

CREEKWOOD

SB 330 PRELIMINARY APPLICATION 59 UNIT CONDOMINIUM PROJECT VESTING TENTATIVE PARCEL MAP

270 & 280 CASA GRANDE ROAD APN 017-040-051 & 016
PETALUMA, CALIFORNIA

PROJECT DATA

PROPERTY DATA:

SITE ADDRESS: 270 & 280 CASA GRANDE ROAD
APN 017-040-051 & 016
SITE GROSS AREA: 5.198 ACRES (226,415 S.F.)

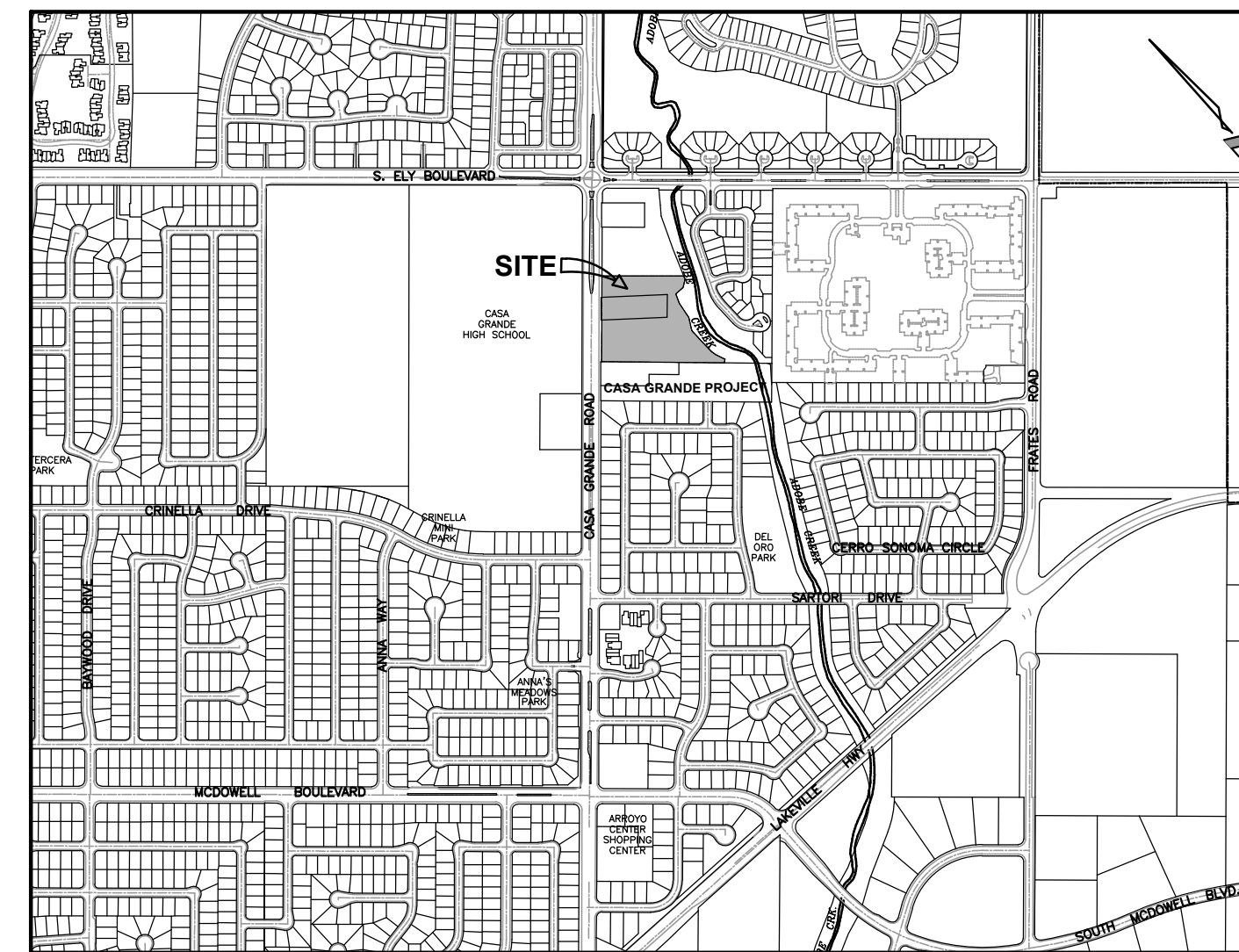
ZONING AND LAND USE:

EXISTING ZONING: RESIDENTIAL 4 (R4)
EXISTING LAND USE: MEDIUM DENSITY RESIDENTIAL (MDR)
(8.1 TO 18.0 UNITS/ACRE)
COVERAGE: 60% MAXIMUM

PROJECT ZONING AND LAND USE:

PROJECT ZONING: RESIDENTIAL 4 (R4)
PROJECT LAND USE: MEDIUM DENSITY RESIDENTIAL (MDR)
(8.1 TO 18.0 UNITS/ACRE)
PROJECT UNITS (TOTAL): 59 CONDOMINIUM UNITS
TOTAL SITE GROSS AREA: 5.198 ACRES (226,415 S.F.)
PROJECT SITE GROSS AREA: 4.561 ACRES (198,661 S.F.)*
PROJECT NET AREA: 4.072 ACRES (177,356 S.F.)**
PROJECT DENSITY: 14.49 UNITS/ACRE
PROJECT COVERAGE (TOTAL): 32.61%

* EXCLUDES DESIGNATED REMAINDER (NOT A PART OF PROJECT)
**EXCLUDES PUBLIC VEHICULAR ACCESS



VICINITY MAP
N.T.S.

OWNERS

MALNATI & PEDRANI TRUST
RON MALNATI
270 CASA GRANDE ROAD
PETALUMA, CALIFORNIA 94954
707-328-8559 VOICE
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ALLENA TRUST
IN CARE OF RAY ALLENA
280 CASA GRANDE ROAD
PETALUMA, CALIFORNIA 94954
707-695-9690 VOICE
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APPLICANT

FALCON POINT ASSOCIATES, LLC
c/o DRG BUILDERS
3495 BUSKIRK AVENUE #104
PLEASANT HILL, CALIFORNIA 94523
925-939-3473 VOICE
doyle@drgbuilders.com

UTILITIES

FIRE PROTECTION CITY OF PETALUMA
WATER CITY OF PETALUMA
SANITARY SEWER CITY OF PETALUMA
STORM DRAIN CITY OF PETALUMA

CONSULTANTS

CIVIL ENGINEER STEVEN J. LAFRANCHI & ASSOCIATES, INC.
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PETALUMA, CALIFORNIA 94952
707.762.3122 VOICE
707.762.3239 FAX
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andrea@sjla.com

LAND SURVEYOR

LANDSCAPE ARCHITECT

ARCHITECT ECN ARCHITECTURE
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AIR QUALITY NOISE ILLINGWORTH & RODKIN, INC.
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COTATI, CA 94931
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fsvinth@illingworthrodkin.com



SITE DIAGRAM
SCALE: 1"=200'

SHEET INDEX

- C-1 COVER SHEET
- C-2 CONTEXT PLAN
- C-3 EXISTING CONDITIONS EXHIBIT
- C-4 DEMOLITION AND PRESERVATION PLAN
- C-5 DENSITY LAND USE PLAN
- C-6 SITE COVERAGE EXHIBIT
- C-7 VESTING TENTATIVE PARCEL MAP
- C-8 CONDOMINIUM SITE DEVELOPMENT PLAN
- C-9 PARKING PLAN
- C-10 CIRCULATION PLAN
- C-11 PRELIMINARY SITE DEVELOPMENT PLAN
- C-12 PRELIMINARY GRADING AND DRAINAGE PLAN
- C-13 BRIDGE CROSSING GRADING STUDY
- C-14 PRELIMINARY UTILITY PLAN
- C-15 POST CONSTRUCTION STORM WATER CONTROL & TREATMENT PLAN
- C-16 MAINTENANCE EXHIBIT
- C-17 FIRE LADDER TRUCK ACCESS EXHIBIT

PHOTO DATE: 2021
SOURCE: GOOGLE EARTH



DEVELOPMENT APPLICATION SUBMITTAL
JANUARY 2024

REVISIONS	BY

COVER SHEET
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
140 SECOND STREET, SUITE 312
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

DATE:	2023.12.20
SCALE:	AS SHOWN
DESIGN:	SJL/CRK/AJC
DRAWN:	CRK
CHECK:	SJA
JOB:	CREEKWOOD
JOB No:	192119
SHEET	C-1
OF	17 SHEETS

REVISIONS	BY

CONTEXT PLAN
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
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 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239

DATE: 2023.12.20
 SCALE: 1"=100'
 DESIGN: SJL/CRK/AJC
 DRAWN: CRK
 CHECK: SJA
 JOB: CREEKWOOD
 JOB No: 192119

SHEET
C-2
 OF 17 SHEETS



ZONING DISTRICTS

PUD	PLANNED UNIT DISTRICT
R2	RESIDENTIAL 2
R4	RESIDENTIAL 4
OSP	OPEN SPACE PARK

LAND USE CLASSIFICATIONS

LDR	LOW DENSITY RESIDENTIAL
MDR	MEDIUM DENSITY RESIDENTIAL
HDR	HIGH DENSITY RESIDENTIAL
CP	CITY PARK
E	EDUCATION
OS	OPEN SPACE
[]	LAND USE DESIGNATION

LEGEND

	ZONING DISTRICT
	LAND USE CLASSIFICATION
	SITE BOUNDARY

NOTES

- ZONING INFORMATION SHOWN HEREON IS PER THE CITY OF PETALUMA 2008 ZONING MAP, LAST REVISED APRIL 27, 2017
- LAND USE DESIGNATIONS SHOWN HEREON ARE PER THE CITY OF PETALUMA LAND USE MAP FOR THE PETALUMA GENERAL PLAN 2025.
- BOUNDARY LINES ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE ONLY.

NOTES

- SEE LAYOUT C-3 FOR THE EXISTING CONDITIONS
- SEE LAYOUT C-4 FOR THE DEMOLITION & PRESERVATION
- SEE LAYOUT C-5 FOR SITE DENSITY & LAND USE
- SEE LAYOUT C-6 FOR SITE COVERAGE DATA
- SEE LAYOUT C-7 FOR THE VESTING TENTATIVE MAP
- SEE LAYOUT C-8 FOR THE PRELIMINARY CONDOMINIUM PLAN
- SEE LAYOUT C-9 FOR THE PARKING PLAN
- SEE LAYOUT C-10 FOR THE CIRCULATION PLAN
- SEE LAYOUT C-11 FOR SITE DEVELOPMENT PLAN
- SEE LAYOUT C-12 FOR PRELIMINARY GRADING DESIGN
- SEE LAYOUT C-13 FOR PRELIMINARY BRIDGE CROSSING PROFILE
- SEE LAYOUT C-14 FOR PRELIMINARY UTILITY INFORMATION
- SEE LAYOUT C-15 FOR PRELIMINARY POST CONSTRUCTION STORM WATER CONTROL
- SEE LAYOUT C-16 FOR THE MAINTENANCE EXHIBIT
- SEE LAYOUT C-17 FOR THE FIRE APPARATUS ROUTING

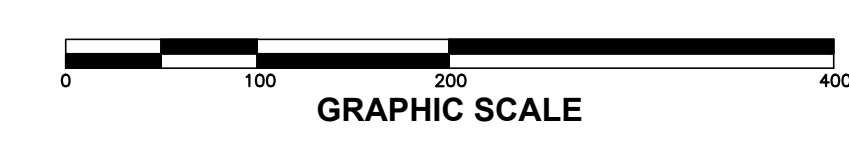
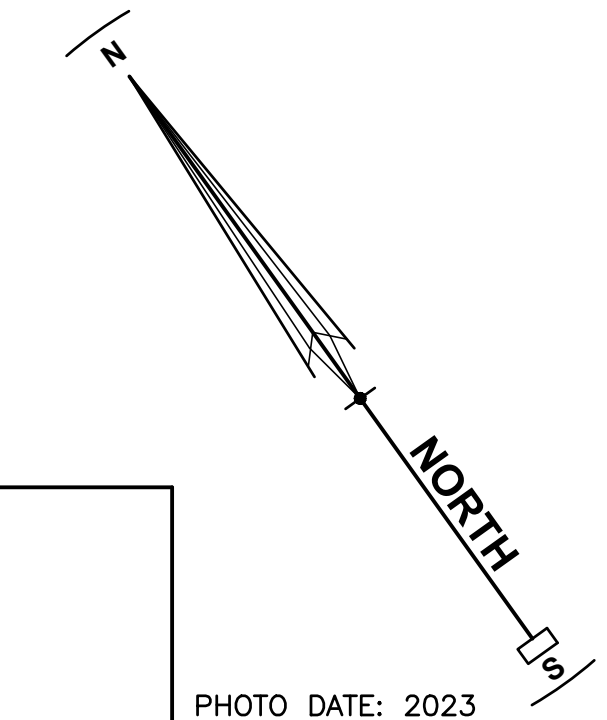
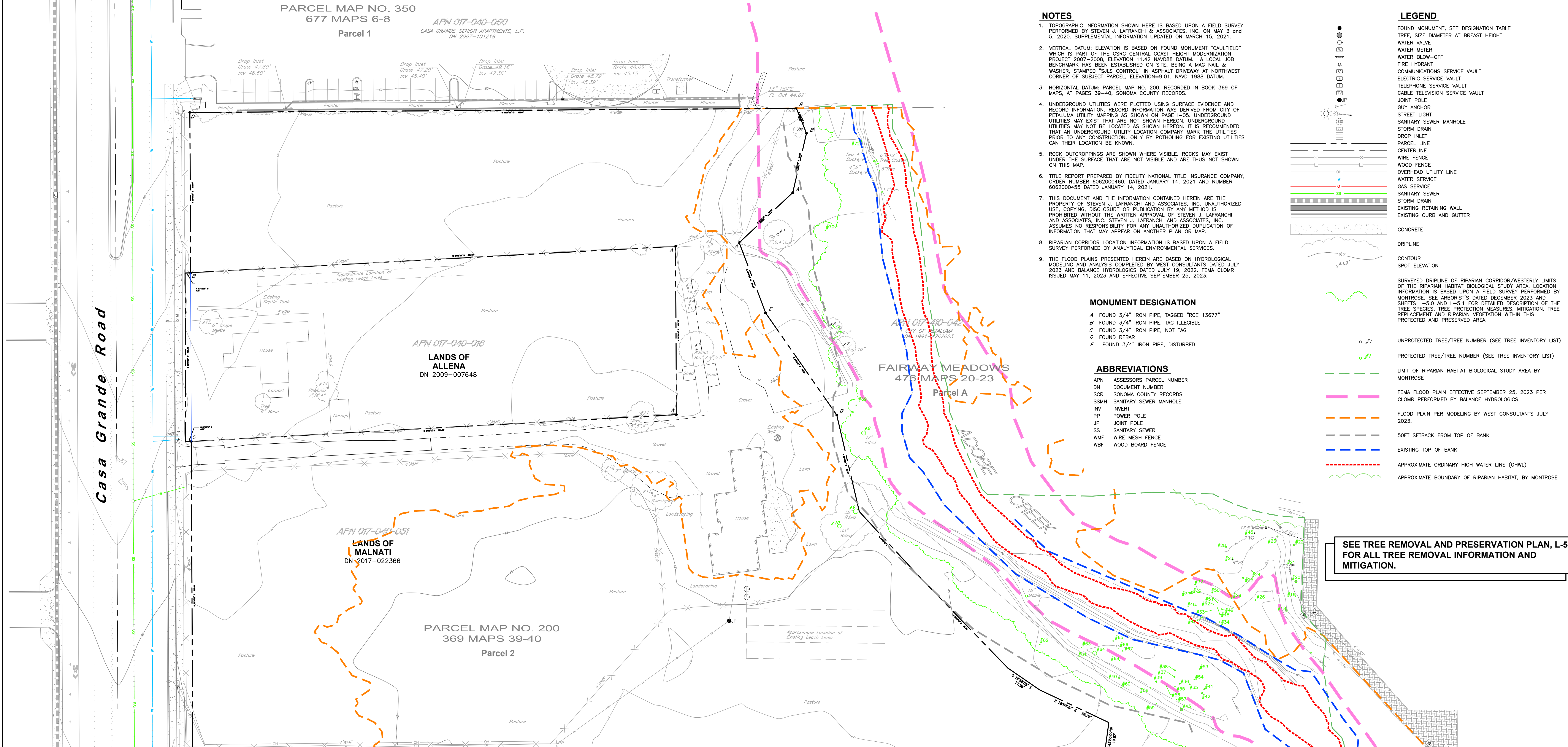


PHOTO DATE: 2023.12.20
 SOURCE: BING MAPS



PARCEL MAP NO. 350
677 MAPS 6-8
Parcel 1
APN 017-040-060
CASA GRANDE SENIOR APARTMENTS, L.P.
DN 2007-101218



NOTES

- 1. TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY STEVEN J. LAFRANCHI & ASSOCIATES, INC. ON MAY 3 AND 5, 2020. SUPPLEMENTAL INFORMATION UPDATED ON MARCH 15, 2021.
- 2. VERTICAL DATUM: ELEVATION IS BASED ON FOUND MONUMENT "CALLFIELD" WHICH IS PART OF THE CSRS CENTRAL COAST HEIGHT MODERNIZATION PROJECT 2007-2008. ELEVATION 11.42 NAVD83 DATUM. A LOCAL JOB BENCHMARK HAS BEEN ESTABLISHED ON SITE, BEING A MAG. NAIL & WASHER, STAMPED "S&S CONTROL" IN ASPHALT DRIVEWAY AT NORTHWEST CORNER OF SUBJECT PARCEL, ELEVATION=9.01, NAVD 1988 DATUM.
- 3. HORIZONTAL DATUM: PARCEL MAP NO. 200, RECORDED IN BOOK 369 OF MAPS, AT PAGES 39-40, SONOMA COUNTY RECORDS.
- 4. UNDERGROUND UTILITIES WERE PLOTTED USING SURFACE EVIDENCE AND RECORD INFORMATION. RECORD INFORMATION WAS DERIVED FROM CITY OF PETALUMA UTILITY MAPPING AS SHOWN ON PAGE L-05. UNDERGROUND UTILITIES MAY NOT BE LOCATED AS SHOWN HEREON. IT IS RECOMMENDED THAT AN UNDERGROUND UTILITY LOCATION COMPANY MARK THE UTILITIES PRIOR TO ANY CONSTRUCTION, ONLY BY FOTODUPLICATION FOR EXISTING UTILITIES CAN THEIR LOCATION BE KNOWN.
- 5. ROCK OUTCROPPINGS ARE SHOWN WHERE VISIBLE. ROCKS MAY EXIST UNDER THE SURFACE THAT ARE NOT VISIBLE AND ARE THUS NOT SHOWN ON THIS MAP.
- 6. TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NUMBER 6082000460, DATED JANUARY 14, 2021 AND NUMBER 6082000455 DATED JANUARY 14, 2021.
- 7. THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF STEVEN J. LAFRANCHI AND ASSOCIATES, INC. UNAUTHORIZED USE, COPYING, DISCLOSURE OR PUBLICATION BY ANY METHOD IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF STEVEN J. LAFRANCHI AND ASSOCIATES, INC. STEVEN J. LAFRANCHI AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED DUPLICATION OF INFORMATION THAT MAY APPEAR ON ANOTHER PLAN OR MAP.
- 8. RIPARIAN CORRIDOR LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY ANALYTICAL ENVIRONMENTAL SERVICES.
- 9. THE FLOOD PLANS PRESENTED HEREIN ARE BASED ON HYDROLOGICAL MODELING AND ANALYSIS COMPLETED BY WEST CONSULTANTS DATED JULY 2023 AND BALANCE HYDROLOGISTS DATED JULY 19, 2022. FEMA CLMFR ISSUED MAY 11, 2023 AND EFFECTIVE SEPTEMBER 25, 2023.

LEGEND

- FOUND MONUMENT, SEE DESIGNATION TABLE
- TREE, SIZE DIAMETER AT BREAST HEIGHT
- WATER VALVE
- WATER METER
- WATER BLOW-OFF
- FIRE HYDRANT
- COMMUNICATIONS SERVICE VAULT
- ELECTRIC SERVICE VAULT
- TELEPHONE SERVICE VAULT
- CABLE TELEVISION SERVICE VAULT
- JOINT POLE
- GUY ANCHOR
- STREET LIGHT
- SANITARY SEWER MANHOLE
- STORM DRAIN
- DROP INLET
- PARCEL LINE
- CENTERLINE
- WIRE FENCE
- WOOD FENCE
- OVERHEAD UTILITY LINE
- WATER SERVICE
- GAS SERVICE
- SANITARY SEWER
- STORM DRAIN
- EXISTING RETAINING WALL
- EXISTING CURB AND GUTTER
- CONCRETE
- DRIPLINE
- CONTOUR
- SPOT ELEVATION
- SURVEYED DRIPLINE OF RIPARIAN CORRIDOR/WESTERLY LIMITS OF THE RIPARIAN HABITAT BIOLOGICAL STUDY AREA. LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY MONITROSE. SEE ARBORIST'S DATED DECEMBER 2023 AND SHEETS L-5.0 AND L-5.1 FOR DETAILED DESCRIPTION OF THE TREE SPECIES, TREE PROTECTION MEASURES, MITIGATION, TREE REPLACEMENT AND RIPARIAN VEGETATION WITHIN THIS PROTECTED AND PRESERVED AREA.
- UNPROTECTED TREE/TREE NUMBER (SEE TREE INVENTORY LIST)
- PROTECTED TREE/TREE NUMBER (SEE TREE INVENTORY LIST)
- LIMIT OF RIPARIAN HABITAT BIOLOGICAL STUDY AREA BY MONITROSE
- FEMA FLOOD PLAIN EFFECTIVE SEPTEMBER 25, 2023 PER CLMFR PERFORMED BY BALANCE HYDROLOGISTS.
- FLOOD PLAIN PER MODELING BY WEST CONSULTANTS JULY 2023.
- 50FT SETBACK FROM TOP OF BANK
- EXISTING TOP OF BANK
- APPROXIMATE ORDINARY HIGH WATER LINE (OHWL)
- APPROXIMATE BOUNDARY OF RIPARIAN HABITAT, BY MONITROSE

MONUMENT DESIGNATION

- A FOUND 3/4" IRON PIPE, TAGGED "RCE 13677"
- B FOUND 3/4" IRON PIPE, TAG ILLEGIBLE
- C FOUND 3/4" IRON PIPE, NOT TAG
- D FOUND REBAR
- E FOUND 3/4" IRON PIPE, DISTURBED

ABBREVIATIONS

- APN ASSESSORS PARCEL NUMBER
- DN DOCUMENT NUMBER
- SCR SONOMA COUNTY RECORDS
- SSMH SANITARY SEWER MANHOLE
- INV INVERT
- PP POWER POLE
- JP JOINT POLE
- SS SANITARY SEWER
- WMF WIRE MESH FENCE
- WBF WOOD BOARD FENCE

SEE TREE REMOVAL AND PRESERVATION PLAN, L-5 FOR ALL TREE REMOVAL INFORMATION AND MITIGATION.

APPROVED CASA GRANDE PROJECT PROJECT UNDER CONSTRUCTION

Tree #	Common Name	Botanical Name	Trunk Diameter(s) (inches)	Health & Structure (1-5)	Protected Status	Comments	Recommendation
1	Edible Fig	Ficus carica	7, 6.4, 6.2	5	Unprotected		Preserve and protect with fencing.
2	Apple	Malus domestica	6	4	Unprotected	Sun burn and associated necrosis on main trunk. In footprint of development.	Remove tree.
3	Plum sp.	Prunus sp.	14.5	4	Unprotected	Near footprint of development.	Remove tree.
4	Plum sp.	Prunus sp.	11.5	3	Unprotected	Near footprint of development.	Remove tree.
5	English Walnut	Juglans regia	8.5, 7.5, 5.5	5	Unprotected	Near footprint of development.	Preserve and protect with fencing.
6	Edible Fig	Ficus carica	8, 6.5	5	Unprotected	Outside footprint of development.	Preserve.
7	Edible Fig	Ficus carica	10	5	Unprotected	Outside footprint of development.	Preserve.
8	Coast Redwood	Sequoia sempervirens	37	5	Protected	Outside footprint of development.	Preserve.
9	Coast Redwood	Sequoia sempervirens	38	4	Protected	The tree bifurcates at approximately 25 feet above grade. The stems are codominant and there is bark pressed between the two stems. Outside footprint of development.	Preserve and protect with fencing.
10	Coast Redwood	Sequoia sempervirens	33	4	Protected	Outside footprint of development.	Preserve and protect with fencing.
11	Olive	Olea europaea	6, 6.4	5	Unprotected	In footprint of development.	Remove tree. To be transplanted onto designated remainder parcel.
12	English Walnut	Juglans regia	7	5	Unprotected	In footprint of development.	Remove tree. To be transplanted onto designated remainder parcel.
13	Sweetgum	Liquidambar styraciflua	14	4	Unprotected	In footprint of development.	Remove tree.
14	Photinia	Photinia fraseri	7, 5.4	4	Unprotected	In footprint of development.	Remove tree.
15	Crape Myrtle	Lagerstroemia sp.	6	4	Unprotected	In footprint of development.	Remove tree.
16	Riparian zone	Various native species		4	Protected	The riparian zone is populated with native tree and plant species. The predominant tree species are Willow (Salix sp.), Buckeye (Aesculus californica), Coast live oak (Quercus agrifolia), Toyon (Heteromeles arbutifolia). In general trees are in good health and the vast majority will not be impacted by development. Two outfall locations (See map) will be installed within the riparian zone, which will require project arborist involvement.	Preserve and protect with fencing. Consult project arborist for input on best outfall locations.
17	Row of Upright	Quercus robur 'Fastigiata'	41 to 12	5	Unprotected	Outside footprint of development. Small diameter limbs extend over property line.	Preserve. Existing fence is sufficient protection.
18	Coast live oak	Quercus agrifolia	19.5	5	Protected		Preserve and Protect with trunk armor.
19	Valley oak	Quercus lobata	7.5	4	Protected	Leggy.	Preserve and Protect with trunk armor.
20	Coast live oak	Quercus agrifolia	21.5	4	Protected		Consider building a pedestrian bridge on piers to span the root system of this tree and provide space for future growth.
21	Coast live oak	Quercus agrifolia	17	5	Protected		Preserve and protect with fencing.
22	Coast live oak	Quercus agrifolia	16, 6.5	5	Protected	Lean southeast.	Preserve and Protect with trunk armor.
23	Coast live oak	Quercus agrifolia	12.5	5	Protected	Trunk lean south.	Preserve and Protect with trunk armor.
24	Coast live oak	Quercus agrifolia	8.5, 7.5	5	Protected		Remove tree.
25	Coast live oak	Quercus agrifolia	12.5	5	Protected		Remove tree.
26	Valley oak	Quercus lobata	9	4	Protected		Preserve and Protect with trunk armor.

Tree #	Common Name	Botanical Name	Trunk Diameter(s) (inches)	Health & Structure (1-5)	Protected Status	Comments	Recommendation
27	Valley oak	Quercus lobata	6	5	Protected		Remove tree.
28	Coast live oak	Quercus agrifolia	12.5	5	Protected		Preserve and Protect with trunk armor.
29	Valley oak	Quercus lobata	10	4	Protected		Remove tree.
30	California Buckeye	Aesculus californica	6, 6.4	4	Protected	Leans towards footprint of proposed bridge. May need to be pruned for bridge clearance.	Preserve and protect. Prune to create clearance for new bridge.
31	Red willow	Salix lasiovigata	13.5, 10.5, 7.5	4	Protected	Smallest stem leans toward proposed bridge. This stem may have to be removed for bridge clearance.	Preserve and protect. Prune to create clearance for new bridge.
32	Oregon Ash	Fraxinus latifolia	7.5	5	Protected		Preserve and Protect.
33	California Walnut	Juglans hindali	6	5	Protected		Remove tree.
34	Oregon Ash	Fraxinus latifolia	6	5	Protected		Remove tree.
35	Red willow	Salix lasiovigata	8.5	4	Protected	Moderate amount of deadwood in canopy. Trunk leans north.	Preserve and Protect with trunk armor.
36	Red willow	Salix lasiovigata	9.5	4	Protected	Significant canopy dieback.	Remove tree.
37	Red willow	Salix lasiovigata	8	3	Protected	Strong trunk lean southwest.	Remove tree.
38	Red willow	Salix lasiovigata	11	4	Protected	Moderate amount of deadwood in canopy.	Remove tree.
39	California Buckeye	Aesculus californica	6, 6.5	4	Protected	Low spreading canopy.	Remove tree.
40	Valley oak	Quercus lobata	15	5	Protected		Preserve and Protect with trunk armor.
41	Red willow	Salix lasiovigata	12.5	5	Protected		Preserve and Protect with trunk armor.
42	Red willow	Salix lasiovigata	11.5	4	Protected		Preserve and Protect with trunk armor.
43	Coast live oak	Quercus agrifolia	23	5	Protected	Fill soil to be installed near this tree.	Preserve and Protect. If possible retain fill soil at least three feet from the trunk of this tree.
44	Red willow	Salix lasiovigata	17.5	2	Protected		Remove tree.
45	Valley oak	Quercus lobata	7	5	Protected		Remove tree.
46	Oregon Ash	Fraxinus latifolia	1.5	4	Protected		Remove tree.
47	Red willow	Salix lasiovigata	3	2	Protected	Heavy lean over creek bank. Poorly anchored on bank.	Remove tree.
48	Red willow	Salix lasiovigata	3	4	Protected		Remove tree.
49	Red willow	Salix lasiovigata	4	3	Protected	Strong lean away from bridge alignment.	Preserve and Protect.
50	Red willow	Salix lasiovigata	5, 5.5, 3	2	Protected	Poor health. Major deadwood in the canopy.	Remove tree.
51	Red willow	Salix lasiovigata	3.5	3	Protected	Poor form. Strong lean southeast away from bridge.	Preserve and Protect.
52	California Buckeye	Aesculus californica	1.5	4	Protected		Remove tree.
53	Red willow	Salix lasiovigata	3	3	Protected	Leggy form and lean toward the bridge alignment.	Trim tree for bridge clearance and preserve.
54	Red willow	Salix lasiovigata	3	3	Protected		Remove tree.
55	California Buckeye	Aesculus californica	3.5	4	Protected	Lean away from the bridge. Suppressed and intertwined with adjacent trees.	Preserve and Protect.
56	California Buckeye	Aesculus californica	3, 2.5, 2.5	4	Protected		Remove tree.
57	California Buckeye	Aesculus californica	5, 2.5	2	Protected	Five stems total.	Remove tree.
58	California Buckeye	Aesculus californica	2.5, 2.5, 1.5	4	Protected	Poor form. Large necrotic area on trunk.	Remove tree.
59	Toyon	Heteromeles arbutifolia	3, 1.5	4	Protected	Growing through fence.	Preserve and Protect.

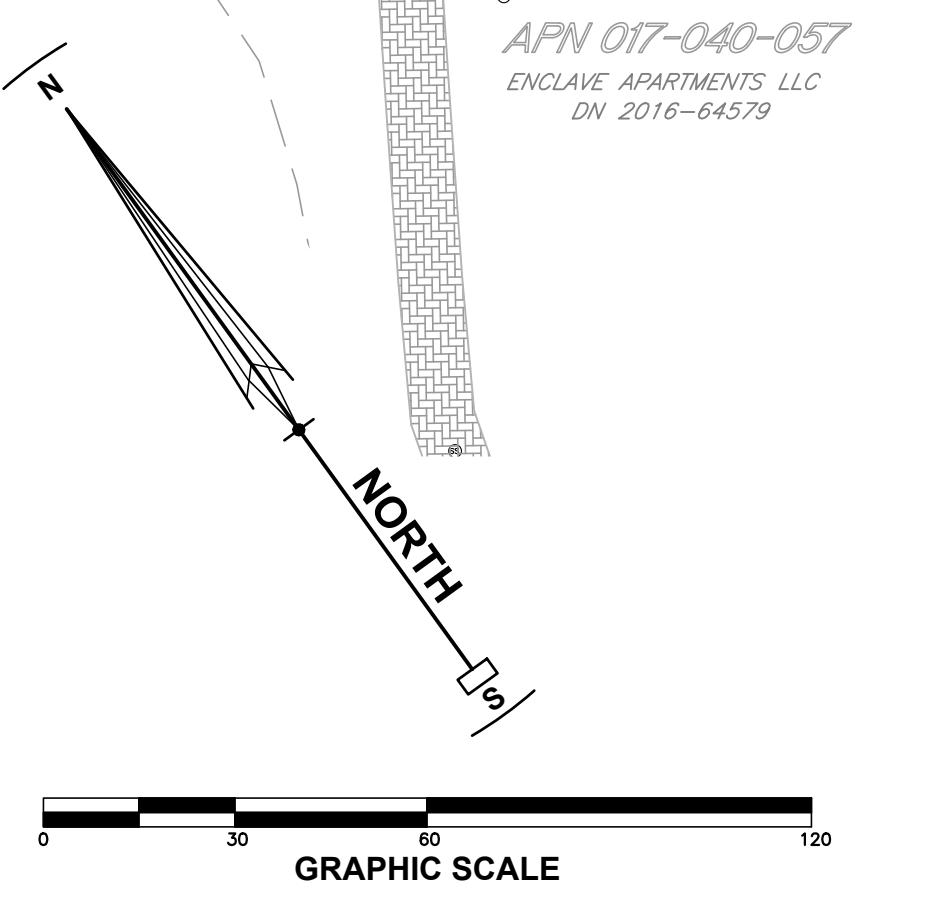
Tree #	Common Name	Botanical Name	Trunk Diameter(s) (inches)	Health & Structure (1-5)	Protected Status	Comments	Recommendation
60	Coast live oak	Quercus agrifolia	2.5	4	Protected?	Outside of creek and less than 4'.	Outside of existing chainlink fence. Preserve and Protect.
61	Coast live oak	Quercus agrifolia	2	4	Protected		Preserve and Protect.
62	Coast live oak	Quercus agrifolia	25.1	4	Protected?	Outside of creek and less than 4'.	Outside of existing chainlink fence. Preserve and Protect.
63	California Buckeye	Aesculus californica	6	4	Protected		Trunk lean NW. Preserve and Protect.
64	California Buckeye	Aesculus californica	10 stems 4-8"	4	Protected	The tree is composed of approximately 10 stems all arising from ground level.	Preserve and Protect. Prune for drainage outfall clearance.
65	California Buckeye	Aesculus californica	6, 3	4	Protected		Trunk lean NE. Preserve and Protect.
66	California Buckeye	Aesculus californica	2	3	Protected		Trunk lean NE. Preserve and Protect.
67	California Buckeye	Aesculus californica	6, 3	4	Protected		Trunk lean NE. Preserve and Protect.
68	California Buckeye	Aesculus californica	4	4	Protected	In footprint of drainage outfall as shown on plans but could potentially be preserved.	Remove tree.
69	Coast live oak	Quercus agrifolia	4	4	Protected	Northern Storm Drainage Outfall/Pedestrian path trees. Tree has been regularly sheared over its life and has taken on a shrub form. The tree stands near the proposed pedestrian path. At least four feet of clearance should be provided between the trunk and path.	Preserve and Protect.
70	Coast live oak	Quercus agrifolia	7	4	Protected	Tree has been regularly sheared over its life and has taken on a shrub form. The tree stands near the proposed pedestrian path. At least four feet of clearance should be provided between the trunk and path.	Preserve and Protect.
71	Fruiting Pear	Pyrus sp.	3	2	Unprotected	Exhibits poor health.	Remove tree.
72	Oregon Ash	Fraxinus latifolia	8, 8, 7.6	4	Protected		Preserve and Protect. Prune to raise canopy for outfall construction clearance.

NOTE:

○ ANY EXISTING TREE DESIGNATED AS A PROTECTED SPECIE UNDER THE CITY OF PETALUMA IZO CHAPTER 17 TREE PRESERVATION

NOTES

- 1. SEE LAYOUT C-2 FOR SITE CONTEXT & ADJACENT LAND USES
- 2. SEE LAYOUT C-4 FOR THE RIPARIAN CORRIDOR & PRESERVATION
- 3. SEE LAYOUT C-5 FOR SITE DENSITY & LAND USE
- 4. SEE LAYOUT C-6 FOR SITE COVERAGE DATA
- 5. SEE LAYOUT C-7 FOR THE VESTING TENTATIVE MAP
- 6. SEE LAYOUT C-8 FOR THE PRELIMINARY CONDOMINIUM PLAN
- 7. SEE LAYOUT C-9 FOR THE PARKING PLAN
- 8. SEE LAYOUT C-10 FOR THE CIRCULATION PLAN
- 9. SEE LAYOUT C-11 FOR THE SITE DEVELOPMENT PLAN
- 10. SEE LAYOUT C-12 FOR PRELIMINARY BRIDGE DESIGN
- 11. SEE LAYOUT C-13 FOR PRELIMINARY BRIDGE CROSSING PROFILE
- 12. SEE LAYOUT C-14 FOR PRELIMINARY UTILITY INFORMATION
- 13. SEE LAYOUT C-15 FOR PRELIMINARY POST CONSTRUCTION STORM WATER CONTROL
- 14. SEE LAYOUT C-16 FOR THE MAINTENANCE EXHIBIT
- 15. SEE LAYOUT C-17 FOR THE FIRE APPARATUS ROUTING



REVISIONS	BY

EXISTING CONDITIONS EXHIBIT
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
440 SECOND STREET, SUITE 312
PETALUMA, CALIFORNIA 94952
(707) 762-9122 FAX (707) 762-9239



DATE: 2023.12.20
SCALE: 1"=30'
DESIGN: SLL/CRC/JAC
DRAWN: ORL
CHECK: SLL
JOB: CREEKWOOD
JOB No.: 192119
SHEET
C-3
OF 17 SHEETS

PARCEL MAP NO. 350
677 MAPS 6-8
Parcel 1
APN 017-040-060
CASA GRANDE SENIOR APARTMENTS, L.P.
DN 2007-101218

APN 017-040-016
LANDS OF ALLENA
DN 2009-007648

APN 017-040-051
LANDS OF MALNATI
DN 2017-022366

PARCEL MAP NO. 200
369 MAPS 39-40
Parcel 2

APN 017-040-045
FAIRWAY MEADOWS
476 MAPS 20-23
Parcel A

APPROVED CASA GRANDE PROJECT
PROJECT UNDER CONSTRUCTION

KEY NOTES

- (A) REMOVAL OF SEPTIC SYSTEMS REQUIRE A PERMIT FROM THE COUNTY OF SONOMA PRMD WELL AND SEPTIC DIVISIONS.
- (B) THE EXISTING HOUSE WAS CONSTRUCTED CIRCA 1950.
- (C) EXISTING RESIDENCE TO REMAIN.
- (D) EXISTING WELL TO REMAIN.
- (E) NOT A PART OF DEVELOPMENT PROJECT (DESIGNATED REMAINDER).
- (F) PROPOSED BOUNDARY FOR DESIGNATED REMAINDER.

ABBREVIATIONS

- APN ASSESSORS PARCEL NUMBER
- DN DOCUMENT NUMBER
- SCR SONOMA COUNTY RECORDS
- SMH SANITARY SEWER MANHOLE
- INV INVERT
- PP POWER POLE
- JP JOINT POLE
- SS SANITARY SEWER
- WMF WIRE MESH FENCE
- WBF WOOD BOARD FENCE

NOTES:

- 1. TREE INFORMATION SHOWN HEREON PROVIDED BY THE PROJECT ARBORIST REPORT BY URBAN FORESTRY ASSOCIATES, INC DATED OCTOBER 2021.
- 2. TREES SHOWN IN RED REPRESENT EXISTING TREES TO BE REMOVED.

SEE TREE REMOVAL AND PRESERVATION PLAN, L-5 FOR ALL TREE REMOVAL INFORMATION AND MITIGATION.

LEGEND

- FOUND MONUMENT, SEE DESIGNATION TABLE
- TREE, SIZE DIAMETER AT BREAST HEIGHT
- WATER VALVE
- WATER METER
- WATER BLOW-OFF
- FIRE HYDRANT
- COMMUNICATIONS SERVICE VAULT
- ELECTRIC SERVICE VAULT
- TELEPHONE SERVICE VAULT
- CABLE TELEVISION SERVICE VAULT
- JOINT POLE
- GUY ANCHOR
- STREET LIGHT
- SANITARY SEWER MANHOLE
- STORM DRAIN
- DROP INLET
- PARCEL LINE
- CENTERLINE
- WIRE FENCE
- WOOD FENCE
- OVERHEAD UTILITY LINE
- WATER SERVICE
- GAS SERVICE
- SANITARY SEWER
- STORM DRAIN
- EXISTING RETAINING WALL
- EXISTING CURB AND GUTTER
- CONCRETE
- DRIPLINE
- CONTOUR
- SPOT ELEVATION
- SURVEYED DRIPLINE OF RIPARIAN CORRIDOR/WESTERLY LIMITS OF THE RIPARIAN HABITAT BIOLOGICAL STUDY AREA. LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY MONTRÖSE, SEE ARBORIST'S DATED DECEMBER 2023 AND SHEETS L-5.0 AND L-5.1 FOR DETAILED DESCRIPTION OF THE TREE SPECIES, TREE PROTECTION MEASURES, MITIGATION, TREE REPLACEMENT AND RIPARIAN VEGETATION WITHIN THIS PROTECTED AND PRESERVED AREA.
- UNPROTECTED TREE/TREE NUMBER (SEE PRELIMINARY TREE LIST)
- PROTECTED TREE/TREE NUMBER (SEE PRELIMINARY TREE LIST)
- TREE TO BE REMOVED
- SOFT SETBACK FROM TOP OF BANK
- APPROXIMATE TOP OF BANK FOR ADOBE CREEK
- FEMA FLOOD PLAIN EFFECTIVE SEPTEMBER 25, 2023 PER CLOMR PERFORMED BY BALANCE HYDROLOGICS.
- FLOOD PLAIN PER MODELING BY WEST CONSULTANTS JULY 2023.
- APPROXIMATE OHWM PER AES BIOLOGICAL SURVEY
- LIMIT OF RIPARIAN HABITAT BIOLOGICAL STUDY AREA BY MONTRÖSE
- APPROXIMATE BOUNDARY OF RIPARIAN HABITAT, BY MONTRÖSE

NOTE:
LINWORK SHOWN IN RED REPRESENTS EXISTING FEATURE TO BE REMOVED.

NOTES

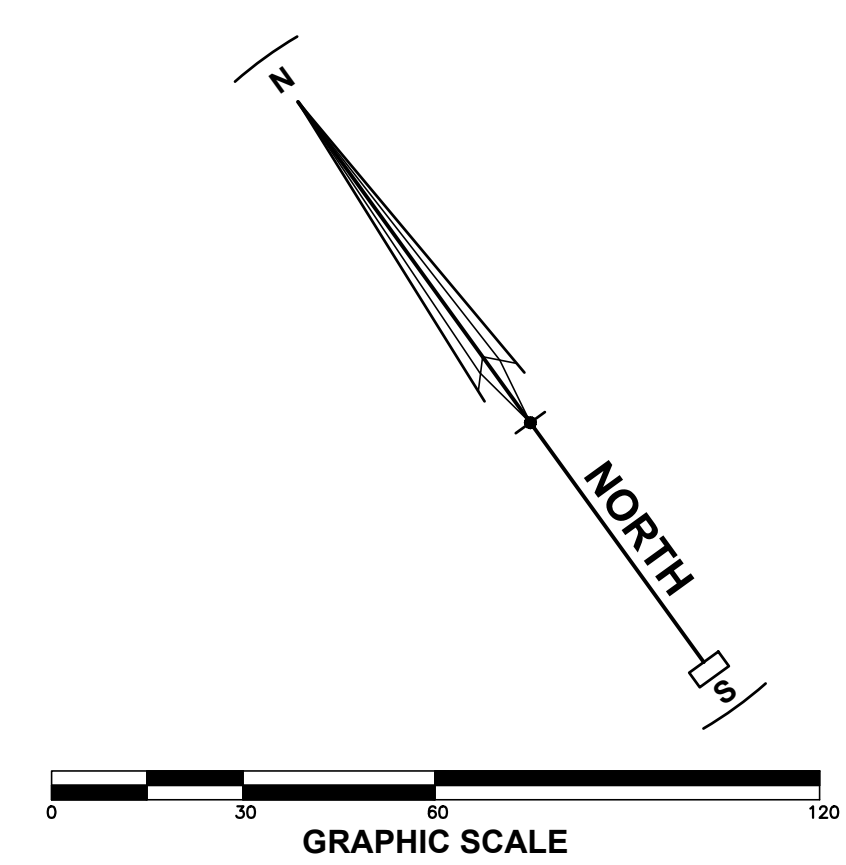
- 1. SEE LAYOUT C-2 FOR SITE CONTEXT & ADJACENT LAND USES
- 2. SEE LAYOUT C-4 FOR THE DEMOLITION & PRESERVATION
- 3. SEE LAYOUT C-5 FOR SITE DENSITY & LAND USE
- 4. SEE LAYOUT C-6 FOR SITE COVERAGE DATA
- 5. SEE LAYOUT C-7 FOR THE VESTING TENTATIVE MAP
- 6. SEE LAYOUT C-8 FOR THE PRELIMINARY CONDOMINIUM PLAN
- 7. SEE LAYOUT C-9 FOR THE PARKING PLAN
- 7. SEE LAYOUT C-10 FOR THE CIRCULATION PLAN
- 8. SEE LAYOUT C-11 FOR SITE DEVELOPMENT PLAN
- 9. SEE LAYOUT C-12 FOR PRELIMINARY GRADING DESIGN
- 10. SEE LAYOUT C-13 FOR PRELIMINARY BRIDGE CROSSING PROFILE
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- 14. SEE LAYOUT C-17 FOR THE FIRE APPARATUS ROUTING

REVISIONS	BY

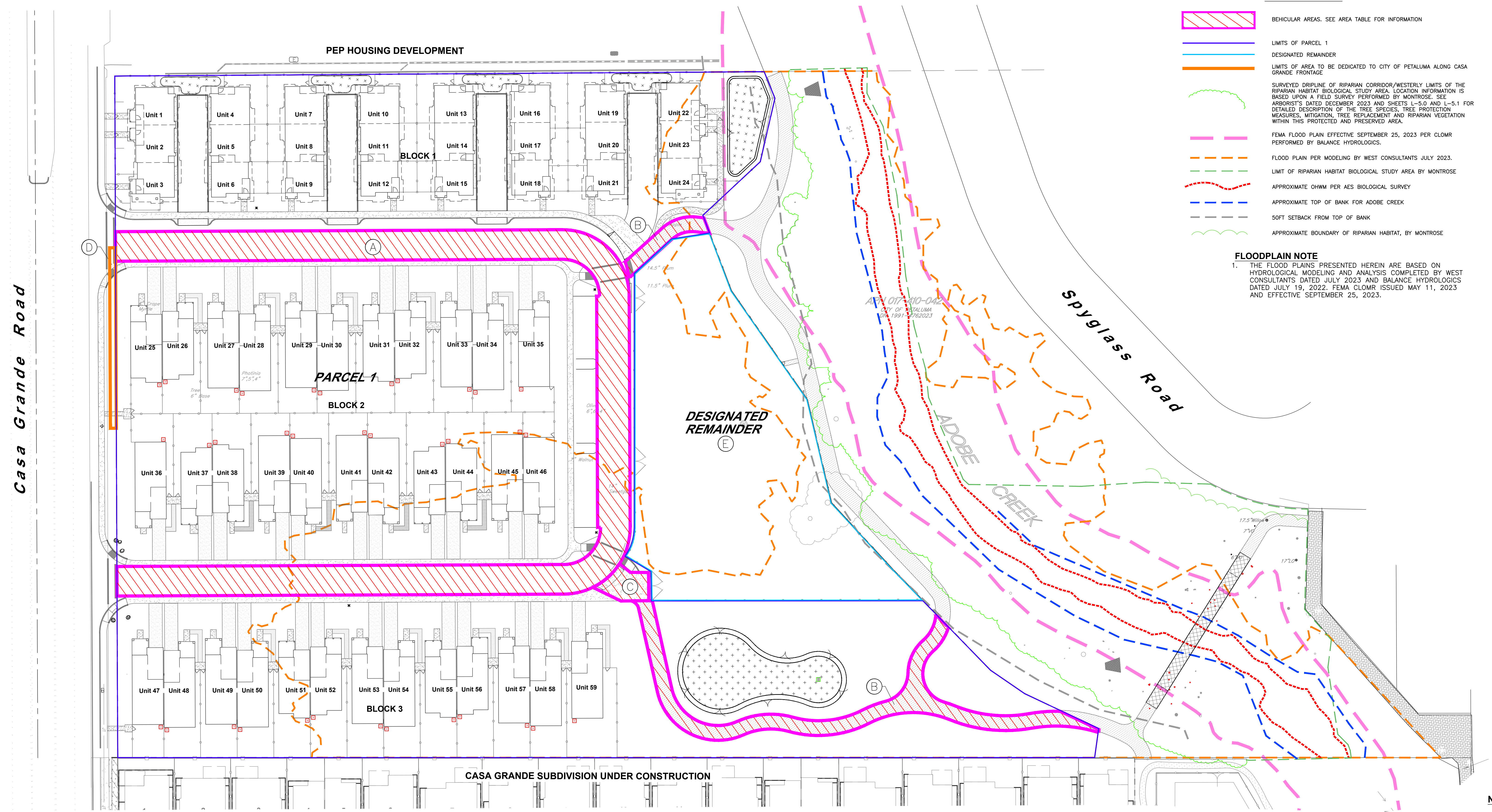
DEMOLITION PLAN
CREEKWOOD CONDOMINIUM PROJECT
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JOB No: 192119
SHEET
C-4
OF 17 SHEETS



REVISIONS	BY



LEGEND

- BEHICULAR AREAS. SEE AREA TABLE FOR INFORMATION
- LIMITS OF PARCEL 1
- DESIGNATED REMAINDER
- LIMITS OF AREA TO BE DEDICATED TO CITY OF PETALUMA ALONG CASA GRANDE FRONTAGE
- SURVEYED DRIPLINE OF RIPARIAN CORRIDOR/WESTERLY LIMITS OF THE RIPARIAN HABITAT BIOLOGICAL STUDY AREA. LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY MONTROSE. SEE ARBORIST'S DATED DECEMBER 2023 AND SHEETS L-5.0 AND L-5.1 FOR DETAILED DESCRIPTION OF THE TREE SPECIES, TREE PROTECTION MEASURES, MITIGATION, TREE REPLACEMENT AND RIPARIAN VEGETATION WITHIN THIS PROTECTED AND PRESERVED AREA.
- FEMA FLOOD PLAIN EFFECTIVE SEPTEMBER 25, 2023 PER CLOMR PERFORMED BY BALANCE HYDROLOGICS.
- FLOOD PLAIN PER MODELING BY WEST CONSULTANTS JULY 2023.
- LIMIT OF RIPARIAN HABITAT BIOLOGICAL STUDY AREA BY MONTROSE
- APPROXIMATE OHM PER AES BIOLOGICAL SURVEY
- APPROXIMATE TOP OF BANK FOR ADOBE CREEK
- SOFT SETBACK FROM TOP OF BANK
- APPROXIMATE BOUNDARY OF RIPARIAN HABITAT, BY MONTROSE

FLOODPLAIN NOTE
 1. THE FLOOD PLAINS PRESENTED HEREIN ARE BASED ON HYDROLOGICAL MODELING AND ANALYSIS COMPLETED BY WEST CONSULTANTS DATED JULY 2023 AND BALANCE HYDROLOGICS DATED JULY 19, 2022. FEMA CLOMR ISSUED MAY 11, 2023 AND EFFECTIVE SEPTEMBER 25, 2023.

**MEDIUM DENSITY RESIDENTIAL
 (8.1 TO 18.0 UNITS/ACRE)**

226,438 S.F./ 5.198 ACRES - TOTAL SITE GROSS AREA
 198,661 S.F./ 4.561 ACRES - PROJECT SITE GROSS AREA**
 174,227 S.F./ 4.000 ACRES - PROJECT NET AREA**

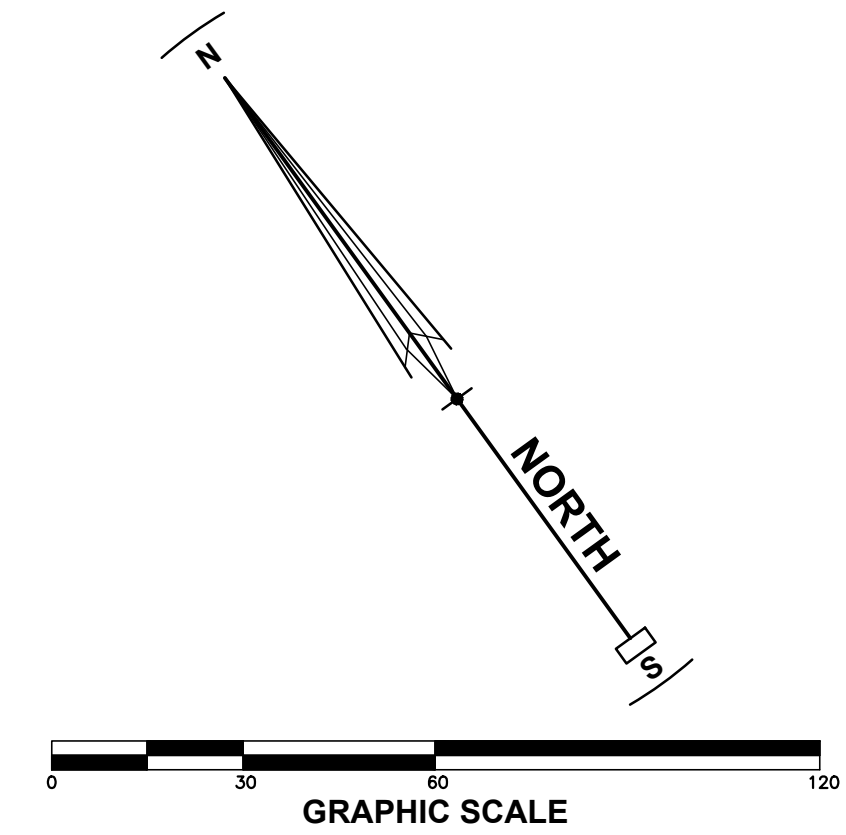
SITE DENSITY DETERMINATION
 PARCEL 1: 59 units
 174,227 SQ FT NET AREA
 14.75 units/acre

AREA TABLE

- * (A) 0.407 ACRES (17,719 S.F.) - EVA, PUBLIC MAINTENANCE AND PRIVATE VEHICULAR ACCESS
- * (B) 0.114 ACRES (4,964 S.F.) - PUBLIC VEHICULAR ACCESS
- * (C) 0.014 ACRES (595 S.F.) - PUBLIC MAINTENANCE AND PRIVATE VEHICULAR ACCESS
- * (D) 0.011 ACRES (488 S.F.) - DEDICATION TO THE CITY OF PETALUMA FOR STREET RIGHT-OF-WAY
- ** (E) 0.633 ACRES (27,588 S.F.) - DESIGNATED REMAINDER

* AREAS ARE DEDUCTED FROM GROSS AREA TO OBTAIN NET AREA.
 ** EXCLUDES DESIGNATED REMAINDER (NOT A PART OF PROJECT)

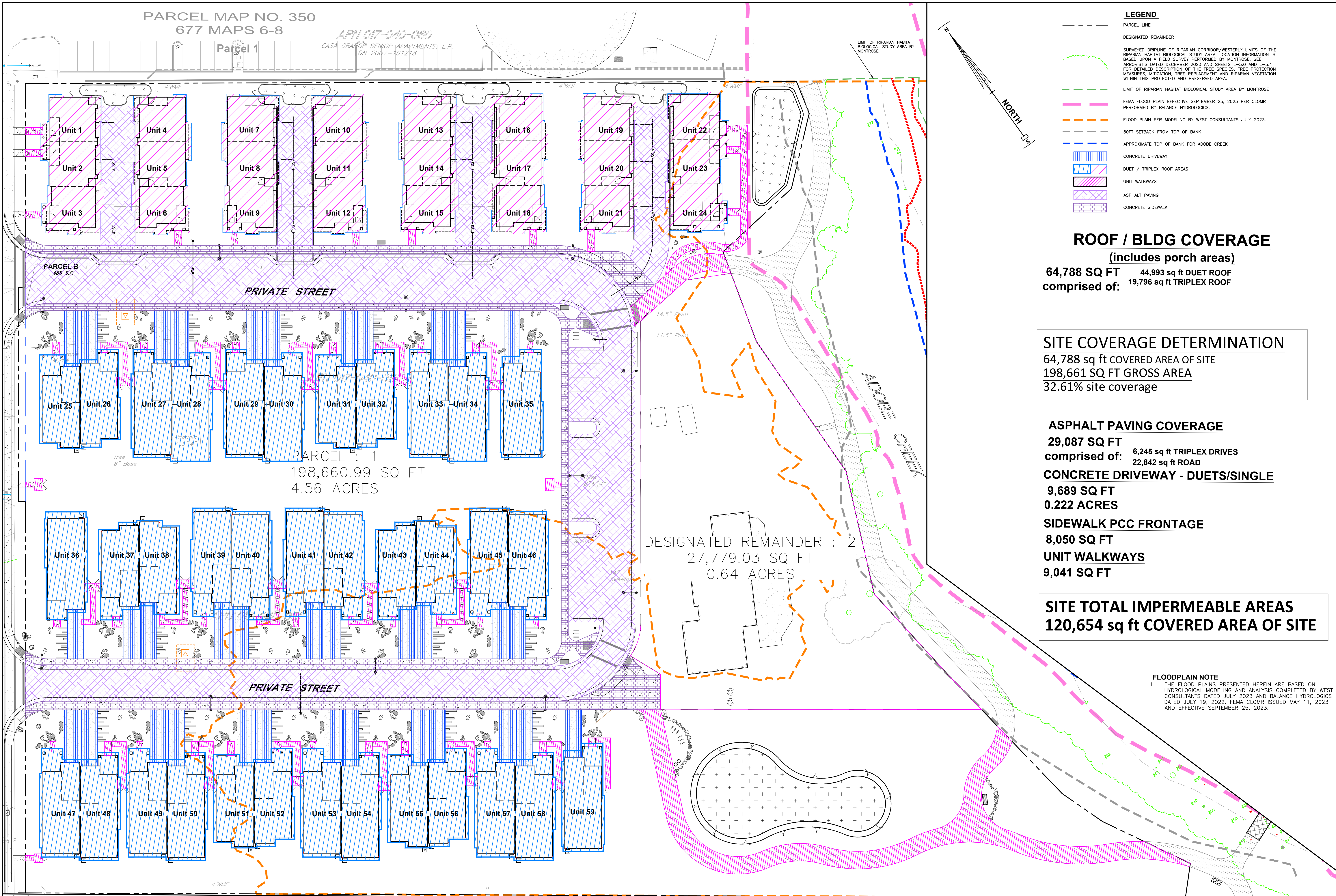
- NOTES**
1. SEE LAYOUT C-2 FOR SITE CONTEXT & ADJACENT LAND USES
 2. SEE LAYOUT C-4 FOR THE DEMOLITION & PRESERVATION
 3. SEE LAYOUT C-5 FOR SITE DENSITY & LAND USE
 4. SEE LAYOUT C-6 FOR SITE COVERAGE DATA
 5. SEE LAYOUT C-7 FOR THE VESTING TENTATIVE MAP
 6. SEE LAYOUT C-8 FOR THE PRELIMINARY CONDOMINIUM PLAN
 7. SEE LAYOUT C-9 FOR THE PARKING PLAN
 8. SEE LAYOUT C-10 FOR THE CIRCULATION PLAN
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DENSITY LAND USE PLAN
 CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
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 JOB No: 192119
 SHEET
C-5
 OF 17 SHEETS



LEGEND

- PARCEL LINE
- DESIGNATED REMAINDER
- SURVEYED DRIFLINE OF RIPARIAN CORRIDOR/WESTERLY LIMITS OF THE RIPARIAN HABITAT BIOLOGICAL STUDY AREA. LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY MONTRÖSE SEE ARBORIST'S DATED DECEMBER 2023 AND SHEETS L-5.0 AND L-5.1 FOR DETAILED DESCRIPTION OF THE TREE SPECIES, TREE PROTECTION MEASURES, MITIGATION, TREE REPLACEMENT AND RIPARIAN VEGETATION WITHIN THIS PROTECTED AND PRESERVED AREA.
- LIMIT OF RIPARIAN HABITAT BIOLOGICAL STUDY AREA BY MONTRÖSE
- FEMA FLOOD PLAIN EFFECTIVE SEPTEMBER 25, 2023 PER CLOMR PERFORMED BY BALANCE HYDROLOGICS.
- FLOOD PLAIN PER MODELING BY WEST CONSULTANTS JULY 2023.
- 50FT SETBACK FROM TOP OF BANK
- APPROXIMATE TOP OF BANK FOR ADOBE CREEK
- CONCRETE DRIVEWAY
- DUET / TRIPLEX ROOF AREAS
- UNIT WALKWAYS
- ASPHALT PAVING
- CONCRETE SIDEWALK

ROOF / BLDG COVERAGE

(includes porch areas)

64,788 SQ FT 44,993 sq ft DUET ROOF
comprised of: 19,796 sq ft TRIPLEX ROOF

SITE COVERAGE DETERMINATION

64,788 sq ft COVERED AREA OF SITE
 198,661 SQ FT GROSS AREA
 32.61% site coverage

ASPHALT PAVING COVERAGE

29,087 SQ FT
comprised of: 6,245 sq ft TRIPLEX DRIVES
 22,842 sq ft ROAD

CONCRETE DRIVEWAY - DUETS/SINGLE

9,689 SQ FT
0.222 ACRES

SIDEWALK PCC FRONTAGE

8,050 SQ FT

UNIT WALKWAYS

9,041 SQ FT

SITE TOTAL IMPERMEABLE AREAS

120,654 sq ft COVERED AREA OF SITE

DESIGNATED REMAINDER : 2
 27,779.03 SQ FT
 0.64 ACRES

PARCEL : 1
 198,660.99 SQ FT
 4.56 ACRES

FLOODPLAIN NOTE

1. THE FLOOD PLAINS PRESENTED HEREIN ARE BASED ON HYDROLOGICAL MODELING AND ANALYSIS COMPLETED BY WEST CONSULTANTS DATED JULY 2023 AND BALANCE HYDROLOGICS DATED JULY 19, 2022. FEMA CLOMR ISSUED MAY 11, 2023 AND EFFECTIVE SEPTEMBER 25, 2023.

NOTES

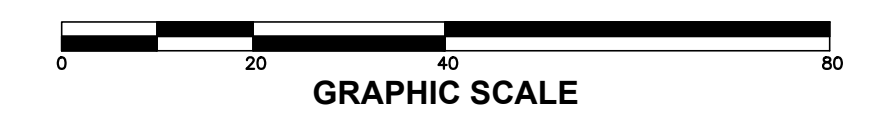
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15. SEE LAYOUT C-17 FOR THE FIRE APPARATUS ROUTING

REVISIONS	BY

SITE COVERAGE EXHIBIT
 CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
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 JOB: CREEKWOOD
 JOB NO: 192119
 SHEET
C-6
 OF 17 SHEETS



REVISIONS	BY

VESTING TENTATIVE PARCEL MAP
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD
PETALUMA, CALIFORNIA
APN 017-040-051 & -016

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 SHEET
C-7
 OF 17 SHEETS

LEGEND

EXISTING	PROPOSED	PROPERTY LINE
		EASEMENT LINE
		STORM DRAIN
		STORM DRAIN MANHOLE
		CATCH BASIN
		DROP INLET
		WATER LINE
		WATER LATERAL/METER
		SANITARY SEWER/MANHOLE
		CLEANOUT
		JOINT TRENCH
		GAS
		DESIGNATED REMAINDER

UNDERLYING UTILITIES*
 (SEE UTILITY PLAN)
NOTE:
 UNDERLYING FEATURES SHOWN IN "BROWN" ARE FOR REFERENCE ONLY.

SURVEYED DRIPLINE OF RIPARIAN CORRIDOR/WESTERLY LIMITS OF THE RIPARIAN HABITAT BIOLOGICAL STUDY AREA. LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY MONTRÖSE, SEE ARBORIST'S DATED DECEMBER 2023 AND SHEETS L-5.0 AND L-5.1 FOR DETAILED DESCRIPTION OF THE TREE SPECIES, TREE PROTECTION MEASURES, MITIGATION, TREE REPLACEMENT AND RIPARIAN VEGETATION WITHIN THIS PROTECTED AND PRESERVED AREA.

APPROXIMATE OHWM PER AES BIOLOGICAL SURVEY
 50FT SETBACK FROM TOP OF BANK
 EXISTING TOP OF BANK
 FEMA FLOOD PLAIN EFFECTIVE SEPTEMBER 25, 2023 PER CLOMR PERFORMED BY BALANCE HYDROLOGICS.
 FLOOD PLAIN PER MODELING BY WEST CONSULTANTS JULY 2023.
 LIMIT OF RIPARIAN HABITAT BIOLOGICAL STUDY AREA BY MONTRÖSE
 APPROXIMATE BOUNDARY OF RIPARIAN HABITAT, BY MONTRÖSE
 PROPOSED PUBLIC MULTI-USE PATH

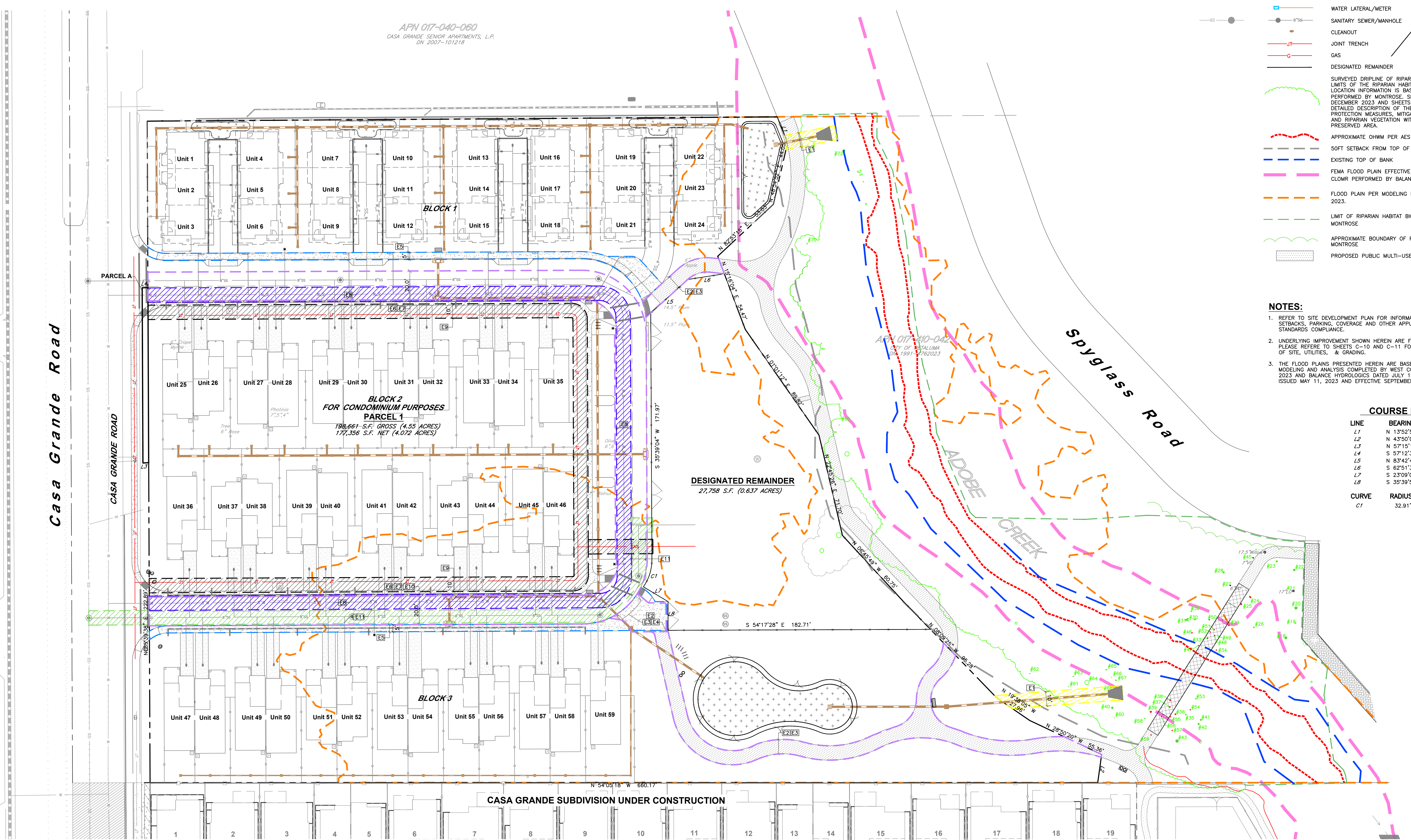
NOTES:

- REFER TO SITE DEVELOPMENT PLAN FOR INFORMATION RELATED TO R4 SETBACKS, PARKING, COVERAGE AND OTHER APURTIMENT PROJECT STANDARDS COMPLIANCE.
- UNDERLYING IMPROVEMENT SHOWN HEREIN ARE FOR REFERENCE ONLY. PLEASE REFER TO SHEETS C-10 AND C-11 FOR ADDITIONAL DETAILS OF SITE UTILITIES & GRADING.
- THE FLOOD PLAINS PRESENTED HEREIN ARE BASED ON HYDROLOGICAL MODELING AND ANALYSIS COMPLETED BY WEST CONSULTANTS DATED JULY 2023 AND BALANCE HYDROLOGICS DATED JULY 19, 2022. FEMA CLOMR ISSUED MAY 11, 2023 AND EFFECTIVE SEPTEMBER 25, 2023.

COURSE DATA

LINE	BEARING	LENGTH
L1	N 12°52'58" E	19.40'
L2	N 43°50'02" E	19.87'
L3	N 57°15'12" W	4.01'
L4	S 57°12'36" E	4.01'
L5	N 83°42'41" E	34.78'
L6	S 62°51'33" E	25.78'
L7	S 23°09'00" E	20.0'
L8	S 35°39'51" W	20.0'

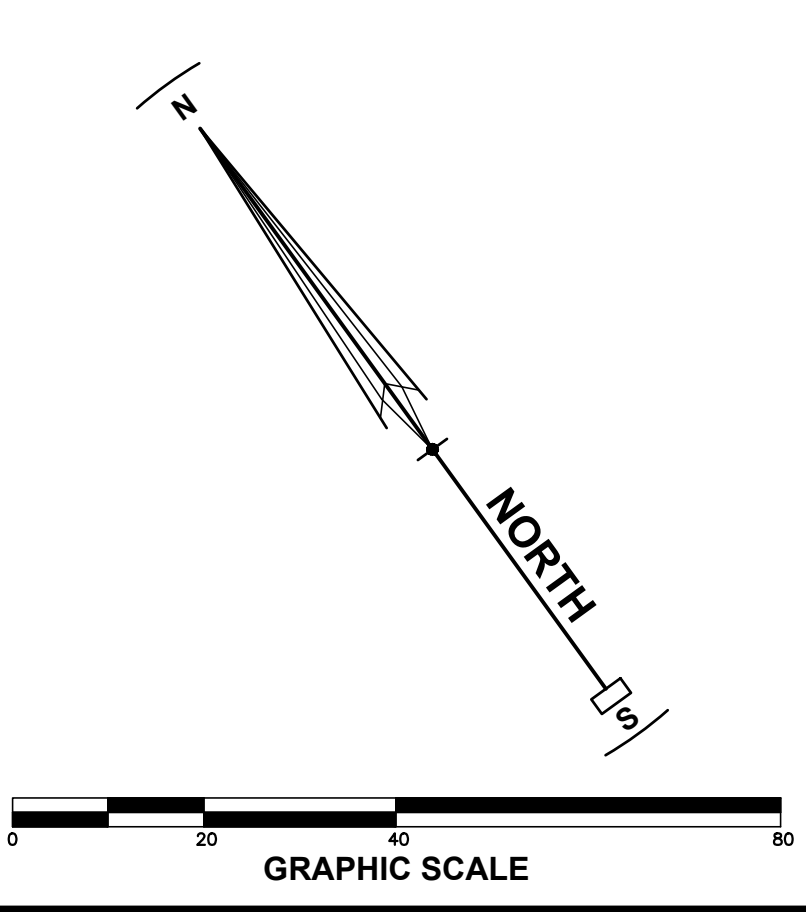
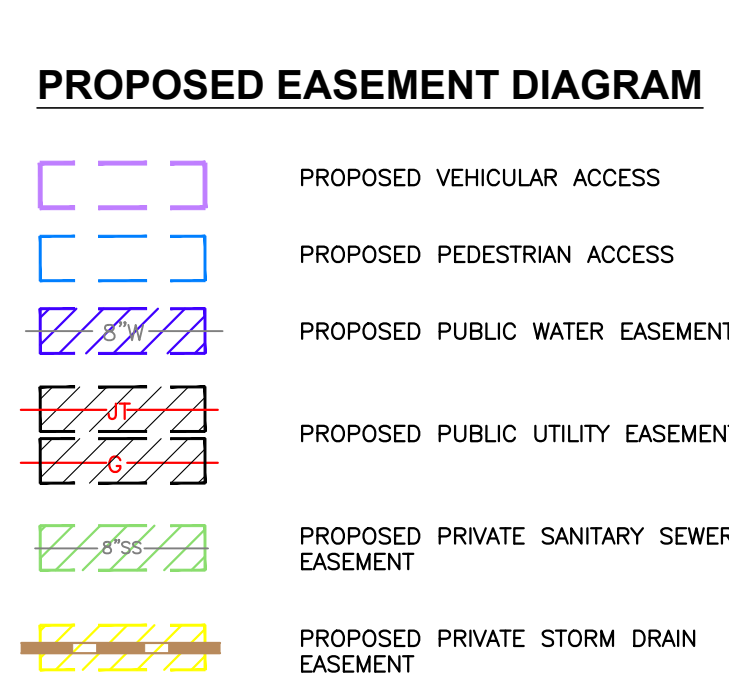
CURVE	RADIUS	LENGTH
C1	32.91'	20.01'



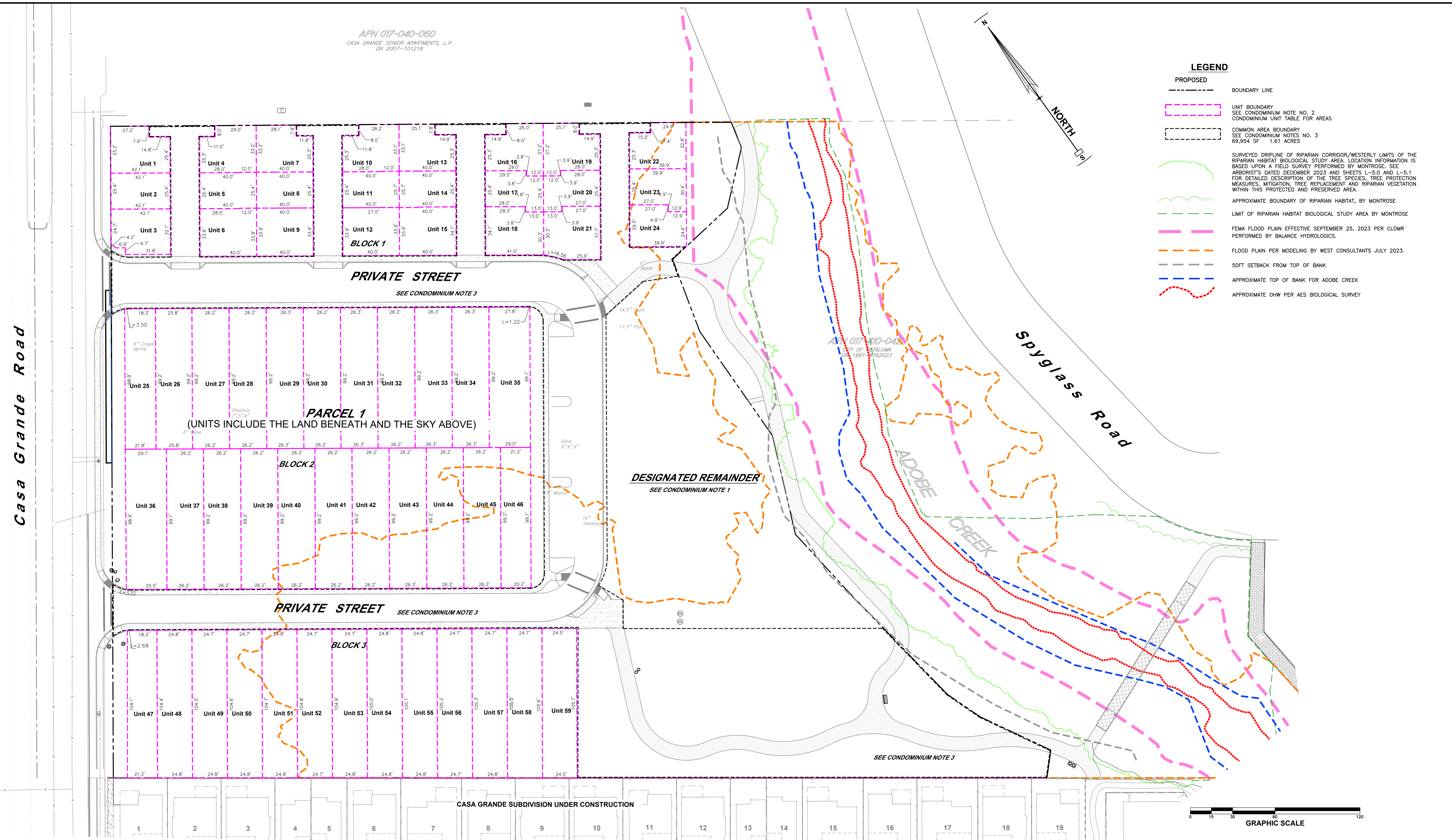
- EASEMENT DESIGNATIONS**
- [E1] PROPOSED PRIVATE STORM DRAIN EASEMENT FOR THE BENEFIT OF PARCEL 1.
 - [E2] PROPOSED CITY MAINTENANCE VEHICULAR ACCESS TO BE DEDICATED TO THE CITY OF PETALUMA.
 - [E3] PROPOSED PUBLIC MULTI-USE ACCESS EASEMENT TO BE DEDICATED TO THE CITY OF PETALUMA.
 - [E4] PROPOSED PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF THE DESIGNATED REMAINDER BY SEPARATE DOCUMENT.
 - [E5] PROPOSED PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE DEDICATED TO THE CITY OF PETALUMA.
 - [E6] PROPOSED PUBLIC BICYCLE ACCESS EASEMENT TO BE DEDICATED TO THE CITY OF PETALUMA.
 - [E7] PROPOSED PUBLIC EMERGENCY VEHICLE ACCESS EASEMENT TO BE DEDICATED TO THE CITY OF PETALUMA.
 - [E8] PROPOSED PUBLIC WATER MAIN EASEMENT TO BE DEDICATED TO THE CITY OF PETALUMA.
 - [E9] PROPOSED PUBLIC UTILITY EASEMENT TO BE DEDICATED PER PUBLIC CRITERIA.
 - [E10] PRIVATE VEHICULAR ACCESS EASEMENT FOR THE BENEFIT OF THE DESIGNATED REMAINDER BY SEPARATE DOCUMENT.
 - [E11] PRIVATE SANITARY SEWER EASEMENT FOR THE BENEFIT OF THE DESIGNATED REMAINDER BY SEPARATE DOCUMENT.

- TENTATIVE MAP NOTES:**
- ALL PROPOSED EASEMENTS THAT SHALL BENEFIT THE DESIGNATED REMAINDER AND THE PROPOSED PRIVATE STORM DRAIN EASEMENT OVER THE LANDS OF THE CITY OF PETALUMA SHALL BE CREATED AND RECORDED UNDER SEPARATE DOCUMENTS.
 - A ONE LOT PARCEL MAP IS REQUIRED FOR THE CREATION OF THE PROPOSED CONDOMINIUMS ON PARCEL 1.
 - THE DESIGNATED REMAINDER IS NOT A PART OF THE SUBDIVISION. NO CONDITIONS CAN BE IMPOSED ON SAID PARCEL UNLESS THERE IS A IDENTIFIED HEALTH AND SAFETY ISSUE UNDER GOVERNMENT CODE 66424.6.2 (A).
 - SEE C-8 PRELIMINARY CONDOMINIUM SITE PLAN FOR ADDITIONAL INFORMATION.
 - PARCEL "A" (488 S.F.) TO BE DEDICATED TO THE CITY OF PETALUMA ON THE PROPOSED PARCEL MAP.
 - ALL PROPOSED PUBLIC EASEMENTS LOCATED ON PARCEL 1 SHALL BE DEDICATED ON THE PROPOSED PARCEL MAP.

- NOTES**
- SEE LAYOUT C-2 FOR SITE CONTEXT & ADJACENT LAND USES
 - SEE LAYOUT C-4 FOR THE DEMOLITION & PRESERVATION
 - SEE LAYOUT C-5 FOR SITE DENSITY & LAND USE
 - SEE LAYOUT C-6 FOR SITE COVERAGE DATA
 - SEE LAYOUT C-7 FOR THE VESTING TENTATIVE MAP
 - SEE LAYOUT C-8 FOR THE PRELIMINARY CONDOMINIUM PLAN
 - SEE LAYOUT C-9 FOR THE PARKING PLAN
 - SEE LAYOUT C-10 FOR THE CIRCULATION PLAN
 - SEE LAYOUT C-11 FOR SITE DEVELOPMENT PLAN
 - SEE LAYOUT C-12 FOR PRELIMINARY GRADING DESIGN
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 - SEE LAYOUT C-17 FOR THE FIRE APPARATUS ROUTING



REVISIONS BY	DATE	DESCRIPTION



LEGEND

PROPOSED	BOUNDARY LINE
[Pink dashed line]	UNIT BOUNDARY SEE CONDOMINIUM NOTE NO. 2 CONDOMINIUM UNIT TABLE FOR AREAS
[Black dashed line]	COMMON AREA BOUNDARY SEE CONDOMINIUM NOTES NO. 3 69,954 SF 1.61 ACRES
[Green dashed line]	SURVEYED DRIFLINE OF RIPARIAN CORRIDOR/WESTERLY LIMITS OF THE RIPARIAN HABITAT BIOLOGICAL STUDY AREA. LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY MONTROSE. SEE ARBORIST'S DATED DECEMBER 2023 AND SHEETS L-5.0 AND L-5.1 FOR DETAILED DESCRIPTION OF THE TREE SPECIES, TREE PROTECTION MEASURES, MITIGATION, TREE REPLACEMENT AND RIPARIAN VEGETATION WITHIN THIS PROTECTED AND PRESERVED AREA.
[Green dashed line]	APPROXIMATE BOUNDARY OF RIPARIAN HABITAT, BY MONTROSE
[Green dashed line]	LIMIT OF RIPARIAN HABITAT BIOLOGICAL STUDY AREA BY MONTROSE
[Orange dashed line]	FEMA FLOOD PLAIN EFFECTIVE SEPTEMBER 25, 2023 PER CLOMR PERFORMED BY BALANCE HYDROLOGICS.
[Orange dashed line]	FLOOD PLAN PER MODELING BY WEST CONSULTANTS JULY 2023.
[Blue dashed line]	SOFT SETBACK FROM TOP OF BANK
[Blue dashed line]	APPROXIMATE TOP OF BANK FOR ADDORE CREEK
[Red dashed line]	APPROXIMATE OHW PER AES BIOLOGICAL SURVEY

CONDOMINIUM NOTES

- CREEKWOOD IS A CONDOMINIUM PROJECT CONSISTING OF THE LAND, THE COMMON AREA, THE CONDOMINIUM AND ALL OTHER IMPROVEMENTS LOCATED THEREON EXCEPT AS IDENTIFIED AS "PUBLIC". THERE ARE 59 RESIDENTIAL UNITS BEING PROPOSED TO BE CONSTRUCTED WITHIN THE BOUNDARY OF PROPOSED PARCEL 1. THE DESIGNATED REMAINDER IS NOT A PART OF THE PROJECT.
- EACH OF THE UNITS AS SEPARATELY SHOWN NUMBERED AND DESIGNATED IN THE CONDOMINIUM PLAN, CONSISTS OF THE SPACE BOUNDED BY AND CONTAINED WITHIN THE BOUNDARIES OF EACH UNIT, EACH SUCH SPACE BEING DEFINED AND REFERRED TO HEREIN AS A "UNIT". EACH UNIT INCLUDES: (1) A BUILDING OR BUILDINGS TOGETHER WITH THE LAND BENEATH AND THE SKY ABOVE THE BUILDING OR BUILDINGS; AND (2) THE LAND SURROUNDING THE BUILDING OR BUILDINGS (INCLUDING THE LAND BENEATH AND THE SKY ABOVE) AND WITHIN THE BOUNDARIES OF THE "UNIT" AS SHOWN ON THE CONDOMINIUM PLAN. SEE THE LEGEND AND CONDOMINIUM TABLE THIS LAYOUT.
- THE COMMON AREA CONSTITUTES ALL OF PROPOSED PARCEL 1 NOT WITHIN A UNIT BOUNDARY. THE COMMON AREA INCLUDES, LAND (EXCEPT THE LAND BENEATH AND THE SKY ABOVE THE UNITS, WHICH LAND IS INCLUDED WITHIN THE UNITS); SANITARY SEWER, DRAINAGE, ELECTRIC, GAS, TELEVISION, TELEPHONE AND RELATED LINES, AND OTHER UTILITY INSTALLATION, EXCEPT SUCH UTILITY INSTALLATIONS LOCATED ENTIRELY WITHIN A UNIT, REQUIRED TO PROVIDE POWER, LIGHT, TELEPHONE, GAS, WATER, SEWAGE, AND DRAINAGE TO THE UNITS. WATER DISTRIBUTION MAINS & LATERALS FOR THE SITE ARE PUBLIC. SEE THE LEGEND THIS LAYOUT FOR ADDITIONAL CONTEXT.

NOTES

- SEE LAYOUT C-2 FOR SITE CONTEXT & ADJACENT LAND USES
- SEE LAYOUT C-4 FOR THE DEMOLITION & PRESERVATION
- SEE LAYOUT C-5 FOR SITE DENSITY & LAND USE
- SEE LAYOUT C-6 FOR SITE COVERAGE DATA
- SEE LAYOUT C-7 FOR THE VESTING TENTATIVE MAP
- SEE LAYOUT C-8 FOR THE PRELIMINARY CONDOMINIUM PLAN
- SEE LAYOUT C-9 FOR THE PARKING PLAN
- SEE LAYOUT C-10 FOR THE CIRCULATION PLAN
- SEE LAYOUT C-11 FOR SITE DEVELOPMENT PLAN
- SEE LAYOUT C-12 FOR PRELIMINARY GRADING DESIGN
- SEE LAYOUT C-13 FOR PRELIMINARY BRIDGE CROSSING PROFILE
- SEE LAYOUT C-14 FOR PRELIMINARY UTILITY INFORMATION
- SEE LAYOUT C-15 FOR PRELIMINARY POST CONSTRUCTION STORM WATER CONTROL
- SEE LAYOUT C-16 FOR THE MAINTENANCE EXHIBIT
- SEE LAYOUT C-17 FOR THE FIRE APPARATUS ROUTING

CONDOMINIUM STATUTORY NARRATIVE

ITEM ONE -- DEFINING CONDO AIRSPACES TO INCLUDE STRUCTURES AND EXTERIOR AREAS:
Item One concerns the underlying law defining how condominium unit boundaries may be defined to include the entirety of the residential structures and exterior areas included within that condominium airspace. The relevant Civil Code sections (relevant portions highlighted), Civil Code section 4125 states that the boundaries of a condominium unit described in a condominium plan "may be filled with air, earth, water, or fixtures, or any combination thereof. . . . Civil Code section 4125 states that a condominium plan must contain a three-dimensional description of a condominium project (including condominium units and common areas) and that "one or more dimensions of which may extend for an indefinite distance upwards or downwards". These two sections together mean that the boundaries of a condominium unit may be defined by lateral boundaries with indefinite upper and lower limits, and that the airspace defined by such boundaries may include the land, air and all improvements within the boundaries - i.e., the entirety of the land, residential structures and the exterior areas may all be included within the boundaries of the condominium unit. It is common for condominium units to be defined in this manner for this type of development where each residential structure has its own footprint and yard areas, and there is no need to create airspaces within a building. It is also common for the residential units to share a common wall, in which case the condominium boundaries typically run down the center of the shared wall. Note also that because a condominium unit may include the exterior yard areas, the condominium unit boundaries here may be expanded to no exclusive use areas are required.

Cal. Civil Code § 4125. "Condominium project" defined

(a) "condominium project" means a real property development consisting of condominiums.

(b) A condominium consists of an undivided interest in common in a portion of real property coupled with a separate interest in space called a unit, the boundaries of which are described on a recorded final map, parcel map, or condominium plan in sufficient detail to locate all boundaries thereof; the area within these boundaries may be filled with air, earth, water, or fixtures, or any combination thereof, and need not be physically attached to land except by easements for access and, if necessary, support. The description of the unit may refer to (1) boundaries described in the recorded final map, parcel map, or condominium plan, (2) physical boundaries, either in existence, or to be constructed, such as walls, floors, and ceilings of a structure or any portion thereof, (3) an entire structure containing one or more units, or (4) any combination thereof.

(c) The portion or portions of the real property held in undivided interest may be all of the real property, except for the separate interests, or may include a particular three-dimensional portion thereof, the boundaries of which are described on a recorded final map, parcel map, or condominium plan. The area within these boundaries may be filled with air, earth, water, or fixtures, or any combination thereof, and need not be physically attached to land except by easements for access and, if necessary, support.

(d) An individual condominium within a condominium project may include, in addition, a separate interest in other portions of the real property.

Cal. Civil Code § 4285. Contents of condominium plan

A condominium plan shall contain all of the following:
(1) a description or survey map of a condominium project, which shall refer to or show monumentation on the ground.
(2) A three-dimensional description of a condominium project, one or more dimensions of which may extend for an indefinite distance upwards or downwards, in sufficient detail to identify the common area and each separate interest.
(3) A certificate consenting to the recordation of the condominium plan pursuant to this act that is signed and acknowledged as provided in Section 4290.

ITEM TWO -- CONDOMINIUM BOUNDARIES DEFINED ON SEPARATE RECORDED CONDOMINIUM PLAN; NOT SUBJECT TO LOCAL AGENCY APPROVAL.
Item Two concerns the law on whether the condominium units and common area boundaries are required to appear on the subdivision map, or can those boundaries be defined in a separately recorded condominium plan, and whether the local agency has authority to dictate how condominium boundaries are defined? Cal. Government Code § 66427 (reprinted below) specifically addresses these issues.

On the first part, the local agency may not require that the condominium boundaries appear on a subdivision map. Section 66427(b) specifically states that a subdivision map need not include (be combined with) a condominium plan, and that the local agency may not refuse approval of a map due to the absence of a condominium plan. Section 66427(a) also states that the local agency may not require that the three-dimensional airspace boundaries of a condominium appear on a subdivision map.

On the second part, the local agency may not refuse approval of a map based on how the condominium boundaries are defined on a condominium plan, provided that the project does not otherwise violate any local ordinance provisions. Section 66427(c) specifically states that the local agency may not refuse approval of the subdivision map based on the manner in which the condominium unit airspaces are to be defined. Section 66427(e) also makes clear that where a subdivision map is approved, the division of condominium units on the property does not constitute a further subdivision as long as the number of condominiums is not increased beyond the number approved by the local agency, that there is a commonly owned undivided interest, and that the condominium units are described on a recorded condominium map. Cal. Civil Code §§ 4295 & 4290 (reprinted below) are also clear that following subdivision map approval, any subsequent amendment of a condominium plan only requires the signatures of the property owners and any beneficiaries/lenders, and does not require any local agency review or approval. Under the foregoing provisions, property owners are free to define condominium unit and common area boundaries without local agency involvement or approval, both at the time of the initial subdivision approval and at any time thereafter.

Cal. Gov. Code § 66427. Map of condominium, community apartment project, stock cooperative project; three-dimensional portions

(a) A map of a condominium project, a community apartment project, or of the conversion of five or more existing dwelling units to a stock cooperative project need not show the buildings or the manner in which the buildings or the airspace above the property shown on the map are to be divided, nor shall the governing body have the right to refuse approval of a parcel, tentative, or final map of the project on account of the design or the location of buildings on the property shown on the map that are not violative of local ordinances or on account of the manner in which airspace is to be divided in conveying the condominium.

(b) A map need not include a condominium plan or plans, as defined in Section 4120 or 6540 of the Civil Code, and the governing body may not refuse approval of a parcel, tentative, or final map of the project on account of the absence of a condominium plan.

(c) Fees and lot design requirements shall be computed and imposed with respect to those maps on the basis of parcels or lots of the surface of the land shown thereon as included in the project.

(d) Nothing herein shall be deemed to limit the power of the legislative body to regulate the design or location of buildings in a project by or pursuant to local ordinances.

(e) If the governing body has approved a parcel map or final map for the establishment of condominiums on property pursuant to the requirements of this division, the separation of a three-dimensional portion or portions of the property from the remainder of the property or the division of that three-dimensional portion or portions into condominiums shall not constitute a further subdivision as defined in Section 66424, provided each of the following conditions has been satisfied:
(1) The total number of condominiums established is not increased above the number authorized by the local agency in approving the parcel map or final map.
(2) A perpetual estate or an estate for years in the remainder of the property is held by the condominium owners in undivided interests in common, or by an association as defined in Section 4100 or 8529 of the Civil Code, and the duration of the estate in the remainder of the property is the same as the duration of the estate in the condominiums.
(3) The three-dimensional portion or portions of property are described on a condominium plan or plans, as defined in Section 4120 or 6540 of the Civil Code.

Cal. Civil Code § 4295. Amendment or revocation of condominium plan

A condominium plan may be amended or revoked by a recorded instrument that is acknowledged and signed by all the persons who, at the time of amendment or revocation, are persons whose signatures are required under Section 4290.

Cal. Civil Code § 4290. Certificate consenting to recordation of condominium plan; signatures and acknowledgements

(a) The certificate consenting to the recordation of a condominium plan that is required by subdivision (c) of Section 4285 shall be signed and acknowledged by all of the following persons:
(1) The record owner of fee title to that property included in the condominium project.
(2) In the case of a condominium project that will terminate upon the termination of an estate for years, by all lessors and lessees of the estate for years.
(3) In the case of a condominium project subject to a life estate, by all life tenants and remainder interests.
(4) The trustee or the beneficiary of each recorded deed of trust, and the mortgagee of each recorded mortgage encumbering the property.

(b) Owners of mineral rights, easements, rights-of-way, and other nonpossessory interests do not need to sign the certificate.

(c) In the event a conversion to condominiums of a community apartment project or stock cooperative has been approved by the required number of owners, trustees, beneficiaries, and mortgagees pursuant to Section 66452.10 of the Government Code, the certificate need only be signed by those owners, trustees, beneficiaries, and mortgagees approving the conversion.

Unit #	UNIT GROUND SURFACE AREA (FT ²)	Unit #	UNIT GROUND SURFACE AREA (FT ²)
1	1281	32	2604
2	1069	33	2604
3	1297	34	2604
4	1243	35	2877
5	1016	36	2864
6	1347	37	2602
7	1235	38	2602
8	1017	39	2602
9	1355	40	2603
10	1236	41	2603
11	1020	42	2602
12	1354	43	2604
13	1210	44	2603
14	1021	45	2603
15	1363	46	2108
16	1294	47	2203
17	1046	48	2585
18	1350	49	2586
19	1261	50	2590
20	1021	51	2598
21	1428	52	2591
22	1195	53	2597
23	1079	54	2601
24	1113	55	2608
25	1158	56	2601
26	1250	57	2609
27	2602	58	2611
28	2604	59	2640
29	2604		
30	2604		
31	2604		

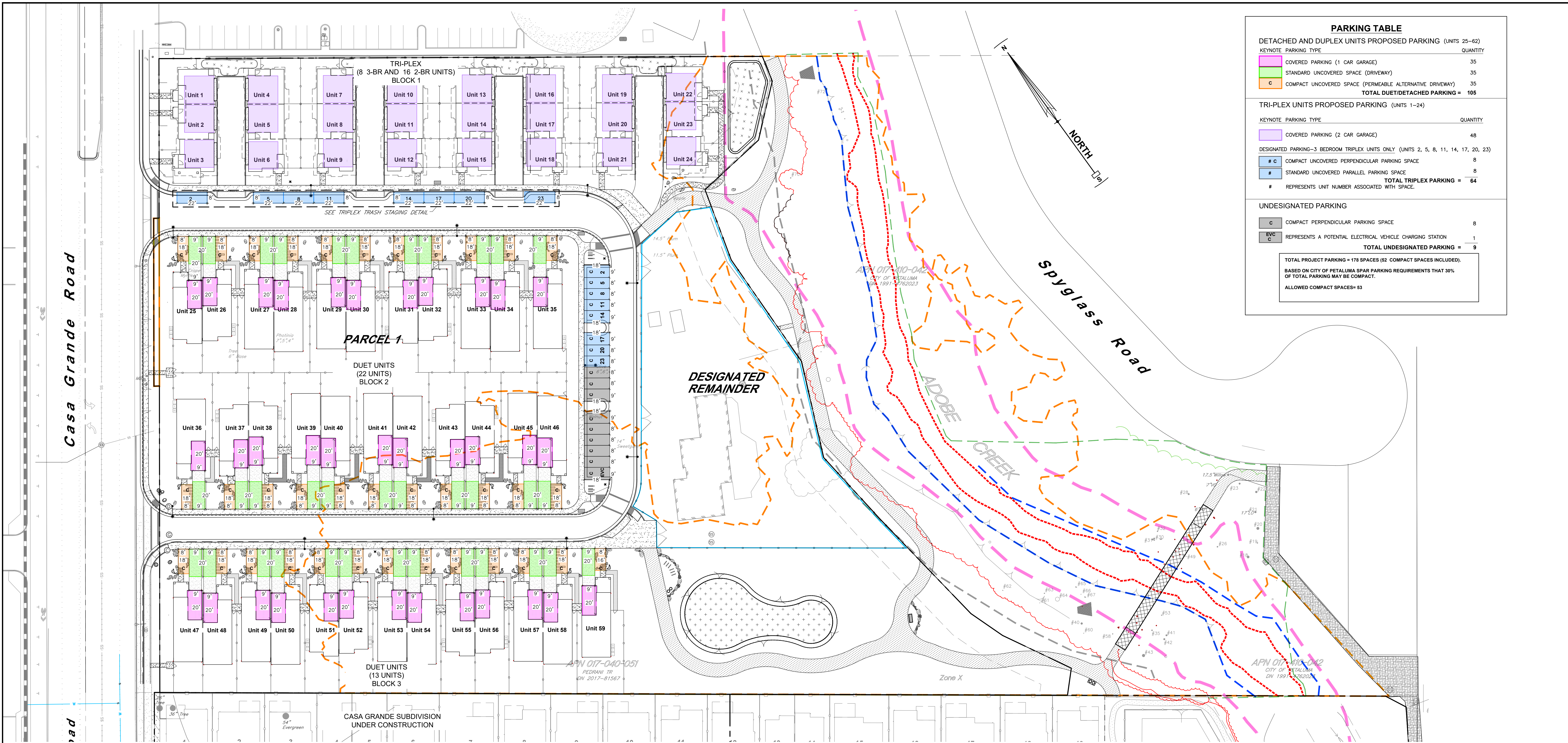


PRELIMINARY CONDOMINIUM SITE DEVELOPMENT PLAN
 CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
 PETALUMA CALIFORNIA

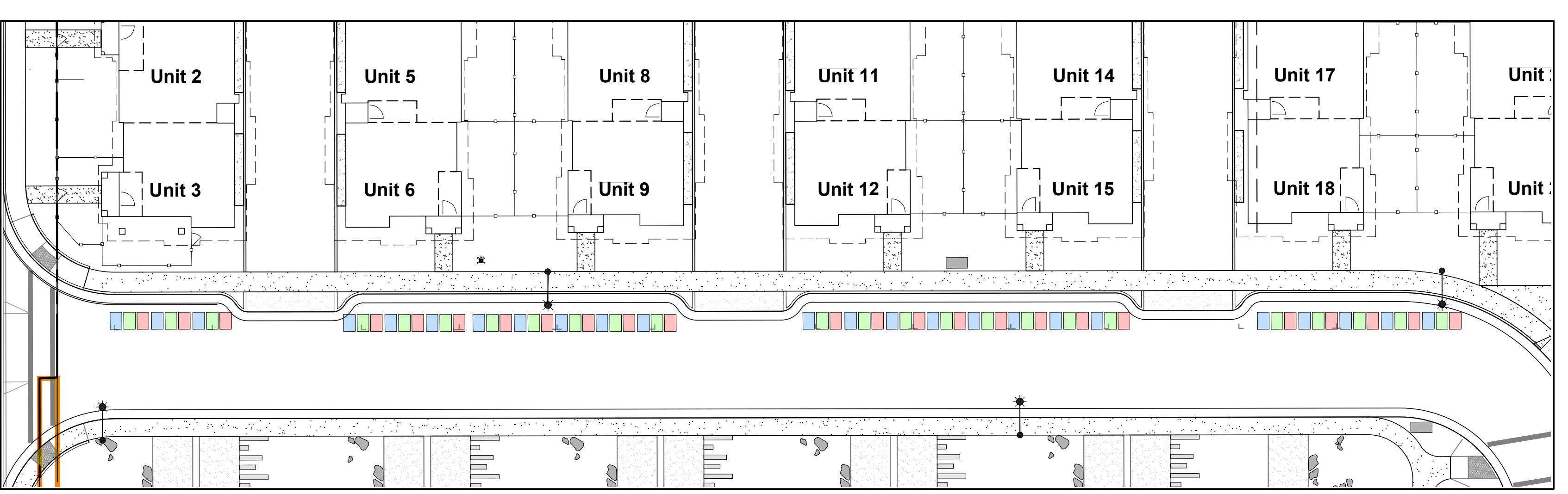
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 JOB: CREEKWOOD
 JOB NO: 192119
 SHEET
C-8
 OF 17 SHEETS

REVISIONS	BY

PARKING TABLE	
DETACHED AND DUPLEX UNITS PROPOSED PARKING (UNITS 25-62)	
KEYNOTE PARKING TYPE	QUANTITY
COVERED PARKING (1 CAR GARAGE)	35
STANDARD UNCOVERED SPACE (DRIVEWAY)	35
COMPACT UNCOVERED SPACE (PERMEABLE ALTERNATIVE DRIVEWAY)	35
TOTAL DUET/DETACHED PARKING = 105	
TRI-PLEX UNITS PROPOSED PARKING (UNITS 1-24)	
KEYNOTE PARKING TYPE	QUANTITY
COVERED PARKING (2 CAR GARAGE)	48
DESIGNATED PARKING-3 BEDROOM TRI-PLEX UNITS ONLY (UNITS 2, 5, 8, 11, 14, 17, 20, 23)	
# C COMPACT UNCOVERED PERPENDICULAR PARKING SPACE	8
# STANDARD UNCOVERED PARALLEL PARKING SPACE	8
# REPRESENTS UNIT NUMBER ASSOCIATED WITH SPACE	
TOTAL TRI-PLEX PARKING = 64	
UNDESIGNATED PARKING	
C COMPACT PERPENDICULAR PARKING SPACE	8
EVC REPRESENTS A POTENTIAL ELECTRICAL VEHICLE CHARGING STATION	1
TOTAL UNDESIGNATED PARKING = 9	
TOTAL PROJECT PARKING = 178 SPACES (52 COMPACT SPACES INCLUDED).	
BASED ON CITY OF PETALUMA SPAR PARKING REQUIREMENTS THAT 30% OF TOTAL PARKING MAY BE COMPACT.	
ALLOWED COMPACT SPACES= 53	



PARKING PLAN SITE OVERVIEW
SCALE: 1" = 30'
GRAPHIC SCALE



TRIPLEX TRASH STAGING DETAIL
SCALE: 1" = 20'
GRAPHIC SCALE

TRASH STAGING LEGEND

Blue box	RECYCLING BIN 64 GAL
Green box	GREEN WASTE BIN 64 GAL
Red box	WASTE BIN 64 GAL

- NOTES**
- SEE LAYOUT C-2 FOR SITE CONTEXT & ADJACENT LAND USES
 - SEE LAYOUT C-3 FOR THE EXISTING CONDITIONS
 - SEE LAYOUT C-4 FOR THE DEMOLITION & PRESERVATION
 - SEE LAYOUT C-5 FOR SITE DENSITY & LAND USE
 - SEE LAYOUT C-6 FOR SITE COVERING DATA
 - SEE LAYOUT C-7 FOR THE VESTING TENTATIVE MAP
 - SEE LAYOUT C-8 FOR THE PRELIMINARY CONDOMINIUM PLAN
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 - SEE LAYOUT C-14 FOR PRELIMINARY UTILITY INFORMATION
 - SEE LAYOUT C-15 FOR PRELIMINARY POST CONSTRUCTION STORM WATER CONTROL
 - SEE LAYOUT C-16 FOR THE MAINTENANCE EXHIBIT
 - SEE LAYOUT C-17 FOR THE FIRE APPARATUS ROUTING

FLOODPLAIN NOTE

1. THE FLOOD PLAINS PRESENTED HEREIN ARE BASED ON HYDROLOGICAL MODELING AND ANALYSIS COMPLETED BY WEST CONSULTANTS DATED JULY 2023 AND BALANCE HYDROLOGICS DATED JULY 19, 2022. FEMA CLOMR ISSUED MAY 11, 2023 AND EFFECTIVE SEPTEMBER 25, 2023.

GENERAL LANDSCAPE LEGEND

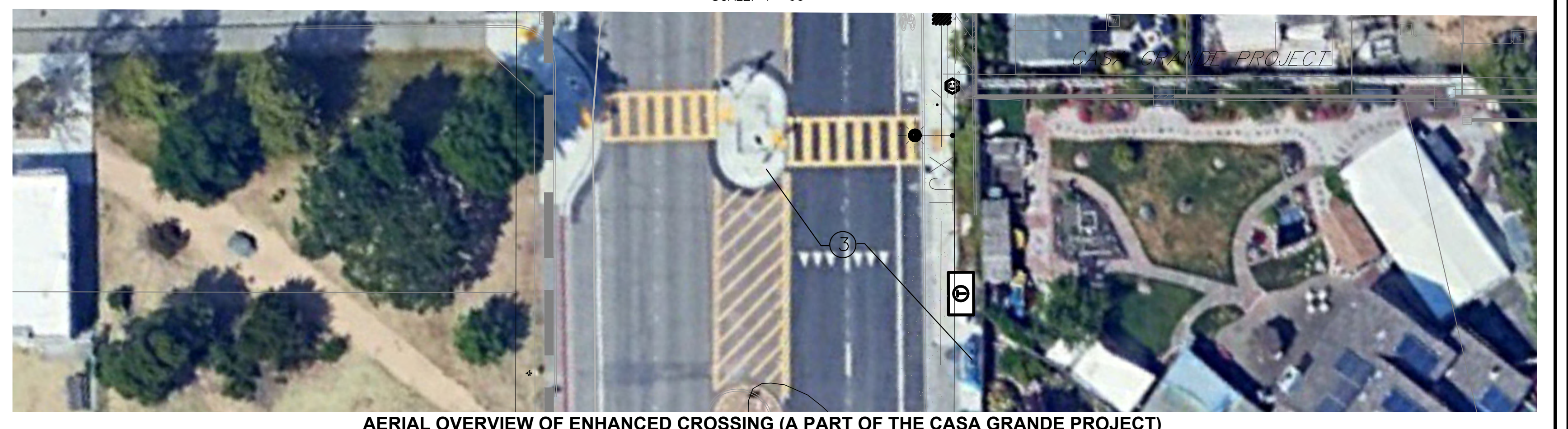
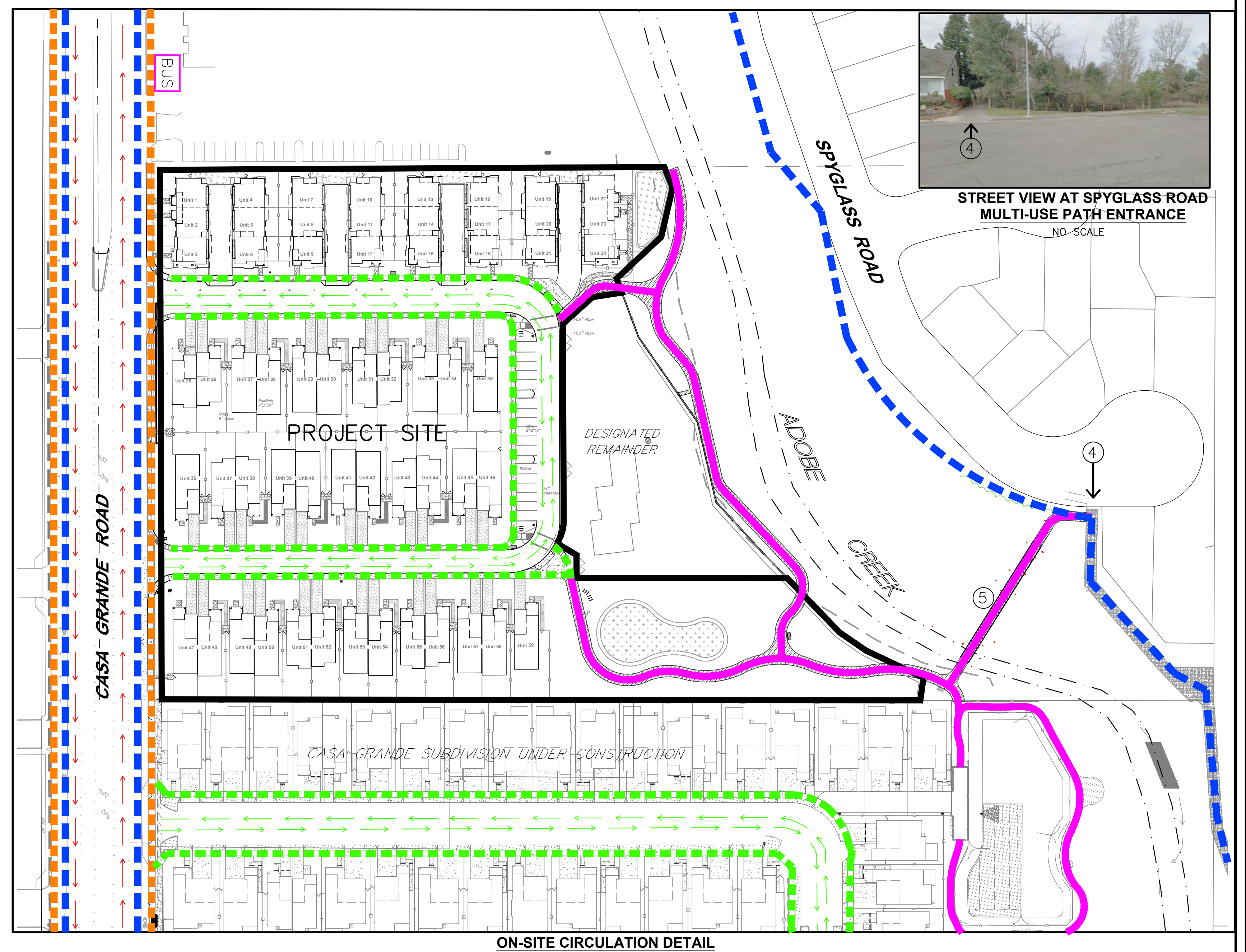
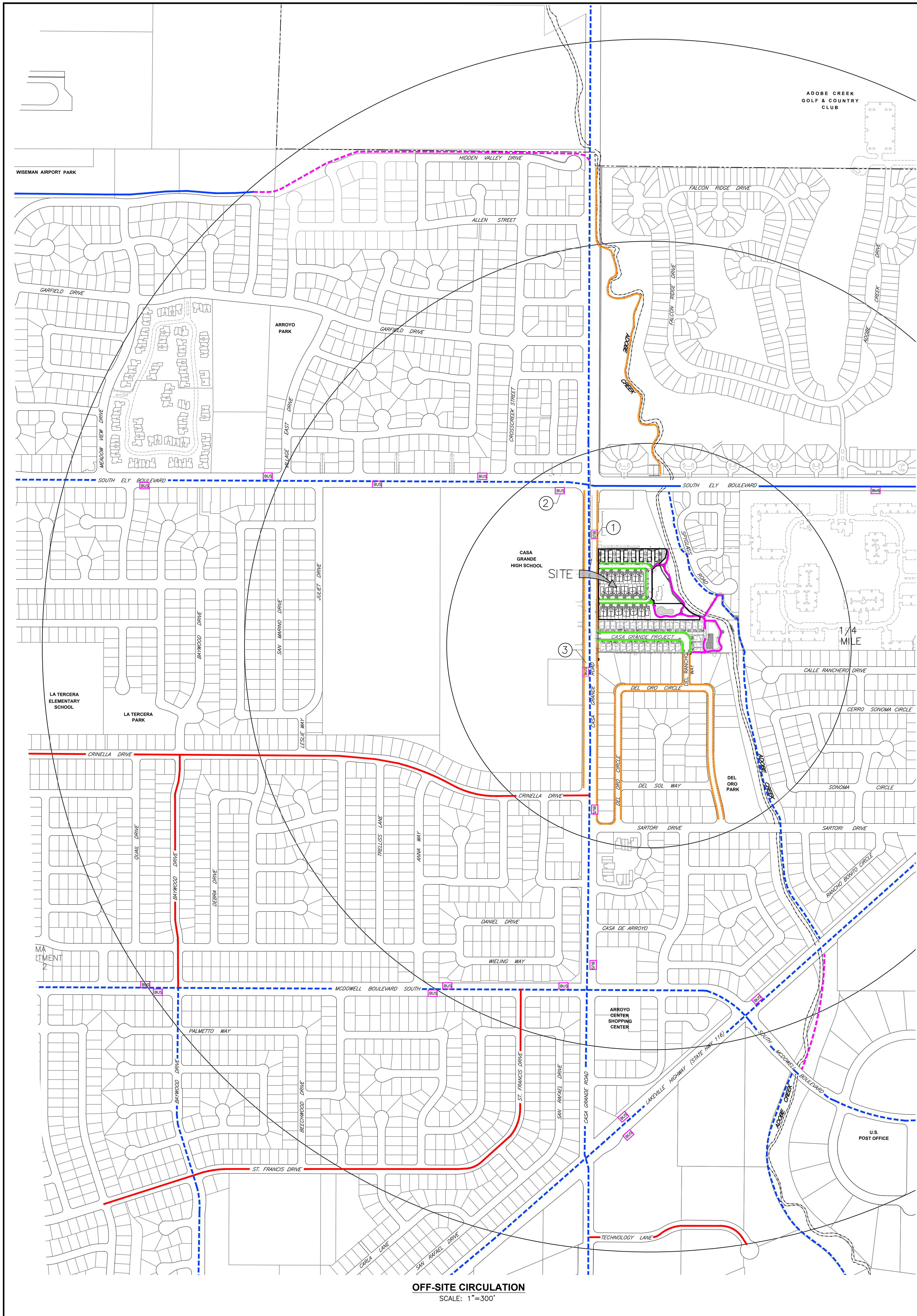
--- (dashed line)	PROPERTY LINE
--- (dashed line)	DESIGNATED REMAINDER BOUNDARY
--- (dashed line)	DEDICATION TO CITY OF PETALUMA FOR CASA GRANDE ROW
--- (dashed line)	BASEIN AREA (BASMAA TREATMENT/FLOOD MITIGATION)
--- (dashed line)	10' WIDE MULTI-USE PATH
--- (dashed line)	3' WIDE GRAVEL PATH
--- (dashed line)	CONCRETE PAVING
--- (dashed line)	SURVEYED DRILINE OF RIPARIAN CORRIDOR/WESTERLY LIMITS OF THE RIPARIAN HABITAT BIOLOGICAL STUDY AREA. LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY MONTROSE. SEE ARBORIST'S DATED DECEMBER 2023 AND SHEETS L-5.0 AND L-5.1 FOR DETAILED DESCRIPTION OF THE TREE SPECIES, TREE PROTECTION MEASURES, MITIGATION, TREE REPLACEMENT AND RIPARIAN VEGETATION WITHIN THIS PROTECTED AND PRESERVED AREA.
--- (dashed line)	APPROXIMATE BOUNDARY OF RIPARIAN HABITAT, BY MONTROSE
--- (dashed line)	LIMIT OF RIPARIAN HABITAT BIOLOGICAL STUDY AREA BY MONTROSE
--- (dashed line)	FEMA FLOOD PLAN EFFECTIVE SEPTEMBER 25, 2023 PER CLOMR PERFORMED BY BALANCE HYDROLOGICS.
--- (dashed line)	FLOOD PLAN PER MODELING BY WEST CONSULTANTS JULY 2023.
--- (dashed line)	SOFT SETBACK FROM TOP OF BANK
--- (dashed line)	APPROXIMATE TOP OF BANK FOR ADOBE CREEK
--- (dashed line)	APPROXIMATE OHW PER AES BIOLOGICAL SURVEY
--- (dashed line)	BICYCLE PARKING AREA, 6 BIKE CAPACITY
--- (dashed line)	TRASH STAGING AREA/DESIGNATED PARKING FOR 3 BEDROOM UNITS 6 DAYS/WK NO PARKING ON TRASH DAY



PARKING PLAN
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
140 SECOND STREET, SUITE 312
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

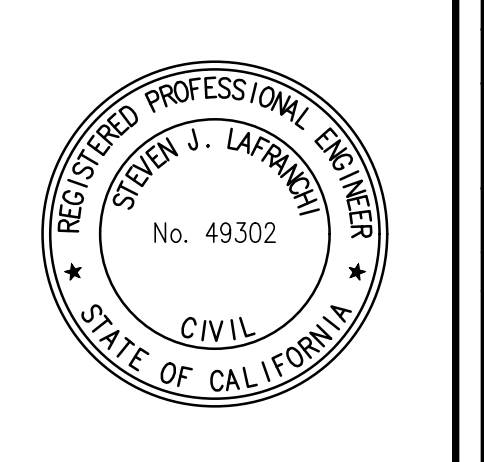
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CHECK: SJA
JOB: CREEKWOOD
JOB No: 192119
SHEET
C-9
OF 17 SHEETS



LEGEND

	PROPOSED PUBLIC PEDESTRIAN ACCESS		CLASS 1 (EXIST.)		CLASS 1 (PROPOSED)
	EXISTING PUBLIC PEDESTRIAN ACCESS		CLASS 2 (EXIST.)		CLASS 2 (PROPOSED)
	PROPOSED PUBLIC VEHICULAR ACCESS		CLASS 3 (EXIST.)		CLASS 3 (PROPOSED)
	EXISTING PUBLIC VEHICULAR ACCESS		BUS STOP LOCATION		

- KEY NOTE**
- EXISTING TRANSIT STOP ALONG CASA GRANDE ROAD, ADJACENT TO PEP FACILITY, TO BE UPGRADED
 - EXISTING TRANSIT STOP ALONG ELY BLVD, ADJACENT TO CASA GRANDE HIGH SCHOOL.
 - EXISTING ENHANCED PEDESTRIAN CROSSING AND TRANSIT STOP ALONG CASA GRANDE ROAD.
 - EXISTING ENTRANCE TO MULTI-USE PATH AT SPYGLASS ROAD.
 - PROPOSED PEDESTRIAN BRIDGE.



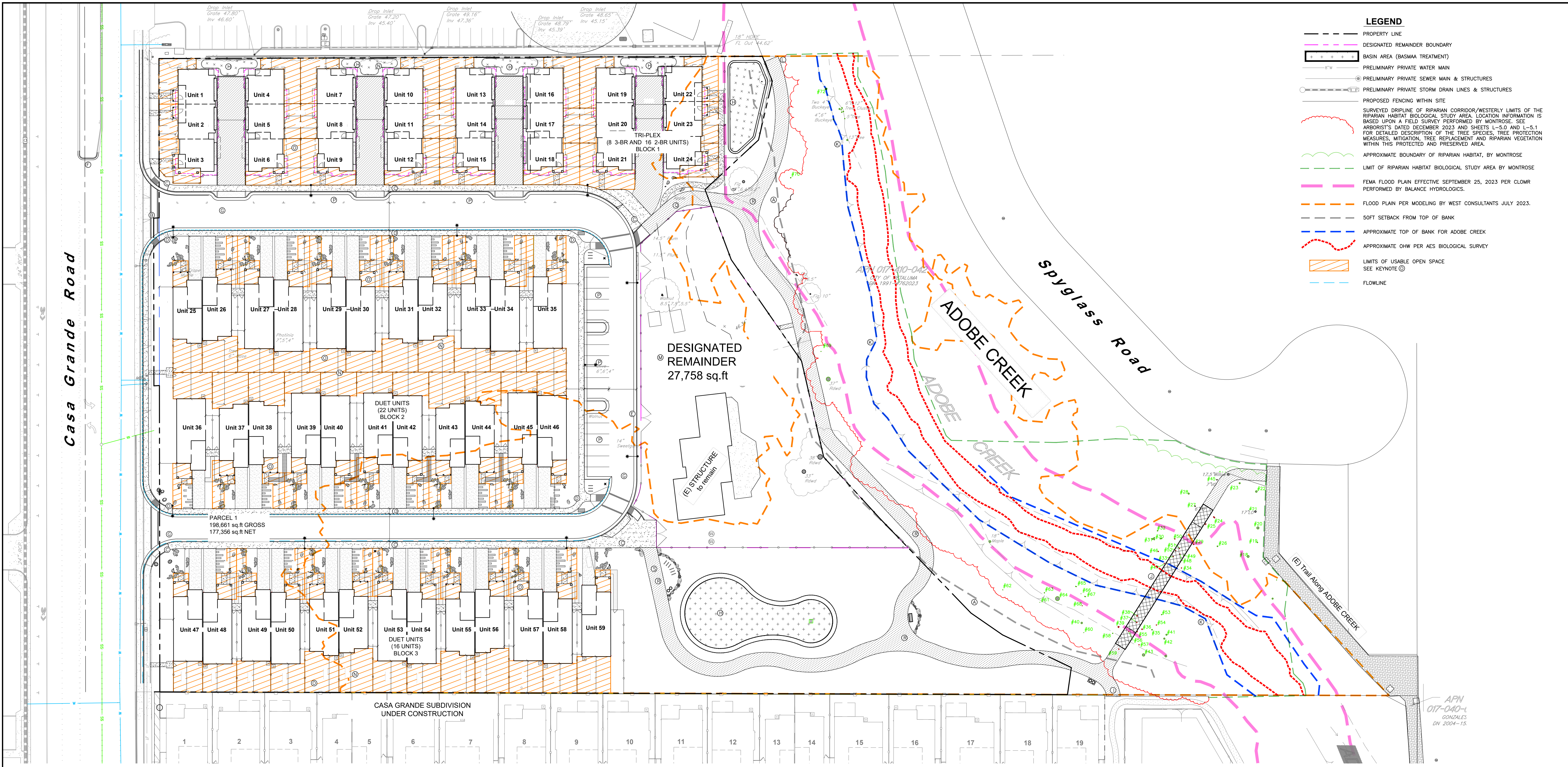
REVISIONS BY	
CIRCULATION PLAN	
CREEKWOOD CONDOMINIUM PROJECT	
270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016	
PETALUMA CALIFORNIA	
STEVEN J. LAFRANCHI & ASSOCIATES, INC. CIVIL ENGINEERS - LAND SURVEYORS LAND PLANNERS - LANDSCAPE ARCHITECTS PETALUMA THEATRE SQUARE PETALUMA, CALIFORNIA 94952 (707) 762-3122 FAX (707) 762-3239	
DATE:	2023.12.20
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JOB:	CREEKWOOD
JOB No:	192119
SHEET	C-10
OF	17 SHEETS

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PRELIMINARY SITE PLAN
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
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 CHECK: S.J.
 JOB: CREEKWOOD
 JOB No.: 192119
 SHEET
C-11
 OF 17 SHEETS



LEGEND

- PROPERTY LINE
- - - DESIGNATED REMAINDER BOUNDARY
- ▭ BASIN AREA (BASMAA TREATMENT)
- PRELIMINARY PRIVATE WATER MAIN
- PRELIMINARY PRIVATE SEWER MAIN & STRUCTURES
- PRELIMINARY PRIVATE STORM DRAIN LINES & STRUCTURES
- PROPOSED FENCING WITHIN SITE
- SURVEYED DRIFLINE OF RIPARIAN CORRIDOR/WESTERLY LIMITS OF THE RIPARIAN HABITAT BIOLOGICAL STUDY AREA. LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY MONTROSE. SEE ARBORIST'S DATED DECEMBER 2023 AND SHEETS L-5.0 AND L-5.1 FOR DETAILED DESCRIPTION OF THE TREE SPECIES, TREE PROTECTION MEASURES, MITIGATION, TREE REPLACEMENT AND RIPARIAN VEGETATION WITHIN THIS PROTECTED AND PRESERVED AREA.
- APPROXIMATE BOUNDARY OF RIPARIAN HABITAT, BY MONTROSE
- LIMIT OF RIPARIAN HABITAT BIOLOGICAL STUDY AREA BY MONTROSE
- FEMA FLOOD PLAIN EFFECTIVE SEPTEMBER 25, 2023 PER CLOMR PERFORMED BY BALANCE HYDROLOGICS.
- FLOOD PLAIN PER MODELING BY WEST CONSULTANTS JULY 2023.
- SOFT SETBACK FROM TOP OF BANK
- APPROXIMATE TOP OF BANK FOR ADOBE CREEK
- APPROXIMATE OHW PER AES BIOLOGICAL SURVEY
- ▨ LIMITS OF USABLE OPEN SPACE
SEE KEYNOTE ⑤
- FLOWLINE

CONDOMINIUM UNIT DATA TABLE

Unit #	Plan Type	BR	BA	UNIT GROUND SURFACE AREA (FT ²)	BLDG AREA (FT ²)	USO (FT ²)	Total	Parking	Uncovered
1	3	2	2.5	1281	1,334	569	2	2 garage	-
2	3	2	2.5	1069	1,334	357	3	2 garage	1 street
3	4	3	2.5	1297	1,458	567	2	2 garage	-
4	3	2	2.5	1243	1,334	533	2	2 garage	-
5	3	2	2.5	1016	1,334	305	3	2 garage	1 street
6	4	3	2.5	1347	1,458	727	2	2 garage	-
7	3	2	2.5	1235	1,334	525	2	2 garage	-
8	3	2	2.5	1017	1,334	304	3	2 garage	1 street
9	4	3	2.5	1355	1,458	745	2	2 garage	-
10	3	2	2.5	1236	1,334	526	2	2 garage	-
11	3	2	2.5	1020	1,334	308	3	2 garage	1 street
12	4	3	2.5	1354	1,458	734	2	2 garage	-
13	3	2	2.5	1210	1,334	500	2	2 garage	-
14	3	2	2.5	1021	1,334	309	3	2 garage	1 street
15	4	3	2.5	1363	1,458	743	2	2 garage	-
16	3	2	2.5	1294	1,334	559	2	2 garage	-
17	3	2	2.5	1046	1,334	305	3	2 garage	1 street
18	4	3	2.5	1350	1,458	711	2	2 garage	-
19	3	2	2.5	1261	1,334	551	2	2 garage	-
20	3	2	2.5	1021	1,334	305	3	2 garage	1 street
21	4	3	2.5	1428	1,458	811	2	2 garage	-
22	3	2	2.5	1195	1,334	486	2	2 garage	-
23	3	2	2.5	1079	1,334	367	3	1 garage	2 driveway
24	4	3	2.5	1115	1,458	435	2	2 garage	-
25	1	3	2.5	2158	1,395	684	3	1 garage	2 driveway
26	1	3	2.5	2559	1,395	1,046	3	1 garage	2 driveway
27	2	3	2.5	2602	1,660	870	3	1 garage	2 driveway
28	2	3	2.5	2604	1,660	852	3	1 garage	2 driveway
29	2	3	2.5	2604	1,660	871	3	1 garage	2 driveway
30	2	3	2.5	2604	1,660	852	3	1 garage	2 driveway
31	1	3	2.5	2604	1,395	1,053	3	1 garage	2 driveway

TABLE 4.9 - R4 AND R5 ZONE DEVELOPMENT STANDARDS

Development Feature	Requirement by Zone	
	R4 Residential 4	R5 Residential 5
Lot size	Minimum area and width required for each lot in a new subdivision	
Minimum area	3,500 sq ft	1,500 sq ft
Minimum width	Interior lot: 35 ft Corner lot: 40 ft	NA
Minimum depth	70 ft	NA
Setbacks	Minimum setbacks required. See Chapter 12 for modifications, reductions, and encroachments. See Chapter 7 for any setback requirements applicable to a specific lot area.	
Primary structure	Front: 10 ft Side - Interior (each): 0 ft Side - Street side: 10 ft Garage front: 10 ft Detached Accessory Structure: 20 ft	Front: 0 ft Side - Interior (each): 0 ft Side - Street side: 0 ft Garage front: 0 ft
Detached Accessory Structure	Front: Not Permitted Side - Interior (each): 4 ft Side - Street: 10 ft Rear: 5 ft	Front: Not Permitted Side - Interior (each): 4 ft Side - Street: 10 ft Rear: 5 ft
Site coverage	The percent of the total site area covered by structures, open or enclosed, excluding uncovered steps, patios and terraces.	
Maximum coverage	60%	NA
Accessory structure, detached	10% of the required setback area or 500 sq ft, whichever is greater	NA
Height limit	Maximum allowable height of structures. See Glossary for height measurement requirements, and Chapter 13 for height limit modifications.	
Maximum height	Principal Building: 35 ft Accessory Structure: 25 ft Accessory Dwelling: 25 ft	Principal Building: 45 ft Accessory Structure: 25 ft Accessory Dwelling: NA
Usable Open Space	300 sq/lot	400 sq/lot May include common open space
Fencing, Landscaping, & Tree Preservation	See Chapters 13, 14, and 17	
Parking	See Chapter 11	
Signs	See Chapter 20	

1. If slope of the parcel is 10% or greater, the minimum parcel size is determined by Section 16.070(C).
 2. An increase in height may be permissible as prescribed in Section 12.025.

EXCERPT FROM IZO - TABLE 4.9 : R4 DEVELOPMENT STANDARDS

COVERAGE: THE PERCENT OF TOTAL SITE AREA COVERED BY STRUCTURES, OPEN OR ENCLOSED, EXCLUDING UNCOVERED STEPS, PATIOS AND TERRACES. PERCENT COVERAGE HAS BEEN CALCULATED USING GROSS AREA OF LOTS.

32.61% Site Coverage SEE EXHIBIT LAYOUT C-6 FOR ADDITIONAL CONTEXT.

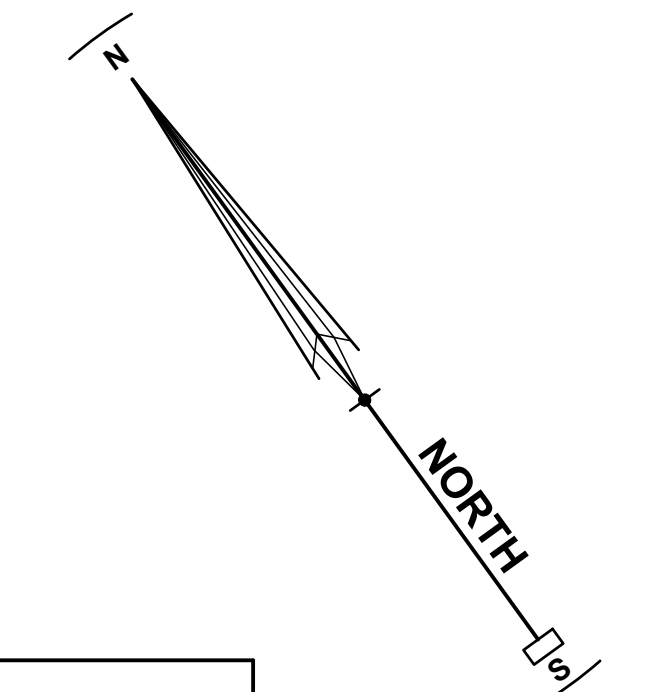
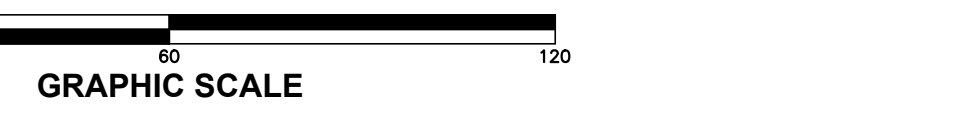
USABLE OPEN SPACE: INCLUDES THE AGGREGATE AREA OF SIDE AND REAR YARDS, PATIOS, AND BALCONIES AND DECKS HAVING A DEPTH OF NOT LESS THAN (3) FEET AND AREAS NOT LESS THAN 30 SQUARE FEET, ON A BUILDING SITE OR BUILDING, WHICH IS AVAILABLE AND ACCESSIBLE TO THE OCCUPANTS OF THE BUILDING OR BUILDING SITE FOR PURPOSES OF ACTIVE AND/OR PASSIVE OUTDOOR RECREATION. THIS AREA IS EXCLUSIVE OF DRIVEWAYS, AREAS FOR OFF-STREET PARKING AND SERVICES, AND GROUND LEVEL AREAS WITH A WIDTH OF LESS THAN FIVE (5) FEET OR MAXIMUM DIMENSION OF UNDER TEN (10) FEET.

FLOODPLAIN NOTE
 1. THE FLOOD PLAINS PRESENTED HEREIN ARE BASED ON HYDROLOGICAL MODELING AND ANALYSIS COMPLETED BY WEST CONSULTANTS DATED JULY 2023 AND BALANCE HYDROLOGICS DATED JULY 19, 2022. FEMA CLOMR ISSUED MAY 11, 2023 AND EFFECTIVE SEPTEMBER 25, 2023.

- NOTES**
- SEE LAYOUT C-2 FOR SITE CONTEXT & ADJACENT LAND USES
 - SEE LAYOUT C-3 FOR THE EXISTING CONDITIONS
 - SEE LAYOUT C-4 FOR THE DEMOLITION & PRESERVATION
 - SEE LAYOUT C-5 FOR SITE DENSITY & LAND USE
 - SEE LAYOUT C-6 FOR SITE COVERAGE DATA
 - SEE LAYOUT C-7 FOR THE VESTING TENTATIVE MAP
 - SEE LAYOUT C-8 FOR THE PRELIMINARY CONDOMINIUM PLAN
 - SEE LAYOUT C-9 FOR THE PARKING PLAN
 - SEE LAYOUT C-12 FOR PRELIMINARY GRADING DESIGN
 - SEE LAYOUT C-15 FOR PRELIMINARY BRIDGE CROSSING PROFILE
 - SEE LAYOUT C-14 FOR PRELIMINARY UTILITY INFORMATION
 - SEE LAYOUT C-15 FOR PRELIMINARY POST CONSTRUCTION STORM WATER CONTROL
 - SEE LAYOUT C-16 FOR THE MAINTENANCE EXHIBIT
 - SEE LAYOUT C-17 FOR THE FIRE APPARATUS ROUTING

KEYNOTES

- APPROXIMATE 50' DEVELOPMENT SETBACK LINE FROM ADOBE CREEK TOP OF BANK.
- PROPOSED DEDICATION TO THE CITY OF PETALUMA FOR CASA GRANDE ROAD RIGHT OF WAY.
- PROPOSED PUBLIC SIDEWALK AND PUBLIC PEDESTRIAN EASEMENT.
- PROPOSED PRIVATE SIDEWALK FOR CREEKWOOD RESIDENTS.
- NO PARKING ALLOWED AS INDICATED WITH RED CURB.
- PORTION OF EXISTING MEDIAN TO BE REMOVED TO ALLOW INGRESS AND EGRESS.
- PROPOSED 20' WIDE DRIVE AISLE FOR PROJECT. PROPOSED PUBLIC EMERGENCY VEHICLE ACCESS AND BICYCLE ACCESS EASEMENTS DEDICATED TO THE CITY OF PETALUMA. PROPOSED PRIVATE VEHICULAR EASEMENT FOR THE BENEFIT OF THE DESIGNATED REMAINDER PARCEL.
- PROPOSED BASIN RETENTION AREA FOR STORM WATER TREATMENT SEE BASMAA EXHIBIT AS NEEDED FOR ADDITIONAL CONTEXT.
- PROPOSED PUBLIC MULTI-USE PATH TO CONNECT TO EXISTING PUBLIC PATH SYSTEM ON PARCEL "A" OF THE CASA GRANDE SUBDIVISION.
- PROPOSED BRIDGE CROSSING LOCATED ON CITY OF PETALUMA PROPERTY TO CONNECT TO EXISTING PUBLIC PATH TO COMPLY WITH CITY OBJECTIVE STANDARDS.
- APPROXIMATE ADOBE CREEK TOP OF BANK
- TERMINATION OF PROPOSED PUBLIC MULTI-USE PATH.
- DESIGNATED NOT A PART OF PROJECT PER SUBDIVISION MAP ACT.
- PROPOSED PARCEL 1 INCLUDES BLOCKS 1, 2, 3 AND DRIVE AISLE.
- USABLE OPEN SPACE AS DEFINED IN THE CITY OF PETALUMA IMPLEMENTING ZONING ORDINANCE DATED JUNE 2008 (REVISION DATE JULY 10, 2014) AND ON THIS SHEET. SEE TABLE THIS LAYOUT FOR TABULATION OF USO PER CONDOMINIUM UNIT.
- SEE PARKING PLAN FOR PARKING INFORMATION.
- PROPOSED PUBLIC MULTI-USE PATH AND CITY OF PETALUMA MAINTENANCE DRIVE TO BE DEDICATED TO THE CITY OF PETALUMA. WIDTH TO COMPLY WITH CITY OBJECTIVE STANDARDS.
- PROPOSED PUBLIC MULTI-USE PATH AND CITY OF PETALUMA MAINTENANCE DRIVE LOCATED ON CITY OF PETALUMA PROPERTY. WIDTH TO COMPLY WITH CITY OBJECTIVE STANDARDS.
- PROPOSED PRIVATE VEHICULAR ACCESS EASEMENT FOR THE BENEFIT OF THE DESIGNATED REMAINDER.



REVISIONS	BY

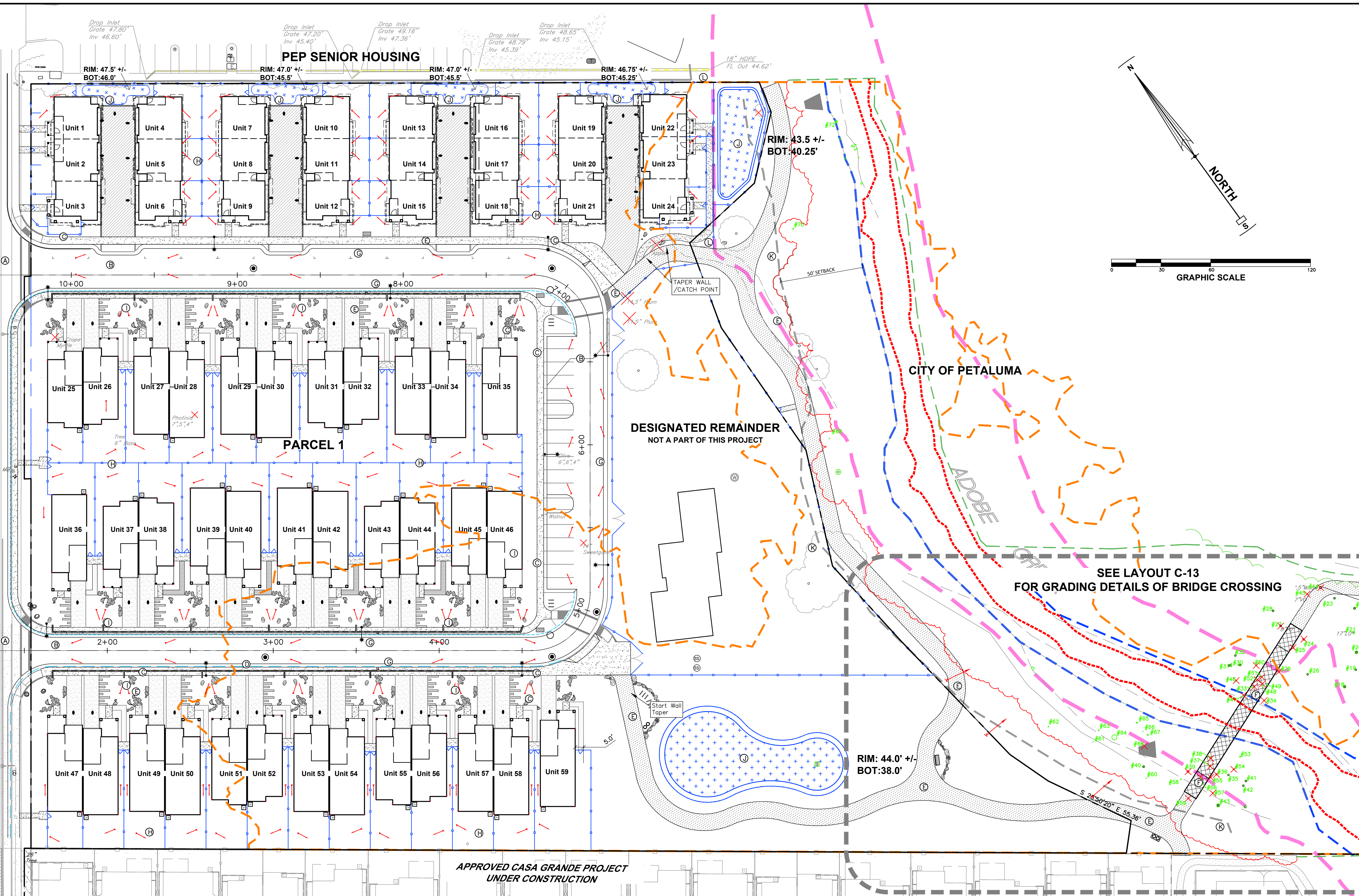
PRELIMINARY GRADING AND DRAINAGE PLAN
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
 140 SECOND STREET, SUITE 312
 PETALUMA THEATRE SQUARE
 PETALUMA, CA 94954
 (707) 762-3122 FAX (707) 762-3239

DATE: 2023.12.15
 SCALE: 1"=30'
 DESIGN: SJL/CRK/AC
 DRAWN: CRK
 CHECK: SJL
 JOB: CREEKWOOD
 JOB No: 192119
 SHEET
C-12
 OF 17 SHEETS

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		CONTOUR
		TOE/TOP OF SLOPE
		FENCE
		EXTERIOR PROPERTY LINE
		LOT LINE
		CONCRETE
		CURB & GUTTER
		ASPHALT CONCRETE
		STORM DRAIN
		STORM DRAIN MANHOLE
		DROP INLET/TURNING STRUCTURE
		WATER LINE
		JOINT TRENCH
		SANITARY SEWER MANHOLE
		CATCH BASIN
		WATER METER
		DOUBLE CHECK VALVE
		CANOPY (SEE ARBORIST REPORT DATED JULY 26, 2022 FOR TREE INFORMATION)
		TREE TO BE REMOVED
		BASIN AREA (BASMAA TREATMENT)
		50FT SETBACK FROM TOP OF BANK
		APPROXIMATE TOP OF BANK FOR ADOBE CREEK
		APPROXIMATE OHW PER MONTROSE BIOLOGICAL SURVEY
		RIPIARIAN CORRIDOR SEE EXISTING CONDITIONS EXHIBIT FOR INFORMATION.
		OVERLAND FLOW ROUTING, SEE UTILITY PLAN FOR OVERVIEW OF STORM DRAIN SYSTEM
		FEMA FLOOD PLAN EFFECTIVE SEPTEMBER 25, 2023 PER CLOMR PERFORMED BY BALANCE HYDROLOGICS.
		SEE FOCUSED PLAN AND PROFILE LAYOUT FOR PROPOSED BRIDGE CROSSING ADOBE CREEK SHEET C-12 FOR ADDITIONAL DETAIL.
		UP TO 5FT RETAINING WALL AT EASTERLY LIMITS OF BUILDING PADS ADJACENT TO NORTHERN BIORETENTION BASIN AREAS.
		FLOOD PLAN PER MODELING BY WEST CONSULTANTS
		LIMIT OF RIPIARIAN HABITAT BIOLOGICAL STUDY AREA BY MONTROSE.
		APPROXIMATE BOUNDARY OF RIPIARIAN HABITAT, BY MONTROSE.



PAVEMENT STRUCTURAL SECTIONS

	AREA	AC	VOL.(CY)	AB	VOL.(CY)
PUBLIC STREET	28,268 SF	3"	180	9"	686
PRIVATE DRIVEWAYS	8,625 SF	4" P.C.C.	106	4"	106
CONCRETE SIDEWALK	6,822 SF	4" P.C.C.	85	4"	85
CURB AND GUTTER		P.C.C.	110	4"	165
VALLEY GUTTER	1,678 SF	6" P.C.C.	31	8"	41.4
10R MULTI-USE TRAIL	9,705 SF	4" P.C.C.	120	4"	120

SUMMARY TOTALS (CY)

1,203.4	CLASS II AGGREGATE BASE
180	ASPHALT CONCRETE
452	PORTLAND CEMENT CONCRETE
1,835.4	import pavement materials

- ### KEYNOTES
- 12" CONCRETE VALLEY GUTTER PER C.O.P. STD. 205.
 - PRIVATE STREET STREET 3" AC OVER 9" CL2 AB.
 - PUBLIC SIDEWALK, CONCRETE, 4" P.C.C. OVER 4" CL2 AB PER COP STD 203.
 - ROLLED CURB DETAIL IMPLEMENTED THROUGHOUT PRIVATE STREET.
 - 10FT WIDE MULTI-USE TRAIL, VEHICULAR PAVEMENT SECTION TO BE IMPLEMENTED AS NEEDED MAINTENANCE ACCESS. FINAL TRAIL SURFACE AND SECTION TO BE COORDINATED WITH COP STAFF & COUNCIL(S).
 - ADOBE CREEK PEDESTRIAN BRIDGE CROSSING, SEE LAYOUT C-13 AS NEEDED FOR ADDITIONAL DETAIL.
 - CATCH BASIN INLET FOR PRIVATE STORM DRAIN SYSTEM.
 - AREA DRAIN FOR REAR YARDS, SEE SHEET C-14 FOR BASMAA CALCULATIONS
 - AREA DRAIN FOR FRONT YARDS, SEE SHEET C-14 FOR BASMAA CALCULATIONS
 - BIORETENTION BASIN, SEE DETAIL ON SHEET C-14
 - APPROXIMATE 50' DEVELOPMENT SETBACK FROM TOP OF BANK.
 - 36"-60" RETAINING WALL AT EASTERLY LIMITS UNIT 22-24, ADJACENT TO BIORETENTION BASIN.

EARTHWORK SITE SUMMARY

SITE IMPROVEMENTS

(BUILDING PADS, ROAD CORRIDOR, ETC...)

CUT=	474 CY
FILL=	5,430 CY
NET FILL=	4,956 CY

BRIDGE APPROACH & TRAIL GRADING

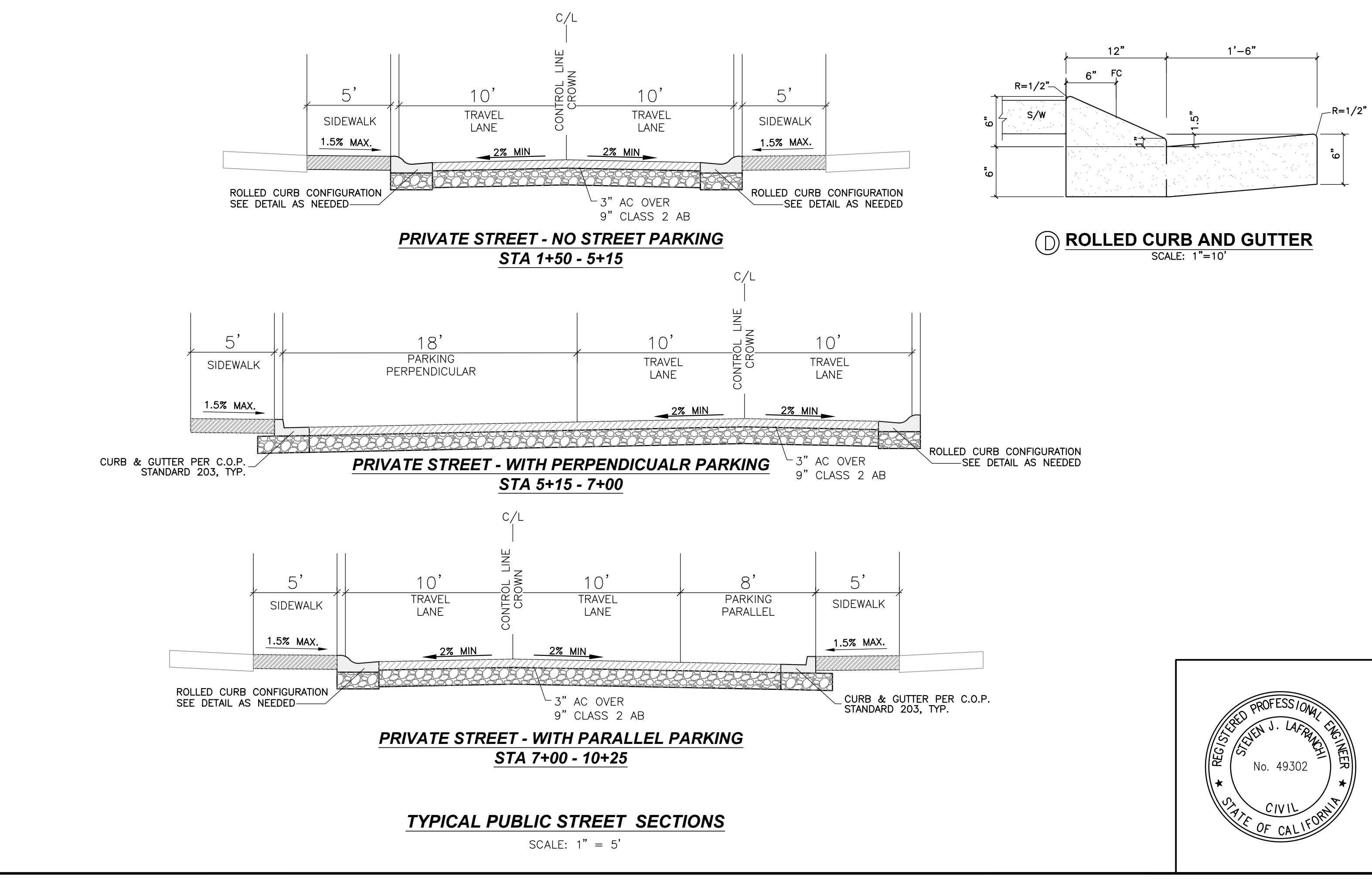
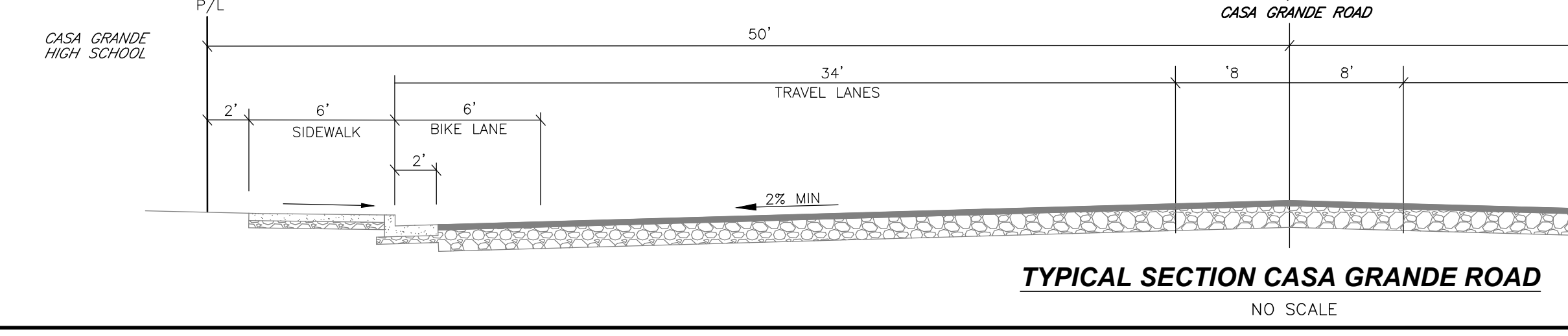
CUT=	0 CY
FILL=	296 CY
NET FILL=	296 CY

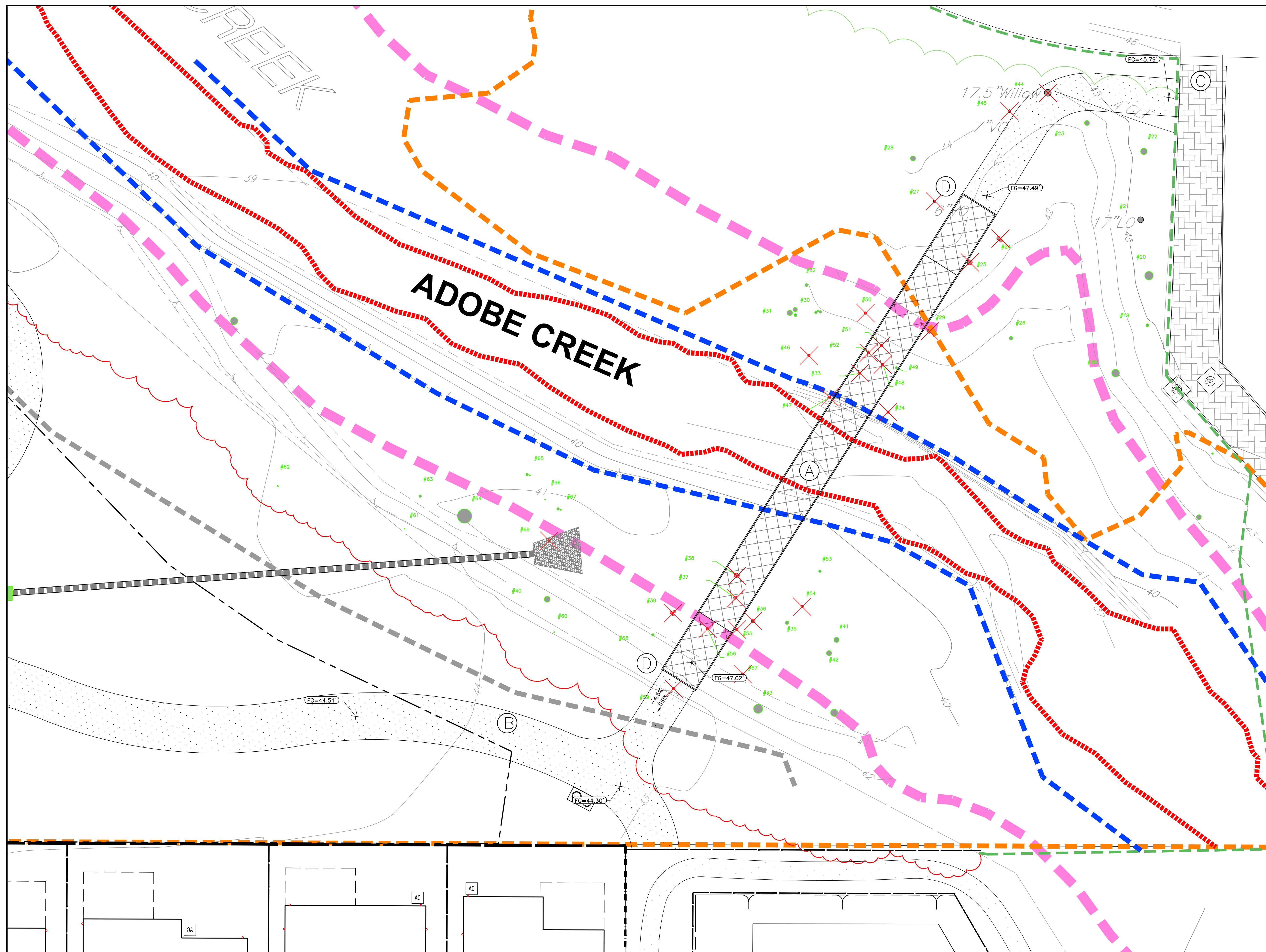
TOTAL CUT: 474 CY
 TOTAL FILL: 5,252 CY
 SITE BALANCE: ~ 4,778 CY FILL

FLOODPLAIN NOTE

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- ### NOTES
- SEE LAYOUT C-2 FOR SITE CONTEXT & ADJACENT LAND USES
 - SEE LAYOUT C-3 FOR THE EXISTING CONDITIONS
 - SEE LAYOUT C-4 FOR THE DEMOLITION & PRESERVATION
 - SEE LAYOUT C-5 FOR SITE DENSITY & LAND USE
 - SEE LAYOUT C-6 FOR SITE COVERAGE DATA
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 - SEE LAYOUT C-14 FOR PRELIMINARY UTILITY INFORMATION
 - SEE LAYOUT C-15 FOR PRELIMINARY POST CONSTRUCTION STORM WATER CONTROL
 - SEE LAYOUT C-16 FOR THE MAINTENANCE EXHIBIT
 - SEE LAYOUT C-17 FOR THE FIRE APPARATUS ROUTING



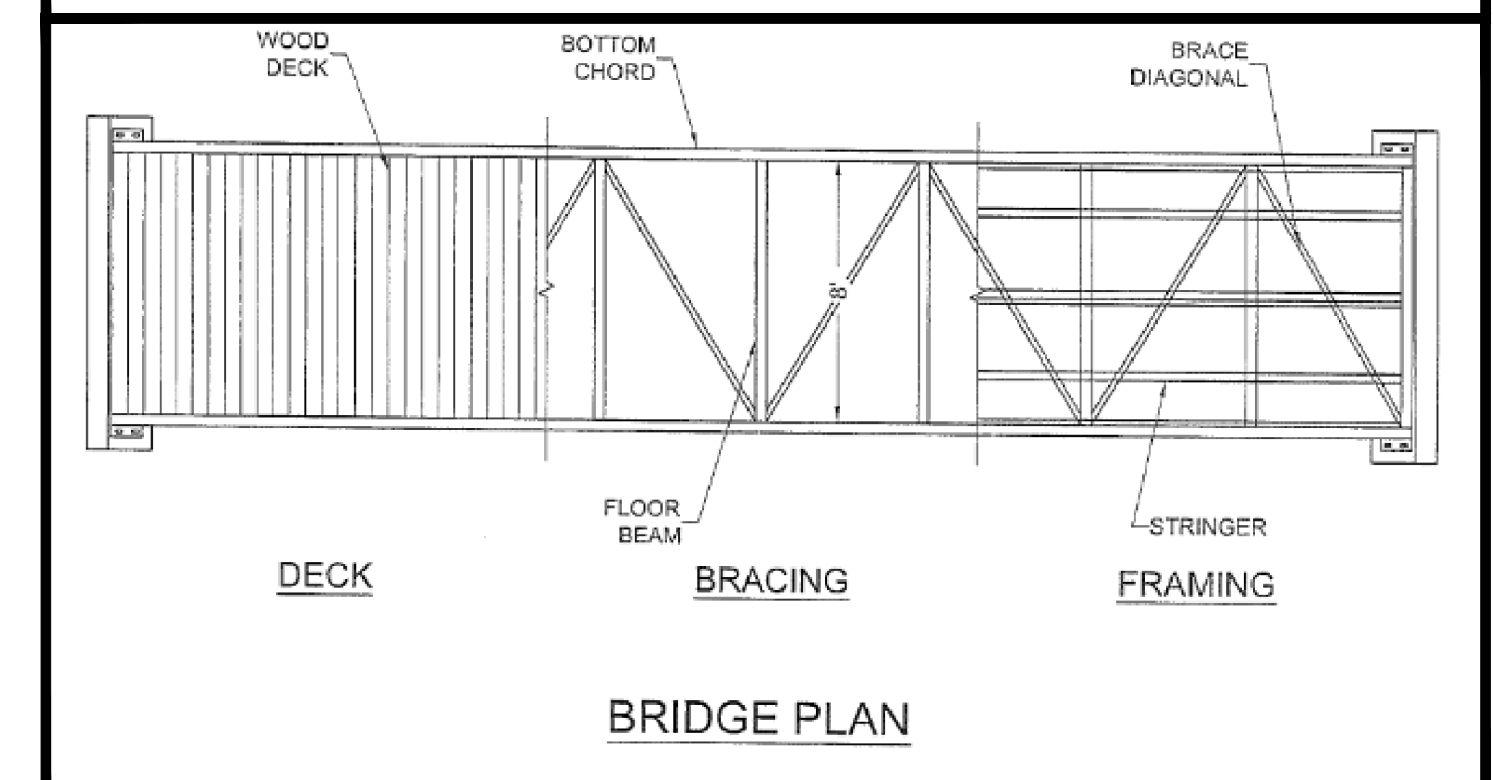
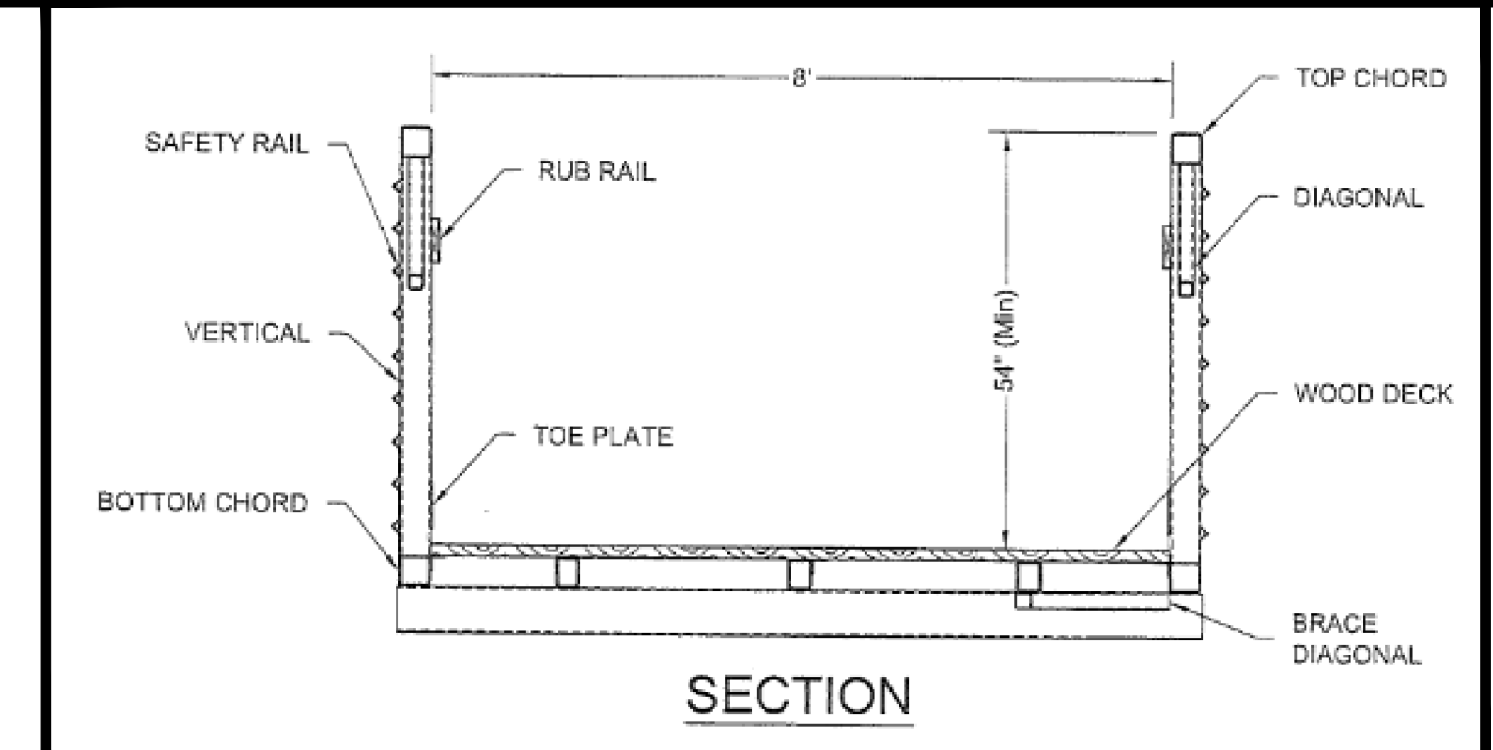
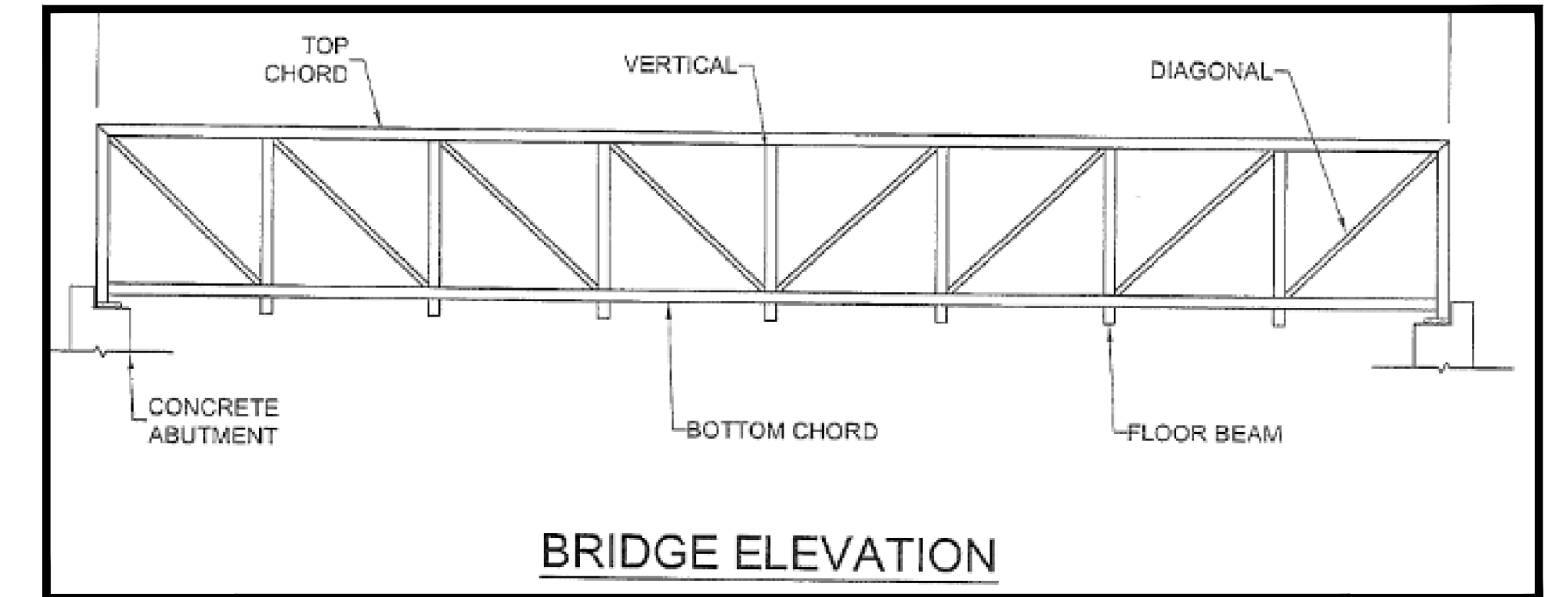


KEYNOTES

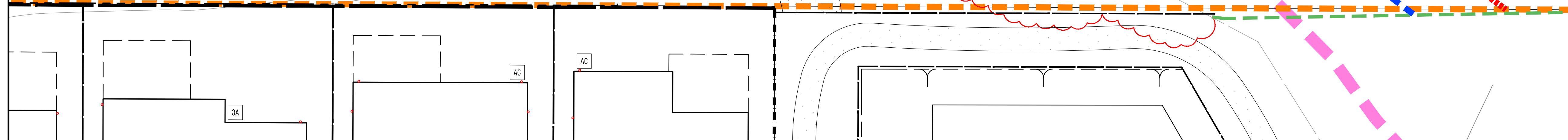
- Ⓐ 90FT PREFABRICATED TRUSS BRIDGE, TENTATIVELY MANUFACTURED BY CONTECH, SEE DETAIL EXCERPTS THIS LAYOUT.
- Ⓑ 10FT WIDE MULTI-USE TRAIL FROM PROJECT SITE
- Ⓒ EXISTING TRAIL ALONG ADOBE CREEK, TRAIL HEAD AT SPYGLASS LANE SHOWN HERE. INTENT IS FOR EASTERLY LIMITS TO TIE INTO EXISTING TRAIL NETWORK.
- Ⓓ VERTICAL GRADE CONTROL FOR BRIDGE APPROACH & ABUTMENTS HAVE BEEN CONSIDERED FOR THE INITIAL EARTHWORK AND HYDROLOGICAL MODELING. FINAL STRUCTURE CONFIGURATION TO BE UPDATED PER FINAL SELECTION OF SUPERSTRUCTURE & GEOTECHNICAL RECOMMENDATIONS FOR BRIDGE SUPPORTS

LEGEND

- EXISTING: -16- CONTOUR
- PROPOSED: -16- TOE/TOP OF SLOPE
- EXTERIOR PROPERTY LINE
- ⊗ TREE TO BE REMOVED
- ⊕ BIORETENTION BASIN AREA
- SURVIVED DRIFLINE OF RIPARIAN CORRIDOR/WESTERLY LIMITS OF THE RIPARIAN HABITAT BIOLOGICAL STUDY AREA LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY MONTROSE. SEE ARBORIST'S DATED DECEMBER 2023 AND SHEETS L-5.0 AND L-5.1 FOR DETAILED DESCRIPTION OF THE TREE SPECIES, TREE PROTECTION MEASURES, MITIGATION, TREE REPLACEMENT AND RIPARIAN VEGETATION WITHIN THIS PROTECTED AND PRESERVED AREA.
- APPROXIMATE BOUNDARY OF RIPARIAN HABITAT, BY MONTROSE
- LIMIT OF RIPARIAN HABITAT BIOLOGICAL STUDY AREA BY MONTROSE
- FEMA FLOOD PLAN EFFECTIVE SEPTEMBER 25, 2023 PER CLOMR PERFORMED BY BALANCE HYDROLOGICS.
- FLOOD PLAN PER MODELING BY WEST CONSULTANTS JULY 2023.
- 50FT SETBACK FROM TOP OF BANK
- APPROXIMATE TOP OF BANK FOR ADOBE CREEK
- APPROXIMATE OHW PER AES BIOLOGICAL SURVEY



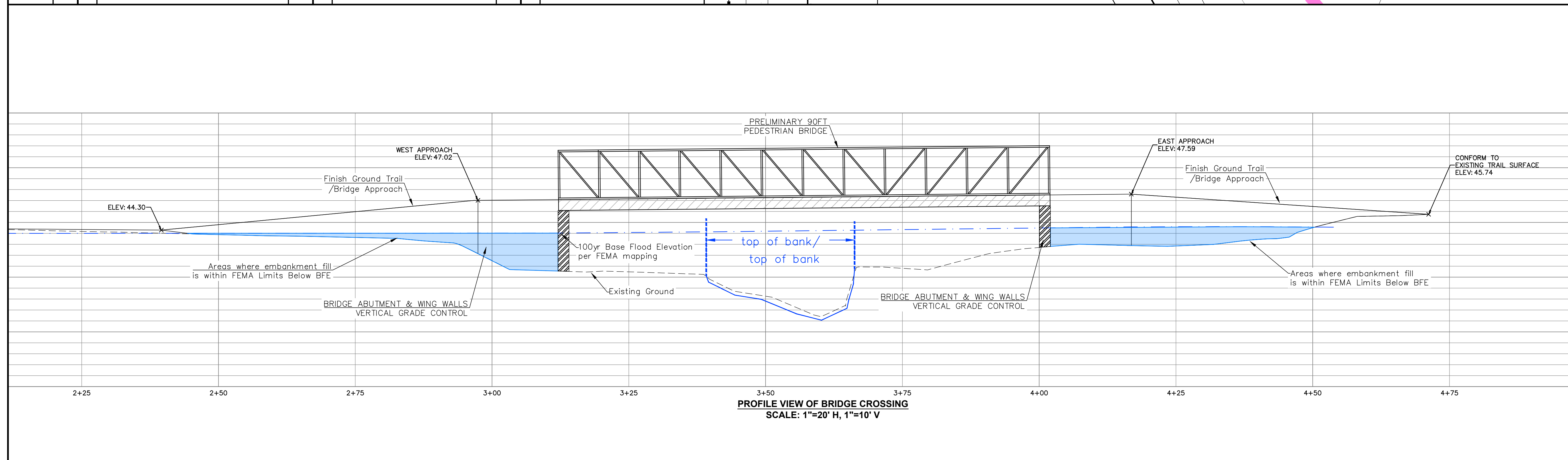
PRELIMINARY TRUSS BRIDGE CONFIGURATION AND SECTIONS - 90FT SPAN
SCALE: NOT TO SCALE



- NOTES**
1. SEE LAYOUT C-2 FOR SITE CONTEXT & ADJACENT LAND USES
 2. SEE LAYOUT C-3 FOR THE EXISTING CONDITIONS
 3. SEE LAYOUT C-4 FOR THE DEMOLITION & PRESERVATION
 4. SEE LAYOUT C-5 FOR SITE DENSITY & LAND USE
 5. SEE LAYOUT C-6 FOR SITE COVERAGE DATA
 6. SEE LAYOUT C-7 FOR THE VESTING TENTATIVE MAP
 7. SEE LAYOUT C-8 FOR THE PRELIMINARY CONDOMINIUM PLAN
 8. SEE LAYOUT C-9 FOR THE PARKING PLAN
 9. SEE LAYOUT C-11 FOR SITE DEVELOPMENT PLAN
 10. SEE LAYOUT C-12 FOR PRELIMINARY GRADING DESIGN
 11. SEE LAYOUT C-14 FOR PRELIMINARY UTILITY INFORMATION
 12. SEE LAYOUT C-15 FOR PRELIMINARY POST CONSTRUCTION STORM WATER CONTROL
 13. SEE LAYOUT C-16 FOR THE MAINTENANCE EXHIBIT
 14. SEE LAYOUT C-17 FOR THE FIRE APPARATUS ROUTING

FLOODPLAIN NOTE

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REVISIONS	BY

PRELIMINARY BRIDGE CROSSING PLAN & PROFILE
 CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
 PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 LAND PLANNERS - LANDSCAPE ARCHITECTS
 140 SECOND STREET, SUITE 312
 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239

DATE: 2023.12.15
 SCALE: 1"=10'
 DESIGN: SJL/CRK/AJC
 DRAWN: CRK
 CHECK: SJA
 JOB: CREEKWOOD
 JOB No: 192119
 SHEET
C-13
 OF 17 SHEETS

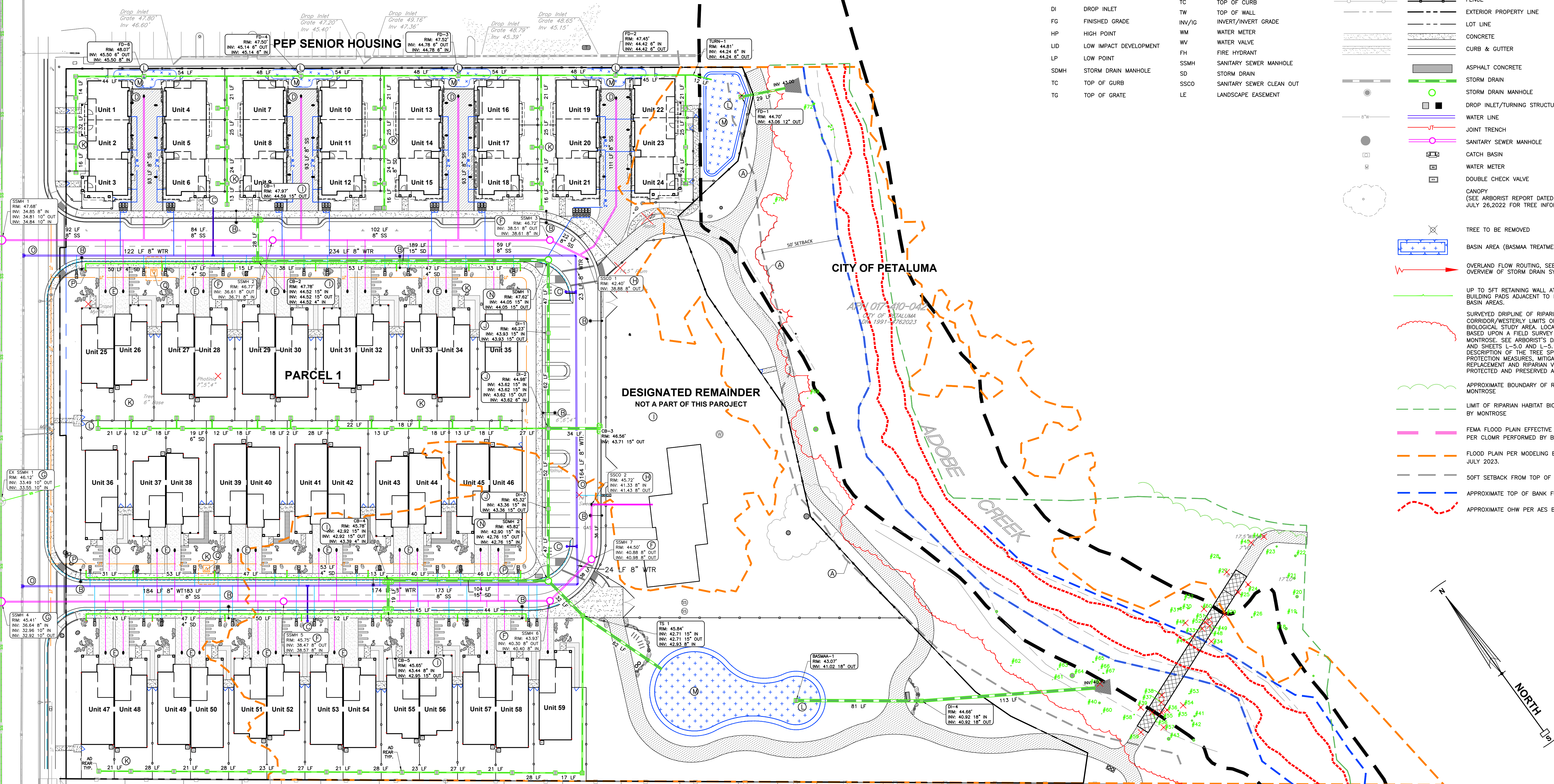
APN 017-040-060
CASA GRANDE SENIOR APARTMENTS, L.P.
DN 2007-101218

ABBREVIATIONS

BOW	BACK OF WALK	OHL	OVERHEAD LINES
CB	CATCH BASIN	W	WATER
CL	CENTERLINE	SS	SANITARY SEWER
DI	DROP INLET	TC	TOP OF CURB
FG	FINISHED GRADE	TW	TOP OF WALL
HP	HIGH POINT	INV/IG	INVERT/INVERT GRADE
LID	LOW IMPACT DEVELOPMENT	WM	WATER METER
LP	LOW POINT	WV	WATER VALVE
SDMH	STORM DRAIN MANHOLE	FH	FIRE HYDRANT
TC	TOP OF CURB	SSMH	SANITARY SEWER MANHOLE
TG	TOP OF GRATE	SD	STORM DRAIN
		SSCO	SANITARY SEWER CLEAN OUT
		LE	LANDSCAPE EASEMENT

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		CONTOUR
		TOE/TOP OF SLOPE
		FENCE
		EXTERIOR PROPERTY LINE
		LOT LINE
		CONCRETE
		CURB & GUTTER
		ASPHALT CONCRETE
		STORM DRAIN
		STORM DRAIN MANHOLE
		DROP INLET/TURNING STRUCTURE
		WATER LINE
		JOINT TRENCH
		SANITARY SEWER MANHOLE
		CATCH BASIN
		WATER METER
		DOUBLE CHECK VALVE
		CANOPY (SEE ARBORIST REPORT DATED JULY 26, 2022 FOR TREE INFORMATION)
		TREE TO BE REMOVED
		BASIN AREA (BASMAA TREATMENT)
		OVERLAND FLOW ROUTING, SEE UTILITY PLAN FOR OVERVIEW OF STORM DRAIN SYSTEM
		UP TO 5 FT RETAINING WALL AT EASTERLY LIMITS OF BUILDING PAD ADJACENT TO NORTHERN BIORETENTION BASIN AREAS.
		SURVEYED DIAPHRANE OF RIPARIAN CORRIDOR/WESTERLY LIMITS OF THE RIPARIAN HABITAT BIOLOGICAL STUDY AREA. LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY MONTROSE. SEE ARBORIST'S DATED DECEMBER 2023 AND SHEETS L-5.2 AND L-5.1 FOR DETAILED DESCRIPTION OF THE TREE SPECIES, TREE PROTECTION MEASURES, MITIGATION, TREE REPLACEMENT AND RIPARIAN VEGETATION WITHIN THIS PROTECTED AND PRESERVED AREA.
		APPROXIMATE BOUNDARY OF RIPARIAN HABITAT, BY MONTROSE
		LIMIT OF RIPARIAN HABITAT BIOLOGICAL STUDY AREA BY MONTROSE
		FEMA FLOOD PLAN EFFECTIVE SEPTEMBER 25, 2023 PER CLOMR PERFORMED BY BALANCE HYDROLOGICS
		FLOOD PLAN PER MODELING BY WEST CONSULTANTS JULY 2023.
		50FT SETBACK FROM TOP OF BANK
		APPROXIMATE TOP OF BANK FOR ADOBE CREEK
		APPROXIMATE OHW PER AES BIOLOGICAL SURVEY



APPROVED CASA GRANDE PROJECT UNDER CONSTRUCTION

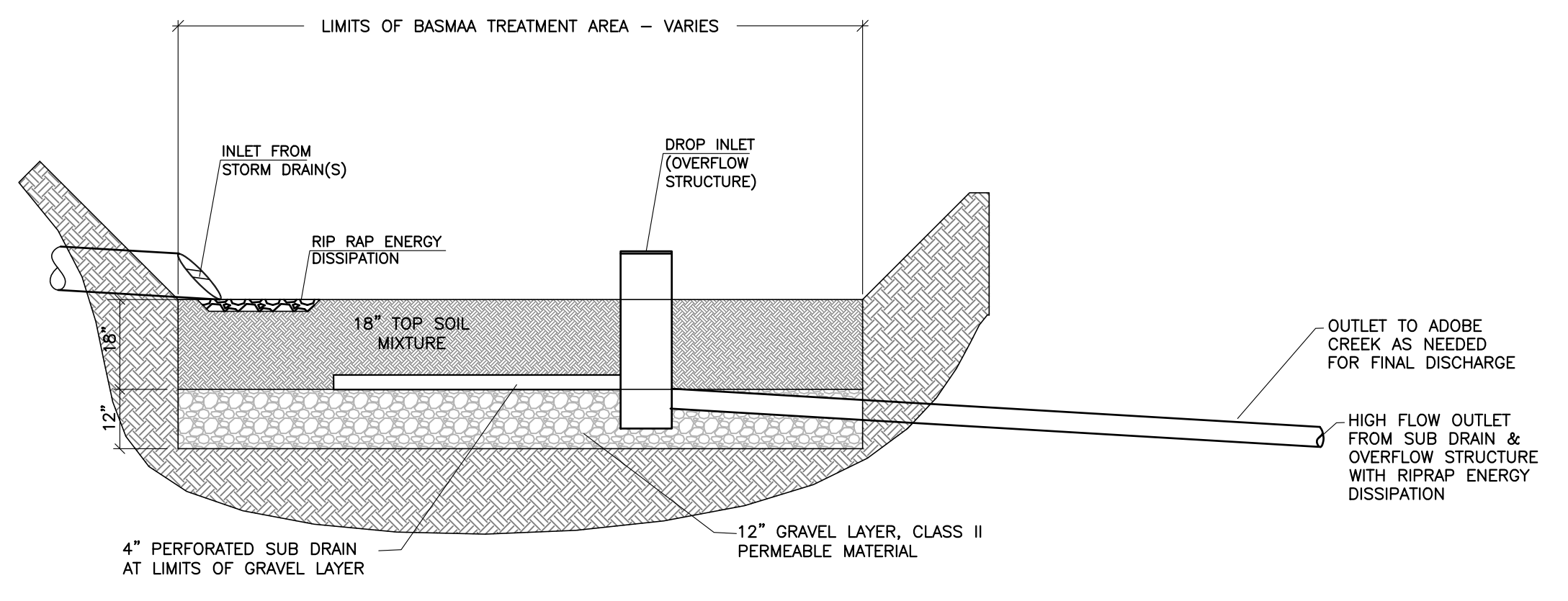
FLOODPLAIN NOTE

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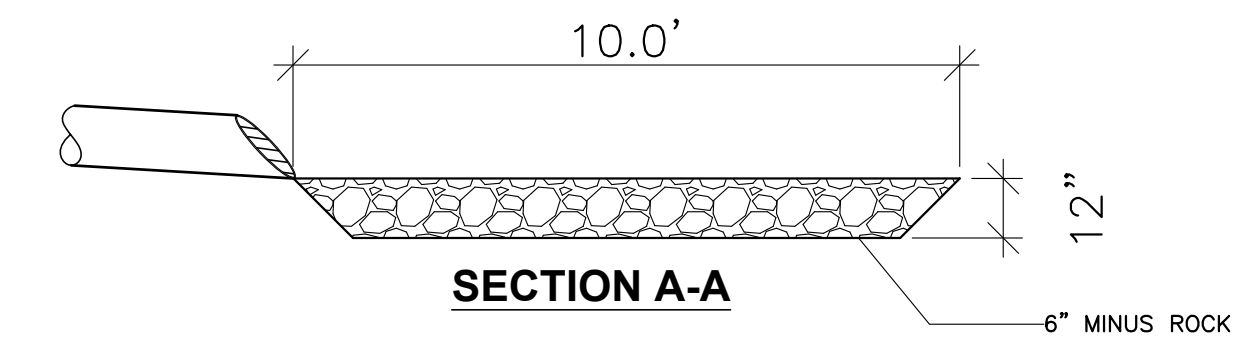
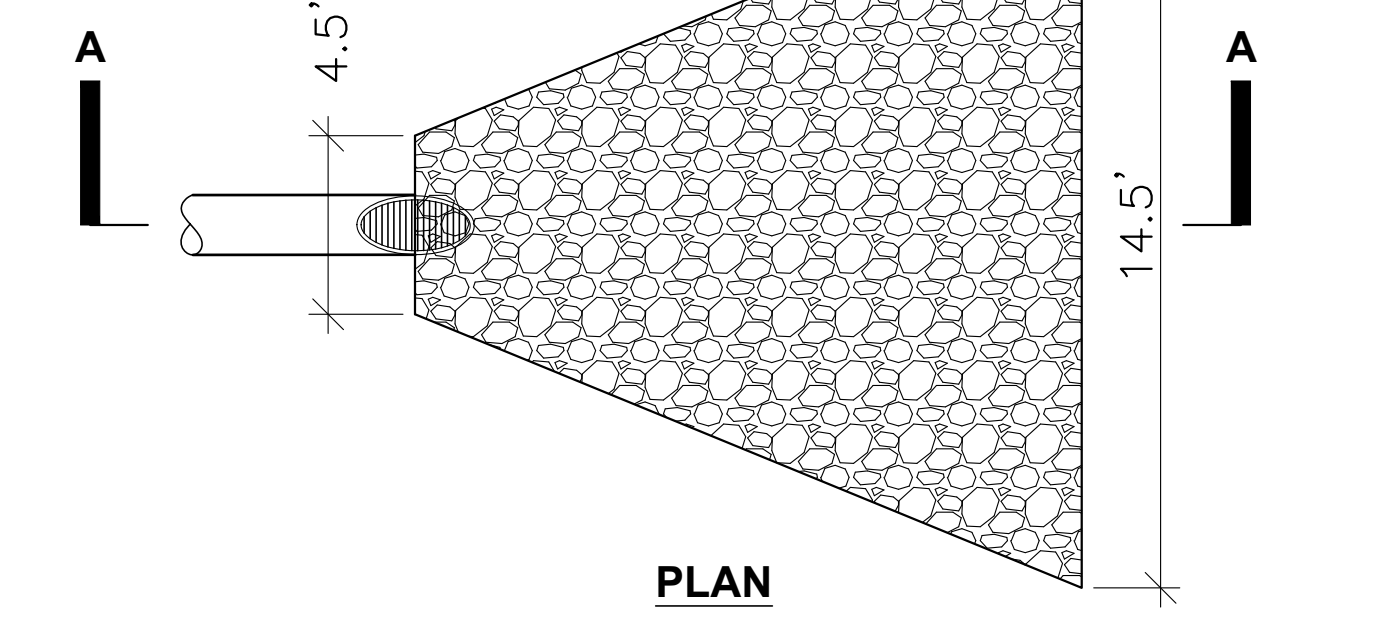
NOTES

- SEE LAYOUT C-2 FOR SITE CONTEXT & ADJACENT LAND USES
- SEE LAYOUT C-3 FOR THE EXISTING CONDITIONS
- SEE LAYOUT C-4 FOR THE DEMOLITION & PRESERVATION
- SEE LAYOUT C-5 FOR SITE DENSITY & LAND USE
- SEE LAYOUT C-6 FOR SITE COVERAGE DATA
- SEE LAYOUT C-7 FOR THE VESTING TENTATIVE MAP
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- SEE LAYOUT C-9 FOR THE PARKING PLAN
- SEE LAYOUT C-11 FOR SITE DEVELOPMENT PLAN
- SEE LAYOUT C-12 FOR PRELIMINARY GRADING DESIGN
- SEE LAYOUT C-13 FOR PRELIMINARY BRIDGE CROSSING PROFILE
- SEE LAYOUT C-15 FOR PRELIMINARY POST CONSTRUCTION STORM WATER CONTROL
- SEE LAYOUT C-16 FOR THE MAINTENANCE EXHIBIT
- SEE LAYOUT C-17 FOR THE FIRE APPARATUS ROUTING

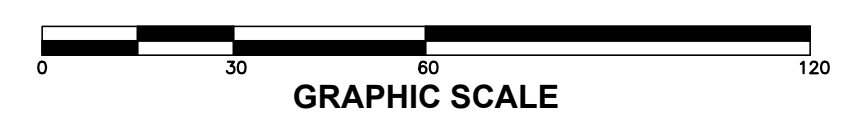
- KEYNOTES**
- (A) 50' SETBACK FROM TOP OF BANK.
 - (B) STREET LIGHT PER C.O.P. STD. 602.
 - (C) FIRE HYDRANT PER C.O.P. STD. 857.
 - (D) 4" SANITARY SEWER LATERAL FOR TRIPLEX UNITS WITH MAIN LINE CLEANOUT PER STD 505.
 - (E) 4" SEWER LATERAL SERVICE FOR CONDO UNITS WITH BLDG CLEANOUT PER STD. 506.
 - (F) 48" SANITARY SEWER MANHOLE PER C.O.P. STD. 500
 - (G) 60" INSIDE DROP MANHOLE PER COP STD. 503.
 - (H) SANITARY SEWER CLEAN OUT PER COP STD. 505.
 - (I) STORM DRAIN CATCH BASIN PER COP STD. 401-A/B/C/D.
 - (J) STORM DRAIN DROP INLET.
 - (K) STORM DRAIN AREA DRAIN FOR FRONT OR REAR YARDS.
 - (L) STORM DRAIN FIELD COMBINATION DRAIN / OVERFLOW STRUCTURE FOR BASMAA BASINS.
 - (M) BASMAA BIORETENTION TREATMENT AREAS, SEE LAYOUT C-14 AS NEEDED FOR ADDITIONAL DETAIL.
 - (N) 48" STORM SEWER MANHOLE PER COP STD. 400.
 - (O) 8" PUBLIC WATER MAIN THROUGH PROJECT SITE.
 - (P) JOINT TRENCH INTENT LINE, FINAL PLANS BY OTHERS.
 - (Q) PROPOSED TRANSFORMER LOCATION, FINAL LOCATION DETERMINED PER DRY UTILITY DESIGN & PG&E COORDINATION.



TYPICAL SECTION - BASMAA BIORETENTION BASIN CONFIGURATION
NOT TO SCALE



RIPRAP ENERGY DISSIPATION
N.T.S.



PRELIMINARY UTILITY PLAN
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
PETALUMA THEATRE SQUARE
140 SECOND STREET, SUITE 312
PETALUMA, CA 94954
(707) 762-3722 FAX (707) 762-3289

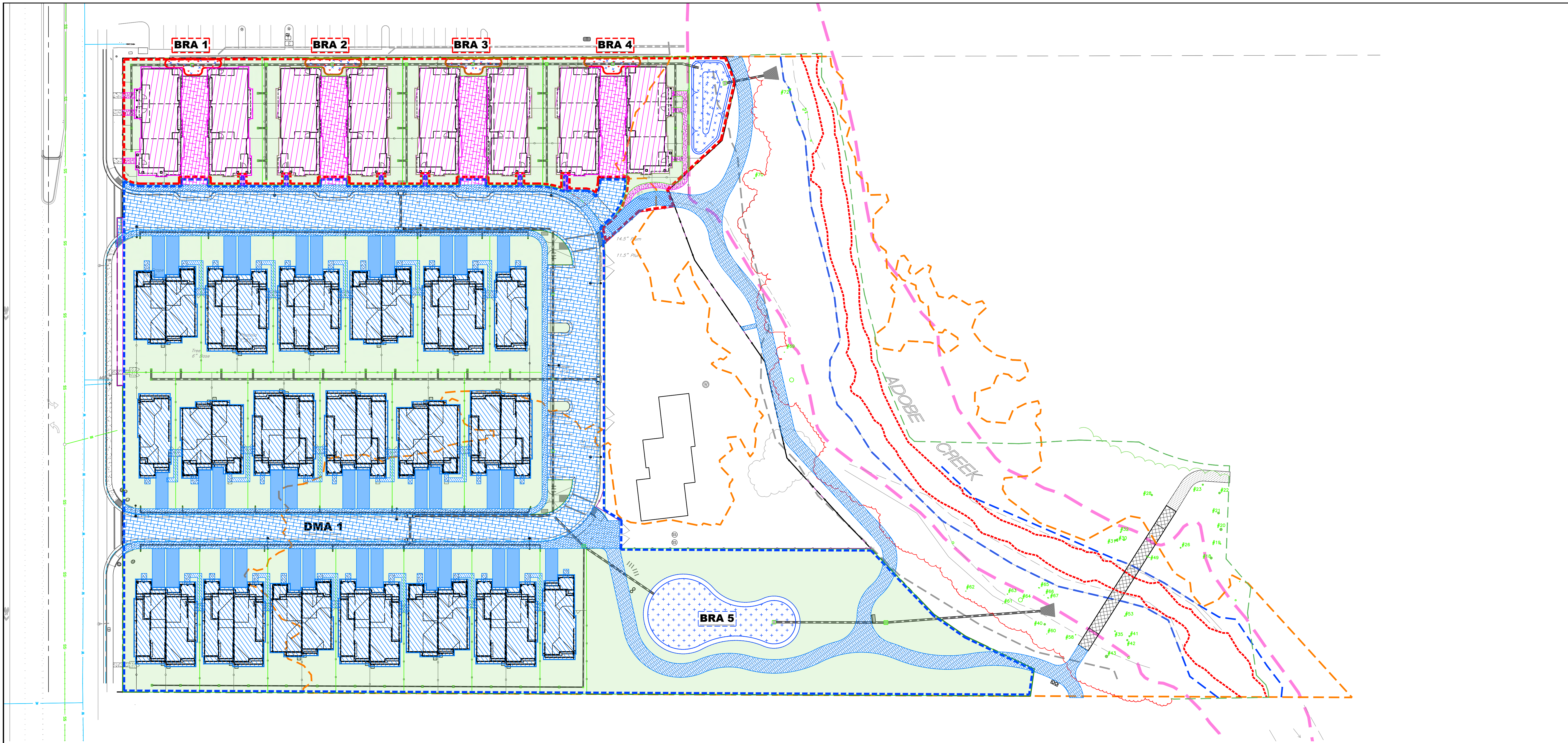


REVISIONS	BY

POST CONSTRUCTION STORM WATER CONTROL & TREATMENT PLAN
 CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
 PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
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 LAND PLANNERS - LANDSCAPE ARCHITECTS
 440 SECOND STREET, SUITE 312
 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-2529

DATE: 2023.12.15
 SCALE: 1"=30'
 DESIGN: SJJ, LORCA/JC
 DRAWN: CRK
 CHECK: SJJ
 JOB: CREEKWOOD
 JOB No: 192119
 SHEET
C-15
 OF 17 SHEETS



LEGEND

- PROPERTY LINE
- STORM DRAIN LINE
- BASIN RETENTION AREA**
BRA-1/2/3/4/5 SEE DETAIL SHEET C-15.
- DRAINAGE MANAGEMENT AREA LIMITS**
AREAS DRAINING TO NORTHERLY BASIN BRA-1/2/3/4
- DRAINAGE MANAGEMENT AREA LIMITS**
AREAS DRAINING TO SOUTHERLY BASIN BRA-5
- IMPERVIOUS SURFACES (PINK)**
Draining to BRA-1/2/3/4
ROOFS, AC PAVEMENT, SIDEWALK, DRIVEWAYS.
- IMPERVIOUS SURFACES (BLUE)**
Draining to BRA-5
ROOFS, AC PAVEMENT, SIDEWALK, DRIVEWAYS.
- PERVIOUS SURFACES**
LANDSCAPE AREAS, TURFBLOCK OR GRAVEL, OPEN OR POROUS PAVERS, GRANULAR PAVEMENT, GROUND COVER)
- SURVEYED DRIPLINE OF RIPARIAN CORRIDOR/WESTERLY LIMITS OF THE RIPARIAN HABITAT BIOLOGICAL STUDY AREA. LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY MONTROSE. SEE ARBORIST'S DATED DECEMBER 2023 AND SHEETS L-5.0 AND L-5.1 FOR DETAILED DESCRIPTION OF THE TREE SPECIES, TREE PROTECTION MEASURES, MITIGATION, TREE REPLACEMENT AND RIPARIAN VEGETATION WITHIN THIS PROTECTED AND PRESERVED AREA.
- APPROXIMATE BOUNDARY OF RIPARIAN HABITAT, BY MONTROSE
- LIMIT OF RIPARIAN HABITAT BIOLOGICAL STUDY AREA BY MONTROSE
- FEMA FLOOD PLAIN EFFECTIVE SEPTEMBER 25, 2023 PER CLOMR PERFORMED BY BALANCE HYDROLOGICS.
- FLOOD PLAIN PER MODELING BY WEST CONSULTANTS JULY 2023.
- 50FT SETBACK FROM TOP OF BANK
- APPROXIMATE TOP OF BANK FOR ADOBE CREEK
- APPROXIMATE OHW PER AES BIOLOGICAL SURVEY

STORM WATER TREATMENT NOTES

- THE STORM WATER TREATMENT AND CONTROL PLAN IS BASED ON POST-CONSTRUCTION MANUAL GUIDELINES PREPARED BY THE BAY AREA STORM WATER MANAGEMENT AGENCIES ASSOCIATION (BASMAA) PHASE II COMMITTEE.
- THE PRELIMINARY STORM WATER CONTROL PLAN EXHIBIT IDENTIFIES DRAINAGE MAINTENANCE AREAS (DMA) WITH CORRESPONDING BASIN RETENTION AREAS (BRA). THE BRA'S HAVE BEEN SIZED PER BASMAA TABLE 4.1 THROUGH 4.5. THE CALCULATIONS REQUIRE A BRA SIZE TO BE 4% OF THE CORRESPONDING DMA.
- THE STORM WATER CONTROL PLAN IS SUBJECT TO REVISION BASED ON FINAL APPROVED CONSTRUCTION DOCUMENTS.

FLOODPLAIN NOTE

- THE FLOOD PLAINS PRESENTED HEREIN ARE BASED ON HYDROLOGICAL MODELING AND ANALYSIS COMPLETED BY WEST CONSULTANTS DATED JULY 2023 AND BALANCE HYDROLOGICS DATED JULY 19, 2022. FEMA CLOMR ISSUED MAY 11, 2023 AND EFFECTIVE SEPTEMBER 25, 2023.

NOTES

- SEE LAYOUT C-2 FOR SITE CONTEXT & ADJACENT LAND USES
- SEE LAYOUT C-3 FOR THE EXISTING CONDITIONS
- SEE LAYOUT C-4 FOR THE DEMOLITION & PRESERVATION
- SEE LAYOUT C-5 FOR SITE DENSITY & LAND USE
- SEE LAYOUT C-6 FOR SITE COVERAGE DATA
- SEE LAYOUT C-7 FOR THE VESTING TENTATIVE MAP
- SEE LAYOUT C-8 FOR THE PRELIMINARY CONDOMINIUM PLAN
- SEE LAYOUT C-9 FOR THE PARKING PLAN
- SEE LAYOUT C-11 FOR SITE DEVELOPMENT PLAN
- SEE LAYOUT C-12 FOR PRELIMINARY GRADING DESIGN
- SEE LAYOUT C-13 FOR PRELIMINARY BRIDGE CROSSING PROFILE
- SEE LAYOUT C-14 FOR PRELIMINARY UTILITY INFORMATION
- SEE LAYOUT C-16 FOR THE MAINTENANCE EXHIBIT
- SEE LAYOUT C-17 FOR THE FIRE APPARATUS ROUTING

ABBREVIATION

- BRA BASIN RETENTION AREA OR FACILITY
- DMA DRAINAGE MANAGEMENT AREA

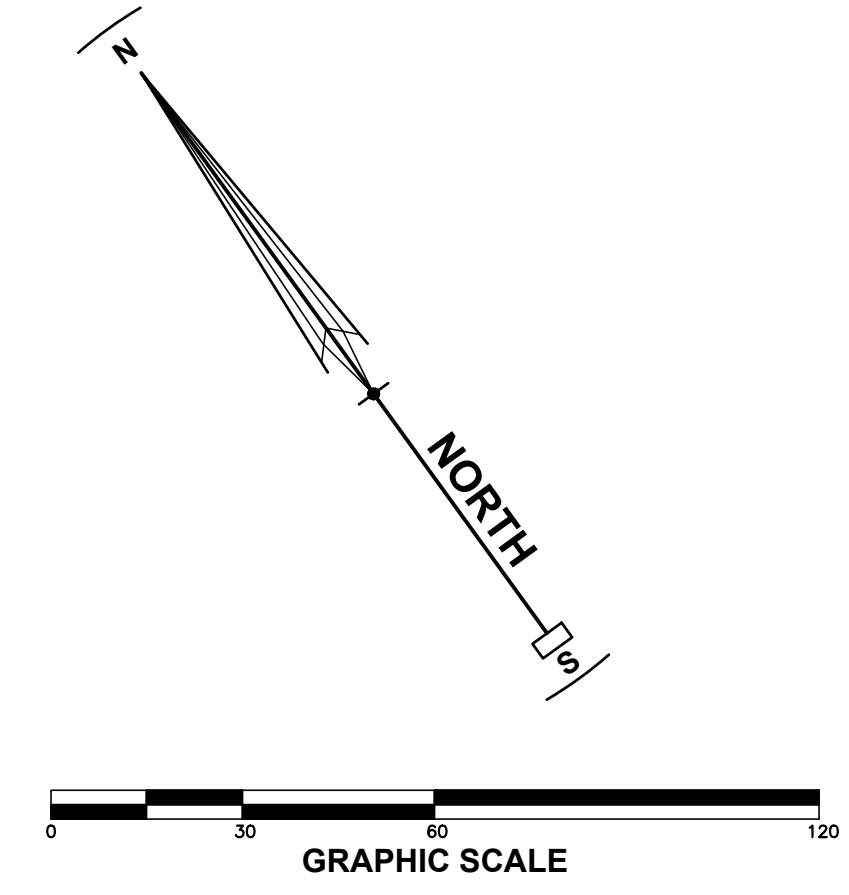
DMA 1	DMA Area (s.f.)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Facility Name		
Roof	4,986	Roof	1.0	4,986.0	BRA 1		
Landscape	2,436	Landscape	0.1	243.6	Sizing Factor	Minimum Facility Area	Proposed Facility Area
Pavement	1,598	Hardscape	1.0	1,598.0			
Total				6,827.6	0.04		

DMA 2	DMA Area (s.f.)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Facility Name		
Roof	4,913	Roof	1.0	4,913.0	BRA 2		
Landscape	2,693	Landscape	0.1	269.3	Sizing Factor	Minimum Facility Area	Proposed Facility Area
Pavement	1,524	Hardscape	1.0	1,524.0			
Total				6,706.3	0.04		

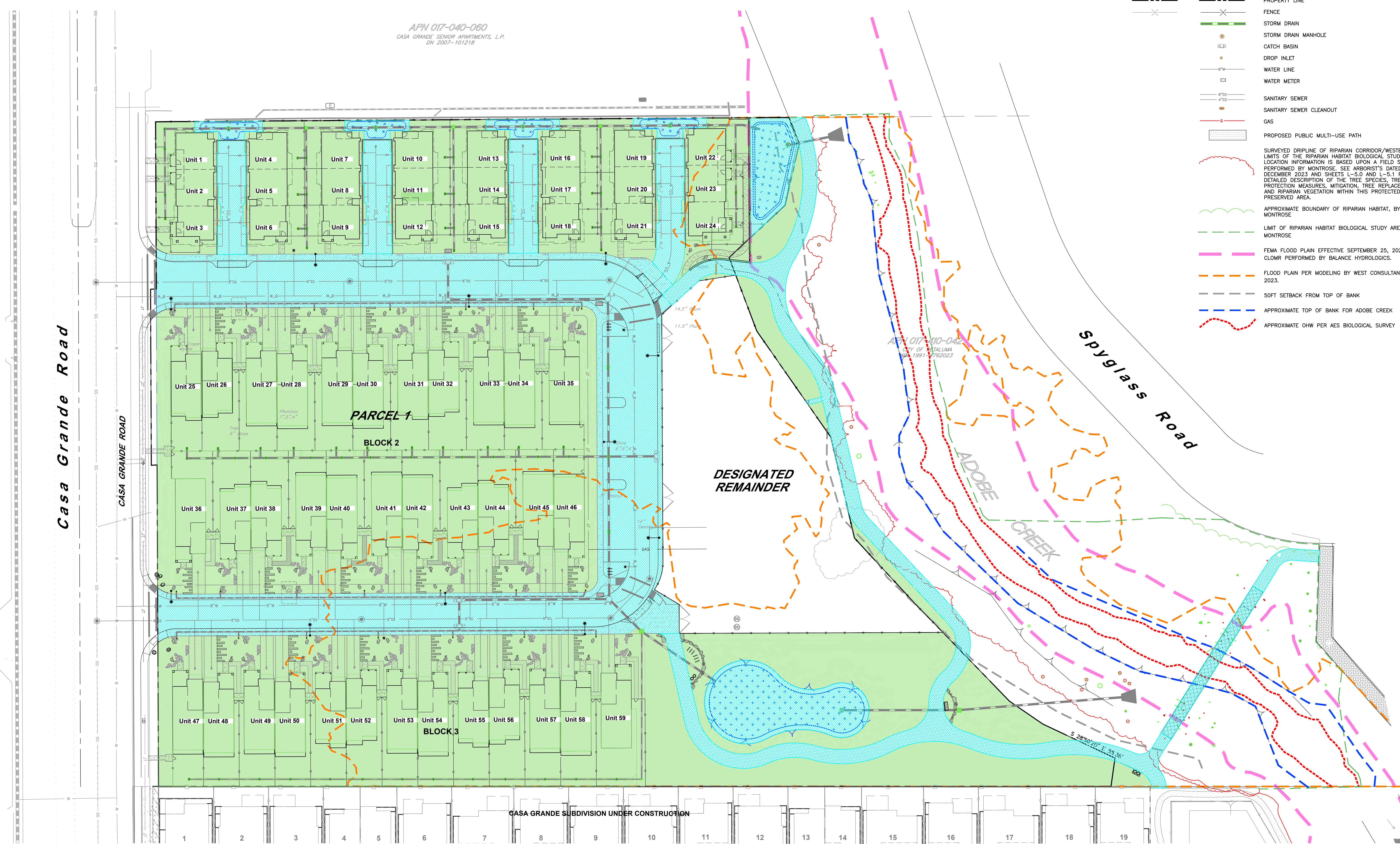
DMA 3	DMA Area (s.f.)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Facility Name		
Roof	4,913	Roof	1.0	4,913.0	BRA 3		
Landscape	2,637	Landscape	0.1	263.7	Sizing Factor	Minimum Facility Area	Proposed Facility Area
Pavement	1,606	Hardscape	1.0	1,606.0			
Total				6,782.7	0.04		

DMA 4	DMA Area (s.f.)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Facility Name		
Roof	4,986	Roof	1.0	4,986.0	BRA 4		
Landscape	2,836	Landscape	0.1	283.6	Sizing Factor	Minimum Facility Area	Proposed Facility Area
Pavement	1,962	Hardscape	1.0	1,962.0			
Total				7,231.6	0.04		

DMA 5	DMA Area (s.f.)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Facility Name		
Roof	44,993	Roof	1.0	44,993.0	BRA 5		
Landscape	60,392	Landscape	0.1	6,039.2	Sizing Factor	Minimum Facility Area	Proposed Facility Area
Pavement	47,864	Hardscape	1.0	47,864.0			
Total				98,896.2	0.04		



REVISIONS	BY



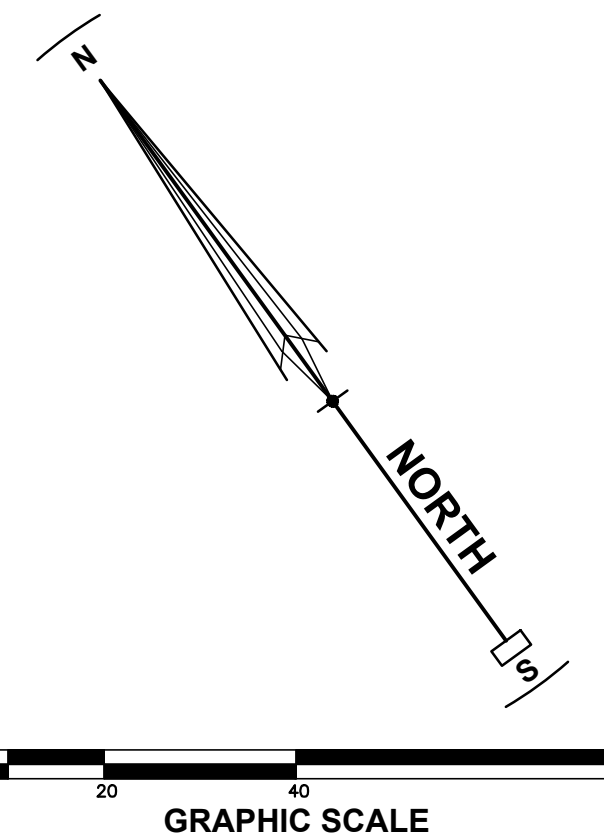
EXISTING	PROPOSED	LEGEND
---	---	PROPERTY LINE
---	---	FENCE
---	---	STORM DRAIN
---	---	STORM DRAIN MANHOLE
---	---	CATCH BASIN
---	---	DROP INLET
---	---	WATER LINE
---	---	WATER METER
---	---	SANITARY SEWER
---	---	SANITARY SEWER CLEANOUT
---	---	GAS
---	---	PROPOSED PUBLIC MULTI-USE PATH
---	---	SURVEYED DRIBLINE OF RIPARIAN CORRIDOR/WESTERLY LIMITS OF THE RIPARIAN HABITAT BIOLOGICAL STUDY AREA. LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY MONTROSE. SEE ARBORIST'S DATED DECEMBER 2023 AND SHEETS L-0.0 AND L-0.1 FOR DETAILED DESCRIPTION OF THE TREE SPECIES, TREE PROTECTION MEASURES, MITIGATION, TREE REPLACEMENT AND RIPARIAN VEGETATION WITHIN THIS PROTECTED AND PRESERVED AREA.
---	---	APPROXIMATE BOUNDARY OF RIPARIAN HABITAT, BY MONTROSE.
---	---	LIMIT OF RIPARIAN HABITAT BIOLOGICAL STUDY AREA BY MONTROSE.
---	---	FEMA FLOOD PLAIN EFFECTIVE SEPTEMBER 25, 2023 PER CLOMR PERFORMED BY BALANCE HYDROLOGICS.
---	---	FLOOD PLAIN PER MODELING BY WEST CONSULTANTS JULY 2023.
---	---	SOFT SETBACK FROM TOP OF BANK
---	---	APPROXIMATE TOP OF BANK FOR ADOBE CREEK
---	---	APPROXIMATE OHW PER AES BIOLOGICAL SURVEY

- NOTES**
- SEE LAYOUT C-2 FOR SITE CONTEXT & ADJACENT LAND USES
 - SEE LAYOUT C-3 FOR THE EXISTING CONDITIONS
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 - SEE LAYOUT C-13 FOR PRELIMINARY BRIDGE CROSSING PROFILE
 - SEE LAYOUT C-14 FOR PRELIMINARY UTILITY INFORMATION
 - SEE LAYOUT C-15 FOR PRELIMINARY POST CONSTRUCTION STORM WATER CONTROL
 - SEE LAYOUT C-17 FOR THE FIRE APPARATUS ROUTING

- NOTES**
- PROPOSED PRIVATE SANITARY SEWER AND STORM DRAINS SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
 - THE FLOOD PLAINS PRESENTED HEREIN ARE BASED ON HYDROLOGICAL MODELING AND ANALYSIS COMPLETED BY WEST CONSULTANTS DATED JULY 2023 AND BALANCE HYDROLOGICS DATED JULY 19, 2022. FEMA CLOMR ISSUED MAY 11, 2023 AND EFFECTIVE SEPTEMBER 25, 2023.

MAINTENANCE AREA LEGEND

	HOME OWNERS ASSOCIATION MAINTENANCE AREAS: ASPHALT, CURB, GUTTER, SIDEWALKS, SHARED DRIVEWAYS, PRIVATE SANITARY SEWER, PRIVATE STORM DRAIN AND STRUCTURES, BIORETENTION AND MULTI-USE PATH
	CITY OF PETALUMA: PUBLIC WATER MAIN, JOINT TRENCH, GAS LINE, MULTI-USE PATH
	HOME OWNER MAINTENANCE AREAS: BUILDINGS, PORCHES, FRONT AND REAR YARDS, LANDSCAPE AREAS AND IRRIGATION.



MAINTENANCE EXHIBIT
 CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
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 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239



DATE: 2023.12.15
 SCALE: 1"=30'
 DESIGN: SJL/CRK/JAC
 DRAWN: CRK
 CHECK: SJL
 JOB: CREEKWOOD
 JOB No: 192119
 SHEET
C-16
 OF 17 SHEETS

REVISIONS	BY

NOTES

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LEGEND

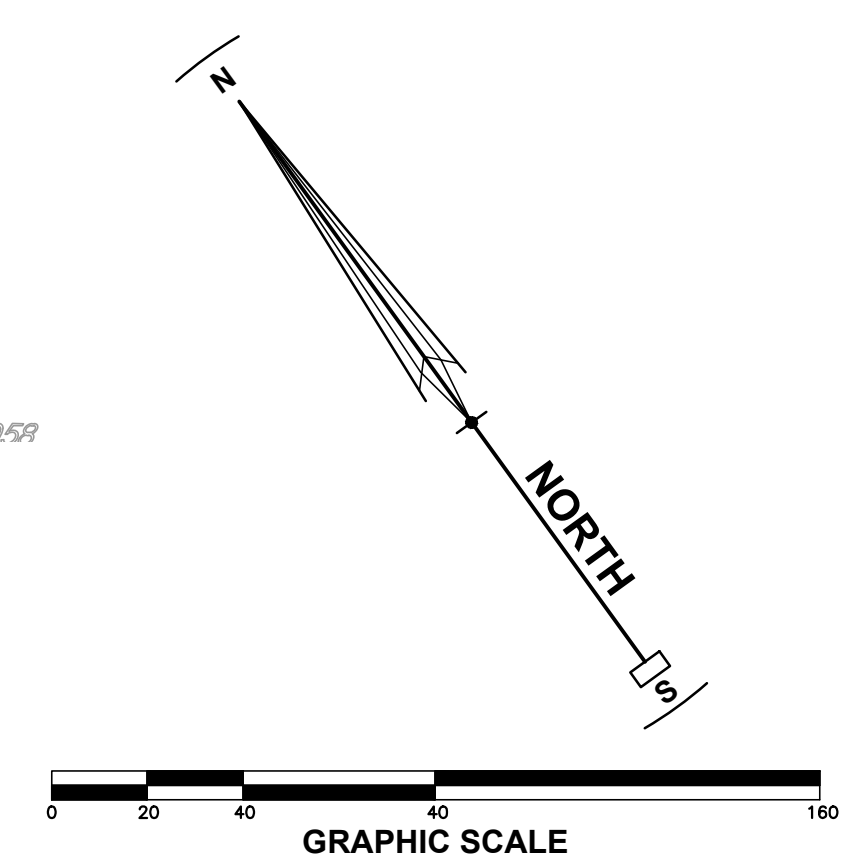
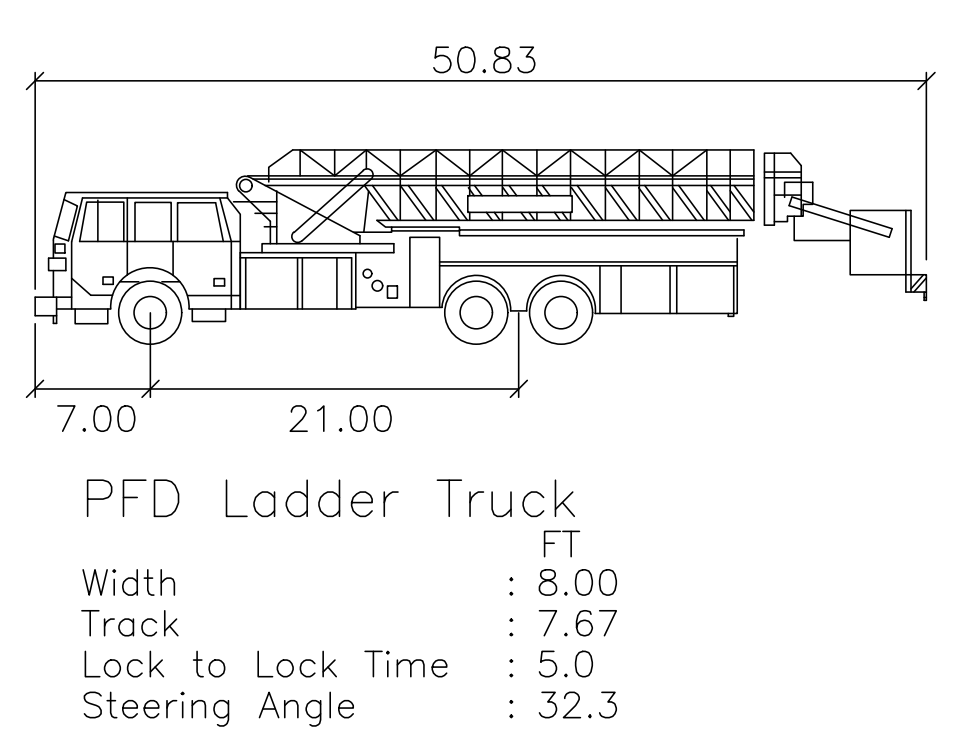
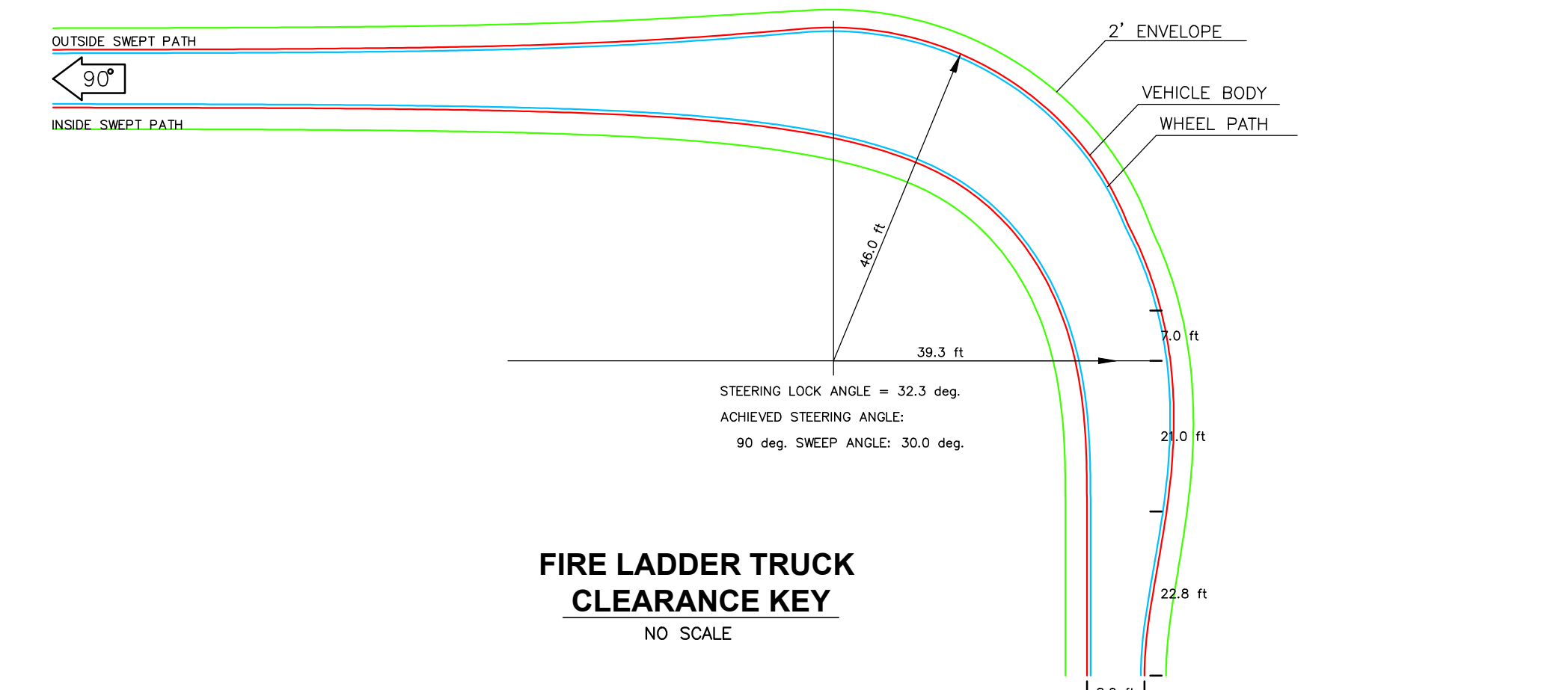
EXISTING	PROPOSED	
		PROPERTY LINE
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		STORM DRAIN MANHOLE
		CATCH BASIN
		DROP INLET
		WATER LINE
		WATER LATERAL/METER
		SANITARY SEWER/MANHOLE
		CLEANOUT
		JOINT TRENCH
		GAS
		DESIGNATED REMAINDER
		PROPOSED PUBLIC MULTI-USE PATH
		PROPOSED VEHICULAR & EVA ACCESS EASEMENT, SEE C-8 VTPM FOR DETAIL
		HYDRANT LOCATIONS: 150FT RADIUS TO SHOW PROXIMITY TO EACH OTHER.
		SURVEYED DIAPHRANE OF RIPARIAN CORRIDOR/WESTERLY LIMITS OF THE RIPARIAN HABITAT BIOLOGICAL STUDY AREA. LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY MONTROSE. SEE ARBORIST'S DATED DECEMBER 2023 AND SHEETS L-5.0 AND L-5.1 FOR DETAILED DESCRIPTION OF THE TREE SPECIES, TREE PROTECTION MEASURES, MITIGATION, TREE REPLACEMENT AND RIPARIAN VEGETATION WITHIN THIS PROTECTED AND PRESERVED AREA.
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FIRE LADDER TRUCK MANUEVER: NORTH BOUND CASA GRANDE ROAD
SCALE: 1" = 40'

FIRE LADDER TRUCK MANUEVER: SOUTH BOUND CASA GRANDE ROAD
SCALE: 1" = 40'



FIRE LADDER TRUCK EXHIBIT
CREEKWOOD CONDOMINIUM PROJECT
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