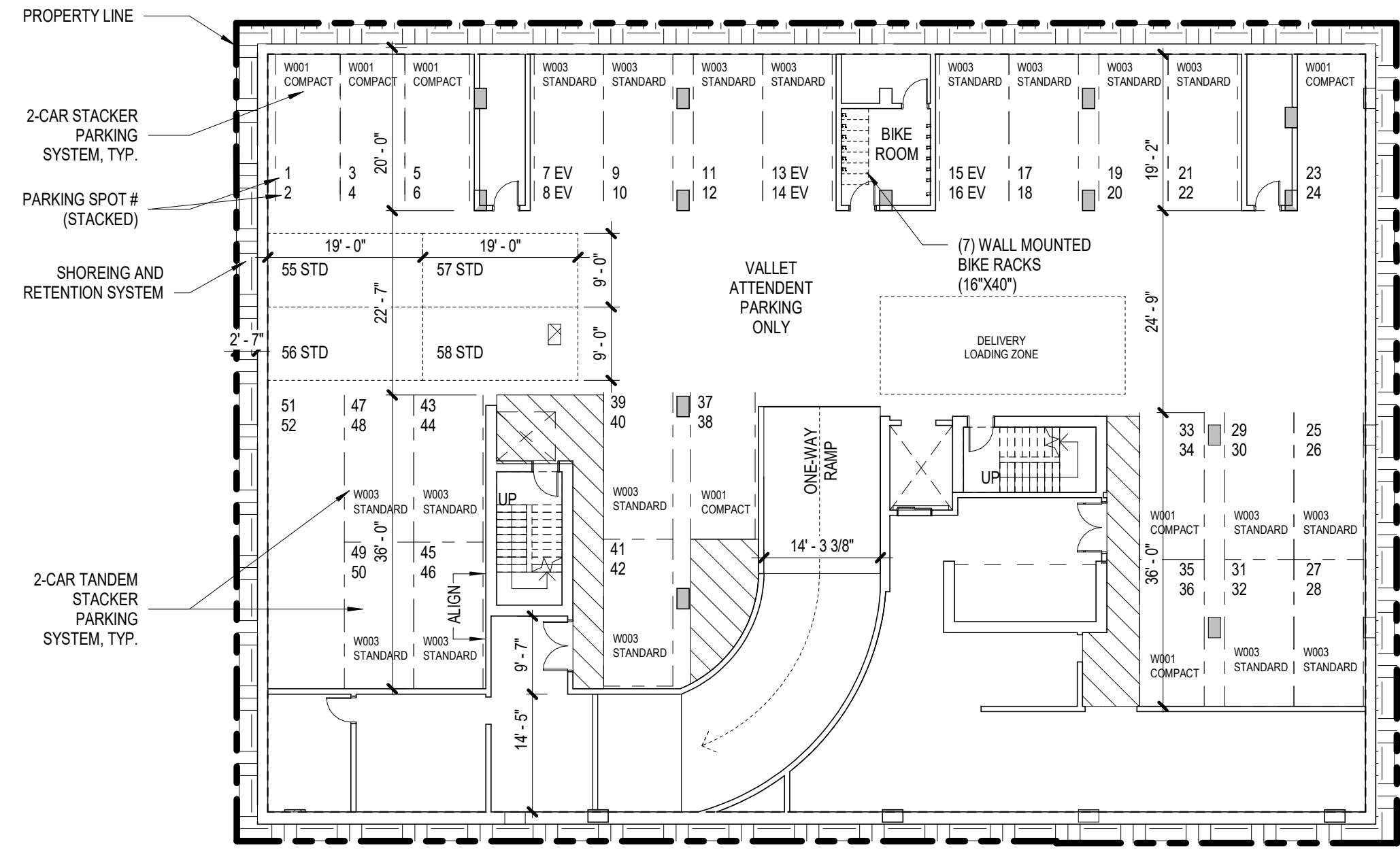
PARKPLUSINC.COM



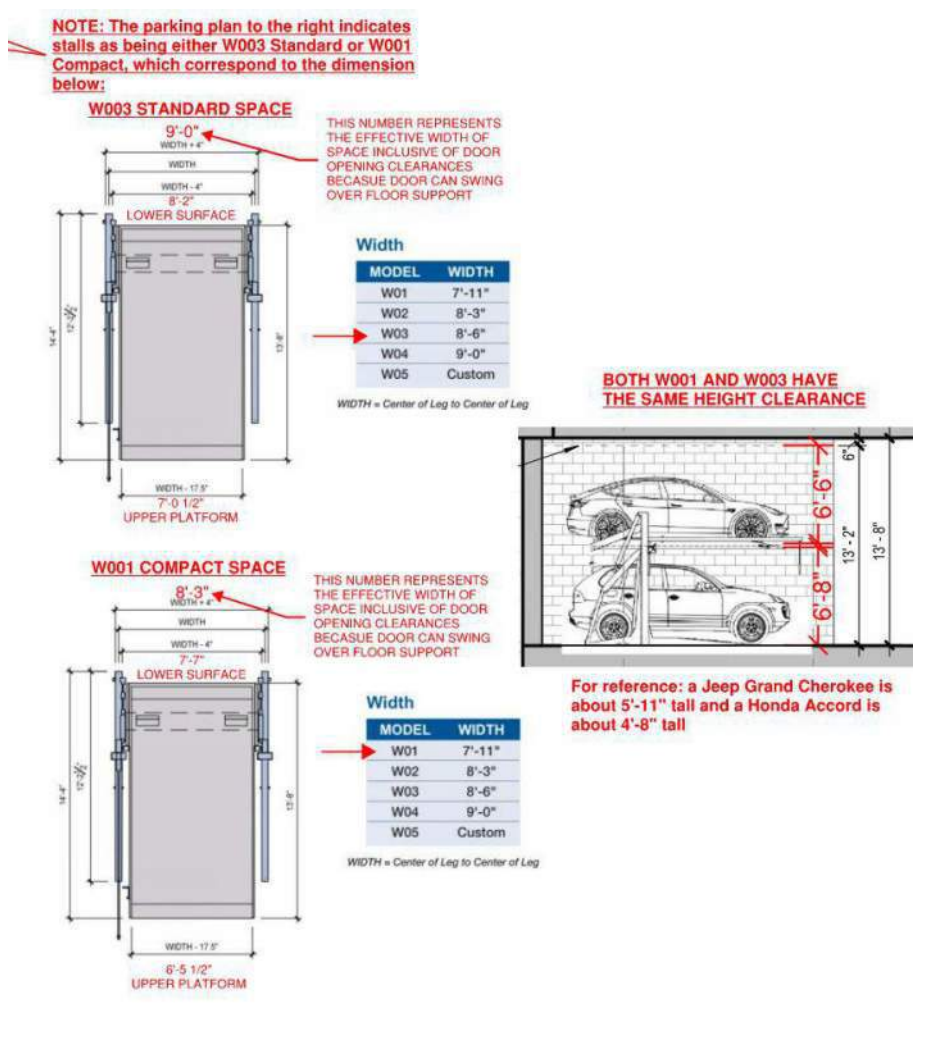
1 VICINITY MAP 1
 SCALE: 1" = 200'-0"



2 SITE - PHOTOS 1
 SCALE: 1" = 160'-0"



3 PARKING SUMMARY 1
 SCALE: 1/16" = 1'-0"



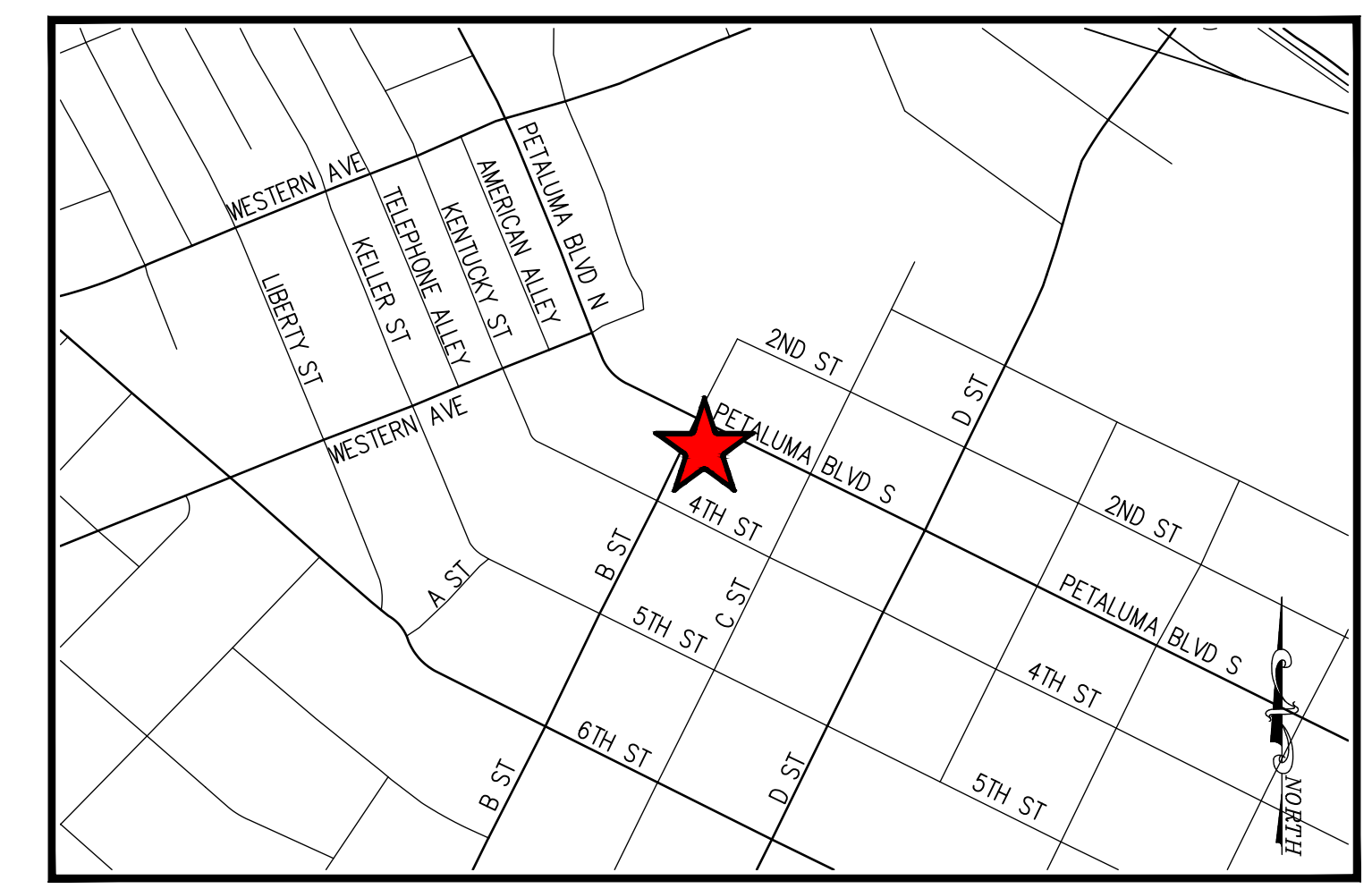
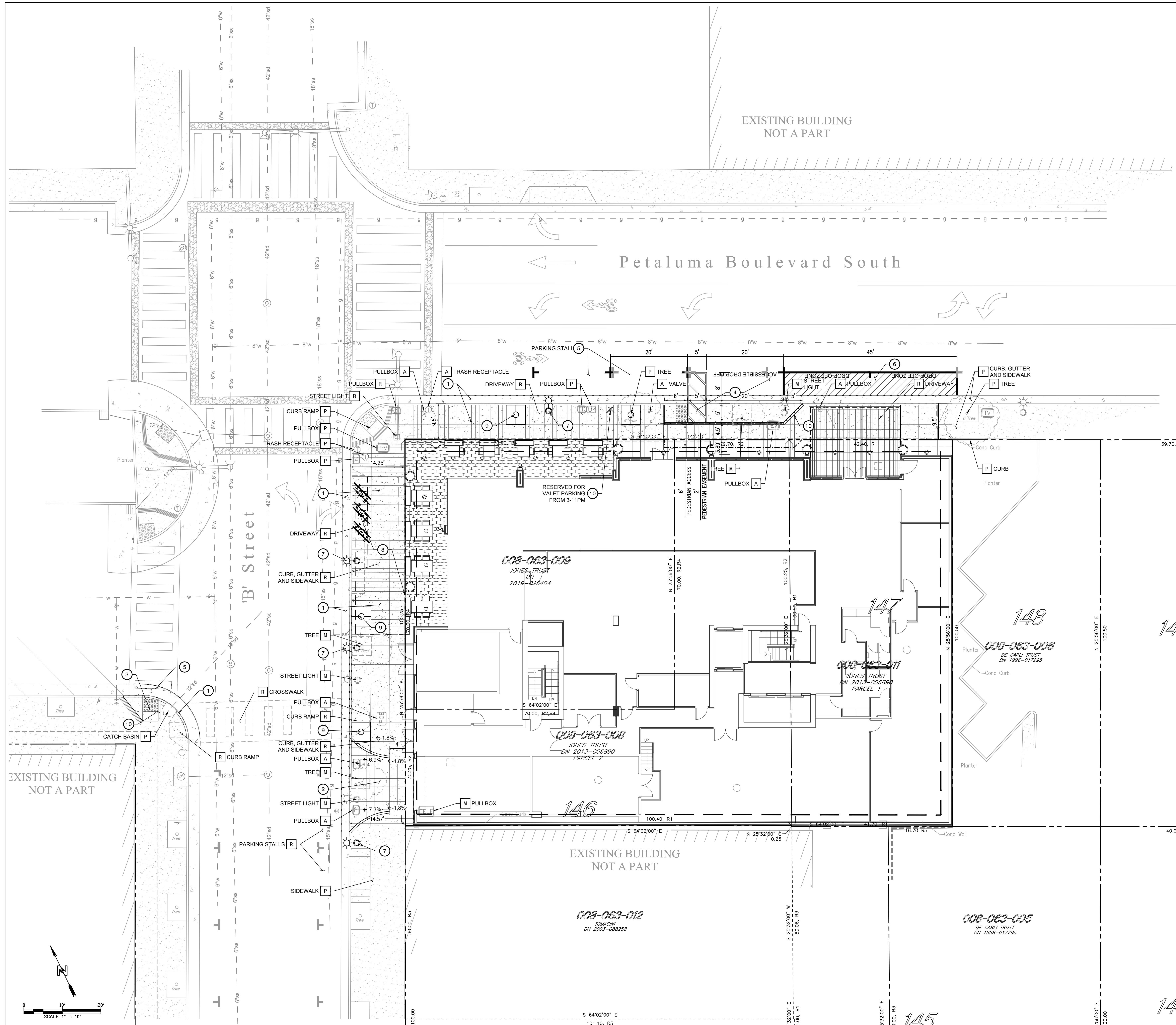
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EKN APPELLATION
 2 Petaluma Blvd South
 Petaluma, California

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ARCHITECTURAL - SITE PLAN
 DRAWN BY: _____ CHECKED BY: _____
 PROJECT NUMBER: 621010 PROJECT ABBREVIATION: PH
 ORIGINAL ISSUE DATE: _____ DATE: 04 APRIL 2024
 EIR SUPPLEMENT



VICINITY MAP
SCALE: 1" = 500'

PROJECT TEAM	
OWNER / DEVELOPER EKN DEVELOPMENT GROUP 220 NEWPORT CENTER DRIVE, SUITE 11-262 NEWPORT BEACH, CA 92660 CONTACT: MIKE JOLLY PHONE: 310.776.0621	ARCHITECT PAGE SOUTHERLAND PAGE, INC 414 JACKSON STREET, 4TH FLOOR SAN FRANCISCO, CA 94111 CONTACT: SAM GELFAND PHONE: 415.249.0130
CIVIL ENGINEER N CONSULTING ENGINEERS, INC. 4 PARK PLAZA, SUITE 1750 IRVINE, CA 92614 CONTACT: DEREK KARIMOTO P.E., QSD PHONE: 714.514.8858	LANDSCAPE ARCHITECT BRIGHTVIEW 8 HUGHES, STE. 150 IRVINE, CA 92614 CONTACT: MATT DUNCAN PHONE: 949.396.1161
STRUCTURAL BUEHLER 444 FLOWER ST 3800 LOS ANGELES, CA 90071 CONTACT: PHONE: 323.536.2362	MEP INTERFACE ENGINEERING, INC 100 SOUTH FIGUEROA STREET, SUITE 2750 LOS ANGELES, CA 90071 CONTACT: EUGENE DE SOUZA PHONE: 213.694.3498

PROJECT DATA	
APN(S)	008-063-008, 008-063-009, 008-063-011
ADDRESS	2 PETALUMA BLVD S, PETALUMA, CA 94952
ZONING DESIGNATION	MIXED USE 2 (MU2)
OVERLAY DISTRICT(S)	PARKING ASSESSMENT DISTRICT, THEATER DISTRICT, HISTORIC COMBINING DISTRICT
EXISTING LAND USE	ROUGH GRADED SITE - VACANT LOT
AREA	14,256 SF [0.327 ACRES]

DEMOLITION NOTES	
[A] ADJUST TO GRADE.	EA
[M] MOVE OR RELOCATE.	EA
[P] PROTECT IN PLACE.	EA
[R] REMOVE AND DISPOSE OF OFF-SITE.	EA

CONSTRUCTION NOTES	
1. CONSTRUCT CURB, GUTTER AND SIDEWALK PER CITY OF PETALUMA STANDARD DETAILS 202 AND 203. SEE LANDSCAPE PLAN FOR PATTERN AND COLOR.	LF
2. CONSTRUCT DRIVEWAY PER CITY OF PETALUMA STANDARD DETAIL 203.	EA
3. CONSTRUCT CURB RAMP "CASE A" PER CALTRANS STANDARD PLAN A88A.	EA
4. CONSTRUCT ACCESSIBLE DROP-OFF PER CALTRANS STANDARD PLAN A90B.	EA
5. STRIPE IN-KIND.	LF
6. PAINT 4" WIDE WHITE PAINTED STRIPE (TWO COATS) 45" @ 3" O.C., TYP. STENCIL "DROP-OFF ZONE" IN 12" HIGH LETTERING.	LF
7. INSTALL RELOCATED STREET LIGHT PER CITY OF PETALUMA STANDARD DETAIL 611.	EA
8. INSTALL STORM WATER DETENTION SYSTEM.	EA
9. CONSTRUCT TREE WELL PER LANDSCAPE PLANS.	EA
10. INSTALL HANDRAIL.	LF
11. INSTALL SIGN POST AND SIGNAGE.	EA

LEGEND	
---	PROPERTY LINE
---	EXCAVATION LIMITS
---	SAWCUT LINE
g	EXISTING GAS
sd	EXISTING STORM DRAIN
ss	EXISTING SANITARY SEWER
w	EXISTING WATER
---	PEDESTRIAN EASEMENT

EARTHWORK:	
CUT:	7136 C.Y.
FILL:	0 C.Y.
IMPORT:	0 C.Y.
EXPORT:	7136 C.Y.

EARTH WORK QUANTITIES ARE RAW ESTIMATES ONLY. NO MATERIAL SHRINKAGE OR EXPANSION FACTOR IS INCLUDED IN THIS ESTIMATE AND DOES NOT REFLECT SUBSIDENCE, OR ANY MATERIAL GENERATED BY UTILITY TRENCHING AND BUILDING FOOTINGS.

CIVIL - CONCEPTUAL SITE PLAN	
DRAWN BY	CHECKED BY
PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE	DATE
EIR SUPPLEMENT	04 APRIL 2024
EIR-1.3	
SHEET NUMBER	

NO.	DATE	REVISION DESCRIPTION	BY	DATE

DIGALERT
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811
AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

NOTICE TO CONTRACTOR:
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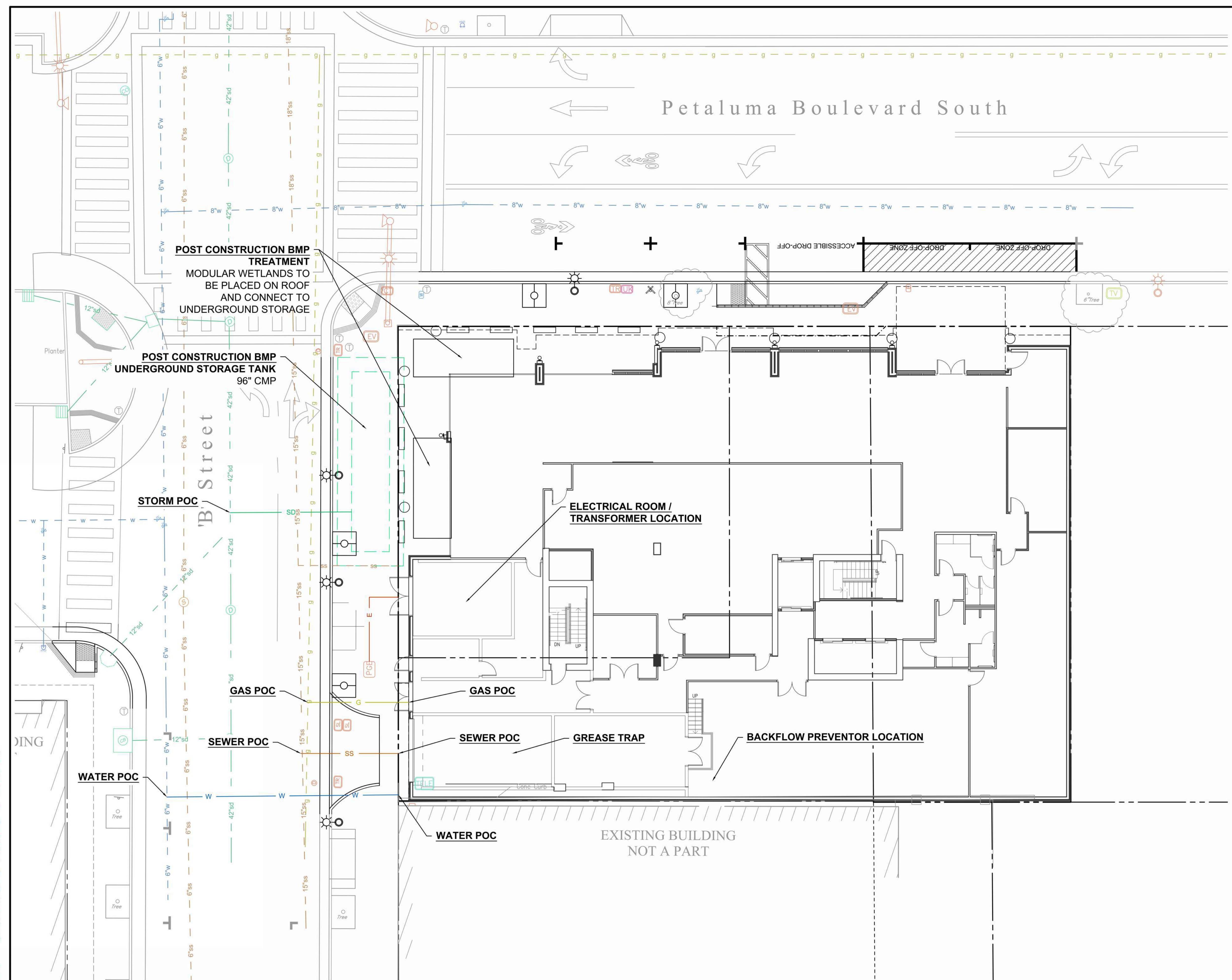
BENCH MARK
FOUND 3" BRASS DISK SET IN THE TOP OF A SANDSTONE WALL AT THE FOURTH STREET POST OFFICE, 0.3' ABOVE THE GROUND, STAMPED "12.045 JJ 107 1932", ELEVATION=15.20', NAVD88 DATUM (PER NGS DATASHEET). A CONVERSION FACTOR OF -2.795 SHOULD BE USED TO CONVERT NAVD88 ELEVATIONS TO NGVD29 ELEVATION.
BASIS OF BEARINGS
192 MAPS 26, SCR.

N CONSULTING ENGINEERS
17780 Fitch
Irvine, CA 92614
PHONE: 949.396.1161
www.nconsulting.com

REGISTERED PROFESSIONAL ENGINEER
DEREK H. KARIMOTO
No. 42356
Exp. 3/31/24
CIVIL
STATE OF CALIFORNIA

PROJECT ADDRESS: 2 PETALUMA BLVD PETALUMA, CA 94952	SITE: APPELLATION HOTEL
CLIENT: EKN DEVELOPMENT GROUP 220 NEWPORT CENTER DRIVE, SUITE 11-262 NEWPORT BEACH, CA 92660	TITLE: CONCEPTUAL SITE PLAN
ISSUE: SPAR APPLICATION SUBMITTAL - 2022-08-26	DRAWN BY: S.S.
	DATE: 3/30/2023
	PROJECT NO.:
	21-002
	CHECKED BY: D.H.K.
	REV. COUNT: 1 OF 1 SHEETS
	SHEET: SPAR C1

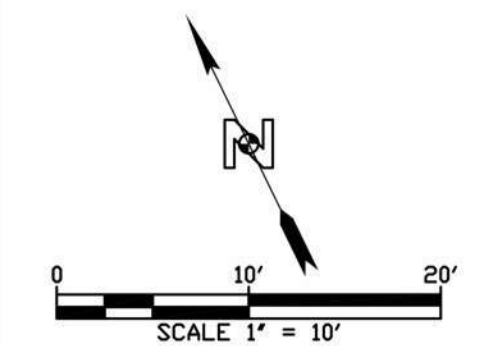
P:\21-002 EKN Petaluma Hotel\Drawings\Prelim\21002C10-CSP.rvtg Mar 30, 2023 - 5:23pm



LEGEND

— CA —	EXISTING UNDERGROUND CABLE
— C —	EXISTING UNDERGROUND COMMUNICATION
— E —	EXISTING UNDERGROUND POWER
— G —	EXISTING NATURAL GAS
— IR —	EXISTING IRRIGATION
— SD —	EXISTING STORM DRAIN
— SS —	EXISTING SANITARY SEWER
— T —	EXISTING TELEPHONE
— UT —	EXISTING GENERAL UTILITIES
— W —	EXISTING WATER
— CA —	PROPOSED UNDERGROUND CABLE
— C —	PROPOSED UNDERGROUND COMMUNICATION
— E —	PROPOSED UNDERGROUND POWER
— G —	PROPOSED NATURAL GAS
— IR —	PROPOSED IRRIGATION
— SD —	PROPOSED STORM DRAIN
— SS —	PROPOSED SANITARY SEWER
— T —	PROPOSED TELEPHONE
— UT —	PROPOSED GENERAL UTILITIES
— W —	PROPOSED WATER

NOT FOR CONSTRUCTION



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SURVEYOR'S BENCHMARK:
FOUND 3" BRASS DISK SET IN THE TOP OF A SANDSTONE WALL AT THE FOURTH STREET POST OFFICE, 0.3' ABOVE THE GROUND, STAMPED "12 045 JJ 107 1932", ELEVATION=15.20', NAVD88 DATUM (PER NGS DATASHEET). A CONVERSION FACTOR OF -2.795 SHOULD BE USED TO CONVERT NAVD88 ELEVATIONS TO NGVD29 ELEVATION.
BASIS OF BEARINGS:
192 MAPS 26, SCR.

N CONSULTING ENGINEERS
17780 Fitch
Irvine, CA 92614
PHONE: 949.396.1161
www.nconsulting.com

ISSUE: _____
PROJECT ADDRESS: 2 PETALUMA BLVD
PETALUMA, CA 94952
CLIENT: EKN DEVELOPMENT GROUP
220 NEWPORT CENTER DRIVE, SUITE 11-262
NEWPORT BEACH, CA 92660

SITE: EKN PETALUMA
TITLE: CONCEPTUAL UTILITY PLAN
DRAWN: S.S. SCALE AT D: 1" = 10' DATE: 9/15/2023 PROJECT NO: 21-002
CHECKED: D.H.K. REV: _____ COUNT: 1 OF 1 SHEETS SHEET: EXH11

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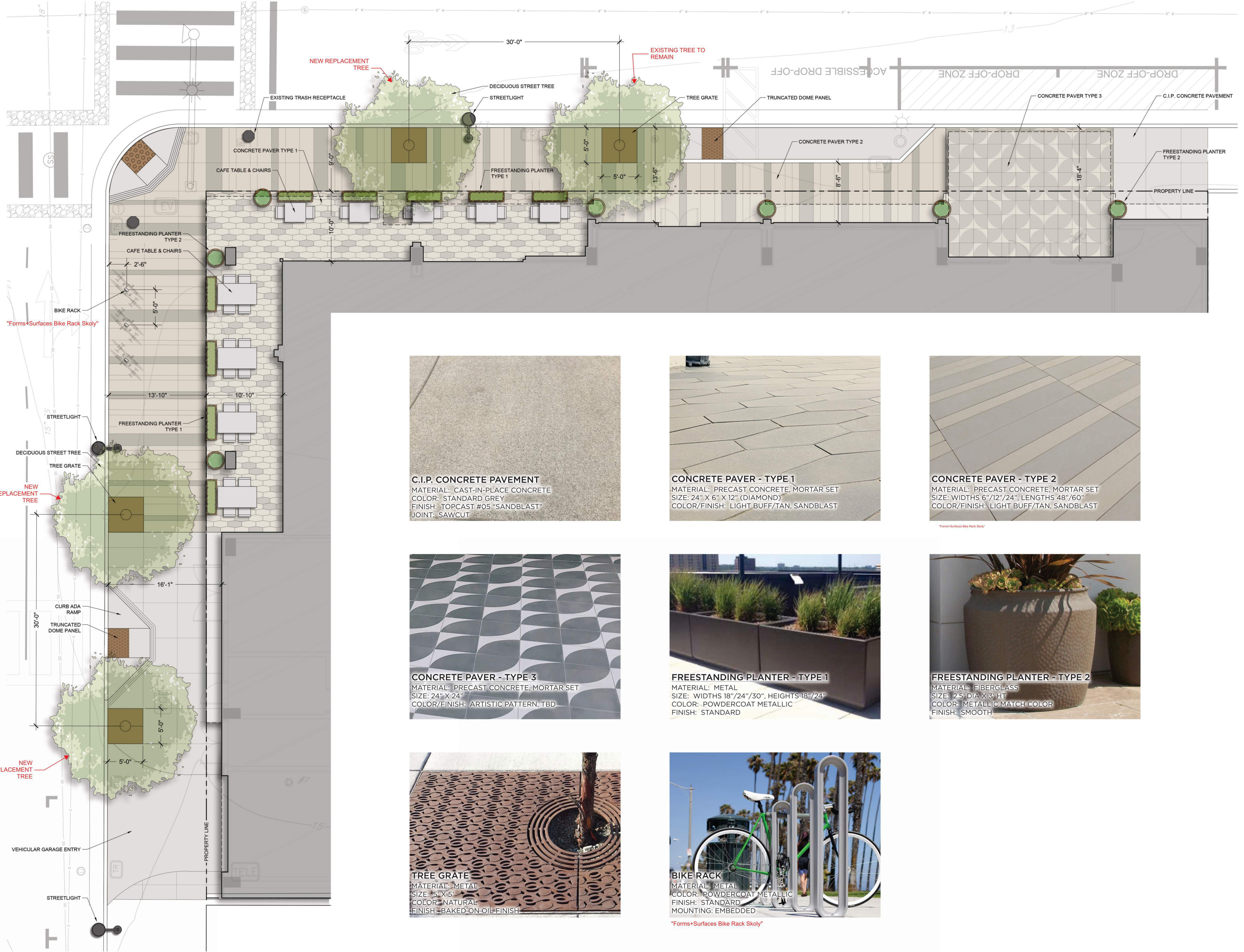
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CIVIL - CONCEPTUAL UTILITY PLAN

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PROJECT NUMBER: 621010 PROJECT ABBREVIATION: PH
ORIGINAL ISSUE DATE: 04 APRIL 2024
EIR SUPPLEMENT

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EKN APPELLATION
2 Petaluma Blvd South
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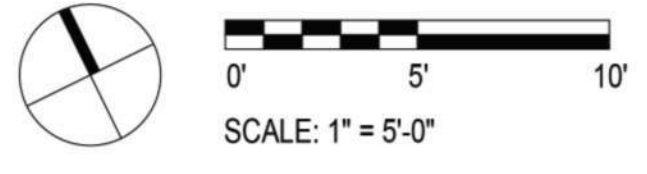
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STREET PLAN

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ORIGINAL ISSUE	DATE
EIR SUPPLEMENT	04 APRIL 2024



FILE PATH: Autodeskt_Docs//621010-Petaluma Hotel/621010-A-Petaluma-R23-CENTRAL.rvt
USER NAME: 4/4/2024 3:19:39 PM

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page@think.com

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Los Angeles CA 90017
323 536 2362

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1645 Grant Street
Denver, Colorado 80203
Address Line 3
949 238 4900

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Suite 1125
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213 694 3408

FF&E DH-COMPANIES
7591 Coppersmith Drive
Manassas, VA 20109
San Francisco, CA 94103

INTERIORS SIXTEEN FIFTY
7509 Girard Ave
La Jolla, CA 92037
858 454 6909

CIVIL N CONSULTING ENGINEERS
4 Park Plz
Irvine, CA 92614
949 399 1161

EKN Petaluma LLC
EKN APPELLATION
2 Petaluma Blvd South
Petaluma, California

NOTES

1. ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
2. ALL PLANT SIZES NOTED ON THE PLANT SCHEDULE ARE MINIMUM SPECIFICATIONS, AND ARE TO BE INCREASED IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
3. ALL LANDSCAPED AREAS TO RECEIVE ORGANIC SOIL PREPARATION WITH COMPOST AT THE RATE OF 4 CU. YD. / 1,000 SF AND INCORPORATED TO A DEPTH OF SIX INCHES. SOIL AMENDMENTS TO BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE REQUIRED SOILS REPORT AND AS APPROPRIATE FOR THE SPECIFIC PLANTS SPECIFIED.
4. A MINIMUM THREE-INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR AS NOTED ON PLANS.
5. ALL LANDSCAPED AREAS AND PLANT MATERIALS TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION AND MAINTENANCE TO CONFORM TO REQUIREMENTS FOUND IN THE MUNICIPAL CODE CHAPTER 15-17 - WATER CONSERVATION REGULATIONS.
6. ALL LANDSCAPING SHALL BE MAINTAINED IN HEALTHY GROWING CONDITION BY THE PERMIT HOLDER FOR A PERIOD OF 90 DAYS AFTER RECEIVING AN OCCUPANCY PERMIT. SUCH MAINTENANCE SHALL INCLUDE, WHERE APPROPRIATE, PRUNING, MOWING, WEEDING, CLEANING OF DEBRIS AND TRASH, FERTILIZING AND REGULAR WATERING. WHENEVER NECESSARY, PLANTING SHALL BE REPLACED WITH OTHER PLANT MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS. REQUIRED IRRIGATION SYSTEMS SHALL BE FULLY MAINTAINED IN SOUND OPERATING CONDITION WITH HEADS PERIODICALLY CLEANED AND REPLACED WHEN MISSING TO ENSURE CONTINUED REGULAR WATERING OF LANDSCAPE AREAS, AND HEALTH AND VITALITY OF LANDSCAPE MATERIALS.
7. HERBICIDES/PESTICIDES SHALL NOT BE APPLIED IN AREAS USED BY PEDESTRIANS/BICYCLISTS WITHIN THE PROJECT WITHOUT FIRST PROVIDING APPROPRIATE SIGNS WARNING OF THE USE OF CHEMICALS. THE PROJECT SHALL UTILIZE BEST MANAGEMENT PRACTICES (BMPs) REGARDING PESTICIDE/HERBICIDE USE AND AS WELL AS INTEGRATED PEST MANAGEMENT TECHNIQUES FOR THE PROTECTION OF BICYCLISTS AND PEDESTRIANS.
8. ALL TREE STAKES AND TIES SHALL BE REMOVED WITHIN ONE YEAR FOLLOWING INSTALLATION OR AS SOON AS TREES ARE ABLE TO STAND ERECT WITHOUT SUPPORT.
9. PRIOR TO PUBLIC IMPROVEMENT PLAN APPROVAL, REGARDING STREET TREES, THE PLAN SET SHALL:
 - 1) PROVIDE STRUCTURAL SOILS WITHIN ALL TREE WELLS, AND UNDER THE SIDEWALKS FOR A SIX-FOOT MINIMUM DISTANCE BEYOND ANY TREE WELL, FOR A 24-INCH MINIMUM DEPTH, AND FOR A LENGTH OF AT LEAST 8 FEET CENTERED ON EACH STREET TREE; AND
 - 2) NOTE IRRIGATION, WALK-ON MULCH, AND ROOT BARRIERS WHERE APPROPRIATE.

IRRIGATION SYSTEM INTENT

THE PRIMARY GOAL OF THE DESIGN OF THE IRRIGATION SYSTEM IS FOR A SYSTEM THAT WILL IRRIGATE THE PLANT MATERIALS WITH FOCUS ON WATER CONSERVATION TECHNOLOGIES AND SYSTEM EFFICIENCY TO GIVE THE OWNER A SYSTEM THAT MINIMIZES WATER CONSUMPTION AND MINIMAL MAINTENANCE COST. WHILE STILL PRELIMINARY IN NATURE AND AS YET NOT DESIGNED, THE SYSTEM WILL BE DESIGNED PER CITY OF PETALUMA STANDARDS AND REGULATIONS AND WILL FEATURE THE FOLLOWING:

1. POINT OF CONNECTION IS EXPECTED TO BE FROM A CITY WATER MAINLINE LOCATED IN EITHER PETALUMA BOULEVARD OR B STREET, WITH A PIPING INFRASTRUCTURE THAT WILL BE DESIGNED TO SUPPLY WATER TO ALL PLANTING AREAS THAT WILL REQUIRE IRRIGATION.
2. THE AUTOMATIC IRRIGATION CONTROLLER WILL BE AN ET BASED CENTRAL CONTROL SYSTEM THAT WILL UTILIZE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
3. PRESSURE REGULATORS WILL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
4. MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY, SUCH AS A MAINLINE BREAK, OR ROUTINE REPAIR.
5. A BACKFLOW PREVENTION DEVICE WILL BE INSTALLED TO PROTECT THE WATER SUPPLY FROM CONTAMINATION BY THE IRRIGATION SYSTEM.
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SITE LEGEND (THIS SHEET)

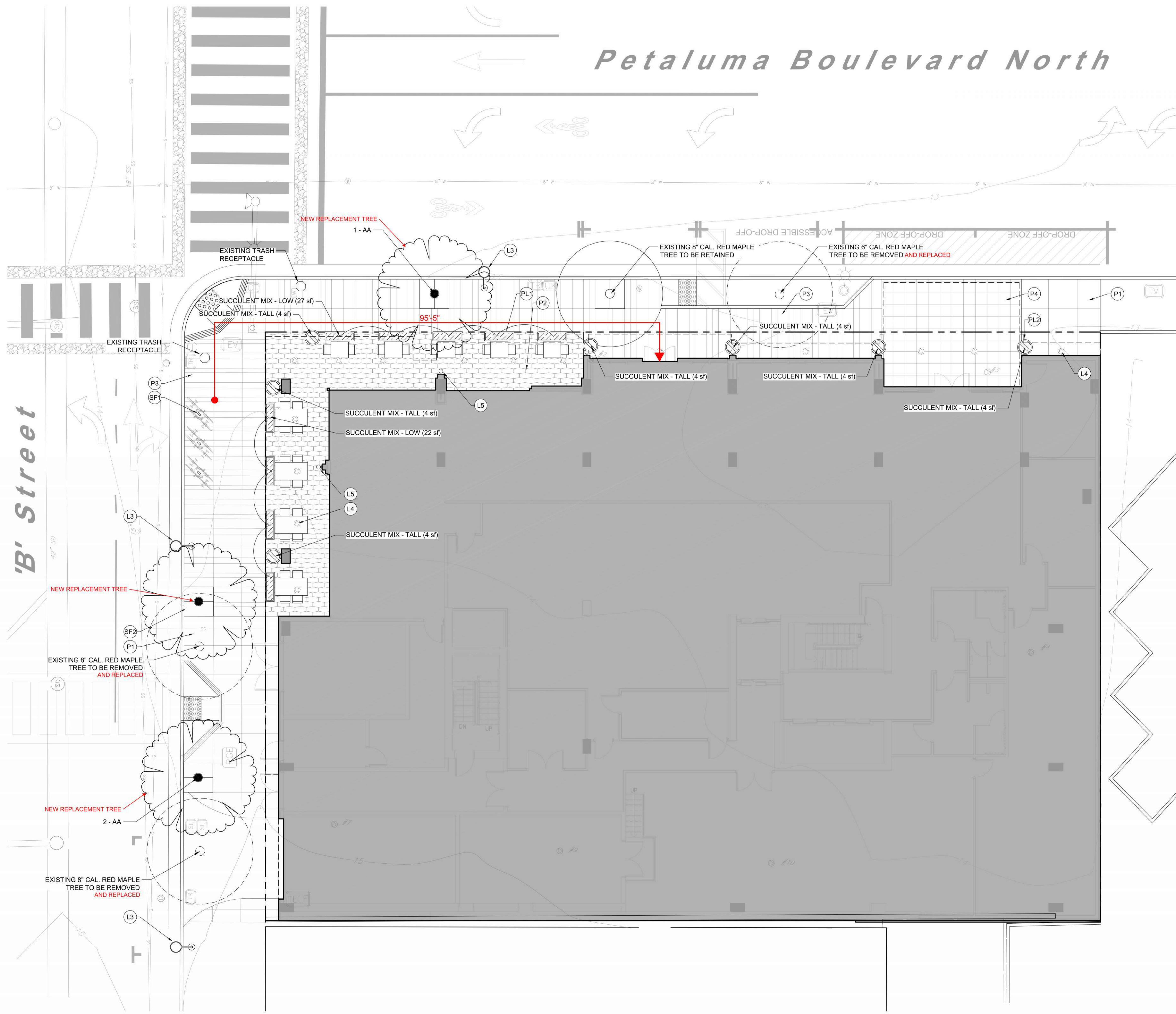
CODE	DESCRIPTION
PAVING	
P1	C.I.P. CONCRETE PAVEMENT
P2	PRECAST CONCRETE PAVER - TYPE 1 (ACCENT, DIAMOND, MORTAR SET)
P3	PRECAST CONCRETE PAVER - TYPE 2 (FIELD, RECTANGULAR, MORTAR SET)
P4	PRECAST CONCRETE PAVER - TYPE 3 (ACCENT, SQUARE, MORTAR SET)
PLANTERS	
PL1	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
PL2	FREESTANDING PLANTER - TYPE 2 (FIBERGLASS, ROUND)
SITE FURNISHINGS	
SF1	BIKE RACK "From Chains Use One Side" (METAL, 2 BICYCLES)
SF2	TREE GRATE (METAL, 5' X 5')
SITE LIGHTING	
L3	STREET/PEDESTRIAN LIGHT
L4	DOWNLIGHT
L5	WALL SCOCNE

PRELIMINARY WATER CALCULATIONS

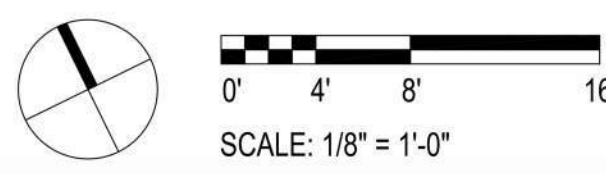
Reference Evapotranspiration (Eto)	39.60	Private - POC 1	Non-Residential								
Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Method	ETAF (PF/E) Landscape Area (Sq Ft)								
Regular Landscape Area											
LOW	0.3	Drip	1,363								
MEDIUM	0.5	Drip	160								
HIGH	0.7	Drip	0								
Regular Landscape Area Totals: 1,523											
Special Landscape Area											
Special Landscape Area Totals: 0											
ETWU Total: 14,819											
Maximum Allowed Water Allowance (MAWA)											
Over All Landscape Area Totals: 1,523 MAWA Total: 16,827											
<p>Hydrozone #/Planting Description</p> <p>E.g. 1) Front lawn 2) Low water use plantings 3) medium water use planting</p> <p>*ETAF (Annual Gallons Required) = Eto x 0.62 x ETAF x Area where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, and ETAF is .55 or residential areas and 0.45</p> <p>ETAF Calculations</p> <table border="1"> <thead> <tr> <th>Regular Landscape Area</th> <th>All Landscape Area (Including special landscape area)</th> </tr> </thead> <tbody> <tr> <td>Total ETAF x Area: 604</td> <td>Total ETAF x Area: 604</td> </tr> <tr> <td>Total Area: 1,523</td> <td>Total Area: 1,523</td> </tr> <tr> <td>Average ETAF: 0.40</td> <td>Site-wide ETAF: 0.40</td> </tr> </tbody> </table> <p>Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.</p>				Regular Landscape Area	All Landscape Area (Including special landscape area)	Total ETAF x Area: 604	Total ETAF x Area: 604	Total Area: 1,523	Total Area: 1,523	Average ETAF: 0.40	Site-wide ETAF: 0.40
Regular Landscape Area	All Landscape Area (Including special landscape area)										
Total ETAF x Area: 604	Total ETAF x Area: 604										
Total Area: 1,523	Total Area: 1,523										
Average ETAF: 0.40	Site-wide ETAF: 0.40										

PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	AA	3	ACER RUBRUM 'ARMSTRONG' ARMSTRONG RED MAPLE	36" BOX	MED
SHRUB AREAS					
	45 SF		SUCCULENT MIX - LOW		
	ADE	8	AEONIUM DECORUM PINWHEEL	1 GAL	LOW
	CPE	10	CRASSULA PERFORATA STRING-OF-BUTTONS	1 GAL	LOW
	DPU	10	DUDLEYA PULVERULENTA CHALK LETTUCE	1 GAL	LOW
	STE	38	SEMPERVIVUM TECTORUM HEN-AND-CHICKS	1 GAL	LOW
	SRO	5	SENECIO ROWLEYANUS STRING OF BEADS	1 GAL	LOW
	SSE	8	SENECIO SERPENS BLUE CHALKSTICKS	1 GAL	LOW
	28 SF		SUCCULENT MIX - TALL		
	ABG	6	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE	1 GAL	LOW
	SMA	21	SENECIO MANDRALISCAE BLUE FINGERS	1 GAL	LOW
	SRA	21	SENECIO RADICANS STRING OF BANANAS	1 GAL	LOW



SITE LANDSCAPE PLAN - LEVEL 01



REVISION HISTORY

REVISION	DESCRIPTION	DATE

INTERIM REVIEW
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*** choose ARCHITECT OR ENGINEER ***
from list in Family Types
IT IS NOT TO BE USED FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

SITE LANDSCAPE PLAN - LEVEL 01

DRAWN BY	CHECKED BY

PROJECT NUMBER 621010 PROJECT ABBREVIATION PH
ORIGINAL DATE 04 APRIL 2024
EIR SUPPLEMENT

EIR-1.6
SHEET NUMBER

REVISION HISTORY

REVISION DESCRIPTION DATE
PROFESSIONAL SEALS
INTERIM REVIEW
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SITE LANDSCAPE PLAN - LEVEL 02

DRAWN BY CHECKED BY
PROJECT NUMBER 621010 PROJECT ABBREVIATION PH
ORIGINAL ISSUE DATE 04 APRIL 2024
EIR SUPPLEMENT

EIR-1.7
SHEET NUMBER

NOTES

1. ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
2. ALL PLANT SIZES NOTED ON THE PLANT SCHEDULE ARE MINIMUM SPECIFICATIONS, AND ARE TO BE INCREASED IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
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4. A MINIMUM THREE-INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR AS NOTED ON PLANS.
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6. ALL LANDSCAPING SHALL BE MAINTAINED IN HEALTHY GROWING CONDITION BY THE PERMIT HOLDER FOR A PERIOD OF 90 DAYS AFTER RECEIVING AN OCCUPANCY PERMIT. SUCH MAINTENANCE SHALL INCLUDE, WHERE APPROPRIATE, PRUNING, MOWING, WEEDING, CLEANING OF DEBRIS AND TRASH, FERTILIZING AND REGULAR WATERING. WHENEVER NECESSARY, PLANTING SHALL BE REPLACED WITH OTHER PLANT MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS. REQUIRED IRRIGATION SYSTEMS SHALL BE FULLY MAINTAINED IN SOUND OPERATING CONDITION WITH HEADS PERIODICALLY CLEANED AND REPLACED WHEN MISSING TO ENSURE CONTINUED REGULAR WATERING OF LANDSCAPE AREAS, AND HEALTH AND VITALITY OF LANDSCAPE MATERIALS.
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IRRIGATION SYSTEM INTENT

THE PRIMARY GOAL OF THE DESIGN OF THE IRRIGATION SYSTEM IS FOR A SYSTEM THAT WILL IRRIGATE THE PLANT MATERIALS WITH FOCUS ON WATER CONSERVATION TECHNOLOGIES AND SYSTEM EFFICIENCY TO GIVE THE OWNER A SYSTEM THAT MINIMIZES WATER CONSUMPTION AND MINIMAL MAINTENANCE COST. WHILE STILL PRELIMINARY IN NATURE AND AS YET NOT DESIGNED, THE SYSTEM WILL BE DESIGNED PER CITY OF PETALUMA STANDARDS AND REGULATIONS AND WILL FEATURE THE FOLLOWING:

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SITE LEGEND (THIS SHEET)

CODE	DESCRIPTION
PAVING	
P5	PRECAST CONCRETE PAVER - TYPE 4 (FIELD, SQUARE, MORTAR SET)
P6	SYNTHETIC TURF OVER BASE TILE (MORTAR SET)
PLANTERS	
PL1	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
PL3	BUILT-IN PLANTER (METAL, RECTANGULAR)
SITE LIGHTING	
L1	BOLLARD

PRELIMINARY WATER CALCULATIONS

Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PFIE)	Landscape Area (Sq.Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Area							
LOW	0.3	Drip	0.81	0.37	1,363	505	12,384
MEDIUM	0.5	Drip	0.81	0.62	160	99	2,425
HIGH	0.7	Drip	0.81	0.86	-	-	-
				1	0.00	-	-
Regular Landscape Area Totals:					1,523	604	-
Special Landscape Area							
				1	-	-	-
				1	-	-	-
Special Landscape Area Totals:					0	0	-
ETWU Total:						14,819	-
Maximum Allowed Water Allowance (MAWA)							
Over All Landscape Area Totals:					1,523	16,827	-

*Hydrozone # / Planting Description
E.g. 1) root lawn
2) low water use plantings
3) medium water use planting

*Irrigation Method
overhead spray
or drip

*Irrigation Efficiency
0.75 for spray
0.81 for drip

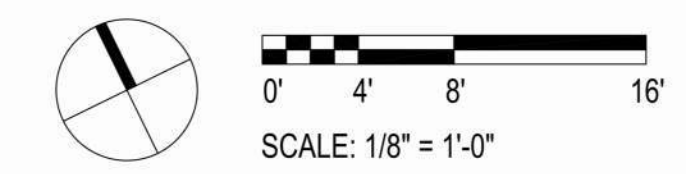
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PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	
	CO	10	CERCIS OCCIDENTALIS WESTERN REDBUD	15 GAL.	V LOW	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
		372 SF	PLANTER MIX			
	AYG	20	ANIGOZANTHOS X 'YELLOW GEM'	1 GAL.	LOW	20% @ 24" o.c.
	KUV	20	YELLOW GEM KANGAROO PAW	1 GAL.	LOW	20% @ 24" o.c.
	PDD	9	KNIPHOFIA UVARIA	5 GAL.	LOW	20% @ 36" o.c.
	PTW	9	RED HOT POKER	5 GAL.	LOW	20% @ 36" o.c.
	WFR	9	PHORMIUM X 'DARK DELIGHT'	5 GAL.	LOW	20% @ 36" o.c.
			DARK DELIGHT PURPLE FLAX	5 GAL.	LOW	20% @ 36" o.c.
			PITTOSPORUM TOBIRA 'WHEELER'S DWARF'	5 GAL.	LOW	20% @ 36" o.c.
			WHEELER'S DWARF PITTOSPORUM	5 GAL.	LOW	20% @ 36" o.c.
			WESTRINGIA FRUTICOSA 'WES05' TM	5 GAL.	LOW	20% @ 36" o.c.
			MUNDI COAST ROSEMARY			
		351 SF	GREEN ROOF - SEDUM MIX			



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SITE LEGEND (THIS SHEET)

CODE	DESCRIPTION
PAVING	
(P4)	PRECAST CONCRETE PAVER - TYPE 3 (ACCENT, SQUARE, ON PEDESTAL)
(P7)	PRECAST CONCRETE PAVER - TYPE 5 (FIELD, RECTANGULAR, ON PEDESTAL)
(P8)	WOOD TILE PAVER (ACCENT, RECTANGULAR, ON PEDESTAL)
PLANTERS	
(PL1)	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
(PL2)	FREESTANDING PLANTER - TYPE 2 (FIBERGLASS, ROUND)
(PL3)	BUILT-IN PLANTER (METAL, RECTANGULAR)
SITE LIGHTING	
(L1)	BOLLARD
(L2)	UPLIGHT

PRELIMINARY WATER CALCULATIONS

Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Area							
LOW	0.3	Drip	0.81	0.37	1,363	505	12,394
MED/ML	0.5	Drip	0.81	0.62	190	99	2,425
HIGH	0.7	Drip	0.81	0.86	-	-	-
					1	0.00	-
					1,523	604	-
Special Landscape Area							
					1	-	-
					1	-	-
					0	0	-
					0	0	-
					1,523	1,604	14,819
					Maximum Allowed Water Allowance (MAWA)		
Over All Landscape Area Totals:					1,523	MAWA Total:	16,827

***Hydrozone # / Planting Description**
E.g. 1) front lawn
2) low water use plantings
3) medium water use planting

***Irrigation Method**
overhead spray
or drip

***Irrigation Efficiency**
0.75 for spray
0.81 for drip

***ETWU (Annual Gallons Required) =**
Eto x 0.62 x ETAF x Area
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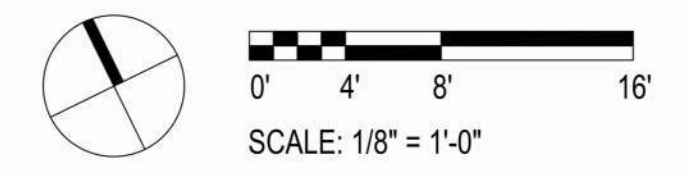
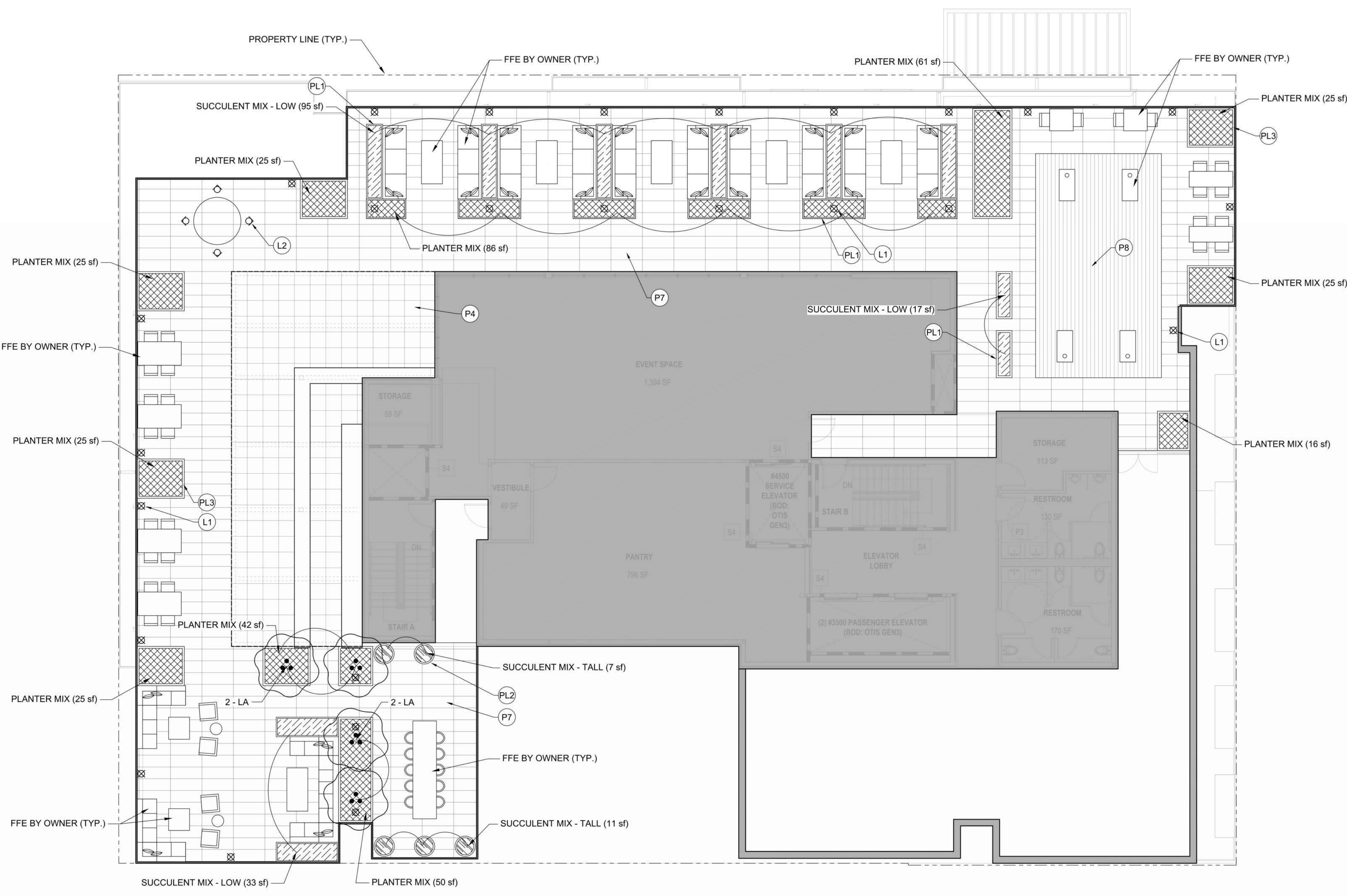
ETAF Calculations

Regular Landscape Area	All Landscape Area (including special landscape area)
Total ETAF x Area: 604	Total ETAF x Area: 604
Total Area: 1,523	Total Area: 1,523
Average ETAF: 0.40	Site-wide ETAF: 0.40

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
(LA)	LA	4	LUMA APICULATA CHILEAN MYRTLE	15 GAL.	MED
SHRUB AREAS					
(ADE)	ADE	23	SUCCULENT MIX - LOW	1 GAL.	LOW
(CPE)	CPE	30	AEONIUM DECORUM PINWHEEL	1 GAL.	LOW
(DPU)	DPU	30	CRASSULA PERFORATA STRING-OF-BUTTONS	1 GAL.	LOW
(STE)	STE	120	DUDLEYA PULVERULENTA CHALK LETTUCE	1 GAL.	LOW
(SRO)	SRO	15	SEMPERIVIVUM TECTORUM HEN-AND-CHICKS	1 GAL.	LOW
(SSE)	SSE	23	SENECIO ROWLEYANUS STRING OF BEADS	1 GAL.	LOW
			SENECIO SERPENS BLUE CHALKSTICKS	1 GAL.	LOW
(ABG)	ABG	5	SUCCULENT MIX - TALL	1 GAL.	LOW
(SMA)	SMA	15	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE	1 GAL.	LOW
(SRA)	SRA	15	SENECIO MANDRALISCAE BLUE FINGERS	1 GAL.	LOW
			SENECIO RADICANS STRING OF BANANAS	1 GAL.	LOW
PLANTER MIX					
(AYG)	AYG	21	ANIGOZANTHOS X 'YELLOW GEM' YELLOW GEM KANGAROO PAW	1 GAL.	LOW
(KUV)	KUV	21	KNIPHOFIA UVARIA RED HOT POKER	1 GAL.	LOW
(PDD)	PDD	10	PHORMIUM X 'DARK DELIGHT' DARK DELIGHT PURPLE FLAX	5 GAL.	LOW
(PTW)	PTW	10	PITTOSPORIUM TOBIRA 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORIUM	5 GAL.	LOW
(WFR)	WFR	10	WESTRINGIA FRUTICOSA 'WES05' TM MUNDI COAST ROSEMARY	5 GAL.	LOW



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SITE LANDSCAPE PLAN - LEVEL 06

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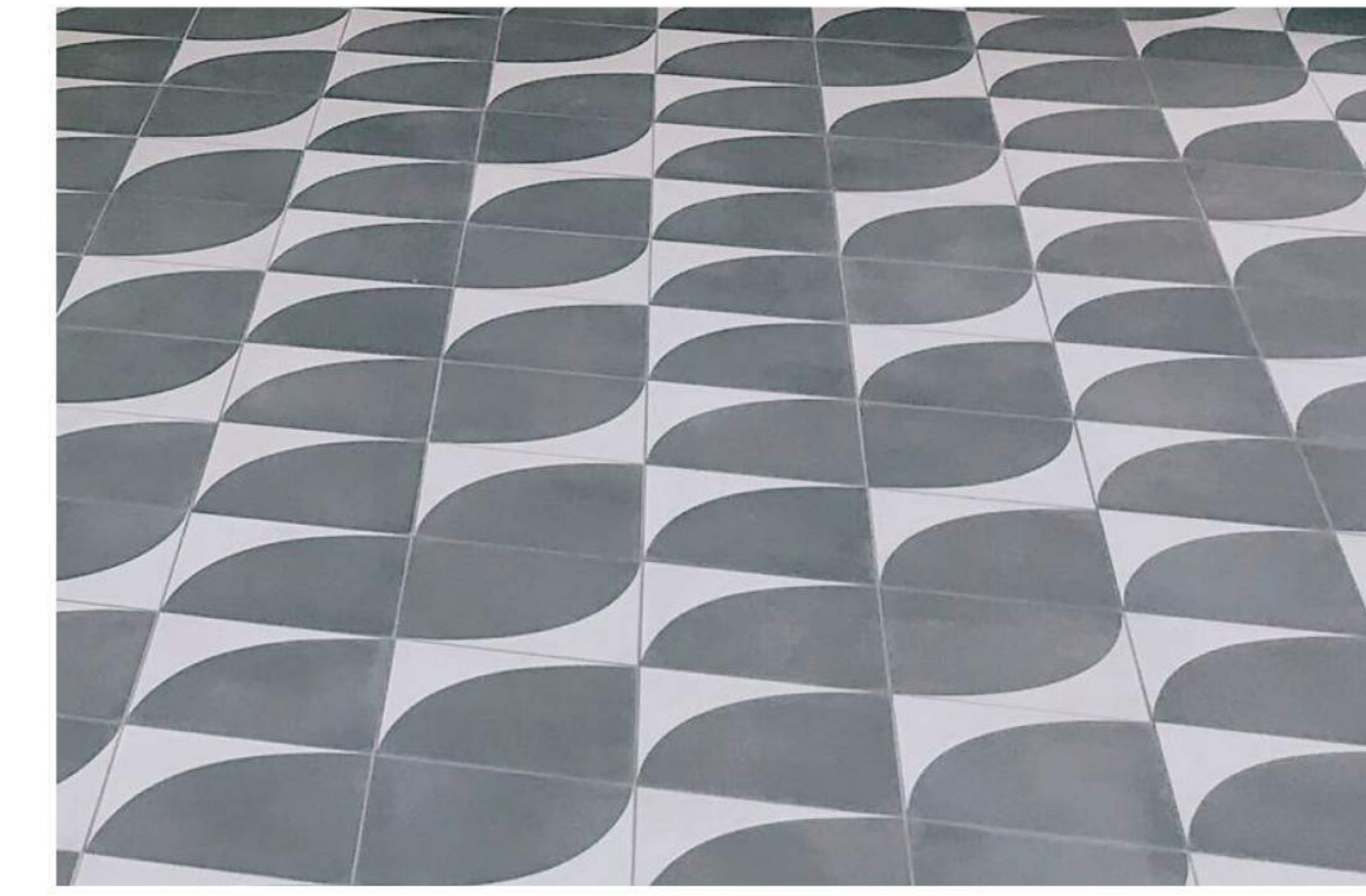
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SF1 BIKE RACK
 MATERIAL: METAL
 COLOR: POWDERCOAT METALLIC
 FINISH: STANDARD
 MOUNTING: EMBEDDED



P8 WOOD TILE PAVER
 MATERIAL: WOOD, PEDESTAL SET
 SIZE: 24" X 96"
 COLOR/FINISH: STANDARD COLOR RANGE



P4 CONCRETE PAVER - TYPE 3
 MATERIAL: PRECAST CONCRETE, MORTAR/
 PEDESTAL SET
 SIZE: 24" X 24"
 COLOR/FINISH: ARTISTIC PATTERN, TBD



PL3 BUILT-IN PLANTER
 MATERIAL: METAL
 SIZE: 36" HT
 COLOR: POWDERCOAT METALLIC
 FINISH: STANDARD



P7 CONCRETE PAVER - TYPE 5
 MATERIAL: PRECAST CONCRETE, PEDESTAL SET
 SIZE: 18" X 48"
 COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST



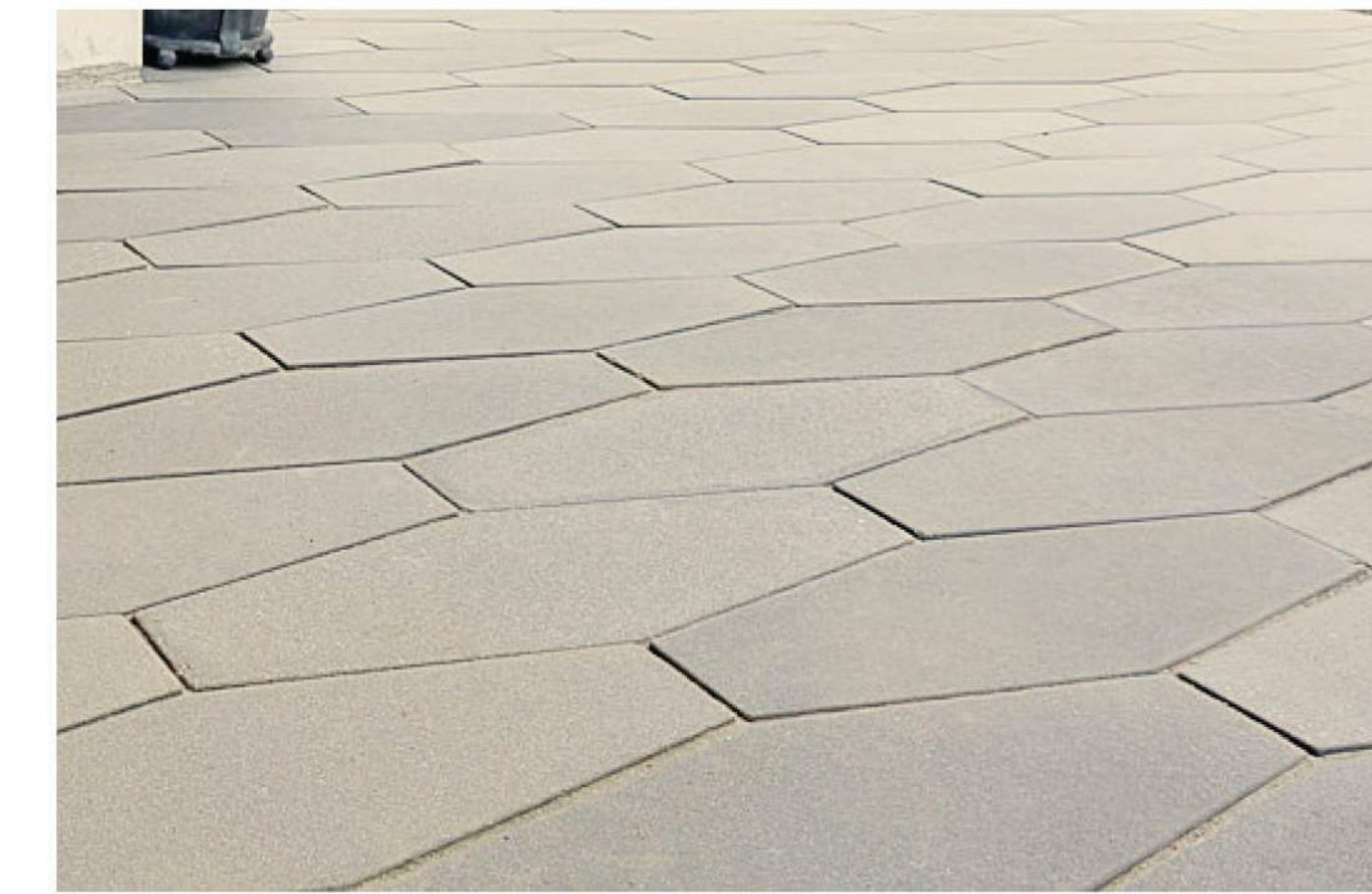
P3 CONCRETE PAVER - TYPE 2
 MATERIAL: PRECAST CONCRETE, MORTAR SET
 SIZE: WIDTHS 6"/12"/24", LENGTHS 48"/60"
 COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST



PL2 FREESTANDING PLANTER - TYPE 2
 MATERIAL: FIBERGLASS
 SIZE: 2.5' DIA X 3' HT
 COLOR: METALLIC MATCH COLOR
 FINISH: SMOOTH



P6 SYNTHETIC TURF OVER TILE
 MATERIAL: SYN TURF, PEDESTAL SET
 SIZE: 24" X 24"
 COLOR/FINISH: STANDARD COLOR RANGE



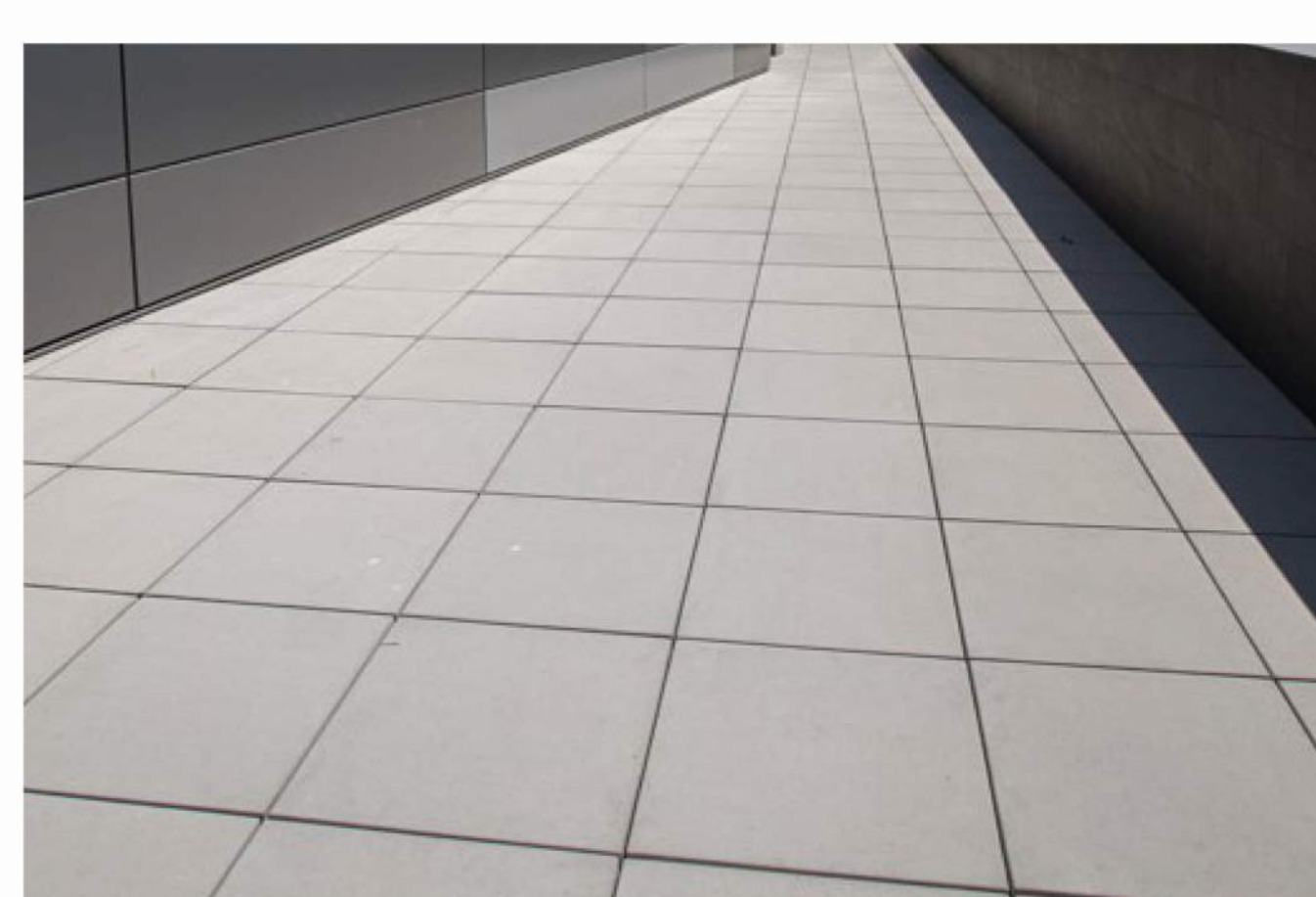
P2 CONCRETE PAVER - TYPE 1
 MATERIAL: PRECAST CONCRETE, MORTAR SET
 SIZE: 24" X 6" X 12" (DIAMOND)
 COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST



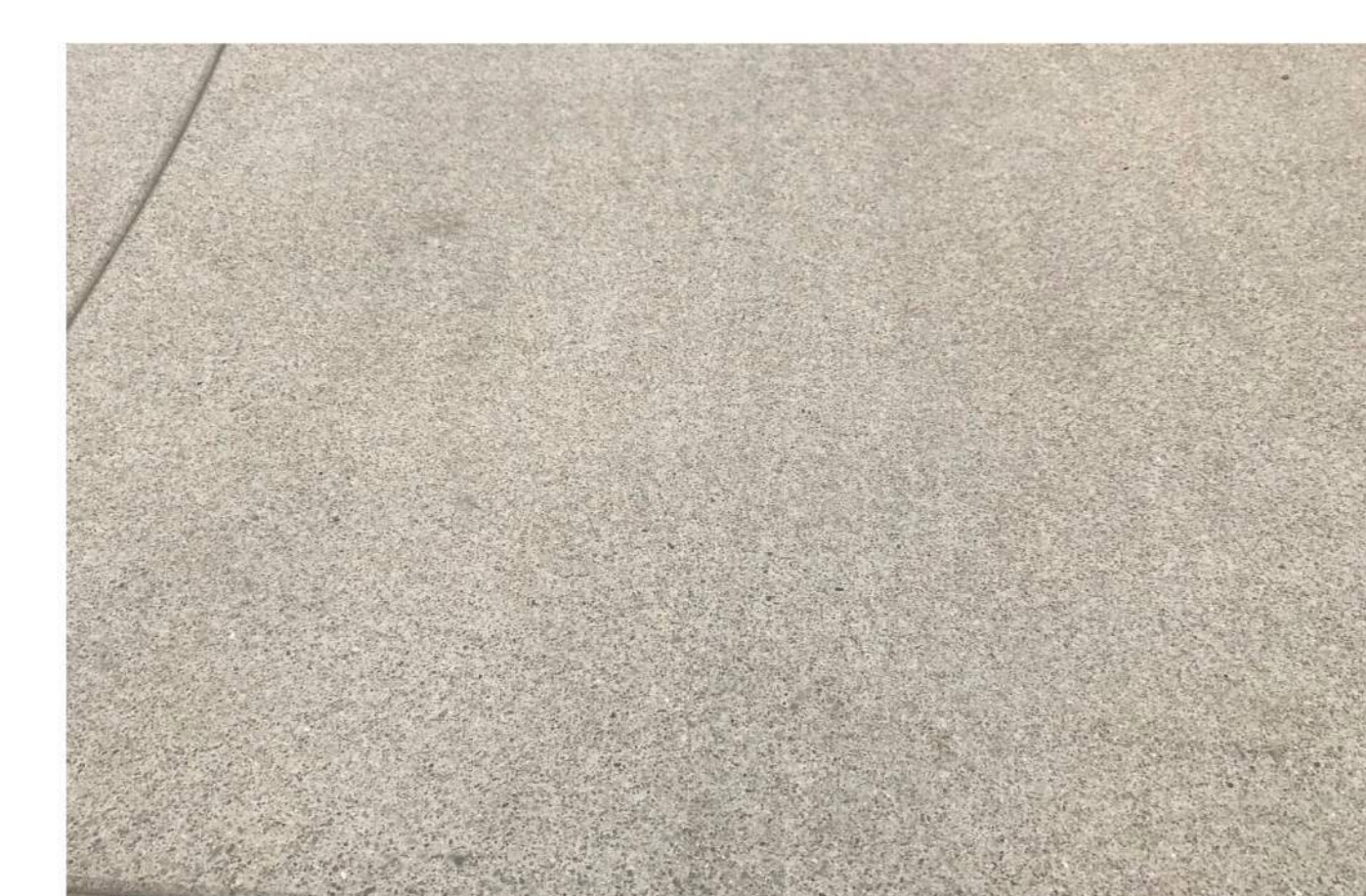
SF2 TREE GRATE
 MATERIAL: METAL
 SIZE: 5' X 5'
 COLOR: NATURAL
 FINISH: BAKED ON OIL FINISH



PL1 FREESTANDING PLANTER - TYPE 1
 MATERIAL: METAL
 SIZE: WIDTHS 18"/24"/30", HEIGHTS 18"/24"
 COLOR: POWDERCOAT METALLIC
 FINISH: STANDARD



P5 CONCRETE PAVER - TYPE 4
 MATERIAL: PRECAST CONCRETE, PEDESTAL SET
 SIZE: 24" X 24"
 COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST



P1 C.I.P. CONCRETE PAVEMENT
 MATERIAL: CAST-IN-PLACE CONCRETE
 COLOR: STANDARD GREY
 FINISH: TOPCAST #05 "SANDBLAST"
 JOINT: SAWCUT

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SITE LANDSCAPE MATERIALS

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EXTERIOR GENERAL NOTES

- 1. FOR ALL EXTERIOR MATERIALS SEE MATERIALS BOARD.
- 2. ALL MATERIALS NEED TO BE APPROVED.

KEYED NOTES

NUMBER	DESCRIPTION
1	CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY LOCATION: LEVEL 1 EXTERIOR FINISH
2	CLADDING - DECORATIVE TILE 02 - DIMENSIONAL ANGLED TRIANGLE TILE - TWO TONE LOCATION: LEVEL 1 EXTERIOR FINISH - BELOW STOREFRONT
3	CLADDING - PORCELANOSA MAKER ROPE LOCATION: GENERAL MASS EXTERIOR FINISH
4	CLADDING - PORCELANOSA MAKER SMOKE LOCATION: TOP MASS (LEVEL 05) EXTERIOR FINISH
6	CUSTOM CUT METAL PANEL - BRONZE LOCATION: ENTRY CANOPY
7	NOT USED
8	METAL - DARK BRONZE LOCATION: ALL METAL FRAMES
9	STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE LOCATION: SOUTH ELEVATION
10	FLUTED CORNICE TILE LOCATION: NORTH, EAST AND WEST ELEVATIONS
11	RAILING - STRUCTURAL GLASS LOCATION: ALL RAILINGS
13 - DB	OUTDOOR SCENCE LOCATION: LEVEL 5 GUESTROOM BALCONIES
12 - DA	OUTDOOR SCENCE LOCATION: LEVEL 1 RESTAURANT
14	CLADDING - ALUMINUM WOODGRAIN KNOTWOOD DARTWOOD LOCATION: EXTERIOR ROOFTOP WALL FINISH

WINDOW TYPE LEYEND

- TYPE 01: FIXED WINDOWS
- TYPE 02: STOREFRONT
- TYPE 03: STACKING OPERABLE PANELS IN STOREFRONT
- TYPE 04: SLIDING OPERABLE PANELS IN STOREFRONT
- TYPE 05: FULL HEIGHT ONE SLIDING PANEL
- TYPE 06: SLIDING OPERABLE WALL
- *ALL WINDOWS TO BE IN CLEAR GLASS AND DARK BRONZE METAL

EXTERIOR ELEVATION LEGEND

- 1. CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY.
- 2. CLADDING - DECORATIVE TILE 02 - DIMENSIONAL ANGLED TRIANGLE TILE - TWO TONE.
- 3. CLADDING - PORCELANOSA - MAKER ROPE.
- 4. CLADDING - PORCELANOSA - MAKER SMOKE.
- 5. GLASS - CLEAR.
- 6. CUSTOM CUT METAL PANEL - BRONZE.
- 7. CLADDING - PORCELANOSA MANHATTAN COGNAC.
- 8. METAL - DARK BRONZE.
- 9. STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE.
- 10. DECORATIVE CORNICE TILE.
- 11. RAILING - STRUCTURAL GLASS.
- 12. DA - LIGHTING FIXTURE SCENCE - BLUE RENZO
- 13. DB - LIGHTING FIXTURE OUTDOOR SCENCE.
- 14. CLADDING - ALUMINUM WOODGRAIN.

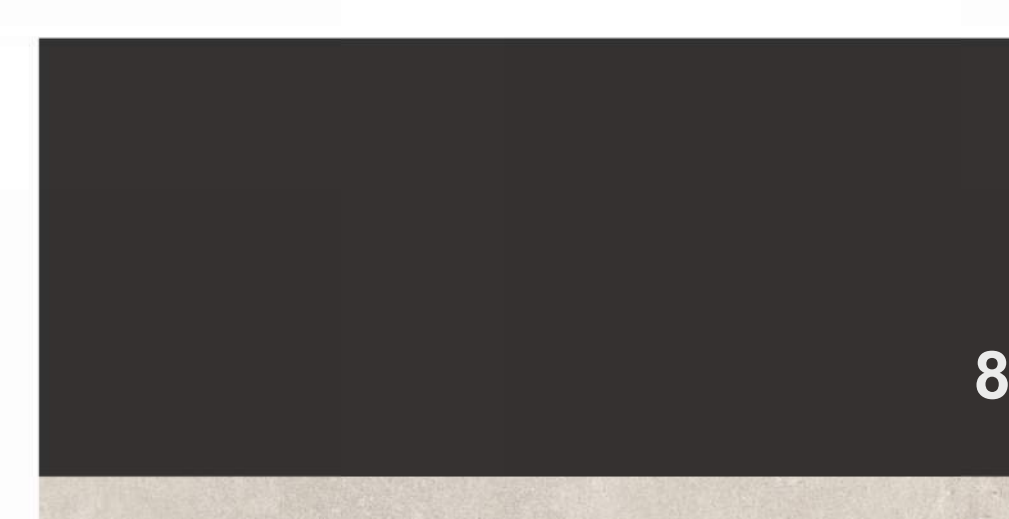
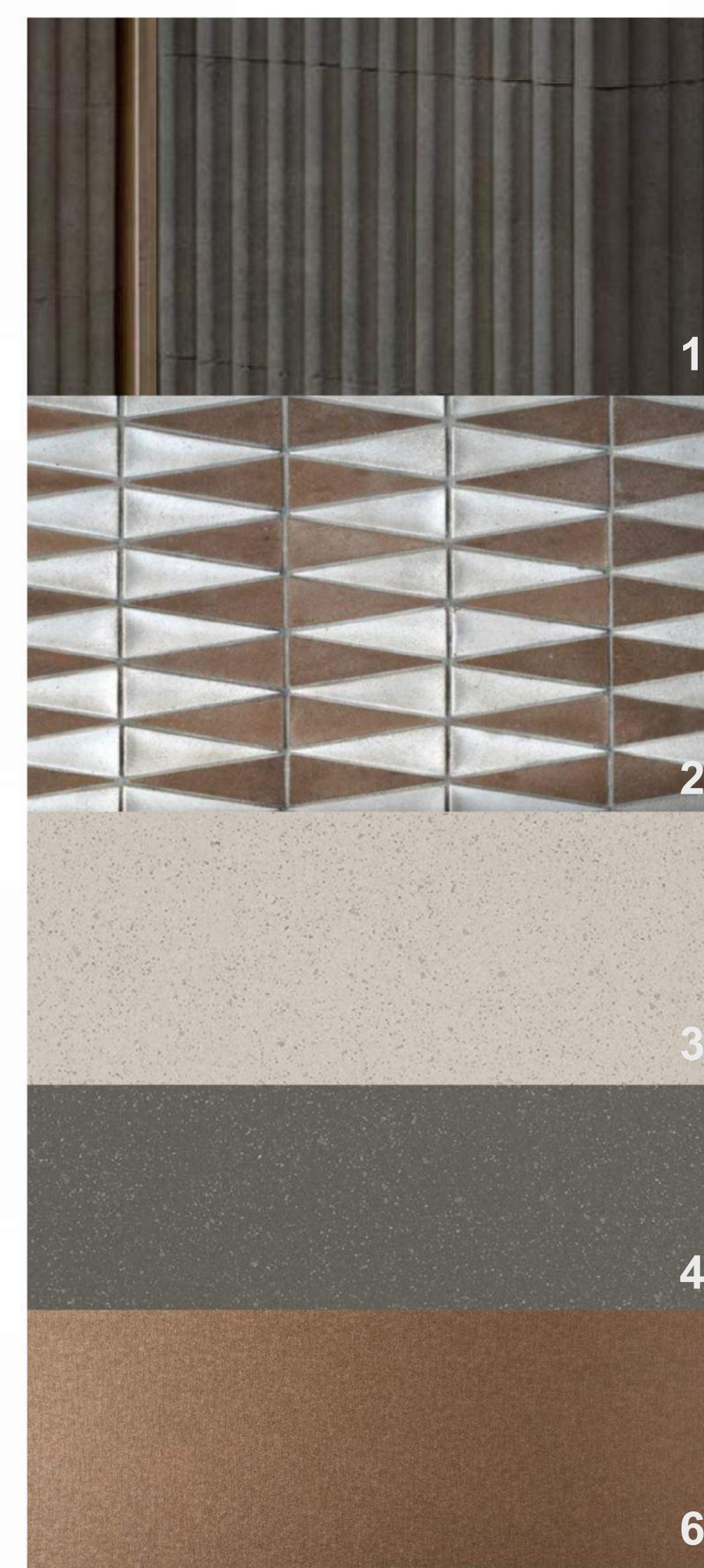
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EXTERIOR GENERAL NOTES

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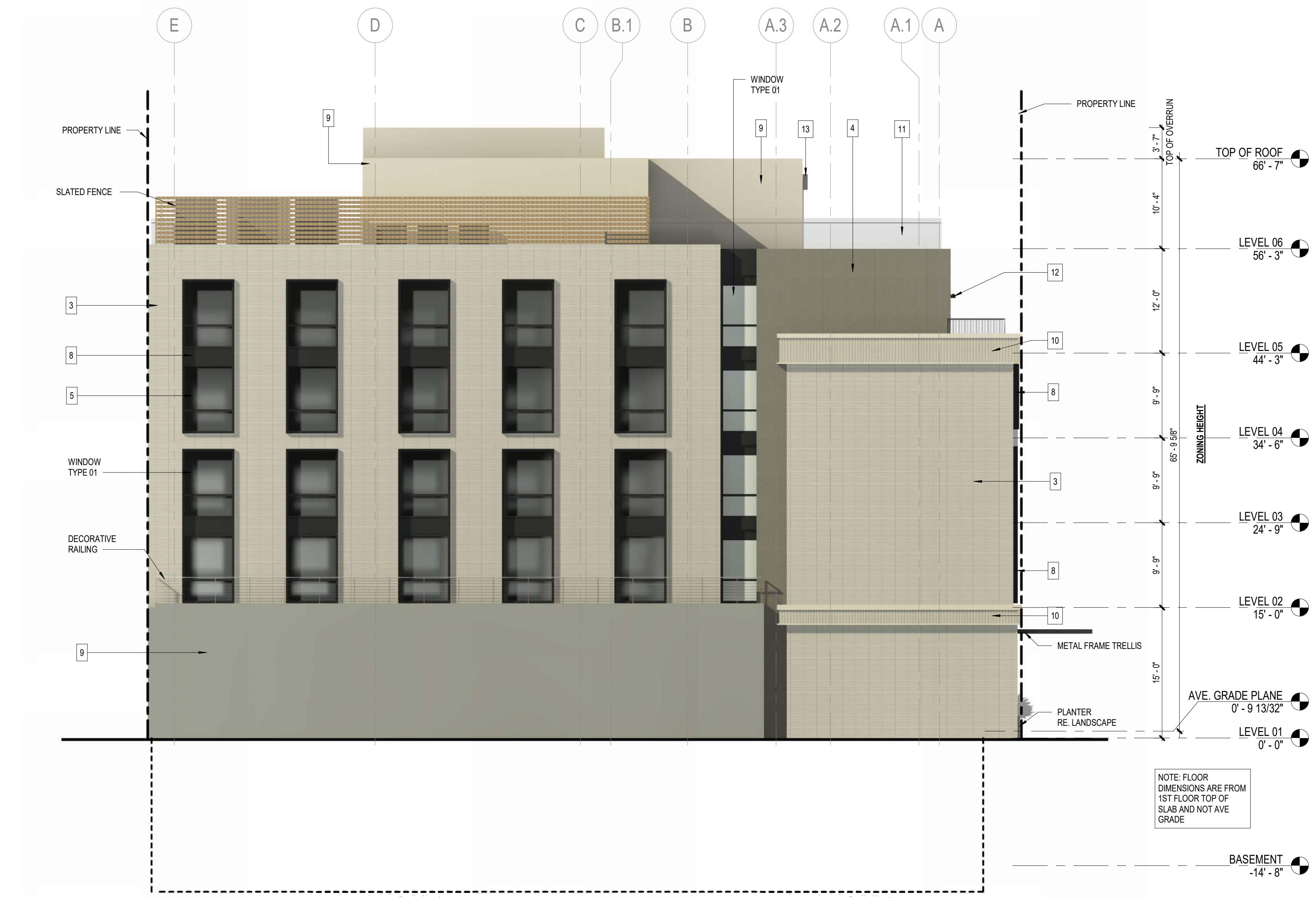
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WINDOW TYPE LEYEND

- TYPE 01: FIXED WINDOWS
 - TYPE 02: STOREFRONT
 - TYPE 03: STACKING OPERABLE PANELS IN STOREFRONT
 - TYPE 04: SLIDING OPERABLE PANELS IN STOREFRONT
 - TYPE 05: FULL HEIGHT ONE SLIDING PANEL
 - TYPE 06: SLIDING OPERABLE WALL
- *ALL WINDOWS TO BE IN CLEAR GLASS AND DARK BRONZE METAL.

EXTERIOR ELEVATION LEGEND

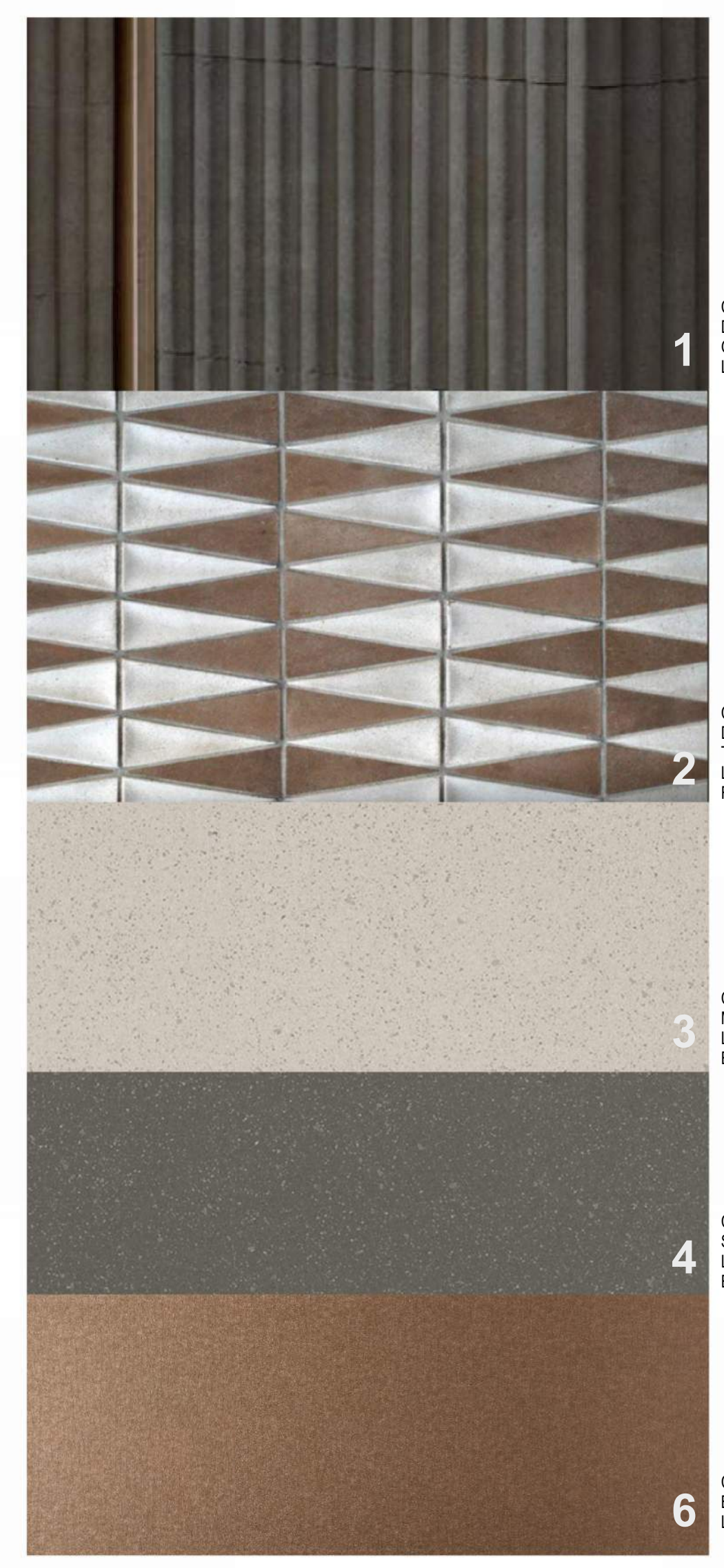
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- CLADDING - PORCELANOSA - MAKER ROPE
- CLADDING - PORCELANOSA - MAKER SMOKE
- GLASS - CLEAR
- CUSTOM CUT METAL PANEL - BRONZE
- CLADDING - PORCELANOSA MANHATTAN COGNAC
- METAL - DARK BRONZE
- STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE
- DECORATIVE CORNICE TILE
- RAILING - STRUCTURAL GLASS
- DA - LIGHTING FIXTURE SCONCE - BLUE RENZO
- DB - LIGHTING FIXTURE OUTDOOR SCONCE
- CLADDING - ALUMINUM WOODGRAIN



1 ARCHITECTURAL - EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 ARCHITECTURAL - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1



2



3



4



6



7



8



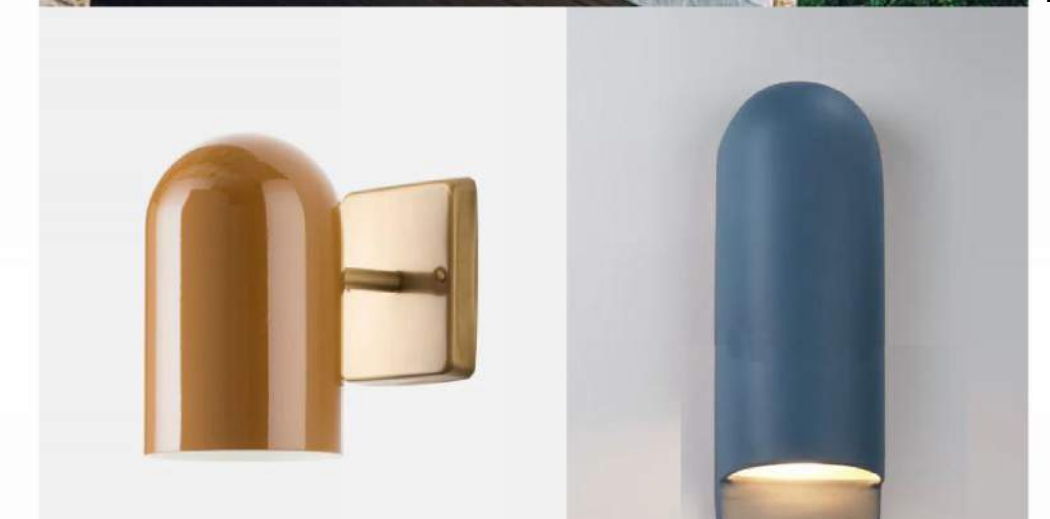
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10



11



13 - DB



12 - DA



14

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